

December 2, 2015

ADMINISTRATIVE APPROVALS

1. 275 Islington Street (Misc. Changes)
2. 15 Congress Street (Windows)
3. 138-140 Maplewood Ave. (Window replacement & chimney restoration)
4. 30 Maplewood Ave. (Railing modifications)
5. 1B Jackson Hill Street (Window replacement)
6. 687 Middle Street (Misc. changes)
7. 65 Washington Street (Screening for Temporary Porta Potties)

Note that color copies will be emailed

1. 275 Islington Street (Misc. Changes)

ADMINISTRATIVE APPROVAL FORM

HISTORIC DISTRICT COMMISSION



Building Permit #: _____

Property Address: 275 ISLINGTON ST.

Map/Lot: 144-8

Zoning District: CBS

Applicant/ Owner: GREEN COMPANY

Applicant's Representative WENDY WELTON

Contact Info: _____

Proposed Project: MODIFICATIONS INCL:

1. RELOCATION OF GARAGE MAIN DOOR FOR UNIT 14.
2. CLOSET DOORS ON REAR DECKS - 6 PANEL
3. REAR STRUCTURAL COLUMN DETAIL UPDATED.
- Comments: 4. CHEEK WALL DETAILS ADDED TO W/P BLDG.
5. MODIFICATIONS TO FRONT ENTRY OF GAMEREL BLDG.
6. OVERHANG TO UNIT 14 CHANGED FROM 'BROW' TO HORIZONTAL
7. ELIMINATION OF SOME DOWNSPOUTS / GUTTERS ON GAMEREL.
8. TWO SMALL WINDOWS ADDED TO REAR OF NEW BRIDGEWATER.
9. INCREASED DOOR SIZE FOR UNIT 14.

Exemption Reference: 10.633.30

Decision: Grant Deny Defer to HDC for Determination

Local Code Official: 

Date: 11.30.15

Note - Approval of an Administrative Approval Form does not mean the proposed project is exempt from requiring a Building Permit from the Inspection Department. Please contact the Inspection Department directly if you have any questions regarding the procedures or submission requirements for a Building Permit. Also note that approval of an Exemption Form does not supersede any requirements of the International Building Code as administered by the Inspection Department.

Vincent J. Hayes

From: Vincent J. Hayes
Sent: Monday, November 16, 2015 5:51 PM
To: Lizbeth Good
Cc: Nicholas J. Cracknell
Subject: FW: 275 Islington Street: Site and HDC Changes
Attachments: ANSI D - FULL SET- 11-13-15.compressed.pdf

Hey Liz,

In addition to the 3 changes explicitly called out in the enclosed HDC packet, I would like you to include the following items that are implicitly included in the revised 275 Islington Street drawings:

- 1) Relocation of garage man door in the gambrel design for Unit 14.
- 2) Closet doors on rear decks are to be 6 panel (for New Englander, Hip, Gable & Wing, Mansard, and Gambrel structures).
- 3) Rear structural column detail updated.
- 4) Cheek-wall windows added on the front entrance of the Hip structure.
- 5) Change in the Gambrel structure's front door design, i.e. paneling & window light count/configuration.
- 6) "Brow" overhang for Unit 14's front entrance changed to straight horizontal 12" PVC lintel.
- 7) Elimination of some downspouts/gutters on all Gambrel elevations.
- 8) Clarification: two small windows are located on the rear New Englander elevation, above the compressor enclosure.
- 9) Increased garage door size for Unit 14.

Tomorrow, please come talk to me about these other forthcoming HDC applications:

15 Congress
Portwalk III
138-140 Maplewood
500 Market Street (possible)
~~209 Gosport Road~~

Thanks!
Vincent

From: Wendy Welton [mailto:wendy@artform.us]
Sent: Friday, November 13, 2015 3:12 PM
To: Vincent J. Hayes <vjhayes@cityofportsmouth.com>; 'Richard Green' <grousewing1@gmail.com>; Dick Shea <rmsheajr@gmail.com>
Cc: Nicholas J. Cracknell <njcracknell@cityofportsmouth.com>; Paul J. Garand <pjgarand@cityofportsmouth.com>; Lizbeth Good <lgood@cityofportsmouth.com>; 'Rachel Jones' <rachel@artform.us>
Subject: RE: 275 Islington Street: Site and HDC Changes

We weren't able to get the updated molding into this – more than could document by end of today/first thing Monday. So I'm sending this set that addresses everything on your list except the gas line.

Art Form Architecture, Inc.
275 Islington Street



Street view of Islington



Street view of Gambrel



Changes Made Per the Stipulations in the HDC Approval

- 1 The trim exposure shall increase from 1/2" to 3/4" on all buildings
- 2 The depth of overhang on detail M:3 shall increase to a 5" on sheet A13
- 3 A 1"x3" shadow board shall be added to typical deck column on sheet A4
- 4 Change return detail (N4) at main gable to 2 1/2" and 5 1/2" on sheet A4
- 5 That the porch beam shall be increased from 6 1/2" to 8" on porch roof detail (G3.2) on sheet A10
- 6 Replace the blocking with PVC cove (as shown on M:5) on M:3 cross section at eave on sheet A13
- 7 The trim on Unit 14 shall stop at the siding on the entry detail and replace the arch with 12" horizontal lintel as shown on the front elevation on sheet A15. Eight inch back ban pilasters shall be added on sheet A16
- 8 That the PVC panel on the G2 dormer shall be replaced with painted 1"x6" wood lap siding on sheet A10

Requested Changes from 6/1/15

- 1 Condensing Units are a Lennox 14 AXC 2.5 tons
- 2 Garage slab heights changed
- 3 Fiberglass Gutter application
- 4 Window wells removed
- 5 Update rear deck planking profile
- 6 Garage door size increased
- 7 Gutters Removed (along with corresponding down spouts)

** For Changes to Gutters see Page A1.3

Requested Changes 9/14/15

- 8 Removal of Basement windows
- 9 Bay Windows on the Hip facing the Main Entrance are the same size as the bay windows shown on the left and Right elevations (See window spec A11 on sheet A8)
- 10 Window Height relative to top of subfloor adjusted
- 11 Window Well Added
- 12 Fire Place Vents - Painted to match the siding
- 13 Increase in trim thickness to 3/4" Thickness

Requested Changes 11/13/15

- 14 Relocation of Garage Man Door in the Gambrel Design for Unit 14
- 15 Closet Doors on Rear Decks are to be 6 Panel - See Spec sheet A2.1
- 16 Rear Structural Column Detail Updated

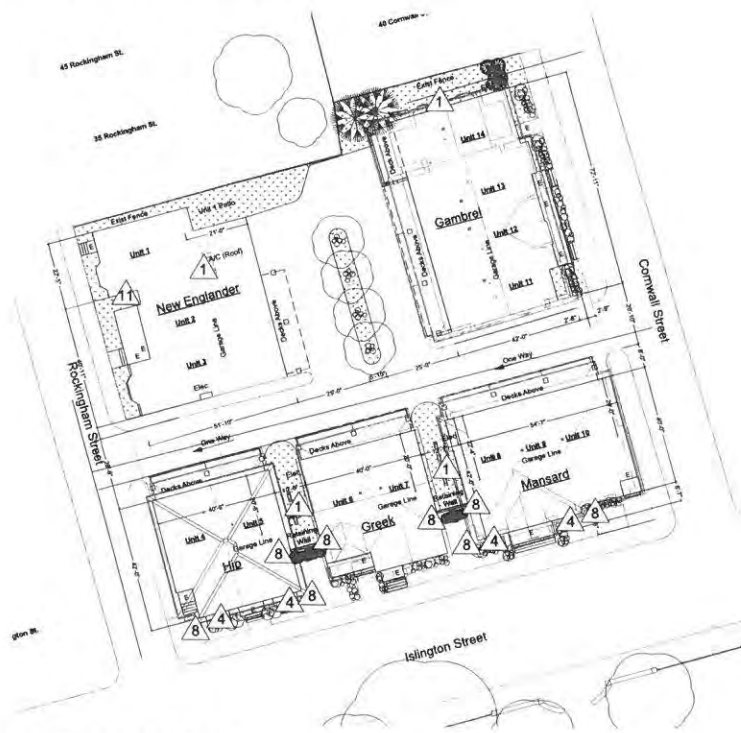
Drawing No.

A1.1

Sheet 1 of 20
01/13/2015

Art Form Architecture, Inc.
275 Islington Street





Architectural Site Plan
1"=20'

Changes Made to Original Submittal to Reflect Stipulations in HDC Approval

- ① The trim exposure shall increase from 1/2" to 3/4" on all buildings
- ② The depth of overhang on detail M:3 shall increase to a 5" on sheet A13
- ③ A 1"x3" shadow board shall be added to typical deck column on sheet A4
- ④ Change return detail (N4) at main gable to 2 1/2" and 5 1/2" on sheet A4
- ⑤ That the porch beam shall be increased from 6 1/2" to 8" on porch roof detail (G3.2) on sheet A10
- ⑥ Replace the blocking with PVC cove (as shown on M:5) on M:3 cross section at eave on sheet A13
- ⑦ The trim on Unit 14 shall stop at the siding on the entry detail and replace the arch with 12" horizontal lintel as shown on the front elevation on sheet A15. Eight inch back ban pilasters shall be added on sheet A16
- ⑧ That the PVC panel on the G2 dormer shall be replaced with painted 1"x6" wood lap siding on sheet A10



Gutter Plan
1"=20'

Requested Changes from 6/1/15

- ① Condensing Units are a Lennox 14 AXC 2.5 tons
- ② Garage slab heights changed
- ③ Fiberglass Gutter application
- ④ Window wells removed
- ⑤ Update rear deck planking profile
- ⑥ Garage door size increased
- ⑦ Gutters Removed

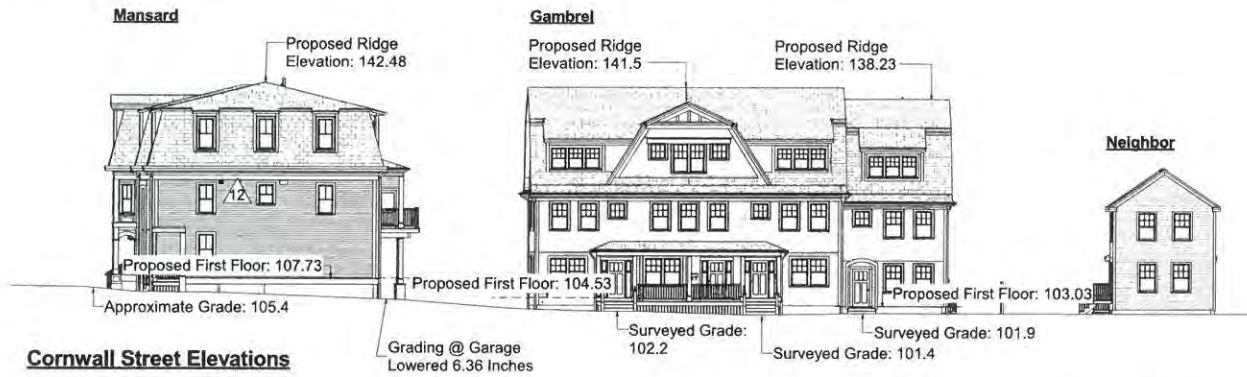
Requested Changes 9/14/15

- ⑧ Removal of Basement windows
- ⑨ Bay Windows on the Hip facing the Main Entrance are the same size as the bay windows shown on the left and Right elevations (See window spec A11 on sheet A8)
- ⑩ Window Height relative to top of subfloor adjusted
- ⑪ Window Well Added
- ⑫ Fire Place Vents - Painted to match the siding
- ⑬ Increase in trim thickness to 3/4" thickness

Requested Changes 11/13/15

- ⑭ Relocation of Garage Man Door in the Gambrel Design for Unit 14
- ⑮ Closet Doors on Rear Decks are to be 6 Panel - See Spec sheet A2.1
- ⑯ Rear Structural Column Detail Updated

Art Form Architecture, Inc.
275 Islington Street

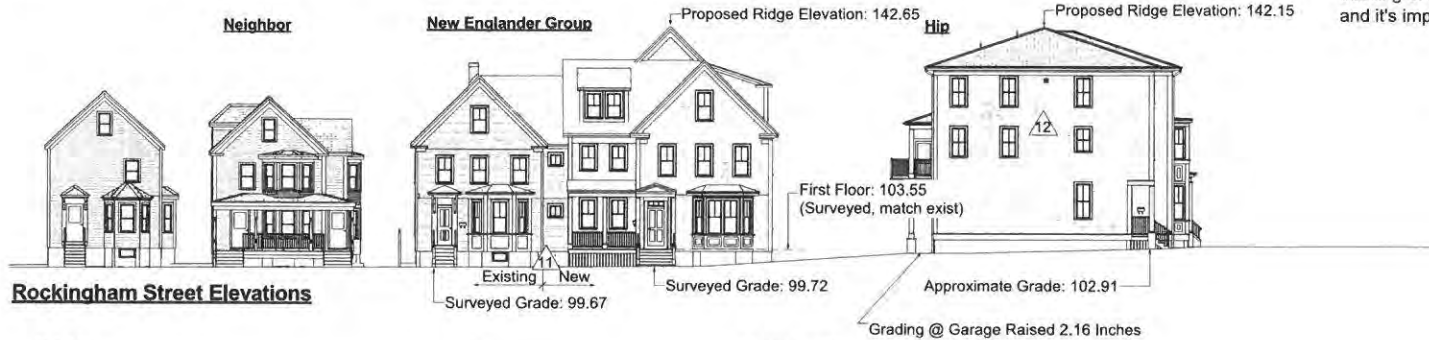


△ Garage slab heights changed
 Changes listed here as relative to rear decks:

- @ Hip - Grade @ Garage Raised 2.16 inches
- @ Gable & Wing - Grade @ Garage Lowered 12.72 inches
- @ Mansard - Grade @ Garage Lowered 6.36 inches
- @ New Englander - Grade @ Garage Raised 1.2 inches
- @ Gambrel - Grade @ Garage Lowered 1.68 inches

Note that heights here differ from those shown on the current site plan, due to a change in reference datum. We are continuing to use the original numbers here for clarity, as building heights and first floor elevations relative to Islington Street are unchanged.

The grade at the front of the Gambrel (on Cornwall) has been changed during preparing of grading plans. We are not attempting to pull a foundation or building permit for that building at this time. We will follow up with correct site data, and its impact on the Gambrel, at that time.



Elevations this page for heights and context only. See individual buildings for updated details.



Drawing No.

A1.4

Sheet 4 of 20
 01/13/2015

Art Form Architecture, Inc. 275 Islington Street

Door Specifications

Therma-Tru, Classic-Craft, Canvas Collection



New Englander



Hip - Mansard



Gambrel



Gable - Wing



Rear Deck Closet Door

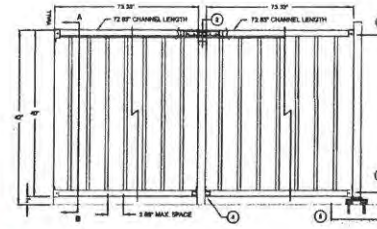
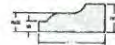


Moulding Specifications

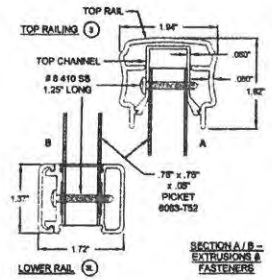
Kleer Trimboard, Shingle Moulding
(Band on Window Casing)



SHINGLE MOULD
#5210K
1 1/16" x 1-5/8" x 16'



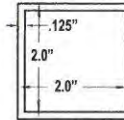
Rear Deck Railing Specifications
Alumi - Guard Railing



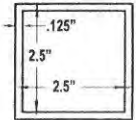
SECTION A/B -
EXTRA SPOCKS &
FASTENERS



Rear Deck Railing Shown Installed
Alumi - Guard Railing

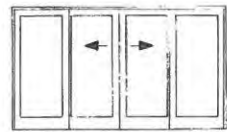
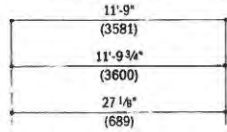


Intermediate Post

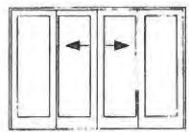
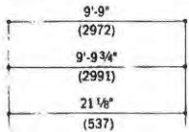


End Post

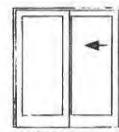
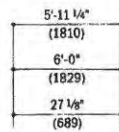
Andersen, Frenchwood Gliding Patio Doors



FWG12068-4*
FWG120611-4*
FWG12080-4*



FWG10068-4*
FWG100611-4*
FWG10080-4*



FWG6068R
FWG60611R
FWG6080R



Typical Rear Light Fixture Specification
Lithonia Bronze LED Floodlight
Model # OFLR 6LC 120 P BZ



New Englander Rear Light Fixture
Specification
Filament Design Infinite Bronze Sconce
Model # HD-MA45271338



Hip Front Light Fixture Specification
Portfolio Bravden Mystic Pendant
Model # LWS1204G



Gable and Wing Front Light Fixture Specification
Providence 1-Light Incandescent Lantern
Model # CLI-MEN2183-04



Mansard Front Light Fixture Specification
Designers Fountain Capella Pendant
Model # 2864 - BK



Doorbell Specification
NuTone Round Domed Pushbutton,
1 3/4" diameter in Antique Brass
Model # PB67AB



Dimensions: 9 1/4"W x 16 1/2"H x 3"EXH
Finish: Hand Rubbed Bronze

Mailbox Specifications
Special Lite Company, Vertical Mailbox



Exterior Door
Hardware - Schlage
F93 CAM 716
GEO in Aged
Bronze
No Scale

Art Form Architecture, Inc. 275 Islington Street

Gutter Specifications Englert Gutters



Gutters

For more than 30 years, Englert has been a leading supplier of seamless residential gutter systems, accessories and roll forming machines throughout the country.

A pioneer in on-site roll-forming of seamless gutters, Englert offers a complete line of gutter products, including:

- 5" and 6" K-Style Gutters
- 7" Box Gutters
- MicroGuard Leaf Protection
- SmartGuard
- LeafGuard Brand Gutter Systems
- RoofPro Design Series Gutters
- View Gutter System Components Schematic

Our gutter rolls are strong and durable and come in a variety of 18 standard colors. All of our cut is coated on our in-house pans the which is the newest and most technologically superior pan line in the industry.

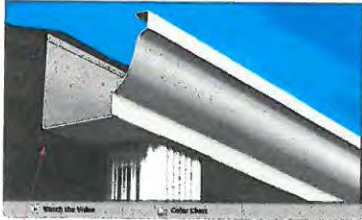
Gutter Finish Warranty

We offer a 20-year limited finish warranty on all gutter material handled by authorized designers and installers in accordance with Englert specifications and maintenance instructions with the understanding that it will not cover fading, chipping, cracking, peeling, rust, or red rot or structural deterioration as a direct result of manufacturing defects.

View Gutter Finish Warranty

Cutter Color Card

Apply for Warranty



- 5" and 6" K-Style Gutters
- 7" Box Gutters



Typical Garage Door Specification
Garage, Contemporary
Model: Flush

Type 1 (Typical) Shingle Specifications CertainTeed, Traditional Extra Tough Shown for Shingle Pattern - Valleys to be woven shingles



Black



Type 2 Shingle Specifications CertainTeed, Highland Slate (Found on Steep part of Mansard Roof)



Black Granite



Type 3 Shingle Specifications CertainTeed, Traditional Patriot (Found on Gambrel Roof)

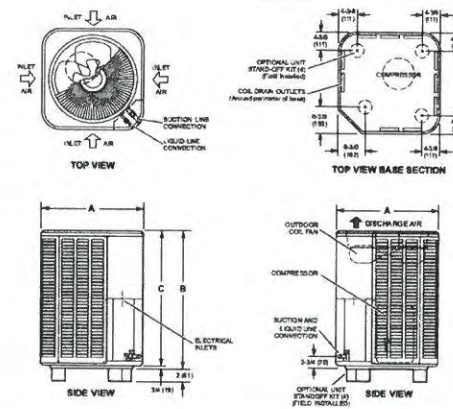


Typical Rear Deck Specification
Azek, Arbor Collection
Shown Installed with fasteners/plugs
ESR-1667



Acacia

Compressor Unit Specifications

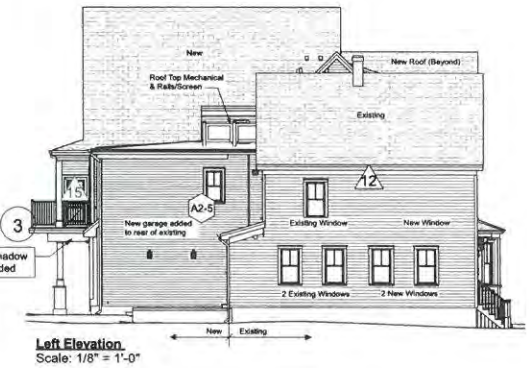
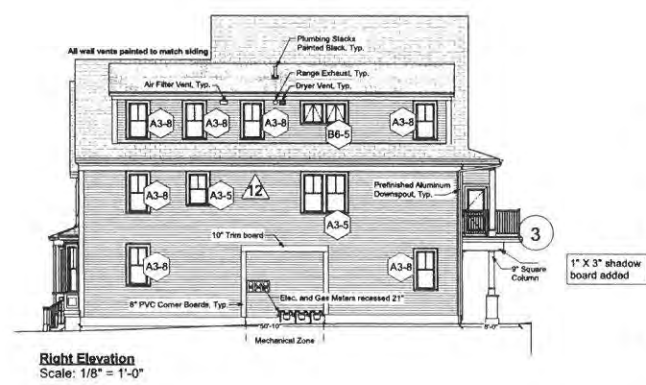
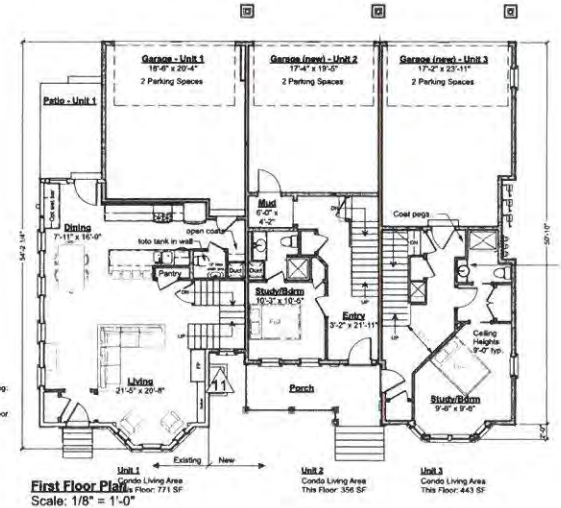


Model No.	A		B		C	
	Inches	mm	Inches	mm	Inches	mm
14ACK-018	24-1/4	616	28-1/4	743	28-1/2	724
14ACK-024	28-1/4	718	29-1/4	743	28-1/2	724
14ACK-030	28-1/4	718	37-1/4	946	38-1/2	977
14ACK-036	28-1/4	718	37-1/4	946	38-1/2	977
14ACK-041	28-1/4	718	37-1/4	946	38-1/2	977
14ACK-042	28-1/4	718	29-1/4	743	28-1/2	724
14ACK-047	32-1/4	817	33-1/4	846	32-1/2	828
14ACK-048	28-1/4	718	33-1/4	846	32-1/2	828
14ACK-060	32-1/4	817	37-1/4	946	35-1/2	912
14ACK-080	32-1/4	817	33-1/4	846	32-1/2	828

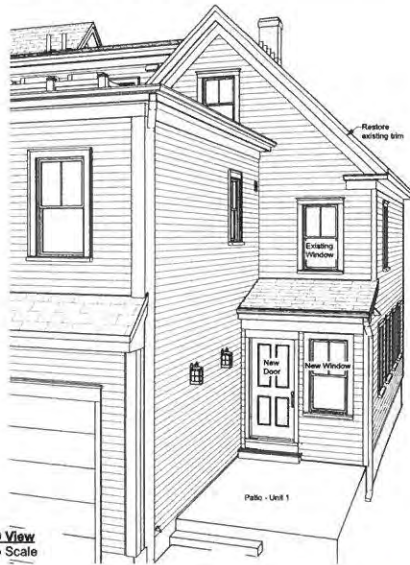
Drawing No.
A2.2

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01/13/2015

Art Form Architecture, Inc.
275 Islington Street
New Englander Group
 Residential Units 1-3



Art Form Architecture, Inc.
275 Islington Street
New Englander Group
 Residential Units 1-3



3D View
No Scale



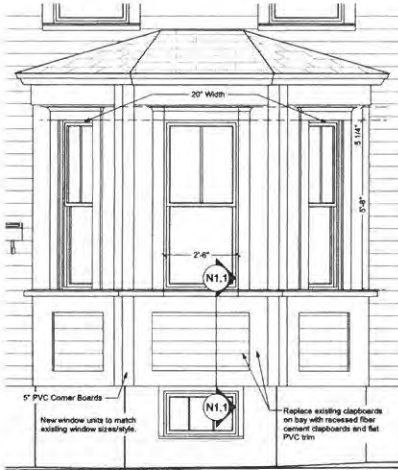
Existing Image
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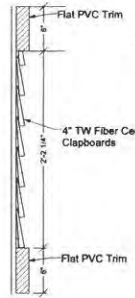
Window Detail
Scale: 1/2" = 1'-0"



Window Detail
Scale: 1/2" = 1'-0"



N1 - Existing Bay Detail
Scale: 1/2" = 1'-0"



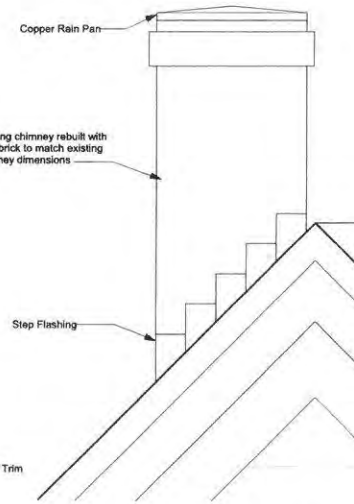
N1.1 - Panel Section
Scale: 1 1/2" = 1'-0"



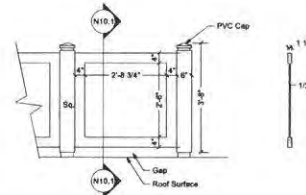
Existing Image
No Scale



Existing Image
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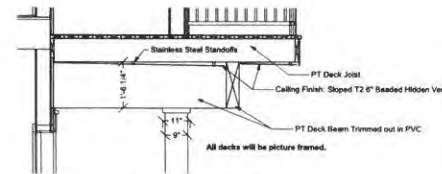


N2 - Chimney Detail
Scale: 1" = 1'-0"



N10 - Rear Roof Fence Detail
Scale: 1/2" = 1'-0"

N10.1 - Fence Panel Section
Scale: 1/2" = 1'-0"



Detail of Ceiling Under Rear Decks
Scale: 1/2" = 1'-0"

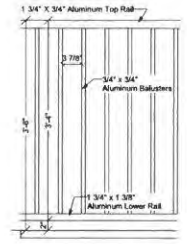
Not Shown: All windows and proud horizontal trim to have slight cant at top and flashing per good construction practice.



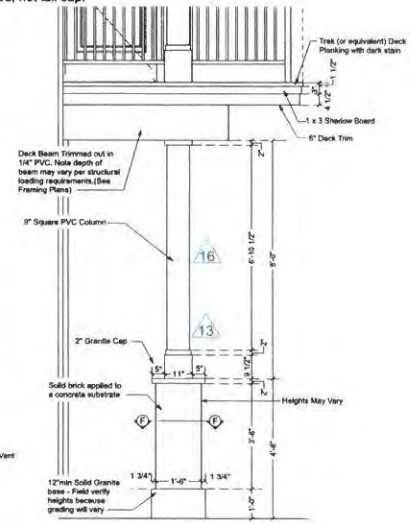
Rain Pan Example 3D
No Scale



Builder Chimney Face Example 3D
No Scale
This image displays a faux chimney with brick veneer as built by this builder. Rain pan above will be used, not tall cap.



N8 - Rear Railing Detail
Alumi-Guard Railing
Scale: 1" = 1'-0"



Typical Deck Column Detail
Scale: 1/2" = 1'-0"

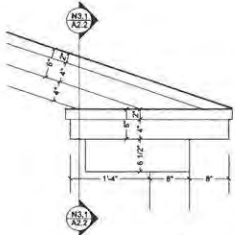
Drawing No.

A4

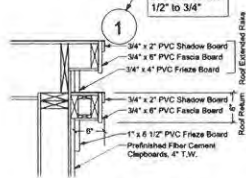
Sheet 8 of 20
01/13/2015

Art Form Architecture, Inc.
275 Islington Street
New Englander Group
 Residential Units 1-3

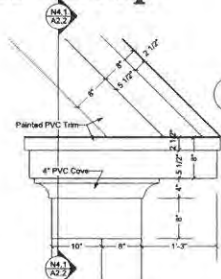
Not Shown: All windows and proud horizontal trim to have slight cant at top and flashing per good construction practice.



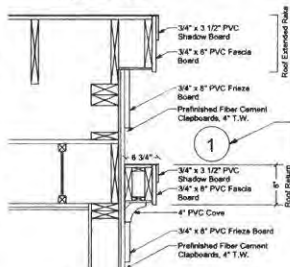
N3 - Return Detail @ Dormer
 Scale: 1" = 1'-0"



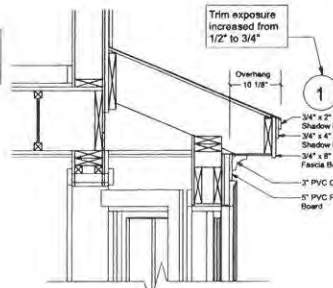
N3.1 - Return Section @ Dormer
 Scale: 1" = 1'-0"



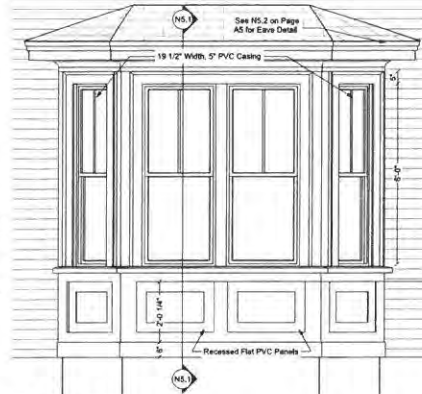
N4 - Return Detail @ Main Gable
 Scale: 1" = 1'-0"



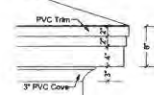
N4.1 - Return Section @ Main Gable
 Scale: 1" = 1'-0"



N5.1 - Bay Section
 Scale: 1" = 1'-0"



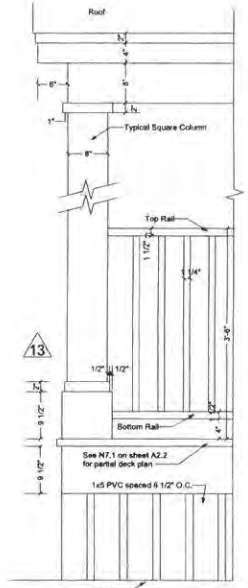
N5 - Bay Detail
 Scale: 1/2" = 1'-0"



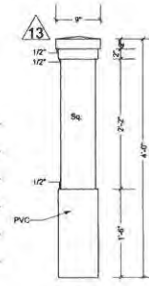
N5.2 - New Bay Detail
 Scale: 1" = 1'-0"



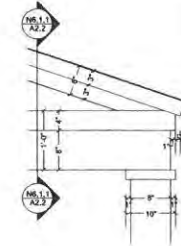
N6 - Entry Detail
 Scale: 1/2" = 1'-0"



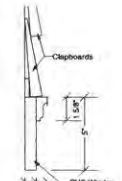
N7 - Porch Detail
 Scale: 1" = 1'-0"



N6.1 - Portico Detail
 Scale: 1" = 1'-0"

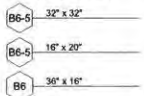


N6.2 - Newel Detail
 Scale: 1" = 1'-0"

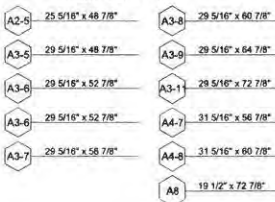


Ext Window Casing Trim Band Klear Moulding #5210K
 Scale: 3" = 1'-0"

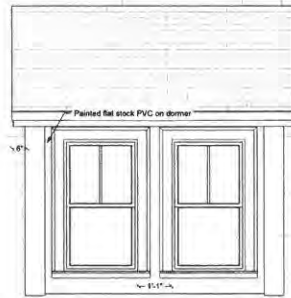
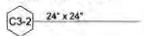
Window Detail Awning
 Scale: 1/2" = 1'-0"



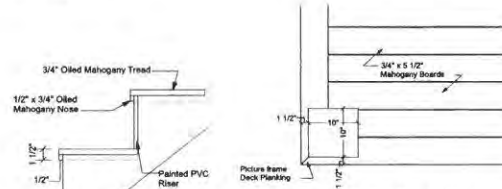
Window Detail Double Hung
 Scale: 1/2" = 1'-0"



Window Detail Fixed
 Scale: 1/2" = 1'-0"

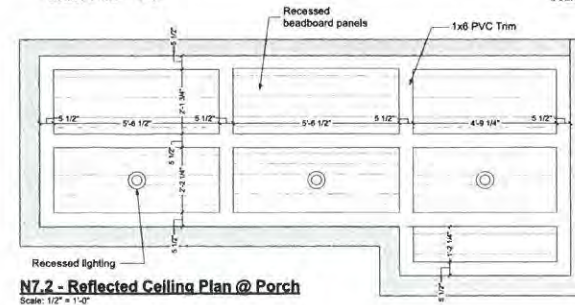


N9 - Dormer Detail
 Scale: 1/2" = 1'-0"

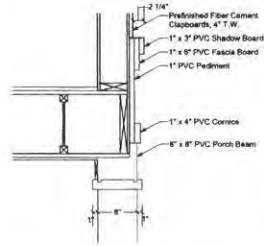


N7.1 - Partial Plan @ Porch
 Scale: 1" = 1'-0"

N6.3 - Entry Stair Detail
 Scale: 1 1/2" = 1'-0"

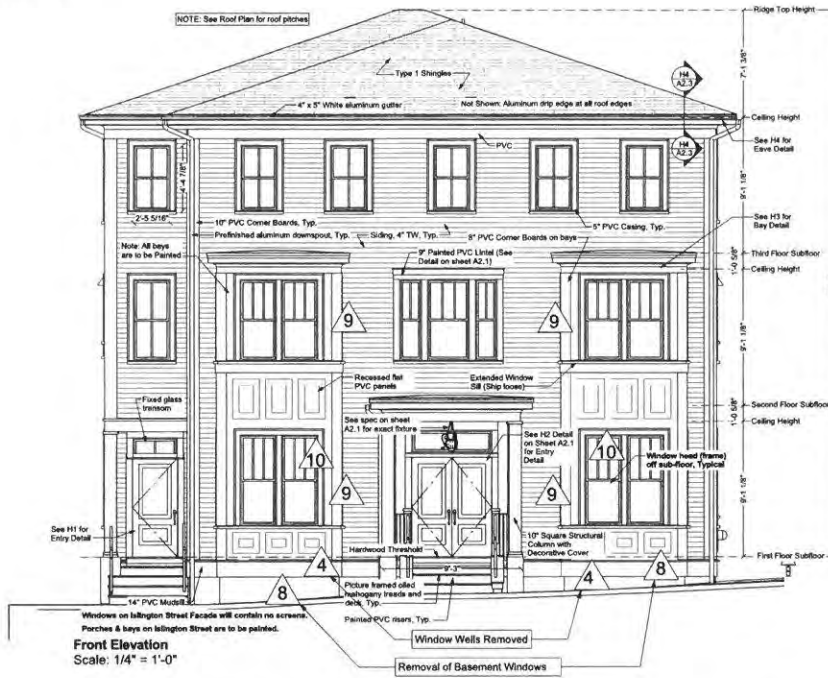


N7.2 - Reflected Ceiling Plan @ Porch
 Scale: 1/2" = 1'-0"



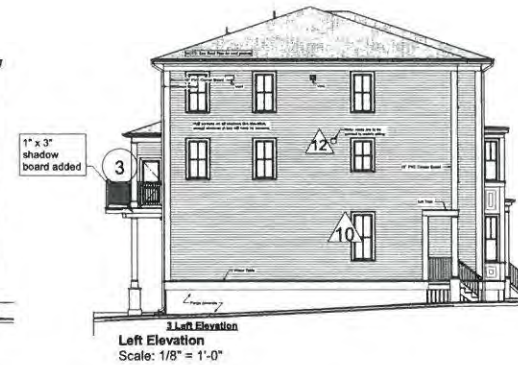
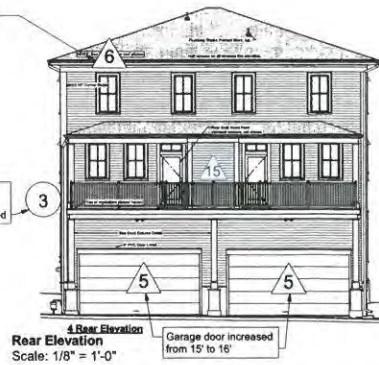
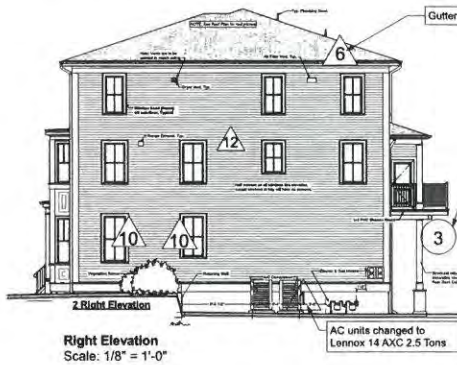
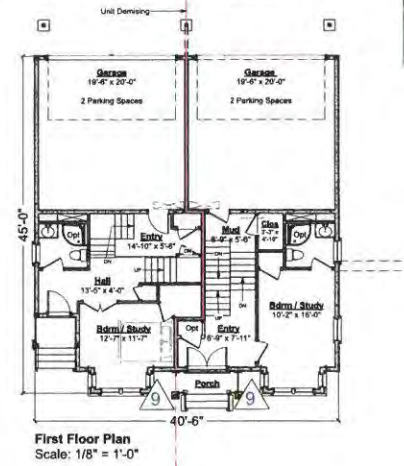
N6.1.1 - Portico Section
 Scale: 1" = 1'-0"

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1st Floor (Entry Level): 881 SF
 2nd Floor: 1941 SF
 3rd Floor: 1683 SF
 Total GFA: 4505 SF

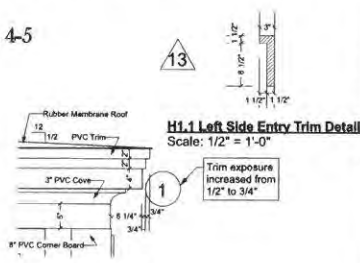
881 SF
 Excludes unroofed porches
 and terraces, basements,
 attics, and garages per
 zoning definition.



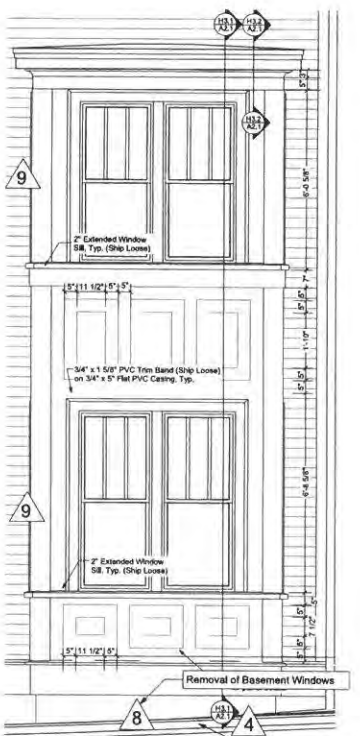
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Residential Units 4-5

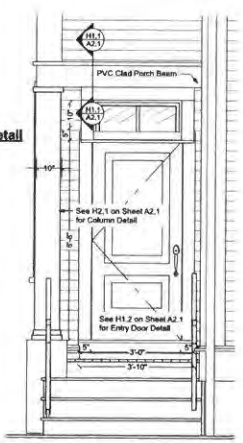
Not Shown: All windows and proud horizontal trim to have slight cant at top and flashing per good construction practice.



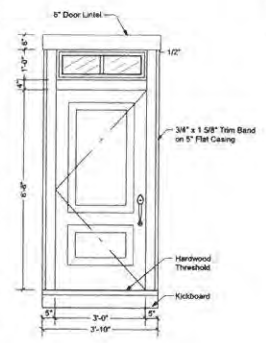
H3.2 Bay Eave Detail
 Scale: 1" = 1'-0"



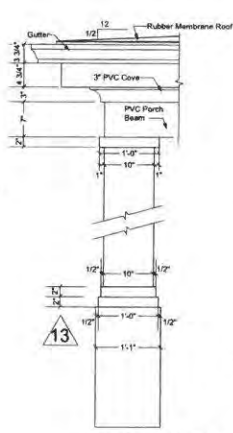
H3 Bay Detail
 Scale: 1" = 1'-0"



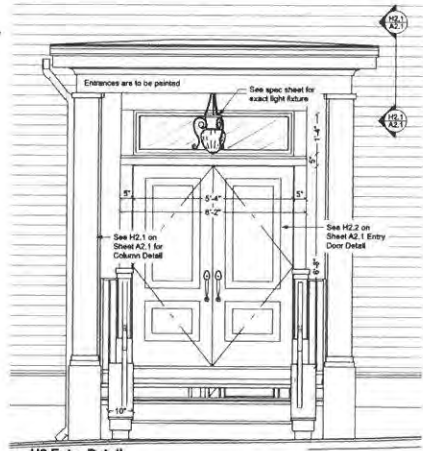
H1 Left Side Entry Detail
 Scale: 1/2" = 1'-0"



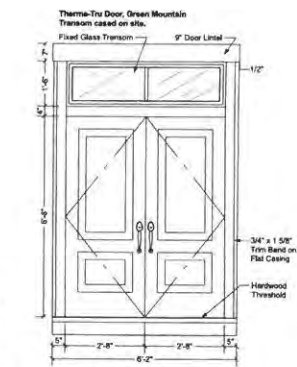
H1.2 Left Entry Door Detail
 Scale: 1/2" = 1'-0"



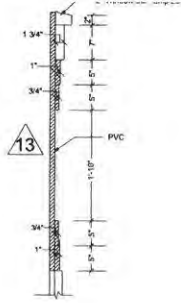
H2.1 Column Detail
 Scale: 1" = 1'-0"



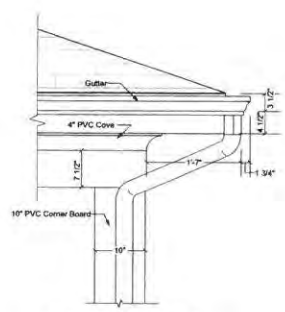
H2 Entry Detail
 Scale: 1/2" = 1'-0"



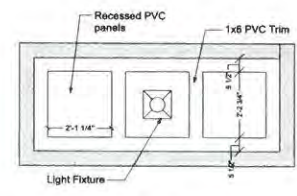
H2.2 Entry Door Detail
 Scale: 1/2" = 1'-0"



H3.1 Bay Trim Detail
 Scale: 1" = 1'-0"



H4 Typical Eave Detail
 Scale: 1" = 1'-0"



Reflected Ceiling Plan @ Porch
 Scale: 1/2" = 1'-0"

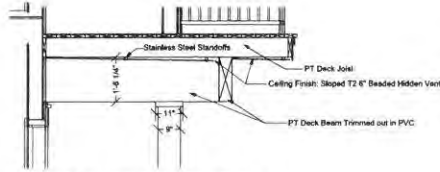


H2 Entry Detail
 No Scale

Drawing No.

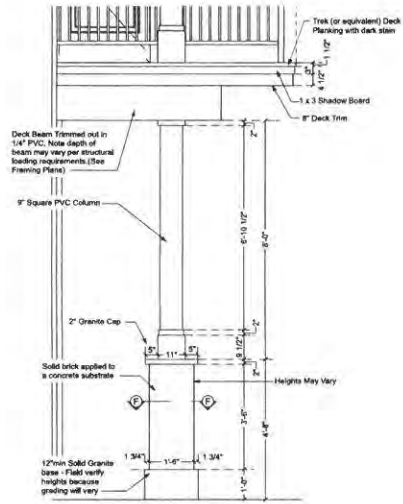
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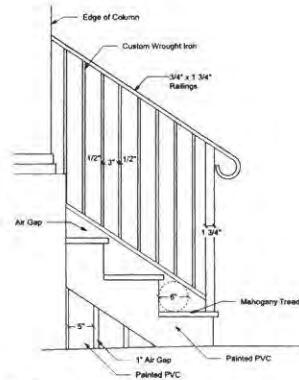


Typical Sloped Ceiling @ Rear Decks
 Scale: 1/2" = 1'-0"

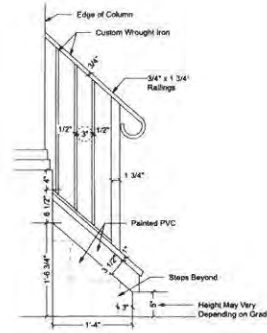
Not Shown: All windows and proud horizontal trim to have slight cant at top and flashing per good construction practice.



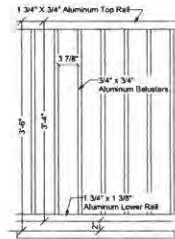
Rear Deck Column Detail
 Scale: 1/2" = 1'-0"



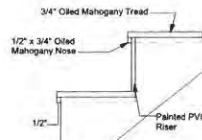
Left Entry Railing Detail
 Scale: 1" = 1'-0"



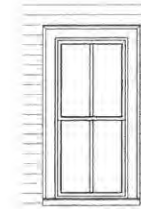
Right Entry Railing Detail
 Scale: 1" = 1'-0"



Rear Deck Railing Detail
 Scale: 1" = 1'-0"



Typical Nosing Detail
 Scale: 1 1/2" = 1'-0"



A3-5 29 5/16" x 48 7/8"

A3-6 29 5/16" x 52 7/8"

A3-7 29 5/16" x 56 7/8"

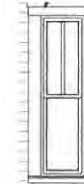
A3-8 29 5/16" x 60 7/8"

A3-9 29 5/16" x 64 7/8"

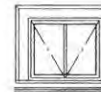
A3-11 29 5/16" x 72 7/8"

A5-8 33 5/16" x 64 7/8"

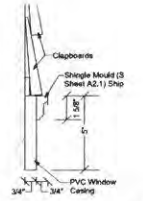
A6-11 35 5/16" x 72 7/8"



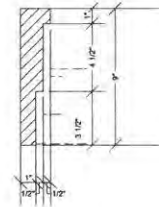
A11 17 5/16" x 64 7/8"



D3 29 5/16" x 24 7/8"



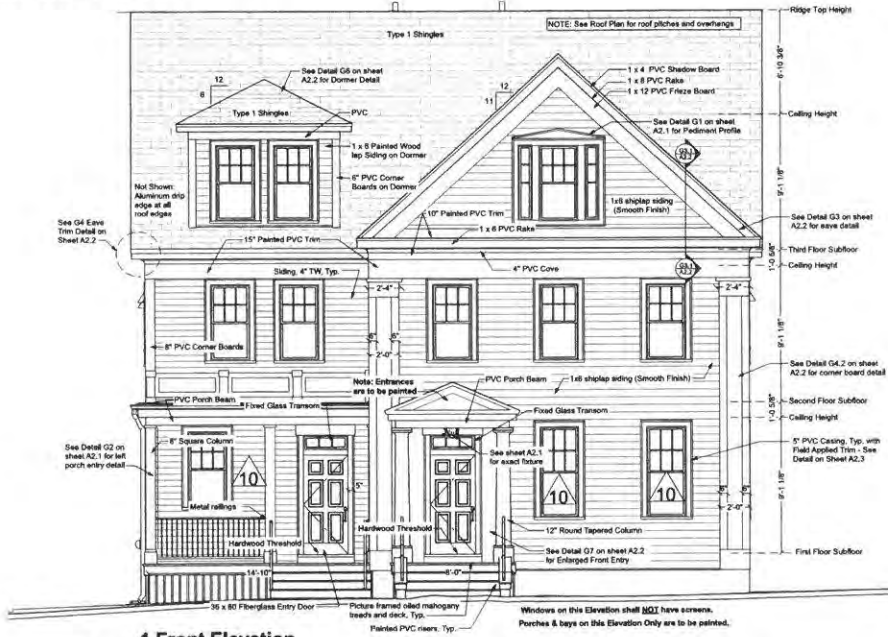
Typical Window Casing Detail
 Scale: 3" = 1'-0"



Window Lintel Profile
 Scale: 3" = 1'-0"

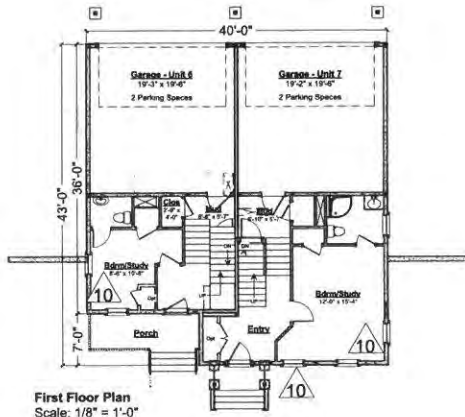
No Changes on this Sheet

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Gable & Wing
 Residential Units 6-7



1 Front Elevation
 Front Elevation
 Scale: 1/4" = 1'-0"

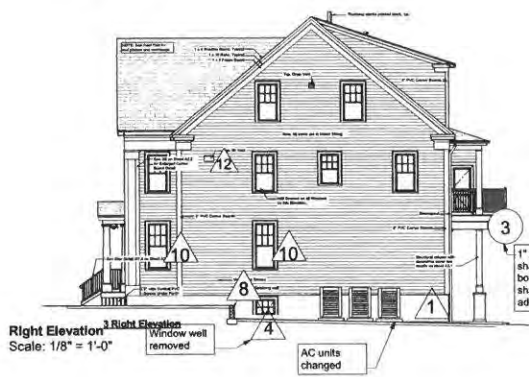
3rd Floor: 1488 SF
 Total GFA: 4093 SF
 terraces, basements, attics, and
 garages per zoning definition.



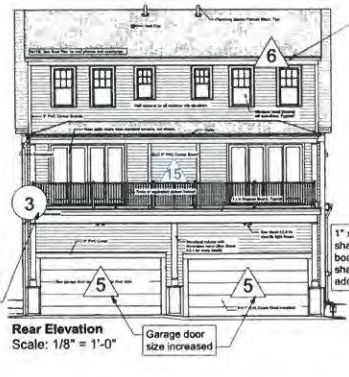
First Floor Plan
 Scale: 1/8" = 1'-0"



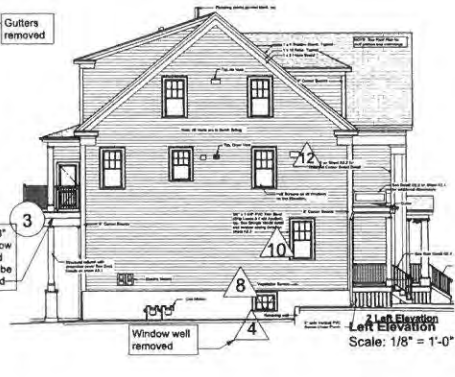
3D View
 No Scale



Right Elevation
 Scale: 1/8" = 1'-0"



Rear Elevation
 Scale: 1/8" = 1'-0"

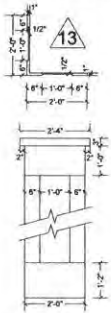


Left Elevation
 Scale: 1/8" = 1'-0"

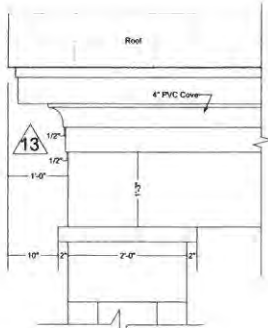
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Residential Units 6-7

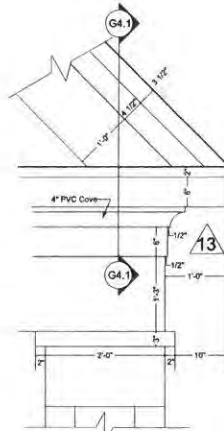
Not Shown: All windows and proud horizontal trim to have slight cant at top and flashing per good construction practice.



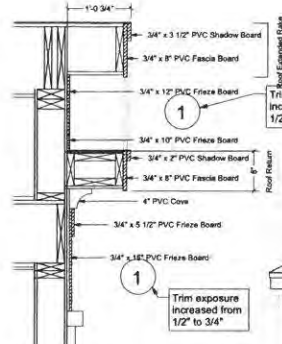
G4.2 Corner Board Detail
 Scale: 1/2" = 1'-0"



G4 Pediment Detail
 Scale: 1" = 1'-0"



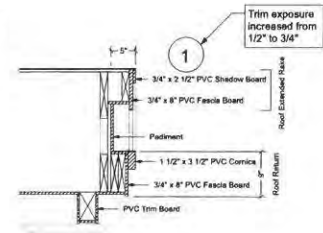
G4 Eave Detail
 Scale: 1" = 1'-0"



G4.1 Eave Detail
 Scale: 1" = 1'-0"



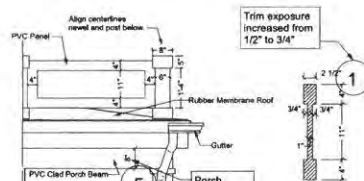
G2 Dormer Detail
 Scale: 1/2" = 1'-0"



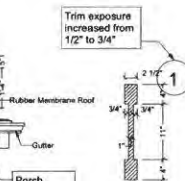
G5.1 Right Entry Eave Detail
 Scale: 1/2" = 1'-0"



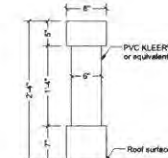
G3 Left Entry Detail
 Scale: 1/2" = 1'-0"



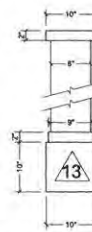
G3.2 Porch Roof Detail
 Scale: 1/2" = 1'-0"



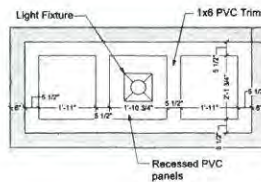
G3.1 Panel Detail
 Scale: 1" = 1'-0"



G3.3 Newel Detail
 Scale: 1" = 1'-0"



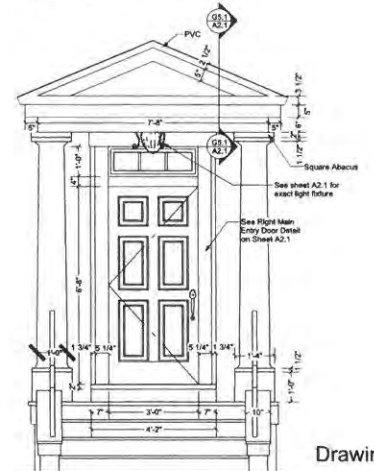
G3.4 Column Detail - Left Side
 Scale: 1" = 1'-0"



Reflected Ceiling Plan @ Porch
 Scale: 1/2" = 1'-0"



G5 Right Entry 3D View
 No Scale



G5 Right Entry Detail
 Scale: 1/2" = 1'-0"

Drawing No.

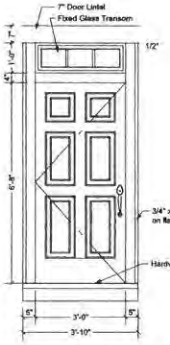
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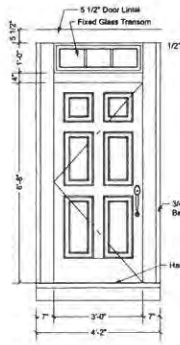
Residential Units 6-7

Therma-Tru Door, Green Mountain
 Transom based on site. Typ.



G3.6 Left Entry Door Detail
 Scale: 1/2" = 1'-0"

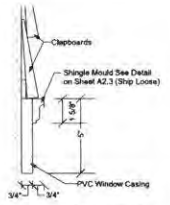
Therma-Tru Door, Green Mountain
 Transom based on site. Typ.



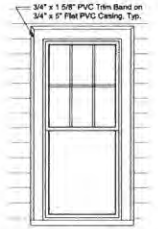
G5.2 Right Entry Door Detail
 Scale: 1/2" = 1'-0"



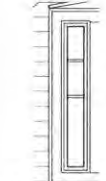
G1 Trim Over Third Floor Window
 Scale: 1/2" = 1'-0"



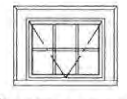
Typical Window Casing Detail
 Scale: 3" = 1'-0"



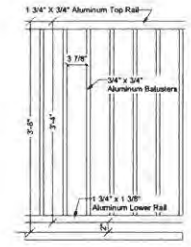
- A2-S 25 5/16" X 48 7/8"
- A3-S 29 5/16" X 48 7/8"
- A4-S 31 5/16" X 60 7/8"
- A4-11 31 5/16" X 72 7/8"



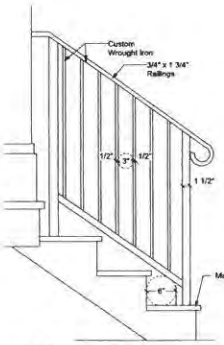
A12 25 5/16" X 48 7/8"



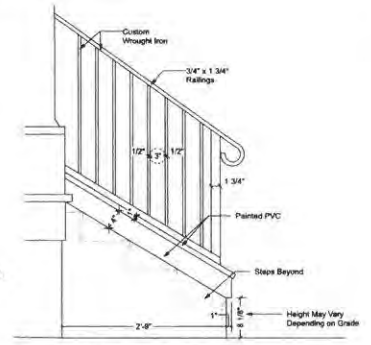
D4 31 5/16" X 24 7/8"



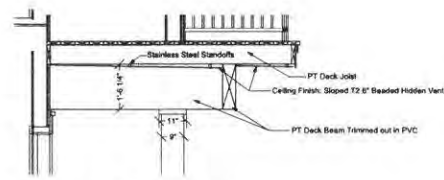
Rear Deck Railing Detail
 Scale: 1" = 1'-0"



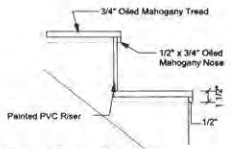
Left Entry Rail Detail
 Scale: 1" = 1'-0"



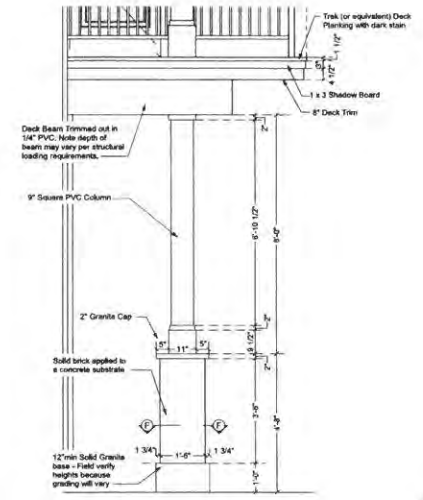
Right Entry Rail Detail
 Scale: 1" = 1'-0"



Typical Sloped Ceiling @ Rear Decks
 Scale: 1/2" = 1'-0"



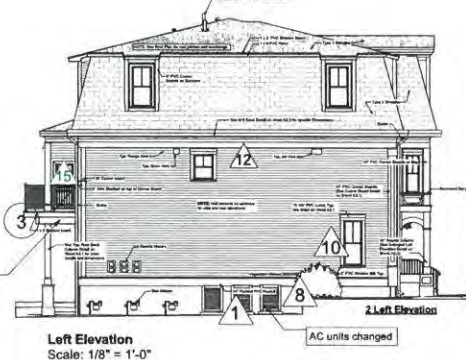
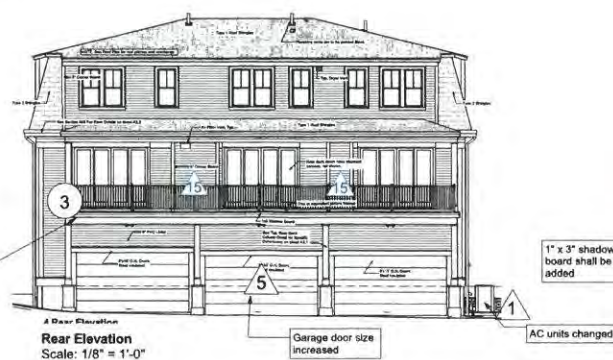
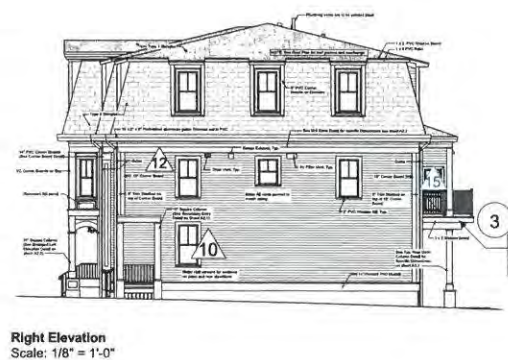
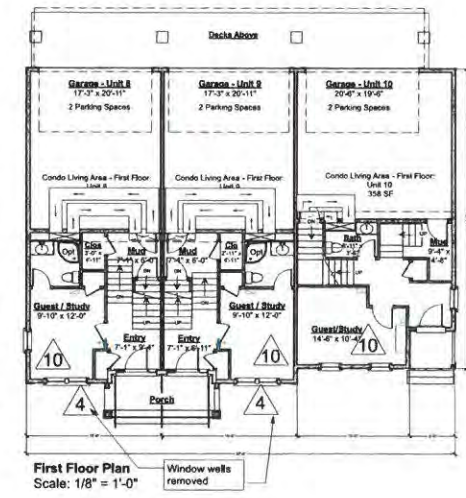
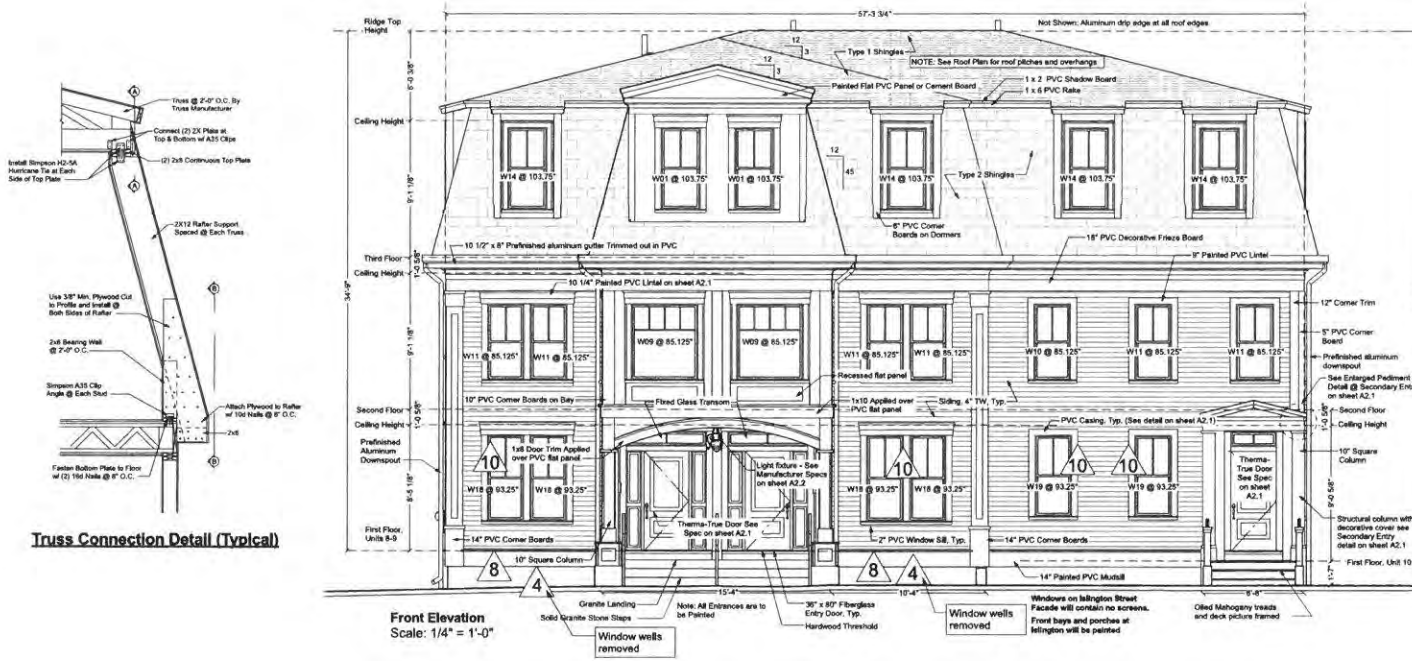
Typical Nosing Detail
 Scale: 1 1/2" = 1'-0"



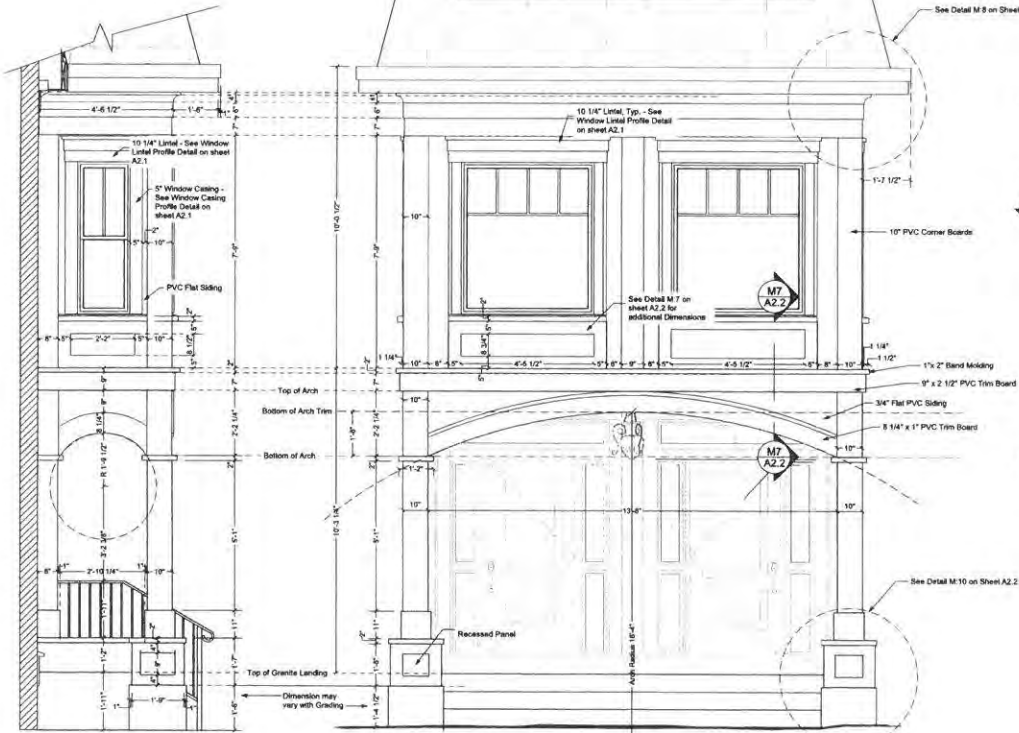
Rear Column Detail
 Scale: 1/2" = 1'-0"

No Changes on this Sheet

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Mansard
 Residential Units 8-10

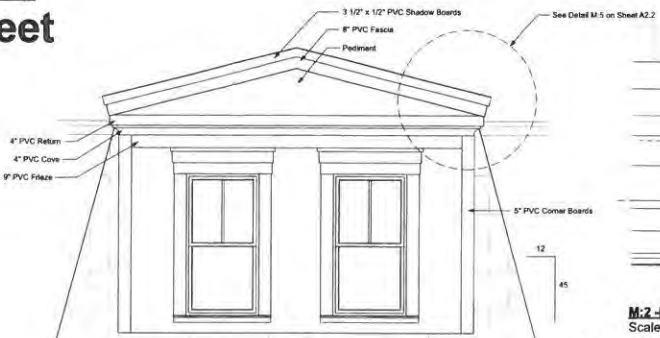


Art Form Architecture, Inc.
275 Islington Street
Mansard
 Residential Units 8-10

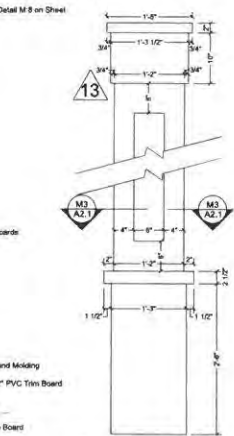


Left Elevation of Entry Detail
 Scale: 1/2" = 1'-0"

Entry Detail
 Scale: 1/2" = 1'-0"



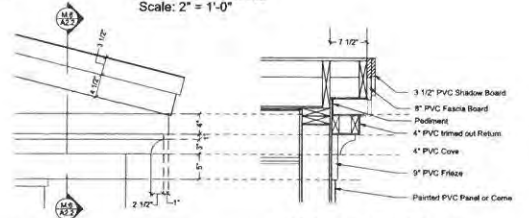
M:2 - Enlarged Eave Detail
 Scale: 1" = 1'-0"



M:3 Cross Section @ Eave
 Scale: 1" = 1'-0"

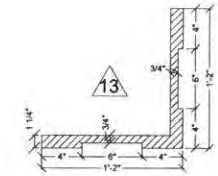


M:3.1 Enlarged Profile of Trim @ Main Eave
 Scale: 2" = 1'-0"



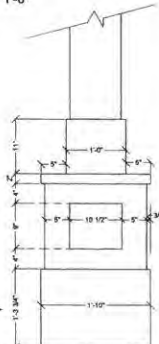
M:4 Enlarged Portico Detail
 Scale: 1" = 1'-0"

M:5 Cross Section @ Portico
 Scale: 1" = 1'-0"

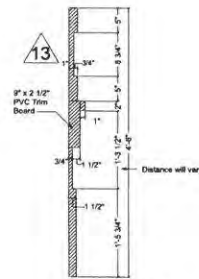


M:6 Cross Section @ Corner Board
 Scale: 2" = 1'-0"

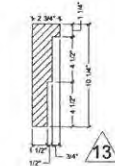
Corner Board Detail
 Scale: 1" = 1'-0"



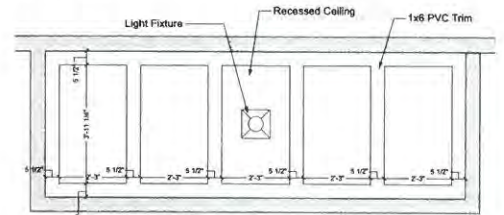
M:1 Enlarged Porch Base
 Scale: 1" = 1'-0"



M:7 Trim Profile
 Scale: 1" = 1'-0"



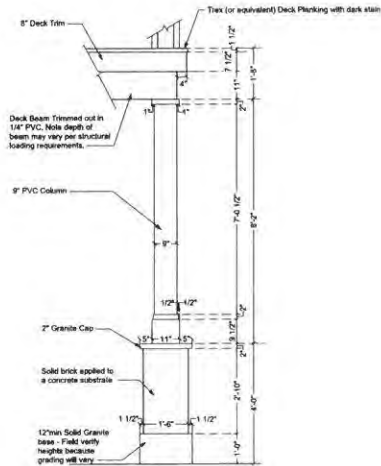
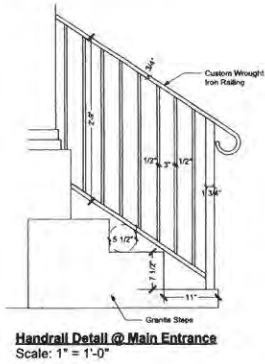
Window Lintel Profile
 Scale: 2" = 1'-0"



Reflected Ceiling Plan @ Entry Porch
 Scale: 1/2" = 1'-0"

Not Shown: All windows and proud horizontal trim to have slight cant at top and flashing per good construction practice.

Art Form Architecture, Inc.
275 Islington Street
Mansard
 Residential Units 8-10



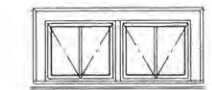
Window Detail Double Hung
 Scale: 1" = 1'-0"

- A1-8 21 5/16" x 60 7/8"
- A3-7 28 5/16" x 56 7/8"
- A3-8 29 5/16" x 60 7/8"
- A3-9 29 5/16" x 64 7/8"
- A3-10 29 5/16" x 68 7/8"
- A3-11 29 5/16" x 72 7/8"
- A4-3 31 5/16" x 40 7/8"
- A4-8 31 5/16" x 60 7/8"
- A4-9 31 5/16" x 64 7/8"



Window Detail Fixed Window
 Scale: 1" = 1'-0"

- C2-B 53 5/16" x 60 7/8"



Window Detail Hooper - Basement
 Scale: 1" = 1'-0"

- D4-2 28 x 24

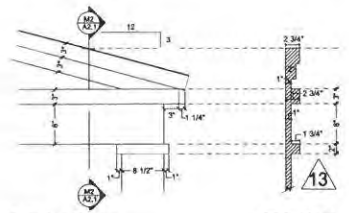
Not Shown: All windows and proud horizontal trim to have slight cant at top and flashing per good construction practice.



Unit 8 & 9 Entry Door
 Scale: 1" = 1'-0"

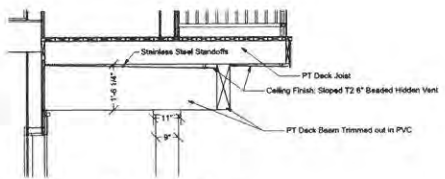


Unit 10 Entry Door
 Scale: 1" = 1'-0"

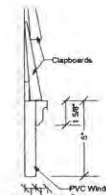


Secondary Entry - Enlarged Pediment Detail
 Scale: 1" = 1'-0"

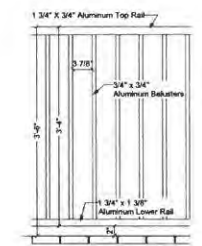
M:9 Profile of Entry Pediment
 Scale: 1" = 1'-0"



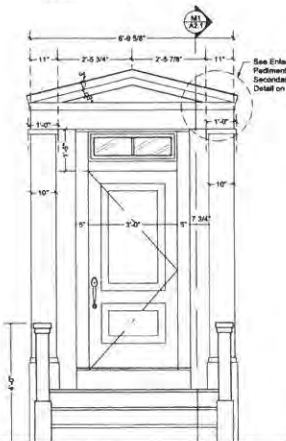
Typical Sloped Ceiling @ Rear Decks
 Scale: 1" = 1'-0"



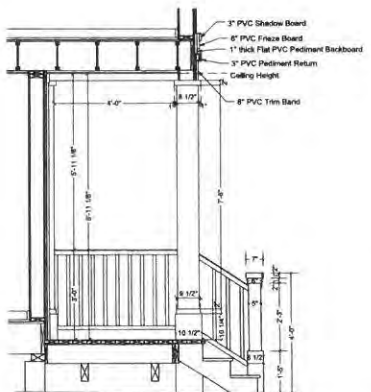
Typ. Window Casing Profile Detail
 Scale: 3" = 1'-0"



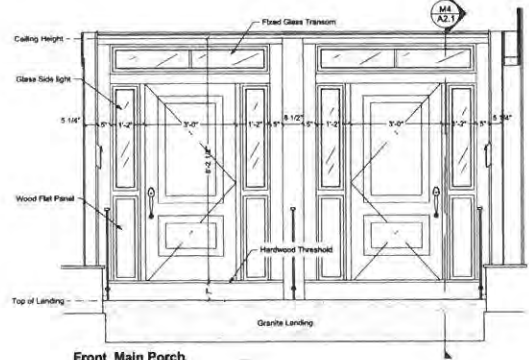
Deck Railing Detail
 Scale: 1" = 1'-0"



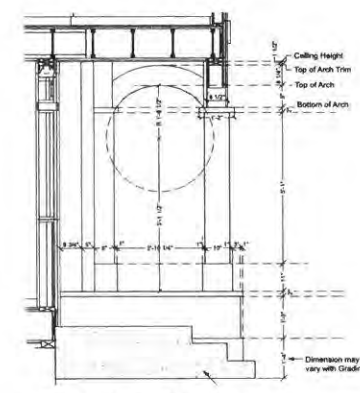
Right Side Entry Detail
 Scale: 1" = 1'-0"



M:8 Cross Section @ Right Side Entry
 Scale: 1" = 1'-0"

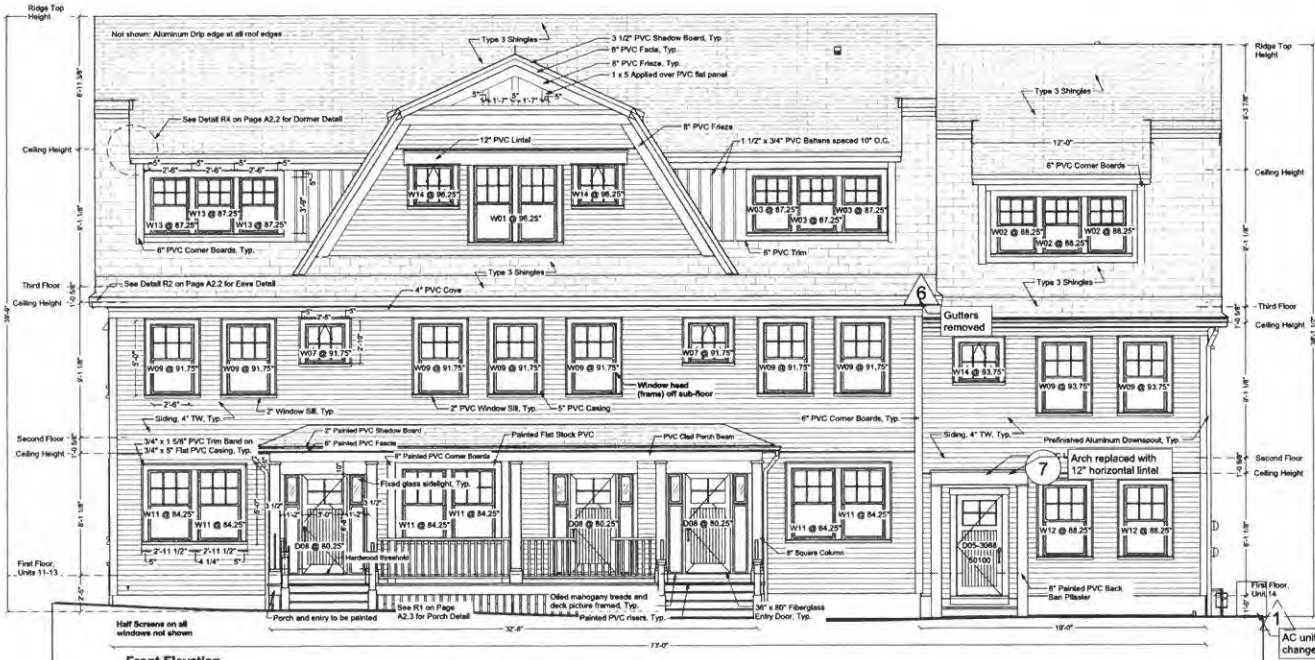


Front Main Porch
 Scale: 1/2" = 1'-0"

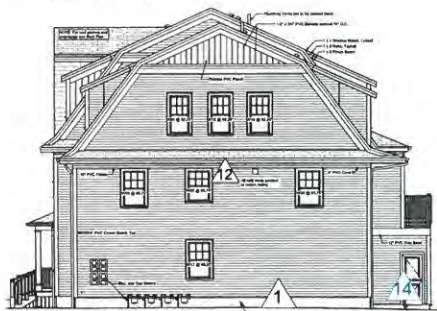


M:10 Cross Section @ Front Porch
 Scale: 1/2" = 1'-0"

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Gambrel
 Residential Units 11-14



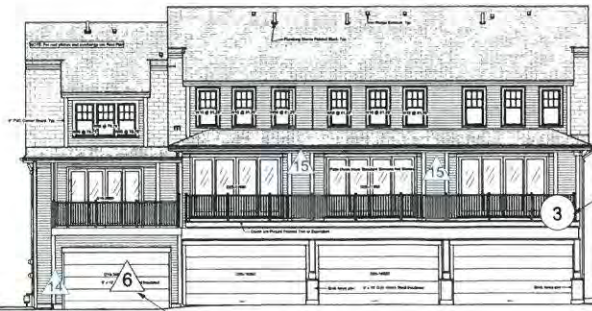
Front Elevation
 Scale: 1/4" = 1'-0"



Right Elevation
 Scale: 1/8" = 1'-0"

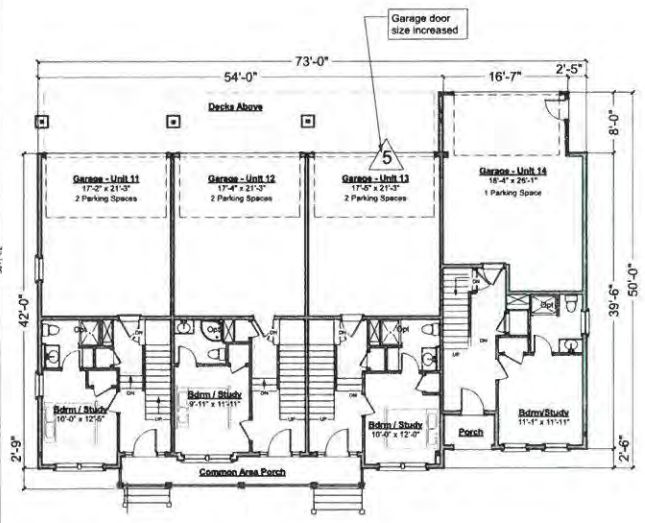
AC units changed

Man Door Relocated

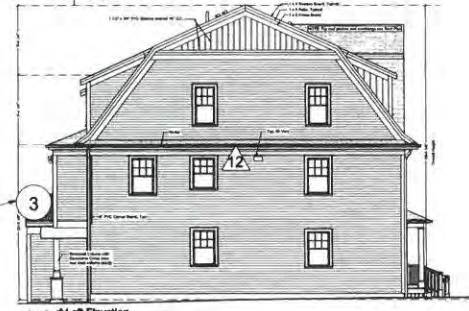


Rear Elevation
 Scale: 1/8" = 1'-0"

Garage door size increased



First Floor Plan
 Scale: 1/8" = 1'-0"



Left Elevation
 Scale: 1/8" = 1'-0"

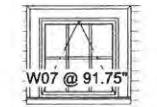
Art Form Architecture, Inc.
275 Islington Street
Gambrel

Residential Units 11-14



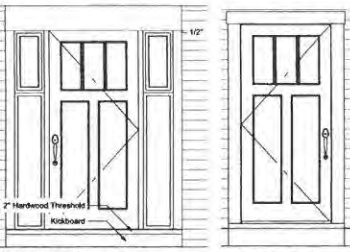
Window Detail Double Hung
 Scale: 1" = 1'-0"

- A3-6 29 5/16 x 52 7/8
- A3-7 29 5/16 x 56 7/8
- A4-4 31 5/16 x 45 7/8
- A4-8 31 5/16 x 60 7/8
- A6-5 35 5/16 x 48 7/8
- A6-7 35 5/16 x 56 7/8



Window Detail Awning
 Scale: 1" = 1'-0"

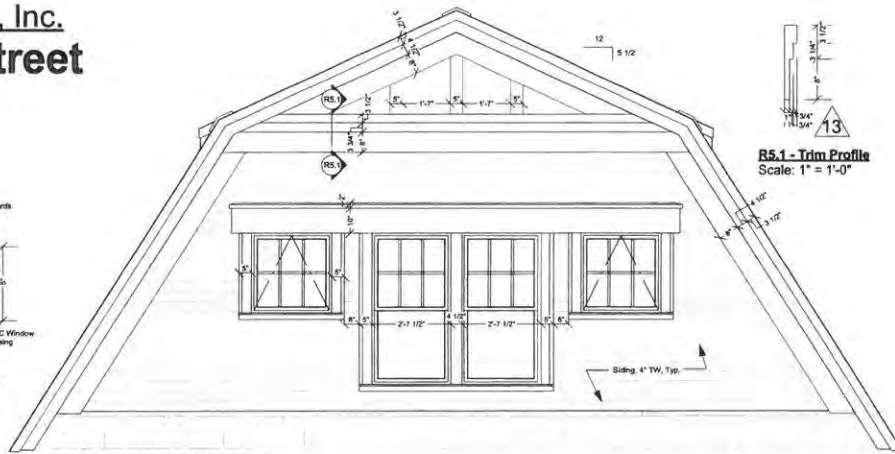
Typical Exterior Window Casing:
 Trim Band Kleer Moulding #5210K
 Scale: 1" = 1'-0"



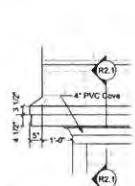
Unit 11-13 Entry Door:
 Detail @ Rear Decks
 Scale: 1/2" = 1'-0"

Unit 14 Entry Door
 Scale: 1" = 1'-0"

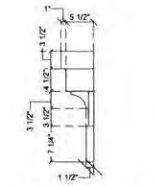
R5 - Gambrel Detail @ Front Elevation
 Scale: 1/2" = 1'-0"



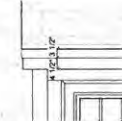
R5.1 - Trim Profile
 Scale: 1" = 1'-0"



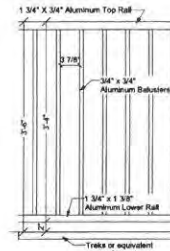
R2 - Typical Eave Detail
 Scale: 1/2" = 1'-0"



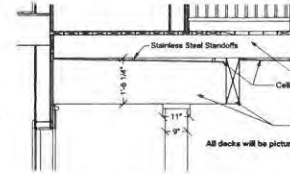
R2.1 Typical Eave Profile
 Scale: 1/2" = 1'-0"



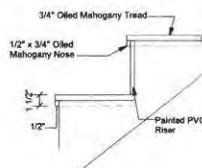
R4 - Dormer Detail
 Scale: 1/2" = 1'-0"



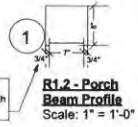
Deck Railing Detail
 Scale: 1" = 1'-0"



Detail of Ceiling Under Rear Decks
 Scale: 1/2" = 1'-0"

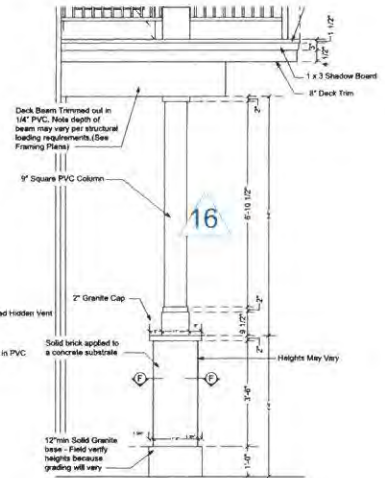


Entry Stair Detail
 Scale: 1 1/2" = 1'-0"

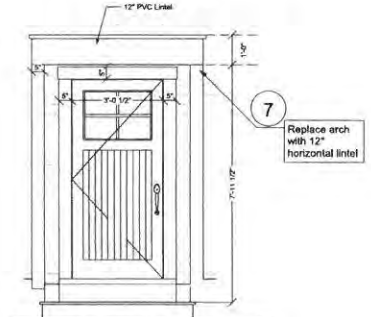


R1.2 - Porch Beam Profile
 Scale: 1" = 1'-0"

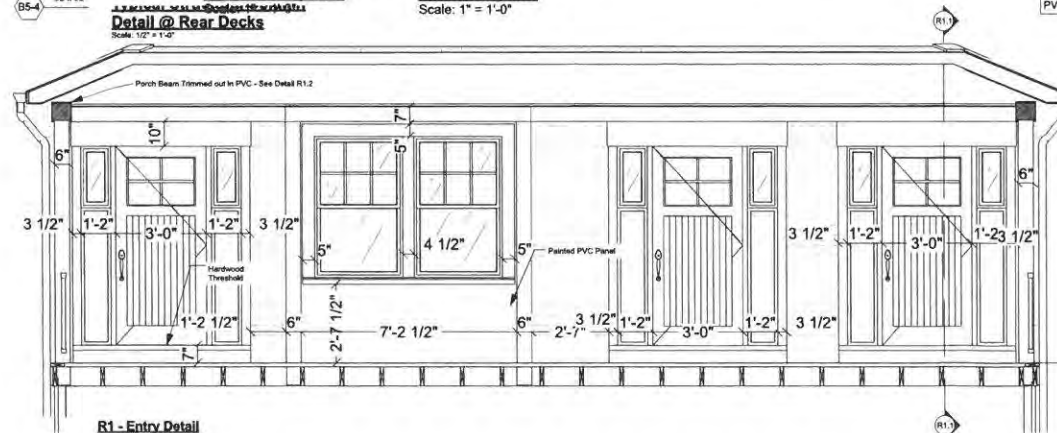
Not Shown: All windows and proud horizontal trim to have slight cant at top and flashing per good construction practice.



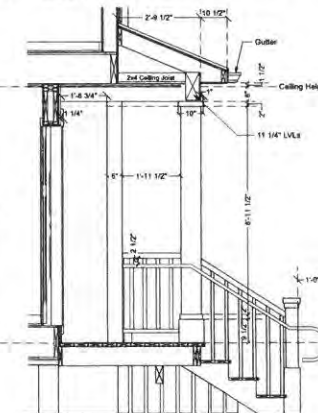
Typical Deck Column Detail
 Scale: 1/2" = 1'-0"



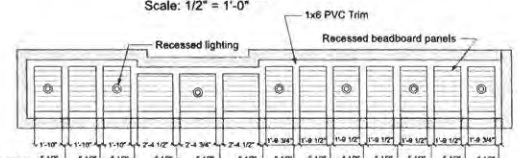
Unit 14: Entry Detail
 Scale: 1/2" = 1'-0"



R1 - Entry Detail
 Scale: 1/2" = 1'-0"



R1.1 - Cross Section @ Entry Porch
 Scale: 1/2" = 1'-0"



Reflected Ceiling Plan @ Porch
 Scale: 1/4" = 1'-0"

Drawing No.

A16

Sheet 20 of 20
 01/13/2015

2. 15 Congress Street (Windows)

ADMINISTRATIVE APPROVAL FORM

HISTORIC DISTRICT COMMISSION



Building Permit #: _____

Property Address: 15 CONGRESS ST.

Map/Lot: 117-12

Zoning District: CAS

Applicant/ Owner: WENBERRY ASSOC.

Applicant's Representative Z. GREGG.

Contact Info: _____

Proposed Project:

• WINDOW REPLACEMENT ALONG HAVEN CT.
↳ 2 WINDOWS.

Comments:

• 2 WINDOWS WERE REPLACED DUE TO DAMAGE
FROM WATER PENETRATION.
• WINDOWS WERE IN-KIND REPLACEMENTS

Exemption Reference: 10.633.30

Decision: Grant Deny Defer to HDC for Determination

Local Code Official: [Signature]

Date: 11.30.15

Note – Approval of an Administrative Approval Form does not mean the proposed project is exempt from requiring a Building Permit from the Inspection Department. Please contact the Inspection Department directly if you have any questions regarding the procedures or submission requirements for a Building Permit. Also note that approval of an Exemption Form does not supersede any requirements of the International Building Code as administered by the Inspection Department.

Lizbeth Good

From: Kelsey Loomis <kloomis@iosnh.com>
Sent: Thursday, November 12, 2015 2:52 PM
To: Vincent J. Hayes; Zac Gregg
Cc: Nicholas J. Cracknell; Lizbeth Good
Subject: RE: 15 Congress Street
Attachments: Cut Sheet for Windows.pdf; Letter to City of Portsmouth - Leak in windows 2015.docx; Windows from front.jpg; Windows from side.jpg

Good After Vincent,
I hope this email finds you well!

Per your request I have attached the following:

1. The cut sheet for the windows.
2. A description of what the damage was the lead us to replacing them.
3. Pictures of the windows in the alley

Please feel free to reach out to us with any questions.

All the best,
Kelsey

From: Vincent J. Hayes [mailto:vjhayes@cityofportsmouth.com]
Sent: Thursday, November 05, 2015 8:58 AM
To: Zac Gregg
Cc: Kelsey Loomis; Nicholas J. Cracknell; Lizbeth Good
Subject: RE: 15 Congress Street

No problem. Thank you!

From: Zac Gregg [mailto:zac@zacgregg.com]
Sent: Thursday, November 05, 2015 8:41 AM
To: Vincent J. Hayes <vjhayes@cityofportsmouth.com>; Zac Gregg <zac@zacgregg.com>
Cc: Kelsey Loomis <kloomis@iosnh.com>; Nicholas J. Cracknell <njcracknell@cityofportsmouth.com>; Lizbeth Good <lgood@cityofportsmouth.com>
Subject: Re: 15 Congress Street

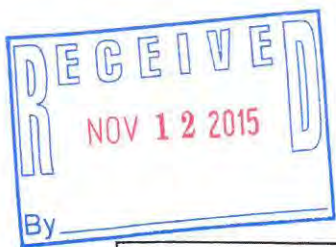
Vincent,

Sorry for the delay.

I met with our facilities team and as anticipated they did replace two windows in-kind in April/May which were damaged due to some leaking and freezing this winter.

I meant to have everything over to you this week but this week has gotten the best of us. I was hoping I could deliver this early next week, on Tuesday.

We will make it a priority.



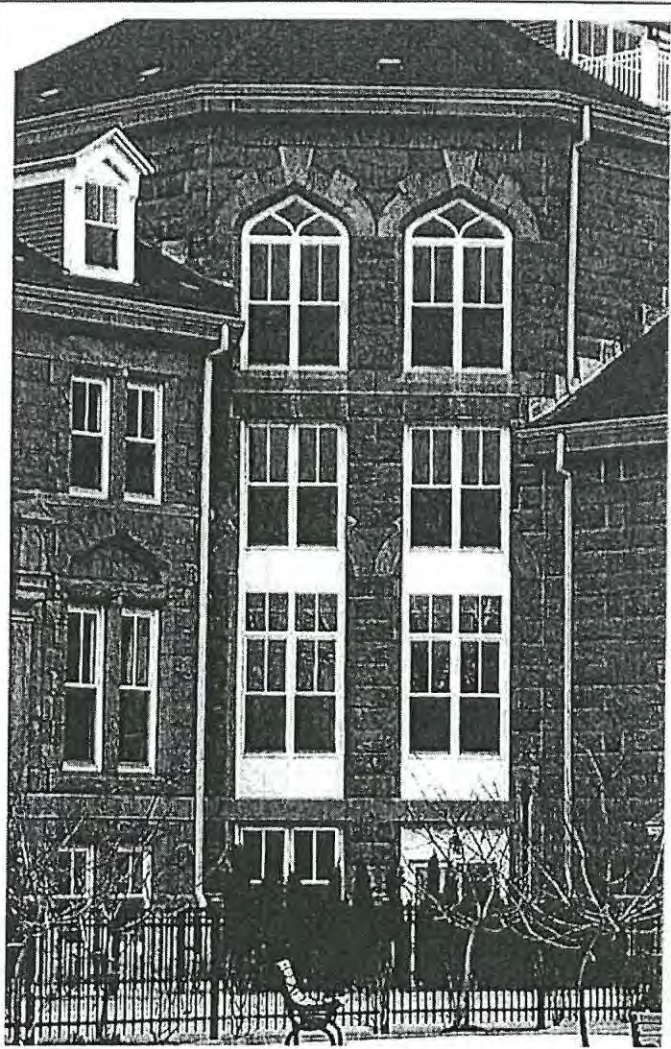
SERIES 400

Double Hung, Rated DH Heavy Commercial Thermally Improved Prime Replacement Windows

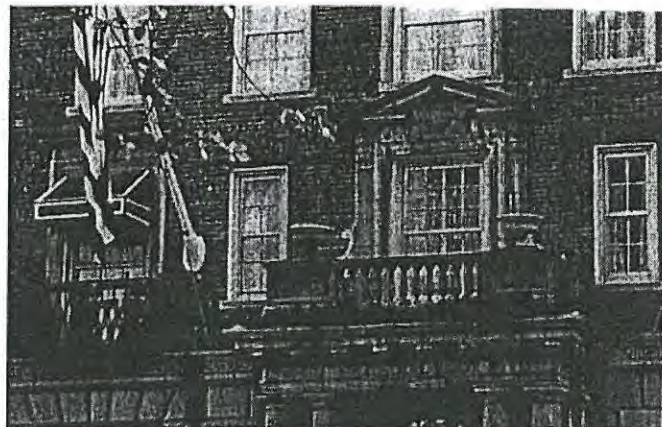
Utilizes complete Thermal Break Sash and Master Frame for optimal insulating value
 Features 1" clear insulating glass
 Deep double-step Hospital Sill provides superior ventilating and water performance
 Marine Glazing protects glass edge and assures easy repair
 Anti-Creep Lock on top sash creates stability for worry-free operation
 Telescoping Sash Engineering means the best air and water protection
 Special Tubular Sash Design gives added strength and long life
 Block and Tackle Balances are standard
 Custodial Hardware assures safe operation
 (Ideal for schools and institutional use)

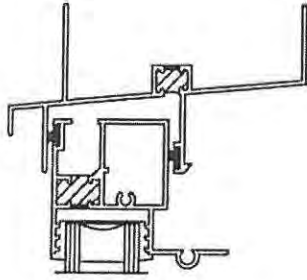
PERFORMANCE

DH-HC 40 @ 5'6x10'0 DH-HC 65 @ 4'0x6'0
 Air Infiltration @ 1.57 psf: .10
 Water Resistance @ 9.75: No entry
 Uniform Structural Load:
 60 psf @ 5'6x10'0 97.5 psf @ 4'0x6'0
 U value/conduction @ 0mph: .50
 (U=.44 with Low-E glazing)
 Operating force: 42 lbs max.
 Condensation Resistance Factor: 46

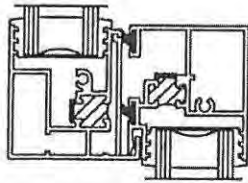


UNIVERSAL WINDOW AND DOOR, LLC.

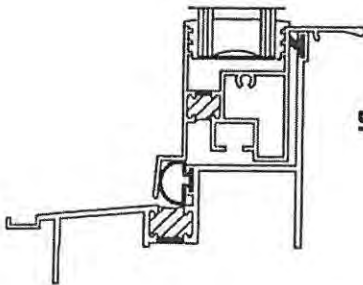




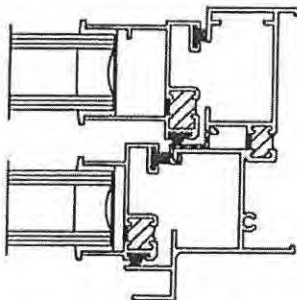
HEAD



MEETING
RAIL



SILL



JAMB

UNIVERSAL WINDOW AND DOOR, LLC.

303 Mechanic Street,
Marlborough, MA 01752
800-633-0108 508-481-2850
www.universalwindow.com

SPECIFICATIONS

General: All aluminum windows furnished as shown in the plans shall conform to the specifications in ANSI/AAMA 101-93. They are furnished with all necessary hardware, trim and miscellaneous items as specified.

Material: Aluminum used is commercial quality 6063-T5 alloy with a minimum ultimate tensile strength of 22,000 psi, free of defects impairing strength and durability, and with standard wall tolerances as defined in the Architectural Aluminum Manufacturer's Association Master Specifications for Aluminum Windows. All members of the frame and sash shall be split and bridged with a continuous structural thermal break of high density, low conductivity urethane insulation cavity fill, with removal of the extrusion cavity bridging aluminum after curing.

Weatherstripping: Equal to Fin pile or Virgin Vinyl where called for.

Construction and Operation: Windows are assembled to perform as herein specified, to assure a neat appearance and weather tight construction. All sash and frame members are firmly joined with mechanical joints using stainless steel screws into integral screw ports. Each frame corner joint is secured with two screws. Sash corner joints are telescoped for rigidity and neatness. Meeting rails have mechanical interlocks, and the horizontal rails of the upper and lower sashes have extruded handles for operating the sashes. When windows are not being expressly used for ventilation, they must be fully closed and locked. Failure to do so may result in personal injury or damage to property. All sashes are tilt type for easy cleaning. Top sashes have "Anti-Creep" latch.

Glazing: Sashes are glazed with 1" sealed insulated glass, using "Float Glass" quality, and constructed to allow field replacement of glazing material. Glazing is "Merine" type wrap around vinyl gasket, without the use of removable beads or glazing compound.

All insulated glass conforms to, and is in compliance with, ASTM E 773-83 AN E 744-74A- Class CBA.

Finish: The exposed surfaces of all aluminum members shall be clean and free of serious blemishes, scratches or tool marks. Standard finish is electrostatically applied acrylic enamel with a 5-stage chrome under-coating conforming to AAMA 603.8 standard. Standard colors are white, black, bronze, green and beige (see color chart). Other architect specified finishes may be available at additional cost.

Hardware: All fasteners, screws and other miscellaneous fastening devices shall be of non-corrosive material compatible with aluminum. Balances of appropriate size and capacity to hold each sash stationary at open position are factory installed. They meet AAMA 902.2 specification, and are easily replaceable after the window is installed. Block and Tackle balances are standard. Ultra-tilt balances are available at additional cost.

Screens: Optional half-screens shall have extruded aluminum frames securely joined at the corners, and finish will match that of the window frame. Screens are of fiberglass screen cloth 18x16 mesh held into the frame with a vinyl spline. Screens are re-wirable and easily removable by side compression of two springs. **WARNING:** Insect screens are intended to provide reasonable insect control, and are not intended to provide for the retention of objects or persons from the interior.

OPTIONS

Glass: Low-E, Soft-Coat, Solar Control, Argon, Tempered, Obscure, Wire, or Spandrel

Ultra Lift or Spiral Balances

Exterior Penning Systems (Square and Colonial types)

Interior Trim System

Receptor Systems

Flange Frame

Special Finishes and Custom Architectural Finishes

Child Guard and Vandal Screens

Internal or External Grids and External Colonial Grids

HEAD

3 3/8"

MEETING
RAIL


1 3/4"

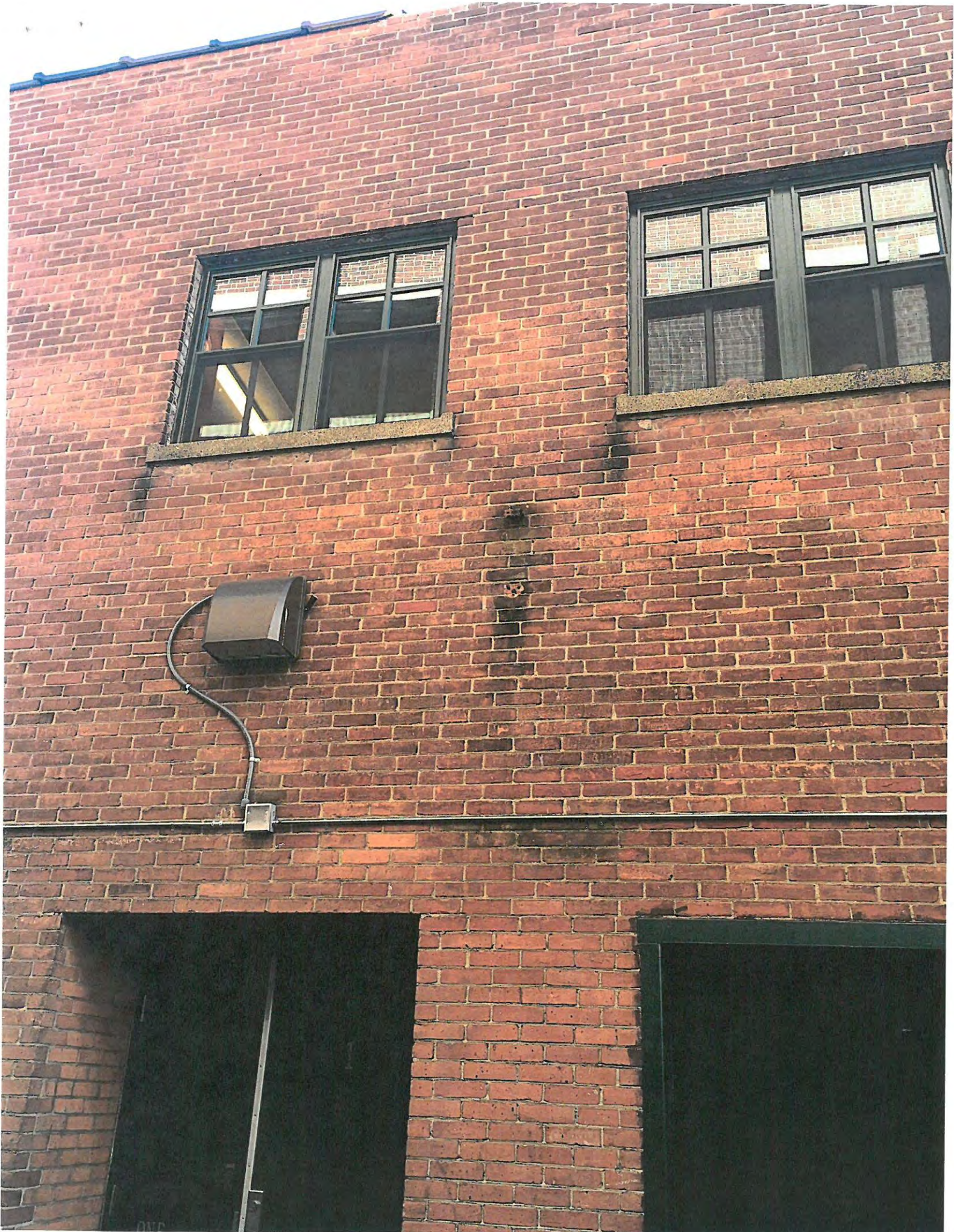
SILL

3 3/8"

JAMB

2 3/4"

	UNIVERSAL WINDOW AND DOOR www.universalwindow.com		
	SERIES #400 DOUBLE HUNG		
	SERIES #400	DRAWING NO. 400-1	SCALE HALF





3. 138-140 Maplewood Ave. (Window replacement & chimney restoration)

ADMINISTRATIVE APPROVAL FORM

HISTORIC DISTRICT COMMISSION



Building Permit #: _____

Property Address: 138-140 MAPLEWOOD AVE.

Map/Lot: 124-6

Zoning District: CD 4

Applicant/ Owner: PANTELAKOS

Applicant's Representative C. CRUMP

Contact Info: _____

Proposed Project: MODIFICATIONS INCL:

1. RESTORATION VS. REMOVAL OF EXISTING CHIMNEYS
2. RELOCATION OF 2ND FLOOR WINDOW OVER SIDE ENTRY (21)
3. ELIMINATION OF 1ST FLOOR WINDOW ON SIDE ENTRY

Comments:

4. REPLACEMENT OF ALL OTHER WINDOWS WITH SAME ANDERSON 400 S. SAME SIZE/LOC/PROP.
5. REPLACEMENT OF ALL SIDING WITH APPROVED (HANDI)
6. ALLOW AZEK MUD BOARDS ON FRONT ELEVATION.

Exemption Reference: 10.633.30

Decision: Grant Deny Defer to HDC for Determination

Local Code Official: [Signature]

Date: 11.30.15

Note – Approval of an Administrative Approval Form does not mean the proposed project is exempt from requiring a Building Permit from the Inspection Department. Please contact the Inspection Department directly if you have any questions regarding the procedures or submission requirements for a Building Permit. Also note that approval of an Exemption Form does not supersede any requirements of the International Building Code as administered by the Inspection Department.

Nicholas J. Cracknell

From: Chris Crump <chris@cw-design.com>
Sent: Tuesday, November 24, 2015 4:10 PM
To: Nicholas J. Cracknell
Cc: Vincent J. Hayes; Donna Pantelakos; Bob Dockham
Subject: 138-140 Maplewood Ave
Attachments: Pantelakos Permit Set 11-24-15.pdf

Hi Nick & Vincent,

First I just wanted to say thank-you for taking the extra time to help me on this project and get everything clarified.

Attached, please find revised plans for construction, reflecting our discussions and notes. I have made changes on the plans as you suggested stipulating certain items can be completed upon HDC approval.

As I mentioned previously, although we already have HDC approval to replace the existing chimneys with false, ornamental chimneys, the homeowner is looking to keep the existing chimneys intact upon HDC approval for the following minor stipulations:

Left Elevation

- Existing second floor window over the side entry is relocated approximately 2 feet towards the front of the house (centered over the side entry)
- Existing first floor window to the left of the side entry is eliminated.
- The farthest rear 1st floor windows are approved as shown.

Rear Elevation and Right Rear Elevations

- All doors and windows are approved as shown

The homeowner would also like to replace all existing remaining windows of the structure with the Anderson 400 series (already approved) in the same size and location as windows exist.

The homeowner would also like to replace all siding and trim on all side and rear elevations using the same materials as already approved by the board for the left elevation.

Finally, as an alternative option... on the front elevation the current sidewalk abuts the siding of the house. We currently have been approved for wood clapboard siding on the front of the house. Anticipating a possible future water / rot problem with the wood clapboard abutting the sidewalk, we would like to propose and low profile water table made of composite material to abut the sidewalk and maintain the wood clapboard siding above.

If you have any questions, need further clarification or if I have missed anything, please do not hesitate to contact me, I would be happy to review it with you.

Thanks,

Chris Crump
President

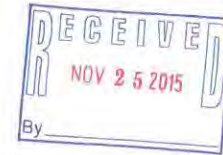
CWC Design INC.
141 Bridge Rd Suite 201
Salisbury, MA 01952

The Pantelakos Residence

138-140 Maplewood Ave.
Portsmouth, New Hampshire

Pricing Set
August 8, 2014

Revised Set November 13, 2015



WC Design

21 Willow Street www.wc-design.com
Haverhill, MA 01832 (978) 357 - 3233

The Pantelakos Residence

138-140 Maplewood Ave.
Portsmouth, Massachusetts

August 8, 2014

General Notes:

GENERAL CONTRACTOR SHALL MAKE ALL SUB-CONTRACTORS AND SUPPLIERS AWARE OF THE REQUIREMENTS OF THESE NOTES.

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DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS AND/OR SIZES. DRAWINGS MAY HAVE BEEN REPRODUCED AT A SCALE DIFFERENT THAN ORIGINALLY DRAWN.

Drawing Title:

Cover

REVISIONS:

Date:  REV 1 - 10-29-15

Date:  REV 2 - 11-13-15

Date:

ISSUE DATES

Date:

Date:

Date:

Drawing Number

Cover

The Pantelakos Residence

138-140 Maplewood Ave.
Portsmouth, Massachusetts

August 8, 2014

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Drawing Title:

Proposed First Floor Plan

REVISIONS:

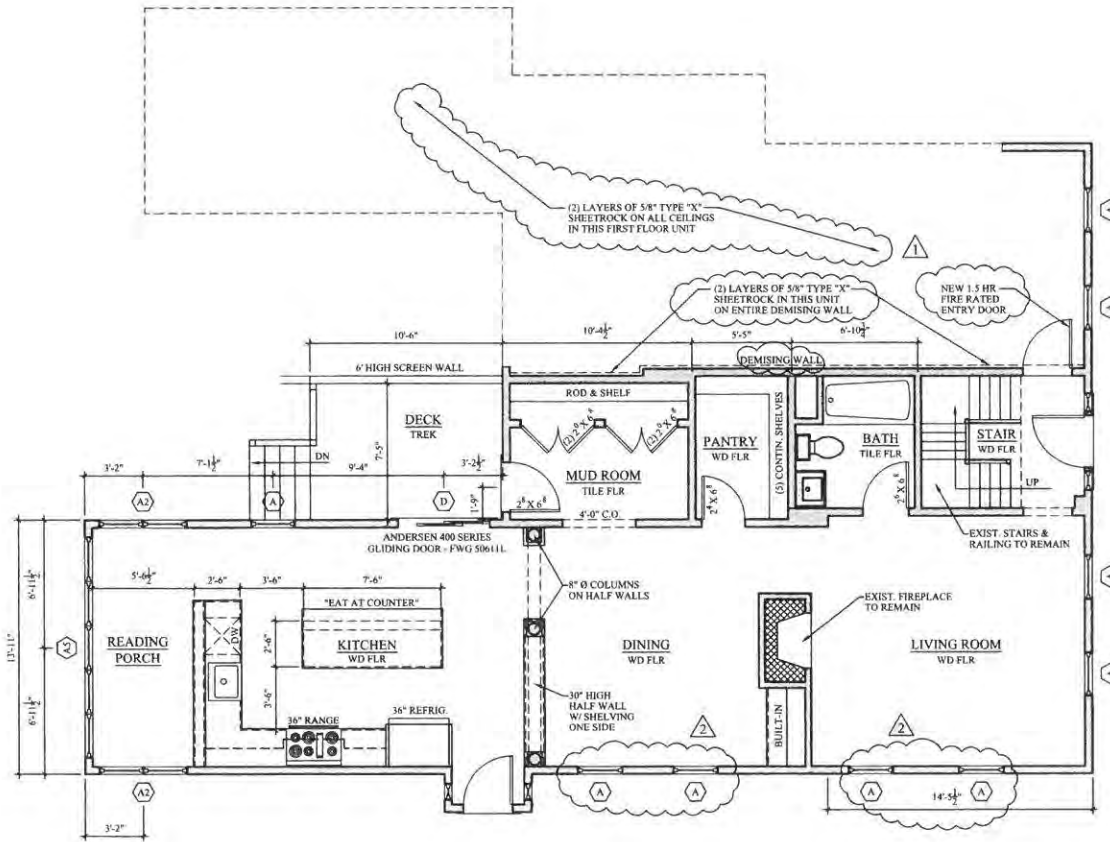
Date: Δ REV 1 - 10-29-15
Date: Δ REV 2 - 11-13-15

ISSUE DATES

Date:
Date:
Date:

Drawing Number

A-1.1



Proposed First Floor Plan
1/4" = 1'-0"

The Pantelakos Residence

138-140 Maplewood Ave.
 Portsmouth, Massachusetts

August 8, 2014

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Drawing Title:

Proposed Second Floor Plan

REVISIONS:

Date: Δ REV 2 - 11-13-15

Date:

Date:

ISSUE DATES

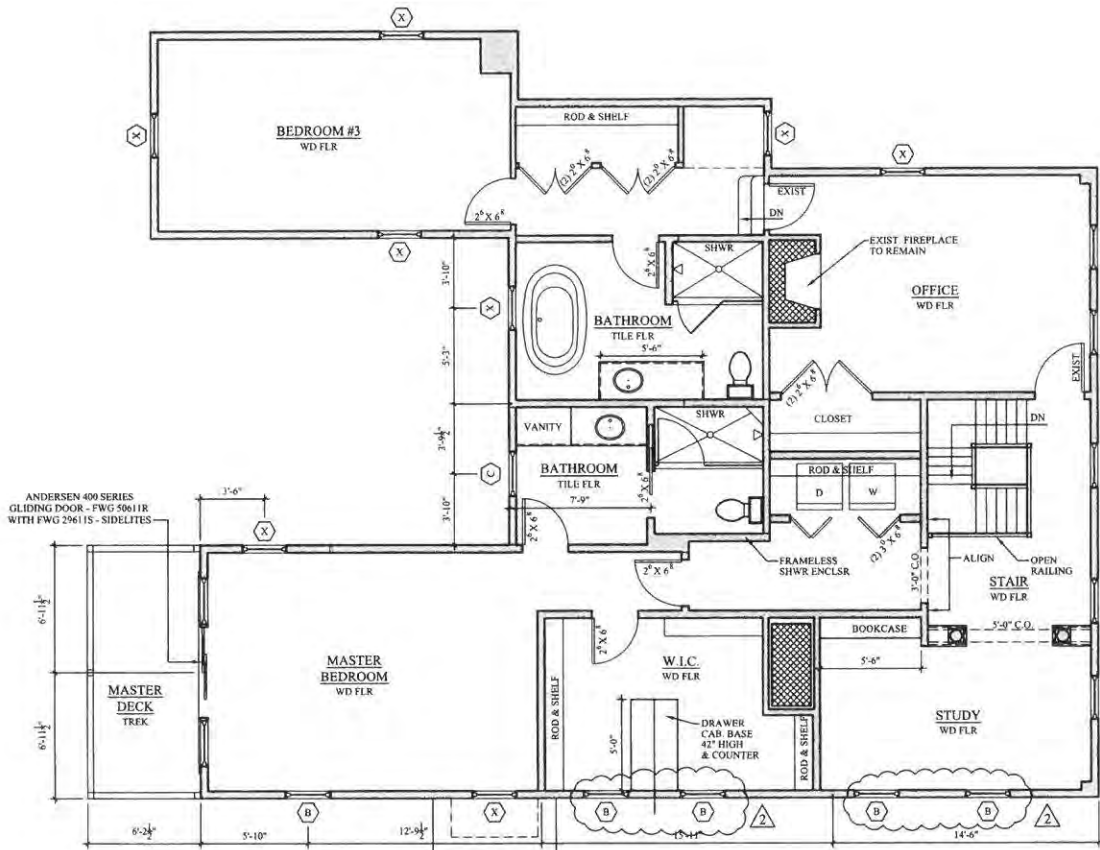
Date:

Date:

Date:

Drawing Number

A-1.2



Proposed Second Floor Plan
 1/4" = 1'-0"

The Pantelakos Residence

138-140 Maplewood Ave.
 Portsmouth, Massachusetts

August 8, 2014

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Drawing Title:

Proposed Elevations

REVISIONS:

Date: Δ REV 2 - 11-13-15

Date:

Date:

ISSUE DATES

Date:

Date:

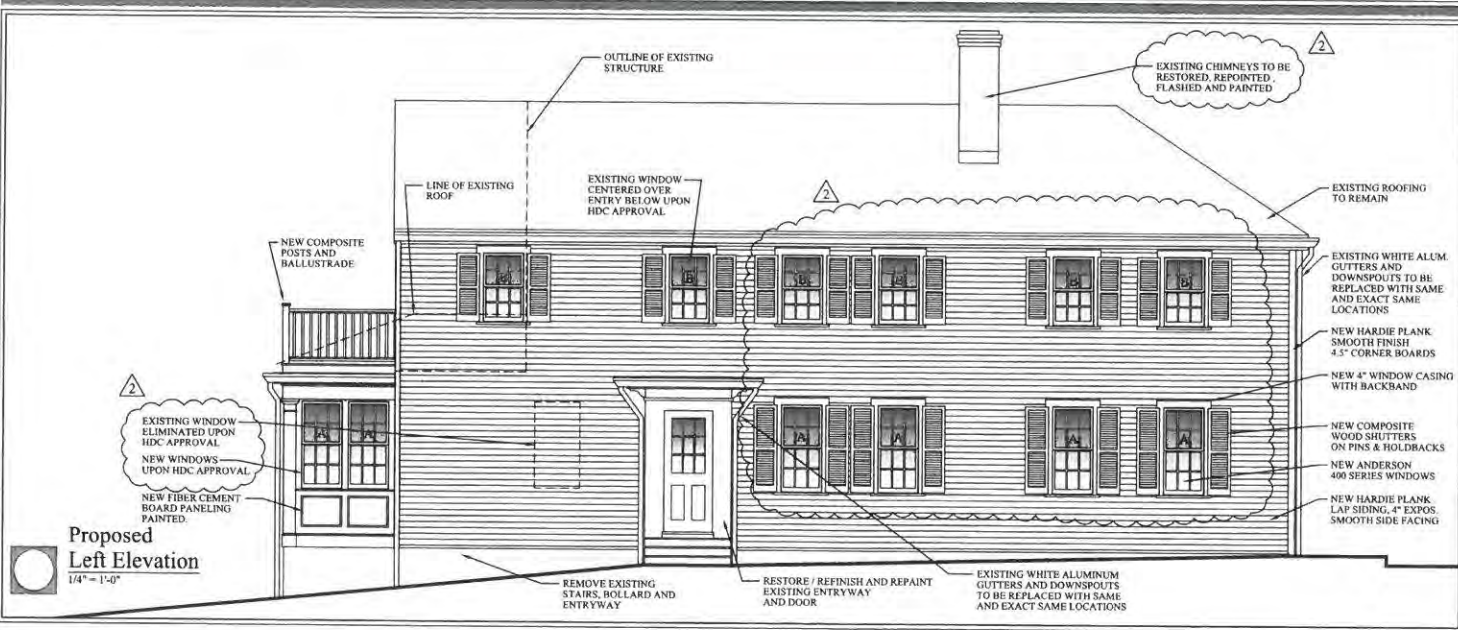
Date:

Drawing Number

A-3.0



Proposed Front Elevation
 1/4" = 1'-0"



Proposed Left Elevation
 1/4" = 1'-0"

The Pantelakos Residence

138-140 Maplewood Ave.
 Portsmouth, Massachusetts

August 8, 2014

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Drawing Title:

Proposed Elevations

REVISIONS:

Date: ² REV 2 - 11-13-15

Date:

Date:

ISSUE DATES

Date:

Date:

Drawing Number

A-3.1



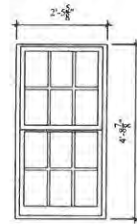
Proposed Rear Elevation
 1/4" = 1'-0"



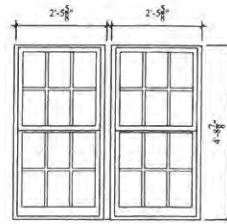
Proposed Right Rear Elevation ²
 1/4" = 1'-0"

WINDOW SCHEDULE

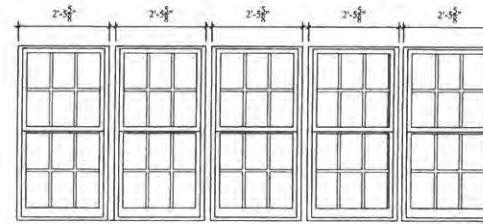
1/2" = 1'-0"



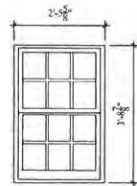
A
ANDERSON 400 SERIES
WOODWRIGHT
WDH2446
DOUBLEHUNG
SIX OVER SIX



A-2
ANDERSON 400 SERIES
WOODWRIGHT
WDH2446
DOUBLEHUNG
SIX OVER SIX



A-5
ANDERSON 400 SERIES
WOODWRIGHT
WDH2446
DOUBLEHUNG
SIX OVER SIX



B
ANDERSON 400 SERIES
WOODWRIGHT
WDH2436
DOUBLEHUNG
SIX OVER SIX

WINDOW NOTE:

NEW WINDOW SIZES WERE MANDATED BY THE PORTSMOUTH NH HISTORICAL COMMITTEE TO MATCH EXISTING WINDOW SIZES. THEY DO NOT MEET CURRENT IRC OR STATE EGRESS REQUIREMENTS IN ALL BEDROOMS. GENERAL CONTRACTOR TO HAVE NEW WINDOW SIZES APPROVED BY LOCAL BUILDING INSPECTOR PRIOR TO CONSTRUCTION.

The Pantelakos Residence

138-140 Maplewood Ave.
Portsmouth, Massachusetts

August 8, 2014

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Drawing Title:

Window Schedule

REVISIONS:

Date:

Date:

Date:

ISSUE DATES

Date:

Date:

Date:

Drawing Number

A-5.0

4. 30 Maplewood Ave. (Railing modifications)

ADMINISTRATIVE APPROVAL FORM

HISTORIC DISTRICT COMMISSION



Building Permit #: _____

Property Address: 30 MAPLEWOOD AVE.

Map/Lot: 025-2

Zoning District: CD4

Applicant/ Owner: S. KELM

Applicant's Representative J. RAMSEY

Contact Info: _____

Proposed Project:

• MODIFY PATIO SURFACE MATERIAL & RETAINING WALL DETAIL

Comments:

• COMPOSITE DECKING TO MATCH EXISTING DECK & GATE RELOCATION

Exemption Reference: 10.633.30

Decision: Grant Deny Defer to HDC for Determination

Local Code Official: [Signature]

Date: 11.30.15

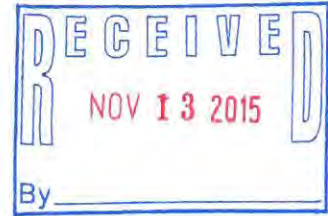
Note – Approval of an Administrative Approval Form does not mean the proposed project is exempt from requiring a Building Permit from the Inspection Department. Please contact the Inspection Department directly if you have any questions regarding the procedures or submission requirements for a Building Permit. Also note that approval of an Exemption Form does not supersede any requirements of the International Building Code as administered by the Inspection Department.

Date Application Rec'd _____

Application for Certificate of Approval

Historic District Commission

(For projects over \$25,000; Work Sessions are strongly recommended)



Owner: 30 MAPLEWOOD LLC Applicant (if different) _____

Address: 117 BON ST. CTG. 102 Address: _____
(Street) (Street)

POWERSMOUTH, NH 03801 _____
(City, State, Zip) (City, State, Zip)

Phone: 603 766 3760 Phone: _____

Signature: _____

Date of Hearing	Fee	Plans, Photos, etc.	Index/Permit #:

Location of Structure: Map _____ Lot _____ Street Address: 30 MAPLEWOOD

Description of Existing Structure: PORCH 2 STORY WITH PENTHOUSE

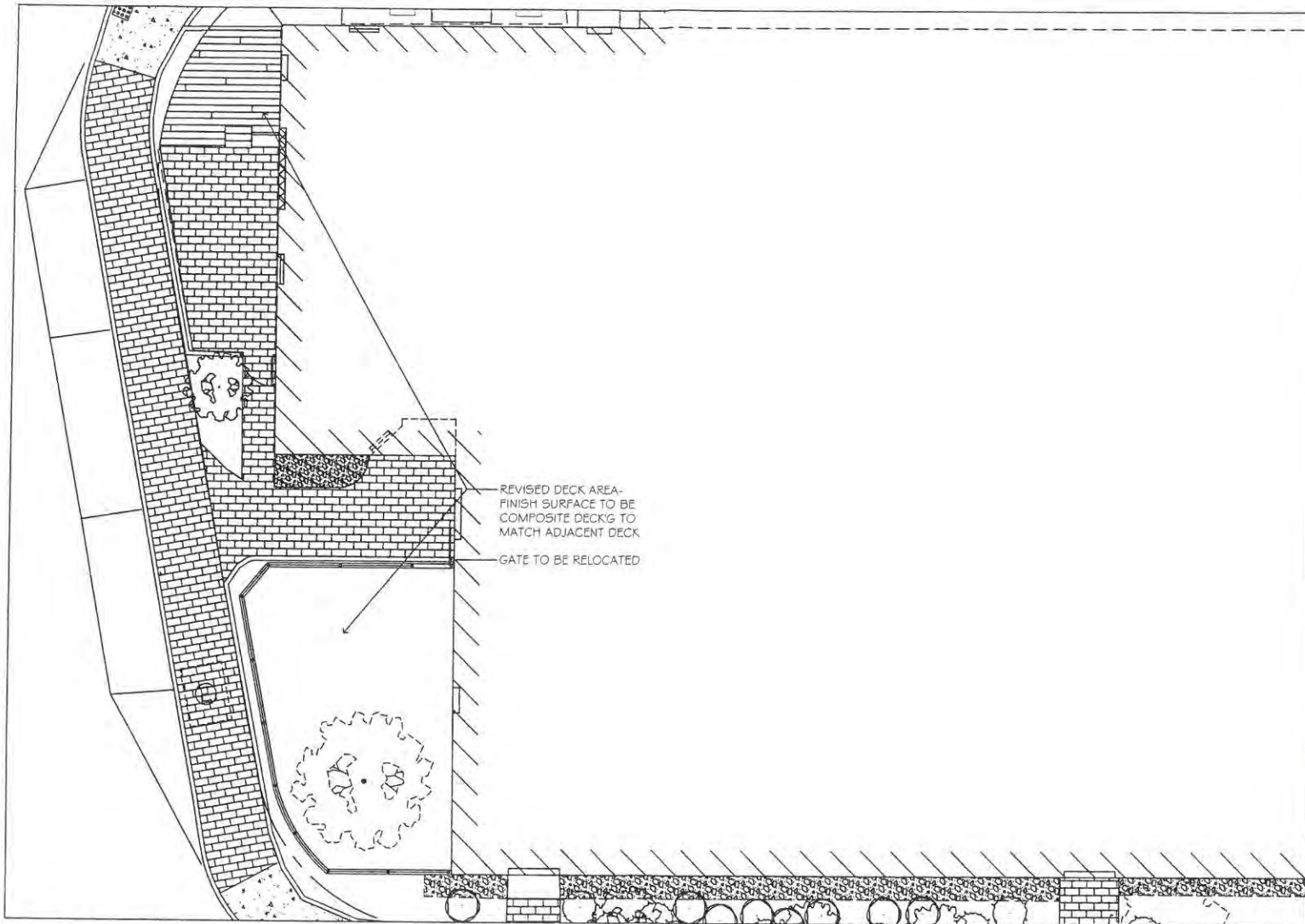
To permit the following: AMENDMENT TO A PREVIOUSLY APPROVED APPLICATION TO CHANGE PAVED SURFACE MATERIAL AND RETAINING WALL DETAIL.

Action Taken at Public Hearing	
Date:	
As Per Plan:	
Stipulations:	
Revisions #1:	
Revisions #1:	
Other:	
Signature of Chairman:	

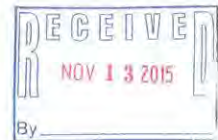
If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Owner _____



PROPOSED SITE PLAN
SCALE: N.T.S.



30 MAPLEWOOD AVENUE Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 :: Amoskeag Architectural Group 603/606.7878

SCALE: AS NOTED

PH 12.2.15

SH. 1





PREVIOUSLY APPROVED MAPLEWOOD AVE. ELEVATION
SCALE: N.T.S.

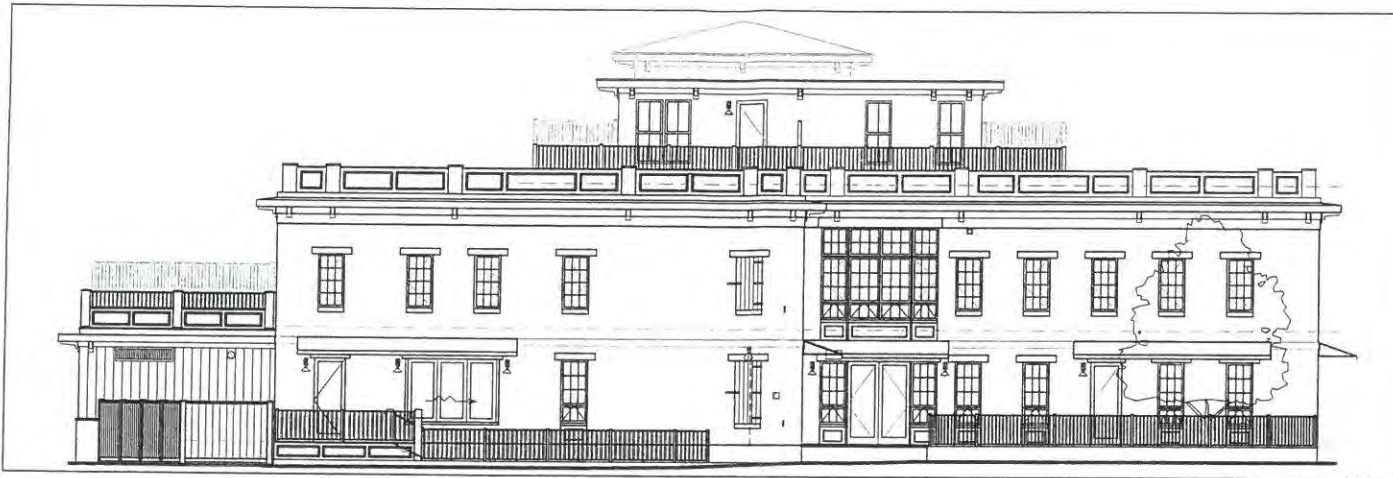


PROPOSED MAPLEWOOD AVE. ELEVATION
SCALE: N.T.S.

30 MAPLEWOOD AVENUE Portsmouth, New Hampshire
SOMMA Studios 603/766.3760 :: Amoskeag Architectural Group 603/606.7878

SCALE: AS NOTED
PH 12.2.15
SH. 2





PREVIOUSLY APPROVED HANOVER ST. ELEVATION
SCALE: N.T.S.



PROPOSED HANOVER ST. ELEVATION
SCALE: N.T.S.

30 MAPLEWOOD AVENUE Portsmouth, New Hampshire
SOMMA Studios 603/766.3760 :: Amoskeag Architectural Group 603/606.7878

SCALE: AS NOTED
PH 12.2.15
SH. 3



5. 1B Jackson Hill Street (Window replacement)

ADMINISTRATIVE APPROVAL FORM

HISTORIC DISTRICT COMMISSION



Building Permit #: _____

Property Address: 15 JACKSON HILL ST.

Map/Lot: 141-30

Zoning District: GRA

Applicant/ Owner: DAVID & JOYCE MAZZ

Applicant's Representative JOSHUA PERRY

Contact Info: 207 475 2634

Proposed Project:

• REPLACE 2 WINDOWS ON SIDE

Comments:

• SAME WINDOW AS APPROVED FOR MAIN STRUCTURE.

Exemption Reference: 10.633.30

Decision: Grant Deny Defer to HDC for Determination

Local Code Official: [Signature]

Date: 11.30.15

Note - Approval of an Administrative Approval Form does not mean the proposed project is exempt from requiring a Building Permit from the Inspection Department. Please contact the Inspection Department directly if you have any questions regarding the procedures or submission requirements for a Building Permit. Also note that approval of an Exemption Form does not supersede any requirements of the International Building Code as administered by the Inspection Department.

Replacement Windows
City of Portsmouth, NH

1 Junkins Ave. (603) 610-7243

www.cityofportsmouth.com

BOA _____
 HDC _____
 SPR _____
 CC _____

Received

**Building Permit Application -- MINOR CONSTRUCTION /
 RENOVATION and MISCELLANEOUS ACTIVITIES**

Office Use: Cost of All Construction: \$ _____ Fee: \$ _____ Chk #: _____ Cash: _____
 Zoning District: _____ HD: _____ DOD: _____ Map #: _____ Lot #: _____ Building Permit #: _____

Print in Ink or Type. Complete all blanks or indicate "N/A" if not applicable.

PROPERTY OWNER

Name: David & Joyce Marr
 Address: 1B Jackson Hill St.
 City: Portsmouth State: NH Zip: 03801
 Phone: (207) 671-4980 Cell Phone: _____
 E-mail: _____

PERMIT APPLICANT

Name: Joshua Perry
 Address: 6 Whitetail Ln.
 City: Kittery State: ME Zip: 03904
 Phone: _____ Cell Phone: (207) 475-2634
 E-mail: josh@joshuaperryrenovations.com

Street Address of Property/Project: 1B Jackson Hill Street Unit #: _____
 Contractor Name: Joshua Perry Phone: (207) 475-2634
 Existing Use of Property: Residential

Description of Work (Check all that apply)

Cost of All Construction: \$ _____

Reroofing in Historic District Remodel _____ Commercial Renovation (Plans Required)
 Siding Remodel Kitchen (Floor Plans) Electrical Work (Separate Permit)
 Replacement Windows/Doors Remodel Bathroom (Floor Plans) Plumbing Work (Separate Permit)
 Buried Tank(s)-Removal New Interior Room(s) (Floor Plans) Other Activity - **Explain Fully Below**

Expanded Description of Work: Additional 2 Replacement Windows on Shed to match the Approved Permit for Windows replaced on house. (18)

When doing remodeling, provide sketch of work area.

If structural work is involved, provide framing information in sketch format, in plan view or with cross section(s).

I certify that the information given is true and correct to the best of my knowledge. *No change from the above information will be made without approval of the Building Inspector.* Construction activities shall not commence until the Building Permit is issued. I realize that when all necessary approvals have been acquired, a Building Permit may be granted by the Building Inspector to allow construction or remodeling in conformance with this application and the plans/specifications submitted in support of said construction or remodeling only.

Painting and remodeling in dwellings and commercial child care occupancies built before 1978 require all work to be in conformance with Federal EPA rules concerning lead paint. All contractors shall be certified as required by these rules.

I further acknowledge that the proposed structure or improvements shall not be occupied or otherwise utilized without the issuance of a Building Certificate of Occupancy and only after all necessary inspections have been requested and completed. I am also aware that the disposal of waste generated from this project is my responsibility and not part of the City's Trash/Recycling Program.

ASR
 Signature of Applicant

11/13/15
 Date

Contractor
 If Not Owner, State Relationship

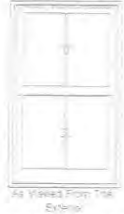
Permit Issuance Approved by Building Inspector: _____ Date _____

House REPLACEMENTS
APPROVED WINTER 2014-15

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: MUSIC RM #1 & #2	Net Price:		662.90
Qty: 2		Ext. Net Price:	USD	1,325.80



Entered As: IO
 FS 27 1/4" X 45 3/16"
 IO 27 5/8" X 44 7/8"

Ebony Clad Exterior
 Primed Pine Interior
 Clad Ultimate Insert Double Hung
 Inside Opening 27 5/8" X 44 7/8"
 8 Degree Frame Bevel
 Top Sash
 Ebony Clad Sash Exterior
 Primed Pine Sash Interior
 IG - 1 Lite
 LoE 272 w/Argon
 Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W1H
 Ebony Clad Ext - Primed Pine Int
 Ovolo Interior Glazing Profile
 Bottom Sash
 Ebony Clad Sash Exterior
 Primed Pine Sash Interior
 IG - 1 Lite
 LoE 272 w/Argon
 Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W1H
 Ebony Clad Ext - Primed Pine Int
 Ovolo Interior Glazing Profile
 Oil Rubbed Bronze Sash Lock
 White Jamb Hardware
 Half Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 3 1/4" Jamb

Initials required

Seller: _____

Buyer: _____

Line #3	Mark Unit: MUSIC RM #3	Net Price:		662.90
Qty: 1		Ext. Net Price:	USD	662.90



Entered As: IO
 FS 27 1/4" X 45 1/16"
 IO 27 5/8" X 44 3/4"

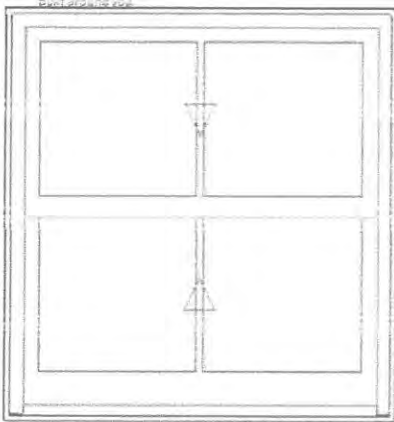
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 IG - 1 Lite
 LoE 272 w/Argon
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 5/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W1H
 Ebony Clad Ext - Primed Pine Int
 Ovolo Interior Glazing Profile
 Bottom Sash
 Ebony Clad Sash Exterior
 Primed Pine Sash Interior
 IG - 1 Lite

(2)
 SHED WINDOWS MATCHING
 18 HOUSE REPLACEMENTS

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: SHED	Net Price:	597.65
Qty: 2		Ext. Net Price:	1,195.30
		USD	



As Viewed From The Exterior

Entered As: CN
 CN 3216
 FS 37 1/4" X 39 1/2"
 RO 38 1/4" X 40"

Ebony Clad Exterior
 Primed Pine Interior
 Clad Ultimate Double Hung - Next Generation
 CN 3216
 Rough Opening 38 1/4" X 40"
 Top Sash
 Ebony Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W1H
 Ebony Clad Ext - Primed Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Ebony Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W1H
 Ebony Clad Ext - Primed Pine Int
 Ogee Interior Glazing Profile
 White Interior Weatherstrip Package
 Black Exterior Weatherstrip Package
 Oil Rubbed Bronze Sash Lock
 Half Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 4 9/16" Jamb
 Nailing Fin

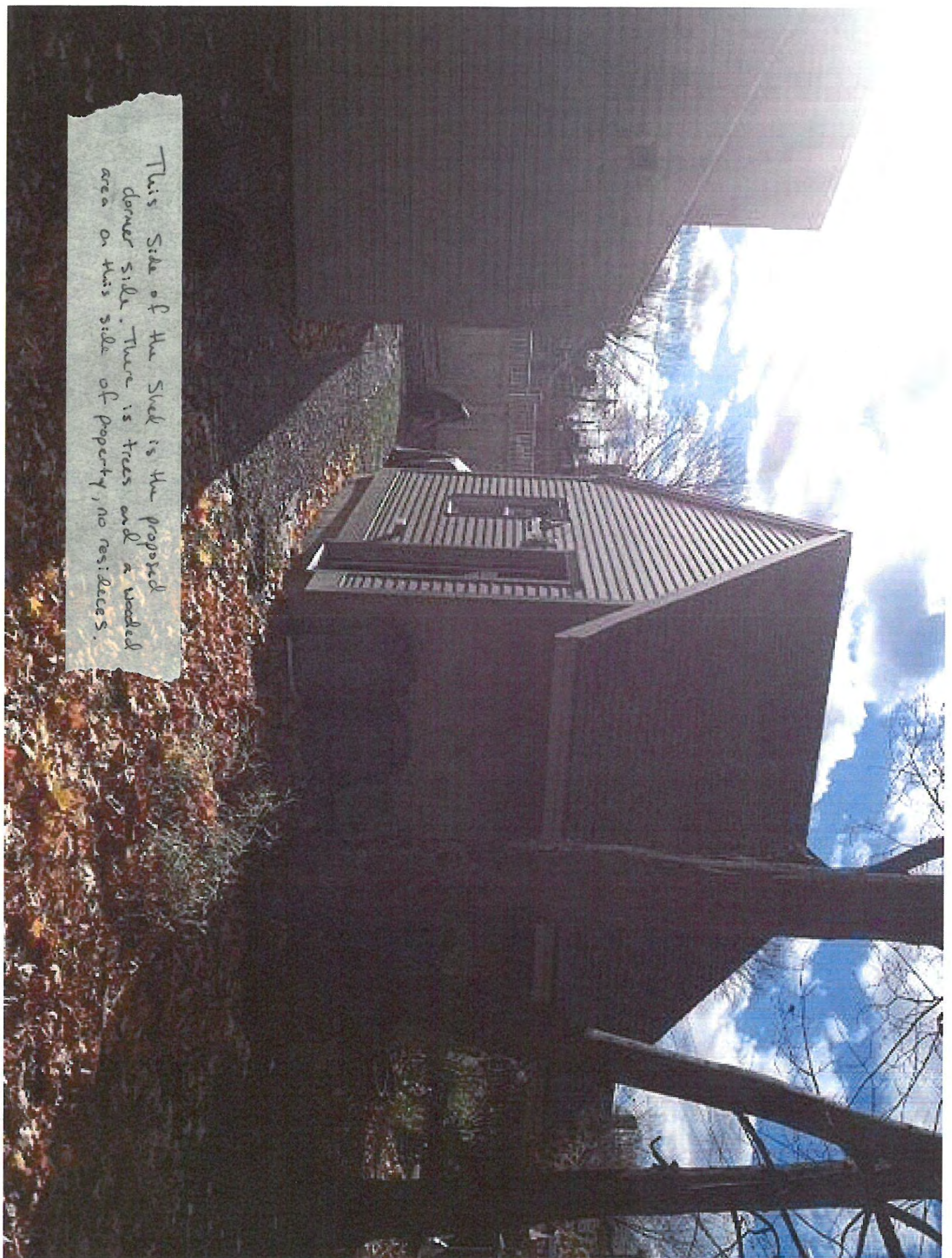
Initials required

Seller: _____

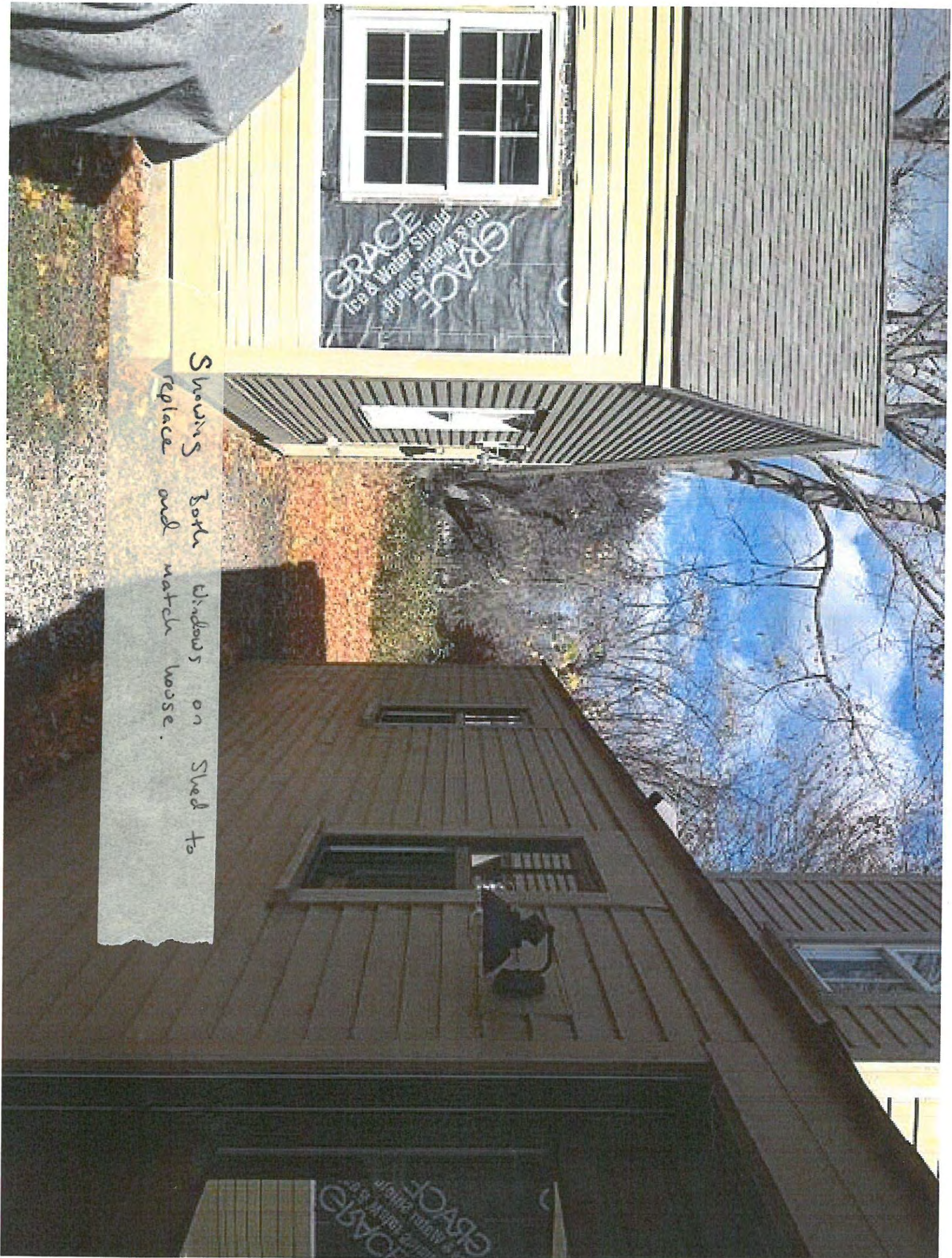
Buyer: _____

Project Subtotal Net Price: USD 1,195.30
 0.000% Sales Tax: USD 0.00
 Project Total Net Price: USD 1,195.30

This Side of the Shed is the proposed
dormer side. There is trees and a wooded
area on this side of property, no residences.



Shows Both windows on Shed to
replace and match house.



7. 65 Washington Street (Screening for Temporary Porta Potties)

ADMINISTRATIVE APPROVAL FORM

HISTORIC DISTRICT COMMISSION



Building Permit #: _____

Property Address: 65 WASHINGTON ST.

Map/Lot: 104-7

Zoning District: MRO

Applicant/ Owner: STRAWBERG BANK

Applicant's Representative R. ROWLAND

Contact Info: 603 422 7525

Proposed Project:

3. TEMPORARY SCREEN FOR PORTA-POTTY TOILETS

1. SCREEN PROPANE TANK & ELECTRIC PANELS

2. ADD STEPS TO TICKET / WARMING PAVILION.

Comments:

DESIGNED TO MATCH EXISTING TEMP SCREENS
ASSOCIATED WITH TEMP. SKATING RINK.

Exemption Reference: 10.633.20

Decision: Grant Deny Defer to HDC for Determination

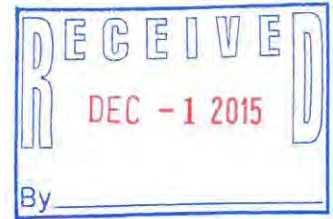
Local Code Official: [Signature]

Date: 11.30.15

Note - Approval of an Administrative Approval Form does not mean the proposed project is exempt from requiring a Building Permit from the Inspection Department. Please contact the Inspection Department directly if you have any questions regarding the procedures or submission requirements for a Building Permit. Also note that approval of an Exemption Form does not supersede any requirements of the International Building Code as administered by the Inspection Department.



December 1, 2015



Nick Cracknell
Principal Planner
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

Dear Mr. Cracknell:

Strawbery Banke Museum would like to ask for HDC administrative approval for the following changes at Labrie Family Skate Facility. Please find photographs enclosed in support of this request. All changes, as with the all rink facilities are temporary site amendments in place from mid-November to mid-March.

1. Replace the plastic blue barrels from last year with board and baton screens at both the propane tank and electrical panel locations. These screens are temporary, are not attached to the ground and duplicate the design materials of the rink sheds and chiller enclosure.
2. Add steps to the top landing of ticket/warming pavilion. This would provide us with two egresses off the landing, one ramp and one stair. Make it easier for guests to enter and exit and for skaters to access the portable toilets when in place. Building Inspector strongly urged us to add these steps.
3. Portable toilet screen to match board baton screens noted above and in pictures. This would be placed behind portable toilets (3) to screen them from Hancock Street.

Thank you for your consideration of these changes.

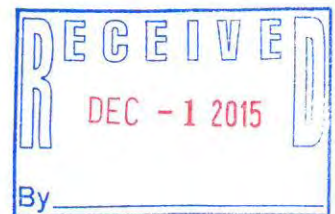
Best,

Rodney D. Rowland
Director of Facilities

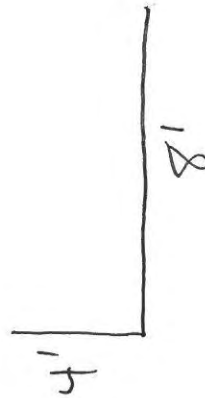


Item 1 ~~2~~

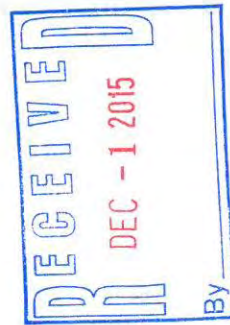
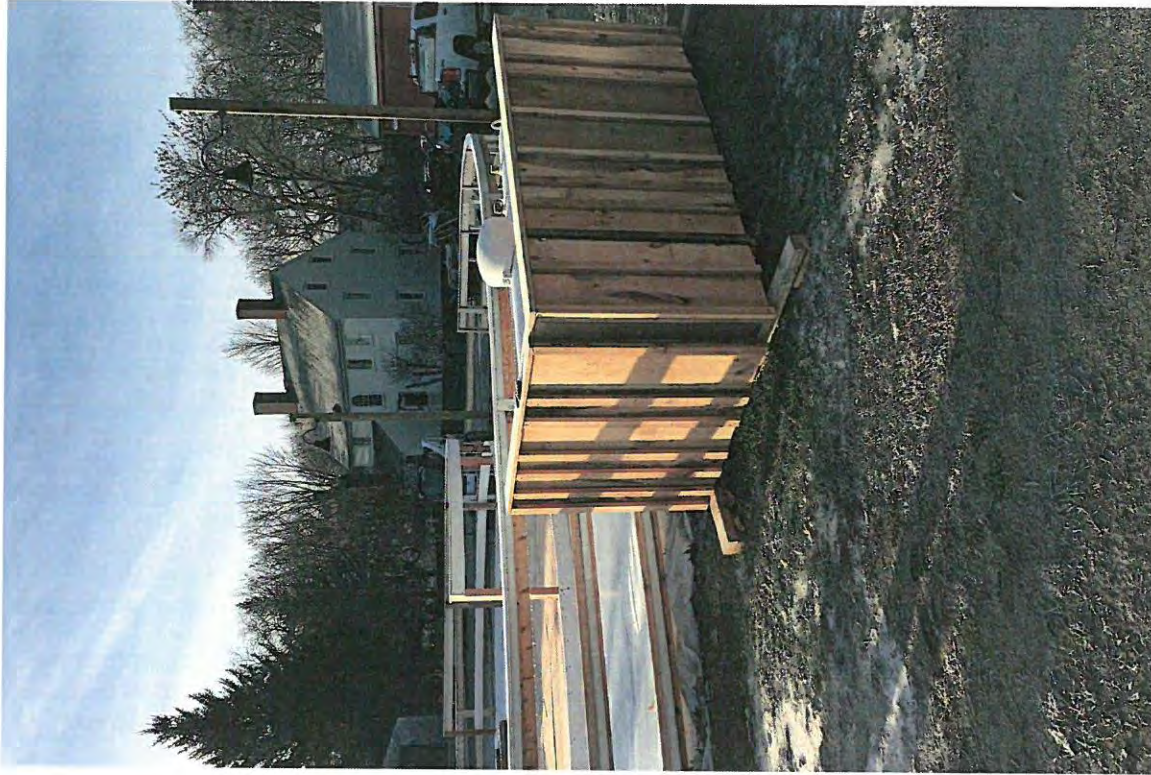
Location of Propane Tank
Screen and Electrical Panel
Screen

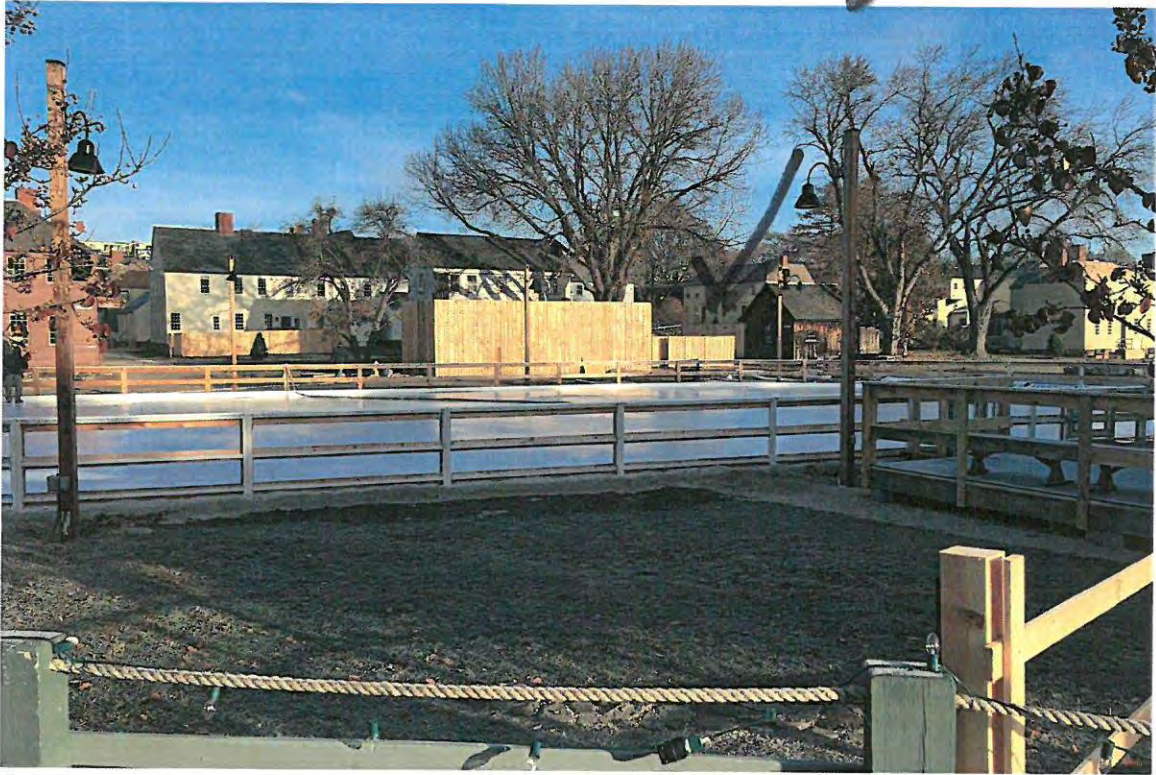


Item 1
Propane Tank Screen



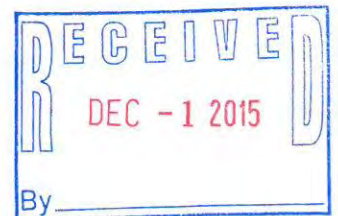
H = 3' 10"





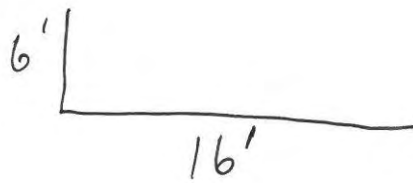
ITEM 1

LOCATION of Electrical PANEL
Screen.

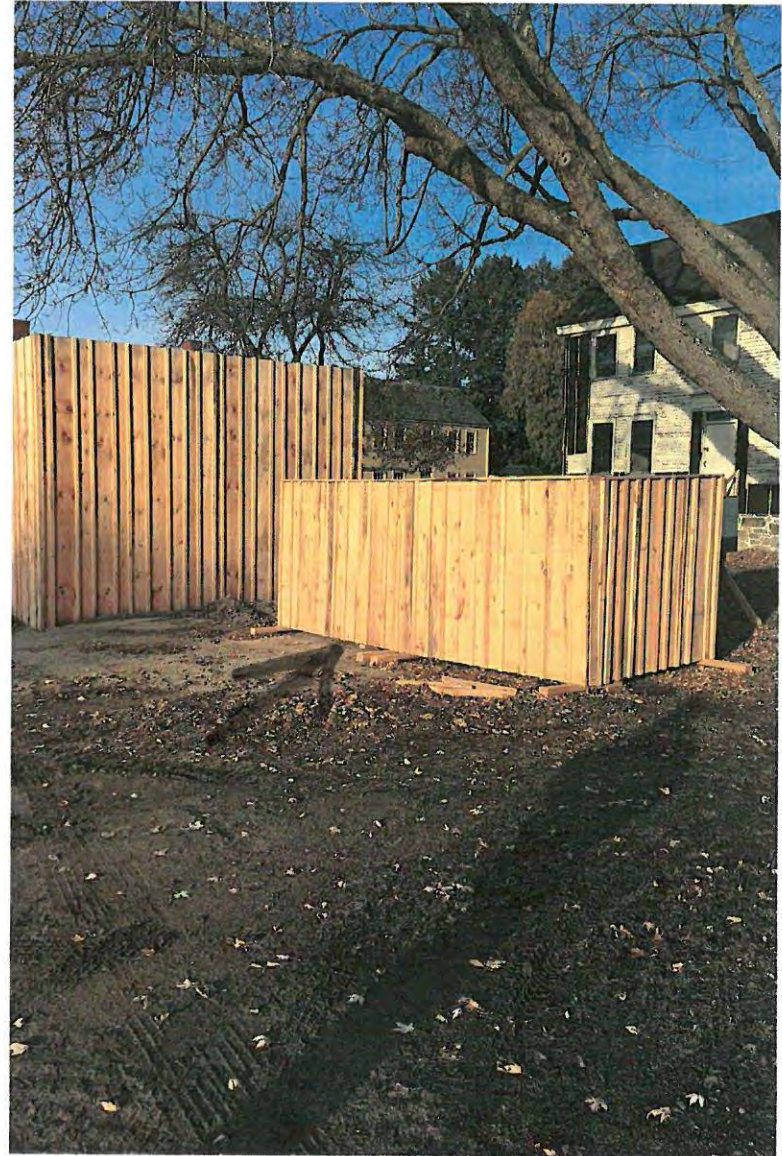
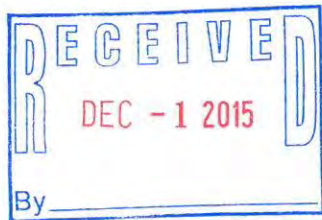


ITEM 1

ELECTRICAL PANEL SCREEN



H=6'



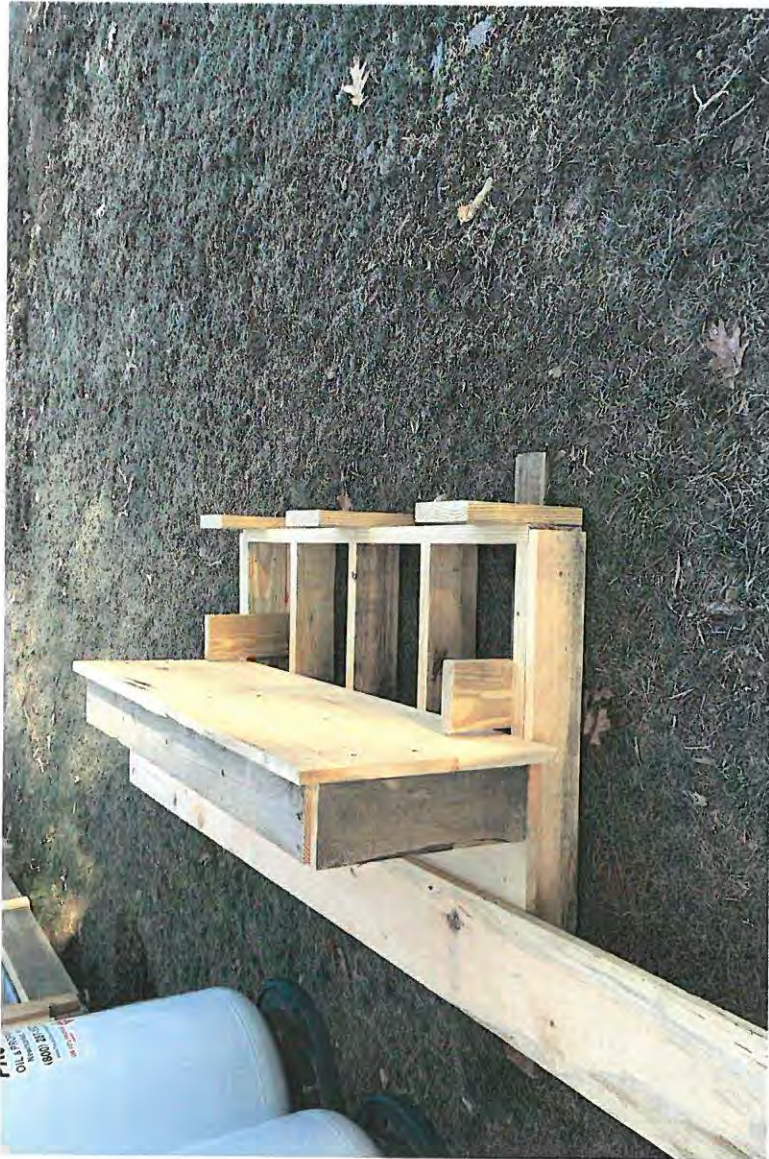
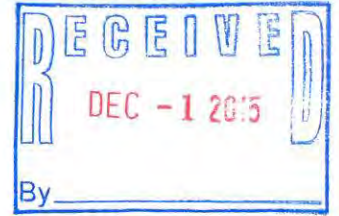


4

ITEM 2

Location of proposed
landing steps

RECEIVED
DEC -1 2015
By _____



Item 2

PROPOSED STEPS
FOR Pavillion landing.
When done be 2
6 inch steps with
railing to match
existing.



ITEM 3

PORTABLE TOILET
SCREEN (UNDER TREES)

12' LONG
6' HIGH