

HDC

ADMINISTRATIVE APPROVALS

June 03, 2020

- | | | |
|----|-----------------------------------|-----------------------|
| 1. | 133 Islington Street (LUHD-148) | -Recommended Approval |
| 2. | 14 Mechanic Street (LUHD- 147) | -Recommended Approval |
| 3. | 140 Court Street (LUHD-146) | -TBD |
| 4. | 142 Congress Street (LUHD-T.B.D.) | -TBD |

1. 133 Islington Street

- Recommended Approval

Background: The applicant is seeking approval for the construction of (3) wood-framed balconies on the existing building. Two are on the ground-floor of the side yard and one is on the second floor at the rear of the building. Note that the applicant has been requested to submit authorization from the condo association for this work.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-148

Status: Active

Submitted: May 26, 2020

Applicant



Paul Jackson

813-624-1356

@ paul@jacksongc.com

Location

133 ISLINGTON ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

The HOA on behalf of unit #'s 8, 9, 10, and 11 wishes to build wood framed balconies giving access from their respective kitchen/living areas to outside seating patio structures. This application is for administrative approval for these proposed structures. The proposed structures do not encroach the limits of the property's side setbacks, height, coverage limitations or any other restriction characteristic of the property.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Full Name (First and Last)

Paul Jackson

Mailing Address (Street)

133 Islington St, Unit # 9

Phone

813-624-1356

Relationship to Project

Other

City/Town

Portsmouth

Email Address

paul@jacksongc.com

Zip Code

03801

If you selected "Other", please state relationship to project.

Owner and Contractor

Business Name (if applicable)

--

State

NH

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true



BREWSTER ST



COVERAGE DIAGRAM (BASIS - SURVEY BY JOHN R CHAGNON, 12/08/2004)

SCALE: 1" = 40'

MINOR DECK ADDITIONS AT 133 ISLINGTON STREET OF 368 sq ft.

PROPERTY TOTAL AREA - 16,397 sq ft.

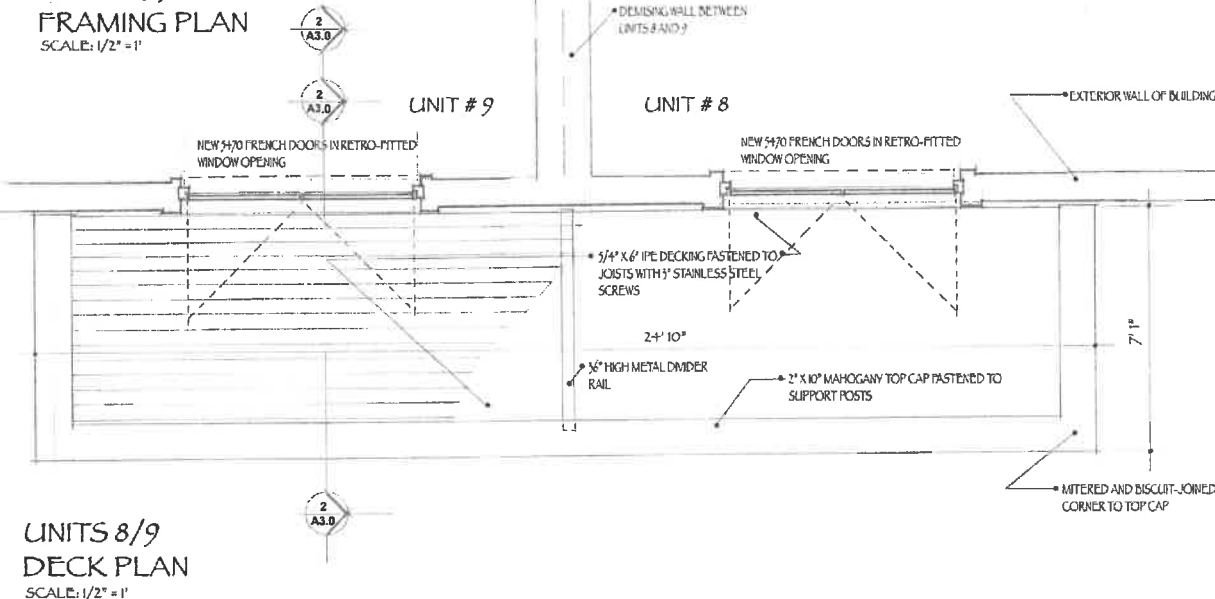
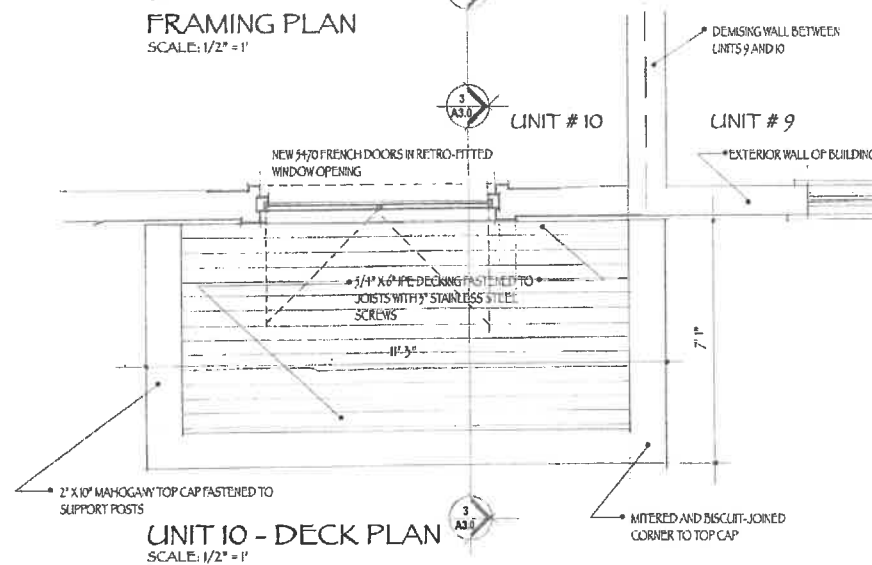
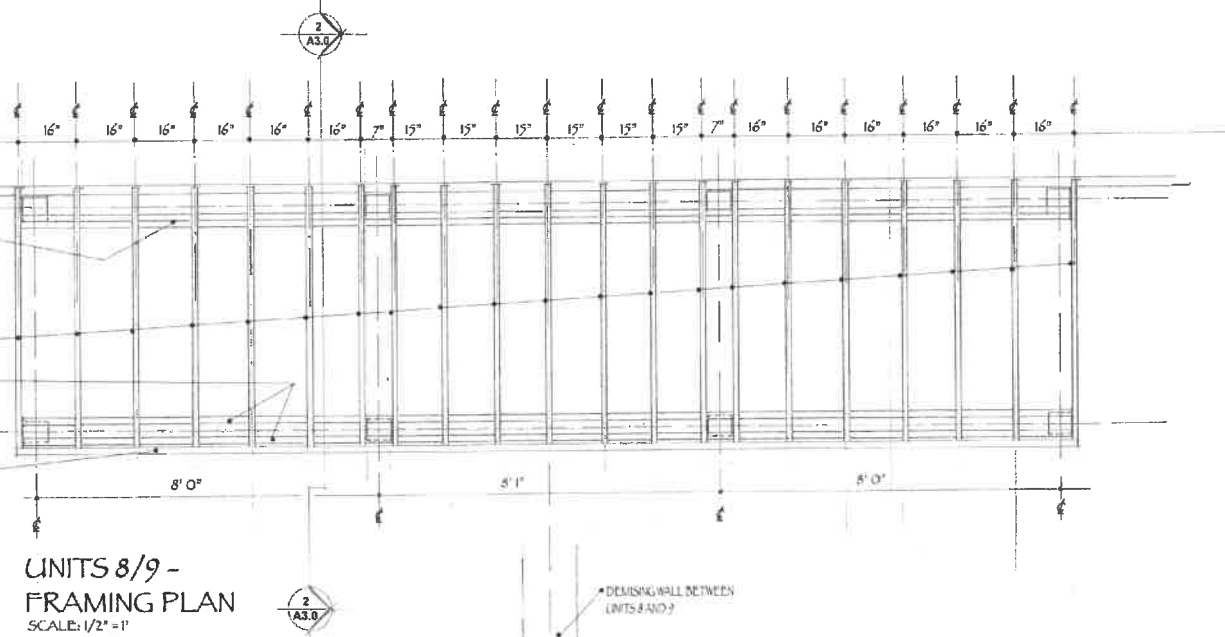
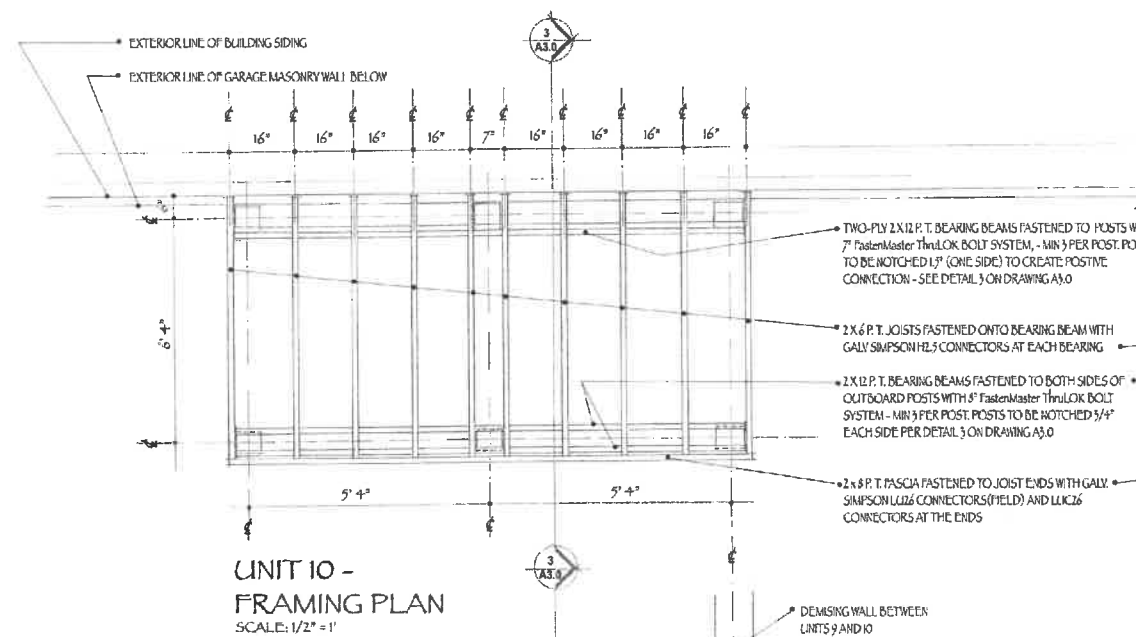
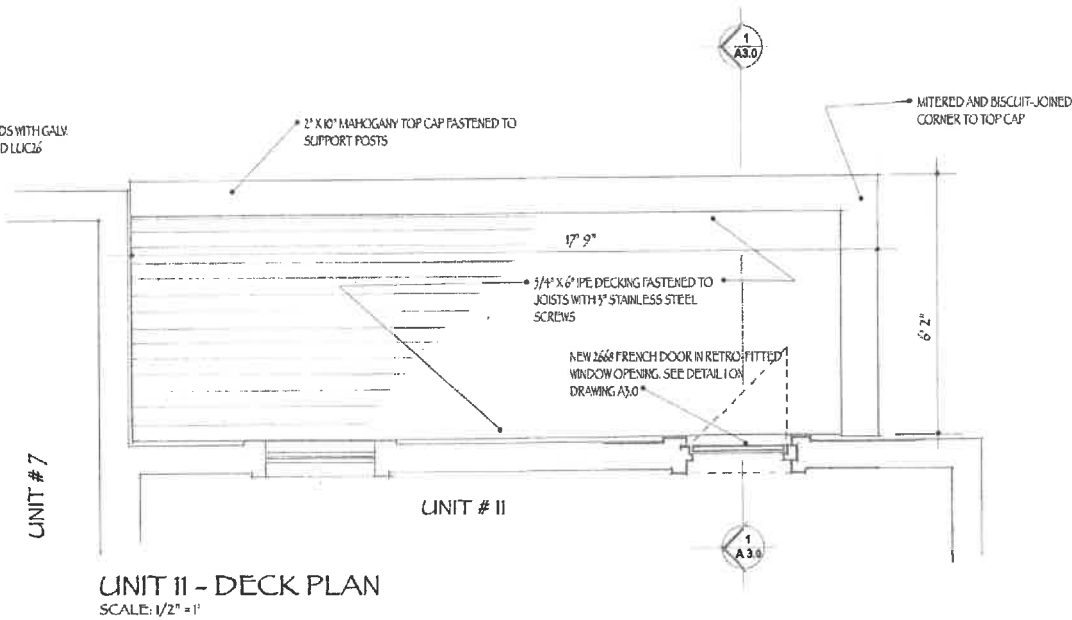
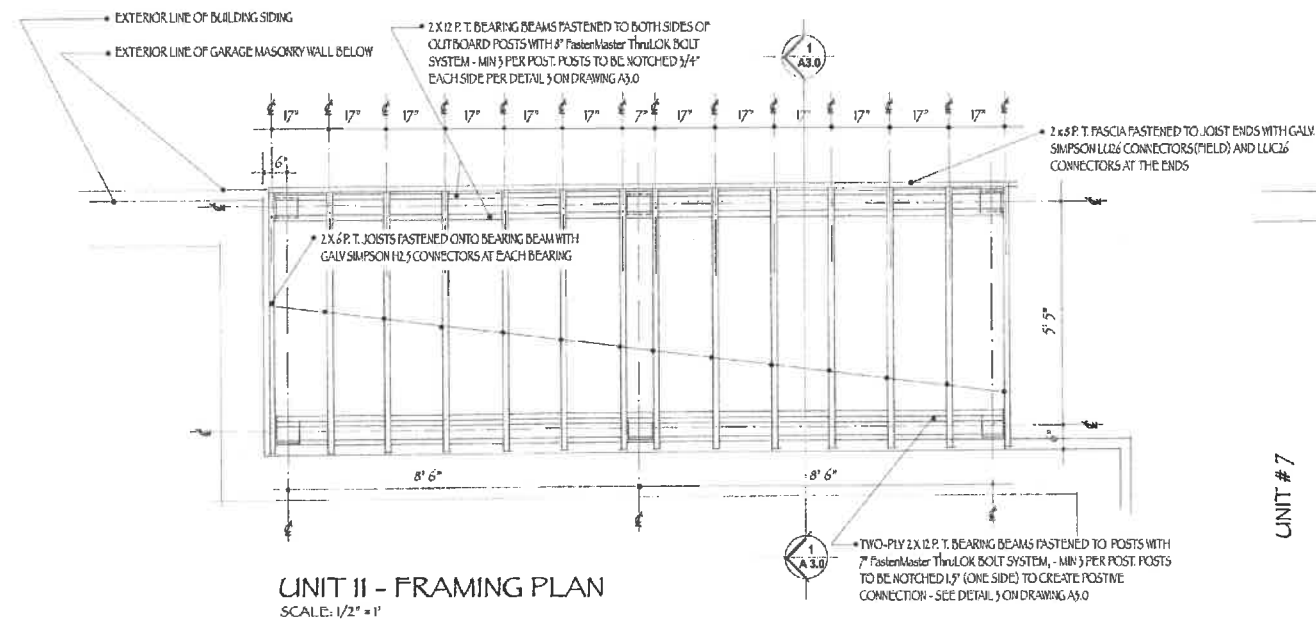
EXISTING BUILDING FOOTPRINT - 8,639 sq ft

PROPOSED BUILDING FOOTPRINT - 9,007 sq ft

EXISTING BUILDING COVERAGE - 52.69%

PROPOSED BUILDING COVERAGE - 54.41%

A 5.0



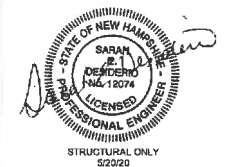
CONTRACTOR
JGC
JACKSON GENERAL CONTRACTING

STRUCTURAL ENGINEER

JSN ASSOCIATES
1 AUTUMN STREET
PORTSMOUTH, NH 03801
603-433-6679

GENERAL CONTRACTOR

JACKSON GENERAL CONTRACTING
13 ISLINGTON ST
PORTSMOUTH, NH 03801
85-624-056



PROJECT LOCATION:

133 ISLINGTON ST
PORTSMOUTH, NH

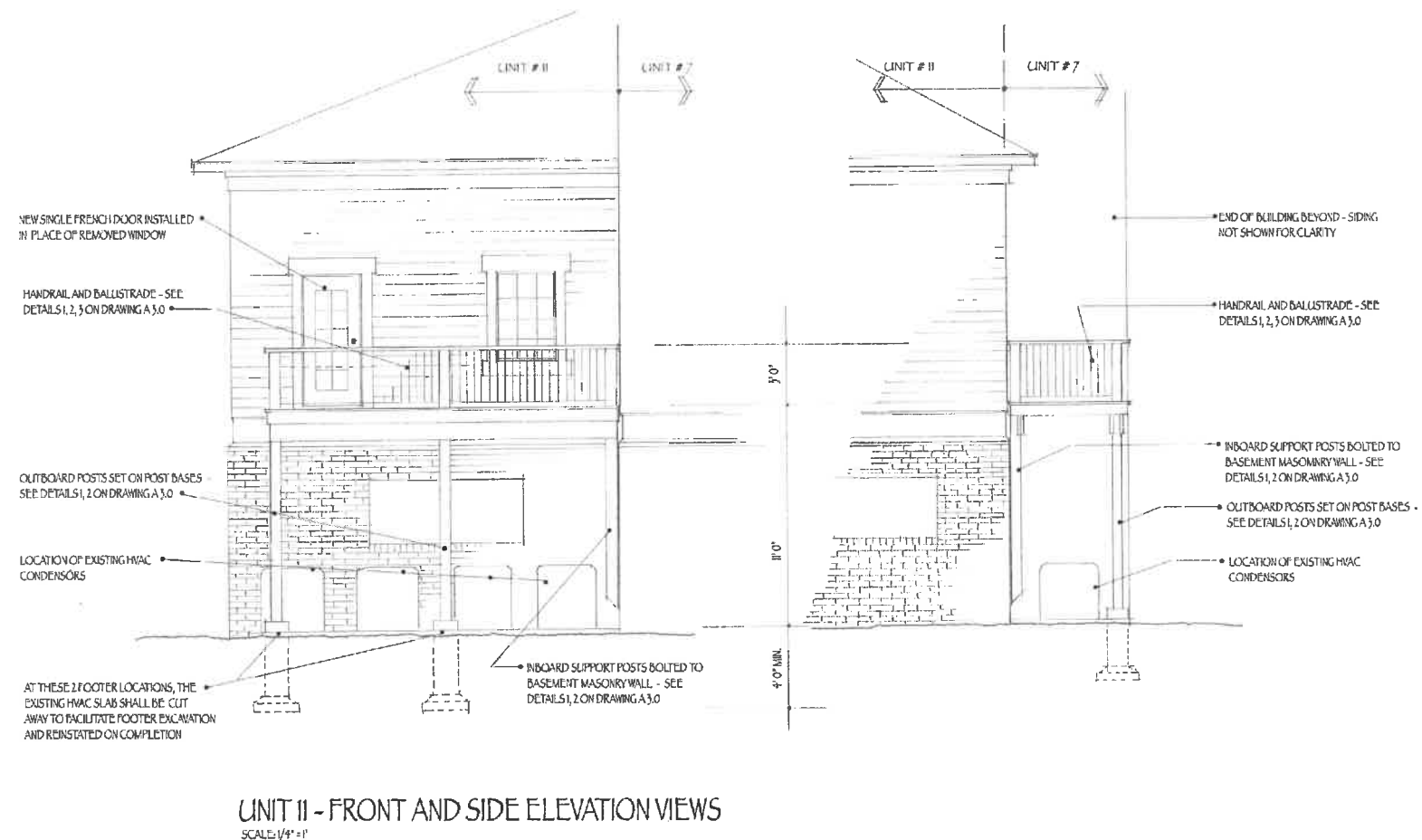
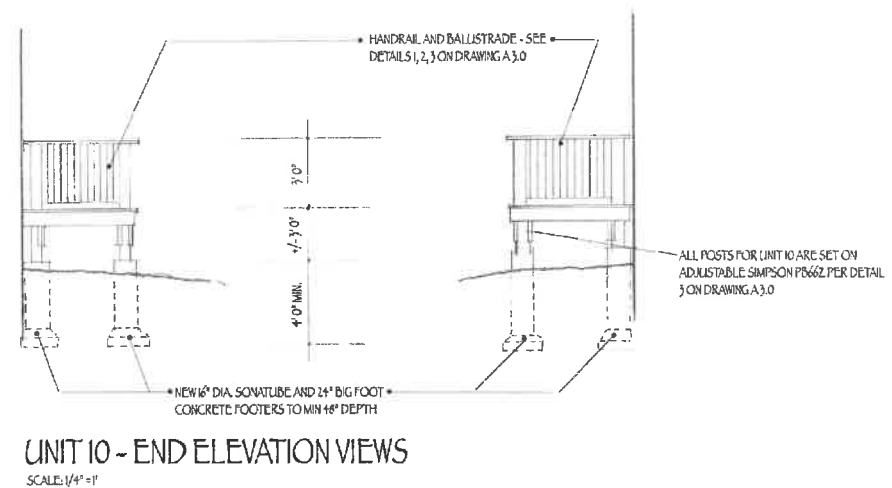
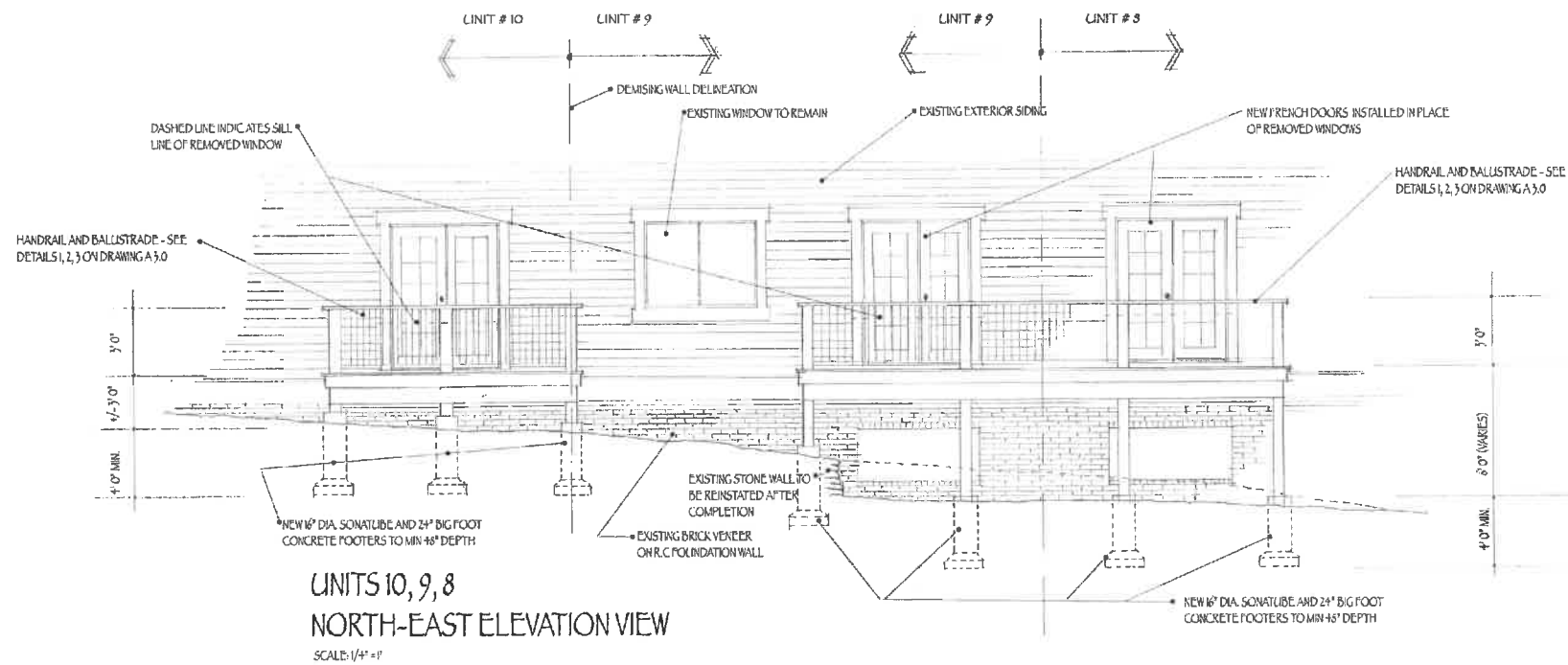
TITLE
PLAN VIEWS

DRAWN BY
PVJ

REVISIONS
05/19 - STRUCT DETAIL REVISIONS

SHEET #

A 1.0



CONTRACTOR

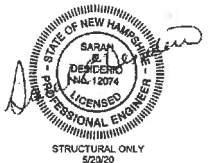
JGC
JACKSON GENERAL CONTRACTING

STRUCTURAL ENGINEER

JSH ASSOCIATES
1 ALUTOWN STREET
PORTSMOUTH, NH 03801
603-433-6692

GENERAL CONTRACTOR

JACKSON GENERAL CONTRACTING
133 ISLINGTON ST
PORTSMOUTH, NH 03801
603-424-1556



PROJECT LOCATION:

133 ISLINGTON ST
PORTSMOUTH, NH

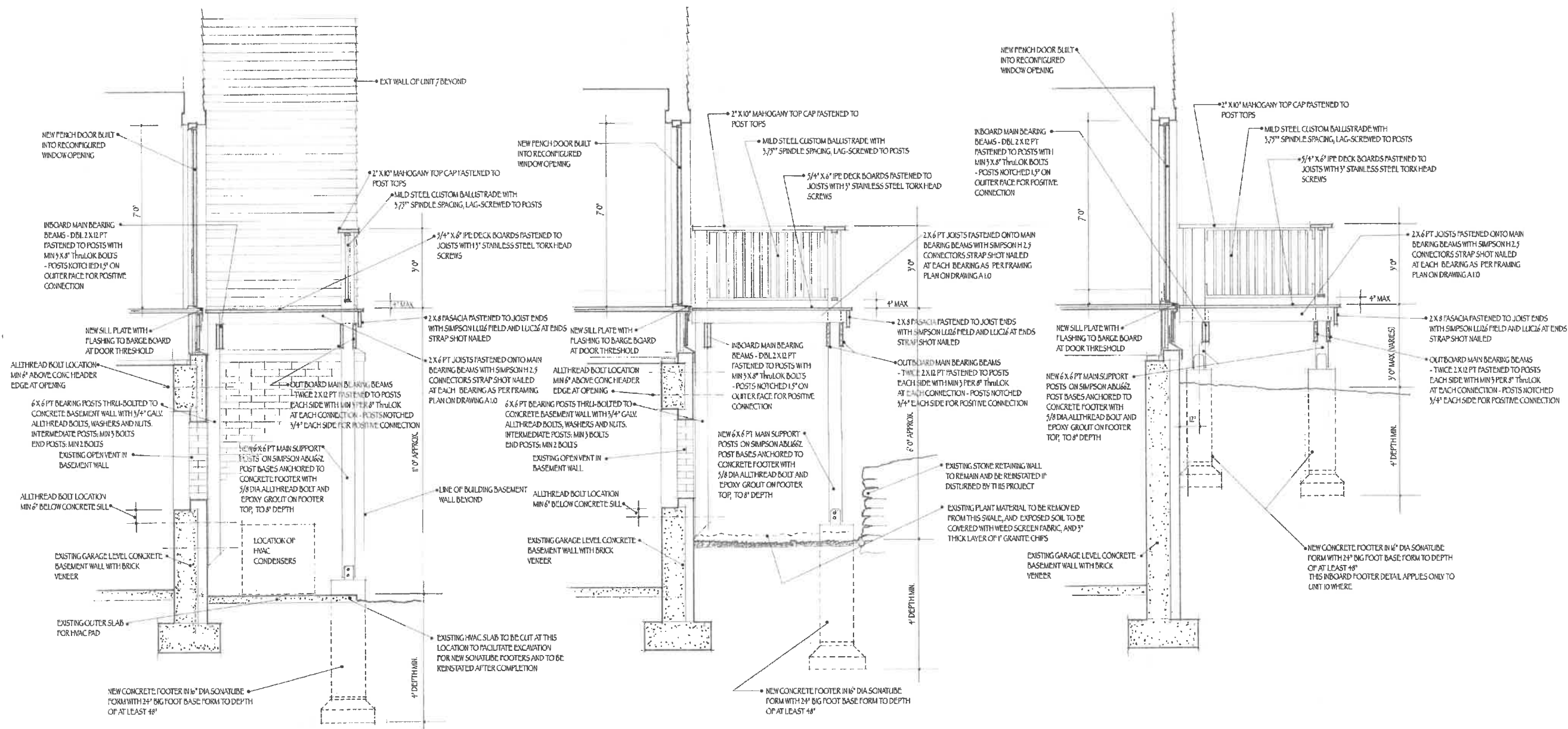
TITLE
ELEVATION VIEWS

DRAWN BY
PVJ

REVISIONS
05/19 - STRUCT DETAIL REVISIONS

SHEET #

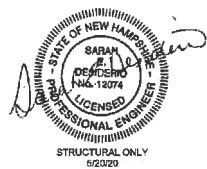
A 2.0

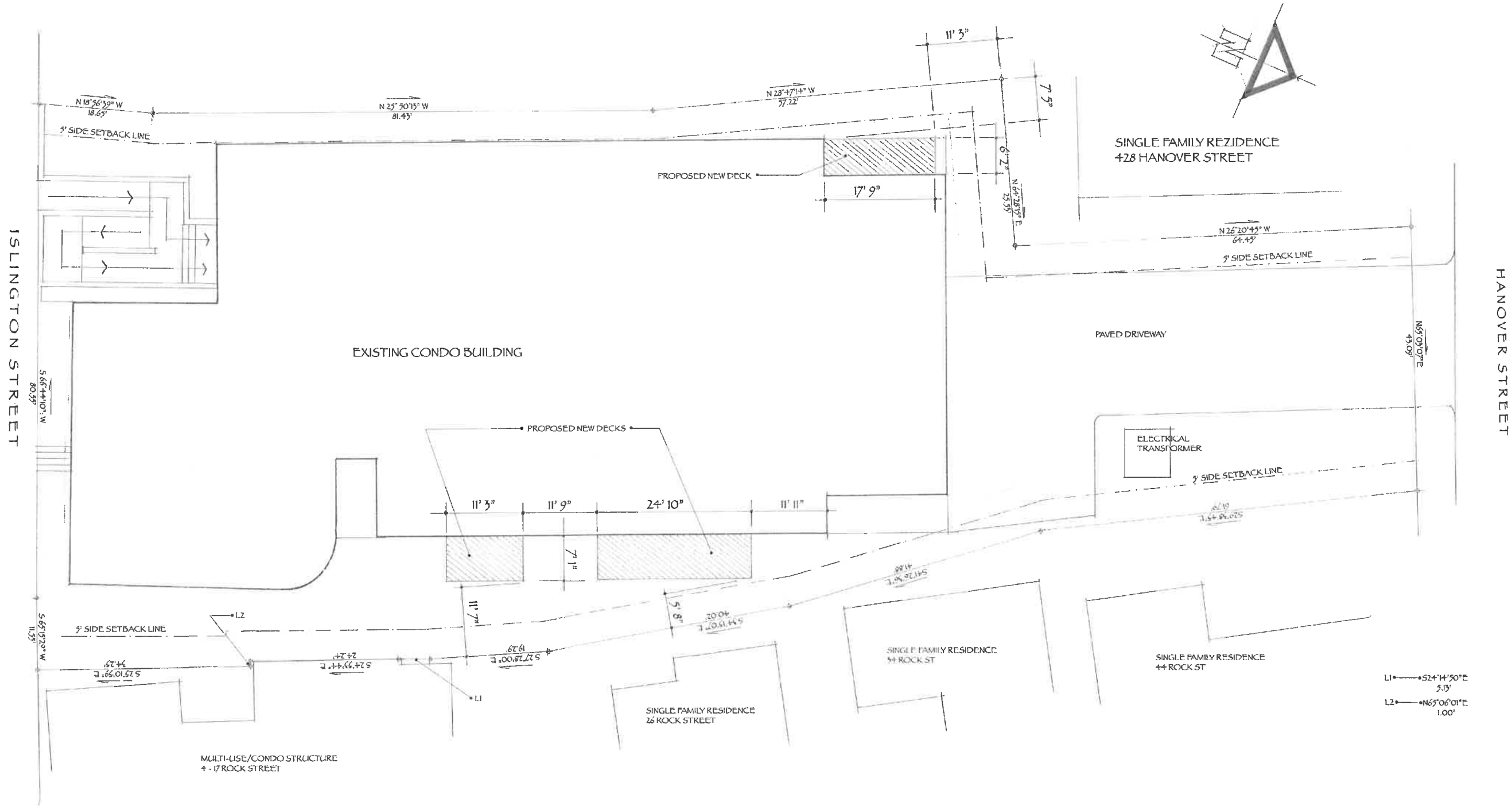


1 - SECTION DETAIL @ UNIT 11

2 - SECTION DETAIL @ UNIT 8/9

3 - SECTION DETAIL @ UNIT 10





SITE PLAN
SCALE: 1/8" = 1'

PROJECT INFORMATION

APPLICABLE CODES: 2015 IBC

PROJECT DESCRIPTION:
ADDITION OF EXTERIOR LIVING SPACE BY THE
ADDITION OF WOOD-FRAMED DECKS WITH
WOOD AND METAL RAILINGS.
POST-CONSTRUCTION ACCESS WILL BE THROUGH
NEW DOORS BUILT IN THE LOCATION OF EXISTING
WINDOWS WHICH WILL BE REMOVED DURING CONSTRUCTION.
THESE NEW DECKS HAVE BEEN AUTHORIZED BY THE
HOA. SUCH AUTHORITY HAS BEEN FILED WITH THE
STATE OF NEW HAMPSHIRE, GIVING PERMISSION FOR THE
ADDITION OF LIMITED COMMON PROPERTY ATTACHED
TO THE BUILDING, TO SPECIFIC CONDO UNITS ADJACENT
TO EACH DECK.

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS IN THE FIELD
PRIOR TO COMMENCEMENT.
ALL EXCESS SOIL MATERIAL REMOVED FROM FOOTER EXCAVATIONS
SHALL BE DISTRIBUTED THROUGHOUT THE PROPERTY AND USED FOR
LANDSCAPING.

STRUCTURAL LUMBER NOTES

ALL STRUCTURAL LUMBER SHALL BE PRESSURE TREATED DIMENSIONAL
LUMBER WITH AN APPROVED GROUND CONTACT RATING.
ALL STRUCTURAL CONNECTORS SHALL BE HOT DIP GALVANIZED STEEL
OR 304 STAINLESS STEEL.
ALL FASTENERS, NUTS, WASHERS AND BOLTS SHALL BE HOT DIP GALVANIZED
OR STAINLESS STEEL, RATED FOR EXTERIOR USE.

CONNECTIONS

SUPPORT POST-TO-MAIN BEARING BEAM CONNECTIONS: ALL CONNECTIONS
ARE TO BE NOTCHED AS SHOWN ON DETAILS 1, 2, 3 ON DRAWING A3.0, AND
FASTENED WITH THULOK FASTENERS IN ACCORDANCE WITH
MANUFACTURER'S BULLETIN - "FMTECH-THCARRY_Q07" FOR DECK CARRYING
BEAM TO SUPPORT POST APPLICATIONS.

FRAMING LUMBER NOTES

ALL FRAMING LUMBER SHALL BE PRESSURE TREATED DIMENSIONAL
LUMBER WITH AN APPROVED GROUND CONTACT RATING.
ALL STRUCTURAL CONNECTORS SHALL BE HOT DIP GALVANIZED STEEL
OR 304 STAINLESS STEEL.
ALL FASTENERS, SCREWS AND NAILS SHALL BE HOT DIP GALVANIZED OR
STAINLESS STEEL, RATED FOR EXTERIOR USE.
ALL JOISTS SHALL BE SECURED WITH SIMPSON H2.5 CLIPS AND BRACED WITH
2X6 PT BLOCKING, ONCE PER BAY.

DECKING NOTES

DECK BOARDS SHALL BE 1" THICK (ACTUAL) BY 3.5" WIDE HARDWOOD
SPECIES: IPE, MAHOGANY OR ANY OTHER SUITABLE EXTERIOR WOOD.
FASTENERS SHALL BE 2 3/8" STAINLESS STEEL CAMO-EDGE DECK SCREWS
PRE-DRILLED AND FASTENED TWICE AT EACH SUPPORTING JOIST.

RAILING NOTES

RAILINGS SHALL BE COMPRISED OF SUPPORTING POSTS, TOP RAIL (CAP)
AND BALUSTRADE.
SUPPORTING POSTS ARE CONTINUOUS EXTENSION OF THE 6X6 PT
STRUCTURAL SUPPORTING POSTS.
TOP RAIL IS A EXTERIOR GRADE HARDWOOD (IPE, MAHOGANY, ETC.)
FASTENED TO THE TOPS OF THE SUPPORTING POSTS AT A HEIGHT
OF 36" ABOVE THE DECKING LEVEL. NOMINAL DIMENSION OF TOP
RAIL IS 2" X 10".
BALUSTRADES ARE WELDED MILD STEEL PANELS WITH VERTICAL SPINDLES
AT A MAXIMUM SPACING OF 4" O.C. FASTENED TO THE SUPPORTING POSTS
WITH 3/8" X 3" STAINLESS STEEL FASTENERS. BOTTOM OF BALUSTERS TO
BE A MAXIMUM OF 4" ABOVE DECKING LEVEL.

DOOR NOTES

ALL DOOR SHALL BE EXTERIOR GRADE SOLID FIBERGLASS CORE
CONSTRUCTION WITH WOOD FRAMES.
GLAZING SHALL BE TRIPLE PANELED, LOW-E, 15 LUG IT
SILL TO BE OUTSWING ALUMINUM WITH BRONZE COMPRESSION
WEATHER STRIPPING.
HARDWARE TO BE BRUSHED NICKEL, HANDLESET SCHLAGE
MANHATTAN STYLE KEYED ENTRY AND DEADBOLT WITH ASTRAGAL
SLIDING BARRIEL BOLTS TO HEADER AND SILL PLATE.

CONTRACTOR



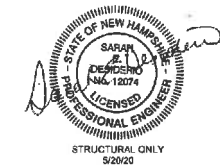
STRUCTURAL
ENGINEER

STRUCTURAL ENGINEER

JSN ASSOCIATES
1 ALBURN STREET
PORTSMOUTH, NH 03801
603-433-6699

GENERAL CONTRACTOR

JACKSON GENERAL CONTRACTING
193 ISLINGTON ST
PORTSMOUTH, NH 03801
603-624-1556



PROJECT LOCATION:

133 ISLINGTON ST
PORTSMOUTH, NH

TITLE

SITE PLAN AND
STRUCTURAL NOTES

DRAWN BY
PVJ

REVISIONS

05/19 - STRUCT DETAIL REVISIONS

SHEET #

A 4.0

2. 14 Mechanic Street - Recommended Approval

Background: The applicant is seeking approval for a re-design of the front entryway. The applicant received approval with the stipulation: *"That the entry way be redesigned and resubmitted for Administrative Approval."*

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-147

Status: Active

Submitted: May 22, 2020

Applicant



Lisa DeStefano

6034318701

ldestefano@destefanomaugel.com

Location

14 MECHANIC ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Approval was granted for the renovation and addition of **14 Mechanic Street (LUHD 14)** with the condition to redesign the entry and reappear in front of the HDC to review the changes.

Description of Proposed Work (Planning Staff)

--

Project Representatives

City/Town

Portsmouth

Email Address

jdeserrano@destefanomaugel.com

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Zip Code

03801

Business Name (if applicable)

Destefano Mauge Architects

Phone

603-570-7050

Mailing Address (Street)

22 Ladd Street

Full Name (First and Last)

Joseph De Serrano

State

NH

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.



EXISTING FRONT ELEVATION



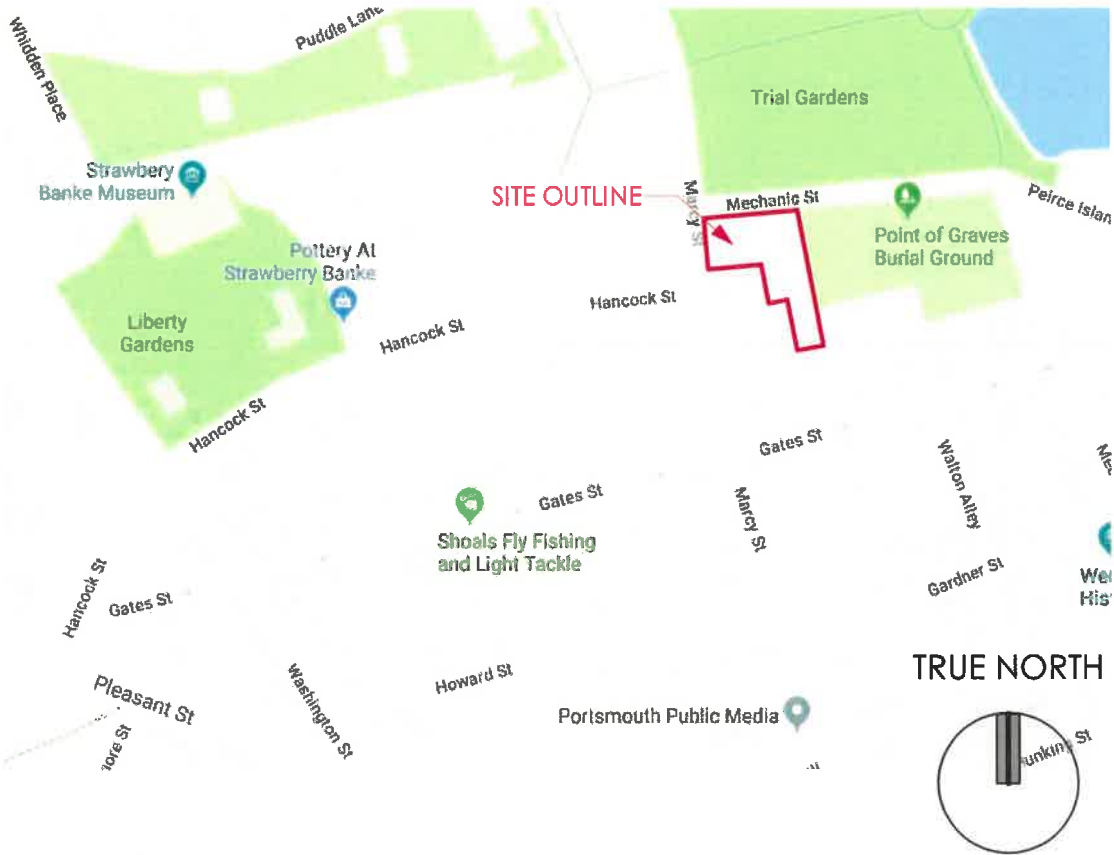
EXISTING FRONT ENTRY



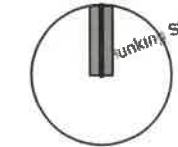
EXISTING FRONT ENTRY AFTER SIDING REMOVAL



PERSPECTIVE FROM STREET



SITE OUTLINE



PROPOSED RENOVATIONS & ADDITIONS FOR THE
COPELAND RESIDENCE
 14 MECHANIC STREET
 PORTSMOUTH, NH

CONTEXT PHOTOS & LOCUS PLAN

SHEET **1** OF 4
 JUNE 3, 2020

201911

D|M|A
 DESTEFANO
 MAUGEL
 ARCHITECTS



PREVIOUSLY PROPOSED FRONT ELEVATION 2



NEWLY PROPOSED FRONT ELEVATION 1

COPELAND RESIDENCE
14 MECHANIC STREET
PORTSMOUTH, NH

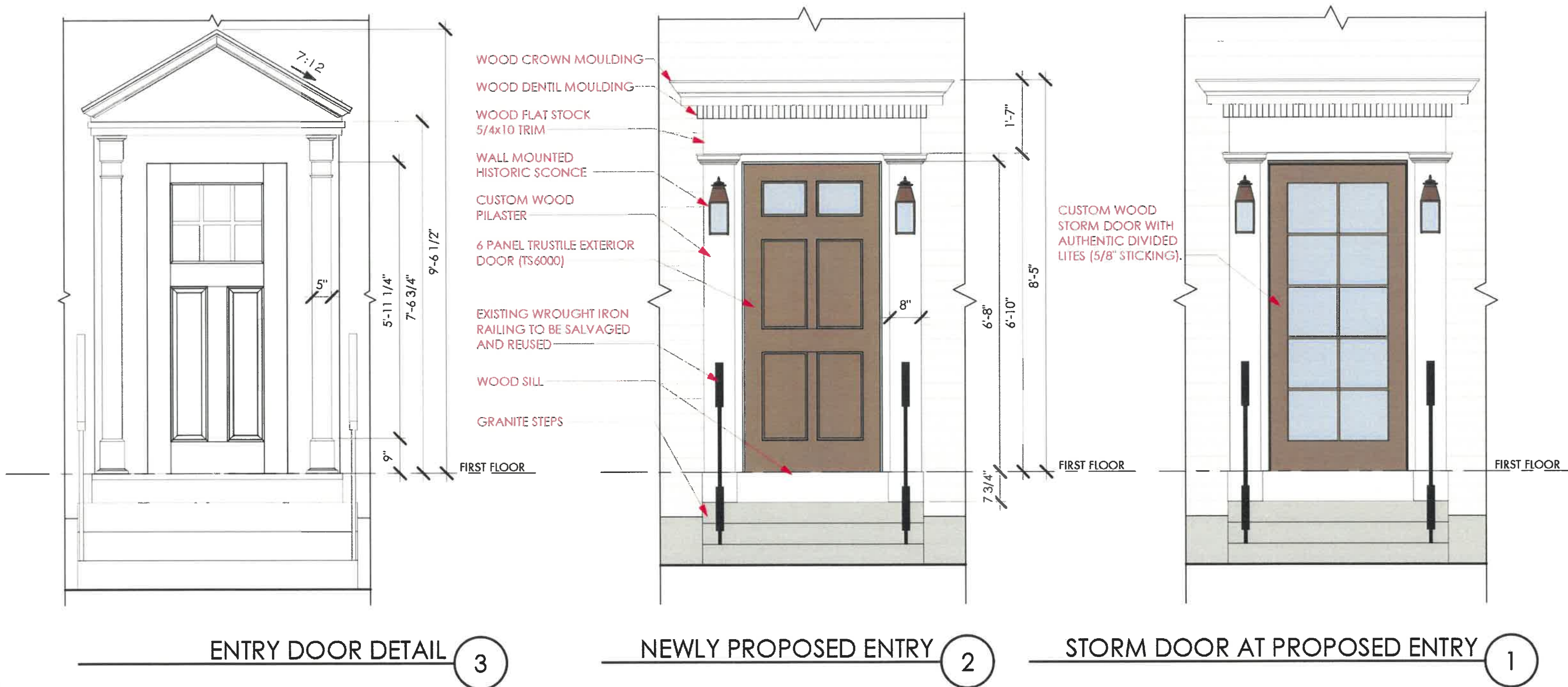
PREVIOUSLY AND NEWLY PROPOSED ELEVATIONS

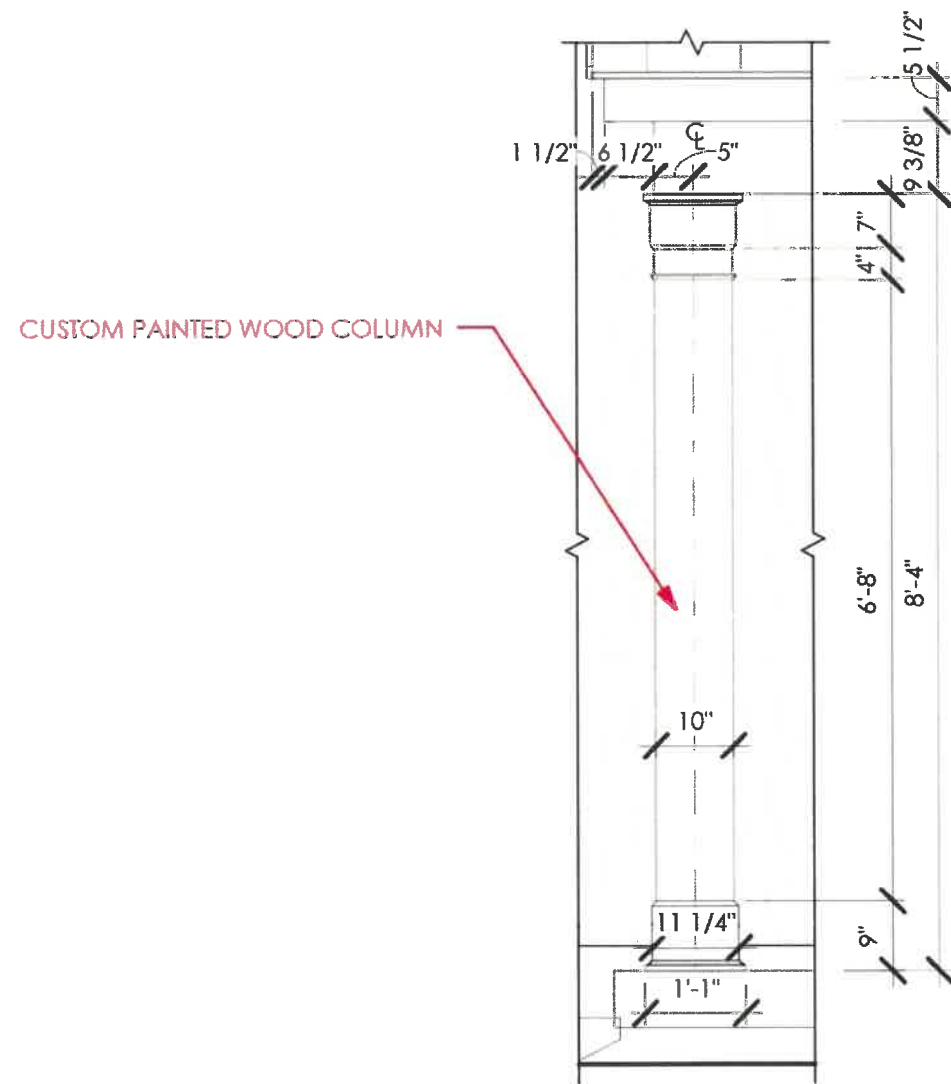
1/8" = 1'-0"

SHEET 2 OF 4
JUNE 3, 2020

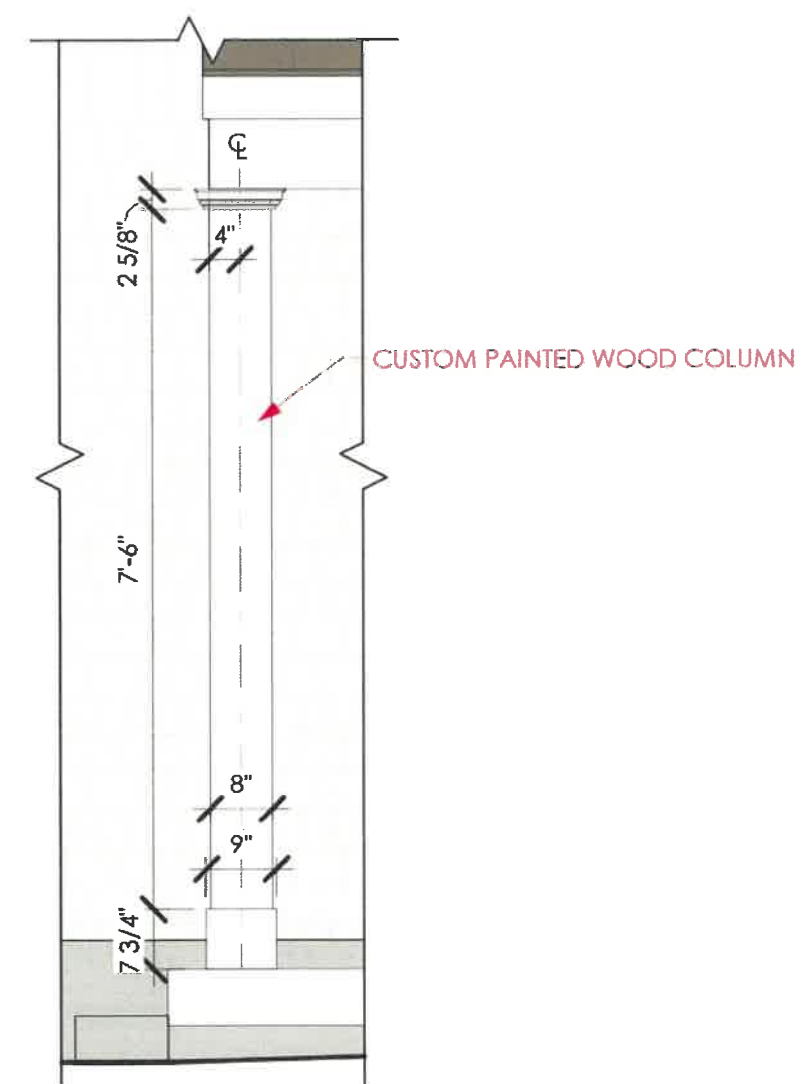


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PREVIOUSLY PROPOSED COLUMN 2
1/2" = 1'-0"



NEWLY PROPOSED COLUMN 1
1/2" = 1'-0"

3. 140 Court Street

- TBD

Background: The applicant is seeking approval for changes to a previously-approved design (revisions to siding, roof appurtenances, sign band and the balconies on the garage elevation). The applicant is also seeking to add planters and a garage exhaust vent.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-146

Status: Active

Submitted: May 22, 2020

Applicant



Carla Goodknight

6034312808

admin@cjarchitects.net

Location

140 COURT ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Revise siding, add planters and garage exhaust. Revise roof appurtenances and garage elevation.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Other

Zip Code

03801

State

New Hampshire

City/Town

Portsmouth

Phone

-

If you selected "Other", please state relationship to project.

Executive Director of PHA

Full Name (First and Last)

Craig Welch

Business Name (if applicable)

PHA (Portsmouth Housing Authority)

Email Address

craigwelch@nh-pha.com

Mailing Address (Street)

-

Acknowledgement

I certify that the information given is true and correct to the best
of my knowledge.

true

By checking this box, I agree that this is equivalent to a
handwritten signature and is binding for all purposes related to
this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship
to this project. Owner authorization is required.



City of Portsmouth
Historic District Commission & Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

May 18, 2020

160 Court Street - HDC Application for Amended Approval

We respectfully submit this Application for Amended Approval for the 160 Court Street project.

- 1) Remove rear decks, revise doors to be windows, and add roof canopy above garage door.
- 2) Revise approved siding from painted LP Smartside composite wood product to be prefinished fiber cement siding.
- 3) Remove (2) small roof elements from the South and East end of the upper roof and remove the large central mechanical roof appurtenance. North and West appurtenances to remain.
- 4) Remove (1) window from West elevation at side entry lobby.
- 5) Revise configuration of exterior egress stair and door at West elevation
- 6) Add masonry planters at West and East elevations.
- 7) Add garage exhaust louver at West elevation.
- 8) Raise signage banding at liner building.

Please refer to the attached drawings for more information on these proposed amendments and their locations.

Thank you for your consideration.
Sincerely,

A handwritten signature in black ink, appearing to read 'Cn', with a long horizontal flourish extending to the right.

Carla Goodknight, AIA
Principal, CJ Architects

Representing Owner:
PHA-Portsmouth Housing Authority



APPROVED

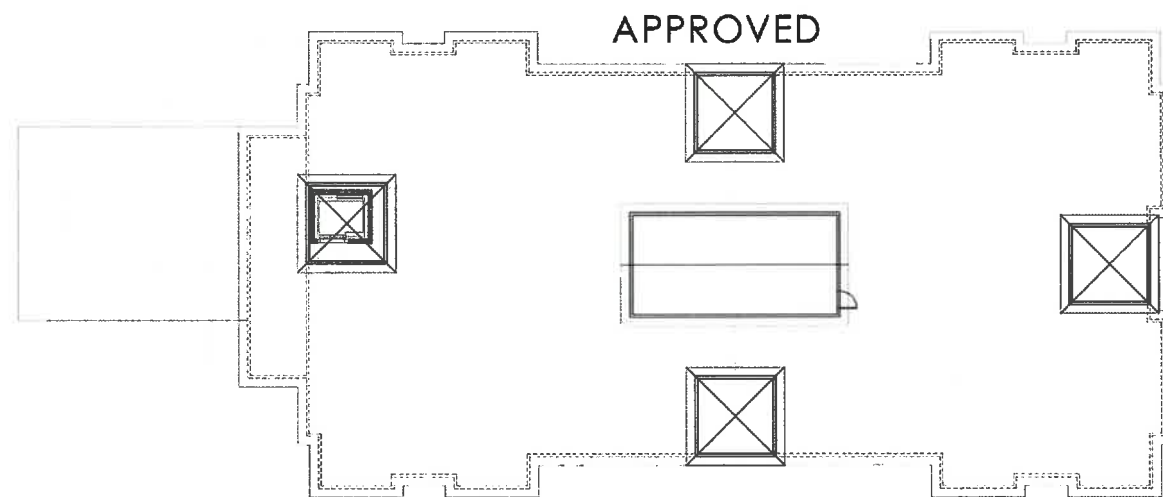


NOTE: RAISE SIGNAGE BAND ON LINER BUILDING.

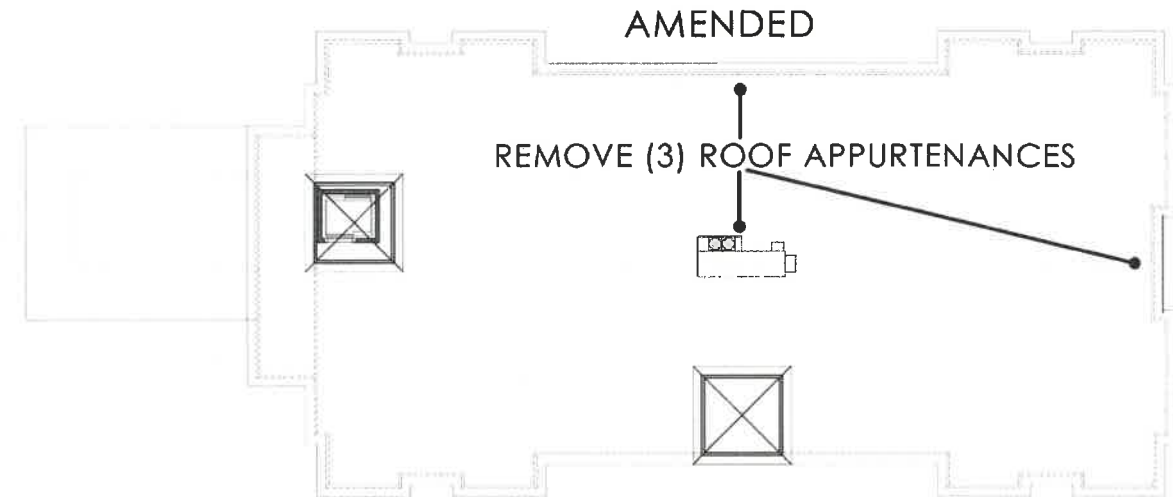
AMENDED



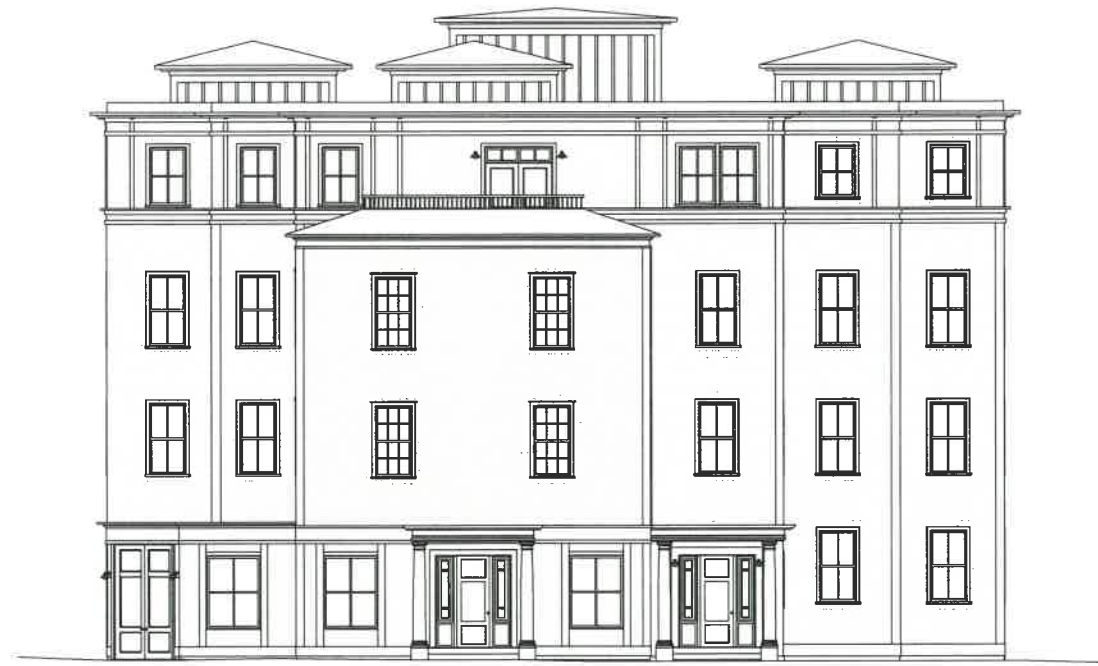
NOTE: REMOVE BALCONIES AND DOORS, ADD WINDOWS, AND ADD PENT ROOF OVER GARAGE DOOR.



1 APPROVED ROOF PLAN

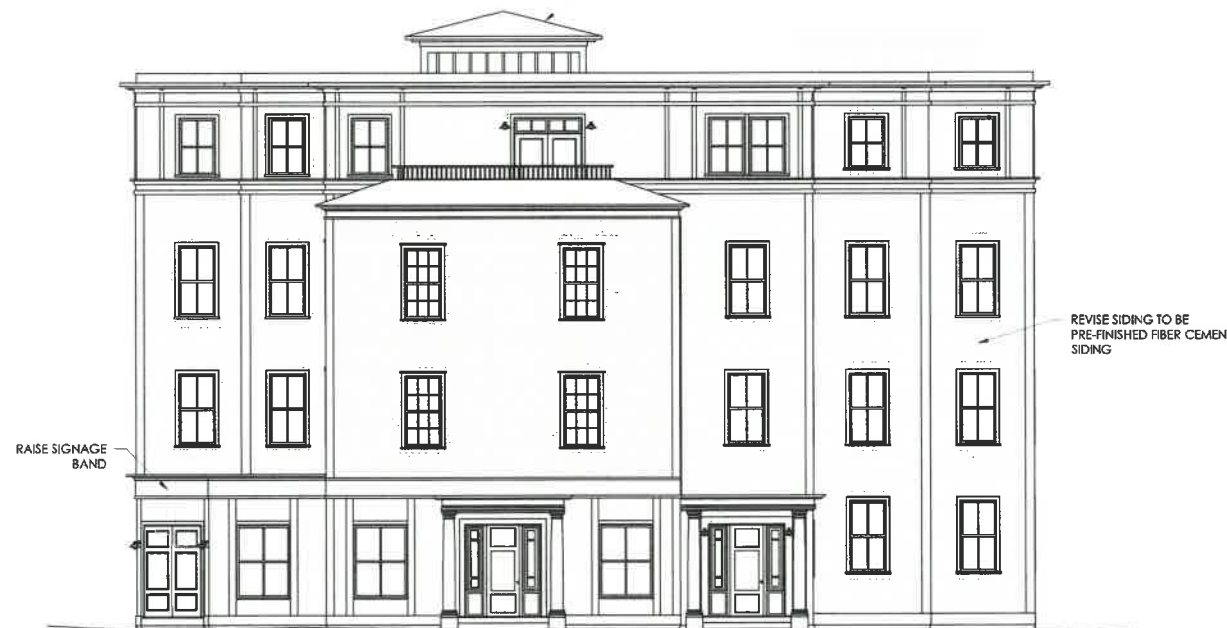


2 AMENDED ROOF PLAN



1 NORTH ELEVATION - APPROVED

REVISE ROOF APPURTENANCES



2 NORTH ELEVATION - AMENDED



3 SOUTH ELEVATION - APPROVED

REVISE ROOF APPURTENANCES



4 SOUTH ELEVATION - AMENDED

SCALE: 1/8" = 1'-0" ON 22 x 34 SHEET



① WEST ELEVATION - APPROVED

— REVISE ROOF APPURTENANCES



② WEST ELEVATION - AMENDED

SCALE: 1/8" = 1'-0" ON 22 x 34 SHEET

COURT STREET DEVELOPMENT
PORTSMOUTH, NEW HAMPSHIRE

WEST ELEVATION

HDC APPLICATION FOR AMENDED APPROVAL: JUNE 3, 2020



PORTSMOUTH
HOUSING

4



① EAST ELEVATION - APPROVED



② EAST ELEVATION - AMENDED

SCALE: 1/8" = 1'-0" ON 22 x 34 SHEET

COURT STREET DEVELOPMENT
PORTSMOUTH, NEW HAMPSHIRE

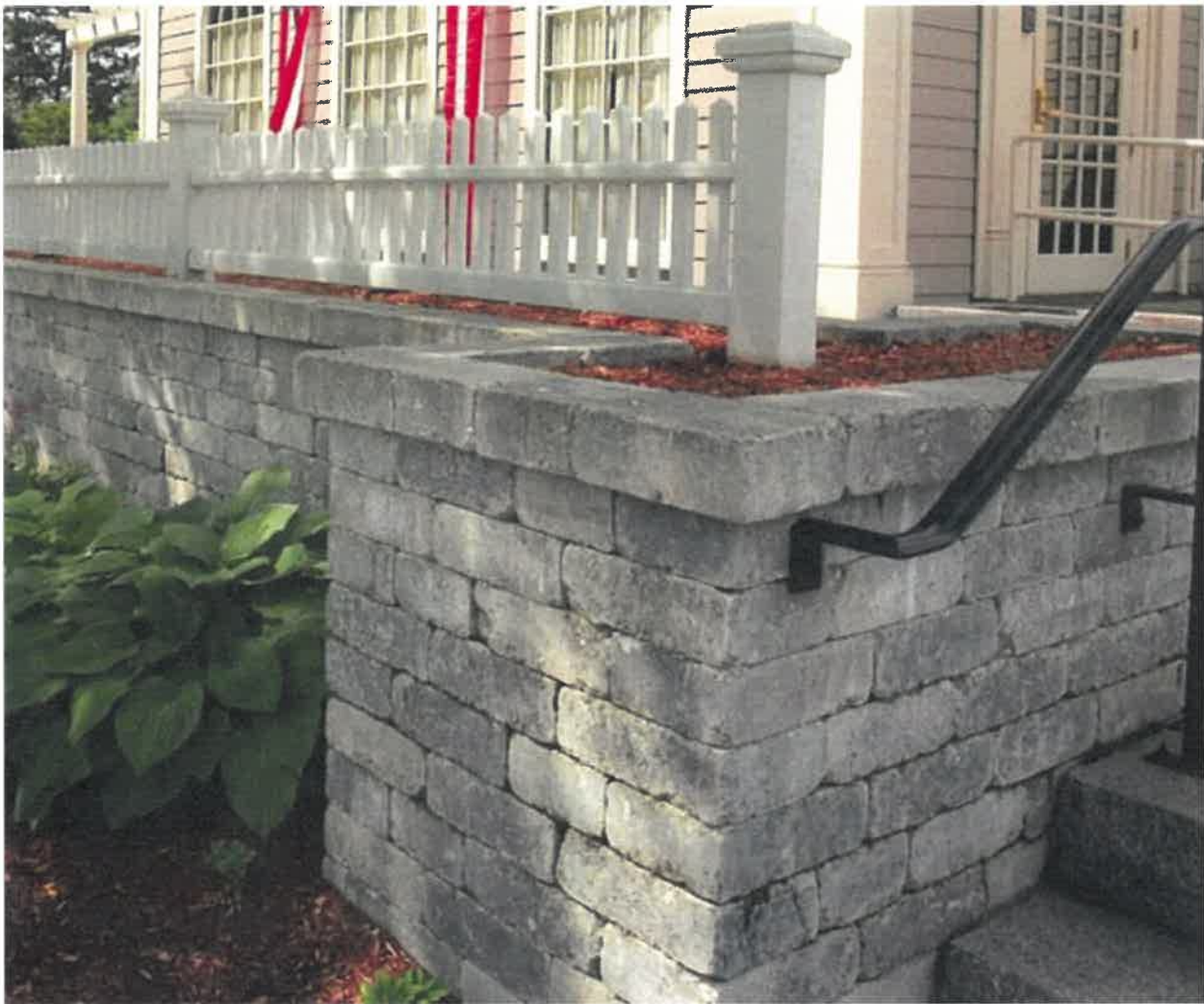
EAST ELEVATION

HDC APPLICATION FOR AMENDED APPROVAL: JUNE 3, 2020



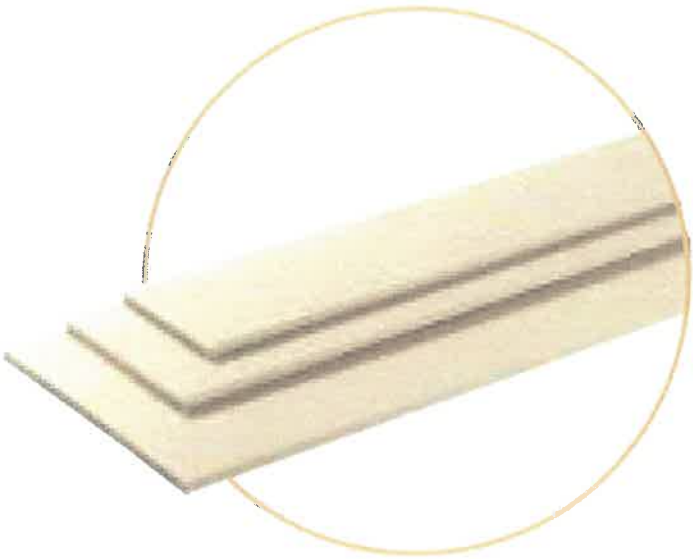
PORTSMOUTH
HOUSING

5



LANDSCAPE BLOCK

Manufacturer: GENEST - BRUSSELS - UNILOCK WALL
Color: T.B.D.



LAP SIDING - APPROVED

Manufacturer: LP SMARTSIDE - 76 SERIES LAP - 7" EXPOSURE
Color: T.B.D.



LAP SIDING - AMENDED

Manufacturer: JAMES HARDIE - COMPOSITE SIDING
Color: T.B.D.

4. 142 Congress Street - Recommend Approval

Background: The applicant is seeking approval for the installation of accordion style windows on the store-front of the building in order to support open dining.

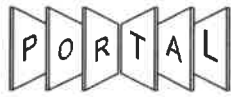
Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Existing Conditions – 142 Congress Street



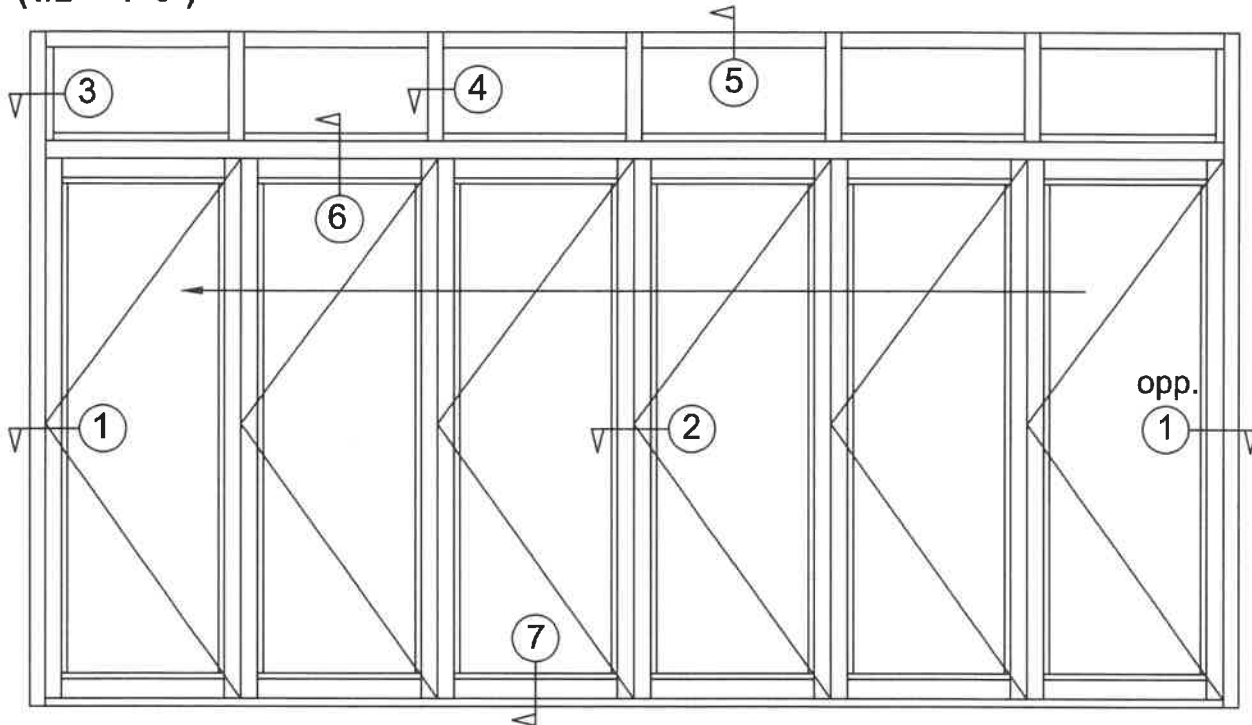


PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

TYPICAL MANUAL FOLDING WINDOW ELEVATION:

(1/2" = 1'-0")



SPECIFICATIONS FOR FOLDING WINDOWS & FRAMING

Portal folding windows shall be constructed of extruded aluminum shapes for stiles and rails. All aluminum shall be 6063-T5 with all exposed surfaces given a #204 R1 clear anodized finish or #313 dark bronze anodized finish. Several standard painted finishes available also. Wall thickness of stiles and rails shall be a minimum of $\frac{1}{8}$ ". The operable panel thickness shall be $1\frac{3}{4}$ ". Stiles and rails shall be bolted and electric arc welded to heavy anchors at all four corners. Meeting stiles of all folding panels shall be weather-stripped. All glazing beads shall have neoprene inserts for clean, puttyless snap in glazing.

Exterior glazing beads shall be non removable. Butt hinged folding panels shall be furnished with $\frac{1}{4}$ " aluminum hinge reinforcing plates. All exterior operable panels to be furnished with standard flushbolt style locks and maximum security lock and adjustable door leveling hinges for minimum clearance adjustments.

Frames shall be constructed of seamless extruded aluminum tubes of 6063-T5 Alloy with anodized or standard painted surface. The basic shapes shall measure $1\frac{3}{4}$ " x $4\frac{1}{2}$ " or 2" x $4\frac{1}{2}$ ". Frames for offset hung doors shall be furnished with $\frac{1}{4}$ " aluminum hinge reinforcement plates and weather-stripped doorstops.

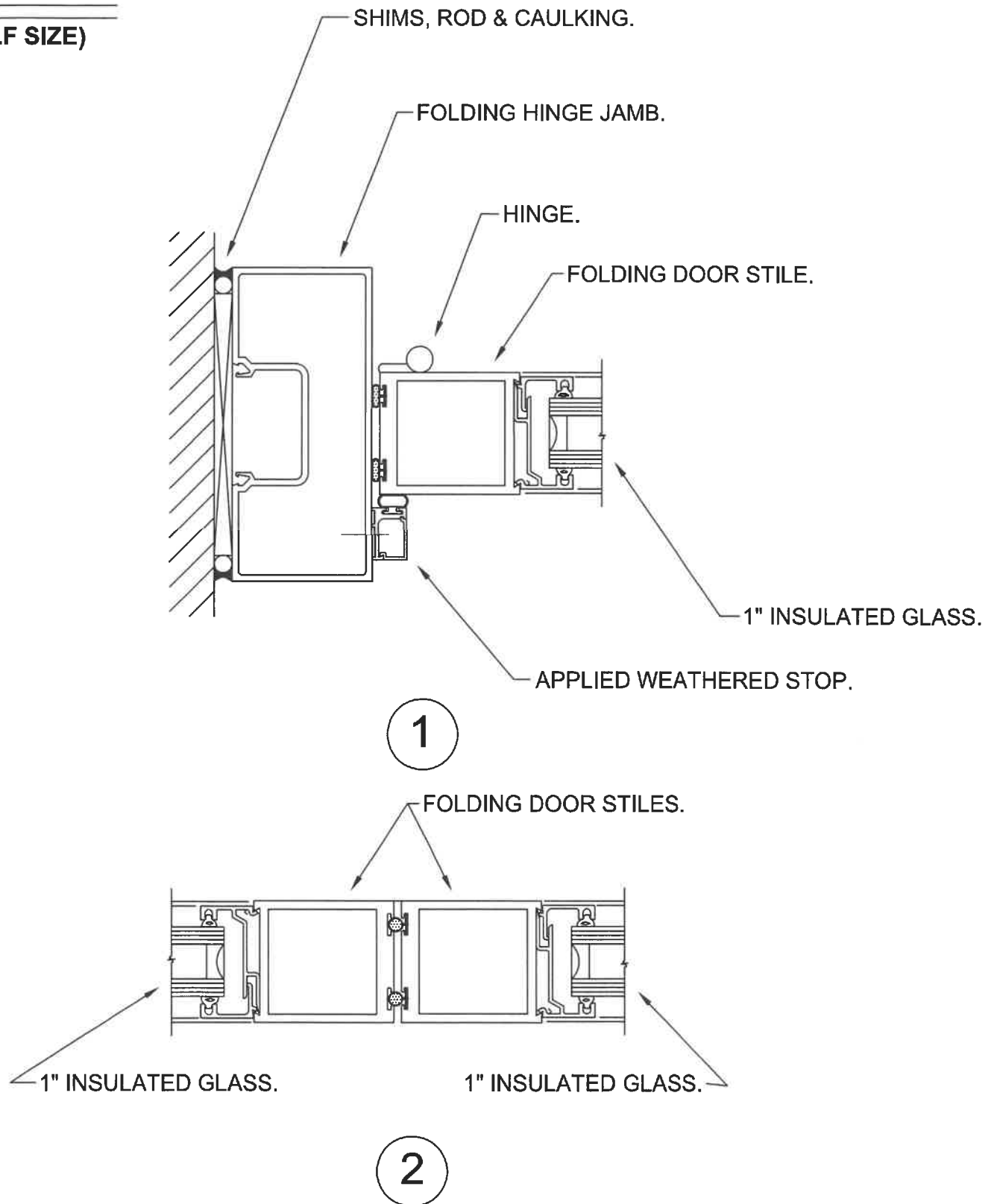


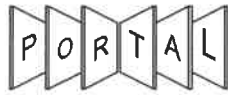
PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

DETAILS:

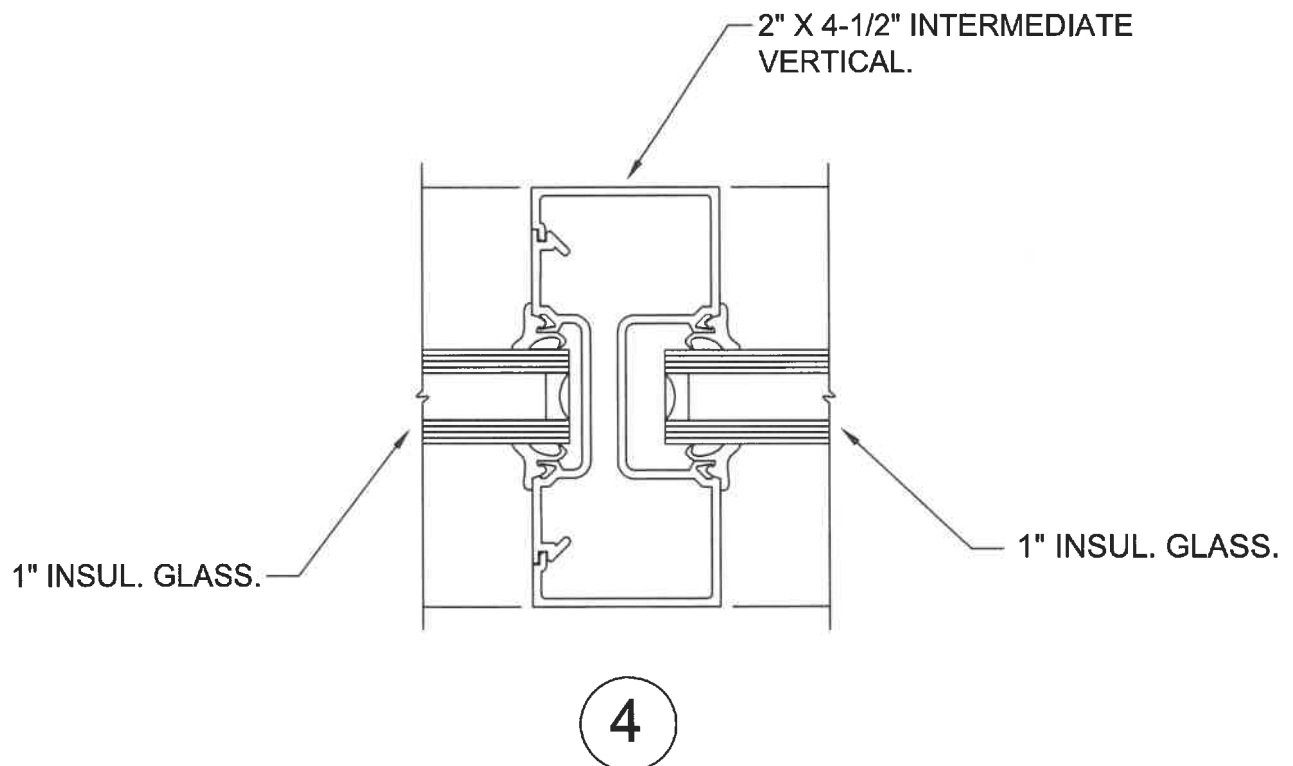
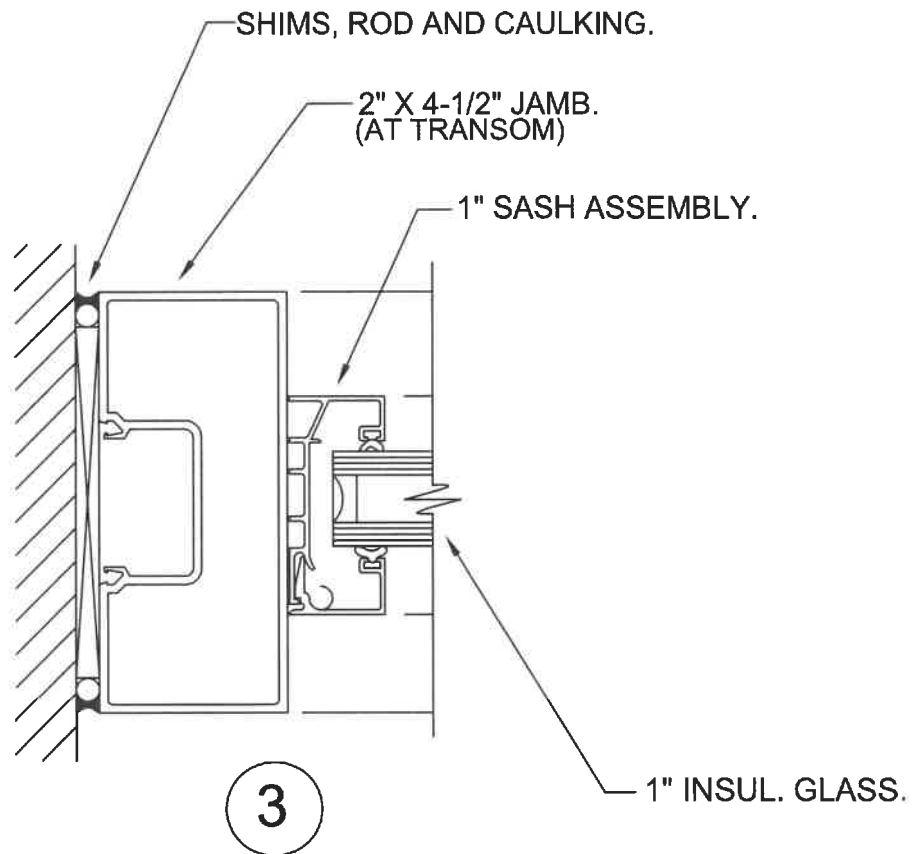
(HALF SIZE)

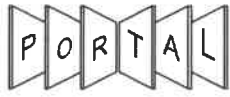




PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

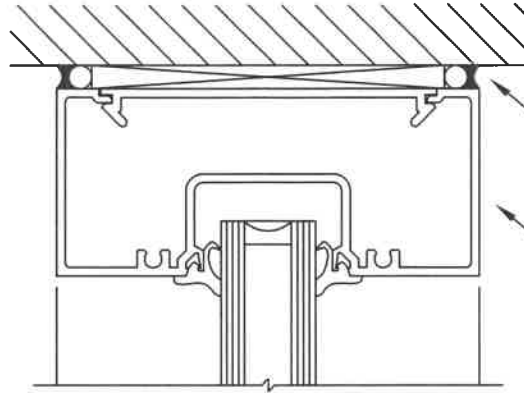




PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

5

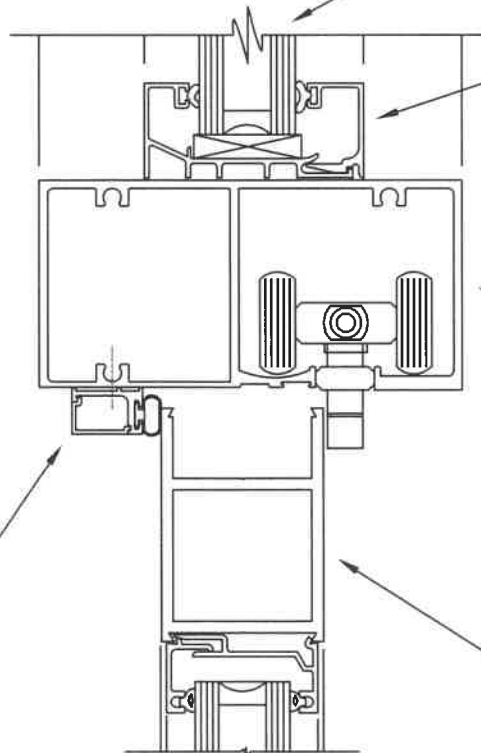


SHIMS, ROD & CAULKING.

2" X 4-1/2" HEADER.

1" INSULATED GLASS.

6



APPLIED GLAZING SASH.

TOP HUNG ROLLER
TRACK ASSEMBLY.

APPLIED
WEATHERED
STOP.

TOP RAIL OF DOOR / WINDOW.

1" INSULATED GLASS.



PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

ALTERNATE

6

APPLIED
WEATHERED
STOP.

SHIMS, ROD & CAULKING.

TOP HUNG ROLLER
TRACK ASSEMBLY.

TOP RAIL OF DOOR.

1" INSULATED GLASS.

APPLIED
WEATHERED
STOP.

7

BOTTOM RAIL OF DOOR / WINDOW.

BI-FOLD PIVOT.

BOTTOM GUIDE TRACK / SILL.

SEALANT.