

# HDC

## ADMINISTRATIVE APPROVALS

October 14, 2020

- |    |                                     |                       |
|----|-------------------------------------|-----------------------|
| 1. | 60 Penhallow Street (LUHD-199)      | -T.B.D.               |
| 2. | 25 Maplewood Avenue (LUHD-204)      | -Recommended Approval |
| 3. | 410-430 Islington Street (LUHD-207) | -Recommended Approval |
| 4. | 388 State Street (209)              | -Recommended Approval |
| 5. | 206 Court Street (LUHD-210)         | -T.B.D.               |
| 6. | 46-64 Maplewood Avenue (LUHD-212)   | -Recommended Approval |
| 7. | 33 Northwest Street (LUHD-213)      | -Recommended Approval |

**1. 60 Penhallow Street - T.B.D.**

**Background:** The applicant is seeking approval for changes to a previously approved design (several changes due to construction and tenant fit-out).

**Staff Comment:** T.B.D.

**Stipulations:**




1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

Historic District Commission Work  
Session or Administrative Approval  
Application

LUHD-199

Submitted On: Sep 18, 2020

Applicant

 Tracy Kozak  
 603-731-5187  
 tkozak@jsainc.com

Location

60 PENHALLOW ST  
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Miscellaneous minor revisions pertaining to engineering and tenant fit-out coordination.

Project Representatives

<b>Relationship to Project</b> Architect	<b>If you selected "Other", please state relationship to project.</b> --
<b>Full Name (First and Last)</b> Tracy Kozak	<b>Business Name (if applicable)</b> JSA Design
<b>Mailing Address (Street)</b> 273 Corporate Drive, Ste 100	<b>City/Town</b> Portsmouth
<b>State</b> NH	<b>Zip Code</b> 03801
<b>Phone</b> 603-731-5187	<b>Email Address</b> tkozak@jsainc.com

Acknowledgement

I certify that the information given is true and correct to the best  
of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

By checking this box, I agree that this is equivalent to a  
handwritten signature and is binding for all purposes related to  
this transaction

true

If you selected "Other" above, please explain your relationship  
to this project. Owner authorization is required.

architect

# 60 PENHALLOW STREET

AT

# BRICK MARKET

HDC REVISION 1  
OCTOBER 2020



DRAWING LIST	
NO.	NAME
D1.0.R	COVER
D1.01.R	NARRATIVE
D1.4.R	FIRST FLOOR PLAN
D1.5.R	ROOF PLAN
D1.6.R	PERSPECTIVE NE DANIEL ST
D1.7.R	PERSPECTIVE NW DANIEL ST
D1.8.R	PERSPECTIVE SW COURTYARD
D1.9.R	PERSPECTIVE SE PENHALLOW ST
D1.10.R	3D VIGNETTES - FRONT
D1.11.R	3D VIGNETTES - SIDES
D1.12.1.R	3D VIGNETTES - SOUTH ALLEY
D1.12.R	3D VIGNETTES - COURTYARD
D1.13.R	NORTH ELEVATION
D1.14.R	EAST ELEVATION
D1.15.R	SOUTH ELEVATION
D1.16.R	WEST ELEVATION
D1.20.R	ELEVATION DETAILS
D1.22.R	ELEVATION DETAILS
D1.24.R	ELEVATION DETAILS
D1.28.1.R	ELEVATION DETAILS
D1.28.R	ELEVATION DETAILS
D1.29.R	WINDOW TYPES
D1.30.1.R	DOOR & LOUVER TYPES
D1.30.R	WINDOW TYPES

D1.0.R

COVER

60 PENHALLOW STREET at BRICK MARKET  
HDC REVISION 1 - OCTOBER 2020

60 PENHALLOW STREET at Brick Market  
October 7, 2020

REVISIONS to previously approved **HDC APPLICATION**

**1. HDC Approval Stipulations 11/13/2019:**

- a. The size of the diamond tiles on the horizontal bands shall increase from 1' to 2'.
- b. The railings from behind the 3rd floor cornices shall be aligned to the back of the cornice.
- c. The (2) courtyard entry doors shall be recessed with a freestanding column between them.
- d. The front main entrance glass door shall fill the entire opening between the timbers that surround them.
- e. The vertical timbers on the rounded corners shall be further extended, above the roof line.
- f. The Pella windows with concealed screens shall be used.
- g. The cheek wall siding shall be horizontal

**2. Engineering coordination updates:**

- a. Adjust & add 1 new mechanical louvers .
- b. Rooftop mechanical unit size increased; adjust rear roof-well opening.
- c. Add 3 rooftop exhaust stacks for commercial kitchen
- d. Refined Solar Photo-Voltaic array layout & details.
- e. Lifted roof areas above the two elevator overruns by 2' and 3' respectively.
- f. Lifted portion of northwest roof by 2 feet to align with northeast roof.
- g. Reduced quantity of exposed metal fasteners at timbers and glass vessels
- h. Added roof access ladder from 4<sup>th</sup> floor south mechanical well to upper roof.

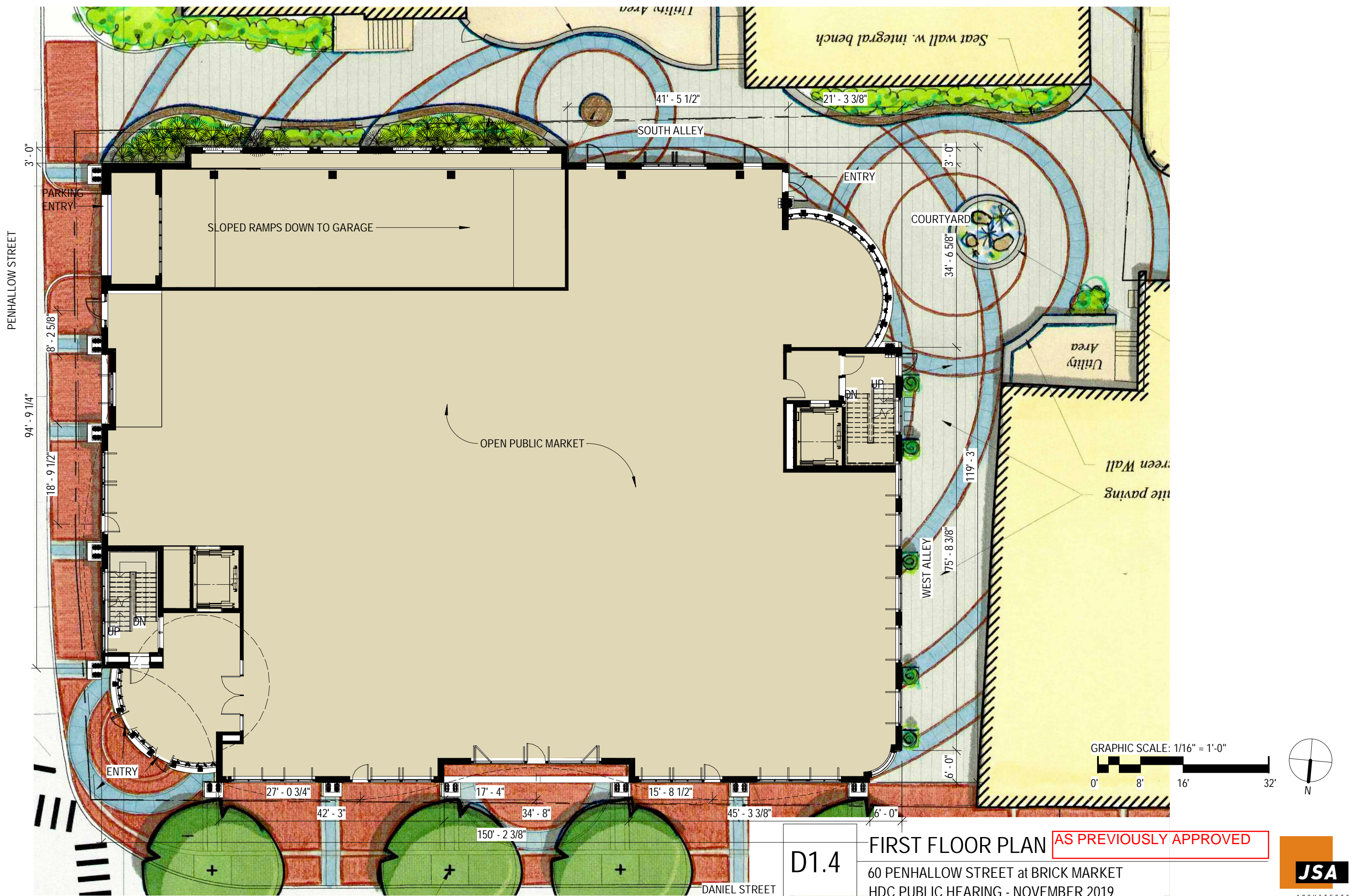
**3. Tenant & detailing coordination updates:**

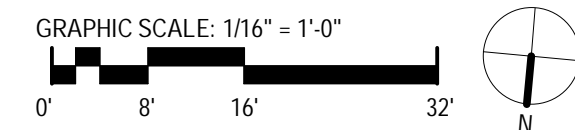
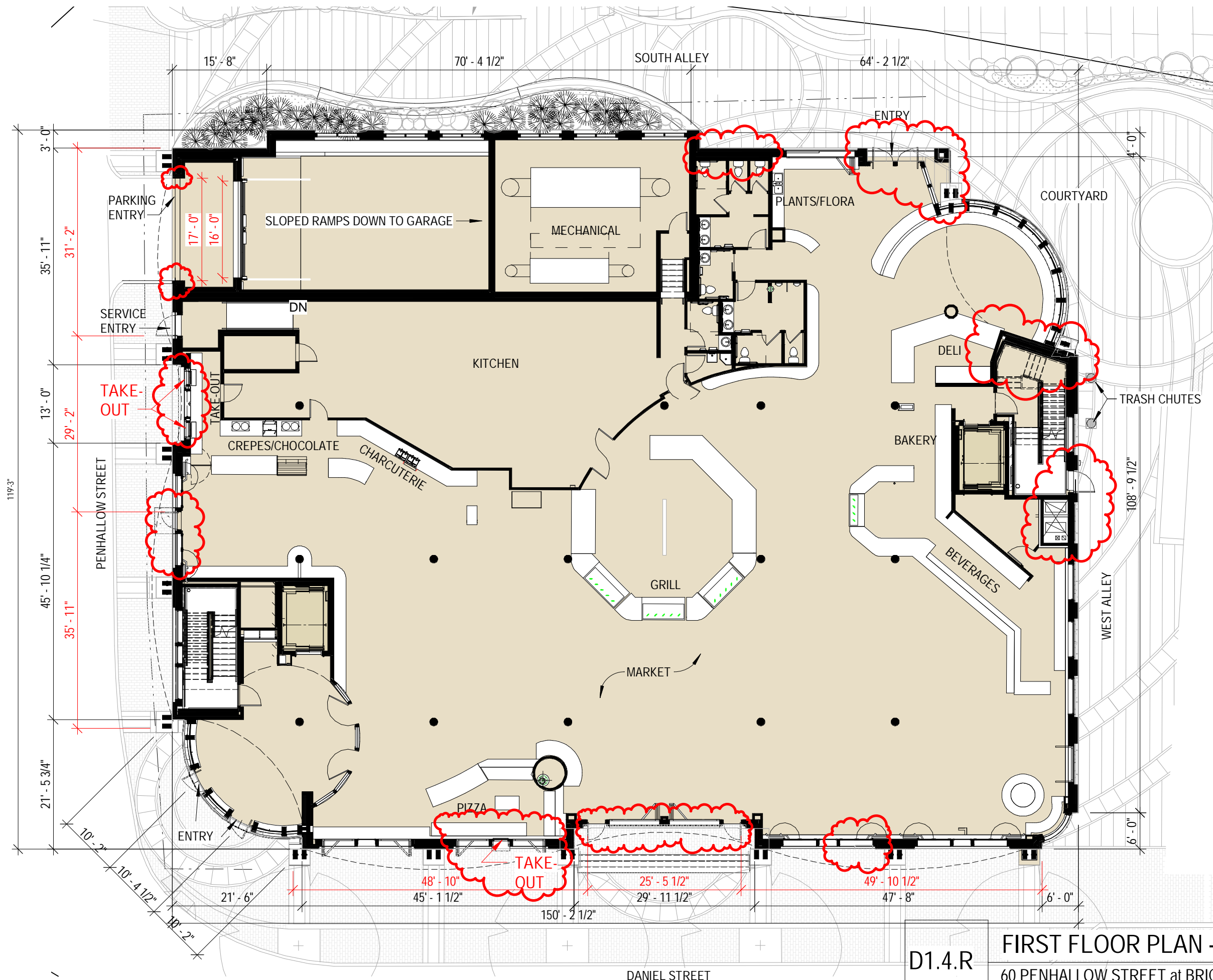
- a. Fenestration
  - Door & window updates/swaps at first floor market level and at set-back 4th floor
  - Minor sill height adjustments
  - Provide 2 take-out windows at store fronts
- b. Snow guards
- c. Door cut sheets, change from Kolbe to Kawneer & Ellison
- d. Exterior lighting provided – low voltage accents, recessed & concealed LED strip lighting at:
  - main (NE) entry, lower timber band.
  - front and sides of granite plinths (timber column bases)
  - behind timber columns
  - behind roof “sail” cornice beams.
- e. Added 2 glass awnings above the front and rear entry doors, to keep rain & snow clear of egress door swings.
- f. Revised cap flashing from zinc, to zinc colored aluminum to prevent galvanic corrosion.
- g. Added guard rail to 3rd-floor roof deck.
- h. At south sunshades, change solid sheet copper to perforated sheet copper (patina).
- i. Vertical grain instead of cross grain wood trim band over storefronts.
- j. Added two freestanding stainless steel trash chutes at West Alley.

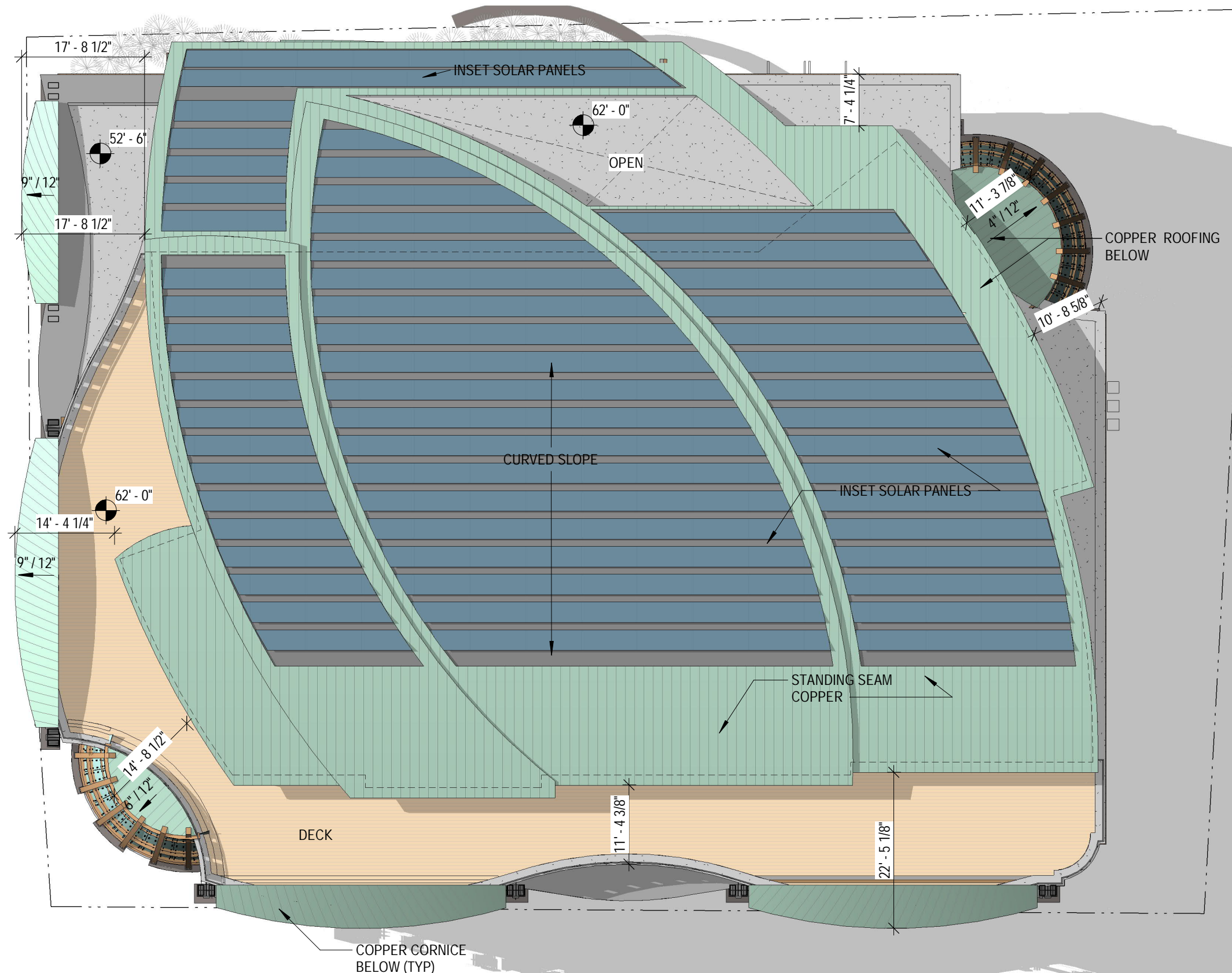
D1.01.R

**NARRATIVE**

60 PENHALLOW STREET at BRICK MARKET  
HDC REVISION 1 - OCTOBER 2020







1 ROOF OVERALL PLAN  
1/16" = 1'-0"

D1.5

ROOF PLAN **AS PREVIOUSLY APPROVED**

60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019





D1.6

PERSPECTIVE NE DANIEL ST  
60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019

AS PREVIOUSLY  
APPROVED



D1.6.R

PERSPECTIVE NE DANIEL ST

60 PENHALLOW STREET at BRICK MARKET  
HDC REVISION 1 - OCTOBER 2020

**JSA**

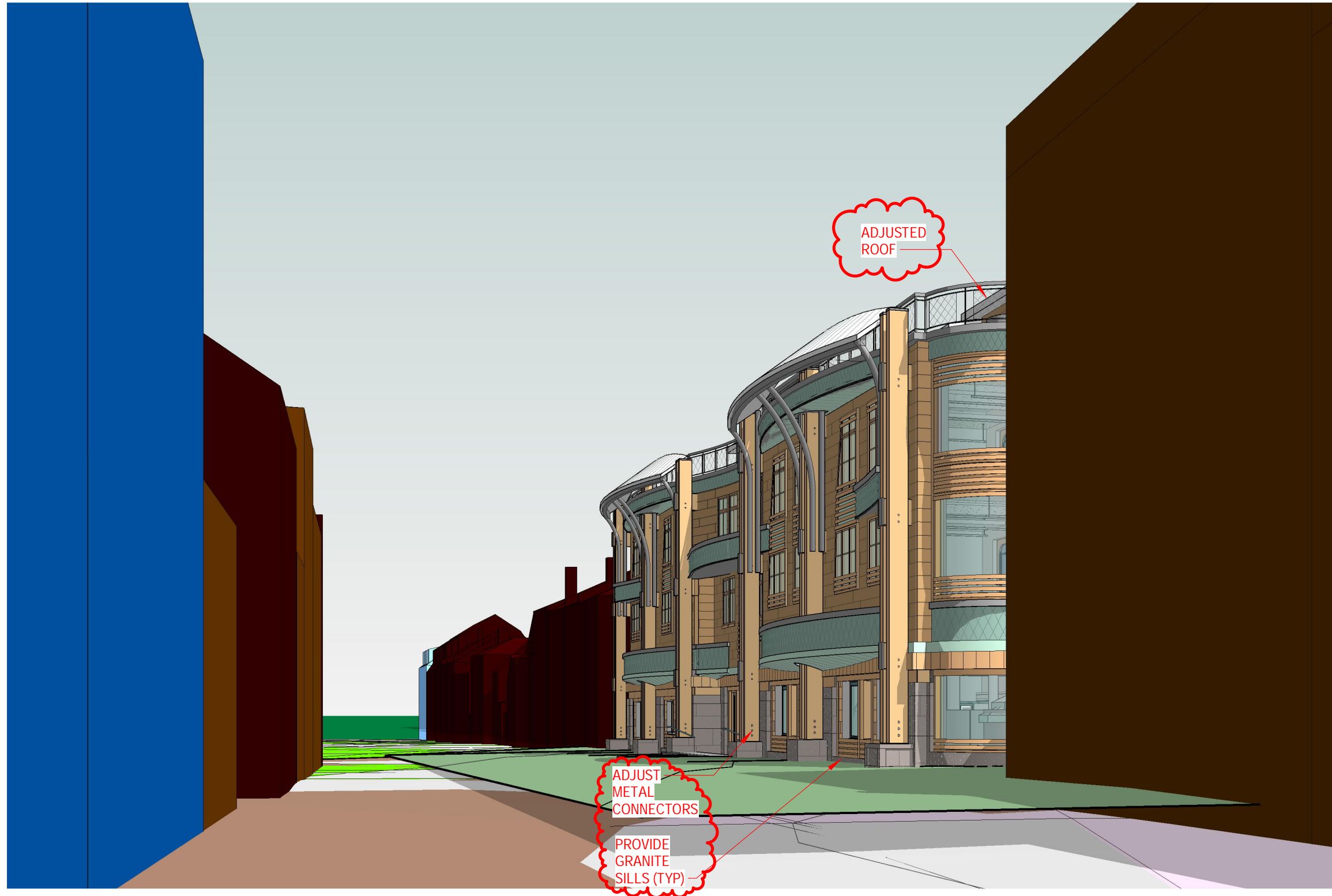
ARCHITECTS  
INTERIORS  
PLANNERS



D1.7

PERSPECTIVE NW DANIEL ST  
60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019

AS PREVIOUSLY  
APPROVED



D1.7.R

PERSPECTIVE NW DANIEL ST

60 PENHALLOW STREET at BRICK MARKET  
HDC REVISION 1 - OCTOBER 2020

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS



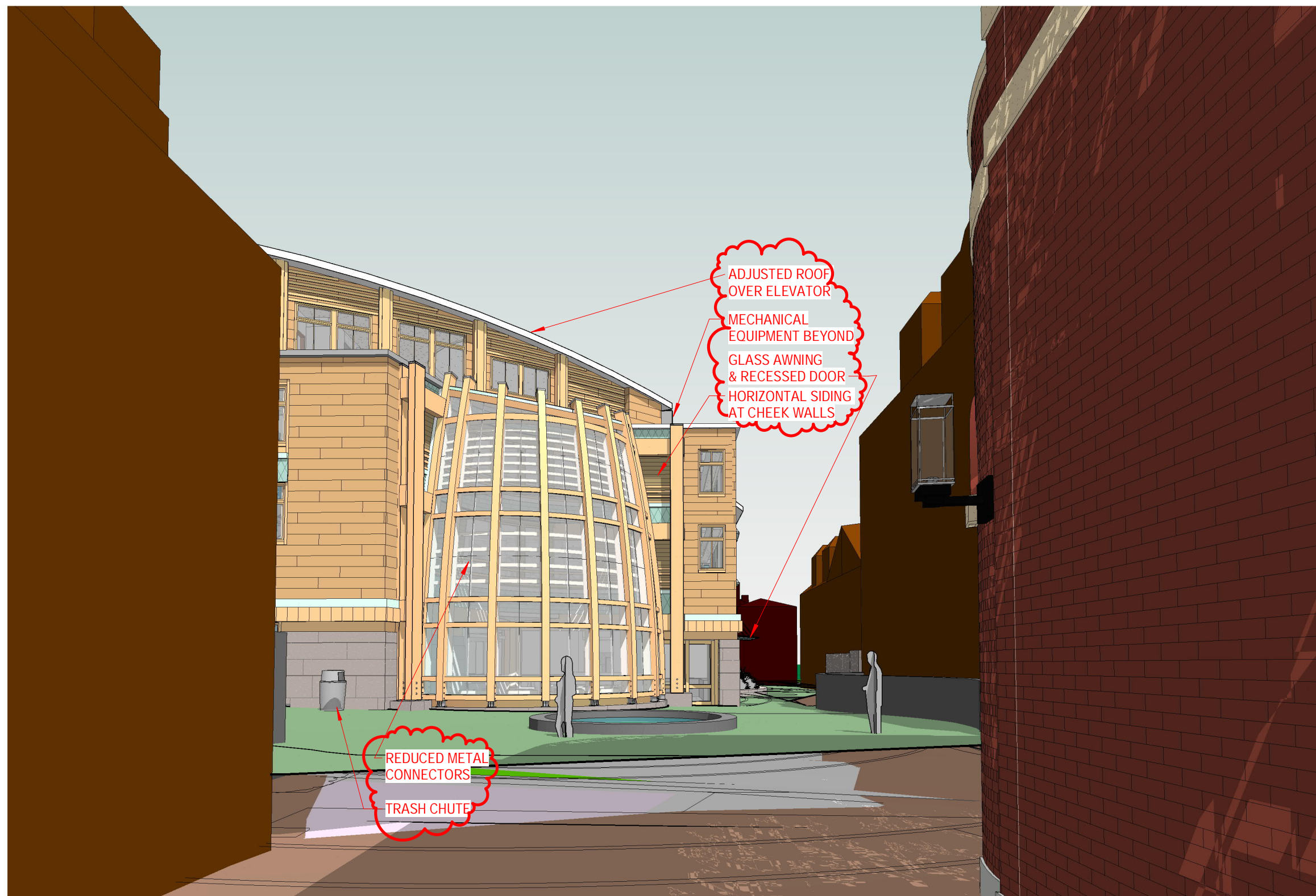
TANGRAM 3DS

D1.8

PERSPECTIVE SW COURTYARD

AS PREVIOUSLY  
APPROVED

60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019



D1.8.R

## PERSPECTIVE SW COURTYARD

60 PENHALLOW STREET at BRICK MARKET  
HDC REVISION 1 - OCTOBER 2020

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS



TANGRAM 3DS

D1.9

PERSPECTIVE SE PENHALLOW ST

60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019

AS  
PREVIOUSLY  
APPROVED

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS



D1.9.R

PERSPECTIVE SE PENHALLOW ST

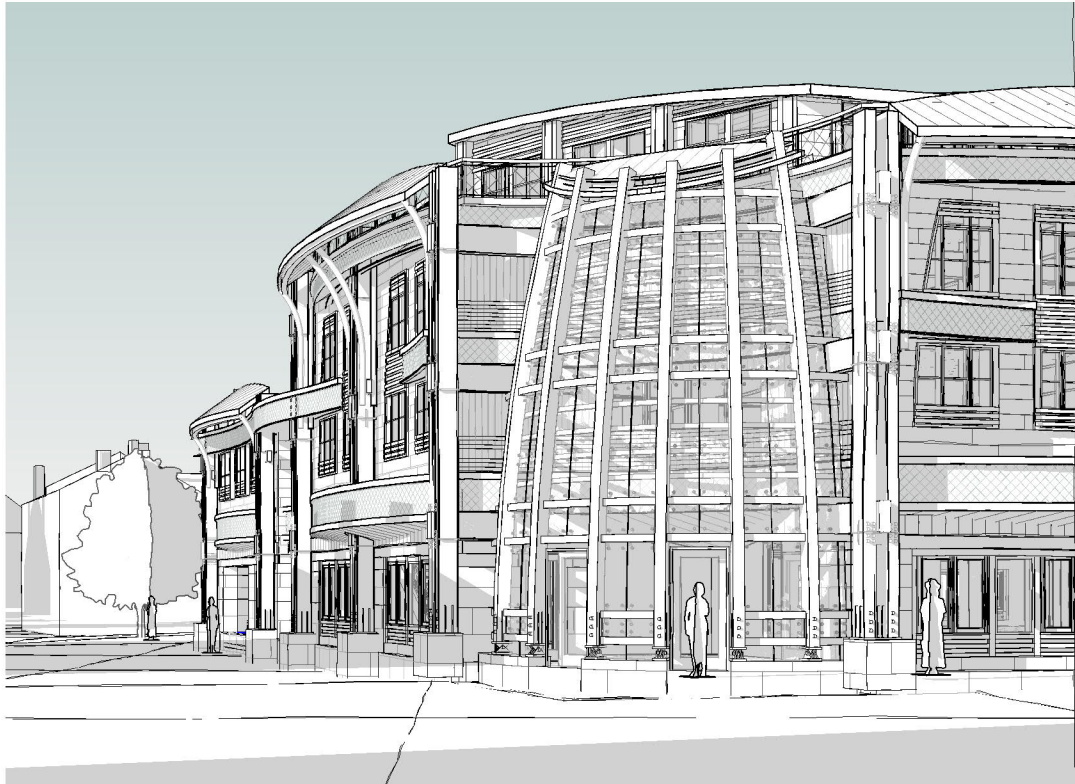
60 PENHALLOW STREET at BRICK MARKET  
HDC REVISION 1 - OCTOBER 2020

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS



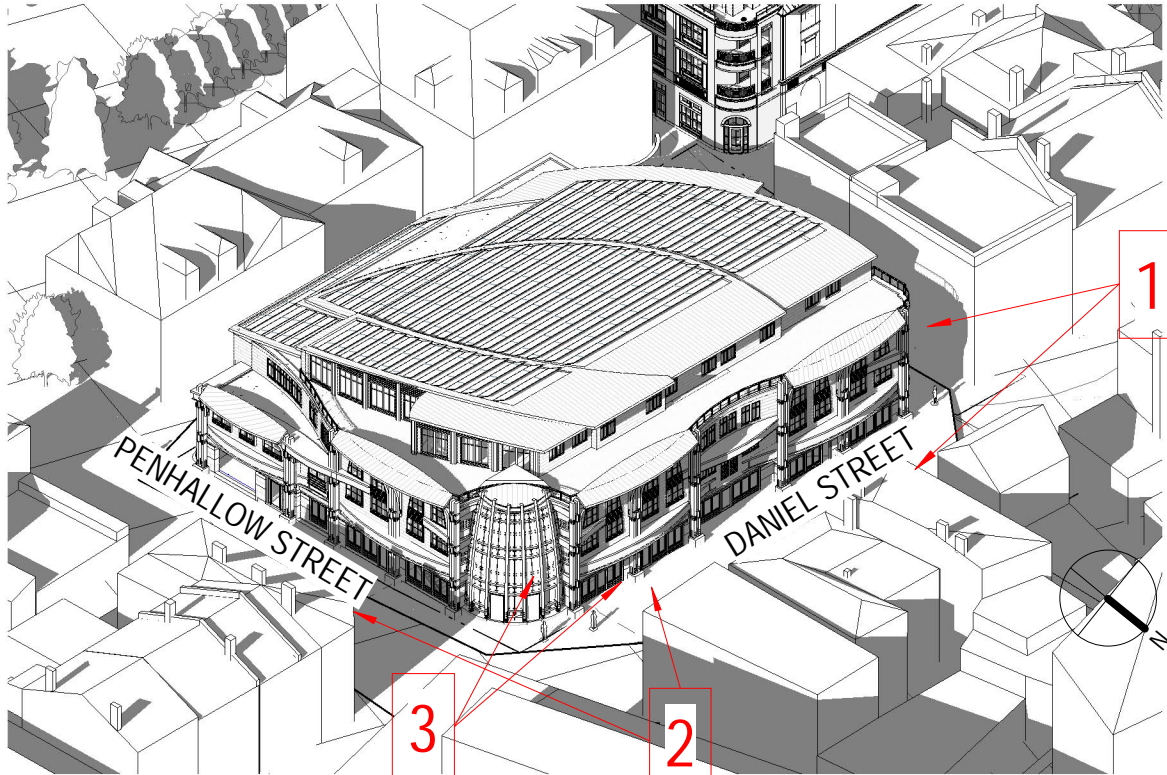
STREET VIEW 1



STREET VIEW 2



STREET VIEW 3



**D1.10** 3D VIGNETTES - FRONT **AS PREVIOUSLY APPROVED**  
 60 PENHALLOW ST at BRICK MARKET  
 HDC PUBLIC HEARING - NOVEMBER 2019



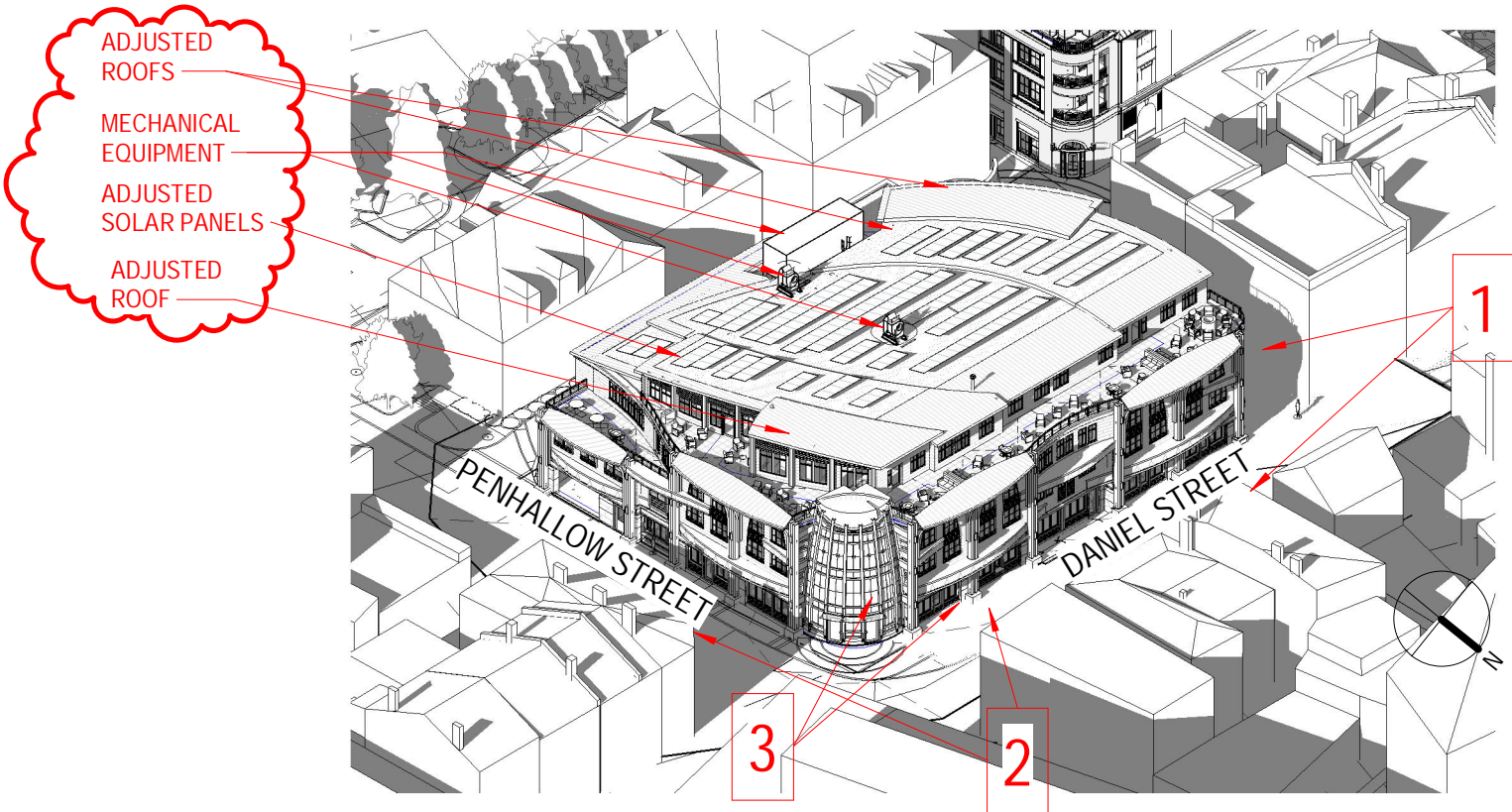
STREET VIEW 1



STREET VIEW 2



STREET VIEW 3



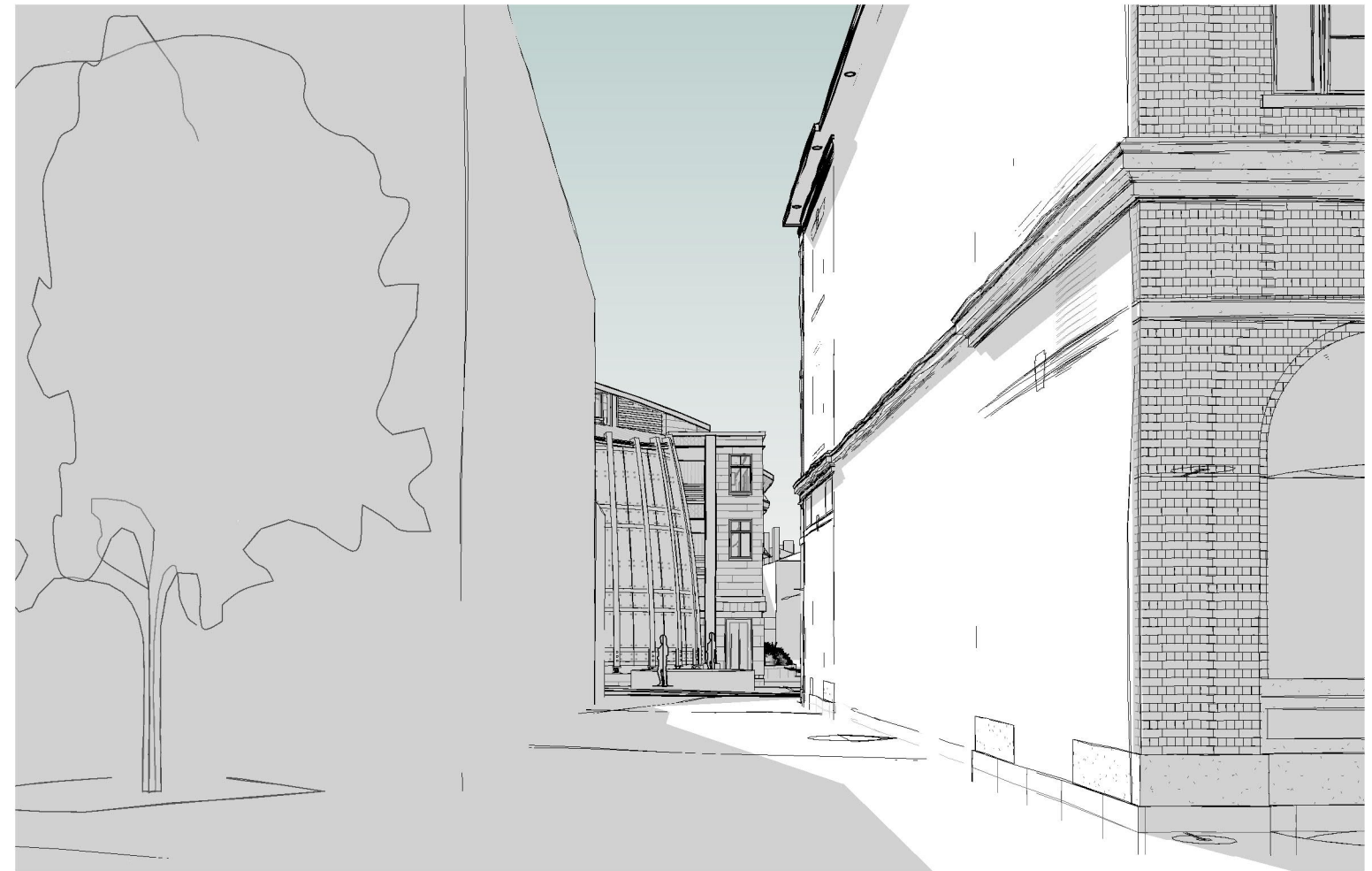
D1.10.R

3D VIGNETTES - FRONT

60 PENHALLOW STREET at BRICK MARKET  
HDC REVISION 1 - OCTOBER 2020



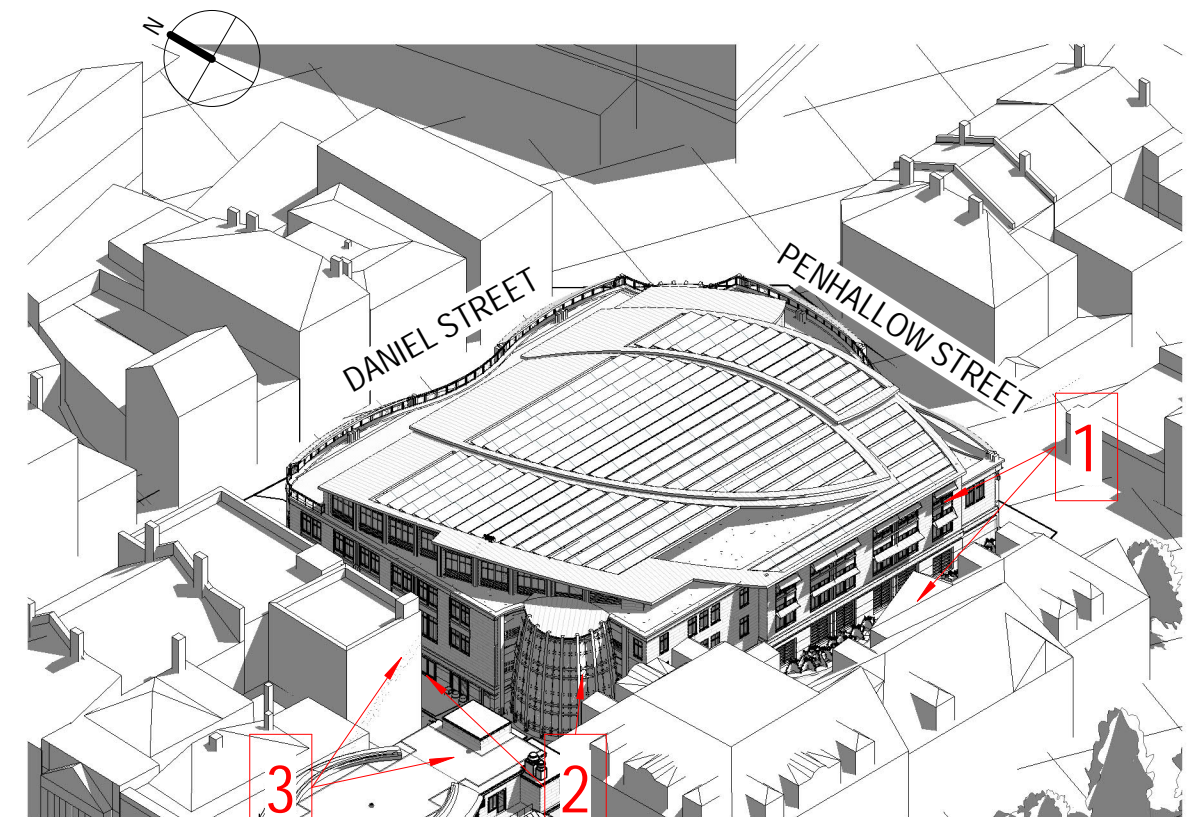
STREET VIEW 1



STREET VIEW 3



STREET VIEW 2



D1.11

### 3D VIGNETTES - SIDES

60 PENHALLOW ST at BRICK MARKET  
HDC Work Session 2 NOVEMBER 2019

53 DANIEL STREET

AS PREVIOUSLY APPROVED

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS



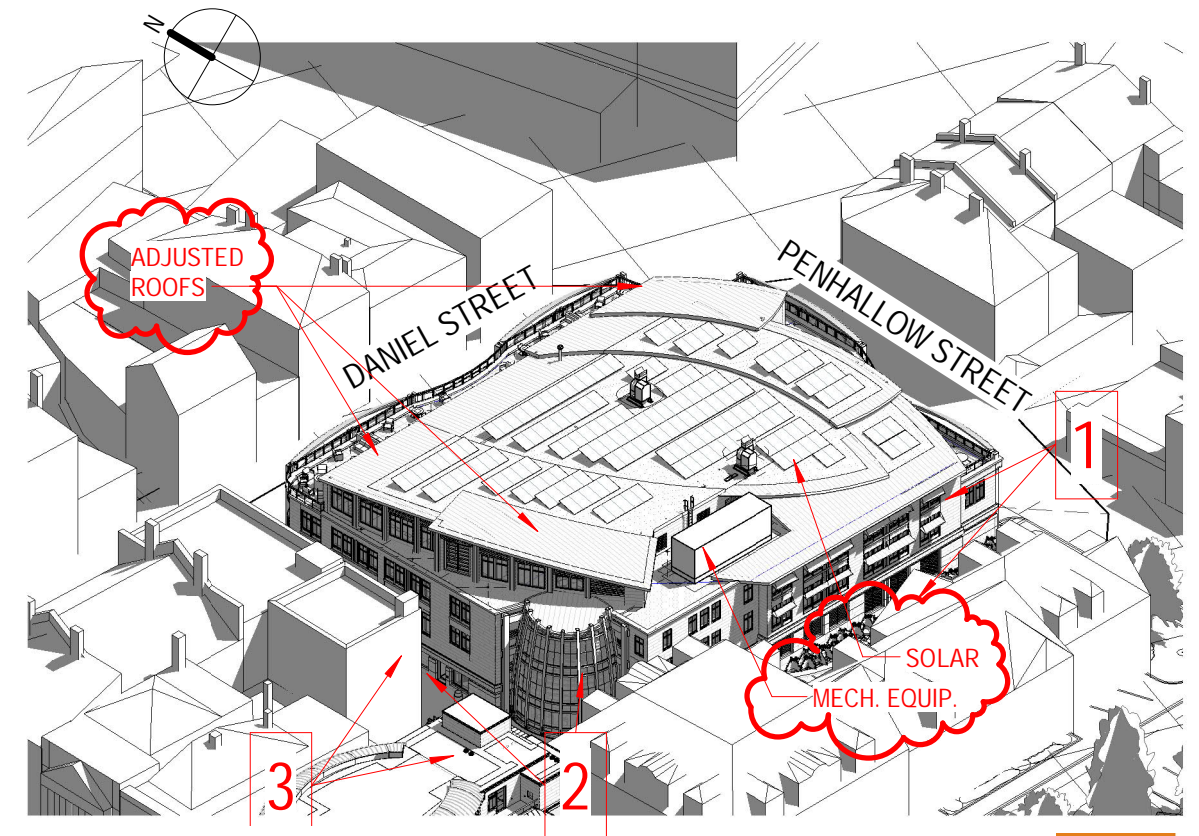
STREET VIEW 1



STREET VIEW 3



STREET VIEW 2



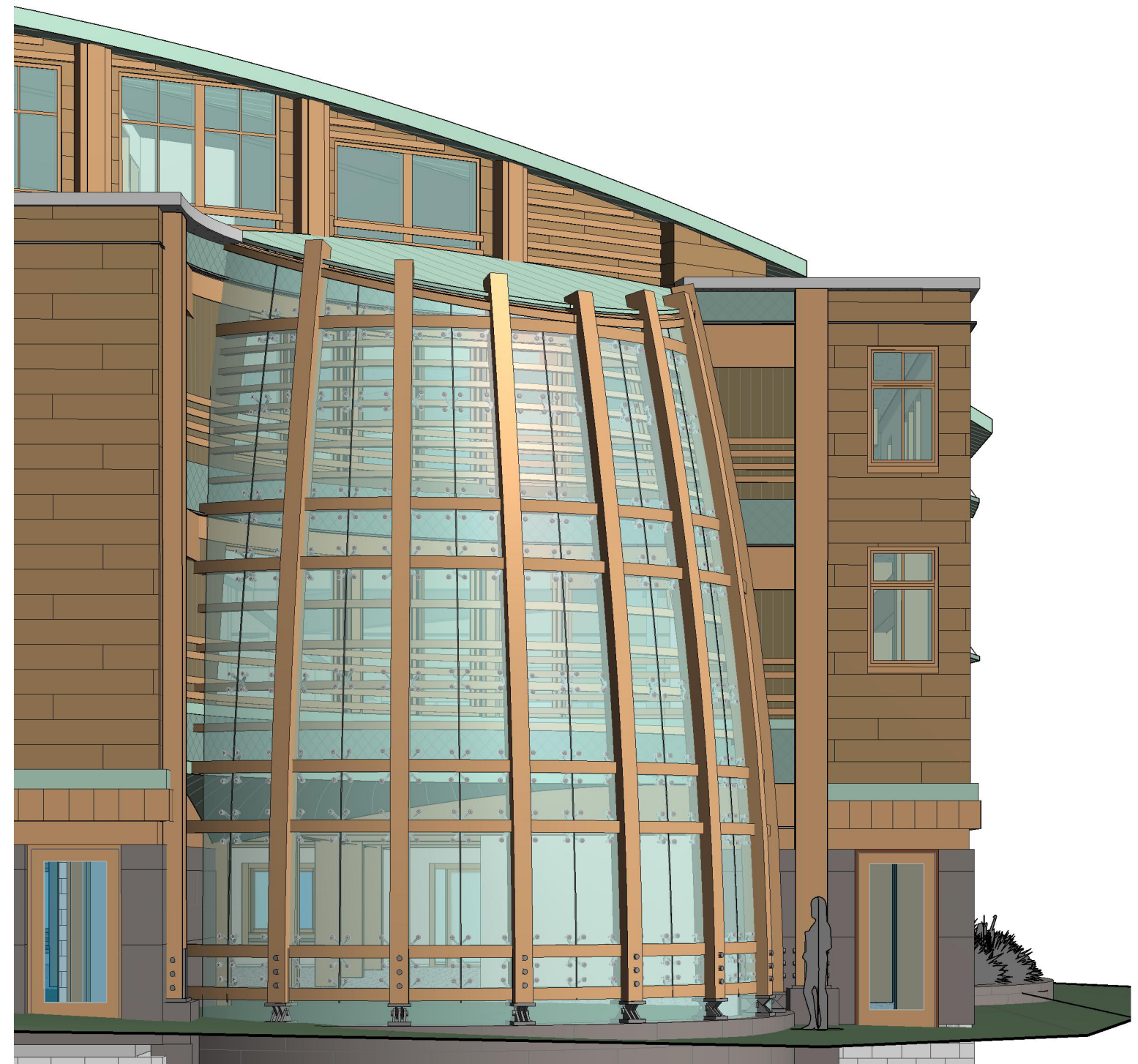
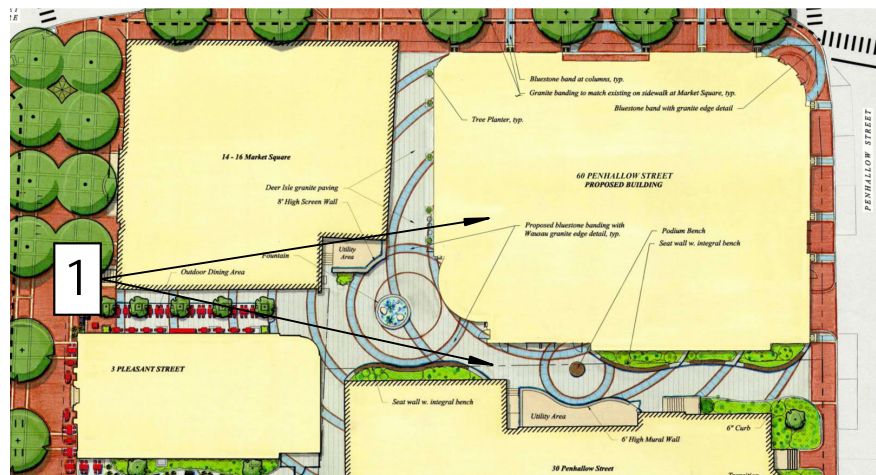
D1.11.R

### 3D VIGNETTES - SIDES

60 PENHALLOW STREET at BRICK MARKET 53 DANIEL STREET  
HDC Work Session 2 APRIL 2020

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS



COURTYARD VIEW 1

D1.12

## 3D VIGNETTE - COURTYARD

60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019

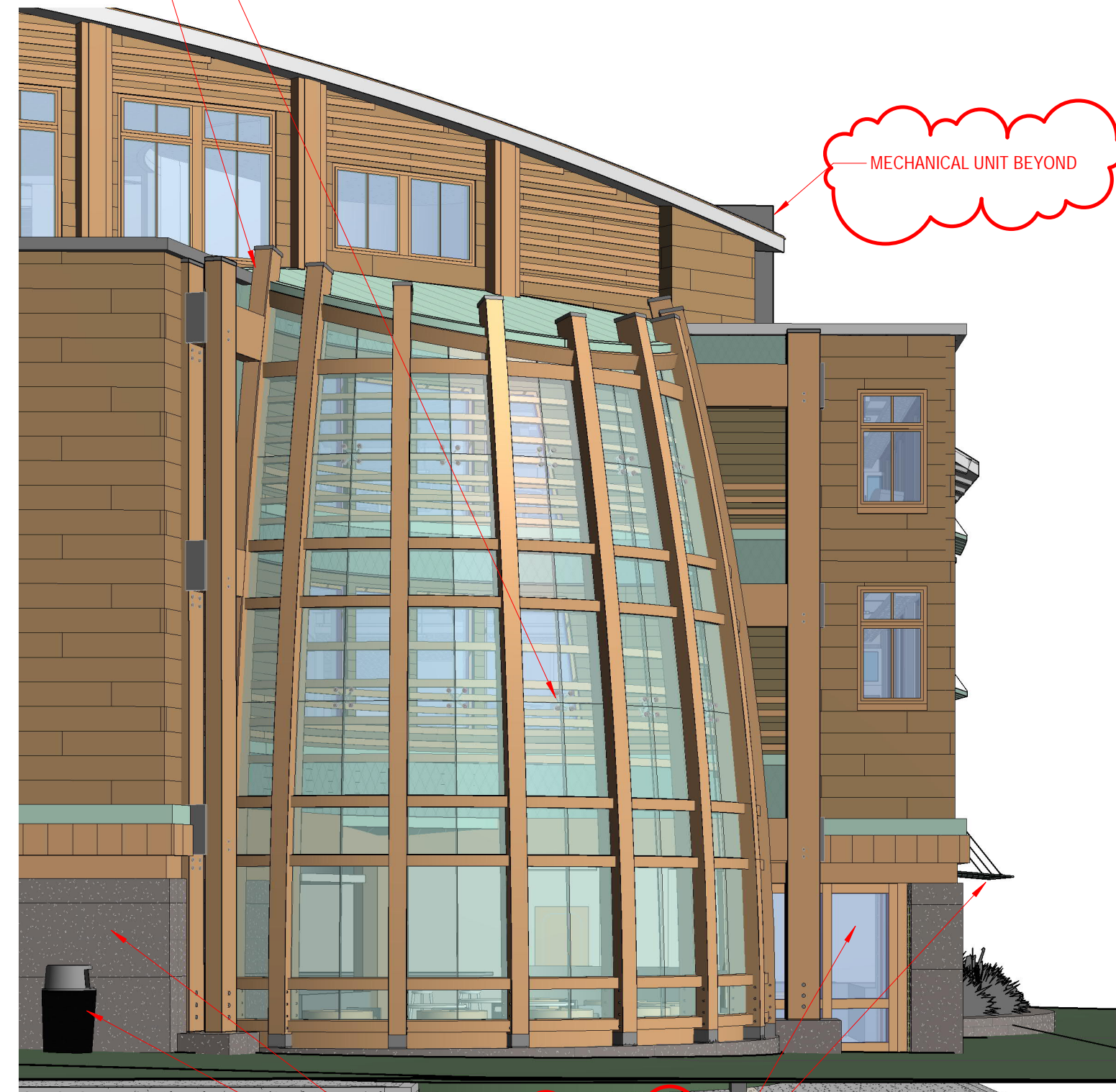
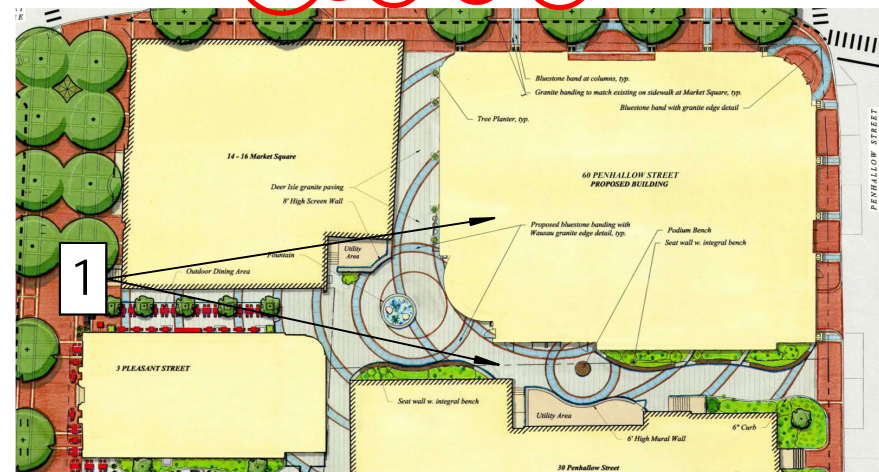
AS PREVIOUSLY  
APPROVED



ARCHITECTS  
INTERIORS  
PLANNERS



- RECESSED & ANGLED DOOR/STOREFRONT
- ADDED GLASS AWNING
- RAISED WINDOW SILL
- TRASH CHUTES (2)



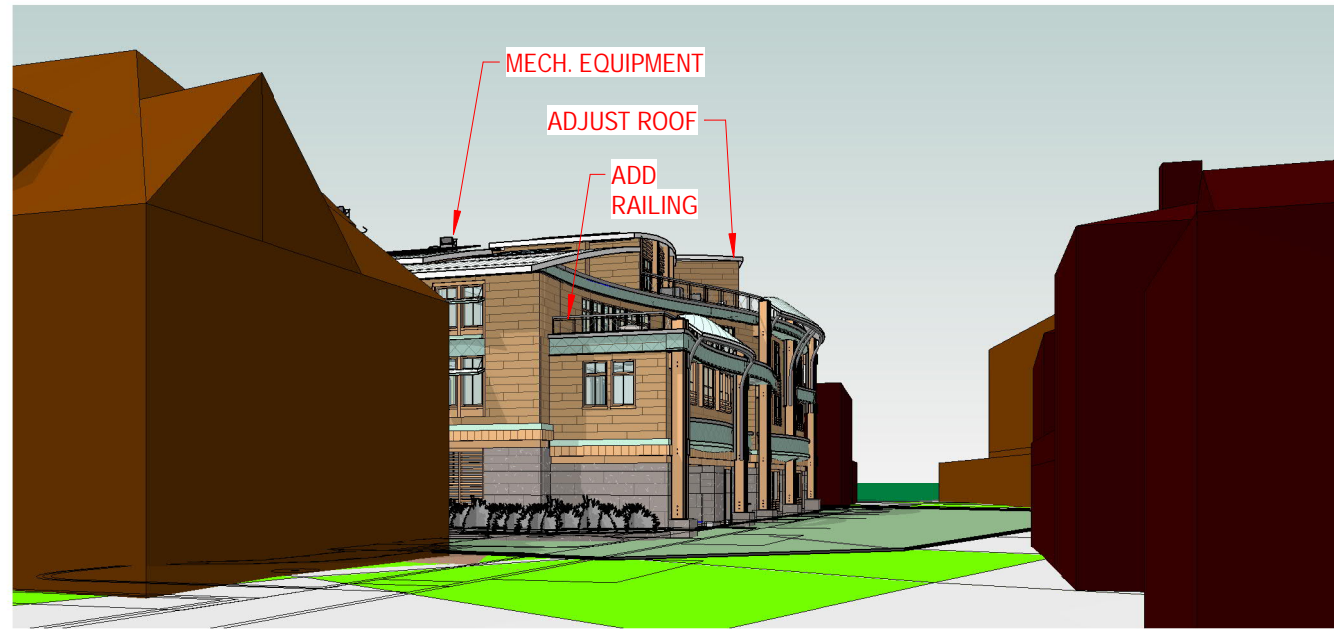
COURTYARD VIEW 1

D1.12.R

3D VIGNETTE - COURTYARD - PROPOSED

60 PENHALLOW STREET at BRICK MARKET

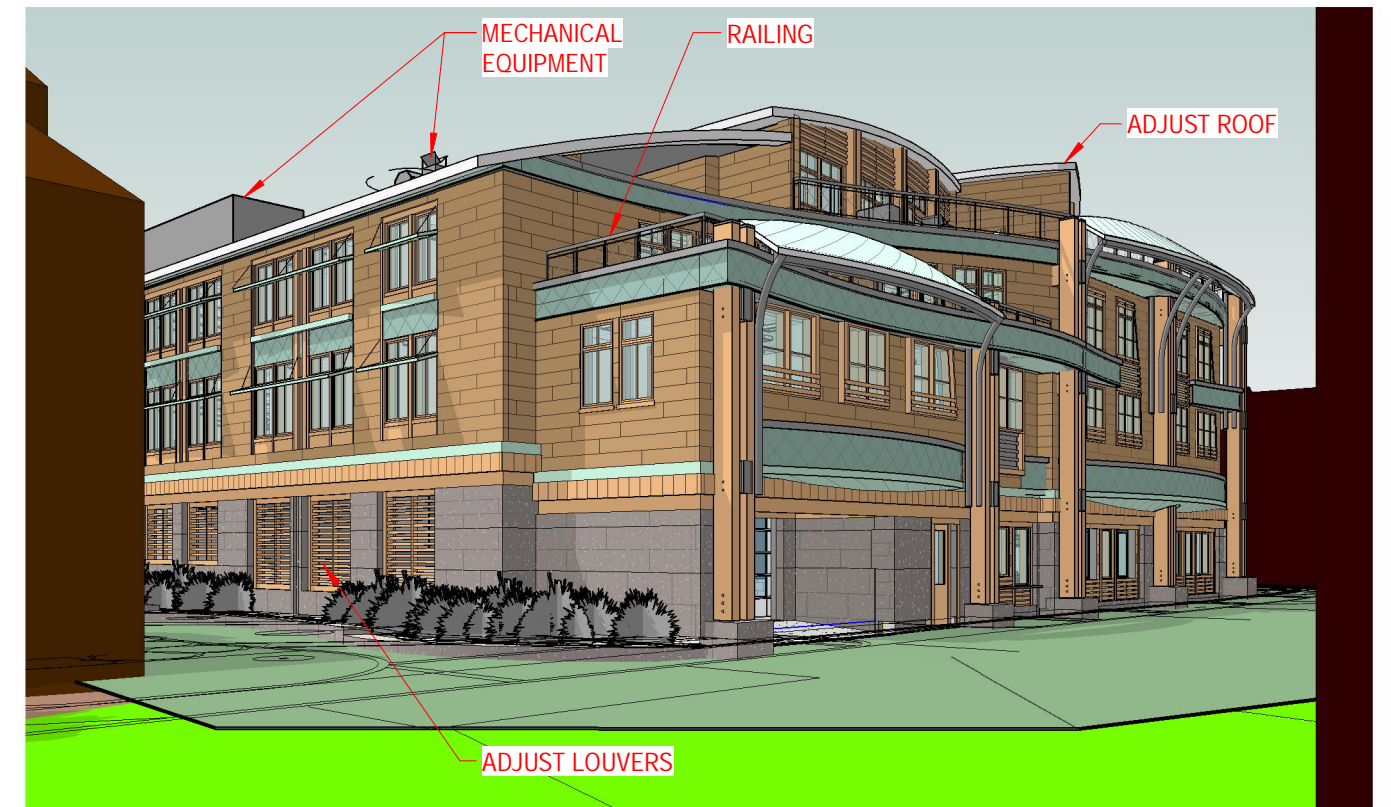
HDC Revision 1, OCTOBER 2020



2 60P from State street at Penhallow HDC



3 Courtyard & Serpentine Wall 1 from 60P South Alley HDC



1 60P south alley from shaefer st HDC

D1.12.1.R

3D VIGNETTES - SOUTH ALLEY

60 PENHALLOW STREET at BRICK MARKET  
HDC REVISION 1 - OCTOBER 2020

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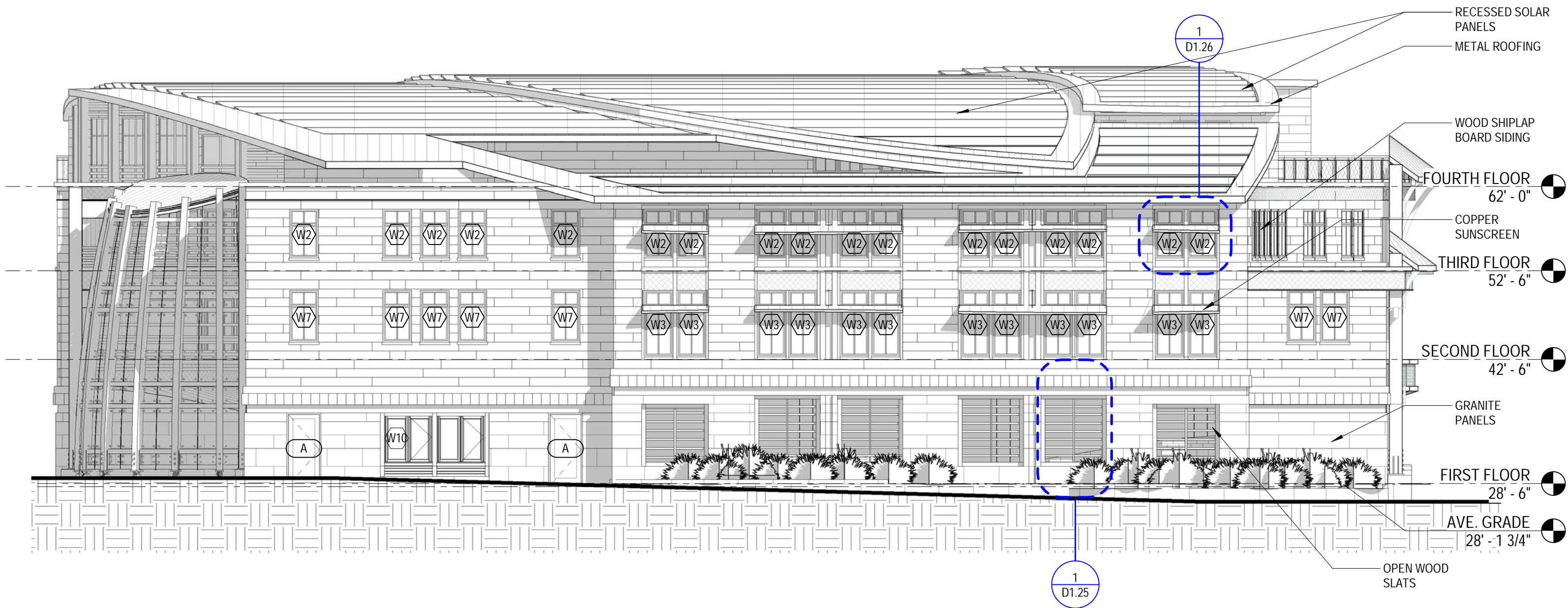






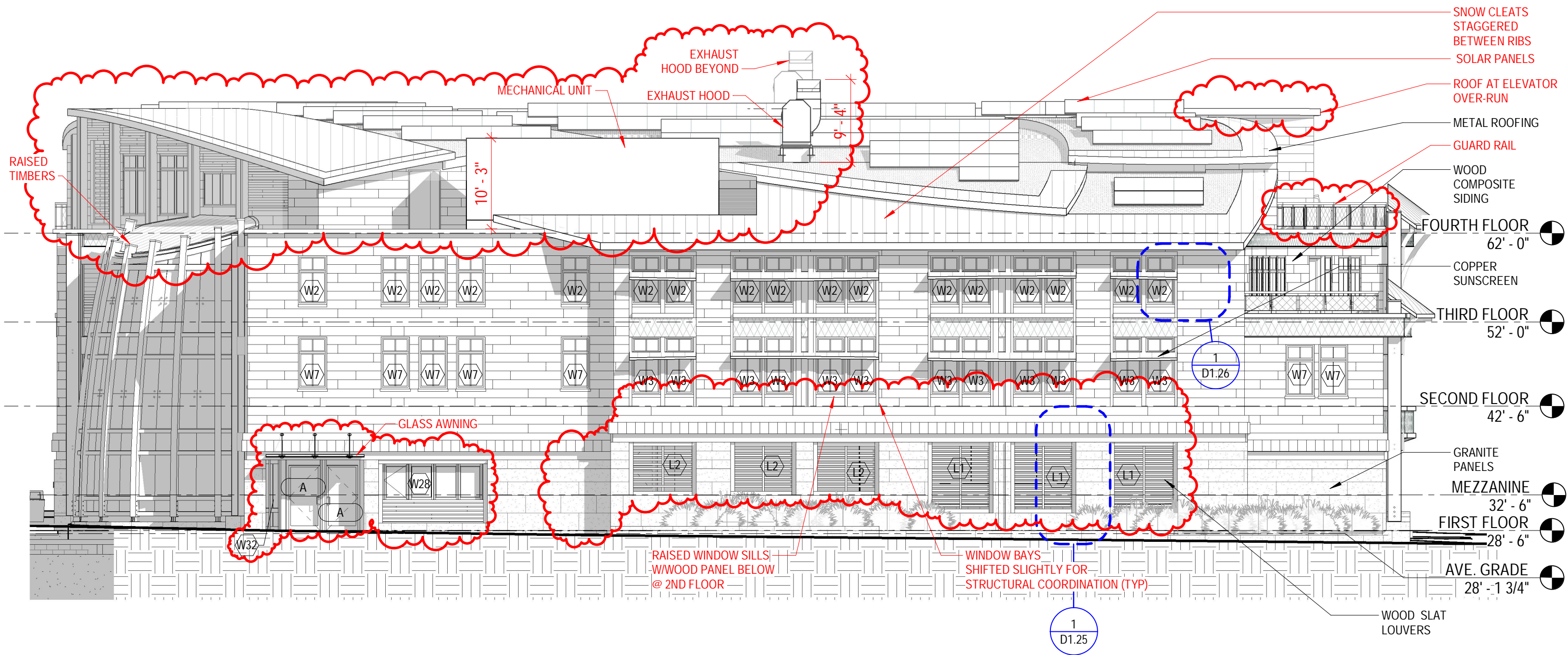






1 SOUTH ELEVATION - ALLEY  
3/32" = 1'-0"

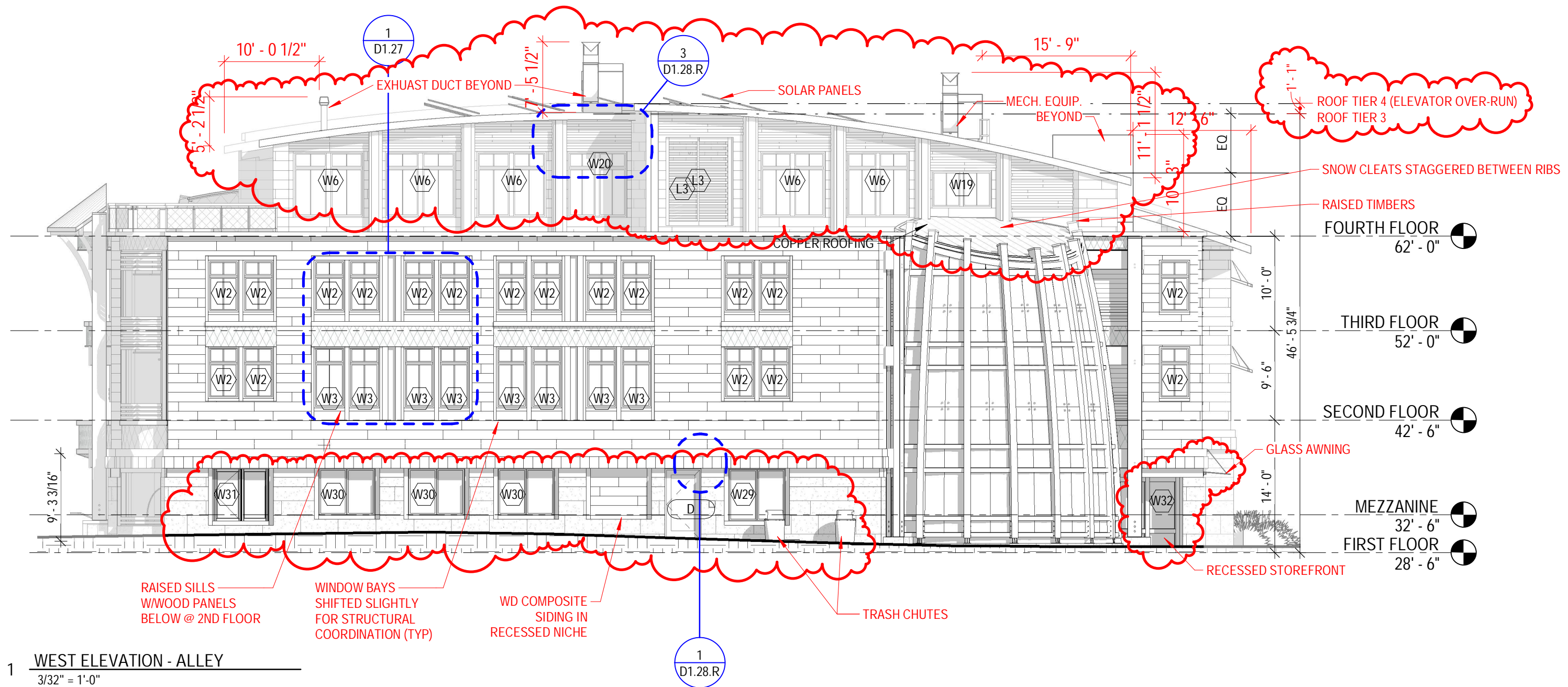
D1.15 SOUTH ELEVATION AS PREVIOUSLY APPROVED  
60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019



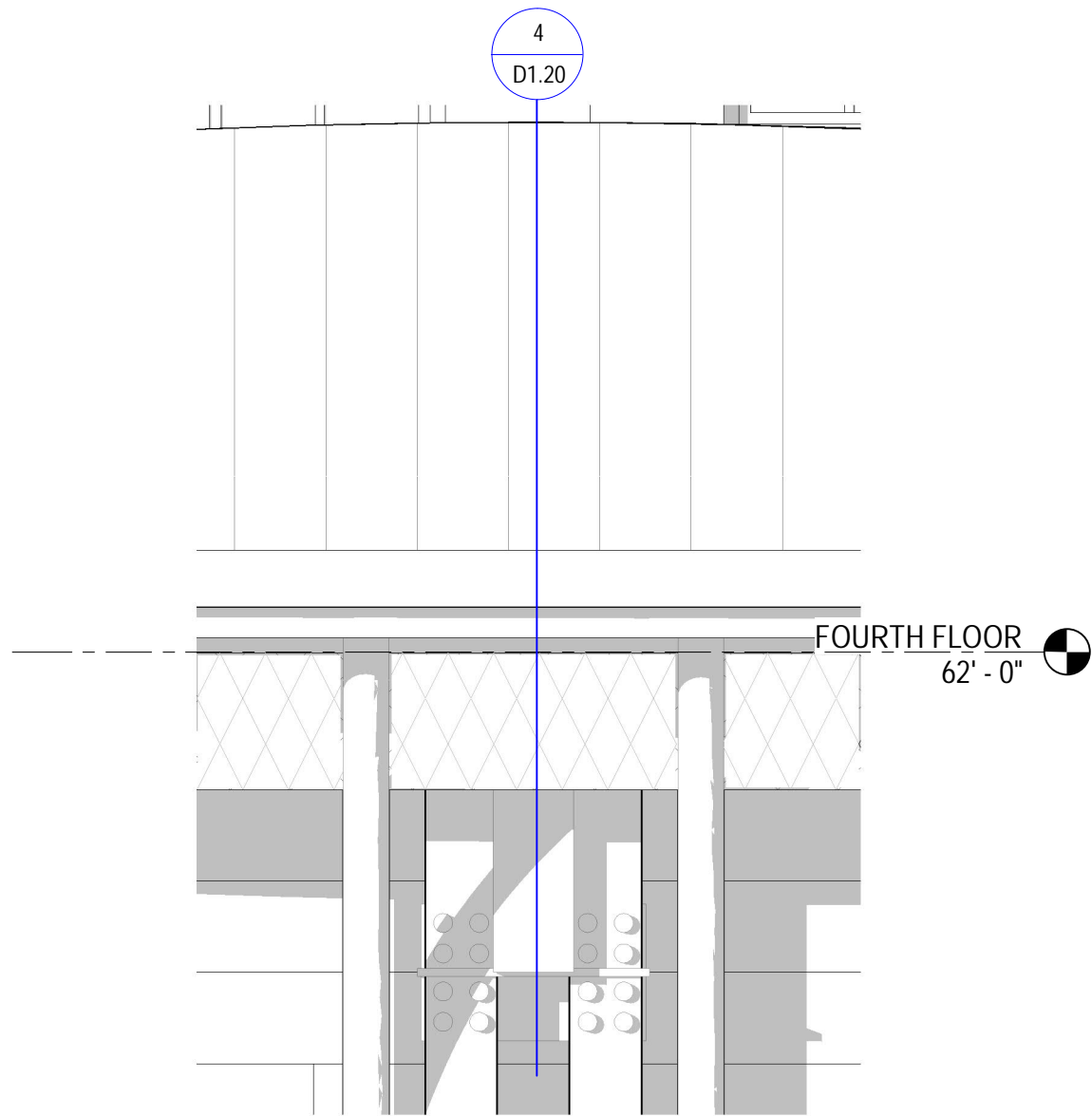
1 SOUTH ELEVATION - ALLEY  
3/32" = 1'-0"

D1.15.R SOUTH ELEVATION - PROPOSED  
60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 1, OCTOBER 2020

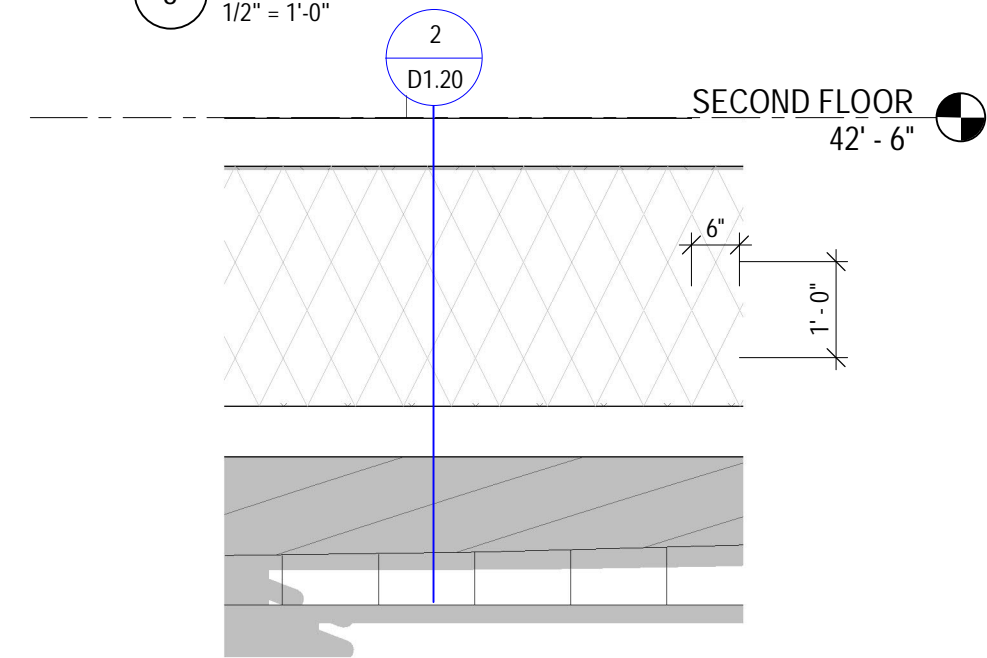




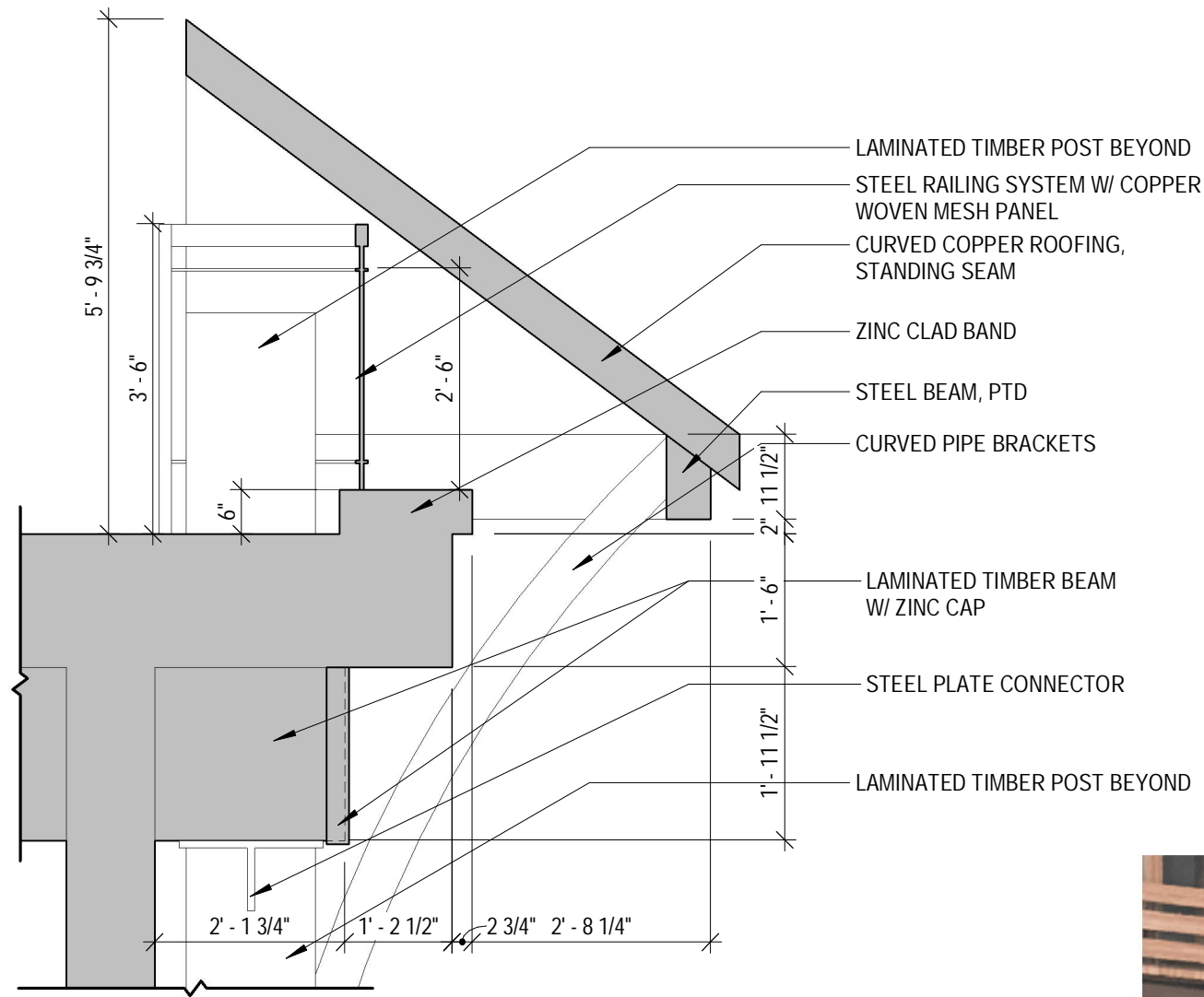
D1.16.R WEST ELEVATION - PROPOSED  
60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 1, OCTOBER 2020



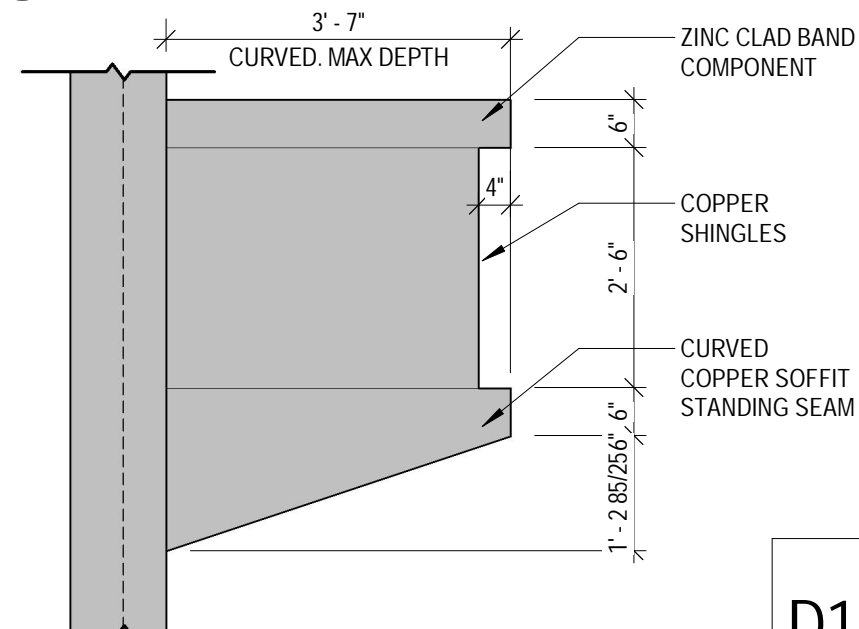
3 HDC TYPICAL ROOF EAVE ELEVATION  
1/2" = 1'-0"



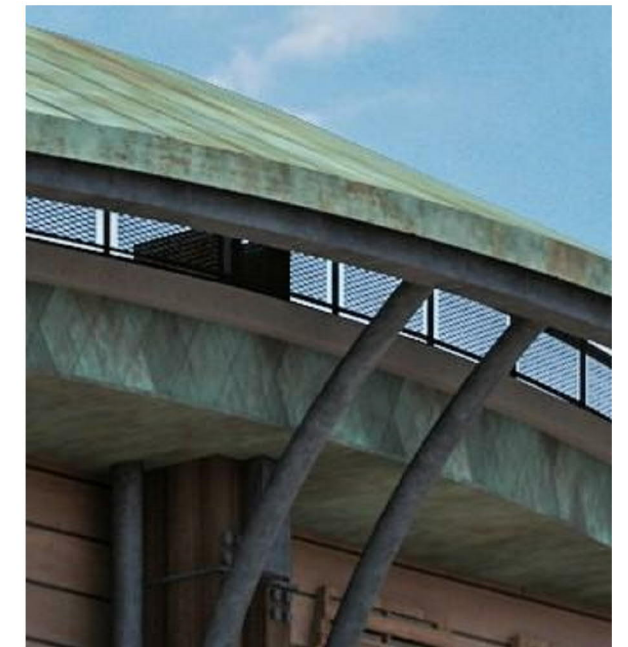
1 HDC TILE MOSAIC BAND ELEVATION  
1/2" = 1'-0"



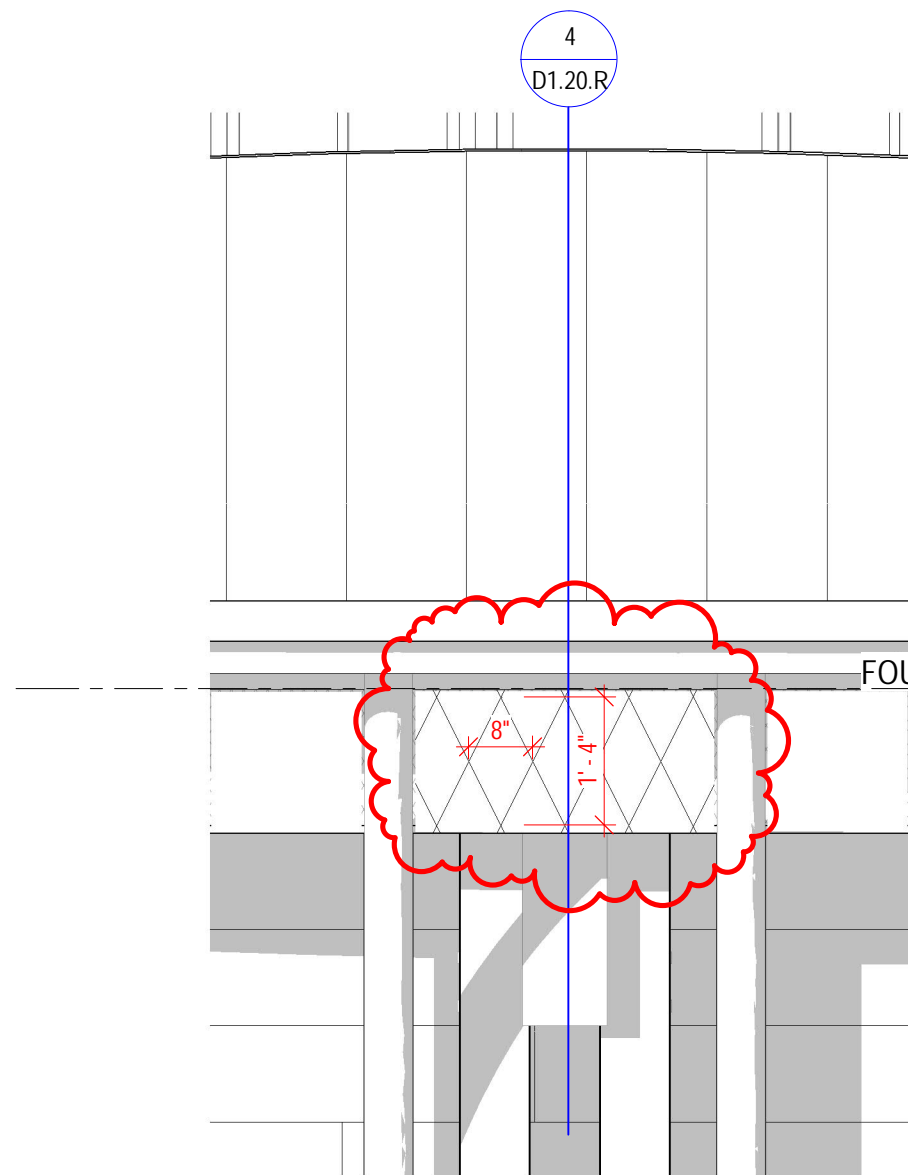
4 HDC TYPICAL ROOF EAVE SECTION DETAIL  
1/2" = 1'-0"



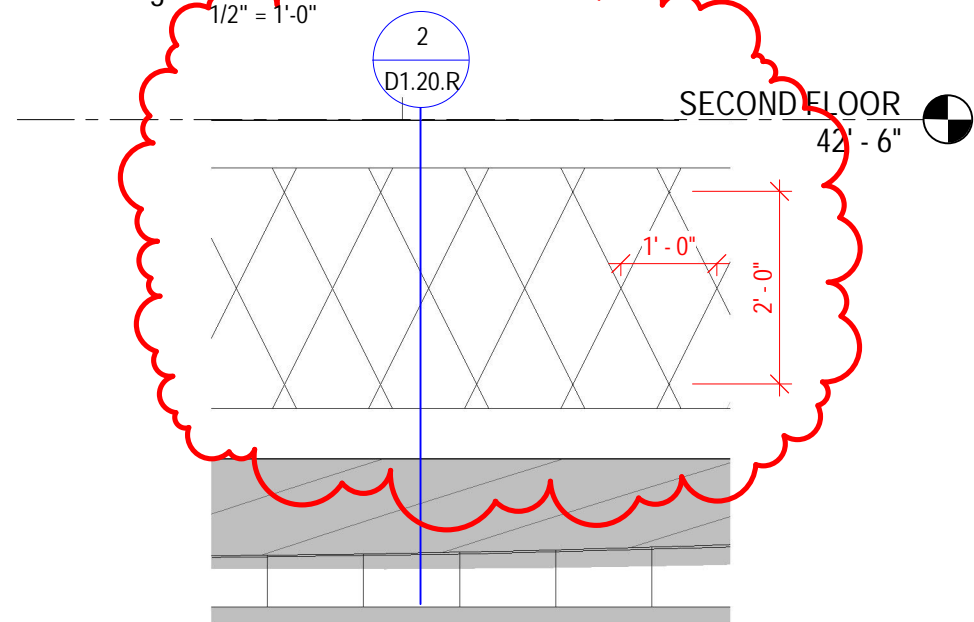
2 HDC TILE MOSAIC BAND DETAIL  
1/2" = 1'-0"



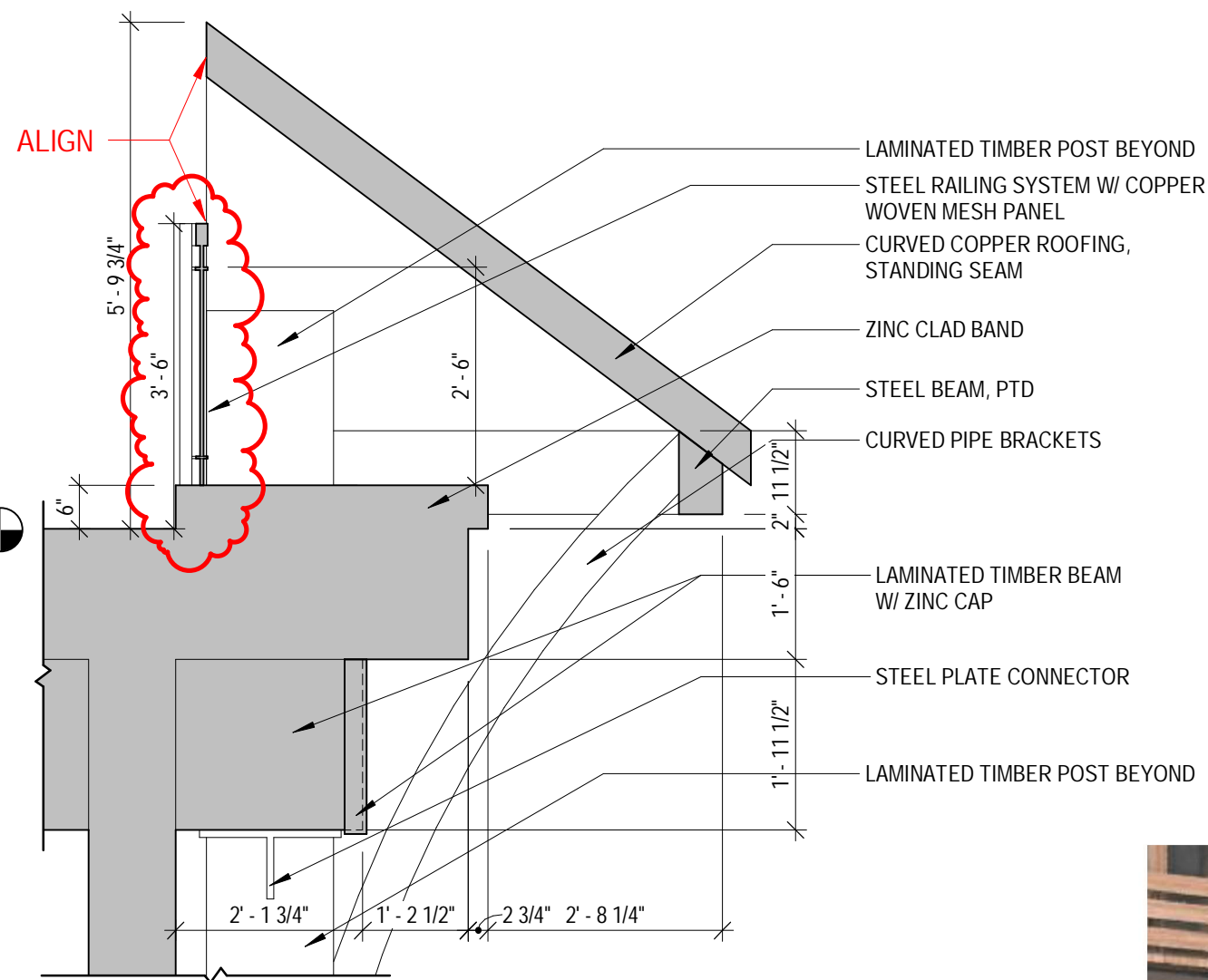
**D1.20** ELEVATION DETAILS **AS PREVIOUSLY APPROVED**  
60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019



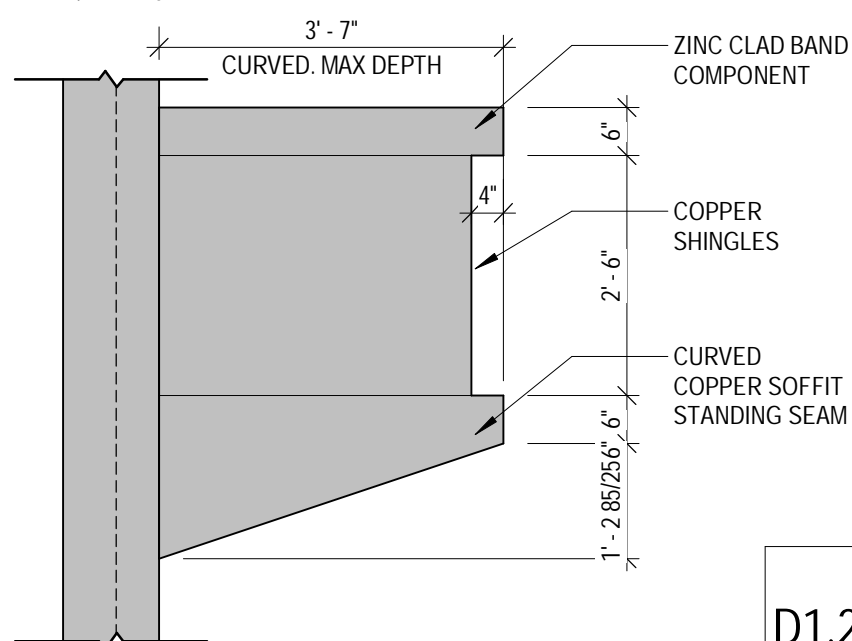
3 HDC TYPICAL ROOF EAVE ELEVATION  
1/2" = 1'-0"



1 HDC TILE MOSAIC BAND ELEVATION  
1/2" = 1'-0"



4 HDC TYPICAL ROOF EAVE SECTION DETAIL  
1/2" = 1'-0"



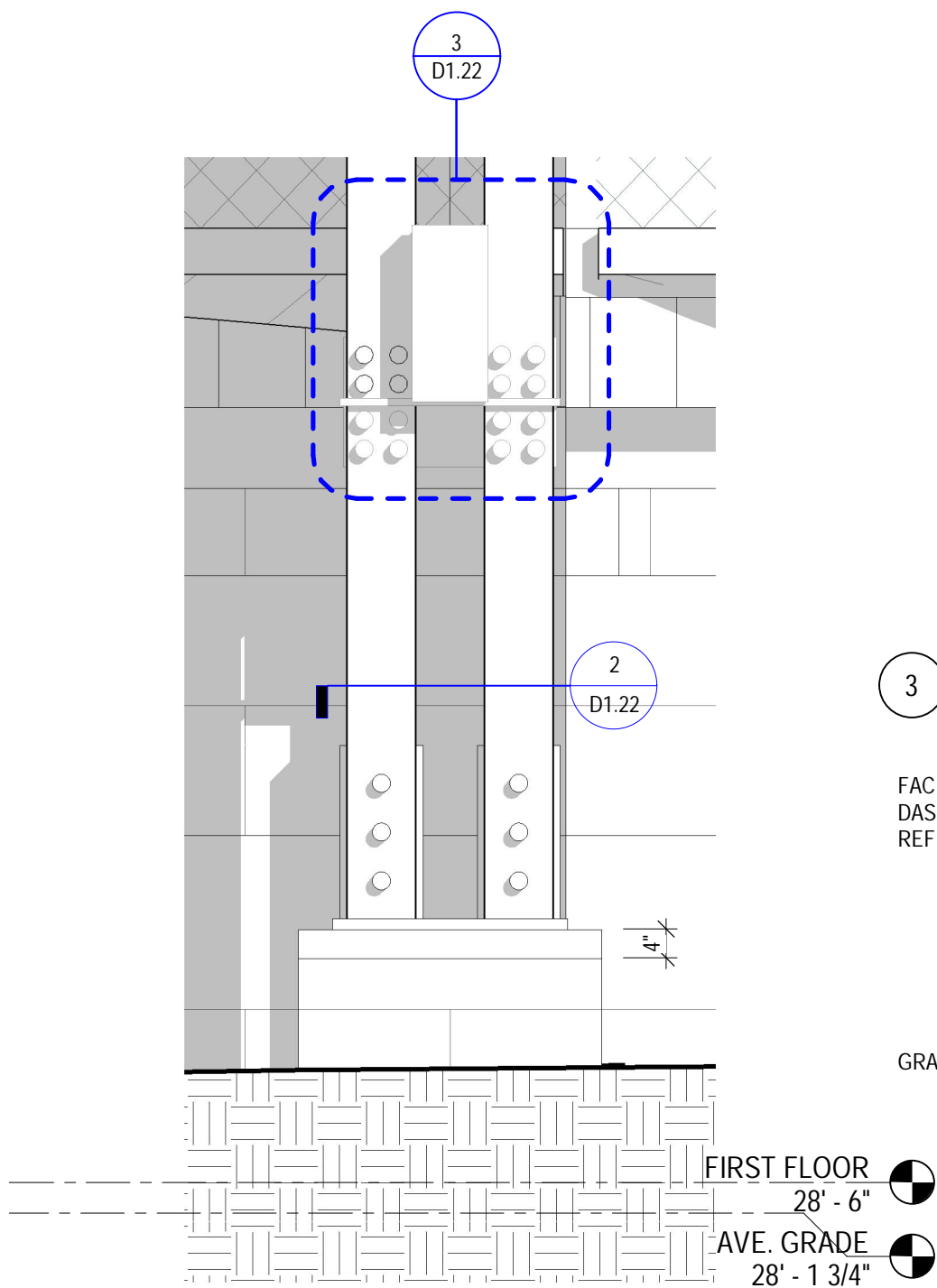
2 HDC TILE MOSAIC BAND DETAIL  
1/2" = 1'-0"



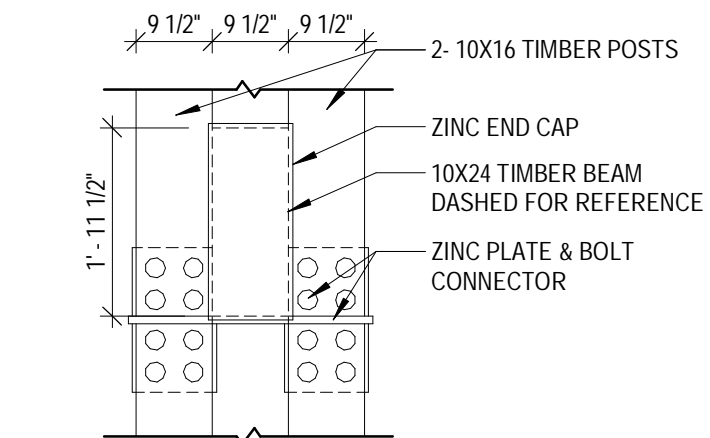
D1.20.R

## ELEVATION DETAILS - PROPOSED

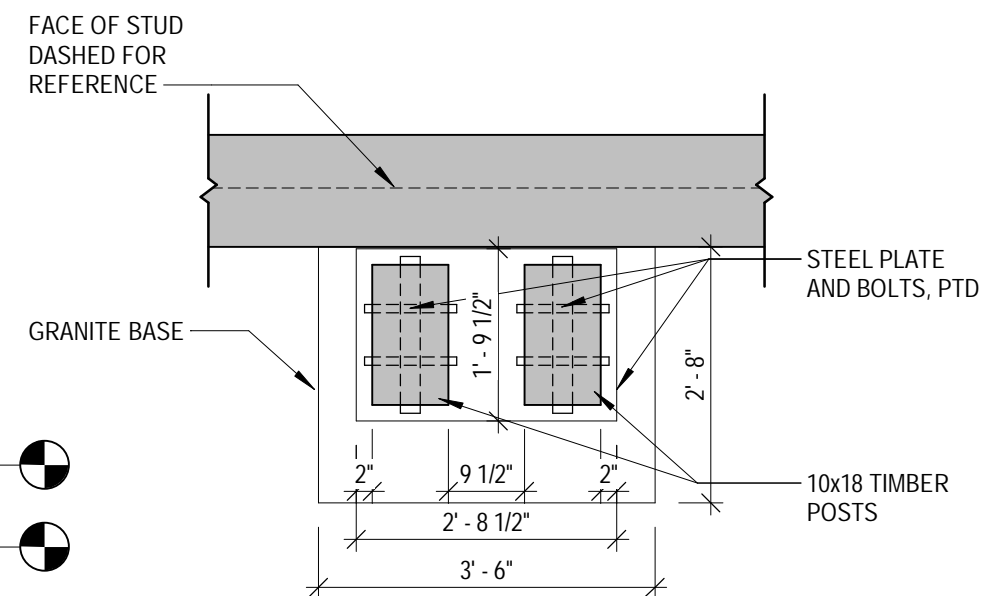
60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 1, OCTOBER 2020



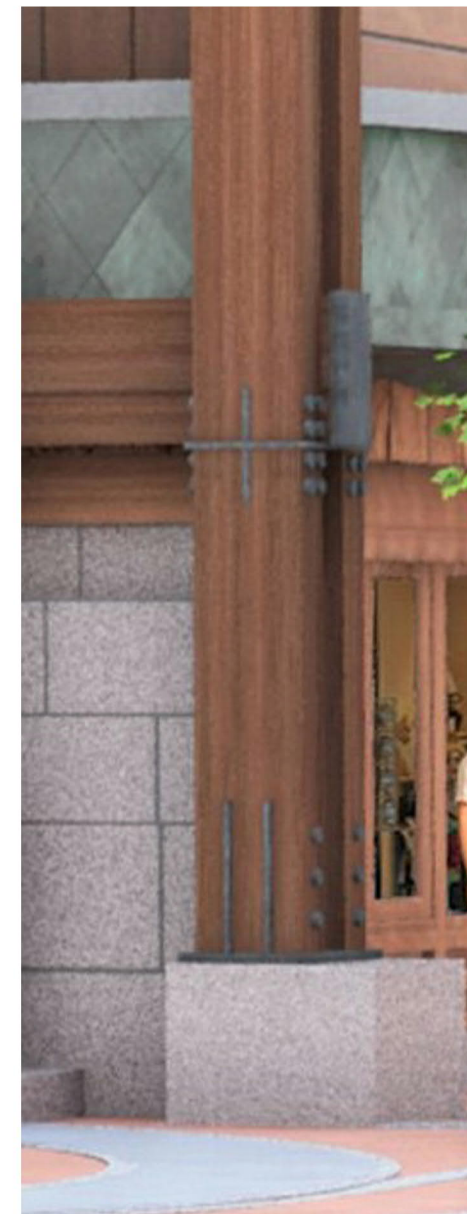
1 HDC TYPICAL TIMBER & GRANITE BASE ELEVATION  
1/2" = 1'-0"

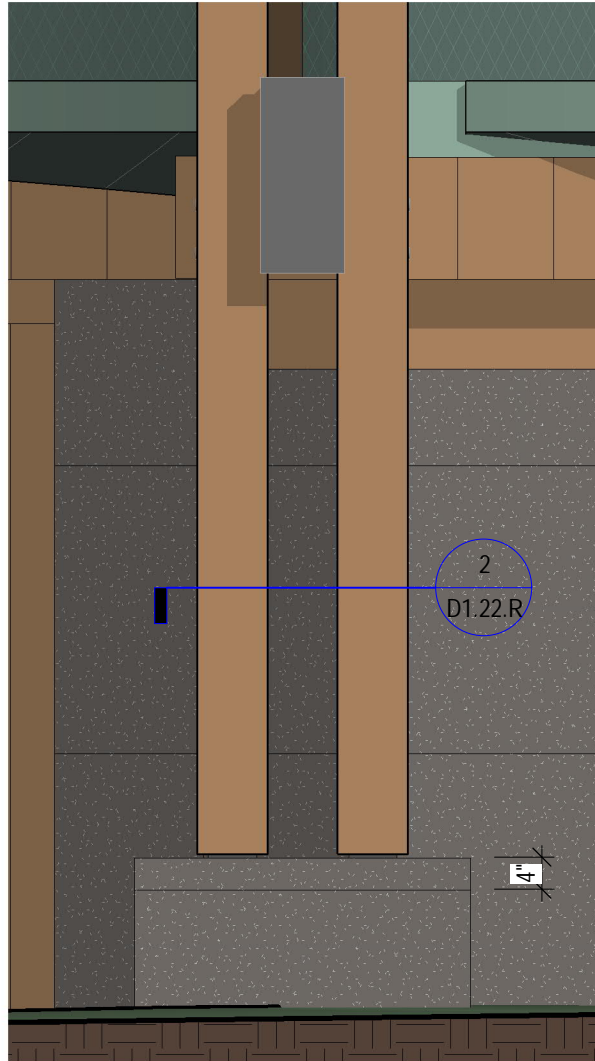


3 HDC TYPICAL BEAM AND POST CONNECTION  
1/2" = 1'-0"

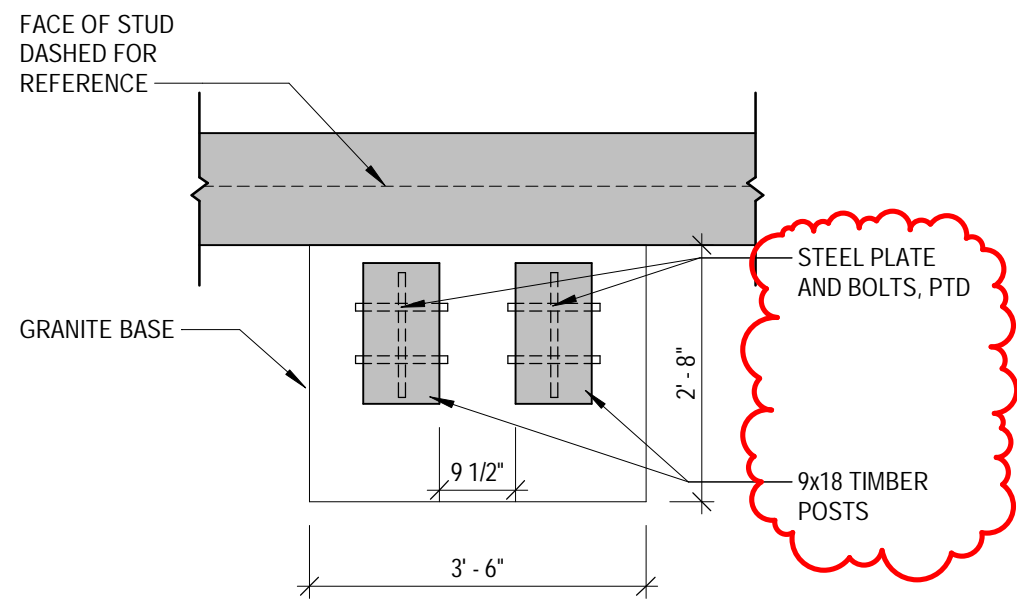


2 HDC TYPICAL TIMBER & GRANITE BASE PLAN DETAIL  
1/2" = 1'-0"

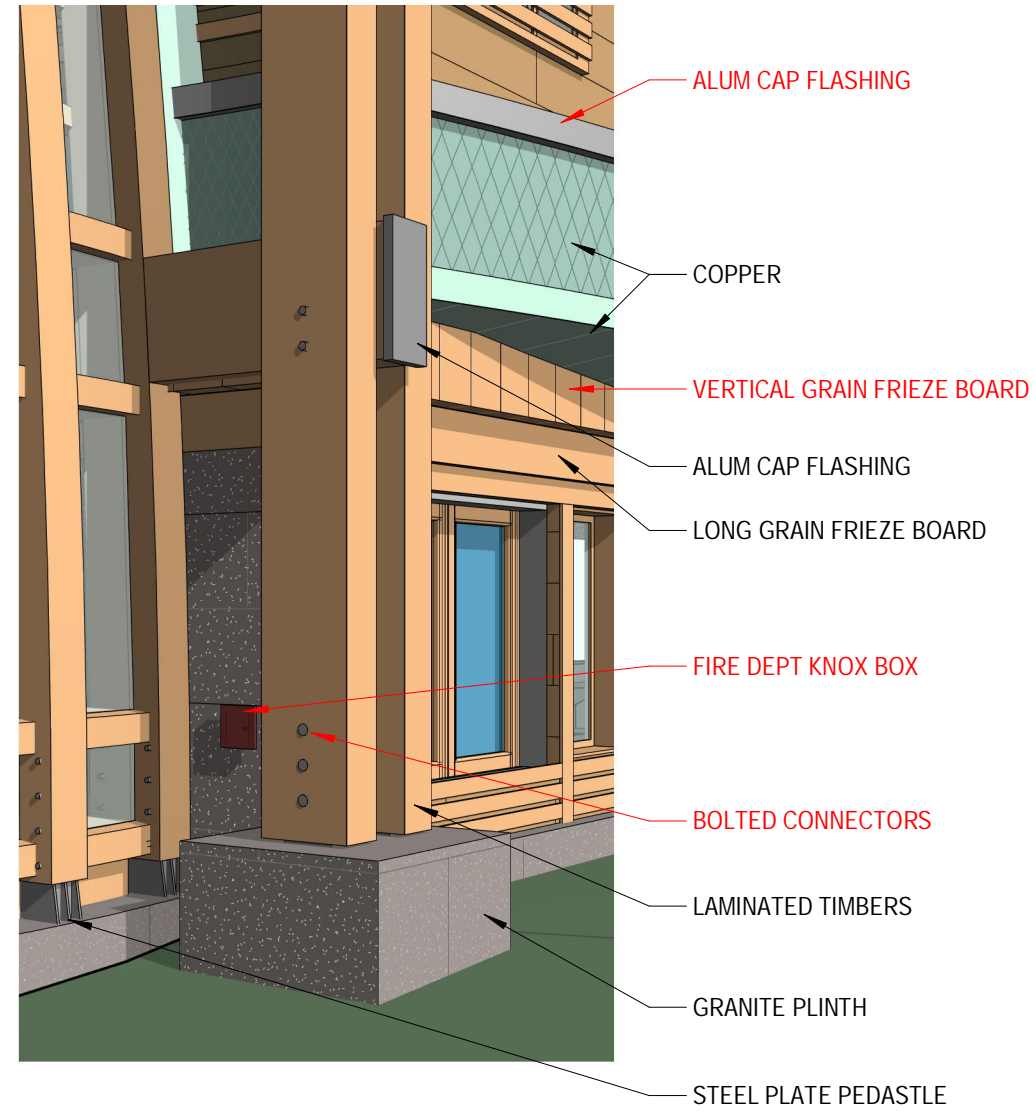




1 HDC TYPICAL TIMBER & GRANITE BASE ELEVATION  
1/2" = 1'-0"



2 HDC TYPICAL TIMBER & GRANITE BASE PLAN DETAIL  
1/2" = 1'-0"

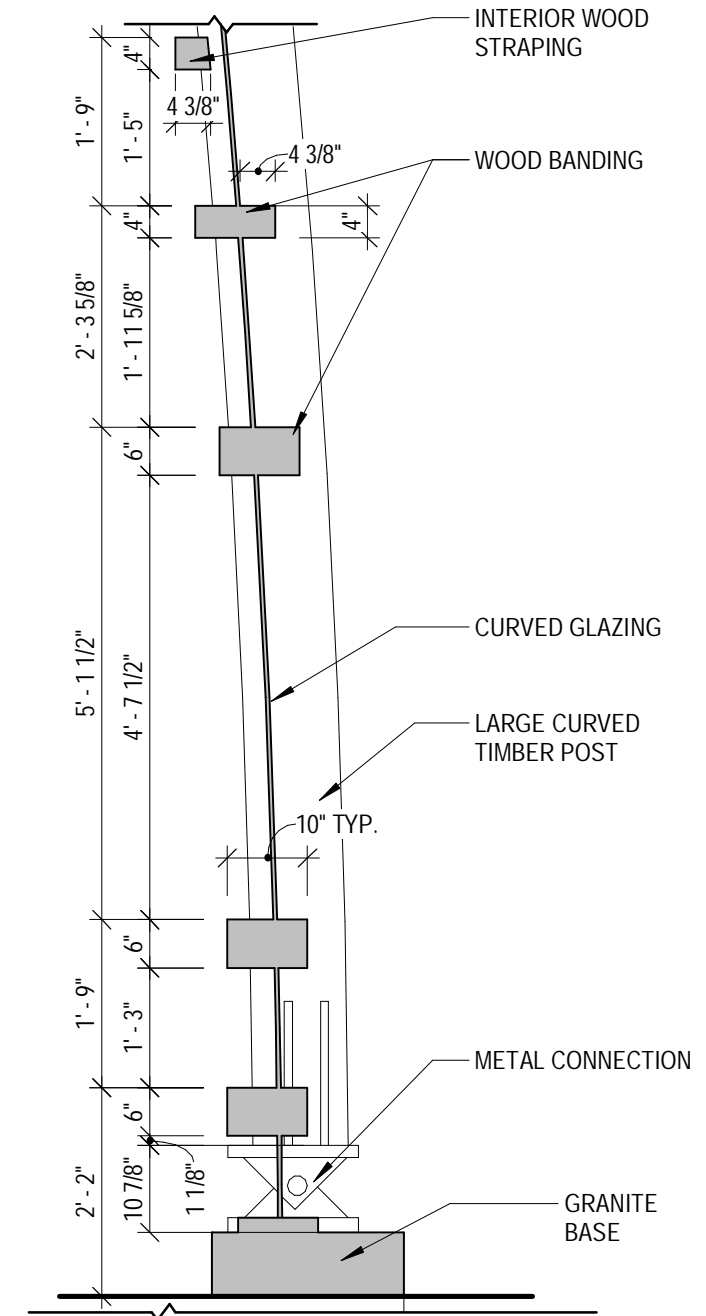
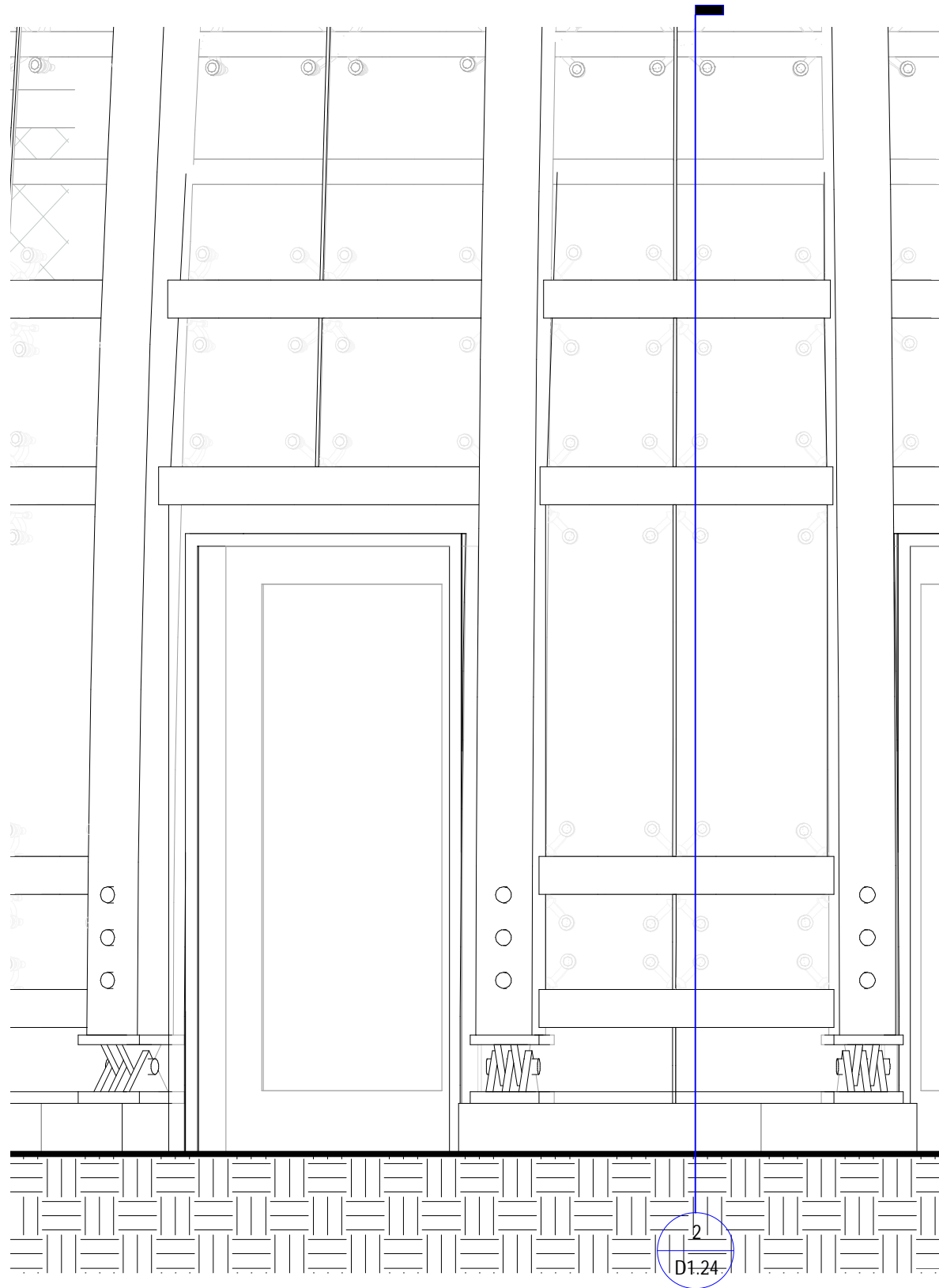


3 Granite-Timber Base at NE Vessel HDC

D1.22.R

## ELEVATION DETAILS - PROPOSED

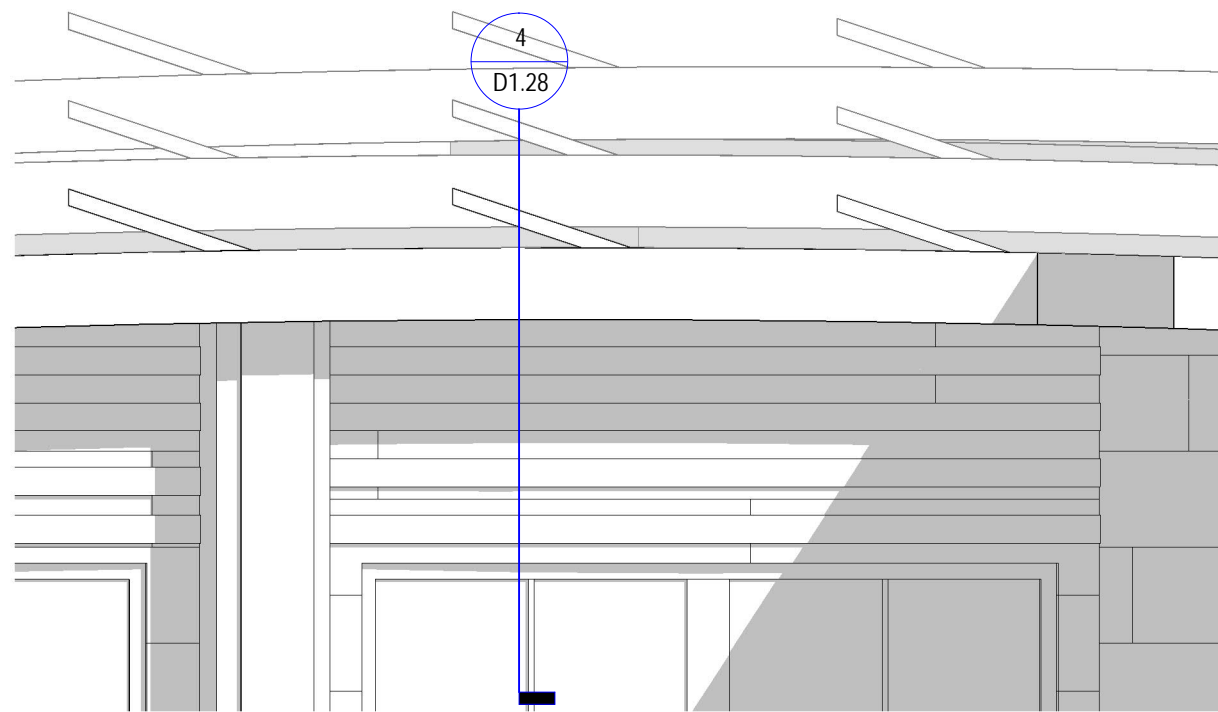
60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 1, OCTOBER 2020



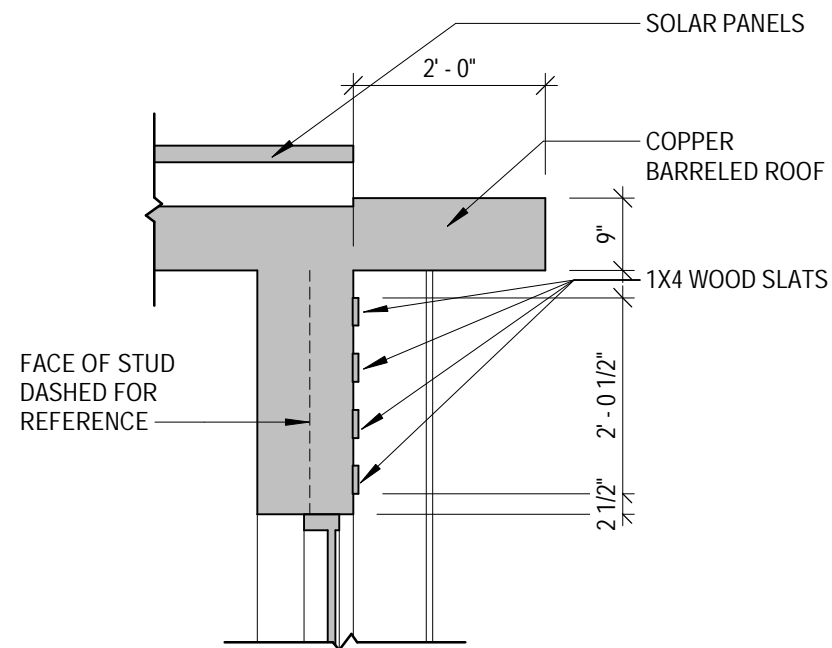
1 HDC ENTRY TOWER BASE ELEVATION  
1/2" = 1'-0"

2 HDC ENTRY TOWER BASE SECTION DETAIL  
1/2" = 1'-0"

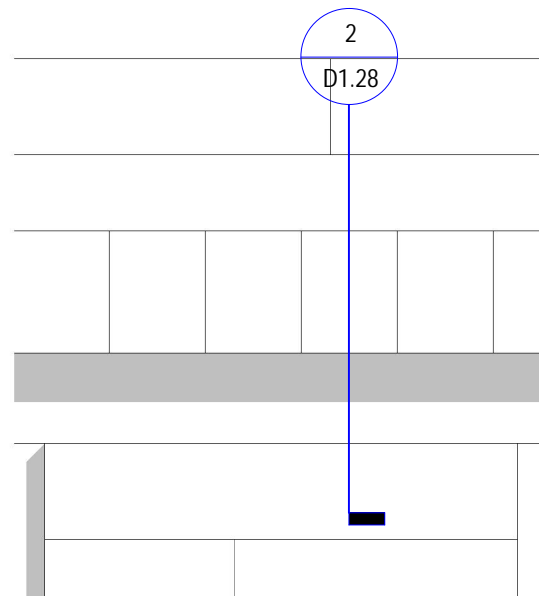




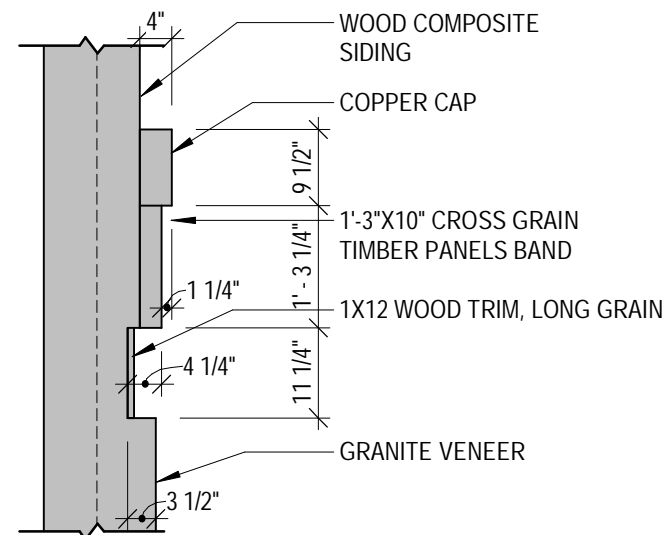
3 HDC BARREL ROOF ELEVATION  
1/2" = 1'-0"



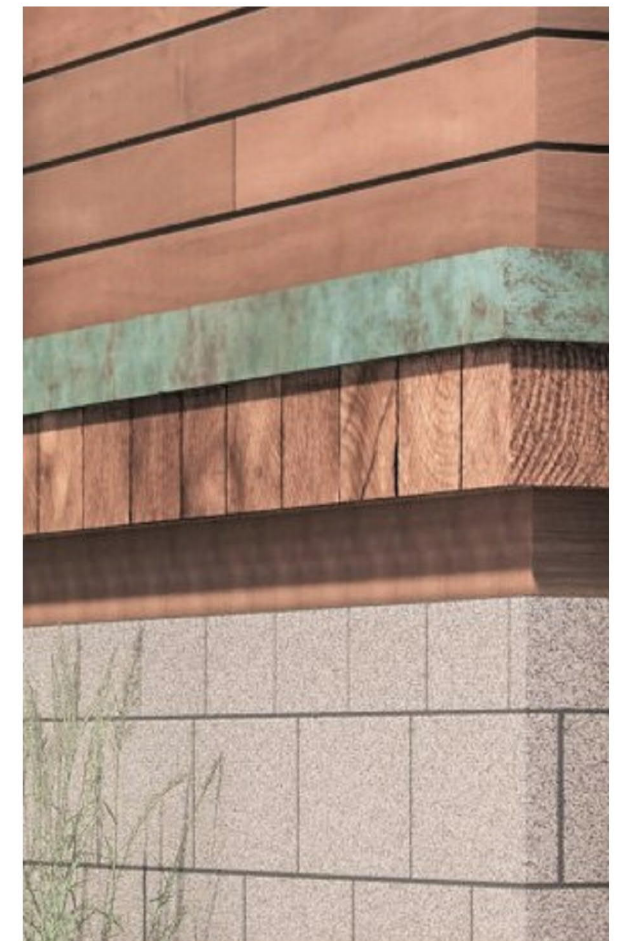
4 HDC BARREL ROOF SECTION DETAIL  
1/2" = 1'-0"



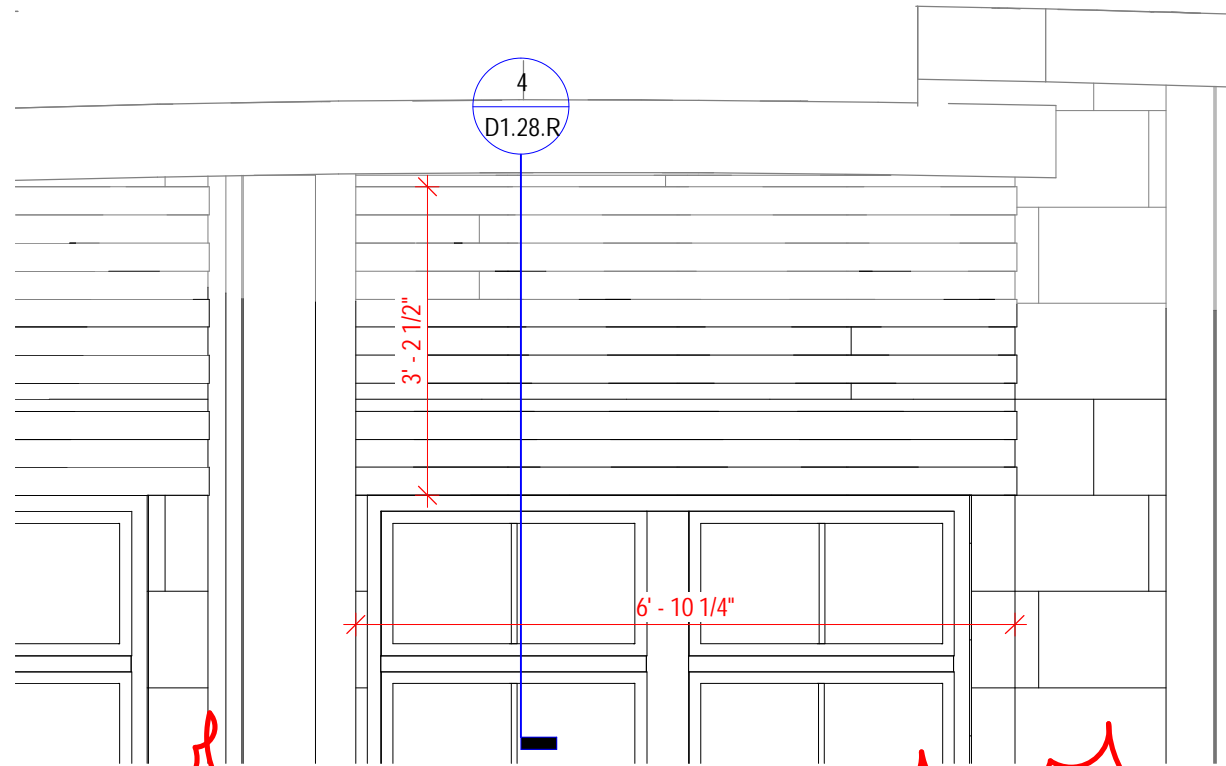
1 HDC RAINSCREEN/GRANITE TRANSITION BANDING  
1/2" = 1'-0"



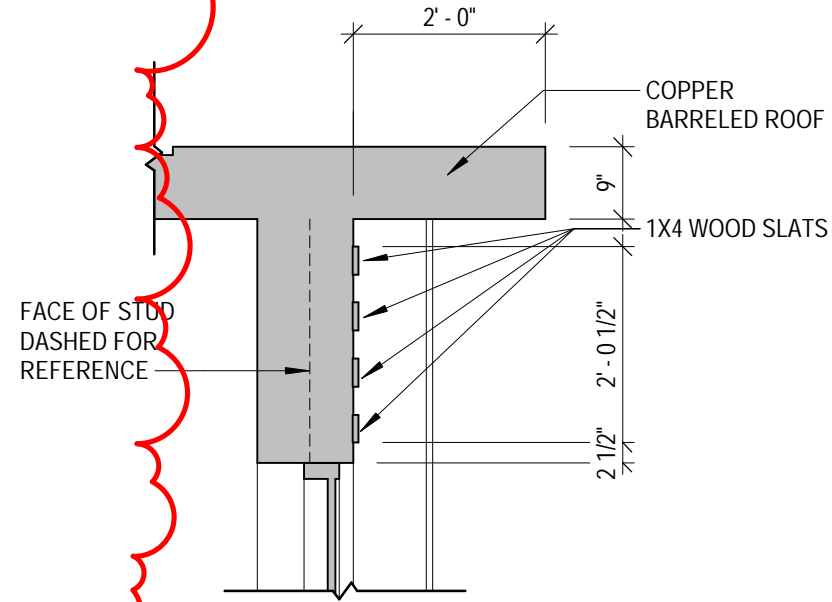
2 HDC RAINSCREEN/GRANITE TRANSITION BANDING  
1/2" = 1'-0"



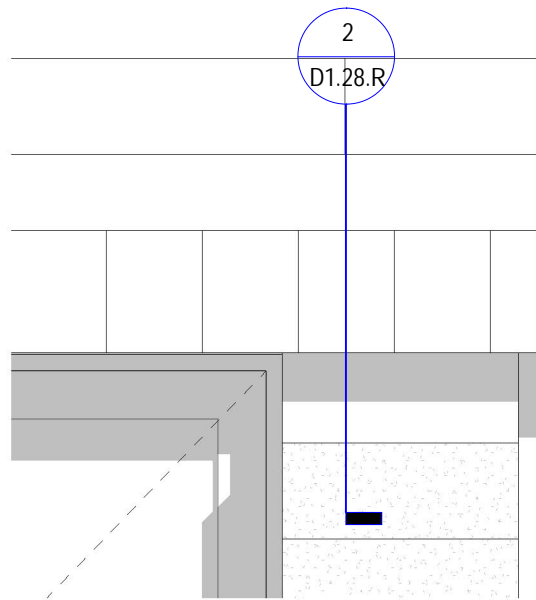
D1.28 ELEVATION DETAILS **AS PREVIOUSLY APPROVED**  
60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019



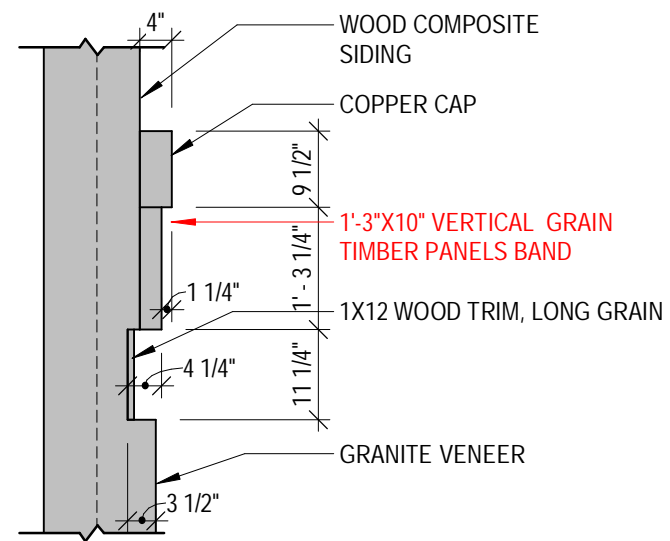
3 HDC BARREL ROOF ELEVATION  
1/2" = 1'-0"



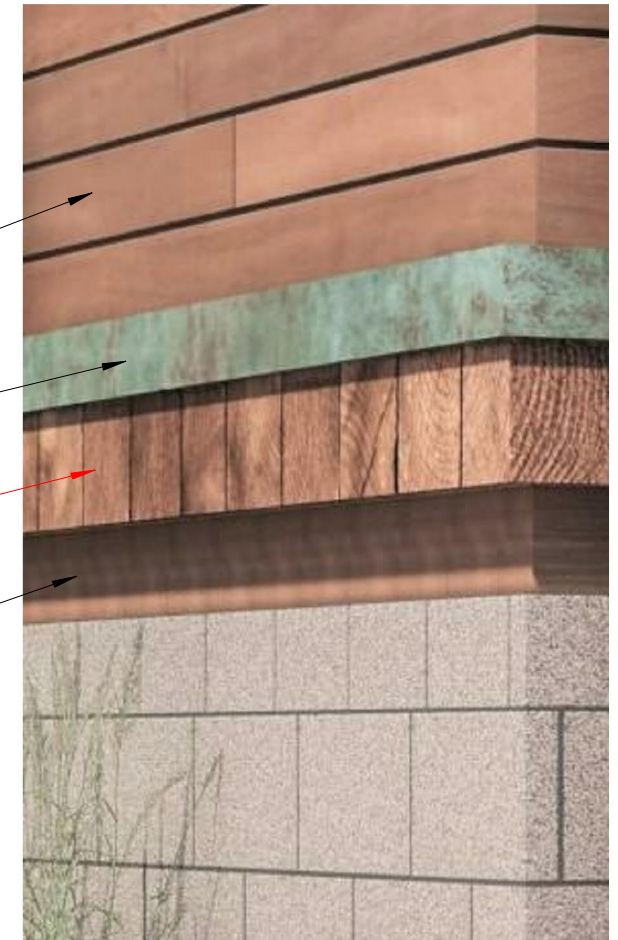
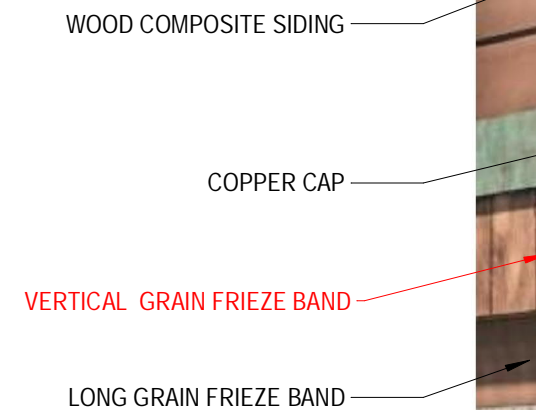
4 HDC BARREL ROOF SECTION DETAIL  
1/2" = 1'-0"



1 HDC RAINSCREEN/GRANITE TRANSITION BANDING  
1/2" = 1'-0"



2 HDC RAINSCREEN/GRANITE TRANSITION BANDING  
1/2" = 1'-0"



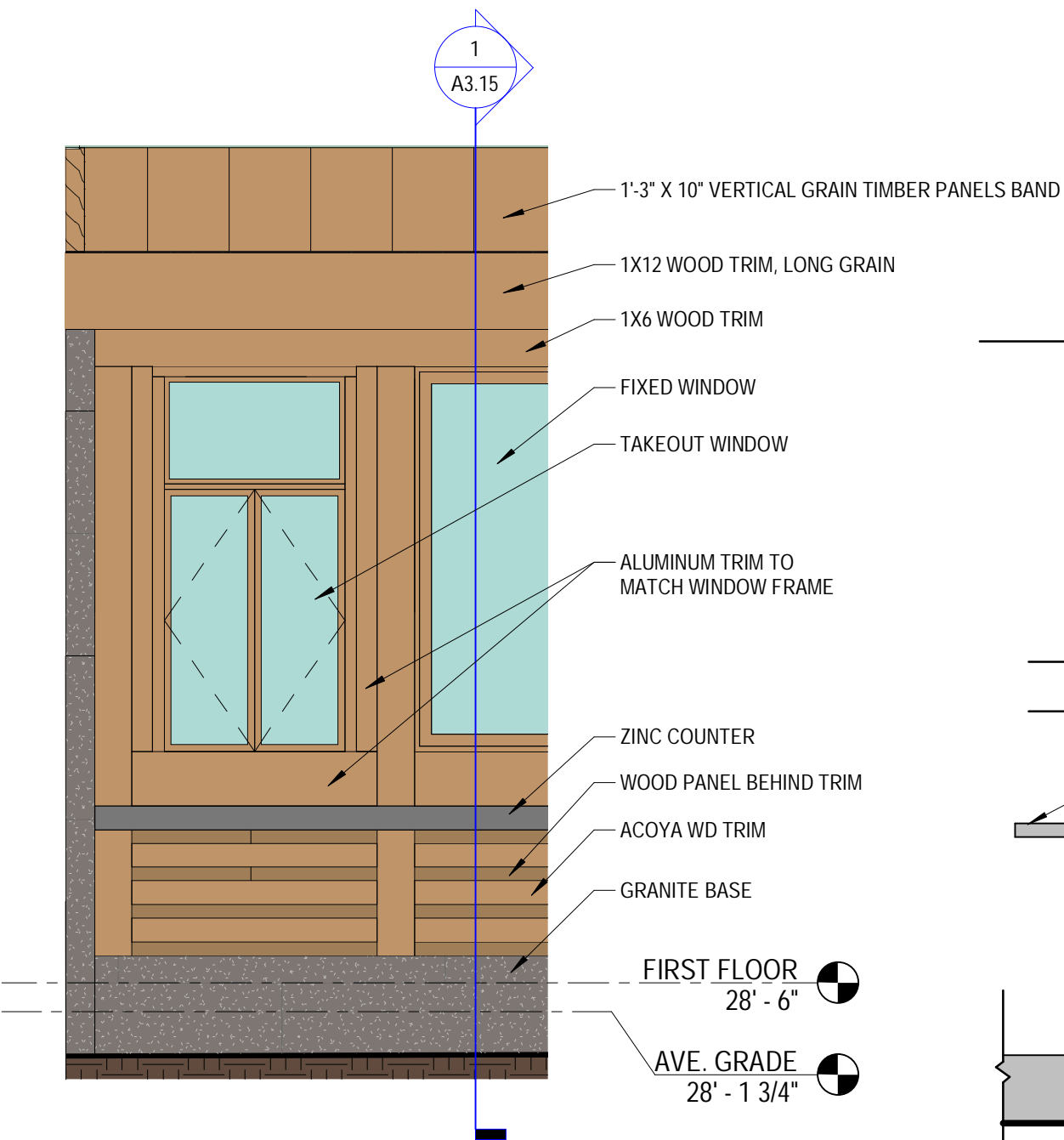
D1.28.R

## ELEVATION DETAILS - PROPOSED

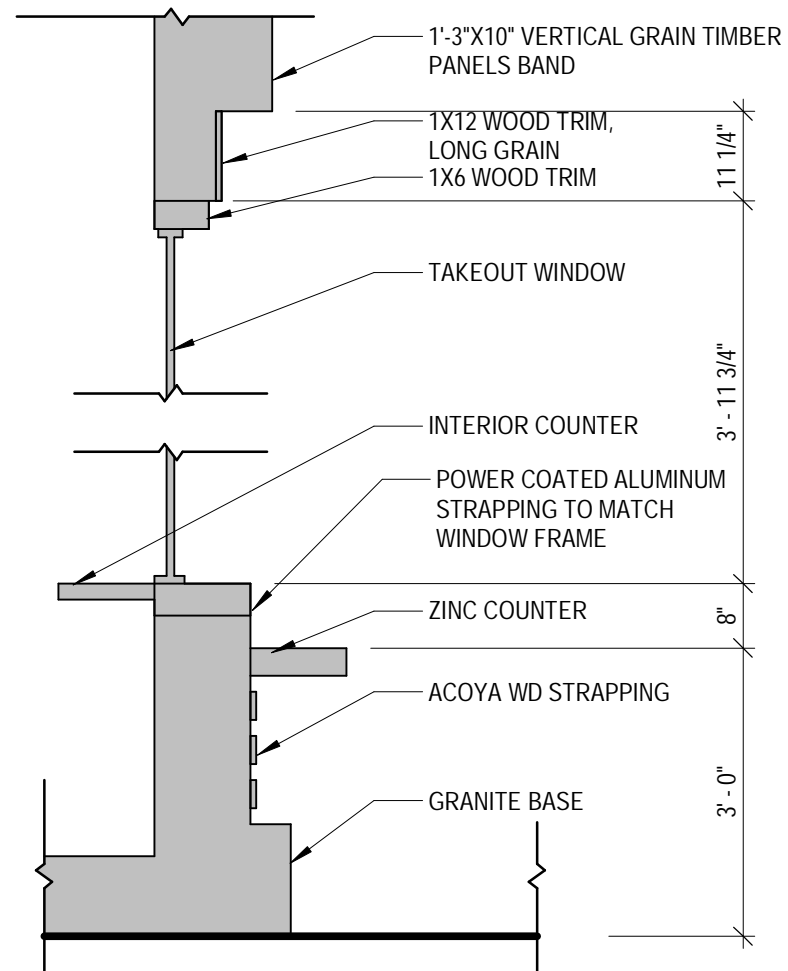
60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 1, OCTOBER 2020

**JSA**

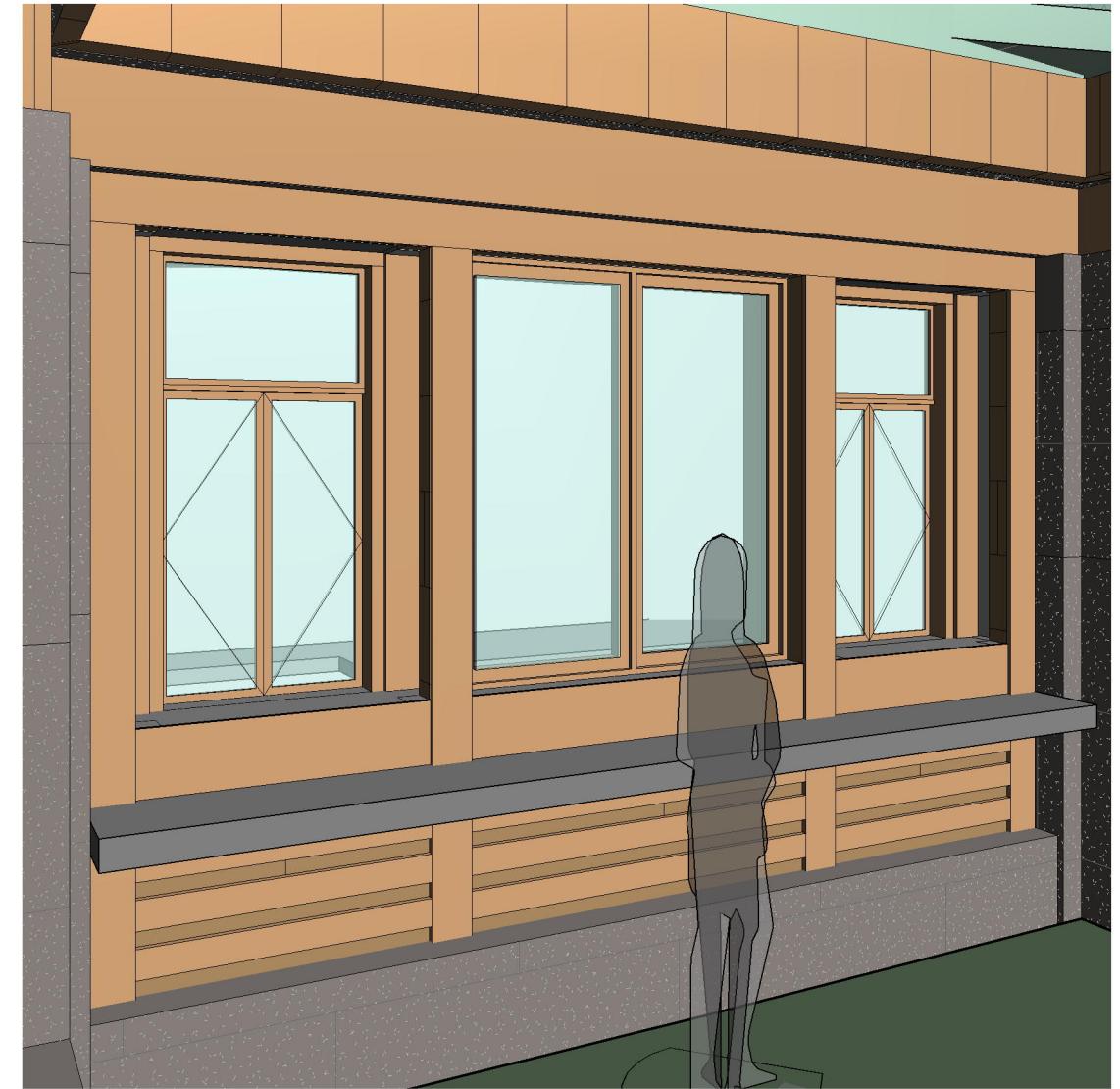
ARCHITECTS  
INTERIORS  
PLANNERS



1 HDC EAST TAKE OUT WINDOW ELEVATION  
1/2" = 1'-0"



2 HDC EAST TAKE OUT WINDOW ELEVATION  
1/2" = 1'-0"



3 HDC EAST TAKE OUT WINDOW

D1.28.1.R

## ELEVATION DETAILS - PROPOSED

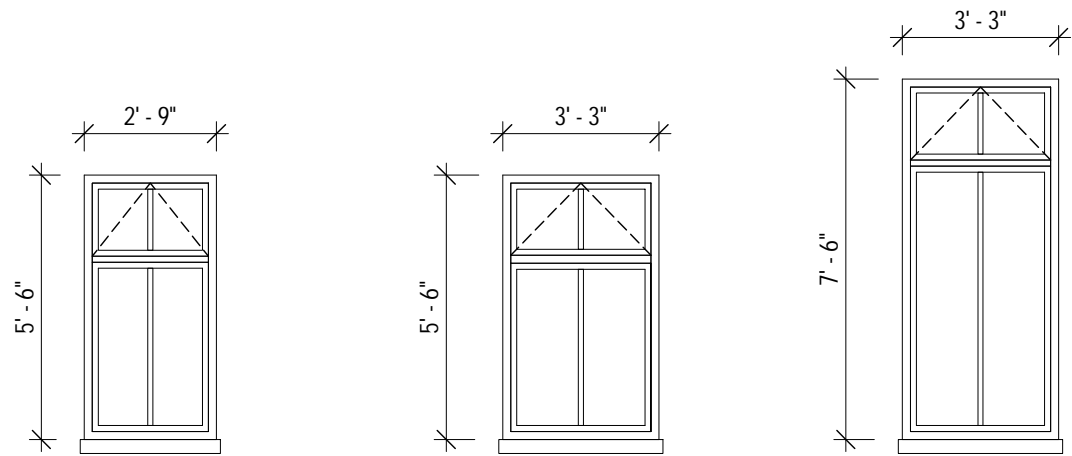
30 PENHALLOW STREET at BRICK MARKET  
HDC Revision 1, OCTOBER 2020

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS

PAGE INTENTIONALLY  
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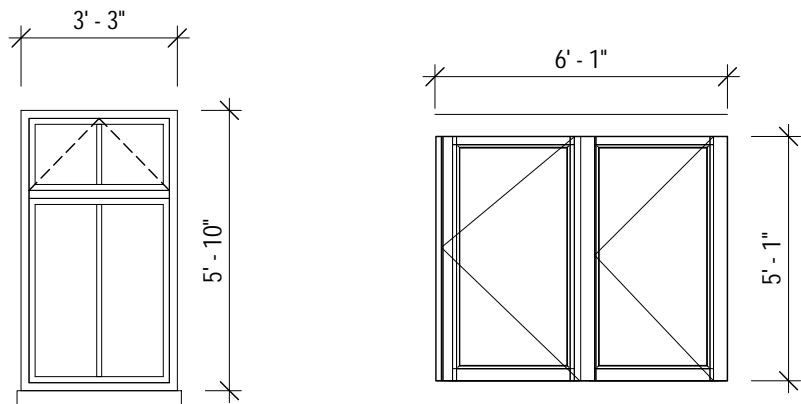
A diagram consisting of a central rectangular box with a red border. Inside the box, the text "PAGE INTENTIONALLY BLANK FOR PAGINATION" is written in red, uppercase letters. Two red arrows originate from the left and right sides of the box, pointing outwards and slightly upwards and downwards respectively.



○ WINDOW TYPE W1  
1/4" = 1'-0"

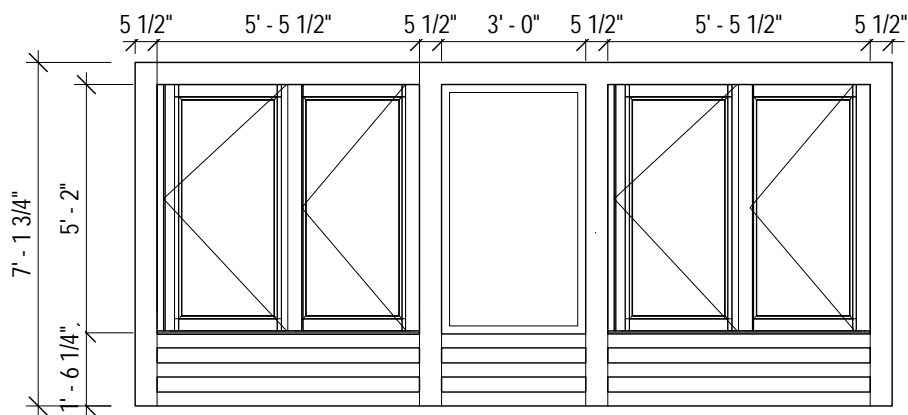
○ WINDOW TYPE W2  
1/4" = 1'-0"

○ WINDOW TYPE W3  
1/4" = 1'-0"

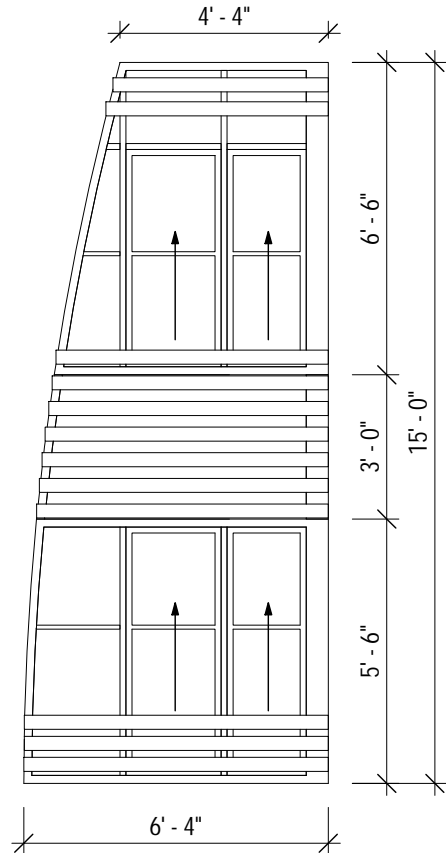


○ WINDOW TYPE W7  
1/4" = 1'-0"

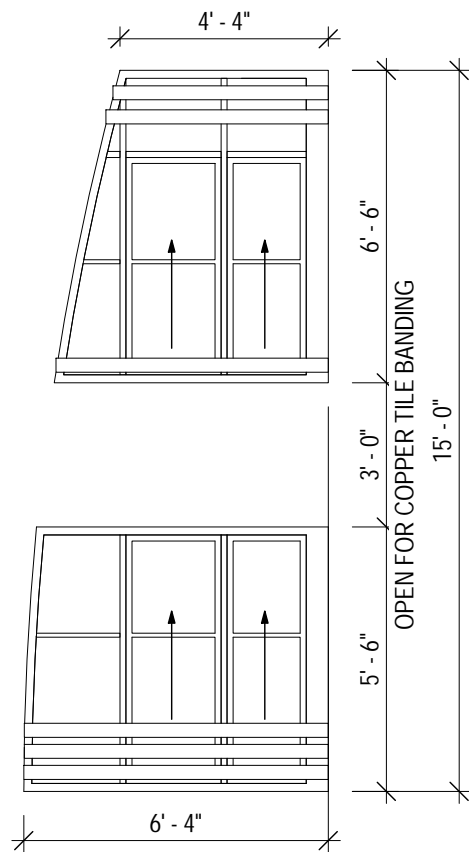
○ WINDOW TYPE W8  
1/4" = 1'-0"



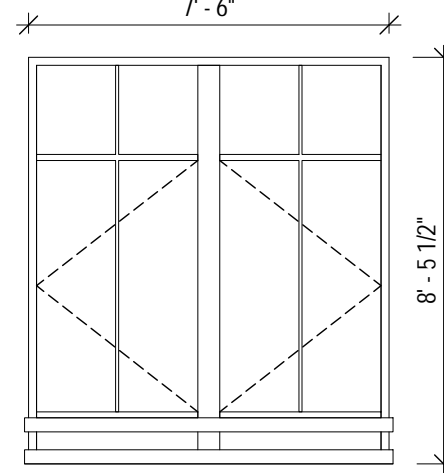
○ WINDOW TYPE W11  
1/4" = 1'-0"



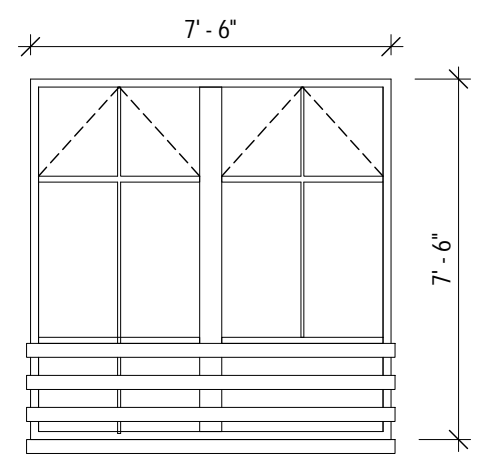
○ WINDOW TYPE W4  
1/4" = 1'-0"



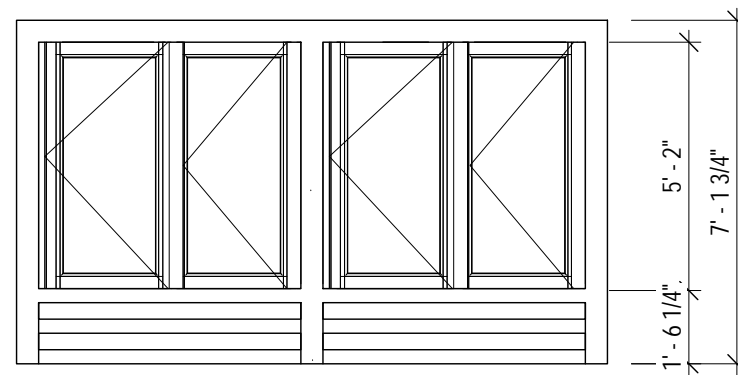
○ WINDOW TYPE W9  
1/4" = 1'-0"



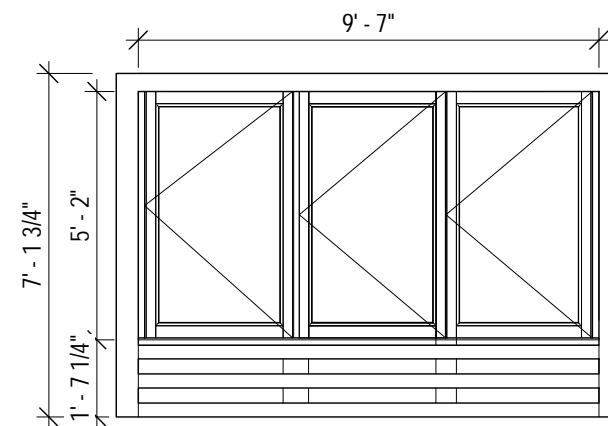
○ WINDOW TYPE W5  
1/4" = 1'-0"



○ WINDOW TYPE W6  
1/4" = 1'-0"



○ WINDOW TYPE W10  
1/4" = 1'-0"



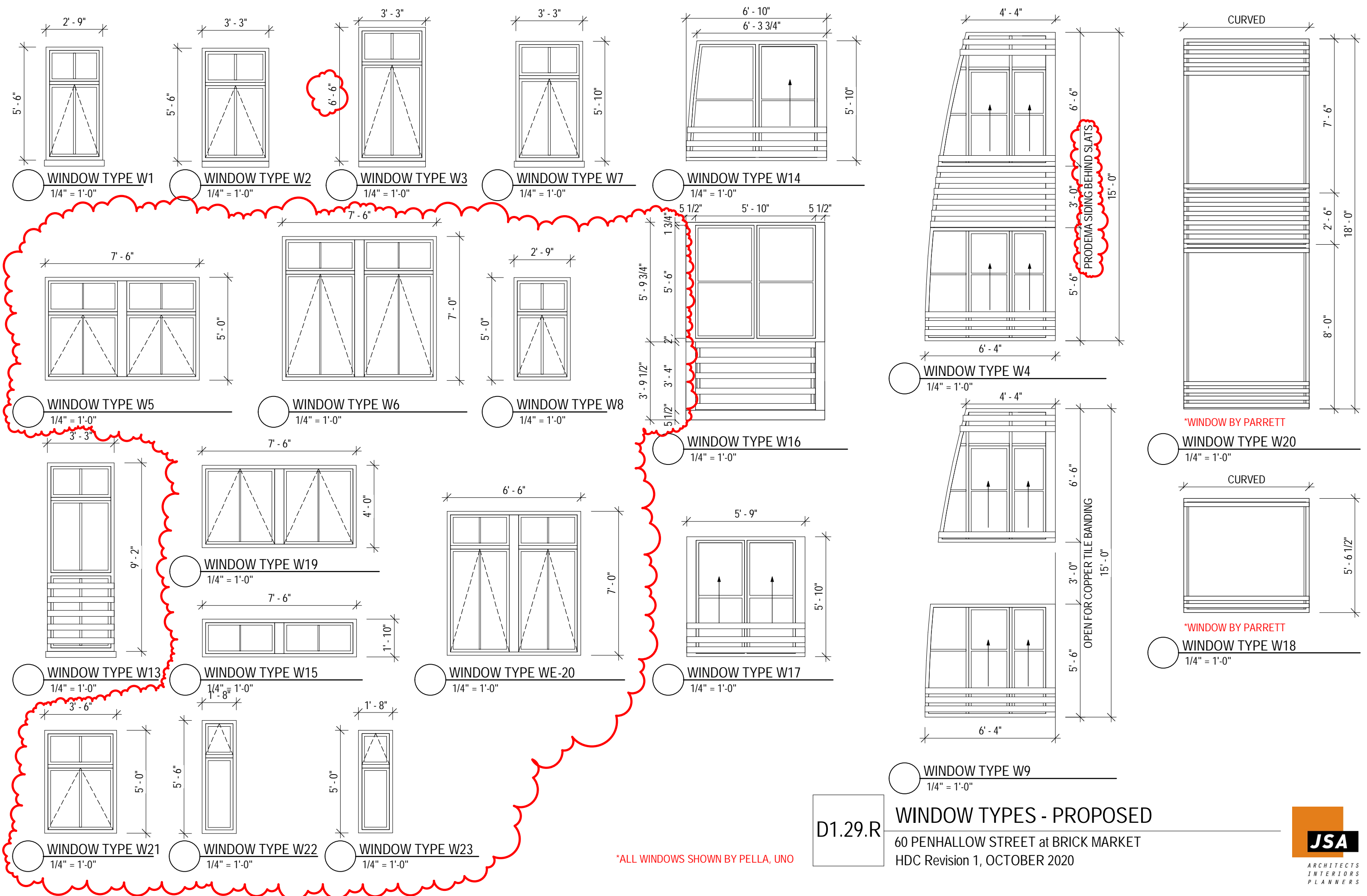
○ WINDOW TYPE W12  
1/4" = 1'-0"

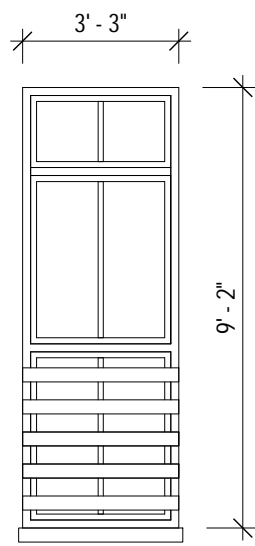
D1.29

## WINDOW TYPES

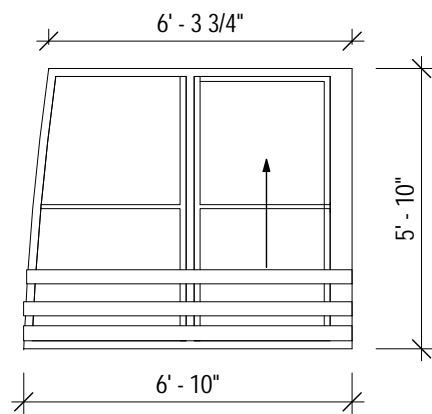
60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019

AS PREVIOUSLY APPROVED

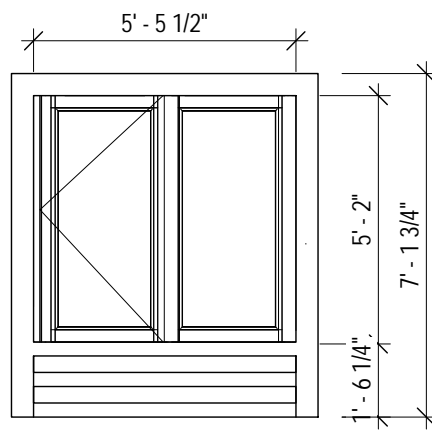




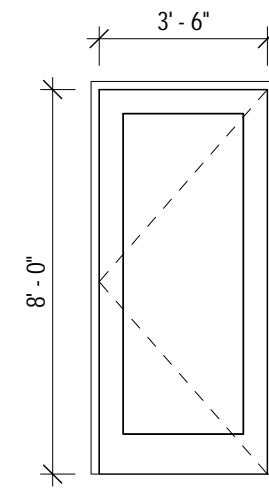
○ WINDOW TYPE W13  
1/4" = 1'-0"



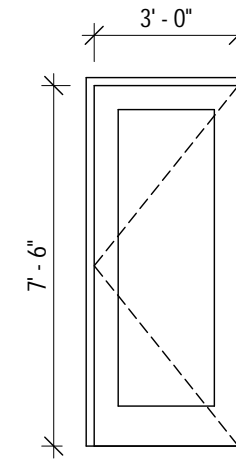
○ WINDOW TYPE W14  
1/4" = 1'-0"



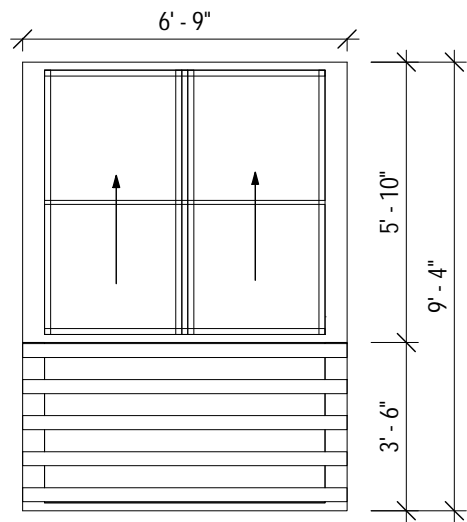
○ WINDOW TYPE W15  
1/4" = 1'-0"



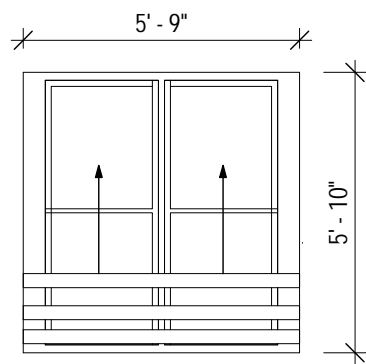
○ DOOR TYPE A  
1/4" = 1'-0"



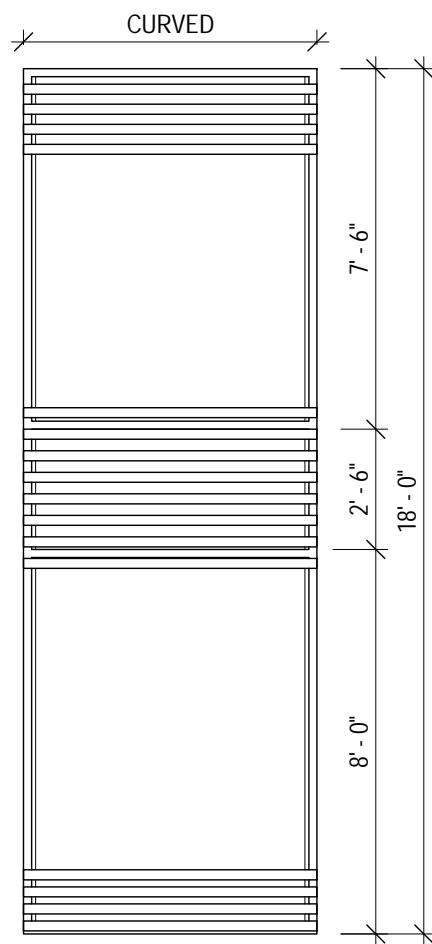
○ DOOR TYPE B  
1/4" = 1'-0"



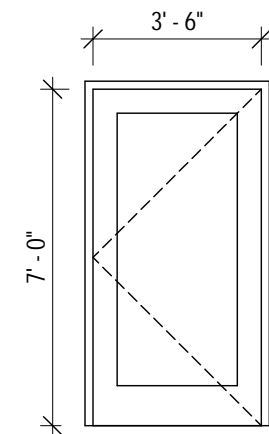
○ WINDOW TYPE W16  
1/4" = 1'-0"



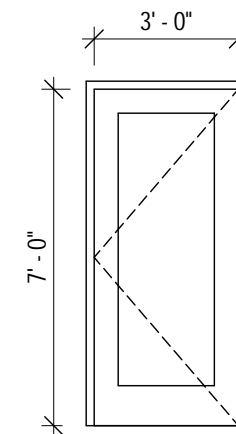
○ WINDOW TYPE W17  
1/4" = 1'-0"



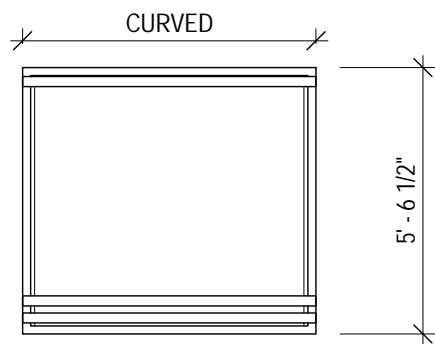
○ WINDOW TYPE W20  
1/4" = 1'-0"



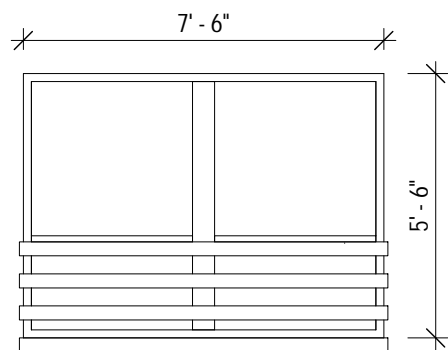
○ DOOR TYPE C  
1/4" = 1'-0"



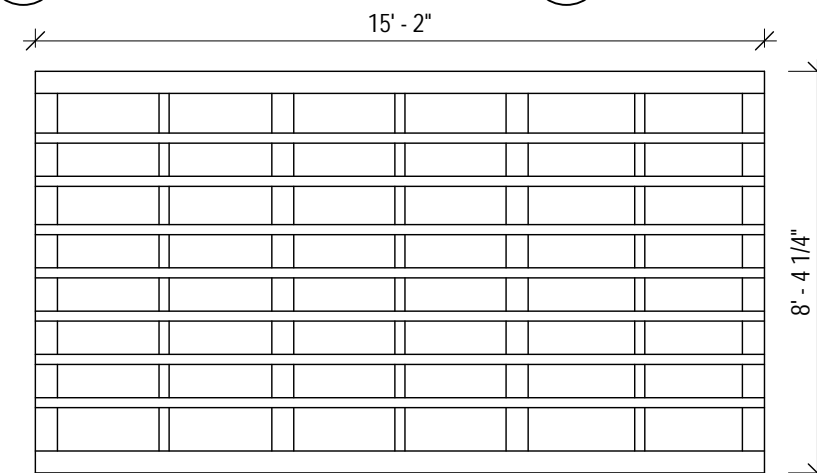
○ DOOR TYPE D  
1/4" = 1'-0"



○ WINDOW TYPE W18  
1/4" = 1'-0"



○ WINDOW TYPE W19  
1/4" = 1'-0"



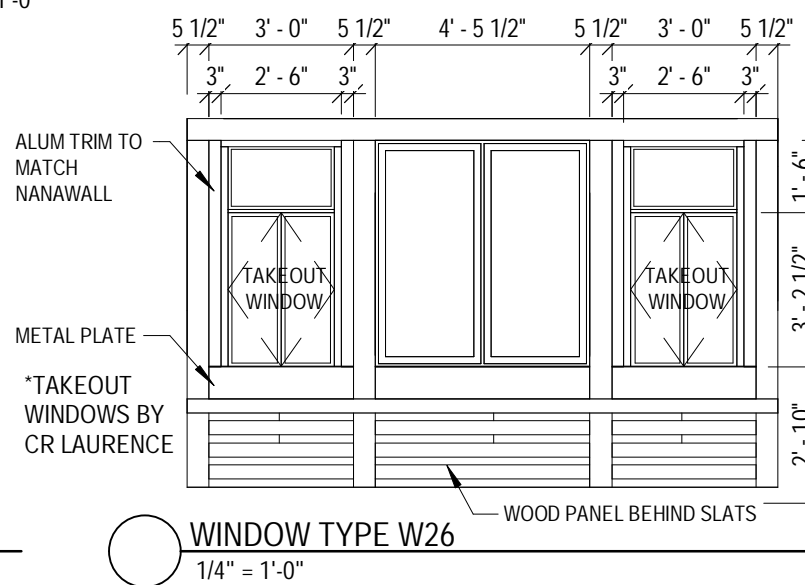
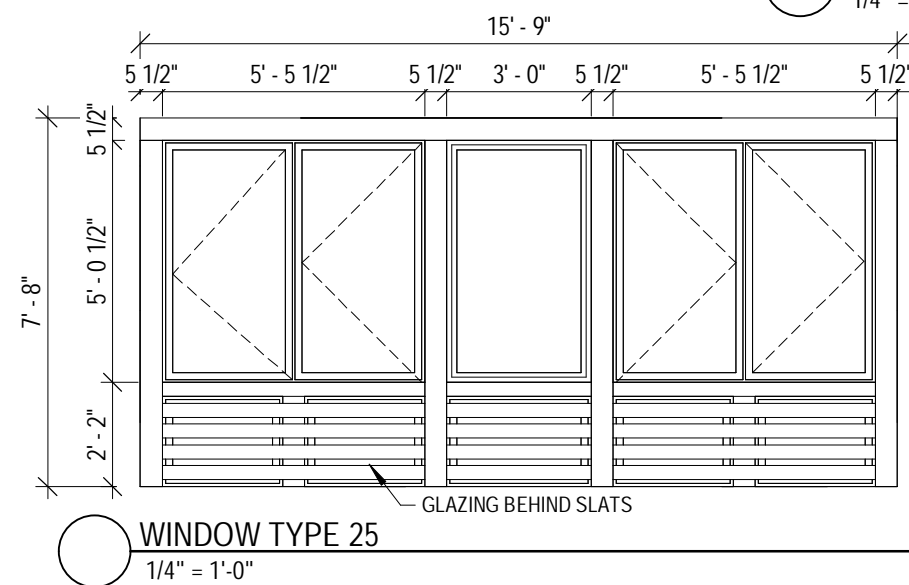
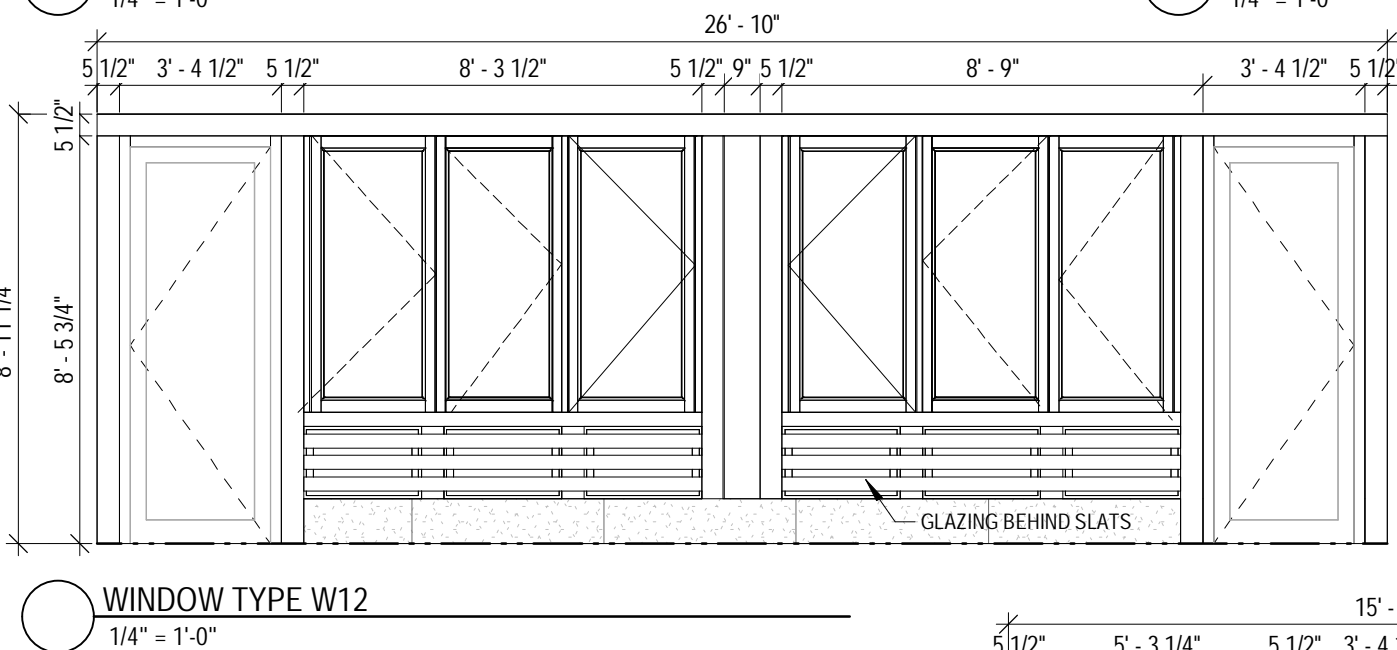
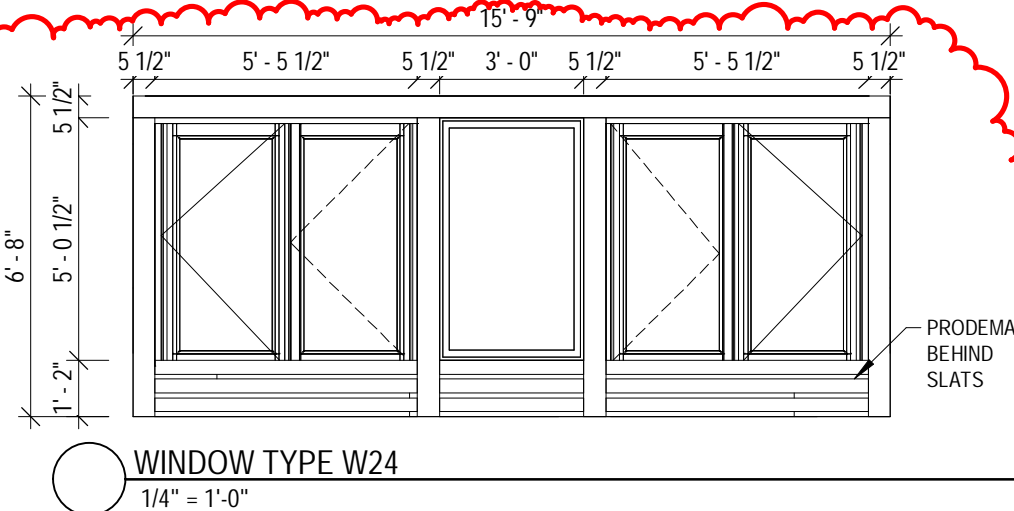
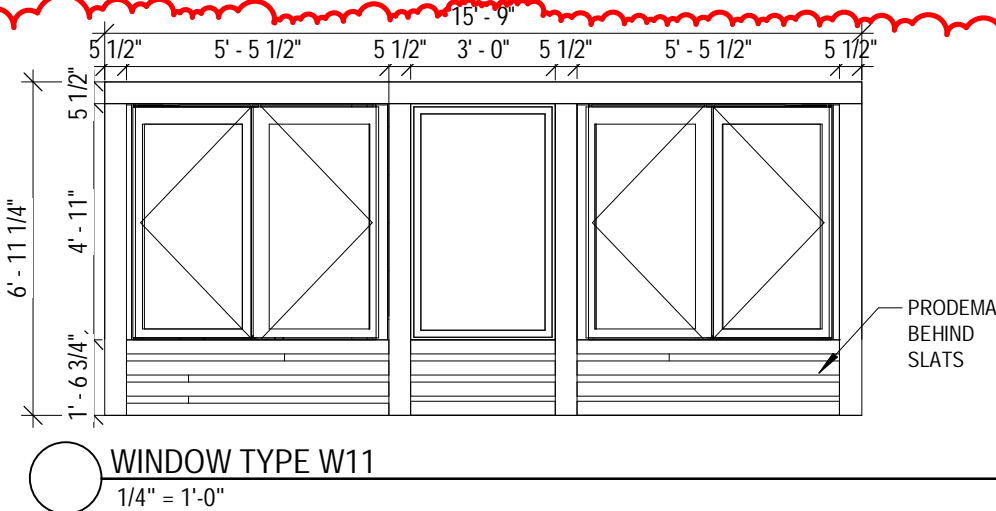
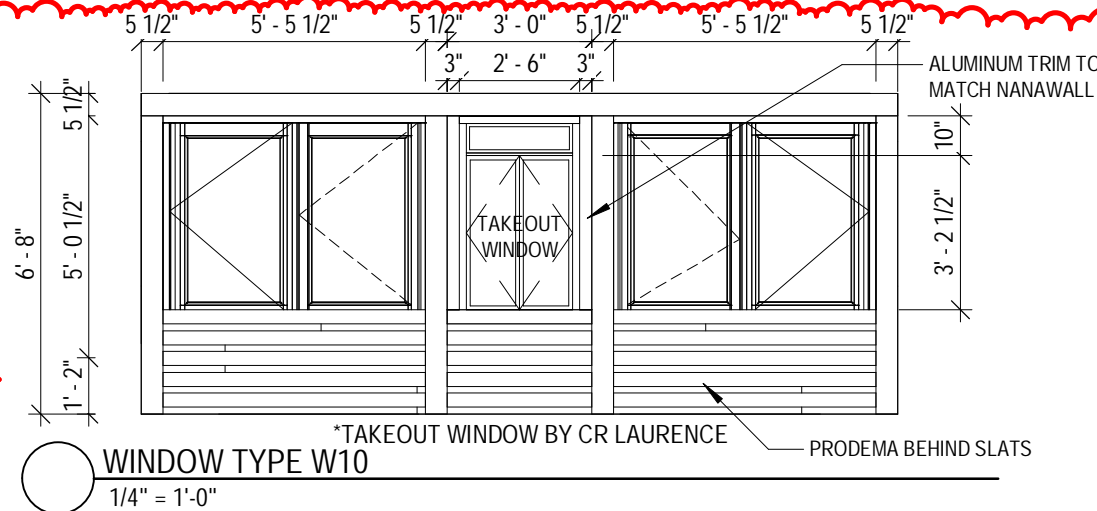
○ DOOR TYPE E  
1/4" = 1'-0"

D1.30

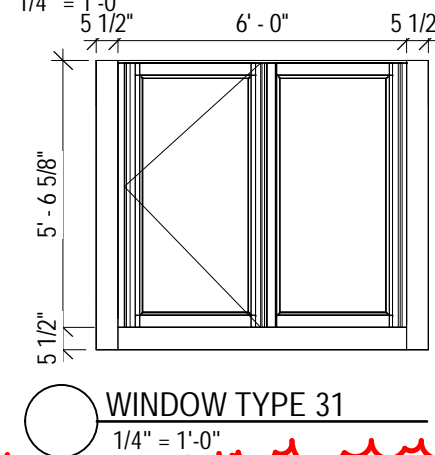
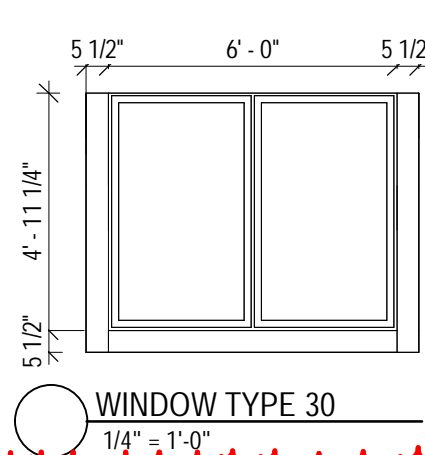
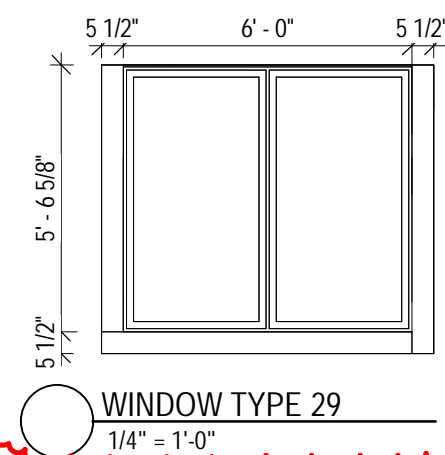
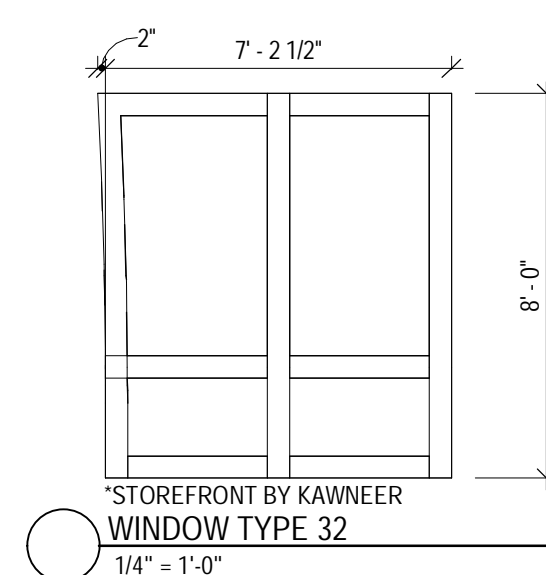
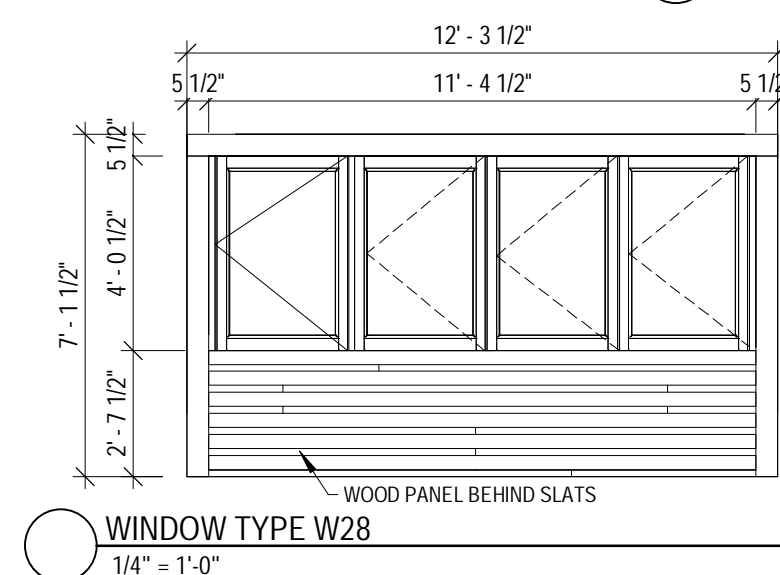
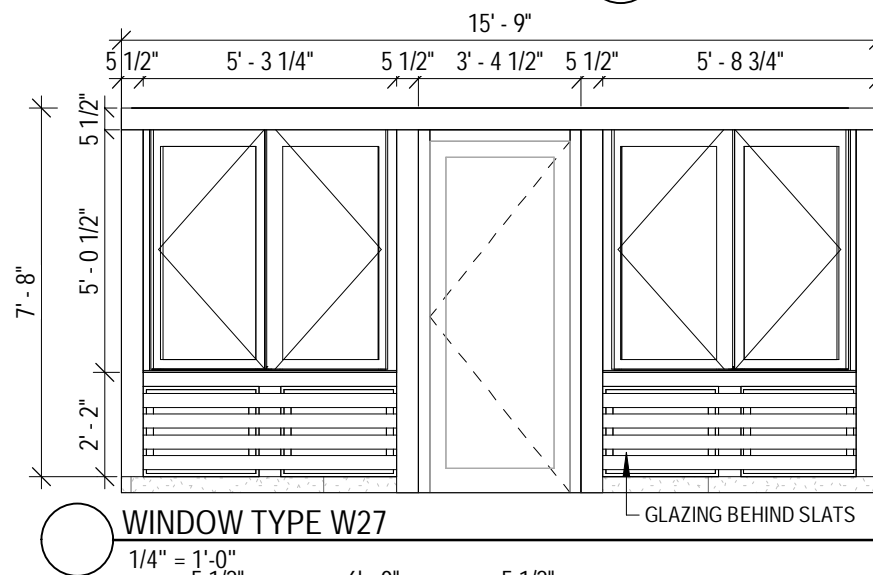
## WINDOW & DOOR TYPES

60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019

AS PREVIOUSLY  
APPROVED



NOTE: OPERABLE FOLDING WINDOWS ARE BY NANA-WINDOW UNLESS OTHERWISE NOTED. OPERABLE WINDOWS WILL HAVE CONCEALED RETRACTABLE ROLLING SCREENS.



ALL WINDOWS MODIFIED AND ADDITIONAL TYPES ADDED

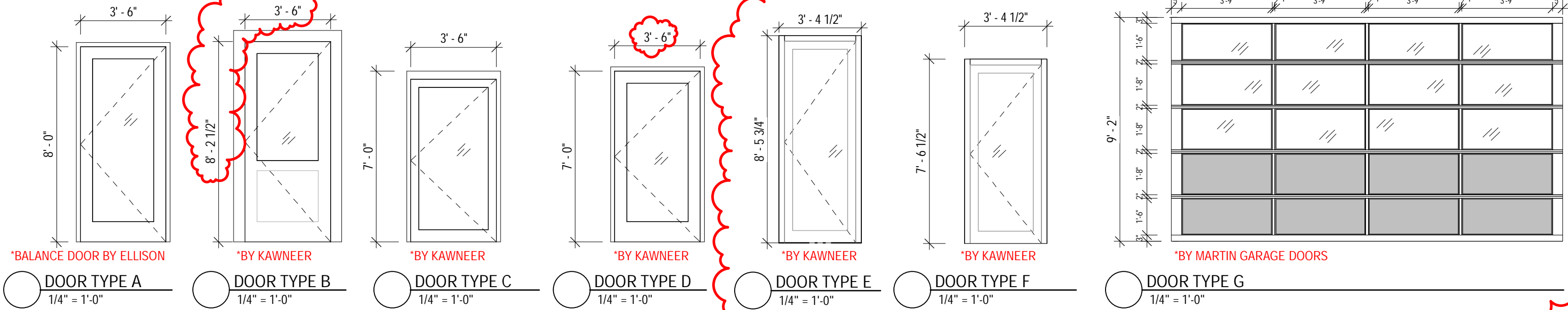
\*ALL WINDOWS SHOWN BY NANAWALL, UNO

D1.30.R

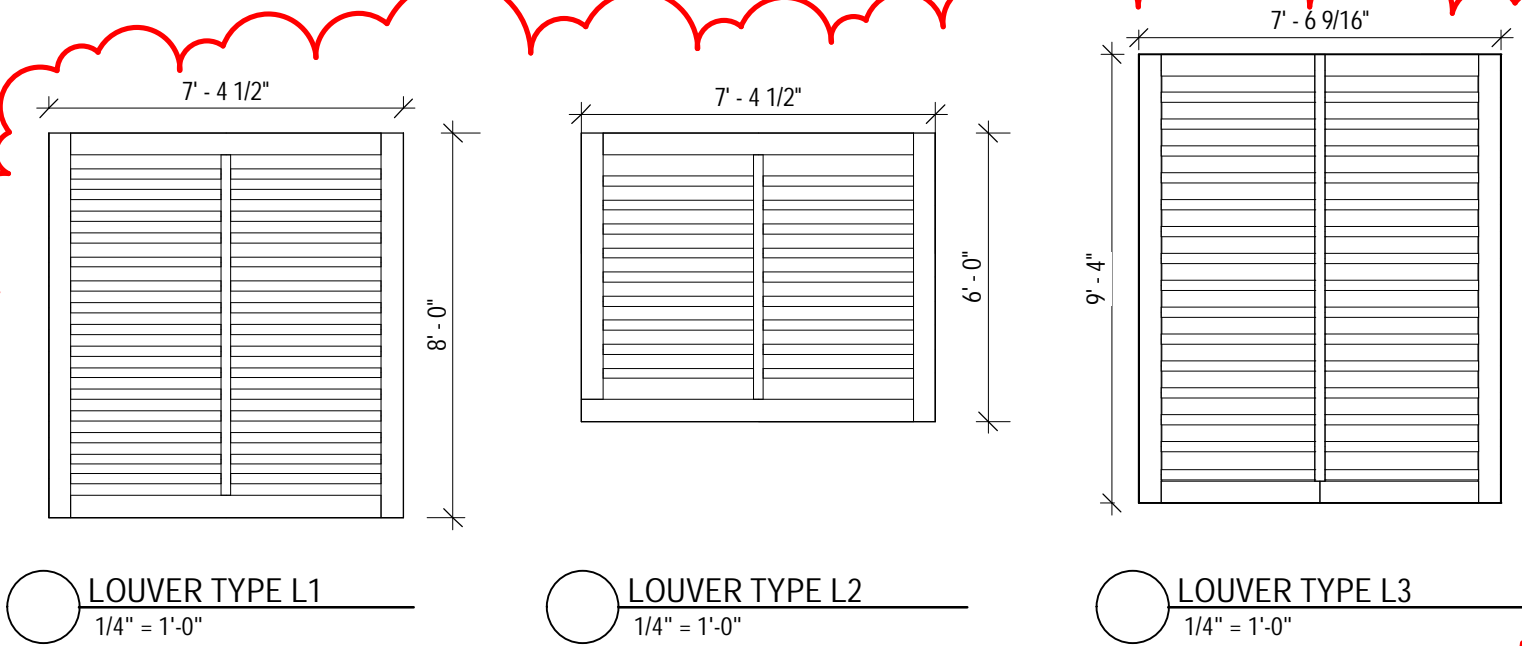
## WINDOW/DOORS - 1st FLOOR PROPOSED

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 1, OCTOBER 2020

ALUMINUM DOORS



WOOD LOUVERS





60 PENHALLOW STREET at Brick Market  
October 7, 2020

## **SUPPLEMENTAL MATERIALS**

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------	---------

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8	Nanawall folding windows (@ marketplace)
12	Parret Windows (curved fixed sashes at NW corner)
17	CRL Bi-Fold Service Windows (@ take out windows)
18	Ellison Balanced Doors (@ main entrances)
22	Kawneer aluminum doors & storefront
25	Martin Commercial Athena – sectional overhead door (@ garage entrance)
30	NACO Wood Louvers
31	C.R. Lawrence Glass Awnings
35	Photovoltaic Solar Array System
41	Exterior lighting
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48	Perforated sheet copper (at south sunshades)
49	Snow cleats
50	Trash chutes



WOOD

## Pella® Architect Series® Reserve™

\$\$\$\$-\$\$\$\$\$



Pella Architect Series Reserve double-hung window

### FEATURES

Historically-accurate wood products with detailed craftsmanship  
Exceptional durability with extruded aluminum cladding  
Virtually endless customization with shapes, sizes and colors

### WINDOW STYLES

Special shapes, custom sizes and fixed configurations are also available.



AWNING



BAY OR BOW



CASEMENT



DOUBLE-HUNG



SINGLE-HUNG

### PATIO DOOR STYLES



SLIDING



HINGED



BIFOLD



MULTI-SLIDE



# Colors & Finishes

PELLA® ARCHITECT SERIES® RESERVE™

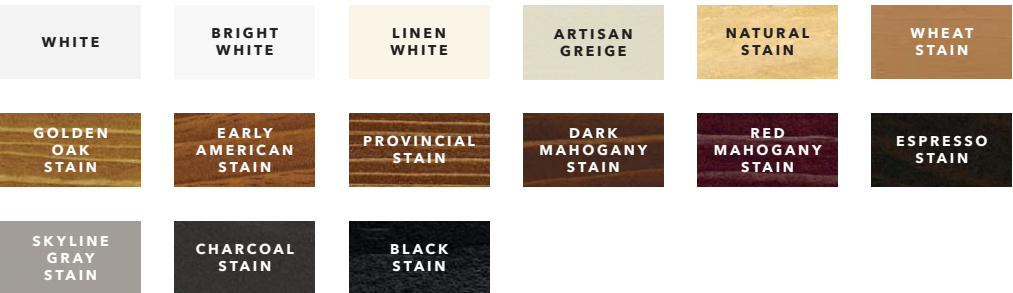
## WOOD TYPES

Choose the wood species that best complements your home's interior. White oak, red oak, cherry and maple are available as custom solutions.



## PREFINISHED PINE INTERIOR COLORS

When you select pine, we can prefinish in your choice of seven stains or three paint colors. Unfinished or primed and ready-to-paint are also available.



## ALUMINUM-CLAD EXTERIOR COLORS

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.\* Custom colors are also available.



## ANODIZED EXTERIOR FINISHES

Choose a premium matte look with a decorative, durable exterior. Custom champagne, medium bronze, extra dark bronze and copper anodized finishes are also available.

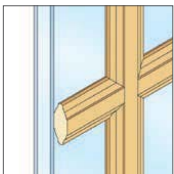


\* EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

# Grilles PELLA® ARCHITECT SERIES® RESERVE™

## GRILLES

Choose the look of true divided light, removable roomside grilles or make cleaning easier by selecting grilles-between-the-glass.

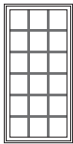


### GRILLES-BETWEEN-THE-GLASS INTERIOR COLORS:²

WHITE	IVORY	TAN³
PUTTY³	BROWN³	HARVEST
BRICKSTONE	CORDOVAN	BLACK
MORNING SKY GRAY	SAND DUNE	

## GRILLE PATTERNS

In addition to the patterns shown here, custom grille patterns are available.



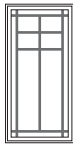
TRADITIONAL



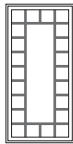
9-LITE PRAIRIE



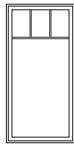
12-LITE PRAIRIE



14-LITE PRAIRIE



VICTORIAN



TOP ROW



CROSS



NEW ENGLAND



DIAMOND



SIMULATED FRENCH



CUSTOM



SUNBURST⁴



STARBURST⁴



SCALLOPS⁴



PRAIRIE

¹ Color-matched to your product's interior and exterior color.

² Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

³ Only available with matching interior and exterior colors.

⁴ Only available with a curved product or curved glass.

# Glass PELLA® ARCHITECT SERIES® RESERVE™

## INSULSHIELD® LOW-E GLASS

Advanced Low-E insulating dual- or triple-pane glass with argon or krypton<sup>1,2</sup>

AdvancedComfort Low-E insulating dual-pane glass with argon<sup>1</sup>

NaturalSun Low-E insulating dual- or triple-pane glass with argon or krypton<sup>1,2</sup>

SunDefense™ Low-E insulating dual- or triple-pane glass with argon or krypton<sup>1,2</sup>

## ADDITIONAL GLASS OPTIONS

HurricaneShield® products with impact-resistant glass<sup>2,3</sup>

Laminated (non-impact-resistant)<sup>3,4</sup>, tinted<sup>1,3</sup> or obscure<sup>1,3</sup> glass also available on select products

STC (Sound Transmission Class)-improved dual-pane sound glass<sup>2,5</sup>

# Screens<sup>6</sup>

## ROLSCREEN®

Rolscreen soft-closing retractable screens roll out of sight when not in use.

(Available on casement windows and sliding patio doors only.)

## INTEGRATED ROLSCREEN

A fully concealed Rolscreen that moves seamlessly with the sash – appearing when you open the window and rolling completely away when you close it.

(Available on single- and double-hung windows only.)

## FLAT

InView™ screens are clearer than conventional screens. Vivid View® window screens offer the sharpest view.

## ADDITIONAL SCREEN OPTIONS<sup>7</sup>

Optional wood veneer can be added over the metal screen channel on interior screens to provide a more seamless look. Upgrade to a premium exterior screen for a more durable, extruded frame.

<sup>1</sup> Optional high-altitude InsulShield Low-E glass is available with argon on select products.

<sup>2</sup> Available with Low-E insulating glass with argon on select products.

<sup>3</sup> For best performance, the laminated glass may be in the interior or exterior pane of the insulating glass, depending on the product.

<sup>4</sup> Available on select products only. See your local Pella sales representative for availability.

<sup>5</sup> Sound control glass consists of dissimilar glass thickness (3mm/5mm).

<sup>6</sup> Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.

Want to learn more? Call us at 833-44-PELLA or visit [pella.com](http://pella.com)



### The confidence of Pella's warranty.

Pella® Architect Series® products are covered by the best limited lifetime warranty for wood windows and patio doors.<sup>7</sup> See written limited warranty for details, including exceptions and limitations, at [pella.com/warranty](http://pella.com/warranty).

<sup>7</sup> Based on comparing written limited warranties of leading national wood window and wood patio door brands.



Connect with Pella:



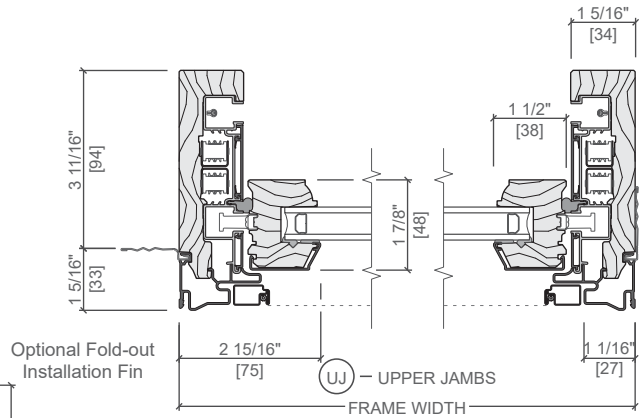
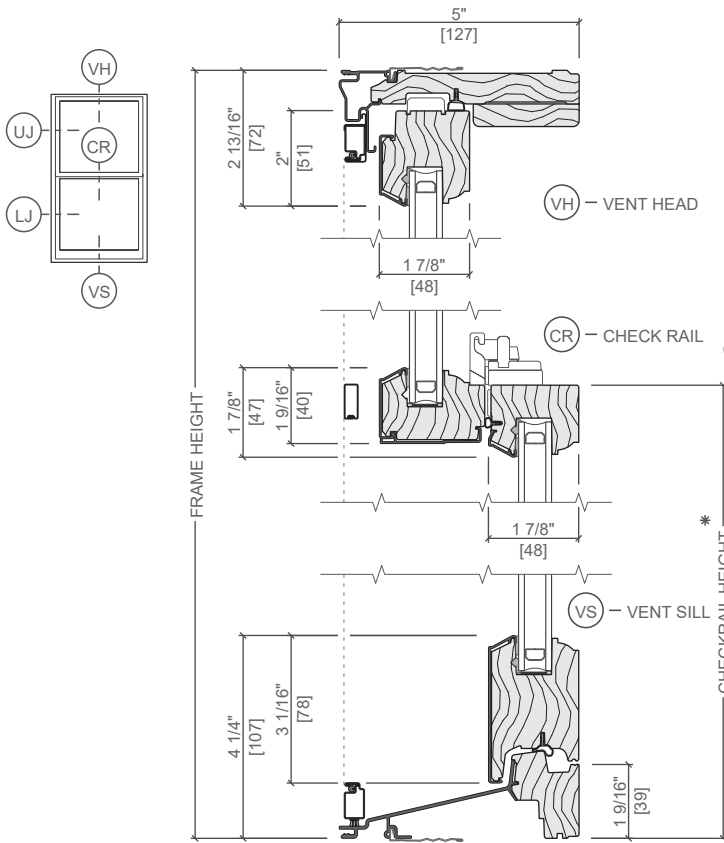


HUNG

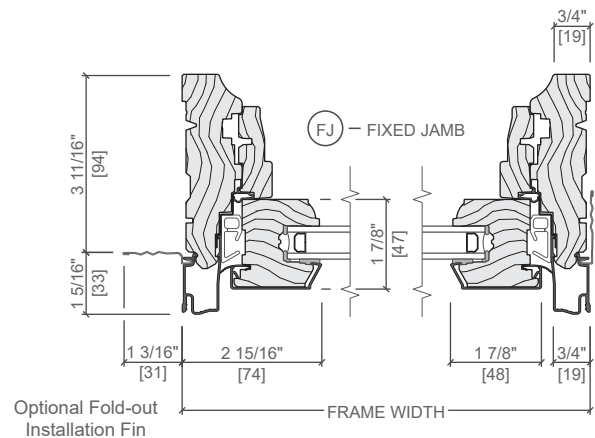
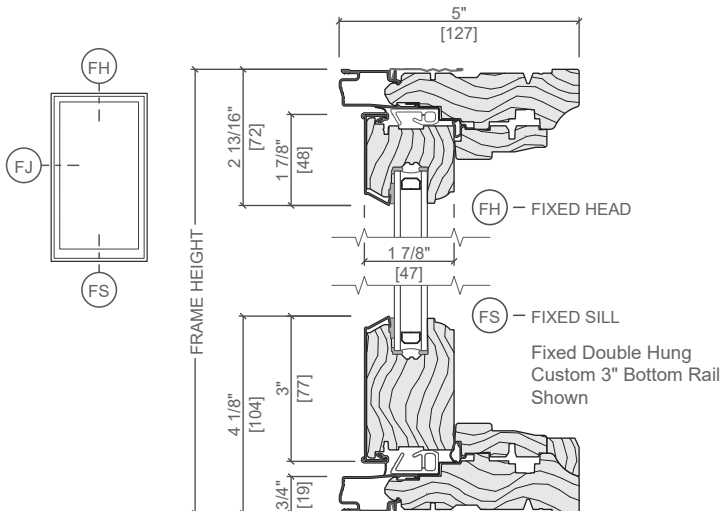
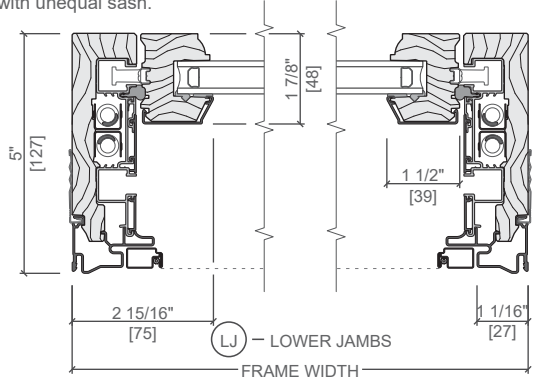
# UNIT SECTIONS

Aluminum-Clad Wood Exterior

Vent and Fixed - Putty Exterior Glazing Profile



\* Dimension required for ordering units with unequal sash.



Scale 3" = 1' 0"

All dimensions are approximate.

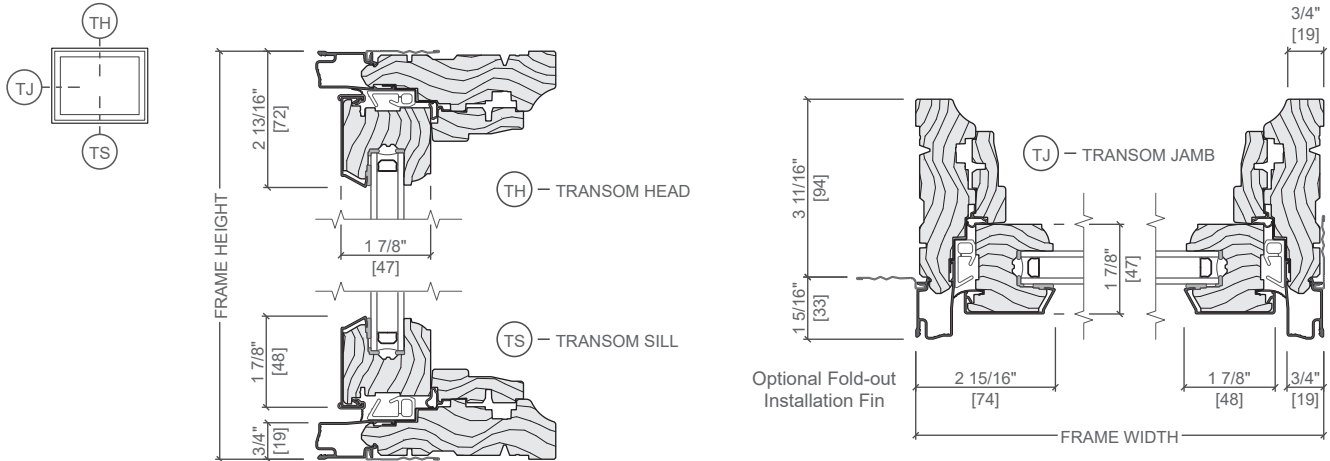
See [www.PellaADM.com](http://www.PellaADM.com) for mullion limitations and reinforcing requirements.



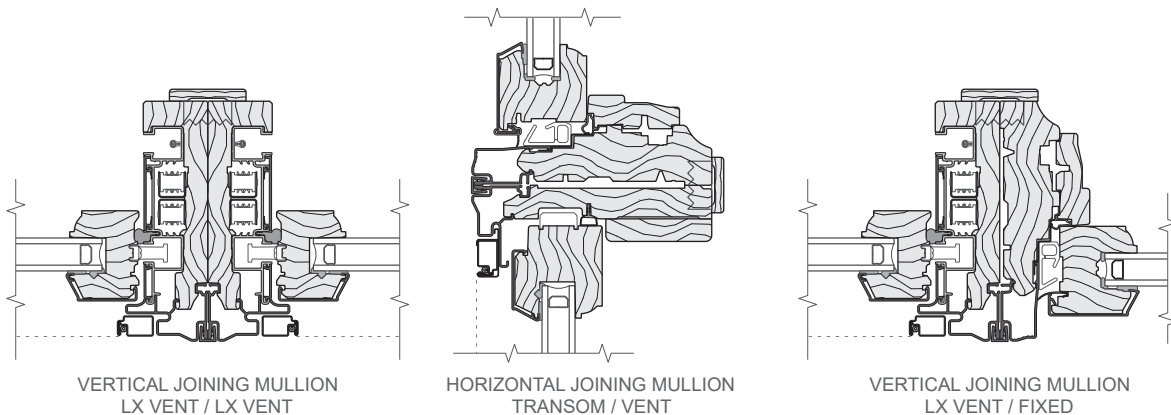
## UNIT SECTIONS

Aluminum-Clad Exterior

Transom - Putty Exterior Glazing Profile



## TYPICAL JOINING MULLIONS



Scale 3" = 1' 0"

All dimensions are approximate.

See [www.PellaADM.com](http://www.PellaADM.com) for mullion limitations and reinforcing requirements.



Project: PAMCO Executive Office Suites, Appleton, WI

Construction Type: New Construction

Product Used: Designer Series™ Casement Windows

Why Pella?

- Pella's variety of unique aesthetic options – such as warm wood interiors and aluminum-clad exteriors – influenced the design.
- Square transoms and casement windows with between-the-glass blinds provide design flexibility and a uniform appearance.
- Between-the-glass blinds are protected from dust and damage.
- High performance glazing provides outstanding energy efficiency and reduced sound transmission for a more comfortable environment year-round.



Project: Hoffman Corporation, Appleton, WI

Construction Type: New Construction

Product Used: Architect Series® and Designer Series® Casement Windows

Why Pella?

- Sustainable product attributes support “green” projects.
- Between-the-glass blinds for the east- and west-facing windows block unwanted heat gain.
- Triple-glazing with multiple Low-E coatings reduce heat loss on the north side of the building.
- Clear Low-E insulating glass above light shelves provides abundant natural light, and gray Low-E insulating glass below light shelves controls glare.

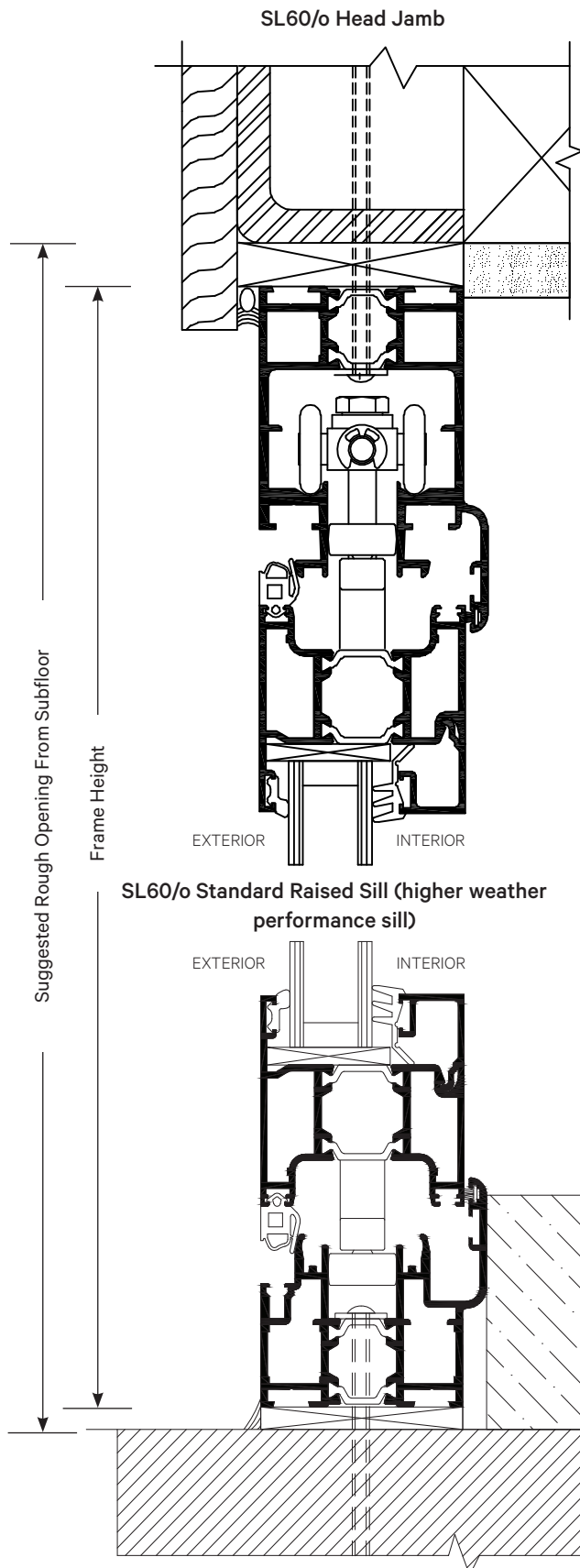




# NANAWALL FOLDING GLASS WALLS

NanaWall Folding Glass Walls offer clean lined aesthetics with narrow profiles and are available in aluminum, solid wood, or solid wood aluminum clad finishes. The panels can be top-hung or floor supported in inward or outward opening configurations. Numerous sill choices are available including a surface mounted and ADA compliant sill. Easy operation—no matter the size or number of panels.

- **Taller Heights, Wider Widths:** Panel heights of up to 12' (3660 mm) and widths of 4' (1220 mm) are possible.
- **Flexible Swing Door Placement:** Convenient swing entry doors, with an up to 180° swing plane, may be hinged to a side jamb or be configured within the chain of panels.
- **Control Construction Costs:** NanaWall Floor Supported folding systems offer smoother operation with stainless steel wheels on a stainless steel track and are height adjustable should building movement occur. Floor supported systems are ideal for applications where load-bearing capability of the header is a concern. The system's main weight is carried by the floor track.



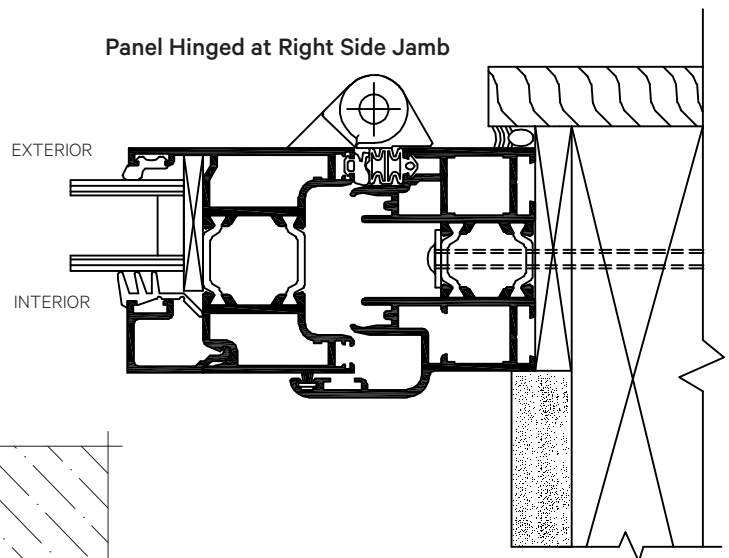
### INSTALLATION NOTES

Suggested Typical Installation drawings shown are very general and may not be suitable for any particular installation. Product placement, fasteners, flashing, waterproofing, sealant, trim and other details for specific surrounding conditions must be properly designed and provided by others.

### INSTALLATION CONSIDERATIONS

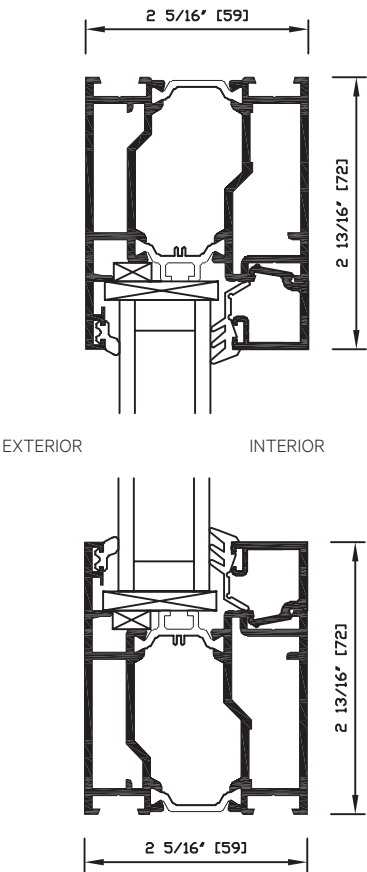
The approximate weight of a panel with double-glazing is 5.5 lbs/ft<sup>2</sup> (27 kg/m<sup>2</sup>), and with triple glazing is 6 lbs/ft<sup>2</sup> (29 kg/m<sup>2</sup>) - 8 lbs/ft<sup>2</sup> (39 kg/m<sup>2</sup>). The vertical structural deflection of the header should be the lesser of  $L/720$  of the span and  $\frac{1}{4}$ " (6 mm) under full loads. Although for Floor Supported systems, there is no vertical load on the header from the panels, structural support for lateral loads (both windload and when the panels are stacked open) must be provided. See "Pre-Installation Preparation and Installation Guidelines" in the General Introduction. An owner's manual with installation instructions is available upon request.

It is recommended that all building dead loads be applied to the header prior to installing the NanaWall. If so and if a reasonable amount of time has been allowed for the effect of this dead load on the header, then only the building's live load can be used to meet the above requirements of  $L/720$  or  $\frac{1}{4}$ " (6 mm). If not, both the dead and live loads need to be considered. For the Floor Supported SL60u, please note that there is no vertical load on the header.

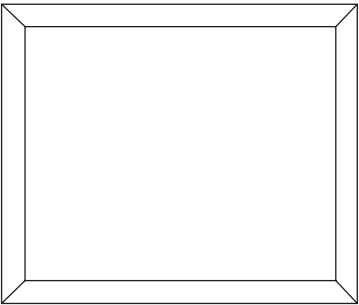


**Note:** For ADA compliance in commercial projects, a gasket to cover the channel in the sill at swing panels is provided for the saddle sill, surface mounted sill and flush sill

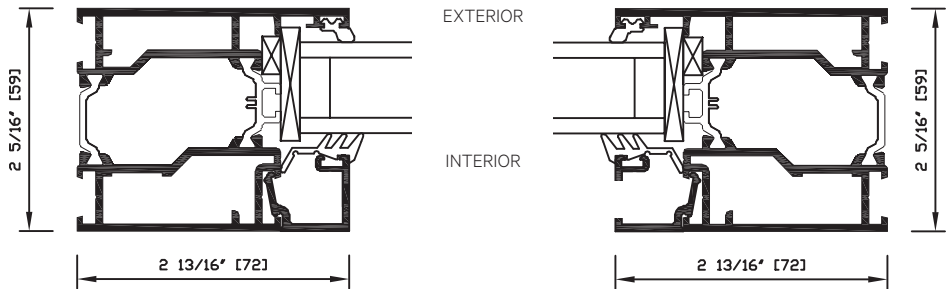
Vertical Cross-Section



Aluminum frame extenders are available to approximately align glass sight lines to adjacent folding or sliding systems.



Horizontal Cross-Section



Performance—NFRC  
Tested and Labeled

See NanaWall.com for performance  
testing for each system.  
Testing conducted at accredited  
and certified independent laboratories.



U-Value



Air Infiltration



Water Rating



Design Wind Load

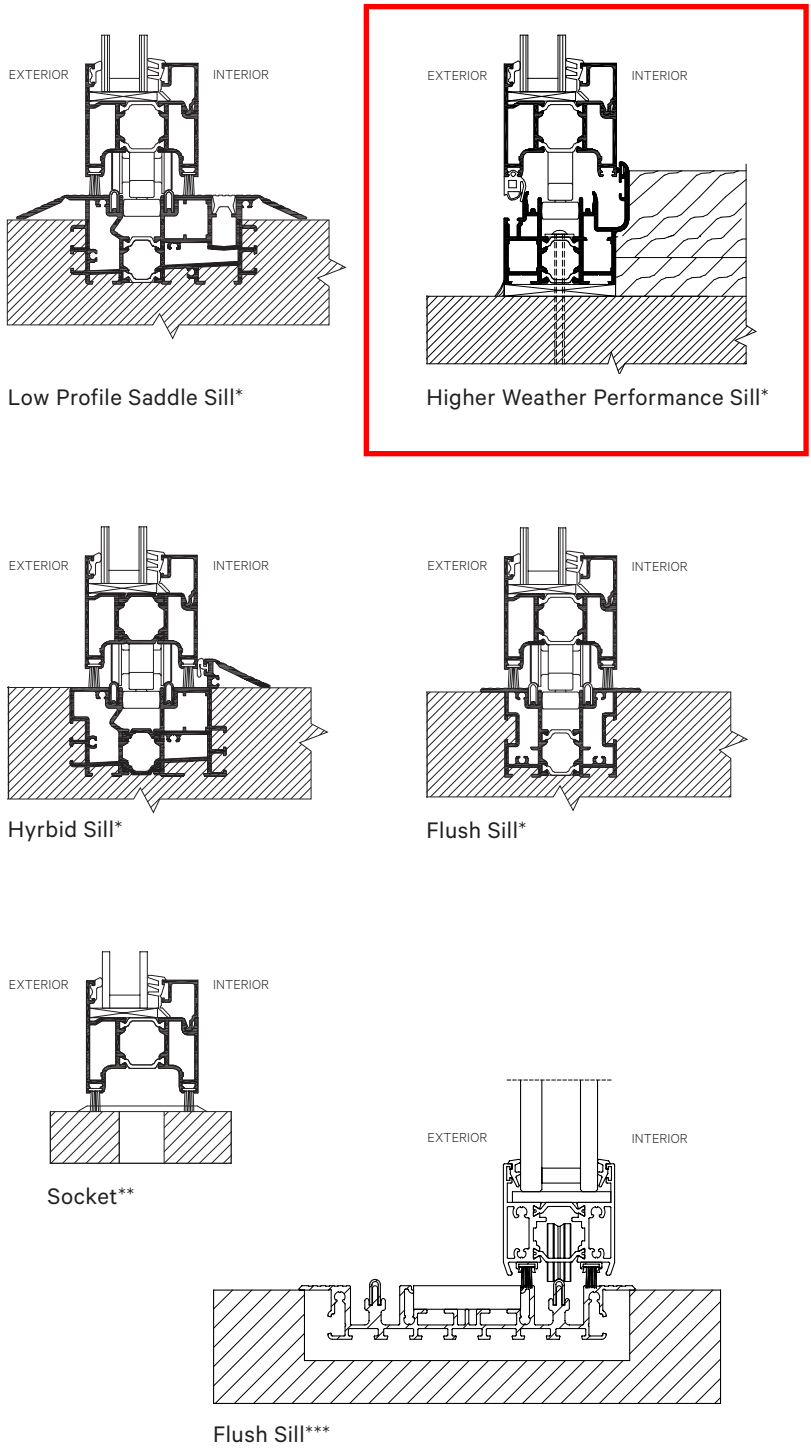


Sound Transmission  
Rated

Testing results vary per system. Please consult  
NanaWall or see the NanaWall Architectural Binder for  
actual test data for each model and configuration.

Sill Option Examples

See NanaWall.com for sill options for each system.



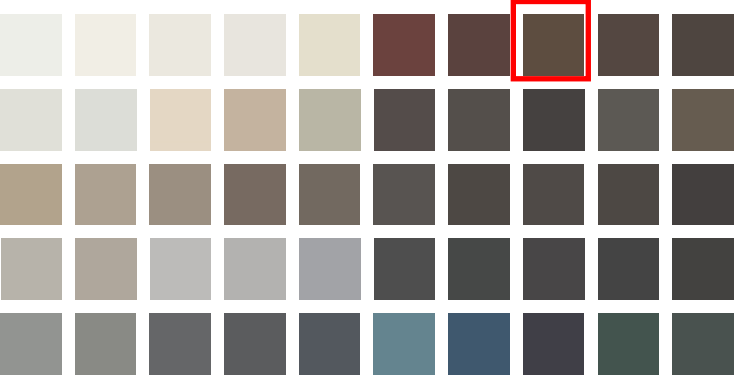
\* SL60 sill examples  
\*\* HSW system socket example  
\*\*\* cero sill example

NanaWall Finishes, Glazing & Hardware Options

Standard 50 Finishes for Aluminum and Clad Systems

50 standard colors are available in powder coat and anodized  
finishes. *For accurate color swatch examples, please request  
our Powder Coating Finish Options brochure.*

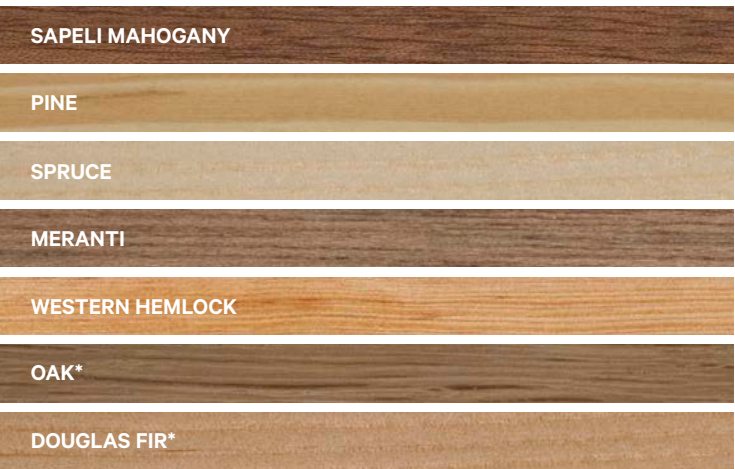
STANDARD POWDER COAT OPTIONS



Custom Color Matching Available  
*Non-metallic colors only, with upcharge.*

Wood Systems Finish Options

Standard woods include Sapeli Mahogany, Pine, Spruce, Meranti  
and Western Hemlock. Other specialty woods are available  
upon request. Please consult NanaWall for additional costs.  
*For accurate wood representation, please request  
our Wood & Finish Options brochure.*



\* available with upcharge.

Hardware Options

The standard locking hardware is compatible  
with a wide array of commercially available  
handle sets and escutcheon plates to match  
any design style.



Black Titanium Stainless Steel



Brushed Satin Stainless Steel

Glazing Area Options

Glazing options include insulated, low-E,  
argon filled triple insulated low-E, impact,  
and other specialty glass.

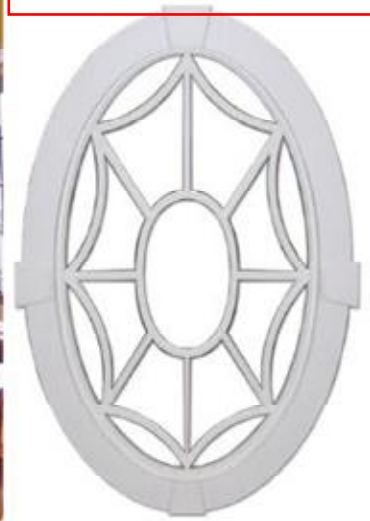
## Fixed | Architectural

### Shapes Available:

- Aluminum Clad, Wood, or PVC
- Archtop
- Clipped Corner Rectangle
- Circle
- Cloverleaf
- **Curve Glass & Frame**
- Diamond
- Dome
- Ellipse
- Equilateral Triangle
- Extended Ellipse
- Eyebrow
- Full Circle
- Gothic
- Half Circle
- Half Circle Extended Legs
- Hexagon
- Hurricane Impact Certified
- Irregular Sizes
- Mediterranean
- Napoleon
- Octagon
- Oval
- Over Sized Units
- Parallelogram
- Partial Arch
- Pentagon
- Quarter Arch
- Quarter Archtop
- Quarter Circle Extended Legs
- Quatrefoil
- Rectangle
- Reverse Archtop
- Reverse Quarter Circle
- Reverse Trapezoid
- Right Angle Triangle
- Square
- Toroid
- Trapezoid
- 90 Degree Corner Glass

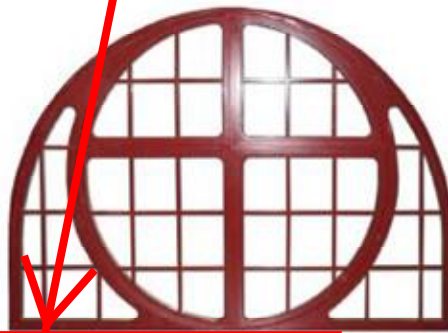


PARRET WINOWS -  
CURVED GLASS/SASH



Challenge Parrett with your design specifications. We welcome it and look forward to providing you with *exceptional quality at a value price*. Options are simply too numerous to mention.

CURVED SASH/GLASS -  
WITHOUT MUNTINS



# Challenge Us With Your Request

## Accessories | Options



Dorchester Office



Dorchester Plant



Dorchester Plant



Stetsonville Plant

Parrett Windows & Doors can provide you with the flexibility and choices that you are looking for. Why be limited to a narrow range of shapes, sizes & options? Parrett can provide you with custom windows and doors exactly the way you want them. When it comes to options, Parrett provides you with the product you desire, made to your exact specification.



### Customer Service:

- Efficient quote and order processing
- Staff engineer and Auto CAD services. Full CAD drawings available with every order.
- On time safe delivery on company trucks
- Dedicated Customer Services Representatives
- Field Sales Representatives throughout United States
- Nationwide Distribution



### Complete Exterior and Interior Finishing Options:

- Natural Finish
- Ultra Primed
- Poly Painted
- Stained & Clear Coated
- Aluminum Clad



### Wood Species Available:

- Accoya
- Alder
- Appalachian Cherry
- Birch
- Black Walnut
- Cherry
- Cypress
- Douglas Fir
- Hard White Maple
- Hemlock
- Hickory
- Knotty Alder
- Knotty Pine
- Mahogany
- Pine
- Poplar
- Red Cedar
- Red Oak
- Western Hemlock
- Western Red Cedar
- White Oak
- Others Upon Request

*Don't Settle For Something Less...  
...Than What You Want*



#### Hardware Finishes Available:

- Antique Brass
- Polished Chrome
- Polished Brass
- Satin Nickel
- Brushed Chrome
- Matte Black
- Oil-Rubbed Brass
- Antique Nickel
- Rustic Umber
- White
- Others Upon Request



#### Glass Types Available:

- Single Glaze
- Insulated Glaze
- Low E
- Decorative Glass
- V-Grooved
- Beveled Glass
- Vintage Glass
- Laminated STC
- Hurricane Impact Glass
- Spandrel Glass
- Bent | Corner Glass
- Tempered Glass
- Annealed Glass
- Commercial Glaze
- Triple Pane



#### Paint Colors Available:

- Over 400 Colors Available
- Full Custom/Matching Colors
- Standard Application - Meets 2603 - 2604 AAMA specifications for aluminum
- Kynar Finish Available - Meets 2605 AAMA specifications for aluminum
- Anodized Aluminum Available:
  - ◊ Clear
  - ◊ Champagne
  - ◊ Light Bronze
  - ◊ Medium Bronze
  - ◊ Dark Bronze
  - ◊ Black



#### Standard and Custom Grilles, Mouldings & Brickmoulds:

- Over 100 Grille Profiles
- Over 100 Casing Patterns
- 15 Aluminum Clad Profiles
- 12 Subsill Profiles
- 21 Wood Brickmould Profiles
- 20 Stops | Beads Profiles

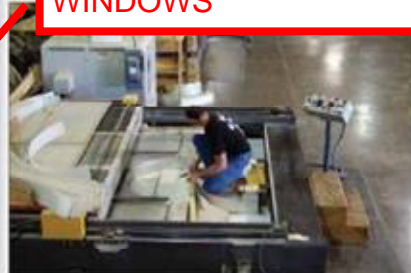
#### Joinery Options

- French Mitre
- Slot & Tenon
- Mortise & Tenon

PARRET WINDOWS -  
CURVED GLASS/SASH

#### Accessories | Options

CUSTOM COLOR TO  
MATCH ADJACENT  
WINDOWS



Lamination



Machining



Craftsmanship



Expertise



On behalf of our family of dedicated employees, thank you for considering Parrett Windows and Doors for your next project. We value your relationship strongly and will work hard to provide you with the "Best Value in the Specialty Window and Door Industry." I truly believe that we provide the best value in quality specialty products in the industry - a product that you can rely upon to perform for generations to come. If you want lasting value from a manufacturer dedicated to being your best supplier call Parrett. We will work hard to exceed your expectations for years and years to come.

*Ronald D. Safford*

Ronald D. Safford - President

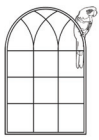


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[www.parrettwindows.com](http://www.parrettwindows.com)





## 5. Secure Unit in Opening (continued)

- Nail through brickmould every 12" using 3" finish nails.
- If securing through the frame, pre-drill 3/16" holes through unit frame 4" from each corner and every 16" in between.
- Insert shims between frame and rough opening near 3/16" holes.
- Check plumb, level and square of unit. Adjust shims as needed.
- Secure unit through pre-drilled holes in frame using #10 x 2-1/2" screws.
- Recheck plumb, level and square of unit. Correct as needed.

### NOTICE

Both Installation Clips and nailing through brickmould are recommended for installing all units. If both cannot be used, unit must also be secured to building structure through frame.

### MASONRY CONSTRUCTION

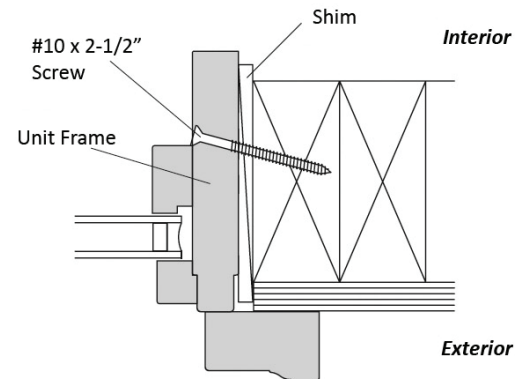
#### CAUTION

**DO NOT** install unit with unfinished wood in direct contact with masonry/concrete. Apply proper finish to wood surface, or place barrier (i.e. tar paper or ice/water membrane) between wood and masonry/concrete surface. Failure to do so may result in product and/or property damage.

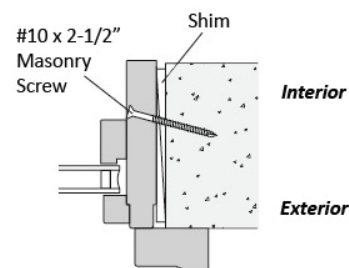
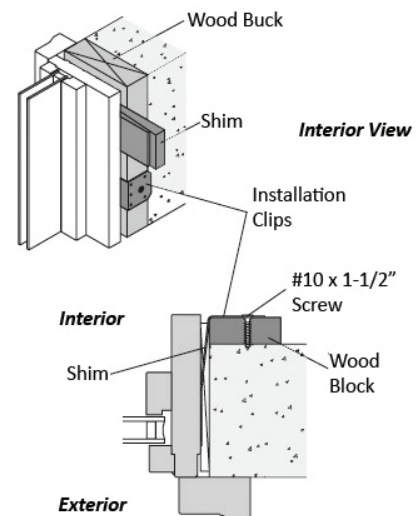
#### NOTICE

For masonry applications, install and securely fasten a wood buck or wood blocking around masonry opening before installing the window.

- Insert shims between frame and rough opening along the side jambs, just above or below Installation Clips.
- Bend and fasten Installation Clip at middle of each jamb to masonry, wood blocking, or wood buck using a minimum of #10 x 1" screw. If Installation Clips are being secured directly to masonry, pre-drill hole and use masonry screws.
- Check plumb, level, and square of unit. Adjust shims as needed.
- Secure remaining Installation Clips.
- Recheck plumb, level and square of unit.



Wood Frame Construction



## CRL Bi-Fold Service Windows

**ONLINE INSTALLATION RESOURCES**

**ONLINE ARCHITECTURAL RESOURCES**

- Select From Manual or Semi-Automatic Operation

C.R. Laurence Bi-Fold Service Windows are perfect anywhere a high quality bi-folding window is required. Features include two panels that simultaneously open outward towards the customer, and a burglar bar for extra security. Projected and Flush Mount models are available in two different configurations: **MANUAL** - Both panels move simultaneously as either panel is manually operated. **SEMI-AUTOMATIC** - Opening the window is achieved by pushing on the hip activated slide bar. Step away from the window and the two panels automatically close. Custom sizes and custom paint colors are available by special order. For additional information, contact CRL Technical Sales at (800) 421-6144 in the U.S., (877) 421-6144 from Canada, or (323) 588-1281 International, and ask for Ext. 7760. You can also e-mail us at [transaction@crlaurence.com](mailto:transaction@crlaurence.com).

## CRL BFW Series Flush Mount Manual Bi-Fold Service Windows

- Available in Stock or Custom Sizes, and Stock or Custom Finishes



### SPECIFICATIONS:

**Materials:** Aluminum Extrusions; Pile Weatherstrip; Glazing Vinyl; Stainless Steel Shelf or Stainless Steel Sill

**Glazing:** 1/4" (6 mm) Clear Tempered Glass

**Stock Finishes:** Satin Anodized or Bronze Anodized

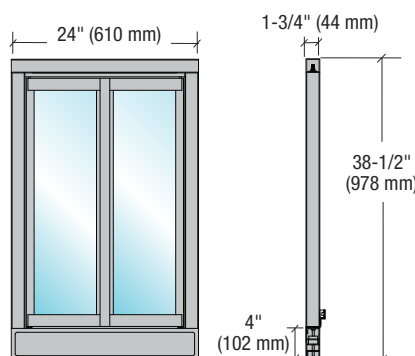
**Custom Finishes:** Custom Anodized, Powder Painted or KYNAR® Painted

**Bi-Fold Operation:** Manual

**To Determine Rough Opening:**

Add 1/2" (12 mm) to Width, 1/4" (6 mm) to Height

1/2" Clear insulated glazing



Front View

Side View



Flush Mount Manual Model  
(Viewed from Clerk's Side)

CAT. NO.	WINDOW TYPE	SERVICE OPENING SIZE (W X H)	OVERALL SIZE (W X H)	FINISH
BFW1A	Flush Mount Manual	17-3/4" x 32-1/4" (451 x 819 mm)	24" x 38-1/2" (610 x 978 mm)	Satin Anodized
BFW1DU	Flush Mount Manual	17-3/4" x 32-1/4" (451 x 819 mm)	24" x 38-1/2" (610 x 978 mm)	Bronze Anodized
BFW1C	Flush Mount Manual	Custom Model - Must Specify	Custom Model - Must Specify	Specify Color

Minimum order: 1 each.



## CRL BFW Series Projected Manual Bi-Fold Service Windows

- Available in Stock or Custom Sizes, and Stock or Custom Finishes



### SPECIFICATIONS:

**Materials:** Aluminum Extrusions; Pile Weatherstrip; Glazing Vinyl; Stainless Steel Shelf or Stainless Steel Sill

**Glazing:** 1/4" (6 mm) Clear Tempered Glass

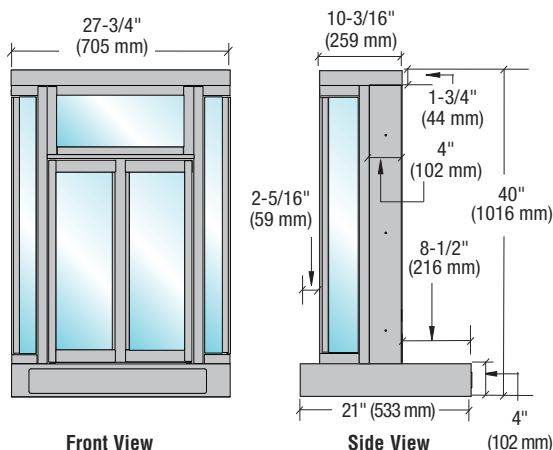
**Stock Finishes:** Satin Anodized or Bronze Anodized

**Custom Finishes:** Custom Anodized, Powder Painted or KYNAR® Painted

**Bi-Fold Operation:** Manual

**To Determine Rough Opening:**

Add 1/2" (12 mm) to Width, 1/4" (6 mm) to Height



Front View

Side View



Projected Manual Model  
(Viewed from Clerk's Side)

CAT. NO.	WINDOW TYPE	SERVICE OPENING SIZE (W X H)	OVERALL SIZE (W X H)	FINISH
BFW2A	Projected Manual	15" x 25" (381 x 635 mm)	27-3/4" x 40" (705 x 1016 mm)	Satin Anodized
BFW2DU	Projected Manual	15" x 25" (381 x 635 mm)	27-3/4" x 40" (705 x 1016 mm)	Bronze Anodized
BFW2C	Projected Manual	Custom Model - Must Specify	Custom Model - Must Specify	Specify Color

Minimum order: 1 each.



KYNAR is a registered trademark of Arkema, Inc.

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**bi-fold-windows**

Search

T418

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From Anywhere in the U.S. or Canada



# ELLISON BALANCE DOOR - ALUMINUM, PTD FINISH

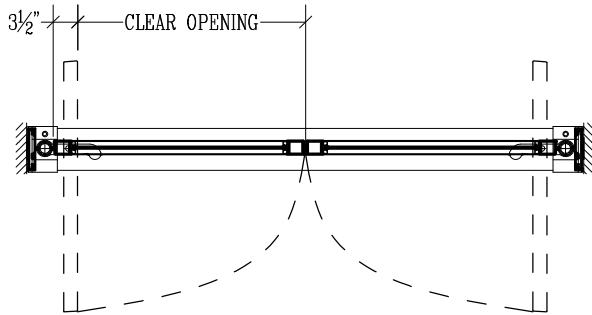
**Ellison**  
CUSTOM. BALANCED. DOORS.

Extruded Aluminum  
Stile & Rail Balanced Doors  
with Power Operation

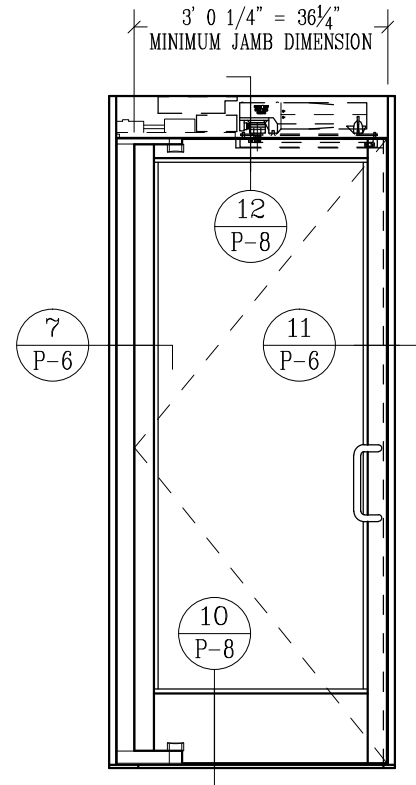
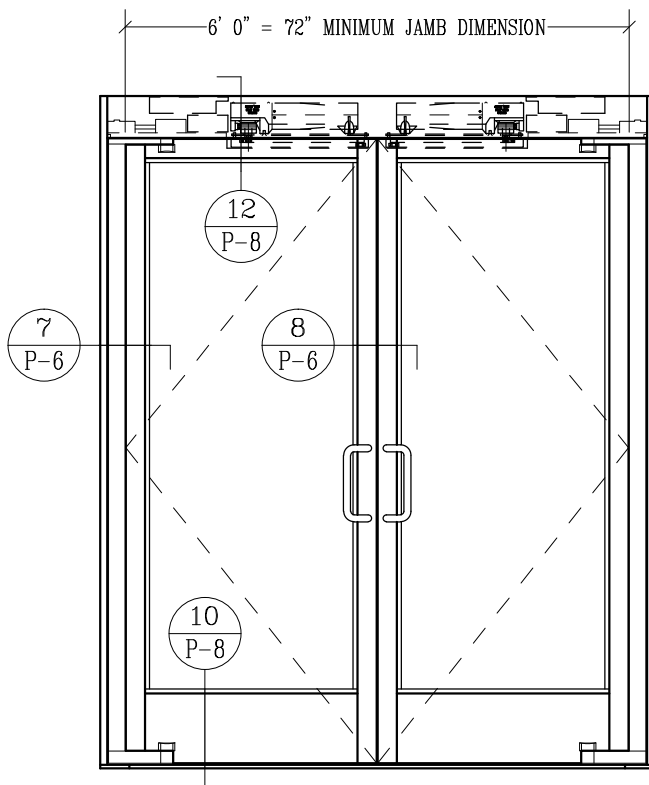
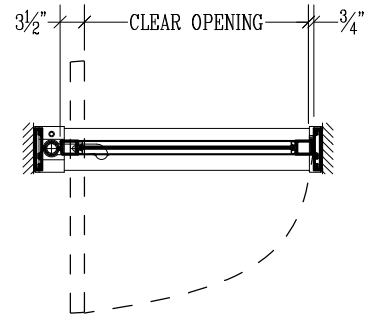
Section  
**P**

**Exposed Shafts / Stanley "Power Now" (P-2)**

INTERIOR



EXTERIOR  
(Pull Side)



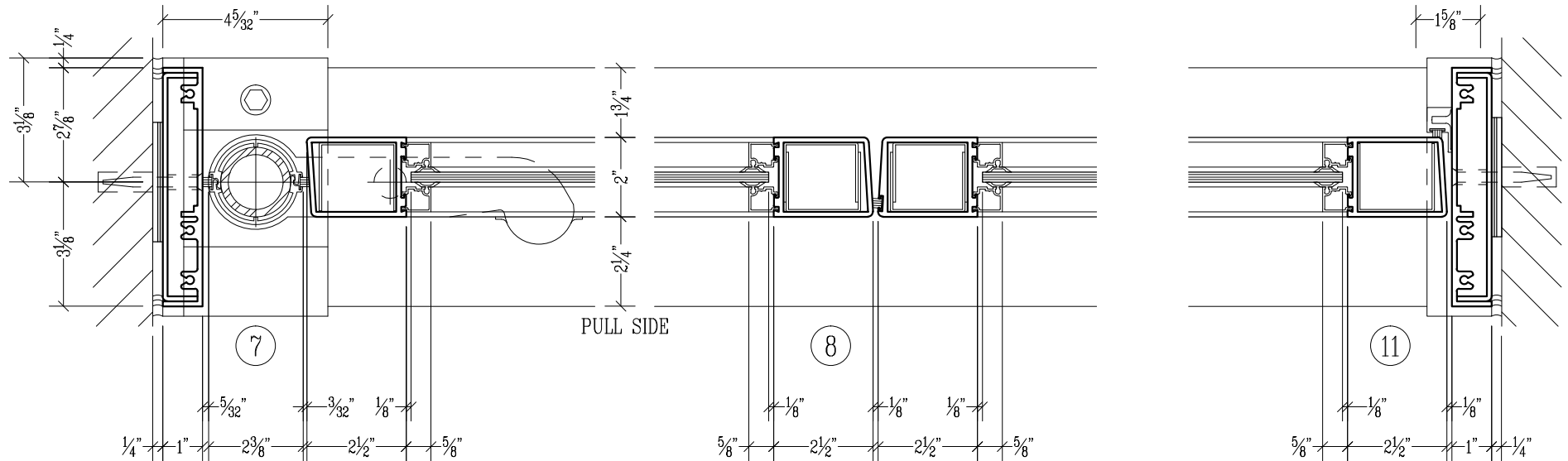
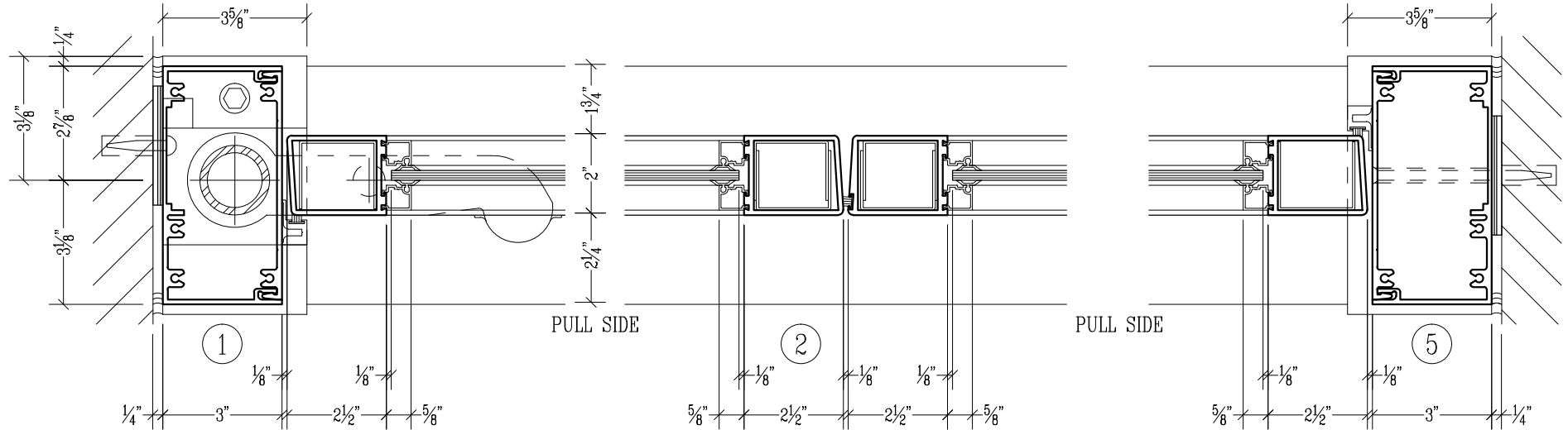
SHOWN WITH STANLEY POWER OPERATORS

**Ellison**  
CUSTOM. BALANCED. DOORS.

Extruded Aluminum  
Stile & Rail Balanced Doors  
with Power Operation

Section  
**P**

"Power Now" (P-1 & 2)



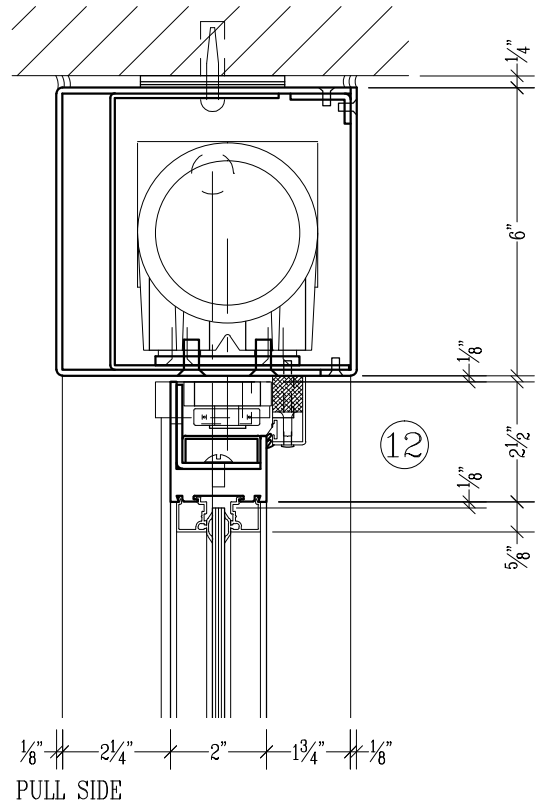
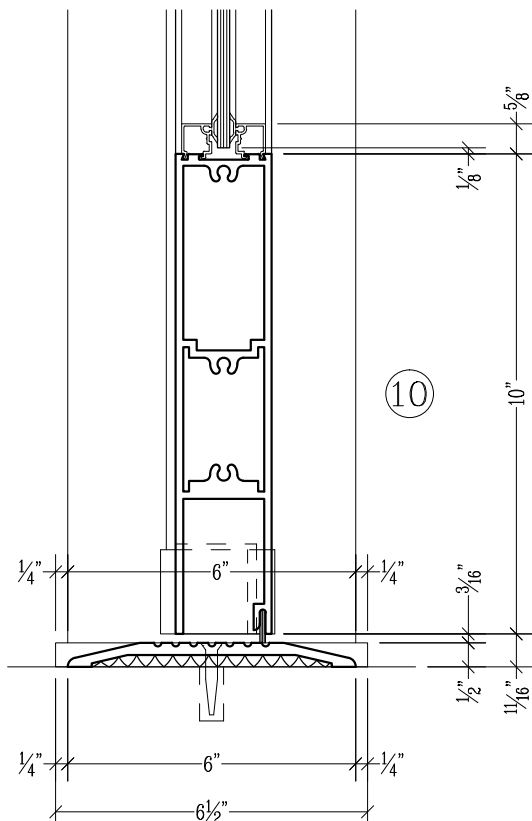
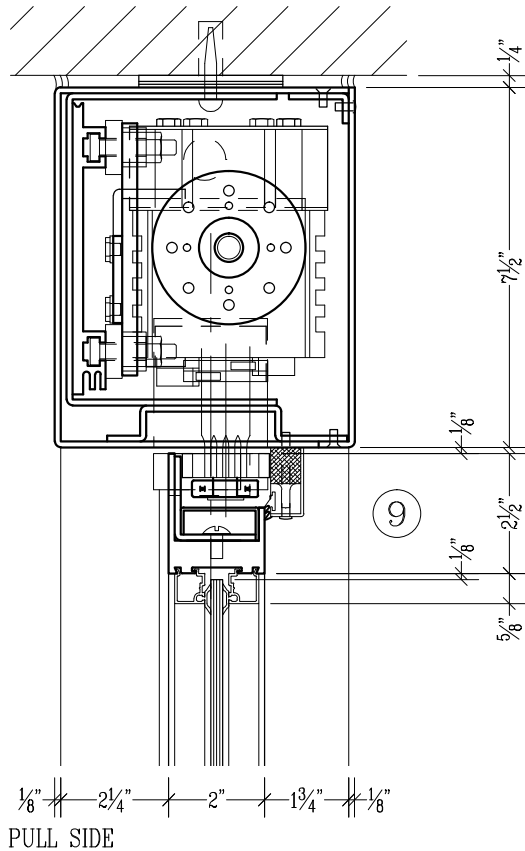
# ELLISON BALANCE DOOR - ALUMINUM, PTD FINISH

**Ellison**  
CUSTOM. BALANCED. DOORS.

Extruded Aluminum  
Stile & Rail Balanced Doors  
with Power Operation

Section  
**P**

Exposed Shafts / "Power Now" (P-2)



Note: Side load type power operator configurations shown at details 9 & 12 (consult factory for optional bottom load configuration if required for recessed header applications)

SCALE: 1/4" = 1"

**20**

Page No. 8



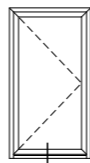
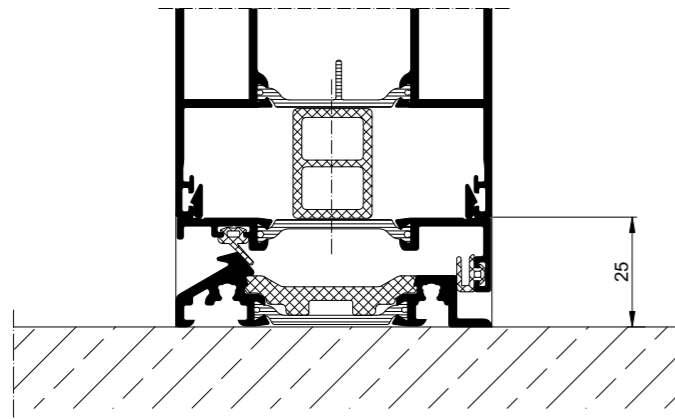
KAWNEER - EXTERIOR ALUMINUM DOORS AT MARKET  
ENTRANCES & ROOF DECKS

AA®720 Door Systems

Full details can be downloaded from our website [www.kawneer.co.uk](http://www.kawneer.co.uk)

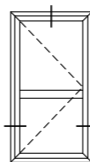
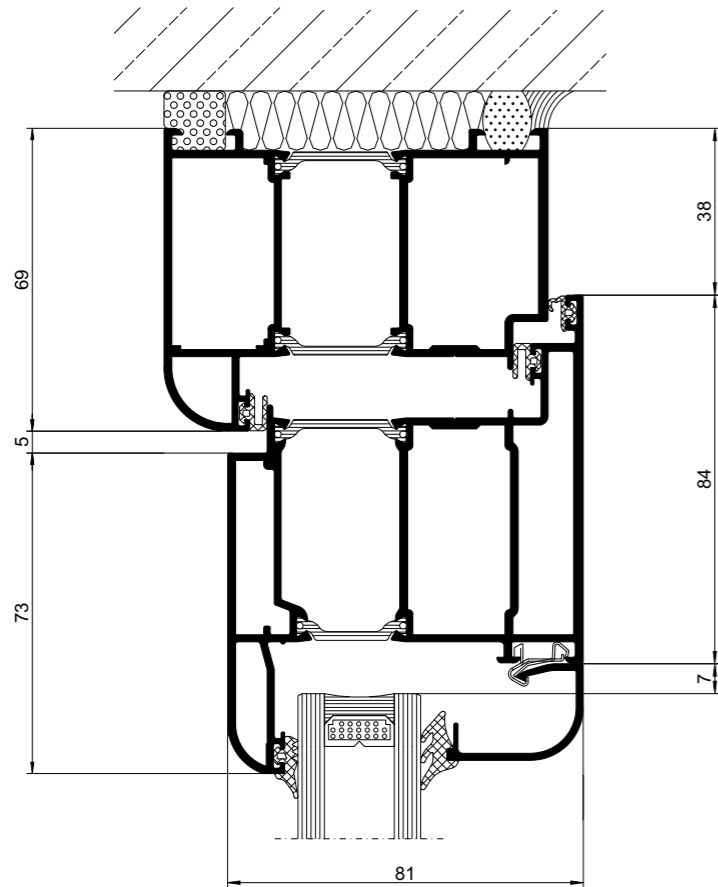
Inward Opening

Standard Door Threshold



H53-01  
Viewed Externally

Design Door Head Detail



H61-11  
Viewed Externally

CUSTOM COLOR TO  
MATCH ADJACENT  
WINDOWS

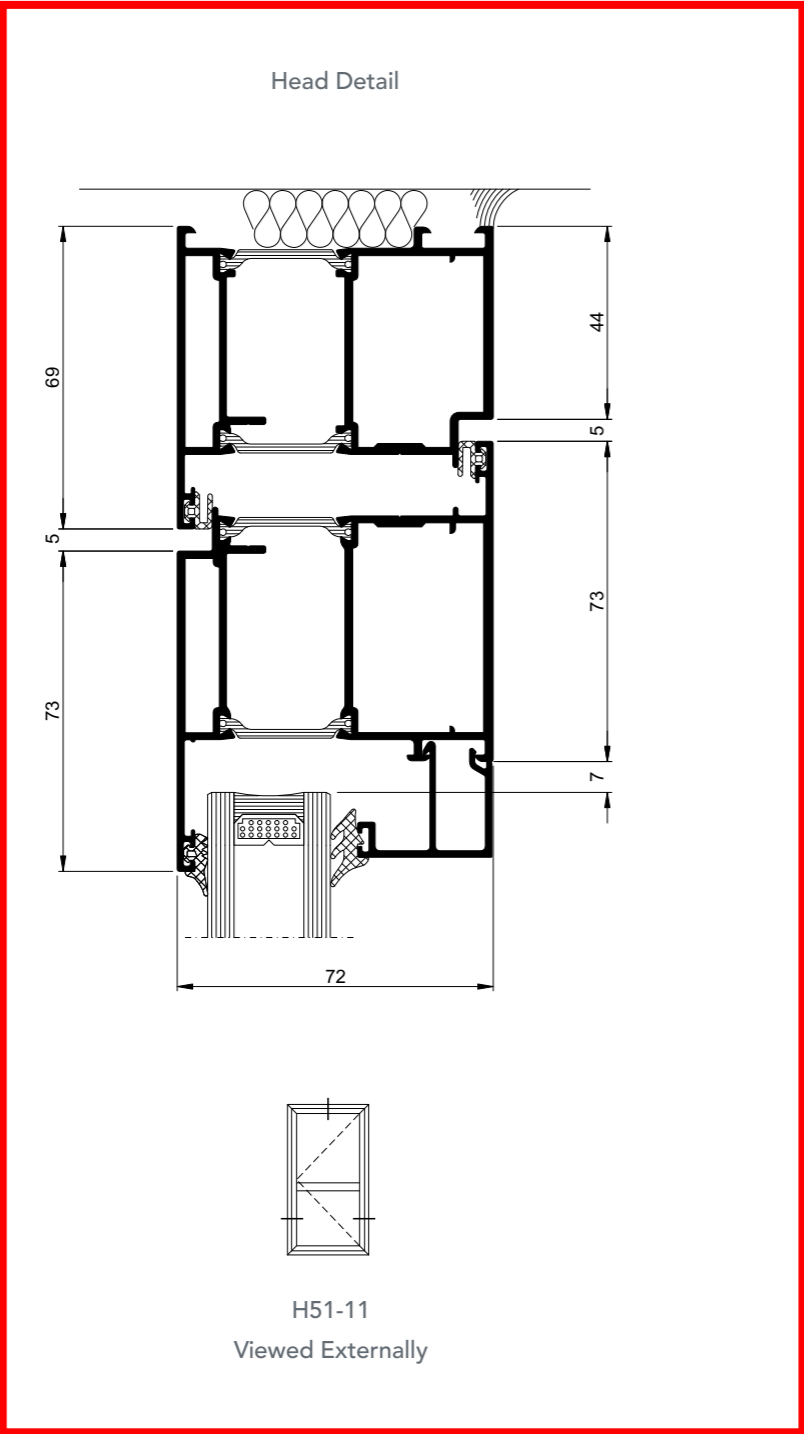


Kingston Riverside, London  
Architect: Sprunt  
Photo: Positive Image Photography

AA®720 Door Systems

Full details can be downloaded from our website [www.kawneer.co.uk](http://www.kawneer.co.uk)

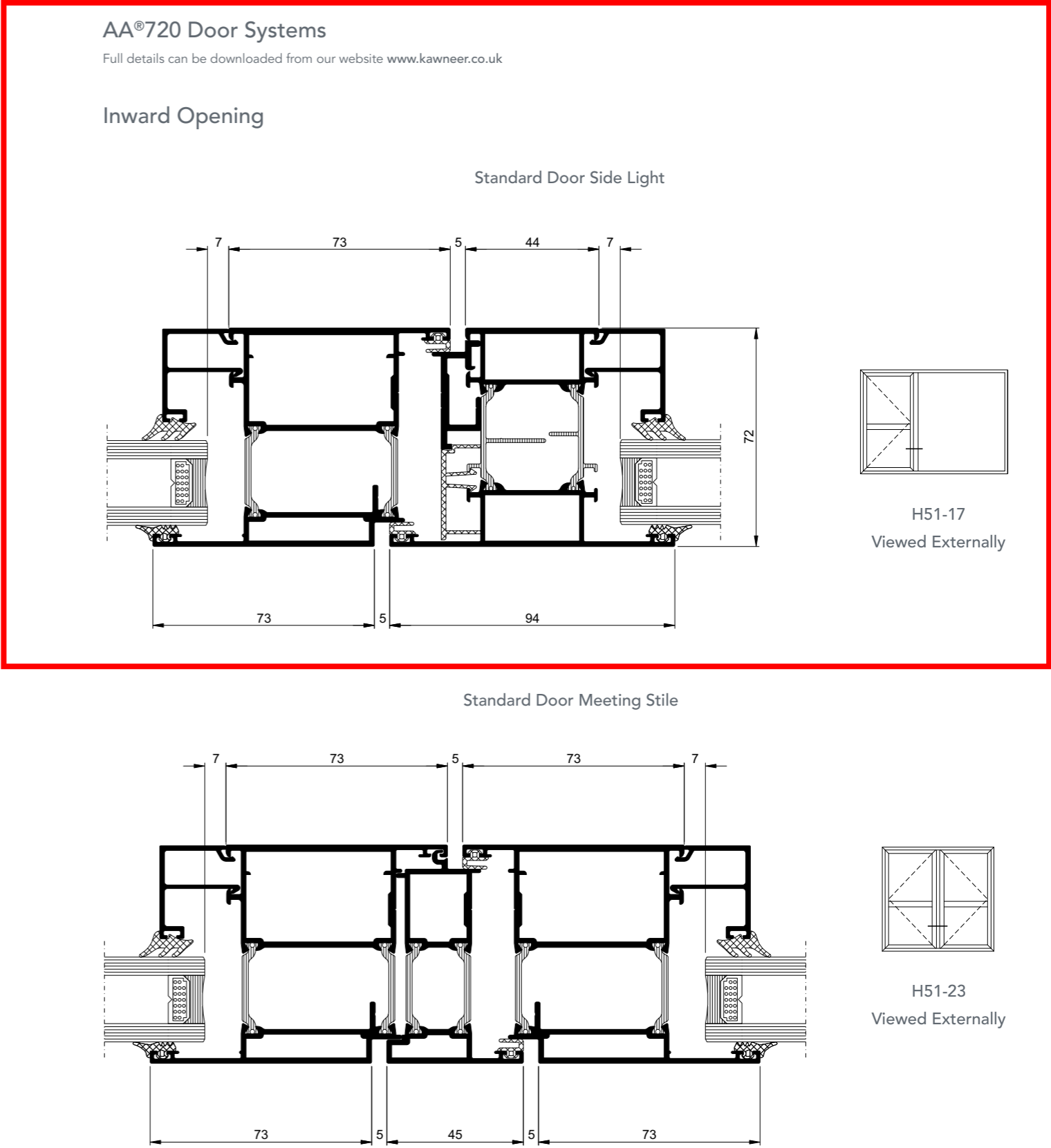
Inward Opening



AA®720 Door Systems

Full details can be downloaded from our website [www.kawneer.co.uk](http://www.kawneer.co.uk)

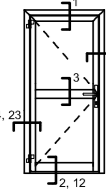
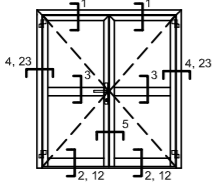
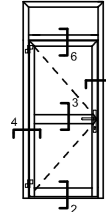
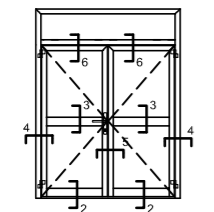
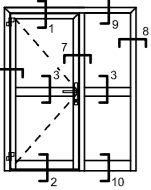
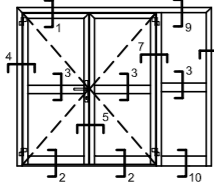
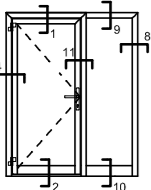
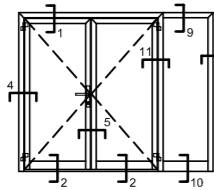
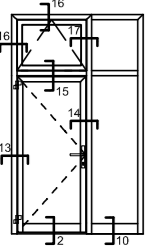
Inward Opening

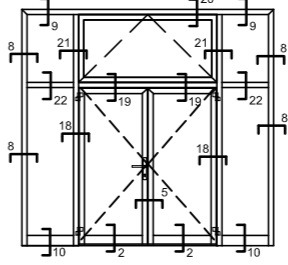
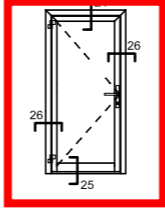
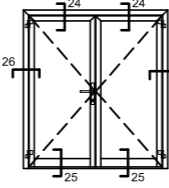
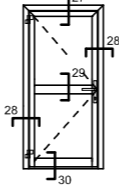
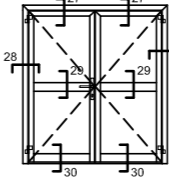


AA<sup>®</sup>720 Door Systems

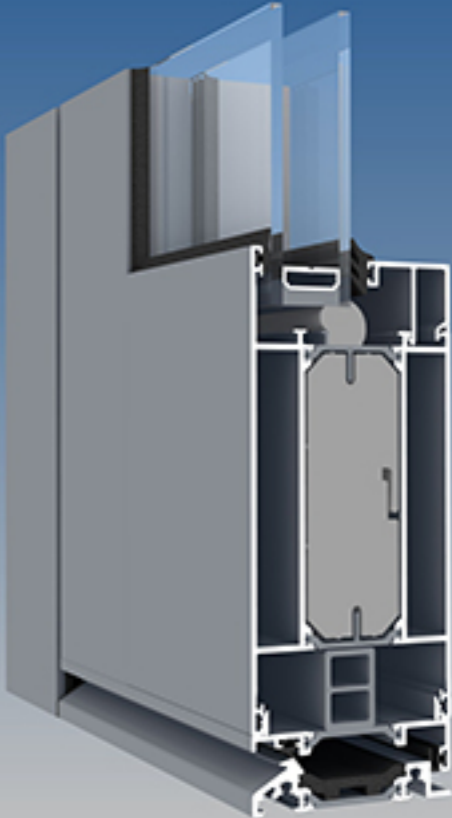
Typical Elevations

Full details can be downloaded from our website [www.kawneer.co.uk](http://www.kawneer.co.uk)

Elevation	Title		Website CAD ref. no.	
Single Leaf Door	Double Leaf Door		Open-in	Open-out
		1 Head 2 Threshold 3 Midrail 4 Jamb 5 Meeting Stile 12 Perimeter Door Leaf - Threshold 23 Finger Guard Hinge Jamb	H51-12, H51-15, H51-16 H53-2, H53-6, H53-7 H51-14 H51-12, H51-15, H51-16 H51-22, H51-32 H53-4	H51-11, H51-13 H53-1, H53-5, H53-7 H51-14 H51-11, H51-13 H51-22, H51-23 H53-3 H55-12, H55-13
		2 Threshold 3 Midrail 4 Jamb 5 Meeting Stile 6 Door Head/Fanlight Transom	H53-2, H53-6, H53-7 H51-14 H51-12, H51-15, H51-16 H51-22, H51-32 H51-53	H53-1, H53-5, H53-7 H51-14 H51-11, H51-13 H51-22, H51-23 H51-52
		1 Door Head 2 Threshold 3 Midrail 4 Jamb 5 Meeting Stile 7 Door Stile/Side Light Frame Section 8 Side Light Frame Section 9 Side Light Frame Head Section 10 Side Light Threshold	H51-15, H51-16 H53-2, H53-6, H53-7 H51-14 H51-12, H51-15, H51-16 H51-22, H51-32 H51-18, H51-19 H51-20 H51-20, H51-21 H53-8, H53-9	H51-13 H53-1, H53-5 H51-14 H51-11, H51-13 H51-22, H51-23 H51-17 H51-20 H51-20, H51-21 H53-8, H53-9
		1 Door Head 2 Threshold 4 Jamb 5 Meeting Stile 8 Side Light Frame Section 9 Side Light Frame Head Section 10 Side Light Threshold 11 Door Stile/Side Light Frame Section	H51-12 H53-2, H53-6, H53-7 H51-12 H51-22, H51-32 H51-20 H51-20 H53-8, H53-9 H51-53	H51-11 H53-1, H53-5, H53-7 H51-11 H51-22, H51-23 H51-20 H51-20 H53-8, H53-9 H51-52
		2 Threshold 10 Side Light Threshold 13 Special Door Frame Jamb 14 Door Stile/Side Light Special Muntin 15 Door Stile/Fanlight Special Muntin 16 Fanlight Frame Head/Jamb 17 Fanlight/Special Muntin		H53-1, H53-5, H53-7 H53-8, H53-9 H51-45 H51-46 H51-47 H51-48 H51-49

Elevation	Title		Website CAD ref. no.	
Single Leaf Door	Double Leaf Door		Open-in	Open-out
		2 Threshold 5 Meeting Stile 8 Side Light Frame Section 9 Side Light Frame Head Section 10 Side Light Threshold 18 Door Stile/Side Light Muntin 19 Door Head/Fanlight Muntin 20 Fanlight Head 21 Fanlight Muntin/Vent 22 Sidelight Muntin	H53-2, H53-6, H53-7 H51-22, H51-32 H51-20 H51-20 H53-8, H53-9 H51-26, H51-34 H51-27, H51-35 H51-28 H51-29 H51-30	H53-1, H53-5, H53-7 H51-22, H51-23 H51-20 H51-20 H53-8, H53-9 H51-24 H51-25 H51-28 H51-29 H51-30
		24 Head 25 Threshold 26 Jamb	H55-23 H55-24, H55-25, H55-26 H55-23	
		27 Head 28 Jamb 29 Midrail 30 Threshold		H61-11, H61-12 H61-11, H61-12 H61-16 H63-1, H63-2, H63-5

Kingston Riverside, London  
Architect: Sprunt  
Photo: Positive Image Photography



14 ATHENA DOORS - 3 LEVELS



GARAGE DOOR - MARTIN, COMMERCIAL ATHENA



Night Lounge :: 211 / Clear Windows / Metallic Aluminum

CONCEALED LIGHTING - RECESSED AT GRANITE PLINTHS

Indoor / Outdoor :: 231 / Desert Bronze

School Cafeteria





2828 S 900 W

SLC, UT

84119

801 973-9310

Version: LADU51-IUU

801 973-9310

QuoteID / Line# / Date:

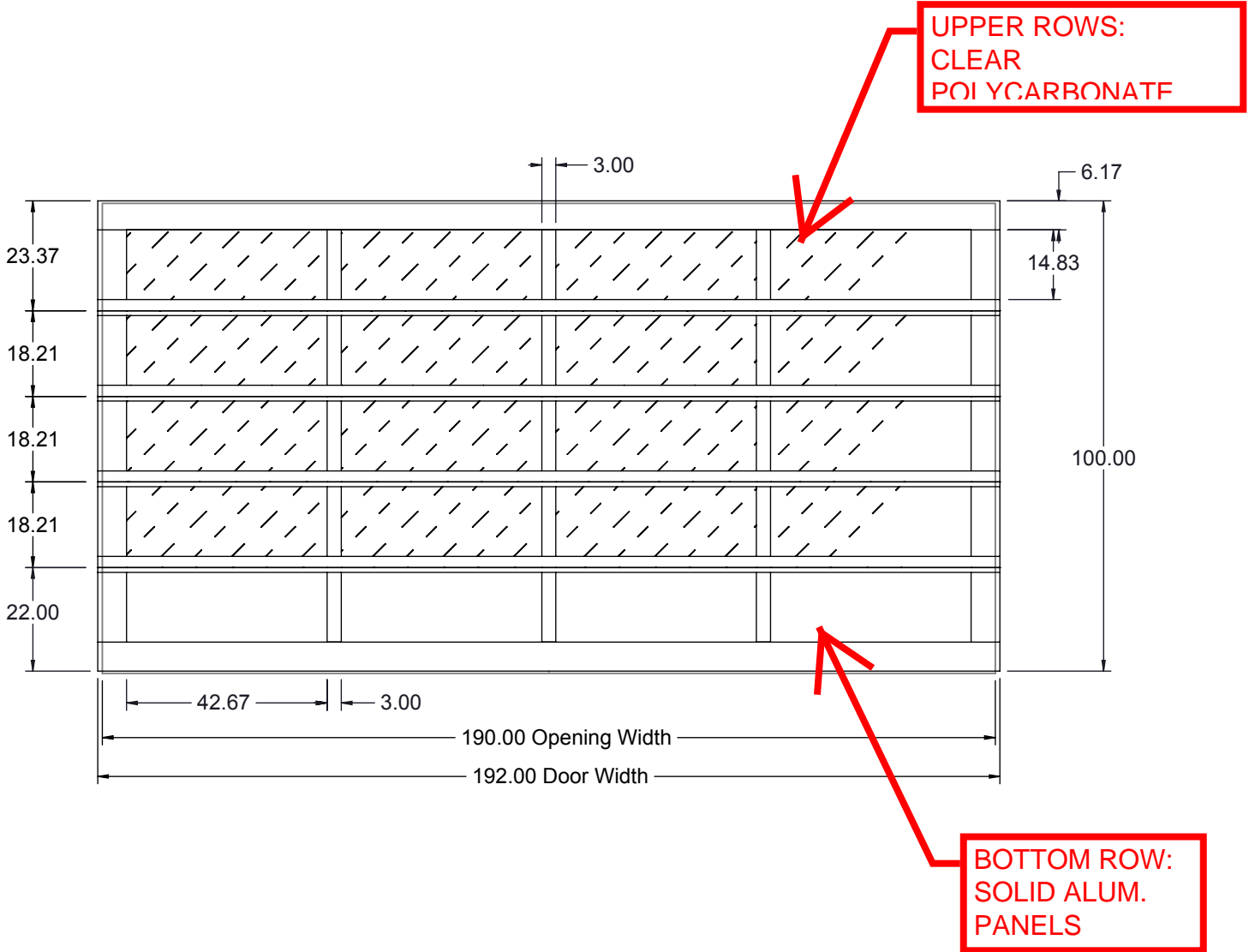
619252 / 1 / 8/6/2020

Account:

56117

Martin Factory Sales

- Description:
- Door: AT 231NS AA 16'0" x 8'4" N11S
- AT: Athena; Aluminum 231
- Finger Safe Joint
- Panel: Select
- Rails / Stiles: AA Anodized Aluminum Smooth
- Border: 6.17" Wide
- TP(D): 23.37" (AT) Glass-Clear (Stiles:DSSSD)
- I4: 18.21" (AT) Glass-Clear (Stiles:DSSSD)
- I3: 18.21" (AT) Glass-Clear (Stiles:DSSSD)
- I2: 18.21" (AT) Glass-Clear (Stiles:DSSSD)
- BM(D): 22.00" (AT) Aluminum-Insulated (Stiles:DSSSD)
- 4" T-End BLACK Bottom Seal - 2" Loop
- Struts: 1 of "U" Strut - 2-1/4" 2.2 ga 16'0"
- Standard Lift: 2" Track x 12" Radius
- 2 of Torsion Tube - Split 12 ga x 8'6" (16') Side Springs (30,000 Cycle)
- 16 Ga. Reverse Angles
- Sealed Roller Bearings With Shields
- Premium Hdw: Wood Mount
- Split Bundling
- No Comments



# ATHENA



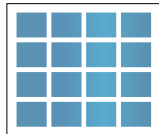
## PANEL STYLES

Available in 24 gauge steel or aluminum.

8' - 10'2" [2438 - 3099]



211

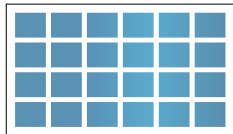


212

10'3" - 15'2" [3124 - 4623]

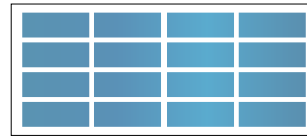


221



222

15'3" - 22' [4648 - 6706]



231



232

## COLORS

Long-lasting baked-on paint.

### STEEL PAINT COLORS



White  
Mist

Light  
Almond

Dark  
Brown

Desert  
Taupe

Adobe  
Stone

Silver

Bronze

### STEEL WOOD GRAIN\*



Walnut

Ash

Natural

## POWDER COAT FINISHES<sup>^†</sup> (STEEL OR ALUMINUM)

[See full list of colors on page 19]



## ANODIZED ALUMINUM FINISH

A natural looking, durable and corrosion-resistant finish.



## STEEL TEXTURE

Smooth or embossed textures are available on this door.  
(Embossed comes standard. Smooth doors are powdercoated)



## INSULATION

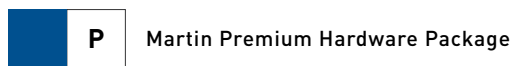
Add insulation with steel backing for noise reduction, durability, and minimal upkeep.

N1	N/A	Steel + Acrylic / Glass	N1	N/A	Aluminum + Acrylic / Glass
i3	R8	Steel + Insulation + Steel	i3	R8	Aluminum + Insulation + Steel

♦ R-value represents rails only. Total door r-value will vary depending on glass type.

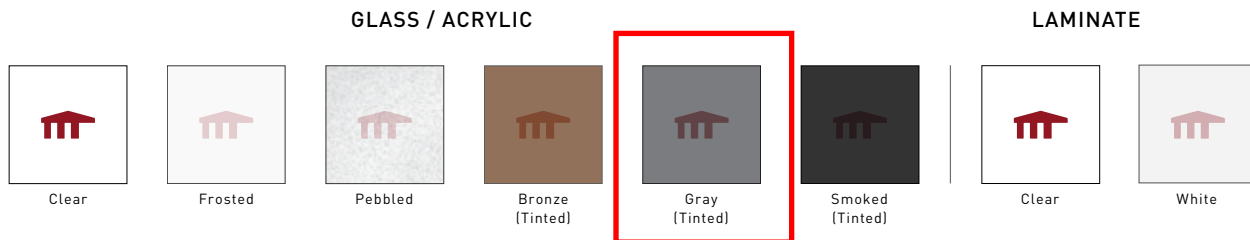
## HARDWARE

Includes roller, track and accessories for a strong and lasting door system.  
(More information on page 23)



## WINDOW TINT

Optional insulated glass options are available on most window types.  
(Simulated color. In some cases glass tint is lighter than acrylic tint)



## EXTRA OPTIONS

(More information on page 20)

- |                                     |  |
|-------------------------------------|--|
| <input type="radio"/> MAIL SLOTS    | <input type="radio"/> VENTS            |
| <input type="radio"/> T-HANDLE LOCK | <input type="radio"/> INSIDE LOCK      |
| <input type="radio"/> VAULT RELEASE | <input type="radio"/> ANTIQUE HARDWARE |

## SECTION JOINT



**Safety Joint**  
Martin safety joint helps protect fingers and hands from serious injury.


















# POWDER COAT FINISHES

Martin's Powder Coat Finishes are long-lasting and durable.

## METALLIC

										
<b>Walnut Vein</b> CS 3040	<b>Mahogany Vein</b> CS 3050	<b>Rusty Iron</b> CS 2005	<b>New Copper</b> CS 2015	<b>Olive Bronze</b> CS 3025	<b>Redwood</b> CS 3065	<b>Cherry Wood</b> CS 3060	<b>Corten</b> CS 4025	<b>Copper Vein</b> CS 2010	<b>Copper Gold</b> CS 3030	<b>Mesquite</b> CS 3055
										
<b>Bronze</b> CS 4030	<b>Oak Stone</b> CS 1055	<b>Tanzanite Metallic</b> CS 4020	<b>Golden Oak</b> CS3035	<b>Red Pine</b> CS 3045	<b>Sandcast Bronze</b> CS 3020	<b>Bronze Metallic</b> CS 3015	<b>Sage Metallic</b> CS 4005	<b>Patina Green</b> CS 4010	<b>Emerald Metallic</b> CS 4015	<b>Starlite Granite</b> CS 1005
										
<b>Desert Bronze</b> CS 3010	<b>Weathered Iron</b> CS 1975	<b>Silver Shadow</b> CS 1985	<b>Antique Silver</b> CS 1980	<b>Metallic Aluminum</b> CS 1035	<b>Bright Stainless</b> CS 1030	<b>Iron Glimmer</b> CS 1045	<b>Ironstone Metallic</b> CS 1050	<b>Metallic Pewter</b> CS 1040	<b>Champagne Metallic</b> CS 3005	

## SOLID

										
<b>Sapphire Blue</b> RAL 5003	<b>Azure Blue</b> RAL 5009	<b>Pigeon Blue</b> RAL 5014	<b>Dark Brown</b> CS 0003	<b>Beige Gray</b> RAL 7006	<b>Desert Taupe</b> CS 0005	<b>Stone Gray</b> RAL 7030	<b>Silk Gray</b> RAL 7044	<b>Platinum Gray</b> RAL 7036	<b>Telegray 4</b> RAL 7047	
										
<b>Signal Red</b> RAL 3001	<b>Wine Red</b> RAL 3005	<b>Jet Black</b> RAL 9005	<b>Black Gray</b> RAL 7021	<b>Slate Gray</b> RAL 7015	<b>Basalt Gray</b> RAL 7012	<b>Window Gray</b> RAL 7040	<b>White Mist</b> CS 0001	<b>Traffic White</b> RAL 9016	<b>Signal White</b> RAL 9003	
										
<b>Brown Red</b> RAL 3011	<b>Oxide Red</b> RAL 3009	<b>Red Brown</b> RAL 8012	<b>Signal Brown</b> RAL 8002	<b>Copper Brown</b> RAL 8004	<b>Beige Red</b> RAL 3012	<b>Beige</b> RAL 1001	<b>Light Ivory</b> RAL 1015	<b>Oyster White</b> RAL 1013	<b>Pure White</b> RAL 9010	
										
<b>Fir Green</b> RAL 6009	<b>Brown Green</b> RAL 6008	<b>Black Green</b> RAL 6012	<b>Moss Green</b> RAL 6005	<b>Pine Green</b> RAL 6028	<b>Dark Chocolate</b> CS 3070	<b>Mahogany Brown</b> RAL 8016	<b>Terra Brown</b> RAL 8028	<b>Pale Brown</b> RAL 8025	<b>Adobe Stone</b> CS 0004	
										
<b>Gray Yellow</b> RAL 1019	<b>Tarpaulin Gray</b> RAL 7010	<b>Mouse Gray</b> RAL 7005	<b>Reed Green</b> RAL 6013	<b>Cement Gray</b> RAL 7033	<b>Moss Gray</b> RAL 7003	<b>Pebble Gray</b> RAL 7032	<b>Light Almond</b> CS 0002	<b>Gray White</b> RAL 9002		

Available in high / low gloss.

Color samples will vary due to printer's color adjustments. For color accuracy see actual color chips.

All steel and copper doors have an embossed texture, unless ordered smooth.

Aluminum doors are smooth.

Insulation is required on powder coat doors.



## NACO Wood Louvers



Wood Louvers for sun control are our specialty. Cypress and Western Red Cedar are a specialty but we can furnish anything that we can form well and finish appropriately. **A TIP...** louver systems and the glass behind are usually cleaned with pressure washing equipment by maintenance people.

[About Wood Louvers](#)

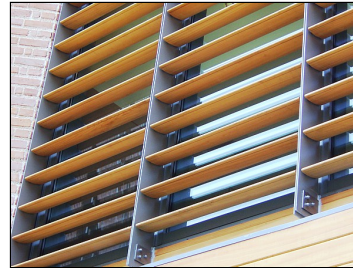
[Photos](#)

[Brochure](#)

[Shading Coefficient](#)

Wood Sun Controllers are custom by nature, thus offering unique design flexibility. Flat and airfoil profiles are standard, however, the designers special looks may be milled out for more unique profiles.

Species available are simulated wood designs are also popular due to their reasonable price and low maintenance. These are a foil imprint which is applied to the pre-treated aluminum surface and penetrates the profiles surface (sublimation) for the wood grain look. The results are pretty impressive.



*Wood Louvers on Rooftop  
Skylights Offer Great Sunlite  
Control to those Special  
Spaces.&*

## Exterior Blinds

[Home](#)

[NACO Airfoil Louvers](#)

[NACO Wood Louvers](#)

[SkyShield Blinds - Operable](#)

[Skylight Blinds - Operable](#)

[Hella Venetian Blinds](#)

[Request Drawings & Specs](#)

[Sun Control Specifications](#)



## GLASS AWNING




Scale: 1 : 5

ALL CUSTOMERS WHO IN ANY WAY UTILIZE THIS PRODUCT ARE SOLELY RESPONSIBLE TO CONSULT A STRUCTURAL ENGINEER TO DETERMINE THE SUITABILITY OF THE PRODUCT FOR THE INTENDED USE AND SITE CONDITIONS. ALL INSTALLERS MUST BE QUALIFIED AND HAVE PROFESSIONAL KNOWLEDGE ABOUT COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS, SAFETY FACTORS, AND THE APPROPRIATE CHOICE OF FIXING MATERIAL AND PROCEDURES.

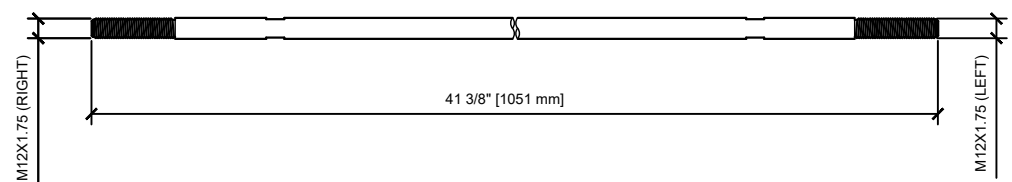
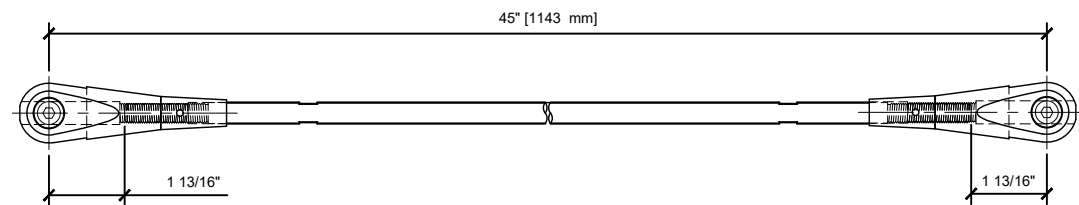


Scale: 1 : 5

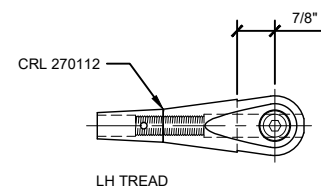
CRL GAS  
GLASS AWNING SUPPORT SYSTEM

1

## GLASS AWNING



2 CRL GAS154BS - 45" C.T.C. TENSION ROD, BRUSHED SS FINISH

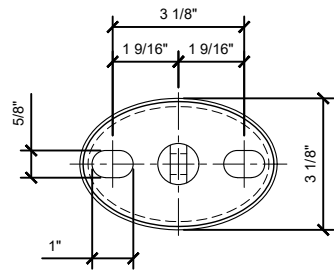


**CRH**  
**ALUMINUM**  
**A CRH COMPANY**  
03 E. Vernon Avenue, Los Angeles, C.A.  
(800)-421-6144 FX: 800-587-7501 www

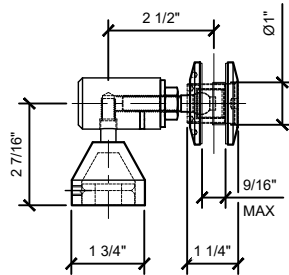
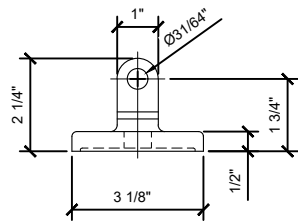
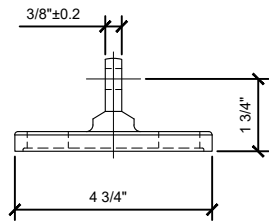
**A CRH COMPANY**  
2503 E. Vernon Avenue, Los Angeles, C.A 90058-1897  
PH (800)-421-6144 FX: 800-587-7501 [www. crlaurence.com](http://www.crlaurence.com)

CRL GAS  
GLASS AWNING SUPPORT SYSTEM

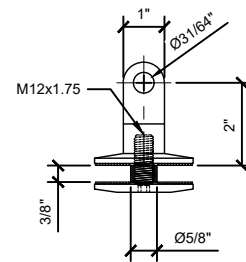
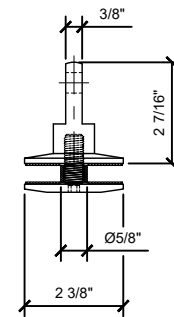
2



NOTE:  
TO ATTACH OVAL BRACKET FOR STEEL  
USE 5/8-18 HEX HEAD CAP SCREW  
WITH FLAT WASHER & LOCK WASHER.  
FOR CONCRETE USE CRL EBA334  
EXPANSION ANCHOR WITH OVERSIZE  
FLAT WASHER.



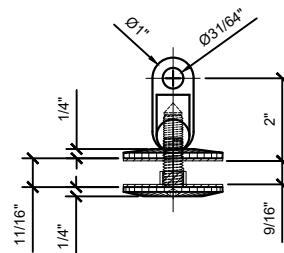
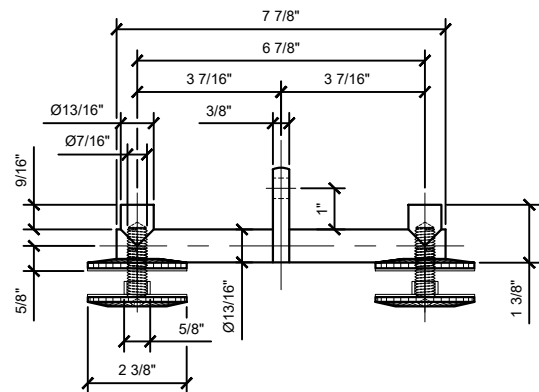
NOTE:  
TO ATTACH PIVOT BRACKET  
FOR STEEL, TAP FOR 3/8\"-16 & USE CRL AWS38BA  
FOR CONCRETE USE CRL CA3816  
ANCHOR BOLT.



NOTE:  
5/8\" DIA. HOLE REQUIRED  
AT GLASS PANEL.

1 CRL GAS190BS - GLASS AWNING SUPPORT SYSTEM MOUNTING KIT, BRUSHED SS FINISH  
Scale: 6" = 1'-0"

NOTE:  
5/8\" DIA. HOLE REQUIRED  
AT GLASS PANEL.



2 CRL GAS122BS - DOUBLE PLATE GLASS AWNING PIVOT BRUSHED SS FINISH  
Scale: 6" = 1'-0"

## GLASS AWNING

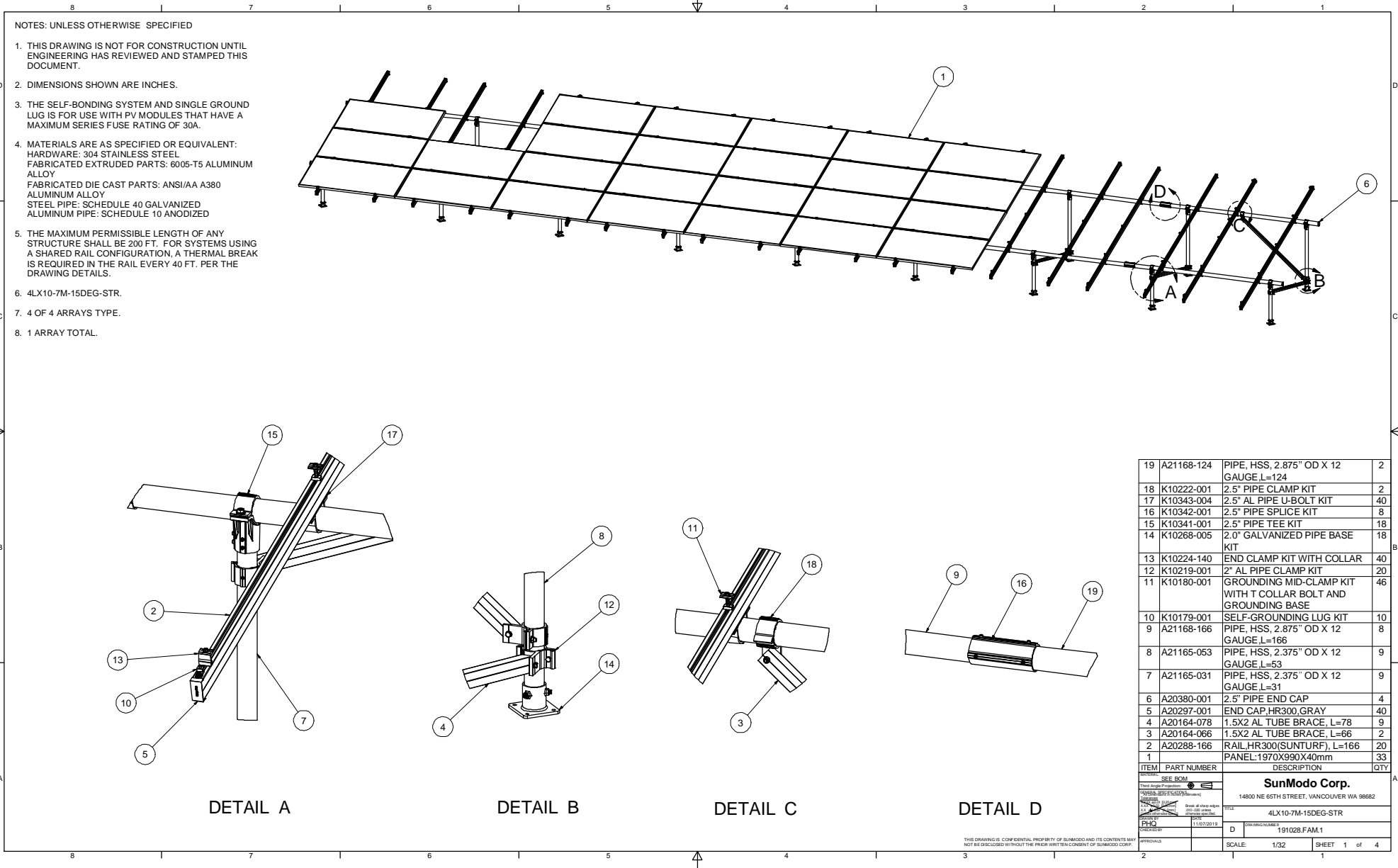
Revisions By:



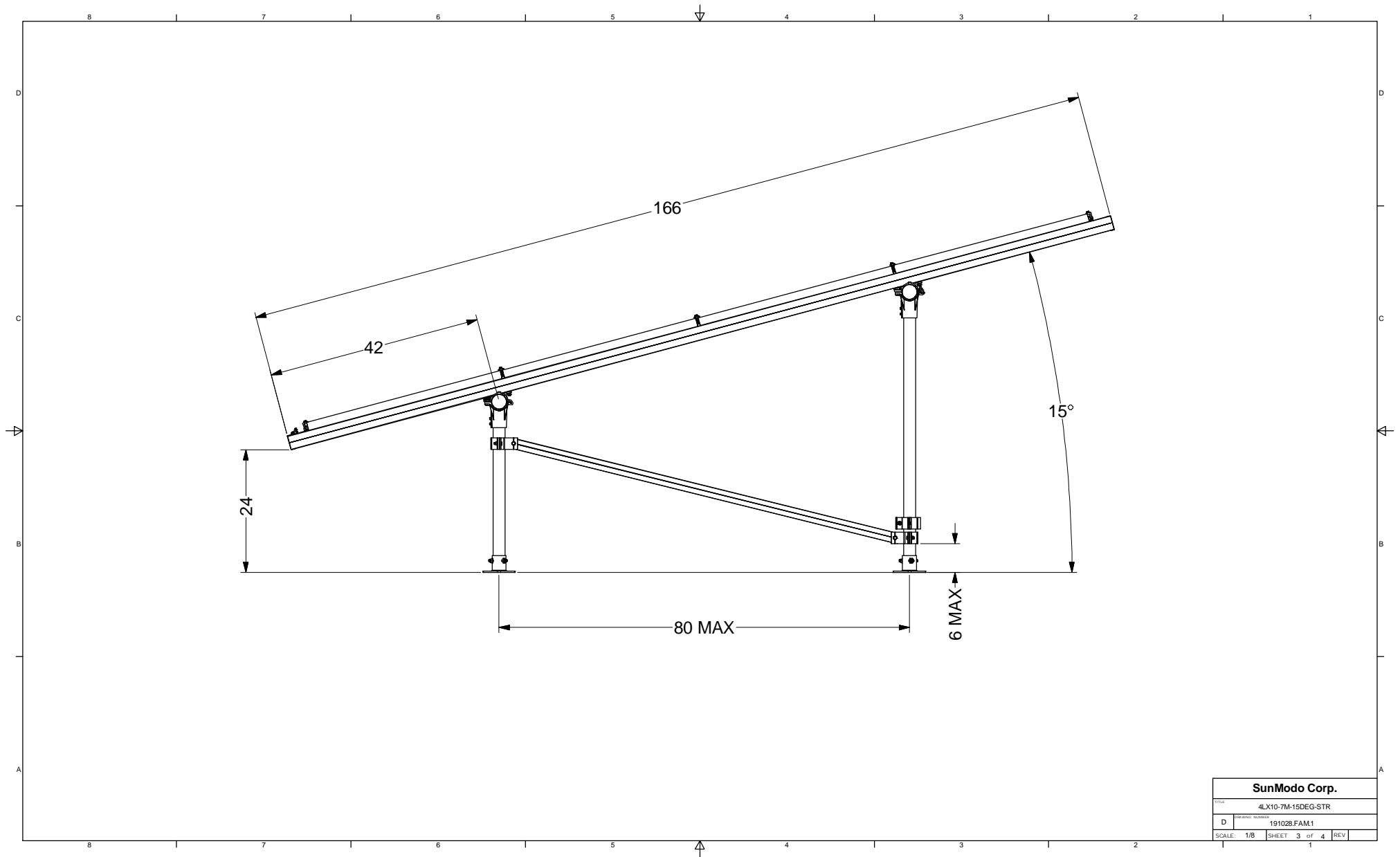
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CRL GAS  
GLASS AWNING SUPPORT SYSTEM

Drawn By:JO  
Date: 02/08/2019  
Scale: AS NOTED  
File Name:  
SYS0101A\_GAS\_GLASS\_AWNING  
Sheet

PHOTOVOLTAIC SOLAR  
ARRAY SYSTEM



PHOTOVOLTAIC SOLAR  
ARRAY SYSTEM

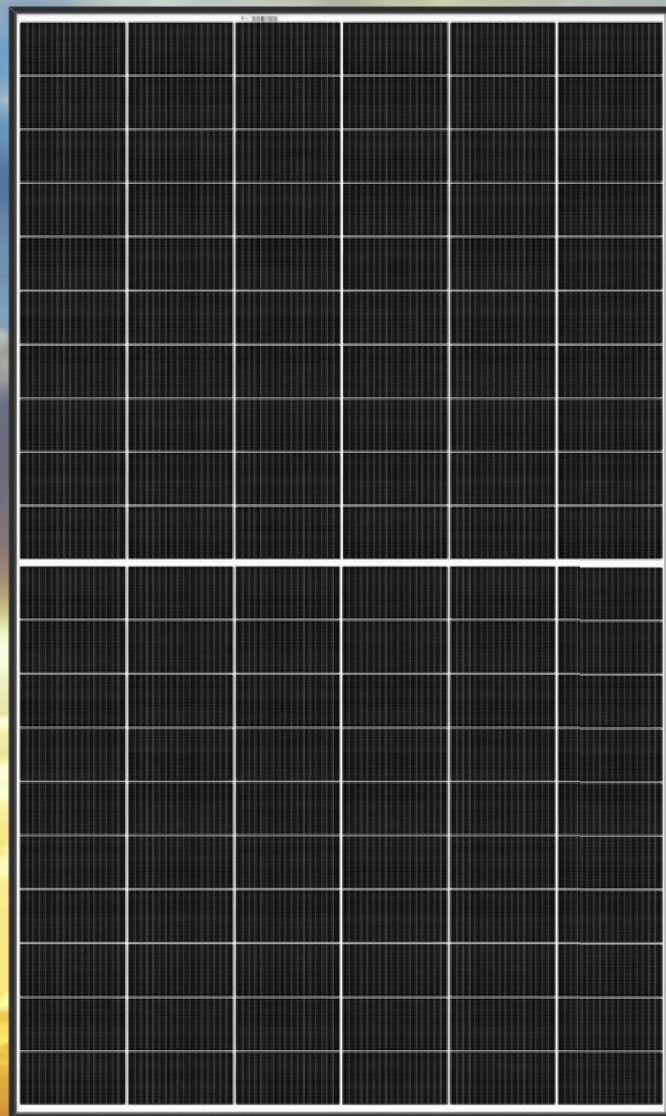


PV SOLAR ARRAY SYSTEM

SOLAR'S MOST TRUSTED



# REC ALPHA SERIES



380  
WP  
POWER



ELIGIBLE FOR

EXPERIENCE



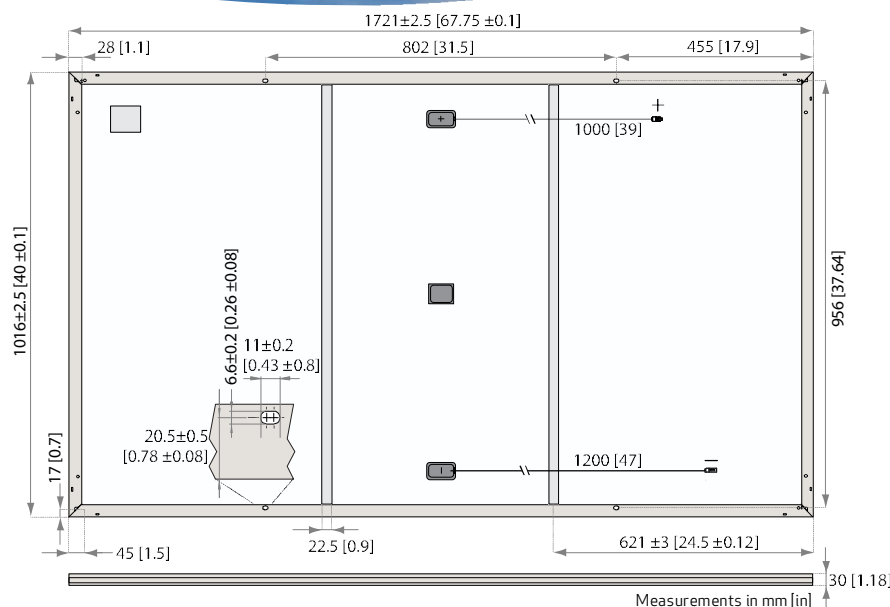
PERFORMANCE

37

# REC ALPHA SERIES

## PRODUCT DATASHEET

PV SOLAR ARRAY SYSTEM



### GENERAL DATA

Cell type:	120 half-cut cells with REC heterojunction cell technology 6 strings of 20 cells in series	Connectors:	Stäubli MC4PV-KBT4/KST4, 12AWG (4mm <sup>2</sup> ) in accordance with IEC 62852 IP68 only when connected
Glass:	0.13 in (3.2 mm) solar glass with anti-reflection surface treatment	Cable:	12AWG (4mm <sup>2</sup> ) PV wire, 39+47 in (1+1.2 m) in accordance with EN 50618
Backsheet:	Highly resistant polymeric construction	Dimensions:	67.8 x 40 x 1.2 in (1721 x 1016 x 30 mm) 18.8 sq ft (1.75 m <sup>2</sup> )
Frame:	Anodized aluminum (black)	Weight:	43 lbs (19.5 kg)
Junction box:	3-part, 3 bypass diodes, IP67 rated in accordance with IEC 62790	Origin:	Made in Singapore

### ELECTRICAL DATA

Product Code\*: RECxxxAA

	360	365	370	375	380
Power Output - P <sub>MAX</sub> (Wp)	360	365	370	375	380
Watt Class Sorting - (W)	-0/+5	-0/+5	-0/+5	-0/+5	-0/+5
Nominal Power Voltage - V <sub>MPP</sub> (V)	36.7	37.1	37.4	37.8	38.1
Nominal Power Current - I <sub>MPP</sub> (A)	9.82	9.85	9.9	9.94	9.98
Open Circuit Voltage - V <sub>OC</sub> (V)	43.9	44	44.1	44.2	44.3
Short Circuit Current - I <sub>SC</sub> (A)	10.49	10.52	10.55	10.58	10.61
Power Density (W/sq ft)	19.15	19.41	19.68	19.94	20.21
Panel Efficiency (%)	20.6	20.9	21.2	21.4	21.7
	274	278	282	286	289
Power Output - P <sub>MAX</sub> (Wp)	274	278	282	286	289
Nominal Power Voltage - V <sub>MPP</sub> (V)	34.6	35.0	35.2	35.6	35.9
Nominal Power Current - I <sub>MPP</sub> (A)	7.93	7.96	8.00	8.03	8.06
Open Circuit Voltage - V <sub>OC</sub> (V)	41.4	41.5	41.6	41.6	41.7
Short Circuit Current - I <sub>SC</sub> (A)	8.47	8.50	8.52	8.55	8.57

Values at standard test conditions (STC: air mass AM 1.5, irradiance 1075 W/sq ft (1000 W/m<sup>2</sup>), temperature 77°F (25°C), based on a production spread with a tolerance of P<sub>MAX</sub>, V<sub>OC</sub> & I<sub>SC</sub> ±3% within one watt class. Nominal module operating temperature (NMOT: air mass AM 1.5, irradiance 800 W/m<sup>2</sup>, temperature 68°F (20°C), windspeed 3.3 ft/s (1 m/s). \*Where xxx indicates the nominal power class (P<sub>MAX</sub>) at STC above.

### CERTIFICATIONS

IEC 61215:2016, IEC 61730:2016, UL 1703, UL 61730

IEC 62804	PID
IEC 61701	Salt Mist
IEC 62716	Ammonia Resistance
UL 1703	Fire Type Class 2
IEC 62782	Dynamic Mechanical Load
IEC 61215-2:2016	Hailstone (35mm)
AS4040.2 NCC 2016	Cyclic Wind Load
ISO 14001:2004, ISO 9001:2015, OHSAS 18001:2007, IEC 62941	



### WARRANTY

	Standard	RECProTrust	
Installed by an REC Certified Solar Professional	No	Yes	Yes
System Size	All	≤25 kW	25-500 kW
Product Warranty (yrs)	20	25	25
Power Warranty (yrs)	25	25	25
Labor Warranty (yrs)	0	25	10
Power in Year 1	98%	98%	98%
Annual Degradation	0.25%	0.25%	0.25%
Power in Year 25	92%	92%	92%

See warranty documents for details. Conditions apply.

### MAXIMUM RATINGS

Operational temperature:	-40 ... +85°C
Maximum system voltage:	1000 V
Design load (+): snow	4666 Pa (97.5 lbs/sq ft)*
Maximum test load (+):	7000 Pa (146 lbs/sq ft)*
Design load (-): wind	2666 Pa (55.6 lbs/sq ft)*
Maximum test load (-):	4000 Pa (83.5 lbs/sq ft)*
Max series fuse rating:	25 A
Max reverse current:	25 A

\* Calculated using a safety factor of 1.5  
\* See installation manual for mounting instructions

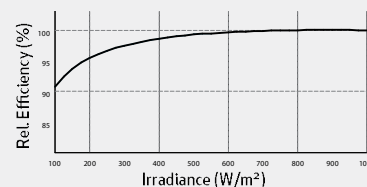
### TEMPERATURE RATINGS\*

Nominal Module Operating Temperature:	44°C (±2°C)
Temperature coefficient of P <sub>MAX</sub> :	-0.26 %/°C
Temperature coefficient of V <sub>OC</sub> :	-0.24 %/°C
Temperature coefficient of I <sub>SC</sub> :	0.04 %/°C

\*The temperature coefficients stated are linear values

### LOW LIGHT BEHAVIOUR

Typical low irradiance performance of module at STC:



Founded in Norway in 1996, REC is a leading vertically integrated solar energy company. Through integrated manufacturing from silicon to wafers, cells, high-quality panels and extending to solar solutions, REC provides the world with a reliable source of clean energy. REC's renowned product quality is supported by the lowest warranty claims rate in the industry. REC is a Bluestar Elkem company with headquarters in Norway and operational headquarters in Singapore. REC employs around 2,000 people worldwide, producing 1.5 GW of solar panels annually.

**REC**  
www.recgroup.com



# OWN THE ROOF



SunModo offers the next generation Flat Roof Mount System with SunTurf™. The streamlined design is robust, versatile, and specially engineered for multiple configurations.

By spanning over roof obstructions, the system takes full advantage of the available roof surface thereby maximizing the PV system size and increasing your ROI.

## The SunTurf™ Roof Mount Advantage

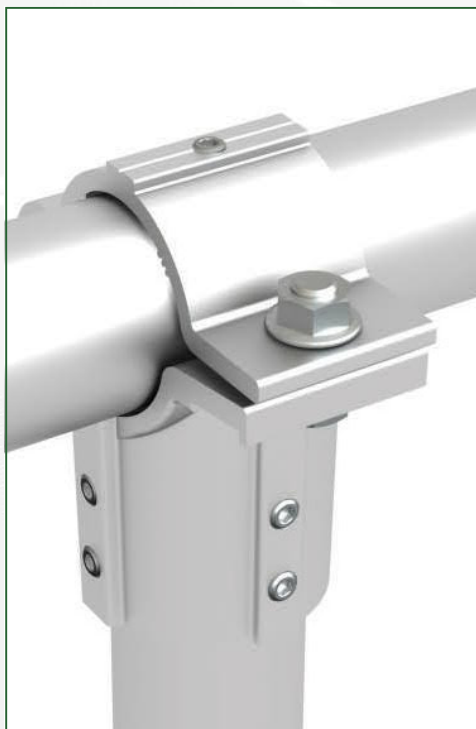
- ✓ Elevated solar arrays to maximize roof space and system size.
- ✓ Easy access to roof surfaces for maintenance and repair.
- ✓ Components optimized for strength, durability and fast installation.
- ✓ Easily scalable from kilowatts to multimegawatts PV Arrays.
- ✓ UL 2703 Listed by Intertek.

## Key Features of SunTurf™ Ground Mount System

PV SOLAR ARRAY SYSTEM

**SUNMODO**  
We've Got Your Rack!

The SunTurf™ flat roof system is perfect to elevate above obstructions such as HVAC, Pipes and Vents. The streamlined design combines the simplicity of a pipe-based system with next-level engineering. No drilling is required to attach the aluminum rails to the horizontal pipe. The system can be easily adjusted to account for multiple roof pitches on site.



### Technical Data

Application	Flat Roof
Material	High grade aluminum, galvanized steel and 304 stainless steel hardware
Module Orientation	Portrait and landscape
Tilt Angle	Range between 10 to 50 degrees
Mounting Options	Wood roof joists, metal beams and concrete roof surfaces
Structural Integrity	IBC compliant, stamped engineering letters available
Certification	UL 2703 Listed by ETL
Warranty	20 Years

SW24/4.0

STRIP - STATIC WHITE

TYPE JHHS-  
length



V/WATTS	RATED	CCT - LUMENS/CRI	<sup>2</sup> CONNECTOR/ WIRE IN	<sup>2</sup> CONNECTOR/ WIRE OUT	ILLUMINATED LENGTH (IN)
<b>SW24/4.0</b> Voltage: 24 VDC Wattage: 4.0 W/ft	WET	30	BW	BW	33 or 42
	DRY	<b>20</b> - 2000K 309/93 <b>22</b> - 2200K 314/96 <b>24</b> - 2400K 306/95 <b>27</b> - 2700K 349/98 <b>30</b> - 3000K 373/98 <b>35</b> - 3500K 389/98 <b>40</b> - 4000K 369/96	<sup>1</sup> BW BRL CLS	CLS <sup>1</sup> BW BRL	<b>1"-288"</b> OR <b><sup>2</sup>MATCH</b> 1" increments Matches EXT length ordered
	DMP	<b>24</b> - 2400K 284/94 <b>27</b> - 2700K 276/97 <b>30</b> - 3000K ***/** <b>35</b> - 3500K ***/** <b>40</b> - 4000K 324/95	<sup>1</sup> BW BRL	CLS <sup>1</sup> BW BRL	<b>1"-180"</b> OR <b><sup>2</sup>MATCH</b> 1" increments Matches EXT length ordered
	<sup>3</sup> ENC				<b><sup>2</sup>MATCH</b> Matches EXT length ordered
	WET	<b>20</b> - 2000K 260/94 <b>22</b> - 2200K ***/** <b>24</b> - 2400K 282/96 <b>27</b> - 2700K 285/95 <b>30</b> - 3000K 299/96 <b>35</b> - 3500K 323/96 <b>40</b> - 4000K 337/96	<sup>1</sup> BW BRL	CLS <sup>1</sup> BW BRL	<b>1"-288"</b> OR <b><sup>2</sup>MATCH</b> 1" increments Matches EXT length ordered

ENC RATED STRIP ARE NOT FIELD CUTTABLE

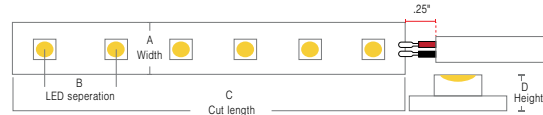
- NOTES:**
- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null and void
  - All data has +/- 5% tolerance
  - 5 year warranty
  - NRTL Listed for install in Storage Areas with Clothing, NEC Field 410.2 and 410.16 when assembled as a fixture, at Q-Tran facility (Not applicable for encapsulation)
  - Title 24 - JA8-2016 Strips: Dry rated, 2200K and above
- 1** BW comes in standard 24"- request custom length (Max 120") by writing it in inches next to "BW" in the order code box (ex. BW48)
- 2** Wire orientation for MATCH will be dictated by extrusion Feed In/Feed Out selection
- 3** Connector/Wire In or Out not needed to specify product. Standard configuration is BW for Wire In and CLS for Wire out
- 3** If ordering an encapsulated extrusion, ENC (Encapsulated in Extrusion) must be chosen for your strip

#### TECHNICAL INFORMATION [L70 = 30000 HRS]

\*Tested with SW24/4.0-DRY

CCT	Lumen/ft	CRI Ra	CRI R9	TM30 Rf	TM30 Rg
2000K	309	93	60	89	103
2200K	314	96	90	94	101
2400K	306	95	97	94	103
2700K	349	98	93	94	101
3000K	373	98	95	94	101
3500K	389	98	96	92	100
4000K	369	96	90	90	101

#### DIMENSIONS



Section (in)	DRY	DMP	WET
A	0.32"	0.32"	0.39"
B	0.16"	0.16"	0.16"
C	1.00"	1.00"	1.00"
D	0.06"	0.12"	0.21"

#### CONNECTOR/WIRE IN

<sup>1</sup> BW	BRL	CLS
Bare Wire 24"	Male Barrel 6"	Not soldered DRY ONLY

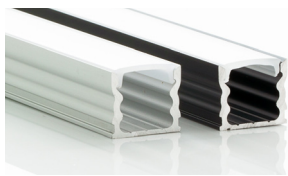
#### CONNECTOR/WIRE OUT

<sup>1</sup> BW	BRL	CLS
Bare Wire 24"	Female Barrel 6"	Not soldered

#### COMPATIBLE EXTRUSIONS

SLIM	WIDE	ROND	VEGA	TORQ	TRE3	ARKA	TELA	VEVE	FLUR	LATO	MDIN
<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET - No Lens	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input type="checkbox"/> DRY <input type="checkbox"/> DMP <input type="checkbox"/> ENC <input type="checkbox"/> WET

PROJECT NAME	DATE	COMPANY	TYPE	NOTE



## TORQ EXTRUSIONS - ALUMINUM

Model: iQA

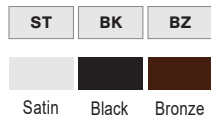


PRODUCT	FINISH	MOUNTING	LENS	TYPE	FINISHED FIXTURE LENGTH (IN)
TORQ	BK	SST	ENC/TL	S1	33 or 44
	ST BK BZ	SST	CL/60 CL/70 FR PR DF ENC/CL ENC/TL	S1 S2 S3 S4  P1 P2 P3 P4  NI	1" increments from 1" - 98.43"  Tolerance +0.0"/-0.5"
				Single (Closed exit)  Pass through  Not installed (Strip not installed in factory)	

### NOTES:

- UL Listed when assembled with STRIP LEDs at Q-Tran
- NRTL Listed for install in Storage Areas with Clothing, NEC Field 410.2 and 410.16 when assembled as a fixture, with 4.0 w/ft or less, at Q-Tran facility (Not applicable for encapsulation)
- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null and void

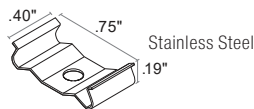
### FINISH



### MOUNTING

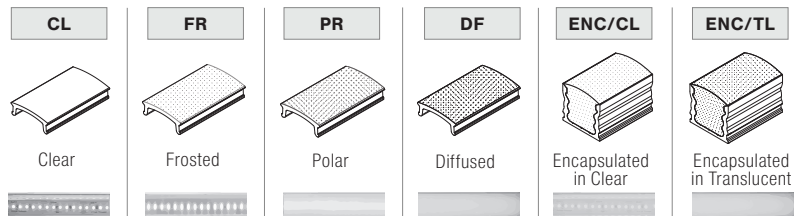
NOTE: 2 clips provided for 4' or less;  
4 clips provided for greater than 4'

#### TORQ-SST

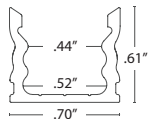


QTY:

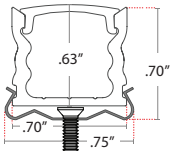
### LENS with LED visibility



### DIMENSIONS



Profile

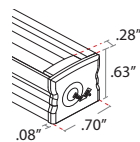


Profile with  
Stainless Steel Mounting Clip

### END CAPS

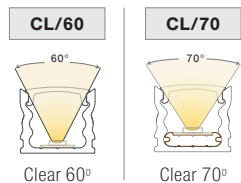


QTY:



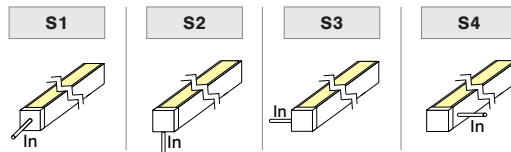
Endcap

### CUT OFF

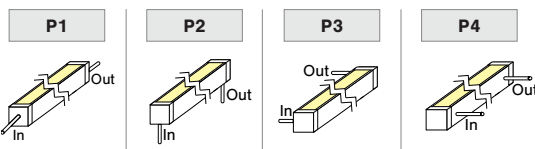


### TYPE

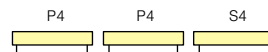
SINGLE (Input only)



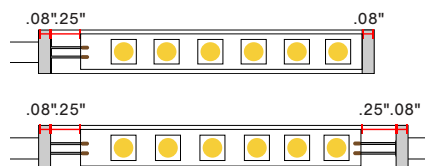
PASS THROUGH (Input/Output)



### ORDER EXAMPLE



LENGTH (IN) : Add to nominal LED length for fixture length



$$\begin{aligned} &\text{Endcap\#1} \\ &\text{Endcap\#2} \\ &\text{Space to solder wire} \\ &\text{S1 } .08" + .08" + .25" = .41" \\ &\text{P1 } .08" + .08" + 2x(.25") = .66" \end{aligned}$$

PROJECT NAME	DATE	COMPANY	TYPE	NOTE

SW24/4.0

STRIP - STATIC WHITE

TYPE JAAS-33

or 42  
PILLARS



V/WATTS	RATED	CCT - LUMENS/CRI	<sup>2</sup> CONNECTOR/ WIRE IN	<sup>2</sup> CONNECTOR/ WIRE OUT	ILLUMINATED LENGTH (IN)
<b>SW24/4.0</b> Voltage: 24 VDC Wattage: 4.0 W/ft	WET	30	BW	BW	33 or 42
	DRY	<b>20</b> - 2000K 309/93 <b>22</b> - 2200K 314/96 <b>24</b> - 2400K 306/95 <b>27</b> - 2700K 349/98 <b>30</b> - 3000K 373/98 <b>35</b> - 3500K 389/98 <b>40</b> - 4000K 369/96	<sup>1</sup> BW BRL CLS	CLS <sup>1</sup> BW BRL	<b>1"-288"</b> OR <b><sup>2</sup>MATCH</b> 1" increments Matches EXT length ordered
	DMP	<b>24</b> - 2400K 284/94 <b>27</b> - 2700K 276/97 <b>30</b> - 3000K ***/** <b>35</b> - 3500K ***/** <b>40</b> - 4000K 324/95	<sup>1</sup> BW BRL	CLS <sup>1</sup> BW BRL	<b>1"-180"</b> OR <b><sup>2</sup>MATCH</b> 1" increments Matches EXT length ordered
	<sup>3</sup> ENC				<b><sup>2</sup>MATCH</b> Matches EXT length ordered
	WET	<b>20</b> - 2000K 260/94 <b>22</b> - 2200K ***/** <b>24</b> - 2400K 282/96 <b>27</b> - 2700K 285/95 <b>30</b> - 3000K 299/96 <b>35</b> - 3500K 323/96 <b>40</b> - 4000K 337/96	<sup>1</sup> BW BRL	CLS <sup>1</sup> BW BRL	<b>1"-288"</b> OR <b><sup>2</sup>MATCH</b> 1" increments Matches EXT length ordered

ENC RATED STRIP ARE NOT FIELD CUTTABLE

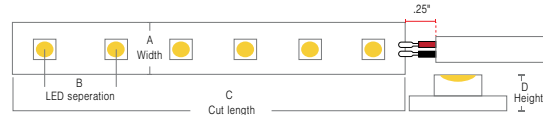
- NOTES:**
- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null and void
  - All data has +/- 5% tolerance
  - 5 year warranty
  - NRTL Listed for install in Storage Areas with Clothing, NEC Field 410.2 and 410.16 when assembled as a fixture, at Q-Tran facility (Not applicable for encapsulation)
  - Title 24 - JAAS-2016 Strips: Dry rated, 2200K and above
- 1** BW comes in standard 24"- request custom length (Max 120") by writing it in inches next to "BW" in the order code box (ex. BW48)
- 2** Wire orientation for MATCH will be dictated by extrusion Feed In/Feed Out selection
- 3** Connector/Wire In or Out not needed to specify product. Standard configuration is BW for Wire In and CLS for Wire out
- 3** If ordering an encapsulated extrusion, ENC (Encapsulated in Extrusion) must be chosen for your strip

#### TECHNICAL INFORMATION [L70 = 30000 HRS]

\*Tested with SW24/4.0-DRY

CCT	Lumen/ft	CRI Ra	CRI R9	TM30 Rf	TM30 Rg
2000K	309	93	60	89	103
2200K	314	96	90	94	101
2400K	306	95	97	94	103
2700K	349	98	93	94	101
3000K	373	98	95	94	101
3500K	389	98	96	92	100
4000K	369	96	90	90	101

#### DIMENSIONS



Section (in)	DRY	DMP	WET
A	0.32"	0.32"	0.39"
B	0.16"	0.16"	0.16"
C	1.00"	1.00"	1.00"
D	0.06"	0.12"	0.21"

#### CONNECTOR/WIRE IN

<sup>1</sup> BW	BRL	CLS
Bare Wire 24"	Male Barrel 6"	Not soldered DRY ONLY

#### CONNECTOR/WIRE OUT

<sup>1</sup> BW	BRL	CLS
Bare Wire 24"	Female Barrel 6"	Not soldered

#### COMPATIBLE EXTRUSIONS

SLIM	WIDE	ROND	VEGA	TORQ	TRE3	ARKA	TELA	VEVE	FLUR	LATO	MDIN
<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET - No Lens	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input checked="" type="checkbox"/> DRY <input checked="" type="checkbox"/> DMP <input checked="" type="checkbox"/> ENC <input checked="" type="checkbox"/> WET	<input type="checkbox"/> DRY <input type="checkbox"/> DMP <input type="checkbox"/> ENC <input type="checkbox"/> WET

PROJECT NAME	DATE	COMPANY	TYPE	NOTE



# WIDE EXTRUSIONS - ALUMINUM

Model: iQA



## TYPE JCCS-LENGTHS

**CONCEALED LIGHTING -  
BEHIND VERTICAL  
TIMBERS**

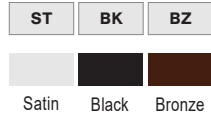


PRODUCT	FINISH	MOUNTING	LENS	TYPE	FINISHED FIXTURE LENGTH (IN)
WIDE	BK ST BK BZ	PL PL	DF CL PR DF	S1 S2 S3 S4 P1 P2 P3 P4 NI	LENGTHS 1" increments from 1" - 98.43" Tolerance +0.0"/-0.5"
				Single (Closed exit)	
				Pass through	
				Not installed (Strip not installed in factory)	

### NOTES:

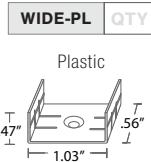
- UL Listed when assembled with STRIP LEDs at Q-Tran
- NRTL Listed for install in Storage Areas with Clothing, NEC Field 410.2 and 410.16 when assembled as a fixture, with 4.0 w/ft or less, at Q-Tran facility (Not applicable for encapsulation)
- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null and void

### FINISH

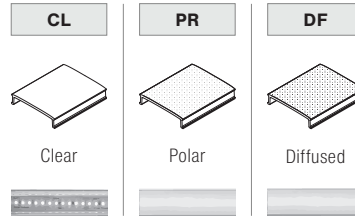


### MOUNTING

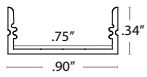
NOTE: 2 clips provided for 4' or less;  
4 clips provided for greater than 4'



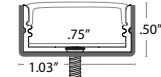
### LENS with LED visibility



### DIMENSIONS



Profile



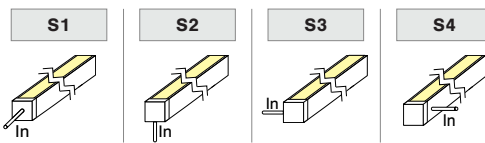
Profile with Plastic Mounting Clip

### END CAPS

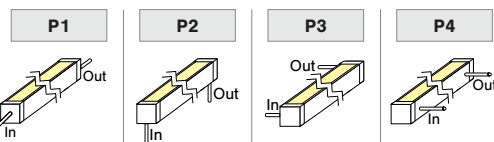


### TYPE

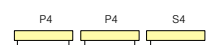
SINGLE (Input only)



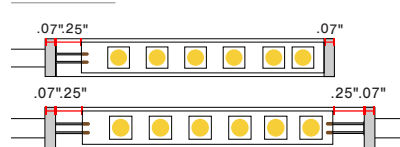
PASS THROUGH (Input/Output)



ORDER EXAMPLE



LENGTH (IN) : Add to nominal LED length for fixture length



$$\begin{aligned} \text{S1} &= .07" + .07" + .25" = .39" \\ \text{P1} &= .07" + .07" + 2(.25") = .64" \end{aligned}$$

### CUT OFF



Clear 97°

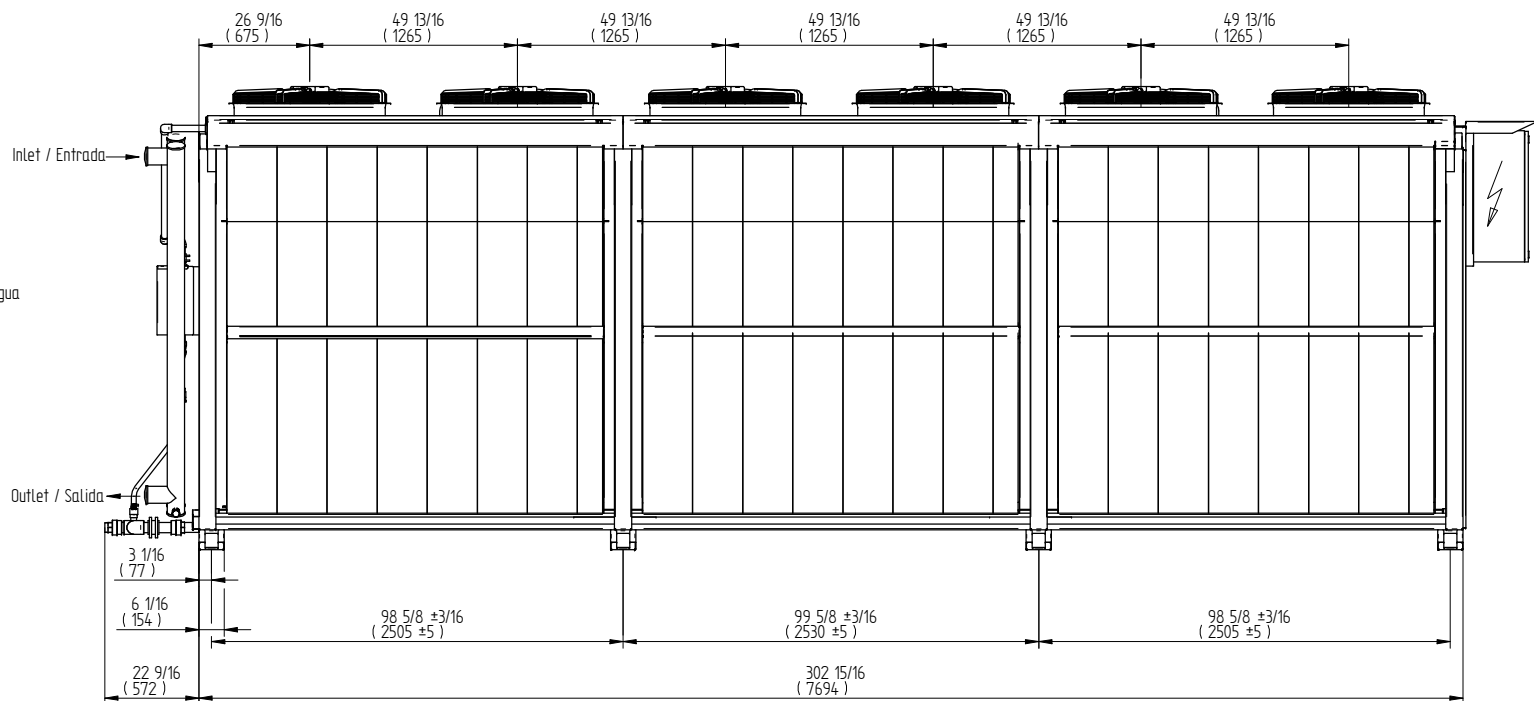
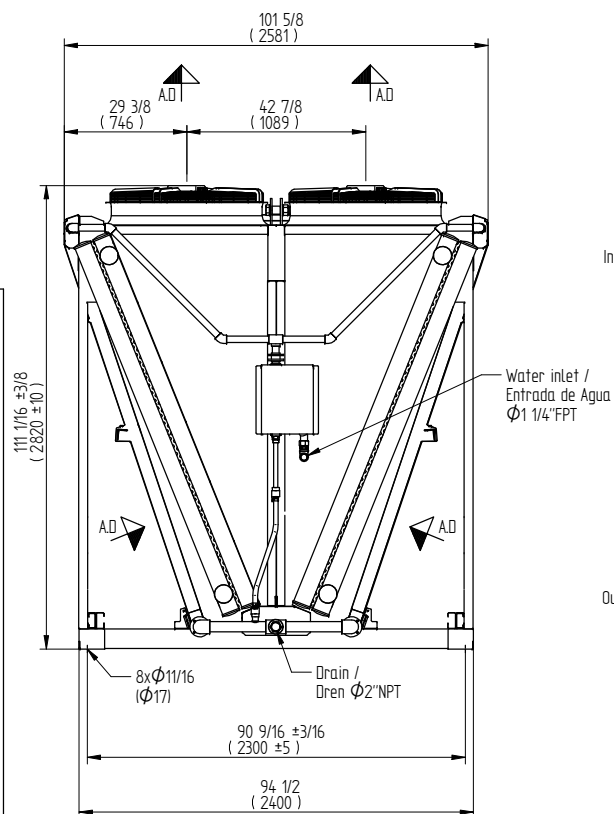
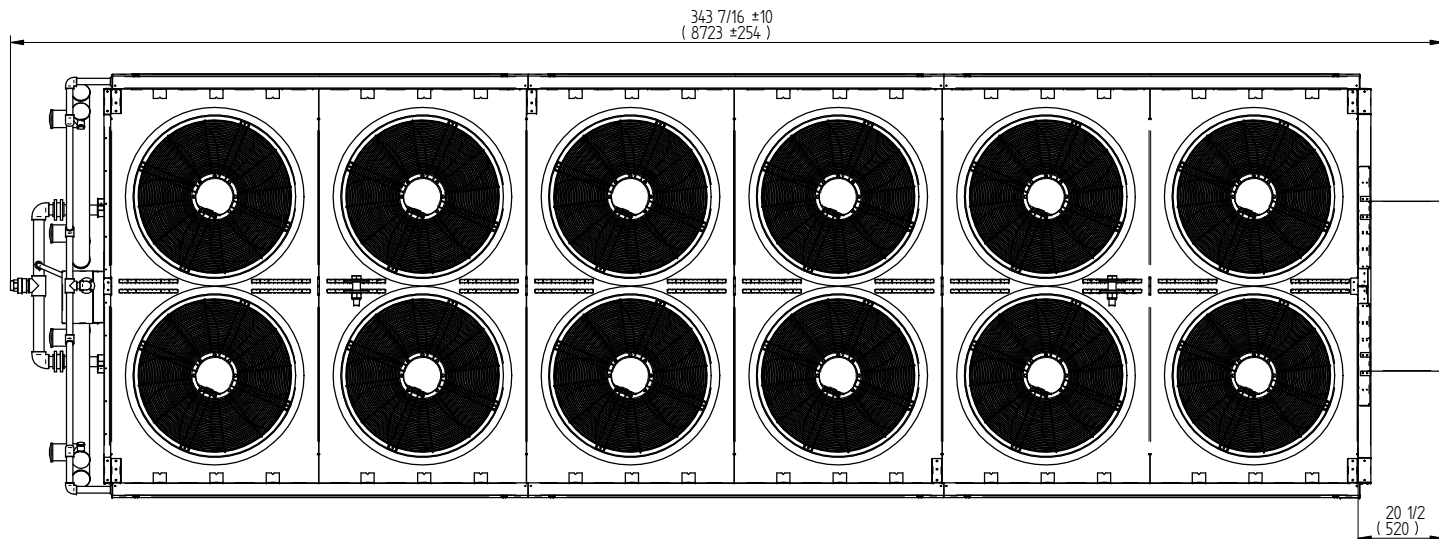
### COMPATIBLE LEDs

STATIC WHITE (SW)				DYNAMIC WHITE (DW)				STATIC COLOR (SC)				RGB				RGBW			
DRY	DMP	WET	ENC	DRY	DMP	WET	ENC	DRY	DMP	WET	ENC	DRY	DMP	WET	ENC	DRY	DMP	WET	ENC
✓	✓	✓	✗	✓	✓	✓	✗	✓	✓	✓	✗	✓	✗	✗	✗	✓	✓	✓	✗

✓ = Compatible  
✗ = NOT Compatible

PROJECT NAME	DATE	COMPANY	TYPE	NOTE

# ROOFTOP COOLING TOWER



NOTES:  
Preliminary drawing. Do not use for construction.  
Coil inlet and outlet details and quantities often vary from the sample shown above

Guenther U.S. Ref. #:		Dimensions in inches (mm)				scale	1:23	sheet	1/1	size	DIN A
						material					
						weight [kg]					
						notice	12-fan hydroBLU Adiabatic				
						type	GFDA 090.1../2x6..				
						name	Cooler / Condenser				
						Baan-No.					
revision				date	name	drawing number	300-0000645180	index			
 Güntner U.S. LLC 110 W. Hillcrest Blvd. Suite 105 Schaumburg, IL 60196 USA Tel. +1 847 781 0900 www.guentnerus.com				drawn:	17.03.2017	valero	customer	45			
				certified:	18.05.2017	delgado	project/ quantity				
							order/ position				



Guenther U.S. LLC  
110 W. Hillcrest Blvd. Suite 105  
Schaumburg, IL 60195  
USA  
Tel. +1 847 781 0900  
www.guentherus.com

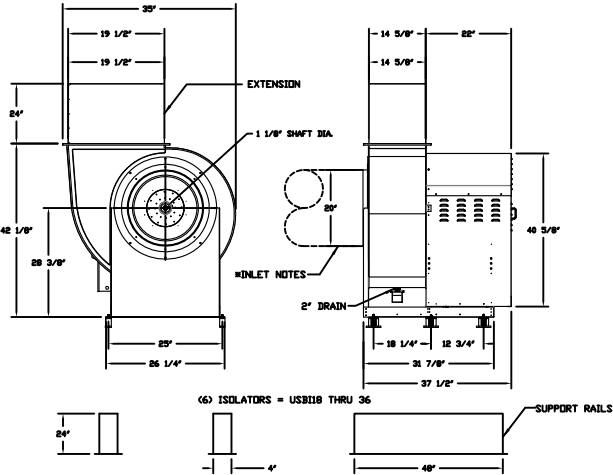
drawn: 17.03.2017  
valero  
certified: 18.05.2017  
delgado

name  
customer  
project/ quantity  
order/ position

45

ROOFTOP EXHAUST FANS

FAN #3 USB1802-NH - EXHAUST FAN OKEF-2D



NORMAL TEMPERATURE TEST DIRECT DRIVE EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 350°F (176°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DEGRADING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

INLET NOTES: LENGTH OF THE STRAIGHT DUCT ON THE INLET TO BE 3 TIMES THE EQUIVALENT DUCT DIAMETER BEFORE CONNECTING TO ANY FITTINGS SUCH AS ELBOWS TO AVOID SYSTEM EFFECT.

- FEATURES:**
- ROOF MOUNTED FANS
  - UL705
  - UL782 AND UL-C-8445 (RESTAURANT MODEL)
  - HIGH HEAT OPERATION DIRECT DRIVE 350°F (176°C)
  - HIGH HEAT OPERATION BELT DRIVE 350°F (176°C)
  - HEAT SLINGER
  - WEATHERPROOF DISCONNECT
  - GREASE CLASSIFICATION TESTING
  - 2" DRAIN
  - MOTOR WEATHER COVER
  - FULLY SEALED SCROLL HOUSING
  - SCROLL ACCESS DOOR
  - FLANGE 1 1/4" - 11 THRU 20.
  - FLANGE 2" - 24 THRU 36.

**OPTIONS:**

ISOB - INLET SERVICE DUCT CONNECTION. USED TO CONNECT TO STANDARD 8" GREASE DUCT OR FIELD WELDED DUCT. INCLUDES (2) 7" RISERS WELDED TO STANDARD INLET RISER.

UTILITY SET GREASE CUP.

ISOB - 24" DISCHARGE EXTENSION.

BE - DISCHARGE ORIENTATION VERTICAL.

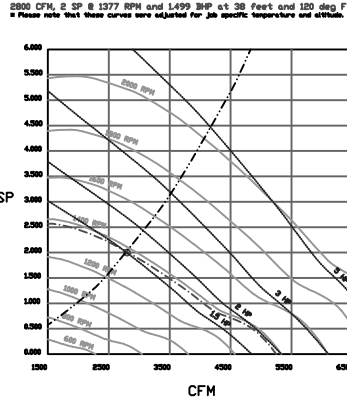
UPPER LEFT - CV INLET SIDE.

ISOB - INLET CONNECTION STANDARD 8" FLANGED GREASE DUCT.

FULL ORATING FOR EXHAUST FANS.

UTILITY SET - SPRING VIBRATION ISOLATORS - ISOB / EQUIVALENT SIZED UTILITY SET - INDOOR/OUTDOOR USE.

FAN#3 OKEF-2D - EXHAUST PERFORMANCE CURVES.



Typical 2 fans (Dimensions not final). Final selections to be confirmed with kitchen fit out

REVISIONS	
NO.	DATE

**CAPTIVE**

NH / VT Mechanical

60 Penhallow Portsmouth, NH  
PORTSMOUTH, NH, 03803

DATE: 3/27/2020  
DWG.#: 4306966  
DRAWN BY: KCD-111  
SCALE: 3/4" = 1'-0"  
MASTER DRAWING

SHEET NO. 6

# ENERVEX® GSV 009-016 PIZZA OVEN FAN

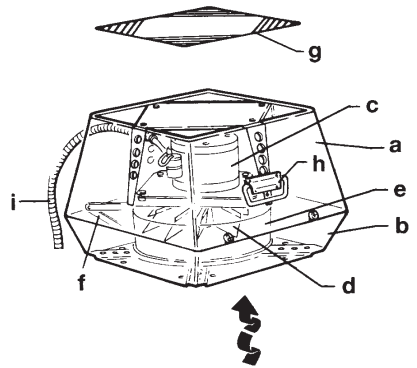
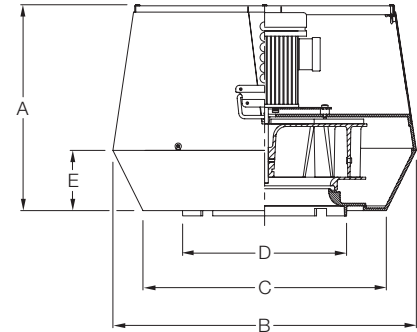
VENT STACK FAN-CAP

3922001 03.16

Product Information

## Specifications

Model			GSV 009	GSV 012	GSV 014	GSV 016
Discharge			Vertical			
Fan Type			Axial Vane			
Max. Discharge Velocity	FPM		2351	2592	2593	2169
Actual Discharge Velocity	FPM		5.9xCFM	2.9xCFM	1.9xCFM	1.2xCFM
Voltage	V AC		1x120			
RPM			1600			
Amps	A		0.5	1.4	2.9	5.8
CFM	@0.0 Ps		375	875	1550	1740
Motor Output	kW / HP		0.025 / 0.03	0.13 / 0.10	0.21 / 0.16	0.47 / 0.35
Weight	lbs / kg		28 / 12	46 / 18	60 / 26	86 / 35
Dimensions	A	in / mm	9.85 / 250	11.03 / 280	13.20 / 335	14.97 / 380
	B x B	in / mm	12.21 / 310	15.37 / 390	19.11 / 485	22.85 / 580
	C x C	in / mm	9.46 / 240	12.22 / 310	15.17 / 385	18.32 / 465
	D	in / mm	8.63 / 219	10.72 / 272	13.04 / 331	14.26 / 362
	E	in / mm	2.76 / 70	3.15 / 80	3.94 / 100	4.53 / 115
Soft Start Required			No	No	No	No
Variable Speed Motor			Yes	Yes	Yes	Yes
Temperature Rating			575°F/300°C			

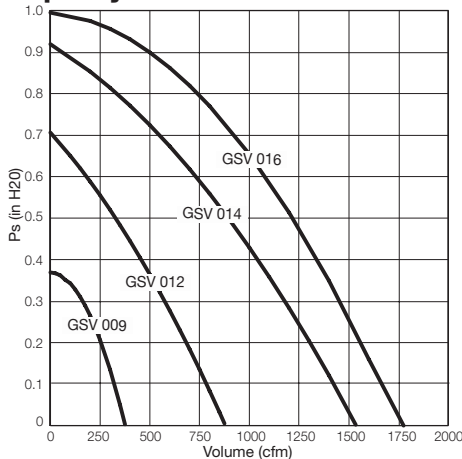


## Sound Diagram

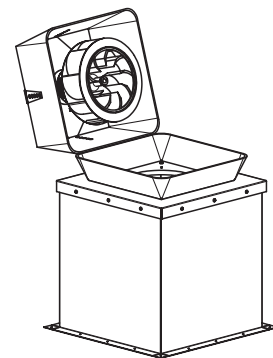
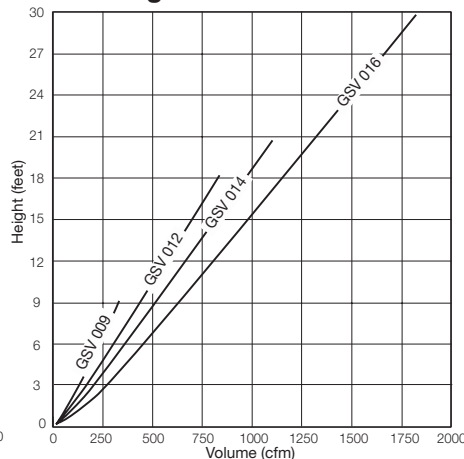
Model	Lw dB (measured in accordance with ISO 3744)							Lp dB(A)
	125Hz	250Hz	500Hz	1000Hz	2000Hz	4000Hz	8000Hz	
GSV 009	57	55	54	49	40	35	26	26
GSV 012	64	62	61	55	51	46	40	33
GSV 014	71	70	68	61	56	44	44	40
GSV 016	76	76	70	65	60	49	49	44

- a Top Section
- b Bottom Section
- c Motor
- d Axial Vane
- e Inlet for Impeller
- f Locking Hinge
- g Wiring Conduit
- h Handle

## Capacity



## Plume Height



Hinged housing

ENERVEX Inc.  
1685 Bluegrass Lakes Parkway  
Alpharetta, GA 30004  
USA

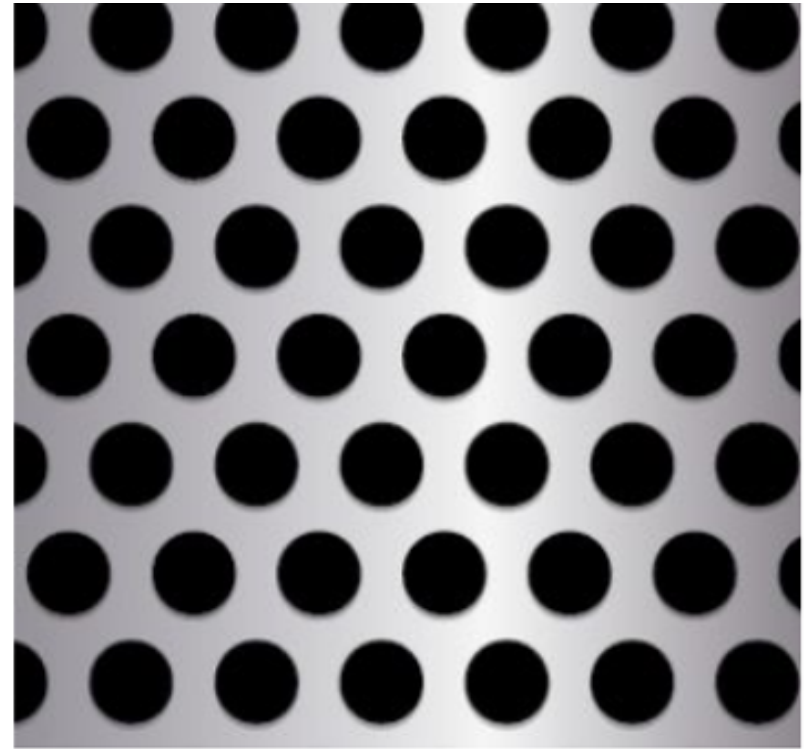
P: 770.587.3238  
F: 770.587.4731  
T: 800.255.2923  
info@enervex.com  
www.enervex.com

**ENERVEX®**  
VENTING DESIGN SOLUTIONS



**ZAHNER®**

**STAR BLUE™**  
PATINATED COPPER



.500" Dia. X .750" Centers

**40%** Open Area



DWG

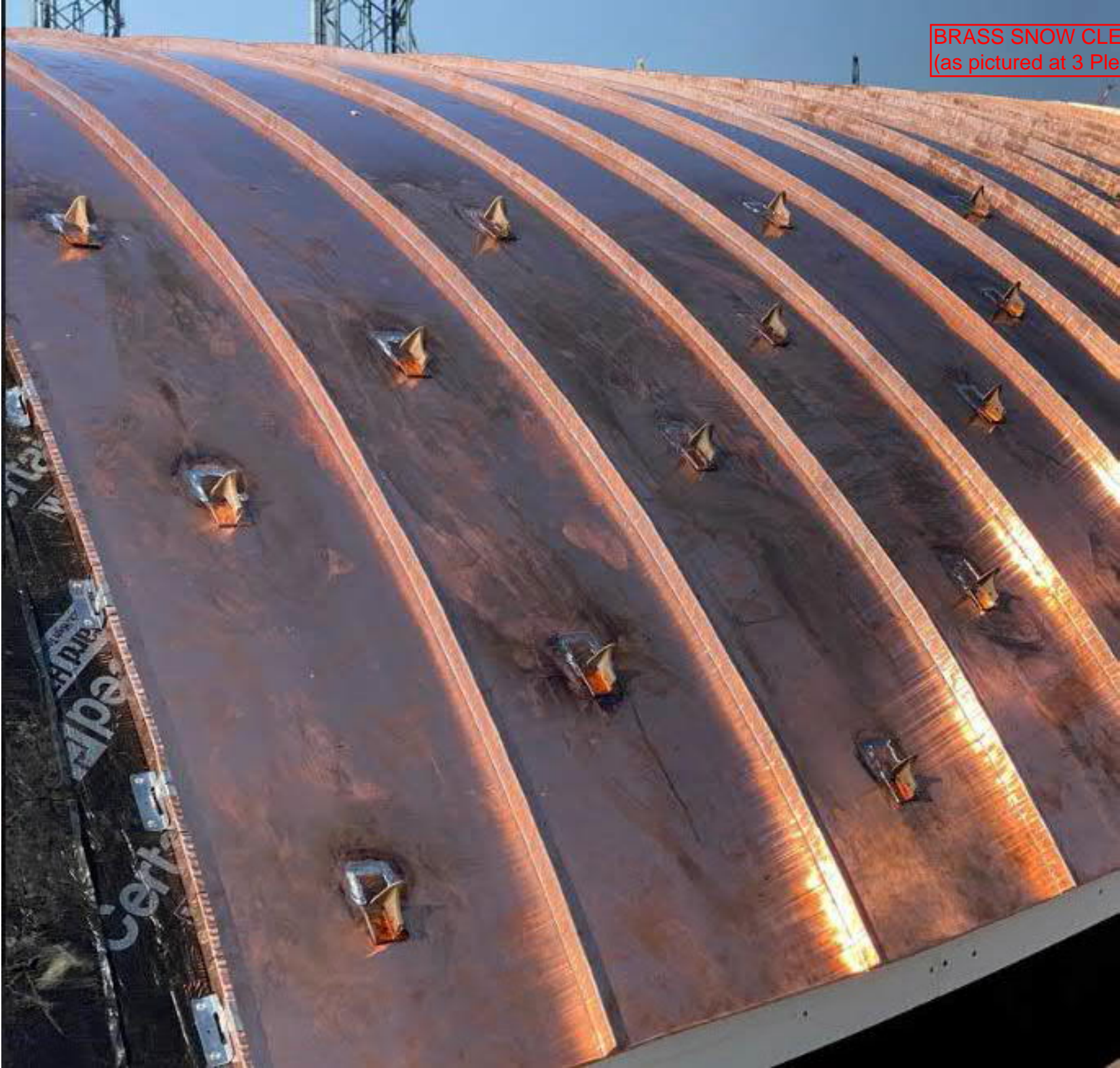


DYE



PDF

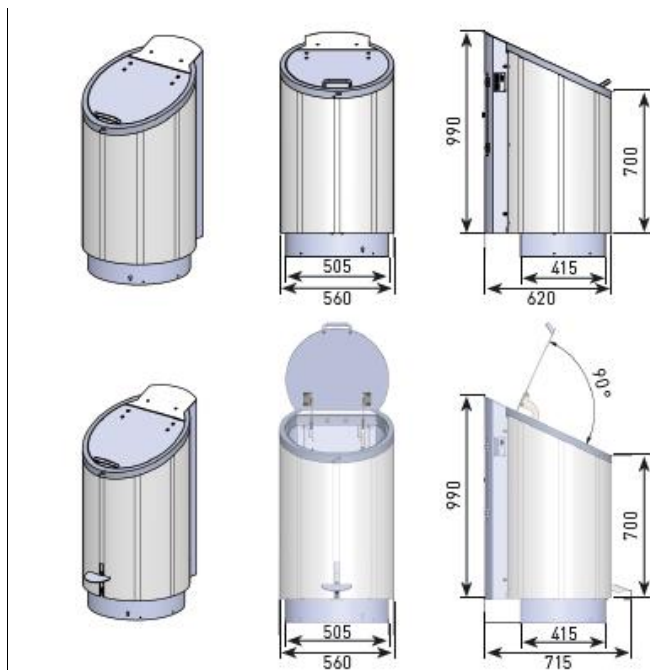
BRASS SNOW CLEATS  
(as pictured at 3 Pleasant St.)



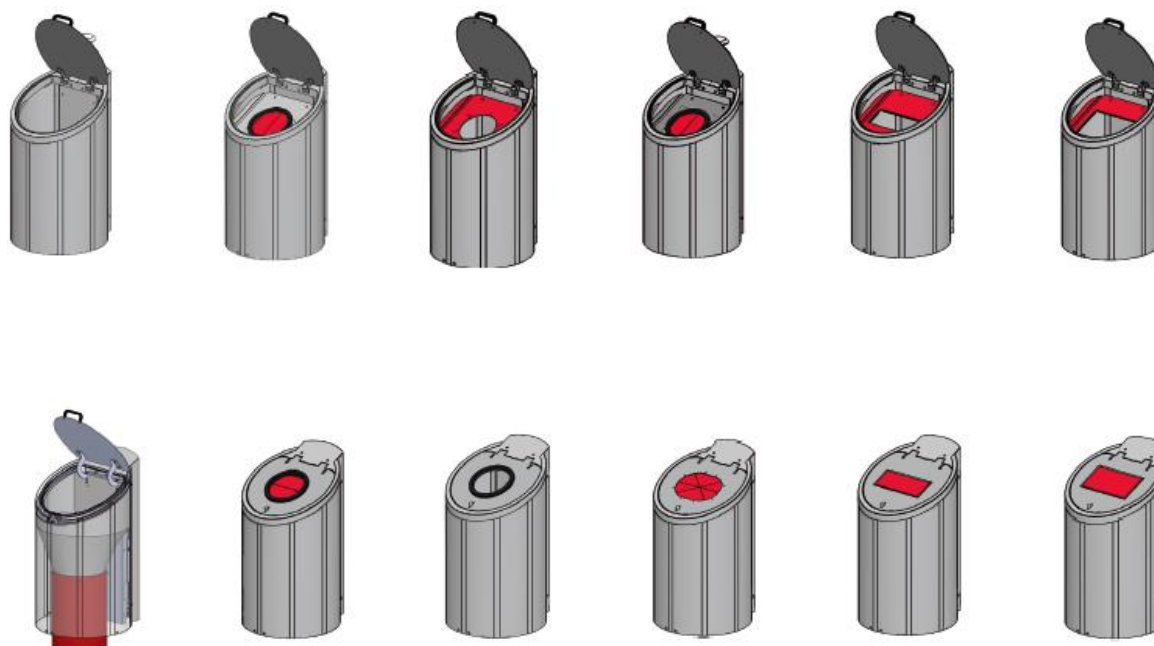
# Technical Information

## Baléro Throw in column

### Baléro 120 with Lid Insertion



- Alu lid with a gaz cylinder and manual handle (optional pedal available)
- Lid Ø 500 mm
- Stainless steel covering
- Alu ring + lid are painted (RAL of choice)



TRASH CHUTES



## 2. 25 Maplewood Avenue - Recommended Approval

**Background:** The applicant is seeking approval for a rooftop safety railing surrounding a generator, the generator has been rotated 90 degrees).

**Staff Comment:** Recommended Approval

### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work  
Session or Administrative Approval  
Application****LUHD-204****Status:** Active**Submitted:** Sep 30, 2020**Applicant**

Shayne Forsley



603-997-2519



shayne.forsley@hdcgc.net

**Location**25 MAPLEWOOD AVE  
Portsmouth, NH 03801**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Rooftop generator safety railing installed at 25 Maplewood Ave. building. Also generator was rotated 90 degrees to accommodate sound proof enclosure adjacent to elevator shaft.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****City/Town**

Exeter

**Mailing Address (Street)**

41 Industrial Drive Suite 20

**Business Name (if applicable)**

Hampshire Development Corp.

**State**

NH

**Full Name (First and Last)**

Steve Wilson

**Email Address**

hdc.office@hdcgc.net

**Phone**

603-778-9999

**Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Zip Code**

03833

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.



25 MAPLEWOOD AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

APPROVED HANOVER STREET ELEVATION (NORTH)

HDC AMENDED APPROVAL CONFORMED SET 9/6/17 AND 5/2/18



233 VAUGHAN ST, SUITE 101  
PORTSMOUTH, NH 03801  
(603) 431-2808  
[www.cjarchitects.net](http://www.cjarchitects.net)

1.0



25 MAPLEWOOD AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

APPROVED MAPLEWOOD AVENUE ELEVATION  
(WEST)  
HDC AMENDED APPROVAL CONFORMED SET 9/6/17 AND 5/2/18



233 VAUGHAN ST, SUITE 101  
PORTSMOUTH, NH 03801  
(603) 431-2808  
[www.cjarchitects.net](http://www.cjarchitects.net)

1.1



25 MAPLEWOOD AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

APPROVED PARKING ELEVATION  
(SOUTH)

HDC AMENDED APPROVAL CONFORMED SET 9/6/17 AND 5/2/18



233 VAUGHAN ST, SUITE 101  
PORTSMOUTH, NH 03801  
(603) 431-2808  
[www.cjarchitects.net](http://www.cjarchitects.net)

1.2



25 MAPLEWOOD AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

APPROVED ACCESS ELEVATION  
(EAST)

HDC AMENDED APPROVAL CONFORMED SET 9/6/17 AND 5/2/18



233 VAUGHAN ST, SUITE 101  
PORTSMOUTH, NH 03801  
(603) 431-2808  
[www.cjarchitects.net](http://www.cjarchitects.net)

1.3



25 MAPLEWOOD AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

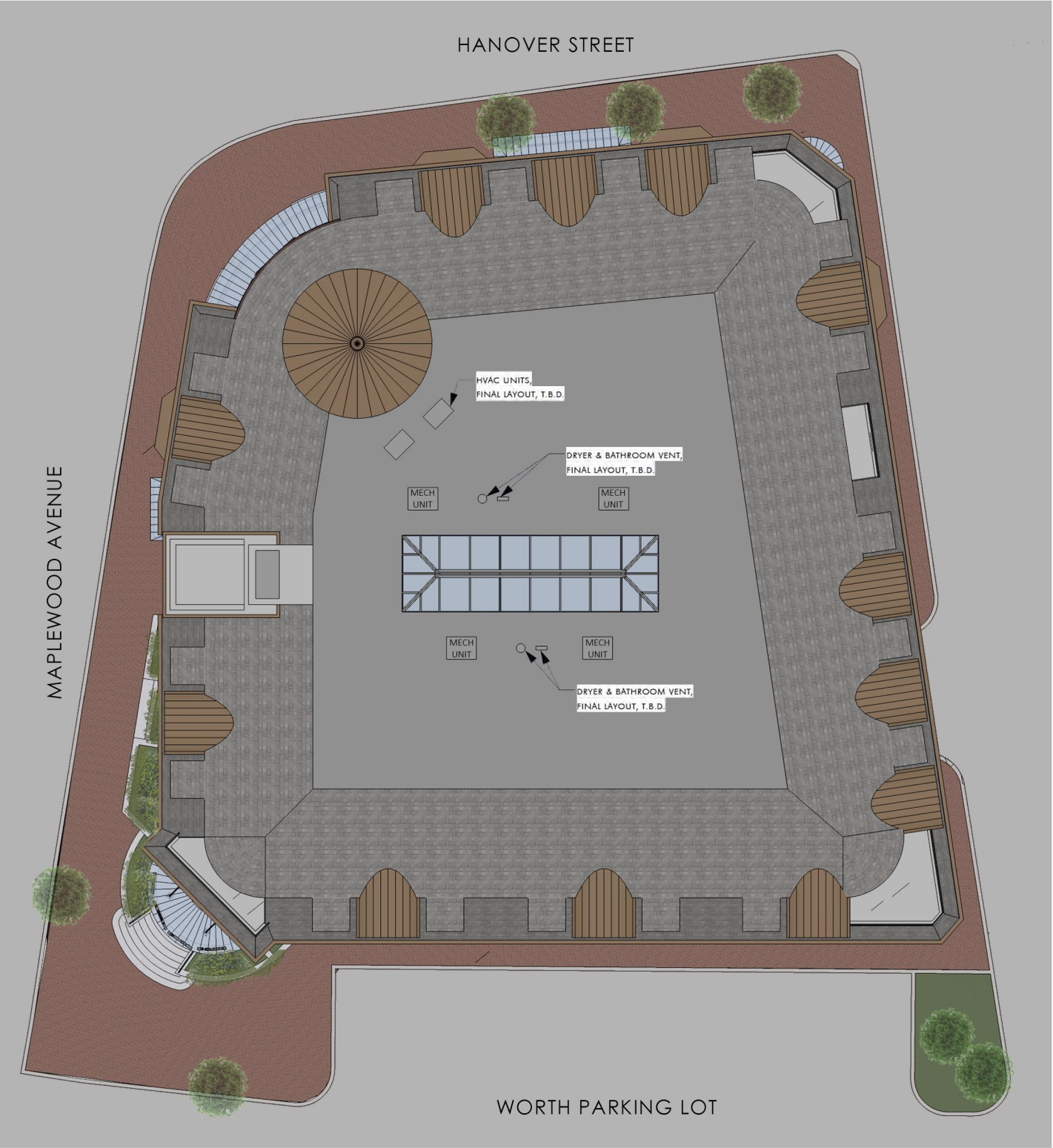
APPROVED CORNER ELEVATIONS

HDC AMENDED APPROVAL CONFORMED SET 9/6/17 AND 5/2/18



233 VAUGHAN ST, SUITE 101  
PORTSMOUTH, NH 03801  
(603) 431-2808  
[www.cjarchitects.net](http://www.cjarchitects.net)

1.4



25 MAPLEWOOD AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

APPROVED ROOF PLAN

HDC AMENDED APPROVAL CONFORMED SET 9/6/17 AND 5/2/18



233 VAUGHAN ST, SUITE 101  
PORTSMOUTH, NH 03801  
(603) 431-2808  
[www.cjarchitects.net](http://www.cjarchitects.net)

2.0



Rooftop generator with safety railing installed











### 3. 410-430 Islington Street - Recommended Approval

**Background:** The applicant is seeking approval for changes to a previously approved design:

- 428/430: Siding at basement level garage doors
- 428/430: Entry stairs from Islington Street
- 422/424: HVAC unit locations
- SITE: Retaining wall fencing

**Staff Comment:** Recommended Approval

#### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work  
Session or Administrative Approval  
Application**

**LUHD-207**

**Status:** Active

**Submitted:** Sep 30, 2020

**Applicant**



Danielle Cain



603-501-0202



dcain@marketsquarearchitects.com

**Location**

430 ISLINGTON ST  
Portsmouth, NH 03801

---

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

---

**Project Information**

**Brief Description of Proposed Work**

- 428/430: SIDING AT BASEMENT LEVEL GARAGE DOORS
- 428/430: ENTRY STAIRS FROM ISLINGTON STREET
- 422/424: HVAC UNIT LOCATIONS
- SITE: RETAINING WALL FENCING

**Description of Proposed Work (Planning Staff)**

--

---

**Project Representatives**

---

**Acknowledgement**

I certify that the information given is true and correct to the best  
of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

By checking this box, I agree that this is equivalent to a  
handwritten signature and is binding for all purposes related to  
this transaction

true

If you selected "Other" above, please explain your relationship  
to this project. Owner authorization is required.

Architect

---

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

**HDC Certificate of Approval Granted**

--

**HDC Approval Date**

--

**Planning Staff Comments**

--

---

**INTERNAL USE ONLY -- Letter of Decision Information**

# ISLINGTON COMMONS

HISTORIC DISTRICT COMMISSION, OCTOBER 2020



#410

#412

#430

**GENERAL PROJECT DESCRIPTION:**  
THIS PROJECT CONSISTS OF THREE PARCELS LOCATED AT 410, 420 AND 430 ISLINGTON STREET. THE LOTS CURRENTLY CONTAIN A TOTAL OF 7 EXISTING DWELLING UNITS. THE LOT LINES SHALL BE ADJUSTED TO ACCOMMODATE THE RENOVATION OF EACH EXISTING BUILDING SUCH THAT, THE NUMBER OF EXISTING UNITS WILL BE REDUCED TO FOUR (4) AND SEVEN (7) NEW DWELLING UNITS WILL BE ADDED. THE RESULT WILL BE A TOTAL OF 11 DWELLING UNITS ON THE SITE. THE FOLLOWING IS INCLUDED IN THIS PACKAGE:

- 428/430: SIDING AT BASEMENT LEVEL GARAGE DOORS
  - 428/430: ENTRY STAIRS FROM ISLINGTON STREET
  - 422/424: HVAC UNIT LOCATIONS
  - SITE: RETAINING WALL FENCING
- CURRENT SCOPE

**ZONING SUMMARY:**

ZONING DISTRICT: CD4-L2

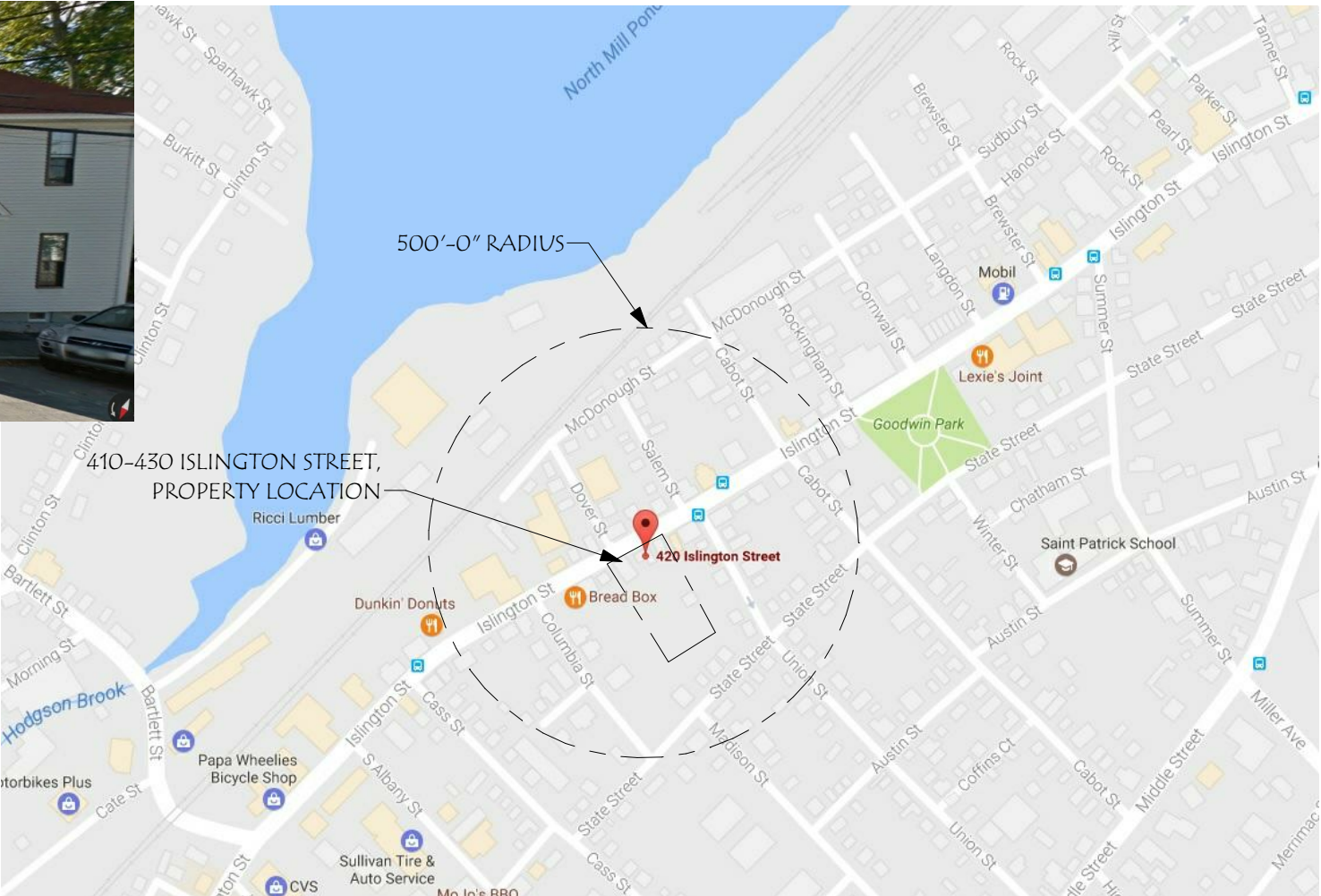
LOT SIZE: 40,075 SF

REQUIRED LOT AREA PER DWELLING UNIT: 3,000 SF

BUILDING HEIGHT: 35'-0" MAX

GROUND FLOOR ABOVE SIDEWALK: 3'-0" MAX

MIN GROUND STORY HEIGHT: 11'-0"



410 ISLINGTON STREET

412 ISLINGTON STREET

428/430 ISLINGTON STREET



Revisions:	Description	Date
#		

SCALE:	SNH	RJH
DRAWN BY:		
CHECKED BY:		
PROJECT NO.:	207008	
DATE:	09/30/20	

TITLE: COVER	1
--------------	---

AREA OF ALTERATION NOTES:  
◊ SIDING TO DROP AT SOUTH ELEVATION OF 428/430 AT GARAGE LEVEL



428/430 SOUTH ELEVATION- PROPOSED



428/430 SOUTH ELEVATION PREVIOUSLY APPROVED

Revisions: #	Description	Date

SCALE:	SNH
DRAWN BY:	RJH
CHECKED BY:	207008
PROJECT NO.:	09/30/20
DATE:	9/30/2020 1:21:46 PM

TITLE: 428/430 SIDING	2
--------------------------	---



EXISTING TREADS AND RISERS TO BE REWORKED DIMENSIONALLY

REMOVE GRANITE TREAD

ASPALT HAUNCH REMOVED

IMAGE OF ORIGINAL ENTRY STAIRS



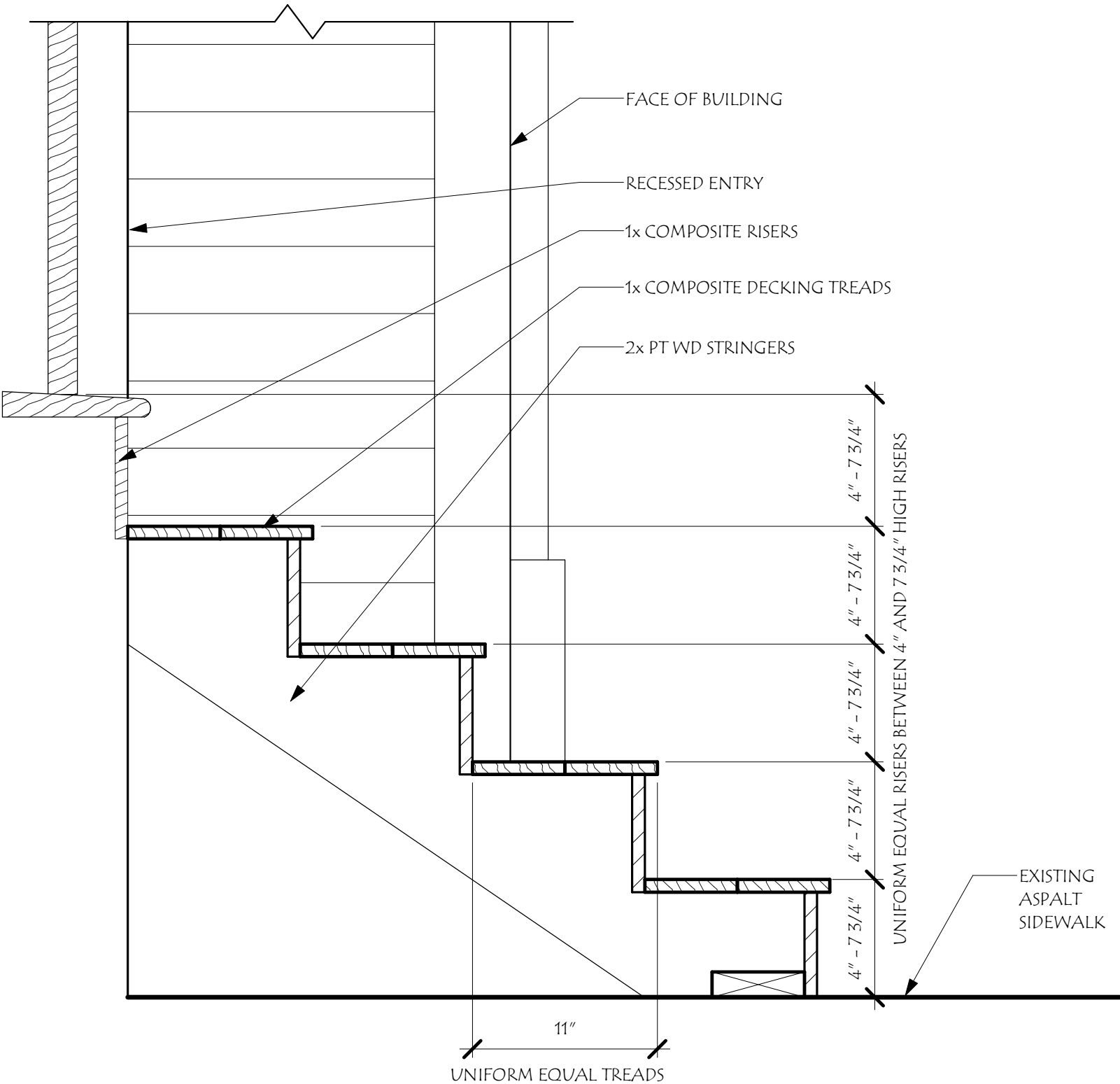
ALIGN EDGE OF TRIM OVER CARRIAGE WITH EDGE OF PILASTER DETAIL

1X COMPOSITE TREADS

1X COMPOSITE RISERS

1X COMPOSITE PANEL

IMAGE OF TEMPORARY CONSTRUCTION STAIRS



1 ENTRY STAIR DETAIL

1 1/2" = 1'-0"

ISLINGTON COMMONS

410-430 ISLINGTON STREET  
PORTSMOUTH, NH 03801

Revisions:	Description	Date
#		

SCALE:	1 1/2" = 1'-0"
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	207008
DATE:	09/30/20

TITLE:	430 FRONT ENTRY
	3

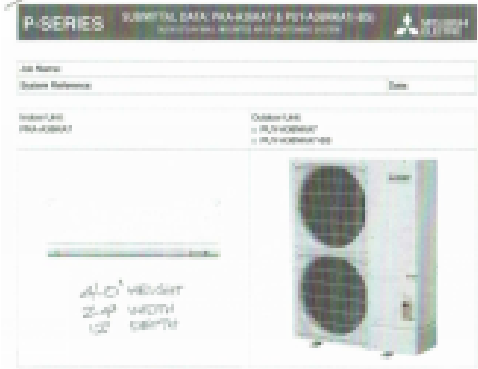


**Essential Collection  
One-Light Small Wall  
Lantern**

by Progress Lighting  
Collection Name: Essential  
Catalog ID: PRC099-01

Outdoor one-light small wall lantern with a white  
linen glass shade in a black finish.  
1-LT Small Wall Lantern (5 in) White Linen glass  
shade.  
• Black finish.  
• White linen glass.  
• Powdercoat finish.  
3 7/8 in X 8 1/2 in X 6 1/2 in

**LIGHT FIXTURE "B" AT 422/424 & 426  
PREVIOUSLY APPROVED**



**MECHANICAL UNITS-  
PREVIOUSLY APPROVED**

**NOTE:**  
PREVIOUSLY APPROVED MECHANICAL UNITS  
PROPOSED TO BE WALL MOUNTED INSTEAD  
OF PLACED ON GRADE



**WALL MOUNTED HVAC EQUIPMENT-  
SIMILAR INSTALLATION**



**EAST ELEVATION**



**WEST ELEVATION**

**NOTE:**  
WATER TABLE IS ADJUSTED TO ACCOMMODATE STRUCTURAL REQUIREMENTS OF  
THE PORCHES

422/424 WEST ELEVATION - PREVIOUSLY APPROVED

**ISLINGTON COMMONS**

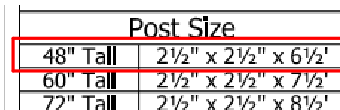
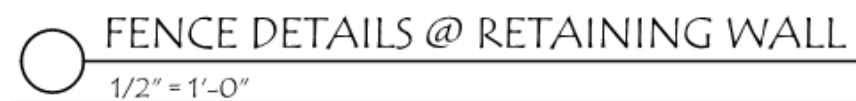
410-430 ISLINGTON STREET  
PORTSMOUTH, NH 03801

Revisions: #	Description	Date

SCALE:	SNH
DRAWN BY:	RJH
CHECKED BY:	207008
PROJECT NO.:	09/30/20
DATE:	9/30/2020 1:21:47 PM

TITLE: 422/424 HVAC UNITS- PREVIOUSLY APPROVED	4
---	---





FENCE DETAIL @ RETAINING WALL- PROPOSED

HISTORIC  
DISTRICT  
COMMISSION  
ADMINISTRATIVE  
APPROVAL  
OCTOBER 2020

---

---

ISLINGTON COMMONS

410-430 ISLINGTON STREET  
PORTSMOUTH, NH 03801

[illegible]

SCALE:	
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	2017008
DATE:	09/30/20

TITLE: FENCING CUT SHEETS

6

#### 4. 388 State Street

#### - Recommended Approval

**Background:** The applicant is seeking approval to add aluminum K-style gutters on two sides of exterior covered stairs at the rear of the building.

**Staff Comment:** Recommended Approval

#### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work  
Session or Administrative Approval  
Application**

**LUHD-209**

**Status:** Active

**Submitted:** Oct 05, 2020

**Applicant**



skye maher



603-498-6799



skyemaher@gmail.com

**Location**

388 STATE ST  
Portsmouth, NH 03801

---

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

---

**Project Information**

**Brief Description of Proposed Work**

We would like to install aluminum gutters to two sides of a roof that covers the exterior stairs on the rear of the building. Those edges both drip onto a walkway and steps creating icy surfaces in the winter months.

One gutter (Chestnut Street side) can be drained to an adjacent roof that is already guttered. No additional downspout needed. The opposite side will require a downspout. I believe it can be tucked behind the vertical post from the gutter to the parking lot surface.

The aluminum gutter can be painted to match the building trim.

**Description of Proposed Work (Planning Staff)**

--

---

**Project Representatives**

---

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am  
Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

---

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

**HDC Certificate of Approval Granted**

--

**HDC Approval Date**

--

**Planning Staff Comments**

--





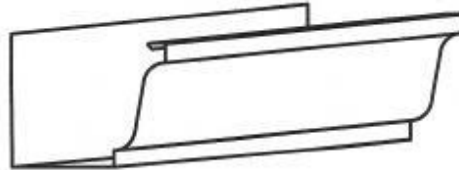


# K-STYLE GUTTER + ACCESSORIES

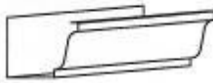
STAMPED HIDDEN HANGERS



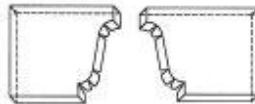
GUTTER SUPPORT BRACKETS



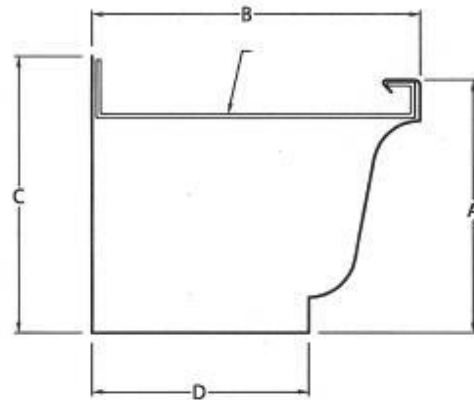
SPLICE PLATES



END CAPS



INTERNAL SPLICE PLATE



SIZE:	A	B	C	D
<input type="checkbox"/> 5"	3 <sup>11</sup> / <sub>32</sub> "	5"	3 <sup>11</sup> / <sub>32</sub> "	3 <sup>1</sup> / <sub>4</sub> "
<input type="checkbox"/> 6"	4 <sup>1</sup> / <sub>2</sub> "	6"	5"	3 <sup>3</sup> / <sub>4</sub> "
<input type="checkbox"/> 7"	5 <sup>1</sup> / <sub>2</sub> "	7"	5 <sup>1</sup> / <sub>2</sub> "	4 <sup>1</sup> / <sub>2</sub> "
<input type="checkbox"/> 8"	6"	8"	6 <sup>1</sup> / <sub>2</sub> "	5 <sup>1</sup> / <sub>2</sub> "
<input type="checkbox"/> 9"	7 <sup>1</sup> / <sub>2</sub> "	9"	8"	6 <sup>1</sup> / <sub>2</sub> "
<input type="checkbox"/> 10"	8 <sup>1</sup> / <sub>2</sub> "	10"	9"	7 <sup>1</sup> / <sub>2</sub> "
<input type="checkbox"/> 11"	9 <sup>1</sup> / <sub>2</sub> "	11"	10"	8 <sup>1</sup> / <sub>2</sub> "

## NOTES:

- ① Subject to minimum requirements
- ② Custom lengths available

COMMENTS:

## MATERIAL:

22GA STEEL	.032 ALUMINUM
24GA STEEL	.040 ALUMINUM
26GA STEEL (limited color availability)	.050 ALUMINUM
22GA STAINLESS STEEL	16OZ COPPER
24GA STAINLESS STEEL	20OZ COPPER
26GA STAINLESS STEEL	

**COLOR:** Select metal vendor  
Select Color

## QUANTITIES:

- \_\_\_\_ LINEAL FEET @ 10'-0" LENGTHS ②
- \_\_\_\_ LINEAL FEET @ 20'-0" LENGTHS ① ②
- \_\_\_\_ OUTSIDE MITERS @ 90°
- \_\_\_\_ INSIDE MITERS @ 90°
- \_\_\_\_ ENDCAPS: RIGHT \_\_\_\_ LEFT \_\_\_\_
- \_\_\_\_ SPLICE PLATES
- \_\_\_\_ EXPANSION JOINTS
- \_\_\_\_ HIDDEN HANGERS
- \_\_\_\_ GUTTER SUPPORT BRACKETS

RESET FORM SAVE FORM EMAIL FORM

5. 206 Court Street

- T.B.D.

Background: The applicant is seeking approval for changes to a previously approved design (minor changes due to construction).

Staff Comment: T.B.D.

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_




Historic District Commission Work  
Session or Administrative Approval  
Application

LUHD-210

Status: Active

Submitted: Oct 06, 2020

Applicant

 Jeremiah Johnson  
 603-430-0274  
 jeremiah@mchenryarchitecture.com

Location

206 COURT ST  
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Admin Approval request for small changes to the approved HDC design that occurred during the construction process.

Description of Proposed Work (Planning Staff)

--

Project Representatives

<b>Mailing Address (Street)</b> 4 Market Street	<b>Zip Code</b> 03801
<b>Email Address</b> jeremiah@mchenryarchitecture.com	<b>Business Name (if applicable)</b> McHenry Architecture
<b>Relationship to Project</b> Architect	<b>Phone</b> 6034300274
<b>State</b> NH	<b>City/Town</b> Portsmouth
<b>Full Name (First and Last)</b> Jeremiah Johnson	<b>If you selected "Other", please state relationship to project.</b> --

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect - authorization is on file with the city

# 206 COURT STREET - HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL

NOVEMBER 2020, PORTSMOUTH, NEW HAMPSHIRE

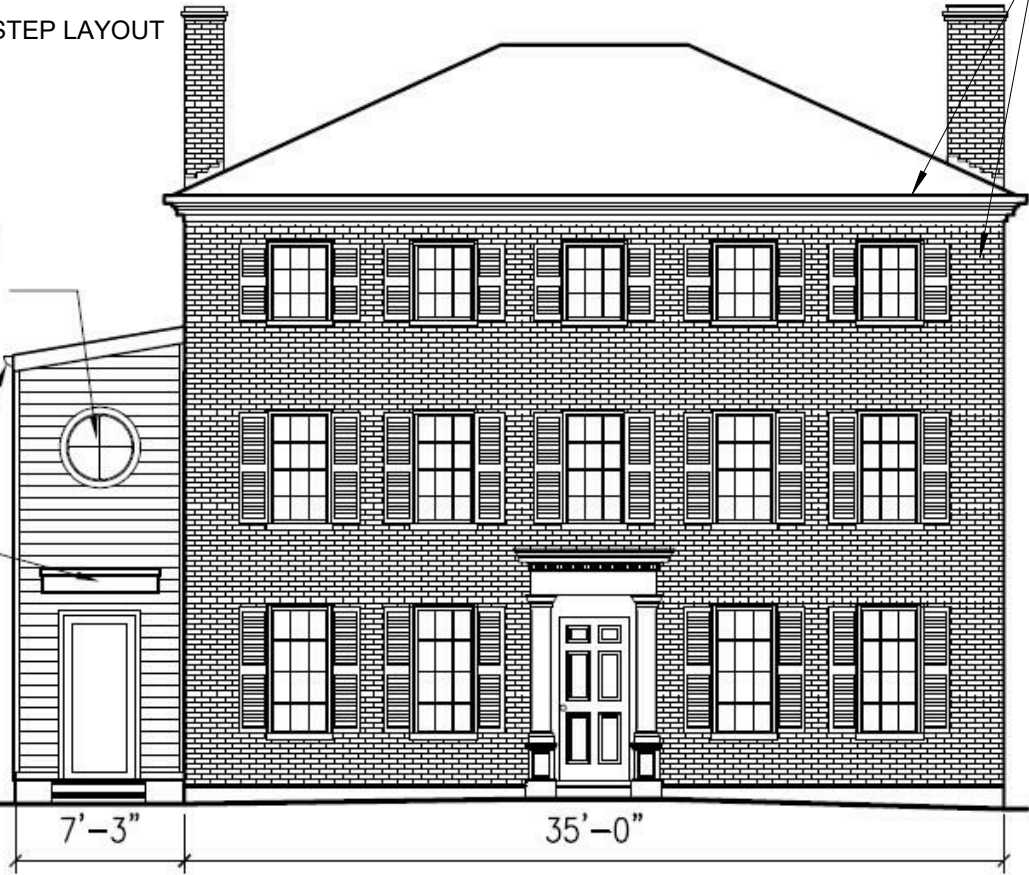
THE ITEMS ON THE FOLLOWING SHEETS CORRELATE TO A LAND USE COMPLIANCE REPORT PROVIDED TO THE APPLICANT IN SEPTEMBER 2020. EACH ITEM ON THE LIST DIFFERS FROM THE ORIGINAL HDC APPROVED DRAWINGS, AND WE RESPECTFULLY REQUEST THAT YOU APPROVE THESE CHANGES AS THEY ARE CONSTRUCTED TODAY.

### REVISION KEYNOTES

- 1. REVISING TO GUTTER AND DOWNSPOUT LAYOUT AT FRONT ELEVATION
- 2. REVISING TO GUTTER AND DOWNSPOUT LAYOUT AT SIDE AND REAR ELEVATION
- 3. PARGE COAT FINISH APPLIED TO EXISTING BUILDING FACADE RATHER THAN HAVING PARTIALLY PAINTED BRICK TO REMAIN
- 4. REPLACED APPROVED MARVIN WINDOWS AT EXISTING BUILDING WITH GREEN MOUNTAIN WINDOW THAT MATCHES FRONT AND SIDE ELEVATIONS
- 5. 6/3 GREEN MOUNTAIN WINDOW INSTALLED RATHER THAN APPROVED 3/3 GREEN MOUNTAIN WINDOW
- 6. INSTALLATION OF (2) ELECTRICAL METERS
- 7. INSTALLATION OF (1) ADDITIONAL APPROVED MARVIN WINDOW
- 8. REVISED ENTRY LANDING AND STEP LAYOUT

MARVIN INTEGRITY WOOD ULTREX  
ROUND WINDOW (OR EQUAL)  
PAINTED ALUMINUM HALF  
ROUND GUTTERS AND  
DOWNSPOUTS, TO MATCH  
SIDING  
AWNING ENTRY ROOF

PROPOSED FRONT  
ELEVATION



HISTORIC DISTRICT COMMISSION APPROVED DRAWING



REVISING TO GUTTER  
AND DOWNSPOUT  
LAYOUT AT FRONT  
ELEVATION



POST CONSTRUCTION PHOTOGRAPHS

© 2020 McHenry Architecture

206 COURT STREET

PORTSMOUTH, NH

HISTORIC DISTRICT COMMISSION

ADMINISTRATIVE APPROVAL, NOVEMBER 2020

McHENRY ARCHITECTURE

4 Market Street

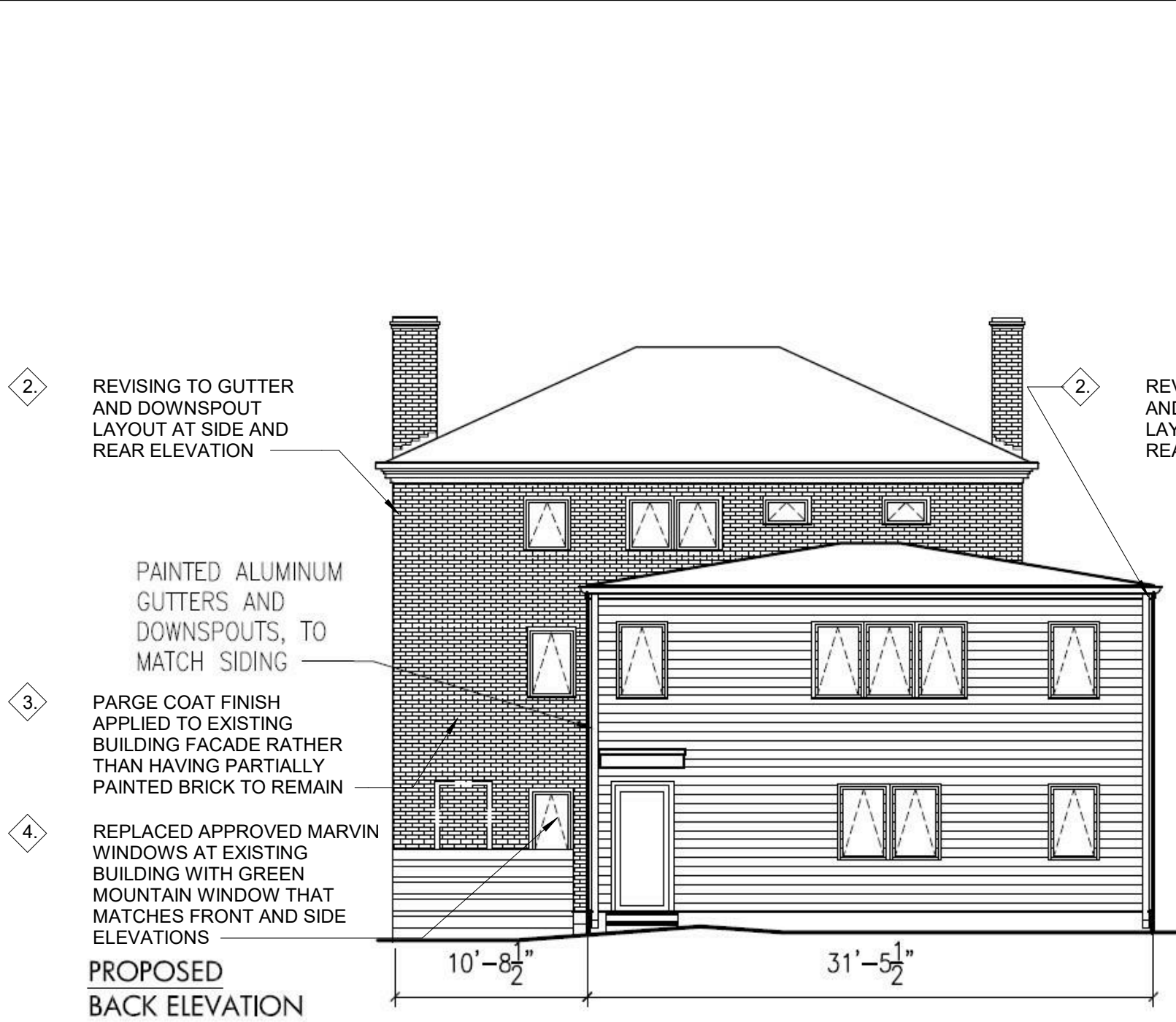
Portsmouth, New Hampshire

1

11/04/20

McHA: RD / JJ

NOT TO SCALE



HISTORIC DISTRICT COMMISSION APPROVED DRAWING



POST CONSTRUCTION PHOTOGRAPHS

© 2020 McHenry Architecture

206 COURT STREET

PORTSMOUTH, NH

HISTORIC DISTRICT COMMISSION

ADMINISTRATIVE APPROVAL, NOVEMBER 2020

McHENRY ARCHITECTURE

4 Market Street

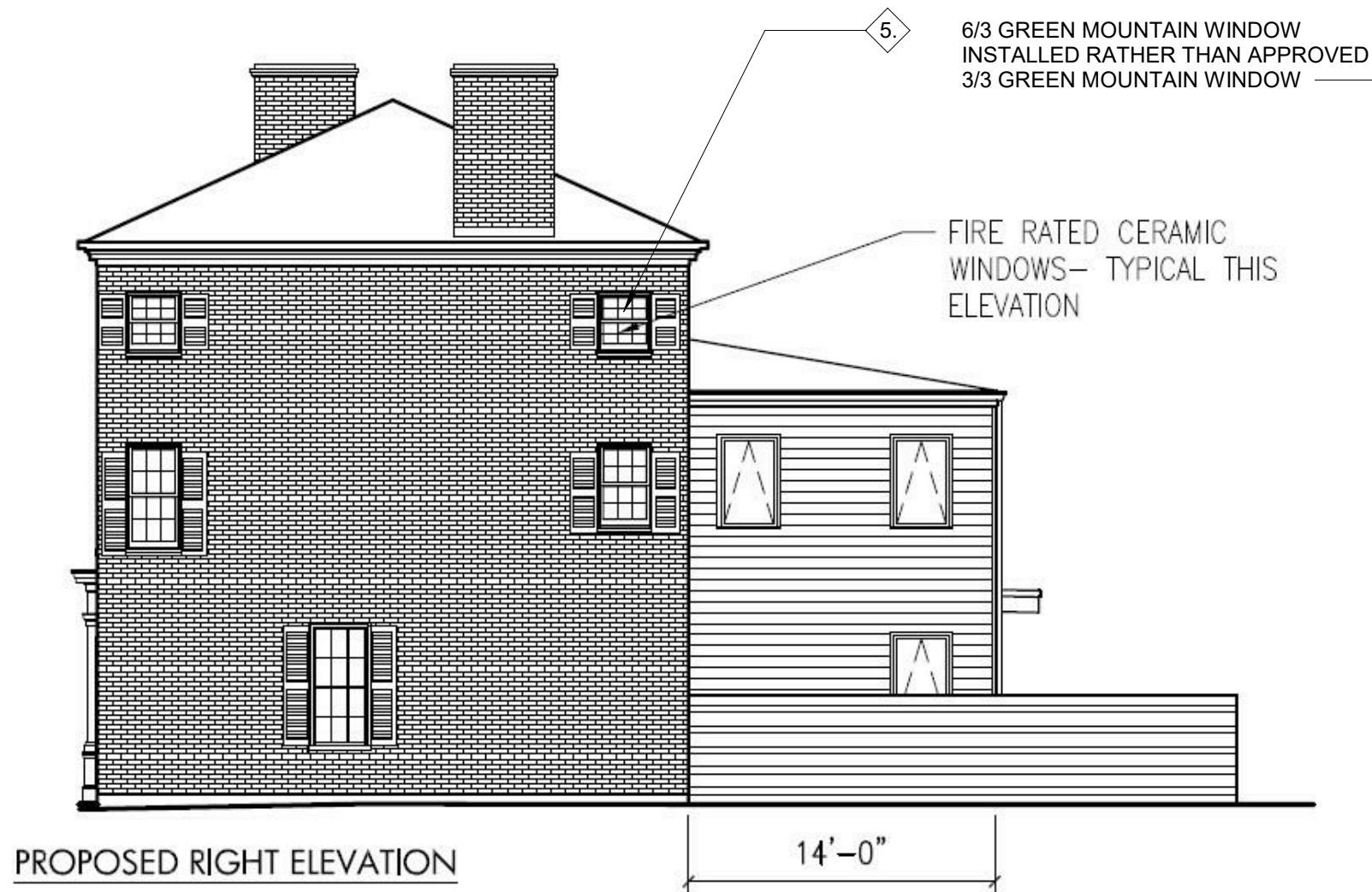
Portsmouth, New Hampshire

2

11/04/20

McHA: RD / JJ

NOT TO SCALE



HISTORIC DISTRICT COMMISSION APPROVED DRAWING



POST CONSTRUCTION PHOTOGRAPHS

© 2020 McHenry Architecture

206 COURT STREET

PORTSMOUTH, NH

HISTORIC DISTRICT COMMISSION

ADMINISTRATIVE APPROVAL, NOVEMBER 2020

McHENRY ARCHITECTURE

4 Market Street

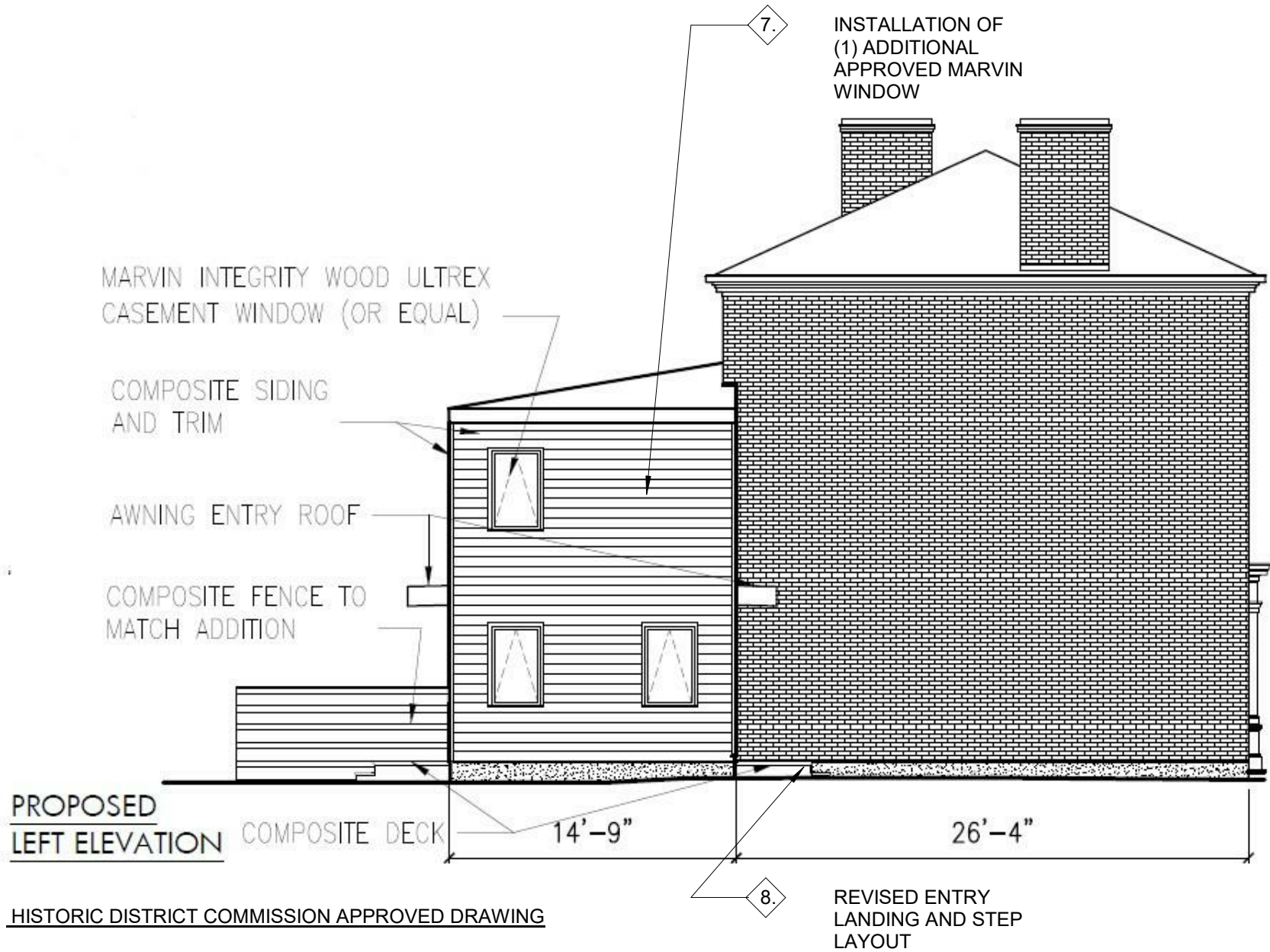
Portsmouth, New Hampshire

3

11/04/20

McHA: RD / JJ

NOT TO SCALE



POST CONSTRUCTION PHOTOGRAPHS



7. INSTALLATION OF (1) ADDITIONAL APPROVED MARVIN WINDOW



5. INSTALLATION OF (2) ELECTRICAL METERS



8. REVISED ENTRY LANDING AND STEP LAYOUT

© 2020 McHenry Architecture

**Historic District Commission Work  
Session or Administrative Approval  
Application**

**LUHD-212**

**Status:** Active

**Submitted:** Oct 07, 2020

**Applicant**



Jennifer Ramsey



603-766-3760 ext. 1



jramsey@sommastudios.com

**Location**

0 MAPLEWOOD AVE  
Portsmouth, NH 03801

---

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

---

**Project Information**

**Brief Description of Proposed Work**

The area of the at grade parking garage accessed off Bridge Street and once open to pedestrian pass thru is being enclosed. Therefore, this application is illustrating a redistribution of an open space requirement (part of original approval and the CUP) from the pedestrian area to another area of the site.

(Any design changes related to enclosing this area of the Garage will be present at a future HDC meeting)

Drawings should be print on 11x17 for ease of reading the Civil Engineers notations about the square footage

**Description of Proposed Work (Planning Staff)**

--

---

**Project Representatives**

---

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

---

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

**HDC Certificate of Approval Granted**

--

**HDC Approval Date**

--

**Planning Staff Comments**

--

6. 46-64 Maplewood Avenue - Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved pedestrian space:

-The area of the at grade parking garage accessed off Bridge Street and once open to pedestrian pass thru is being enclosed.

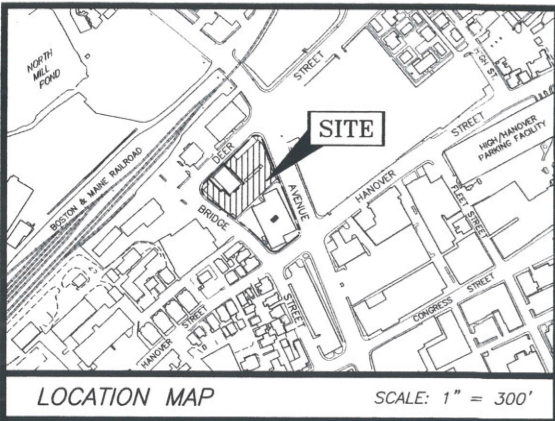
Therefore, this application is illustrating a redistribution of an open space requirement (part of original approval and the CUP) from the pedestrian area to another area of the site.

(Any design changes related to enclosing this area of the Garage will be present at a future HDC meeting)

Staff Comment: Recommended Approval

Stipulations:

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_



**LEGEND:**

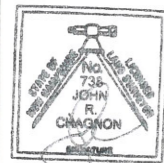
- LCA LIMITED COMMON AREA  
N/F NOW OR FORMERLY  
RP RECORD OF PROBATE  
RCRD ROCKINGHAM COUNTY  
REGISTRY OF DEEDS  
RR SPK RAILROAD SPIKE  
MAP 11/LOT 21  
IR FND IRON ROD FOUND  
IP FND IRON PIPE FOUND  
IR SET IRON ROD SET  
RR SPK SET RAILROAD SPIKE SET  
DH FND DRILL HOLE FOUND  
DH SET DRILL HOLE SET  
BND w/DH BOUND WITH DRILL HOLE  
ST BND w/DH STONE BOUND WITH DRILL HOLE  
REFERENCE TO FIFTH AMENDMENT  
TO BE RECORDED (HEREWITH)  
PARKING COUNT (10)

**ABUTTERS LIST:**

- 125/1  
N/F PARADE OFFICE c/o  
CATHARTS PRIVATE INVESTMENTS  
262 WASHINGTON STREET, SUITE 302  
BOSTON, MA 02108  
3756 / 2701
- 125/3  
N/F EMERSON HOVEY POST 168  
VFW  
238 DEER STREET  
PORTSMOUTH, N.H. 03801
- 125/4  
N/F SHANG TA CHEN & JUNE LI  
60 NORTON ROAD  
QUINCY, MA 02169  
3280 / 0645
- 125/5  
N/F CINDY LEE CARROLL  
391 MILLER AVENUE  
PORTSMOUTH, N.H. 03801  
3103 / 0287
- 125/6  
N/F G AND N REALTY, LLC  
30074 VILLAGE PARK DRIVE  
CHAPEL HILL, NC 27517  
3957 / 2586
- 125/10  
N/F JOHN GRAY REVOC. TRUST  
BRADFORD A GRAY REVOC. TRUST  
7 PATRIOTS WAY  
RYE, N.H. 03070  
3895 / 0643
- 125/17  
N/F DEER STREET ASSOCIATES  
P. O. BOX 100  
YORK HARBOR, ME 03911
- 126/2  
N/F SHAINES AND McEACHERN CO  
(PORTSMOUTH) LLC  
282 CORPORATE DRIVE  
PORTSMOUTH, N.H. 03801  
4496 / 0556
- 126/56  
N/F STEPHEN & CHRISTINE MAYEUX  
64 BRIDGE STREET  
PORTSMOUTH, N.H. 03801  
2869 / 0647
- 126/59  
N/F CITY OF PORTSMOUTH  
P. O. BOX 628  
PORTSMOUTH, N.H. 03802  
2166 / 0388  
#D-4125

**PLAN REFERENCES:**

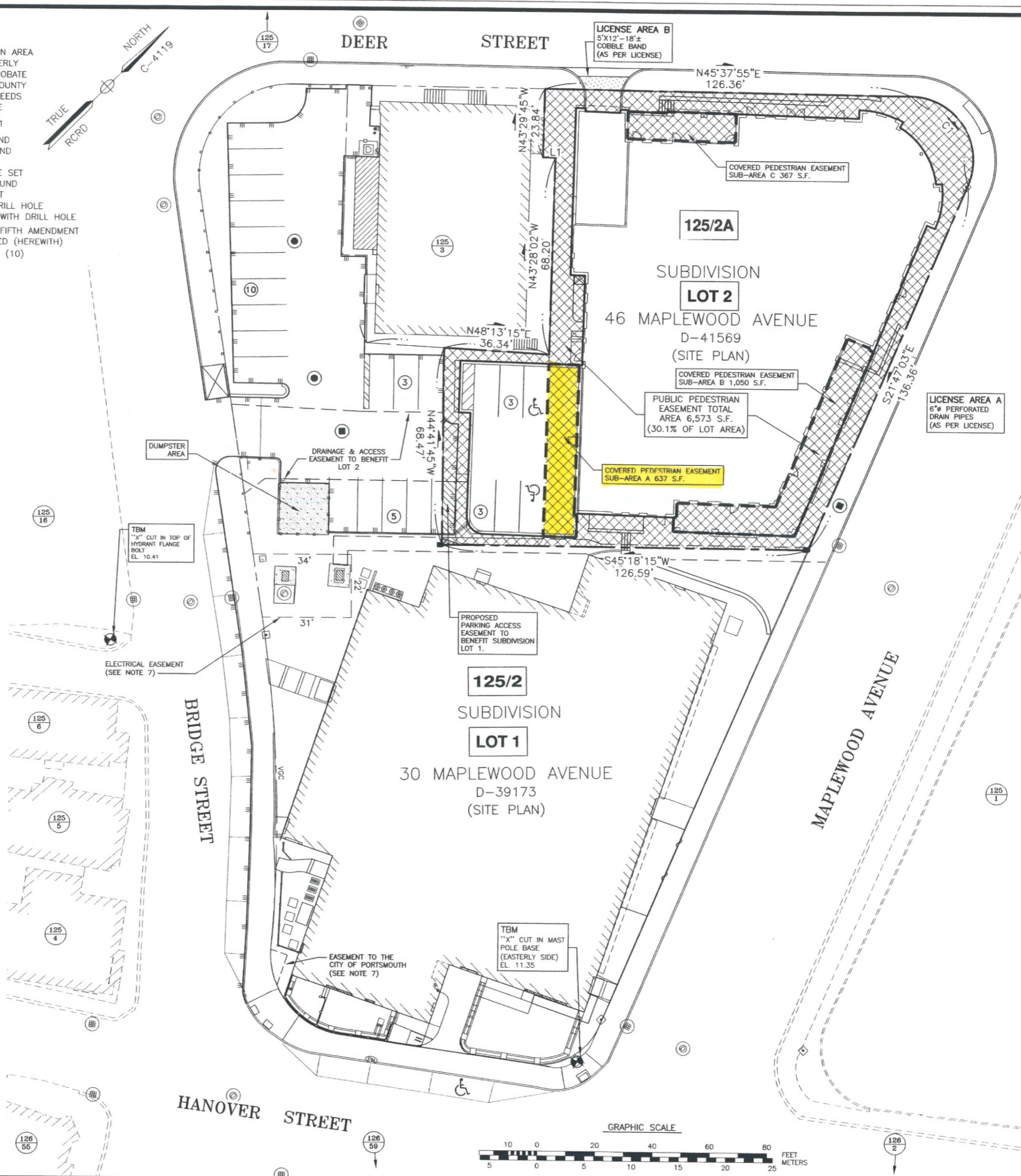
1. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION PLAN PARCEL 7, DATED OCT. 1973 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-4119.
2. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION PLAN PARCEL 10, DATED OCT. 1973 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-4125.
3. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION MAP, DATED NOV. 1969 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-2408.
4. EASEMENT SITE PLAN, TAX MAP 125 - LOT 2, 30 MAPLEWOOD, LLC TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE (PSNH), SCALE: 1" = 20', OCTOBER 2013 BY AMBIT ENGINEERING. RCRD D-38148.
5. PROPOSED EASEMENT TO CITY OF PORTSMOUTH, SCALE: 1" = 10', 9/18/13 BY AMBIT ENGINEERING. BK 5512, PG 1046.
6. CONDOMINIUM SITE PLAN, TAX MAP 125 - LOT 2, BY AMBIT ENGINEERING. RCRD D-38936; AMENDED AT RCRD D-39005.
7. SUBDIVISION PLAN, TAX MAP 125 - LOT 2, OWNER: 30 MAPLEWOOD, LLC, 30-46 MAPLEWOOD AVENUE, CITY OF PORTSMOUTH, STATE OF NEW HAMPSHIRE, DATED OCTOBER 2015. RCRD PLAN D-40246.
8. SITE PLAN, TAX MAP 125 LOT 2, 30 MAPLEWOOD AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED AUGUST 2015. RCRD PLAN D-39173.
9. PROPOSED SITE PLAN, 30 MAPLEWOOD, LLC, 46-64 MAPLEWOOD AVENUE, DECEMBER 2018, RCRD D-41569.



APPROVED BY THE PORTSMOUTH PLANNING BOARD

LENGTH TABLE		
LINE	BEARING	DISTANCE
L1	S46°31'15"W	4.30'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	22.00'	43.23'	36.60'	S78°04'35"E	112°35'04"



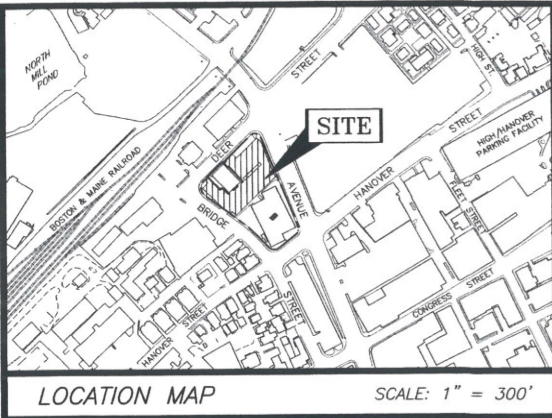
**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-0282  
Fax (603) 436-2315

**NOTES:**

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOTS 2 & 2A.
- 2) OWNERS OF RECORD:
- 125/2:  
30 MAPLEWOOD AVENUE  
CONDOMINIUM ASSOCIATION  
36 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H. 03801  
5099/2424  
PLAN D-38936  
DECLARATION: BK 5636, BK 1930  
FIRST AMENDMENT: BK 5647, PG 1038  
SECOND AMENDMENT: BK 5688, PG 2226  
THIRD AMENDMENT: BK 5783 PG 2443  
FOURTH AMENDMENT: BK 5807, PG 2635  
FIFTH AMENDMENT: BK 5835/ PG 1026
- 125/2A  
30 MAPLEWOOD LLC  
36 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H. 03801  
5835/1026
- 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E, MAY 17, 2005.
- 4) EXISTING LOT AREAS:
- | LOT 1                     | LOT 2                     |
|---------------------------|---------------------------|
| 34,887 S.F.<br>0.8009 AC. | 21,798 S.F.<br>0.5004 AC. |
- 5) PARCELS ARE CURRENTLY LOCATED IN THE CHARACTER DISTRICT 4-L, HISTORIC DISTRICT, AND DOWNTOWN OVERLAY DISTRICT.
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF PROPOSED EASEMENTS AND LICENSES.
- 7) PARCELS ARE SUBJECT TO:  
AN EASEMENT TO EVERSOURCE (PUBLIC SERVICE COMPANY OF N.H.) RECORDED AT RCRD 5516/946 (SEE D-38148)  
AN EASEMENT TO THE CITY OF PORTSMOUTH AT RCRD 5512/1047, NOTE: INFRASTRUCTURE RELOCATED TO EVERSOURCE EASEMENT AREA.
- 8) LOT 2A HAS A DEEDED RIGHT TO USE THE DUMPSTER ON LOT 2. SEE RCRD 5835/1026
- 9) PER MUTUAL EASEMENT DEED BETWEEN LOT 1 AND LOT 2 THE CONSTRUCTION AND MAINTENANCE OF THIS DRAINAGE SYSTEM WILL BE THE RESPONSIBILITY OF 46 MAPLEWOOD AVENUE CONDOMINIUM ASSOCIATION.
- 10) EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF OFF SITE. SNOW SHALL NOT BE DISPOSED OF OR STORED ON CITY PROPERTY.

NO.	DESCRIPTION	DATE
8	ISSUED FOR RECORDING	9/11/20
7	LABEL COVERED EASEMENT AREAS	8/6/19
6	EASEMENT AREA S.F., NOTES	7/10/19
5	PUBLIC PEDESTRIAN EASEMENT	7/8/19
4	REMOVED NO BUILD AREA, FOOTPRINT	12/21/18
3	DRAIN PIPES IN R-O-W	3/6/18
2	SNOW REMOVAL NOTE, VFM EASEMENT	2/6/18
1	ADDED HATCHING	1/12/18
0	ISSUED FOR COMMENT	12/19/17

**EASEMENT AND LICENSE PLAN**  
**TAX MAP 125-LOTS 2 & 2A**  
**(SUBDIVISION LOTS 1 & 2)**  
OWNERS:  
**30 MAPLEWOOD, LLC &**  
**30 MAPLEWOOD AVENUE**  
**CONDOMINIUM ASSOCIATION**  
30-64 MAPLEWOOD AVENUE  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE



LOCATION MAP

SCALE: 1" = 300'

LEGEND:

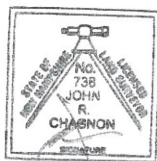
- LCA LIMITED COMMON AREA  
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RP RECORD OF PROBATE  
RCRD ROCKINGHAM COUNTY  
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RAILROAD SPIKE  
RR SPK MAP 11/LOT 21  
IR FND IRON ROD FOUND  
IP FND IRON PIPE FOUND  
IR SET IRON ROD SET  
RR SPK SET RAILROAD SPIKE SET  
DH FND DRILL HOLE FOUND  
DH SET DRILL HOLE SET  
BND w/DH BOUND WITH DRILL HOLE  
ST BND w/DH STONE BOUND WITH DRILL HOLE  
REFERENCE TO FIFTH AMENDMENT  
TO BE RECORDED (HEREWITH)  
PARKING COUNT (10)  
DRAIN PIPES

ABUTTERS LIST:

- 125 1 N/F PARADE OFFICE c/o  
CATHARTIS PRIVATE INVESTMENTS  
262 WASHINGTON STREET, SUITE 302  
BOSTON, MA 02108  
3756 / 2701
- 125 3 N/F EMERSON HOVEY POST 168  
VIEW  
238 DEER STREET  
PORTSMOUTH, N.H. 03801
- 125 4 N/F SHANG TA CHEN & JUNE LI  
60 NORTON ROAD  
QUINCY, MA 02169  
3280 / 0645
- 125 5 N/F CINDY LEE CARROLL  
391 MILLER AVENUE  
PORTSMOUTH, N.H. 03801  
3103 / 0287
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30074 VILLAGE PARK DRIVE  
CHAPEL HILL, NC 27517  
3957 / 2586
- 125 16 N/F JOHN GRAY REVOC. TRUST  
BRADFORD A GRAY REVOC. TRUST  
7 PATRIOTS WAY  
RYE, N.H. 03870  
3895 / 0643
- 125 17 N/F DEER STREET ASSOCIATES  
P.O. BOX 100  
YORK HARBOR, ME 03911
- 126 2 N/F SHAINES AND McEACHERN CO  
(PORTSMOUTH) LLC  
282 CORPORATE DRIVE  
PORTSMOUTH, N.H. 03801  
4496 / 0556
- 126 56 N/F STEPHEN & CHRISTINE MAYEUX  
64 BRIDGE STREET  
PORTSMOUTH, N.H. 03801  
2869 / 0647
- 126 59 N/F CITY OF PORTSMOUTH  
P.O. BOX 628  
PORTSMOUTH, N.H. 03802  
2166 / 0388  
#D-4125

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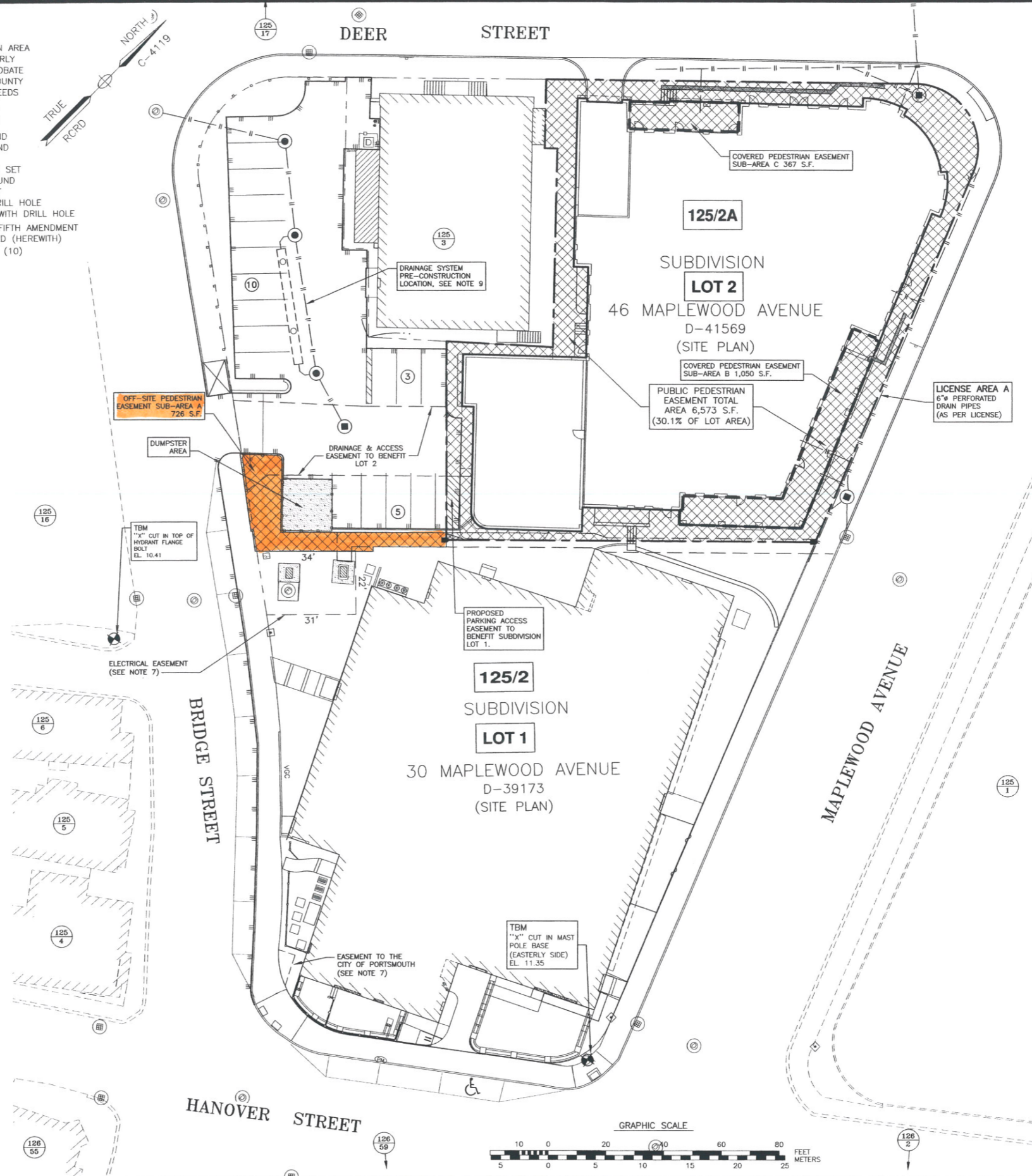
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PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION PLAN PARCEL  
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RCRD #D-4125.
3. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10,  
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NOV. 1969 BY ANDERSON-NIHOLS & CO., INC. RCRD  
#D-2408.
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1" = 10', 9/18/13 BY AMBIT ENGINEERING. BK 5512,  
PG 1046.
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AMBIT ENGINEERING. RCRD D-38936; AMENDED AT RCRD  
D-39005.
7. SUBDIVISION PLAN, TAX MAP 125 - LOT 2, OWNER: 30  
MAPLEWOOD, LLC, 30-46 MAPLEWOOD AVENUE, CITY OF  
PORTSMOUTH, STATE OF NEW HAMPSHIRE, DATED OCTOBER  
2015. RCRD PLAN D-40246.
8. SITE PLAN, TAX MAP 125 LOT 2, 30 MAPLEWOOD  
AVENUE, CITY OF PORTSMOUTH, COUNTY OF  
ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED AUGUST  
2015. RCRD PLAN D-39173.
9. PROPOSED SITE PLAN, 30 MAPLEWOOD, LLC,  
46-64 MAPLEWOOD AVENUE, DECEMBER 2018,  
RCRD D-41569.



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

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ASSESSORS MAP 125 AS LOTS 2 & 2A.
- 2) OWNERS OF RECORD:  
125/2:  
30 MAPLEWOOD AVENUE  
CONDOMINIUM ASSOCIATION  
36 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H. 03801  
5099/2424  
PLAN D-38936  
DECLARATION: BK 5636, BK 1930  
FIRST AMENDMENT: BK 5647, PG 1038  
SECOND AMENDMENT: BK 5688, PG 2226  
THIRD AMENDMENT: BK 5783 PG 2443  
FOURTH AMENDMENT: BK 5807, PG 2635  
FIFTH AMENDMENT: BK 5835/ PG 1026  
125/2A  
30 MAPLEWOOD LLC  
36 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H. 03801  
5835/1026
- 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON  
FIRM PANEL 33015C0259E, MAY 17, 2005.
- 4) EXISTING LOT AREAS:  
LOT 1 LOT 2  
34,887 S.F. 21,798 S.F.  
0.8009 AC. 0.5004 AC.
- 5) PARCELS ARE CURRENTLY LOCATED IN THE CHARACTER  
DISTRICT 4-L, HISTORIC DISTRICT, AND DOWNTOWN OVERLAY  
DISTRICT.
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION  
OF PROPOSED EASEMENTS AND LICENSES.
- 7) PARCELS ARE SUBJECT TO:  
AN EASEMENT TO EVERSOURCE (PUBLIC SERVICE  
COMPANY OF N.H.) RECORDED AT RCRD 5516/946  
(SEE D-38148)  
AN EASEMENT TO THE CITY OF PORTSMOUTH AT  
RCRD 5512/1047. NOTE: INFRASTRUCTURE  
RELOCATED TO EVERSOURCE EASEMENT AREA.
- 8) LOT 2A HAS A DEEDED RIGHT TO USE THE DUMPSTER ON  
LOT 2. SEE RCRD 5835/1026
- 9) PER MUTUAL EASEMENT DEED BETWEEN LOT 1 AND LOT 2  
THE CONSTRUCTION AND MAINTENANCE OF THIS DRAINAGE  
SYSTEM WILL BE THE RESPONSIBILITY OF 46 MAPLEWOOD  
AVENUE CONDOMINIUM ASSOCIATION.
- 10) EXCESS SNOW SHALL BE REMOVED FROM THE SITE  
AND DISPOSED OF OFF SITE. SNOW SHALL NOT BE  
DISPOSED OF OR STORED ON CITY PROPERTY.

NO.	DESCRIPTION	DATE
2	ELIMINATE LICENSE AREA B	9/23/20
1	ISSUED FOR APPROVAL	4/10/20
0	ISSUED FOR COMMENT	3/16/20

EASEMENT AND LICENSE PLAN  
TAX MAP 125-LOTS 2 & 2A  
(SUBDIVISION LOTS 1 & 2)

OWNERS:

**30 MAPLEWOOD, LLC &  
30 MAPLEWOOD AVENUE  
CONDOMINIUM ASSOCIATION**  
30-64 MAPLEWOOD AVENUE  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE

SCALE: 1" = 20'

MARCH 2020

FB 220, PG 8

1808

## 7. 33 Northwest Street - Recommended Approval

**Background:** The applicant is seeking approval to move an existing retaining wall over to the existing fence line on the property and repair all retaining walls on the property.

**Staff Comment:** Recommended Approval

### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work  
Session or Administrative Approval  
Application****LUHD-213****Status:** Active**Submitted:** Oct 07, 2020**Applicant**

Rebecca Bernier



6037677698



rebeccalbernier@gmail.com

**Location**33 NORTHWEST ST  
Portsmouth, NH 03801**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Move deteriorating retaining wall to fenceline to allow access to retaining wall that has caved in and presents safety issue. Repair that retaining wall and an adjacent retaining wall that may soon cave in.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Email Address**

michael.bernier@gmail.com

**City/Town**

Portsmouth

**Mailing Address (Street)**

33 Northeast St

**Relationship to Project**

Owner

**State**

NH

**Full Name (First and Last)**

Michael Bernier

**If you selected "Other", please state relationship to project.**

--

**Phone**

6032642758

**Business Name (if applicable)**

--

**Zip Code**

03801

**Acknowledgement**

I certify that the information given is true and correct to the best  
of my knowledge.

true

**I hereby certify that as the applicant for permit, I am**

Owner of this property

**By checking this box, I agree that this is equivalent to a  
handwritten signature and is binding for all purposes related to  
this transaction**

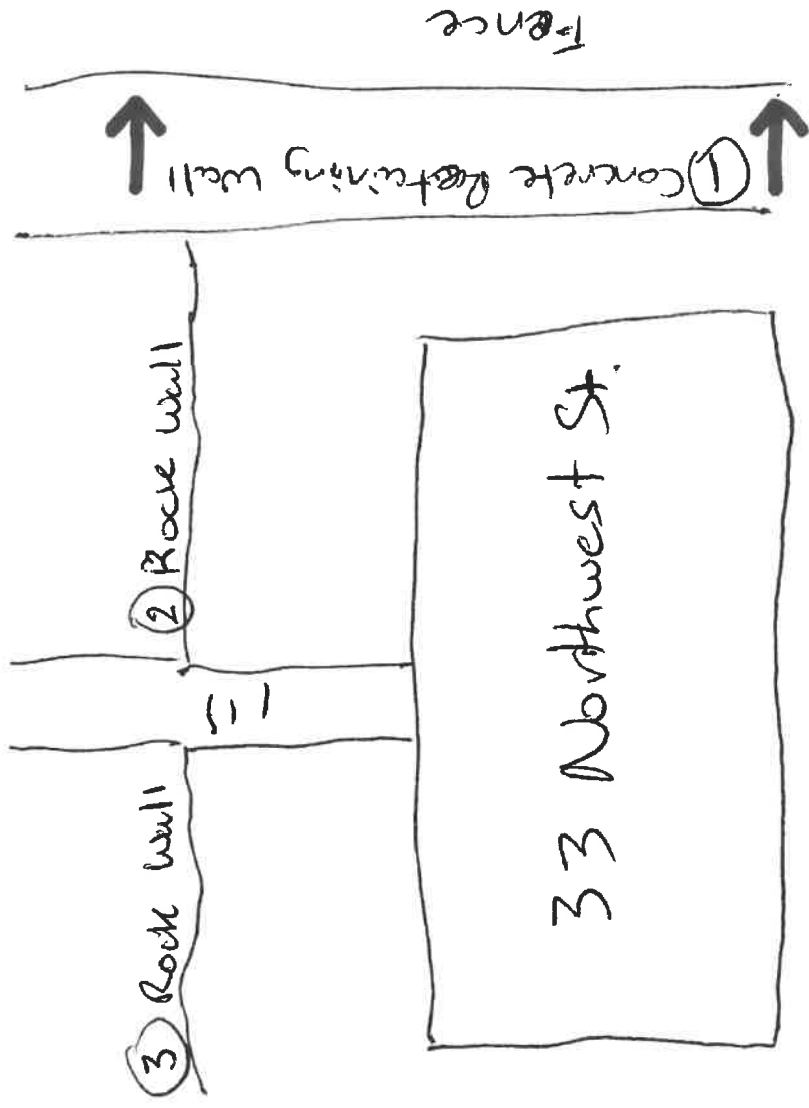
true

**If you selected "Other" above, please explain your relationship  
to this project. Owner authorization is required.**

REPAIR  
FENCE



MOVE WALL  
TO FENCE



- ① Concrete Retaining wall deteriorating. Move to fence so that access for other rock walls exists
- ② Rock wall wall has crumbled and is a Repair wall.