

HDC

ADMINISTRATIVE APPROVALS

November 04, 2020

- | | | |
|-----|---|-----------------------|
| 1. | 49 Hunking Street (LUHD-214) | -Recommended Approval |
| 2. | 285 Union Street (LUHD-215) | -Recommended Approval |
| 3. | 56 Dennett Street (LUHD-216) | -TBD |
| 4. | 222 Court Street (218) | -Recommended Approval |
| 5. | 249 Pleasant Street (LUHD-197)
(Continued from October 07, 2020) | -Recommended Approval |
| 6. | 46-64 Maplewood Avenue (LUHD-220) | -TBD |
| 7. | 10 New Castle Avenue (LUHD-222) | -Recommended Approval |
| 8. | 77 New Castle Avenue (LUHD-223) | -Recommended Approval |
| 9. | 39 Richards Avenue (LUHD-224) | -Recommended Approval |
| 10. | 306 Marcy Street (LUHD-225) | -Recommended Approval |

1. 49 Hunking Street

- Recommended Approval

Background: The applicant is seeking approval for an extension of a boundary stone wall on the property and to relocate a window on a previously approved rear shed addition.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____




Historic District Commission Work
Session or Administrative Approval
Application

LUHD-214

Status: Active

Submitted: Oct 13, 2020

Applicant

 Stephen Foster
 2023020202
 sfoster@orbispub.com

Location

49 HUNKING ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Request for Administrative Approvals for additional Boundary Stone Walls and to Move Rear Window on New Shed Addition.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Full Name (First and Last) Stephen Foster	If you selected "Other", please state relationship to project. --
State NH	Relationship to Project Owner
Mailing Address (Street) 35 South Mill Street	Phone 2023020202
City/Town Portsmouth	Email Address sfoster@orbispub.com
Business Name (if applicable) --	Zip Code 03801

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am
Owner of this property

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Stephen Foster
Manager/Owner
Tobias Lear House Historic Inn, LLC

49 Hunking Street

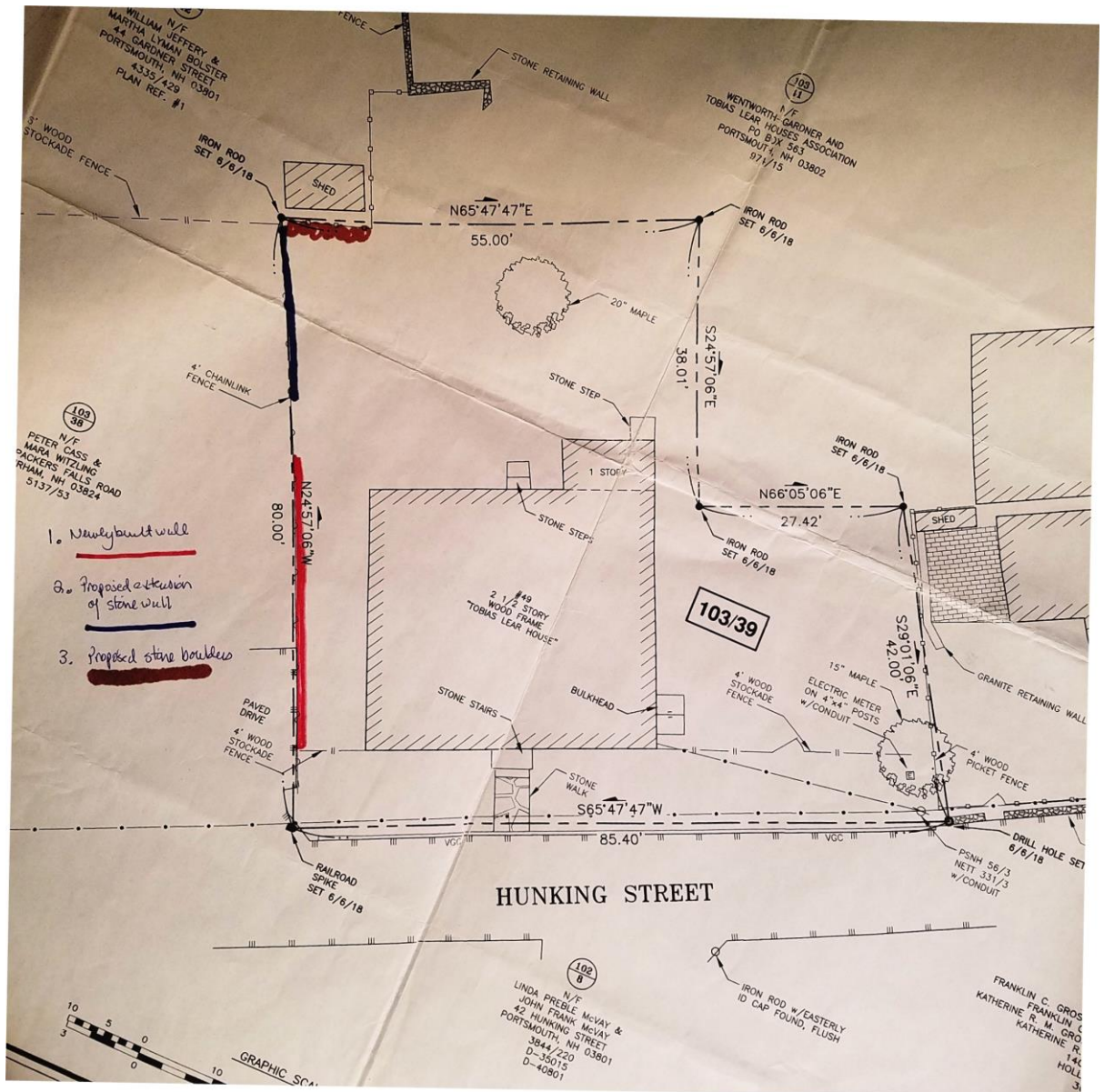
Request for Administrative Approvals for additional Boundary Stone Walls and to Move Rear Window on New Shed Addition.

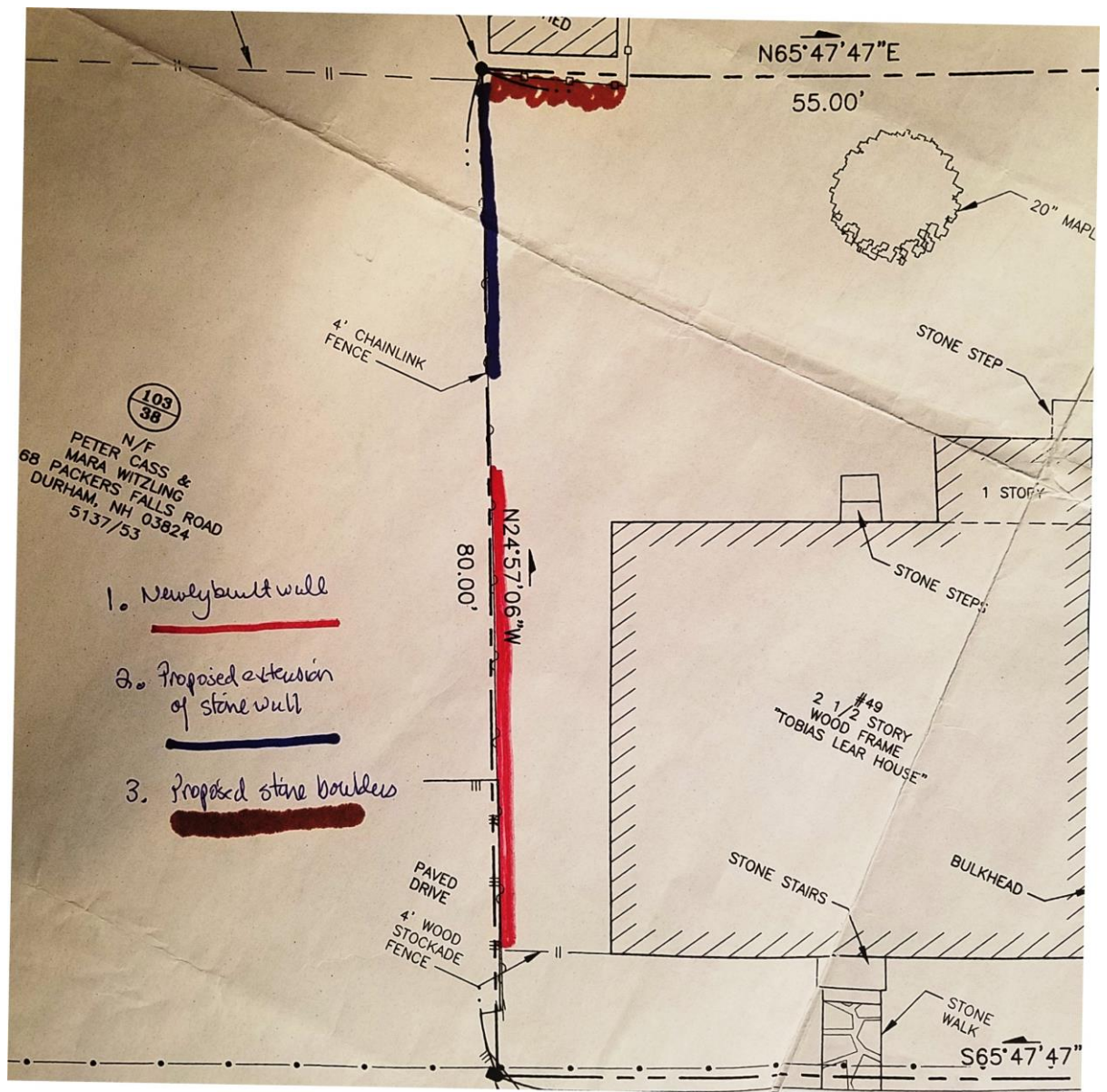
1. Wall extensions

Stonewall Extension. A 40-foot boundary line stone wall, measuring approximately 2' in height and 2' wide was approved by the HDC on June 5, 2019. This wall was intended, in part, to minimize water flow downhill into the house basement and to address a grade discrepancy between the subject property, at 49 Hunking Street, and the abutting uphill neighbor to the west at 33 Hunking Street. The stone wall was built, as proposed, in July 2020. In discussion with the uphill boundary neighbor, an extension of the stonewall was considered, in part at the suggestion of the boundary neighbor, in order to address a second area of significant grade discrepancy towards the rear of the property, created in by a raised garden bed in the neighboring property, now held in place by a steel plates held upright by a series of metal stakes. The proposed new section of stonewall would be 25 feet long, beginning 8' beyond the existing wall as the 8' section between the existing stone wall and this proposed extension is flat terrain without a grade discrepancy. The proposed extension of the stone wall would be identical in construction and size to the newly constructed 40' foot wall. The wall and the entire boundary line will have a wood fence, part of which will surmount the existing and proposed stone walls, the design and specifications for which are still under consideration and will be presented for approval when a complete fencing plan for the property is finalized.

Boulder Wall. A similar grade discrepancy exists with the property to the rear (north) at 44 Gardner Street. It is proposed to address this discrepancy by a wall of stone boulders ten feet in length in dimensions roughly approximating that of the existing and proposed stone walls along the western property boundary. The North abutting neighbor's existing picket fence would remain in place as is after taking advantage of heavy equipment to remove a tree stump on the neighbors' property between the fence and his shed.

The attached photos show (1) a site plan with the proposed stone wall and boulder wall additions (2) the same site plan in more detail (3) a view of the existing conditions showing the recently completed stone wall looking north to the rear of the property along the western boundary (4) a second, more detailed view of the area of the proposed walls (5) a close-up view showing the grade discrepancy with the neighbor to the west and (6) a close-up view of the grade discrepancy with the neighbor to the north.













2. Move Rear Window in Kitchen-shed Addition 8 inches west.

Approval is sought to move the rear (north) window on the newly reconstructed rear shed-kitchen addition 8 inches to the west, to accommodate a better alignment of kitchen appliances and cabinetry in a revised kitchen design plan presented by a very persuasive kitchen planner. The change is already incorporated into the framing of the addition, now nearing completion. The images below show the rear view of the shed-kitchen addition plan, as approved by the HDC on June 5, 2019, and two views of the addition now under construction, each with a view of the rear window in its revised location.

HG. & HEV.
 2.25/12 PITCH).
 WOOD SHINGLES
 WITH COPPER
 INTER SHINGLES.

1/4" SHADOW BOARD
 5/4" X 6 FASCIA (WHITE PINE
 SELECT, TYPICAL)

COPPER WALL
 MOUNT VENT FOR
 RANGE HOOD

5/4" X 6 CORNER
 BOARDS

EXIST' 1ST FL.
 SUB-FLOOR

2" COPPER PIPE, DISCHARGE
 FOR SUMP PUMP

EXIST' BASE
 SLAB

STONE VENEER TO
 MATCH EXISTING
 (TO 4" SHELF IN
 CONCRETE FOUND.
 WALL)

TYPICAL
 EXISTING
 WINDOWS

TYPICAL
 ALL WOOD
 GREEN MOUNTAIN
 WINDOWS W/
 2 HINGERS &
 BEASINGS TO
 MATCH EXISTING
 (1/2 SILLING)

NEW SHINGLES
 SLAB & FOUND.
 EXISTING

NORTH

WEST





2. 285 Union Street - Recommended Approval

Background: The applicant is seeking approval for the addition of a window and exterior door at the rear of the structure to accommodate a kitchen renovation.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-215

Status: Active

Submitted: Oct 14, 2020

Applicant



Jeff White



6032752300



djeffreywhite@gmail.com

Location

285 UNION ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

We are planning a kitchen renovation at 285 Union St which will require an external door and window to be replaced on the side and rear of the house.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am
Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

false

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

285 UNION ST – EXTERIOR DOOR AND WINDOW REPLACEMENT

We are planning a kitchen renovation at 285 Union St which will require an external door and window to be replaced on the side and rear of the house.

We would like to replace the side french door of the house (not original) with the Anderson slider below:

<https://www.homedepot.com/p/Andersen-71-1-4-in-x-79-1-2-in-400-Frenchwood-White-Pine-Right-Hand-Sliding-Patio-Door-with-ORB-Hardware-9174171/313656577>

This slider will be slightly smaller than the current door and our contractor will continue the existing siding to match the rest of the house:



We would like to replace the window in the rear (not viewable from the street) with the following Anderson window:

<https://www.homedepot.com/p/Andersen-33-625-in-x-40-875-in-400-Series-Double-Hung-Wood-Window-with-White-Exterior-TW2832/100057909>

This window is very similar to the window that is currently there but with substantial energy savings over the current window (also not original) picture shown below is the interior view of the window, the exterior will be white to match the current window:



Please see the photos below to get a better idea of the project:

Photo of side door from yard:



photo of side door from street:



photo of side door and window from rear of house:



3. 56 Dennett Street - TBD

Background: The applicant is seeking approval for changes to a previously approved design (window design changes to addition on the rear of the structure).

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-216

Status: Active

Submitted: Oct 14, 2020

Applicant



Walter Hoerman



603-828-2688



whoerman@gmail.com

Location

56 DENNETT ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

small changes in window design of posterior addition not visible from the street which previous HDC had approved without restrictions

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Owner of this property

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

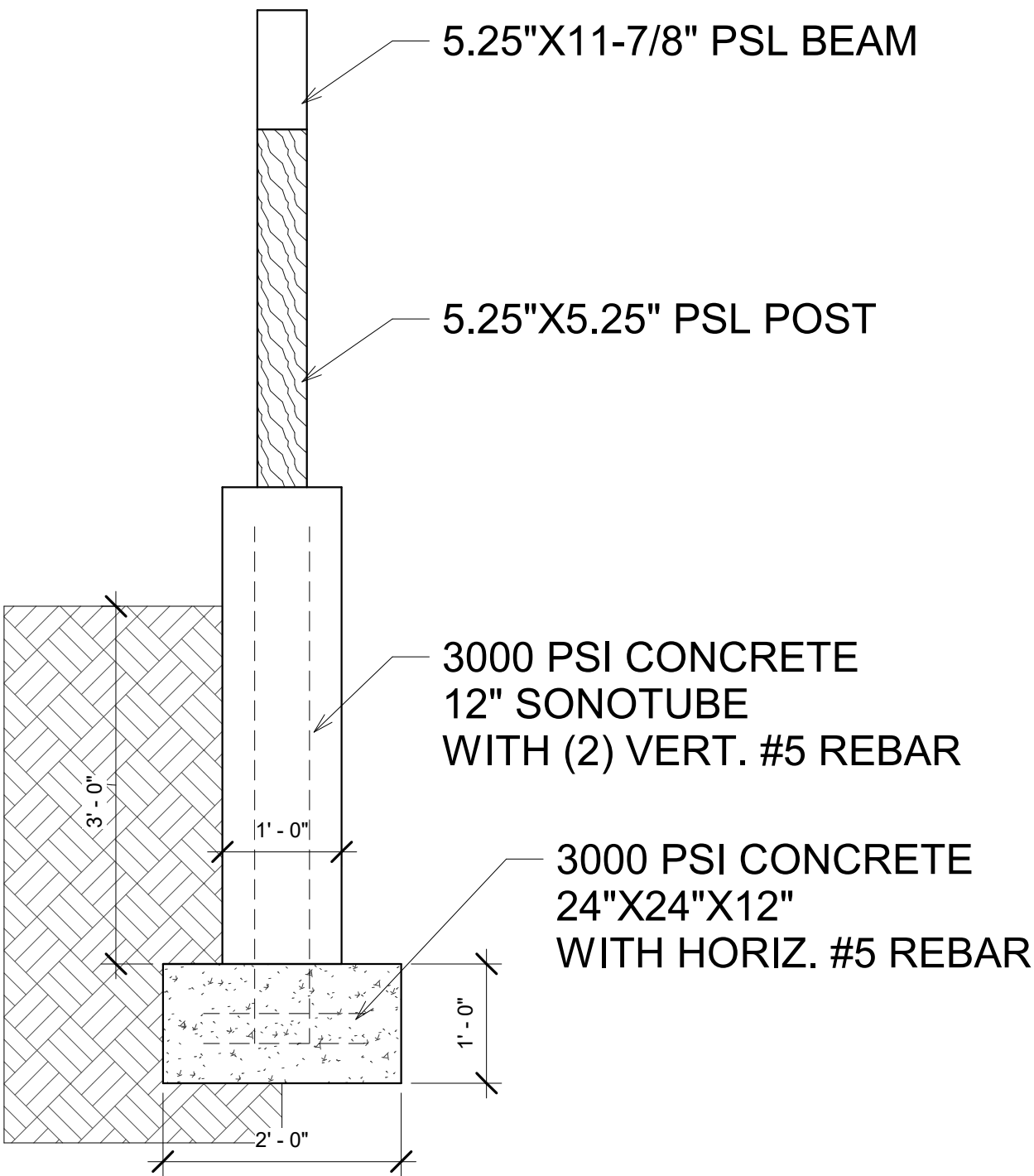
Owner Addressee Prefix and Last Name

--

HOERMAN RESIDENCE



1 3D View 1



5 Foundation
3/4" = 1'-0"

Sheet List	
Sheet Number	Sheet Name
A001	COVER
A101	FIRST FLOOR PLAN

MATERIALS LEGEND:

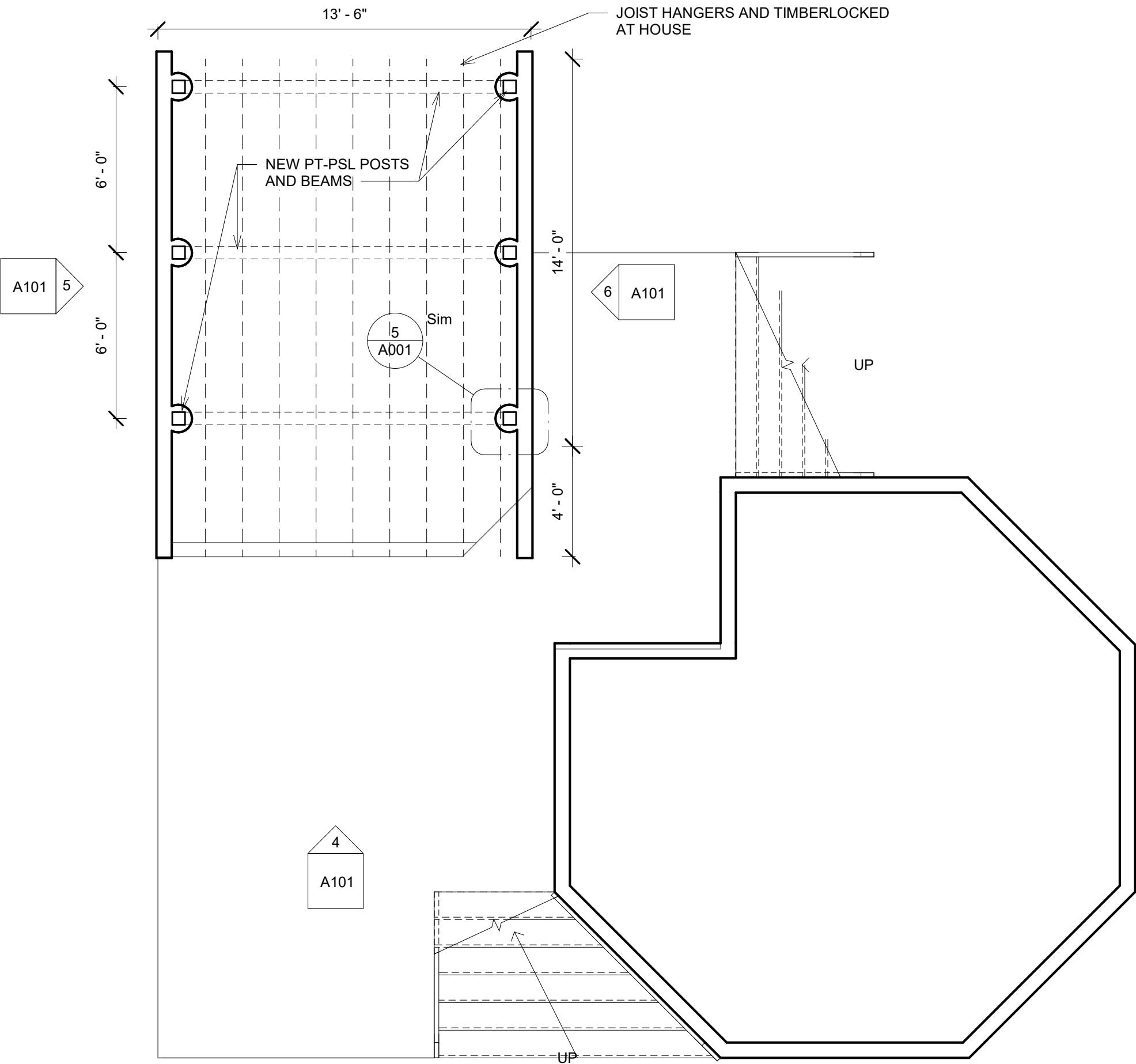
	DISTURBED EARTH
	CONCRETE
	SAND/GROUT
	GRAVEL
	COMPACTED FILL
	STONE
	WOOD - FINISH
	WOOD - GLU-LAM
	WOOD DIMENSIONAL BLOCKING
	WOOD BLOCKING/SHIM
	WOOD PLYWOOD/OSB
	INSULATION - RIGID
	INSULATION - BLOWN-IN
	INSULATION - BATT
	MASONRY - BRICK
	MASONRY - BLOCK/CMU
	EIFS
	STEEL

2 MATERIALS LEGEND
3/4" = 1'-0"

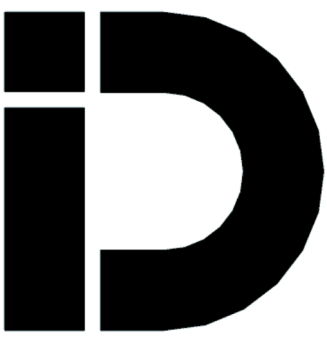
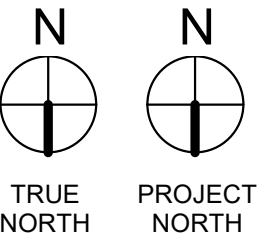
SYMBOLS LEGEND:

VIEW NAME SCALE	TITLE	ROOM NAME ROOM NO.	ROOM DESCRIPTION ROOM TITLE
 DETAIL NO. SHEET NO.	BUILDING SECTION	 PARTITION TYPE TAGS	
 DETAIL NO. SHEET NO.	WALL SECTION	 DOOR WINDOW STOREFRONT DOOR, WINDOW, STOREFRONT TAGS	
 DETAIL NO. SHEET NO.	DETAIL	 CEILING MATERIAL DIMENSION A.F.F.	CEILING TAGS
 ELEVATION NO. SHEET NO.	EXTERIOR ELEVATION	 TOP OF XXX ELEVATION FACE OF STUD CENTER LINE	MISC. SYMBOLS
 ELEVATION NO. SHEET NO.	INTERIOR ELEVATION		

3 SYMBOLS LEGEND
1/4" = 1'-0"



4 CRAWL SPACE
1/4" = 1'-0"



ISAAK DESIGN, PLLC
ARCHITECTURE &
URBAN DESIGN
(603) 969-6711
NICK@ISAAKDESIGN.COM

www.isaakdesign.com

ARCHITECT:
ISAAK DESIGN, PLLC
35 Oyster River Road
Durham, NH 03824
603-969-6711
nick@isaakdesign.com

CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

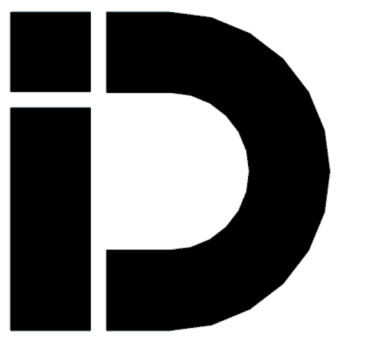
ISSUE:

HOERMAN
RESIDENCE
COVER

Project number 2006
Date 10.13.20
Drawn by NI
Checked by NI

A001

Scale As indicated



ISAAK DESIGN, PLLC
ARCHITECTURE &
URBAN DESIGN
(603) 969-6711
NICK@ISAAKDESIGN.COM

www.isaakdesign.com

ARCHITECT:
ISAAK DESIGN, PLLC
35 Oyster River Road
Durham, NH 03824
603-969-6711
nick@isaakdesign.com

CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

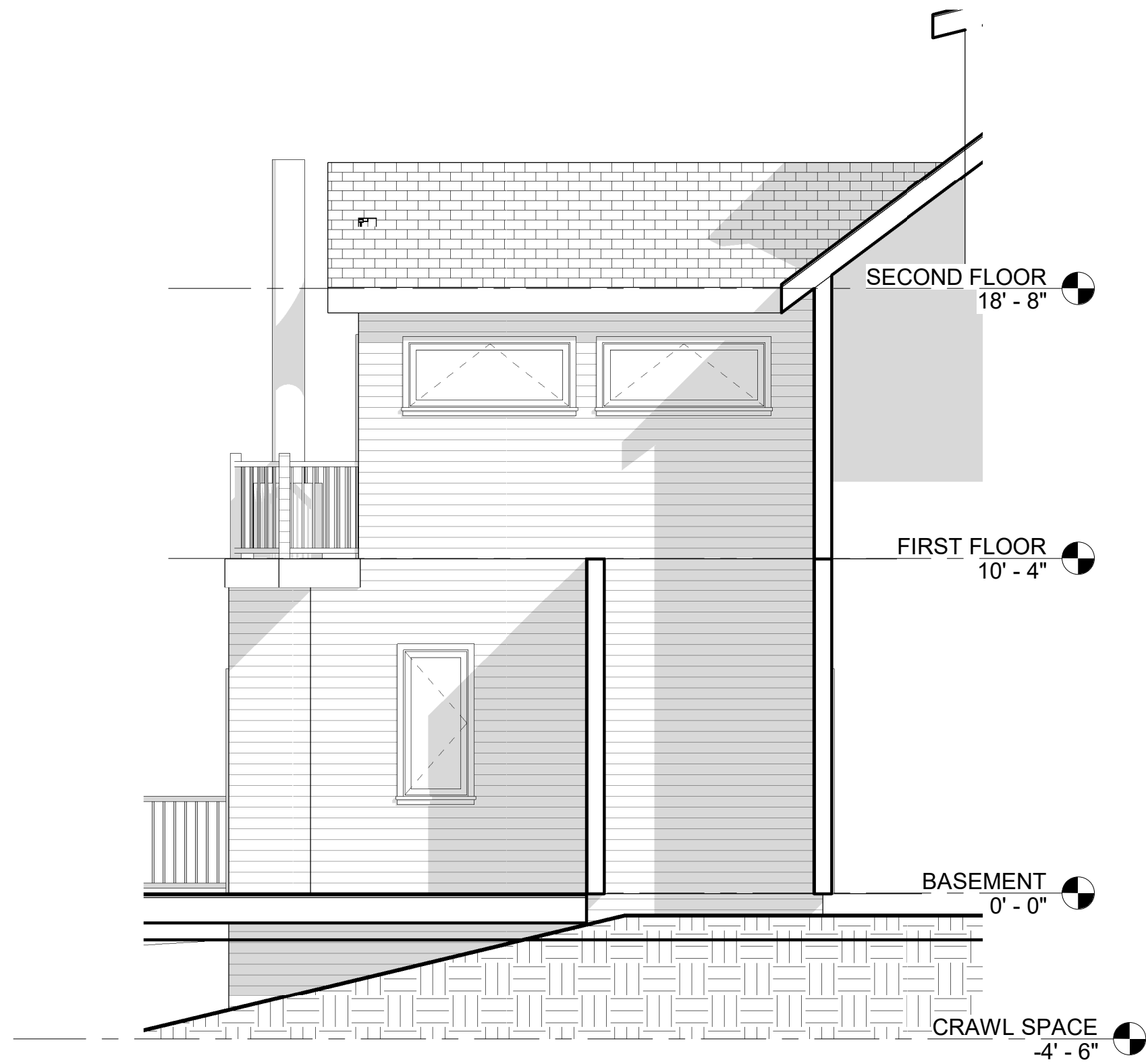
ISSUE:

HOERMAN
RESIDENCE
FIRST FLOOR
PLAN

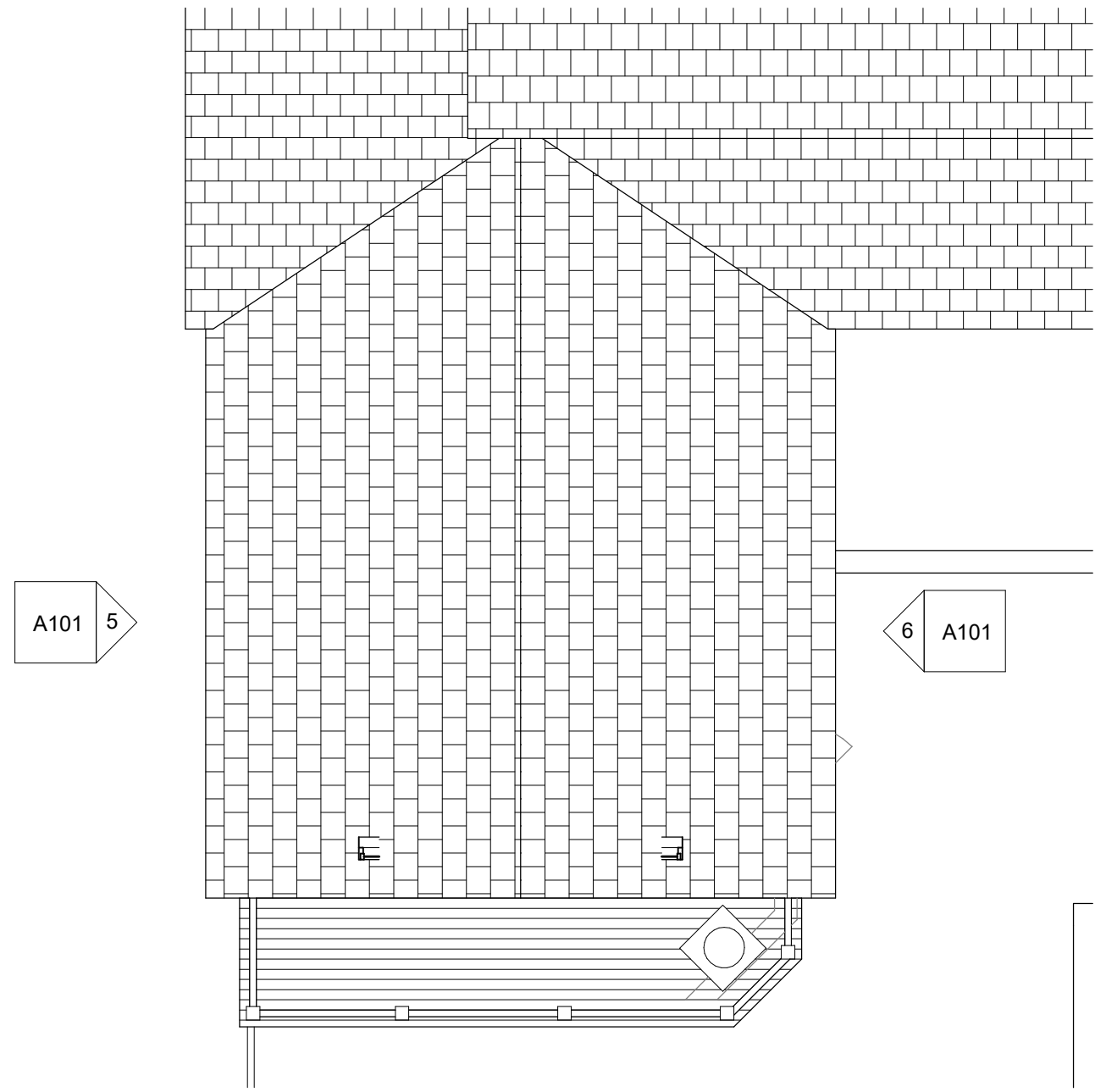
Project number 2006
Date 10.13.20
Drawn by NI
Checked by NI

A101
Scale 1/4" = 1'-0"

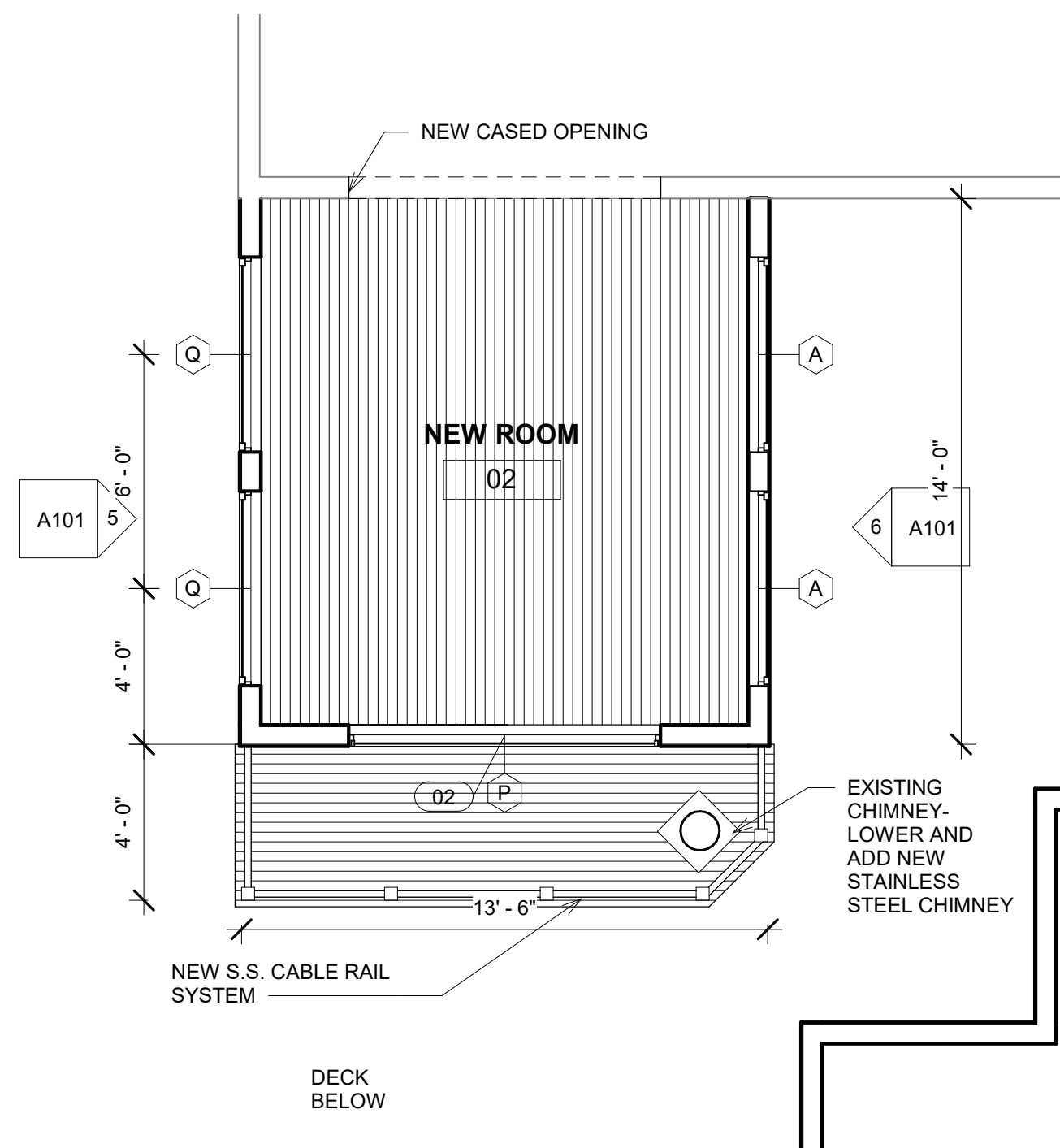
10/13/2020 3:37:45 PM



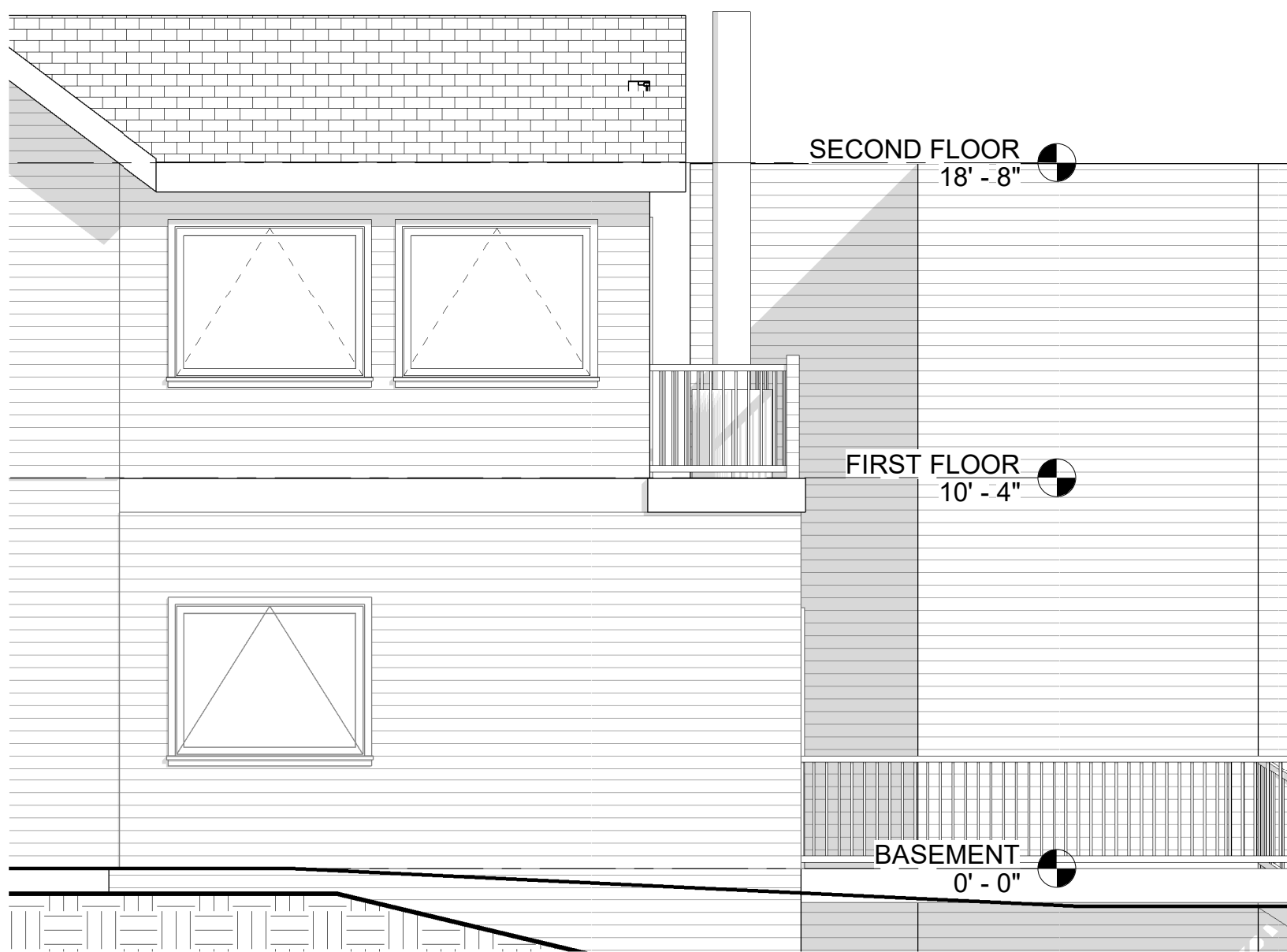
⑥ RIGHT ELEVATION
1/4" = 1'-0"



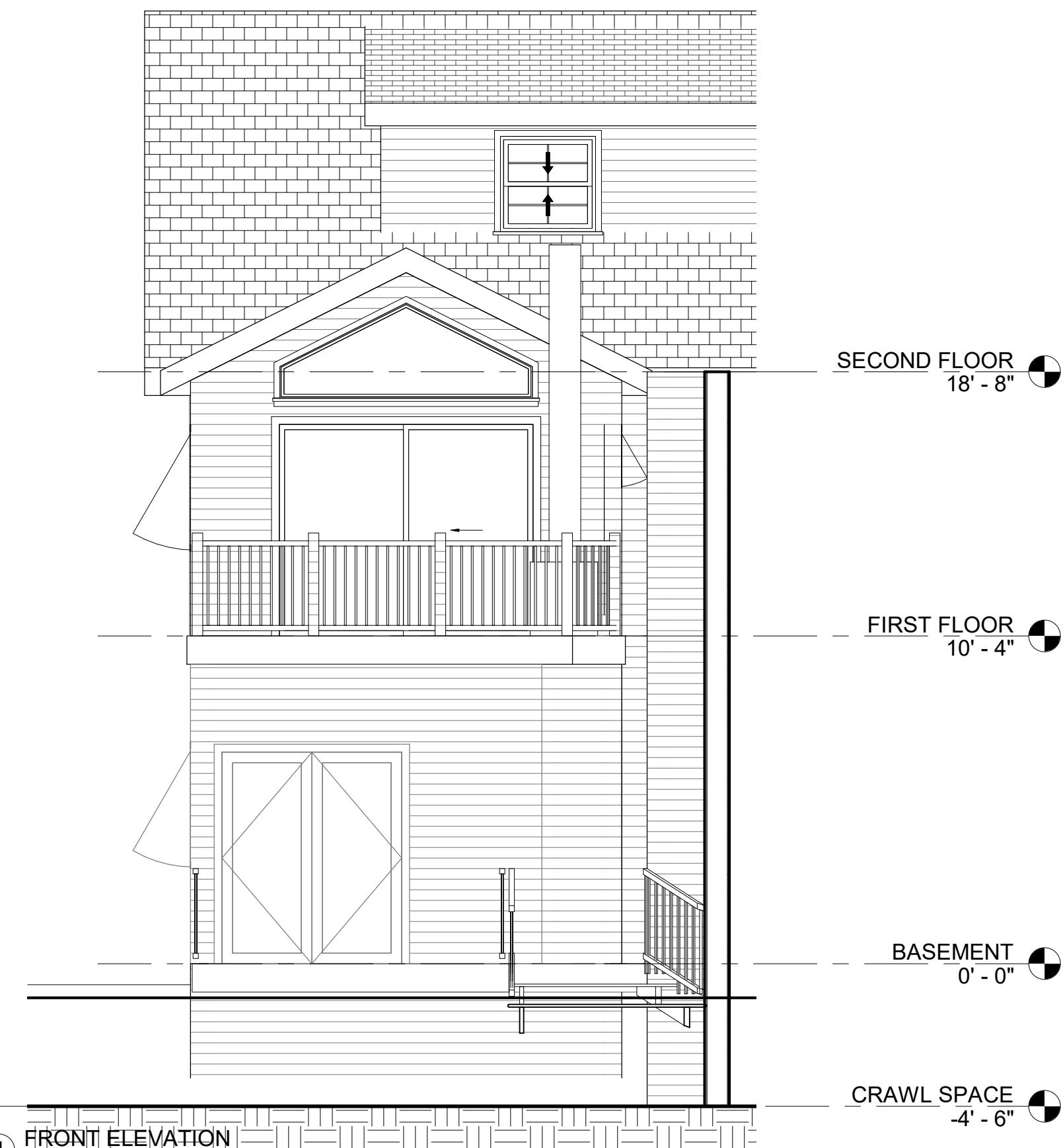
③ ROOF PLAN
1/4" = 1'-0"



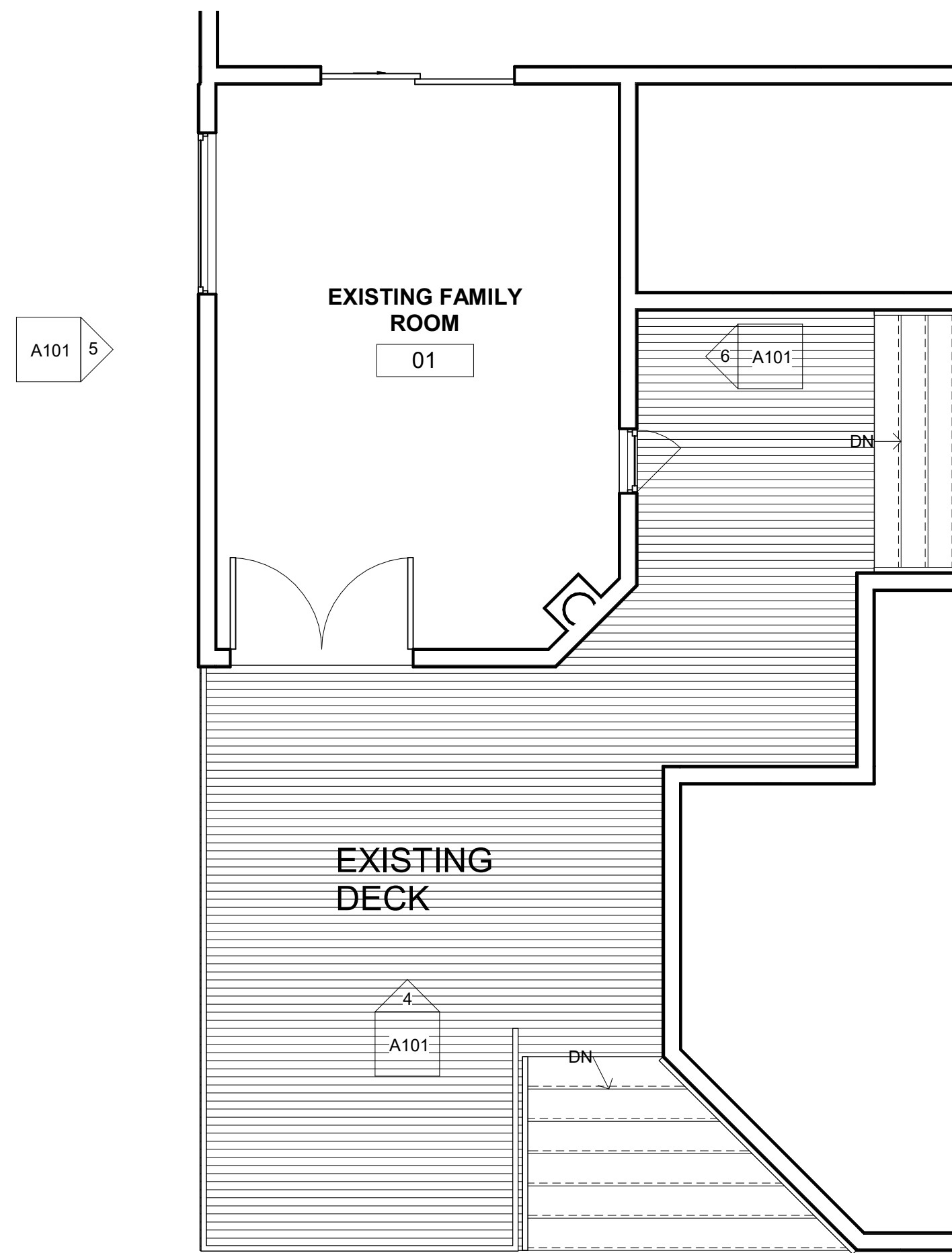
② SECOND FLOOR PLAN
1/4" = 1'-0"



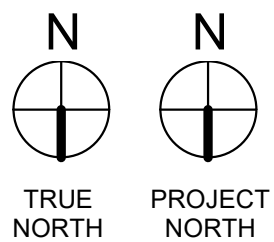
⑤ LEFT ELEVATION
1/4" = 1'-0"



④ FRONT ELEVATION
1/4" = 1'-0"



① FIRST FLOOR PLAN
1/4" = 1'-0"



4. 222 Court Street

- Recommended Approval

Background: The applicant is seeking approval for the replacement of existing concrete block front steps with a granite step. The granite step will be smooth-faced.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application****LUHD-218****Status:** Active**Submitted:** Oct 15, 2020**Applicant**

Kirsten Barton



4016629199



kirsten@blackheritagetrailnh.org

Location222 COURT ST
Portsmouth, NH 03801**Application Type****Please select application type from the drop down menu below**

Administrative Approval

Project Information**Brief Description of Proposed Work**

replace front cinder block step with granite step

Description of Proposed Work (Planning Staff)

--

Project Representatives**Email Address**

kirsten@blackheritagetrailnh.org

Mailing Address (Street)

222 Court Street

City/Town

Portsmouth

Zip Code

03801

Phone

4016629199

Business Name (if applicable)

--

If you selected "Other", please state relationship to project.

Staff

Full Name (First and Last)

Kirsten

State

NH

Relationship to Project

Other

Acknowledgement**I certify that the information given is true and correct to the best
of my knowledge.**

true

I hereby certify that as the applicant for permit, I am

Other

**By checking this box, I agree that this is equivalent to a
handwritten signature and is binding for all purposes related to
this transaction**

true

**If you selected "Other" above, please explain your relationship
to this project. Owner authorization is required.**

Building Committee Member





5. 249 Pleasant Street - Recommended Approval

Background: The applicant is seeking approval for the installation of an A/C condenser and a change to a previously approved design (return to original window count on the rear elevation of the home and new exterior door styles).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-197

Status: Active

Submitted: Sep 17, 2020

Applicant



Jennifer Ramsey



603-766-3760 ext. 1



jramsey@sommastudios.com

Location

249 PLEASANT ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

1) Add Condenser, return to original window count at back of home and switch out previously approved exterior door styles

2) Within the approved permit for the Carriage House renovation at 249 Pleasant St., Portsmouth, it is my intention that the specified 'Sliding Barn Doors' be mounted on the Inside of the main entry frame (so they are 'hidden' as the doors are opened), as opposed as mounted on the Outside. No change to the underlying specification on the permit is being requested.

Description of Proposed Work (Planning Staff)

1) The installation of an A/C condenser and a change to a previously approved design (return to original window count on the rear elevation of the home and new exterior door styles).

2) A change to a previously approved design on the Carriage House on the property (mount sliding barn style doors on the inside of the main entry frame versus the outside)

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Designer

INTERNAL USE ONLY -- Historic District Commission Review and Approval

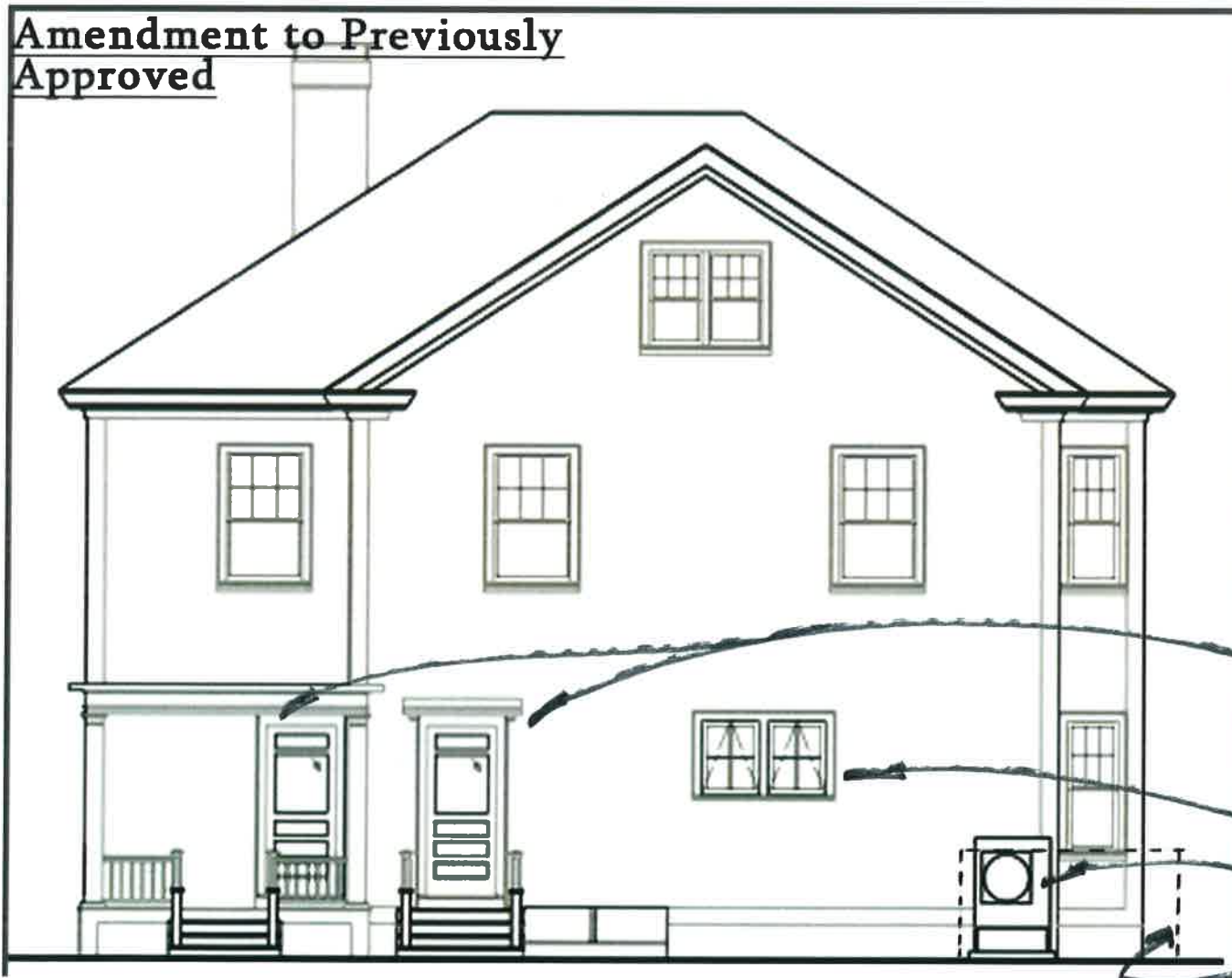
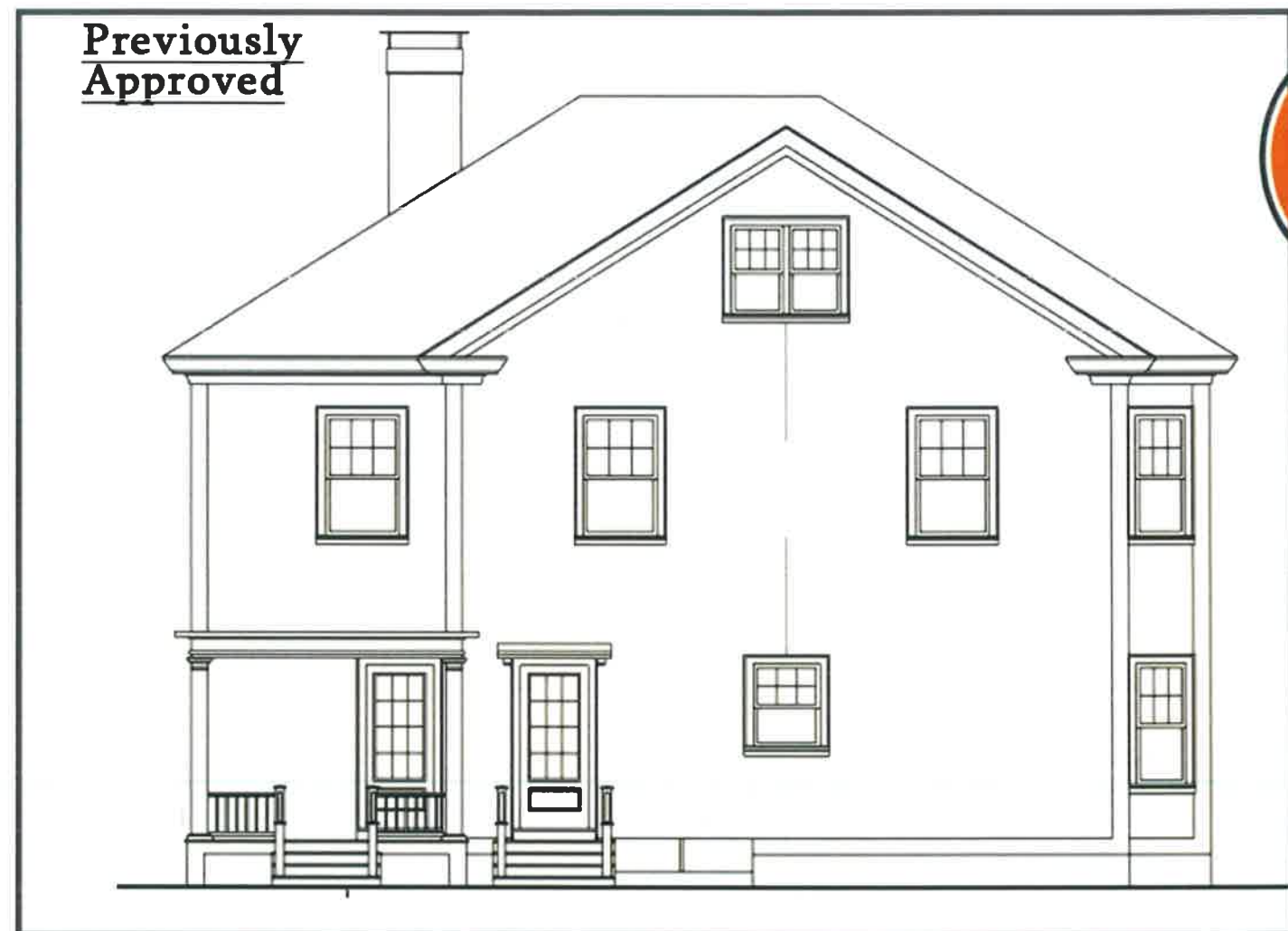
HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments



New doors in previously existing locations. (Style now matches original)

New Marvin windows in existing location (see Existing Photo)

New condenser on 4" concrete pad and 12" stand

Line of fence



HDC Amendment 10.2020
SOMMA Studios

249 Pleasant Street
Portsmouth, New Hampshire

New condenser on 4" concrete pad and 12" stand
(behind owner's own fence)



Existing Photo: Left Elevation



Job Name:

System Reference:

Date:



Outdoor Unit: MXZ-3C30NAHZ2

ACCESSORIES

The outdoor unit is delivered with the base pan heater factory installed.

Airflow Guide (PAC-SH96SG-E)
 3/8" x 1/2" Port Adapter (MAC-A454JP-E)
 1/2" x 3/8" Port Adapter (MAC-A455JP-E)
 1/2" x 5/8" Port Adapter (MAC-A456JP-E)
 1/4" x 3/8" Port Adapter (PAC-493PI)
 3/8" x 5/8" Port Adapter (PAC-SG76RJ-E)
 M-NET Adapter (PAC-IF01MNT-E)

(For data on specific indoor units, see the MXZ-C Technical and Service Manual.)

Specifications			Model Name
Unit Type			MXZ-3C30NAHZ2
Cooling* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,400 / 27,400
	Capacity Range	Btu/h	12,600 - 28,400
	Rated Total Input	W	2,272 / 2,661
Heating at 47°F* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,600 / 27,600
	Capacity Range	Btu/h	11,400 - 36,000
	Rated Total Input	W	2,096 / 2,187
Heating at 17°F* (Non-ducted/Ducted)	Rated Capacity	Btu/h	18,000 / 16,500
	Maximum Capacity	Btu/h	28,600 / 27,600
	Rated Total Input	W	1,991 / 1,993
Heating at 5°F*	Maximum Capacity	Btu/h	28,600
Connectable Capacity		Btu/h	12,000 - 36,000
Energy Star® (ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.)			Yes
Electrical Requirements	Power Supply	Voltage, Phase, Hertz	208 / 230V, 1-Phase, 60 Hz
	Recommended Fuse/Breaker Size	A	40
	MCA	A	30.5
Voltage	Indoor - Outdoor S1-S2	V	AC 208 / 230
	Indoor - Outdoor S2-S3	V	DC ±24
Compressor			DC INVERTER-driven Twin Rotary
Fan Motor (ECM)		F.L.A.	2.43
Sound Pressure Level	Cooling	dB(A)	54
	Heating	dB(A)	58
External Dimensions (H x W x D)		In mm	41-9/32 x 37-13/32 x 13 1048 x 950 x 330
Net Weight		Lbs / kg	189 / 86
External Finish			Munsell No. 3Y 7.8/11
Refrigerant Pipe Size O.D.	Liquid (High Pressure)	In / mm	1/4 / 6.35
	Gas (Low Pressure)	In / mm	A:1/2 / 12.7 ; B,C: 3/8 / 9.52
Max. Refrigerant Line Length		Ft / m	230 / 70
Max. Piping Length for Each Indoor Unit		Ft / m	82 / 25
Max. Refrigerant Pipe Height Difference	If IDU is Above ODU	Ft / m	49 / 15
	If IDU is Below ODU	Ft / m	49 / 15
Connection Method			Flared/Flared
Refrigerant			R410A

* Rating Conditions per AHRI Standard:

Cooling | Indoor: 80° F (27° C) DB / 67° F (19° C) WB

Cooling | Outdoor: 95° F (35° C) DB / W.B. 23.9° C (75° F)

Heating at 47°F | Indoor: 70° F (21° C) DB / 60° F (16° C) WB

Heating at 47°F | Outdoor: 47° F (8° C) DB / 43° F (6° C) WB

Heating at 17° F | Indoor: 70° F (21° C) DB

Heating at 17° F | Outdoor: 17° F (-8° C) DB / 15° F (-9° C) WB

SPECIFICATIONS: MXZ-3C30NAHZ2

OPERATING RANGE:

	Outdoor
Cooling	D.B. 14 to 115° F [D.B. -10 to 46° C]*1
Heating	W.B. -13 to 65° F [W.B. -25 to 18° C]

*1. D.B. 5 to 115° F [D.B. -15 to 46° C], when an optional Air Outlet Guide is installed.

ENERGY EFFICIENCIES:

Indoor Unit Type	SEER	EER	HSPF	COP @ 47°F	COP @ 17°F
Non-ducted (09+09+12)	18.0	12.5	11.0	4.00	2.65
Ducted and Non-ducted	17.00	11.40	10.40	3.85	2.58
Ducted (09+09+12)	16.0	10.3	9.8	3.70	2.50

NOTES:

- Minimum of two Indoor Units must be connected to the MXZ-3C30NAHZ2.
- Minimum installed capacity cannot be less than 12,000 Btu/h.
- Total connected capacity must not exceed 130% of outdoor unit capacity.
- System can operate with only one Indoor Unit turned on.
- Information provided at 208/230V.
- For Reference:
 - MXZ-C Technical & Service Manual for detailed specifications and additional information per Indoor Unit Combination.
 - MXZ Series Multi-Zone Indoor/Outdoor Combination Table for allowed unit combinations.

MVZ CONNECTION RULES:

- Only 1 MVZ may be used on any system.
- When an MVZ is connected, total connected capacity must be 100% or less.
- When an MVZ is connected, no P-Series indoor units can be used (PCA, PLA, or PEAD).

NOTES:

MXZ-3C30NAHZ2 OPERATIONAL PERFORMANCE

NON-DUCTED:

# of indoor unit	Total Nominal Capacity (x1000 Btu/h)	Total Indoor Unit Capacity (Btu/h)	Operational Performance for Indoor Unit Combinations (Unit A + Unit B + Unit C)	Cooling Capacity Range (Btu/h)		
				Heating Capacity Range (Btu/h)		
				Unit A	Unit B	Unit C
1	6	6,000	6	6,000	-	-
		7,400		7,400	-	-
1	9	9,000	9	9,000	-	-
		11,000		11,000	-	-
1	12	12,000	12	12,000	-	-
		14,400		14,400	-	-
1	15	14,000	15	14,000	-	-
		18,000		18,000	-	-
1	18	17,200	18	17,200	-	-
		21,600		21,600	-	-
1	24	22,500	24	22,500	-	-
		22,600		22,600	-	-
2	12	12,000	6 + 6	6,000	6,000	-
		14,800		7,400	7,400	-
2	15	15,000	6 + 9	6,000	9,000	-
		18,400		7,400	11,000	-
2	18	18,000	6 + 12	6,000	12,000	-
		22,000		7,500	14,500	-
2	21	20,000	6 + 15	6,000	14,000	-
		22,000		6,400	15,600	-
2	24	23,000	6 + 18	5,900	17,100	-
		23,000		5,900	17,100	-
2	30	24,000	6 + 24	5,100	18,900	-
		24,000		5,900	18,100	-
2	18	18,000	9 + 9	9,000	9,000	-
		22,000		11,000	11,000	-
2	21	20,000	9 + 12	8,600	11,400	-
		22,000		9,500	12,500	-
2	24	23,000	9 + 15	9,000	14,000	-
		23,000		8,700	14,300	-
2	27	24,000	9 + 18	8,200	15,800	-
		24,000		8,100	15,900	-
2	33	24,000	9 + 24	6,900	17,100	-
		24,000		7,900	16,100	-
2	24	23,000	12 + 12	11,500	11,500	-
		23,000		11,500	11,500	-
2	27	24,000	12 + 15	11,100	12,900	-
		24,000		10,700	13,300	-
2	30	24,000	12 + 18	9,900	14,100	-
		24,000		9,600	14,400	-
2	36	24,000	12 + 24	8,300	15,700	-
		24,000		9,300	14,700	-
2	30	24,000	15 + 15	12,000	12,000	-
		24,000		12,000	12,000	-
2	33	24,000	15 + 18	10,800	13,200	-
		24,000		10,900	13,100	-
2	36	24,000	18 + 18	12,000	12,000	-
		24,000		12,000	12,000	-
3	18	18,000	6 + 6 + 6	6,000	6,000	6,000
		22,000		7,300	7,300	7,300
3	21	21,000	6 + 6 + 9	6,000	6,000	9,000
		25,800		7,400	7,400	11,000
3	24	24,000	6 + 6 + 12	6,000	6,000	12,000
		28,400		7,200	7,200	14,000
3	27	26,000	6 + 6 + 15	6,000	6,000	14,000
		28,400		6,400	6,400	15,600
3	30	28,400	6 + 6 + 18	5,800	5,800	16,700
		28,600		5,800	5,800	17,000
3	36	28,400	6 + 6 + 24	4,900	4,900	18,500
		28,600		5,700	5,700	17,300

MXZ-3C30NAHZ2 OPERATIONAL PERFORMANCE, CONTD.

NON-DUCTED:

# of indoor unit	Total Nominal Capacity (x1000 Btu/h)	Total Indoor Unit Capacity (Btu/h)	Operational Performance for Indoor Unit Combinations (Unit A + Unit B + Unit C)	Cooling Capacity Range (Btu/h)		
				Heating Capacity Range (Btu/h)		
				Unit A	Unit B	Unit C
3	24	24,000	6 + 9 + 9	6,000	9,000	9,000
		28,400		7,100	10,600	10,600
3	27	28,400	6 + 9 + 12	6,300	9,500	12,600
		28,400		6,400	9,500	12,500
3	30	28,400	6 + 9 + 15	5,900	8,800	13,700
		28,600		5,800	8,600	14,100
3	33	28,400	6 + 9 + 18	5,300	7,900	15,200
		28,600		5,300	7,900	15,400
3	30	28,400	6 + 12 + 12	5,700	11,400	11,400
		28,600		5,800	11,400	11,400
3	33	28,400	6 + 12 + 15	5,300	10,700	12,400
		28,600		5,300	10,300	12,900
3	36	28,400	6 + 12 + 18	4,800	9,700	13,900
		28,600		4,900	9,500	14,200
3	36	28,400	6 + 15 + 15	5,000	11,700	11,700
		28,600		4,900	11,900	11,900
3	27	28,400	9 + 9 + 9	9,500	9,500	9,500
		28,400		9,500	9,500	9,500
3	30	28,400	9 + 9 + 12	8,500	8,500	11,400
		28,600		8,600	8,600	11,300
3	33	28,400	9 + 9 + 15	8,000	8,000	12,400
		28,600		7,900	7,900	12,900
3	36	28,400	9 + 9 + 18	7,300	7,300	13,900
		28,600		7,200	7,200	14,200
3	33	28,400	9 + 12 + 12	7,700	10,300	10,300
		28,600		7,900	10,300	10,300
3	36	28,400	9 + 12 + 15	7,300	9,700	11,400
		28,600		7,200	9,500	11,900
3	36	28,400	12 + 12 + 12	9,500	9,500	9,500
		28,600		9,500	9,500	9,500

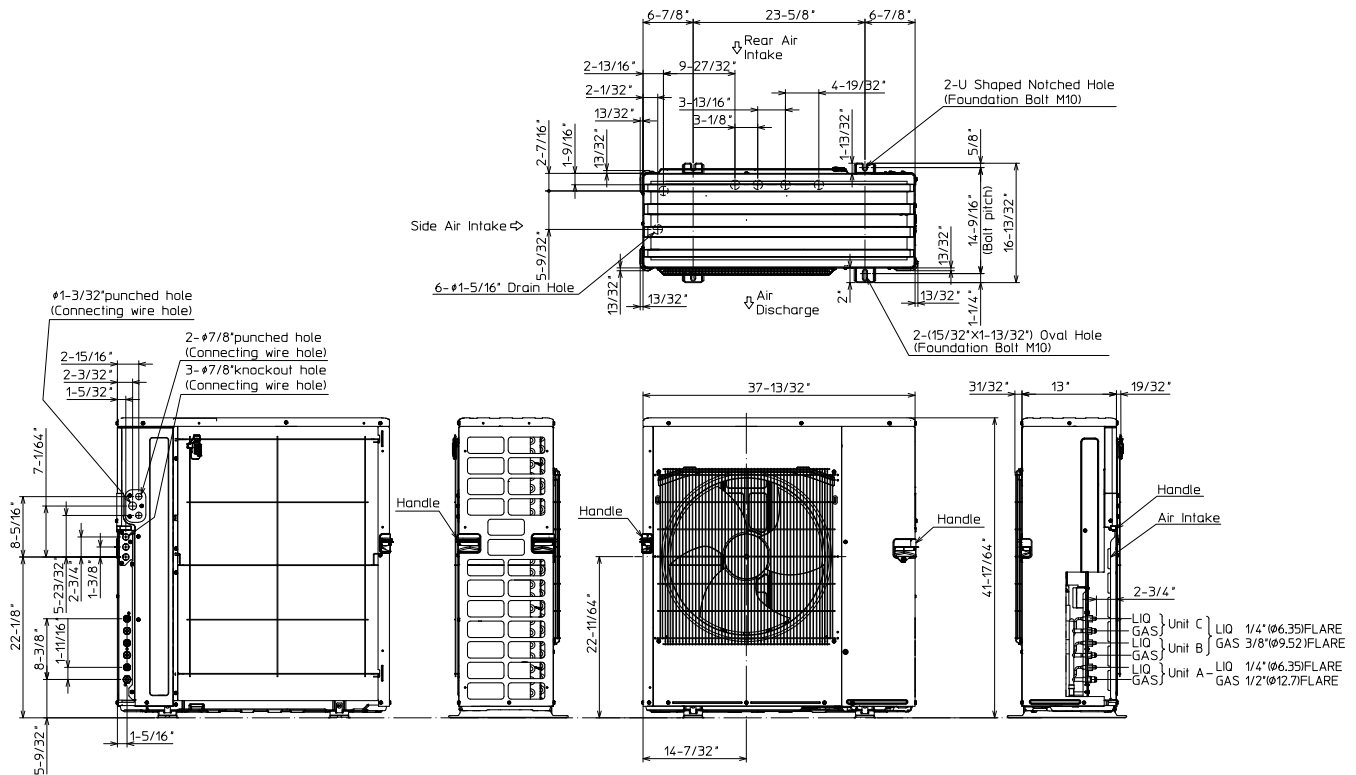
MXZ-3C30NAHZ2 OPERATIONAL PERFORMANCE, CONTD.

DUCTED:

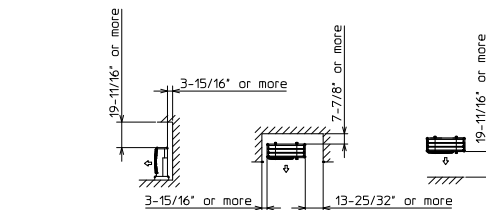
# of indoor unit	Total Nominal Capacity (x1000 Btu/h)	Total Indoor Unit Capacity (Btu/h)	Operational Performance for Indoor Unit Combinations (Unit A + Unit B + Unit C)	Cooling Capacity Range (Btu/h)		
				Heating Capacity Range (Btu/h)		
				Unit A	Unit B	Unit C
1	9	9,000	9	9,000	-	-
		10,900		10,900	-	-
1	12	12,000	12	12,000	-	-
		13,600		13,600	-	-
1	15	15,000	15	15,000	-	-
		18,000		18,000	-	-
1	18	17,200	18	17,200	-	-
		21,600		21,600	-	-
1	24	22,600	24	22,600	-	-
		24,000		24,000	-	-
2	18	18,000	9 + 9	9,000	9,000	-
		21,800		10,900	10,900	-
2	21	21,000	9 + 12	9,000	12,000	-
		22,800		10,100	12,700	-
2	24	24,000	9 + 15	9,000	15,000	-
		24,000		9,100	14,900	-
2	27	24,000	9 + 18	8,200	15,800	-
		24,000		8,000	16,000	-
2	33	24,000	9 + 24	6,800	17,200	-
		24,000		7,500	16,500	-
2	24	24,000	12 + 12	12,000	12,000	-
		24,000		12,000	12,000	-
2	27	24,000	12 + 15	10,700	13,300	-
		24,000		10,300	13,700	-
2	30	24,000	12 + 18	9,900	14,100	-
		24,000		9,300	14,700	-
2	36	24,000	12 + 24	8,300	15,700	-
		24,000		8,700	15,300	-
2	30	24,000	15 + 15	12,000	12,000	-
		24,000		12,000	12,000	-
2	33	24,000	15 + 18	11,200	12,800	-
		24,000		10,900	13,100	-
2	36	24,000	18 + 18	12,000	12,000	-
		24,000		12,000	12,000	-
3	27	27,000	9 + 9 + 9	9,000	9,000	9,000
		27,400		9,100	9,100	9,100
3	30	27,400	9 + 9 + 12	8,200	8,200	11,000
		27,600		8,500	8,500	10,600
3	33	27,400	9 + 9 + 15	7,500	7,500	12,500
		27,600		7,600	7,600	12,500
3	33	27,400	9 + 12 + 12	7,500	10,000	10,000
		27,600		7,900	9,900	9,900
3	36	27,400	12 + 12 + 12	9,100	9,100	9,100
		27,600		9,200	9,200	9,200
3	36	27,400	9 + 9 + 18	7,000	7,000	13,400
		27,600		6,900	6,900	13,700
3	36	27,400	9 + 12 + 15	6,900	9,100	11,400
		27,600		7,100	8,800	11,700

DIMENSIONS: MXZ-3C30NAHZ2

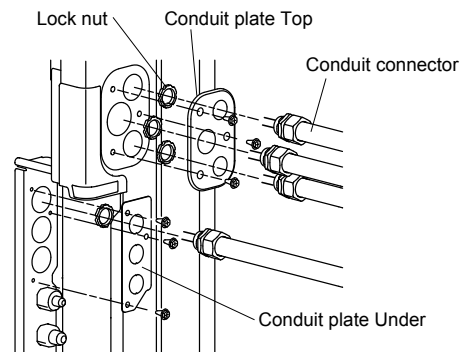
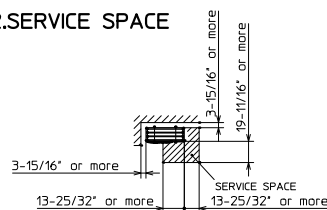
Unit: inch



1.FREE SPACE



2.SERVICE SPACE



COOLING & HEATING

1340 Satellite Boulevard, Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com



Specifications are subject to change without notice.

© 2019 Mitsubishi Electric Trane HVAC US, LLC

7117 — THERMAL SASH



SERIES: Exterior French & Sash Doors

TYPE: Exterior French & Sash

APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

Construction Type:

Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

Panels: 3/4" VG Flat Panel

Profile: Ovolo Sticking

Glass: 3/4" Insulated Glazing

STANDARD FEATURES



Any Wood Species



Virtually Any Size

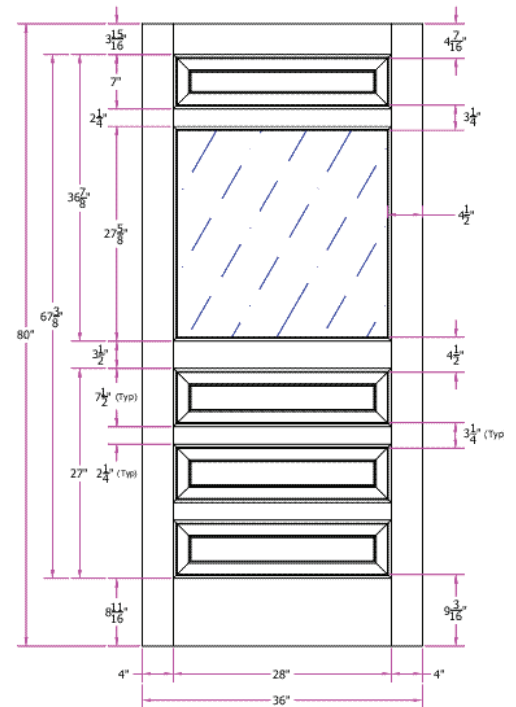


Glass Options

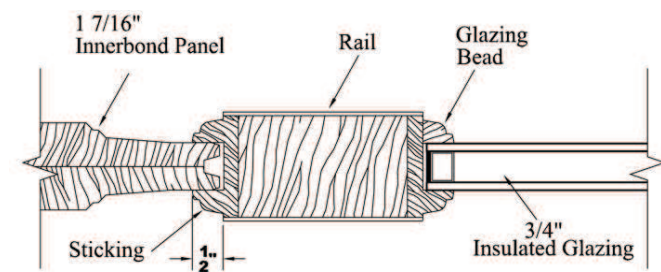


Privacy Rating: 1

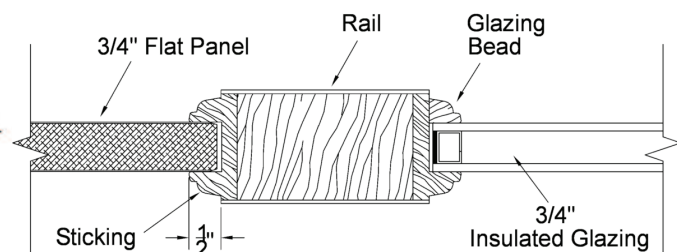
DETAILED DRAWING



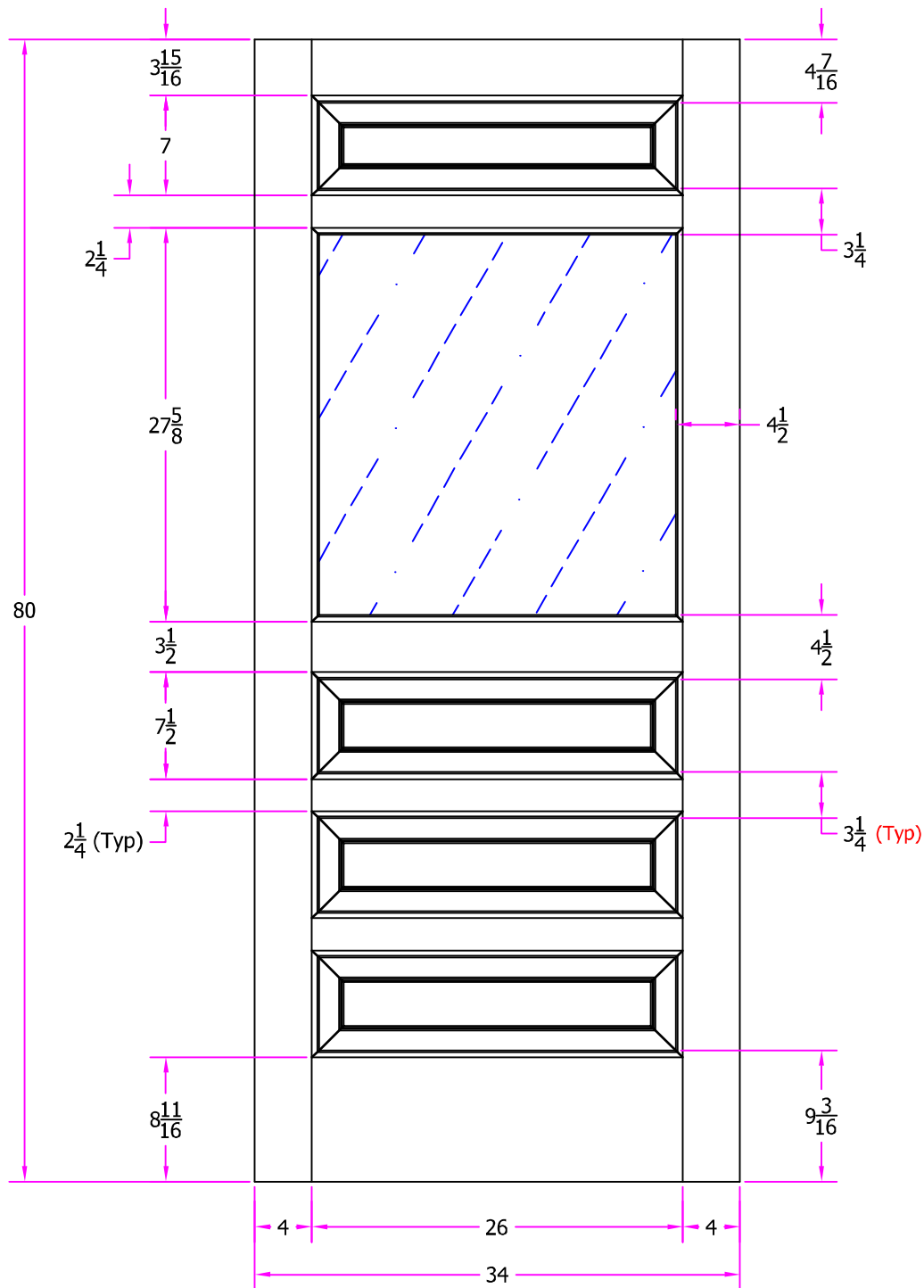
DETAILS



(Standard)



(Optional)



THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

Revisions

Rev. #	Description	Date	by Whom

TITLE 7117 2/10 x 6/8 Customer Layout			
DRAWING NO. D-7117-210-608-0700			
LAYOUT 00	SCALE NTS	PATTERN # 7059	
DRAWN BY: J. Decker		DATE 11/28/2007	
Simpson®			

6. 46-64 Maplewood Avenue - TBD

Background: The applicant is seeking approval for changes to a previously approved design (add rail along Maplewood Avenue at sidewalk transition and replace existing openings with taller windows along Deer and Bridge Streets).

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-220

Status: Active

Submitted: Oct 16, 2020

Applicant



Jennifer Ramsey



603-766-3760 ext. 1



jramsey@sommastudios.com

Location

0 MAPLEWOOD AVE
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Addition of rail on Maplewood at sidewalk transition. Replace existing openings with taller windows on Deer and Bridge Street.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best
of my knowledge.

true

By checking this box, I agree that this is equivalent to a
handwritten signature and is binding for all purposes related to
this transaction

true

I hereby certify that as the applicant for permit, I am
Owner of this property

If you selected "Other" above, please explain your relationship
to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

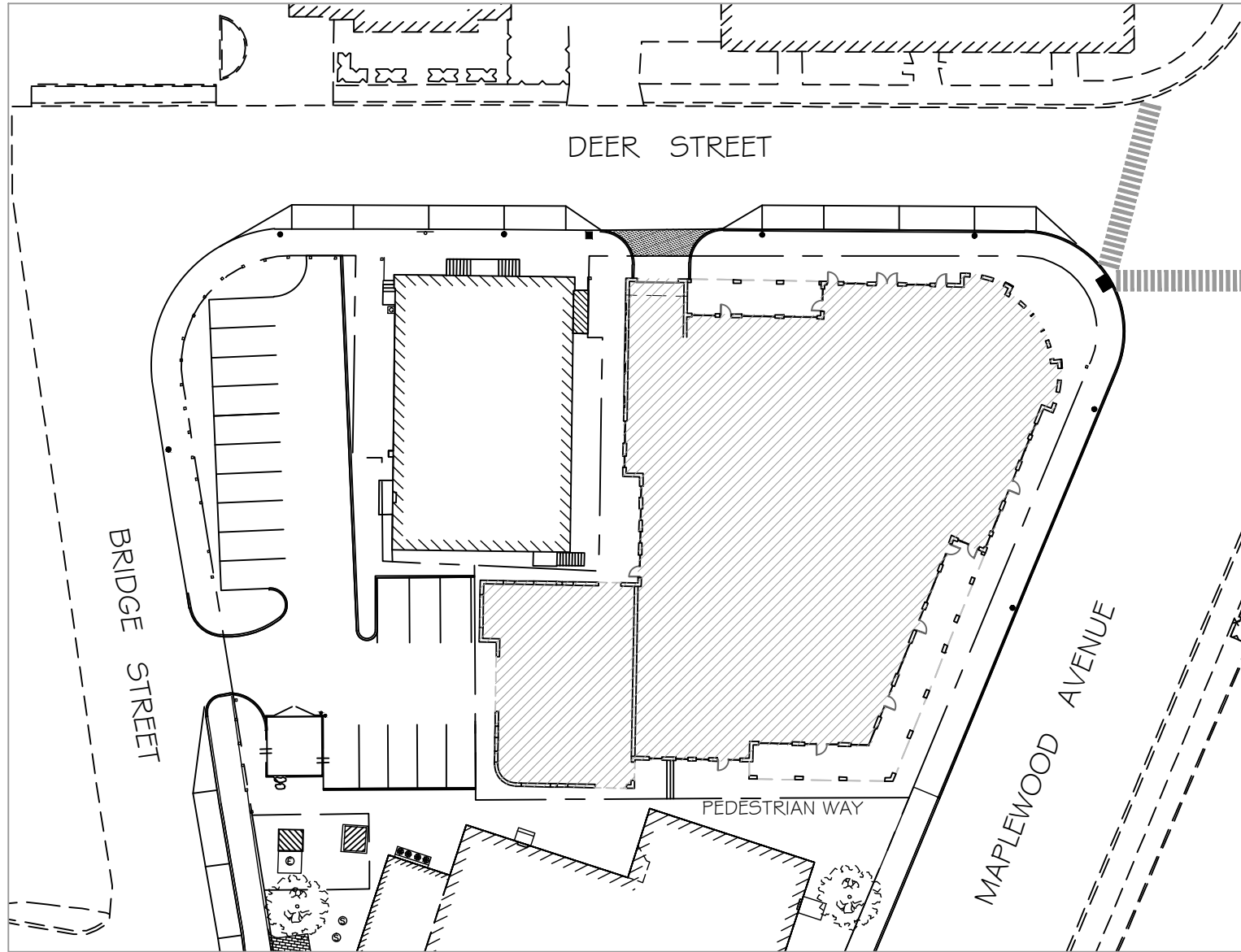
INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

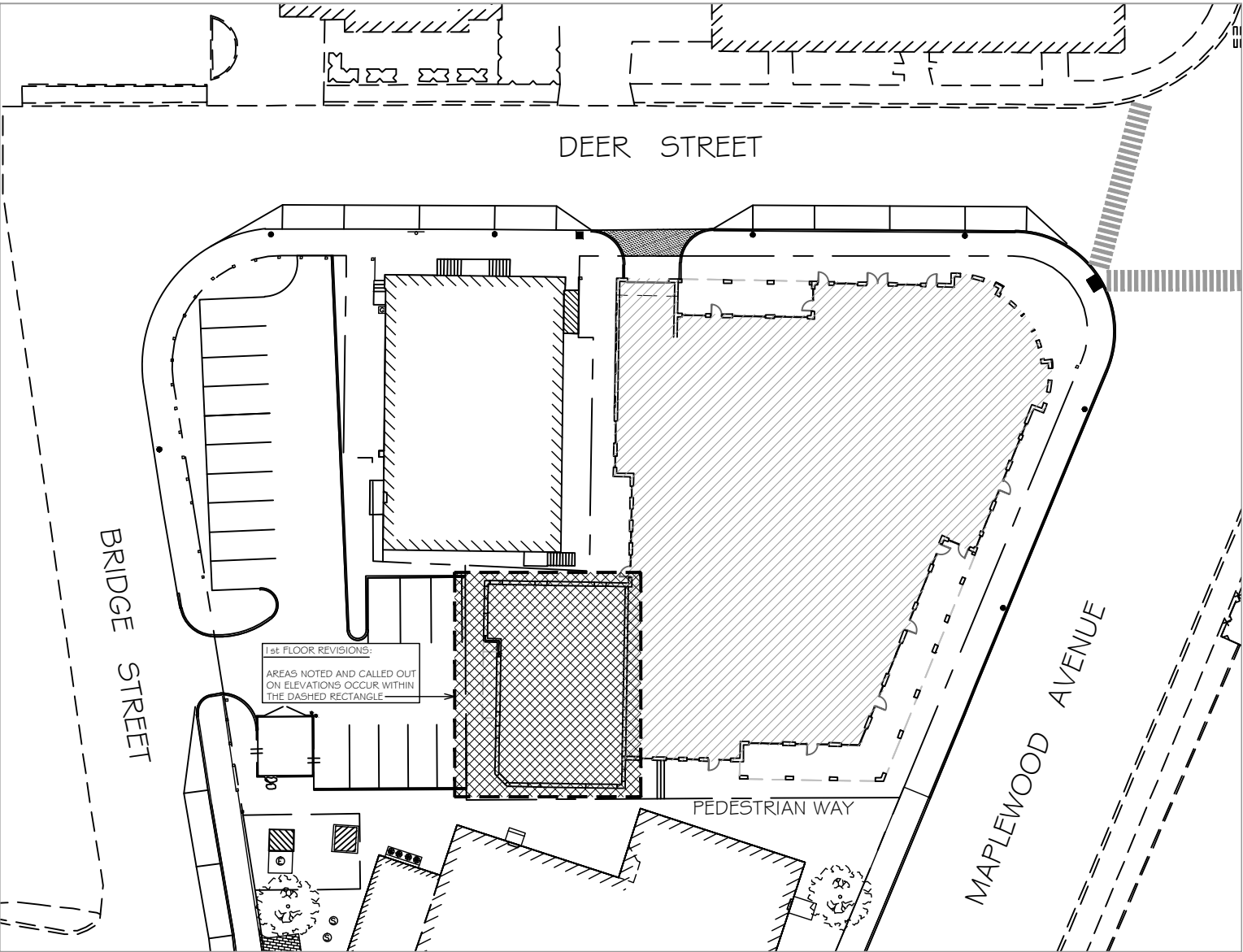
--

Owner Addressee Prefix and Last Name

--



Previously Approved Building Footprint
 SCALE: N.T.S.



Proposed Building Footprint
 SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

11.4.20

SH. 1



Previously Approved Maplewood Avenue Elevation

SCALE: N.T.S.



Proposed Maplewood Avenue Elevation

SCALE: N.T.S.

RETAINING WALL w/RAILING-
MATCH PREVIOUSLY APPROVED
DEER ST. DESIGN

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

11.4.20

SH. 2





Previously Approved Deer Street Elevation

SCALE: N.T.S.



Proposed Deer Street Elevation

SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

11.4.20

SH. 3



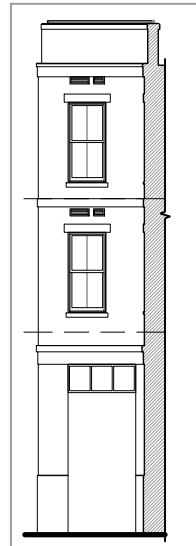


Previously Approved Bridge Street Elevation
SCALE: N.T.S.



Proposed Bridge Street Elevation
SCALE: N.T.S.

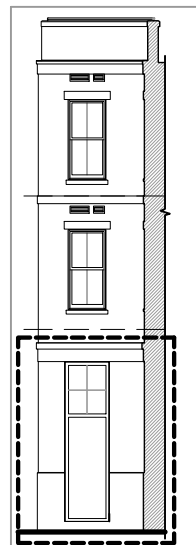




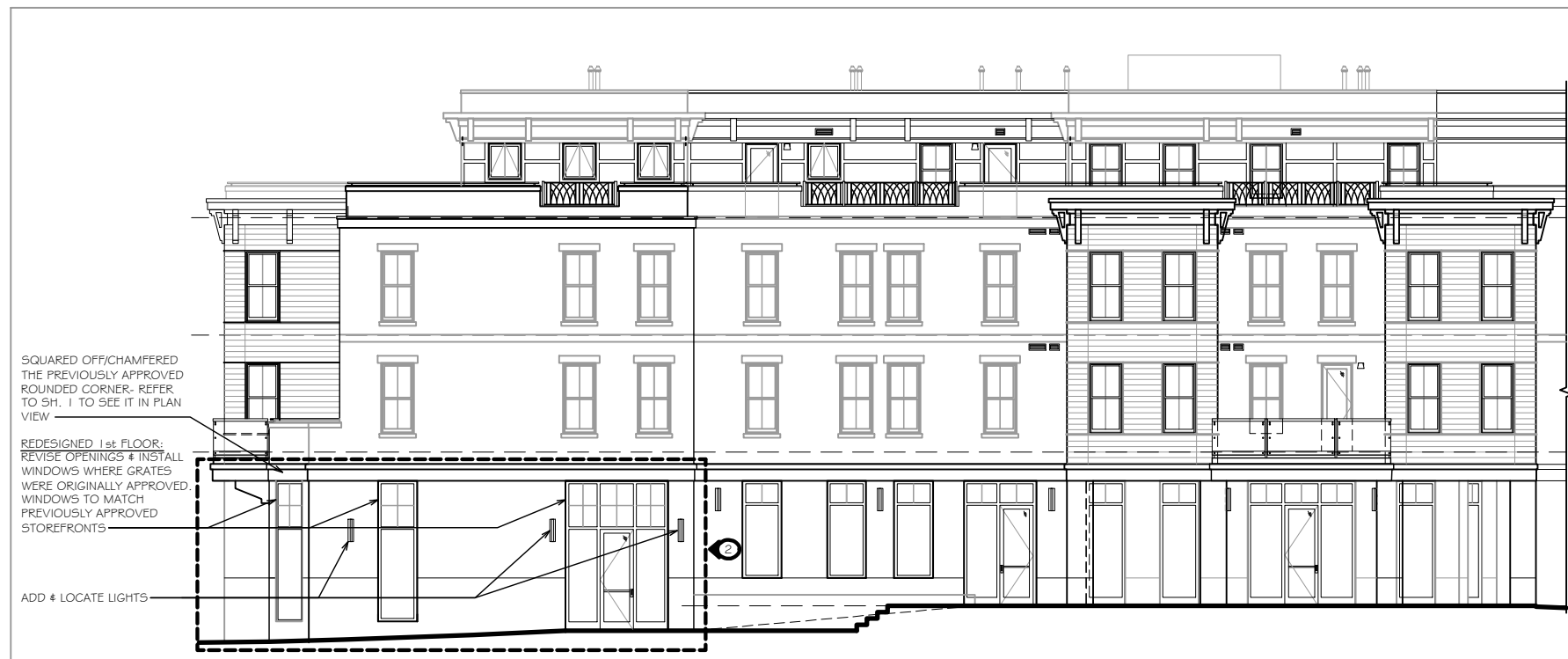
1 Sidewall Elev.
SCALE: N.T.S.



Previously Approved Pedestrian Way Elevation
SCALE: N.T.S.



2 Sidewall Elev.
SCALE: N.T.S.



Proposed Pedestrian Way Elevation
SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

11.4.20

SH. 5



7. 10 New Castle Avenue - Recommended Approval

Background: The applicant is seeking approval for replacement rear decking to go from pressure treated wood to Mahogany or similar hardwood (unpainted) and to replace the lattice surround with vertical wood board.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application****LUHD-222****Status:** Active**Submitted:** Oct 21, 2020**Applicant**

Mary Kastel



603-601-0626



bonniekastel@gmail.com

Location

10 NEW CASTLE AVE

B

Portsmouth, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Project Information**Brief Description of Proposed Work**

Replace back porch decking (currently painted, disintegrating pressure treated wood) with Mahogany or similar hardwood, to be left unpainted. Replace poor quality lattice skirt around base of back porch with vertical wood board screening.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Business Name (if applicable)**

--

City/Town

Portsmouth

Relationship to Project

Owner

Zip Code

03801

Mailing Address (Street)

10 New Castle Ave.

If you selected "Other", please state relationship to project.

--

State

NH

Phone

6034793981

Email Address

clyde3@gmail.com

Full Name (First and Last)

Clyde Logue

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.







8. 77 New Castle Avenue - Recommended Approval

Background: The applicant is seeking approval for the installation of a mini-split A/C condenser on the shed in the rear of the property. Note that the neighbors' fence provides a visual screen.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-223

Status: Active

Submitted: Oct 22, 2020

Applicant



Elisabeth Blaisdell



6037772134



betsyblaisdell@gmail.com

Location

77 NEW CASTLE AVE

Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Installation of a small condenser for a minisplit on a completely hidden exterior wall of our garden shed located in our backyard.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

77 New Castle Ave Application to HDC

Hello Committee:

Enclosed is my application for obtaining administrative approval to install a small minisplit condenser on a hidden side of the exterior of our backyard garden shed. Due to COVID, my husband and I are both working remote. With small toddlers at home, we've been using our uninsulated and unheated/cooled garden shed to work. The proposed installation location for the condenser is in an area is not visible to any neighbors, our house, or the road. It is the widest, hidden spot on the structure. Installing it here will allow easy access to continue maintaining the building, which was recently rebuilt. The enclosed photos show the location and size/design of the condenser as well as examples of our next-door neighbor's condensers, which have been placed in a similar fashion. We have received a variance from the BOA on the reduced setback for the installation and now seek your approval for the small, exterior modification to the structure.

Please let me know if I can answer any questions.

Best,

"Betsy" Elisabeth Blaisdell

Site plan showing proposed location of the condenser

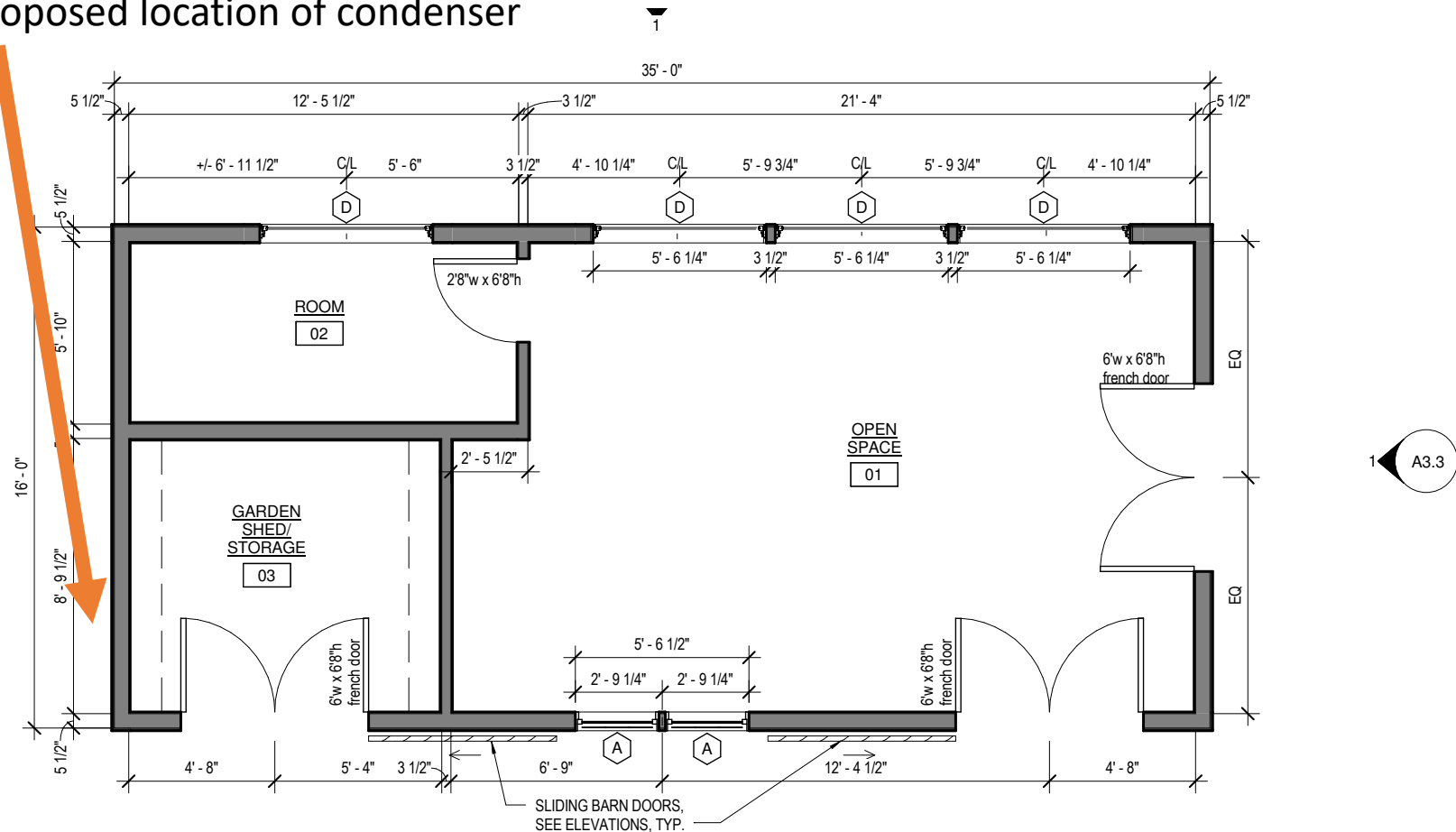
Proposed location of
condenser



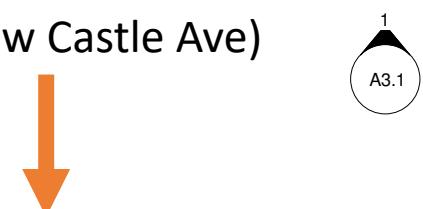
Elevation of the garden shed showing the proposed exterior location of the condenser

Proposed location of condenser

69 New
Castle Ave
barn (with
condenser
facing our
shed) A3.3



Our house (77 New Castle Ave)



BLAISDELL RESIDENCE
Barn
Portsmouth, NH
OWNER
Betsy Blaisdell
77 New Castle Ave.
Portsmouth, NH
FIRST FLOOR
SCALE:
1/4" = 1'-0"
DATE:
09/27/13



Visibility to shed (where construction will take place) from street. The side where the condenser will be is not viewable from the street, any neighboring properties, or even from our house (due to location in the back corner of our property and a fence whose shape and size blocks all views).



Proposed hidden location
for condenser

View of the shed, proposed building permit location, from our house. The condenser will be hidden behind a fence on the left side of the structure.

Other sides are viewable from the street or by neighbors. The rear is too narrow to locate the equipment and still easily maintain the overall structure for painting and other repairs.

The neighbor's fence makes a notch out shed to accommodate our and property line. This 3'foot bump out from our structure is the perfect hiding place for mechanical equipment because it is not viewable until you sneak beside the shed at the fence bump out. It is the widest hidden spot. Building maintenance can still easily be performed with the condenser located here.



Condenser unit will be hidden behind the fence on the left and not visible from our yard or our neighbors (due to neighbor's fence)



Proposed condenser location will be between our shed (in green) and the neighbor's fence. Width is approx. 3', requiring a variance from the 10' set back requirement. This area can be accessed from the backyard or by going around the back of the shed.



Narrow entrance to bump out in fence means there is no visibility from anyone's property



Measured width in the proposed location for the condenser (39")





Interior view of the shed
(left side if facing front
of the structure) where
the interior unit of the
minisplit will go



On the same side of our property where we propose to put the condenser, our neighbors have installed three condensers: two on their house and one on their barn in their backyard. All three face our property directly. The two on their main house are within a few feet of our property line and perfectly visible from our dining room and New Castle Ave.

Our dining room





View of our neighbor's condenser on their barn, which faces our shed. You can see the bump out in the fence for our shed where their bushes bump into their yard. Our condenser will be a similar size but far newer

Our garden shed, proposed location of the condenser



Specifications for our
proposed minisplit:

Manufacturer Name: LG
Manufacturer Part No: LAU120HSV2
Quantity: [Add to Cart](#)
[Add to a new shopping list](#)



This is an outdoor unit only. Indoor unit (LAN120HSV2) must be purchased separately.
(This item is not compatible with discontinued model LAU120HSV. You can not mix and match these items)

This item qualifies under the American Taxpayer Relief Act of 2012 renewed the federal tax credits for homeowners who install high efficiency energy saving products in their prior between January 1, 2012 and December 31, 2013, subject to certain limitations.

To apply for the tax credit, you must file and submit the relevant tax forms. For products "placed in service" in 2013, you would take the tax credit on your 2013 income taxes. Re your receipts and the Manufacturer's Certification Statement for your records.

Please see [Federal Tax Credits for Consumer Energy Efficiency](#) for additional information.

The slim, contemporary styling of the Art Cool models will appeal to today's discerning customer. Art Cool Duct-Free Air Conditioning Systems from LG maximize the efficiency a duct-free technology.

Specs

Cooling Capacity (BTU):	11200
Heating Capacity (BTU):	13300
Energy Star Rated:	Yes
Number of Zones:	1
Refrigerant Type:	R-410A
Application:	Cooling
EER:	12.5
SEER:	20
Outdoor Voltage:	230/208-60-1
Outdoor dB(A):	45
Outdoor Weight:	77.2 lbs
Outdoor Dimensions (H x W x D):	21-7/16" x 30-5/16" x 11-5/16"

9. 39 Richards Avenue

- Recommended Approval

Background: The applicant is seeking approval for the installation of a heat pump on the rear (Northeast) corner of the structure. The unit is not visible from the public way.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-224

Status: Active

Submitted: Oct 23, 2020

Applicant



Tom Morgan



6032052329



tzm7@mac.com

Location

39 RICHARDS AVE
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Install a 42,000 BTU Mitsubishi heat pump adjacent to the building's northeast corner

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best
of my knowledge.

true

By checking this box, I agree that this is equivalent to a
handwritten signature and is binding for all purposes related to
this transaction

true

I hereby certify that as the applicant for permit, I am
Owner of this property

If you selected "Other" above, please explain your relationship
to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Ductless Mini-Split Heat Pump at 39 Richards Ave.



The view above is looking north toward the Historic District. In the center of the photo is the front façade of our home at 39 Richards Avenue. The street is to the left.

We propose five air handlers, all situated indoors, and a Mitsubishi 5-Zone Hyperheating Condenser, referred to hereafter as a heat pump (Model #MXZ-5C42NAHZ-U1) to be situated outdoors at the rear of the building.

Application for HDC Administrative Approval at 39 Richards Avenue

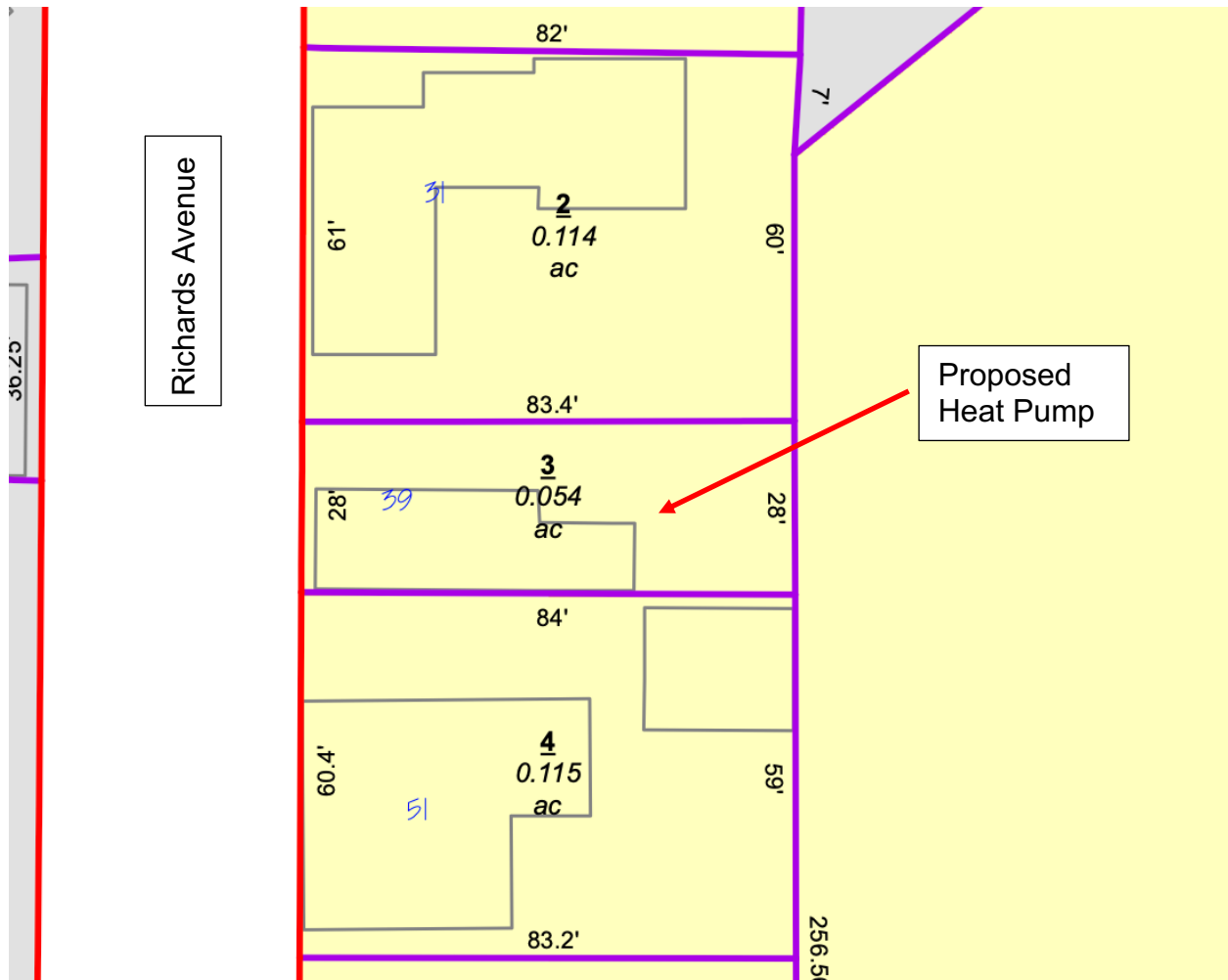
The Building's Relationship to the Historic District



The map above was downloaded from the City's website. Since 1975, the historic district boundaries in the vicinity of Middle Street have not moved, however the Planning Department's interpretation of the historic district's perimeter has varied over the years, ranging from findings that our home is just outside the district.. to just barely inside.

This application for administrative approval assumes the entire building to be subject to the regulatory provisions that govern the historic district pursuant to Section 10.631.50 of the Zoning Ordinance. It bears noting that the proposed heat pump would be situated well outside of the district boundaries, and quite far from the street.

Locus



The sketch above depicts lot lines and building footprints for 31, 39 & 51 Richards Avenue. The proposed location of the heat pump observes all requisite setbacks, i.e. a minimum of 10 feet from the gas meter and all abutting properties. The proposed heat pump would be 11 feet from the gas meter, 11 feet from the property at 51 Richards Avenue, 16 feet from the property at 31 Richards Avenue, and 26 feet from the Middle School playing field.

The proposed heat pump location is the furthest possible site from Richards Avenue and the historic district's perimeter.

The heat pump will not be visible from 51 Richards Avenue, or from the public right-of-way in front of 39 Richards, or from 31 Richards as viewed from ground level due to a 6' high wooden fence on that property.

Application for HDC Administrative Approval at 39 Richards Avenue

South Façade



The heat pump will not be visible from the south.

North Façade



This photo was taken from the public sidewalk in front of 31 Richards Avenue. The heat pump will not be visible from this vantage point.

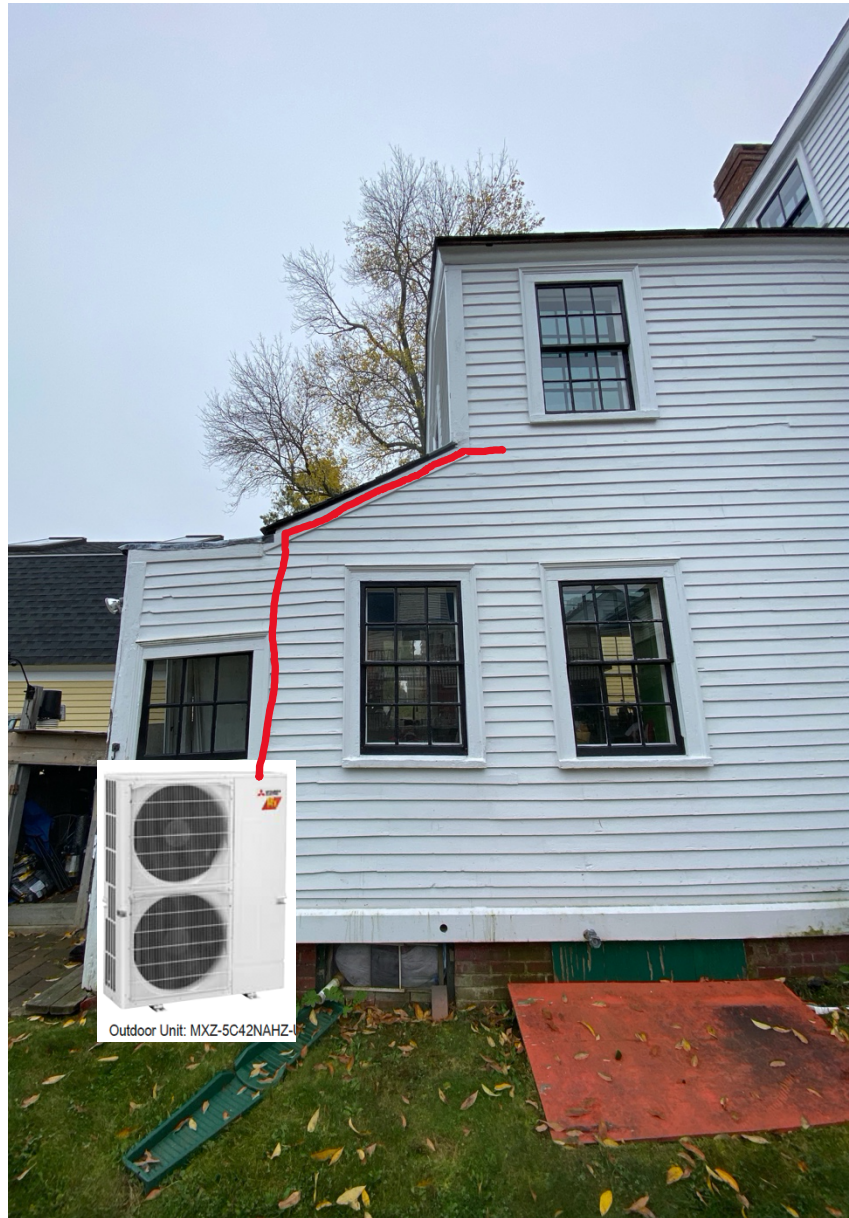
Application for HDC Administrative Approval at 39 Richards Avenue

The Building's Northeast Corner



The heat pump will be on a stand immediately adjacent to the north façade, to the immediate right of the back door, pictured above, and 11 feet east of the gas meter. Most of the rear entry's vestibule dates to the 1950's, and is in poor condition.

North Façade



The heat pump will be situated adjacent to the north wall of the rear entry vestibule. The outdoor unit is 53" in height, 42" in width, and 13" in depth.

The red line shown above represents the location of a proposed line set to run from the rear room on the 2nd floor, to be affixed to the building's exterior. The line set is depicted here in red for illustrative purposes, however the installed pipes will be painted the same color as the clapboards. All other line sets connecting air handlers to the heat pump will be installed inside the building.

SUBMITTAL DATA: MXZ-5C42NAHZ-U1

MULTI-INDOOR INVERTER HEAT-PUMP SYSTEM

Job Name:	Location:	Date:
Purchaser:	Engineer:	
Submitted to:	For <input type="checkbox"/> Reference <input type="checkbox"/> Approval <input type="checkbox"/> Construction	
System Designation:	Schedule No.:	

GENERAL FEATURES

- Quiet operation
- Built-in base pan heater to prevent ice in drain pan

ACCESSORIES

- ☐ Three-port Branch Box (PAC-MKA(30)(31)BC)
- ☐ Five-port Branch Box (PAC-MKA(50)(51)BC)
- ☐ Distribution Pipe for Flare Connection (MSDD-50AR; necessary for installing two branch boxes)
- ☐ Distribution Pipe for Braze Connection (MSDD-50BR; necessary for installing two branch boxes)
- ☐ 3/8" x 1/2" Port Adapter (MAC-A454JP)
- ☐ 1/2" x 3/8" Port Adapter (MAC-A455JP)
- ☐ 1/2" x 5/8" Port Adapter (MAC-A456JP)
- ☐ 1/4" x 3/8" Port Adapter (PAC-493PI)
- ☐ 3/8" x 5/8" Port Adapter (PAC-SG76RJ)
- ☐ Windscreens (*1)



Outdoor Unit: MXZ-5C42NAHZ-U1

Note: Mitsubishi Electric (MESCA) supports the use of only MESCA supplied and approved Snow Guard / Wind Deflectors / Windscreens and accessories for proper functioning of the unit(s). Use of non-MESCA supported Snow Guard / Wind Deflectors / Windscreens and accessories will affect warranty coverage.

Specifications			Model Name
Unit Type			MXZ-5C42NAHZ-U1
Cooling* (Non-ducted / Ducted)	Rated Capacity	Btu/h	42,000 / 42,000
	Capacity Range	Btu/h	6,000 - 42,000 / 12,000 - 54,000
	Rated Total Input	W	3,130 / 3,890
Heating at 47°F* (8.3°C*) (Non-ducted / Ducted)	Rated Capacity	Btu/h	48,000 / 48,000
	Capacity Range	Btu/h	7,200 - 48,000 / 12,000 - 54,000
	Rated Total Input	W	3,890 / 4,350
Heating at 17°F* (-8.3°C*) (Non-ducted/Ducted)	Rated Capacity	Btu/h	35,800 / 36,600
	Maximum Capacity		48,000 / 48,000
	Rated Total Input	W	3,650 / 4,290
Heating at 5°F* (-15°C*)	Maximum Capacity	Btu/h	48,000
Electrical Requirements	Power Supply	Voltage, Phase, Hertz	208 / 230V, 1-Phase, 60 Hz
	Max. Fuse Size / Max. Breaker Size	A	52 / 50
	MCA	A	42
Voltage	Indoor - Outdoor S1-S2	V	AC 208 / 230
	Indoor - Outdoor S2-S3	V	+12VDC to +24VDC
Compressor			Hermetic
Fan Motor (ECM) / (MXZ-5C42NAHZ-U1)		kW	0.04+0.04 / (0.05 + 0.05)
Sound Pressure Level	Cooling	dB(A)	50
	Heating		54
External Dimensions (H x W x D)		In / mm	52-11/16 x 41-11/32 x 13+1 1338 x 1050 x 330+25
Net Weight		Lbs / kg	276 / 125
External Finish			Munsell No. 3Y 7.8/11
Refrigerant Pipe Size O.D. — Branch Box	Liquid	In / mm	3/8 / 9.52
	Gas		5/8 / 15.88
Max. Refrigerant Line Length		Ft / m	492 (150)
Max. Piping Length for Farthest Indoor Unit		Ft / m	262 (80)
Max. Refrigerant Pipe Height Difference	If IDU is Below ODU	Ft / m	131 (40)
	If IDU is Above ODU		164 (50)
Connection Method		Indoor / Outdoor	
Refrigerant		Flared/Flared	
			R410A

* Rating Conditions per AHRI Standard:

Cooling | Indoor: 80°F (27°C) DB / 67°F (19°C) WB

Cooling | Outdoor: 95°F (35°C) DB / 75°F (24°C) WB

Heating at 47°F | Indoor: 70°F (21°C) DB

Heating at 47°F | Outdoor: 47°F (8°C) DB / 43°F (6°C) WB

Heating at 17°F | Indoor: 70°F (21°C) DB

Heating at 17°F | Outdoor: 17°F (-8°C) DB / 15°F (-9°C) WB

*1 Required in windy locations or areas that experience low temperatures.

Specifications are subject to change without notice.



10. 306 Marcy Street - Recommended Approval

Background: The applicant is seeking approval for the replacement of (6) skylights located on the rear wings of the structure.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-225

Status: Active

Submitted: Oct 26, 2020

Project: 306 Marcy Street - Remove/replace roofing in HDC. Skylight replacement.

Applicant



John Singer



413-834-8349



jsinger@valinet.com

Location

306 MARCY ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Replace 6 old skylights with 6 new in-kind skylights, as part of a project to replace the entire roof at 306 Marcy Street

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best
of my knowledge.

true

By checking this box, I agree that this is equivalent to a
handwritten signature and is binding for all purposes related to
this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship
to this project. Owner authorization is required.

I am one of three owners of this Condominium

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

HDC Administrative Approval Application

IN-KIND REPLACEMENT of 6 EXISTING SKYLIGHTS

Project Overview

This purpose of this application is to request HDC Administrative Approval to replace 6 old skylights with 6 new in-kind skylights, as part of a project to replace the entire roof at 306 Marcy Street.

Most of these old skylights are damaged or in poor condition. The old skylights are all Roto skylights, and are no longer manufactured.

The new skylights will be installed in the exact same locations, and will be similarly sized and styled Velux M04 skylights. 2 of the units (in Condo Unit 2) will be manual venting, and 4 units (in Condo Unit 3) will be solar powered venting.

4 of the units will not be visible from Marcy Street as they are on the other side of the building. 2 units will be somewhat visible from parts of Marcy Street below 306.

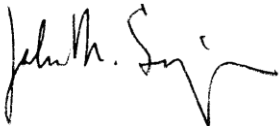
Included attachments to the application:

- Page 2. Arial photo showing the full roof and all existing skylights
- Page 3. Arial photo showing the 2 skylights in Unit 2
- Page 4. Arial photo showing the 4 skylights in Unit 3
- Page 5. View from Marcy Street
- Page 6. Velux M04 Skylight

For further information, please contact:

John M. Singer
Treasurer, Hart House Condominium Association
306 Marcy Street, Unit 2
Portsmouth, NH 03801
413-834-8349
jsinger@valinet.com

Thank you very much for your consideration.



Arial View – Full Roof:



Arial View: Unit 2 Skylights:



Arial View: Unit 3 Skylights:



View from Marcy Street, showing Unit 2 Skylights:



Velux VS-M04 Skylight

