

# HDC

## ADMINISTRATIVE APPROVALS

December 02, 2020

1. 292 State Street (LUHD-228) -Recommended Approval
2. 111/145 Maplewood Avenue (LUHD-229)-Recommended Approval
3. 209 Marcy Street (LUHD-230) -TBD
4. 37 South Street (LUHD-238) -Recommended Approval

## 1. 292 State Street

## - Recommended Approval

**Background:** The applicant is seeking approval for the replacement of the existing slate roof and copper flat seam; both to be replaced with new slate and copper as well as the repointing of the granite cornice, steps, and walls as needed.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

## Historic District Commission Work Session or Administrative Approval Application

# LUHD-228

**Status:** Active

**Submitted:** Nov 12, 2020

### Applicant



Alyssa Murphy

603-319-8199 ext. 101

@ alyssa@manypennymurphy.com

### Location

292 STATE ST  
Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Administrative Approval

## Project Information

### Brief Description of Proposed Work

The existing slate roof is to be replaced with a new slate roof. The existing flat seam copper roof on the steeple will also be replaced in kind. Work will include repointing of the existing granite cornice, the granite steps, and some wall repointing as required.

### Description of Proposed Work (Planning Staff)

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## Project Representatives

### State

NH

### City/Town

Portsmouth

### Phone

9178263996

### Business Name (if applicable)

--

### Email Address

alyssa@placework.studio

### Relationship to Project

Other

### If you selected "Other", please state relationship to project.

Volunteer - Chair of the Planning + Implementation Committee

### Mailing Address (Street)

334 Lincoln Avenue

### Full Name (First and Last)

Alyssa Murphy

### Zip Code

03801

### Email Address

tim@armroofs.com

### Zip Code

03036

### Full Name (First and Last)

Tim Archer

### Mailing Address (Street)

P.O. Box 4

### If you selected "Other", please state relationship to project.

Roofing Design Consultant

### City/Town

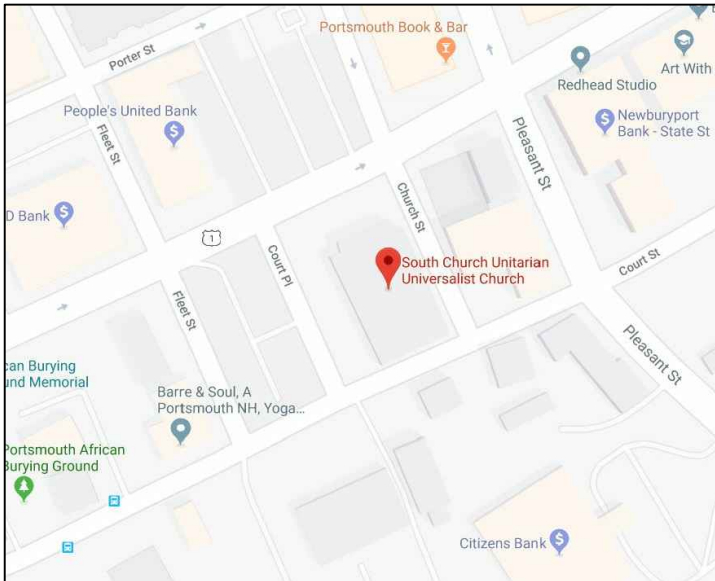
Chester



# SOUTH CHURCH

## 292 STATE ST.

## PORTSMOUTH, NH 03801



DRAWING INDEX	
SHEET NUMBER	SHEET DECRPTION
RP-1	Cover Sheet (C-Size)
RP-2	Roof Plan (C-Size)
RP-3	Roof Plan (A-Size)
RP-4	Roof Plan Notes (A-Size)
RP-5	Code Requirements (A-Size)
D-1	Eave Edge (A-Size)
D-2	Slate Ridge Cap (A-Size)
D-3	Slate Rake Edge (A-Size)
D-4	Slate Step Flashing (A-Size)
D-5	Front Pan (A-Size)
D-6	Chimney Flashing (A-Size)
D-7	Snow Fence Detail (A-Size)
D-8	Snow Fence Cut Sheet (A-Size)
D-9	Slate Penetration (A-Size)
D-10	Standing Seam Eave (A-Size)
D-11	Standing Seam Bends (A-Size)
D-12	Copper Ridge (A-Size)
D-13	Standing Seam Rake (A-Size)
D-14	Flat Seam Bends (A-Size)
D-15	Flat Seam Cleat (A-Size)
D-16	Flat Seam Edge Detail (A-Size)



### BUILDING CODE REFERENCES

- 1) 2009 INTERNATIONAL BUILDING CODE  
A) THE STATE OF NEW HAMPSHIRE HAS ADOPTED THE 2009 INTERNATIONAL BUILDING CODE  
B) CHAPTER 34 OF THE 2009 IBC TITLED EXISTING BUILDING AND STRUCTURES HAS BEEN DELETED IN ITS ENTIRETY. THE PROVISIONS OF THE INTERNATIONAL EXISTING BUILDING CODE PROVISIONS SHALL CONTROL THE ALTERATION REPAIR AND ADDITION TO AN EXISTING BUILDING.  
C) IEBC DEFINITIONS: CHAPTER 5 REPAIRS:  
EXISTING MATERIALS (502.1): MATERIALS ALREADY IN USE IN A BUILDING IN COMPLIANCE WITH REQUIREMENTS OR APPROVALS IN EFFECT AT THE TIME OF THEIR ERECTION OR INSTALLATION SHALL BE PERMITTED TO REMAIN IN USE UNLESS DETERMINED BY THE BUILDING OFFICIAL TO BE UNSAFE PER SECTION 115.

NEW AND REPLACEMENT MATERIALS (502.2): EXCEPT AS OTHERWISE REQUIRED OR PERMITTED BY THIS CODE, MATERIALS PERMITTED BY THE APPLICABLE CODE FOR NEW CONSTRUCTION SHALL BE USED. LIKE MATERIALS SHALL BE PERMITTED FOR REPAIRS AND ALTERATIONS, PROVIDED NO HAZARD TO LIFE, HEALTH OR PROPERTY IS CREATED. HAZARDOUS MATERIALS SHALL NOT BE USED WHERE THE CODE FOR NEW CONSTRUCTION WOULD NOT PERMIT THEIR USE IN BUILDINGS OF SIMILAR OCCUPANCY, PURPOSE AND LOCATION.

DANGEROUS (SECTION 202 GENERAL DEFINITIONS): ANY BUILDING, STRUCTURE OR PORTION THEREOF THAT MEETS ANY OF THE CONDITIONS DESCRIBED BELOW SHALL BE DEEMED DANGEROUS:  
1.) THE BUILDING OR STRUCTURE HAS COLLAPSED, HAS PARTIALLY COLLAPSED, HAS MOVED OFF ITS FOUNDATION, OR LACKS THE NECESSARY SUPPORT OF THE GROUND.  
2.) THERE EXISTS A SIGNIFICANT RISK OF COLLAPSE, DETACHMENT, OR DISLODGEMENT OF ANY PORTION, MEMBER, APPURTENANCE OR ORNAMENTATION OF THE BUILDING OR STRUCTURE UNDER SERVICE LOADS.

### ROOF WIND UPLIFT DESIGN PRESSURE

- 1) METHOD A - 2009 IEBC & ASCE-7-05  
A) CLASSIFICATION: ALTERATION  
B) OCCUPANCY CLASS: TYPE II  
C) SECTION 6.5.1 ASCE 7-05 (METHOD 2) ∴  
1) BASIC WIND SPEED: 105 MPH  
2) BUILDING HEIGHT (h): 20'-0"  
3) EXPOSURE CATEGORY: C EXPOSURE FACTOR (Kz): 0.90  
4) DIRECTIONALITY FACTOR (Kd): 0.85  
5) IMPORTANCE FACTOR (I): 1.15  
6) TOPOGRAPHIC FACTOR (Kzt): 1.00  
7) VELOCITY CONSTANT: 0.00256  
8) VELOCITY PRESSURE EQUATION:  $Q_z = 0.00256(K_z)(K_{zt})(K_d)(V)^2(I)$   
 $Q_z = 0.00256(0.90)(1.00)(0.85)(105)^2(1.15) = 24.83 \text{ PSF}$   
D) UPLIFT DESIGN WIND PRESSURE  
1) BUILDING WIDTH (w): 106'-6"  
2) BUILDING HEIGHT (h): 20'-0"  
3) ASPECT RATIO  $h/w < 1$ :  $20/106.5 = 0.19$  (USE EQUATION 6-22 PER SECTION 6.5.12.4.3)  
4) EQUATION 6-22:  $p = qz[(GC_p) - q(GC_{pi})]$  VALUES FROM FIGURE 6-5 AND 6-11B  
a) INTERNAL PRESSURE COEFFICIENT (GC<sub>pi</sub>): 0.18 (FULLY ENCLOSED)  
b) ZONE 1 (FIELD) (GC<sub>p</sub> 1 = -1.00-0.18):.....24.83 PSF (-1.18) = -29.30 PSF  
c) ZONE 2 (PERIMETER) (GC<sub>p</sub> 2 = -1.80-0.18):.....24.83 PSF (-1.98) = -49.16 PSF  
d) ZONE 3 (SALIENT CORNERS) (GC<sub>p</sub> 3 = -2.80-0.18)...24.83 PSF (-2.98) = -74.00 PSF

#	DATE	BY	DESCRIPTION

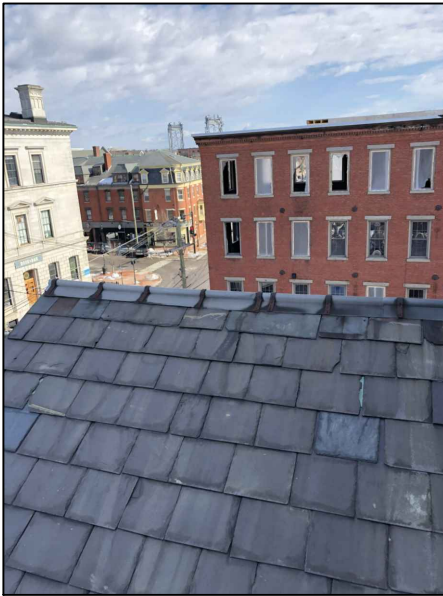
PROJECT NAME: <b>SOUTH CHURCH</b>	PROJECT LOCATION: <b>292 STATE ST. PORTSMOUTH, NH 03801</b>	SHEET NAME: <b>COVER SHEET</b>
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DRAWN BY: <b>TEA</b>
CHECKED BY: <b>SMB</b>
DATE ISSUED: <b>3-29-19</b>
SCALE: <b>N.T.S.</b>
DWG #: <b>RP-1</b>





P1: FLAT SEAM STEEPLE ROOF WITH ROOF HATCH.



P3: EXISTING RIDGE CAP DETAIL TO BE MATCHED.



P5: EXISTING SLATE IN THE ATTIC TO BE REMOVED DURING THE PROJECT.



P2: EXISTING RAKE DETAIL SHOWING THE ENCAPSULATED WOOD DECK EDGE.



P4: EXISTING SHINGLE CRICKET TO BE REPLACED WITH A NEW FLAT SEAM COPPER CRICKET.



P6: EXISTING CANOPY TO BE RECREATED. PROVIDE NEW MATERIALS TO REBUILD.



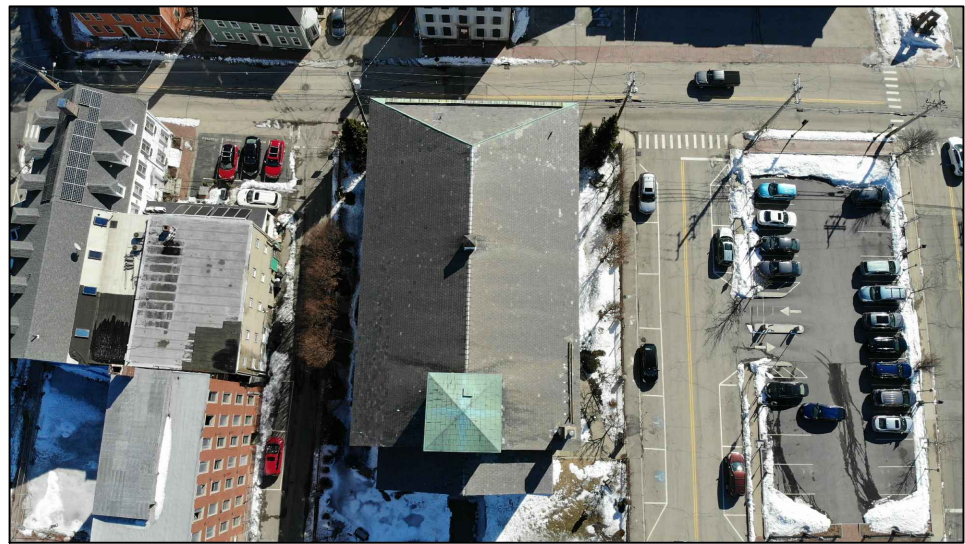
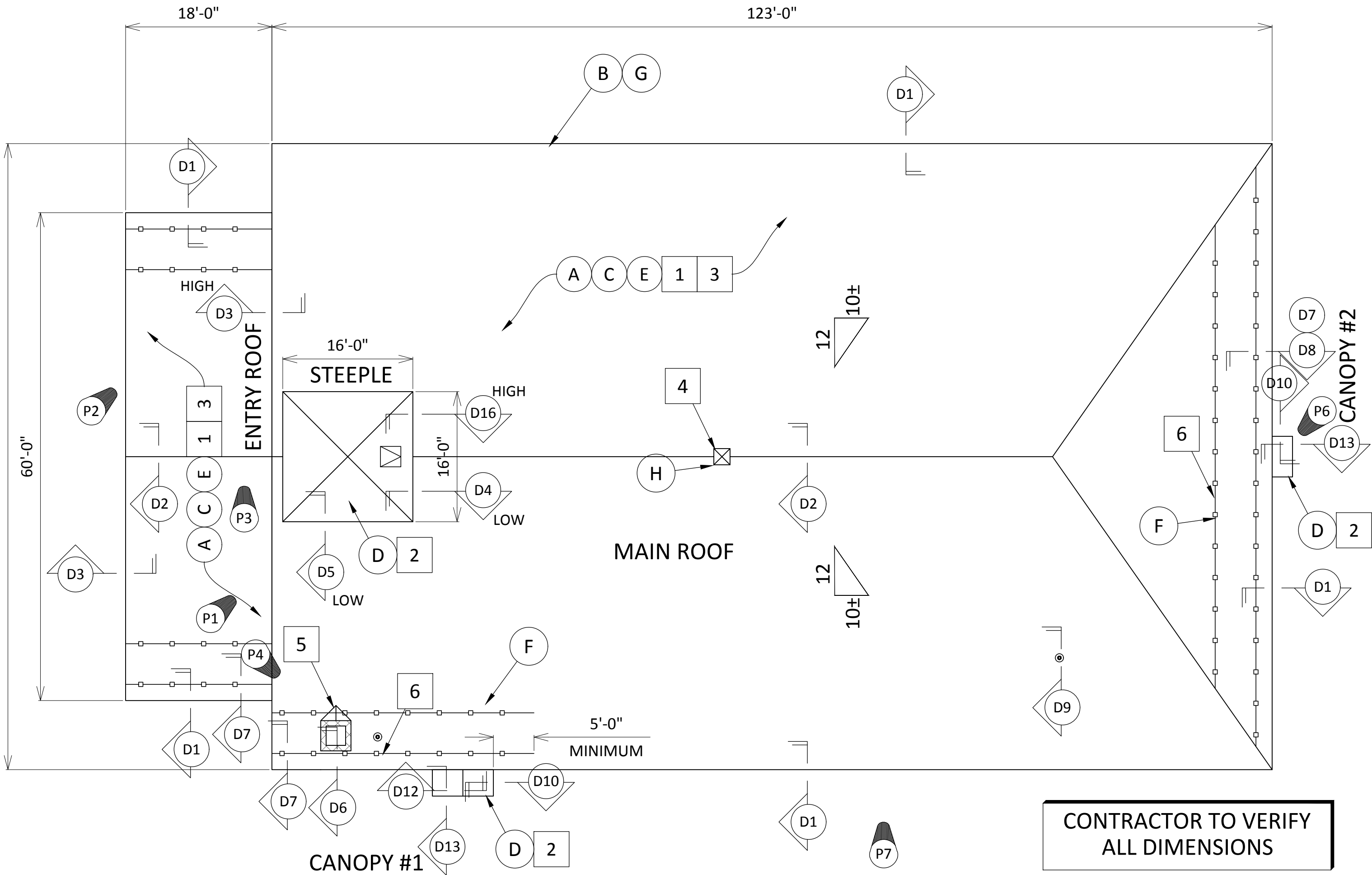
P7: EXISTING JOINTS IN THE TOP COURSE OF THE EXISTING FACADE TO BE RE-POINTED BY A MASON CARRIED BY THE ROOFING CONTRACTOR.

DEMOLITION NOTES:

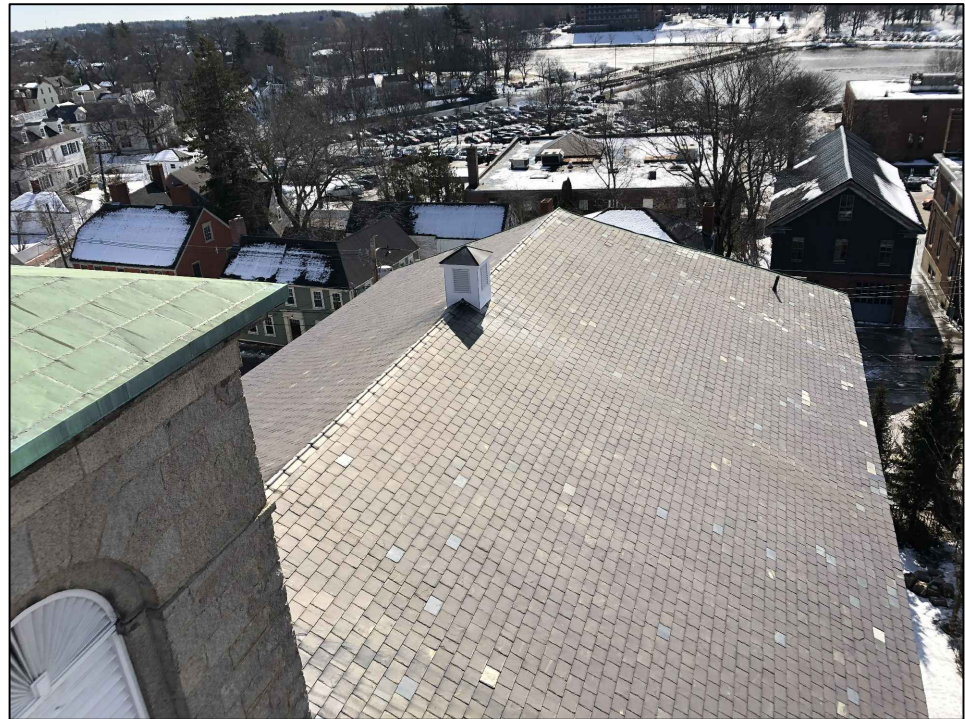
- 1 BY HAND OR MECHANICAL MEANS, DEMOLISH AND REMOVE ANY DESIGNATED SLATE ROOFING MATERIALS, LOOSE UNDERLAYMENTS, OR OTHER MATERIALS DOWN TO THE EXISTING DECKING AS DIRECTED IN THE SPECIFICATIONS.
- 2 BY HAND OR MECHANICAL MEANS, DEMOLISH AND REMOVE ANY DESIGNATED COPPER ROOFING MATERIALS, LOOSE UNDERLAYMENTS, OR OTHER MATERIALS DOWN TO THE EXISTING DECKING AS DIRECTED IN THE SPECIFICATIONS.
- 3 **DO NOT** OVERLOAD STRUCTURE BY STORING DEMOLITION MATERIALS AND ROOFING. DISPERSE WEIGHT ON ROOF DECK.
- 4 REMOVE STORE AND REINSTALL THE EXISTING VENTILATION CUPOLA.
- 5 ALL SHINGLES AND RIDGES BEHIND THE EXISTING CHIMNEY.
- 6 REMOVE ALL SNOW GUARDS AND ASSOCIATED BRACKETS.

DRAWING NOTES:

- A. CERTAIN DETAILS MAY REQUIRE FIELD ADJUSTMENT OR MODIFICATIONS TO FIT IN A GIVEN SITUATION. AT SOME LOCATIONS A COMBINATION OF TWO OR MORE DETAILS ASSEMBLED TOGETHER OR RELATED SEPARATELY MAY BE REQUIRED.
- B. CONTRACTOR ACCESS WILL BE VIA A CONTRACTOR SUPPLIED EXTERIOR STAGING. NO INTERIOR ACCESS WILL BE ALLOWED.
- C. THE EXISTING SLATE SHALL BE REMOVED IN THEIR ENTIRETY DOWN TO THE 1" TONGUE AND GROOVE WOOD DECK. THE NEW INSTALLATION SHALL HAVE 100% HIGH TEMP ICE AND WATER SHIELD TO BE APPLIED TO THE EXISTING DECKING AND NEW 100% COVERAGE 15# FELT UNDERLAYMENT UNDER THE NEW SLATE INSTALLED WITH SMOOTH SHANK COPPER NAILS.
- D. THE EXISTING FLAT SEAM SOLDERED COPPER ROOF SHALL BE REMOVED IN ITS ENTIRETY DOWN TO THE 1" TONGUE AND GROOVE WOOD DECK. THE NEW INSTALLATION SHALL HAVE 100% HIGH TEMP ICE AND WATER SHIELD TO BE APPLIED TO THE EXISTING DECKING AND NEW 100% COVERAGE 15# FELT UNDERLAYMENT UNDER THE NEW COPPER INSTALLED WITH SMOOTH SHANK COPPER NAILS.
- E. PROVIDE PD10 HALF ROUND PAD STYLE SNOW GUARDS BY ALPINE SNOW GUARD OR APPROVED EQUAL. THE MANUFACTURER SHALL CONFIRM THE LAYOUT BEFORE THE CONTRACTOR ORDERS ANY OF THE MATERIALS. COLOR AND MATERIALS AS SELECTED BY THE BUILDING COMMITTEE.
- F. PROVIDE NEW COPPER AND BRASS SNOW FENCE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED.
- G. PROVIDE "IN-PLACE MOCKUP" OF ALL METAL FLASHING AND TERMINATIONS. PROVIDE AT LEAST ONE CORNER AND ONE JOINT FOR ALL CONDITIONS FOR APPROVAL. APPROVED MOCKUPS IN AN UNDISTURBED CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION MAY BECOME PART OF THE COMPLETED WORK. ALL SHEET METAL EDGES TO BE HEMMED.
- H. COMPLETELY CLAD THE EXTERIOR OF THE EXISTING CUPOLA WITH 20oz STANDING SEAM COPPER PANELS.



P8: DRONE OVERVIEW OF THE PROJECT.



P9: DRONE OVERVIEW OF THE PROJECT.

ROOF DESCRIPTION	APPROX SQ FT	MATERIAL
MAIN ROOF AREA	9,890 SQFT ±	SLATE
ENTRY ROOF AREA	945 SQFT±	SLATE
STEEPLE ROOF AREA	425 SQFT ±	COPPER
CANOPY #1 ROOF AREA	27 SQFT ±	COPPER
CANOPY #2 ROOF AREA	40 SQFT ±	COPPER
<b>TOTAL ROOF AREA</b>	<b>11,327 SQFT ±</b>	

THE SQUARE FOOTAGES ARE BASED ON THE ACTUAL SQUARE FOOTAGE OF THE ROOF AREAS TAKING INTO ACCOUNT FOR ROOF SLOPE. THE CONTRACTOR SHALL VERIFY THESE SQUARE FOOTAGES PRIOR TO ESTIMATING MATERIALS NEEDED FOR THIS PROJECT.

STD HATCH PATTERNS:	
	RIGID BOARD INSUL.
	HIGH DENSITY POLY-ISOCYANURATE INSUL.
	PLYWOOD/ GYPSUM BOARD/ OSB
	CONCRETE
	SEALANT/ CAULKING
	MASONRY

STANDARD ABBREVIATIONS	
APPROX. B.S. BUR. CL. CONN. CONT. EL. OR ELEV. EPDM.	APPROXIMATELY BOTH SIDES BUILT UP ROOF CENTER LINE CONNECTION CONTINUOUS ELEVATION ETHYLENE-PROPYLENE-DIENE-MONOMER LEAD COATED COPPER MAXIMUM MANUFACTURER MINIMUM NOT IN CONTRACT ON CENTER POLYISOCYANURATE POLYVINYL CHLORIDE SIMILAR TOP OF PARAPET THERMAL PLASTIC OLEFIN WITH w/

SYMBOL LEGEND			
	Antenna		Equipment Fan
	Asbestos sample w/ Lab ID # below Black = negative RED = positive		Exp Joint or Change in Slope
	24x24x2 Conc. paver		Fall Arrest Anchor
	Condenser unit		Guard rail system
	Curb to be Removed		Hot Stack
	DEMOLITION NOTE		Insulation Boards
	Detail Marker		Overflow Drain
	Drain w/ or w/o sump		Picture Reference and Direction
	DRAWING NOTE		Pipe Penetration
			Piping or Duct Work
			Pitchpocket
			Roof Hatch
			RTU Curb
			Satellite Dish
			Scupper
			Skylight
			Sleeper
			Smoke Hatch
			Walkway pad

#	DATE	BY	DESCRIPTION

#	DATE	BY	DESCRIPTION

PROJECT NAME:	SOUTH CHURCH
PROJECT LOCATION:	292 STATE ST. PORTSMOUTH, NH 03801
SHEET NAME:	ROOF PLAN

DRAWN BY:	TEA
CHECKED BY:	SMB
DATE ISSUED:	3-29-19
SCALE:	3/32"=1'-0" (ON "C" SIZE PAPER)
DWG #:	RP-2



PROVIDE NEW 15# FELT OVER HIGH TEMP ICE AND WATER SHIELD OVER ENTIRE ROOF AREA. INSTALL AND OVERLAP PER MANUFACTURE'S RECOMMENDATIONS. DO NOT BLOCK RIDGE VENTS.

NEW 12"X24" SLATE WITH 8 1/2" EXPOSURE AND 1 1/2" SMOOTH SHANK COPPER NAILS WITH 5/16" HEAD IN COUNTER SUNK NAIL HOLES. SEE SPEC FOR WIND NAILING REQUIREMENTS.

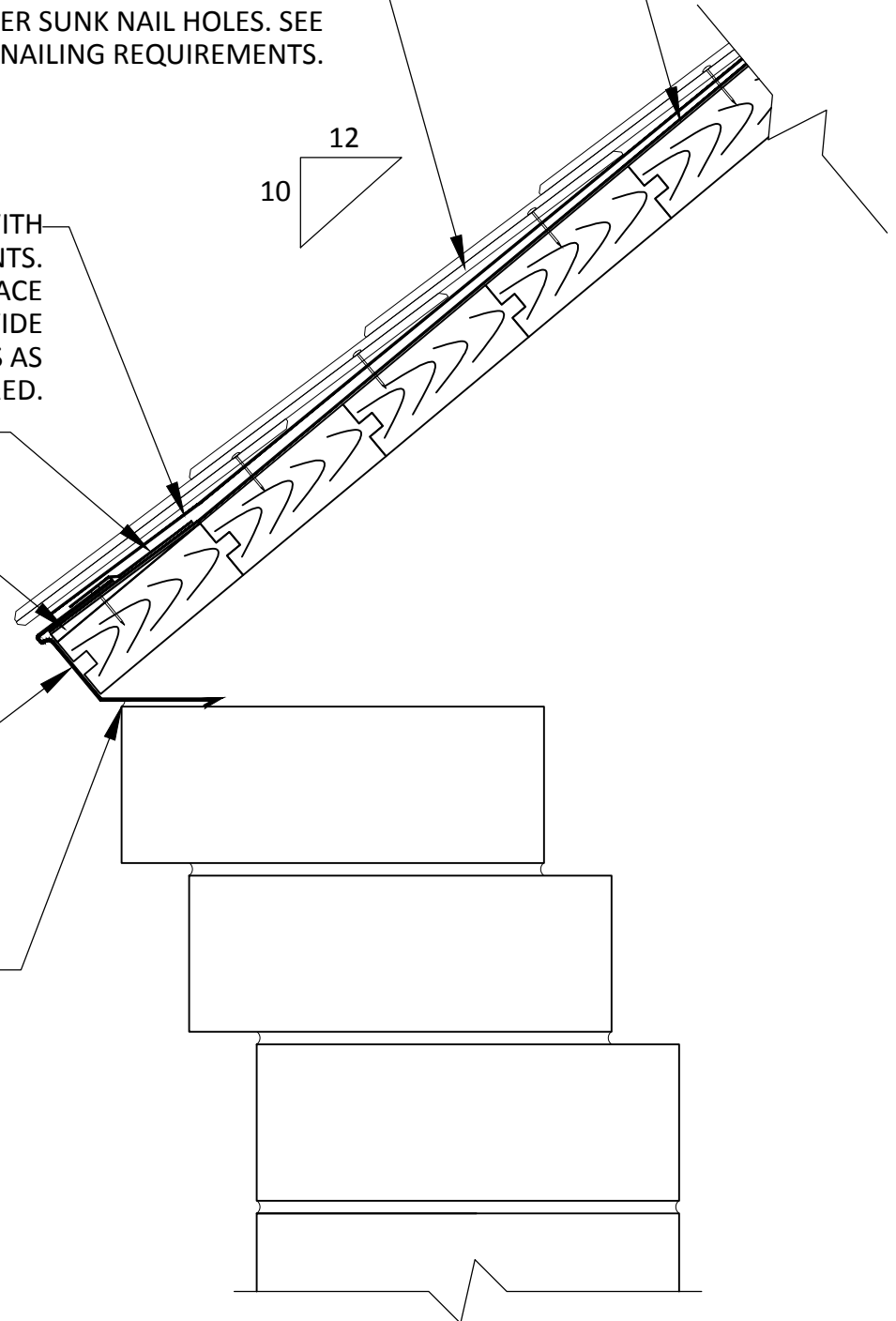
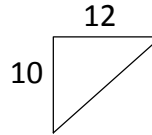
NEW 24"X12" STARTER SLATE WITH PLASTIC CEMENT AT ALL JOINTS. SLATE TO BE INSTALLED FACE DOWN AND Laterally. PROVIDE COUNTER SUNK NAIL HOLES AS REQUIRED.

NEW 6" WIDE CONTINUOUS ICE AND WATER SHIELD STRIP IN.

NEW 7/16" THICK SHIM CONTINUOUS.

NEW 16oz LEAD COATED COPPER. NAILS 1" FROM INTERIOR METAL EDGE. BACKSIDE TO MIMIC A REGLET FOR COMPRESSION FIT.

PROVIDE NEW CAULKING AND SEALANT CONTINUOUS.



#### NOTES:

- 1.) PROVIDE ISOLATION TO ENSURE THAT ANY DISSIMILAR METALS DO **NOT** COME IN CONTACT WITH EACH OTHER IN THE FINAL PRODUCT TO PREVENT GALVANIC ACTION.

PROVIDE NEW 15# FELT OVER HIGH TEMP ICE AND WATER SHIELD OVER ENTIRE ROOF AREA. INSTALL AND OVERLAP PER MANUFACTURE'S RECOMMENDATIONS.

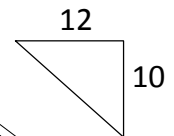
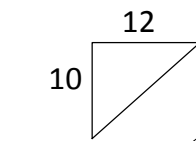
PROVIDE NEW CONT. DOUBLE SIDED SEALANT TAPE UNDER THE RIDGE CAP.

NEW 12"X24" SLATE WITH 8 1/2" EXPOSURE AND 1 1/2" SMOOTH SHANK COPPER NAILS WITH 5/16" HEAD IN COUNTER SUNK NAIL HOLES. SEE SPEC FOR WIND NAILING REQUIREMENTS.

NEW 16 OZ COPPER RIDGE CAP TO MATCH THE PROFILE OF THE EXISTING. PROVIDE 1" WIDE COPPER STRAPS TO MATCH THE EXISTING RIDGE CAP.

NEW 20 OZ RED COPPER CLEAT CONT. NAILED AT 4" ON CENTER. TYP.

PROVIDE SLATER'S CEMENT AT ALL JOINT FOR THE TOP 3 ROWS OF SLATE.



PROVIDE SLATE SHIMS AS REQUIRED AT ALL RIDGE AND TOP EDGE LOCATIONS.

NOTES:

- 1.) PROVIDE ISOLATION TO ENSURE THAT ANY DISSIMILAR METALS DO **NOT** COME IN CONTACT WITH EACH OTHER IN THE FINAL PRODUCT TO PREVENT GALVANIC ACTION.

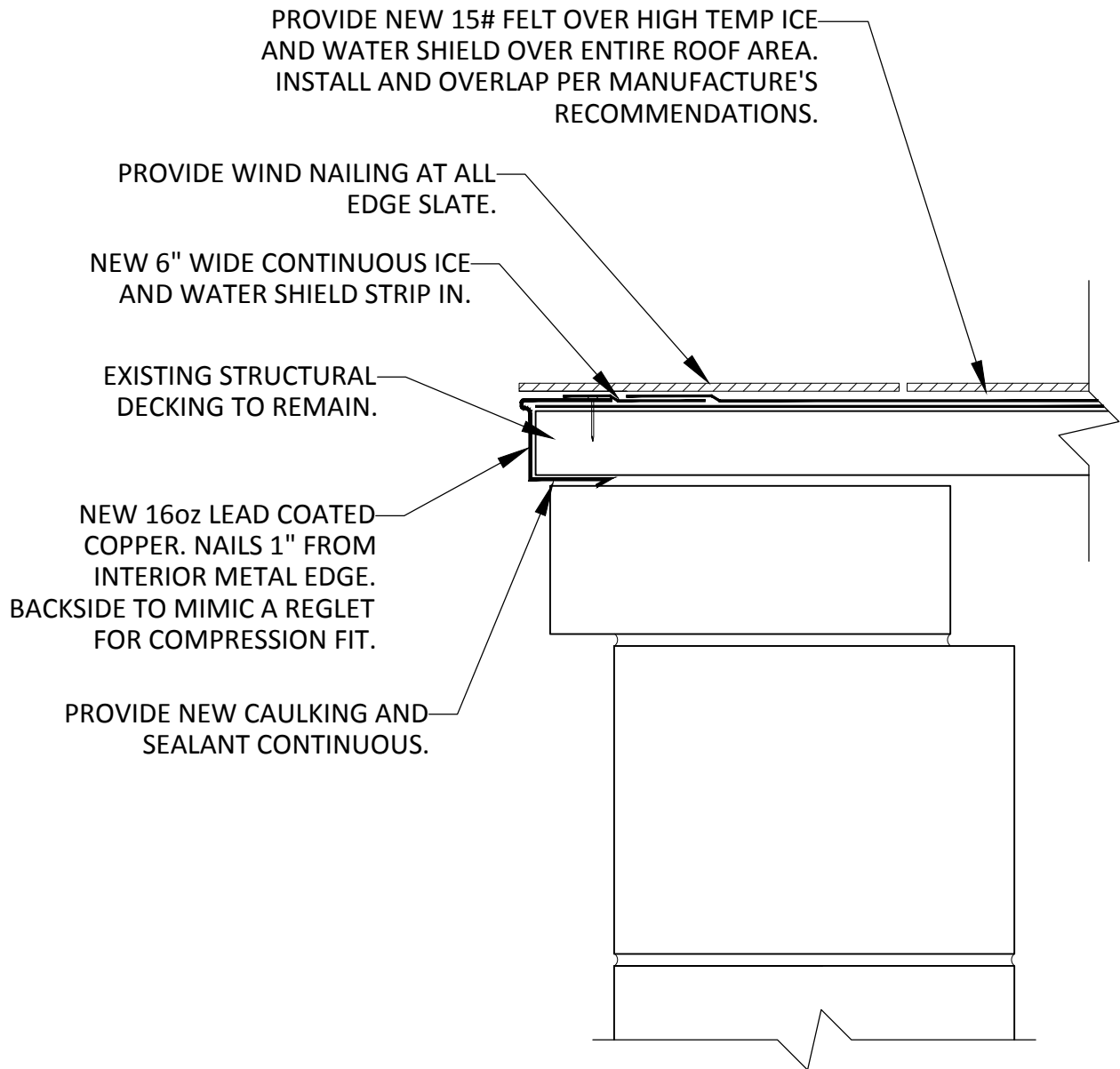


EXISTING RIDGE LAYOUT



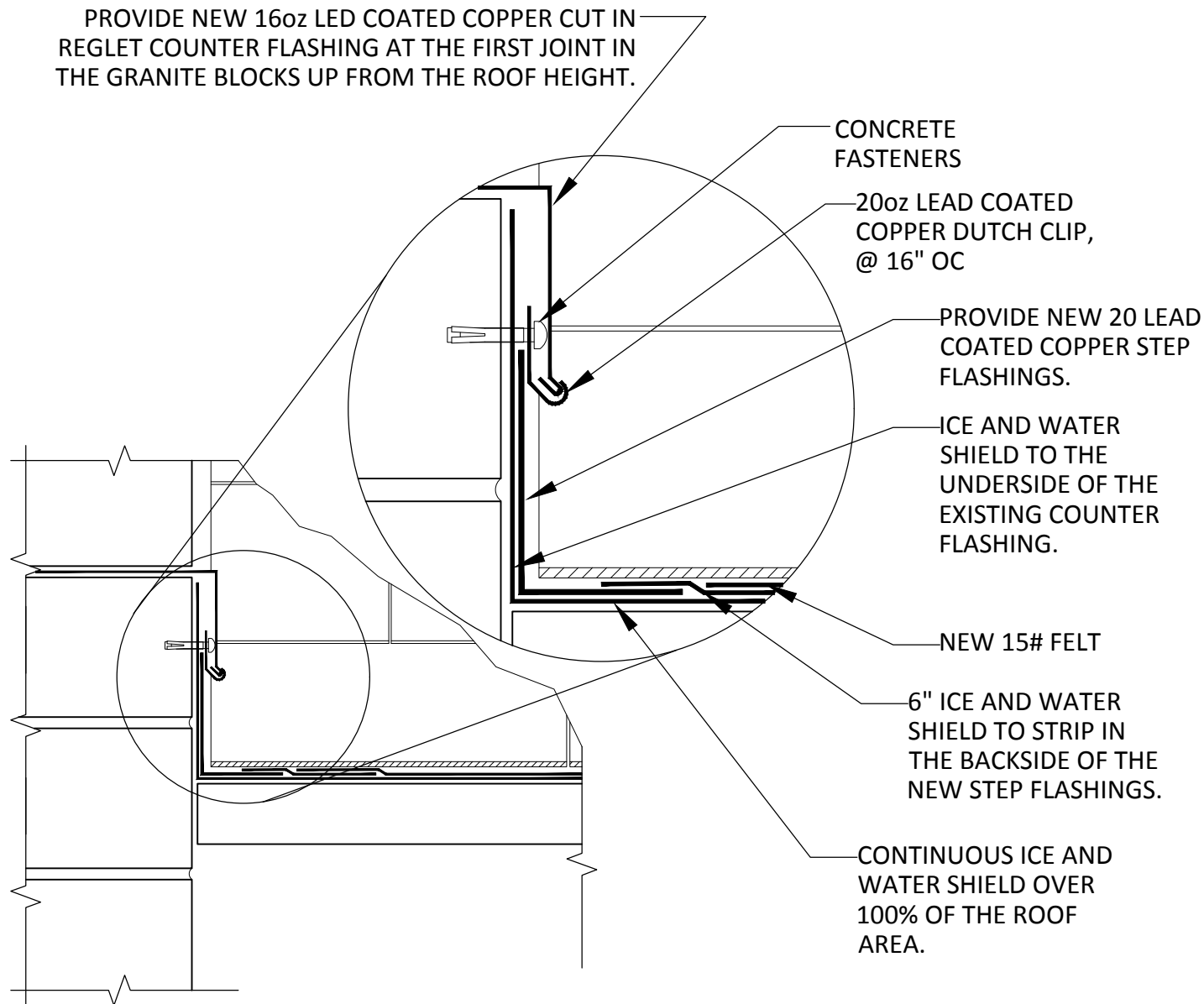
RIDGE NAILING EXPECTATION





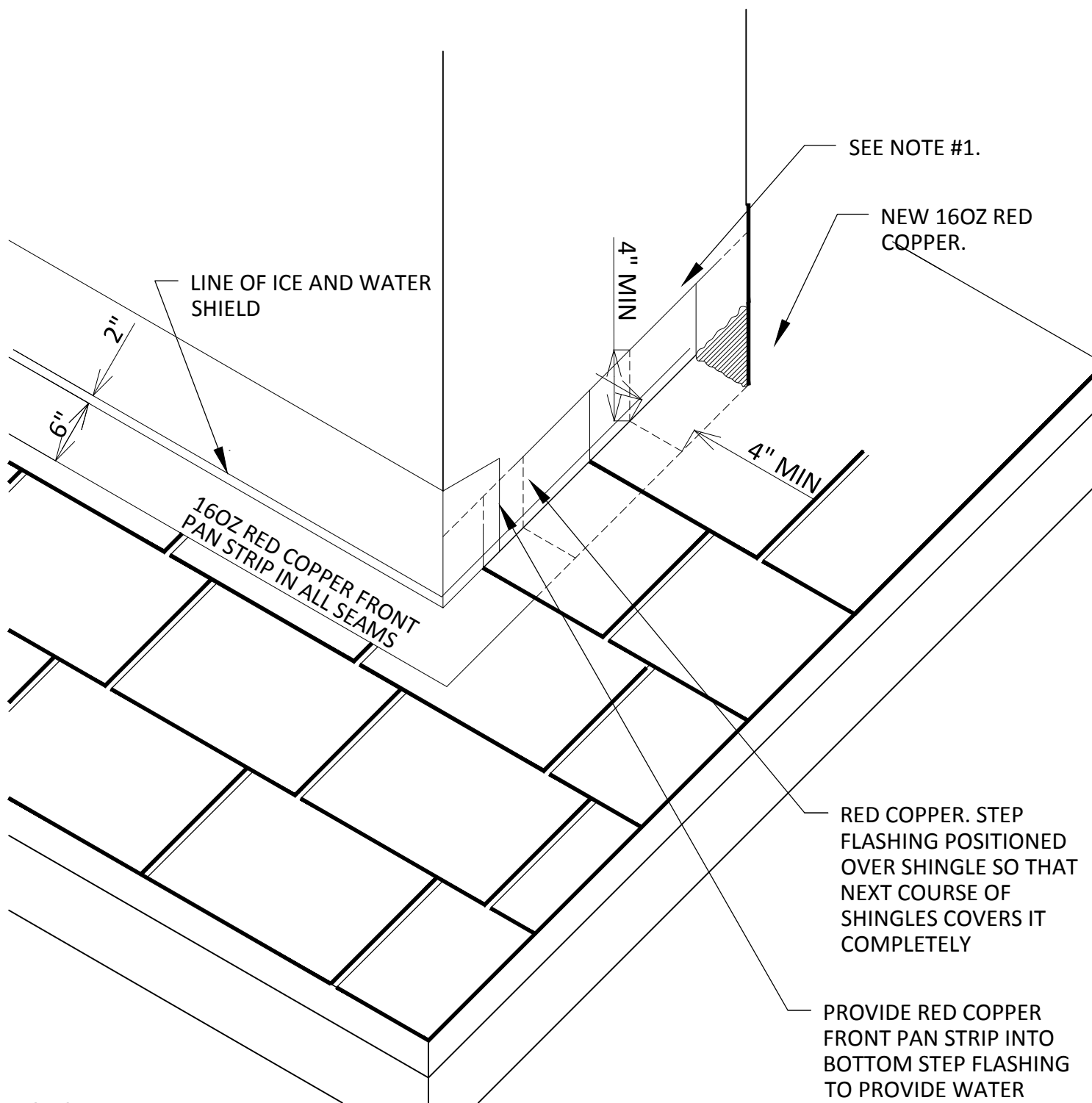
**NOTES:**

- 1.) PROVIDE UNDERLAYMENT OVER ENTIRE ROOF AREA INCLUDING ALL ICE AND WATER SHIELD LOCATIONS. INSTALL AND OVERLAP PER MANUFACTURE'S RECOMMENDATIONS.
- 2.) PROVIDE ISOLATION TO ENSURE THAT ANY DISSIMILAR METALS DO **NOT** COME IN CONTACT WITH EACH OTHER IN THE FINAL PRODUCT TO PREVENT GALVANIC ACTION.
- 3.) STRIP IN THE ENTIRE LENGTH OF THE DRIP EDGE TO THE ICE AND WATER SHIELD WITH 6" WIDE ICE AND WATER SHIELD.



**NOTE:**

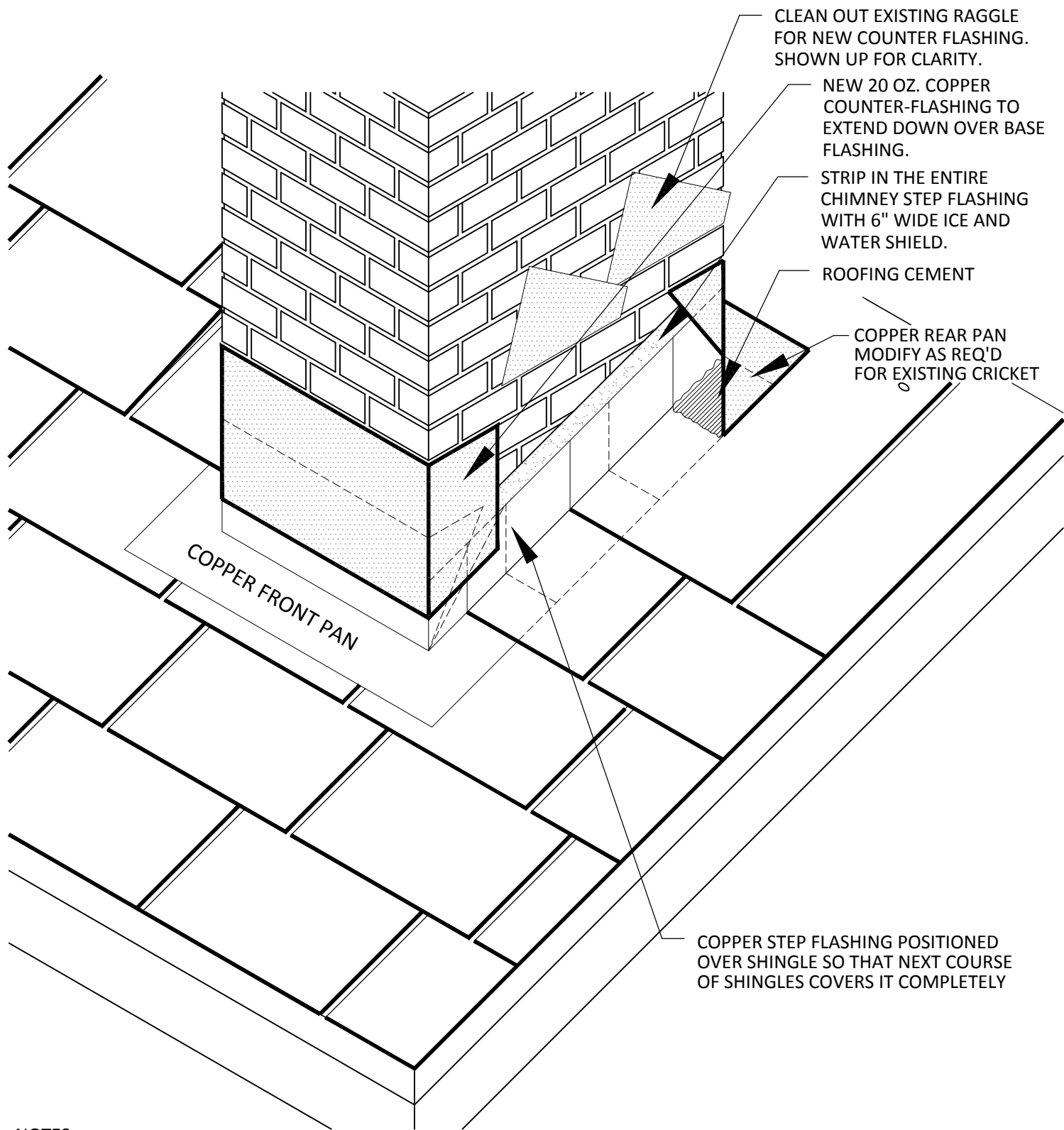
1. PROVIDE ISOLATION TO ENSURE THAT ANY DISSIMILAR METALS DO **NOT** COME IN CONTACT WITH EACH OTHER IN THE FINAL PRODUCT TO PREVENT GALVANIC ACTION.
2. ENSURE THAT THE EXISTING CUT IN WALL FLASHING IS PROPERLY "DRESSES DOWN" TO PROVIDE POSITIVE WATER RUN OFF.



**NOTES:**

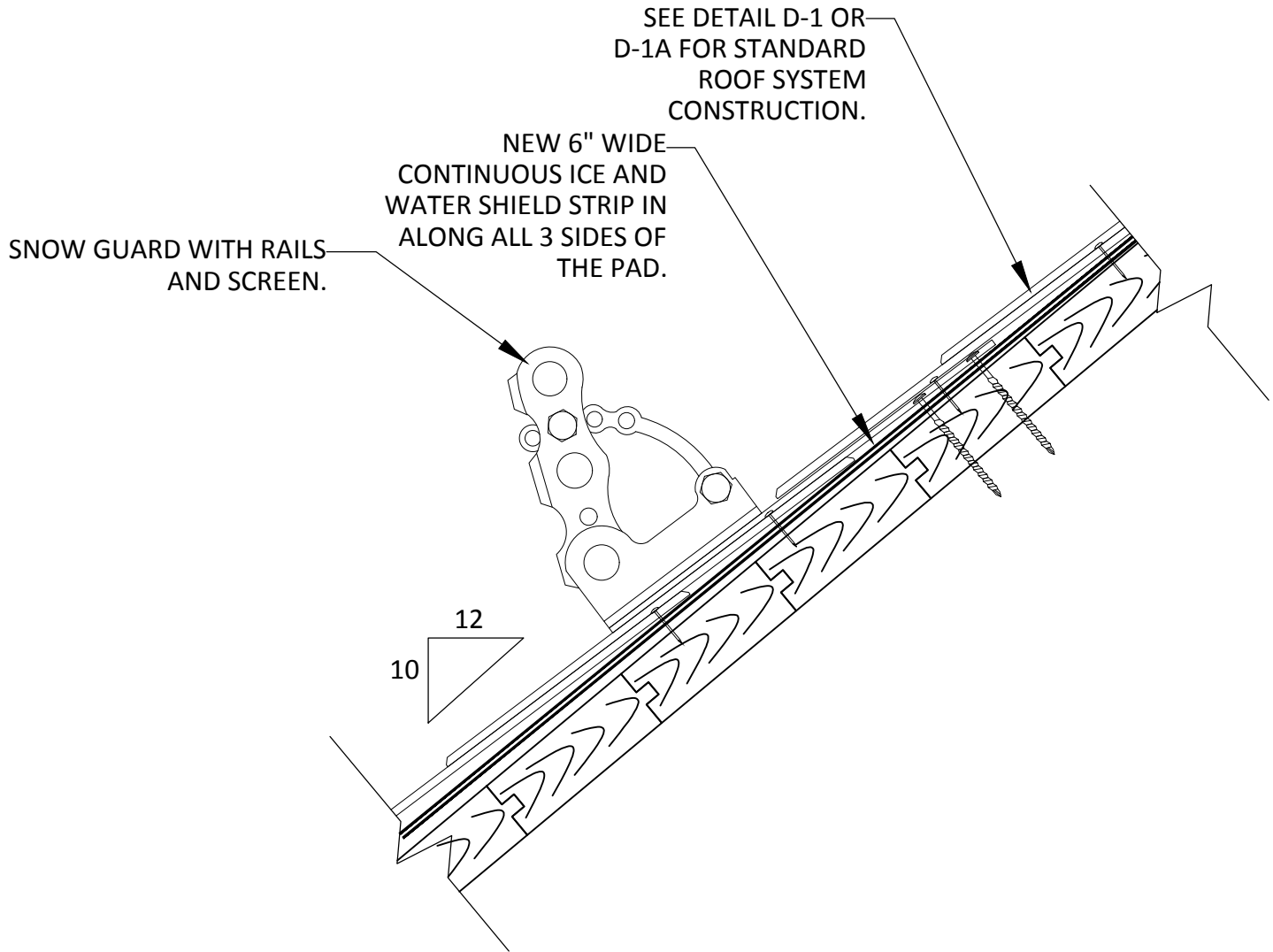
- 1.) INSTALL ICE AND WATER SHIELD TO PROVIDE 100% WALL COVERAGE ON ALL SIDES.
- 2.) ALL METAL FLASHING TO BE A MINIMUM 16OZ RED COPPER.
- 3.) EXTEND FLASHING A MINIMUM OF 4" BEYOND THE DORMER ON THE FRONT AND SIDES AND A MINIMUM OF 16" BEHIND THE CHEEK WALLS.
- 4.) THE EXISTING SIDING SHALL BE REMOVED, MODIFIED AND REINSTALLED TO ALLOW FOR A MINIMUM OF 1" CLEARANCE FROM THE NEW ROOF SYSTEM AND TO ALLOW FOR THE NEW STEP FLASHINGS TO BE INSTALLED.
- 5.) STRIP IN THE TOPS OF ALL STEP FLASHINGS WITH CERTAINTEED'S DETAIL TAPE OR A MINIMUM WIDTH OF 6" ICE AND WATER SHIELD.





**NOTES:**

- 1.) INSTALL ICE AND WATER SHIELD AT LEAST 16" ON ALL SIDES.
- 2.) ALL METAL FLASHING TO BE A MINIMUM 16 OZ. COPPER.
- 3.) EXTEND FLASHING A MINIMUM OF 4" BEYOND THE CHIMNEY ON THE FRONT AND SIDES AND A MINIMUM OF 16" BEHIND THE CHIMNEY.
- 4.) A CRICKET IS REQUIRED BEHIND ALL CHIMNEYS WIDER THAN 24 INCHES OR LOCATED ON ROOFS STEEPER THAN 6 INCHES PER FOOT. CRICKET HERE SHOULD BE FLAT SEAM SOLDERED COPPER.



**NOTES:**

- 1.) PROVIDE ISOLATION TO ENSURE THAT ANY DISSIMILAR METALS DO **NOT** COME IN CONTACT WITH EACH OTHER IN THE FINAL PRODUCT TO PREVENT GALVANIC ACTION.



EXAMPLE OF SNOW RAILS, SCREENS AND SNOW CLIPS INSTALLED.



**ALPINE  
SNOWGUARDS™**  
www.alpinesnowguards.com

289 Harrel Street  
Morrisville, VT 05661  
Toll Free Phone 1.888.766.4273  
Toll Free Fax 1.888.766.9994  
Web www.alpinesnowguards.com  
E-mail info@alpinesnowguards.com

07 52 53 Snow Guards

NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH  
MANUFACTURER'S SPECIFICATIONS.  
2. DO NOT SCALE DRAWINGS.  
3. CONTACT MANUFACTURER FOR DETAILED LAYOUT.  
4. PRODUCTS MAY VARY FROM ILLUSTRATIONS.  
5. ITEMS SUBJECT TO CHANGE WITHOUT NOTICE.

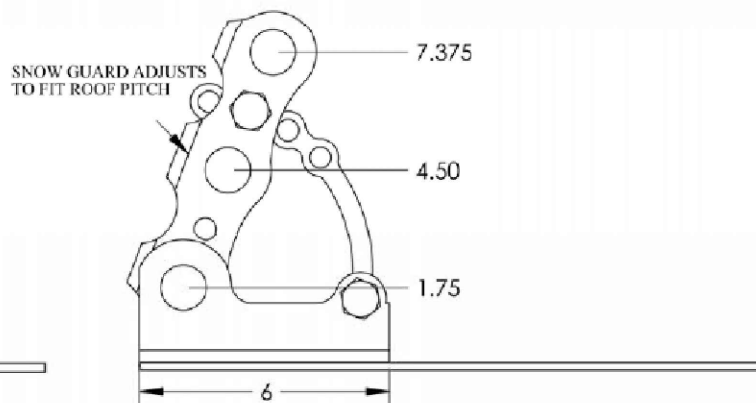
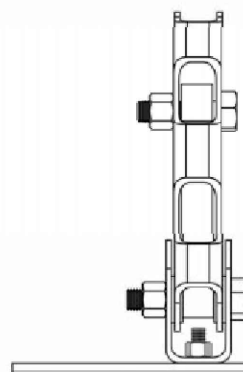
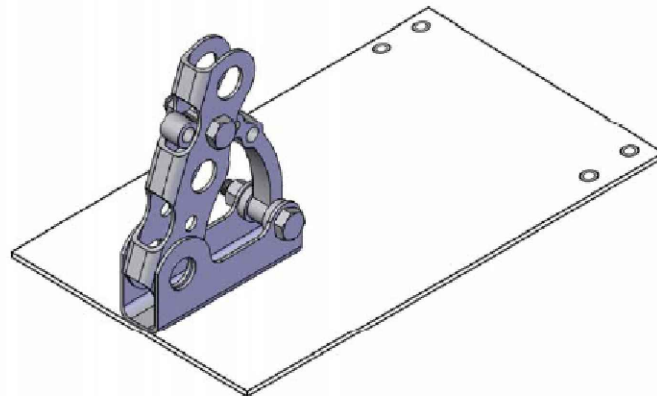
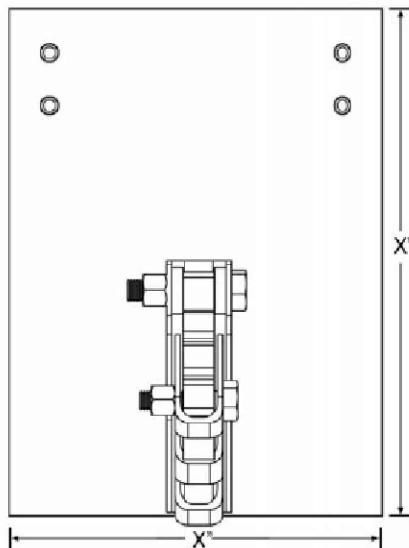
REVISIONS		
REV.	DESCRIPTION	DATE

☒ SELECT DESIRED FINISH

- ☐ ALUMINUM  
☐ MILL (STANDARD)  
☐ POWDER COAT  
☐ BRASS

PIPE SYSTEM INCLUDES:

- ☒ ICE FLAG  
☒ END CAPS  
☒ END COLLARS  
☒ PIPE  
☒ COUPLINGS



**#225 Pipe-Style Snow Guard for Tile/Shingle/Shake Roofs**

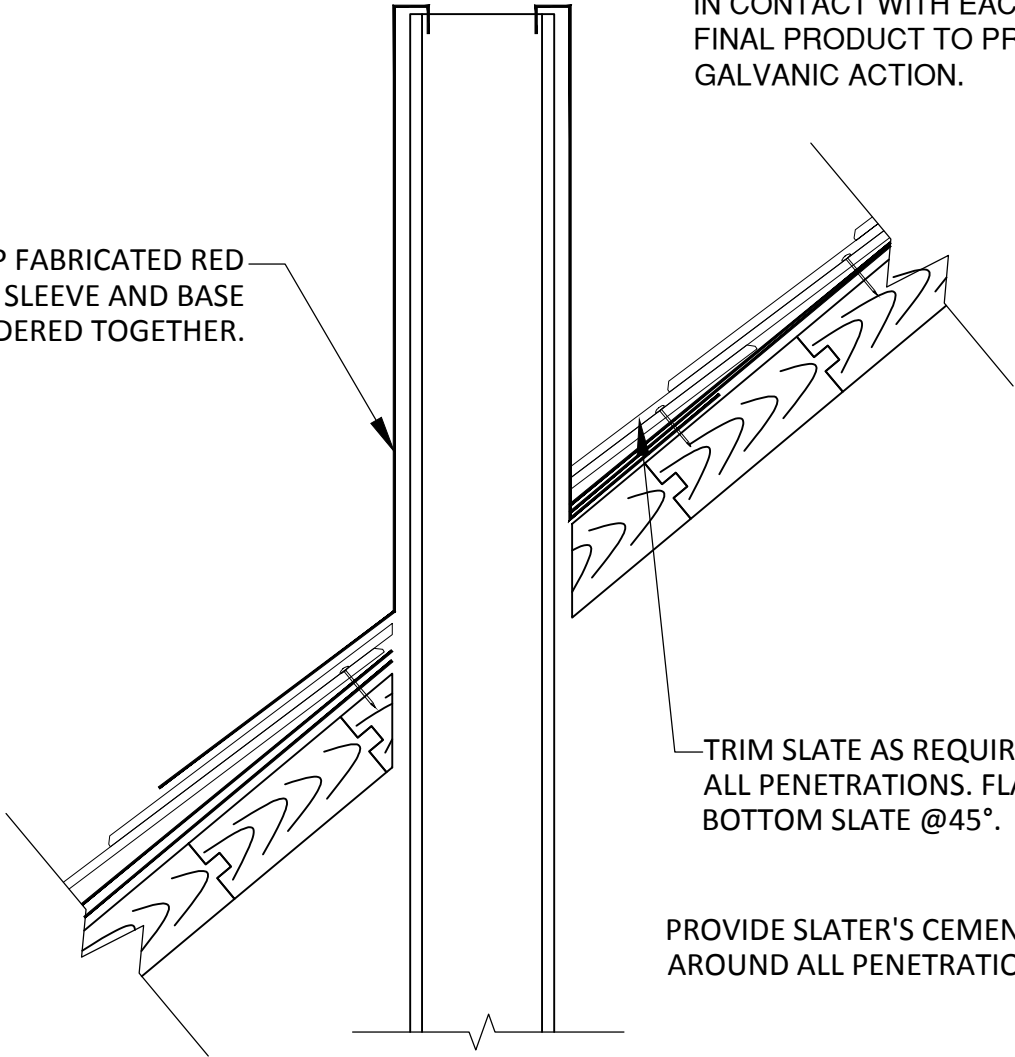
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Document version 06.07.2007



NOTES:  
 1.) PROVIDE ISOLATION TO ENSURE THAT ANY DISSIMILAR METALS DO **NOT** COME IN CONTACT WITH EACH OTHER IN THE FINAL PRODUCT TO PREVENT GALVANIC ACTION.

16oz SHOP FABRICATED RED COPPER SLEEVE AND BASE SOLDERED TOGETHER.

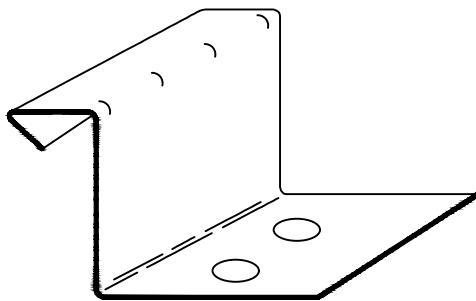
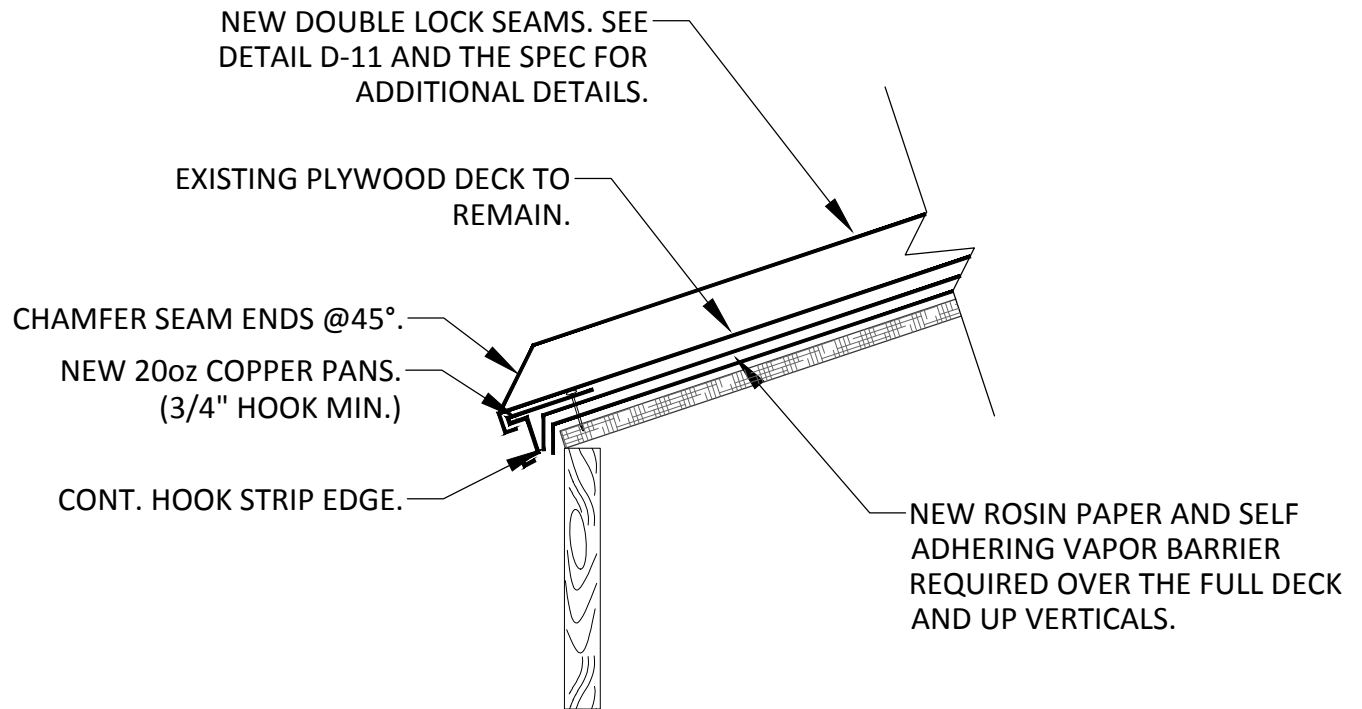


TRIM SLATE AS REQUIRED AROUND ALL PENETRATIONS. FLAIR THE BOTTOM SLATE @45°.

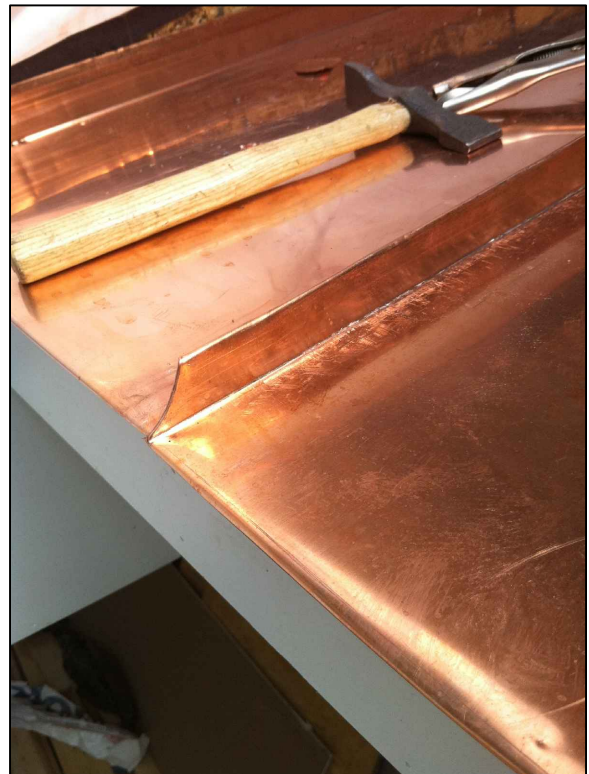
PROVIDE SLATER'S CEMENT AROUND ALL PENETRATIONS.

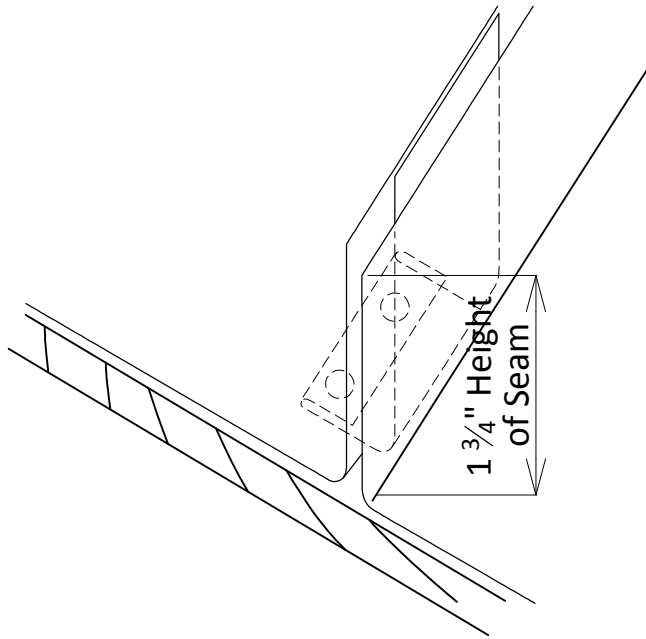


EXAMPLE OF FLAIED TRIMMED SLATE AT PENETRATIONS

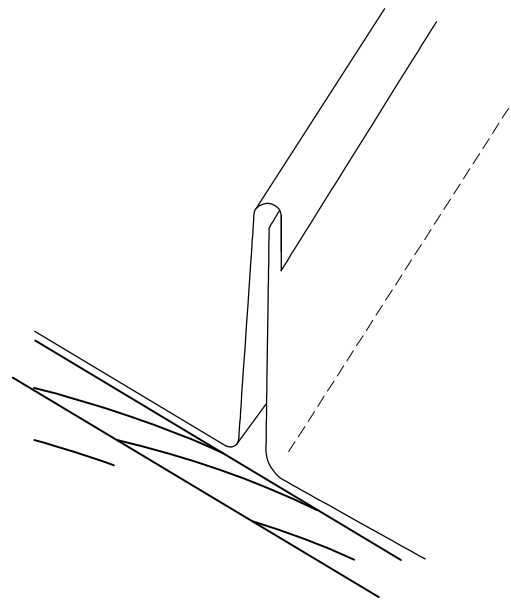


FIXED CLEAT FOR  
STANDING SEAM

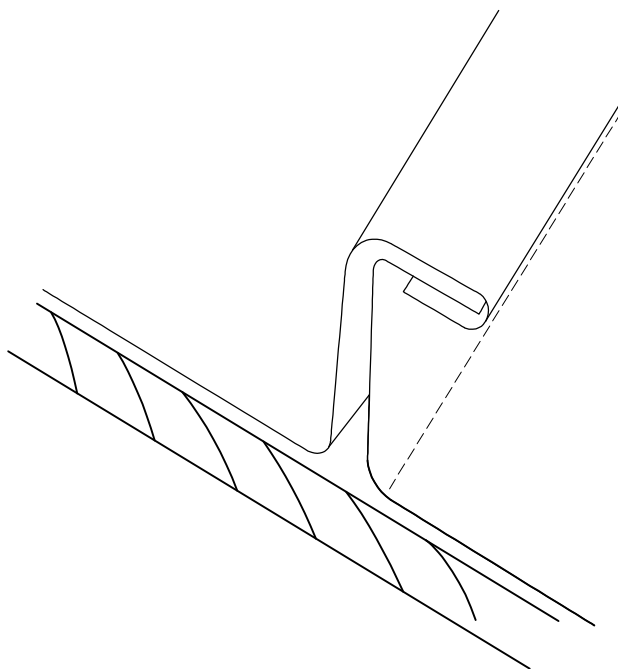




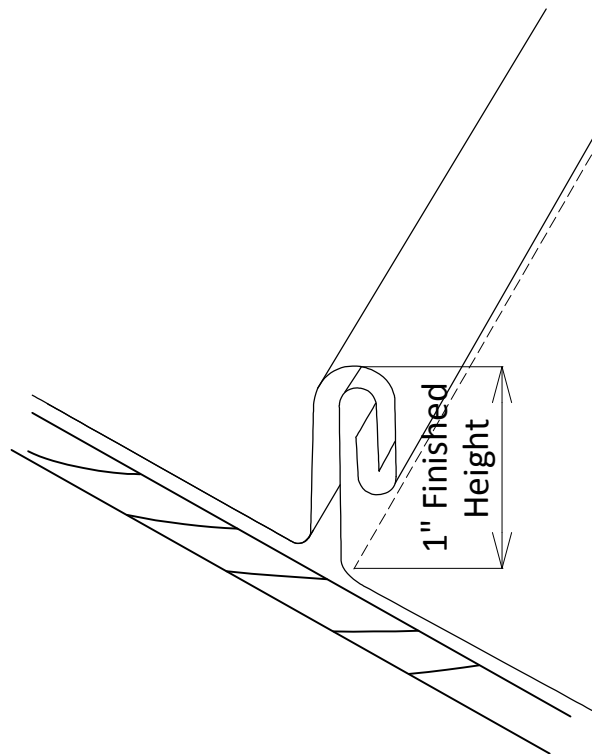
STANDING SEAM STEP ONE



STANDING SEAM STEP TWO

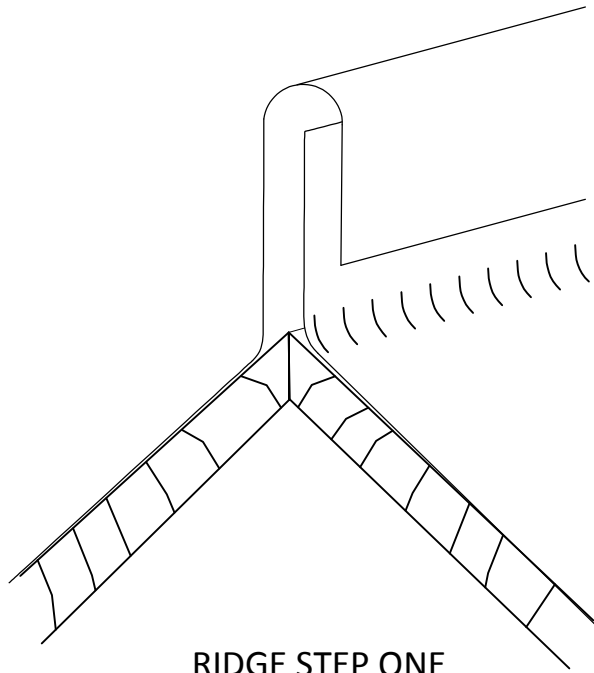


STANDING SEAM STEP THREE

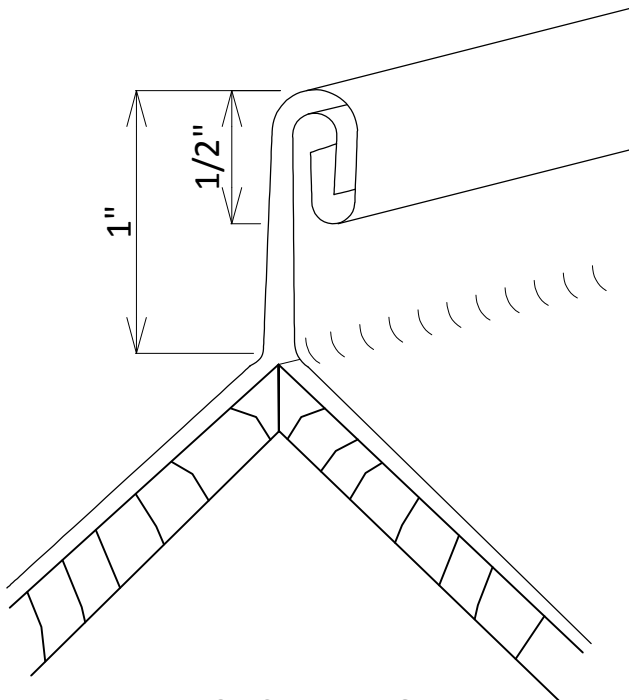


STANDING SEAM STEP FOUR

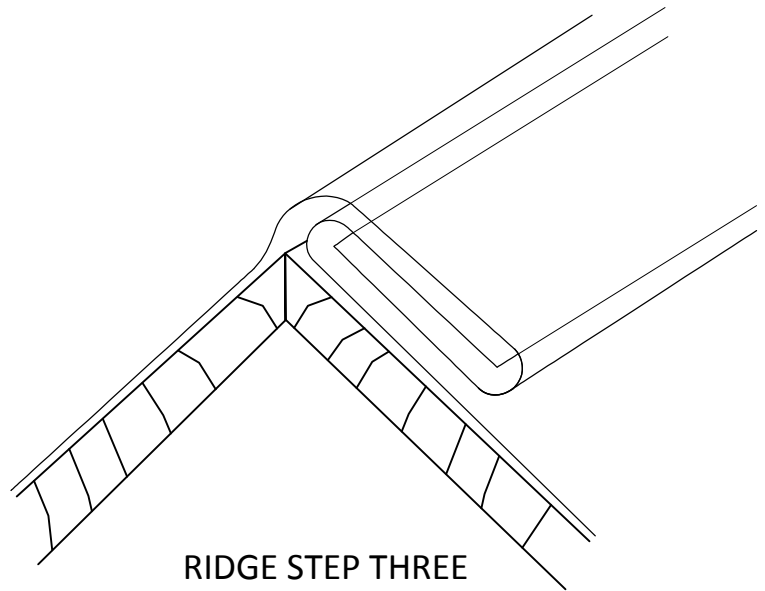




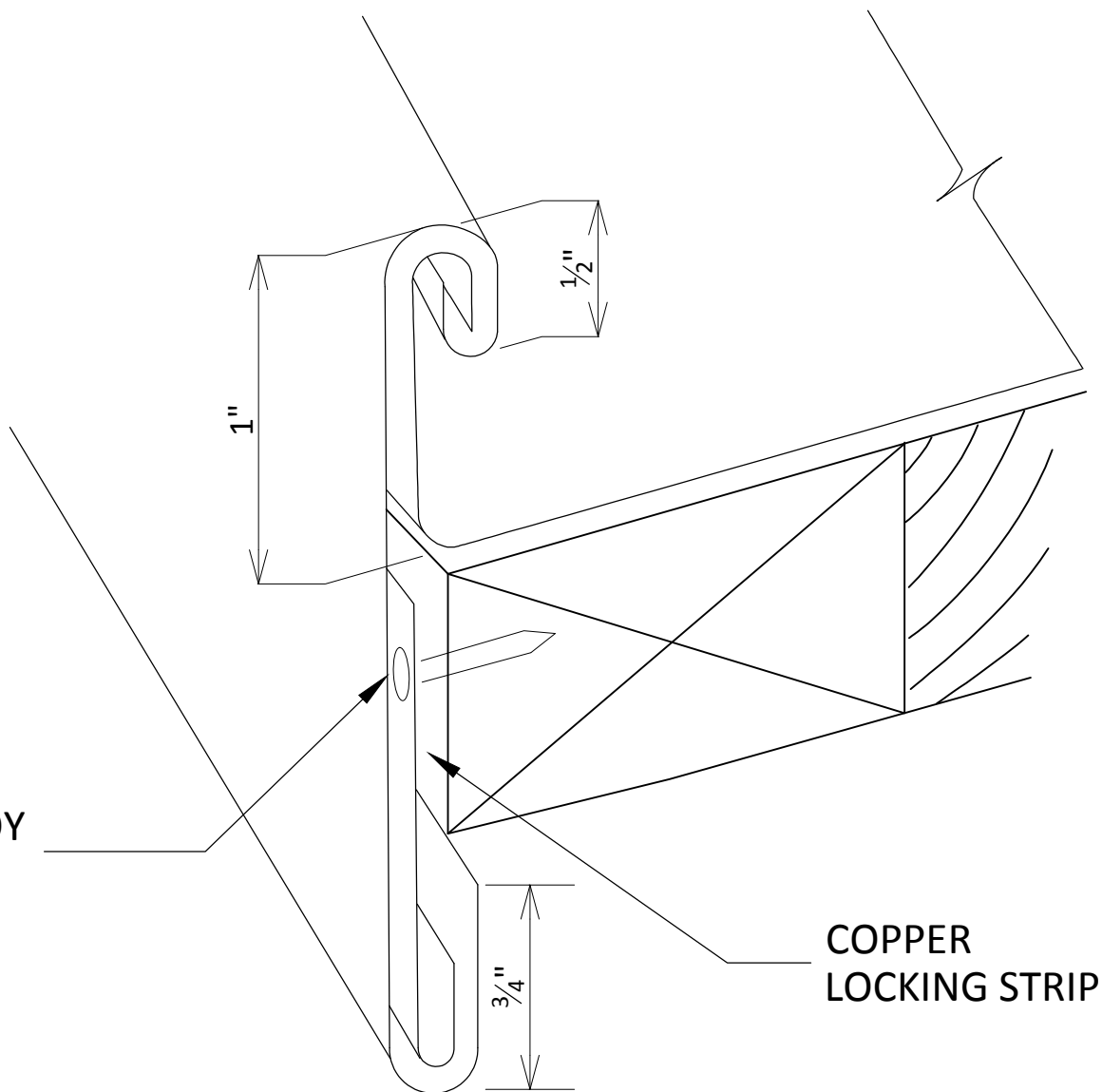
RIDGE STEP ONE



RIDGE STEP TWO

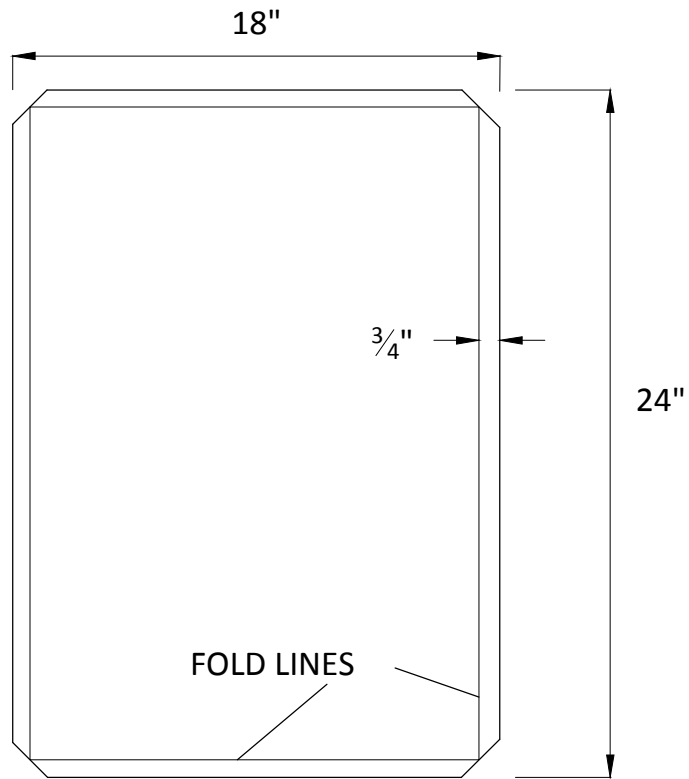


RIDGE STEP THREE



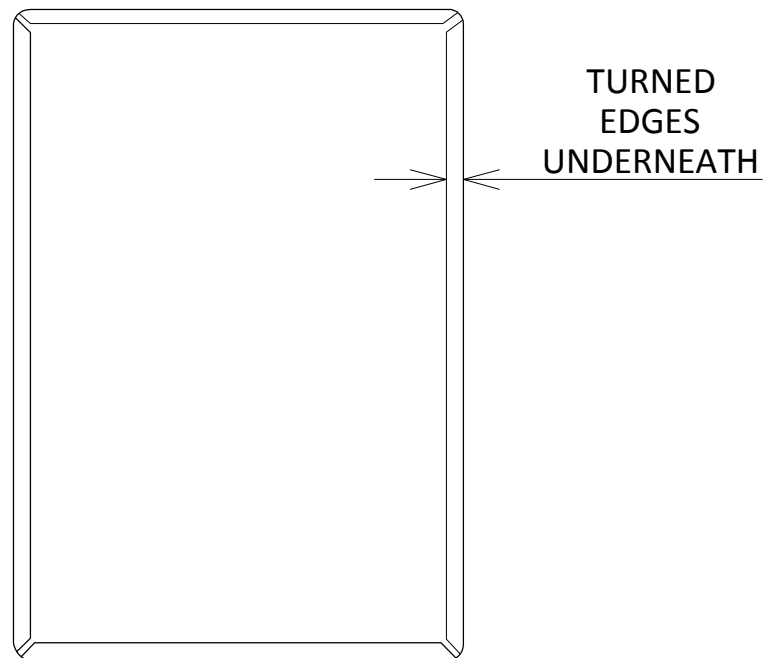
COPPER OR  
COPPER ALLOY  
NAILS 4" O.C.

COPPER  
LOCKING STRIP



INSTALLED FLAT SEAM  
COPPER EXPECTATION

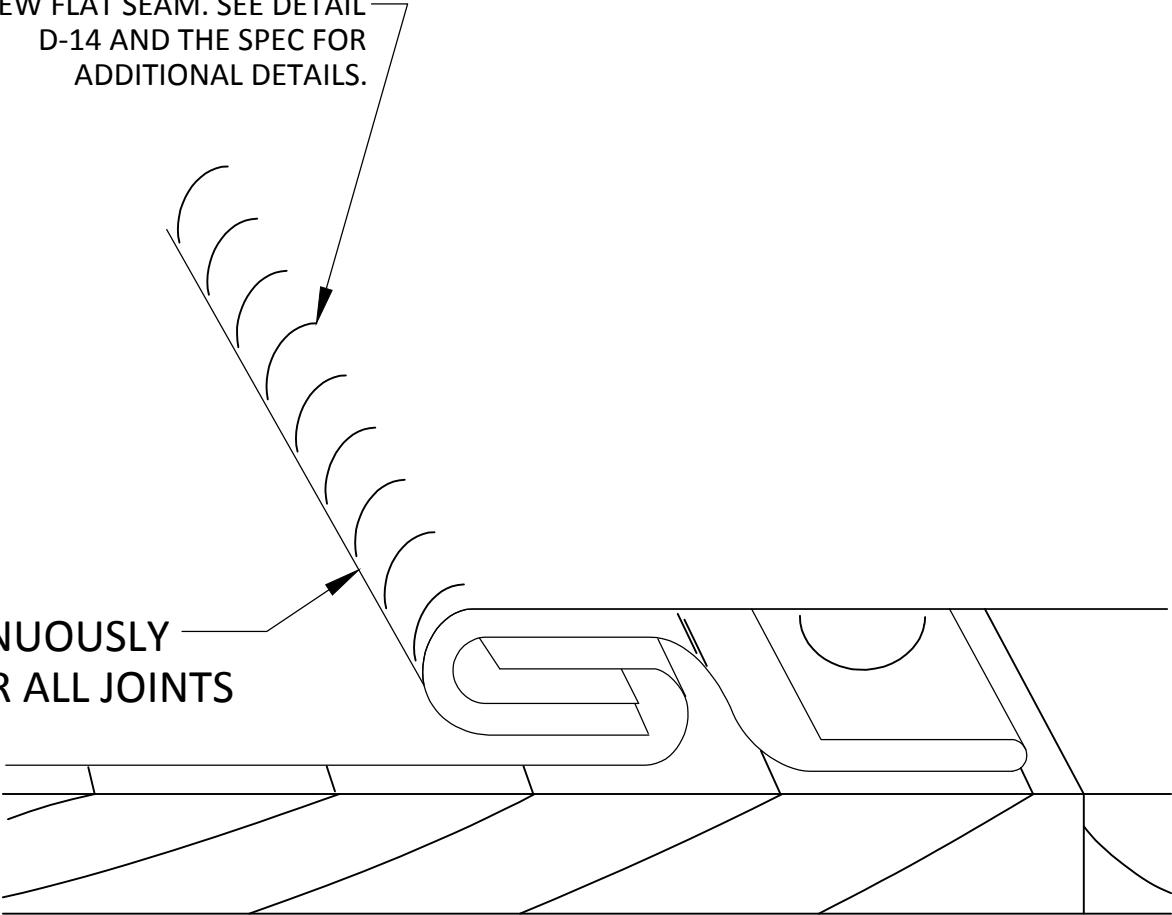
## FOLDING OF SHEETS-FLAT SHEET

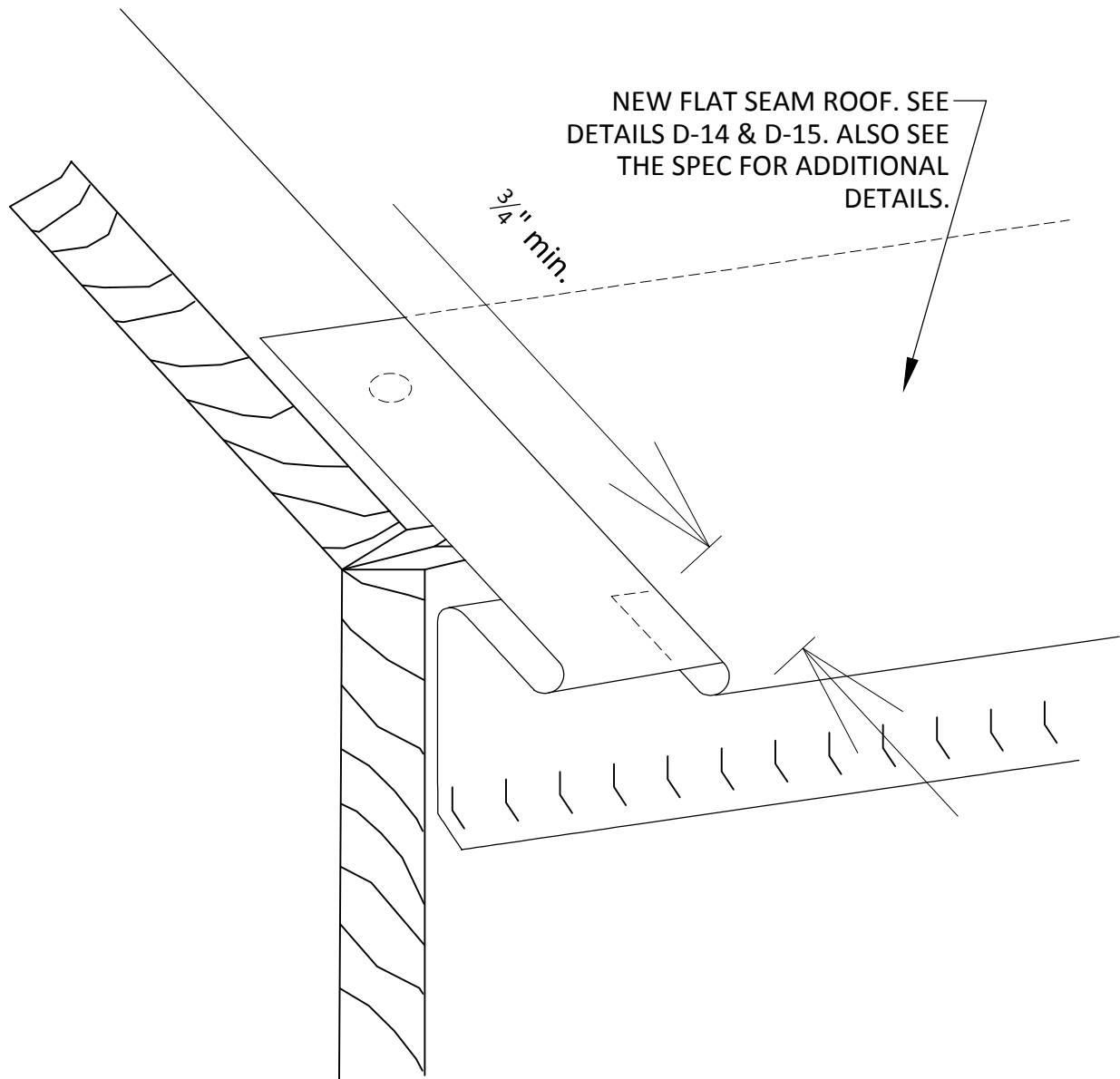


FOLDED SHEET

NEW FLAT SEAM. SEE DETAIL  
D-14 AND THE SPEC FOR  
ADDITIONAL DETAILS.

CONTINUOUSLY  
SOLDER ALL JOINTS







## 2. 111/145 Maplewood Avenue - Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved design (add north and south roof decks with glass railings, add (4) doors to access proposed decks, and add (4) light fixtures to the proposed roof decks.

Staff Comment: Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work  
Session or Administrative Approval  
Application**

**LUHD-229**

**Status:** Active

**Submitted:** Nov 12, 2020

**Applicant**



Neil Hansen



6034338818



nahansen@tighebond.com

**Location**

145 MAPLEWOOD AVE  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Project Information**

**Brief Description of Proposed Work**

REVISED DESIGN 12-02-2020 AGENDA

1. Add North and South roof decks with glass railings.
2. Add 4 doors to access new roof decks.
3. Add 4 WP2 light fixture at new roof decks.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives**

**Phone**

603-518-2279

**Business Name (if applicable)**

Procon Inc.

**City/Town**

Manchester

**Zip Code**

03108

**State**

NH

**Email Address**

clizotte@proconinc.com

**Mailing Address (Street)**

PO Box 4430

**Full Name (First and Last)**

Chris Lizotte

**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true





## SITE PLAN - ROOF PLAN

111 MAPLEWOOD AVE  
PORTSMOUTH, NH





*New South deck, same glass railings  
as the West deck*

*New North deck, same glass railings  
as the West deck*

Maplewood Ave



Vaughan Street

**BUILDING VIEWS**  
111 MAPLEWOOD AVE  
PORTSMOUTH, NH



New glass railings,  
same as the West  
deck.



Add two WP2 light fixtures

New doors, same as the West deck

New glass railings, same as the West deck



1 HDC BUILDING ELEVATION - ENTRY PASSAGE (EAST)

3/32" = 1'-0"

Add two WP2 light fixtures

New door, same as the West deck

Remove door

New door, same as the West deck

New glass railings, same as the West  
deck and balcony

4 HDC BUILDING ELEVATION - VAUGHAN STREET (NORTH)

3/32" = 1'-0"



2 HDC BUILDING ELEVATION - MAPLEWOOD AVENUE (SOUTH)

3/32" = 1'-0"

New glass railings,  
same as the West  
deck.

West deck, glass railings and  
doors approved on  
05/20/2020

New glass railings, same as the  
West deck.

5 HDC BUILDING ELEVATION - VAUGHAN/RAYNES ENTRY (WEST)

3/32" = 1'-0"



3 HDC BUILDING ELEVATION - RAYNES AVENUE (WEST)

3/32" = 1'-0"

# BUILDING ELEVATIONS

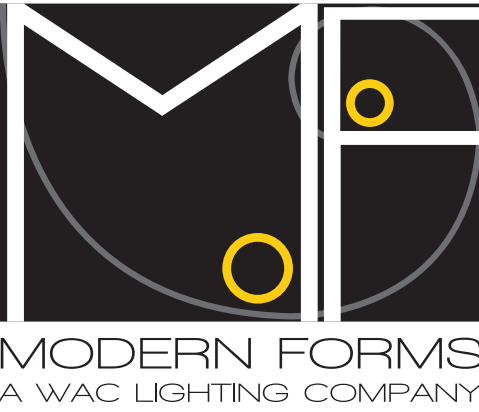
111 MAPLEWOOD AVE  
PORTSMOUTH, NH



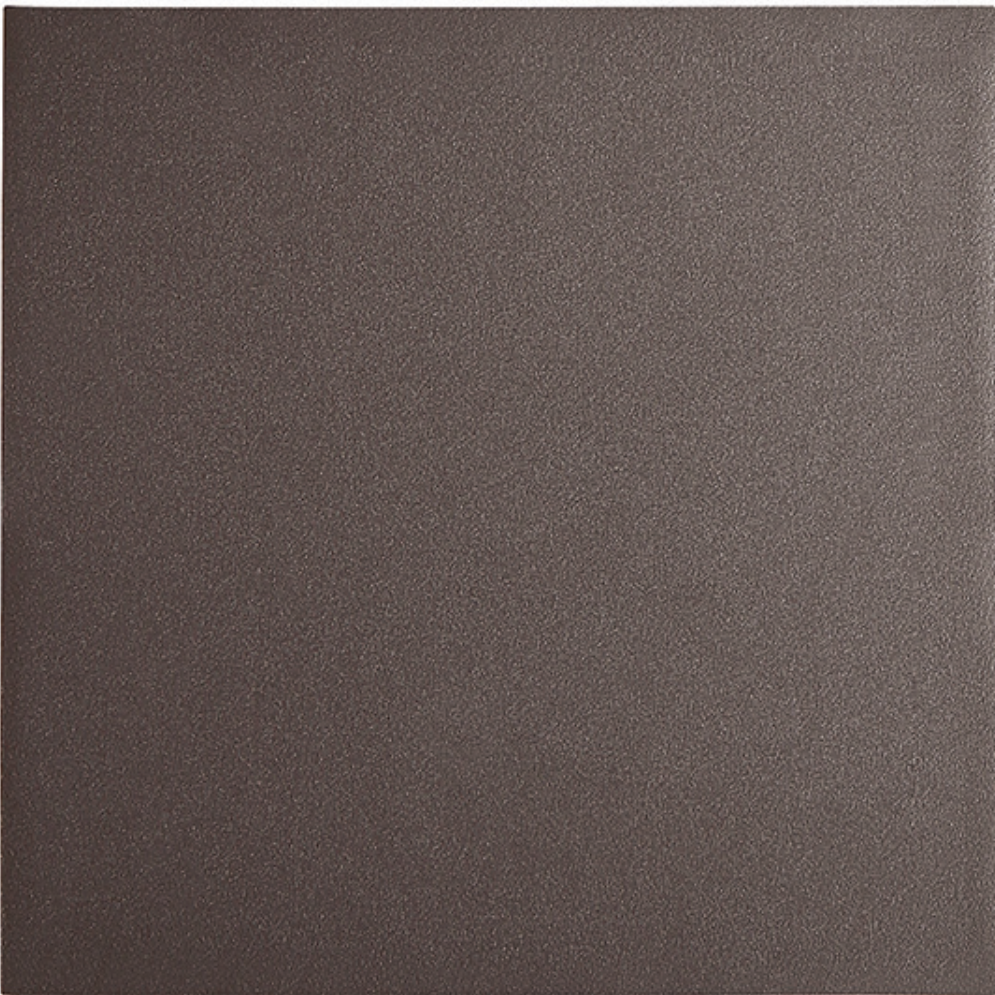
SQUARE – model: WS-W386

LED Interior & Exterior Sconce

Low wall areas, balcony  
and roof terrace



MODERN FORMS  
A WAC LIGHTING COMPANY



Fixture Type:

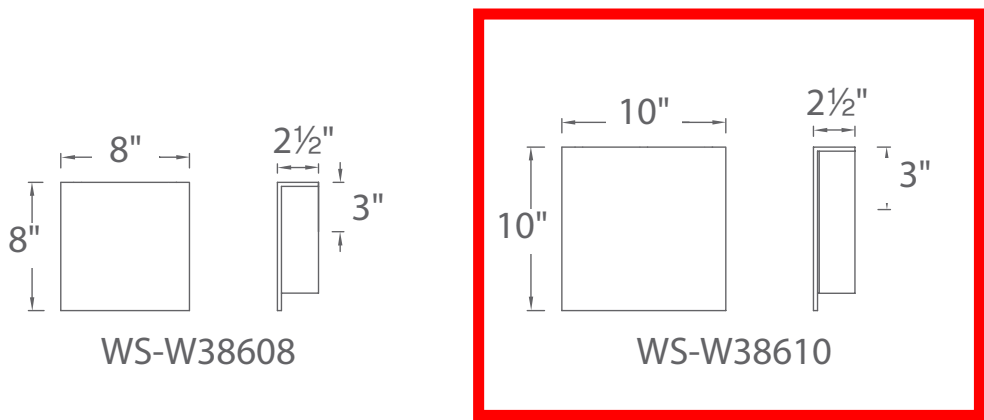
WP2

Catalog Number:

Project: 145 Maplewood, Portsmouth NH

Location: Exterior Wall

Light type  
Approved on 05/20/2020



PRODUCT DESCRIPTION

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways and dramatic visual intrigue in the evening. Perfect for wall grazing surfaces.

FEATURES

- Dark Sky friendly
- ADA compliant, low profile design
- ETL & cETL, wet location listed, IP65 rated
- Aluminum construction
- Full range dimming when used with compatible dimmers
- No transformer or driver required
- 277V option available (special order)
- 50,000 hour rated life
- Color Temp: 3000K
- CRI: 90

SPECIFICATIONS

**Construction:** Aluminum construction.

**Light Source:** High output LED.

**Finish:** Titanium (TT), Bronze (BZ).

**Standards:** ETL & cETL damp location listed. IP65 rated. ADA compliant. **Dark Sky friendly.**

ORDER NUMBER

Model	Width	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W38608	8"	9W	120V	486	398	BZ Bronze
WS-W38610	10"	15W		836	720	TT Titanium

Example: **WS-W38608-BZ**  
For 277V special order, add an "F" before the finish: **WS-W38608F-BZ**

modernforms.com  
Phone (800) 526.2588  
Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760

BUILDING LIGHTING

111 MAPLEWOOD AVE  
PORTSMOUTH, NH

### 3. 209 Marcy Street

- TBD

Background: The applicant is seeking approval for the installation of a Mitsubishi A/C condenser.

Staff Comment: Additional screening may be required.

#### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work  
Session or Administrative Approval  
Application**

**LUHD-230**

**Status:** Active

**Submitted:** Nov 12, 2020

**Project:** 209 Marcy Street - Install mini-split.

**Applicant**



Harold Lorencic



978-697-5884



harry.lorencic@gmail.com

**Location**

209 MARCY ST  
Portsmouth, NH 03801

---

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

---

**Project Information**

**Brief Description of Proposed Work**

Install a Mitsubishi Ductless Air Conditioner

**Description of Proposed Work (Planning Staff)**

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**Project Representatives**

---

**Acknowledgement**

I certify that the information given is true and correct to the best  
of my knowledge.

true

By checking this box, I agree that this is equivalent to a  
handwritten signature and is binding for all purposes related to  
this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship  
to this project. Owner authorization is required.

--

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**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

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**INTERNAL USE ONLY -- Letter of Decision Information**

Owner Addressee Full Name and Title

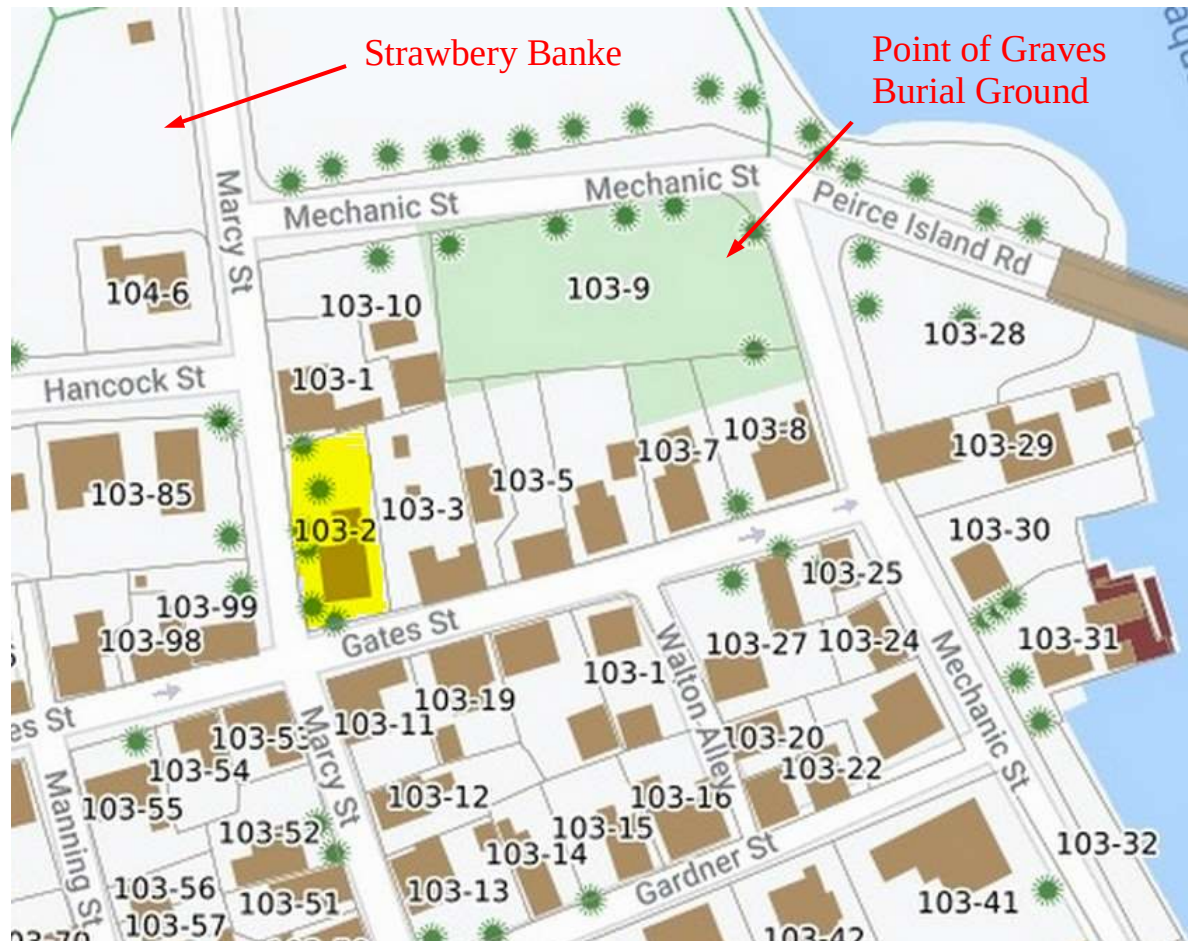
--

Owner Addressee Prefix and Last Name

--



Portsmouth Historic District Commission  
209 Marcy Street Administrative Approval December 2, 2020



Map Lot: 103-2  
Address: 209 Marcy Street  
Owners: Harold & Kimberly  
Lorencic



Existing View West Side, Marcy St



Existing View South Side, Gates St



Existing Partial View North Side



Existing Partial View North Side





## Scope of Work:

Install a Mitsubishi ductless mini split air conditioner system consisting of three indoor units and one outdoor compressor. Units will be installed as follows;

1. 1<sup>st</sup> floor dining room
2. 1<sup>st</sup> floor great room
3. 2<sup>nd</sup> floor bedroom.

Work to be done by East Coast HVAC: 436 Shattuck Way #5, Newington NH

Compressor: Model MXZ-3C30NAHZ Dimensions: 41 3/8" Wide x 41 5/16" High (59" w/ Stand) x 13" Deep

Freon and drain lines run to the outside of the house and are covered with a Fortress Line Cover that can be painted to match the exterior finish.

Compressor



Examples of the Fortress Line Cover







## Proposed Location for Fortress Line Cover Run & Compressor

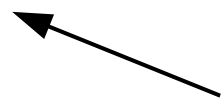
2<sup>nd</sup> Floor Bedroom  
Fortress Run



Alternate Dining Room  
Fortress Run



Preferred Dining Room  
Fortress Run.







Compressor Location



Great Room Fortress  
Run & Compressor



#### 4. 37 South Street

#### - Recommended Approval

Background: The applicant is seeking approval for the installation of deck skirting on the lower portion of the rear deck. The skirting will be a combination of vertical composite board and lattice.

Staff Comment: Recommended Approval

#### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work  
Session or Administrative Approval  
Application****LUHD-238****Status:** Active**Submitted:** Nov 24, 2020**Applicant**

kevin charette



8607127136



ktc@comcast.net

**Location**37 SOUTH ST  
Portsmouth, NH 03801**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Install deck skirting on rear of house, approximately 18 feet length by 7 feet wide and 6.5 feet high. Under deck entry door installed on west side. Lower 4.5 feet of skirt to be 4 inch vertical white composite board spaced approximately 1/4 - 1/2 inch. Top 2 feet of skirt to be small square vinyl lattice. Door to be constructed of vertical board. Material consistent with recently remodeled upper deck.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Full Name (First and Last)**

lori charette

**Email Address**

lchar@comcast.net

**Mailing Address (Street)**

37 south street

**State**

nh

**Phone**

8606900743

**Relationship to Project**

Owner

**City/Town**

portsmouth

**Business Name (if applicable)**

--

**If you selected "Other", please state relationship to project.**

--

**Zip Code**

03801

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

















