

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NH**

Remote Meeting Via Zoom Conference Call

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Per NH RSA 91-A:2, III (b) the Chair has declared COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2020-5, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

6:30 p.m.

June 03, 2020

AGENDA (revised on May 29, 2020)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. May 07, 2020
2. May 13, 2020
3. May 20, 2020

II. ADMINISTRATIVE APPROVALS

1. 133 Islington Street
2. 14 Mechanic Street
3. 140 Court Street
4. 142 Congress Street

III. CERTIFICATE OF APPROVAL EXTENSION REQUESTS

1. Petition of **ED PAC, LLC, owner**, for property located at **152 Court Street**, wherein a 1-year extension of the Certificate of Approval granted by the Historic District Commission on

July 10, 2019 is requested, to allow new construction to an existing structure (rebuild original wall on previously demolished rear façade) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 37 and lies within the Character District 4 (CD 4) and Historic Districts.

IV. PUBLIC HEARINGS (OLD BUSINESS)

A. (Work Session/Public Hearing) requested by **Maheer Family Revocable Trust of 2018, John R. and Sky W. Co-Trustees, owners**, for property located at **50 Austin Street**, wherein permission is requested to allow exterior renovations to an existing structure (add an enclosed porch on the rear of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 136, Lot 1 and lies within the General Residence C (GRC) and Historic Districts. *(This item was postponed at the May 07, 2020 meeting to the June 03, 2020 meeting.)*

B. Petition of **John S. Guido Jr., owner**, for property located at **35 Howard Street, #35**, wherein permission is requested to allow exterior renovations to an existing structure (replace (10) existing windows on the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103, Lot 83-2 and lies within the General Residence B (GRB) and Historic Districts. *(This item was postponed at the May 07, 2020 meeting to the June 03, 2020 meeting.)*

C. Petition of **Jeffrey L. and Dolores P. Ives, owners**, for property located at **44 Gardner Street**, wherein permission is requested to allow new construction to an existing structure (remove rear porch and replace with sunroom and expand kitchen bay) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103, Lot 42 and lies within the General Residence B (GRB) and Historic Districts. *(This item was postponed at the May 07, 2020 meeting to the June 03, 2020 meeting.)*

V. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **132 Middle Street LLC and 134 Middle Street, LLC, owners**, for property located at **132-134 Middle Street**, wherein permission is requested to allow exterior renovations to an existing structure (re-pointing brick, roof replacement, add ADA accessible entry, and front entrance renovations) as per plans on file in the Planning Department. Said property is shown on Assessor Map 127 as Lots 11 and 12 and lies within the Character District 4- L1 (CD 4-L1) and Historic Districts. *(This item was postponed at the May 13, 2020 meeting to the June 03, 2020 meeting.)*

B. Work Session requested by **St. John's Church, owner**, for property located at **105 Chapel Street**, wherein permission is requested to allow new construction to an existing structure (construct new addition for ADA compliant entrance) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 62 and lies within the Civic, Downtown Overlay, and Historic Districts. *(This item was continued at the May 13, 2020 meeting to the May 20, 2020 meeting.)*

VI. ADJOURNMENT

**MINUTES
HISTORIC DISTRICT COMMISSION MEETING
ONE JUNKINS AVENUE, PORTSMOUTH, NEW HAMPSHIRE**

EILEEN DONDERO FOLEY COUNCIL CHAMBERS

6:30 p.m.

May 07, 2020

MEMBERS PRESENT: Chairman Vincent Lombardi; Vice-Chairman Jon Wyckoff;
Members Reagan Ruedig, Dan Rawling, Cyrus Beer and Martin
Ryan; City Council Representative Paige Trace; Alternate Margot
Doering

MEMBERS EXCUSED: Alternate Heinz Sauk-Schubert

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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I. APPROVAL OF MINUTES

A. April 15, 2020

Mr. Ryan recused himself from the vote because he did not attend the April 15 meeting.

*The April 15, 2020 minutes were **approved** as amended by unanimous roll call vote, 6-0.*

*It was moved, seconded, and approved by unanimous roll call vote, 7-0, to **postpone**
Administrative Approval items #1 and 2 to the May 13, 2020 meeting, and Petitions 2 and 4 to
the June 3, 2020 meeting.*

II. ADMINISTRATIVE APPROVALS

1. 403 Deer Street, Unit 13 (continued from the April 15, 2020 meeting.)

*It was moved, seconded, and approved by unanimous roll call vote, 7-0, to **postpone** the item to
the May 13, 2020 meeting.*

2. 73 Daniel Street (continued from the April 15, 2020 meeting.)

*It was moved, seconded, and approved by unanimous roll call vote, 7-0, to **postpone** the item to
the May 13, 2020 meeting.*

3. 3 Pleasant Street

Mr. Cracknell noted that there were seven changes to the previously-approved project. The
project architect Tracy Kozak representing the client was present. She said she also wanted to

add an anchor plate detail where the string lights were connected. She reviewed the rest of the changes and additions and explained why they were necessary.

Ms. Ruedig asked why the new louver vents were larger. Ms. Kozak said it was due to the restaurant's cooking equipment. She said an additional change was a star-shaped painted steel anchor bolt. In response to Ms. Trace's question, Ms. Kozak said they were proposing real copper for the parapet and not painted metal. Ms. Trace asked if the same copper would be used on the round part of the fourth story. Ms. Kozak agreed and said they were approved for a green patina copper on the parapet roofs and that the cornice could be the same green or a natural mill finish. It was further discussed. Mr. Rawling said the cornice under the parapet would be better in green because it would be less subjected to weathering and more consistent in coloration. Ms. Kozak said the solar panels would only be seen from the back parking lot of the bank and from the Starbucks café and not from the street level. The applicant Mark McNabb verified that the parapet would be copper and not metal. He said the copper on the dome and standing seam on the parapet would be copper and that the panels and most of the trim for the existing windows would also be left in copper.

Ms. Kozak said they would use seven 4-inch pulls mounted on the wall at the north side of the alley if they had trouble attaching the string lights to the bricks. Mr. Cracknell said the Commission would need approval from both abutters, and he suggested stipulating it. Mr. Beer said he would move to approve the project but asked for a third stipulation that the applicant did not have to return if pulls were needed. Ms. Reagan seconded. Vice-Chair Wyckoff and Mr. Rawling disagreed, noting that pulls were a major change and that the Commission had to know what they looked like. Mr. Beer said he would withdraw his stipulation, and Ms. Ruedig agreed.

*Mr. Beer moved to **approve** Administrative Approval Item #3, with the following two stipulations:*

- 1. Star-shaped, painted anchor plates shall be used for the string lighting in the alleyways and be subject to written approval from the abutting property owners.*
- 2. Raw copper shall be used on the dome, parapet, and cornice.*

*Ms. Ruedig seconded. The motion **passed** by unanimous roll call vote, 7-0.*

4. 410-430 Islington Street

Mr. Cracknell said there were four requested changes to the approved plan: changing the window trim and modifying the siding on the new addition of Building 410, and changing the gable window trim and the trim of the roof above the patio door on Buildings 422 and 424.

*Vice-Chair Wyckoff moved to **approve** Administrative Item #4, and Ms. Ruedig seconded. The motion **passed** by unanimous roll call vote, 7-0.*

III. PUBLIC HEARINGS (OLD BUSINESS)

1. (Work Session/Public Hearing) requested by **Maier Family Revocable Trust of 2018, John R. and Sky W. Co-Trustees, owners**, for property located at **50 Austin Street**, wherein

permission was requested to allow exterior renovations to an existing structure (add an enclosed porch on the rear of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 136, Lot 1 and lies within the General Residence C (GRC) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 06, 2020 meeting)*

Mr. Rawling recused himself from the petition.

The applicant Skye Maher reviewed the petition. Ms. Ruedig asked about the bulkhead. Ms. Maher said they would remove it and put a stairway inside the porch. Ms. Ruedig said the new porch would be appropriate because it would face away from Middle Street and would be in keeping with the building. Vice-Chair Wyckoff noted that there weren't many details, and Ms. Trace agreed. In response to their questions, Ms. Maher said she wanted to put small divided lights at the top of the window, install large venting windows, use Azek on the building addition's trim and a flat panel with Azek under the windows, asphalt shingles for the roof, no gutters, and perhaps a ClearView door.

Mr. Ryan asked Ms. Maher to return with a list of materials at a future meeting. He thought a metal roof would be better than an asphalt one.

There was no public comment.

DECISION OF THE COMMISSION

*Mr. Beer moved to **continue** the work session/public hearing to the June 3, 2020 meeting, and Vice-Chair Wyckoff seconded. The motion **passed** by unanimous roll call vote, 6-0.*

2. Petition of **John S. Guido Jr., owner**, for property located at **35 Howard Street, #35**, wherein permission is requested to allow exterior renovations to an existing structure (replace (10) existing windows on the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 83-2 and lies within the General Residence B (GRB) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 06, 2020 meeting)*

*It was moved, seconded, and passed by unanimous vote to **postpone** the petition to the June 3, 2020 meeting.*

3. Petition of **Hoerman Family Revocable Trust of 2019, Walter A. and Mary Ellen Hoerman Trustees, owners**, for property located at **56 Dennett Street**, wherein permission was requested to allow new construction to an existing structure (construct rear addition) and exterior renovations to an existing structure (replacement windows and clapboard siding) as per plans on file in the Planning Department. Said property is shown on Assessor Map 140 as Lot 13 and lies within the General Residence A (GRA) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 06, 2020 meeting)*

Vice-Chair Wyckoff recused himself from the petition.

SPEAKING TO THE PETITION

The applicant Walter and Mary Ellen Hoerman were present and reviewed the petition. Mr. Hoerman said they wanted to keep the current front door and recreate the siding and trim but replace a lot of it with new materials due to leakage and moisture damage. He said none of the windows were original. He said the proposed addition would be added to the 1985 back addition.

Ms. Ruedig said it was nice that there were muntins and thin spacer bars for the front windows, even though the windows weren't very old. She asked that the new windows be as small as possible so that they had a historic look, and that half-screens be used. Mr. Hoerman agreed and said they would also remove the aluminum storms. Ms. Trace noted that the specification called out a stainless steel bar and perimeter. Mr. Hoerman said they wanted wooden windows and not steel ones and that he would verify that they were the Marvin Heritage wood windows. Mr. Rawling said that metal was typical for single divided lights (SDLs) and that he agreed with Ms. Ruedig that 5/8" mullions would be more appropriate. He asked whether the windows were whole or sash replacements. Mr. Hoerman said everything would be wood and that he would recreate the window surround.

SPEAKING TO, FOR, OR, AGAINST THE PETITION

No one was present from the public, and Chairman Lombardi closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the application, with the following stipulations:*

- 1. A 5/8" muntin pattern shall be used on the replacement windows.*
- 2. Half screens shall be used.*

Mr. Rawling seconded.

Ms. Ruedig said she hated to see old windows go but noted that they weren't very old or original. She said the project would preserve the integrity of the District and would be consistent with the special and defining character of surrounding properties.

*The motion **passed** by unanimous roll call vote, 6-0.*

4. Petition of **Jeffrey L. and Dolores P. Ives**, owners, for property located at **44 Gardner Street**, wherein permission is requested to allow new construction to an existing structure (remove rear porch and replace with sunroom and expand kitchen bay) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103, Lot 42 and lies within the General Residence B (GRB) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 06, 2020 meeting)*

*It was moved, seconded, and passed by unanimous vote to **postpone** the petition to the June 3, 2020 meeting.*

IV. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **Vaughan Street Hotel, LLC and Stone Creek realty, LLC, owners**, for properties located at **299 Vaughan Street and 53 Green Street**, wherein permission was requested to allow the partial demolition of an existing structure and the construction of a new free-standing commercial structure (5-story Hotel) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 10 and Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD 5), Downtown Overlay, and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 06, 2020 meeting.)*

WORK SESSION

Carla Goodknight was present on behalf of the applicant. She said several of the Commission's suggestions from the previous work session were incorporated into the project, including raising the parapet, developing some recessed areas, adding a mix of textures, and adding a new playful vertical brick façade. She reviewed the petition in full.

Mr. Rawling said the changes made a lot of difference in the building, including fenestration change in the upper floors and the playful brick. He liked the extended canopy around the building and the expression of the ground-floor piers relating to the bays and spacing on the upper floors. He said some items still needed work, like the 5-story blank panel, the entrance to the park and underground passage, and the screening fence for the generators. He said the walkway was the most important public realm space but still had a creepy feeling that someone was sneaking past the dumpsters to have a smoke. He also noted that he previously suggested a trellis. He said the building still felt off-balance at the ground level due to the large opening but that bringing the grid work across would have the effect of a sliding panel or door and act as a balance. He also suggested infill panels between the piers for more cohesiveness.

Mr. Ryan said the landscape plan looked terrific and gave a different sense of what that space could be. He said if the dumpsters and generator had the proper fencing and barriers, it could work well and be a successful space. He liked the way the public space around the building's street level looked but was bothered by the big, black multi-story statement at the center of the building. He said it looked ominous and had such an enormous scale that one would expect to see Godzilla come out of it. He said the signage was improved. He said there were no visual connectors between the stair and the outside, and he suggested more glazing for more transparency. He recommended something more artistic for the big panel, but in general thought the building's mass was good. Vice-Chair Wyckoff agreed and recalled that the Commission had previously discussed all those items and had a lot of suggestions for glass panels, whether they were muted or translucent so that the stairs couldn't be seen. He said his favorite part of the building was the Green Street elevation because it was pulled back from the street, and that some of the playfulness in the brickwork looked a little too playful but was okay because it was pulled back from the street. He said the colonnade wasn't strong enough and suggested a contemporary arch-type design to beef up the entry so that the building didn't look like it would fall over. He

also suggested some screening to connect the columns so that one wouldn't see the fencing around the dumpsters and generators.

Ms. Trace said she agreed that the dark mass in the front was very foreboding, and she suggested doing the panel in dark reflective glass instead of having it be opaque. Ms. Ruedig said it was an interesting part of the building that broke it up, but she thought the problem was that it went all the way down to the ground. She said if that part signaled the entrance and had something at the base of it to give it some interest instead of being a dead bookend in the center of the building, it could work. She said the rest of the building was greatly improved, noting that the fenestration changes added a lot of interest. She said she was pleased to see the blocks of darker brick between window and how they broke up the monotony. She said the vertical brick was interesting but that she had to think about it more. Regarding the walkway under the building, she said the base could be heavier so that it looked like it was supported or it could be lighter to give the illusion that half of the building was floating in space.

Mr. Rawling said the black panel could be treated like a slab by breaking through the cornice line and not being held in by a fascia and be more of an abstract element. Mr. Beer said the signage looked like a 60-ft advertisement and felt like an enormous weight to the building and that the glass on the first floor didn't look like it could hold the weight above it. He thought the vertical brick looked fake. Chairman Lombardi said that having a glass element extended up without framing might be interesting but that he felt that an element with light coming through it would be better. He also suggested making the interior stairway more architecturally pleasing so that it could be seen through the glass at night. He said the vertical brick went against the concept of brickwork and didn't connote strength, and he suggested that tile or another material would be more appropriate. He said the building's suspension made him uncomfortable but thought the spacing was better and that the balconies and top cornice were improvements. He said the entrance was so understated that it didn't read as an entrance. Mr. Rawling also suggested extending all the horizontals across from the window mullion patterns through the center of the building and then adding some vertical elements to break it up.

Ms. Trace said if the stairway were painted pink like the Moxy sign and the panel was glass so that the stairway could be seen, it would create a diagonal pattern that would be different from anything else. She suggested extending the fencing all the way down the walkway to make the area look less industrial. Mr. Ryan said the vertical brick didn't bother him because it was unique, but the big front panel was like an all-black canvas that needed something. Ms. Trace said she liked that the back of the building seemed to be floating, noting that it was a modern building in an area that respected artistic themes, but thought the center panel needed something. (At this point, Ms. Doering joined the meeting). She said she didn't see much change in the building that reflected the Commission's previous discussion. She suggested using a diagonal decorative element like polished jib-shaped sails that would be a statement that could draw people in. She said the rectangular box did not help the building's aesthetics.

There was no public comment.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed by unanimous vote to **continue** the work session to the June 3, 2020 meeting.*

B. Work Session requested by **Bow Street Theatre Trust, owner**, for property located at **125 Bow Street**, wherein permission was requested to allow new construction to an existing structure (replace roof, add insulated cladding on two walls) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 1F and lies within the Character District 4 (CD 4), Downtown Overlay, and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 06, 2020 meeting.)*

WORK SESSION

The project architect Tracy Kozak was present on behalf of the applicant. She reviewed the petition and pointed out that the metal roof had with rows of snow guards and would have different-colored ribs and a secondary color for the flat panel, and the snow guards would match the rib color. Mr. Beer said the roof was a big improvement and that he could support the project. Mr. Ryan said he appreciated the batten system because it was a good compromise that softened the blow of losing a beautiful modern space. He said he wished he could see less of the side walls and more transparency. Ms. Kozak said the alley wall would be for an art gallery but the triangular gable pieces were open for debate. She said the back and side walls had some glass but could go either way. Mr. Ryan recommended keeping as much transparency as possible. He said the roof would be impressive to the theatergoers and that he could support the project. Ms. Doering said she was also in support and thought the 1980s glass panel was a good compromise. She suggested a design element, like a rainbow that would be moved from one panel to another.

Ms. Ruedig said the new roof system was very appropriate and attractive and worked with what was there before. She said she would not want to see a slate blue color that was glaring or tacky or contrasted from the whole piece, but that she would rely on the applicant's architectural and artistic judgements. Mr. Rawling said the new roof system was a great improvement to the design, with interesting texture that was lacking before. He said it broke up the mass quite a bit, and he was fine with the color choices. He suggested making the front and corner panels glass to make the lower level more transparent. Vice-Chair Wyckoff said he was also pleased with the new roof and the colors. He said LED lighting like the Memorial Bridge used could be done to the roof and controlled from a Smartphone so that the colors could change. Mr. Ryan said he preferred a color that would look like glass and be reminiscent of what was there before instead of a jarring opaque solid roof. Ms. Trace suggested a finish for the roof that would make it less matte or give it a reflective quality that would let it change color on its own with the weather and be more lifelike. She thought the roof could become too matte and look like just a blue roof with black lines. She also wished that the first three panels on the side could still be glass.

Chairman Lombardi said it was a great project and thought some of the Commission's suggestions were interesting, especially using LED lighting color combinations on the roof.

There was no public comment.

DECISION

The applicant stated that she would return for a public hearing at a future meeting.

V. ADJOURNMENT

The meeting was adjourned at 9:30 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES OF THE
THE HISTORIC DISTRICT COMMISSION MEETING**

Remote Meeting Via Zoom Conference Call

6:30 p.m.

May 13, 2020

MEMBERS PRESENT: Chairman Vincent Lombardi; Vice-Chairman Jon Wyckoff;
Members Reagan Ruedig and Martin Ryan; Alternates Heinz
Sauk-Schubert and Margot Doering

MEMBERS EXCUSED: Dan Rawling, Cyrus Beer, City Council Representative Paige
Trace

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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I. ADMINISTRATIVE APPROVALS

1. 403 Deer Street, Unit 13 (*postponed at the May 07, 2020 meeting to the May 13, 2020 meeting.*)

Mr. Cracknell said there were 12 changes since the project was approved in 2019 and that most of them were minor field changes that the contractor made, independent of the applicant or the HDC. He emphasized that screens were not specified on the approval and that full screens were not requested. He said the contractor installed full screens on all of the building's 40 windows. He reviewed the changes, which included the installation of transoms with three lights and doors with nine lights because the originally-approved lights were not available.

The full screens were discussed. Vice-Chair Wyckoff said the screens should have been mentioned during the original presentation and that he didn't feel badly about requesting that half screens replace the full screens. Mr. Ryan said it was the Commission's fault that half screens weren't noted and that they didn't have the right to impose the added cost on the applicant.

Ms. Doering asked how the left-hand railing got aligned with the opening between the two buildings and had to shift to the left. The applicant Doug Palardy said the original plan was to keep the deck in place but they eliminated it due to the rot. He said there was also an issue with footings on the ground to make the deck a stable platform, so the stairs were rebuilt and the railing got shifted to the right and sort of married with the door and the landing on the left-hand side. Vice-Chair Wyckoff asked why the 3-light tall transom was installed instead of the 5-6 small panes of glass. Mr. Palardy said it never dawned on him to check the transoms at the top of the door. Vice-Chair Wyckoff verified that the units were ordered with the transom installed on the top already. Mr. Palardy said it came as a complete package from the manufacturer and that he would see if it could get changed. Vice-Chair Wyckoff said that plugging in a unit out of a catalog was a new construction method that shouldn't have been done on a historic building.

The half screens were further discussed. Mr. Cracknell said that some of the burden was on the Commission but that the Commissioners had approved what they saw, which was no screens. Ms. Ruedig said it was unfortunate that the full screens were installed because they were black mesh screens that hid the windows. She asked whether some screens could be removed and others left on guestrooms that weren't seen from a main view. Mr. Palardy said he would contact the manufacturer to see if it was possible to get half screens. Ms. Ruedig said the other items were fine and thought the light fixtures were more interesting than those that were originally approved but that the 9-panel door looked like new construction and was more inappropriate than the transoms. She suggested that the applicant check with the contractor to make sure the full screens weren't the contractor's fault and might have been a mistake in the manufacture. Vice-Chair Wyckoff said that, because the windows were Andersen ones, it would make no difference to the window by removing the full screens and installing the half screen. He also thought the contractor might have ordered the wrong door and transom. Mr. Cracknell suggested approving the application with a stipulation that a subsequent administrative approval would be needed for the screens to be replaced by half screens and for the door and transom to be replaced with the originally-approved door and transom.

*Vice-Chair Wyckoff moved to **approve** Administrative Approval Item #1 with the following stipulation:*

- 1. The applicant would return for an Administrative Approval for the window screens, door, and transom window. With a preference for Half-Screens and the originally approved door and transom window.*

*Ms. Ruedig seconded. The motion **passed** by unanimous vote, 5-0.*

2. 73 Daniel Street (postponed at the May 07, 2020 meeting to the May 13, 2020 meeting.)

Mr. Cracknell said the request was to install a 6"x6" louver vent on the building that would be painted the color of the brick and sized the brick's length and width. He said there were two options for its location, one high up in the arch and one lower. Vice-Chair Wyckoff said he didn't like either location. Ms. Ruedig said she preferred the one in the lower position because it didn't compete with the arch. Mr. Ryan said he wouldn't vote for either one, noting that it was an air intake and not an exhaust. He asked why it couldn't be in the interior, seeing that it was for a boiler. At this point, Mr. Sauk-Schubert joined the meeting. He said the applicant had previously mentioned that they had to bring fresh air from the rear of the building. Mr. Cracknell said the Inspection Department required the intake vent for the boiler room and that there was no other viable exit because of the restaurant. Ms. Doering said she wouldn't approve it if it wasn't necessary but that she'd opt for the higher location because it wasn't right next to the door. Vice-Chair Wyckoff said he preferred it down because he thought there could be a light fixture at the upper location. Mr. Sauk-Schubert said he liked the idea of a light fixture/intake combination, and several Commissioners agreed. Mr. Cracknell suggested stipulating that the vent be made smaller and return as an administrative approval if the smaller dimension didn't work. He also thought that a light was a tasteful way to screen the vent. Vice-Chair Wyckoff said a lot of buildings had a bronze or copper nameplate with the building number and client name on it that stood out from the building a few inches and allowed airflow in the back of it.

Ms. Ruedig suggested continuing the request to the next meeting. Mr. Ryan also asked that Mr. Cracknell confirm that the vent was a code requirement.

*It was moved, seconded, and **passed** unanimously (6-0) to **continue** the item to the May 20, 2020 meeting.*

II. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **132 Middle Street LLC and 134 Middle Street, LLC, owners**, for property located at **132-134 Middle Street**, wherein permission is requested to allow exterior renovations to an existing structure (re-pointing brick, roof replacement, add ADA accessible entry, and front entrance renovations) as per plans on file in the Planning Department. Said property is shown on Assessor Map 127 as Lots 11 and 12 and lies within the Character District 4- L1 (CD 4-L1) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 13, 2020 meeting.)*

DECISION OF THE COMMISSION

*It was moved, seconded, and **passed** unanimously (6-0) to **postpone** the petition to the June 3, 2020 meeting.*

B. Work Session requested by **GBK Portsmouth, LLC, owner**, for property located at **134 South Street**, wherein permission was requested to allow new construction to an existing structure (add roof deck) and renovations to an existing structure (update lower façade, entrances, decks, and exterior lighting) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 64 and lies within the General Residence B (GRB) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 13, 2020 meeting.)*

The applicant Ben Kelly and the project architect Brandon Holben were present to speak to the petition. Mr. Holben noted that the Commission's prior feedback was taken into consideration. He reviewed the petition in full.

Vice-Chair Wyckoff said the applicant took the Commission's comments seriously, especially by making the trim look beefier around the balconies. He said it was a nice positive look to the old building and that he was in full support of the project as it was. Ms. Ruedig agreed. She said the Commission didn't have purview on colors but thought that the applicant could be creative and buck the current trend of blue and gray. She said the rooftop addition was great and that cleaning up the back was a big improvement. She said she preferred to see wood balconies instead of metal ones on a building in the middle of the south end and thought the façade needed to be treated more conservatively. Mr. Ryan said he felt the same way about the rails but thought they were fine. He suggested using a wood cap on the top portion of the handrail so that it didn't look so severe. Ms. Doering agreed with Ms. Ruedig that the railings shouldn't be so modern, especially if they were original to the building. Mr. Holben said the railings were not original and were poorly constructed, and he explained that heavy posts would have to be placed on the

corners to make wood railings work and that it would look too heavy. He said the lighter material simplified it and let the original trim show through. He said the wood cap was a good idea.

Mr. Sauk-Schubert suggested that a wooden top railing might enhance the façade a bit. He suggested a separate base for the rooftop structure to delineate the progression from the deck to the exit enclosure. Mr. Holben said they wanted to keep it simple. Chairman Lombardi said he agreed that such a traditional building should have a traditional front façade and that he would miss the wood on the front. He also thought that a wood top rail would be a good compromise.

PUBLIC COMMENT

There was no public comment.

DECISION OF THE COMMISSION

*The applicant said he would **return** for a public hearing at the June 3, 2020 meeting.*

C. Work Session requested by **KWA, LLC, owner**, for property located at **165 Court Street**, wherein permission was requested to allow renovations to an existing structure (renovate store-front with new glazing and new canopy system) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 27 and lies within the Character District 4 (CD 4), Downtown Overlay, and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 13, 2020 meeting.)*

The architect Brandon Holben was present on behalf of the applicant. He reviewed the petition and said they wanted to improve the street appeal with storefront glazing and a new canopy system. He showed a few canopy designs and said they wanted to tint the upper level windows and storefront windows and do the canopy in a lighter accent color.

Vice-Chair Wyckoff said it was a nice, clean renovation. He noted that the rods went up to the brick but that there was no plate. Mr. Holben said the rods might become more decorative and explained that tabs would be bolted onto the steel beam at the base and that the frame elements would attach. He said the canopy would be supported like a sun shade. He said there was a plate and that a few bolts would be anchored into the mortar and would look more crafted. He said the rod would be at least $\frac{3}{4}$ " thick. He said they would do more exploratory work when they removed the existing canopy and that they might have to add another steel plate or tube to get the new canopy supported properly. He said the custom-made canopy would have a polycarbonate made of a higher-grade material that wouldn't become cloudy over time.

Ms. Ruedig said she was glad the canopy would have a steel frame but would miss the brush aluminum for the window finishes, which she felt was an important aspect of the building's design and timeframe. She asked if the canopy had a slope. Mr. Holben said the existing one sloped into the building but the new one would slope out. He said the canopy had some diffusion to it so that it wouldn't let a lot of light in and would protect the interior elements. Chairman Lombardi said he agreed with Ms. Ruedig about the aluminum windows but didn't have a problem with the dark color. He noted that the canopy followed the trapezoidal shape of the

corner and the street had a curve, so he wondered what the canopy would look like curved. Mr. Holben said they had considered it but favored the current shape of the canopy. Mr. Sauk-Schubert asked if the black finish was the anodized aluminum storefront or the painted black aluminum storefront. Mr. Holben said they could go anodized, which would have a more metal look and would contrast between the painted wood above and the metal storefront below. The canopy was further discussed.

Chairman Lombardi noted that the glass windows were fewer and larger. Mr. Holben said they gave more consistency to the sides of the panels. Mr. Sauk-Schubert verified that the frame of the canopy was welded and he suggested that the pieces closer to the core extend into the corner and attach to the angled piece where the angle would bisect. It was further discussed. Vice-Chair Wyckoff compared it to a hip roof going around the corner and thought it would accent the storefront entrance better than the proposed rods going way out on each sidewalk of the square. Mr. Cracknell said it would require an easement from the City.

PUBLIC COMMENT

There was no public comment.

DECISION OF THE COMMISSION

*The applicant said he would **return** for a public hearing in at the June 3, 2020 meeting.*

D. Work Session requested by **St. John's Church, owner**, for property located at **105 Chapel Street**, wherein permission was requested to allow new construction to an existing structure (construct new addition for ADA compliant entrance) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 62 and lies within the Civic, Downtown Overlay, and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 13, 2020 meeting.)*

The project architect Michael Campbell and a member of the project team, Rob Stevens, were present. Mr. Campbell reviewed the petition and said the purpose was to provide handicap access to the church that would begin in the lower parking lot. He also noted that the addition had three French doors that would spill out into the courtyard for interior and exterior events.

Chairman Lombardi asked if the large sanctuary window would be kept. Mr. Campbell said it would become a doorway to the church foyer but that all the other windows would remain windows. He said the doors on Chapel Street at the top of the handicap ramps would be replaced by two 2'8" doors and one 3-ft door with a sidelight. Vice-Chair Wyckoff said he wasn't comfortable with that. He said the marble keystone detail looked out of place and complicated and thought it should be the same brick material as the church or smaller. Mr. Campbell said the intent was for them to match what was on the church.

Ms. Ruedig said it was a nice addition and connection to the two buildings. She said she would do away with the keystones and just match the brick arches of the side of the 1950s building. She said the ramp fit in very well. Mr. Ryan said the addition was placed onto a very prized example

of historic architecture in Portsmouth and should not confuse people about its time and place. He said it concerned him that the applicant was copying a lot of the details of the church and trying to make the addition seem like it had always been there. He said the back of the building was more successful and should also be the same kind of language used on the front of the building that would eliminate any confusion about the history of the building complex. He said the proposed design was crowding the detail of the entrance into the 1950s building and was a bit awkward by trying to compete with the church and the parish hall.

Ms. Doering said she agreed with the comments about the keystones being heavy. She said the HDC guidelines indicated that the addition not compete with the main building and that it be more diminutive. She agreed that the back side of the building could also work just as well on the front and would allow people to see the different eras and the building's progression without taking too much away from the aesthetic. She said she could support either design and would encourage the church to consider going with something more daring.

Ms. Ruedig said the addition was clearly a contemporary one, even though it used a lot of the same language as the church. She said the windows were big and spaced closer together, which made the addition airier and brighter, but thought the windows could be even bigger to make the building even lighter and the more transparent structure. She said it should still be traditional because the church was one of the focal points of downtown Portsmouth and had a rich history. She said there were ways to make the addition a traditional 2020 building and thought the applicant was going in that direction. Vice-Chair Wyckoff agreed but said he felt that it was too complicated as far as the keystones and maybe the cornice. Mr. Ryan said the building would present as a 2020 addition and would look 'fake historic'. He said the arched windows were not needed or genuine and felt that the addition was almost mocking the church's history and doing it a disservice by grabbing elements off the church and creating the new addition. He said the other rendering in the presentation was more appropriate and tasteful and wouldn't compete with the church. Mr. Sauk-Schubert said the keystones should also reflect the pier at the corner and that the fascia should return and make a clean cut toward the original building. He said he liked the handicap ramp and the capping and thought the cut stone wall was handsome but couldn't see the elevation and how it interfaced with the other elevation. He said the contemporary addition looked handsome but wasn't sure about the brick arches.

Chairman Lombardi said the cornice crowded the building a bit but that he could understand why. He said he liked the addition's massiveness but thought the ramp was also substantial and that the center of it could be lighter. Mr. Campbell said he would place a continuous cap on it and that the interior could be a metal railing and not masonry. Chairman Lombardi said he liked the back of the new building and thought it would be a wonderful addition to have a space that spilled out to the outside so easily. He thought the traditional approach for the addition was appropriate and had no problem with the arched windows.

Ms. Ruedig asked about the window in the back behind the hip roof, noting that it could be a trap for water and snow. Mr. Campbell said insulation would get the water out from behind it and that the hip roof would make it blend it better.

PUBLIC COMMENT

There was no public comment.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed by unanimous vote (6-0) to **continue** the work session to the June 3, 2020 meeting.*

III. ADJOURNMENT

The meeting was adjourned at 8:40 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES OF THE
THE HISTORIC DISTRICT COMMISSION MEETING
PORTSMOUTH, NH**

Remote Meeting Via Zoom Conference Call

6:30 p.m.

May 20, 2020

MEMBERS PRESENT: Chairman Vincent Lombardi; Vice-Chairman Jon Wyckoff; Members Reagan Ruedig, Cyrus Beer and Martin Ryan; City Council Representative Paige Trace; Alternates Heinz Sauk-Schubert and Margot Doering

MEMBERS EXCUSED: Dan Rawling

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

.....
Alternate Ms. Doering took a voting seat for the evening.

I. ADMINISTRATIVE APPROVALS

1. 73 Daniel Street (*this item was continued at the May 13, 2020 meeting to the May 20, 2020 meeting.*)

Mr. Cracknell said the item was postponed because the applicant's plumber still had to run airflow calculations and that it may not need an administrative approval if the numbers worked.

2. 250 Market Street

The request was for a small vent and some mechanical equipment. Mr. Cracknell recommended a stipulation that the vent be painted to match the material behind it.

*Vice-Chair Wyckoff moved to **approve** the item with the following stipulation:*

1. The applicant shall field-paint the vent to match the existing brick.

*Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

3. 111 Maplewood Avenue

Mr. Cracknell said the applicant was seeking minor changes and a few significant design changes, which included the following:

- The window and storefront material was changed;
- A shallower trellis ran along Maplewood Avenue;
- the canopy on the corner of Raynes Avenue and Vaughan Street was removed;
- the fourth floor was 10-20 percent bigger;

- lighting was added; and
- the overhang on Raynes Ave for the 2nd and 3rd floors was moved from 4 feet to 6 feet.

The applicant's representative Chris Lizotte was present and reviewed the minor and major changes in more detail. Vice-Chair Wyckoff said the building basically looked the same in spite of all the changes and that he didn't see any major modifications except for the larger overhang, which he preferred. Mr. Ryan agreed and said the spirit of the building that the Commission previously approved was still intact. Chairman Lombardi said the overhang was fine.

*Mr. Ryan moved to **approve** the item as presented, and Vice-Chair Wyckoff seconded. The motion **passed** by unanimous vote, 7-0.*

II. CERTIFICATE OF APPROVAL- EXTENSION

1. Petition of **Joseph J. & Jennifer Almeida, owners**, for property located at **103 High Street**, wherein a 1-year extension of the Certificate of Approval granted by the Historic District Commission on June 05, 2019 was requested, to allow new construction and exterior renovations to an existing structure (modify front elevation by adding store-front, landing, and stairs) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 22 and lies within the Character District 4-L2 (CD4-L2), Downtown Overlay, and Historic Districts.

DECISION OF THE COMMISSION

*Vice-Chair Wyckoff moved to **grant** the request for the extension, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Patrick Beat and Egle Maksimaviciute Diggelmann, owners**, for property located at **137 New Castle Avenue**, wherein permission was requested to allow new construction to an existing structure (add roof over existing rear patio) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 55 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

The project architect Sarah Hourihane representing the applicant was present and reviewed the petition. She noted that the roof would be supported by a square column.

City Council Representative Trace said the column's upper molding protruded and that she'd like to see the molding underneath the roof. Ms. Hourihane said the meet of the column supported the corner. Mr. Beer said the molding standing proud was a standard classical detail and that he supported it. Ms. Ruedig said it was well fitting and that extending the roof to cover the porch worked well and that there was just enough to clear the doorframe. She thought it was a great, easy solution. Chairman Lombardi agreed.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak to the petition, and Chairman Lombardi closed the public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Wyckoff moved to **grant** the Certificate of Approval for the project as presented, and Mr. Beer seconded.*

Vice-Chair Wyckoff said the project would preserve the integrity of the District and help preserve surrounding property values. He said its relationship to the historic and architectural value of the existing structure was excellent. Mr. Beer concurred.

*The motion **passed** by unanimous vote, 7-0.*

IV. WORK SESSIONS (OLD BUSINESS)

Mr. Beer recused himself from the petition. Alternate Mr. Sauk-Schubert took a voting seat.

A. Work Session requested by **3A Trust, Guy D. and Elizabeth R. Spiers Trustees, owners**, for property located at **241 South Street**, wherein permission was requested to allow new construction to an existing structure (remove rear porch and replace with new attached garage and porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 36 and lies within the General Residence B (GRB) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 13, 2020 meeting.)*

The applicants Elizabeth and Guy Spiers were present. Ms. Spiers reviewed the petition, noting that there were three garage door options and that she and her husband preferred favored Option 2 that was a fiberglass door with wood overlay.

Ms. Ruedig said wood doors were preferable because they were real material and she didn't think the design of Option 2 was appropriate. She said she was fine with the fiberglass but wanted to ensure that it could be painted so it didn't have a glossy fake appearance. She also asked that fake straps or hinges not be put on the door and that it be kept simple. Vice-Chair Wyckoff agreed. He said he preferred the third option because it had vertical panels that were similar to something seen in an old carriage house door, and if that design could be found in fiberglass with a wood finish, it would be fine. He said he also liked the option of using transom windows on the side and back of the garage. He noted that the Matthews window did not have removal single divided lights (SDLs) and that it should have the grill attached inside and out to the sash permanently. He asked if the clapboards, trims, and corner boards would all be the same as the house. Mr. Spiers agreed. Ms. Spiers asked if the clapboards for the garage could be HardiPlank. Vice-Chair Wyckoff asked why the applicants would change to cement claps on the garage when they had a Colonial house with wooden claps. Chairman Lombardi agreed that the doors should be chosen carefully because they faced the street and that the windows needed to have lights separated internally and externally. He said he would discourage fiberboard and preferred to see wooden clapboards on the addition. Mr. Ryan agreed and said he couldn't approve the Option 2 door because it didn't look right. He recommended Option 3. He said he

also had a problem with the gliding doors in the back but since it was in the back, he thought it was probably acceptable in the District.

Ms. Doering said she agreed with all the comments and preferred Option 3 for the garage door because she liked the big wide door versus the one with the verticals and it looked like it had a strong thermal protection behind it. City Council Representative Trace said Option 3 was the most appropriate. She said she preferred to see wood siding on the house because of its age and importance in the south end. The Matthews windows were further discussed. The applicants indicated that they would go with the Andersen 100 Series windows.

The garage door was further discussed. Mr. Spiers asked if Option One was acceptable. Ms. Ruedig suggested that he find an actual photo of Option One instead of the presented illustration to see what it looked like in real life. She said she preferred a wood door but didn't have a problem with the fiberglass material because it would be painted. Vice-Chair Wyckoff said Option 3 made more sense because the house was a prominent one in the District but that he would approve Option One if it was field painted. City Council Representative Trace agreed.

Ms. Spiers asked whether they could have 2'x2' square windows on the side and back of the structure instead of the transom windows. Mr. Ryan said he would have to see it drawn before he could approve it. Chairman Lombardi agreed.

PUBLIC COMMENT

There was no public comment.

DECISION

*The applicants stated that they would return for a **work session/public hearing** at the July 1, 2020 meeting.*

Mr. Beer returned to his voting seat, and Mr. Sauk-Schubert returned to alternate status.

B. Work Session requested by **Todd and Jan Peters, owners**, for property located at **379 New Castle Avenue**, wherein permission was requested to allow new construction to an existing structure (construct 2nd story additions) and exterior renovations (rebuild existing chimneys) as per plans on file in the Planning Department. Said property is shown on Assessor Map 207 as Lot 4 and lies within the Single Residence B (SRB) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 20, 2020 meeting.)*

Architect Anne Whitney representing the applicant was present and reviewed the petition. She noted that several additions had been put on the late 1800s house over the years. She said the renovations would include extending the 2-story gable over the 1-story portion, rebuilding the porch, expanding the west side gable into two stories, adding a second-floor deck, replacing all the windows and siding on the building, and rebuilding the chimneys with brick.

Mr. Beer said he supported the massing and thought the project was a big improvement. Ms. Doering agreed, noting that Ms. Whitney overcame the crazy rooflines and hodgepodge additions and added her own interesting intersecting lines. She said she would be careful with some of the detailing due to the house's size so that it didn't become busy and lose its charm. Ms. Ruedig said the house was a rambling one and obviously had been done several times over. She liked that it was getting back to the simpler design that would be more appropriate to the original two-story block of the house. She said she struggled with the double height bay window on the end because it was a weird feature to have on the side of an early 19th century building, especially with the side large multi-pane fixed window that faced the street. Mr. Whitney said the bay window was part of the original foundation and that there was a lot of stone and brick in that area. She said the building was sitting on the original site, unless it got moved at some point. Ms. Ruedig said the two-story bay window looked strange nevertheless, but that going back to brick on the chimneys would be a positive change.

Mr. Ryan said he liked the existing fieldstone chimneys and that he wasn't as troubled with the double height bay as he was with the extended gable on the right east side elevation. He said there was an awkward silence after the great pattern of widows and suggested something that could either pick up the rhythm or extend the roof up better to deal with the awkwardness. Ms. Whitney said the porch helped balance it and didn't want to add something that would draw the eye away from the five bay Colonial and thought it wouldn't really be seen because of the way the house was oriented. She said putting another 6x6 window would be awkward and thought some square windows might be better. Mr. Ryan said he would leave it up to Ms. Whitney because it wasn't a deal breaker but he still thought something wasn't right about it.

Vice-Chair Wyckoff said he had the same problem with the second-floor addition and that, even though it couldn't be seen from the road, some respect had to be given to the historic house. He said that extending the roof in the same plane using modern framing and trying to roof over the whole thing so that no one noticed it was awkward, and that it seemed better to offset the roof and have it a bit shorter. It was further discussed. Ms. Whitney said she could re-establish the corner board and make a separation and maybe have just one window to offset the blank wall.

City Council Representative Trace said she understood Vice-Chair Wyckoff's issue with adding onto an existing roofline, but she thought the project would change so many hurts that the house had suffered over the years and that it would look like a multi-generation house that had been added onto in the right way. Chairman Lombardi said he agreed with all the comments and that he'd like to see a break in the roofline or in the addition. He said the house has gone through so many iterations that anything would be an improvement.

PUBLIC COMMENT

There was no public comment.

DECISION

*Ms. Whitney said she would **continue** the work session to a work session/public hearing at either the July or August meeting.*

C. Work Session requested by **Donna P. Pantelakos Revocable Trust, G.T. and D.P. Pantelakos Trustees, owners**, for property located at **138 Maplewood Avenue**, wherein permission was requested to allow new construction to an existing structure (add 2nd story addition over existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 124 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 20, 2020 meeting.*

Architect Anne Whitney representing the applicant was present and reviewed the petition. She said the proposed addition would be a two-car garage with entry and living space on the first floor and the main living unit on the second floor. She noted that the neighbor had agreed to an easement that would allow windows on the side of the building that was situated 2'16" from the back property line. She reviewed the floor plans and elevations in detail.

Vice-Chair Wyckoff said it was a charming garage and asked why the two arched garage doors wouldn't be kept. Ms. Whitney said they were eight feet tall and nine feet wide and the header was set up for a square door and that they wanted to get some light into there, so she hoped to pick up the vertical pane size of the 2/2 double hung windows. She said the doors could be 7'6" doors, noting that they were wooden Masonite doors. Vice-Chair Wyckoff said the building, particularly in that location, demanded to have rows of windows on the second floor and thought the overhang was charming with the columns. He thought the roof was treated fairly and liked that the cupola would be kept.

Ms. Doering said she was concerned about the massing, especially as it was seen from the waterside, but that she would go back to the site and look at it again. Ms. Whitney said the new roofline would be below the existing one and thought the perspective in the pictures was dramatic because the pictures were taken from below. Ms. Doering said something felt out of rhythm between the size of the garage doors and the more diminutive front doors, and then the peak overhang of the left top gable. Ms. Whitney said she was trying to balance the double hung windows on either side but could add a window to the left of the front door. Ms. Doering suggested that it could be a decorative window up high to help balance it.

Mr. Ryan suggested keeping the arches and infilling as necessary to retain some of the beautiful outbuilding structure. Ms. Ruedig said the building was a fairly recent one and not historic, but it seemed a little large for the massing. She said it would be fine as long as it was shorter in height than the main house and read as a secondary building. Mr. Sauk-Schubert said the existing garage structure was compelling just the way it was and thought that making it a two-story one would change its aesthetics. He also said he wasn't in favor of keeping the two arched garage doors. Chairman Lombardi said he liked the proposed garage and thought it was a nice building, but that he didn't have a strong opinion on whether or not to keep the arched doors.

PUBLIC COMMENT

There was no public comment.

DECISION

*Ms. Whitney said she would **continue** the work session to a work session/public hearing at either the July or August meeting.*

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **15 Middle Street Real Estate Holding Co., LLC, owner**, for property located at **15 Middle Street**, wherein permission was requested to allow renovations to an existing structure (new siding and trash enclosure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 12 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

Architect Brendan McNamara representing the applicant was present and reviewed the petition. He said the redevelopment of the Salvation Army Building was changed from a 28-room hotel and restaurant to a 15-room inn and restaurant, and that in the future they hoped to develop the third floor into three residential units. He said there were no substantial changes to the building's exterior on the west elevation and that the dormers would not be added on the south elevation. He pointed out that the east and north sides of the wooden building had to have fire-rated sheeting and noncombustible siding, so they had to remove the wood siding and replace it with HardiPlank. He said the large chimney on the brick building would have to be rebuilt and that the center chimney would be rebuilt in appearance but would work as a venting structure for the elevator beneath it. He said 20 feet of the concrete block building would be demolished to expose more of the wooden church building and would be replaced with a dumpster enclosure.

Vice-Chair Wyckoff said the most exciting thing about the project besides small dormers for the elevator faux chimney were the dormers that now would not be put on. Mr. McNamara said they were not approved to do the dormers but would try to do so on a year or two, pending Planning Board and City Council approval. He said the two structures were built at the same time, although the foundation at the perimeter of the buildings was not original. He said he would know more after the internal demolition in a few weeks.

Ms. Ruedig said the brick building was 20th century and that the Athenaeum posted a photo of the original little wooden building that was part of the North Church. She said the wooden building had a fascinating history and suggested posting historic photos of it inside the building when it was finished. She said getting rid of the dumpsters on Porter Street would help clean it up. They discussed that some windows in the brick and wooden buildings would have to be blanked off and that the series of double hung windows on the north side of the brick building would have to be removed and blocked up due to the fire rating. Mr. Ryan said he fully supported any measures to get fire protection and thought that the back area in the alley was much improved. Mr. McNamara said they didn't want to do HardiPlank but were forced to.

City Council Representative Trace asked why the owner wasn't going before the Board of Adjustment and City Council for the dormers. Mr. McNamara explained that the Traffic and Safety Committee felt that there would be an issue with Porter and Middle Streets for the 28-

room hotel and that a lesser development could get their approval. He said they weren't redeveloping the attached space, so there was no requirement to go before the Planning Board. City Council Representative Trace said she liked the dormers and thought it was unfortunate that they wouldn't be done right away. Mr. McNamara said they were showing the dormers to capture the future needs of the building.

Chairman Lombardi said it was a great project and that he'd like to see the dormers as well. It was decided that the Commissioners would do individual site visits due to the pandemic.

PUBLIC COMMENT

There was no public comment.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **continue** the work session to a work session/public hearing at a future meeting.*

VI. ADJOURNMENT

The meeting was adjourned at 9:00 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

Historic District Commission

Staff Report – June, 2020

June 3rd MEETING

ADMINISTRATIVE ITEMS / OLD BUSINESS:

Administrative Approvals:

1. 133 Islington St. (LUHD-148) - Recommend Approval
2. 14 Mechanic St. (LUHD-147) - Recommend Approval
3. 140 Court St. (LUHD-146) - TBD
4. 142 Congress (LUHD-___) - TBD

Extension Requests:

1. 152 Court St. (LU-19-127) - Recommend Approval

PUBLIC HEARINGS – OLD BUSINESS:

- A. 50 Austin St. (LU-20-102) (Porch Addition)
- B. 35 Howard St. #35 (LU-20-32) (windows)
- C. 44 Gardner St. (LU-20-107) (Sunroom & Bay Window)

WORK SESSIONS – OLD BUSINESS:

- A. 132-134 Middle St. (LUHD-105) (Façade & Roof)
- B. 105 Chapel St. (LUHD-117) (ADA Connector Addition)

June 10th MEETING

ADMINISTRATIVE ITEMS / OLD BUSINESS:

Extension Requests:

1. 161 Deer St. (31293) - Recommend Approval

Administrative Approvals:

1. 678 Middle Street (LUHD-150) – Recommend Approval
2. 73 Daniel St. (LUHD-131) – TBD
3. 105 Chapel Street (LUHD-144) – Recommend Approval

PUBLIC HEARINGS – NEW BUSINESS:

1. 366 Islington St. (LU-20-64) (siding, hvac & trim details)
2. 134 South St. (LU-20-81) (Façade & Roof Deck)
3. 165 Court St. (LU-20-82) (Storefront Canopy)
4. 125 Bow St. (LU-20-84) (Roof and Wall-Siding)

WORK SESSIONS – OLD BUSINESS:

1. 34 Highland St. (LUHD-142) (Window Replacement)
2. 84 Pleasant St. (LUHD-141) (Façade & Rear Addition)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: June, 2020
APPLICATIONS: 20

Historic District Commission

Project Evaluation Form: **50 AUSTIN STREET**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #A (LU-20-102)**

- A. Property Information - General:**
Existing Conditions:
- Zoning District: GRC
 - Land Use: Single-Family
 - Land Area: 6,100 SF +/-
 - Estimated Age of Structure: c.1810
 - Building Style: Federal
 - Number of Stories: 3.0
 - Historical Significance: Contributing
 - Public View of Proposed Work: Limited view from Middle Street.
 - Unique Features: NA.
 - Neighborhood Association: Goodwin Park

B. Proposed Work: To add an enclosed porch on the rear elevation.

- C. Other Permits Required:**
- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

- D. Lot Location:**
- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

- F. Sensitivity of Neighborhood Context:**
- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

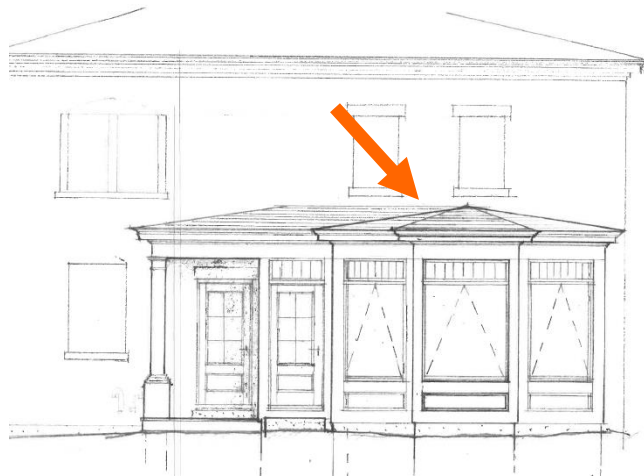
- G. Design Approach (for Major Projects):**
- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

- I. Neighborhood Context:**
- This contributing historic structure is located along Austin Street and is surrounded with many other 2.5-3 story wood-sided and brick buildings. Most buildings in the surrounding context have small front yard setbacks and shallow rear yards.
- J. Previous HDC Comments and Suggestions:**
- The HDC requested additional details on the trim, windows, doors, paneling and roof material.
- K. Staff Comments and Suggestions:**
- The work proposed by the applicant is located along the rear elevation of the structure but has limited views from Middle Street. The enclosed porch design has raised wood panels and is proposed to have a standing seam roof and large plate glass windows.

Design Guideline Reference –Guidelines for Roofing (04), Porches, Stoops and Decks (06) & Windows and Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Rear Enclosed Porch



Ariel View

**HISTORIC
SURVEY
RATING**

C

50 AUSTIN STREET (LU-20-102) – PUBLIC HEARING #A (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY	NEIGHBORHOOD CONTEXT			
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
		1 Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– ADD ENCLOSED PORCH ON REAR ELEVATION –</div>				
		2 Floor Area Ratio (GFA/ Lot Area)					
		3 Building Height / Street-Width Ratio					
		4 Building Height – Zoning (Feet)					
		5 Building Height – Street Wall / Cornice (Feet)					
		6 Number of Stories					
		7 Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 50 AUSTIN STREET Case No.: A Date: 6-3-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ With Drawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **35 HOWARD STREET (LU-20-32)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #B**

A. Property Information - General:
Existing Conditions:

- Zoning District: GRB
- Land Use: Two- Family
- Land Area: 3,500 SF +/-
- Estimated Age of Structure: c.1858
- Building Style: Colonial
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Howard Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace 10 existing windows

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Neighborhood Context:

- ☐ Highly Sensitive ☒ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, AC Hotel)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Howard Street in the South End and is surrounded with many other wood and brick, 2-3 story contributing structures with no front yard setbacks on narrow lots.

J. Previous HDC Comments and Suggestions:

- The HDC has not previously reviewed this application. The condo association will need to approve of the proposed changes so the applicant is working on obtaining that approval. As a result the Applicant has request to postpone this application to the July meeting.

K. Staff Comments and Suggestions for Consideration:

- To replace 5 front facing windows, 5 side facing windows and 3 rear facing windows with Green Mountain concealed balance replacement window or sash and balance with vinyl track replacement window. Windows will be replaced exactly as they are. 9 are currently 6/6 and will remain that way. 3 are 2/2 and will remain that way and 1 is 6/4 and will remain that way. According to the applicant, the windows are approximately 110 years old and in fair to poor condition. Consistent with the Design Guidelines the applicant was directed to also explore window restoration as a preferred alternative.

Design Guideline Reference – Guidelines for Exterior Woodwork (05) and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image



Aerial View

**HISTORIC
SURVEY
RATING**

C

35 HOWARD STREET (LU-20-32) – PUBLIC HEARING #B (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – Replace 10 Windows –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37 Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 35 HOWARD ST. Case No.:B Date:6-3-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **44 GARDNER STREET (LUHD-107)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #C**

A. Property Information - General:

- Existing Conditions:**
- Zoning District: GRB
 - Land Use: Single Family
 - Land Area: 6,267 SF +/-
 - Estimated Age of Structure: c.1895
 - Building Style: Queen Anne
 - Number of Stories: 2.5
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Gardner St. and Walton Alley
 - Unique Features: NA
 - Neighborhood Association: South End

B. Proposed Work: To add a kitchen bay and porch and sunroom addition

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Neighborhood Context:

- ☐ Highly Sensitive ☒ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Gardner Street in the South End and is surrounded with many other wood, 2-2.5 story contributing structures with no front yard setbacks on narrow lots.

J. Previous HDC Comments and Suggestions:

- The HDC previously reviewed this application and supported the design as presented. The Applicant received a variance from the BOA on April 21st for the coverage requirement.

K. Staff Comments and Suggestions for Consideration:

- The proposed sunroom and porch is designed to match the existing historic style and appearance.
- The second floor window appears to be a different dimension and grill pattern than the other 2/1 double-hung windows on the structure.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image



Aerial View

HISTORIC
SURVEY
RATING

C

44 GARDNER STREET (LUHD-107) – PUBLIC HEARING #C (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– Remove rear porch & replace with sunroom & expand kitchen bay –</div>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 44 GARDNER ST Case No.:C Date:6-3-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural values of historic district:

☐ Yes ☐ No
4. Compatibility of design with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: 132-134 MIDDLE STREET (LUHD-105)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #A

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Mixed-Use
- Land Area: 11,060 SF +/-
- Estimated Age of Structure: c.1865
- Building Style: Mansard
- Number of Stories: 3.0
- Historical Significance: Focal
- Public View of Proposed Work: View from Middle Street & Haymarket Square
- Unique Features: The Parrot House is a Focal building
- Neighborhood Association: Downtown

B. Proposed Work: To repoint brick, replace the roof & made entryway improvements

C. Other Permits Required:

- ☒ Board of Adjustment ☒ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Neighborhood Context:

- ☒ Highly Sensitive ☐ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☒ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This focal historic structure is located along Haymarket Square and is surrounded with many other brick or wood-sided historic buildings between 2.5-3 stories in height. The structure is located upon two lots which are included in this application.

J. Previous HDC Comments and Suggestions:

- The HDC has reviewed this application and requested additional information on the original roofing material and trim details as well as requested a revised stair and cheek wall replacement material to match the brownstone finish. Note that there were no updated plans on file as of 5-28-20 so this item may be postponed.

K. Staff Comments and Suggestions for Consideration:

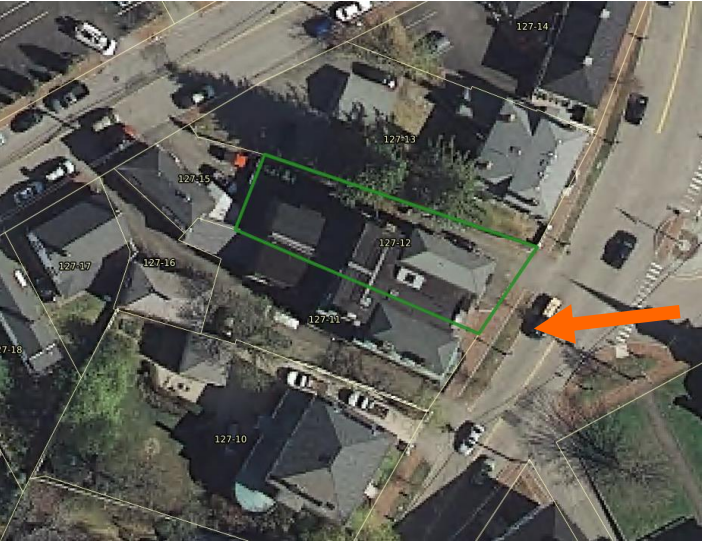
- The proposed improvements involve removal and replacement of contributing, character-defining and non-contributing materials.
- The front entryway is proposed to be a pre-case brownstone material which should be made to match the color of the existing brownstone and sample should be requested.
- The front doors should be considered for restoration given they are original to the structure.

Design Guideline Reference – Guidelines for Exterior Maintenance (03), Roofing (04), Exterior Woodwork (05), Masonry and Stucco (07) and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and Street View Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING

F**

132-134 MIDDLE STREET (LUHD-105) – WORK SESSION #A (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – Replace Roof, Repoint Brick and Replace Front Entryway –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 132-134 MIDDLE ST Case No.:A Date:6-3-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ With Drawn

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

105 CHAPEL STREET (LUHD-117)
CERTIFICATE OF APPROVAL
WORK SESSION #B

A. Property Information - General:

- Existing Conditions:**
- Zoning District: CD4
 - Land Use: Civic
 - Land Area: 18,900 SF +/-
 - Estimated Age of Structure: c.1807
 - Building Style: Federal
 - Number of Stories: 2+
 - Historical Significance: F
 - Public View of Proposed Work: View from Chapel Street
 - Unique Features: Connector to Saint John's (a focal building)
 - Neighborhood Association: Downtown

B. Proposed Work: To add a connector building for ADA compliance.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The church and rectory are located along Chapel and Bow Streets and are surrounded with many contributing and focal structures. The neighborhood is predominantly multi-story, wood and brick structures with small lots and shallow setbacks from the sidewalk. The church owns a large parking lot previously occupied by tightly-spaced buildings.

J. Previous HDC Comments and Suggestions:

- The HDC has previously reviewed this application and provided feedback on the details associated with the connector building and the proposed façade or the connector facing Chapel Street. Additionally, suggestions were requested to “lighten” the public access ramp to the connector.

K. Staff Comments and Suggestions for Consideration:

- The applicant proposes to construct a single-story addition or connector building between the rectory and church. The purpose of the connector is to provide covered pedestrian access to the buildings that is also ADA compliant.

Design Guideline Reference – Guidelines for Masonry and Stucco (07), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions



Aerial View

HISTORIC
SURVEY
RATING

F

105 CHAPEL STREET (LUHD – 117) – WORK SESSION #B (MODERATE PROJECT)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:105 CHAPEL STREET Case No.: B Date: 6-3-20</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div> <div><input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div>	
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MODERATE PROJECT</div> <div>- CONSTRUCT A CONNECTOR BUILDING FOR ADA COMPLIANCE -</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	33	Decks/ Stairs / Steps			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **366 ISLINGTON STREET (LU-20-64)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #1**

- A. Property Information - General:**
Existing Conditions:
- Zoning District: CD4-L2
 - Land Use: Single Family
 - Land Area: 6,535 SF +/-
 - Estimated Age of Structure: c.1880
 - Building Style: Victorian
 - Number of Stories: 2.5
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Islington Streets
 - Unique Features: NA
 - Neighborhood Association: Goodwin Park

B. Proposed Work: To replace siding and trim and add HVAC equipment.

- C. Other Permits Required:**
- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

- D. Lot Location:**
- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

- F. Sensitivity of Neighborhood Context:**
- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

- G. Design Approach (for Major Projects):**
- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

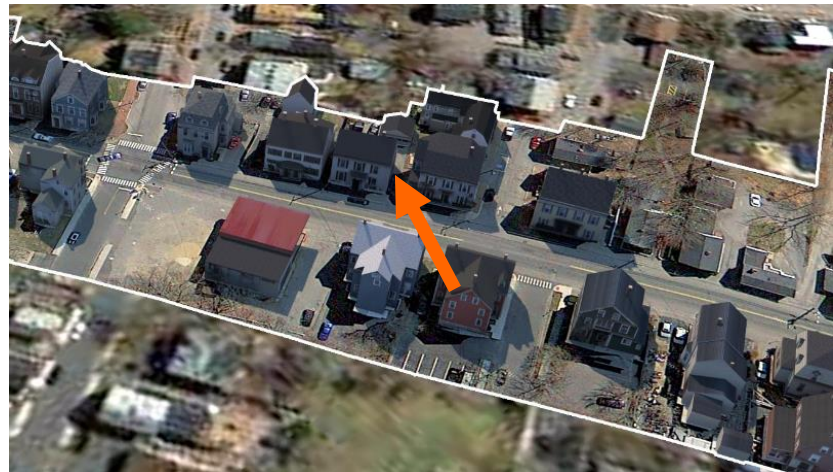
- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

- I. Neighborhood Context:**
- This contributing structure is located along Islington Street and is surrounded with many other wood-clad contributing buildings. Buildings along Islington Street have little to no front yard setback with step or stoop frontage along Islington Street.

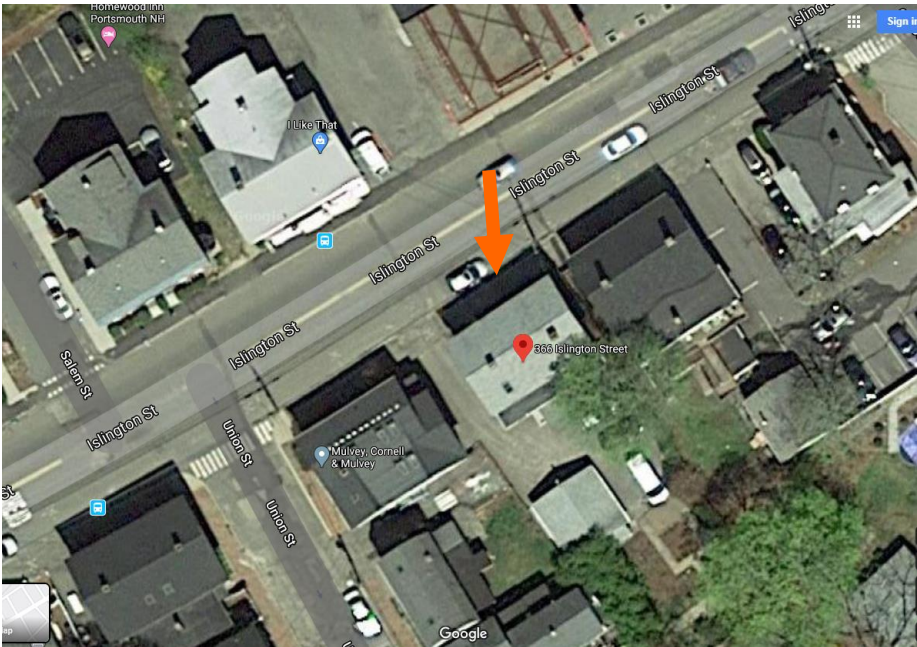
- J. HDC & Staff Comments and Suggestions for Consideration:**
- This project has not yet been reviewed by the HDC.

Design Guideline Reference – Guidelines for Exterior Woodwork (05) and Site Elements and Streetscapes (09).

K. Proposed Design, Street View and Aerial View:



Proposed Design and Street View Image of Existing Conditions



Aerial View

HISTORIC
SURVEY
RATING

C

366 ISLINGTON STREET (LU-20-64) – PUBLIC HEARING #1 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – SIDING AND TRIM REPLACEMENT AND HVAC EQUIPMENT –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 366 ISLINGTON ST. Case No.:1 Date:6-10-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form:

134 SOUTH STREET (LU-20-81)

Permit Requested:

CERTIFICATE OF APPROVAL

Meeting Type:

PUBLIC HEARING #2

- A. Property Information - General:
- Existing Conditions:
- Zoning District: GRB

Land Use: Multi-Family

Land Area: 7,208 SF +/-

Estimated Age of Structure: c.1900

Building Style: Colonial Revival

Number of Stories: 3.0

Historical Significance: Contributing

Public View of Proposed Work: View from South and So. School Streets

Unique Features: Triple Decker

Neighborhood Association: South End

B. Proposed Work:

To add a roof deck & update the façade, entryway and decks

C. Other Permits Required:

- ☐ Board of Adjustment

☐ Planning Board

☐ City Council

D. Lot Location:

- ☐ Terminal Vista

☐ Gateway

☒ Mid-Block

☐ Intersection / Corner Lot

☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal

☐ Accessory

☐ Significant Demolition

F. Sensitivity of Neighborhood Context:

- ☐ Highly Sensitive

☒ Sensitive

☐ Low Sensitivity

☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)

☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)

☒ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)

☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)

☒ Minor Project (i.e. small alterations, additions or expansions)

☐ Moderate Project (i.e. significant additions, alterations or expansions)

☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along South Street and is surrounded with many other wood-sided historic buildings between 2-2.5 stories in height. The lots have shallow front- and side-yard setbacks.

J. Previous HDC Comments and Suggestions:

- The HDC previously reviewed this application and suggested the applicant consider a more traditional railing system on the street-facing façade with no curve on the balconies and modifications to the stairwell on the roof to minimize its appearance. Other comments included making the railing system along South Street more traditional with the addition of a wooden handrail.

K. Staff Comments and Suggestions for Consideration:

- The proposed improvements employ a somewhat differentiated design approach from the original historic Colonial Revival style of the building. A variety of color options has been included and the stairwell on the roof deck is marginally visible from South Street.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and Street View Image of Existing Conditions



Aerial View

HISTORIC

SURVEY

RATING

C

134 SOUTH STREET (LU-20-81) – PUBLIC HEARING #2 (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – ADD ROOF DECK, LIGHTING, AND BALCONIES –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 134 SOUTH ST Case No.:2 Date:6-10-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ With Drawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: 165 COURT STREET (LU-20-82)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

A. Property Information - General:

- Existing Conditions:**
- Zoning District: CD4-L1
 - Land Use: Commercial
 - Land Area: 1,807 SF +/-
 - Estimated Age of Structure: c.1953
 - Building Style: Modern
 - Number of Stories: 2.0
 - Historical Significance: Non-Contributing
 - Public View of Proposed Work: View from Fleet and Court Streets
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To modify the storefront system.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☒ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Neighborhood Context:

- ☐ Highly Sensitive ☐ Sensitive ☒ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, AC Hotel)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This non-contributing historic structure is located along the intersection of Fleet and Court Streets and is surrounded with many other brick or wood-sided historic buildings between 2.5-3 stories in height. The building in this neighborhood have little to no front yard setback and shallow side yard setbacks.

J. Previous HDC Comments and Suggestions:

- The HDC previously reviewed this application and several members expressed a preference for the glass (tinted) canopy with more architectural detailing on the tiebacks for the canopy and leaving the exposed brick foundation unpainted.

K. Staff Comments and Suggestions for Consideration:

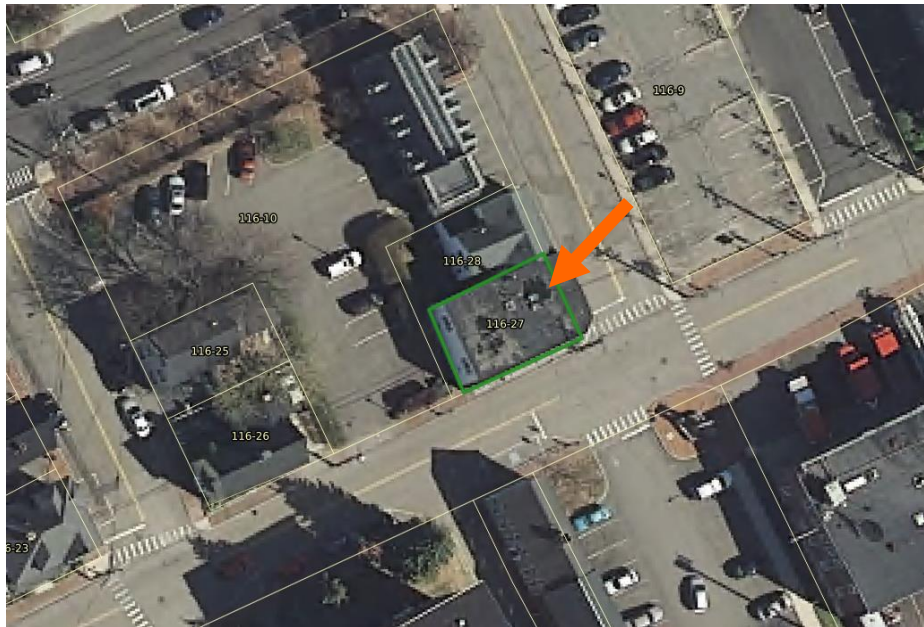
- The proposed improvements include adding new storefront windows and a new canopy along the sidewalk. The tie-back cables and wall plates have been increased in size as requested.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING

NC**

165 COURT STREET (LU-20-82) – PUBLIC HEARING #3 (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
		GENERAL BUILDING INFORMATION				
	1	Gross Floor Area (SF)	MINOR PROJECT – MODIFY THE STOREFRONT SYSTEM –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
6	Number of Stories					
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 165 COURT ST Case No.:3 Date:6-10-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ With Drawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

125 BOW STREET (LU-20-82)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #4

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4
 - Land Use: Mixed-Use
 - Land Area: 9,489 SF +/-
 - Estimated Age of Structure: c.1890
 - Building Style: Utilitarian Classical
 - Number of Stories: 3
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Bow Street
 - Unique Features: Seacoast Repertory Theater
 - Neighborhood Association: Downtown

B. Proposed Work: To replace the roof & add insulated siding on the exterior walls.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Bow Street and is surrounded with many other brick or wood-sided historic buildings between 2.5-5 stories in height. Most buildings have little to no front yard setback and narrow side yards.

J. Previous HDC Comments and Suggestions:

- The HDC previously reviewed this application on 2-12-20 and some members felt the proposed changes were character-defining changes that should be reconsidered to maintain some authenticity of this historic structure. For example, some members felt alternate panels should be explored to enable more natural light to still enter the building.

K. Staff Comments and Suggestions for Consideration:

The roof panel pattern has been refined to reflect comments suggested by the HDC.

Design Guideline Reference: Guidelines for Roofing (03), Windows and Doors (08) and Commercial Developments and Storefronts (12).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions



Zoning Map

**HISTORIC
SURVEY
RATING**

C

125 BOWSTREET (LU-20-82) – PUBLIC HEARING #4 (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– Replace Roof and Add Insulated Siding –</div>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:125 BOW STREET Case No.:4 Date: 6-10-20

Decision: ☐ Approved ☐ Continued ☐ Postponed ☐ Withdraw4 ☐ Approved with Stipulations ☐ Denied



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **34 HIGHLAND ST. (LUHD-142)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #1**

A. Property Information - General:

Existing Conditions:

- Zoning District: GRA
- Land Use: 4-Unit Multi-Family
- Land Area: 5,230 SF +/-
- Estimated Age of Structure: c.1890
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Full view of Highland Street
- Unique Features: Bifurcated by Historic district
- Neighborhood Association: Lincoln/ Broad Street

B. Proposed Work: To replace side and rear windows.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive ☒ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This structure is located along Highland Street at the edge of the Historic District. It is surrounded with many other wood sided, 2.5 story contributing structures. The front yards are shallow with wider side and rear yards.

J. Staff Comments and Suggestions for Consideration:

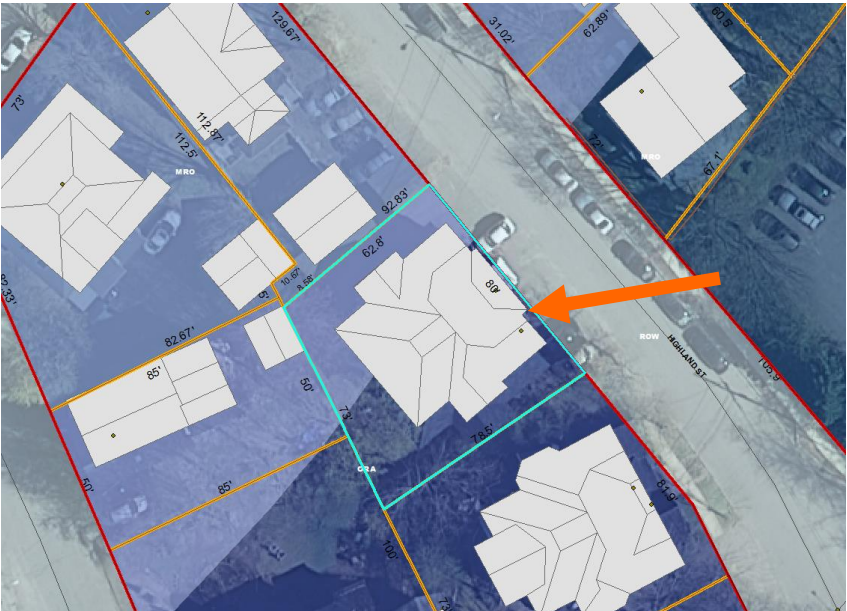
- The applicant is seeking to replace all the existing historic windows in the structure with an Anderson 400 Series window.
- Due to a misunderstanding of the prior feedback from the HDC the applicant has already replaced many windows on the side and rear of the structure. It appears that the contractor also proceeded with the window replacement despite not having obtained a building permit for the work. As a response, the city directed the owner to cease work on the project and seeking formal HDC approval for the replacement windows. Also note that a single window was replaced on the front facade and the owner is seeking to either repair the removed window or replace it with a matching true-divided lite wood window.

Design Guideline Reference – Guidelines for Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

34 HIGHLAND STREET (LUHD-142) – WORK SESSION #1 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– REPLACE HISTORIC WINDOWS WITH NEW WINDOWS ONLY –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39		Parking (i.e. location, access, visibility...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:34-36 HIGHLAND STREET Case No.:1 Date: 6-10-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

84 PLEASANT ST. (LUHD-141)
CERTIFICATE OF APPROVAL
WORK SESSION #2

A. **Property Information - General:**

- Existing Conditions:**
- Zoning District: CD4
 - Land Use: Mixed-Use
 - Land Area: 4,016 SF +/-
 - Estimated Age of Structure: c.1880
 - Building Style: NA
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Church Street
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. **Proposed Work:** Renovate 84 Pleasant St. and replace the rear addition.

C. **Other Permits Required:**

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. **Lot Location:**

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. **Existing Building to be Altered/ Demolished / Constructed:**

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. **Sensitivity of Context:**

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. **Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. **Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. **Neighborhood Context:**

- The building is located along Church and Pleasant Streets. It is surrounded with 2.5-5 story wood- and brick-sided structures with no front yard setbacks and little to no open space. Note that the proposed buildings will be fully integrated into the recently-approved building for 278 State Street (the so-called Times Building).

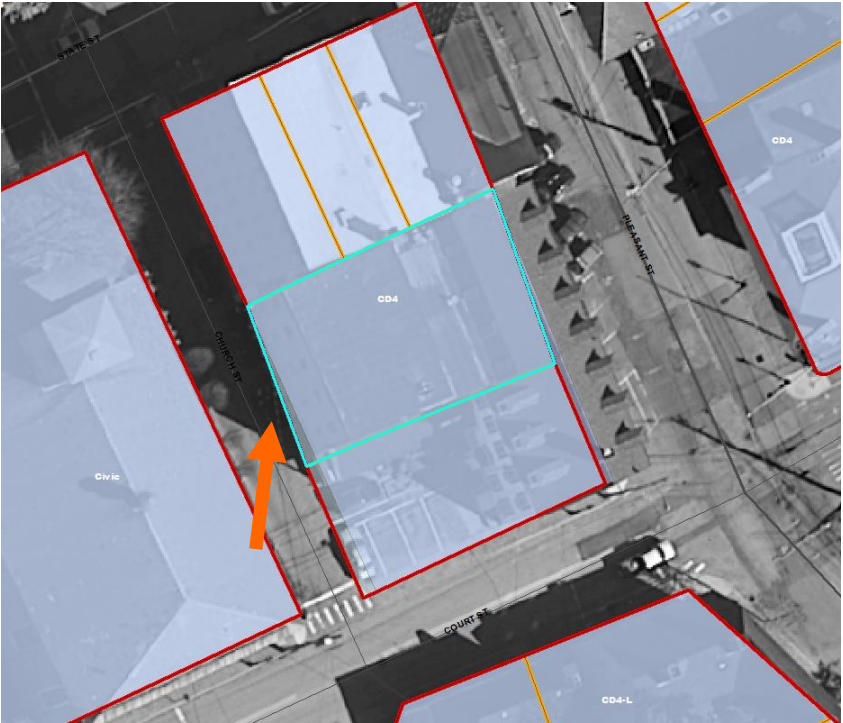
J. **Background & Suggested Action:**

- The application is proposing to renovate the façade of the historic building along Pleasant Street and remove and replace the non-contributing CMU block addition on the rear with a 3 ½ story masonry addition. If feasible, the ground-floor along Church Street provides access to the underground parking area via a car elevator and subsurface turn-table system.

K. **Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

84 PLEASANT STREET (LUHD-141) – WORK SESSION #2 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– RENOVATE FAÇADE AND REPLACE MULTI-STORY REAR ADDITION –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 84 PLEASANT STREET Case No.: 2 Date: 6-10-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

HDC

ADMINISTRATIVE APPROVALS

June 03, 2020

- | | | |
|----|-----------------------------------|-----------------------|
| 1. | 133 Islington Street (LUHD-148) | -Recommended Approval |
| 2. | 14 Mechanic Street (LUHD- 147) | -Recommended Approval |
| 3. | 140 Court Street (LUHD-146) | -TBD |
| 4. | 142 Congress Street (LUHD-T.B.D.) | -TBD |

1. 133 Islington Street

- Recommended Approval

Background: The applicant is seeking approval for the construction of (3) wood-framed balconies on the existing building. Two are on the ground-floor of the side yard and one is on the second floor at the rear of the building. Note that the applicant has been requested to submit authorization from the condo association for this work.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-148

Status: Active

Submitted: May 26, 2020

Applicant



Paul Jackson

813-624-1356

@ paul@jacksongc.com

Location

133 ISLINGTON ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

The HOA on behalf of unit #'s 8, 9, 10, and 11 wishes to build wood framed balconies giving access from their respective kitchen/living areas to outside seating patio structures. This application is for administrative approval for these proposed structures. The proposed structures do not encroach the limits of the property's side setbacks, height, coverage limitations or any other restriction characteristic of the property.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Full Name (First and Last)

Paul Jackson

Mailing Address (Street)

133 Islington St, Unit # 9

Phone

813-624-1356

Relationship to Project

Other

City/Town

Portsmouth

Email Address

paul@jacksongc.com

Zip Code

03801

If you selected "Other", please state relationship to project.

Owner and Contractor

Business Name (if applicable)

--

State

NH

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

86.7' 20' 44.7' 45' 40.6' 50.7'

53.2' 37.83'

BREWSTER ST



COVERAGE DIAGRAM (BASIS - SURVEY BY JOHN R CHAGNON, 12/08/2004)

SCALE: 1" = 40'

MINOR DECK ADDITIONS AT 133 ISLINGTON STREET OF 368 sq ft.
PROPERTY TOTAL AREA - 16,397 sq ft.
EXISTING BUILDING FOOTPRINT - 8,639 sq ft
EXISTING BUILDING COVERAGE - 52.69%
PROPOSED BUILDING FOOTPRINT - 9,007 sq ft
PROPOSED BUILDING COVERAGE - 54.41%

JGC
JACKSON GENERAL CONTRACTING

JSN ASSOCIATES
1 AUTUMN STREET
PORTSMOUTH, NH 03801
603-433-8639

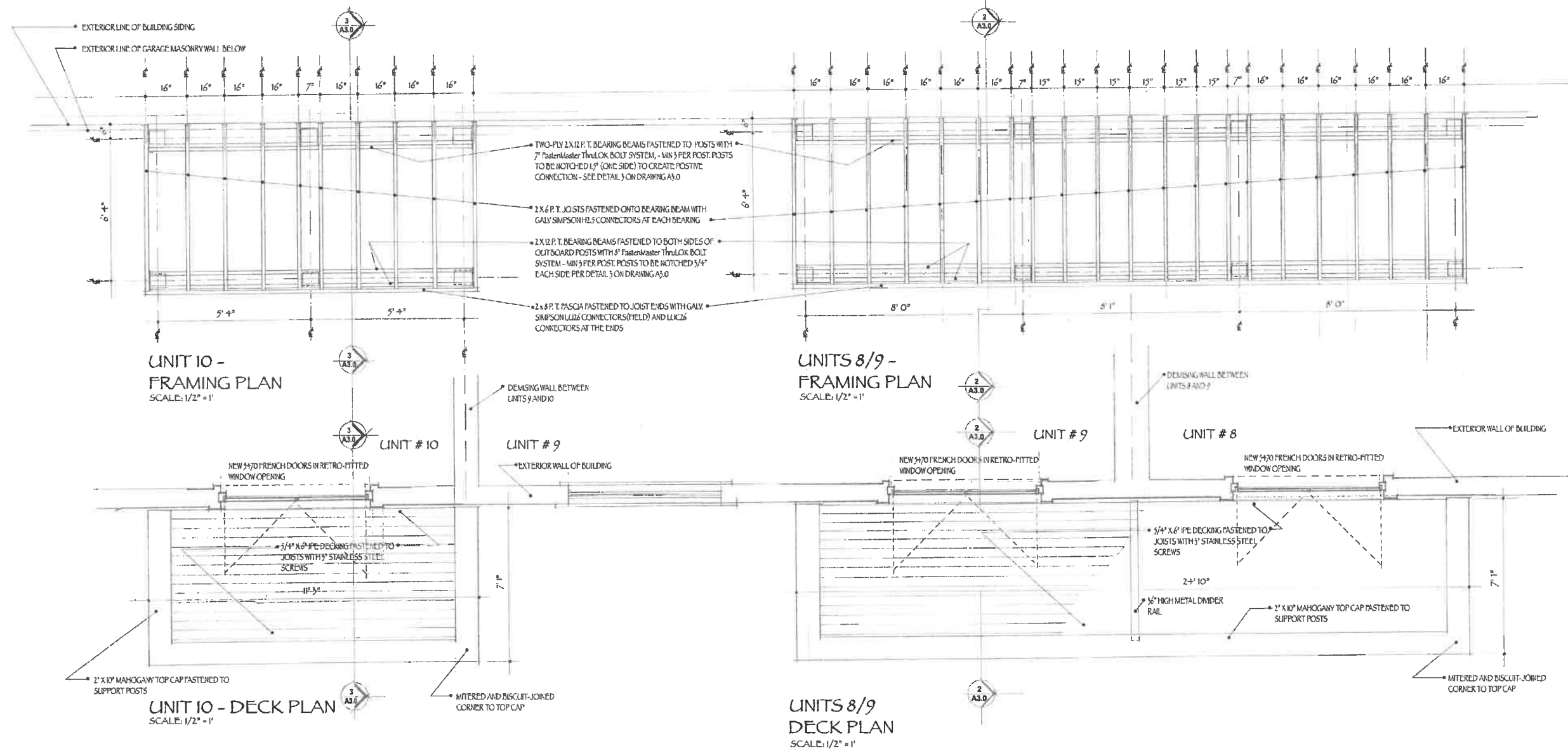
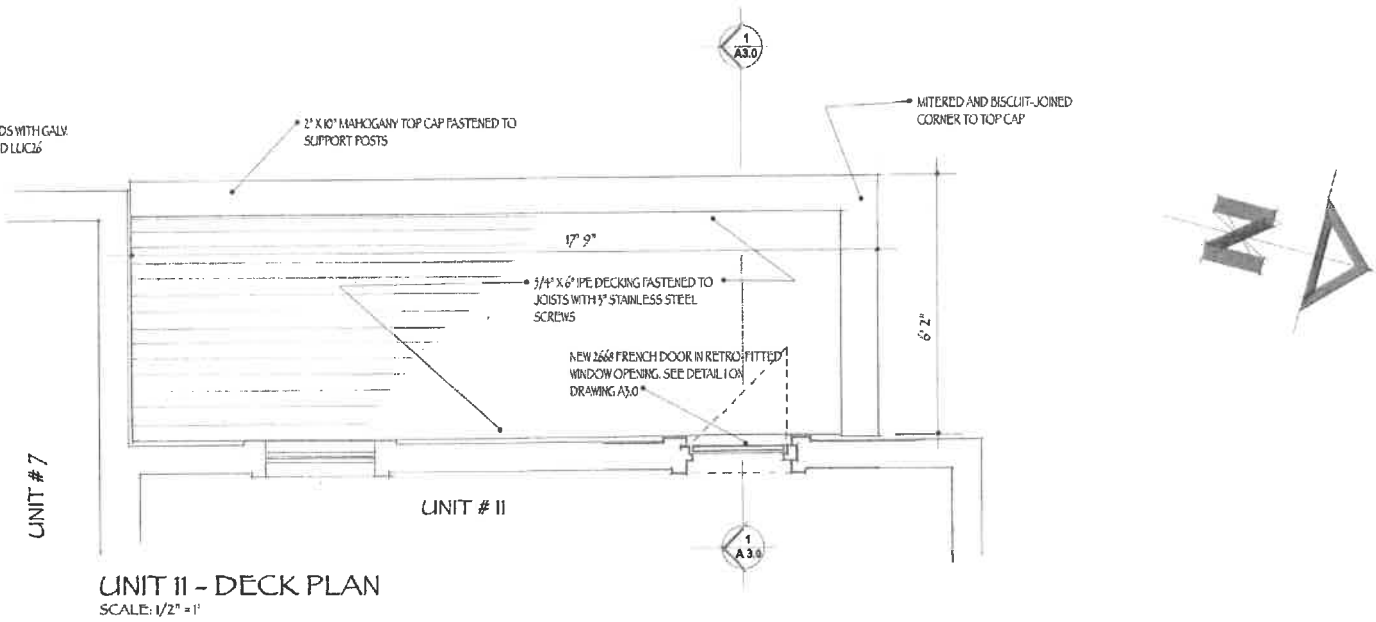
JACKSON GENERAL CONTRACTING
133 ISLINGTON ST
PORTSMOUTH, NH 03801
603-624-1336

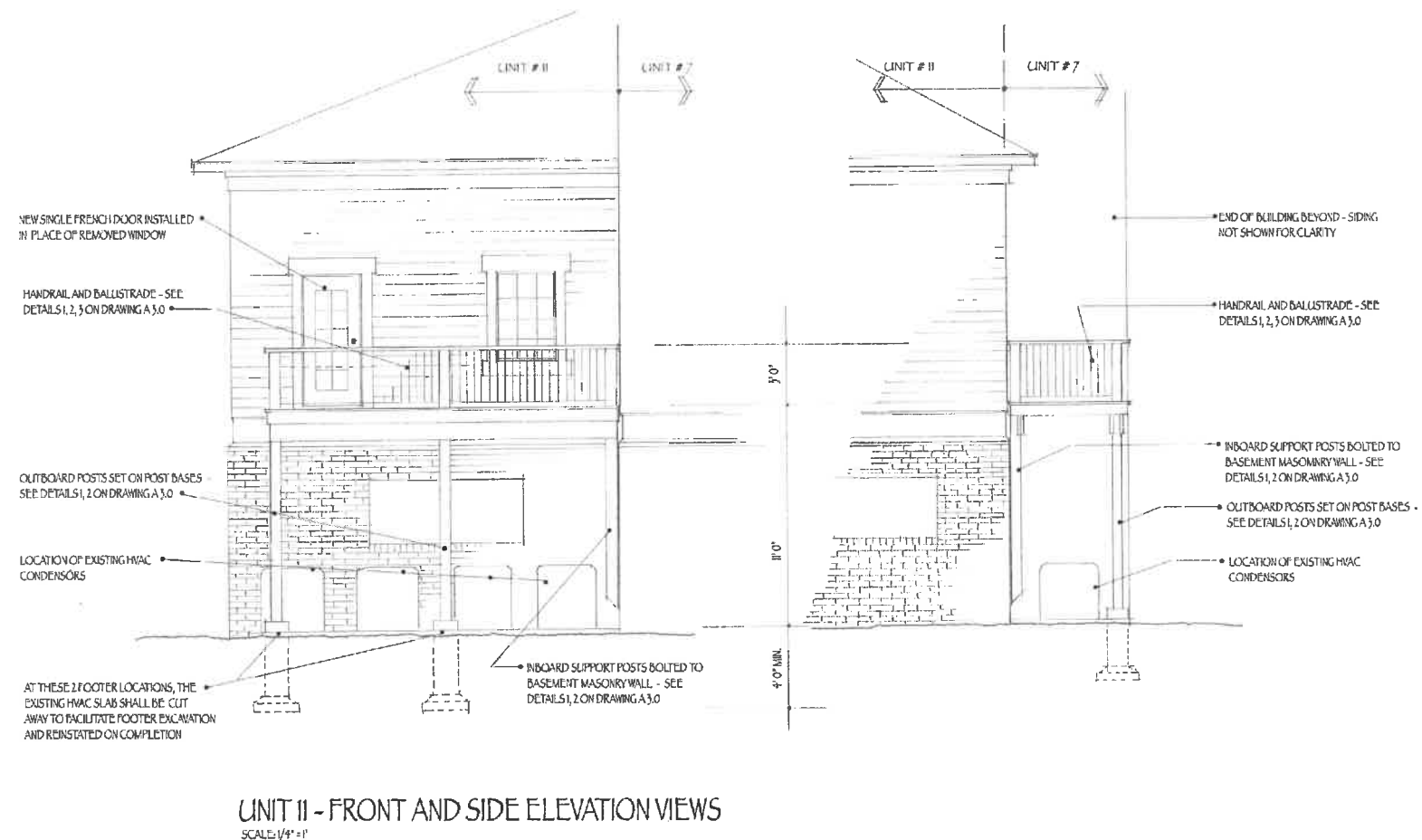
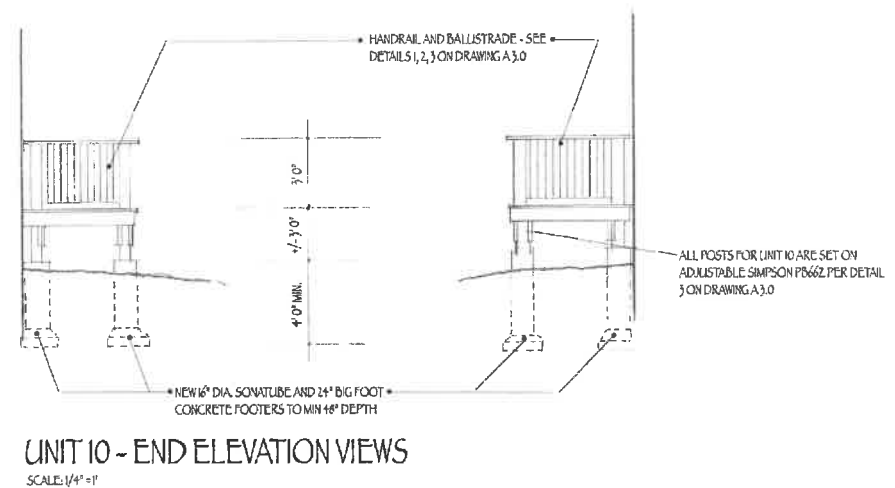
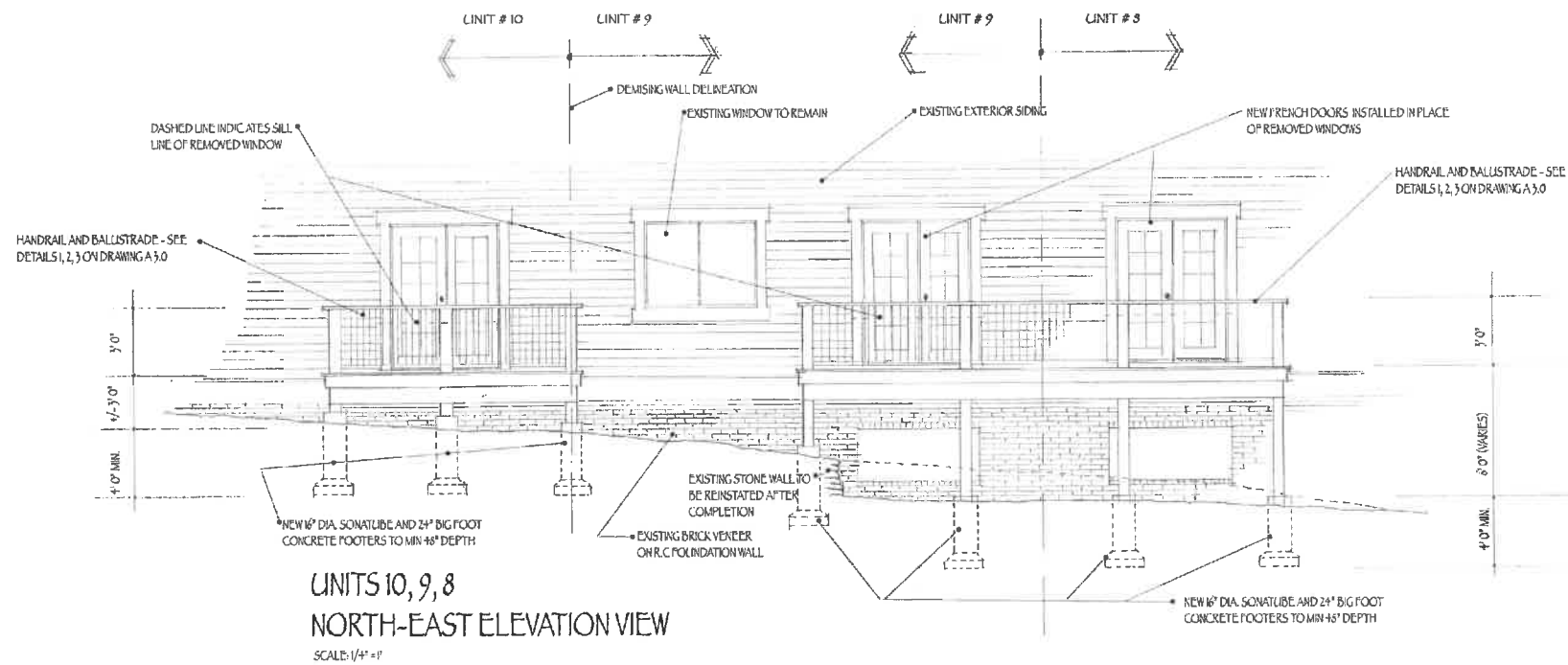
133 ISLINGTON ST
PORTSMOUTH, NH

DRAWN BY
PVJ

SHEET #

A 1.0





CONTRACTOR

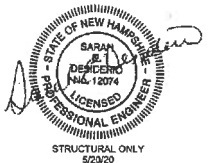
JGC
JACKSON GENERAL CONTRACTING

STRUCTURAL ENGINEER

JSH ASSOCIATES
1 ALUTOWN STREET
PORTSMOUTH, NH 03801
603-433-6692

GENERAL CONTRACTOR

JACKSON GENERAL CONTRACTING
133 ISLINGTON ST
PORTSMOUTH, NH 03801
603-424-1556



PROJECT LOCATION:

133 ISLINGTON ST
PORTSMOUTH, NH

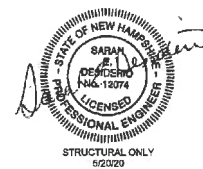
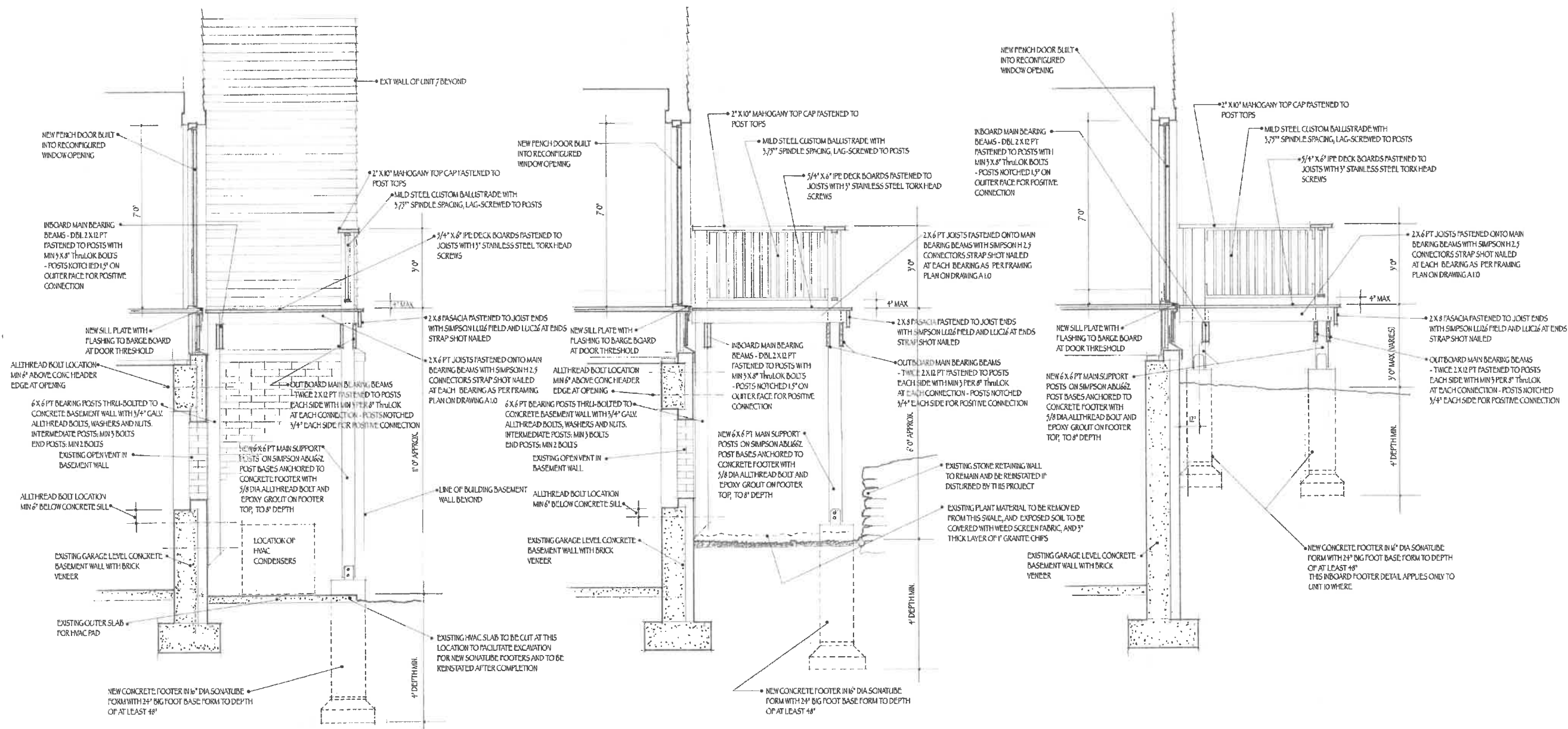
TITLE
ELEVATION VIEWS

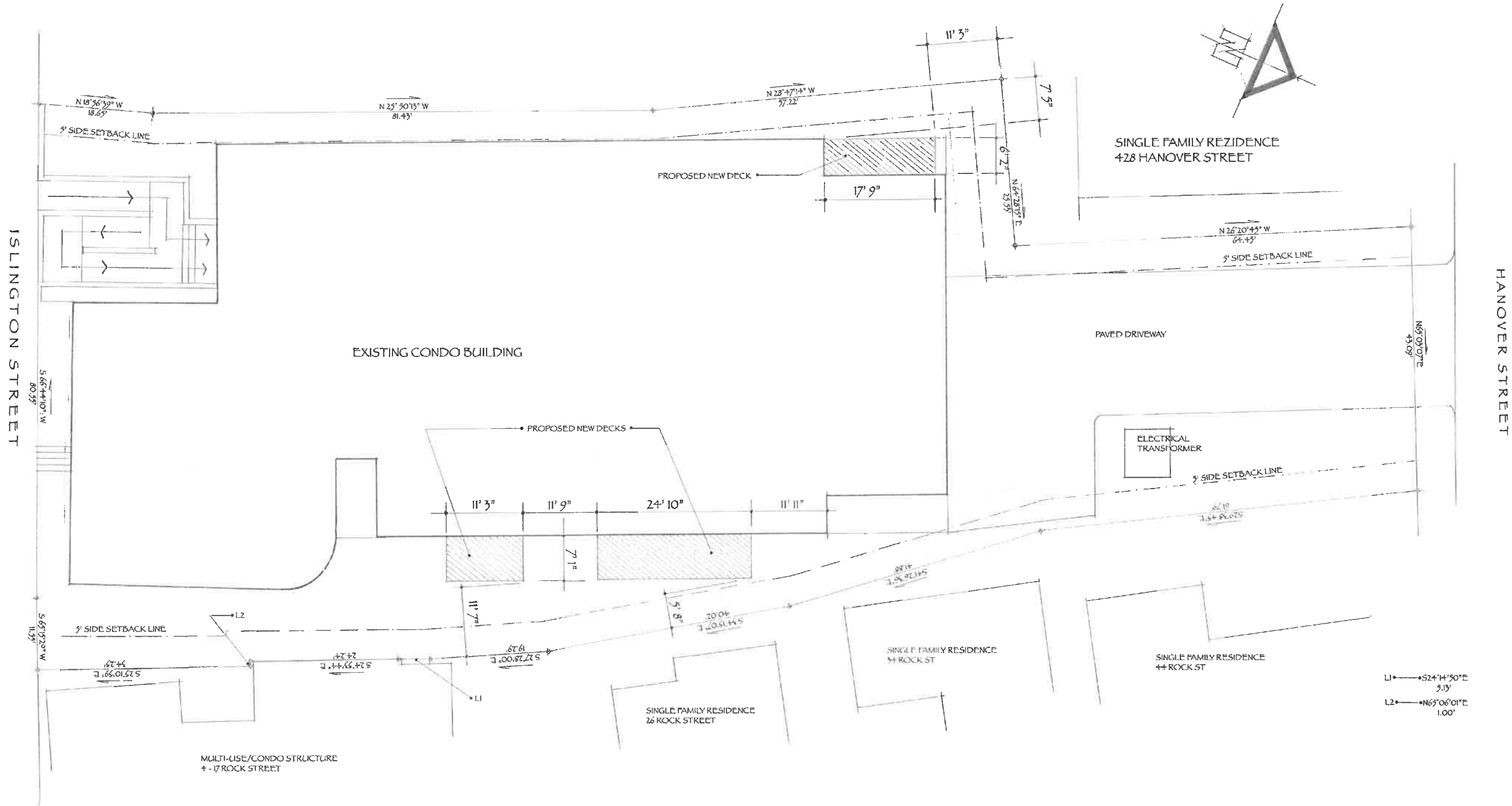
DRAWN BY
PVJ

REVISIONS
05/19 - STRUCT DETAIL REVISIONS

SHEET #

A 2.0





SITE PLAN
SCALE: 1/8" = 1'

PROJECT INFORMATION

APPLICABLE CODES: 2015 IBC

PROJECT DESCRIPTION:
ADDITION OF EXTERIOR LIVING SPACE BY THE
ADDITION OF WOOD-FRAMED DECKS WITH
WOOD AND METAL RAILINGS.
POST-CONSTRUCTION ACCESS WILL BE THROUGH
NEW DOORS BUILT IN THE LOCATION OF EXISTING
WINDOWS WHICH WILL BE REMOVED DURING CONSTRUCTION.
THESE NEW DECKS HAVE BEEN AUTHORIZED BY THE
HOA. SUCH AUTHORITY HAS BEEN FILED WITH THE
STATE OF NEW HAMPSHIRE, GIVING PERMISSION FOR THE
ADDITION OF LIMITED COMMON PROPERTY ATTACHED
TO THE BUILDING, TO SPECIFIC CONDO UNITS ADJACENT
TO EACH DECK.

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS IN THE FIELD
PRIOR TO COMMENCEMENT.
ALL EXCESS SOIL MATERIAL REMOVED FROM FOOTER EXCAVATIONS
SHALL BE DISTRIBUTED THROUGHOUT THE PROPERTY AND USED FOR
LANDSCAPING.

STRUCTURAL LUMBER NOTES

ALL STRUCTURAL LUMBER SHALL BE PRESSURE TREATED DIMENSIONAL
LUMBER WITH AN APPROVED GROUND CONTACT RATING.
ALL STRUCTURAL CONNECTORS SHALL BE HOT DIP GALVANIZED STEEL
OR 304 STAINLESS STEEL.
ALL FASTENERS, NUTS, WASHERS AND BOLTS SHALL BE HOT DIP GALVANIZED
OR STAINLESS STEEL, RATED FOR EXTERIOR USE.

CONNECTIONS

SUPPORT POST-TO-MAIN BEARING BEAM CONNECTIONS: ALL CONNECTIONS
ARE TO BE NOTCHED AS SHOWN ON DETAILS 1, 2, 3 ON DRAWING A3.0, AND
FASTENED WITH THULOK FASTENERS IN ACCORDANCE WITH
MANUFACTURER'S BULLETIN - "FMTECH-THCARRY_Q07" FOR DECK CARRYING
BEAM TO SUPPORT POST APPLICATIONS.

FRAMING LUMBER NOTES

ALL FRAMING LUMBER SHALL BE PRESSURE TREATED DIMENSIONAL
LUMBER WITH AN APPROVED GROUND CONTACT RATING.
ALL STRUCTURAL CONNECTORS SHALL BE HOT DIP GALVANIZED STEEL
OR 304 STAINLESS STEEL.
ALL FASTENERS, SCREWS AND NAILS SHALL BE HOT DIP GALVANIZED OR
STAINLESS STEEL, RATED FOR EXTERIOR USE.
ALL JOISTS SHALL BE SECURED WITH SIMPSON H2.5 CLIPS AND BRACED WITH
2X6 PT BLOCKING, ONCE PER BAY.

DECKING NOTES

DECK BOARDS SHALL BE 1" THICK (ACTUAL) BY 3.5" WIDE HARDWOOD
SPECIES: IPE, MAHOGANY OR ANY OTHER SUITABLE EXTERIOR WOOD.
FASTENERS SHALL BE 2 3/8" STAINLESS STEEL CAMO-EDGE DECK SCREWS
PRE-DRILLED AND FASTENED TWICE AT EACH SUPPORTING JOIST.

RAILING NOTES

RAILINGS SHALL BE COMPRISED OF SUPPORTING POSTS, TOP RAIL (CAP)
AND BALUSTRADE.
SUPPORTING POSTS ARE CONTINUOUS EXTENSION OF THE 6X6 PT
STRUCTURAL SUPPORTING POSTS.
TOP RAIL IS A EXTERIOR GRADE HARDWOOD (IPE, MAHOGANY, ETC.)
FASTENED TO THE TOPS OF THE SUPPORTING POSTS AT A HEIGHT
OF 36" ABOVE THE DECKING LEVEL. NOMINAL DIMENSION OF TOP
RAIL IS 2" X 10".
BALUSTRADES ARE WELDED MILD STEEL PANELS WITH VERTICAL SPINDLES
AT A MAXIMUM SPACING OF 4" O.C. FASTENED TO THE SUPPORTING POSTS
WITH 3/8" X 3" STAINLESS STEEL FASTENERS. BOTTOM OF BALUSTERS TO
BE A MAXIMUM OF 4" ABOVE DECKING LEVEL.

DOOR NOTES

ALL DOOR SHALL BE EXTERIOR GRADE SOLID FIBERGLASS CORE
CONSTRUCTION WITH WOOD FRAMES.
GLAZING SHALL BE TRIPLE PANELED, LOW-E, 15 LUG IT
SILL TO BE OUTSWING ALUMINUM WITH BRONZE COMPRESSION
WEATHER STRIPPING.
HARDWARE TO BE BRUSHED NICKEL, HANDLESET SCHLAGE
MANHATTAN STYLE KEYED ENTRY AND DEADBOLT WITH ASTRAGAL
SLIDING BARRIEL BOLTS TO HEADER AND SILL PLATE.

CONTRACTOR



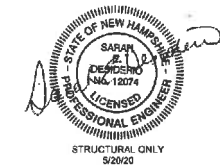
STRUCTURAL
ENGINEER

STRUCTURAL ENGINEER

JSN ASSOCIATES
1 FALLUM STREET
PORTSMOUTH, NH 03801
603-433-6699

GENERAL CONTRACTOR

JACKSON GENERAL CONTRACTING
193 ISLINGTON ST
PORTSMOUTH, NH 03801
603-624-1556



PROJECT LOCATION:

133 ISLINGTON ST
PORTSMOUTH, NH

TITLE

SITE PLAN AND
STRUCTURAL NOTES

DRAWN BY
PVJ

REVISIONS

05/19 - STRUCT DETAIL REVISIONS

SHEET #

A 4.0

2. 14 Mechanic Street - Recommended Approval

Background: The applicant is seeking approval for a re-design of the front entryway. The applicant received approval with the stipulation: *"That the entry way be redesigned and resubmitted for Administrative Approval."*

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-147

Status: Active

Submitted: May 22, 2020

Applicant



Lisa DeStefano

6034318701

ldestefano@destefanomaugel.com

Location

14 MECHANIC ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Approval was granted for the renovation and addition of **14 Mechanic Street (LUHD 14)** with the condition to redesign the entry and reappear in front of the HDC to review the changes.

Description of Proposed Work (Planning Staff)

--

Project Representatives

City/Town

Portsmouth

Email Address

jdeserrano@destefanomaugel.com

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Zip Code

03801

Business Name (if applicable)

Destefano Mauge Architects

Phone

603-570-7050

Mailing Address (Street)

22 Ladd Street

Full Name (First and Last)

Joseph De Serrano

State

NH

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.



EXISTING FRONT ELEVATION



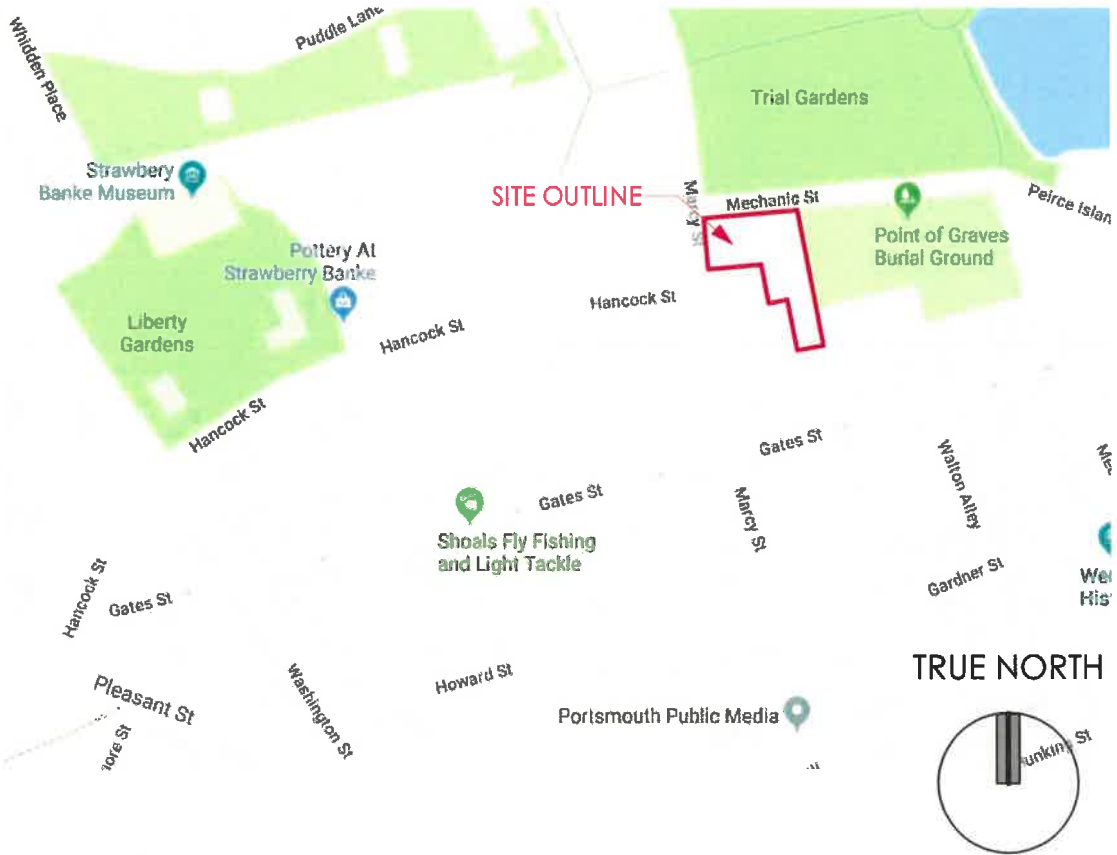
EXISTING FRONT ENTRY



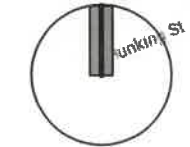
EXISTING FRONT ENTRY AFTER SIDING REMOVAL



PERSPECTIVE FROM STREET



SITE OUTLINE



PROPOSED RENOVATIONS & ADDITIONS FOR THE
COPELAND RESIDENCE
 14 MECHANIC STREET
 PORTSMOUTH, NH

CONTEXT PHOTOS & LOCUS PLAN

SHEET **1** OF 4
 JUNE 3, 2020

201911

D|M|A
 DESTEFANO
 MAUGEL
 ARCHITECTS



PREVIOUSLY PROPOSED FRONT ELEVATION (2)



NEWLY PROPOSED FRONT ELEVATION (1)

COPELAND RESIDENCE
14 MECHANIC STREET
PORTSMOUTH, NH

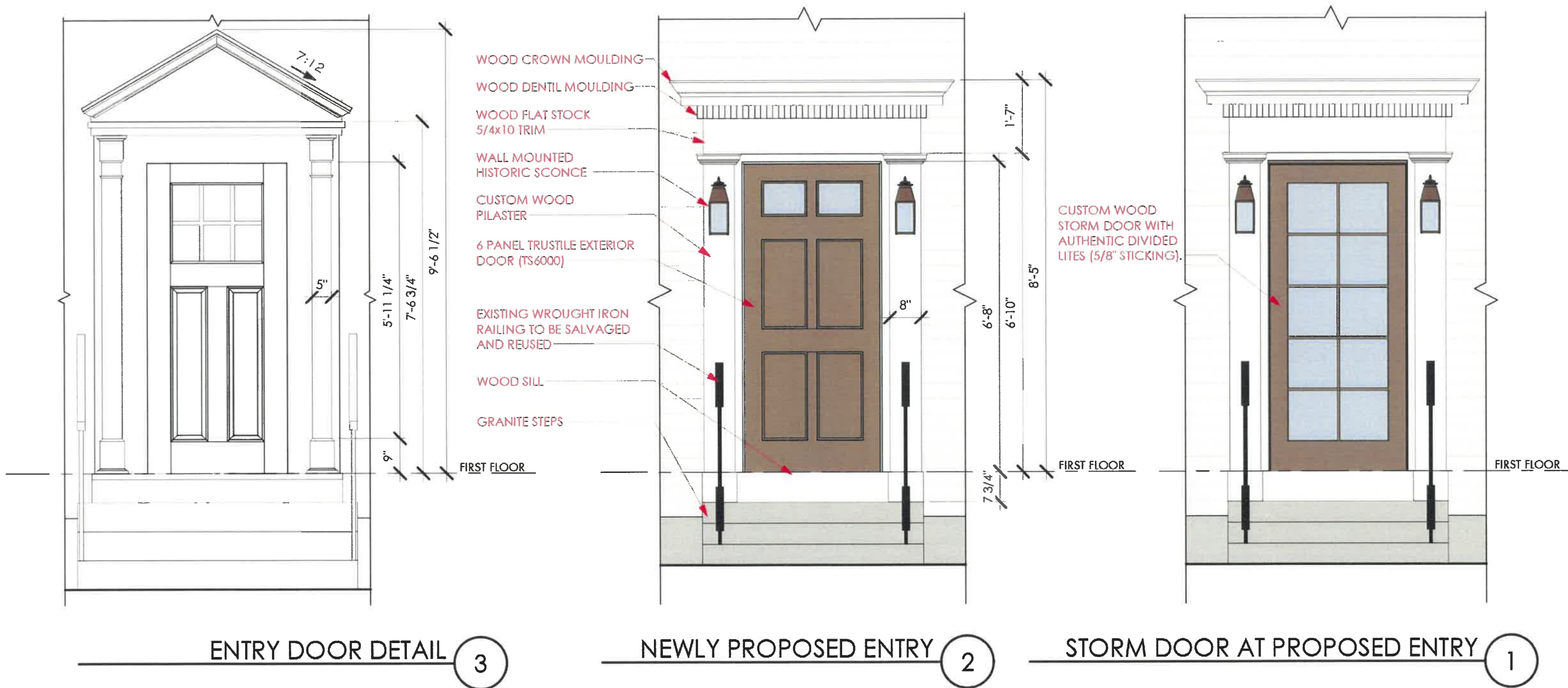
PREVIOUSLY AND NEWLY PROPOSED ELEVATIONS

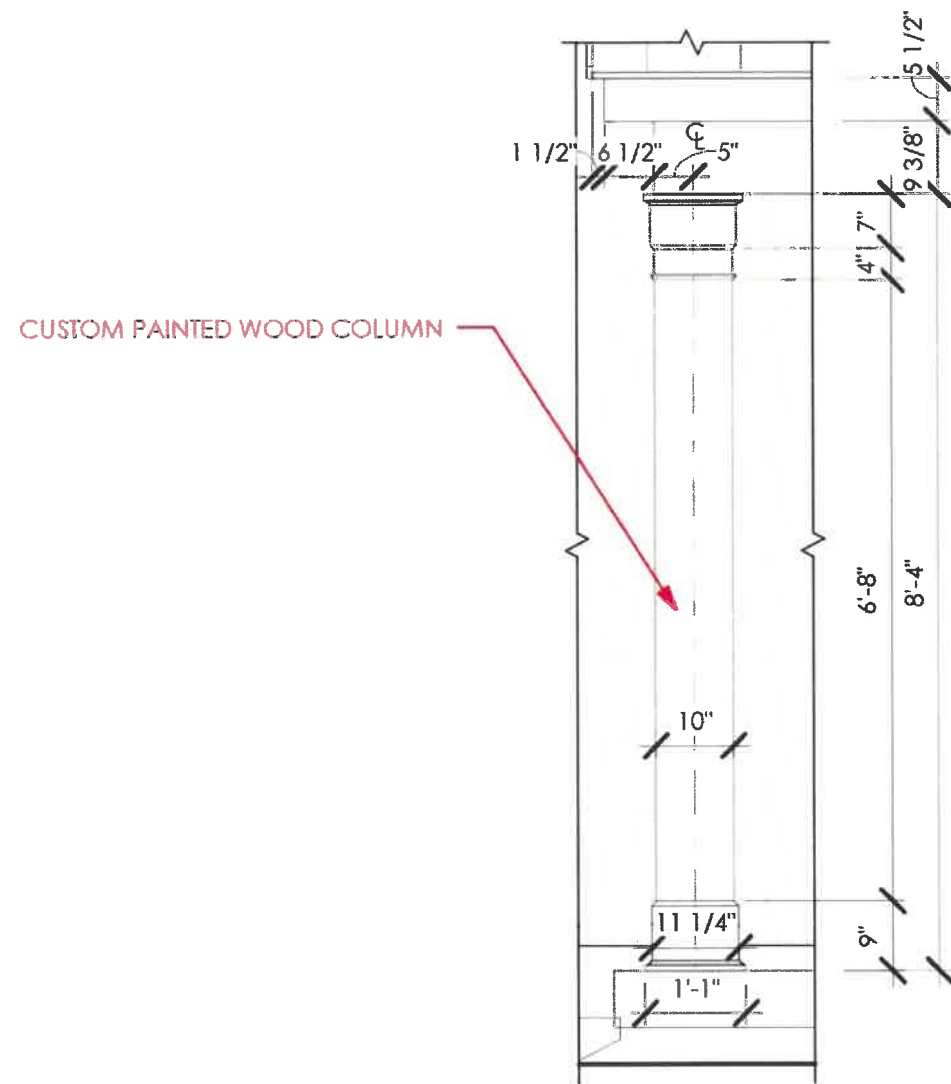
1/8" = 1'-0"

SHEET 2 OF 4
JUNE 3, 2020

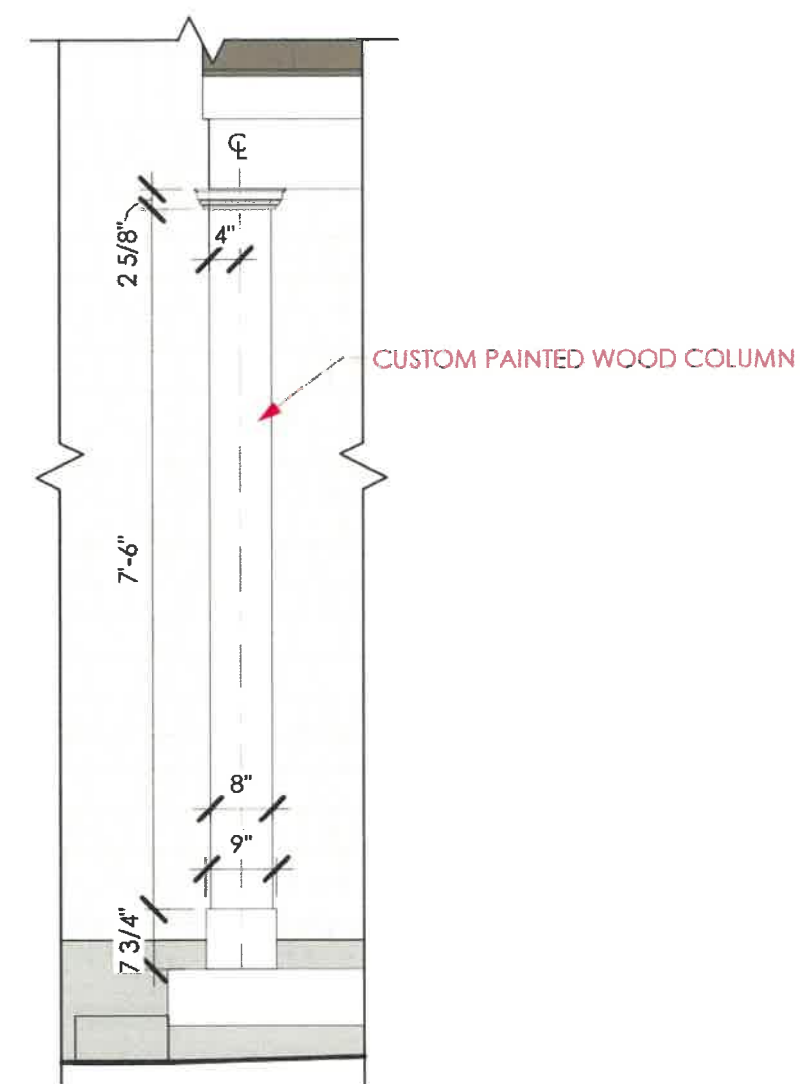


© 2020





PREVIOUSLY PROPOSED COLUMN 2
1/2" = 1'-0"



NEWLY PROPOSED COLUMN 1

3. 140 Court Street - TBD

Background: The applicant is seeking approval for changes to a previously-approved design (revisions to siding, roof appurtenances, sign band and the balconies on the garage elevation). The applicant is also seeking to add planters and a garage exhaust vent.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-146

Status: Active

Submitted: May 22, 2020

Applicant



Carla Goodknight

6034312808

admin@cjarchitects.net

Location

140 COURT ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Revise siding, add planters and garage exhaust. Revise roof appurtenances and garage elevation.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Other

State

New Hampshire

Phone

-

Full Name (First and Last)

Craig Welch

Email Address

craigwelch@nh-pha.com

Zip Code

03801

City/Town

Portsmouth

If you selected "Other", please state relationship to project.

Executive Director of PHA

Business Name (if applicable)

PHA (Portsmouth Housing Authority)

Mailing Address (Street)

-

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.



City of Portsmouth
Historic District Commission & Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

May 18, 2020

160 Court Street - HDC Application for Amended Approval

We respectfully submit this Application for Amended Approval for the 160 Court Street project.

- 1) Remove rear decks, revise doors to be windows, and add roof canopy above garage door.
- 2) Revise approved siding from painted LP Smartside composite wood product to be prefinished fiber cement siding.
- 3) Remove (2) small roof elements from the South and East end of the upper roof and remove the large central mechanical roof appurtenance. North and West appurtenances to remain.
- 4) Remove (1) window from West elevation at side entry lobby.
- 5) Revise configuration of exterior egress stair and door at West elevation
- 6) Add masonry planters at West and East elevations.
- 7) Add garage exhaust louver at West elevation.
- 8) Raise signage banding at liner building.

Please refer to the attached drawings for more information on these proposed amendments and their locations.

Thank you for your consideration.
Sincerely,

A handwritten signature in black ink, appearing to read 'Cn', with a long horizontal flourish extending to the right.

Carla Goodknight, AIA
Principal, CJ Architects

Representing Owner:
PHA-Portsmouth Housing Authority



APPROVED

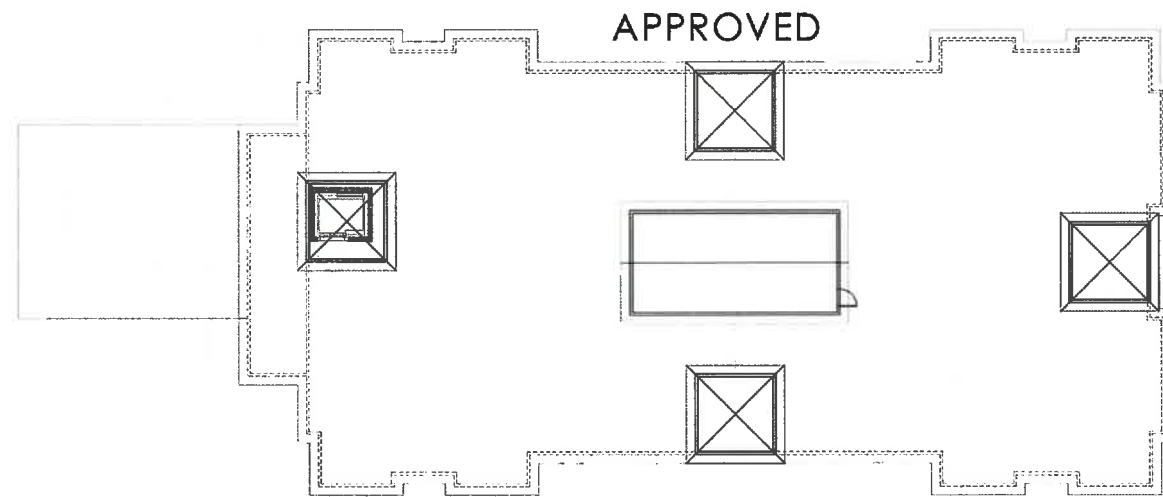


NOTE: RAISE SIGNAGE BAND ON LINER BUILDING.

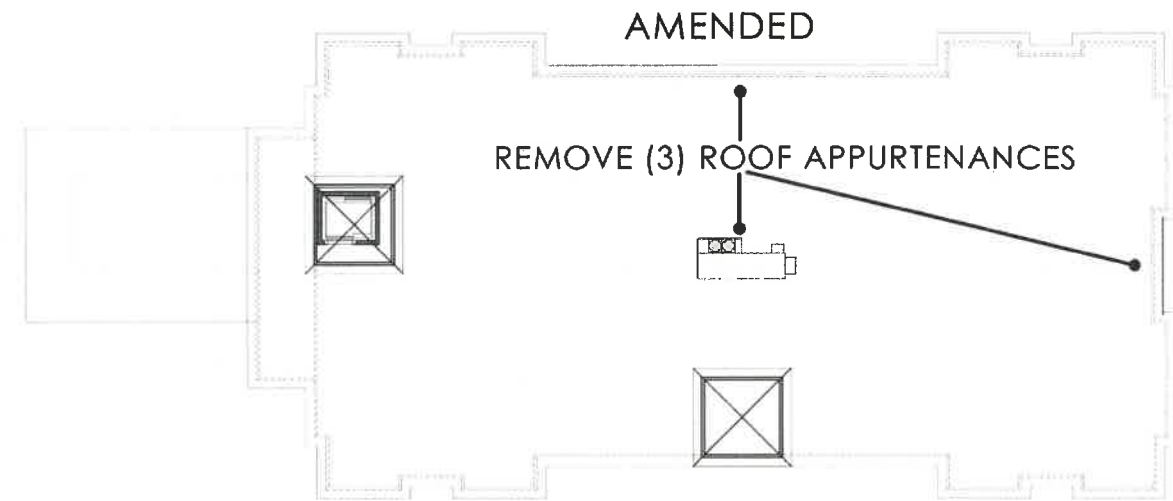
AMENDED



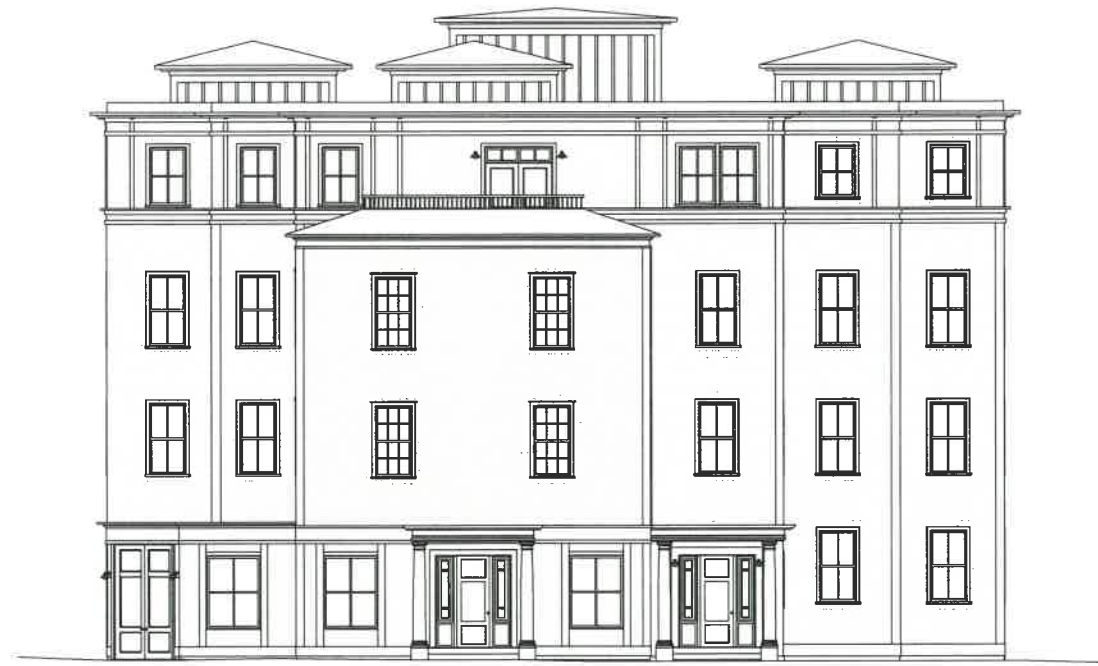
NOTE: REMOVE BALCONIES AND DOORS, ADD WINDOWS, AND ADD PENT ROOF OVER GARAGE DOOR.



1 APPROVED ROOF PLAN

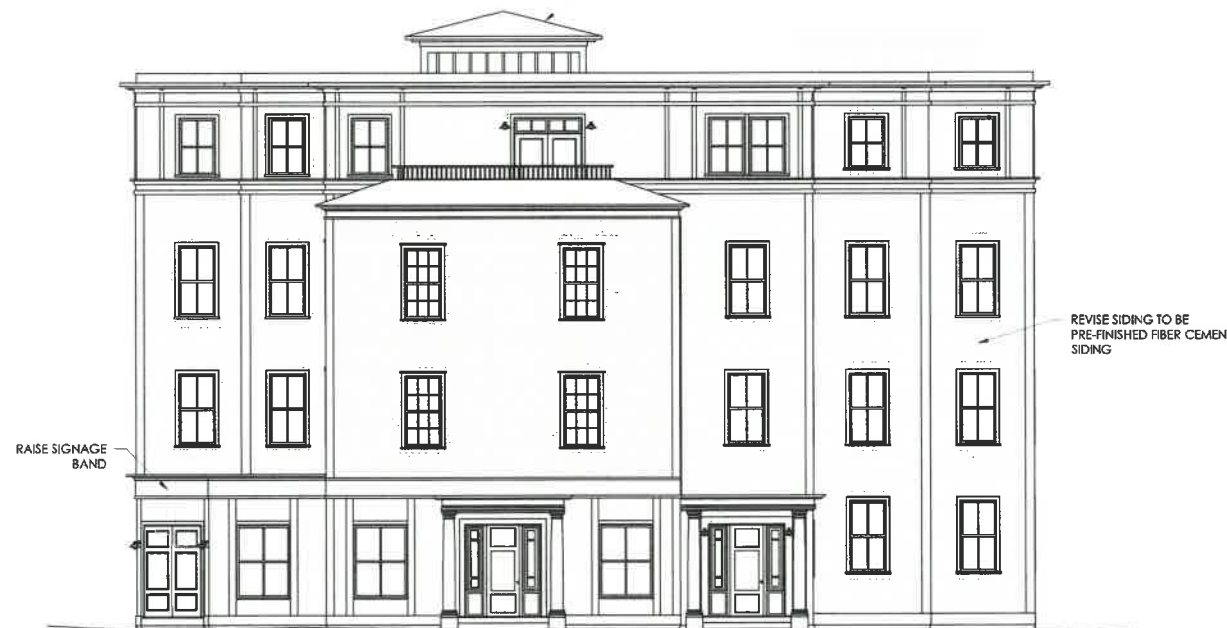


2 AMENDED ROOF PLAN



1 NORTH ELEVATION - APPROVED

REVISE ROOF APPURTENANCES



2 NORTH ELEVATION - AMENDED



3 SOUTH ELEVATION - APPROVED

REVISE ROOF APPURTENANCES



4 SOUTH ELEVATION - AMENDED

SCALE: 1/8" = 1'-0" ON 22 x 34 SHEET



① WEST ELEVATION - APPROVED

— REVISE ROOF APPURTENANCES



② WEST ELEVATION - AMENDED

SCALE: 1/8" = 1'-0" ON 22 x 34 SHEET

COURT STREET DEVELOPMENT
PORTSMOUTH, NEW HAMPSHIRE

WEST ELEVATION

HDC APPLICATION FOR AMENDED APPROVAL: JUNE 3, 2020



PORTSMOUTH
HOUSING

4



① EAST ELEVATION - APPROVED



② EAST ELEVATION - AMENDED

SCALE: 1/8" = 1'-0" ON 22 x 34 SHEET

COURT STREET DEVELOPMENT
PORTSMOUTH, NEW HAMPSHIRE

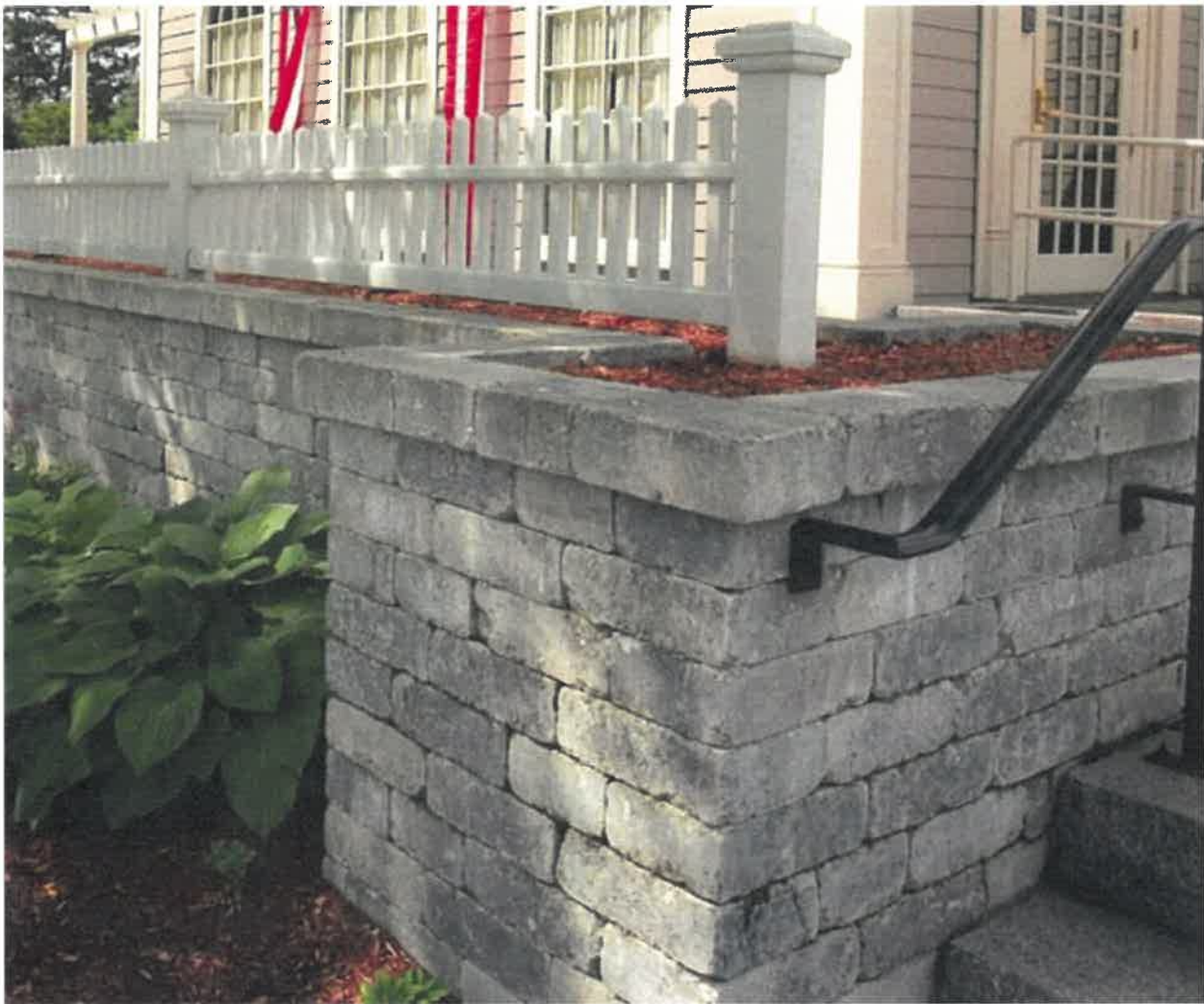
EAST ELEVATION

HDC APPLICATION FOR AMENDED APPROVAL: JUNE 3, 2020



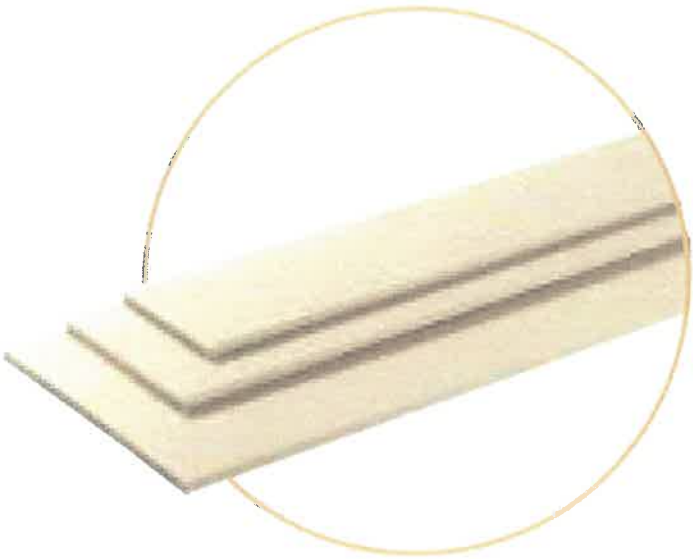
PORTSMOUTH
HOUSING

5



LANDSCAPE BLOCK

Manufacturer: GENEST - BRUSSELS - UNILOCK WALL
Color: T.B.D.



LAP SIDING - APPROVED

Manufacturer: LP SMARTSIDE - 76 SERIES LAP - 7" EXPOSURE
Color: T.B.D.



LAP SIDING - AMENDED

Manufacturer: JAMES HARDIE - COMPOSITE SIDING
Color: T.B.D.

4. 142 Congress Street - Recommend Approval

Background: The applicant is seeking approval for the installation of accordion style windows on the store-front of the building in order to support open dining.

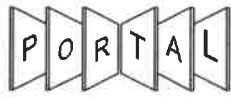
Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Existing Conditions – 142 Congress Street



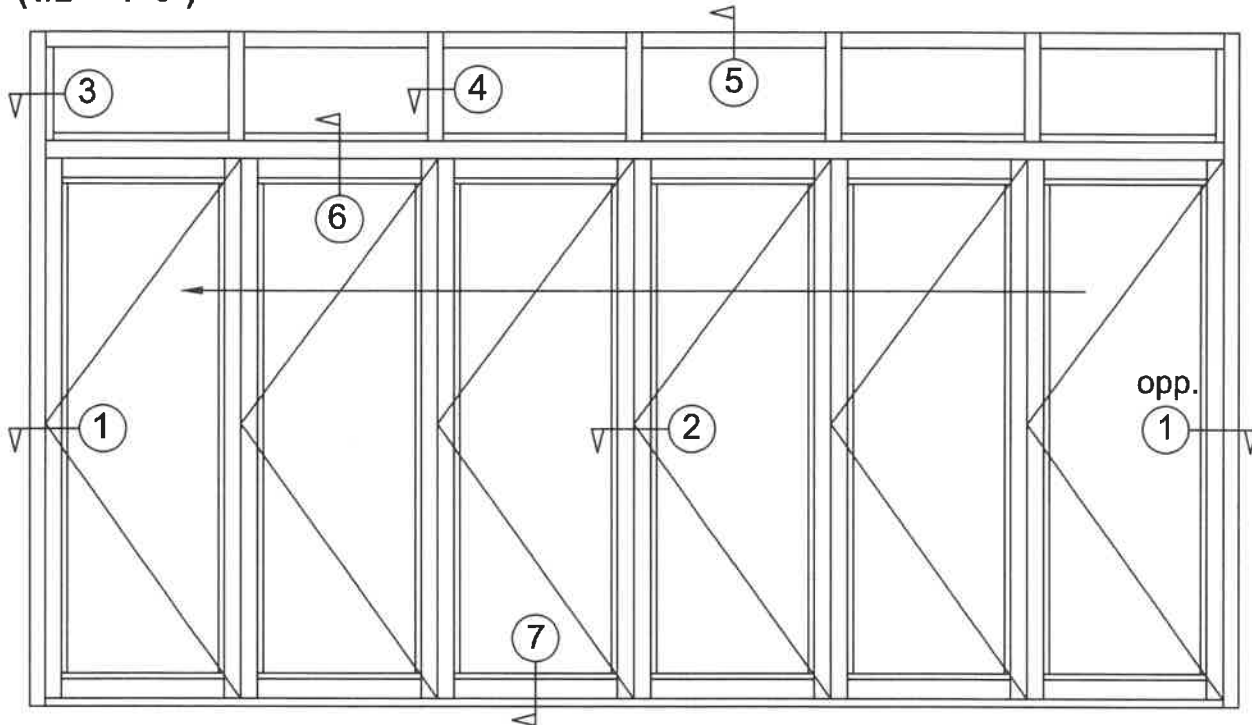


PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

TYPICAL MANUAL FOLDING WINDOW ELEVATION:

(1/2" = 1'-0")

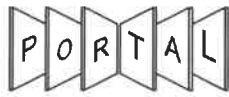


SPECIFICATIONS FOR FOLDING WINDOWS & FRAMING

Portal folding windows shall be constructed of extruded aluminum shapes for stiles and rails. All aluminum shall be 6063-T5 with all exposed surfaces given a #204 R1 clear anodized finish or #313 dark bronze anodized finish. Several standard painted finishes available also. Wall thickness of stiles and rails shall be a minimum of $\frac{1}{8}$ ". The operable panel thickness shall be $1\frac{3}{4}$ ". Stiles and rails shall be bolted and electric arc welded to heavy anchors at all four corners. Meeting stiles of all folding panels shall be weather-stripped. All glazing beads shall have neoprene inserts for clean, puttyless snap in glazing.

Exterior glazing beads shall be non removable. Butt hinged folding panels shall be furnished with $\frac{1}{4}$ " aluminum hinge reinforcing plates. All exterior operable panels to be furnished with standard flushbolt style locks and maximum security lock and adjustable door leveling hinges for minimum clearance adjustments.

Frames shall be constructed of seamless extruded aluminum tubes of 6063-T5 Alloy with anodized or standard painted surface. The basic shapes shall measure $1\frac{3}{4}$ " x $4\frac{1}{2}$ " or 2" x $4\frac{1}{2}$ ". Frames for offset hung doors shall be furnished with $\frac{1}{4}$ " aluminum hinge reinforcement plates and weather-stripped doorstops.

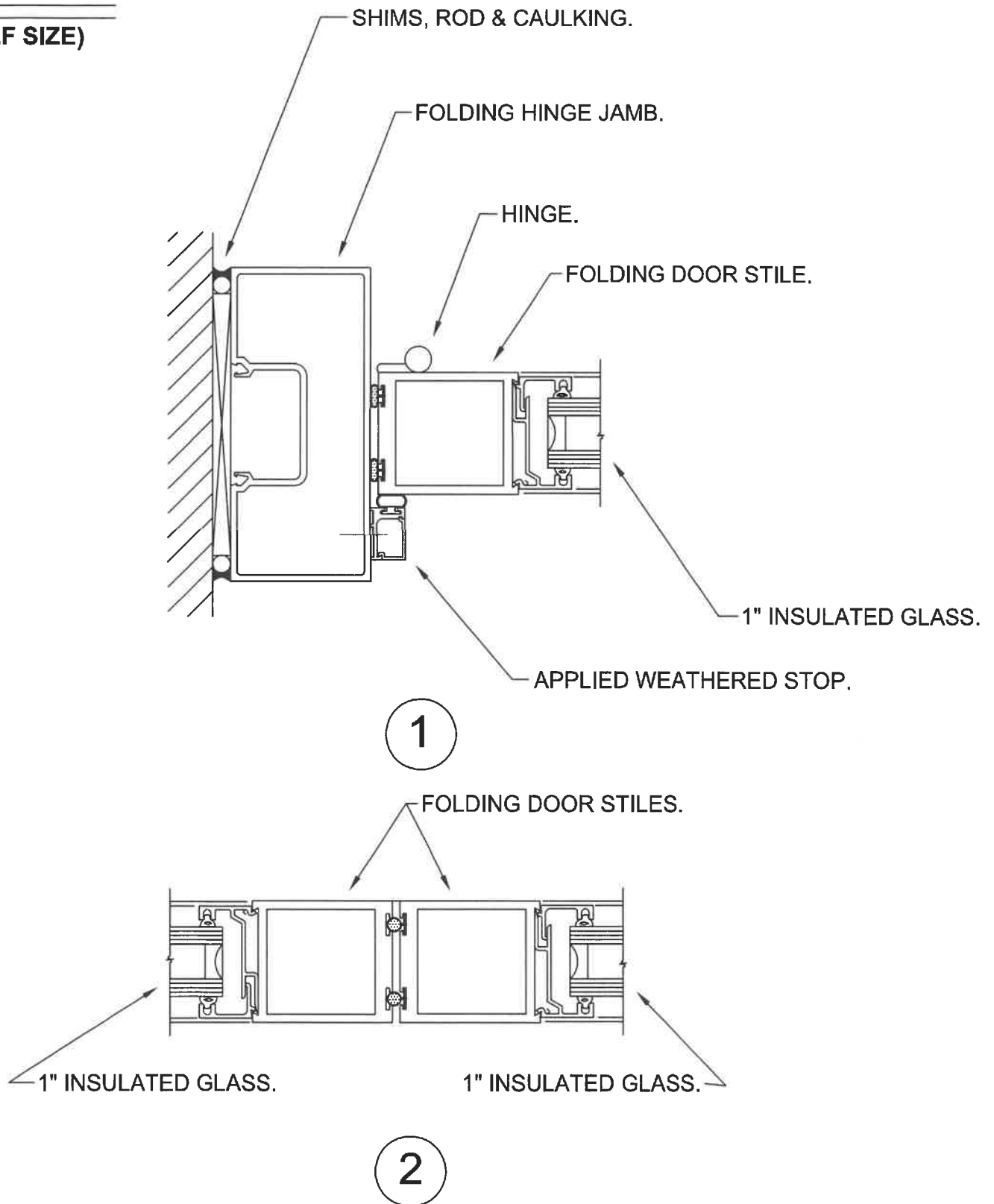


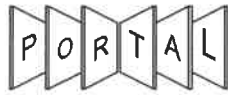
PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

DETAILS:

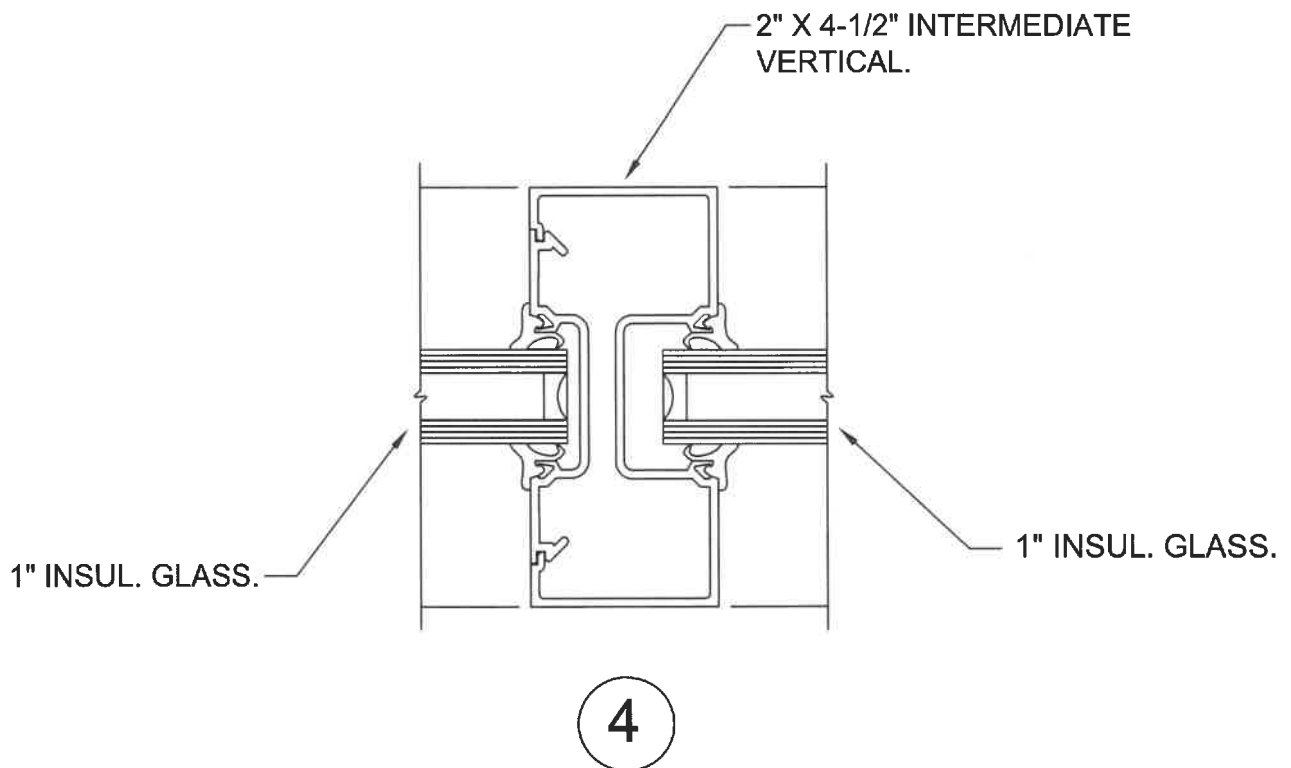
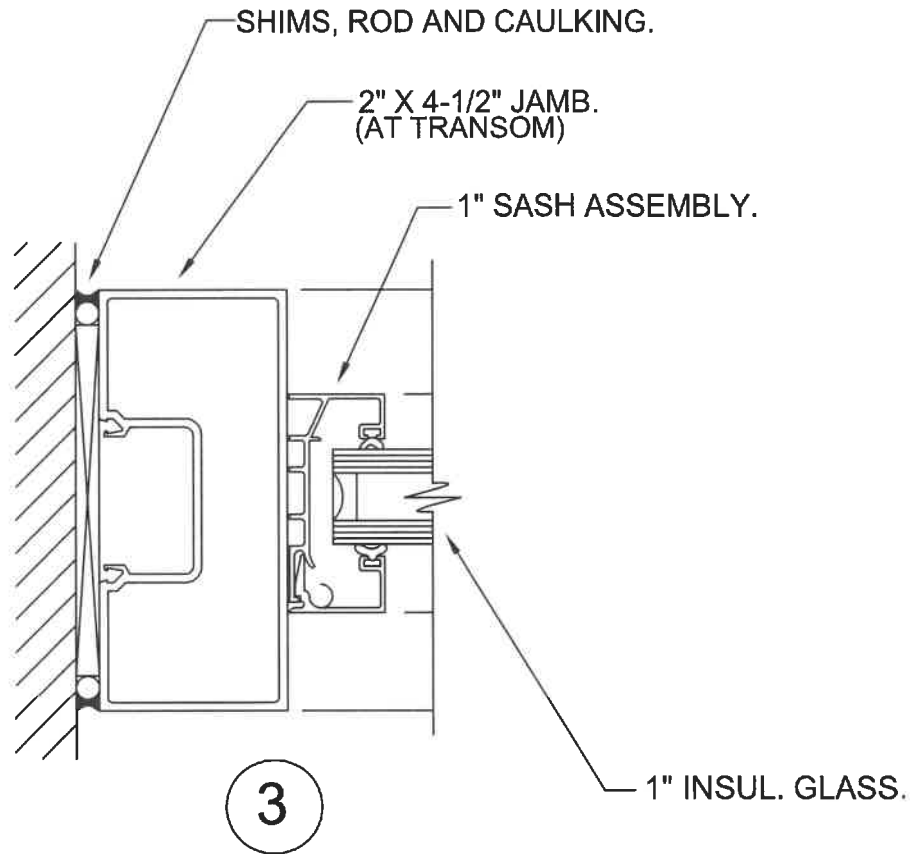
(HALF SIZE)

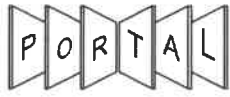




PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

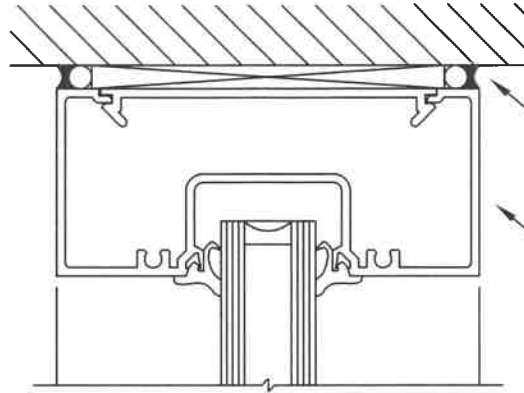




PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

5

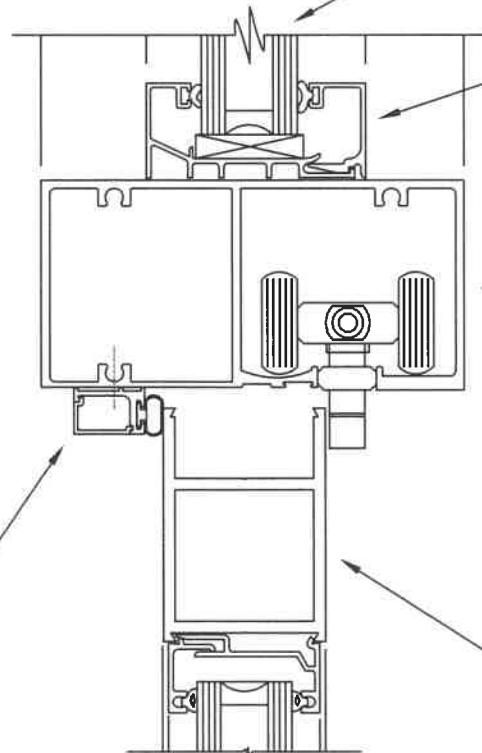


SHIMS, ROD & CAULKING.

2" X 4-1/2" HEADER.

1" INSULATED GLASS.

6



APPLIED GLAZING SASH.

TOP HUNG ROLLER
TRACK ASSEMBLY.

APPLIED
WEATHERED
STOP.

TOP RAIL OF DOOR / WINDOW.

1" INSULATED GLASS.



PORTAL INC.

10 TRACY DRIVE- AVON, MA. 02322

ALTERNATE

6

APPLIED
WEATHERED
STOP.

SHIMS, ROD & CAULKING.

TOP HUNG ROLLER
TRACK ASSEMBLY.

TOP RAIL OF DOOR.

1" INSULATED GLASS.

APPLIED
WEATHERED
STOP.

7

BOTTOM RAIL OF DOOR / WINDOW.

BI-FOLD PIVOT.

BOTTOM GUIDE TRACK / SILL.

SEALANT.



City of Portsmouth
Planning Department &
Historic District Commission
1 Junkins Avenue
Portsmouth, NH 03801

April 22, 2020

FIRST REQUEST FOR A ONE YEAR EXTENSION

OF the HDC Certificate of Appropriateness granted July 16, 2019
FOR 152 Court Street, Portsmouth, NH

Delays attributed to the appeal of 160 Court Street have also delayed the start of this project.

Due to the approaching expiration of the previously granted Certificate of Appropriateness, the 152 Court Street project respectfully requests the first one-year extension.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Carla', with a long, sweeping horizontal line extending to the right.

Carla Goodknight, AIA
Principal
CJ Architects

Representing owners:
ED PAC, LLC



VIEW FROM COURT STREET



AERIAL VIEW

This application for HDC administrative approval is a follow up to the previous HDC approval on July 13, 2018 for the multi-family project located at 160 Court Street. This property is not a part of the Portsmouth Housing Authority and is privately owned.

A property line adjustment was approved by the Planning Board on August 21, 2018 and the demolition of the "brown building" additions to the historic Gideon Beck house were also approved by the HDC and Planning board. This lot line adjustment and subsequent demolition will again expose the original rear facade of the Gideon Beck house.

152 COURT STREET
PORTSMOUTH, NEW HAMPSHIRE

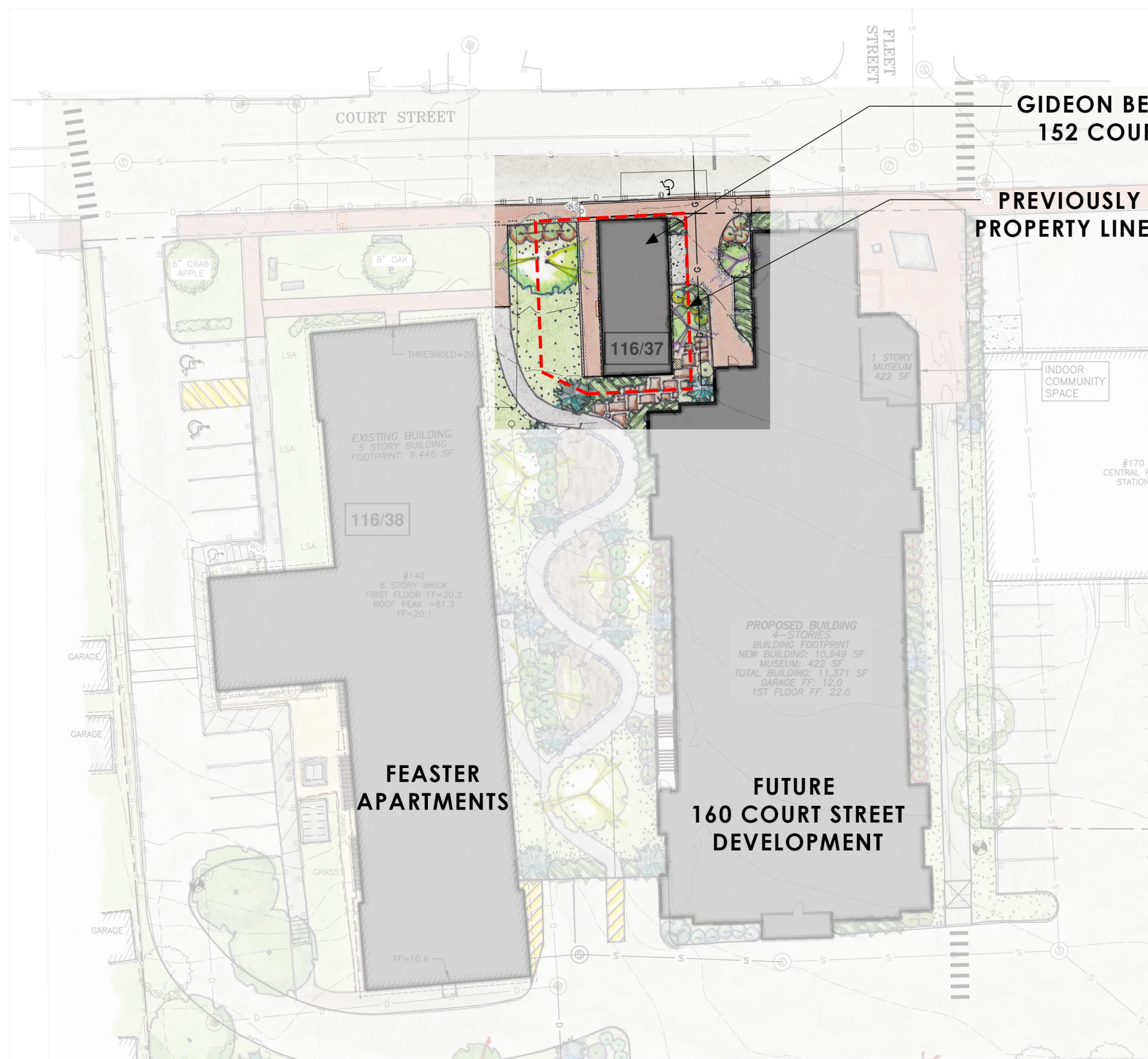
PROJECT LOCATION

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JULY 10, 2019



233 VAUGHAN ST, SUITE 101
PORTSMOUTH, NH 03801
(603) 431-2808
www.cjarchitects.net

1.0



152 COURT STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JULY 10, 2019



233 VAUGHAN ST, SUITE 101
PORTSMOUTH, NH 03801
(603) 431-2808
www.cjarchitects.net

2.0



COURT STREET VIEW WEST FROM PLEASANT STREET



VIEW EAST DOWN COURT STREET



VIEW NORTH ACROSS PARKING LOT TO COURT STREET



VIEW SOUTH ACROSS COURT STREET

152 COURT STREET
PORTSMOUTH, NEW HAMPSHIRE

STREET VIEWS

HDC APPLICATION FOR WORK SESSION/PUBLIC HEARING: JULY 10, 2019



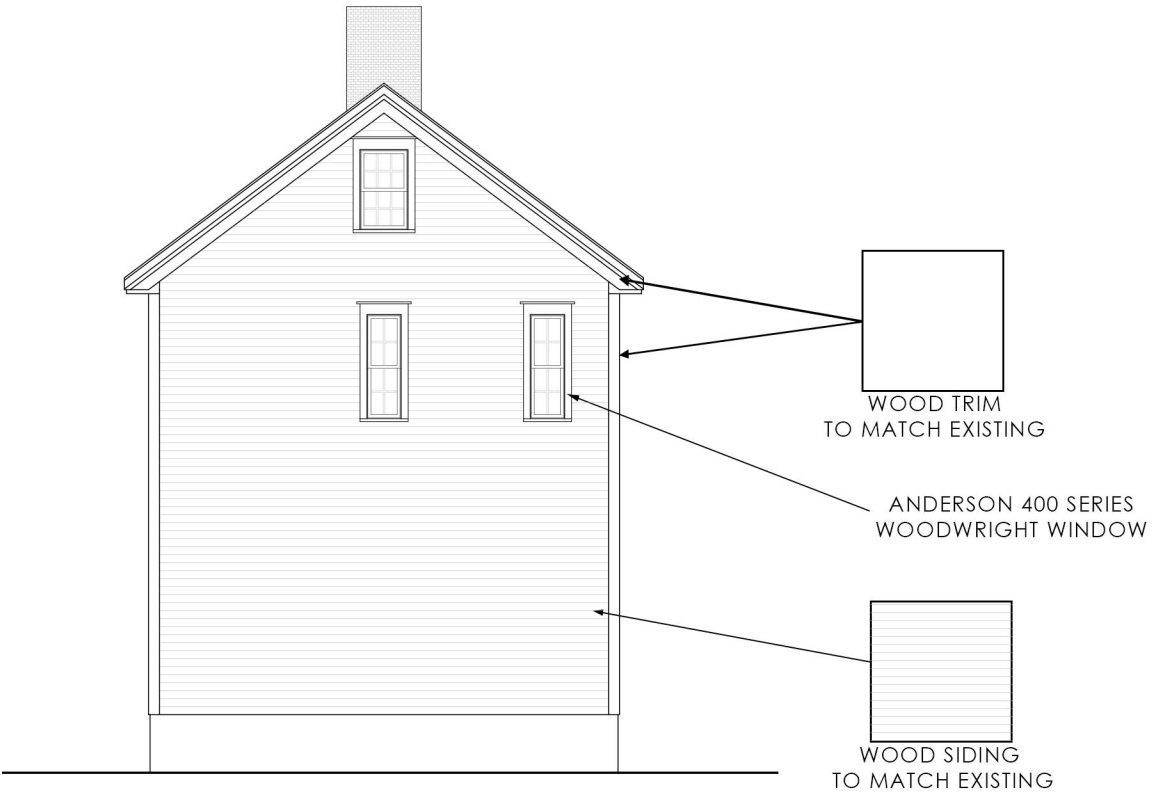
233 VAUGHAN ST, SUITE 101
PORTSMOUTH, NH 03801
(603) 431-2808
www.cjarchitects.net

3.0

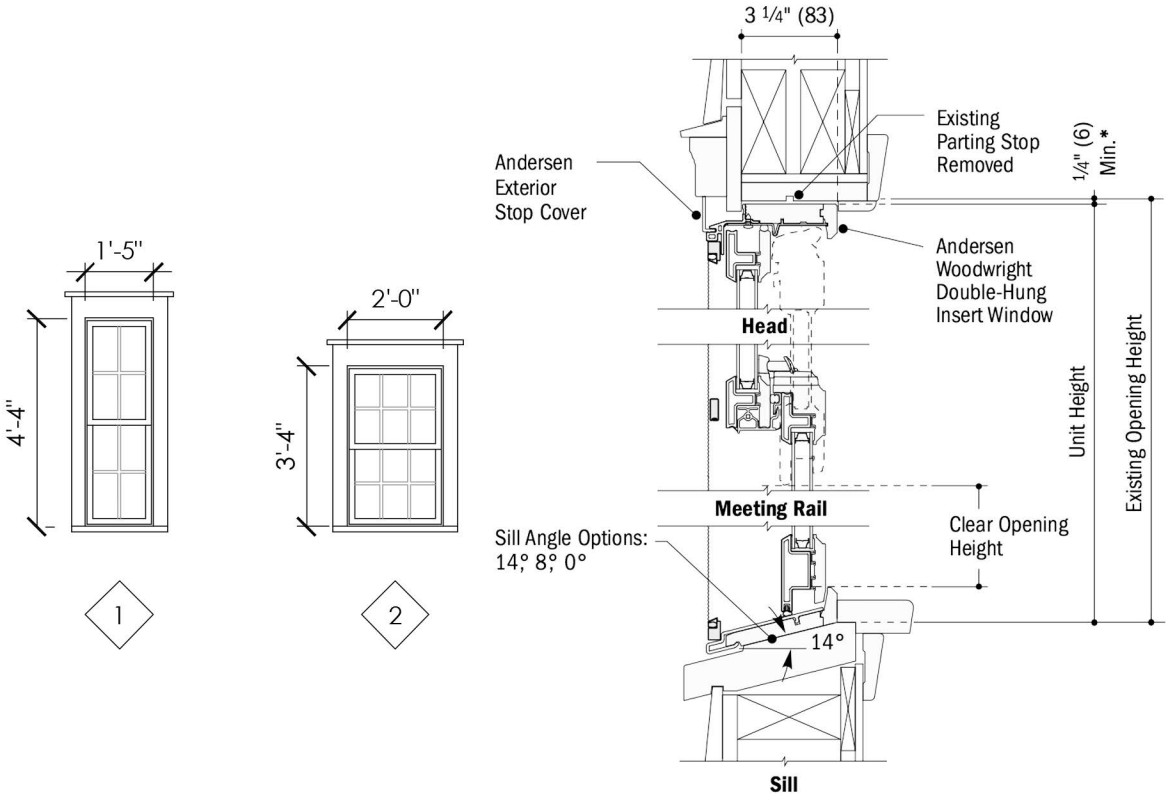
Much of the original back wall of the Gideon Beck house has been demolished during the brown building construction.

The previously approved rendering and site plan on page 2.0 shows the rear elevation will be screened by the new multi-family construction on the adjacent property.

The proposed new windows on the rear elevation are designed to replicate the size and grill patterns on the existing elevations. The new window locations shown are in response to existing interior partitions.



PROPOSED SOUTH ELEVATION
1/8" = 1'-0"



Vertical Section
ANDERSON 400 SERIES WOODWRIGHT WINDOW



EXISTING EAST ELEVATION TO REMAIN - NO CHANGES PROPOSED



EXISTING NORTH ELEVATION TO REMAIN - NO CHANGES PROPOSED



EXISTING WEST ELEVATION TO REMAIN - NO CHANGES PROPOSED

152 COURT STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING AND PROPOSED ELEVATIONS
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JULY 10, 2019



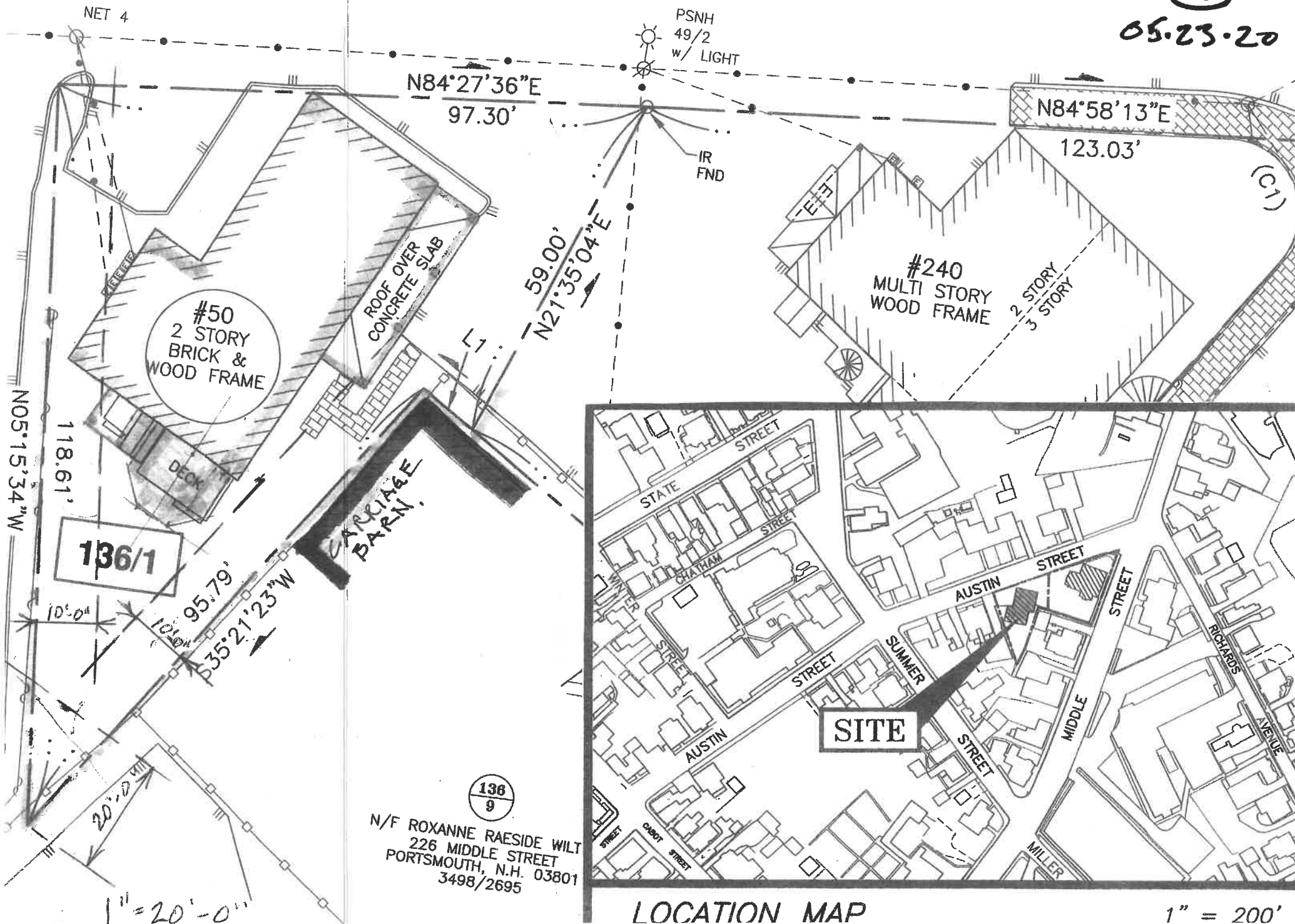
233 VAUGHAN ST, SUITE 101
PORTSMOUTH, NH 03801
(603) 431-2808
www.cjarchitects.net

4.0

AUSTIN

STREET

247
1
05.23.20



2

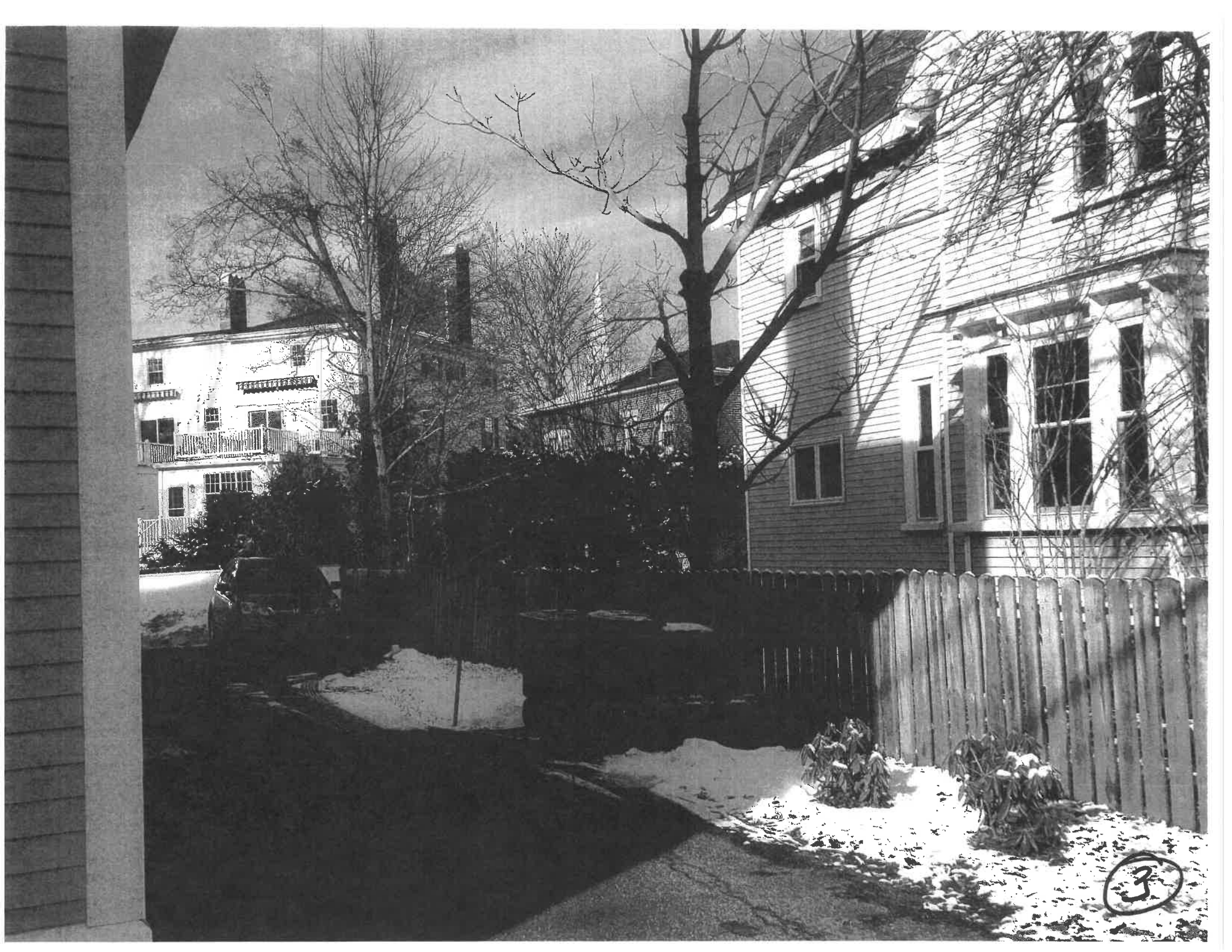
05.23.20

10.521 Table of Dimensional Standards – Residential and Mixed Residential Districts

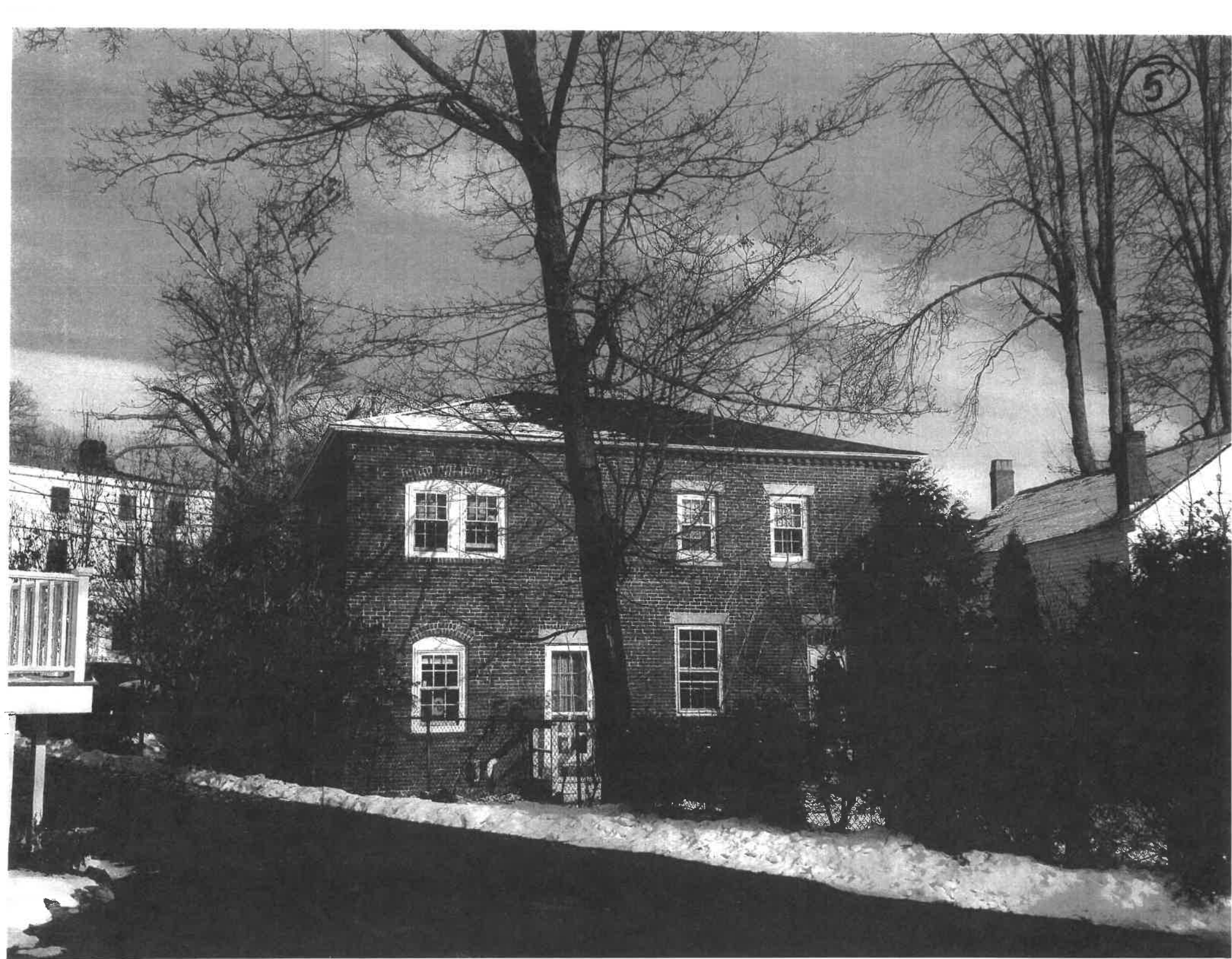
	R	SRA	SRB	GRA	GRB	GRC	GA/MH	MRO	MRB	50 AUSTIN
Minimum Lot Dimensions										
Lot area	5 acres	1 acre	15,000 sf	7,500 sf	5,000 sf	3,500 sf	5 acres	7,500 sf	7,500 sf	6247.4
Lot area per dwelling unit	5 acres	1 acre	15,000 sf	7,500 sf	5,000 sf	3,500 sf	10,000 sf	7,500 sf	7,500 sf	6247.4
Continuous street frontage	NA	150'	100'	100'	80'	70'	N/A	100'	100'	97.30'
Depth	NA	200'	100'	70'	60'	50'	N/A	80'	80'	118' varies
Minimum Yard Dimensions										
Front	50'	30'	30' ¹	15'	5'	5'	30' ¹	5'	5' ¹	Coverage exist. - 11644
Side	20'	20'	10'	10'	10'	10'	25'	10'	10'	1448
Rear	40'	40'	30'	20'	25'	20'	25'	15'	15'	16928
Maximum Structure Dimensions										
Structure height	35'	35'	35'	35'	35'	35' ²	35' ²	40'	40'	Addition - 2005
Roof appurtenance height	8'	8'	8'	8'	8'	8'	8'	10'	10'	244
Building coverage	5%	10%	20%	25%	30%	35%	20%	40%	40%	27%
Minimum open space	75%	50%	40%	30%	25%	20%	50%	25%	25%	45524

NA = Not Applicable NR = No Requirement

- Notes:
1. See Section 10.533 for special requirements on Lafayette Road.
 2. Within the General Residence C and Garden Apartment/Mobile Home Park districts an additional 8' of height may be added to the maximum **structure** height in order to provide for **multifamily dwellings** that include vehicular parking spaces located within the residential **building** itself, if the additional height results in increased **open space** when compared to a site plan showing what **open spaces** would remain if required parking spaces were located in the open and in **accessory structures**.









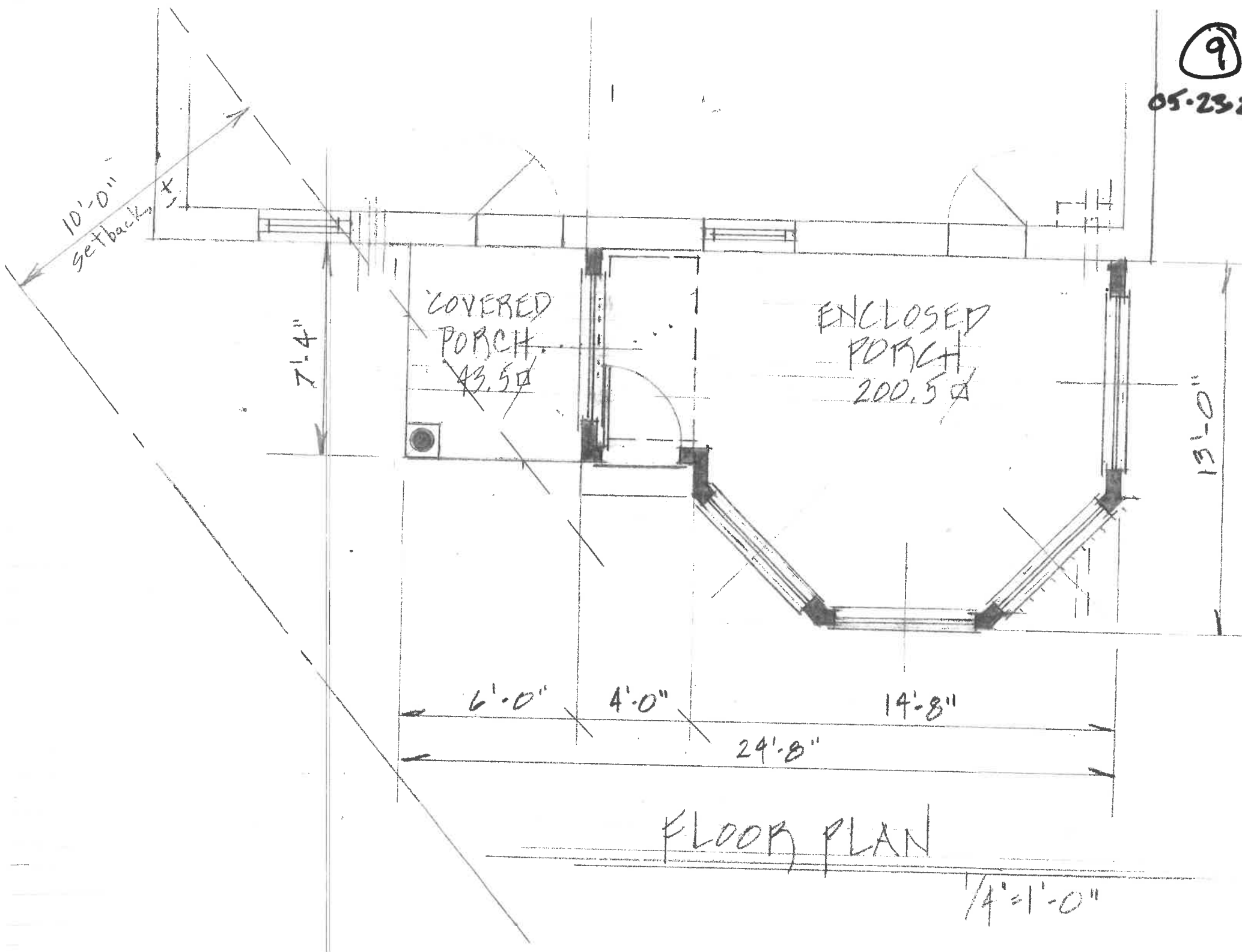


NEW TO MATCH

8

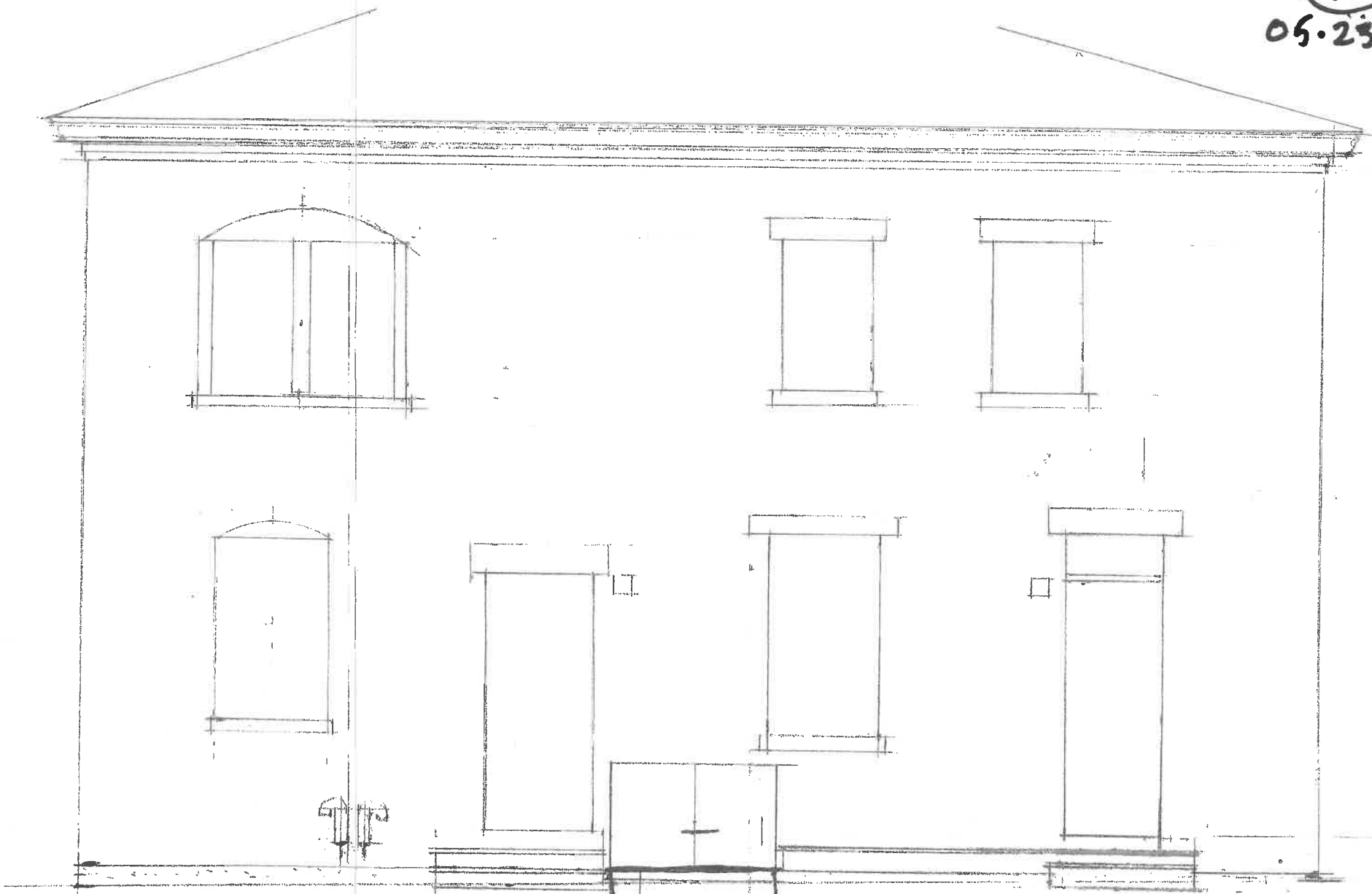
9

05-232



10

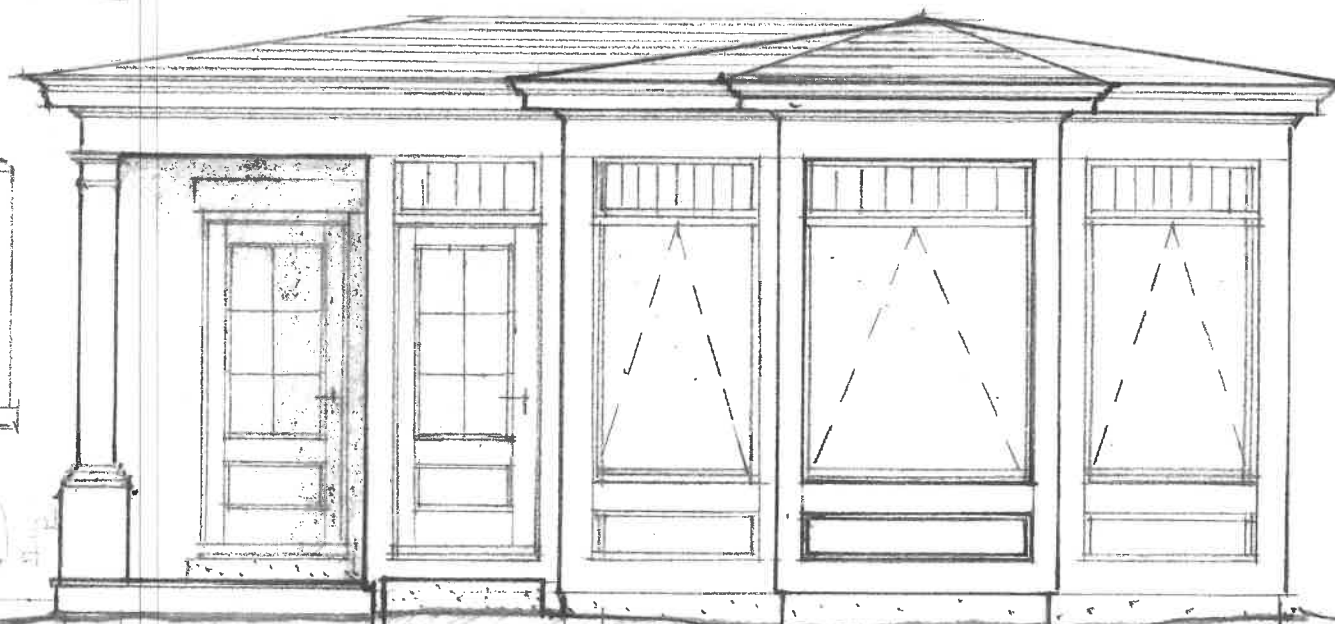
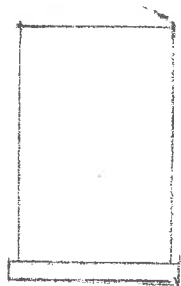
05.23.20



EXISTING GARDEN ELEVATION - 1/8"=1'-0"

11

05.25.20

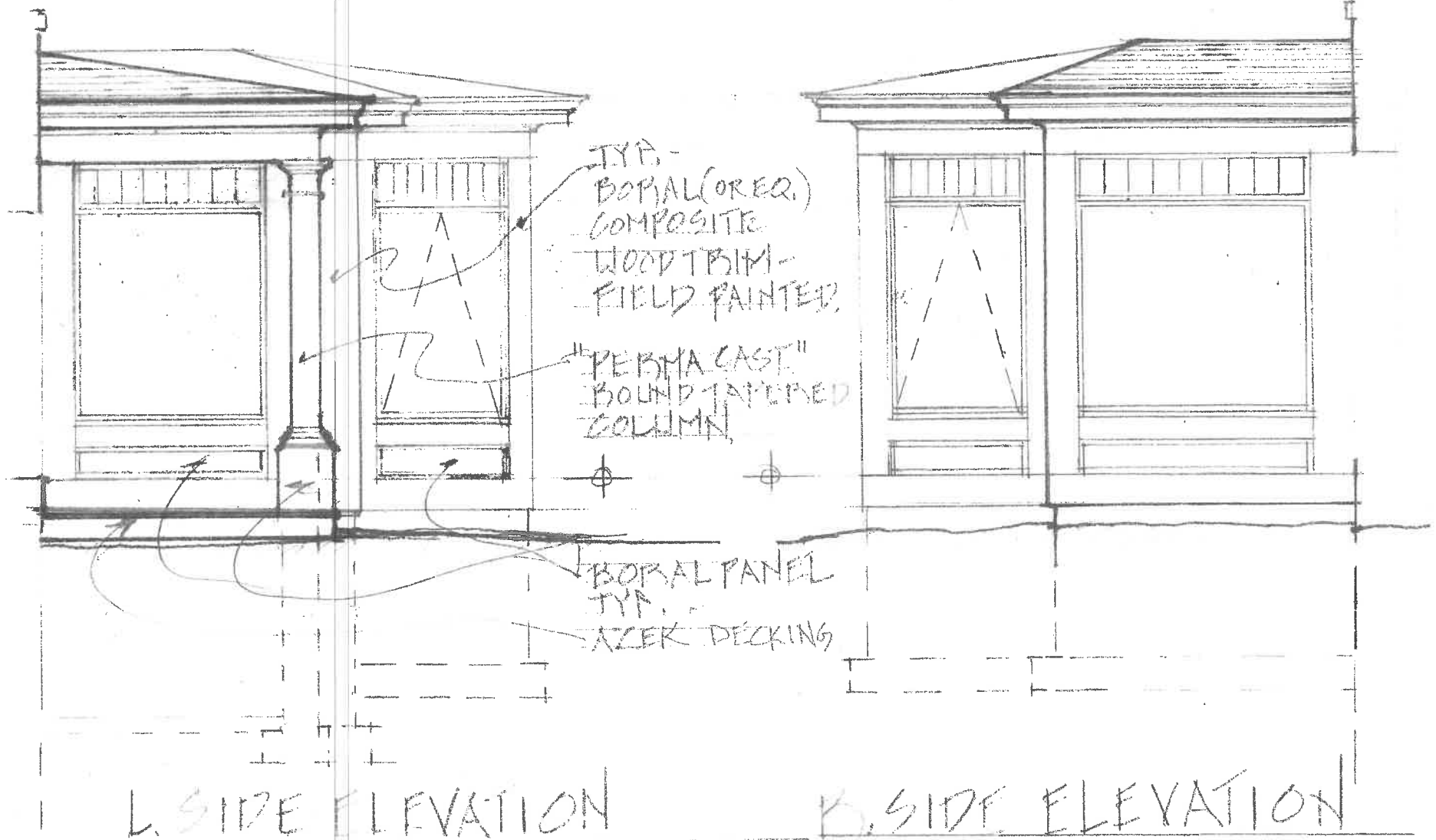


GARDEN ELEVATION

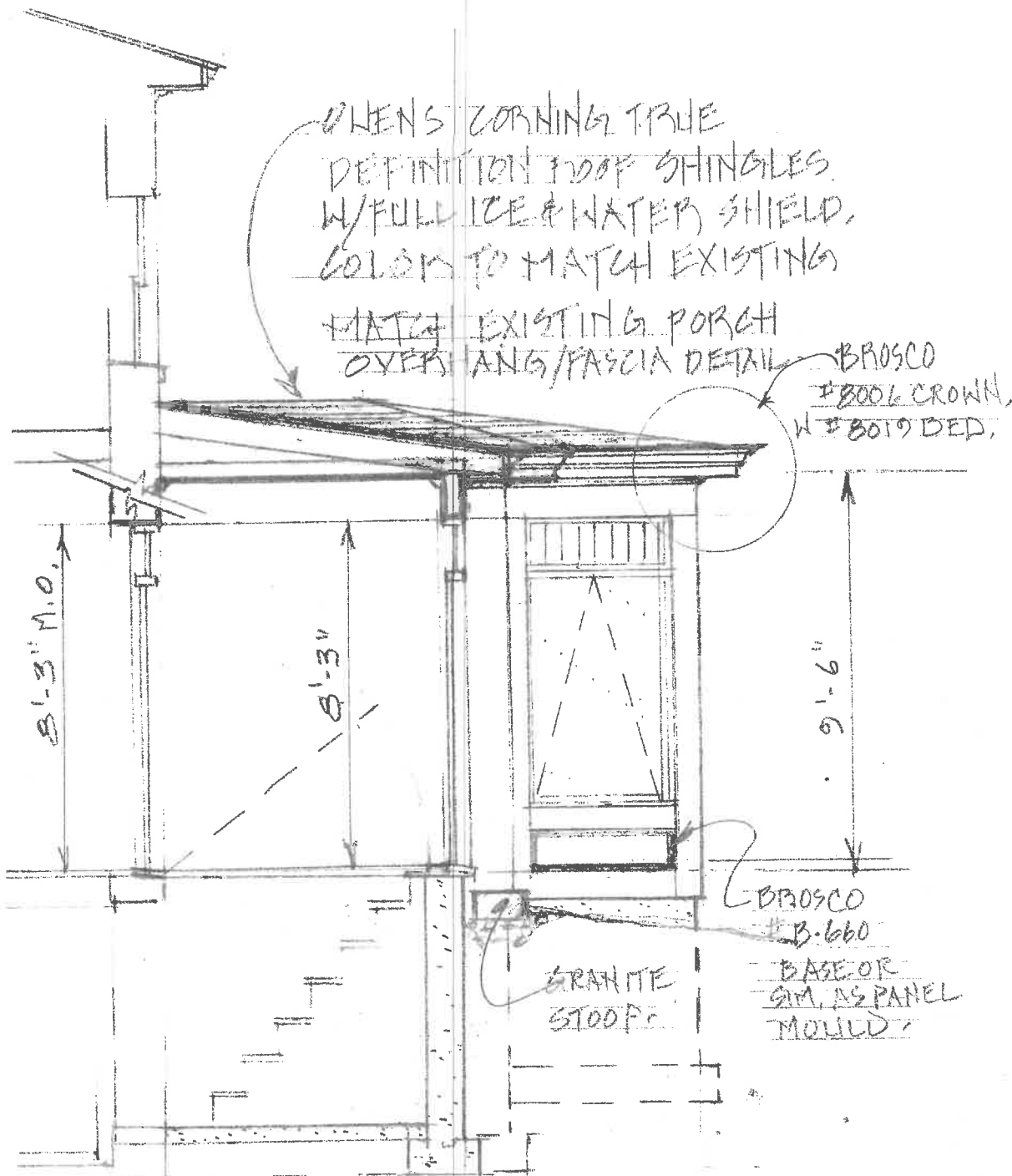
$\frac{1}{4}'' = 1'-0''$

12

05.23.20

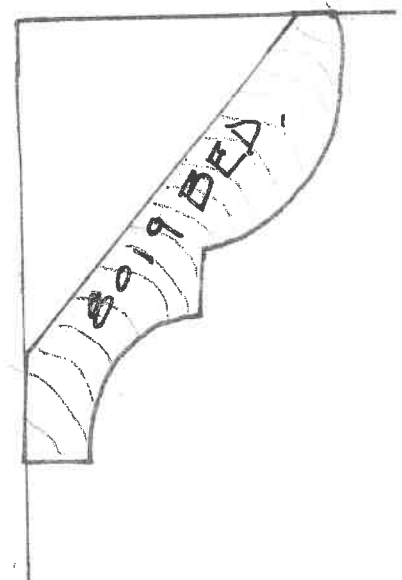
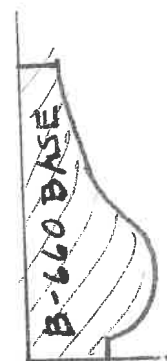
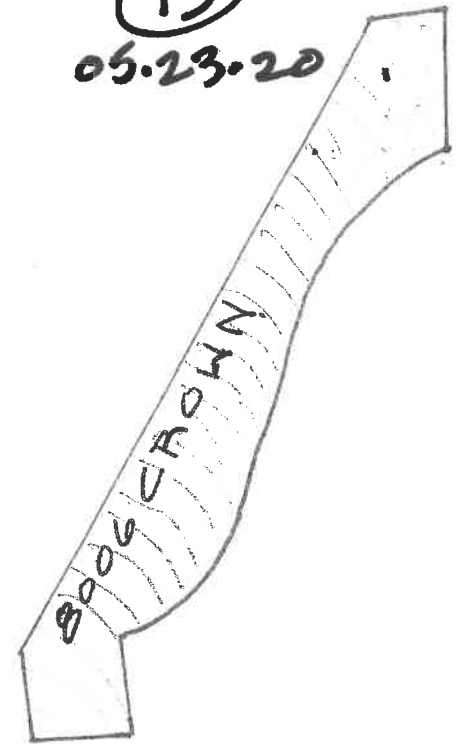


13
05.23.20



SECTION THRU BULKHEAD

1/4" = 1'-0"



Round Tapered **PERMA**Cast® Columns

COL. SIZE	A	B	C	D	E	F	G	J	K	L	O	N	R	T	LENGTHS AVAIL. (ft.)
6"	5 1/4"	4 3/4"	9"	1 1/4"	1 1/4"	3/8"	3/4"	1 1/4"	1 3/8"	8"	1"	6 1/4"	3 3/8"	4 1/2"	4, 6, 8
8"	7 1/4"	6 3/4"	10 1/4"	1 3/4"	1 3/4"	3/4"	1 1/2"	1 1/4"	1 1/2"	9 1/4"	1 1/2"	2 1/4"	4 1/4"	4 1/4"	5, 6, 8, 10, 12
10"	9 1/4"	8 3/4"	13 1/4"	2 1/4"	2 1/4"	3/4"	1 3/4"	1 1/4"	1 3/4"	11 1/4"	1 3/4"	2 3/4"	5 1/4"	5"	6, 8, 10, 12, 14, 16, 18
12"	11 1/4"	9 3/4"	16 1/4"	2 3/4"	2 3/4"	7/8"	1 3/4"	1 3/4"	2 1/4"	13 1/4"	3/4"	2 3/4"	6 1/4"	5 3/4"	8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30
14"	13 1/4"	11 3/4"	19 1/4"	3 3/4"	3 3/4"	1 1/8"	1"	2"	2 3/4"	17"	7/8"	2 3/4"	7 1/4"	7"	10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30
16"	15 1/4"	13 3/4"	22"	3 3/4"	3 3/4"	1 1/8"	1 1/4"	2 1/4"	2 3/4"	19 1/4"	1"	3"	8 3/4"	8"	12, 14, 16, 18, 20, 22, 24, 26, 28, 30
18"	17 1/4"	15 3/4"	24 1/4"	4"	4"	1 1/8"	1 1/4"	2 3/4"	3"	22 1/4"	1 1/4"	10 3/4"	9 1/4"	8 3/4"	14, 16, 18, 20, 22, 24, 26, 28, 30
20"	19 1/4"	17 3/4"	27"	4 3/4"	4 3/4"	2"	1 1/4"	2 3/4"	3 3/4"	24 1/4"	1 1/2"	10 3/4"	11 1/4"	9"	16, 18, 20, 22, 24, 26, 28, 30
22"	21 1/4"	19 3/4"	30 1/4"	5"	5"	2"	1 1/4"	3"	3 3/4"	27 1/4"	1 1/2"	10 3/4"	12"	10 3/4"	18, 20, 22, 24, 26, 28, 30
24"	23 1/4"	21 3/4"	33 1/4"	6"	5 3/4"	2 1/4"	2"	3 1/4"	4"	30 1/4"	1 1/2"	10 3/4"	13 1/4"	11 1/4"	20, 22, 24, 26, 28, 30
28"	28"	24 1/4"	38"	6 3/4"	6 1/4"	2 3/4"	2 1/4"	3 3/4"	4 3/4"	33 1/4"	1 3/4"	10 3/4"	15 1/4"	11 3/4"	20, 22, 24, 26, 28, 30
30"	29 1/4"	26 1/4"	41 1/4"	6 3/4"	5 3/4"	2 3/4"	3"	4"	4 3/4"	38 1/4"	1 3/4"	10 3/4"	14 3/4"	14 1/4"	20, 22, 24, 26, 28, 30

*There may be a variance of up to 1/4" in all dimensions. Fluted columns available in all diameters. See page 16 for Parallel dimensions. See page 18 for Decorative Capital dimensions. □ Standard Fluted Column (Fluted in mold)

• Split columns are not load bearing.

COLUMN-LOC®

Column-Loc® creates a continuous connection from floor to beam/header without the expense of splitting and reattaching the column. This labor saving product is easy to install and delivers wind uplift resistance especially important in coastal and high wind areas. Currently available for 8" and 10" round (tapered and no-taper) and square PermaCast® columns. Kits are available with and without threaded rod in lengths up to 12'.



PLUMB-FIT®

To make installation even easier our 6"-12" round and square poly Tuscan Cap and Base Sets with flashing cap come with the Plumb-Fit® patented (Patent 9689674) installation system included.

ROUND PERMACAST® PORCH INSTALLATION BRACKET

The HB&G Porch Installation Bracket includes the bracket and all required hardware. The bracket fits 20" - 30" Plain Round PermaCast® Columns and will secure a 2nd story porch to our PermaCast® Columns. Three brackets are required for each column.



ROUND PERMACAST® INSIDE DIMENSIONS

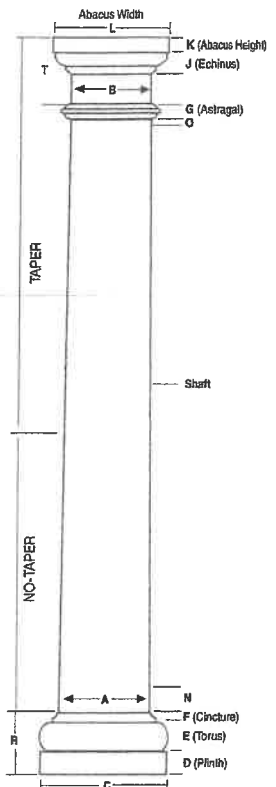
Inside dimension may vary up to 1/8". Splitting a column will decrease inside dimension 1/8".



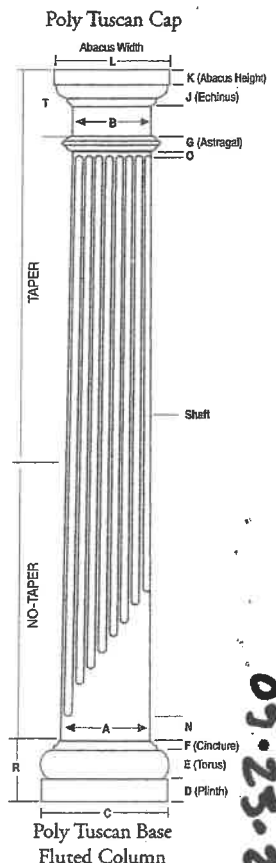
COLUMN SIZE	TOP I.D.	BOT I.D.
6"	3 3/8"	4 1/8"
8"	5 1/8"	6 1/8"
10"	7 1/8"	8 1/8"
12"	8 3/8"	10 3/8"
14"	10 1/8"	12 1/8"
16"	12 1/8"	14 1/8"
18"	14 1/8"	16 1/8"
20"	16 1/8"	18 1/8"
22"	18 3/8"	20 3/8"
24"	20 1/8"	22 1/8"
28"	22 3/8"	24 3/8"
30"	25 1/8"	27 1/8"

*Plain columns only

Poly Tuscan Cap

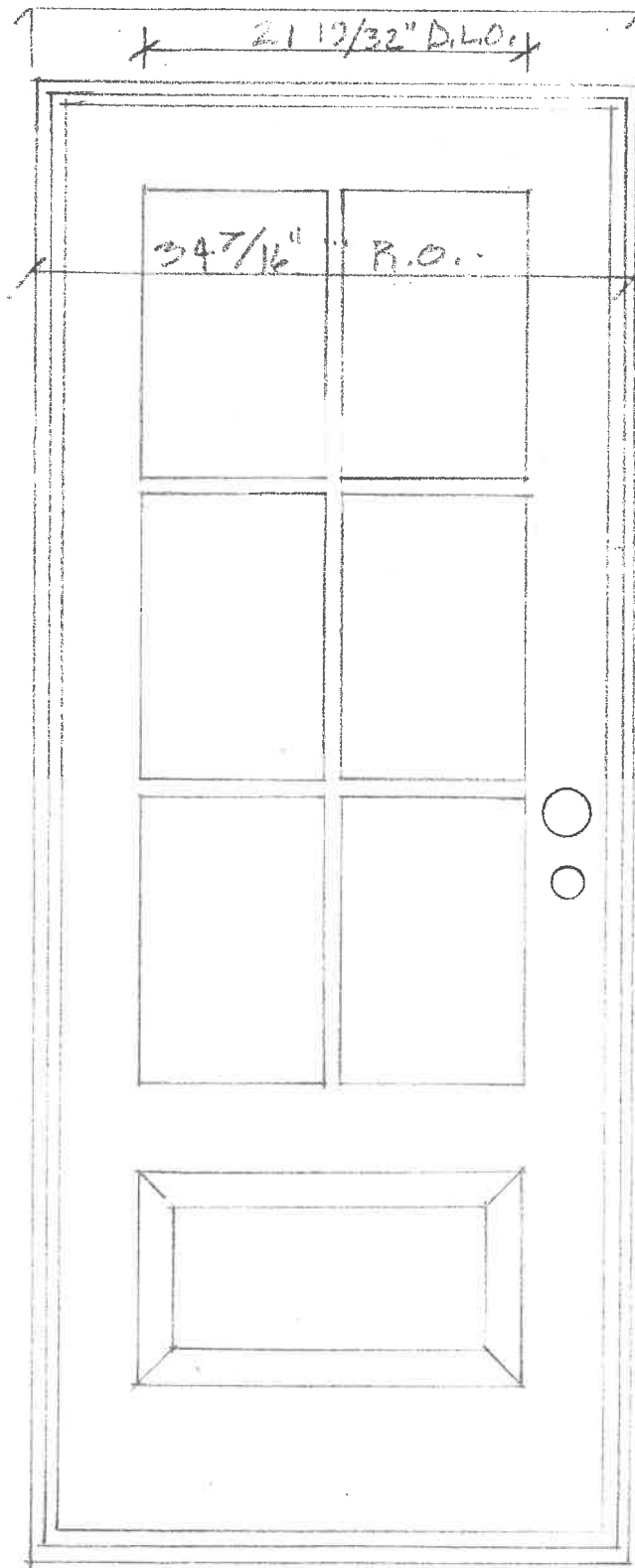


Poly Tuscan Base Plain Column



Poly Tuscan Base Fluted Column

05.25.20
14



THERMA-TRU FIBER GLASS - S.D.L. W/ G.B.S.

LEAD GLASS - SIMULATED DIVIDED LIGHTS W/ BRONZE
GRILLES BETWEEN GLASS CONTAINING MULTIPLE BARS

15

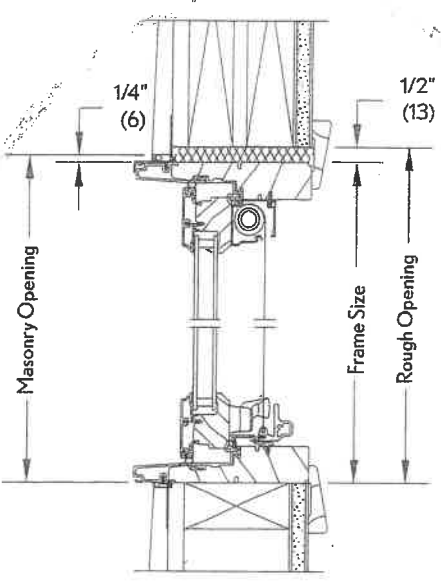
05-23-2

16
05:23:2

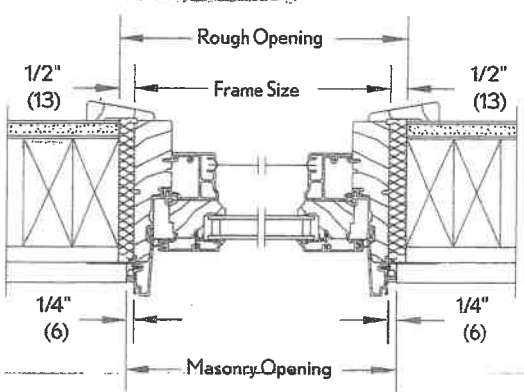
Marvin

CLAD ULTIMATE PUSH OUT AWNING

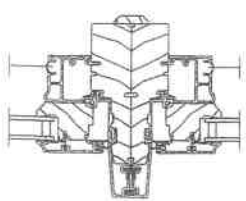
CONSTRUCTION DETAILS



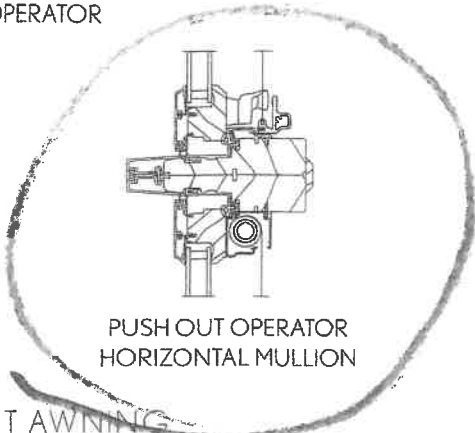
PUSH OUT
HEAD JAMB AND SILL - OPERATOR



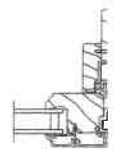
PUSH OUT
JAMB - OPERATOR



PUSH OUT OPERATOR
VERTICAL MULLION



PUSH OUT OPERATOR
HORIZONTAL MULLION



PUSH OU
VERTIC

CLAD ULTIMATE AWNING/PUSH OUT AWNING

Max. Ops. (mm)	1-4 1/2 (419)	1-6 1/2 (469)	1-8 1/2 (520)	2-1 1/2 (622)	2-2 1/2 (673)	2-4 1/2 (723)	2-6 1/2 (774)	2-8 1/2 (825)	3-1 1/2 (876)	3-4 1/2 (928)
Rough Opn. (mm)	1-5 (431)	1-7 (482)	1-9 (533)	2-1 (635)	2-3 (688)	2-5 (736)	2-7 (787)	2-9 (838)	3-1 (890)	3-5 (1041)
Frame Size (mm)	1-4 (406)	1-6 (457)	1-8 (508)	2-0 (609)	2-2 (660)	2-4 (711)	2-6 (762)	2-8 (812)	3-0 (914)	3-4 (1016)
Glass Size (mm)	11 9/32 (287)	13 9/32 (337)	15 9/32 (388)	19 9/32 (490)	21 9/32 (541)	23 9/32 (591)	25 9/32 (642)	27 9/32 (693)	31 9/32 (795)	35 9/32 (896)
	CUPAWN1614	CUPAWN1614	CUPAWN2014	CUPAWN2414	CUPAWN2614	CUPAWN2814	CUPAWN3014	CUPAWN3214	CUPAWN3614	CUPAWN4014
	CUPAWN1614	CUPAWN1614	CUPAWN2014	CUPAWN2414	CUPAWN2614	CUPAWN2814	CUPAWN3014	CUPAWN3214	CUPAWN3614	CUPAWN4014
	CUPAWN1616	CUPAWN1616	CUPAWN2016	CUPAWN2416	CUPAWN2616	CUPAWN2816	CUPAWN3016	CUPAWN3216	CUPAWN3616	CUPAWN4016
	CUPAWN1616	CUPAWN1616	CUPAWN2016	CUPAWN2416	CUPAWN2616	CUPAWN2816	CUPAWN3016	CUPAWN3216	CUPAWN3616	CUPAWN4016

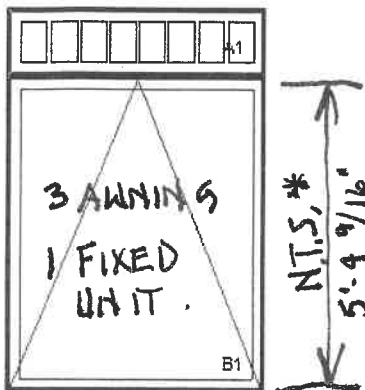
W/5LT.

BAY & COVERED PORCH.

Maher, Sky
awnings

Quote Number: GMFJTYH

MARVIN



As Viewed From The Exterior

Entered As: Size by Units
RO 61" X ~~86 3/4"~~
Egress Information A1, B1
No Egress Information available.

B1-AWNINGS
WAWN 7264T
6064T.

* REPRESENTATIONAL
DIAGRAM-UNIT
MODIFIED LENGTH &
OPERATIONS TO
1 FIXED UNIT.

1W2H - Rectangle Assembly
Assembly Rough Opening
61" X 86 3/4"

Unit: A1
Ultimate Awning - Stationary
CN 6016
Rough Opening 61" X 15 5/8"
Frame Size 60" X 15 1/8"
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG - 3/4"
Low E2
Capillary Tube
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 8W1H
Stone White Clad Ext - Painted Interior Finish - White - Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Solid Wood Covers

Unit: B1
Ultimate Awning - Roto Operating
CN 6072
Rough Opening 61" X ~~71 5/8"~~
Frame Size 60" X ~~71 1/8"~~
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG - 1 in - 1 Lite
Tempered Low E2 w/Argon
Stainless Perimeter Bar
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Matte Black Folding Handle
Matte Black Multi - Point Lock
Aluminum Screen
White Surround
Charcoal Hi-Transparency Fbrgls Mesh
Standard Mull Charge
6 9/16" Jambs
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Capillary tubes will be added to ALL Low E glass types without Argon.
***Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit:			
Qty: 1				

MARVIN

Stone White Clad Exterior
Painted Interior Finish - White - Pine Interior
Ultimate Inswing French Door 4 9/16" - X Left Hand
CN 2868
Rough Opening 34 7/16" X 82 1/2"
Traditional Panels
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG
Tempered Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W3H
Stone White Clad Ext - Painted Interior Finish - White - Pine Int
Ogee Interior Glazing Profile
Stamped Raised Panel Visible Panel Height 12 1/64"

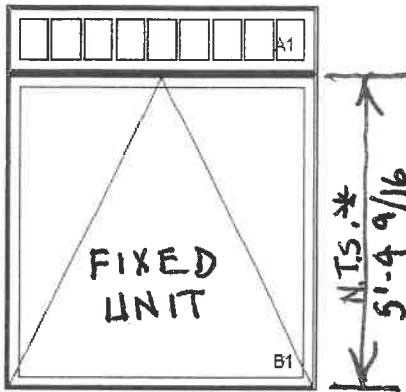
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LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #3	Mark Unit: 663/4 mullid unit			
Qty: 1				

MARVIN



As Viewed From The Exterior

Entered As: Size by Units
RO 73" X ~~66 3/4~~"
Egress Information A1, B1
No Egress Information available.

FIXED UNIT
7264T.

*REPRESENTATIONAL
DIAGRAM - B1 UNIT
MODIFIED LENGTH, &
OPERATION TO FIXED.

Stone White Clad Exterior
Painted Interior Finish - White - Pine Interior
1W2H - Rectangle Assembly
Assembly Rough Opening
73" X ~~66 3/4~~"

Unit: A1
Ultimate Awning - Stationary
CN 7216
Rough Opening 73" X 15 5/8"
Frame Size 72" X 15 1/8"
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG - 3/4"
Low E2
Capillary Tube
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 9W1H
Stone White Clad Ext - Painted Interior Finish - White - Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Solid Wood Covers

Unit: B1
Ultimate Awning - Roto Operating
CN 7272
Rough Opening 73" X ~~71 5/8~~" 5'-4 9/16"
Frame Size 72" X 71 1/8"
Stone White Clad Sash Exterior
Painted Interior Finish - White - Pine Sash Interior
IG - 1 in - 1 Lite
Tempered Low E2 w/Argon
Stainless Perimeter Bar
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Matte Black Folding Handle
Matte Black Multi - Point Lock
Aluminum Screen
White Surround
Charcoal Hi-Transparency Fbrgls Mesh

Standard Mull Charge
6 9/16" Jambs
AL Nailing Fin
***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
***Note: Capillary tubes will be added to ALL Low E glass types without Argon.
***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: 5-18 mullid unit			
Qty: 4				

Stone White Clad Exterior
Painted Interior Finish - White - Pine Interior

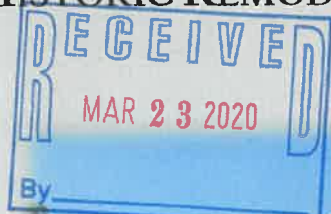
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18



GREEN MOUNTAIN
WINDOW & DOOR
COMPANY

News

HISTORIC REMODEL, HISTORIC REGISTRY & LANDMARK PROPERTY WINDOW REPLACEMENT



GREEN MOUNTAIN WINDOW SPECIALIZES IN WINDOW REPLACEMENT SOLUTIONS FOR THE NORTHEAST'S HISTORIC BUILDINGS. OUR WINDOWS ARE DESIGNED TO BLEND THE DETAILS AND PATTERNS ONCE USED BY LOCAL CRAFTSMAN IN NEW ENGLAND'S SASH MILLS WITH THE LATEST ENERGY PERFORMANCE TECHNOLOGY.



FOUR DIFFERENT REPLACEMENT SYSTEMS:

- FULL FRAME WINDOW
- INSERT "BOX" WINDOW
- SASH & TRACK BALANCE KIT
- SASH & CONCEALED BALANCE KIT



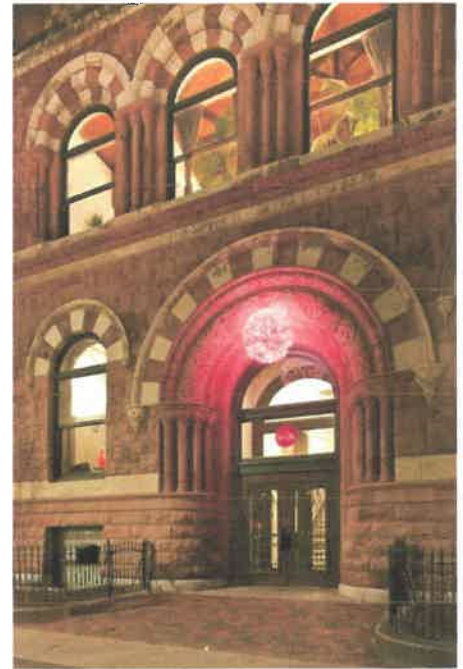
We offer four different systems to replicate historic window details:



1. Complete full frame window applications: With minor modifications to our standard window we can match the sash, frame and daylight opening sightlines of existing historic windows. Often with this approach the existing historic exterior window trim can be reused on our window; or we can mill new trim to match existing. With the window to the left we only needed to modify our sill and bottom sash rail to match the original historic windows. If the historic window frames are not in a re-usable condition this may be the only replacement option.

2. Sash and concealed balance applications:

With this system we make new energy efficient sash that mimic the sightlines of the original sash. We install a cartridge block and tackle balance in the side edge of the sash that remains completely hidden. We also supply a concealed weather-strip system that encapsulates the sliding sash. The appearance will be virtually identical to the original window however the existing window frames need to be in good condition and relatively square for proper performance. This system was used in the historic library shown to the right.



3. Sash and jamb liner track applications:

With this system we make new energy efficient sash that mimic the sightlines of the original sash. And we supply a vinyl jamb liner / sash balance system that gets applied to the existing window frame. Typically the daylight openings and sash sightlines will match the original windows but the vinyl track applied to the old frame may stand out as a modern addition. The existing window frames need to be in good condition and relatively square for proper performance. Arch tops and angled tops are available as used in the Portland Maine apartment complex on the left.



4. Insert or "box" window applications: With this approach we manufacture a complete window with a 3 3/8" deep frame to fit inside of the existing window frame. While we can match the look of a historic window with this system some of the original daylight opening will be lost due to the frame. However, with our insert window you will lose less daylight than with any other manufacturers unit. One benefit of this approach is that if the existing window frame is out of square the operation and performance of the new window is not affected. This system was used in a Realtors office in Virginia shown on the right.



Existing windows



Existing
Windows



Existing window



Existing
windows

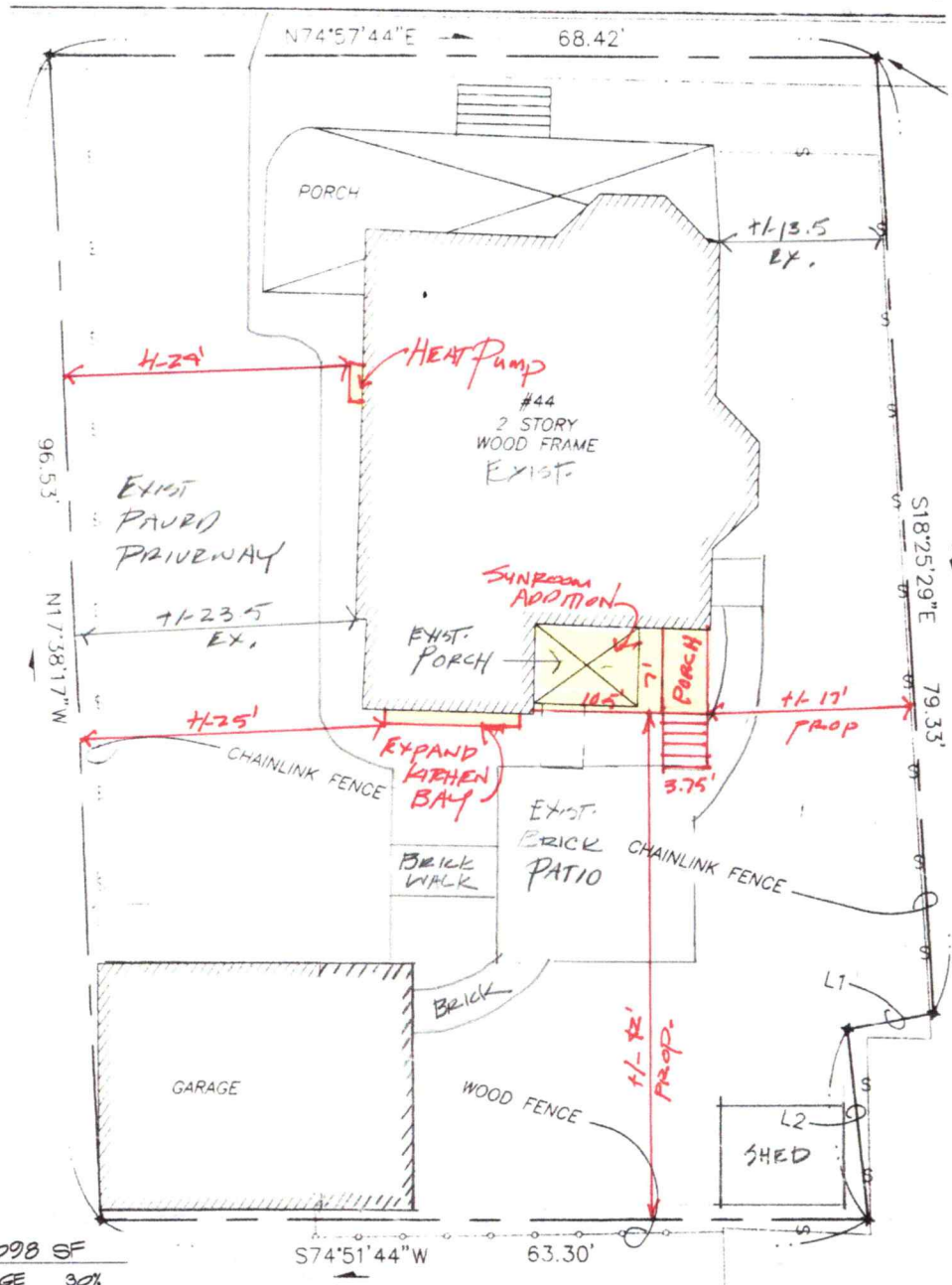


Existing window



GARDNER

STREET



LOT AREA 6098 SF

ALLOWABLE LOT COVERAGE 30%

EXISTING LOT COVERAGE

RESIDENCE	1121 SF
FRONT PORCH	306 SF
REAR PORCH	60 SF
KITCHEN BAY	8 SF
STEPS OVER 18"	35 SF
GARAGE	533 SF
SHED	80 SF

2137 SF (35.0%)

PROPOSED LOT COVERAGE

EX. RESIDENCE	1121 SF
EX. FRONT PORCH	306 SF
EX. FRONT STEPS OVER 18"	35 SF
EX. GARAGE	533 SF
EX. SHED	80 SF
EXPANDED KITCHEN BAY	13 SF
SUNROOM TO REPLACE PORCH	74 SF
NEW REAR PORCH	26 SF
NEW LANDING & STEPS OVER 18"	28 SF

2207 SF (36.0%)



PROPOSED LOT PLAN

SCALE: 1" = 10'-0"

MAP 103 LOT 42

GENERAL RESIDENCE A (GRA)



8 Shattuck Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT
MES RESIDENCE

44 GARDNER ST, PORTSMOUTH, NH

Project: 1906

Date: 2/21/20



STAR WINDOW & HEATPUMP LOCATION



HEAT PUMP ENCLOSURE OR EQUAL

W I N D O W S C H E D U L E

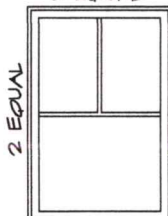
SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
A D D I T I O N					
A	UDHG2 2826	2/1	2' 10 1/4" X 5' 0"	MARVIN INC., CLAD DOUBLEHUNG NG, 7/8" SDL w/ Low E Glazing, Cladding - "Stone White" Hardware to be chosen by Owner. Full Screen, New 2x6 Wall	6
B	UDHG2 1626	1/1	1' 10 1/4" X 5' 0"	DITTO, Picture Unit	1
C	UDHG2 Match Exist.	2/1	Match Existing	DITTO, In Existing Wall	1
D	UCA 3248	type 1	2' 9" x 3' 11 5/8"	MARVIN INC., ULTIMATE CLAD CASEMENT, 7/8" SDL w/ Low E Glazing, Cladding - "Stone White" Hardware to be chosen by Owner. Full Screen, New 2x6 Wall	3

E X T E R I O R D O O R S C H E D U L E













SYM.	UNIT/SIZE	LITES	ROUGH OPNG.	REMARKS	QUAN.
I	UIFD 2868	6	2' 10 7/16" x 6' 10 1/2"	MARVIN INC., CLAD INSWING FRENCH DOOR, 7/8" sdl w/ Low E Glazing, Cladding - Stone White, Hardware to be chosen by Owner.	1

W I N D O W - E X T. D O O R N O T E S



















- SUBMIT FINAL WINDOW/DOOR ORDER & SHOP DRAWINGS
TO ARCHITECT FOR APPROVAL BEFORE ORDERING
- TYPE I, 7/8" SDLs 2 EQUAL



DOUBLE HUNG G2

MO (mm)	1'9 3/4 (552)	2-1 3/4 (654)	2-5 3/4 (756)	2-7 3/4 (806)	2-9 3/4 (857)	2-11 3/4 (908)
RO (mm)	1-10 1/4 (565)	2-2 1/4 (667)	2-6 1/4 (768)	2-8 1/4 (819)	2-10 1/4 (870)	3-0 1/4 (921)
FS (mm)	1-9 1/4 (540)	2-1 1/4 (641)	2-5 1/4 (743)	2-7 1/4 (794)	2-9 1/4 (845)	2-11 1/4 (895)
DLO (mm)	14 47/64 (347)	18 47/64 (476)	22 47/64 (577)	24 47/64 (628)	26 47/64 (679)	28 47/64 (730)
2-7 3/4 (806) 2-8 (813) 2-7 1/2 (800) 10 3/4 (273)						
	UDHG2 1612	UDHG2 2012	UDHG2 2412	UDHG2 2612	UDHG2 2812	UDHG2 3012
4-11 3/4 (1518) 5-0 (1524) 4-11 1/2 (1511) 24 3/4 (629)						
	UDHG2 1626	UDHG2 2026	UDHG2 2426	UDHG2 2626	UDHG2 2826	UDHG2 3026




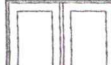


CASEMENT / CASEMENT PUSH OUT

MO (mm)	1 - 4 1/2 (419)	1 - 6 1/2 (469)	1 - 8 1/2 (520)	2 - 1/2 (622)	2 - 2 1/2 (673)	2 - 4 1/2 (723)	2 - 6 1/2 (774)	2 - 8 1/2 (825)	3 - 1/2 (921)
RO (mm)	1 - 5 (431)	1 - 7 (482)	1 - 9 (533)	2 - 1 (635)	2 - 3 (685)	2 - 5 (736)	2 - 7 (787)	2 - 9 (838)	3 - 1 (939)
FS (mm)	1 - 4 (406)	1 - 6 (457)	1 - 8 (508)	2 - 0 (609)	2 - 2 (660)	2 - 4 (711)	2 - 6 (762)	2 - 8 (812)	3 - 0 (913)
DLO (mm)	0 - 10 13/64 (259)	1 - 0 13/64 (310)	1 - 2 13/64 (361)	1 - 6 13/64 (462)	1 - 8 13/64 (513)	1 - 10 13/64 (564)	2 - 0 13/64 (615)	2 - 2 13/64 (666)	2 - 6 13/64 (717)
3 - 7 3/8 (1101) 3 - 7 5/8 (1108) 3 - 7 1/8 (1095) 3 - 1 21/64 (948)									
	UCA1644	UCA1844	UCA2044	UCA2444	UCA2644	UCA2844	UCA3044 E	UCA3244 E	UCA364
3 - 11 3/8 (1203) 3 - 11 5/8 (1209) 3 - 11 1/8 (1196) 3 - 5 21/64 (1050)									
	UCA1648	UCA1848	UCA2048	UCA2448	UCA2648	UCA2848 E	UCA3048 E	UCA3248 E	UCA3648





MARVIN SIGNATURE™ COLLECTION | ULTIMATE

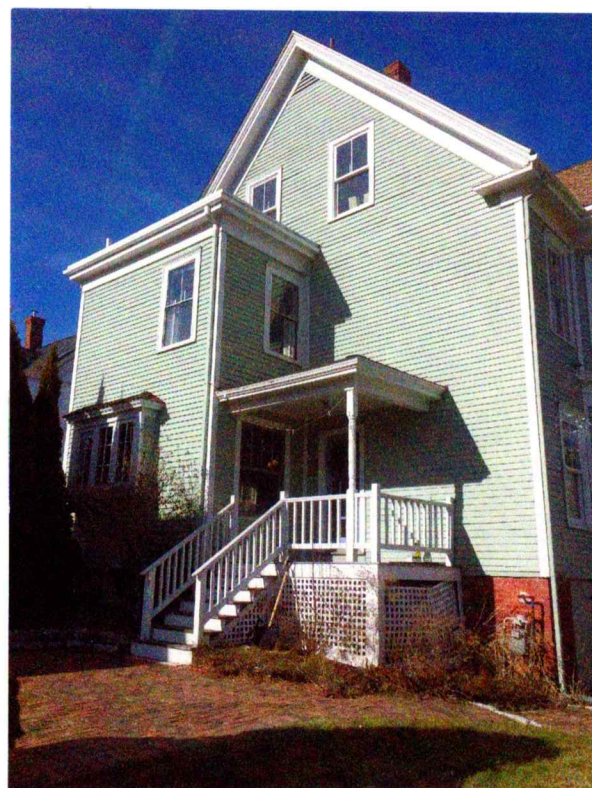
1 3/4" INSWING / OUTSWING FRENCH DOOR

6-6R HEIGHT

Clad MO (mm)	1-8 11/32 (517)	2-7 1/8 (791)	3-1 1/8 (943)	4-11 1/2 (1511)	5-11 1/2 (1816)	8-9
Wood MO (mm)	1-10 31/32 (583)	2-9 3/4 (857)	3-3 3/4 (1010)	5-2 1/8 (1578)	6-2 1/8 (1883)	9-0
RO (mm)	1-8 27/32 (529)	2-7 5/8 (803)	3-1 5/8 (956)	5-0 (1524)	6-0 (1829)	8-10
FS (mm)	1-7 27/32 (504)	2-6 5/8 (778)	3-0 5/8 (930)	4-11 (1499)	5-11 (1803)	8-9
DLO (mm)	0-11 1/2 (292)	1-6 25/32 (477)	2-0 25/32 (629)	1-6 25/32 (477)	2-0 25/32 (629)	2-0
6-7 3/4 (2026) 6-9 1/16 (2058) 6-8 (2032) 6-7 1/2 (2019) 5-3 5/8 (1616)						
	1666R	2666R	3066R	5066R	6066R	8066R

6-8 HEIGHT (7-0, 8-0 AND 9-0 HEIGHTS SEE BELOW)

Clad MO (mm)	1-8 11/32 (517)	2-1 15/16 (659)	2-7 15/16 (811)	2-9 15/16 (862)
Wood MO (mm)	1-10 31/32 (583)	2-4 9/16 (726)	2-10 9/16 (878)	3-0 9/16 (929)
RO (mm)	1-8 27/32 (529)	2-2 7/16 (672)	2-8 7/16 (824)	2-10 7/16 (875)
FS (mm)	1-7 27/32 (504)	2-1 7/16 (646)	2-7 7/16 (799)	2-9 7/16 (849)
DLO (mm)	0-11 1/2 (292)	11-1 19/32 (345)	1-7 19/32 (498)	1-9 19/32 (548)
6-10 1/4 (2089) 6-11 9/16 (2122) 6-10 1/2 (2096) 6-10 (2083) 5-6 5/8 (1680)				
	1668	2068	2668	2868
	1670	2070	2670	2870
	1680	2080	2680	2880



EXISTING REAR ELEVATION



VIEWS FROM HUNKING



& MECHANIC STREET



REAR ELEVATION
SCALE: 3/16" = 1'-0"

LEFT SIDE ELEVATION AT SUNROOM
SCALE: 3/16" = 1'-0"



SCHEMATIC DESIGN

RENOVATIONS, IVES RESIDENCE

44 GARDNER STREET

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

PORTSMOUTH, NH

Project: #1906
Revisions: 3/12/20

Date: 2/18/20

132-134 Middle St HDC Submission

June 2020 Worksession



Table of Contents

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HDC.13	Existing Roof Materials - Elevation
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HDC.15	Proposed Roof Option #2 (Faux Slate)
HDC.16	Windows
HDC.17	Building Electrical Service

COMMISSION'S COMMENTS FROM 3/11/2020 WORK SESSION:

SEE PAGE HDC.7 FOR ELEVATIONS WITH HDC COMMENTS

ROOF

1. Commission prefers the faux slate shingle option on front and asphalt shingle on rear portion of building.
2. Commission is open to an asphalt shingle with a fish scale pattern.
3. Commission requested a polychrome color pattern be used.
4. Commission recommends that the corner boards on the #132 gambrel roof be rebuilt. Corner boards should be installed on the #134 Gambrel roof to match the #132 side. The recommendation includes ornamental wood boxes and dormer corner boards on both gambrels.

RIGHT SIDE ENTRY (PHOTO A ON PAGE HDC.9)

5. A suggestion was made to make this area a “wood panel” or “window area” given the complexities associated with trying to re-build it and re-point and or match similar bricks.
6. If doing a brick in-fill, suggestion was to have it inset by about 1” and not to “weave” it in.

LEFT SIDE ENTRY (PHOTO B ON PAGE HDC.10)

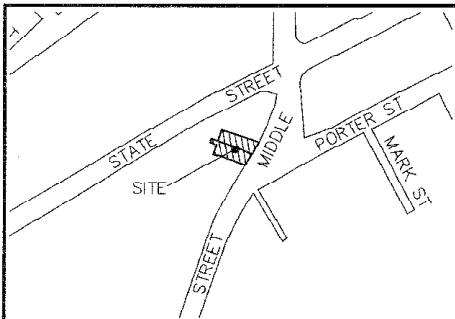
7. No suggestions here, other than to do as planned, which is to create a timber frame staircase/platform with matching trim and black handrails and extend the roof or replace it with timber posts

FRONT ENTRYWAY/STAIRCASE (PHOTO C ON PAGE HDC.11)

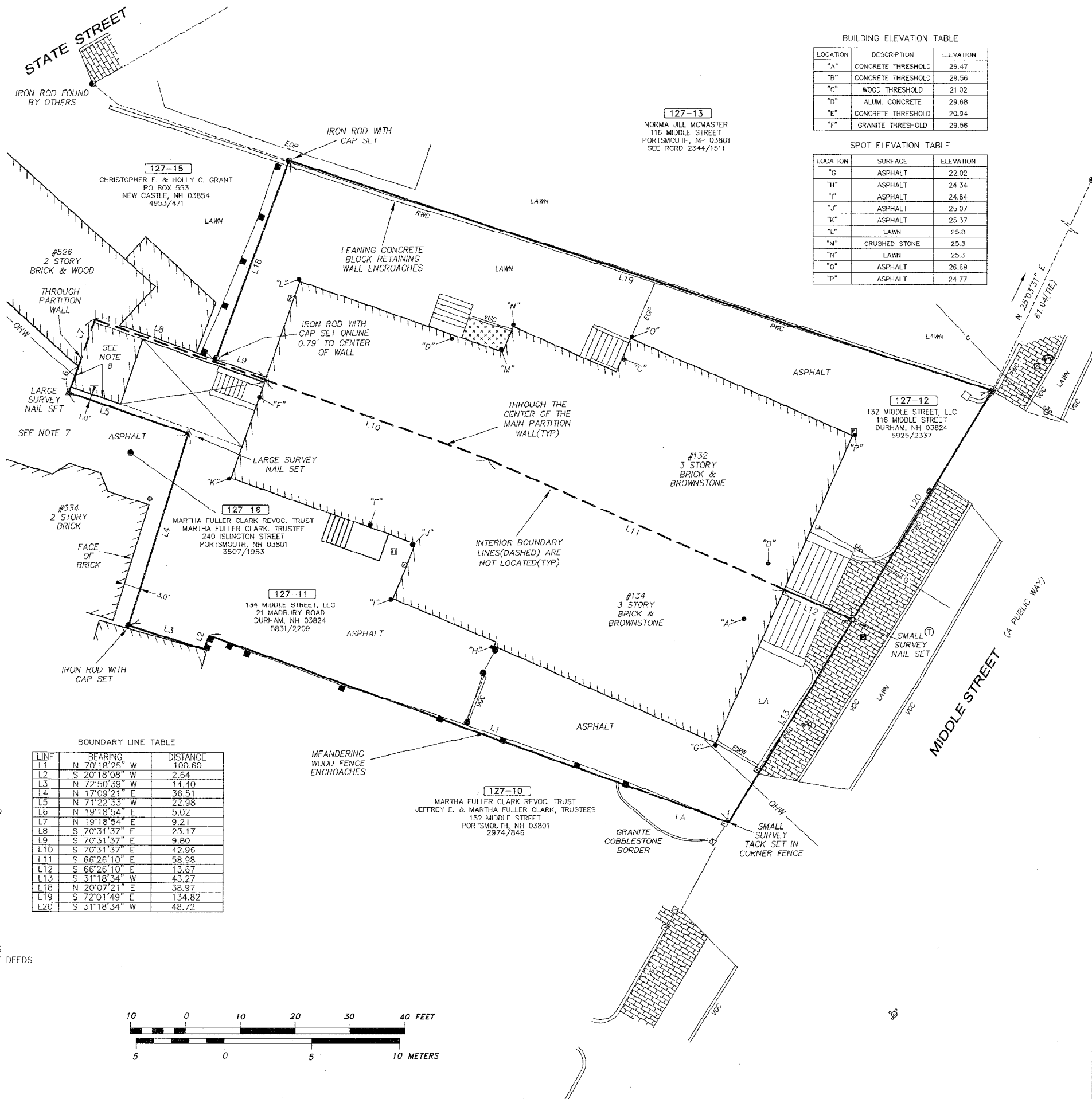
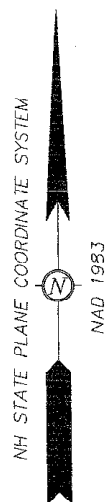
8. Commission wants doors to be restored rather than replaced, as they are a “character-defining” element of the building.
9. Paint the doors black.
10. Replace newer railing sections with something of the same time period (similar to what is shown in the photographs adjacent to the sidewalk).
11. Commission adamantly opposed granite steps and prefers the use of a Brownstone like newer material similar to what has been used in Boston re-build and repair Brownstone staircases.
12. A suggestion was made to consider using a “pre-cast” Brownstone step.
13. Exterior brownstone repairs could be made using a color-matched Portland cement/sand mix.
14. A suggestion was made to find pictures of the building after it was built to see what the original features of the front steps and entryway were and to rebuild/restore them (i.e. at bottom of front entry “cheeks”, questions arose as to whether there were originally any decorative brownstone sculptures.

BRICK RE-POINTING

15. Use a non-white to blend in with aged grout.



LOCUS
(N.T.S.)



BUILDING ELEVATION TABLE		
LOCATION	DESCRIPTION	ELEVATION
"A"	CONCRETE THRESHOLD	29.47
"B"	CONCRETE THRESHOLD	29.56
"C"	WOOD THRESHOLD	21.02
"D"	ALUM. CONCRETE	29.68
"E"	CONCRETE THRESHOLD	20.94
"F"	GRANITE THRESHOLD	29.56

SPOT ELEVATION TABLE		
LOCATION	SURFACE	ELEVATION
"G"	ASPHALT	22.02
"H"	ASPHALT	24.34
"I"	ASPHALT	24.84
"J"	ASPHALT	25.07
"K"	ASPHALT	25.37
"L"	LAWN	25.0
"M"	CRUSHED STONE	25.3
"N"	LAWN	25.3
"O"	ASPHALT	26.69
"P"	ASPHALT	24.77

NOTES:

- OWNER OF RECORD.....132 MIDDLE STREET, LLC.
ADDRESS.....21 MADBURY ROAD, DURHAM, NH 03824
DEED REFERENCE.....5925/2337
TAX SHEET / LOT.....127-12
PARCEL AREA.....5,499 S.F., 0.13 ACRES
- OWNER OF RECORD.....134 MIDDLE STREET, LLC.
ADDRESS.....21 MADBURY ROAD, DURHAM, NH 03824
DEED REFERENCE.....5831/2209
TAX SHEET / LOT.....127-11
PARCEL AREA.....5,902 S.F., 0.14 ACRES
- ZONED.....CD4-L1 & HISTORIC DISTRICT
SEE CITY OF PORTSMOUTH ZONING ORDINANCE.
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ALBA".
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0259E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- "TOGETHER WITH A RIGHT OF WAY FOR ALL PURPOSES OVER, THROUGH, UPON AND ACROSS LAND OWNED NOW OR FORMERLY OF JOHN C. ROSS, JR. ET UX TO AND FROM STATE STREET AND THE WITHIN DESCRIBED PREMISES TO BE USED IN COMMON BY THE OWNERS OF THE CONVEYED PREMISES AND OWNERS OF THE PROPERTY OWNED NOW OR FORMERLY OF THE SAID JOHN C. ROSS, JR." SEE RCRD 5831/2209
- GRANITE FOUNDATION HELD IN THIS AREA. SEE RCRD PLAN 01876-1.

REFERENCE PLANS:

- PLAN OF LOT FOR H. SUSSMAN HEIRS, PORTSMOUTH, ROCKINGHAM COUNTY, NH DATED JUNE 1, 1942, UPDATED TO 11-23-42. RCRD PLAN #01253.
- PLAN OF LOT 534 STATE STREET, PORTSMOUTH, NH DATED MAY 1952, RCRD BK #1247, PG 374
- CONDOMINIUM SITE PLAN, MAP 127-LOT 14, HAYMARKET CONDOMINIUM FOR TYROCH REALTY MANAGEMENT, INC. 480 STATE STREET, PORTSMOUTH, N.H. DATED MARCH 2004, RCRD PLAN #D 31794
- EXISTING CONDITIONS PLAN, 116 MIDDLE STREET, PORTSMOUTH, NH, OWNED BY N. JILL MCMASTER DATED 3/15/19 BY NORTHEASTERLY SURVEYING, INC. NOT RECORDED.

PURSUANT TO RSA 676:18,III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

James Verra
JAMES VERRA

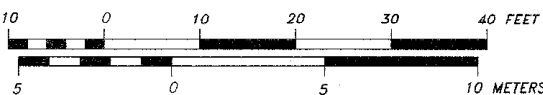
5-31-2019
DATE



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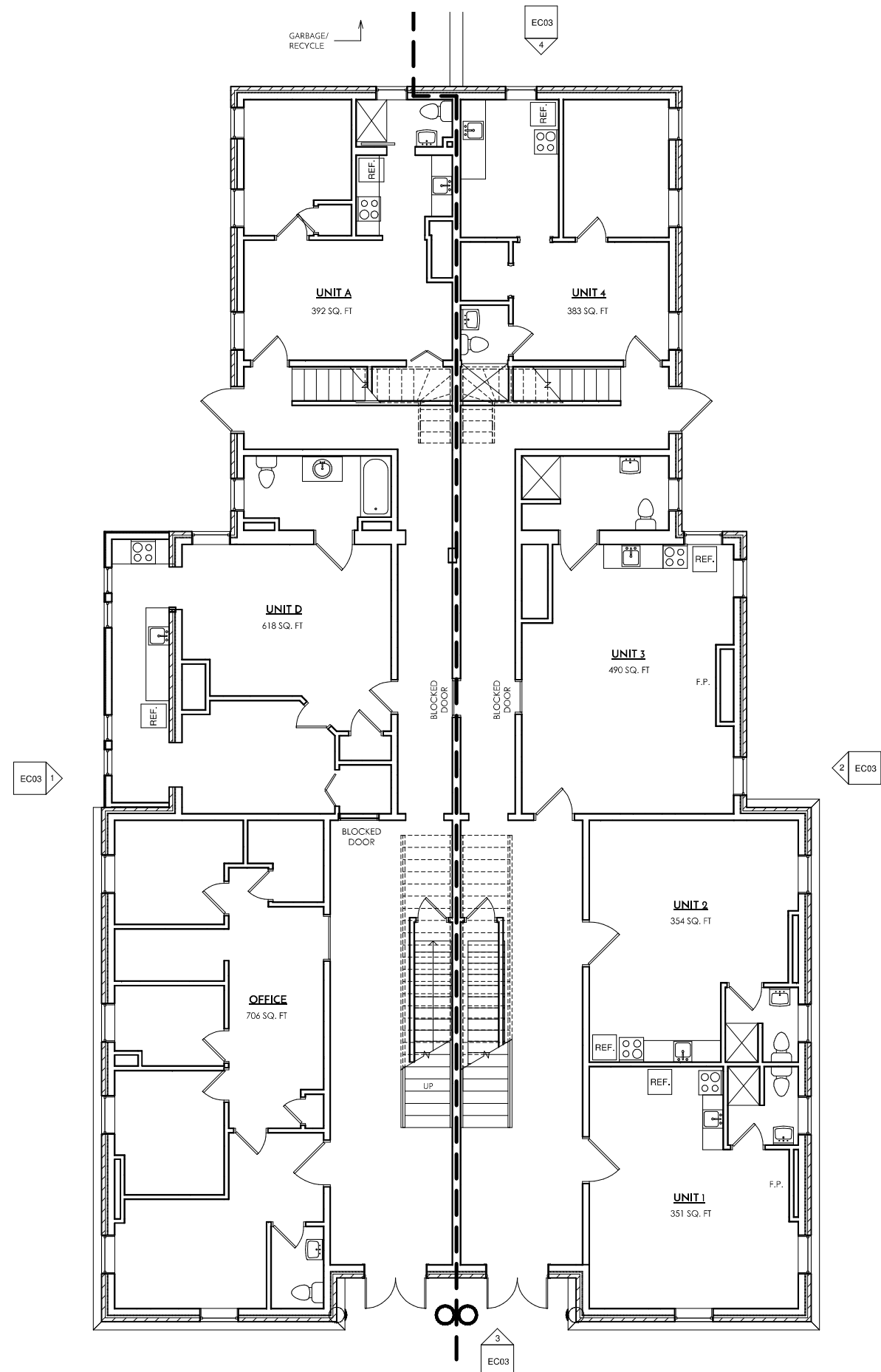
-DRILL HOLE FOUND, UNLESS NOTED
-IRON ROD (AS NOTED)
- △.....SURVEY NAIL (AS NOTED)
-METAL FENCE
-WOOD FENCE
-LARGE WOOD FENCE POSTS
-CEMENT CONCRETE PAD
-UTILITY POLE
- ⊗.....UTILITY POLE W/TRANSFORMER
-GUY
- OHW.....OVERHEAD WIRES
- OHE.....OVERHEAD ELECTRIC
- OHC.....OVERHEAD COMMUNICATION WIRES
- RCRD.....ROCKINGHAM COUNTY REGISTRY OF DEEDS
- 127-11.....TAX SHEET / LOT NO.
- EOP.....EDGE OF PAVEMENT
- LA.....LANDSCAPED AREA
- RWW.....WOOD RETAINING WALL
- VGC.....VERTICAL FACED GRANITE CURB
- RWG.....GRANITE RETAINING WALL
- RWC.....CONCRETE BLOCK RETAINING WALL
- ⊠.....LIGHT POLE CONNECTION BOX
- ⊠.....CRUSHED STONE
- ⊠.....GAS SHUT OFF
- ⊠.....ELECTRIC METER
- ⊠.....BOLLARD
- ⊠.....HYDRANT

BOUNDARY LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 70°18'25" W	100.60
L2	S 20°18'08" W	2.64
L3	N 72°50'39" W	14.40
L4	N 17°09'21" E	36.51
L5	N 71°22'33" W	22.98
L6	N 19°18'54" E	5.02
L7	N 19°18'54" E	9.21
L8	S 70°31'37" E	23.17
L9	S 70°31'37" E	9.80
L10	S 70°31'37" E	42.96
L11	S 66°26'10" E	58.98
L12	S 66°26'10" E	13.67
L13	S 31°18'34" W	43.27
L18	N 20°07'21" E	38.97
L19	S 72°01'49" E	134.82
L20	S 31°18'34" W	48.72

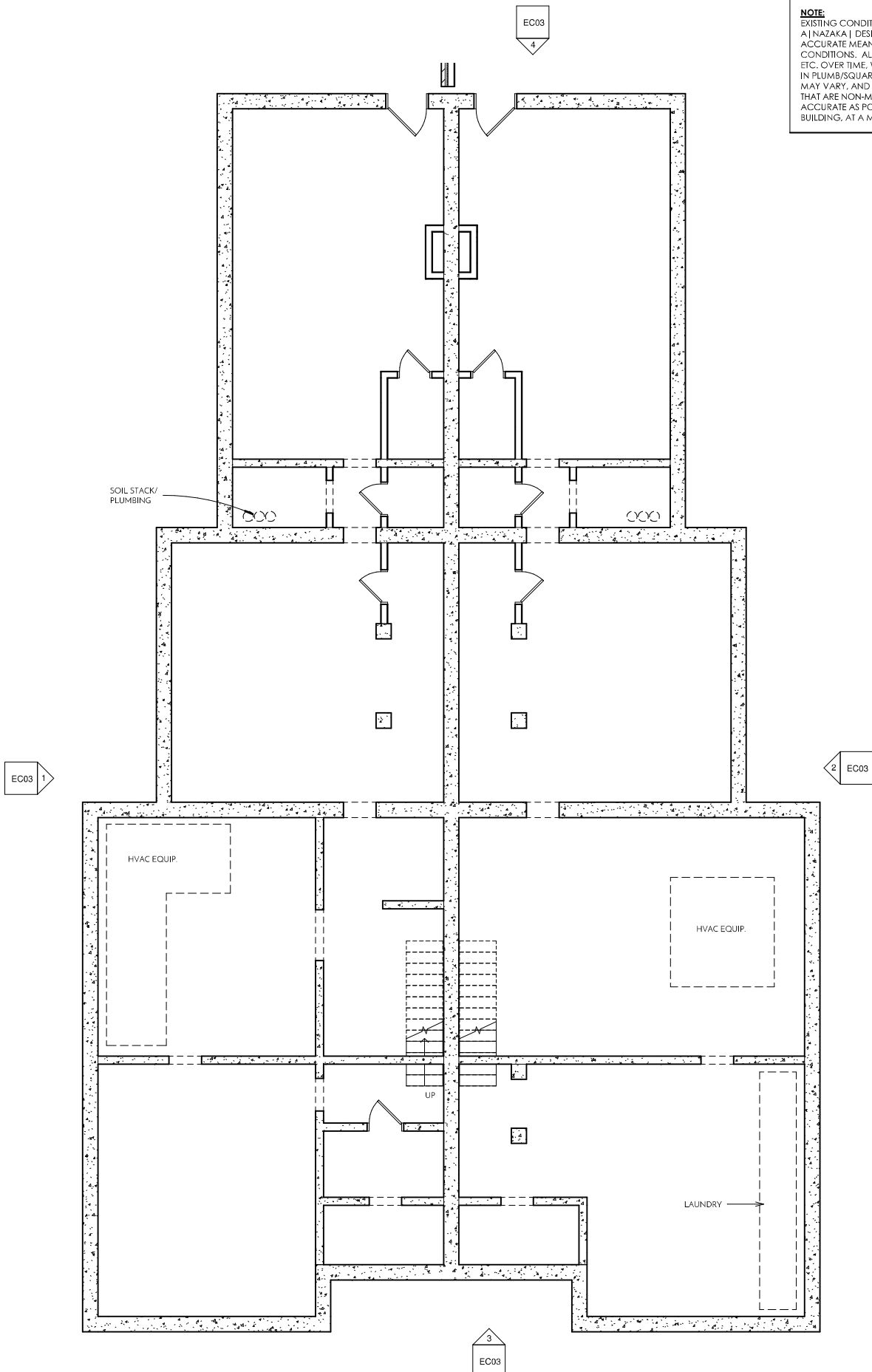


REV. NO.	DATE	DESCRIPTION	APPR.
PLAT OF LAND 132 & 134 MIDDLE STREET PORTSMOUTH, NEW HAMPSHIRE ASSESSOR'S PARCELS 127-12 & 127-11 for: 132 MIDDLE STREET, LLC. & 134 MIDDLE STREET, LLC.			
JAMES VERRA and ASSOCIATES, INC. 101 SHATTUCK WAY SUITE 8 NEWINGTON, N.H. 03801-7876 603-436-3527			DATE: 5-31-2019 JOB NO: 23804 SCALE: 1" = 10' SHEET: 1 of 1

HDC.3



1
EC01
EXISTING FIRST FLOOR
3/16" = 1'-0"



4
EC01
EXISTING BASEMENT
3/16" = 1'-0"

NOTE:
EXISTING CONDITIONS DRAWINGS DONE BY
A [NAZAKA] DESIGN BY MEASURING BY AS
ACCURATE MEANS NECESSARY TO DOCUMENT
CONDITIONS. ALL BUILDINGS MOVE, AGE, SHIFT,
ETC. OVER TIME, WHICH MAY CAUSE INACCURACIES
IN PLUMB/SQUARED WALLS. WALL THICKNESSES
MAY VARY, AND EXTERIOR WALL THICKNESSES
THAT ARE NON-MEASURABLE ARE ESTIMATED AS
ACCURATE AS POSSIBLE. ANY FUTURE WORK WITHIN
BUILDING, AT A MINIMUM SHOULD BE FIELD VERIFIED.

ALL IDEAS, DESIGNS, AND PLANS REPRESENTED ON
THIS PROJECT DOCUMENT ARE OWNED BY
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A | NAZAKA | DESIGN
477.000.0000 WWW.NAZAKADESIGN.COM

EXISTING CONDITIONS
132- 134 MIDDLE STREET, PORTSMOUTH NH
134 MIDDLE STREET LLC

EXISTING PLANS

Revisions	
No.	Date

Revisions	
No.	Date

August, 2018


$$3/16'' = 1'-0''$$

2 EC03



1
EC02

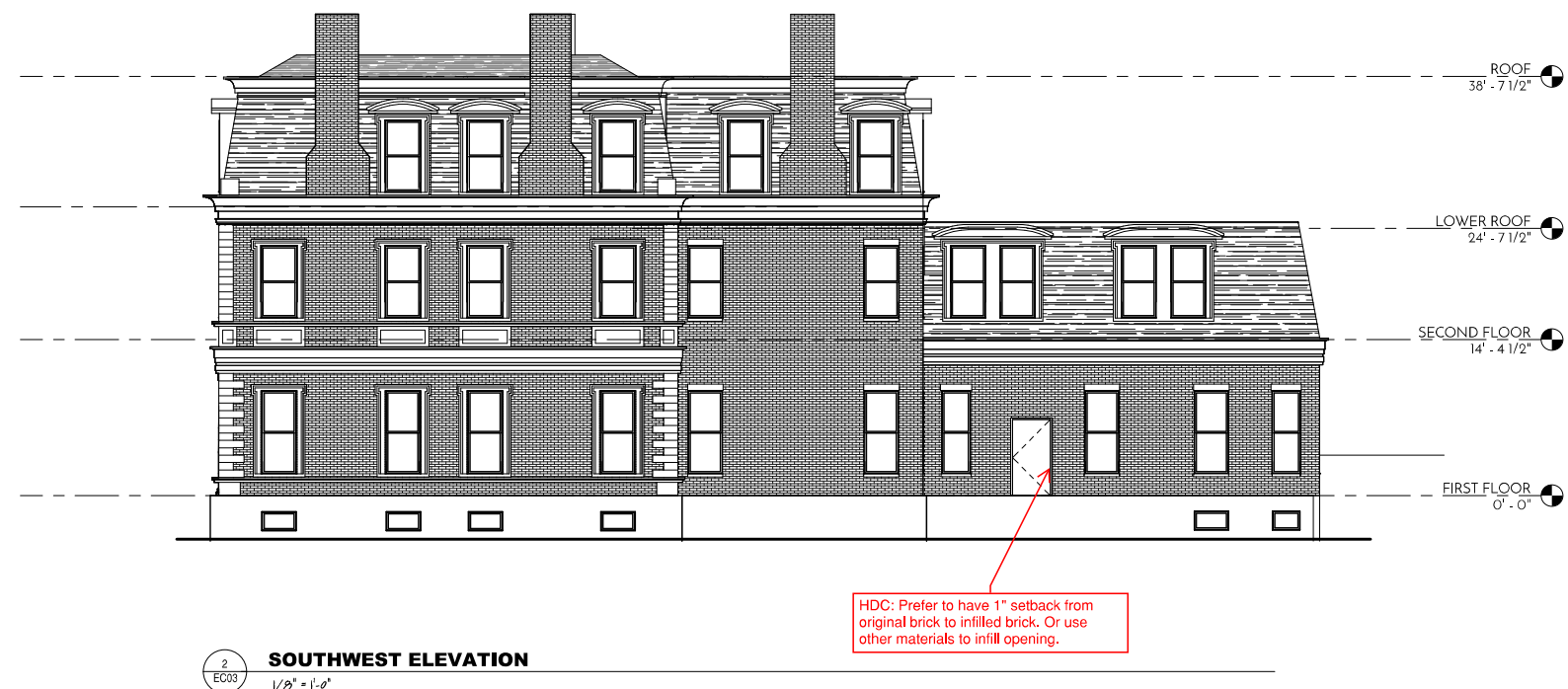
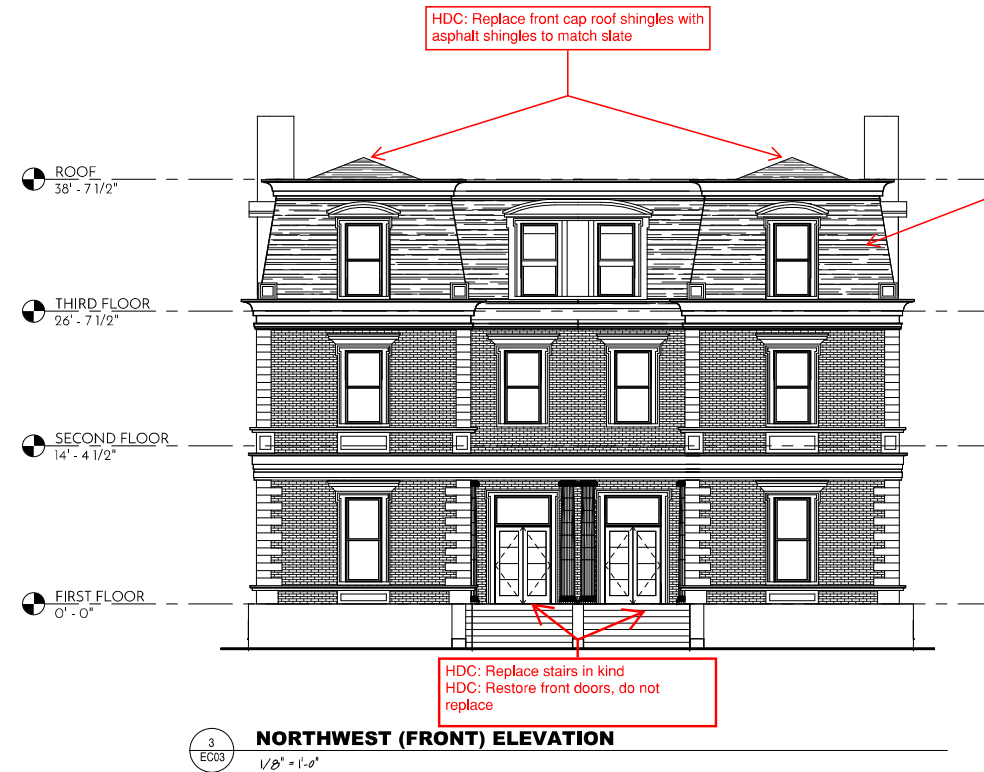
$$3/16'' = 1'-0''$$

HDC . 5

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F:\A Nozaka Design\Golden Goose\134 Middle
E-mail: 198.kat@ncc.com

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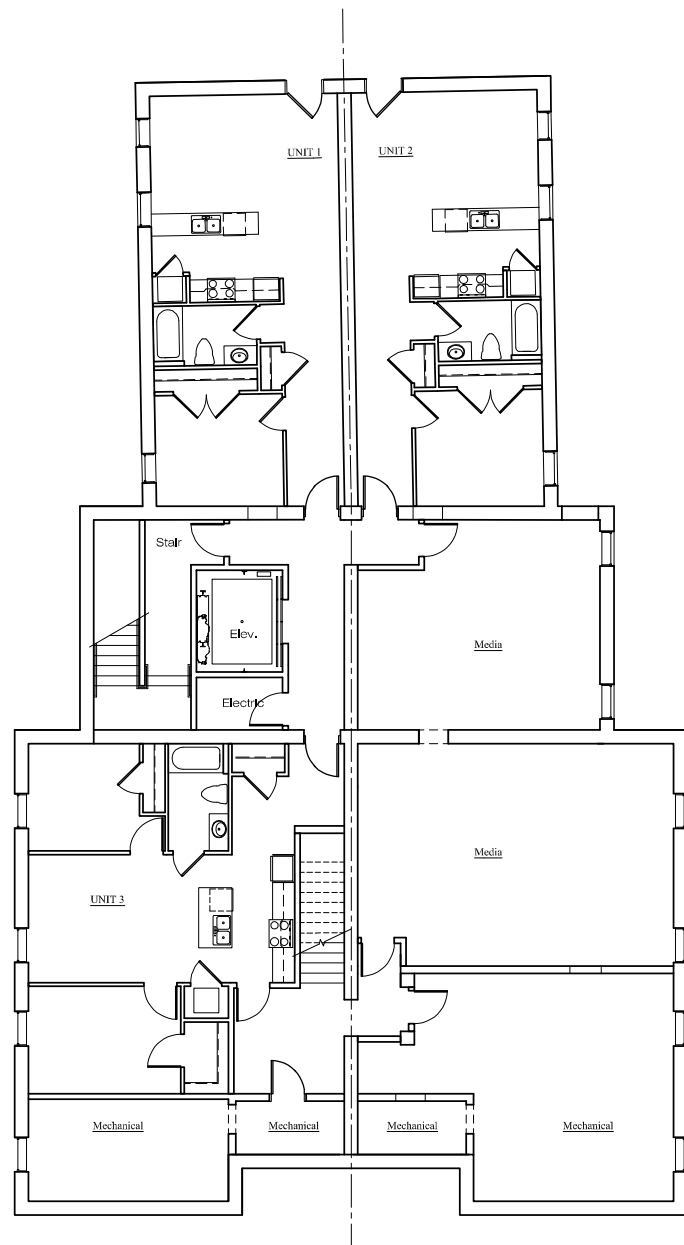
A|NAZAKA|DESIGN
417.288.3946 WWW.ANAKADISEIGN.COM

EXISTING CONDITIONS
132- 134 MIDDLE STREET, PORTSMOUTH NH
134 MIDDLE STREET LLC

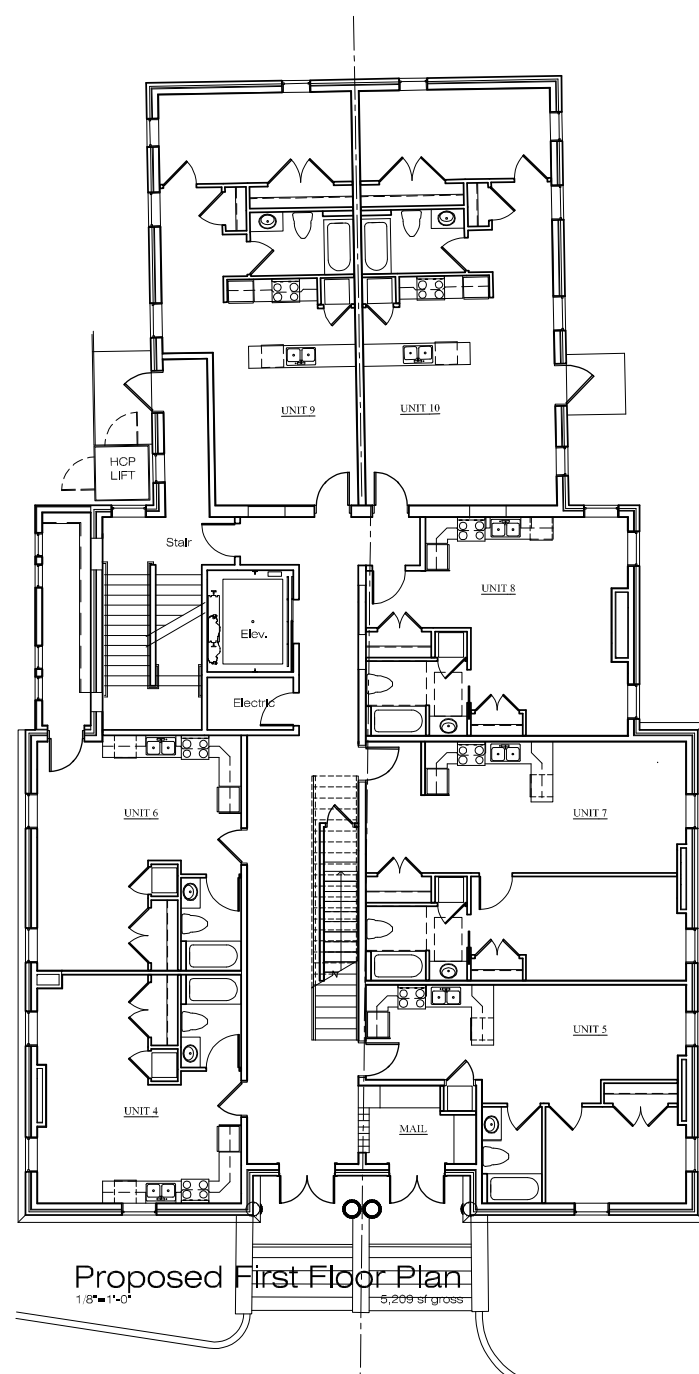
EXTERIOR ELEVATIONS

Revisions	
No.	Date

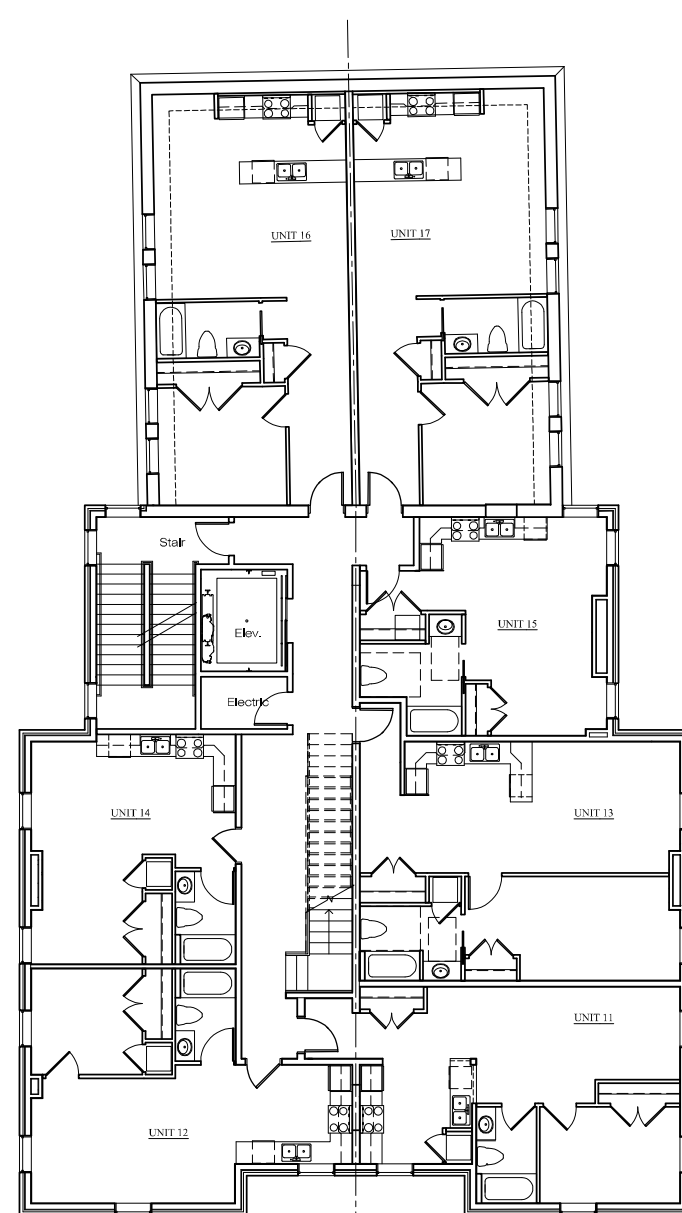
August, 2018



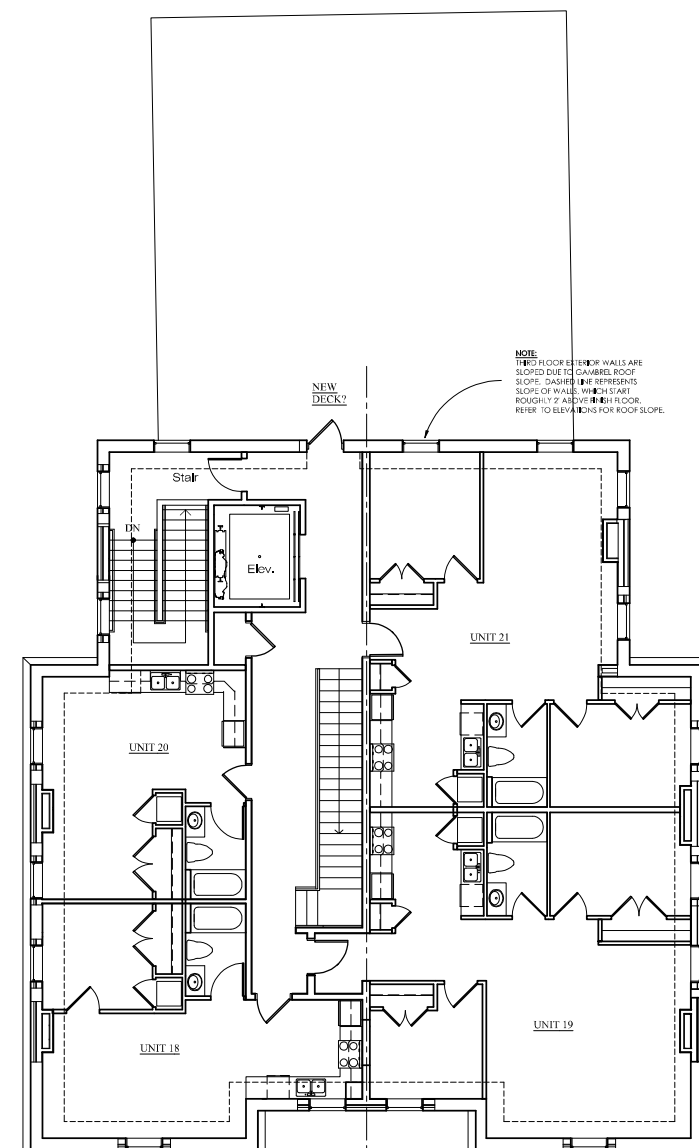
Proposed Basement Floor Plan
1/8" = 1'-0" 5,077 sf gross



Proposed First Floor Plan
1/8" = 1'-0" 5,209 sf gross



Proposed Second Floor Plan
1/8" = 1'-0" 5,077 sf gross



Proposed Third Floor Plan
1/8" = 1'-0" 3,612 sf gross

Progress Print

132 - 134 Middle Street
Portsmouth, New Hampshire

January 29, 2020



THA ARCHITECTS, LLC
ARCHITECTURE • PLANNING • CONSULTING • INTERIOR DESIGN

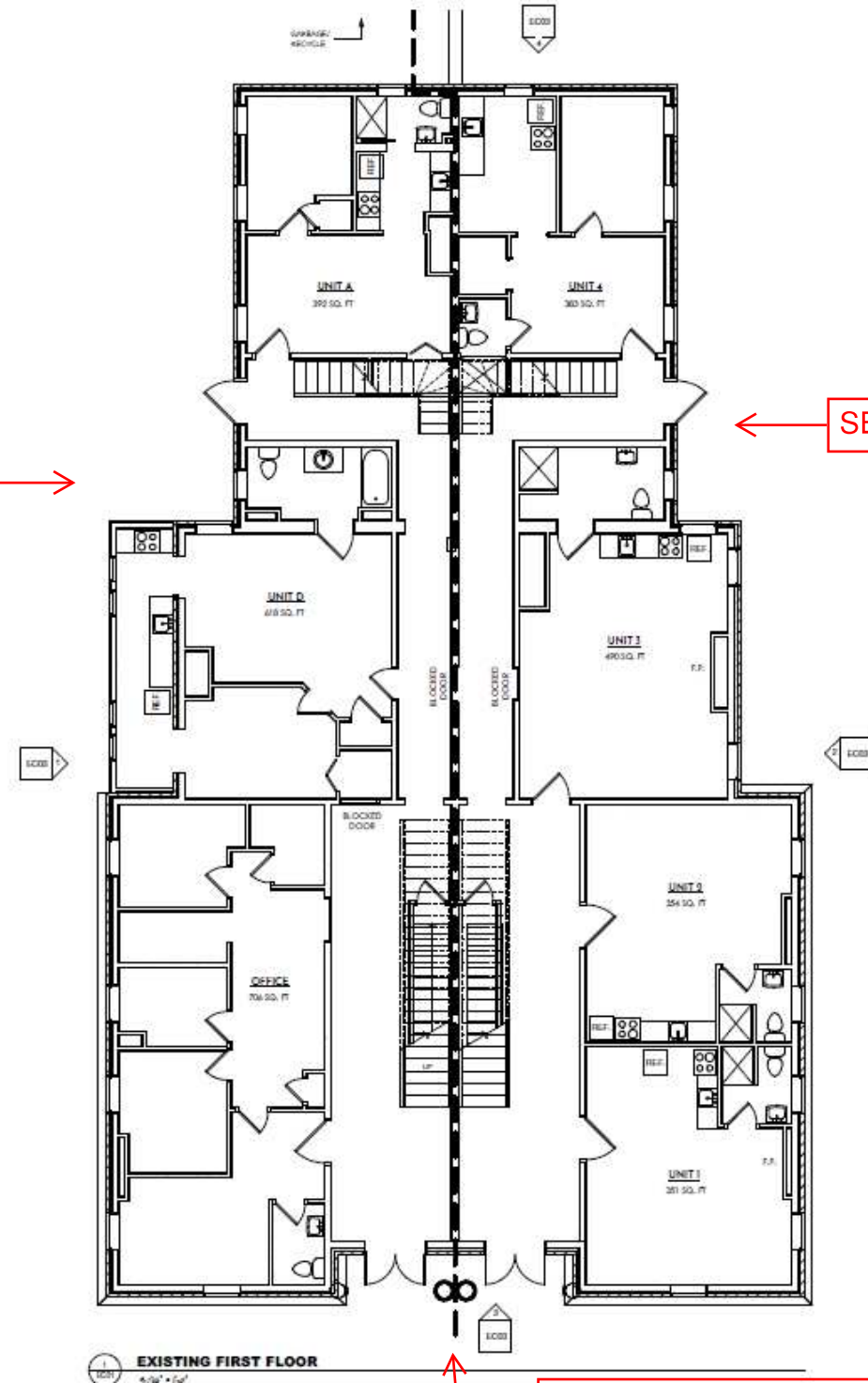
89 WILLOWBROOK AVENUE • STRATHAM, NH 03086
Tel: (603) 770-2491 • Fax: (603) 770-2492 • WWW.THA-ARCHITECTS.COM

HDC. 7

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PHOTO LEGEND

SEE PHOTO PAGE "B"



SEE PHOTO "A"

SEE PHOTO PAGE "C"

PHOTO A



NOTE:

1. IT IS NOT YET KNOWN IF THIS ENTRY WILL BE DELETED. IF REMOVED, WILL BE INFILLED WITH BRICK SIMILAR TO ADJACENT.

UPDATE 3/11/20:

2. IF INFILLED WITH BRICK OR PANELING, IT WILL BE SET BACK 1" FROM THE EXISTING EXTERIOR WALL TO ACCENTUATE THE ORIGINAL DOOR LOCATION.

PHOTO PAGE "B"

NORTHEAST ELEVATION



- NOTES:
- 1. DEMO EXISTING STAIRCASE & REPLACE WITH CODE COMPLIANT TIMBER FRAMED STAIRCASE AND LANDING. COLOR TO MATCH EXISTING WOOD TRIM. COLOR VERTICAL BOARDS WITH AIR GAPS WILL BE INSTALLED BELOW DECK.
 - 2. ROOF TO BE EXTENDED OR REPLACED (TO MATCH EXISTING) TO EXTEND TO CORNER OF BUILDING AND PROVIDE COVER FOR HCP LIFT. ROOF POSTS TO BE REPLACED WITH TIMBER POSTS TO MATCH EXISTING WOOD TRIM COLOR.
 - 3. NEW RAILING TO BE A CODE COMPLIANT BLACK COMPOSITE RAILING SYSTEM WITH SQUARE BALLUSTERS.

ROOF WILL BE EXTENDED TO SIDE OF BUILDING TO PROVIDE COVERAGE ABOVE LIFT

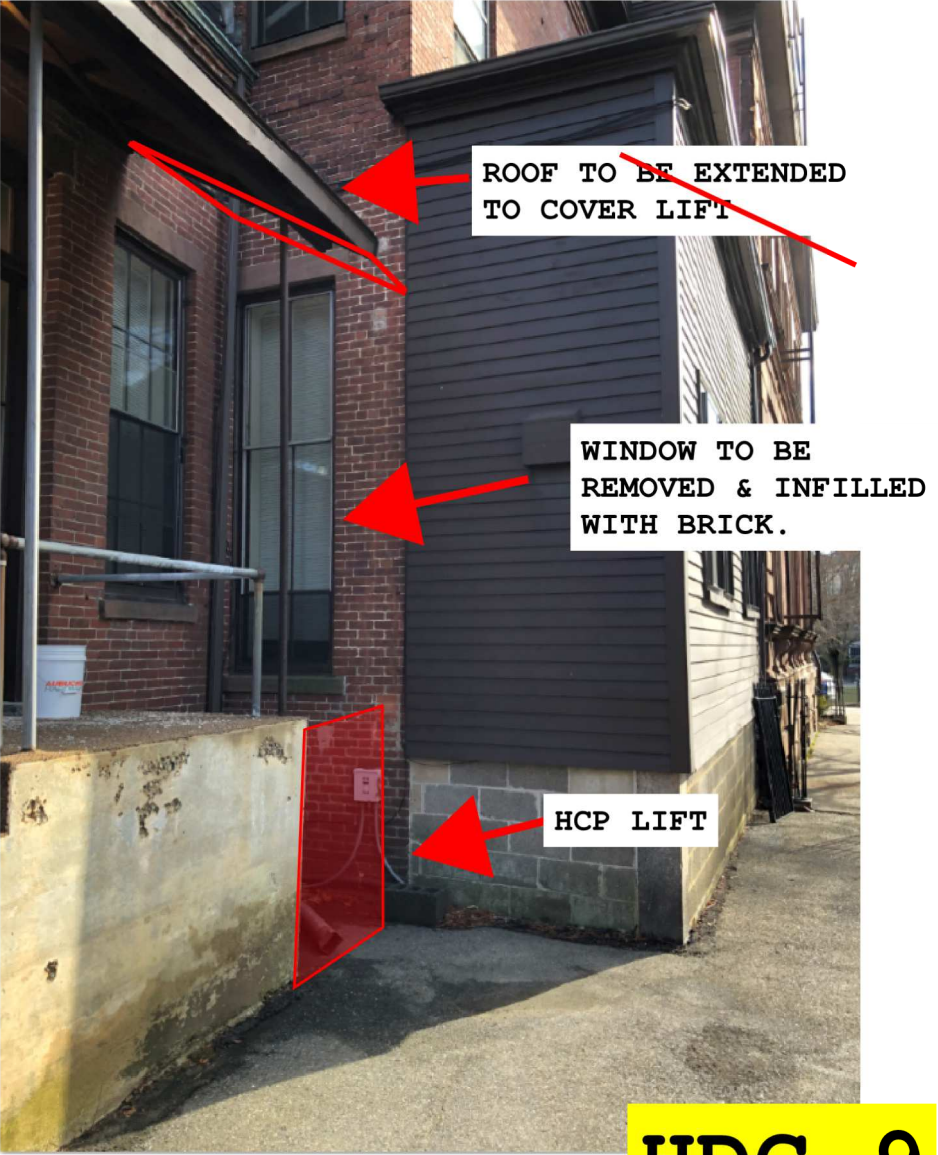


PHOTO PAGE "C"

NORTHWEST FRONT ELEVATION



NOTES:

1. THE RESTORED ENTRYWAY WILL INCLUDE THE ORIGINAL CHEEKS (BOTH SIDES & MIDDLE)
2. THE EXISTING RAILINGS WILL BE REMOVED/REINSTALLED OR REPLACED IN-KIND.
3. THE STAIRS WILL BE REPLACED WITH CONCRETE MATERIAL SIMILAR IN TEXTURE, COLOR, AND FORM TO EXISTING.

UPDATE 3/11/20:

4. STORM DOORS AND FRONT DOORS WILL BE REMOVED. THE FRONT DOORS WILL BE RESTORED AND REINSTALLED.

ARCHITECTURAL "SLATE" ASPHALT ROOF SHINGLE - CERTAINTED CARRIAGE HOUSE - (OPTION #1)

UPDATE: THIS IS A REVISED APSHALT SHINGLE BEING PROPOSED TO BETTER MATCH THE FISH SCALE PATTERN



CARRIAGE HOUSE® COLOR PALETTE



COMPOSITE "FAUX SLATE" ROOF SHINGLE - BORAL INSPIRE - MIST GREY (OPTION #2)

UPDATE: THIS PRODUCT NOT AVAILABLE IN FISH SCALE PATTERN

Home » Products » Composite » Classic Slate

INSPIRE
ROOFING PRODUCTS
by BORAL

Classic Slate - Mist Grey
SKU: 41FUE5235

Inspire Classic Slates' textured surfaces and decked edges are modeled from authentic natural slates, imparting a controlled uniformity that epitomizes natural slate roofing. Classic Slate delivers the appearance of a natural slate roof while offering lightweight, low-cost, durability and cutting edge, environmentally conscious material technology that goes into every slate.

ORDER SAMPLE

Colors Features Availability Downloads

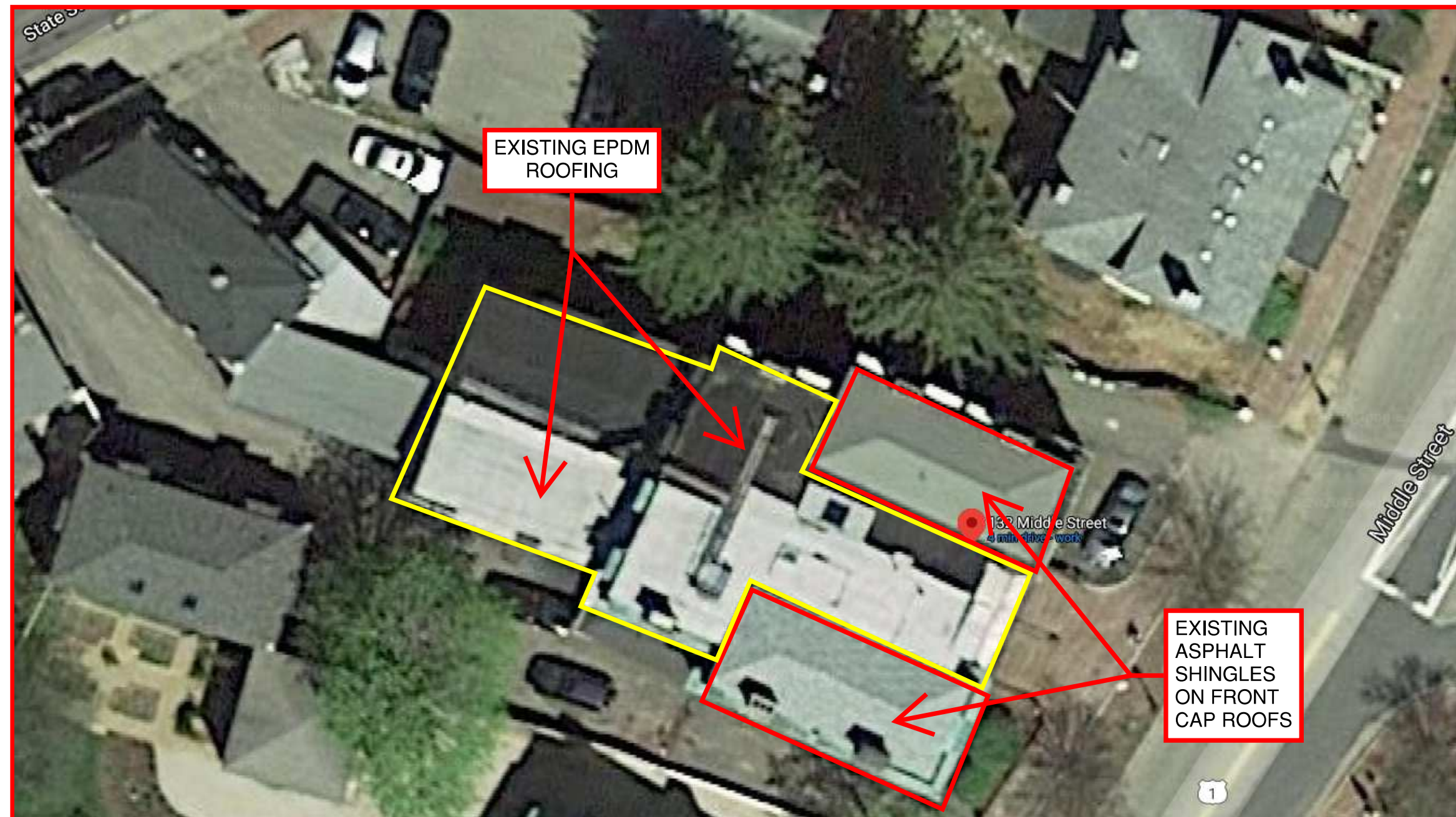
Colors

Ash Grey	Brandywine	Brick Red	Brunswick	Charcoal Black	Chestnut Brown
Coachman	Concord	Evergreen	Granite	Graphite	Grey-Black Blend

EXISTING ROOFING MATERIALS

THERE ARE SEVERAL EXISTING ROOFS:

- 1) #132 HAS EPDM ROOFING ON THE TOP FLAT SECTION
- 2) #132 HAS SLATE ROOFING TILES ON THE VERTICAL CHEEKS (3RD FLOOR LEVEL)
- 3) #132 HAS ASPHALT SHINGLES ON TOP CAP ROOFS IN FRONT
- 4) #134 HAS EPDM ROOFING ON THE TOP FLAT SECTION
- 5) #134 HAS ASPHALT SHINGLES ON BOTH THE FRONT CAP ROOFS AND THE VERTICAL CHEEKS



EXISTING ROOFING MATERIALS



EXISTING ASPHALT SHINGLES ON #134 VERTICAL CHEEKS



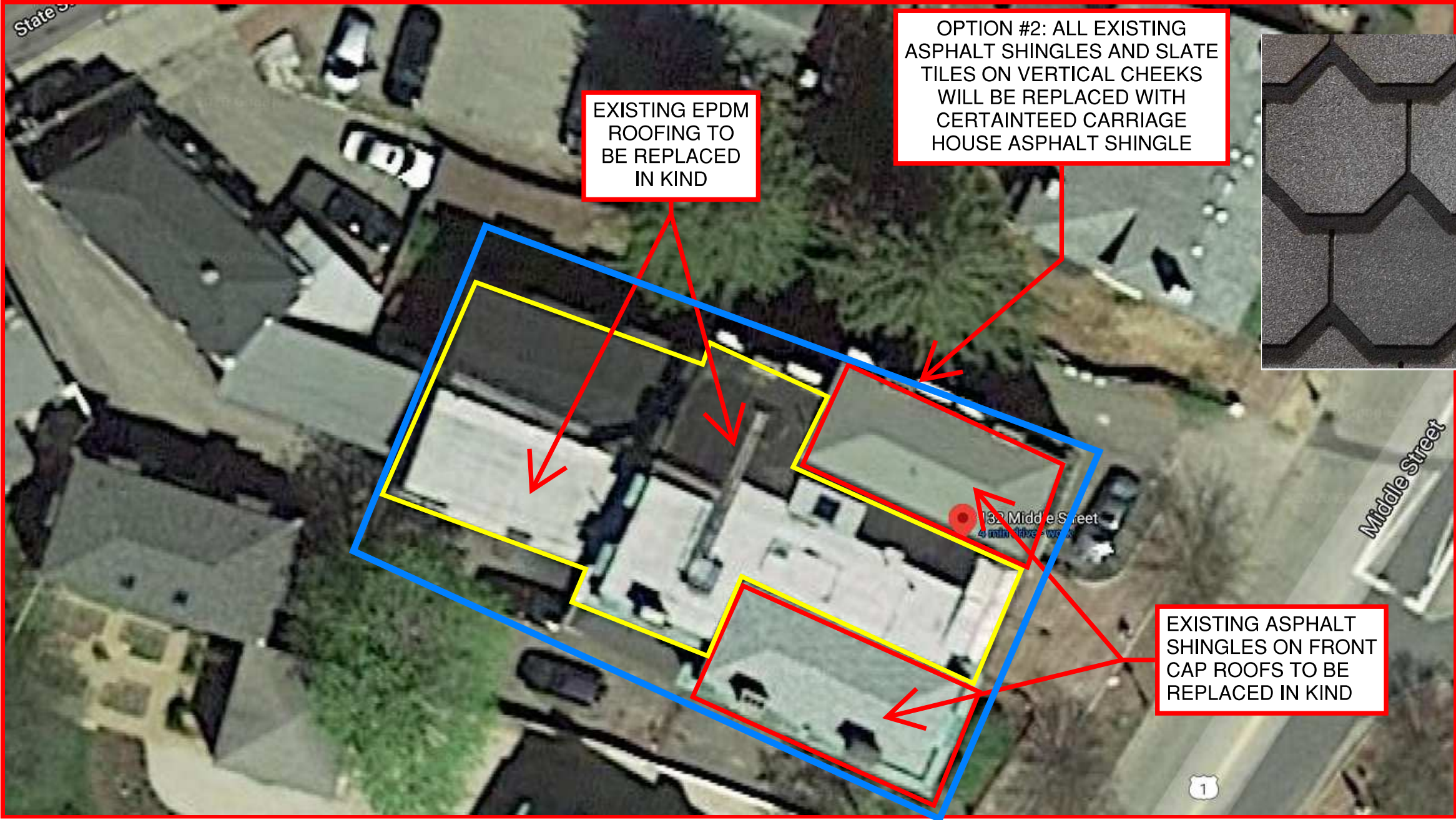
EXISTING ASPHALT SHINGLES ON FRONT CAP ROOFS

EXISTING SLATE TILES ON #132 VERTICAL CHEEKS

PROPOSED ROOFING MATERIALS

PROPOSED OPTION #1:

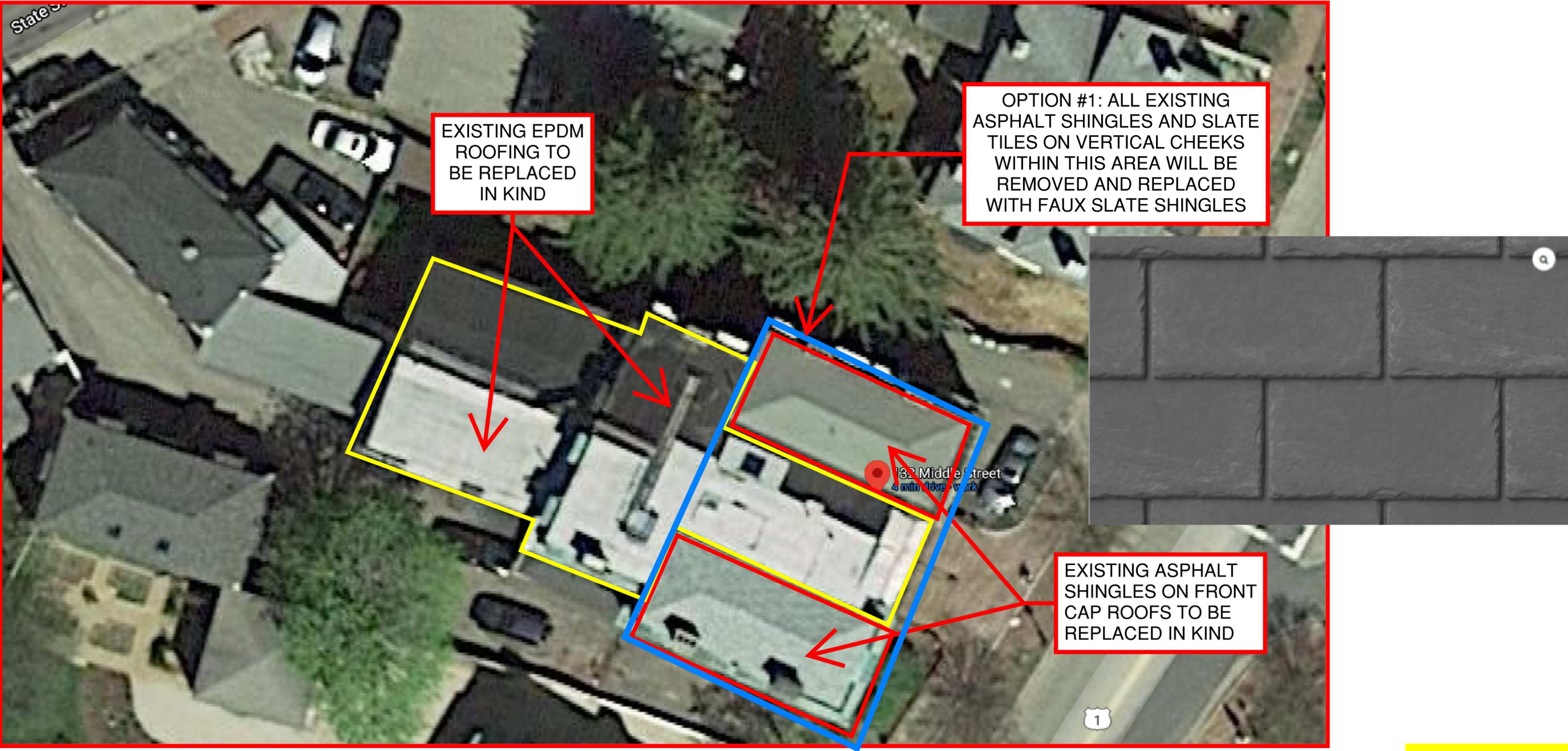
- 1) ALL EPDM RUBBER ROOFING TO BE REPLACED IN-KIND
- 2) ALL ASPHALT SHINGLES ON FRONT CAP ROOFS TO BE REPLACED IN-KIND
- 3) ALL SHINGLES/SLATE ON VERTICAL CHEEKS TO BE REMOVED AND REPLACE WITH CERTAINTEED CARRIAGE HOUSE FISH SCALE ASPHALT SHINGLE



PROPOSED ROOFING MATERIALS

PROPOSED OPTION #2:

- 1) ALL EPDM RUBBER ROOFING TO BE REPLACED IN-KIND
- 2) ALL ASPHALT SHINGLES ON FRONT CAP ROOFS TO BE REPLACED IN-KIND
- 3) ALL SHINGLES/SLATE ON CHEEK WALLS ON FRONT, MAIN BUILDING TO BE REMOVED AND REPLACED WITH BORAL INSPIRE FAUX SLATE (SEE BLUE BOX BELOW)
****not available in fish scale
- 4) ALL SHINGLES/SLATE ON VERTICAL CHEEKS IN THE REAR SECTIONS WITH ARCHITECTURAL ASPHALT SHINGLE TO MATCH FAUX SLATE COLOR



WINDOWS :

WINDOW REPLACEMENT IS NOT ANTICIPATED. IF NEEDED, REPLACEMENT WINDOWS WILL BE MARVIN ELEVATE CLAD DOUBLE HUNG WINDOW WITH 2 OVER 2 LITES
COLOR TO MATCH EXISTING

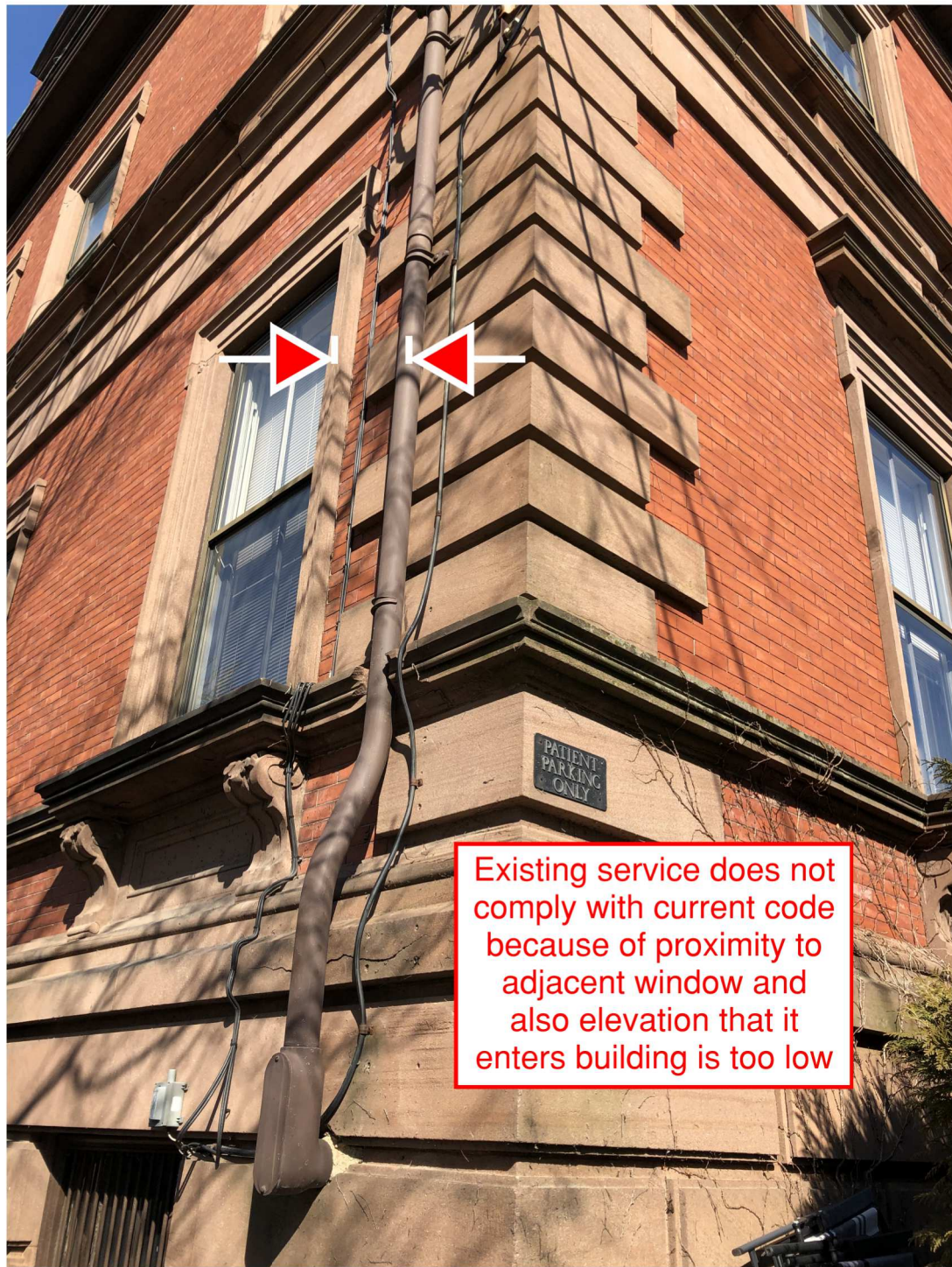


Marvin Elevate™

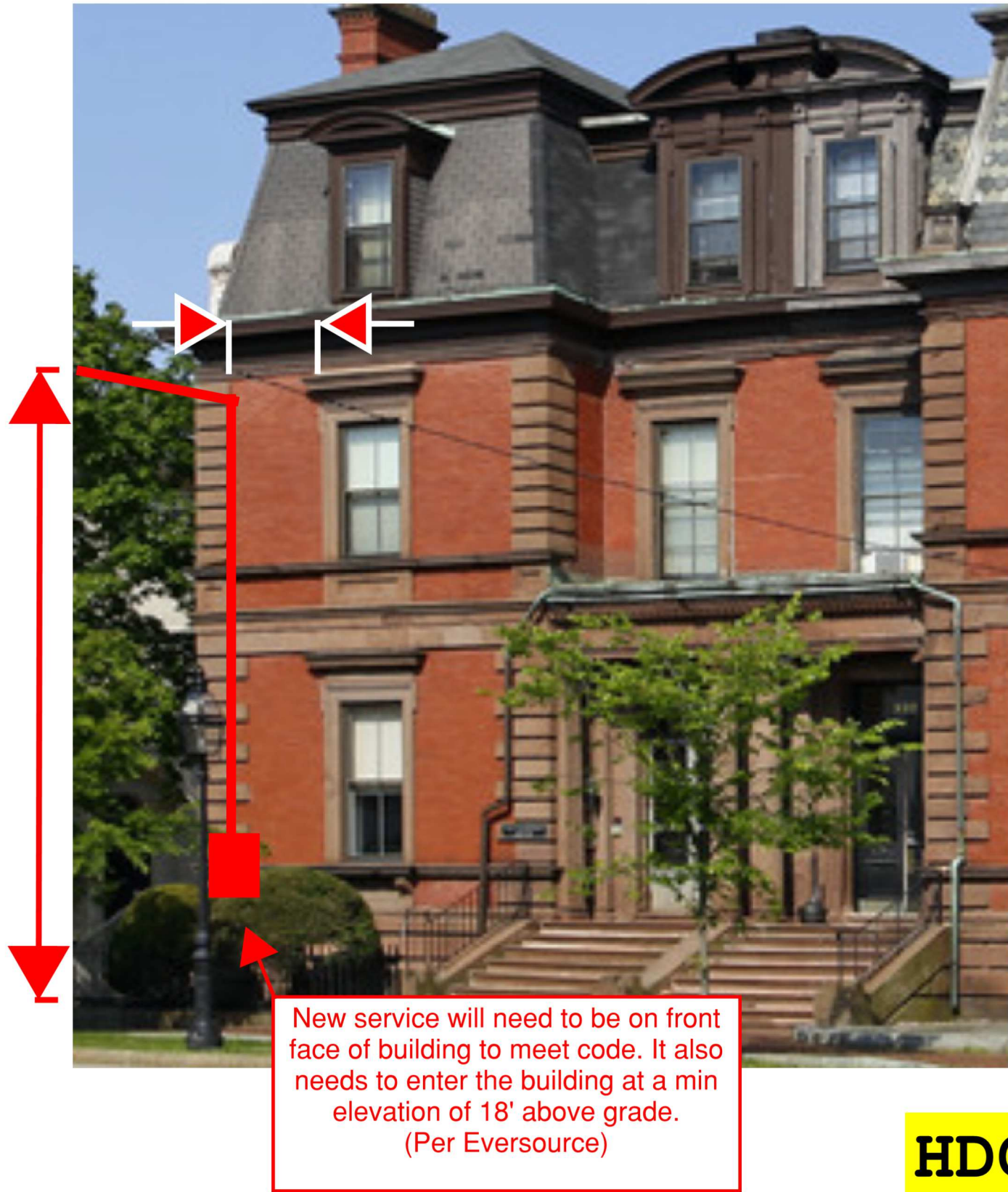
These homeowners wanted to pair the charm of a classic New England farmhouse with modern craftsmanship and energy efficiency.

[Learn more](#)

EXISTING ELECTRICAL FEED



NEW ELECTRICAL FEED FROM STREET





St. John's EPISCOPAL CHURCH

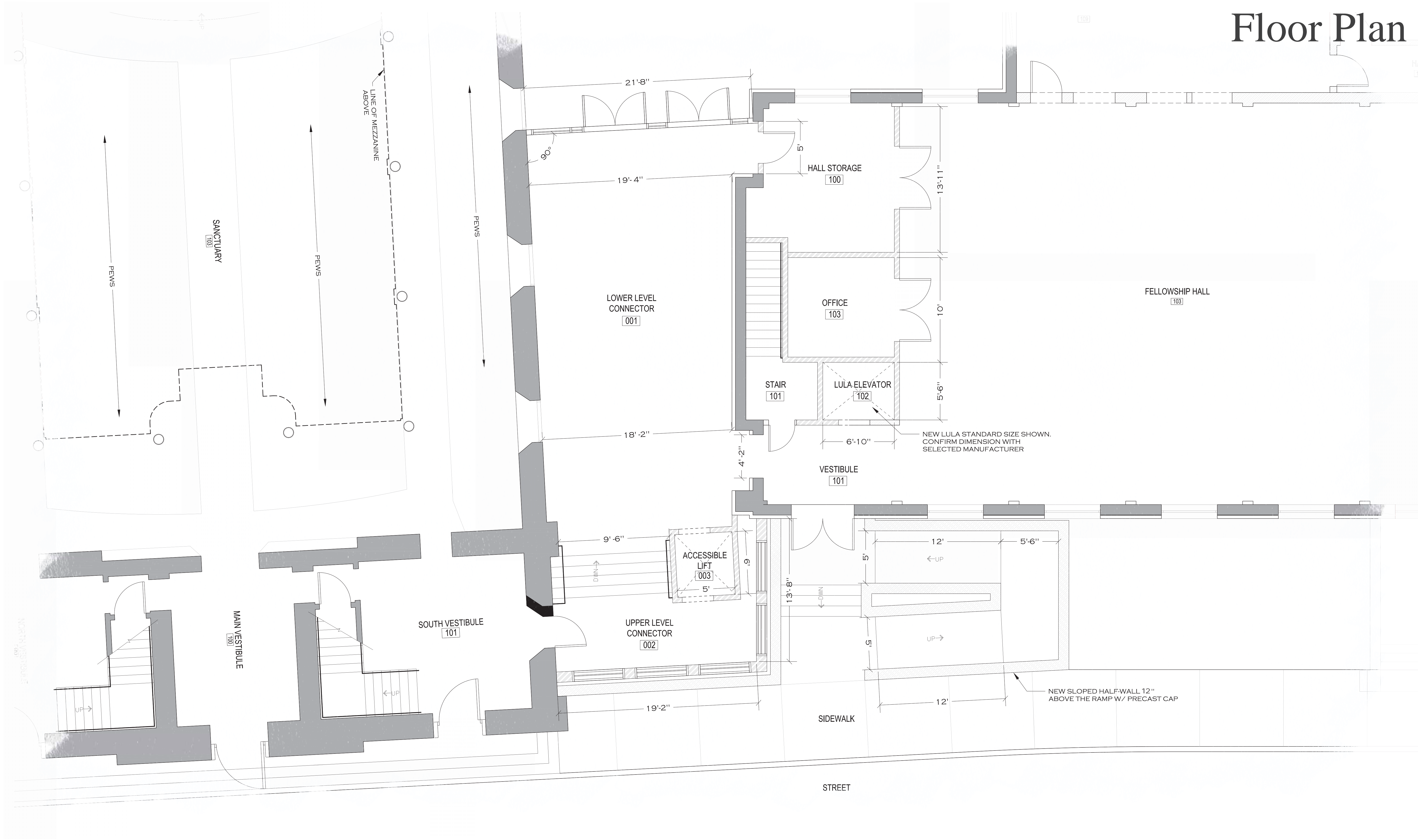
Issued: February 24, 2020

Revised: May 19, 2020

Prepared by: W. Michael Campbell

W. Michael Campbell
369 West Farms Road
Farmingdale, NJ 07727
www.religiousarchitecture.com

Floor Plan



St John's Episcopal Church
Portsmouth, New Hampshire

W. Michael Campbell
369 West Farms Road
Farmingdale, NJ 07727
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Exterior Perspective 1



St John's Episcopal Church
Portsmouth, New Hampshire

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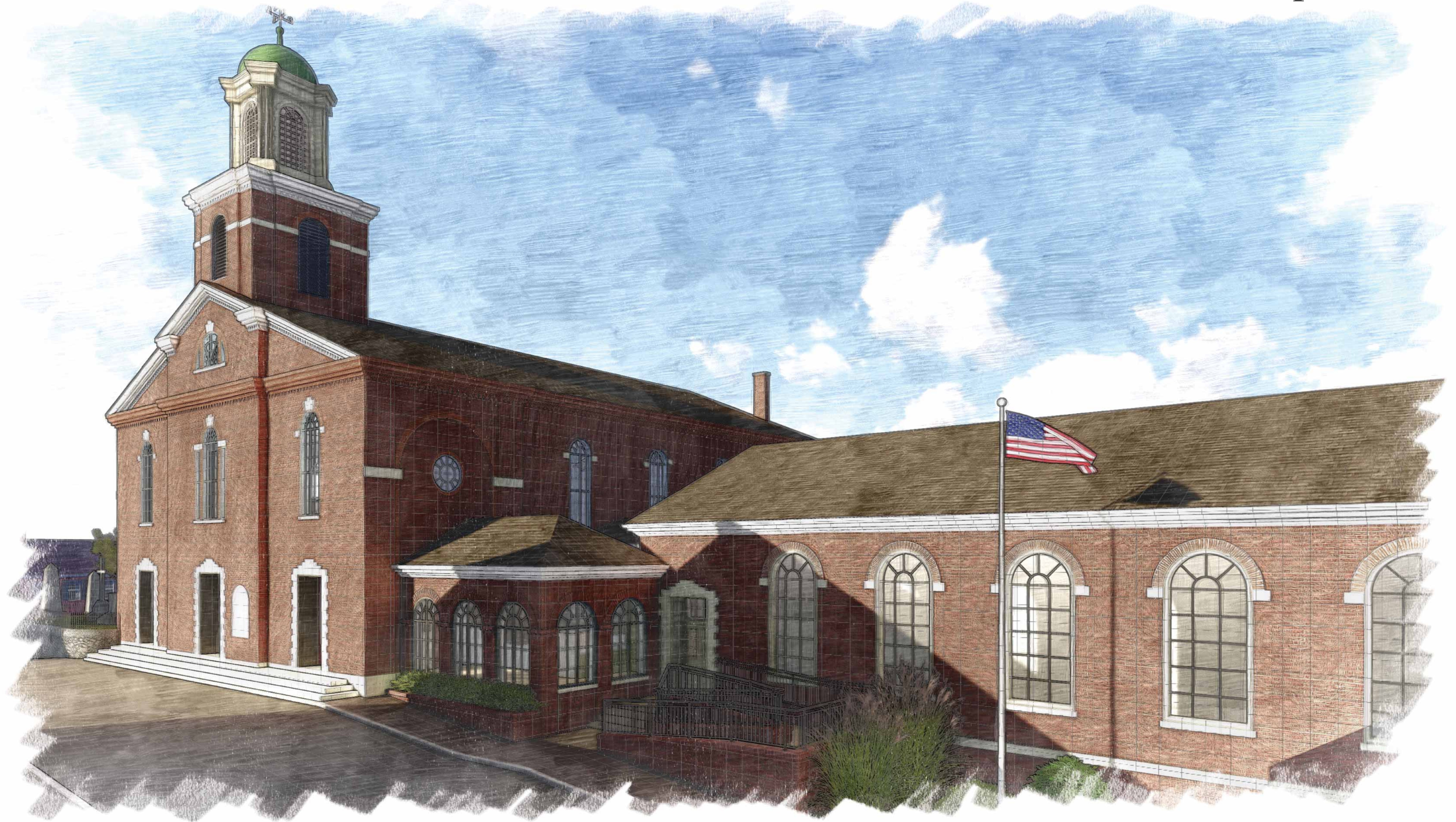
Exterior Perspective 2



St John's Episcopal Church
Portsmouth, New Hampshire

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Exterior Perspective 3



St John's Episcopal Church
Portsmouth, New Hampshire

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Exterior Perspective 4



St John's Episcopal Church
Portsmouth, New Hampshire

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Exterior Perspective 5



St John's Episcopal Church
Portsmouth, New Hampshire

W. Michael Campbell
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Farmingdale, NJ 07727
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Exterior Perspective 6



St John's Episcopal Church
Portsmouth, New Hampshire

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Exterior Perspective 7



St John's Episcopal Church
Portsmouth, New Hampshire

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Farmingdale, NJ 07727
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Exterior Perspective 8



St John's Episcopal Church
Portsmouth, New Hampshire

W. Michael Campbell
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Farmingdale, NJ 07727
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Exterior Perspective 9



St John's Episcopal Church
Portsmouth, New Hampshire

W. Michael Campbell
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Interior Perspective 1



St John's Episcopal Church
Portsmouth, New Hampshire

W. Michael Campbell
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Interior Perspective 2



St John's Episcopal Church
Portsmouth, New Hampshire

W. Michael Campbell
369 West Farms Road
Farmingdale, NJ 07727
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Interior Perspective 3



St John's Episcopal Church
Portsmouth, New Hampshire

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