

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NH**

**Remote Meeting Via Zoom Conference Call**

To register in advance for this meeting, click on the link below or copy and paste this into your web browser:

[https://zoom.us/webinar/register/WN\\_hg1iy1L7ROuQIY2hKmQ82Q](https://zoom.us/webinar/register/WN_hg1iy1L7ROuQIY2hKmQ82Q)

*You are required to register in advance to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. Public comments can be emailed in advance to [planning@cityofportsmouth.com](mailto:planning@cityofportsmouth.com). For technical assistance, please contact the Planning Department by email ([planning@cityofportsmouth.com](mailto:planning@cityofportsmouth.com)) or phone (603) 610-7216.*

Per NH RSA 91-A:2, III (b) the Chair has declared COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2020-17, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

**6:30 p.m.**

**September 09, 2020**

**AGENDA**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. ADMINISTRATIVE APPROVALS**

1. 169 Lafayette Road
2. 84 Gates Street
3. 232 Court Street
4. 110 Brewery Lane, Unit C 105

**II. REQUEST FOR RE-HEARING**

1. Request for re-hearing by 3A Trust, Guy D. Spiers & Elizabeth R. Spiers, Trustees, owners, for property located at 241 South Street, for Administrative Approval originally heard at the August 05, 2020 Historic District Commission meeting.

**III. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **Vincent A. Marchese Jr. Revocable Trust and James Marchese, owners**, for property located at **232 South Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace siding, trim, windows, roof and granite steps) and

new construction to an existing structure (construct new rear addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 2 and lies within the Single Residence B (SRB) and Historic Districts.

#### IV. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **132 Middle Street LLC and 134 Middle Street, LLC, owners**, for property located at **132-134 Middle Street**, wherein permission is requested to allow exterior renovations to an existing structure (re-pointing brick, roof replacement, add ADA accessible entry, and front entrance renovations) as per plans on file in the Planning Department. Said property is shown on Assessor Map 127 as Lots 11 and 12 and lies within the Character District 4- L1 (CD 4-L1) and Historic Districts. *(This item was continued at the August 05, 2020 meeting to the September 09, 2020 meeting.)*

#### V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Margot L. Thompson, owner**, for property located at **57 Salter Street**, wherein permission is requested to allow new construction to an existing structure (add new side entry porch and recessed porches on the rear elevation) and renovations to an existing structure (re-size and replace windows, remove existing skylights) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 32 and lies within the Waterfront Business (WB) and Historic Districts.

2. Work Session requested by **Timothy M. and Alexandra Lieto, owners**, for property located at **50 New Castle Avenue**, wherein permission is requested to allow new construction to an existing structure (construct rear addition with deck and patio space) and renovations to an existing structure (new siding, windows, and roofing) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 33 and lies within the Single Residence B (SRB) and Historic Districts.

3. Work Session requested by **553-559 Islington Street, LLC, owner**, for property located at **553-559 Islington Street**, wherein permission is requested to allow new construction to an existing structure (construct a new rear 2 ½ - story addition) and exterior renovations to an existing structure (replace siding, repair and replace trim as needed) as per plans on file in the Planning Department. Said property is shown on Assessor Map 157 as Lot 3 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

#### VI. ADJOURNMENT



# HDC

## ADMINISTRATIVE APPROVALS

September 09, 2020

1. 169 Lafayette Road (LUHD-) -T.B.D.
2. 84 Gates Street (LUHD-191) -Recommended Approval
3. 232 Court Street (LUHD-) -Recommended Approval
4. 110 Brewery lane, Unit C 105 (LUHD-190) -Recommended Approval

# 1. 169 Lafayette Road - T.B.D.

Background: The applicant is seeking approval for changes to a previously approved design (change from approved asphalt shingle roofing material to a rolled asphalt roofing material.)

Staff Comment: T.B.D.

## Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

Karen Crouch  
169 Lafayette Road, Unit 1  
Portsmouth, NH 03801  
603.777.7311  
karencrouch@comcast.net

September 1, 2020

Nicholas Cracknell, Principal Planner  
Portsmouth Historic District Commission Representative  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth NH 03801

Dear Nick,

This letter is a response to issues raised relating to the repair of the front porch roof at 169 Lafayette Road. A question was recently raised as to whether we used "white roofing material." This is not the case as evidenced in the enclosed picture. You also expressed an expectation of architectural asphalt shingles per September 4<sup>th</sup>, 2019 meeting. You were correct, we did ask for approval for asphalt shingles, and I had put a down payment with a contractor. However, much like commissioners have stated in both the August 7<sup>th</sup>, 2019 and the September 4<sup>th</sup>, 2019 meetings, asphalt shingles were problematic and were not conducive to the aesthetic requirement given the curve of the roof.

Although we took into consideration the September 4<sup>th</sup> 2019 permission for asphalt shingles, I have been operating under the August 7<sup>th</sup>, 2019 HDC Meeting discussions and approval (as documented on the enclosed Building Permit issued November 1<sup>st</sup>, 2019) which stated a preference for a roofing material that more closely matched the look of the then current metal. And I understood as a result of the September 4<sup>th</sup> Administrative Approval session we could use materials as "long as it is consistent and not detrimental to the house or district."

I respect and hold the same vision for Portsmouth as most of us who choose to live here because of its beauty and historic landscape. I have attached pictures of the porch roof, before and after, for your review. Per your recommendation, I am asking that the HDC approve the porch roof as completed.

Thank you for your attention to this matter.  
Sincerely,

*Karen E. Crouch*

cc: Historic District Commission Vincent Lombardi, Chairman and members

Attachments:  
Pictures, Before Renovation, After Renovation and Historic  
Building Permit



169 Lafayette Road, Portsmouth, New Hampshire  
Porch Roof  
BEFORE renovation



169 Lafayette Road, Portsmouth, New Hampshire  
Porch Roof  
AFTER renovation





169 Lafayette Road, Portsmouth, New Hampshire  
Historical



## City of Portsmouth Building Permit

Inspection Department  
1 Junkins Avenue  
Portsmouth, NH 03801  
603-610-7243

Permit Number:  
BLDG-19-807  
Date of Issue:  
November 01, 2019  
Expires:  
October 31, 2020  
Const. Cost:  
\$5000

Owner: Karen Crouch  
Applicant: Karen Crouch  
Contractor: Donald Madore, Don Madore LLC Phone #: 781 -983-1674  
Location: 169 LAFAYETTE RD 1

### Description of Work:

Residential Remodel: Repair Barrel and Porch Roof within Historic District

Project to Include:

Barrel and Porch Roof Repairs/Replacement as per HDC Approval Granted August 07, 2019, LU-19-156

1. Remove existing roofing material from front porch roof across side and front.
2. Install trim boards to fascia to cover metal edge.
3. Install rolled roofing to entire roof, black.

Map/Lot: 151-22-1-

Design Occupancy Load: Exterior Roof Repairs- N/A

Total # of Dwelling Units:

Use Group: Repairs: siding, roof, windows

Constr. Type: N/A

Bldg. Code: IRC Edition: 2015

### Remarks:

- \* Per City Ord. Sec. 11.502 (F) Street/Unit Number must be affixed to Main Structure as to be plainly visible from the street. Construction sites must post the address clearly on the property. No site activity allowed before 7:00AM or after 6:00PM. No weekend construction allowed.
- \* No Structural Work Approved/ No Change in Occupancy
- \* All renovation or painting work in residential structures built before 1978 and involving more than 6 square feet of painted surfaces per room, shall be done by certified persons per the federal EPA, RRP rules. NOTE: Homeowner doing this type work may not be subject to the federal regulations-check the EPA website.
- \* Asbestos Removal shall comply with New Hampshire Code of Administrative Rule Env-A1800. Disposal shall comply with Env-A 1805.08. Documents maintained, including all licenses, certificates, and proof of training held by all supervisors and workers engaged in the asbestos abatement project
- \* Roofing shall comply with Section R905 of the IRC.
- \* ReRoofing shall comply with Section R907
- \* New roofing cannot be installed when the existing roof has two or more applications of any type roofing (all existing layers must be removed)
- \* The structural roof components shall be capable of supporting the new roof covering system.
- \* Per Section 502.2 of the Existing Building Code, New and replacement materials, Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs and alterations, provided no dangerous or unsafe condition is created. Repairs to an existing structure must be made with the proper materials in a manner that will safeguard the public and ensure the building does not become a hazard to life, health or property.
- \* All repairs listed on the application and permit shall be made with like materials, like dimensions and like appearance. Changes in any of these elements require Historic District Commission approval. It is STRONGLY suggested that a "photo history" be created to document the existing conditions.
- \* No exterior changes (facade, windows, doors, etc.) are allowed by this permit without Prior HDC approval.

The PERMIT HOLDER has read this permit, the permit application, and the Building Official's marked-up plans and agrees to perform the work authorized including any conditions or requirements indicated thereon; and any stipulations imposed by a Land Use Board in conjunction with the project. The CONTRACTOR shall be responsible for notifying the Inspection Department 48 hours in advance, for FOUNDATION, FRAMING, and FINAL inspections. A Certificate of Occupancy is required for all Building Permits. Buildings shall not be occupied until ALL inspections (BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, and FIRE) are complete and Occupancy has been issued. By signing this permit, the owner or his/her representative (Permit Holder), authorizes property access by city officials to conduct interior and exterior inspections and property tax assessments during and/or after the construction process.

**The Permit Card Shall Be Posted and Visible From the Street During Construction.**

Code Official:

This is an e-permit. To learn more, scan this barcode or  
visit [portsmouthnh.viewpointcloud.com/#!/records/42022](https://portsmouthnh.viewpointcloud.com/#!/records/42022)







## 2. 84 Gates Street

## - Recommended Approval

**Background:** The applicant is seeking approval for replacement siding (replace front cedar clapboards with LifeSpan treated wood product, exposure to match existing siding. The applicant is also proposing (2) new wooden downspouts and to repair rotten sheathing and trim as needed.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work  
Session or Administrative Approval  
Application****LUHD-191****Status:** Active**Submitted:** Sep 03, 2020**Applicant**

Joe Terravecchia



603-427-0030



joe@tbr-inc.com

**Location**84 GATES ST  
Portsmouth, NH 03801**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

1) We would like to remove the red cedar clapboards on the front and driveway sides of the home and install new Lifespan wood clapboards at the same exposure as those on the remainder of the home ( approximately 3").

2) Install 2 new wooden downspouts.

3) Repair any rotten sheathing and trim.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****State**

NH

**City/Town**

Portsmouth

**If you selected "Other", please state relationship to project.**

Building Contractor

**Relationship to Project**

Other

**Email Address**

joe@tbr-inc.com

**Business Name (if applicable)**

Terravecchia Building &amp; Restoration

**Full Name (First and Last)**

Joe Terravecchia

**Phone**

603 427-0030

**Zip Code**

03802

**Mailing Address (Street)**

PO 76

**Acknowledgement**

I certify that the information given is true and correct to the best  
of my knowledge.













## Real Wood. Redefined.

LIFESPAN® SOLID SELECT is a premium solid wood exterior trim product – offering a superior clean finish, outstanding performance, and the benefits of real wood.



Limited lifetime warranty



Clear grade lumber – no finger-joints or knots



Superior durability against rot, fungal attack and insects



Resists corrosion to nails and fastenings



FSC® Certified – environmentally responsible



Superior water resistance



Long-term termite protection



Real wood – a pleasure to work with



Active ingredients registered with EPA

Now with CODIL™ – our patented and proprietary resin stabilization additive



## The advantages are clear

Sourced from New Zealand's renowned radiata pine forests, LIFESPAN® SOLID SELECT is made from only the highest quality, long-length clear boards. This superior product features an EPA-approved non-metallic preservative that protects against rot, fungal attack and insects (including termites). It also offers superior moisture resistance and resin stabilization – with a proprietary water repellent system, two coats of alkyd primer and patented resin stabilization additive CODIL™. This proven protection is backed by a limited lifetime warranty.

Combining outstanding durability with the beauty of real wood, LIFESPAN® SOLID SELECT is the choice for a lifetime.

## Availability

LIFESPAN® SOLID SELECT is available from our exclusive distribution partner [Timber Trading Group](#)



[Find a dealer](#)



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New Zealand



FSC®  
C016855

[Download Technical Manual](#)

### 3. 232 Court Street

### - Recommended Approval

Background: The applicant is seeking approval for the installation of an iron fence on the property. The applicant has provided options in terms of design for the fence.

Staff Comment: Recommended Approval

#### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

 FREE SHIPPING OVER \$4,000 ([HTTPS://BLOG.IRONFENCESHOP.COM/2015/02/27/IRON-FENCE-SHOP-NOW-OFFERING-FREE-SHIPPING/](https://blog.ironfenceshop.com/2015/02/27/iron-fence-shop-now-offering-free-shipping/))

 10 YEARS IN BUSINESS ([HTTPS://BLOG.IRONFENCESHOP.COM/2019/08/16/CELEBRATING-10-YEARS-IN-BUSINESS-ONLINE/](https://blog.ironfenceshop.com/2019/08/16/celebrating-10-years-in-business-online/))

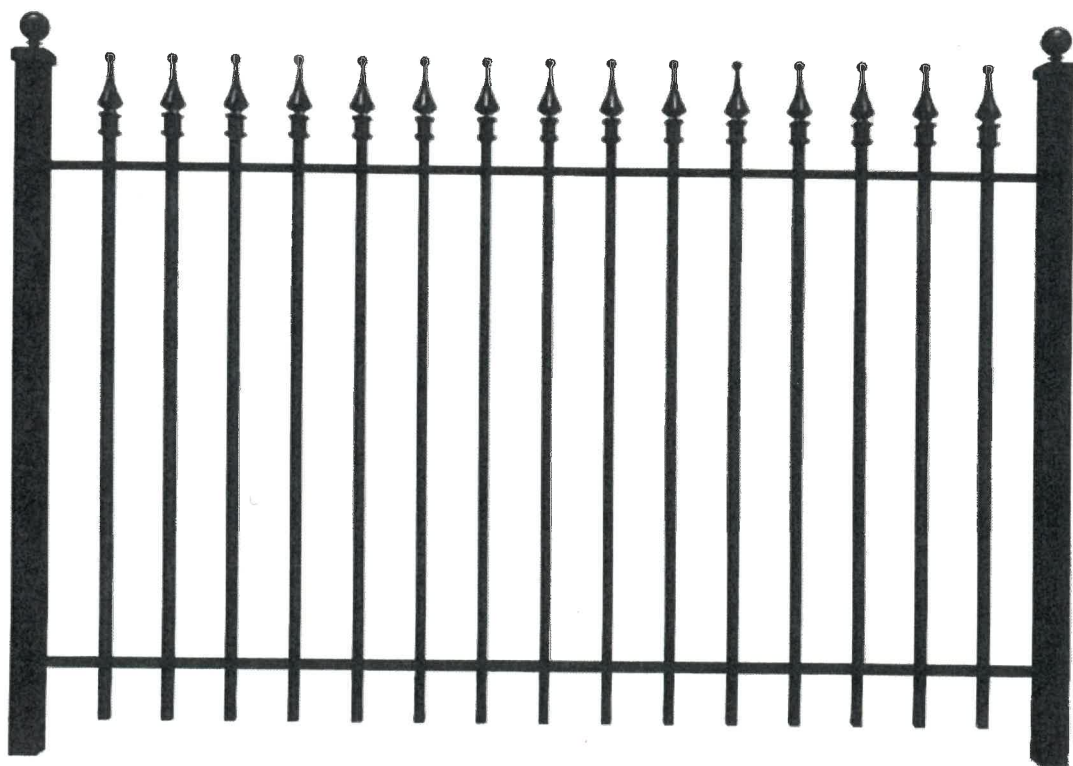
 18MO NO INTEREST FINANCING (/FINANCING)

[MENU](#)

## Wrought Iron Fence

Our Stronghold Iron® fencing is the obvious choice when you want that old world look with modern performance. Authentic sand cast iron finials adorn the top of each picket and are included as standard on every fence we sell. Each finial, picket / rail intersection and gate frame is fully welded for unsurpassed strength & security. We hot-dip galvanize every component for superior rust protection, then it's put through a multistage pretreatment wash and finally coated with a TGIC fade-resistant polyester powder coat finish. This thorough process allows us to issue a 25 Year Warranty. (<https://www.ironfenceshop.com/docs/IronWarranty.pdf?v=2>); one of the longest in the industry.

### Classic



*Our Classic iron fence is our best seller due to it's timeless look that goes with many different architectural designs. The Quad Flair Finial is sand cast rather than die cast resulting in a slightly rougher, more organic look and feel. As a proper fence should, each finial is welded to each picket NOT glued or screwed like the competition. Our most versatile fence; it will age like a fine wine and never go out of style.*

Ask us a question...



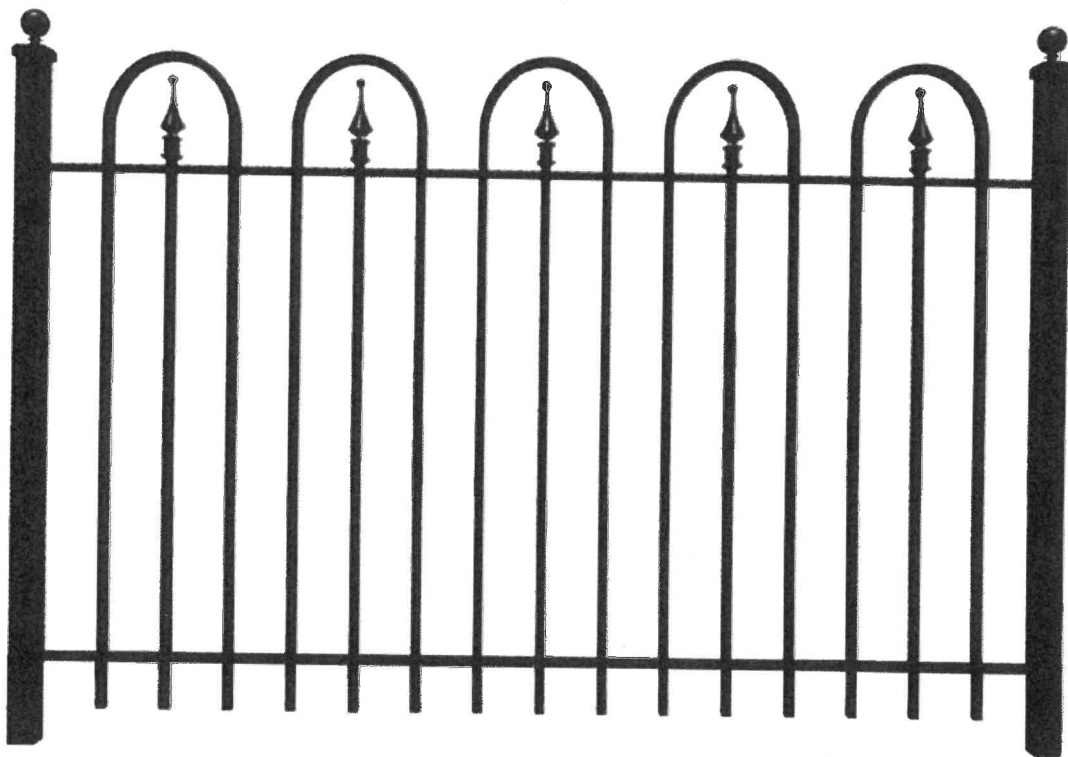
- [Installation \(/knowledge-center/diy-fence-installation-help\)](/knowledge-center/diy-fence-installation-help)
- [CAD Drawings \(/knowledge-center/cad-designs-ideas?field\\_material\\_value=iron&field\\_style\\_value=01&field\\_grade\\_value=All&field\\_part\\_type\\_value=All\)](/knowledge-center/cad-designs-ideas?field_material_value=iron&field_style_value=01&field_grade_value=All&field_part_type_value=All)
- [Specs & Warranty \(/knowledge-center/fence-specifications\)](/knowledge-center/fence-specifications)
- [Video Library \(/knowledge-center/iron-fence-shop-videos\)](/knowledge-center/iron-fence-shop-videos) • [Testimonials \(/knowledge-center/testimonials\)](/knowledge-center/testimonials)
- [Add-on Decorations \(https://blog.ironfenceshop.com/?s=decorations\)](https://blog.ironfenceshop.com/?s=decorations)

**GET A QUOTE (/IRON-FENCE-PRICE-QUOTE)**

 **VIEW PRICES (/SITES/DEFAULT/FILES/DOCUMENTS/PRICE\_BOOK\_APR2019.PDF)**



## Hoop and Picket



*Our Hoop & Picket iron fence is the quintessential style that most people think of when you say wrought iron fence. Our craftsman bend each hoop by hand over a picket that has our quad flair finial welded to it; completing this vintage look. Although seen in the front yards of most southern homes and around family cemeteries, it is also popular around playgrounds, patios and on top of walls.*

**AVAILABLE GRADES:**

Ask us a question...

?

- [Specs & Warranty \(/knowledge-center/fence-specifications\)](/knowledge-center/fence-specifications)
- [Video Library \(/knowledge-center/iron-fence-shop-videos\)](/knowledge-center/iron-fence-shop-videos)
- [Testimonials \(/knowledge-center/testimonials\)](/knowledge-center/testimonials)
- [Add-on Decorations \(https://blog.ironfenceshop.com/?s=decorations\)](https://blog.ironfenceshop.com/?s=decorations)

**GET A QUOTE (/IRON-FENCE-PRICE-QUOTE)**

**📄 VIEW PRICES (/SITES/DEFAULT/FILES/DOCUMENTS/PRICE\_BOOK\_APR2019.PDF)**



## Why buy our Stronghold Iron®?

Our fences aren't just built. Our fences are hand forged and made to last a lifetime. It's our goal to provide you with superior products, service, satisfaction and of course distinction. Here are a few more reasons why our Stronghold Iron® is the right choice for your project:



### **RUST PROTECTION**

We use galvanized metal for superior rust protection.



### **25 YEAR WARRANTY**

The longest warranty in the iron industry.



### **WELDED FINIALS**

Welded cast-iron finial tips at no additional cost.



### **UV FADE RESISTANCE**

High Quality TGIC Powder Coat Finish with UV Fade Inhibitors

### **QUALITY CONSTRUCTION**

Fully Welded Construction on all Iron Pieces.

### **UNBEATABLE STRENGTH**

Iron is the Strongest Type of Fence Available.

Ask us a question...



**How soon will I receive my fence after ordering?** +

**How much does shipping an iron fence cost?** +

**Why choose iron over other types of fence?** +

**How is your iron fence better than others I can find online or locally?** -

When we designed our Stronghold Iron product line, we tried to fill in the quality gaps left by our competitors. Some examples of what sets us apart are:

**Rust-Inhibition and Finish**

- Our Stronghold Iron stock is hot-dipped galvanized. This means that you have rust protection inside and out on our iron pieces whereas our competitors typically only primer the outside with a thin e-coat.
- All constructed fence panels, posts and gates receive a 4-stage pre-treatment and wash to rid them of impurities before applying a polyester TGIC powder coat finish. Our TGIC powder coating has UV fade inhibitors as part of the formulation to keep your fence looking good for decades to come and not fading or 'chalking' after being up a few months.

**Construction and Appearance**

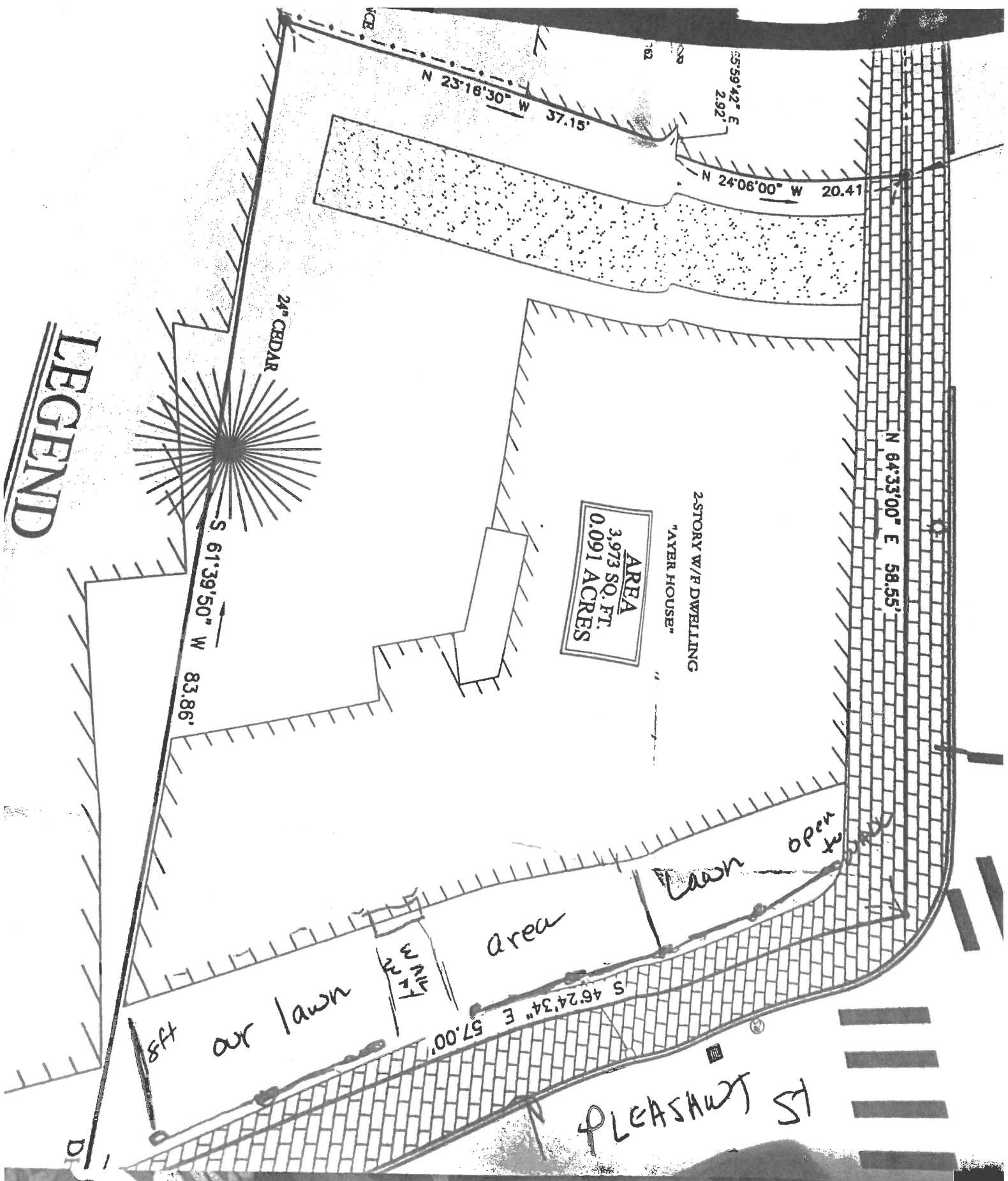
- All of our fences and gates come with iron finial tips welded on standard. Our competitors charge extra for finials or have cheap pinch-tops. We feel finials are essentially the most iconic element of an iron fence. When you add on the optional cost of finial tips to our competitor's fence, they actual cost much more than ours and give you lesser quality components!
- Our finial tips are true cast-iron pieces that are welded to the fence or gate picket. Our competitor's optional finials are made of either thin aluminum or worse, plastic and pressed on whereas ours are welded on.
- All our iron pieces feature a fully welded construction. No screws or rivets holding it all together.
- Our walk gates feature a fully boxed U-frame that is welded square to prevent the gate from ever sagging. None of our competitors offer this standard.

**What is the difference between 'Traditional' and 'Signature' grade iron?** +

**Do I need a Traditional or Signature grade iron fence for my project?** +



# LEGEND





#### 4. 110 Brewery lane, Unit C 105 - Recommended Approval

Background: The applicant is seeking approval for the installation of a retractable awning system and exterior heating and lighting for a previously approved patio space.

Staff Comment: Recommended Approval

#### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_




## Historic District Commission Work Session or Administrative Approval Application

# LUHD-190

Status: Active

Submitted: Sep 01, 2020

### Applicant

 Brendan Vesey  
 6032757498  
 bvesey@gmail.com

### Location

110 BREWERY LN  
 C 105  
 Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Administrative Approval

## Project Information

### Brief Description of Proposed Work

Addition of retractable awning and exterior heating/lighting to previously approved patio

### Description of Proposed Work (Planning Staff)

--

## Project Representatives

<b>Email Address</b> bvesey@gmail.com	<b>State</b> NH
<b>Phone</b> 603-275-7498	<b>Full Name (First and Last)</b> Brendan Vesey
<b>Relationship to Project</b> Owner	<b>Mailing Address (Street)</b> 110 Brewery Lane Suite 105
<b>Zip Code</b> 03801	<b>Business Name (if applicable)</b> Botanica
<b>If you selected "Other", please state relationship to project.</b> --	<b>City/Town</b> Portsmouth

## Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

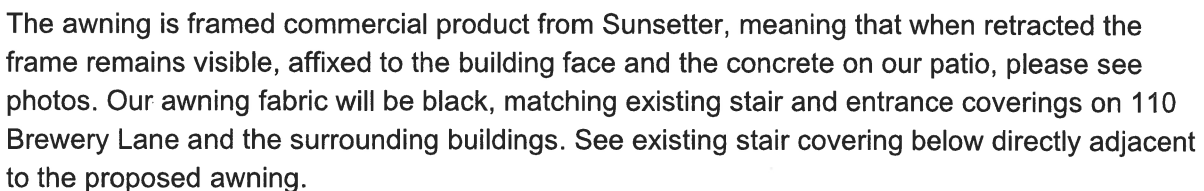
Other

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

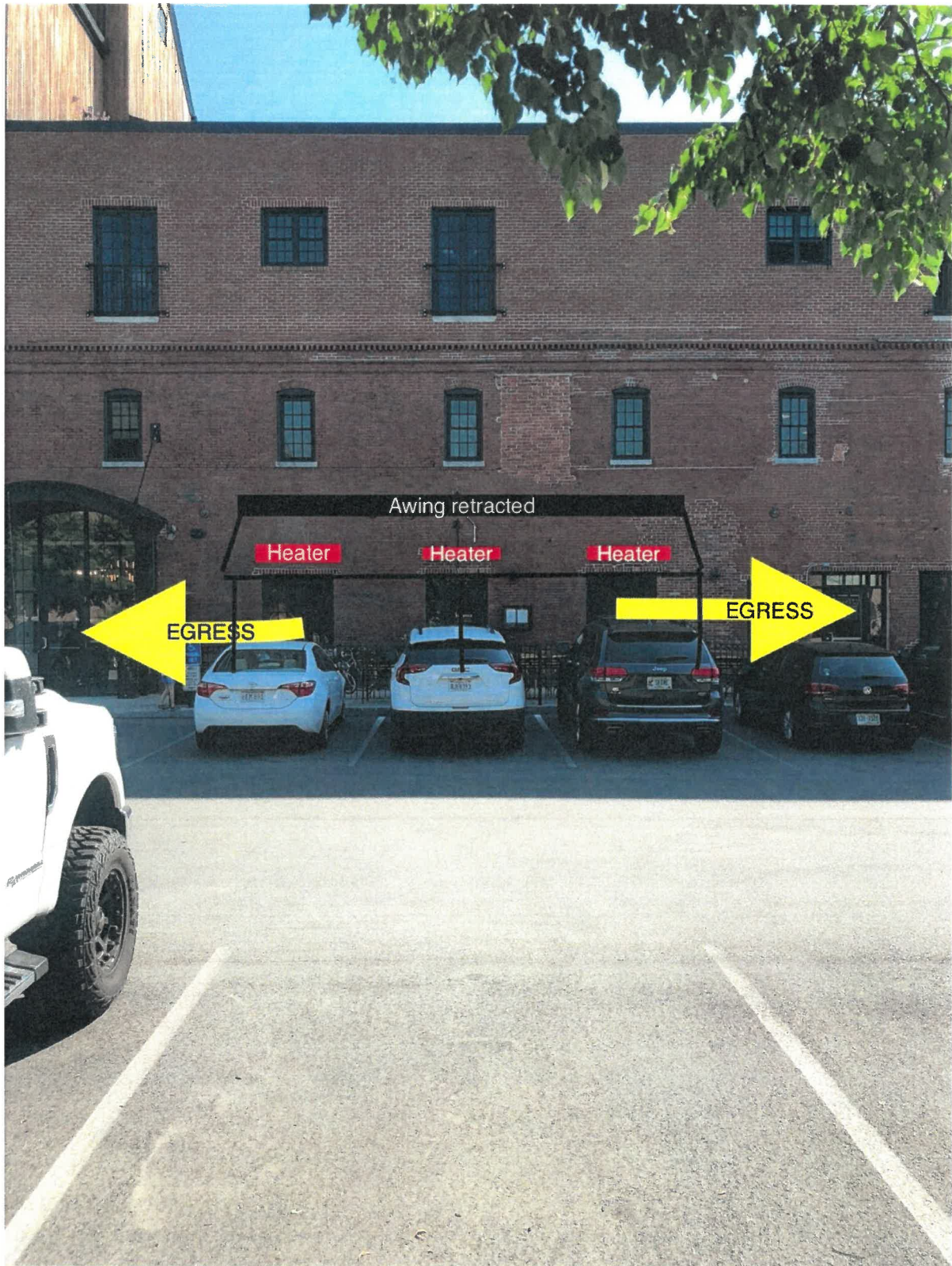
If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Commercial Tennant, owner has approved project











In addition to the overhead canopy we are asking for permission to install a retractable side screen system, that will block wind and trap heat.



For seasonal heating we are seeking to install commercial electric heaters on the building face that will cast down on the seated guests. All electrical work will be permitted and installed by a Master Electrician. When not in use, the heaters will tuck nicely under the closed awning case. This photo is just to show the appearance of a similar heater against a similar building facade.



Our heaters will be hard wired without the visible cord shown in this photo.





Life safety considerations-

1. We are not seeking to increase our current capacity, just to allow for maximum social distancing and respond to diners desire to eat outdoors whenever possible
2. The awning is made of commercial fire retardant material
3. The minimum safe distance from the awning to the heater is 1ft. We plan to mount heaters at the optimal recommended 8ft from the ground and the awning will mount at 11ft, giving us 3ft of space between the two.
4. Current egress route will not be altered, as the side screens on the awning will have a 3ft opening on either side of the awning.

# Historic District Commission

## Staff Report – September 2<sup>nd</sup> & 9<sup>th</sup>, 2020

### Sept. 2<sup>nd</sup> MEETING

#### **ADMINISTRATIVE ITEMS:**

1. 284 New Castle Ave. (siding) - Recommended for Approval
2. 65 Rogers Street (HVAC) - Recommended for Approval

#### **Extension Request:**

1. 15 Mt. Vernon St.

#### **PUBLIC HEARINGS – OLD BUSINESS:**

- A. 35 Howard Street (LU-20-130) (windows)
- B. 458 Marcy Street (LU-20-137) (windows)

#### **PUBLIC HEARINGS – NEW BUSINESS:**

1. 41 Market St. (LUHD-173) (façade improvements)

#### **WORK SESSIONS – OLD BUSINESS:**

- A. 45 Market St. (LUHD-172) (façade improvements)

### Sept. 9<sup>th</sup> MEETING

#### **ADMINISTRATIVE ITEMS:**

Administrative Approvals: Pending

#### **PUBLIC HEARINGS – NEW BUSINESS:**

1. 232 South St. (LUHD-169) (siding, trim, steps and windows)

#### **WORK SESSIONS – OLD BUSINESS:**

- A. 132-134 Middle St. (LUHD-141) (façade & roof)

#### **WORK SESSIONS – NEW BUSINESS:**

1. 57 Salter St. (LUHD-180) (windows and porches)
2. 50 New Castle Ave. (LUHD-185) (addition)
3. 553-559 Islington St. (LUHD-186) (rear addition)





LOCATOR MAP

# HISTORIC DISTRICT COMMISSION

MEETING DATE: September 2<sup>nd</sup> and 9<sup>th</sup>, 2020

APPLICATIONS: 9



# Historic District Commission

Project Evaluation Form: **35 HOWARD STREET (LU-20-32)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #A**

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: GRB
  - Land Use: Two-Family
  - Land Area: 3,500 SF +/-
  - Estimated Age of Structure: c.1858
  - Building Style: Colonial
  - Number of Stories: 2.5
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Howard Street
  - Unique Features: NA
  - Neighborhood Association: South End

**B. Proposed Work:** To replace 10 existing windows

- C. Other Permits Required:**
- |   |   |                                       |
|---|---|---------------------------------------|
| <input type="checkbox"/> Board of Adjustment          | <input type="checkbox"/> Planning Board                     | <input type="checkbox"/> City Council |
| <input checked="" type="checkbox"/> Condo Association | <input checked="" type="checkbox"/> Abutting Property Owner |                                       |

- D. Lot Location:**
- |  |                                   |   |
|--|-----------------------------------|---|
| <input type="checkbox"/> Terminal Vista            | <input type="checkbox"/> Gateway  | <input checked="" type="checkbox"/> Mid-Block |
| <input type="checkbox"/> Intersection / Corner Lot | <input type="checkbox"/> Rear Lot |   |

- E. Existing Building to be Altered/ Demolished:**
- |   |                                    |   |
|---|------------------------------------|---|
| <input checked="" type="checkbox"/> Principal | <input type="checkbox"/> Accessory | <input type="checkbox"/> Significant Demolition |
|---|------------------------------------|---|

- F. Sensitivity of Neighborhood Context:**
- |   |   |  |  |
|---|---|--|--|
| <input type="checkbox"/> Highly Sensitive | <input checked="" type="checkbox"/> Sensitive | <input type="checkbox"/> Low Sensitivity | <input type="checkbox"/> “Back-of-House” |
|---|---|--|--|

- G. Design Approach (for Major Projects):**
- |  |
|--|
| <input type="checkbox"/> Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street) |
| <input type="checkbox"/> Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)      |
| <input type="checkbox"/> Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)              |
| <input type="checkbox"/> Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)         |

- H. Project Type:**
- |   |
|---|
| <input type="checkbox"/> Consent Agenda (i.e. very small alterations, additions or expansions)      |
| <input checked="" type="checkbox"/> Minor Project (i.e. small alterations, additions or expansions) |
| <input type="checkbox"/> Moderate Project (i.e. significant additions, alterations or expansions)   |
| <input type="checkbox"/> Major Project (i.e. very large alterations, additions or expansions)       |

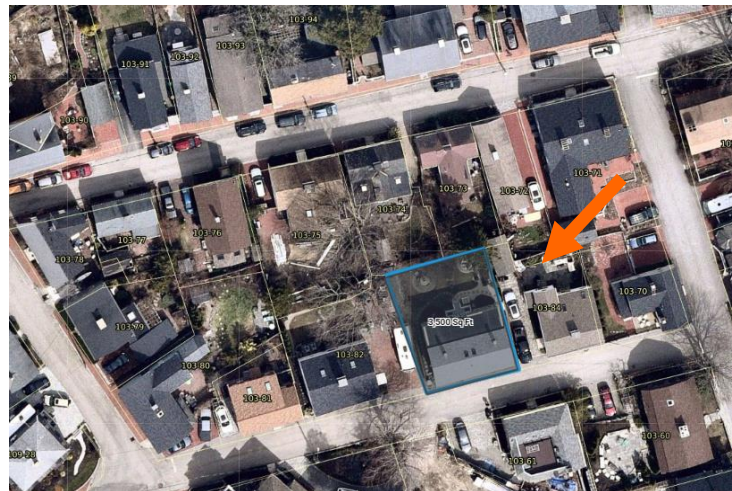
- I. Neighborhood Context:**
- This contributing historic structure is located along Howard Street in the South End and is surrounded with many other wood and brick, 2-3 story contributing structures with no front yard setbacks on narrow lots.
- J. Previous HDC Comments and Suggestions:**
- The HDC has not previously reviewed this application.
- K. Application Scope of Work, Staff Comments and Suggestions for Consideration:**
- To replace 5 front facing windows, 5 side facing windows and 3 rear facing windows with Green Mountain concealed balance replacement window or sash and balance with vinyl track replacement window. Windows will be replaced exactly as they are. 9 are currently 6/6 and will remain that way. 3 are 2/2 and will remain that way and 1 is 6/4 and will remain that way. According to the applicant, the windows are approximately 110 years old and in fair to poor condition. Consistent with the Design Guidelines the applicant was directed to also explore window restoration as a preferred alternative.
  - The applicant will likely need additional time to review and consult with the list of window restoration consultants we provided. Thus, this item will likely be continued to the October meeting.

**Design Guideline Reference – Guidelines for Exterior Woodwork (05) and Windows & Doors (08).**

**L. Proposed Design, 3d Massing View and Aerial View:**



Proposed Design and 3D Massing Model Image



Aerial View

HISTORIC  
SURVEY  
RATING

C

35 HOWARD STREET (LU-20-32) – PUBLIC HEARING #A (MINOR)											
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 35 HOWARD ST. Case No.:A Date:9-2-20</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> With Drawn</div>			
STAFF	No.	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)				
	No.	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)							
	1	Gross Floor Area (SF)		<div>MINOR PROJECT</div> <div>– Replace 10 Windows –</div>							
	2	Floor Area Ratio (GFA/ Lot Area)									
	3	Building Height / Street-Width Ratio									
	4	Building Height – Zoning (Feet)									
	5	Building Height – Street Wall / Cornice (Feet)									
	6	Number of Stories									
7	Building Coverage (% Building on the Lot)										
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS					
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
			34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
			35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No





# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

458 MARCY STREET (LU-20-137)

CERTIFICATE OF APPROVAL

PUBLIC HEARING #B

- Existing Conditions:
- Zoning District: GRB
  - Land Use: Single Family
  - Land Are: 2,860 SF +/-
  - Estimated Age of Structure: c.1895
  - Building Style: Stick Style
  - Historical Significance: NA
  - Public View of Proposed Work: View from Marcy Street
  - Unique Features: NA
  - Neighborhood Association: South End

B. Proposed Work: To replace all windows.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council
- ☐ Condo Association
- ☐ Abutting Property Owner

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☐ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing structure is located behind a recently constructed garage along Marcy Street. It is surrounded with many wood 2 -2.5 story structures with shallow or no front yards and small side with larger rear garden areas along the waterfront.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

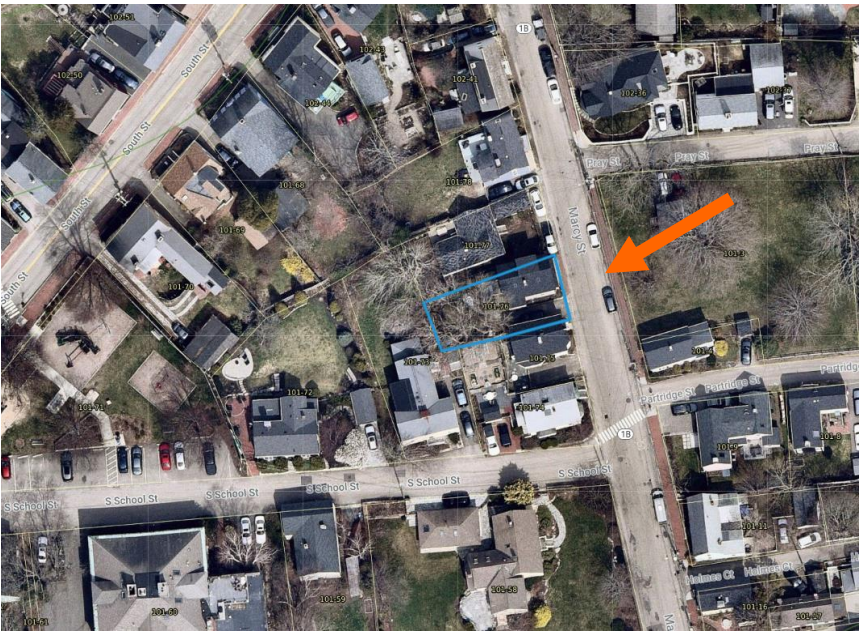
- Replace all the windows in the structure. Note that the Applicant has assessed the windows and determined that they are all replacement windows that are in poor condition. As such, it would be helpful for any commissioners to view the street-facing windows in advance of the meeting to confirm. The applicant has also researched and consulted with alternative window manufacturers and will present this information and the associated tradeoffs.

Design Guideline Reference – Guidelines for Roofing (04), Exterior Woodwork (05), Masonry & Stucco (07) and Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Aerial Map

HISTORIC  
SURVEY  
RATING  
  
C



458 MARCY STREET (LU-20-137) – PUBLIC HEARING #B (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – Replace All Windows –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 458 MARCY ST. Case No.: B Date: 9-2-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: **41 MARKET ST. (LUHD-173)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #1**

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: CD5
  - Land Use: Commercial
  - Land Area: 1,650 SF +/-
  - Estimated Age of Structure: c.1780/1880
  - Building Style: High Victorian
  - Number of Stories: 4.0
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Market Street
  - Unique Features: Contributing
  - Neighborhood Association: Downtown

**B. Proposed Work:** To renovate the attic and upper floors.

- C. Other Permits Required:**
- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council
- ☐ Condo Association
- ☐ Abutting Property Owner

- D. Lot Location:**
- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

- F. Sensitivity of Neighborhood Context:**
- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

- G. Design Approach (for Major Projects):**
- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, AC Hotel)

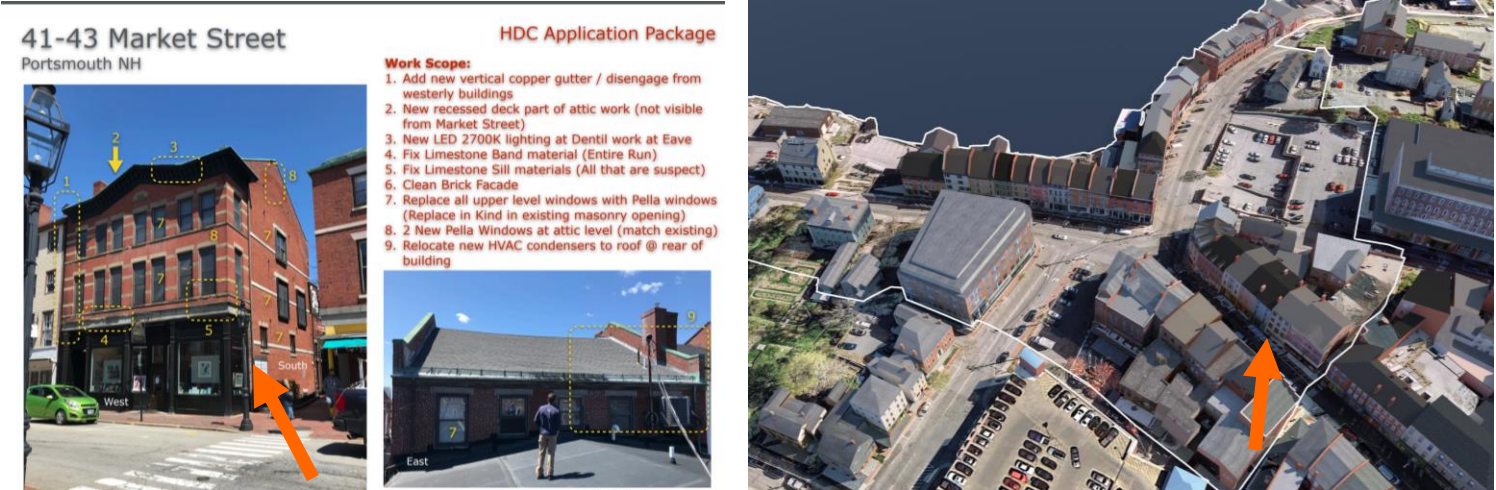
- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

- I. Neighborhood Context:**
- This non-contributing addition is located along Market Street and Commercial Alley. It is surrounded with other wood- and brick-clad, multi-story contributing buildings. Buildings along Market Street have no front yard setback and no side yards and shallow rear yards connected with alleyways to Penhallow Street.

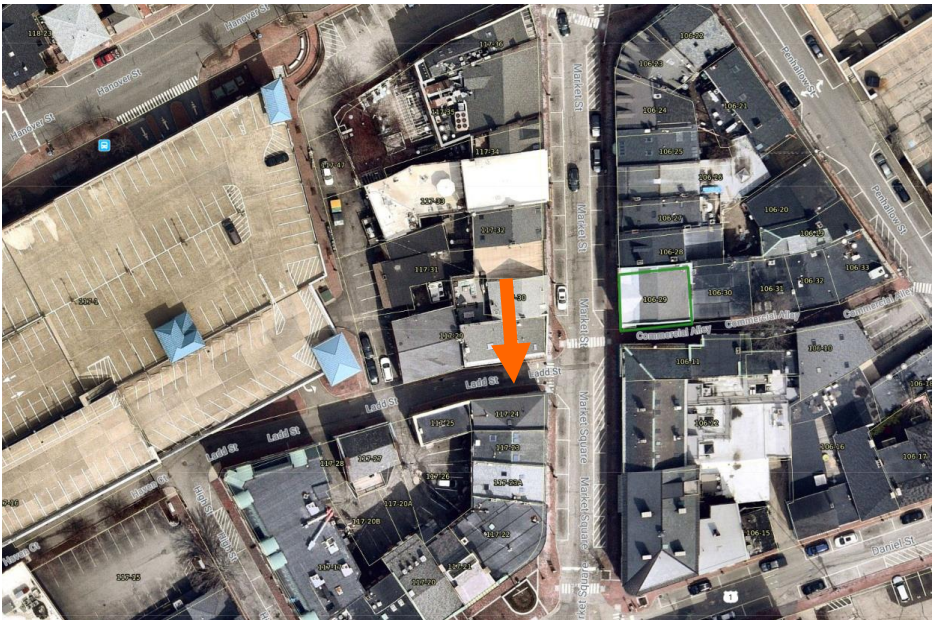
- J. HDC & Staff Comments and Suggestions for Consideration:**
- This application proposed to add a new vertical copper gutter and downspout system, a new recessed roof deck on the rear elevation, and repairs to the limestone banding and sills as well as replacing the upper level windows and relocating the HVAC condensers to the roof on the rear elevation. The windows will be changed to 2/2 (with a half-screen) as requested by the Commission and the applicant will show how the puck lighting will look on the building. A soffit section will also be added.

**Design Guideline Reference – Guidelines for Masonry & Stucco (07), Porches, Stoops and Decks (6), and Windows and Doors (08).**

**K. Proposed Design, Street View and Aerial View:**



Street View Image of Existing Conditions & 3D Massing Model



Aerial View

HISTORIC  
SURVEY  
RATING

C



41 MARKET STREET (LUHD-173) – PUBLIC HEARING #1 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– Façade Improvements, Rear Deck and HVAC Condensers –</div>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 41 MARKET ST. Case No.:1 Date:9-2-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

# Historic District Commission

Project Evaluation Form: **45 MARKET STREET (LUHD-172)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **WORK SESSION #B**

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: CD5
  - Land Use: Mixed-Use
  - Land Area: 1,445 SF +/-
  - Estimated Age of Structure: c.1800
  - Building Style: Federal
  - Number of Stories: 4.5
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Market Street
  - Unique Features: NA
  - Neighborhood Association: Downtown

**B. Proposed Work:** To fully renovate the façade and upper floors of the building.

**C. Other Permits Required:**

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council
- ☐ Condo Association
- ☐ Abutting Property Owner

**D. Lot Location:**

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This contributing historic structure is located along Market Street and is surrounded with many other brick and wood-sided, multi-story contributing structures. All the buildings have little no front yard setback, shallow rear yards and off-street parking is limited.

**J. Previous HDC Comments and Suggestions:**

- The HDC has not previously reviewed this application.

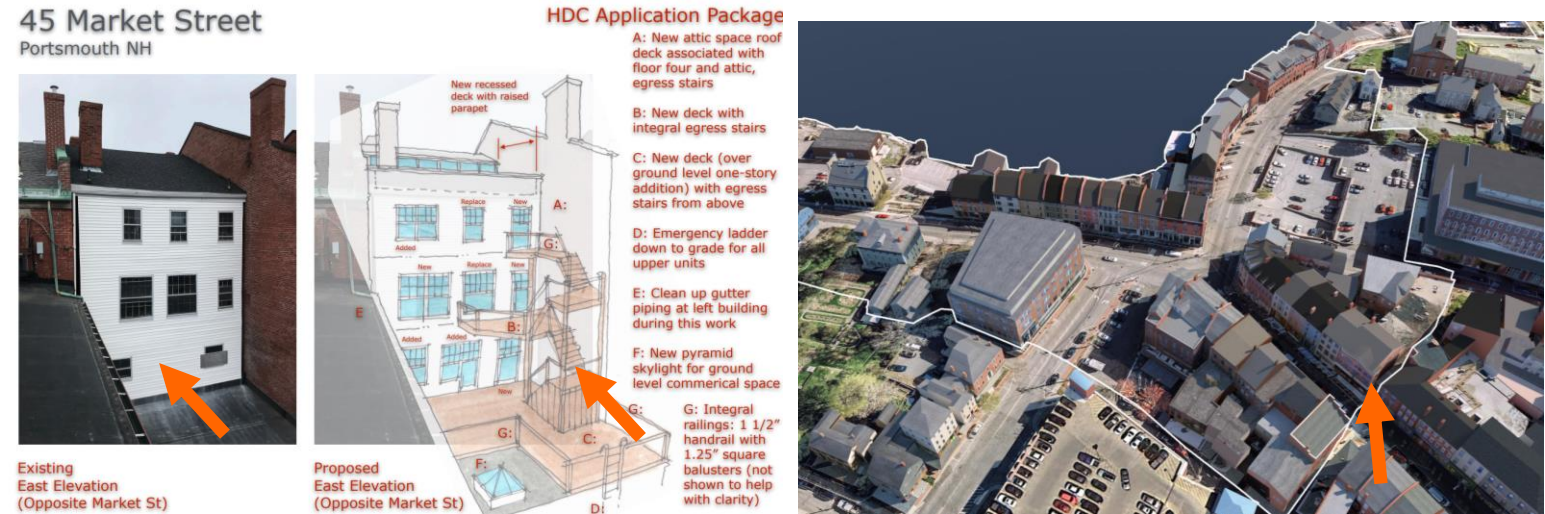
**K. Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

- Replace the vinyl and wood façade components, install new windows and update the storefront. Copper rain gutters will be added as well as new signs, lighting and a recessed roof deck on the rear elevation.
- The HDC requested the applicant explore a wooden storefront system or of cast iron. Additional information was requested on the parapet as the rear roof deck may be too prominent a break in the relatively continuous cornice line of the Market Street buildings.
- The applicant should also communicate with the abutter who has questioned the access and easement rights potentially needed for the project.

**Design Guideline Reference – Exterior Woodwork (05), Porches, Stoops and Decks (06), & Windows & Doors (08).**

**L. Proposed Design, 3d Massing View and Aerial View:**



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C



45 MARKET STREET (LUHD-172) – WORK SESSION #B (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– Façade Improvements and Renovation of the Upper Floors –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 45 MARKET STREET Case No.: B Date: 9-2-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

232 SOUTH STREET (LUHD-169)  
CERTIFICATE OF APPROVAL  
WORK SESSION/ PUBLIC HEARING #1

- Existing Conditions:
- Zoning District: SRB
  - Land Use: Two- Family
  - Land Area: 7,890 SF +/-
  - Estimated Age of Structure: c.1870
  - Building Style: Vernacular
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from South Street
  - Unique Features: NA
  - Neighborhood Association: South End

B. Proposed Work: To replace siding, trim, windows and steps.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council
- ☐ Condo Association
- ☐ Abutting Property Owner

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The building is located along South Street. It is surrounded with many contributing 2.5 story structures with shallow setbacks and small side yards and larger rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Renovate the structure with new siding, trim and roof as well as new windows, granite steps and a 340 SF addition to the rear of the structure.
- The HDC requested alternative designs for the spiral staircase and updated elevations showing the skirting under the decks on both sides.

Design Guideline Reference – *Small Scale New Construction & Additions (10), Exterior Woodwork (05), & Windows & Doors (08).*

K. Aerial Image, Street View and Zoning Map:



Proposed Elevation and Street View Image



Aerial Map

HISTORIC  
SURVEY  
RATING  
  
C



232 SOUTH STREET (LUHD-169) – WORK SESSION #1 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	No		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
		GENERAL BUILDING INFORMATION						
	1	Gross Floor Area (SF)	MODERATE PROJECT – Replace Siding, Trim and Stairs and add a New Rear Addition –					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
6	Number of Stories							
7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM  
PORTSMOUTH HISTORIC DISTRICT COMMISSION  
PROPERTY: 232 SOUTH STREET Case No.: 1 Date: 9-9-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

# Historic District Commission

**Project Evaluation Form:**     **132-134 MIDDLE STREET (LUHD-105)**  
**Permit Requested:**            **CERTIFICATE OF APPROVAL**  
**Meeting Type:**                 **WORK SESSION #A**

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: CD4-L1
  - Land Use: Mixed-Use
  - Land Area: 11,060 SF +/-
  - Estimated Age of Structure: c.1865
  - Building Style: Mansard
  - Number of Stories: 3.0
  - Historical Significance: Focal
  - Public View of Proposed Work: View from Middle Street & Haymarket Square
  - Unique Features: The Parrot House is a Focal building
  - Neighborhood Association: Downtown

**B. Proposed Work:** To repoint brick, replace the roof & made entryway improvements

- C. Other Permits Required:**
- |   |   |                                       |
|---|---|---------------------------------------|
| <input checked="" type="checkbox"/> Board of Adjustment | <input checked="" type="checkbox"/> Planning Board          | <input type="checkbox"/> City Council |
| <input type="checkbox"/> Condo Association              | <input checked="" type="checkbox"/> Abutting Property Owner |                                       |

- D. Lot Location:**
- |  |                                   |   |
|--|-----------------------------------|---|
| <input type="checkbox"/> Terminal Vista            | <input type="checkbox"/> Gateway  | <input checked="" type="checkbox"/> Mid-Block |
| <input type="checkbox"/> Intersection / Corner Lot | <input type="checkbox"/> Rear Lot |   |

- E. Existing Building to be Altered/ Demolished:**
- |   |                                    |   |
|---|------------------------------------|---|
| <input checked="" type="checkbox"/> Principal | <input type="checkbox"/> Accessory | <input type="checkbox"/> Significant Demolition |
|---|------------------------------------|---|

- F. Sensitivity of Neighborhood Context:**
- |  |                                    |  |  |
|--|------------------------------------|--|--|
| <input checked="" type="checkbox"/> Highly Sensitive | <input type="checkbox"/> Sensitive | <input type="checkbox"/> Low Sensitivity | <input type="checkbox"/> “Back-of-House” |
|--|------------------------------------|--|--|

- G. Design Approach (for Major Projects):**
- |   |
|---|
| <input checked="" type="checkbox"/> Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street) |
| <input type="checkbox"/> Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)                 |
| <input type="checkbox"/> Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)                         |
| <input type="checkbox"/> Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, AC Hotel)                    |

- H. Project Type:**
- |  |
|--|
| <input type="checkbox"/> Consent Agenda (i.e. very small alterations, additions or expansions)               |
| <input type="checkbox"/> Minor Project (i.e. small alterations, additions or expansions)                     |
| <input checked="" type="checkbox"/> Moderate Project (i.e. significant additions, alterations or expansions) |
| <input type="checkbox"/> Major Project (i.e. very large alterations, additions or expansions)                |

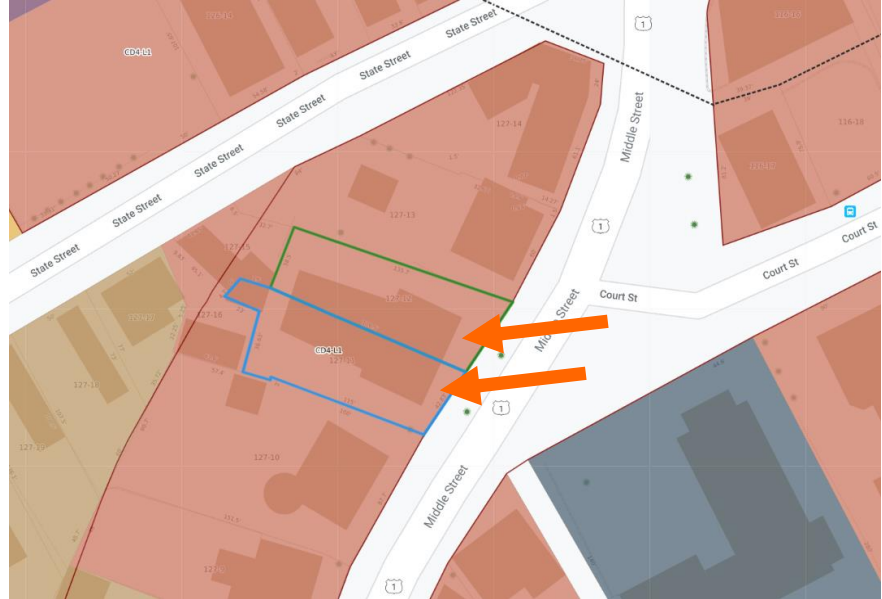
- I. Neighborhood Context:**
- This focal historic structure is located along historic Haymarket Square and is surrounded with many other contributing and focal brick or wood-sided historic buildings between 2.5-3 stories in height. Note that he structure is located on two separate lots.
- J. Previous HDC Comments and Suggestions:**
- The HDC has reviewed this application and requested the applicant either explore reusing existing slate shingles from the rear addition for the front façade or using the faux slate shingles. The asphalt shingles were not supported by a majority of the Commission given the location, prominence and focal status of the building. The Applicant was asked to also clarify the techniques proposed for restoration or replacement of the brownstone quoins and stairs.
- K. Staff Comments and Suggestions for Consideration:**
- The applicant is currently working on undertaking an assessment of the brownstone and the feasibility of reusing any fish-scaled slate located on the rear section of the building. Additionally, the applicant is evaluating alternative roofing products such as the faux slate proposed earlier in the review process. Given the complexity of the project, a continuance of this application is likely.

**Design Guideline Reference – Guidelines for Exterior Maintenance (03), Roofing (04), Exterior Woodwork (05), Masonry and Stucco (07) and Windows & Doors (08).**

**L. Proposed Design, 3d Massing View and Aerial View:**



Street View Image of Existing Conditions & 3-D Massing Model



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**F**



132-134 MIDDLE STREET (LUHD-105) – WORK SESSION #A (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – Replace Roof & Trim, Repoint Brick and Replace Front Entryway –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 132-134 MIDDLE ST Case No.:A Date:9-9-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

57 SALTER STREET (LUHD-180)  
CERTIFICATE OF APPROVAL  
WORK SESSION #1

A. Property Information - General:

- Existing Conditions:
- Zoning District: WB
  - Land Use: Single Family
  - Land Area: 10,700 SF +/-
  - Estimated Age of Structure: c.1800
  - Building Style: Federal
  - Historical Significance: C
  - Public View of Proposed Work: View from Salter Street & Riverfront
  - Unique Features: Outbuilding
  - Neighborhood Association: South End

B. Proposed Work: To add new porch, replace windows and remove skylights.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very significant alternations, additions or expansions)

I. Neighborhood Context:

- This contributing structure is located along the end of Salter Street along the Piscataqua River. It is surrounded with 2-2.5 story wood-sided historic structures with shallow to no front yard setbacks.

J. Background & Suggested Action:

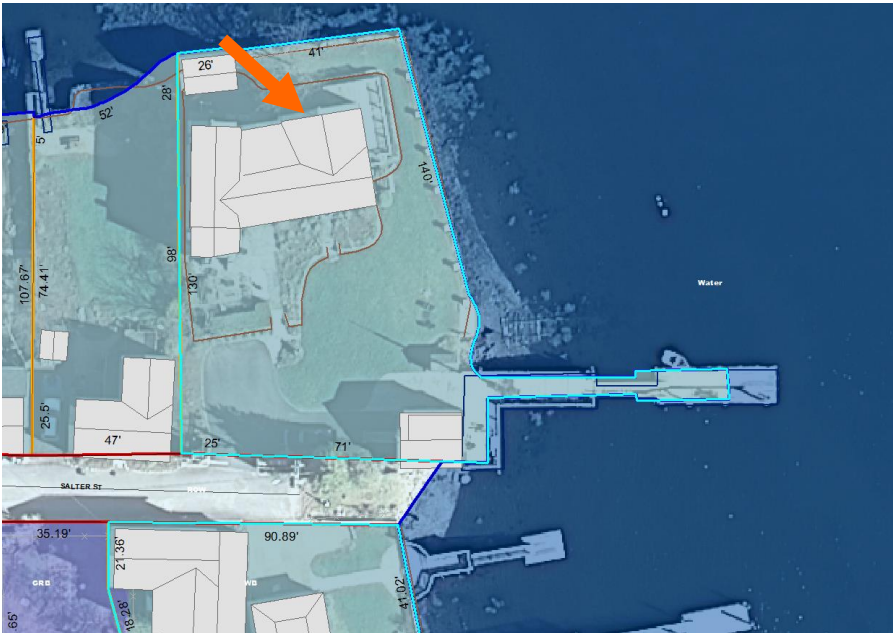
- The applicant proposed to:
- Add a new side entry porch and recessed porches on the rear elevation.
  - Resize and replace the windows.
  - Remove the skylights.

Design Guideline Reference – *Guidelines for Roofing (04), Exterior Woodwork (06), Windows and Doors (08), and Site Elements and Streetscapes (09)*

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C



57 SALTER STREET (LUHD-180) – WORK SESSION #1 (MODERATE PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - PORCH, WINDOWS AND SKYLIGHTS ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:57 SALTER ST. Case No:1 Date:9-9-20

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:  
2. Assessment of the Historical Significance:  
3. Conservation and enhancement of property values:

☐ Yes ☐ No  
☐ Yes ☐ No  
☐ Yes ☐ No

4. Maintain the special character of the District:  
5. Complement and enhance the architectural and historic character:  
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No  
☐ Yes ☐ No  
☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:  
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No  
☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:  
4. Comp of innovative technologies with surrounding properties:

☐ Yes ☐ No  
☐ Yes ☐ No

# Historic District Commission

**Project Address:** 50 NEW CASTLE AVE. (LUHD-185)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #2

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: SRB
- Land Use: Single-Family
- Land Area: 9,583 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Greek Revival
- Historical Significance: C
- Public View of Proposed Work: View from New Castle Ave. & Humphrey Ct.
- Unique Features: NA
- Neighborhood Association: South End

**B. Proposed Work:** Construct a rear addition with deck and replace siding, windows & roof.

**C. Other Permits Required:**

- ☐ Board of Adjustment    ☐ Planning Board    ☐ City Council  
☐ Condo Association    ☐ Abutting Property Owner

**D. Lot Location:**

- ☐ Terminal Vista    ☐ Gateway    ☐ Mid-Block  
☒ Intersection / Corner Lot    ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- ☒ Principal    ☐ Accessory    ☐ Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive    ☒ Sensitive    ☐ Low Sensitivity    ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☒ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- The building is located along the intersection of New Caste Ave. and Humphrey's Court. It is surrounded with many 2 to 2.5 story wood-sided structures with shallow front yard setbacks narrow side yards and deeper rear yards.

**J. Background & Suggested Action:**

- The applicant is proposing to:
- Construct a rear addition with a deck and patio; and
  - Renovate the existing structure with new siding, windows and roofing.

**Design Guideline Reference – Guidelines for Windows and Doors (08)and Small Scale New Construction and Additions (10).**

**K. Aerial Image, Street View and Zoning Map:**



Street View & Aerial Image




HOUSE ELEVATION FROM EAST  
Elevation

**HISTORIC  
SURVEY  
RATING**

**C**



50 NEW CASTLE AVE. (LUHD-185) – WORK SESSION #B (MODERATE PROJECT)										
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: <u>50 New Castle Ave.</u> Case No.: <u>C</u> Date: <u>9-9-20</u></div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div> <div><input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>		
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)		<div>MODERATE PROJECT</div> <div>– Rear Addition with Deck and Patio –</div>						
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
			Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

# Historic District Commission

**Project Address:** 553-559 ISLINGTON ST. (LUHD-186)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #3

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: CD4-L2
  - Land Use: Multi-Family
  - Land Area: 8,712 SF +/-
  - Estimated Age of Structure: c.1860
  - Building Style: Greek Revival
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Islington and Cass Streets
  - Unique Features: NA
  - Neighborhood Association: Islington Creek

**B. Proposed Work:** To install a new 2 ½ story rear addition.

**C. Other Permits Required:**

- ☐ Board of Adjustment      ☒ Planning Board      ☐ City Council

**D. Lot Location:**

- ☒ Terminal Vista      ☐ Gateway      ☒ Mid-Block  
☐ Intersection / Corner Lot      ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished/ Constructed:**

- ☒ Principal      ☐ Accessory      ☐ Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive      ☒ Sensitive      ☐ Low Sensitivity      ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☒ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The building is located Islington Street and is surrounded with many contributing structures as well as more recent commercial intrusions into the district. The neighborhood is predominantly 2 – 2 ½ story wood-sided structures on narrow lots with little to no setback from the sidewalk.

**J. Background, Comments & Suggested Action:**

- The applicant proposes to construct a 2 ½ story rear addition to support five residential units within the building.
- The project is also undergoing site plan review by the Technical Advisory Committee and the Planning Board,

**Design Guideline Reference – Guidelines Small Scale New Construction and Additions (10).**

**K. Aerial Images and Maps:**




Aerial and Streetview Image



Zoning Map

**HISTORIC  
SURVEY  
RATING  
  
C**



553-559 ISLINGTON STREET (LUHD 186) – WORK SESSION #3 (MODERATE PROJECT)									
INFO/ EVALUATION CRITERIA			SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: <u>553-559 Islington St.</u> Case No.: <u>3</u> Date: <u>9-9-20</u></div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>- 2 ½ Story Rear Addition -</div>						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
		8 <b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		9 <b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		10 <b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	11 <b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		12 <b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		16 <b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		18 <b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		19 Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		21 <b>Doors and windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		25 Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		27 <b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		30 <b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		31 <b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		32 <b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		33 <b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		34 <b>Garages/ Barns/ Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		SITE DESIGN	35 <b>Fence / Walls / Screenwalls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			36 <b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			37 <b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			38 <b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			39 <b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			40 <b>Screening/ Enclosures</b> (i.e. sheds, dumpsters...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



**Land Use Application****LU-20-174****Status:** Active**Submitted:** Aug 21, 2020**Applicant**

Lisa DeStefano



6034318701



info@destefanomaugel.com

**Location**232 SOUTH ST  
Portsmouth, NH 03801**Applicant Information****Please indicate your relationship to this project**F. Applicant's Representative Filing on behalf of C., D. or E.  
above**Alternative Project Address****Alternative Project Address**

--

**Project Type****Addition or Renovation:** any project (commercial or residential) that includes an **ADDITION** to an existing structure or a **NEW** structure on a property that already has structure(s) on it

true

**New Construction:** any project (commercial or residential) that involves adding a **NEW** structure on a parcel that is currently **VACANT**. If there are any existing structures on the property (even if you are planning to remove them), you should select **Addition and Renovation** above

--

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

--

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Other Site Alteration** requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

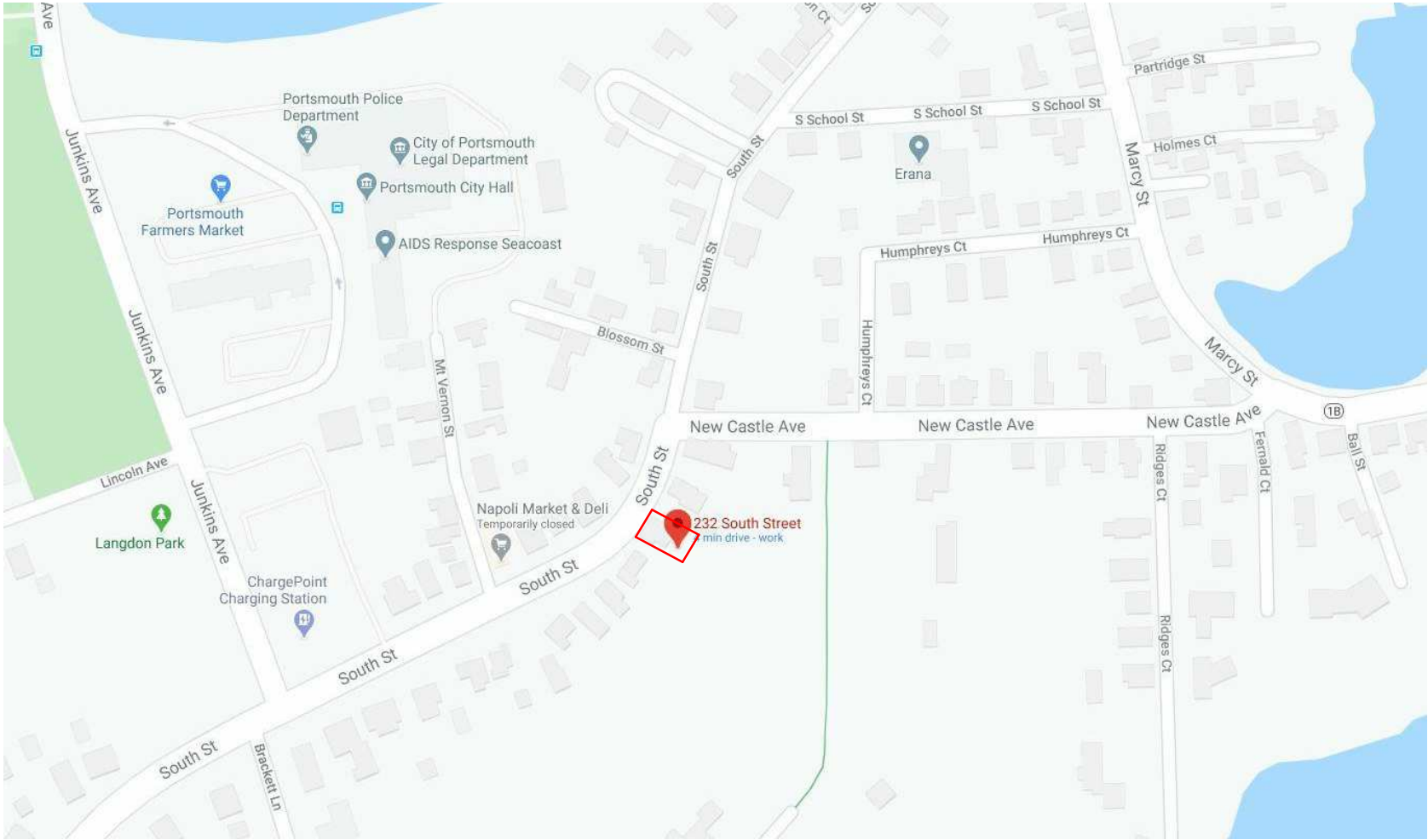
**Request for Extension of Previously Granted Land Use Approval**

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

--

PORSTMOUTH HISTORIC DISTRICT COMMISSION  
PUBLIC HEARING FOR IMPROVEMENTS  
232 SOUTH STREET, PORTSMOUTH, NH



LOCUS MAP



EXISTING VIEW FROM SOUTH STREET



PROPOSED VIEW FROM SOUTH STREET

SCOPE:

RENOVATION TO THE EXISTING 1,181 S.F. FOOTPRINT: NEW SIDING, NEW TRIM, NEW ROOF, NEW WINDOWS, NEW GRANITE STEPS. 340 S.F. ADDITION TO REAR OF EXISTING BUILDING.

232 SOUTH STREET  
PORTSMOUTH, NH

COVER SHEET

SHEET **1** OF 10  
SEPTEMBER 9, 2020

202020

D|M|A

DESTEFANO  
MAUGEL  
ARCHITECTS





VIEW FROM SOUTH STREET



VIEW FROM BACKYARD



PARTIAL VIEW FROM NORTH ELEVATION



PARTIAL VIEW OF NORTH ELEVATION



PARTIAL VIEW OF NORTH ELEVATION



PARTIAL VIEW OF SOUTH ELEVATION



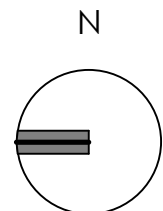
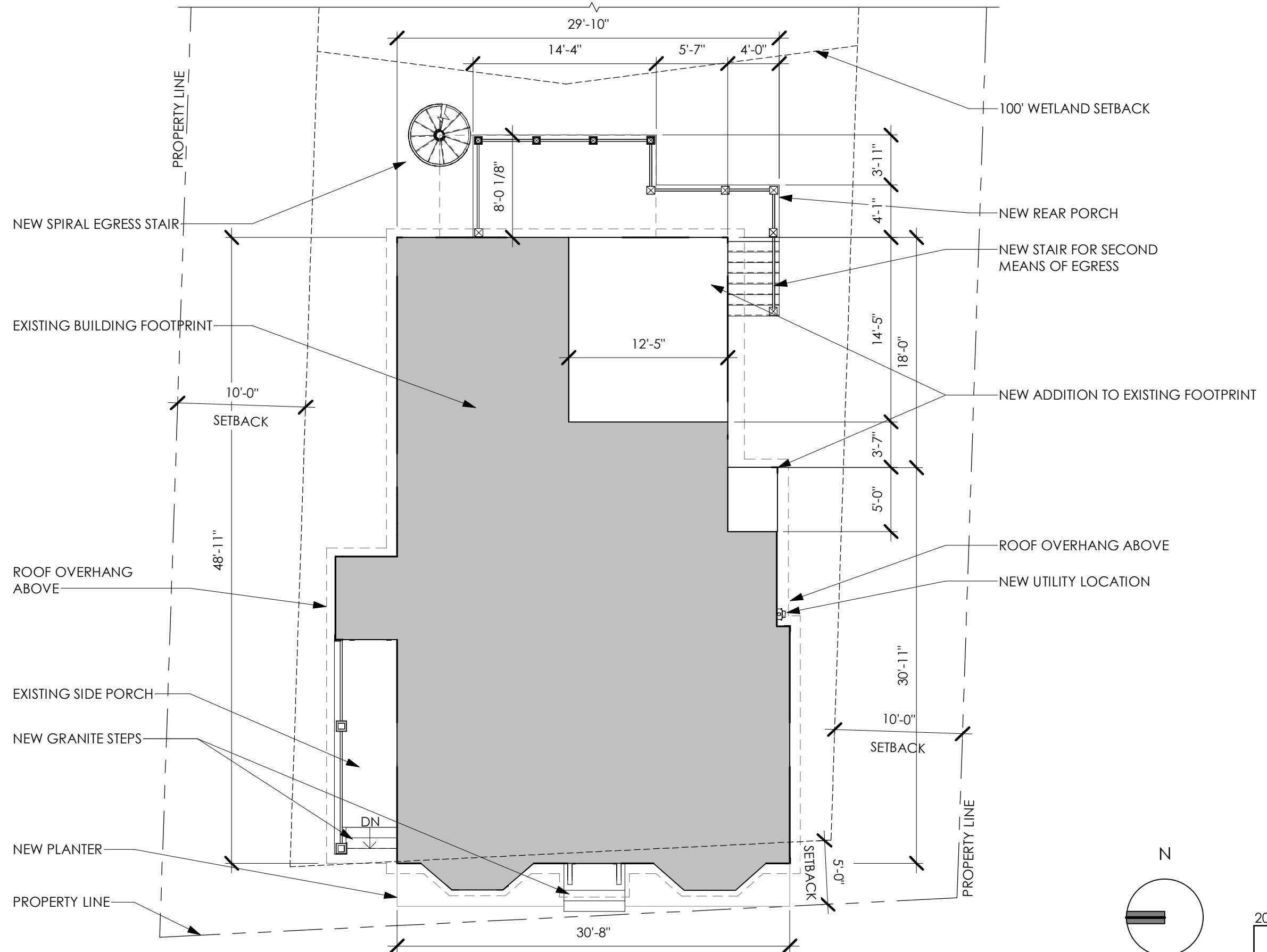
PARTIAL VIEW OF  
SOUTH ELEVATION

232 SOUTH STREET  
PORTSMOUTH, NH

EXISTING PHOTOS

SHEET **2** OF 10  
SEPTEMBER 9, 2020





232 SOUTH STREET  
PORTSMOUTH, NH

EXISTING/PROPOSED PLAN

1/8" = 1'-0"

SHEET **3** OF 10  
SEPTEMBER 9, 2020

202020  
**D|M|A**  
DESTEFANO  
MAUGEL  
ARCHITECTS

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EXISTING WEST ELEVATION 2  
1/8" = 1'-0"



EXISTING NORTH ELEVATION 1  
1/8" = 1'-0"

232 SOUTH STREET  
PORTSMOUTH, NH

EXISTING ELEVATIONS  
1/8" = 1'-0"

SHEET 4 OF 10  
SEPTEMBER 9, 2020



EXISTING SOUTH ELEVATION

1/8" = 1'-0"

2



EXISTING EAST ELEVATION

1/8" = 1'-0"

1



**GENERAL ELEVATION NOTES**

- 1. TRIM, INCLUDING WINDOW/DOOR CASINGS, CORNER BOARDS, RAKES AND RUNNING TRIM TO BE WOOD IN SIZES AND PROFILES TO MATCH EXISTING (ALTERNATE: BORAL SMOOTH IN LIEU OF WOOD).
- 2. WINDOW SILL PROFILE AND DETAIL TO MATCH ORIGINAL, WOOD.
- 3. EAVE AND RETURN DETAILS TO MATCH OR BE SIMILAR TO EXISTING DETAILS.
- 4. SHUTTERS/BLINDS TO BE WOOD WITH 1 1/2" LOUVERS, SIZED TO HALF OF WINDOWS OPENINGS, POST MOUNTED.
- 5. MASONRY INFILL BELOW FRONT BAYS TO MATCH, AS CLOSE AS POSSIBLE, EXISTING BRICK/MORTAR AT FOUNDATION.
- 6. THRESHOLDS AT EXISTING FRONT DOORS, IF REPLACED, TO BE OAK.



PROPOSED WEST ELEVATION (2)  
1/8" = 1'-0"



PROPOSED NORTH ELEVATION (1)  
1/8" = 1'-0"

232 SOUTH STREET  
PORTSMOUTH, NH

PROPOSED ELEVATIONS  
As indicated

SHEET 6 OF 10  
SEPTEMBER 9, 2020

202020

D|M|A

DESTEFANO  
MAUGEL

ARCHITECTS

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**GENERAL ELEVATION NOTES**

- 1. TRIM, INCLUDING WINDOW/DOOR CASINGS, CORNER BOARDS, RAKES AND RUNNING TRIM TO BE WOOD IN SIZES AND PROFILES TO MATCH EXISTING (ALTERNATE: BORAL SMOOTH IN LIEU OF WOOD).
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- 6. THRESHOLDS AT EXISTING FRONT DOORS, IF REPLACED, TO BE OAK.



PROPOSED SOUTH ELEVATION

2

1/8" = 1'-0"

PROPOSED EAST ELEVATION

1

1/8" = 1'-0"

232 SOUTH STREET  
PORTSMOUTH, NH

PROPOSED ELEVATIONS  
As indicated

SHEET 7 OF 10  
SEPTEMBER 9, 2020

202020

**D|M|A**  
DESTEFANO  
MAUGEL  
ARCHITECTS





232 SOUTH STREET  
PORTSMOUTH, NH

CONTEXT VIEW FROM NORTHWEST

SHEET **8** OF 10  
SEPTEMBER 9, 2020





232 SOUTH STREET  
PORTSMOUTH, NH

CONTEXT VIEW FROM SOUTHWEST

SHEET **9** OF 10  
SEPTEMBER 9, 2020

202020

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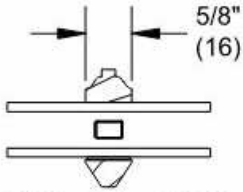
MARVIN ULTIMATE DOUBLE HUNG G2  
-WINDOW TYPE - A, C, D, E, J AND K  
-WINDOW TYPE- F, G, H, TO BE REPLACED TO  
MATCH EXISTING WINDOW SIZE.



MARVIN ULTIMATE CASEMENT  
-WINDOW TYPE - B (IN ONLY ONE LOCATION)



5/8" SDL STICKING w/ BLACK SPACER BAR



5/8" Putty SDL  
W/Spacer

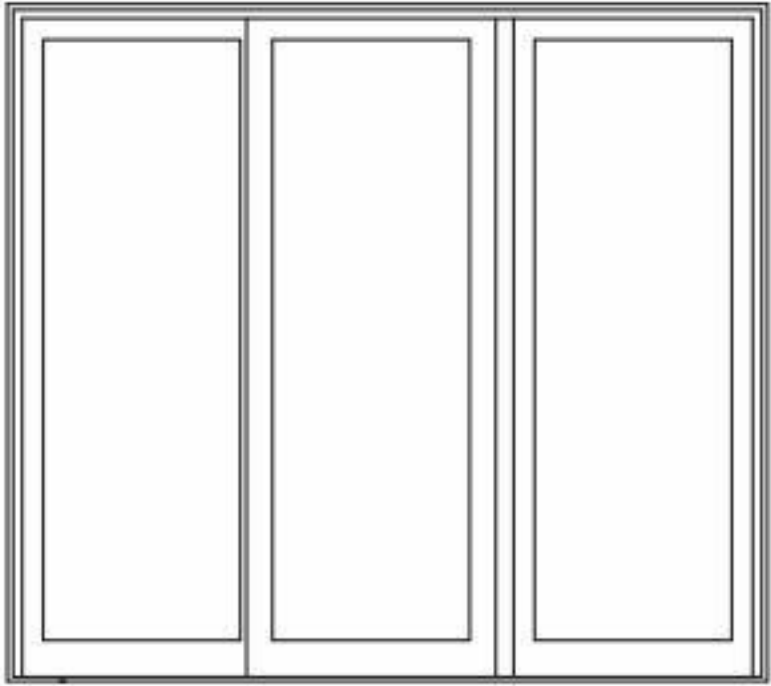
VELUX ELECTRIC FRESH AIR SKYLIGHT-M02  
-WINDOW TYPE - N



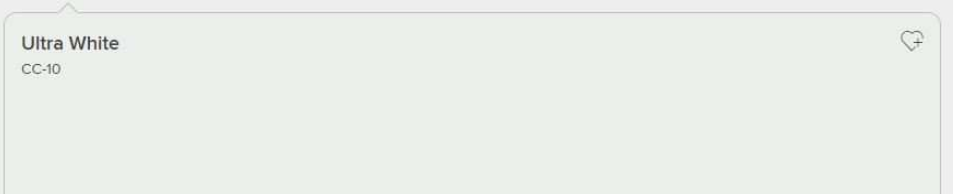
GODDARD EXTERIOR SPIRAL STAIRCASE



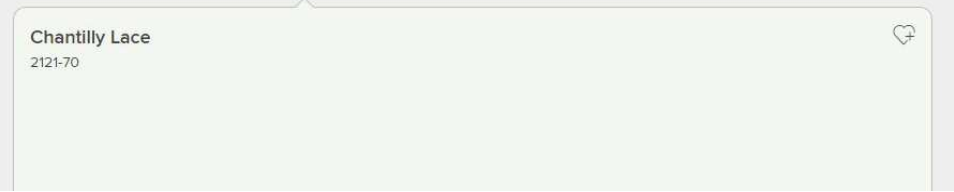
MARVIN ULTIMATE SLIDING PATIO DOOR  
DOOR TYPE - 1 AND 2



BENJAMIN MOORE (EXTERIOR LAP SIDING)



BENJAMIN MOORE (CORNERBOARDS, FASCIAS, SILLS AND TRIMS)



CERTAINTEED PRESIDENTIAL SHAKE TL, ASPHALT SHINGLE (CHARCOAL BLACK)



TIMBERTECH PREMIER RAILING WITH 5.5" POST  
AND 5.5" PYRAMID CAP



232 SOUTH STREET  
PORTSMOUTH, NH

SPECIFICATIONS

SHEET **10** OF 10  
SEPTEMBER 9, 2020




Historic District Commission Work  
Session or Administrative Approval  
Application

LUHD-105

Status: Active

Submitted: Feb 13, 2020

Applicant

 Robert MacDonald  
 6039971026  
 chelsea@macmetalsnh.com

Location

132 MIDDLE ST  
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Major interior renovation of entire building (132 + 134 Middle Street). Exterior work includes re-pointing brick, new roofing, adding a handicapped lift and replacing adjacent stairs/landing, and renovating the front entrance (in-kind).

Description of Proposed Work (Planning Staff)

exterior renovations to an existing structure (re-pointing brick, roof replacement, add ADA accessible entry, and front entrance renovations)

Project Representatives

<b>Zip Code</b> 03801	<b>Full Name (First and Last)</b> Bob MacDonald
<b>Phone</b> 603-997-1026	<b>Business Name (if applicable)</b> --
<b>State</b> NH	<b>Email Address</b> robertmacdonald@icloud.com
<b>Relationship to Project</b> Other	<b>Mailing Address (Street)</b> 209 Gosport Rd
<b>If you selected "Other", please state relationship to project.</b> Owner (under agreement to purchase)	<b>City/Town</b> Portsmouth

<b>Business Name (if applicable)</b> --	<b>Relationship to Project</b> Other
<b>Zip Code</b> 03885	<b>Email Address</b> tim@macmetalsnh.com
<b>Full Name (First and Last)</b> Tim Upton	<b>If you selected "Other", please state relationship to project.</b> Project Manager



# 132-134 Middle St HDC Submission

## July 2020 Worksession



### Table of Contents

HDC.1	Cover sheet
HDC.2	HDC 3/11/20 Worksession Comments
HDC.3	HDC 6/3/20 Worksession Comments
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HDC.5	Existing Floor Plans
HDC.6	Existing Floor Plans
HDC.7	Existing Elevations w/ Comments
HDC.8	Proposed Floor Plans
HDC.9	Exterior Right Side Entry (Photo A)
HDC.10	Exterior Left Side Entry (Photo B)
HDC.11	Front Stairs & Entrance (Photo C)
HDC.12	Existing Roof Materials - Plan
HDC.13	Existing Roof Materials - Elevation
HDC.14	Proposed Roof Materials - Product Info
HDC.15	Proposed Roof Materials - Plan
HDC.16	Roof Color Option #1
HDC.17	Roof Color Option #2
HDC.18	Roof Color Option #3
HDC.19	Windows

## **COMMISSION'S COMMENTS FROM 3/11/2020 WORK SESSION:**

### **SEE PAGE HDC.7 FOR ELEVATIONS WITH HDC COMMENTS**

#### **ROOF**

1. Commission prefers the faux slate shingle option on front and asphalt shingle on rear portion of building.
2. Commission is open to an asphalt shingle with a fish scale pattern.
3. Commission requested a polychrome color pattern be used.
4. Commission recommends that the corner boards on the #132 gambrel roof be rebuilt. Corner boards should be installed on the #134 Gambrel roof to match the #132 side. The recommendation includes ornamental wood boxes and dormer corner boards on both gambrels.

#### **RIGHT SIDE ENTRY (PHOTO A)**

5. A suggestion was made to make this area a "wood panel" or "window area" given the complexities associated with trying to re-build it and re-point and or match similar bricks.
6. If doing a brick in-fill, suggestion was to have it inset by about 1" and not to "weave" it in.

#### **LEFT SIDE ENTRY (PHOTO B)**

7. No suggestions here, other than to do as planned, which is to create a timber frame staircase/platform with matching trim and black handrails and extend the roof or replace it with timber posts
8. Commission wants doors to be restored rather than replaced, as they are a "character-defining" element of the building.
9. Paint the doors black.
10. Replace newer railing sections with something of the same time period (similar to what is shown in the photographs adjacent to the sidewalk).
11. Commission adamantly opposed granite steps and prefers the use of a Brownstone like newer material similar to what has been used in Boston re-build and repair Brownstone staircases.
12. A suggestion was made to consider using a "pre-cast" Brownstone step.
13. Exterior brownstone repairs could be made using a color-matched Portland cement/sand mix.
14. A suggestion was made to find pictures of the building after it was built to see what the original features of the front steps and entryway were and to rebuild/restore them (i.e. at bottom of front entry "cheeks", questions arose as to whether there were originally any decorative brownstone sculptures.

#### **BRICK RE-POINTING**

15. Use a non-white to blend in with aged grout.



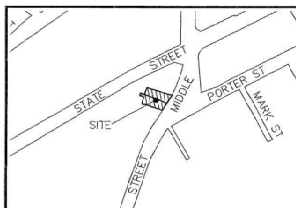
## **COMMISSION'S COMMENTS FROM 6/3/2020 WORK SESSION:**

### **ROOF**

1. Commission is in favor of Certaineed Carriage House asphalt "fish scale" shingles but would like to see a photo marked up with actual product with proposed polychrome pattern.

### **ELECTRICAL**

1. Commission is opposed to the proposed electrical service shown on the front of the building. An offline meeting will take place with applicant, commission member, Eversource rep, and City. Applicant to coordinate.



LOCUS  
(N.T.S.)

NH STATE PLANE COORDINATE SYSTEM

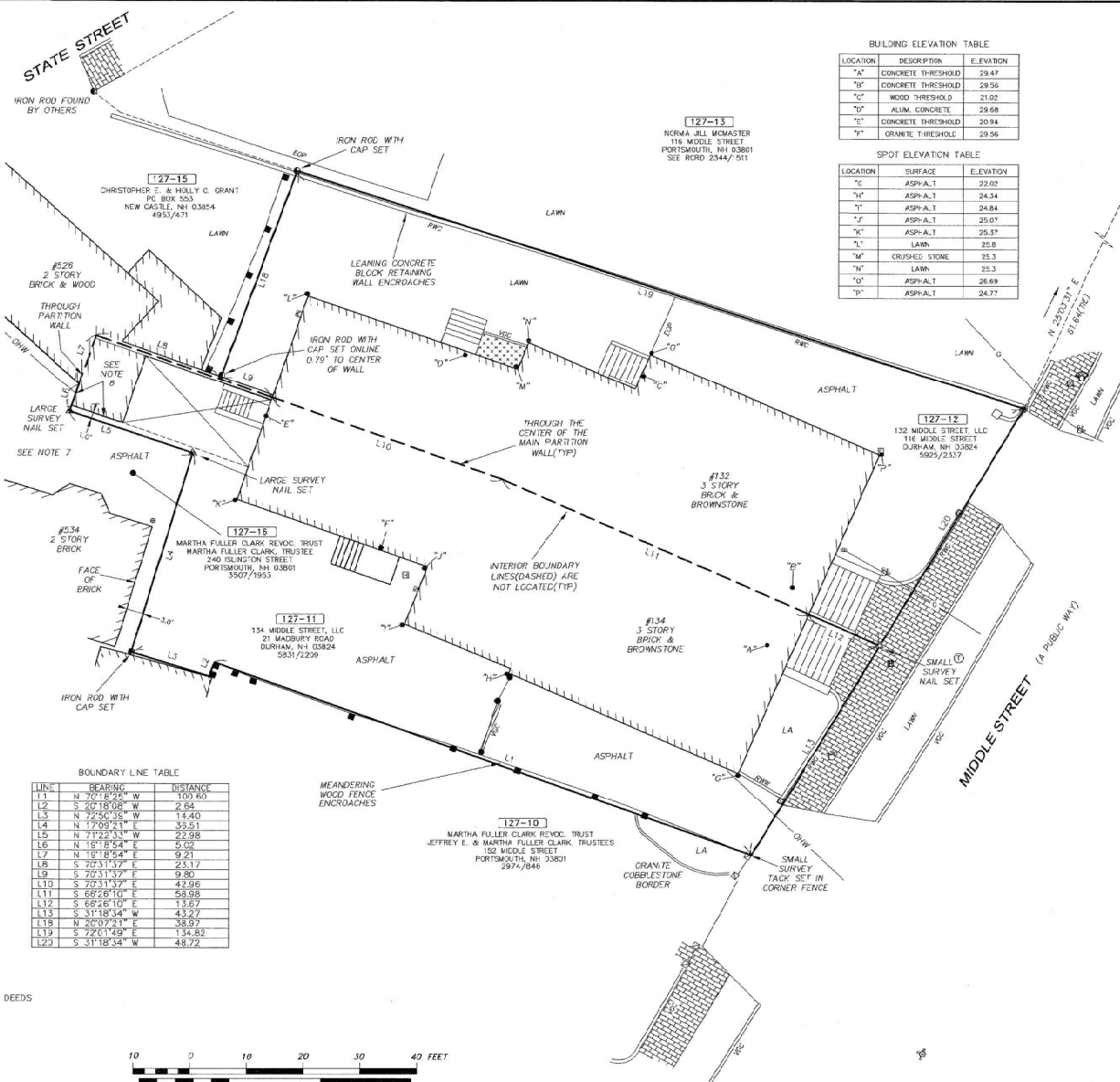
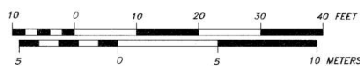
NAD 1983

LEGEND:

- DRILL HOLE FOUND, UNLESS NOTED
- IRON ROD (AS NOTED)
- ▲ SURVEY NAIL (AS NOTED)
- METAL FENCE
- WOOD FENCE
- LARGE WOOD FENCE POSTS
- CEMENT CONCRETE PAD
- UTILITY POLE
- UTILITY POLE W/TRANSFORMER
- GUY
- OHW— OVERHEAD WIRES
- OHE— OVERHEAD ELECTRIC
- OHC— OVERHEAD COMMUNICATION WIRES
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- 127-1 TAX SHEET / LOT NO.
- EOP EDGE OF PAVEMENT
- LA LANDSCAPED AREA
- RWW WOOD RETAINING WALL
- VOC VERTICAL FACED GRANITE CURB
- RWC GRANITE RETAINING WALL
- RCR CONCRETE BLOCK RETAINING WALL
- LIGHT POLE CONNECTION BOX
- CRUSHED STONE
- GAS SHUT OFF
- ELECTRIC METER
- BOLLARD
- HYDRANT

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 70°18'55" W	100.60
L2	S 20°18'08" W	2.64
L3	N 72°50'35" W	14.40
L4	N 79°09'21" E	35.51
L5	N 71°22'53" W	22.98
L6	N 16°18'54" E	5.02
L7	N 16°18'54" E	9.21
L8	S 70°11'37" E	23.17
L9	S 70°11'37" E	9.80
L10	S 70°11'37" E	42.96
L11	S 68°28'10" E	26.98
L12	S 68°28'10" E	13.67
L13	S 31°18'54" W	43.27
L18	N 20°07'21" E	38.97
L19	S 72°01'49" E	134.82
L20	S 31°18'54" W	48.72



BUILDING ELEVATION TABLE

LOCATION	DESCRIPTION	ELEVATION
"A"	CONCRETE THRESHOLD	29.47
"B"	CONCRETE THRESHOLD	29.56
"C"	WOOD THRESHOLD	21.02
"D"	ALUM. CONCRETE	29.68
"E"	CONCRETE THRESHOLD	30.14
"F"	GRANITE THRESHOLD	29.56

SPOT ELEVATION TABLE

LOCATION	SURFACE	ELEVATION
"G"	ASPHALT	22.02
"H"	ASPHALT	24.34
"I"	ASPHALT	24.84
"J"	ASPHALT	25.07
"K"	ASPHALT	25.37
"L"	LAWN	25.8
"M"	CRUSHED STONE	25.3
"N"	LAWN	25.3
"O"	ASPHALT	26.69
"P"	ASPHALT	24.77

NOTES:

- CWNER OF RECORD.....132 MIDDLE STREET, LLC.  
ADDRESS.....21 MADBURY ROAD, DURHAM, NH 03824  
DEED REFERENCE.....5831/2209  
TAX SHEET / LOT.....127-12  
PARCEL AREA.....5.499 S.F., 0.13 ACRES
- CWNER OF RECORD.....134 MIDDLE STREET, LLC.  
ADDRESS.....21 MADBURY ROAD, DURHAM, NH 03824  
DEED REFERENCE.....5831/2209  
TAX SHEET / LOT.....127-11  
PARCEL AREA.....5.902 S.F., 0.14 ACRES
- ZONED.....DD-4-L1 & HISTORIC DISTRICT  
SEE CITY OF PORTSMOUTH ZONING ORDINANCE.
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (E.C. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011) (EPOCH: 2010.0000), US SURVEY FOOT  
VERTICAL DATUM: NAVD 1998. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ALBA".
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAY NUMBER 130700000. EFFECTIVE DATE: MAY 17, 2003 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- TOGETHER WITH A RIGHT OF WAY FOR ALL PURPOSES OVER, THROUGH, UPON AND ACROSS LAND OWNED, NOW OR FORMERLY OF JOHN C. ROSS, JR., ET UX TO AND FROM STATE STREET AND THE WITHIN DESCRIBED PREMISES TO BE USED IN COMMON BY THE OWNERS OF THE CONVEYED PREMISES AND OWNERS OF THE PROPERTY OWNED NOW OR FORMERLY OF THE SAID JOHN C. ROSS, JR. SEE RCRD PLAN 01876-1.
- GRANITE FOUNDATION HELD IN THIS AREA. SEE RCRD PLAN 01876-1.

REFERENCE PLANS:

- PLAN OF LOT FOR H. SUSSMAN HEIRS, PORTSMOUTH, ROCKINGHAM COUNTY, NH DATED JUNE 1, 1942, UPDATED TO 11-23-42, RCRD PLAN #01253.
- PLAN OF LOT 534 STATE STREET, PORTSMOUTH, NH DATED MAY 1952, RCRD BK #1247, PG. 374
- CONDOMINIUM SITE PLAN, MAP 127-10, HAYMARKET CONDOMINIUM FOR TROCH REALTY MANAGEMENT, INC. 480 STATE STREET, PORTSMOUTH, N.H. DATED MARCH 2004, RCRD PLAN #013724
- EXISTING CONDITIONS PLAN, 116 MIDDLE STREET, PORTSMOUTH, NH, OWNED BY N. JILL MCMASTER DATED 3/15/19 BY NORTHEASTERN SURVEYING, INC. NOT RECORDED.

PURSUANT TO RSA 676:18,II AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

*James Verra*  
JAMES VERRA

5-31-2019  
DATE



REV. NO.	DATE	DESCRIPTION	APPROVED
<b>PLAT OF LAND</b> <b>132 &amp; 134 MIDDLE STREET</b> <b>PORTSMOUTH, NEW HAMPSHIRE</b> <b>ASSESSOR'S PARCELS 127-12 &amp; 127-11</b> <b>for: 132 MIDDLE STREET, LLC.</b> <b>&amp; 134 MIDDLE STREET, LLC.</b>			
DATE: 5-31-2019		JOB NO: 23894	
JOB NO: 23894		SCALE: 1" = 10'	
JAMES VERRA AND ASSOCIATES, INC.		HDC. 4	
101 SHATTUCK WAY NEWINGTON, N.H. 03801-7976 603-436-5567		SHEET: 1 of 1	





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A|NAZAKA|DESIGN

**EXISTING CONDITIONS**  
32- 134 MIDDLE STREET, PORTSMOUTH NH  
134 MIDDLE STREET LLC

## EXISTING PLANS

Revisions	
No.	Date

August, 2018

## HDC . 5

**NOTE:**  
ALL UNIT AREA SQUARE FOOTAGES MEASURED AT  
CENTER LINE OF COMMON/DEMISING WALLS, AND  
INSIDE FINISH FACE OF EXTERIOR WALLS

**NOTE:**  
EXISTING CONDITIONS DRAWINGS DONE BY  
ANAZAKA I DESIGN BY MEASURING BY AS  
ACCURATE MEANS NECESSARY TO DOCUMENT  
CONDITIONS. ALL BUILDINGS MOVE, AGE, SHIFT,  
ETC. OVER TIME, WHICH MAY CAUSE INACCURACIES  
IN PLUMBING LOCATIONS, WALL THICKNESSES  
MAY VARY, AND EXTERIOR WALL THICKNESSES  
THAT ARE NON-MEASURABLE ARE ESTIMATED AS  
ACCURATE AS POSSIBLE. ANY FUTURE WORK WITHIN  
BUILDING, AT A MINIMUM SHOULD BE FIELD VERIFIED.

ALL EXISTING CONDITIONS DRAWINGS DONE BY  
ANAZAKA I DESIGN BY MEASURING BY AS  
ACCURATE MEANS NECESSARY TO DOCUMENT  
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MAY VARY, AND EXTERIOR WALL THICKNESSES  
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ACCURATE AS POSSIBLE. ANY FUTURE WORK WITHIN  
BUILDING, AT A MINIMUM SHOULD BE FIELD VERIFIED.

**ANAZAKA I DESIGN**  
11708 RIVER ROAD, SUITE 100  
PORTSMOUTH, NH 02871  
TEL: 603.883.1170  
WWW.ANAZAKAIDESIGN.COM

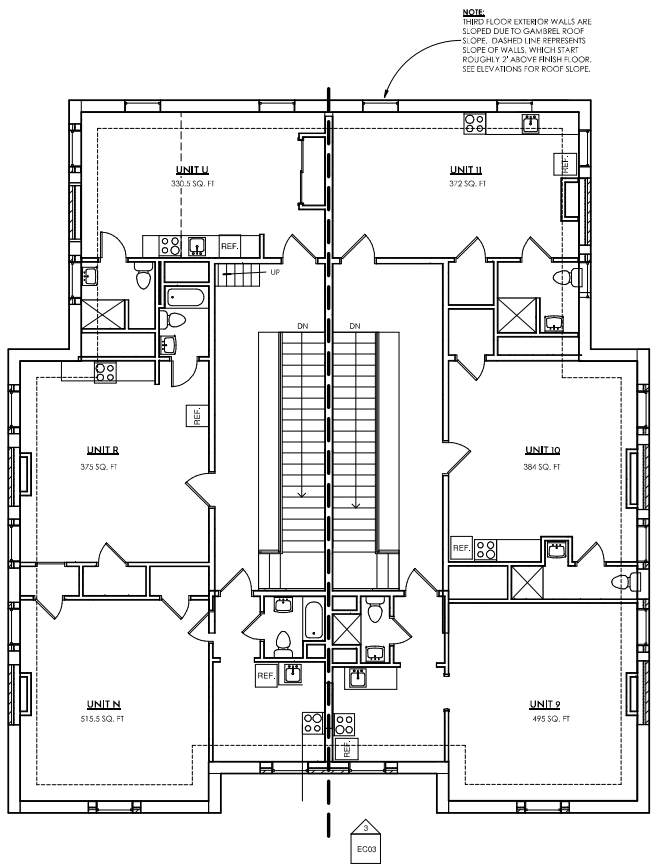
**EXISTING CONDITIONS**  
132- 134 MIDDLE STREET, PORTSMOUTH NH  
134 MIDDLE STREET LLC

**EXISTING PLANS**

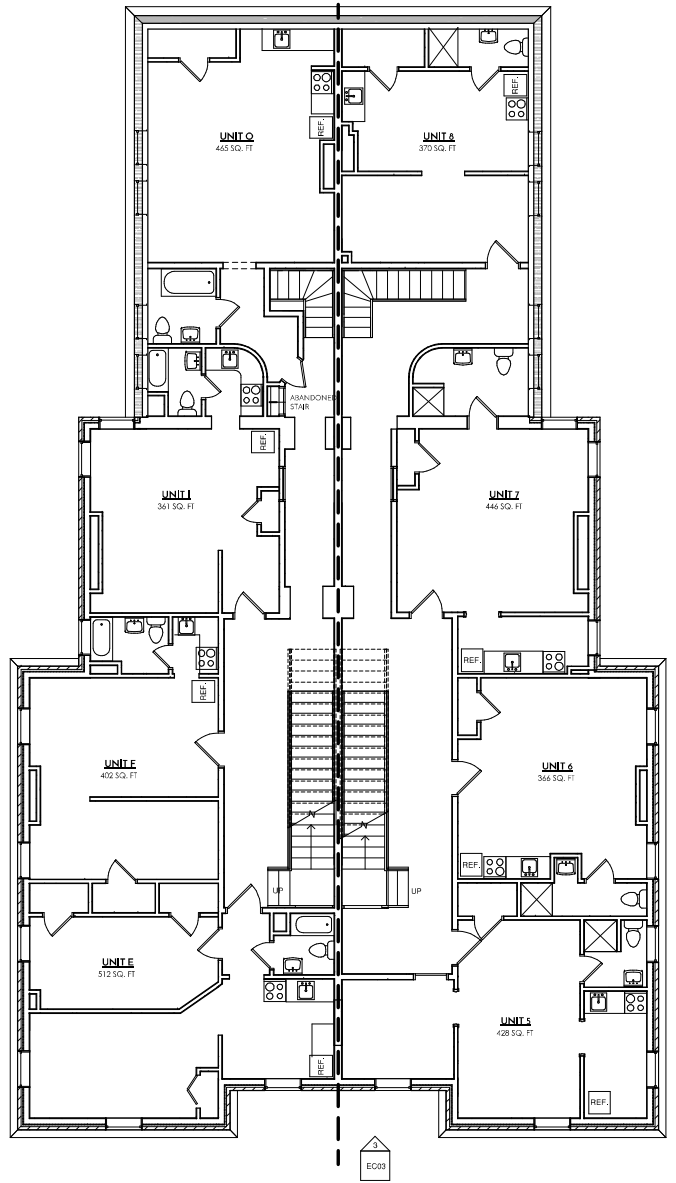
Revisions	
No.	Date

August 2018

**HDC . 6**



**EXISTING THIRD FLOOR**  
3/16" = 1'-0"



**EXISTING SECOND FLOOR**  
3/16" = 1'-0"



**NOTE:**  
EXISTING CONDITIONS DRAWINGS DONE BY ANAKAKA DESIGN BY MEASURING BY AS ACCURATE MEANS NECESSARY TO DOCUMENT CONDITIONS. ALL BUILDINGS MOVE, AGE, SHIFT, ETC. OVER TIME WHICH MAY CAUSE INACCURACIES IN PLUMBING, WALLS, WALL THICKNESSES MAY VARY, AND EXTERIOR WALL THICKNESSES THAT ARE NON-MEASURABLE ARE ESTIMATED AS ACCURATE AS POSSIBLE. ANY FUTURE WORK WITHIN BUILDING AT A MINIMUM SHOULD BE FIELD VERIFIED.

ALL EXISTING CONDITIONS DRAWINGS DONE BY ANAKAKA DESIGN BY MEASURING BY AS ACCURATE MEANS NECESSARY TO DOCUMENT CONDITIONS. ALL BUILDINGS MOVE, AGE, SHIFT, ETC. OVER TIME WHICH MAY CAUSE INACCURACIES IN PLUMBING, WALLS, WALL THICKNESSES MAY VARY, AND EXTERIOR WALL THICKNESSES THAT ARE NON-MEASURABLE ARE ESTIMATED AS ACCURATE AS POSSIBLE. ANY FUTURE WORK WITHIN BUILDING AT A MINIMUM SHOULD BE FIELD VERIFIED.

**ANAKAKA DESIGN**  
132-134 MIDDLE STREET, PORTSMOUTH NH  
134 MIDDLE STREET LLC

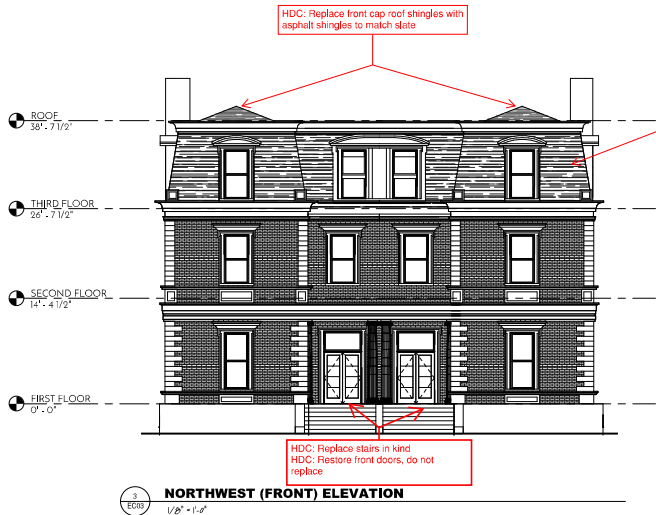
**EXISTING CONDITIONS**  
132-134 MIDDLE STREET, PORTSMOUTH NH  
134 MIDDLE STREET LLC

**EXTERIOR ELEVATIONS**

Revisions	
No.	Date

August 2018

**HDC . 7**



**3 NORTHWEST (FRONT) ELEVATION**  
1/8" = 1'-0"



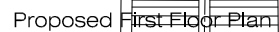
**1 NORTHEAST ELEVATION**  
1/8" = 1'-0"



**4 SOUTHEAST ELEVATION**  
1/8" = 1'-0"



**2 SOUTHWEST ELEVATION**  
1/8" = 1'-0"



Progress Print



**ARCHITECTURE ■ PLANNING ■ CONSULTING ■ INTERIOR DESIGN**  
89 WILLOWBROOK AVENUE ■ STRATHAM, VIC 3740  
Tel: (603) 770-2491 ■ Fax: (603) 770-2492 ■ WWW.THEHDC.COM.AU

HDC. 8

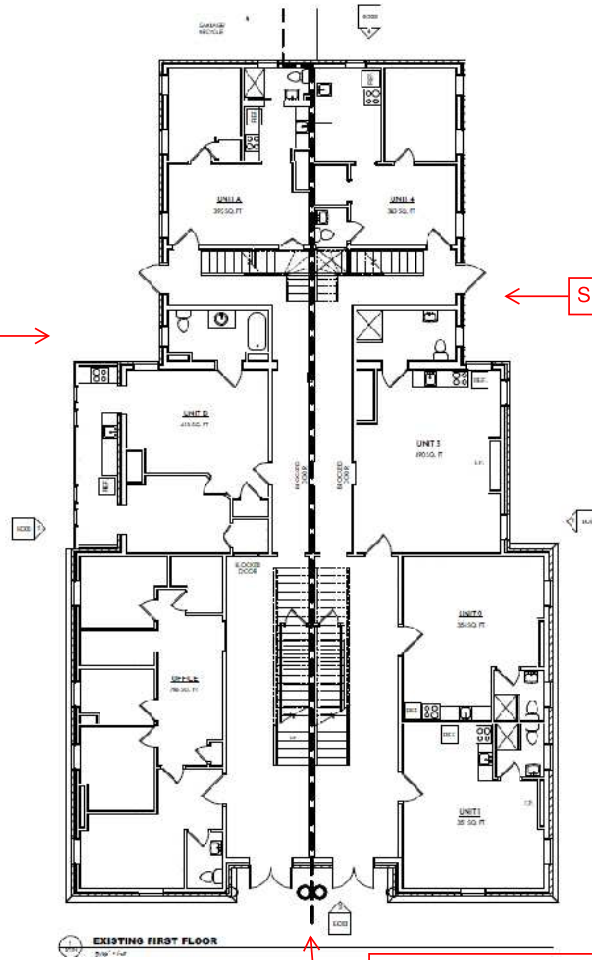


# PHOTO LEGEND

SEE PHOTO "B"

SEE PHOTO "A"

SEE PHOTO "C"



## PHOTO A



### NOTE:

1. IT IS NOT YET KNOWN IF THIS ENTRY WILL BE DELETED. IF REMOVED, WILL BE INFILLED WITH BRICK SIMILAR TO ADJACENT.

### UPDATE 3/11/20:

2. IF INFILLED WITH BRICK OR PANELING, IT WILL BE SET BACK 1" FROM THE EXISTING EXTERIOR WALL TO ACCENTUATE THE ORIGINAL DOOR LOCATION.

# PHOTO PAGE "B"

## NORTHEAST ELEVATION



### NOTES:

1. DEMO EXISTING STAIRCASE & REPLACE WITH CODE COMPLIANT TIMBER FRAMED STAIRCASE AND LANDING. COLOR TO MATCH EXISTING WOOD TRIM. COLOR VERTICAL BOARDS WITH AIR GAPS WILL BE INSTALLED BELOW DECK.
2. ROOF TO BE EXTENDED OR REPLACED (TO MATCH EXISTING) TO EXTEND TO CORNER OF BUILDING AND PROVIDE COVER FOR HCP LIFT. ROOF POSTS TO BE REPLACED WITH TIMBER POSTS TO MATCH EXISTING WOOD TRIM COLOR.
3. NEW RAILING TO BE A CODE COMPLIANT BLACK COMPOSITE RAILING SYSTEM WITH SQUARE BALLUSTERS.

ROOF WILL BE EXTENDED TO SIDE OF BUILDING TO PROVIDE COVERAGE ABOVE LIFT





**PHOTO PAGE "C"**

**NORTHWEST FRONT ELEVATION**



**NOTES:**

1. THE RESTORED ENTRYWAY WILL INCLUDE THE ORIGINAL CHEEKS (BOTH SIDES & MIDDLE)
2. THE EXISTING RAILINGS WILL BE REMOVED/REINSTALLED OR REPLACED IN-KIND.
3. THE STAIRS WILL BE REPLACED WITH CONCRETE MATERIAL SIMILAR IN TEXTURE, COLOR, AND FORM TO EXISTING. FORM & PLACE OR PRECAST METHOD WILL BE UTILIZED.

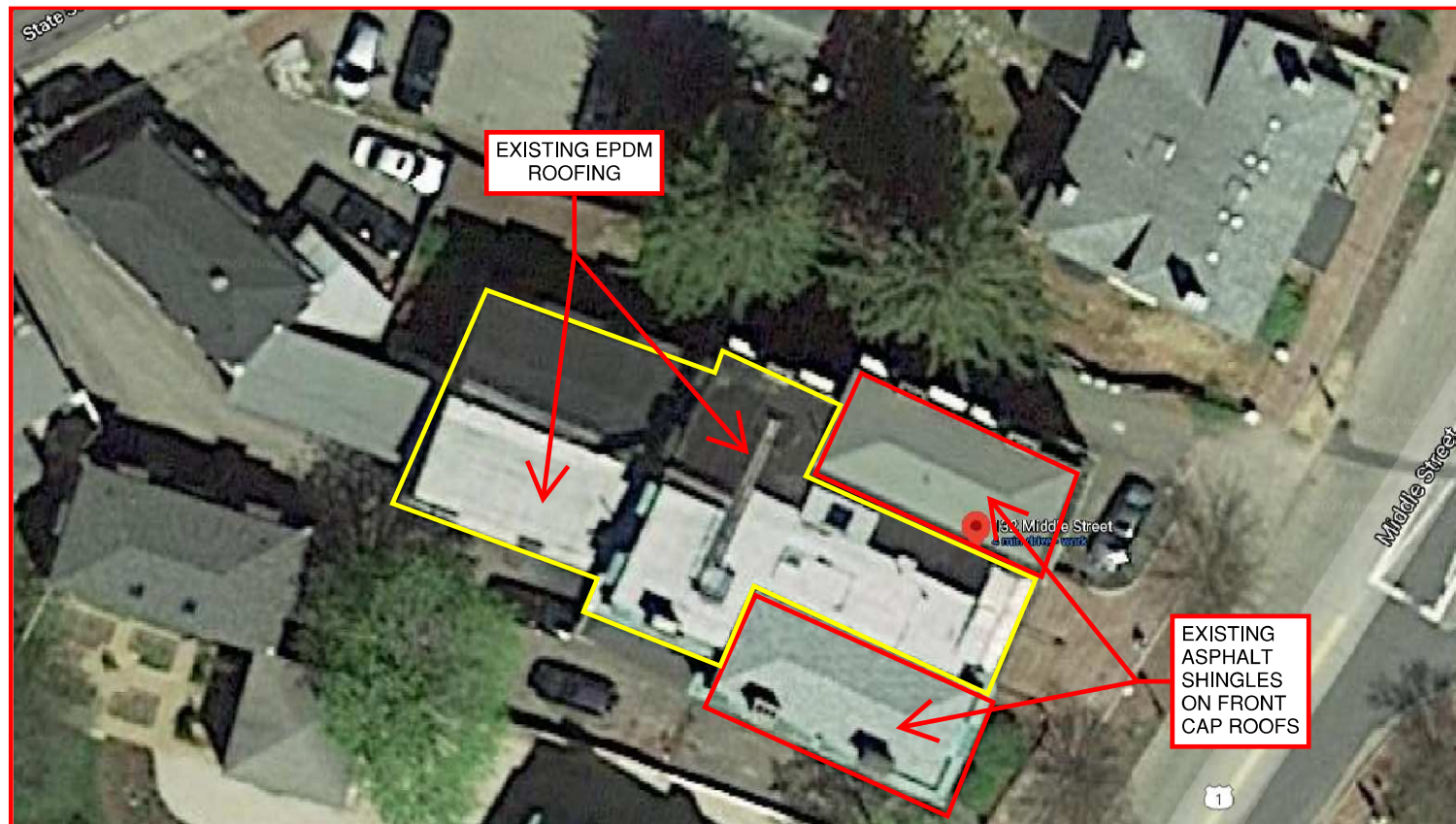
**UPDATE 3/11/20:**

4. STORM DOORS AND FRONT DOORS WILL BE REMOVED. THE FRONT DOORS WILL BE RESTORED AND REINSTALLED.

## EXISTING ROOFING MATERIALS

THERE ARE SEVERAL EXISTING ROOFS:

- 1) #132 HAS EPDM ROOFING ON THE TOP FLAT SECTION
- 2) #132 HAS SLATE ROOFING TILES ON THE VERTICAL CHEEKS (3RD FLOOR LEVEL)
- 3) #132 HAS ASPHALT SHINGLES ON TOP CAP ROOFS IN FRONT
- 4) #134 HAS EPDM ROOFING ON THE TOP FLAT SECTION
- 5) #134 HAS ASPHALT SHINGLES ON BOTH THE FRONT CAP ROOFS AND THE VERTICAL CHEEKS





EXISTING ROOFING MATERIALS



EXISTING ASPHALT SHINGLES ON #134 VERTICAL CHEEKS

EXISTING ASPHALT SHINGLES ON FRONT CAP ROOFS



EXISTING SLATE TILES ON #132 VERTICAL CHEEKS



# ARCHITECTURAL "SLATE" ASPHALT ROOF SHINGLE CERTAINTEED CARRIAGE HOUSE

## CARRIAGE HOUSE®

- Hand-crafted scalloped cut that mimics natural slate
- Dynamic color options
- StreakFighter® protection against algae
- Superior resistance to fire and high winds

CARRIAGE HOUSE®

- Class A fire resistance
- Algae resistant
- 110 MPH wind warranty, upgrade to 130 MPH available
- Lifetime-limited warranty

SPECIFICATIONS

- Two full-size, fiberglass-based shingles
- Unique chamfered cut for scalloped appearance
- Four-layer coverage when applied

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

**Fire Resistance:**

- UL Class A
- UL certified to meet ASTM D3018 Type 1

**Wind Resistance:**

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

**Tear Resistance:**

- UL certified to meet ASTM D3462
- CSA standard A123.5

**Wind Driven Rain Resistance:**

- Miami-Dade Product Control Acceptance: Please reference [www.certainteed.com](http://www.certainteed.com) to determine approved products by manufacturing location.

**Quality Standards:**

- ICC-ES-ESR-1389 & ESR-3537



## CARRIAGE HOUSE® COLOR PALETTE

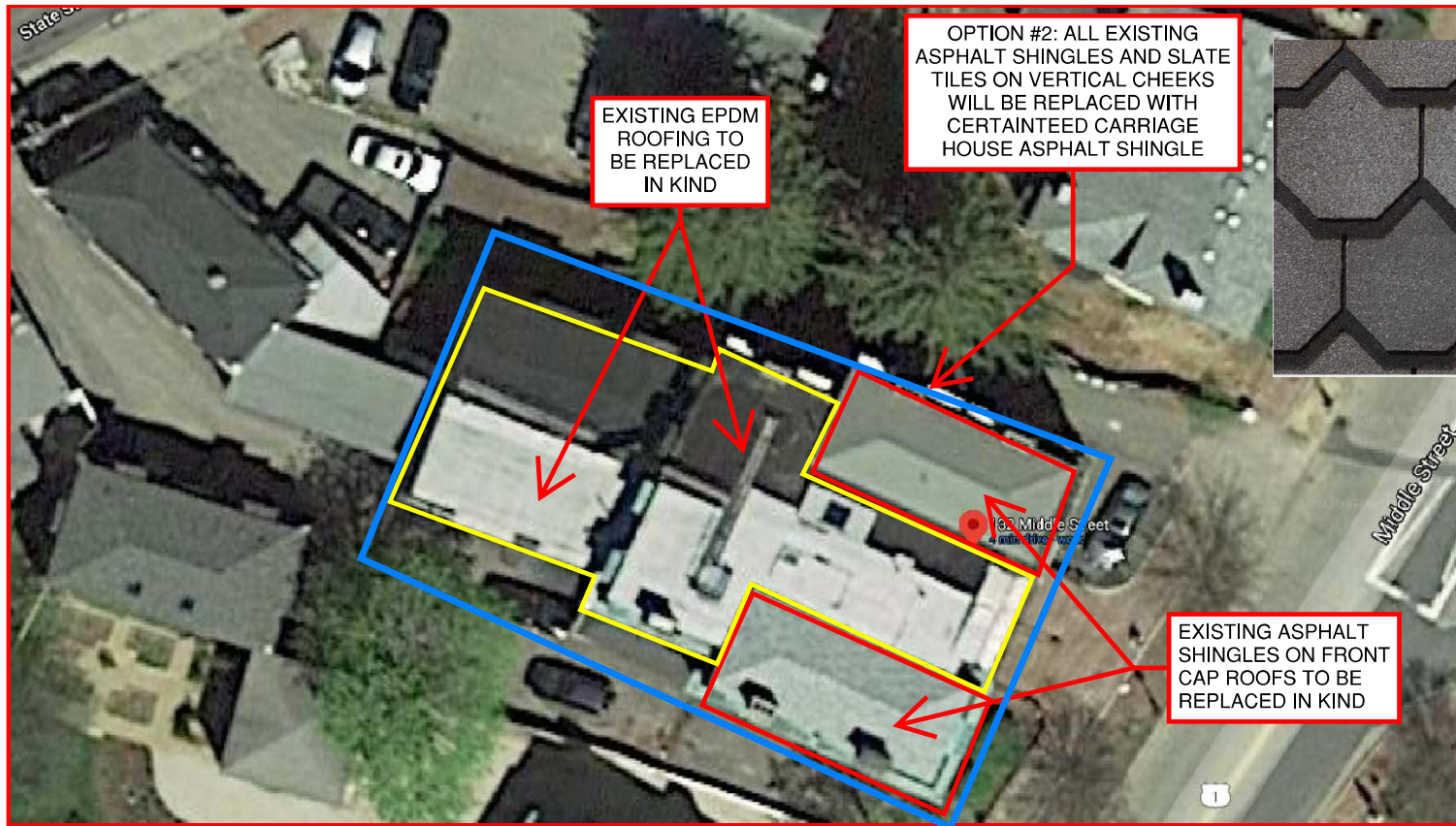




## PROPOSED ROOFING MATERIALS

### PROPOSED OPTION:

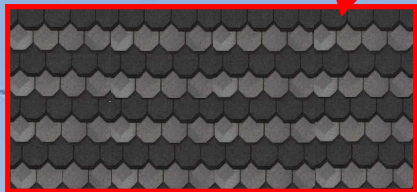
- 1) ALL EPDM RUBBER ROOFING TO BE REPLACED IN-KIND
- 2) ALL ASPHALT SHINGLES ON FRONT CAP ROOFS TO BE REPLACED IN-KIND
- 3) ALL SHINGLES/SLATE ON VERTICAL CHEEKS TO BE REMOVED AND REPLACE WITH CERTAINTED CARRIAGE HOUSE FISH SCALE ASPHALT SHINGLE



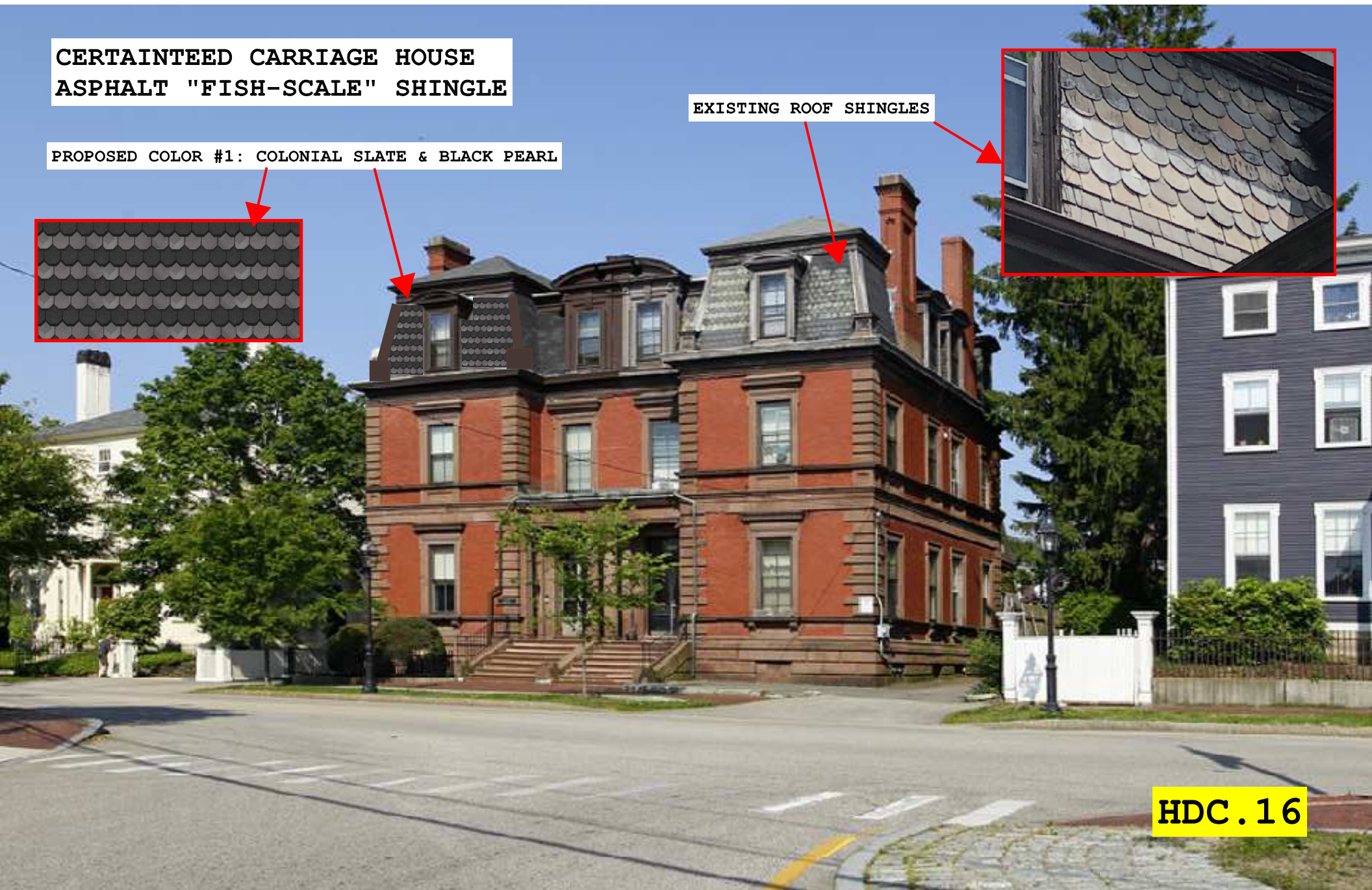


**CERTAINTED CARRIAGE HOUSE  
ASPHALT "FISH-SCALE" SHINGLE**

**PROPOSED COLOR #1: COLONIAL SLATE & BLACK PEARL**



**EXISTING ROOF SHINGLES**



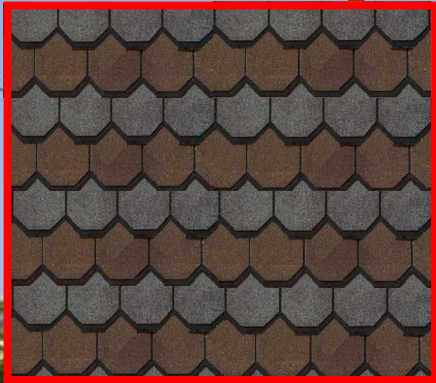
**HDC . 16**



**CERTAINTED CARRIAGE HOUSE  
ASPHALT "FISH-SCALE" SHINGLE**

**EXISTING SLATE ROOF TILES  
(MAIN BUILDING COLOR PATTERN)**

**PROPOSED COLOR OPTION #2: COLONIAL SLATE & BROWNSTONE**



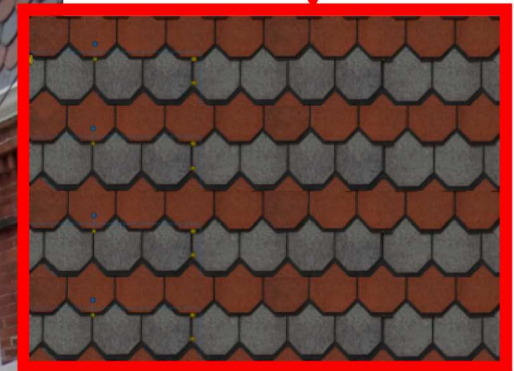
**HDC . 17**



**CERTAINTEED CARRIAGE HOUSE  
ASPHALT "FISH-SCALE" SHINGLE**

**PROPOSED COLOR OPTION #3: COLONIAL SLATE & GEORGIAN BRICK**

**132-134 MIDDLE ST  
(REAR)**



**526 STATE ST**



**EXISTING SLATE TILE ON REAR SECTION OF 132-134  
MIDDLE AND ADJACENT BUILDING**

**HDC.18**



**WINDOWS:**

WINDOW REPLACEMENT IS NOT ANTICIPATED. IF NEEDED, REPLACEMENT WINDOWS WILL BE MARVIN ELEVATE CLAD DOUBLE HUNG WINDOW WITH 2 OVER 2 LITES COLOR TO MATCH EXISTING



Marvin Elevate™

These homeowners wanted to pair the charm of a classic New England farmhouse with modern craftsmanship and energy efficiency.

[Learn more](#)

**Historic District Commission Work  
Session or Administrative Approval  
Application****LUHD-180****Status:** Active**Submitted:** Aug 10, 2020**Applicant**

Brendan McNamara



207-439-3521



brenmcnamara@comcast.net

**Location**57 SALTER ST  
Portsmouth, NH 03801**Application Type****Please select application type from the drop down menu below**

Work Session

**Project Information****Brief Description of Proposed Work**

Changes to windows, add Side Entry Porch, create new Porches through recession into existing building

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Acknowledgement****I certify that the information given is true and correct to the best  
of my knowledge.**

true

**By checking this box, I agree that this is equivalent to a  
handwritten signature and is binding for all purposes related to  
this transaction**

true

**I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship  
to this project. Owner authorization is required.**Residential Designer and authorised representative of current  
and future owner**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--

**Owner Organization / Business Name**

--

**Owner Contact Street Address**

--

**Owner Address City**

--

**Owner Address State**

--

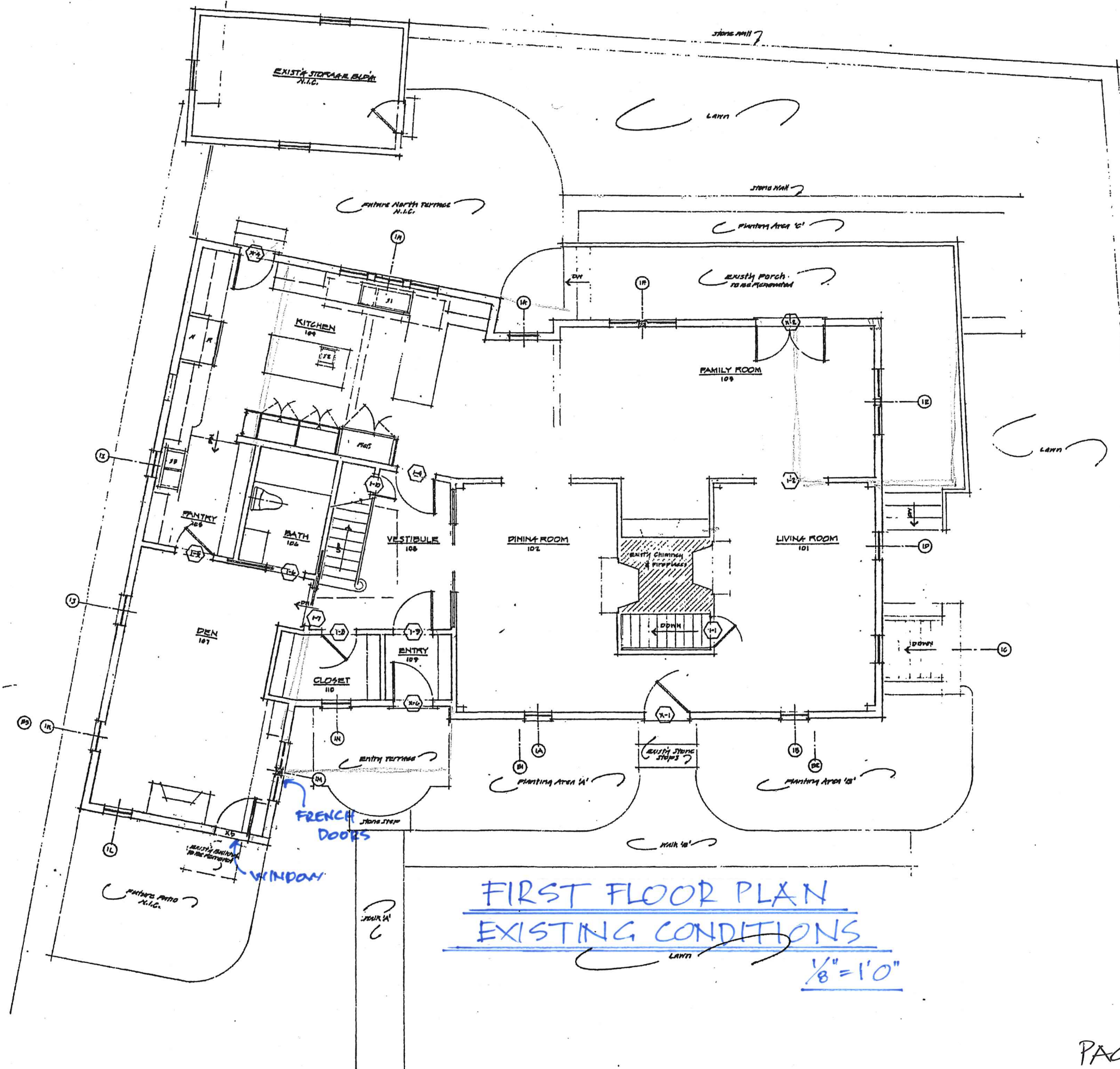
**Owner Address Zip**

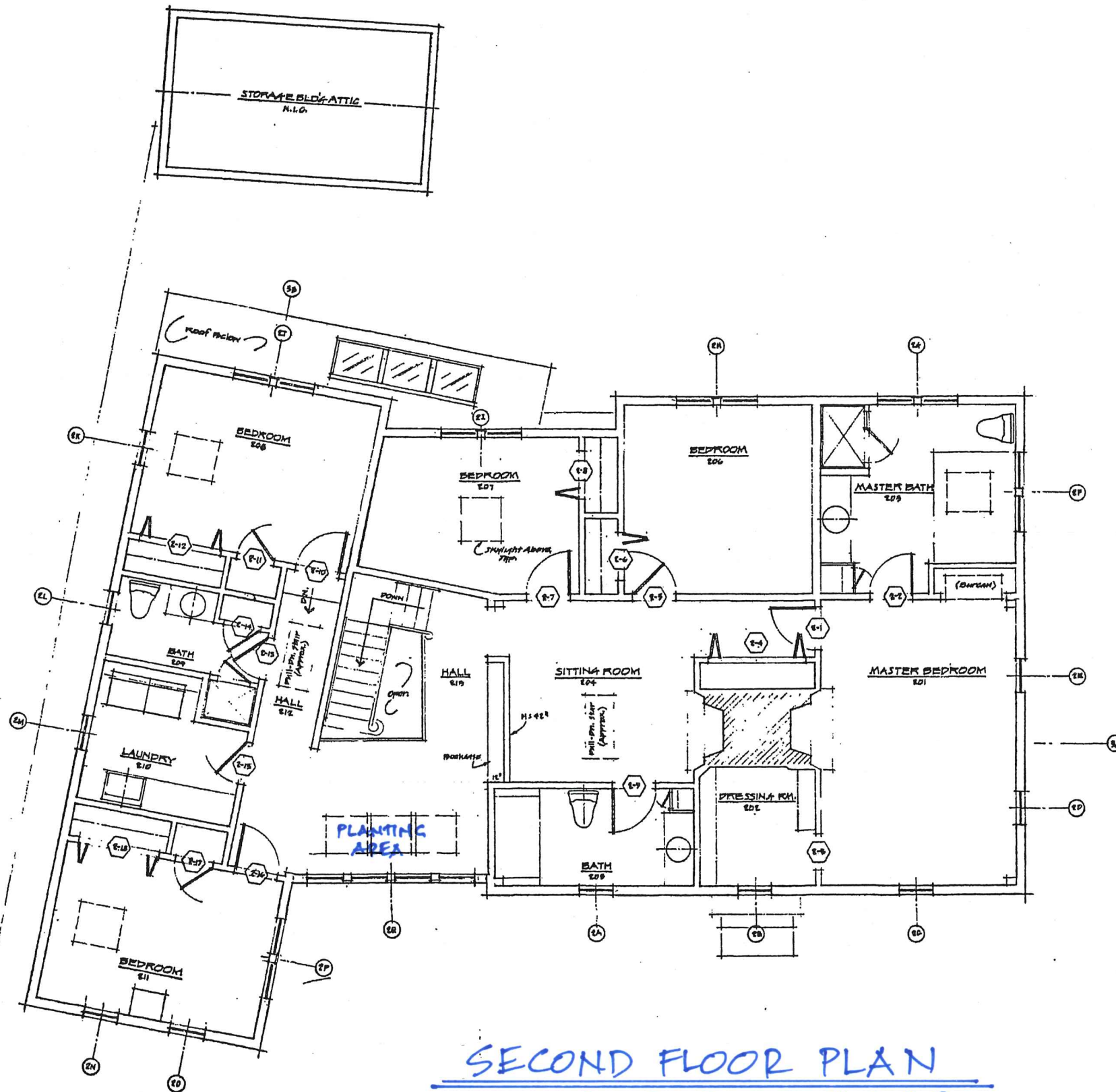
--

**RE: (memo field)**

--







SECOND FLOOR PLAN  
EXISTING CONDITIONS  
1/8" = 1'0"

JOB NO. 0190  
 DRAWN BY  
 CHECKED BY  
 DATE 6/7/90  
 REVISED 6/90

CHESTER P. KEEFE II - AIA  
 ARCHITECT & ASSOCIATES  
 88 MARKET ST., PORTSMOUTH, N.H. 03854-4371-8870

THE THOMPSON RESIDENCE  
 Portsmouth, NH  
 57 Satter Street

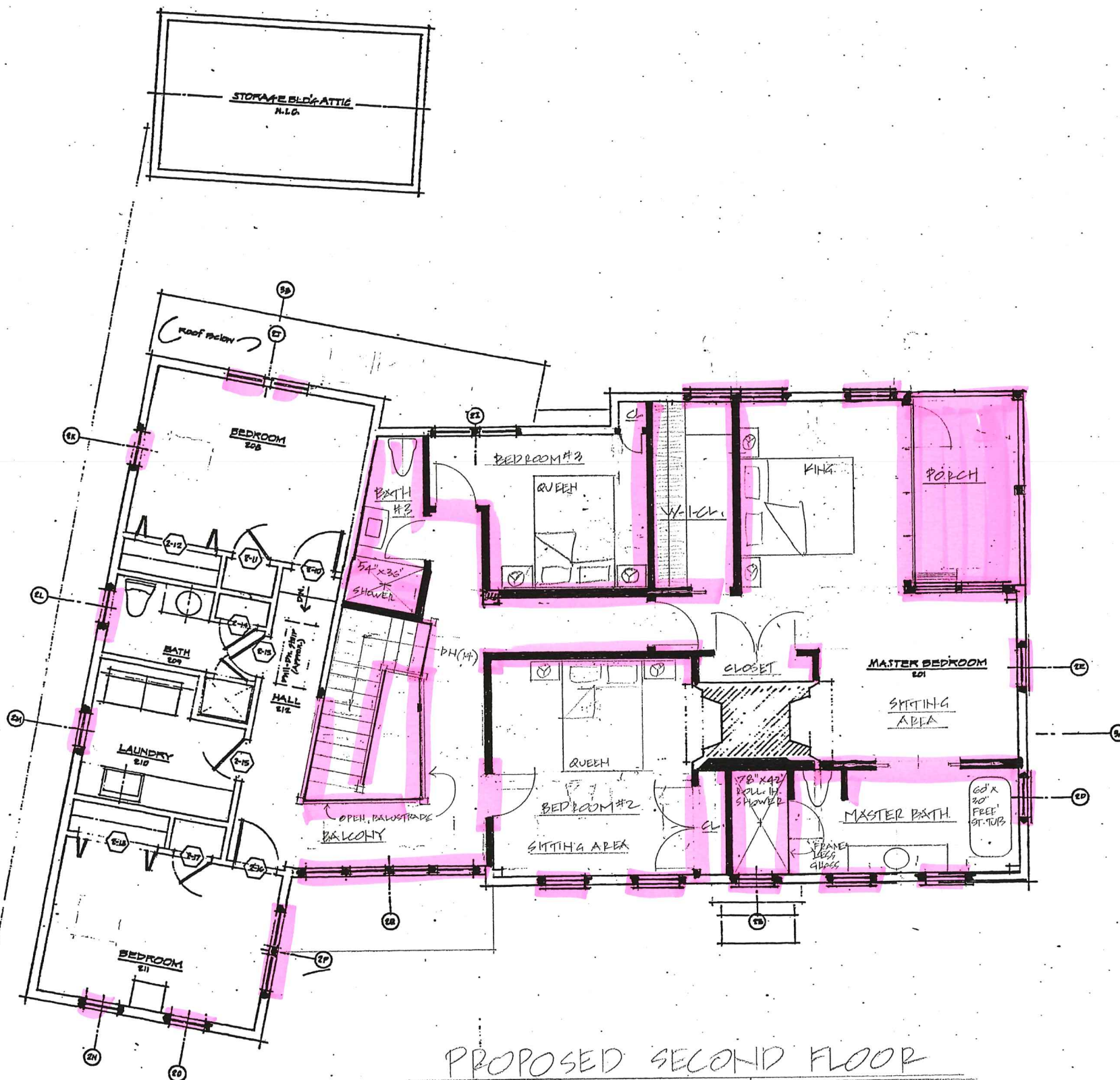
CONTENTS

SHEET NO.









PROPOSED SECOND FLOOR

6.28.2020

1/8" = 1'0"

REMODEL AT TITLE:

57 SALTER STREET, SCALE: 1/8" = 1'0"  
PORTSMOUTH, NH DATE: 7.9.2020

Brendan McNamara

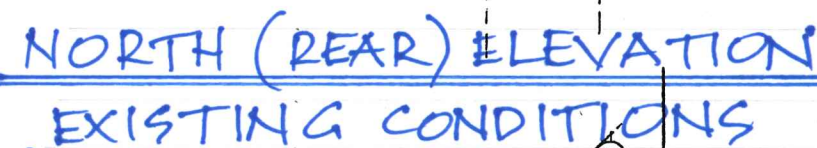
19 Doe Drive  
Elliot, ME 03903

207 439 3521 Phone

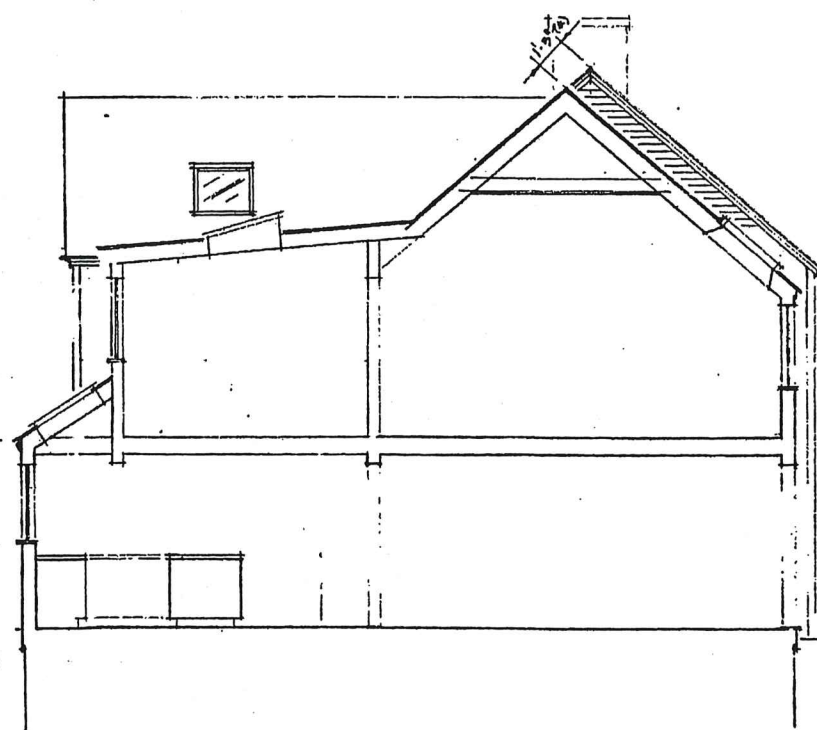
BrendanMcNamara.com

Brendan McNamara  
RESIDENTIAL ARCHITECTURE




$$\frac{1}{8}'' = 10$$

NORTH ELEVATION



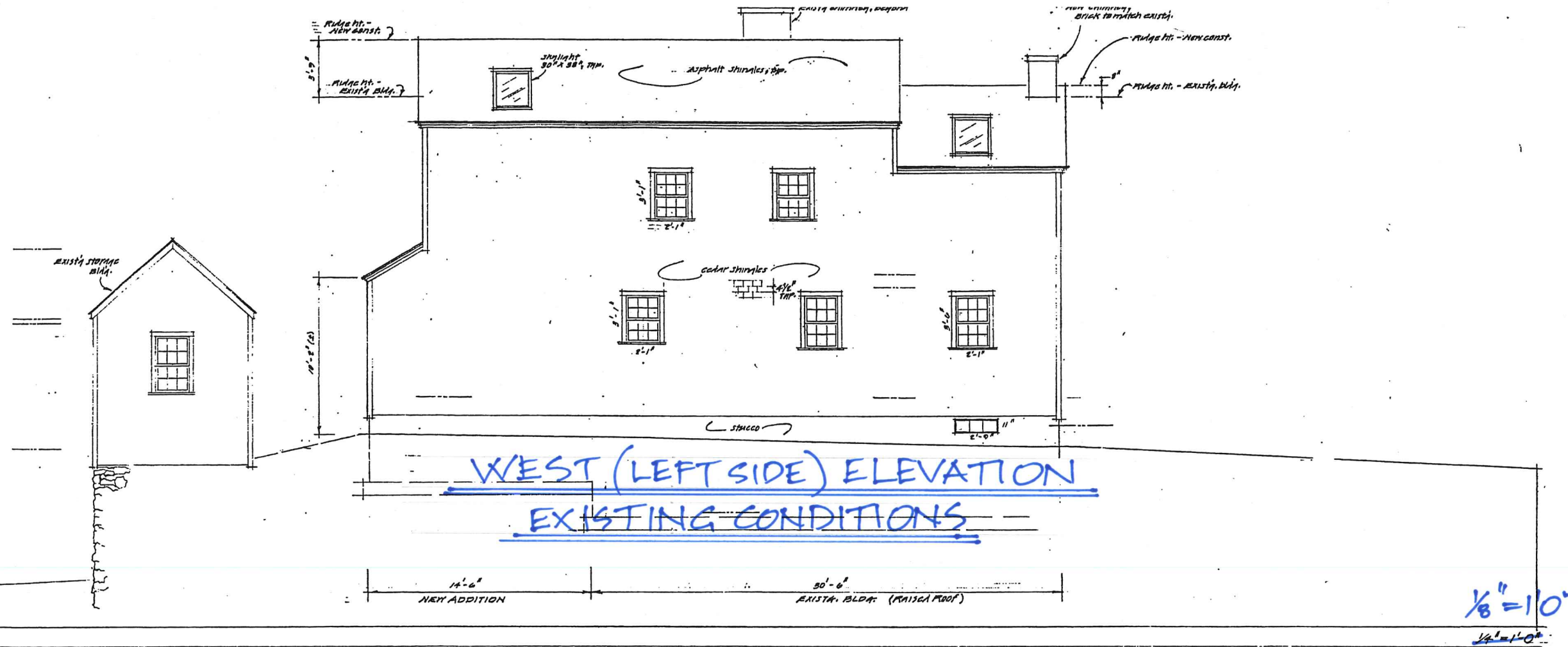
WINDOW


$$\frac{1}{8} = 1'$$
$$y_4'' = 1 - 0''$$

SOUTH ELEVATION

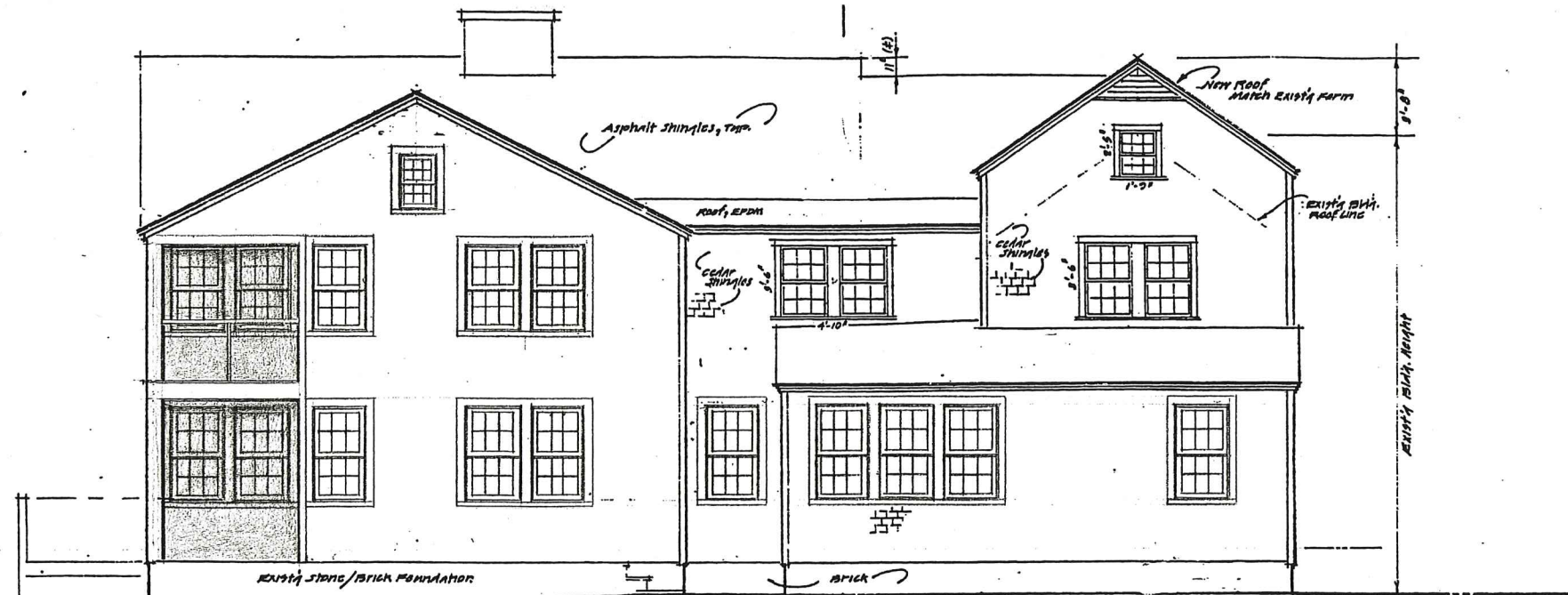
SECTION A-A







NORTH ELEVATION



PROPOSED NORTH (REAR) ELEVATION

SECTION A-A

1/4"=1'-0"

SOUTH ELEVATION



PROPOSED SOUTH (FRONT) ELEVATION

REMODEL AT TITLE:

57 SALTER STREET,  
PORTSMOUTH, NH  
DATE: 7.9.2020

Brendan McNamara

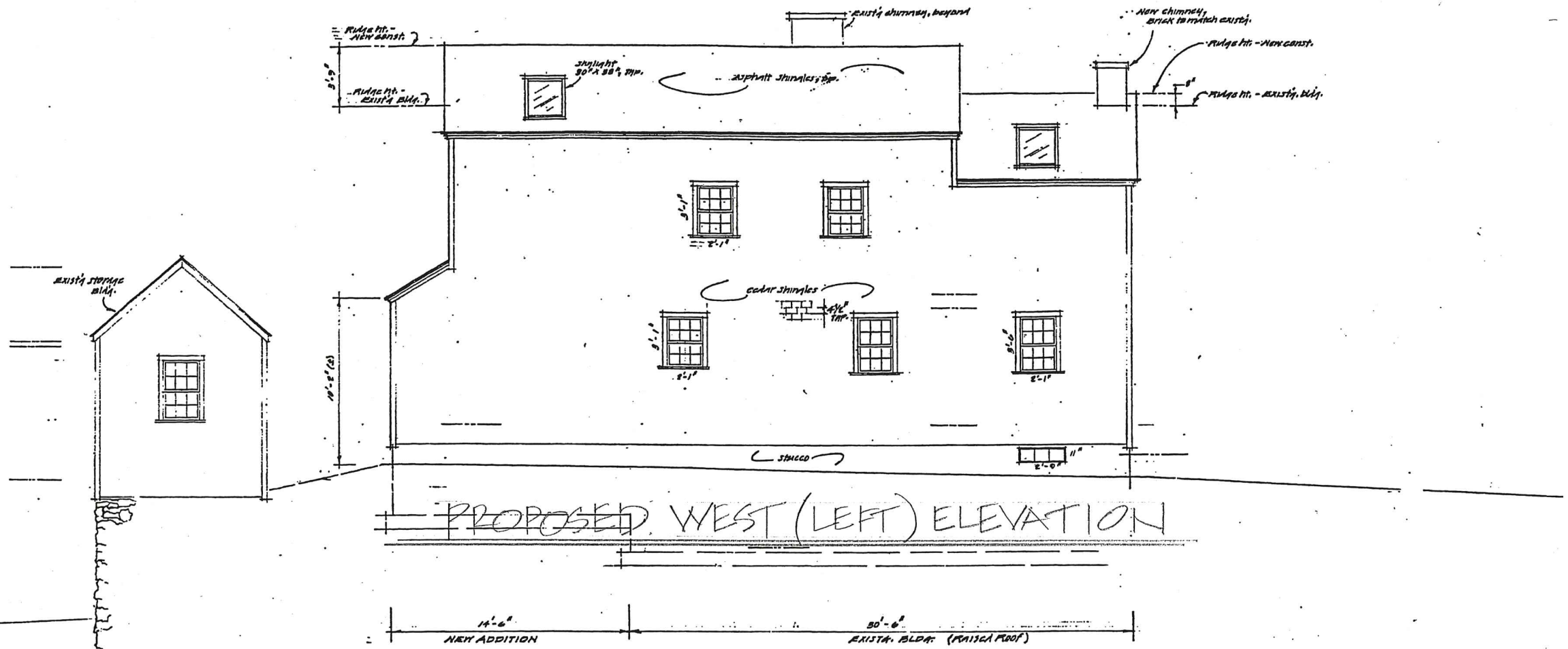
19 Doe Drive  
Eliot, ME 03903

207 439 3521 Phone

BrendanMcNamara.com

Brendan McNamara  
RESIDENTIAL ARCHITECTURE





WEST ELEVATION



EAST ELEVATION

Brendan McNamara

19 Doe Drive  
Eliot, ME 03903

207 439 3521 Phone

BrendanMcNamara.com

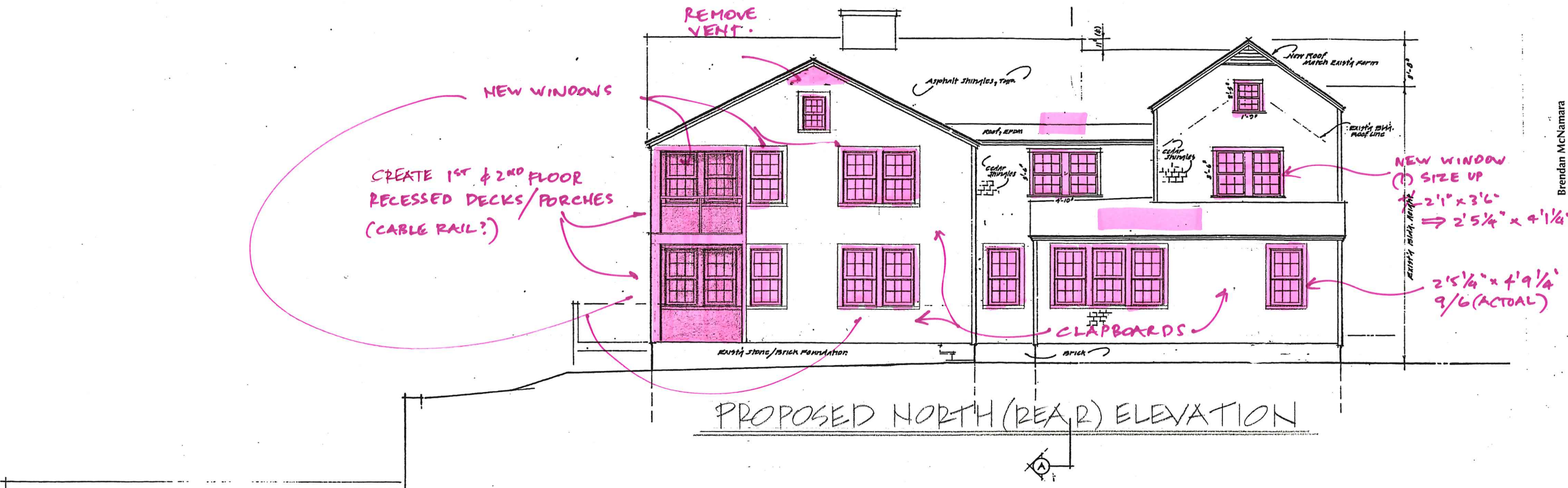
Brendan McNamara  
RESIDENTIAL ARCHITECTURE

TITLE: REMODEL AT

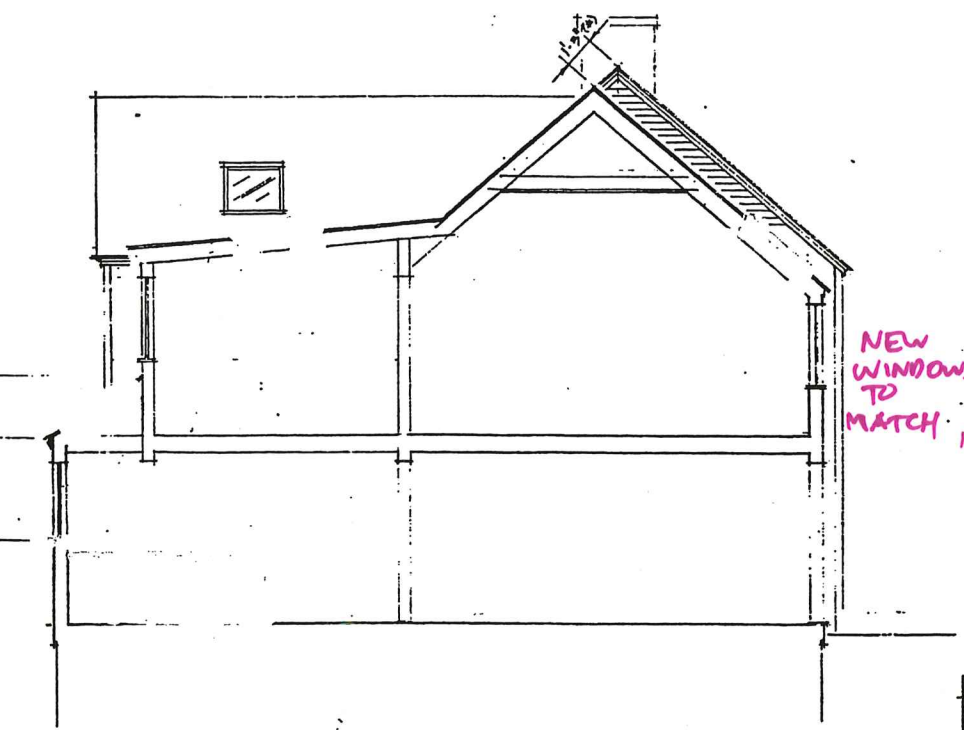
57 SALTER STREET, SCALE: 1/8"=1'0"

PORTSMOUTH, NH DATE: 7.9.2020



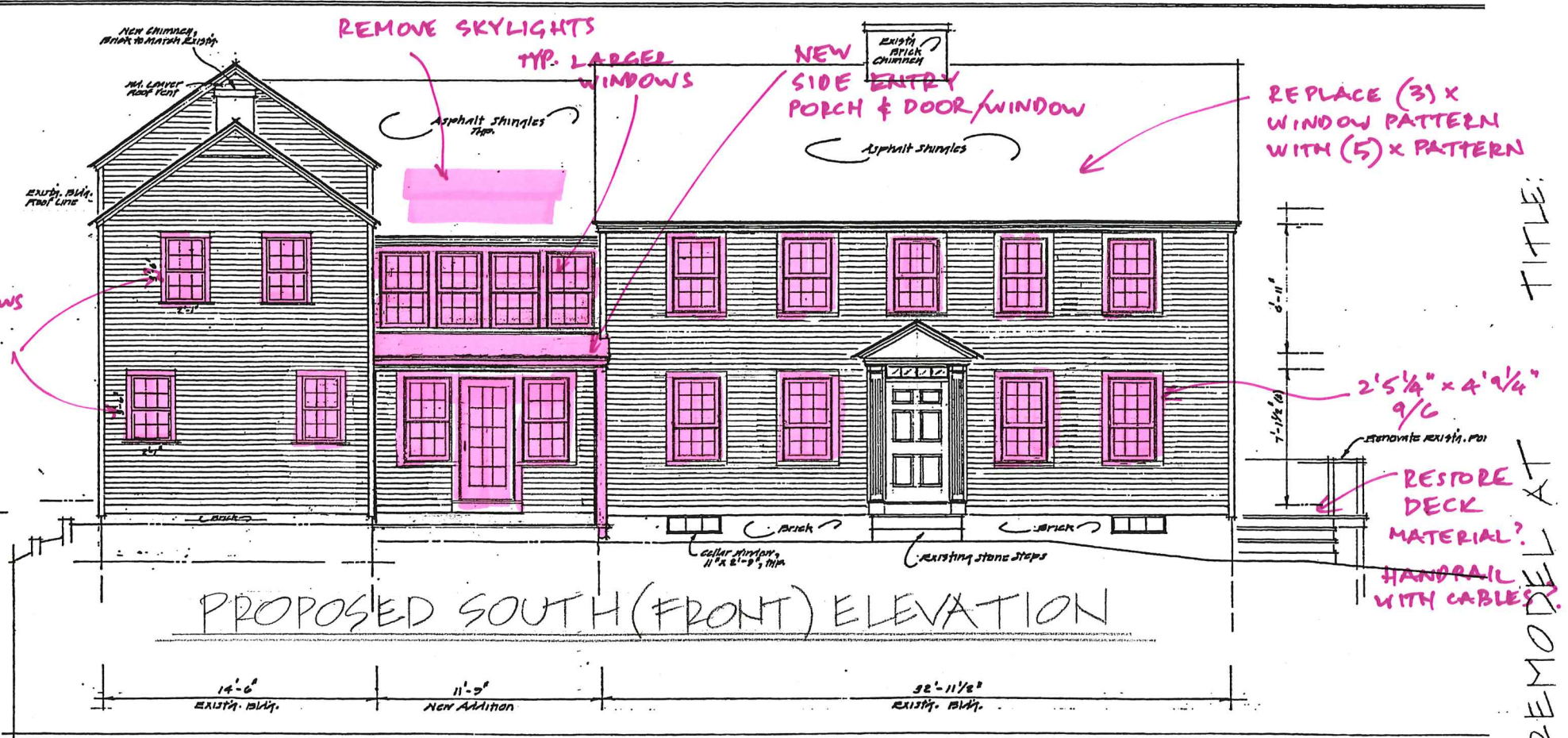


NORTH ELEVATION



SECTION A-A

1/4" = 1'-0"



SOUTH ELEVATION

TITLE: REMODEL AT

57 SALTER STREET,  
PORTSMOUTH, NH  
SCALE: 1/8" = 1'-0"  
DATE: 7.9.2020

Brendan McNamara

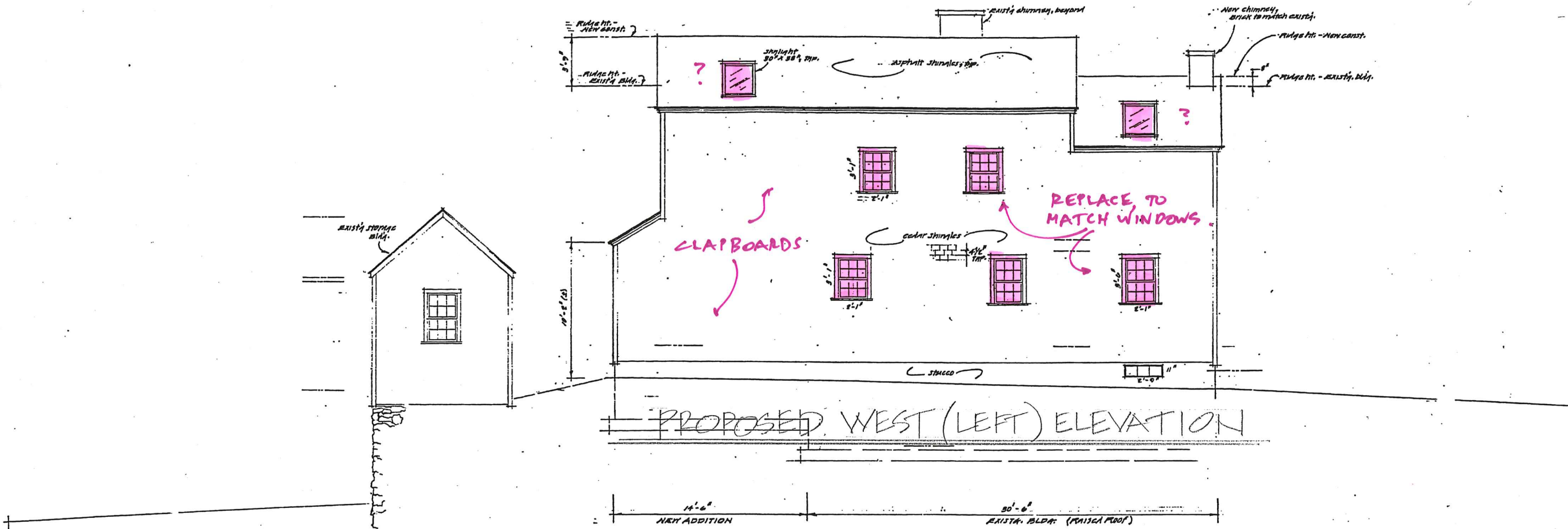
19 Doe Drive  
Eliot, ME 03903

207 439 3521 Phone

BrendanMcNamara.com

Brendan McNamara  
RESIDENTIAL ARCHITECTURE





WEST ELEVATION



EAST ELEVATION

Brendan McNamara

19 Doe Drive  
Elliot, ME 03903

207 439 3521 Phone

BrendanMcNamara.com

Brendan McNamara  
RESIDENTIAL ARCHITECTURE

TITLE:

REMODEL AT

SCALE: 1/8" = 1'0"

57 SALTER STREET,

PORTSMOUTH, NH

DATE: 7.9.2020











**Historic District Commission Work Session or Administrative Approval Application****LUHD-185****Status:** Active**Submitted:** Aug 13, 2020**Applicant**

Amy Dutton



207-337-2020



amy@amyduttonhome.com

**Location**50 NEW CASTLE AVE  
Portsmouth, NH 03801**Application Type****Please select application type from the drop down menu below**

Work Session

**Project Information****Brief Description of Proposed Work**

Addition and renovation to existing structure

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Other

**Email Address**

amy@amyduttonhome.com

**State**

ME

**Mailing Address (Street)**

9 Walker Street

**Phone**

2073372020

**Full Name (First and Last)**

Amy Dutton

**Business Name (if applicable)**

Amy Dutton Home

**City/Town**

Kittery

**If you selected "Other", please state relationship to project.**

Designer

**Zip Code**

03904

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.**

true

**I hereby certify that as the applicant for permit, I am**

Other

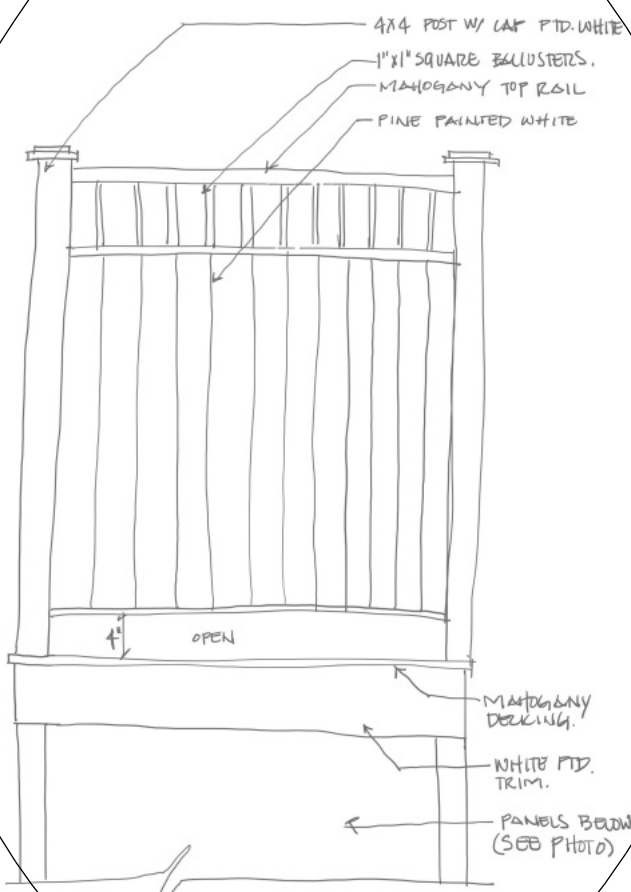
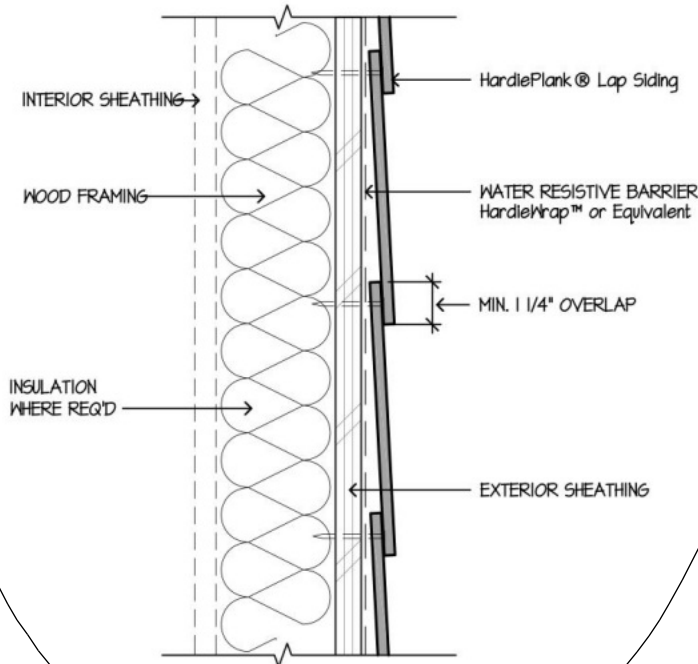
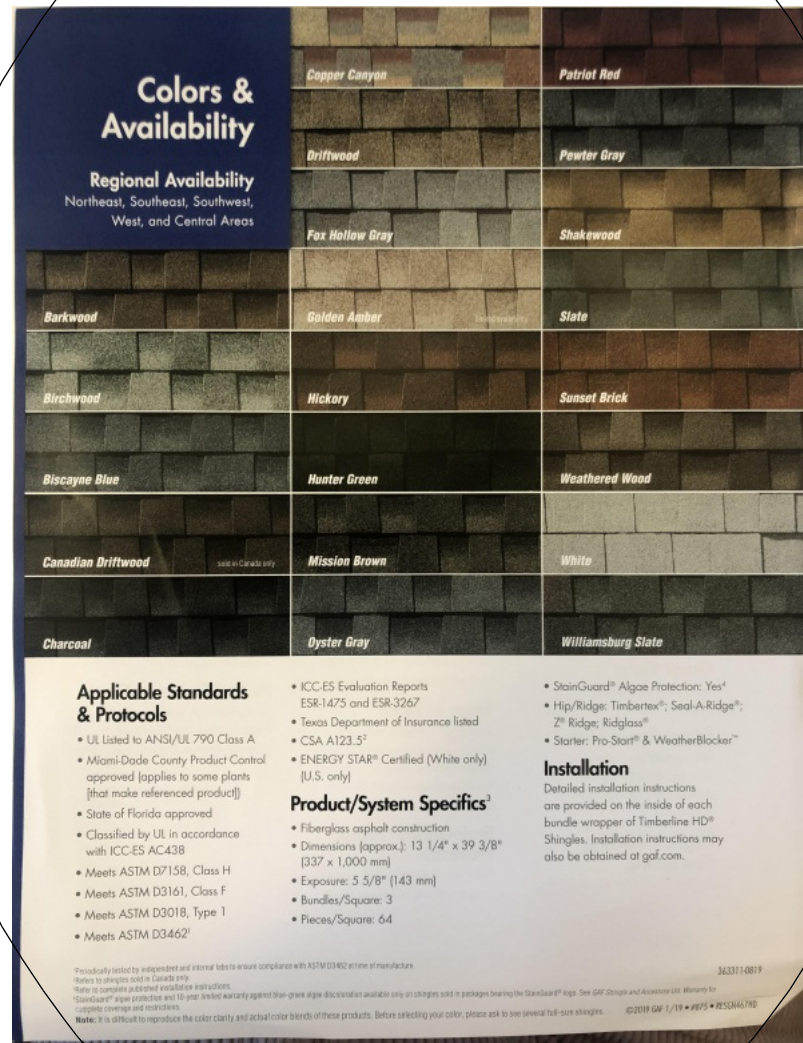
**By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**

true

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

Designer



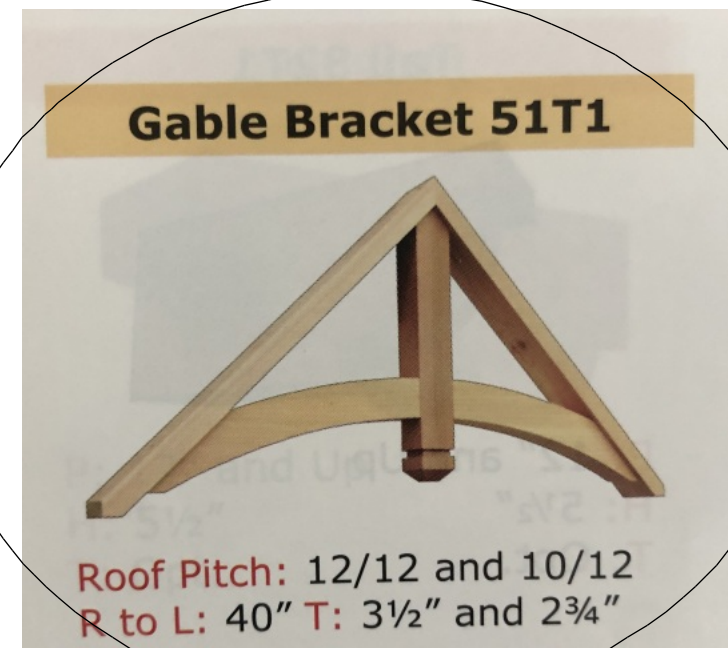


STORAGE AREA UNDER DECK REFERENCE FROM 11 SOUTH STREET  
NOTE: MATCHING PANELS ONLY - FLUSH INSTALLATION

\*WINDOWS: All new windows throughout house if budget allows. Removing 1/1 replacement double hung windows and large picture window installed in the 1970's to a historically appropriate 2/1 double hung window with black exterior  
\_MANUFACTURER: MARVIN - ELEVATE - 2/1 D.H.  
\_EXT. FINISH: BLACK  
\_INT. FINISH: WHITE

\*EXTERIOR PATIO: STONEWOOD EVERBLUE THERMAL BLUE

NOTES:  
\*CORNER BOARDS: TO MATCH EXISTING  
\*WATER TABLE: TO MATCH EXISTING  
\*RAKE BOARD: TO MATCH EXISTING  
\*SOFFIT: TO MATCH EXISTING  
\*WINDOW TRIM: TO MATCH EXISTING



Gable Bracket 51T1

Roof Pitch: 12/12 and 10/12  
R to L: 40" T: 3 1/2" and 2 3/4"



Bracket 14T3

Top Seller

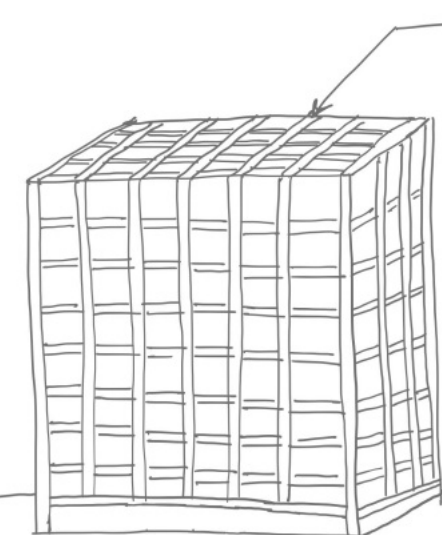
P: 28"

H: 28"

T: 5 1/2"

BT: 3 1/2"

PTD WHITE



A/C COMPRESSOR COVER REFERENCE FROM 14 SOUTH STREET

COVER FOR HVAC CONDENSER

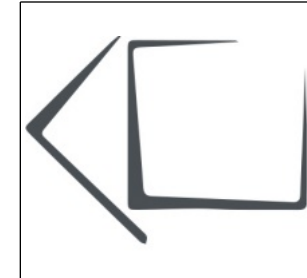
CEILING 1" W. WEATHER. NATURALLY.

NOTE: GARDEN WILL BE INSTALLED FROM CONDENSER.



Everblue™ | Thermal Blue

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



## OVERVIEW

### DRAWING INDEX

- 1 OVERVIEW
- 2 GLASS HOUSE
- 3 OVERLAY
- 4 SITE PLAN
- 5 DEMO
- 6 FOUNDATION
- 7 FIRST FLOOR
- 8 SECOND FLOOR
- 9 WINDOW & DOOR
- 10 SCHEDULE
- 11 ELEVATIONS
- 12 ELEVATIONS
- 13 SECTION
- 14 FRAMING
- 15 OVERVIEW
- 16 ROOFS
- 17 DETAILS
- 18 ELECTRICAL
- 19 PLUMBING
- 20 KITCHEN
- 21 BATH
- 22 CABINETRY
- 23 PERSPECTIVES

### CLIENT:

TIM & ALEX LIETO  
50 NEW CASTLE AVE  
PORTSMOUTH, NH

### CONTACT:

AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@duttonhome.com  
207.703.0646

### DATE:

8/13/20

### SCALE:

SCALED FOR:  
24" X 36"

### DRAWING SCALE

### SHEET:

A1

## OVERVIEW

SCALE: NOT TO SCALE

## SPECIFICATIONS + NOTES

\*ROOFING MATERIAL: Timberline HD Shingles in Charcoal

\*ALL TRIM PACKAGE: TYP.

\*SIDING: Should budget allow the ideal scenario would be to remove the aluminum siding, repair existing wood clapboards and install new cedar clapboards on the addition. Paint the entire house BM, Simply White. OPTION 2: HardiePlank Lap Siding w/ 4" exposure on addition ONLY

\*BRACKETS: ProNood Market - Bracket 14T3 - P 28", H:28", T: 5.5" (Ptd: WHITE)

\*STAIR SYSTEM:

### \_EXTERIOR:

\*BROSCO: Liberty Extruded Rail System

\*RISER: AZEC- WHITE

\*TREAD: SELECTWOOD, ZURI "Weathered Grey"

\*HANDRAIL: WOOD MAHOGANY RAIL

\*BALUSTERS: WOOD SQ WHITE 1"x1"

\*DECK: MAHOGANY

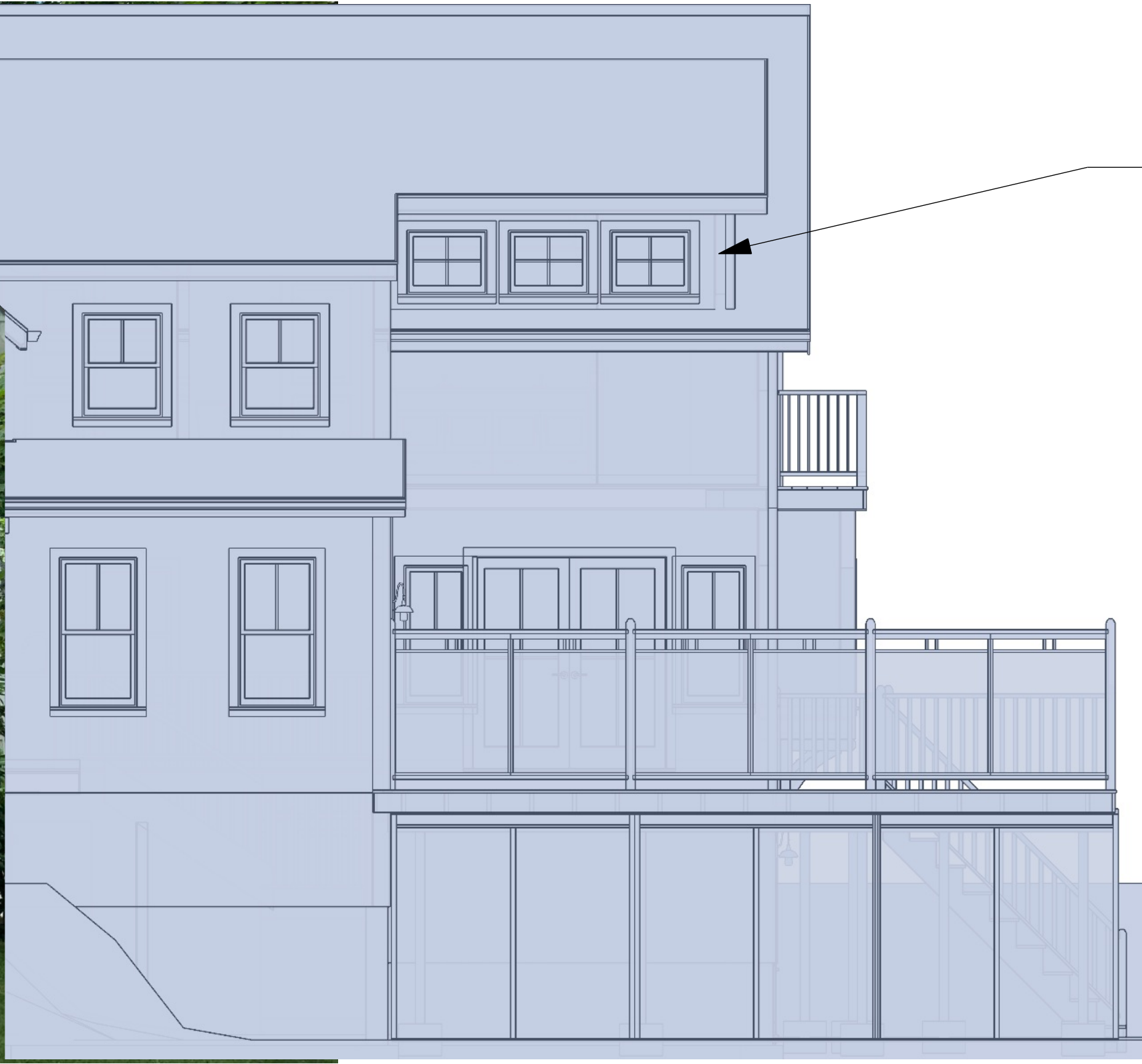
\*PRIVACY: TO MATCH SKETCH, UNDER DECK AS WELL (SLIDING PANELS)





EAST ELEVATION PHOTO | SIDEVIEW

SCALE: 1/4" = 1'-0"



MARVIN - ELEVATE SERIES  
AWNING



Simulated Divided Lite (SDL)



An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

Features of the Elevate Awning Window

- Available in heights up to 4 feet or widths up to 4 feet
- Narrow frame replacement option is available to fit seamlessly into existing window openings
- Dual-point locking system ensures a tight seal and security from top to bottom
- Available with IZ3 coastal/hurricane certification
- CE certified



MARVIN - ELEVATE SERIES  
DOUBLE HUNG

Simulated Divided Lite (SDL)



An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

Features of the Elevate Double Hung Window

- Available in heights up to 7 feet or widths up to 4.5 feet
- Low-profile locking mechanism for smooth operation
- Insert replacement option is available to fit seamlessly into existing window openings
- Sashes tilt in for easy cleaning of both sides of glass from indoors
- Available with IZ3 coastal/hurricane certification
- CE certified



WEST ELEVATION PHOTO | SIDEVIEW

SCALE: 1/4" = 1'-0"



NOTE: REPLACING EXISTING STAINED GLASS AND PLASTIC WINDOW AWB WITH 2/1 WINDOW TO MATCH REST OF HOUSE

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.

GLASS HOUSE  
OVERLAY

DRAWING INDEX

1	OVERVIEW
2	GLASS HOUSE OVERLAY
3	SITE PLAN
4	DEMO
5	FOUNDATION
6	FIRST FLOOR
7	SECOND FLOOR
8	WINDOW & DOOR SCHEDULE
9	ELEVATIONS
10	ELEVATIONS
11	ELEVATIONS
12	SECTION
13	FRAMING
14	FRAMING OVERVIEW
15	ROOFS
16	DETAILS
17	ELECTRICAL
18	PLUMBING
19	KITCHEN
20	BATH
21	CABINETRY
22	PERSPECTIVES

CLIENT:

TIM & ALEX LIETO  
50 NEW CASTLE AVE  
PORTSMOUTH, NH

CONTACT:

AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@duttonhome.com  
207.703.0696

DATE:

8/13/20

SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A2



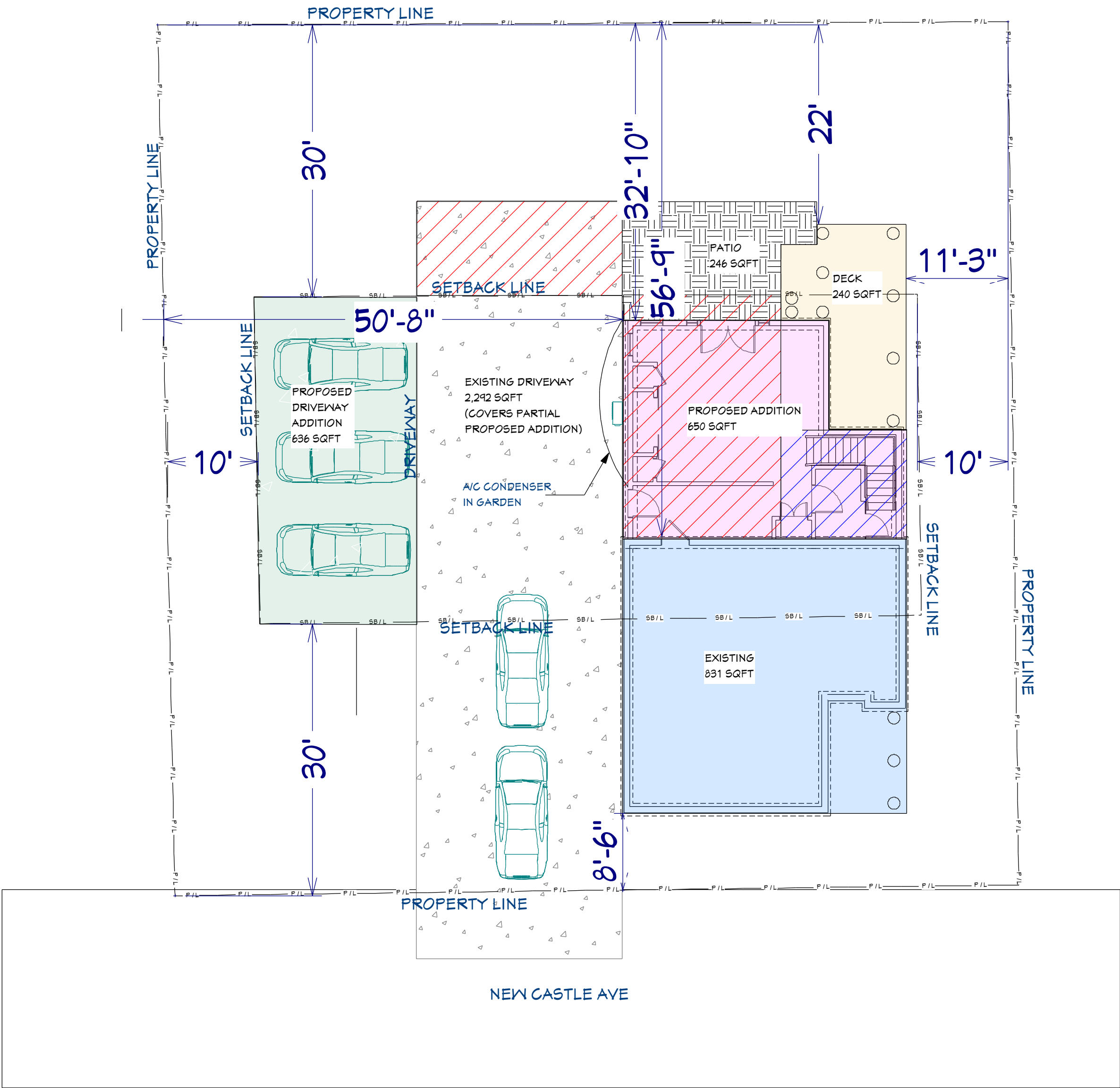
CALCULATIONS

ZONING MAXIMUMS:  
front setback: 30'  
rear setback: 30'  
side setbacks: 10'  
lot coverage: 20%

EXISTING CONDITIONS:  
LOT SIZE: 0.22 ACRES  
ANTICIPATED DISTURBED AREA: 862 SF  
FRONT/REAR HEIGHT:  
27'3" EXISTING RIDGE HT FROM FRONT GRADE  
32'3" EXISTING RIDGE HT FROM BACK GRADE  
LIVABLE SF: 1,454 SF  
FIRST FLOOR 831 SF  
3/4 STORY 623 SF  
BASEMENT 0 SF  
DECK 0 SF  
PORCH 0 SF  
GROSS SF: 2,756 SF  
FIRST FLOOR 831 SF  
3/4 STORY 831 SF  
BASEMENT 831 SF  
DECK 164 SF  
PORCH 99 SF  
AREA OF FOOTPRINT: 1,094 SF  
EXISTING DRIVEWAY: 2,292 SF  
EXISTING PARKING SPOTS: 5  
EXISTING SETBACKS:  
FRONT: 8'6"  
REAR: 56'9"  
LEFT: 11'4"  
RIGHT: 50'8"  
EXISTING LOT COVERAGE: 11.42%  
EXISTING PARCEL AREA: 0.0251 ACRES

PROPOSED CONDITIONS:  
FRONT/REAR HEIGHT:  
27'3" PROPOSED RIDGE HT FROM FRONT GRADE  
32'3" PROPOSED RIDGE HT FROM BACK GRADE  
LIVABLE SF: 2,131 SF  
FIRST FLOOR 1,481 SF  
3/4 STORY 650 SF  
BASEMENT 0 SF  
DECK 0 SF  
PORCH 0 SF  
GROSS SF: 4,132 SF  
FIRST FLOOR 1,481 SF  
3/4 STORY 831 SF  
BASEMENT 1,481 SF  
DECK 240 SF  
PORCH 99 SF  
AREA OF FOOTPRINT: 1,721 SF  
PROPOSED PATIO: 246 SF  
PROPOSED DRIVEWAY: 2,928 SF  
PROPOSED PARKING SPOTS: 5  
PROPOSED SETBACKS:  
FRONT: 8'6"  
REAR: 32'10"  
LEFT: 11'4"  
RIGHT: 50'8"  
PROPOSED LOT COVERAGE: 18.99%  
PROPOSED PARCEL AREA: 0.0395 ACRES

SITE PLAN



SITE PLAN

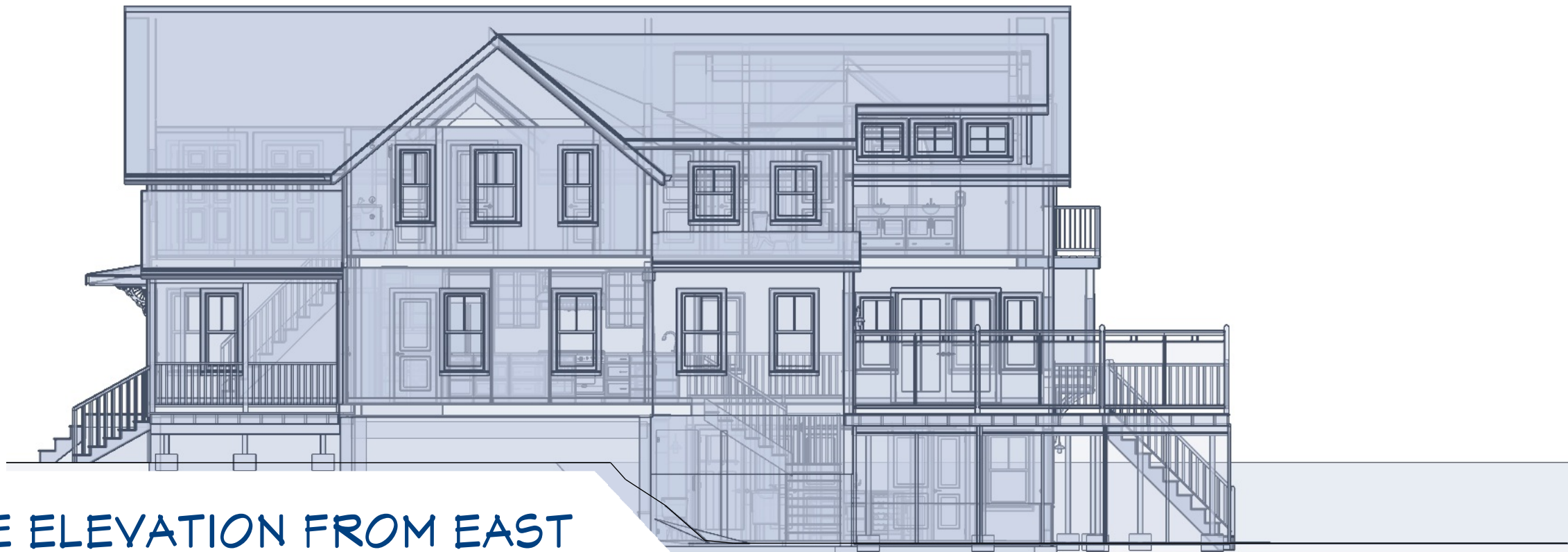
SCALE: 1" = 10'-0"

CAD BLOCK GUIDE

- EXISTING FOOTPRINT (831 SF)
- EXISTING DECK TO BE REMOVED (164 SF)
- EXISTING DRIVEWAY TO BE REMOVED (632 SF)
- PROPOSED ADDITION (650 SF)
- PROPOSED DECK (240 FT)
- PROPOSED DRIVEWAY PARKING SF (636 SF)



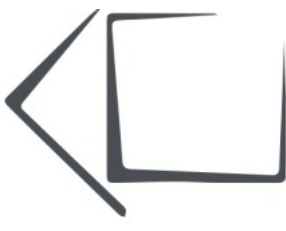
GOOGLE SATELLITE SITE



GLASS HOUSE ELEVATION FROM EAST

SCALE: 1/8" = 1'-0"

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



SITE PLAN

DRAWING INDEX

- 1 OVERVIEW
- 2 GLASS HOUSE OVERLAY
- 3 SITE PLAN
- 4 DEMO
- 5 FOUNDATION
- 6 FIRST FLOOR
- 7 SECOND FLOOR
- 8 WINDOW & DOOR SCHEDULE
- 9 ELEVATIONS
- 10 ELEVATIONS
- 11 ELEVATIONS
- 12 SECTION
- 13 FRAMING
- 14 FRAMING OVERVIEW
- 15 ROOFS
- 16 DETAILS
- 17 ELECTRICAL
- 18 PLUMBING
- 19 KITCHEN
- 20 BATH
- 21 CABINETRY
- 22 PERSPECTIVES

CLIENT:

TIM & ALEX LIETO  
50 NEW CASTLE AVE  
PORTSMOUTH, NH

CONTACT:

AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@dumyuttonhome.com  
207.703.0696

DATE:

8/13/20

SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A3






NORTH ELEVATION PHOTO | FRONT VIEW

SCALE: NOT TO SCALE



NORTH ELEVATION EXISTING | FRONT VIEW (NO CHANGES)

SCALE: 1/4" = 1'-0"



**VICOMTE SCONCE**  
\$495 REGULAR  
\$371 MEMBER

Jonathan Browning elevates the classic industrial safety cage, applying his signature design sensibility to Vicomte's openwork composition. Retaining its pure modernist form, Browning refines the aesthetic with thin vertical bars and precisely angled corners, creating an harmonious interplay between positive and negative space.

**HIDE DETAILS -**

- Crafted of solid brass
- Rated for one 40W max. E26-base bulb
- Bulb included
- If brighter light is preferred, consider an LED bulb with a higher lumen output. [View our assortment.](#)
- Dimmer switch compatible
- 110-120V manufactured to US standards for US and Canadian markets. Requires outlet adapter and voltage converter for use internationally.
- Wet UL listed; suitable for use indoors or outdoors, including areas that receive direct contact with rain, snow or excessive moisture
- ADA compliant (not more than 4"D when installed)
- Hardwire; professional installation required
- Wipe with a soft dry cloth; avoid the use of all cleaners and abrasives, as they will damage the finish

**HIDE DIMENSIONS -**

Overall: 4 1/2"W x 4"D x 10 1/2"H  
Backplate: 4 1/2" diam.  
Weight: 5 lbs.

**FINISH OPTIONS**

Polished Chrome

Lacquered Burnished Brass

Bronze

Shown in Bronze.

40W INCANDESCENT BULB | DARK SKY COMPLIANT  
BRONZE FINISH



SOUTH ELEVATION PHOTO | REAR VIEW

SCALE: NOT TO SCALE



SOUTH ELEVATION EXISTING | REAR VIEW

SCALE: 1/4" = 1'-0"

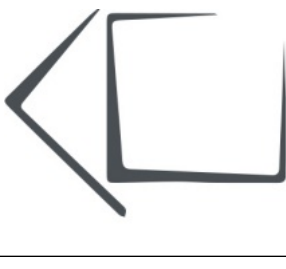


SOUTH ELEVATION PROPOSED | REAR VIEW

SCALE: 1/4" = 1'-0"

NOTE: AIR CONDENSER  
LOCATED ABOVE

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



**ELEVATIONS**

**DRAWING INDEX**

1	OVERVIEW
2	GLASS HOUSE
3	OVERLAY
4	SITE PLAN
5	DEMO
6	FOUNDATION
7	FIRST FLOOR
8	SECOND FLOOR
9	WINDOW & DOOR
10	SCHEDULE
11	ELEVATIONS
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13	SECTION
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17	DETAILS
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21	BATH
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**CLIENT:**  
TIM & ALEX LIETO  
50 NEW CASTLE AVE  
PORTSMOUTH, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0696

**DATE:**  
8/13/20

**SCALE:**  
SCALED FOR:  
24" X 36"

**DRAWING SCALE**

**SHEET:**

**A9**  
ELEVATIONS





EAST ELEVATION PHOTO | SIDEVIEW

SCALE: 1/4" = 1'-0"



EAST EXISTING ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



MARVIN - ELEVATE SERIES  
SWINGING FRENCH DOOR

Features of the Elevate Swinging French Door

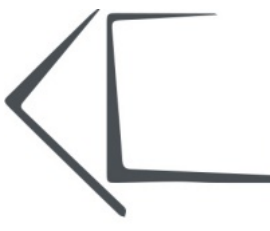
- Available in heights up to 8 feet or widths up to 9 feet
- Inswing or outswing motion to meet design and weather constraints
- Multi-point locking system ensures a tight seal and security from top to bottom
- Fiberglass sill that stands up to foot traffic and weather
- Available with IZ3 coastal/hurricane certification
- CE certified



EAST PROPOSED ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



ELEVATIONS

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9 WALKER STREET | KITTERY, ME  
amy@duttonhome.com  
207.703.0696

DATE:

8/13/20

SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

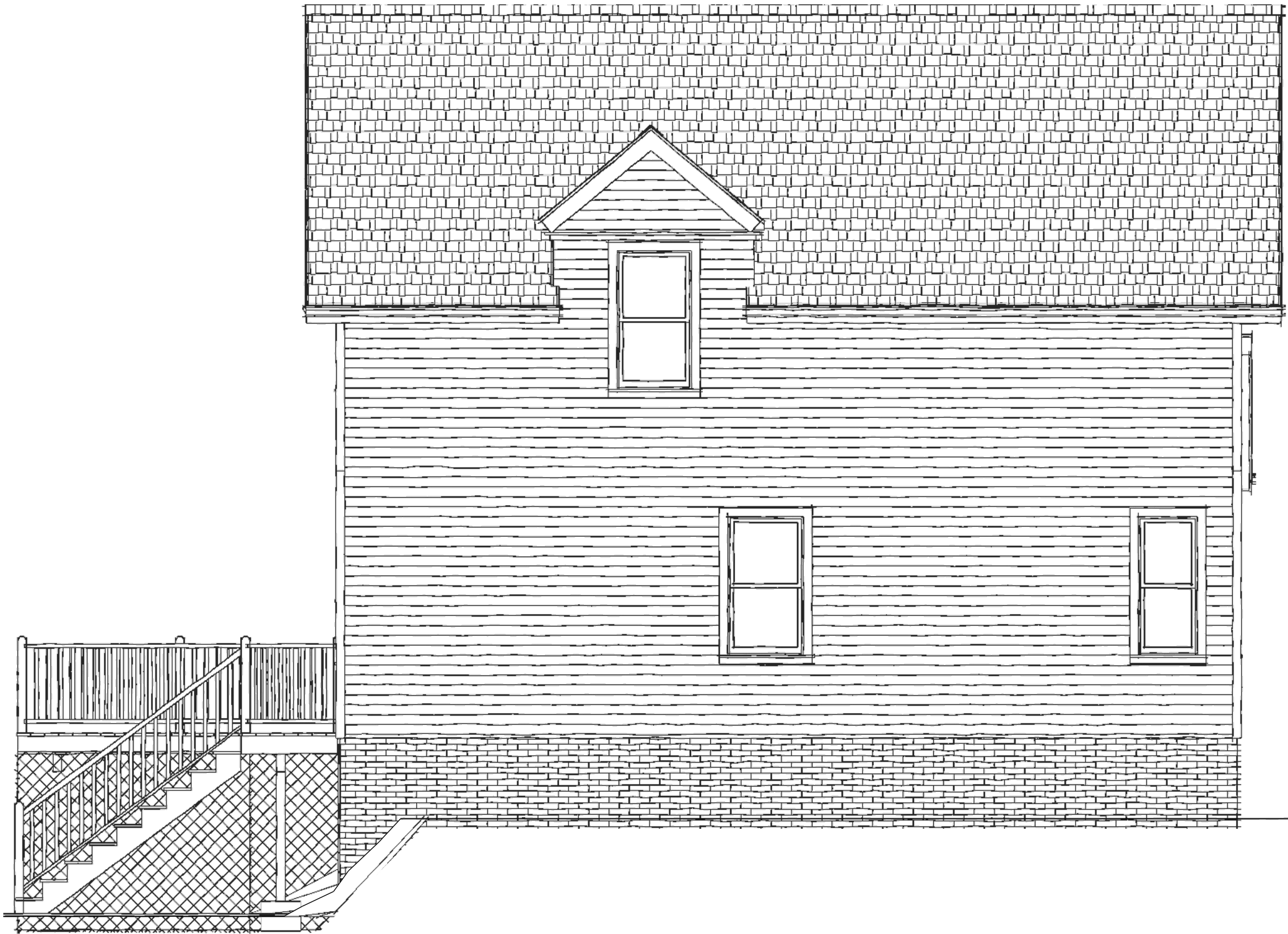
A10  
ELEVATIONS





WEST ELEVATION PHOTO | SIDEVIEW

SCALE: 1/4" = 1'-0"



WEST EXISTING ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



WEST PROPOSED ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"

SIMPSON - 37482  
THERMAL SASH DOOR

[Back to Search Results](#)



37482 THERMAL SASH  
(SDL)

SERIES: [Exterior French & Sash Doors](#)

TYPE: Exterior French & Sash

**APPLICATIONS:** Can be used for a swing door, Dutch Door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

**Construction Type:** Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

**Panels:** 3/4" VG Flat Panel

**Glass:** 3/4" Insulated Glazing

GET A QUOTE

If you are interested in receiving a quote from a dealer, please select the options below and click on the "Request Dealer Quote" below.

*Rough opening needs to be 2" wider and 2 1/2" taller than your door.*

**WIDTH** 3'0" ▾

**HEIGHT** 6'8" ▾

**WOOD SPECIES**

Fir ▾

**GLASS** 3/4" Clear IG ▾

**PANEL** 1 1/16" Pnl Ext FP/Int RP ▾

UPGRADES

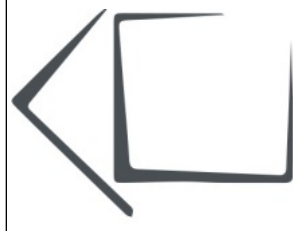
☐ UltraBlock Technology

☐ WaterBarrier Technology

[REQUEST DEALER QUOTE](#)

DUTCH DOOR TO BE USED ON FRONT DECK  
REGULAR TO BE USED AT MUDROOM ENTRANCE

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



ELEVATIONS

DRAWING INDEX

- OVERVIEW
- GLASS HOUSE
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207.703.0696

DATE:

8/13/20

SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A11  
ELEVATIONS



**Historic District Commission Work  
Session or Administrative Approval  
Application****LUHD-186****Status:** Active**Submitted:** Aug 14, 2020**Project:** 553 Islington St additon and interior upgrades -- 2020**Applicant**

Timothy Brochu



207-613-7036



tim@adraarchitecture.com

**Location**553 ISLINGTON ST  
Portsmouth, NH 03801**Application Type****Please select application type from the drop down menu below**

Work Session

**Project Information****Brief Description of Proposed Work**

The project proposes comprehensive interior alterations of the existing 6-unit apartment building and a small 2-1/2 story addition at the rear of the building. This will allow for improvements for code compliance and a better unit layout, without increasing the number of units. All siding will be replaced, and other exterior trim and finishes will be replaced or repaired. Site improvements will include paving and striping parking areas and creating new planting beds.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Mailing Address (Street)**

6 School St

**Zip Code**

03904

**Business Name (if applicable)**

Adra Architecture LLC

**If you selected "Other", please state relationship to project.**

--

**State**

ME

**City/Town**

Kittery

**Phone**

207-613-7036

**Email Address**

tim@adraarchitecture.com

**Relationship to Project**

Architect

**Full Name (First and Last)**

Timothy Brochu

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true



## Historic District Commission Work Session Application

August 14, 2020

Juliet Walker, Planning Director  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

### RE: Request for HDC Work Session for 553-559 Islington Street, Tax Map 157 / Lot 3

Dear Ms. Walker,

On behalf of 553 – 559 Islington Street, LLC we hereby submit the attached and enclosed Architectural and Site Plans for HDC Work Session discussion at the September 2 HDC Work Session.

The project proposes comprehensive interior alterations of the existing 6-unit apartment building and a small 2-1/2 story addition at the rear of the building. This will allow for improvements for code compliance and a better unit layout, without increasing the number of units. All siding will be replaced, and other exterior trim and finishes will be replaced or repaired. Site improvements will include paving and striping parking areas and creating new planting beds.

The following plans are included in our submission:

#### ARCHITECTURAL:

- **A001 Table of Contents & Project Directory** – This shows the Table of Contents of Architectural Drawings, Project Directory, Location Map, and 3D view of the proposed project.
- **A020 Existing Photos** – This shows satellite and birdseye images of the neighborhood along with photos of the building exterior and site.
- **A105 Area Plans - Existing & New Work** – This shows area plans delineating each dwelling unit and common areas in the existing and proposed building, along with a table of these areas.
- **A110 Floor Plans – Demolition** – These plans indicate the scope of architectural demolition work.
- **A120 Floor Plans - Basement & First Floor - New Work** – These plans indicate the scope of new architectural work on these levels.
- **A121 Floor Plans - Second Floor & Third Floor - New Work** - These plans indicate the scope of new architectural work on these levels.
- **A130 Roof Plans - Demolition & New Work** - These plans indicate the scope of demolition and new work at the Roof level.
- **A210 Building Elevations – Demolition** – These indicate the scope of architectural demolition work on the building exterior.
- **A220 Exterior Elevations - New Work** – These indicate the scope of architectural work on the building exterior
- **A310 3D Views - Exterior - New Work** - These show the finished appearance of the proposed project exterior.



## Historic District Commission Work Session Application

### CIVIL:

- **Civil Cover Sheet** – This shows the Development Team, Legend, Site Location, and Site Zoning.
- **C1 Existing Conditions Plan** – This plan shows the property boundary lines and areas and the topography and existing site features.
- **C2 Demolition Plan** – This plan shows site demolition; in particular features that will be removed from the property.
- **C3 Site Layout Plan** – This plan shows the proposed site layout.
- **C4 Utility Plan** – This plan shows the proposed utilities including service connections.
- **C5 Grading, Drainage and Erosion Control Plan**

Please note that the Site Plans indicate a proposed ramp to Unit 559-1, which is not shown on the architectural drawings. At the time of this application we are in the process of reviewing requirements for accessibility for Unit 559-1 with the Inspection Department based on feedback from our 8/11 TAC Work Session.

We look forward to the Historic District Commission's review of this submission. If there are any questions or comments please feel free to reach out to me.

Sincerely,



Tim Brochu, Principal and Manager  
Adra Architecture LLC  
NH Licensed Architect

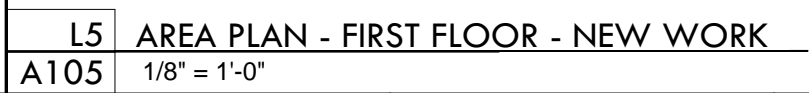
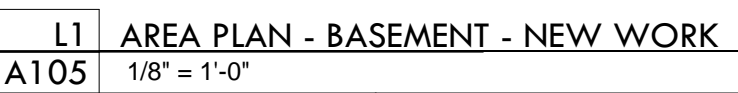
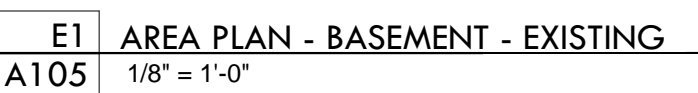




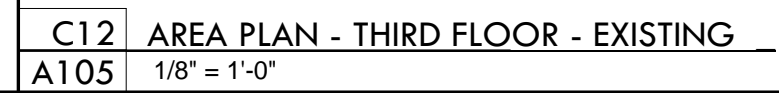








L9	AREA PLAN - SECOND FLOOR - NEW WORK
A105	1/8" = 1'-0"



L12	AREA PLAN - THIRD FLOOR - NEW WORK
A105	1/8" = 1'-0"

COMMON CIRC.  
54 SF

COMMON SHAFT  
6 SF

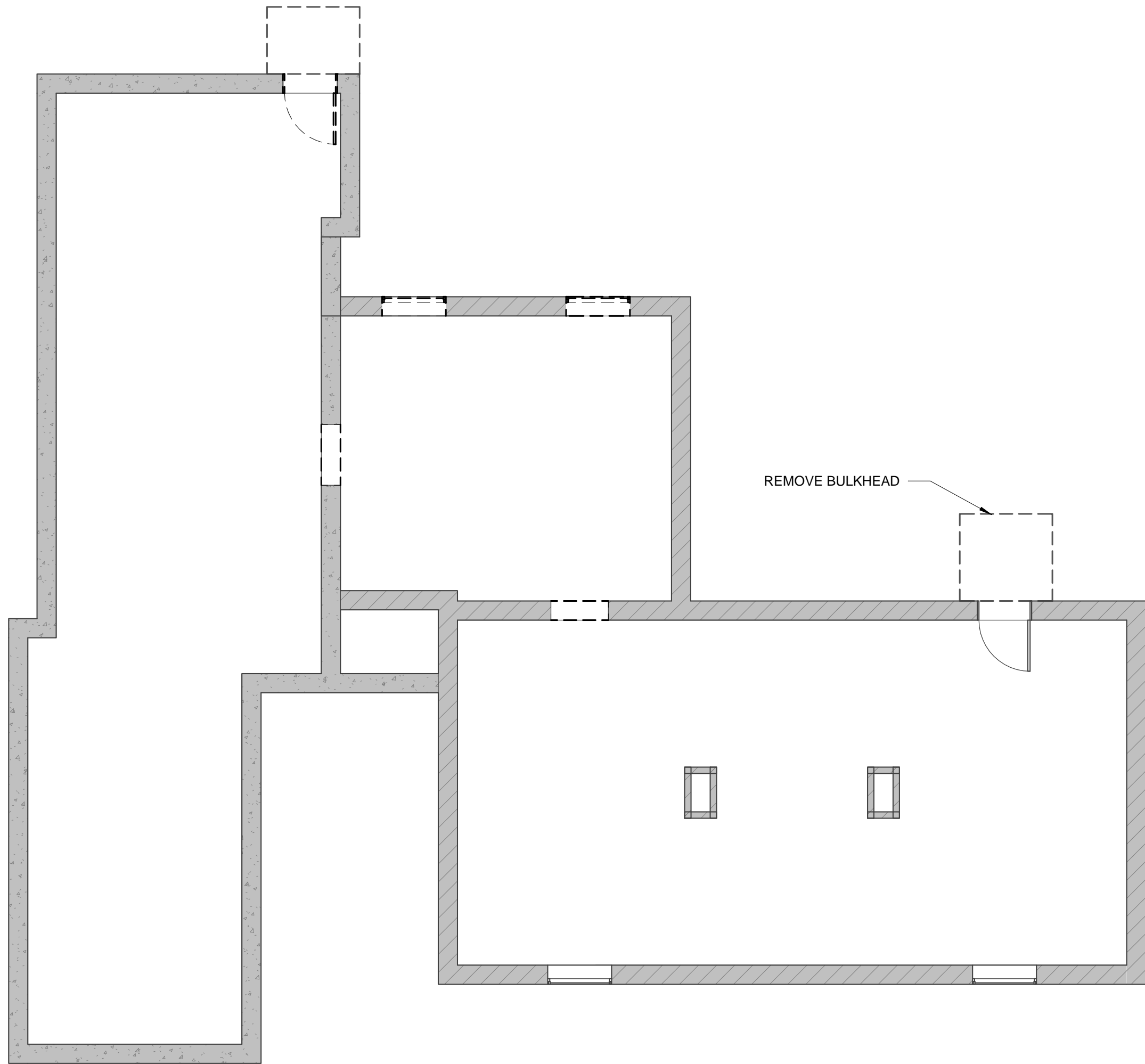
UNIT 553-5  
1052 SF

REF.

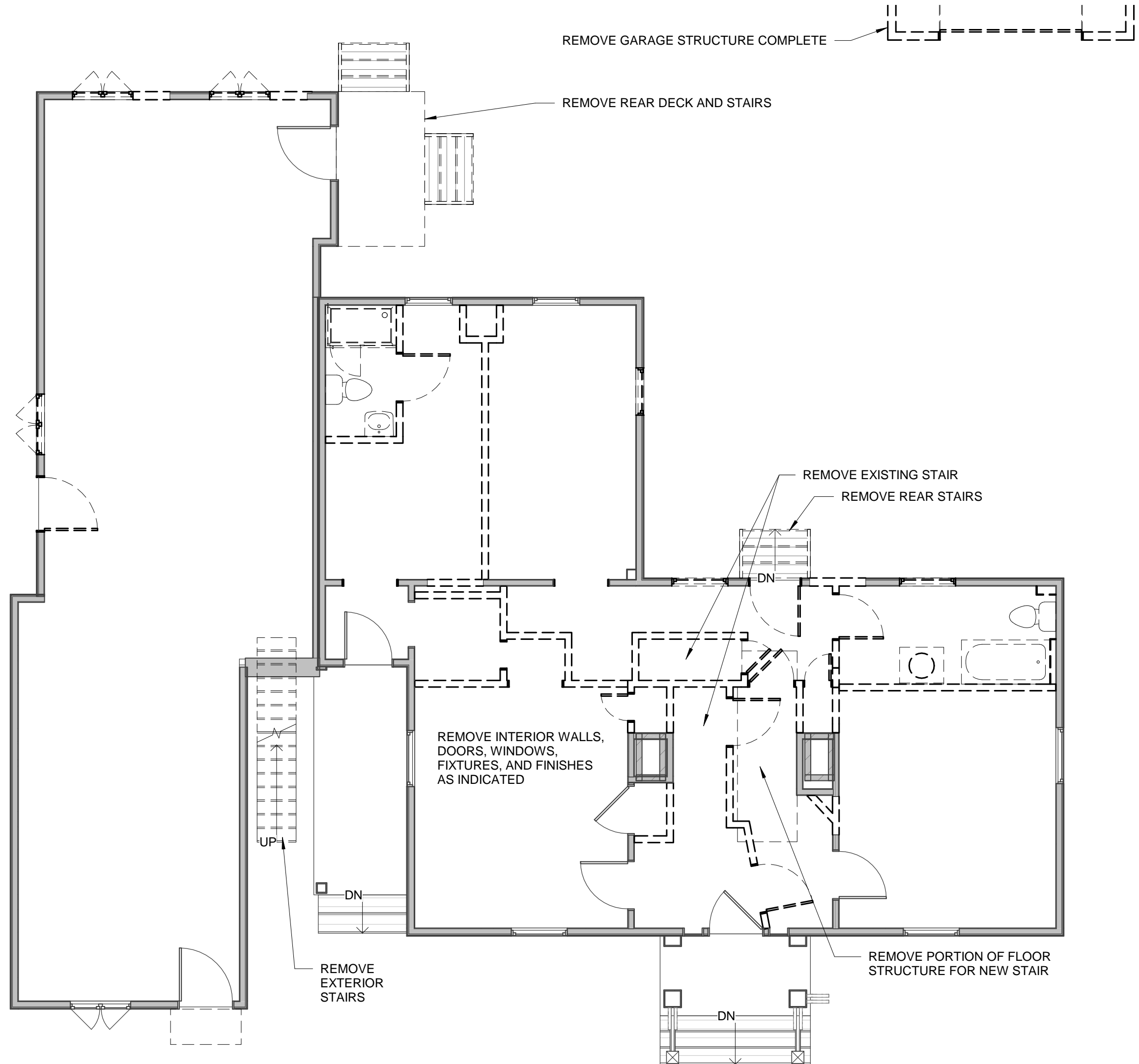
The floor plan shows a unit with a kitchen, living area, and two bedrooms. A common circulation area and a common shaft are highlighted in purple. The unit is labeled 'UNIT 553-5' and '1052 SF'. A reference area is labeled 'REF.'.



A110



L1	FLOOR PLAN - BASEMENT - DEMOLITION
A110	3/16" = 1'-0"



L8	FLOOR PLAN - FIRST FLOOR - DEMOLITION
A110	3/16" = 1'-0"

553-559  
ISLINGTON STREET  
REDEVELOPMENT

553 Islington Street  
Portsmouth, NH 03801

[illegible]

DATE ISSUED: 8/14/20  
DATE REVISED:  
DRAWN BY: Tim Brochu  
SCALE: As indicated

## KEY PLAN



NOT FOR CONSTRUCTION  
HDC WORK SESSION  
SUBMISSION

**FLOOR PLANS - DEMOLITION**

A110





















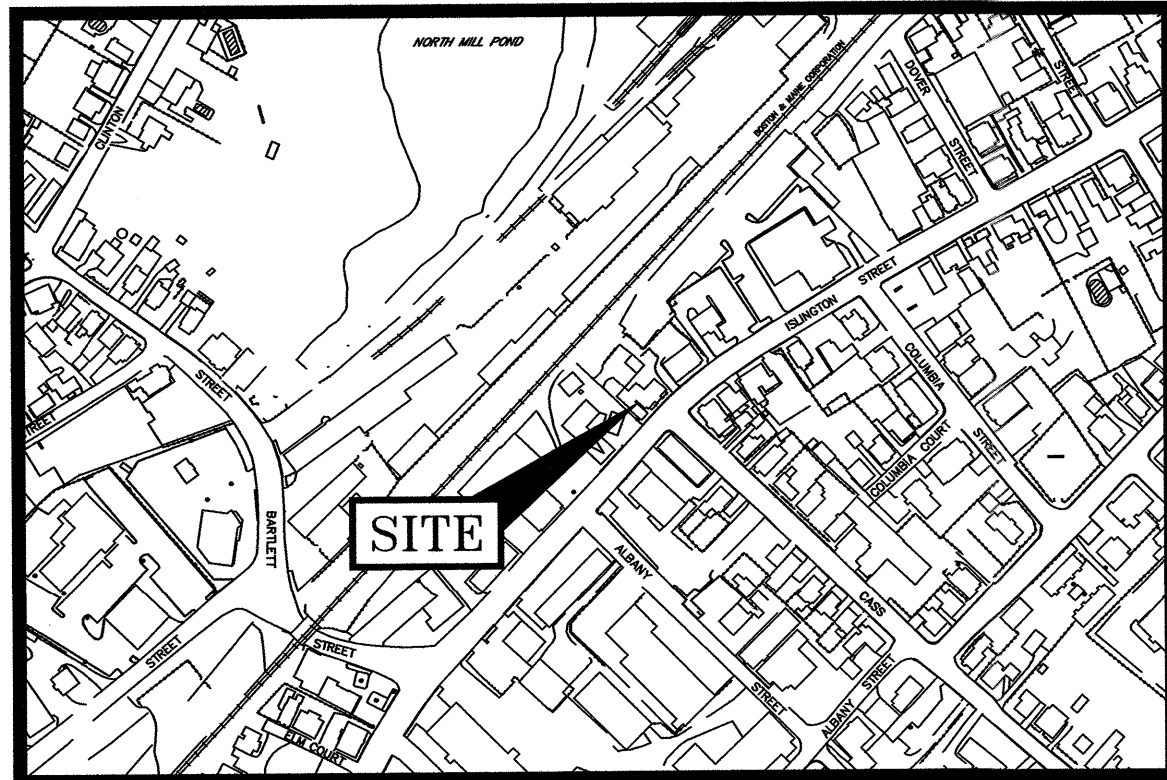






## 3082.01





LOCATION MAP

SCALE 1"=300'

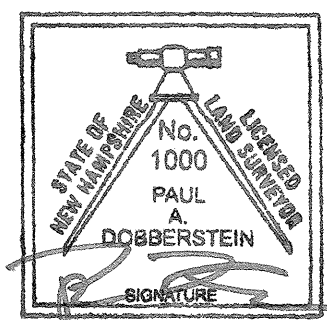
LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
MAP 11 / LOT 21	REGISTRY OF DEEDS
	MAP 11 / LOT 21
---	BOUNDARY
---	SETBACK
○	RAILROAD SPIKE FOUND
○	IRON ROD/PIPE FOUND
○	DRILL HOLE FOUND
○	STONE/CONCRETE BOUND FOUND
○	RAILROAD SPIKE SET
○	IRON ROD SET
○	DRILL HOLE SET
○	GRANITE BOUND SET
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	WATER LINE
---	UNDERGROUND ELECTRIC
---	OVERHEAD ELECTRIC/WIRES
---	CONTOUR
---	SPOT ELEVATION
---	EDGE OF PAVEMENT (EP)
---	WOODS / TREE LINE
---	UTILITY POLE (w/ GUY)
---	GAS SHUT OFF
---	WATER SHUT OFF/CURB STOP
---	GATE VALVE
---	HYDRANT
---	METER (GAS, WATER, ELECTRIC)
---	CATCH BASIN
---	TELEPHONE MANHOLE
---	SEWER MANHOLE
---	DRAIN MANHOLE
---	AIR CONDITIONER UNIT
---	SIGNS
---	ASBESTOS CEMENT PIPE
---	CAST IRON PIPE
---	CORRUGATED METAL PIPE
---	CONCRETE MASONRY UNIT
---	COPPER PIPE
---	DUCTILE IRON PIPE
---	POLYVINYL CHLORIDE PIPE
---	REINFORCED CONCRETE PIPE
---	VITRIFIED CLAY PIPE
---	ELEVATION
---	EDGE OF PAVEMENT
---	FINISHED FLOOR
---	INVERT
---	TEMPORARY BENCHMARK
---	TYPICAL
---	VERTICAL/SLOPED GRANITE CURB
---	CAPE COD BERM
---	LANDSCAPED AREA

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS

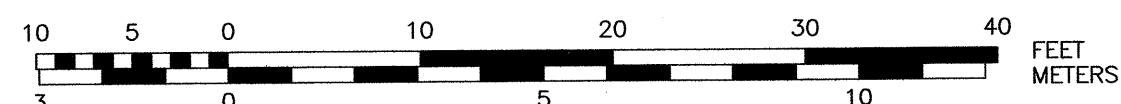
DATE



LENGTH TABLE

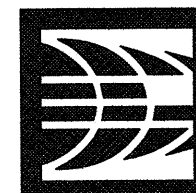
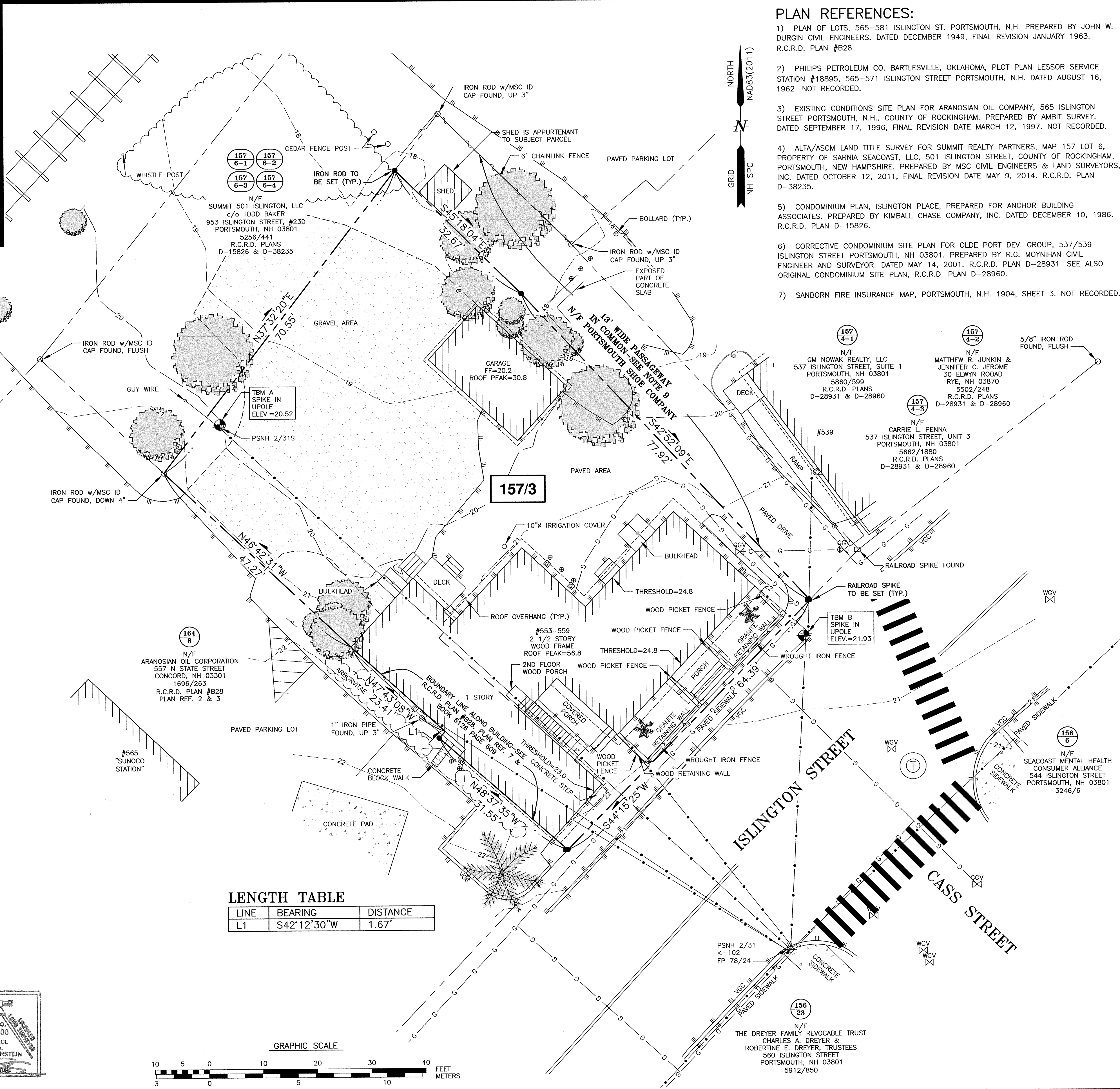
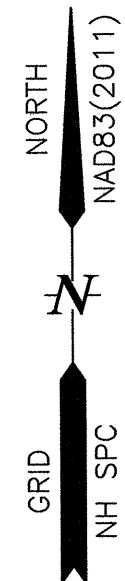
LINE	BEARING	DISTANCE
L1	S42°12'30"W	1.67'

GRAPHIC SCALE



PLAN REFERENCES:

- 1) PLAN OF LOTS, 565-581 ISLINGTON ST. PORTSMOUTH, N.H. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED DECEMBER 1949, FINAL REVISION JANUARY 1963. R.C.R.D. PLAN #B28.
- 2) PHILIPS PETROLEUM CO. BARTLESVILLE, OKLAHOMA, PLOT PLAN LESSOR SERVICE STATION #18895, 565-571 ISLINGTON STREET PORTSMOUTH, N.H. DATED AUGUST 16, 1962. NOT RECORDED.
- 3) EXISTING CONDITIONS SITE PLAN FOR ARANOSIAN OIL COMPANY, 565 ISLINGTON STREET PORTSMOUTH, N.H., COUNTY OF ROCKINGHAM. PREPARED BY AMBIT SURVEY. DATED SEPTEMBER 17, 1996, FINAL REVISION DATE MARCH 12, 1997. NOT RECORDED.
- 4) ALTA/ASCM LAND TITLE SURVEY FOR SUMMIT REALTY PARTNERS, MAP 157 LOT 6, PROPERTY OF SARNA SEACOAST, LLC, 501 ISLINGTON STREET, COUNTY OF ROCKINGHAM, PORTSMOUTH, NEW HAMPSHIRE. PREPARED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. DATED OCTOBER 12, 2011, FINAL REVISION DATE MAY 9, 2014. R.C.R.D. PLAN D-38235.
- 5) CONDOMINIUM PLAN, ISLINGTON PLACE, PREPARED FOR ANCHOR BUILDING ASSOCIATES. PREPARED BY KIMBALL CHASE COMPANY, INC. DATED DECEMBER 10, 1986. R.C.R.D. PLAN D-15826.
- 6) CORRECTIVE CONDOMINIUM SITE PLAN FOR OLDE PORT DEV. GROUP, 537/539 ISLINGTON STREET PORTSMOUTH, NH 03801. PREPARED BY R.G. MOYNIHAN CIVIL ENGINEER AND SURVEYOR. DATED MAY 14, 2001. R.C.R.D. PLAN D-28931. SEE ALSO ORIGINAL CONDOMINIUM SITE PLAN, R.C.R.D. PLAN D-28960.
- 7) SANBORN FIRE INSURANCE MAP, PORTSMOUTH, N.H. 1904, SHEET 3. NOT RECORDED.



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOT 3.
- 2) OWNER OF RECORD:  
553-559 ISLINGTON STREET, LLC  
553-559 ISLINGTON STREET  
PORTSMOUTH, NH 03801  
6126/609
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 4) EXISTING LOT AREA:  
7,207 S.F.  
0.1655 ACRES
- 5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 LIMITED 2 (CD4-L2) AND LIES WITHIN THE HISTORIC DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:  
SEE ZONING ORDINANCE
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 157 LOT 3 IN THE CITY OF PORTSMOUTH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS (±0.2').
- 9) SUBJECT PARCEL BENEFITS FROM RIGHTS IN COMMON WITH OTHERS TO A 13 FT. WIDE PASSAGE WAY. PROPERTIES SHOWN HEREON AS LOT 157/3, 157/4, AND 157/6 WERE ORIGINALLY CREATED FROM A PARENT PARCEL MADE UP OF SEVERAL PARCELS OWNED BY THE PORTSMOUTH SHOE COMPANY. CONVEYANCES FROM THE PORTSMOUTH SHOE COMPANY TO THE ORIGINAL OWNERS OF THE AFOREMENTIONED PROPERTIES REFERENCE THE PASSAGEWAY AND RIGHTS THEREIN, BUT NO CONVEYANCE OF THE PASSAGEWAY ITSELF FROM THE PORTSMOUTH SHOE COMPANY WAS FOUND. OWNERSHIP OF THE PASSAGEWAY HAS NOT BEEN DETERMINED. SEE R.C.R.D. BOOK 607 PAGE 112 (SUBJECT PARCEL), BOOK 637 PAGE 62 (LOT 157/4), AND BOOK 700 PAGE 69 (LOT 157/6).

PROPERTY REDEVELOPMENT  
553-559 ISLINGTON, LLC  
553-559 ISLINGTON STREET  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/20/20
REVISIONS		

SCALE 1"=10'

JULY 2020

EXISTING CONDITIONS  
PLAN

C1



DEMOLITION NOTES

a) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.

b) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.

c) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

d) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.

e) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.

f) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.

g) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.

h) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE. ANY EXISTING MONITORING WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER TO COORDINATE MONITORING WELL REMOVAL AND/OR RELOCATION WITH NHDES AND OTHER AUTHORITY WITH JURISDICTION PRIOR TO CONSTRUCTION.

i) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).

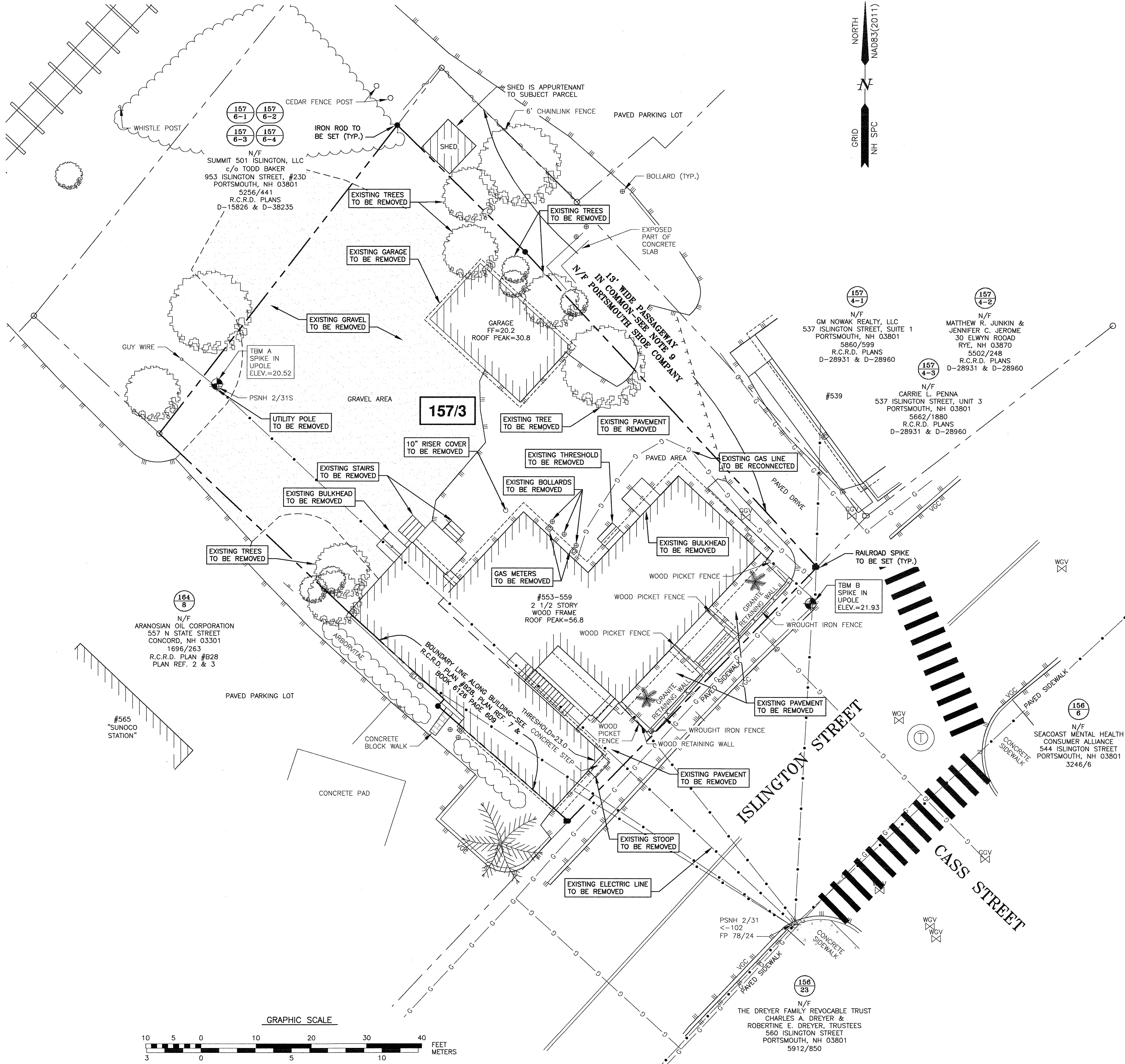
j) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.

k) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.

l) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.

m) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

n) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



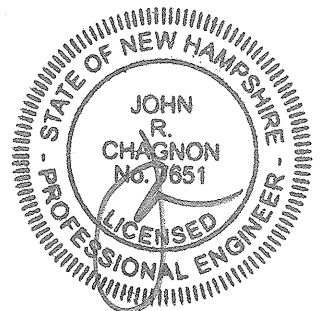
AMBIT ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) EXISTING UTILITY CONNECTIONS SHALL BE ABANDONED IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. UTILITIES THAT ARE TO BE REUSED SHALL BE CUT & CAPPED.
- 5) CONTRACTOR WILL COORDINATE STREET CLOSINGS, IF ANY, WITH CITY OF PORTSMOUTH.
- 6) DURING CONSTRUCTION, TEMPORARY FENCING SHALL BE INSTALLED, AS REQUIRED, TO PROTECT THE SITE FROM THE PUBLIC.
- 7) COORDINATE DEMOLITION WITH CITY OF PORTSMOUTH, PERMITS REQUIRED.

PROPERTY REDEVELOPMENT  
553-559 ISLINGTON, LLC  
553-559 ISLINGTON STREET  
PORTSMOUTH, N.H.

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REVISIONS		



SCALE 1"=10' JULY 2020

DEMOLITION  
PLAN

C2

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



# IMPERVIOUS SURFACE AREAS

(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	1880	2291
BULKHEAD	40	39
CONCRETE	39	77
STAIRS/PORCH	137	386
PAVEMENT	1436	3,075
GRAVEL	2289	N/A
TOTAL	5,821	5,868
LOT SIZE	7,207	7,207
% LOT COVERAGE	80.8%	81.4%

## DEVELOPMENT STANDARDS:

CD4-L2: CHARACTER DISTRICT4-LIMITED  
BUILDING PLACEMENT (PRINCIPLE):

	REQUIRED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	15 FEET	3 FEET	3 FEET
MAX. SECONDARY FRONT YARD:	12 FEET	NA	NA
MIN. SIDE YARD:	5-20 FEET	0 FEET	0 FEET
MIN. REAR YARD:	5 FEET	48 FEET	48 FEET
FRONT LOT LINE BUILDOUT:	60%-80%	92%	92%

### BUILDING TYPES:

ALLOWED BUILDING TYPES: HOUSE, DUPLEX, ROWHOUSE, APARTMENT BUILDING, LIVE/WORK BUILDING

ALLOWED FACADE TYPE: PORCH, STOOP, STEP, FORECOURT, RECESSED-ENTRY, DOORYARD

### BUILDING FORM:

MAX. STRUCTURE HEIGHT:	35 FEET	<35 FEET	<35 FEET
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN.	36 IN.	36 IN.
MIN. GROUND STORY HEIGHT:	11 FEET	? FEET	? FEET
FACADE GLAZING:	20-40%	??	??
ROOF TYPE: FLAT, GABLE, HIP, GAMBREL, MANSARD			

### LOT OCCUPATION:

MAX. BUILDING BLOCK	80 FEET	41 FEET	41 FEET
MAX. FACADE MOD. LENGTH:	50 FEET	? FEET	? FEET
MIN. ENTRANCE SPACING:	NR	??	??
MAX. BUILDING COVERAGE:	60%	??	??
MAX. BUILDING FOOTPRINT:	2,500 SF	?SF	? SF
MIN. LOT AREA:	3,000 SF	7,207 SF	7,207 SF
MIN. LOT AREA/DWELLING:	3,000 SF	1,201 SF	1,201 SF
(39,872 SF/12 UNITS)=			
MIN. OPEN SPACE COVERAGE:	25%	??	??
MAX. GROUND FLOOR GFA/USE:	NR		

## PORTSMOUTH APPROVAL CONDITIONS NOTE:

ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

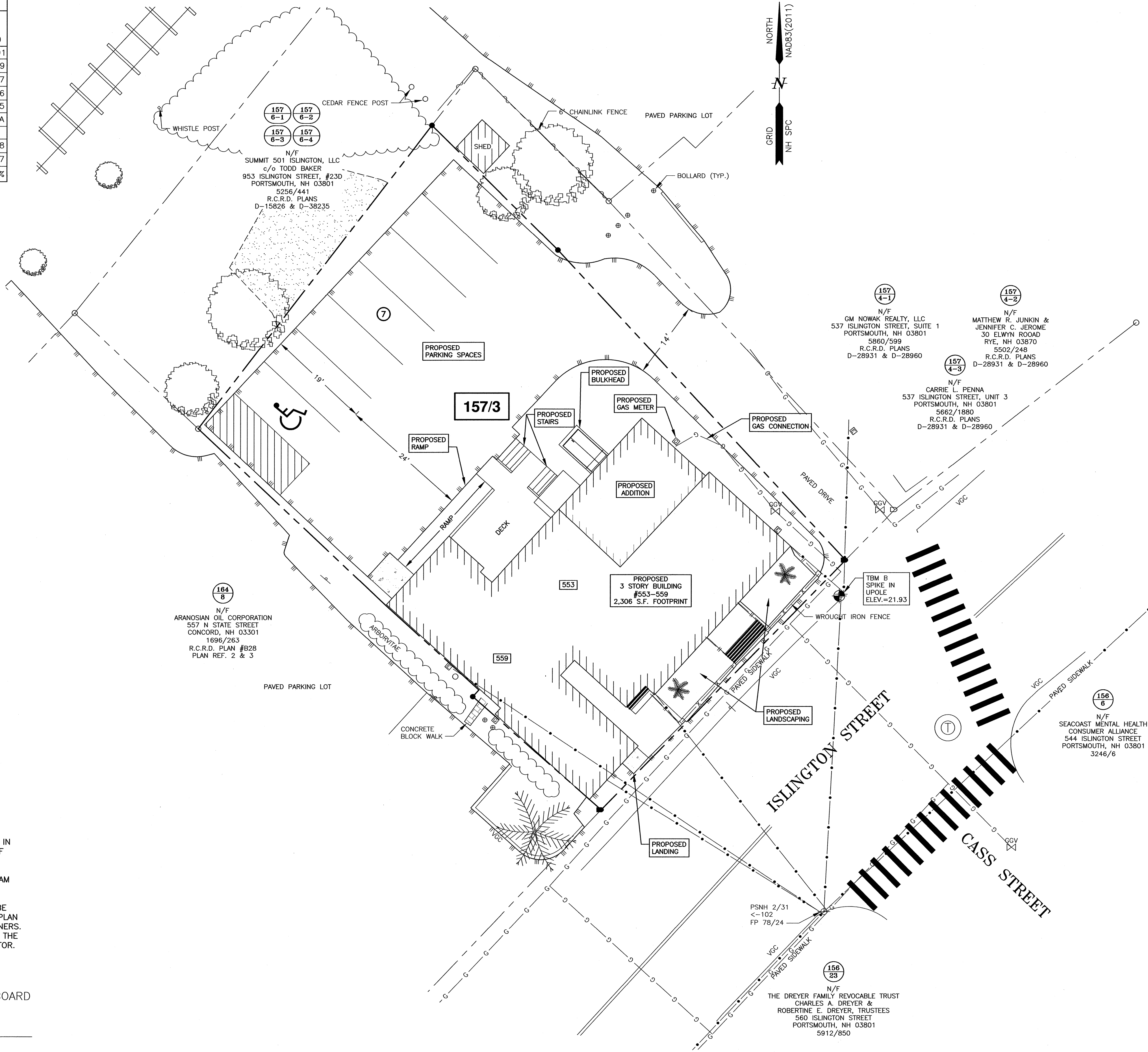
A. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

B. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



**AMBIT ENGINEERING, INC.**

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
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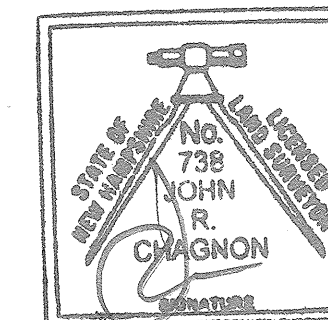
## NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 157 AS LOT 3.
- 2) OWNER OF RECORD:  
553-559 ISLINGTON STREET, LLC  
553-559 ISLINGTON STREET  
PORTSMOUTH, NH 03801  
6126/609
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- 4) EXISTING LOT AREA:  
7,207 S.F.  
0.1655 ACRES
- 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L2 ZONING DISTRICT.
- 6)SEE ZONING ORDINANCE
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED DEVELOPMENT ON TAX MAP 157 LOT 3 IN THE CITY OF PORTSMOUTH.
- 8) PROPOSED BUILDING COVERAGE:  
STRUCTURES: 2,291 SF  
DECK/STAIRS/STOOP: 386 SF  
TOTAL: 2,677 SF  
  
2,677 SF / 7,207 SF = 37%
- 9) REQUIRED PARKING:  
2 UNITS x 1.3 SPACES PER UNIT = 2.6 SPACES  
4 UNITS x 1 SPACES PER UNIT = 4 SPACES  
REQUIRED PARKING: 7 SPACES
- 10) ARCHITECTURAL PLANS BY ADRA ARCHITECTURE LLC
- 11) ANY DAMAGE TO EXISTING CITY SIDEWALKS TO BE REPAIRED TO DPW SATISFACTION.

**PROPERTY REDEVELOPMENT**  
**553-559 ISLINGTON, LLC**  
**553-559 ISLINGTON STREET**  
**PORTSMOUTH, N.H.**

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## REVISIONS



SCALE 1"=10'

JULY 2020

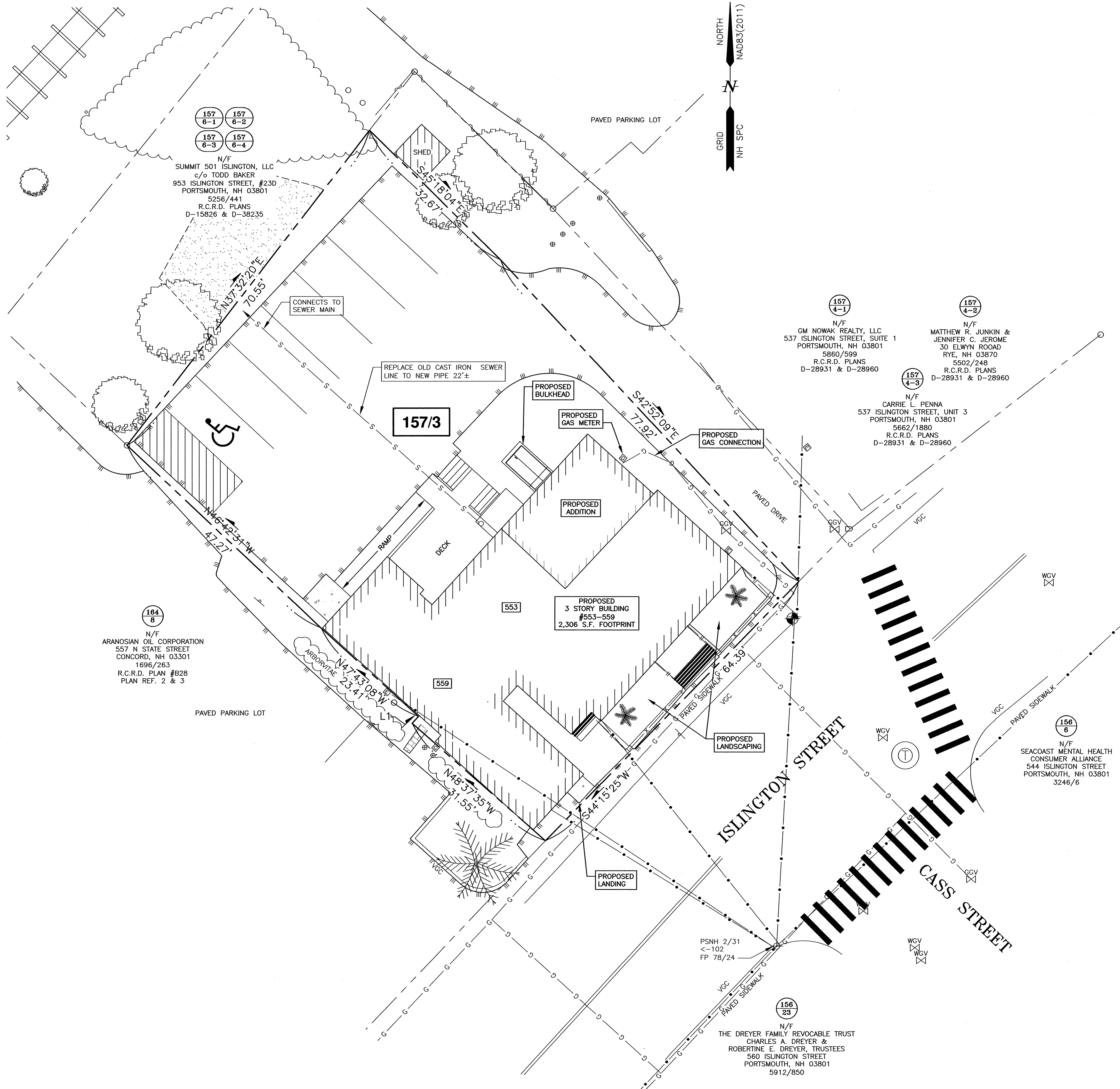
**SITE LAYOUT  
PLAN**

**C3**



UTILITY NOTES:

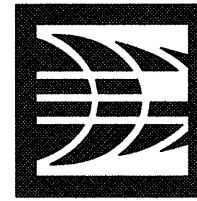
- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6" COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.
- 25) ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILD TO DEPARTMENT OF PUBLIC WATER WORKS STANDARDS.
- 26) WATER, SEWER, AND DRAIN LINES SHALL BE PRIVATE. CONDOMINIUM DOCUMENTS SHALL REFLECT MAINTENANCE OF PRIVATE UTILITIES.
- 27) THIRD PARTY UTILITY INSTALLATION INSPECTIONS SHALL BE REQUIRED ON WATER MAIN, SEWER, AND DRAINAGE SYSTEM.
- 28) A WATER UTILITY ACCESS EASEMENT SHALL BE PROVIDED TO THE CITY OF PORTSMOUTH FOR ACCESS TO WATER METERS, SHUT OFF VALVES & PIPING.



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

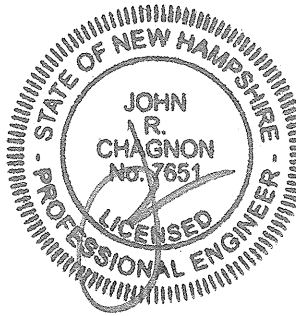
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

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- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008)".
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND INSTALLED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) PROPOSED SEWER FLOW  
6 UNITS X 2.33 RESIDENTS/UNIT = 14 RESIDENTS  
14 RESIDENTS X 70 GPD/RESIDENT = 980 GPD  
TOTAL PROPOSED FLOW = 980 GPD  
NHDES SEWER DISCHARGE PERMIT NOT REQUIRED.

PROPERTY REDEVELOPMENT  
553-559 ISLINGTON, LLC  
553-559 ISLINGTON STREET  
PORTSMOUTH, N.H.

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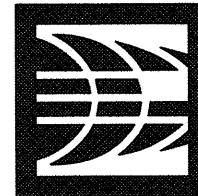
SCALE 1"=10'

JULY 2020

UTILITY  
PLAN

C4



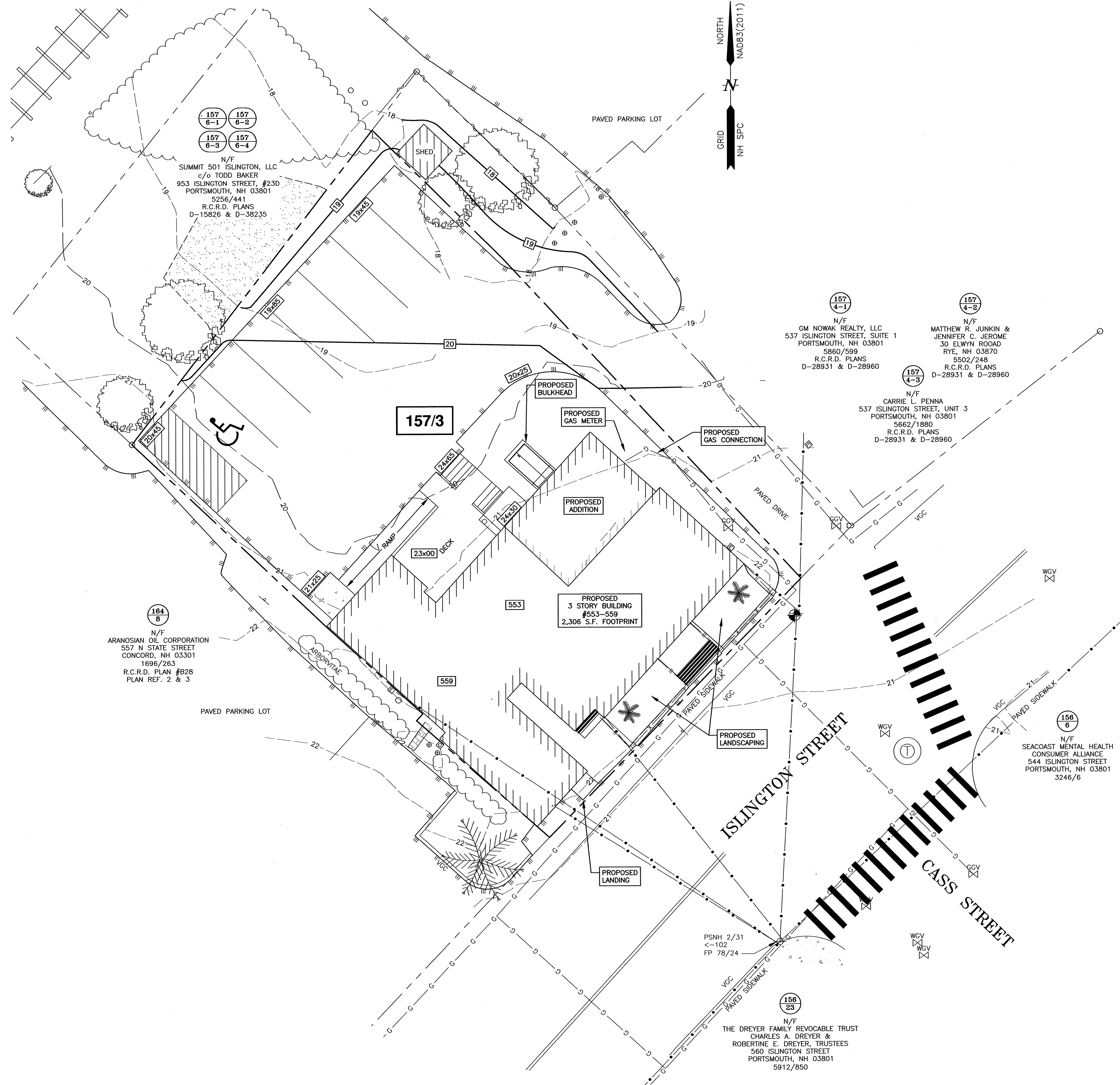


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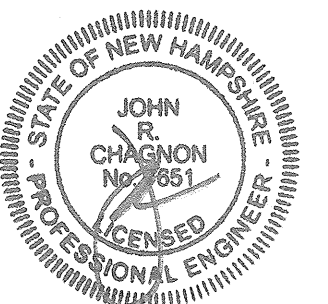
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#### PROPERTY REDEVELOPMENT 553-559 ISLINGTON, LLC 553-559 ISLINGTON STREET PORTSMOUTH, N.H.

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SCALE 1"=10' JULY 2020

**GRADING, DRAINAGE AND  
EROSION CONTROL PLAN**

**C5**