

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NH**

Remote Meeting Via Zoom Conference Call

To register in advance for this meeting, click on the link below or copy and paste this into your web browser:

https://zoom.us/webinar/register/WN_LfkFJPVNR8CBLjP_sngbzw

You are required to register in advance to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. Public comments can be emailed in advance to planning@cityofportsmouth.com. For technical assistance, please contact the Planning Department by email (planning@cityofportsmouth.com) or phone (603) 610-7216.

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-01, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

6:30 p.m.

April 14, 2021

AGENDA (revised April 9, 2021)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. DEMOLITION REVIEW (Referral from City Council)

II. ADMINISTRATIVE APPROVALS

1. 264 South Street
2. 100 Gates Street
3. 124 State Street
4. 410-430 Islington Street
5. 254 South Street
6. 266 Middle Street
7. 75 Salter Street, Unit #1
8. 381 Middle Street
9. 9 Prospect Street, Unit #3
10. 232 South Street
11. 49 Mt. Vernon Street
12. 405 Pleasant Street
13. 14 Mechanic Street
14. 229 Pleasant Street, Unit #2
15. 16 Porter Street
16. 166 New Castle Avenue

17. 17 Hunking Street

III. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

B. Work Session requested by **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow new construction to an existing structure (add a 4th floor, revitalize storefronts, and create entry points to the Worth Lot) and additional site improvements as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

C. Work Session requested by **Anne Moodey, owner**, for property located at **180 New Castle Avenue**, wherein permission is requested to allow exterior renovations to an existing structure (expand front deck and rebuild chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 23 and lies within the Single Residence B (SRB) and Historic Districts.

D. Work Session requested by **Mary H. and Ronald R. Pressman, owners**, for property located at **449 Court Street**, wherein permission is requested to allow renovations to an existing structure (add 4th floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

E. Work Session requested by **Stone Creek Realty, LLC, owner**, for property located at **53 Green Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a 3-5 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD5) and Historic Districts.

F. Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners**, for property located at **279 Marcy Street, Unit #3**, wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3rd floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.

IV. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Warner House Association, owner**, for property located at **150 Daniel Street**, wherein permission is requested to allow the new construction of a once existing 2-story carriage house on the property as per plans on file in the Planning Department,

Said property is shown on Assessor Map 106 as Lot 58 and lies within the Civic, Downtown Overlay and Historic Districts.

V. ADJOURNEMENT

HDC

ADMINISTRATIVE APPROVALS

April 14, 2021

1. 264 South Street (LUHD-300) - Recommended Approval
2. 100 Gates Street (LUHD-299) - TBD
3. 124 State Street (LUHD-301) - Recommended Approval
4. 410 Islington Street (LUHD-304) - Recommended Approval
5. 254 South Street (LUHD-305) - Recommended Approval
6. 266 Middle Street (LUHD-307) - TBD
7. 75 Salter Street, Unit #1 (LUHD-308) - Recommended Approval
8. 381 Middle Street (LUHD-309) - Recommended Approval
9. 9 Prospect Street, Unit #3 (LUHD-310) - Recommended Approval
10. 232 South Street (LUHD-311) - Recommended Approval
11. 49 Mt. Vernon Street (LUHD-312) - Recommended Approval
12. 405 Pleasant Street (LUHD-313) - Recommended Approval
13. 14 Mechanic Street (LUHD-314) - Recommended Approval
14. 229 Pleasant Street, Unit #2 (LUHD-289) - Recommended Approval
15. 16 Porter Street (LUHD- 270) - Recommended Approval
16. 166 New Castle Avenue (LUHD-298) - Recommended Approval
17. 17 Hunking Street (LUHD-302) - Recommended Approval

1. 264 South Street - Recommended Approval

Background: The applicant is seeking approval for the installation of mechanical equipment ((2) A/C condensers and screening).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-300

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Mar 30, 2021

Applicant

Denise Todd
dentodd@gmail.com
254 South St
South St
Portsmouth, NH 03801
6039785329

Location

264 SOUTH ST Unit B
Unit B
Portsmouth, NH 03801

Owner:

Denise Todd
254 South St 254 SOUTH ST Portsmouth, NH
03801-4527

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Requesting a variance to install 2 AC 13 SEER Rheem condenser units to both 262 & 264 South St (all specs/dimensions attached) outside on the West side of the property. The property doesn't have the required side setback which is 10' from the sidelines where we only have 7' & 6'. The front unit will be 4' away from the side property line and 41' from the front property line, the rear unit will be 3' from the side property line. A 4' x 4' fence will be erected in front of the front unit 35' from the front property line and will hide both units from the street and will match the existing fence in the rear, as near as possible.

Description of Proposed Work (Planning Staff)

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254 South St
Portsmouth NH 30801

March 29th 2021

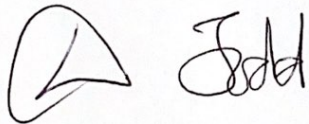
To the Planning board,

We are requesting a variance to install two - 13 SEER Rheem AC condenser units to the exterior of our property next door at 264/262 South St, Portsmouth NH, Map/Lot 0111-0005-0000

We'd like to request forgiveness on the required side set back which is 10', where we only have **7' for the 1st unit** at 264 South St and **6' for the 2nd unit** at 262 South St. Unit 1, for 264 South St, will leave a **4' +/- setback, once installed** and unit 2, for 262 South St, will leave a **3'+/- setback, once installed**, from the west side of the property. With the units placed in these locations no piping conduits will run on the outside of the property.

Please see drawings for locations and dimentions.

Thank you for your consideration.

A handwritten signature in black ink, appearing to read "Denise Todd". The signature is stylized and written in a cursive-like font.

Denise Todd
Property Owner

3

2

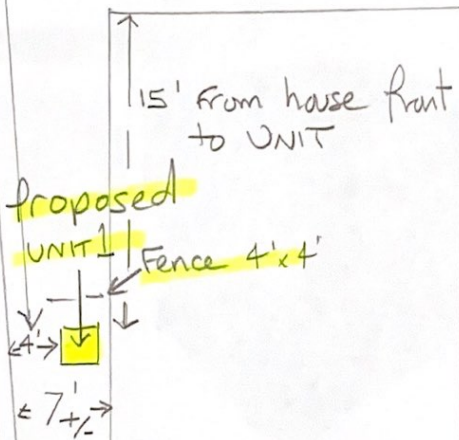


SOUTH ST

47' from unit to property line

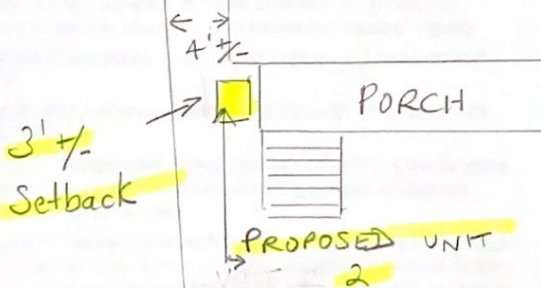
262 1/4 South St

270
South St



DRIVEWAY

254
South St



③ VARIANCE APPLICATION FOR 2 outside AC units



The new degree of comfort.™

Rheem Classic® Series Air Conditioners

RA13 Series

Efficiencies 13-15.5 SEER/11.5-13 EER
Nominal Sizes 1½ to 5 Ton [5.28 to 17.6 kW]
Cooling Capacities 17.3 to 60.5 kBtu
[5.7 to 17.7 kW]



"Proper sizing and installation of equipment is critical to achieve optimal performance. Split system air conditioners and heat pumps must be matched with appropriate coil components to meet Energy Star. Ask your Contractor for details or visit www.energystar.gov."



- New composite base pan – dampens sound, captures louver panels, eliminates corrosion and reduces number of fasteners needed
- Powder coat paint system – for a long lasting professional finish
- Scroll compressor – uses 70% fewer moving parts for higher efficiency and increased reliability
- Modern cabinet aesthetics – increased curb appeal with visually appealing design
- Curved louver panels – provide ultimate coil protection, enhance cabinet strength, and increased cabinet rigidity
- Optimized fan orifice – optimizes airflow and reduces unit sound
- Rust resistant screws – confirmed through 1500-hour salt spray testing
- PlusOne™ **Expanded Valve Space** – 3"-4"-5" service valve space – provides a minimum working area of 27-square inches for easier access
- PlusOne™ **Triple Service Access** – 15" wide, industry leading corner service access – makes repairs easier and faster. The two fastener removable corner allows optimal access to internal unit components. Individual louver panels come out once fastener is removed, for faster coil cleaning and easier cabinet reassembly
- Diagnostic service window with two-fastener opening – provides access to the high and low pressure.
- External gauge port access – allows easy connection of "low-loss" gauge ports
- Single-row condenser coil – makes unit lighter and allows thorough coil cleaning to maintain "out of the box" performance
- 35% fewer cabinet fasteners and fastener-free base – allow for faster access to internal components and hassle-free panel removal
- Service trays – hold fasteners or caps during service calls
- QR code – provides technical information on demand for faster service calls
- Fan motor harness with extra long wires allows unit top to be removed without disconnecting fan wire.

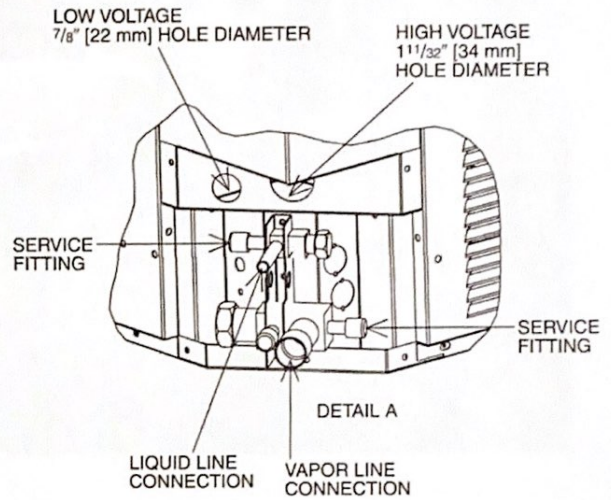
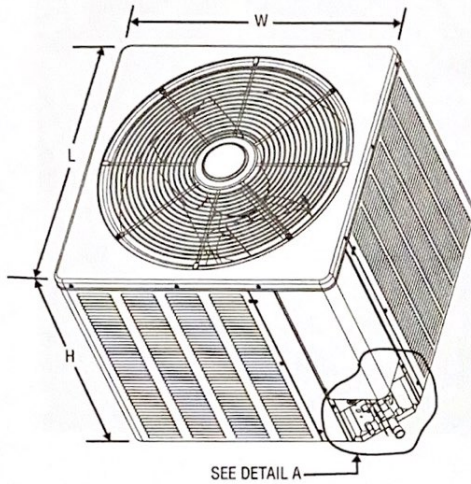


Unit Dimensions

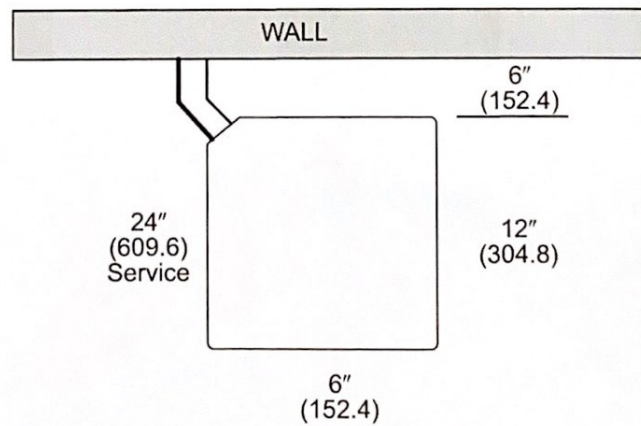
Model No. 13A*A	Unit Dimensions		
	Width "W" Inches	Length "L" Inches	Height "H" Inches
18, 24	23 ⁵ / ₈ [600]	23 ⁵ / ₈ [600]	24 ¹ / ₄ [616]
30	27 ⁵ / ₈ [702]	27 ⁵ / ₈ [702]	24 ¹ / ₄ [616]
36, 42, 48	31 ⁵ / ₈ [803]	31 ⁵ / ₈ [803]	27 ¹⁵ / ₁₆ [710]
60	31 ⁵ / ₈ [803]	31 ⁵ / ₈ [803]	35 ¹⁵ / ₁₆ [913]

*J, C, or D

[] Designates Metric Conversions



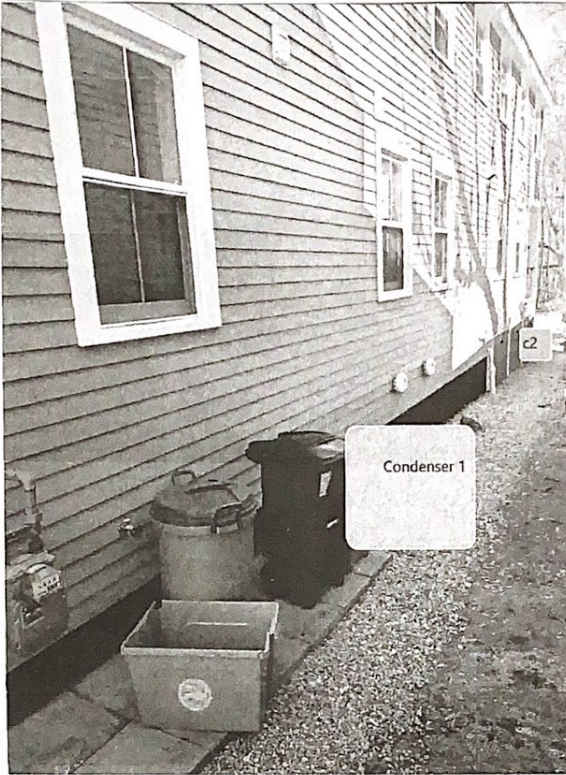
CLEARANCES



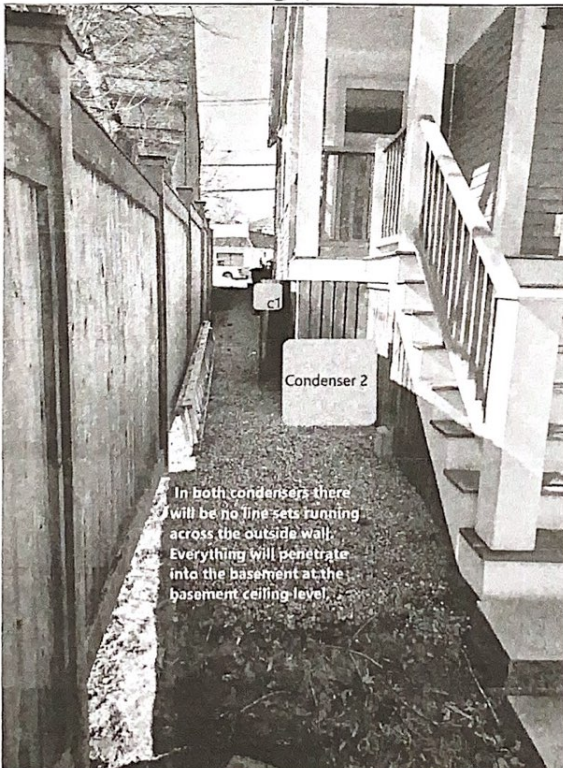
26214 FRONT VIEW

Proposed location of A/C units

FRONT



REAR VIEW



REAR VIEW



2. 100 Gates Street

- TBD

Background: The applicant is seeking approval for (3) replacement windows.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-299

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 30, 2021

Applicant

Peter Whelan
pawhelan@comcast.net
100 Gates Street
Portsmouth , NH 03801
6032055318

Location

100 GATES ST
Portsmouth, NH 03801

Owner:

WHELAN PETER A & WHELAN KAREN A
100 GATES ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Replace Rear 3 windows on Back L

Description of Proposed Work (Planning Staff)

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Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.**By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**

3. 124 State Street

- Recommended Approval

Background: The applicant is seeking approval for an awning design, as well as landscape, hardscape, and mechanical equipment for the rear yard.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-301

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Mar 31, 2021

Applicant

Josh Butkus
kscannell@destefanomaugel.com
22 ladd st
portsmouth, NH 03801
2034000802

Location

124 STATE ST
Portsmouth, NH 03801

Owner:

LUDES GREG & LUDES LAURA
PO BOX 822 NEW CASTLE, NH 03854

Application Type

Please select application type from the drop down menu below

Administrative Approval

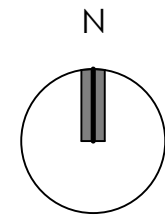
Project Information

Brief Description of Proposed Work

Included in this application is an updated awning design per the direction of the planning dept. and the HDC following our previous application in February. Also included are the design and specifications for the landscaping, hardscaping, and mechanical elements proposed to the rear yard of the property. The area to be modified is approximately 65 feet removed from the public way at Court St. The existing fence and gate will be replaced with a new fence and gate which will also enclose 3 new AC units adjacent to the building. AC lines will be run internally and pass into the building hidden from public view behind the mechanical units. A new pergola will shade a new patio, and the pergola will be constructed and finished to match the one previously approved for the roof deck. Retaining wall caps, and basement access stairs (hidden from public view) will be finished with antique granite to match existing granite elements.

Description of Proposed Work (Planning Staff)

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LOCUS MAP WITH SITE OUTLINE



COURT STREET IMAGERY

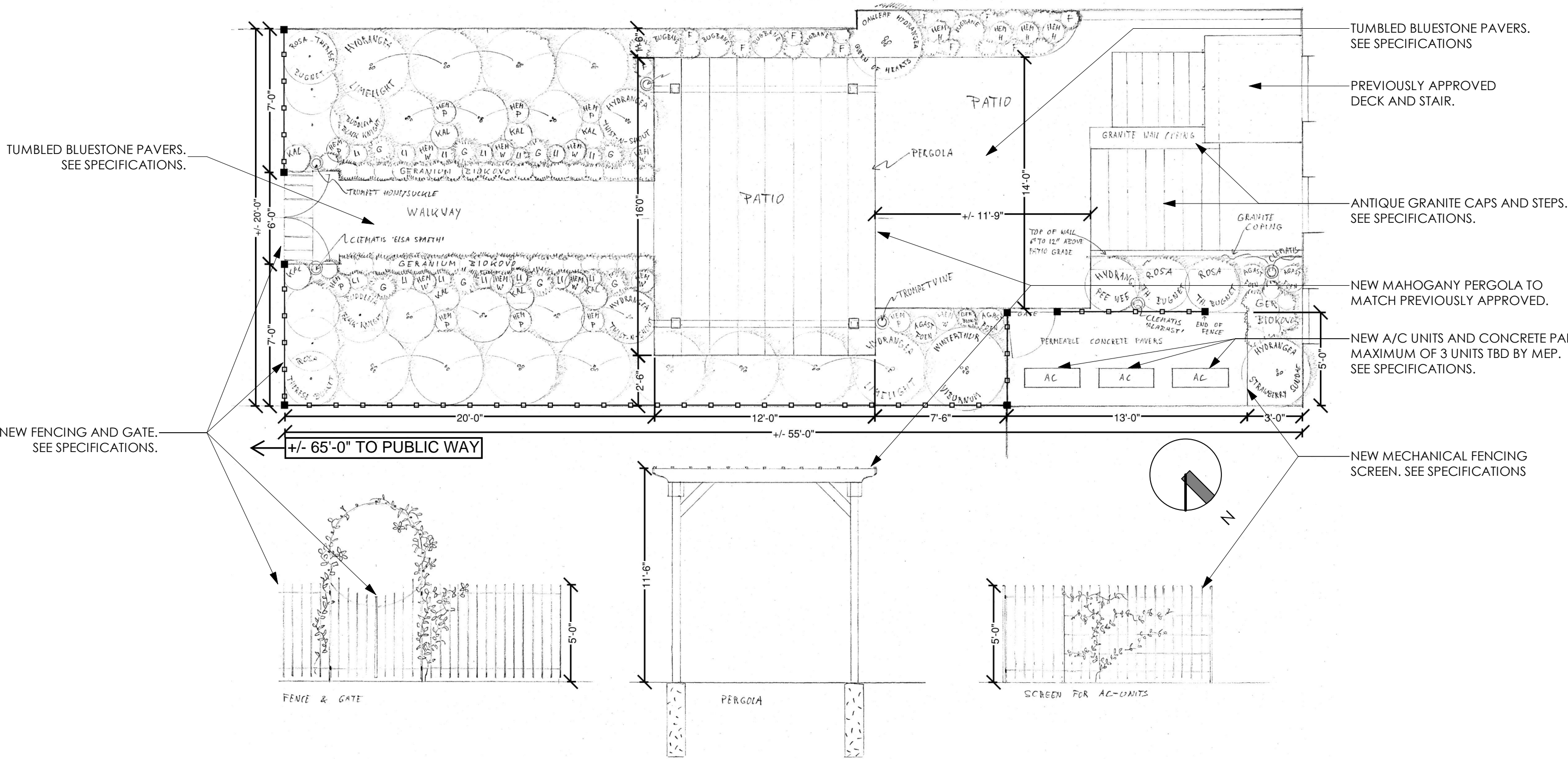


Ludes Residence
 124 State Street
 Portsmouth, NH 03801

CONTEXT AND LOCUS MAP

SHEET **1** OF 6
 APRIL 7, 2021





TUMBLLED BLUESTONE PAVERS. SEE SPECIFICATIONS.

TUMBLLED BLUESTONE PAVERS. SEE SPECIFICATIONS

PREVIOUSLY APPROVED DECK AND STAIR.

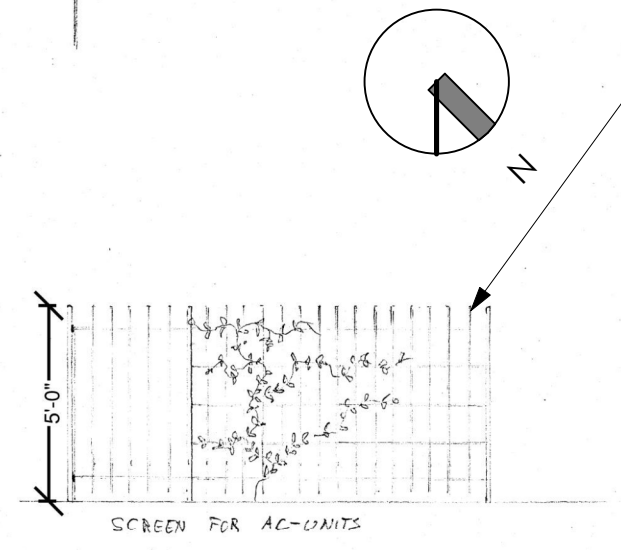
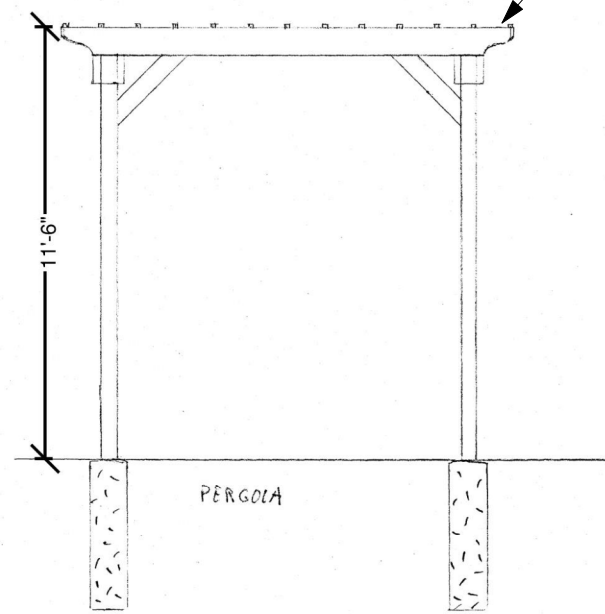
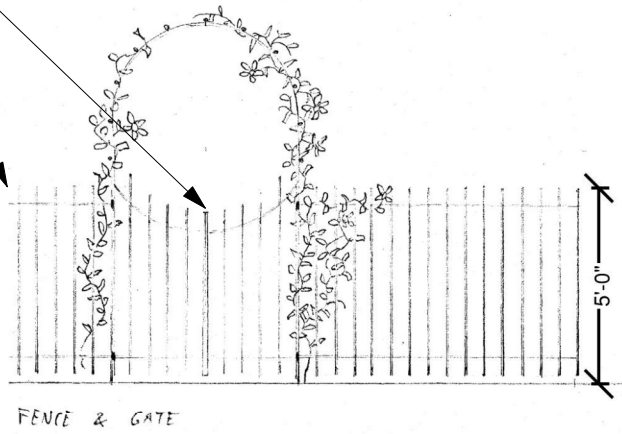
ANTIQUE GRANITE CAPS AND STEPS. SEE SPECIFICATIONS.

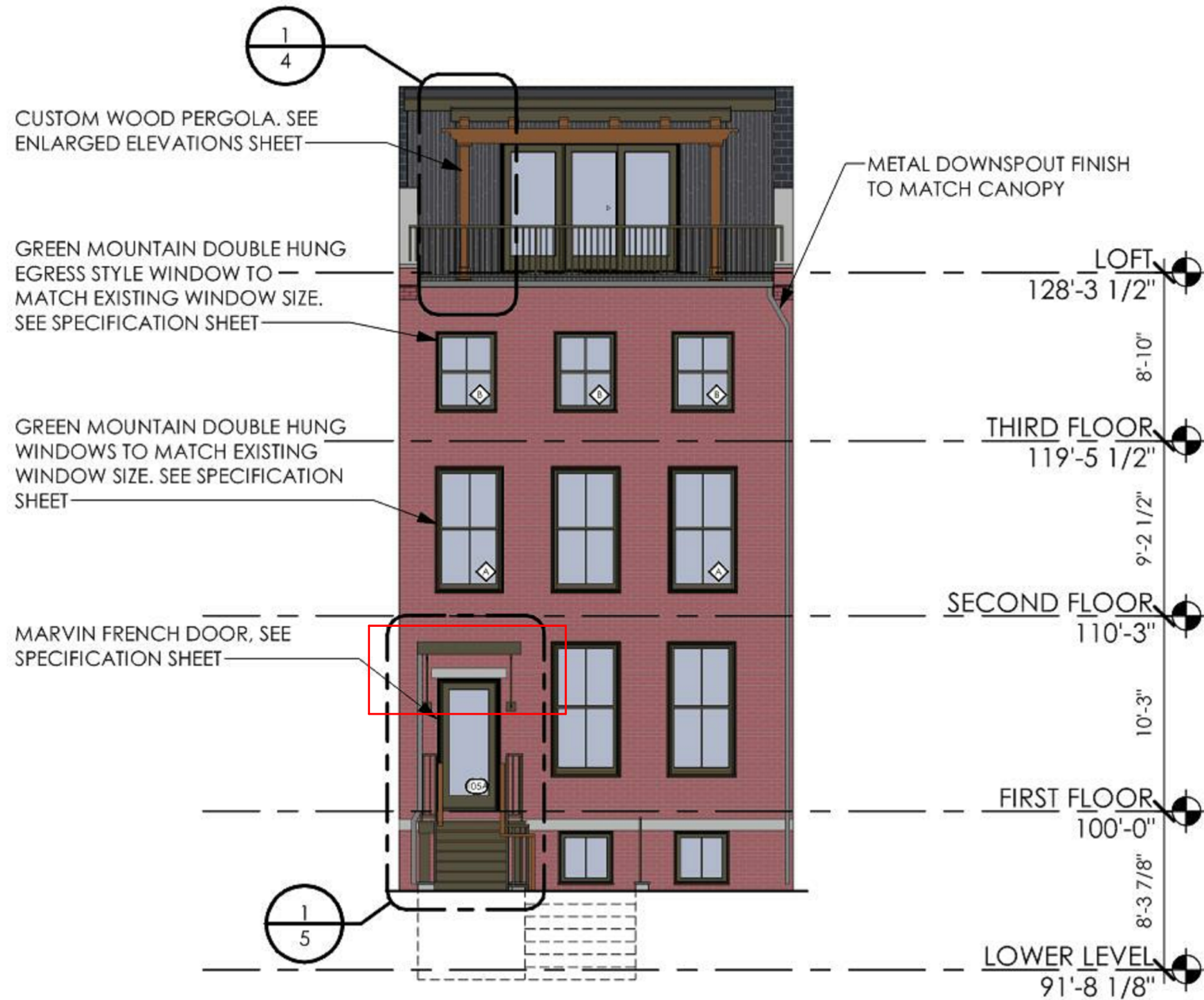
NEW MAHOGANY PERGOLA TO MATCH PREVIOUSLY APPROVED.

NEW A/C UNITS AND CONCRETE PAD. MAXIMUM OF 3 UNITS TBD BY MEP. SEE SPECIFICATIONS.

NEW FENCING AND GATE. SEE SPECIFICATIONS.

NEW MECHANICAL FENCING SCREEN. SEE SPECIFICATIONS





PREVIOUSLY APPROVED COURT STREET ELEVATION 2
 1/8" = 1'-0"

PROPOSED COURT STREET ELEVATION 1
 1/8" = 1'-0"

Ludes Residence
 124 State Street
 Portsmouth, NH 03801

COURT STREET ELEVATIONS
 1/8" = 1'-0"

SHEET **3** OF 6
 APRIL 7, 2021

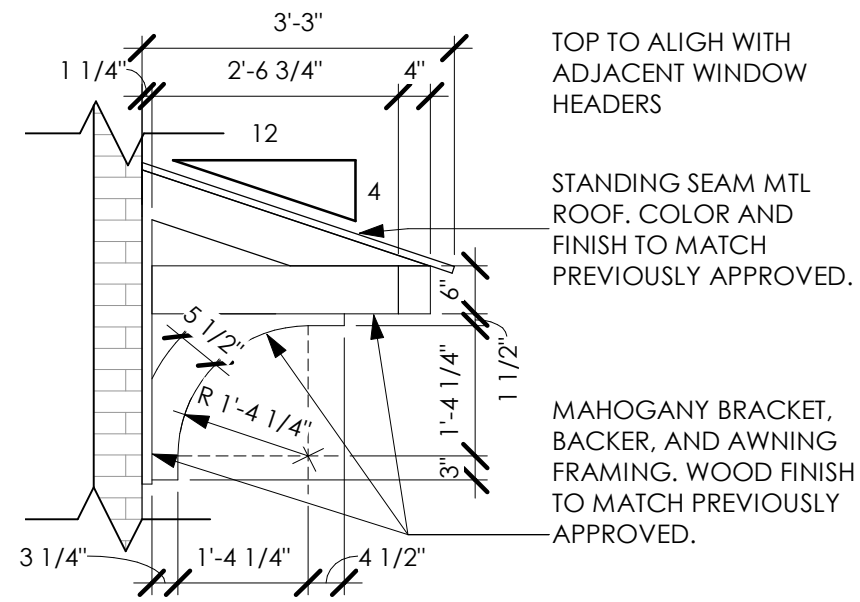
202050

D|M|A
 DESTEFANO
 MAUGEL
 ARCHITECTS

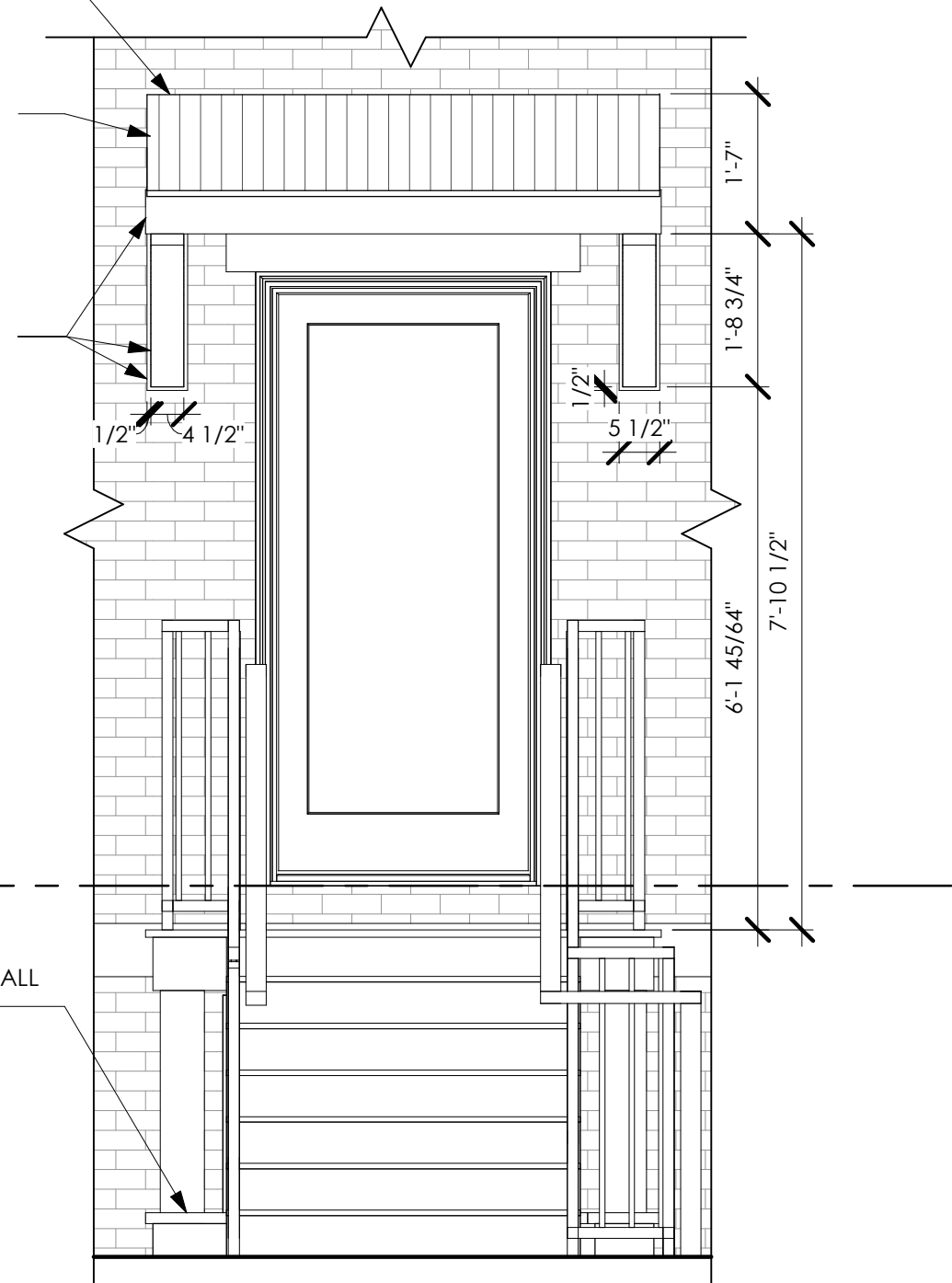
© 2021



AWNING APPROACH PERSPECTIVE (3)



PROPOSED AWNING ELEVATION (2)
1/2" = 1'-0"



ENLARGED ELEVATION AT PROPOSED ENTRY (1)
1/2" = 1'-0"

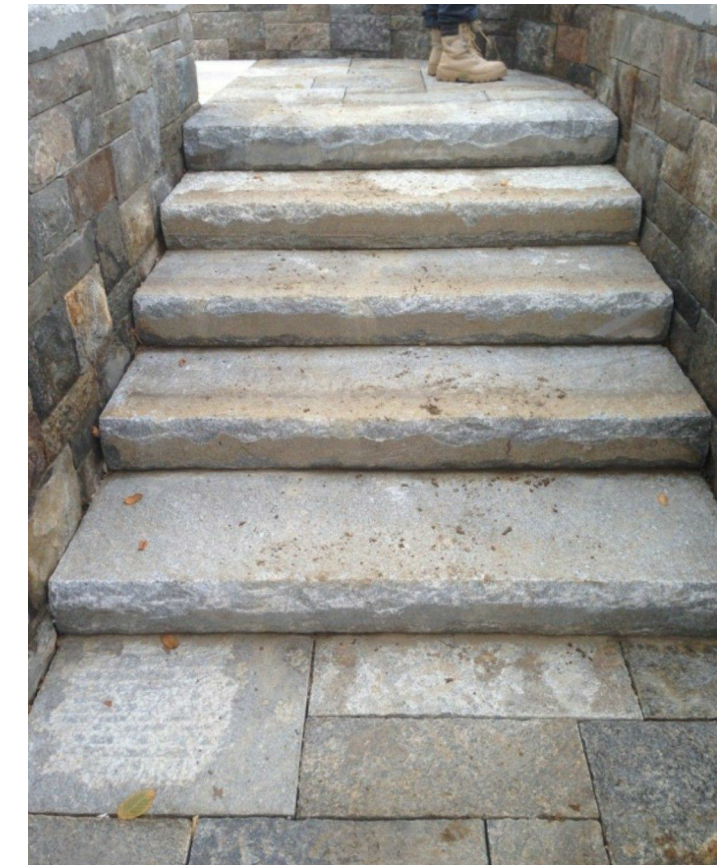
TYPICAL STANDING SEAM METAL ROOFING FOR AWNING



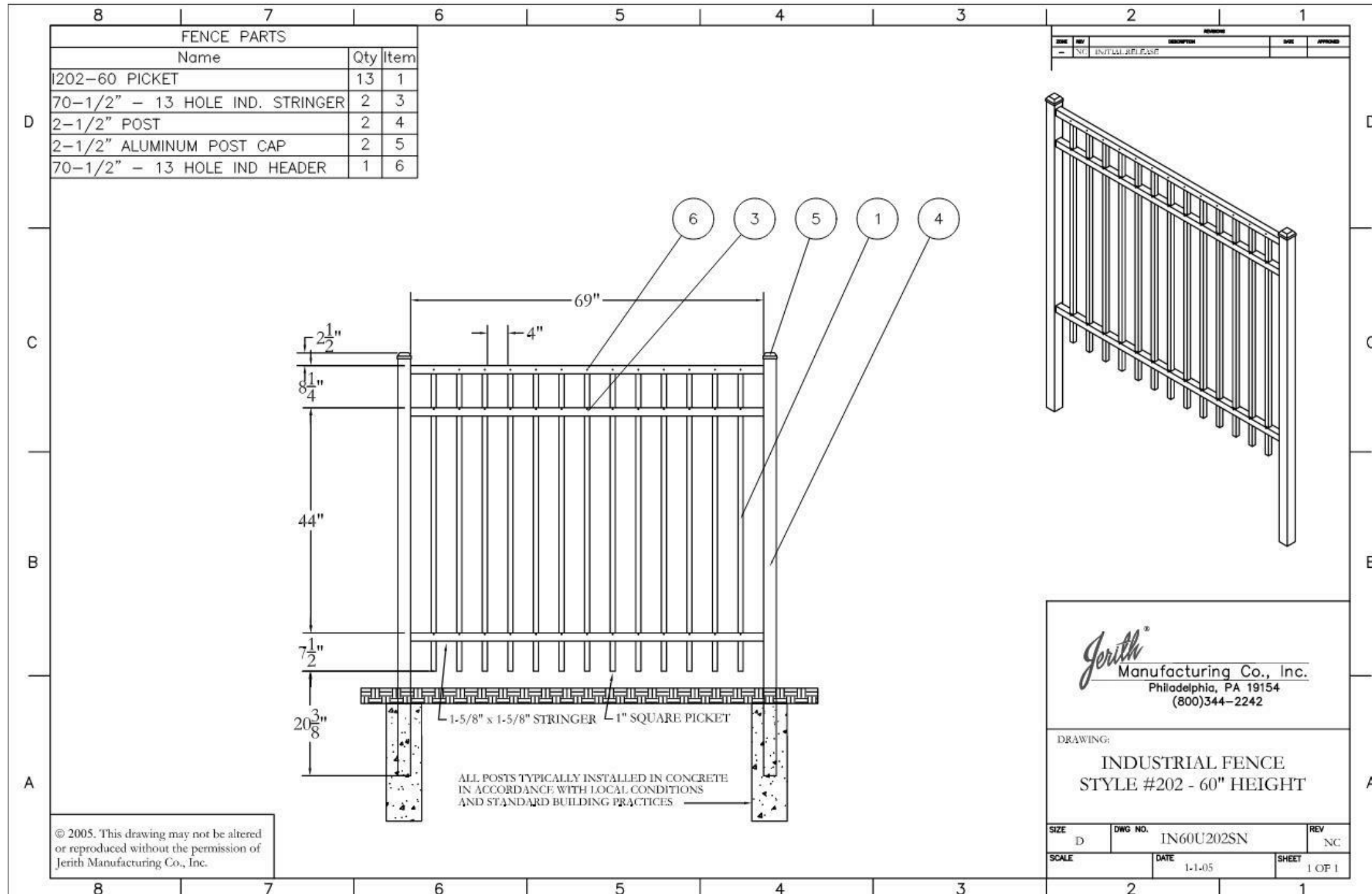
TYPICAL MAHOGANY FINISH FOR PERGOLA AND AWNING



ANTIQUE GRANITE STEPS



SCREENING & FENCING



TUMBLED GARDEN PATH BLUESTONE



Ludes Residence

124 State Street
Portsmouth, NH 03801

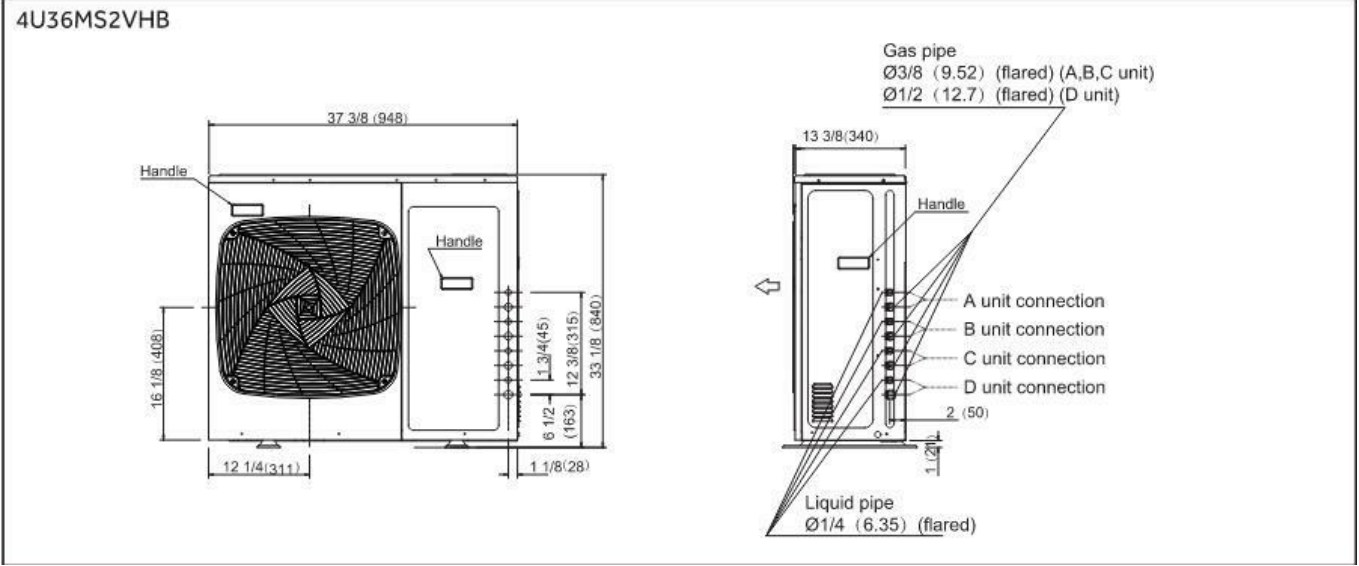
SPECIFICATIONS

SHEET **5** OF 6

APRIL 7, 2021

202050

D|M|A
 DESTEFANO
 MAUGEL
 ARCHITECTS



Installation Instructions

MINIMUM CLEARANCES
 (Appearance may vary)

This picture is for reference only. Your product may look different. Read your manual before installation. Explain the operation of the unit to the user according to this manual.

more than 4in.
 more than 4in.
 more than 4in.
 more than 4in.
 more than 6in.
 more than 24in.
 more than 6in.

Attention must be paid to the pitch of drain hose

Piping Exit Options
 Rear left
 Rear right
 Right
 Below

Fixing of outdoor unit
 • Fix the unit to concrete or block with bolts 7/16" (10mm) securely.
 • When fitting the unit to wall surface, roof or rooftop, fix the unit securely in consideration of earthquake and strong wind.
 • If vibration may affect the house, fix the unit by attaching a vibration-proof mat.

Floor fixing dimensions of the outdoor unit
 Refer to Submittal Document for unit dimensions.

• The distance between the indoor unit and the floor should be more than 6 feet.

Proper Installation for Drainage

Correct installation
 Drainage

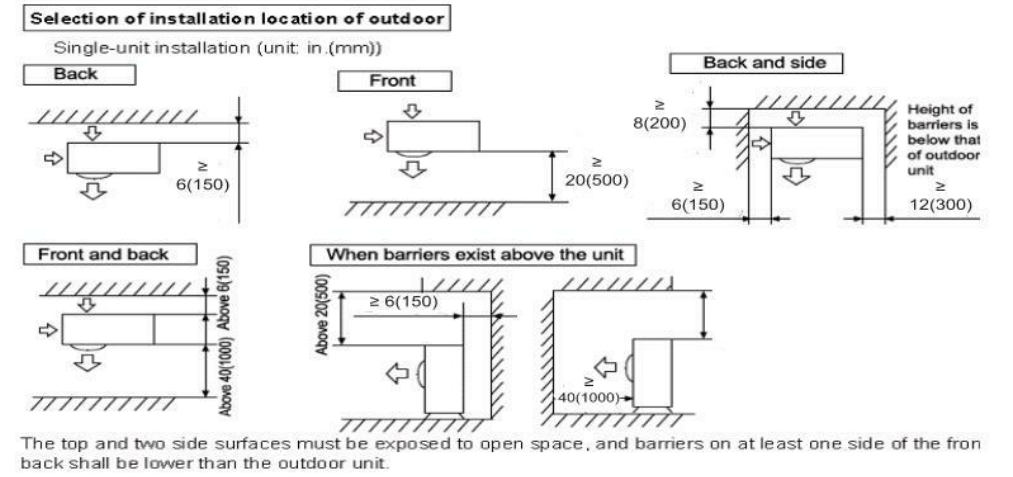
Wrong installation
 stand top is covered
 Drainage
 Clearance is too small, causing inadequate drainage.

Set the unit on mount or pad. If located in snow area, use heat pump risers to elevate the outdoor unit.

If the unit is located in an area where freezing can occur, do not install the drain elbow.

Correct installation
 Minimum height (H) should be higher than the highest snowfall depth (D) (H=D+8")

Wrong installation
 unit may become covered in snow if the stand height is insufficient.



4. 410-430 Islington Street - Recommended Approval

Background: The applicant is seeking approval for changes to previously approved designs on several units)

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-304

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Mar 31, 2021

Applicant

Danielle Cain
dcain@marketsquarearchitects.com
104 Congress St
Suite 203
Portsmouth, NH 03801
603-501-0202

Location

410 ISLINGTON ST
Portsmouth, NH 03801

Owner:

ISLINGTON COMMONS LLC & C/O EAMONN
HEALY
21 MADBURY RD DURHAM, NH 03824

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

- 414/416: ENTRY CANOPY FASCIA HEIGHT
- 414/416: NEW FOUNDATION WINDOWS
- 418/420: DORMER SHIFT
- 426: PORTICO MODIFICATIONS DUE TO AS BUILT GRADE
- 426: SKYLIGHTS AT WEST ELEVATION
- 426: ADJUST DORMER WINDOW ON WEST ELEVATION TO PREVIOUSLY APPROVED TYPE "F.1"
- 428/430: ENTRY STAIRS & RAILING FROM ISLINGTON STREET
- 428/430: CHIMNEY HEIGHT ADJUSTMENT
- 428/430: EAST ELEVATION ENTRY ADJUSTMENT

Description of Proposed Work (Planning Staff)

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ISLINGTON COMMONS

HISTORIC DISTRICT COMMISSION, APRIL 2021



#410 #412 #430

GENERAL PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THREE PARCELS LOCATED AT 410, 420 AND 430 ISLINGTON STREET. THE LOTS CURRENTLY CONTAIN A TOTAL OF 7 EXISTING DWELLING UNITS. THE LOT LINES SHALL BE ADJUSTED TO ACCOMMODATE THE RENOVATION OF EACH EXISTING BUILDING SUCH THAT, THE NUMBER OF EXISTING UNITS WILL BE REDUCED TO FOUR (4) AND SEVEN (7) NEW DWELLING UNITS WILL BE ADDED. THE RESULT WILL BE A TOTAL OF 11 DWELLING UNITS ON THE SITE. THE FOLLOWING IS INCLUDED IN THIS PACKAGE:

- ◇ 414/416: ENTRY CANOPY FASCIA HEIGHT
 - ◇ 414/416: NEW FOUNDATION WINDOWS
 - ◇ 418/420: DORMER SHIFT
 - ◇ 426: PORTICO MODIFICATIONS DUE TO AS BUILT GRADE
 - ◇ 426: SKYLIGHTS AT WEST ELEVATION
 - ◇ 426: ADJUST DORMER WINDOW ON WEST ELEVATION TO PREVIOUSLY APPROVED TYPE "F.1"
 - ◇ 428/430: ENTRY STAIRS & RAILING FROM ISLINGTON STREET
 - ◇ 428/430: CHIMNEY HEIGHT ADJUSTMENT
 - ◇ 428/430: EAST ELEVATION ENTRY ADJUSTMENT
- CURRENT SCOPE

ZONING SUMMARY:

ZONING DISTRICT: CD4-L2

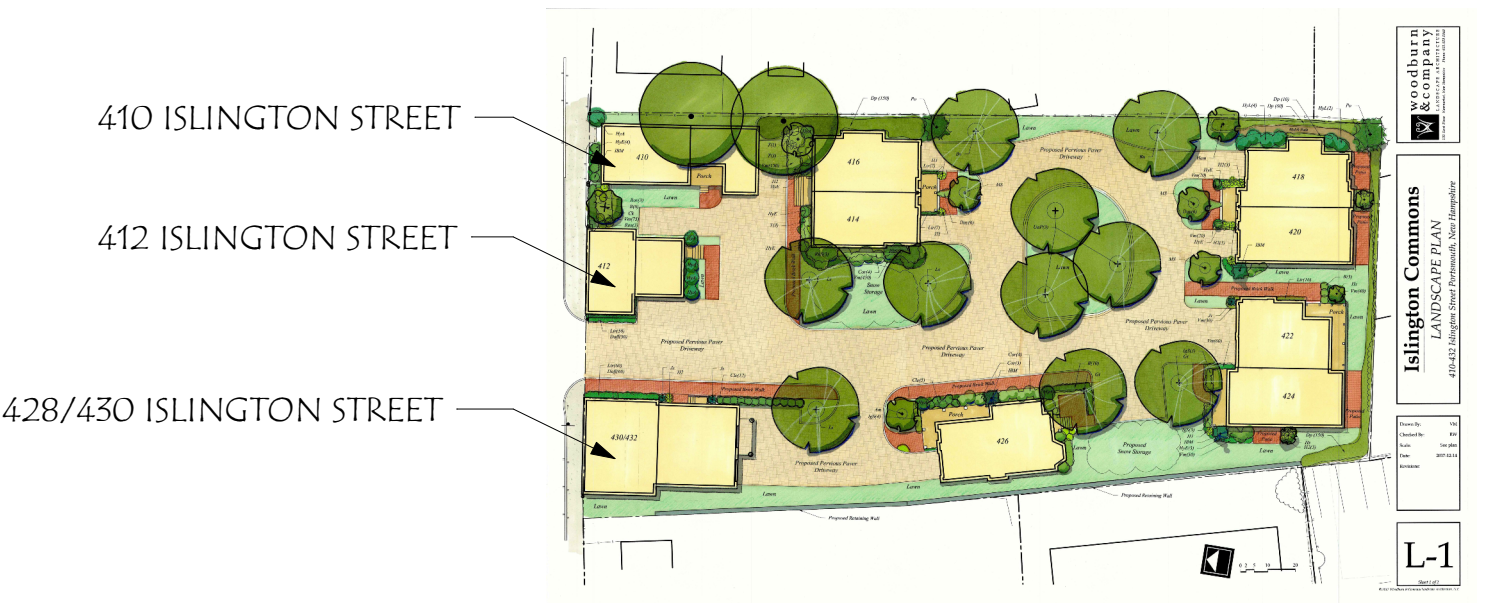
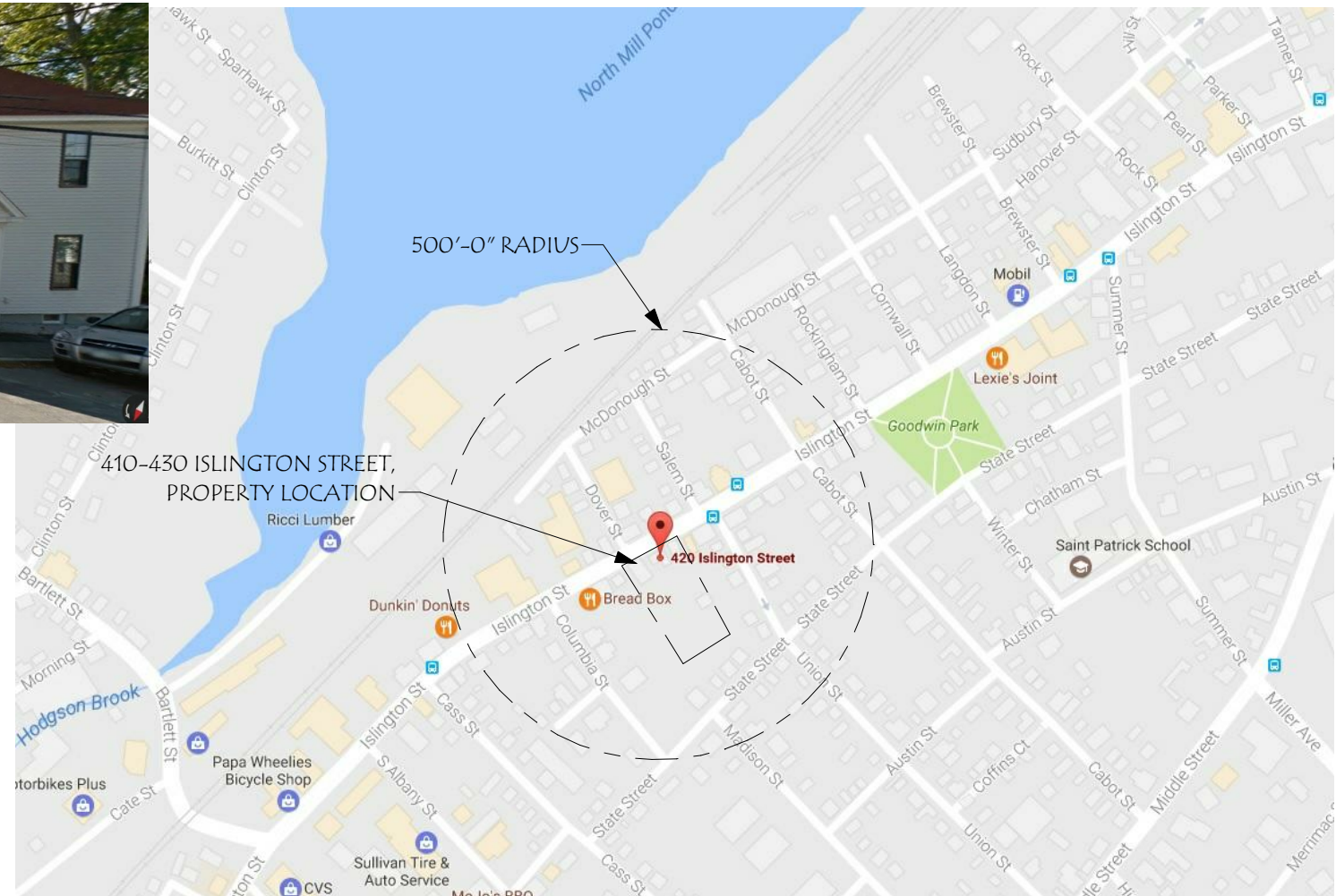
LOT SIZE: 40,075 SF

REQUIRED LOT AREA PER DWELLING UNIT: 3,000 SF

BUILDING HEIGHT: 35'-0" MAX

GROUND FLOOR ABOVE SIDEWALK: 3'-0" MAX

MIN GROUND STORY HEIGHT: 11'-0"



HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL APRIL 2021

ISLINGTON COMMONS
410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

Revisions: #	Description	Date

SCALE:	SNH	RJH	207008	03/31/21
DRAWN BY:				
CHECKED BY:				
PROJECT NO.:				
DATE:				

TITLE: COVER	1
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EAST ELEVATION- PROPOSED



② D2- EAST ELEVATION PREVIOUSLY APPROVED
1/8" = 1'-0"

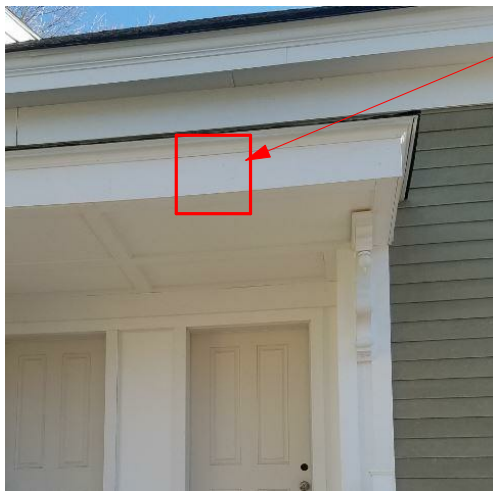


② D2- WEST ELEVATION PREVIOUSLY APPROVED
1/8" = 1'-0"

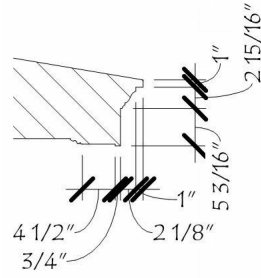
Revisions #	Description	Date

SCALE:	DRAWN BY:	CHECKED BY:	PROJECT NO.:	DATE:
	SNH		207008	03/31/21

TITLE:	414/ 416 ELEVATIONS	2
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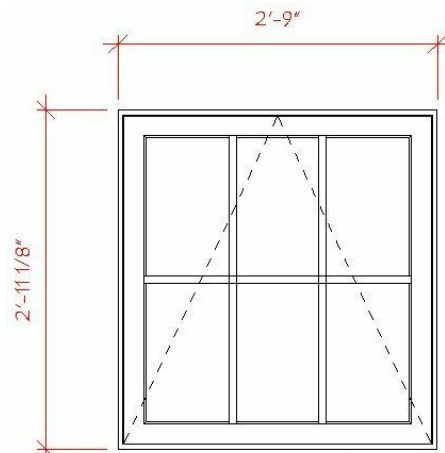


AREA OF ALTERATION:
AS BUILT FASCIA
HEIGHT= 8 3/8"

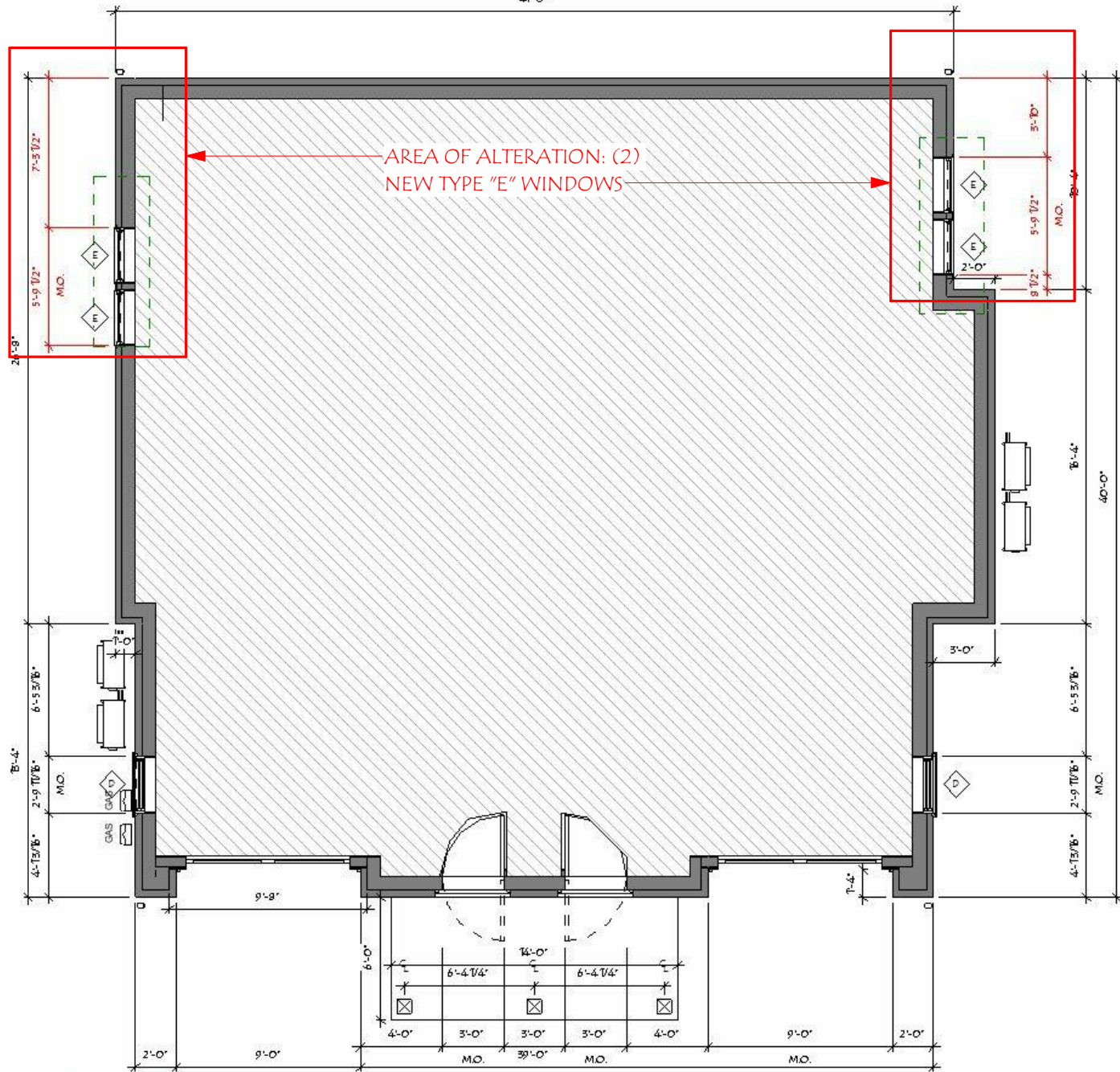


PREVIOUSLY APPROVED

7 PROFILE 4 @ D2
1/2" = 1'-0"
41'-0"

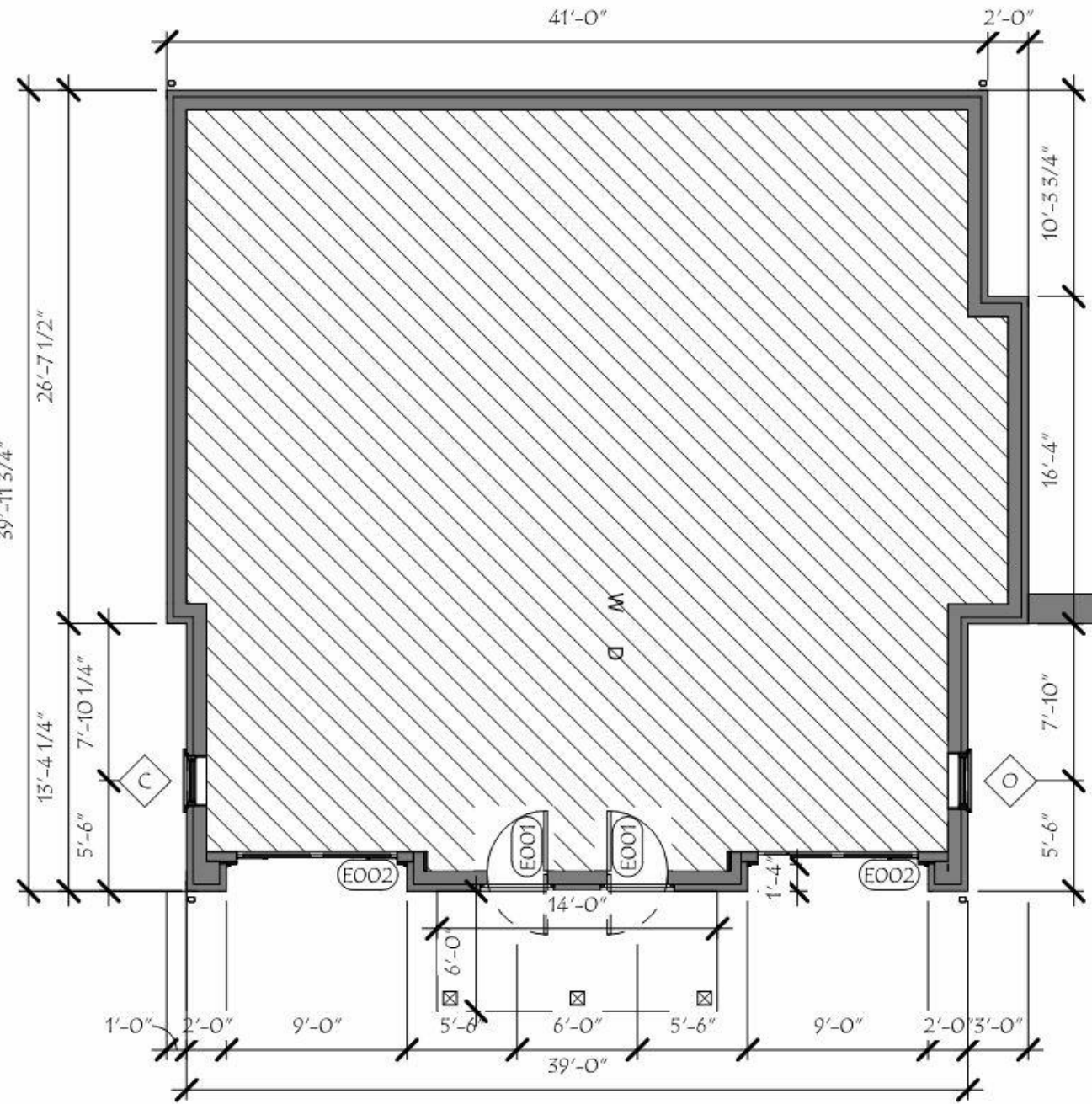


TYPE "E" WINDOW- NEW
MARVIN WINDOWS TO
MATCH INSTALLED



AREA OF ALTERATION: (2)
NEW TYPE "E" WINDOWS

FIRST FLOOR- PROPOSED



1 1ST FLOOR PLAN- D2 PREVIOUSLY APPROVED
1/8" = 1'-0"

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

Revisions #	Description	Date

SCALE:	SNH
DRAWN BY:	Checker
CHECKED BY:	2017008
PROJECT NO.:	03/31/21
DATE:	3/31/2021 11:37:50 PM

TITLE:	414/ 416 PLANS
	3



AREAS OF ALTERATION:
DIMENSIONAL ADJUSTMENT
FOR AS- BUILT TRIPLE
WINDOWS



418/420 SOUTH ELEVATION- AS BUILT



② 418/420- SOUTH ELEVATION
1/8" = 1'-0"

PREVIOUSLY APPROVED

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

Revisions #	Description	Date

SCALE:	SNH
DRAWN BY:	RJH
CHECKED BY:	2017008
PROJECT NO.:	03/31/21
DATE:	

TITLE:	418/420 DORMER
	4

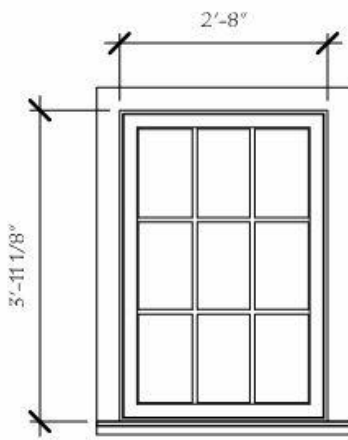
ISLINGTON COMMONS

410-430 ISLINGTON STREET
 PORTSMOUTH, NH 03801

Revisions #	Description	Date

SCALE:	SNH	Checker
DRAWN BY:		
CHECKED BY:		
PROJECT NO.:	2017008	03/31/21
DATE:		

TITLE:	426 WEST ELEVATION	5
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PREVIOUSLY APPROVED

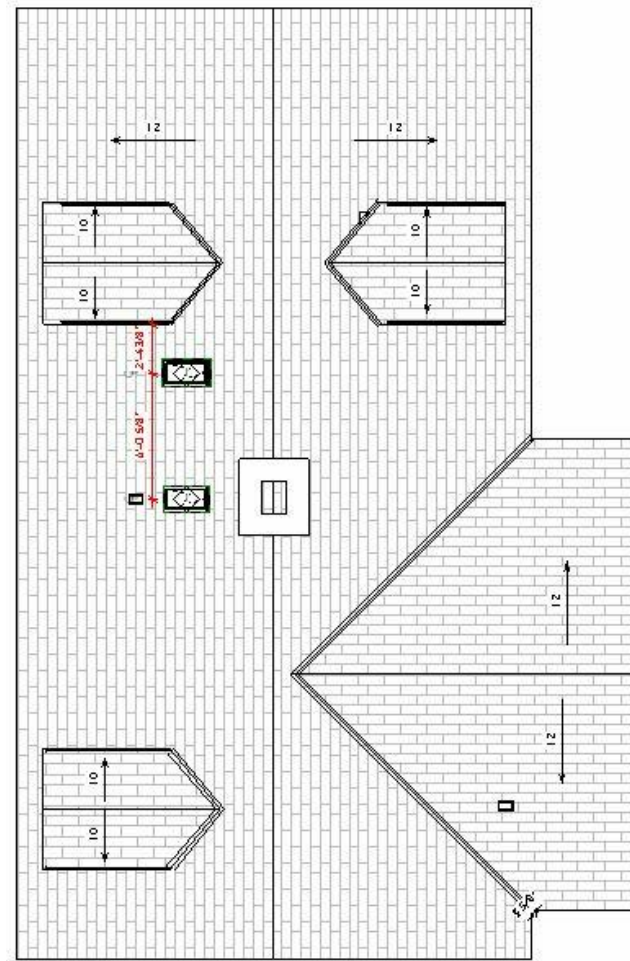
TYPE F.1

MARVIN INTEGRITY WOOD
 ULTREX CASEMENT
 WINDOW

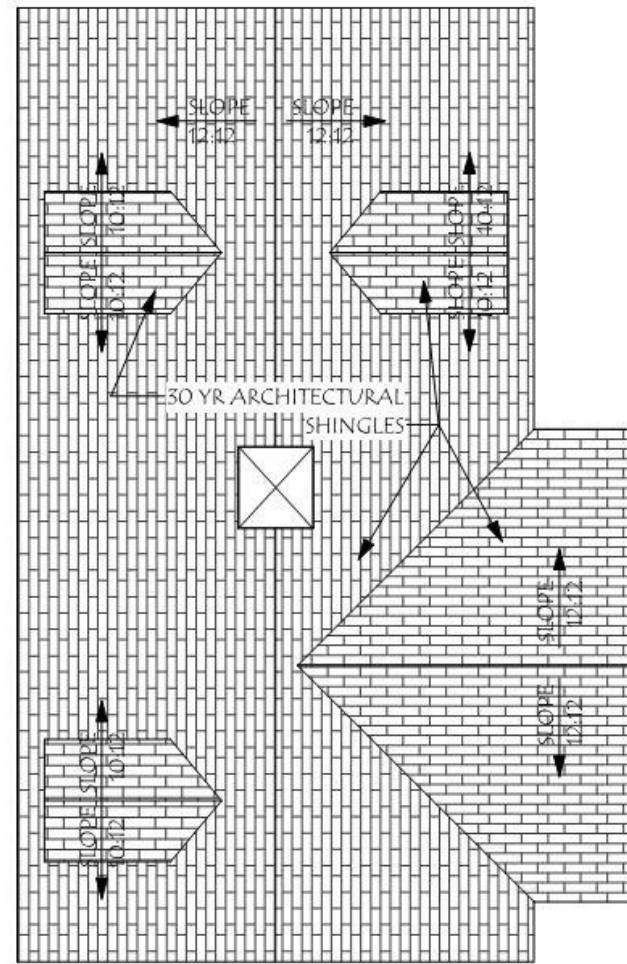
WINDOW TYPE- 426
 1/2" = 1'-0"

AREA OF ALTERATION:
 TWO NEW SKYLIGHTS, TYPE "J", TO BE
 MARVIN AWAKEN OPERABLE SKYLIGHT

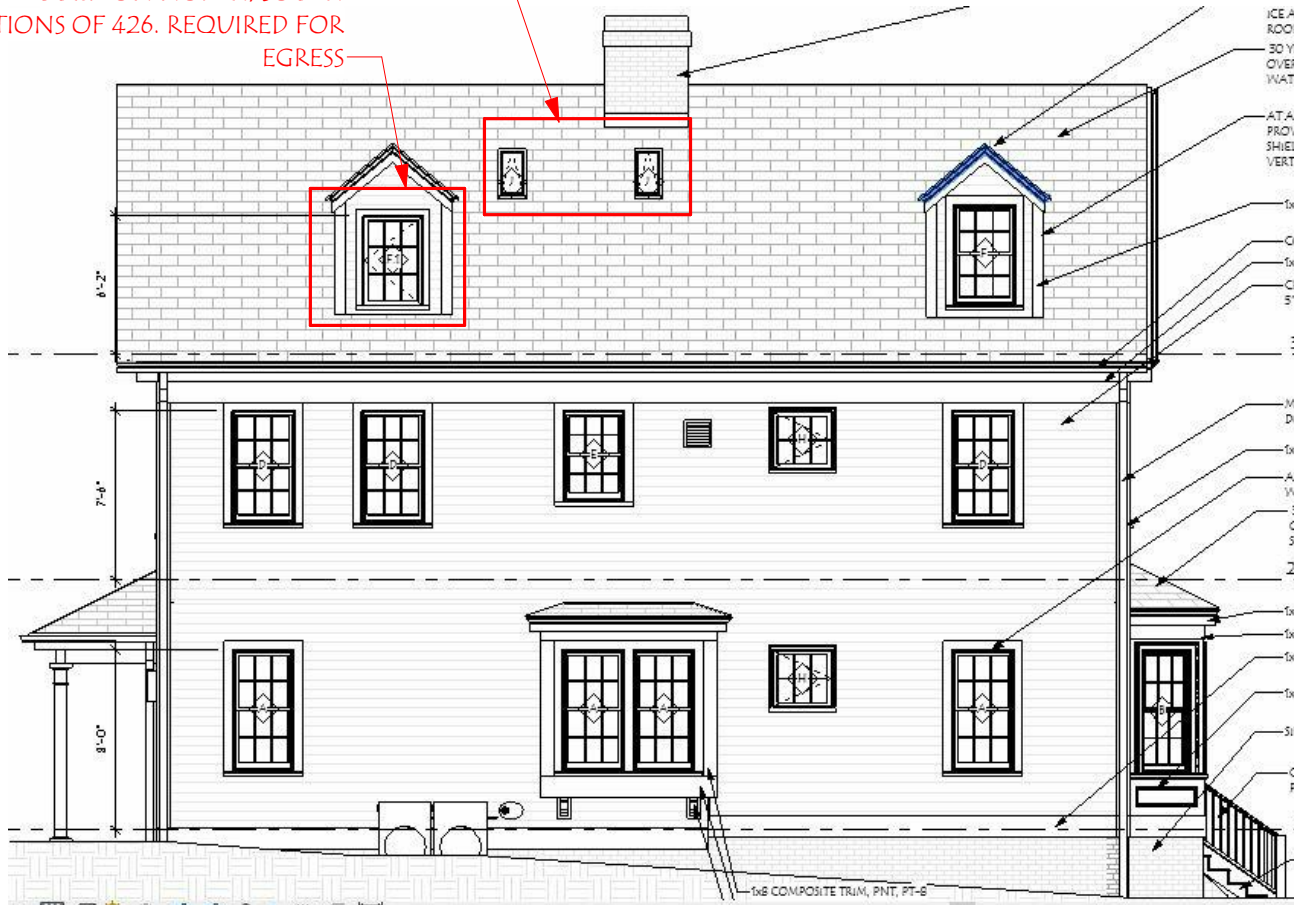
AREA OF ALTERATION:
 NEW WINDOW F.1, SAME AS AS-
 BUILT ON NORTH/SOUTH
 ELEVATIONS OF 426. REQUIRED FOR
 EGRESS



ROOF PLAN- PROPOSED



ROOF PLAN- PREVIOUSLY APPROVED



WEST ELEVATION- PROPOSED

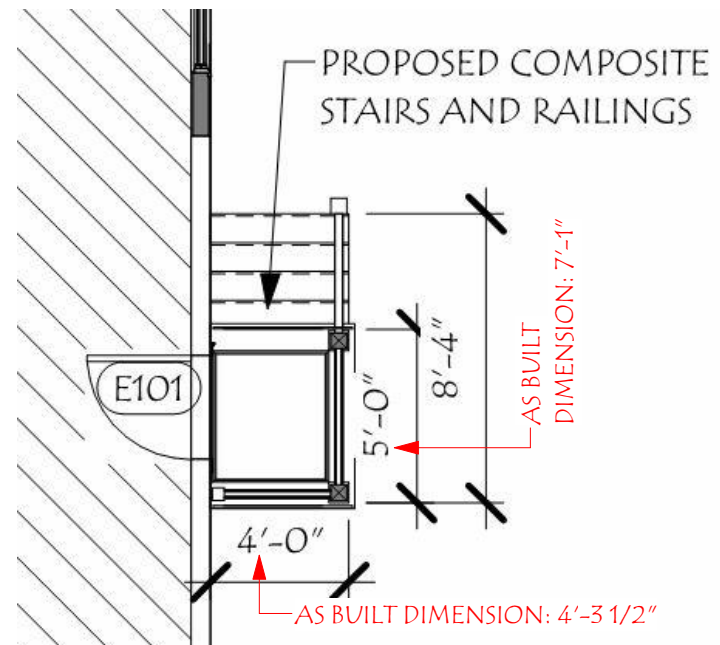


WEST ELEVATION- PREVIOUSLY APPROVED



AREA OF ALTERATION

428/430 EAST ELEVATION
ENTRY- AS BUILT



428/430 EAST ELEVATION ENTRY PREVIOUSLY APPROVED



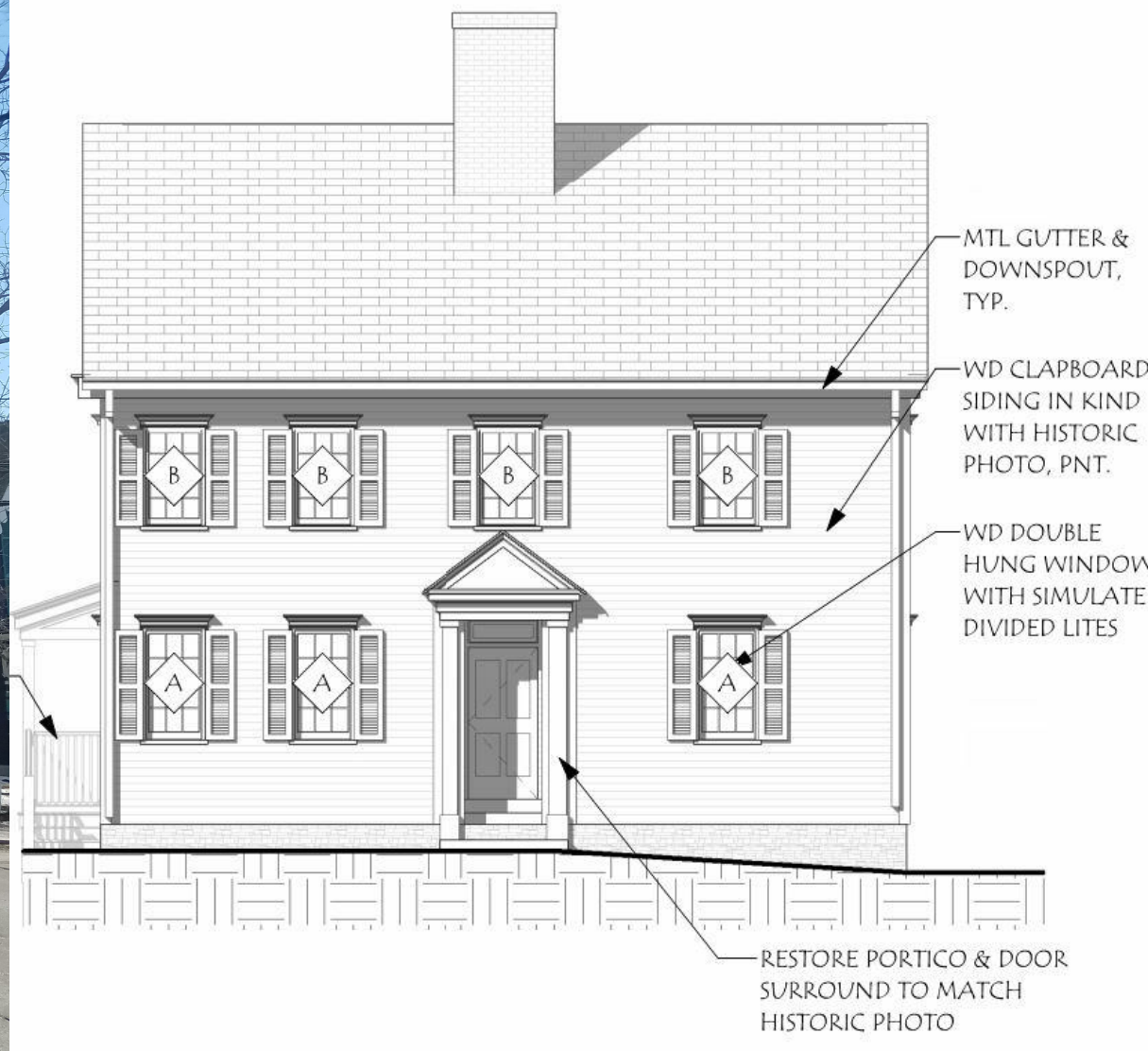
428/430 HISTORIC IMAGE

COURTESY OF PORTSMOUTH ATHENAEUM



AREA OF ALTERATION

428/430 NORTH ELEVATION- AS BUILT



1 430- PROPOSED NORTH ELEVATION
1/8" = 1'-0"

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

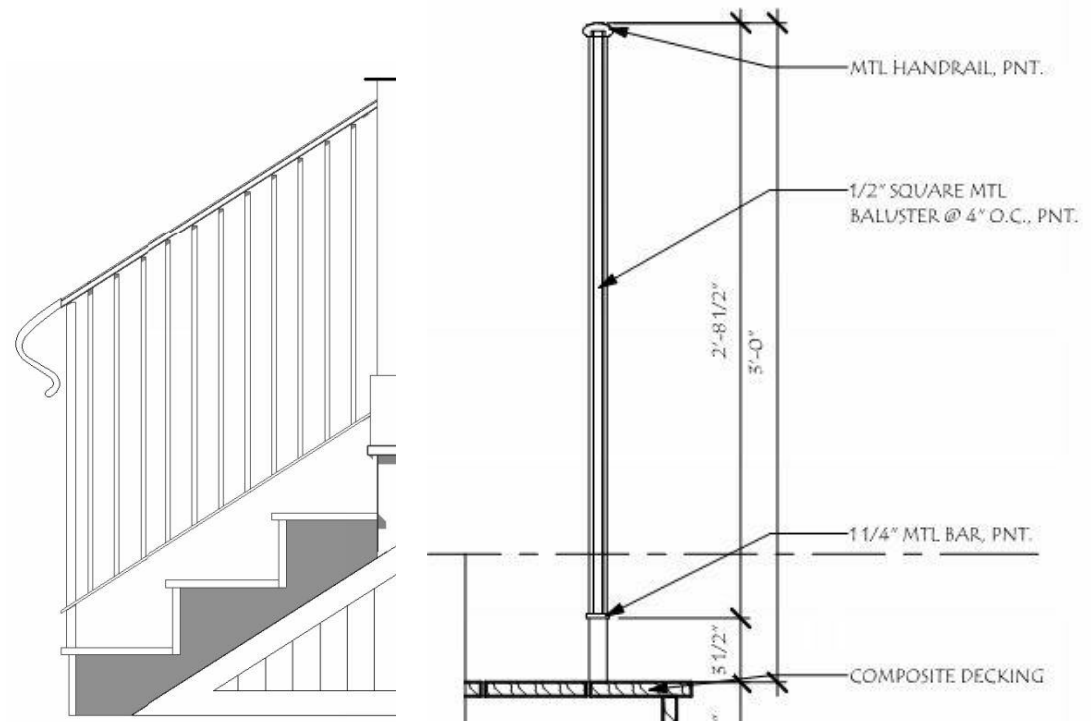
Revisions #	Description	Date

SCALE:	SNH	Checker	207008	03/31/21
DRAWN BY:				
CHECKED BY:				
PROJECT NO.:				
DATE:				

TITLE:	428/430 FRONT ELEVATION	7
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IMAGE OF HANDRAIL AT 412



ELEVATION & SECTION OF HANDRAIL AT 412- PREVIOUSLY APPROVED



INSTALL NEW METAL HANDRAIL SIMILAR TO 412- REQUIRED BY IRC 2015 DUE TO CHANGE IN GRADE

EXISTING STAIR TREADS ARE REPAIRED



IMAGE OF REPAIRED STAIRS

IMAGE OF PROPOSED HANDRAILS AT STAIRS

ISLINGTON COMMONS

410-430 ISLINGTON STREET
 PORTSMOUTH, NH 03801

Revisions #	Description	Date

SCALE:	SNH
DRAWN BY:	RJH
CHECKED BY:	2017008
PROJECT NO.:	03/31/21
DATE:	

TITLE: 430 FRONT ENTRY	8
---------------------------	---

5. 254 South Street

- Recommended Approval

Background: The applicant is seeking approval for mechanical equipment (A/C condenser with screening).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-305

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 02, 2021

Applicant

Denise Todd
dentodd@gmail.com
254 South St
South St
Portsmouth, NH 03801
6039785329

Location

254 SOUTH ST
Portsmouth, NH 03801

Owner:

Denise Todd
254 254 SOUTH ST Portsmouth, NH
03801-4527

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Requesting permission to install a Mitsubishi AC Pump Unit on the exterior wall on the west, driveway, side of the property. The unit will provide ac to the upstairs bedrooms on this side of the property. All specs and dimensions of the unit are attached in this application. There will be a 5' x 3-4' fence installed in front of the unit to hide it from the street view. The fence will match the existing rear fence as close as possible.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Narrative for the Historic Committee for permission to install an outdoor Cooling Unit with Consideration of Zoning Ordinance Section 10.233

254 South St
Portsmouth NH 03801

April 2nd 2021

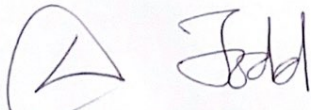
We are requesting permission to install a Mitsubishi Cooling Unit on the exterior West side of our property at 254 South St Map/Lot 0111-005-000, in order to cool the remaining upstairs bedrooms on this side of the property.

All specs, dimensions, photos & drawings are included in this application.

This application would not appear to be contrary to public interests or compromise surrounding property values as it will increase the said property value. A fence will be installed in front of the unit to hide it from the street view. The fence will match the existing rear fence as close as possible. The fence will be approximately 3'6" wide x 4'6" tall. Plantings will also be put in place of any removed.

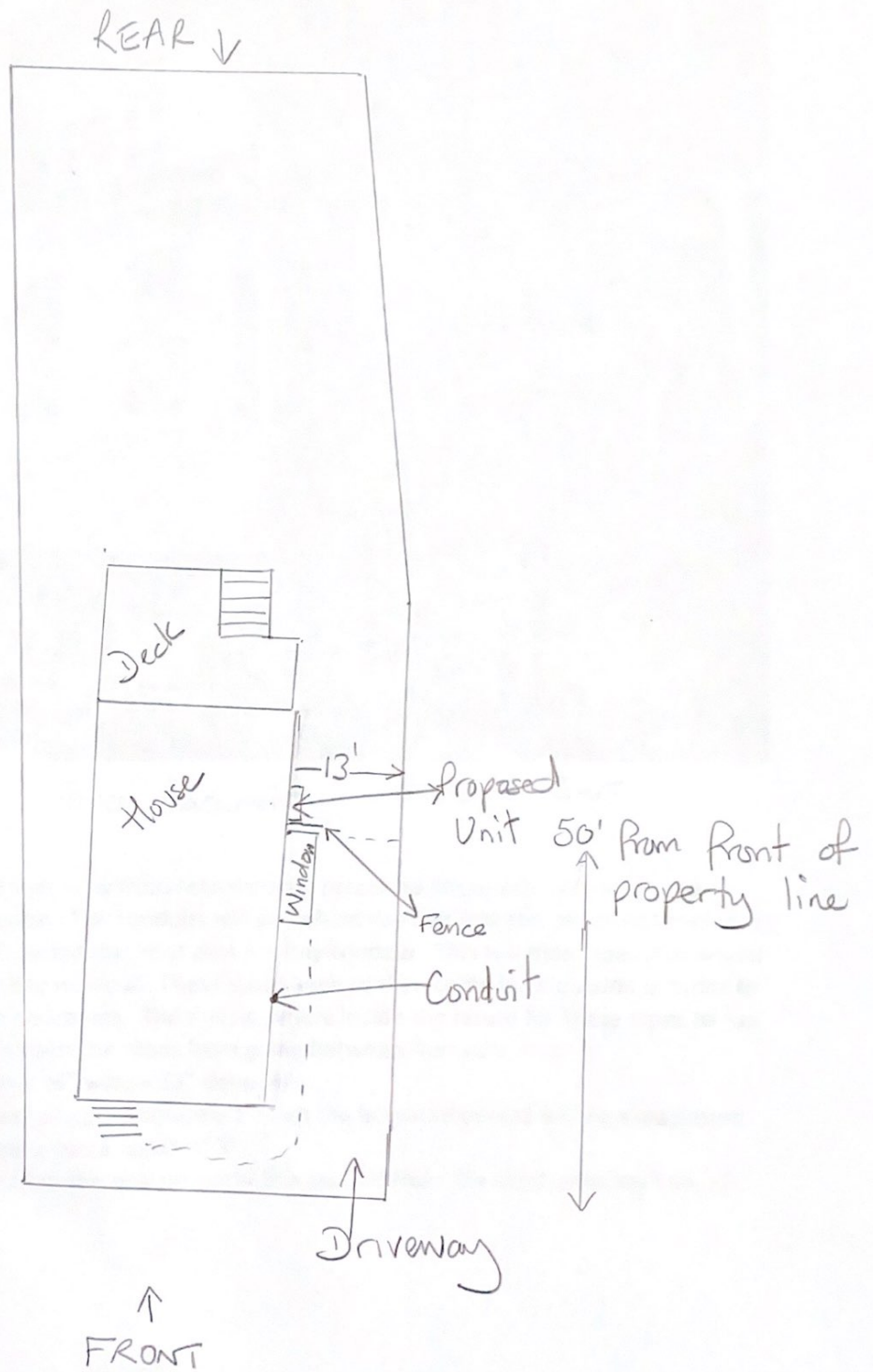
The spirit of the ordinance will be observed as it will not damage the health, safety or general welfare of the community. The mechanic has deemed this location to be the best one in order to service the bedrooms and be the least obtrusive/visible and denying this approval would deny AC to our remaining bedrooms. Many of our neighboring properties have cooling units in similar positions.

Thank you for your consideration,

Handwritten signature of Denise & Michael Todd, consisting of a stylized 'D' and 'M' followed by the name 'Todd'.

Denise & Michael Todd (Owners)

PROPOSED AC UNIT ON WEST/DRIVENAY SIDE OF PROPERTY



254 SOUTH ST

254 SOUTH ST SIDE/REAR VIEW OF
PROPOSED AC UNIT

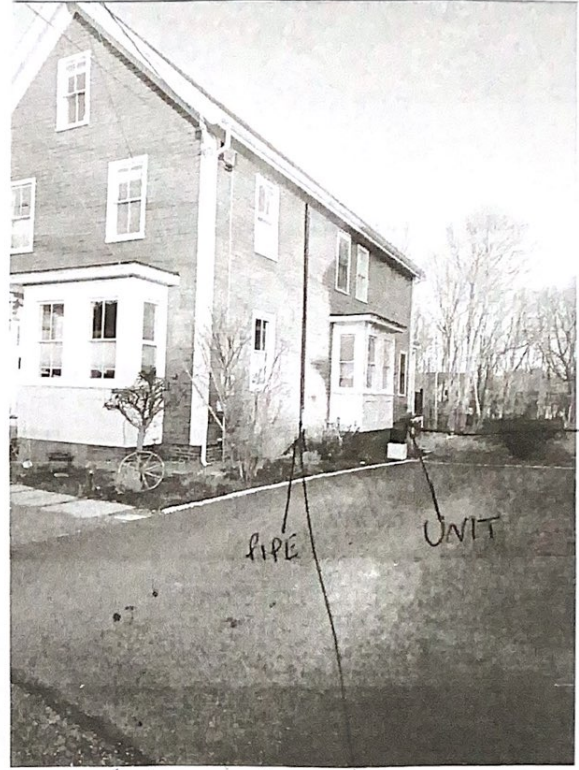


254 South St, Drive West Side view from rear showing proposed Mitsubishi Outside Pump location and conduit location. The conduits will go behind the unit into the basement then run along the basement wall toward the front past the bay window. This will hide pipes that would have to go up & over the bay window. These pipes have to then come back outside in order to run up the outside to the bedrooms. There is no where inside the house for these pipes to run and blown-in insulation inhibits the pipes from going between the walls. The Pump Unit is 42" high x 36" wide x 13" deep +/-.

When installed the unit will sit approximately 1' from the house so overall will be a maximum depth of 2'. The bay window has a depth of 3'.

The unit will be 11' away from the side property line and 50' from the front property line, +/-.

234 SOUTH ST FRONT & SIDE VIEW



pipe



CONDUIT PIPE

Job Name:	Date:
System Reference:	



Outdoor Unit: MXZ-3C30NAHZ2

ACCESSORIES

The outdoor unit is delivered with the base pan heater factory installed.

- Airflow Guide (PAC-SH96SG-E)
- 3/8" x 1/2" Port Adapter (MAC-A454JP-E)
- 1/2" x 3/8" Port Adapter (MAC-A455JP-E)
- 1/2" x 5/8" Port Adapter (MAC-A456JP-E)
- 1/4" x 3/8" Port Adapter (PAC-493PI)
- 3/8" x 5/8" Port Adapter (PAC-SG76R-J-E)
- M-NET Adapter (PAC-IF01MNT-E)

(For data on specific indoor units, see the MXZ-C Technical and Service Manual.)

Specifications			Model Name
Unit Type			MXZ-3C30NAHZ2
Cooling* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,400 / 27,400
	Capacity Range	Btu/h	6,000 - 28,400
	Rated Total Input	W	2,272 / 2,661
Heating at 47°F* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,600 / 27,600
	Capacity Range	Btu/h	7,200 - 36,000
	Rated Total Input	W	2,096 / 2,187
Heating at 17°F* (Non-ducted/Ducted)	Rated Capacity	Btu/h	18,000 / 16,500
	Maximum Capacity	Btu/h	28,600 / 27, 600
	Rated Total Input	W	1,991 / 1,993
Heating at 5°F*	Maximum Capacity	Btu/h	28,600
Energy Star® (ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.)			Yes
Electrical Requirements	Power Supply	Voltage, Phase, Hertz	208 / 230V, 1-Phase, 60 Hz
	Recommended Fuse/Breaker Size	A	40
	MCA	A	30.5
Voltage	Indoor - Outdoor S1-S2	V	AC 208 / 230
	Indoor - Outdoor S2-S3	V	DC ±24
Compressor			DC INVERTER-driven Twin Rotary
Fan Motor (ECM)		F.L.A.	2.43
Sound Pressure Level	Cooling	dB(A)	54
	Heating		58
External Dimensions (H x W x D)		In / mm	41-9/32 x 37-13/32 x 13 1048 x 950 x 330
Net Weight		Lbs / kg	189 / 86
External Finish			Munsell No. 3Y 7.8/11
Refrigerant Pipe Size O.D. — Eight Ports	Liquid (High Pressure)	In / mm	1/4 / 6.35
	Gas (Low Pressure)		A:1/2 / 12.7 ; B:C: 3/8 / 9.52
Max. Refrigerant Line Length		Ft / m	230 / 70
Max. Piping Length for Each Indoor Unit		Ft / m	82 / 25
Max. Refrigerant Pipe Height Difference	If IDU is Above ODU	Ft / m	49 / 15
	If IDU is Below ODU		49 / 15
Connection Method			Flared/Flared
Refrigerant			R410A

* Rating Conditions per AHRI Standard:

Cooling | Indoor: 80°F (27°C) DB / 67°F (19°C) WB

Cooling | Outdoor: 95°F (35°C) DB / WB. 23.9°C (75°F)

Heating at 47°F | Indoor: 70°F (21°C) DB / 60°F (16°C) WB

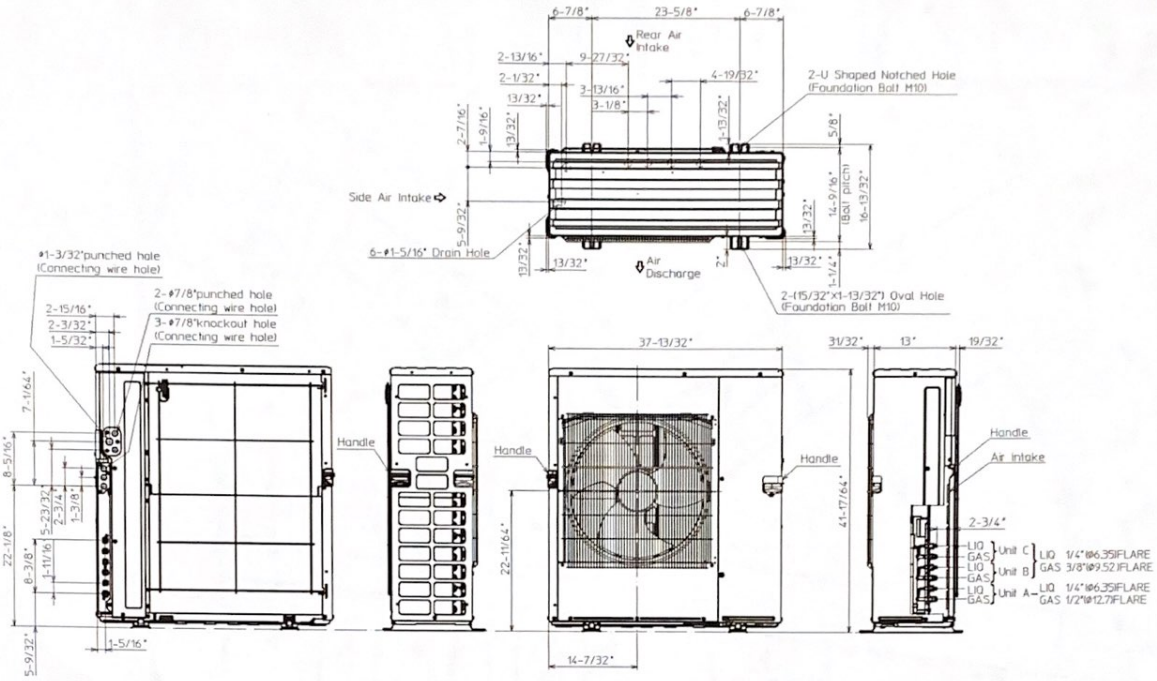
Heating at 47°F | Outdoor: 47°F (8°C) DB / 43°F (6°C) WB

Heating at 17°F | Indoor: 70°F (21°C) DB

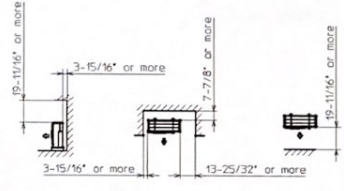
Heating at 17°F | Outdoor: 17°F (-8°C) DB / 15°F (-9°C) WB

DIMENSIONS: MXZ-3C30NAH2

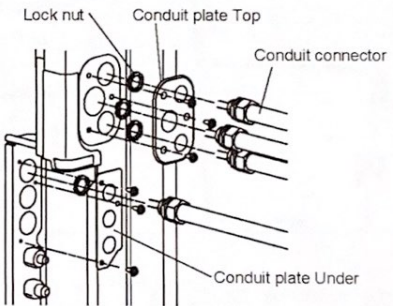
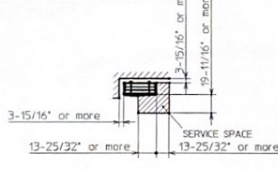
Unit: inch (mm)



1.FREE SPACE



2.SERVICE SPACE



1340 Satellite Boulevard, Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

FORM# MXZ-3C30NAH2 for Multiple Indoor Unit Styles - 201712



Specifications are subject to change without notice.

© 2017 Mitsubishi Electric US, Inc.

b

8

6. 266 Middle Street

- TBD

Background: The applicant is seeking approval for the replacement of vinyl siding and windows.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-307

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Apr 06, 2021

Applicant

John Bosen
jbosen@bosenandassociates.com
266 Middle Street
Portsmouth, New Hampshire 03801
603 427-5500

Location

266 MIDDLE ST
Portsmouth, NH 03801

Owner:

DANNY PARKER LLC
266 MIDDLE ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Replace existing vinyl siding with wood clapboards
Replace existing vinyl windows

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

7. 75 Salter Street, Unit #1 - Recommended Approval

Background: The applicant is seeking approval for changes to previously approved design (decking, railing posts, fence, vent, stairs, gutters and playhouse residing with windows and door).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-308

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 06, 2021

Applicant

Margot L. Thompson
ept1955@aol.com
75 Salter Street
Portsmouth, New Hampshire 03801
603-475-2763

Location

75 SALTER ST Unit 1
Unit 1
Portsmouth, NH 03801

Owner:

Margot L. Thompson
75 SALTER ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Clean-up project approvals for work; decking, railing posts, fence, vent, stair nosing, gutter and children's playhouse residing with door and windows.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.



Composite Posts in lieu of Mahogany

Composite Decking



Project: Thompson Boat House
75 Salter Street
Portsmouth, NH 03801
Drawn: April 6, 2021
Drawn By: Ned Thompson

**COMPOSITE DECKING
& POSTS**



New England Cedar Fence Company - Two Sided T & G w/no center rail



Project: Thompson Boat House
75 Salter Street
Portsmouth, NH 03801
Drawn: April 6, 2021
Drawn By: Ned Thompson

**REMOVE EXISTING FENCE AND
REPLACE W/NEW CEDAR FENCE**

Gas Fireplace Vent Relocated

TO here

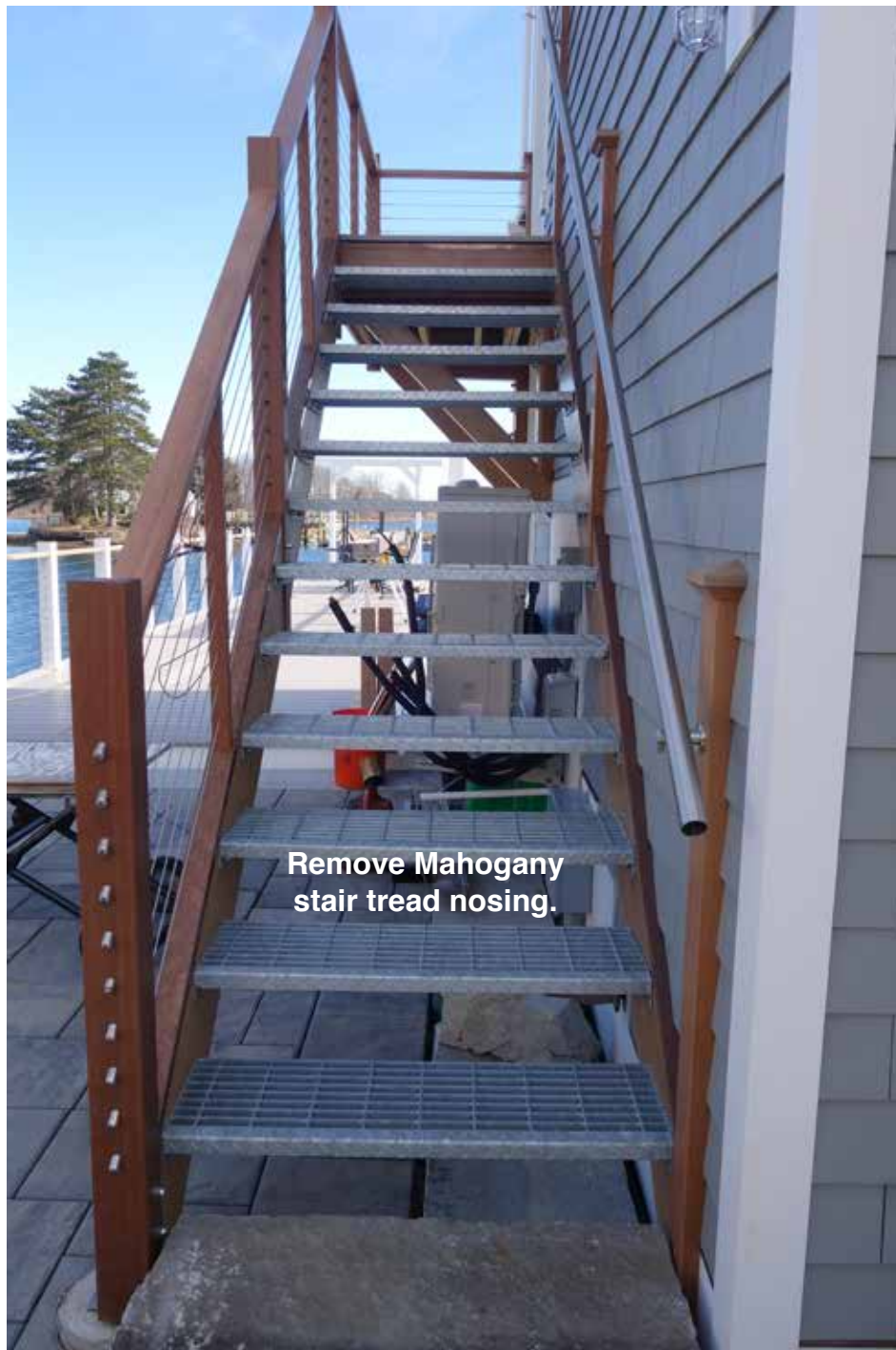
FROM here



Building Code mandated relocation.

Project:	Thompson Boat House 75 Salter Street Portsmouth, NH 03801
Drawn:	April 6, 2021
Drawn By:	Ned Thompson

VENT RELOCATION



Remove Mahogany stair tread nosing.

Gutters matches what was there before.



Project: Thompson Boat House
75 Salter Street
Portsmouth, NH 03801
Drawn: April 6, 2021
Drawn By: Ned Thompson

**REMOVE STAIR TREAD NOSING
& GUTTER**



BEFORE



Originally matched big house - yellow clapboards and shingles.

Now matches adjacent Boat House - gray shingles.

Project: Thompson Boat House
75 Salter Street
Portsmouth, NH 03801
Drawn: April 6, 2021
Drawn By: Ned Thompson

**GRANDCHILDREN'S PLAYHOUSE
SYMPATHETIC RENOVATION**

8. 381 Middle Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of mechanical equipment ((2) A/C condensers with screening).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-309

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Apr 06, 2021

Applicant

Sally Mulhern
sally@mulhernlaw.com
381 Middle St
Portsmouth, New Hampshire 03801
(603) 498-6709

Location

381 MIDDLE ST
Portsmouth, NH 03801

Owner:

MULHERN REAL ESTATE HOLDINGS LLC
381 MIDDLE ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Installation of (2) Mitsubishi high efficiency heat pump mini splits on side of building with lattice screen barrier and foundation plantings

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.**By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**





Mini splits next to building here

Lattice barrier with foundation plantings on each side



Mini splits
here
with lattice
barrier



mini
splits
here with
lattice
barrier

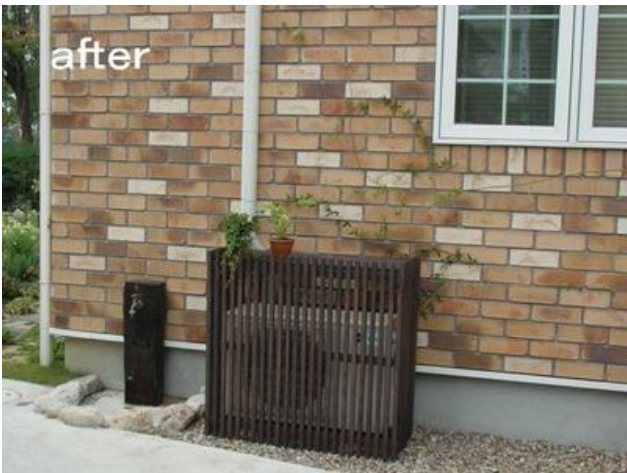












9. 9 Prospect Street, Unit #3 - Recommended Approval

Background: The applicant is seeking approval for the installation of mechanical equipment (A/C condenser).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-310

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 07, 2021

Applicant

Sharon Chaplin
admiral@admiralclimate.com
44 Allen Street
Rochester, New Hampshire 03867
6033303014

Location

9 PROSPECT ST Unit 3
Unit 3
Portsmouth, NH 03801

Owner:

SIMMONS SANDRA GALE & BROOKS
WILLIAMS A JR
340 S LEMON AVE #2219N WALNUT, CA
91789

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Apply for permit to have Mitsubishi minisplit installed by other contractor inspected & make any repairs necessary. NOTE: I have been working with David Gilchrest and Nicholas Cracknell. This application was requested to be done by Nicholas so it could be reviewed during 4/7/2021 meeting.

Description of Proposed Work (Planning Staff)

--

Acknowledgement



10. 232 South Street

- Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved design (change from approved Marvin Signature Line to Marvin Elevate windows).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-311

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 07, 2021

Applicant

Matthew Beaulieu
mattbeaulieu13@gmail.com
287A Hanover St
Portsmouth, NH 03801
6034943797

Location

232 SOUTH ST
Portsmouth, NH 03801

Owner:

JJCM REALTY LLC (1/2 INT) & TOPNOTCH
PROPERTIES LLC (1/2 INT)
23 WHITTEMORE ST BEDFORD, NH 03110

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

substituting marvin elevate windows formally known as the integrity from a previously approved signature line at prior historical meeting. The only difference between the two windows is one is a 5/8 in as approved and the elevate is a 7/8 in SDL with internal spacer bar. Everything else being the same, light patterns etc. The supplier, local lumber yard, says that window was successful installed in the building on the corner of Ladd St and Market St, "wiglesworth's mercantile".

Description of Proposed Work (Planning Staff)

--

Acknowledgement



WIGLESWORTH'S
MERCANTILE

AVEDA

Clean water. clear mission

AVEDA

NOT
ENTER

SLOW BURN
LOUNGE
LIBATIONS & CIGARETTES

GARY BEAULIEU GARY BEAULIEU

Quote #: DFRBDLE

A Proposal for Window and Door Products prepared for:

Job Site:

03061

Shipping Address:

MILLWORK MASTERS MDG- SWANZEY
362 Flat Roof Mill Rd
Swanzy, NH 03446-2706

Featuring products from:



MILLWORK MASTERS



A MARVIN DESIGN GALLERY

CHRIS O'CONNOR
MILLWORK MASTERS MDG- SWANZEY
362 FLAT ROOF MILL RD
SWANZEY, NH 03446-2706
Phone: (603) 880-3212

Email: coconnor@millworkmasters.com

This report was generated on 4/6/2021 9:19:55 AM using the Marvin Order Management System, version 0003.07.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

GLOBAL SPECS

The following product and option choices were designated as part of this project's Global Spec. Global Specs can be over-ridden on a line item basis. Exceptions to the specification are outlined in Line Item Quotes. Please proof all units thoroughly to ensure accuracy.

UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 11

TOTAL UNIT QTY: 32

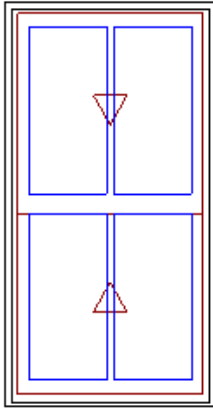
EXT NET PRICE: USD 26,033.48

LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	A	Elevate	Double Hung CN 2648 RO 26 1/2" X 48 1/4" Entered as CN 2648	502.41	10	5,024.10
2	B	Elevate	Casement CN 2935 RO 29" X 35 5/8" Entered as CN 2935	428.38	1	428.38
3	C TEMP	Elevate	Double Hung CN 2636 RO 26 1/2" X 36 1/4" Entered as CN 2636	533.83	1	533.83
4	D	Elevate	Double Hung RO 22 1/2" X 33 1/2" Entered as CN 22 X RO 33 1/2"	563.32	2	1,126.64
5	E EGRESS	Elevate	Double Hung CN 3664 RO 36 1/2" X 64 1/4" Entered as CN 3664	634.06	4	2,536.24
6	F	Elevate	Double Hung RO 28" X 52 1/4" Entered as RO 28" X CN 52	640.60	3	1,921.80
7	G	Elevate	Double Hung RO 18 3/4" X 56 1/4" Entered as RO 18 3/4" X 56 1/4"	611.78	4	2,447.12
8	H	Elevate	Double Hung CN 3456 RO 34 1/2" X 56 1/4" Entered as CN 3456	573.14	2	1,146.28
9	J	Elevate	Double Hung CN 2640 RO 26 1/2" X 40 1/4" Entered as CN 2640	472.27	2	944.54
10	J TEMP	Elevate	Double Hung CN 2640 RO 26 1/2" X 40 1/4" Entered as CN 2640	550.21	1	550.21
11	107A-208A	Elevate	Sliding Patio Door RO 108 5/16" X 80" Entered as RO 108 5/16" X CN 65	4,687.17	2	9,374.34

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: A	Net Price:	502.41
Qty: 10		Ext. Net Price:	5,024.10
		USD	

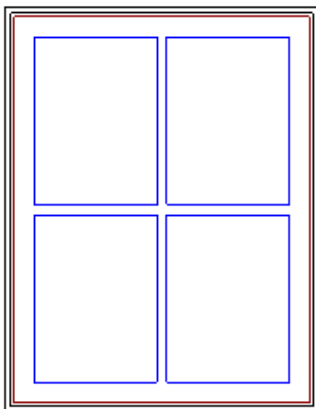


As Viewed From The Exterior

Entered As: CN
 FS 25 1/2" X 47 3/4"
 RO 26 1/2" X 48 1/4"

Stone White Exterior	
White Interior	56.33
Elevate Double Hung	315.06
CN 2648	
Rough Opening 26 1/2" X 48 1/4"	
Top Sash	
Stone White Exterior	
White Interior	
IG	
Low E2 w/Argon	
Stainless Perimeter and Spacer Bar	
7/8" SDL - With Spacer Bar - Stainless	37.34
Rectangular - Special Cut 2W1H	
Stone White Ext - White Int	
Bottom Sash	
Stone White Exterior	
White Interior	
IG	
Low E2 w/Argon	
Stainless Perimeter and Spacer Bar	
7/8" SDL - With Spacer Bar - Stainless	37.34
Rectangular - Standard Cut 2W1H	
Stone White Ext - White Int	
White Weather Strip Package	
White Sash Lock	
Exterior Aluminum Screen	16.38
Stone White Surround	
Charcoal Fiberglass Mesh	
6 9/16" Jamb	39.96
Jamb Extension from 4 9/16" to 6 9/16"	
Nailing Fin	
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.	
***Note: Unit Availability and Price is Subject to Change	

Line #2	Mark Unit: B	Net Price:	428.38
Qty: 1		Ext. Net Price:	428.38
		USD	

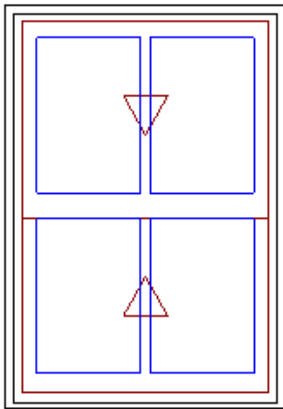


As Viewed From The Exterior

Stone White Exterior	
White Interior	56.33
Elevate Casement - Stationary	273.14
CN 2935	
Rough Opening 29" X 35 5/8"	
Stone White Exterior	
White Interior	
IG	
Low E2 w/Argon	
Stainless Perimeter and Spacer Bar	
7/8" SDL - With Spacer Bar - Stainless	74.02
Rectangular - Special Cut 2W2H	
Stone White Ext - White Int	
6 9/16" Jamb	24.89
Jamb Extension from 4 9/16" to 6 9/16"	
Nailing Fin	
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.	
***Note: Unit Availability and Price is Subject to Change	

Entered As: CN
 FS 28" X 35 1/8"
 RO 29" X 35 5/8"

Line #3	Mark Unit: C TEMP	Net Price:	533.83
Qty: 1		Ext. Net Price:	533.83
		USD	

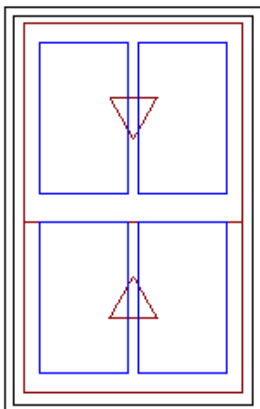


As Viewed From The Exterior

Entered As: CN
 FS 25 1/2" X 35 3/4"
 RO 26 1/2" X 36 1/4"

Stone White Exterior
 White Interior 56.33
 Elevate Double Hung 279.68
 CN 2636
 Rough Opening 26 1/2" X 36 1/4"
 Glass Add For All Sash 70.08
 Top Sash
 Stone White Exterior
 White Interior
 IG
 Tempered Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Special Cut 2W1H
 Stone White Ext - White Int
 Bottom Sash
 Stone White Exterior
 White Interior
 IG
 Tempered Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Standard Cut 2W1H
 Stone White Ext - White Int
 White Weather Strip Package
 White Sash Lock
 Exterior Aluminum Screen 13.10
 Stone White Surround
 Charcoal Fiberglass Mesh
 6 9/16" Jamb 39.96
 Jamb Extension from 4 9/16" to 6 9/16"
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the
 OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: D	Net Price:	563.32
Qty: 2		Ext. Net Price:	1,126.64
		USD	



As Viewed From The Exterior

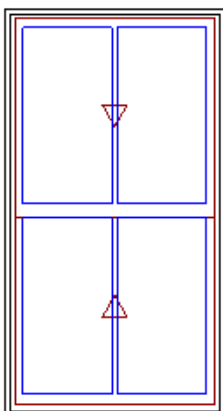
Entered As: CN x RO
 FS 21 1/2" X 33"

Stone White Exterior
 White Interior 56.33
 Elevate Double Hung 373.35
 CN 22 X Rough Opening 33 1/2"
 Rough Opening 22 1/2" X 33 1/2"
 Top Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Special Cut 2W1H
 Stone White Ext - White Int
 Bottom Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Special Cut 2W1H

RO 22 1/2" X 33 1/2"

Stone White Ext - White Int
 White Weather Strip Package
 White Sash Lock
 Exterior Aluminum Screen 19.00
 Stone White Surround
 Charcoal Fiberglass Mesh
 6 9/16" Jamb 39.96
 Jamb Extension from 4 9/16" to 6 9/16"
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the
 OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit: E EGRESS	Net Price:	634.06
Qty: 4		Ext. Net Price:	2,536.24
		USD	



As Viewed From The Exterior

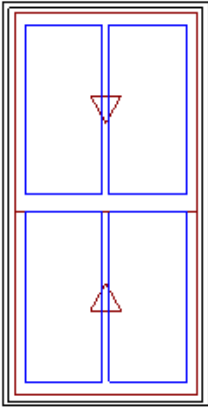
Entered As: CN
 FS 35 1/2" X 63 3/4"
 RO 36 1/2" X 64 1/4"

Stone White Exterior
 White Interior 56.33
 Elevate Double Hung 441.47
 CN 3664
 Rough Opening 36 1/2" X 64 1/4"
 Top Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Special Cut 2W1H
 Stone White Ext - White Int
 Bottom Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Standard Cut 2W1H
 Stone White Ext - White Int
 White Weather Strip Package
 White Sash Lock
 Exterior Aluminum Screen 21.62
 Stone White Surround
 Charcoal Fiberglass Mesh
 6 9/16" Jamb 39.96
 Jamb Extension from 4 9/16" to 6 9/16"
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the
 OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #6	Mark Unit: F	Net Price:	640.60
Qty: 3		Ext. Net Price:	1,921.80
		USD	



Stone White Exterior
 White Interior 56.33
 Elevate Double Hung 444.09
 Rough Opening 28" X Call Number 52
 Rough Opening 28" X 52 1/4"
 Top Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Special Cut 2W1H
 Stone White Ext - White Int

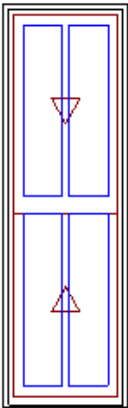


As Viewed From The Exterior

Entered As: RO x CN
 FS 27" X 51 3/4"
 RO 28" X 52 1/4"

- Bottom Sash
 - Stone White Exterior
 - White Interior
 - IG
 - Low E2 w/Argon
 - Stainless Perimeter and Spacer Bar
 - 7/8" SDL - With Spacer Bar - Stainless..... 37.34
 - Rectangular - Special Cut 2W1H
 - Stone White Ext - White Int
 - White Weather Strip Package
 - White Sash Lock
 - Exterior Aluminum Screen..... 25.54
 - Stone White Surround
 - Charcoal Fiberglass Mesh
 - 6 9/16" Jamb..... 39.96
 - Jamb Extension from 4 9/16" to 6 9/16"
 - Nailing Fin
- ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #7	Mark Unit: G	Net Price:		611.78
Qty: 4		Ext. Net Price:	USD	2,447.12



As Viewed From The Exterior

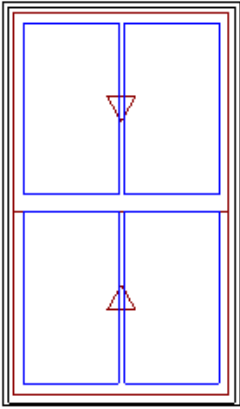
Entered As: RO
 FS 17 3/4" X 55 3/4"
 RO 18 3/4" X 56 1/4"

- Stone White Exterior
 - White Interior..... 56.33
 - Elevate Double Hung..... 417.89
 - Rough Opening 18 3/4" X 56 1/4"
 - Standard CN Height 56
 - Top Sash
 - Stone White Exterior
 - White Interior
 - IG
 - Low E2 w/Argon
 - Stainless Perimeter and Spacer Bar
 - 7/8" SDL - With Spacer Bar - Stainless..... 37.34
 - Rectangular - Special Cut 2W1H
 - Stone White Ext - White Int
 - Bottom Sash
 - Stone White Exterior
 - White Interior
 - IG
 - Low E2 w/Argon
 - Stainless Perimeter and Spacer Bar
 - 7/8" SDL - With Spacer Bar - Stainless..... 37.34
 - Rectangular - Special Cut 2W1H
 - Stone White Ext - White Int
 - White Weather Strip Package
 - White Sash Lock
 - Exterior Aluminum Screen..... 22.92
 - Stone White Surround
 - Charcoal Fiberglass Mesh
 - 6 9/16" Jamb..... 39.96
 - Jamb Extension from 4 9/16" to 6 9/16"
 - Nailing Fin
- ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #8	Mark Unit: H	Net Price:		573.14
Qty: 2		Ext. Net Price:	USD	1,146.28



- Stone White Exterior
- White Interior..... 56.33
- Elevate Double Hung..... 382.52
- CN 3456
- Rough Opening 34 1/2" X 56 1/4"

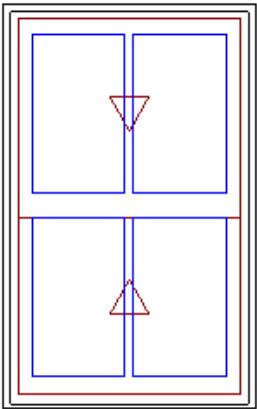


As Viewed From The Exterior

Entered As: CN
 FS 33 1/2" X 55 3/4"
 RO 34 1/2" X 56 1/4"

Top Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Special Cut 2W1H
 Stone White Ext - White Int
 Bottom Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Standard Cut 2W1H
 Stone White Ext - White Int
 White Weather Strip Package
 White Sash Lock
 Exterior Aluminum Screen 19.65
 Stone White Surround
 Charcoal Fiberglass Mesh
 6 9/16" Jamb 39.96
 Jamb Extension from 4 9/16" to 6 9/16"
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the
 OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #9	Mark Unit: J	Net Price:		472.27
Qty: 2		Ext. Net Price:	USD	944.54



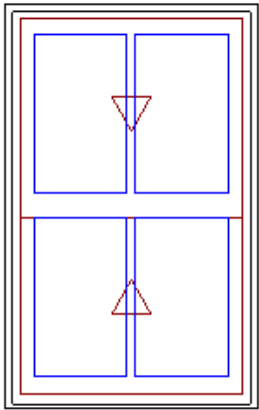
As Viewed From The Exterior

Entered As: CN
 FS 25 1/2" X 39 3/4"
 RO 26 1/2" X 40 1/4"

Stone White Exterior
 White Interior 56.33
 Elevate Double Hung 285.58
 CN 2640
 Rough Opening 26 1/2" X 40 1/4"
 Top Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Special Cut 2W1H
 Stone White Ext - White Int
 Bottom Sash
 Stone White Exterior
 White Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Standard Cut 2W1H
 Stone White Ext - White Int
 White Weather Strip Package
 White Sash Lock
 Exterior Aluminum Screen 15.72
 Stone White Surround
 Charcoal Fiberglass Mesh
 6 9/16" Jamb 39.96
 Jamb Extension from 4 9/16" to 6 9/16"
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the
 OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #10	Mark Unit: J TEMP	Net Price:		550.21
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Qty: 1		Ext. Net Price:	USD	550.21
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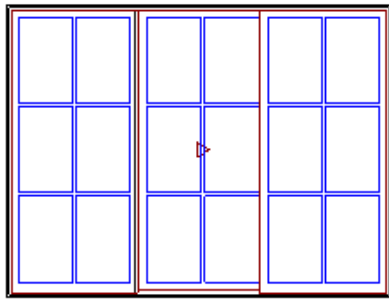


As Viewed From The Exterior

Entered As: CN
 FS 25 1/2" X 39 3/4"
 RO 26 1/2" X 40 1/4"

Stone White Exterior
 White Interior 56.33
 Elevate Double Hung 285.58
 CN 2640
 Rough Opening 26 1/2" X 40 1/4"
 Glass Add For All Sash 77.94
 Top Sash
 Stone White Exterior
 White Interior
 IG
 Tempered Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Special Cut 2W1H
 Stone White Ext - White Int
 Bottom Sash
 Stone White Exterior
 White Interior
 IG
 Tempered Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 37.34
 Rectangular - Standard Cut 2W1H
 Stone White Ext - White Int
 White Weather Strip Package
 White Sash Lock
 Exterior Aluminum Screen 15.72
 Stone White Surround
 Charcoal Fiberglass Mesh
 6 9/16" Jamb 39.96
 Jamb Extension from 4 9/16" to 6 9/16"
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the
 OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #11	Mark Unit: 107A-208A	Net Price:		4,687.17
Qty: 2		Ext. Net Price:	USD	9,374.34



Stationary Primary Stationary
 As Viewed From The Exterior

Entered As: RO x CN
 FS 107 5/16" X 79 1/2"
 RO 108 5/16" X 80"

Stone White Exterior
 White Interior 306.54
 Elevate Sliding Patio Door OXO Right Hand 3,537.00
 Rough Opening 108 5/16" X Call Number 65
 Rough Opening 108 5/16" X 80"
 **Operator Panels Ship Separate
 Left Panel
 Stone White Exterior
 White Interior
 IG
 Tempered Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 132.96
 Rectangular - Special Cut 2W3H
 Stone White Ext - White Int
 Center Panel
 Stone White Exterior
 White Interior
 IG
 Tempered Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 132.96
 Rectangular - Special Cut 2W3H
 Stone White Ext - White Int
 Right Panel
 Stone White Exterior
 White Interior
 IG
 Tempered Low E2 w/Argon

Stainless Perimeter and Spacer Bar	
7/8" SDL - With Spacer Bar - Stainless	132.96
Rectangular - Special Cut 2W3H	
Stone White Ext - White Int	
White Interior Weather Strip Package	
Cambridge Handle Satin Nickel PVD Exterior Primary Handle Set	85.15
Cambridge Handle Satin Nickel PVD Interior Primary Handle Set	85.15
Exterior Sliding Screen	191.92
Stone White Surround	
Charcoal Fiberglass Mesh	
***Screen/Combo Ship Loose	
Beige Ultrex Sill / Beige Weather Strip	
6 9/16" Jamb	82.53
Jamb Extension from 4 9/16" to 6 9/16"	

Nailing Fin

***Note: Divided lite cut alignment may not be accurately represented in the
OMS drawing. Please consult your local representative for exact specifications.

***Note: Unit Availability and Price is Subject to Change

Project Subtotal Net Price: USD	26,033.48
0.000% Sales Tax: USD	0.00
Project Total Net Price: USD	26,033.48

TERMS AND CONDITIONS

We would like to take this opportunity to thank you for your order. This order is being made specifically for you and to your exacting specifications. In order to provide you with the best service possible and most rewarding experience, we would like to make you aware of, and be sure you have confirmed, a few items.

1. Please make sure that we take the time to review your entire order with you, verifying quantities, specifications, layout, special requirements, etc. Once your special order has been placed, it cannot be cancelled or revised.
2. Any returns of special-order items are subject to the return charges and policies of the specific manufacturer and are NOT returnable to Millwork Masters until such return is pre-authorized by the manufacturer or management of Millwork Masters. Set up units and specially manufactured items are NOT returnable.
3. You agree to adhere to all installation instructions and warranty information.
4. You have an option of three (3) payment terms (circle the appropriate letter):
 - a. ALL ORDERS \$3,500.00 AND BELOW ARE TO BE PAID IN FULL PRIOR TO ORDER PLACEMENT. A minimum 50% deposit is required on ALL special orders over \$3,500.00. An invoice will be sent to you for the balance in full upon the products receipt into our Distribution Center. Delivery must be accepted within seven (7) days. PAYMENT MUST BE RECEIVED IN FULL PRIOR TO DELIVERY. NO EXCEPTIONS.
 - b. Payment in full upon order placement. If the order is paid in full at the point of order, you will be notified by phone when your order has been received at our Distribution Center. We will hold the order up to a maximum of fourteen (14) days with this payment option. Orders not delivered within this timeframe are subject to storage charges.
 - c. An open, approved in-store, charge account subject to the stated terms and conditions set forth therein.
 - d. NOTE: All checks are to be made payable to Woodbury Supply Co., Inc., our parent company.
5. Product delivery to the local area will incur a \$15.00 service fee. Additional delivery and storage charges may apply to your order. Please make sure we explain our delivery and storage fee policy clearly. We hope that this clears up any questions that you may have. Once you have reviewed and understand this, we ask that you sign below. Your signature is required before we can place your special order. Thank you for your order and your patronage. May you realize many years of enjoyment from our fine family of products.

Authorized buyer signature: _____

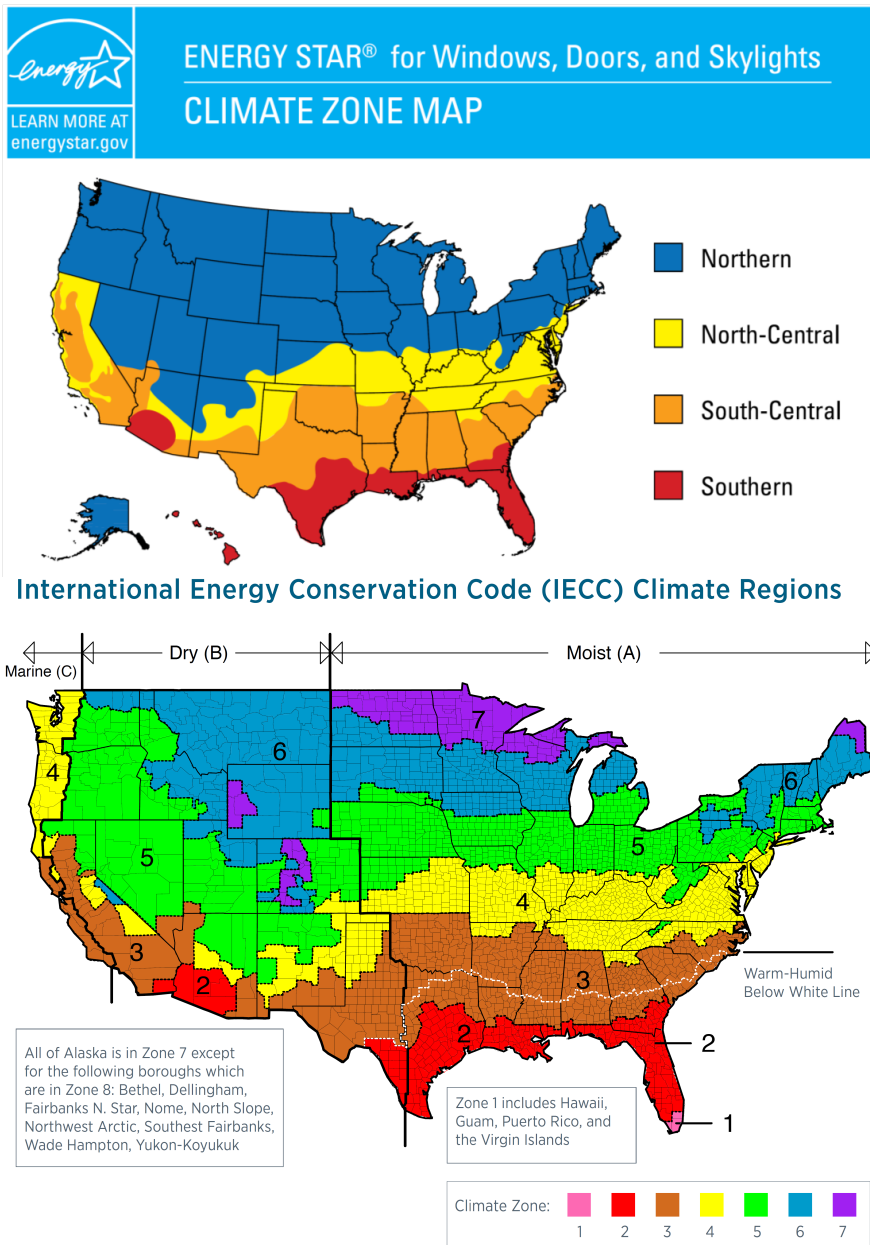
Date:

PRODUCT AND PERFORMANCE INFORMATION

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see www.nfrc.org.

Review the map below to determine if your units meet ENERGY STAR for your location.



PURCHASE APPROVAL/SIGN OFF

Project Subtotal Net Price: USD 26,033.48
0.000% Sales Tax: USD 0.00
Project Total Net Price: USD 26,033.48

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

Seller: _____

Buyer: _____

11. 49 Mt. Vernon Street

- Recommended Approval

Background: The applicant is seeking approval for a cable rail assembly for the front porch to mimic the style already approved for the rear deck railings.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-312

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 07, 2021

Applicant

Matthew Beebe
matthewdbeebe@comcast.net
81 Lincoln Ave
Portsmouth, NH 03801
603-234-7398

Location

49 MT VERNON ST
Portsmouth, NH 03801

Owner:

SPEAR ERIC A & SPEAR JEAN CM
49 MT VERNON ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Provide cable rail assembly at front porch adjacent to landscaped wall to mimic railing details previously approved by HDC for rear deck railings...

Description of Proposed Work (Planning Staff)

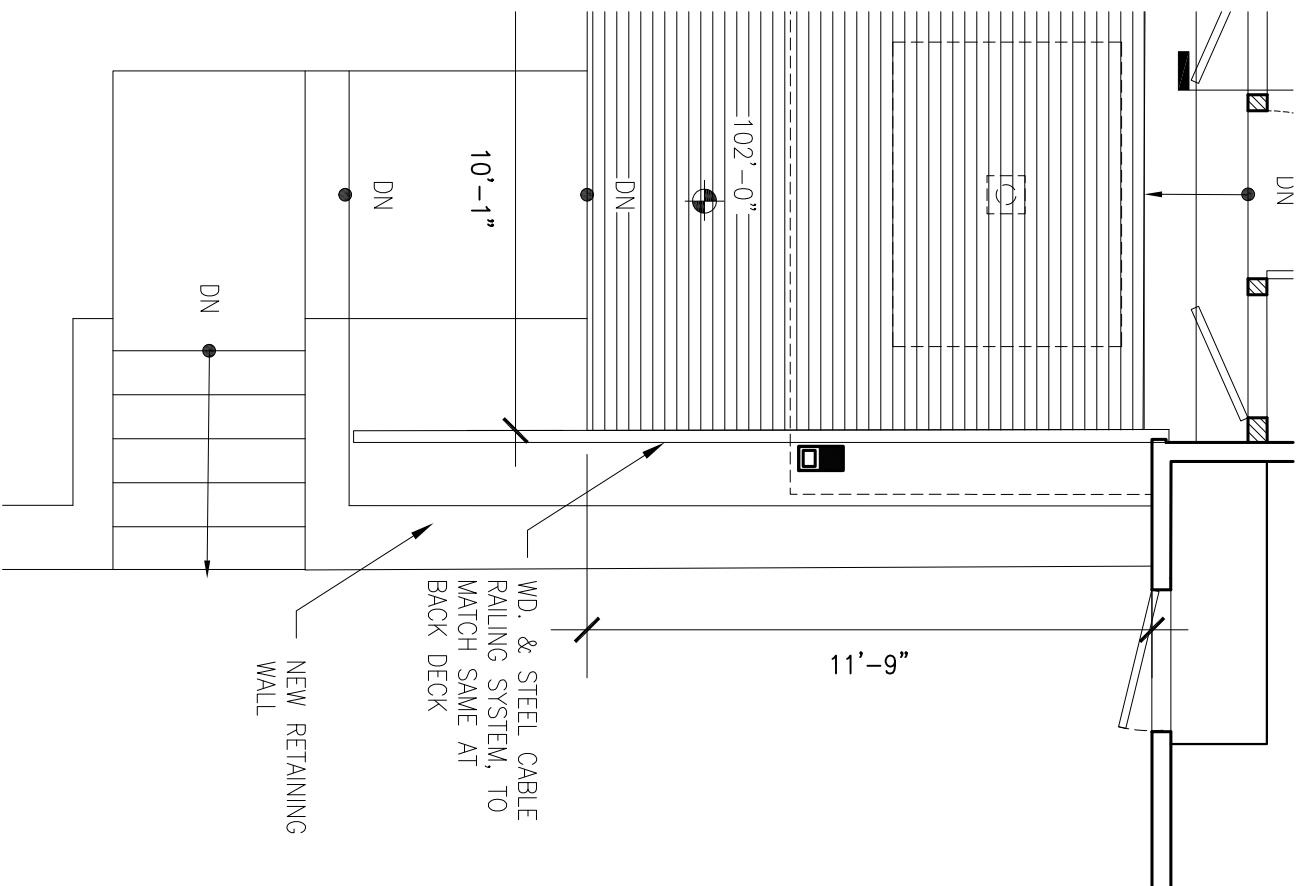
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Project Representatives

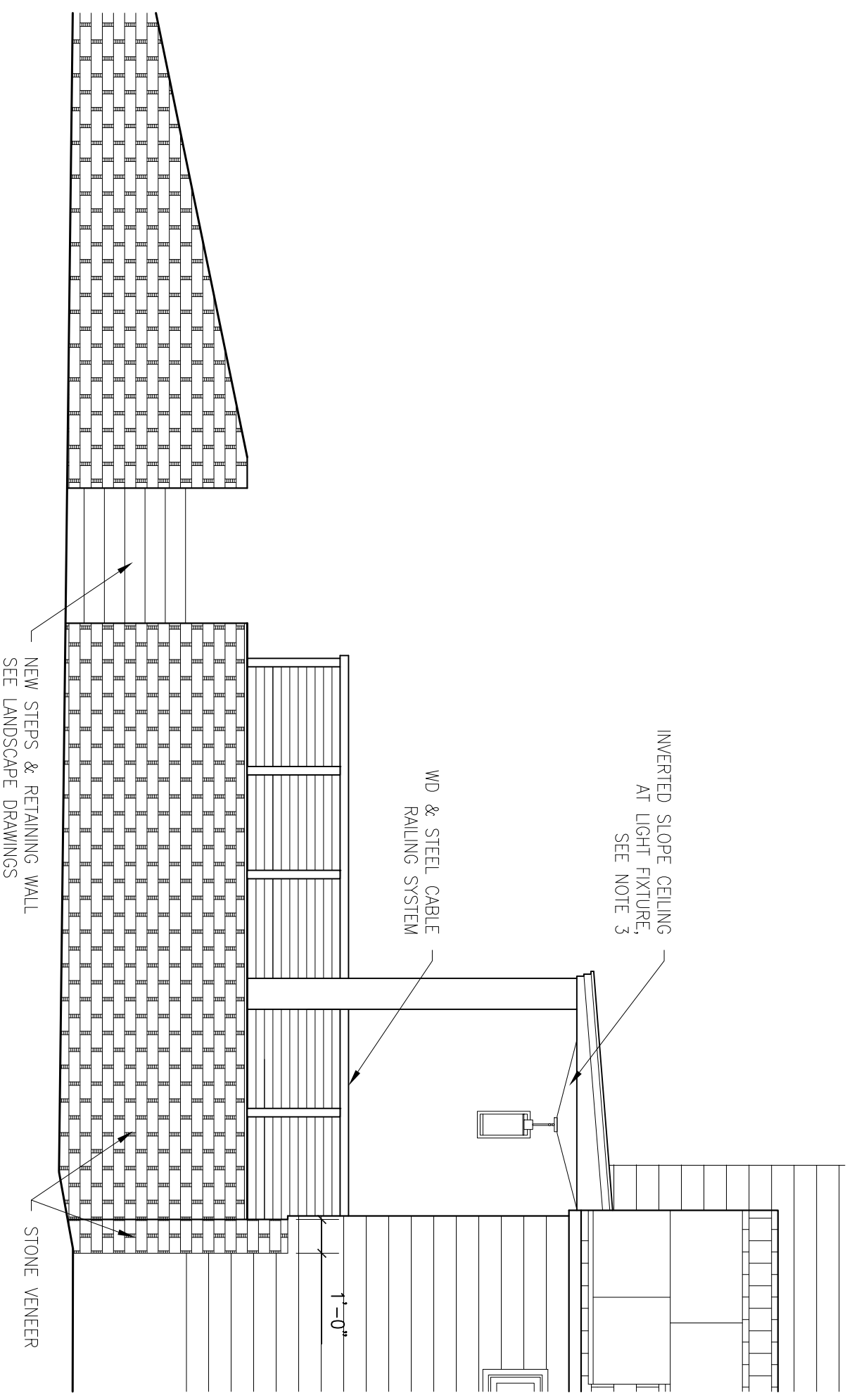
Relationship to Project

--

If you selected "Other", please state relationship to project.



01 FIRST FLOOR PLAN DETAIL
SCALE 1/4" = 1'-0"



02 SOUTH DET. ELEV. AT GUARDRAIL
SCALE 1/4" = 1'-0"

12. 405 Pleasant Street

- Recommended Approval

Background: The applicant is seeking approval to replace an existing door from the kitchen to the rear yard.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-313

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 07, 2021

Applicant

James Martin
jamieandchris@comcast.net
405 Pleasant St.
Portsmouth, NH 03801
6034981970

Location

405 PLEASANT ST
Portsmouth, NH 03801

Owner:

MARTIN JAMES & MARTIN CHRISTINE
405 PLEASANT ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Replace exterior door from kitchen to backyard

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor

EXTERIOR DOOR REPLACEMENT – 405 Pleasant St., Portsmouth

Current door (single pane glass- uninsulating and drafty)



Not visible from road

We'd like to choose one of the below two styles if can get approval. Door and threshold will both be wood. From **RICCI Lumber (Jon Cherry)**

Simpson Exterior Wood Doors **BOSCO**

PERFORMANCE SERIES FIR DOORS – 1 1/4" Thick

- UltraBlock™ technology eliminates rot
- Weather Seal™ process minimizes Stile and Rail separation
- 5-Year Warranty
- Performance Series

7/8" BAR SIMULATED DIVIDED LIGHTS

1 1/8" Innerbond Split-Proof Raised Panels
1/4" Low-E Argon Insulating Glass

Doors over 2'-0" width have 5/16" wide Stiles

3/4" Insulating Glass

F-7002U 2'-0", 2'-6", 2'-8", 3'-0" x 6'-8" 3'-0" x 7'-0"	F-37010U 2'-0" x 6'-8"	F-37015U 2'-6", 2'-8", 3'-0" x 6'-8" 3'-0" x 7'-0"	F-37109U 2'-0", 2'-6", 3'-0" x 6'-8" (2'-0" x 6'11")
←			
F-37506U 2'-6", 2'-8", 3'-0" x 6'-8"	F-37512U 2'-6", 2'-8", 3'-0" x 6'-8"	F-37944U 2'-6", 2'-8", 3'-0" x 6'-8" 3'-0" x 7'-0"	F-37120U 2'-8", 3'-0" x 6'-8" 3'-0" x 7'-0"
←			

F-37120 Glass and Panels do not align

Door Location:

City of Portsmouth, NH

Property

Zoom To Share Print Property Quick Search

Q Search Selection Themes Markup Q Search

Refine Search

Download Results More

Showing 1-1 results. Scroll to see more.

405 PLEASANT ST
MARTIN JAMES
0102-0068-0000

13. 14 Mechanic Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (storm doors, brick veneer on the foundation, and new exposure depth for the shingle siding).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/09/2021

LUHD-314

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 08, 2021

Applicant

Josh Butkus
kscannell@destefanomaugel.com
22 ladd st
portsmouth, NH 03801
2034000802

Location

14 MECHANIC ST
Portsmouth, NH 03801

Owner:

ROESE JOHN J REVOCABLE TRUST OF 2016
& ROESE JOHN JOSEPH TRUSTEE
55 ELM ST EFFINGHAM, NH 03882

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

We are seeking administrative approval for revisions to the previously approved storm doors, the addition of brick veneer at the foundation and an updated exposure depth of the shingle siding.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.



Danville Narrow Flashed Range Matte

MORIN DANVILLE MATTE NARROW RANGE THIN BRICK VENEER.



PREVIOUSLY APPROVED FRONT ELEVATION (2)
1/8" = 1'-0"

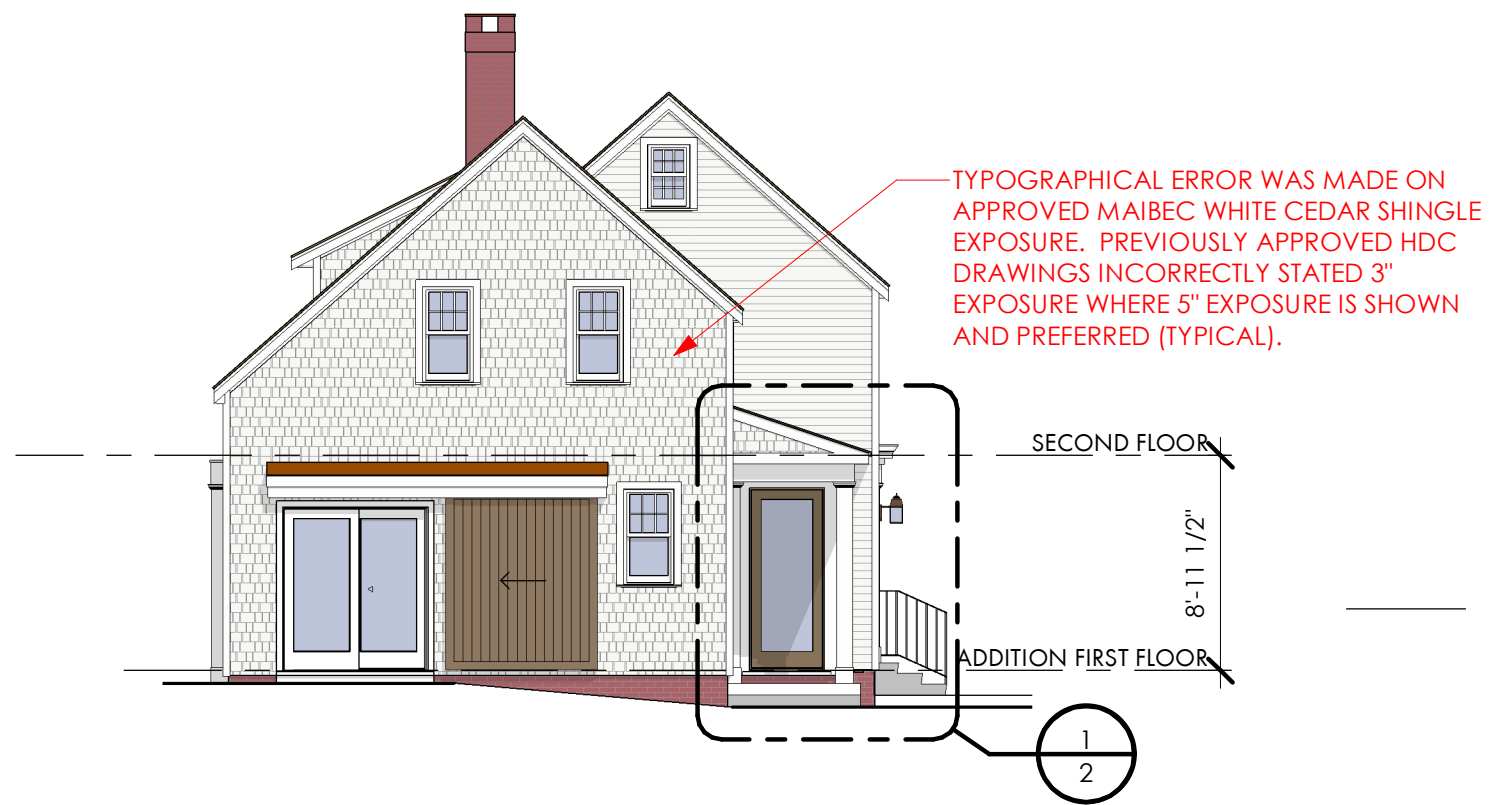
PROPOSED FRONT ELEVATION (1)
1/8" = 1'-0"

COPELAND RESIDENCE
14 MECHANIC STREET
PORTSMOUTH, NH

PREVIOUSLY APPROVED AND PROPOSED ELEVATIONS
1/8" = 1'-0"

SHEET 1 OF 3
APRIL 14, 2021

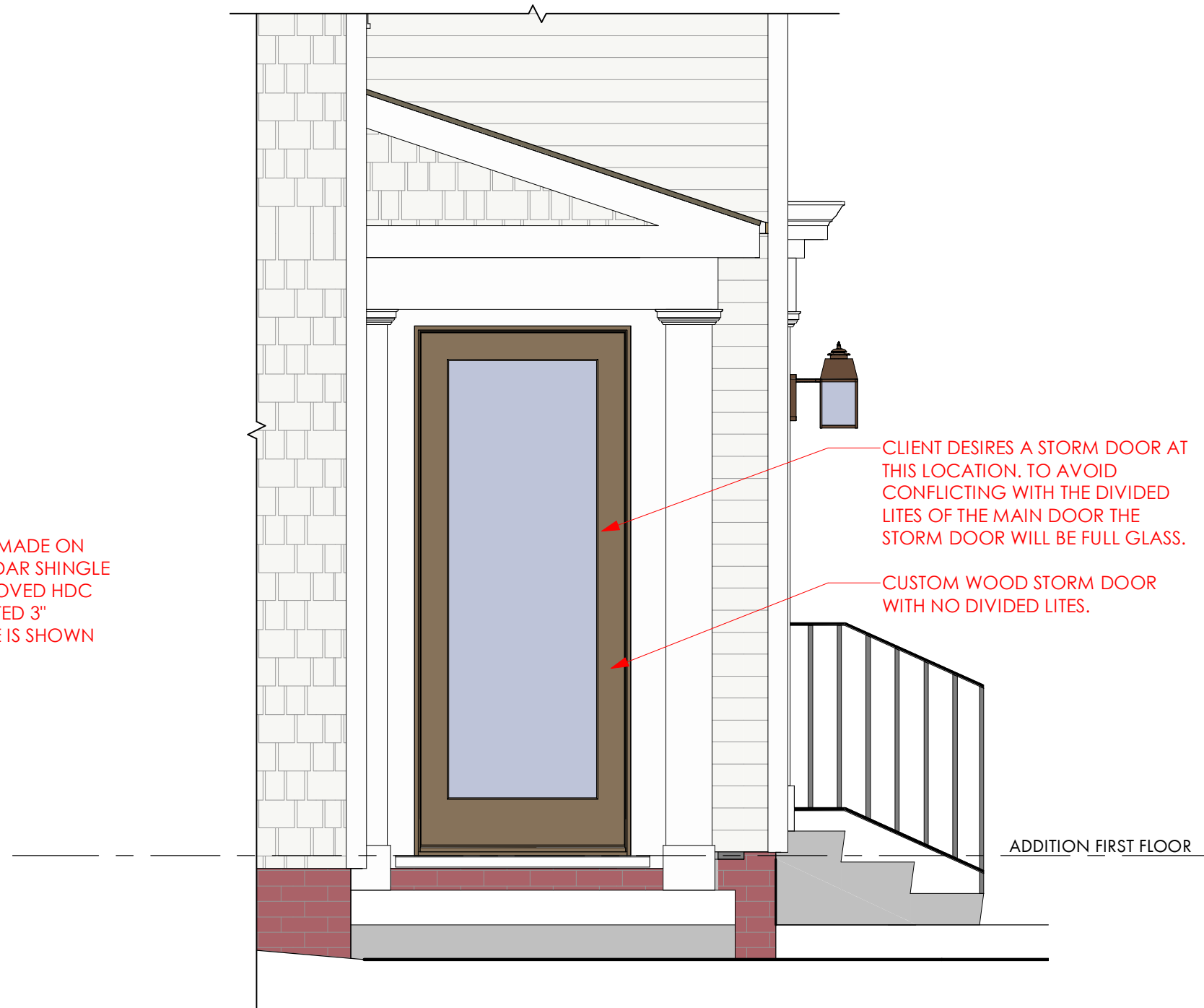




PROPOSED EAST ELEVATION

1/8" = 1'-0"

2



ENLARGED ELEVATION AT EAST ELEVATION SIDE ENTRY

1/2" = 1'-0"

1

COPELAND RESIDENCE

14 MECHANIC STREET
PORTSMOUTH, NH

NEWLY PROPOSED EAST ELEVATIONS

As indicated

SHEET 2 OF 3

APRIL 14, 2021



© 2021



PREVIOUSLY APPROVED STORM DOOR AT ENTRY (2)
 1/2" = 1'-0"



PROPOSED STORM DOOR AT ENTRY (1)
 1/2" = 1'-0"

14. 229 Pleasant Street, Unit #2 - Recommended Approval

Background: The applicant is seeking approval for the installation of mechanical equipment (HVAC Condenser with screening).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/01/2021

LUHD-289

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Mar 11, 2021

Applicant

Hart Plumbing & Heating, Inc.
hartplumbing@comcast.net
PO Box 687
Portsmouth, NH 03802-0687
603-431-8688

Location

229 PLEASANT ST Unit 2
Unit 2
Portsmouth, NH 03801

Owner:

BRODE ALEXIS K
229 PLEASANT ST UNIT #2 PORTSMOUTH,
NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Install mini splits

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.



*Pulled Permit 11/3/20
Uploaded GTS calc &
HEAT LOSS to permit
11-12-20*

P.O. BOX 687 • Portsmouth, NH 03802-0687
(603) 431-8688

October 30, 2020

Alexis Brode
229 Pleasant St. Unit 2
Portsmouth, NH 03801

RE: Mini Split Quote

Dear Alexis:

We propose to furnish and install the following mini split system:

- LG LAM127HVP Picture frame head for living room
- LG MLMN079HUT head for master bedroom
- LG LSN120HSV5 head for office area
- Line sets to be run up the side of the building and condenser to be located on left side of building (Line set covering to be tan)

TOTAL QUOTE:

\$ 12,750.00

NOTES:

1. Our electrician gave us a budget price of \$800.00 for power wiring (not included in our quote)
2. Approval needed by Condominium Association and Historic District Office *(attached)*
3. LG has a full 12-year warranty on all parts (Being an LG Excellence contractor)

OPTION:

- To run gas to existing fireplace place on second floor, pipe to be run along side of line set covering

TOTAL QUOTE:

\$ 2,500.00

NOTE: Chimney will need to be inspected before gas line is run

Terms and Conditions:

- All parts and labor, as specified in this proposal, are covered under warranty by Hart Plumbing and Heating, Inc. for a period of (1) one year. All work will be completed in a professional and workman like manner.
- This proposal is only good for thirty (30) days and a signed and dated copy must be returned to Hart Plumbing & Heating for this proposal to be considered valid. We reserve the right to withdraw this proposal any time prior to acceptance.
- If payment in full is not received within 10 days of the date of the invoices, interest will accrue at the rate of 1.5% per month on the unpaid balance. All accounts will be submitted to collections if payment has not been received sixty (60) days following invoicing, and customer agrees that they shall be responsible for all costs of collections including, but not limited to, attorney's fees and cost.

All proposals must be signed, dated and returned to Hart Plumbing & Heating, Inc. in order to be considered valid.

Authorized By: 
Robert C. Hart Jr., President

Date: 10/30/20

Accepted By: 
Customer

Date: 11/2/20

Haven White Condo Association Meeting Minutes
October 31, 2020 – 10:00 AM
(recorded by Brigitte Bailey)

Present on Zoom:

Briggs Bailey, Alexis Brode, Donald Koleman, Irv Canner, Vickie Canner, Judith Castle, Bill Castle.

Bylaws

The purpose of the meeting was to vote on the revised bylaws, now brought into compliance with current NH laws by the law firm of Shaines & McEachern.

After Irv called the meeting to order, we proposed 2 more revisions:

1. Vickie called our attention to the gendered language describing officers on p. 11. We will ask the law firm to update this language to current practice, which is to render the language gender neutral. However, if the firm insists on being paid to do so, we will withdraw that request.
2. The document says that our budget cycle is Jan 1 to Dec 31. We will request that it be changed to July 1 to June 31, as that is our practice, one that works for our association.

Briggs moved that we accept the bylaws as amended (that is, with the budget cycle dates amended).

Motion passed.

Briggs, as secretary, will follow through with Shaines & McEachern.

Repairs and renovation plans

Briggs mentioned that the Palladian window on the landing of the shared staircase has developed 2 problems: a window pane is pulling loose, and the woodwork over one of the window sections leaks considerably in heavy rains. She will contact Mike Goodwin for suggestions for people to do this work—and, finally, the minor roof leak—and get estimates.

Vickie mentioned that there is some wood rot in a window frame (I think) in #4, but this can wait until next year.

Alexis wants to improve her condo unit in 2 ways: by adding the same type of AC the Castles now have (contractor will comply with Historic District regulations) and by installing a gas fireplace. Bill asked if there would be plantings to screen the AC unit; yes, there will be plantings. The Castles and Canners gave advice on their experiences with installing gas fireplaces in units 1 and 4. Everyone was fine with Alexis's moving ahead with these plans.

We all agreed that the brick sidewalk repairs at #4 were well done.

Grounds

Irv said that Mike Tappan, who will plow the snow this year, will also shovel around each entry way, will shovel the path to the trash bins, and will salt walkways. Pricing depends on depth of snow. After the meeting Vickie sent us all Mike's contact information.

Bill said that the gardeners will return for further fall clean up and that they are aware of what's left in the budget.

Geri Hart

From: Alexis Brode <akbrode@gmail.com>
Sent: Wednesday, January 6, 2021 3:53 PM
To: Geri Hart
Subject: Authorization for administration approval application

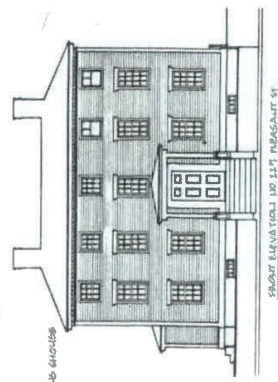
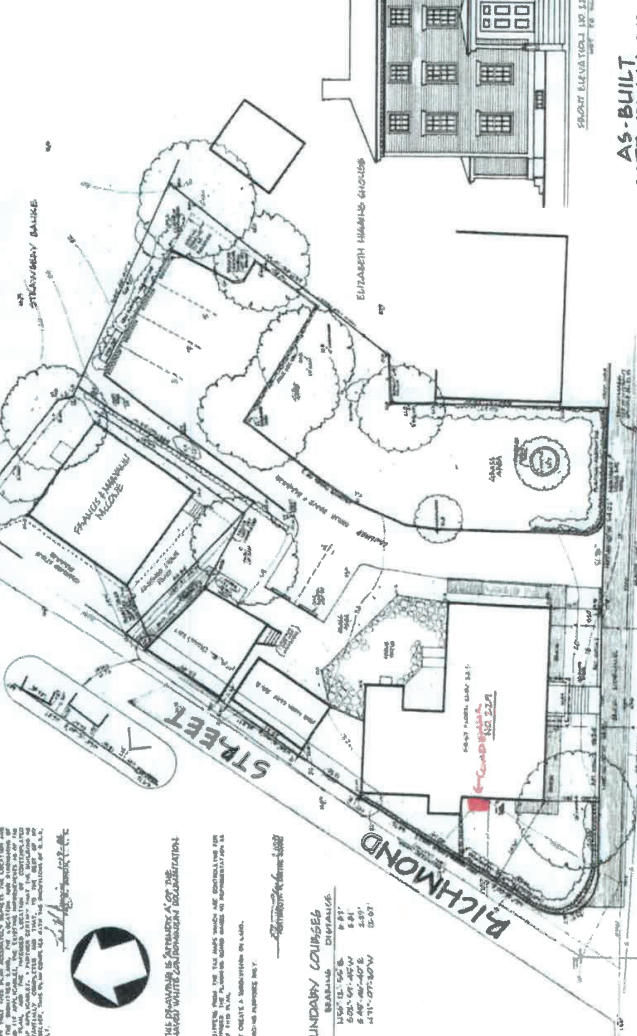
To Historic District Commission,

I hereby give my authorization to Hart Plumbing and Heating to submit my application to the Historic District Commission on my behalf. Please contact me directly with any questions. Thanks so much.

Best,
Alexis Brode

J O H N M O U R G I N A S S O C I A T E S , I N C .
 215 S.W. 33rd Ave. Ft. Lauderdale, Fla. 33309
 P L A N N O . 1 5 7 1 4 - 5 0 P T

THE INFORMATION ON THIS PLAN IS BASED ON THE FOLLOWING:
 1. SURVEY OF THE PROPERTY.
 2. RECORD DEEDS.
 3. RECORD PLATS.
 4. RECORD MAPS.
 5. RECORD SURVEYS.
 6. RECORD EASEMENTS.
 7. RECORD ENCUMBRANCES.
 8. RECORD UTILITIES.
 9. RECORD ZONING ORDINANCES.
 10. RECORD CITY RECORDS.



AS-BUILT
 SITE PLAN OF
 HAVEN WHITE RESIDENCES
 PORTSMOUTH, N.H.
 SCALE: 1 INCH = 10 FEET
 MARCH 1978



NOTE: THIS DRAWING IS A SUMMARY OF THE
 FULLY DEVELOPED SITE PLAN SUBMITTED FOR
 RECORD AND IS NOT TO BE USED FOR CONSTRUCTION.



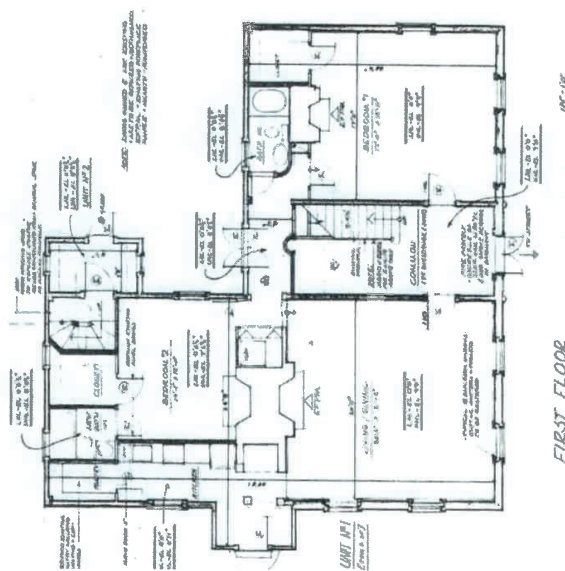
NOT TO SCALE
 ALL DIMENSIONS ARE IN FEET AND INCHES
 UNLESS OTHERWISE SPECIFIED
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED

LINE	BEARING	DISTANCE
L1	N 89° 15' 00" W	15.00'
L2	S 89° 15' 00" E	15.00'
L3	N 01° 15' 00" W	15.00'
L4	S 01° 15' 00" E	15.00'

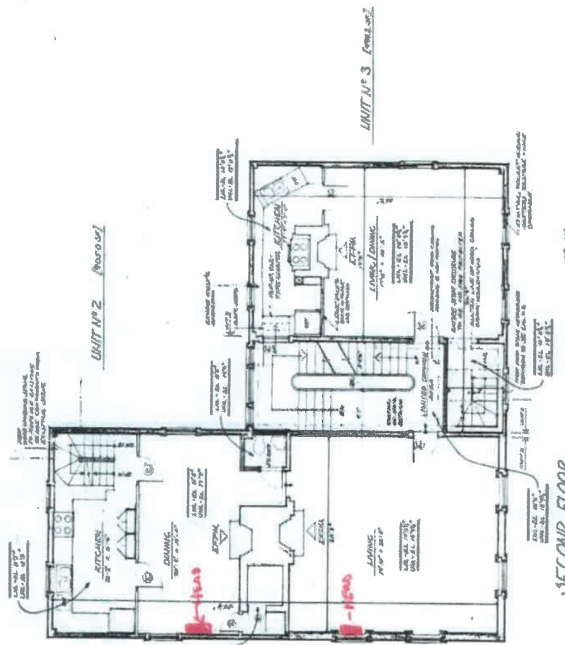
LOT AREA 15,714.50 SF
 D-12122



80 / 100



FIRST FLOOR



SECOND FLOOR

GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND NOT TO BE MOVED OR ALTERED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.

ARCHITECT	
JACQUES SCHWABER ARCHITECTS	
1000 AVENUE OF THE STARS, SUITE 1000 WASHINGTON, DC 20004	
TEL: (202) 462-1234 FAX: (202) 462-5678	
WWW.JSCHWABER.COM	
DATE: 05/15/2020	
PROJECT: PHASE 2 SECOND FLOOR PLAN	
SHEET: A OF 3	
DRAWN BY: [Name]	
CHECKED BY: [Name]	
SCALE: AS SHOWN	

D-12220



412 FLOOR PLAN	ENCLOSURE	2	DATE: 05/20/21	DRAWN: ZACHARY	CHECKED: [blank]
HISTORIC DISTRICT COMMISSION	ADMINISTRATIVE APPROVAL MAY 2020	412 ISLINGTON STREET PORTSMOUTH, NH 03801			

412 FLOOR PLAN PREVIOUS V. APPROVED

CEILING SCREEN PER LAST ENCLOSURE WITH 2 GATE, SAME AS PREVIOUSLY APPROVED MECHANICAL SCREEN AT 412 & 412.

1 SCREEN ELEV. 10' x 6'0"

3/4" x 4" CEDAR CAP W/ CLR. FINISH

8" x 8"

1/4" x 3/4" CEDAR BOARD CLR. FINISH OVER 2x4'S

3/4" x 3/4" CEDAR BOARD WITH CLR. FINISH

2 SCREEN SECT. 7' x 6'0"

3/4" x 3/4" CEDAR CAP W/ CLR. FINISH

2x FRAMING

1/4" x 3/4" CEDAR BOARD CLR. FINISH WITH CLR. FINISH

3/4" x 3/4" CEDAR BOARD BEYOND 1/4" POST BEYOND

1/4" x 3/4" CEDAR BOARD WITH CLR. FINISH

2x FRAMING

3/4" x 3/4" CEDAR CAP W/ CLR. FINISH

EXAMPLE OF A SIMILAR SCREEN

An Example of Appropriate Screening for Mechanical Equipment in the Portsmouth Historic District

15. 16 Porter Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of a radon mitigation system.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/01/2021

LUHD-270

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 02, 2021

Applicant

Charles Wu
cwu@baynorthcapital.com
16 Porter Street
Portsmouth, NH 03801
6178617758

Location

16 PORTER ST
Portsmouth, NH 03801

Owner:

Porter Street Condo Association
11 Court Street Exeter, New Hampshire 03833

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Radon mitigation system installation on the exterior wall up to the roofline. Top of mitigation system will extend 12-18" above roofline where gutter is located. Contractor will run 3" Schedule 40 pipe up the side of the building to first roof line. They will then completely cover system with copper coated channel shown in the first picture. The existing gutters and downspouts are also copper, although tarnished over many years.

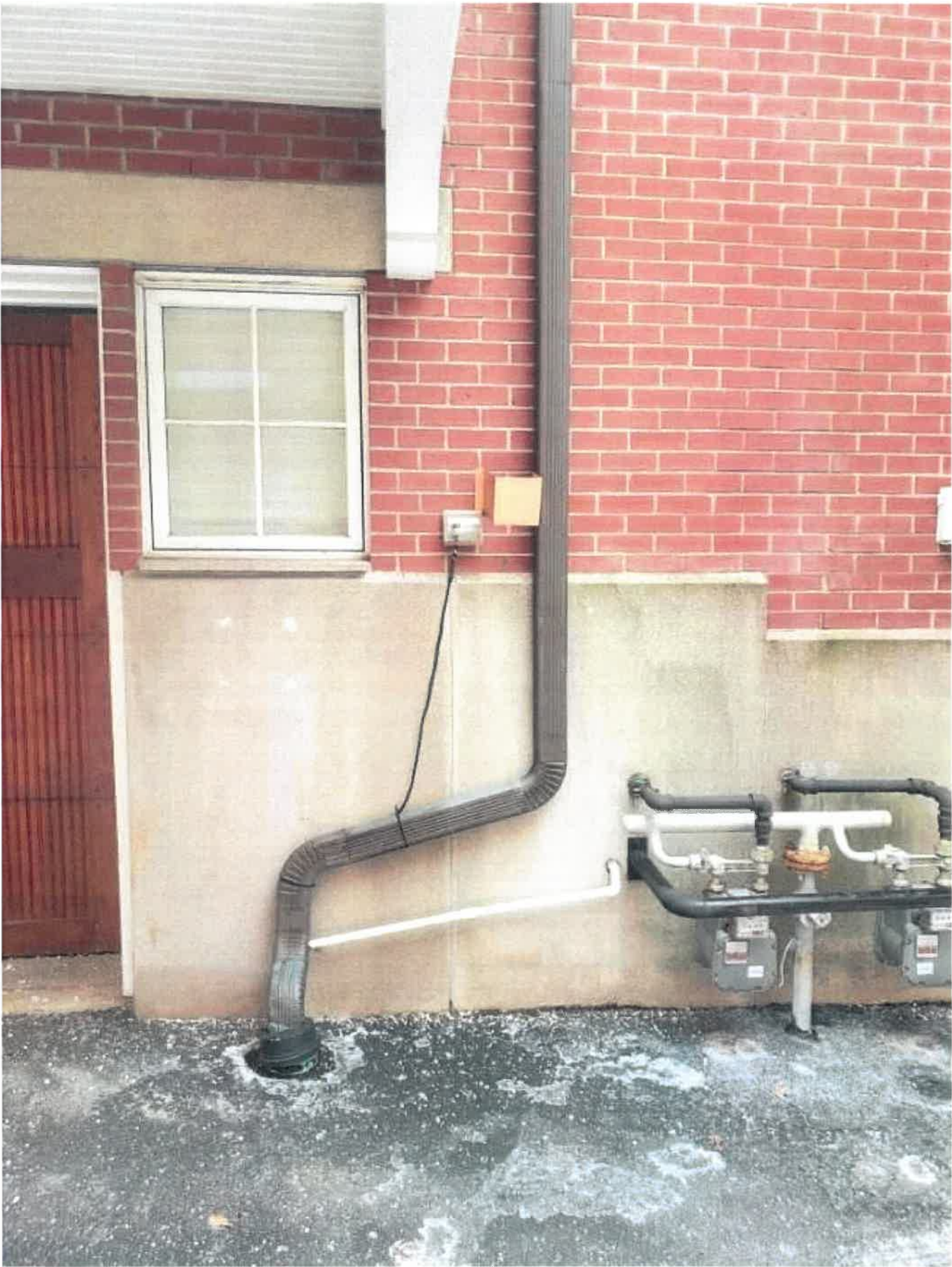
Description of Proposed Work (Planning Staff)

installation of a radon mitigation system

Project Representatives

Relationship to Project

Owner





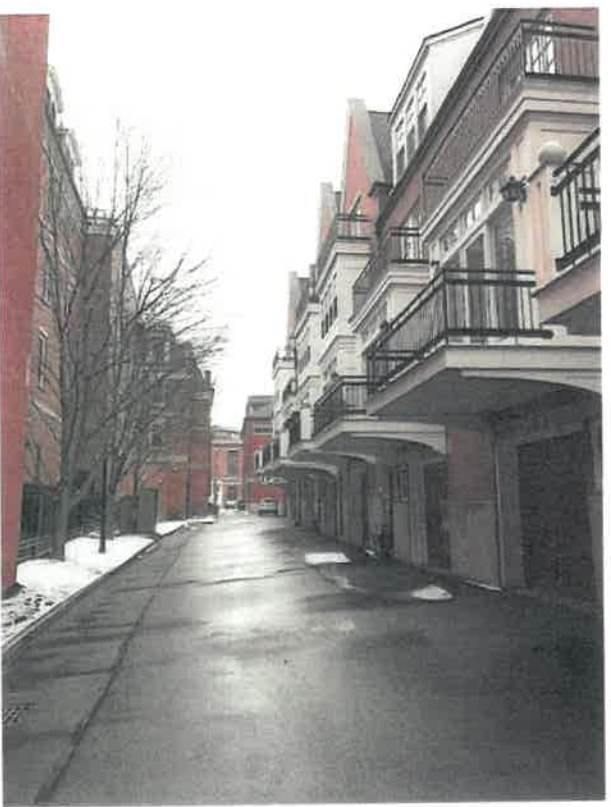
2/4/2021

Porter_Downspout_Pic_1_Tue_Feb_2_2021_13-55-13.jpg (840x480)



2/4/2021

Poster_Download_Pic_2_Tue_Feb_2_2021_13-55-44.jpg (640x480)



2/4/2021

Parker_Alewayw_Pic_Tue_Feb_2_2021_13-56-12.jpg (640x480)

16. 166 New Castle Avenue - Recommended Approval

Background: The applicant is seeking approval for the construction of a rear door overhang.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



17. 17 Hunking Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of ventilation piping for a new furnace.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

04/01/2021

LUHD-302

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 31, 2021**Applicant**

Katherine Cook
cookkc@gmail.com
17 Hunking Street
Portsmouth, NH 03801
603-502-6454

Location

17 HUNKING ST
Portsmouth, NH 03801

Owner:

COOK-PODRASKY FAMILY TRUST &
PODRASKY E J JR & COOK K C TRUSTEES
17 HUNKING ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Project Information**Brief Description of Proposed Work**

Ventilation pipes installed for new furnace/combi-boiler natural gas unit (replacing broken oil furnace).

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

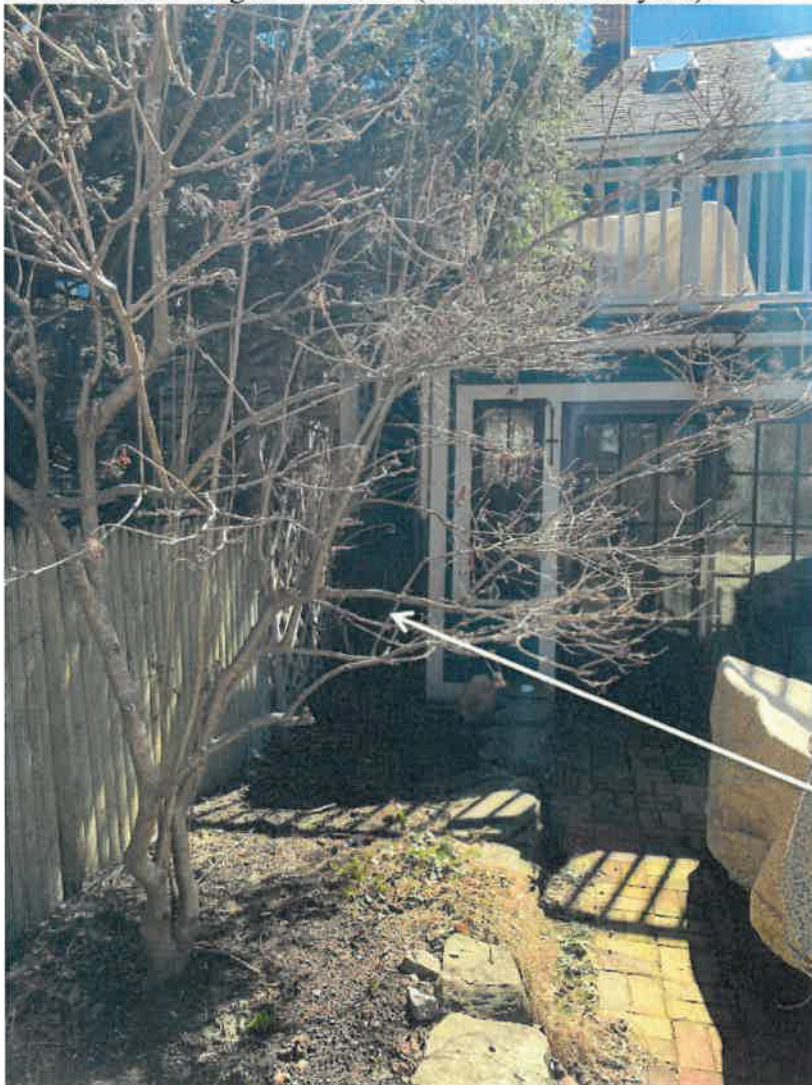
17 HUNKING STREET, PORTSMOUTH, NH

We are planning to install a new furnace/combi-boiler system to replace a broken oil burning furnace and a natural gas traditional water heater. The new system will be more energy efficient, and will eliminate the oil tanks and outdated furnace/water heater ventilation (no longer to code) into the fireplace flue currently located in the basement. This will also allow for future restoration of some of the fireplaces in the home. **We request that the Historic District Commission approve all options below, because we are not sure which option will meet city code. The third option is the least desirable, because it is most visible from the street and would require large ventilation pipes to clear the ground. We are hoping one of the first two options meets code.** It is important also to note that the house sits on a hill, so the north side of the basement is above grade allowing for easier ventilation of the furnace system. This is the reason the ventilation on the south side of the home would have to include a few feet of above grade piping.

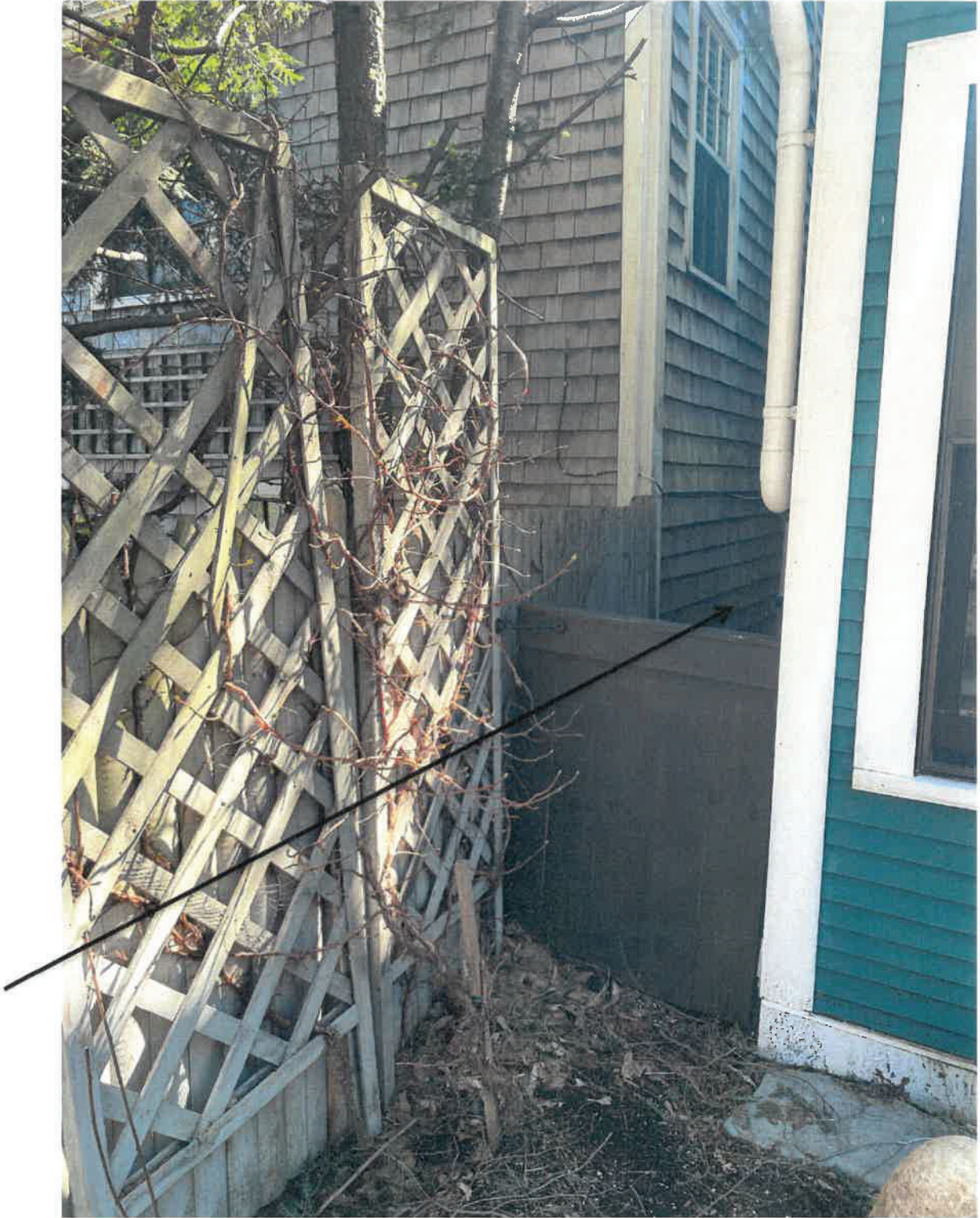
The city inspector will be reviewing the sites after the HDC approves this application, and we hope to install the new system by the middle of April.

Option #1 – Preferred Ventilation Site, Back North Side of Home:

The ventilation is proposed for the back north corner of the home inside a space between the house and the neighbor's home (view from back yard):



Closer view of space:



This is the proposed location of the furnace vent (not drawn accurately or to scale):



This is the style of piping required in this site (from neighbor's home directly across street, visible from Hunking Street), but the piping would extend out of the corner to avoid any ventilation issues as drawn above:



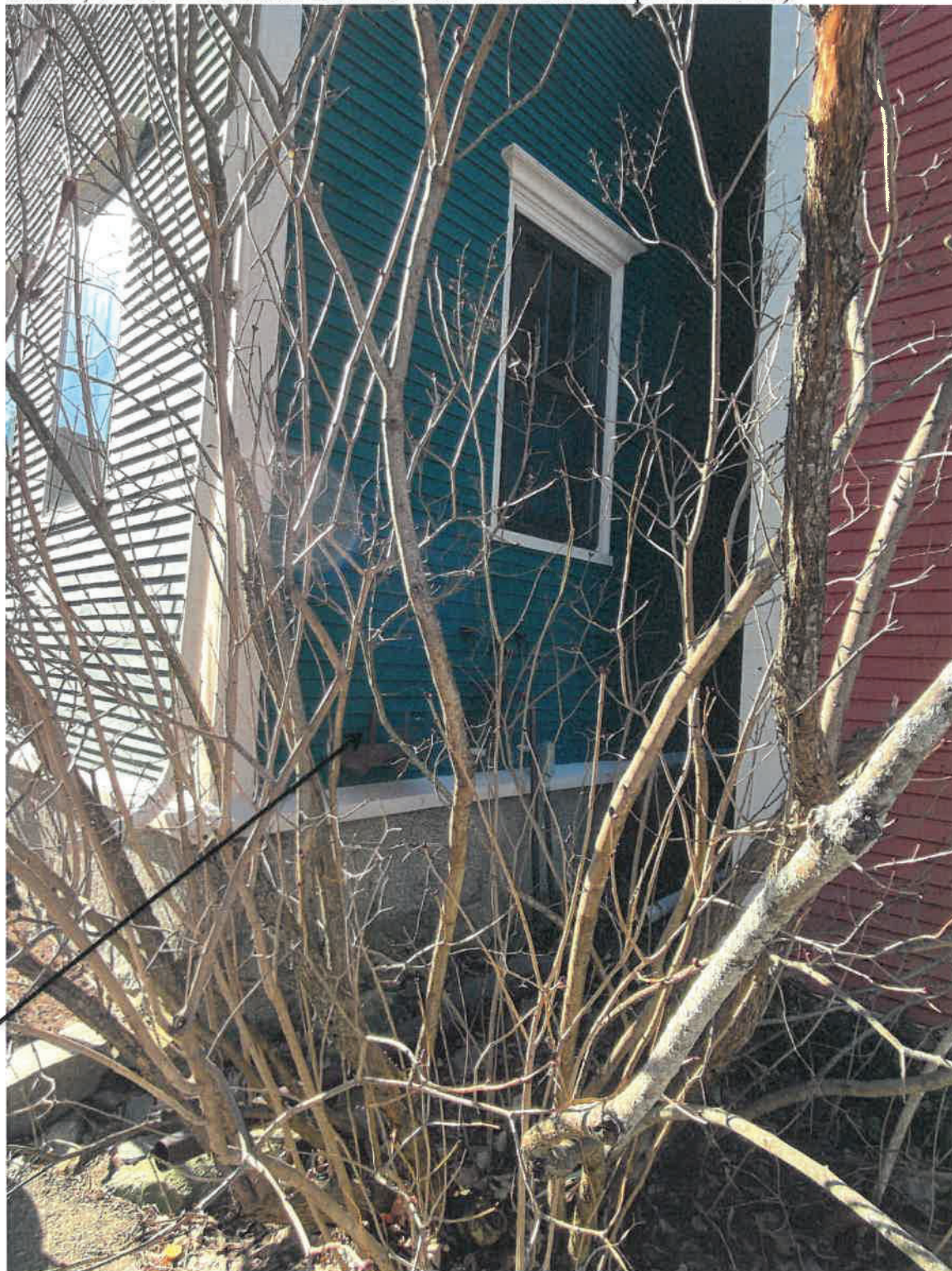
Option #2: Secondary Ventilation Site, North Side of Home

This is our secondary option for ventilation. This is the front north facing side of the house, on the downside of the street. The view of this site is blocked by a lilac bush. It will be blocked from view on the street by a water hose reel.

View from the Street



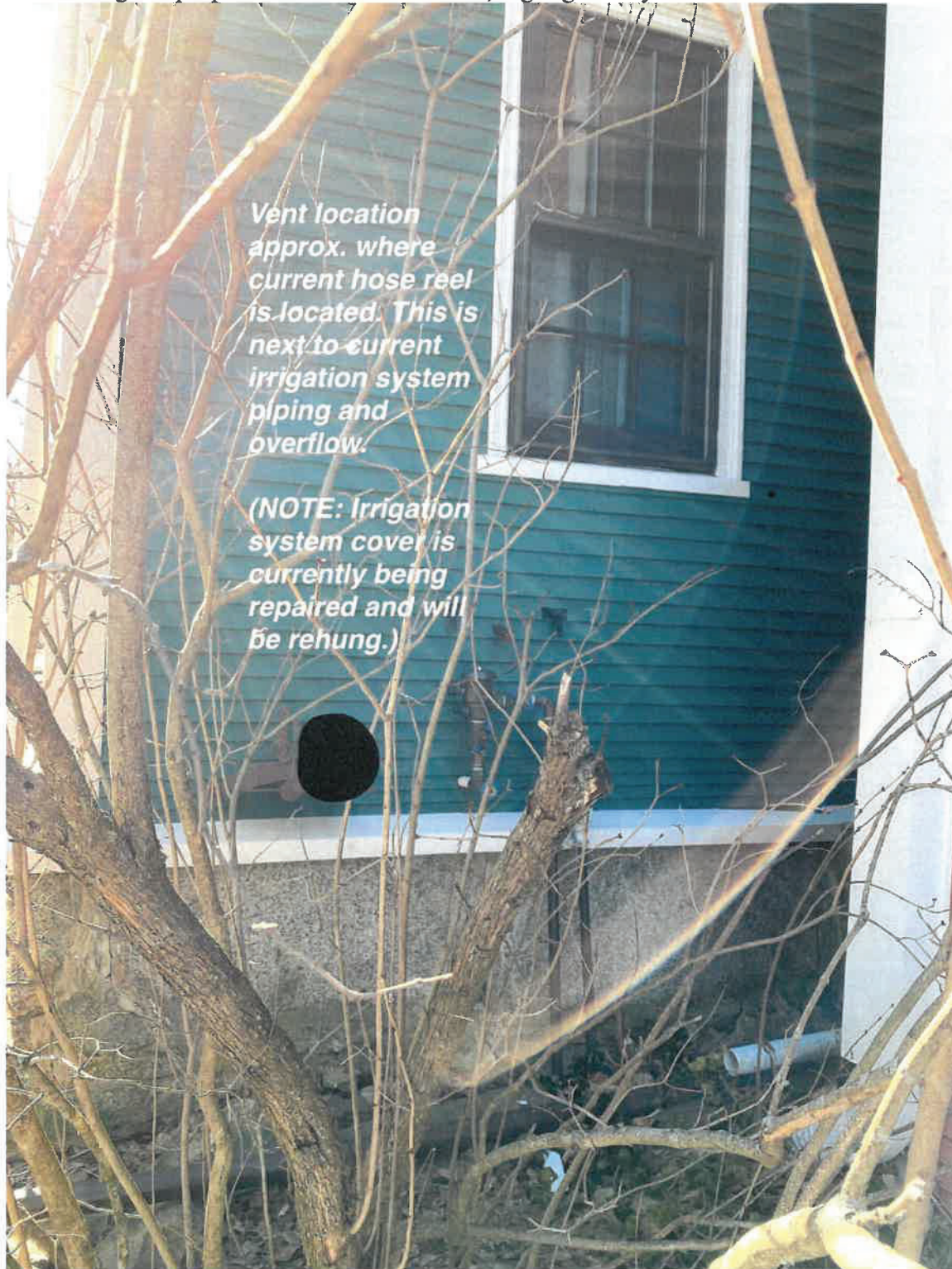
Closer View from Street (vent would be located approximately where current hose reel is located, the hose reel would move forward on the home to provide cover):



Close Frontal View (vent at location of hose reel, which would move forward to hide vent):



Close image of proposed ventilation location, highlighted by black dot:



Vent location approx. where current hose reel is located. This is next to current irrigation system piping and overflow.

(NOTE: Irrigation system cover is currently being repaired and will be rehung.)

At this location, the furnace would be vented using a low-profile vent. While we cannot guarantee the look of the vent, it would be something along the lines of this ventilation style (from Neighbor's House – three houses down):



(from Neighbor's House, two houses down)

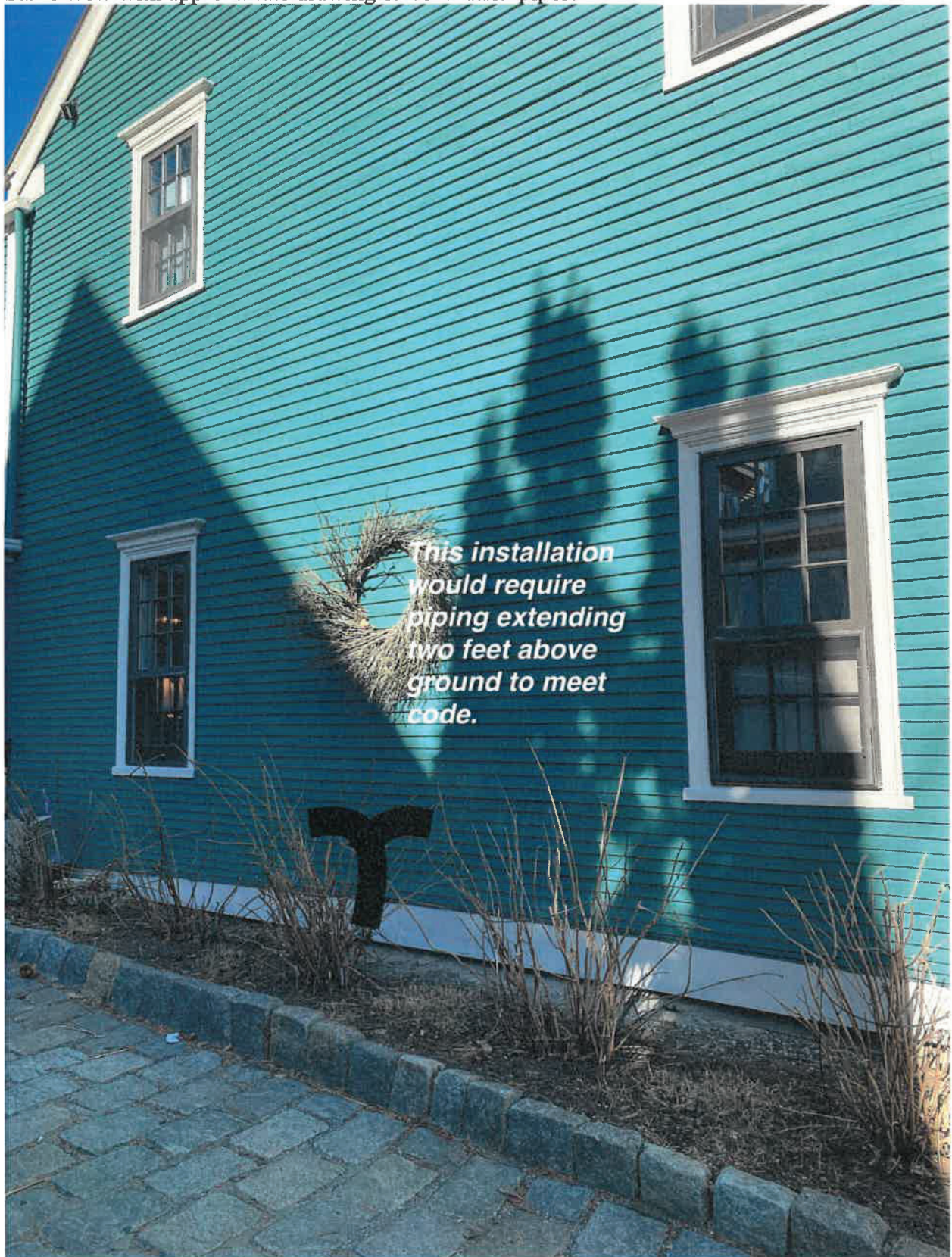


Option #3: Ventilation Last Resort, Driveway Side of Home, South Side of Home

The location is prominent, one of the first locations seen when turning down Hunking Street if the cars are not parked in the driveway. Unfortunately, the ventilation cannot be located towards the front of the home, which is more shielded, because of codes related to placement of ventilation near gas meters and windows. The only available location is directly between the two windows.



Same view with approximate drawing of ventilation pipes:



Again, in this installation, the style of vent would be similar to the ventilation pipes across the street:



Finale note: the removal of the gas furnace will also remove the unsightly oil fill pipes on the front of the house (top two). The bottom pipe is a sump pump drain, which is easily camouflaged by plantings in summer.



Historic District Commission

Staff Report – April 7th & 14th, 2021

April 7th MEETING

Administrative Approvals:

- | | |
|------------------------------------|----------------------|
| 1. 37 South St. (LUHD-286) | - Recommend Approval |
| 2. 58 South St. (LUHD-285) | - Recommend Approval |
| 3. 319 Vaughan St. (LUHD-287) | - Recommend Approval |
| 4. 500 Market St. (LUHD-288) | - Recommend Approval |
| 5. 229 Pleasant St. (LUHD-289) | - Recommend Approval |
| 6. 135 Congress St. (LUHD-293) | - Recommend Approval |
| 7. 74 Congress St. (LU-21-35) | - Recommend Approval |
| 8. 22 Daniel St. (LUHD-294) | - Recommend Approval |
| 9. 38 Chapel St. (LUHD-295) | - Recommend Approval |
| 10. 261 South St. (LUHD-297) | - Recommend Approval |
| 11. 16 Porter St. (LUHD-270) | - Recommend Approval |
| 12. 166 New Castle Ave. (LUHD-298) | - Recommend Approval |
| 13. 17 Hunking St. (LUHD-302) | - Recommend Approval |
| 14. 99 Marcy Street (LUHD-303) | - Recommend Approval |

REQUEST FOR REHEARING:

1. 33 Jewell Court (LU-21-234) (Roof)

EXTENSION REQUEST:

1. 50 Austin Street (LU-21-249) (Enclosed porch)

PUBLIC HEARINGS – NEW BUSINESS:

1. 333 New Castle Ave. (LU-21-45) (Windows)
2. 238 Marcy St. (LU-21-53) (Solar panels)
3. 17 Pray St. (LU-21-56) (Windows and doors)
4. 91 Lafayette Rd. (LU-21-52) (Garage)

April 14th MEETING

Administrative Approvals:

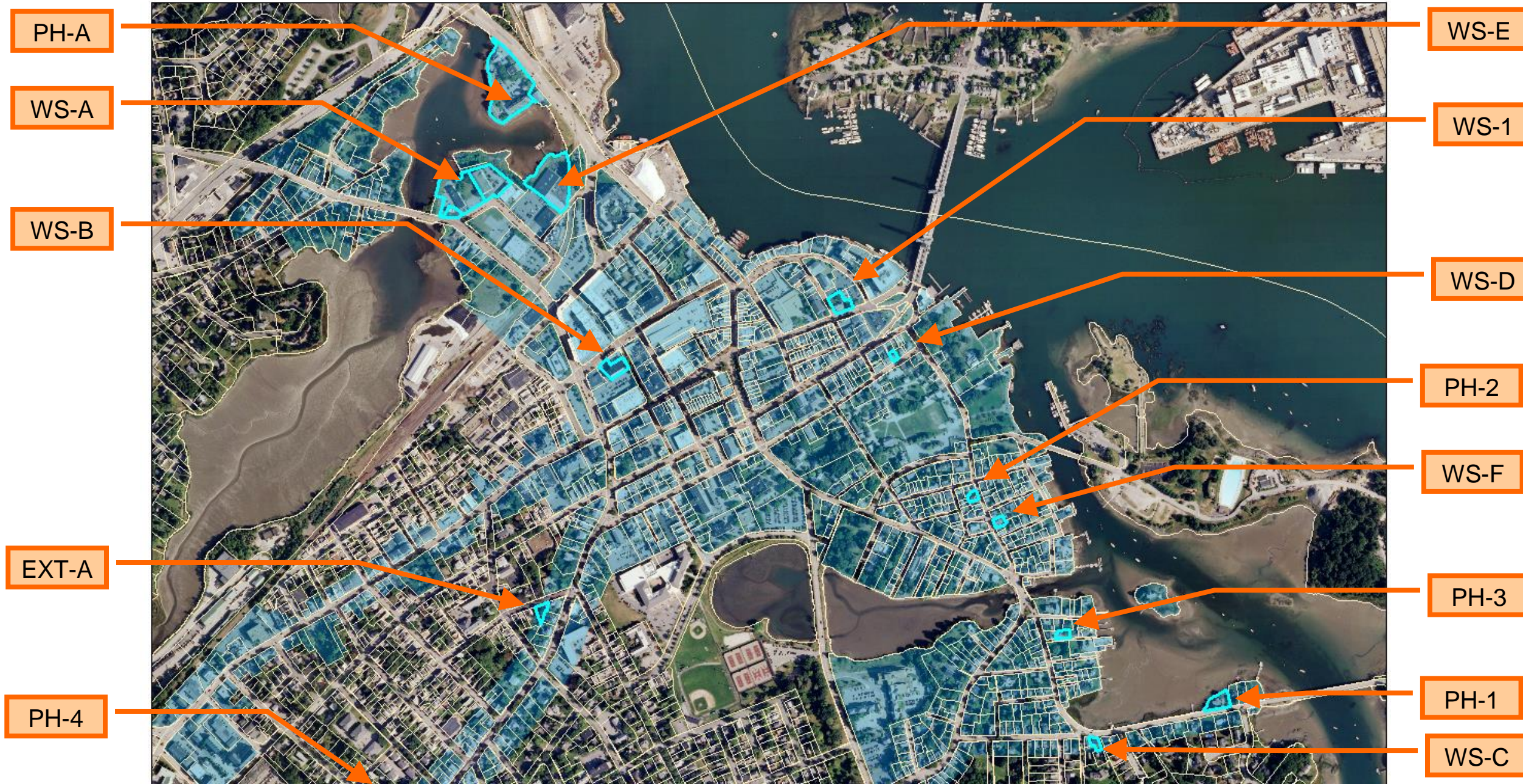
- | | |
|---------------------------------|----------------------|
| 1. 410 Islington St. (LUHD-281) | - Recommend Approval |
| 2. 124 State St. (LUHD-283) | - Recommend Approval |
| 3. 57 Salter St. (LUHD-) | - Recommend Approval |
| 4. ... | |

WORK SESSIONS – OLD BUSINESS:

- A. 1–31 Raynes Ave. (LUHD-234) (2, 5 story Buildings)
- B. 64 Vaughan St. (LUHD-277) (3 Story Addition)
- C. 180 New Castle Ave. (LUHD-233) (Stairs & Chimney)
- D. 449 Court St. (LUHD-235) (Stairs & Chimney)
- E. 53 Green St. (LUHD-257) (5 Story Mixed-Use Building)
- F. 279 Marcy St. (LUHD-259) (Recessed deck and dormer)

WORK SESSIONS – NEW BUSINESS:

1. 150 Daniel St. (LUHD-290) (2 Story carriage house)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: April 7th & 14th, 2021

APPLICATIONS: 30

33 JEWELL COURT (LU-20-191) – RE-HEARING #1 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT - Replace Slate Shingles with Asphalt Shingles -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 33 Jewell Court Case No.: 1 Date: 4-7-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: **333 NEW CASTLE AVE. (LU-21-45)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #1**

Existing Conditions:

- Zoning District: SRB
- Land Use: Single Family
- Land Area: 13,068 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Vernacular
- Historical Significance: NA
- Public View of Proposed Work: Limited view from New Castle Ave.
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace two windows with a different design.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The building is located along New Castle Ave. across from Round Island in the South End. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Replace two casement windows that were damaged in a recent storm with a picture window and two double-hung windows.

Design Guideline Reference – Guidelines for Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

**HISTORIC
SURVEY
RATING**

-

333 NEW CASTLE AVE. (LU-21-45) – PUBLIC HEARING #1 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MINOR PROJECT – Replace Two Windows –</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
BUILDING DESIGN & MATERIALS		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
SITE DESIGN		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 333 NEW CASTLE AVE. Case No.: 1 Date: 4-7-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 238 MARCY ST. (LU-21-53)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

Existing Conditions:

- Zoning District: GRB
- Land Use: Single Family
- Land Area: 3,860 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Late 19C Vernacular
- Historical Significance: C
- Public View of Proposed Work: View from Marcy Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To install solar panels.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Marcy Street and is set back for the street edge. It may have previously been a barn structure. It is surrounded with many 2-3 story historic structures with little to no front yard setbacks and small lots.

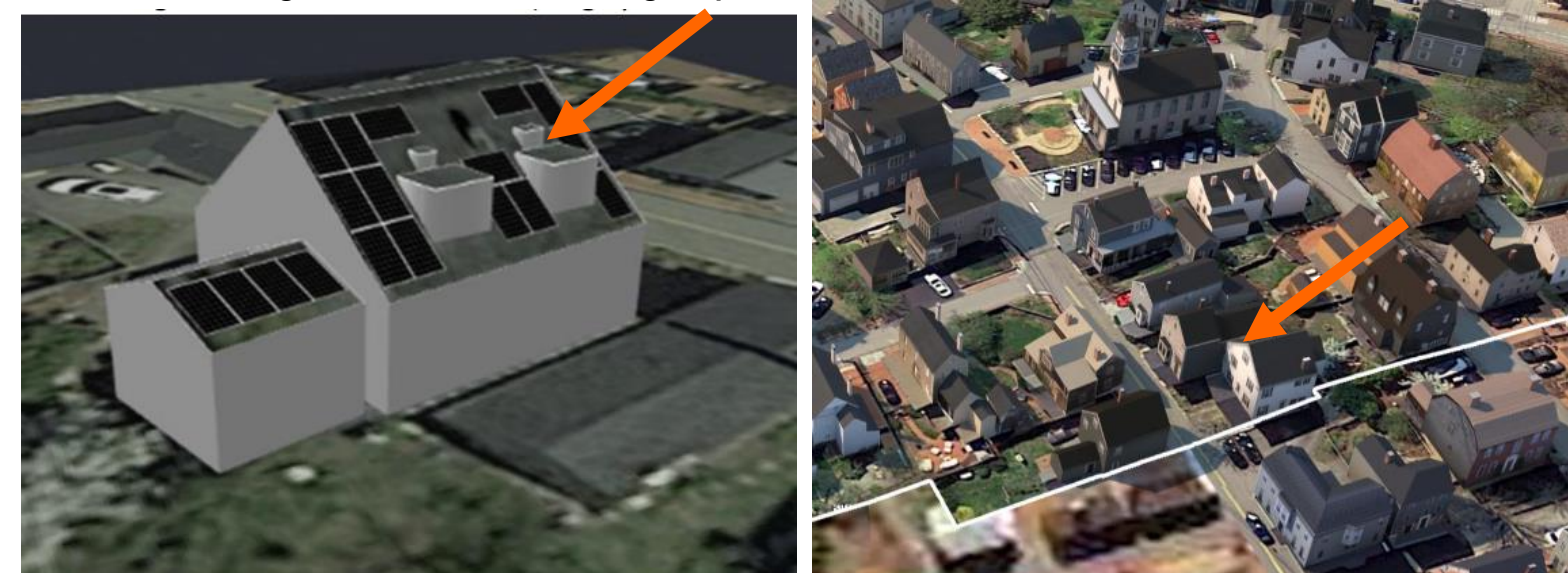
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

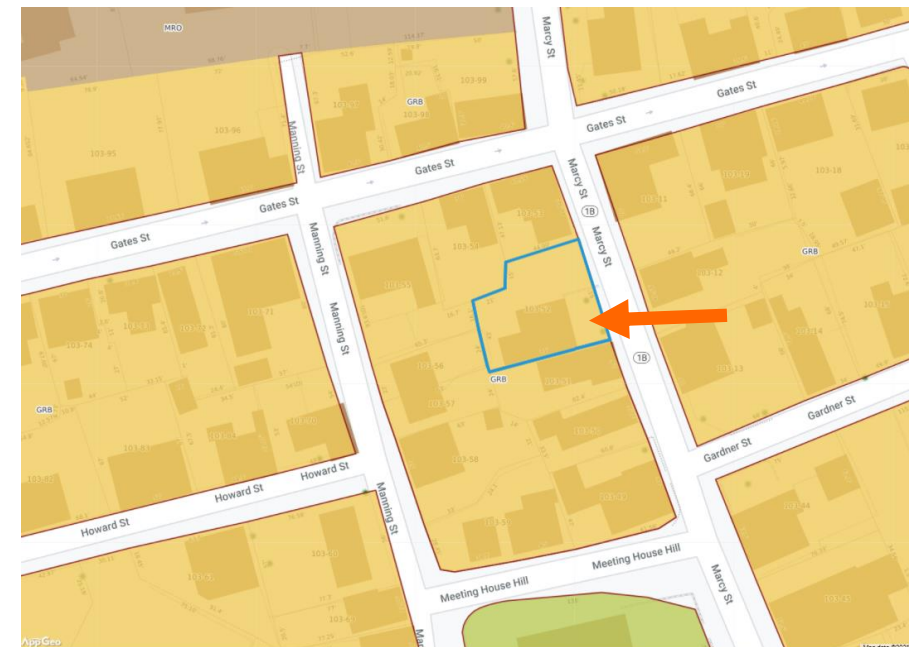
- Install 18 solar panels on the south-facing roof surface.
- Note that the panels are a low profile design, dark in color, and with minimum reflective glare.

• **Design Guideline Reference – Guidelines for Roofing (04).**

K. Aerial Image, Street View and Zoning Map:



Aerial and 3D Massing Model Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

238 MARCY STREET (LU-21-53) – PUBLIC HEARING #2 (MODERATE PROJECT)

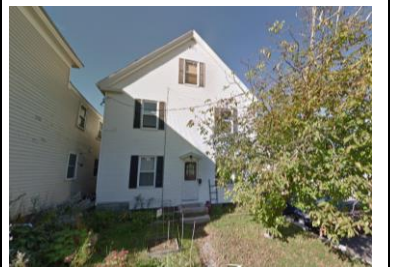
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - Install 18 Solar Panels -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Lighting (i.e. street, site...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 238 MARCY STREET Case No.: 2 Date: 4-7-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 17 PRAY STREET (LU-21-56)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residential District B (GRB)
- Land Use: Single-Family
- Land Area: 4,791 SF +/-
- Estimated Age of Structure: c.1800
- Building Style: Federal
- Historical Significance: Contributing
- Public View of Proposed Work: Limited View from Pray St.
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace windows and doors.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The building is located along Pray Street. It is surrounded with many wood-frame 2 - 2.5 story contributing structures with little to no setbacks from the sidewalk/ street edge.

J. Background, Comments & Suggested Actions:

The Applicant is seeking to:

- Replace several windows and doors.
- The proposed replacement windows and doors are the Marvin Elevate line.

• **Design Guideline Reference: Guidelines for Windows and Doors (89)**

K. Aerial Images and Maps:



Elevations and 3D Massing Model Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

17 PRAY STREET (LU-21-56) – PUBLIC HEARING #3 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION					
	1	Gross Floor Area (SF)	MINOR PROJECT – Replace Windows and Doors –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	36		Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 17 PRAY ST. Case No.: 3 Date: 4-7-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 91 LAFAYETTE RD. (LU-21-52)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #4

A. Property Information - General:

Existing Conditions:

- Zoning District: GRA
- Land Use: Residential
- Land Area: 11,632 SF +/-
- Estimated Age of Structure: NA
- Building Style: NA
- Historical Significance: Likely Contributing
- Public View of Proposed Work: View from Lafayette Street and Willard Ave.
- Unique Features: NA
- Neighborhood Association: Wibird

B. Proposed Work: To install a two-car garage.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The historic structure is located along Willard Ave. and Lafayette Street. It is surrounded with many wood-frame and sided 2.5-3 story structures that are setback from the sidewalk.

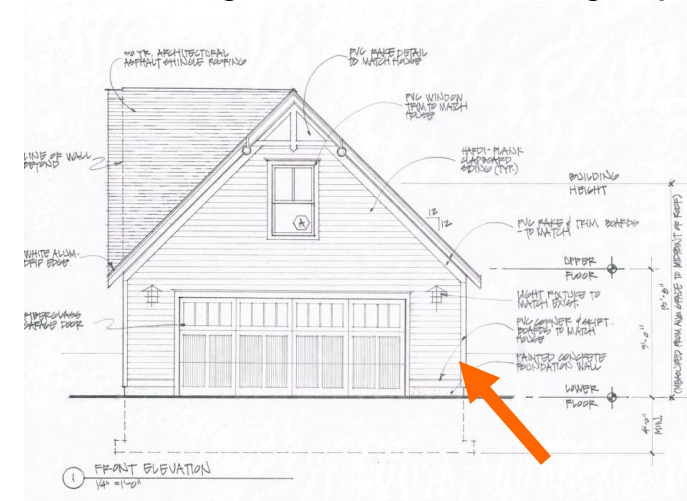
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Construct a 24' x 28' two-bay garage with a storage or usable floor space above.

• **Design Guideline Reference: *Guidelines for Small Scale New Construction and Additions (10)***

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

91 LAFAYETTE RD. (LU-21-52) – PUBLIC HEARING #4 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT - Install a Two-Car Garage -</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 91 LAFAYETTE RD Case No.: 4 Date: 4-7-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 1 & 31 RAYNES AVE. (LUHD-234)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #A

Existing Conditions:

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: Contemporary
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To construct a 4-5 story mixed-use building(s).

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- **Note that the applicant has requested a continuance of this application until April. Thus, the revised plans will be available next Wednesday April 7th and will be forwarded to your IPads on Thursday.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

1 & 31 RAYENES AVE. (LUHD-234) – WORK SESSION #A (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	<p>MAJOR PROJECT – Construct two 5 Story Mixed-Use Buildings –</p>					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
7	Building Coverage (% Building on the Lot)							
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
HISTORIC DISTRICT COMMISSION MEMBERS	BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		HISTORIC DISTRICT COMMISSION MEMBERS	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
38	Driveways (i.e. location, material, screening...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
39	Parking (i.e. location, access, visibility...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 1 & 31 Raynes Ave. Case No.: A Date: 4-14-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 64 VAUGHAN MALL (LUHD-277)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #B

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 15,242 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Vernacular Commercial
- Historical Significance: C
- Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To make façade improvements to the storefront and add a penthouse.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The property also has an 8 space surface parking lot off of Hanover Street.

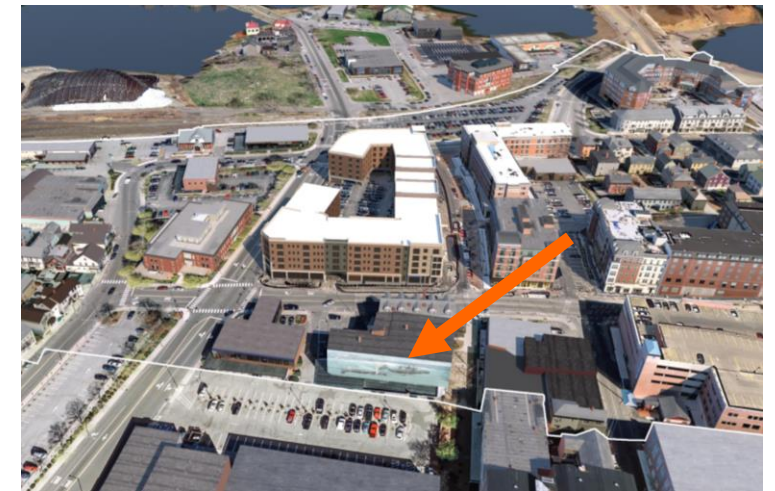
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

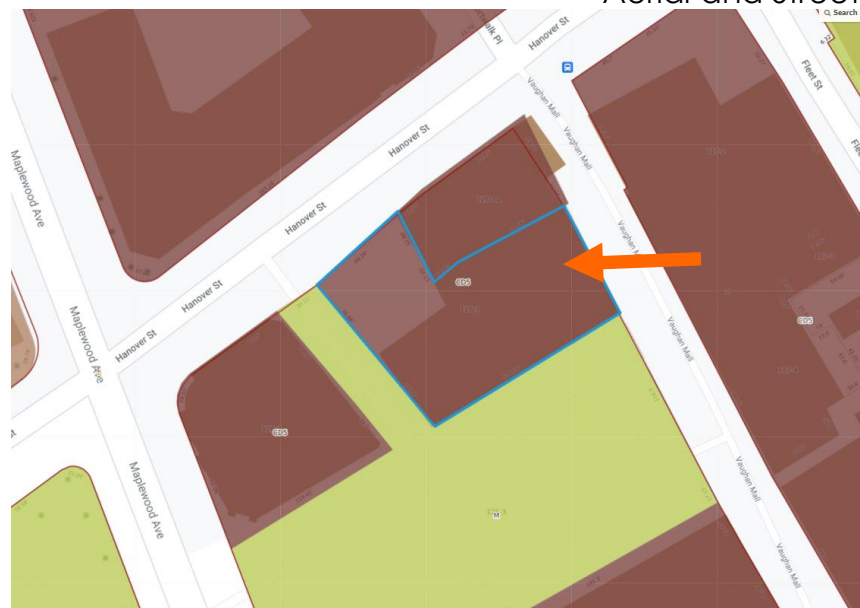
- Modify the front storefront and facade.
- Install window, door and storefront openings along the Worth Lot.
- Add three story addition with an attic (versus the former request for a 4th floor with a penthouse level).
- **Note that the applicant was denied the variances needed to add the former penthouse addition. As such, we have re-advertised this project for a 3 story addition. Thus, the revised plans will be available next Wednesday April 7th and will be forwarded to your IPads on Thursday.**

Design Guideline Reference – Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

64 VAUGHAN MALL (LUHD-277) – WORK SESSION #B (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
STAFF	No	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)		<h3 style="margin: 0;">MAJOR PROJECT</h3> <p style="margin: 0;">– Add a 3 Story Addition to Existing Building –</p>				
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	9	Placement (i.e. setbacks, alignment...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39		Signage (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 64 VAUGHAN MALL Case No.: B Date: 4-14-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 180 NEW CASTLE AVE. (LUHD-233)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #C

A. Property Information - General:

Existing Conditions:

- Zoning District: SRB
- Land Use: Single-Family
- Land Area: 9,583 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Greek Revival
- Historical Significance: C
- Public View of Proposed Work: View from New Castle Ave. & Humphrey Ct.
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: Construct a rear addition with deck and replace siding, windows & roof.

C. Other Permits Required:

- Board of Adjustment
- Planning Board
- City Council
- Condo Association
- Abutting Property Owner

D. Lot Location:

- Terminal Vista
- Gateway
- Mid-Block
- Intersection / Corner Lot
- Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal
- Accessory
- Demolition

F. Sensitivity of Context:

- Highly Sensitive
- Sensitive
- Low Sensitivity
- "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

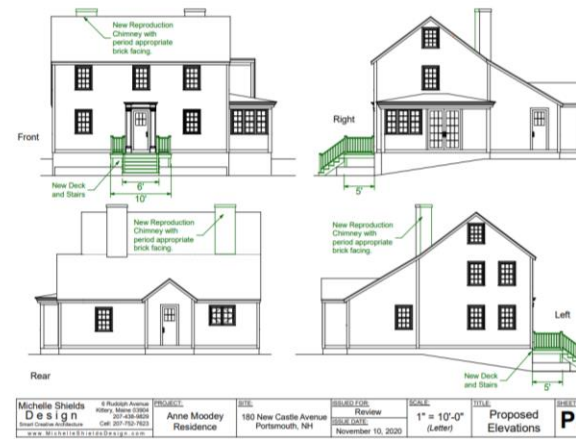
- The building is located along the intersection of New Caste Ave. and Ball Street. It is surrounded with many 2 to 2.5 story wood-sided structures with shallow front yard setbacks narrow side yards and deeper rear yards.

J. Background & Suggested Action:

- The applicant is proposing to:
- Replace the deck and stairs along New Castle Ave.
 - Replace the existing chimney with a faux brick veneer chimney.
 - **NOTE – The applicant has submitted a request to withdraw this application.**

Design Guideline Reference – Guidelines for Masonry and Stucco (07) and Porches, Stoops and Decks (06).

K. Aerial Image, Street View and Zoning Map:



Elevations & Streetview Image



Zoning Map

HISTORIC SURVEY RATING

C

180 NEW CASTLE AVE. (LUHD-233) – WORK SESSION #C (MODERATE PROJECT)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<p>MODERATE PROJECT – Replace Chimney & Decks and Stairs –</p>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
	7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS		PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
	CONTEXT	8	Scale (i.e. height, volume, coverage...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	Roofs				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Storm Windows / Screens				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages/ Barns / Sheds (i.e. doors, placement...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37		Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	38		Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	39		Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 180 New Castle Ave Case No.: C Date: 4-14-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 449 COURT STREET (LUHD-235)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #D

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Multi-Family
- Land Area: 2,613 SF +/-
- Estimated Age of Structure: c. 1996
- Building Style: Traditional
- Historical Significance: NA
- Public View of Proposed Work: View from Court Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: Add a 4th Floor Addition and roof deck along Court Street.

C. Other Permits Required:

- | | | |
|--|--|---------------------------------------|
| <input type="checkbox"/> Board of Adjustment | <input type="checkbox"/> Planning Board | <input type="checkbox"/> City Council |
| <input type="checkbox"/> Condo Association | <input type="checkbox"/> Abutting Property Owner | |

D. Lot Location:

- | | | |
|--|-----------------------------------|---|
| <input type="checkbox"/> Terminal Vista | <input type="checkbox"/> Gateway | <input checked="" type="checkbox"/> Mid-Block |
| <input type="checkbox"/> Intersection / Corner Lot | <input type="checkbox"/> Rear Lot | |

E. Existing Building to be Altered/ Demolished:

- | | | |
|---|------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Principal | <input type="checkbox"/> Accessory | <input type="checkbox"/> Demolition |
|---|------------------------------------|-------------------------------------|

F. Sensitivity of Context:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Highly Sensitive | <input checked="" type="checkbox"/> Sensitive | <input type="checkbox"/> Low Sensitivity | <input type="checkbox"/> "Back-of-House" |
|---|---|--|--|

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The buildings are located along lower Court Street. It's surrounded with many wood- and brick-sided structures with no setbacks and shallow sideyards. This structure also abuts Strawberry Banke.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

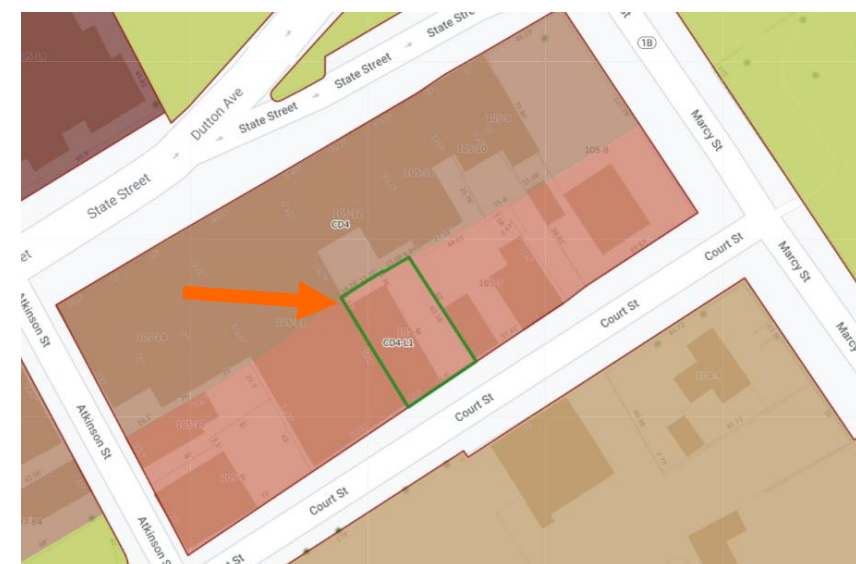
- Change the roof design by adding a 4th floor addition and roof deck.
- The addition is generally proposed to be located along the northern property line abutting a taller structure with a common wall containing no openings.
- **NOTE – The Applicant has requested a postponement of this application until May while they continue to study the visual impacts of the project.**

• **Design Guideline Reference: Guidelines for Roofing (04), Exterior Woodwork (05), Porches, Steps and Decks (06) and Small Scale New Construction and Additions (10).**

K. Aerial Image, Street View and Zoning Map:



Rear Decks and Aerial View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NA

449 COURT STREET (LUHD-235) – WORK SESSION #D (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	MODERATE PROJECT - Add 4th Floor Addition and Roof Deck -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	SITE DESIGN	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 449 COURT STREET Case No.: D Date: 4-14-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 53 GREEN STREET (LUHD-257)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #E

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 78,843 SF +/-
- Estimated Age of Structure: c.1920/1970
- Building Style: Industrial
- Number of Stories: 2.0
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Market and Green Streets
- Unique Features: NA
- Neighborhood Association: North End

B. Proposed Work: To add a new 5-Story Mixed-Use Apartment Building

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This non-contributing structure is located along Green Street and is surrounded with many other brick or metal-clad buildings between 1-5 stories in height. The abutting 233 Vaughan Street building and the AC Hotel were recently completed and the AC Hotel project includes a community space requirement for public access to and along the waterfront. Such improvements are still be implemented by the developer.

J. Staff Comments and Suggestions for Consideration:

- The proposed massing and scale is significant for the size of the site but it is generally consistent with the abutting AC Hotel and the underlying zoning requirements in the CD4 Character District.
- The proposed building is 3-5 Stories in height which requires community space to be provided in exchange for the added height.
- The existing buildings will be demolished as part of the project.
- The applicant is likely to present a number of design alternatives for the shape and style of the building.
- **Note that the deadline for revised submission material is April 7th, thus, the revised plans will be forwarded to your IPads on Thursday April 8th.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Proposed Design, Street View and Aerial View:



Proposed Design and Street View Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING**

NC

53 GREEN STREET (LUHD-257) – WORK SESSION #E (MAJOR)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
STAFF	No.	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)		<div style="font-size: 24pt; font-weight: bold; margin-bottom: 10px;">MAJOR PROJECT</div> <div style="font-size: 18pt; font-weight: bold;">– Demolish Structures & Construct a 5-Story, Mixed-Use Building –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
	BUILDING DESIGN & MATERIALS	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 53 GREEN STREET Case No.:E Date:4-14-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Draw



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 279 MARCY ST. (LUHD-259)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #F

Existing Conditions:

- Zoning District: GRB
- Land Use: Single Family
- Land Area: 5,660 SF +/-
- Estimated Age of Structure: c.1875
- Building Style: Greek Revival
- Historical Significance: C
- Public View of Proposed Work: View from Marcy St. & Meeting House Hill Rd.
- Unique Features: Non-Contributing
- Neighborhood Association: South End

B. Proposed Work: To add a recessed roof dormer.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located near the Meeting House along Marcy Street in the heart of the South End. It is surrounded with many 2-3 story wood-sided historic structures with no front yard setback and small rear yards and garden areas.

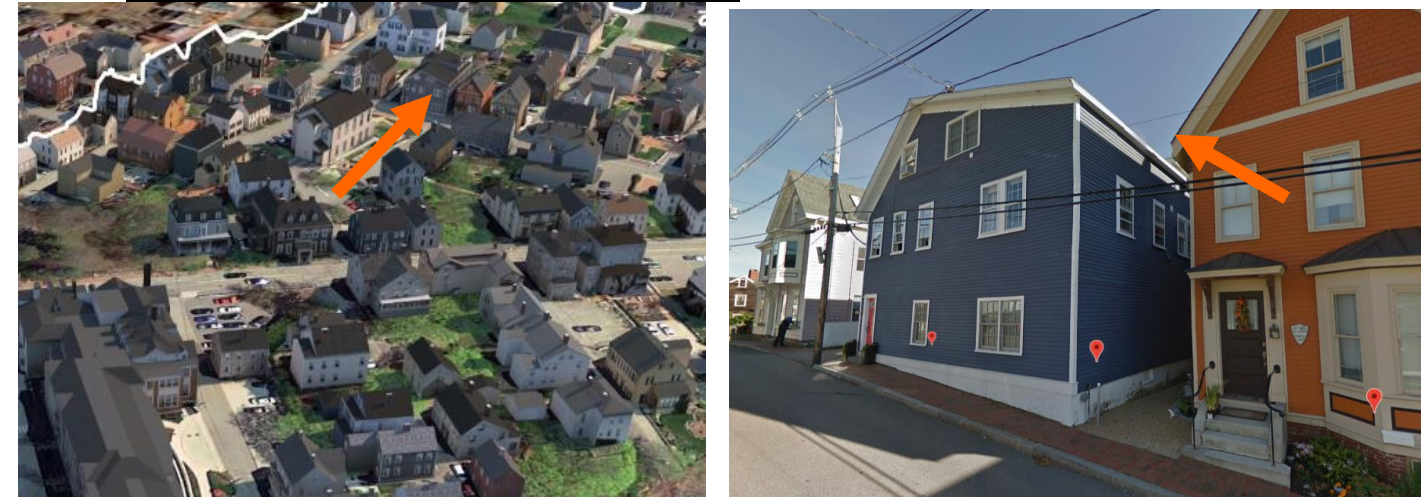
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add a recessed roof deck within the southern roof structure.
- **NOTE – The applicant has submitted a request to postpone this application until the May meeting.**

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

**HISTORIC
SURVEY
RATING**

NC

279 MARCY ST. (LUHD-259) – WORK SESSION #F (MODERATE)

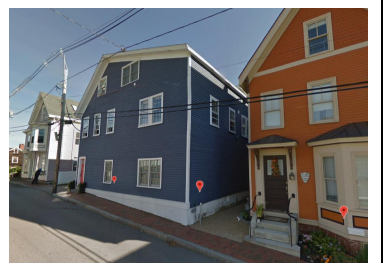
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT - Construct a Recessed Roof Dormer and Deck -</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
BUILDING DESIGN & MATERIALS		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
SITE DESIGN		35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 279 MARCY ST. Case No.: F Date: 4-14-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- 1. Preserve the integrity of the District: Yes No
- 2. Assessment of the Historical Significance: Yes No
- 3. Conservation and enhancement of property values: Yes No
- 4. Maintain the special character of the District: Yes No
- 5. Complement and enhance the architectural and historic character: Yes No
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No

I. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: Yes No
- 2. Compatibility of design with surrounding properties: Yes No
- 3. Relation to historic and architectural value of existing structure: Yes No
- 4. Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Address: 150 DANIEL STREET (LUHD-290)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #1

A. Property Information - General:

Existing Conditions:

- Zoning District: Civic
- Land Use: Museum
- Land Area: 12,632 SF +/-
- Estimated Age of Structure: c.1716
- Building Style: Early Georgian
- Number of Stories: 1.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Chapel Street
- Unique Features: Reconstruction Project
- Neighborhood Association: Downtown

B. Proposed Work: To reconstruct a two-story carriage house.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The Warner house is a historically-significant and focal building located along Daniel Street. The property is surrounded with many historically significant structures and most no or very shallow setbacks along the street and narrow side yards.

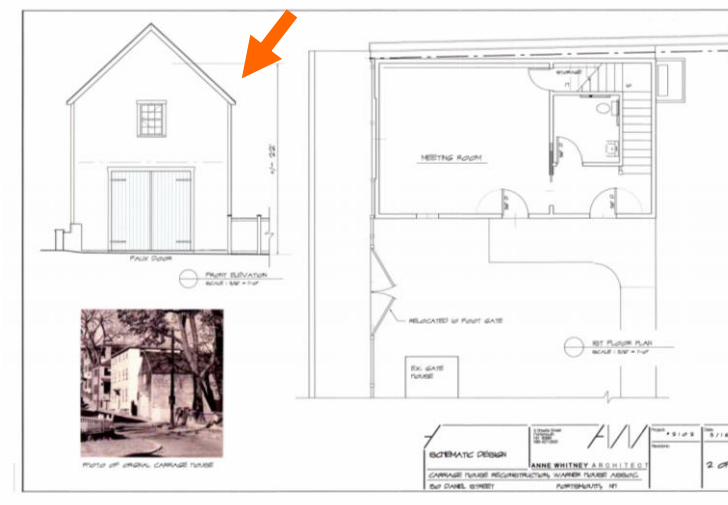
J. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Reconstruct a two-story carriage house structure on the property.
- The carriage house is proposed to be 18' x 32'.
- The first floor is proposed to be used as a meeting room for the museum and the upper floor will be used as a curatorial workroom and storage.

Design Guideline Reference – Guidelines for Roofing (04), Exterior Woodwork (05) and Windows and Doors (08)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

150 DANIEL STREET (LUHD-290) – WORK SESSION #1 (MODERATE)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT</p> <p>- Reconstruct of a Two-Story Carriage House Structure -</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 150 DANIEL STREET Case No.: 1 Date: 4-14-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

64 Vaughan Street

LUHD-277

Work Session



City of Portsmouth, NH

04/09/2021

LUHD-277

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 12, 2021

Applicant

Shayne Forsley
shayne.forsley@hdcgc.net
41 Industrial Dr STE 20
Exeter, NH 03833
603-997-2519

Location

64 VAUGHAN ST
Portsmouth, NH 03801

Owner:

64 VAUGHAN MALL LLC
41 INDUSTRIAL DR UNIT 20 EXETER, NH
03833

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Redevelopment and restoration of the existing structure for mixed use, providing an attractive project to better serve the community and its occupants. Revitalization of the property includes ground floor commercial space, vehicular parking and storage in the basement, addition of sidewalks, entries and storefronts along the Worth Parking Lot to complete the pedestrian connection from Hanover Street, Maplewood Ave., the Worth Parking Lot and the Vaughan Mall. Proposed vertical expansion of the existing historic structure with a creation of significant green space in the form of a pocket park abutting Hanover Street and the public alleyway, and areas annexed to Vaughan Mall.

Description of Proposed Work (Planning Staff)

new construction to an existing structure (add a 4th floor, revitalize storefronts, and create entry points to the Worth Lot) and additional site improvements

**ATTN: Historic District
Commission**

RE: April 14, 2021 Work Session

**64 Vaughan Mall Restoration
Portsmouth, NH 03801**

**Steve Wilson
Hampshire Development Corp.
41 Industrial Drive #20
Exeter, NH 03833**

**CONTACT:
Shayne Forsley
Hampshire Development Corp.
Shayne.forsley@hdcgc.net
603.997.2519**

64 Vaughan Mall

The property at 64 Vaughan Mall was acquired in September of 2020 from the Cabot House Group by the development team that successfully executed the re-development of the Connie Bean Center at 135-143 Daniel St. and The Provident Condominium at 25 Maplewood Ave. in Portsmouth. Principle Steven Wilson and Hampshire Development Corp. have operated since 1984 and have been involved in the successful construction and renovation of dozens of historic urban properties in the southeastern NH and northeastern Massachusetts regions. Our principal goal for the property at 64 Vaughan Mall will be to bring the site and existing structure up to current codes while restoring the main building to its original architecture.

Built in the late 19th century as a 3 story brick and heavy timber structure with a flat roof and full basement (36' x 75'), the building was originally owned and occupied by the Margeson Bros Furniture Co.. Early in the 20th century, the building was more than doubled in size 36' x 140' toward what is now the Worth Parking Lot with an addition constructed of essentially the same materials and form. A single story "modern" block addition with a shed roof was added mid century toward the rear facing Hanover St. and was utilized as a loading dock for shipping and receiving for Cabot Furniture. Notably, in 1993 Artist Robert Wyland received the owners permission to allow a mural of his design to be painted by a group of regional amateur artists on the side of the building facing the Worth lot . This mural quickly became a landmark of sorts referred to as the Whaling Wall. However through inappropriate preparation and application of paints, the mural has significantly deteriorated the facade of the building.

The only public access to the building is via the 75' of frontage on the Vaughan Mall leaving long expanses of blank walls along the Worth Parking Lot (145'), the rear alley (135') and the Hanover St. frontage (80') with no entry or other focal points. This provides no pedestrian interface with the building on three sides. In fact, circumnavigating the building on foot requires walking in active vehicle traffic lanes for an extended distance with no connectivity to the building or the Vaughan Mall from Maplewood Ave., Hanover St. or the rest of downtown to the West, South and Easterly directions.

The current condition of the building is widely substandard. The building in its existing condition presents many challenges to the developer, designers, and contractors associated with any renovation and

rehabilitation. The building is largely void of modern utility and mechanical systems with existing water, sewer, drainage, HVAC and fire protection all failing to meet modern standards or capacities.

The structure itself has not received any significant upgrades or improvements in over 70 years. The roof has failed in areas allowing moisture penetration and now threatens the integrity of the structure. Additionally most of the original windows have been infilled and the brick facade has been painted on four sides with a product that has trapped moisture, causing extensive spalling of the masonry. The inside of the existing structure, although retaining some very worthwhile architectural features and wide open space with high ceilings etc., is laden with asbestos and other environmental contaminants which must be removed and remediated. Finally the shape and size of the structure present a very monolithic and unappealing facade that does not enhance its surroundings, promote its history or engage the pedestrian at the street level.

In light of the building and site conditions we are uniquely qualified to rehabilitate and remediate the structure, and with the cooperation of the City, we will be able to convert this property to an attractive mixed use project that will make a significant contribution to the vibrancy of the Vaughan Mall and its strategic location in downtown Portsmouth. Our proposal will truly complement and enhance the City's architectural and historic character and contribute to its sense of place.

Currently underway, our first step is to remediate the hazardous waste conditions and perform select demolition of the interior. We are conducting tests to analyze the feasibility and best methods for removing the coatings and restore the historic facades. Our structural engineers have provided detailed analysis and preliminary plans for rehabilitation of the structure to current standards while maintaining its historic character. Our specific plan for the property is illustrated by the accompanying plans and would be to provide vehicle parking and storage in the existing basement accessed from Hanover St.. The ground floor would be developed as a commercial use as required by current zoning and with the addition of a sidewalk, entries and storefronts along the Worth Parking Lot will serve to activate the Vaughan Mall area.

The revitalization and adaptive reuse of this building will require a minor reconfiguration of parking spaces, installation of curbing, brick sidewalks and landscaping in and adjacent to the Worth Lot. It will thus require the support and approval of the City. The results and impacts as illustrated by the attached site plan and elevations will be profoundly positive for the Worth Lot and Vaughan Mall. No net loss of

parking, improvements in ADA compliance for pedestrians and handicap parking, creation of significant green space annexed to the Vaughan Mall and completion of the pedestrian connection from Hanover St., Maplewood Ave., Worth Lot to the Vaughan Mall and their adjacent businesses are some of the highlights of our plan. It will balance the pedestrian and vehicular experience for this active area with no functional downside to either. Additionally, we propose to reactivate the existing infilled windows with new windows and doors being added to the previously blank wall (along the Worth Lot side of the building) with an emphasis on maintaining the historic value in form and function on all sides of the building.

To address the disproportionate massing of the existing buildings, we have transitioned the rear facade of the building to a different style to differentiate the two buildings adding texture and interest to the continuous wall plane. Importantly, a significant portion of the rear building facade was constructed of poured concrete and was covered by an attached building having no relationship to the architecture of the main building.

In closing we are extremely excited to begin the process of working with the City to design and redevelop this significant property to better serve the community and its future occupants. To that end we are looking forward to listening to your input and ideas as we continue to refine the building and site designs.

Warm Regards

Steven Wilson

64 VAUGHAN MALL BUILDING RESTORATION

64 Vaughan Mall,
Portsmouth, New Hampshire

Assessor's Parcel 126, Lot 1
Historic District Commission

Plan Issue Date:

April 8, 2021

Owner:

64 Vaughan Mall, LLC

10 Industrial Way
Amesbury, MA 01913

Applicant:

Hampshire
Development Corp.

41 Industrial Drive
Exeter, NH 03833
(603) 778-9999

Civil Engineer:



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Architect:

JSA Design

273 Corporate Drive, Suite 100
Portsmouth, NH 03801
(603) 436-2551

Surveyor:

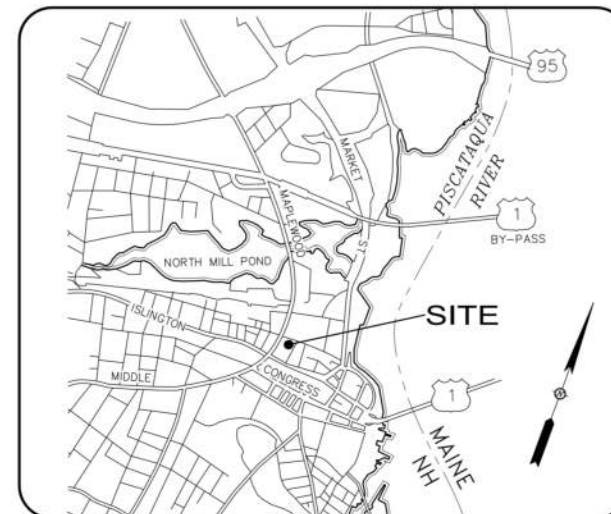
James Verra

& Associates Inc.

LAND SURVEYORS

101 SHATTUCK WAY, SUITE 8
Newington, New Hampshire
03801-7876

Tel 603-436-3557



LOCUS MAP
Not to Scale

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- Aerial Photograph
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- 64 Vaughan Mall Photograph
- 64 Vaughan Mall Perspective Photographs
- Existing Conditions
- Site Plan - Proposed
- Exterior Elevation 1 of 2 - Proposed
- Exterior Elevation 2 of 2 - Proposed
- Architectural Perspective - Proposed

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- 6
- 7
- 8



Aerial Photograph of 64 Vaughan Mall Property

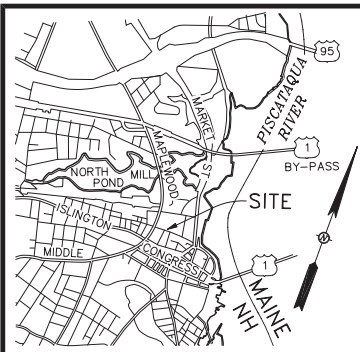


Margeson Bros. Furniture Store; Photograph circa ~1910-1920



Cabot
House





TEMPORARY BENCHMARK TABLE

TBM#	DESCRIPTION	ELEV.
1	SURVEY NAIL SET IN TOP OF GRANITE CURBING	12.81
2	BOLT W/ "X" CUT - HYDRANT TOP FLANGE	13.58
3	SURVEY NAIL SET IN TOP OF TRANSFORMER PAD	17.71
4	TOP RIGHT OUTSIDE CORNER OF CONCRETE STEP	15.62

DRAIN TABLE

CB# 1 RIM EL= 17.62 (1) INV OUT 12"RCP= 10.12	DMH# 1 RIM EL= 13.75 (1) 12"RCP (PLUGGED) (2) INV IN 12"RCP= 9.76 (3) INV IN 18"RCP= 8.75 (4) 12"RCP (PLUGGED) (5) INV OUT 12"RCP= 8.77
CB# 2 RIM EL= 13.77 (1) INV OUT 12"RCP= 10.12	DMH# 2 RIM EL= 9.68 (1) INV IN 6"PVC= 7.10 (2) INV OUT 12"RCP= 6.99
CB# 3 RIM EL= 11.98 (1) INV OUT 12"HDPE= 7.74	DMH# 5195 RIM EL= 12.56 (1) INV IN 12"HDPE= 6.81 (2) INV IN 12"HDPE= 6.11 (3) INV OUT (2) 12"RCP= 5.92
CB# 4 RIM EL= 9.57 (1) INV OUT 12"PVC= 7.32± W/ TRAP ON OUTLET	DMH# 5197 RIM EL= 10.14 (1) INV IN 12"RCP= 6.79 (2) INV IN 12"RCP= 6.83 (3) CL FLOW 36"RCP= 5.26
CB# 3763 RIM EL= 14.71 (1) INV OUT 12"RCP= 12.03	DMH# 5198 RIM EL= 12.50 (1) INV IN (2) 12"PVC= 5.95 (2) INV IN 10"RCP= 7.60 (3) CL FLOW 36"RCP= 5.85
CB# 3764 RIM EL= 15.05 WATER LEVEL= 11.10	DMH# 5202 RIM EL= 15.14 (1) INV IN 12"RCP= 11.47 (2) INV IN 12"RCP= 11.51 (3) INV IN 18"RCP= 9.96 (4) INV IN 12"RCP= 11.80 (5) INV OUT 18"RCP= 9.91
CB# 3765 RIM EL= 15.35 PLUGGED 13.5±	DMH# 5203 RIM EL= 17.38 (1) INV IN 12"DI= 13.82 (2) INV IN 15"CI= 11.30 (3) INV IN 12"CI= 11.83 (4) INV OUT 15"CI= 11.32
CB# 25851 RIM EL= 16.26 (1) INV IN 12"HDPE= 12.08 (2) INV OUT 12"HDPE= 12.01	DMH# 25178 RIM EL= 12.66 (1) INV IN 12"HDPE= 7.48 (2) 12"HDPE W/ TRAP
CB# 25852 RIM EL= 16.81 (1) INV IN 10"HDPE= 12.29 (2) INV OUT 12"HDPE= 12.01	
CB# 25853 RIM EL= 17.12 (1) INV OUT 10"HDPE= 12.78	

SEWER TABLE

SMH# 1 RIM EL= 11.80 (1) INV OUT 4"PVC FM= 7.47	SMH# 1567 RIM EL= 12.96 (1) PLUGGED (2) INV IN 12"RCP= 5.19 (3) INACTIVE (4) INV OUT 12"RCP= 4.71
SMH# 2 RIM EL= 11.53 (COULD NOT OPEN)	SMH# 1568 RIM EL= 12.86 (1) INV IN 8"PVC= 4.88 (2) INV IN 12"RCP= 4.68 (3) INV IN 24"RCP= 5.05 (4) INV OUT 12"RCP= 4.70
SMH# 1570 RIM EL= 10.16 (2) INV IN 15"RCP= 3.74	SMH# 2306 RIM EL= 13.84 (1) INV IN 10"RCP= 6.86 (2) INV IN 24"RCP= 8.88 (3) INV IN 6"PVC= 11.24 (4) INV OUT 24"RCP= 6.83 (23" CSU PER DPW)
	SMH# 2307 RIM EL= 15.50 CL FLOW= 10.66 (OVAL RCP 15"W X 18"H) (23" CSU PER DPW)

LEGEND:

110-5	TAX SHEET - LOT NUMBER
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
RCSC	ROCKINGHAM COUNTY SUPERIOR COURT
VGC	VERTICAL FACED GRANITE CURB
RWBL	MODULAR BLOCK RETAINING WALL
PK	PARK METER KIOSK
BN	BOLLARD
SG	SIGN
CS	HANDICAP SPACE
LP	LIGHT POLE
UL	UTILITY POLE WITH ARM & LIGHT
EM	ELECTRICAL MANHOLE
EC	ELECTRICAL CONDUIT
EM	ELECTRIC METER
GS	GAS SHUT OFF
GV	GAS VALVE
WGV	WATER GATE VALVE
WGS	WATER SHUT OFF VALVE
FR	FIRE CONNECTION
CB	CATCH BASIN
DMH	DRAIN MANHOLE
RS	ROOF DOWNSPOUT
SMH	SEWER MANHOLE
DT	DECIDUOUS TREE
CS	CONIFEROUS SHRUB
DS	DECIDUOUS SHRUB
WL	WATER LINE
SL	SEWER LINE
DL	DRAIN LINE
GL	GAS LINE
UE	UNDERGROUND ELECTRIC
UC	UNDERGROUND COMMUNICATIONS
CC	CEMENT CONCRETE
BP	BRICK PAVERS
RW	RETAINING WALL
LA	LANDSCAPED AREA
12.5	SPOT GRADE
△	SEE SIGNAGE TABLE
▲	SEE BUILDING ELEVATION TABLE
→	EXISTING TRAFFIC FLOW SYMBOL

ABUTTERS LIST

MAP-LOT	OWNER OF RECORD	DEED REF.
117-2	JAMER REALTY, INC. 80 HANOVER ST, PORTSMOUTH, NH 03801	3093/1283
117-4	SJW LTD C/O GENE FISK & ASSOCIATES, LLC 4 GREENLEAF WOODS DR, SUITE 102 PORTSMOUTH, NH 03801	2574/495
125-1	PARADE OFFICE, LLC C/O GATHARTS PRIVATE INVESTMENTS 31 MILK STREET, SUITE 501, BOSTON, MA 02109	N/A
126-1A	NORTHERN TIER REAL ESTATE ACQUISITION & DEVELOPMENT, LLC C/O JOHN J. DUSSI 4 WOODY LN, WEST NEWBURY, MA 01985	4814/563
126-2	25 MAPLEWOOD AVENUE, LLC 41 INDUSTRIAL DR, EXETER, NH 03833	6068/2230
126-3	CITY OF PORTSMOUTH 1 JUNKINS AVE, PORTSMOUTH, NH 03801	4701/534

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 48°33'05" E	20.00
L2	N 49°44'19" E	19.83
L3	N 61°31'47" E	1.00
L4	S 49°44'19" W	20.06

NOTES:

- OWNER OF RECORD..... BENDETSON-PORTSMOUTH REALTY TRUST C/O CABOT HOUSE, INC., 10 INDUSTRIAL WAY, AMESBURY, MA 01913
ADDRESS..... HOUSE, INC., 10 INDUSTRIAL WAY, AMESBURY, MA 01913
DEED REFERENCE..... 2402/1201
TAX SHEET / LOT..... 126-1
- THIS PLAN IS BASED ON A FIELD SURVEY BY JAMES VERRA AND ASSOCIATES, INC. 3/2014, 4/2017 & 12/2019. ON SITE CONTROL ESTABLISHED USING SURVEY GRADE GPS UNITS. HORIZONTAL DATUM: NAD 1983 (1986 ADJUSTMENT) PRIMARY BM: NHDOT 379-0150 (PORTSMOUTH TRAFFIC CIRCLE) VERTICAL DATUM: NAVD 1988 PRIMARY BM: CITY CONTROL POINT "ALBA"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- SEE ROCKINGHAM COUNTY SUPERIOR COURT NOTICE OF DECISION DATED 3/18/2015, RCRD BOOK 5626, PAGE 1529. ALSO SEE STIPULATION DATED 1/30/2015, RCRD BOOK 5626, PAGE 1531.
- THE SUBJECT TRACT LIES IN ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP 33015C0259E, EFFECTIVE DATE MAY 17, 2005, BY FEMA.

REFERENCE PLANS:

- PLAT OF LAND, 64 VAUGHAN MALL, PORTSMOUTH, N.H., FOR BENDETSON-PORTSMOUTH REALTY TRUST, REVISED TO 9/17/2018, RCRD PLAN D-41080.
- CONDOMINIUM SITE PLAN, THE PROVIDENT CONDOMINIUM, 25 MAPLEWOOD AVENUE, PORTSMOUTH, N.H., FOR 25 MAPLEWOOD AVENUE, LLC., DATED 12/20/2019, RCRD PLAN D-41922.
- EXISTING CONDITIONS PLAN, PROPOSED SITE DEVELOPMENT PLANS, 25 MAPLEWOOD AVENUE, PORTSMOUTH, N.H., BY JAMES VERRA AND ASSOCIATES, INC., DATED 4/18/2017, NOT RECORDED.

SIGNAGE TABLE

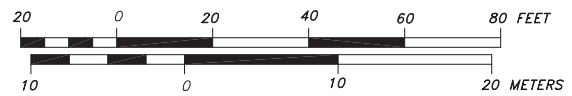
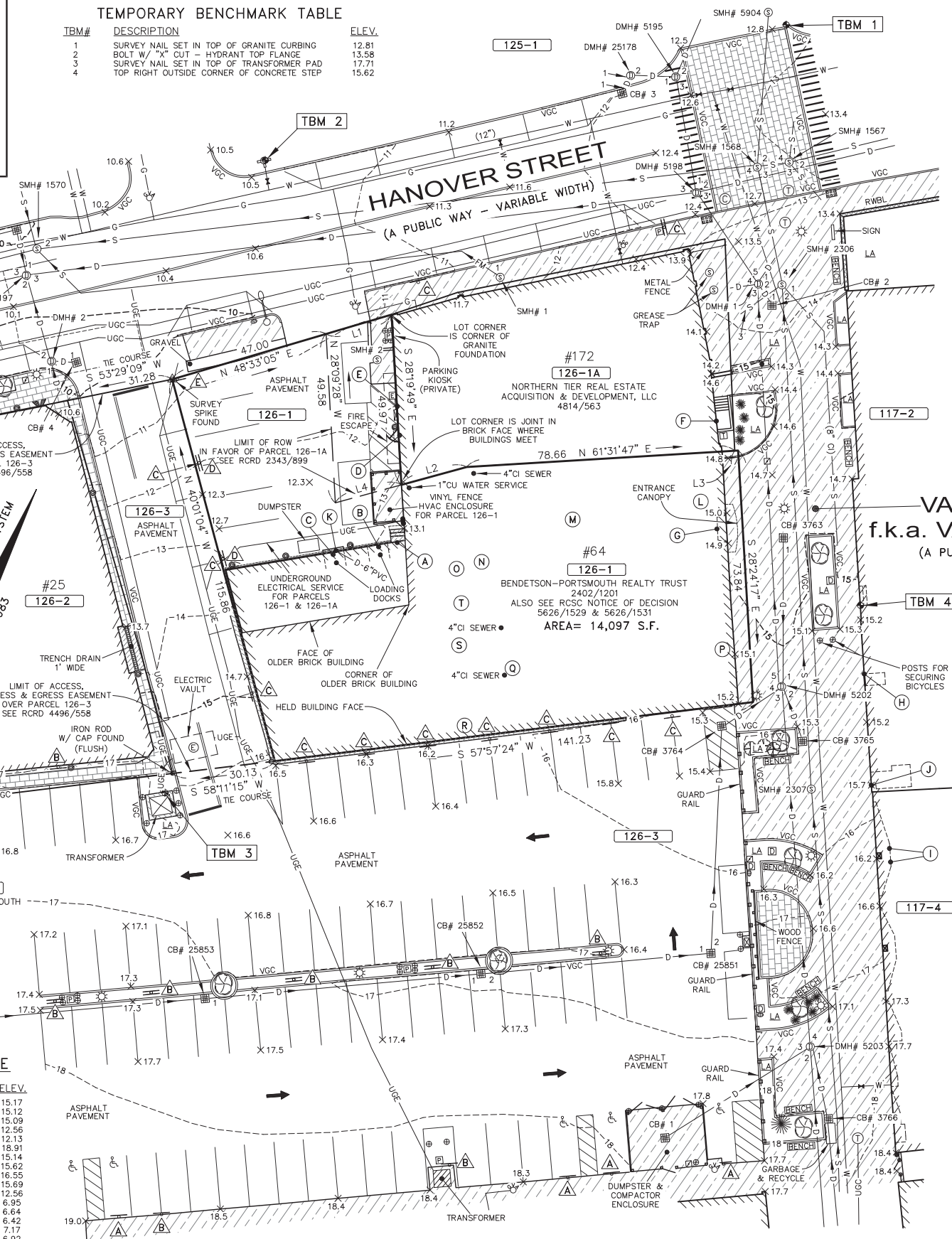
KEY

DESCRIPTION
A HANDICAP PARKING
B 3 HOUR PARKING/PAY AT KIOSK
C RESERVED PARKING 7AM-7PM
D PAID PARKING 24/7
E STOP

BUILDING ELEVATION TABLE

KEY

DESCRIPTION	ELEV.
A FF CONCRETE AT ENTRANCE	15.17
B FF CONCRETE AT LOADING DOCK	15.12
C FF CONCRETE AT LOADING DOCK	15.09
D CONCRETE THRESHOLD AT ENTRY	12.56
E CONCRETE THRESHOLD AT ENTRY	12.13
F CONCRETE THRESHOLD AT ENTRY	18.91
G ALUMINUM THRESHOLD AT ENTRY	15.14
H TOP OF CONCRETE LANDING	15.62
I ALUMINUM THRESHOLD AT ENTRY	16.55
J TOP OF CONCRETE LANDING	15.69
K INVERT OUT 6"PVC CULVERT	12.56
L TOP OF CONCRETE BASEMENT	6.95
M TOP OF CONCRETE BASEMENT FLOOR	6.64
N TOP OF CONCRETE BASEMENT FLOOR	6.42
O TOP OF CONCRETE BASEMENT FLOOR	7.17
P TOP OF CONCRETE BASEMENT FLOOR	6.92
Q TOP OF CONCRETE BASEMENT FLOOR	6.67
R TOP OF CONCRETE BASEMENT FLOOR	7.07
S TOP OF CONCRETE BASEMENT FLOOR	6.77
T TOP OF CONCRETE BASEMENT FLOOR	6.26



PRELIMINARY
SUBJECT TO CHANGE

SURVEYOR:
James Verra and Associates, Inc.
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801- 7876
603-436-3557
JOB NO: 23524-A
PLAN NO: 23524-A

ENGINEER:
ALTUS ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
ENGINEERING REVIEW

ISSUE DATE:
PRELIMINARY

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	ENGINEERING REVIEW	JV	2/3/20

DRAWN BY: JCS
APPROVED BY: JV
DRAWING FILE: 23524-A.DWG

SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

OWNER:
BENDETSON-PORTSMOUTH REALTY TRUST
C/O CABOT HOUSE, INC.
10 INDUSTRIAL WAY
AMESBURY, MA 01913
ASSESSOR'S PARCEL 126-1

PROJECT:
PROPOSED SITE DEVELOPMENT PLANS
64 VAUGHAN MALL
PORTSMOUTH, N.H.
ASSESSOR'S PARCEL 126-1

TITLE:
EXISTING CONDITIONS PLAN

SHEET NUMBER:
Sheet 4

P5042

APPROVED BY THE PORTSMOUTH PLANNING BOARD

THE SOLE PURPOSE OF THIS PLAN IS TO DEPICT THE LOCATION OF EXISTING AND PROPOSED IMPROVEMENTS ON THE SITE. RECORDING OF THIS PLAN WAS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL.

FOR JAMES VERRA & ASSOCIATES, INC.

CHAIRMAN _____ DATE _____

DATE _____

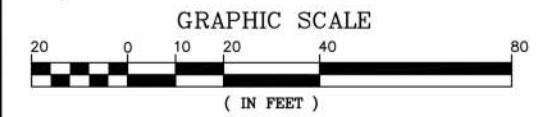
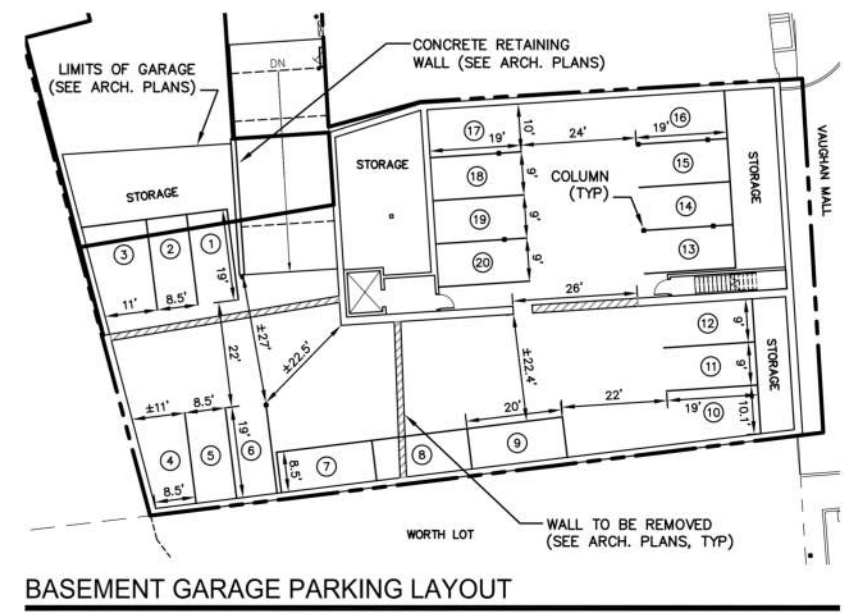
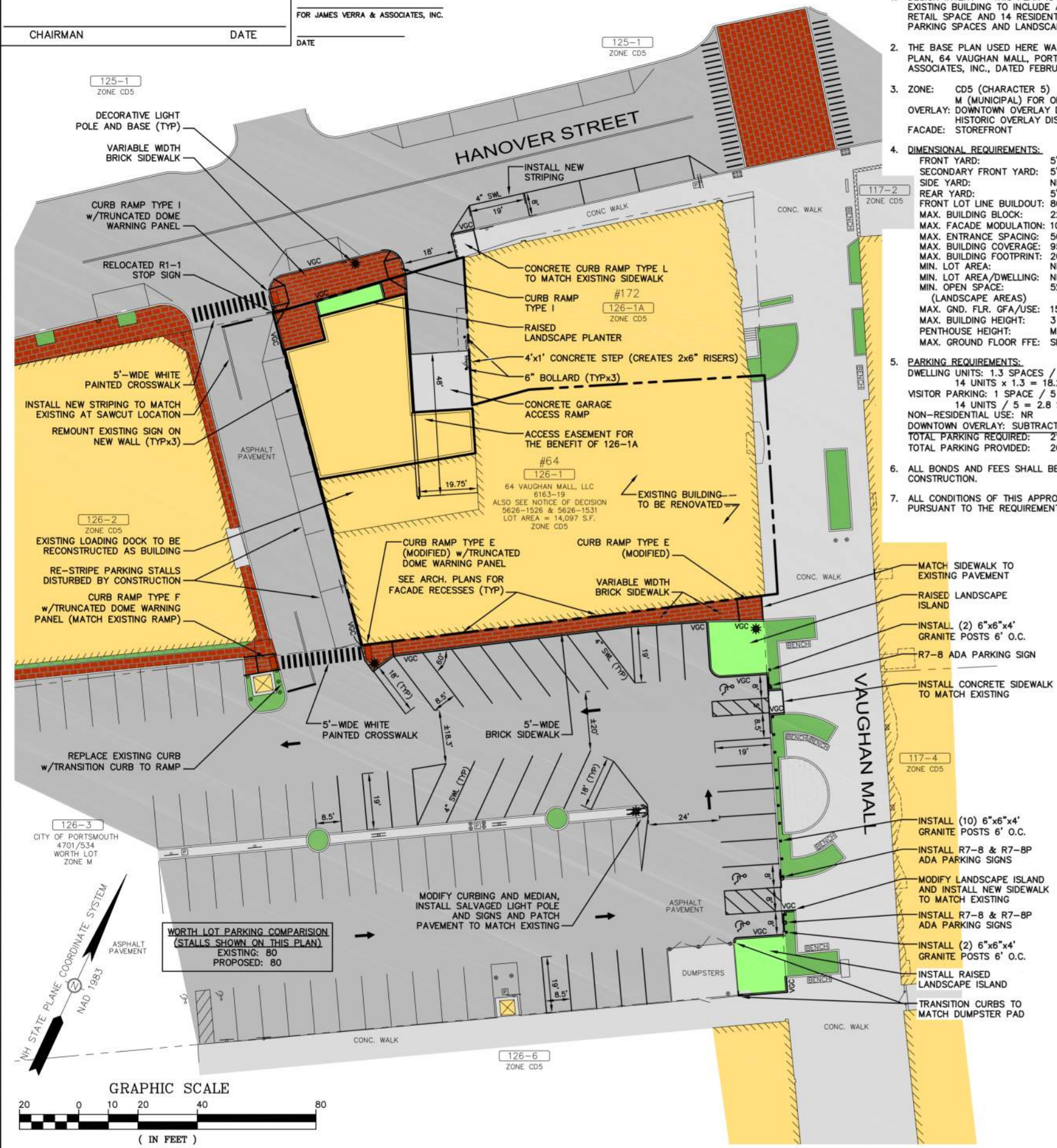
NOTES

- DESIGN INTENT - THIS PLAN IS INTENDED TO DEPICT THE RETROFIT OF THE EXISTING BUILDING TO INCLUDE AN ADDITION, UNDERGROUND PARKING GARAGE, RETAIL SPACE AND 14 RESIDENTIAL UNITS ALONG WITH A SIDEWALK, MODIFIED PARKING SPACES AND LANDSCAPE ISLANDS ON THE ADJUTING WORTH LOT.
- THE BASE PLAN USED HERE WAS DEVELOPED FROM "EXISTING CONDITIONS PLAN, 64 VAUGHAN MALL, PORTSMOUTH, NH" BY JAMES VERRA AND ASSOCIATES, INC., DATED FEBRUARY 3, 2020.
- ZONE: CD5 (CHARACTER 5)
M (MUNICIPAL) FOR OFFSITE IMPROVEMENTS ON WORTH LOT
OVERLAY: DOWNTOWN OVERLAY DISTRICT
HISTORIC OVERLAY DISTRICT
FACADE: STOREFRONT
- DIMENSIONAL REQUIREMENTS:**

	EXISTING	PROPOSED
FRONT YARD:	5' MAX. ±4.3'	SAME ±5'
SECONDARY FRONT YARD:	5' MAX. ±58.1'	SAME ±5'
SIDE YARD:	NR	0'
REAR YARD:	5'	±0.15'
FRONT LOT LINE BUILDOUT:	80% WIDTH MIN.	100%
MAX. BUILDING BLOCK:	225'	
MAX. FACADE MODULATION:	100'	
MAX. ENTRANCE SPACING:	50'	
MAX. BUILDING COVERAGE:	95%	±70.0%
MAX. BUILDING FOOTPRINT:	20,000 S.F.	±10,008 S.F.
MIN. LOT AREA:	NR	14,097 S.F.
MIN. LOT AREA/DWELLING:	NR	0%
MIN. OPEN SPACE:	5%	±5.1%
(LANDSCAPE AREAS)		0 S.F. ±719 S.F.
MAX. GND. FLR. GFA/USE:	15,000 S.F.	>15,000 S.F. SAME
MAX. BUILDING HEIGHT:	3 STORIES OR 40'	±40'
PENTHOUSE HEIGHT:	MAX. HEIGHT +2'	±54.05'
MAX. GROUND FLOOR FFE:	SIDEWALK GRADE +3'	
- PARKING REQUIREMENTS:**

DWELLING UNITS: 1.3 SPACES / DWELLING UNIT OVER 750 S.F.
14 UNITS x 1.3 = 18.2 SPACES REQUIRED
VISITOR PARKING: 1 SPACE / 5 DWELLING UNITS (FOR LOT W/OVER 4 UNITS)
14 UNITS / 5 = 2.8 SPACES REQUIRED
NON-RESIDENTIAL USE: NR
DOWNTOWN OVERLAY: SUBTRACT 4 SPACES/LOT
TOTAL PARKING REQUIRED: 21 SPACES
TOTAL PARKING PROVIDED: 20 SPACES (UNDERGROUND)
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- ALL CONDITIONS OF THIS APPROVAL SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- AREA OF DISTURBANCE IS UNDER 43,560 SF. COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT IS NOT REQUIRED.
- PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW, OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3"-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS. PAVEMENT MARKINGS SHALL BE INSTALLED AT LEAST 14-DAYS AFTER INSTALLATION OF WEARING COURSE PAVEMENT. CONTRACTOR SHALL APPLY TWO (2) COATS OF ALL PAVEMENT MARKINGS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- UNLESS OTHERWISE NOTED, ALL NEW CURBING SHALL BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 4'.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF BOTH THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- SITWORK CONTRACTOR SHALL PREPARE A LICENSED LAND SURVEYOR (LLS) STAMPED AS-BUILT SITE PLAN & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.
- TRASH AND RECYCLING SHALL BE STORED INSIDE BUILDING.
- THIS DEVELOPMENT IS SUBJECT TO LICENSING AGREEMENTS W/ THE CITY COUNCIL.
- RESTAURANTS SHALL NOT OCCUPY BUILDING WITHOUT THE INSTALLATION OF A GREASE TRAP MEETING CITY CODE.
- ALL SIDEWALKS TO BE CONSTRUCTED WITHIN PROJECT LIMITS SHALL BE BRICK. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PORTSMOUTH DPW TO CONFIRM BRICK SPECIFICATIONS.
- STREET ADDRESSES FOR EACH USE SHALL BE DETERMINED BY PORTSMOUTH FIRE DEPARTMENT & DPW.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN ON THE PLAN, OR TRUCKED OFF SITE.
- BUILDING USES BY FLOOR:**

BASEMENT:	±10,409 S.F. PARKING
FLOOR 1:	±12,348 S.F. RETAIL
FLOORS 2-3:	±12,348 S.F. RESIDENTIAL
FLOOR 4:	±5,124 S.F. RESIDENTIAL
TOTAL:	±52,277 S.F.



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR: HDC

ISSUE DATE: APRIL 8, 2021

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	CLIENT REVIEW	EBS	05/21/20
1	TAC WORK SESSION	EBS	07/07/20
2	TAC	EBS	10/19/20
3	PB CONSULTATION	EBS	12/30/20
4	REV. BLDG. HEIGHT	EBS	01/26/21
5	TAC	EBS	03/22/21
6	RE. FOOTPRINT FOR HDC	EBS	04/08/21

DRAWN BY: EBS
APPROVED BY: EDW
DRAWING FILE: 5042-SITE.dwg

SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER:
64 VAUGHAN MALL, LLC
41 INDUSTRIAL DRIVE
EXETER, NH 0383

APPLICANT:
HAMPSHIRE DEVELOPMENT CORP.
41 INDUSTRIAL DRIVE
EXETER, NH 03833

PROJECT:
64 VAUGHAN MALL BUILDING RESTORATION
TAX MAP 126, LOT 1
64 VAUGHAN MALL
PORTSMOUTH, NH 03801

TITLE:
SITE PLAN
SHEET NUMBER:

Sheet 5

P5042



1 SOUTH ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION
1/16" = 1'-0"

EXTERIOR ELEVATIONS

64 Vaughan Mall

SCALE: 1/16" = 1'-0"
04/08/2021

Sheet 6



ARCHITECTS
INTERIORS
PLANNERS
COPYRIGHT © 2021



EXTERIOR ELEVATIONS

64 Vaughan Mall

SCALE: 1/16" = 1'-0"
04/08/2021

Sheet 7



ARCHITECTS
INTERIORS
PLANNERS

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1 VIEW.01



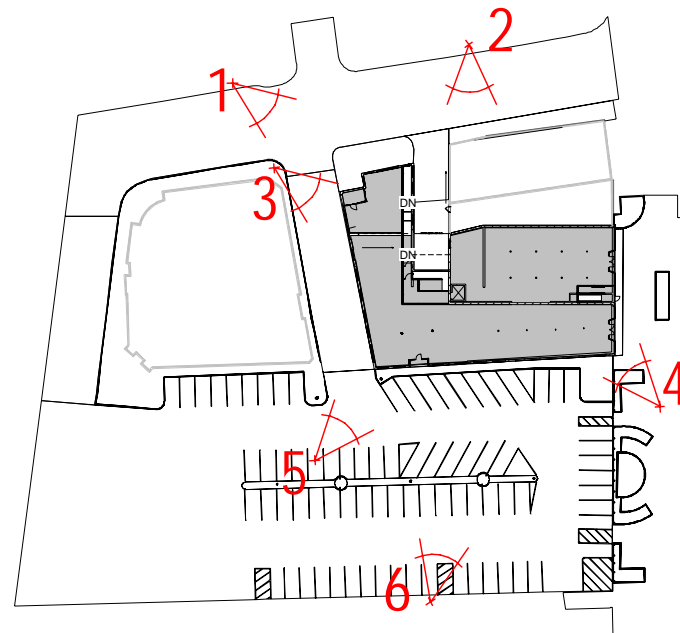
2 VIEW.02



3 VIEW.03



5 VIEW.05



01 LEVEL 1 - PERSPECTIVE PLAN
1" = 50'-0"



4 VIEW.04



6 VIEW.06

PERSPECTIVE VIEWS

64 Vaughan Mall

1" = 50'-0"
04/08/2021

Sheet 8



ARCHITECTS
INTERIORS
PLANNERS

53 Green Street

LUHD-257

Work Session



City of Portsmouth, NH

04/09/2021

LUHD-257

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jan 14, 2021

Applicant

Carla Goodknight
admin@cjarchitects.net
233 Vaughan Street
Suite 101
Portsmouth, NH 03801
6034312808

Location

53 GREEN ST
Portsmouth, NH 03801

Owner:

STONE CREEK REALTY LLC & C/O DOUGLAS
PINCIARO MGR
PO BOX 121 NEW CASTLE, NH 03854

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Demolish existing one-story buildings and construct new three- to five-story mixed-use commercial/residential building.

Description of Proposed Work (Planning Staff)

the demolition of the existing structure and the new construction of a 3-5 story mixed-use building

Project Representatives

Relationship to Project

Architect



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE CONTEXT VIEW - OPTION 1
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

 **CATHARTES**
EMBARC



1.0



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW - OPTION 1
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

 **CATHARTES**
EMBARC



1.1



LIGHTER TOP FLOOR DESIGN MATERIALS & CLEAN SKYLINE ELEMENTS. ACTIVATED ROOF TOP.



BRICK FACADE PEELS AWAY TO REVEAL LIGHT METAL SKIN. STRONG CAP ELEMENT AND VERTICAL TEXTURED ELEMENTS ADD DIMENSION.



STRONG CORNERS SUPPORT PROJECTING BALCONIES.



PROJECTING BALCONIES ABOVE. SOLID TEXTURED BASE ELEMENTS WITH HORIZONTAL AND VERTICAL BANDING.

DESIGN INSPIRATION:

ECHELON SEAPORT

THE MANDARIN ORIENTAL RESIDENCES





53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE CONTEXT VIEW - OPTION 2
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

 **CATHARTES**
EMBARC



1.3



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW - OPTION 2
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

 **CATHARTES**
EMBARC



1.4



STRONG VERTICAL ELEMENTS REACH THROUGH THE TOP FLOOR.
TOP FLOOR SETBACK FORMS WRAP AROUND BALCONIES WITH LIGHT HORIZONTAL RAIL DETAIL.
BOTH VERTICAL AND HORIZONTAL ELEMENTS HAVE A STRONG OVERHANG AND CAP.
ACTIVATED ROOF TOP

DESIGN INSPIRATION:

THE WATER CLUB

THE FLYNN



STRONG VERTICAL ELEMENTS EXTEND DOWN THROUGH THE MASONRY BASE.
ARTICLATED OVERHANG AND CAP PROFILE PROVIDE TEXTURE AGAINST THE SKYLINE.
VARIED HORIZONTAL BANDING WEAVES THROUGH ADDING INTEREST.



RECESSED CORNER BALCONIES ARE DEFINED BY HORIZONTAL BANDING AND LIGHT HORIZONTAL RAILS.



PUNCHED MASONRY OPENINGS FOR BALCONIES PROVIDE DEFINITION FOR THE STRONG VERTICAL FOCAL POINT.

THE DECORATIVE ARCHED BACKDROP CAN BE SEEN BEHIND LANDSCAPED EARTH BERM AND LOW SEATING WALL.



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

DESIGN ELEMENTS AND INSPIRATION - OPTION 2

HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

CATHARTES
EMBARC



1.5



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE CONTEXT VIEW - OPTION 3
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

 **CATHARTES**
EMBARC



1.6



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW - OPTION 3
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021

 **CATHARTES**
EMBARC



1.7

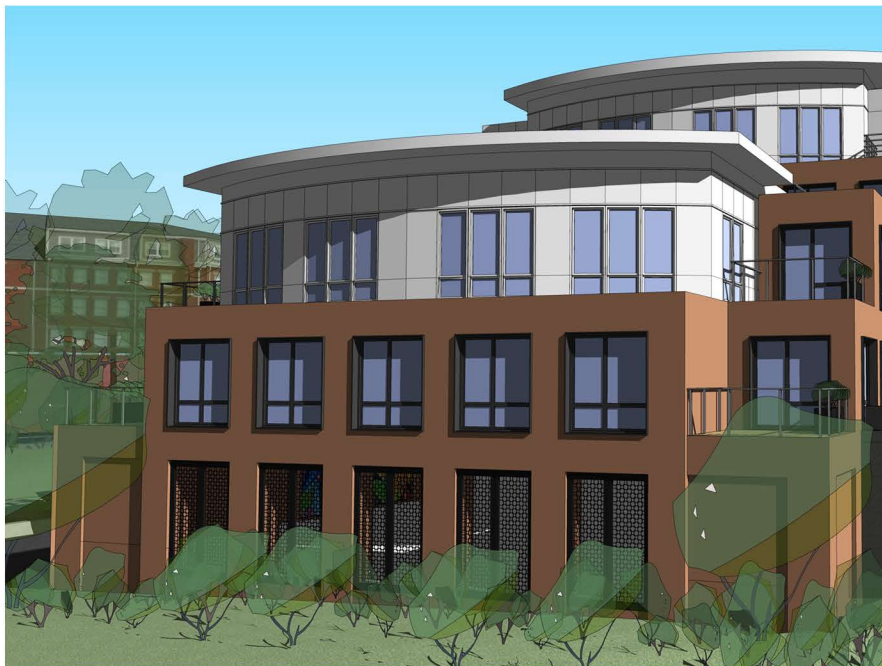


THIS CURVED NAUTICAL FOCAL POINT IS FLANKED WITH A RIBBON OF BALCONIES SET BACK FROM THE MASONRY FLOORS BELOW AND DEFINED BY A LIGHT HORIZONTAL RAIL DETAIL. THE RADIAL OVERHANG AND CAP HIGHLIGHT THE CURVED FORM AND OVERLOOK THE ACTIVATED ROOF TOP.

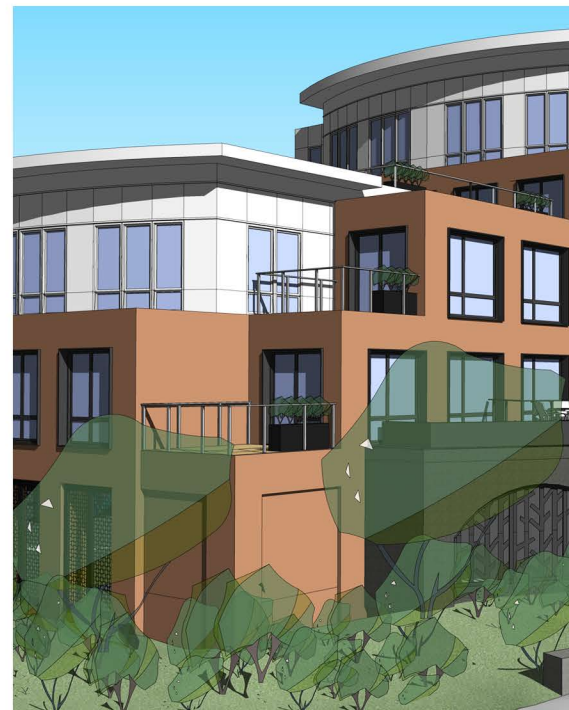
DESIGN INSPIRATION:

ROWES WHARF

NINE ON THE HUDSON



THE CURVED NAUTICAL THEME CONTINUES TO STEP TOWARD NORTH MILL POND AND IS SET BACK FROM THE MASONRY. A STRONG CAP PROFILE DEFINES THE CURVE AGAINST THE SKYLINE. PUNCHED OPENINGS WITH TALLER GRILLWORK PANELS AT THE BASE DEFINE THE MASONRY SUPPORT BELOW. SOLID MASONRY PANELED CORNERS SUPPORT THE BALCONIES ABOVE.



CORNER BALCONIES STEP BACK TO REVEAL A LIGHTER CURVED FACADE.



RECESSED BALCONY RIBBONS EXTEND DOWN TO REST ON A SOLID ARCHED BASE ELEMENT THAT CARRIES THE CURVILINEAR THEME TO THE GROUND. DECORATIVE GRILLWORK PROVIDES A BACKDROP FOR THE LANDSCAPED EARTH BERM AND LOW SEATING WALL.





VIEW FROM MARKET STREET

SITE DATA

ZONING DISTRICT: CHARACTER DISTRICT 5 (CD5)
 DOWNTOWN OVERLAY DISTRICT
 NORTH END INCENTIVE OVERLAY DISTRICT
 HISTORIC DISTRICT
 FLOOD PLAIN DISTRICT

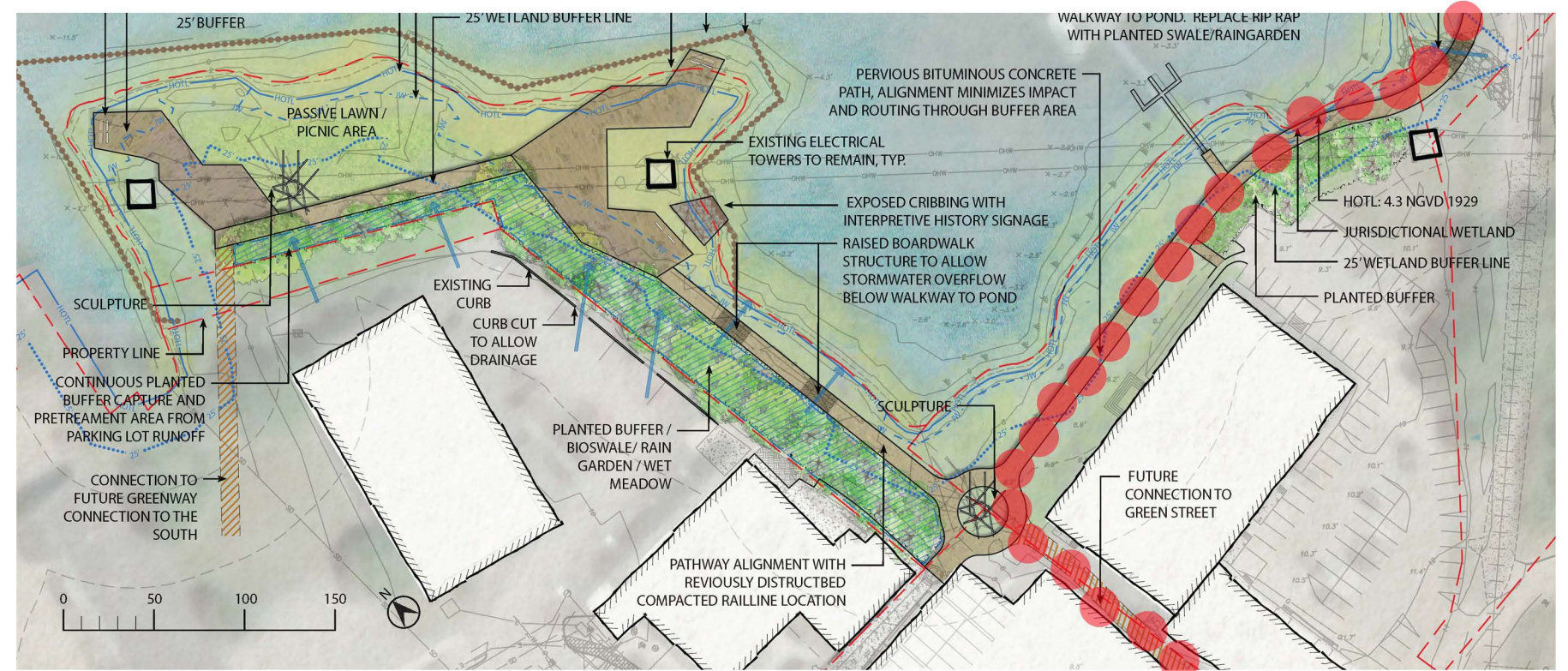
PROPOSED USE: MULTI-FAMILY RESIDENTIAL/COMMERCIAL
 PROPOSED LOT SIZE: +- 1.77 ACRES (+- 77,311 SF)
 19' WIDE SIDEWALK (1)

BUILDING AND LOT OCCUPATION:	REQUIRED	PROPOSED
MAXIMUM BUILDING COVERAGE:	95%	36%
MAXIMUM BUILDING FOOTPRINT:(2)	30,000 SF	27,738 SF
MINIMUM OPEN SPACE:	5%	35%
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	5,500 SF

BUILDING FORM (PRINCIPAL BUILDING):	REQUIRED	PROPOSED
BUILDING HEIGHT:(3)	5 STORIES	5 STORIES
MINIMUM GROUND STORY HEIGHT	60 FT	>60 FT
MINIMUM SECOND STORY HEIGHT:	12 FT	>12 FT
	10 FT	>10 FT

COMMUNITY SPACE:	REQUIRED	PROPOSED
	20%	20%
	15,462 SF	15,494 SF

- (1)- INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12
- (2)- INCREASE ABOVE 20,000 SF ALLOWED PER 10.5A46.10
- (3)- ADDITIONAL 1 STORY UP TO 10FT ALLOWED FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE



PROPOSED GREENWAY CONNECTON ON SITE

53 GREEN STREET
 PORTSMOUTH, NEW HAMPSHIRE

NORTH MILL POND GREENWAY

HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021



2.0



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

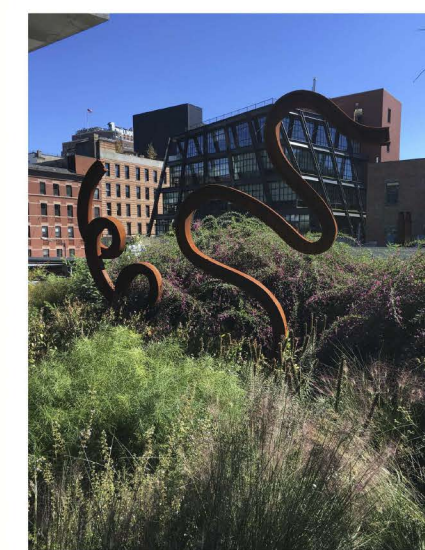
LANDSCAPE PLAN
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021



Pavers



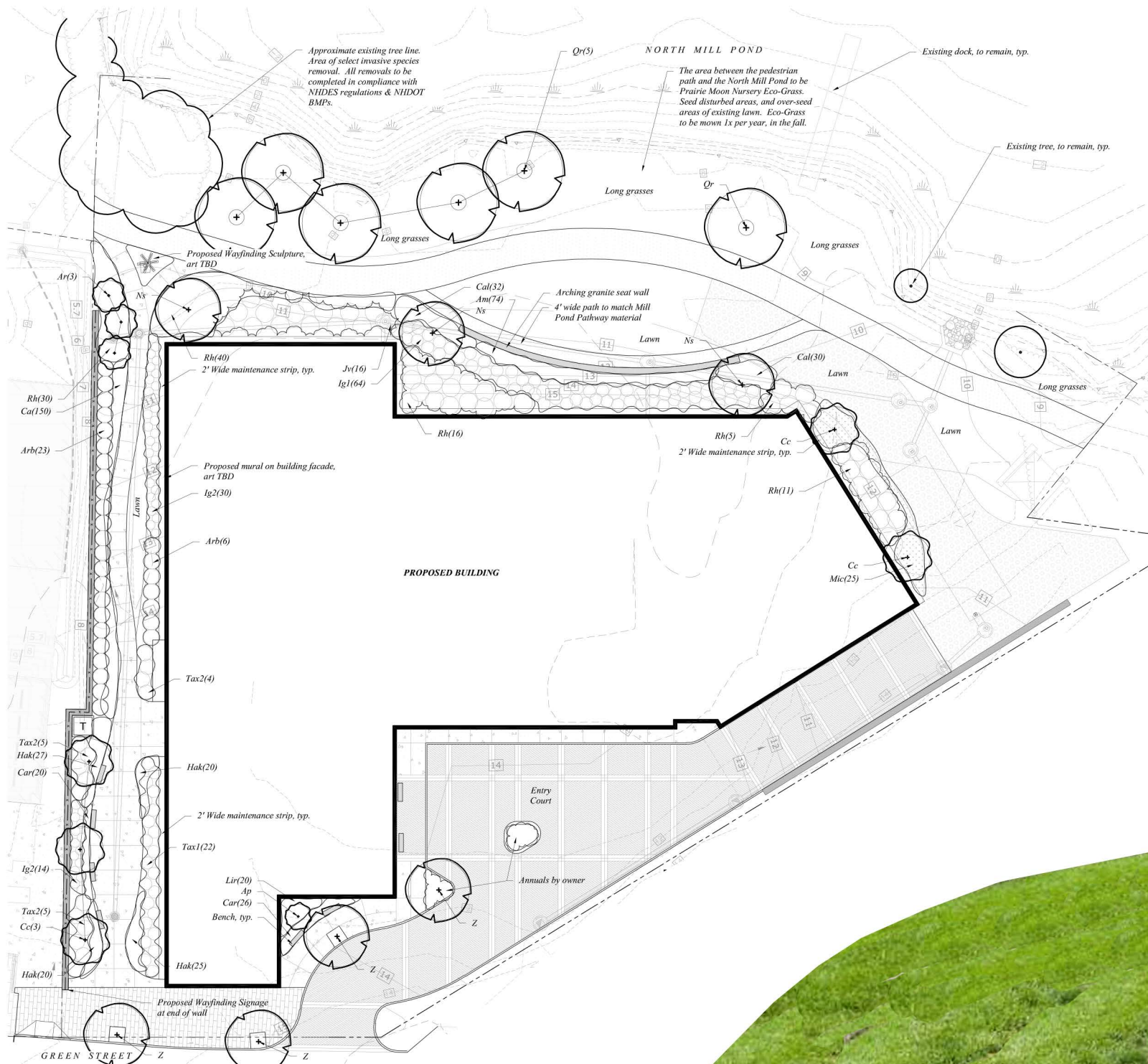
Murals



Sculptures - Images



Wayfinding Signage



Plant List

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
TREES					
Ap	<i>Acer palmatum</i>	Japanese Maple	1	4-5' Ht	B&B, specimen, dwarf
Ar	<i>Acer rubrum 'Bowhall'</i>	Bowhall Red Maple	3	2.5-3' Cal	B&B
Cc	<i>Crataegus crus-galli 'Inermis'</i>	Thornless Cockspur Hawthorn	5	2.5-3' Cal	B&B
Ns	<i>Nyssa sylvatica 'Red Rage'</i>	Black Tupelo	3	4' Cal	B&B
Qr	<i>Quercus rubra</i>	Red Oak	6	2.5-3' Cal	B&B
Z	<i>Zelkova serrata 'Green Vase'</i>	Green Vase Zelkova	4	2.5-3' Cal	B&B
SHRUBS					
Rh	<i>Rhododendron maximum</i>	Rosebay Rhododendron	32	3-4' Ht	B&B
Mic	<i>Microbiota decussata</i>	Russian Cypress	25	3 gal	
Tax2	<i>Taxus media 'Greenwave'</i>	Greenwave Yew	14	5 gal	
Ig1	<i>Ilex glabra 'Compacta'</i>	Dwarf Inkberry	64	5 gal	
Ig2	<i>Ilex glabra 'Shamrock'</i>	Shamrock Inkberry	44	5 gal	full to ground
Jv	<i>Juniperus virginiana 'Emerald Sentinel'</i>	Emerald Sentinel Red Cedar	16	7-8' Ht	B&B
Rh	<i>Rhus aromatica 'Grow-Low'</i>	Grow Low Sumac	70	3 gal	
Tax1	<i>Taxus media 'Ever-Low'</i>	Ever-Low Yew	22	3 gal	
Arb	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Arborvitae	29	7-8' Ht	B&B
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS					
Am	<i>Amsonia hubrichtii</i>	Blue Star Flower	74	1 gal	
Ca	<i>Carex appalachica</i>	Appalachian Sedge	196	1 gal	
Cal	<i>Calamagrostis acutifolia 'Karl Foerster'</i>	Feather Reed Grass	62	1 gal	
Hak	<i>Hakonechloa macra</i>	Japanese Frost Grass	65	1 gal	
Lir	<i>Liriope spicata</i>	Lily Turf	20	1 gal	
Lawn	<i>Penninton Smartseed Tall Fescue Blend</i>				



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

SEATING WALL DETAIL
HISTORIC DISTRICT COMMISSION WORK SESSION 3: APRIL 7, 2021



3.1

150 Daniel Street

LUHD-290

Work Session



City of Portsmouth, NH

04/09/2021

LUHD-290

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 17, 2021

Applicant

Anne Whitney
archwhit@aol.com
9 Sheafe St
Portsmouth, NH 03801
603-427-2832

Location

150 DANIEL ST
Portsmouth, NH 03801

Owner:

WARNER HOUSE ASSOC
PO BOX 895 PORTSMOUTH, NH 03802

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Rebuild a Carriage House that was removed in the 1960's. The 2-Story Structure will be 18' x 32' and located on the corner of the north property line & Chapel Street.

Description of Proposed Work (Planning Staff)

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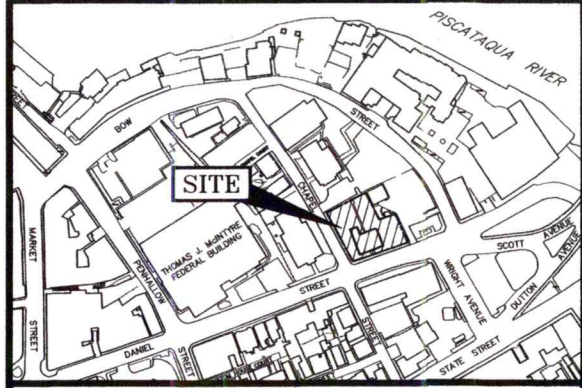
Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction





LOCATION MAP SCALE: 1" = 200'

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- ST BND STONE BOUND

PLAN REFERENCES:

- 1) PLAN OF LOT, DANIEL ST. COR. BOW ST., PORTSMOUTH, N.H. SCALE: 1 INCH = 20 FEET DATED 1928 BY JOHN W. DURGIN, CIVIL ENGINEER, PLAN 908, NOT RECORDED.
- 2) PLAN OF LOT, 150 DANIEL ST., PORTSMOUTH, N.H. SCALE: 1 IN. = 20 FT. DATED JAN. 1932 BY JOHN W. DURGIN, CIVIL ENGINEER. NOT RECORDED.
- 3) PLAN OF LOT, BADGER FARM CREAMERIES, BOW ST., PORTSMOUTH, N.H. SCALE: 1 IN. = 10 FT. DATED JULY 1944 BY JOHN W. DURGIN, CIVIL ENGINEER. FILE # 317, PLAN # 8174, NOT RECORDED.
- 4) PLAN OF LAND, PORTSMOUTH, N.H. THE WARNER HOUSE ASSOCIATION, SCALE: 1 IN. = 10 FT. DATED AUGUST 1982, BY JOHN W. DURGIN ASSOCIATES, FILE # 1394, PLAN # 50067, NOT RECORDED.
- 5) CITY HALL, PLAN OF LAND, PREPARED FOR CITY OF PORTSMOUTH, PORTSMOUTH, NEW HAMPSHIRE, SCALE: 1" = 20', DATED JUNE 22, 1988 BY THOMAS F. MORAN, INC., RCRD PLAN D-19094.
- 6) STANDARD PROPERTY SURVEY FOR PROPERTY AT 164 DANIEL STREET, PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE, OWNED BY THOMAS B. GRIFFIN, SCALE: 1" = 10', DATED 2/9/07. BY EASTERLY SURVEYING, DRAWING NO. 06850. NOT RECORDED.
- 7) PLAT OF LAND, 135 (aka 143) DANIEL STREET, PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCEL 105-19. OWNER CITY OF PORTSMOUTH, SCALE: 1" = 20', DATED 12/04/2012, BY JAMES VERRA AND ASSOCIATES, INC. RCRD PLAN D-37569.

RETAINING WALL HAS BEEN REBUILT ON CHURCH PROPERTY

REBUILT CARRIAGE HOUSE 32'

*Progress SKETCH
By: ANN R. WHITNEY
ARCHITECT
3/16/21*



CORNER PIN

106
1
N/F OLD CITY HALL P
126 DANIEL STREET
SUITE 200
PORTSMOUTH, N.H. 03801
3258/2321
D-19094

EPPARD
STREET
H. 03801
96

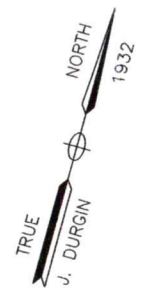
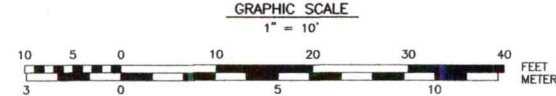
106
61
N/F ST. JOHNS CHURCH
101 CHAPEL STREET
PORTSMOUTH, N.H. 03801

106
63
N/F ST. JOHNS CHURCH
101 CHAPEL STREET
PORTSMOUTH, N.H. 03801

106
58
N/F NANCY L. GRIFFIN
184 DANIEL STREET
PORTSMOUTH, N.H. 03801
2532/883

106
60
N/F ST. JOHNS CHURCH
101 CHAPEL STREET
PORTSMOUTH, N.H. 03801

105
19
N/F 143 DANIEL STREET, LLC
41 INDUSTRIAL DRIVE, UNIT 20
EXETER, N.H. 03833
5400/1794
D-37569



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

- NOTES:
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 106 AS LOT 58.
 - 2) OWNERS OF RECORD:
WARNER HOUSE ASSOCIATION
P. O. BOX 895
PORTSMOUTH, N.H. 03802
879/372
 - 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. MAY 17, 2005.
 - 4) EXISTING LOT AREA:
13,356 S.F.
0.3066 AC.
 - 5) PARCEL IS LOCATED IN CENTRAL BUSINESS B, HISTORIC, AND DOWNTOWN OVERLAY DISTRICTS.
 - 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 2,000 S.F.
FRONTAGE: NO REQUIREMENT
SETBACKS: FRONT 0 FEET
SIDE 0 FEET
REAR 0 FEET
MAXIMUM STRUCTURE COVERAGE: 95%
MINIMUM OPEN SPACE: 0%
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 106, LOT 58.
 - 8) DATUM: NAVD 1988-MEAN SEA LEVEL
BENCHMARK: PID 0C0289, V31 USGS DISC

THE WARNER HOUSE ASSOCIATION
150 DANIEL STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	MONUMENTS SET	8/8/13
0	ISSUED FOR COMMENT	7/30/13

REVISIONS

SCALE: 1" = 10' JUNE 2013

EXISTING CONDITIONS SITE PLAN **C1**

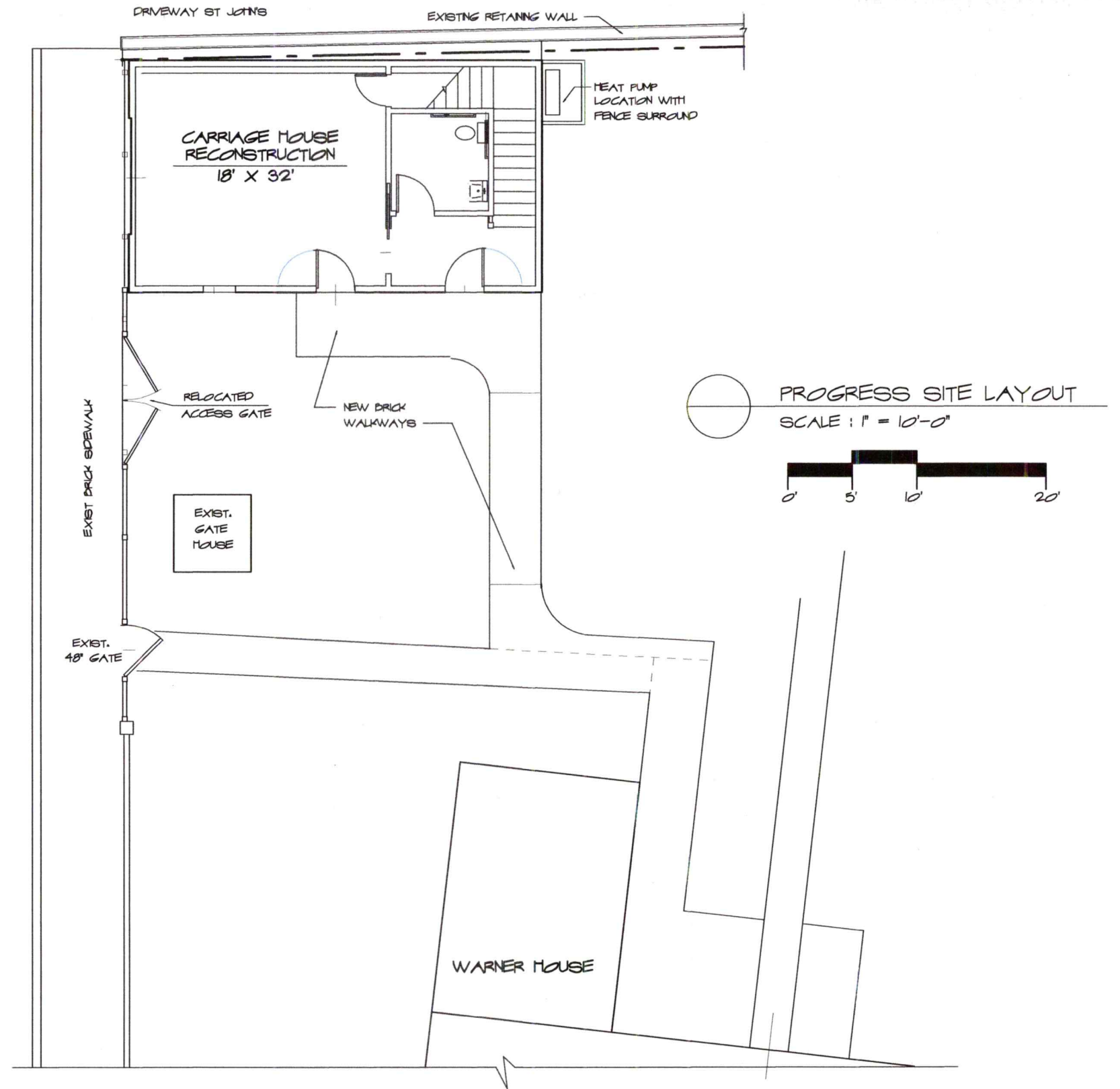



PHOTO OF ORIGINAL CARRIAGE HOUSE



CURRENT VIEW FROM DANIEL STREET

CHAPEL STREET



SCHMATIC DESIGN CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC. 150 DANIEL STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832  ANNE WHITNEY ARCHITECT	Project: 2102	Date: 3/16/21
		Revisions:	1 OF 4



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

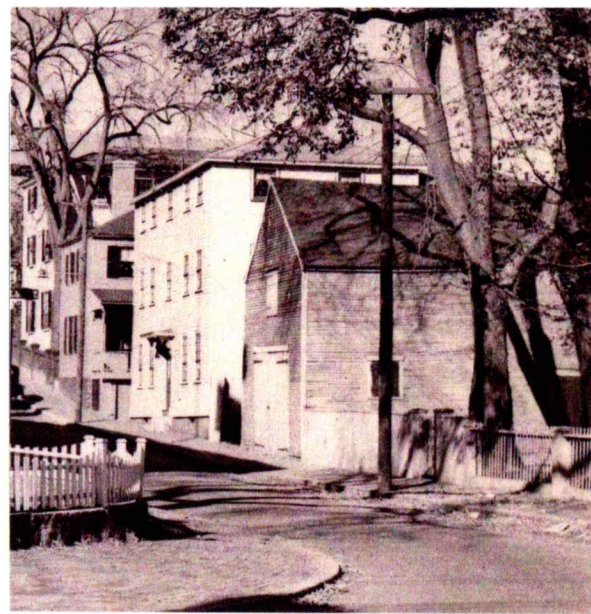
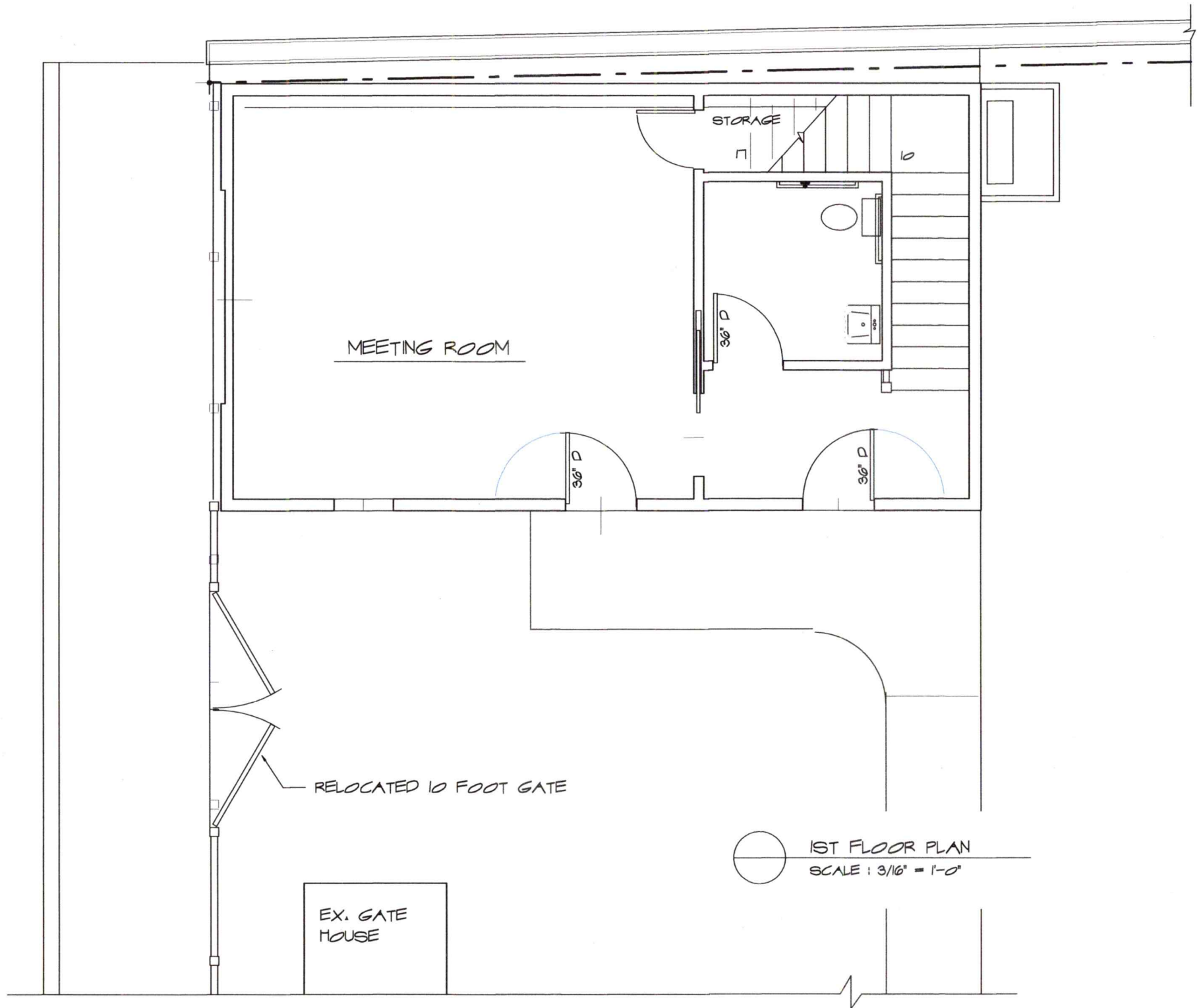


PHOTO OF ORIGINAL CARRIAGE HOUSE



1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"

Schematic Design

CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC.

150 DANIEL STREET

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

PORTSMOUTH, NH

Project: 2102

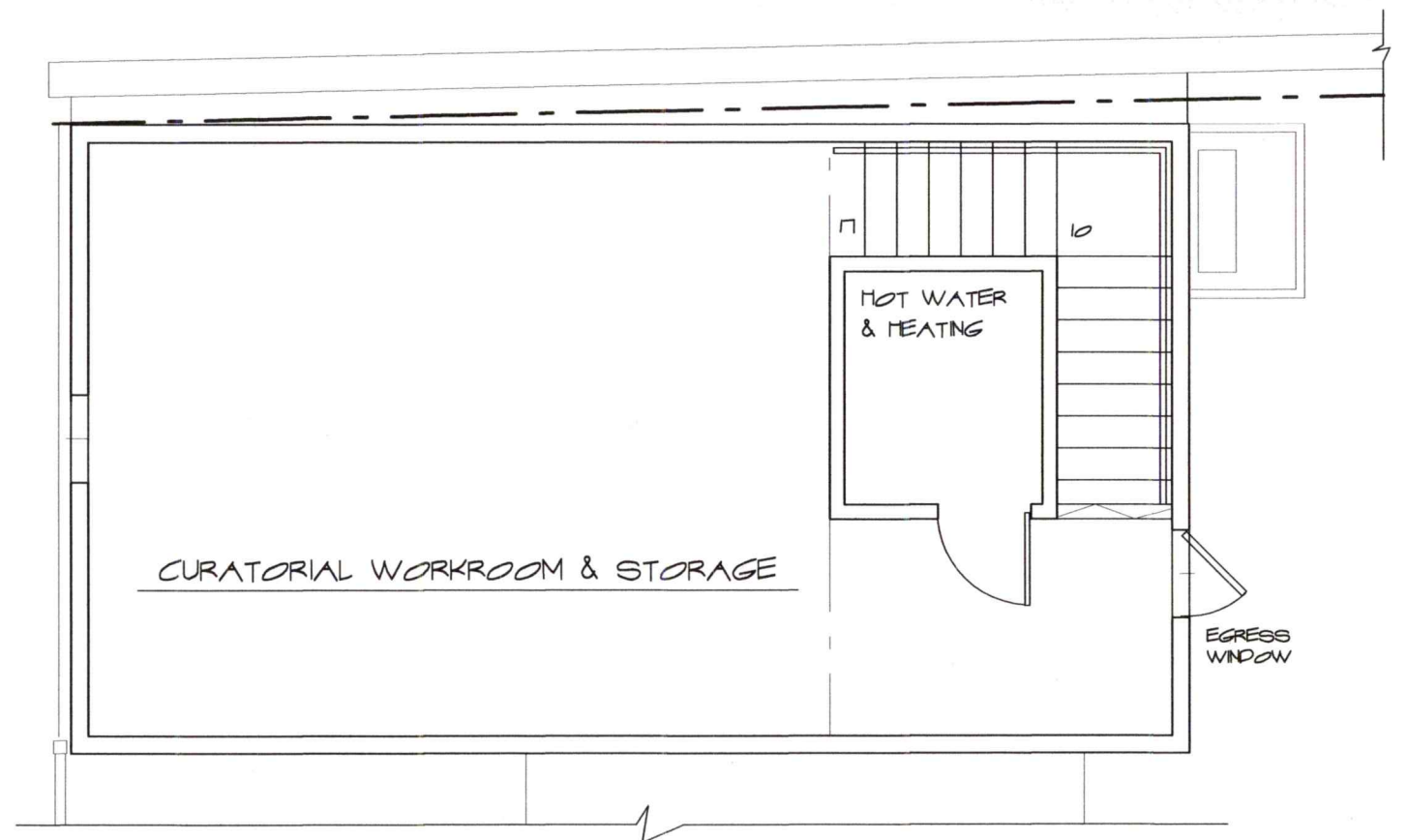
Revisions:

Date: 3/16/21

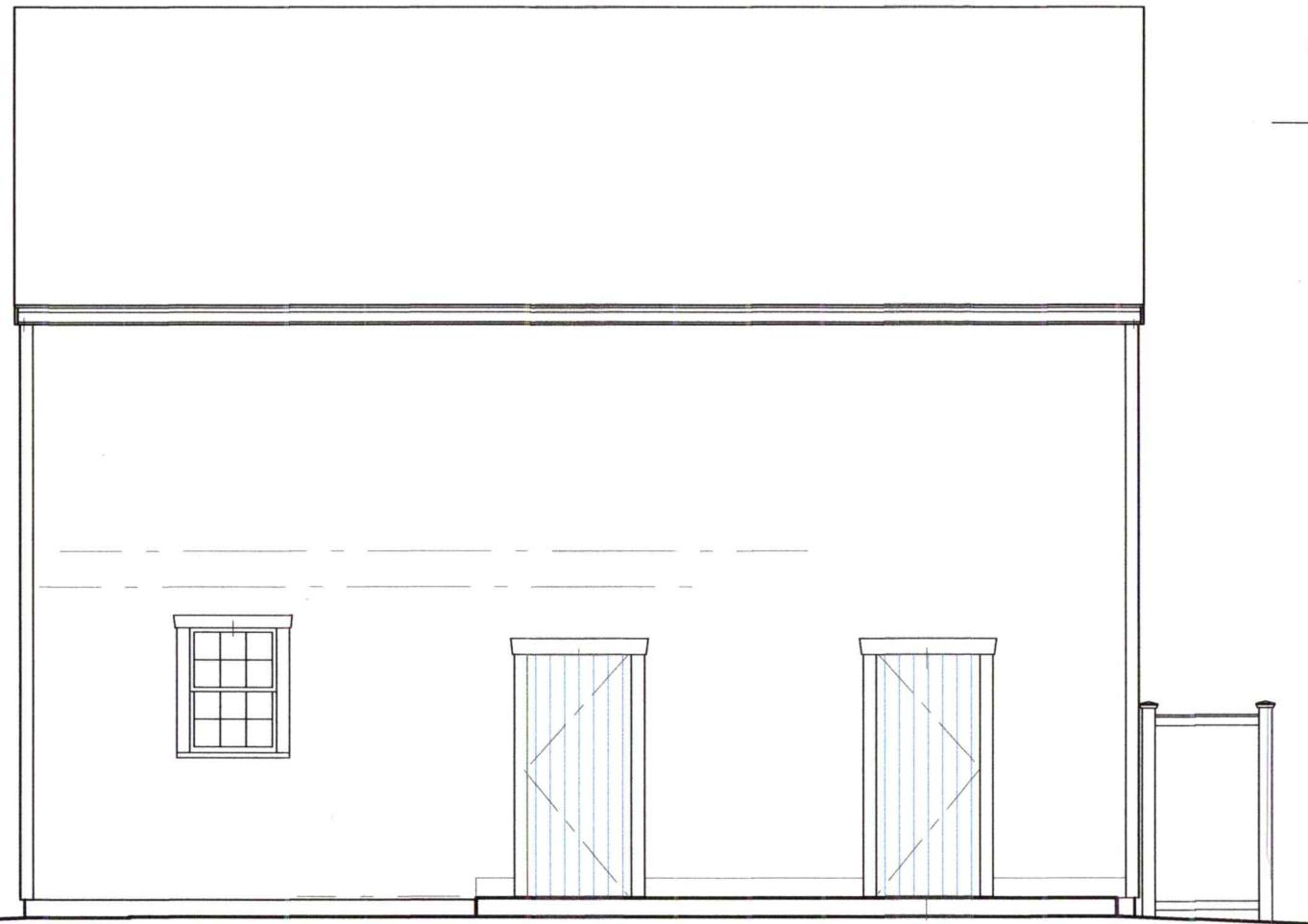
2 OF 4



VIEW EAST FROM CHAPEL STREET




2ND FLOOR PLAN
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

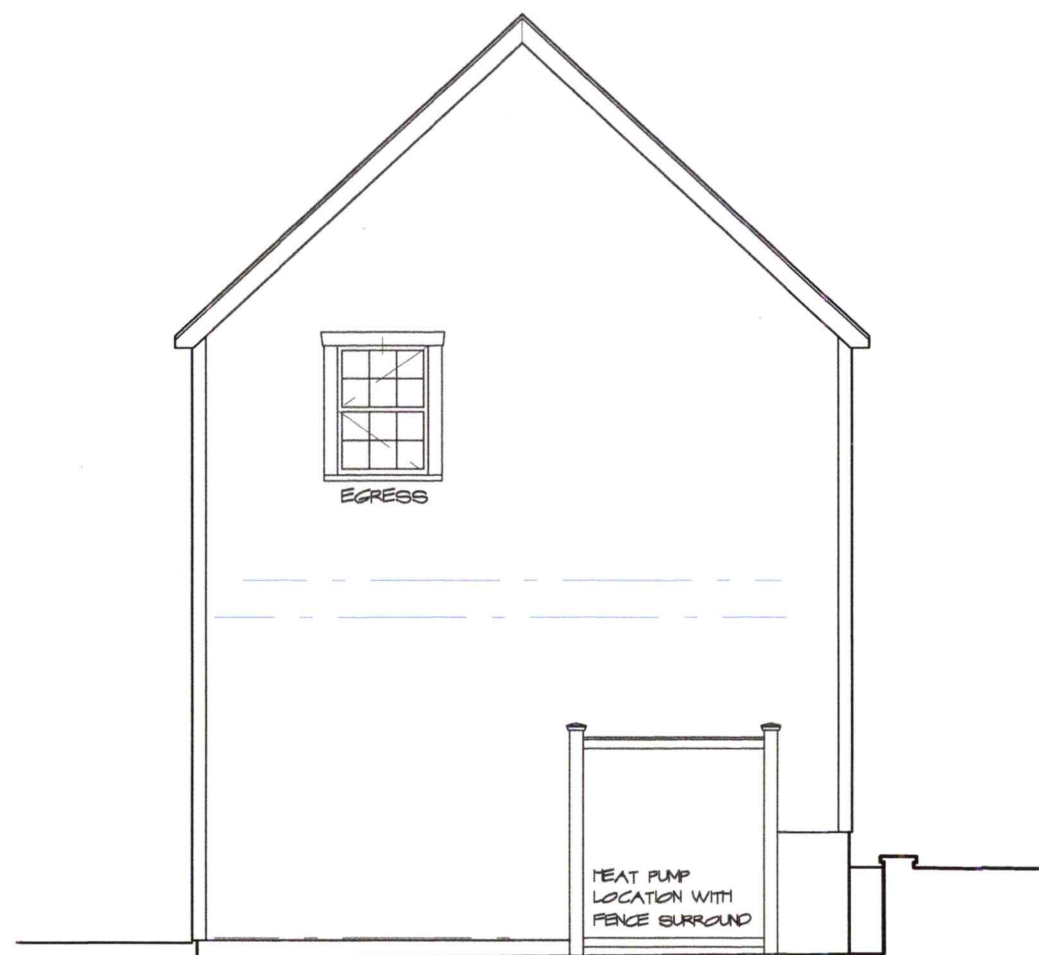


VIEW TO ST. JOHN'S FROM CHAPEL STREET

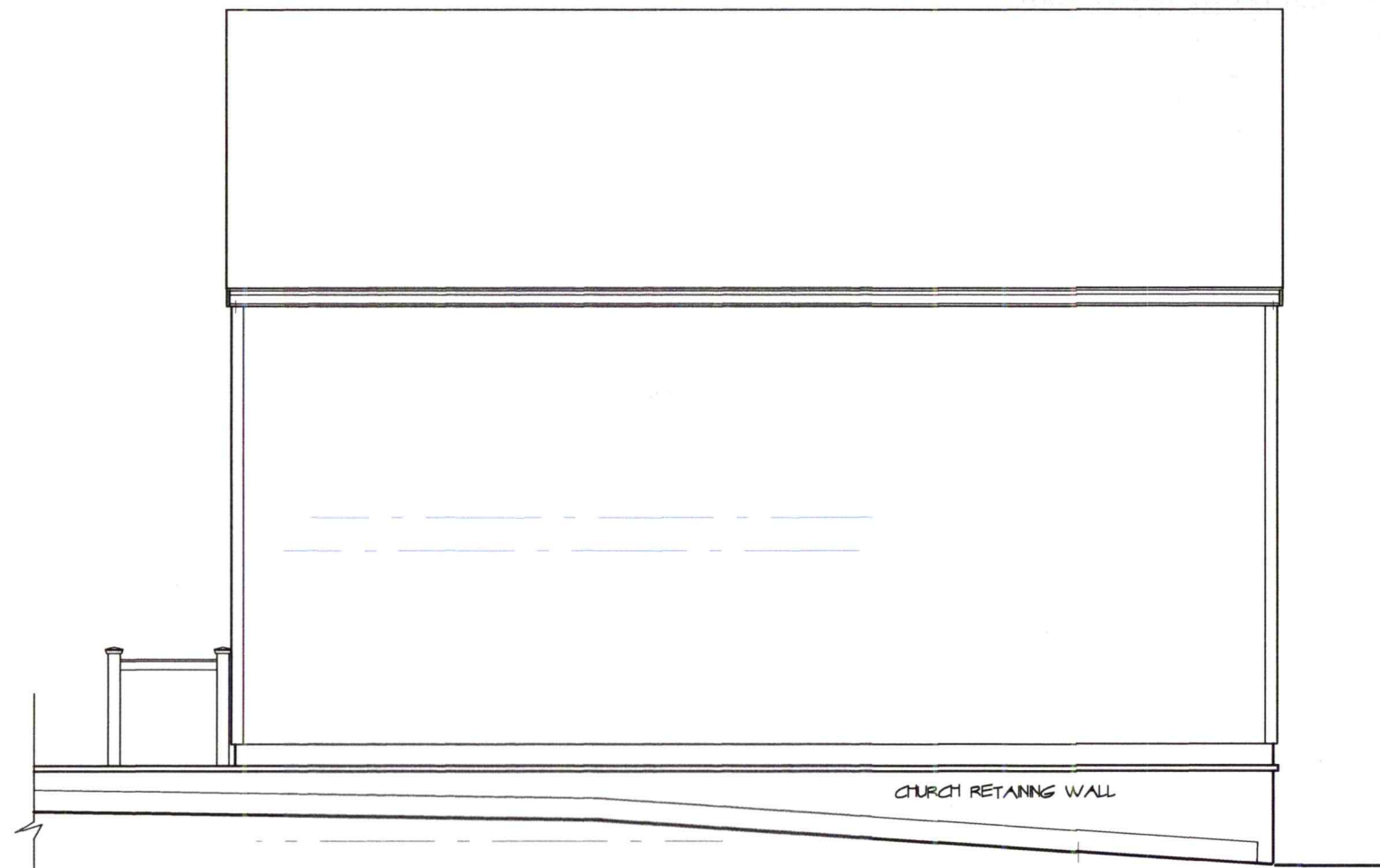
SCHEMATIC DESIGN CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC. 150 DANIEL STREET PORTSMOUTH, NH	 ANNE WHITNEY ARCHITECT 9 Sheeefe Street Portsmouth NH 03801 603-427-2832	Project: # 2102	Date: 3/16/21
		Revisions:	3 OF 4



VIEW OF CARRIGE HOUSE SITE LOOKING WEST




REAR ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH VIEW WITH EXISTING RETAINING WALL

SCHEMATIC DESIGN CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC. 150 DANIEL STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832 	Project: 2102	Date: 3/16/21
		Revisions:	4 OF 4