MEETING OF
THE HISTORIC DISTRICT COMMISSION

1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS

Members of the public also have the option to join the meeting over Zoom
*(See below for more details)**

6:30 p.m. **August 11, 2021**

AGENDA (revised on August 05, 2021)

The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.

I. ADMINISTRATIVE APPROVALS

1. 37 Whidden Street
2. 202 Court Street
3. 40 Howard Street
4. 111 Maplewood Avenue

II. PUBLIC HEARINGS (NEW BUSINESS)

1. (Work Session/Public Hearing) Requested by **Lucky Thirteen Properties, LLC, owner,** for property located at **361 Islington Street,** wherein permission is requested to allow new construction to an existing structure (construct 1-story side addition) and renovations to an existing structure (replace windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Raikic Realty of Hanover, LLC, C/O John & Cynthia Kacoyanis, owners,** for property located at **55 Hanover Street, Units 6A, 6B, 6C, and 6D,** wherein permission is requested to allow renovations to an existing structure (replace all windows in 4 units) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 and Lot 23 and lies within the Character District 4-L2 (CD4-L2), Downtown Overlay and Historic Districts.

B. Petition of **Philip & Joy Rowlands, owners,** for property located at **199 Middle Street,** wherein permission is requested to allow the demolition of the existing shed and the addition of a new shed on the property as per plans on file in the Planning Department. Said property is shown

on Assessor Map 127 as lot 6 and lies with the Mixed Research Office (MRO) and Historic Districts.

IV. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **238 Deer Street, LLC, owner,** for property located at **238 Deer Street,** wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

B. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners,** for property located at **137 Northwest Street,** wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

C. Work Session requested by **Dagny Taggart, LLC, owner,** for property located at **93 Pleasant Street,** wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

D. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners,** for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue,** wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

E. **REQUEST TO POSTPONE-** Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners,** for property located at **279 Marcy Street, Unit #3,** wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3rd floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.

F. **REQUEST TO END WORK SESSION-** Work Session requested by **Mary H. and Ronald R. Pressman, owners,** for property located at **449 Court Street,** wherein permission is requested to allow renovations to an existing structure (add 4th floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Port Harbor Land, LLC, owner,** for property located at **2 Russell Street and 0 Deer Street (2 lots),** wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

VI. ADJOURMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*
https://us06web.zoom.us/webinar/register/WN_Nz7CNhnJSEKHU7dyvl_ASQ

HDC

ADMINISTRATIVE APPROVALS

August 11, 2021

1.	**37 Whidden Street**	**- Recommended Approval**
2.	**202 Court Street**	**- TBD**
3.	**40 Howard Street**	**- Recommended Approval**
4.	**111 Maplewood Avenue**	**- TBD**

1. 37 Whidden Street - Recommended Approval

<u>Background</u>: The applicant is seeking approval for the removal of rotted tongue and groove wood around the rear of the house/cold storage area and replace with a composite tongue and groove material.

<u>Staff Comment</u>: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

City of Portsmouth, NH

08/06/2021

LUHD-373

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Aug 2, 2021

Applicant

Alison Zaeder
azaeder@gmail.com
37 Whidden Street
Portsmouth, NH 03801
609-571-7378

Location

37 WHIDDEN ST
Portsmouth, NH 03801

Owner:

GREEN JOHN F & ZAEDER ALISON L
37 WHIDDEN STREET PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Remove rotten tongue and groove wood underneath deck/cold storage and replace with composite tongue and groove to avoid future rot

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Alison Zaeder

Business Name (if applicable)

--

Mailing Address (Street)

37 Whidden Street

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

--

Email Address

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

☑

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

☑

I hereby certify that as the applicant for permit, I am

Owner of this property

37 Whidden Street
Portsmouth, NH 03801

Project Proposal

Significant rot has made it necessary to replace the rotten wood and install new boards at the rear of my home to keep out rain, rodents and prevent future rot. This area leads is below the deck and enters into a cold storage area.

Project: To remove all rotten tongue and groove boards enclosing the cold storage area at the rear of the home. Replace all boards with composite tongue and groove lumber.

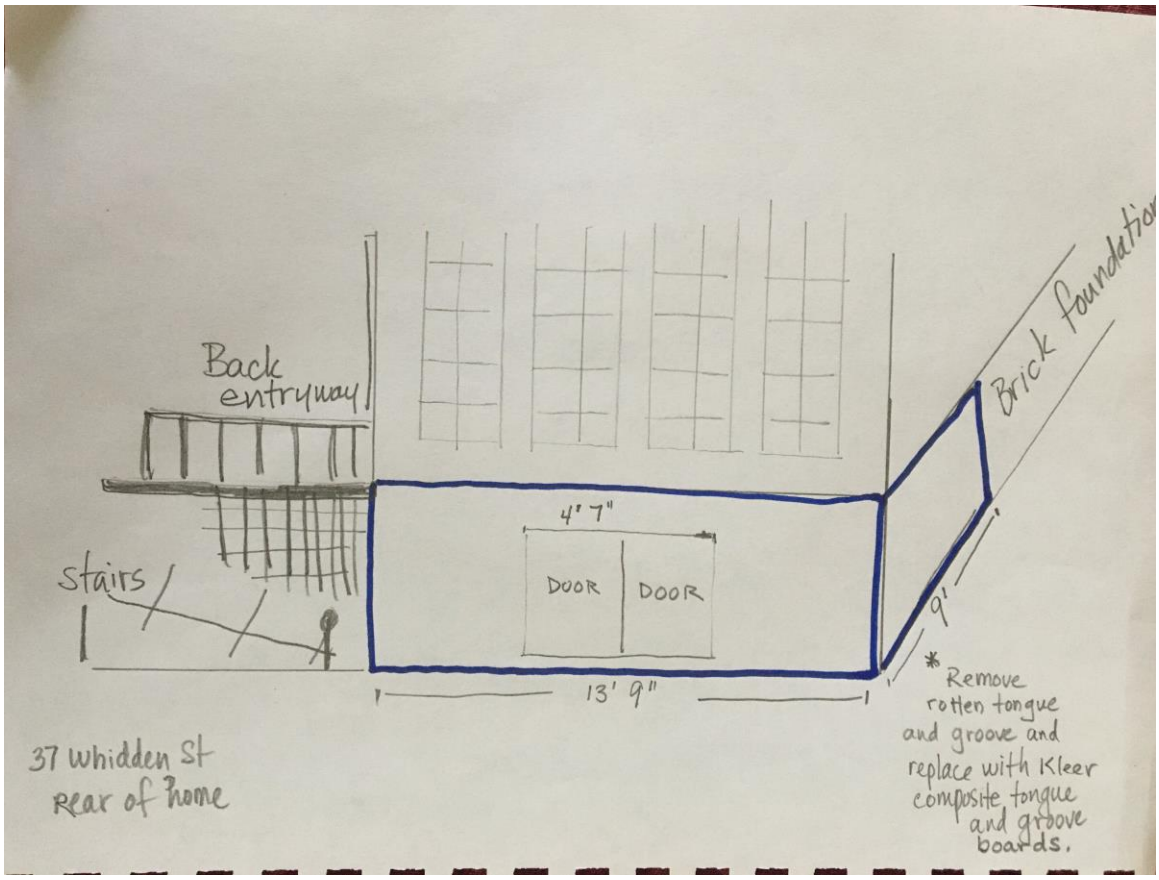
Enclosed in file for this proposal:
Proposal
Drawing with dimensions
Photos of back of home and rotten wood

Thank you

Alison Zaeder

Alison Zaeder
Homeowner
azaeder@gmail.com
609-571-7378


37
Whidden
BRUT
Rubbermaid


Back entryway
Brick foundation
4' 7"
DOOR
DOOR
stairs
9'
13' 9"
37 whidden St
Rear of home
* Remove rotten tongue and groove and replace with Kleer composite tongue and groove boards.

2. 202 Court Street - TBD

<u>Background</u>: The applicant is seeking approval for changes to a previously approved design.

<u>Staff Comment</u>: TBD

Stipulations:

1. _____
2. _____
3. _____

City of Portsmouth, NH

08/06/2021

LUHD-374

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Aug 5, 2021

Applicant

Matt Silva
matt@profilehomesnh.com
31 County Farm Rd
Dover, NH 03820
603-765-6648

Location

202 COURT ST
Portsmouth, NH 03801

Owner:

Matthew Silva Silva
ONE MIDDLE ST SUITE 4 PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Revision to planned selective demolition due to code compliance and structural defects found upon demolition

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

☑

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

☑

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

☐

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name

Owner Contact Street Address

Date: 8/4/21

Profile Homes NH
953 Islington St, Unit 22C
Portsmouth, NH 03801
603-433-2464

City of Portsmouth Historical District Commission

RE: 202 Court St Request for Administrative approval

Dear Members of the Historical District Commission,

Please see the attached request for administrative approval dated 8/4/21.

In response to an onsite meeting with Building Inspector Garand, Land Use Compliance Agent Hayes, and Planner Cracknell we are presenting you with the findings of the structure that has been approved through the HDC for construction previously.

Upon selective demolition of this building and working with building code and engineering we have discovered the need to selectively demolish and rebuild in exact size, scope and scale, areas of the building that are damaged, rotted or not on a proper foundation.

As these photos show and the building has areas of sever rot, a previous fire, and an original structure of the back portion of the building has multiple areas that are not on an adequate foundation. In order to pass the required building code we need to have a transparent discussion in order to remove and replace these areas noted in the engineers report and suggested by the inspector.

It is still out intention to rebuild the structure with the character of the renovation we aimed to achieved originally. We will be reusing materials from the building which will be replaced and reinstalled to meet the intention of telling the appealing story of this historic building though doing so in a manner that remains code compliant and maintains the welfare and best building practices available to the structure.

We appreciate the opportunity for discussion related to this property so we may comfortably continue construction and rebuilding.

Thank you,

Matt Silva
Profile Homes of NH

Attached is the description for these documents which relative to the exterior improvements which include:

New Widows
Solar Panels
New siding/trim
New Garage Doors
Railings of the building
New Front Façade
Fencing for shielding of the utilities and disposal areas

Introduction:
The property is located in the CD4-L1 zoning district within downtown. It is commonly known as the Wright Baker Auto Garage for the last 90 years, but for many others, the original Portsmouth Fire station prior to the current Portsmouth fire station built in 1920.

The proposed improvements to the site consist of converting the building from an existing auto mechanic garage with approved residential living above and into a 3 family condominium. Upon complete review of the plans in order to work within the restrictions of the variance relief we have received we are working to begin construction with improvement to revive the history of this structure.

SPECIFICATIONS:

Windows: The existing widows of the structure have been damaged or left without repair. While original to the building these windows do not appear to hold a significant amount of character to the

details of the building. The tradition aspects of wavy glass seen from this time period are not available for these.
With the advice of the board our company has elected to purchase Green Mountain Windows for there historical character aspects and details throughout the building and rebuild the windows with full size trim and sils as seen in the original time period of the building

Solar Panels: Our company has a long standing history of energy efficient improvements to historical and new construction buildings. In the method of the energy efficiency improvements to the air sealing and added insulation to the building we are seeking to allow owners of the building the rights to install solar panels on the southern side of the building. All panels will be a "full black Panel" with not aluminum edging shown.

Siding: The original wood siding of the building has been covered over with a aluminum siding which is in complete disrepair. We have elected to strip all layers of siding off the building. Installed a weather air barrier (WRB) against new sheathing of the building. Provide an added layer of exterior insulation and install new wood Clapboards to be painted on the structure.
Trim details will be done in wood to match the existing or original on the structure and from the historical photo's made available.

Garage Doors: The existing garage doors will be replaced with new garage doors similar to the fire station located next door. Above the doors we will locate the names of the previous fire equipment on the front of the building and above the rear unit garage doors. These include The Kearsarge, The Sampson and The Dearborn.
Lighting on the exterior of the building will be located above these doors and traditional to the age of the structure.

Front Façade and Shielding:
We will be removing the brick façade on the building now and re establishing the original look of the building with a enhanced corner board
The utility Shielding will be natural wood custom fencing

Metal Railings will be a standard all black posts and top rail.

Please note all photo's attached for representation and discussion

Thank you,

Matt Silva
Profile Homes

ATTAR
ENGINEERING, INC
CIVIL • STRUCTURAL • MARINE

Profile Homes
Matt Silva
371A Islington Street
Portsmouth, NH 03801

Email: matt@profilehomesnh.com

August 4, 2021
Project No. C016-21

RE: Foundation Observation
202 Court Street
Portsmouth, NH 03801

Dear Mr. Silva:

As requested, yesterday afternoon I visited the referenced site to observe the conditions of the existing foundation.

The foundation consists of a variety of construction methods; cast-in-place concrete, brick and mortar and laid up rock and rubble stone. My main observations were concentrated on the rear of the building. A non-reinforced CMU wall had previously been constructed above the existing slab; this wall had failed during construction and was removed. It appears that the existing foundation walls in this area were also constructed on top of the slab – all the areas are deteriorated and do not meet any current building codes (*International Building Code - IBC*) requirements. The concrete is loose, crumbling and spalling and cannot be constructed on. The rock-rubble foundation wall is in a similar condition and should be removed prior to any additional construction in this area. Both of these areas will require a new foundation to support the design loads.

Representative photographs and a sketch of the subject areas are attached; please contact me for any additional information required.

Sincerely;

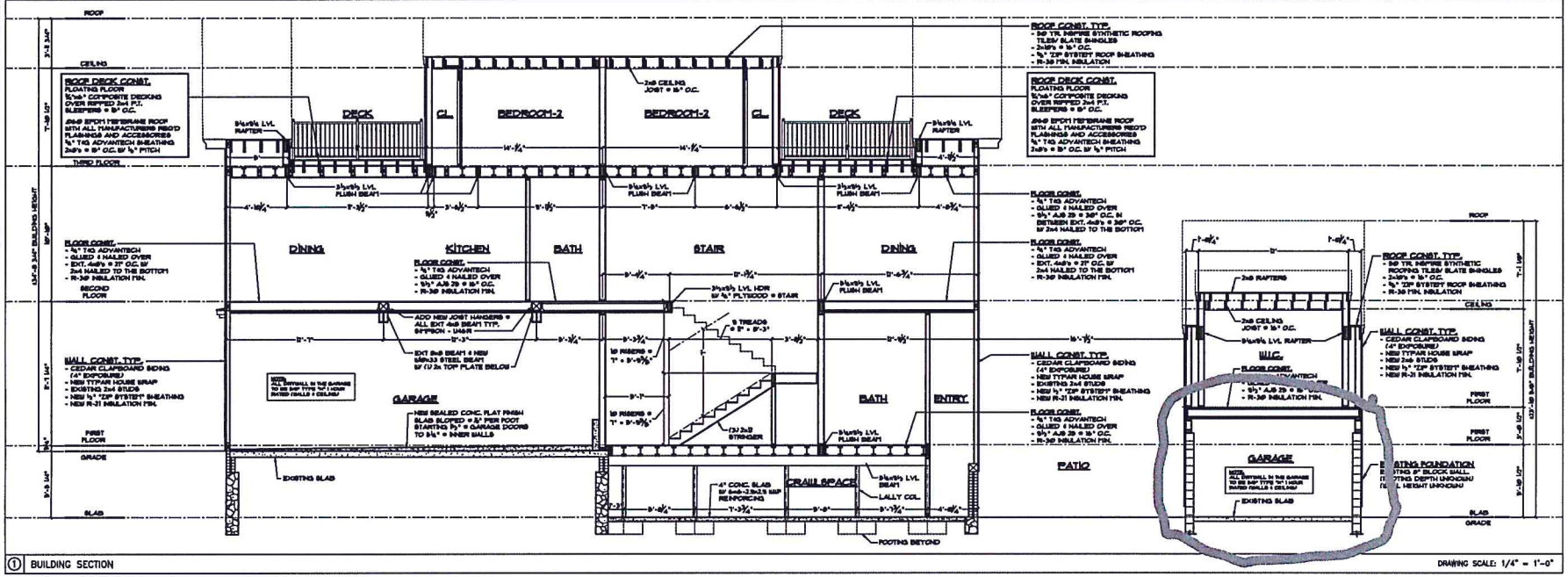
Kenneth A. Wood, P.E.
President

STATE OF NEW HAMPSHIRE
KENNETH A. WOOD
No. 6917
LICENSED
PROFESSIONAL ENGINEER

1284 State Road, Eliot, ME 03903 • tel (207) 439-6023 • fax (207) 439-2128

202 COURT STREET – EXISTING CONCRETE FOUNDATION

202 COURT STREET – EXISTING ROCK-RUBBLE FOUNDATION



① BUILDING SECTION

PROFILE HOMES

FIREHOUSE CONDOS

ISSUED DATES & REVISIONS:

ISSUED FOR DESIGN #1
MARCH 13, 2019

ISSUED FOR DESIGN #2
APRIL 10, 2019

ISSUED FOR DESIGN #3
APRIL 25, 2019

ISSUED FOR DESIGN #4
MAY 30, 2019

ISSUED FOR STRUC. REVIEW
MARCH 20, 2020

ISSUED FOR STRUC. REVIEW #2
MAY 5, 2020

ISSUED FOR CONSTRUCTION
MAY 18, 2020

GENERAL NOTES:

General Contractor shall make all Subcontractors and suppliers aware of the requirements of these notes.

All work shall be performed in compliance with all applicable local, State and National Building, life Safety and Electrical codes.

General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.

General Contractor shall lay out in the field the entire work to verify dimensional relationship before constructing any part, and shall verify all existing conditions and dimensions before proceeding.

Failure to verify dimensional and conditions before proceeding is presumed to be an acceptance of the existing conditions and dimensions and work so formed the contractor finds it dimensionally wrong shall have been discovered cause modification to the plans.

General Contractor shall coordinate the dimensional requirements between the work of the various trades.

Any dimensional trend in the plans, dimensional conflicts conditions or any omission, error in the scheduling or specifying of a product, material or assembly is to be pointed out to Profile Homes immediately.

Drawings shall not be scaled for dimensional and/or plans, Profile Homes assumes no responsibility for use of incorrect scale.

Regardless of whether or not an item is shown or specified, General Contractor shall provide and furnish if it is necessary for the proper installation or function of an item shown or specified. Inspectors and Subcontractors must inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

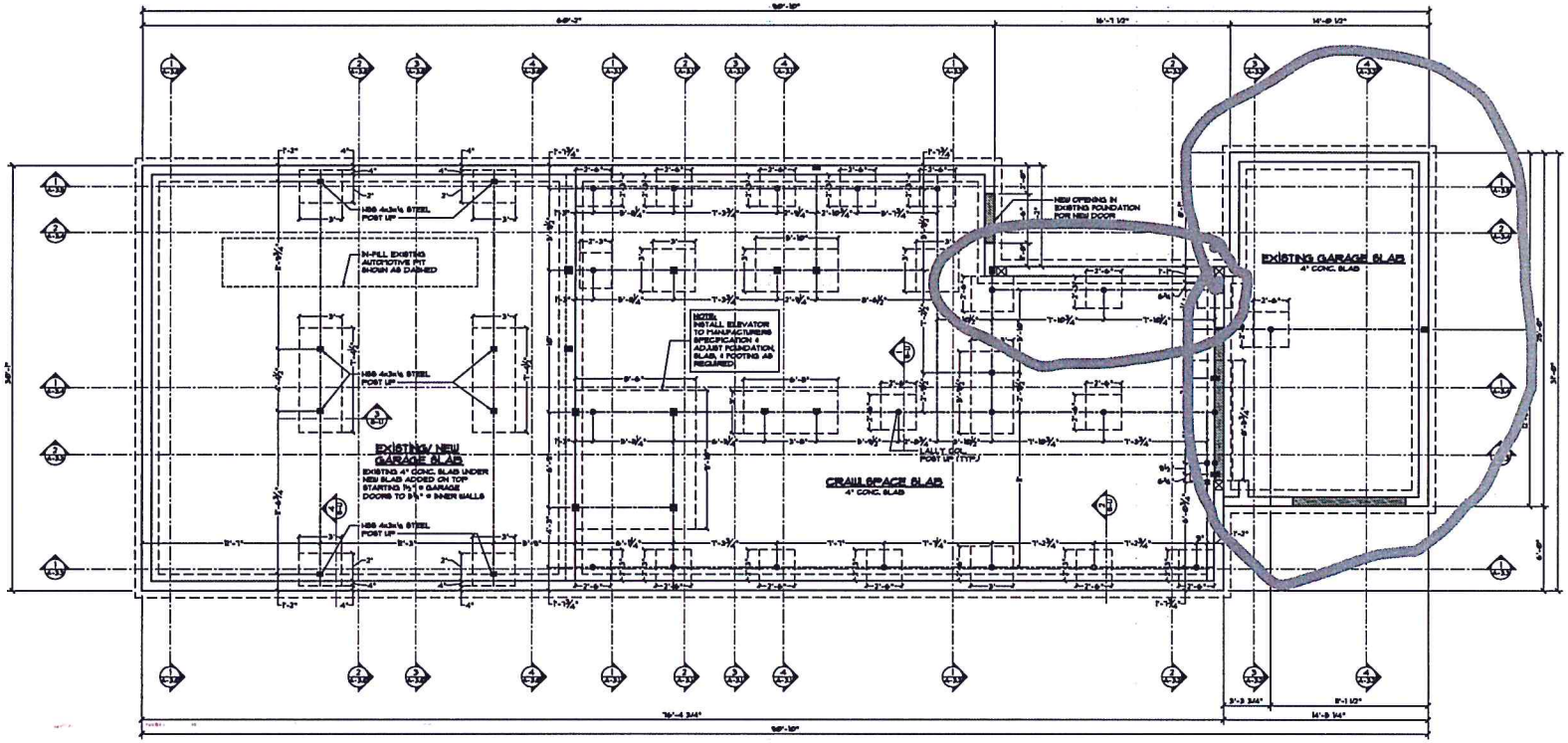
COPYRIGHT NOTE:

REGISTRATION:

BUILDING SECTIONS & NOTES

ISSUE DATE:	5/18/2020
JOB NUMBER:	N/A
DRAWN BY:	Jeremy Sheaff
CHECKED BY:	Matt Silva
SCALE:	As Noted

A-3.5



① FOUNDATION PLAN

DRAWING SCALE: 1/4" = 1'-0"

PROFILE HOMES

FIREHOUSE CONDOS

ISSUED DATES & REVISIONS

ISSUED FOR DESIGN #1
MARCH 13, 2019

ISSUED FOR DESIGN #2
APRIL 10, 2019

ISSUED FOR DESIGN #3
APRIL 25, 2019

ISSUED FOR DESIGN #4
MAY 30, 2019

ISSUED FOR STRUC. REVIEW
MARCH 20, 2020

ISSUED FOR STRUC. REVIEW #2
MAY 5, 2020

ISSUED FOR CONSTRUCTION
MAY 18, 2020

GENERAL NOTES:

General Contractor shall make all fabricators and suppliers aware of the requirements of these notes.

All work shall be performed in accordance with all applicable Local, State and National Building, life Safety and Electrical codes.

General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.

General Contractor shall lay out in the field the entire work to verify dimensions and shall verify all existing conditions and work on adjacent properties.

Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal at completed work at General Contractor's own expense. Contractor shall be responsible for any cost due to modifications to the plans.

General Contractor shall coordinate the dimensional requirements between the work of the various trades.

Any discrepancies found in the plans, dimensional errors, existing conditions or any apparent error in the scheduling or specifying of a product, material or manner of assembly is to be pointed out to Profile Homes immediately.

Drawings shall not be scaled for dimensions and/or sizes. Profile Homes assumes no responsibility for use of incorrect scale.

Regardless of whether or not an item is shown or specified, General Contractor shall provide and furnish as necessary for the proper installation of each item or an item similar in nature and quality to the item specified or shown on the drawings. General Contractor shall be responsible for the work of other trades, which may not be indicated, prior to bidding.

REGISTRATION:

STATE OF NEW HAMPSHIRE
JEREMIAH A. WOOD
No. 9917
LICENSED PROFESSIONAL ENGINEER

FOUNDATION PLAN & DETAILS

ISSUE DATE:	5/18/2020
JOB NUMBER:	N/A
DRAWN BY:	Jeremy Sheaff
CHECKED BY:	Matt Silva
SCALE:	As Noted

S-1.0


PREVIOUS FIRE DAMAGE


INTERIOR VIEW


SPLIT FOUNDATION


REAR ROTTED STRUCTURE

3. 40 Howard Street - Recommended Approval

<u>Background</u>: The applicant is seeking approval for modifications to a previously approved landscape design.

<u>Staff Comment</u>: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

City of Portsmouth, NH

08/06/2021

LUHD-127

Historic District Commission Work Session or Administrative Approval Application

Status: Complete

Date Created: Mar 13, 2020

Applicant

Kenneth Sullivan
kensullivan72@gmail.com
40 Howard St
Portsmouth, NH 03801
617-733-0471

Location

40 HOWARD ST
Portsmouth, NH 03801

Owner:

SULLIVAN KENNETH CHARLES
40 Howard St 40 HOWARD ST PORTSMOUTH, NH 3801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Lower existing grade of driveway for safety and ease of use. Construct 27 inch, back mortared, colonial era-like stone retaining wall with granite wall cap at top of driveway, along and in front of existing wooden fence. Construct granite steps from existing back yard gate landing to the excavated driveway. Replace existing cobblestone driveway surface with brick pavers. Add three flower boxes and four dark sky lighting fixtures onto the existing fence above the proposed stone wall. The proposed stone wall, granite steps, brick pavers, flower boxes and dark sky light fixtures shall closely match those already existing in the back yard, and approved by the HDC, previously.

Description of Proposed Work (Planning Staff)

several landscape-related features to the side and rear yards of the property (stone retaining wall, granite steps, add flower boxes and dark sky lighting fixtures)

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

☑

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

☑

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

☐

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

Mr. Sullivan

Kenneth Sullivan
40 Howard Street
Portsmouth, NH 03801
617-733-0471
Kensullivan72@gmail.com

Vince Lombardi, Chair
Historic District Commission
1 Junkins Ave.
Portsmouth, NH 03801

April 7, 2020

RE: ADDENDUM to March 13, 2020 Request for HDC administrative approval of modifications to driveway area at 40 Howard Street

Dear Chairman Lombardi,

This is an addendum to my March 13, 2020 filing for HDC administrative approval for proposed changes to the driveway area at my 40 Howard Street home. The purpose of the addendum is to provide more detail through an additional sketched driveway plan (here at **Tab-9**), which includes some revision to the specifications for the proposed granite steps.

In summary, I seek approval to install four things in the driveway area, each of which is consistent with those already approved by the HDC for my back yard. They are:

1. a stone retaining wall;
2. a set of granite steps;
3. four dark sky light fixtures to be located on the existing fence at the top of the driveway. The fixtures will replace the single, stark floodlight on the side of my house that lights the driveway; and
4. three wooden flower boxes to be located on the fence between the proposed dark sky lights.

At **Tab-10**, I include here a wide shot of my back yard. The photo includes a similar stone retaining wall, granite steps, flower boxes, dark sky lights, and raised flower bed, all previously installed with HDC approval.

As part of the plan, the existing cobble stones in the driveway will be replaced by the same brick pavers installed in the back yard, and the driveway grade will be reduced to a pitch more consistent with driveways on my street. There will be no changes to the house itself.

Sincerely,

Kenneth C. Sullivan

TAB-9

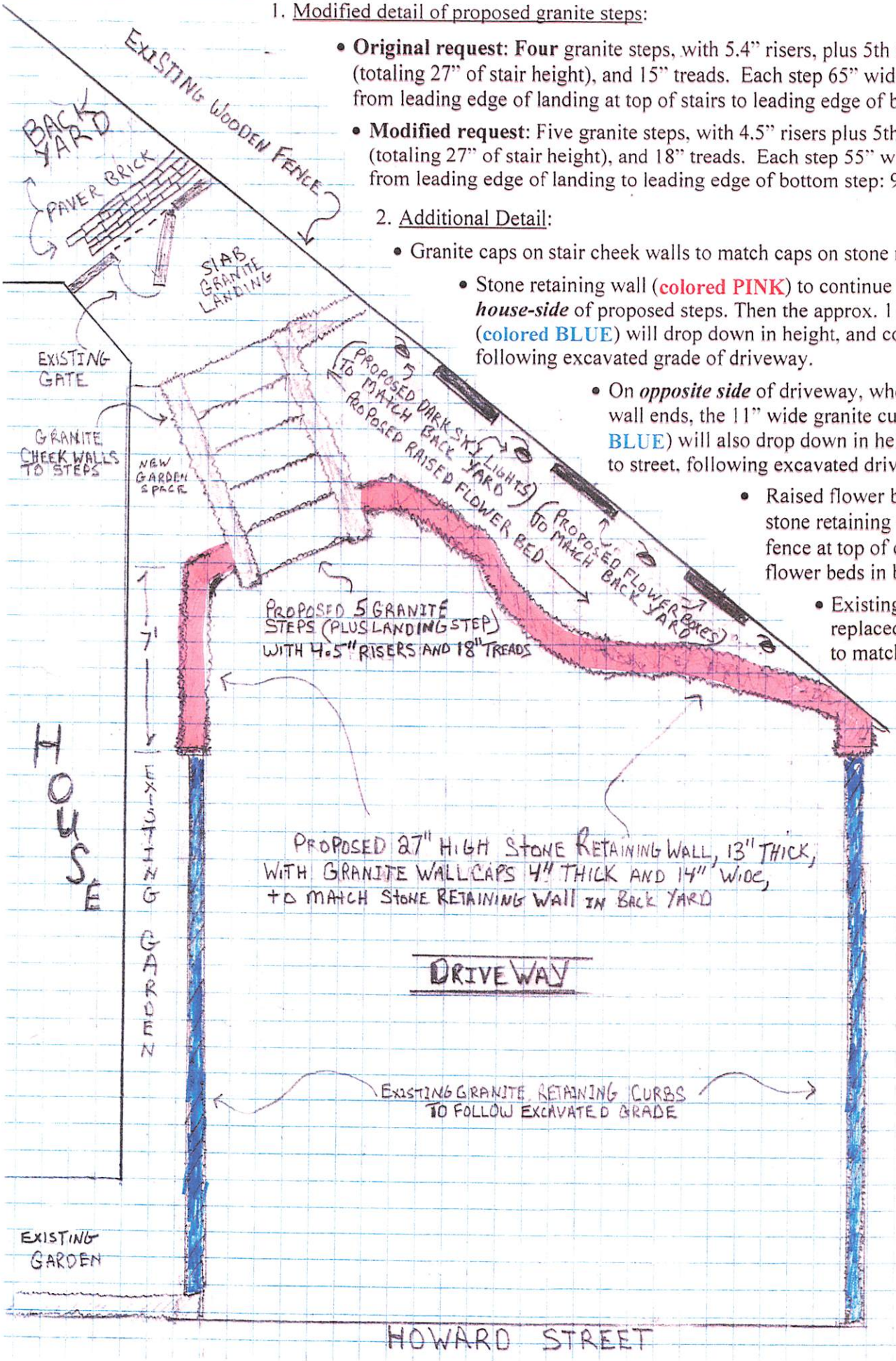
ADDENDUM TO HDC ADMIN. 3/13/20 APPROVAL FILING -- 40 HOWARD ST.

1. Modified detail of proposed granite steps:

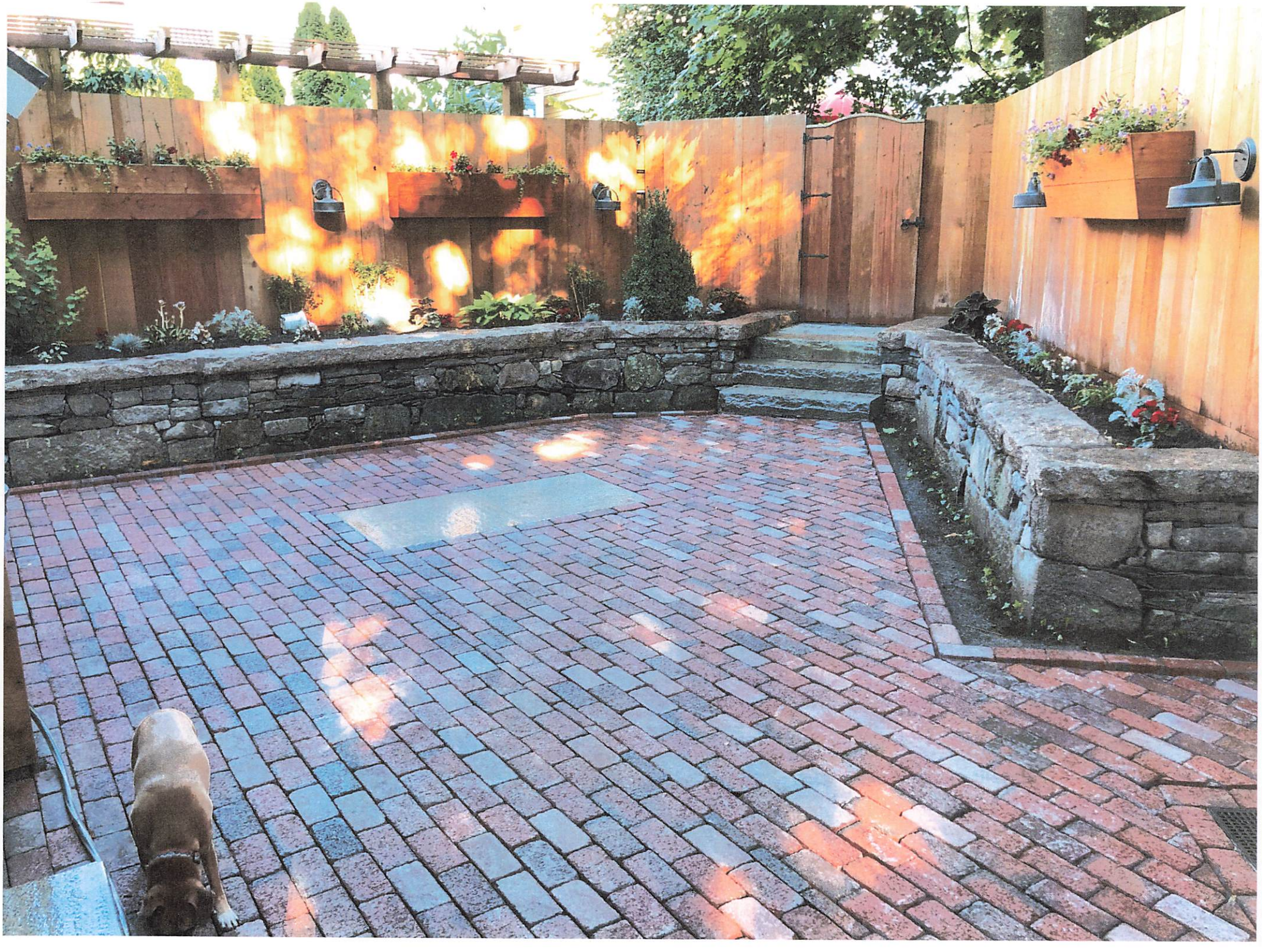
- **Original request**: **Four** granite steps, with 5.4" risers, plus 5th riser to landing (totaling 27" of stair height), and 15" treads. Each step 65" wide. Total distance from leading edge of landing at top of stairs to leading edge of bottom step: 60"
- **Modified request**: Five granite steps, with 4.5" risers plus 5th riser to landing (totaling 27" of stair height), and 18" treads. Each step 55" wide. Total distance from leading edge of landing to leading edge of bottom step: 90"

2. Additional Detail:

- Granite caps on stair cheek walls to match caps on stone retaining wall.
- Stone retaining wall (**colored PINK**) to continue for about 7' off ***house-side*** of proposed steps. Then the approx. 11" wide curb (**colored BLUE**) will drop down in height, and continue to street, following excavated grade of driveway.
- On ***opposite side*** of driveway, where stone retaining wall ends, the 11" wide granite curb (**colored BLUE**) will also drop down in height, and continue to street, following excavated driveway grade.
- Raised flower bed to be between stone retaining wall and existing fence at top of driveway, like flower beds in back yard.
- Existing cobblestones replaced by brick pavers to match backyard.



TAB-10



4. 111 Maplewood Avenue - TBD

<u>Background</u>: The applicant is seeking approval for mechanical equipment on the roof (that is already installed).

<u>Staff Comment</u>: TBD

Stipulations:

1. _____
2. _____
3. _____


AC

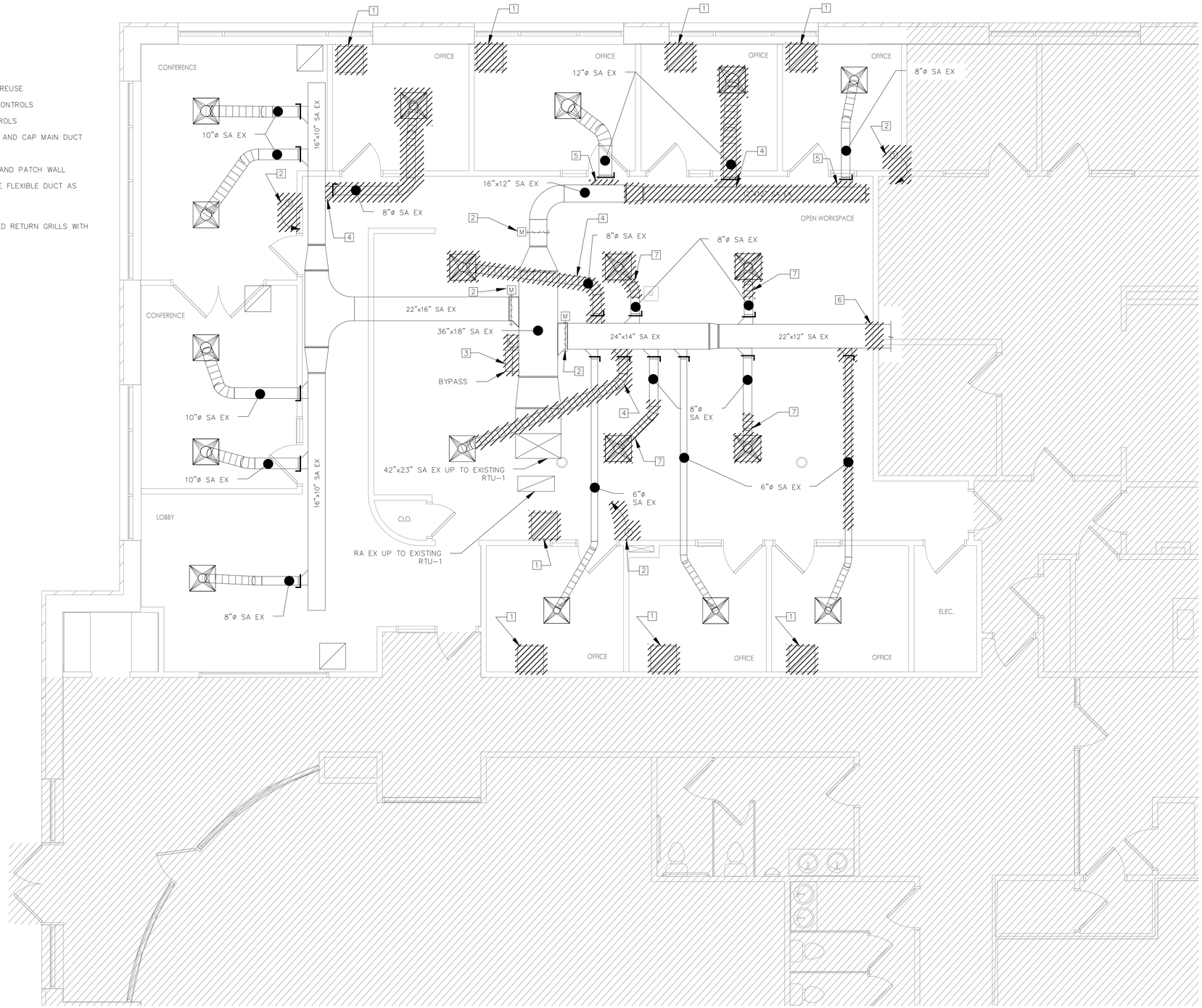

COLDWELL BANKER

DEMOLITION KEYNOTES:

1. REMOVE PLENUM RETURN GRILLE, KEEP ONE FOR REUSE
2. REMOVE MOTORIZED DAMPERS AND ASSOCIATED CONTROLS
3. REMOVE BYPASS DAMPER AND ASSOCIATED CONTROLS
4. REMOVE BRANCH AS INDICATED ON THE DRAWING AND CAP MAIN DUCT
5. REMOVE BOOT ONLY AND CAP MAIN DUCT
6. REMOVE PORTION OF DUCT, CAP ON BOTH ENDS AND PATCH WALL
7. RELOCATE AS SHOWN ON DWG H2.0 AND REPLACE FLEXIBLE DUCT AS NEEDED

DEMOLITION GENERAL NOTES:

1. COORDINATE WITH ARCHITECT TO REPLACE REMOVED RETURN GRILLS WITH NEW CEILING TILES



1 / H1.0 DUCTWORK DEMOLITION PLAN
1/4"=1'-0"

DOWLING CORP

363 EXETER RD
HAMPTON, NH 03842

DDMI DESIGN DAY Mechanicals Inc

THE PROJECT MANAGER FOR THIS PROJECT IS NOTED BELOW. PLEASE REFER ALL QUESTIONS, SUBMITTALS AND CORRESPONDENCE TO THE PROJECT MANAGER.

HVAC PROJECT MANAGER:

MATHILDE KREBS
SOUTH BERWICK, MAINE
PHONE: (207)-475-2451
EMAIL: MATHILDEK@DESIGNDAYMECH.COM

NORTH

STATE OF NEW HAMPSHIRE
ANDREW W. ARSENAULT
No.7099
LICENSED
PROFESSIONAL ENGINEER

STAMP

NEDA

111 MAPLEWOOD AVE.
PORTSMOUTH, NH

REVISIONS

#	Date	Description

PERMIT SET

DDMI Project Number:	21038
Scale:	1/4" = 1'-0"
Designed By:	MBK
Drawn By:	SMF
Checked By:	AWA
Date:	04/20/2021

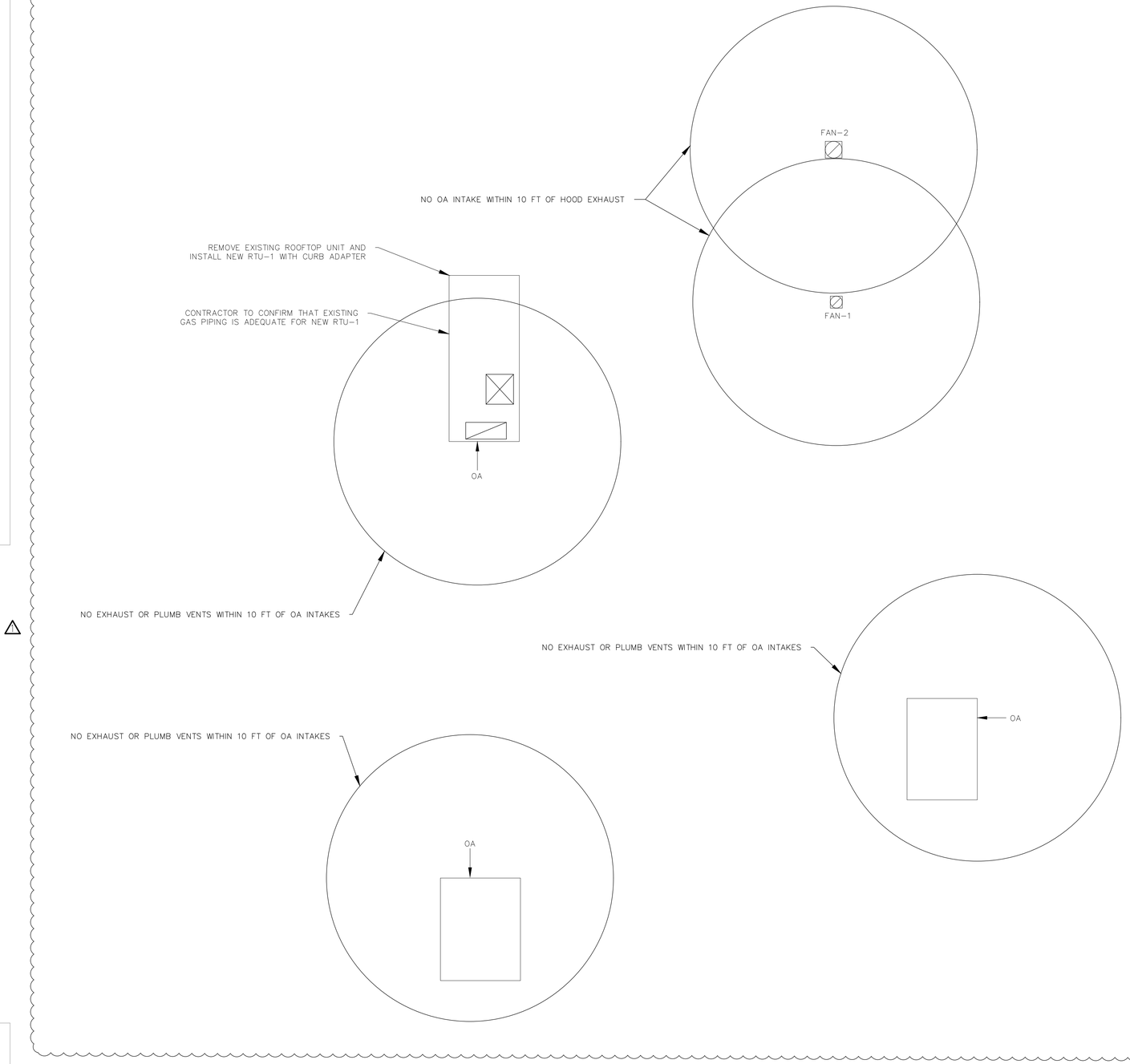
DUCTWORK DEMOLITION PLAN

H1.0

NEW ROOF WORK GENERAL NOTES:

PER IMC 501.3:

A. FAN–1 & FAN–2 SHALL NOT BE DIRECTED ONTO WALKWAYS OR CAUSE PUBLIC NUISANCE
B. FAN–1 OUTLET SHALL BE AT LEAST 30' FROM PROPERTY LINES, 10' FROM OPERABLE OPENING INTO BUILDING (INCLUDING RTU OA INTAKES), 30' FROM COMBUSTIBLE WALLS AND OPERABLE OPENINGS INTO THE BUILDING THAT ARE IN THE DIRECTION OF THE DISCHARGE (WINDS ARE PREDOMINATELY EAST–WEST), 6' FROM EXTERIOR WALLS AND ROOFS AND 10' ABOVE ADJOINING GRADE
C. FAN–2 OUTLET SHALL BE AT LEAST 10' FROM PROPERTY LINES, 10' FROM OPERABLE OPENINGS INTO BUILDING, 3' FROM EXTERIOR WALLS AND ROOFS AND 10' ABOVE ADJOINING GRADE



1 / H2.1 ROOF PLAN
1/4"=1'–0"

DOWLING CORP

363 EXETER RD
HAMPTON, NH 03842

DDMI DESIGN DAY Mechanicals Inc

THE PROJECT MANAGER FOR THIS PROJECT IS NOTED BELOW. PLEASE REFER ALL QUESTIONS, SUBMITTALS AND CORRESPONDENCE TO THE PROJECT MANAGER.

HVAC PROJECT MANAGER:

MATHILDE KREBS
SOUTH BERWICK, MAINE
PHONE: (207)-475-2451
EMAIL: MATHILDEK@DESIGNDAYMECH.COM

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REVISIONS

#	Date	Description
1	5/6/2021	OA / EA CLEARANCE

PERMIT SET

DDMI Project Number:	21038
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Designed By:	MBK
Drawn By:	SMF
Checked By:	AWA
Date:	05/06/2021

ROOF PLAN

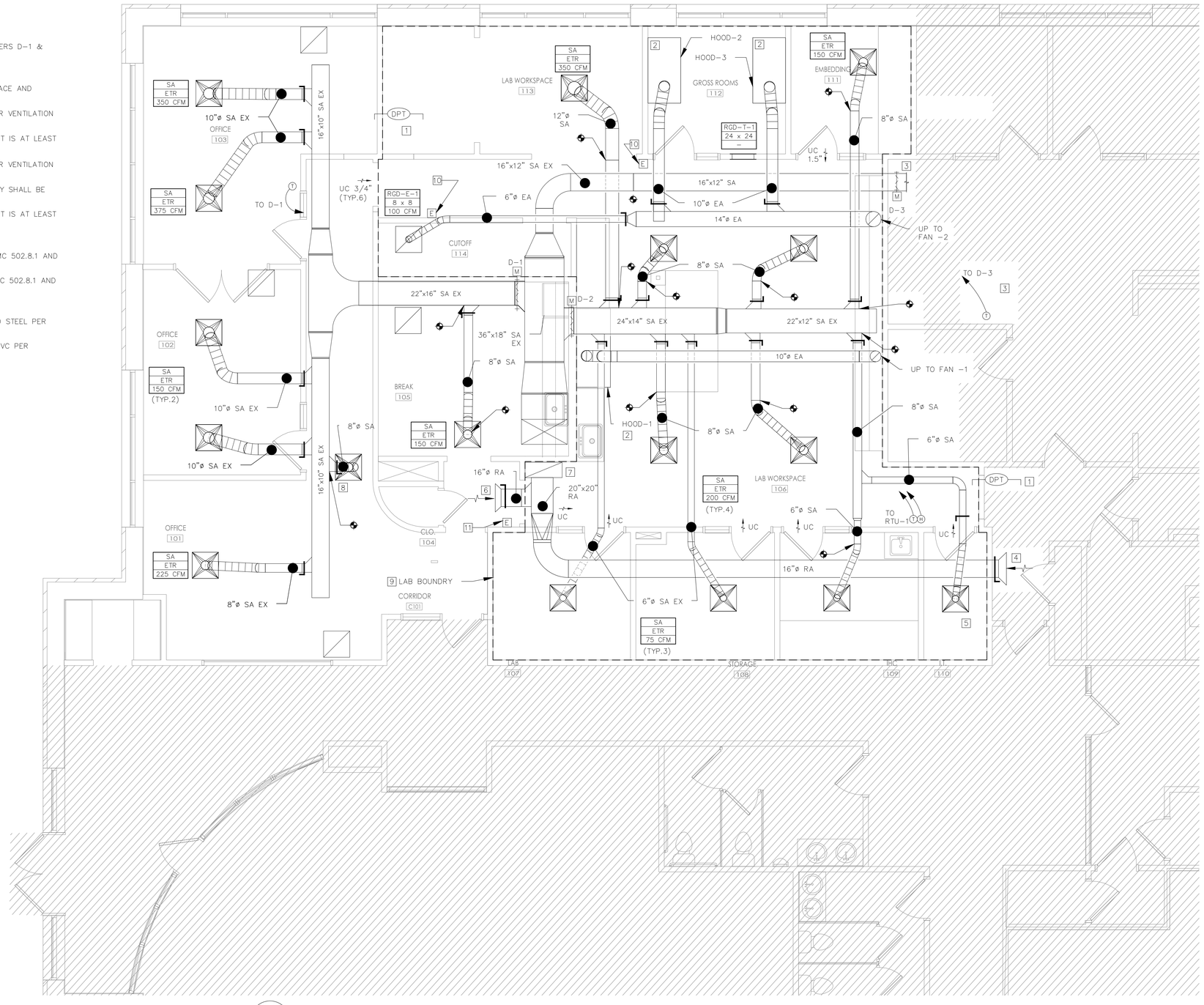
H2.1

NEW WORK KEYNOTES:

1. DIFFERENTIAL PRESSURE TRANSDUCER ACROSS THE LAB BOUNDARY CONTROL DAMPERS D-1 & D-3 TO MAINTAIN A MINIMUM -0.02" W.C. IN THE LAB
2. DUCT CONNECTIONS TO COVER ALL EXHAUST OPENINGS ON HOODS
3. HVAC CONTRACTOR IS RESPONSIBLE FOR RECONFIGURING DUCTWORK IN TENANT SPACE AND LOCATE THERMOSTAT. DDMI DID NOT DESIGN TENANT SPACE.
4. INSTALL IN PLENUM 26" DIAMETER BELL MOUTH WITH WIRE MESH AND BALANCE PER VENTILATION CALCULATIONS ON DWG H3.0
5. REUSE EXISTING DIFFUSER THAT HAD BEEN REMOVED FROM OTHER SPACE AND THAT IS AT LEAST 6"x 6". BALANCE TO 75 CFM
6. INSTALL IN PLENUM 30" DIAMETER BELL MOUTH WITH WIRE MESH AND BALANCE PER VENTILATION CALCULATIONS ON DWG H3.0
7. ALL NEW AND EXISTING SUPPLY AND RETURN DUCTWORK INSIDE THE LAB BOUNDARY SHALL BE SEALED TO SMACNA SEAL CLASS A
8. REUSE EXISTING DIFFUSER THAT HAD BEEN REMOVED FROM OTHER SPACE AND THAT IS AT LEAST 9"x 9". BALANCE TO 200 CFM
9. LAB BOUNDARY WALLS EXTEND TO THE DECK AND MUST BE MADE AIRTIGHT
10. MANUAL EMERGENCY SHUTOFF OF FAN-2 WITH AUDIBLE AND VISIBLE ALARM PER IMC 502.8.1 AND NFPA 30
11. MANUAL EMERGENCY SHUTOFF OF FAN-1 WITH AUDIBLE AND VISIBLE ALARM PER IMC 502.8.1 AND NFPA 30

NEW WORK GENERAL NOTES:

1. FAN-1 EXHAUSTS FLAMMABLE MATERIAL AND DUCTWORK SHALL BE G90 GALVANIZED STEEL PER SPECIFICATIONS ON H5.0
2. FAN-2 EXHAUSTS NON-FLAMABLE CORROSIVE MATERIAL AND ITS DUCT SHALL BE PVC PER SPECIFICATIONS ON H5.0



1 / H2.0 NEW DUCTWORK PLAN

1/4"=1'-0"

DOWLING CORP

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H2.0

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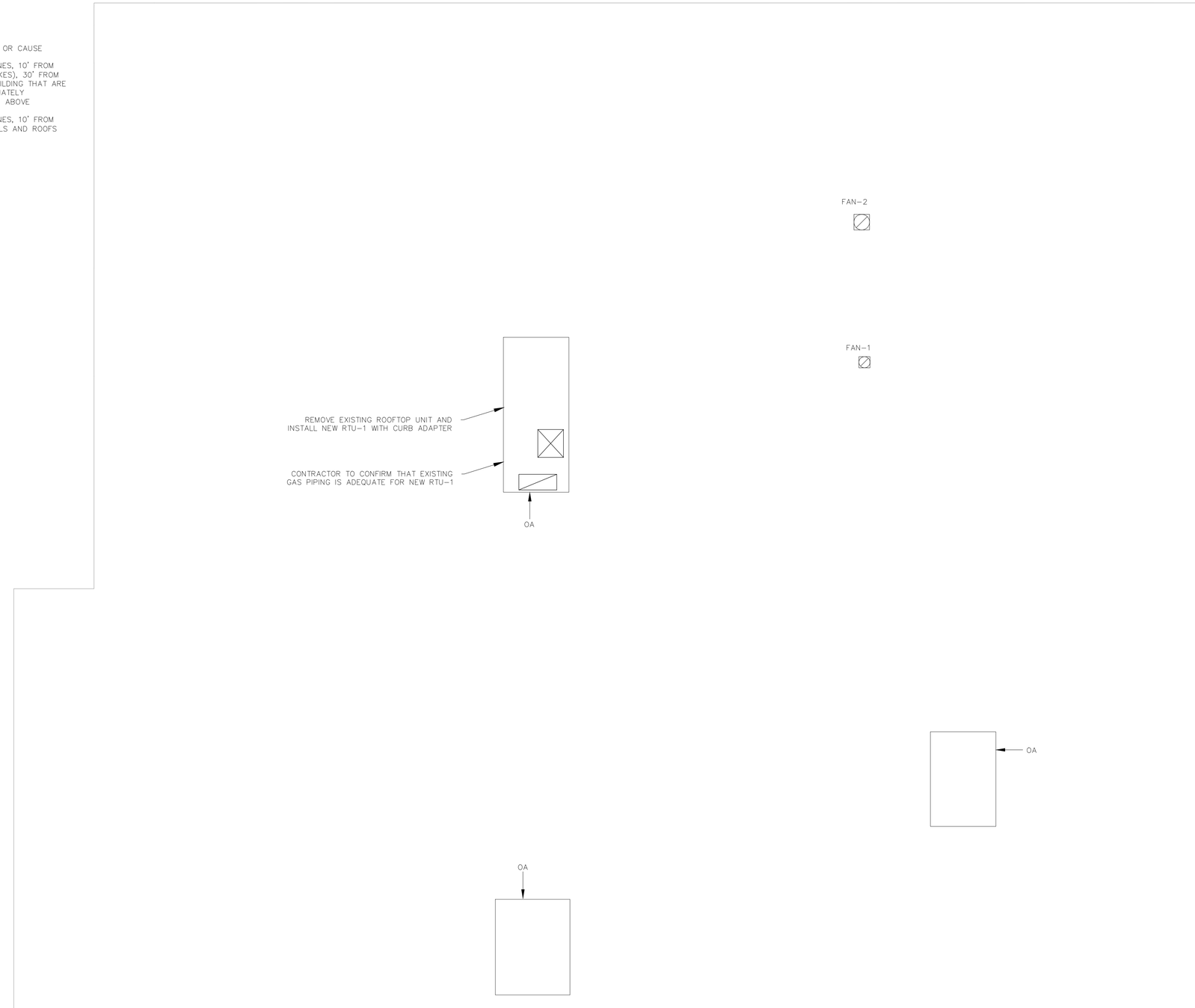

1 / H2.1 ROOF PLAN 1/4"=1'-0"

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ROOF PLAN

H2.1

NEDA - 111 Maplewood Ave, Portsmouth NH — Per 2015 IMC Chapter 4

Ventilation Calculations & Airflows — Per ASHRAE Std 170-2013

		ASHRAE		IMC Requirements							A-170 Requirements						Req'd			SA		Actual			
		Std 170	Occupancy	Rp	Pz	Rp*Pz	Ra	Az	Ra*Az	Vbz	Hgt	Vol	OA		Total		OA		Voz	Vpz		OA	RA	Exhaust	
Room #	Room Name	Space	Classification	cfm/p	# Occ	cfm	cfm/sf	Ft2	cfm	cfm	Ft	Ft3	ACH	cfm	ACH	cfm	cfm	Ez	cfm	cfm	Zp	cfm	cfm	cfm	Notes
101	Office		Offices	5.0	3	15	0.06	221	13	28	11.00	2431					28	0.8	35	225	0.16	92	150		
C101	Corridor		Corridor				0.06	279	17	17	11.00	3069					17	0.8	21	200	0.10	81	125		
102	Office		Offices	5.0	3	15	0.06	223	13	28	11.00	2453					28	0.8	35	300	0.12	122	300		
103	Office		Offices	5.0	4	20	0.06	346	21	41	11.00	3806					41	0.8	51	725	0.07	295	725		
105	Break		Break Room	5.0	6	30	0.06	218	13	43	11.00	2398					43	0.8	54	150	0.36	61	150		
104	Closet		Storage					19			11.00	209						0.8							
			NEDA (Non Lab) Sub-Total		**16**	**80**		**1306**	**77**									**0.8**	**197**	**1600**	**0.36**	**651**	**1450**		

		ASHRAE		IMC Requirements							A-170 Requirements						Req'd			SA		Actual				A-170 Requirements			A-170 Compliance					
		Std 170	Occupancy	Rp	Pz	Rp*Pz	Ra	Az	Ra*Az	Vbz	Hgt	Vol	OA		Total		OA		Voz	Vpz		OA	RA	Exhaust		Pressure	Direct	Air	OA	SA	RA	EA	Actual	Meets
Room #	Room Name	Space	Classification	cfm/p	# Occ	cfm	cfm/sf	Ft2	cfm	cfm	Ft	Ft3	ACH	cfm	ACH	cfm	cfm	Ez	cfm	cfm	Zp	cfm	cfm	cfm	Notes	Relationship	Exhaust	Recirc	cfm	cfm	cfm	cfm	ACH	A-170
107	Lab Office		Offices	5.0	1	5	0.06	112	7	12	11.00	1232					12	0.8	15	75	0.20	31			Door undercut									
108	Block/Slide Storage		Offices	5.0	1	5	0.06	112	7	12	11.00	1232					12	0.8	15	75	0.20	31			Door undercut									
109	IHC		Offices	5.0	1	5	0.06	112	7	12	11.00	1232					12	0.8	15	75	0.20	31			Door undercut									
110	IT		Corridor					58			11.00	638						0.8		75		31			Door undercut									
106/113	Lab Workspace	Yes	Laboratory, general	5.0	2	10	0.06	1,026	62	72	11.00	11286	2	376	6	1129	376	0.8	470	1,150	0.41	468		850	FAN-1	Negative	Yes	No						
114	Cutoff		Storage					67			11.00	737						0.8						100	FAN-2									
112	Gross Room	Yes	Laboratory, general	5.0	2	10	0.06	127	8	18	11.00	1397	2	47	6	140	47	0.8	58					800	FAN-2	Negative	Yes	No						
111	Embedding		Offices	5.0	2	10	0.06	111	7	17	11.00	1221					17	0.8	21	150	0.14	61												
			NEDA (Lab) Sub-Total		**9**	**45**		**1725**	**96**									**0.8**	**593**	**1600**	**0.41**	**651**		**1750**										

		ASHRAE		IMC Requirements							A-170 Requirements						Req'd			SA		Actual			
		Std 170	Occupancy	Rp	Pz	Rp*Pz	Ra	Az	Ra*Az	Vbz	Hgt	Vol	OA		Total		OA		Voz	Vpz		OA	RA	Exhaust	
Room #	Room Name	Space	Classification	cfm/p	# Occ	cfm	cfm/sf	Ft2	cfm	cfm	Ft	Ft3	ACH	cfm	ACH	cfm	cfm	Ez	cfm	cfm	Zp	cfm	cfm	cfm	Notes
	Tenant (non-NEDA)		Offices	5.0	6	28	0.06	1,108	66	94	11.00	12188					94	0.8	118	1,100	0.11	448	1,100		
			Tenant (Non NEDA) Sub-Total		**6**	**28**		**1108**	**66**									**0.8**	**118**	**1100**	**0.11**	**448**	**1100**		
			RTU-1 Total		**31**	**153**		**4,139**	**240**									**0.8**	**907**	**4,300**	**0.41**	**1,750**	**2,550**	**1,750**	

		IMC Requirements			A-170 Req'ts			
Actual Total People in RTU-1 Spaces At Any One Time	**10**	**Ev**	**D**	**Vou**	**Vot**	**Vot**	**Min OA**	**Max OA**
		0.74	0.33	362	**489**	**907**	**1,750**	**1,750**

						SA	**Min OA**	**Max OA**	**RA**	**EA**	
Overall Building is Positive by		**cfm**	**4,139**	**Ft2**	**Building Totals**	**4,300**	**1,750**	**1,750**	**2,550**	**1,750**	

LAB PRESSURIZATION CALCULATIONS			
MARK	CFM	IN/OUT OF ROOM	NOTES
DOORS	150	IN	1
EMBEDDING	150	IN	2
IT	75	IN	2
IHC	75	IN	2
BLOCK/SLIDE STORAGE	75	IN	2
LAB OFFICE	75	IN	2
LAB WORKSPACE	1150	IN	2
HOOD-1	850	OUT	3
HOOD-2	400	OUT	4
HOOD-3	400	OUT	4
CUTOFF	100	OUT	4
NOTES:			
1. TWO CORRIDOR DOORS AT APPROXIMATELY 75 CFM EACH TRANSFER INTO LAB			
2. VOLUME OF AIR SUPPLIED TO MAINTAIN A NEGATIVE PRESSURE IN LAB OF -0.02" W.C.			
3. FAN-1			
4. FAN-2			

NEDA 111 Maplewood - Portsmouth NH				
Design Conditions				
ASHRAE Weather Station - Portsmouth, NH				
Climate Zone 6A				
Season	**Value**	**Units**	**Description**	**Source**
Winter	-16.0	°F	OA Temp	ASHRAE 50 Year Extreme DB
Winter	2.7	°F	OA Temp	ASHRAE 99.6% Heating DB
Winter	72.0	°F	Indoor Temp	2015 IECC Section C302.1
Summer	89.5	°F	OA Dry-Bulb Temp	ASHRAE 0.4% Cooling
Summer	72.5	°F	OA Wet-Bulb Temp	ASHRAE 0.4% Cooling
Summer	75.0	°F	Indoor Temp	2015 IECC Section C302.1

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VENTILATION CALCULATIONS, DESIGN CONDITIONS & PRESSURIZATION CALCULATIONS

H3.0

GAS/ELECTRIC ROOF TOP UNIT SCHEDULE (RTU)

MARK	SERVES	MAKE	MODEL	NOM TONS	SUPPLY (CFM)	ESP (IN. WC)	OA (CFM)	COOLING							HEATING						ELECTRICAL						NOTES
								TOTAL (MBH)	SENSIBLE (MBH)	EFFICIENCY	EDB	EWB	LDB	LWB	INPUT (MBH)	OUTPUT (MBH)	EFFICIENCY	FUEL	EAT	LAT	BHP	MHP	VOLT/PH	FLA	MCA	MOCP	
RTU-1	COMMON	CAPTIVEAIRE	CASRTU3-I.300-20-15T-DOAS	15	4,300	1.00	1,750	185.0	130.8	18.8 IEER	81.4	67.3	51.7	51.7	300	240	80% TE	NG	33.5	89.5	3.31	5.00	230/3		71.6	80	1,2,3
NOTES:																											

1. DOUBLE WALL, SS DRAIN PAN, INVERTER COMPRESSOR & ECM CONDENSER FAN, MODULATING HGRH, SS HEAT EXCHANGER, 12:1 HEATING TURNDOWN, PERMATECTOR FINISH, LOW LEAKAGE OA MOD, BAROMETRIC RELIEF DAMPER, SA & RA SMOKE DETECTORS, POWERED GFCI, NON-FUSED DISCONNECT
2. AHRI & AMCA CERTIFIED, DDC CONTROLS WITH BACNET MONITORING AND CONTROL INTERFACE, ECONOMIZER ENABLE, TEMPERATURE SENSOR IN LAB, DIFFERENTIAL PRESSURE CONTROL, DIRTY FILTER SENSORS
3. BOTTOM SUPPLY, BOTTOM RETURN
4. PROVIDE CURB ADAPTER. CONSTRUCTION MANAGER TO CONFIRM WITH STRUCTURAL ENGINEER WHETHER NEW RTU REQUIRES ANY MODIFICATIONS TO THE EXISTING STRUCTURE

FAN SCHEDULE (FAN)

MARK	SERVES	MAKE	MODEL	CFM	ESP (IN. WC)	RPM	BHP	MHP	VOLT/PH	dBA	NOTES
FAN-1	HOOD-1	GREENHECK	VEKTOR-H-9-7	850	0.75	2698	0.61	3/4	208/3	71.0	1
FAN-2	HOOD-2,3, STORAGE	GREENHECK	VEKTOR-H-9-7	900	1.5	3147	0.95	1	208/3	75.0	2
NOTES:											

1. CENTRIFUGAL HIGH PLUME FAN, SPARK-B CONSTRUCTION, STD 2 BELT DRIVE, EXPLOSION PROOF MOTOR, NEMA 7&9 DISCONNECT .
2. CENTRIFUGAL HIGH PLUME FAN, STD 2 BELT DRIVE, CORROSION COATING.

DAMPER SCHEDULE (D)

MARK	MAKE	MODEL	SIZE (IN.) W x H	CFM	VELOCITY (FPM)	APD (IN WC)	BLADE ACTION	PURPOSE	MATERIAL	NOTES
D-1	GREENHECK	VCD-20	22X16	1,600	655	0.01	OPPOSED	ZONE CONTROL	STEEL	1
D-2	GREENHECK	VCD-20	24X14	1,600	686	0.01	OPPOSED	DIFFERENTIAL PRESSURE CONTROL	STEEL	2
D-3	GREENHECK	VCD-20	16X12	1,100	825	0.02	OPPOSED	ZONE CONTROL	STEEL	1
NOTES:										

1. 24V ACTUATOR, MODULATING, ZONE DAMPER CONTROL WITH DUCT TEMPERATURE SENSOR (ZONEX SAMOD)
2. 24V ACTUATOR, MODULATING TO MAINTAIN MINIMUM -0.02 IN W.C. IN LAB BASED ON PRESSURE DIFFERENTIAL TRANSMITTERS

HOOD SCHEDULE (HOOD)

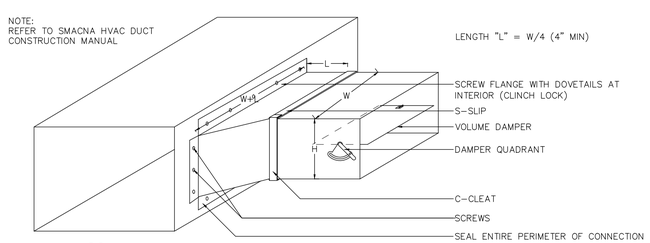
MARK	PURPOSE	MAKE	MODEL	LENGTH (IN)	DEPTH (IN)	HEIGHT (IN)	EXHAUST		NOTES
							CFM	SP (IN W.C.)	
HOOD-1	CHEMICALS	FISHER AMERICAN	6 FT	72	31	53	850	0.25	1
HOOD-2	GROSSING	THERMO ELECTRON CORP	SHANDON GROSSLAB JR	48	28	53	400	1.15	2
HOOD-3	GROSSING	THERMO ELECTRON CORP	SHANDON GROSSLAB JR	48	28	53	400	1.15	2
NOTES:									

1. 100 FPM FACE VELOCITY AT 18" OPENING
2. DUCT CONNECTION TO COVER ALL EXHAUST OPENINGS

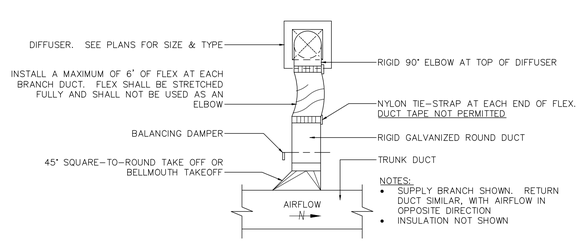
REGISTER GRILLE DIFFUSER SCHEDULE (RGD)

MARK	MAKE	MODEL	DAMPER	PATTERN	NECK SIZE	FRAME STYLE	MATERIAL	DESCRIPTION	NOTES
RGD-E-1	PRICE	630D	YES	45° FIXED	SEE DWGS	AS NEEDED	ALUMINUM	EXHAUST	1
RGD-T-1	PRICE	ATG1	NO	CHEVRON	SEE DWGS	AS NEEDED	ALUMINUM	TRANSFER	2, 3
NOTES:									

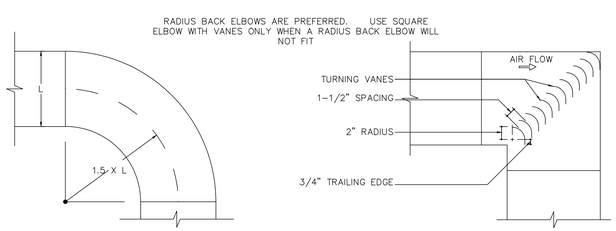
1. RGD MOUNTED DAMPERS ARE TO BE USED FOR TRIM ONLY. PRIMARY VOLUME DAMPERS ARE TO BE INSTALLED IN THE DUCTS.
2. MOUNT TRANSFER GRILLE WITH BOTTOM EDGE AT 12" AFF, WHERE AIRFLOW WILL BE UNOBSTRUCTED.
3. TRANSFER GRILLES INSTALLED IN FIRE-RATED WALLS SHALL INCLUDE A STATIC TYPE B FIRE DAMPER.



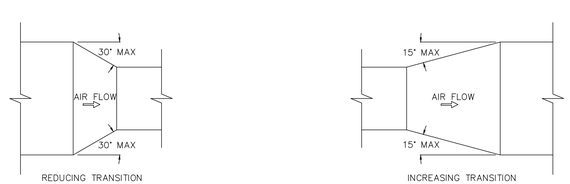
1 / H4.0 TYPICAL RECTANGULAR BRANCH TAKEOFF
NOT TO SCALE



2 / H4.0 TYPICAL ROUND BRANCH DUCT & DIFFUSER
NOT TO SCALE



3 / H4.0 TYPICAL RECTANGULAR ELBOW
NOT TO SCALE



4 / H4.0 TYPICAL DUCT TRANSITION
NOT TO SCALE

MECHANICAL ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	EAT	ENTERING AIR TEMPERATURE	HRV	HEAT RECOVERY VENTILATOR	MPT	MALE PIPE THREAD
AMP	AMPACITY	EC	ELECTRICAL CONTRACTOR	HW	HOT WATER	NA	NOT APPLICABLE
APD	AIR PRESSURE DROP	EER	ENERGY EFFICIENCY RATIO	HWUH	HOT WATER UNIT HEATER	NC	NORMALLY CLOSED
ATC	AUTOMATIC TEMP. CONTROL	EFT	ENTERING FLUID TEMPERATURE	HWCUH	HOT WATER CABINET HEATER	NO	NORMALLY OPEN
BTU/H	BRITISH THERMAL UNITS/HOUR	ERV	ENERGY RECOVERY VENTILATOR	HWR	HOT WATER RETURN	OA	OUTSIDE AIR
CAP	CAPACITY	ESP	EXTERNAL STATIC PRESSURE	HWS	HOT WATER SUPPLY	OD	OUTSIDE DIAMETER
CH	CHILLED	ET	EXPANSION TANK	HX	HEAT EXCHANGER	PD	PRESSURE DROP
CHW	CHILLED WATER	EWT	ENTERING WATER TEMPERATURE	ID	INSIDE DIAMETER	PG	PROPYLENE GLYCOL
C/HWR	CHILLED & HOT WATER RETURN	F	FAHRENHEIT	IN	INCHES	PSI	POUNDS PER SQUARE INCH
C/HWS	CHILLED & HOT WATER SUPPLY	FA	FRESH AIR	KW	KILOWATTS	PH/ø	PHASE
CHWR	CHILLED WATER RETURN	FPD	FLUID PRESSURE DROP	LAT	LEAVING AIR TEMPERATURE	R	RETURN
CHWS	CHILLED WATER SUPPLY	FPM	FEET PER MINUTE	LB/#	POUNDS	RA	RETURN AIR
COND	CONDENSATE	FPT	FEMALE PIPE THREAD	LFT	LEAVING FLUID TEMPERATURE	RTU	ROOFTOP UNIT
CONN	CONNECT OR CONNECTION	FT HD	FEET HEAD	LPS	LOW PRESSURE STEAM	SF	SQUARE FEET
CONV	CONVECTOR	FTR	FIN TUBE RADIATION	LWT	LEAVING WATER TEMPERATURE	SQ IN	SQUARE INCHES
CP	CIRCULATOR PUMP	FW	FRESH WATER	M	MINUTES	S	SUPPLY
CW	COLD WATER	GC	GENERAL CONTRACTOR	MAX	MAXIMUM	SA	SUPPLY AIR
CWR	CONDENSER WATER RETURN	GHWS	GLYCOL & WATER SUPPLY	MBH	THOUSANDS OF BTU/H	TEMP	TEMPERATURE
CWS	CONDENSER WATER SUPPLY	GHWR	GLYCOL & WATER RETURN	MC	MECHANICAL CONTRACTOR	V	VOLTS
DB	DRY BULB	GPM	GALLONS PER MINUTE	MCA	MINIMUM CIRCUIT AMPACITY	W	WATTS
DN	DOWN	HP	HORSEPOWER	MIN	MINUTE OR MINIMUM	WPD	WATER PRESSURE DROP
DX	DIRECT EXPANSION	HPS	HIGH PRESSURE STEAM	MOCP	MAX OVERCURRENT PROTECTION	WB	WET BULB
EA	EXHAUST AIR	HR	HOUR	MPS	MEDIUM PRESSURE STEAM	WC	WATER COLUMN

LEGEND OF PIPING SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PIPE ELBOW UP		BALL VALVE
	PIPE ELBOW DOWN		BUTTERFLY VALVE
	PIPE TEE UP		GATE VALVE
	PIPE TEE DOWN		OS&Y GATE VALVE
	PIPE CROSS OVER		CHECK VALVE
	UNION	BFP	BACK FLOW PREVENTER
	FLEXIBLE PIPE CONNECTOR		TRIPLE-DUTY VALVE
	END CAP		TRIPLE-DUTY VALVE WITH MEASUREMENT PORTS
	PETE'S PLUG		2-WAY MOTORIZED VALVE
	HOSE THREAD DRAIN VALVE WITH CAP AND CHAIN		3-WAY MOTORIZED VALVE
	CIRCUIT SETTER		TEMPERING VALVE
	STRAINER		PRESSURE REDUCING VALVE
	STRAINER WITH BLOWDOWN		TEMPERATURE & PRESSURE RELIEF VALVE
	CIRCULATOR PUMP		DIFFERENTIAL PRESSURE BYPASS VALVE
MV	MANUAL AIR VENT		SOLENOID VALVE
AV	AUTOMATIC AIR VENT		GAS COCK
AS	AIR SCOOP		DIRECTION OF FLOW
AS	AIR SCOOP WITH VENT		DIRECTION OF PITCH
			CONNECT TO EXISTING
AS	AIR SEPARATOR WITH VENT		PIPE CONTINUES
			THERMOMETER
MARK FEET	FIN TUBE IDENTIFICATION TAG		PRESSURE GAUGE WITH SHUTOFF & PIGTAIL
			VACUUM BREAKER
	FIN TUBE RADIATION WITH COVER		ELECTRIC HEAT TRACING

LEGEND OF DUCT SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	MANUAL BALANCING DAMPER		RECTANGULAR RETURN OR EXHAUST DUCT UP
FD	FIRE DAMPER		ROUND RETURN OR EXHAUST DUCT UP
SD	SMOKE DAMPER		RECTANGULAR RETURN OR EXHAUST DUCT DOWN
SFD	SMOKE & FIRE DAMPER		ROUND RETURN OR EXHAUST DUCT DOWN
	CABLE OPERATED DAMPER		RECTANGULAR SUPPLY DUCT UP
	BACK DRAFT DAMPER		ROUND SUPPLY DUCT UP
M	MOTORIZED DAMPER		RECTANGULAR SUPPLY DUCT DOWN
	SUPPLY AIRFLOW		ROUND SUPPLY DUCT DOWN
	RETURN / EXHAUST AIRFLOW	MARK SIZE CFM	REGISTER, GRILLE AND DIFFUSER IDENTIFICATION TAG
	CONNECT TO EXISTING		

LEGEND OF CONTROL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
T	THERMOSTAT	H	HUMIDISTAT
TS	TEMPERATURE SENSOR	P	PRESSURE SENSOR
CO	CARBON MONOXIDE SENSOR	SD	SMOKE DETECTOR
CO2	CARBON DIOXIDE SENSOR	L	INDICATOR LAMP

DOWLING CORP
363 EXETER RD
HAMPTON, NH 03842

DDMI DESIGN DAY Mechanicals Inc

THE PROJECT MANAGER FOR THIS PROJECT IS NOTED BELOW. PLEASE REFER ALL QUESTIONS, SUBMITTALS AND CORRESPONDENCE TO THE PROJECT MANAGER.

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NORTH

STATE OF NEW HAMPSHIRE ANDREW W. ARSENAULT No.7099 LICENSED PROFESSIONAL ENGINEER

STAMP

NEDA
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PORTSMOUTH, NH

REVISIONS

#	Date	Description

PERMIT SET

DDMI Project Number:	21038
Scale:	NTS
Designed By:	MBK
Drawn By:	SMF
Checked By:	AWA
Date:	04/20/2021

HVAC LEGEND & ABBREVIATIONS, DETAILS, AND SCHEDULES

H4.0

DIVISION 23 - HVAC SPECIFICATIONS

I) GENERAL

A) WORK INCLUDED:

1) THESE SPECIFICATIONS INCLUDE GENERAL REQUIREMENTS FOR ALL WORK REPRESENTED ON THESE DRAWINGS. NOT ALL SYSTEMS OR SYSTEM COMPONENTS DESCRIBED IN THESE SPECIFICATIONS ARE NECESSARILY INCLUDED AS A PART OF THIS PROJECT.

2) THE HEATING, VENTILATING, AND AIR CONDITIONING (HVAC) CONTRACTOR SHALL HEREAFTER BE DESCRIBED AS "THE CONTRACTOR" IN THIS HVAC SPECIFICATION. THE CONTRACTOR SHALL PROVIDE, INSTALL, PIPE, DUCT, AND WIRE, AS REQUIRED, HVAC SYSTEMS AS DESCRIBED BELOW, AND SHOWN OR DESCRIBED ON THESE PLANS AND SPECIFICATIONS.

B) QUALITY ASSURANCE:

1) THE INTERNATIONAL MECHANICAL CODE (IMC) 2015, AND THE INTERNATIONAL ENERGY CONSERVATION CODE (IEEC) 2015 ARE THE GOVERNING CODES FOR ALL HVAC WORK. THE CODES AND STANDARDS REFERENCED IN THE MECHANICAL CODE SHALL BE CONSIDERED A PART OF THE REQUIREMENTS OF CODE TO THE PRESCRIBED EXTENT OF EACH SUCH REFERENCE. WHERE DIFFERENCES OCCUR BETWEEN PROVISIONS OF THE CODE AND THE REFERENCED STANDARDS, THE PROVISIONS OF THE CODE SHALL APPLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE REQUIREMENTS OF ALL CODES AS THEY HAVE BEEN ADOPTED BY THE STATE AND LOCAL JURISDICTIONS.

2) EXCEPT AS SPECIFICALLY DESCRIBED OTHERWISE IN THESE SPECIFICATIONS, ALL COMPONENTS ALLOWED WITHIN THE ABOVE REFERENCED CODES SHALL BE ALLOWED AS A PART OF THE WORK.

3) THE WORKMANSHIP AND MATERIALS COVERED BY THESE SPECIFICATIONS SHALL CONFORM TO ALL ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO, ALL APPLICABLE REGULATIONS OF THE CITY, COUNTY, AND STATE.

4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR HVAC PERMITS, TAXES, CONNECTION AND INSPECTION FEES AS REQUIRED FOR THE COMPLETE INSTALLATION OF THE HVAC SYSTEM. THE CONTRACTOR SHALL PROVIDE TO THE OWNER ALL CERTIFICATES OF INSPECTION ISSUED BY THE JURISDICTION.

5) THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE ALL CONDITIONS AFFECTING THE PROPER EXECUTION OF THE CONTRACT, VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

6) DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ALL CHANGES MADE IN THE HVAC INSTALLATION FROM THE LAYOUT AND MATERIALS CONTAINED IN THE APPROVED DRAWINGS AND SPECIFICATIONS.

7) DRAWINGS AND CATALOG CUTS, SHOWING ALL HVAC EQUIPMENT AND SYSTEM COMPONENTS, SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. FIELD MEASURE AND COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS AND ALL OTHER TRADES THE PROPOSED LOCATIONS FOR NEW EQUIPMENT AND COMPONENTS BEFORE PRODUCING SUBMITTALS. NO ITEMS SHALL BE PURCHASED OR ORDERED BEFORE APPROVAL IS GIVEN BY THE ENGINEER IN WRITING.

8) THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES.

II) PRODUCTS

A) GENERAL MECHANICAL MATERIALS:

1) SLEEVES: GALVANIZED SHEET METAL, SCHEDULE 40 STEEL PIPE, OR PVC AS APPROPRIATE FOR THE WALL CONSTRUCTION.

2) FIRESTOPPING/FIRE-RESISTANT SEALANT: WHERE REQUIRED, PROVIDE A FIRESTOP SYSTEM APPROPRIATE FOR THE ASSEMBLY PENETRATED AND THE PENETRATING ELEMENT. USE ONLY FIRESTOP PRODUCTS THAT HAVE BEEN UL 1479 OR ASTM E 814 TESTED FOR SPECIFIC FIRE-RATED CONDITIONS CONFORMING TO CONSTRUCTION ASSEMBLY TYPE, PENETRATING ITEM TYPE, ANNULAR SPACE REQUIREMENT AND FIRE-RATING INVOLVED FOR EACH SEPARATE INSTANCE. SUBMIT MANUFACTUER'S SPECIFIC DETAIL FOR EACH TYPE OF PENETRATION.

3) ACCESS DOORS: WHERE REQUIRED FOR PROPER SERVICE AND MAINTENANCE OF ALL MECHANICAL COMPONENTS, PROVIDE STEEL ACCESS DOORS AND FRAMES, FACTORY-FABRICATED AND ASSEMBLED UNITS, COMPLETE WITH ATTACHMENT DEVICES AND FASTENERS SUITABLE FOR THE SERVICE.

4) ROOF PENETRATIONS SHALL BE THROUGH 12" (MIN.) HIGH CURBS OR TALL CONE FLASHINGS.

B) ELECTRICAL REQUIREMENTS OF MECHANICAL WORK:

1) BASIC ELECTRICAL COMPONENTS INCLUDE, BUT ARE NOT LIMITED TO ALL REQUIRED STARTERS. DISCONNECT SWITCHES, CONTROL DEVICES, AND MOTORS. IT INCLUDES MOTORS THAT ARE FACTORY-INSTALLED AS PART OF EQUIPMENT AND APPLIANCES AS WELL AS FIELD-INSTALLED MOTORS.

2) STARTERS AND DISCONNECTS: WHERE AVAILABLE, PROVIDE FACTORY MOUNTED DISCONNECTS AND STARTERS, OR, WHEN FACTORY MOUNTED STARTERS AND DISCONNECTS ARE NOT AVAILABLE PROVIDE COMBINATION STARTERS AND DISCONNECT SWITCHES, OR, WHERE COMBINATION STARTERS AND DISCONNECT SWITCHES ARE NOT SUITABLE OR AVAILABLE, PROVIDE SEPARATE STARTERS AND DISCONNECTS FOR ALL HVAC EQUIPMENT, AS REQUIRED FOR PROPER INSTALLATION AND OPERATION OF EQUIPMENT.

C) MECHANICAL IDENTIFICATION:

1) PROVIDE EQUIPMENT MARKERS COMPLYING WITH ANSI A13.1 FOR LETTERING SIZE, LENGTH OF COLOR FIELD, COLORS, AND INSTALLED VIEWING ANGLES OF IDENTIFICATION DEVICES.

2) PLASTIC EQUIPMENT MARKERS: PROVIDE MANUFACTURER'S STANDARD LAMINATED PLASTIC, COLOR CODED EQUIPMENT MARKERS.

3) LETTERING AND GRAPHICS: COORDINATE NAMES, ABBREVIATIONS AND OTHER DESIGNATIONS USED IN MECHANICAL IDENTIFICATION WORK, WITH CORRESPONDING DESIGNATIONS SHOWN, SPECIFIED OR SCHEDULED. PROVIDE NUMBERS, LETTERING AND WORDING AS INDICATED OR, IF NOT OTHERWISE INDICATED, AS RECOMMENDED BY MANUFACTURERS OR AS REQUIRED FOR PROPER IDENTIFICATION AND OPERATION/MAINTENANCE OF MECHANICAL SYSTEMS AND EQUIPMENT.

D) DUCTWORK:

1) UNLESS OTHERWISE SPECIFIED, ALL RIGID DUCTWORK SHALL BE SHEET METAL MATERIALS AS SPECIFIED IN ASTM A700, WITH GALVANIZED SHEET STEEL: LOCK-FORMING QUALITY, ASTM A527, COATING DESIGNATION G60; MILL PHOSPHATIZED FINISH.

2) PRESSURE CLASS AND SEAL CLASS (PER SMACNA):

(a) 2" PRESSURE CLASS, SEAL CLASS A (ALL TRANSVERSE JOINTS, LONGITUDINAL SEAMS AND DUCT WALL PENETRATIONS).

3) RECTANGULAR DUCT FABRICATION: FABRICATE RECTANGULAR DUCTS WITH GALVANIZED SHEET STEEL, IN ACCORDANCE WITH SMACNA "HVAC DUCT CONSTRUCTION STANDARDS", TABLES 1-3 THROUGH 1-19, INCLUDING THEIR ASSOCIATED DETAILS. CONFORM TO THE REQUIREMENTS IN THE REFERENCED STANDARD FOR METAL THICKNESS, REINFORCING TYPES AND INTERVALS, TIE ROD APPLICATIONS, AND JOINT TYPES AND INTERVALS.

4) WHERE DUCT SUPPORTS ARE REQUIRED BETWEEN THE BUILDING STRUCTURAL FRAMING, SUITABLE INTERMEDIATE STEEL FRAMING SHALL BE PROVIDED BY THE CONTRACTOR.

5) WATER BASED LIQUID RUBBER DUCT SEALANT OR FLANGED JOINT MASTICS SHALL BE ONE-PART, ACID- CURING, SILICONE ELASTOMERIC JOINT SEALANTS, COMPLYING WITH ASTM C920, TYPE S, GRADE NS, CLASS 25, USE O.

6) FLEXIBLE DUCT CONNECTORS SHALL BE INSTALLED AT POINTS AS CLOSE AS POSSIBLE TO AIR HANDLERS. THE CONNECTOR SHALL BE AT LEAST FOUR (4") INCHES WIDE AND FABRICATED SPECIFICALLY FOR USE AS A FLEXIBLE CONNECTOR. ALL CONNECTIONS SHALL BE AIR TIGHT AND MADE SO THE CONNECTOR IS UNDAMAGED WHEN THE JOINT IS REMOVED.

7) FLEXIBLE DUCTS: LIMITED TO 6 FEET MAXIMUM STRAIGHT AND FULLY STRETCHED. DO NOT USE FLEX AS AN ELBOW.

(a) INTERNAL FABRIC SHALL BE ACOUSTICALLY RATED BLACK RESILIENT CALENDERED FILM WITH COATED STEEL WIRE HELIX, 2" FIBERGLASS BLANKET (R-6.0), AND FIBERGLASS SCRIM REINFORCED ALUMINIZED POLYESTER FILM VAPOR BARRIER AS EXTERIOR FACING. LISTED AND LABELED AS A CLASS 1 AIR DUCT PER UL STD 181. RATED FOR PRESSURE CLASS LISTED ABOVE. EQUIVALENT TO THERMAFLEX M-KE.

8) BELLMOUTH OR 45 DEGREE TAKEOFFS SHALL BE USED FOR DUCT TAKEOFFS TO MINIMIZE PRESSURE DROP.

9) MANUAL VOLUME DAMPERS SHALL BE INSTALLED AT ALL DUCT TAKEOFFS AND AS NEEDED ELSEWHERE TO PROPERLY BALANCE THE SYSTEMS.

10) DUCT LINER

(a) ACOUSTICAL DUCT LINER SHALL BE FIBER GLASS WITH REINFORCED COATING SIMILAR TO JOHNS MANVILLE LINACOUSTIC RC.

(b) SUPPLY AIR DUCTS SHALL BE LINED WITH 1-1/2" THICK LINER (R-6.3):

(1) FOR THE DUCT DROP FROM THE RTU.

(c) RETURN AIR DUCTS SHALL BE LINED WITH 1" THICK LINER):

(1) FOR THE DUCT DROP FROM THE RTU.

(d) TRANSFER DUCTS SHALL BE LINED WITH 1" THICK LINER.

(e) ADDITIONAL LINER REQUIREMENTS MAY BE SHOWN ON THE DRAWINGS.

11) FIRE, SMOKE, COMBINATION FIRE/SMOKE DAMPERS AND CEILING RADIATION DAMPERS

(a) FIRE DAMPERS: UL 555 LISTED TYPE "B" (OUT OF AIRSTREAM) 1-1/2 HOUR RATED FOR LESS THAN 3-HOUR FIRE-RESISTANCE RATED ASSEMBLIES AND 3 HOUR RATED FOR 3-HOUR OR GREATER FIRE-RESISTANCE RATED ASSEMBLIES

(1) DYNAMIC FIRE DAMPERS SHALL BE USED IN SYSTEMS DESIGNED TO OPERATE WITH FANS ON DURING A FIRE.

(2) STATIC FIRE DAMPERS MAY BE USED IN SYSTEMS NOT OPERATIONAL DURING A FIRE.

(b) SMOKE DAMPERS: UL 555S LISTED.

(1) VOLTAGE DETERMINED BY FIRE ALARM CONTRACTOR.

(c) COMBINATION FIRE/SMOKE DAMPERS: UL 555 AND UL 555S LISTED.

(1) VOLTAGE DETERMINED BY FIRE ALARM CONTRACTOR.

(d) CEILING RADIATION DAMPERS: UL 555C LISTED.

(e) REFER TO BOTH MECHANICAL AND ARCHITECTURAL DRAWINGS FOR THE LOCATION OF RATED ASSEMBLIES.

12) SMOKE DETECTORS IN AIR SYSTEMS GREATER THAN 2000 CFM SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR IN BOTH THE SUPPLY AND RETURN AIR DUCTWORK AS PER IMC AND NFPA 90A.

(a) IF THERE IS A FIRE ALARM SYSTEM IN THE BUILDING, THIS CONTRACTOR SHALL NOTIFY THE FIRE ALARM CONTRACTOR TO PROVIDE DUCT SMOKE DETECTORS WHERE REQUIRED.

13) LAB EXHAUST DUCTS

(a) DUCTS EXHAUSTING NONFLAMMABLE CORROSIVE VAPORS SHALL BE CONSTRUCTED OF POLYVINYL COATED STEEL WITH OUTSIDE COATING THICKNESS OF 4 MILS AND INSIDE THICKNESS OF 4 MILS. POLYVINYL COATING SHALL HAVE A FLAME INDEX OF 25 OR LESS AND A SMOKE-DEVELOPED INDEX OF 50 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL723, AND LISTED AND LABELED FOR THE APPLICATION PER IMC IMC 510.9.

(b) DUCTS EXHAUSTING VAPORS OTHER THANK NONFLAMMABLE CORROSIVE SHALL BE CONSTRUCTED OF G90 GALVANIZED STEEL SHEETS NOT LESS THAN 0.040 INCH (NO. 20 GAUGE) IN THICKNESS PER IMC 510.9.

(c) JOINTS SHALL BE MADE TIGHT WITH A LAP JOINT HAVING A MINIMUM LAP OF 1 INCH OR MEET THE REQUIREMENTS OF ANSI/SMACNA ROUND OR RECTANGULAR INDUCTRIAL DUCT CONSTRUCTION STANDARDS.

(d) DUCT-TO-EXHAUST FAN CONNECTIONS SHALL BE FLANGED AND GASKETED AT THE BASE OD THE FAN FOR LISTED AND LABELED VERTICAL DISCHARGE FANS; SHALL BE FLANGED, GASKETED, AND BOLTED TO THE INLET OF THE FAN FOR SIDE-INLET UTILITY FANS; AND SHALL BE FLANGED, GASKETED AND BOLTED TO THE INLET AND OUTLET OF THE FAN FOR INLINE FANS.

(e) DUCT BRACING AND SUPPORTS SHALL BE OF NONCOMBUSTIBLE MATERIAL SECURELY ATTACHED TO THE STRUCTURE, DESIGNED TO CARRY GRAVITY AND SEISMIC LOADS WITHIN THE STRESS LIMITATIONS OF THE INTERNATIONAL BUILDING CODE AND INSTALLED AT INTERVALS NOT EXCEEDING 10 FEET.

(f) BOLTS, SCREWS RIVTS AND OTHER MECHANICAL FASTENERS SHALL NOT PENETRATE DUCT WALLS.

(g) DUCT SYSTEMS SHALL HAVE A CLEARANCE TO COMBUSTIBLE CONSTRUCTION OF NOT LESS THAN 1 INCH.

(h) FIRE AND SMOKE DAMPERS ARE PROHIBITED.

E) AIR CONDITIONING CONDENSATE PIPING:

1) AIR CONDITIONING CONDENSATE PIPING SHALL BE SCHEDULE 40 PVC.

(a) ROOF TOP UNITS SHALL DRAIN CONDENSATE ONTO ROOF.

F) INSULATION:

1) ALL INSULATION SHALL BE UL APPROVED FOR A FLAME SPREAD RATING OF NOT OVER 25 AND A SMOKE DEVELOPED RATING OF NOT OVER 50.

2) ALL INSULATION SHALL CONFORM TO THE REQUIREMENTS OF THE ENERGY CODE.

3) DUCTWORK:

(a) INSIDE THE BUILDING THERMAL ENVELOPE - SUPPLY AND OUTDOOR AIR DUCTS AND PLENUMS (INCLUDING THOSE INSTALLED IN RETURN AIR PLENUMS) SHALL BE INSULATED WITH FORMALDEHYDE-FREE FIBERGLASS WITH FSK JACKET WITH AN ***INSTALLED*** MINIMUM R-6 VALUE, SIMILAR TO JOHNS MANVILLE MICROLITE FSK TYPE 75, 2-1/5" THICK. INTERNALLY LINED SUPPLY AIR DUCT WITH AN R-6 VALUE DOES NOT REQUIRE EXTERNAL INSULATION.

(1) RETURN AIR DUCTS ARE NOT INSULATED.

(2) EXHAUST AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH R-6 TO TEN (10) FEET BACK FROM BUILDING EXTERIOR.

(3) EXHAUST AIR DUCTS BEYOND TEN (10) FEET FROM BUILDING EXTERIOR ARE NOT INSULATED.

(b) OUTSIDE THE BUILDING THERMAL ENVELOPE - SUPPLY, OUTSIDE, RETURN AND EXHAUST AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH FORMALDEHYDE-FREE FIBERGLASS WITH FSK JACKET WITH AN ***INSTALLED*** MINIMUM R-12 VALUE, SIMILAR TO JOHNS MANVILLE MICROLITE FSK TYPE 75,4-2/5" THICK.

(c) ROOF MOUNTED SUPPLY, RETURN AND EXHAUST AIR DUCTS SHALL BE INSULATED WITH AN ***INSTALLED*** MINIMUM R-12 INSULATION, SIMILAR TO 2.5" THICK HUNTER H-SHIELD POLYISO OR JOHNS MANVILLE 814, 3" THICK, 3.0 PCF FIBERGLASS INSULATION BOARD WITH FSK JACKET.

(1) SLOPE TOP TO SHED WATER.

(2) COVER WITH VENTURECLAD 1577CW-E EMBOSSED ALUMINUM INSULATON JACKETING TAPE OR SIMILAR.

(d) ADDITIONAL DUCTWORK INSULATION REQUIREMENTS MAY BE SHOWN ON THE DRAWINGS.

III) EXECUTION

A) THE CONTRACTOR SHALL PROVIDE ALL SUPERVISION, LABOR, EQUIPMENT, MATERIAL, MACHINERY, PLANS, RIGGING, AND ANY AND ALL OTHER ITEMS NECESSARY TO COMPLETE THE MECHANICAL SYSTEM. SMALL DETAILS NOT USUALLY INDICATED ON THE DRAWINGS OR SPECIFIED, BUT WHICH ARE NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OF THE MECHANICAL SYSTEM SHALL BE INCLUDED IN THE WORK AND IN THE CONTRACTOR'S ESTIMATE THE SAME AS IF HEREIN SPECIFIED OR SHOWN ON THE DRAWINGS.

B) THE CONTRACTOR SHALL INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THIS INCLUDES CHECKING THE MANUFACTURER'S INSTRUCTIONS TO DETERMINE WHAT TYPE OF GLYCOL SYSTEM MAY BE USED WITHI EQUIPMENT SO AS NOT TO VOID THE WARRANTY OR IMPAIR THE OPERATION OF THE EQUIPMENT. WHERE THE DRAWINGS AND SPECIFICATIONS CONFLICT WITH THE MANUFACTURER'S RECOMMENDATIONS, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO BRING THIS TO THE ATTENTION OF THE ENGINEER.

C) THE HVAC EQUIPMENT MAY NOT BE USED FOR TEMPORARY HEAT DURING CONSTRUCTION. THE HVAC EQUIPMENT SHALL NOT BE STARTED AND TESTED UNTIL ALL CONSTRUCTION ACTIVITY THAT HAS THE POTENTIAL OF CREATING AIR BORNE PARTICULATES THAT COULD BE DRAWN INTO THE HVAC EQUIPMENT AND DUCTWORK SYSTEMS HAS BEEN COMPLETED. IN ADDITION, ALL DUCTWORK OPENINGS SHALL BE SEALED UNTIL THE TIME WHEN THE HVAC EQUIPMENT IS TO BE STARTED AND TESTED.

D) DUCTWORK AND FITTINGS SHALL HAVE ENDS COVERED WITH PLASTIC AT ALL TIMES.

E) UPON COMPLETION OF WORK, THE CONTRACTOR SHALL CLEAN, OIL AND GREASE (UNLESS FACTORY LUBRICATED) ALL FANS, PUMPS, MOTORS, ALL OTHER RUNNING EQUIPMENT AND APPARATUS AND MAKE CERTAIN THAT ALL SUCH APPARATUS AND MECHANISMS ARE IN PROPER WORKING ORDER AND MADE READY FOR TESTING.

F) REPLACE ALL FILTERS USED DURING CONSTRUCTION.

G) EQUIPMENT SHALL BE STARTED, TESTED, ADJUSTED AND PLACED IN SATISFACTORY OPERATING CONDITION BY THE CONTRACTOR.

H) THE CONTRACTOR SHALL INSTRUCT OWNER IN THE PROPER OPERATION OF EQUIPMENT, EXPLAIN THE PROPER OPERATING AND MAINTENANCE PROCEDURES AND SHALL FURNISH THE OWNER WITH ALL INSTRUCTION PAMPHLETS, BOOKS AND OTHER MATERIAL FURNISHED BY THE VARIOUS MANUFACTURERS

I) ALL VIBRATING EQUIPMENT NOT MOUNTED ON THE GROUND FLOOR SHALL BE MOUNTED ON OR SUSPENDED FROM VIBRATION ISOLATORS.

J) EQUIPMENT SHALL BE INSTALLED WITH CLEARANCE FOR PROPER MAINTENANCE. FILTERS, COILS, DRIVES, VALVES, AND CONTROLS SHALL BE ACCESSIBLE FOR SERVICING AND/OR REPLACEMENT.

K) EQUIPMENT SHALL BE COVERED FOR ONE YEAR FROM THE REVIEWING ENGINEER'S DATE OF ACCEPTANCE AND/OR THE DURATION OF THE MANUFACTURER'S GUARANTEE OR WARRANTY, WHICH EVER IS LONGER. THE CONTRACTOR SHALL FURNISH THE OWNER WITH ALL MANUFACTURER'S GUARANTEES OR WARRANTIES.

L) THE WATER AND AIR SYSTEMS SHALL BE BALANCED FROM -10% TO + 10% OF THE GPM AND CFM VALUES SHOWN ON THE APPROVED HVAC PLANS. BALANCING SHALL BE DONE IN ACCORDANCE WITH STANDARDS ESTABLISHED BY THE AABC OR NEBB USING REPORT SHEETS DEVELOPED BY THE AABC OR NEBB. SUBMIT REPORTS TO THE ENGINEER.

END OF DIVISION 23

DIVISION 25 - HVAC CONTROLS AND SEQUENCES OF OPERATION

I) GENERAL

A) REFER TO SPECIFICATION DIVISION 23 - HVAC SPECIFICATIONS, ESPECIALLY GENERAL FOR WORK INCLUDED, QUALITY ASSURANCE AND RELATED DOCUMENTS.

B) PROVIDE A COMPLETE ELECTRIC/ELECTRONIC CONTROL SYSTEM TO ACCOMPLISH ALL CONTROL SEQUENCES AS DESCRIBED BELOW.

C) ALL LINE AND LOW VOLTAGE CONTROL WIRING, TRANSFORMERS, DISCONNECTS, ETC REQUIRED FOR THE CONTROL SYSTEMS THAT IS NOT SHOWN ON THE ELECTRICAL DRAWINGS SHALL BE PROVIDED BY THE CONTROLS CONTRACTOR (HENCEFORTH CALLED "THE CONTRACTOR").

1) LINE VOLTAGE POWER FROM CIRCUIT BREAKERS IN ELECTRICAL PANELS TO CONTROL TRANSFORMERS OR CONTROL DEVICES SHALL BE INSTALLED BY THE CONTRACTOR.

2) COMPLY WITH DIVISION 26 REQUIREMENTS.

3) CONNECT VARIABLE FREQUENCY DRIVES (VFD) AND DUCT & AREA SMOKE DETECTORS (FURNISHED BY OTHERS) INTO CONTROL CIRCUITS TO ACCOMPLISH THE SEQUENCES OF OPERATION.

II) PRODUCTS

A) PROVIDE CONTROL PRODUCTS (IF NOT FACTORY PROVIDED BY HVAC EQUIPMENT MANUFACTURER) INCLUDING, BUT NOT LIMITED TO, CONTROL DAMPERS & VALVES, THERMOSTATS, TIMECLOCKS, SENSORS, RELAYS, CONTROLLERS, AND OTHER COMPONENTS AS REQUIRED FOR A COMPLETE INSTALLATION.

B) CONTROL DAMPERS SHALL BE LOW LEAKAGE DAMPERS WITH BLADE AND EDGE SEALS. CLASS 1 WITH LEAKAGE OF LESS THAN 4 CFM/SQFT AT 1.0" W.G. AND 8 CFM/SQFT AT 4.0" W.G.

C) CONTROL VALVES SHALL BE SELECTED FOR FLUID TYPE, TEMPERATURE AND PRESSURE CLASS WHICH MATCH PIPING MATERIALS AND END CONNECTIONS. CONTROL VALVES MUST CLOSE OFF AGAINST MAXIMUM SYSTEM PRESSURE.

D) DAMPER AND VALVE ACTUATORS SHALL BE ELECTRIC, SIZED TO SMOOTHLY OPERATE DAMPER OR VALVE WITH ADEQUATE TORQUE FOR TIGHT SHUTOFF AGAINST MAXIMUM SYSTEM PRESSURE.

1) ACTUATION REQUIREMENTS SHALL BE PER THE SEQUENCES OF OPERATION.

E) ROOM THERMOSTATS SHALL BE 7 DAY PROGRAMMABLE WITH A 5°F DEADBAND BETWEEN HEATING & COOLING AND SETBACK CAPABILITY (55°F HEATING & 85°F COOLING).

1) USER ADJUSTABLE SETPOINTS SHALL BE PROVIDED UNLESS NOTED OTHERWISE ON THE DRAWINGS.

F) DIFFERENTIAL PRESSURE SENSORS AND TRANSDUCERS SHALL COVER PRESSURE RANGES FROM 0.1" W.C. TO 1" W.C.

III) EXECUTION

A) INSTALL SYSTEMS AND MATERIALS IN ACCORDANCE WITH MANUFACTURER INSTRUCITONS AND ROUGHING-IN DRAWINGS AND DETAILS ON THE DRAWINGS. INSTALL ELECTRICAL COMPONENTS AND USE ELECTRICAL PRODUCTS COMPLYING WITH REQUIREMENTS OF APPLICABLE DIVISION 26 SECTIONS. COORDINATE THE INSTALLATION IN ACCORDANCE WITH FINAL SHOP DRAWINGS, FIELD MEASUREMENTS, MANUFACTURER'S DATA AND AS SPECIFIED HEREIN.

B) MOUNT CONTROLLERS AT CONVENIENT LOCATIONS AND HEIGHTS. COORDINATE WITH ARCHITECT AND OTHER TRADES.

C) PROVIDE REMOTE CONTROL OF MANUAL RESET CONTROLLERS AS REQUIRED FOR USER ACCESSIBILITY. COORDINATE WITH OWNER.

D) THE TERM "CONTROL WIRING" IS DEFINED TO INCLUDE PROVIDING OF WIRE, CONDUIT AND MISCELLANEOUS MATERIALS AS REQUIRED FOR MOUNTING AND CONNECTING ELECTRIC CONTROL DEVICES.

E) INSTALL COMPLETE CONTROL WIRING SYSTEM FOR CONTROL SYSTEMS. CONCEAL WIRING, EXCEPT IN MECHANICAL ROOMS AND AREAS WHERE OTHER CONDUIT AND PIPING ARE EXPOSED. PROVIDE MULTI-CONDUCTOR INSTRUMENT HARNESS (BUNDLE) IN PLACE OF SINGLE CONDUCTORS WHERE A NUMBER OF CONDUCTORS CAN BE RUN ALONG A COMMON PATH. FASTEN FLEXIBLE CONDUCTORS BRIDGING CABINETS AND DOORS NEATLY ALONG HINGE SIDE AND PROTECT AGAINST ABRASION. TIE AND SUPPORT CONDUCTORS NEATLY.

F) INSTALL CIRCUITS OVER 25-VOLT WITH COLOR-CODED THWN/THHN WIRE IN EMT OR MC CABLE AS WHIPS TO EQUIPMENT CONNECTIONS. USE LIQUID-TITE CONDUIT IN EXTERIOR OR HAZARDOUS LOCATIONS.

G) INSTALL CIRCUITS UNDER 25-VOLT WITH COLOR-CODED NO. 18 WIRE WITH INSULATION ON EACH CONDUCTOR AND PLASTIC SHEATH OVER ALL. PROVIDE PLENUM RATED CABLE IN PLENUM CEILINGS.

H) INSTALL LOW VOLTAGE CIRCUITS WHICH ARE LOCATED IN CONCRETE SLABS OR IN MASONRY WALLS IN CONDUIT.

I) WHERE CONTROL WIRING MUST BE SURFACE MOUNTED IN OCCUPIED ROOMS AND IT IS NOT POSSIBLE TO CONCEAL WIRING, RUN WIRING IN WIREMOLD RACEWAY (COLOR BY ARCHITECT).

J) NUMBER-CODE OR COLOR-CODE CONDUCTORS APPROPRIATELY FOR IDENTIFICATION AND SERVICING OF THE CONTROL SYSTEM.

K) DEMONSTRATE CONTROL SYSTEM TO AND TRAIN OWNER'S PERSONNEL IN OPERATION AND MAINTENANCE OF CONTROL SYSTEM.

IV) SEQUENCES OF OPERATION

A) ROOFTOP UNITS (RTU)

1) THE RTU SHALL RUN CONTINOUSLY.

2) OA DAMPER SHALL PROVIDE MINIMUM SCHEDULED OA FLOW.

3) RTUS EXCEEDING 54 MBH COOLING SHALL INCLUDE AN INTEGRATED DIFFERENTIAL ENTHALPY ECONOMIZER. WHEN OA ENTHALPY IS LESS THAN RA ENTHALPY AND COOLING IS CALLED FOR, MODULATE THE OA DAMPER OPEN AND THE RA DAMPER CLOSED TO SATISFY THE CALL FOR COOLING BEFORE MECHANICAL COOLING IS ENGAGED.

4) A DUCT MOUNTED SA STATIC PRESSURE SENSOR SHALL MODULATE THE SA VFD TO MAINTAIN THE SA PRESSURE SETPOINT WHICH IS DETERMINED DURING BALANCING TO MAINTAIN ADEQUATE AIRFLOW TO ALL ZONES.

5) THE PACKAGED CONTROLS PROVIDED WITH THE RTU SHALL OPERATE THE MODULATING HEATING AND COOLING SYSTEMS TO PROVIDE A CONSTANT DISCHARGE TEMPERATURE. THE DISCHARGE TEMPERATURE SHALL BE RESET BY A SPACE TEMPERATURE SENSOR LOCATED IN THE LAB WORKSPACE.

(a) SPACE SETPOINT SHALL BE 70°F HEATING AND 75°F COOLING.

(b) THE SPACE RELATIVE HUMIDITY SHALL BE 50% RH MAXIMUM.

6) WHEN MECHANICAL COOLING OR DEHUMIDIFICATION IS NEEDED, THE DX SYSTEM SHALL OPERATE TO ACHIEVE 55°F OFF THE COOLING COIL, FOLLOWED BY HOT GAS REHEAT TO PROVIDE THE UNIT DISCHARGE TEMPERATURE.

7) IF THE UL 508 WATER-LEVEL DETECTION DEVICE IN THE EMERGENCY DRAIN PAN IS TRIGGERRED, MECHANICAL COOLING SHALL BE DEACTIVATED.

8) SMOKE DETECTORS IN THE RETURN AND SUPPLY AIR STREAMS SHALL BE WIRED TO SHUT OFF THE RTU

B) ZONE DAMPER SYSTEMS (D-1 & D-3)

1) THE ZONE DAMPER SHALL BE FULLY MODULATING.

2) THE ZONE DAMPER SYSTEM SHALL MEASURE DUCT TEMPERATURE AND ZONE TEMPERATURE TO DETERMINE MODE OF OPERATION AND MAINTAIN THE PROPER ZONE TEMPERATURE REQUIREMENTS.

3) THE 7-DAY PROGRAMMABLE ZONE THERMOSTAT SHALL BE USED TO DETERMINE ZONE TEMPERATURE REQUIREMENTS.

C) LAB PRESSURE CONTROL (D-2)

1) DAMPER D-2 SHALL MODULATE BASED ON THE TWO DPTS SUCH THAT THE LAB IS NEGATIVE TO BOTH SURROUNDING SPACES BY A MINIMUM OF -0.02" W.C.

D) FANS (FAN)

1) FANS SHALL RUN 24/7/365.

2) A MANUAL EMERGENCY POWER OFF (EPO) BUTTON SHALL BE PROVIDED FOR EACH FAN, ADJACENT TO THE ROOM EGRESS DOOR.

3) AN AUDIBLE AND VISUAL ALARM, VISIBLE FROM OUTSIDE THE ROOM AND AUDIBLE FROM INSIDE THE ROOM SHALL BE PROVIDED FOR EACH FAN AND SHOUND IF THE FAN FAILS TO OPERATE WHEN COMMANDED.

END OF DIVISION 25

DOWLING CORP

363 EXETER RD
HAMPTON, NH 03842

DDMI DESIGN DAY Mechanicals Inc

THE PROJECT MANAGER FOR THIS PROJECT IS NOTED BELOW. PLEASE REFER ALL QUESTIONS, SUBMITTALS AND CORRESPONDENCE TO THE PROJECT MANAGER.

HVAC PROJECT MANAGER:

MATHILDE KREBS
SOUTH BERWICK, MAINE
PHONE: (207)-475-2451
EMAIL: MATHILDEK@DESIGNDAYMECH.COM

NORTH

STATE OF NEW HAMPSHIRE
ANDREW W. ARSENAULT
No. 7099
LICENSED
PROFESSIONAL ENGINEER

STAMP

NEDA

111 MAPLEWOOD AVE.
PORTSMOUTH, NH

REVISIONS

#	Date	Description

PERMIT SET

DDMI Project Number:	21038
Scale:	NTS
Designed By:	MBK
Drawn By:	SMF
Checked By:	AWA
Date:	04/20/2021

HVAC SPECIFICATIONS & CONTROL SEQUENCE

H5.0

Historic District Commission

Staff Report – August 4th & 11th, 2021

August 4th MEETING

Administrative Approvals:

1. 14 Mechanic Street. (LUHD-338) - Recommend Approval
2. 110 Brewery Lane (LUHD-365) - Recommend Approval
3. 45 Market Street (LUHD-367) - Recommend Approval
4. 46 Maplewood Ave. (LUHD-368) - Recommend Approval
5. 379 New Castle Ave. (LUHD-369) - Recommend Approval
6. 57 Salter Street (LUHD-370) - Recommend Approval
7. 93 State Street (LUHD-371) - Recommend Approval
8. 145 Maplewood Ave. (LUHD-372) - Recommend Approval

EXTENSION REQUEST – NEW BUSINESS:

1. 161 Deer St. (LU-20-101) (5-story mixed-use building)

PUBLIC HEARINGS – OLD BUSINESS:

A. 64 Vaughan St. (LU-21-153) (3 story building)

PUBLIC HEARINGS – NEW BUSINESS:

1. 60 Penhallow St. (LU-21-144) (artwork)
2. 55 Hanover St. (LU-21-146) (windows)
3. 322 Islington St. (LU-19-11) (2 story carriage house)
4. 199 Middle St. (LU-21-149) (shed)
5. 39 Pickering St. (LU-21-95) (shed)
6. 93 Pleasant St. (LU-21-148) (renovations to existing)

August 11th MEETING

Administrative Approvals:

- Pending review

PUBLIC HEARINGS – NEW BUSINESS:

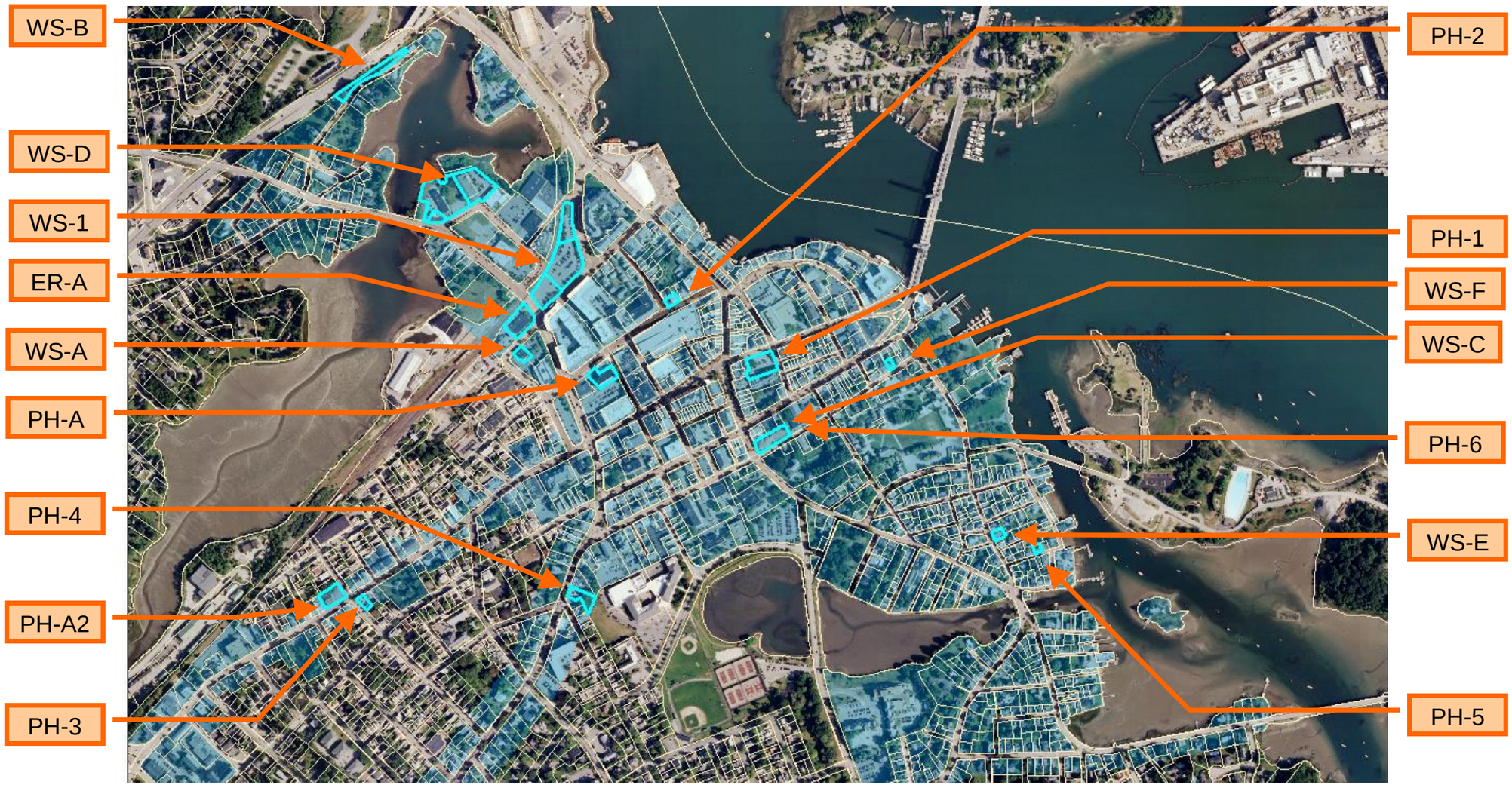
7. 361 Islington St. (LU-21-147) (addition)

WORK SESSIONS – OLD BUSINESS:

A. 238 Deer St. (LUHD-340) (3.5 story building)
B. 137 Northwest. (LUHD-296) (New house)
C. 93 Pleasant. (LUHD-324) (3 story addition)
D. 1 Raynes Ave. (LUHD-234) (2, 5 story buildings)
E. 279 Marcy St. (LUHD-259) (dormer)
F. 449 Court St. (LUHD-235) (dormer & deck)

WORK SESSIONS (NEW):

1. 2 Russell / 0 Deer St. (LUHD-366) (5 story building)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: August 4th and 11th, 2021

APPLICATIONS: 24

Historic District Commission

Project Address: **161 DEER STREET (LU-20-101)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING/EXT. REQUEST #A**

A. Property Information - General:

Existing Conditions:
- Zoning District: CD5
- Land Use: Commercial Office
- Land Area: 21,050 SF +/-
- Estimated Age of Structure(s): c.1970
- Building Style: NA
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood Ave. and Deer Street
- Unique Features: Abuts the Pan Am Rail Corridor
- Neighborhood Association: North End

B. Proposed Work: Extension request to construct a 5-story, mixed-use building.

C. Other Permits Required:

☑ Board of Adjustment ☑ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☑ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:
- The lot is located along Deer and Bridge Street. It is surrounded with mainly brick 1-5 story structures with shallow to no front yard setbacks.

J. Background & Suggested Action:
The Applicant is seeking an extension of the approval due to economic impacts related to Covid and the larger redevelopment project along Deer Street.

- **Design Guideline Reference**: ***Guidelines for Commercial Development & Storefronts (12)***

K. Aerial Image, Street View and Zoning Map:

Aerial and Street View Image

Zoning Map

HISTORIC SURVEY RATING

-

161 DEER STREET (LU-20-101) – EXTENSION REQUEST / PUBLIC HEARING #A (MAJOR)

		INFO/ EVALUATION CRITERIA			NEIGHBORHOOD CONTEXT	
STAFF		Project Information			Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION				
	1	Gross Floor Area (SF)	MAJOR PROJECT – EXT. REQUEST TO CONSTRUCT A 5-STORY MIXED-USE BUILDING –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

HISTORIC DISTRICT COMMISSION MEMBERS			PROJECT REVIEW ELEMENT			APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Storm Windows / Screens			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls / Screenwalls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:161 DEER STREET Case No:A Date:8-4-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **64 VAUGHAN MALL (LU-21-153)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #A**

Existing Conditions:
- Zoning District: CD5
- Land Use: Commercial
- Land Area: 15,242 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Vernacular Commercial
- Historical Significance: C
- Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To make façade improvements to the storefront and add a penthouse.

C. Other Permits Required:

☑ Board of Adjustment ☑ Planning Board ☑ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☑ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☑ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☑ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The property also has an 8 space surface parking lot off of Hanover Street.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
- Add a three story addition with an attic. The revised elevations show a variety of modifications suggested by the Commission. In particular, the tower element and arcade along the driveway entrance has been modified.

- **Design Guideline Reference – *Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).***

K. Aerial Image, Street View and Zoning Map:

Aerial and Street View Image

Zoning Map

HISTORIC SURVEY RATING

C

64 VAUGHAN MALL (LU-21-153) – PUBLIC HEARING #A (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	**MAJOR PROJECT** – Add a 3-Story Addition to the Existing Building –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:64 VAUGHAN MALL Case No.:A Date: 8-4-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **60 PENHALLOW ST. (LU-21-339)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #1**

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Commercial Parking Lot
- Land Area: 22,430 SF +/-
- Estimated Age of Structure: NA
- Building Style: Greek Revival
- Number of Stories: NA
- Historical Significance: NA
- Public View of Proposed Work: View from Penhallow and Daniel Streets
- Unique Features: Vacant Urban Property
- Neighborhood Association: Downtown

B. Proposed Work: To add artwork to the community space.

C. Other Permits Required:

☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☐ Principal ☑ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☐ Sensitive ☑ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☑ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☑ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

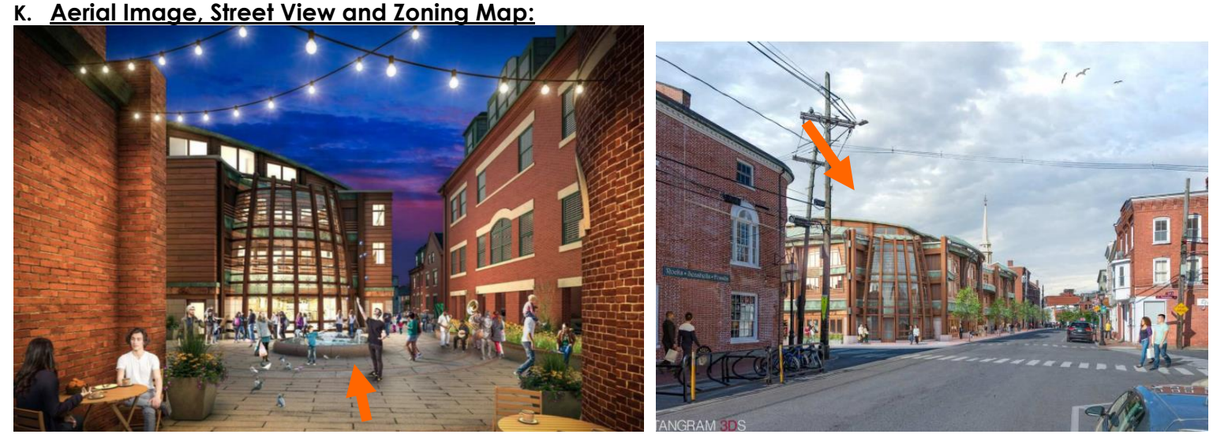
- This vacant lot is located along Daniel and Penhallow Streets and is surrounded with many other brick and wood-sided, 2.5-3 story contributing structures. Most buildings have no front yard setback and off-street parking is limited.

J. Staff Comments and Suggestions for Consideration:

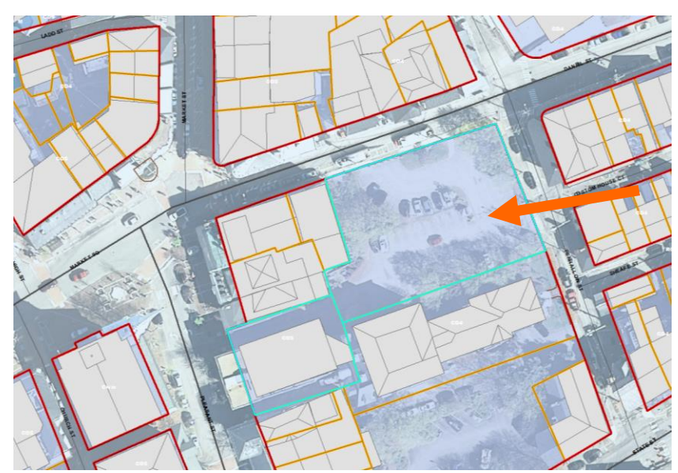
- The applicant proposes to:
  - Add new artwork such as a fountain, reflecting wall, wave wall and various wayfinding elements.
  - A publically noticed work session was held on June 9th where the abutter were notified and the general public had an opportunity to provide comment on the artwork and speak directly with the artists.
  - Note that this would normally be an administrative approval but was posted as a public hearing at the request of the HDC.

Design Guideline Reference – *Guidelines for Commercial Development & Storefronts (12)*

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

60 PENHALLOW STREET (LU-21-144) – PUBLIC HEARING #1 (MINOR)

STAFF	No.	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	**MINOR PROJECT** – Install Artwork within the Community Space –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:60 PENHALLOW ST. Case No.:1 Date: 8-4-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
3. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **55 HANOVER STREET (LU-21-146)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #2**

A. Property Information - General:
Existing Conditions:
- Zoning District: CD4-L2
- Land Use: Mised-Use
- Land Area: 4,102 SF +/-
- Estimated Age of Structure: c.1989
- Building Style: Federal-Revival
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from High and Hanover Streets
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To replace all windows in all 4 units.

C. Other Permits Required:

☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☑ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Neighborhood Context:

☐ Highly Sensitive ☐ Sensitive ☑ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☑ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

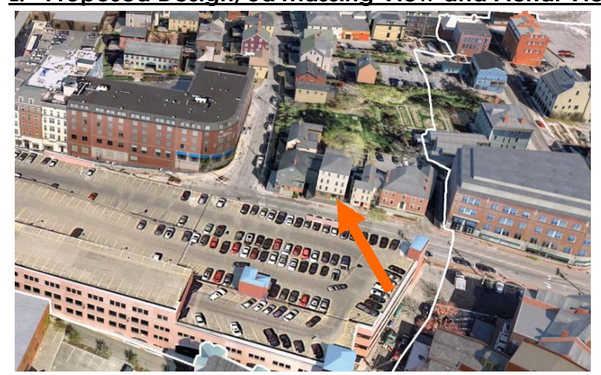
I. Neighborhood Context:
- Due to the age of construction, this non-contributing historic structure is located along the intersection of Fleet and Court Streets and is surrounded with many other brick or wood-sided historic buildings between 2.5-3 stories in height. The building in this neighborhood have little to no front yard setback and shallow side yard setbacks.

J. Previous HDC Comments and Suggestions:
- NA.

K. Staff Comments and Suggestions for Consideration:
- The proposed improvements include replacement of all the new construction windows in the building.

Design Guideline Reference – *Guidelines for Windows and Doors (08).*

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions

Aerial View

HISTORIC SURVEY RATING

NC

55 HANOVER STREET (LU-21-146) – PUBLIC HEARING #2 (MINOR)

STAFF	No.	INFO/ EVALUATION CRITERIA: Project Information	SUBJECT PROPERTY: Existing Building	SUBJECT PROPERTY: Proposed Building (+/-)	NEIGHBORHOOD CONTEXT: Abutting Structures (Average)	NEIGHBORHOOD CONTEXT: Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	**(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)**			
	1	Gross Floor Area (SF)				
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

MINOR PROJECT
– ADD NEW WINDOWS ONLY –

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 55 HANOVER ST. Case No.:2 Date:8-4-21
Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **322 ISLINGTON STREET**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #3**

A. Property Information - General:
Existing Conditions:
- Zoning District: CD4-L2
- Land Use: Two- Family
- Land Area: 4,422 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Mansard
- Number of Stories: 1.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Cabot and Islington Streets
- Unique Features: NA
- Neighborhood Association: Islington Creek

B. Proposed Work: To relocate existing carriage house and add a connector.

C. Other Permits Required:

☑ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☑ Principal ☑ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☑ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

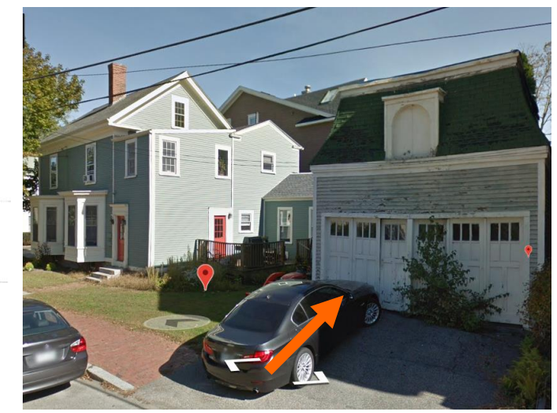
☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☑ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:
- This contributing historic structure is located along Cabot and Islington Streets. It is surrounded with many other wood, 2-2.5 story contributing structures with shallow front yard setbacks.

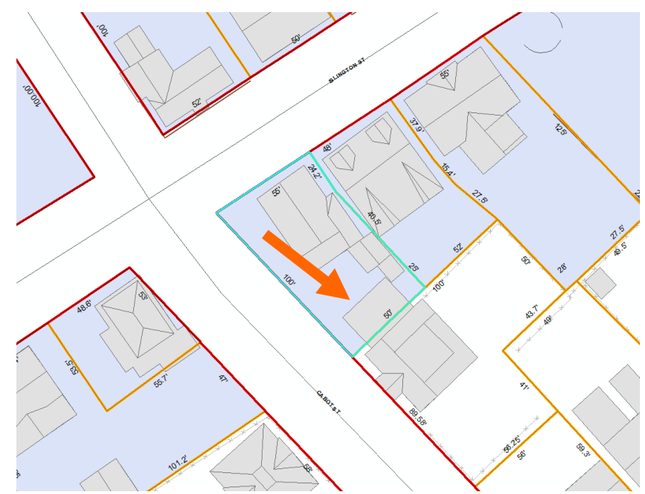
J. Staff Comments and Suggestions for Consideration:
- The applicant proposes to see re-approval for the following:
  - Remodel the existing carriage house in a new location.
  - Add a single story connector.

Design Guideline Reference – See *Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small Scale New Construction & Addition (10).*

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

322 ISLINGTON STREET – PUBLIC HEARING #3 (MODERATE)

STAFF	No.	INFO/ EVALUATION CRITERIA: Project Information	SUBJECT PROPERTY: Existing Building	SUBJECT PROPERTY: Proposed Building (+/-)	NEIGHBORHOOD CONTEXT: Abutting Structures (Average)	NEIGHBORHOOD CONTEXT: Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	**(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)**			
	1	Gross Floor Area (SF)				
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

MODERATE PROJECT
– REMODEL CARRIAGE HOUSE AND ADD CONNECTOR ONLY –

-

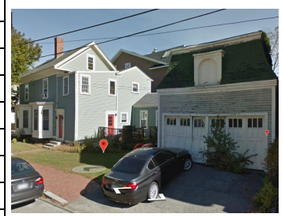
HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:322 ISLINGTON STREET Case No.:3 Date: 8-4-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **199 MIDDLE STREET (LU-21-149)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #4**

A. Property Information - General:

Existing Conditions:
- Zoning District: MRO
- Land Use: Mixed-Use
- Land Area: 0.27A +/-
- Estimated Age of Structure: c.1810
- Building Style: NA
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Middle Street
- Unique Features: NA
- Neighborhood Association: Richards Ave.

B. Proposed Work: To add shed.

C. Other Permits Required:

☑ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☑ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

☐ Principal ☑ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☐ Sensitive ☑ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☑ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:
- The building location is located along Middle Street. It is surrounded with many contributing structures ranging from 2.5 to 3 stories in height. The neighborhood is predominantly made up of a wide range of 2.5 - 3 story wood-sided structures on lots with a shallow setback from the sidewalk.

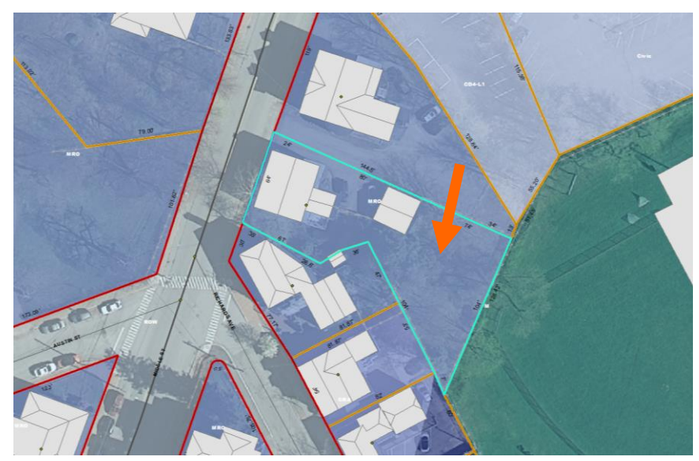
J. Staff Comments and/ or Suggestions for Consideration:

The applicant is proposing to:
- Add a shed to the rear of the property.

Design Guideline Reference – *Guidelines for Small Scale New Construction and Additions (10) and Site Elements and Streetscapes (09)*

K. Aerial Image, Street View and Zoning Map:

Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

199 MIDDLE STREET (LU-21-149) – PUBLIC HEARING #4 (MINOR)

STAFF	No.	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	**MINOR PROJECT** - ADD A SHED ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Number and Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Storm Windows / Screens			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages / Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls / Screenwalls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:199 MIDDLE STREET Case No.: 4 Date: 8-4-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **39 PICKERING STREET (LU-21-95)**
Permit Requested: **CERTIFCATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #5**

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Single Family
- Land Area: 2,613 SF +/-
- Estimated Age of Structure: c.1790
- Building Style: Colonial
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Limited from Pickering Street
- Unique Features: Recent Infill Building
- Neighborhood Association: Downtown

B. Proposed Work: To add a new shed in the rear yard.

C. Other Permits Required:

☑ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☑ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

☐ Principal ☑ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☑ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

K. Neighborhood Context:

- The building is located along Pickering Street and is surrounded with many existing historic buildings ranging from 2 to 2.5 stories in height. The neighborhood is predominantly made up of wood-sided structures on small lots, located along the street edge with shallow setbacks.

L. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Replace the existing shed with a new cedar shed.

Design Guideline Reference – *Guidelines for Site Elements and Streetscapes (10).*

L. Aerial Image, Street View and Zoning Map:

Existing and Proposed Conditions

Zoning Map

HISTORIC SURVEY RATING

C

39 PICKERING STREET (LU-21-195) – PUBLIC HEARING #5 (MINOR PROJECT)

STAFF	No.	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	**MINOR PROJECT** - REPLACE SHED ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Number and Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Storm Windows / Screens			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages / Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls / Screenwalls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:39 PICKERING STREET Case No.: 5 Date: 8-4-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **93 PLEASANT STREET (LU-21-235)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #6**

A. Property Information - General:

Existing Conditions:
- Zoning District: CD4
- Land Use: Commercial
- Land Area: 11,325 SF +/-
- Estimated Age of Structure: c.1818
- Building Style: Federal
- Historical Significance: Focal
- Public View of Proposed Work: View from Pleasant and Court Streets
- Unique Features: Focal Building
- Neighborhood Association: Downtown

B. Proposed Work: To renovate the existing building.

C. Other Permits Required:

☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☑ Highly Sensitive ☐ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☑ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☑ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

Zoning Map

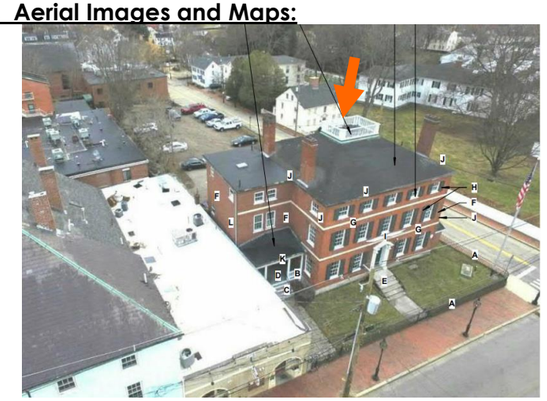
I. Neighborhood Context:
- This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

J. Background, Comments & Suggested Actions:

The Applicant is seeking to:
- Demolish the one story side entrance addition on Court Street as well as the single story addition on the rear of the building.
- Replace the asphalt shingles with boral slateline shingles.
- Replace all original TDL windows with new SDL windows to match.

- **Design Guideline Reference: *Guidelines for Exterior Maintenance (03), Roofing (04), Exterior Woodwork (05), Masonry and Stucco (07),and Windows and Doors (08)***

K. Aerial Images and Maps:



Elevations

HISTORIC SURVEY RATING

F

93 PLEASANT STREET (LU-21-235) – PUBLIC HEARING #6 (MODERATE)

STAFF	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
1	Gross Floor Area (SF)				
2	Floor Area Ratio (GFA/ Lot Area)				
3	Building Height / Street-Width Ratio				
4	Building Height – Zoning (Feet)				
5	Building Height – Street Wall / Cornice (Feet)				
6	Number of Stories				
7	Building Coverage (% Building on the Lot)				

MODERATE PROJECT

– DEMOLITION, ROOFING, WINDOW REPLACEMENT AND MISC. ELEMENTS–

-

HISTORIC DISTRICT COMMISSION MEMBERS			PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Number and Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Storm Windows / Screens / Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls / Screenwalls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:93 PLEASANT ST. Case No.:6 Date: 8-4-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **361 ISLINGTON STREET**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION/ PUBLIC HEARING #7**

A. Property Information - General:

Existing Conditions:
- Zoning District: CD4-L1
- Land Use: Vacant / Commercial
- Land Area: 15,174 SF +/-
- Estimated Age of Structure: 1965
- Building Style: Commercial / Modern
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Islington and Cabot Streets
- Unique Features: NA
- Neighborhood Association: Islington Creek

B. Proposed Work: Add side addition and make site improvements.

C. Other Permits Required:

☑ Board of Adjustment ☑ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

☑ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

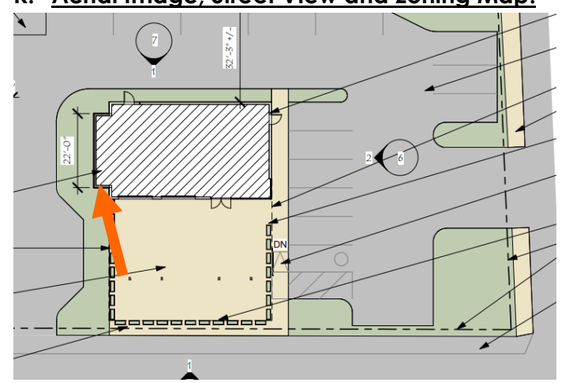
☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☑ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very significant alternations, additions or expansions)

I. Neighborhood Context:
- The structure is located along Islington Street. It is surrounded with mainly wood 2.5 - 3 story historic structures with shallow or no front yard setbacks on relatively small lots

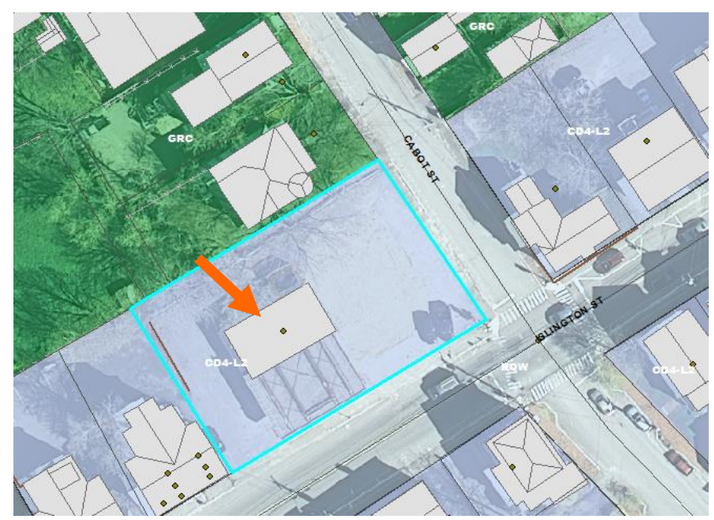
J. Background & Suggested Action:
The applicant proposed to:
- Convert the former gas station to a full-service restaurant;
- Add a small addition to the west side of the building;
- Modify the existing canopy to create on outdoor seating area; and
- Add fencing and landscaping along the edge of the property.

Design Guideline Reference – Masonry & Stucco (07), *Windows and Doors (08), Site Elements & Streetscapes (09), Small Scale New Construction & Additions, and Signs and Awnings (11)*

K. Aerial Image, Street View and Zoning Map:



Proposed Site Plan and Street View Image



Zoning Map

HISTORIC SURVEY RATING

NC

361 ISLINGTON STREET – WORK SESSION/ PUBLIC HEARING #7 (MODERATE)

STAFF	No.	INFO/ EVALUATION CRITERIA: Project Information	SUBJECT PROPERTY: Existing Building	SUBJECT PROPERTY: Proposed Building (+/-)	NEIGHBORHOOD CONTEXT: Abutting Structures (Average)	NEIGHBORHOOD CONTEXT: Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	**(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)**			
	1	Gross Floor Area (SF)				
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

MODERATE PROJECT

– SITE ALTERATIONS AND SIDE ADDITION ONLY –

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Storm Windows / Screens			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls / Screenwalls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:361 ISLINGTON STREET Case No:7 Date: 8-11-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **238 DEER ST. (LUHD-340)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #A**

Existing Conditions:
- Zoning District: SRB
- Land Use: Single Family
- Land Area: 13,068 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Vernacular
- Historical Significance: NA
- Public View of Proposed Work: Limited view from New Castle Ave.
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace two windows with a different design.

C. Other Permits Required:

☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☑ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☐ Sensitive ☑ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☑ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

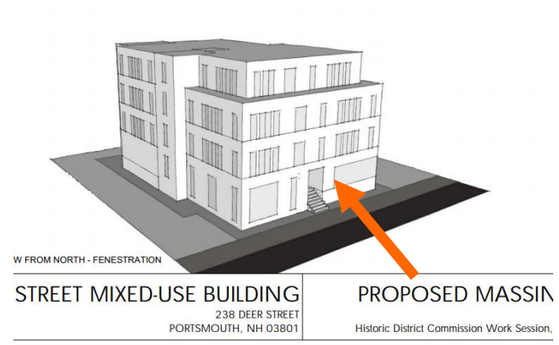
I. Neighborhood Context:
- The building is located along New Castle Ave. across from Round Island in the South End. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
- Replace two casement windows that were damaged in a recent storm with a picture window and two double-hung windows.
- **The applicant will submit revised plan by August 4th for the August 11th meeting. Such plans will be forwarded to you at that time.**

Design Guideline Reference – *Guidelines for Windows and Doors (08).*

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions

Zoning Map

HISTORIC SURVEY RATING

NC

238 DEER ST. (LUHD-340) – WORK SESSION #A (MAJOR)

STAFF	No.	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	**MAJOR PROJECT** – Construct a 4-Story Building –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:238 DEER ST. Case No.:A Date: 8-11-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **137 NORTHWEST ST. (LUHD-296)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #B**

Existing Conditions:
- Zoning District: GRA
- Land Use: Single Family
- Land Area: 23,522 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Queen Anne
- Historical Significance: C
- Public View of Proposed Work: View from Northwest Street & the Rte.1 Bypass.
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To construct a new single family house on the lot.

C. Other Permits Required:

☑ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☑ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☑ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☑ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

L. Neighborhood Context:
- The building lot is located along Northwest Street. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas. The proposed lot is very narrow which limits the potential for landscape screening along the Rte. 1 Bypass.

M. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
- Construct a new single-family residence on the north eastern portion of the property.
- Note that a variance was granted to support this application.
- **The applicant will submit revised plan by August 4th for the August 11th meeting. Such plans will be forwarded to you at that time.**

Design Guideline Reference – *Guidelines for New Construction (02-09).*

N. Aerial Image, Street View and Zoning Map:

Proposed Alterations and Existing Conditions

Zoning Map

HISTORIC SURVEY RATING

-

137 NORTHWEST ST. (LUHD-296) – WORK SESSION #B (MINOR)

STAFF	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
1	Gross Floor Area (SF)	**MODERATE PROJECT** – Construct a New Single-Family Structure -			
2	Floor Area Ratio (GFA/ Lot Area)				
3	Building Height / Street-Width Ratio				
4	Building Height – Zoning (Feet)				
5	Building Height – Street Wall / Cornice (Feet)				
6	Number of Stories				
7	Building Coverage (% Building on the Lot)				

HISTORIC DISTRICT COMMISSION MEMBERS			PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 137 Northwest St. Case No.: B Date: 8-11-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **93 PLEASANT STREET (LUHD-235)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #C**

A. Property Information - General:

Existing Conditions:
- Zoning District: CD4
- Land Use: Commercial
- Land Area: 11,325 SF +/-
- Estimated Age of Structure: c.1818
- Building Style: Federal
- Historical Significance: Focal
- Public View of Proposed Work: View from Pleasant and Court Streets
- Unique Features: Focal Building and Historic Stone Wall along Court Street
- Neighborhood Association: Downtown

B. Proposed Work: To add a 3-story addition with connector building.

C. Other Permits Required:

☐ Board of Adjustment ☑ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☑ Highly Sensitive ☐ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☑ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☑ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

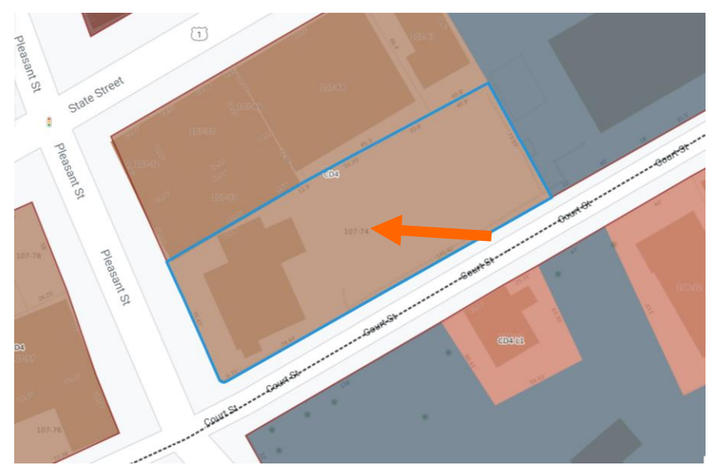
J. Background, Comments & Suggested Actions:

The Applicant is seeking to:
- Add a three-story addition to the parking lot area along Court Street a connector to the Treadwell House.
- Substantial design changes were presented at the July 14th meeting that now show a traditional building design.
- **The applicant will submit revised plan by August 4th for the August 11th meeting. Such plans will be forwarded to you at that time.**

- **Design Guideline Reference: *Guidelines for Small-Scale New Construction and Additions (10)***

K. Aerial Images and Maps:

Renderings of the Proposed Addition and Connector Buildings



Zoning Map

HISTORIC SURVEY RATING

F

93 PLEASANT STREET (LUHD-235) – WORK SESSION #C (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
STAFF		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)				
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

MAJOR PROJECT
– Construct a 3 Story Addition and a Connector Building –

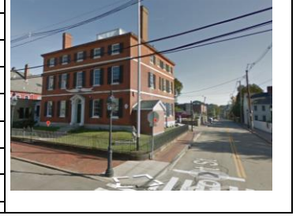
HISTORIC DISTRICT COMMISSION MEMBERS			PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Number and Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Storm Windows / Screens / Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls / Screenwalls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:93 PLEASANT ST. Case No.:C Date: 8-11-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

J. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **1 & 31 RAYNES AVE. (LUHD-234)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #D**

Existing Conditions:

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: Contemporary
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To construct a 4-5 story mixed-use building(s).

C. Other Permits Required:

☐ Board of Adjustment ☑ Planning Board ☐ City Council

D. Lot Location:

☑ Terminal Vista ☐ Gateway ☑ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☑ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

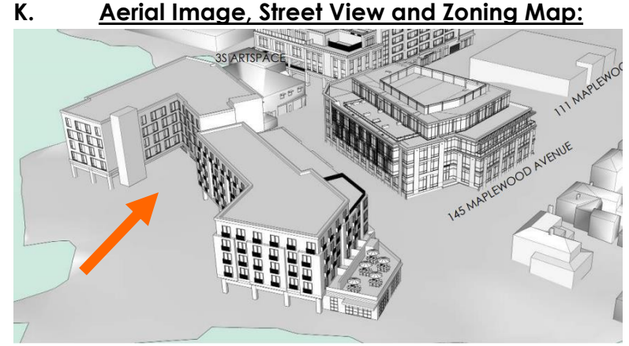
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- **Note that the applicant has requested a continuance of this application since February of this year so if new plans arrive by August 4th they will be forwarded to at that time.**

Design Guideline Reference – *Guidelines for Commercial Developments and Storefronts (12).*

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image

Zoning Map

HISTORIC SURVEY RATING

C

1 & 31 RAYENES AVE. (LUHD-234) – WORK SESSION #D (MAJOR)

STAFF	No.	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)				
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

MAJOR PROJECT
– Construct two 5 Story Mixed-Use Buildings –

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 1 & 31 Raynes Ave. Case No.: D Date: 8-11-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **279 MARCY ST. (LUHD-259)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #E**

Existing Conditions:
- Zoning District: GRB
- Land Use: Single Family
- Land Area: 5,660 SF +/-
- Estimated Age of Structure: c.1875
- Building Style: Greek Revival
- Historical Significance: C
- Public View of Proposed Work: View from Marcy St. & Meeting House Hill Rd.
- Unique Features: Non-Contributing
- Neighborhood Association: South End

B. Proposed Work: To add a recessed roof dormer.

C. Other Permits Required:

☑ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☑ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☑ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☑ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

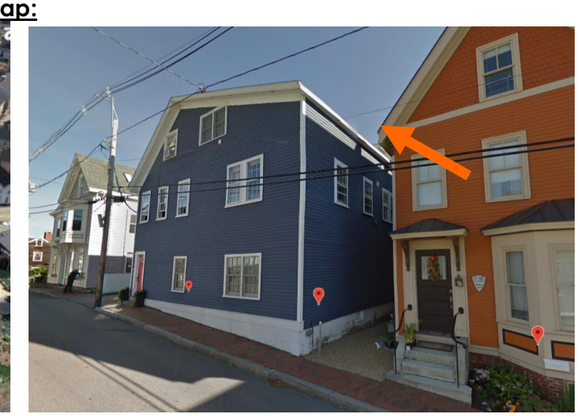
a. The building is located near the Meeting House along Marcy Street in the heart of the South End. It is surrounded with many 2-3 story wood-sided historic structures with no front yard setback and small rear yards and garden areas.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
- Add a recessed roof deck within the southern roof structure.
- **NOTE – We expect to receive revised plans by August 4th and they will be forwarded to you at that time.**

Design Guideline Reference – *Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).*

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions

Zoning Map

HISTORIC SURVEY RATING

NC

279 MARCY ST. (LUHD-259) – WORK SESSION #E (MODERATE)

STAFF	No.	INFO/ EVALUATION CRITERIA: Project Information	SUBJECT PROPERTY: Existing Building	SUBJECT PROPERTY: Proposed Building (+/-)	NEIGHBORHOOD CONTEXT: Abutting Structures (Average)	NEIGHBORHOOD CONTEXT: Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)				
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

MODERATE PROJECT
– Construct a Recessed Roof Dormer and Deck –

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:279 MARCY ST. Case No.:E Date: 8-11-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **449 COURT STREET (LUHD-235)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #F**

A. Property Information - General:

Existing Conditions:
- Zoning District: CD4-L1
- Land Use: Multi-Family
- Land Area: 2,613 SF +/-
- Estimated Age of Structure: c. 1996
- Building Style: Traditional
- Historical Significance: NA
- Public View of Proposed Work: View from Court Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: Add a 4th Floor Addition and roof deck along Court Street.

C. Other Permits Required:

☐ Board of Adjustment ☐ Planning Board ☐ City Council
☐ Condo Association ☐ Abutting Property Owner

D. Lot Location:

☐ Terminal Vista ☐ Gateway ☑ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☑ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☑ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:
- The buildings are located along lower Court Street. It's surrounded with many wood- and brick-sided structures with no setbacks and shallow sideyards. This structure also abuts Strawbery Banke.

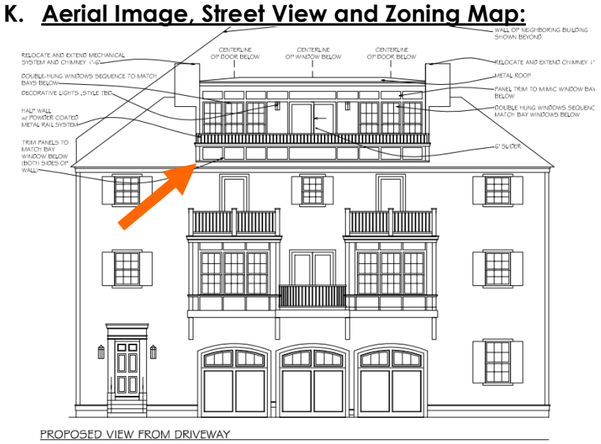
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
- Change the roof design by adding a 4th floor addition and roof deck.
- The addition is generally proposed to be located along the northern property line abutting a taller structure with a common wall containing no openings.

- **NOTE – The Applicant had requested a postponement of this application while they continue to study the visual impacts of the project. The deadline for submission is August 4th so, if received, we will forward plans to you at that time.**

- **Design Guideline Reference**: ***Guidelines for Roofing (04), Exterior Woodwork (05), Porches, Steps and Decks (06) and Small Scale New Construction and Additions (10).***

K. Aerial Image, Street View and Zoning Map:



Rear Decks and Aerial View Image

Zoning Map

HISTORIC SURVEY RATING

NA

449 COURT STREET (LUHD-235) – WORK SESSION #F (MODERATE)

STAFF		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	**MODERATE PROJECT**			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

– Add 4th Floor Addition and Roof Deck –

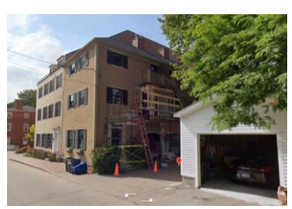
HISTORIC DISTRICT COMMISSION MEMBERS			PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Siding / Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and Windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Awnings			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages/ Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:449 COURT STREET Case No.:F Date: 8-11-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address: **2 RUSSELL & 0 DEER ST (LUHD-366)**
Permit Requested: **CERTIFCATE OF APPROVAL**
Meeting Type: **WORK SESSION #1**

A. Property Information - General:

Existing Conditions:
- Zoning District: CD5
- Land Use: Vacant /Parking
- Land Area: 85,746 SF +/-
- Estimated Age of Structure: NA
- Building Style: NA
- Number of Stories: NA
- Historical Significance: NA
- Public View of Proposed Work: View from Deer & Russell Streets & Maplewood Ave.
- Unique Features: Surface Parking Lot
- Neighborhood Association: North End

B. Proposed Work: To construct 3, 5 story, mixed-use buildings with connectors.

C. Other Permits Required:

☐ Board of Adjustment ☑ Planning Board ☐ City Council

D. Lot Location:

☐ Terminal Vista ☑ Gateway ☐ Mid-Block
☑ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

☑ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

☐ Highly Sensitive ☑ Sensitive ☐ Low Sensitivity ☐ "Back-of-House"

G. Design Approach (for Major Projects):

☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☑ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots and little to no setback from the sidewalk.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to construct a new five-story mixed use building with ground floor parking in the rear section of the building (using recessed single-story connectors).
- The building is broken into three main modules with a recessed, ground-floor connector.
- Being the first work session, the focus is on the massing of the building on the site.
- Note that we will get the proposed volume inserted into the City's 3 D Massing Model.

M. Aerial Image, Street View and Zoning Map:

Aerial and Street View Image

Zoning Map

HISTORIC SURVEY RATING

-

2 RUSSELL & 0 DEER STREET (LUHD-366) – WORK SESSION #1 (MAJOR PROJECT)

STAFF	No.	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)				
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

MAJOR PROJECT

- 3 NEW 5 STORY INFILL BUILDINGS WITH GROUND FLOOR CONNECTORS -

HISTORIC DISTRICT COMMISSION MEMBERS		No.	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
	CONTEXT	8	**Scale** (i.e. height, volume, coverage…)			☐ Appropriate ☐ Inappropriate
		9	**Placement** (i.e. setbacks, alignment…)			☐ Appropriate ☐ Inappropriate
		10	**Massing** (i.e. modules, banding, stepbacks…)			☐ Appropriate ☐ Inappropriate
		11	**Architectural Style** (i.e. traditional – modern)			☐ Appropriate ☐ Inappropriate
	BUILDING DESIGN & MATERIALS	12	**Roofs**			☐ Appropriate ☐ Inappropriate
		13	Style and Slope			☐ Appropriate ☐ Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers…)			☐ Appropriate ☐ Inappropriate
		15	Roof Materials			☐ Appropriate ☐ Inappropriate
		16	**Cornice Line**			☐ Appropriate ☐ Inappropriate
		17	Eaves, Gutters and Downspouts			☐ Appropriate ☐ Inappropriate
		18	**Walls**			☐ Appropriate ☐ Inappropriate
		19	Number and Material			☐ Appropriate ☐ Inappropriate
		20	Projections (i.e. bays, balconies…)			☐ Appropriate ☐ Inappropriate
		21	**Doors and windows**			☐ Appropriate ☐ Inappropriate
		22	Window Openings and Proportions			☐ Appropriate ☐ Inappropriate
		23	Window Casing/ Trim			☐ Appropriate ☐ Inappropriate
		24	Window Shutters / Hardware			☐ Appropriate ☐ Inappropriate
		25	Storm Windows / Screens			☐ Appropriate ☐ Inappropriate
		26	Doors			☐ Appropriate ☐ Inappropriate
		27	**Porches and Balconies**			☐ Appropriate ☐ Inappropriate
		28	Projections (i.e. porch, portico, canopy…)			☐ Appropriate ☐ Inappropriate
		29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappropriate
		30	**Lighting** (i.e. wall, post…)			☐ Appropriate ☐ Inappropriate
		31	**Signs** (i.e. projecting, wall…)			☐ Appropriate ☐ Inappropriate
		32	**Mechanicals** (i.e. HVAC, generators)			☐ Appropriate ☐ Inappropriate
		33	**Decks**			☐ Appropriate ☐ Inappropriate
		34	**Garages / Barns / Sheds** (i.e. doors, placement…)			☐ Appropriate ☐ Inappropriate
	SITE DESIGN	35	**Fence / Walls / Screenwalls** (i.e. materials, type…)			☐ Appropriate ☐ Inappropriate
		36	**Grading** (i.e. ground floor height, street edge…)			☐ Appropriate ☐ Inappropriate
		37	**Landscaping** (i.e. gardens, planters, street trees…)			☐ Appropriate ☐ Inappropriate
		38	**Driveways** (i.e. location, material, screening…)			☐ Appropriate ☐ Inappropriate
		39	**Parking** (i.e. location, access, visibility…)			☐ Appropriate ☐ Inappropriate
		40	**Accessory Buildings** (i.e. sheds, greenhouses…)			☐ Appropriate ☐ Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:2 RUSELL & 0 DEER ST. Case No.: 1 Date: 8-11-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No
2. Assessment of the Historical Significance: ☐ Yes ☐ No
3. Conservation and enhancement of property values: ☐ Yes ☐ No
4. Maintain the special character of the District: ☐ Yes ☐ No
5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No
2. Compatibility of design with surrounding properties: ☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

361 Islington Street

Work Session/Public Hearing

Work Session only

LU-21-147

City of Portsmouth, NH

08/06/2021

LU-21-147

Land Use Application

Status: Active

Date Created: Jul 16, 2021

Applicant

Danielle Cain
dcain@marketsquarearchitects.com
104 Congress St
Suite 203
Portsmouth, NH 03801
603-501-0202

Location

361 ISLINGTON ST
Portsmouth, NH 03801

Owner:

LUCKY THIRTEEN PROPERTIES LLC
PO BOX 300 RYE, NH 03870-0300

Applicant Information

Please indicate your relationship to this project

F. Applicant's Representative Filing on behalf of C., D. or E. above

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☑

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☐

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

☐

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

☐

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

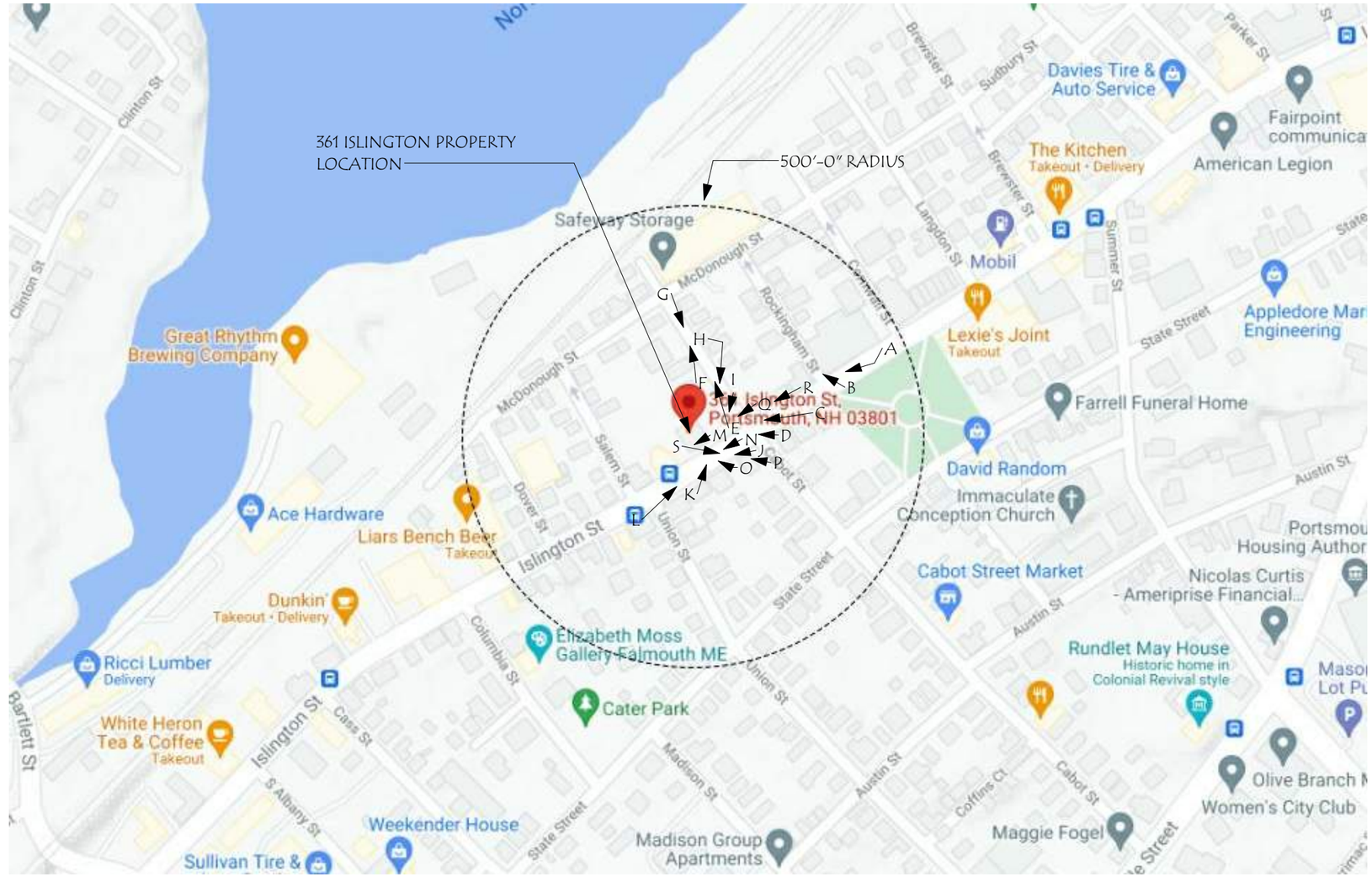
Request for Extension of Previously Granted Land Use Approval

GENERAL PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF A SINGLE LOT ON THE CORNER OF ISLINGTON STREET AND CABOT STREET. THE LOT CURRENTLY CONTAINS A FORMER GAS STATION THAT INCLUDES A SINGLE STRUCTURE WITH AN EXISTING CANOPY. THERE WILL BE MINOR MODIFICATIONS TO THE EXTERIOR OF THE STRUCTURE TO ACCOMMODATE FENESTRATION AND KITCHEN EQUIPMENT.

ZONING SUMMARY:

ZONING DISTRICT: CD4-L2
LOT SIZE: 15,114
BUILDING HEIGHT: 35'-0" ALLOWED
GROUND FLOOR ABOVE SIDEWALK: 3'-0"
MIN GROUND STORY HEIGHT: 11'0"



PROJECT NO. 2021069

361 ISLINGTON - HDC

COVER SHEET

WORKSESSION JULY 2021

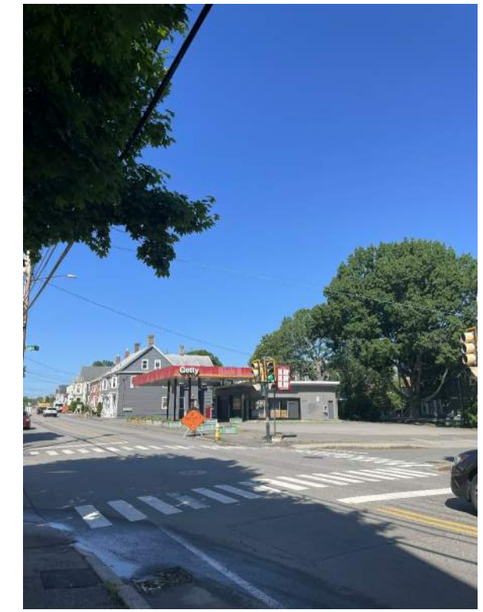
MARKET SQUARE ARCHITECTS

PH: 603.501.0202

A - ISLINGTON STREET

B - ISLINGTON STREET

C - ISLINGTON STREET



D - ISLINGTON STREET

E - CABOT STREET

F - CABOT STREET

G - CABOT STREET

H - CABOT STREET

I - CABOT STREET

PROJECT NO. 2021069

361 ISLINGTON - HDC

CONTEXT PHOTOS

WORKSESSION JULY 2021

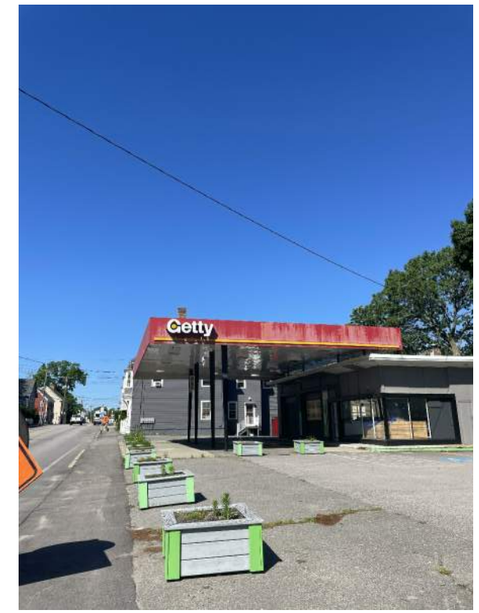
MARKET SQUARE ARCHITECTS

PH: 603.501.0202

J - ISLINGTON STREET

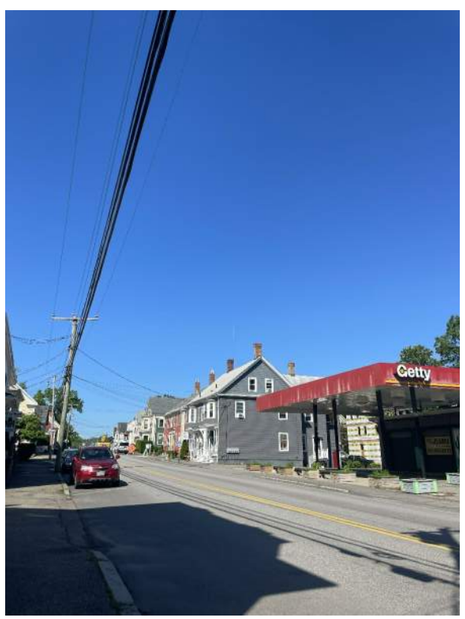
K - ISLINGTON STREET

L - ISLINGTON STREET



M - ISLINGTON STREET

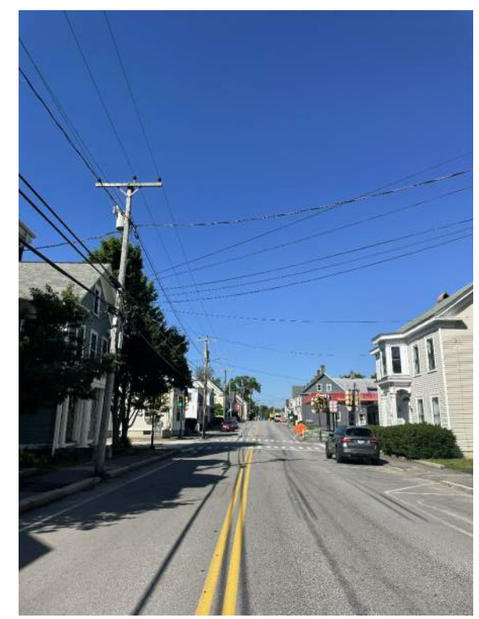
N - ISLINGTON STREET



O - ISLINGTON STREET

P - ISLINGTON STREET

Q - ISLINGTON STREET



R - ISLINGTON STREET

S - 361 ISLINGTON STREET

PROJECT NO. 2021069

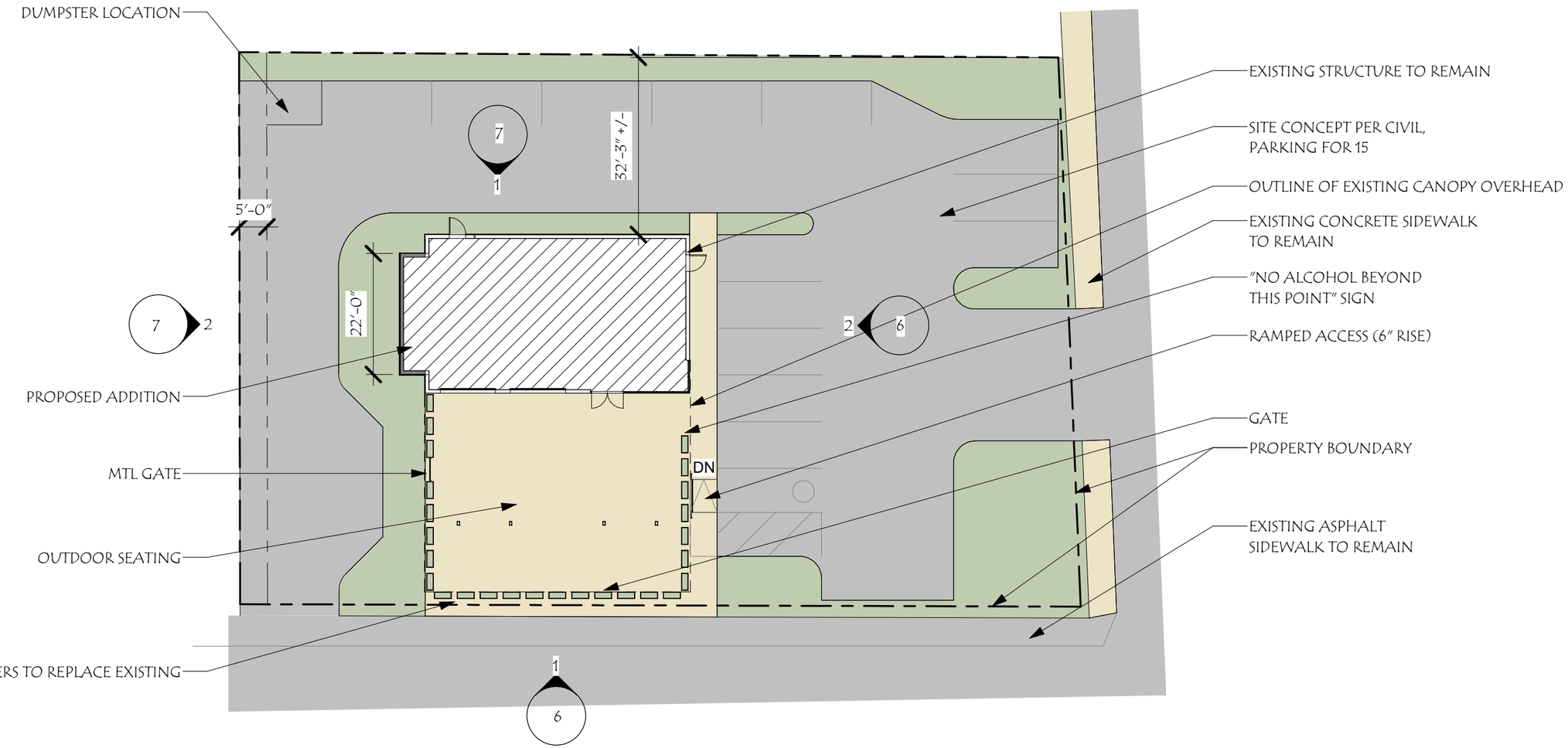
361 ISLINGTON - HDC

CONTEXT PHOTOS

WORKSESSION JULY 2021

MARKET SQUARE ARCHITECTS

PH: 603.501.0202



1 CONCEPT SITE PLAN

SCALE: 3/64" = 1'-0"

PROJECT NO. 2021069

361 ISLINGTON - HDC

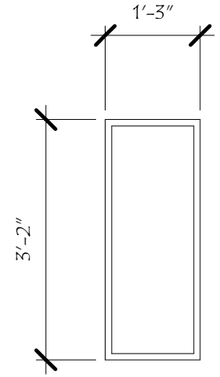
SITE PLAN

WORKSESSION JULY 2021

MARKET SQUARE ARCHITECTS

PH: 603.501.0202

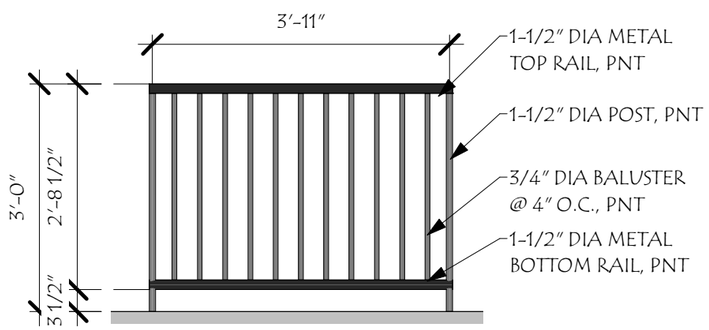
IMAGE OF PROPOSED PLANTER



PLAN

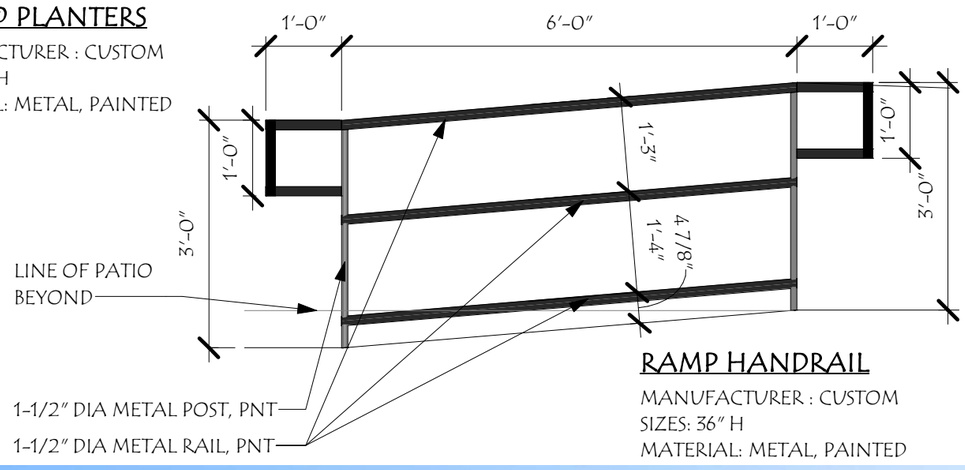
PLANTER

MANUFACTURER : POTTERY BARN OR APPROVED EQUAL
SIZES: 38" X 15" X 16.5"H
MATERIAL: HANDMADE FROM A MIXTURE OF POLYESTER RESIN, STONE, SAND AND POWDERED STONE



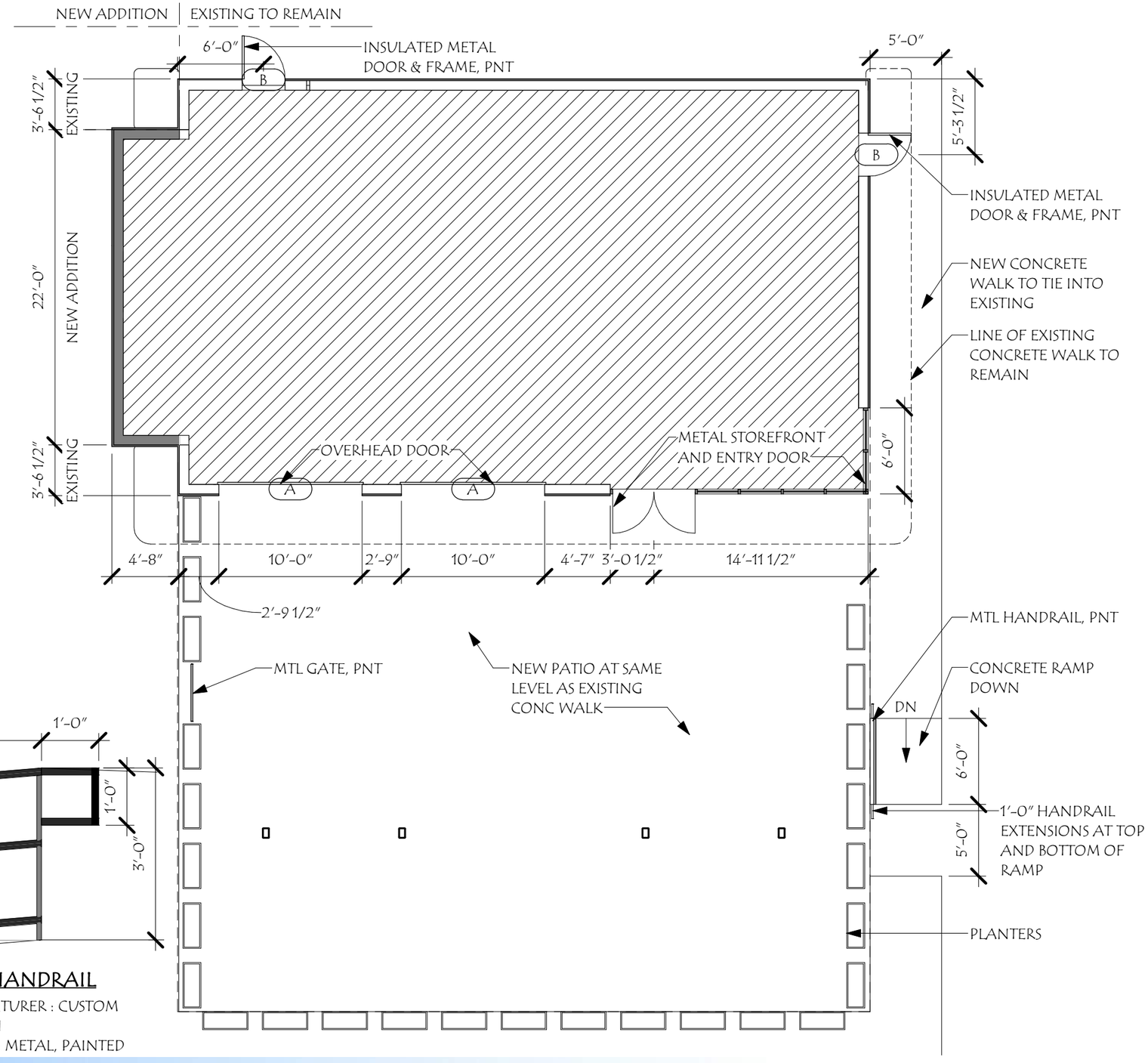
GATE @ PLANTERS

MANUFACTURER : CUSTOM
SIZES: 36" H
MATERIAL: METAL, PAINTED



RAMP HANDRAIL

MANUFACTURER : CUSTOM
SIZES: 36" H
MATERIAL: METAL, PAINTED



PROJECT NO. 2021069

361 ISLINGTON - HDC

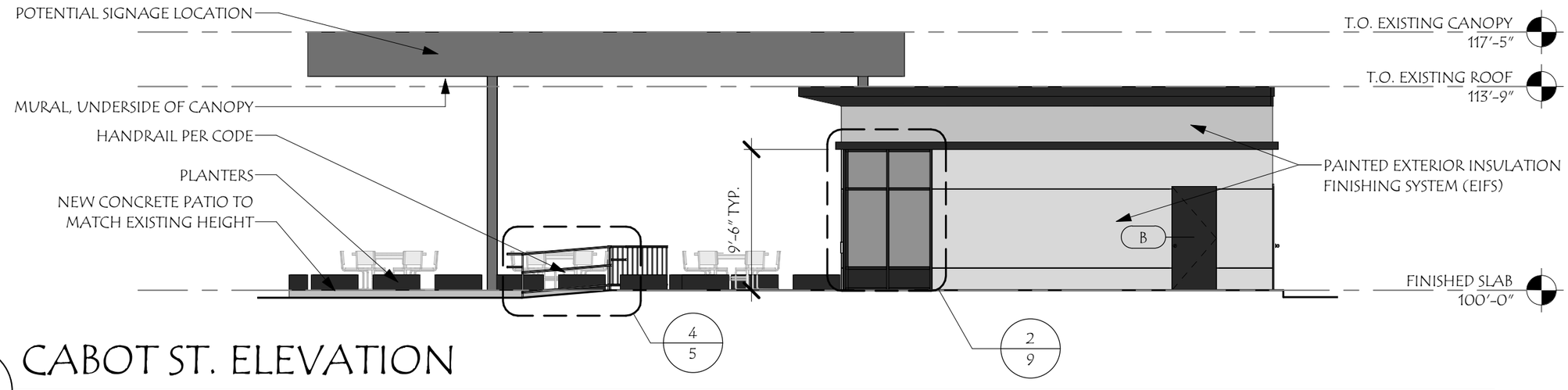
FIRST FLOOR PLAN

WORKSESSION JULY 2021

MARKET SQUARE ARCHITECTS

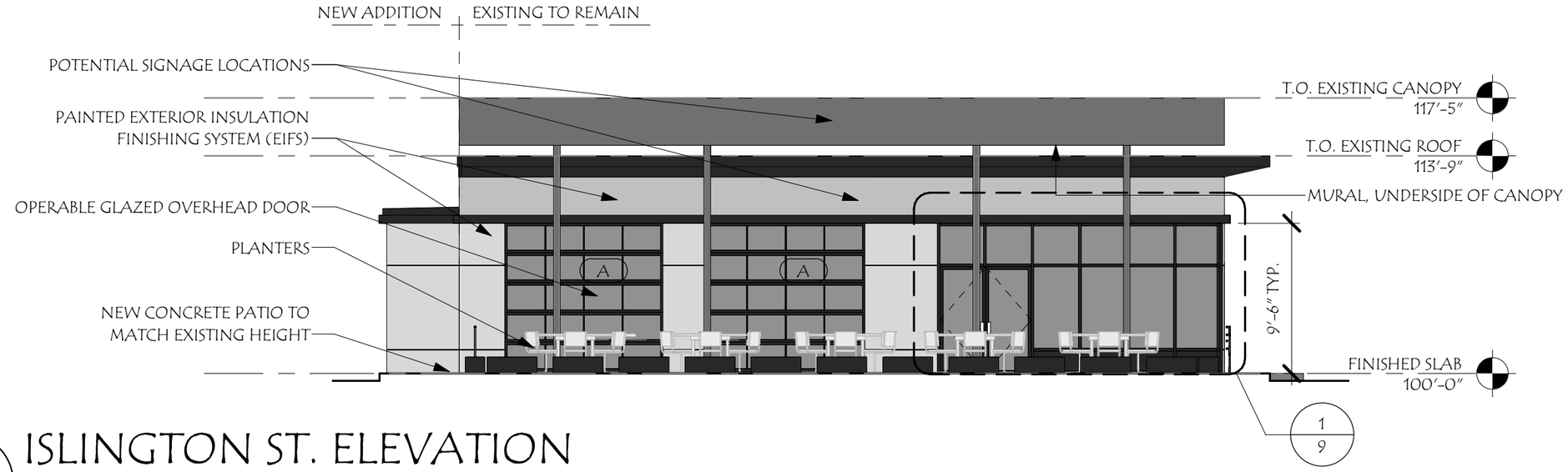
PH: 603.501.0202

NOTE:
FURNITURE SHOWN FOR SCALE ONLY



2 CABOT ST. ELEVATION

SCALE: 1/8" = 1'-0"



1 ISLINGTON ST. ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT NO. 2021069

361 ISLINGTON - HDC

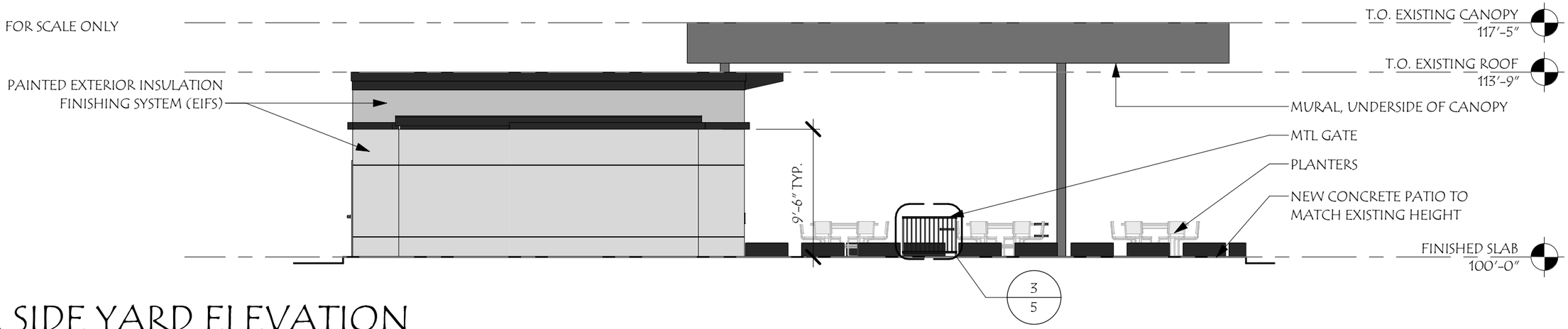
EXTERIOR ELEVATIONS

WORKSESSION JULY 2021

MARKET SQUARE ARCHITECTS

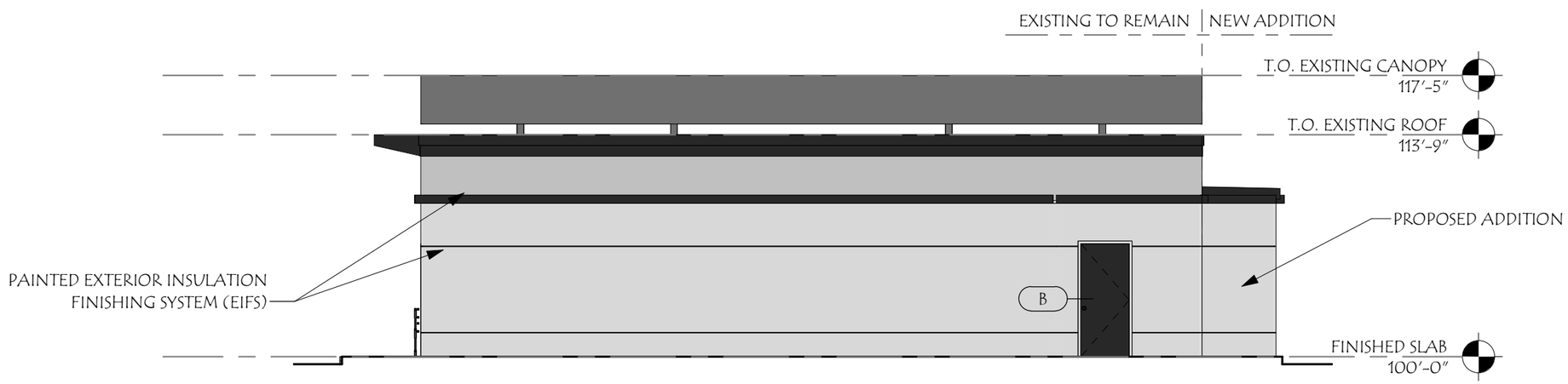
PH: 603.501.0202

NOTE:
FURNITURE SHOWN FOR SCALE ONLY



2 SIDE YARD ELEVATION

SCALE: 1/8" = 1'-0"



1 REAR YARD ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT NO. 2021069

361 ISLINGTON - HDC

EXTERIOR ELEVATIONS

WORKSESSION JULY 2021

MARKET SQUARE ARCHITECTS

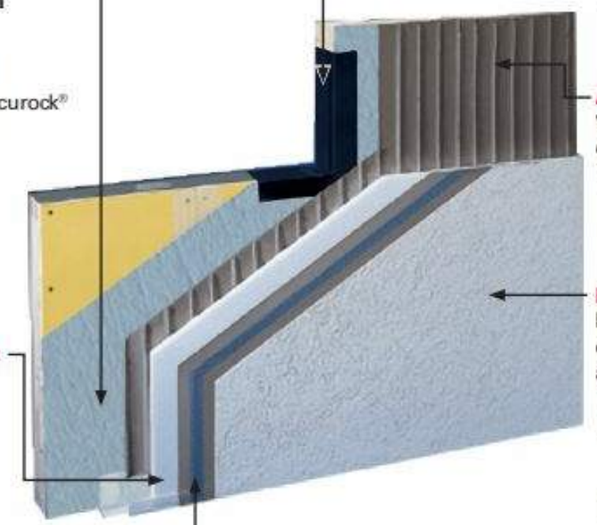
PH: 603.501.0202

EXAMPLE OF EIFS MATERIAL

Dryvit™

HOW IT WORKS

Outsulation systems typically consist of the following components, as determined by code and performance requirements.



DRYVIT/TREMCO APPROVED WATER-RESISTIVE BARRIER:

Seamlessly protects sheathing or substrate from incidental moisture and eliminates air infiltration

- Liquid applied
- Continuous or monolithic
- Includes Backstop NT®, Securock® ExoAir® 430

CONTINUOUS INSULATION:

Absorbs expected building movement and enhances energy efficiency

- Eliminates thermal bridging in framed construction
- Meets CI requirements for all zones per ASHRAE 90.1-2010
- Available in both EPS (expanded polystyrene) and XPS (extruded polystyrene)
- Available in various thicknesses and can fully meet wall insulation requirements

DRYVIT/TREMCO APPROVED FLASHING SYSTEM:

Seamlessly protects openings in the building envelope from moisture

- Includes AquaFlash® or Dymonic® 100

ADHESIVE / DRAINAGE MEDIUM:

Vertical notches allow drainage of incidental moisture

- Adheres insulation board to the Air-and Water-Resistive Barrier

FINISH COAT:

Blend of 100 percent acrylic copolymers, natural aggregates and UV resistant pigments

- Easy to maintain
- Available in many textures and limitless color options
- Offer multiple aesthetic options
- Options for increased hydrophobicity, flexibility and mildew and fade resistance

BASE COAT AND REINFORCING MESH:

Combine to provide the primary weather barrier and impact resistance

- Mesh embedded in base coat
- Various weights of mesh available, depending on impact resistance required

PROPOSED EXTERIOR MATERIAL

DRYVIT OUTSULATION OR APPROVED EQUAL

PROJECT NO. 2021069

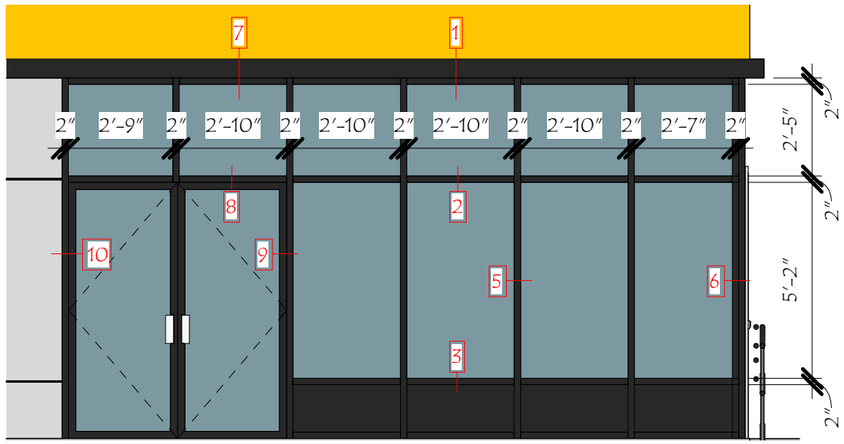
361 ISLINGTON - HDC

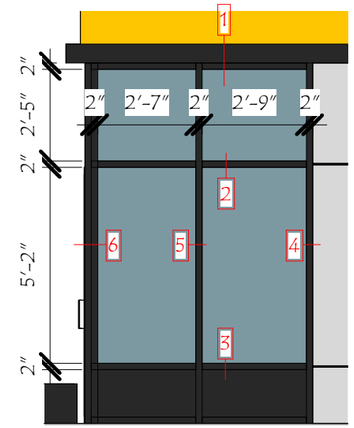
EXTERIOR DETAILS

WORKSESSION JULY 2021

MARKET SQUARE ARCHITECTS

PH: 603.501.0202





KAWNEER
AN ARCONIC COMPANY

EnCORE® Framing System

Key Features Include:

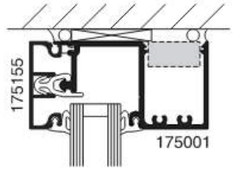
- Economical
- 1-3/4" (44.5) sightline with a 3-9/16" (90.5), 4-1/2" (114.3) or 6" (152.4) depth
- Front or Center (4-1/2") glass plane applications
- Outside glazed
- Screw Spline, Shear Block or Type-B fabrication
- SSG option
- Infill options up to 1-1/8" (28.6)
- Thermal break via. Polymer glazing clip
- Permanodic® anodized finishes in 7 standard choices
- Painted finishes in 42 standard choices and unlimited custom choices

STOREFRONT ELEVATION #1

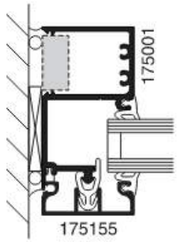
MANUFACTURER : KAWNEER STOREFRONT WINDOW OR APPROVED EQUAL
SIZES: SEE SKETCH
MATERIAL: METAL & GLASS

STOREFRONT ELEVATION #2

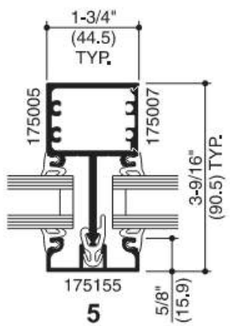
MANUFACTURER : KAWNEER STOREFRONT WINDOW OR APPROVED EQUAL
SIZES: SEE SKETCH
MATERIAL: METAL & GLASS



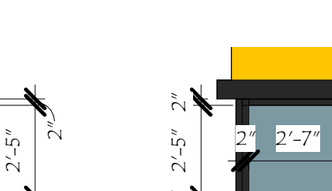
1
HEAD



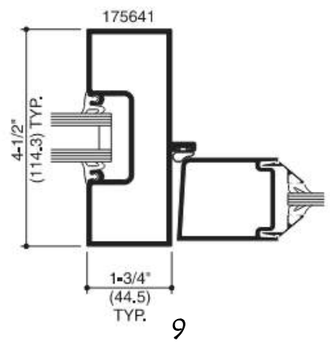
4
JAMB



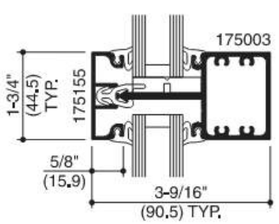
5
SPLIT
MULLION



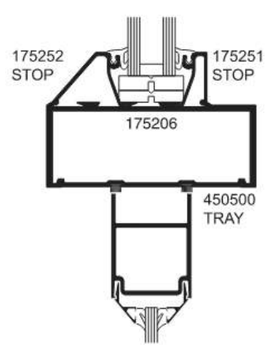
7
TRANSOM HEAD



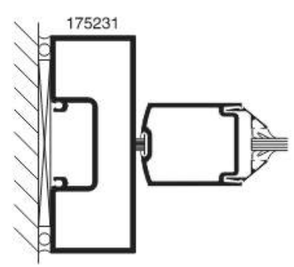
9
SINGLE ACTING
DOOR JAMB



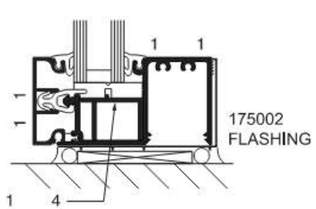
2
HORIZONTAL



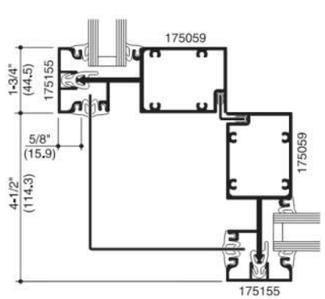
8
C.O.C.
CENTER PIVOT
TRANSOM BAR



10
DOUBLE ACTING
DOOR JAMB



3
SILL



6
CORNER

MARKET SQUARE ARCHITECTS
104 Congress St., STE 203
Portsmouth, NH 03801
PH. 603.501.0202

NOT FOR CONSTRUCTION

361 ISLINGTON - HDC

[PROJECT ADDRESS]

Revisions:

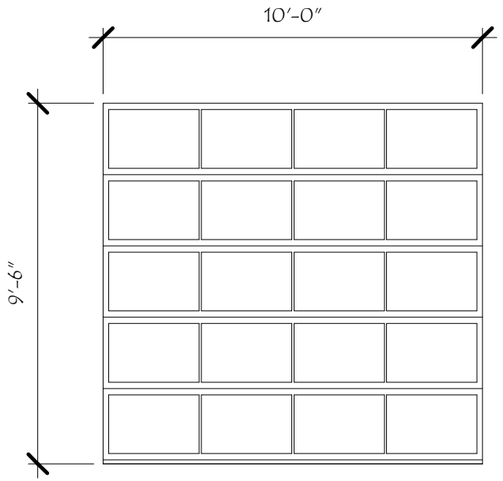
#	Description	Date

SCALE:	1/4" = 1'-0"
DRAWN BY:	Author
CHECKED BY:	Checker
PROJECT NO.:	2021069
DATE:	07/13/21

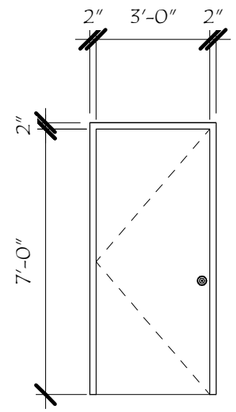
TITLE: EXTERIOR DETAILS

9

 7/16/2021 8:53:32 AM



TYPE A - OVERHEAD DOOR COMPANY MODEL 9920 (OR APPROVED EQUAL)
PANEL THICKNESS 1 ¾"
MATERIAL: INSULATED ALUMINUM
STANDARD FINISH: POWDERCOATED OR ANODIZED
GLAZING: CLEAR



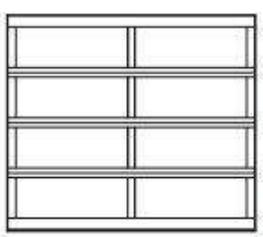
TYPE B - TRUDOOR HOLLOW METAL DOOR (OR APPROVED EQUAL)
DOOR =
LOCATION: EXTERIOR
TYPE: FLUSH
MATERIAL: INSULATED METAL, PAINTED
FRAME =
PROFILE: DOUBLE RABBET
LOCATION: EXTERIOR
MATERIAL: HOLLOW METAL, PAINTED

TRUDOOR™

Specifications			
Level	Heavy Duty, SDI Level 2 – 18-Gauge Steel Face Sheets – (16 Ga. Available)	Core	Rigid Honeycomb Core or Polystyrene Core
Door Thickness	1-3/4" Standard	Handing	Non-Handed Design; Reversible Hinge Plates
Sizes	Standard Widths up to 4'0", Heights to 8'0" (Custom Sizes Available)	Edges	Square Hinge and Lock Edges (Beveled Edges Available) – Full Height, Epoxy Filled Mechanical Interlock Edges
Reinforcements	Heavy Gauge Door Closer and Hinge Reinforcements	Channels	14-Gauge Inverted Top and Bottom Channels, Optional Flush Top Cap
Door Finish	Factory-Applied, Baked-On, Rust Inhibiting Gray Primer (No Special Color Options) – Not intended to be a finish coat. It is recommended that finish paint (topcoat) be applied after installation	Standard Preps	161 (cylindrical lock), 86 Edge (mortise lock), Deadbolt, RPD (blank edge, panic reinforced)
Optional Preps	Continuous Hinge Application (Undersized Width), Exit Device Trim, Deadbolts, Lite and Louver Cutouts	ANSI Standards	Meets or Exceeds Standards for ANSI 250.4 and ANSI 250.8
Fire-Rating	Optional – WHI / ITS up to 3-hour Fire-Rating, Positive Pressure and "S" Smoke included	Approvals	Florida Product Approved FL-13884 or FL-14237
Buy American Act Compliance	Meets Buy American Act – Made in USA	Mfg. Hinge/Lock Locations	Steelcraft, Baron, Ceco, Curries, Mesker, Republic, Pioneer, Deansteel, Custom Locations

DOOR TYPES

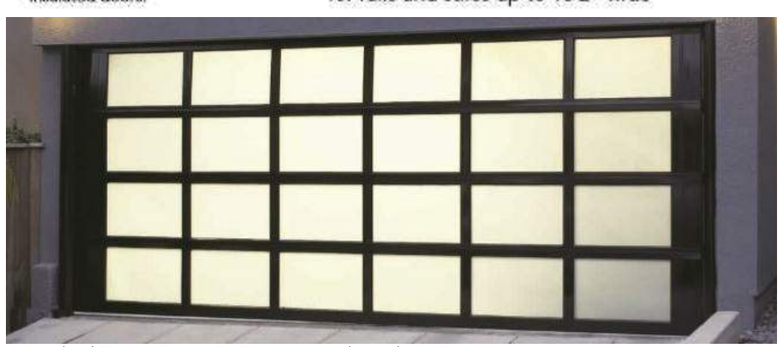
The Genuine. The Original.
OVERHEAD DOOR



Model 9920 (521)*
Heavy-duty frame

- Wide, heavy-duty rails and stiles
- An array of frame finishes and special custom options
- Door sizes up to 26' 2" wide by 20' 1" high
- Joint seal between sections for additional weather-resistance
- Wind load and impact rated door Door can be built to withstand a variety of wind conditions
- Optional polyurethane insulation for rails and stiles up to 18'2" wide

* Section height varies dependent on door height.
† R-value: Overhead Door Corporation uses a calculated door section R-value for our insulated doors.



EXAMPLE OF DOOR INSTALLATION

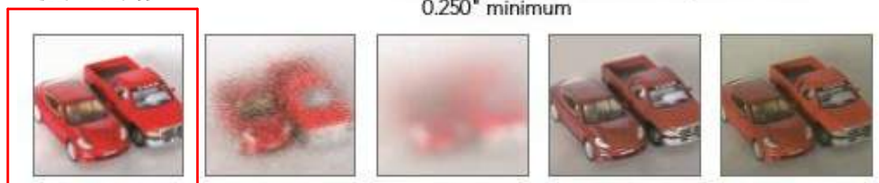
Specialty Glass

- Laminated White – privacy
- Low E Glass** – thermal efficiency
- Tempered Glass – enhanced safety
- Tinted Glass** – color options: Green, Gray, Bronze

Glass alternatives

- Clear Lexan® Polycarbonate** – shatter resistant
- Multi Wall Polycarbonate – superior strength with UV protection; color options: Clear, White, Bronze
- Plexiglas® Acrylic** – shatter resistant
- Impact Clear and Frosted Polycarbonate - 0.250" minimum

CLEAR GLASS



Double Strength DSB** (Standard) | Obscure | Satin Etched | Gray Tint | Green Tint

MARKET SQUARE ARCHITECTS
104 Congress St., STE 203
Portsmouth, NH 03801
PH: 603.501.0202

NOT FOR CONSTRUCTION

361 ISLINGTON - HDC

[PROJECT ADDRESS]

Revisions: #	Description	Date

SCALE: 1/4" = 1'-0"
DRAWN BY: Author
CHECKED BY: Checker
PROJECT NO.: 2021069
DATE: 07/13/21

TITLE: EXTERIOR DETAILS

10

55 Hanover Street

Public Hearing

LU-21-146

City of Portsmouth, NH

08/06/2021

LU-21-146

Land Use Application

Status: Active

Date Created: Jul 15, 2021

Applicant

Tom Healy
tomhealy@insurcomm.com
290 Heritage Ave
Portsmouth, NH 03801
6037705402

Location

55 HANOVER ST Unit 6A
Unit 6A
Portsmouth, NH 03801

Owner:

RAIKIC REALTY OF HANOVER LLC & C/O JOHN & CYNTHIA KACOYANIS
3323 SE 22ND PLACE CAPE CORAL, FL 33904

Applicant Information

Please indicate your relationship to this project

B. Property Owner's Representative

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☑

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

☐

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

☐

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

SOLD BY:

Ricci Supply Company, Inc. Portsmouth
105 Bartlett St
Portsmouth, NH 03801-7608
Fax: 603-427-2893

SOLD TO:

,

QUOTE DATE
7/9/2021

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Insurcomm	55 Hanover Street	1002505		
ORDER NOTES:				
DELIVERY NOTES:				

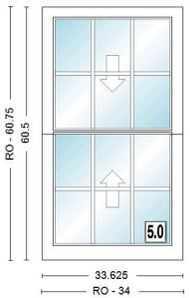
All Images Viewed from Exterior

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Insurcomm	55 Hanover Street	1002505		

ORDER NOTES:

DELIVERY NOTES:



Item	Qty	Operation	Location	Unit Price	Ext. Price
100	**15**	**AA**	**None Assigned**	**$856.71**	**$12,850.65**

RO Size = 34" x 60 3/4" **Unit Size = 33 5/8" x 60 1/2"**

TWI 2' 9 5/8"X5' 1/2", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Simulated Divided Light (SDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Hand Lift, Traditional, White, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Sash Lift: TWI Hand Lift Traditional White PN:9159482

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 33.625 x 60.5 8 Degrees - Moderate Full Screen Aluminum White

Unit #	U-Factor	SHGC
A1	0.3	0.28

Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	29.8270	25.0790	5.19470

Comments:

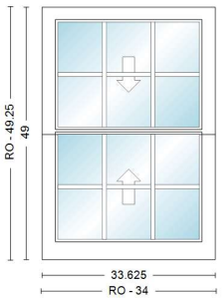
All Images Viewed from Exterior

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Insurcomm	55 Hanover Street	1002505		

ORDER NOTES:

DELIVERY NOTES:



Item	Qty	Operation	Location	Unit Price	Ext. Price
200	**7**	**AA**	**None Assigned**	**$782.69**	**$5,478.83**

RO Size = 34" x 49 1/4" **Unit Size = 33 5/8" x 49"**

TWI 2' 9 5/8"X4' 1", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Simulated Divided Light (SDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Hand Lift, Traditional, White, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Sash Lift: TWI Hand Lift Traditional White PN:9159482

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 33.625 x 49 8 Degrees - Moderate Full Screen Aluminum White

Unit #	U-Factor	SHGC
A1	0.3	0.28

Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	29.8270	19.5790	4.05540

Comments:

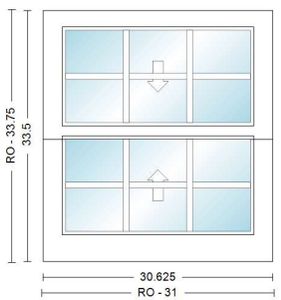
All Images Viewed from Exterior

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Insurcomm	55 Hanover Street	1002505		

ORDER NOTES:

DELIVERY NOTES:



Item	Qty	Operation	Location	Unit Price	Ext. Price
300	**3**	**AA**	**None Assigned**	**$791.85**	**$2,375.55**

RO Size = 31" x 33 3/4" **Unit Size = 30 5/8" x 33 1/2"**

WDHI 2' 6 5/8"X2' 9 1/2", Unit, 8 Degrees - Moderate, 400 Series Woodwright Double-Hung-WWI, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Simulated Divided Light (SDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Hand Lift, Traditional, White, Traditional, 1 Sash Locks White, White/WhiteJamb Liner, White, Full Screen, Aluminum

Sash Lift: WDHI Hand Lift Traditional White PN:9159482

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 30.625 x 33.5 8 Degrees - Moderate Full Screen Aluminum White

Unit #	U-Factor	SHGC
A1	0.3	0.28

Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.00000	0.00000	0.00000

Comments:

SUB-TOTAL:	$20,705.03
FREIGHT:	$0.00
LABOR:	$0.00
TAX:	$0.00
TOTAL:	$20,705.03

CUSTOMER SIGNATURE_____DATE_____

All Images Viewed from Exterior

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors


THE JUICERY
SMOOTHIES
ORGANIC JUICES
GOOD EATS
JUICERY CUSTOMERS
ORDER &
PICK UP
NEXT DOOR
15
MINUTE
METERED
PARKING

199 Middle Street

Public Hearing

LU-21-149

City of Portsmouth, NH

08/06/2021

LU-21-149

Land Use Application

Status: Active

Date Created: Jul 19, 2021

Applicant

Philip Rowlands
pcrowl3441@gmail.com
199 Middle Street
Portsmouth, NH 03801
860-287-3207

Location

199 MIDDLE ST
Portsmouth, NH 03801

Owner:

ROWLANDS PHILIP CHRISTOPHER & ROWLANDS JOY LORRAINE
199 MIDDLE ST PORTSMOUTH, NH 03801

Applicant Information

Please indicate your relationship to this project

A. Property Owner

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

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☐

Request for Extension of Previously Granted Land Use Approval

Supplemental Narrative linked to Building Permit BLDG-21-303 and Land Use Application 21-64

Address: 199 Middle Street, Portsmouth NH 03801

Owner and Applicant: Philip C. Rowlands

Objective:

We are seeking permission to demolish the existing shed due to extensive wood rot and unsafe condition, and to replace with a new shed supplied by Reeds Ferry in the Historic Colonial style and placed in a new location on the lot compliant with current building setback rules.

Description:

We moved into this property in Fall 2020 and our original intent was to renovate the shed prior to completing the move. However, when we had an inspection by a potential contractor, they showed us the extensive wood rot present in the structure. In particular the corner posts supporting the roof are rotted at the base, and the subfloor has rotted through in two different places causing the floor to sag and be unstable. In addition, the window had significant rot which had caused a number of panes to dislodge, and the roof was leaking in three different places. It was the opinion of the contractor that renovation was not possible and the structure would need to be taken apart and rebuilt from the ground up. I have included photographs below to show the damage where accessible, and some temporary measures in place to stabilize the structure.

Extensive rot in rear siding penetrating into shed foundation

Rot in base of corner post through to subfloor with no remaining exterior support for post

Collapse of subfloor visible from exterior rear of shed

Lower window sash removed to show degree of wood rot

Temporary supports to stabilize corner posts

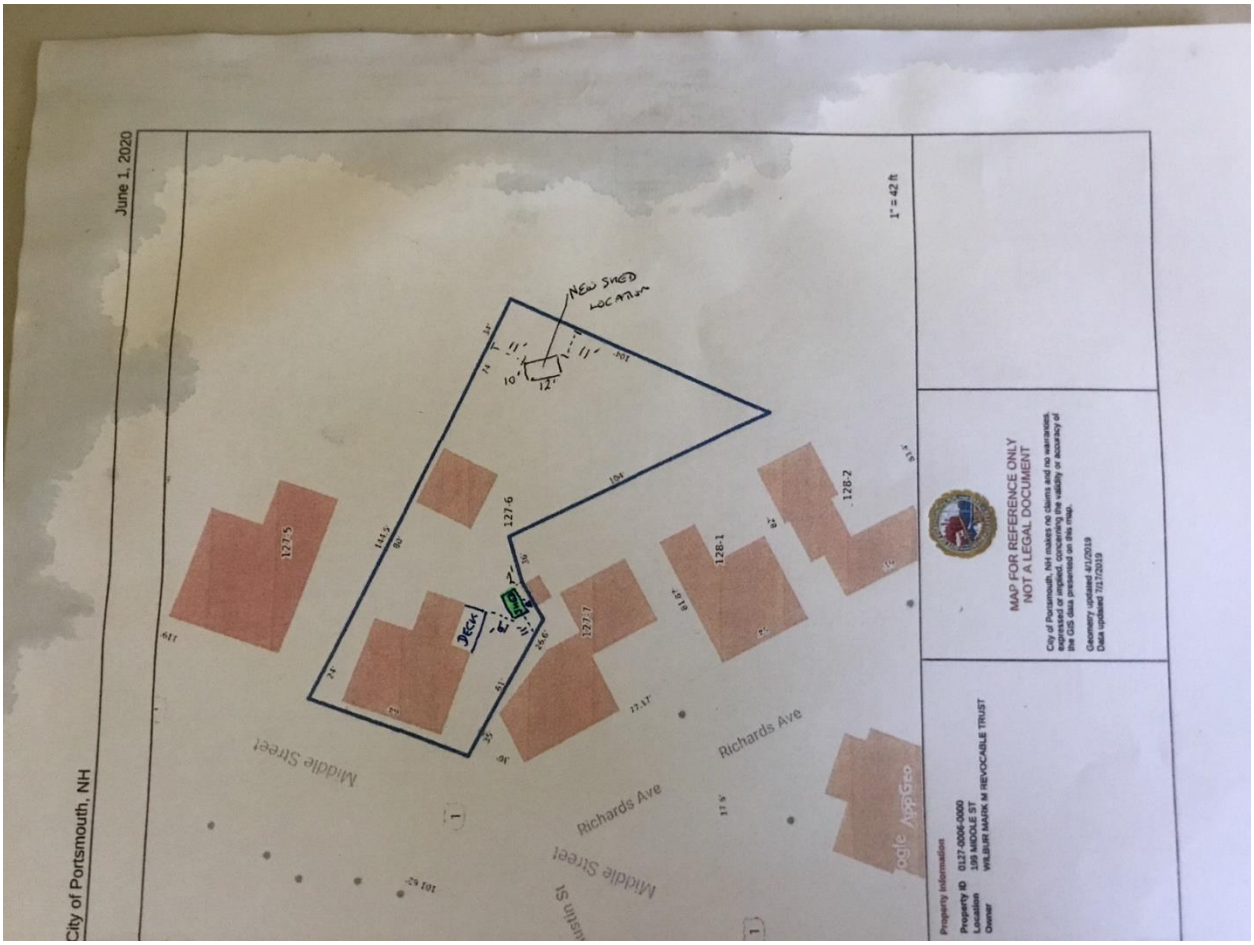
Our next plan was to arrange demolition of the existing shed and then replacement with a shed chosen to closely match the colonial style of house, with matching dimensions to the existing shed so it could be located on the same footprint. However, in discussion with the City Planning Department, we were informed that the existing shed no longer conforms with current planning requirements. Specifically, although the shed is 11 feet away from the side boundary running perpendicular to the street and adjoining the Richards Road property (compliant with regulations), the boundary then is notched inward to accommodate the lot of the next property, and the existing shed is only 2 feet from that fence line. In order to accommodate a 10 foot setback from that property line which would comply with the height to midline of the new shed, the footprint would need to be shifted forward by 8 feet. This would place the shed adjacent to the existing deck corner and would significantly impede access to the side of the property which needs to be clear for any emergency egress from that side of the house and for routine maintenance access to the air conditioning exterior units and the heating oil inlet.

After removal of window, picture showing proximity of rear fence line (2 feet)

To comply with setback rules, we have decided to apply for permission to move the new shed to a location at the rear of the lot with 11 foot setbacks to both the side fence adjoining the north fence line bordering the neighboring Middle Street property parking lot, and the east fence line bordering the middle school. Photographs of the proposed location are included below with the purple poles representing the four corners of the shed. I have also included lot plans showing the location of the existing shed and the proposed new shed location.

Proposed new shed location looking north east towards middle school

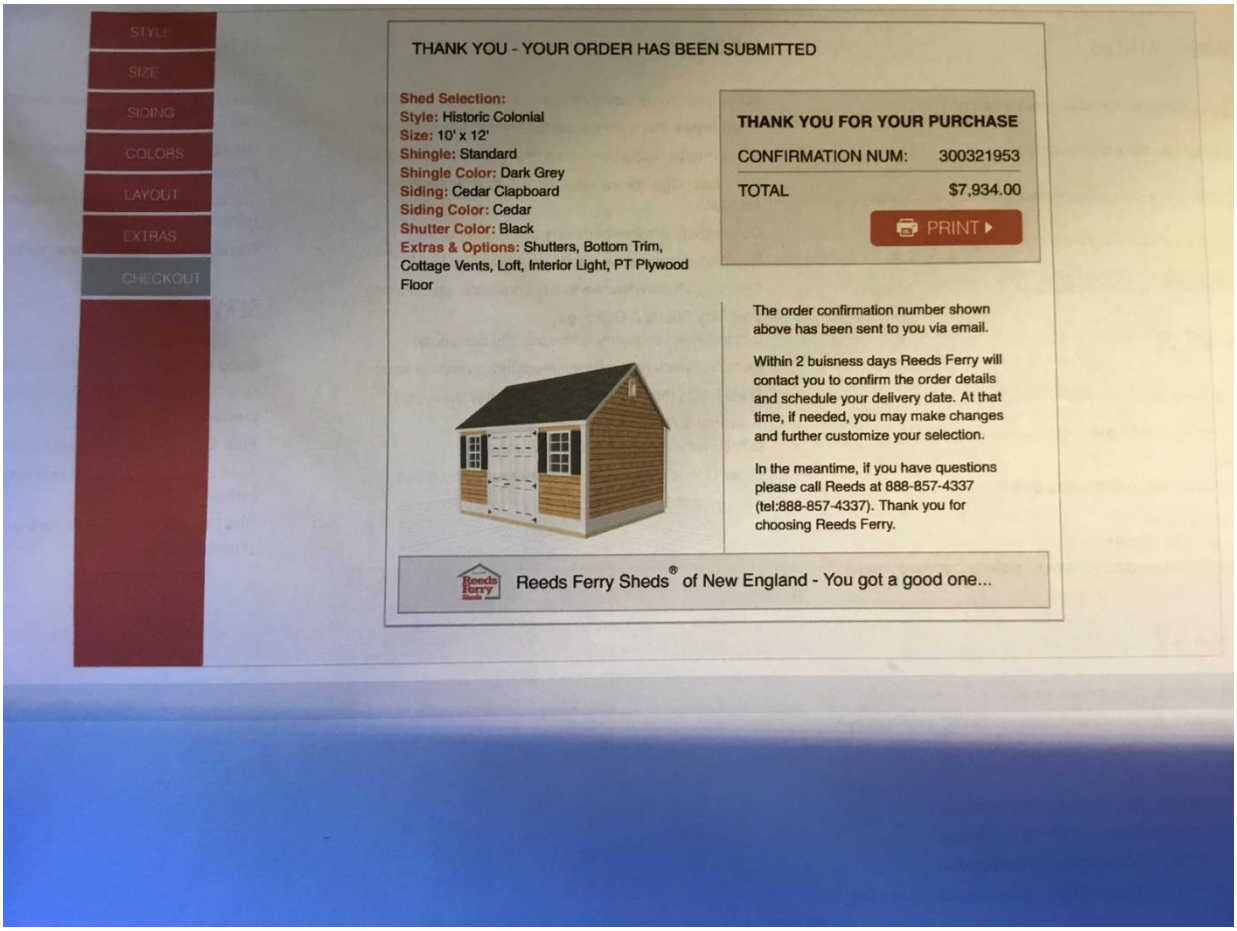
Proposed new shed location looking south-east towards library



199 Middle Street Plan showing location of existing shed (green) and proposed new shed location

We have contracted with Red Hammer Construction, a local company, to demolish the existing shed and remove all materials.

The new shed would be supplied by Reeds Ferry Sheds of Hudson NH. A description and picture of the new shed layout is attached below.



STYLE
SIZE
SIDING
COLORS
LAYOUT
EXTRAS
CHECKOUT

THANK YOU - YOUR ORDER HAS BEEN SUBMITTED

Shed Selection:
Style: Historic Colonial
Size: 10' x 12'
Shingle: Standard
Shingle Color: Dark Grey
Siding: Cedar Clapboard
Siding Color: Cedar
Shutter Color: Black
Extras & Options: Shutters, Bottom Trim, Cottage Vents, Loft, Interior Light, PT Plywood Floor

THANK YOU FOR YOUR PURCHASE

CONFIRMATION NUM:	300321953
TOTAL	$7,934.00

PRINT

The order confirmation number shown above has been sent to you via email.

Within 2 buisness days Reeds Ferry will contact you to confirm the order details and schedule your delivery date. At that time, if needed, you may make changes and further customize your selection.

In the meantime, if you have questions please call Reeds at 888-857-4337 (tel:888-857-4337). Thank you for choosing Reeds Ferry.

Reeds Ferry Sheds® of New England - You got a good one...

238 Deer Street

Work Session

LUHD-340

City of Portsmouth, NH

08/06/2021

LUHD-340

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 13, 2021

Applicant

Richard Desjardins
richard@mchenryarchitecture.com
4 Market Street
Portsmouth, NH 03801
603-430-0274

Location

238 DEER ST
Portsmouth, NH 03801

Owner:

238 DEER STREET LLC
238 DEER ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

- REMOVAL OF EXISTING BUILDING DOWN TO GRADE (SUBGRADE FOUNDATION WALLS AND BASEMENT SLAB TO REMAIN).
- CONSTRUCT NEW 3-4 STORY MIXED-USE BUILDING WITH GROUND FLOOR RETAIL AND UPPER FLOORS WITH (7) APARTMENTS ON EACH FLOOR BETWEEN 400-500 SF EACH.

Description of Proposed Work (Planning Staff)

the demolition of the existing structure and the construction of a 3-4 story mixed-use building

Project Representatives

Relationship to Project
Architect

If you selected "Other", please state relationship to project.
--

Full Name (First and Last)
Jeremiah Johnson

Business Name (if applicable)
McHenry Architecture

Mailing Address (Street)
4 Market Street

City/Town
Portsmouth

State
NH

Zip Code
03801

Phone
603-430-0274

Email Address
jeremiah@mchenryarchitecture.com

Relationship to Project
Architect

If you selected "Other", please state relationship to project.
--

Full Name (First and Last)
Richard Desjardins

Business Name (if applicable)
McHenry Architecture

Mailing Address (Street)

City/Town

238 DEER STREET: MIXED-USE BUILDING

HISTORIC DISTRICT COMMISSION WORK SESSION - AUGUST 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

- CONSTRUCT NEW 3 STORY WITH A PENTHOUSE MIXED-USE BUILDING TO INCLUDE:
  - GROUND FLOOR RETAIL
  - 21 APARTMENTS (400-500 SF EACH) ABOVE RETAIL

SHEET LIST

PERSPECTIVE FROM DEER STREET - EXISTING

238 DEER STREET
PORTSMOUTH, NH 03801

LOCUS MAP

PERSPECTIVE FROM DEER STREET - OPTION 1

PERSPECTIVE FROM DEER STREET - OPTION 2

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	COVER Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	C	08/11/2021 McHA: RD / JJ NOT TO SCALE

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DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	CONTEXT AND SITE PLAN Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A1	06/02/2021 McHA: RD / JJ NOT TO SCALE

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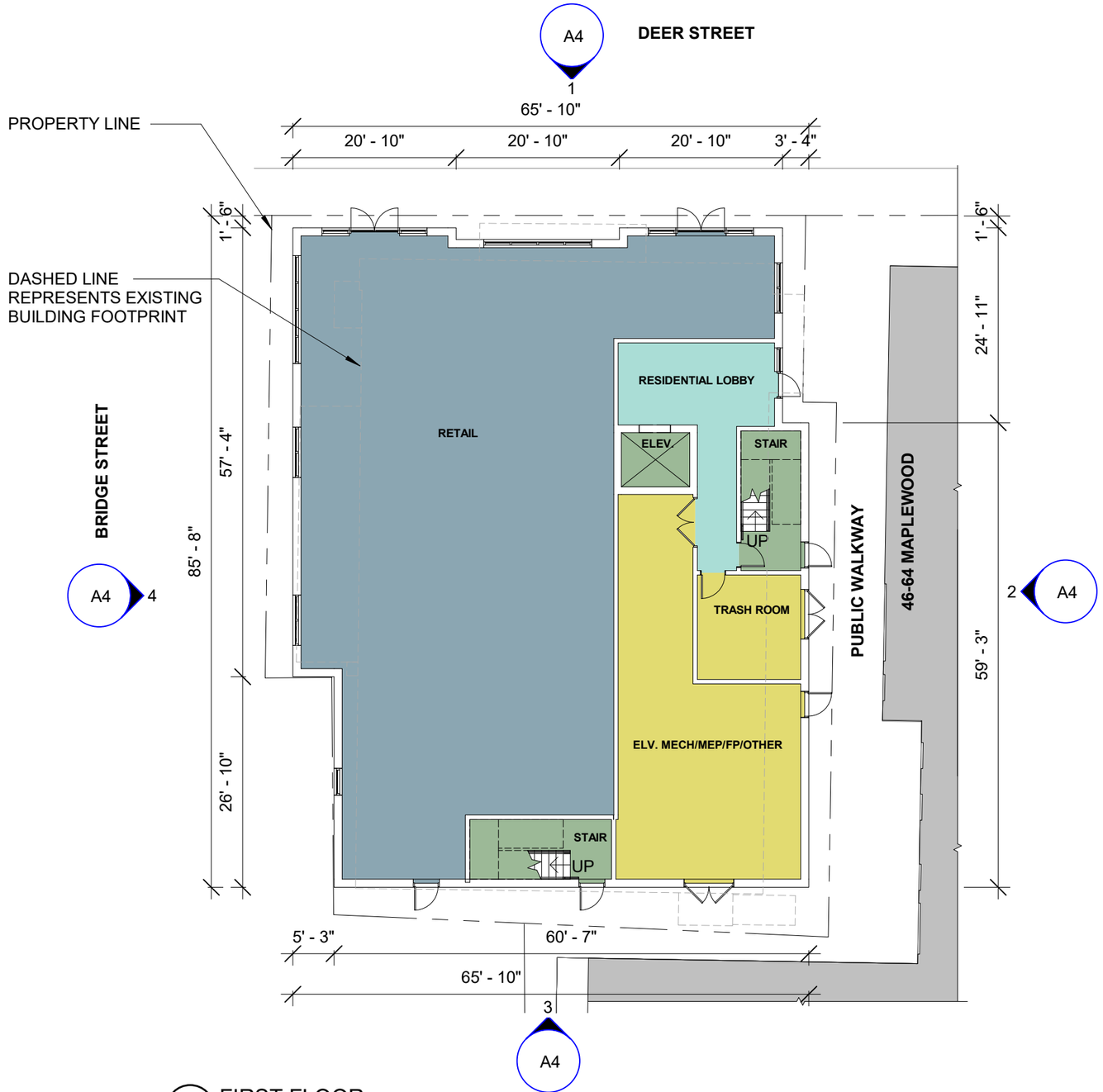


1 FIRST FLOOR
1/16" = 1'-0"

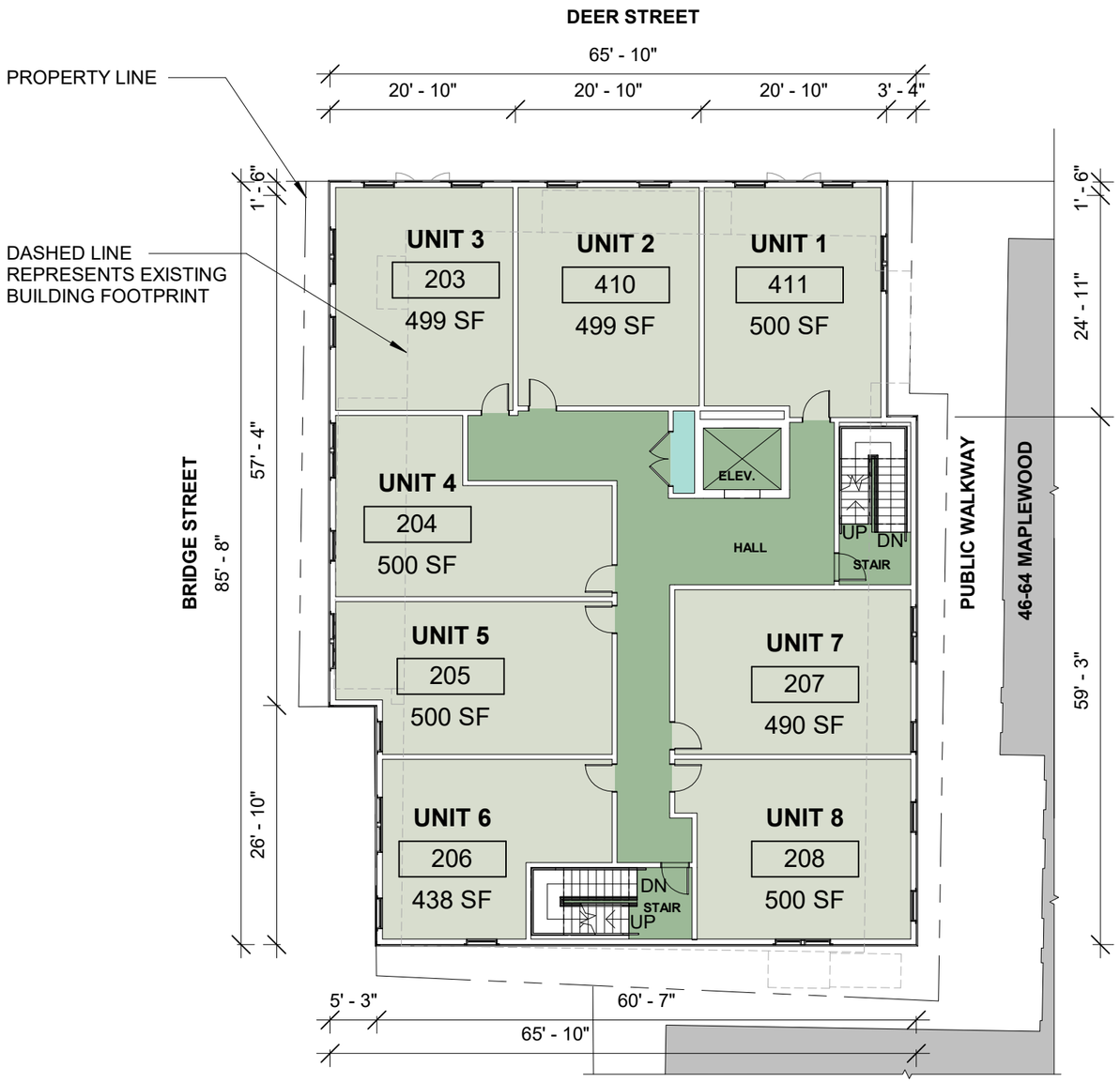
COLOR LEGEND

- CIRCULATION
- COMMON SPACE
- MECH / STORAGE
- MICRO-APARTMENT
- RETAIL

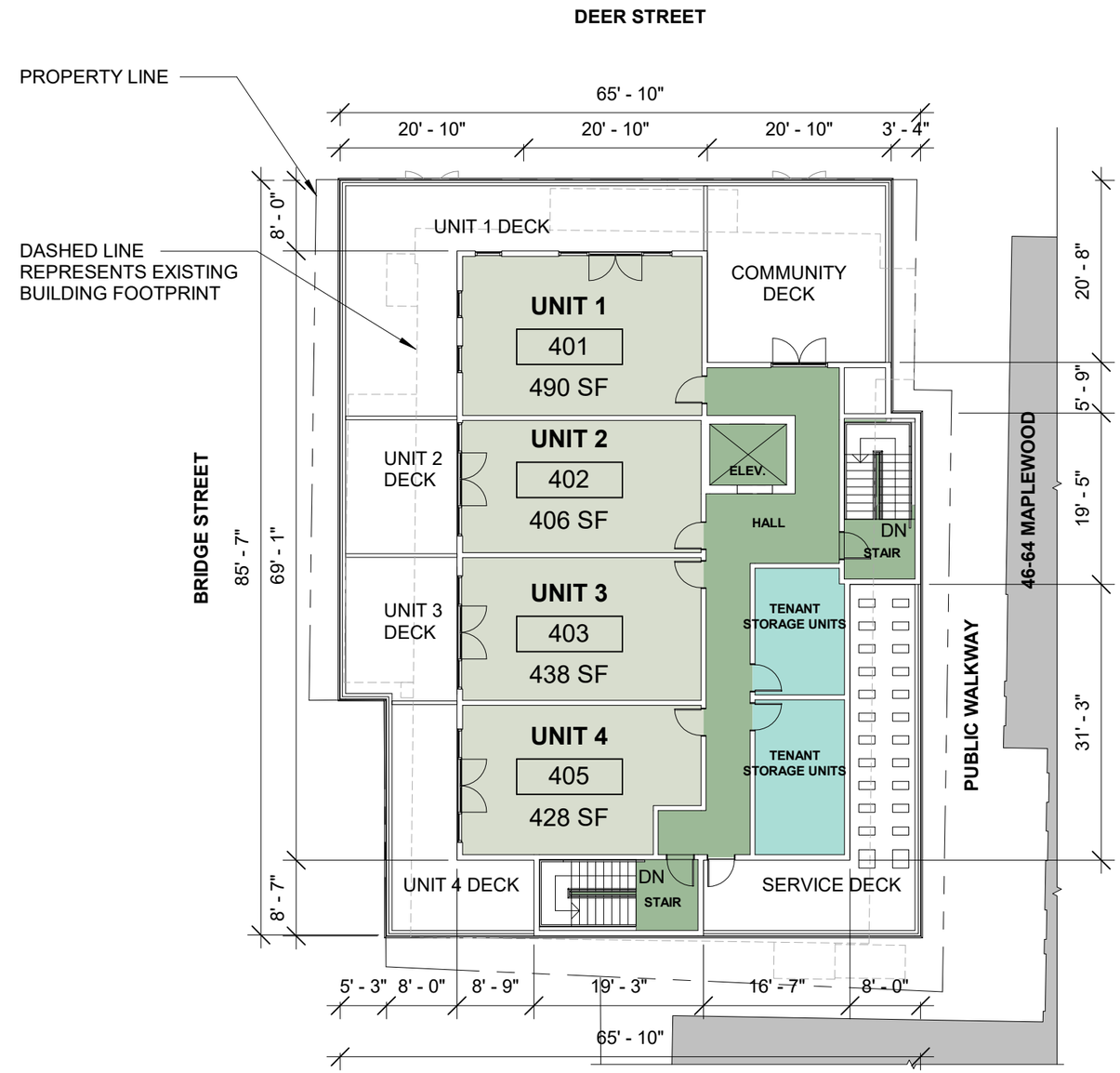
OPTION 1:

- THE FRONT ENTRY IS RECESSED TO PROVIDE TWO COVERED ENTRIES TO THE RETAIL UNIT
- SIDE ENTRY FOR THE RESIDENTIAL LOBBY
- STRONG CORNICE LINES THAT CONNECT THE FRONT AND REAR MASS
- THE SECOND AND THIRD FLOORS ARE CLAD IN THE SAME MATERISL
- FIRST FLOOR TO APPEAR AS ONE WHOLE BASE TO RELATE TO ADJACENT 46-64 MAPLEWOOD BUILDING
- DEEP OVERHANGS AT THE PENTHOUSE TO DIFFERENTIATE THE PENTHOUSE MASS FROM THE BUILDING BELOW CLAD WITH A METAL TERRA COTTA FINISHED PANEL
- THE PENTHOUSE IS RECESSED BACK FROM THE FACE OF THE BUILDING TO HELP STEP THE BUILDING DOWN FROM THE ADJACENT CORNER BUILDING
- PARAPENT EXTENDED UP PAST CORNICE LINE TO PROVIDE A CONTINUATION OF CLAPBOARD/CHANNEL FACADE TO SERVE AS A GUARDRAIL AT THE EDGE OF THE ROOF

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	FLOOR PLANS - OPTION 1 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A2	08/11/2021 McHA: RD / JJ Scale: 1/16" = 1'-0"



1 SECOND AND THIRD FLOOR
1/16" = 1'-0"



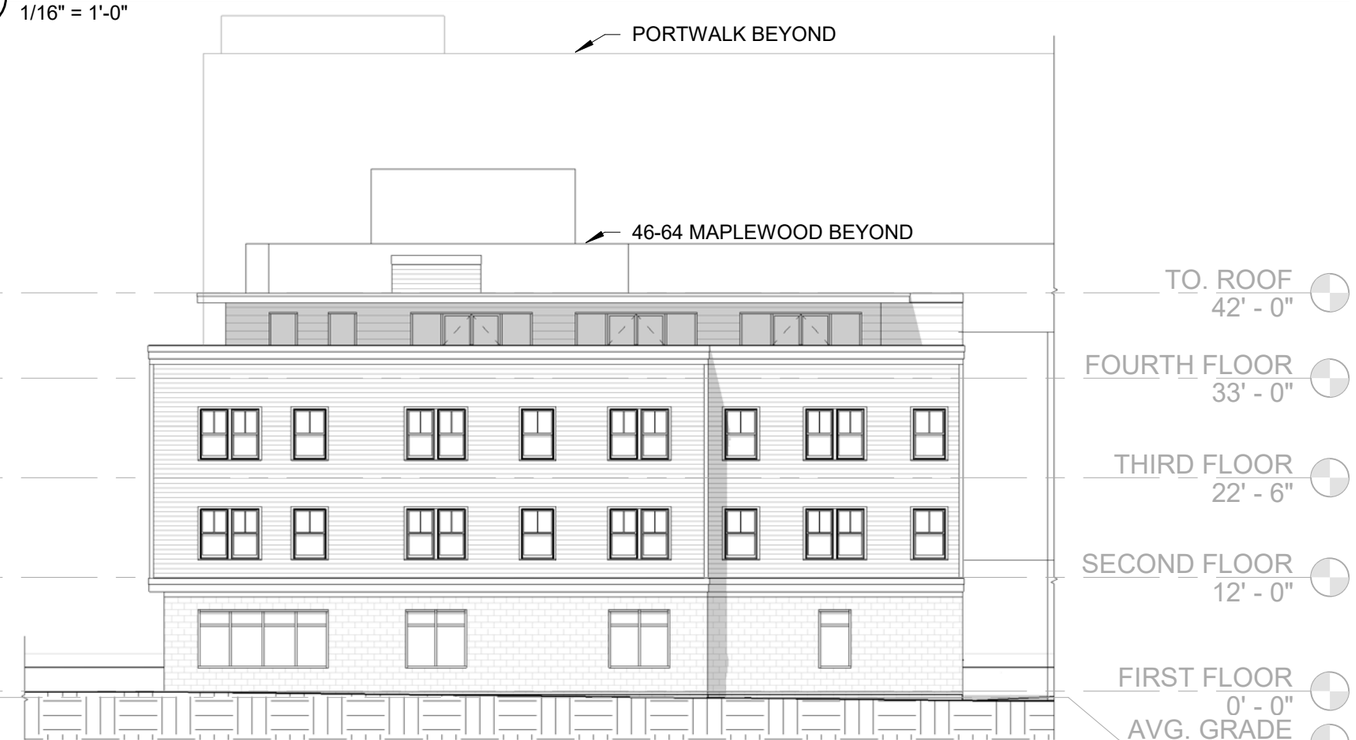
2 FOURTH FLOOR
1/16" = 1'-0"

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	FLOOR PLANS - OPTION 1 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A3	08/11/2021 McHA: RD / JJ Scale: 1/16" = 1'-0"

1 NORTH ELEVATION (DEER STREET)
1/16" = 1'-0"

2 EAST ELEVATION (PUBLIC WALKWAY)
1/16" = 1'-0"

3 SOUTH ELEVATION (REAR)
1/16" = 1'-0"



4 WEST ELEVATION (BRIDGE STREET)
1/16" = 1'-0"

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	ELEVATIONS - OPTION 1 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A4	08/11/2021 McHA: RD / JJ AS INDICATED

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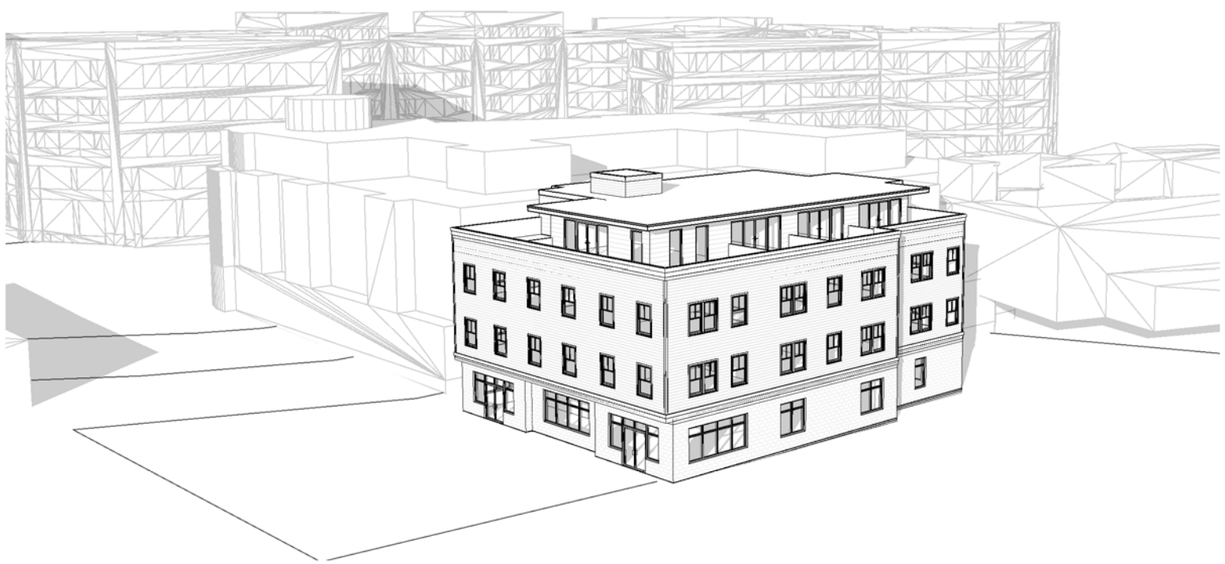
PERSPECTIVE FROM WEST (FROM DEER STREET)

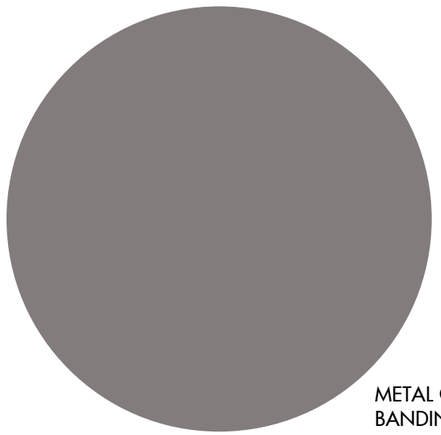
PERSPECTIVE FROM SOUTH (FROM BRIDGE STREET)

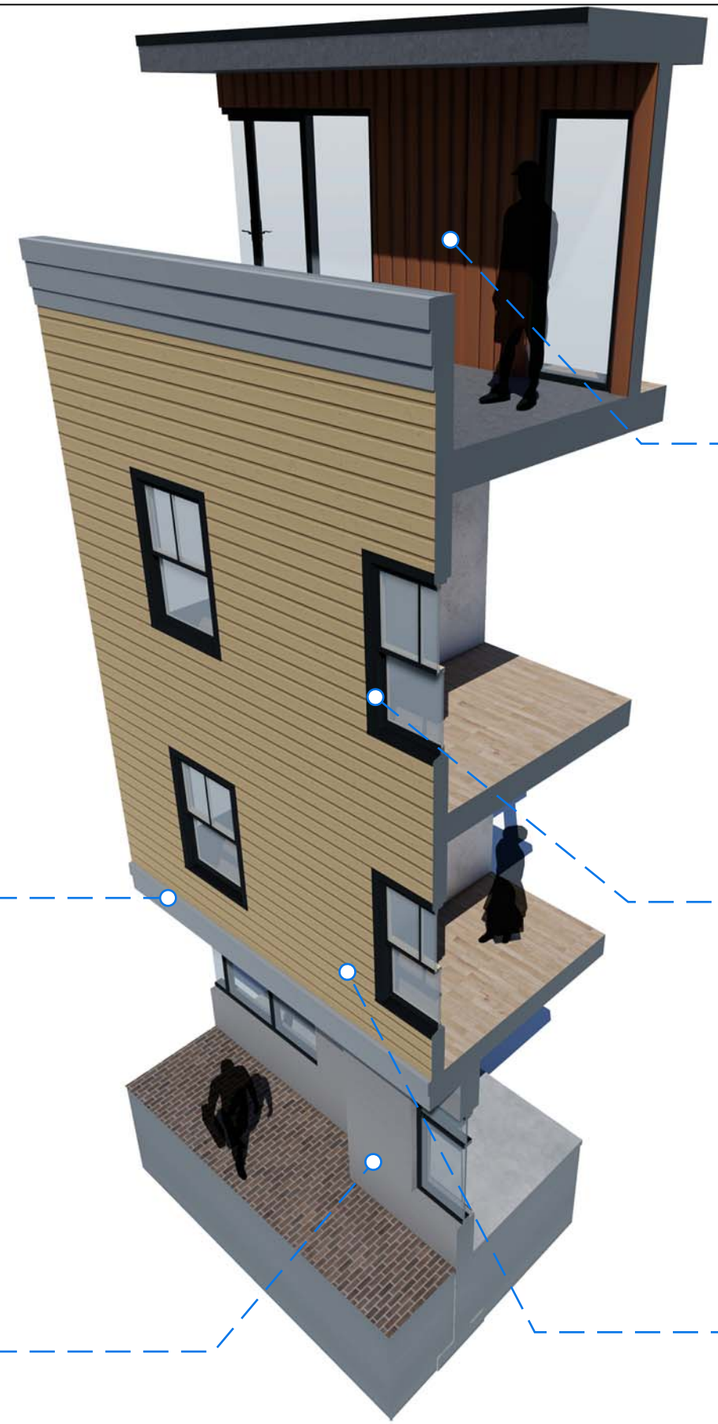


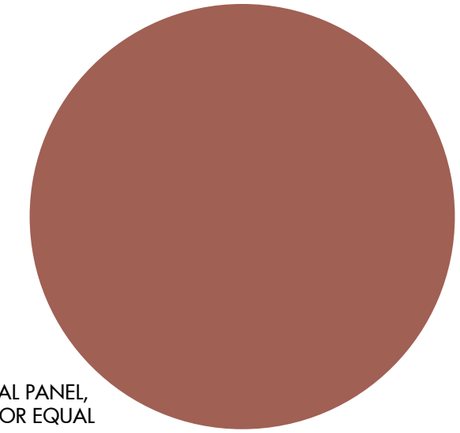
AERIAL FROM WEST

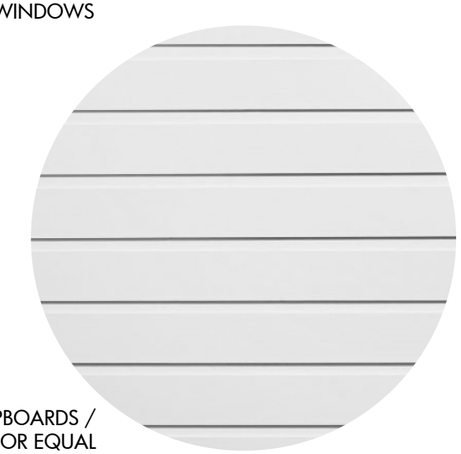
AERIAL FROM EAST

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	PERSPECTIVES - OPTION 1 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A5	08/11/2021 McHA: RD / JJ NOT TO SCALE









ALPOLIC METAL PANEL,
TERRA COTTA, OR EQUAL

METAL OR COMPOSITE TRIM,
BANDING, CORNICE, ETC.

BLACK 2 OVER 1
DOUBLE HUNG WINDOWS

GROUND FACE CMU VENEER

BORAL TRUEXTERIOR CLAPBOARDS /
HORIZONTAL CHANNEL, OR EQUAL

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	MATERIAL STUDY - OPTION 1 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A6	08/11/2021 McHA: RD / JJ NOT TO SCALE

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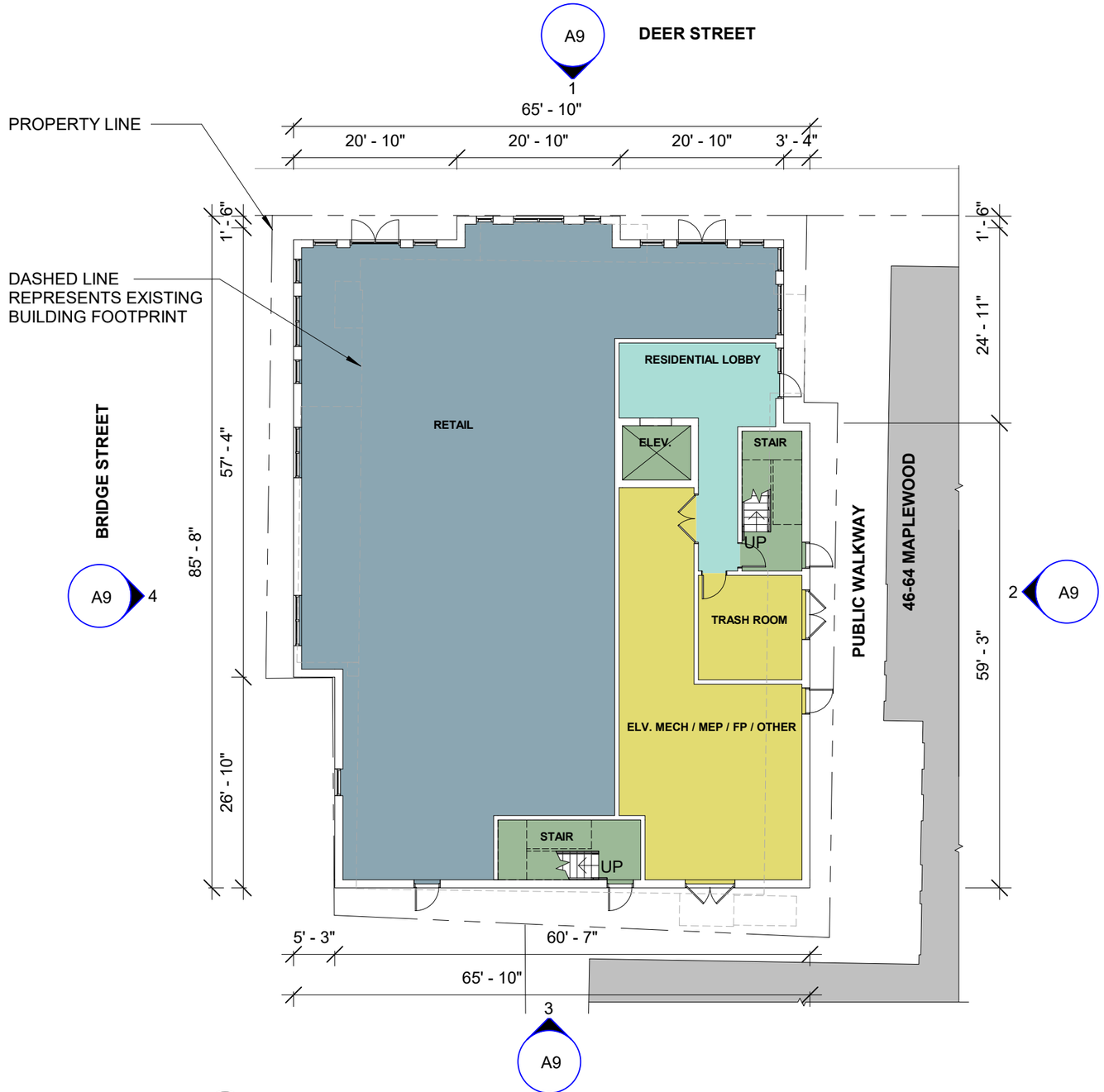

1 FIRST FLOOR
1/16" = 1'-0"

COLOR LEGEND

- CIRCULATION
- COMMON SPACE
- MECH / STORAGE
- MICRO-APARTMENT
- RETAIL

OPTION 2:

- DEER STREET ELEVATION DIVIDED INTO THIRDS, MIDDLE SECTION EXTRUDED WITH THE SAME BASE MATERIAL
- THE FRONT ENTRY IS RECESSED TO PROVIDE TWO COVERED ENTRIES TO THE RETAIL UNIT
- MIDDLE SECTION IS EXTRUDED ABOVE THE MAIN CORNICE LINE TO GIVE THE IMPRESSION OF SMALLER BUILDINGS GIVING IT A MORE HUMAN SCALE
- STRONG CORNICE LINES THAT CONNECT THE FRONT AND REAR MASS
- FIRST FLOOR TO APPEAR AS ONE WHOLE BASE TO RELATE TO ADJACENT 46-64 MAPLEWOOD BUILDING
- PARAPENT EXTENDED UP PAST CORNICE LINE TO PROVIDE A CONTINUATION OF MASONRY FACADE TO SERVE AS A GUARDRAIL AT THE EDGE OF THE ROOF
- THE PENTHOUSE IS RECESSED BACK FROM THE FACE OF THE BUILDING TO HELP STEP THE BUILDING DOWN FROM THE ADJACENT CORNER BUILDING

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	FLOOR PLANS - OPTION 2 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A7	08/11/2021 McHA: RD / JJ Scale: 1/16" = 1'-0"

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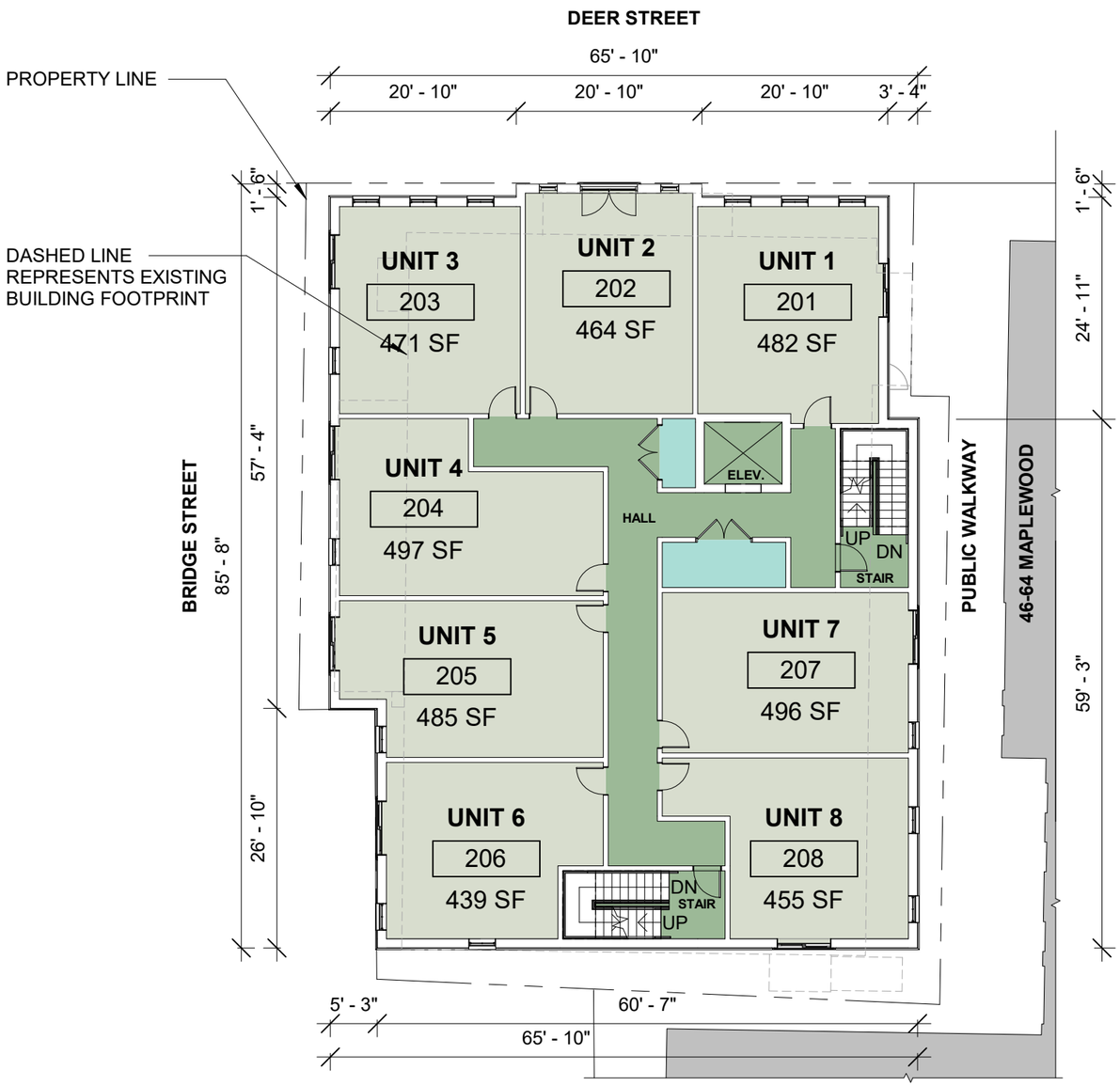
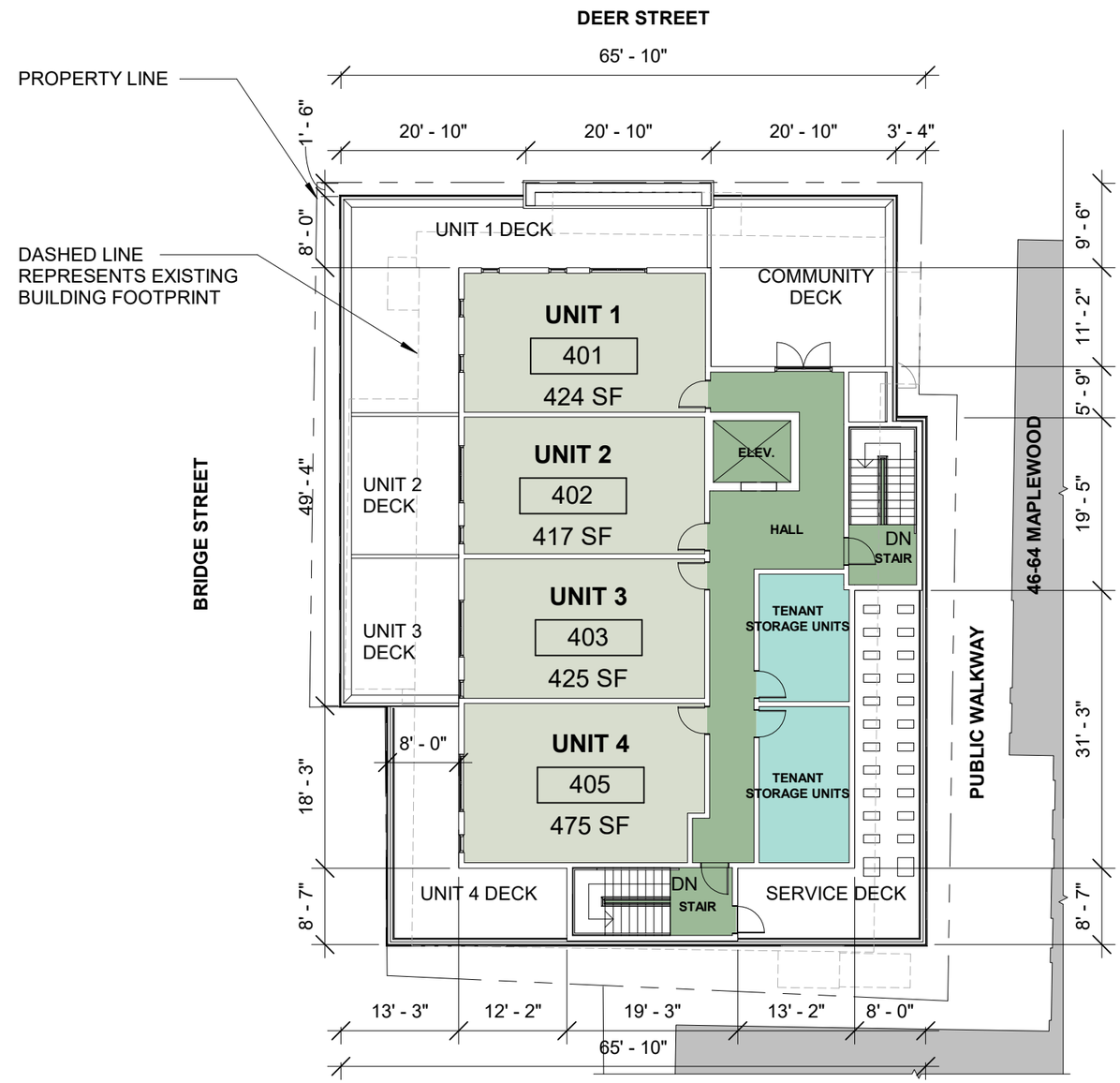


1 SECOND AND THIRD FLOOR
1/16" = 1'-0"



2 FOURTH FLOOR
1/16" = 1'-0"

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	FLOOR PLANS - OPTION 2 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A8	08/11/2021 McHA: RD / JJ Scale: 1/16" = 1'-0"

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1 NORTH ELEVATION (DEER STREET)
1/16" = 1'-0"

2 EAST ELEVATION (PUBLIC WALKWAY)
1/16" = 1'-0"

3 SOUTH ELEVATION (REAR)
1/16" = 1'-0"

4 WEST ELEVATION (BRIDGE STREET)
1/16" = 1'-0"

DEER STREET MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

ELEVATIONS - OPTION 2

Historic District Commission Work Session, August 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A9

08/11/2021
McHA: RD / JJ
Scale: 1/16" = 1'-0"

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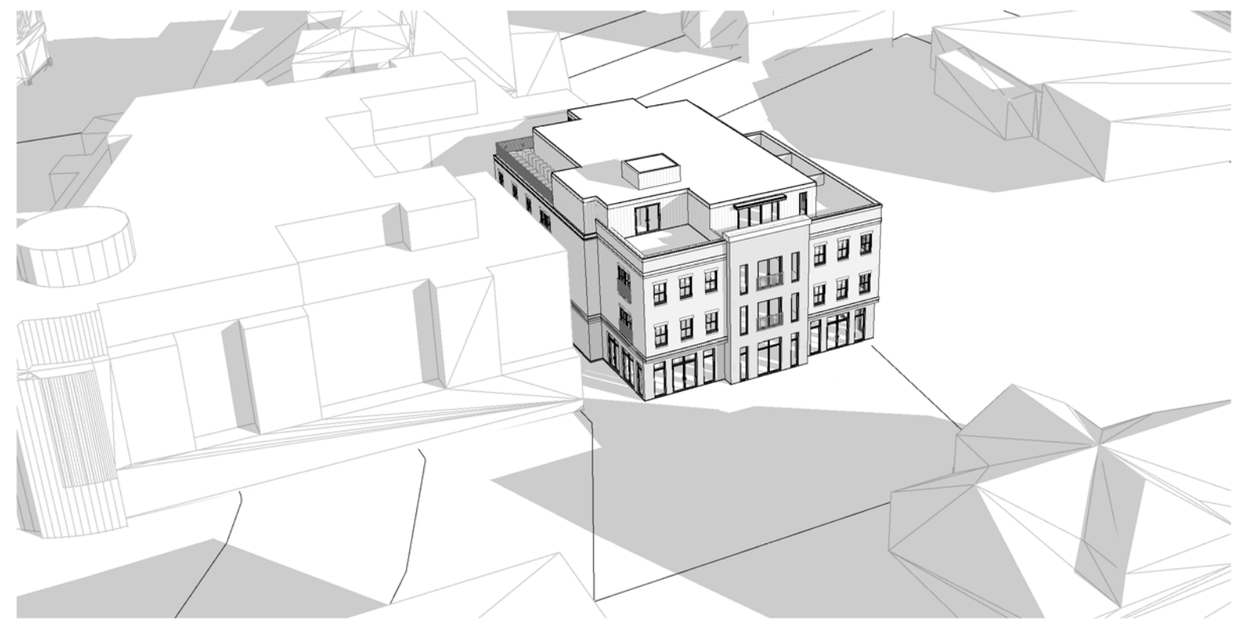
PERSPECTIVE FROM WEST (FROM DEER STREET)

PERSPECTIVE FROM SOUTH (FROM BRIDGE STREET)

AERIAL FROM WEST



AERIAL FROM EAST

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	PERSPECTIVES - OPTION 2 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A10	08/11/2021 McHA: RD / JJ NOT TO SCALE

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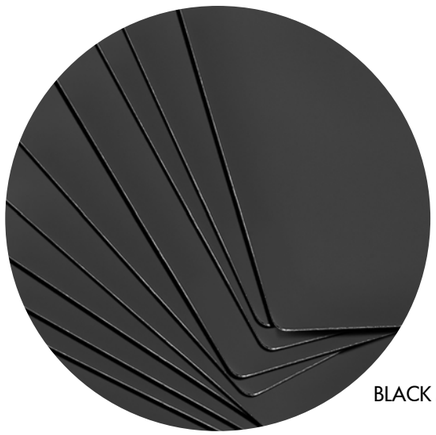
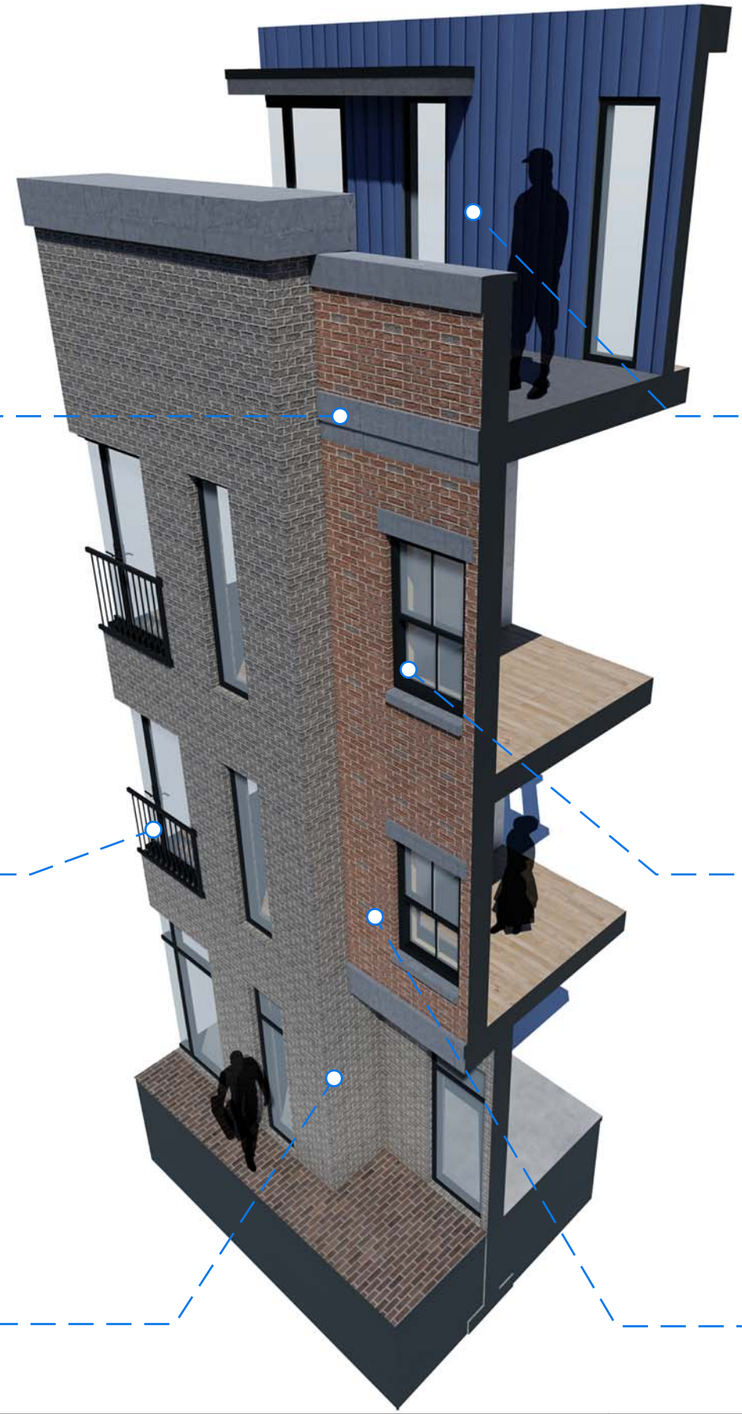
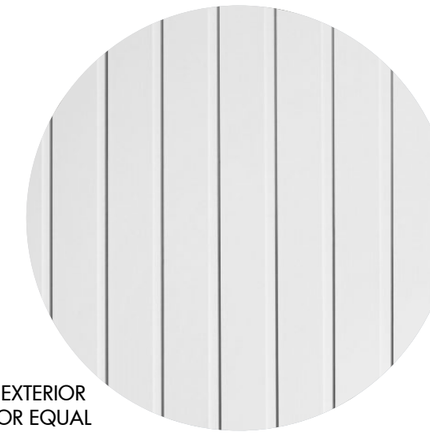
STONE CORNICE &
BANDING



BLACK METAL

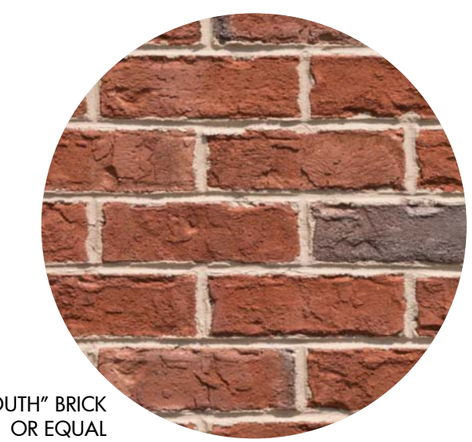
"CHESAPEAKE" BRICK
OR EQUAL





BORAL TRUEXTERIOR
VERTICAL CHANNEL OR EQUAL

BLACK 2 OVER 2
DOUBLE HUNG WINDOWS



"PORTSMOUTH" BRICK
OR EQUAL

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	MATERIAL STUDY - OPTION 2 Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A11	08/11/2021 McHA: RD / JJ NOT TO SCALE

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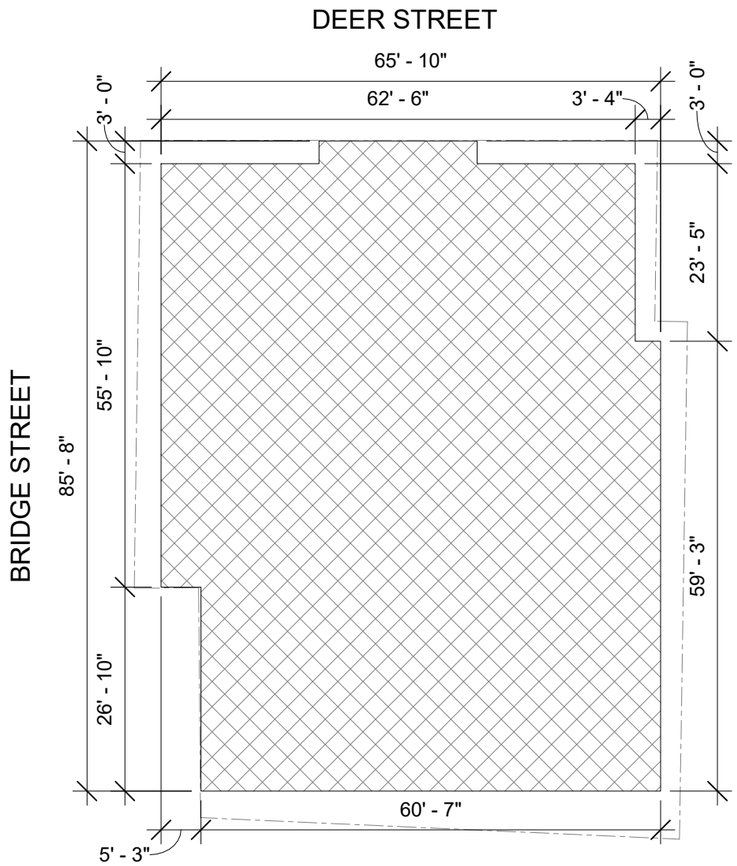
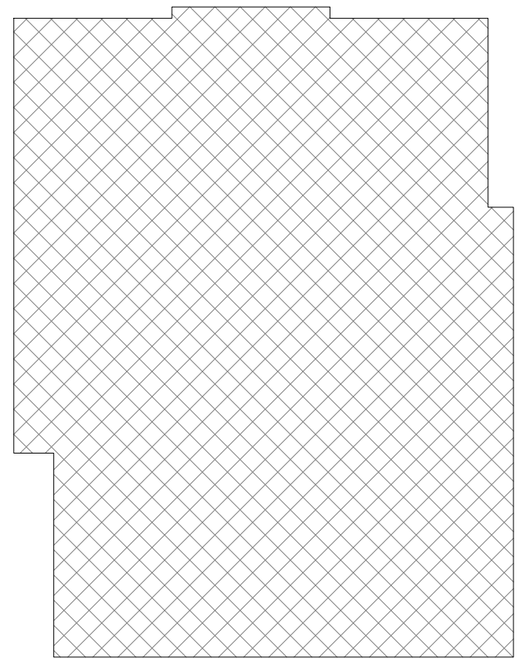


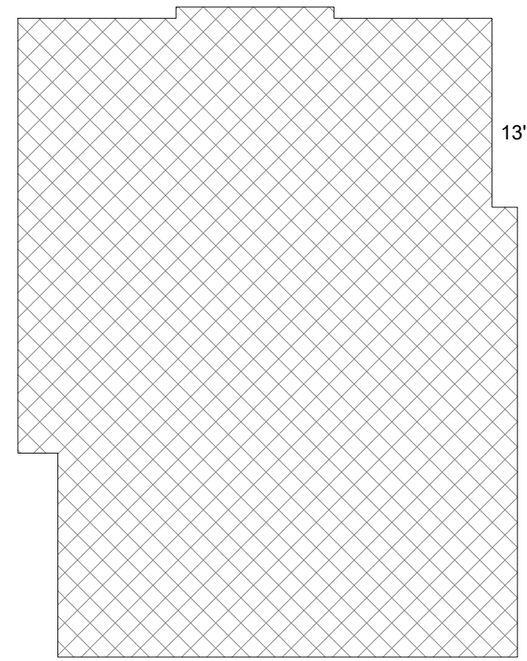
GROUND FLOOR: 5,286 SF

RETAIL: 3,500 SF



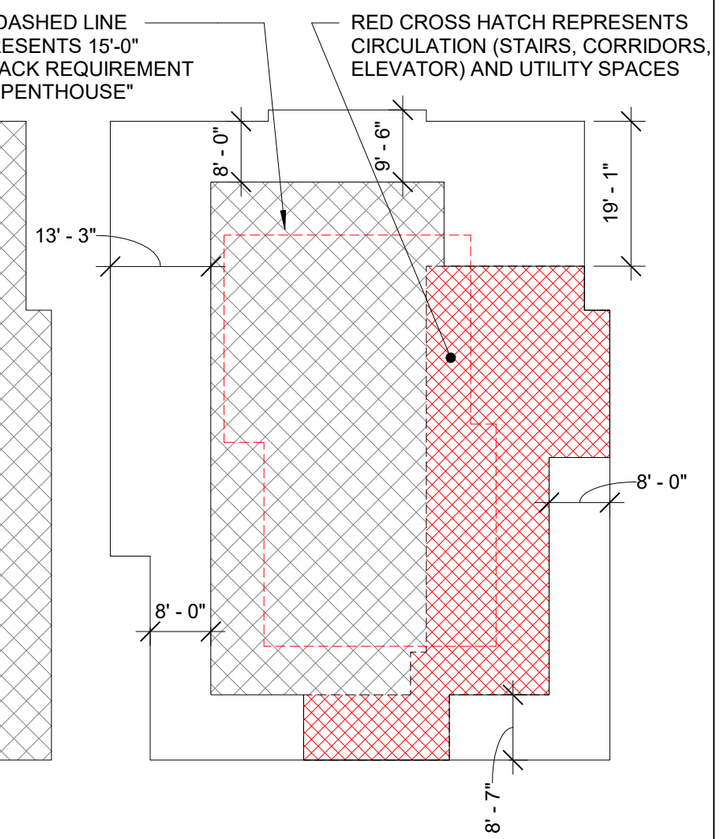
SECOND FLOOR: 5,349 SF

NINE UNITS: 3,989 SF



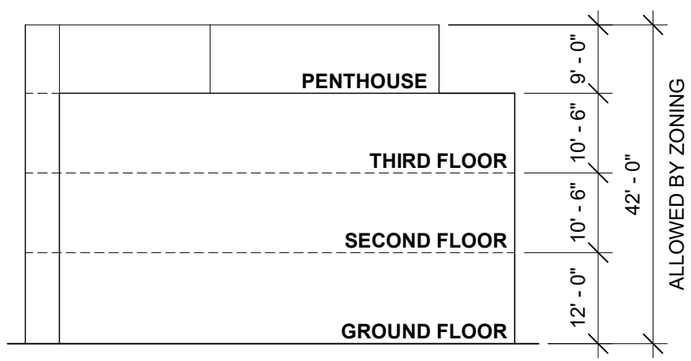
THIRD FLOOR: 5,349 SF

NINE UNITS: 3,989 SF



PENTHOUSE: 3,206 SF

FOUR UNITS: 1,907 SF



DEER STREET ELEVATION PROFILE

238 DEER STREET:	0.14 ACRES = 6,181 SF
BUILDING FOOTPRINT:	5,286 SF - 85%
OPEN SPACE:	116 SF - 1.8% (DEFINED BY ZONING)
	634 SF - 10.2%
BUILDING STORIES:	3 STORIES + PENTHOUSE
BUILDING HEIGHT:	42' - 0"

NOTE: OPTION 2 SHOWN

DEER STREET MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

BUILDING DATA

Historic District Commission Work Session, August 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A12

08/11/2021
McHA: RD / JJ
NOT TO SCALE

IKEA EFFICIENCY UNIT FLOOR PLAN - 400SF

IKEA BROOKLYN EFFICIENCY UNIT

IKEA BROOKLYN EFFICIENCY UNIT

IKEA BROOKLYN EFFICIENCY UNIT

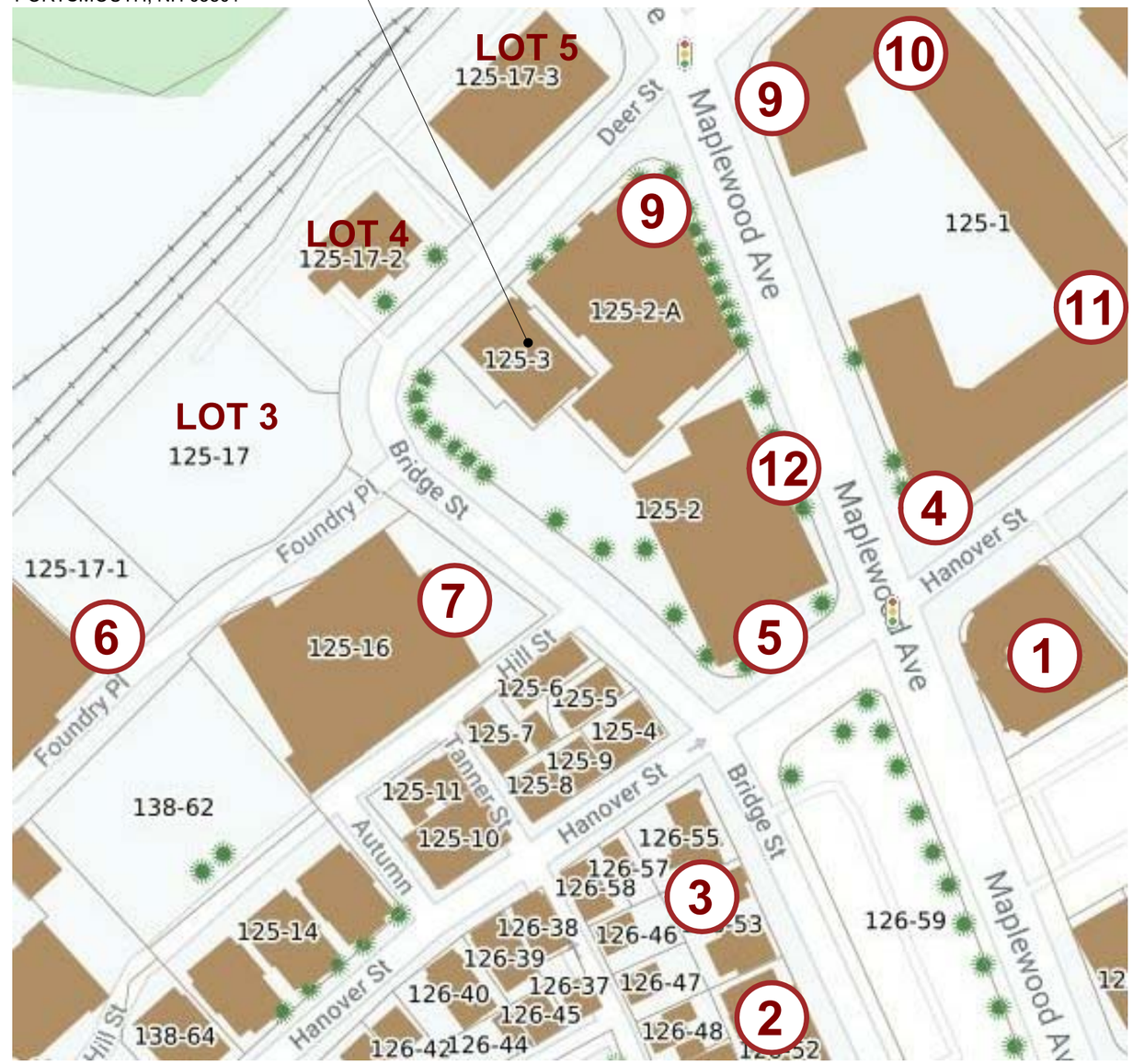
OWNER CONCEPT PRECEDENT:
IKEA EFFICIENCY UNIT

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	INTERIOR CONCEPT / OWNER INSPIRATION	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A13	08/11/2021 McHA: RD / JJ NOT TO SCALE

EXISTING PICTURE FROM DEER STREET AND MAPLEWOOD AVE INTERSECTION

EXISTING PICTURE FROM FOUNDRY GARAGE ROOF

238 DEET STREET
PORTSMOUTH, NH 03801



CONTEXT PHOTO KEY MAP

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	EXISTING PHOTOGRAPHS Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A14	08/11/2021 McHA: RD / JJ NOT TO SCALE

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1: 25 MAPLEWOOD AVE

2: 40 BRIDGE STREET

1: BRIDGE STREET

4: 195 HANOVER ST - PORTWALK

5: 30 MAPLEWOOD AVE

6: 100 FOUNDRY PLACE

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	CONTEXT PHOTOGRAPHS Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A15	08/11/2021 McHA: RD / JJ NOT TO SCALE

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7: 126 BRIDGE STREET

8: 46 MAPLEWOOD AVE

9: 195 HANOVER ST - PORTWALK

10: 195 HANOVER ST - PORTWALK

11: 195 HANOVER ST - PORTWALK

12: 30 MAPLEWOOD AVE

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	CONTEXT PHOTOGRAPHS Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A16	08/11/2021 McHA: RD / JJ NOT TO SCALE

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LOT 3: APPROVED FOUNDRY PLACE

LOT 4: APPROVED FOUNDRY PLACE

LOT 5: APPROVED FOUNDRY PLACE

LOT 3: 165 DEER STREET

LOT 4: 163 DEER STREET

LOT 5: 161 DEER STREET

DEER STREET MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	FOUNDRY PLACE CONTEXT Historic District Commission Work Session, August 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A17	08/11/2021 McHA: RD / JJ NOT TO SCALE

93 Pleasant Street

Work Session

LUHD-324

City of Portsmouth, NH

08/06/2021

LUHD-324

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 15, 2021

Applicant

Tracy Kozak
tkozak@jsainc.com
JSA Inc
273 Corporate Drive, Suite 100
portsmouth, New Hampshire 03801
603-731-5187

Location

93 PLEASANT ST
Portsmouth, NH 03801

Owner:

DAGNY TAGGART LLC
30 PENHALLOW ST SUITE 300 PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Renovation and addition for a housing / office mixed use development.

Description of Proposed Work (Planning Staff)

renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Christopher Lizotte

Business Name (if applicable)

Procon

Mailing Address (Street)

PO Box 4430

City/Town

Manchester

State

NH

Zip Code

03108

Phone

6035182279

Email Address

clizotte@proconinc.com

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Mark McNabb

Business Name (if applicable)

McNabb Properties Ltd

Mailing Address (Street)

3 Pleasant Street, Suite 400

City/Town

Portsmouth

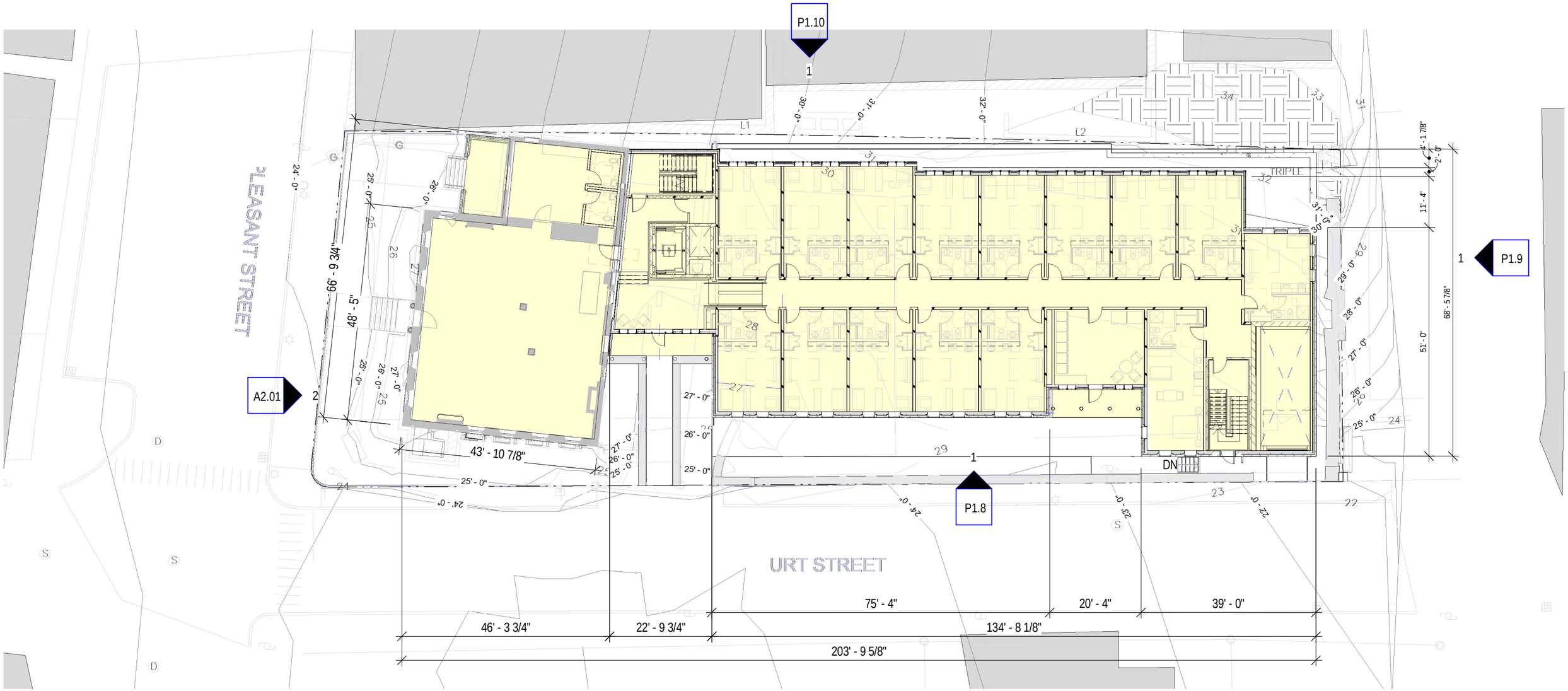
93 PLEASANT STREET

HDC DRAWING SHEET LIST	
P1.1	COVER SHEET
P1.2	PROPOSED FIRST FLOOR PLAN
P1.3	PROPOSED ROOF PLAN
P1.4	STREET SECTIONS
P1.5	PERSPECTIVE VIEW
P1.6	PERSPECTIVE VIEW
P1.7	PERSPECTIVE VIEW
P1.8	ELEVATION - FRONT
P1.9	ELEVATION - SIDE
P1.10	ELEVATION - REAR
P1.11	PERSPECTIVE VIEW - SE
P1.12	PERSPECTIVE VIEW - SW

SUMMARY

RESTORATION AND REHABILITATION.
EXISTING BUILDING: TREADWELL-JENNESS HOUSE c. 1818
3 STORIES + BASEMENT
CURRENT USE: OFFICE AND GALLERY (AUCTION) SPACE
PROPOSED USE: OFFICE (FLOORS B & 1) AND APARTMENTS (FLOORS 2 & 3)

NEW CONSTRUCTION
WORKFORCE HOUSING APARTMENTS, NEW STRUCTURE LOCATED IN PARKING LOT BEHIND TREADWELL-JENNESS HOUSE.
2 STORIES + SHORT STORY; 1 LEVEL UNDERGROUND PARKING.



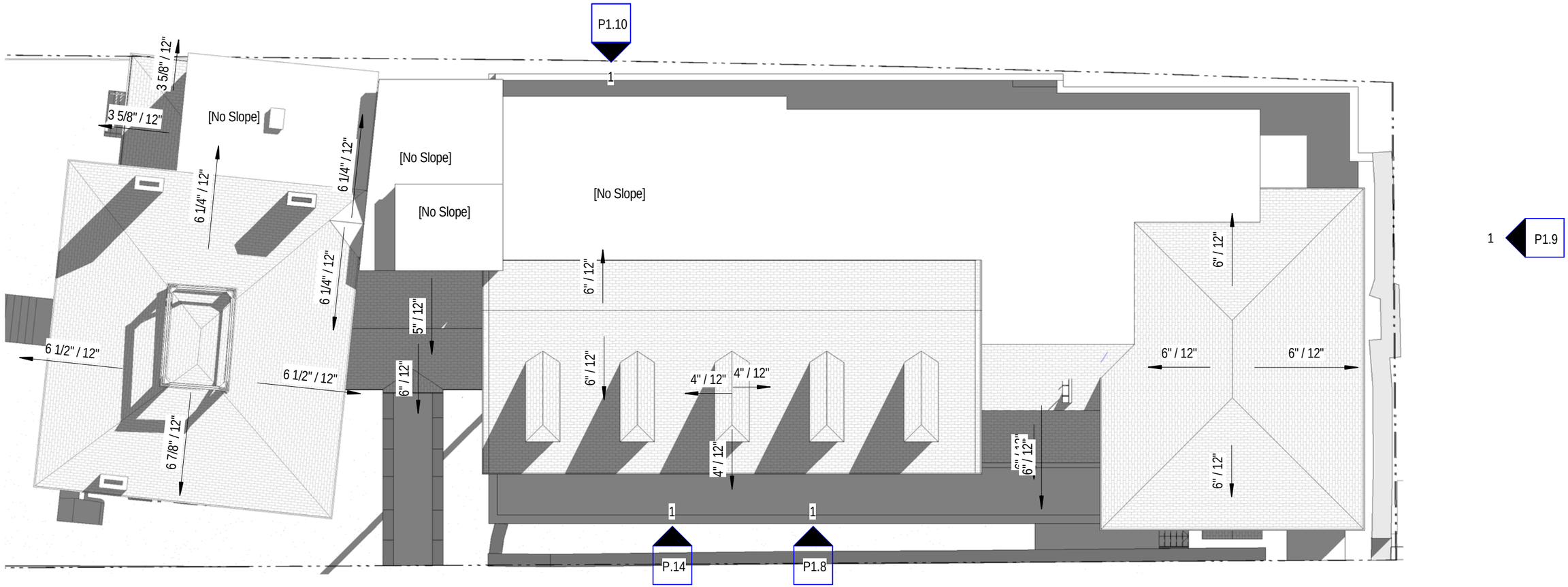
1 PROPOSED FIRST FLOOR PLAN
3/64" = 1'-0"

P1.2

PROPOSED FIRST FLOOR PLAN

93 PLEASANT STREET
August 4, 2021

JSA
ARCHITECTS
INTERIORS
PLANNERS



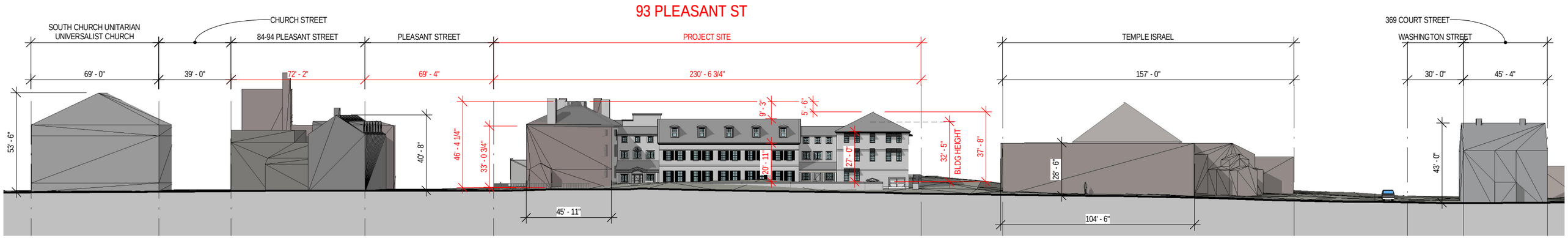
1 PROPOSED ROOF PLAN
1/16" = 1'-0"

P1.3

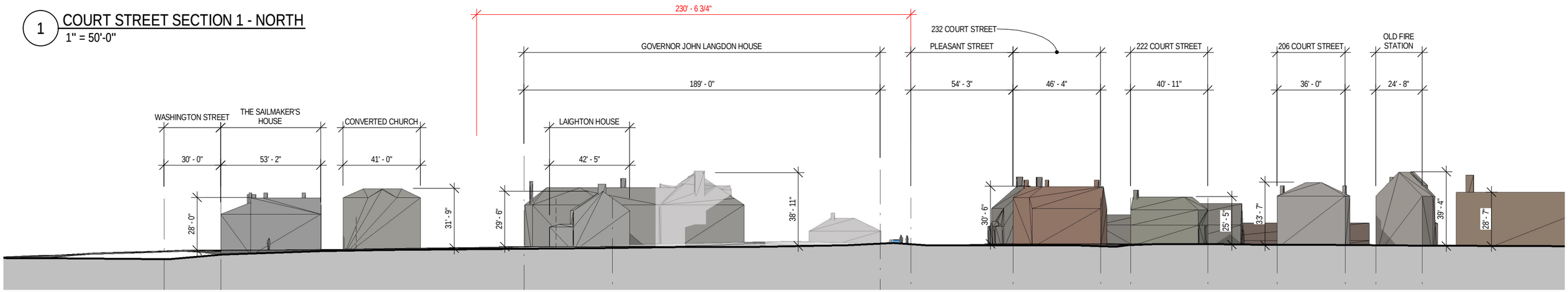
PROPOSED ROOF PLAN

93 PLEASANT STREET
August 4, 2021

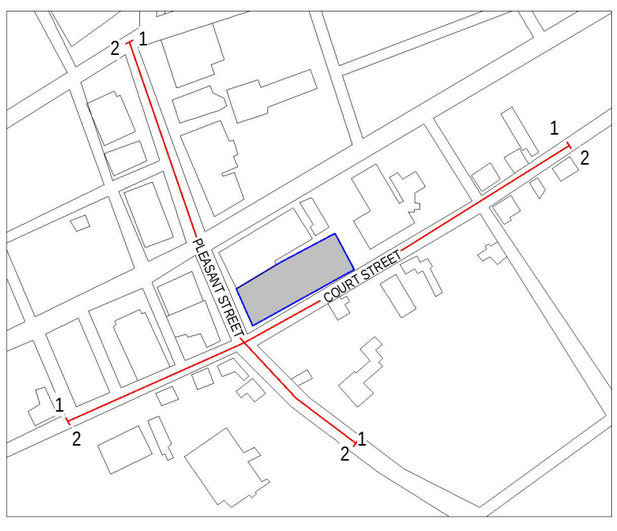
JSA
ARCHITECTS
INTERIORS
PLANNERS



1 COURT STREET SECTION 1 - NORTH
1" = 50'-0"



2 COURT STREET SECTION 2 - SOUTH
1" = 50'-0"



3 KEY PLAN
1" = 300'-0"

P1.4

STREET SECTIONS

93 PLEASANT STREET
HDC WORK SESSION 4 - August 4, 2021

JSA
ARCHITECTS
INTERIORS
PLANNERS

P1.5

PERSPECTIVE VIEW

93 PLEASANT STREET

HDC WORK SESSION 3 - August 4, 2021

JSA

ARCHITECTS
INTERIORS
PLANNERS

P1.6

PERSPECTIVE VIEW

93 PLEASANT STREET

HDC WORK SESSION 3 - August 4, 2021

JSA

ARCHITECTS
INTERIORS
PLANNERS

P1.7

PERSPECTIVE VIEW

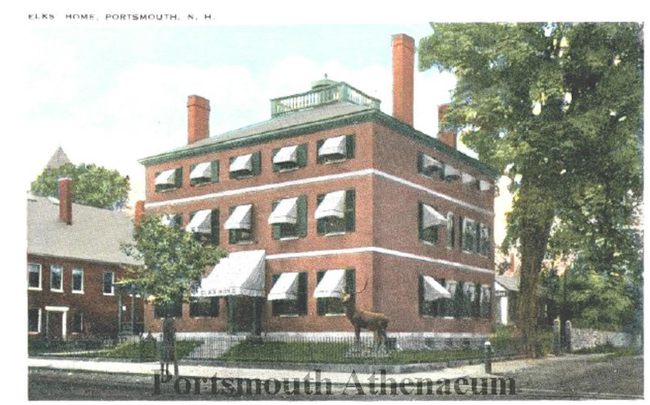
93 PLEASANT STREET

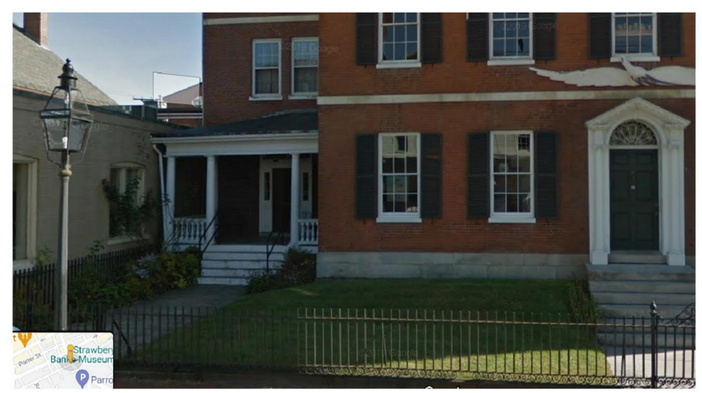
HDC WORK SESSION 3 - August 4, 2021

JSA

ARCHITECTS
INTERIORS
PLANNERS

1 ELEVATION - FRONT
1/16" = 1'-0"





GRAPHIC SCALE: 1/16" = 1'-0"
0' 8' 16' 32'

P1.8

ELEVATION - FRONT

93 PLEASANT STREET
HDCws 4 August 4, 2021

JSA
ARCHITECTS
INTERIORS
PLANNERS

1 HDC ELEVATION - SIDE
1/16" = 1'-0"

GRAPHIC SCALE: 1/16" = 1'-0"

0' 8' 16' 32'

P1.9

ELEVATION - SIDE

93 PLEASANT STREET
HDCws 4 August 4, 2021

JSA
ARCHITECTS
INTERIORS
PLANNERS

1 HDC ELEVATION - REAR
1/16" = 1'-0"

P1.10

ELEVATION - REAR

93 PLEASANT STREET
HDCws 4 August 4, 2021

JSA
ARCHITECTS
INTERIORS
PLANNERS

1 PERSPECTIVE VIEW - SE

P1.11

PERSPECTIVE VIEW - SE

93 PLEASANT STREET

HDC WORK SESSION 4 - August 4, 2021

JSA

ARCHITECTS
INTERIORS
PLANNERS

1 PERSPECTIVE VIEW - SW

P1.12

PERSPECTIVE VIEW - SW

93 PLEASANT STREET

HDC WORK SESSION 4 - August 4, 2021

JSA

ARCHITECTS
INTERIORS
PLANNERS

1 Raynes Avenue, 31 Raynes Avenue & 203 Maplewood Avenue

Work Session

LUHD-234

City of Portsmouth, NH

08/06/2021

LUHD-234

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Nov 13, 2020

Applicant

Eben Tormey
etormey@xsshotels.com
1359 Hooksett Road
Hooksett, NH 03106
603-518-2132

Location

1 RAYNES AVE
Portsmouth, NH 03801

Owner:

ONE RAYNES AVE LLC
1359 HOOKSETT RD HOOKSETT, NH 03106

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Redevelopment of 1 Raynes Ave, 31 Raynes Ave, and 203 Maplewood Ave. Two buildings proposed on merged lot. A 4- to 5-story mixed use building with ground floor retail/office/restaurant and residential above on what is now 203 Maplewood Ave and 31 Raynes Ave and a 5-story hotel on what is now 1 Raynes Ave. Redevelopment will include waterfront mixed-use path (part of the North Mill Pond Greenway) connecting Maplewood Avenue to the proposed North Mill Pond Community Park and Market Street beyond.

Description of Proposed Work (Planning Staff)

the construction of a 4-5 story mixed-use building and a 5-story hotel

Project Representatives

Relationship to Project
Architect

If you selected "Other", please state relationship to project.
--

Full Name (First and Last)
Chris Lizotte, AIA

Business Name (if applicable)
PROCON

Mailing Address (Street)
PO Box 4430

City/Town
Manchester

State
NH

Zip Code
03108

Phone
(603) 518-2279

Email Address
clizotte@proconinc.com

Relationship to Project
Architect

If you selected "Other", please state relationship to project.
--

Full Name (First and Last)
Adam Morrill

Business Name (if applicable)
PROCON

RAYNES AVENUE

PLAN PORTSMOUTH 3D MODEL: AREA 7
CHARACTER DISTRICT: CD-4

TABLE OF CONTENTS

BUILDING TOTALS:

RESIDENTIAL: 65,150SF - 60 UNITS
HOTEL: 68,000SF - 128 UNITS

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)
DOWNTOWN OVERLAY DISTRICT
NORTH END INCENTIVE OVERLAY DISTRICT
HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING
HOTEL
RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING):

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM PRINCIPAL FRONT YARD:	15 FT	±16 FT (1)	7.4 FT
MAXIMUM SECONDARY FRONT YARD:	12 FT	±5 FT	N/A
SIDE YARD:	NR	NR	NR
MINIMUM REAR YARD:	5 FT	N/A	N/A
MINIMUM FRONT LOT LINE BUILDOUT:	50%	66.7%	66.7%

(1) - INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12

BUILDING AND LOT OCCUPATION:

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM BUILDING BLOCK LENGTH:	200 FT	191 FT	116 FT
MAXIMUM FACADE MODULATION LENGTH:	80 FT	<80 FT	<80 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	90%	±47.0%	±47.0%
MAXIMUM BUILDING FOOTPRINT:	30,000 SF (2)	17,383 SF	14,628 SF
MINIMUM LOT AREA:	NR		
MINIMUM LOT AREA PER DWELLING UNIT:	NR		
MINIMUM OPEN SPACE:	10%	35.0%	
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	8,100 SF	7,400 SF

(2) - INCREASE ABOVE 15,000 SF ALLOWED PER 10.5A46.10

BUILDING FORM (PRINCIPAL BUILDING):

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
BUILDING HEIGHT:	5 STORY (3) 60 FT	5 STORY 59.77 FT	5 STORY 57.90 FT
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	15 FT	15 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10.5 FT	10.5 FT
FACADE GLAZING: SHOP FRONT FACADE TYPE	70%	70%	70%
ALLOWED ROOF TYPES FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT	

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

HDC WORK SESSION #2
HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS
PROCON Tighe&Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT CS

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	SITE AERIAL & LOCATION PLAN HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS PROCON Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM CORNER OF RAYNES & MAPLEWOOD AVENUE

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

PROCON

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Tighe&Bond

EXHIBIT

0 20 40 80 SCALE: 1" = 20'-0"

SITE LANDSCAPE PLAN

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	PROPOSED FIRST FLOOR PROGRAM HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS PROCON Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

Description: Culvert outlet, steep bank, and filled pier along the northeast edge of 31 Raynes Avenue.

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

EXISTING SHORELINE CONDITIONS
HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS PROCON Tighe&Bond
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EXHIBIT

1 RAYNES AVENUE FROM STREET

203 MAPLEWOOD FROM STREET

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

EXISTING BUILDINGS

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS PROCON Tighe&Bond

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EXHIBIT

0 20 40 80 SCALE: 1" = 20'-0"

SITE LANDSCAPE PLAN

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	PROPOSED FIRST FLOOR PROGRAM HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS PROCON Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

1 145 MAPLEWOOD AVENUE - 91,431SF & 4 STORIES

2 53 GREEN STREET - ±118,000 SF & 5 STORIES

3 233 VAUGHAN STREET - ±35,000SF & 4 STORIES

4 299 VAUGHAN STREET - AC HOTEL - 152,000SF & 5 STORIES

5 111 MAPLEWOOD AVENUE - 20,300SF & 1 1/2 STORY

6 319 VAUGHAN STREET - 3S ARTSPACE - ±18,000SF & 2 STORIES

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	NEIGHBORING PROPERTIES HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS · PROCON · Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

DESIGN PRINCIPLES	NEW COMMERCIAL DEVELOPMENT
Scale: Height & Width	Proportions and size of the new commercial construction compared with neighboring buildings
Building Form & Massing	The three-dimensional relationship and configuration of the new commercial construction footprint, its walls and roof compared with neighboring buildings
Setback	Distance of the new commercial construction to the street or property line when compared with other buildings on the block
Site Coverage	Percentage of the site that is covered by new commercial construction, when compared to nearby sites of compatible size
Orientation	Location of the front of the new commercial construction and principal entrance relative to other buildings on the block
Alignment, Rhythm & Spacing	Effect the new commercial construction will have on the existing patterns on its block
Architectural Elements & Projections	Size, shape, proportions and location of each entrance, balcony, roof overhang, chimney, dormer, parapet and other elements that contribute to the building's overall shape and silhouette relative to neighboring buildings
Façade Proportions: Window & Door Patterns	Relationship of the size, shape and location of the new commercial construction's façade and building elements to each other, as well as when compared to other buildings in the area
Trim & Detail	Moldings, decorative elements and features of a building that are secondary to major surfaces such as walls and roofs and how they relate to the neighboring buildings
Materials	Products with which a new commercial building is composed or constructed and how these relate to neighboring buildings

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM MARSH LANE PARK

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

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Tighe&Bond

EXHIBIT

TYING INTO THE EXISTING FABRIC OF THE NORTH END

- TRADITIONAL MATERIALS - BUILT FOR PORTSMOUTH



- SITE USAGE, ORIENTATION, HEIGHT + COVERAGE

- TERRACING



- NON-BUILT ENVIRONMENT



CONTRIBUTING TO THE DIVERSITY OF THE NORTH END

- MODERN MATERIALS - COLORS/PATINA/REFLECTIVITY



- SKIN + SURFACES - ORDER, TEXTURE, SCALE



- BUILDING SCALE RELATIVE TO NEIGHBORHOOD

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	DESIGN CONCEPTS HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS · PROCON · Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH END AERIAL COMPARISON
HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

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EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

AERIAL OVERLAY

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

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EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

AERIAL OVERLAY

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

PROCON

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Tighe&Bond

EXHIBIT

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	AERIAL OVERLAY HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS · PROCON CONNECT • CREATE • CONSTRUCT · Tighe&Bond	EXHIBIT

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	VIEW FROM MARKET STREET HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS · PROCON · Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM MARSH LANE PARK

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

PROCON

CONNECT • CREATE • CONSTRUCT

Tighe&Bond

EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM
MAPLEWOOD AVENUE BRIDGE

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

PROCON

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CONNECT • CREATE • CONSTRUCT

EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW OF ACTIVATED SIDEWALK & NORTH MILLPOND GREENWAY

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

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EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

DESIGN CONCEPTS: TERRACING MASS

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

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EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM CORNER OF RAYNES & MAPLEWOOD AVENUE

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

PROCON

CONNECT • CREATE • CONSTRUCT

Tighe&Bond

EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW ALONG
MAPLEWOOD AVENUE

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

PROCON

CONNECT • CREATE • CONSTRUCT

Tighe&Bond

EXHIBIT

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

DESIGN CONCEPTS:
FACADE MODULATION
HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS PROCON Tighe&Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM VAUGHAN STREET
TOWARD RAYNES AVENUE
HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS
PROCON
CONNECT • CREATE • CONSTRUCT
Tighe&Bond

EXHIBIT

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM VAUGHAN STREET
ALONG RAYNES AVENUE
HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS
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EXHIBIT

0 20 40 80 SCALE: 1" = 20'-0"

SITE LANDSCAPE PLAN

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	PROPOSED FIRST FLOOR PROGRAM HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS PROCON Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

TYPICAL SECOND THROUGH FORTH FLOOR PLAN

FIFTH FLOOR PLAN

COLOR KEY

- HOTEL
- RESIDENTIAL

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	PROPOSED UPPER FLOOR PROGRAM HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS · PROCON · Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

0 20 40 80 SCALE: 1" = 20'-0"

SITE LANDSCAPE PLAN

RAYNES AVE - PORTSMOUTH, NH

5/04/2021

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE	PROPOSED LANDSCAPE CONCEPT HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021	XSS HOTELS · PROCON · Tighe&Bond CONNECT • CREATE • CONSTRUCT	EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM
MAPLEWOOD AVENUE BRIDGE

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

PROCON

Tighe&Bond

CONNECT • CREATE • CONSTRUCT

EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

VIEW OF ACTIVATED SIDEWALK & NORTH MILLPOND GREENWAY

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

PROCON

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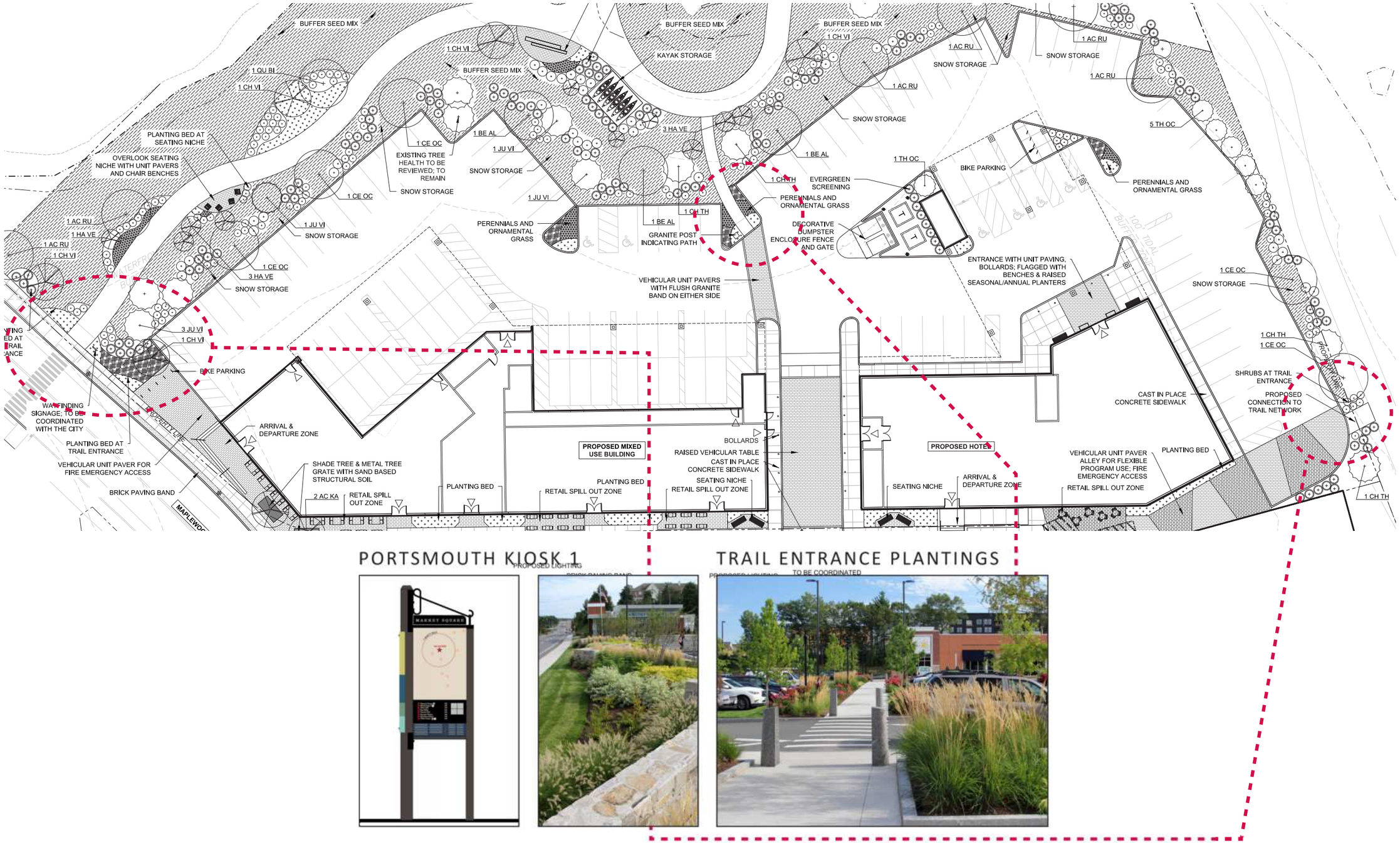
EXHIBIT



PORTSMOUTH KIOSK 1

TRAIL ENTRANCE PLANTINGS

SCALE: N.T.S

SITE LANDSCAPE PRECEDENT IMAGERY

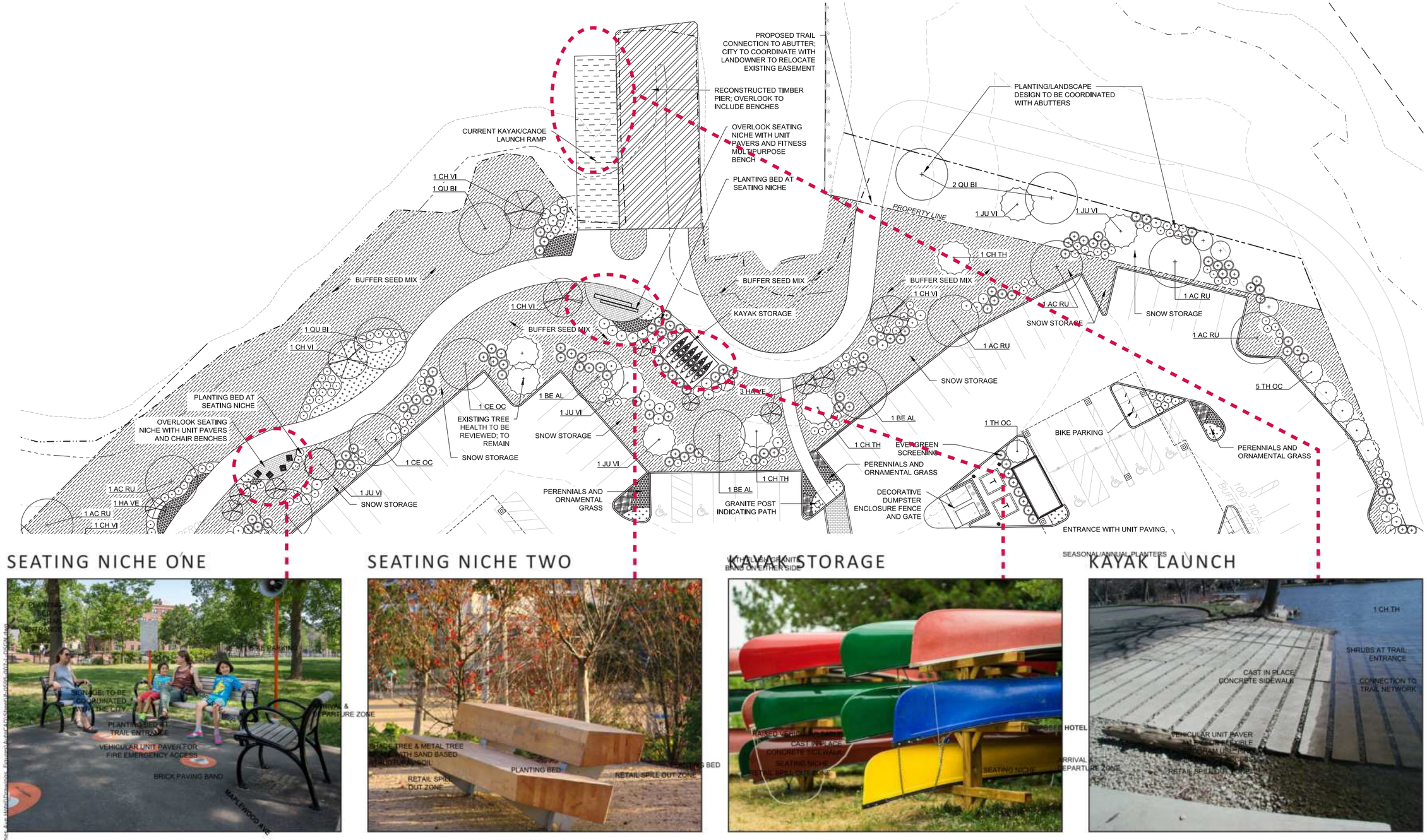
RAYNES AVE - PORTSMOUTH, NH
5/04/2021

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS | PROCON | Tighe&Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT



RAYNES AVE - PORTSMOUTH, NH

05/04/2021

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

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EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

EXISTING PIER & LAUNCH

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

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Tighe&Bond

EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROPOSED PIER & LAUNCH IMPROVEMENTS

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

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EXHIBIT

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

KAYAK STORAGE

HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

XSS HOTELS

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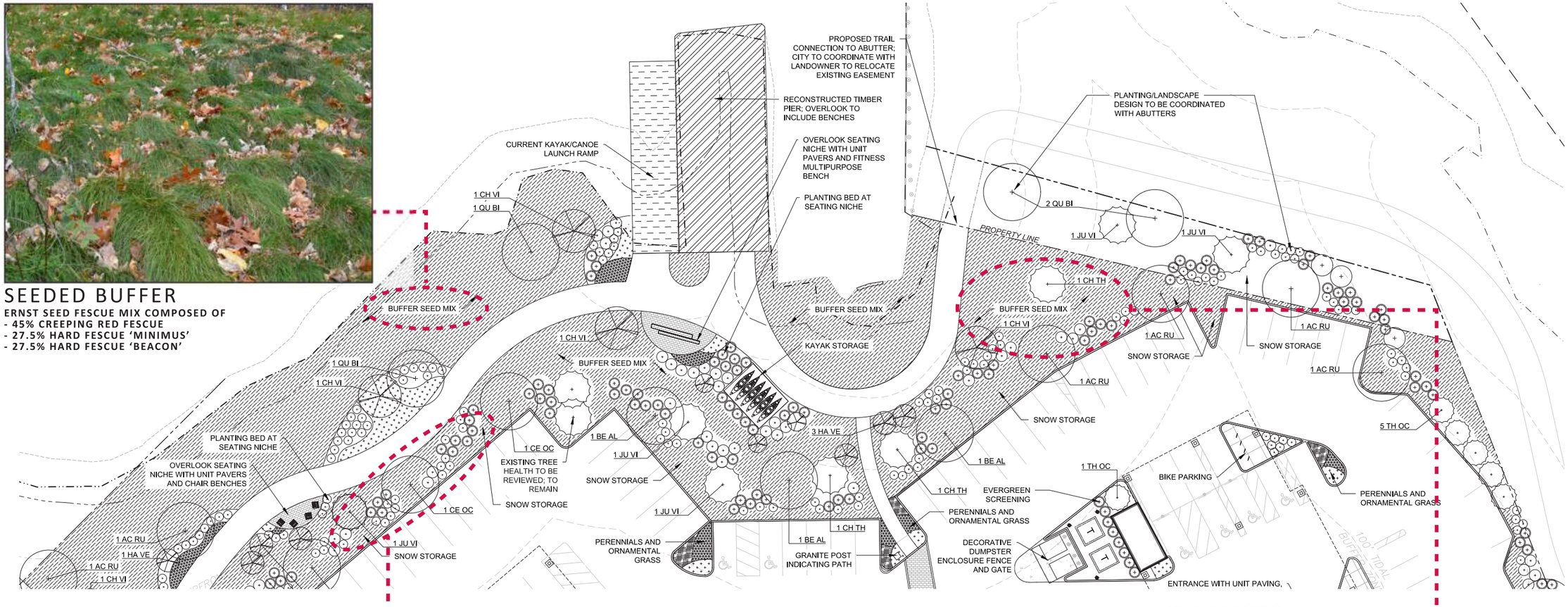
Tighe&Bond

EXHIBIT

SEEDED BUFFER

ERNST SEED FESCUE MIX COMPOSED OF
- 45% CREEPING RED FESCUE
- 27.5% HARD FESCUE 'MINIMUS'
- 27.5% HARD FESCUE 'BEACON'



RESTORATION PLANTING NOTES

1. INVASIVE PLANT MATERIAL WILL BE REMOVED USING MECHANICAL, WHOLE PLANT REMOVAL STRATEGIES AND CHIPPED AND COMPOSTED AT AN APPROPRIATE FACILITY OR BURNED ON SITE ACCORDING TO LOCAL FIRE DEPARTMENT RULES AND REGULATIONS.

2. DISTURBED SOILS WILL BE AUGMENTED AS NEED WITH A CUSTOM BLENDED SOIL OF ONE PART LOAM, ONE PART COMPOST AND ONE PART CLEAN SAND.

3. SEEDED AREAS ARE TO BE COVERED WITH SALT MARSH HAY TO RETAIN SOIL MOISTURE AND PROTECT AGAINST SEED PREDATION BY BIRDS AND SMALL MAMMALS.

4. NATIVE PLANT MATERIAL WILL BE LAID OUT AND INSTALLED BY AN ECOLOGICAL RESTORATION SPECIALIST OR PERSONS TRAINED IN HORTICULTURAL PRACTICES. EXACT PLANT LOCATIONS WILL BE DETERMINED IN THE FIELD BASED ON SITE-SPECIFIC PLANTING CONDITIONS AND MICRO-TOPOGRAPHY.

5. THE NEW PLANTINGS WILL BE IRRIGATED FOR ONE FULL GROWING SEASON OR UNTIL THE SEED AND PLANT MATERIAL IS ESTABLISHED.

6. MONTHLY INSPECTIONS WILL BE CONDUCTED FOR THE FIRST GROWING SEASON AND TREATMENT/ REMOVAL OF INVASIVE SPECIES WILL BE IMPLEMENTED AS NEEDED DURING THE ESTABLISHED PERIOD.

7. CARE IS TO BE TAKEN IN REMOVING ANY NEW COLONIZING INVASIVE PLANT MATERIAL TO MINIMIZE DISTURBANCE TO ESTABLISHING NATIVE PLANT SPECIES.

8. PRACTICES IN ASSOCIATION WITH FERTILIZERS AND PESTICIDES WILL COMPLY WITH ORDINANCES 10.1018.24 AND 10.1018.25.

MIXED HEIGHT PARKING BUFFER

SEEDED BUFFER WITH SHRUBS

SCALE: N.T.S

RIGHT-OF-WAY WILL BE REVIEWED BY THE CITY'S TREES & GREENERY COMMITTEE

BRICK STREETSCAPE FURNISHING ZONE

PROPOSED LIGHTING

BRICK PAVING BAND

PROPOSED LIGHTING

TO BE COORDINATED WITH THE CITY

BRICK STREETSCAPE FURNISHING ZONE

PROPOSED LIGHTING

SITE LANDSCAPE PRECEDENT IMAGERY

RAYNES AVE - PORTSMOUTH, NH

5/04/2021

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
HISTORIC DISTRICT COMMISSION: AUGUST 11, 2021

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EXHIBIT

2 Russell Street & 0 Deer Street (2 Lots)

Work Session

LUHD-366

City of Portsmouth, NH

08/06/2021

LUHD-366

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jul 13, 2021

Applicant

Ryan Plummer
ryan@twointernationalgroup.com
1 New Hampshire Ave, Suite 123
Portsmouth, NH 03801
603-988-9732 ext. _____

Location

2 RUSSELL ST
Portsmouth, NH 03801

Owner:

PORT HARBOR LAND LLC
1000 MARKET ST BUILDING ONE PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Development of a roughly 2 acre parcel in CD-5, Historic District, and NEIOD.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Owner's Representative

Full Name (First and Last)

Ryan Plummer

Business Name (if applicable)

Two International Group

Mailing Address (Street)

1 New Hampshire Ave, Suite 123

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

6034316400

Email Address

ryan@twointernationalgroup.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

☑

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

☑

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Owner's Representative

RUSSELL STREET DEVELOPMENT

HDC WORK SESSION #1 | 07.09.2021

PROJECT TEAM

PORT HARBOR LAND, LLC
OWNER

SGA
ARCHITECT

MARKET SQUARE ARCHITECTS
ARCHITECT OF RECORD

TIGHE & BOND
CIVIL

PROJECT APPROACH | NORTH END PRELIMINARY VISION PLAN

- CONNECT TO A NETWORK OF PARKS, PLAZAS, PATHS, PLAYGROUNDS, TRAILS, & OPEN SPACE.
- MASSING STRATEGY TO RESPOND TO SURROUNDING CONTEXT AND VIEWSHEDS BY STEPPING DOWN BUILDING HEIGHTS AND DENSITIES
- PROVIDE A VARIETY OF PROGRAM IN A MIXED-USE BUILDING, WITH THE GROUND FLOOR BEING COMMERICAL TO ACTIVATE THE STREETSCAPES
- INTEGRATE THE VARIOUS MODES OF TRANSPORTATION INCLUDING PEDESTRIAN, BICYCLE, VEHICULAR, & PUBLIC TRANSIT.

1. SITE CONTEXT

SITE CONTEXT | DOWNTOWN PORTSMOUTH

SITE CONTEXT | NORTH END SITE ANALYSIS

KEY

- PROJECT SITE
- BIKE LANE
- BUS
- NEW DEVELOPMENT
- GREEN SPACE

SITE CONTEXT | DOWNTOWN PORTSMOUTH

SITE CONTEXT | NORTH END PORTSMOUTH

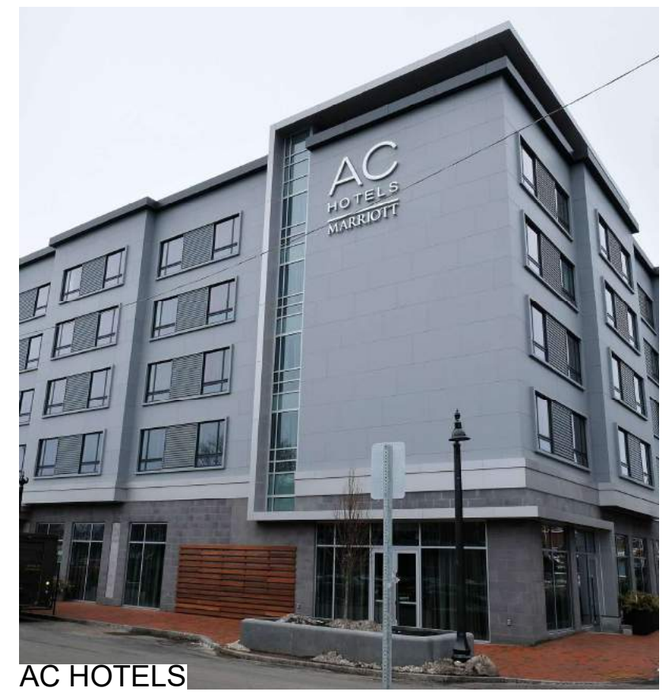
46-64 MAPLEWOOD AVE

161 DEER STREET

145 MAPLEWOOD AVE

HAMPTON INN & SUITES

PORTWALK PLACE



AC HOTELS

SITE CONTEXT | EXISTING SITE PHOTOS

A. View from Russell Street looking South towards site

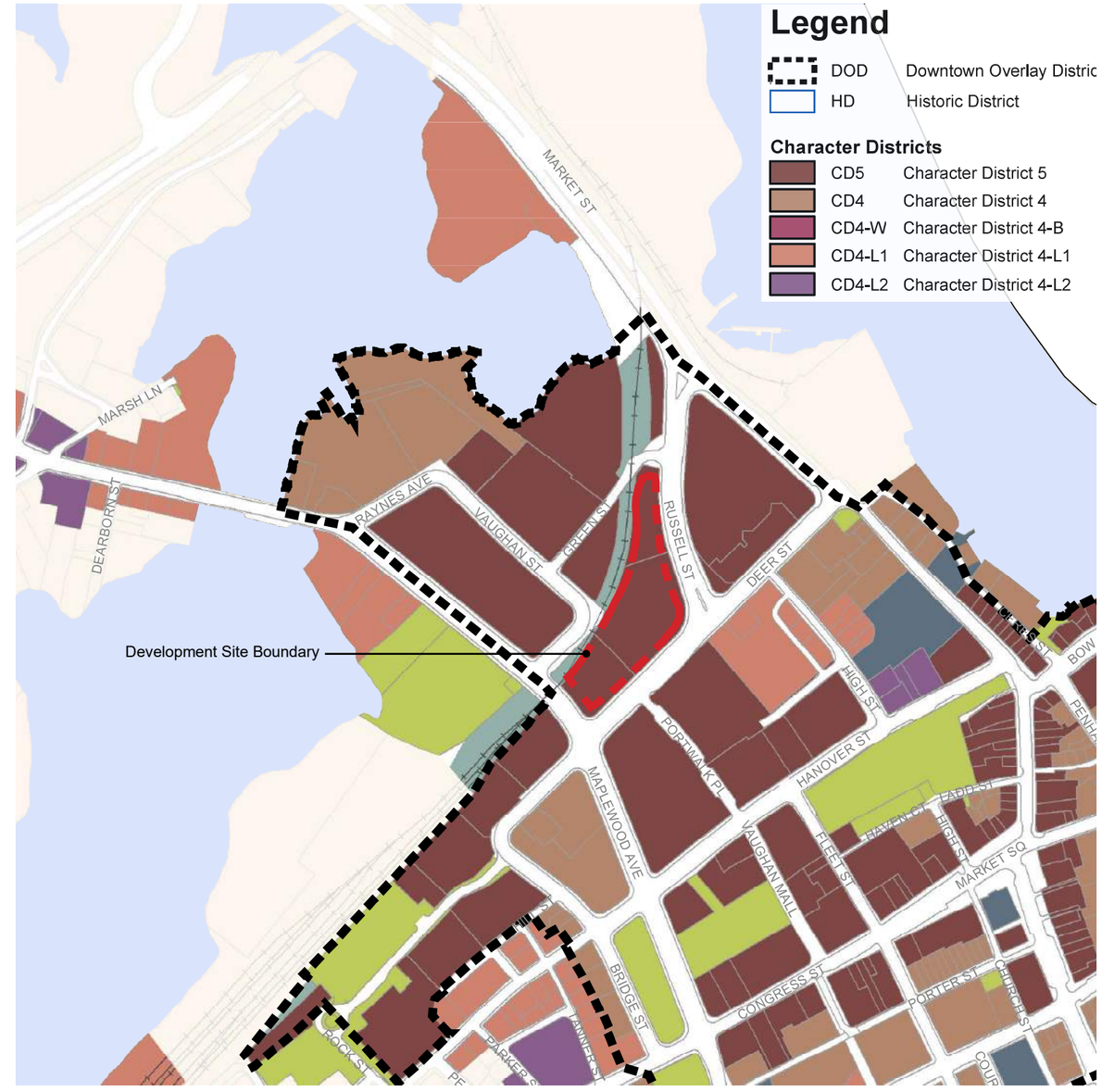
B. View from site looking South towards Portwalk Place

C. View from site looking North towards Vaughan Street

D. View from site looking South down Maplewood Avenue

SITE CONTEXT | ZONING

BUILDING HEIGHT



ZONING PLAN

2. MASSING DEVELOPMENT

MASSING DEVELOPMENT | PREVIOUSLY APPROVED SCHEME JUNE 2015

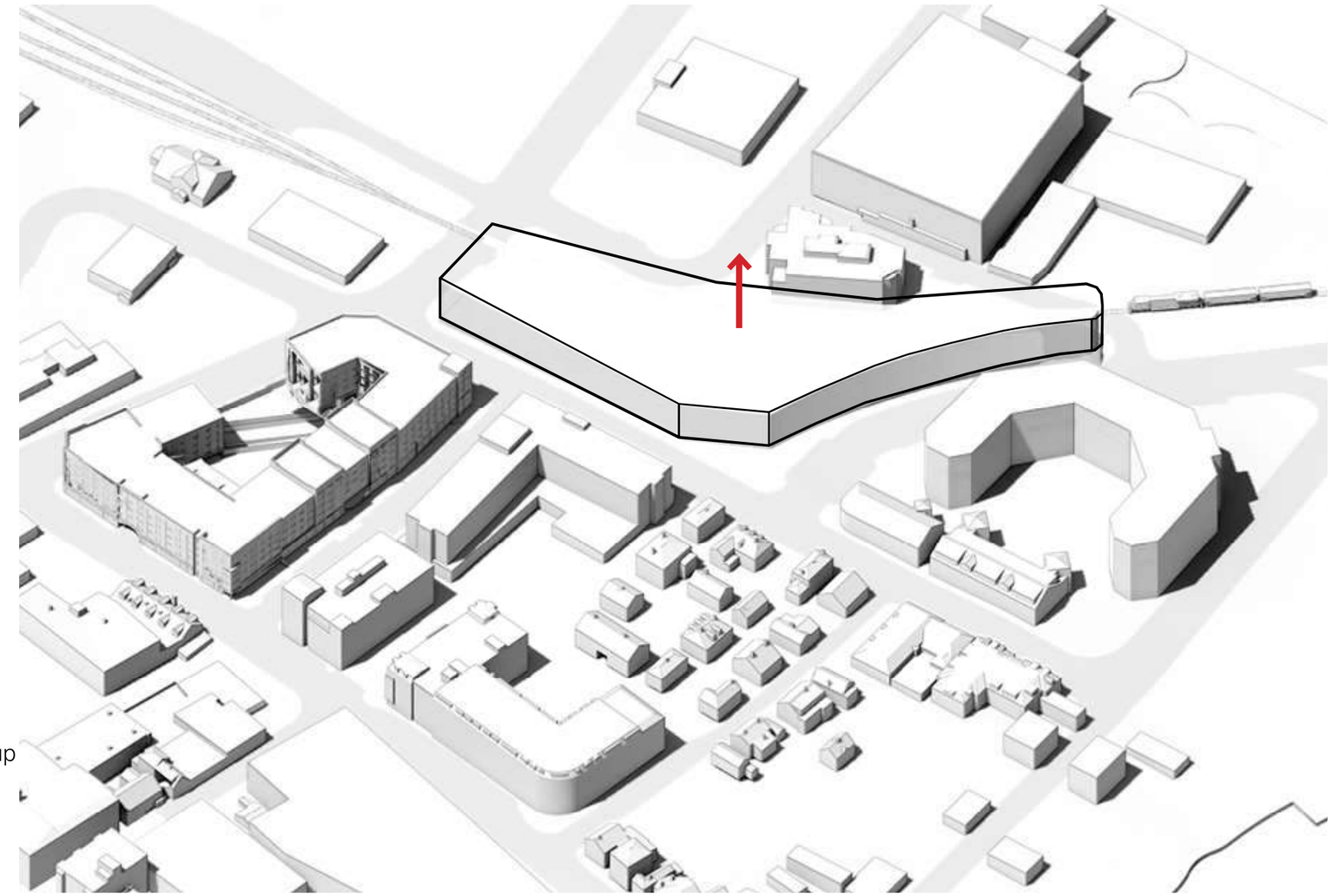
PREVIOUSLY APPROVED SCHEME - MASSING

PREVIOUSLY APPROVED SCHEME - SITE PLAN

GREEN STREET ELEVATION

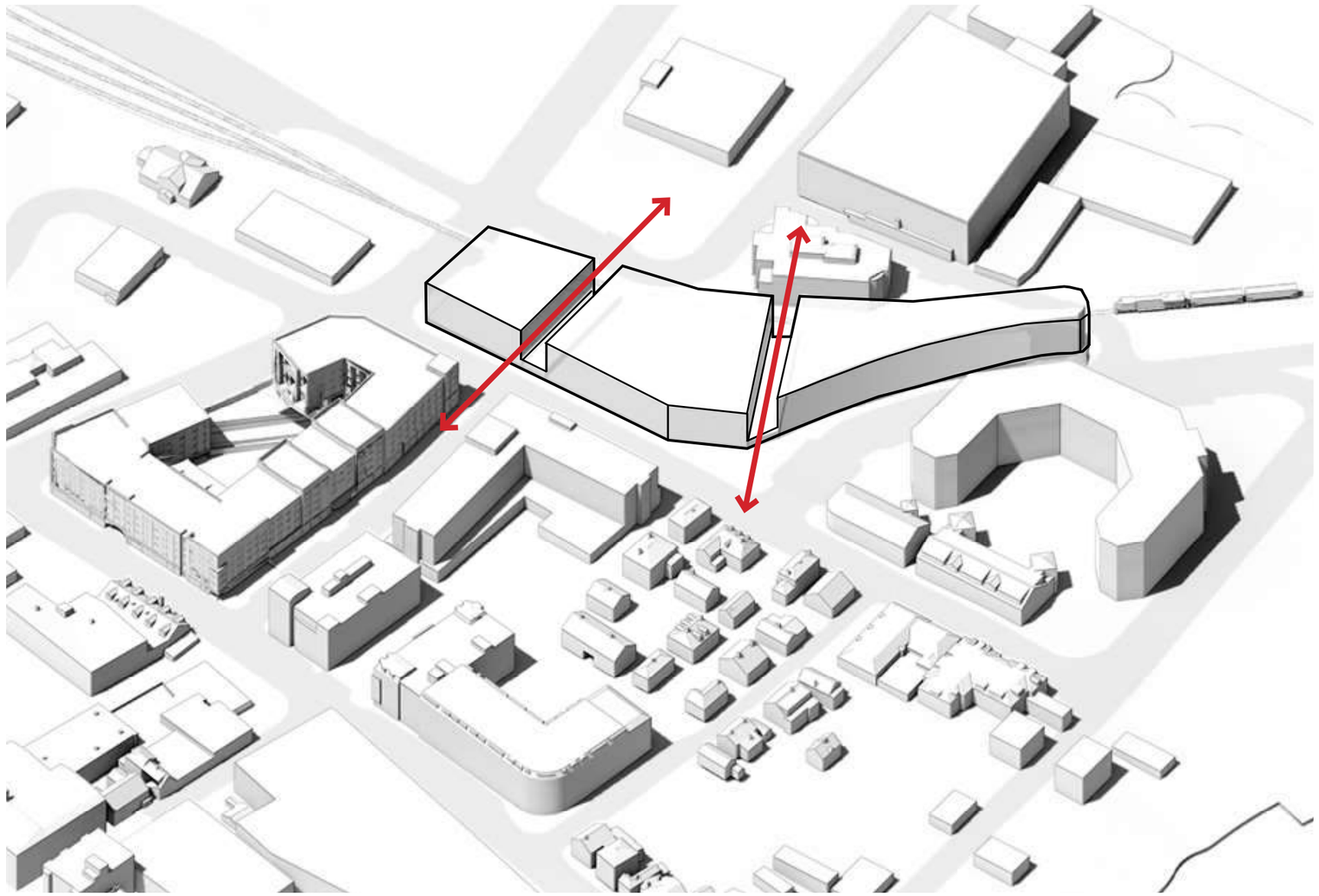
VAUGHAN STREET ELEVATION

MASSING DEVELOPMENT | DIAGRAMS



STEP 1.
Extrude entire site buildable area up to the max height allowed.

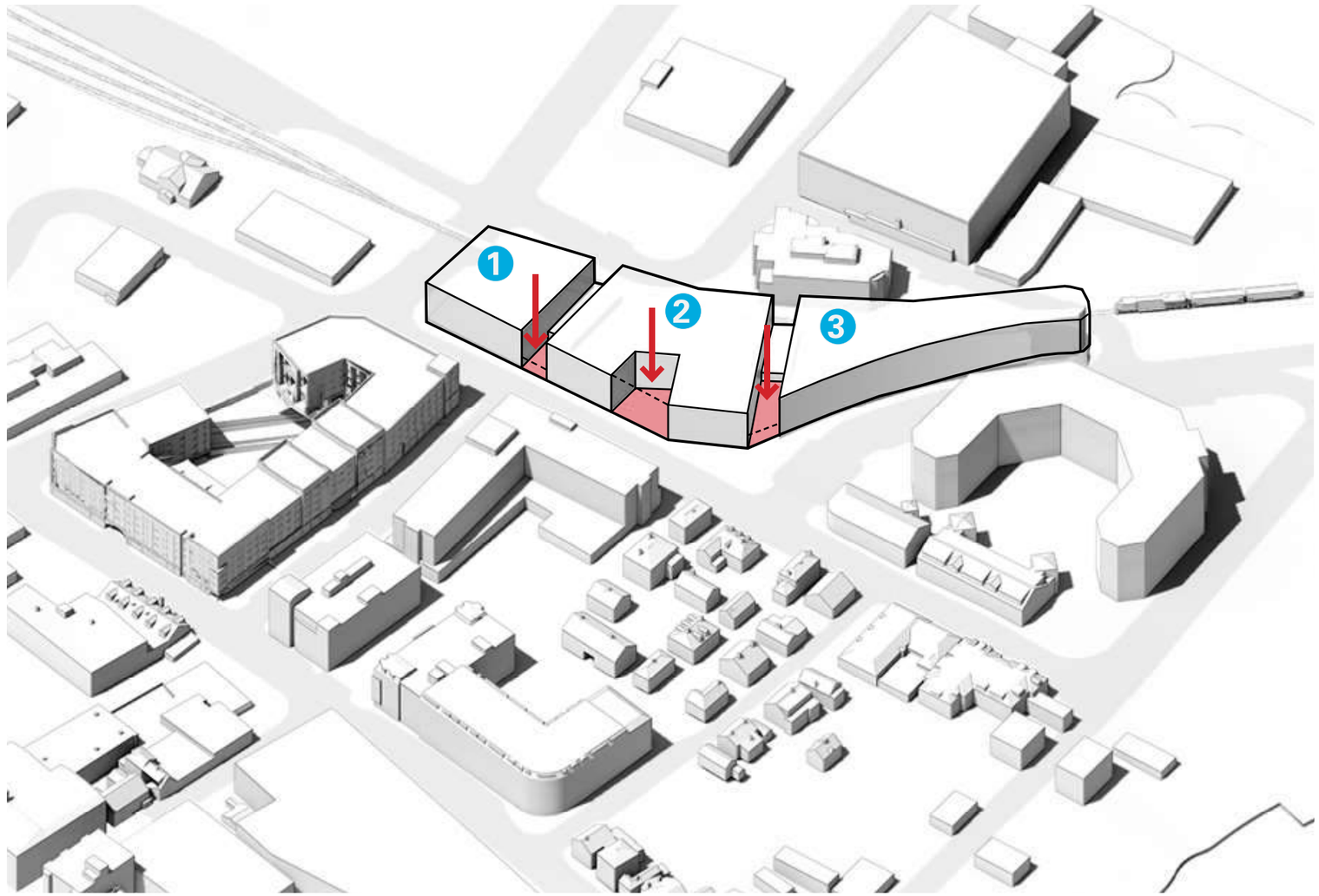
MASSING DEVELOPMENT | DIAGRAMS



STEP 2.

Articulate volume to break down scale of building by creating view corridors through the site.

MASSING DEVELOPMENT | DIAGRAMS



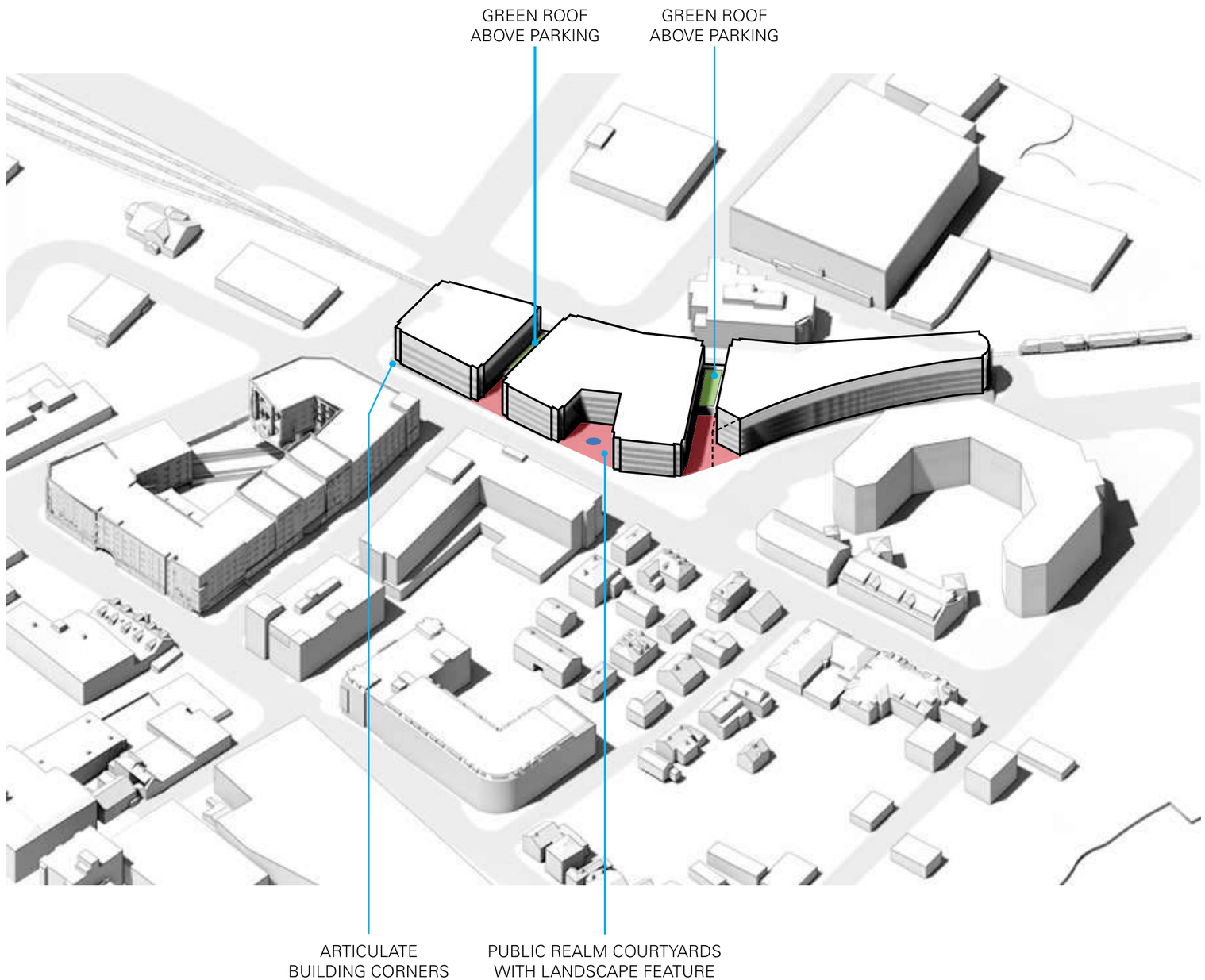
STEP 3.
Carve away at the mass to create public courtyards and entry points into the three distinct buildings. Above grade parking creates a spine that connects the buildings.

1 OFFICE / LOFT

2 RESIDENTIAL RENTAL

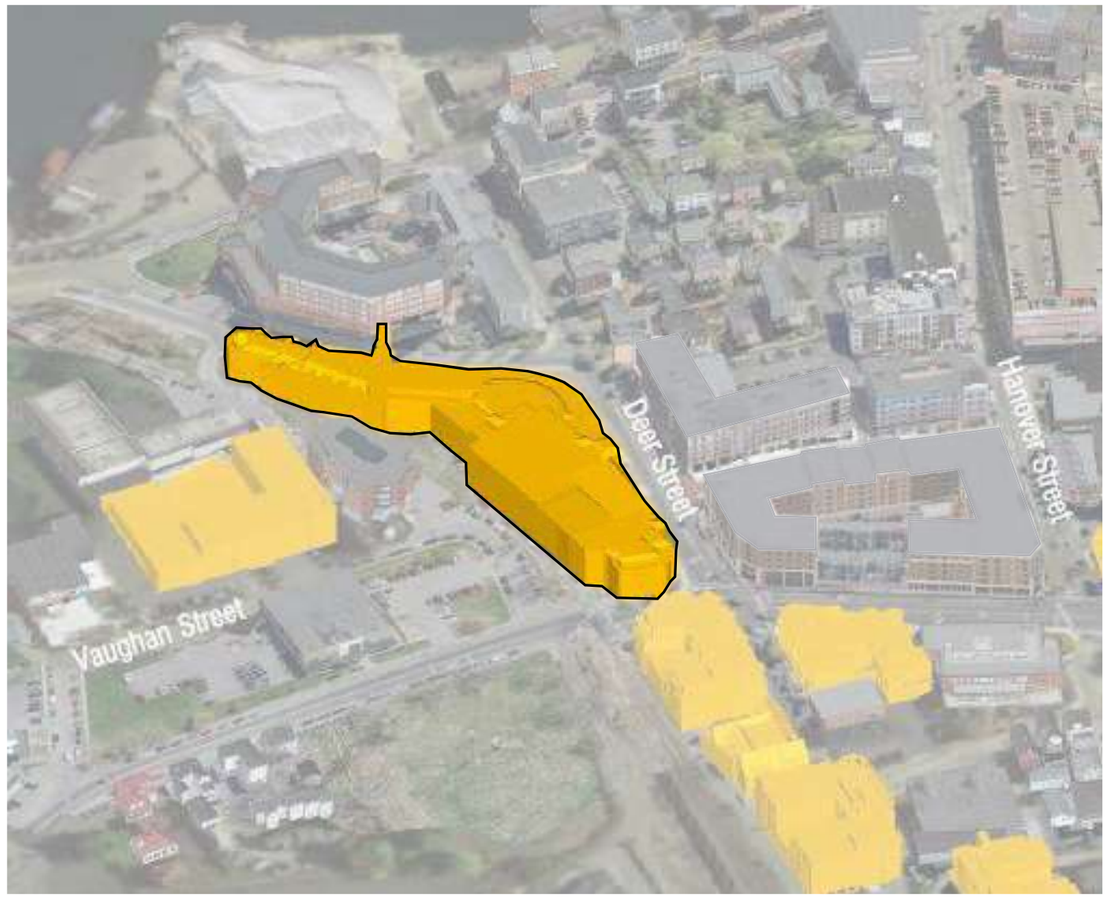
3 RESIDENTIAL CONDO

MASSING DEVELOPMENT | DIAGRAMS

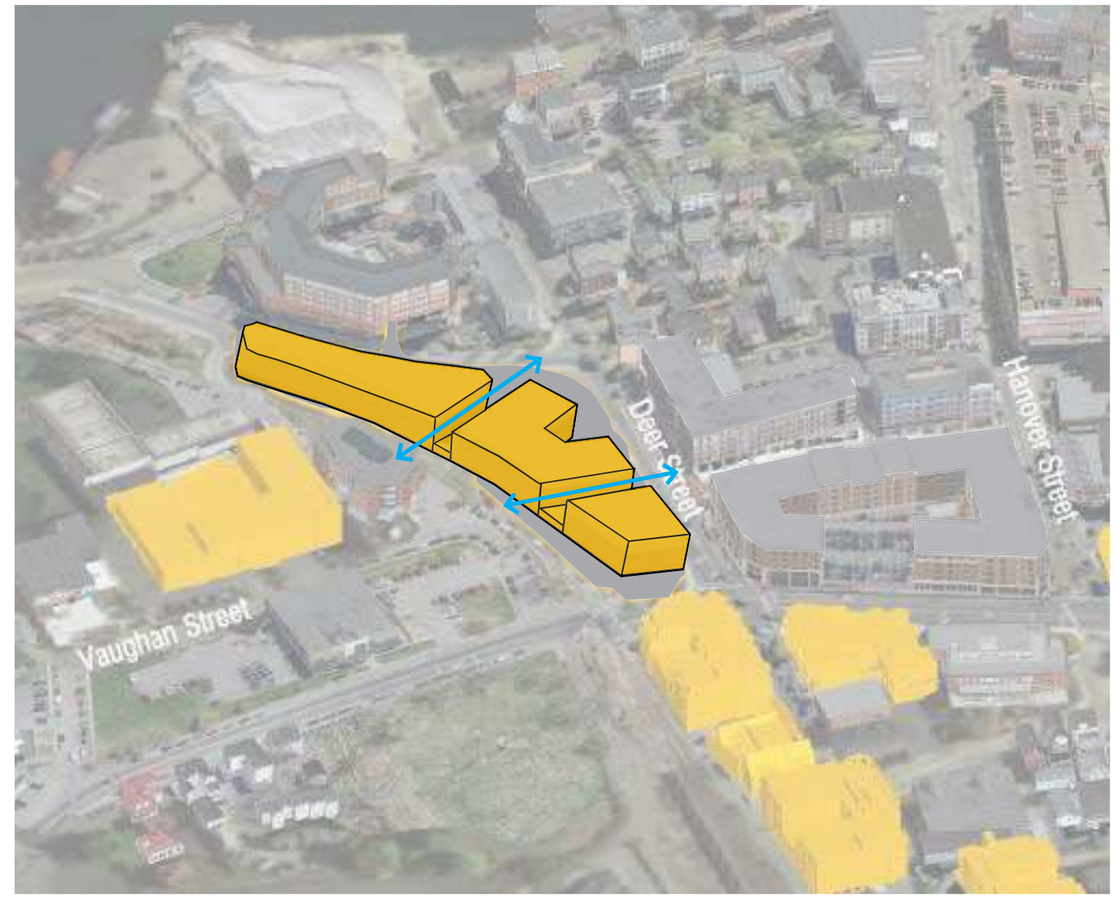


STEP 4.
Begin to articulate building corners & define community space courtyards.

MASSING DEVELOPMENT | MASSING COMPARISON

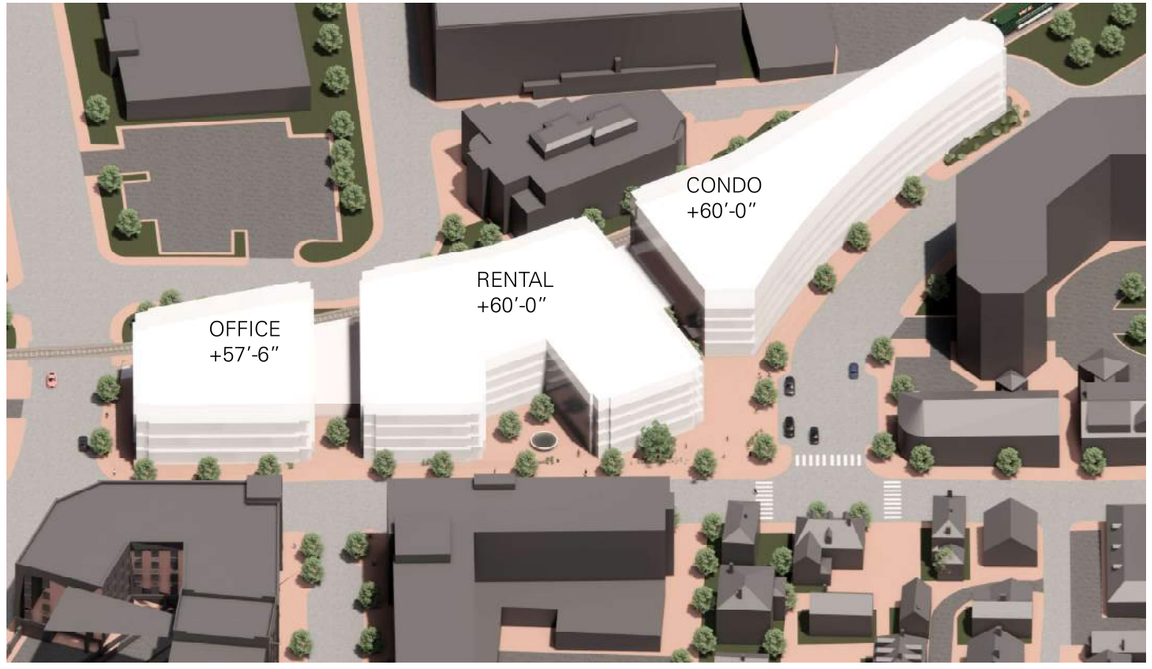


PREVIOUS PROPOSED MASSING FOR
HARBOR CORP CONVECTION CENTER



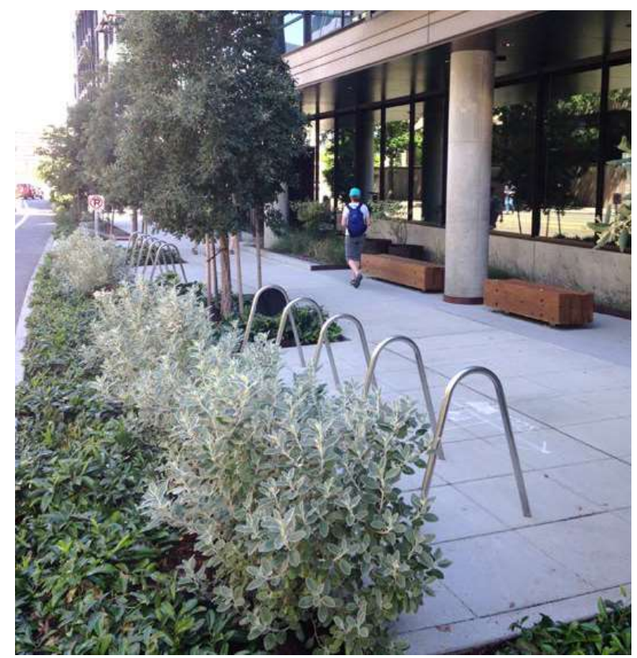
CURRENT MASSING SCHEME WITH
THREE BUILDINGS & VIEW CORRIDORS

MASSING DEVELOPMENT | PERSPECTIVES



3. PUBLIC REALM

PUBLIC REALM | PRECEDENTS



PUBLIC REALM | SITE PLAN