PLANNING BOARD PORTSMOUTH, NEW HAMPSHIRE

Remote Meeting Via Zoom Conference Call

To register in advance for this meeting, click on the link below or copy and paste this into your web browser https://zoom.us/webinar/register/WN_xoXF5gF2Tky8lMULXz1XSg.

You are required to register in advance to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. Public comments can be emailed in advance to planning@cityofportsmouth.com. For technical assistance, please contact the Planning Department by email (planning@cityofportsmouth.com) or phone (603) 610-7216.

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-01, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

7:00 PM MARCH 25, 2021

AGENDA

I. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. The application of **The Matthew Beebe Revocable Trust 2006, Owner**, for property located at **81 Lincoln Avenue** requesting Conditional Use Permit approval in accordance with Section 10.815 of the Zoning Ordinance for the conversion of an existing studio to a Garden Cottage with 515 square feet of gross floor area. Said property is shown on Assessor Map 113 Lot 35 and lies within the General Residence A (GRA) District.
- B. The application of **Joseph & Jessica DeNuzzio**, **Owners**, and **Drew Williams**, **Applicant** for property located at **105 Thornton Street** requesting a Conditional Use Permit in accordance with Section 10.1112.14 of the Zoning Ordinance for provision of 1 on-site parking space where 2 spaces are required. Said property is shown on Assessor Map 159 Lot 18 and lies within the General Residence A (GRA) District.
- C. Application of **The S. Dick Revocable Trust of 2019, Owner**, for property located at **869 Woodbury Avenue** requesting Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the construction of an Attached Accessory Dwelling Unit of 676 square feet gross floor area to be located

- above an existing attached two-car garage. Said property is shown on Assessor Map 219 Lot 37 and lies within the Single Residence B (SRB) District.
- D. Application of **Hope for Tomorrow Foundation**, **Owner**, for property located at **355 (also known as 315) Banfield Road** requesting a Wetland Conditional Use Permit in accordance with Article 10 Section 10.1017 to install a security fence along the property line resulting in 5 square feet of fence footings in the wetland and 10 square feet in the wetland buffer. Said property is shown on Assessor Map 266 Lot 5 and lies within the Industrial (I) District.
- E. Application of **Karona, LLC, Owner**, for property located at **36 Artwill Avenue** requesting Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the construction of a 1-bedroom 750 square foot Detached Accessory Dwelling Unit located above an existing detached garage. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District.
- F. Request of the City of Portsmouth for properties located on Sagamore Avenue between Little Harbor Road and 1177 Sagamore Avenue for a Wetland Conditional Use Permit under Article 10 Section 10.1017 of the Zoning Ordinance to install a low pressure sewer system in the City right-of-way as well as on private property resulting in 13,380 square feet of temporary tidal buffer zone impact and 6,755 square feet of temporary inland wetland buffer impact and trench work that will result in 56 square feet of permanent wetland buffer impact.

II. CITY COUNCIL REFERRAL - PUBLIC HEARING

A. **POSTPONED** Request of **Todd Buttrick**, **Owner**, for the restoration of involuntarily merged lots at **900 Middle Road** to their pre-merger status pursuant to NH RSA 674:39-aa. **POSTPONED**

III. DESIGN REVIEW - PUBLIC HEARING

A. The request of North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners) for property located at 31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue requesting Design Review for a 5-story mixed-use building and a 5-story hotel building with associated site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District.

IV. OTHER BUSINESS

A. Communication regarding separation of lots for 229-231 Raleigh Way.

V. ADJOURNMENT





MEMORANDUM

To: Planning Board

From: Juliet T.H. Walker, Planning Director

Subject: Staff Recommendations for the March 25, 2021 Planning Board Meeting

Date: March 22, 2021

I. PUBLIC HEARINGS - NEW BUSINESS

A. The application of **The Matthew Beebe Revocable Trust 2006, Owner**, for property located at **81 Lincoln Avenue** requesting Conditional Use Permit approval in accordance with Section 10.815 of the Zoning Ordinance for the conversion of an existing studio to a Garden Cottage with 515 square feet of gross floor area. Said property is shown on Assessor Map 113 Lot 35 and lies within the General Residence A (GRA) District.

<u>Description</u>

Different from an Accessory Dwelling Unit, a Garden Cottage that complies with the standards of Section 10.815 is otherwise exempt from the residential density standards of the Zoning Ordinance (e.g. minimum lot area per dwelling unit).

Under the off-street parking requirements, the garden cottage and principal dwelling are required to provide 2 off-street parking spaces (1 for the garden cottage of greater than 500 square feet and 1.3 for the primary dwelling rounded up to the nearest whole number).

The Ordinance requires that a Garden Cottage comply with the following standards (Section 10.815.30).

Required Standard	Planning Department Comments
The existing accessory building shall not be	No vertical or horizontal expansions
expanded either vertically or horizontally,	are proposed as part of this
other than through the addition of a front	application.
entry not to exceed 50 sq. ft., or a side or	
rear deck not to exceed 300 sq. ft.	
The garden cottage shall not be larger than	The proposed Garden Cottage is
600 sq. ft. gross floor area.	less than 600 square feet gfa.
A garden cottage that is within the required	The applicant is requesting a
yard for the zoning district shall not have	modification to this requirement as
any windows or doors higher than eight feet	there are existing windows on the
above grade facing the adjacent property.	building that do not meet this
	requirement.

Required Standard	Planning Department Comments
The principal dwelling unit and the garden cottage shall not be separated in ownership (including by condominium ownership); and either the principal dwelling unit or the garden cottage shall be occupied by the	The principal dwelling will continue to be occupied by the property owners.
owner of the property.	
Where municipal sewer service is not provided, the septic system shall meet NH Water Supply and Pollution Control Division requirements for the combined system demand for total occupancy of the premises.	The applicant has indicated they have plans to connect a new service line to the proposed Garden Cottage. The final approval for that connection will need to be received from the City's Sewer Division as part of the building permit process.

In order to grant a conditional use permit for a Garden Cottage, the Planning Board must first make the following findings (Sec. 10.815.40):

Required Findings	Planning Department Comments	
1. Exterior design of the Garden Cottage is	This is an existing accessory structure	
consistent with the existing single-family	that is compatible in appearance to	
dwelling on the lot.	the principal dwelling and the	
	proposed exterior changes appear to	
	be limited to replacing the front doors	
	and converting the existing garage	
	door on the side with a window wall.	
2. The site plan provides adequate open	The property has an existing backyard	
space, landscaping and off-street parking for	that is proximate to both the Garden	
both the Garden Cottage and the primary	Cottage and the primary dwelling. 4	
dwelling.	off-street parking spaces are provided,	
	which exceeds the minimum	
	requirements of the Zoning Ordinance	
	(1.3 for the primary dwelling and 1 for	
0.71.0.1.0.11	the garden cottage).	
3. The Garden Cottage will maintain a	The Garden Cottage is located close	
compatible relationship to adjacent	to the property line between and	
properties in terms of location and design,	behind the abutting property at 87	
and will not significantly reduce the privacy of	Lincoln, which the applicant also	
adjacent properties.	owns. If the abutting property was not	
	owned by the same owner, privacy could be an issue although the	
	applicant is not changing anything	
	significantly about the building that	
	would further reduce privacy.	
The Garden Cottage will not result in	This is an existing moderately dense	
excessive noise, traffic or parking	residential street. The location of this	
congestion.	Garden Cottage will not result in	
Congodion.	excessive noise, traffic, or parking	
	congestion.	
	congestion.	

Request for Modifications:

In granting a conditional use permit for a garden cottage, Section 10.815.50 of the Zoning Ordinance allows the Planning Board to modify a specific dimensional or parking standard set forth in Section 10.815.30 provided that the Board finds such modification will be consistent with the required findings in Section 10.815.40. The applicant has requested a modification to Section 10.815.33 that requires that a garden cottage that is located within the required yard (minimum setback from the lot line) shall not have any windows or doors higher than eight feet above grade facing the adjacent property. The applicant has request that the existing windows on the accessory structure that face the abutting properties back yard be allowed to remain.

Planning Department Recommendation

- 1) Vote to find that the requested modification to allow the existing windows to remain will be consistent with the required findings of Section 10.815.40 and to grant a modification to the requirements of Section 10.815.33 as requested by the applicant.
- 2) Vote to find that the application meets the requirements of Section 10.815.40 and to grant to grant the conditional use permit as presented, with the following stipulation:
 - 2.1) In accordance with Sec. 10.815.70 of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of Sec. 10.815, including the owner-occupancy requirement, and shall renew the certificate of use annually.

I. PUBLIC HEARINGS - NEW BUSINESS (Cont.)

B. The application of **Joseph & Jessica DeNuzzio**, **Owners**, **and Drew Williams**, **Applicant** for property located at **105 Thornton Street** requesting a Conditional Use Permit in accordance with Section 10.1112.14 of the Zoning Ordinance for provision of 1 on-site parking space where 2 spaces are required. Said property is shown on Assessor Map 159 Lot 18 and lies within the General Residence A (GRA) District.





Description

The off-street parking standards in the City's Zoning Ordinance for 1.3 spaces for residential units that are larger than 750 square feet. The zoning calls for rounding up the total parking to the nearest whole number, so 2 spaces are required for this property, which is a single family home. The applicant is modifying an existing garage to living space and thereby reducing the total number of compliant parking spaces on the property to 1.

Per Section 10.1112.14 of the Zoning Ordinance, the Planning Board may grant a conditional use permit to allow a building or use to provide less than the minimum parking spaces required by the off-street parking standards. An application for a conditional use permit for off-street parking must include a parking demand analysis, which shall be reviewed by the Site Plan Review Technical Advisory Committee.

Per Section 10.1112.142, an application for a conditional use permit shall identify permanent measures to reduce parking demand. The applicant's existing driveway has sufficient room to park two cars side by side. However, the driveway is located partially on City right-of-way and therefore the spaces do not technically meet the dimensional requirements of the Ordinance. The City has no plans to expand or otherwise modify the width of Thornton Street and it is reasonable to expect that the applicant will continue to be able to use the driveway as it is currently designed.

Technical Advisory Committee Review

The TAC reviewed this application at the March 9, 2021 meeting and had no concerns or comments.

Planning Department Recommendation

Vote to find that the number of off-street parking spaces provided will be adequate and appropriate for the proposed use of the property and to grant the conditional use permit as presented.

I. PUBLIC HEARINGS - NEW BUSINESS (Cont.)

C. Application of The S. Dick Revocable Trust of 2019, Owner, for property located at 869 Woodbury Avenue requesting Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the construction of an Attached Accessory Dwelling Unit of 676 square feet gross floor area to be located above an existing attached two-car garage. Said property is shown on Assessor Map 219 Lot 37 and lies within the Single Residence B (SRB) District

Description

In addition to the dimensional requirements of Section 10.521, the Ordinance requires that an AADU comply with the following standards (Section 10.814.30 and 10.814.40).

The principal dwelling unit and the accessory dwelling unit shall not be separated in ownership. Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling. Neither the principal dwelling nor the accessory dwelling unit shall be used for any business, except that the property owner may have a home occupation use in the unit that he or she occupies as allowed or permitted elsewhere in this Ordinance. Where municipal sewer service is not provided, the septic system shall meet NH Water Supply and Pollution Control Division requirements for the combined system demand for total occupancy of the premises. An interior door shall be provided between the principal dwelling unit and the ADU. The applications meets this requirement. The current owner plans to continue to reside in the principal dwelling. The applications meets this requirement. The principal dwelling. The applications meets this requirement. The current owner plans to continue to reside in the principal dwelling. The current owner plans to continue to reside in the principal dwelling. The applications meets this requirement. The current owner plans to continue to reside in the principal dwelling. The applications meets this requirement.	Required Standard	Planning Department Comments
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the ADU. the garage to the proposed interior	· ·	
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I Stalls to the New Add.	the ADO.	
The ADU shall not have more than two The proposed ADU is 676 square	The ADI I shall not have more than two	
bedrooms and shall not be larger than feet and has one bedroom.		
750 sq. ft. gross floor area.	_	rect and has one bedroom.
Any exterior changes to the single- The proposed addition is in keeping		The proposed addition is in keeping
family dwelling shall maintain the with the appearance of the existing		
appearance of a single-family dwelling. house.		
No portion of the AADU shall be closer		
to the front lot line than the existing front requirement.	·	
wall of the principal dwelling unit.		

Required Standard	Planning Department Comments
An exterior wall of the AADU that faces a street on which the lot has frontage shall comprise no more than 40% of the total visible façade area of the dwelling as seen from that street.	This application meets this requirement.
The addition to or expansion of the existing single-family dwelling may include an increase in building height only as an upward expansion of the existing principal building with no increase in building footprint.	The application meets this requirement.
The building height of any addition or expansion that includes an increase in building footprint shall be less than the building height of the existing principal building.	The application meets this requirement.
The AADU shall be architecturally consistent with the existing principal dwelling through the use of similar materials, detailing, roof pitch, and other building design elements.	The application meets this requirement.

In order to grant a conditional use permit for an ADU, the Planning Board must first make the following findings (Sec. 10.814.60):

Required Findings	Planning Department Comments
Exterior design of the ADU is consistent with the principal dwelli on the lot.	The design of the ADU is consistent with the principal dwelling.
 The site plan provides adequate open space, landscaping and off- street parking for both the ADU ar the primary dwelling. 	There is an existing yard that is accessible to both the ADU and the principal dwelling and adequate size to be shared space. There is sufficient off-street parking on the site for both dwellings.
3. The ADU will maintain a compatible relationship to adjacent properties terms of location, design and offstreet parking layout and will not significantly reduce the privacy of adjacent properties.	
The ADU will not result in excessi noise, traffic or parking congestion	

Planning Department Recommendation

Vote to grant the conditional use permit as presented, with the following stipulation:

1. In accordance with Section 10.814.70 of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of Section 10.814, including the owner-occupancy requirement, and shall renew the certificate of use annually.

I. PUBLIC HEARINGS - NEW BUSINESS (Cont.)

D. Application of Hope for Tomorrow Foundation, Owner, for property located at 355 (also known as 315) Banfield Road requesting a Wetland Conditional Use Permit in accordance with Article 10 Section 10.1017 to install a security fence along the property line resulting in 5 square feet of fence footings in the wetland and 10 square feet in the wetland buffer. Said property is shown on Assessor Map 266 Lot 5 and lies within the Industrial (I) District.

Description

This application is to install a 6 foot tall chain link fence in the wetland and wetland buffer on this property. The fence will have footings including 5 square feet in the wetland area and 10 square feet in the wetland buffer area.

- 1. The land is reasonably suited to the use activity or alteration. The applicant is putting up security fence for the school.
- 2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration. Given that the fence is along the property line this is the appropriate location.
- 3. There will be no adverse impact on the wetland functional values of the site or surrounding properties. The proposed fence will have a minimal impact on the wetland functional values.
- 4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals. The project does not propose to impact vegetation.
- 5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section. The proposal is only putting concrete where the fence needs added support as such this is the least impacting alternative.
- 6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible. The applicant is not proposing any impacts to natural vegetation.

Conservation Commission Review

The Conservation Commission reviewed this application at the February 10, 2021 meeting and voted unanimously to recommended approval of the application with one stipulation:

1) That the fence be kept at least six inches off the ground within the wetland area.

This stipulation was added to allow for the passage of wildlife underneath the fence.

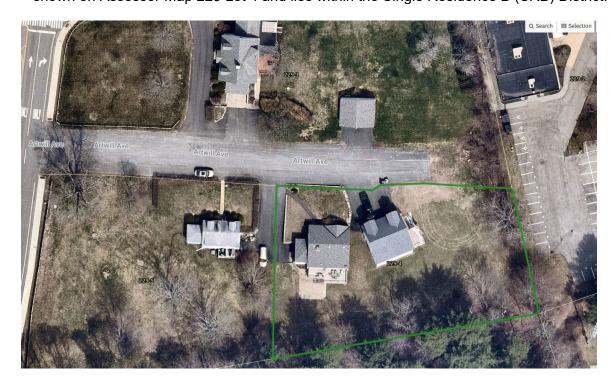
Planning Department Recommendation

Vote to approve the Wetland Conditional Use Permit as presented with the following stipulation:

1. The fence shall be kept at least six inches off the ground within the wetland area

I. PUBLIC HEARINGS - NEW BUSINESS (Cont.)

E. Application of Karona, LLC, Owner, for property located at 36 Artwill Avenue requesting Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the construction of a 1-bedroom 750 square foot Detached Accessory Dwelling Unit located above an existing detached garage. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District.



Description

The applicant is seeking approval to create an accessory dwelling unit above an existing detached garage. The garage was previously constructed but there is a partially finished space for a living unit above that was added by the previous owner.

In July 2017, the applicant submitted an application to the Planning Board for a conditional use permit (CUP) for a detached accessory dwelling unit (DADU) that requested modifications to the dimensional requirements for maximum gross floor area and distance from the principal dwelling. Because the property at the time was not owner-occupied, the applicant also requested that the Planning Board approval of the be contingent upon a future sale of the property. Therefore, the Planning Board approval would have needed to stipulate that a certificate of use would not be issued until the new owner occupied the property. The application was denied approval by the Planning Board.

In September 2017, the applicant submitted a new modified CUP application that proposed to comply with the maximum gross floor area limit and also proposed an ownership arrangement that he believed legally satisfied the owner-occupancy requirement (if not the actual intent) of the Ordinance. The application was denied

approval by the Planning Board due to the fact that the ownership arrangement did not satisfy the owner-occupancy requirement for an ADU.

The current applicant is now the 100% owner and occupant of 36 Artwill Avenue and therefore satisfies the ownership requirements of the Ordinance. However, the application still requires modifications to some of the required standards, as summarized below.

Note, because the garage was constructed after the effective date of the ADU Ordinance, it would not qualify as a Garden Cottage.

Per Section 10.814.20 of the Ordinance, in order for a lot to be eligible for an accessory dwelling unit, the lot and all proposed structures and additions to existing structures shall conform to zoning regulations. This lot was nonconforming for street frontage and, for this reason, the applicant applied to the Zoning Board of Adjustment requesting a variance to allow 0' street frontage where 100' is required as this lot does not have frontage on a road that has been approved and accepted by the City. The Zoning Board granted the requested relief at their February 2021 meeting.

In addition to the dimensional requirements of Section 10.521, the Ordinance requires that a DADU comply with the following standards (Section 10.814.30 and 10.814.50).

Required Standard	Planning Department Comments
The principal dwelling unit and the	The application complies with this
accessory dwelling unit shall not be	requirement.
separated in ownership.	
Either the principal dwelling unit or the	The application complies with this
accessory dwelling unit shall be	requirement.
occupied by the owner of the dwelling.	
When the property is owned by one or	
more trusts, one of the dwelling units	
shall be the principal place of residence	
of the beneficiary(ies) f the trust(s).	
Neither the principal dwelling nor the	The application complies with this
accessory dwelling unit shall be used	requirement.
for any business, except that the	
property owner may have a home	
occupation use in the unit that he or she	
occupies as allowed or permitted	
elsewhere in this Ordinance.	
Where municipal sewer service is not	This property is on municipal sewer.
provided, the septic system shall meet	
NH Water Supply and Pollution Control	
Division requirements for the combined	
system demand for total occupancy of	
the premises.	

Poguired Standard	Planning Department Comments
Required Standard	Planning Department Comments This preparty mosts this requirement
In a Single Residence district, a lot with a DADU shall comply with the minimum lot area for the district, but need not comply with the minimum lot area per dwelling unit.	This property meets this requirement.
The DADU shall not have more than two bedrooms and shall not be larger than 750 sq. ft. gross floor area; except that the maximum gross floor area shall be 1,000 sq. ft. if the lot area is 2 acres or more.	This application meets this requirement.
The DADU shall be clearly subordinate to the principal single-family dwelling in scale, height and appearance.	The applicant is requesting a modification to this standard (see below).
The façade area of the DADU that faces a street on which the lot has frontage shall be no more than 40 percent of the combined visible façade areas of the principal single family dwelling and the DADU facing the same street.	The applicant has requested a modification for this standard given that the garage was constructed by a previous owner. Furthermore, as this property technically does not have street frontage, there is question as to whether the applicant would need to comply with this requirement.
The building height of the DADU shall be less than the building height of the principal single-family dwelling.	The applicant has requested a modification to this standard considering the garage was constructed by a previous owner.
The DADU shall be architecturally consistent with the principal dwelling through the use of similar materials, detailing, and other building design elements.	The garage is architecturally consistent with the principal dwelling.
The DADU shall be separated from the single-family dwelling by at least 20 feet.	The applicant has requested a modification from this standard given that the garage was constructed by a previous owner. The proposed DADU will be 10.2' from the principal dwelling. The Inspection Department previously confirmed that a foundation permit for the existing garage was approved in 2013/2014.
The front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single-family dwelling.	The applicant has requested a modification from this standard given that the garage was constructed by a previous owner.

Required Standard	Planning Department Comments
No portion of the DADU shall be located in any required front yard, regardless of the location of the single-family dwelling.	The applicant has requested a modification from this standard given that the garage was constructed by a previous owner. Furthermore, as this property technically does not have street frontage, there is question as to whether the applicant would need
	to comply with this requirement.

In order to grant a conditional use permit for an DADU, the Planning Board must first make the following findings (Sec. 10.814.60):

Required Findi	ngs	Planning Department Comments
	ign of the ADU is ith the principal dwelling	The exterior design of the ADU is generally consistent with the principal dwelling.
open space,	n provides adequate landscaping and off- g for both the ADU and dwelling.	Both the primary dwelling and the proposed accessory dwelling unit will have access to usable open space and the existing landscaping on the property will not be altered. As the foundation for the garage was previously approved by the City, the proposed DADU will not be further limiting the open space access for the primary residence.
relationship terms of loca street parkin	Il maintain a compatible to adjacent properties in ation, design and offglayout and will not reduce the privacy of sperties.	The ADU is not located in close proximity to existing homes or on adjacent lots and is generally compatible with the neighborhood.
	I not result in excessive or parking congestion.	The proposed 1-bedroom ADU, which will be located on an existing residential street with sufficient off-street parking will not result in excessive noise, traffic, or parking congestion.

Request for Modifications:

The applicant requests modifications of required standards pursuant to Section 10.814.70 of the Zoning Ordinance. Some of these standards have been added and/or clarified in subsequent amendments to the Zoning Ordinance since the previous application. The modifications requested are as follows:

- That the facade area of the DADU that faces the street shall be no more than 40% of the combined visible façade.
- That the building height of the DADU shall be less than the building height of the principal dwelling.

- That the DADU shall be separated from the principal dwelling by at least 20 feet.
- That the front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single family dwelling.
- No portion of the DADU shall be located in any required front yard.

Planning Department Recommendation

- 1) Vote to find that the requested modifications will be consistent with the required findings of Section 10.814.60 and to grant a modification to the requirements of Section 10.814.53, 10.814.54, 10.814.55, and 10.814.56 as requested by the applicant.
- 2) Vote to grant the conditional use permit as presented, with the following stipulation:
 - 2.1. In accordance with Section 10.814.70 of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of Section 10.814, including the owner-occupancy requirement, and shall renew the certificate of use annually.

I. PUBLIC HEARINGS - NEW BUSINESS (Cont.)

F. Request of the City of Portsmouth for properties located on Sagamore Avenue between Little Harbor Road and 1177 Sagamore Avenue for a Wetland Conditional Use Permit under Article 10 Section 10.1017 of the Zoning Ordinance to install a low pressure sewer system in the City right-of-way as well as on private property resulting in 13,380 square feet of temporary tidal buffer zone impact and 6,755 square feet of temporary inland wetland buffer impact and trench work that will result in 56 square feet of permanent wetland buffer impact.

Description

This application is from the City of Portsmouth for a project that will install municipal sewer infrastructure along Sagamore Avenue to an area currently served only by individual septic systems. The new system installation will create temporary impacts as low pressure sewer lines are installed under roadways and in yards of existing homes.

- 1. The land is reasonably suited to the use activity or alteration. There are 7860 square feet of temporary impact on private property and in City right-of-way and 32 square feet of impact in the previously disturbed tidal buffer zone. Within the undisturbed 100' wetland buffer zone there are 350 square feet of temporary impact. Given this project will replace aging septic systems with City sewer the proposed impacts are warranted to achieve an improved water quality for Sagamore Creek.
- 2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration. Given that sewer needs to follow the road network there is no alternative location for this project.
- 3. There will be no adverse impact on the wetland functional values of the site or surrounding properties. The proposed 35 square feet of wetland buffer impact is all within a previously disturbed wetland buffer area mainly in front lawns of house. This temporary impact consists of new sewer covers and will not create an adverse impact to the wetland functional values in the adjacent wetland areas.
- 4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals. The project is mainly in City right-of-way or lawn areas. Where there are potential impacts with trees or other vegetation the route has been selected to reduce these impacts.
- 5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section. The proposal is not proposing any new impacts in undisturbed buffer areas and as such is the least impacting alternative.
- 6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible. The applicant has worked to reduce impacts to natural vegetation.

Conservation Commission Review

Conservation Commission reviewed this application at the March 10, 2021 meeting and voted unanimously to recommended approval with one member abstaining.

Planning [Department	Recommen	dation
------------	------------	----------	--------

1) Vote to grant the Wetland Conditional Use Permit as presented.

II. CITY COUNCIL REFERRAL - PUBLIC HEARING

A. Request of **Todd Buttrick**, **Owner**, for the restoration of involuntarily merged lots at **900 Middle Road** to their pre-merger status pursuant to NH RSA 674:39-aa.

Assessing Department Review

The Assessing Department is still reviewing this request and has requested the hearing be postponed to the April meeting.

Planning Department Recommendation

Vote to postpone this hearing to the April Planning Board meeting.

III. DESIGN REVIEW - PUBLIC HEARING

A. The request of North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners) for property located at 31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue requesting Design Review for a 5-story mixed-use building and a 5-story hotel building with associated site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District.



Description

This item is a request for Design Review under the Site Plan Review Regulations. Under the State statute (RSA 676:4,II), the Design Review phase is an opportunity for the Planning Board to discuss the approach to a project before it is fully designed and before a formal application for Site Plan Review is submitted. The Design Review phase is not mandatory and is nonbinding on both the applicant and the Planning Board.

Although the State statute calls this pre-application phase "design review," it does not encompass review of architectural design elements such as façade treatments, rooflines and window proportions. Rather, it refers to site planning and design issues such as the size and location of buildings, parking areas and open spaces on the lot; the interrelationships and functionality of these components, and the impact of the development on adjoining streets and surrounding properties.

The process as outlined in Section 2.4.3 of the Site Review regulations is that the Board first has to determine that the request for design review includes sufficient information to allow the Board to understand the project and identify potential issues and concerns,

and, if so, vote to accept the request and schedule a public hearing. Completion of the design review process also has the effect of vesting the project to the current zoning.

Design review discussions must take place in a public hearing. At the conclusion of the public hearing process, the Board makes a determination that the design review process for the application has ended.

At the December 2020 Planning Board meeting, the Board voted to accept the request and schedule a public hearing.

Planning Department Recommendation

Vote to find that the Design Review process is complete.

MDB DESIGN, LLC

Residential Design Services and Construction Consulting

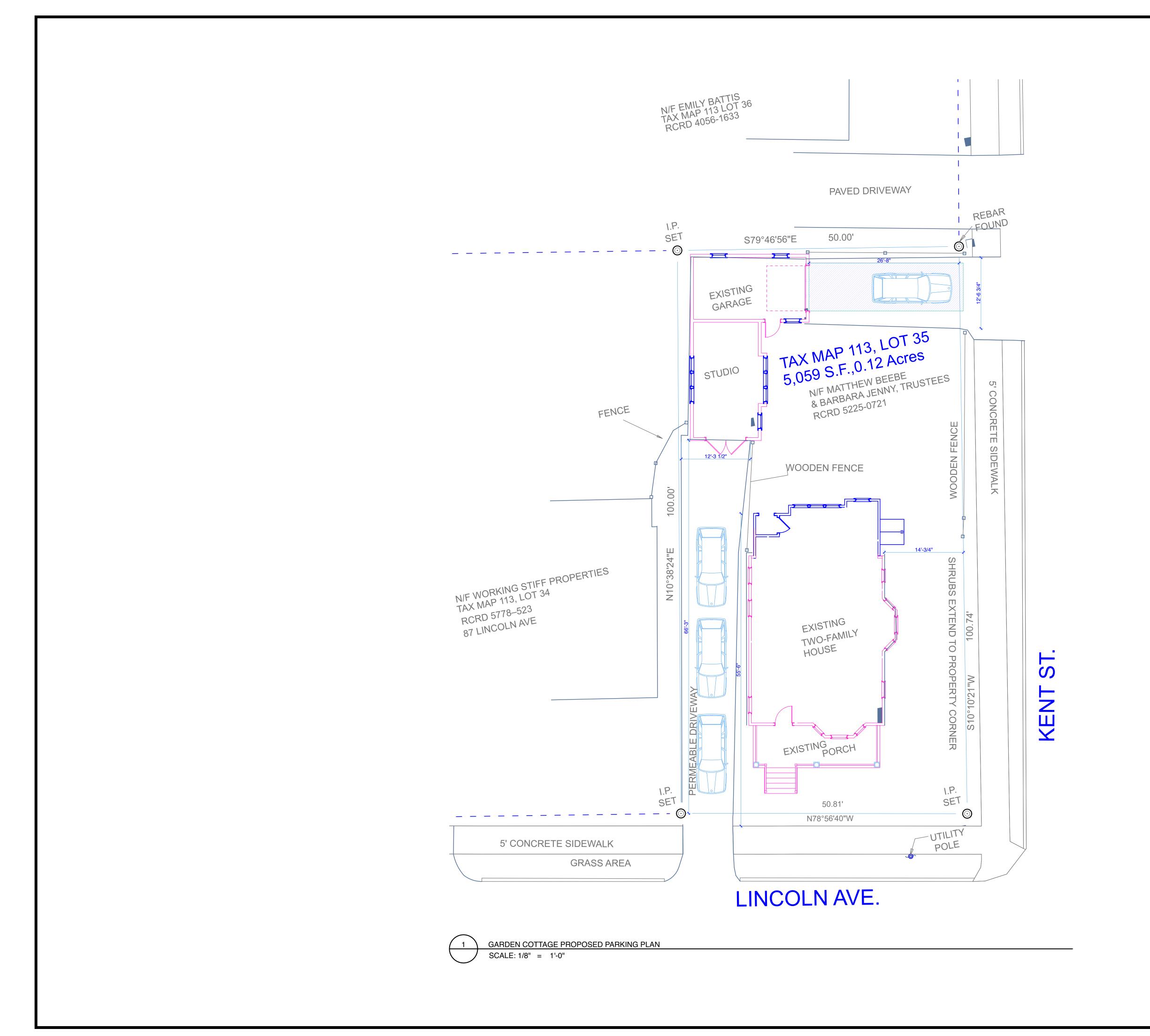
City of Portsmouth Planning Department

GARDEN COTTAGE NARRATIVE

Regarding the proposal to create a "Garden Cottage" in an existing garage structure located at 81 Lincoln Avenue, Portsmouth, NH.

- The principal residence at 81 Lincoln Ave is a single family dwelling owned by the Beebe-Jenny Revocable Trust and is occupied by the owners, Matthew Beebe and Barbara Jenny. The dwelling will remain under common ownership. The accessory dwelling would be located in the existing garage/studio structure, which would be converted to living space. The Garden Cottage is detached.
 - The principal dwelling will remain occupied by the owners, Matthew Beebe and Barbara Jenny. A copy of the city tax card proving ownership and residency will be included in the application.
- The proposal is for an accessory dwelling unit. No structure will be used for business, other than home occupations as permitted by the zoning ordinance.
- A new municipal service line is planned for using an easement between the property at 81 Lincoln Ave and the property at 87 Lincoln Ave. A draft copy of the easement will be provided with the application.
- There is room for (4) parking spaces on the property as indicated in the site/parking plan.

 Therefore, no additional traffic or parking congestion would be created by the approval of the application.
- The applicants request a dimensional modification from Article 10.815.33 where no windows are allowed that exceed 8'-0" above grade. In this instance, the building proposed for conversion to a garden cottage has (4) existing windows in the elevation that faces the adjacent property (also owned by Mr. Beebe and Ms. Jenny). The applicant ask that those windows be allowed to remain as constructed in the interest of light and air for the garden cottage.



MDB DESIGN/BUILD LLC
Construction Consulting
Residential Design

81 Lincoln Ave. Portsmouth, N.H. 03801 603•234•7398 855•440•8664 FAX

CONSULTANTS

PARKING PLAN

BEEBE-JENNY RESIDENCE

81 LINCOLN AVE PORTSMOUTH, NH 03801

2/05/21 SITE PLAN

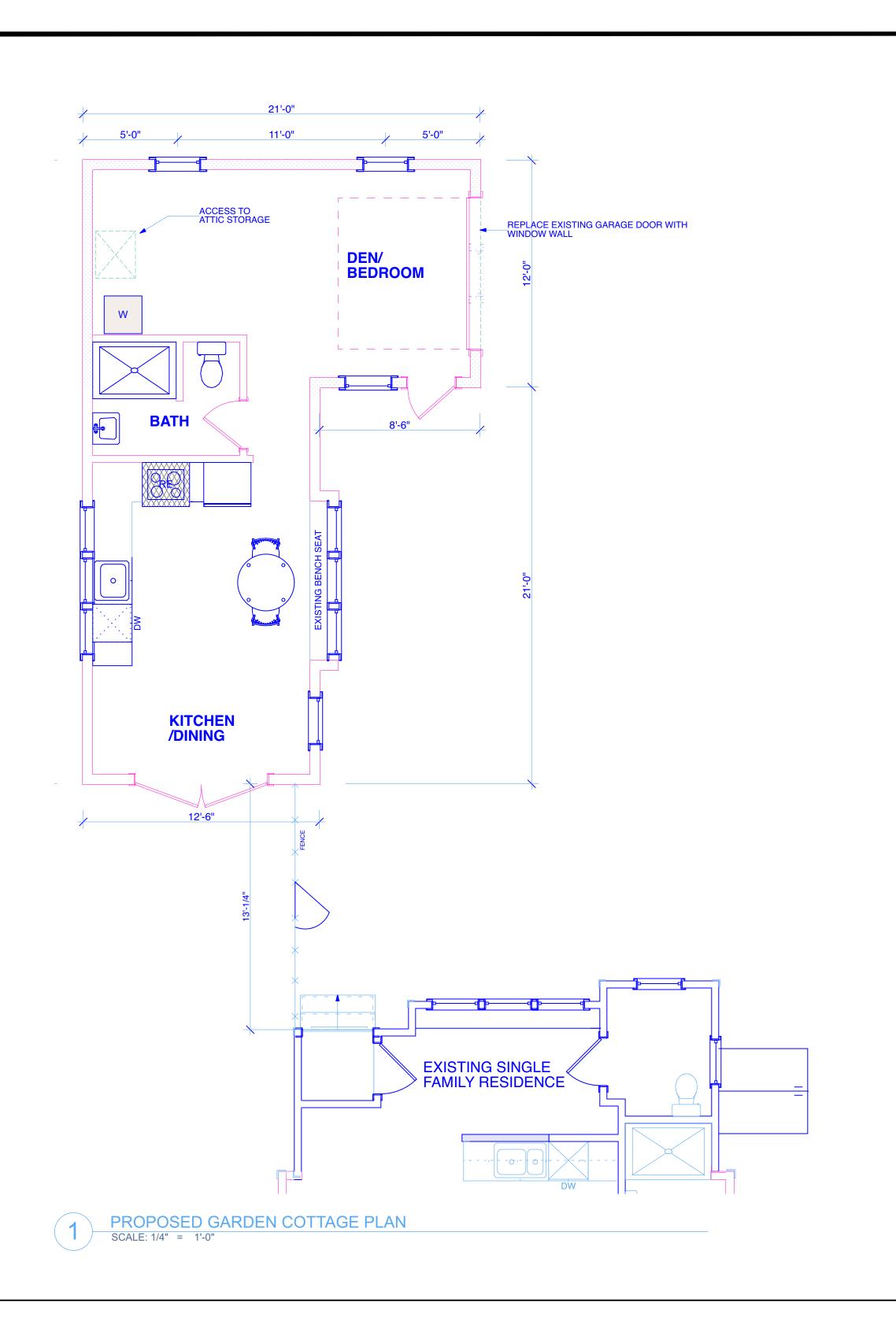
MARK DATE DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

SHEET TITLE

SITE PLAN W/ PARKING

C-1



MDB DESIGN LLC Construction Consulting Residential Design

81 Lincoln Ave. Portsmouth, N.H. 03801 603•436•4256 603•436•7099 Fax

CONSULTANTS

BEEBE-JENNY RESIDENCE

GARDEN COTTAGE PROPOSAL

81 LINCOLN AVE. PORTSMOUTH, N.H. 03801

	1/22/21	REVISED
	12/06/20	FLOOR PLAN
MARK	DATE	DESCRIPTION

PROJECT NO:

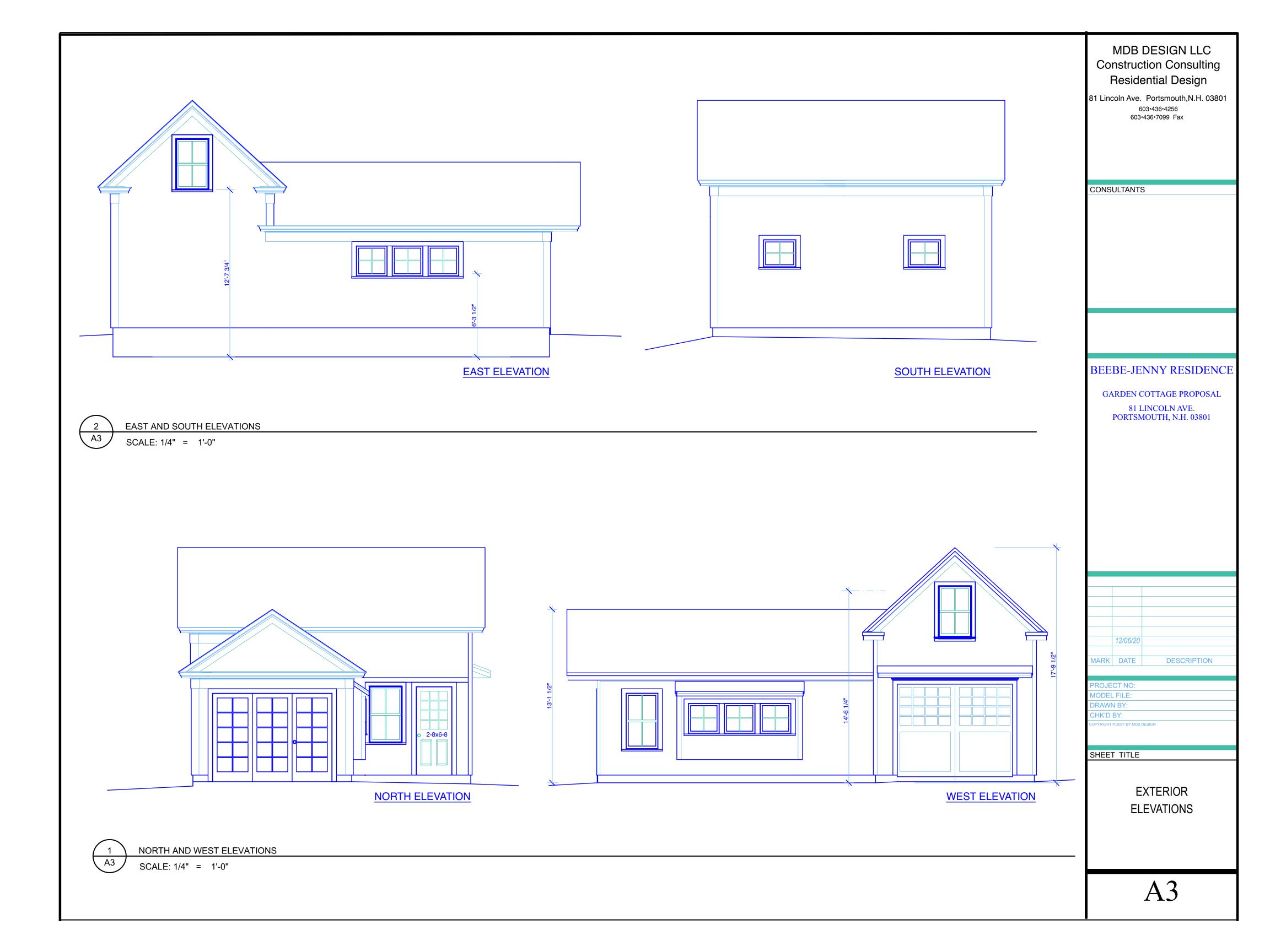
MODEL FILE:
DRAWN BY:
CHK'D BY:

COPYRIGHT © 2008 BY MDB DESIGN: THESE PLANS ARE PROTECTED THE FEDERAL COPRIGHT LAWS. THE ORIGINAL PURCHASER OF THIS IS AUTHORIZED TO CONSTRUCT ONE AND ONLY ONE HOME USING TIMODIFICATION OR REUSE OF THIS PLAN IS PROHIBITED WITHOUT THE

SHEET TITLE

PROPOSED FLOOR PLAN

A1



Vision Government Solutions 2/4/21, 11:27 AM

81 LINCOLN AVE

Location 81 LINCOLN AVE **Mblu** 0113/ 0035/ 0000/ /

Acct# 33371 Owner BEEBE MATTHEW D REV TRUST

2006

PBN Assessment \$786,400

Appraisal \$786,400 **PID** 33371

Building Count 1

Current Value

Appraisal						
Valuation Year Improvements Land Total						
2020	\$375,200	\$411,200	\$786,400			
Assessment						
Valuation Year Improvements Land Total						
2020	\$375,200	\$411,200	\$786,400			

Owner of Record

Owner BEEBE MATTHEW D REV TRUST 2006 Sale Price \$0

Co-Owner JENNY BARBARA R & BEEBE MATTHEW D TRSTEE Certificate

 Address
 81 LINCOLN AVE
 Book & Page
 5225/0721

 PORTSMOUTH, NH 03801
 Sale Date
 06/28/2011

-

Instrument

Ownership History

Ownership History						
Owner Sale Price Certificate Book & Page Instrument Sale Date						
BEEBE MATTHEW D REV TRUST 2006	\$0		5225/0721		06/28/2011	
BEEBE MATTHEW D	\$528,533		4487/0563	0	05/24/2005	

Building Information

Vision Government Solutions 2/4/21, 11:27 AM

Building 1: Section 1

Year Built: 1900 Living Area: 1,938 \$439,395 **Replacement Cost: Building Percent Good:** 79

Replacement Cost

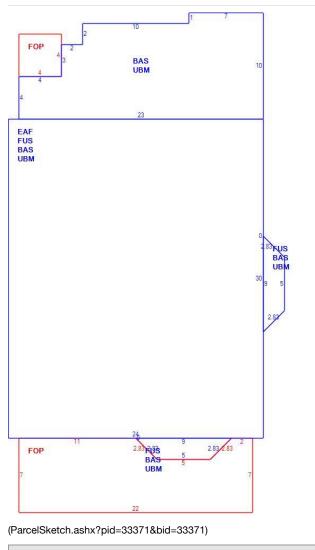
Less Depreciation: \$347,100				
Building	Attributes			
Field	Description			
Style:	Conventional			
Occupancy	1			
Exterior Wall 2	Wood Shingle			
Interior Wall 2	Drywall/Sheet			
Interior FIr 2	Ceram Clay Til			
Model	Residential			
Grade:	B+			
Stories:	2			
Exterior Wall 1	Clapboard			
Roof Structure:	Gable/Hip			
WB Fireplaces	0			
Extra Openings	0			
Roof Cover	Asph/F Gls/Cmp			
Interior Wall 1	Plastered			
Extra Openings	0			
Bsmt Garage				
Interior Flr 1	Hardwood			
Heat Fuel	Gas			
Heat Type:	Warm Air			
AC Type:	Central			
Total Bedrooms:	5 Bedrooms			
Total Bthrms:	3			
Total Half Baths:	0			
Total Xtra Fixtrs:	3			
Total Rooms:	10			
Bath Style:	Above Avg Qual			
Kitchen Style:	Above Avg Qual			
Kitchen Gr	В			
Metal Fireplaces	1			

Building Photo



(http://images.vgsi.com/photos2/PortsmouthNHPhotos/\\00\\02\\27\\48.jr

Building Layout



Duilding Sub Areas (og ff)

Vision Government Solutions 2/4/21, 11:27 AM

	Dulluling Sub-Areas (sq rt)		Legenu
Code	Description	Gross Area	Living Area
BAS	First Floor	938	938
FUS	Upper Story, Finished	748	748
EAF	Attic Expansion	720	252
FOP	Porch, Open	156	0
UBM	Basement, Unfinished	938	0
		3,500	1,938

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use Land Line Valuation		tion	
Use Code	1010	Size (Acres)	0.11
Description	SINGLE FAM MDL-01	Frontage	
Zone	GRA	Depth	
Neighborhood	103A	Assessed Value	\$411,200
Alt Land Appr	No	Appraised Value	\$411,200
Category			

Outbuildings

	Outbuildings					<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
FGR4	GAR W/LFT AVE			252.00 S.F	\$11,600	1
RL1	STUDIO			294.00 S.F.	\$16,500	1

Valuation History

Appraisal					
Valuation Year Improvements Land Total					
2020	\$375,200	\$411,200	\$786,400		
2019	\$375,200	\$411,200	\$786,400		
2018	\$341,600	\$373,800	\$715,400		

Assessment				

Vision Government Solutions 2/4/21, 11:27 AM

Valuation Year	Improvements	Land	Total
2020	\$375,200	\$411,200	\$786,400
2019	\$375,200	\$411,200	\$786,400
2018	\$341,600	\$373,800	\$715,400

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To: Portsmouth Planning Board

From: Drew Williams (carpenter) on behalf of homeowners Joe and Jess Denuzzio

Re: Conditional Use Permit application for parking space requirements at 105 Thornton Street

11 January 2021

I wish to present the following application and documentation for a Conditional Use Permit to re-assess the off street parking spaces of the residence at 105 Thornton Street.

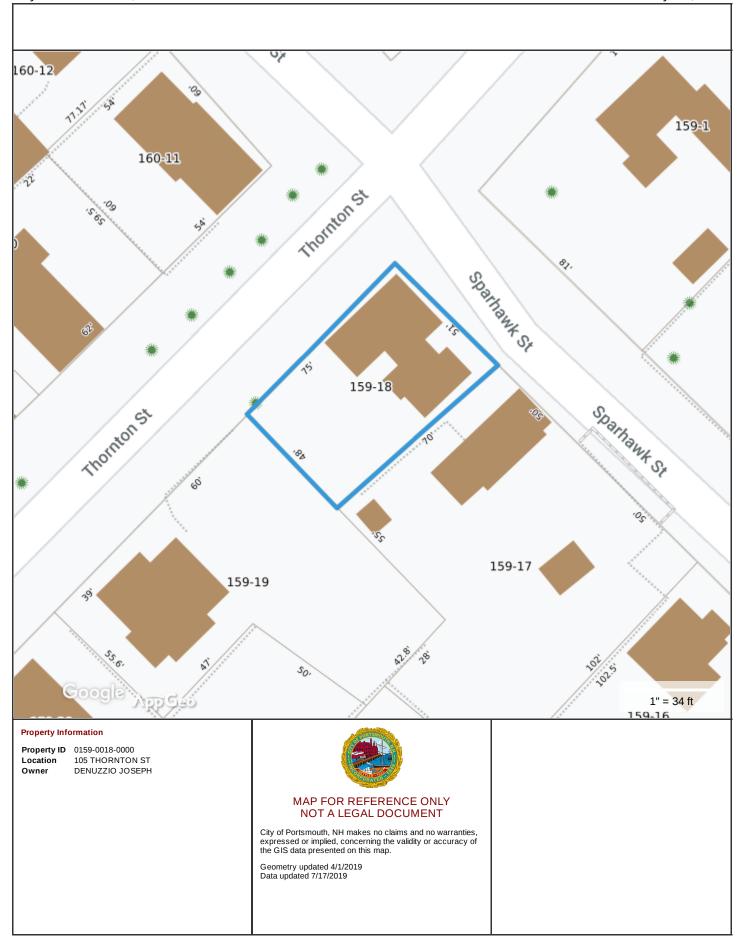
The property is a single family residence with a garage, both built in the 1940's, on the corner of Thornton and Sparhawk St. The garage is currently listed as the required two off street parking spaces for the house, however it is quite small by today's standards for automobile sizes, and has never been used by the homeowners for their cars for this reason. At some point in the past (before my customers owned the house), permission was granted to add a two car wide (24') parking area in front of the garage on Sparhawk Street to create enough room for two off street parking spaces.

The project in the works now is to convert part of the back of the current garage into living space, thus eliminating one of those listed off street parking spots. In this process, the homeowners and I have been informed that those two current driveway parking spaces do not actually conform to the size required by the city. I am seeking a Conditional Use Permit from the Board using Section 10.1112.14 to receive permission and clarification to use the front section of the garage (which will remain untouched by the project) AND the fact that the homeowners have always used the two driveway spaces (although "officially" non-conforming) to show that there will easily be sufficient off street parking on the premises even by converting the back half of the garage.

Also attached is a copy of the mapgeo.com zoning map for the property.

I greatly appreciate the Board's time and attention, Thank you,

Drew Williams



Residence Application for Conditional Use Permit

Planning Department

Shawn Dick 869 Woodbury Avenue Portsmouth, New Hampshire

My Proposal

 I'm looking to build a one bedroom, 676 SQFT, Accessory Dwelling Unit (ADU), on top of my existing attached two car garage to accommodate my elderly father, as the cost of senior living and care has become increasingly expensive and unaffordable.

New Structure

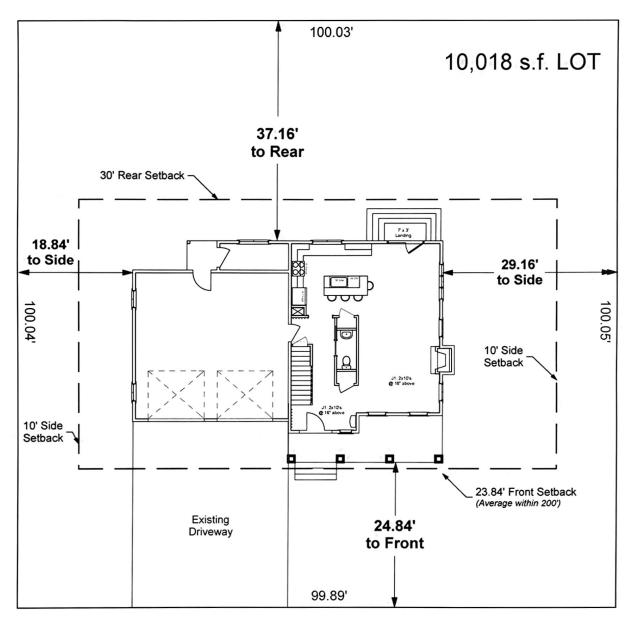
- As indicated, in the attached documents, you will see the new structure will be in line with the current architectural design of my house and will pose no disruption to the neighborhood.
- Per Section 10.814 of the zoning ordinance, I have included all necessary documents required to meet the needs of the city in regards to adding an ADU to my property.

As the current owner of 869 Woodbury Ave I will maintain my residence in the main house while allowing my father to occupy the ADU. Also, you will find my property has more than sufficient, seven spaces, for parking.

Thank you for your time and consideration,

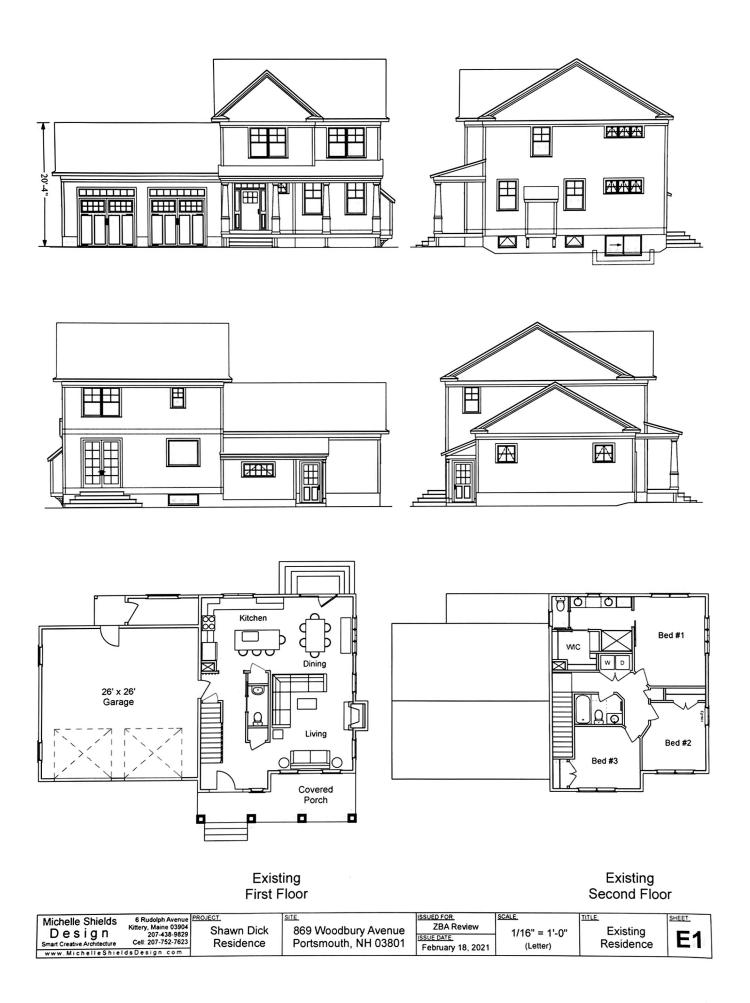
Shawn Dick 869 Woodbury Ave Portsmouth





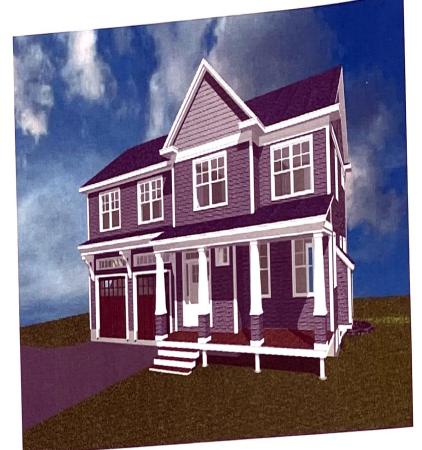
Woodbury Avenue

	Michelle Shields	6 Rudolph Avenue	PROJECT	SITE		SCALE	TITLE	SHEET	1
	Design	Kittery, Maine 03904 207-438-9829	Shawn Dick	869 Woodbury Avenue	ZBA Review	1/16" = 1'-0"	Existing and	04	١
	Smart Creative Architecture	Cell: 207-752-7623	Residence	Portsmouth, NH 03801	ISSUE DATE:	(Letter)	Proposed Site		١
[www.MichelleShiel	dsDesign.com		, , , , , , , , , , , , , , , , , , , ,	February 18, 2021	(Letter)		-	J

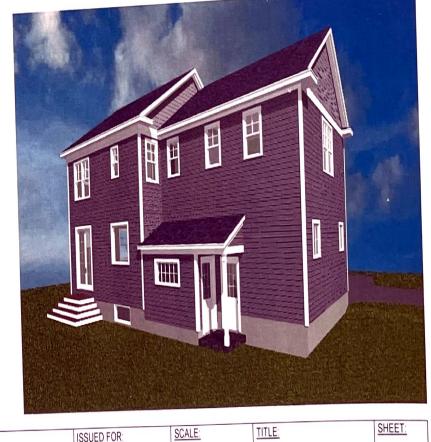












Michelle Shields	Kittery, Maine 0390
Design Smart Creative Architecture	207-438-982 Cell: 207-752-762
www.MichelleShiel	dsDesign.com

6 Rudolph Avenue PROJECT: Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623

Shawn Dick Residence

SITE

869 Woodbury Avenue Portsmouth, NH

ISSUED FOR:

Review DATE:

None (Letter) February 2, 2021

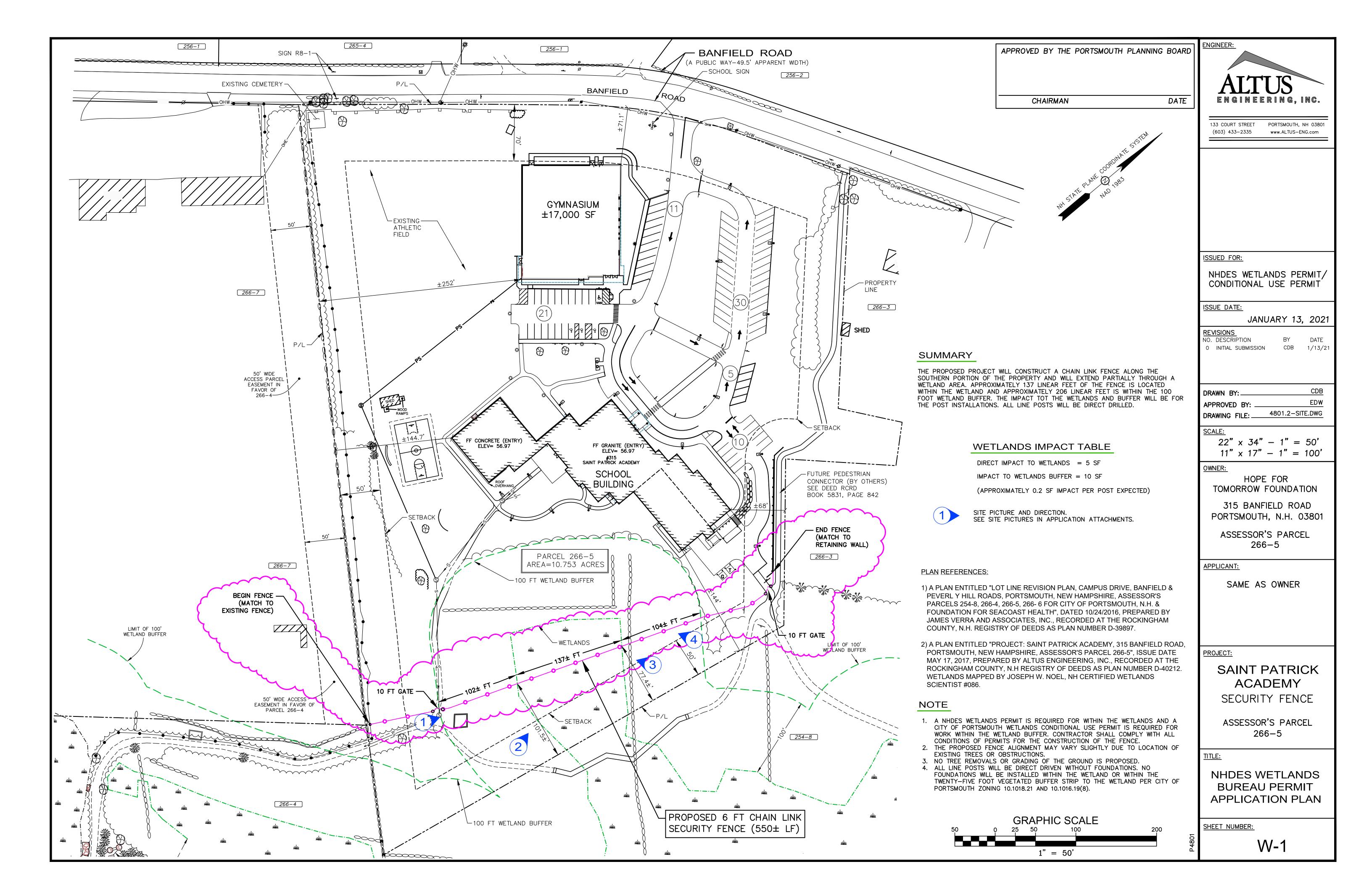
TITLE:

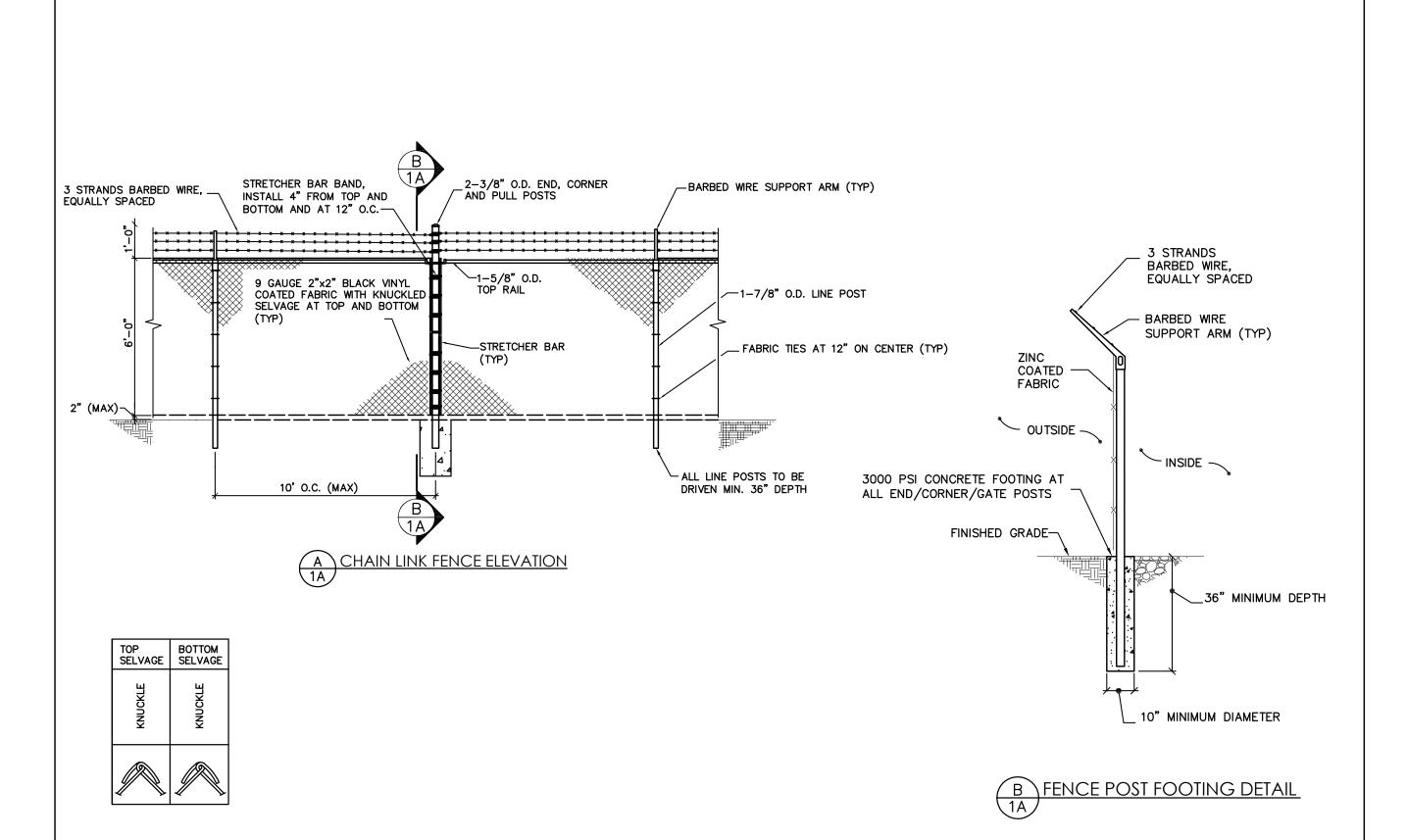
Proposed Renderings SHEET:

B





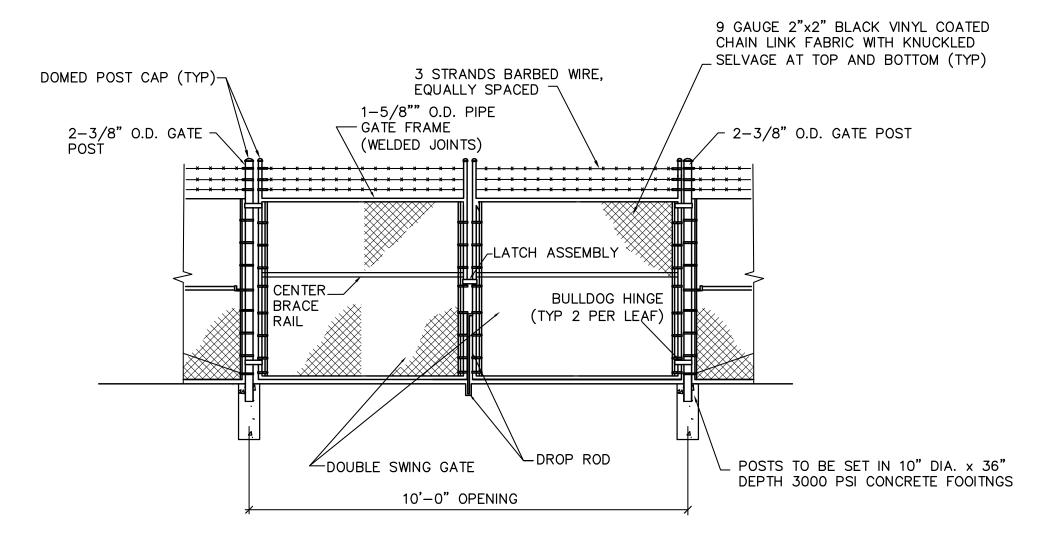




T was
HASCO, Inc. Diversified Construction Services Since 1979

CHASCO, INC. 15 BANFIELD ROAD PORTSMOUTH, NH 03801 OFFICE: (603) 436-2141 FAX: (603) 431-5646

PROJECT: ST. PATRICK ACADEMY — PERIMETER FENCE	BY: MARK STILLMAN	TITLE: CHAIN LINK FENCE	
SITE LOCATION: 315 BANFIELD ROAD, PORTSMOUTH, NH 03801	DATE: 12/10/20		
OWNER/GC:	REV:	DWG SHEET: 1A	
	REV DATE:	SCALE: NOT TO SCALE	



TOP SELVAGE	BOTTOM SELVAGE	
KNUCKLE	KNUCKLE	





CHASCO, INC.
15 BANFIELD ROAD
PORTSMOUTH, NH 03801
OFFICE: (603) 436-2141
FAX: (603) 431-5646

PROJECT: ST. PATRICK ACADEMY — PERIMETER FENCE	BY: MARK STILLMAN	TITLE: CHAIN LINK DOUBLE GATE		
SITE LOCATION: 315 BANFIELD ROAD, PORTSMOUTH, NH 03801	DATE: 12/10/20			
OWNER/GC:	REV:	DWG SHEET: 1B		
	REV DATE:	SCALE: NOT TO SCALE		

Hoefle, Phoenix, Gormley & Roberts, Pllc ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480 Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

February 24, 2021

HAND DELIVERED

Peter M. Smith, Principal Planner Izak Gilbo, Administrative Clerk Portsmouth Planning Board City Hall 1 Junkins Avenue Portsmouth, NH 03801

Re:

Planning Relief

Karona, LLC, Owner/Applicant

36 Artwill Avenue Tax Map 229/Lot 4

SRB Zone

Dear Mr. Stith, Mr. Gilbo & Planning Board Members:

On behalf of Karona, LLC, enclosed please find the following in support of our Conditional Use Permit (CUP) application:

- CUP Application uploaded to LU-2--250
- Authorization from Butch Ricci, member, Karona, LLC.
- 2/24/2021 Memorandum and exhibits in support of CUP. (Original and eleven (11) copies).

Also enclosed is our check in the amount \$200.00 to cover the filing fee.

We look forward to presenting this application to the Planning Board at its March 24,

2021 meeting.

Very truly yours,

R. Timothy Phoenix

Monica F. Kieser

Encl.

cc:

Karona, LLC

Thomas House

James Verra & Associates, Inc.

DANIEL C. HOEFLE

R. TIMOTHY PHOENIX

LAWRENCE B. GORMLEY

STEPHEN H. ROBERTS

R. PETER TAYLOR

JOHN AHLGREN

KIMBERLY J.H. MEMMESHEIMER

KEVIN M. BAUM

GREGORY D. ROBBINS

MONICA F. KIESER

SAMUEL HARKINSON

JACOB J.B. MARVELLEY

DUNCAN A. EDGAR

OF COUNSEL: SAMUEL R. REID On behalf of Karona LLC, owner of property located at 36 Artwill Ave, Portsmouth, NH, the firm of Hoefle Phoenix Gormley and Roberts P.A. is authorized to represent us before any and all City of Portsmouth Boards, Commissions and staff with respect to any permitting required for our development of the property.

Butch Ricci, Member/Manager

MEMORANDUM

TO:

Portsmouth Planning Board

FROM:

R. Timothy Phoenix, Esquire Monica F. Kieser, Esquire

DATE:

February 24, 2021

Re:

Karona, LLC, Owner/Applicant

Project Location: 36 Artwill Avenue

Tax Map 229/Lot 4

SRB Zone

Dear Chairman Legg and Planning Board Members:

On behalf of Karona, LLC ("Karona"), we are pleased to submit this application for Conditional Use Permit ("CUP") to allow a detached accessory dwelling unit ("DADU") located on second floor over the garage in an existing structure, to be considered by the Planning Board at its March 24, 2021 meeting.

I. Exhibits

- 1. 2/16/2021 Portsmouth Zoning Board of Adjustment Approval.
- 2. <u>8/3/17 Site Plans 36 Artwill Avenue issued by James Verra & Associates, Inc.</u>
- 3. Architectural Plan Set, 36 Artwill Avenue issued by THA Architects, LLC.
 - Page A1 Floor Plans
 - Page A2 Elevations
- 4. Site Photographs.
- 5. 1958 recorded RCRD Plan 02637.
- 6. Transfer of Membership Interests & Residency Documentation.
- 7. Tax Map 229.

II. Property History & Project

36 Artwill Avenue is a 26,737 sq. ft. lot on a private street upon which exists a single-family dwelling and a garage with a begun but not completed second floor apartment. (Exhibits 2, 3). The primary dwelling has long existed, with the detached garage erected in 2013 pursuant to a building permit issued to a previous owner for a 32' by 30' accessory structure, issued in error due to the absence of frontage. Construction of the DADU was halted by the inspection department due to prior owner actions. Complete are the garage (Exhibit 4) and interior wall framing for a 750 s.f. second floor apartment without installation of appliances.

Karona purchased the property in 2017, intending to complete the garage and apartment for use as a detached accessory dwelling unit ("DADU") in compliance with the Portsmouth Zoning Ordinance ("PZO") §10.814. Karona received a frontage variance on July 25, 2017 but its subsequent request for a Conditional Use Permit for the DADU was ultimately denied

because a majority of the Planning Board determined that occupancy of the principal dwelling by Erik Vaillant, a 10% owner of Karona, did not meet the ownership requirement of by PZO §10.814.32. The frontage Variance subsequently expired in 2019.

Karona, LLC is now owned 100% by Robert Ricci and his wife Kathleen¹, both of whom reside at 36 Artwill Avenue. Intending to complete the ADU, Karona again received a variance from the frontage requirement on February 16, 2021 (Exhibit 1) and now seeks to continue with the DADU, which has also been reduced in size. Both the change in ownership and the size reduction are material changes compared to the Conditional Use Permit previously denied in 2017. Modification from the Planning Board pursuant to PZO §10.814.70 is requested to DADU standards to accommodate the location of the existing structure that will contain it.

III. Relief Required

After meeting with the City Planning Department staff, it has been determined that a Conditional Use Permit under PZO 10.814 is required:

A. PZO Section 10.814 Accessory Dwelling Units

- 1. 10.814.10 One and only one accessory dwelling unit is allowed on any lot containing a single family dwelling. An accessory dwelling unit shall not be allowed under this Section 10.814 on a lot that contains more than one dwelling unit. Only one unit is proposed.
- 2. 10.814.20 Except as provided elsewhere in this Section 10.814, in order for a lot to be eligible for an accessory dwelling unit, the lot and all proposed structures and additions to existing structures shall conform to all zoning regulations as follows. With the variance obtained and as modified hereunder, this proposal complies.
 - a.) 10.814.21 Any municipal regulation applicable to single-family dwellings shall also apply to the combination of a principal dwelling unit and an accessory dwelling unit including, but not limited to, lot area, yards, open space, off-street parking, building coverage, and building height. Except as noted below for which Planning Board Modification is requested, the proposal complies with these regulations.

¹ Applicant's submission and presentation to the Zoning Board, based on information and belief, was that Robert and Kathleen were the sole members of Karona, LLC. In preparation for this filing, Counsel learned that the documents that effectuated the transfer from Erik Vaillant back to Robert Ricci and subsequently to Kathleen had not been completed. Transfer of Membership Interest have now been executed and are submitted herewith. (Exhibit 6).

- b.) 10.814.22 (Omitted as it is applicable to attached accessory dwelling units only.)
- c.) 10.814.23 A DADU is not an accessory building or structure for the purposes of this Ordinance and therefore shall be governed by the applicable yard dimensions in Section 10.521 for a principal building or structure and not by the side yard and rear yard standards applicable to an accessory building. - The previously approved three-car garage is the last structure on a private dead-end street and was approved at its current location 23.8 ft. to the front lot line. It complies with the side yard and rear yard requirements. As set forth below, a modification is requested from the front yard requirement of PZO 10.814.56.

B. PZO Section 10.814.30-Standards.

- 1. 10.814.31 The principal dwelling unit and the DADU cannot be in separate in ownership - Common ownership exists.
- 2. 10.814.32 Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling as his or her principal place of residence. The owner shall provide documentation demonstrating to satisfaction of the City that one of the units is his or her principal place of residence. - Robert and Kathleen Ricci are the sole members of Karona, LLC and they reside at 36 Artwill. (Exhibit 6).
 - a.) 10.814.321 (Omitted as it is applicable to Trusts.)
- 3. 10.814.33 Neither the principal dwelling nor the accessory dwelling shall be used for any business except a home occupation – No business is intended.
 - 4. 10.814.34 (Omitted as applicable to properties served by septic systems.)

C. PZO Section 10.814.50-80 - DADU standards.

- 1. In a Single Residence or Rural District, a lot with a DADU shall comply with the minimum lot area for the district, but need not comply with the minimum lot area per dwelling unit. – The minimum lot area is 15,000 sq. ft. and the subject lot is 26,737 sq. ft.
- 2. 10.814.52 No more than two bedrooms and no larger than 750 ft. gross floor area unless 2 acres or more. – When Applicant purchased the property, the partially complete DADU was 1,096 s.f. but it has since been reduced to a compliant 750 s.f. one bedroom unit.
- 3. 10.814.53 The DADU shall be clearly subordinate to the principal single-family dwelling in scale, height and appearance.

- a.) 10.814.531 The face area of the DADU that faces the street shall be no more than 40% of the combined visible façade. The three-car garage was previously constructed at an approved size; accordingly, modification is sought pursuant to \$10.814.70.
- b.) 10.814.532 The building height of the DADU shall be less than the building height of the principal single-family dwelling. The structure was previously constructed at a permitted height and size; accordingly, modification is sought pursuant to \$10.814.70.
- c.) 10.814.533 The DADU shall be architecturally consistent with the principal dwelling through the use of similar materials, detailing and other building design elements. This proposal complies with this standard.
- 4. Section 10.814.54 The DADU shall be separated from the single family dwelling by at least 20 ft. The former owner built the structure at approximately 10.2 ft. at its closest point, falling away from the existing dwelling. For the reasons specified above, Karona requests a modification pursuant to §10.814.80.
- 5. 10.814.55 The front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single-family dwelling. A prior owner constructed the three-car garage which is the last structure on a private, dead-end street containing three homes. For this reason, modification is sought pursuant to §10.814.70.
- 6.) 10.814.56 No portion of the DADU shall be located in any required front yard, regardless of the location of the single-family dwelling. Because this three-car garage, the last structure on a private dead-end with just three homes was previously built 23.8 ft. from the front lot line, a modification from this standard is sought pursuant to 10.814.70.

D. PZO Section 10.814.60- Required findings.

- 1. 10.814.61 Exterior design of the DADU is compatible with the existing residence on the lot through architectural use of building forms, scale and construction materials. Photographs are attached. Noting that the building exists, the exterior design is compatible.
- 2. 10.814.62 The Site Plan provides adequate open space and landscaping that is useful for the DADU and primary dwelling. The lot is almost twice the 15,000 sq. ft. minimum requirement. The photographs show a large lawn area.

- 3. 10.814.63 The DADU will maintain a compatible relationship to adjacent property in terms of location and design and will not significantly reduce the privacy of adjacent properties. This lot and the DADU structure are the last structures on a private dead-end street containing three homes. Directly across the street is a small garage, The High School and its athletic fields abut the property. Adjacent properties will not be harmed by the location and design.
- 4. 10.814.64 The DADU will not result in excessive noise, traffic or parking congestion. It is a single DADU on a large lot with off-street parking at the end of a dead-end street next to the high school/playing fields. The single unit will not result in excessive noise, traffic or parking congestion.
- E. <u>PZO Section 10.814.70- A certificate of use must be issued by the Planning Board</u>

 <u>Department to verify compliance with the standards including the owner occupancy</u>

 <u>requirement. Said certificate shall be renewed annually</u> Agreed.
- F. PZO Section 10.814.80- In granting a CUP, the Planning Board may modify a specific dimensional or parking standard provided that the Board find such modification will be consistent with the required findings in section 10.814.60 Given the fact that the garage structure now exists pursuant to a City-issued building permit and is the last structure on a private dead-end street containing a total of with homes, Karona requests a modification pursuant to PZO §10.814.70 from Standards §10.814.54-56 to permit a DADU over an existing garage, located less than twenty feet from the primary dwelling and closer to the front lot line than the principal home, 23.7 ft. from the front lot line.

V. <u>Conclusion</u>

The New Hampshire Accessory Dwelling Unit statute is designed to increase affordable housing opportunities by tapping into under-utilized opportunities in existing single-family homes. The law increases housing stock for single and couples living in ADUs and allows property owners to defray housing expenses, age in place, or provide housing for an elderly parent. The City, through implementation of standards for DADUs has also identified a need to increase housing through utilization of existing structures. This proposal meets that need in the sought-after downtown area. Granting a Conditional Use Permit for a new code-compliant DADU in an existing garage structure fulfills the purposes of the State law and the City's

Ordinance. For all of the reasons stated, Karona respectfully requests that with the requested modifications, all of the requirements for issuance of a Conditional Use Permit are met.

Respectfully submitted,

Karona, LLC

By: R. Timothy Phoenix

Monica F. Kieser

OF PORTSMOUND

CITY OF PORTSMOUTH

Planning Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

(603) 610-7216

ZONING BOARD OF ADJUSTMENT

February 22, 2021

EXHIBIT ____

Karona, LLC 25 Park Avenue Greenland, NH 03840

RE: Board of Adjustment request for property located at 36 Artwill Avenue (LU 20-250)

Dear Property Owner:

The Zoning Board of Adjustment, at its regularly scheduled meeting of **Tuesday, February 16, 2021**, considered your application for conversion of an existing garage into a Detached Accessory Dwelling Unit which requires the following: 1) A Variance from Section 10.521 to allow 0 foot street frontage where 100 feet is required. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District. As a result of said consideration, the Board voted to grant your request as advertised and presented.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Approvals may also be required from other City Commissions or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of two (2) years from the date granted unless an extension is granted in accordance with Section 10.236 of the Zoning Ordinance.

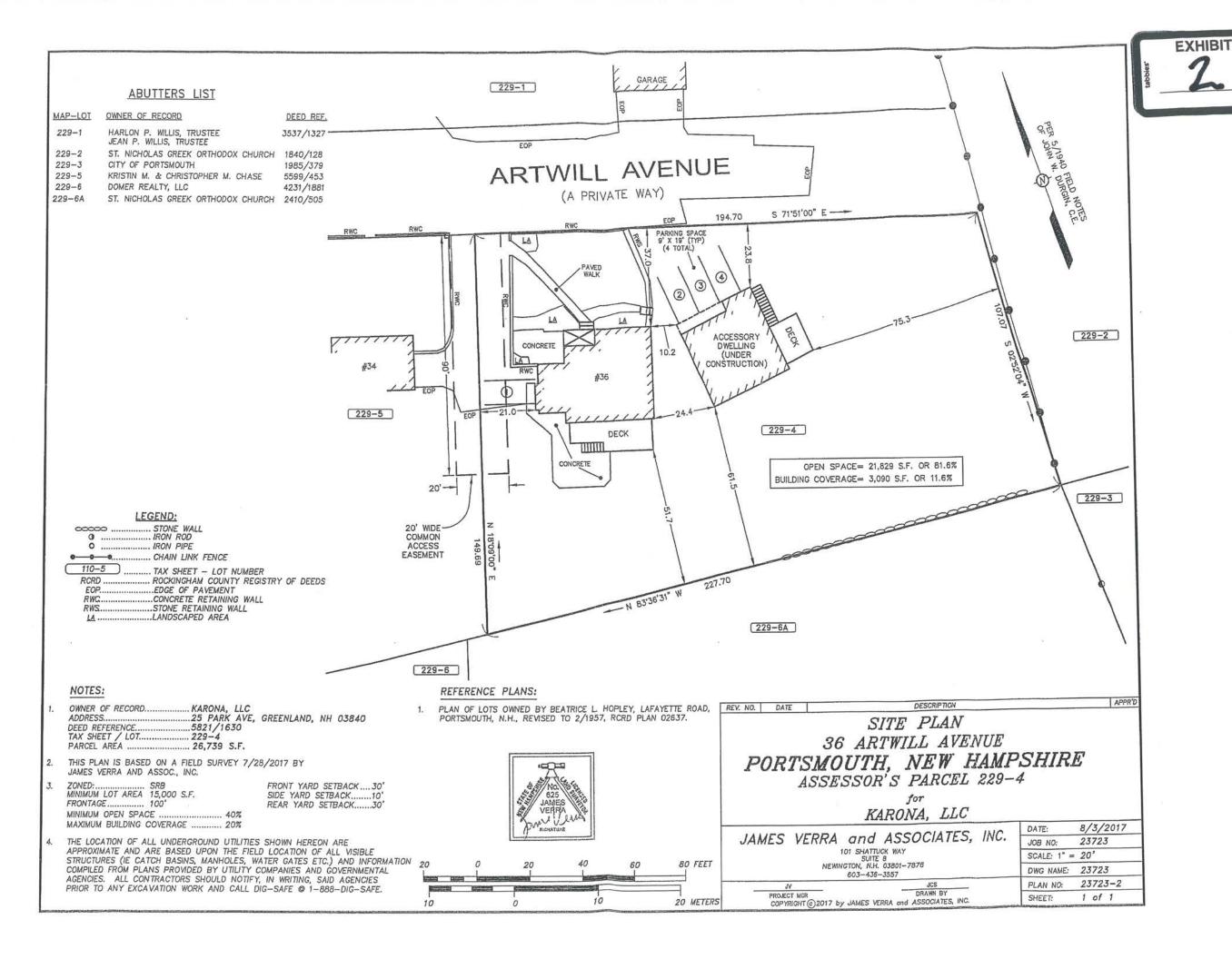
The minutes and audio recording of this meeting are available by contacting the Planning Department.

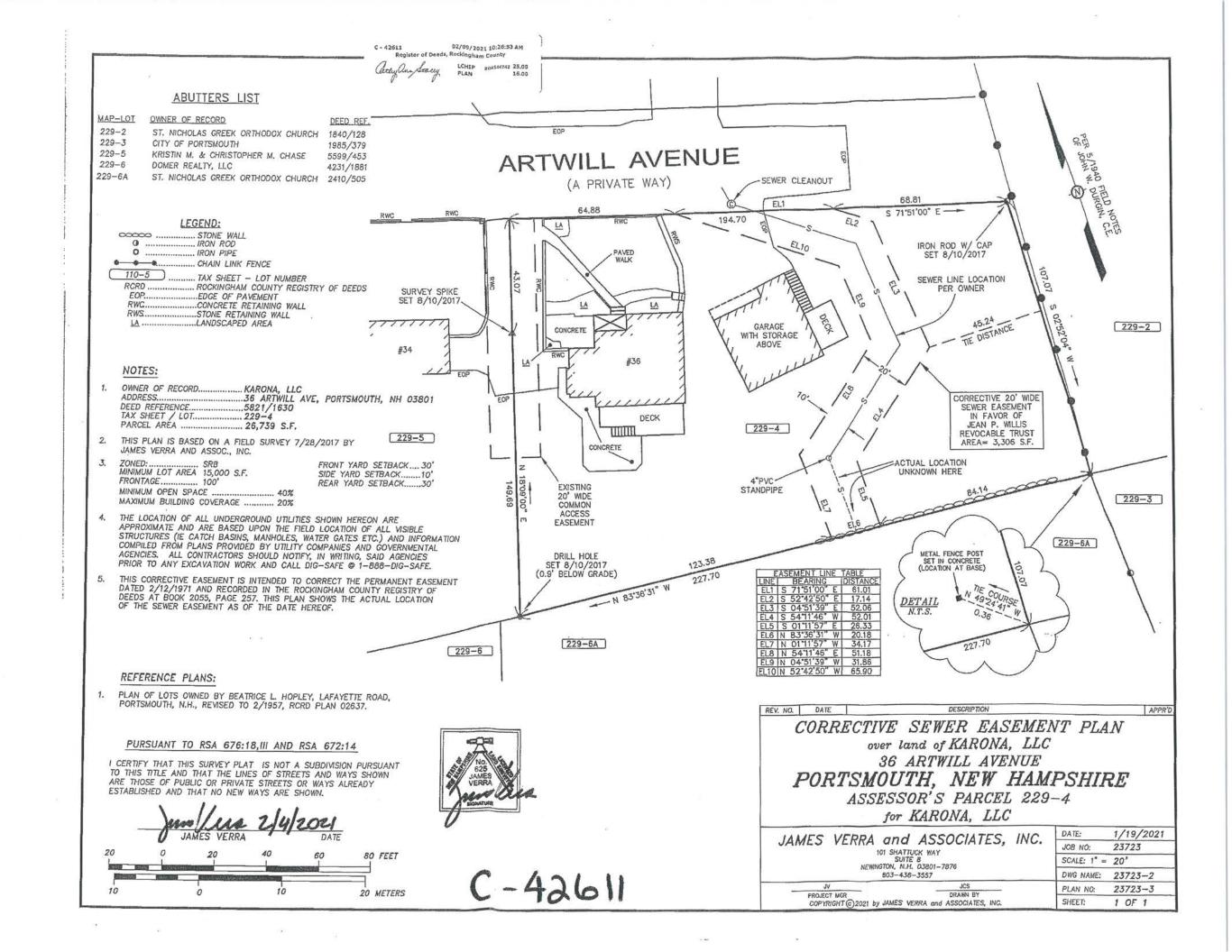
Very truly yours,

David Rheaume, Chairman of the Zoning Board of Adjustment

cc: Robert Marsilia, Chief Building Inspector

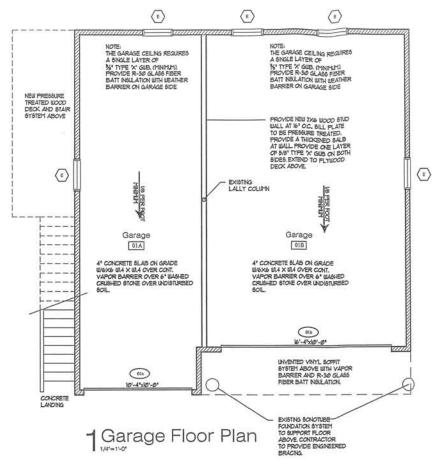
Rosann Maurice-Lentz, City Assessor

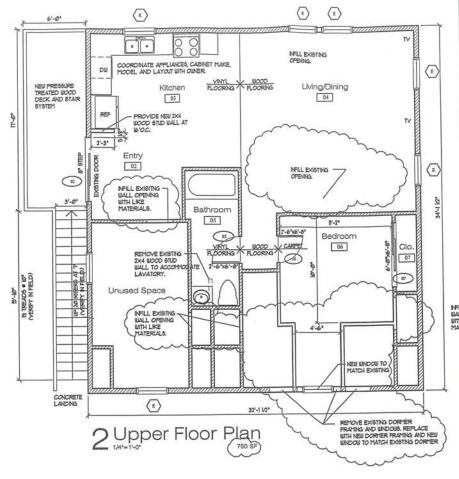




General Notes

- The intent of these drawings is to give the tradesperson enough information to perform a complete job.
 The General Contractor and subcontractors are responsible for providing all labor, materials, and
 equipment to perform the full work in a complete and craftsman like manner. If additional clarification is
 required to describe the scope of work, it is the responsibility of the General Contractor to contact the
 architect or owner prior to submitting bids.
- Should local codes and/or ordinances differ from these plans, a determination shall be made by the general contractor and/or local building official as to which is the most stringent. The most stringent requirement shall rule. Should a change in these plans be necessary or desired which will alter the design the architect of record must verify all changes.
- All interior full height walls are to be 3 1/2" wood studs at 16" o.c. with one layer of 1/2" GWB each side unless otherwise noted. Interior walls shown are existing except as noted.
- 4. All exterior walls are to be 5 ½" wood studs at 16" o.c. with one layer of ½" GWB each side, R-21 glass fiber batt insulation, vapor barrier on inside stud surface and weather resistant barrier on outside face of sheathing surface unless noted otherwise. Exterior walls shown are existing.
- 5. Bathroom walls are to include 3" sound batts.
- 6. If required, all water lines located within exterior walls or adjacent to unheated spaces are to be insulated.
- All exposed finished surfaces, including insulation materials, facings, vapor barriers and breather papers shall have a flame spread of not more than 200 and a smoke density of not more than 450.
- Provide draft stopping in all concealed spaces of walls, at cove, overhangs, soffited ceilings, dropped ceilings and all penetrations of dructs, pipes, conduits, etc. through exterior walls, floor/ceiling assembly and roof/ceiling assembly.
- 9. Provide smoke detectors in sufficient quantities and locations to meet requirements of the Building Code.
- 10. Fire stop all penetrations through fire rated assemblies per a UL listed assembly.
- 11. All plumbing fixtures shall be sealed to adjacent materials with appropriate sealant.
- 12. Blocking installation by contractor to be provided where blocking is required.
- General Contractor to verify and provide for a weather tight building including but not limited to exterior wall system, roof system, flashing and counterflashing.
- 14. Patch all areas which have been disturbed to match existing adjacent construction.
- It is the responsibility of the contractors to familiarize themselves with the site existing condition prior to construction.
- 16. Coordinate the removal of all hazardous material per State and local codes.
- 17. Verify and coordinate power requirements with Owner.
- 18. Provide new lighting as shown. Coordinate with Owner.
- 19. Coordinate plumbing requirements with tenant.
- Provide galvanized flashing, hangers and fasteners when installing the exterior pressure treated wood decking and stair system. Fasteners to be G-185 hot dipped coating.
- 21. Contractor is responsible to field verify all dimensions and conditions and report any and all discrepancies to the Owner and architect.
- 22. Substrate for under slab shall be a minimum of 6" below finished floor and a maximum of 8" below finished floor and shall be free of large rocks and debris.
- 23. Concrete floor to consist of 3000 psi 4" (minimum) concrete slab on grade with polypropylene fibers or galvanized 6x6 w2.9x2.9 welded wire fabric reinforced level slab with flatness equivalent to FF50, or 1/8/" over 10 feet over 15 mil Stego vapor barrier over compacted fill with all penetrations sealed per manufacturer's specifications prior to installation of slab.
- 24. Contractor to provide access panels as required for servicing utilities. Contractor to coordinate locations with Owner.
- 25. Contractor to coordinate with Owner the installation of hose bibbs.
- 26. Contractor to provide shop submittals to Owner for all kitchen appliances/equipment. Shop submittal shall address any and all details, electrical requirements, etc.
- 27. Unless otherwise noted, all dimensions are to face or centerline of the wall studs, not the wall assembly.
- 28, MR gypsum board shall be used throughout bathroom and similar damp locations except where backer board is required.
- 29. Provide R-21 glass fiber batt unfaced insulation at exterior walls. Tape all vapor barrier seams and adhere to wood studs as required. Provide one layer of ½" GWB. Provide expansion joints as recommended by manufacturer.
- 30. Mechanical/plumbing system design is to be provided by Contractor.
- 31. Electrical system, including security, design is to be provided by Contractor.







THA ARCHITECTS, LLC

ARCHITECTURE * DESIGN * PLANNING *INTERIOR DESIGN

105 WILLOW BROOK AVENUE STRATHAM, NEW HAMPSHIRE 03885

Tel: (603) 770-2491 Fax: (603) 773-0238

These drawings and specifications were prepar for use at the location indicated. Publication at use is expressly initiate to the identified location Reuse or reproduction by any method, in whole or in part, is prohibited without the written parmission of THA Architects, LLC.



Ricci Addition

36 Artwill Avenue Portsmouth, NH

Floor Plans Notes

EXHIBIT 3

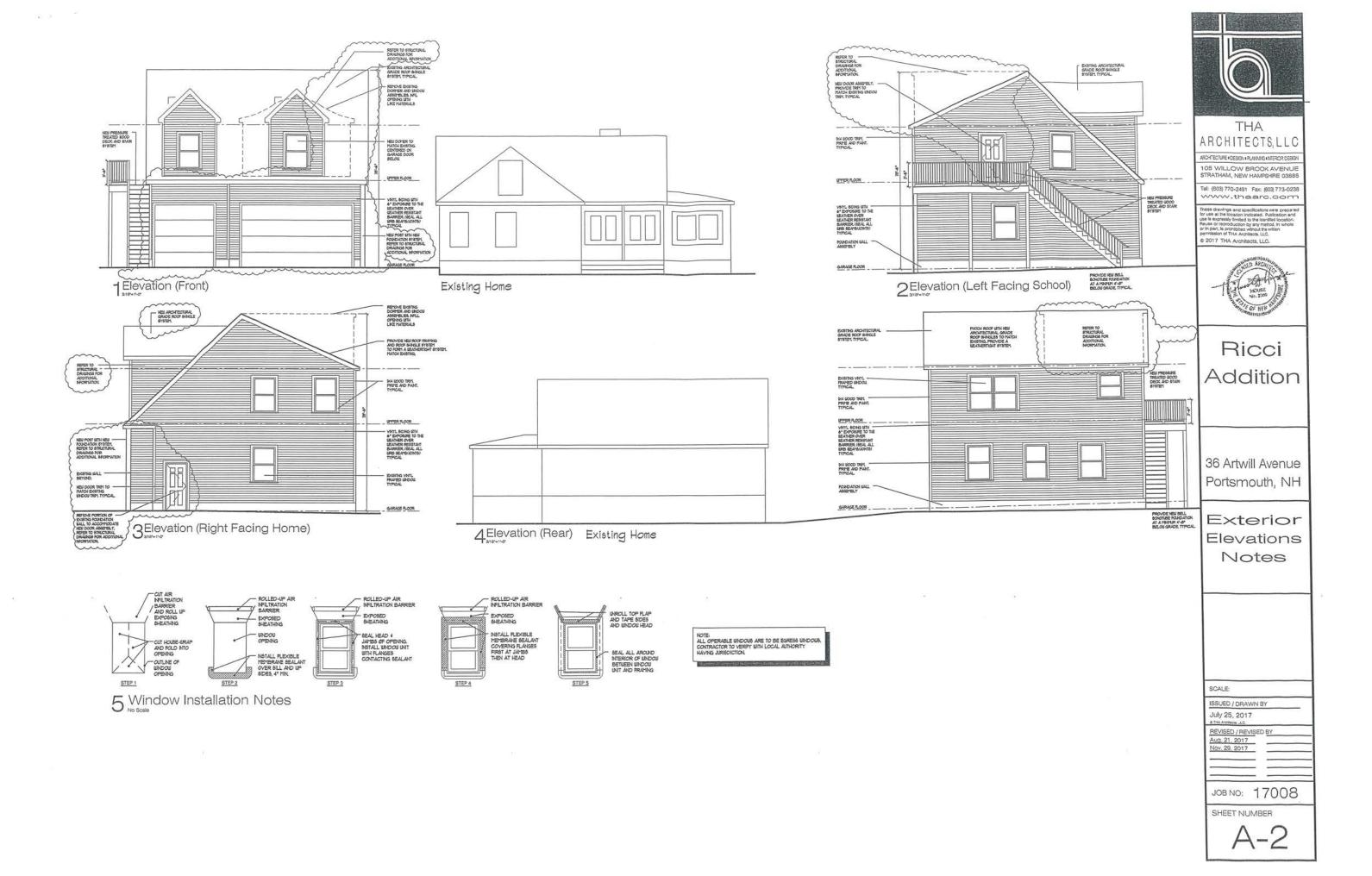
SCALE: ISSUED / DRAWN BY July 25, 2017

REVISED / REVISED BY Aug. 21, 2017

JOB NO: 17008

SHEET NUMBER

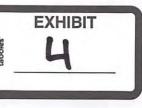
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36 Artwill Ave Google Maps



Imagery ©2021 Google, Imagery ©2021 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2021



36 Artwill Ave



36 Artwill Ave - Google Maps

2/22/2021

Google Maps 36 Artwill Ave



Image capture: Sep 2011 © 2021 Google

Portsmouth, New Hampshire

Scoole Google

Street View



Printed from Internet for on 6/26/2017



TRANSFER OF MEMBERSHIP INTERESTS IN KARONA, LLC

I, Robert A. Ricci, for no consideration effective retroactively to June 1, 2018, do hereby relinquish, convey, and transfer all right, title, and interest in fifty percent (50%) of my membership interest of Karona, LLC to Kathleen B. Ricci, such membership interest being fifty percent (50%) of my membership interest in the Company.

Hereafter the membership interests are as follows:

Robert A. Ricci, Jr. 50%

Kathleen B. Ricci 50%

Dated this 24th day of February 2021

Witness

TRANSFER OF MEMBERSHIP INTERESTS IN KARONA, LLC

I, Erik Valliant, for no consideration effective retroactively to June 1, 2018, do hereby relinquish, convey, and transfer all right, title, and interest in my ten percent (10%) membership interest of Karona, LLC to Robert A. Ricci, Jr., such membership interest being one hundred percent (100%) of my membership interest in the Company.

Hereafter the membership interests are as follows:

Robert A. Ricci, Jr.

100%

Dated this 24th day of February 2021

Larville

By:

Frik Vaillant

Witness

ACCEPTED

Pobert A Dicci K

D.F. RICHARD



Dover, NH 03821-0669 (603) 742-2020 or (800) 649-6457

Address Service Requested

check here for address changes on back

702777 489 01 000086 01 NNNNNN

ATTN: BUTCH RICCI 36 ARTWILL AVE PORTSMOUTH, NH 03801

FART THAOTCE

On Or Before	01/07/2021		
Amount Due	\$37.23		
Invoice Total	\$37.23		
Reference #	12227		
Date	12/08/2020		
Account Number	248155		

D.F. RICHARD ENERGY P.O. BOX 669 DOVER, NH 03821-0669

Keep lower portion for your records. Please return upper portion with your payment for faster processing. FUEL INVOICE



EAET THAN	CHUR
Account Number	248155
Account Name	12/08/2020
Date	12227
Reference #	\$37.23
invoice Total	\$37.23
Amount Due	\$37.25

PLEASE PAY ON OR BEFORE 01/07/2021

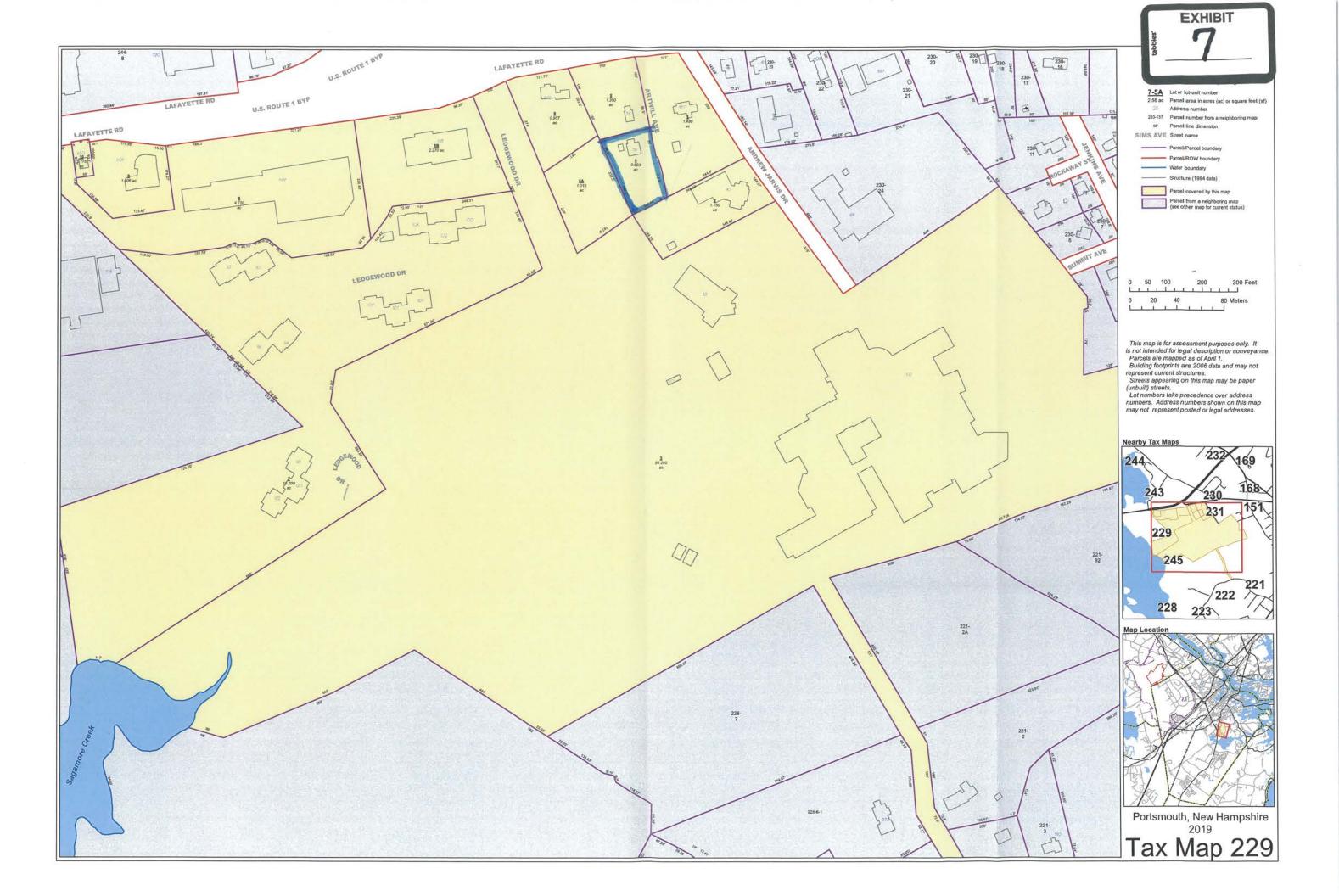
FUEL INVOI	CE	01/07/2021 PRICE	GALLONS	AMOUNT
SUMMARY		DESCRIPTION		\$0.00
DATE	REFII	Previous Balance \$2.1900	17.00	\$37.23
12/08/2020	12227	PROPANE-METERED 164 ROBERTS AVENUE//PORTSMOUTH NH 03801	12227.00	V 14.51
		CURRENT METER READING 12/08/2020 PREVIOUS METER READING 12/01/2020	12221.00	
		CUBIC FEET 1	Invoice	Total \$37.23
Manager of the Control of the Contro			Bi	alance \$37.23

If paid in full within 10 days pay \$36.49

69 04/100

Terms are Net 30 days. Any balance over 30 days is subject to finance charges.

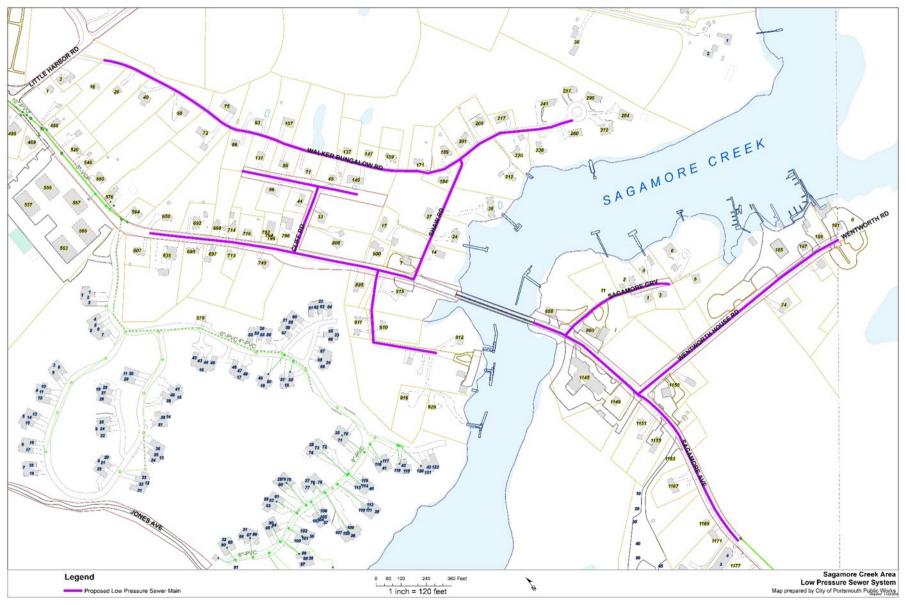




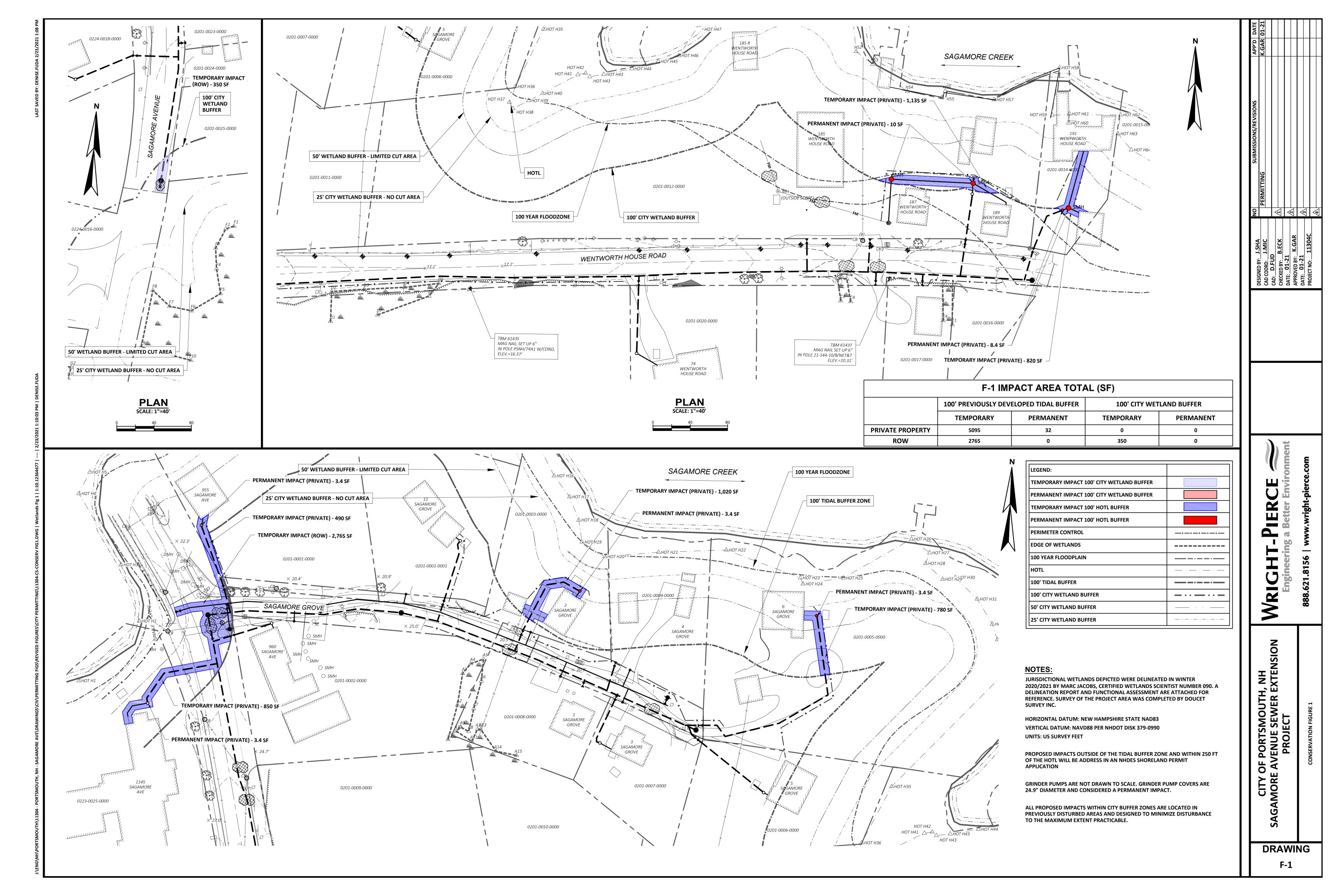
Sagamore Avenue Sewer Extension Project Description

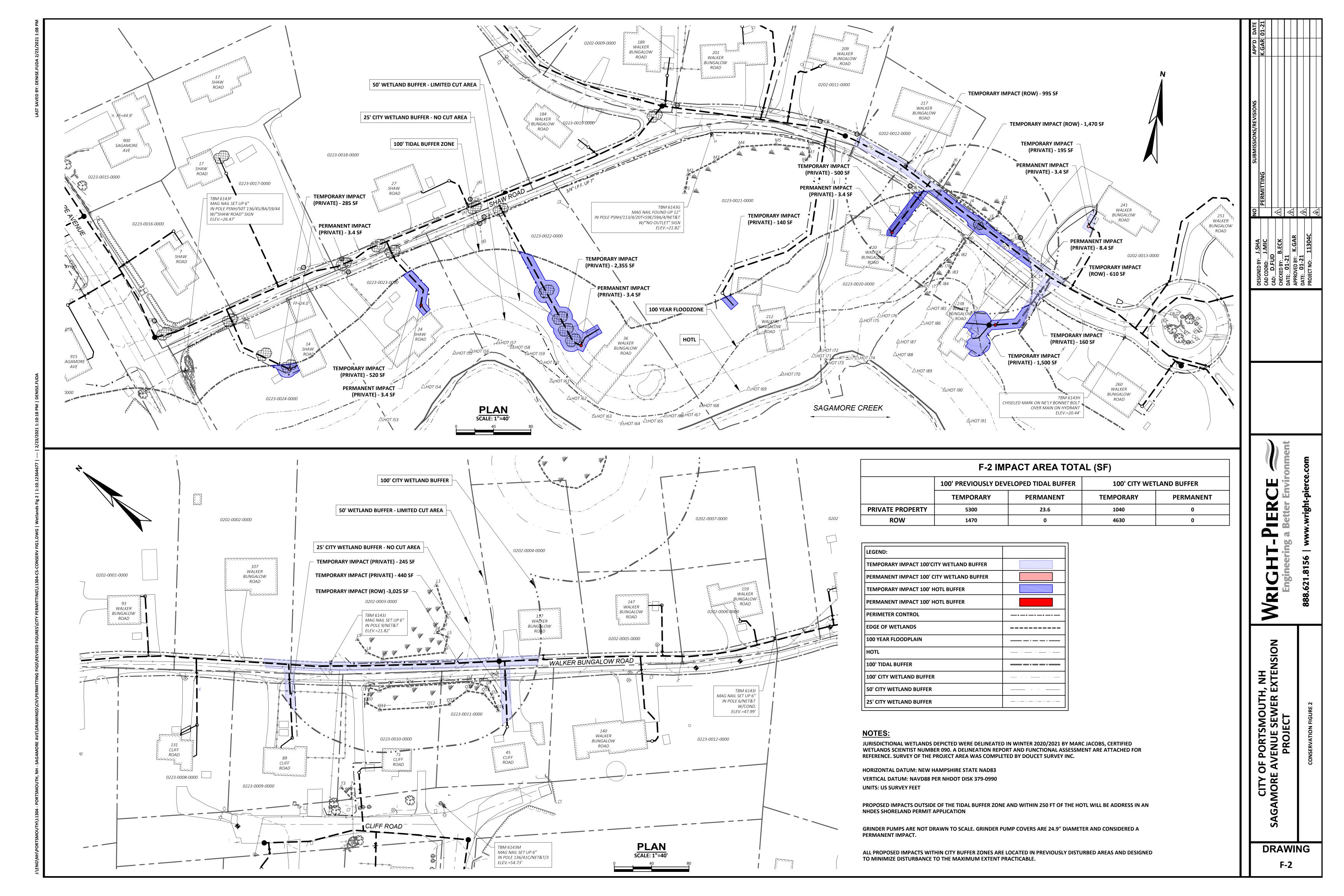
The City of Portsmouth, NH, intends to extend public sewer services to the southern portions of Sagamore Avenue and the surrounding area in accordance with the City's September 2016 Consent Decree modification. The New Hampshire Department of Environmental Services (NHDES) completed a Total Maximum Daily Load (TMDL) study for bacteria of Little Harbor and identified Sagamore Creek (adjacent to the project area) as a potential contributor to impaired water quality in Little Harbor. In 2016, the EPA and NHDES updated a Consent Decree to the City requiring construction of the new sewer extension begin no later than June 2020 and be substantially completed on or before June 30, 2022. The City has requested an extension to these Consent Decree deadlines to June 2021 and December 2022 respectively. To meet the requirements of the Consent Decree, installation of a low-pressure sewer system (LPSS) is recommended due to the shallow ledge located during field inspections. This type of system reduces construction costs by using small diameter pipes that can be installed at shallower depths than conventional sewer system mains. This system requires each property has a grinder pump that discharges the sewerage into the small diameter main located in the roadway.

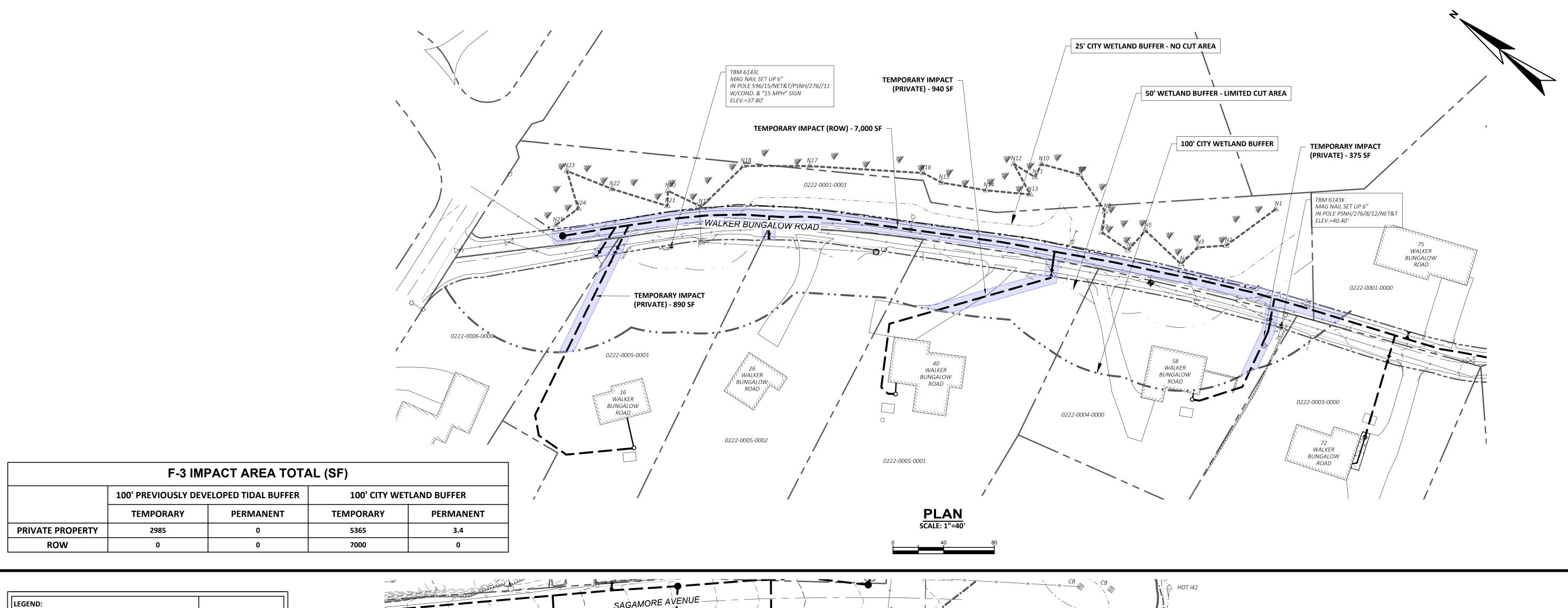
Project Overview



Wetland Buffer Impacts Plan Set







	1
LEGEND:	
TEMPORARY IMPACT 100' CITY WETLAND BUFFER	
PERMANENT IMPACT 100' CITY WETLAND BUFFER	
TEMPORARY IMPACT 100' HOTL BUFFER	
PERMANENT IMPACT 100' HOTL BUFFER	
PERIMETER CONTROL	
EDGE OF WETLANDS	
100 YEAR FLOODPLAIN	
HOTL	
100' TIDAL BUFFER	
100' CITY WETLAND BUFFER	
50' CITY WETLAND BUFFER	· · ·
25' CITY WETLAND BUFFER	

NOTES:

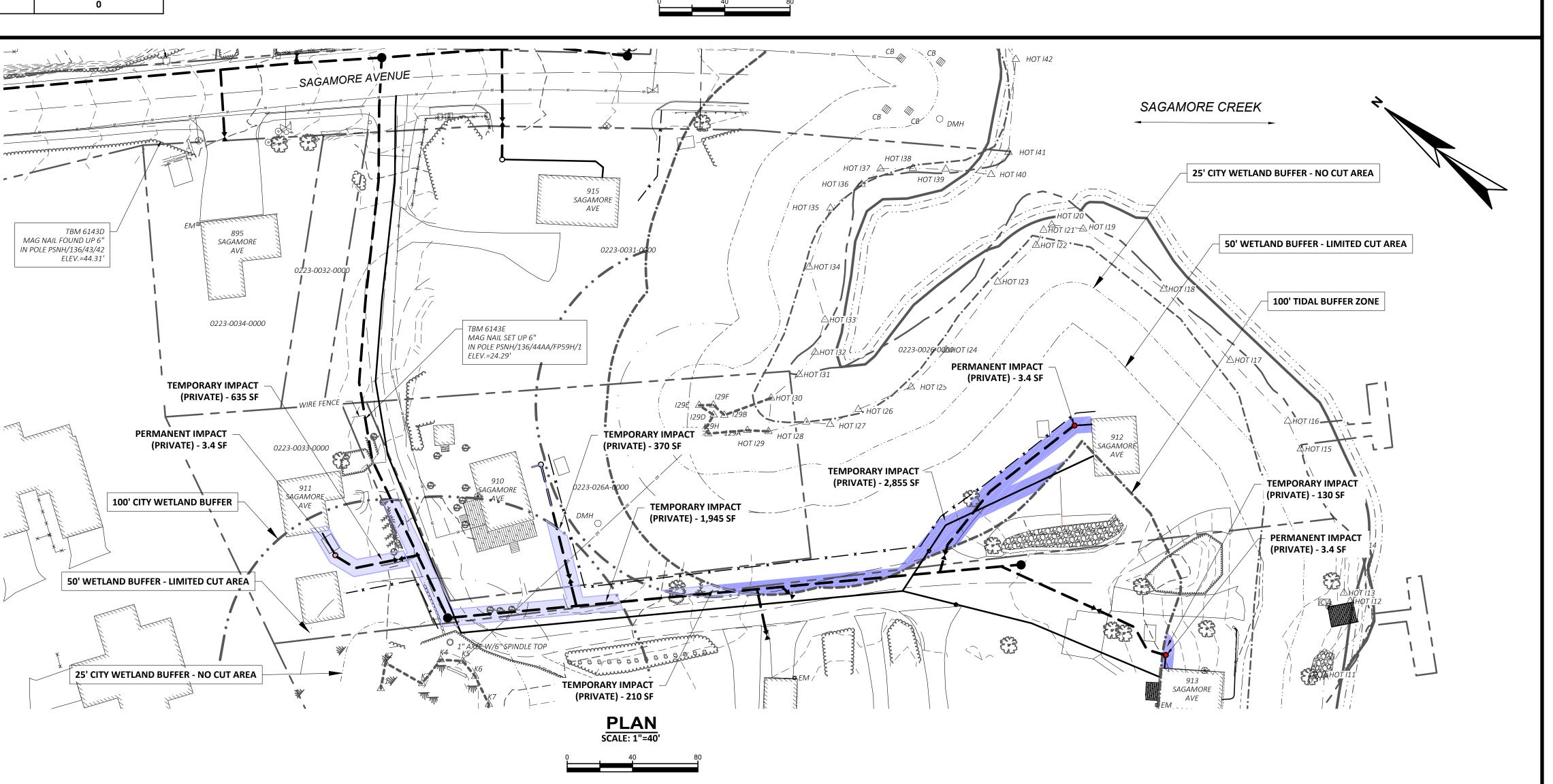
JURISDICTIONAL WETLANDS DEPICTED WERE DELINEATED IN WINTER 2020/2021 BY MARC JACOBS, CERTIFIED WETLANDS SCIENTIST NUMBER 090. A DELINEATION REPORT AND FUNCTIONAL ASSESSMENT ARE ATTACHED FOR REFERENCE. SURVEY OF THE PROJECT AREA WAS COMPLETED BY DOUCET SURVEY INC.

HORIZONTAL DATUM: NEW HAMPSHIRE STATE NAD83 VERTICAL DATUM: NAVD88 PER NHDOT DISK 379-0990 UNITS: US SURVEY FEET

PROPOSED IMPACTS OUTSIDE OF THE TIDAL BUFFER ZONE AND WITHIN 250 FT OF THE HOTL WILL BE ADDRESS IN AN NHDES SHORELAND PERMIT APPLICATION

GRINDER PUMPS ARE NOT DRAWN TO SCALE. GRINDER PUMP COVERS ARE 24.9" DIAMETER AND CONSIDERED A PERMANENT IMPACT.

ALL PROPOSED IMPACTS WITHIN CITY BUFFER ZONES ARE LOCATED IN PREVIOUSLY DISTURBED AREAS AND DESIGNED TO MINIMIZE DISTURBANCE TO THE MAXIMUM EXTENT PRACTICABLE.



DRAWING



P0595-007 March 10, 2021

Mr. Dexter Legg, Chairman City of Portsmouth Planning Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

Re: **Design Review Phase**

Proposed Mixed-Use Development, Raynes Avenue, Portsmouth, NH

Dear Chairman Legg:

On behalf of One Raynes Ave, LLC, 31 Raynes Ave, LLC & 203 Maplewood Ave, LLC (owners), and North Mill Pond Holdings, LLC (applicant), we are pleased to submit the following revised and supplemental information for a Design Review hearing with the Planning Board for the above referenced project originally submitted on December 1, 2020:

- Site Plan Set, last revised March 10, 2021;
- Planning Board Design Review Presentation Slides for March 25, 2021

On December 17, 2020, the proposed project had a Conceptual Consultation with the Planning Board in which the board provided initial feedback on the site design. In addition, the Planning Board voted to hold a Design Review public hearing on January 21, 2021 for the proposed project, which the applicant had requested to postpone until the March 2021 Planning Board meeting. The project also met for a work session with Technical Advisory Committee (TAC) on December 8, 2020 and a work session with Conservation Commission (CC) on December 9, 2020.

The enclosed Site Plans have been revised in response to feedback from the TAC work session, CC work session, and the Planning Board Conceptual Consultation. In addition, we have enclosed a copy of the applicant's Preliminary Design Review Presentation for your review in advance of the Planning Board hearing.

We look forward to meeting with the Planning Board on March 25, 2021. If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at pmcrimmins@tighebond.com.

Sincerely,

TIGHE & BOND, INC.

Patrick M. Crimmins, PE Senior Project Manager

Copy: North Mill Pond Holdings, LLC

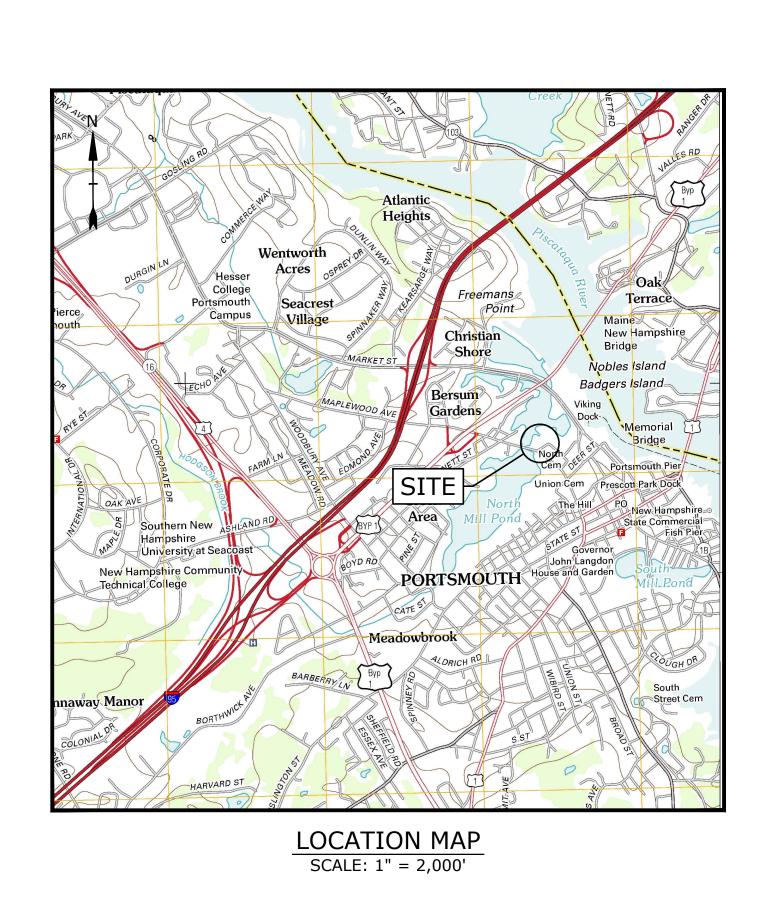
Neil A. Hansen, PE Project Engineer

PROPOSED MIXED USE DEVELOPMENT

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE MARCH 10, 2021

LIST OF DRAWINGS			
SHEET NO.	SHEET TITLE	LAST REVISED	
	COVER SHEET	3/10/2021	
G-100	GENERAL NOTES AND LEGEND	3/10/2021	
1 OF 3	EXISTING CONDITIONS PLAN	6/17/2020	
2 OF 3	EXISTING CONDITIONS PLAN	6/17/2020	
3 OF 3	EXISTING CONDITIONS PLAN	6/17/2020	
C-101	DEMOLITION PLAN	3/10/2021	
C-102	OVERALL SITE PLAN	3/10/2021	
C-102.1	SITE PLAN	3/10/2021	
C-103	GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/10/2021	
C-104	UTILITIES PLAN	3/10/2021	
L-101	SITE LANDSCAPE PLAN	3/10/2021	
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	3/10/2021	
C-502	DETAILS SHEET	3/10/2021	
C-503	DETAILS SHEET	3/10/2021	
C-504	DETAILS SHEET	3/10/2021	
C-505	DETAILS SHEET	3/10/2021	
C-506	DETAILS SHEET	3/10/2021	

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT		
CONDITIONAL USE PERMIT- WETLAND BUFFER		
STATE		
NHDES - ALTERATION OF TERRAIN PERMIT		
NHDES - WETLAND PERMIT		
NHDES - SHORELAND PERMIT		
NHDES - SEWER CONNECTION PERMIT		



PREPARED BY:

PORTSMOUTH, NEW HAMPSHIRE 03801

603-433-8818

OWNERS:

TAX MAP 123, LOT 10 & 13 31 RAYNES LLC C/O PORTSMOUTH CHEVROLET 549 ROUTE 1 BYPASS PORTSMOUTH, NEW HAMPSHIRE 03801

TAX MAP 123, LOT 12 203 MAPLEWOOD AVENUE LLC 549 HIGHWAY 1 BYPASS PORTSMOUTH, NH 03801

TAX MAP 123, LOT 14 ONE RAYNES AVE LLC 1359 HOOKSETT RD HOOKSETT, NEW HAMPSHIRE 03106

DESIGN REVIEW RESUBMISSION SET COMPLETE SET 17 SHEETS

APPLICANT:

1359 HOOKSETT ROAD

NORTH MILL POND HOLDINGS LLC

HOOKSETT, NEW HAMPSHIRE 03106

T & B PROJECT NO: P-0595-007

GENERAL NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 2. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 3. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- 4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST
- 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- 7. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED
- 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION",
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR
- 11. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- 12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

DEMOLITION NOTES:

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- 2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND
- 3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- 4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 5. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY
- 7. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY/TOWN OF STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
- 8. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, 10. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- 11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- 13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
- 14. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- 15. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES
- TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN. 16. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

SITE NOTES:

- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.

ALL LINES AND GRADES.

- 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY
- FOUR (4) INCH WIDE LINES. 6. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO
- CURRENT MUTCD STANDARDS. 7. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE

- 8. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 9. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS
- FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- 10. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW. 11. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM STRUCTURAL ENGINEER AND/OR WALL MANUFACTURER. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTAL BLOCK WALL SYSTEM AS OUTLINED IN THE DETAILS.
- 14. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 15. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- 16. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
- 17. THE PROPOSED LOADING ZONE ON RAYNES AVE SHALL BE REVIEWED BY THE PARKING & TRAFFIC SAFETY COMMITTEE ON AUGUST 1, 2019. ANY ADDITIONAL LOADING ZONES WILL REQUIRE THE APPROVAL OF THE PARKING & TRAFFIC SAFETY COMMITTEE.
- 18. THE VALUE OF A FAIR CONTRIBUTION TOWARDS OFF-SITE PUBLIC IMPROVEMENT PROJECTS SHALL BE AGREED UPON BETWEEN THE APPLICANT AND CITY PRIOR TO PLANNING BOARD
- 19. RAYNES AVE LAYOUT DESIGNED AS PART OF THE CITY OF PORTSMOUTH'S COMPLETE STREETS IMPROVEMENT PROJECT THAT IS BEING DESIGNED BY THE CITY'S CONSULTANT.
- 20. ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.
- 21. THE APPLICANT SHALL PREPARE A CONSTRUCTION MANAGEMENT AND MITIGATION PLAN (CMMP) FOR REVIEW AND APPROVAL BY THE CITY'S LEGAL AND PLANNING DEPARTMENTS.
- 22. A TEMPORARY SUPPORT OF EXCAVATION (SOE) PLAN SHALL BE PREPARED BY THE APPLICANT'S CONTRACTOR TO CONFIRM ANY TEMPORARY ENCUMBRANCES OF THE CITY'S RIGHT-OF-WAY. IF LICENSES ARE REQUIRED FOR THE SOE, THE APPLICANT WILL BE REQUIRED TO OBTAIN THESE FROM THE CITY PRIOR TO CONSTRUCTION.
- 23. THE APPLICANT AGREES TO EXECUTE A PROSPECTIVE DEVELOPMENT INCENTIVE AGREEMENT FOR THE EXCESS COMMUNITY SPACE AREAS PRIOR TO CONSTRUCTION.

GRADING AND DRAINAGE NOTES

- 1. COMPACTION REQUIREMENTS:
- BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIAL AND
- SAND BLANKET BACKFILL
- BELOW LOAM AND SEED AREAS 90%
- * ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR
- 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH
- 4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
- 6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. 7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4'
- STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.

EROSION CONTROL NOTES: 1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
- NATURAL GAS UNITIL
- WATER/SEWER CITY OF PORTSMOUTH
- ELECTRIC EVERSOURCE
- COMMUNICATIONS COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE. . ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM, CONTRACTOR SHALL COORDINATE
- CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT. 4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 9. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 10. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH
- STANDARDS.
- 11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES. 12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE,
- LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES. 13. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED
- WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES. 14. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 16. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 17. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN 19. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF

18. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL

- 20. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 21. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
- 22. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO:

- CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 23. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
- 24. CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.
- 12. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO 25. FINAL LOCATIONS OF ALL UTILITY LINES SHALL BE APPROVED BY THE CITY OF PORTSMOUTH DPW PRIOR TO CONSTRUCTION.

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN
- 2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
- PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
- PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
- 5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING, ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- 9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED
- 10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
- 11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. 12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1
- 13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING
- DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- 14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING
- 15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- 16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
- 17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR
- 18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
- 19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
- 21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

EXISTING CONDITIONS PLAN NOTES:

- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY DOUCET SURVEY INC.
- DURING 8/12. SEE REFERENCE PLAN #1. 2. FLOOD HAZARD ZONE BASED ON REFERENCE PLAN #1.
- 3. HORIZONTAL DATUM BASED ON REFERENCE PLAN #2.

4. VERTICAL DATUM BASED ON REFERENCE PLAN #1.

REFERENCE PLANS:

- 1. ""EXISTING CONDITIONS PLAN OF TAX MAP 123, LOT 10, 12, 13 & 14" PREPARED BY DOUCET
- SURVEY INC., DATED JUNE 17, 2020. 2. "SITE PLAN PLAN FOR 111 MAPLEWOOD AVENUE" PREPARED BY TIGHE & BOND INC., DATED
- MARCH 18, 2019, LAST REVISED NOVEMBER 21, 2019. "EXISTING CONDITIONS PLAN OF TAX MAP 123, LOT 15 & TAX MAP 124, LOTS 10 & 11" PREPARED BY DOUCET SURVEY INC., DATED FEBRUARY 3, 2016.
- 4. "UTILITIES PLAN" AC HOTEL AND COMMUNITY SPACE, PREPARED BY TIGHE & BOND INC., DATED JULY 23, 2018
- "DISPOSITION PLAN PARCEL 3" DATED 6/73 BY ANDERSON-NICHOLS & CO., INC., R.C.R.D. PLAN #D-4019. 6. "PLAN OF LAND, VAUGHAN AND GREEN STREETS, PORTSMOUTH NH" DATED JULY 1955 BY JOHN W.
- DURGIN R.C.R.D. PLAN #02541.

TAX MAP 125 LOT 21" DATED NOVEMBER 27, 2013, REVISED 1/16/15 BY MSC CIVIL ENGINEERS &

- "SEVERINO TRUCKING CO., INC. ELECTRIC DUCT BANK LOCATION PLAN" DATED MARCH 25, 2014. "EXISTING FEATURES PLAN, TAX MAP 118 - LOT 28, TAX MAP 119 - LOT 4, TAX MAP 124 - LOT 12 &
- LAND SURVEYORS, INC. "FIGURE 1 AREA OF INVESTIGATION WITH EMI", 111 MAPLEWOOD AVENUE, DATED JULY 2019,
- PREPARED BY RADAR SOLUTIONS INTERNATIONAL, INC. 10. "VAUGN ST. BNDER ELEVATIONS AS BUILT DRAWING" BY S.U.R. CONSTRUCTION, INC. DATED
- 11. COMPLETE STREETS CONCEPTUAL DESIGN BY SEBAGO TECHNICS. DATED 05/31/2019.

LEGEND

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—PE&C—

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BLDG

TYP

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30'R

VGC

SGC

TC

BC

TW

APPROXIMATE LIMIT OF PROPOSED SAW CUT LIMIT OF WORK PROPOSED SILT SOCK APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED PROPOSED CONSTRUCTION EXIT BUILDING TO BE REMOVED -------LOCATION OF PROPOSED BUILDING <u>'--------</u> PROPERTY LINE PROPOSED CURB PROPOSED BUILDING PROPOSED PAVEMENT SECTION

INLET PROTECTION SILT SACK PROPOSED PROPERTY LINE PROPOSED EDGE OF PAVEMENT

PROPOSED CONCRETE SIDEWALK PROPOSED BRICK SIDEWALK PAVING AND STRIPING AREA

(SEE SITE NOTE #27) PROPOSED BOLLARD PROPOSED MAJOR CONTOUR LINE PROPOSED MINOR CONTOUR LINE PROPOSED DRAIN LINE (TYP) PROPOSED SILT SOCK

INLET PROTECTION SILT SACK

PROPOSED DOUBLE GRATE CATCHBASIN

PROPOSED YARD DRAIN

EXISTING SANITARY SEWER EXISTING UNDERGROUND TELECOMMUNICATION EXISTING WATER EXISTING GAS EXISTING UNDERGROUND ELECTRIC EXISTING OVERHEAD UTILITY

PROPOSED WATER ——PG——PG——PG—— PROPOSED GAS PROPOSED UNDERGROUND ELECTRIC PROPOSED UNDERGROUND

EXISTING HYDRANT

PROPOSED CATCHBASIN PROPOSED DRAIN MANHOLE

PROPOSED WATER VALVE

PROPOSED GAS VALVE

PROPOSED ELECTRIC MANHOLE

PROPOSED HYDRANT

VERIFY IN FIELD (W/ BARK MULCH)

PROPOSED GROUND COVER

PROPOSED EVERGREEN SHRUB TO BE REMOVED

TYPICAL COORDINATE PROPOSED CURB RADIUS PROPOSED VERTICAL GRANITE CURB PROPOSED SLOPED GRANITE CURB TOP OF CURB

BOTTOM OF CURB

BOTTOM OF WALL

TOP OF WALL

PROPOSED CATCHBASIN

PROPOSED DRAIN MANHOLE

EXISTING STORM DRAIN EXISTING SANITARY SEWER TO BE REMOVED

PROPOSED SANITARY SEWER ——ss———ss——

TELECOMMUNICATION PROPOSED UNDERGROUND COMBINED **ELECTRIC & TELECOMMUNICATION**

EXISTING CATCHBASIN EXISTING DRAIN MANHOLE

EXISTING SEWER MANHOLE

EXISTING WATER VALVE EXISTING ELECTRIC MANHOLE

EXISTING TELEPHONE MANHOLE

PROPOSED SEWER MANHOLE

PROPOSED LIGHT POLE BASE PROPOSED DECIDUOUS TREE PROPOSED DECICUOUS TREE (W/O BARK MULCH) PROPOSED SHRUBS (W/ BARK MULCH) PROPOSED SHRUBS (W/O BARK MULCH)

PROPOSED EVERGREEN TREE

BUILDING

Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

B 3/10/2021 Design Review Resubmiss

A 12/1/2020 TAC Work Session MARK DATE DESCRIPTION PROJECT NO: P-0595-00 December 22, 202 P-0595-007-C-DSGN.DW0 DRAWN BY:

CHECKED BY:

PPROVED BY: GENERAL NOTES AND LEGEND

NAH/PMC

AS SHOWN

G-100

NOTES: 1. REFERENCE:

TAX MAP 123, LOT 10 TAX MAP 123. LOT 12 TAX MAP 123, LOT 13 TAX MAP 123, LOT 14 RAYNES AVENUE & MAPLEWOOD AVENUE PORTSMOUTH, NEW HAMPSHIRE D.S. PROJECT NO. 6082

TOTAL PARCEL AREA: 71,149 SQ. FT. OR 1.633 AC. (COMBINED LOTS 10, 12 & 13) 39,459 SQ. FT. OR 0.906 AC. (LOT 14)

OWNER OF RECORD:

TAX MAP 123, LOTS 10 & 13 31 RAYNES LLC C/O PORTSMOUTH CHEVROLET 549 ROUTE 1 BYPASS PORTSMOUTH, NH 03801 R.C.R.D. BOOK 4676, PAGE 654

203 MAPLEWOOD AVENUE LLC C/O PORTSMOUTH CHEVROLET 549 ROUTE 1 BYPASS PORTSMOUTH, NH 03801 R.C.R.D. BOOK 5621, PAGE 420

TAX MAP 123, LOT 14 ONE RAYNES AVENUE LLC 1359 HOOKSETT ROAD HOOKSETT, NH 03106 R.C.R.D. BOOK 6088, PAGE 1268

R.C.R.D. BOOK 4676, PAGE 657

OVERLAY DISTRICTS
-DOWNTOWN OVERLAY DISTRICT 4. ZONE: CD4 -HISTORIC DISTRCIT

5. ZONING DISTRICTS BASED ON THE CITY OF PORTSMOUTH ZONING MAP DATED 11/12/15 AS AVAILABLE ON THE CITY WEBSITE ON 11/18/19. SEE CITY OF PORTSMOUTH ZONING ORDINANCE ARTICLE 5A. SECTION 10.5A40 FOR DIMÉNSIONAL REGULATIONS. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.

THE SITE IS SUBJECT TO THE STATE OF NH SHORELAND WATER QUALITY PROTECTION ACT. SEE NHDES WEBSITE FOR SPECIFIC DIMENSIONAL REQUIREMENT.

6. FIELD SURVEY PERFORMED BY D.C.B. & K.J.L. DURING NOVEMBER 2019 & BY G.M.E. & J.P.E. DURING JUNE 2020 USING A TRIMBLE S7 TOTAL STATION AND A TRIMBLE R8 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A TRIMBLE DINI DIGITAL LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.

FIELD SURVEY PERFORMED BY M.J.C. ON OCTOBER 2019 USING A LEICA HDS SCANNER. REGISTRATION ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.

- 7. JURISDICTIONAL WETLANDS DELINEATED BY TIGHE & BOND, DURING OCTOBER 2019 IN ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL. TECHNICAL REPORT Y-87-1 AND THE INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH CENTRAL AND NORTHEAST REGION (OCTOBER, 2009).
- 8. VERTICAL DATUM IS BASED ON NGVD29 PER DISK B2 1923.
- 9. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- 10. PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 2' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY, INC. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
- 11. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
- 12. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
- 13. WATER BOUNDARIES ARE DYNAMIC IN NATURE AND ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION.
- 14. MEAN HIGH WATER (EL. 3.0' NGVD1929) AND HIGHEST OBSERVABLE TIDE (EL. 4.3' NGVD1929) ELEVATIONS PER "MAPLEWOOD AVENUE CULVERT REPLACEMENT AND NORTH MILL POND RESTORATION, WATERFRONT/STRUCTURAL BASIS OF DESIGN, BY WATERFRONT ENGINEERS, LLC. DATED DECEMBER 30, 2009", PROVIDED BY TIGHE & BOND ON 11-30-15.
- 15. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- 16. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLET UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF GREEN STREET AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE CITY OF PORTSMOUTH CITY HALL, THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS & THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

EDGE OF RIGHT OF WAY BASED ON HOLDING 52 FOOT WIDE RIGHT OF WAY ALONG RAYNES AVENUE PER REFERENCE PLANS #10 & #11. THE GEOMETRY FROM REFERENCE PLAN #11 WAS THEN ALIGNED TO THE REBAR SHOWN ON THE NORTHERLY SIDE OF MAPLEWOOD AVENUE.

- 17. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL. WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
- 18. TAX MAP 123, LOTS 10, 12, 13 & 14 IS/ARE EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
- A) 12' WIDE RIGHT OF WAY, SEE R.C.R.D. BOOK 4676, PAGE 657 AND REFERENCE PLAN #11.
- B) RIGHT OF WAY, SEE R.C.R.D. BOOK 4676, PAGE 657 & BOOK 5621, PAGE 420.
- C) SEWER RIGHTS. SEE R.C.R.D. BOOK 4676, PAGE 657 (LOCATION UNKNOWN).
- D) 15' WIDE WALKWAY & LANDSCAPE EASEMENT. SEE R.C.R.D. BOOK 4676. PAGE 657. E) ELECTRIC EASEMENT, SEE R.C.R.D. BOOK 3205, PAGE 1449.
- F) TAX MAP 123, LOT 14 IS SUBJECT TO LEASEHOLD RIGHTS AS LISTED IN R.C.R.D. BOOK 6088,

- 1. "STANDARD BOUNDARY SURVEY, TAX MAP 123 LOT 15 & TAX MAP 124 LOT 10" DATED JULY 2008, REVISED 4/25/13 BY AMBIT ENGINEERING, INC. R.C.R.D. PLAN #D-37722.
- 2. "PROPERTY STAKEOUT SKETCH, PORTSMOUTH PROPERTY TRUST, PE SPAULDING REVOCABLE TRUST", BY AMBIT ENGINEERING, INC., DATED JANUARY 30, 2007, NOT RECORDED.
- 3. "VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10 PORTSMOUTH, NH, CONDEMNATION MAP", BY ANDERSON-NICHOLS & CO., INC., DATED FEBRUARY 1971, R.C.R.D. PLAN D-2425.
- 4. "STANDARD BOUNDARY SURVEY, TAX MAP 123, LOTS 10 & 13 FOR RAYNES, LLC", BY AMBIT ENGINEERING,
- 5. "EASEMENT PLAN, EGRESS EASEMENT TO 319 VAUGHAN STREET CENTER, LLC, TAX MAP 124, LOT 9 & TAX MAP 123, LOT 15, PROPERTY OF 299 VAUGHAN STREET, LLC C/O CATHARTES PRIVATE INVESTMENTS", BY AMBIT ENGINEERING, INC., DATED MARCH 2014, R.C.R.D. PLAN #D-38358.
- 6. "EASEMENT PLAN SIDEWALK EASEMENT TO CITY OF PORTSMOUTH, TAX MAP 124, LOT 9 PROPERTY OF 319 VAUGHAN STREET CENTER, LLC", BY AMBIT ENGINEERING, INC., DATED FEBRUARY 2014, R.C.R.D. PLAN
- 7. "PLAN OF LAND PORTSMOUTH, NH FOR WILLIAM A. HYDER", BY JOHN W. DURGIN, DATED JUNE 1955, ON FILE AT JAMES VERRA & ASSOCIATES.
- 8. "STANDARD PROPERTY SURVEY FOR PROPERTY AT 111 MAPLEWOOD AVENUE", BY EASTERLY SURVEYING, INC., DATED 1/31/06, R.C.R.D. PLAN #D-33786.
- 9. "VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10 PORTSMOUTH, NH, DISPOSITION PLAN PARCEL 3", BY ANDERSON-NICHOLS & CO., INC., DATED JUNE 1973, R.C.R.D. PLAN D-4019.
- 10. "VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10 PORTSMOUTH, NH, DISPOSITION MAP", BY ANDERSON-NICHOLS & CO., INC., DATED NOVEMBER 1969, R.C.R.D. PLAN D-2408
- 11. "LAND OF HEIRS OF JOHN AUGUST HETT", BY JOHN W. DURGIN, DATED APRIL 1938, ON FILE AT JAMES
- 12. "LAND IN PORTSMOUTH, NH OWNED BY ARMOUR & CO.", BY JOHN W. DURGIN DATED OCTOBER 1938, ON FILE AT JAMES VERRA AND ASSOCIATES.
- 13. "LAND ON VAUGHAN STREET PORTSMOUTH, NH ESTATE OF CARRIE HAM TO LAWRENCE V. REGAN", BY JOHN W. DURGIN, DATED AUGUST 1937, ON FILE AT JAMES VERRA AND ASSOCIATES.
- 14. "SKETCH TO RALPH SPINNEY", DATED APRIL 23, 1936, ON FILE AT JAMES VERRA AND ASSOCAIATES.
- 15. "PLOT PLAN OF LAND PORTSMOUTH, NH FOR JOHN R. AND WINNFIELD R. WELCH", BY JOHN W. DURGIN., DATED APRIL 1973, ON FILE AT JAMES VERRA AND ASSOCIATES.
- 16. "PLAN OF PROPERTY IN PORTSMOUTH, NH OWNED BY R.I. SUGDEN", BY WM A. GROVER, DATED APRIL 15, 1919, ON FILE AT JAMES VERRA AND ASSOCIATES.
- 17. "PLAN OF LAND PORTSMOUTH, NH FOR WILLIAM A. HYDER", BY JOHN W. DURGIN, DATED JUNE 1955, ON FILE
- AT JAMES VERRA AND ASSOCIATES. 18. "PROPERTY OF ELDRED V. AND BARBARA J. STRAW", BY C.RE. LAWSON, DATED JUNE 1971, R.C.R.D. PLAN
- C-3277. 19. "SUBDIVISION PLAN OF TAX MAP 123, LOT 15 FOR 299 VAUGHAN STREET, LLC", BY DOUCET SURVEY, INC.,

DATED MAY 19, 2017, R.C.R.D. PLAN D-40759.

20. "LICENSE, EASEMENT & LAND TRANSFER PLAN FOR 299 VAUGHAN STREET, LLC & VAUGHAN STREET HOTEL, LLC", BY DOUCET SURVEY INC., DATED AUGUST 2017, R.C.R.D. PLAN D-40760.

<u>LEGEND</u>

—— — — APPROXIMATE ABUTTERS LOT LINE
O O CHAIN LINK FENCE
G GAS LINE
E UNDERGROUND ELECTRIC LINE
— — — 98 — — — MINOR CONTOUR LINE
OHWOVERHEAD WIRE
. TREE LINE
SHRUB LINE
The state of the s
· · · EDGE OF WETLAND AREA (SEE NOTE #7)

ADDDOVIMATE ADJUTTEDS LOT LINE

CONCRETE RIP RAP

	LANDSCAPED AREA
• • • • • • • • • • • • • • • • • • •	UTILITY POLE & GUY WIRE LIGHT POLE W/ARM SIGN BOUND FOUND
• •	IRON PIPE/ROD FOUND POST FIRE HYDRANT
	WATER GATE VALVE WATER SHUTOFF VALVE GAS GATE VALVE PAD MOUNTED TRANSFORMER AIR CONDITIONING UNIT CATCH BASIN DRAIN MANHOLE MANHOLE ELECTRIC MANHOLE SEWER MANHOLE
HH	HAND HOLE
ZWZ	CONIFEROUS TREE
$\dot{\Xi}$	DECIDUOUS TREE
ф Ф	MONITORING WELL LOCATION
×100.0 BND. FND. CONC. EP VGC	ROCK/BOULDER SPOT GRADE BOUND FOUND CONCRETE EDGE OF PAVEMENT VERTICAL GRANITE CURB
VCC SWL	VERTICAL CONCRETE CURB SINGLE WHITE LINE
EM	ELECTRIC METER
GM PM	GAS METER PARKING METER
I IVI	I ANNING WILLILIN

5/8" REBAR W/ID CAP TO BE SET

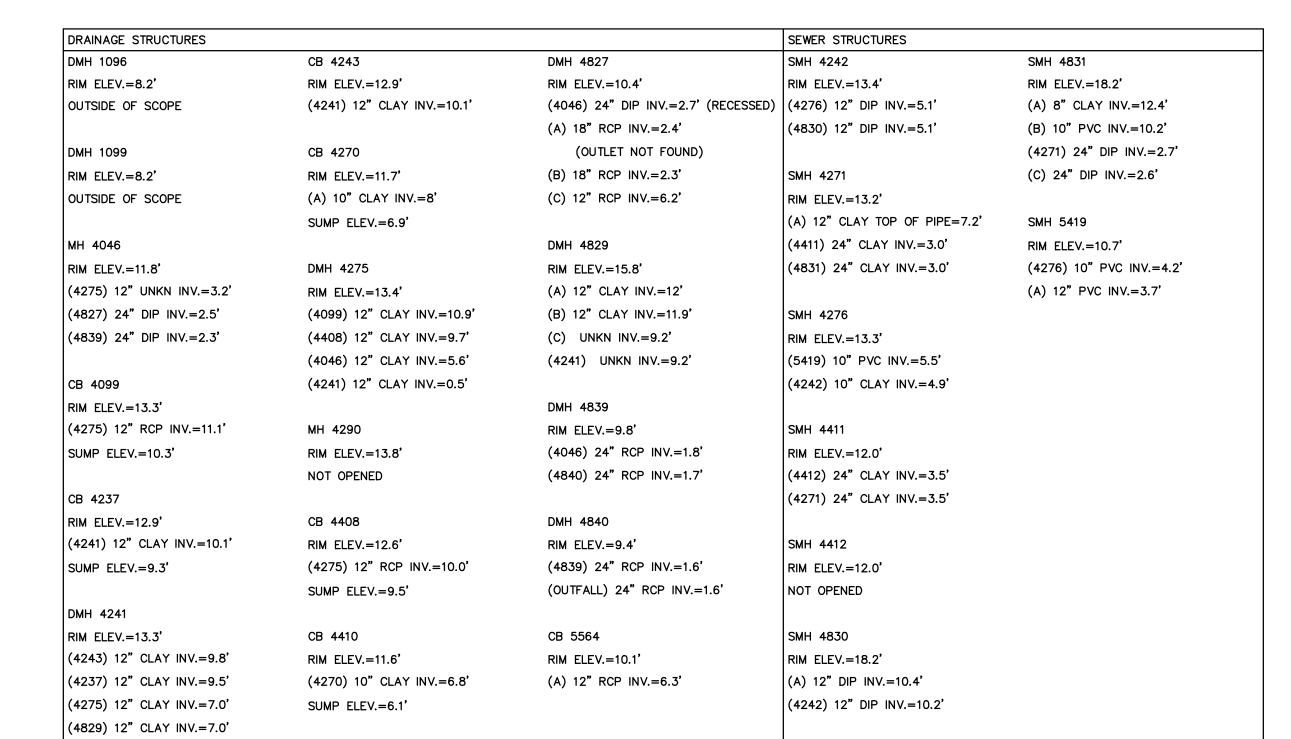
		PORTSMOUTH PI	
	/	SS. AVE JER	
	LA TONOCO		τ. \ \
WOETH)			
	HANOVER ST.		
	John Pond	RA	RAYNES AVE TO VAUGHAN S

LOCATION MAP (n.t.s.)

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE (NHRSA TITLE LXIV) AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

L.L.S.	#989

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.





EXISTING CONDITIONS PLAN

FOR TIGHE & BOND LAND OF 31 RAYNES LLC (TAX MAP 123, LOTS 10 & 13) 203 MAPLEWOOD AVENUE LLC (TAX MAP 123, LOT 12)

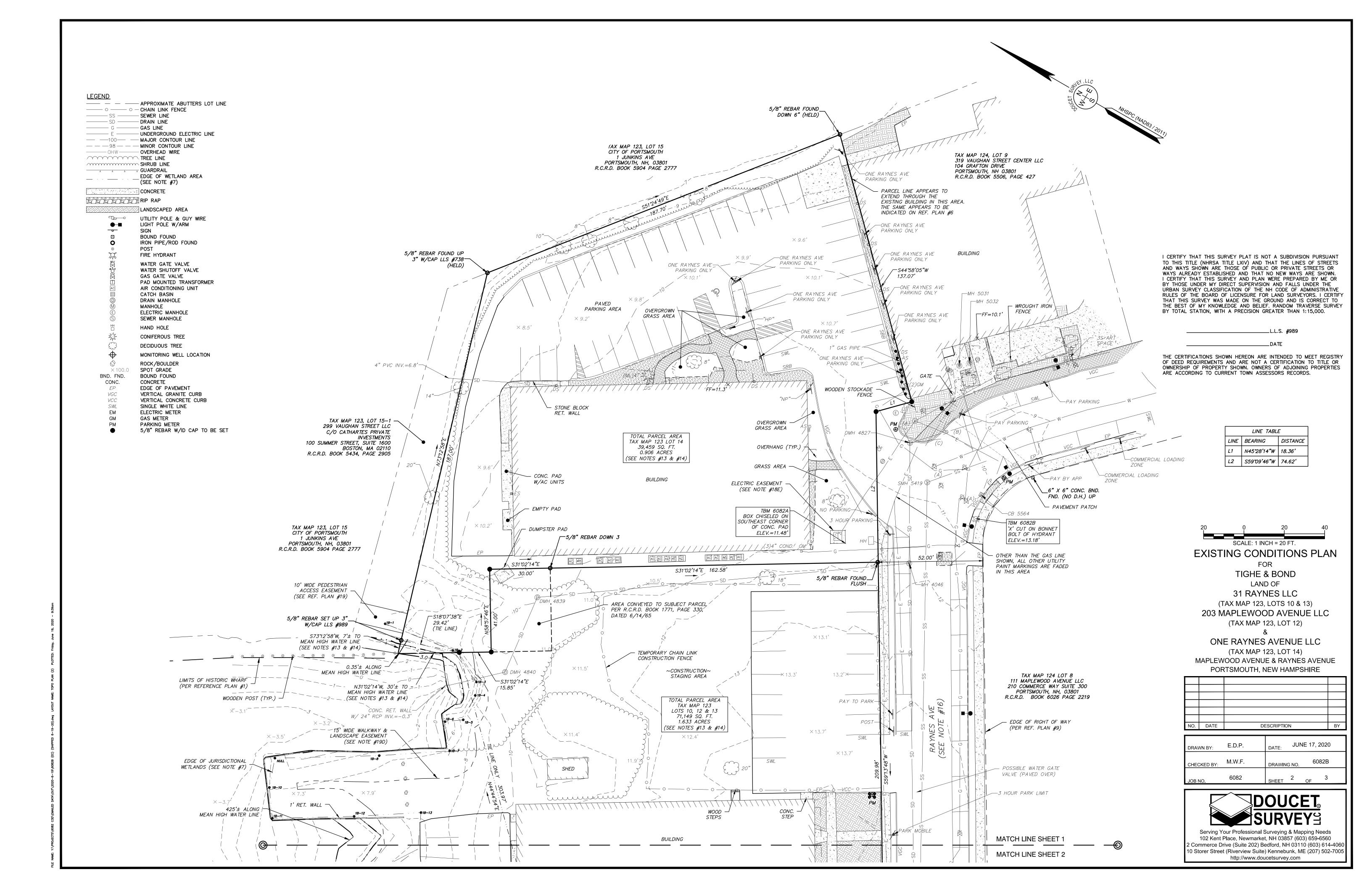
ONE RAYNES AVENUE LLC (TAX MAP 123, LOT 14) MAPLEWOOD AVENUE & RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE

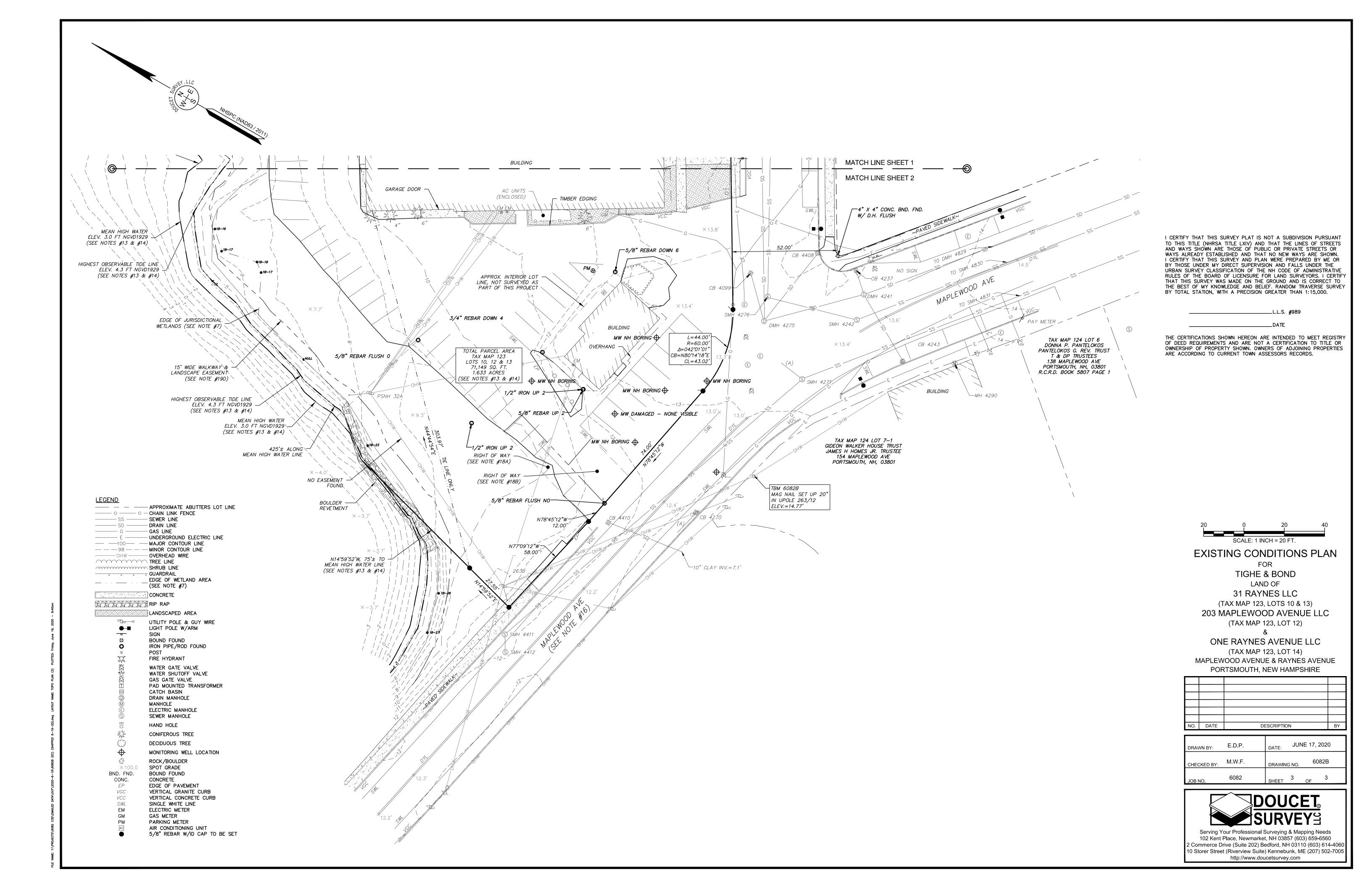
NO.	DATE	D	ESCRIPTION	BY
DRAV	WN BY:	E.D.P.	DATE: JUNE 17, 20	20
CHEC	CKED BY:	M.W.F.	DRAWING NO. 6082	В

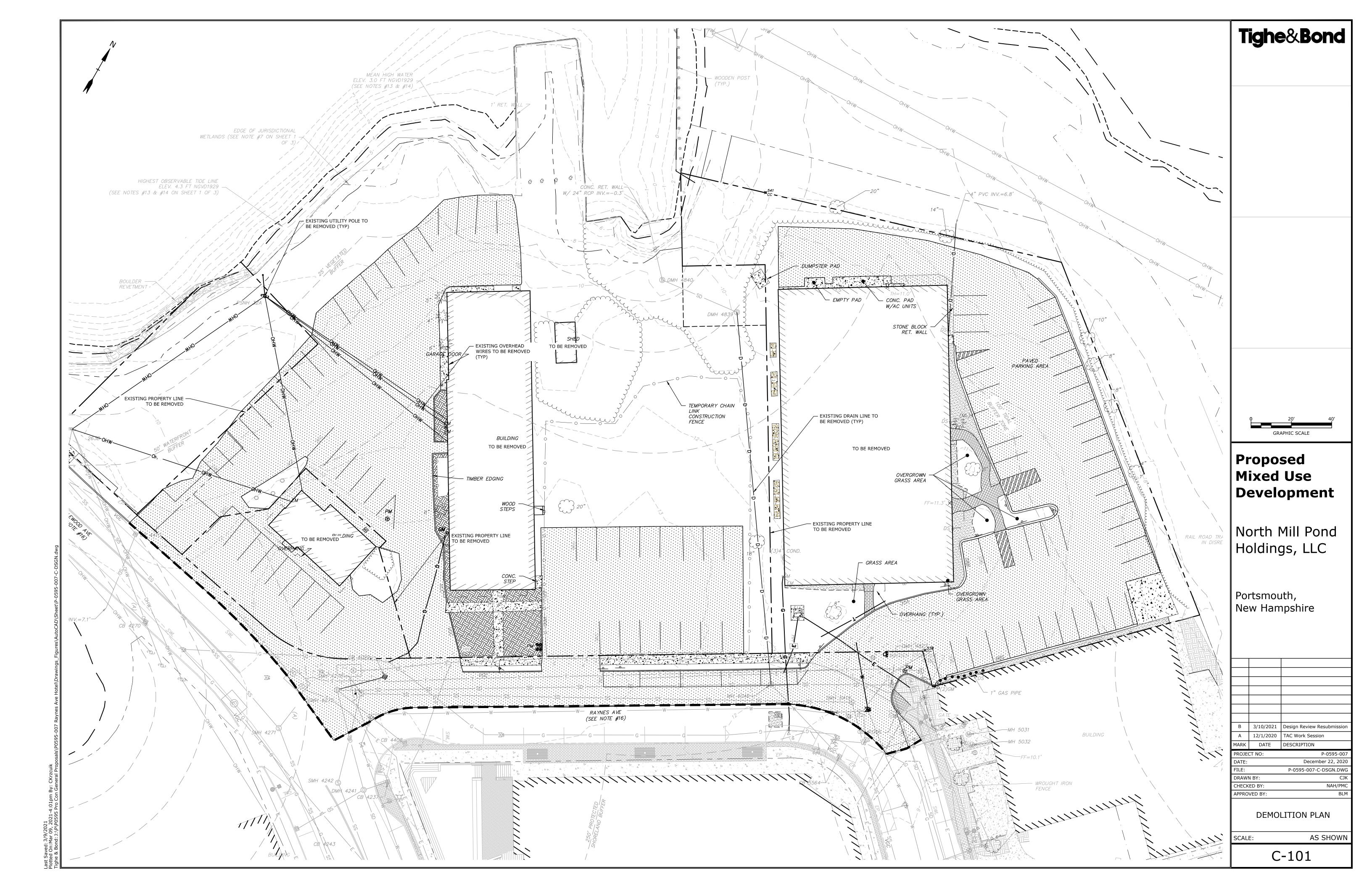
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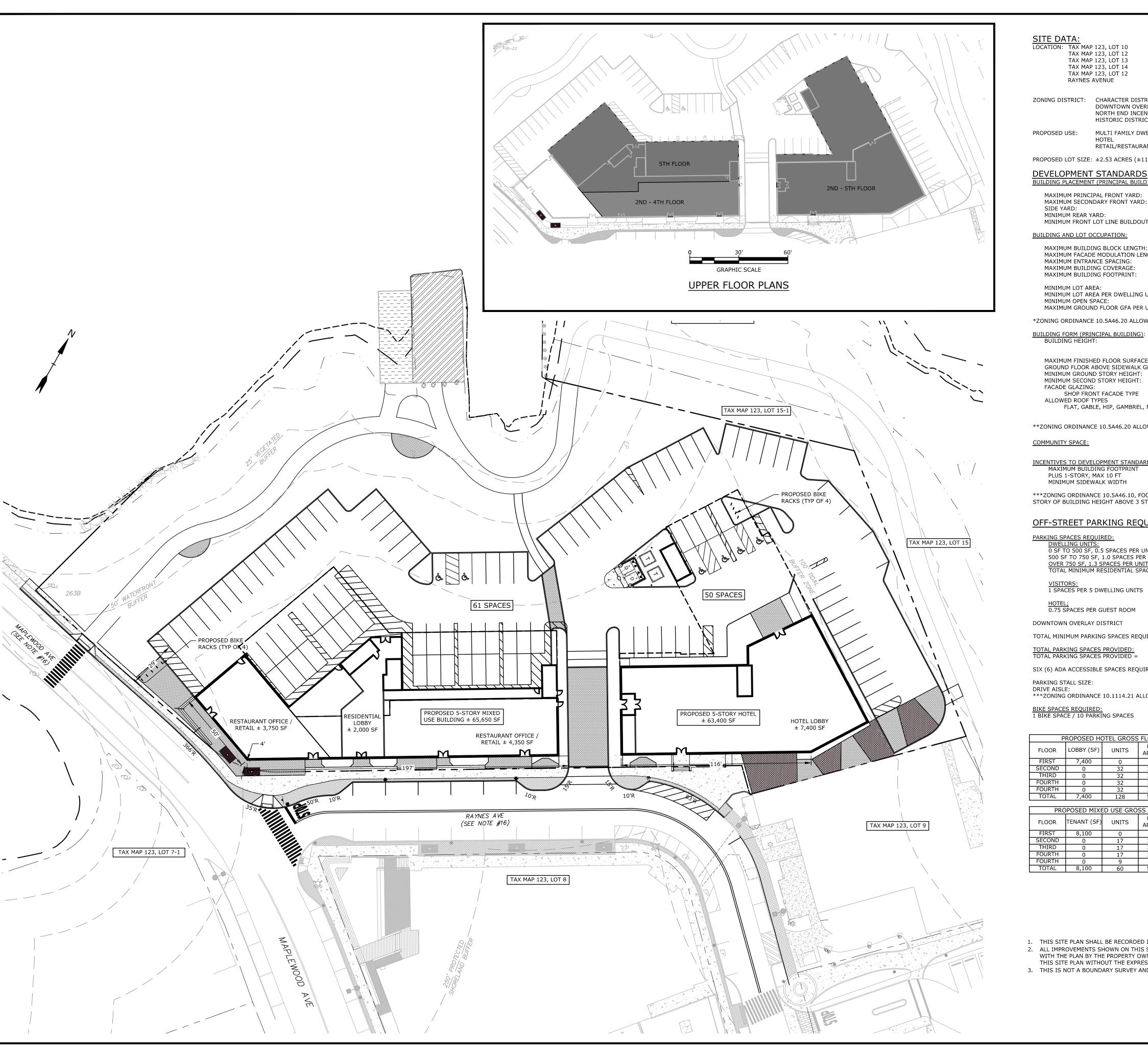


Serving Your Professional Surveying & Mapping Needs 102 Kent Place, Newmarket, NH 03857 (603) 659-6560 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060 10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005 http://www.doucetsurvey.com









SITE DATA:
LOCATION: TAX MAP 123, LOT 10
TAX MAP 123, LOT 12
TAX MAP 123, LOT 13 TAX MAP 123, LOT 14 TAX MAP 123, LOT 12 RAYNES AVENUE

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)
DOWNTOWN OVERLAY DISTRICT
NORTH FOR INCREME!

HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING HOTEL RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING):	REQUIRED	PROPOSED
MAXIMUM PRINCIPAL FRONT YARD: MAXIMUM SECONDARY FRONT YARD: SIDE YARD: MINIMUM REAR YARD: MINIMUM FRONT LOT LINE BUILDOUT:	15 FT 12 FT NR 5 FT 50%	±5 FT ±5 FT NR N/A ±68.8%
BUILDING AND LOT OCCUPATION:	REQUIRED	PROPOSED
MAXIMUM BUILDING BLOCK LENGTH: MAXIMUM FACADE MODULATION LENGTH: MAXIMUM ENTRANCE SPACING: MAXIMUM BUILDING COVERAGE: MAXIMUM BUILDING FOOTPRINT:	200 FT 80 FT 50 FT 90% *15,000 SF	197 FT <100 FT <50 FT ±47.0% 17,565 SF 13,815 SF
MINIMUM LOT AREA: MINIMUM LOT AREA PER DWELLING UNIT: MINIMUM OPEN SPACE: MAXIMUM GROUND FLOOR GFA PER USE:	NR NR 10% 15,000 SF	25.3% 6,514 SF

*ZONING ORDINANCE 10.5A46.20 ALLOWS 30,000SF BUILDING FOOTPRINT WITH 20% COMMUNITY SPACE.

BUILDING FORM (PRINCIPAL BUILDING): BUILDING HEIGHT:	REQUIRED **LOT 12 -2ST, 35' **LOT 13 -3ST, 40' **LOT 14 -4ST, 50'	PROVIDED
MAXIMUM FINISHED FLOOR SURFACE OF		
GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	12 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10 FT
FACADE GLAZING:		
SHOP FRONT FACADE TYPE	70%	70%
ALLOWED ROOF TYPES		
FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT

**ZONING ORDINANCE 10.5A46.20 ALLOWS A 1-STORY, UP TO 10' HEIGHT INCREASE WITH 20% COMMUNITY SPACE.

COMMUNITY SPACE:	21,274 SF 20%	21,402 SF 20.1%
INCENTIVES TO DEVELOPMENT STANDARDS		
MAXIMUM BUILDING FOOTPRINT	30,000 SF	20,155 SF
PLUS 1-STORY, MAX 10 FT	**60 FT	55 FT
MINIMUM SIDĖWALK WIDTH	***14 FT	14 FT

***ZONING ORDINANCE 10.5A46.10, FOOTNOTE 4 REQUIRES THE SIDEWALK WIDTH TO BE 10 FT PLUS AN EXTRA 2 FT FOR EACH STORY OF BUILDING HEIGHT ABOVE 3 STORIES.

OFF-STREET PARKING REQUIREMENTS

PARKING SPACES REQUIRED:		
DWELLING UNITS:		
	17 UNITS	8.5 SPACES
		33 SPACES
		13 SPACES
TOTAL MINIMUM RESIDENTIAL SPACES REQU	IRED =	55 SPACES
VICITORS		
	COLINITO	12 CDACEC
1 SPACES PER 5 DWELLING UNITS	60 0N11S	12 SPACES
HOTEL:		
	128 ROOMS	96 SPACES
OIT S SITTLES I EN COEST NOOT	120 100115	30 31 / (023
DOWNTOWN OVERLAY DISTRICT		- 4 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		159 SPACES
TOTAL PARKING SPACES PROVIDED =		111 SPACES
CIV (C) ADA ACCECCIBI E CDACEC BEQUIDED		
SIX (0) ADA ACCESSIBLE SPACES REQUIRED	DECLIDED	PROVIDED
DADKING STALL SIZE:	8 5' Y 10'	8 5' Y 10'
	DWELLING UNITS: 0 SF TO 500 SF, 0.5 SPACES PER UNIT 500 SF TO 750 SF, 1.0 SPACES PER UNIT OVER 750 SF, 1.3 SPACES PER UNIT TOTAL MINIMUM RESIDENTIAL SPACES REQU VISITORS: 1 SPACES PER 5 DWELLING UNITS HOTEL; 0.75 SPACES PER GUEST ROOM DOWNTOWN OVERLAY DISTRICT TOTAL MINIMUM PARKING SPACES REQUIRED = TOTAL PARKING SPACES PROVIDED: TOTAL PARKING SPACES PROVIDED = SIX (6) ADA ACCESSIBLE SPACES REQUIRED	DWELLING UNITS: 0 SF TO 500 SF, 0.5 SPACES PER UNIT 500 SF TO 750 SF, 1.0 SPACES PER UNIT 33 UNITS OVER 750 SF, 1.3 SPACES PER UNIT 10 UNITS TOTAL MINIMUM RESIDENTIAL SPACES REQUIRED = VISITORS: 1 SPACES PER 5 DWELLING UNITS 60 UNITS HOTEL; 0.75 SPACES PER GUEST ROOM 128 ROOMS DOWNTOWN OVERLAY DISTRICT TOTAL MINIMUM PARKING SPACES REQUIRED = TOTAL PARKING SPACES PROVIDED: TOTAL PARKING SPACES PROVIDED = SIX (6) ADA ACCESSIBLE SPACES REQUIRED

PARKING STALL SIZE: 8.5' X 19' 8.5' X 19' DRIVE AISLE: ***22' 22'

***ZONING ORDINANCE 10.1114.21 ALLOWS MINIMUM 22' AISLE WIDTH FOR 90 DEGREE PARKING IN A PARKING STRUCTURE

159 SPACES 16 SPACES

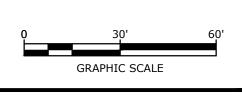
PROPOSED HOTEL GROSS FLOOR AREA				
FLOOR	LOBBY (SF)	UNITS	FLOOR AREA (SF)	TOTAL (SF)
FIRST	7,400	0	0	7,400
SECOND	0	32	14,000	14,000
THIRD	0	32	14,000	14,000
FOURTH	0	32	14,000	14,000
FOURTH	0	32	14,000	14,000
TOTAL	7,400	128	56,000	63,400
PRC	PROPOSED MIXED USE GROSS FLOOR AREA			
FLOOR	TENANT (SF)	UNITS	FLOOR AREA (SF)	TOTAL (SF)
FIRST	8,100	0	2,000	10,100
SECOND	0	17	15,200	15,200
THIRD	0	17	15,200	15,200
FOURTH	0	17	15,200	15,200
FOURTH	0	9	9,950	9,950
TOTAL	8,100	60	57,550	65,650

- SITE RECORDING NOTES:

 1. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

 2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- 3. THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.





Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

В	3/10/2021	Design Review Resubmission
Α	12/1/2020	TAC Work Session
1ARK	DATE	DESCRIPTION
ROJE	CT NO:	P-0595-007
ΔΤΕ·		December 22, 2020

APPROVED BY:

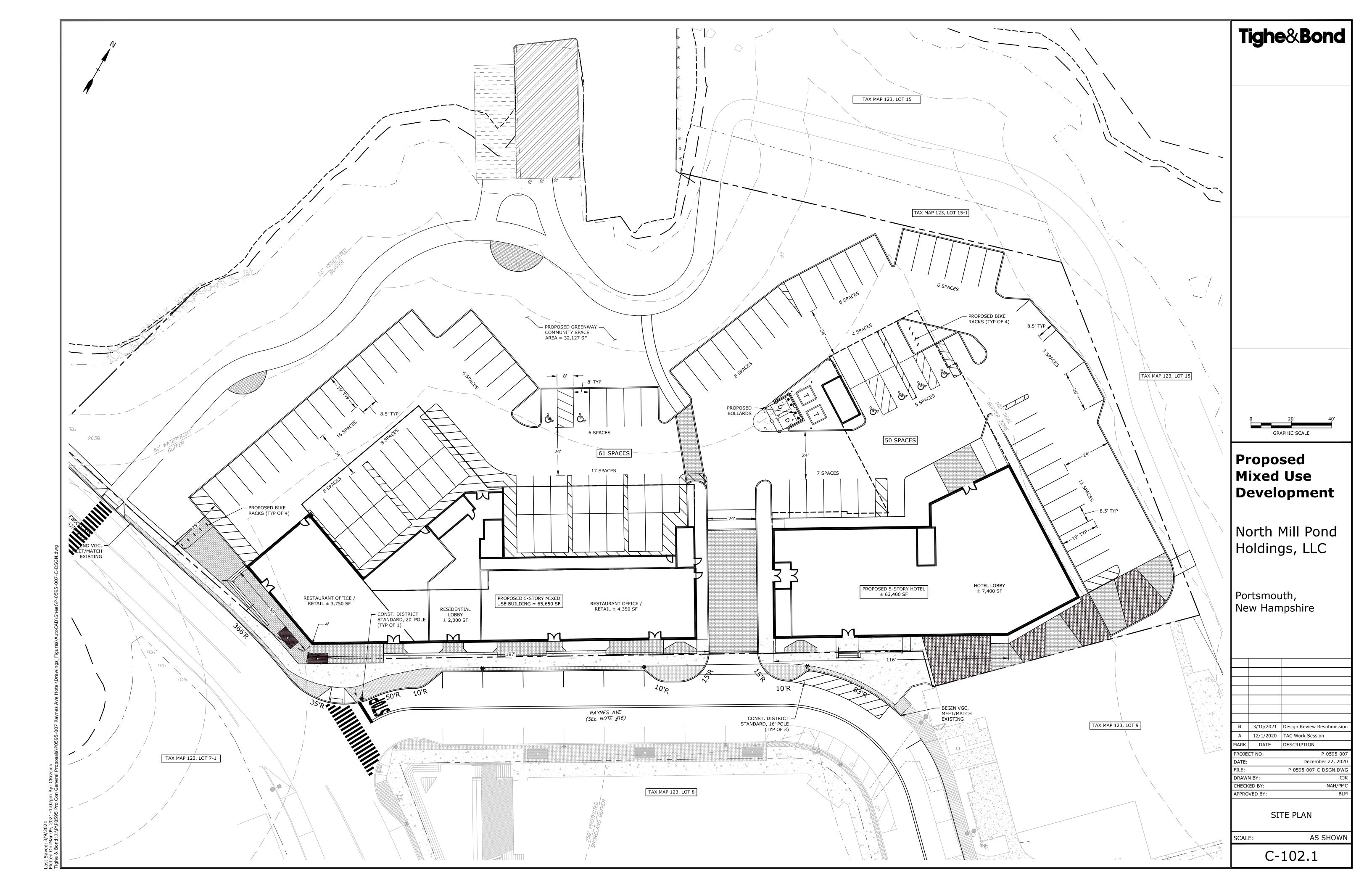
SITE PLAN

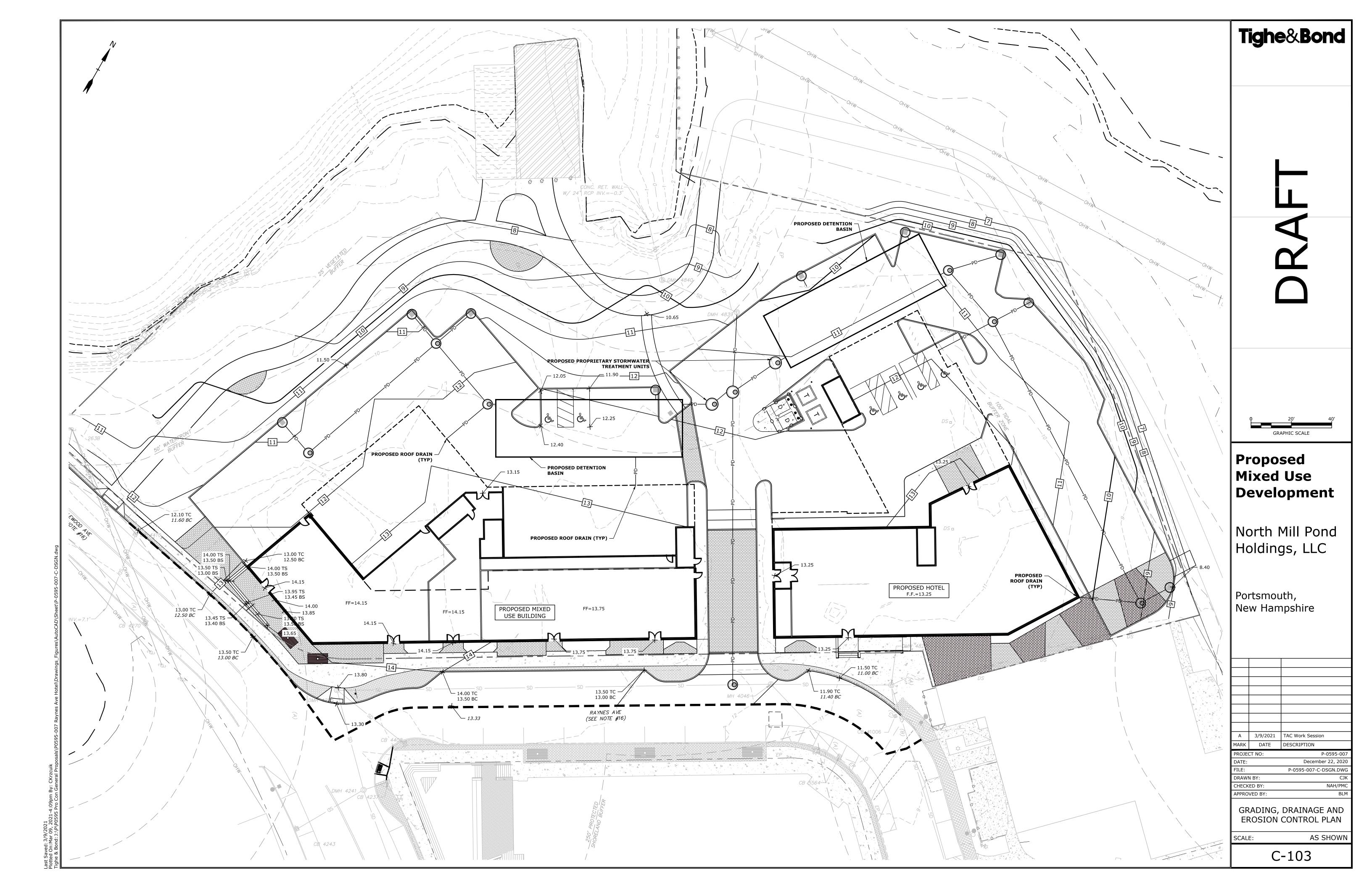
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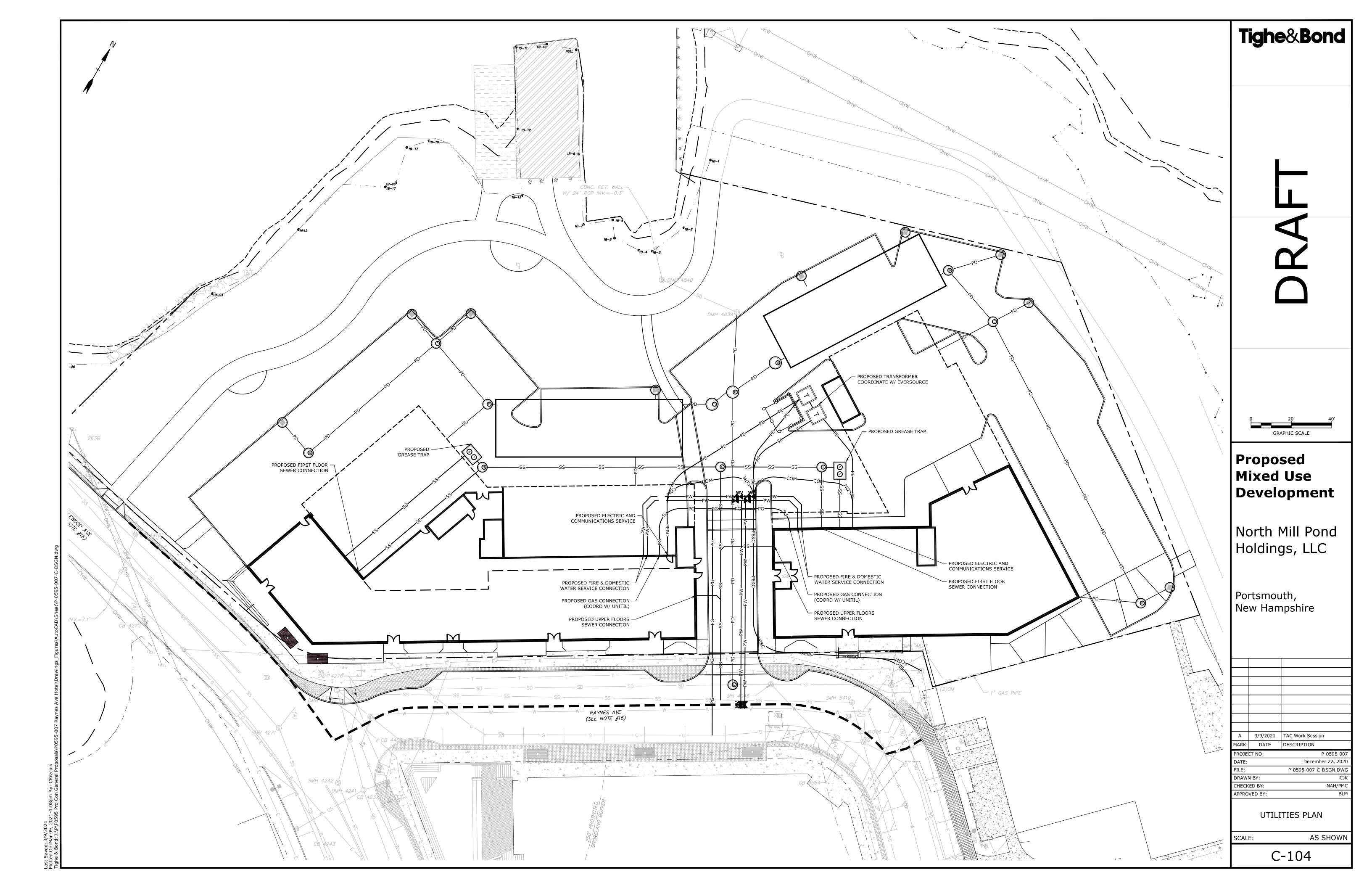
NAH/PMC

AS SHOWN

C-102









Tighe&Bond

AND CLEANUP COORDINATOR.

E. VEHICLE FUELING AND MAINTENANCE PRACTICE:

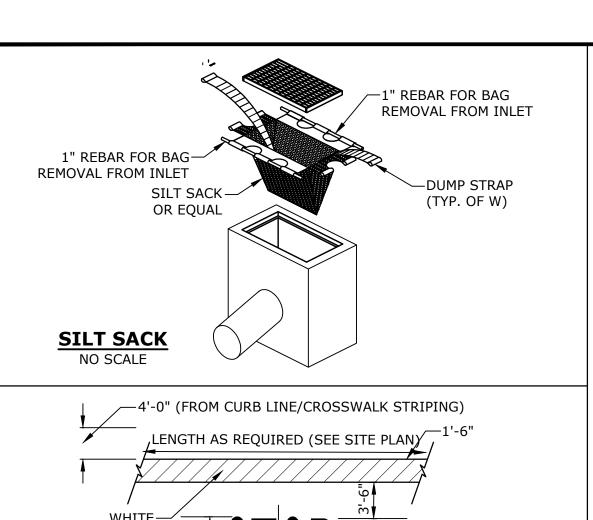
a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN

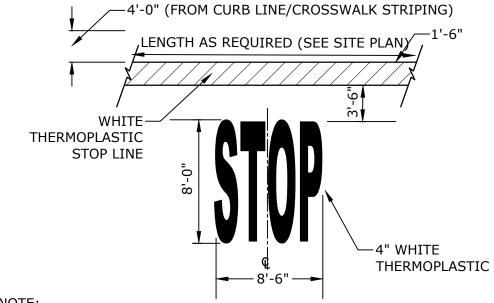
a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD

BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS

SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK

FLOW — **−**FLOW ~PERFORATED RISER DIKE, IF **PLAN VIEW** IF USING PIPE NECESSARY, WEIR OR OUTLET TO DIVERT EMBANKMENT IF FLOW INTO USING STONE TRAP -EXCAVATION FOR OUTLET OR PIPE REQUIRED STORAGE OUTLET 3:1 MAX. SLOPE **SECTION VIEW** SIDE SLOPES TO BE STABILIZED THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA AS THE MAXIMUM CONTRIBUTING AREA TO A SINGLE TRAP SHALL BE LESS THAN 5 ACRES. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA. TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP SHALL DISCHARGE TO A STABILIZED AREA. TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED. SEDIMENT TRAPS MUST BE USED AS NEEDED TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED. -2" X 2" WOODEN STAKE SILT SOCK-(12" TYPICAL) AREA TO BE WORK AREA PROTECTED Proposed SOCK **Mixed Use** -STAKE ON 10' 12" MIN. LINEAL SPACING Development AREA TO BE SIDE VIEW PLAN VIEW North Mill Pond SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL Holdings, LLC 2. INSTALL SILT SOCK IN ACCORDANCE WITH... Portsmouth, New Hampshire 75' (MIN) (W/O BERM) 50' (MIN) WITH 3"-6" DIVERSION BERM PROVIDED FULL DRIVE WIDTH SLOPE GROUND S **PLAN VIEW** DIVERSION BERM-(OPTIONAL) 75' (MIN) (W/O BERM) 50' (MIN) WITH 3"-6" 3" CRUSHED B 3/10/2021 Design Review Resubmissi DIVERSION BERM PROVIDED STONE-A 12/1/2020 TAC Work Session "(MIN) PAVEMENT FXISTING MARK DATE DESCRIPTION _6" (MIN) √ GROUND ROJECT NO: P-0595-00 – MIRAFI FW-700 December 22, 2020 **SIDE VIEW** OR EQUAL P-0595-007-DTLS.DW0 DRAWN BY: 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION CHECKED BY NAH/PMC WHICH WILL PREVENT TRACKING OF SEDIMENT FROM THE SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO PPROVED BY: RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM **EROSION CONTROL NOTES** ENTERING STORM DRAINS, DITCHES, OR WATERWAYS AND DETAILS SHEET STABILIZED CONSTRUCTION EXIT AS SHOWN C-501

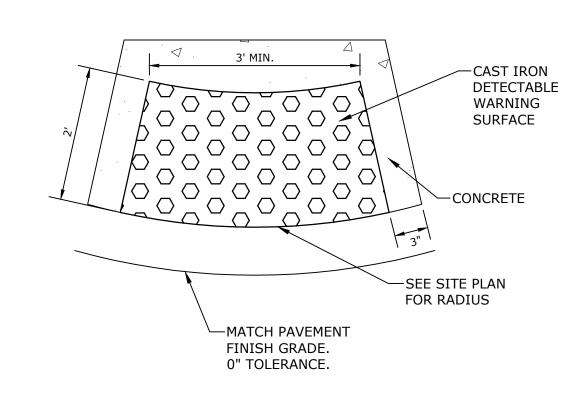


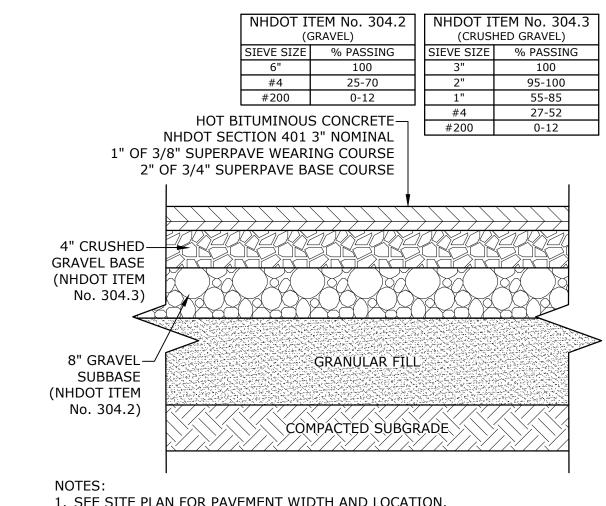


- PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE
- STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTERIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

STOP BAR AND LEGEND

NO SCALE

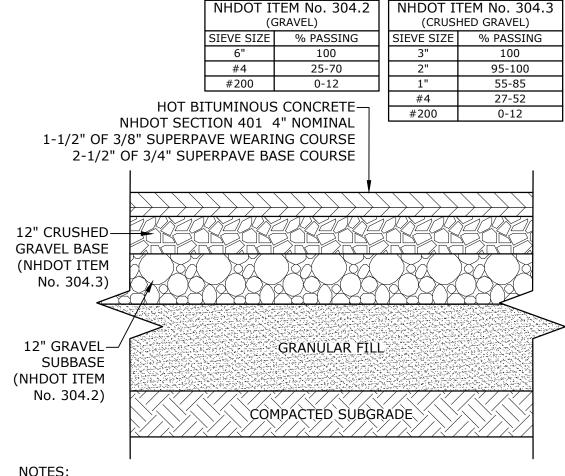




- 1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
- 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
- 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

ON-SITE PAVEMENT SECTION

NO SCALE



- 1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
- 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT
- PRIOR TO PLACING WEARING COURSE. 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

CITY RIGHT-OF-WAY PAVEMENT SECTION NO SCALE

VERTICAL GRANITE CURB FINISHED SURFACE WITH 6" CURB REVEAL (SEE SITE PLANS) BITUMINOUS WEARING COURSE (SEE PAVEMENT DETAIL) CURB RADIUS TABLE BITUMINOUS BINDER COURSE RADIUS MAX. LENGTH (SEE PAVEMENT DETAIL) **USE CURVED CURB** <20' 21' 22'-28' 4' 5' 29'-35' 36'-42' 6' 7' 43'-49' 50'-56' 8' 57'-60' 9' 3-1/2" (MIN) >60' 10' PAVEMENT SUBBASE (SEE PAVEMENT DETAIL) 3000 PSI CONCRETE BACKFILL FROM BOTTOM OF CURB TO **PAVEMENT BASE** BOTTOM OF FINISHED SURFACE (SEE PAVEMENT DETAIL) COMPACTED SUBGRADE-3000 PSI CONCRETE BACKFILL

NHDOT ITEM No. 304.3

(CRUSHED GRAVEL)

95-100

SIEVE SIZE % PASSING

- 1. SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
- 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

FROM BOTTOM OF CURB TO

TOP OF BINDER COURSE

- 3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
- 4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10' 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
- 6. ALL RADII 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
- 7. JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

VERTICAL GRANITE CURB NO SCALE

→ 6' TIP DOWN → 5'-0" MIN. → 6' TIP DOWN

SINGLE ROW--CITY STANDARD BRICK 1" (1:3) PORTLAND— STRETCHER COURSE (SEE NOTE #2) CEMENT / COURSE -SINGLE ROW SAND MIX BED CITY STANDARD BRICK— STRETCHER (SEE NOTE #2) FACE OF-SINGLE ROW HEADER-COURSE BUILDING COURSE ALONG 1/16" SAND SWEPT FINGER-BUILDING BACK OF CURB TIGHT JOINTS FILLED WITH POLYMERIC SAND (TYPICAL) -2" OF 3/8" (9.5MM) **75 GYR SUPERPAVE** WEARING COURSE **VARIES** → 2' SAWCUT 6" REVEAL FINAL WEARING-VERTICAL GRANITE CURB COURSE PAVEMENT PAVEMENT **VERTICAL** ─8" COMPACTED CRUSHED -SINGLE ROW HEADER **GRANITE CURB** GRAVEL (ITEM NO. 304.3) -CONCRETE BACKFILL COURSE ALONG BACK (SEE DETAIL) —COMPACTED OR (SEE CURB DETAIL) OF CURB UNDISTURBED SUBGRADE

SIDEWALK PLAN VIEW

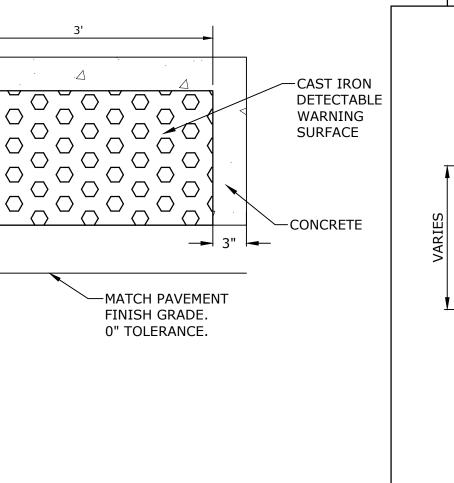
- BRICK SIDEWALK SHALL BE INSTALLED AS DETAILED AND PER CITY OF PORTSMOUTH REQUIREMENTS/SPECIFICATIONS AND SHALL INCLUDE A CONTINUOUS APPROVED PAVER EDGE RESTRAINT SYSTEM AT ALL LOCATIONS NOT ADJACENT TO CURB OR BUILDINGS.
- MATERIAL SAMPLES SHALL BE PROVIDED TO DPW PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL 3. BEDDING MATERIAL SHALL BE A PORTLAND CEMENT / COURSE SAND MIX THAT IS 1 PART PORTLAND CEMENT AND 3 PARTS COURSE

2. CITY STANDARD BRICK SHALL BE TRADITIONAL EDGE, PATHWAY, FULL RANGE 2.25"X4"X8" PAVER, BY PINE HALL BRICK, INC. BRICK

SAND, SAND SHALL CONFORM WITH ASTM C-33 AND CEMENT SHALL BE PORTLAND CEMENT TYPE I/TYPE II.

BRICK SIDEWALK

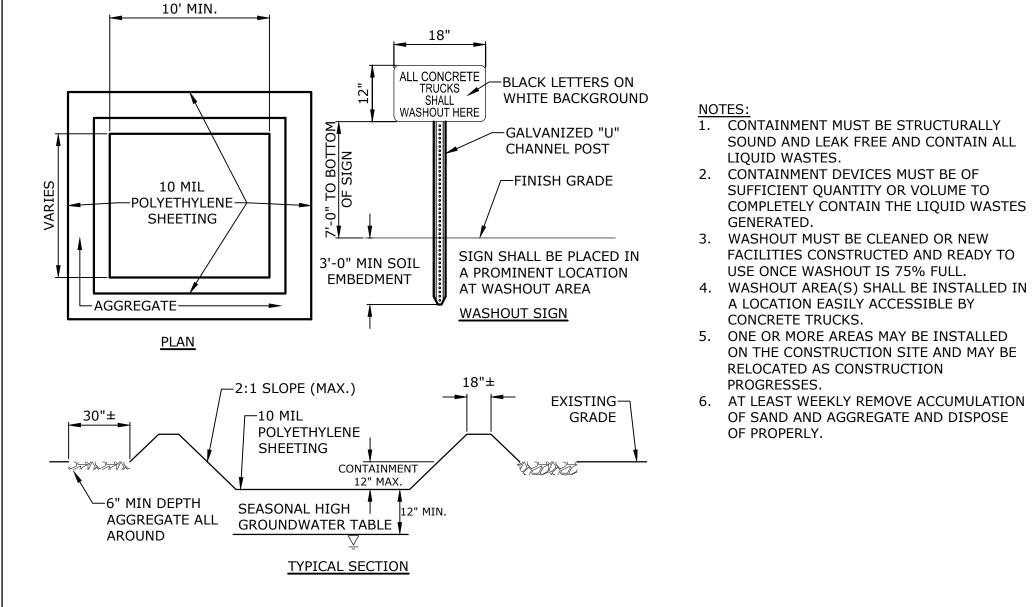
NO SCALE



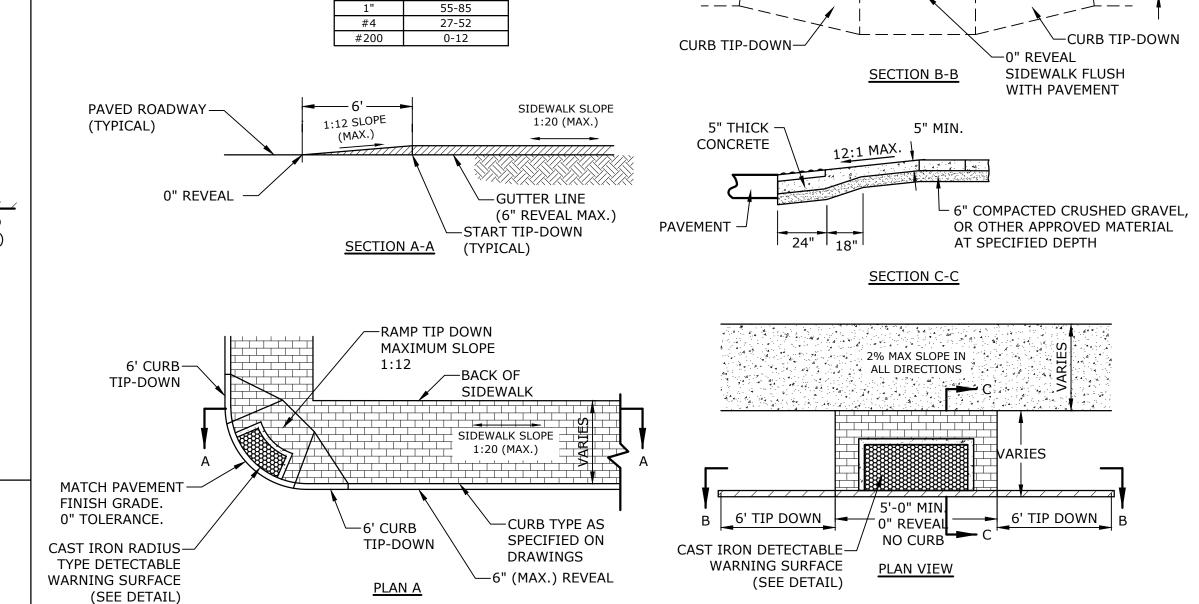
- . DETECTABLE WARNING SURFACE SHALL BE 2' X 3' CAST IRON PANEL SET IN CONCRETE.
- 2. DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

CAST IRON DETECTABLE WARNING SURFACE

NO SCALE



CONCRETE WASHOUT AREA NO SCALE



- NOTES:

 1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
- 2. A 6" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMPS.
- 3. DETECTABLE WARNING PANEL SHALL BE CAST IRON SET IN CONCRETE (SEE DETAIL.)
- 4. PROVIDE DETECTABLE WARNING SURFACES ANYTIME THAT A CURB RAMP, BLENDED TRANSITION, OR LANDING CONNECTS TO A
- 5. LOCATE THE DETECTABLE WARNING SURFACES AT THE BACK OF THE CURB ALONG THE EDGE OF THE LANDING.
- 6. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 12:1, THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
- 7. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMPS
- SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FT. FROM THE ROADWAY CURBLINE. 8. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED
- WITHIN THE CROSSWALK MARKINGS. 9. DETECTABLE WARNING PANELS SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED
- PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET. 10. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST VISUALLY WITH THE SURROUNDING SURFACES (EITHER
- LIGHT-ON-DARK OR DARK-ON-LIGHT).

CONCRETE WHEELCHAIR ACCESSIBLE RAMP

NO SCALE

Proposed Mixed Use **Development**

<u> ĆURB R</u>EVEAL

Tighe&Bond

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

В	3/10/2021	Design Review Resubmission
Α	12/1/2020	TAC Work Session
MARK	DATE	DESCRIPTION
PROJE	CT NO:	P-0595-007
DATE:		December 22, 2020
FILE:		P-0595-007-DTLS.DWG

DETAILS SHEET

NAH/PMC

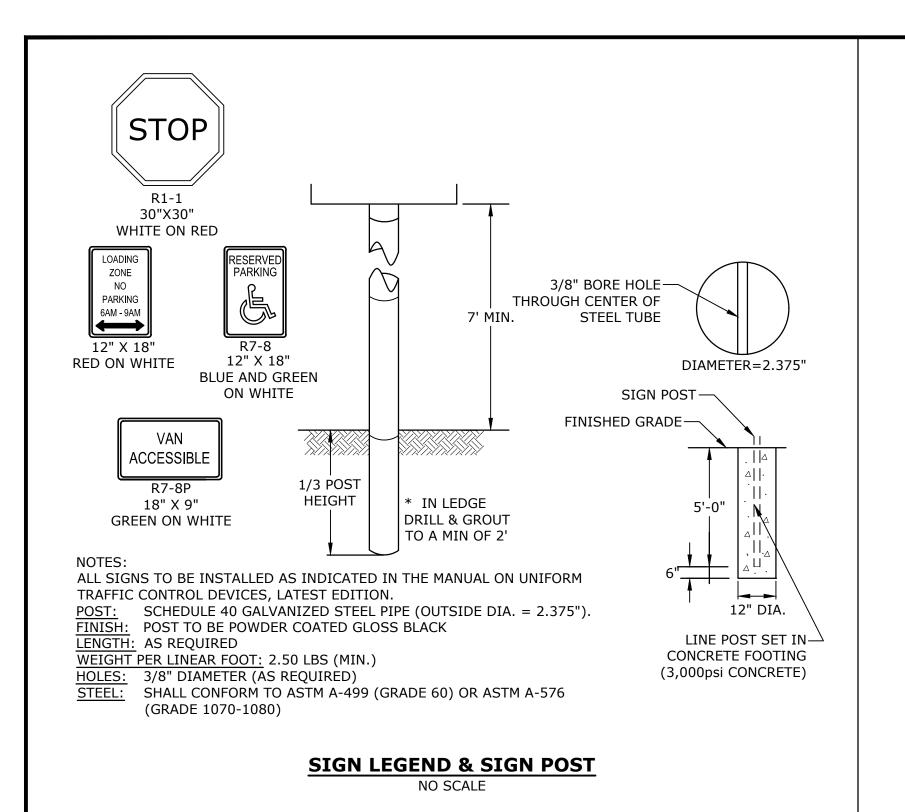
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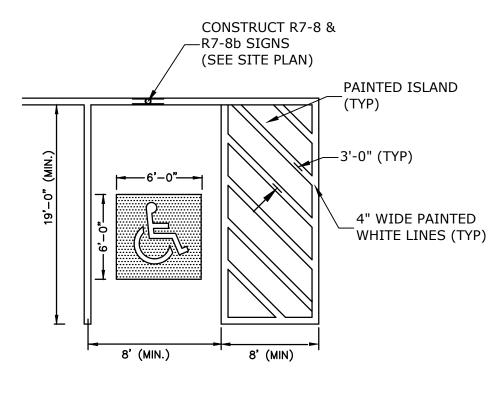
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DRAWN BY:

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APPROVED BY:



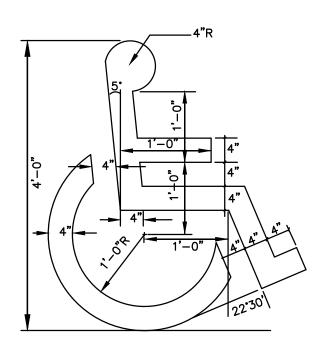


1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER

2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE

ACCESSIBLE PARKING STALL NO SCALE

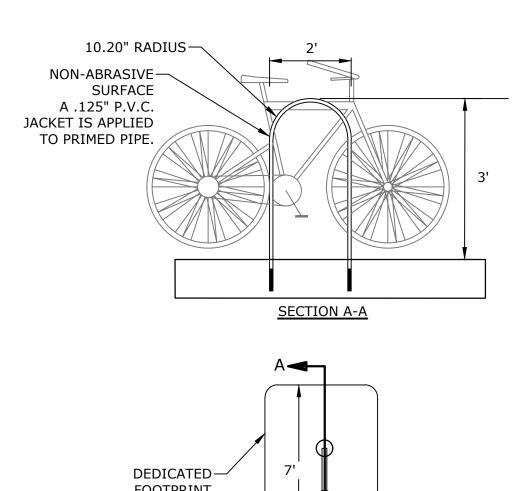
REQUIREMENTS OF THE AMERICAN W/DISABILITIES ACT.



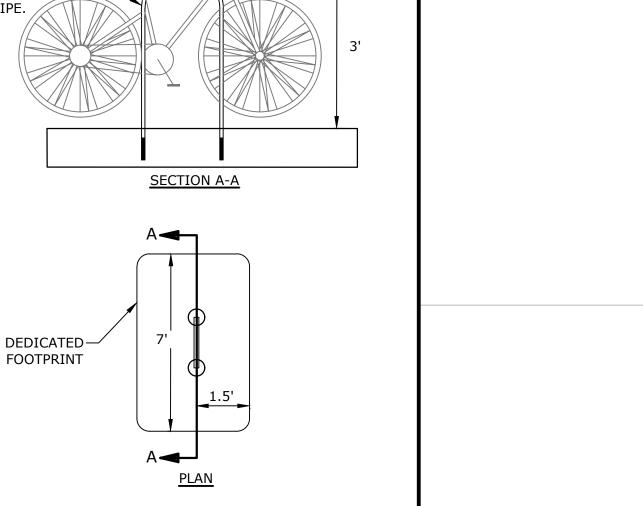
- NOTES:

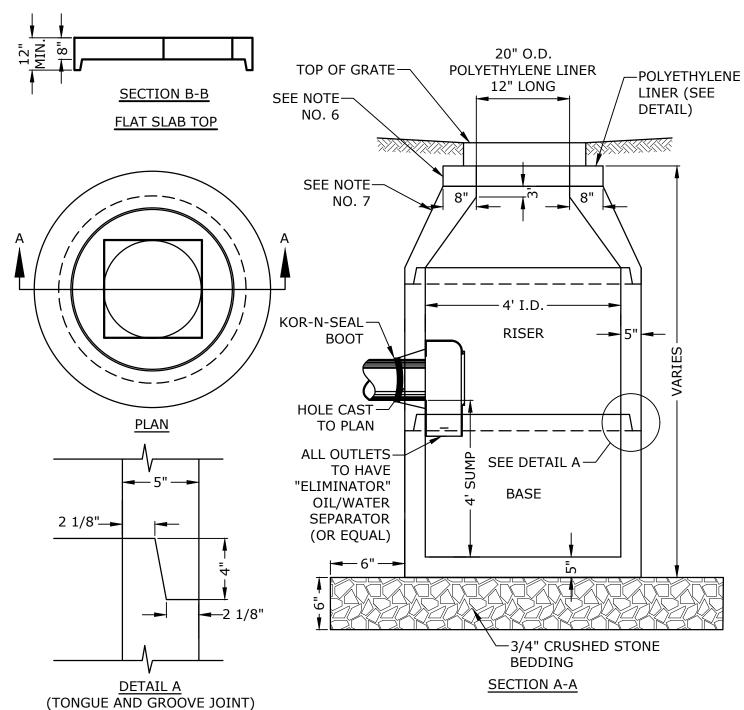
 1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT PARKING MATERAL MEETING THE REQUIREMENTS OF ASTM D 4505. 2. SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND
- LOCAL REQUIREMENTS.

ACCESSIBLE SYMBOL NO SCALE



BIKE RACK NO SCALE

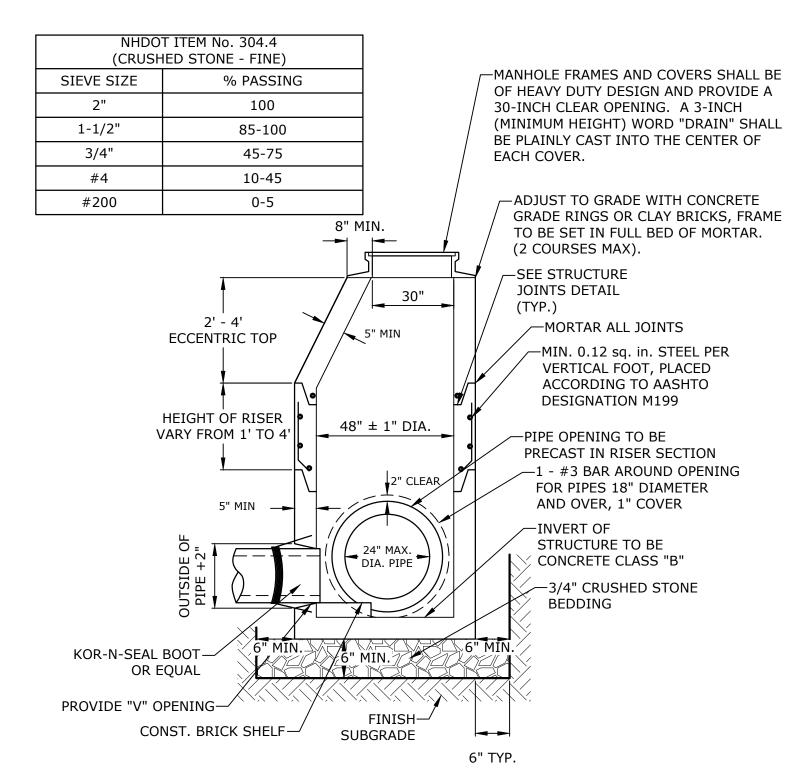




- ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi)
- CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL
- REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
- RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
- THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
- FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX.).
- CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.
- PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING
- OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE 10. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN
- THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- 11. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT. 12. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

4' DIAMETER CATCHBASIN

NO SCALE



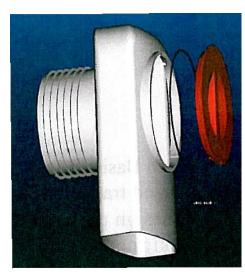
- 1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS
- AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL
- REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.

NO HOLES CLOSER THAN 3" TO JOINTS.

- CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
- THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
- PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
- OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN
- THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS. 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZNTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE

4' DIAMETER DRAIN MANHOLE

NO SCALE



MATCH EXISTING PAVEMENT— TYPE AND THICKNESS

EXISTING PAVEMENT

(6" MINIMUM)

MINIMUM

(TYP.)

1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)

2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.

3. 1/4" HOLE SHALL BE DRILLED IN

"ELIMINATOR" OIL

TOP OF DEBRIS TRAP

GRAVEL BASE & 12" GRAVEL

EXISTING PAVEMENT

Proposed Mixed Use **FLOATING DEBRIS TRAP Development** North Mill Pond -MATCH EXISTING BASE COURSES MIN. 6" CRUSHED Holdings, LLC

-SAW CUT EDGE, CLEAN AND

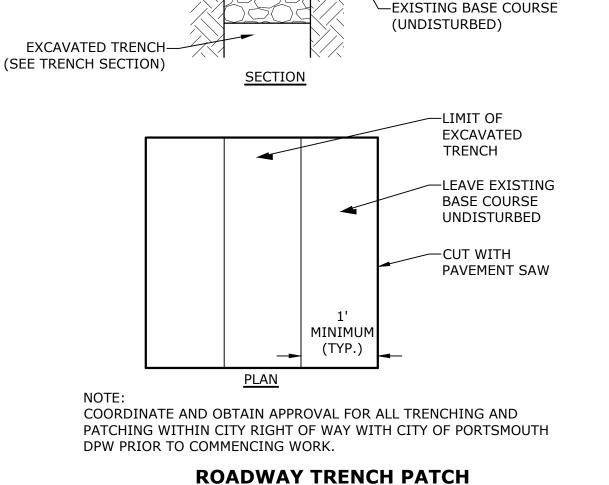
IMMEDIATELY PRIOR TO

COAT WITH RS-1 EMULSION

CONSTRUCTING NEW PAVEMENT.

Portsmouth, New Hampshire

Tighe&Bond



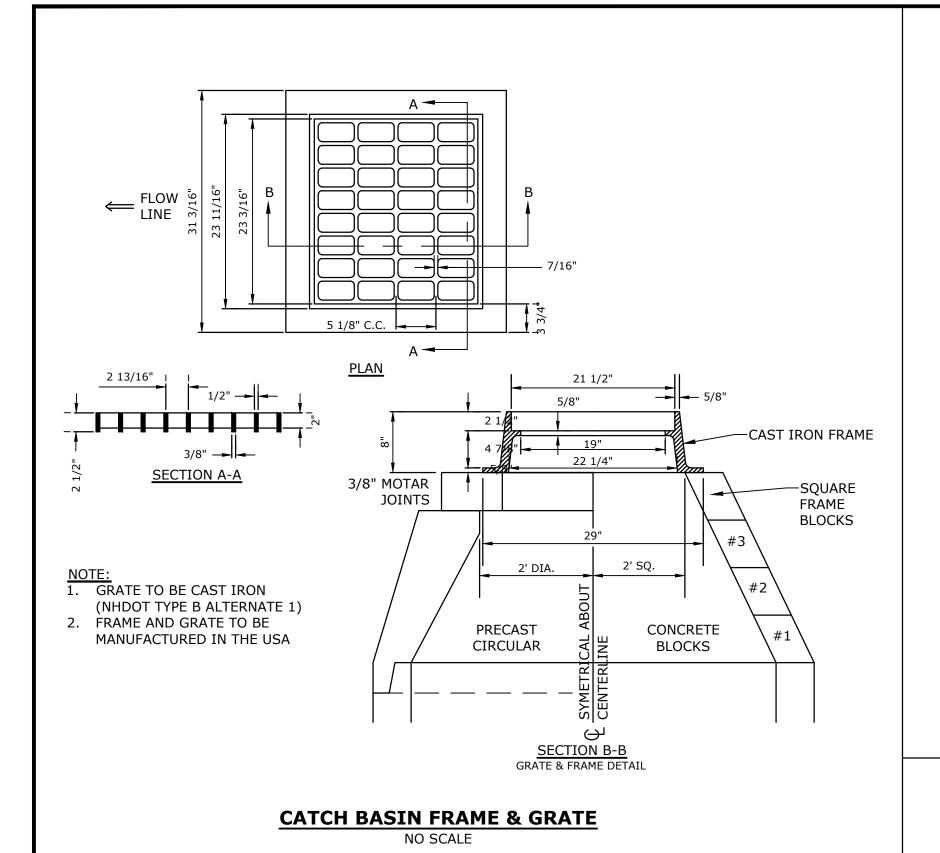
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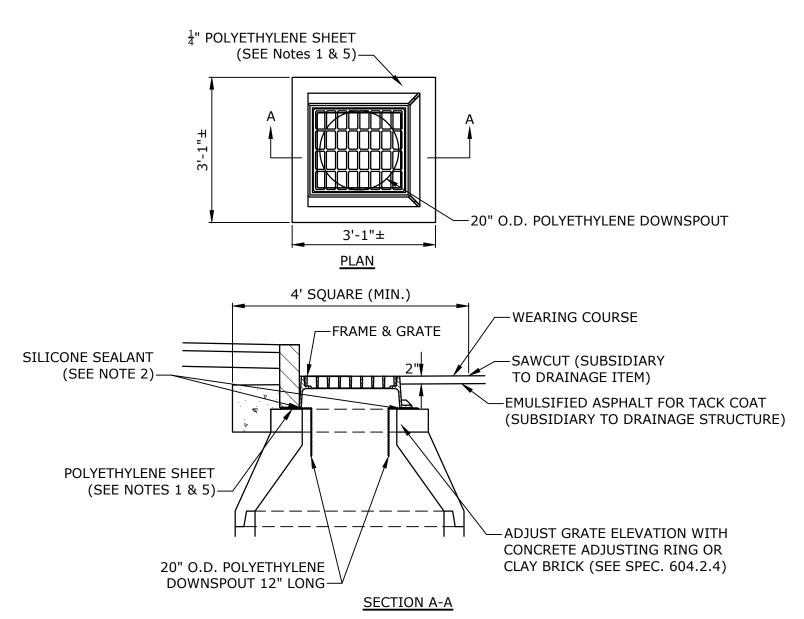
B 3/10/2021 Design Review Resubmiss A 12/1/2020 TAC Work Session MARK DATE DESCRIPTION PROJECT NO: P-0595-00 December 22, 2020 DATE: P-0595-007-DTLS.DW0 DRAWN BY: CHECKED BY: NAH/PMC APPROVED BY:

DETAILS SHEET

AS SHOWN SCALE:

C-503

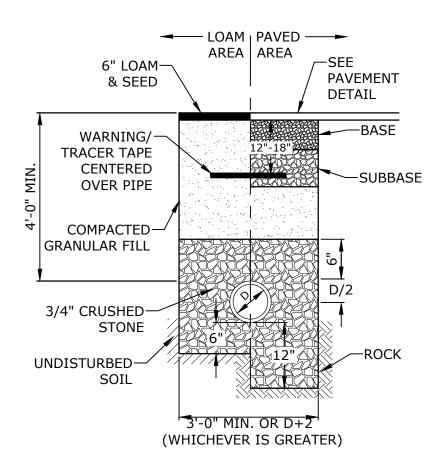




- 1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION
- FILLET WELDED TO THE POLYETHYLENE SHEET. 2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN
- FRAME AND POLYETHYLENE SHEET. 3. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE
- STRUCTURE).
- 4. USE ON DRAINAGE STRUCTURES 4' MIN. DIAMETER ONLY.
- 5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
- 6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT
- IN ANY DIRECTION.
- 7. PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
- 8. SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS", FOR
- ADDITIONAL INFORMATION.
- 9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER

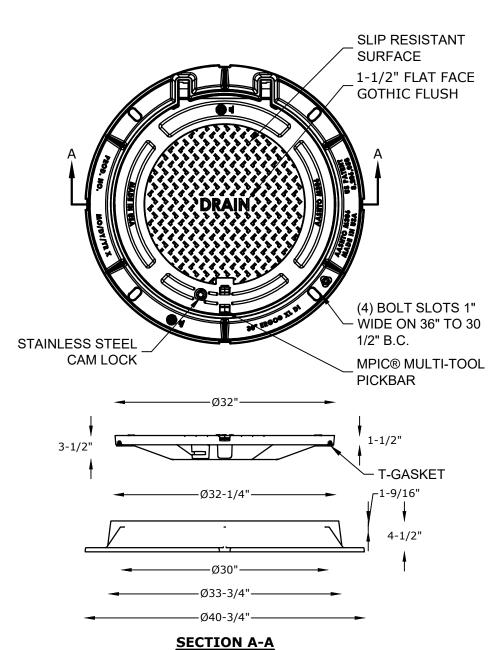
POLYETHYLENE LINER

NO SCALE



- 1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
- 2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

STORM DRAIN TRENCH



- 1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL
- 2. ALL DIMENSIONS ARE NOMINAL.

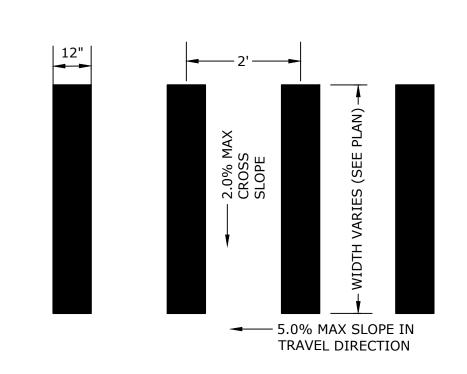
ACCOMMODATIONS.

3. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:

A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.

- B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR
- C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
- 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER.

DRAIN MANHOLE FRAME & COVER



NOTE: STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTERIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

CROSSWALK STRIPING

NO SCALE

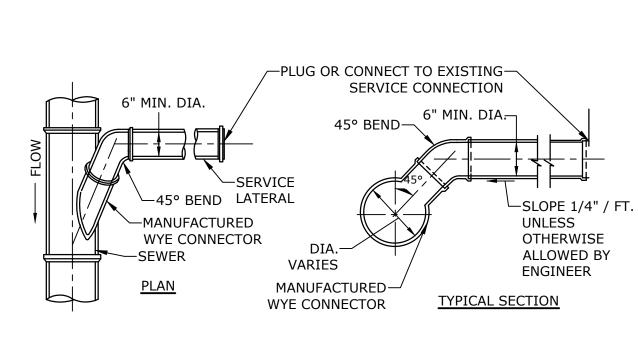
6" LOAM-& SEED -SEE PAVEMENT DETAIL -BASE PAVEMENT WARNING/ TRACER TAPE DETAIL CENTERED OVER PIPE COMPACTED-GRANULAR FILL SPRING LINE BEDDING AND BACKFILL MATERIAL UNDISTURBED-SOIL ROCK— 3'-0" MIN. OR D+2 (WHICHEVER IS GREATER)

— LOAM | PAVED — ► AREA AREA

1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF

2. WATER MAIN SHALL BE INSTALLED PER CITY OF PORTSMOUTH STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

WATER TRENCH NO SCALE



STANDARD SERVICE LATERAL CONNECTION

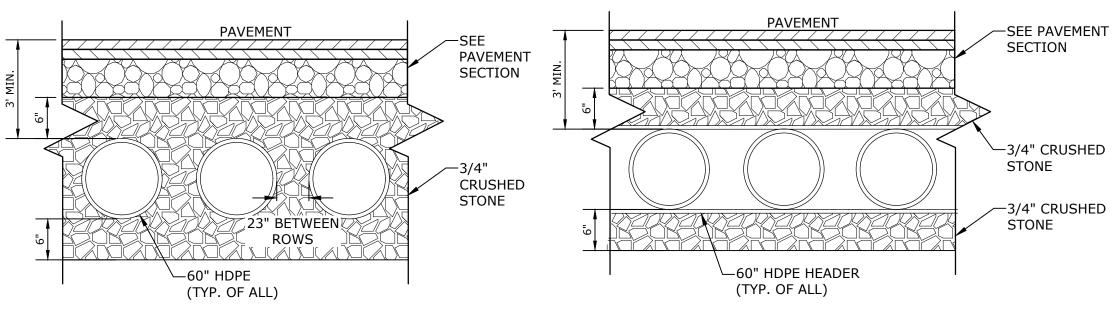
NO SCALE

Proposed **Mixed Use Development**

Tighe&Bond

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire



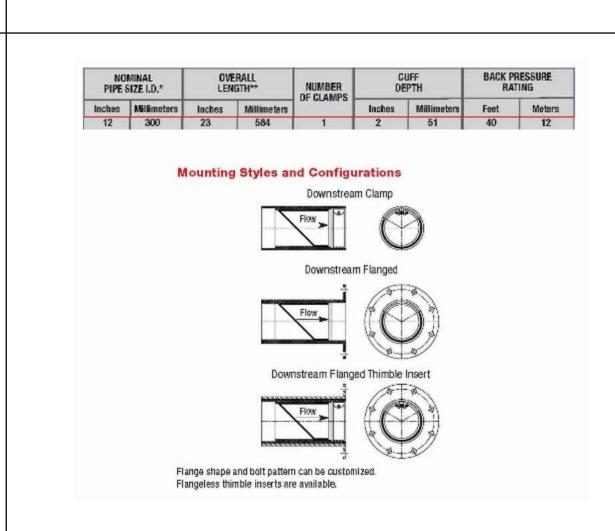
UNDERGROUND DETENTION AREA

HEADER ROW

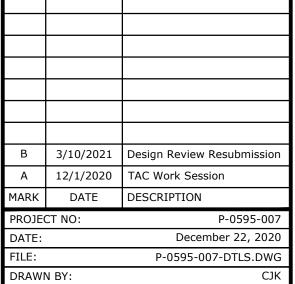
NOTES:

- 1. UNDERGROUND DETENTION SYSTEM TO BE 60" HDPE PIPE DESIGNED FOR H-20 LOADING. CONTRACTOR TO SUBMIT PIPE SPECIFICATIONS AND FINAL MANUFACTURES DESIGN TO ENGINEER FOR APPROVAL.
- 2. MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW
- 3. THE DESIGN ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED
- PER THE APPROVED DESIGN PLAN. 4. REFER TO STANDARD DUTY PAVEMENT SECTION DETAIL FOR PAVEMENT SECTION.

UNDERGROUND DETENTION SYSYTEM DETAIL



TYPICAL BACK FLOW PREVENTER NO SCALE



DETAILS SHEET

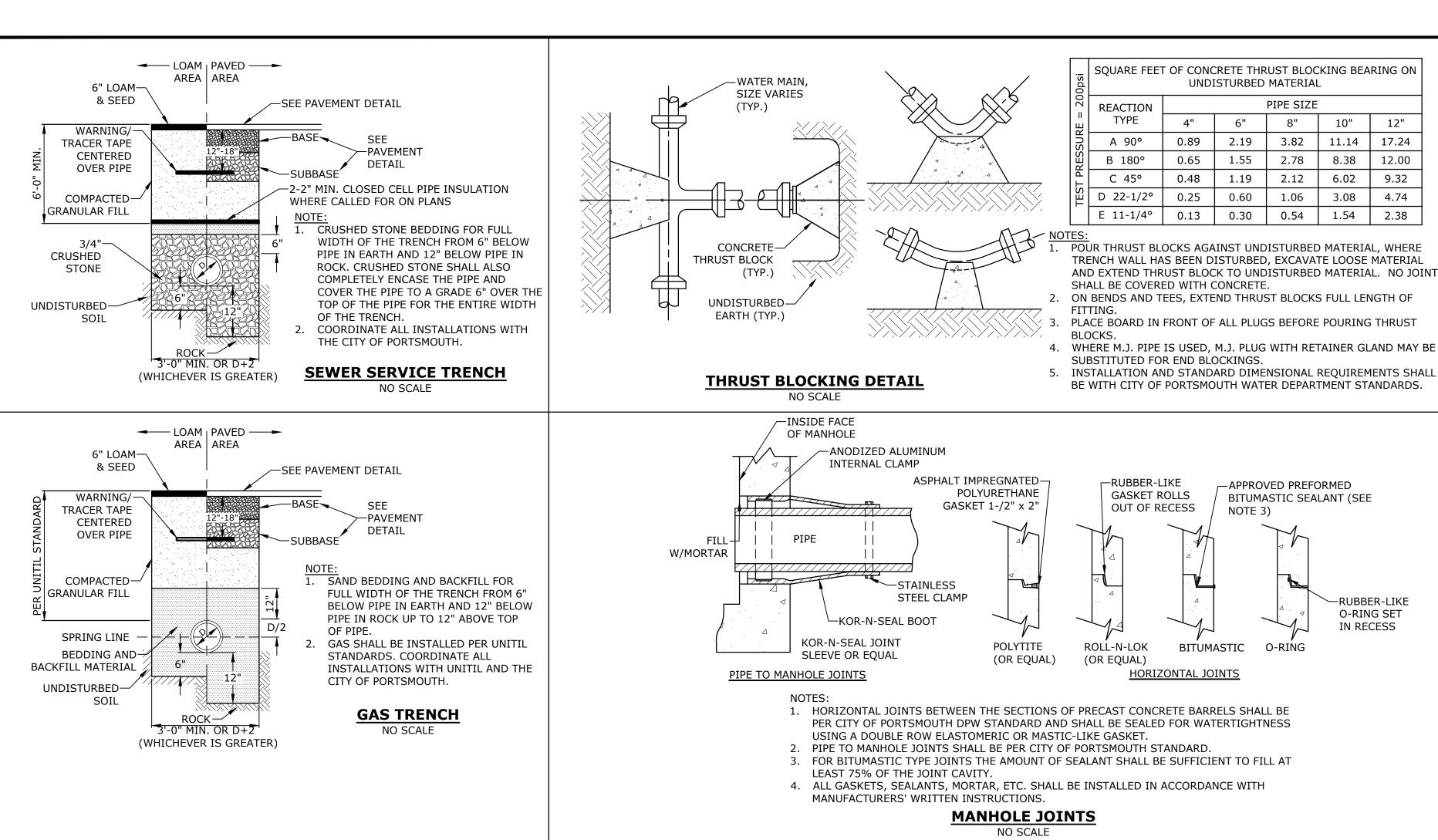
NAH/PMC

AS SHOWN SCALE:

CHECKED BY:

APPROVED BY:

C-504



SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL PIPE SIZE REACTION TYPE 6" 10" 0.89 2.19 3.82 A 90° 11.14 | 17.24 1.55 0.65 2.78 8.38 12.00 B 180° 1.19 2.12 0.48 6.02 9.32 C 45° D 22-1/2° 0.25 0.60 1.06 3.08 4.74 E 11-1/4° 0.13 0.30 0.54 1.54 2.38

POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.

- 2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF
- 3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
- SUBSTITUTED FOR END BLOCKINGS. 5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

NOTE 3)

BITUMASTIC

HORIZONTAL JOINTS

-APPROVED PREFORMED

O-RING

BITUMASTIC SEALANT (SEE

RUBBER-LIKE

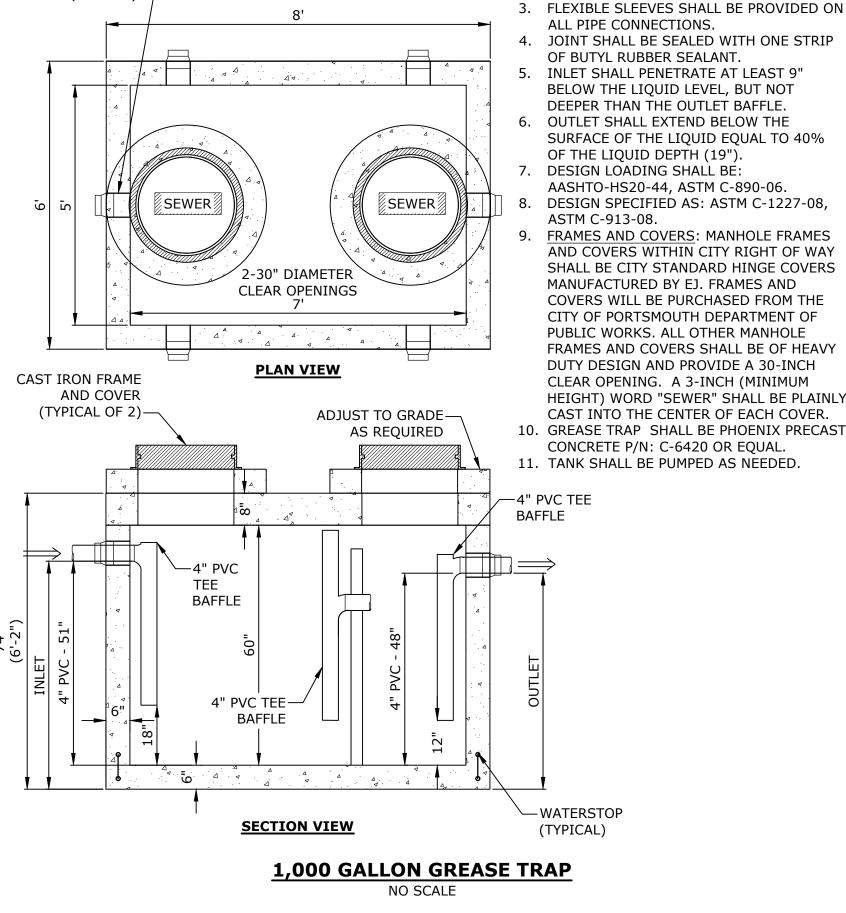
O-RING SET

IN RECESS

-RUBBER-LIKE

GASKET ROLLS

OUT OF RECESS



Proposed Mixed Use -ADJUST TO GRADE WITH NOT MORE THAN 12" OF BRICK MASONRY, FRAME TO BE SET IN FULL BED OF MORTAR. √30" CLEAR OPENING

OPENING

1. STEEL REINFORCEMENT SHALL CONFORM

TO LATEST ASTM SPECIFICATIONS:

2. CONCRETE SHALL BE $F_C = 5,000 \text{ PSI} \oplus 28$

ASTM-A615 GRADE 60 REBAR.

DAYS MINIMUM.

INCLUDING FRAME AND COVER TOP OF SHELF SHALL BE 1" ABOVE CROWN OF HIGHEST PIPE 12" MIN. EACH SIDE 5" MIN **ECCENTRIC TOP** 5" MIN **SECTION B-B** HEIGHT OF RISER VARY FROM 1' TO 4' 48" MIN. 3" MAXIMUM PROJECTION OF PIPE INTO MANHOLE -SEE MANHOLE JOINT DETAIL BRICK MASONRY-**SECTION A-A** INVERT FINISH-3/4" CRUSHED-SUBGRADE STONE **TYPICAL SECTION**

1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST

POLYLOK BOOT

OR EQUAL

(TYPICAL)—

- 2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT
- 3. INVERT BRICKS SHALL BE LAID ON EDGE.
- 4. TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
- 5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- 6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT. 7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM

SEWER MANHOLE

Development

Tighe&Bond

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

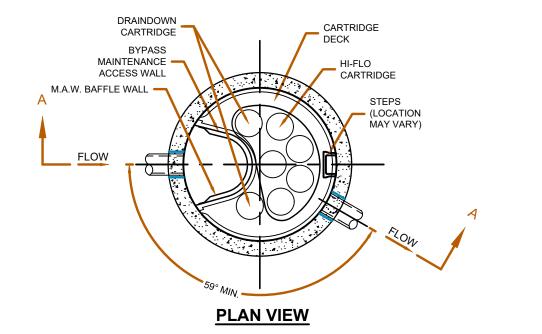
В	3/10/2021	Design Review Resubmission
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MARK	DATE	DESCRIPTION

PROJECT NO: P-0595-00 December 22, 2020 P-0595-007-DTLS.DW0 DRAWN BY: CHECKED BY NAH/PMC PPROVED BY:

DETAILS SHEET

AS SHOWN SCALE:

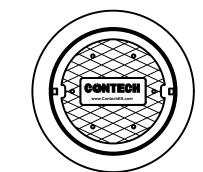
C-505



FRAME AND COVER SHOWN (HATCH OPTION FLUSH) WITH TOP OF STRUCTURE)

CONTRACTOR TO GROUT TO FINISHED GRADE M.A.W. ORIFICE -BYPASS MAINTENANCE ACCESS WALL (M.A.W.) -AND BAFFLE WALL BACKWASH POOL WEIR (6" HIGH) INLET HGL MAX. ELEVATION SEE GENERAL NOTE 6 OUTLET PIPE (15" Ø MAX.) NOTES 8, 9 AND 10 INLET PIPE (12" Ø MAX.) SEE GENERAL NOTES 7 AND 10 CARTRIDGE

JELLYFISH DESIGN NOTES IELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. Ø72" MANHOLE JELLYFISH PEAK TREATMENT CAPACITY IS 1.16 CFS, AND MAXIMUM BYPASS CAPACITY IS 4.00 CFS. IF THE SITE OW RATE HIGH-FLO / DRAINDOWN (cfs) (per cart) 0.18 / 0.09 MAX. CARTS HIGH-FLO/DRAINDOWN MAX. BYPASS (cfs) MAX. TREATMENT (cfs) MAX. TREATMENT AND BYPASS (cfs) (TOTAL CAPACITY)



SITE SPECIFIC DATA REQUIREMENTS	
STRUCTURE ID	6'
WATER QUALITY FLOW RATE (cfs)	0.91
BYPASS FLOW RATE (cfs)	5.00
PEAK FLOW RATE (cfs)	4.42
RETURN PERIOD OF PEAK FLOW (yrs)	50
# OF CARTRIDGES REQUIRED (HF / DD) 5/1	
CARTRIDGE SIZE 54	

<u>GENERAL NOTES:</u>
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.

- 2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE.
- www.ContechES.com 3. JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT
- 4. STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' 3', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
- 5. STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD. 6. INLET HGL NOT TO EXCEED 6" BELOW THE TOP OF THE M.A.W. DURING THE PEAK DESIGN STORM, OR 10-YEAR STORM (WHICHEVER IS GREATER).
- 7. INLET PIPE INVERT ELEVATION VARIES FROM 0" TO 6" MAXIMUM ABOVE THE OUTLET PIPE INVERT.
- 8 OUTLET PIPE INVERT IS FOUAL TO THE CARTRIDGE DECK FLEVATION.
- 9. THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE. 10. THE DIFFERENCE IN THE INLET AND OUTLET PIPE ELEVATIONS FOR RETROFIT INSTALLATIONS TO EXISTING STORM DRAIN PIPES SHALL BE EQUAL TO THE SLOPE OVER THE
- DIAMETER OF THE MANHOLE; NOT THE EXCEED 6" IN VERTICAL DIFFERENTIAL BETWEEN INLET AND OUTLET PIPES. 11. NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

- INSTALLATION NOTES

 A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD. B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED)
- : CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATÉRSTOP OR FLEXIBLE
- D. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- E. CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (866) 740-3318.

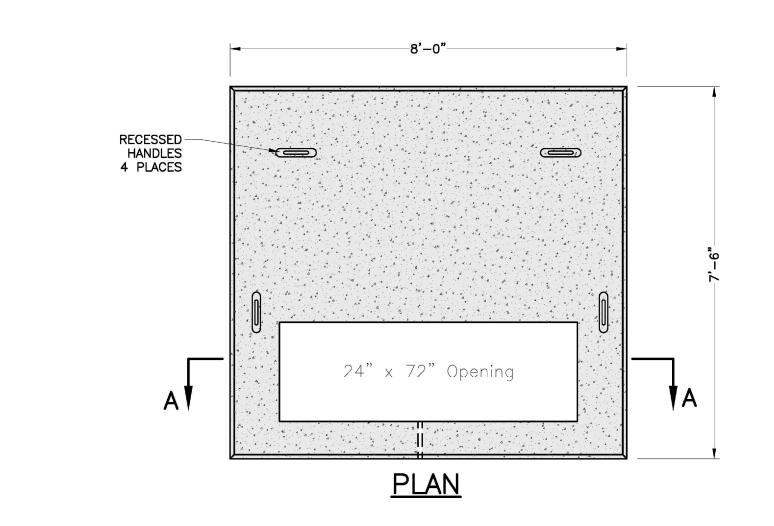


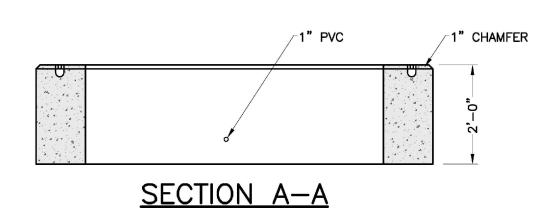
JELLYFISH JF6-5-1 ONLINE CONFIGURATION SECTION A-A

SEPARATOR

HIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF HE FOLLOWING U.S. PATENT NO. 8,287,726, 8,221,618 &

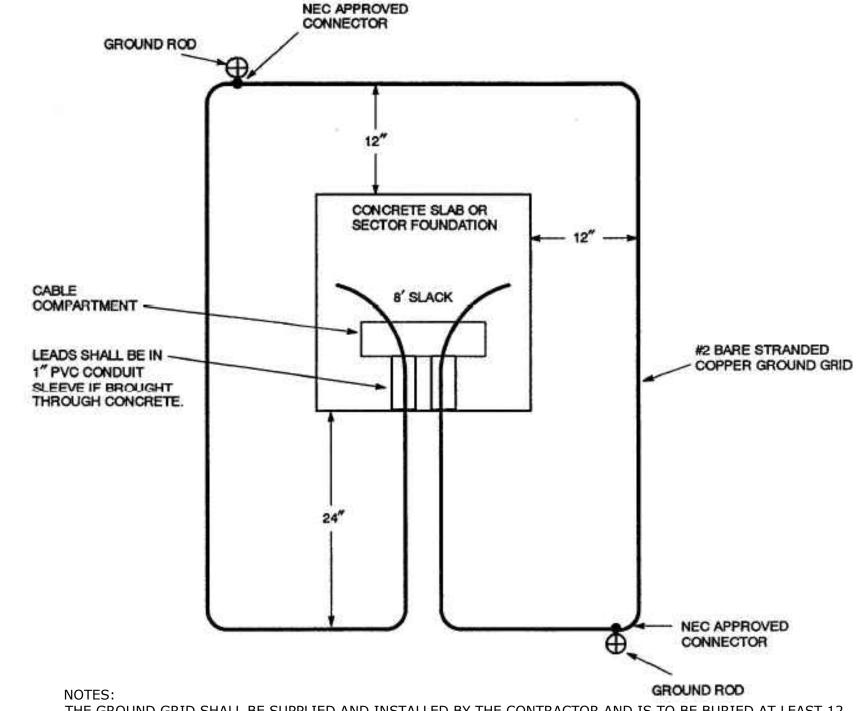
9025 Centre Pointe Dr., Suite 400, West Chester, OH 4506





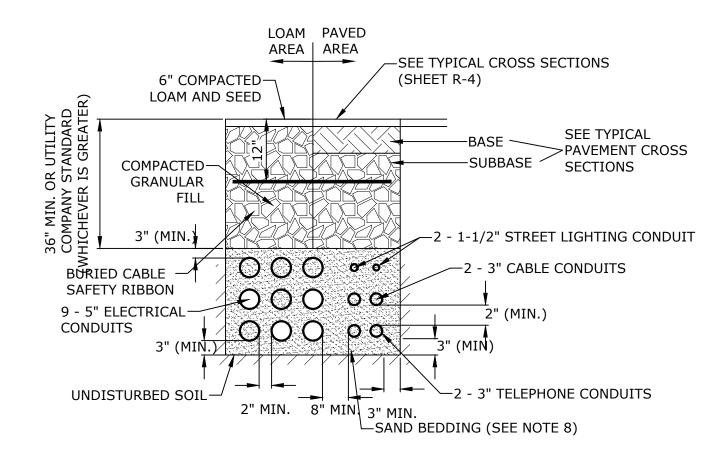
- . DIMENSIONS SHOWN REPRESENT TYPICAL REQUIREMENTS. MANHOLE LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED WITH EVERSOURCE PRIOR
- TO CONSTRUCTION 2. CONCRETE MINIMUM STRENGTH - 4,000
- PSI @ 28 DAYS 3. STEEL REINFORCEMENT - ASTM A615,
- GRADE 60 4. PAD MEETS OR EXCEEDS EVERSOURCE
- SPECIFICATIONS

3-PHASE TRANSFORMER PAD NO SCALE



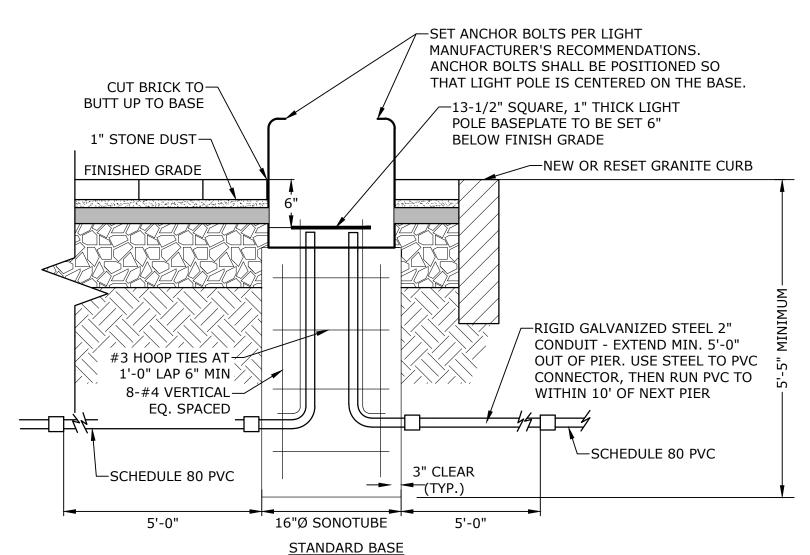
THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12 INCHES BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFORMER. THE TWO 8-FOOT GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.

PAD-MOUNTED EQUIPMENT GROUNDING GRID DETAIL NO SCALE



- NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH
- UTILITY TO BUILDING 2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
- NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS. 4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE
- CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT. 5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
- 6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL **ELECTRIC CODE**
- 7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
- 8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT NO SCALE



REQUIREMENTS.

- 1. REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
- 2. CONCRETE: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI 3. LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS.
- 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.
- STANDARD BASE SHALL BE CONSTRUCTED UNLESS THERE IS CONFLICT WITH THE EXISTING DUCT BANK. SPREAD FOOTING BASE SHALL BE USED IN LIEU OF STANDARD BASE IN LOCATIONS WHERE TOP OF DUCT BANK ELEVATION WILL CONFLICT WITH STANDARD POLE BASE DEPTH. CONTRACTOR SHALL VERIFY LOCATIONS WHERE SPREAD FOOTINGS ARE REQUIRED PRIOR TO CONSTRUCTION. SEE NOTE#4 FOR SUBMITTAL

NO SCALE

NORTH END LIGHT FIXTURE BASE

MANUFACTURER'S RECOMMENDATIONS. ANCHOR BOLTS SHALL BE POSITIONED SO THAT LIGHT POLE IS CENTERED ON THE BASE. ←11" Ø LIGHT POLE MOUNTING CUT BRICK TO-PLATE **BUTT UP TO BASE** -LIGHT POLES SHALL BE PLACED ON THE OUTSIDE EDGE OF SINGLE 1" STONE DUST-STACKED COURSE OF PAVERS. -NEW OR RESET GRANITE CURB FINISHED GRADE -RIGID GALVANIZED STEEL 2" CONDUIT - EXTEND MIN. 5'-0" #3 HOOP TIES AT OUT OF PIER. USE STEEL TO PVC 1'-0" LAP 6" MIN $^{\circ}$ CONNECTOR, THEN RUN PVC TO 8-#4 VERTICAL-WITHIN 10' OF NEXT PIER EQ. SPACED 5 -SCHEDULE 80 PVC 3" CLEAR -SCHEDULE 80 PVC └─(TYP.) 16"Ø SONOTUBE 5'-0" 5'-0" STANDARD BASE

-SET ANCHOR BOLTS PER LIGHT

NOTES:

- 1. REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
- 2. CONCRETE: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI
- LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS.
- 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.
- 5. STANDARD BASE SHALL BE CONSTRUCTED UNLESS THERE IS CONFLICT WITH THE EXISTING DUCT BANK. SPREAD FOOTING BASE SHALL BE USED IN LIEU OF STANDARD BASE IN LOCATIONS WHERE TOP OF DUCT BANK ELEVATION WILL CONFLICT WITH STANDARD POLE BASE DEPTH. CONTRACTOR SHALL VERIFY LOCATIONS WHERE SPREAD FOOTINGS ARE REQUIRED PRIOR TO CONSTRUCTION. SEE NOTE#4 FOR SUBMITTAL REQUIREMENTS.

HISTORIC LIGHT FIXTURE BASE NO SCALE

Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

В	3/10/2021	Design Review Resubmission
Α	12/1/2020	TAC Work Session
ARK	DATE	DESCRIPTION
ROJE	CT NO:	P-0595-007
ATE:		December 22, 2020
ILE:		P-0595-007-DTLS.DWG

DETAILS SHEET

NAH/PMC

DRAWN BY:

CHECKED BY:

APPROVED BY:

AS SHOWN SCALE:

C-506



PROPOSED CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021



EXHIBIT 1

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 1.1: Support The Continued Vitality Of The Urban Core Through Public Investment and Land Use Regulations.	
Action Item 1.1.1: Support reinvestment in underutilized buildings and land.	✓
Action Item 1.1.2: Enhance the quality and connectivity of pedestrian facilities	5. ✓
Action Item 1.1.3: Promote the creation of open spaces, seating areas and oth outdoor amenities.	ier 🗸
Action Item 1.1.5: Encourage public access, use and enjoyment of the downto waterfront.	wn ✓



NORTH END NEIGHBORHOOD DEVELOPMENT
PLANNING BOARD PRESENTATION: MAR 25, 2021





EXISTING CONDITIONS

PLANNING BOARD PRESENTATION: MAR 25, 2021





PROPOSED CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021



EXHIBIT 5

SITE USAGE AREA			
	EXISTING CONDITION FLOOR PROPOSED DEVELOPMENT		
PEDESTRIAN*	1,537 SF	19,964 SF	
OPEN SPACE	46,010 SF	30,933 SF	
PARKING LOT	43,326 SF	31,720 SF	
BUILDING	20,466 SF	32,074 SF	

^{*} INCLUDES IMPROVEMENTS TO PUBLIC RIGHT OF WAY



SITE USAGE COMPARISON

PLANNING BOARD PRESENTATION: MAR 25, 2021



EXHIBIT

6



RAYNES AVE - PORTSMOUTH, NH 2/17/2021

Tighe&Bond

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021



EXHIBIT

7



RENDERING FROM MARSH LANE PARK PLANNING BOARD PRESENTATION: MAR 25, 2021





RENDERING FROM
MAPLEWOOD AVENUE BRIDGE
PLANNING BOARD PRESENTATION: MAR 25, 2021



EXHIBIT 9

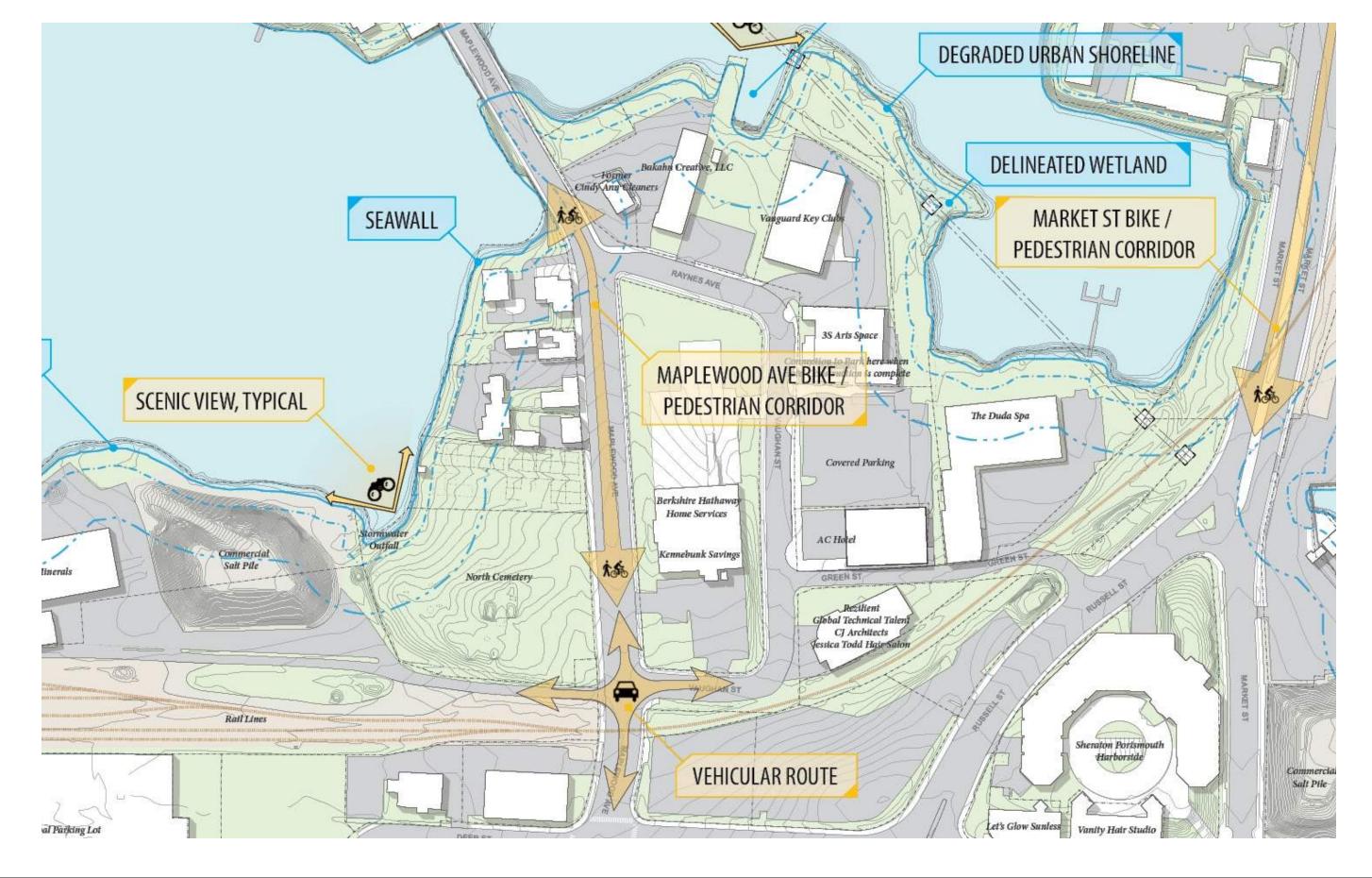


RENDERING FROM MAPLEWOOD AVENUE

PLANNING BOARD PRESENTATION: MAR 25, 2021



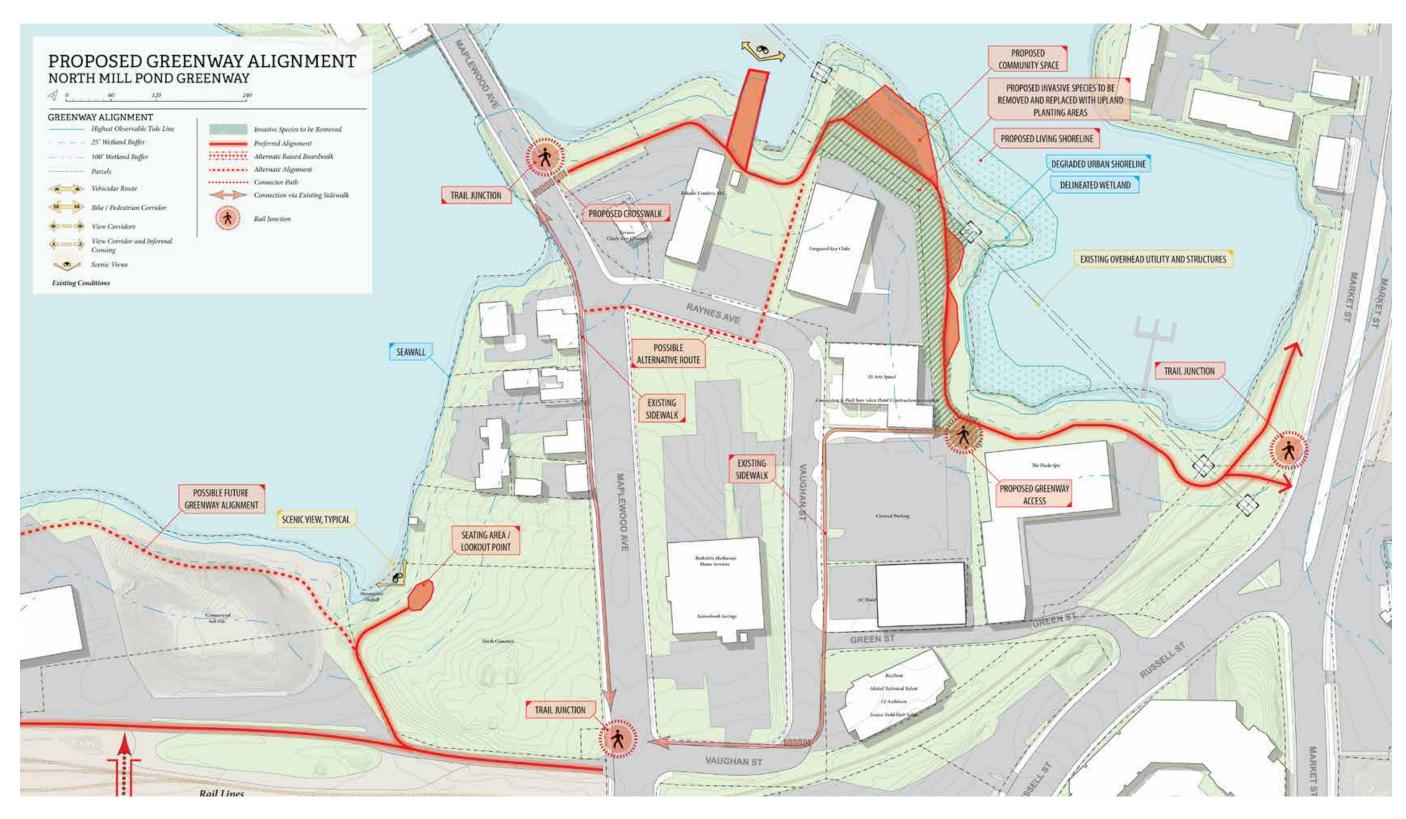
EXHIBIT 10



EXISTING NORTH END CIRCULATION
PLANNING BOARD PRESENTATION: MAR 25, 2021



OVERALL CONCEPTUAL AREA 1 ENLARGEMENT NORTH MILL POND COMMUNITY PARK AND GREENWAY TRAIL | 07/09/2020

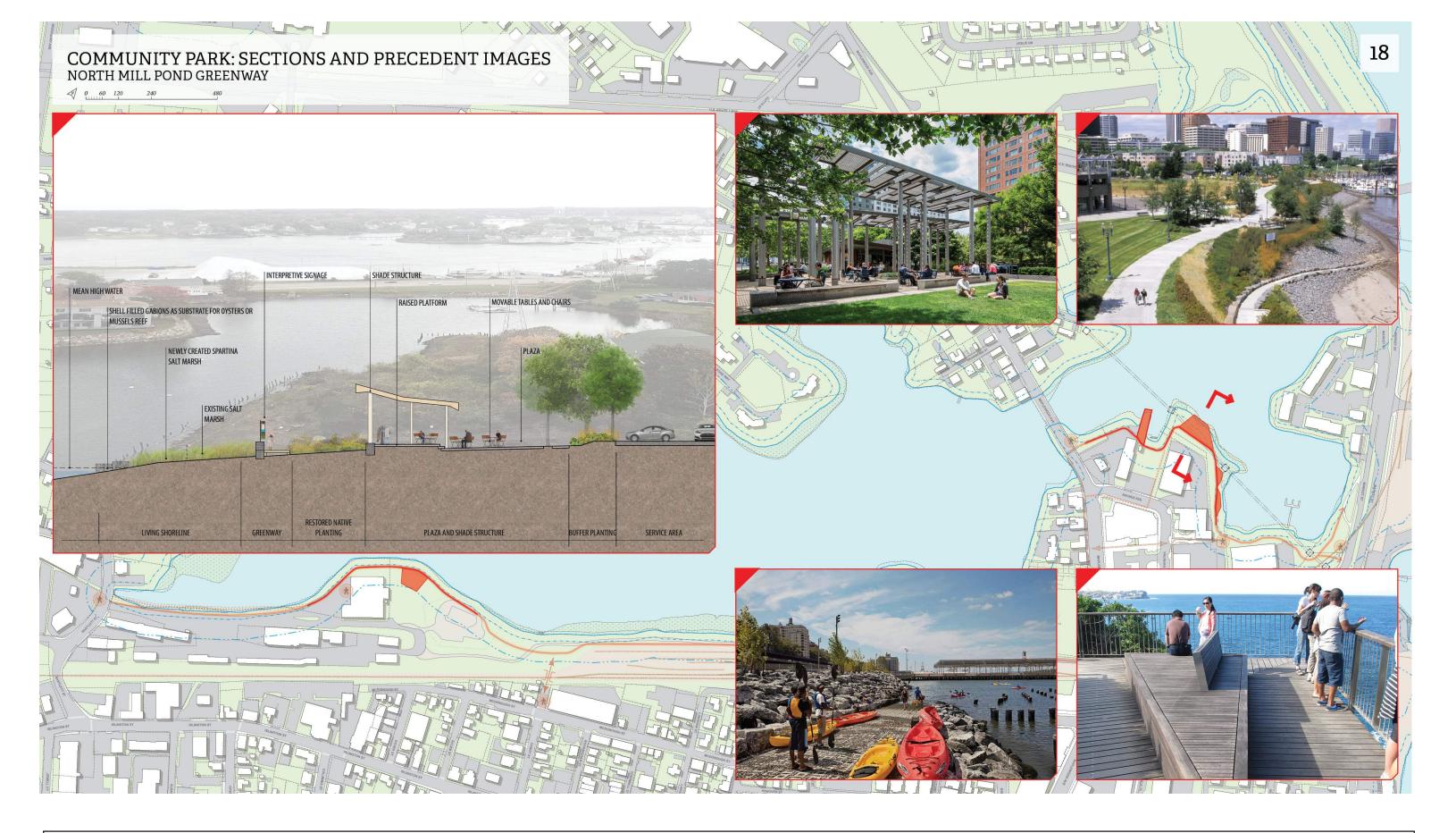


RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

CITY GREENWAY PROPOSAL

PLANNING BOARD PRESENTATION: MAR 25, 2021





CITY GREENWAY PROPOSAL

PLANNING BOARD PRESENTATION: MAR 25, 2021





PROPOSED CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021





OFFICE BUILDING CURRENTLY UNDER CONSTRUCTION - 145 MAPLEWOOD AVENUE



AC HOTEL - 299 VAUGHAN STREET



3S ARTSPACE - 319 VAUGHAN STREET



MIXED-USE LUXURY CONDOS AND OFFICES - 233 VAUGHAN STREET



RENDERING FROM MARSH LANE PARK
PLANNING BOARD PRESENTATION: MAR 25, 2021





RENDERING FROM
MAPLEWOOD AVENUE BRIDGE
PLANNING BOARD PRESENTATION: MAR 25, 2021





RENDERING FROM MAPLEWOOD AVENUE

PLANNING BOARD PRESENTATION: MAR 25, 2021





RENDERING FROM THE CORNER OF MAPLEWOOD & RAYNES AVENUE

PLANNING BOARD PRESENTATION: MAR 25, 2021





PROPOSED CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021





NORTH END NEIGHBORHOOD DEVELOPMENT
PLANNING BOARD PRESENTATION: MAR 25, 2021



Master Plan and Zoning Ordinance Compliance

Our Plan complies with the City's Zoning Ordinance and requires no variances:

- Both hotel and multifamily uses are permitted by right in the CD4 district
- Building heights comply with height standards in the CD4 district and North End Incentive Overlay District
- Design complies with density and dimensional requirements of the CD4 district
- Consistent with recent development North End neighborhood
- Substantial reinvestment in four lots of presently underutilized buildings and land.



BUILDING CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021





OFFICE BUILDING CURRENTLY UNDER CONSTRUCTION - 145 MAPLEWOOD AVENUE



AC HOTEL - 299 VAUGHAN STREET



3S ARTSPACE - 319 VAUGHAN STREET



MIXED-USE LUXURY CONDOS AND OFFICES - 233 VAUGHAN STREET

Project Benefits to the Public Realm

- 1.Revitalizing the North End
- 2.Creation of the City's North Mill Pond Greenway and Park
- 3. Stewardship of Natural Resources

Master Plan Goals	Our Plan		
Goal 1.1: Support The Continued Vitality Of The Urban Core Through Public Investment and Land Use Regulations.	√		
Action Item 1.1.1: Support reinvestment in underutilized buildings and land.	√		
Action Item 1.1.2: Enhance the quality and connectivity of pedestrian facilities.			
Action Item 1.1.3: Promote the creation of open spaces, seating areas and other outdoor amenities.	√		
Action Item 1.1.5: Encourage public access, use and enjoyment of the downtown waterfront.	√		

Master Plan Goals				
Goal 3.2: Accommodate The Housing Needs of Low and Moderate Income				
Residents				
Action Item 3.2.2: Promote the development of mixed-income multifamily	\checkmark			
housing in appropriate locations with incentive zoning provisions; such a				
reduction in parking requirement and increased maximum heights				
Action Item 3.2.5: Encourage the creation of smaller housing units.	✓			
Goal 4.1: Ensure That transportation Improvements are designed to Create				
Convenient, Safe and Accessible Streets for all users.				
Action Item 4.1.4: Complete implementation of citywide wayfinding program.	✓			
Action Item 4.1.7: Incorporate 'green streets' sustainable stormwater strategies	√			

Master Plan Goals	Our Plan		
Goal 1.4: Improve Access To Outdoor Recreation Facilities Throughout The City			
Action Item 1.4.1: Enhance neighborhood parks, recreational facilities and	\checkmark		
playgrounds, and add new ones where appropriate.			
Action Item 1.4.3: Develop a consolidated recreation facility for residents of all	\checkmark		
ages and income levels.			
Action Item 1.4.4: Seek innovative partnerships for the development of	\checkmark		
recreational facilities where opportunities arise.			
Action Item 1.4.6: Create new public spaces that can be used for both	\checkmark		
recreation and flood-plain storage.			
Goal 2.3: Maintain and Establish Usable Public Access To and Along the			
Waterfront			
Action Item 2.3.2: Actively protect, enhance and acquire public waterfront	\checkmark		
access.			

Master Plan Goals	Our Plan	
Goal 4.2: Ensure That Biking and Walking are Safe, Convenient and Comfortable Throughout the City.		
Action Item 4.2.1: Implement Bicycle and Pedestrian Plan priorities in the neighborhoods.	✓	
Action Item 4.2.4: Identify and implement off-road multi-use paths along North Mill Pond and other transportation corridors.	√	
Goal 4.3: Manage Public and Private Parking Supply to Serve Development Needs Without Compromising Community Character.		
Action Item 4.3.4: Develop strategies for determining parking requirements for large projects, including parking study requirement, shared parking provisions and site coverage maximums.		



Master Plan Goals	Our Plan		
Goal 5.1: Implement Best Management Practices and Site Design Standards To Ensure Sustainability and Resilience of Public and Private infrastructure.			
Action Item 5.1.3: Adjust site design standards to include sustainable stormwater measures, increase on-site infiltration, improve water quality, and reduce downstream erosion, sedimentation, and flooding impacts.			
Goal 5.2: Manage Public Open Spaces for Passive Recreation and Environmental Preservation			
Action Item 5.2.1: Identify and prioritize undeveloped land for acquisition and preservation.	√		
Action Item 5.2.2: Pursue open space acquisitions that create wildlife corridors and ecological connections.	√		
Action Item 5.2.4: Create a passive recreational program focused on expansion and maintenance of recreational trails.	√		
Action Item 5.2.6: Develop wayfinding and environmental design consistency for all public open space parcels.	√		



Master Plan Goals	Our Plan
Goal 5.3: Promote Effective Stewardship To Enhance The City's Natural Resources.	✓
Action Item 5.3.1: Implement watershed restoration measures and plans to	√
improve water quality and habitat values.	
Action Item 5.3.2: Protect and care for existing trees, native vegetation and	✓
woodlands, and identify areas for new plantings.	
Action Item 5.3.3: Evaluate health of wetlands and implement restoration	\checkmark
measures where necessary.	
Action Item 5.4.7: Use sustainable design and construction rating systems such	\checkmark
as LEED.	

Master Plan Goals		
Goal 5.4: Promote Efficient Use and Management of Resources.		
Action Item 5.4.3: Strengthen site design standards to prioritize low impact	\checkmark	
stormwater treatment systems to protect water quality and habitat value		
Action Item 5.4.4: Promote use of low-emission and alternative energy	\checkmark	
vehicles through incentives, preferred parking, charging stations and other		
means.		
Action Item 5.4.6: Identify and protect wildlife habitat corridors through	\checkmark	
acquisition, easements, and other preservation methods.		
Action 5.4.7: Use sustainable design and construction rating systems such as LEED.	✓	

Description: Steep wetland bank armored with riprap along the southern wetland edge just off Maplewood Avenue.

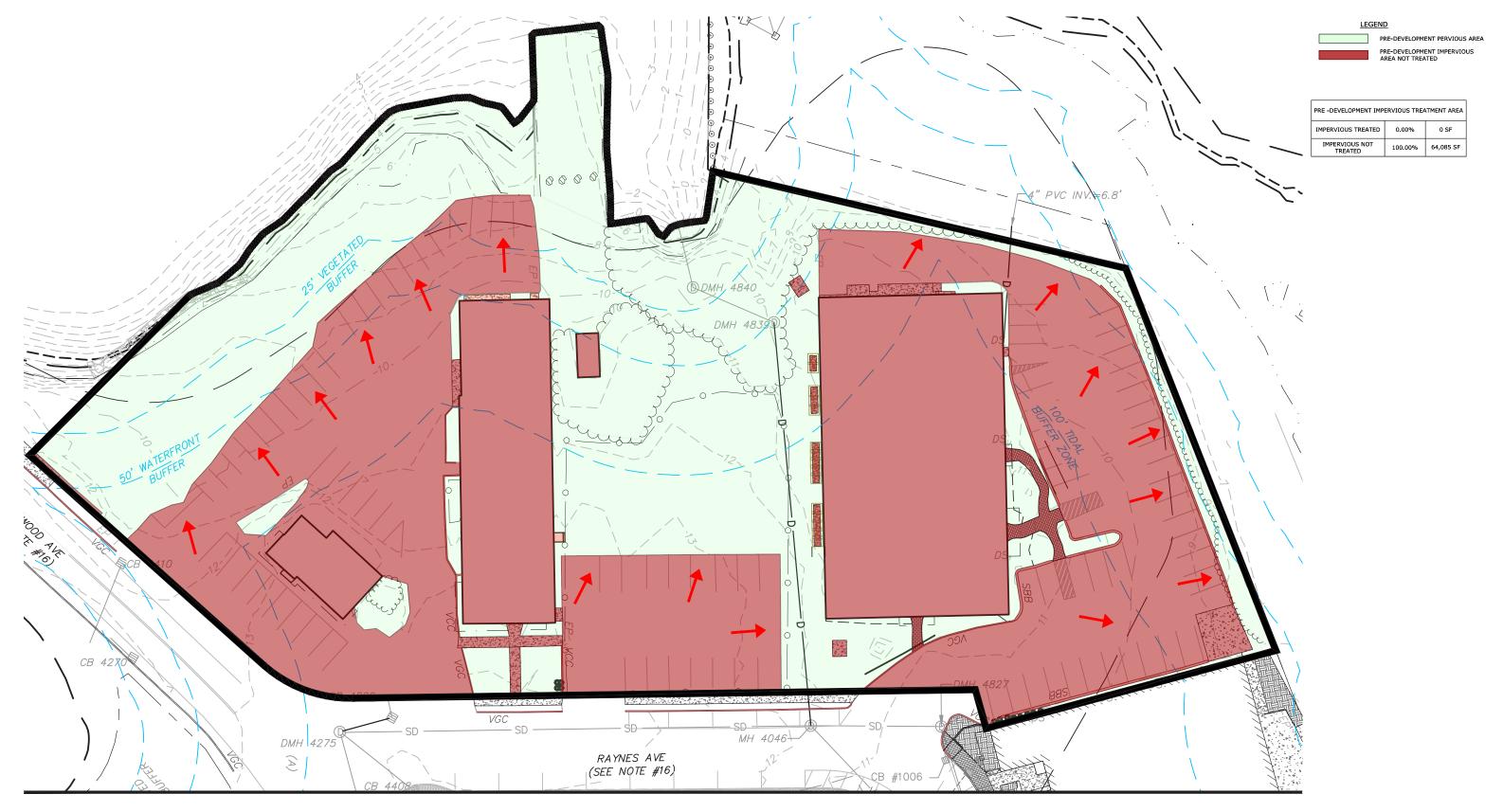


Description: Culvert outlet, steep bank, and filled pier along the northeast edge of 31 Raynes Avenue.



Description: Commercial buildings and parking lot in the tidal buffer viewed from near the wetland edge, with the 31 Raynes Avenue building to the left and 203 Maplewood building to the right.



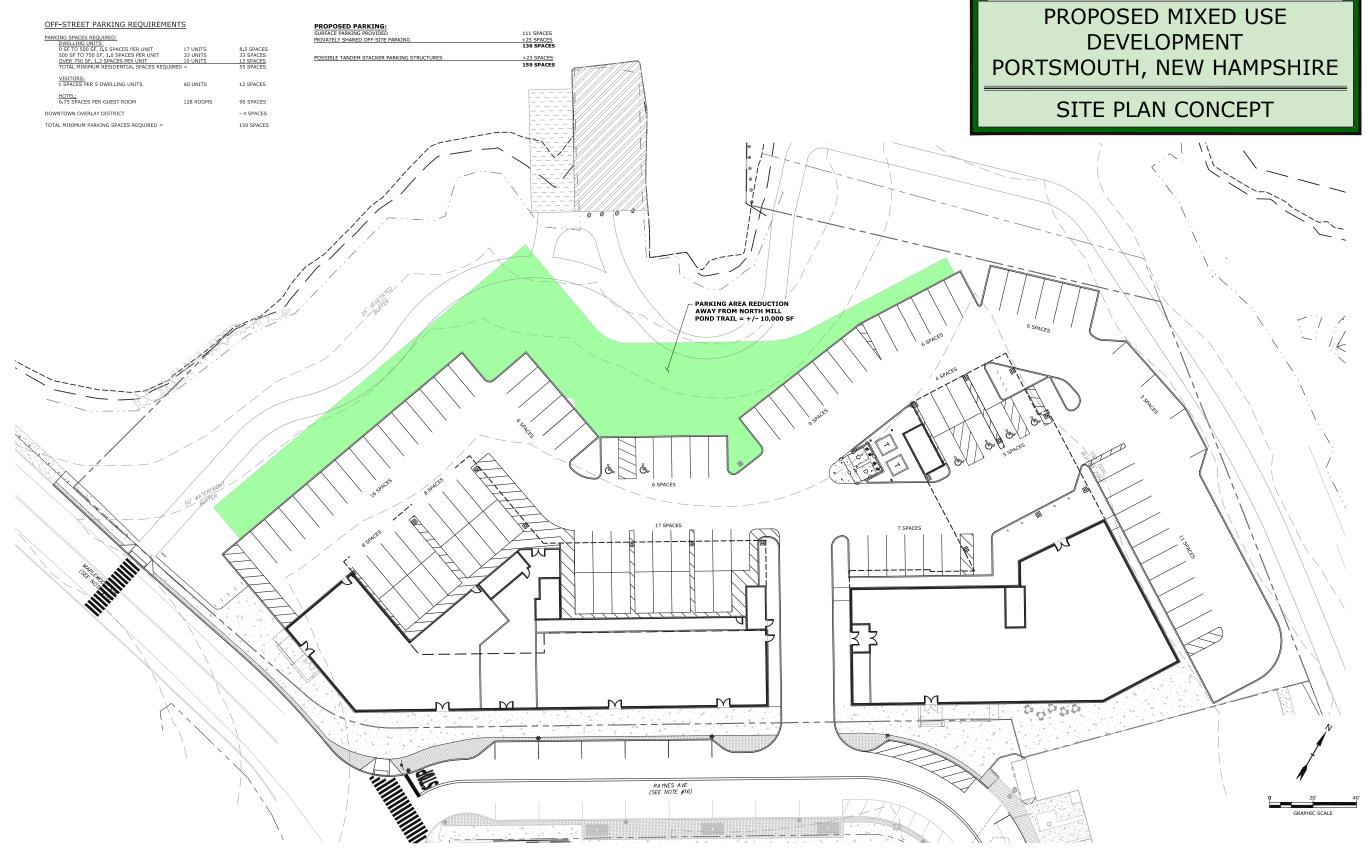


EXISTING DRAINAGE AREA

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

EXISTING DRAINAGE CONDITIONS
PLANNING BOARD PRESENTATION: MAR 25, 2021





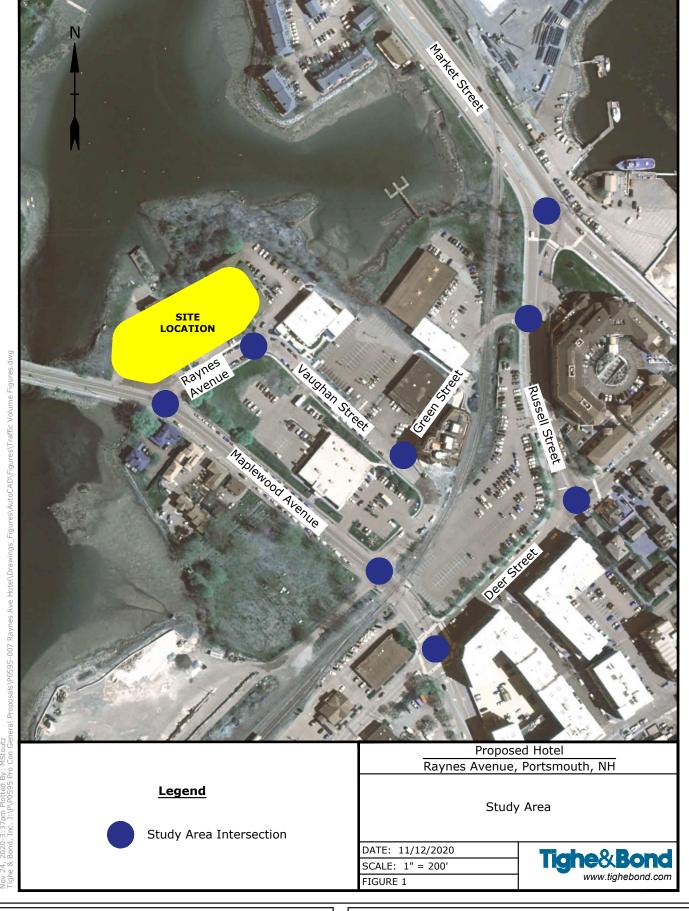
January 29, 2021 P-0595-007-C-DSGN.dwg

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED SITE PLAN

PLANNING BOARD PRESENTATION: MAR 25, 2021



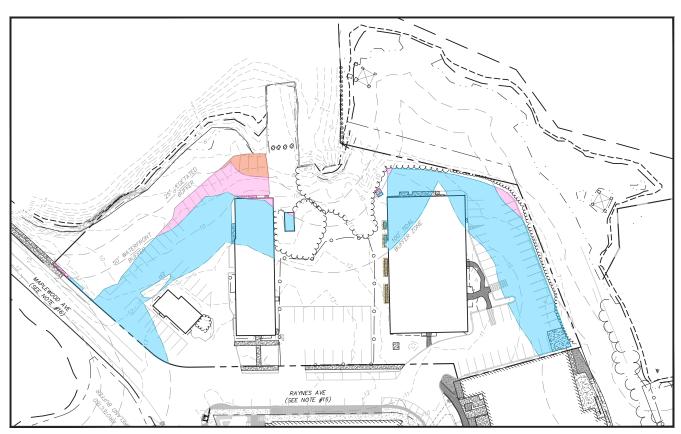


PORTSMOUTH, NEW HAMPSHIRE

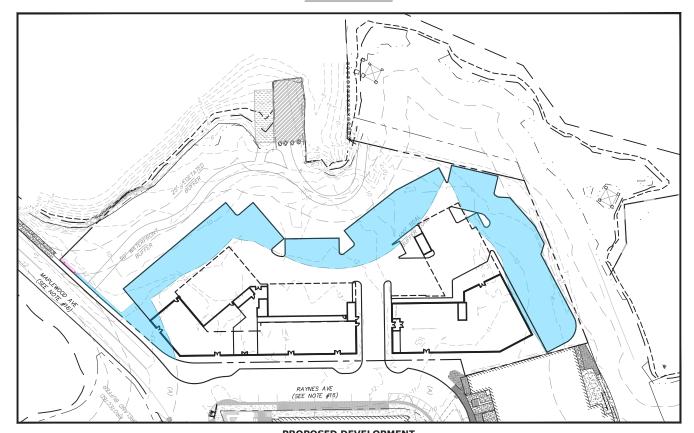
TRAFFIC STUDY

PLANNING BOARD PRESENTATION: MAR 25, 2021





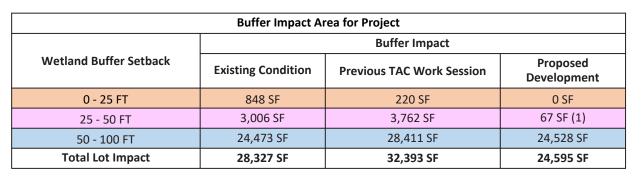
EXISTING CONDITIONS
BUFFER IMPACTS



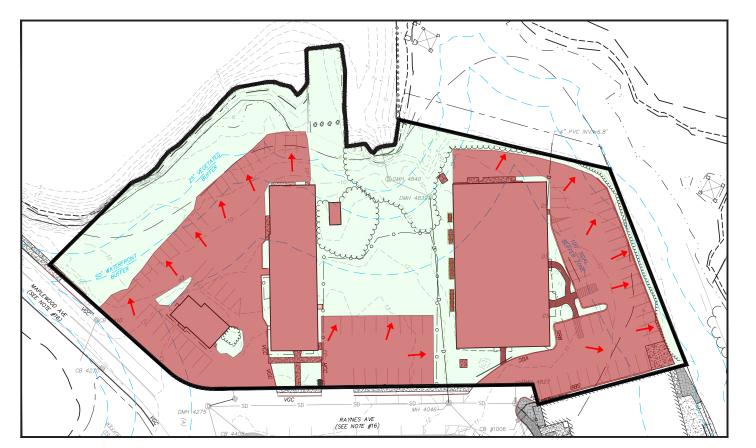
PROPOSED DEVELOPMENT
BUFFER IMPACTS

WETLAND BUFFER IMPACTS

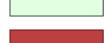
PLANNING BOARD PRESENTATION: MAR 25, 2021



(1) Existing City Sidewalk Area



LEGEND



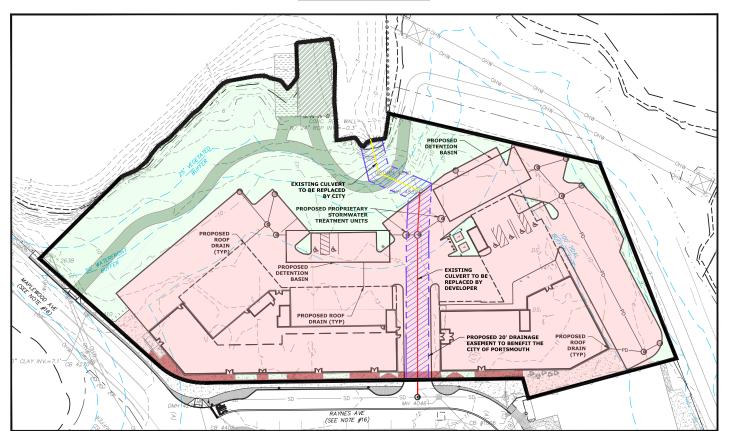
PRE-DEVELOPMENT PERVIOUS AREA



PRE-DEVELOPMENT IMPERVIOUS AREA NOT TREATED

PRE -DEVELOPMENT IMPERVIOUS TREATMENT AREA		
IMPERVIOUS TREATED	0.00%	0 SF
IMPERVIOUS NOT TREATED	100.00%	64,085 SF

EXISTING DRAINAGE AREA



LEGEND

POST-DEVELOPMENT PERVIOUS AREA POST-DEVELOPMENT NORTH MILL POND MULTI-USE PATH POST-DEVELOPMENT IMPERVIOUS

AREA TREATED

POST-DEVELOPMENT IMPERVIOUS ARE NOT TREATED (WIDE CITY SIDEWALK) PROPOSED 20' DRAINAGE EASEMENT

TO BENEFIT THE CITY OF PORTSMOUT EXISTING CULVERT TO BE REPLACED E DEVELOPER

EXISTING CULVERT TO BE REPLACED BY CITY

POST -DEVELOPMENT IMPERVIOUS TREATMENT AREA

IMPERVIOUS TREATED	97.20%	69,072 SF
IMPERVIOUS NOT TREATED	2.80%	1,984 SF

PROPOSED DRAINAGE AREA



RAYNES AVE - PORTSMOUTH, NH 2/17/2021

Tighe&Bond

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021





Tighe&Bond

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021





80 SCALE: 1" = 20'-0"

SITE LANDSCAPE PRECEDENT IMAGERY

Tighe&Bond

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021





80 SCALE: 1" = 20'-0"

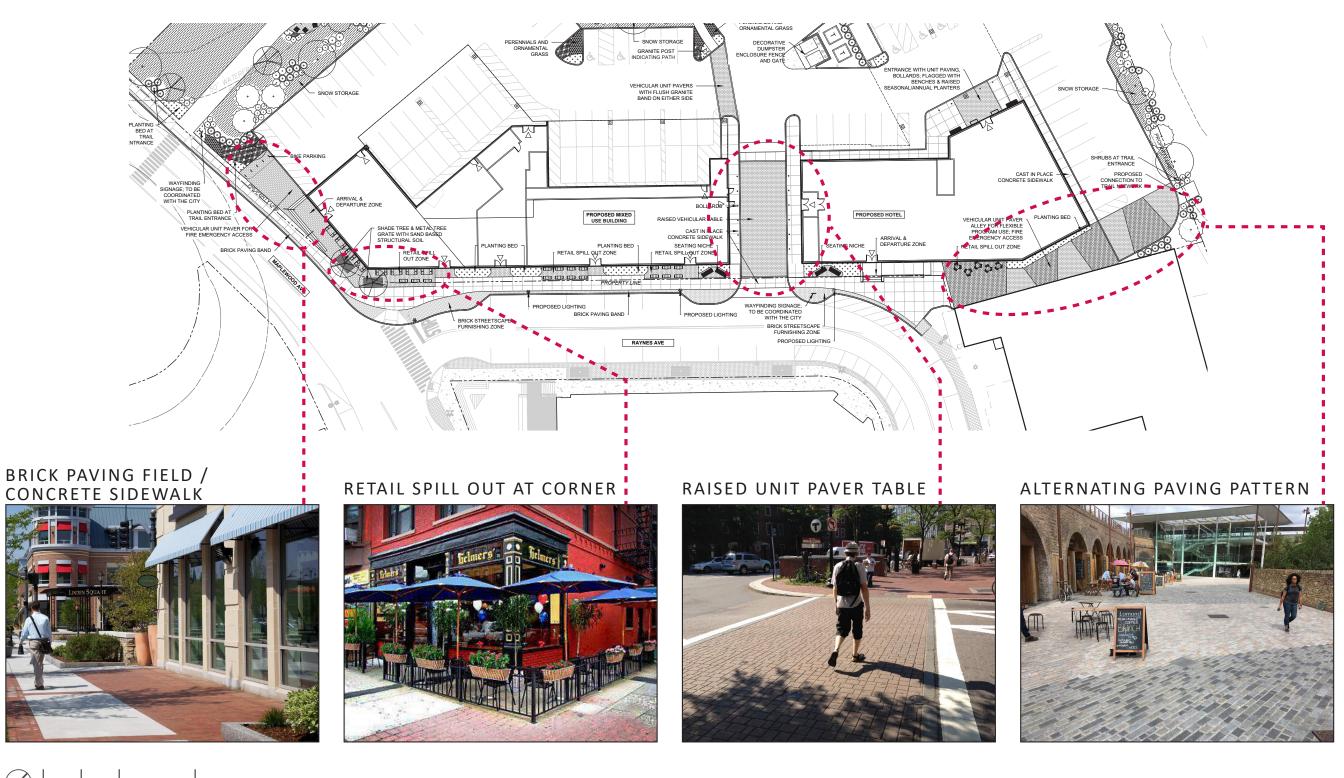
SITE LANDSCAPE PRECEDENT IMAGERY

Tighe&Bond

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021





80 SCALE: 1" = 20'-0" RAYNES AVE - PORTSMOUTH, NH

SITE LANDSCAPE PRECEDENT IMAGERY

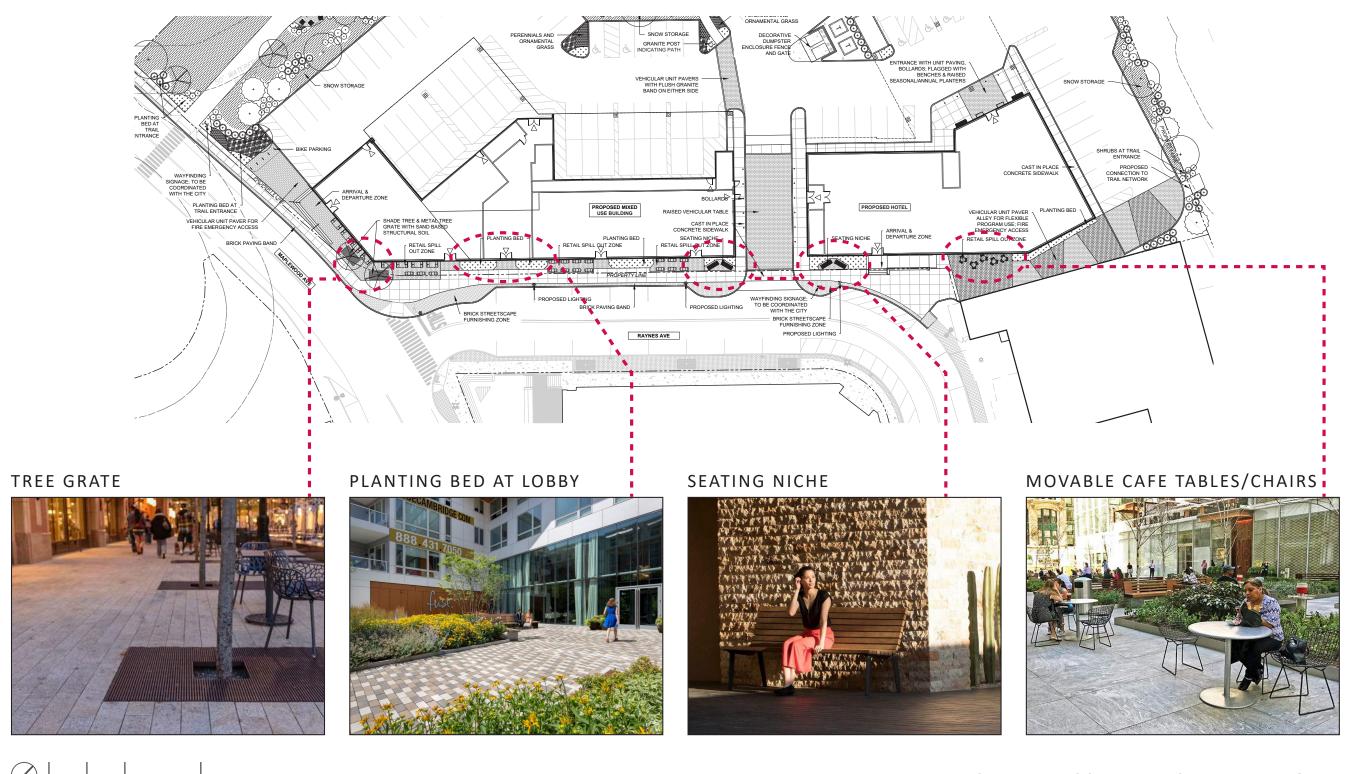
Tighe&Bond

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE

1/29/2021

PROPOSED LANDSCAPE CONCEPT PLANNING BOARD PRESENTATION: MAR 25, 2021

PROCON Tighe&Bond



80 SCALE: 1" = 20'-0"

SITE LANDSCAPE PRECEDENT IMAGERY

Tighe&Bond

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



Description: Shrubby vegetation in the tidal buffer at the northeast corner of 31 Raynes Avenue.



EXISTING SHORELINE BUFFER



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SHORELINE BUFFER CONDITIONS
PLANNING BOARD PRESENTATION: MAR 25, 2021

