

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

Remote Meeting Via Zoom Conference Call

To register in advance for this meeting, click on the link below or copy and paste this into your web browser https://zoom.us/webinar/register/WN_xoXF5gF2Tky8IMULXz1XSg.

You are required to register in advance to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. Public comments can be emailed in advance to planning@cityofportsmouth.com. For technical assistance, please contact the Planning Department by email (planning@cityofportsmouth.com) or phone (603) 610-7216.

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-01, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

7:00 PM

MARCH 25, 2021

AGENDA

I. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. The application of **The Matthew Beebe Revocable Trust 2006, Owner**, for property located at **81 Lincoln Avenue** requesting Conditional Use Permit approval in accordance with Section 10.815 of the Zoning Ordinance for the conversion of an existing studio to a Garden Cottage with 515 square feet of gross floor area. Said property is shown on Assessor Map 113 Lot 35 and lies within the General Residence A (GRA) District.
- B. The application of **Joseph & Jessica DeNuzzio, Owners, and Drew Williams, Applicant** for property located at **105 Thornton Street** requesting a Conditional Use Permit in accordance with Section 10.1112.14 of the Zoning Ordinance for provision of 1 on-site parking space where 2 spaces are required. Said property is shown on Assessor Map 159 Lot 18 and lies within the General Residence A (GRA) District.
- C. Application of **The S. Dick Revocable Trust of 2019, Owner**, for property located at **869 Woodbury Avenue** requesting Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the construction of an Attached Accessory Dwelling Unit of 676 square feet gross floor area to be located

above an existing attached two-car garage. Said property is shown on Assessor Map 219 Lot 37 and lies within the Single Residence B (SRB) District.

- D. Application of **Hope for Tomorrow Foundation, Owner**, for property located at **355 (also known as 315) Banfield Road** requesting a Wetland Conditional Use Permit in accordance with Article 10 Section 10.1017 to install a security fence along the property line resulting in 5 square feet of fence footings in the wetland and 10 square feet in the wetland buffer. Said property is shown on Assessor Map 266 Lot 5 and lies within the Industrial (I) District.
- E. Application of **Karona, LLC, Owner**, for property located at **36 Artwill Avenue** requesting Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the construction of a 1-bedroom 750 square foot Detached Accessory Dwelling Unit located above an existing detached garage. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District.
- F. Request of the **City of Portsmouth** for properties located on **Sagamore Avenue** between Little Harbor Road and 1177 Sagamore Avenue for a Wetland Conditional Use Permit under Article 10 Section 10.1017 of the Zoning Ordinance to install a low pressure sewer system in the City right-of-way as well as on private property resulting in 13,380 square feet of temporary tidal buffer zone impact and 6,755 square feet of temporary inland wetland buffer impact and trench work that will result in 56 square feet of permanent wetland buffer impact.

II. CITY COUNCIL REFERRAL - PUBLIC HEARING

- A. **POSTPONED** Request of **Todd Buttrick, Owner**, for the restoration of involuntarily merged lots at **900 Middle Road** to their pre-merger status pursuant to NH RSA 674:39-aa. **POSTPONED**

III. DESIGN REVIEW – PUBLIC HEARING

- A. The request of **North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners)** for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting Design Review for a 5-story mixed-use building and a 5-story hotel building with associated site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District.

IV. OTHER BUSINESS

- A. Communication regarding separation of lots for **229-231 Raleigh Way**.

V. ADJOURNMENT



MEMORANDUM

To: Planning Board
From: Juliet T.H. Walker, Planning Director *JTW*
Subject: Staff Recommendations for the March 25, 2021 Planning Board Meeting
Date: March 22, 2021

I. PUBLIC HEARINGS – NEW BUSINESS

- A.** The application of **The Matthew Beebe Revocable Trust 2006, Owner**, for property located at **81 Lincoln Avenue** requesting Conditional Use Permit approval in accordance with Section 10.815 of the Zoning Ordinance for the conversion of an existing studio to a Garden Cottage with 515 square feet of gross floor area. Said property is shown on Assessor Map 113 Lot 35 and lies within the General Residence A (GRA) District.

Description

Different from an Accessory Dwelling Unit, a Garden Cottage that complies with the standards of Section 10.815 is otherwise exempt from the residential density standards of the Zoning Ordinance (e.g. minimum lot area per dwelling unit).

Under the off-street parking requirements, the garden cottage and principal dwelling are required to provide 2 off-street parking spaces (1 for the garden cottage of greater than 500 square feet and 1.3 for the primary dwelling rounded up to the nearest whole number).

The Ordinance requires that a Garden Cottage comply with the following standards (Section 10.815.30).

Required Standard	Planning Department Comments
The existing accessory building shall not be expanded either vertically or horizontally, other than through the addition of a front entry not to exceed 50 sq. ft., or a side or rear deck not to exceed 300 sq. ft.	No vertical or horizontal expansions are proposed as part of this application.
The garden cottage shall not be larger than 600 sq. ft. gross floor area.	The proposed Garden Cottage is less than 600 square feet gfa.
A garden cottage that is within the required yard for the zoning district shall not have any windows or doors higher than eight feet above grade facing the adjacent property.	The applicant is requesting a modification to this requirement as there are existing windows on the building that do not meet this requirement.

Required Standard	Planning Department Comments
The principal dwelling unit and the garden cottage shall not be separated in ownership (including by condominium ownership); and either the principal dwelling unit or the garden cottage shall be occupied by the owner of the property.	The principal dwelling will continue to be occupied by the property owners.
Where municipal sewer service is not provided, the septic system shall meet NH Water Supply and Pollution Control Division requirements for the combined system demand for total occupancy of the premises.	The applicant has indicated they have plans to connect a new service line to the proposed Garden Cottage. The final approval for that connection will need to be received from the City's Sewer Division as part of the building permit process.

In order to grant a conditional use permit for a Garden Cottage, the Planning Board must first make the following findings (Sec. 10.815.40):

Required Findings	Planning Department Comments
1. Exterior design of the Garden Cottage is consistent with the existing single-family dwelling on the lot.	This is an existing accessory structure that is compatible in appearance to the principal dwelling and the proposed exterior changes appear to be limited to replacing the front doors and converting the existing garage door on the side with a window wall.
2. The site plan provides adequate open space, landscaping and off-street parking for both the Garden Cottage and the primary dwelling.	The property has an existing backyard that is proximate to both the Garden Cottage and the primary dwelling. 4 off-street parking spaces are provided, which exceeds the minimum requirements of the Zoning Ordinance (1.3 for the primary dwelling and 1 for the garden cottage).
3. The Garden Cottage will maintain a compatible relationship to adjacent properties in terms of location and design, and will not significantly reduce the privacy of adjacent properties.	The Garden Cottage is located close to the property line between and behind the abutting property at 87 Lincoln, which the applicant also owns. If the abutting property was not owned by the same owner, privacy could be an issue although the applicant is not changing anything significantly about the building that would further reduce privacy.
4. The Garden Cottage will not result in excessive noise, traffic or parking congestion.	This is an existing moderately dense residential street. The location of this Garden Cottage will not result in excessive noise, traffic, or parking congestion.

Request for Modifications:

In granting a conditional use permit for a garden cottage, Section 10.815.50 of the Zoning Ordinance allows the Planning Board to modify a specific dimensional or parking standard set forth in Section 10.815.30 provided that the Board finds such modification will be consistent with the required findings in Section 10.815.40. The applicant has requested a modification to Section 10.815.33 that requires that a garden cottage that is located within the required yard (minimum setback from the lot line) shall not have any windows or doors higher than eight feet above grade facing the adjacent property. The applicant has request that the existing windows on the accessory structure that face the abutting properties back yard be allowed to remain.

Planning Department Recommendation

- 1) *Vote to find that the requested modification to allow the existing windows to remain will be consistent with the required findings of Section 10.815.40 and to grant a modification to the requirements of Section 10.815.33 as requested by the applicant.*
- 2) *Vote to find that the application meets the requirements of Section 10.815.40 and to grant to grant the conditional use permit as presented, with the following stipulation:*
 - 2.1) *In accordance with Sec. 10.815.70 of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of Sec. 10.815, including the owner-occupancy requirement, and shall renew the certificate of use annually.*

I. PUBLIC HEARINGS – NEW BUSINESS (Cont.)

B. The application of **Joseph & Jessica DeNuzzio, Owners, and Drew Williams, Applicant** for property located at **105 Thornton Street** requesting a Conditional Use Permit in accordance with Section 10.112.14 of the Zoning Ordinance for provision of 1 on-site parking space where 2 spaces are required. Said property is shown on Assessor Map 159 Lot 18 and lies within the General Residence A (GRA) District.



Description

The off-street parking standards in the City's Zoning Ordinance for 1.3 spaces for residential units that are larger than 750 square feet. The zoning calls for rounding up the total parking to the nearest whole number, so 2 spaces are required for this property, which is a single family home. The applicant is modifying an existing garage to living space and thereby reducing the total number of compliant parking spaces on the property to 1.

Per Section 10.1112.14 of the Zoning Ordinance, the Planning Board may grant a conditional use permit to allow a building or use to provide less than the minimum parking spaces required by the off-street parking standards. An application for a conditional use permit for off-street parking must include a parking demand analysis, which shall be reviewed by the Site Plan Review Technical Advisory Committee.

Per Section 10.1112.142, an application for a conditional use permit shall identify permanent measures to reduce parking demand. The applicant's existing driveway has sufficient room to park two cars side by side. However, the driveway is located partially on City right-of-way and therefore the spaces do not technically meet the dimensional requirements of the Ordinance. The City has no plans to expand or otherwise modify the width of Thornton Street and it is reasonable to expect that the applicant will continue to be able to use the driveway as it is currently designed.

Technical Advisory Committee Review

The TAC reviewed this application at the March 9, 2021 meeting and had no concerns or comments.

Planning Department Recommendation

Vote to find that the number of off-street parking spaces provided will be adequate and appropriate for the proposed use of the property and to grant the conditional use permit as presented.

I. PUBLIC HEARINGS – NEW BUSINESS (Cont.)

- C.** Application of **The S. Dick Revocable Trust of 2019, Owner**, for property located at **869 Woodbury Avenue** requesting Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the construction of an Attached Accessory Dwelling Unit of 676 square feet gross floor area to be located above an existing attached two-car garage. Said property is shown on Assessor Map 219 Lot 37 and lies within the Single Residence B (SRB) District

Description

In addition to the dimensional requirements of Section 10.521, the Ordinance requires that an AADU comply with the following standards (Section 10.814.30 and 10.814.40).

Required Standard	Planning Department Comments
The principal dwelling unit and the accessory dwelling unit shall not be separated in ownership.	The applications meets this requirement.
Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling.	The current owner plans to continue to reside in the principal dwelling.
Neither the principal dwelling nor the accessory dwelling unit shall be used for any business, except that the property owner may have a home occupation use in the unit that he or she occupies as allowed or permitted elsewhere in this Ordinance.	The application meets this requirement.
Where municipal sewer service is not provided, the septic system shall meet NH Water Supply and Pollution Control Division requirements for the combined system demand for total occupancy of the premises.	This property is served by municipal sewer service.
An interior door shall be provided between the principal dwelling unit and the ADU.	There is an interior door connecting from the principal dwelling through the garage to the proposed interior stairs to the new ADU.
The ADU shall not have more than two bedrooms and shall not be larger than 750 sq. ft. gross floor area.	The proposed ADU is 676 square feet and has one bedroom.
Any exterior changes to the single-family dwelling shall maintain the appearance of a single-family dwelling.	The proposed addition is in keeping with the appearance of the existing house.
No portion of the AADU shall be closer to the front lot line than the existing front wall of the principal dwelling unit.	The application meets this requirement.

Required Standard	Planning Department Comments
An exterior wall of the AADU that faces a street on which the lot has frontage shall comprise no more than 40% of the total visible façade area of the dwelling as seen from that street.	This application meets this requirement.
The addition to or expansion of the existing single-family dwelling may include an increase in building height only as an upward expansion of the existing principal building with no increase in building footprint.	The application meets this requirement.
The building height of any addition or expansion that includes an increase in building footprint shall be less than the building height of the existing principal building.	The application meets this requirement.
The AADU shall be architecturally consistent with the existing principal dwelling through the use of similar materials, detailing, roof pitch, and other building design elements.	The application meets this requirement.

In order to grant a conditional use permit for an ADU, the Planning Board must first make the following findings (Sec. 10.814.60):

Required Findings	Planning Department Comments
1. Exterior design of the ADU is consistent with the principal dwelling on the lot.	The design of the ADU is consistent with the principal dwelling.
2. The site plan provides adequate open space, landscaping and off-street parking for both the ADU and the primary dwelling.	There is an existing yard that is accessible to both the ADU and the principal dwelling and adequate size to be shared space. There is sufficient off-street parking on the site for both dwellings.
3. The ADU will maintain a compatible relationship to adjacent properties in terms of location, design and off-street parking layout and will not significantly reduce the privacy of adjacent properties.	This addition above an existing attached garage will maintain a compatible relationship with adjacent properties and will not impact privacy.
4. The ADU will not result in excessive noise, traffic or parking congestion.	This 1-bedroom addition in an existing residential neighborhood will not have undue impact on noise, traffic, or parking.

Planning Department Recommendation

Vote to grant the conditional use permit as presented, with the following stipulation:

- 1. In accordance with Section 10.814.70 of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of Section 10.814, including the owner-occupancy requirement, and shall renew the certificate of use annually.*

I. PUBLIC HEARINGS – NEW BUSINESS (Cont.)

- D. Application of Hope for Tomorrow Foundation, Owner, for property located at 355 (also known as 315) Banfield Road** requesting a Wetland Conditional Use Permit in accordance with Article 10 Section 10.1017 to install a security fence along the property line resulting in 5 square feet of fence footings in the wetland and 10 square feet in the wetland buffer. Said property is shown on Assessor Map 266 Lot 5 and lies within the Industrial (I) District.

Description

This application is to install a 6 foot tall chain link fence in the wetland and wetland buffer on this property. The fence will have footings including 5 square feet in the wetland area and 10 square feet in the wetland buffer area.

1. *The land is reasonably suited to the use activity or alteration.* The applicant is putting up security fence for the school.
2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.* Given that the fence is along the property line this is the appropriate location.
3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.* The proposed fence will have a minimal impact on the wetland functional values.
4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.* The project does not propose to impact vegetation.
5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.* The proposal is only putting concrete where the fence needs added support as such this is the least impacting alternative.
6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.* The applicant is not proposing any impacts to natural vegetation.

Conservation Commission Review

The Conservation Commission reviewed this application at the February 10, 2021 meeting and voted unanimously to recommended approval of the application with one stipulation:

- 1) That the fence be kept at least six inches off the ground within the wetland area.

This stipulation was added to allow for the passage of wildlife underneath the fence.

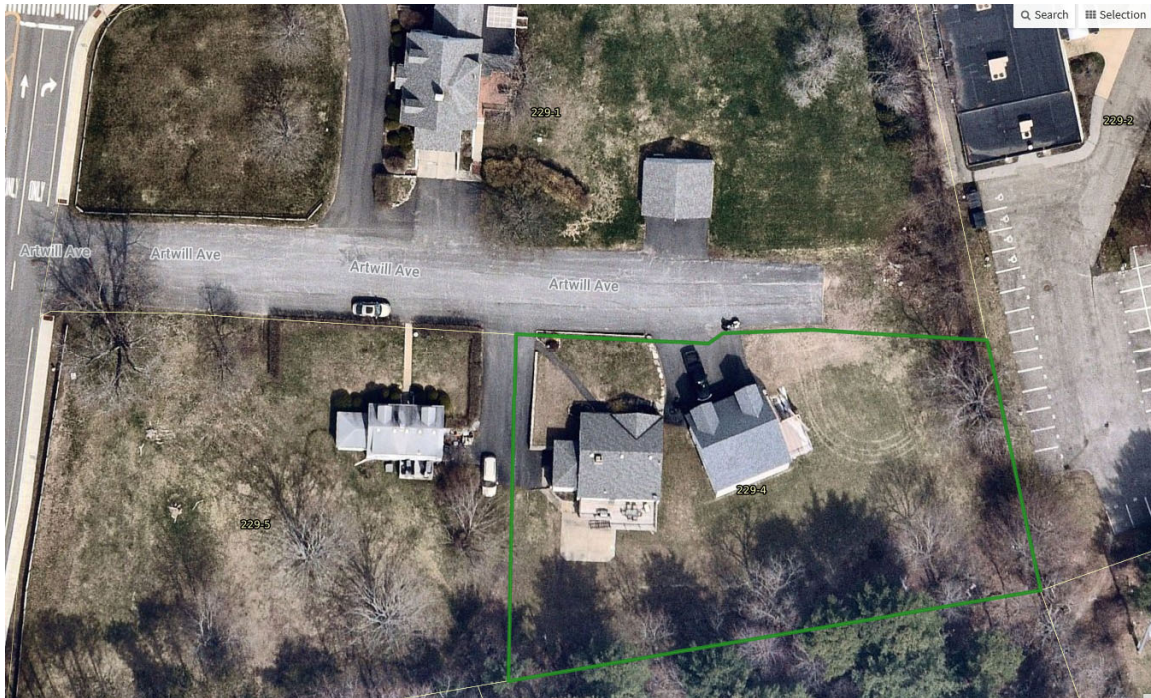
Planning Department Recommendation

Vote to approve the Wetland Conditional Use Permit as presented with the following stipulation:

- 1. The fence shall be kept at least six inches off the ground within the wetland area.*

I. PUBLIC HEARINGS – NEW BUSINESS (Cont.)

- E. Application of **Karona, LLC, Owner**, for property located at **36 Artwill Avenue** requesting Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the construction of a 1-bedroom 750 square foot Detached Accessory Dwelling Unit located above an existing detached garage. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District.



Description

The applicant is seeking approval to create an accessory dwelling unit above an existing detached garage. The garage was previously constructed but there is a partially finished space for a living unit above that was added by the previous owner.

In July 2017, the applicant submitted an application to the Planning Board for a conditional use permit (CUP) for a detached accessory dwelling unit (DADU) that requested modifications to the dimensional requirements for maximum gross floor area and distance from the principal dwelling. Because the property at the time was not owner-occupied, the applicant also requested that the Planning Board approval of the be contingent upon a future sale of the property. Therefore, the Planning Board approval would have needed to stipulate that a certificate of use would not be issued until the new owner occupied the property. The application was denied approval by the Planning Board.

In September 2017, the applicant submitted a new modified CUP application that proposed to comply with the maximum gross floor area limit and also proposed an ownership arrangement that he believed legally satisfied the owner-occupancy requirement (if not the actual intent) of the Ordinance. The application was denied

approval by the Planning Board due to the fact that the ownership arrangement did not satisfy the owner-occupancy requirement for an ADU.

The current applicant is now the 100% owner and occupant of 36 Artwill Avenue and therefore satisfies the ownership requirements of the Ordinance. However, the application still requires modifications to some of the required standards, as summarized below.

Note, because the garage was constructed after the effective date of the ADU Ordinance, it would not qualify as a Garden Cottage.

Per Section 10.814.20 of the Ordinance, in order for a lot to be eligible for an accessory dwelling unit, the lot and all proposed structures and additions to existing structures shall conform to zoning regulations. This lot was nonconforming for street frontage and, for this reason, the applicant applied to the Zoning Board of Adjustment requesting a variance to allow 0' street frontage where 100' is required as this lot does not have frontage on a road that has been approved and accepted by the City. The Zoning Board granted the requested relief at their February 2021 meeting.

In addition to the dimensional requirements of Section 10.521, the Ordinance requires that a DADU comply with the following standards (Section 10.814.30 and 10.814.50).

Required Standard	Planning Department Comments
The principal dwelling unit and the accessory dwelling unit shall not be separated in ownership.	The application complies with this requirement.
Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling. When the property is owned by one or more trusts, one of the dwelling units shall be the principal place of residence of the beneficiary(ies) of the trust(s).	The application complies with this requirement.
Neither the principal dwelling nor the accessory dwelling unit shall be used for any business, except that the property owner may have a home occupation use in the unit that he or she occupies as allowed or permitted elsewhere in this Ordinance.	The application complies with this requirement.
Where municipal sewer service is not provided, the septic system shall meet NH Water Supply and Pollution Control Division requirements for the combined system demand for total occupancy of the premises.	This property is on municipal sewer.

Required Standard	Planning Department Comments
In a Single Residence district, a lot with a DADU shall comply with the minimum lot area for the district, but need not comply with the minimum lot area per dwelling unit.	This property meets this requirement.
The DADU shall not have more than two bedrooms and shall not be larger than 750 sq. ft. gross floor area; except that the maximum gross floor area shall be 1,000 sq. ft. if the lot area is 2 acres or more.	This application meets this requirement.
The DADU shall be clearly subordinate to the principal single-family dwelling in scale, height and appearance.	The applicant is requesting a modification to this standard (see below).
The façade area of the DADU that faces a street on which the lot has frontage shall be no more than 40 percent of the combined visible façade areas of the principal single family dwelling and the DADU facing the same street.	The applicant has requested a modification for this standard given that the garage was constructed by a previous owner. Furthermore, as this property technically does not have street frontage, there is question as to whether the applicant would need to comply with this requirement.
The building height of the DADU shall be less than the building height of the principal single-family dwelling.	The applicant has requested a modification to this standard considering the garage was constructed by a previous owner.
The DADU shall be architecturally consistent with the principal dwelling through the use of similar materials, detailing, and other building design elements.	The garage is architecturally consistent with the principal dwelling.
The DADU shall be separated from the single-family dwelling by at least 20 feet.	The applicant has requested a modification from this standard given that the garage was constructed by a previous owner. The proposed DADU will be 10.2' from the principal dwelling. The Inspection Department previously confirmed that a foundation permit for the existing garage was approved in 2013/2014.
The front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single-family dwelling.	The applicant has requested a modification from this standard given that the garage was constructed by a previous owner.

Required Standard	Planning Department Comments
No portion of the DADU shall be located in any required front yard, regardless of the location of the single-family dwelling.	The applicant has requested a modification from this standard given that the garage was constructed by a previous owner. Furthermore, as this property technically does not have street frontage, there is question as to whether the applicant would need to comply with this requirement.

In order to grant a conditional use permit for an DADU, the Planning Board must first make the following findings (Sec. 10.814.60):

Required Findings	Planning Department Comments
1. Exterior design of the ADU is consistent with the principal dwelling on the lot.	The exterior design of the ADU is generally consistent with the principal dwelling.
2. The site plan provides adequate open space, landscaping and off-street parking for both the ADU and the primary dwelling.	Both the primary dwelling and the proposed accessory dwelling unit will have access to usable open space and the existing landscaping on the property will not be altered. As the foundation for the garage was previously approved by the City, the proposed DADU will not be further limiting the open space access for the primary residence.
3. The ADU will maintain a compatible relationship to adjacent properties in terms of location, design and off-street parking layout and will not significantly reduce the privacy of adjacent properties.	The ADU is not located in close proximity to existing homes or on adjacent lots and is generally compatible with the neighborhood.
4. The ADU will not result in excessive noise, traffic or parking congestion.	The proposed 1-bedroom ADU, which will be located on an existing residential street with sufficient off-street parking will not result in excessive noise, traffic, or parking congestion.

Request for Modifications:

The applicant requests modifications of required standards pursuant to Section 10.814.70 of the Zoning Ordinance. Some of these standards have been added and/or clarified in subsequent amendments to the Zoning Ordinance since the previous application. The modifications requested are as follows:

- That the facade area of the DADU that faces the street shall be no more than 40% of the combined visible façade.
- That the building height of the DADU shall be less than the building height of the principal dwelling.

- That the DADU shall be separated from the principal dwelling by at least 20 feet.
- That the front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single family dwelling.
- No portion of the DADU shall be located in any required front yard.

Planning Department Recommendation

- 1) *Vote to find that the requested modifications will be consistent with the required findings of Section 10.814.60 and to grant a modification to the requirements of Section 10.814.53, 10.814.54, 10.814.55, and 10.814.56 as requested by the applicant.*
- 2) *Vote to grant the conditional use permit as presented, with the following stipulation:*
 - 2.1. *In accordance with Section 10.814.70 of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of Section 10.814, including the owner-occupancy requirement, and shall renew the certificate of use annually.*

I. PUBLIC HEARINGS – NEW BUSINESS (Cont.)

- F. Request of the **City of Portsmouth** for properties located on **Sagamore Avenue** between Little Harbor Road and 1177 Sagamore Avenue for a Wetland Conditional Use Permit under Article 10 Section 10.1017 of the Zoning Ordinance to install a low pressure sewer system in the City right-of-way as well as on private property resulting in 13,380 square feet of temporary tidal buffer zone impact and 6,755 square feet of temporary inland wetland buffer impact and trench work that will result in 56 square feet of permanent wetland buffer impact.

Description

This application is from the City of Portsmouth for a project that will install municipal sewer infrastructure along Sagamore Avenue to an area currently served only by individual septic systems. The new system installation will create temporary impacts as low pressure sewer lines are installed under roadways and in yards of existing homes.

1. *The land is reasonably suited to the use activity or alteration.* There are 7860 square feet of temporary impact on private property and in City right-of-way and 32 square feet of impact in the previously disturbed tidal buffer zone. Within the undisturbed 100' wetland buffer zone there are 350 square feet of temporary impact. Given this project will replace aging septic systems with City sewer the proposed impacts are warranted to achieve an improved water quality for Sagamore Creek.
2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.* Given that sewer needs to follow the road network there is no alternative location for this project.
3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.* The proposed 35 square feet of wetland buffer impact is all within a previously disturbed wetland buffer area mainly in front lawns of house. This temporary impact consists of new sewer covers and will not create an adverse impact to the wetland functional values in the adjacent wetland areas.
4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.* The project is mainly in City right-of-way or lawn areas. Where there are potential impacts with trees or other vegetation the route has been selected to reduce these impacts.
5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.* The proposal is not proposing any new impacts in undisturbed buffer areas and as such is the least impacting alternative.
6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.* The applicant has worked to reduce impacts to natural vegetation.

Conservation Commission Review

Conservation Commission reviewed this application at the March 10, 2021 meeting and voted unanimously to recommended approval with one member abstaining.

Planning Department Recommendation

- 1) *Vote to grant the Wetland Conditional Use Permit as presented.*

II. CITY COUNCIL REFERRAL – PUBLIC HEARING

- A.** Request of **Todd Buttrick, Owner**, for the restoration of involuntarily merged lots at **900 Middle Road** to their pre-merger status pursuant to NH RSA 674:39-aa.

Assessing Department Review

The Assessing Department is still reviewing this request and has requested the hearing be postponed to the April meeting.

Planning Department Recommendation

Vote to postpone this hearing to the April Planning Board meeting.

III. DESIGN REVIEW – PUBLIC HEARING

- A. The request of **North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners)** for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting Design Review for a 5-story mixed-use building and a 5-story hotel building with associated site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District.



Description

This item is a request for Design Review under the Site Plan Review Regulations. Under the State statute (RSA 676:4,II), the Design Review phase is an opportunity for the Planning Board to discuss the approach to a project before it is fully designed and before a formal application for Site Plan Review is submitted. The Design Review phase is not mandatory and is nonbinding on both the applicant and the Planning Board.

Although the State statute calls this pre-application phase “design review,” it does not encompass review of architectural design elements such as façade treatments, rooflines and window proportions. Rather, it refers to site planning and design issues such as the size and location of buildings, parking areas and open spaces on the lot; the interrelationships and functionality of these components, and the impact of the development on adjoining streets and surrounding properties.

The process as outlined in Section 2.4.3 of the Site Review regulations is that the Board first has to determine that the request for design review includes sufficient information to allow the Board to understand the project and identify potential issues and concerns,

and, if so, vote to accept the request and schedule a public hearing. *Completion of the design review process also has the effect of vesting the project to the current zoning.*

Design review discussions must take place in a public hearing. At the conclusion of the public hearing process, the Board makes a determination that the design review process for the application has ended.

At the December 2020 Planning Board meeting, the Board voted to accept the request and schedule a public hearing.

Planning Department Recommendation

Vote to find that the Design Review process is complete.

MDB DESIGN, LLC

Residential Design Services and Construction Consulting

City of Portsmouth
Planning Department

GARDEN COTTAGE NARRATIVE

Regarding the proposal to create a “Garden Cottage” in an existing garage structure located at 81 Lincoln Avenue, Portsmouth, NH.

- The principal residence at 81 Lincoln Ave is a single family dwelling owned by the Beebe-Jenny Revocable Trust and is occupied by the owners, Matthew Beebe and Barbara Jenny. The dwelling will remain under common ownership. The accessory dwelling would be located in the existing garage/studio structure, which would be converted to living space. The Garden Cottage is detached.

- The principal dwelling will remain occupied by the owners, Matthew Beebe and Barbara Jenny. A copy of the city tax card proving ownership and residency will be included in the application.

- The proposal is for an accessory dwelling unit. No structure will be used for business, other than home occupations as permitted by the zoning ordinance.

- A new municipal service line is planned for using an easement between the property at 81 Lincoln Ave and the property at 87 Lincoln Ave. A draft copy of the easement will be provided with the application.

- There is room for (4) parking spaces on the property as indicated in the site/parking plan. Therefore, no additional traffic or parking congestion would be created by the approval of the application.

- The applicants request a dimensional modification from Article 10.815.33 where no windows are allowed that exceed 8'-0" above grade. In this instance, the building proposed for conversion to a garden cottage has (4) existing windows in the elevation that faces the adjacent property (also owned by Mr. Beebe and Ms. Jenny). The applicant ask that those windows be allowed to remain as constructed in the interest of light and air for the garden cottage.

CONSULTANTS

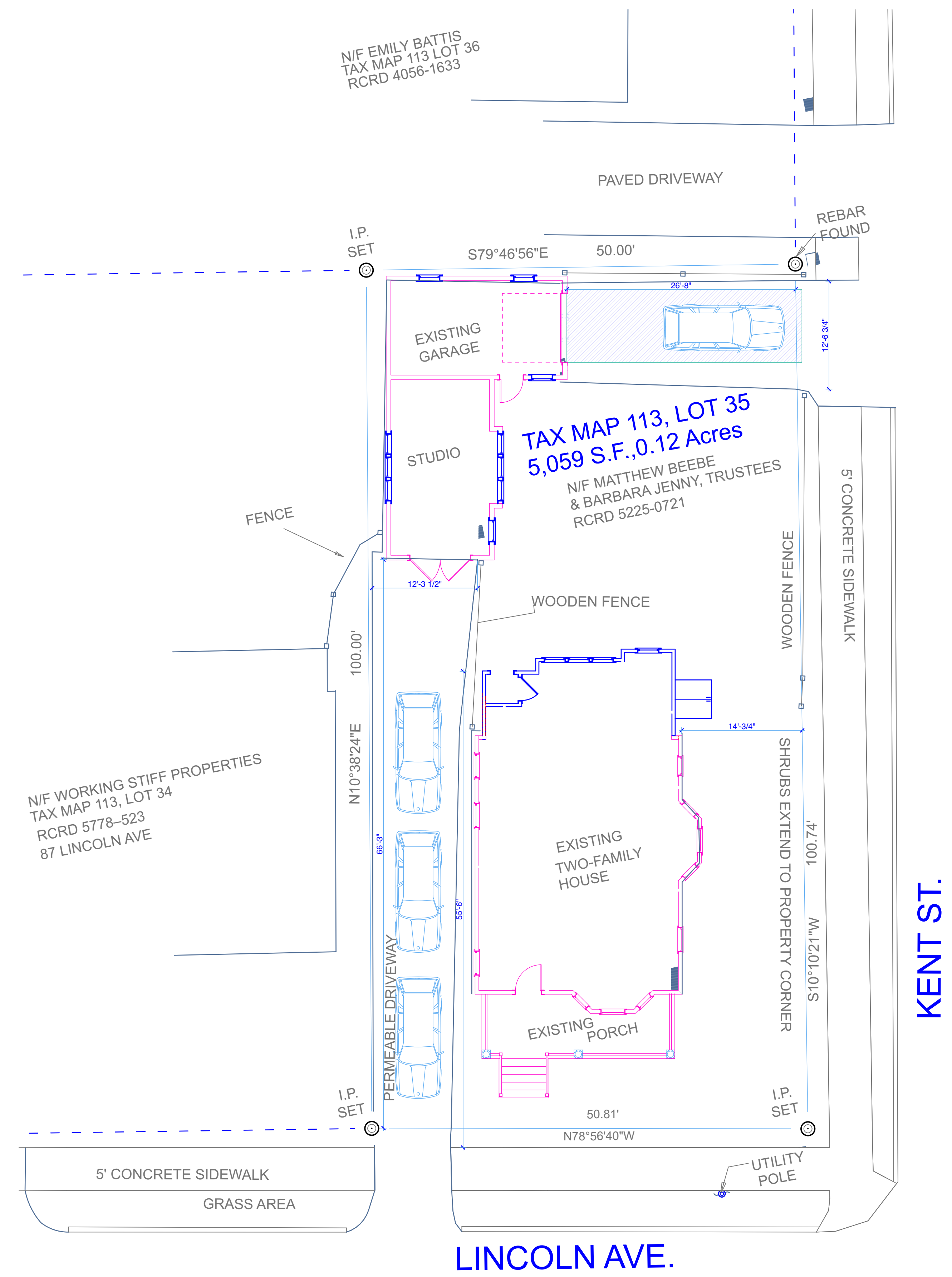
PARKING PLAN
BEEBE-JENNY RESIDENCE
81 LINCOLN AVE
PORTSMOUTH, NH 03801

MARK	DATE	DESCRIPTION
	2/05/21	SITE PLAN

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

SHEET TITLE

SITE PLAN W/ PARKING

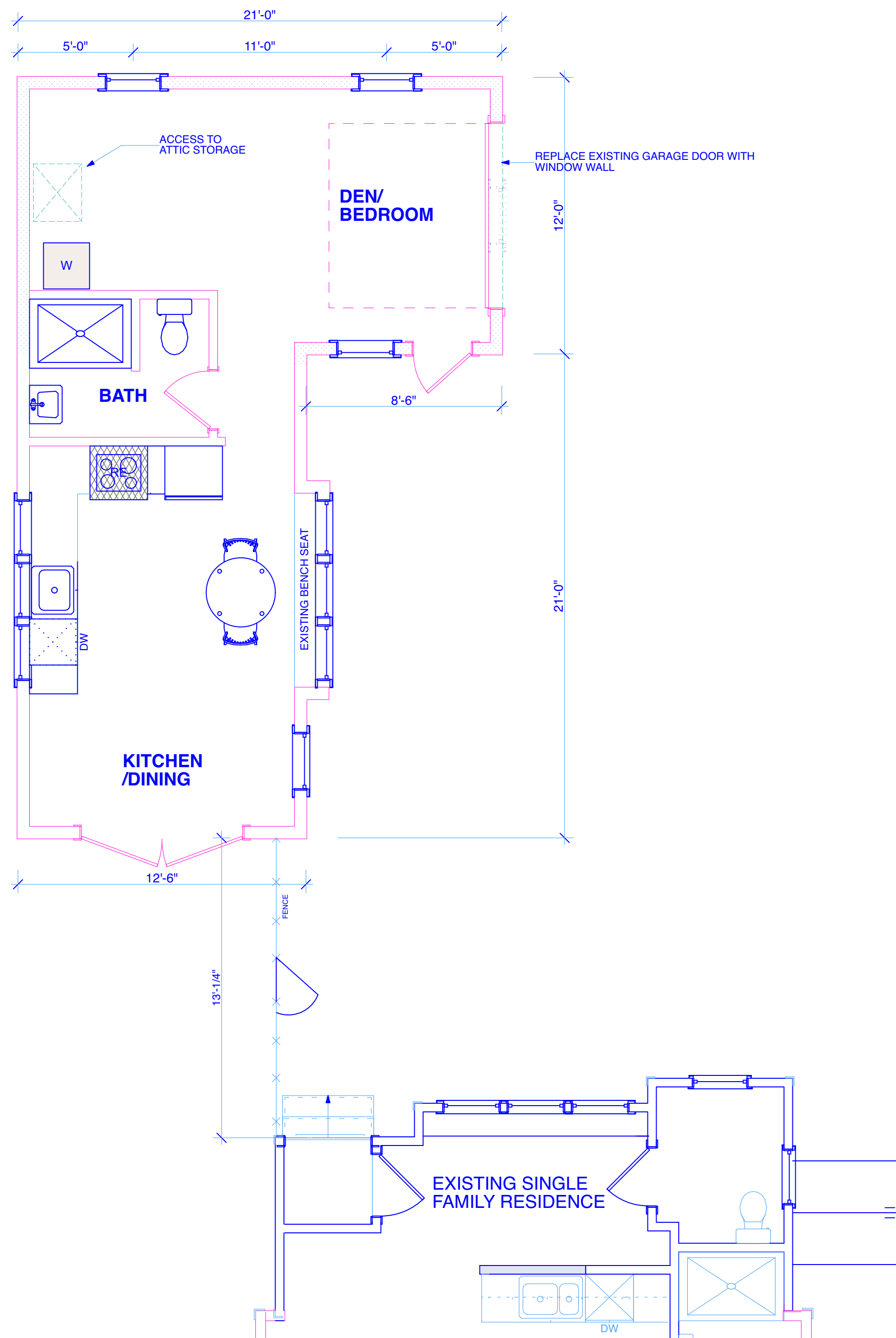


1 GARDEN COTTAGE PROPOSED PARKING PLAN
SCALE: 1/8" = 1'-0"

CONSULTANTS

BEEBE-JENNY RESIDENCE

GARDEN COTTAGE PROPOSAL
 81 LINCOLN AVE.
 PORTSMOUTH, N.H. 03801



1 PROPOSED GARDEN COTTAGE PLAN
 SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION
	1/22/21	REVISED
	12/06/20	FLOOR PLAN

PROJECT NO:
 MODEL FILE:
 DRAWN BY:
 CHK'D BY:

COPYRIGHT © 2008 BY MDB DESIGN. THESE PLANS ARE PROTECTED UNDER THE FEDERAL COPYRIGHT LAWS. THE ORIGINAL PURCHASER OF THIS PLAN IS AUTHORIZED TO CONSTRUCT ONE AND ONLY ONE HOME USING THIS PLAN. MODIFICATION OR REUSE OF THIS PLAN IS PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

SHEET TITLE

PROPOSED
 FLOOR
 PLAN

A1

CONSULTANTS

BEEBE-JENNY RESIDENCE

GARDEN COTTAGE PROPOSAL
81 LINCOLN AVE.
PORTSMOUTH, N.H. 03801

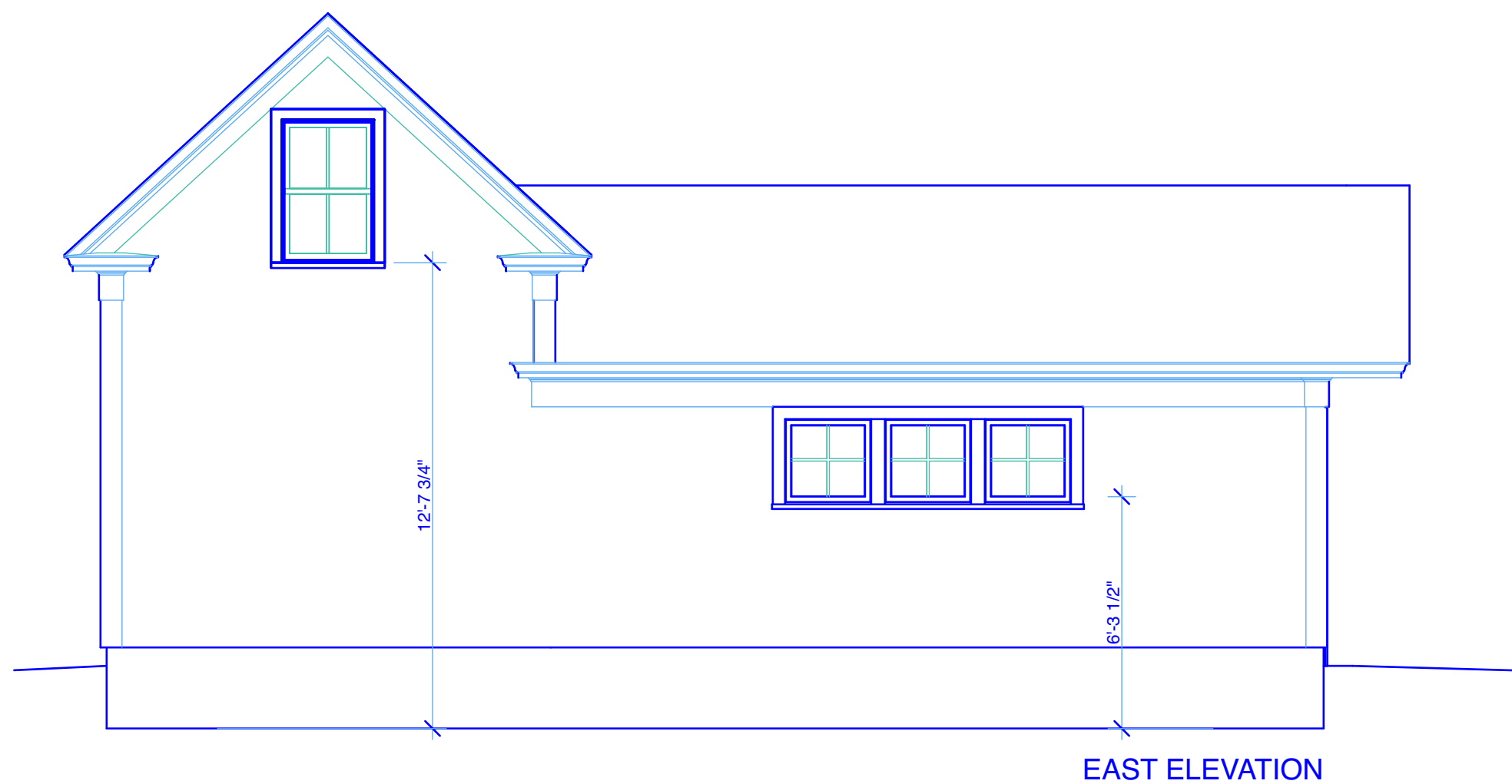
MARK	DATE	DESCRIPTION
	12/06/20	

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT © 2021 BY MDB DESIGN

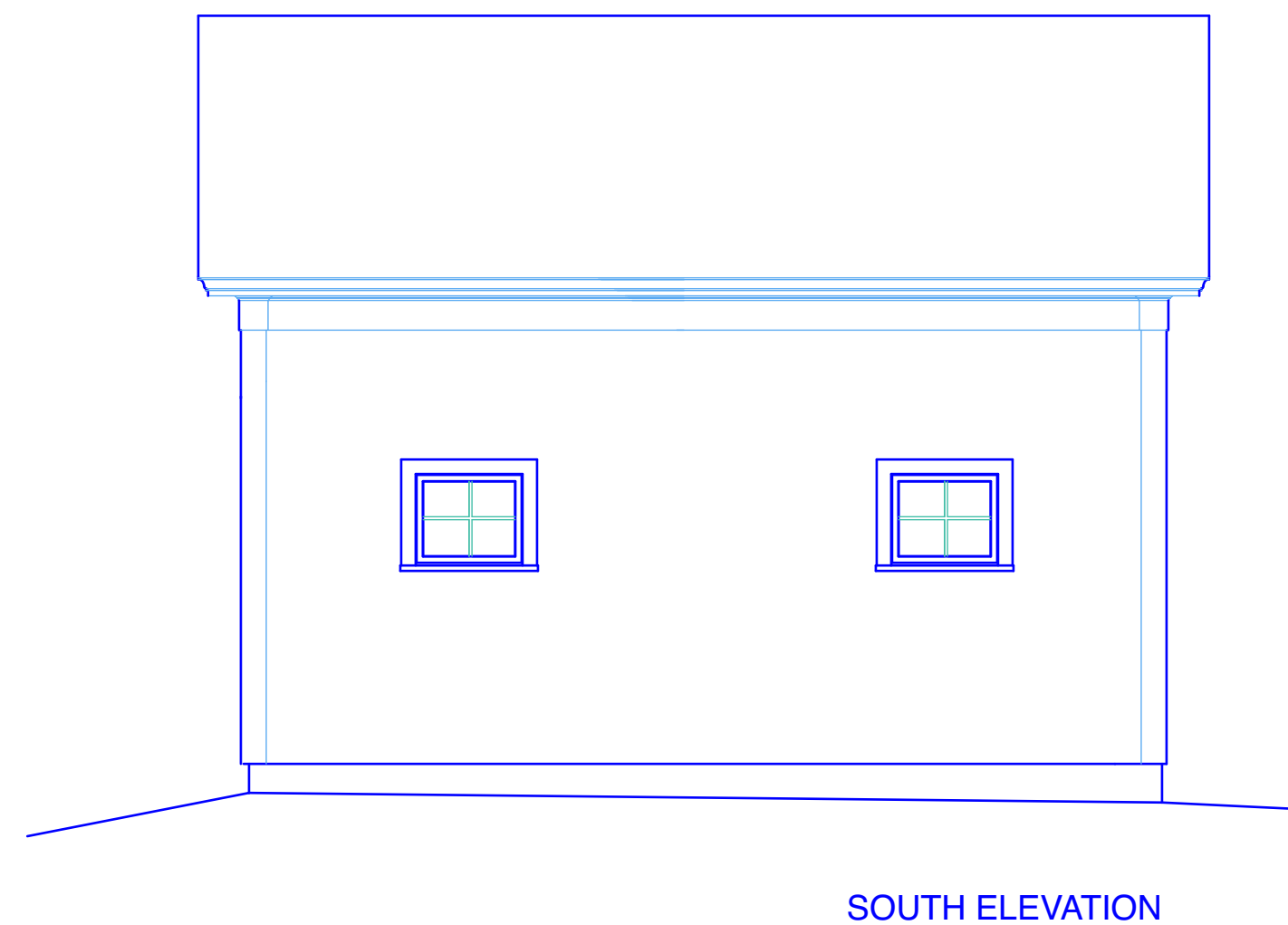
SHEET TITLE

EXTERIOR
ELEVATIONS

A3



EAST ELEVATION

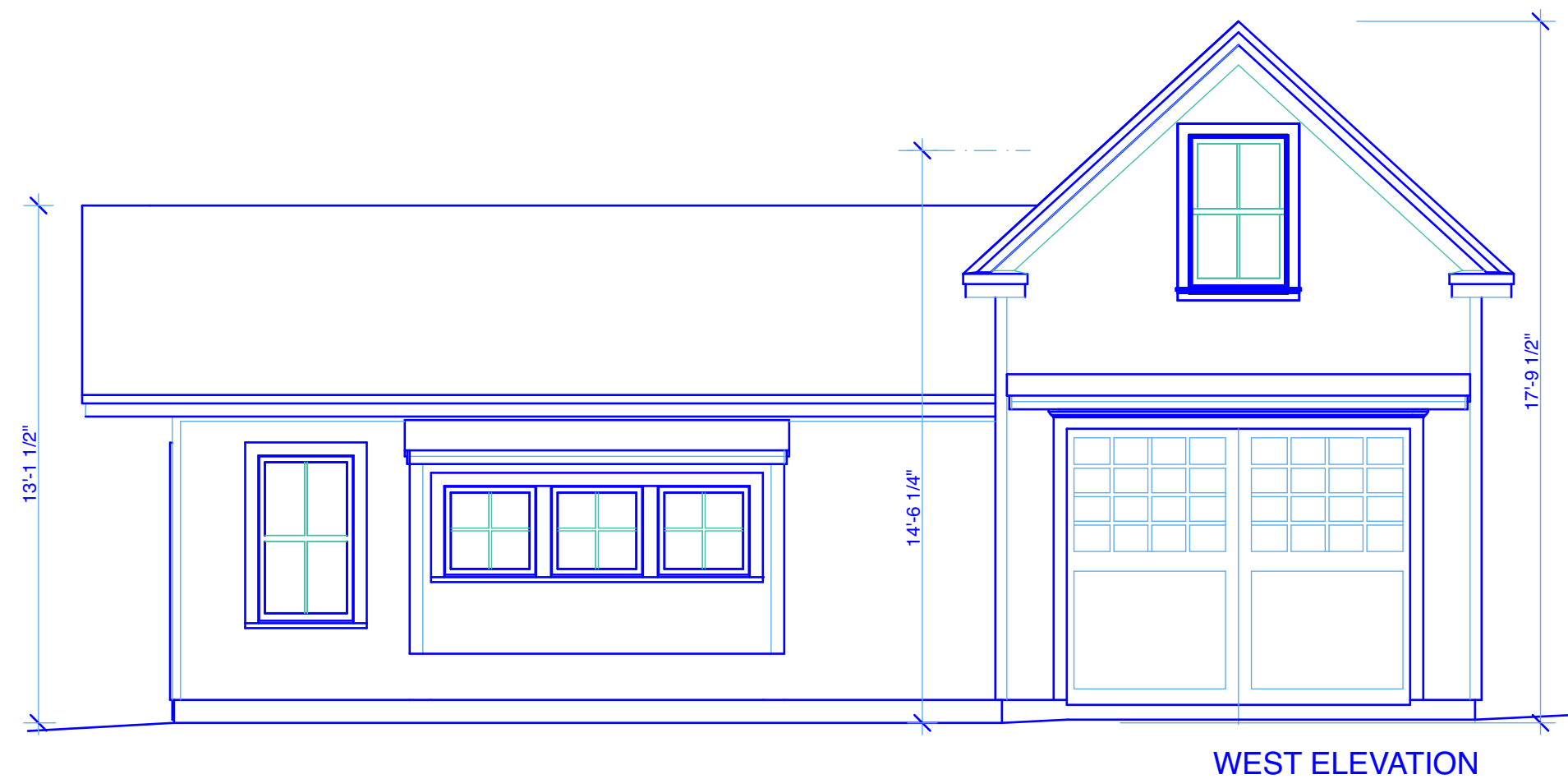


SOUTH ELEVATION

2 EAST AND SOUTH ELEVATIONS
A3 SCALE: 1/4" = 1'-0"



NORTH ELEVATION



WEST ELEVATION

1 NORTH AND WEST ELEVATIONS
A3 SCALE: 1/4" = 1'-0"

81 LINCOLN AVE

Location 81 LINCOLN AVE

Mblu 0113/ 0035/ 0000/ /

Acct# 33371

Owner BEEBE MATTHEW D REV TRUST
2006

PBN

Assessment \$786,400

Appraisal \$786,400

PID 33371

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$375,200	\$411,200	\$786,400

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$375,200	\$411,200	\$786,400

Owner of Record

Owner	BEEBE MATTHEW D REV TRUST 2006	Sale Price	\$0
Co-Owner	JENNY BARBARA R & BEEBE MATTHEW D TRSTEE	Certificate	
Address	81 LINCOLN AVE PORTSMOUTH, NH 03801	Book & Page	5225/0721
		Sale Date	06/28/2011
		Instrument	

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BEEBE MATTHEW D REV TRUST 2006	\$0		5225/0721		06/28/2011
BEEBE MATTHEW D	\$528,533		4487/0563	0	05/24/2005

Building Information

Building 1 : Section 1

Year Built: 1900
Living Area: 1,938
Replacement Cost: \$439,395
Building Percent Good: 79
Replacement Cost Less Depreciation: \$347,100

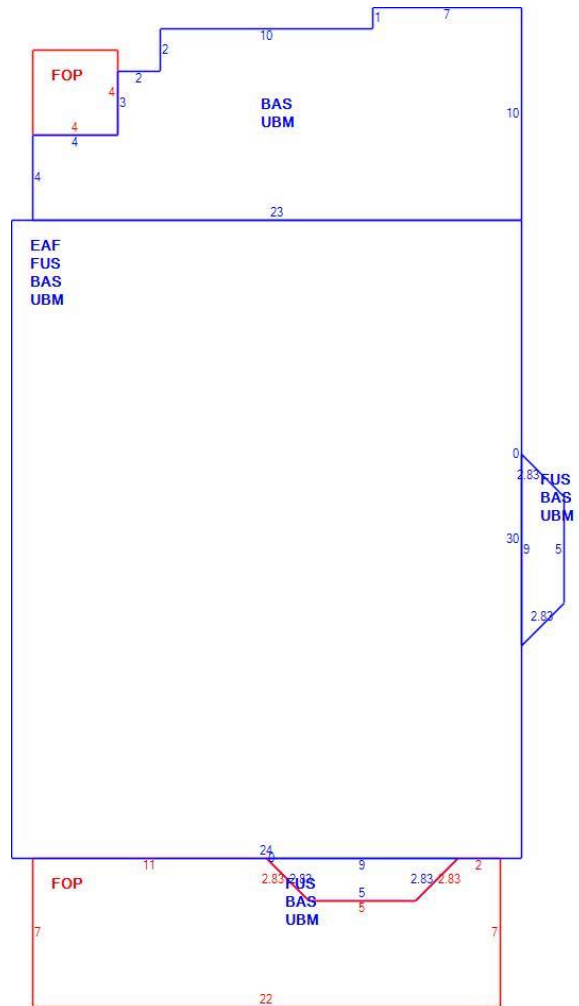
Building Attributes	
Field	Description
Style:	Conventional
Occupancy	1
Exterior Wall 2	Wood Shingle
Interior Wall 2	Drywall/Sheet
Interior Flr 2	Ceram Clay Til
Model	Residential
Grade:	B+
Stories:	2
Exterior Wall 1	Clapboard
Roof Structure:	Gable/Hip
WB Fireplaces	0
Extra Openings	0
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Plastered
Extra Openings	0
Bsmt Garage	
Interior Flr 1	Hardwood
Heat Fuel	Gas
Heat Type:	Warm Air
AC Type:	Central
Total Bedrooms:	5 Bedrooms
Total Bthrms:	3
Total Half Baths:	0
Total Xtra Fixtrs:	3
Total Rooms:	10
Bath Style:	Above Avg Qual
Kitchen Style:	Above Avg Qual
Kitchen Gr	B
Metal Fireplaces	1

Building Photo



(<http://images.vgsi.com/photos2/PortsmouthNHPhotos/\00\02\27\48.jpg>)

Building Layout



(ParcelSketch.aspx?pid=33371&bid=33371)

Building Sub Area (sq ft)	Legend
---------------------------	--------

Building Sub-Areas (Sq Ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	938	938
FUS	Upper Story, Finished	748	748
EAF	Attic Expansion	720	252
FOP	Porch, Open	156	0
UBM	Basement, Unfinished	938	0
		3,500	1,938

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 1010
Description SINGLE FAM MDL-01
Zone GRA
Neighborhood 103A
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0.11
Frontage
Depth
Assessed Value \$411,200
Appraised Value \$411,200

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
FGR4	GAR W/LFT AVE			252.00 S.F	\$11,600	1
RL1	STUDIO			294.00 S.F.	\$16,500	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$375,200	\$411,200	\$786,400
2019	\$375,200	\$411,200	\$786,400
2018	\$341,600	\$373,800	\$715,400

Assessment			

Valuation Year	Improvements	Land	Total
2020	\$375,200	\$411,200	\$786,400
2019	\$375,200	\$411,200	\$786,400
2018	\$341,600	\$373,800	\$715,400

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BID-N
WORKS FOR YOU
Call us today













To: Portsmouth Planning Board

From: Drew Williams (carpenter) on behalf of homeowners Joe and Jess Denuzzio

Re: Conditional Use Permit application for parking space requirements at 105 Thornton Street

11 January 2021

I wish to present the following application and documentation for a Conditional Use Permit to re-assess the off street parking spaces of the residence at 105 Thornton Street.

The property is a single family residence with a garage, both built in the 1940's, on the corner of Thornton and Sparhawk St. The garage is currently listed as the required two off street parking spaces for the house, however it is quite small by today's standards for automobile sizes, and has never been used by the homeowners for their cars for this reason. At some point in the past (before my customers owned the house), permission was granted to add a two car wide (24') parking area in front of the garage on Sparhawk Street to create enough room for two off street parking spaces.

The project in the works now is to convert part of the back of the current garage into living space, thus eliminating one of those listed off street parking spots. In this process, the homeowners and I have been informed that those two current driveway parking spaces do not actually conform to the size required by the city. I am seeking a Conditional Use Permit from the Board using Section 10.1112.14 to receive permission and clarification to use the front section of the garage (which will remain untouched by the project) AND the fact that the homeowners have always used the two driveway spaces (although "officially" non-conforming) to show that there will easily be sufficient off street parking on the premises even by converting the back half of the garage.

Also attached is a copy of the mapgeo.com zoning map for the property.

I greatly appreciate the Board's time and attention,
Thank you,

Drew Williams



Property Information

Property ID 0159-0018-0000
Location 105 THORNTON ST
Owner DENUZZIO JOSEPH



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
Data updated 7/17/2019

Residence Application for Conditional Use Permit
Planning Department

Shawn Dick
869 Woodbury Avenue
Portsmouth, New Hampshire

My Proposal

- I'm looking to build a one bedroom, 676 SQFT, Accessory Dwelling Unit (ADU), on top of my existing attached two car garage to accommodate my elderly father, as the cost of senior living and care has become increasingly expensive and unaffordable.

New Structure

- As indicated, in the attached documents, you will see the new structure will be in line with the current architectural design of my house and will pose no disruption to the neighborhood.
- Per Section 10.814 of the zoning ordinance, I have included all necessary documents required to meet the needs of the city in regards to adding an ADU to my property.

As the current owner of 869 Woodbury Ave I will maintain my residence in the main house while allowing my father to occupy the ADU. Also, you will find my property has more than sufficient, seven spaces, for parking.

Thank you for your time and consideration,

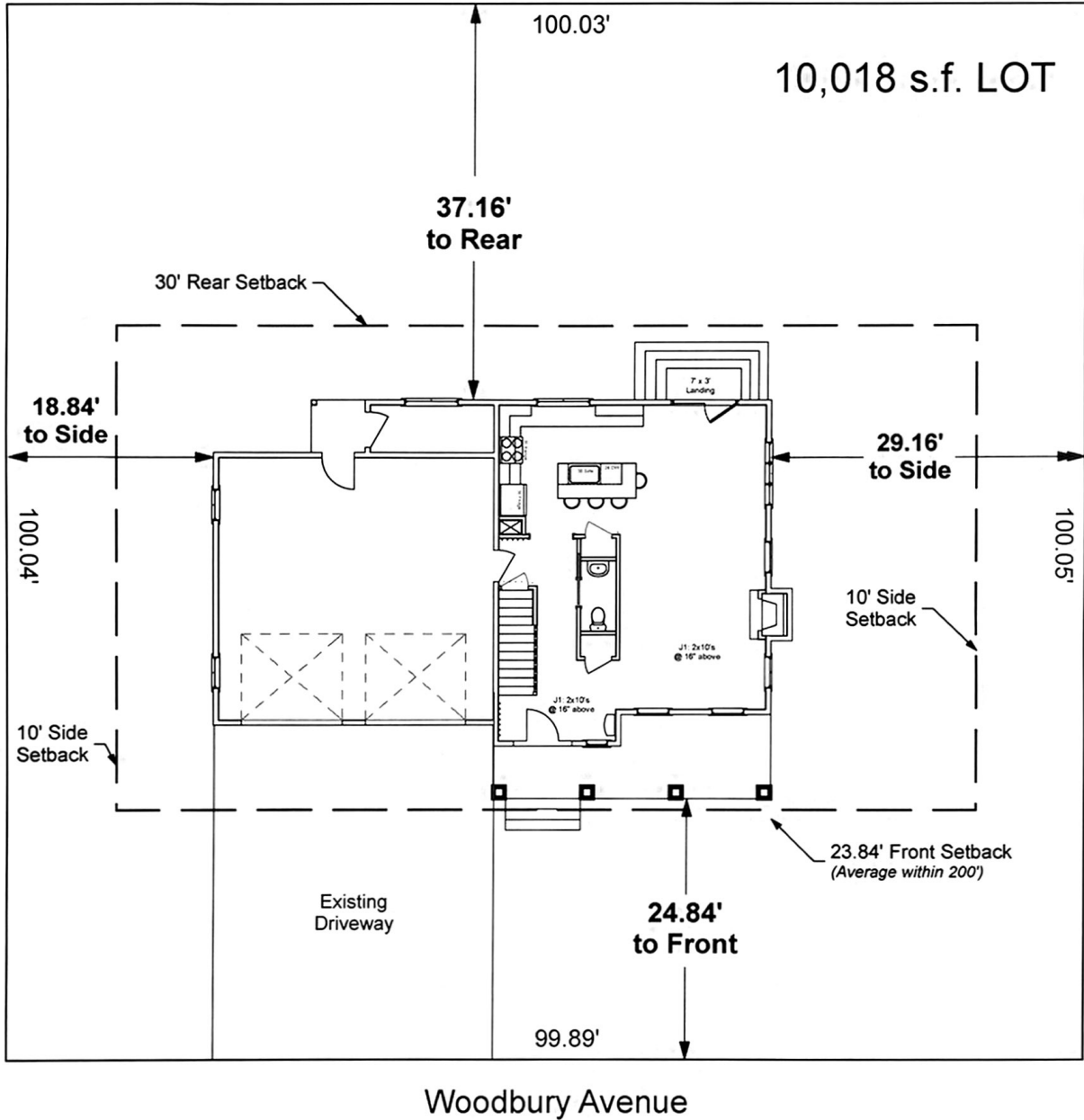
Shawn Dick
869 Woodbury Ave
Portsmouth

Current Structure
869 Woodbury Ave

Parking / Driveway Size
32' Long x 22' Wide + Cutout

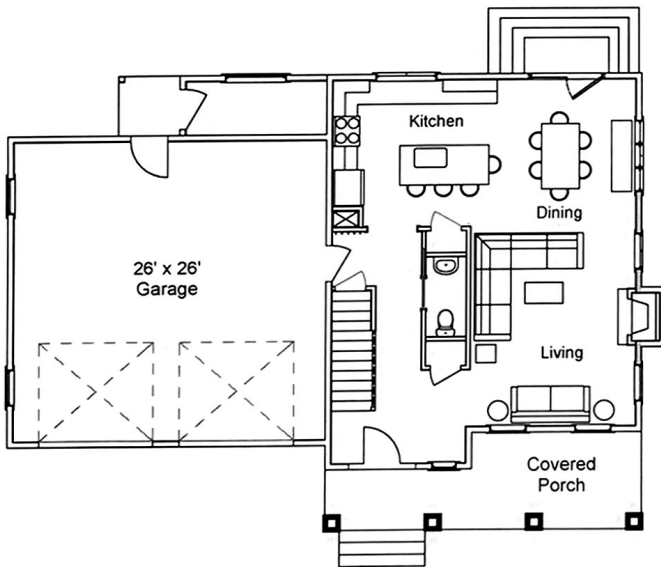
- 2- Inside Garage
- 4- Driveway
- 1- Driveway Cutout



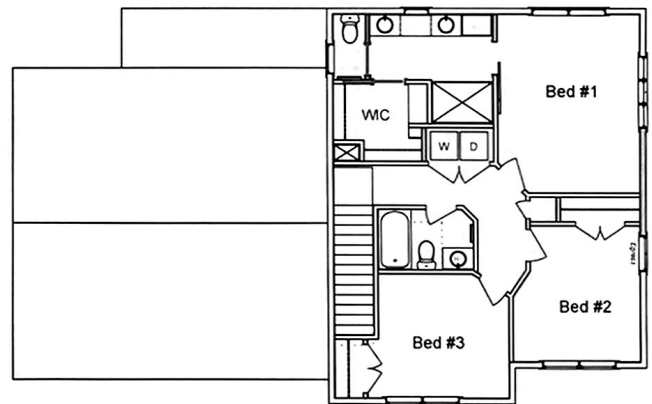


Woodbury Avenue

Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623	PROJECT	SITE	ISSUED FOR	SCALE	TITLE	SHEET
		Shawn Dick Residence	869 Woodbury Avenue Portsmouth, NH 03801	ZBA Review			
				ISSUE DATE			S1
				February 18, 2021			

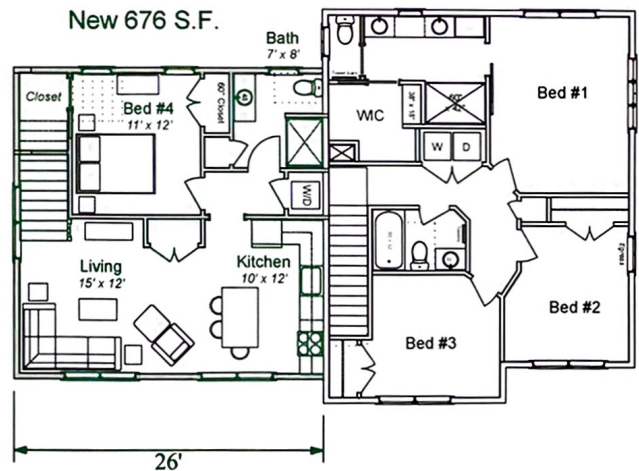
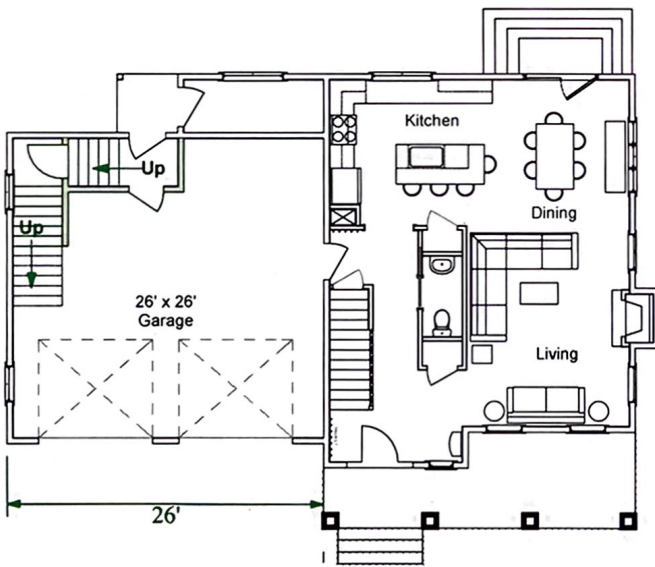


Existing
First Floor



Existing
Second Floor

Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623	PROJECT	SITE	ISSUED FOR	SCALE	TITLE	SHEET
		Shawn Dick Residence	869 Woodbury Avenue Portsmouth, NH 03801	ZBA Review			
				ISSUE DATE			
				February 18, 2021			



Proposed
First Floor

Existing
First Floor

Proposed
Second Floor

Existing
Second Floor

Michelle Shields Design 6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Smart Creative Architecture Cell: 207-752-7623 www.MichelleShieldsDesign.com	PROJECT Shawn Dick Residence	SITE 869 Woodbury Avenue Portsmouth, NH 03801	ISSUED FOR ZBA Review	SCALE 1/16" = 1'-0" (Letter)	TITLE Proposed Residence	SHEET P1
			ISSUE DATE February 18, 2021			



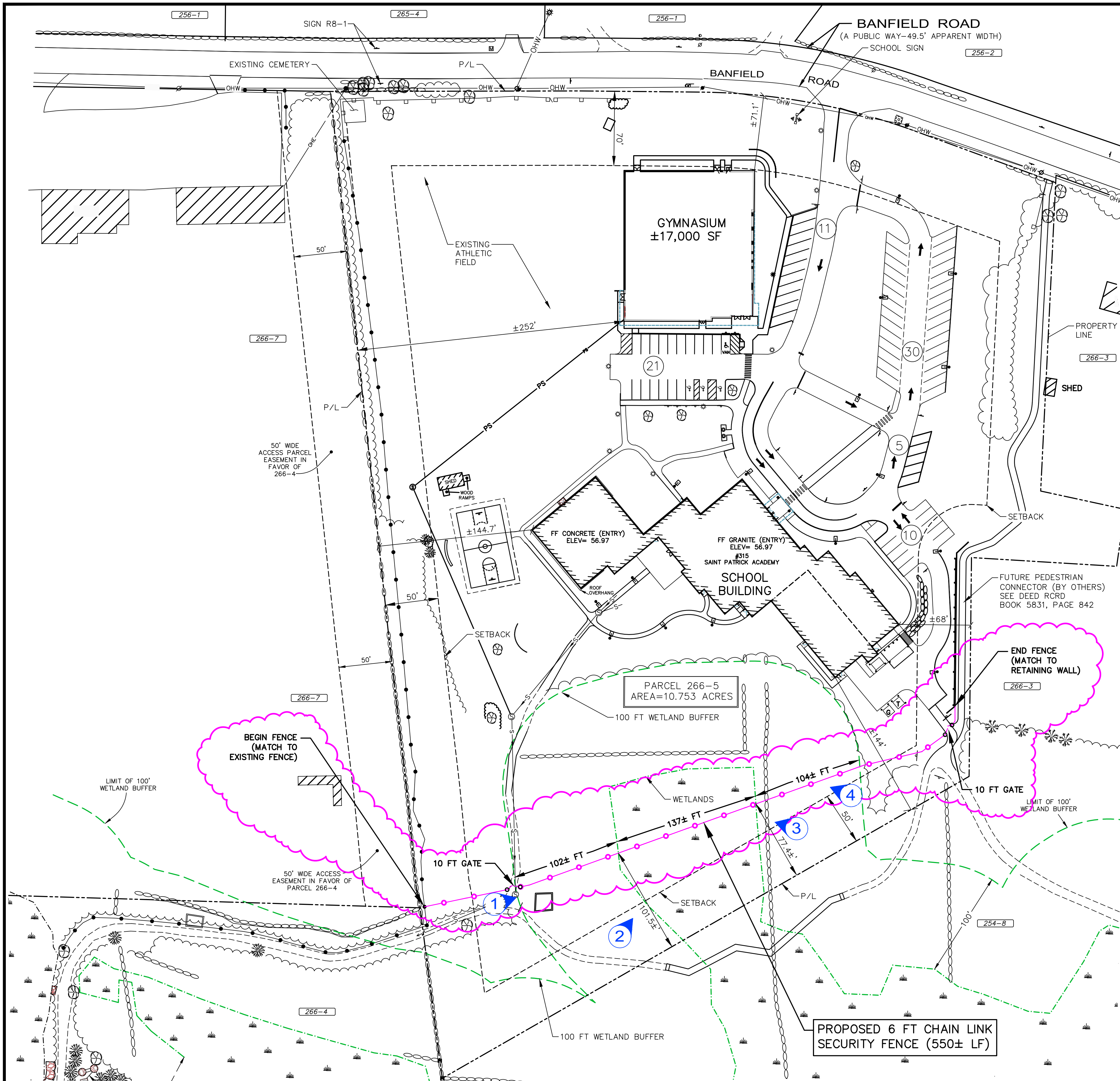
Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell. 207-752-7623	PROJECT: Shawn Dick Residence	SITE: 869 Woodbury Avenue Portsmouth, NH	ISSUED FOR: Review	SCALE: None (Letter)	TITLE: Proposed Renderings	SHEET: B
				DATE: February 2, 2021			

893 Woodbury Ave
Left Side Neighbors



865 Woodbury Ave
Right Side Neighbor

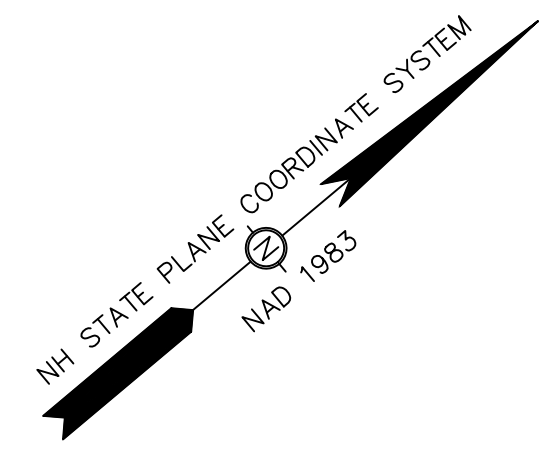




APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

ENGINEER:
ALTUS
 ENGINEERING, INC.
 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR:
 NHDES WETLANDS PERMIT/
 CONDITIONAL USE PERMIT

ISSUE DATE:
 JANUARY 13, 2021

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	CDB	1/13/21

DRAWN BY: _____ CDB
 APPROVED BY: _____ EDW
 DRAWING FILE: 4801.2-SITE.DWG

SCALE:
 22" x 34" - 1" = 50'
 11" x 17" - 1" = 100'

OWNER:
 HOPE FOR
 TOMORROW FOUNDATION
 315 BANFIELD ROAD
 PORTSMOUTH, N.H. 03801
 ASSESSOR'S PARCEL
 266-5

APPLICANT:
 SAME AS OWNER

PROJECT:
**SAINT PATRICK
 ACADEMY
 SECURITY FENCE**
 ASSESSOR'S PARCEL
 266-5

TITLE:
**NHDES WETLANDS
 BUREAU PERMIT
 APPLICATION PLAN**

SHEET NUMBER:
W-1

SUMMARY

THE PROPOSED PROJECT WILL CONSTRUCT A CHAIN LINK FENCE ALONG THE SOUTHERN PORTION OF THE PROPERTY AND WILL EXTEND PARTIALLY THROUGH A WETLAND AREA. APPROXIMATELY 137 LINEAR FEET OF THE FENCE IS LOCATED WITHIN THE WETLAND AND APPROXIMATELY 206 LINEAR FEET IS WITHIN THE 100 FOOT WETLAND BUFFER. THE IMPACT TOT THE WETLANDS AND BUFFER WILL BE FOR THE POST INSTALLATIONS. ALL LINE POSTS WILL BE DIRECT DRILLED.

WETLANDS IMPACT TABLE

DIRECT IMPACT TO WETLANDS = 5 SF
 IMPACT TO WETLANDS BUFFER = 10 SF
 (APPROXIMATELY 0.2 SF IMPACT PER POST EXPECTED)

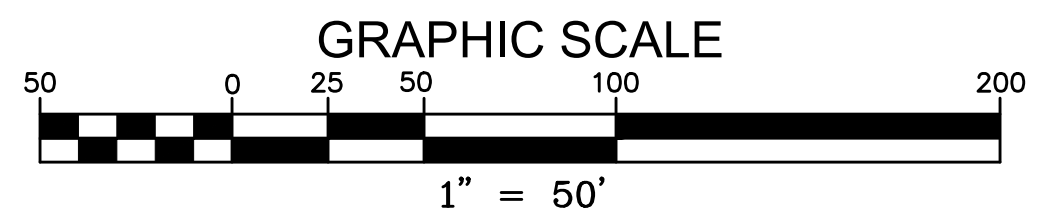
1 SITE PICTURE AND DIRECTION.
 SEE SITE PICTURES IN APPLICATION ATTACHMENTS.

PLAN REFERENCES:

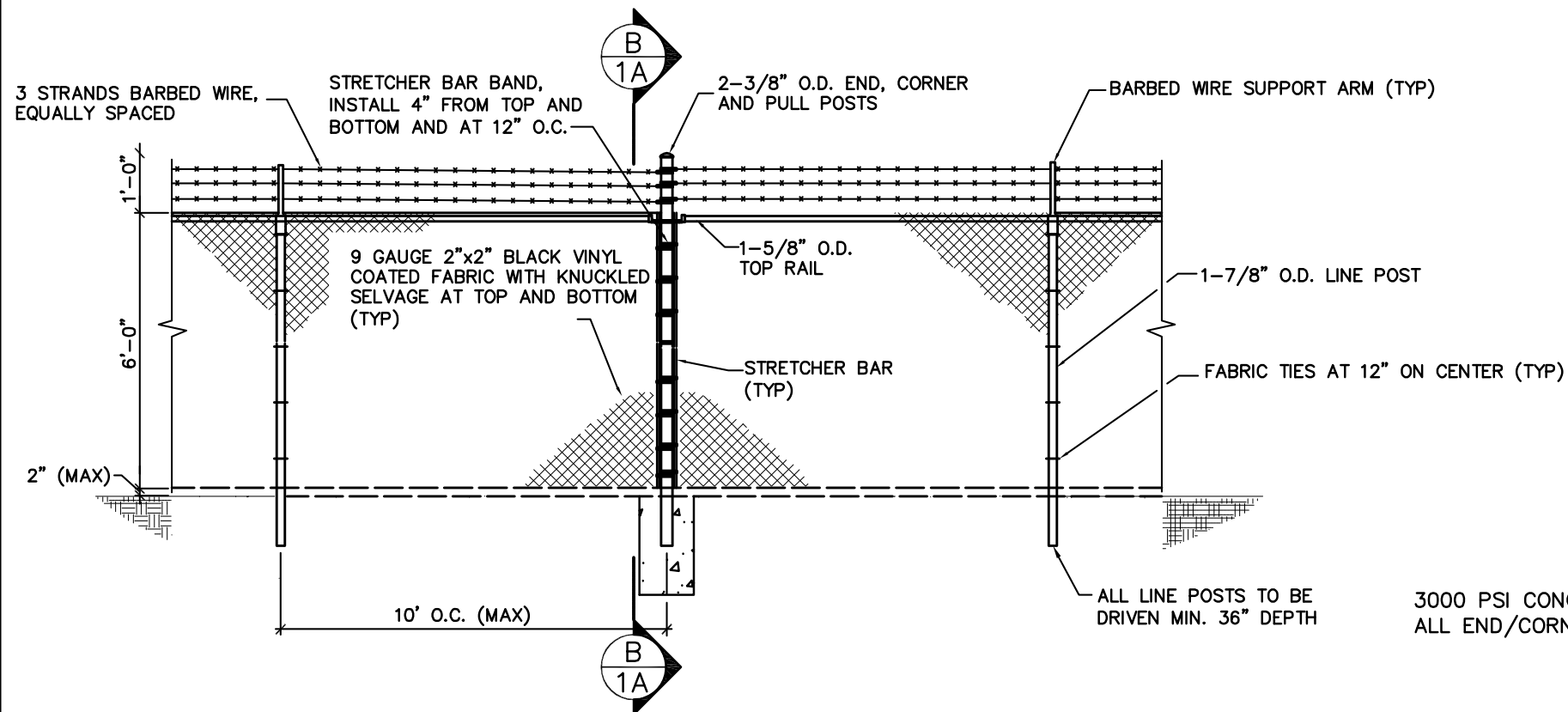
- 1) A PLAN ENTITLED "LOT LINE REVISION PLAN, CAMPUS DRIVE, BANFIELD & PEVERLY HILL ROADS, PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCELS 254-8, 266-4, 266-5, 266-6 FOR CITY OF PORTSMOUTH, N.H. & FOUNDATION FOR SEACOAST HEALTH", DATED 10/24/2016, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RECORDED AT THE ROCKINGHAM COUNTY, N.H. REGISTRY OF DEEDS AS PLAN NUMBER D-39897.
- 2) A PLAN ENTITLED "PROJECT: SAINT PATRICK ACADEMY, 315 BANFIELD ROAD, PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCEL 266-5", ISSUE DATE MAY 17, 2017, PREPARED BY ALTUS ENGINEERING, INC., RECORDED AT THE ROCKINGHAM COUNTY, N.H. REGISTRY OF DEEDS AS PLAN NUMBER D-40212. WETLANDS MAPPED BY JOSEPH W. NOEL, NH CERTIFIED WETLANDS SCIENTIST #086.

NOTE

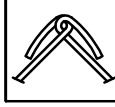

1. A NHDES WETLANDS PERMIT IS REQUIRED FOR WITHIN THE WETLANDS AND A CITY OF PORTSMOUTH WETLANDS CONDITIONAL USE PERMIT IS REQUIRED FOR WORK WITHIN THE WETLAND BUFFER. CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS OF PERMITS FOR THE CONSTRUCTION OF THE FENCE.
2. THE PROPOSED FENCE ALIGNMENT MAY VARY SLIGHTLY DUE TO LOCATION OF EXISTING TREES OR OBSTRUCTIONS.
3. NO TREE REMOVALS OR GRADING OF THE GROUND IS PROPOSED.
4. ALL LINE POSTS WILL BE DIRECT DRIVEN WITHOUT FOUNDATIONS. NO FOUNDATIONS WILL BE INSTALLED WITHIN THE WETLAND OR WITHIN THE TWENTY-FIVE FOOT VEGETATED BUFFER STRIP TO THE WETLAND PER CITY OF PORTSMOUTH ZONING 10.1018.21 AND 10.1016.19(8).

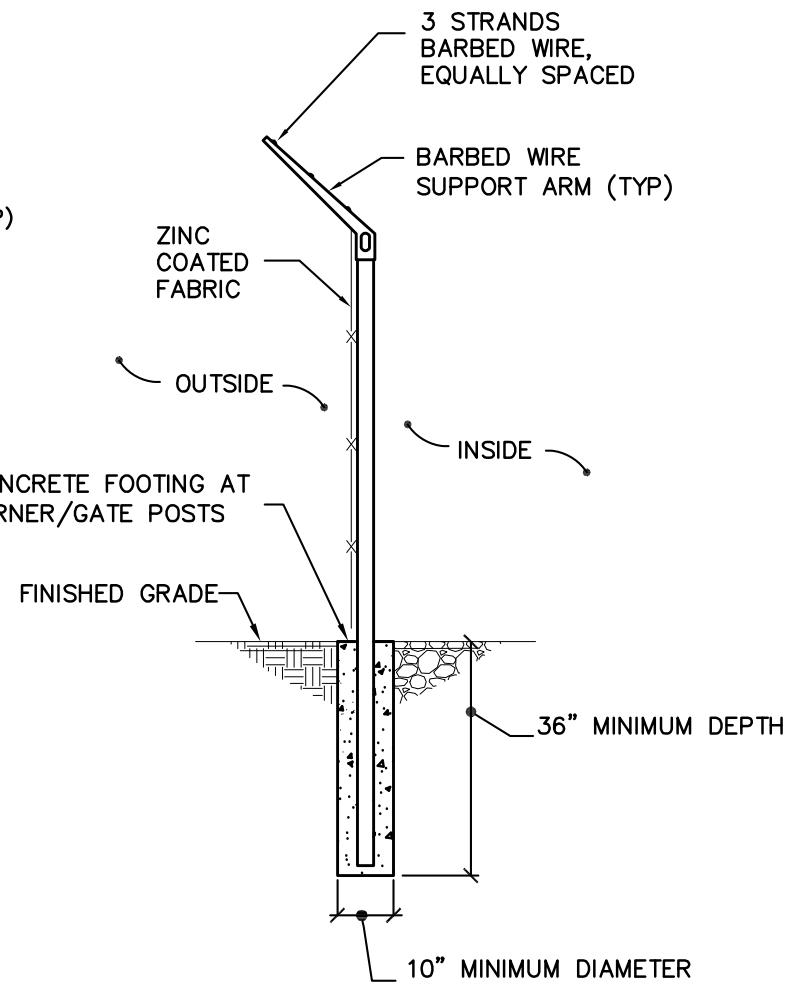


P.4801



A
1A CHAIN LINK FENCE ELEVATION

TOP SELVAGE	BOTTOM SELVAGE
KNUCKLE	KNUCKLE
	

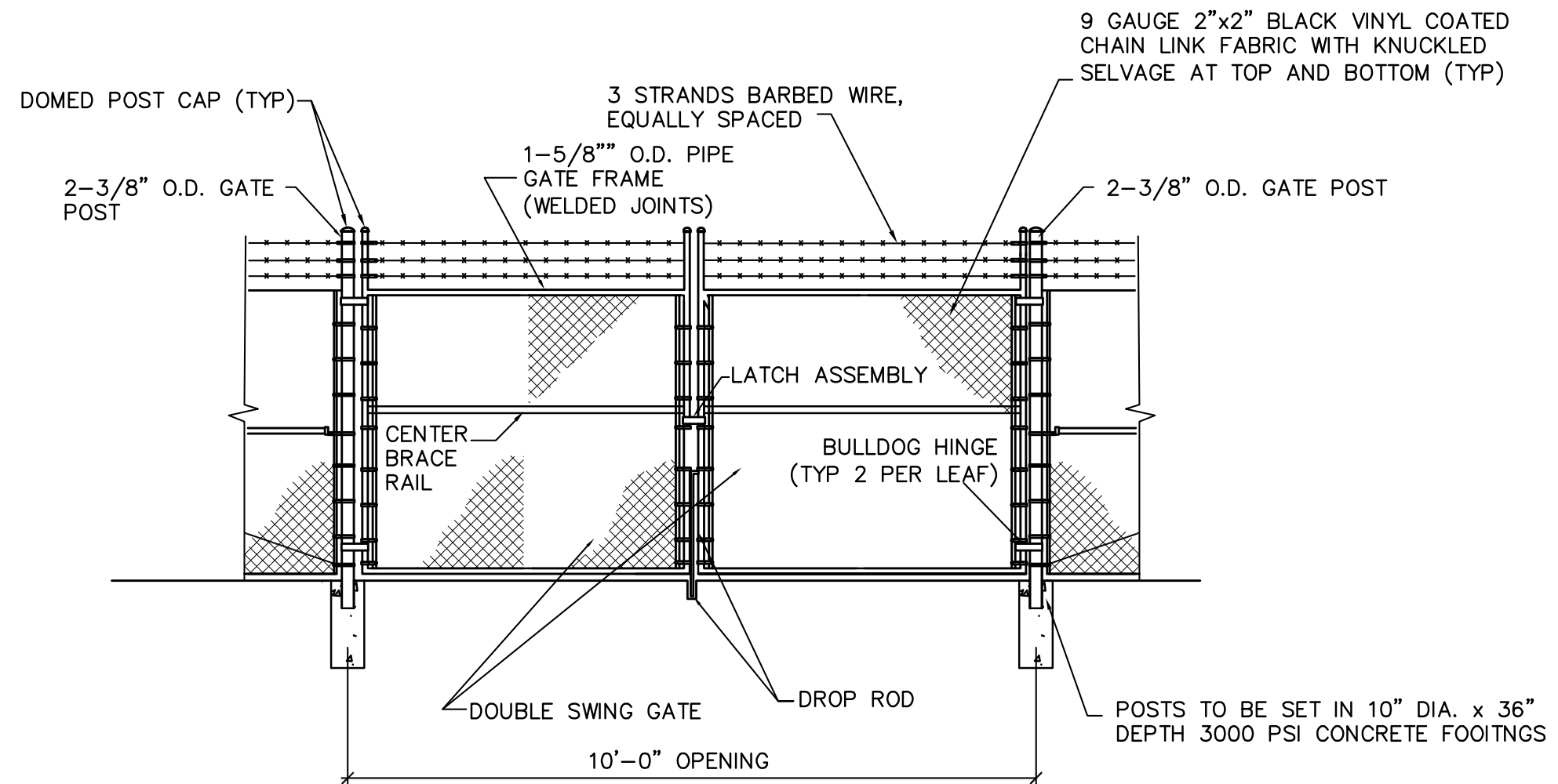




B
1A FENCE POST FOOTING DETAIL



CHASCO, INC.
 15 BANFIELD ROAD
 PORTSMOUTH, NH 03801
 OFFICE: (603) 436-2141
 FAX: (603) 431-5646

PROJECT: ST. PATRICK ACADEMY – PERIMETER FENCE	BY: MARK STILLMAN	TITLE: CHAIN LINK FENCE
SITE LOCATION: 315 BANFIELD ROAD, PORTSMOUTH, NH 03801	DATE: 12/10/20	
OWNER/GC:	REV:	DWG SHEET: 1A
	REV DATE:	SCALE: NOT TO SCALE



TOP SELVAGE	BOTTOM SELVAGE
KNUCKLE	KNUCKLE
	

A CHAIN LINK DOUBLE GATE
1B



CHASCO, INC.
 15 BANFIELD ROAD
 PORTSMOUTH, NH 03801
 OFFICE: (603) 436-2141
 FAX: (603) 431-5646

PROJECT: ST. PATRICK ACADEMY – PERIMETER FENCE
 SITE LOCATION: 315 BANFIELD ROAD, PORTSMOUTH, NH 03801
 OWNER/GC:

BY: MARK STILLMAN
 DATE: 12/10/20
 REV:
 REV DATE:

TITLE: CHAIN LINK DOUBLE GATE
 DWG SHEET: 1B
 SCALE: NOT TO SCALE

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480
Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

February 24, 2021

HAND DELIVERED

Peter M. Smith, Principal Planner
Izak Gilbo, Administrative Clerk
Portsmouth Planning Board
City Hall
1 Junkins Avenue
Portsmouth, NH 03801

Re: Planning Relief
Karona, LLC, Owner/Applicant
36 Artwill Avenue
Tax Map 229/Lot 4
SRB Zone

Dear Mr. Stith, Mr. Gilbo & Planning Board Members:


On behalf of Karona, LLC, enclosed please find the following in support of our Conditional Use Permit (CUP) application:

- CUP Application uploaded to LU-2--250
- Authorization from Butch Ricci, member, Karona, LLC.
- 2/24/2021 Memorandum and exhibits in support of CUP. (Original and eleven (11) copies).

Also enclosed is our check in the amount \$200.00 to cover the filing fee.

We look forward to presenting this application to the Planning Board at its March 24, 2021 meeting.

Very truly yours,


R. Timothy Phoenix
Monica F. Kieser

Encl.

cc: Karona, LLC
Thomas House
James Verra & Associates, Inc.

DANIEL C. HOEFLE

R. PETER TAYLOR

GREGORY D. ROBBINS

DUNCAN A. EDGAR

R. TIMOTHY PHOENIX

JOHN AHLGREN

MONICA F. KIESER

OF COUNSEL:

LAWRENCE B. GORMLEY

KIMBERLY J.H. MEMMESHEIMER

SAMUEL HARKINSON

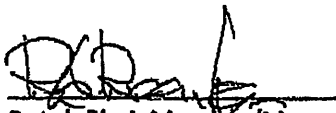
SAMUEL R. REID

STEPHEN H. ROBERTS

KEVIN M. BAUM

JACOB J.B. MARVELLEY

On behalf of Karona LLC, owner of property located at 36 Artwill Ave, Portsmouth, NH, the firm of Hoefle Phoenix Gormley and Roberts P.A. is authorized to represent us before any and all City of Portsmouth Boards, Commissions and staff with respect to any permitting required for our development of the property.

A handwritten signature in black ink, appearing to read 'Butch Ricci', written over a horizontal line.

Butch Ricci, Member/Manager.

MEMORANDUM

TO: Portsmouth Planning Board
FROM: R. Timothy Phoenix, Esquire
Monica F. Kieser, Esquire
DATE: February 24, 2021
Re: Karona, LLC, Owner/Applicant
Project Location: 36 Artwill Avenue
Tax Map 229/Lot 4
SRB Zone

Dear Chairman Legg and Planning Board Members:

On behalf of Karona, LLC (“Karona”), we are pleased to submit this application for Conditional Use Permit (“CUP”) to allow a detached accessory dwelling unit (“DADU”) located on second floor over the garage in an existing structure, to be considered by the Planning Board at its March 24, 2021 meeting.

I. Exhibits

1. 2/16/2021 Portsmouth Zoning Board of Adjustment Approval.
2. 8/3/17 Site Plans 36 Artwill Avenue – issued by James Verra & Associates, Inc.
3. Architectural Plan Set, 36 Artwill Avenue – issued by THA Architects, LLC.
 - Page A1 – Floor Plans
 - Page A2 – Elevations
4. Site Photographs.
5. 1958 recorded RCRD Plan 02637.
6. Transfer of Membership Interests & Residency Documentation.
7. Tax Map 229.

II. Property History & Project

36 Artwill Avenue is a 26,737 sq. ft. lot on a private street upon which exists a single-family dwelling and a garage with a begun but not completed second floor apartment. (**Exhibits 2, 3**). The primary dwelling has long existed, with the detached garage erected in 2013 pursuant to a building permit issued to a previous owner for a 32’ by 30’ accessory structure, issued in error due to the absence of frontage. Construction of the DADU was halted by the inspection department due to prior owner actions. Complete are the garage (**Exhibit 4**) and interior wall framing for a 750 s.f. second floor apartment without installation of appliances.

Karona purchased the property in 2017, intending to complete the garage and apartment for use as a detached accessory dwelling unit (“DADU”) in compliance with the Portsmouth Zoning Ordinance (“PZO”) §10.814. Karona received a frontage variance on July 25, 2017 but its subsequent request for a Conditional Use Permit for the DADU was ultimately denied

because a majority of the Planning Board determined that occupancy of the principal dwelling by Erik Vaillant, a 10% owner of Karona, did not meet the ownership requirement of by PZO §10.814.32. The frontage Variance subsequently expired in 2019.

Karona, LLC is now owned 100% by Robert Ricci and his wife Kathleen¹, both of whom reside at 36 Artwill Avenue. Intending to complete the ADU, Karona again received a variance from the frontage requirement on February 16, 2021 (**Exhibit 1**) and now seeks to continue with the DADU, which has also been reduced in size. Both the change in ownership and the size reduction are material changes compared to the Conditional Use Permit previously denied in 2017. Modification from the Planning Board pursuant to PZO §10.814.70 is requested to DADU standards to accommodate the location of the existing structure that will contain it.

III. Relief Required

After meeting with the City Planning Department staff, it has been determined that a Conditional Use Permit under PZO 10.814 is required:

A. PZO Section 10.814 Accessory Dwelling Units

1. 10.814.10 – One and only one accessory dwelling unit is allowed on any lot containing a single family dwelling. An accessory dwelling unit shall not be allowed under this Section 10.814 on a lot that contains more than one dwelling unit. – Only one unit is proposed.

2. 10.814.20 – Except as provided elsewhere in this Section 10.814, in order for a lot to be eligible for an accessory dwelling unit, the lot and all proposed structures and additions to existing structures shall conform to all zoning regulations as follows. – With the variance obtained and as modified hereunder, this proposal complies.

a.) 10.814.21 – Any municipal regulation applicable to single-family dwellings shall also apply to the combination of a principal dwelling unit and an accessory dwelling unit including, but not limited to, lot area, yards, open space, off-street parking, building coverage, and building height. – Except as noted below for which Planning Board Modification is requested, the proposal complies with these regulations.

¹ Applicant's submission and presentation to the Zoning Board, based on information and belief, was that Robert and Kathleen were the sole members of Karona, LLC. In preparation for this filing, Counsel learned that the documents that effectuated the transfer from Erik Vaillant back to Robert Ricci and subsequently to Kathleen had not been completed. Transfer of Membership Interest have now been executed and are submitted herewith. (**Exhibit 6**).

b.) 10.814.22 (Omitted as it is applicable to attached accessory dwelling units only.)

c.) 10.814.23 – A DADU is not an accessory building or structure for the purposes of this Ordinance and therefore shall be governed by the applicable yard dimensions in Section 10.521 for a principal building or structure and not by the side yard and rear yard standards applicable to an accessory building. – The previously approved three-car garage is the last structure on a private dead-end street and was approved at its current location 23.8 ft. to the front lot line. It complies with the side yard and rear yard requirements. As set forth below, a modification is requested from the front yard requirement of PZO 10.814.56.

B. PZO Section 10.814.30-Standards.

1. 10.814.31 – The principal dwelling unit and the DADU cannot be in separate in ownership – Common ownership exists.

2. 10.814.32 – Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling as his or her principal place of residence. The owner shall provide documentation demonstrating to satisfaction of the City that one of the units is his or her principal place of residence. – Robert and Kathleen Ricci are the sole members of Karona, LLC and they reside at 36 Artwill. (**Exhibit 6**).

a.) 10.814.321 (Omitted as it is applicable to Trusts.)

3. 10.814.33 – Neither the principal dwelling nor the accessory dwelling shall be used for any business except a home occupation – No business is intended.

4. 10.814.34 (Omitted as applicable to properties served by septic systems.)

C. PZO Section 10.814.50-80 – DADU standards.

1. In a Single Residence or Rural District, a lot with a DADU shall comply with the minimum lot area for the district, but need not comply with the minimum lot area per dwelling unit. – The minimum lot area is 15,000 sq. ft. and the subject lot is 26,737 sq. ft.

2. 10.814.52 – No more than two bedrooms and no larger than 750 ft. gross floor area unless 2 acres or more. – When Applicant purchased the property, the partially complete DADU was 1,096 s.f. but it has since been reduced to a compliant 750 s.f. one bedroom unit.

3. 10.814.53 – The DADU shall be clearly subordinate to the principal single-family dwelling in scale, height and appearance.

a.) 10.814.531 – The face area of the DADU that faces the street shall be no more than 40% of the combined visible façade. – The three-car garage was previously constructed at an approved size; accordingly, modification is sought pursuant to §10.814.70.

b.) 10.814.532 – The building height of the DADU shall be less than the building height of the principal single-family dwelling. – The structure was previously constructed at a permitted height and size; accordingly, modification is sought pursuant to §10.814.70.

c.) 10.814.533 – The DADU shall be architecturally consistent with the principal dwelling through the use of similar materials, detailing and other building design elements. – This proposal complies with this standard.

4. Section 10.814.54 – The DADU shall be separated from the single family dwelling by at least 20 ft. – The former owner built the structure at approximately 10.2 ft. at its closest point, falling away from the existing dwelling. For the reasons specified above, Karon requests a modification pursuant to §10.814.80.

5. 10.814.55 – The front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single-family dwelling. – A prior owner constructed the three-car garage which is the last structure on a private, dead-end street containing three homes. For this reason, modification is sought pursuant to §10.814.70.

6.) 10.814.56 – No portion of the DADU shall be located in any required front yard, regardless of the location of the single-family dwelling. – Because this three-car garage, the last structure on a private dead-end with just three homes was previously built 23.8 ft. from the front lot line, a modification from this standard is sought pursuant to 10.814.70.

D. PZO Section 10.814.60– Required findings.

1. 10.814.61 – Exterior design of the DADU is compatible with the existing residence on the lot through architectural use of building forms, scale and construction materials. – Photographs are attached. Noting that the building exists, the exterior design is compatible.

2. 10.814.62 – The Site Plan provides adequate open space and landscaping that is useful for the DADU and primary dwelling. – The lot is almost twice the 15,000 sq. ft. minimum requirement. The photographs show a large lawn area.

3. 10.814.63 – The DADU will maintain a compatible relationship to adjacent property in terms of location and design and will not significantly reduce the privacy of adjacent properties. – This lot and the DADU structure are the last structures on a private dead-end street containing three homes. Directly across the street is a small garage, The High School and its athletic fields abut the property. Adjacent properties will not be harmed by the location and design.

4. 10.814.64 – The DADU will not result in excessive noise, traffic or parking congestion. – It is a single DADU on a large lot with off-street parking at the end of a dead-end street next to the high school/playing fields. The single unit will not result in excessive noise, traffic or parking congestion.

E. PZO Section 10.814.70- A certificate of use must be issued by the Planning Board Department to verify compliance with the standards including the owner occupancy requirement. Said certificate shall be renewed annually – Agreed.

F. PZO Section 10.814.80- In granting a CUP, the Planning Board may modify a specific dimensional or parking standard provided that the Board find such modification will be consistent with the required findings in section 10.814.60 – Given the fact that the garage structure now exists pursuant to a City-issued building permit and is the last structure on a private dead-end street containing a total of with homes, Karona requests a modification pursuant to PZO §10.814.70 from Standards §10.814.54-56 to permit a DADU over an existing garage, located less than twenty feet from the primary dwelling and closer to the front lot line than the principal home, 23.7 ft. from the front lot line.

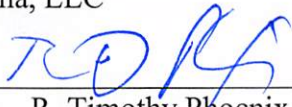
V. Conclusion

The New Hampshire Accessory Dwelling Unit statute is designed to increase affordable housing opportunities by tapping into under-utilized opportunities in existing single-family homes. The law increases housing stock for single and couples living in ADUs and allows property owners to defray housing expenses, age in place, or provide housing for an elderly parent. The City, through implementation of standards for DADUs has also identified a need to increase housing through utilization of existing structures. This proposal meets that need in the sought-after downtown area. Granting a Conditional Use Permit for a new code-compliant DADU in an existing garage structure fulfills the purposes of the State law and the City's

Ordinance. For all of the reasons stated, Karona respectfully requests that with the requested modifications, all of the requirements for issuance of a Conditional Use Permit are met.

Respectfully submitted,

Karona, LLC


By: R. Timothy Phoenix
Monica F. Kieser



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

ZONING BOARD OF ADJUSTMENT

February 22, 2021



Karona, LLC
25 Park Avenue
Greenland, NH 03840

RE: Board of Adjustment request for property located at 36 Artwill Avenue (LU 20-250)

Dear Property Owner:

The Zoning Board of Adjustment, at its regularly scheduled meeting of **Tuesday, February 16, 2021**, considered your application for conversion of an existing garage into a Detached Accessory Dwelling Unit which requires the following: 1) A Variance from Section 10.521 to allow 0 foot street frontage where 100 feet is required. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District. As a result of said consideration, the Board voted to grant your request as advertised and presented.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Approvals may also be required from other City Commissions or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of two (2) years from the date granted unless an extension is granted in accordance with Section 10.236 of the Zoning Ordinance.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

David Rheame, Chairman of the Zoning Board of Adjustment

cc: Robert Marsilia, Chief Building Inspector

Rosann Maurice-Lentz, City Assessor

ABUTTERS LIST

MAP-LOT	OWNER OF RECORD	DEED REF.
229-2	ST. NICHOLAS GREEK ORTHODOX CHURCH	1840/128
229-3	CITY OF PORTSMOUTH	1985/379
229-5	KRISTIN M. & CHRISTOPHER M. CHASE	5599/453
229-6	DOMER REALTY, LLC	4231/1881
229-6A	ST. NICHOLAS GREEK ORTHODOX CHURCH	2410/505

- LEGEND:**
-STONE WALL
 -IRON ROD
 -IRON PIPE
 -CHAIN LINK FENCE
 - 110-5.....TAX SHEET - LOT NUMBER
 - RCRD.....ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - EOP.....EDGE OF PAVEMENT
 - RWC.....CONCRETE RETAINING WALL
 - RWS.....STONE RETAINING WALL
 - LA.....LANDSCAPED AREA

NOTES:

- OWNER OF RECORD.....KARONA, LLC
 ADDRESS.....36 ARTWILL AVE, PORTSMOUTH, NH 03801
 DEED REFERENCE.....5821/1630
 TAX SHEET / LOT.....229-4
 PARCEL AREA.....26,739 S.F.
- THIS PLAN IS BASED ON A FIELD SURVEY 7/28/2017 BY JAMES VERRA AND ASSOC., INC.
- ZONED:.....SRB
 MINIMUM LOT AREA 15,000 S.F.
 FRONTAGE.....100'
 MINIMUM OPEN SPACE.....40%
 MAXIMUM BUILDING COVERAGE.....20%
 FRONT YARD SETBACK.....30'
 SIDE YARD SETBACK.....10'
 REAR YARD SETBACK.....30'
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- THIS CORRECTIVE EASEMENT IS INTENDED TO CORRECT THE PERMANENT EASEMENT DATED 2/12/1971 AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AT BOOK 2055, PAGE 257. THIS PLAN SHOWS THE ACTUAL LOCATION OF THE SEWER EASEMENT AS OF THE DATE HEREOF.

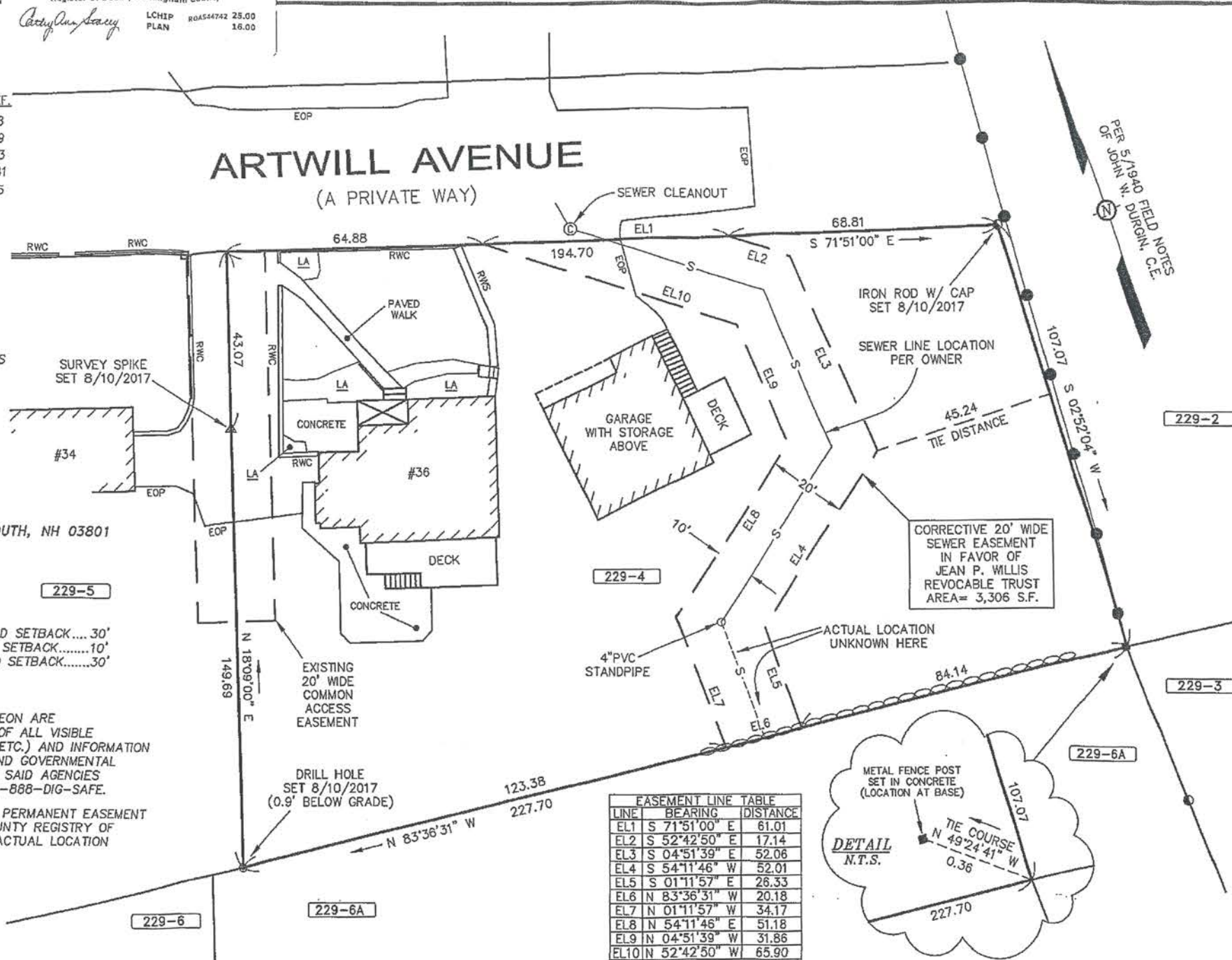
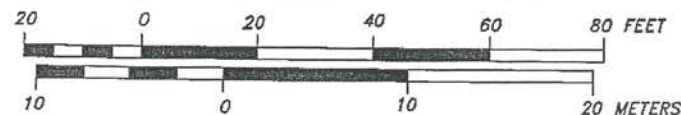
REFERENCE PLANS:

- PLAN OF LOTS OWNED BY BEATRICE L. HOPLEY, LAFAYETTE ROAD, PORTSMOUTH, N.H., REVISED TO 2/1957, RCRD PLAN 02637.

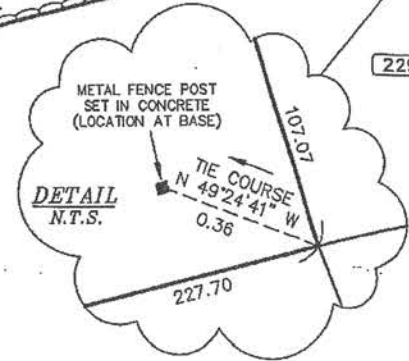
PURSUANT TO RSA 676:18,III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

James Verra
 JAMES VERRA DATE 2/4/2021

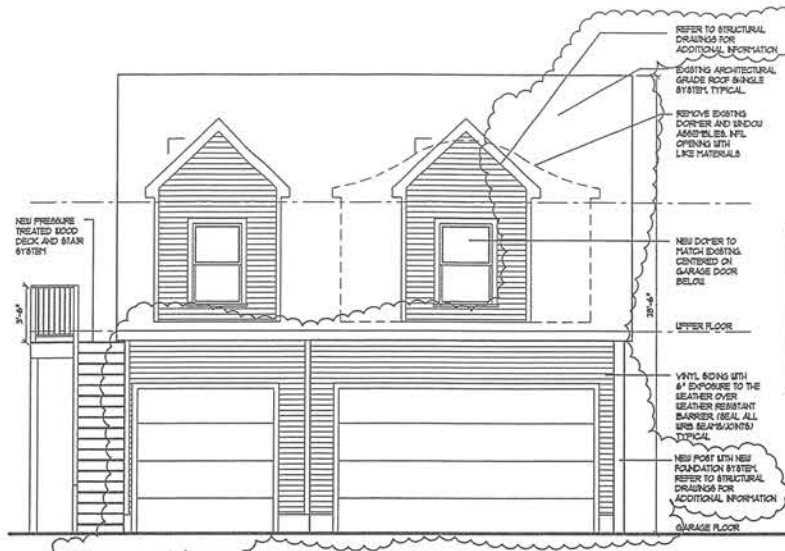


LINE	BEARING	DISTANCE
EL1	S 71°51'00" E	61.01
EL2	S 52°42'50" E	17.14
EL3	S 04°51'39" E	52.06
EL4	S 54°11'46" W	52.01
EL5	S 01°11'57" E	26.33
EL6	N 83°36'31" W	20.18
EL7	N 01°11'57" W	34.17
EL8	N 54°11'46" E	51.18
EL9	N 04°51'39" W	31.86
EL10	N 52°42'50" W	65.90



REV. NO.	DATE	DESCRIPTION	APPR'D
CORRECTIVE SEWER EASEMENT PLAN over land of KARONA, LLC 36 ARTWILL AVENUE PORTSMOUTH, NEW HAMPSHIRE ASSESSOR'S PARCEL 229-4 for KARONA, LLC			
JAMES VERRA and ASSOCIATES, INC. 101 SHATTUCK WAY SUITE B NEWINGTON, N.H. 03801-7876 603-436-3557			DATE: 1/19/2021 JOB NO: 23723 SCALE: 1" = 20' DWG NAME: 23723-2 PLAN NO: 23723-3 SHEET: 1 OF 1
JV PROJECT MGR JCS DRAWN BY		COPYRIGHT © 2021 by JAMES VERRA and ASSOCIATES, INC.	

C-42611



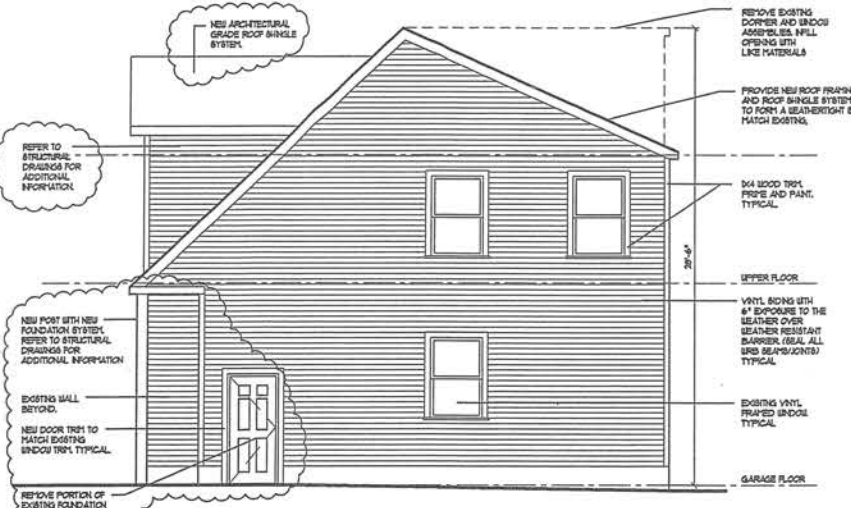
1 Elevation (Front)
3/16"=1'-0"



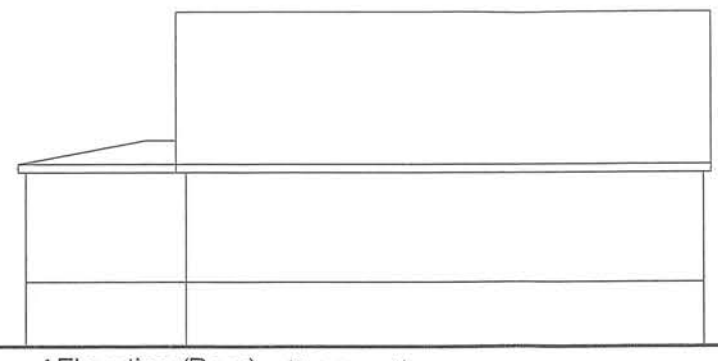
Existing Home



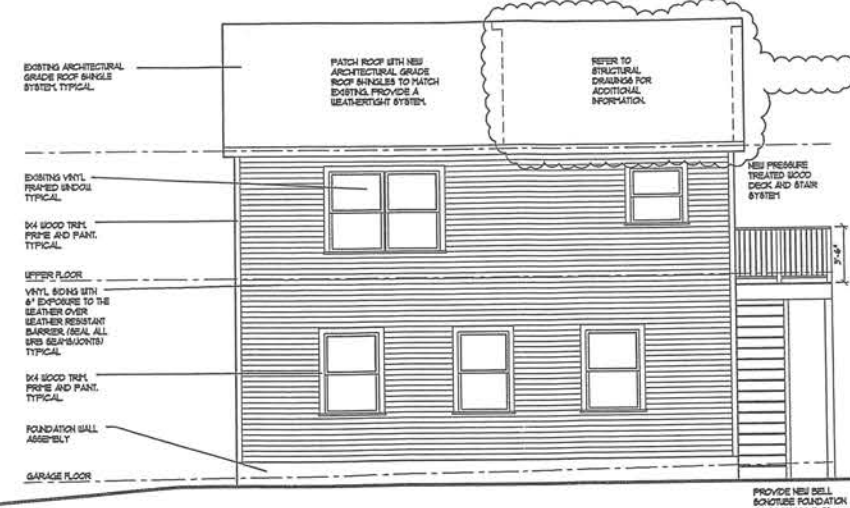
2 Elevation (Left Facing School)
3/16"=1'-0"



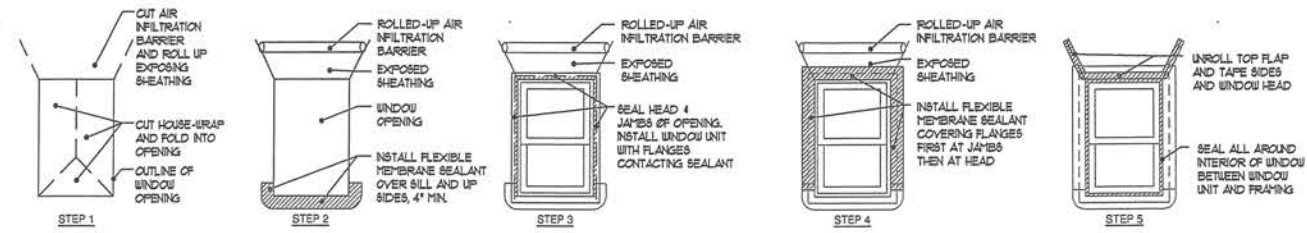
3 Elevation (Right Facing Home)
3/16"=1'-0"



4 Elevation (Rear) Existing Home
3/16"=1'-0"

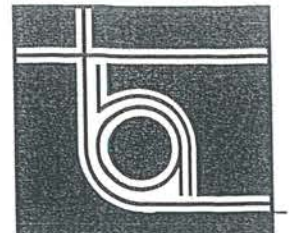


PROVIDE NEW SILL SCOURER FOUNDATION AT A MINIMUM 4'-0\"/>



5 Window Installation Notes
No Scale

NOTE:
ALL OPERABLE WINDOWS ARE TO BE EGRESS WINDOWS.
CONTRACTOR TO VERIFY WITH LOCAL AUTHORITY
HAVING JURISDICTION.



THA ARCHITECTS, LLC
ARCHITECTURE • DESIGN • PLANNING • INTERIOR DESIGN
105 WILLOW BROOK AVENUE
STRATHAM, NEW HAMPSHIRE 03885
Tel: (603) 770-2491 Fax: (603) 773-0238
www.thaarc.com

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© 2017 THA Architects, LLC.



Ricci Addition

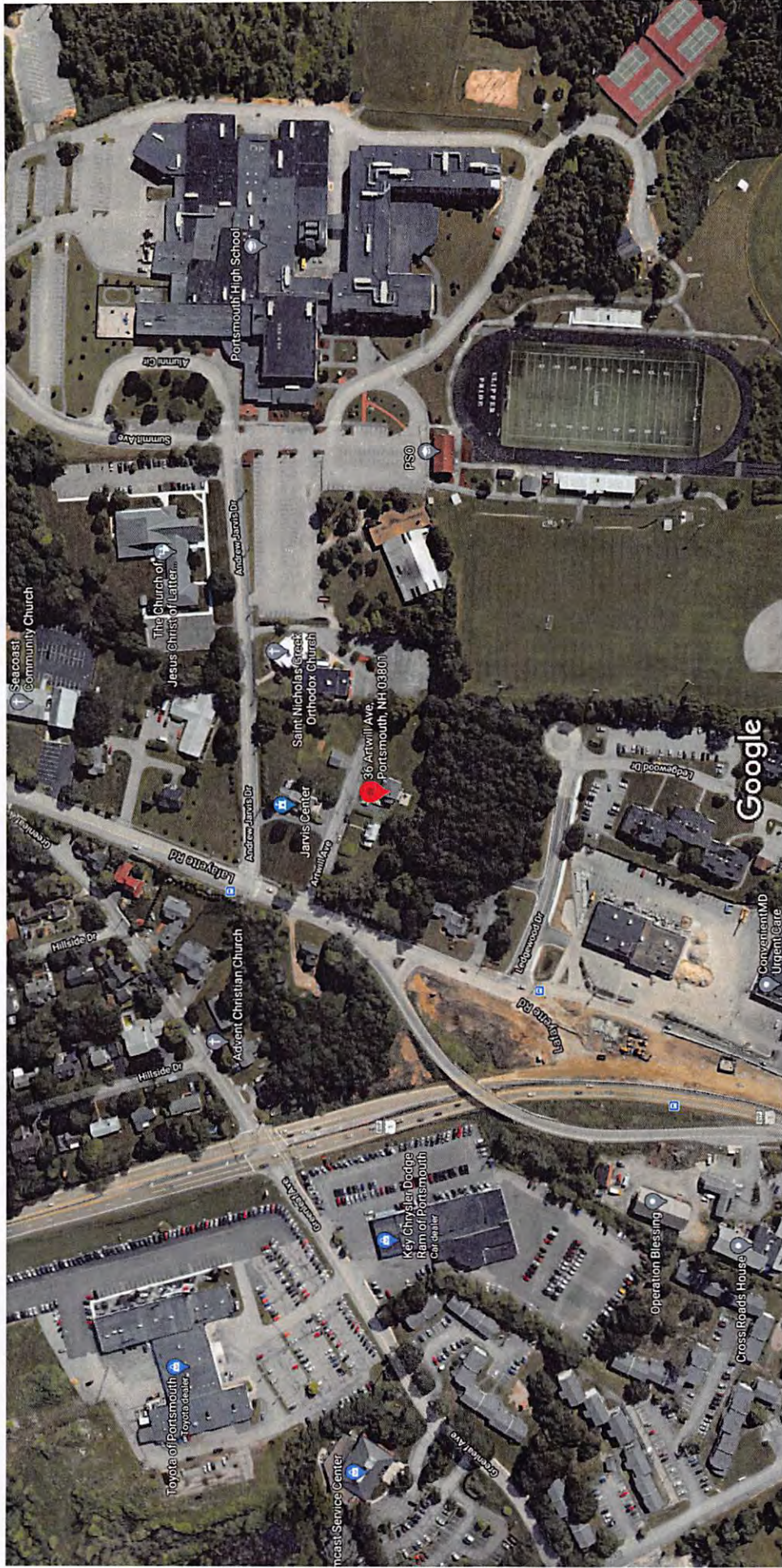
36 Artwill Avenue
Portsmouth, NH

Exterior Elevations Notes

SCALE:	
ISSUED / DRAWN BY	
July 25, 2017	
© THA ARCHITECTS, LLC	
REVISED / REVISED BY	
Aug. 21, 2017	
Nov. 29, 2017	

JOB NO: 17008

SHEET NUMBER
A-2



Imagery ©2021 Google, Imagery ©2021 Maine Geolibrary, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2021

100 ft

tabbles

EXHIBIT

4

36 Artwill Ave



Imagery ©2021 Google, Imagery ©2021 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, Map data ©2021 50 ft

Google Maps 36 Artwill Ave



Image capture: Sep 2011 © 2021 Google

Portsmouth, New Hampshire

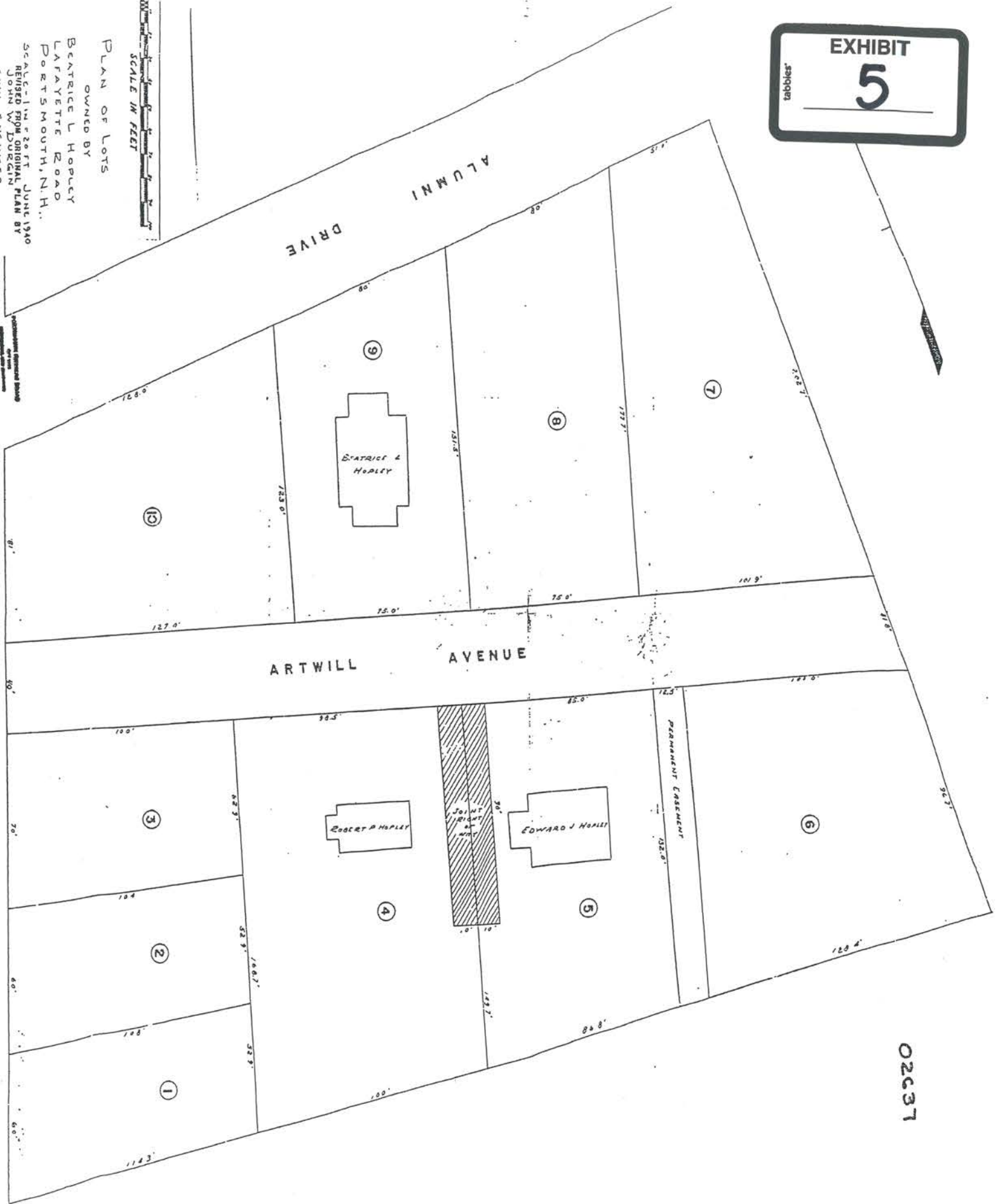


Street View



EXHIBIT
5
tabbles

02637



PLAN OF LOTS
OWNED BY
BEATRICE L. HOPLEY
LAFAYETTE ROAD
PORTSMOUTH, N.H.
SCALE - 1" = 20 FT. JUNE, 1940
REVISED FROM ORIGINAL PLAN BY
JOHN W. DUNCAN
CIVIL ENGINEER
REVISED MAY, 1946
REVISED FEB. 1957

No Jurisdiction
John W. Duncan
8/29/1958

LAFAYETTE ROAD

ARTWILL AVENUE

ALUMNI DRIVE

FILE NO 2249
PLAN NO 794

TRANSFER OF MEMBERSHIP INTERESTS IN
KARONA, LLC

I, Robert A. Ricci, for no consideration effective retroactively to June 1, 2018, do hereby relinquish, convey, and transfer all right, title, and interest in fifty percent (50%) of my membership interest of Karona, LLC to Kathleen B. Ricci, such membership interest being fifty percent (50%) of my membership interest in the Company.

Hereafter the membership interests are as follows:

Robert A. Ricci, Jr. 50%

Kathleen B. Ricci 50%

Dated this 24th day of February 2021

Monica J. Ricci
Witness

By: Robert A. Ricci, Jr.
Robert A. Ricci, Jr.

Monica J. Ricci
Witness

ACCEPTED: Kathleen B. Ricci
Kathleen B. Ricci

TRANSFER OF MEMBERSHIP INTERESTS IN
KARONA, LLC

I, Erik Vaillant, for no consideration effective retroactively to June 1, 2018, do hereby relinquish, convey, and transfer all right, title, and interest in my ten percent (10%) membership interest of Karona, LLC to Robert A. Ricci, Jr., such membership interest being one hundred percent (100%) of my membership interest in the Company.

Hereafter the membership interests are as follows:

Robert A. Ricci, Jr. 100%

Dated this 24th day of February 2021

Kathleen Ricci
Witness

By: Erik Vaillant
Erik Vaillant

Kathleen Ricci
Witness

ACCEPTED: Robert A. Ricci, Jr.
Robert A. Ricci, Jr.

D.F. RICHARD



PO BOX 669
Dover, NH 03821-0669
(603) 742-2020 or (800) 649-6457

Address Service Requested

check here for address changes on back

702777 489 01 000086 01 NNNNNN

ATTN: BUTCH RICCI
36 ARTWILL AVE
PORTSMOUTH, NH 03801

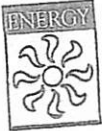
FUEL INVOICE

Account Number	248155
Date	12/08/2020
Reference #	12227
Invoice Total	\$37.23
Amount Due	\$37.23
On Or Before 01/07/2021	
Amount Enclosed	

D.F. RICHARD ENERGY
P.O. BOX 669
DOVER, NH 03821-0669

Keep lower portion for your records. Please return upper portion with your payment for faster processing.

D.F. RICHARD



FUEL INVOICE

Account Number	248155
Date	12/08/2020
Reference #	12227
Invoice Total	\$37.23
Amount Due	\$37.23

PLEASE PAY ON OR BEFORE
01/07/2021

FUEL INVOICE
SUMMARY

DATE	REF#	DESCRIPTION	PRICE	GALLONS	AMOUNT
		Previous Balance			\$0.00
12/08/2020	12227	PROPANE-METERED /6A ROBERTS AVENUE//PORTSMOUTH NH 03801	\$2.1900	17.00	\$37.23
		CURRENT METER READING 12/08/2020		12227.00	
		PREVIOUS METER READING 12/01/2020		12221.00	
		CUBIC FEET 1		6.00	
					Invoice Total \$37.23
					Balance \$37.23

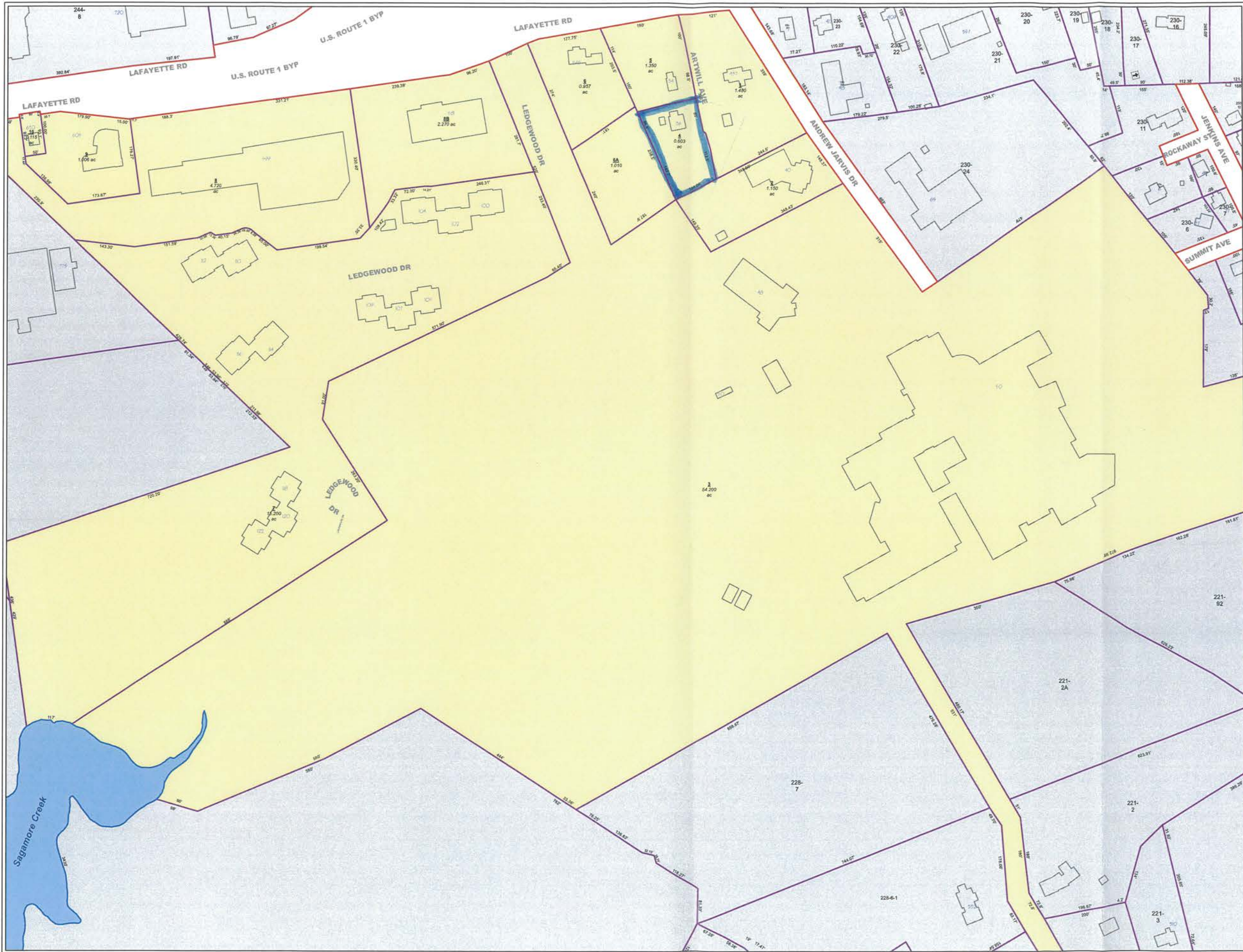
If paid in full within 10 days pay \$36.49

*Pd online
12.22.20*

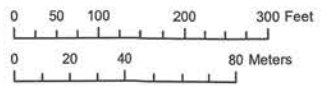
Terms are Net 30 days. Any balance over 30 days is subject to finance charges.



EXHIBIT
7



- 7-5A Lot or lot-unit number
- 2.56 ac Parcel area in acres (ac) or square feet (sf)
- 25 Address number
- 233-137 Parcel number from a neighboring map
- 6F Parcel line dimension
- SIMS AVE Street name
- Parcel/Parcel boundary
- Parcel/ROW boundary
- Water boundary
- Structure (1994 data)
- Parcel covered by this map
- Parcel from a neighboring map (see other map for current status)



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.

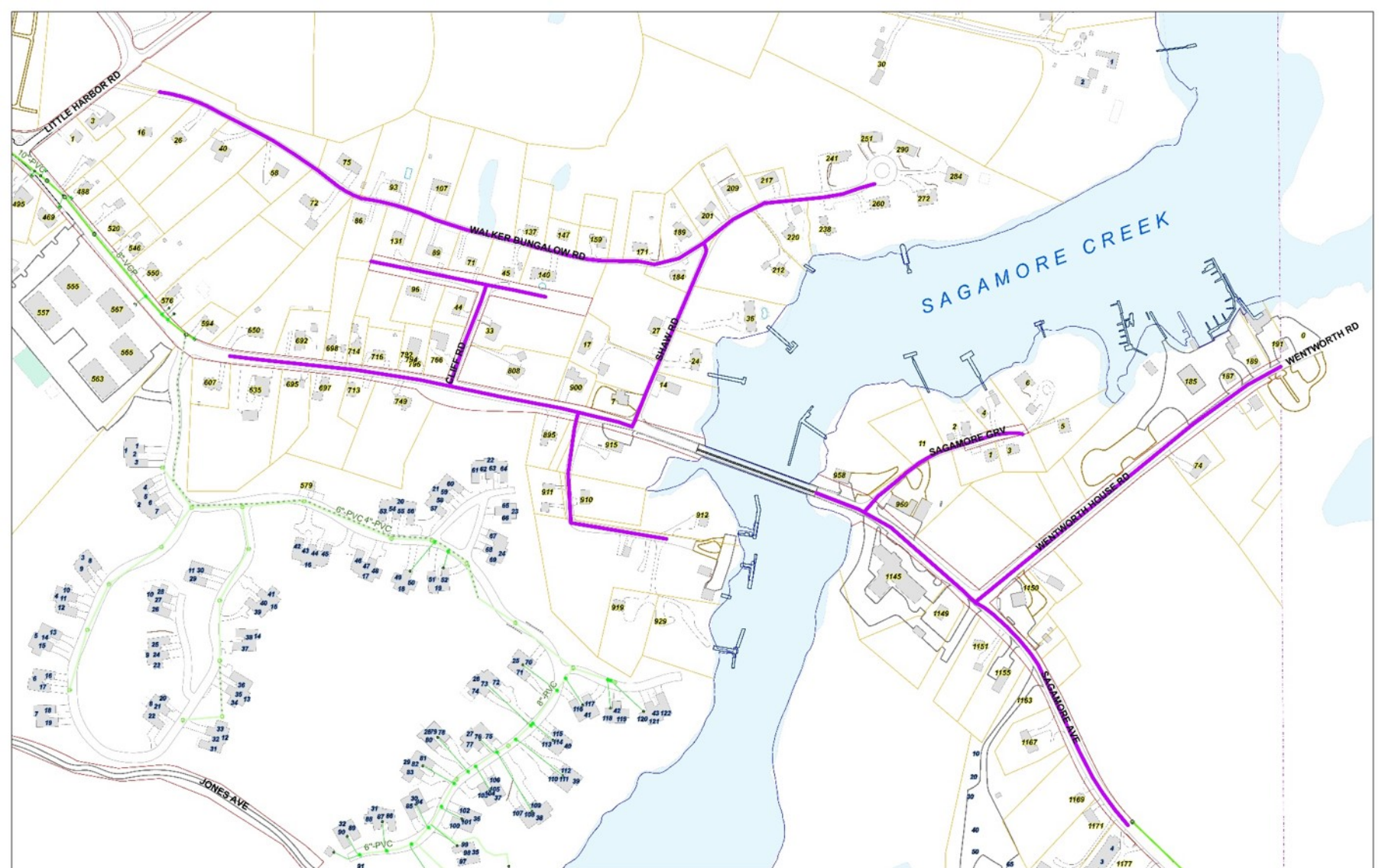


Portsmouth, New Hampshire
2019
Tax Map 229

Sagamore Avenue Sewer Extension Project Description

The City of Portsmouth, NH, intends to extend public sewer services to the southern portions of Sagamore Avenue and the surrounding area in accordance with the City's September 2016 Consent Decree modification. The New Hampshire Department of Environmental Services (NHDES) completed a Total Maximum Daily Load (TMDL) study for bacteria of Little Harbor and identified Sagamore Creek (adjacent to the project area) as a potential contributor to impaired water quality in Little Harbor. In 2016, the EPA and NHDES updated a Consent Decree to the City requiring construction of the new sewer extension begin no later than June 2020 and be substantially completed on or before June 30, 2022. The City has requested an extension to these Consent Decree deadlines to June 2021 and December 2022 respectively. To meet the requirements of the Consent Decree, installation of a low-pressure sewer system (LPSS) is recommended due to the shallow ledge located during field inspections. This type of system reduces construction costs by using small diameter pipes that can be installed at shallower depths than conventional sewer system mains. This system requires each property has a grinder pump that discharges the sewerage into the small diameter main located in the roadway.

Project Overview

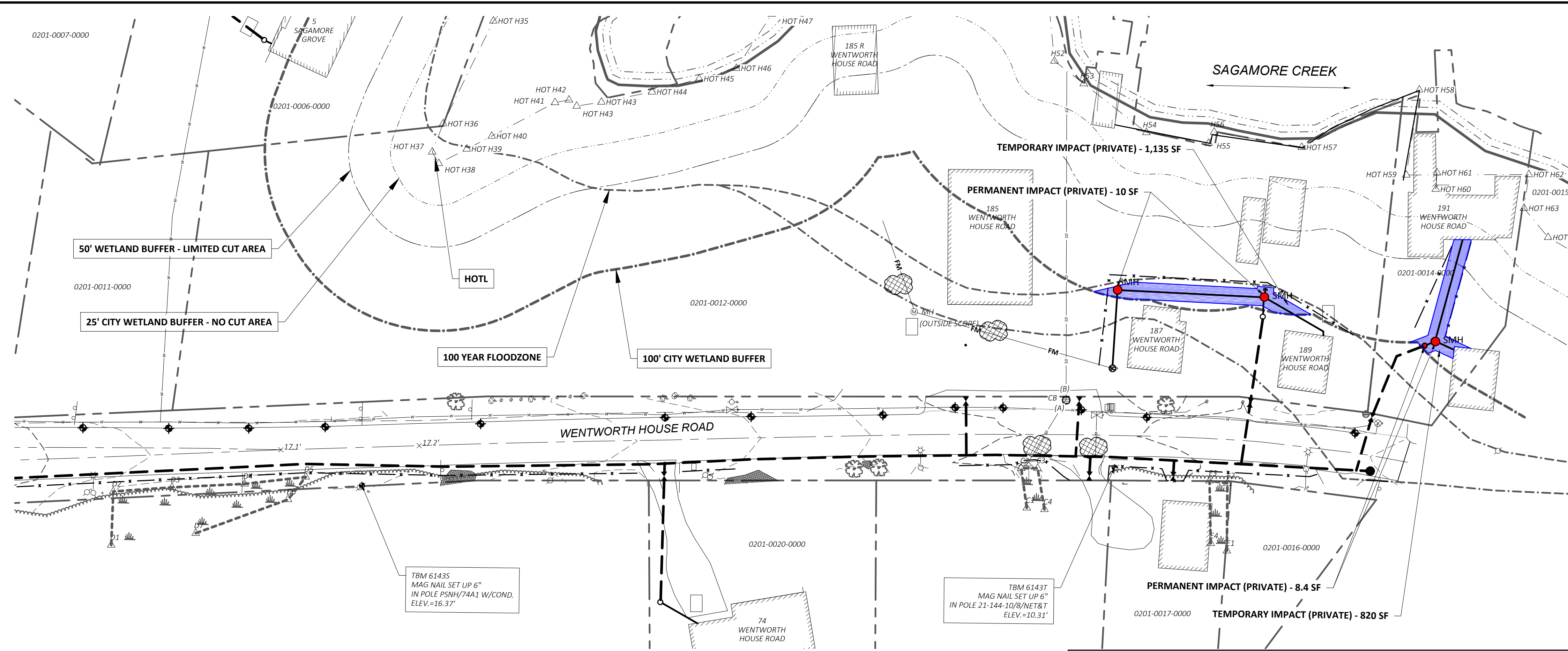
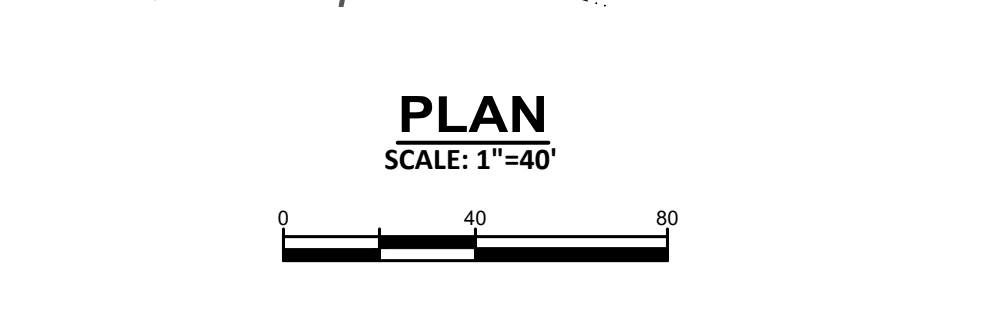
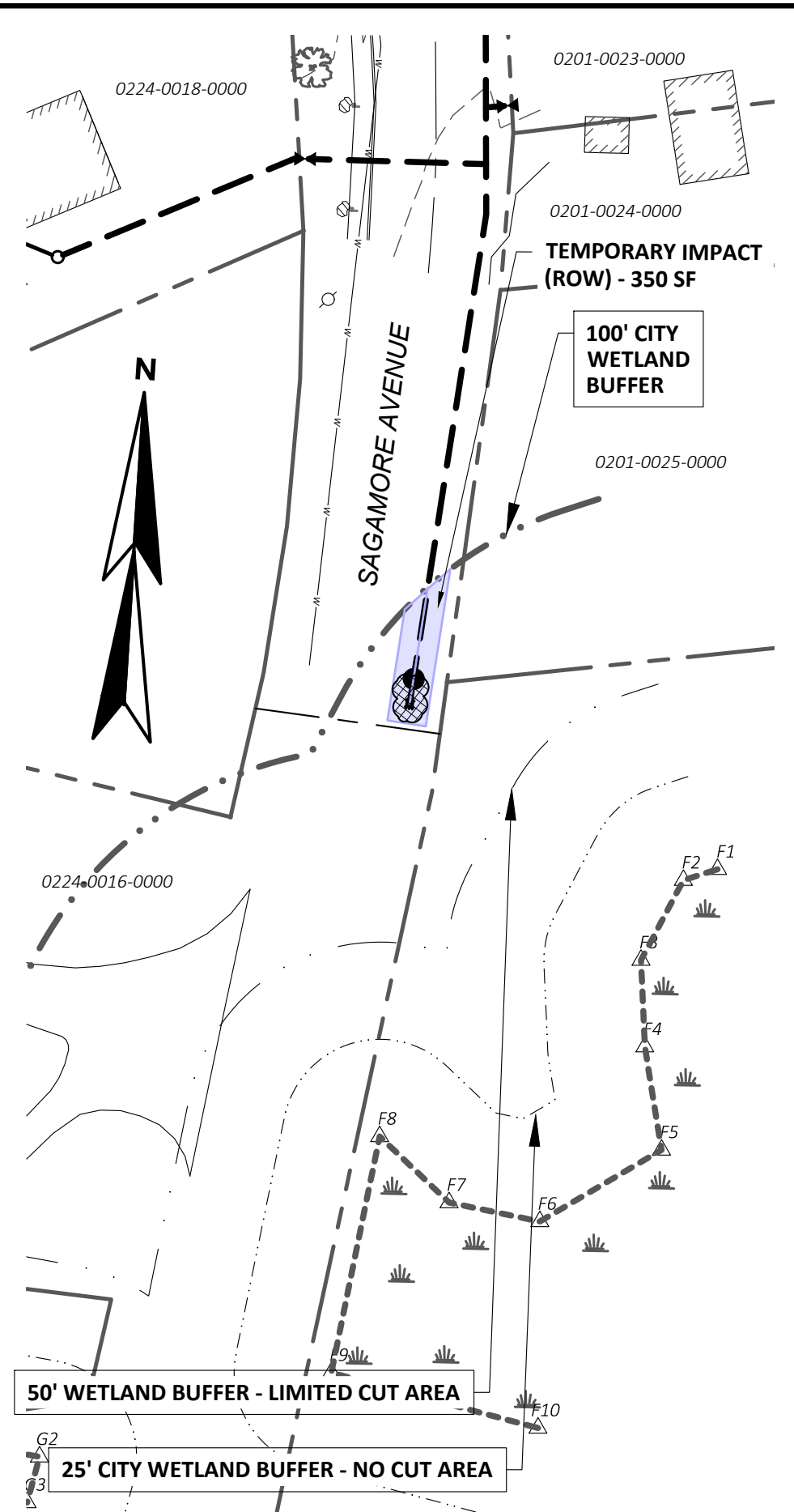


Legend

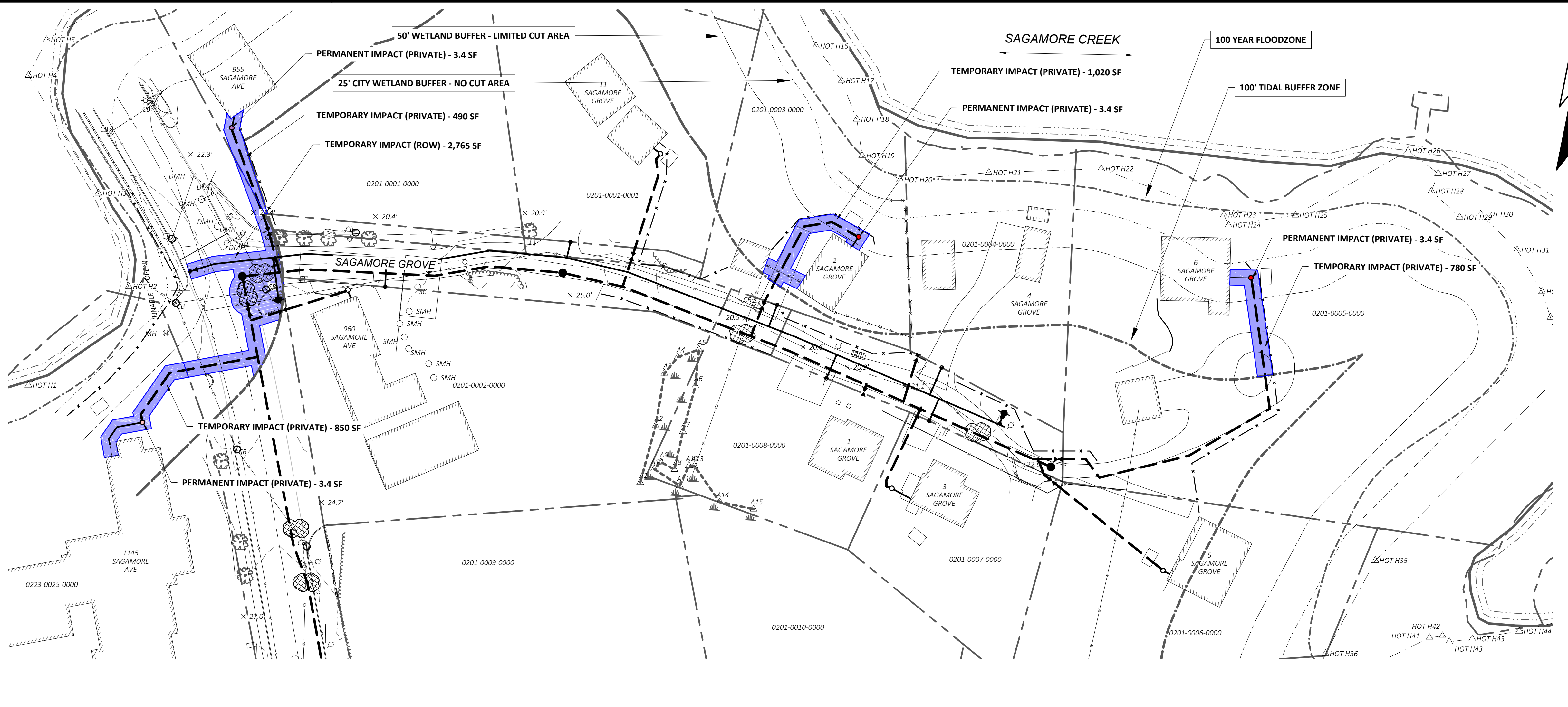
— Proposed Low Pressure Sewer Main

0 60 120 240 360 Feet
1 inch = 120 feet

Wetland Buffer Impacts Plan Set



F-1 IMPACT AREA TOTAL (SF)				
	100' PREVIOUSLY DEVELOPED TIDAL BUFFER		100' CITY WETLAND BUFFER	
	TEMPORARY	PERMANENT	TEMPORARY	PERMANENT
PRIVATE PROPERTY	5095	32	0	0
ROW	2765	0	350	0



LEGEND:	
TEMPORARY IMPACT 100' CITY WETLAND BUFFER	[Light Blue Box]
PERMANENT IMPACT 100' CITY WETLAND BUFFER	[Light Red Box]
TEMPORARY IMPACT 100' HOTL BUFFER	[Light Blue Box]
PERMANENT IMPACT 100' HOTL BUFFER	[Light Red Box]
PERIMETER CONTROL	[Dashed Line]
EDGE OF WETLANDS	[Dashed Line]
100 YEAR FLOODPLAIN	[Dashed Line]
HOTL	[Dashed Line]
100' TIDAL BUFFER	[Dashed Line]
100' CITY WETLAND BUFFER	[Dashed Line]
50' CITY WETLAND BUFFER	[Dashed Line]
25' CITY WETLAND BUFFER	[Dashed Line]

NOTES:
 JURISDICTIONAL WETLANDS DEPICTED WERE DELINEATED IN WINTER 2020/2021 BY MARC JACOBS, CERTIFIED WETLANDS SCIENTIST NUMBER 090. A DELINEATION REPORT AND FUNCTIONAL ASSESSMENT ARE ATTACHED FOR REFERENCE. SURVEY OF THE PROJECT AREA WAS COMPLETED BY DOUCET SURVEY INC.
 HORIZONTAL DATUM: NEW HAMPSHIRE STATE NAD83
 VERTICAL DATUM: NAVD88 PER NHDOT DISK 379-0990
 UNITS: US SURVEY FEET
 PROPOSED IMPACTS OUTSIDE OF THE TIDAL BUFFER ZONE AND WITHIN 250 FT OF THE HOTL WILL BE ADDRESS IN AN NHDES SHORELAND PERMIT APPLICATION
 GRINDER PUMPS ARE NOT DRAWN TO SCALE. GRINDER PUMP COVERS ARE 24.9" DIAMETER AND CONSIDERED A PERMANENT IMPACT.
 ALL PROPOSED IMPACTS WITHIN CITY BUFFER ZONES ARE LOCATED IN PREVIOUSLY DISTURBED AREAS AND DESIGNED TO MINIMIZE DISTURBANCE TO THE MAXIMUM EXTENT PRACTICABLE.

NO	PERMITTING	DESIGNED BY: J.SHA	APP'D DATE
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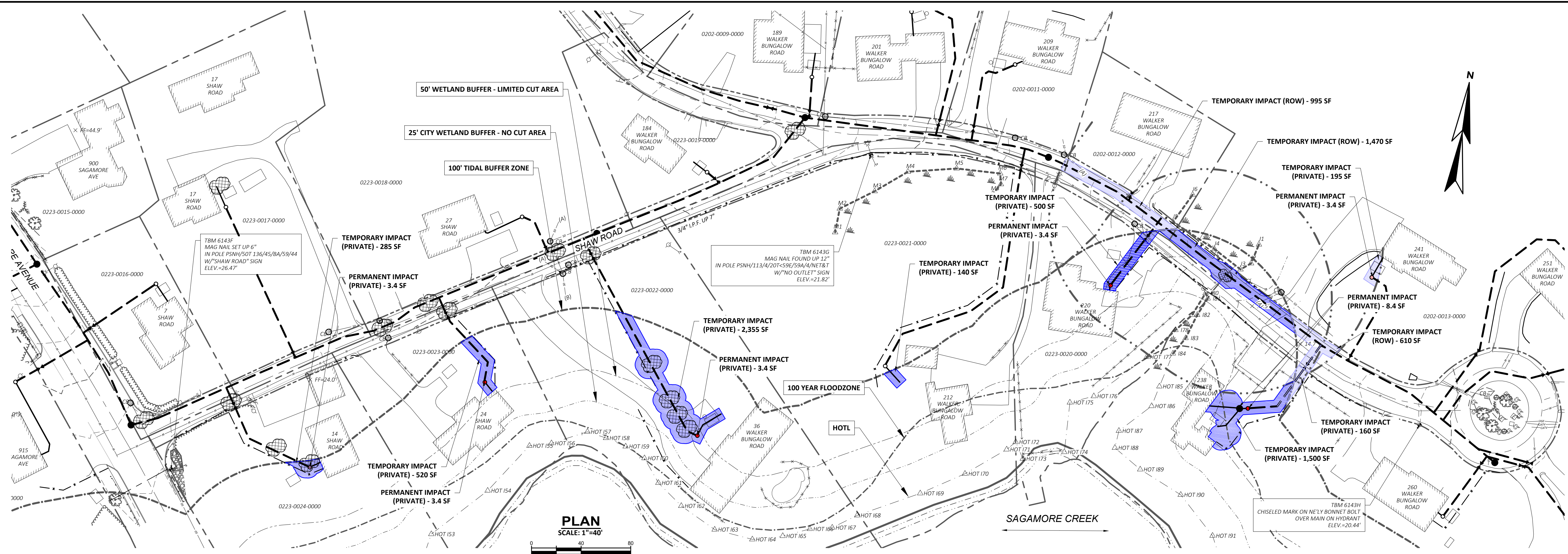
DESIGNED BY: J.SHA
 CAD CORP: J.MIC
 CDD: D.FUD
 CHECKED BY: B.ECK
 DATE: 02/21
 APPROVED BY: K.GAR
 DATE: 02/21
 PROJECT NO.: 11304C

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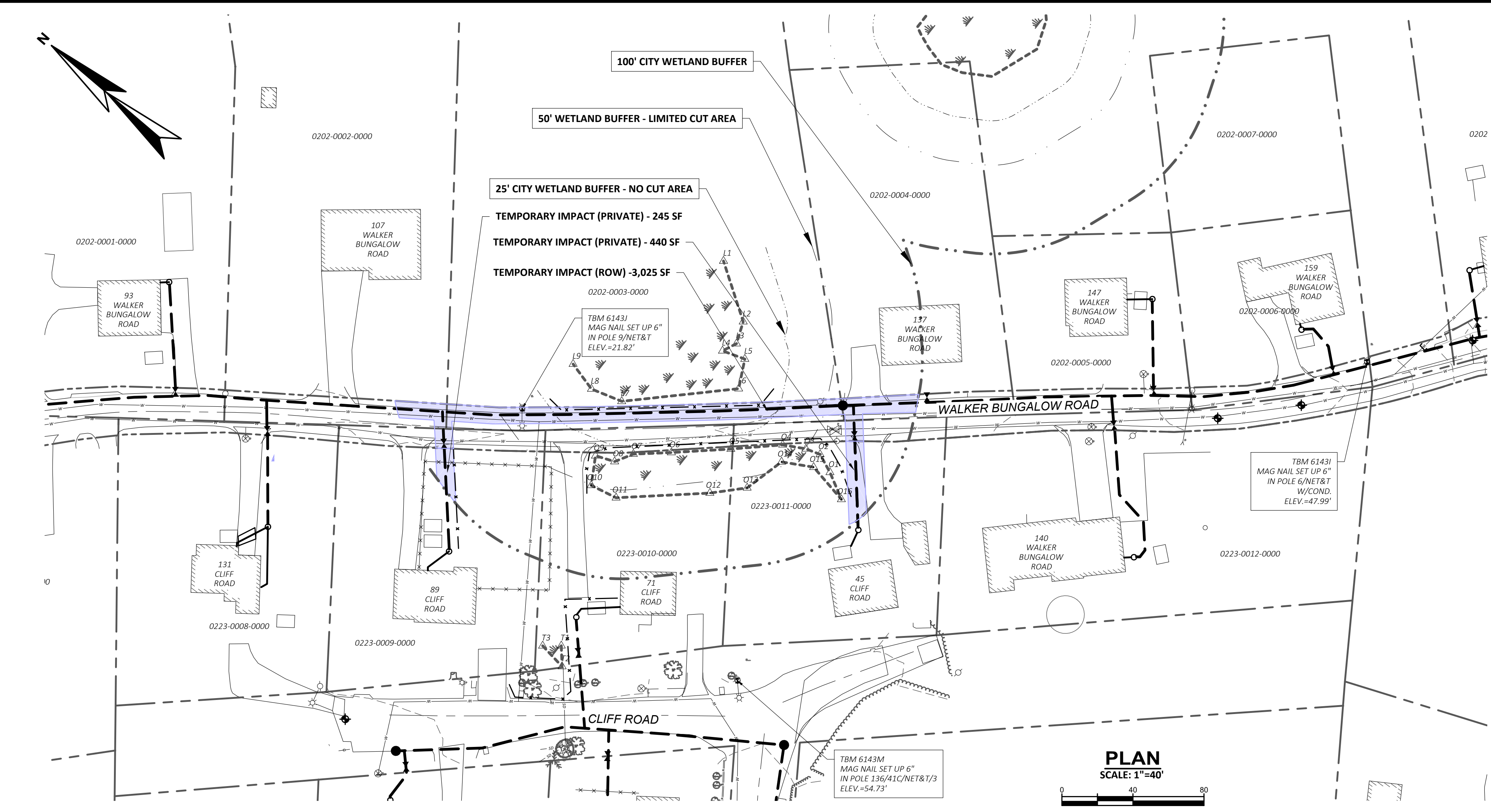
CITY OF PORTSMOUTH, NH
SAGAMORE AVENUE SEWER EXTENSION
PROJECT

CONSERVATION FIGURE 1

DRAWING
F-1



PLAN
SCALE: 1"=40'



PLAN
SCALE: 1"=40'

F-2 IMPACT AREA TOTAL (SF)				
	100' PREVIOUSLY DEVELOPED TIDAL BUFFER		100' CITY WETLAND BUFFER	
	TEMPORARY	PERMANENT	TEMPORARY	PERMANENT
PRIVATE PROPERTY	5300	23.6	1040	0
ROW	1470	0	4630	0

LEGEND:	
TEMPORARY IMPACT 100' CITY WETLAND BUFFER	[Light Blue Box]
PERMANENT IMPACT 100' CITY WETLAND BUFFER	[Light Red Box]
TEMPORARY IMPACT 100' HOTL BUFFER	[Light Blue Box]
PERMANENT IMPACT 100' HOTL BUFFER	[Light Red Box]
PERIMETER CONTROL	[Dashed Line]
EDGE OF WETLANDS	[Dashed Line]
100 YEAR FLOODPLAIN	[Dashed Line]
HOTL	[Dashed Line]
100' TIDAL BUFFER	[Dashed Line]
100' CITY WETLAND BUFFER	[Dashed Line]
50' CITY WETLAND BUFFER	[Dashed Line]
25' CITY WETLAND BUFFER	[Dashed Line]

NOTES:
 JURISDICTIONAL WETLANDS DEPICTED WERE DELINEATED IN WINTER 2020/2021 BY MARC JACOBS, CERTIFIED WETLANDS SCIENTIST NUMBER 090. A DELINEATION REPORT AND FUNCTIONAL ASSESSMENT ARE ATTACHED FOR REFERENCE. SURVEY OF THE PROJECT AREA WAS COMPLETED BY DOUCET SURVEY INC.

HORIZONTAL DATUM: NEW HAMPSHIRE STATE NAD83
 VERTICAL DATUM: NAVD88 PER NHDOT DISK 379-0990
 UNITS: US SURVEY FEET

PROPOSED IMPACTS OUTSIDE OF THE TIDAL BUFFER ZONE AND WITHIN 250 FT OF THE HOTL WILL BE ADDRESS IN AN NHDES SHORELAND PERMIT APPLICATION

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NO	PERMITTING	DESIGNED BY: J.SHA	APP'D DATE
1	Δ	L.MIC	K.GAR 01-21
2	Δ	D.FUD	
3	Δ	B.BLECK	
4	Δ	K.GAR	

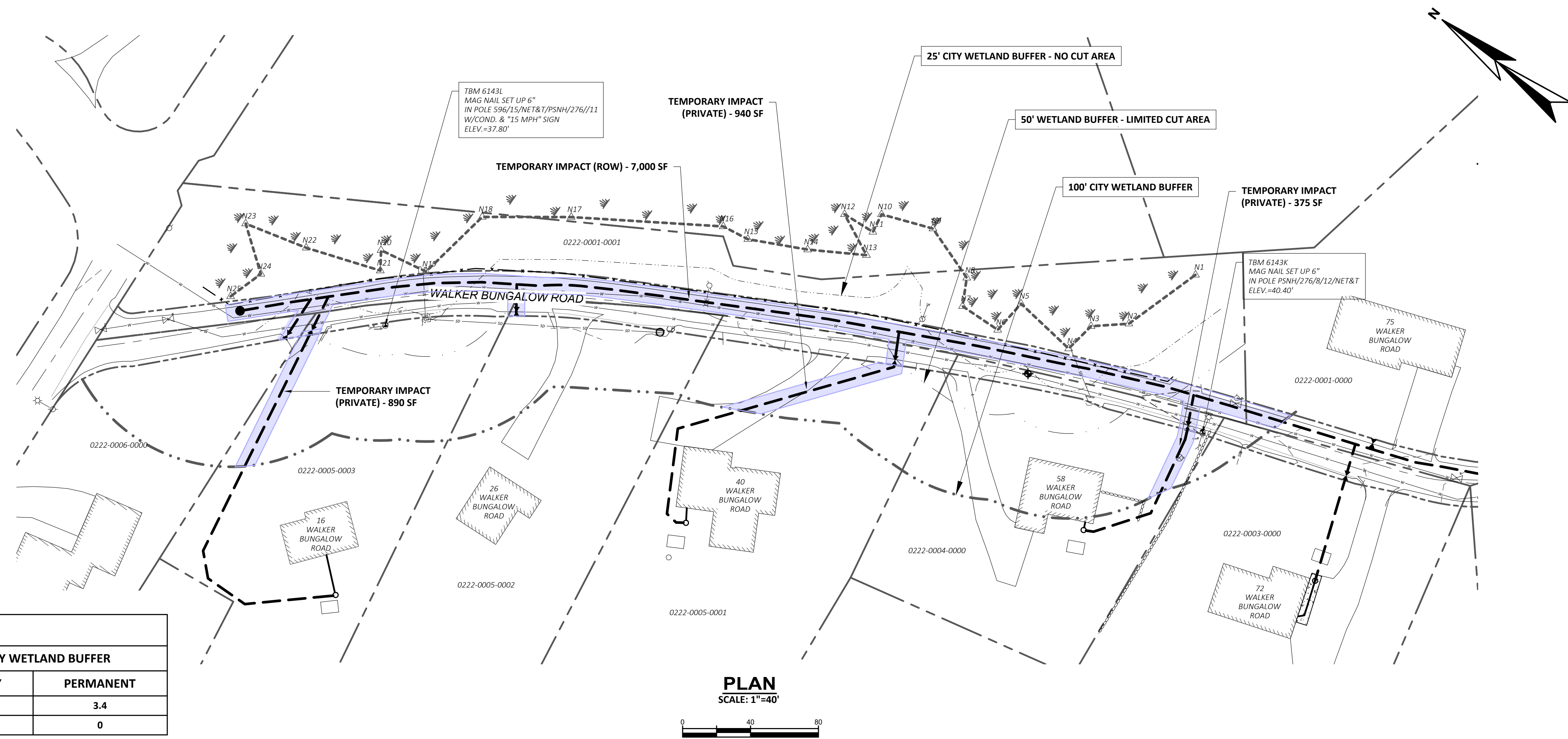
NO	PERMITTING	DESIGNED BY: J.SHA	APP'D DATE
1	Δ	L.MIC	K.GAR 01-21
2	Δ	D.FUD	
3	Δ	B.BLECK	
4	Δ	K.GAR	

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CITY OF PORTSMOUTH, NH
SAGAMORE AVENUE SEWER EXTENSION
PROJECT

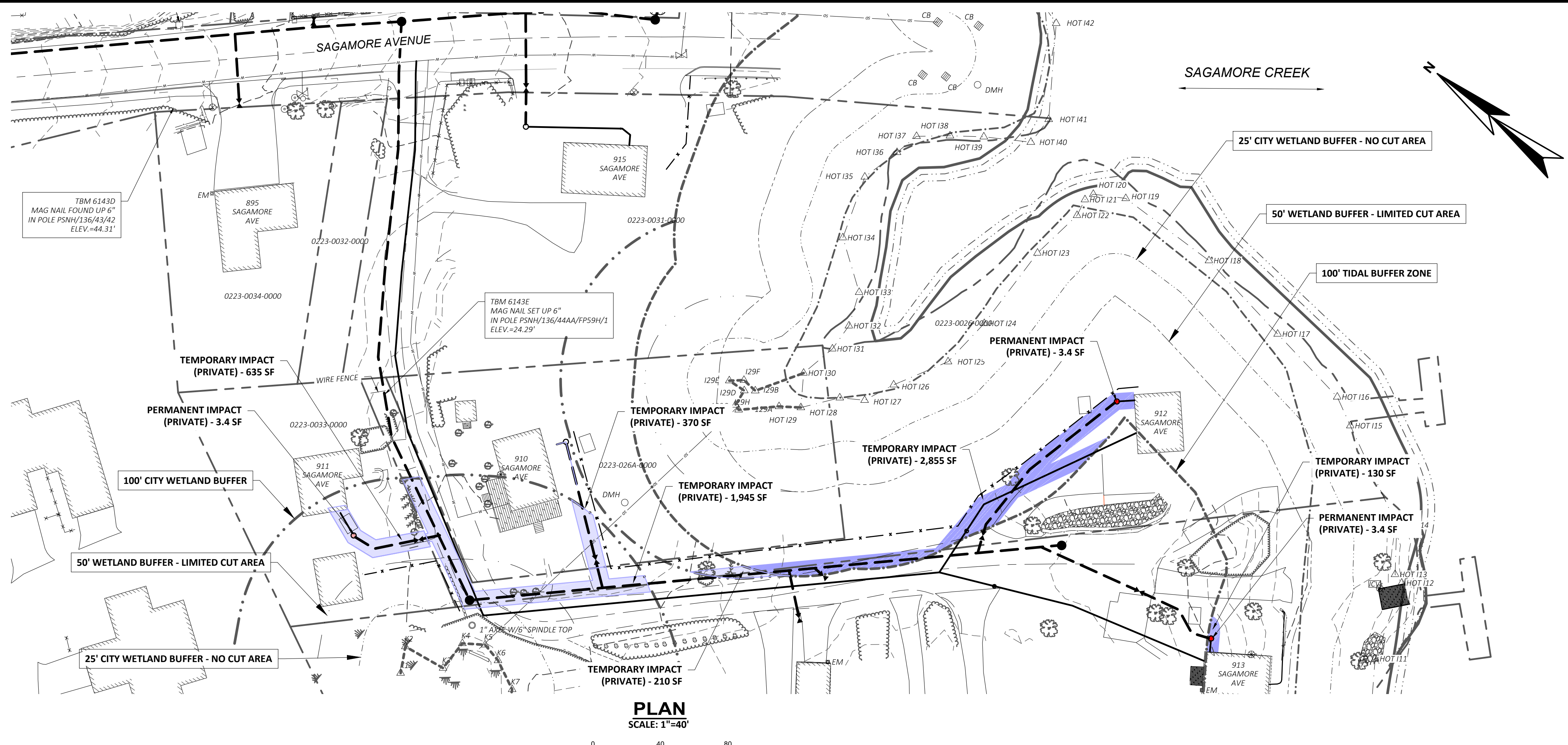
DRAWING
F-2

CONSERVATION FIGURE 2



F-3 IMPACT AREA TOTAL (SF)				
	100' PREVIOUSLY DEVELOPED TIDAL BUFFER		100' CITY WETLAND BUFFER	
	TEMPORARY	PERMANENT	TEMPORARY	PERMANENT
PRIVATE PROPERTY	2985	0	5365	3.4
ROW	0	0	7000	0

LEGEND:	
TEMPORARY IMPACT 100' CITY WETLAND BUFFER	
PERMANENT IMPACT 100' CITY WETLAND BUFFER	
TEMPORARY IMPACT 100' HOTL BUFFER	
PERMANENT IMPACT 100' HOTL BUFFER	
PERIMETER CONTROL	
EDGE OF WETLANDS	
100 YEAR FLOODPLAIN	
HOTL	
100' TIDAL BUFFER	
100' CITY WETLAND BUFFER	
50' CITY WETLAND BUFFER	
25' CITY WETLAND BUFFER	



NOTES:
 JURISDICTIONAL WETLANDS DEPICTED WERE DELINEATED IN WINTER 2020/2021 BY MARC JACOBS, CERTIFIED WETLANDS SCIENTIST NUMBER 090. A DELINEATION REPORT AND FUNCTIONAL ASSESSMENT ARE ATTACHED FOR REFERENCE. SURVEY OF THE PROJECT AREA WAS COMPLETED BY DOUCET SURVEY INC.

HORIZONTAL DATUM: NEW HAMPSHIRE STATE NAD83
 VERTICAL DATUM: NAVD88 PER NHDOT DISK 379-0990
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NO	PERMITTING	DESIGNED BY: J.SHA	APP'D DATE
1	DESIGNED	J.SHA	03-21
2	CHECKED	D.FUD	03-21
3	APPROVED	K.GAR	03-21

NO	PERMITTING	DESIGNED BY: J.SHA	APP'D DATE
1	DESIGNED	J.SHA	03-21
2	CHECKED	D.FUD	03-21
3	APPROVED	K.GAR	03-21

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CITY OF PORTSMOUTH, NH
SAGAMORE AVENUE SEWER EXTENSION PROJECT
 CONSERVATION FIGURE 3
DRAWING
 F-3

P0595-007
March 10, 2021

Mr. Dexter Legg, Chairman
City of Portsmouth Planning Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: **Design Review Phase
Proposed Mixed-Use Development, Raynes Avenue, Portsmouth, NH**

Dear Chairman Legg:

On behalf of One Raynes Ave, LLC, 31 Raynes Ave, LLC & 203 Maplewood Ave, LLC (owners), and North Mill Pond Holdings, LLC (applicant), we are pleased to submit the following revised and supplemental information for a Design Review hearing with the Planning Board for the above referenced project originally submitted on December 1, 2020:

- Site Plan Set, last revised March 10, 2021;
- Planning Board Design Review Presentation Slides for March 25, 2021

On December 17, 2020, the proposed project had a Conceptual Consultation with the Planning Board in which the board provided initial feedback on the site design. In addition, the Planning Board voted to hold a Design Review public hearing on January 21, 2021 for the proposed project, which the applicant had requested to postpone until the March 2021 Planning Board meeting. The project also met for a work session with Technical Advisory Committee (TAC) on December 8, 2020 and a work session with Conservation Commission (CC) on December 9, 2020.

The enclosed Site Plans have been revised in response to feedback from the TAC work session, CC work session, and the Planning Board Conceptual Consultation. In addition, we have enclosed a copy of the applicant's Preliminary Design Review Presentation for your review in advance of the Planning Board hearing.

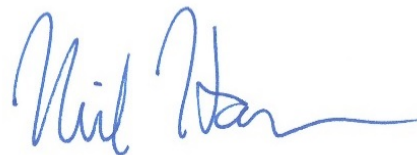
We look forward to meeting with the Planning Board on March 25, 2021. If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at pmcrimmins@tighebond.com.

Sincerely,

TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Senior Project Manager



Neil A. Hansen, PE
Project Engineer

Copy: North Mill Pond Holdings, LLC

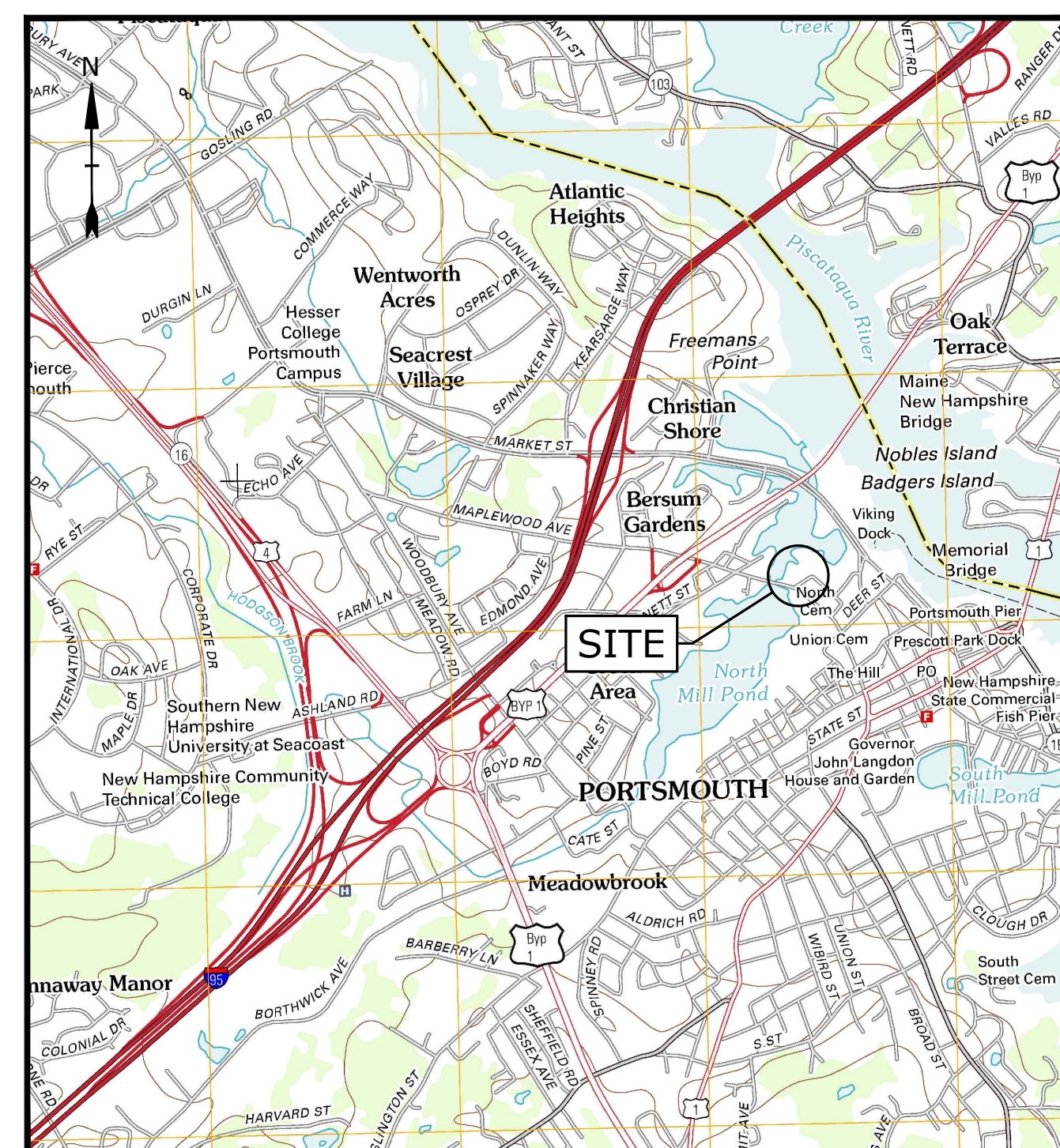
PROPOSED MIXED USE DEVELOPMENT

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

MARCH 10, 2021

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	3/10/2021
G-100	GENERAL NOTES AND LEGEND	3/10/2021
1 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
2 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
3 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
C-101	DEMOLITION PLAN	3/10/2021
C-102	OVERALL SITE PLAN	3/10/2021
C-102.1	SITE PLAN	3/10/2021
C-103	GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/10/2021
C-104	UTILITIES PLAN	3/10/2021
L-101	SITE LANDSCAPE PLAN	3/10/2021
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	3/10/2021
C-502	DETAILS SHEET	3/10/2021
C-503	DETAILS SHEET	3/10/2021
C-504	DETAILS SHEET	3/10/2021
C-505	DETAILS SHEET	3/10/2021
C-506	DETAILS SHEET	3/10/2021

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT		
CONDITIONAL USE PERMIT- WETLAND BUFFER		
STATE		
NHDES - ALTERATION OF TERRAIN PERMIT		
NHDES - WETLAND PERMIT		
NHDES - SHORELAND PERMIT		
NHDES - SEWER CONNECTION PERMIT		



LOCATION MAP
SCALE: 1" = 2,000'

PREPARED BY:

Tighe & Bond

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

APPLICANT:

NORTH MILL POND HOLDINGS LLC
1359 HOOKSETT ROAD
HOOKSETT, NEW HAMPSHIRE 03106

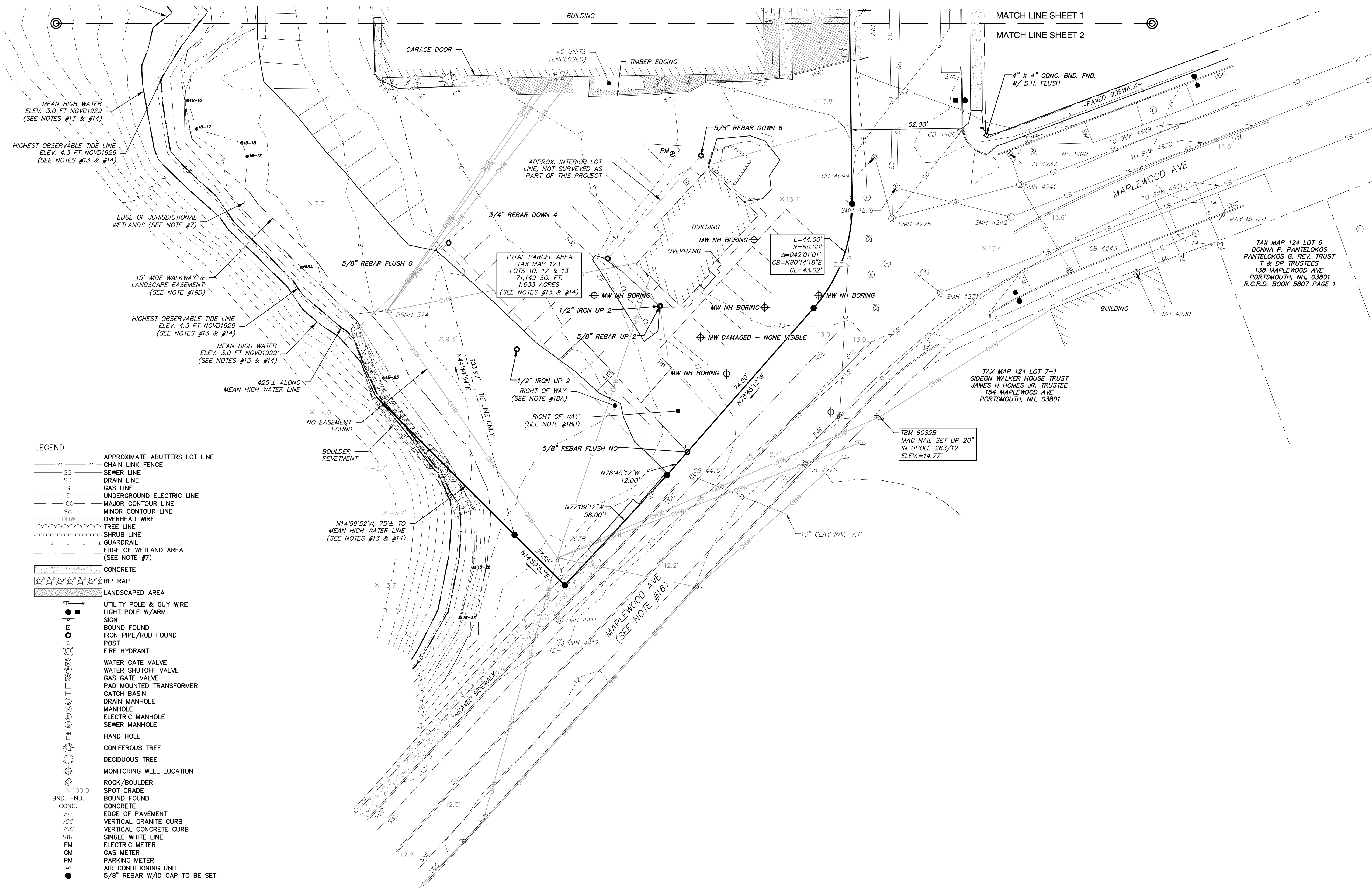
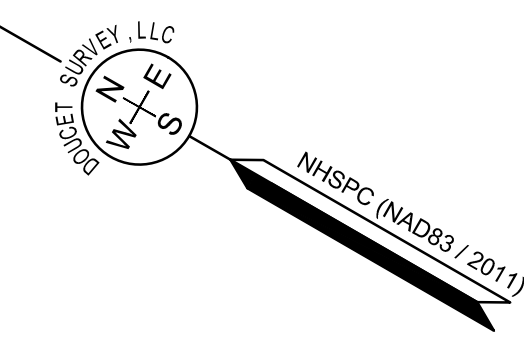
OWNERS:

TAX MAP 123, LOT 10 & 13
31 RAYNES LLC C/O PORTSMOUTH CHEVROLET
549 ROUTE 1 BYPASS
PORTSMOUTH, NEW HAMPSHIRE 03801

TAX MAP 123, LOT 12
203 MAPLEWOOD AVENUE LLC
549 HIGHWAY 1 BYPASS
PORTSMOUTH, NH 03801

TAX MAP 123, LOT 14
ONE RAYNES AVE LLC
1359 HOOKSETT RD
HOOKSETT, NEW HAMPSHIRE 03106

**DESIGN REVIEW RESUBMISSION SET
COMPLETE SET 17 SHEETS**



- LEGEND**
- APPROXIMATE ABUTTERS LOT LINE
 - CHAIN LINK FENCE
 - SS SEWER LINE
 - SD DRAIN LINE
 - G GAS LINE
 - E UNDERGROUND ELECTRIC LINE
 - 100 MAJOR CONTOUR LINE
 - 93 MINOR CONTOUR LINE
 - OHW OVERHEAD WIRE
 - TREE LINE
 - SHRUB LINE
 - GUARDRAIL
 - EDGE OF WETLAND AREA (SEE NOTE #7)
 - CONCRETE
 - RIP RAP
 - LANDSCAPED AREA
 - UTILITY POLE & GUY WIRE
 - LIGHT POLE W/ARM
 - SIGN
 - BOUND FOUND
 - IRON PIPE/ROD FOUND
 - POST
 - FIRE HYDRANT
 - WATER GATE VALVE
 - WATER SHUTOFF VALVE
 - GAS GATE VALVE
 - PAD MOUNTED TRANSFORMER
 - CATCH BASIN
 - DRAIN MANHOLE
 - MANHOLE
 - ELECTRIC MANHOLE
 - SEWER MANHOLE
 - HAND HOLE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - MONITORING WELL LOCATION
 - ROCK/BOULDER
 - SPOT GRADE
 - BOUND FOUND
 - CONCRETE
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - VERTICAL CONCRETE CURB
 - SINGLE WHITE LINE
 - ELECTRIC METER
 - GAS METER
 - PARKING METER
 - AIR CONDITIONING UNIT
 - 5/8" REBAR W/ID CAP TO BE SET

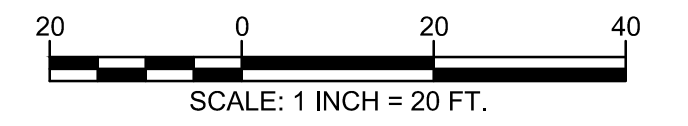
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE (NH RSA TITLE LXIV) AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

L.L.S. #989
DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

TAX MAP 124 LOT 6
DONNA P. PANTELAKOS
PANTELAKOS & REV. TRUST
T & DP TRUSTEES
138 MAPLEWOOD AVE
PORTSMOUTH, NH, 03801
R.C.R.D. BOOK 5807 PAGE 1

TAX MAP 124 LOT 7-1
GIDEON WALKER HOUSE TRUST
JAMES H HOMES JR. TRUSTEE
154 MAPLEWOOD AVE
PORTSMOUTH, NH, 03801



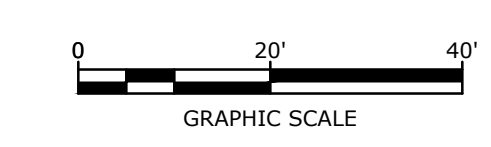
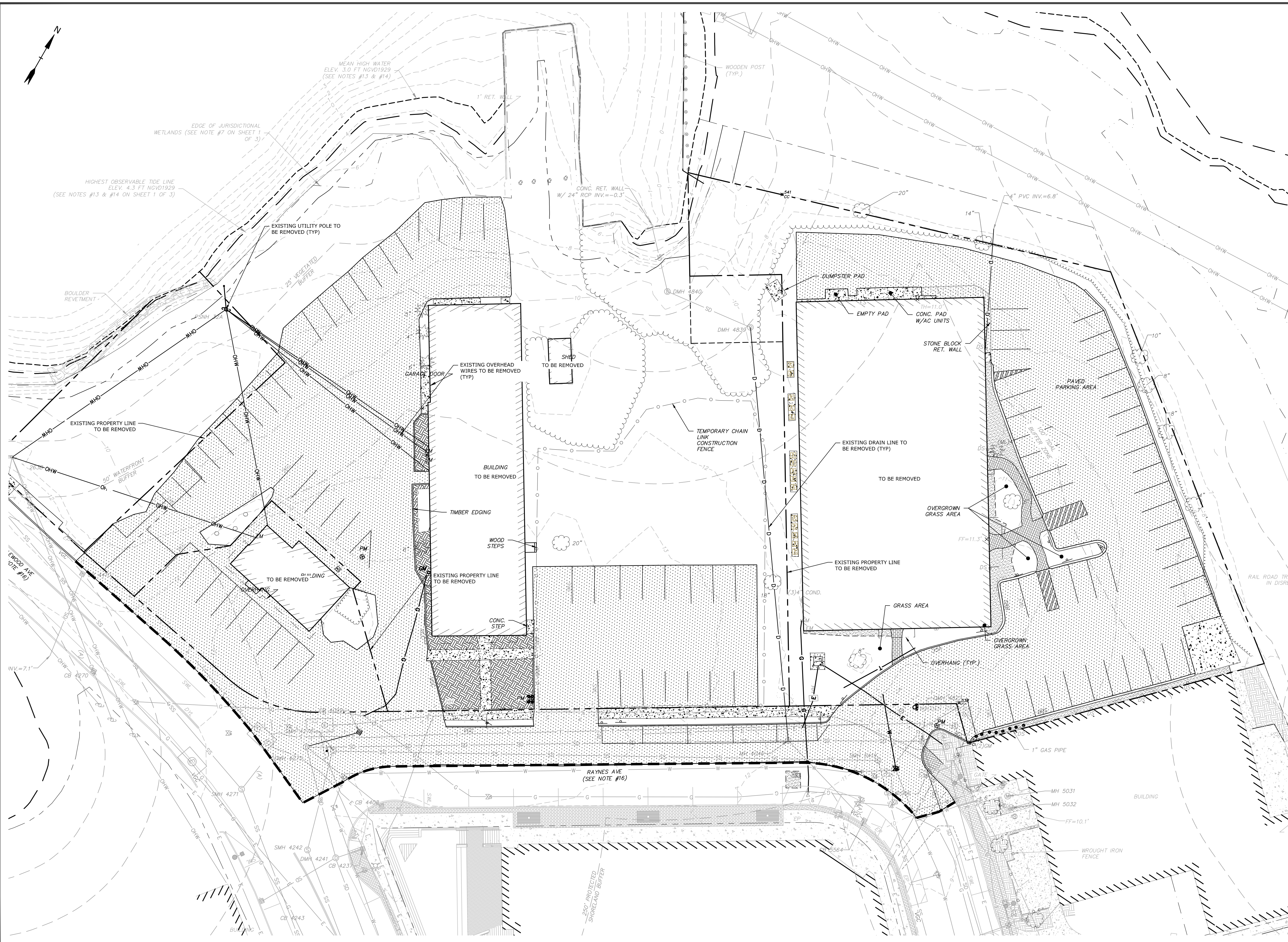
EXISTING CONDITIONS PLAN
FOR
TIGHE & BOND
LAND OF
31 RAYNES LLC
(TAX MAP 123, LOTS 10 & 13)
203 MAPLEWOOD AVENUE LLC
(TAX MAP 123, LOT 12)
&
ONE RAYNES AVENUE LLC
(TAX MAP 123, LOT 14)
MAPLEWOOD AVENUE & RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	JUNE 17, 2020
CHECKED BY:	M.W.F.	DRAWING NO.	6082B
JOB NO.	6082	SHEET	3 OF 3

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Serving Your Professional Surveying & Mapping Needs
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2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
http://www.doucetsurvey.com

FILE NAME: Y:\PROJECTS\6082\6082-11\6082-11.dwg PLOTTED: 16/06/2020 10:19:20 AM LAYOUT NAME: TIGHE PLAN (3) PLOTTED: 16/06/2020 10:19:20 AM



**Proposed
Mixed Use
Development**

North Mill Pond
Holdings, LLC

Portsmouth,
New Hampshire

MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

PROJECT NO:	P-0595-007
DATE:	December 22, 2020
FILE:	P-0595-007-C-DSGN.DWG
DRAWN BY:	CJK
CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

DEMOLITION PLAN

SCALE: AS SHOWN

Last Saved: 3/9/2021 10:01:40 AM By: CJK
 Project: North Mill Pond Holdings, LLC
 Figure: P-0595-007-C-DSGN.DWG
 Figures: AutoCAD, Sheet P-0595-007-C-DSGN.dwg

SITE DATA:

LOCATION: TAX MAP 123, LOT 10
 TAX MAP 123, LOT 12
 TAX MAP 123, LOT 13
 TAX MAP 123, LOT 14
 TAX MAP 123, LOT 12
 RAYNES AVENUE

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)
 DOWNTOWN OVERLAY DISTRICT
 NORTH END INCENTIVE OVERLAY DISTRICT
 HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING
 HOTEL
 RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING):	REQUIRED	PROPOSED
MAXIMUM PRINCIPAL FRONT YARD:	15 FT	±5 FT
MAXIMUM SECONDARY FRONT YARD:	12 FT	±5 FT
SIDE YARD:	NR	NR
MINIMUM REAR YARD:	5 FT	N/A
MINIMUM FRONT LOT LINE BUILDOUT:	50%	±68.8%
BUILDING AND LOT OCCUPATION:	REQUIRED	PROPOSED
MAXIMUM BUILDING BLOCK LENGTH:	200 FT	197 FT
MAXIMUM FACADE MODULATION LENGTH:	80 FT	<100 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	90%	±47.0%
MAXIMUM BUILDING FOOTPRINT:	*15,000 SF	17,565 SF 13,815 SF
MINIMUM LOT AREA:	NR	NR
MINIMUM LOT AREA PER DWELLING UNIT:	NR	NR
MINIMUM OPEN SPACE:	10%	25.3%
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	6,514 SF

*ZONING ORDINANCE 10.5A46.20 ALLOWS 30,000SF BUILDING FOOTPRINT WITH 20% COMMUNITY SPACE.

BUILDING FORM (PRINCIPAL BUILDING):	REQUIRED	PROVIDED
BUILDING HEIGHT:	**LOT 12 -25T, 35' **LOT 13 -35T, 40' **LOT 14 -45T, 50'	
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	12 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10 FT
FACADE GLAZING:	70%	70%
SHOP FRONT FACADE TYPE	70%	70%
ALLOWED ROOF TYPES	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT, GABLE, HIP, GAMBREL, MANSARD

**ZONING ORDINANCE 10.5A46.20 ALLOWS A 1-STORY, UP TO 10' HEIGHT INCREASE WITH 20% COMMUNITY SPACE.

COMMUNITY SPACE:	REQUIRED	PROVIDED
MAXIMUM BUILDING FOOTPRINT PLUS 1-STORY, MAX 10 FT	21,274 SF	21,402 SF
MINIMUM SIDEWALK WIDTH	20%	20.1%

INCENTIVES TO DEVELOPMENT STANDARDS

INCENTIVES TO DEVELOPMENT STANDARDS	REQUIRED	PROVIDED
MAXIMUM BUILDING FOOTPRINT PLUS 1-STORY, MAX 10 FT	30,000 SF	20,155 SF
**60 FT	55 FT	
***14 FT	14 FT	

***ZONING ORDINANCE 10.5A46.10, FOOTNOTE 4 REQUIRES THE SIDEWALK WIDTH TO BE 10 FT PLUS AN EXTRA 2 FT FOR EACH STORY OF BUILDING HEIGHT ABOVE 3 STORIES.

OFF-STREET PARKING REQUIREMENTS

PARKING SPACES REQUIRED:	REQUIRED	PROVIDED
DWELLING UNITS:		
0 SF TO 500 SF, 0.5 SPACES PER UNIT	17 UNITS	8.5 SPACES
500 SF TO 750 SF, 1.0 SPACES PER UNIT	33 UNITS	33 SPACES
OVER 750 SF, 1.3 SPACES PER UNIT	10 UNITS	13 SPACES
TOTAL MINIMUM RESIDENTIAL SPACES REQUIRED =		55 SPACES

VISITORS:	REQUIRED	PROVIDED
1 SPACES PER 5 DWELLING UNITS	60 UNITS	12 SPACES

HOTEL:	REQUIRED	PROVIDED
0.75 SPACES PER GUEST ROOM	128 ROOMS	96 SPACES

DOWNTOWN OVERLAY DISTRICT	REQUIRED	PROVIDED
TOTAL MINIMUM PARKING SPACES REQUIRED =	159 SPACES	111 SPACES

SIX (6) ADA ACCESSIBLE SPACES REQUIRED

PARKING STALL SIZE:	REQUIRED	PROVIDED
DRIVE AISLE:	8.5' X 19'	8.5' X 19'
	***22'	22'

***ZONING ORDINANCE 10.1114.21 ALLOWS MINIMUM 22' AISLE WIDTH FOR 90 DEGREE PARKING IN A PARKING STRUCTURE

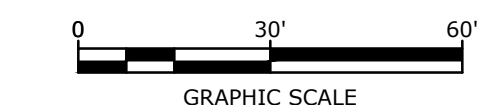
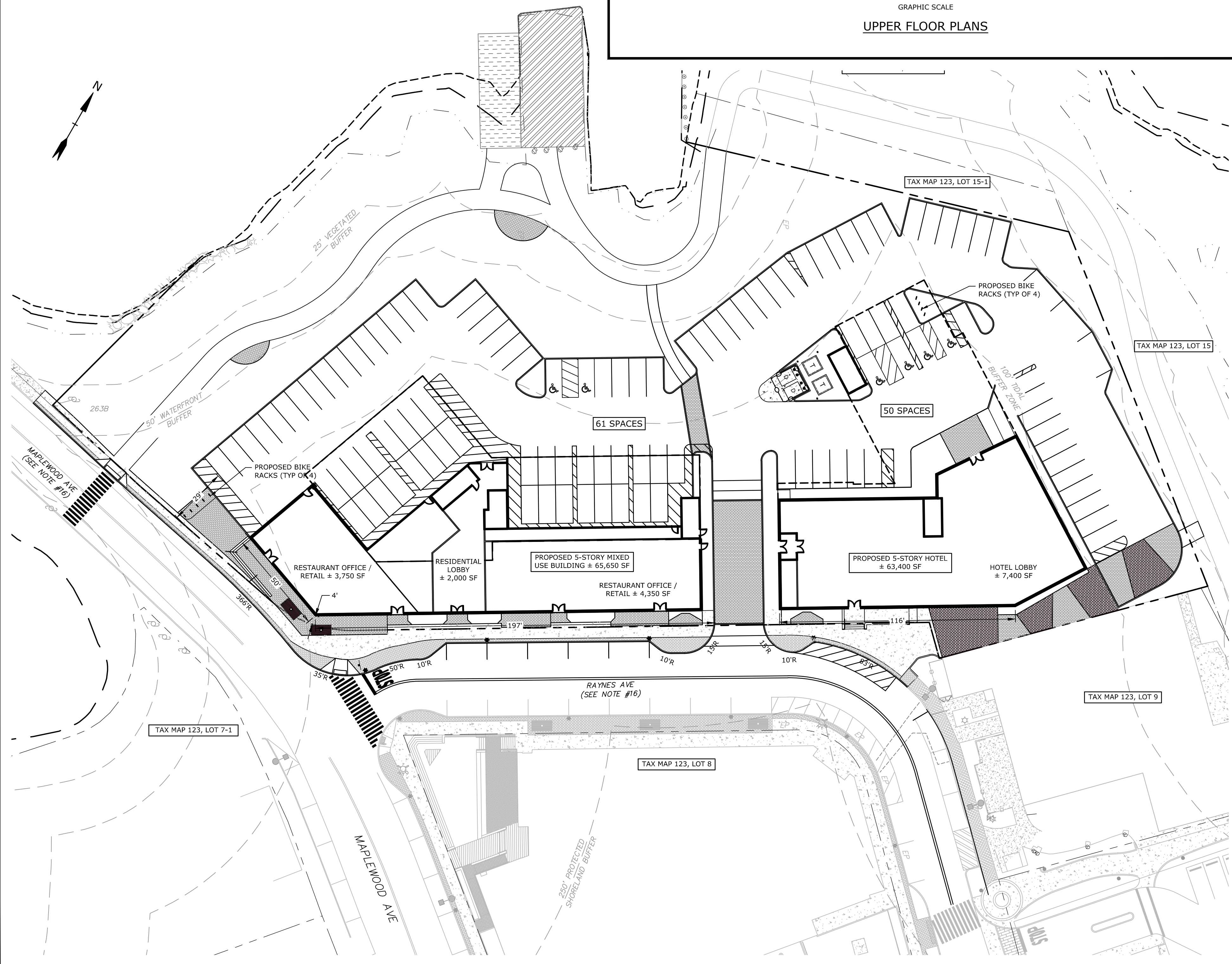
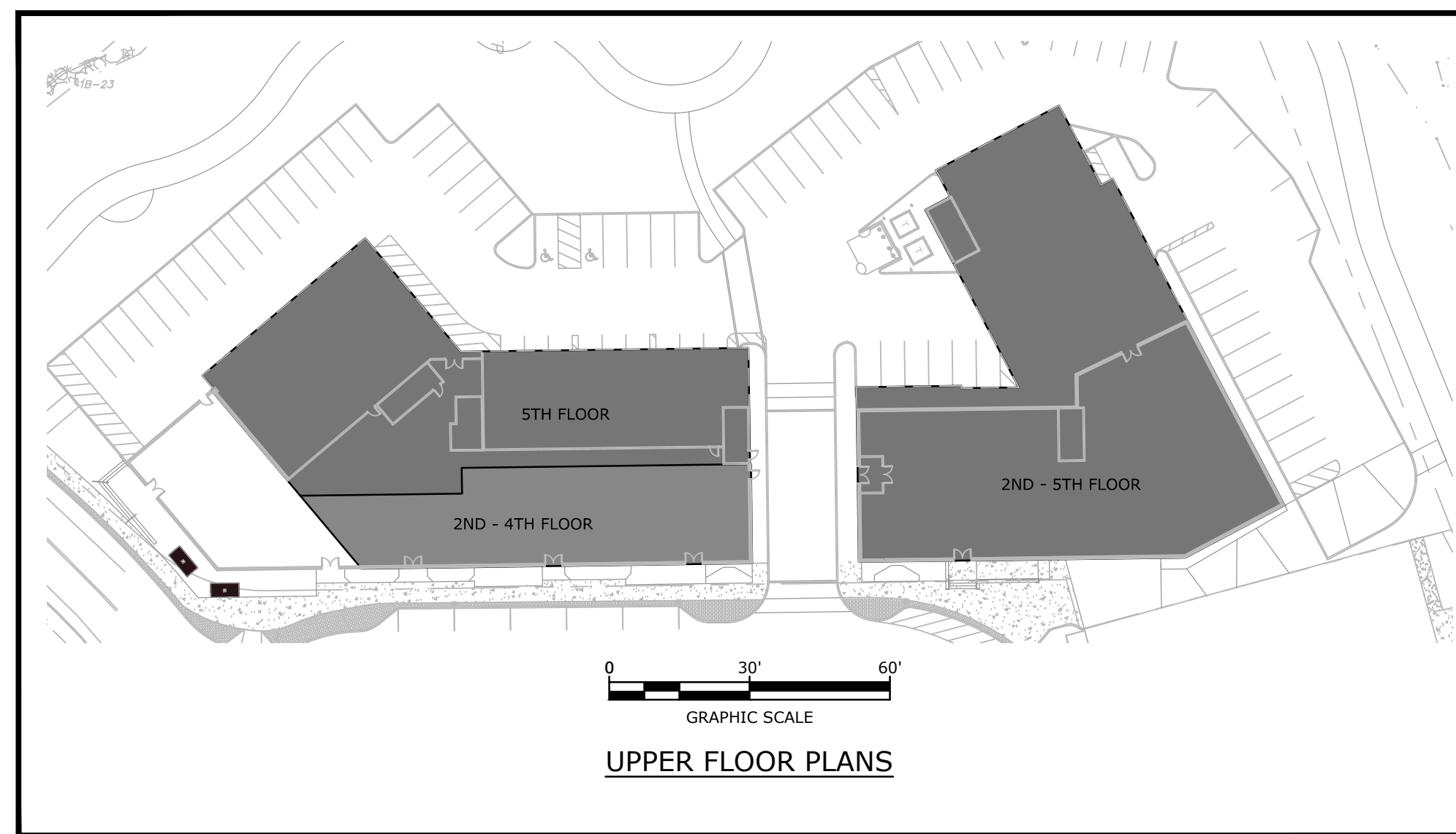
BIKE SPACES REQUIRED:	REQUIRED	PROVIDED
1 BIKE SPACE / 10 PARKING SPACES	159 SPACES	16 SPACES

PROPOSED HOTEL GROSS FLOOR AREA				
FLOOR	LOBBY (SF)	UNITS	FLOOR AREA (SF)	TOTAL (SF)
FIRST	7,400	0	7,400	7,400
SECOND	0	32	14,000	14,000
THIRD	0	32	14,000	14,000
FOURTH	0	32	14,000	14,000
FOURTH	0	32	14,000	14,000
TOTAL	7,400	128	56,000	63,400

PROPOSED MIXED USE GROSS FLOOR AREA				
FLOOR	TENANT (SF)	UNITS	FLOOR AREA (SF)	TOTAL (SF)
FIRST	8,100	0	2,000	10,100
SECOND	0	17	15,200	15,200
THIRD	0	17	15,200	15,200
FOURTH	0	17	15,200	15,200
FOURTH	0	9	9,950	9,950
TOTAL	8,100	60	57,550	65,650

SITE RECORDING NOTES:

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

PROJECT NO: P-0595-007

DATE: December 22, 2020

FILE: P-0595-007-C-DSGN.DWG

DRAWN BY: CLK

CHECKED BY: NAH/PMC

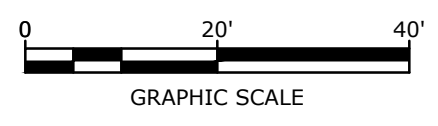
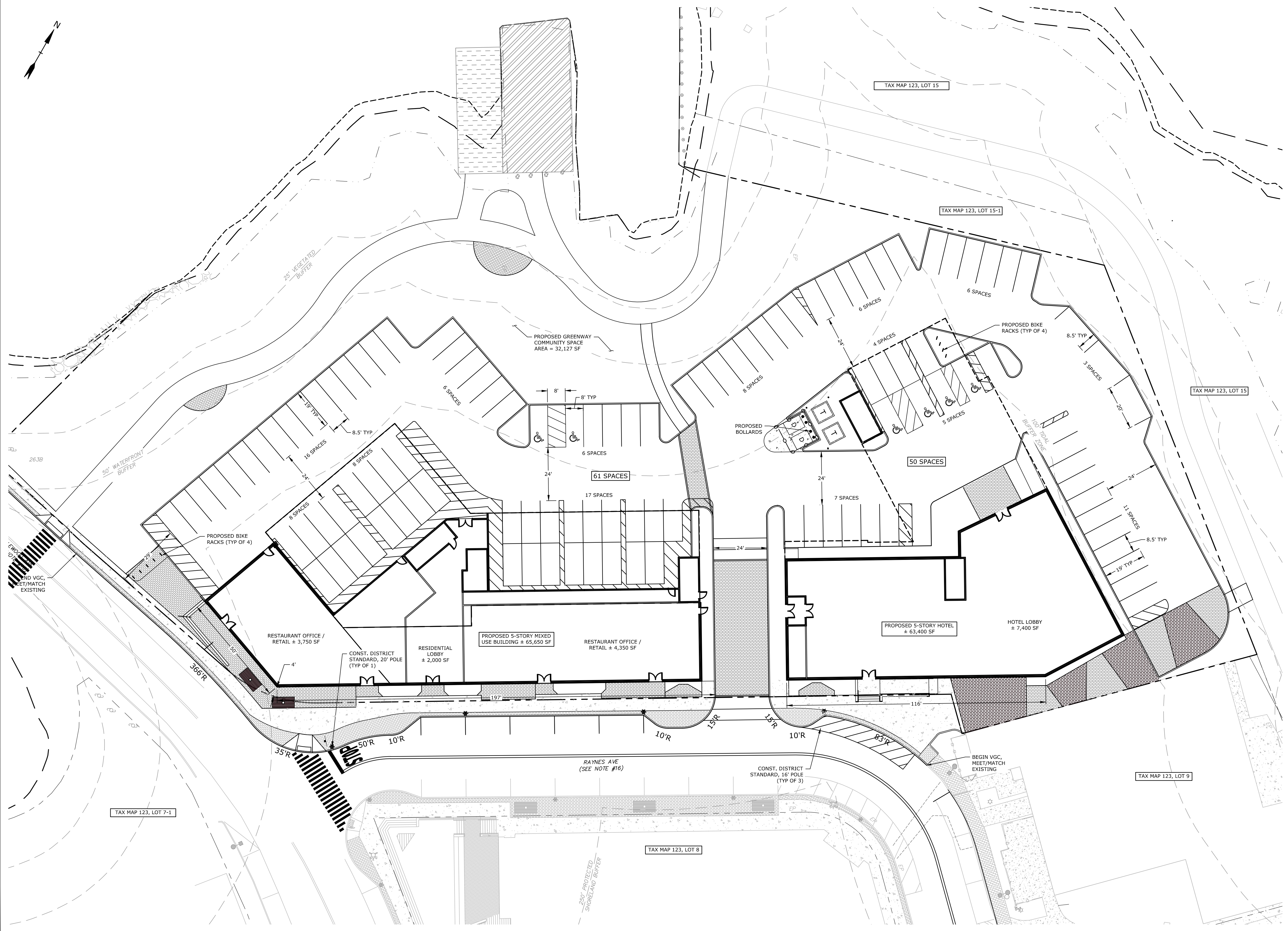
APPROVED BY: BLM

SITE PLAN

SCALE: AS SHOWN

C-102

Last Saved: 3/9/2021 10:02pm By: CLK/CLK
 Plotted On: 12/1/2020 10:02am By: CLK/CLK
 Title & Content: P-0595-007 Raynes Ave Hotel Drawings - Figures/AuxCAD/Sheet/P-0595-007-C-DSGN.dwg



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

B	3/10/2021	Design Review Resubmission
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MARK	DATE	DESCRIPTION
PROJECT NO:	P-0595-007	
DATE:	December 22, 2020	
FILE:	P-0595-007-C-DSGN.DWG	
DRAWN BY:	CJK	
CHECKED BY:	NAH/PMC	
APPROVED BY:	BLM	

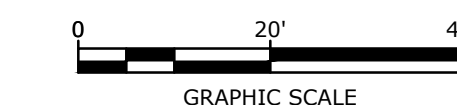
SITE PLAN

SCALE: AS SHOWN

C-102.1

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 Figure & Board: P-0595-007 C-DSGN.DWG
 Figures/AutoCAD/Sheet/P-0595-007-C-DSGN.dwg

DRAFT



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

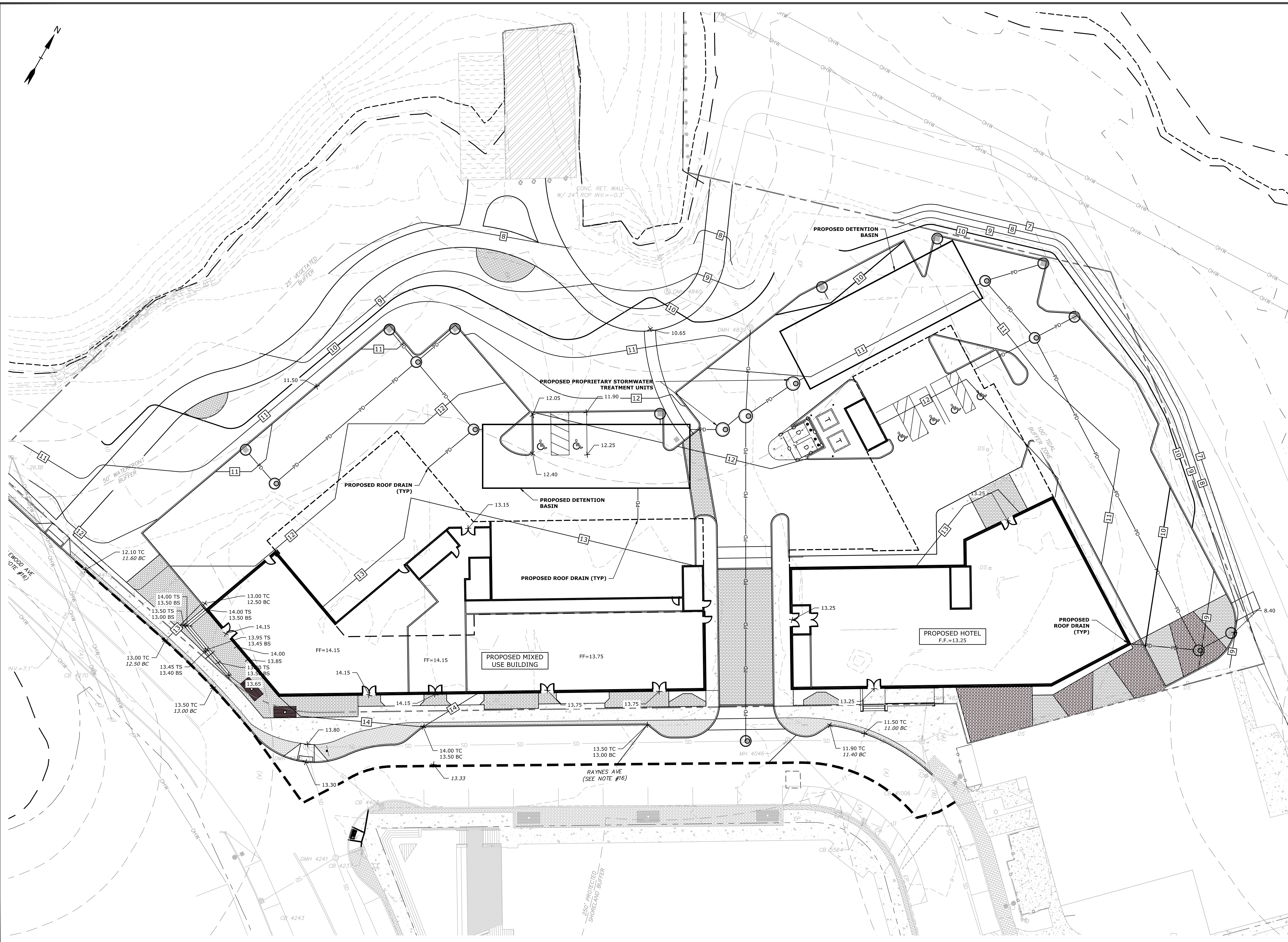
Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
A	3/9/2021	TAC Work Session

PROJECT NO:	P-0595-007
DATE:	December 22, 2020
FILE:	P-0595-007-C-DSGN.DWG
DRAWN BY:	CIK
CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

GRADING, DRAINAGE AND EROSION CONTROL PLAN

SCALE: AS SHOWN



Last Saved: 3/9/2021 10:09pm By: CJKrcuk
 Plotted On: 10/05/2021 10:09am By: CJKrcuk
 Title & Scale: P-0595-007 C-DSGN.DWG
 Figures/AutoCAD/Sheet/P-0595-007-C-DSGN.dwg



MEAN HIGH WATER

OVERLOOK SEATING NICHE WITH FITNESS MULTIPURPOSE BENCH

RESTORATION SEED MIX

OVERLOOK SEATING NICHE WITH CHAIR BENCHES

50' WATER-FRONT BUFFER

NORTH MILL POND GREENWAY MULTI-USE PATH

WAYFINDING SIGNAGE

VIBRANT STREETSCAPE WITH RETAIL SPILL OUT ZONES, UNIT PAVERS, AND SEASONAL PLANTINGS

FUTURE GREENWAY COMMUNITY PARK

RECONSTRUCTED TIMBER PIER

CURRENT BOAT/KAYAK LAUNCH RAMP

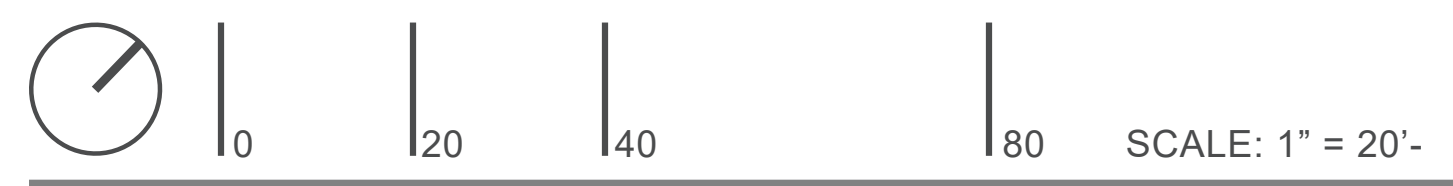
CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

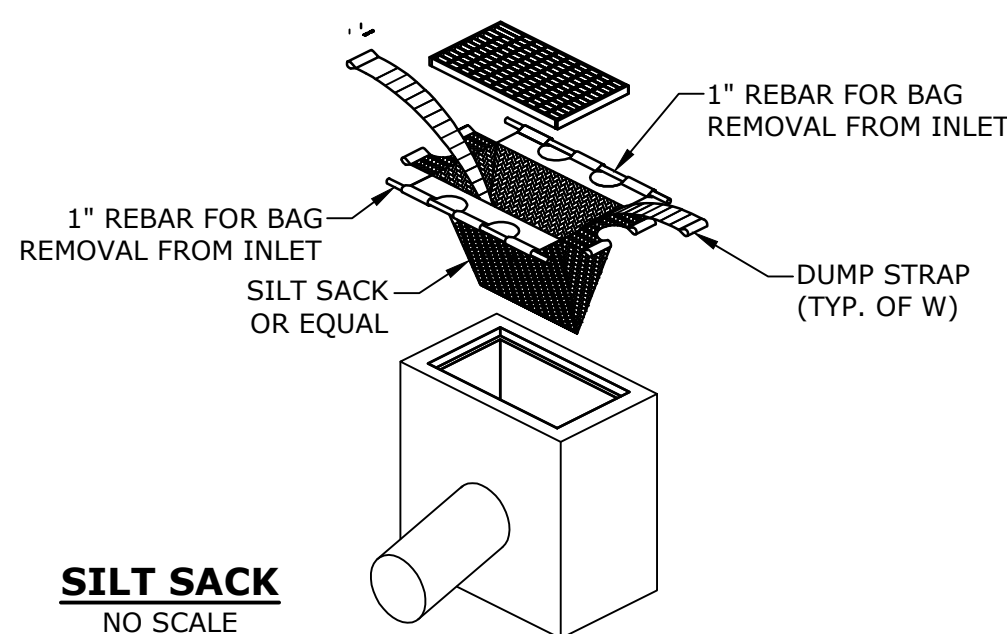
VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY ACCESS

WAYFINDING SIGNAGE

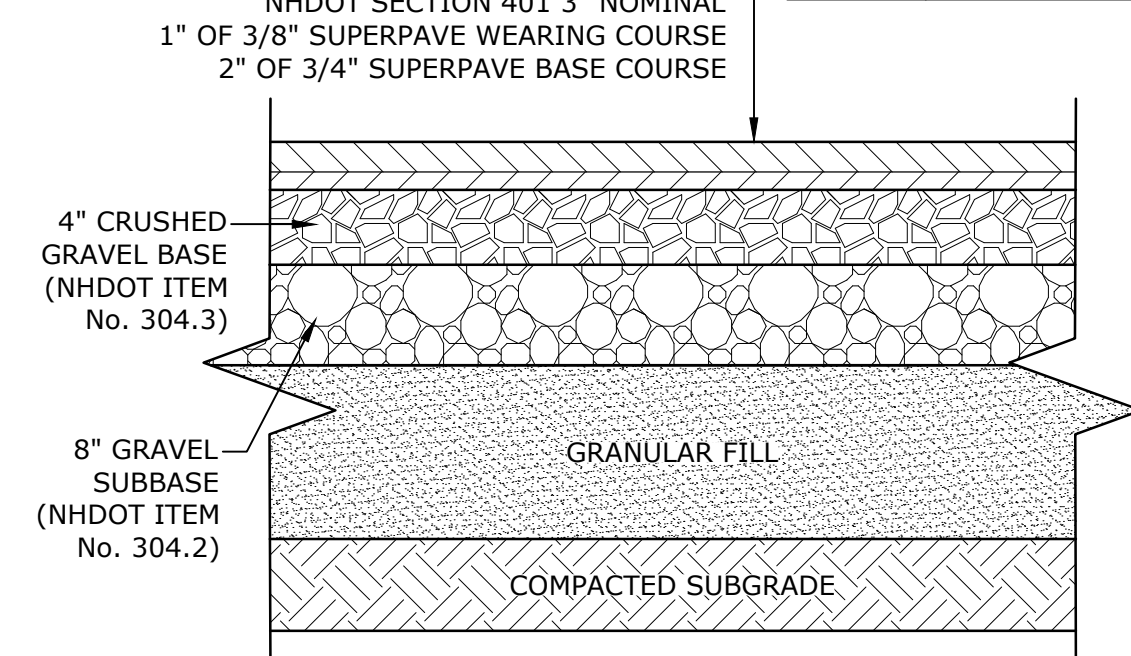


L-101

SITE LANDSCAPE PLAN

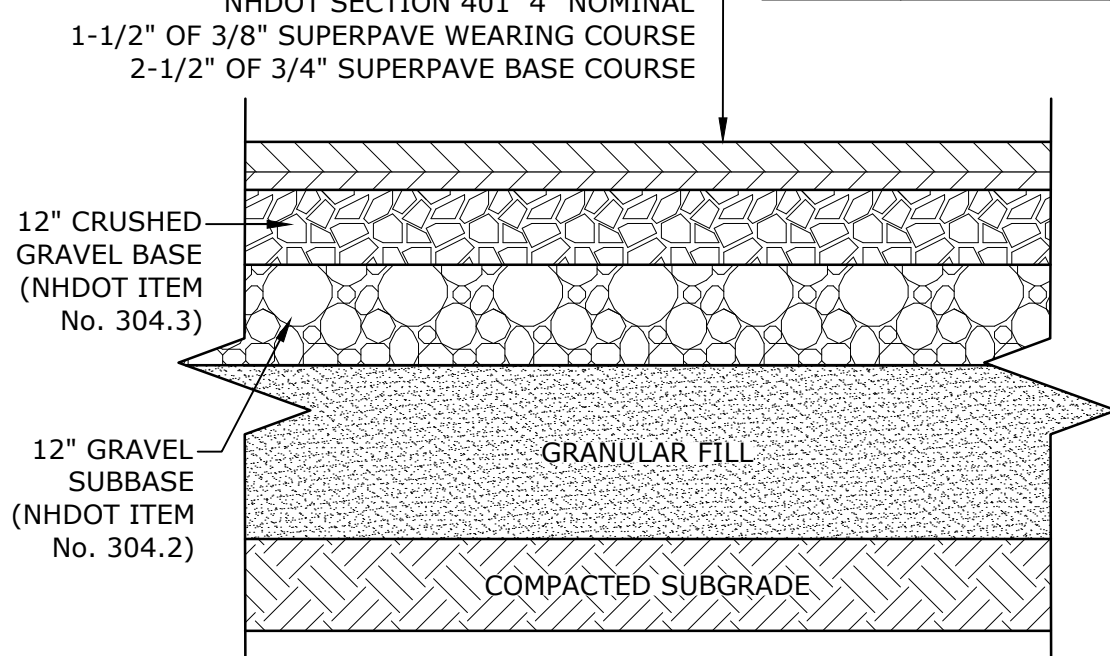


NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
		#200	0-12

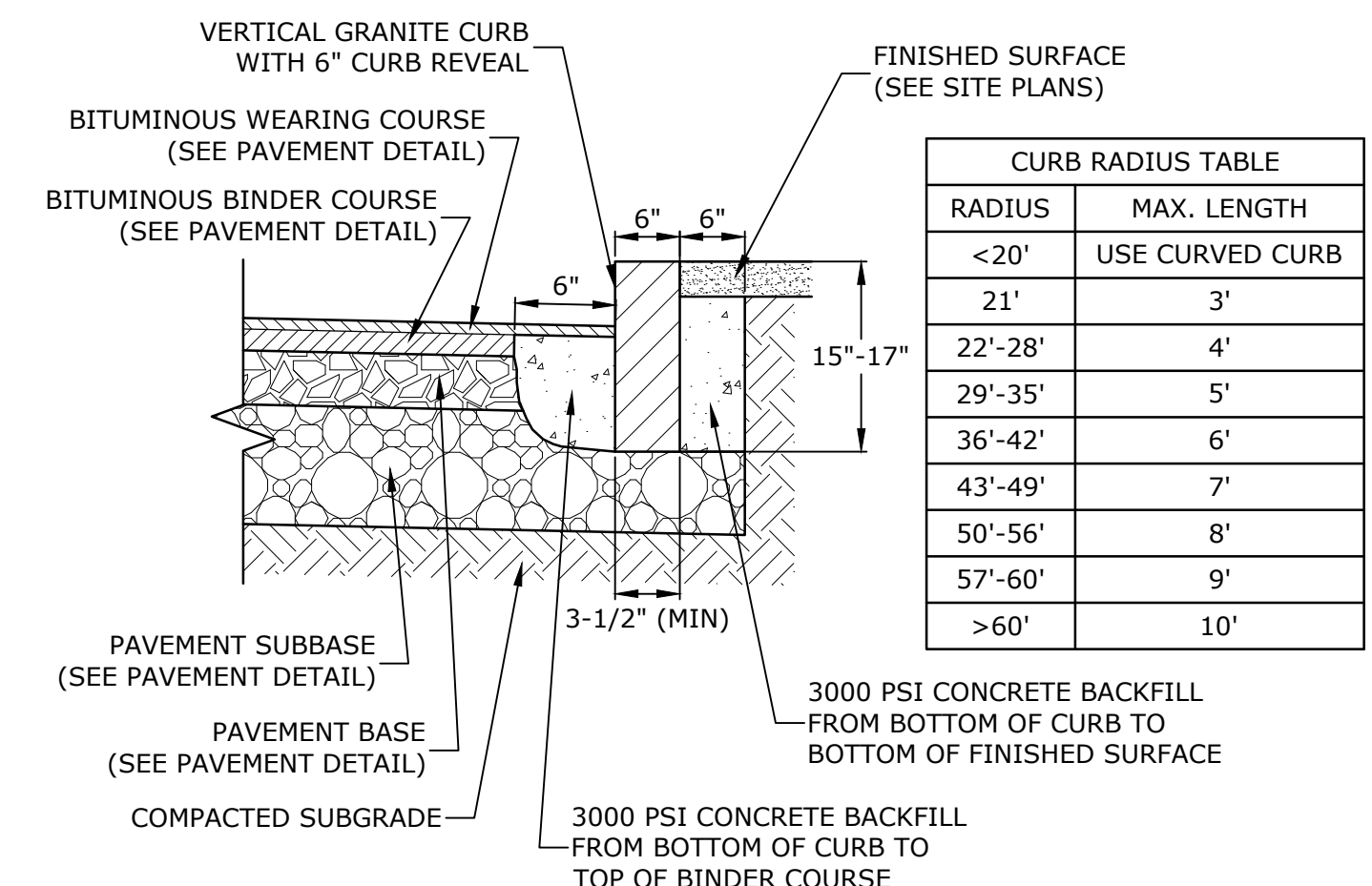


- NOTES:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 - REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
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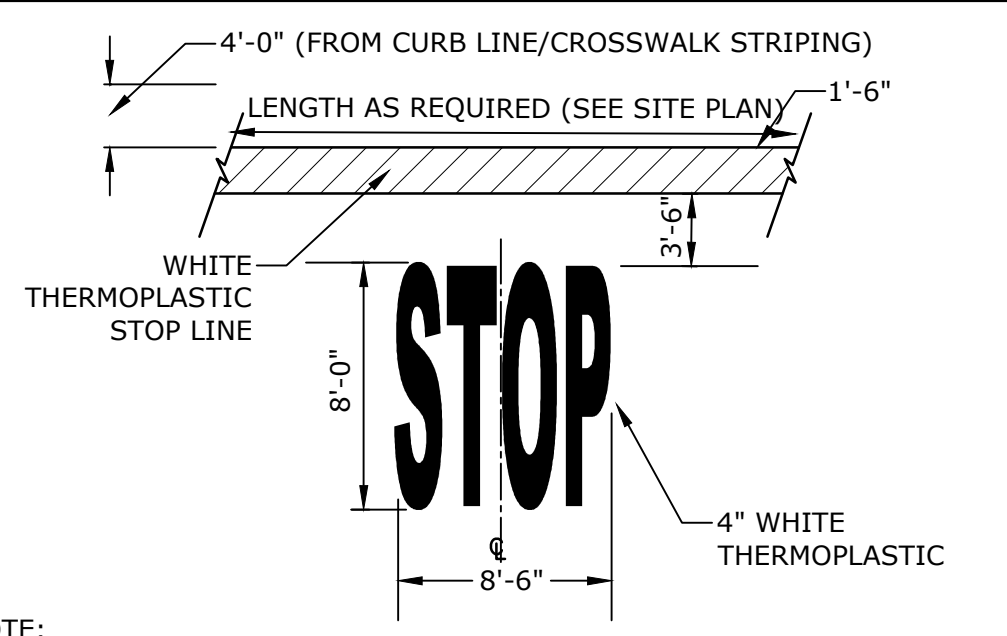


- NOTES:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 - REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

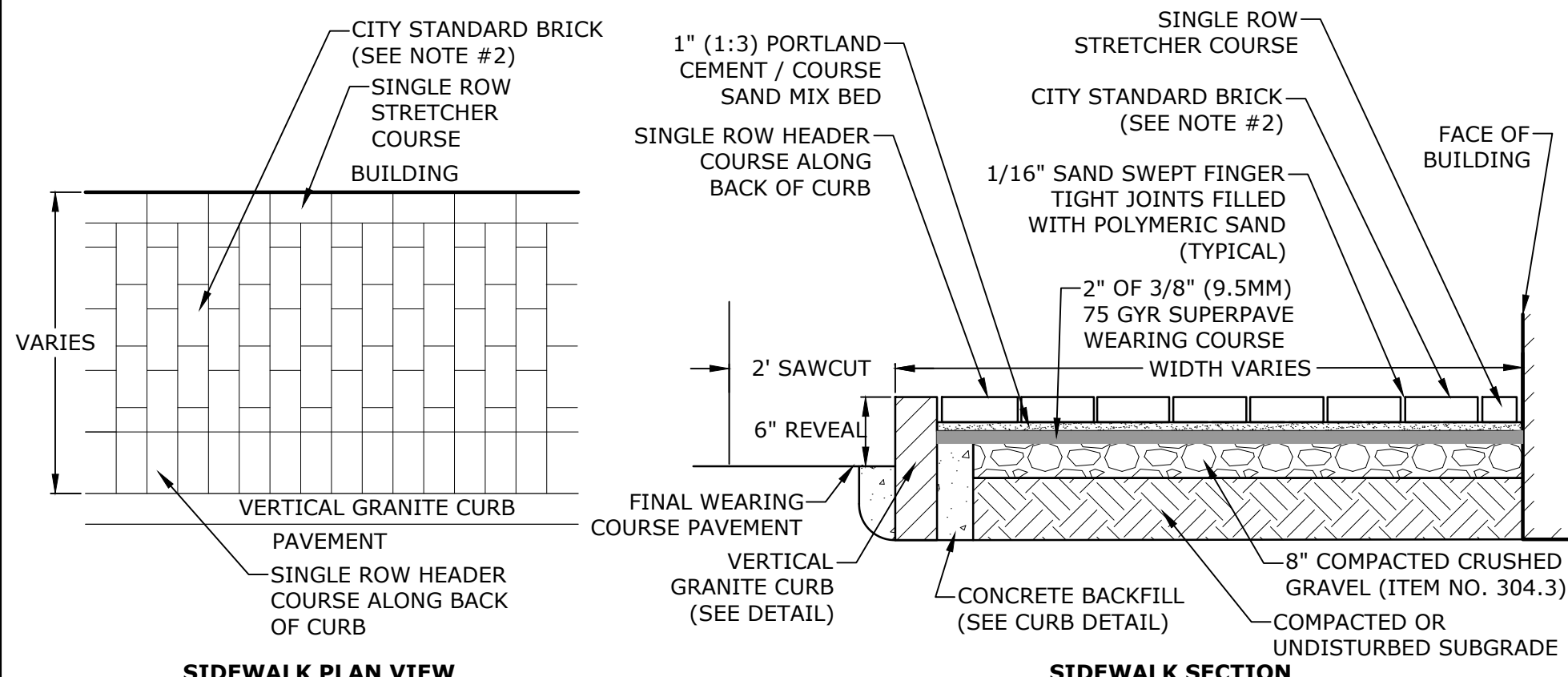
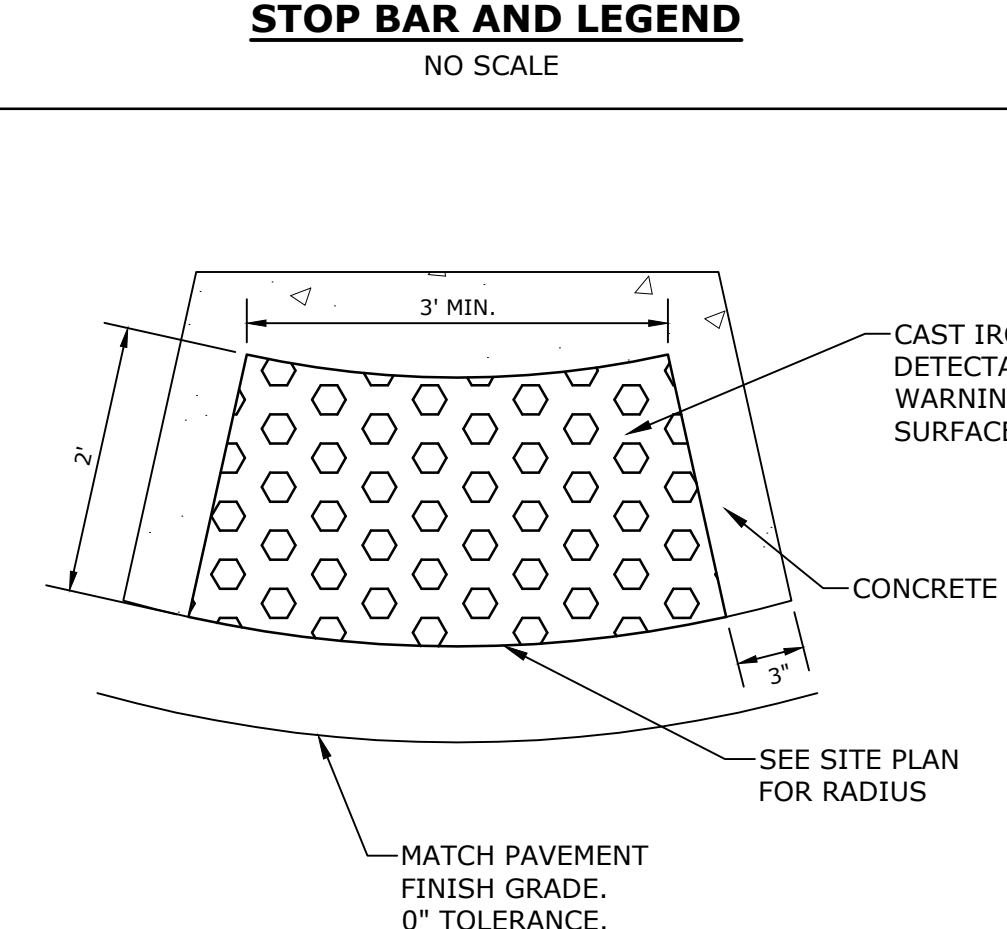


- NOTES:
- SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 - MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 - ALL RADII 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
 - JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

VERTICAL GRANITE CURB
NO SCALE

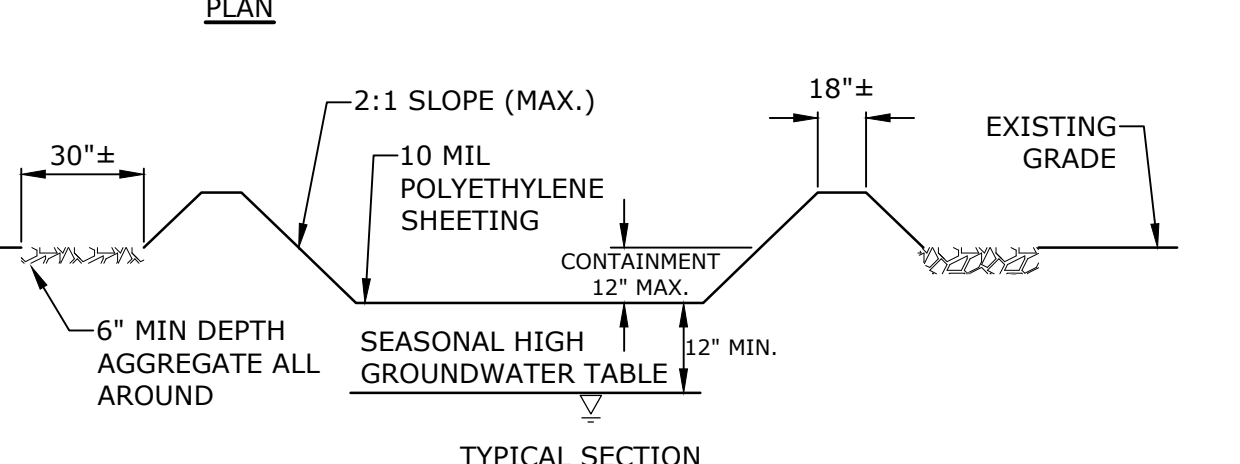
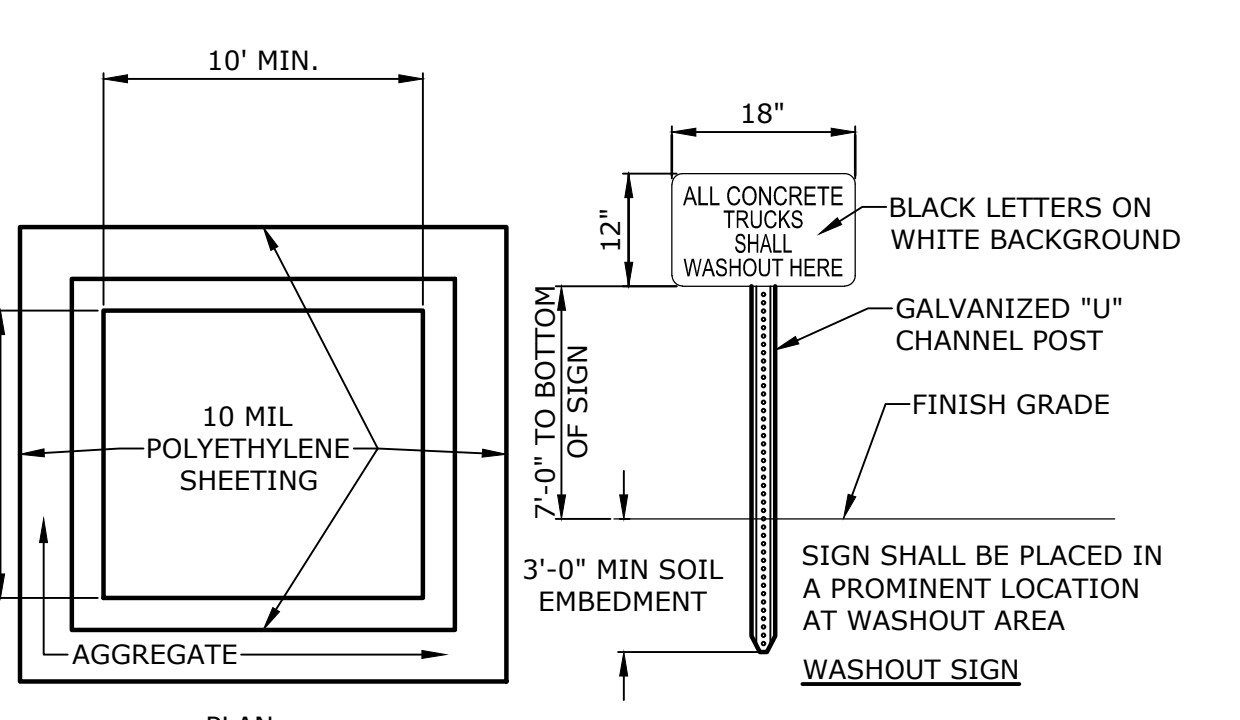
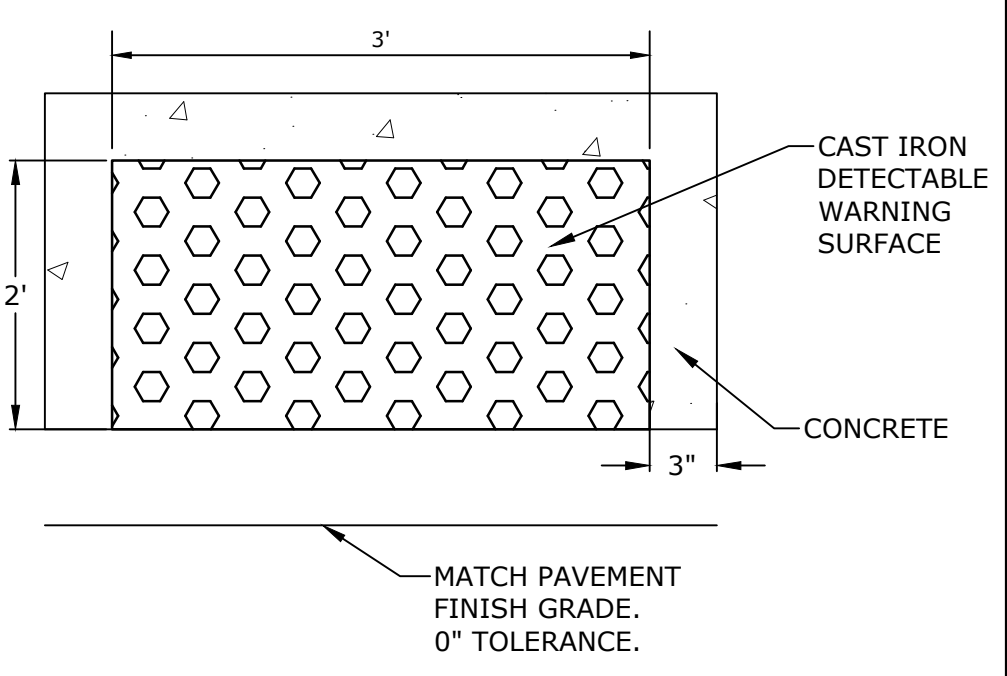


- NOTE:
- PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
 - STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505



- NOTES:
- BRICK SIDEWALK SHALL BE INSTALLED AS DETAILED AND PER CITY OF PORTSMOUTH REQUIREMENTS/SPECIFICATIONS AND SHALL INCLUDE A CONTINUOUS APPROVED PAVER EDGE RESTRAINT SYSTEM AT ALL LOCATIONS NOT ADJACENT TO CURB OR BUILDINGS.
 - CITY STANDARD BRICK SHALL BE TRADITIONAL EDGE, PATHWAY, FULL RANGE 2.25"x4"x8" PAVER, BY PINE HALL BRICK, INC. BRICK MATERIAL SAMPLES SHALL BE PROVIDED TO DPW PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL.
 - BEDDING MATERIAL SHALL BE A PORTLAND CEMENT / COURSE SAND MIX THAT IS 1 PART PORTLAND CEMENT AND 3 PARTS COURSE SAND. SAND SHALL CONFORM WITH ASTM C-33 AND CEMENT SHALL BE PORTLAND CEMENT TYPE I/TYPE II.

BRICK SIDEWALK
NO SCALE

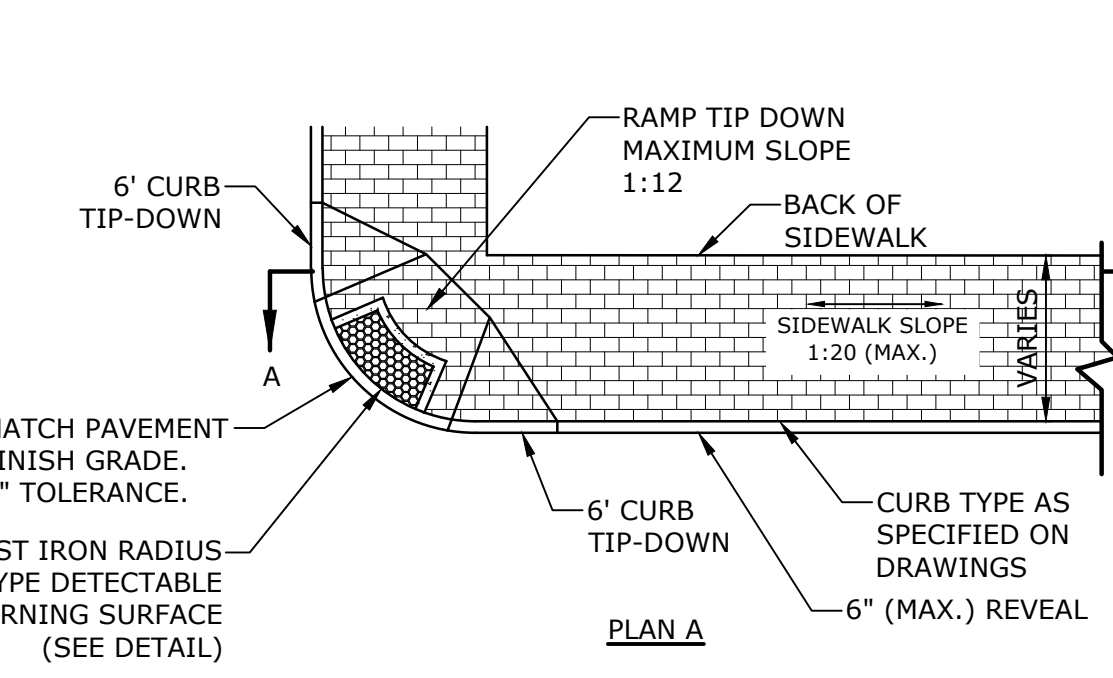
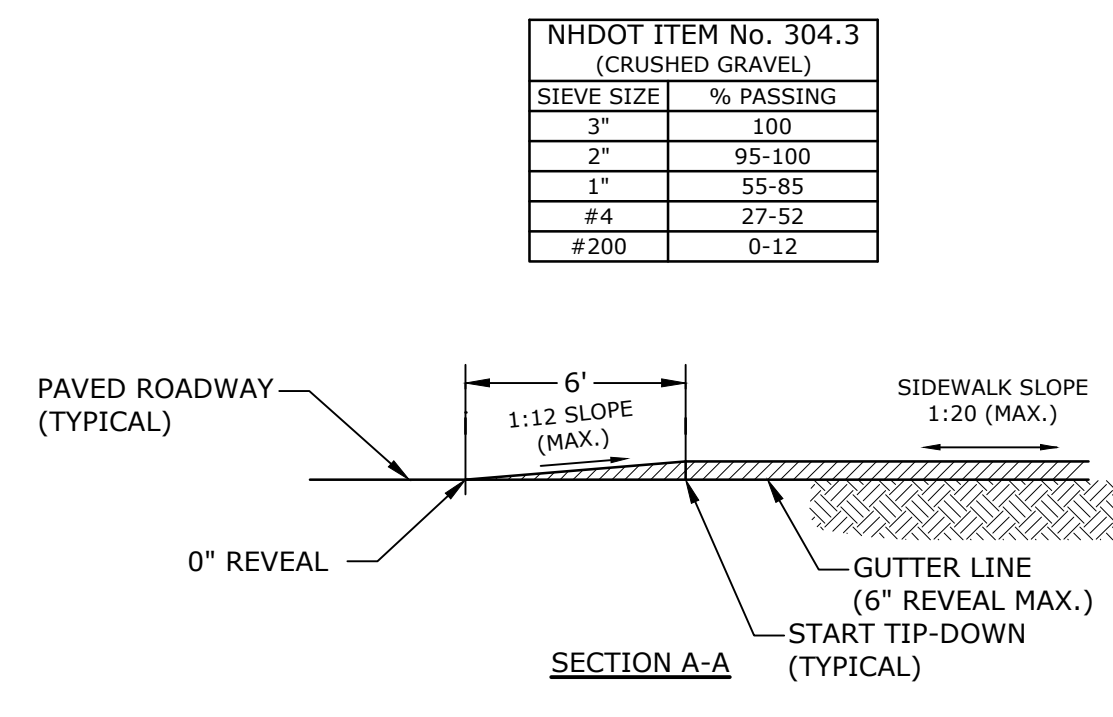


- NOTES:
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 - CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 - WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 - WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 - ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 - AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

CONCRETE WASHOUT AREA
NO SCALE

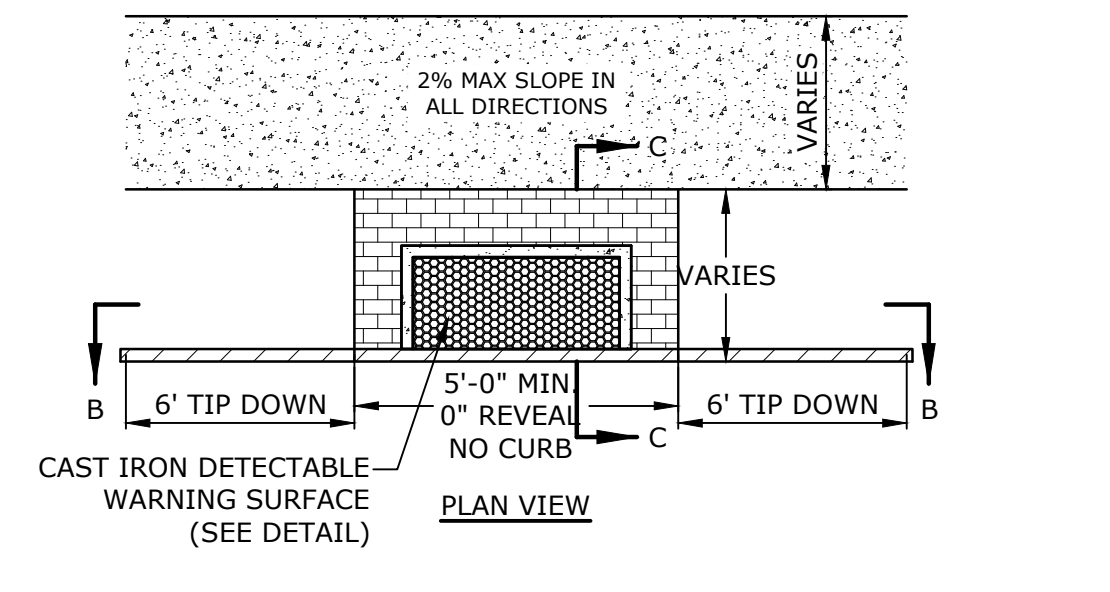
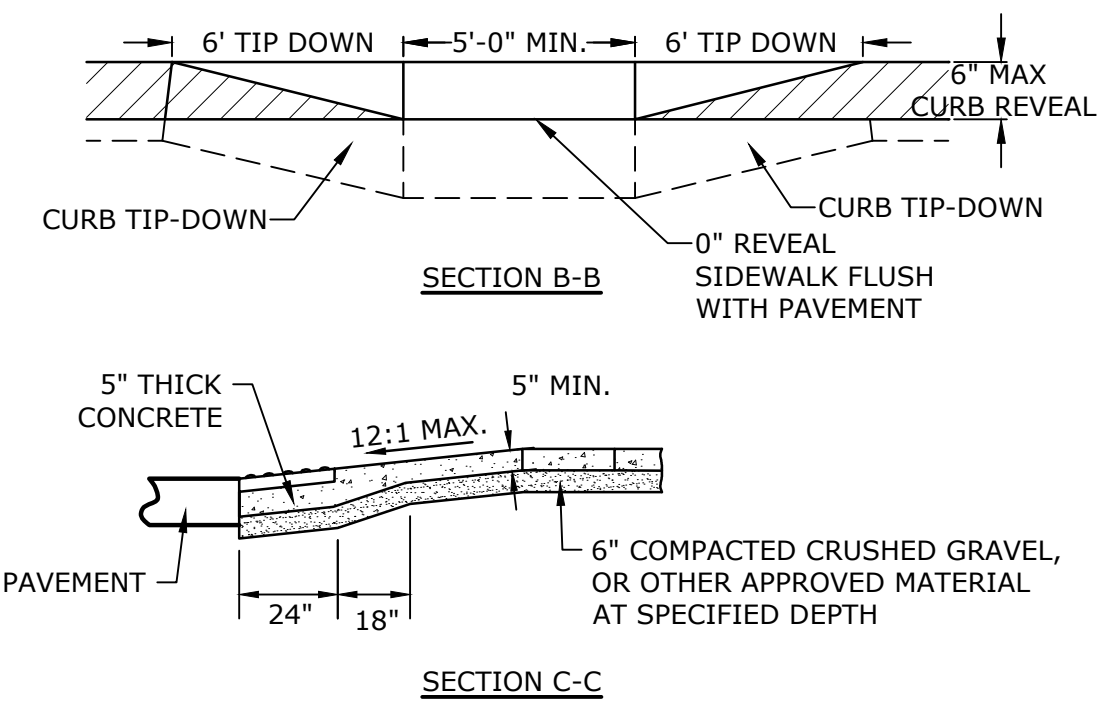
- NOTES:
- DETECTABLE WARNING SURFACE SHALL BE 2' X 3' CAST IRON PANEL SET IN CONCRETE.
 - DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

CAST IRON DETECTABLE WARNING SURFACE
NO SCALE



- NOTES:
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
 - A 6" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMPS.
 - DETECTABLE WARNING PANEL SHALL BE CAST IRON SET IN CONCRETE (SEE DETAIL.)
 - PROVIDE DETECTABLE WARNING SURFACES ANYTIME THAT A CURB RAMP, BLENDED TRANSITION, OR LANDING CONNECTS TO A STREET.
 - LOCATE THE DETECTABLE WARNING SURFACES AT THE BACK OF THE CURB ALONG THE EDGE OF THE LANDING.
 - THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 12:1, THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMPS SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FT. FROM THE ROADWAY CURBLINE.
 - THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS.
 - DETECTABLE WARNING PANELS SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET.
 - THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST VISUALLY WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT).

CONCRETE WHEELCHAIR ACCESSIBLE RAMP
NO SCALE



Proposed Mixed Use Development

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Portsmouth, New Hampshire

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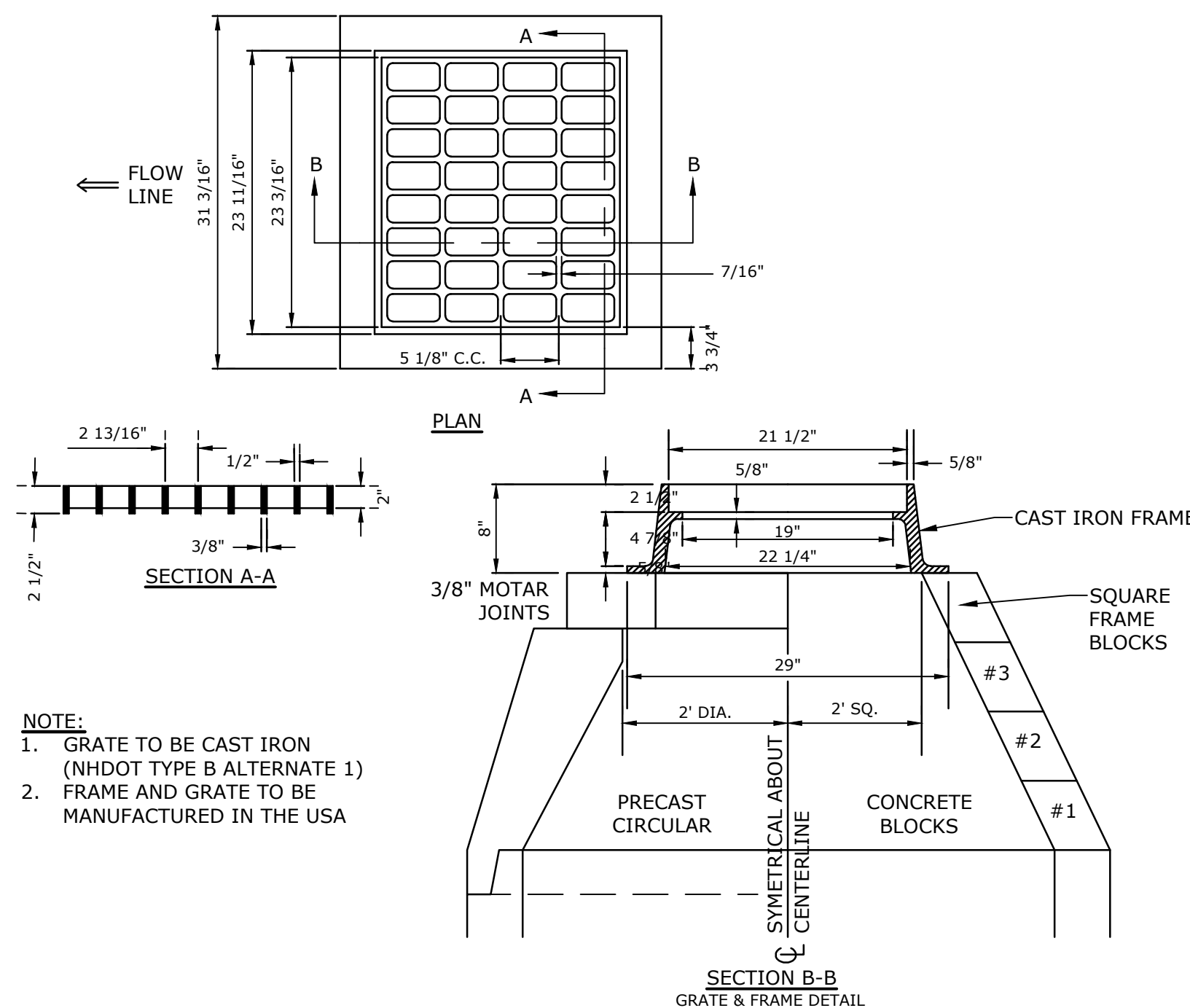
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DATE:	December 22, 2020
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DRAWN BY:	CHK
CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

DETAILS SHEET

SCALE: AS SHOWN

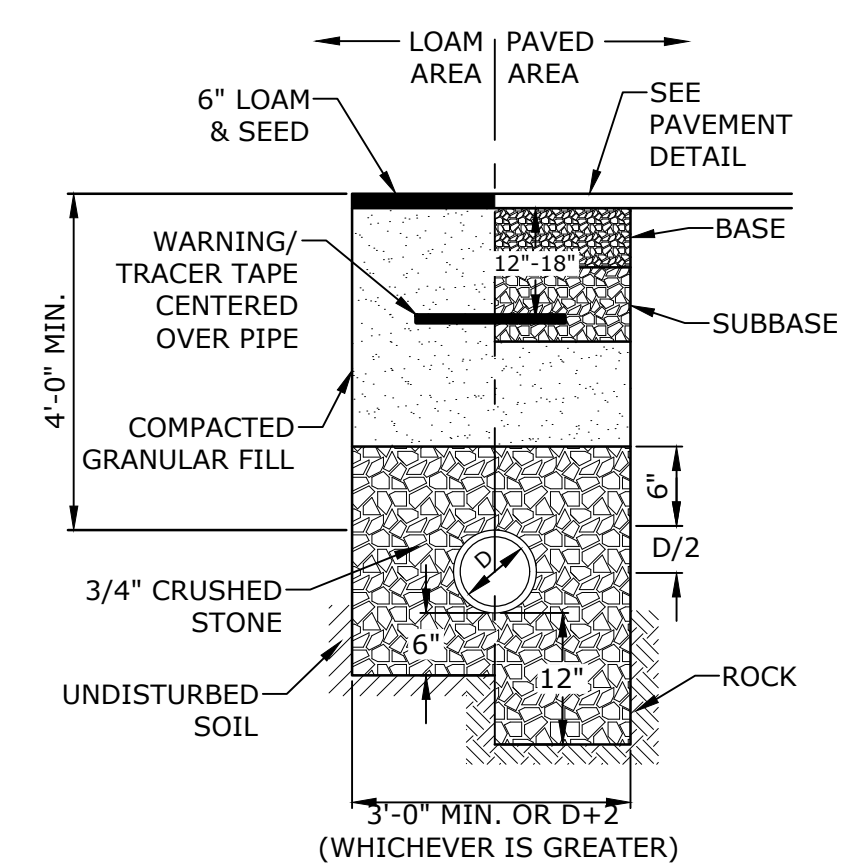
C-502

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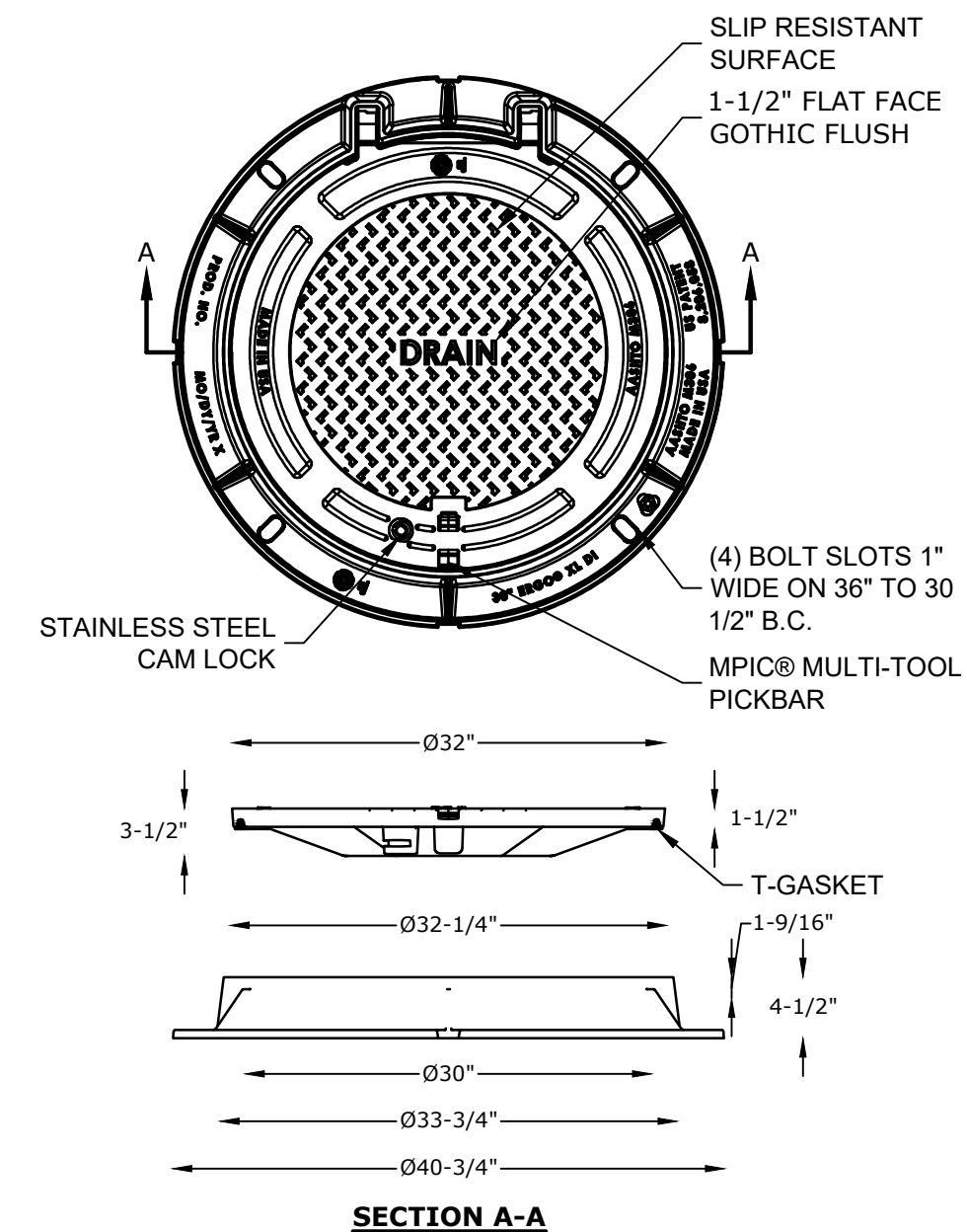
CATCH BASIN FRAME & GRATE
NO SCALE

- NOTE:
1. GRATE TO BE CAST IRON (NHDOT TYPE B ALTERNATE 1)
2. FRAME AND GRATE TO BE MANUFACTURED IN THE USA



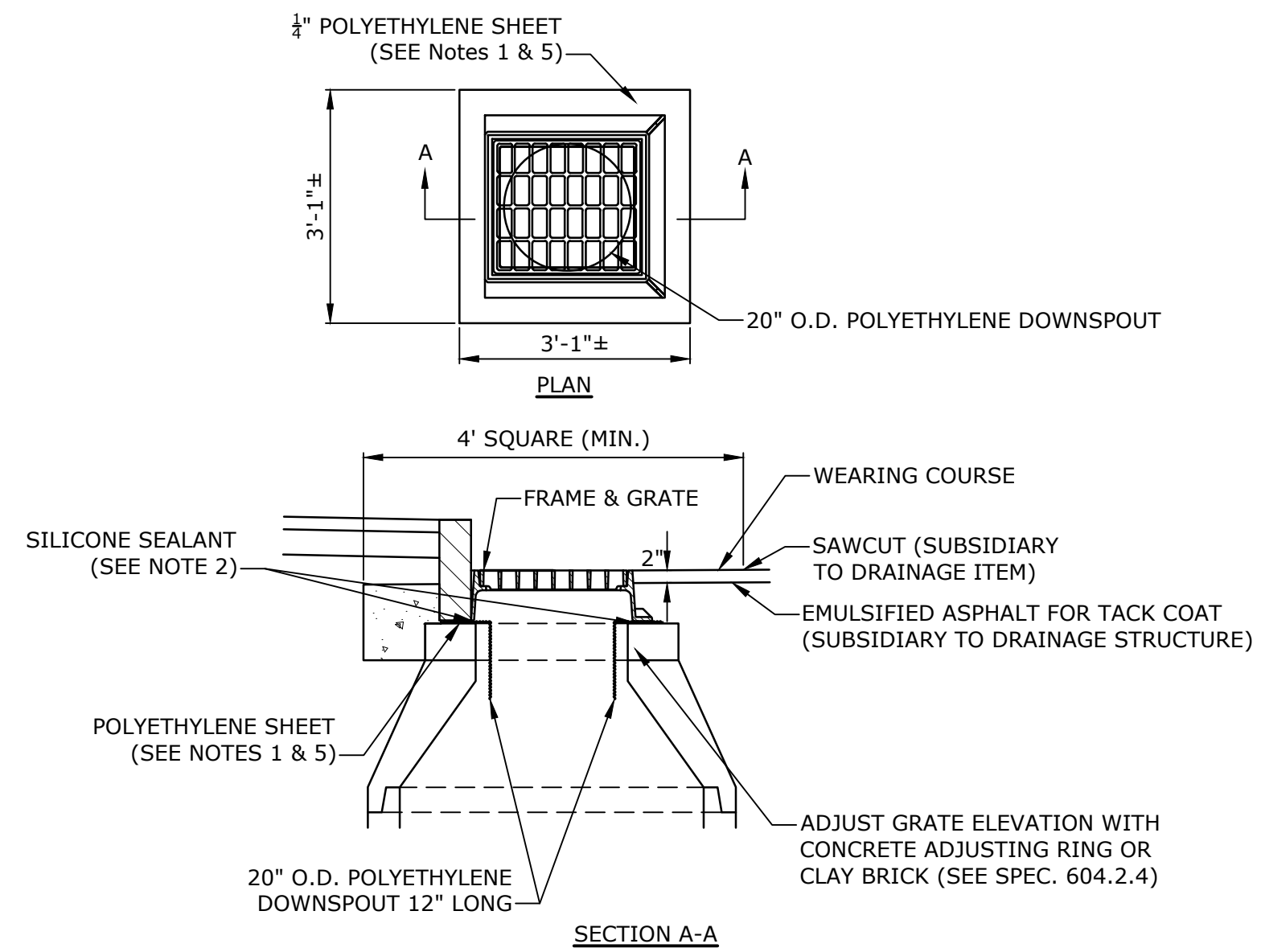
STORM DRAIN TRENCH
NO SCALE

- NOTE:
1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.



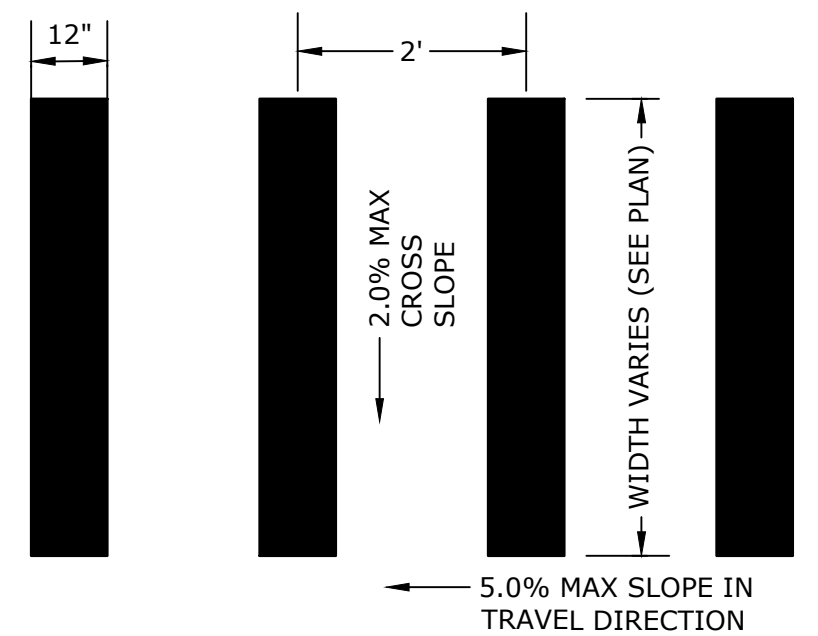
DRAIN MANHOLE FRAME & COVER
NO SCALE

- NOTES:
1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL BY EJ CO.
2. ALL DIMENSIONS ARE NOMINAL.
3. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.



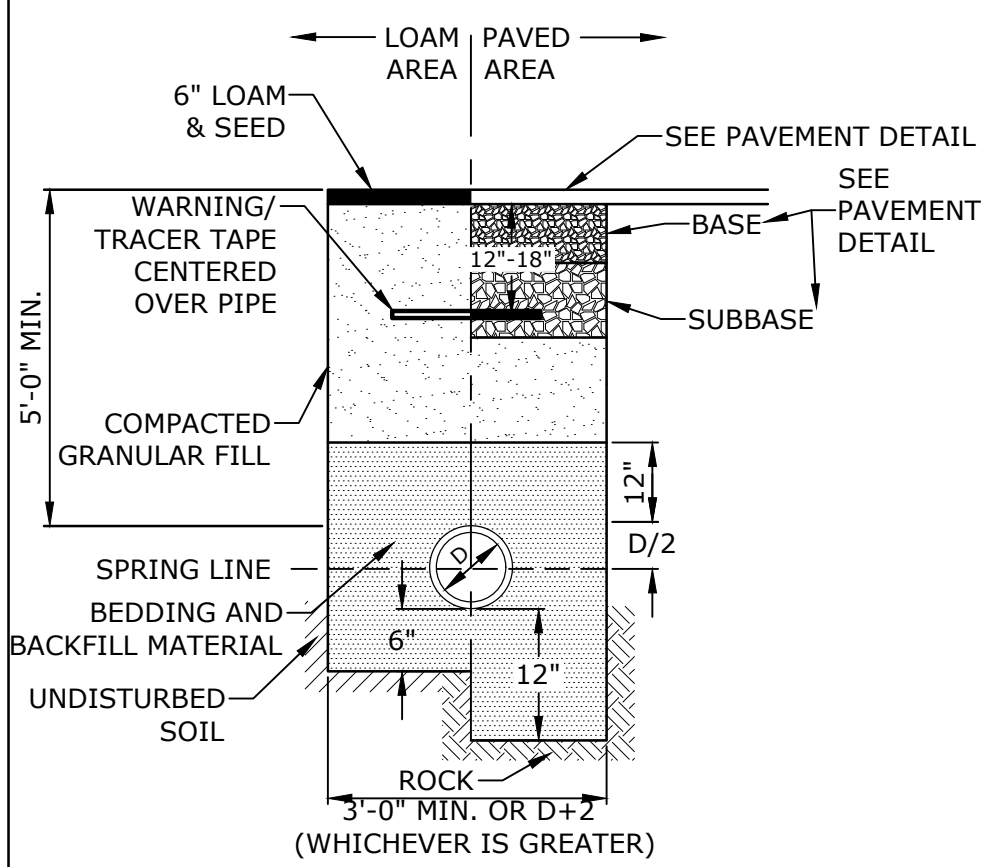
POLYETHYLENE LINER
NO SCALE

- NOTES:
1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.
3. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
4. USE ON DRAINAGE STRUCTURES 4' MIN. DIAMETER ONLY.
5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
7. PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
8. SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS", FOR ADDITIONAL INFORMATION.
9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER



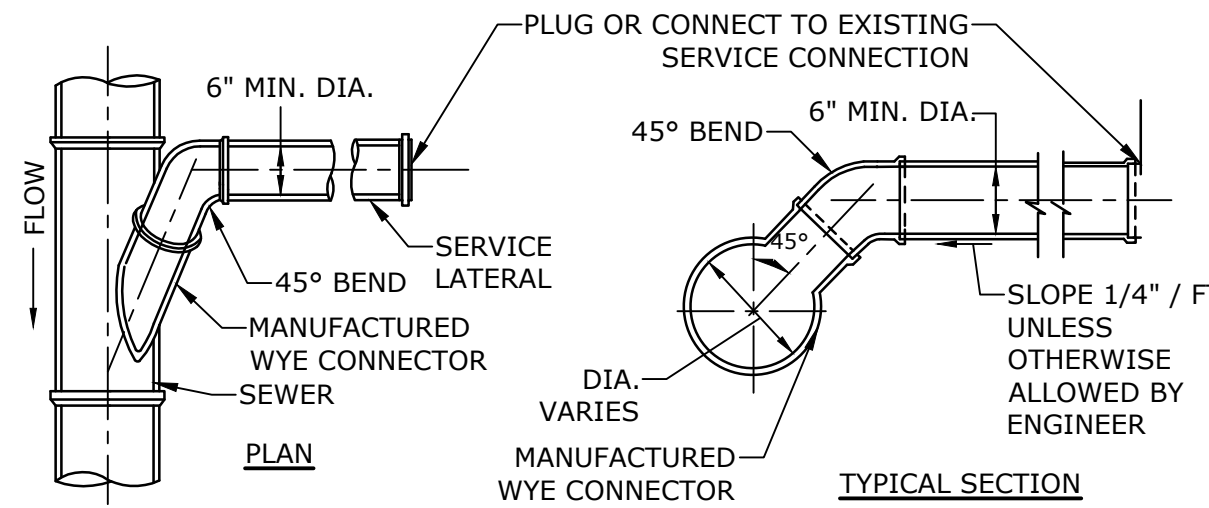
CROSSWALK STRIPING
NO SCALE

- NOTE:
STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

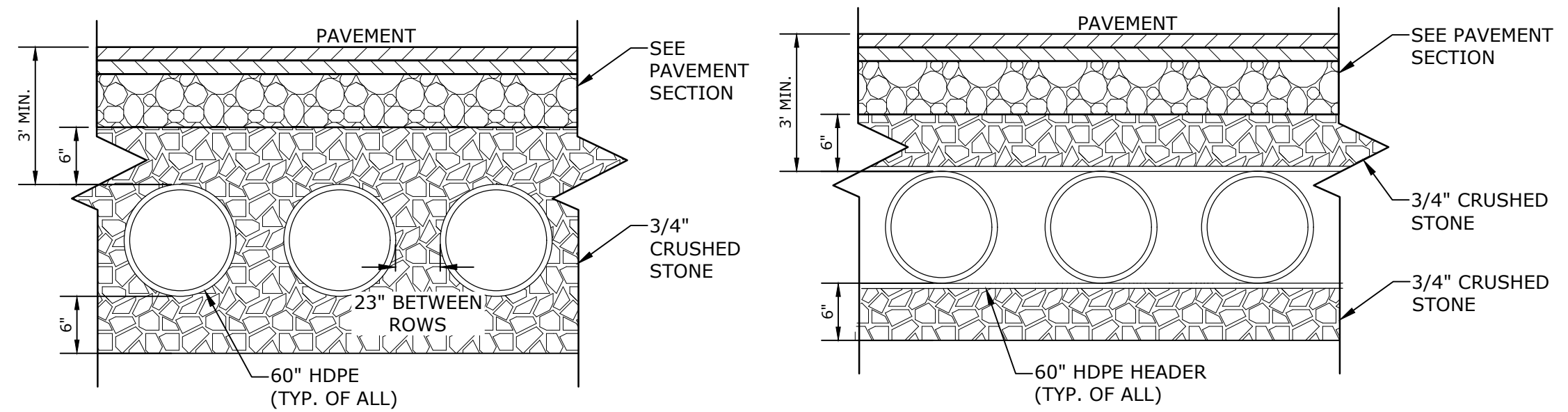


WATER TRENCH
NO SCALE

- NOTES:
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
2. WATER MAIN SHALL BE INSTALLED PER CITY OF PORTSMOUTH STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.



STANDARD SERVICE LATERAL CONNECTION
NO SCALE

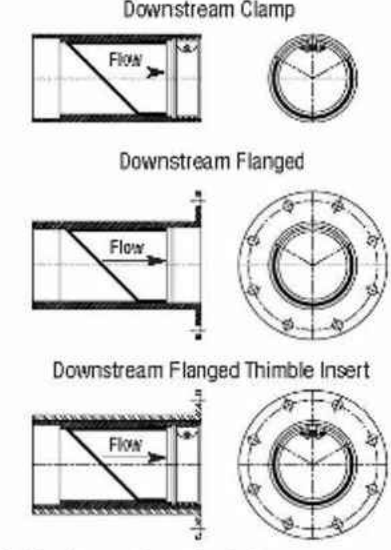


UNDERGROUND DETENTION SYSTEM DETAIL
NO SCALE

- NOTES:
1. UNDERGROUND DETENTION SYSTEM TO BE 60" HDPE PIPE DESIGNED FOR H-20 LOADING. CONTRACTOR TO SUBMIT PIPE SPECIFICATIONS AND FINAL MANUFACTURES DESIGN TO ENGINEER FOR APPROVAL.
2. MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
3. THE DESIGN ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED PER THE APPROVED DESIGN PLAN.
4. REFER TO STANDARD DUTY PAVEMENT SECTION DETAIL FOR PAVEMENT SECTION.

NOMINAL PIPE SIZE I.D.*	OVERALL LENGTH**	NUMBER OF CLAMPS	CUFF DEPTH	BACK PRESSURE RATING
Inches	Millimeters	Inches	Millimeters	Feet
12	300	23	584	1
				2
				51
				40
				12

Mounting Styles and Configurations



Flange shape and bolt pattern can be customized. Flangeless thimble inserts are available.

TYPICAL BACK FLOW PREVENTER
NO SCALE

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North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

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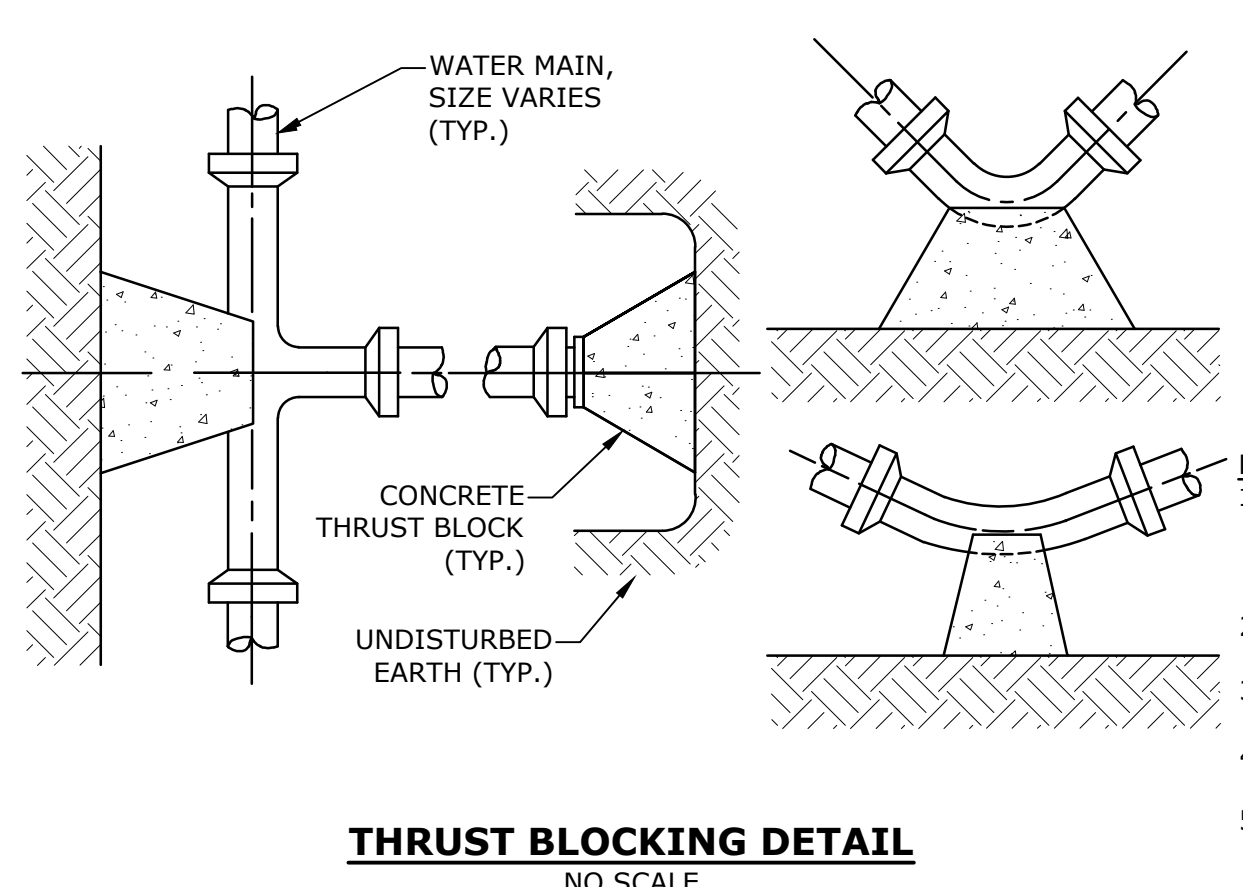
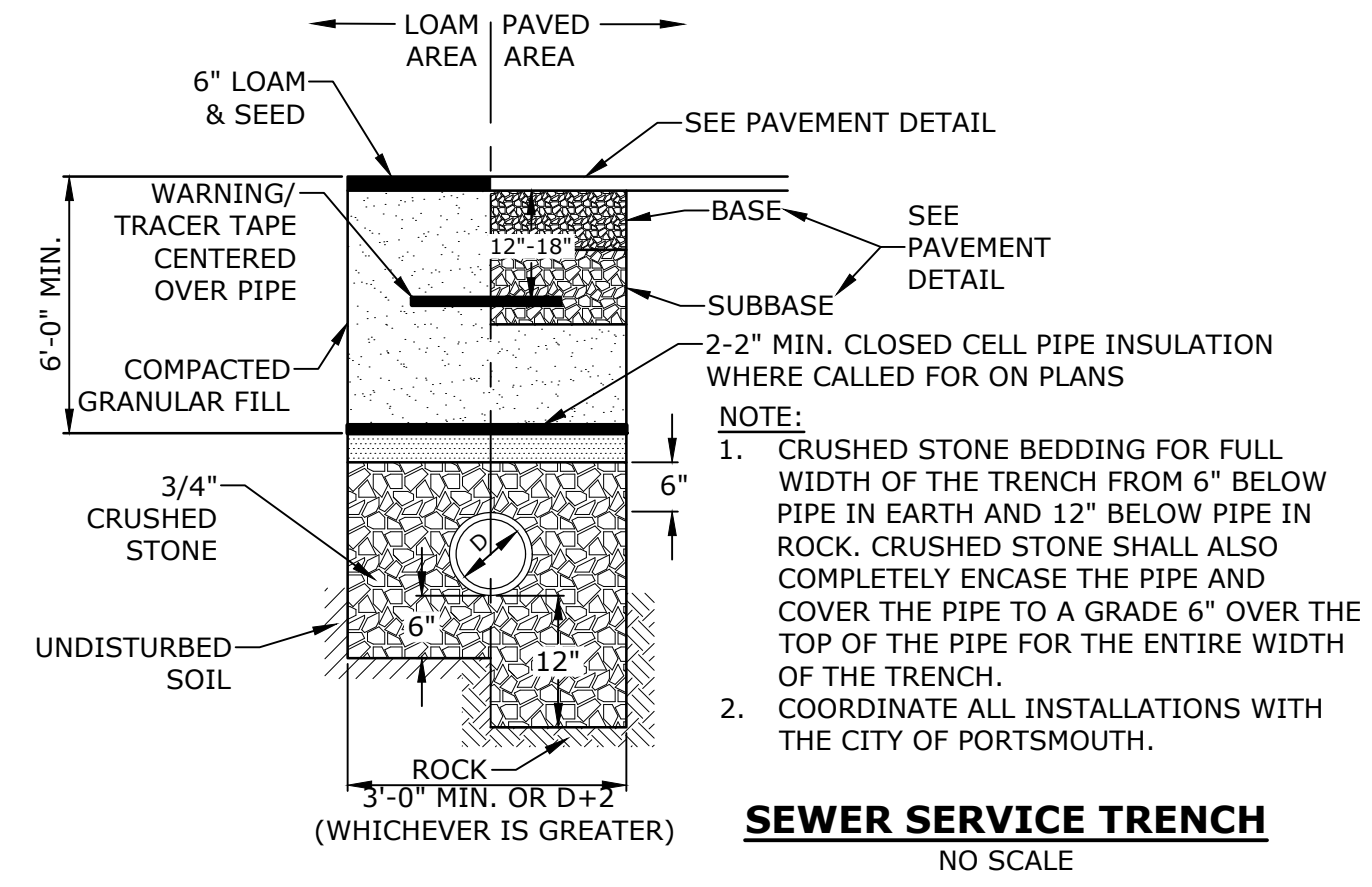
PROJECT NO:	P-0595-007
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CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

DETAILS SHEET

SCALE: AS SHOWN

C-504

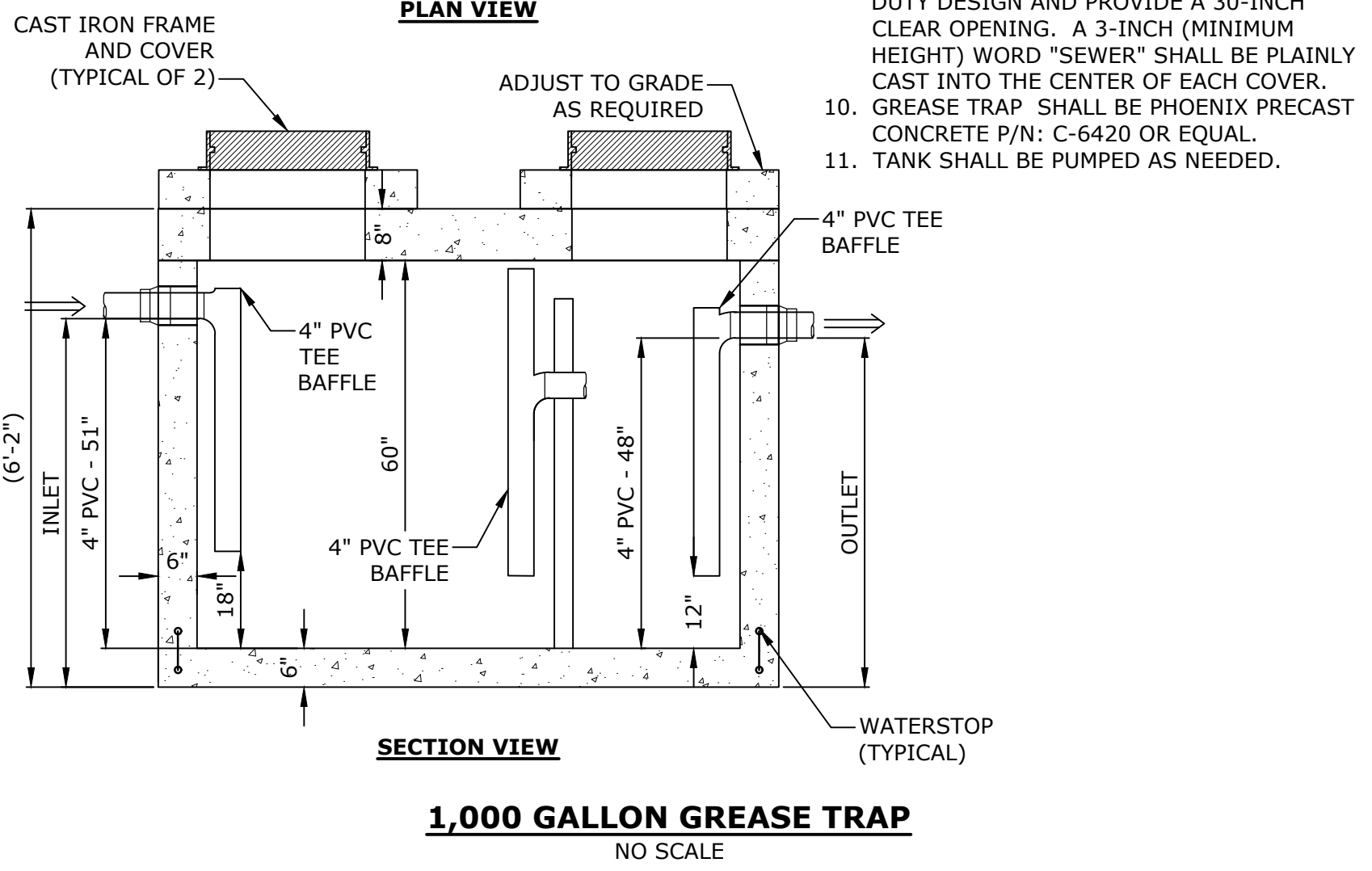
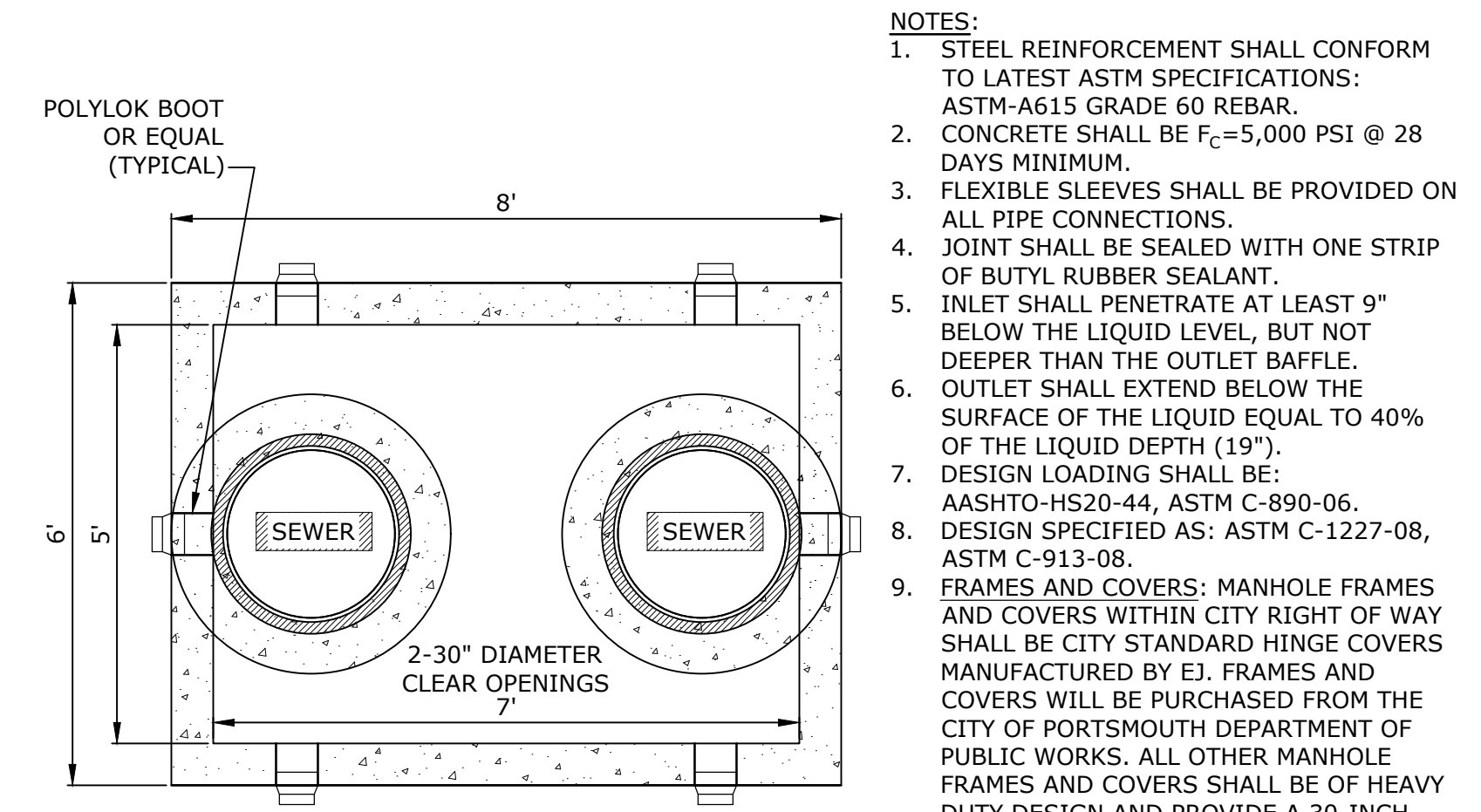
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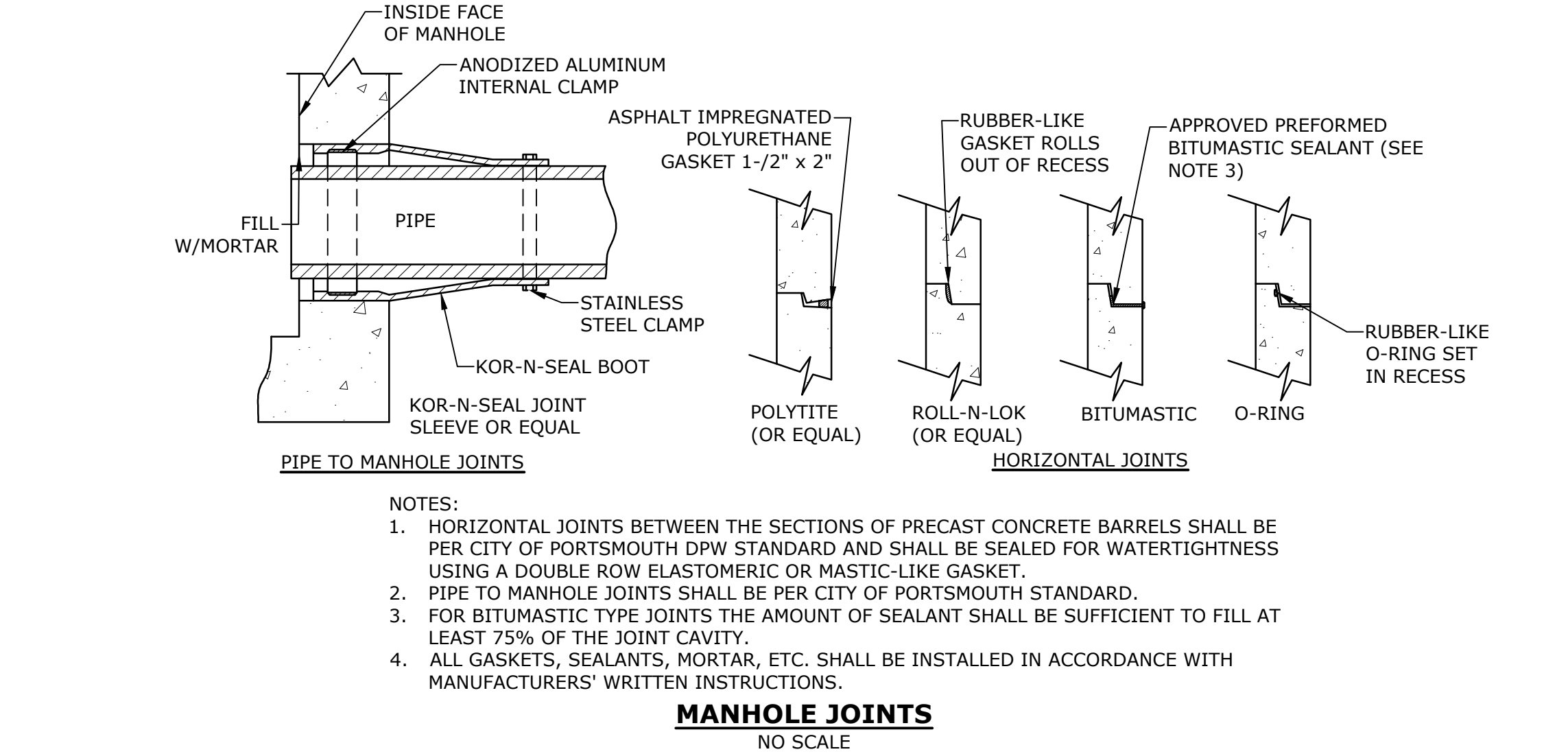
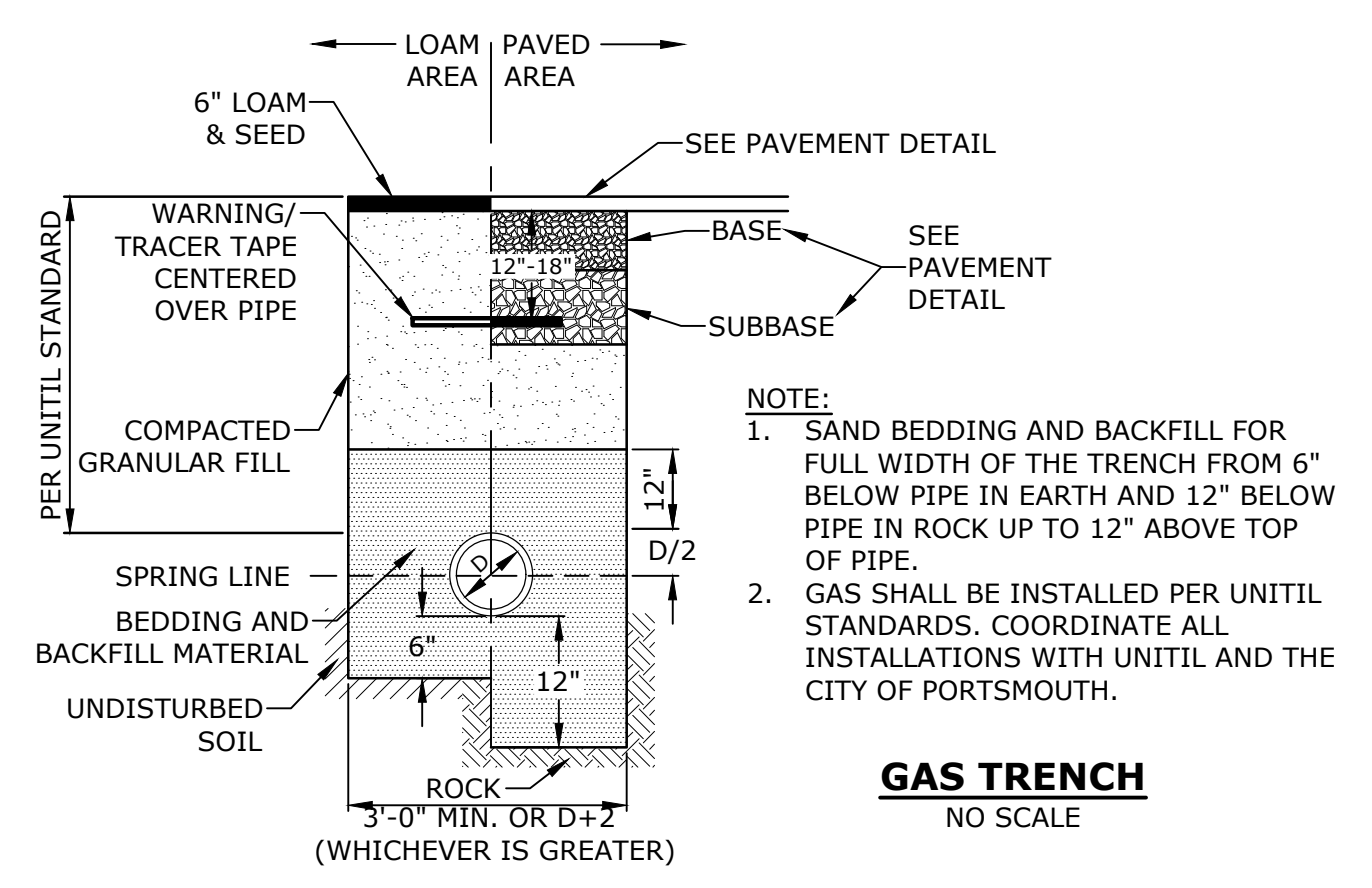
REACTION TYPE	PIPE SIZE				
	4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

TEST PRESSURE = 200psi

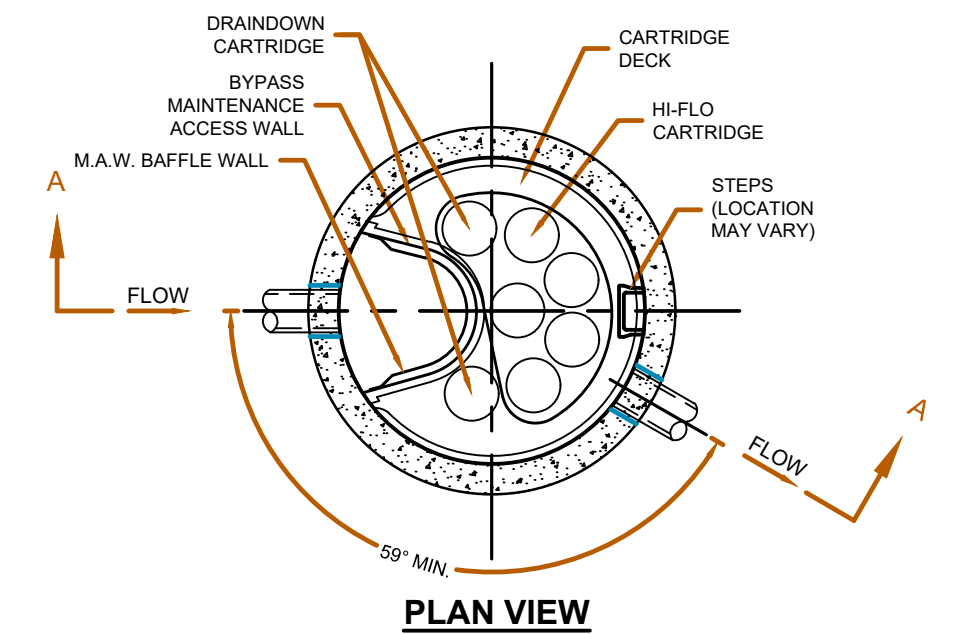
- NOTES:**
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
 - WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
 - INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.



- NOTES:**
- STEEL REINFORCEMENT SHALL CONFORM TO LATEST ASTM SPECIFICATIONS: ASTM-A615 GRADE 60 REBAR.
 - CONCRETE SHALL BE $F_c=5,000$ PSI @ 28 DAYS MINIMUM.
 - FLEXIBLE SLEEVES SHALL BE PROVIDED ON ALL PIPE CONNECTIONS.
 - JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 - INLET SHALL PENETRATE AT LEAST 9" BELOW THE LIQUID LEVEL, BUT NOT DEEPER THAN THE OUTLET BAFFLE.
 - OUTLET SHALL EXTEND BELOW THE SURFACE OF THE LIQUID EQUAL TO 40% OF THE LIQUID DEPTH (19").
 - DESIGN LOADING SHALL BE: AASHTO-HS20-44, ASTM C-890-06.
 - DESIGN SPECIFIED AS: ASTM C-1227-08, ASTM C-913-08.
 - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY E.J. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - GREASE TRAP SHALL BE PHOENIX PRECAST CONCRETE P/N: C-6420 OR EQUAL.
 - TANK SHALL BE PUMPED AS NEEDED.



- NOTES:**
- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
 - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.



JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. 60" MANHOLE JELLYFISH PEAK TREATMENT CAPACITY IS 1.16 CFS. AND MAXIMUM BYPASS CAPACITY IS 4.00 CFS. IF THE SITE CONDITIONS EXCEED TOTAL CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	54"	40"	27"	15"
CARTRIDGE DEPTH	7'-5"	6'-3"	5'-2"	4'-2"
OUTLET INVERT TO STRUCTURE INVERT (A)	0.18 / 0.09	0.13 / 0.065	0.09 / 0.045	0.05 / 0.025
FLOW RATE HIGH-FLO / DRAINDOWN (cfs) (per cart)			8 / 1	
MAX. CARTS HIGH-FLO/DRAINDOWN			4.00	
MAX. BYPASS (cfs)				
MAX. TREATMENT (cfs)	1.16	0.87	0.58	0.32
MAX. TREATMENT AND BYPASS (cfs) (TOTAL CAPACITY)	5.16	4.87	4.58	4.32

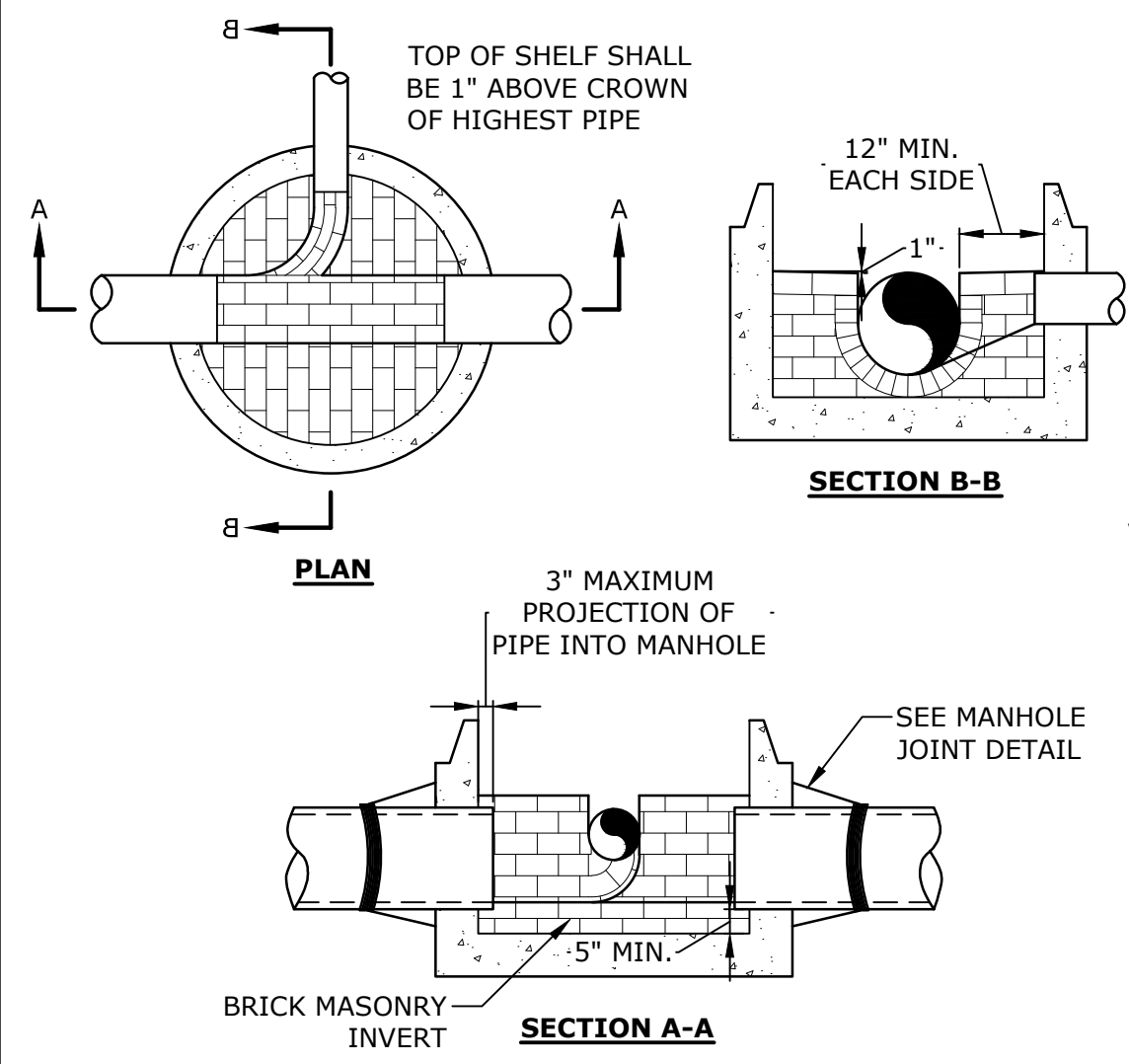
SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	6"
WATER QUALITY FLOW RATE (cfs)	0.91
BYPASS FLOW RATE (cfs)	5.00
PEAK FLOW RATE (cfs)	4.42
RETURN PERIOD OF PEAK FLOW (yrs)	50
# OF CARTRIDGES REQUIRED (HF / DD)	5/1
CARTRIDGE SIZE	54"

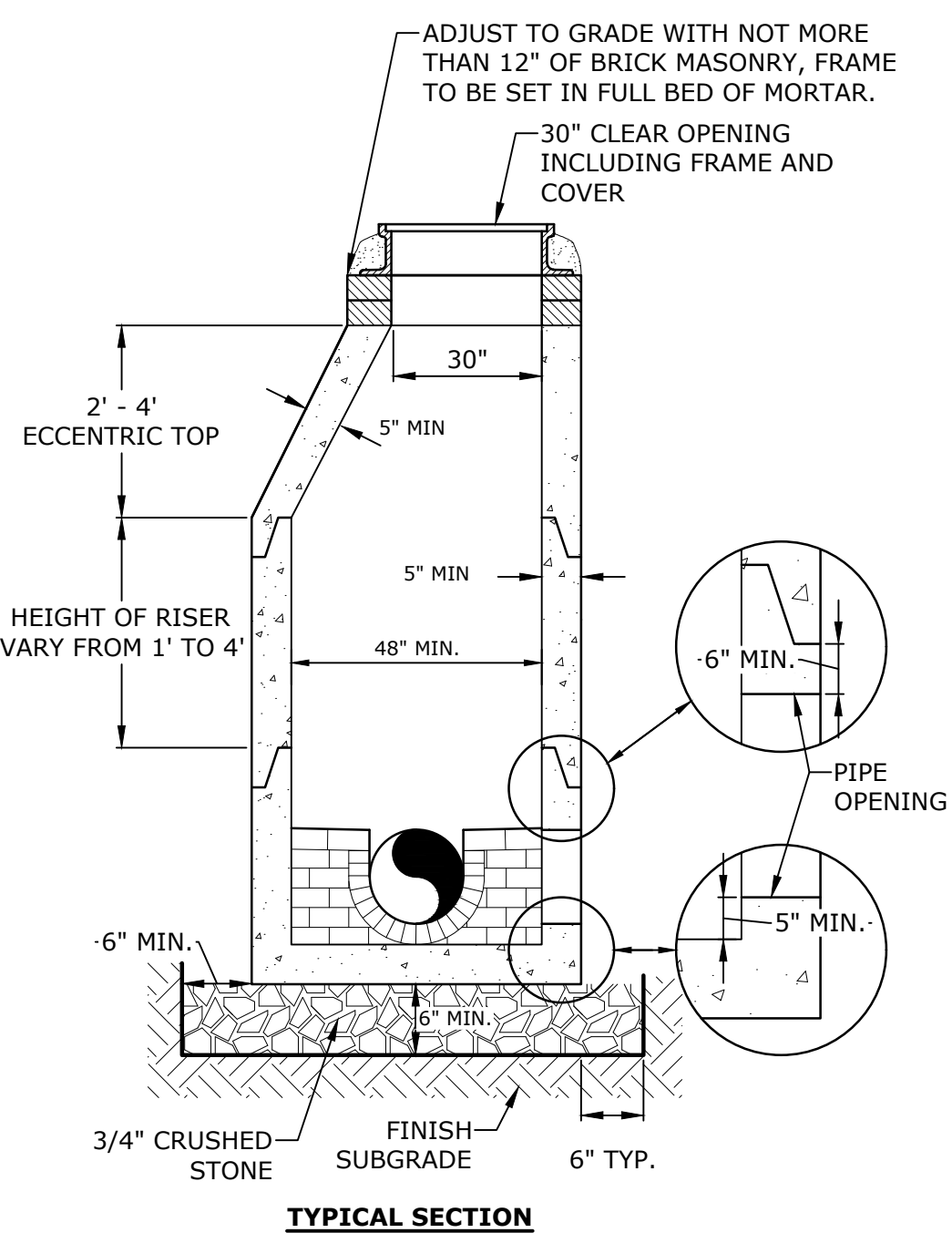
- GENERAL NOTES:**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.contechES.com
 - JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' - 3' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
 - STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 - INLET HGL NOT TO EXCEED 6' BELOW THE TOP OF THE M.A.W. DURING THE PEAK DESIGN STORM, OR 10-YEAR STORM (WHICHEVER IS GREATER).
 - INLET PIPE INVERT ELEVATION VARIES FROM 0' TO 6' MAXIMUM ABOVE THE OUTLET PIPE INVERT.
 - OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
 - THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.
 - THE DIFFERENCE IN THE INLET AND OUTLET PIPE ELEVATIONS FOR RETROFIT INSTALLATIONS TO EXISTING STORM DRAIN PIPES SHALL BE EQUAL TO THE SLOPE OVER THE DIAMETER OF THE MANHOLE, NOT THE EXCEED 6" IN VERTICAL DIFFERENTIAL BETWEEN INLET AND OUTLET PIPES.
 - NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.
- INSTALLATION NOTES:**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 - CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (866) 740-3318.

JELLYFISH JF6-5-1 ONLINE CONFIGURATION
NO SCALE

Jellyfish Filter
THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING: U.S. PATENT NO. 8,261,726; 8,221,818 & U.S. PATENT NO. 8,221,819; OTHER INTERNATIONAL PATENTS PENDING.
www.contechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45386
800-338-1122 513-645-7000 513-645-7993 FAX



- NOTES:**
- INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
 - CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
 - INVERT BRICKS SHALL BE LAID ON EDGE.
 - TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
 - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY E.J. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
 - BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

PROJECT NO: P-0595-007
DATE: December 22, 2020
FILE: P-0595-007-DTLS.DWG
DRAWN BY: CLK
CHECKED BY: NAH/PMC
APPROVED BY: BLM

DETAILS SHEET

SCALE: AS SHOWN

C-505

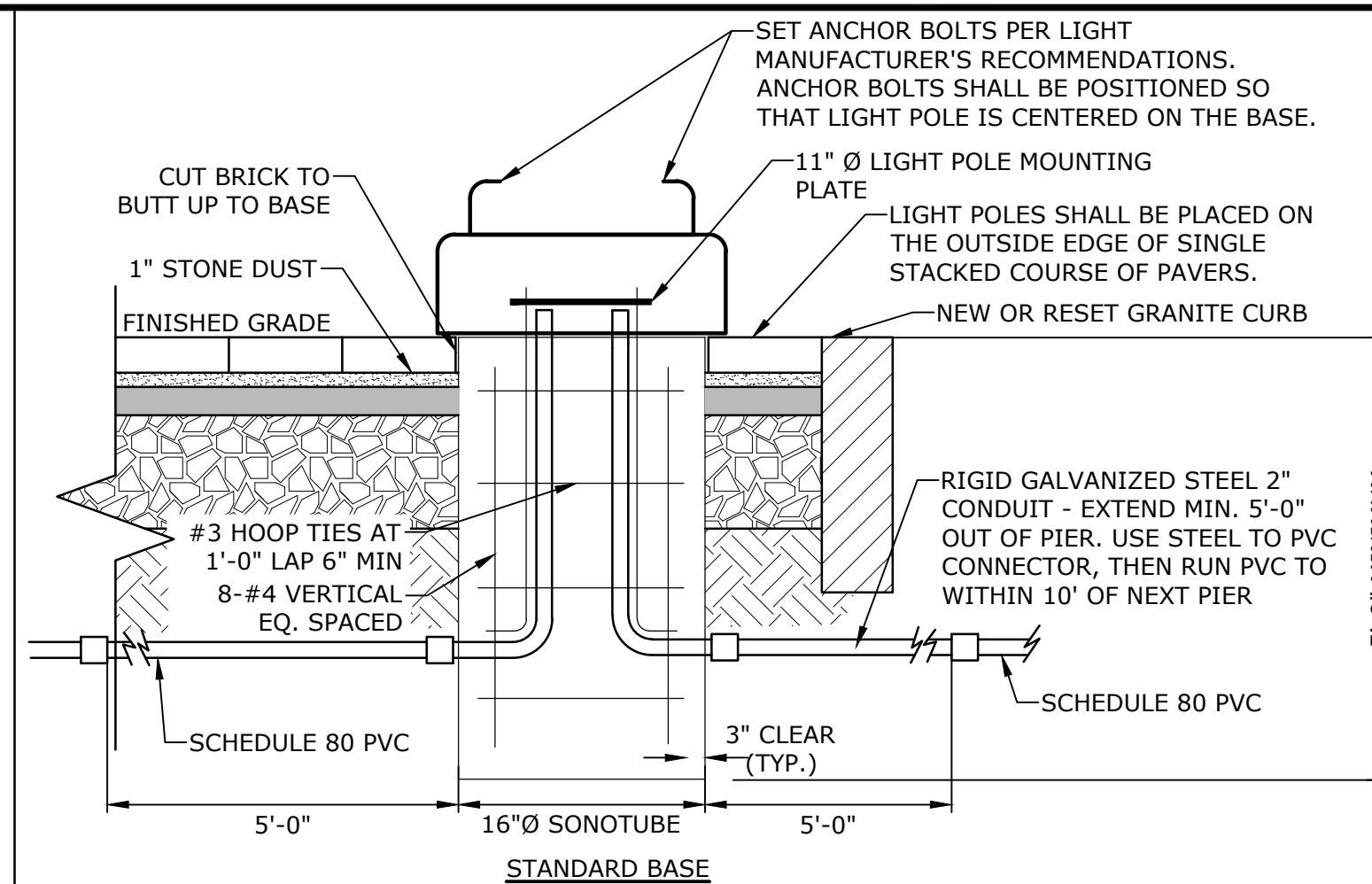
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B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session
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PROJECT NO:	P-0595-007	
DATE:	December 22, 2020	
FILE:	P-0595-007-DTLS.DWG	
DRAWN BY:	CJK	
CHECKED BY:	NAH/PMC	
APPROVED BY:	BLM	

DETAILS SHEET

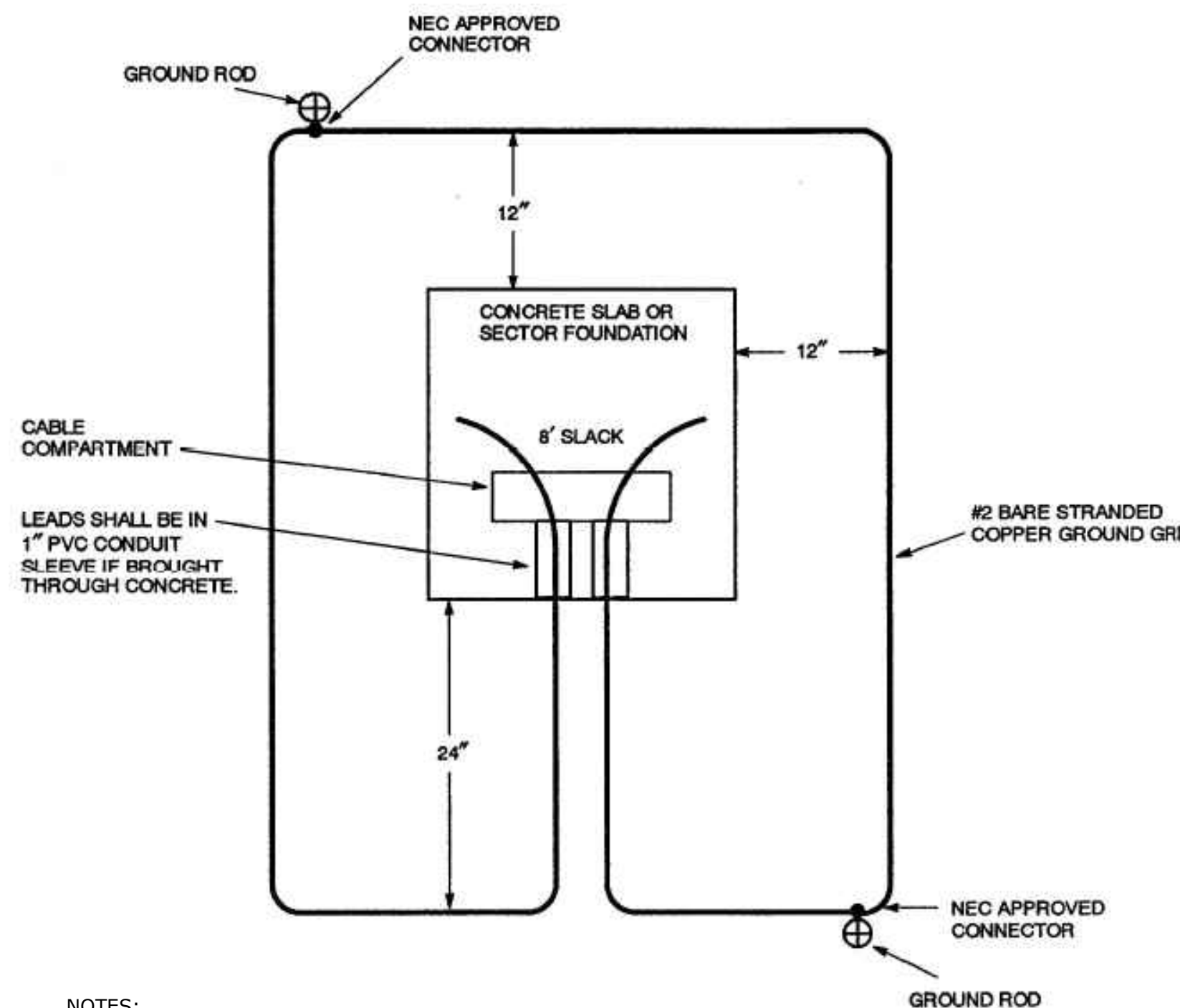
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C-506



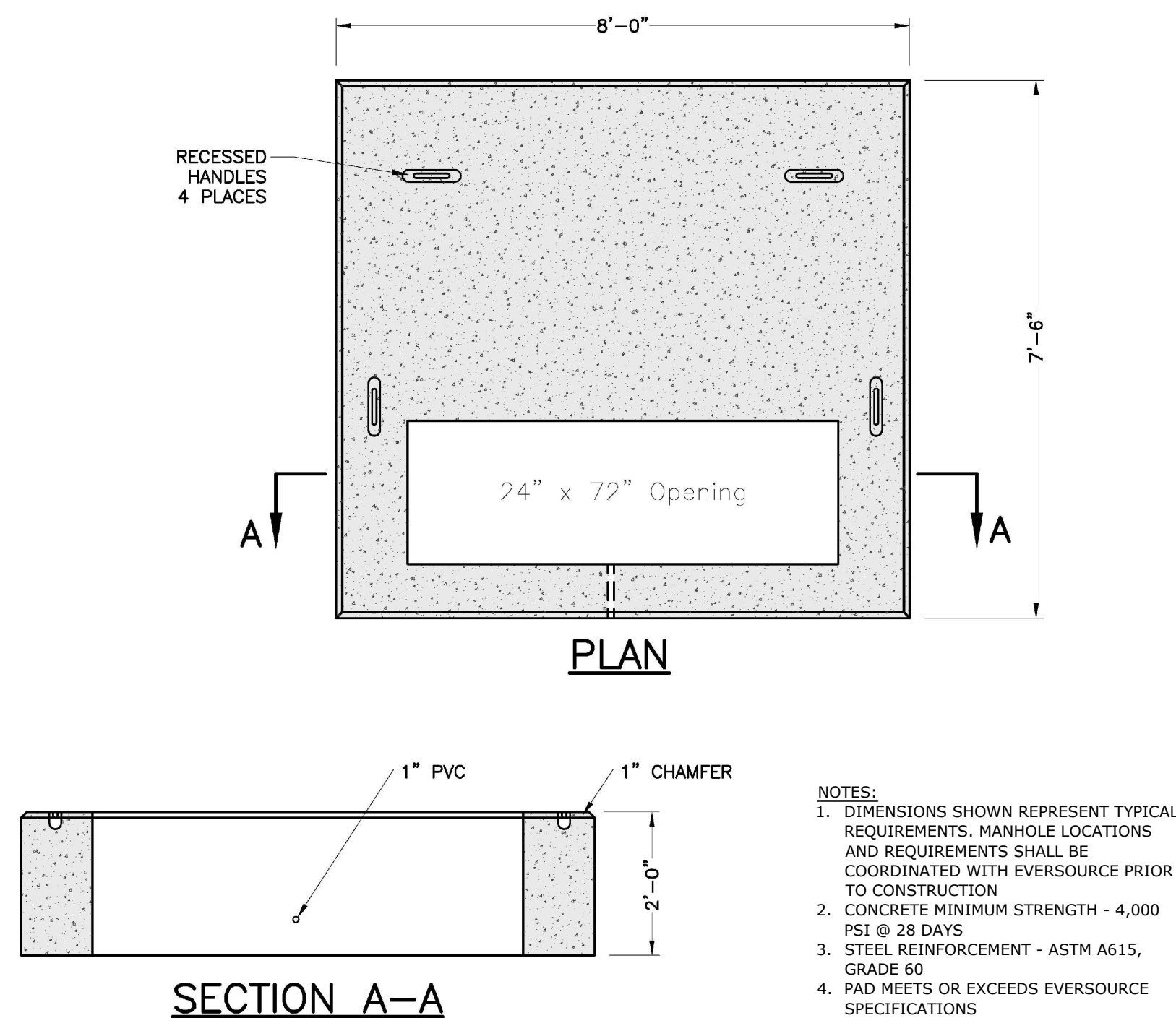
- NOTES:
- REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
 - CONCRETE: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI
 - LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.
 - STANDARD BASE SHALL BE CONSTRUCTED UNLESS THERE IS CONFLICT WITH THE EXISTING DUCT BANK. SPREAD FOOTING BASE SHALL BE USED IN LIEU OF STANDARD BASE IN LOCATIONS WHERE TOP OF DUCT BANK ELEVATION WILL CONFLICT WITH STANDARD POLE BASE DEPTH. CONTRACTOR SHALL VERIFY LOCATIONS WHERE SPREAD FOOTINGS ARE REQUIRED PRIOR TO CONSTRUCTION. SEE NOTE#4 FOR SUBMITTAL REQUIREMENTS.

HISTORIC LIGHT FIXTURE BASE
NO SCALE



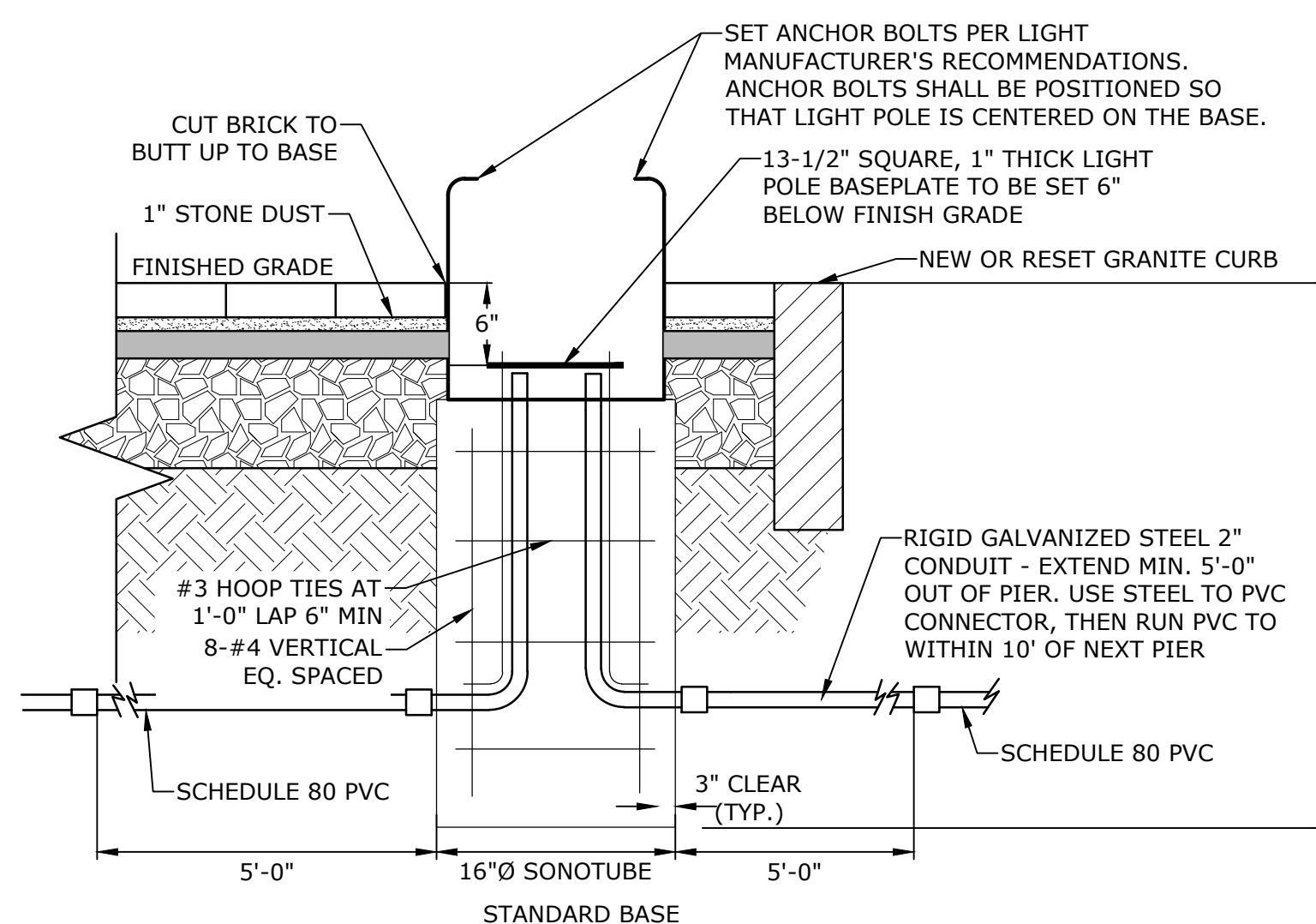
- NOTES:
- THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12 INCHES BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFORMER. THE TWO 8-FOOT GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.

PAD-MOUNTED EQUIPMENT GROUNDING GRID DETAIL
NO SCALE



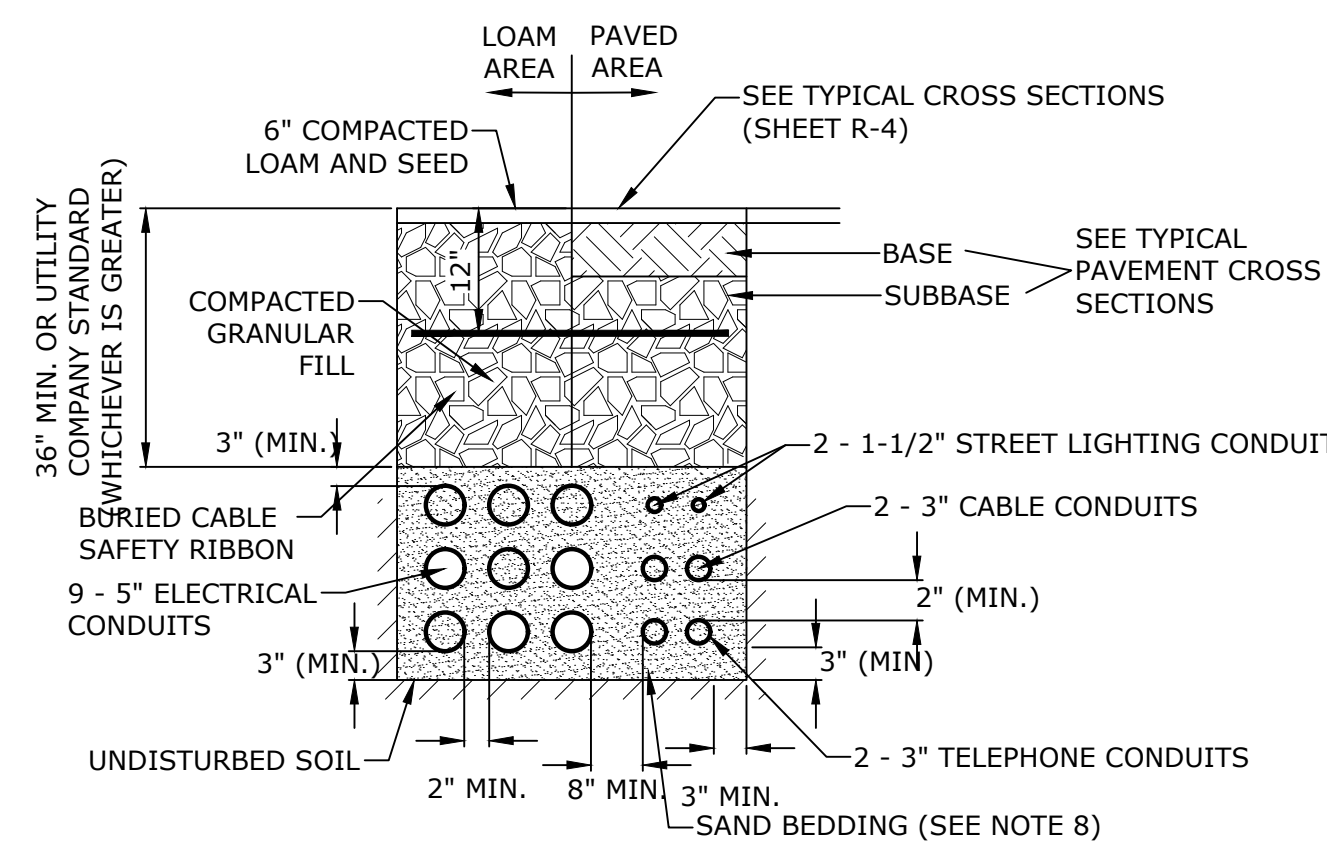
- NOTES:
- DIMENSIONS SHOWN REPRESENT TYPICAL REQUIREMENTS. MANHOLE LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED WITH EVERSOURCE PRIOR TO CONSTRUCTION
 - CONCRETE MINIMUM STRENGTH - 4,000 PSI @ 28 DAYS
 - STEEL REINFORCEMENT - ASTM A615, GRADE 60
 - PAD MEETS OR EXCEEDS EVERSOURCE SPECIFICATIONS

3-PHASE TRANSFORMER PAD
NO SCALE



- NOTES:
- REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
 - CONCRETE: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI
 - LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.
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NORTH END LIGHT FIXTURE BASE
NO SCALE



- NOTES:
- NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
 - DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
 - A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
 - UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
 - ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
 - ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
 - SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT
NO SCALE



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
1

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 1.1: Support The Continued Vitality Of The Urban Core Through Public Investment and Land Use Regulations.	✓
Action Item 1.1.1: Support reinvestment in underutilized buildings and land.	✓
Action Item 1.1.2: Enhance the quality and connectivity of pedestrian facilities.	✓
Action Item 1.1.3: Promote the creation of open spaces, seating areas and other outdoor amenities.	✓
Action Item 1.1.5: Encourage public access, use and enjoyment of the downtown waterfront.	✓



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH END -
NEIGHBORHOOD DEVELOPMENT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
3



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITIONS
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
4



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021

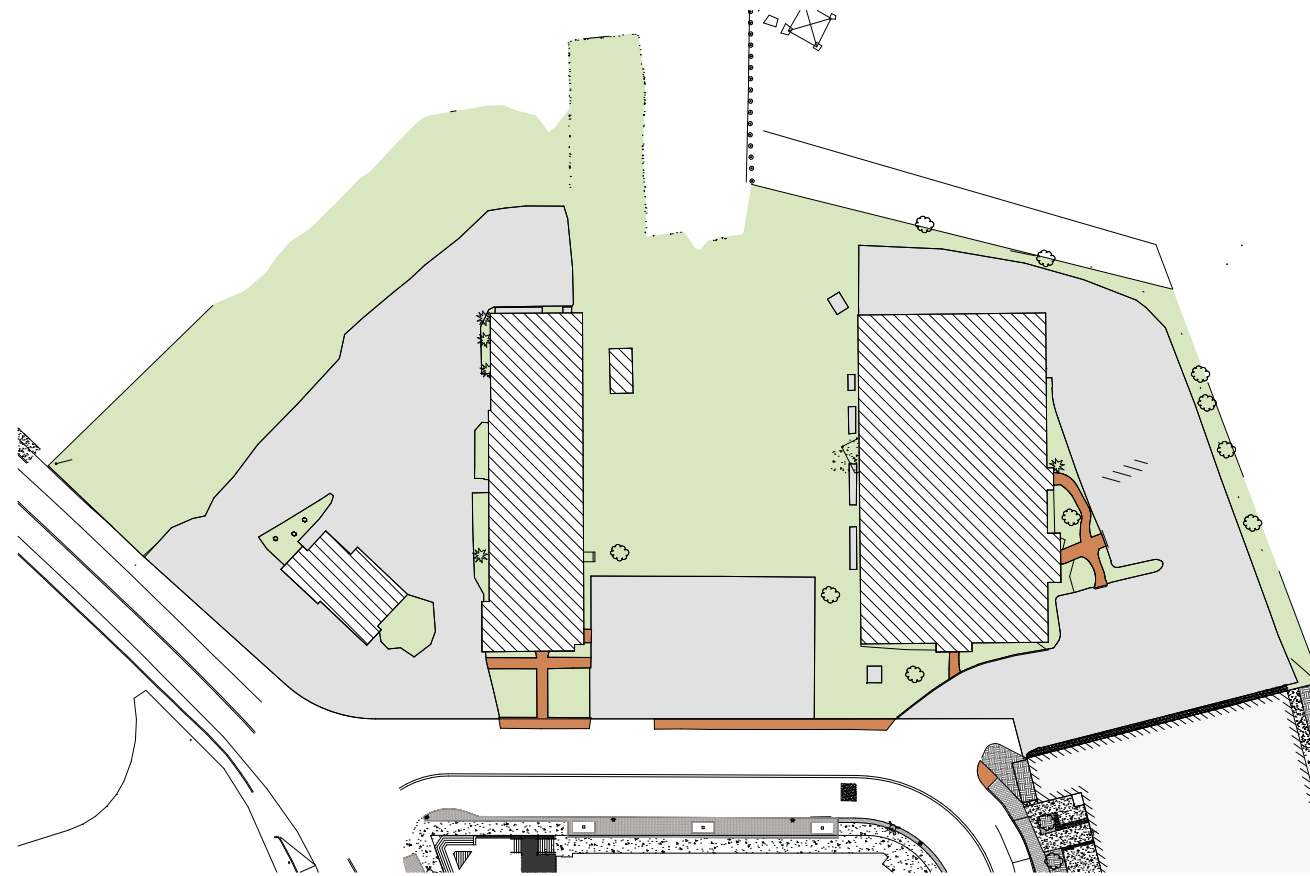


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EXHIBIT
5

SITE USAGE AREA		
	EXISTING CONDITION	FLOOR PROPOSED DEVELOPMENT
PEDESTRIAN*	1,537 SF	19,964 SF
OPEN SPACE	46,010 SF	30,933 SF
PARKING LOT	43,326 SF	31,720 SF
BUILDING	20,466 SF	32,074 SF

* INCLUDES IMPROVEMENTS TO PUBLIC RIGHT OF WAY



1 SITE USAGE - EXISTING
1" = 30'-0"



2 SITE USAGE - PROPOSED
1" = 30'-0"

MEAN HIGH WATER

OVERLOOK SEATING NICHE WITH FITNESS MULTIPURPOSE BENCH

RESTORATION SEED MIX

OVERLOOK SEATING NICHE WITH CHAIR BENCHES

50' WATER-FRONT BUFFER

NORTH MILL POND GREENWAY MULTI-USE PATH

WAYFINDING SIGNAGE

VIBRANT STREETSCAPE WITH RETAIL SPILL OUT ZONES, UNIT PAVERS, AND SEASONAL PLANTINGS

FUTURE GREENWAY COMMUNITY PARK

RECONSTRUCTED TIMBER PIER

CURRENT BOAT/KAYAK LAUNCH RAMP

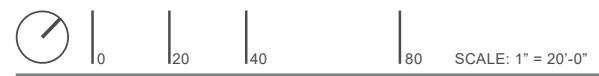
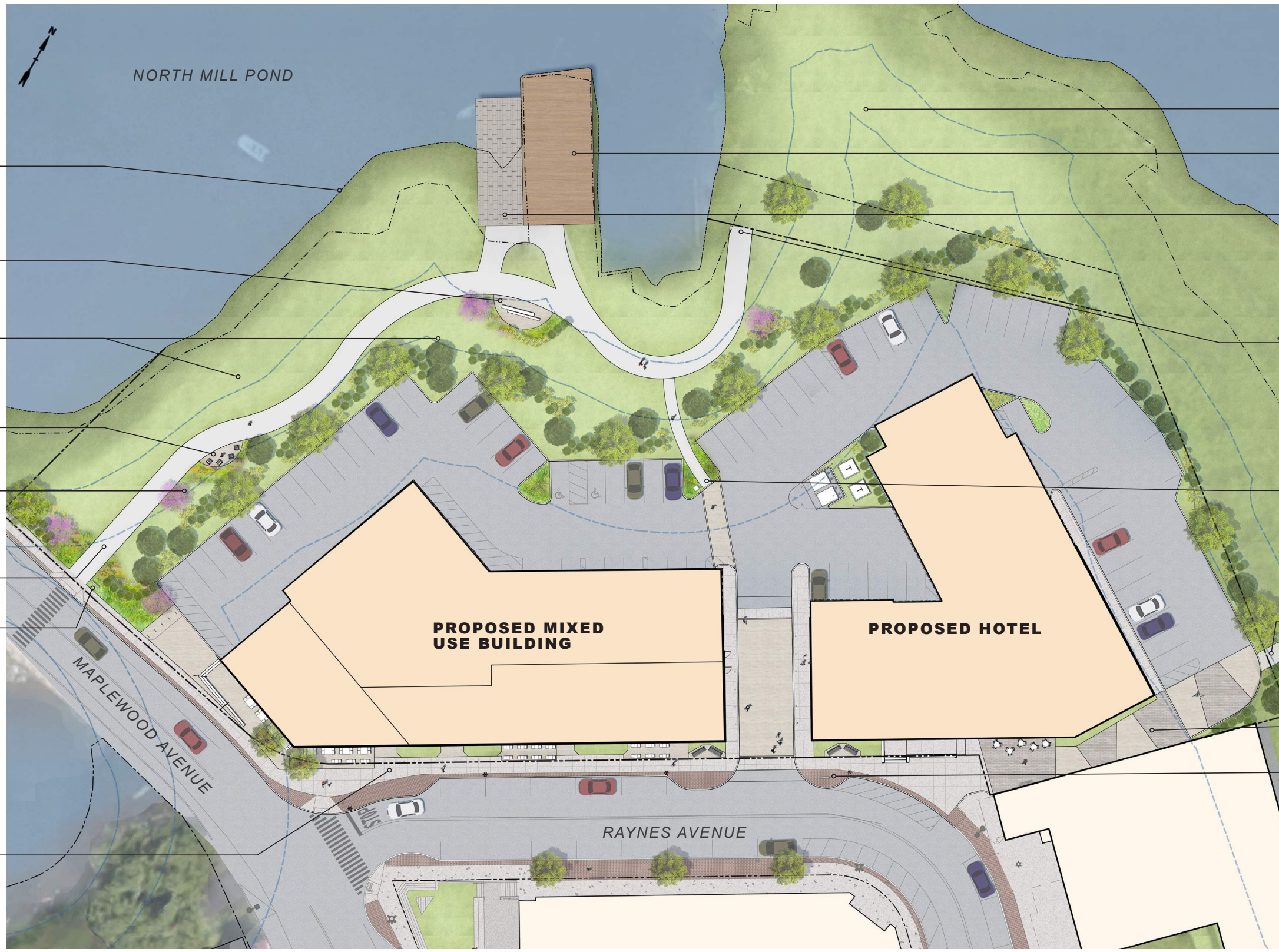
CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY ACCESS

WAYFINDING SIGNAGE



SITE LANDSCAPE PLAN



RAYNES AVE - PORTSMOUTH, NH
2/17/2021

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021

EXHIBIT
7



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MARSH LANE PARK
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
8



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM
MAPLEWOOD AVENUE BRIDGE
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
9



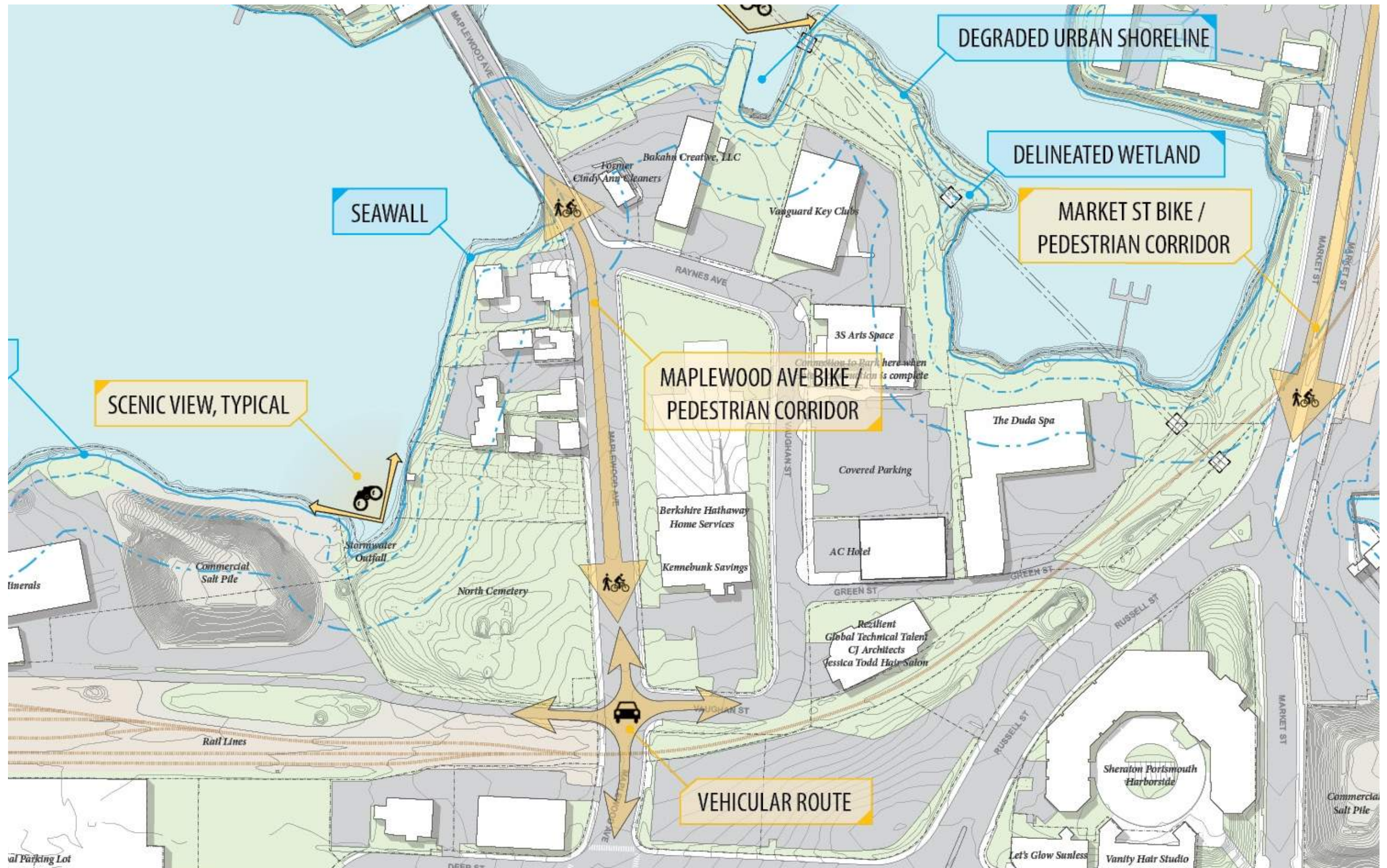
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM
MAPLEWOOD AVENUE
PLANNING BOARD PRESENTATION: MAR 25, 2021



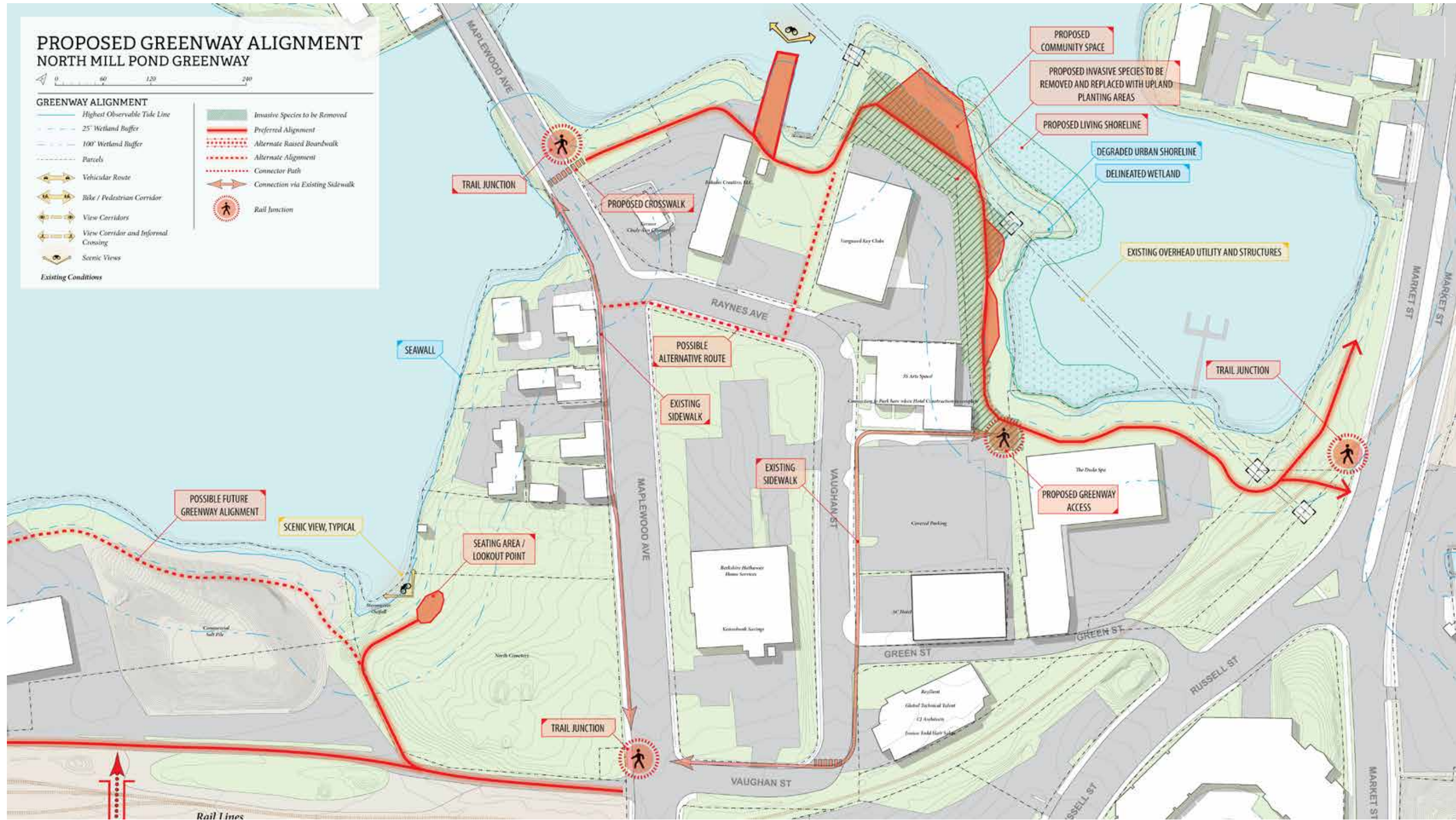
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EXHIBIT
10



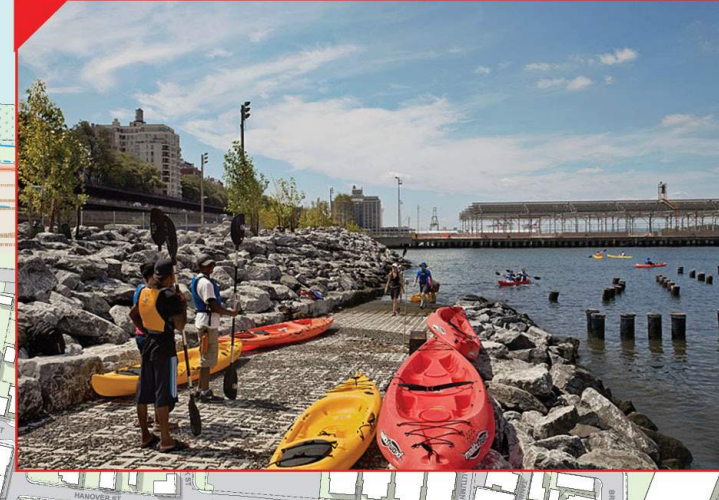
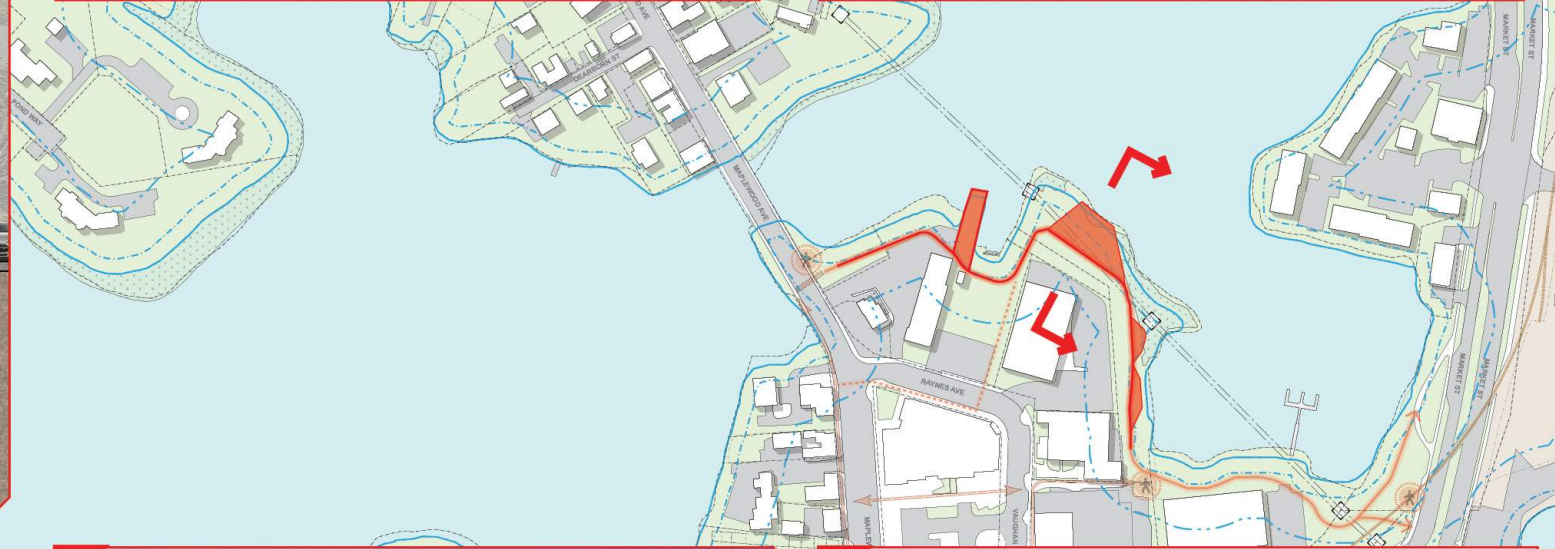
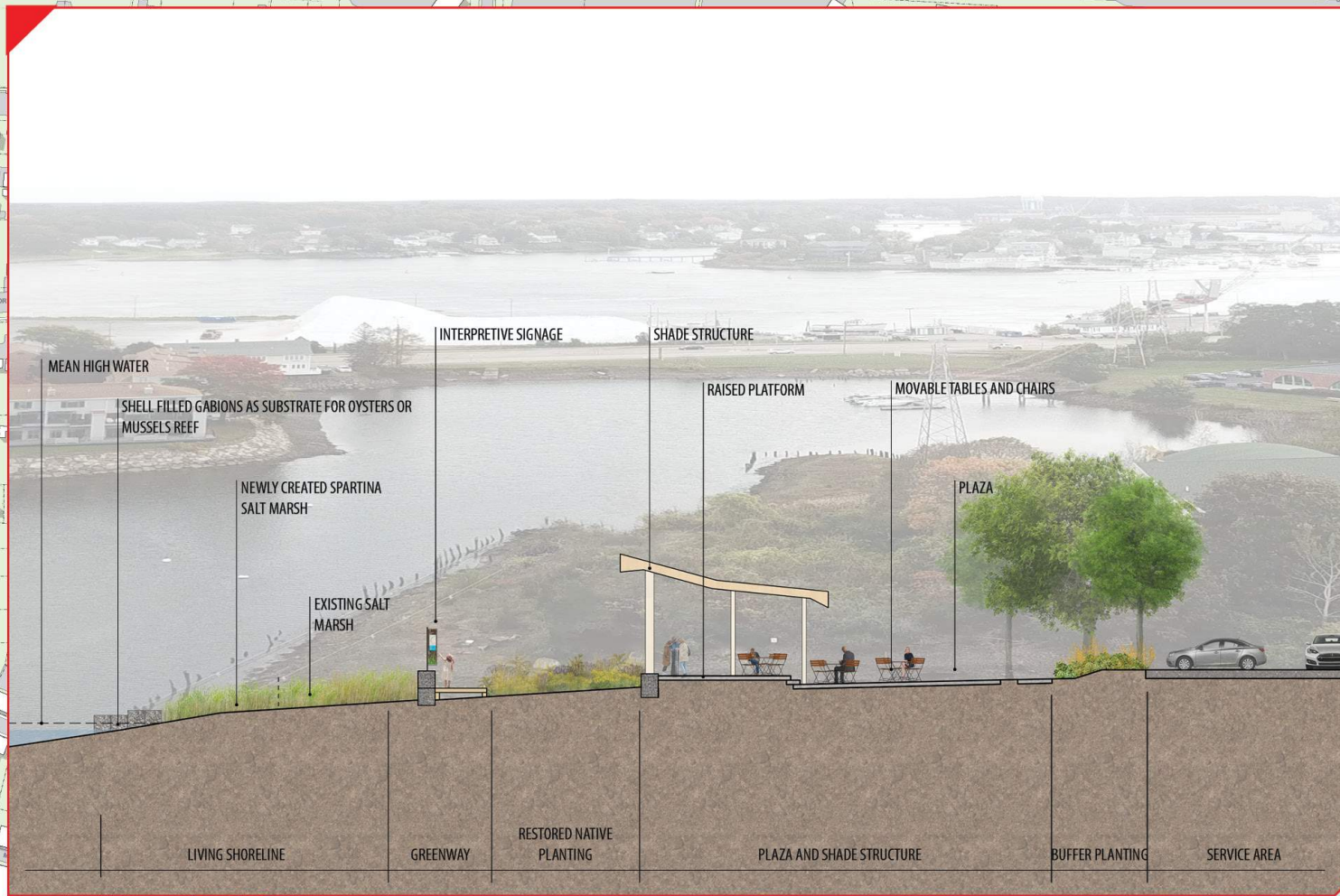
OVERALL CONCEPTUAL AREA 1 ENLARGEMENT

NORTH MILL POND COMMUNITY PARK AND GREENWAY TRAIL | 07/09/2020



COMMUNITY PARK: SECTIONS AND PRECEDENT IMAGES
NORTH MILL POND GREENWAY

0 60 120 240 480





RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
14



OFFICE BUILDING CURRENTLY UNDER CONSTRUCTION - 145 MAPLEWOOD AVENUE



AC HOTEL - 299 VAUGHAN STREET



3S ARTSPACE - 319 VAUGHAN STREET



MIXED-USE LUXURY CONDOS AND OFFICES - 233 VAUGHAN STREET

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH END -
NEIGHBORHOOD APPROVED PROJECTS
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
15



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MARSH LANE PARK
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
16



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM
MAPLEWOOD AVENUE BRIDGE
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
17



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM
MAPLEWOOD AVENUE
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
18



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM THE CORNER OF
MAPLEWOOD & RAYNES AVENUE
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
19



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
20



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH END -
NEIGHBORHOOD DEVELOPMENT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXHIBIT
21

Master Plan and Zoning Ordinance Compliance

Our Plan complies with the City's Zoning Ordinance and requires no variances:

- Both hotel and multifamily uses are permitted by right in the CD4 district
- Building heights comply with height standards in the CD4 district and North End Incentive Overlay District
- Design complies with density and dimensional requirements of the CD4 district
- Consistent with recent development North End neighborhood
- Substantial reinvestment in four lots of presently underutilized buildings and land.





RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

BUILDING CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
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EXHIBIT
23



OFFICE BUILDING CURRENTLY UNDER CONSTRUCTION - 145 MAPLEWOOD AVENUE



AC HOTEL - 299 VAUGHAN STREET



3S ARTSPACE - 319 VAUGHAN STREET



MIXED-USE LUXURY CONDOS AND OFFICES - 233 VAUGHAN STREET

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH END -
NEIGHBORHOOD APPROVED PROJECTS
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
24

Project Benefits to the Public Realm

1. Revitalizing the North End
2. Creation of the City's North Mill Pond Greenway and Park
3. Stewardship of Natural Resources



1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 1.1: Support The Continued Vitality Of The Urban Core Through Public Investment and Land Use Regulations.	✓
Action Item 1.1.1: Support reinvestment in underutilized buildings and land.	✓
Action Item 1.1.2: Enhance the quality and connectivity of pedestrian facilities.	✓
Action Item 1.1.3: Promote the creation of open spaces, seating areas and other outdoor amenities.	✓
Action Item 1.1.5: Encourage public access, use and enjoyment of the downtown waterfront.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 3.2: Accommodate The Housing Needs of Low and Moderate Income Residents	✓
<p>Action Item 3.2.2: Promote the development of mixed-income multifamily housing in appropriate locations with incentive zoning provisions; such a reduction in parking requirement and increased maximum heights</p>	✓
<p>Action Item 3.2.5: Encourage the creation of smaller housing units.</p>	✓
Goal 4.1: Ensure That transportation Improvements are designed to Create Convenient, Safe and Accessible Streets for all users.	✓
<p>Action Item 4.1.4: Complete implementation of citywide wayfinding program.</p>	✓
<p>Action Item 4.1.7: Incorporate 'green streets' sustainable stormwater strategies</p>	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 1.4: Improve Access To ... Outdoor Recreation Facilities Throughout The City	✓
Action Item 1.4.1: Enhance neighborhood parks, recreational facilities and playgrounds, and add new ones where appropriate.	✓
Action Item 1.4.3: Develop a consolidated recreation facility for residents of all ages and income levels.	✓
Action Item 1.4.4: Seek innovative partnerships for the development of recreational facilities where opportunities arise.	✓
Action Item 1.4.6: Create new public spaces that can be used for both recreation and flood-plain storage.	✓
Goal 2.3: Maintain and Establish Usable Public Access To and Along the Waterfront	✓
Action Item 2.3.2: Actively protect, enhance and acquire public waterfront access.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 4.2: Ensure That Biking and Walking are Safe, Convenient and Comfortable Throughout the City.	✓
Action Item 4.2.1: Implement Bicycle and Pedestrian Plan priorities in the neighborhoods.	✓
Action Item 4.2.4: Identify and implement off-road multi-use paths along North Mill Pond and other transportation corridors.	✓
Goal 4.3: Manage Public and Private Parking Supply to Serve Development Needs Without Compromising Community Character.	✓
Action Item 4.3.4: Develop strategies for determining parking requirements for large projects, including parking study requirement, shared parking provisions and site coverage maximums.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 5.1: Implement Best Management Practices and Site Design Standards To Ensure Sustainability and Resilience of Public and Private infrastructure.	✓
Action Item 5.1.3: Adjust site design standards to include sustainable stormwater measures, increase on-site infiltration, improve water quality, and reduce downstream erosion, sedimentation, and flooding impacts.	✓
Goal 5.2: Manage Public Open Spaces for Passive Recreation and Environmental Preservation	✓
Action Item 5.2.1: Identify and prioritize undeveloped land for acquisition and preservation.	✓
Action Item 5.2.2: Pursue open space acquisitions that create wildlife corridors and ecological connections.	✓
Action Item 5.2.4: Create a passive recreational program focused on expansion and maintenance of recreational trails.	✓
Action Item 5.2.6: Develop wayfinding and environmental design consistency for all public open space parcels.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 5.3: Promote Effective Stewardship To Enhance The City’s Natural Resources.	✓
Action Item 5.3.1: Implement watershed restoration measures and plans to improve water quality and habitat values.	✓
Action Item 5.3.2: Protect and care for existing trees, native vegetation and woodlands, and identify areas for new plantings.	✓
Action Item 5.3.3: Evaluate health of wetlands and implement restoration measures where necessary.	✓
Action Item 5.4.7: Use sustainable design and construction rating systems such as LEED.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 5.4: Promote Efficient Use and Management of Resources.	✓
Action Item 5.4.3: Strengthen site design standards to prioritize low impact stormwater treatment systems to protect water quality and habitat value	✓
Action Item 5.4.4: Promote use of low-emission and alternative energy vehicles through incentives, preferred parking, charging stations and other means.	✓
Action Item 5.4.6: Identify and protect wildlife habitat corridors through acquisition, easements, and other preservation methods.	✓
Action 5.4.7: Use sustainable design and construction rating systems such as LEED.	✓

Description: Steep wetland bank armored with riprap along the southern wetland edge just off Maplewood Avenue.



Description: Culvert outlet, steep bank, and filled pier along the northeast edge of 31 Raynes Avenue.



Description: Commercial buildings and parking lot in the tidal buffer viewed from near the wetland edge, with the 31 Raynes Avenue building to the left and 203 Maplewood building to the right.



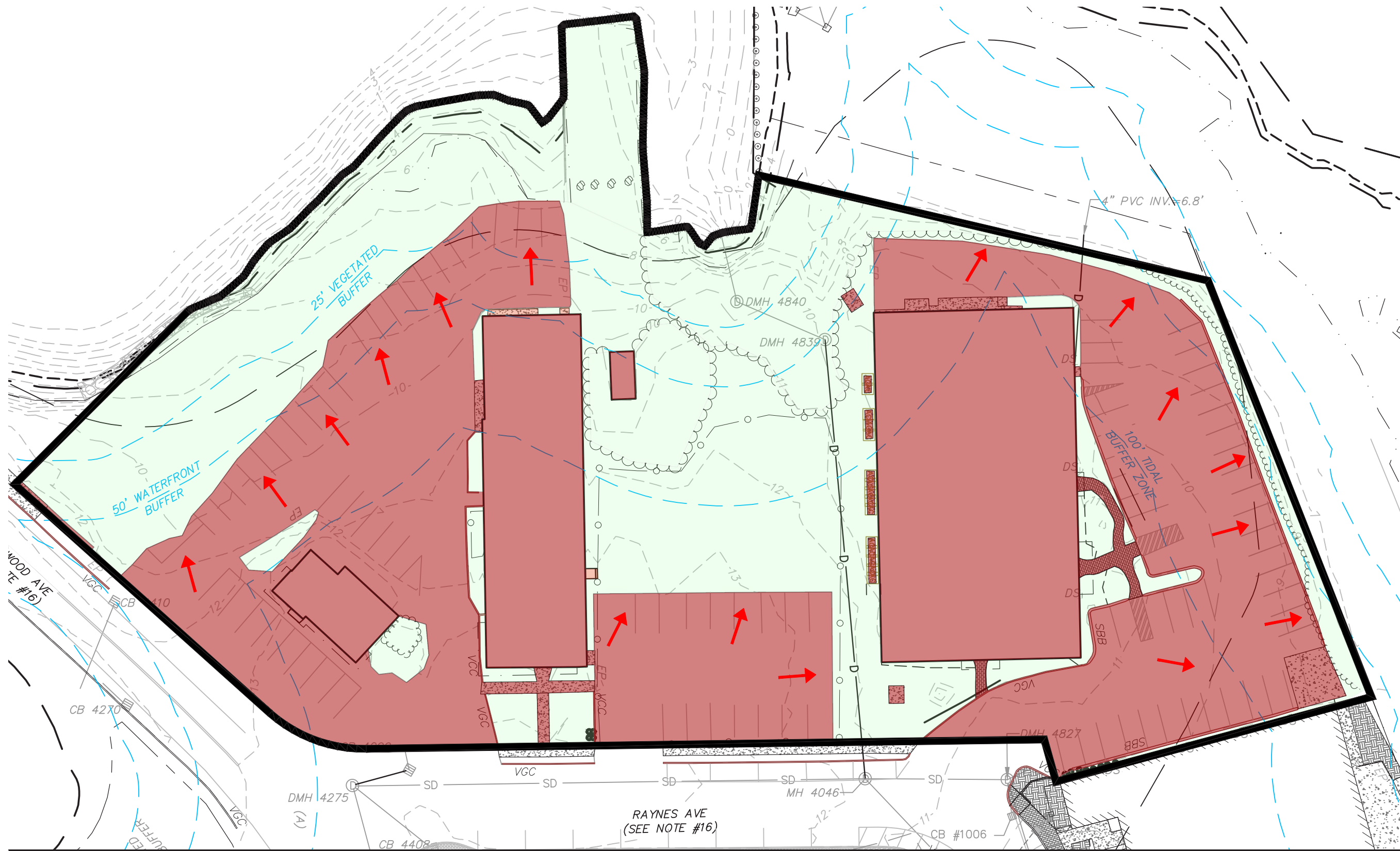
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

EXISTING SHORELINE CONDITIONS
PLANNING BOARD PRESENTATION: MAR 25, 2021



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EXISTING DRAINAGE AREA

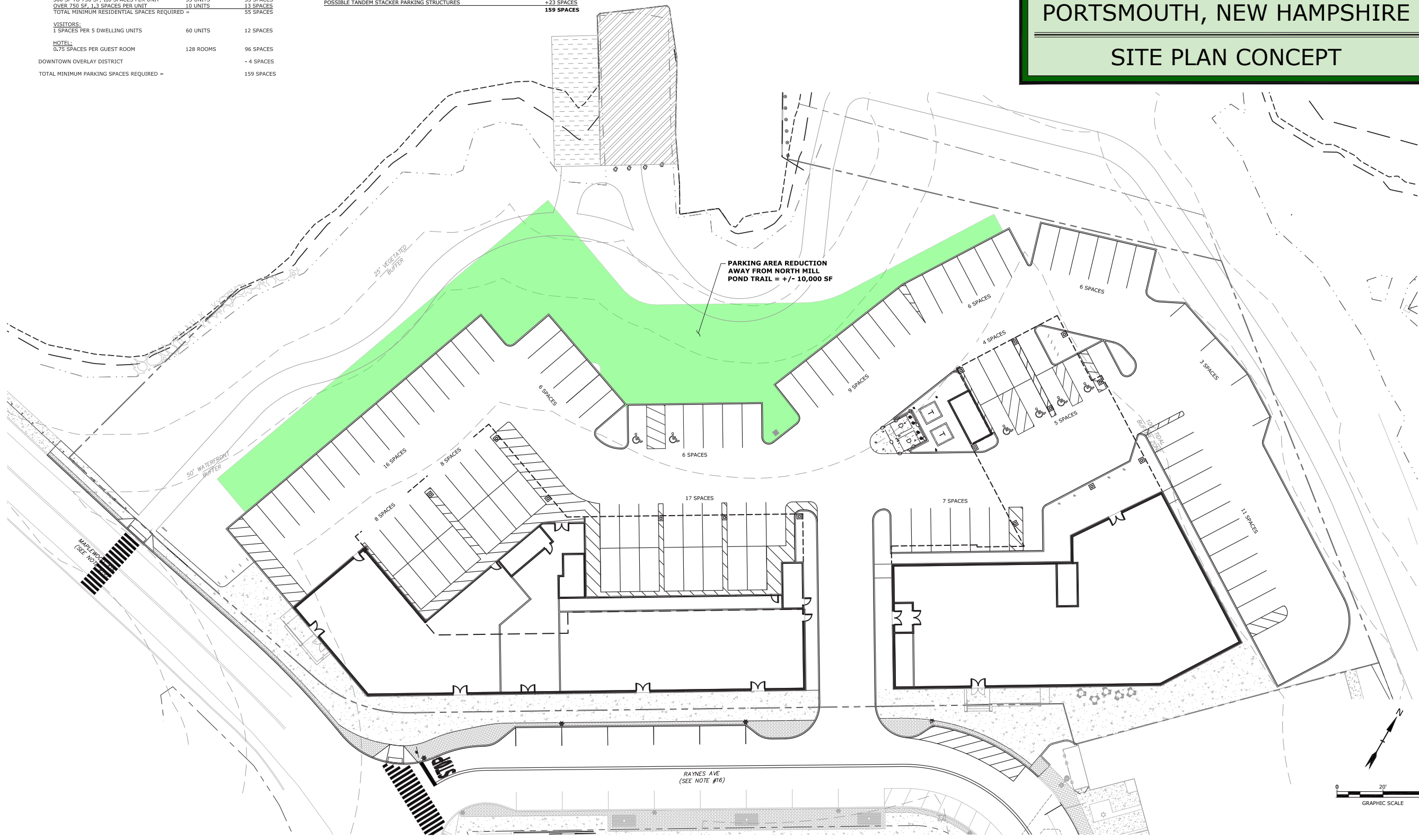
**PROPOSED MIXED USE
DEVELOPMENT
PORTSMOUTH, NEW HAMPSHIRE**

SITE PLAN CONCEPT

OFF-STREET PARKING REQUIREMENTS

PARKING SPACES REQUIRED:		
DWELLING UNITS:		
0 SF TO 500 SF, 0.5 SPACES PER UNIT	17 UNITS	8.5 SPACES
500 SF TO 750 SF, 1.0 SPACES PER UNIT	33 UNITS	33 SPACES
OVER 750 SF, 1.3 SPACES PER UNIT	10 UNITS	13 SPACES
TOTAL MINIMUM RESIDENTIAL SPACES REQUIRED =		
		55 SPACES
VISITORS:		
1 SPACES PER 5 DWELLING UNITS	60 UNITS	12 SPACES
HOTEL:		
0.75 SPACES PER GUEST ROOM	128 ROOMS	96 SPACES
DOWNTOWN OVERLAY DISTRICT		
		- 4 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		
		159 SPACES

PROPOSED PARKING:	
SURFACE PARKING PROVIDED	111 SPACES
PRIVATELY SHARED OFF-SITE PARKING	+25 SPACES
136 SPACES	
POSSIBLE TANDEM STACKER PARKING STRUCTURES	
	+23 SPACES
159 SPACES	



January 29, 2021
P-0595-007-C-DSGN.dwg

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED SITE PLAN
PLANNING BOARD PRESENTATION: MAR 25, 2021

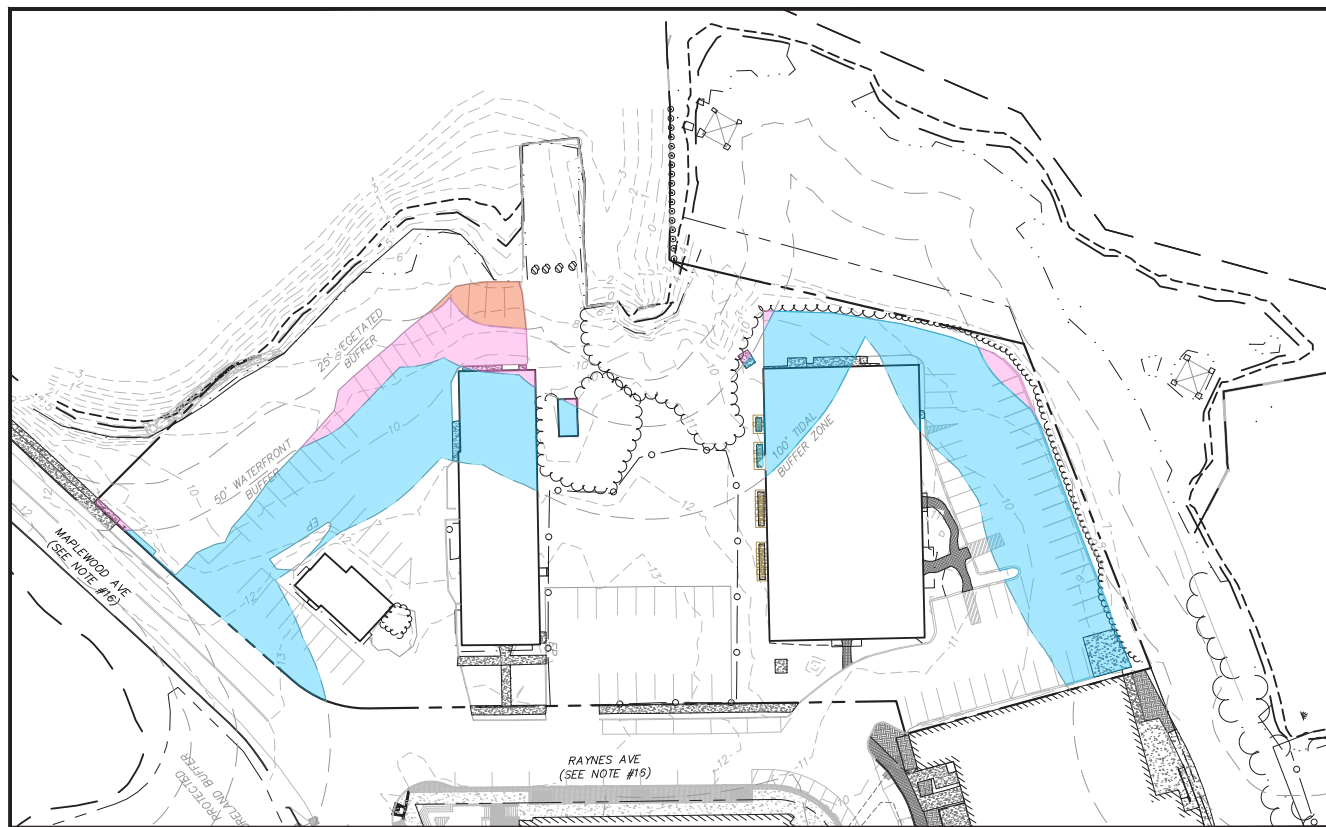




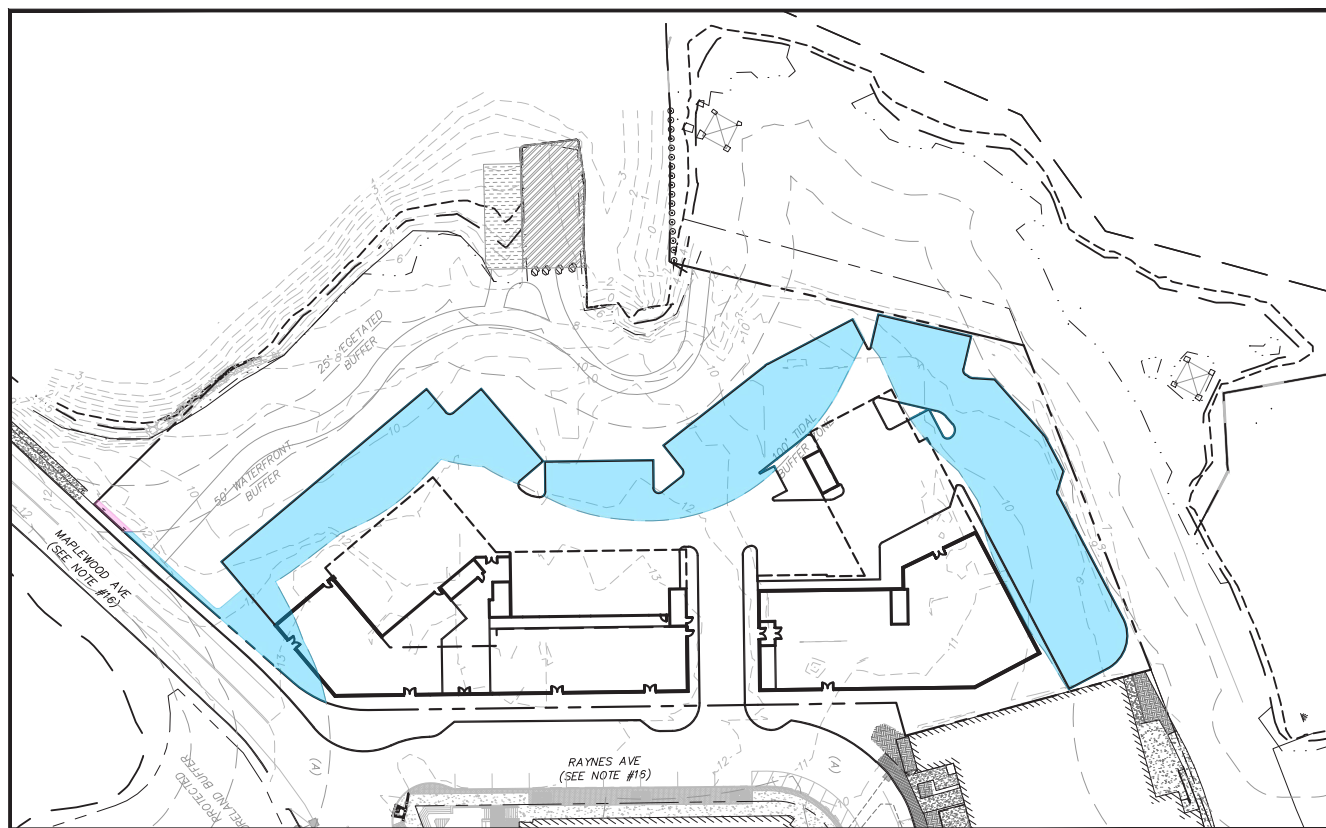
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37**





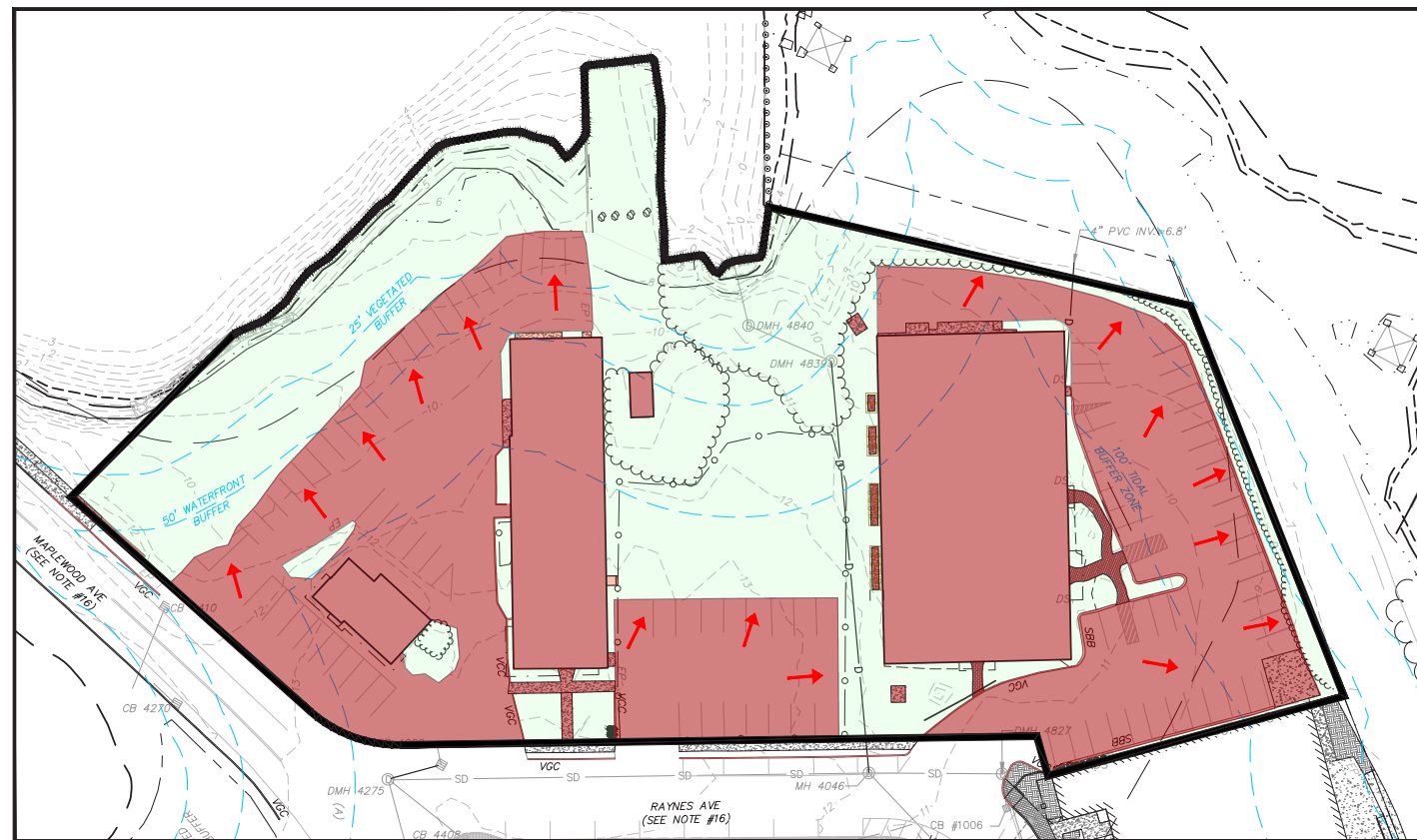
**EXISTING CONDITIONS
BUFFER IMPACTS**



**PROPOSED DEVELOPMENT
BUFFER IMPACTS**

Buffer Impact Area for Project			
Wetland Buffer Setback	Buffer Impact		
	Existing Condition	Previous TAC Work Session	Proposed Development
0 - 25 FT	848 SF	220 SF	0 SF
25 - 50 FT	3,006 SF	3,762 SF	67 SF (1)
50 - 100 FT	24,473 SF	28,411 SF	24,528 SF
Total Lot Impact	28,327 SF	32,393 SF	24,595 SF

(1) Existing City Sidewalk Area



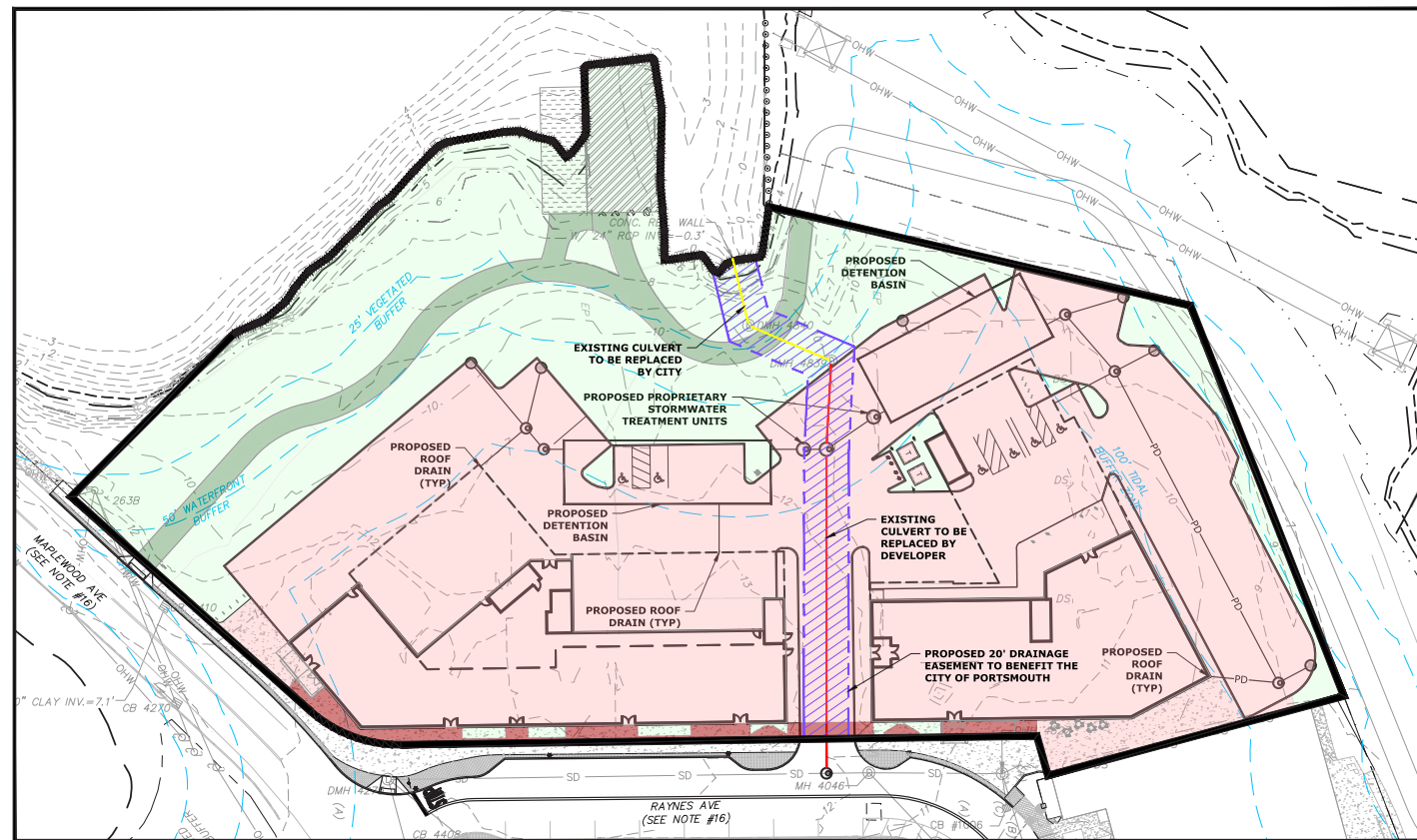
EXISTING DRAINAGE AREA

LEGEND

- PRE-DEVELOPMENT PERVIOUS AREA
- PRE-DEVELOPMENT IMPERVIOUS AREA NOT TREATED

PRE -DEVELOPMENT IMPERVIOUS TREATMENT AREA

IMPERVIOUS TREATED	0.00%	0 SF
IMPERVIOUS NOT TREATED	100.00%	64,085 SF



PROPOSED DRAINAGE AREA

LEGEND

- POST-DEVELOPMENT PERVIOUS AREA
- POST-DEVELOPMENT NORTH MILL POND MULTI-USE PATH
- POST-DEVELOPMENT IMPERVIOUS AREA TREATED
- POST-DEVELOPMENT IMPERVIOUS ARE NOT TREATED (WIDE CITY SIDEWALK)
- PROPOSED 20' DRAINAGE EASEMENT TO BENEFIT THE CITY OF PORTSMOUTH
- EXISTING CULVERT TO BE REPLACED BY DEVELOPER
- EXISTING CULVERT TO BE REPLACED BY CITY

POST -DEVELOPMENT IMPERVIOUS TREATMENT AREA

IMPERVIOUS TREATED	97.20%	69,072 SF
IMPERVIOUS NOT TREATED	2.80%	1,984 SF

MEAN HIGH WATER

OVERLOOK SEATING NICHE WITH FITNESS MULTIPURPOSE BENCH

RESTORATION SEED MIX

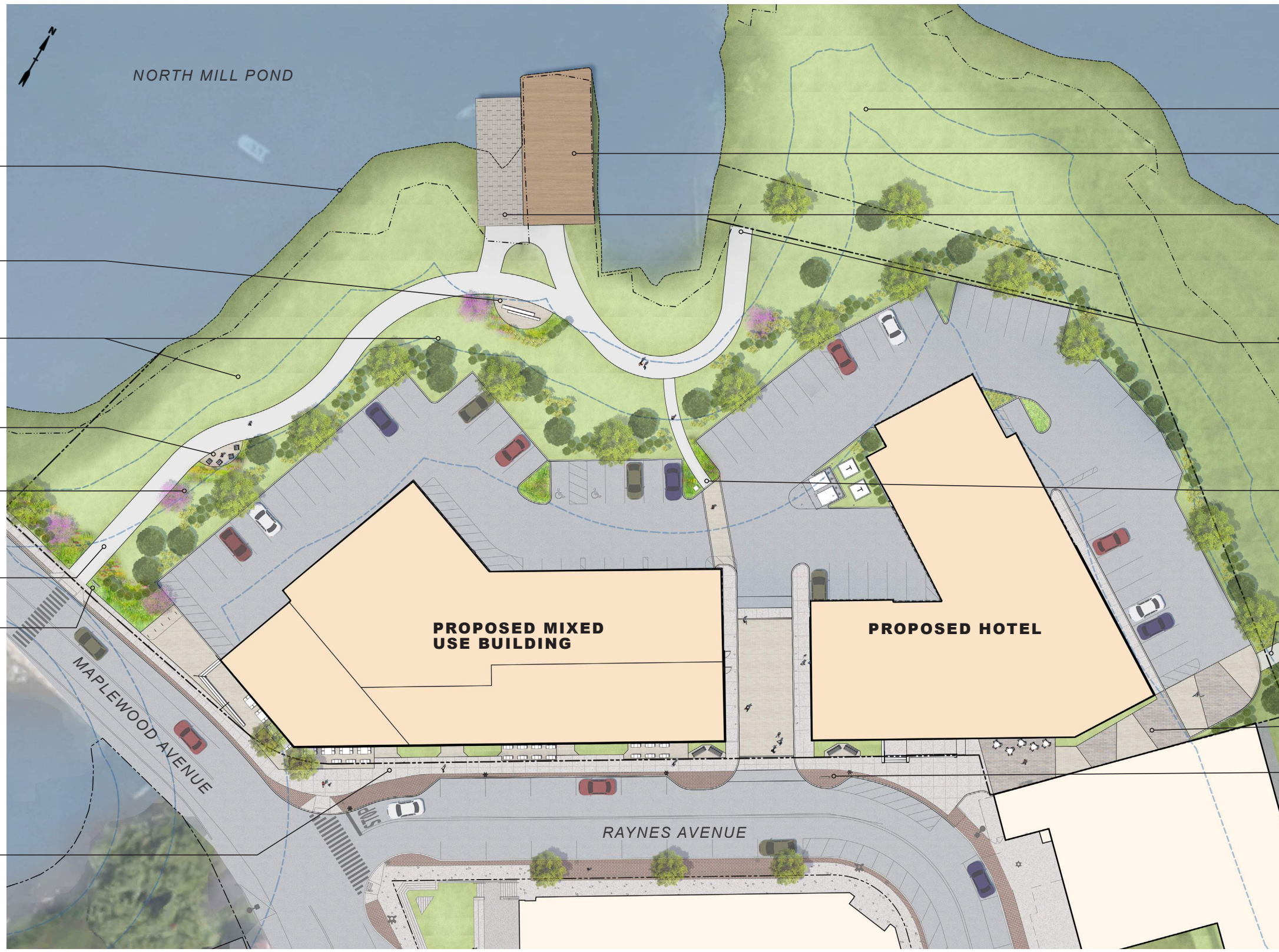
OVERLOOK SEATING NICHE WITH CHAIR BENCHES

50' WATER-FRONT BUFFER

NORTH MILL POND GREENWAY MULTI-USE PATH

WAYFINDING SIGNAGE

VIBRANT STREETSCAPE WITH RETAIL SPILL OUT ZONES, UNIT PAVERS, AND SEASONAL PLANTINGS



FUTURE GREENWAY COMMUNITY PARK

RECONSTRUCTED TIMBER PIER

CURRENT BOAT/ KAYAK LAUNCH RAMP

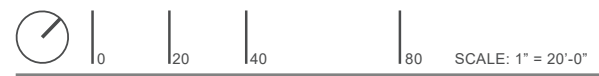
CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY ACCESS

WAYFINDING SIGNAGE



SITE LANDSCAPE PLAN



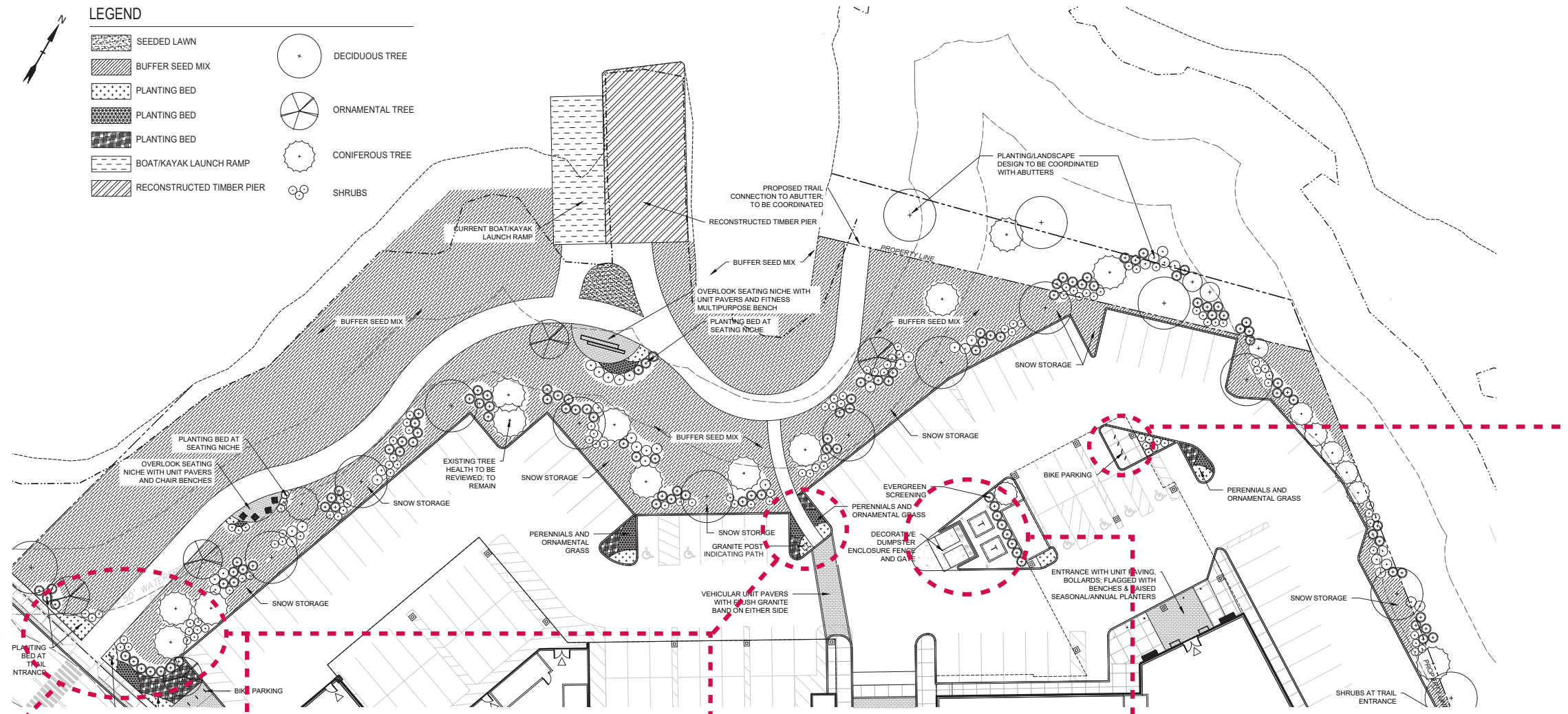
RAYNES AVE - PORTSMOUTH, NH
2/17/2021

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

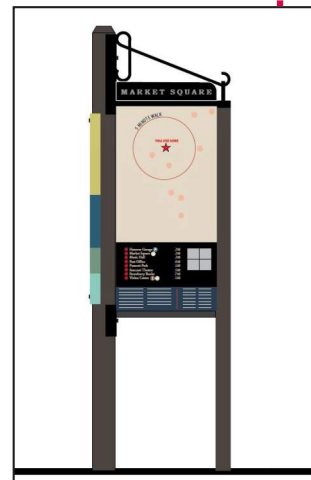
PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021

XSS HOTELS  **PROCON Tighe&Bond**
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PORTSMOUTH KIOSK 1



TRAIL ENTRANCE PLANTINGS



DUMPSTER ENCLOSURE



BIKE PARKING



RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY

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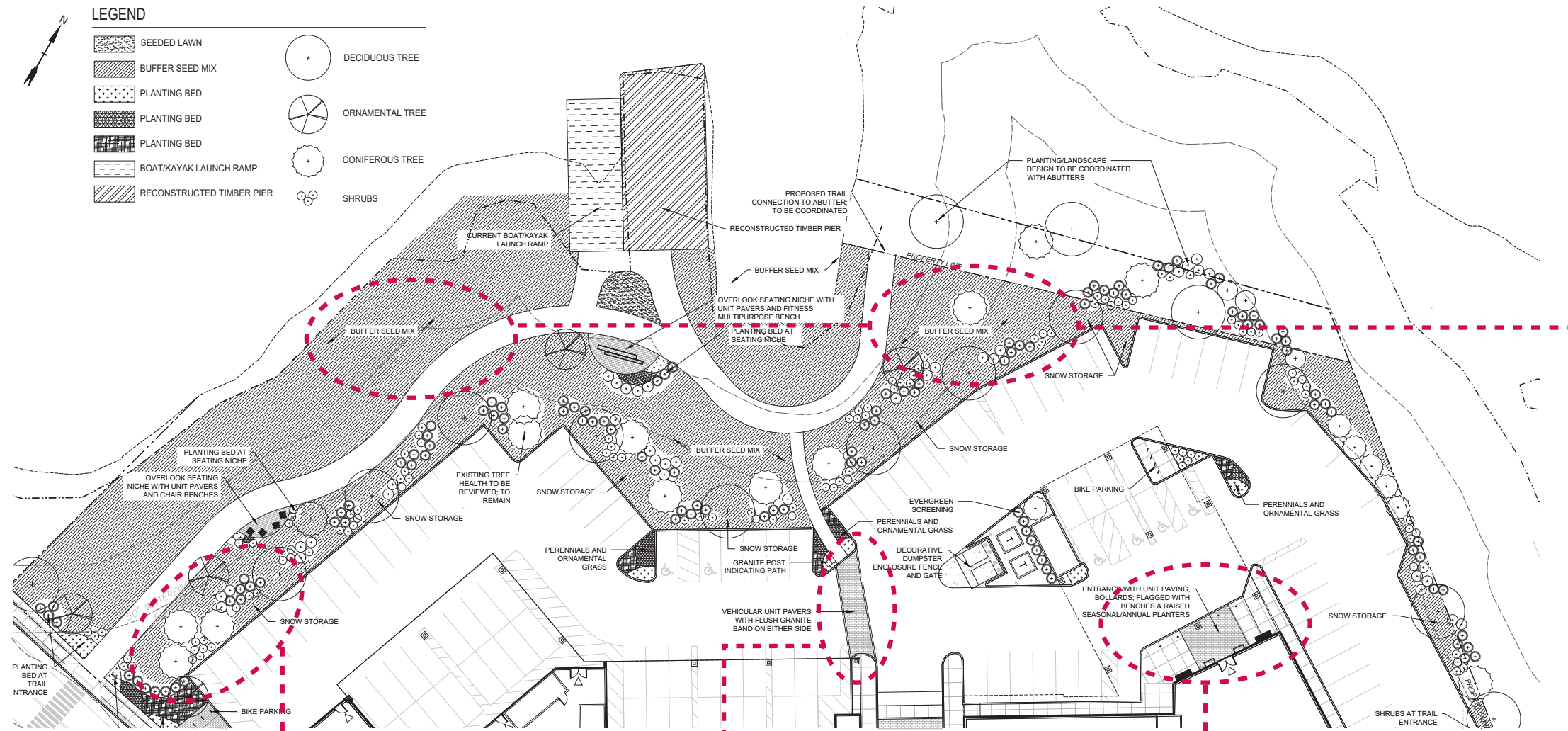
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021

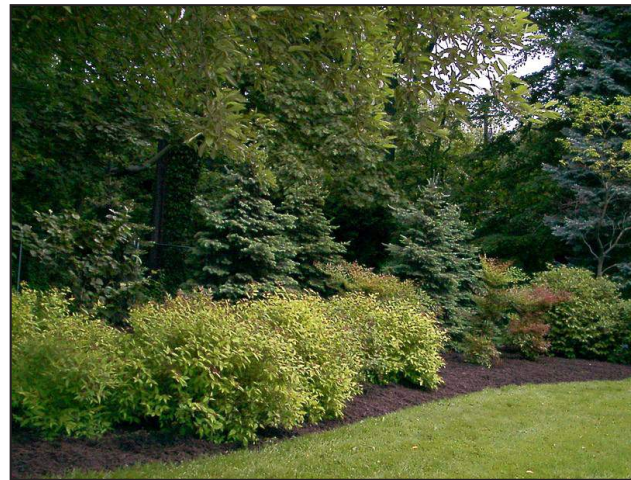


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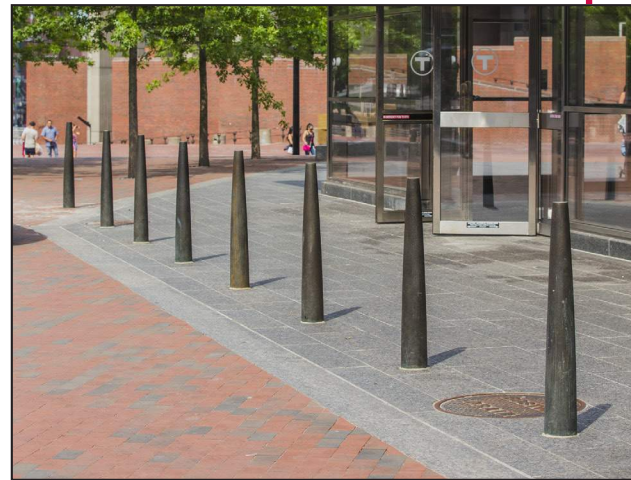
MIXED HEIGHT PARKING BUFFER



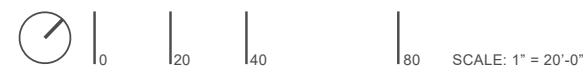
PEDESTRIAN CROSSING



HOTEL ENTRANCE



SEEDED BUFFER



RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY

Tighe&Bond

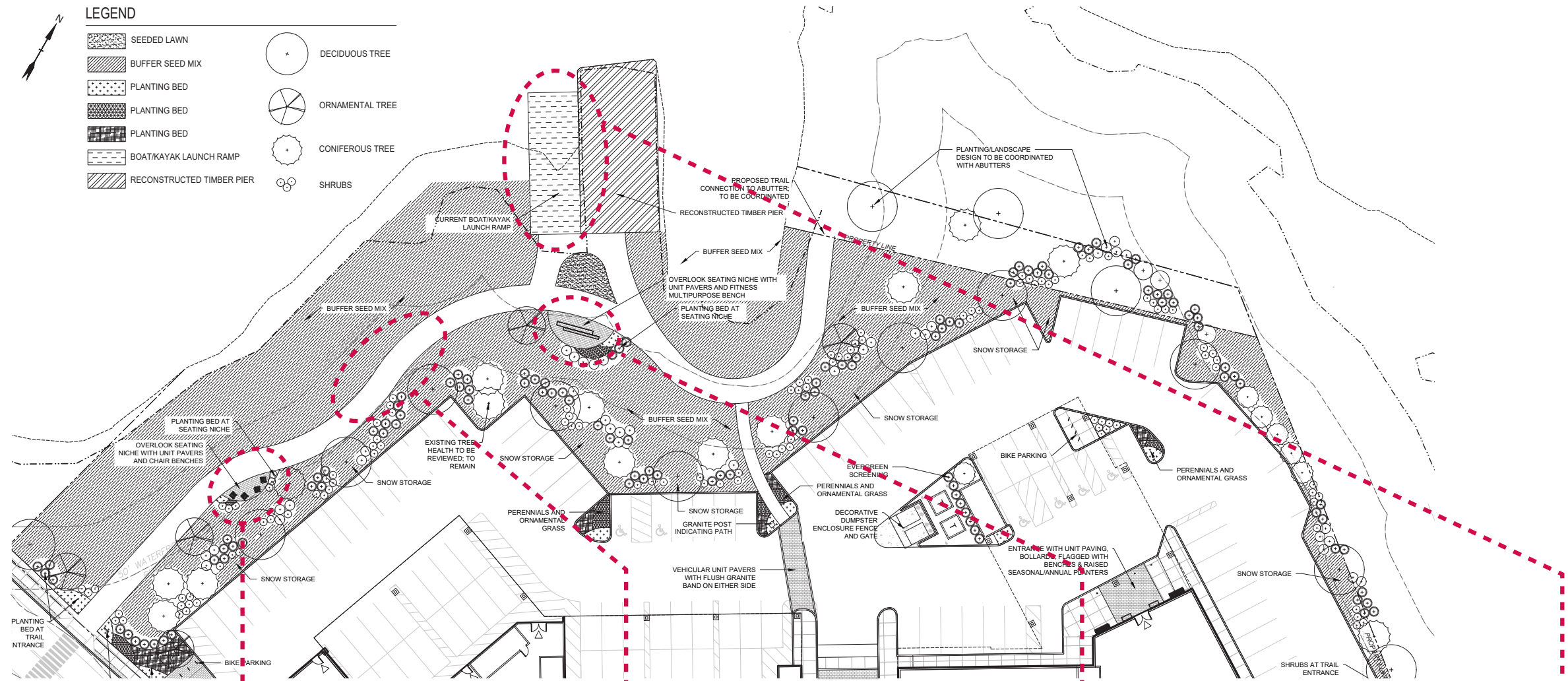
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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SEATING NICHE ONE



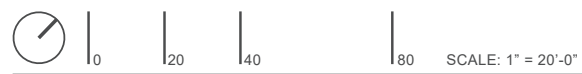
TRAIL



SEATING NICHE TWO



KAYAK BOAT LAUNCH



SCALE: 1" = 20'-0"

RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY

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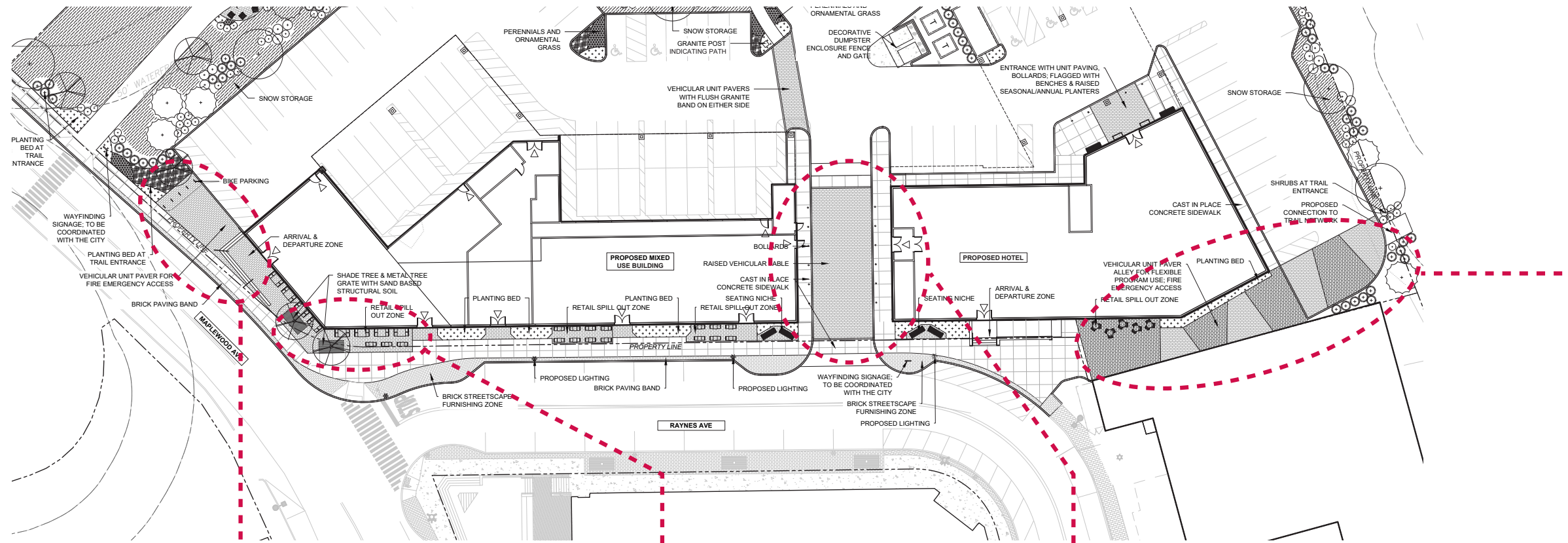
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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BRICK PAVING FIELD / CONCRETE SIDEWALK



RETAIL SPILL OUT AT CORNER



RAISED UNIT PAVER TABLE



ALTERNATING PAVING PATTERN



RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY

Tighe&Bond

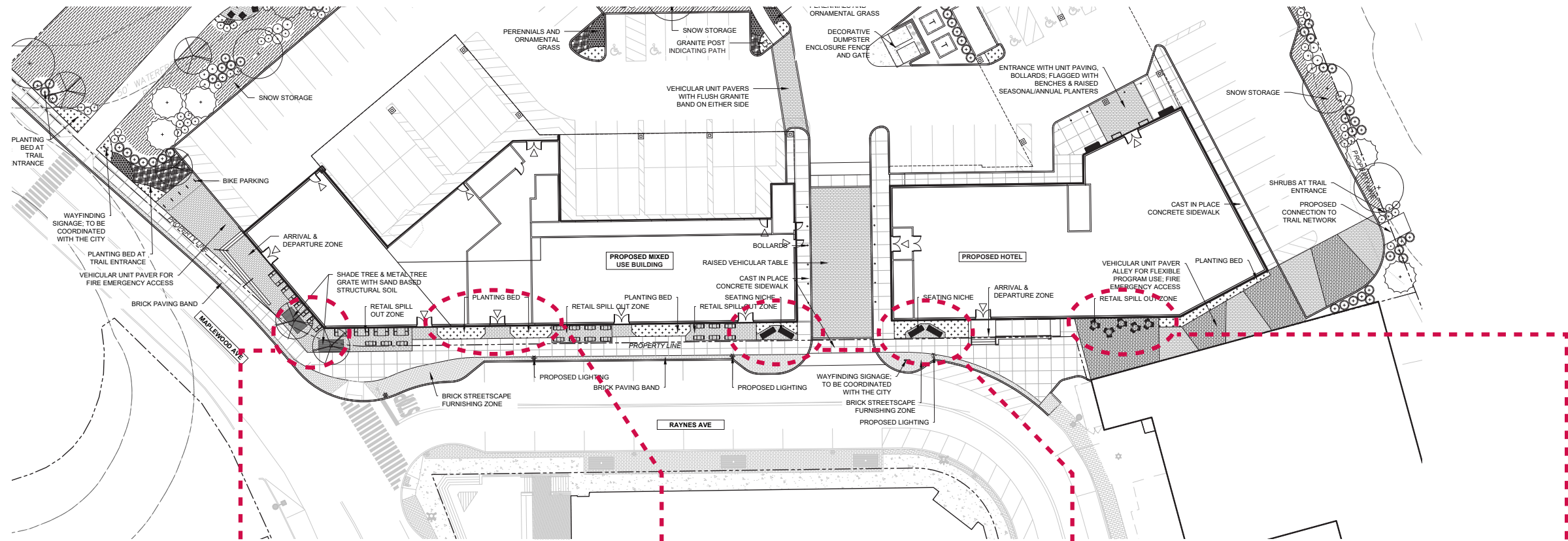
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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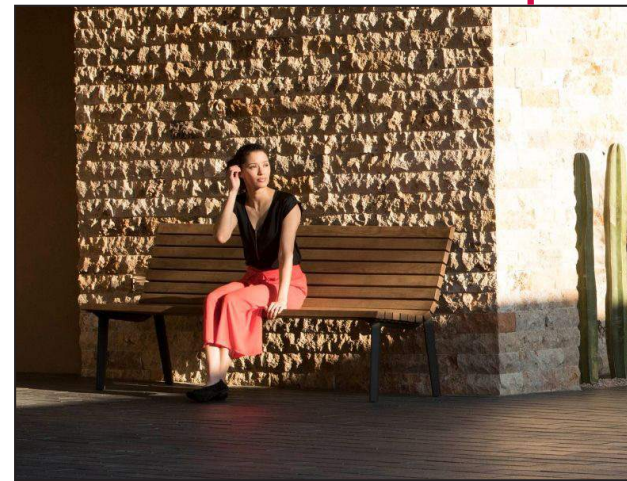
TREE GRATE



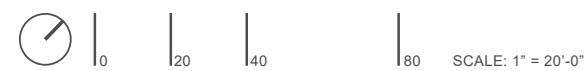
PLANTING BED AT LOBBY



SEATING NICHE



MOVABLE CAFE TABLES/CHAIRS



RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY

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RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



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Description: Shrubby vegetation in the tidal buffer at the northeast corner of 31 Raynes Avenue.



EXISTING SHORELINE BUFFER



PROPOSED SHORELINE BUFFER PRECEDENT