

**REGULAR MEETING  
PLANNING BOARD  
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS  
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details)\**

**7:00 PM PUBLIC HEARING**

**November 18, 2021**

**AGENDA**

**I. PRESENTATIONS**

- A. FY 2023-2028 Capital Improvement Plan Update
- B. Recommendation to the City Council regarding the proposed acquisition of the Community Campus

**II. APPROVAL OF MINUTES**

- A. Approval of the Planning Board minutes from the October 21, 2021 meeting.

**III. DETERMINATIONS OF COMPLETENESS**

**SUBDIVISION REVIEW**

- A. The request of **Gregory J. Morneault and Amanda B. Morneault, (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting Preliminary and Final Subdivision Approval.

**IV. PUBLIC HEARINGS – OLD BUSINESS**

*The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

- A. **REQUEST TO POSTPONE** The request of **Banfield Realty, LLC, (Owner)** for property located at **375 Banfield Road** requesting a Wetland Conditional Use Permit according to Section 10.1017 of the Zoning Ordinance for work related to the

construction of an industrial building that will require the removal of pavement in the 100' wetland buffer to create a vegetated area which will receive some of the stormwater runoff from the property. Said property is shown on Assessor Map 266, Lot 7 and lies within the Industrial (I) District. **REQUEST TO POSTPONE (LU-20-259)**

- B. REQUEST TO POSTPONE** The request of **Banfield Realty, LLC, (Owner)** for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. **REQUEST TO POSTPONE (LU-20-259)**
- C. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting a wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The (Applicant) is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**
- D. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**
- E. REQUEST TO POSTPONE** Request of **Elizabeth B Larsen Trust, (Owner)** for property located at **668 Middle Street** requesting Preliminary and Final Subdivision approval to subdivide 1 existing lot with 81,046 square feet of lot area, and 69.83 feet of street frontage into 3 lots as follows: Proposed Lot 1 with 18,646 square feet of lot area and no street frontage; Proposed Lot 2 with 18,756 square feet of lot area and no street frontage; Proposed Lot 3 with 43,644 square feet of lot area and 69.83 feet of street frontage. The existing buildings will remain and be on Proposed Lot 3. Said property is shown on Assessor Map 147 Lot 18 and lies within the General Residence A (GRA) and Historic Districts. (LU-21-23) **REQUEST TO POSTPONE**



- F. Request of Green & Company, (Applicant) and Philip J. Stokel and Stella B. Stokel, (Owners)** for property located at **83 Peverly Hill Road** to name the new 2,950-foot public road to serve the approved 56 single-family homes, public space, and associated utilities approved at the October 21, 2021 Planning Board meeting. Said property is shown on Assessor Map 242 Lot 4 and lies within the Single Residence A (SRA) and Single Residence B (SRB) Districts. Please note: this discussion item was postponed from the October Planning Board meeting. (LU-21-74)

**V. PUBLIC HEARINGS – NEW BUSINESS**

- A.** The request of **Gregory J. Morneault and Amanda B. Morneault, (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting Preliminary and Final Subdivision Approval to subdivide 1 existing lot with 18,134 square feet of lot area, 19 feet of lot depth, and 537 feet of street frontage into 2 lots as follows: Proposed Lot 1 with 7,500 square feet of lot area, 44 feet of lot depth, and 179 feet of street frontage; Proposed Lot 2 with 10,634 square feet of lot area, 25 feet of lot depth, and 357 feet of street frontage. The existing residence will remain and be on Proposed Lot 1 and a new home will be constructed on Proposed Lot 2. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. (LU-20-222)
- B.** The request of **Gregory J. Morneault and Amanda B. Morneault (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting a Wetland Conditional Use Permit under Section 10. 1017 of the Zoning Ordinance to impact 5,062 square feet of wetland buffer and 45 square feet of tidal wetland. The proposed new home and existing turnaround is partially within the 100' tidal buffer zone of the North Mill Pond. In addition to the new home the applicant is proposing to remove an existing gravel turnaround and install a new paved parking apron for City vehicles to turn around. This new turnaround and the City pump station are all within a new easement. In addition, there is a plan to upgrade the stormwater outfall to protect against erosion. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. (LU-20-222)
- C.** The request of **Omar R. Gordon Revocable Trust and Carrol L. Gordon Revocable Trust, (Owners)** **Michah Denner, (Applicant)** for property located at **797 Elwyn Road** requesting wetland Conditional Use Permit according to Section 10.1017 of the Zoning Ordinance for an in-kind septic replacement and a new addition at the rear of the house with 240 square feet of disturbance within 100' of jurisdictional wetland. Said property is shown on Assessor Map 225 Lot 2 and lies within the Single Residence A (SRA) District. (LU-21-93)

**VI. DESIGN REVIEW – PUBLIC HEARING**

- A.** The proposed project is the application of **Hill Hanover Group, LLC (Owner)** and **JPK Properties, LLC, (Owner and Applicant)** for the property located at **181 Hill Street**, for

the demolition of three existing buildings and the construction of one three story building containing 12 units with basement level parking accessed from Autumn Street. Said property is shown on Assessor Map 125 Lot 14 and lies within the Character District 4-L1 (CD4-L1) (LUPD-21-9).

## **VII. OTHER BUSINESS**

## **VIII. ADJOURNMENT**

*\*Members of the public also have the option to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_ji\\_bMHMLR\\_mBI\\_PDa3aETQ](https://us06web.zoom.us/webinar/register/WN_ji_bMHMLR_mBI_PDa3aETQ)



City of Portsmouth  
Planning Department  
1 Junkins Ave, 3<sup>rd</sup> Floor  
Portsmouth, NH  
(603)610-7216

**Memorandum**

To: Planning Board  
From: Peter Britz, Acting Planning Director  
Stefanie L. Casella, Planner  
Date: October 10, 2021  
Re: Recommendations for the November 18, 2021 Planning Board Meeting

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**I. PRESENTATIONS**

**A. FY 2023-2028 Capital Improvement Plan Update**

**I. PRESENTATIONS**

**B. Recommendation to the City Council regarding the proposed acquisition of the Community Campus**

Introduction

The Planning Board is asked to determine whether the proposed acquisition of the Community Campus property from the Foundation for Seacoast Health is appropriate considered in the context of the City's comprehensive planning.

Should the Board find that this proposed acquisition is in line with the City's comprehensive planning the board must make this recommendation to the City Council. A vote for this recommendation is required.

City Ordinance

- Article VI Section 11. 601: INTENT
  - o *The intent of this Article is to ensure that proposed municipal actions relating to land acquisition, disposition or use, and to the laying out, construction or discontinuance of public streets, are considered in the context of the City's comprehensive planning.*
- Article VI Section 11.602: REFERRAL AND REPORT
  - A. *The following matters shall be referred to the Planning Board in writing at least thirty (30) days before final action is taken:*
    - (1) *Any acquisition or disposition of municipal real property, including fee transfers, easements and licenses;*
    - (2) *Any plan for the construction, alteration, relocation, acceptance or discontinuance of a public way.*
  - B. *No final action on a matter listed herein shall be taken until either the Planning Board has reported to the City Council thereon in writing or sixty (60) days have elapsed since the referral without such report.*
  - C. *The failure to refer a matter listed herein to the Planning Board shall not affect the legal validity or force of any action related thereto if the Planning Board waives such referral.*

Relevant References in the City of Portsmouth Master Plan

Goal 1.1 : "Support the continued vitality of the Urban Core through public investment and land use regulations."

- o Actions listed under this goal include:
  - Support reinvestment in under-utilized buildings and land.
  - Enhance the quality and connectivity of pedestrian facilities.

- Promote the creation of open spaces, seating areas and other outdoor amenities.

Goal 1.4: “Improve access to indoor and outdoor recreation facilities throughout the City.”

- Actions listed under this goal include:
  - Enhance neighborhood parks, recreation facilities and playgrounds, and add new ones where appropriate.
  - Create additional outdoor recreational fields where possible.
  - Develop a consolidated recreation facility for residents of all ages and income levels.
  - Create new public spaces that can be used for both recreation and floodplain storage.

Goal 5.2: “Manage public open spaces for passive recreation and environmental preservation.”

- Identify and prioritize undeveloped land for acquisition and preservation.
- Pursue open space acquisitions that create wildlife corridors and ecological connections.

Relevant information from the City of Portsmouth Open Space Plan

The Open Space Plan specifically identifies the Community Campus parcel as an open space opportunity area. This parcel contains wetlands as part of the Pickering Brook and is considered a Tier 3 (supporting) habitat.

Staff Recommendation:

Vote to recommend the acquisition of the Community Campus to the City Council.

III. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

- A. The request of **Gregory J. Morneault and Amanda B. Morneault, (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting Preliminary and Final Subdivision Approval.

*Planning Department Recommendation*

*Vote to determine that the application is complete according to the Subdivision Rules and Regulations (contingent on the granting of any required waivers under Sections IV and VI of the agenda) and to accept the application for consideration.*

**IV. PUBLIC HEARINGS -- OLD BUSINESS**

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*Planning Department Recommendation*

Vote to postpone the public hearing on this request indefinitely until the applicant is ready to proceed. The project should be re-advertised and abutters re-noticed when the public hearing is scheduled.

**IV. PUBLIC HEARINGS -- OLD BUSINESS**

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*Planning Department Recommendation*

Vote to Postpone to the December 16, 2021 Planning Board Meeting.



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*Planning Department Recommendation*

Vote to postpone the public hearing on this request indefinitely until the applicant is ready to proceed. The project should be re-advertised and abutters re-noticed when the public hearing is scheduled.

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Project Description

The application of Green & Company, (Applicant) and Philip J. Stokel and Stella B. Stokel, (Owners) for the development of 56 single-family homes located at 83 Peverly Hill Road was approved at the October 21, 2021 Planning Board Meeting. Included in this approval was the construction of a new public road to service the approved homes. The proposed street has been accepted (see chapter 11 Article 3: Layout and Construction of Streets) and must now be named. City Ordinance Chapter 11, Article 5: Street Names and Numbers is provided below.

City Ordinance, Chapter 11

ARTICLE V: STREET NAMES AND NUMBERS

Section 11.501: STREET NAMES

- A. The naming of all public streets and rights of way which are to receive or have received legal status by acceptance shall be subject to approval by the Planning Board and all existing public street and right of way now of legal status and as such are shown upon the tax maps, may be renamed by the Planning Board as it determines necessary for the welfare or convenience of the public. Such renaming may be considered upon the motion of the Planning Board or upon petition by the owners or occupants of such land as may be located upon said public streets and rights of way and such determination shall be made by the Planning Board after due public hearing of the matter.
- B. No existing or proposed street name shall duplicate the name or names of other proposed or existing streets irrespective of the use of the suffix, "Street", "Avenue", "Boulevard", "Drive", "Place", "Way", "Court", or the like. The extension of an existing street shall have the same name as the existing street.

At the applicants request, Sage Lane has been proposed as the first choice for this street name and Bramble Lane as the second. Please note the applicant's original application materials indicated the proposed name for this street was Bayberry Path. After considering that Portsmouth has a similar Barberry Lane, the applicant withdrew that request.

Both Sage Lane and Bramble Lane have been reviewed by GIS Manager James McCarty and there are no existing naming conflicts. Staff have reached out to Newington, NH Town Administrator Martha Roy to inquire with any potential conflicts within the Town of Newington and the Town of Newington has found no conflicts with the proposed street names.

Upon approval, Staff will forward recommendation to the Portsmouth City Council for formal name acceptance.

Staff Recommendation:

Vote to recommend to name the new public street, located at 83 Peverly Hill Road as approved in Land Use Application LU-21-74 on October 21, 2021, Sage Lane.

V. PUBLIC HEARINGS – NEW BUSINESS

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that issue should be raised at this point or it will be deemed waived.*

***It is recommended that Item VA and VB be discussed together and voted on separately.***

***A motion is required to consider these items together.***

- A. The request of **Gregory J. Morneault and Amanda B. Morneault, (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting Preliminary and Final Subdivision Approval to subdivide 1 existing lot with 18,134 square feet of lot area, 19 feet of lot depth, and 537 feet of street frontage into 2 lots as follows: Proposed Lot 1 with 7,500 square feet of lot area, 44 feet of lot depth, and 179 feet of street frontage; Proposed Lot 2 with 10,634 square feet of lot area, 25 feet of lot depth, and 357 feet of street frontage. The existing residence will remain and be on Proposed Lot 1 and a new home will be constructed on Proposed Lot 2. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. (LU-20-222)
- B. The request of **Gregory J. Morneault and Amanda B. Morneault (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting a Wetland Conditional Use Permit under Section 10. 1017 of the Zoning Ordinance to impact 5,062 square feet of wetland buffer and 45 square feet of tidal wetland. The proposed new home and existing turnaround is partially within the 100' tidal buffer zone of the North Mill Pond. In addition to the new home the applicant is proposing to remove an existing gravel turnaround and install a new paved parking apron for City vehicles to turn around. This new turnaround and the City pump station are all within a new easement. In addition, there is a plan to upgrade the stormwater outfall to protect against erosion. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. (LU-20-222)

Description

This application has been before the Zoning Board of Adjustment and the Technical Advisory Committee. The findings are below.

Zoning Board of Adjustment

At the Zoning Board of Adjustment meeting on **Tuesday, February 16, 2021**, the following variance was granted by the Zoning Board of Adjustment as presented:

- 1) Variances from Section 10.521 to allow:
  - a) a lot depth of 44.7 feet for Lot 1 and 25.4 feet for Lot 2 where 70 feet is required for each;
  - b) a 3 foot front yard where 15 feet is required; and
  - c) a 6.5 foot rear yard where 20 feet is required.

#### Technical Advisory Committee Meeting

As a result of said consideration at the meeting on **Tuesday, September 7, 2021**, the Committee voted to recommend approval to the Planning Board with the following stipulations:

- 1) Additional room is added in the turnaround area to prevent backing into the street
- 2) A stonewall (or an appropriate substitute approved by the HDC) be added to the left of the proposed driveway area to screen the garage doors from Northwest Street.

#### Conservation Commission

This item was heard at the Conservation Commission meeting on **Wednesday November 10, 2021**. According to *Article 10 Section 10.1017.50* the applicant must satisfy the following conditions for approval of this project:

1. *The land is reasonably suited to the use activity or alteration.* The project to remove a large gravel area from the buffer and create a paved turnaround will result in a net reduction in impervious surface and a more efficient use of tidal buffer space to service a municipal pump station. The repair of the outfall pipe is similarly appropriate work within the buffer as it is necessary to prevent impacts to the North Mill Pond. The creation of a single family home lot was done with a portion of the house in the wetland buffer. The applicant has reduced the size of the home to create a smaller impact in the buffer. It should be noted that a significant amount of the impervious surface in the buffer is from the proposed turn around for City vehicles to access the pump station and for other vehicles to turn around on this street.
2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.* The proposal is to construct a new single family home. The applicant has stated that they cannot build a house of a realistic size outside of the buffer.
3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.* The pump station and gravel turnaround area are existing impacts in the tidal buffer zone. The removal of the gravel turnaround will be a net improvement to this site. If the proposed turnaround is designed in such a way as to infiltrate stormwater with porous pavers or other technique this will reduce any new impervious surface running directly into a catch basin at the new turn around. Additionally, the house or more of the house could be moved outside of the buffer zone to reduce impervious surface in the buffer. The applicant has

changed the landscape plan where 2,310 square feet of proposed lawn has been converted to wetland buffer vegetation.

4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.* There is vegetation in the area proposed for the new home which will be removed according to the plan and the applicant has proposed new buffer plantings.
5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.* The applicant has made efforts to reduce the impact by reducing the size of the house and installing buffer plantings.
6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.* The plan shows a new area of wetland buffer plantings of 2,310 square feet which will provide enhancement to the buffer over the existing gravel turn around and previously proposed lawn area.

A motion was made to approve the request for conditional use with the following stipulations:

- 1) City to use porous pavement or pavers in City Turnaround area
- 2) Shrubs to be kept sufficiently clear of turn around to allow so they are not impacted by snow.

The Commission's vote to approve failed 1-5. Therefore, the Conservation Commission does not recommend approval of this application. The Conservation Commission expressed support for the work that was done by the applicant to reduce the building footprint in the buffer and for installing an enhanced landscape buffer. In addition they supported using pervious pavement or pavers for the proposed turn around. While the applicant reduced the footprint of the home in the buffer from an earlier review by the Commission, they were not satisfied that the footprint was reduced sufficiently to support approval of a wetland Conditional Use Permit.

<u>Staff Recommendation:</u>
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| 1) Vote to grant Preliminary and Final Subdivision Approval with the following stipulations: |
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|---|
| <ol style="list-style-type: none"><li>a. Additional room is added in the turnaround area to prevent backing into the street</li><li>b. A stonewall (or an appropriate substitute approved by the HDC) be added to the left of the proposed driveway area to screen the garage doors from Northwest Street</li></ol> |
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| 2) Staff believe the applicant has provided significant reductions in the buffer but recommends that the applicant work to provide additional modifications to the plan to further reduce impacts in the buffer. |
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V. PUBLIC HEARINGS – NEW BUSINESS

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that issue should be raised at this point or it will be deemed waived.*

- C. The request of **Omar R. Gordon Revocable Trust and Carrol L. Gordon Revocable Trust, (Owners) Michah Denner, (Applicant)** for property located at **797 Elwyn Road** requesting wetland Conditional Use Permit according to Section 10.1017 of the Zoning Ordinance for an in-kind septic replacement and a new addition at the rear of the house with 240 square feet of disturbance within 100' of jurisdictional wetland. Said property is shown on Assessor Map 225 Lot 2 and lies within the Single Residence A (SRA) District. (LU-21-93)

Project Description

The applicant is requesting a conditional use permit for an in-kind septic replacement with a new addition to the rear of the existing house within 100' of a wetland drainage swale.

Conservations Commission

The Conservation Commission considered this application at the Wednesday September 8, 2021 meeting. According to Article 10 Section 10.1017.50 the applicant must satisfy the following conditions for approval of this project:

1. The land is reasonably suited to the use activity or alteration. *The replacement septic system is an in-kind replacement in the same location as the existing septic system. This is the location of the existing septic system which has become out of date and needs replacement.*
2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration. *The applicant explored options to locate the septic system outside of the 100' wetland buffer but the possible locations were constrained by ledge outcrops and stormwater impacts. Therefore this is the only reasonable location for the septic system replacement.*
3. There will be no adverse impact on the wetland functional values of the site or surrounding properties. *Given that the location proposed for the septic system is where the current system exists today and they are able to replace this system with a similar size system there should not be impacts to the wetlands. The small addition at the rear of the house will create a new area of impervious surface in the buffer but there is a good deal of separation to the wetland system in the rear. It is not clear if the runoff from the roof is being captured but an infiltration trench or dry well to infiltrate the stormwater would reduce any possible impacts.*

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals. *The project is proposed where there is currently lawn. There is no change proposed to any area that is not existing lawn. This project could benefit from buffer plantings to replace lawn adjacent to the wetland.*
5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section. *The applicant has proposed an in-kind septic replacement in the most appropriate location. The alternative of leaving the existing, out of date, septic system could cause greater impacts than the proposed system. The impact of the addition can be reduced with infiltration of stormwater from the proposed addition and from new buffer plantings.*
6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible. *The plan does not propose any new vegetation in the buffer. While the new addition is being proposed in an area of lawn and the proposed septic also is in an existing lawn area. Given that the rear yard appears to be lawn all the way to the edge of wetlands it would be a benefit to the wetland functions and values to include more plantings in the wetland buffer such as shrubs and/or trees or even some low growing vegetation that is not regularly mowed.*

As a result of said consideration the Commission voted unanimously to recommend approval of the Wetland Conditional Use Permit to the Planning Board with the following stipulations.

1. Erosion control measures be put in place during installation of the septic and construction of the addition.
2. A drip edge along the foundation or other infiltration practice for stormwater be included in the plan to capture the roof runoff from the new addition.
3. That the applicant install a planting bed of native plants at least 300 square feet in size in the wetland buffer adjacent to the wetland edge.
4. While it is outside of the 100' buffer the Commission requests that the area under the deck be a porous material such as crushed stone or other material to infiltrate stormwater.
5. That the applicant consider following NOFA standards for yard maintenance.

Staff Recommendation:

Vote to approve Wetland Conditional Use permit with the following stipulations:



1. Erosion control measures be put in place during installation of the septic and construction of the addition.
2. A drip edge along the foundation or other infiltration practice for stormwater be included in the plan to capture the roof runoff from the new addition.
3. That the applicant install a planting bed of native plants at least 300 square feet in size in the wetland buffer adjacent to the wetland edge.
4. While it is outside of the 100' buffer the Commission requests that the area under the deck be a porous material such as crushed stone or other material to infiltrate stormwater.
5. That the applicant consider following NOFA standards for yard maintenance.

VI. DESIGN REVIEW – PUBLIC HEARING

- A. The proposed project is the application of **Hill Hanover Group, LLC (Owner)** and **JPK Properties, LLC, (Owner and Applicant)** for the property located at **181 Hill Street**, for the demolition of three existing buildings and the construction of one three story building containing 12 units with basement level parking accessed from Autumn Street. Said property is shown on Assessor Map 125 Lot 14 and lies within the Character District 4-L1 (CD4-L1) (LUPD-21-9).

Description

This application was accepted at the October 21, 2021 Planning Board meeting. The purpose of this Design review process is outlined below in Article 2, Section 2.4.3 of the Site Plan Review Regulations. When the board has completed the Design Review process, an action must be taken to close the Design Review. Please note that should this project be approved by the Planning Board, 181 Hill Street will most likely not be the assigned address. The City will likely choose an address based on the existing 317-339 Hanover Street numbers or select an even number for a Hill Street address.

*Site Plan Review Regulations*

*Article 2, Section 2.4.3: Design Review Phase*

- 1. The applicant may request to meet with the Board for nonbinding discussions of a potential application that involve more specific design and engineering details than in the preliminary conceptual consultation phase.*
- 2. A request for design review accompanied by all plans and exhibits shall be submitted to the Planning Department at least 14 days prior to the date of a scheduled meeting of the Board via the City's online permitting system as well as in hard copy. The total number of hard copies required shall be determined by the Planning Director.*
- 3. The request for design review shall include enough of the information listed in Section 2.5.3(1) and plans displaying enough of the information listed in Section 2.5.4(3) so that the Board is able to review the project. Detailed engineering of infrastructure and utilities are not required at the design review phase, but the information listed in Section 2.5.4(3) should be displayed in sufficient detail to enable the Board to understand the proposed project and identify potential issues and concerns.*
- 4. At a regular meeting of the Planning Board, the Board shall determine if the request for design review includes sufficient information to allow the Board Site Plan Review Regulations 6 November 2020 to understand the project and identify*

*potential issues and concerns, and shall vote on whether to accept the request for design review and to schedule a public hearing. If the Board determines that the request does not describe the proposed project in sufficient detail, it shall notify the applicant of the specific deficiencies that need to be addressed.*

*5. Design review discussions shall take place in a public hearing at a regularly scheduled meeting of the Planning Board, after notice to abutters, holders of conservation, preservation, or agricultural preservation restrictions, and the general public as required by State statute.*

*6. At any public meeting of the Planning Board, the Board may determine that the design review process of an application has ended and shall inform the applicant in writing within 10 days of such determination.*

Staff Recommendation:

Vote to find that the Design Review process is complete.

**VIII. OTHER BUSINESS**

**IX. ADJOURNMENT**

**REGULAR MEETING  
PLANNING BOARD  
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS  
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

**7:00 PM**

**October 21, 2021**

**MINUTES**

**MEMBERS PRESENT:** Peter Britz, Interim Planning Director; Dexter Legg, Chair; Peter Whelan, City Councilor; Karen Conard, City Manager; Ray Pezzullo, Assistant City Engineer; Colby Gamester; Corey Clark; Peter Harris; Rick Chellman; Stefanie Casella, Planner 1

**ALSO PRESENT:**

**MEMBERS ABSENT:** Elizabeth Moreau, Vice Chair; Polly Henkel, Alternate  
.....

**I. APPROVAL OF MINUTES**

**A.** Approval of the Planning Board minutes from the September 16, 2021 meeting.

Mr. Chellman moved to approve the Planning Board minutes from the September 16, 2021, meeting, seconded by Mr. Gamester. The motion passed unanimously.

**II. DETERMINATIONS OF COMPLETENESS**

**SUBDIVISION AMENDMENT REVIEW**

**A.** The request of **Frederick W. Watson Revocable Trust (Owner)**, for property located at **1 Clark Drive** requesting for Subdivision Amendment approval.

Mr. Pezzullo moved to determine that the application is **complete** according to the Subdivision Review Regulations, and to accept the application for consideration, seconded by City Manager Conard. The motion passed unanimously.

**B. REQUEST TO POSTPONE** The request of **Elizabeth B Larsen Trust (Owner)**, for property located at **668 Middle Street** for Preliminary and Final Subdivision approval. **REQUEST TO POSTPONE**

Chairman Legg noted that this application would be postponed later in the agenda.

## **SITE PLAN REVIEW**

- A. Request of Green & Company (Applicant), and Philip J. Stokel and Stella B. Stokel (Owners)** for property located at **83 Peverly Hill Road** for Site Plan Review approval.

Mr. Pezzullo moved to determine that the application is **complete** according to the Site Plan Review Regulations, and to accept the application for consideration, seconded by Mr. Clark. The motion passed unanimously.

- B. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc. (Owner)** and **Green & Company Building & Development Corp. (Applicant)** for property located at **3400 Lafayette Rd** for Site Plan Review approval. **REQUEST TO POSTPONE**

Chairman Legg noted that this application would be postponed later in the agenda

## **III. PUBLIC HEARINGS – OLD BUSINESS**

*The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

- A. REQUEST TO POSTPONE** The request of **Banfield Realty, LLC, Owner**, for property located at **375 Banfield Road** requesting a Wetland Conditional Use Permit according to Section 10.1017 of the Zoning Ordinance for work related to the construction of an industrial building that will require the removal of pavement in the 100' wetland buffer to create a vegetated area which will receive some of the stormwater runoff from the property. Said property is shown on Assessor Map 266, Lot 7 and lies within the Industrial (I) District. **REQUEST TO POSTPONE** (LU-20-259)

## **DISCUSSION AND DECISION OF THE BOARD**

Mr. Pezzullo moved to **postpone** to the November Planning Board meeting, seconded by Mr. Gamester. The motion passed unanimously.

- B. REQUEST TO POSTPONE** The request of **Banfield Realty, LLC, Owner**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. **REQUEST TO POSTPONE** (LU-20-259)

## **DISCUSSION AND DECISION OF THE BOARD**

Mr. Pezzullo moved to **postpone** to the November Planning Board meeting, seconded by Mr. Gamester. The motion passed unanimously.

- C. Request of Green & Company (Applicant), and Philip J. Stokel and Stella B. Stokel (Owners),** for property located at **83 Peverly Hill Road** requesting Conditional Use Permit approval for an Open Space Planned Unit Development according to the requirements of Section 10.725 of the Zoning Ordinance and Site Plan Review approval for the construction of 56 single-family homes and a new 2,950-foot public road with related utilities, landscaping, drainage and associated site improvements. Said property is shown on Assessor Map 242 Lot 4 and lie within the Single Residence A (SRA) and Single Residence B (SRB) Districts. (LU-21-74)

## **SPEAKING TO THE APPLICATION**

Corey Colwell from TF Moran and Attorney John Bosen spoke to the application. Mr. Colwell commented that the application was for a 56-unit PUD on a 110-acre parcel on Peverly Hill Rd. They met with the Planning Board in August to discuss the previous Planning Board action taken in 2015. The Board voted to waive the 500-foot cul-de-sac regulations. The waiver would run with this property and be effective for any subdivision plan within 10 years. The conceptual drawing presented in September of last year showed 60 units and similar loop road with an additional 1,000 feet of road. The Board did not like the extra road and felt the homes on it were disconnected from the rest of the development. The design has been altered. The proposal will keep over 2/3 of the property in its natural state. There will be a public park and access to trails from the development. There will be 56 single family homes on a new public road. The new road from Peverly Hill Road to the loop will be 26 feet wide. The loop will be 22 feet wide except where the hydrants are located; it will be 26 feet there. There will be a 5.5-foot-wide concrete sidewalk on north the side of the road. There is a crosswalk at the intersection. The utilities will be in the right of way. The road will have a vertical curb, catch basins and bio retention areas in the middle part of the loop. That will hold and treat storm water generated from the first half of the road. The back half will drain into gravel wetlands located to the west. There will be an infiltration basin in the middle of the loop to capture and infiltrate into the ground. The plan complies with AOT and city regulations. The traffic study was done by Steve Pernaw and peer reviewed by TEC. They have addressed all concerns from TEC. This development will increase 2-way traffic by 2% heading north and 1% heading south by 2032. All traffic will operate well below capacity in the intersections with the neighborhood fully occupied. A lot of thought was put into landscaping the neighborhood. 83% will be open space and the remaining 17% will be landscaped. They will impact as little vegetation as possible with no buffer impacts. There will be a natural wooded look and the houses were placed as close to the road as allowed. The backyards will be landscaped. There will not be any buffer or wetland impacts. The landscape plan includes mostly native species, and the remaining plants were selected for their hardiness. There will be smaller understory trees to attract wildlife. The shrubs

chosen will produce a layering effect. The mix of plants will provide massing and screening between the homes. There will be 1,200 shrubs/trees overall and 21 per unit. There will be a pocket park at the intersection of the stem and the loop of the road. It will be 9,100 sf in and have a game court, tables, grills, landscaping and a bike/ped path. This park is intended to be for homeowners only. The pedestrian path will go through the middle of the loop to a crosswalk at the far point of loop. There will be a second pocket park that will be for the homeowners and the public. There will be a bike rack, water filling station, benches, and landscaping. There is a bike/ped path proposed at the southern end of the park out to the Boston Main Rail Trail. The length of the gravel path from the park to the rail trail will be 1,400 feet. There will be bike symbols painted on the road to direct people to the park. There will be 4 public parking spaces. There will also be a multi-use path on the west side of Peverly Hill Rd. This path will run to Middle Rd. and tie into the sidewalk. A painted crosswalk and signal will also be installed. They will donate a conservation easement to the city for all the property that is not being developed. The proposed conservation easement is 77 acres, and it adjoins land already in conservation. This site is appropriate for a PUD. The lot is 106 acres in size and almost entirely vegetated with one existing single-family home. The majority of the surrounding property is conservation land. There is 60 acres of upland and 45 acres of wetland on the property. A PUD allows for clustering the units and no impacts to the wetland. A PUD reduces the amount of impervious surface and tree clearing that would be required in a traditional subdivision. A conventional subdivision would take up most of the property, generate more storm water, and require a longer 32-foot-wide road. A PUD would reduce the road length and width. A conventional subdivision would require a minimum lot size of 1 acre and each home would be owned in fee by individual homeowners. The layout would impact all of the upland and require them to cross the wetland. The PUD impacts 30% of the property and allows for 70% to go in a conservation easement. A PUD will generate less traffic than the conventional subdivision. According to the ITE single family detached units have the highest trip generation rate. Condo units generate fewer trips than single family homes because they are smaller in floor plans and family size. The difference in market value PUD and a conventional subdivision are negligible. A PUD is far less detrimental to the environment. It reduces roadway and impervious area. There will be less tree clearing. Storm water runoff will be reduced. It will allow for a conservation easement. They will in a condo form of ownership, so the property will be easier to police.

Mr. Clark clarified that a resident on Middle Rd. can come up Peverly Hill Rd. and access the whole site to get to the rail trail. Mr. Colwell confirmed that was correct. Mr. Clark questioned if the language of the conservation easement included that it be open to the public. Mr. Bosen responded that the easement runs in favor of the city to preserve open space. At the present time there is no access to the public but they would be happy to make a recommendation along that line if the Board wishes. Mr. Clark commented that the southeast parcel is currently posted. It's preserved, but no one can use it. It would be good if the land could be open to the public.

Mr. Clark questioned who would maintain the properties at the condos. Mr. Bosen responded that the condo association will do the maintenance. Mr. Clark commented that the NOFA standards were not called out in the maintenance manual in the drainage analysis. Mr. Bosen responded that it was in the condo documents, but it can be added there too.



Chairman Legg commented that when this first came before the Board as a preliminary design it was a bit of an overreach. After taking feedback from the city and Boards, this is a much better project. That is appreciated. Chairman Legg questioned if there was any wayfinding signage to get the public through bike path to the second pocket park and rail trail. Mr. Colwell responded that there would be bike symbols painted on the road to lead people to the park and rail trail.

Chairman Legg questioned if the path in the center was for the public. Mr. Colwell responded that it was not. The intent was for the residents to have use of the path and for the public to use the road. Chairman Legg commented that the Board should consider a stipulation for putting in a wayfinding sign at the entrance to the second public park, the pedestrian trail, and the parking spaces to be clear about the public access. It is a challenge to make sure the public feels welcome. They need to make sure that happens and that the condo owners understand the public has access to those areas. Mr. Colwell confirmed that was a good suggestion.

City Council Representative Whelan commented that he appreciated that the applicants were not building in the 100-foot buffer zone. It's a good project and 77 acres donated to the city means a lot.

Mr. Chellman questioned if they used the overall calculation method for the density calculations. Mr. Colwell confirmed they calculated the total area and subtracted the wetland to derive it. The total number of units allowed is 74 and the project is proposing 56 units. Mr. Chellman questioned where the public parking was located. Mr. Colwell responded that there would be 4 spaces next to the second pocket park. One would be handicap. Mr. Chellman questioned if the street would be signed no parking. Mr. Colwell responded that it would have vertical granite curbs and sidewalks to deter parking, but there would not be any signage. If it becomes a problem, then they can add signage later. Mr. Chellman questioned how the contribution amount was determined. Mr. Colwell responded that it was determined by DPW. They will be building a temporary multi use path from this project to Middle Rd. and giving an easement to the city for the path. They will also be contributing \$100k toward the construction of the path. Mr. Chellman questioned if the salt restriction in the plan was for all salts. Mr. Colwell responded that was the result of the Conservation Commission meeting and would apply to walkways and driveways. It's a city street and the city will be salting it. The road is beyond the 100-foot buffer. Mr. Britz clarified that it was a restriction on sodium chloride.

Mr. Gamester commented requested more details on the neglected burial ground next to the second pocket park. Mr. Colwell responded that they were told by the previous owners that all of the bodies had been removed however no one has gone through the state process to deem it non burial grounds. They are treating it as sacred ground just in case.

## **PUBLIC HEARING**

Paul Mano of 1490 Islington St. spoke in favor of the project. Green and Company has done wonderful work for the city.

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

## **DISCUSSION AND DECISION OF THE BOARD**

Mr. Clark moved that the application for the proposed OSPUD would not be more detrimental than a conventional Subdivision, seconded by Mr. Gamester by finding that:

- 1.1) The Site is appropriate for an OSPUD, and;
- 1.2) The anticipated impacts of the proposed OSPUD on traffic, market values, stormwater runoff or environmental factors would not be more detrimental to the surrounding area than the impacts of conventional residential development of the site.

The motion passed unanimously.

Mr. Clark moved to grant waivers to the Subdivision Regulations Residential Streets Standards (Appendix to the Subdivision Regulations) and Minimum Right of Way requirements (Section VI(3)(b)) by finding that specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations, seconded by Mr. Gamester.

Mr. Clark noted that they were trying to match the spirit and intent of the regulations and by granting the waiver they would be able to. Chairman Legg added that the size of the residential streets had input from the city as it was developed. The intent was to minimize the impervious surface on the property. Mr. Chellman noted that a common concern in subdivisions is speeding. The narrow road will help prevent that.

The motion passed unanimously.

Mr. Clark moved to find that the requested waiver to the Site Plan Review regulations will not have the effect of nullifying the spirit and intent of the City's Master Plan or the Site Plan Review Regulations, seconded by Mr. Gamester and to waive the following requirement:

- Requirement of Section 2.5.4.3(c) requiring use of AASHTO truck turning templates.

The motion passed unanimously.

Mr. Clark moved to grant the conditional use permit and site plan review approval, seconded by Mr. Gamester with the following stipulations:

Conditions Precedent (to be completed prior to the issuance of a building permit):

- 4.1) The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City;

4.2) The applicant shall enter into a development agreement with the City per the requirements of the Zoning Ordinance and subject to review and approval by the Planning and Legal Departments.

4.3) It is understood the homeowners and/or homeowners association will own all stormwater facilities, drainage pipes and outfalls outside the roadway easement/ROW. This will include all activities associated with ownership and maintenance of the stormwater facilities and pipelines. For this reason, easements will be required in order for the City to have drainage and flowage rights for any stormwater draining from the public road into the private facilities or across private property.

4.4) All easements to benefit the City shall be reviewed and approved by the DPW, Planning and Legal Departments prior to final acceptance by the City Council. Metes and bounds describing the easement area shall be required.

4.5) Applicant shall provide an easement to benefit the City to have drainage and flowage rights for any stormwater draining from the public road into the private facilities or across private property.

4.6) A Construction Mitigation and Management Plan shall be required for this project, to include a proposed approach to progress of constructions in the areas with significant fill.

4.7) Plans indicated a significant amount of the construction for new utilities and roadway will be in areas to be filled. The approach to construction will be important for the stability of the proposed utilities and longevity of the roadway. Applicant shall provide means and methods in the construction specifications for the construction of roadways and utilities and specific areas that need to be filled to the satisfaction of DPW and City selected 3rd party reviewer at the cost of the applicant.

4.8) The City will require a full set of construction plans and specifications for site improvements and utilities prior to construction. This will be reviewed by a third party at the cost of the applicant.

4.9) The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and on site;

4.10) The applicant shall provide an easement along the frontage on Peverly Hill Road for construction of the shared use path. The easement must be donated to the City of Portsmouth for the shared use path per Federal Requirements. The City will provide the appropriate documentation for the applicant's use. The applicant shall provide a contribution for future construction of the section from the new roadway to the south of property line in the amount of \$100,000.

4.11) Prior to construction, applicant will coordinate with DPW to ensure no interference between drainage pipes and main water pipes

4.12) The conservation easement for the conservation land being provided will include a provision to allow public access to the property.

4.13) NOFA Standards will be added to the stormwater maintenance manual for maintenance of the vegetation in the stormwater system

4.14) Way finding signs will be placed at entrance to the public Right of Way and trail with clear documentation in the HOA materials supporting public access to the public recreation spaces.

4.15) Applicant will coordinate with the City DPW to construct multi-use path on Peverly Hill Road

4.16) The use of Sodium Chloride will be restricted on private walkways and driveways.

Conditions Subsequent:

4.17) The applicant shall install signage/markers indicating the location of the wetland buffer boundary;

4.18) The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;

4.19) A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.

4.20) All permits shall be obtained per State and Local regulations.

Mr. Clark commented that they worked really hard to make a great project that follows the intent of the regulations. It will be good to see how it all comes together.

The motion passed unanimously.

Mr. Clark moved to postpone discussions on street name recommendation to the November 18, 2021, Planning Board meeting, seconded by Mr. Gamester. The motion passed unanimously.

**D. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc. (Owner)**, and **Green & Company Building & Development Corp., (Applicant)**, for property located at **3400 Lafayette Rd** requesting a wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The applicant is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**

## **DISCUSSION AND DECISION OF THE BOARD**

Mr. Gamester moved to **postpone** to the November Planning Board meeting, seconded by Mr. Clark. The motion passed unanimously.

**E. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc. (Owner)** and **Green & Company Building & Development Corp. (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a

Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE** (LU-21-98)

## **DISCUSSION AND DECISION OF THE BOARD**

Mr. Gamester moved to **postpone** to the November Planning Board meeting, seconded by Mr. Clark. The motion passed unanimously.

## **IV. PUBLIC HEARINGS – NEW BUSINESS**

- A. The request of **Karen Butz Webb Revocable Living Trust (Owner)**, for the property located at **910 Sagamore Avenue** requesting a Wetland Conditional Use Permit according to article 10.1017 to expand an enclosed living space by 362 square feet which will create a disturbance of 3,375 square feet within the inland wetland buffer. The living space is supported by piles over an area of crushed stone to allow infiltration of stormwater. The roof runoff will be captured in gutters which will be directed to stone infiltration trenches with 4'x4' stone outlet area for any stormwater that does not infiltrate. The applicant is disconnecting the existing septic system and will connect to a new City sewer line. The mowing of the wetland at the rear of the property will be discontinued and the area will be planted with wildflowers and other buffer plantings. Said property is shown on Assessor Map 223 Lot 26A and lies within the Waterfront Business (WB) District. (LU-21-170)

## **SPEAKING TO THE APPLICATION**

Alex Ross spoke to the application. The project involves a small house addition. The site is just past the Sagamore Creek Bridge behind the scuba shop. It is a corner lot with a gravel roadway. The house is in the northern corner. There is an existing bump out off the rear of the house. That will be removed, and a new bump out will be constructed. It is a fully developed parcel that is already landscaped. The lot is just over half an acre and there is a little finger of high tide that comes in at the corner. This parcel has a large 24-inch culvert that collects flow from across the street. It goes under the parcel and the concrete structure flows out to the high tide area. For years the wetland buffer has been used as a mowed backyard. There is an old septic system on the property with a leach field in the lower left corner of the parcel. It is close to the wetlands and high tide area. The city has plans to run a new sewer line down the gravel roadway. When that happens, they will discontinue the septic and tie directly into the city line. They will plan to remove the invasive plants in the wooded area. Currently there are no storm water measures on

the site. The new addition will be supported by posts, and not have a foundation. There will be a stone infiltration area for roof drainage. Along the edge of the delineated non tidal wetlands they are proposing a line of plantings. They will also plan to follow an organic land management plan outlined by NOFA. A large portion of the backyard is wetland. The owner is willing to give that up and let it go back to a natural restored wetland area. There will be buffer plantings around that area, and it will not be mowed anymore. Overall, the project will benefit the buffer and wetland. It will restore the wetland, provide storm water infiltration, discontinue the septic and improve protections.

Mr. Gamester questioned what access the owner had to the tidal inlet. Mr. Ross responded that it was minimal. The backyard is wooded and there is a steep slope.

Mr. Clark commented that this site came here for a new septic a few years and questioned if that was ever installed. Mr. Ross responded that it was not. Mr. Clark commented there was nothing in the erosion notes that referred to the NOFA standards. That note should be included throughout the plan to ensure there is no confusion.

Chairman Legg questioned if the existing septic would still be accessible with the new addition. Mr. Ross pointed out the addition area and the septic and leach field on the plan. There should not be any conflict if this is built before the property ties into the sewer. They can work around the pipe. Chairman Legg commented that it was not a condition of approval that the owner transitions to the public system. The Board has to decide if these improvements to the wetland are significant enough to do the addition.

## **PUBLIC HEARING**

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

## **DISCUSSION AND DECISION OF THE BOARD**

Mr. Clark moved to **grant** the conditional use permit as presented, seconded by Mr. Gamester with the following stipulations:

- 1) NOFA standards shall be maintained.
- 2) Install and maintain wetland buffer plantings along the delineation line as marked in the application every 4 ft. (recommended plantings).
- 3) The stone infiltration, as shown on the plan, shall be terminated at the wetland delineation line.

Mr. Clark commented that letting the designated wetland return to a natural state, what doing in following NOFA standards, and adding infiltration were all benefits to the site.

The motion passed unanimously.

- B. REQUEST TO POSTPONE** The request of **Elizabeth B Larsen Trust (Owner)**, for property located at **668 Middle Street** requesting Preliminary and Final Subdivision approval to subdivide 1 existing lot with 81,046 square feet of lot area, and 69.83 feet of street frontage into 3 lots as follows: Proposed Lot 1 with 18,646 square feet of lot area and no street frontage; Proposed Lot 2 with 18,756 square feet of lot area and no street frontage; Proposed Lot 3 with 43,644 square feet of lot area and 69.83 feet of street frontage. The existing buildings will remain and be on Proposed Lot 3. Said property is shown on Assessor Map 147 Lot 18 and lies within the General Residence A (GRA) and Historic Districts.  
**REQUEST TO POSTPONE (LU-21-23)**

## **DISCUSSION AND DECISION OF THE BOARD**

City Manager Conard moved to **postpone** to the November Planning Board meeting, seconded by Mr. Clark. The motion passed unanimously.

- C.** The request of **Frederick W. Watson Revocable Trust (Owner)**, for property located at **1 Clark Drive** requesting Amended Subdivision approval to correct the previously approved plan, approved on March 18, 2021, to include an additional lot that encompasses the proposed road with an area of 25,524 square feet, bringing the total to five (5) proposed lots. The previously approved plan consists of four (4) residential lots that will not be changing in size or shape and have the following dimensions: Proposed lot 1 with an area of 20,277 s.f. and 137.23 ft. of continuous street frontage; Proposed Lot 2 with an area of 17,103 s.f. and 100 ft. of continuous street frontage; Proposed Lot 3 with an area of 20,211 s.f. and 100 ft. of continuous street frontage; and Proposed Lot 4 with an area of 53,044 s.f. and 592.50 ft. of continuous street frontage. Said property is shown on Assessor Map 209 Lot 33 and lies within the Single Residence B (SRB) District. (LU-21-10)

## **SPEAKING TO THE APPLICATION**

Eric Saari from Altus Engineering spoke to the application. The Board has seen this plan before. During the process of initial approval, it had 4 residential lots and a street proposed as a public way. It is now going to be a private way and must be another lot. That makes it a 5-lot subdivision. The road will be a separate lot. Nothing has changed on the plan other than a note that calls out the road as a separate lot.

## **PUBLIC HEARING**

Mr. Hart of 165 Cutts St. commented that he was in support of the original approval it was a nice development. Now that there is another house lot Mr. Hart was in opposition. A lot of side roads dump onto Cutts St. Getting out onto Maplewood Ave. is difficult. An additional house would complicate matters.

Eric Saari clarified that this was a 5-lot subdivision. There will still be 4 house lots and the 5<sup>th</sup> lot is just the road. It will be for infrastructure only.

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

## **DISCUSSION AND DECISION OF THE BOARD**

Mr. Clark moved to **grant** the Subdivision Amendment Approval, seconded by Mr. Gamester with the following stipulations:

- 1) All conditions of original Planning Board approval as amended shall remain intact.
- 2) The amended Site Plan shall be recorded at the Registry of Deeds by the City as deemed appropriate by the Planning Department, but not before the legal department has been provided with, and has reviewed the first deeds for each lot.

Mr. Clark commented that this was exactly what has already been approved. The additional lot is for the road. There is no additional house.

The motion passed unanimously.

## **V. PUBLIC HEARING – CITY COUNCIL REFERRALS**

- A. The request of **Borthwick Forest, LLC (Owner)**, for Amended Easement Documents for the property located at **0 Borthwick Forest**, now known as **Eileen Dondero Foley Avenue**, to amend four easements relative to the Approved Site Plan for Borthwick Forest. Easements are specific to municipal rights to both new and existing public water lines as well as to public bicycle and pedestrian infrastructure. Easements include the following subject properties: Map 234 Lot 07-4a, Map 241 Lots 25 and 25-1, Map 165 Lot Lot 14, Map 233 Lots 111, 114 and 115.

## **SPEAKING TO THE APPLICATION**

Chairman Legg requested Mr. Crimmins summarize the 4 easements and explain if there are any amendments to those easements.

Patrick Crimmins from Tighe and Bond commented that there were no changes to the easements from what was originally approved. The first easement is for the existing water line. It is a 20-foot easement that runs across the several properties in the subdivision, the proposed road, and path. Easements 2 and 3 are for 20-foot-wide easements for the public water and sewer and part



of the water main construction. Easement 4 is for the trail across the property to provide a connection to the future rail trail.

Chairman Legg commented that the Interim Deputy City Manager Suzanne Woodland was also present and requested that she explain why this was in front of the Board.

Ms. Woodland commented that this was brought before City Council for the acceptance of these easements and the Council noted that there had been some time since the approval went through. The Council thought it would be useful for residents to have the opportunity to understand and hear again what the easements entail and get the Planning Board's easement acceptance.

## **PUBLIC HEARING**

Paul Mano of 1490 Islington St. spoke at that City Council Meeting. Mr. Mano never received an abutter's notice. Mr. Mano requested that the Planning Board deny this because the final approved plan is not being followed by the developers. The gated bike path was supposed to be 20 feet off the office building. Now it's on Islington St. It's now a 20-foot-wide bike path. That's a road not a path. The neighborhood's biggest concern is that it is a road. They tried to get a connecting road from Islington St. to Borthwick Ave., but they did not get it. Once easements are granted, they must follow it. There are penalties for not following it. The Planning Board should add a stipulation that the property owner cannot ask for a variance to make a connecting road between Islington St. and Borthwick Ave.

Rash Richard of 1507 Islington St. is a direct abutter to the bike path. Before this was put in there was a lot of illegal dumping and traffic in that area. That has now ceased. Mr. Richard believed that the property was developed the way the plans showed it to be.

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

## **DISCUSSION AND DECISION OF THE BOARD**

City Council Representative Whelan commented that they should make sure city staff has looked at the drawings to ensure that the developer did what they were supposed to have done.

Mr. Clark moved to recommend the City Council approve the easements as shown on the plan set and as previously approved by the Planning Board, seconded by Mr. Gamester as follows:

- 1) Proposed sewer and water easement to the City of Portsmouth.
- 2) Proposed 10' wide public access easement for bicycles/pedestrians to the City of Portsmouth.
- 3) Proposed access easement for stormwater to the proposed private road lot.
- 4) Proposed 20' wide water and public access easement for bicycles/pedestrians to the City of Portsmouth.
- 5) City Staff verify the development is consistent with the approved plans

Mr. Chellman noted that the plan limits this to bikes, pedestrians and utilities. No vehicular use is permitted. Mr. Clark added that the easements carry forward to future owners.

The motion passed unanimously.

## **VI. DESIGN REVIEW APPLICATION ACCEPTANCE**

- A. The proposed project is the application of **Hill Hanover Group, LLC (Applicant)**, for the property located at **181 Hill Street**, for the demolition of three existing buildings and the construction of one three story building containing 12 units with basement level parking accessed from Autumn Street. Said property is shown on Assessor Map 125 Lot 14 and lies within the Character District 4-L1 (CD4-L1) (LUPD-21-9)

John Chagnon from Ambit Engineering was present to speak to the proposal.

Chairman Legg clarified that the purpose of this was to determine that the documentation was thorough enough for the Board to understand what was being proposed. If it meets that threshold then, the Board will agree to accept it and schedule a design review for the next meeting.

Mr. Clark questioned if the Board voted to schedule a design review, then could the applicant make changes. Chairman Legg responded that they refine it. They just could not lessen the information.

Mr. Clark questioned if vesting occurred when they voted to close the design review process. Chairman Legg responded that the project is vested when it reaches the completion of the design review. Mr. Chellman clarified that it would be vested for a year. Chairman Legg confirmed that was correct.

Mr. Chagnon commented that they were trying to determine if a preliminary conceptual consultation was needed as well. Chairman Legg responded that the applicant could work with city staff. If it needs to be added, then they can vote on the preliminary conceptual consultation and design review in the same meeting.

City Council Representative Whelan moved to **accept** the application and scheduled a Design Review and public hearing for the November Planning Board Meeting, seconded by Mr. Clark. The motion passed unanimously.

## **VII. OTHER BUSINESS**

There was no other business.

## **VIII. ADJOURNMENT**

Minutes, Planning Board Meeting, October 21, 2021

Mr. Gamester moved to adjourn the meeting at 9:48 p.m., seconded by Mr. Clark. The motion passed unanimously.

Respectfully submitted,

Becky Frey,  
Secretary for the Planning Board

5/28/2008

**Possible Alternative Street Names:** These were used and discontinued sometime in the past. Names are acceptable for use today.

#### **FORMER STREET NAMES**

ACKERMAN STREET  
ARK LANE  
AUBURN STREET  
BUCK STREET  
CAMBRIDGE STREET  
COW LANE  
CREEK STREET  
CROSS STREET  
DIVINITY STREET  
GRAFFORT'S LANE  
GRAVES END STREET  
JOSHUA STREET  
KING STREET  
MARGINAL WAY  
MARLBOROUGH STREET  
MASON STREET  
MASSY STREET  
MAUDLIN LANE  
MYSTIC STREET  
NORTH ROAD  
PITT STREET  
QUEEN STREET  
REBELLION ROAD  
RIVER ROAD  
ROSEMARY LANE  
SIFTON STREET  
STETON STREET  
TOMBS STREET  
WHITE'S ROAD

#### **Possible Alternative Street Names: NAMES OF CITY MAYORS**

BADGER, DANIEL W. (1911-1913)  
BAILEY, JOHN H. (1864)  
BERRY, CHARLES P. (1893-1894)  
BROUGHTON, JOHN H. (1876-1877)  
BUTLER, THEODORE R. (1952-1953, 1954-1955)  
DALE, CHARLES (1926-1927, 1943-1944)  
DEXTER, OREL A. (1924-1925)

ELDREDGE, MARCELLUS (1885-1886)  
EMERY, JOHN W. (1897)  
FAYE, EDMUND S. (1889-1890)  
GOLDSMITH, KENNARD (1937-1940)  
GOODRICH, MOSES H. (1874-1875)  
GRAVES, BRUCE R. (1974-1977)  
HACKETT, WALLACE (1907-1908)  
JENNESS, RICHARD (1956)  
LAIGHTON, JOHN (1851)  
LASKEY, JOHN J. (1891-1892)  
MORRISON, ROBERT (1857)  
NEAL, CECIL M. (1948-1949)  
PAGE, CALVIN (1884, 1899)  
PENDER, JOHN (1902)  
REDING, JOHN RANDALL (1860)  
ROWE, STEWARD E. (1941-1942)  
SISE, WILLIAM H. (1878-1881)  
TILTON, JOHN S. (1898)  
TOPPAN, CHRISTOPHER S. (1852)  
TREAT, JOHN S. (1882-1883)  
YEATON, HARRY B. (1914-1915)

**Other names are encouraged for submission and review by the EOC. Submit any name choices to the Police or Planning Departments.**

# **AMBIT ENGINEERING, INC.**

CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

7 October 2021

Dexter Legg, Planning Board Chairman  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

## **RE: Request for Subdivision Approval at TBD Northwest Street, Tax Map 122 / Lot 2**

Dear Mr. Legg and Planning Board Members:

On behalf of Darrell Moreau (Applicant) we hereby submit the attached Subdivision Plan for the Morneault property at 137 Northwest Street. The project consists of the subdivision of one lot into 2 lots with the associated creation of easements. The existing residence will remain and be on one lot and a new home, subject to the requisite approvals, will be constructed on the second lot. The project was granted setback and associated relief by the Portsmouth Zoning Board on February 16, 2021. The plans include two proposed easements to the City of Portsmouth; one for a water line crossing, the other for an existing city sewer pump station and turning area which is currently encroaching on the property. The presence of these easements required that we appear before the Technical Advisory Committee. At the Tuesday September 7 TAC Meeting the Committee voted to recommend Approval subject to two stipulations relative to the design of the proposed home on Lot 2 – 1. We request that those conditions be included with the Planning Board's Conditions of Approval, and the project receive a vote on the Subdivision at your October meeting.

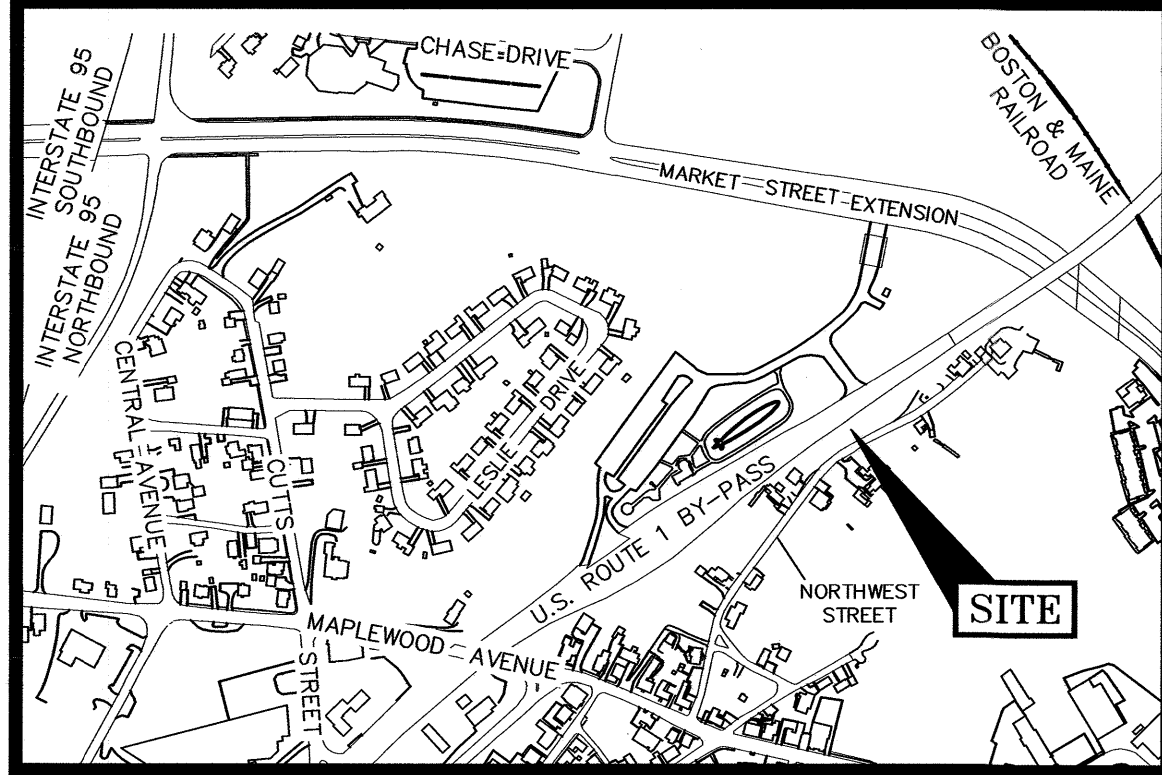
The Design Team met with the Director of Public Works and determined the best arrangement for the city easement and turn around. Plans have been revised in accordance with the Departments desires.

Please consider scheduling this application for the October 21 Planning Board Meeting. We look forward to the City's review of this submission. If there are any questions or comments please feel free to reach out to me.

Sincerely,

John R. Chagnon, PE

CC: Development Team



LOCATION MAP

SCALE: 1" = 500'

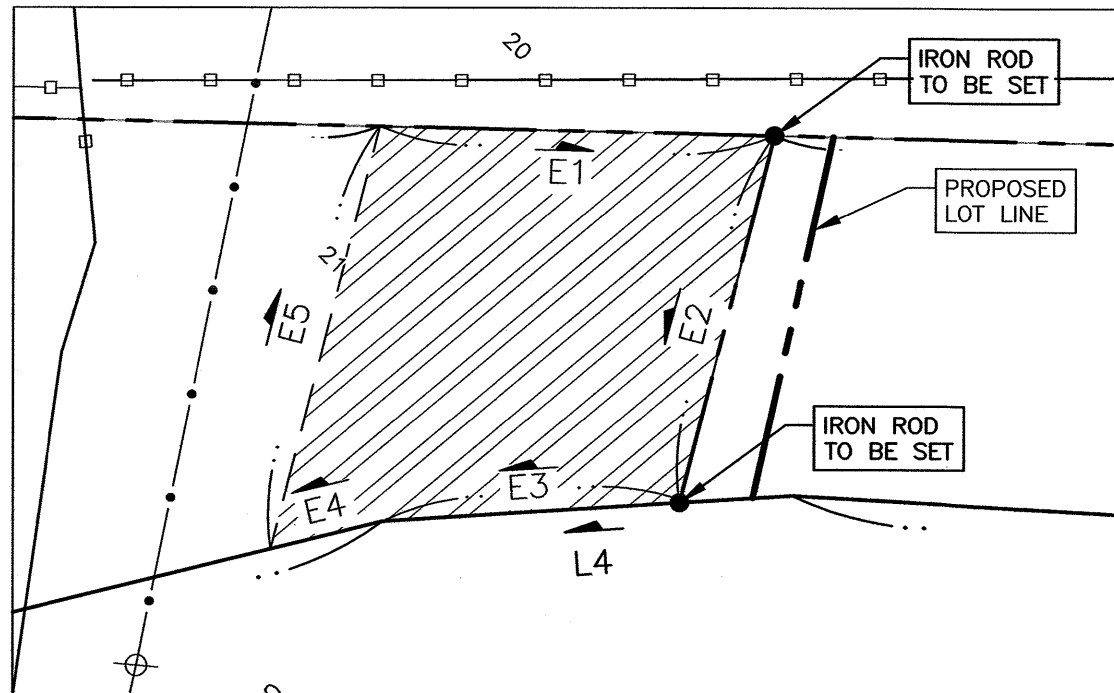
LEGEND:

- N/F NOW OR FORMERLY  
RP RECORD OF PROBATE  
RCRD ROCKINGHAM COUNTY  
RR SPK REGISTRY OF DEEDS  
MAP 11/LOT 21  
RND IRON ROD FOUND  
IPND IRON PIPE FOUND  
RND IRON ROD SET  
DHND DRILL HOLE FOUND  
DHND DRILL HOLE SET  
NHHB NHDOT BOUND FOUND  
TB TOWN BOUND  
BND w/DH BOUND WITH DRILL HOLE  
ST BND w/DH STONE BOUND WITH DRILL HOLE

PLAN REFERENCES:

- 1) MAINE NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY PISCATAQUA RIVER BRIDGE KITTERY, MAINE - PORTSMOUTH, NEW HAMPSHIRE RIGHT OF WAY MAP - N.H. APPROACH, SCALE: 1" = 50', PREPARED BY HARRINGTON AND CORTELYOU CONSULTING ENGINEERS KANSAS CITY, MO., DATED DECEMBER 1938, SHEET 1 OF 11, NOT RECORDED
- 2) MAINE - NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY PISCATAQUA RIVER BRIDGE KITTERY, MAINE - PORTSMOUTH, NEW HAMPSHIRE RIGHT OF WAY MAPS N.H. APPROACH, RE-SURVEYED BY: MOULTON ENGINEERING CO. KITTERY, MAINE 1954, SCALE: 1" = 50', SHEET 1 OF 5, NOT RECORDED
- 3) US ROUTE 1 BYPASS & SUBMARINE WAY RIGHT OF WAY LAYOUT PLANS CITY OF PORTSMOUTH JULY 17, 2019, OWNER OF RECORD: STATE OF NEW HAMPSHIRE, STATE PROJECT NO. 13455, SCALE: 1" = 50', PREPARED BY GM2 ASSOCIATES, SHEETS 3 & 4 OF 6, RCRD D-41603
- 4) PLAN OF LAND PORTSMOUTH, N.H. FOR ESTATE OF GRACE L. HOYT, SCALE: 1" = 20' DATED DEC. 1972 REV. MAR. 1973, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD D-3596
- 5) CONDOMINIUM SITE PLAN FOR GANTRY REALTY TRUST 172 NORTHWEST STREET COUNTY OF ROCKINGHAM PORTSMOUTH, N.H. SCALE: 1" = 20', DATED SEPT. 11, 1985 REV OCT. 1, 1985, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SHEET 1 OF 3, RCRD D-14146
- 6) STANDARD PROPERTY SURVEY AND CONDOMINIUM SITE PLAN OF LAND OF LOT 4 TAX MAP U-22 250 NORTHWEST STREET PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM, SCALE: 1" = 10', DATED 9-9-96, PREPARED BY CIVILWORKS DOVER, N.H., RCRD D-24961
- 7) PLAN OF LAND IN THE NAME OF THE SUSAN M. REED REVOCABLE TRUST OF TAX MAP 122 / LOT 8 LOCATED AT #136 NORTHWEST STREET COUNTY OF ROCKINGHAM PORTSMOUTH, NH, SCALE: 1" = 20' DATED MAY 23, 2006, PREPARED BY DAVID W. VINCENT, LLS RCRD C-33849

PROPOSED WATERLINE EASEMENT



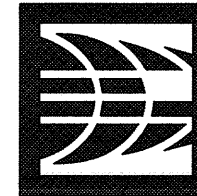
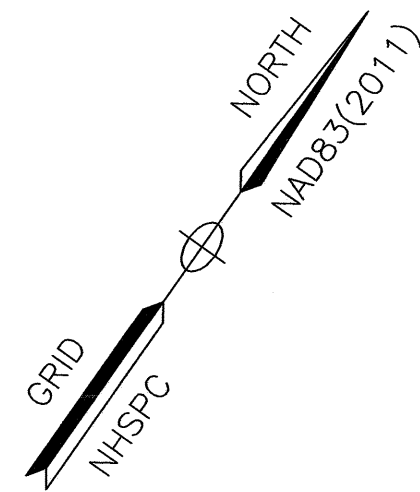
AREA A  
SCALE 1"=10'

REQUIRED VARIANCES:

SECTION 10.521

A LOT DEPTH OF 44.7 FEET FOR LOT 1 AND 25.4 FEET FOR LOT 2 WHERE 70 FEET IS REQUIRED FOR EACH.

APPROVED 2-16-2021



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.

2) OWNERS OF RECORD:  
GREGORY J. MORNEAULT  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
PORTSMOUTH, N.H. 03801

APPLICANT:  
DARRELL MOREAU  
1B JACKSON HILL STREET  
PORTSMOUTH, NH 03801

3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL 8) AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.

4) EXISTING LOT AREA:  
18,134 S.F.  
0.4163 ACRES

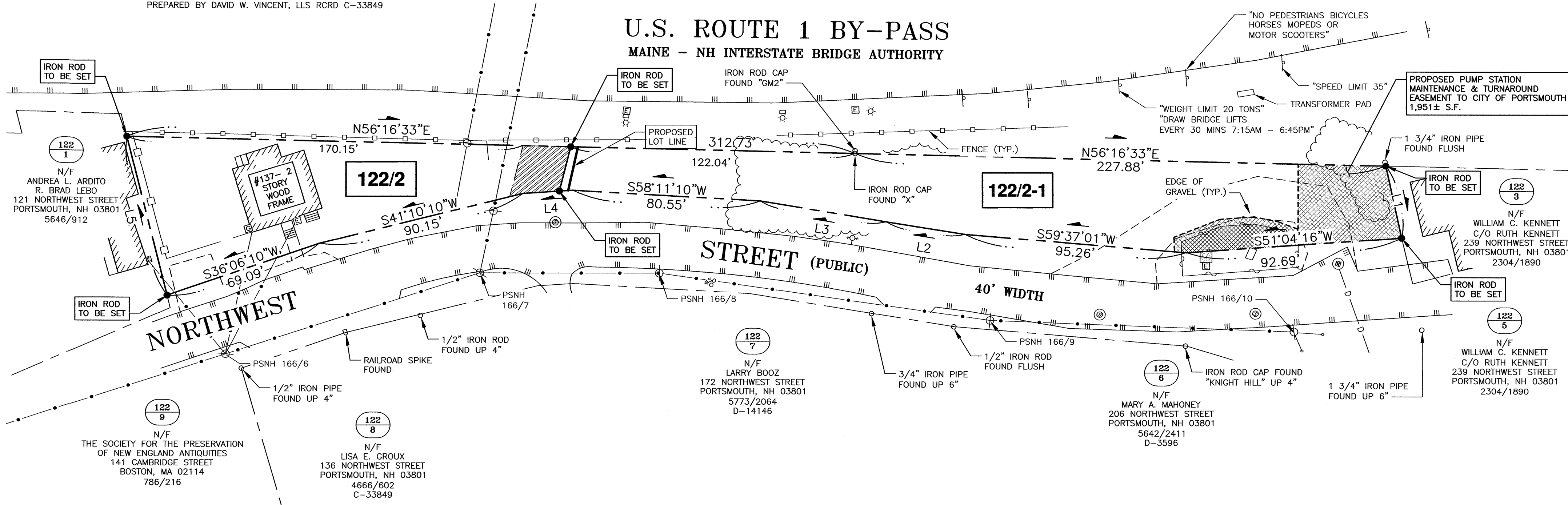
PROPOSED LOT AREAS:  
122/2 122/2-1  
7,500 S.F. 10,634 S.F.  
0.1722 ACRES 0.2441 ACRES

5) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBDIVISION OF ONE LOT INTO TWO LOTS AND CREATE EASEMENTS TO THE CITY OF PORTSMOUTH.

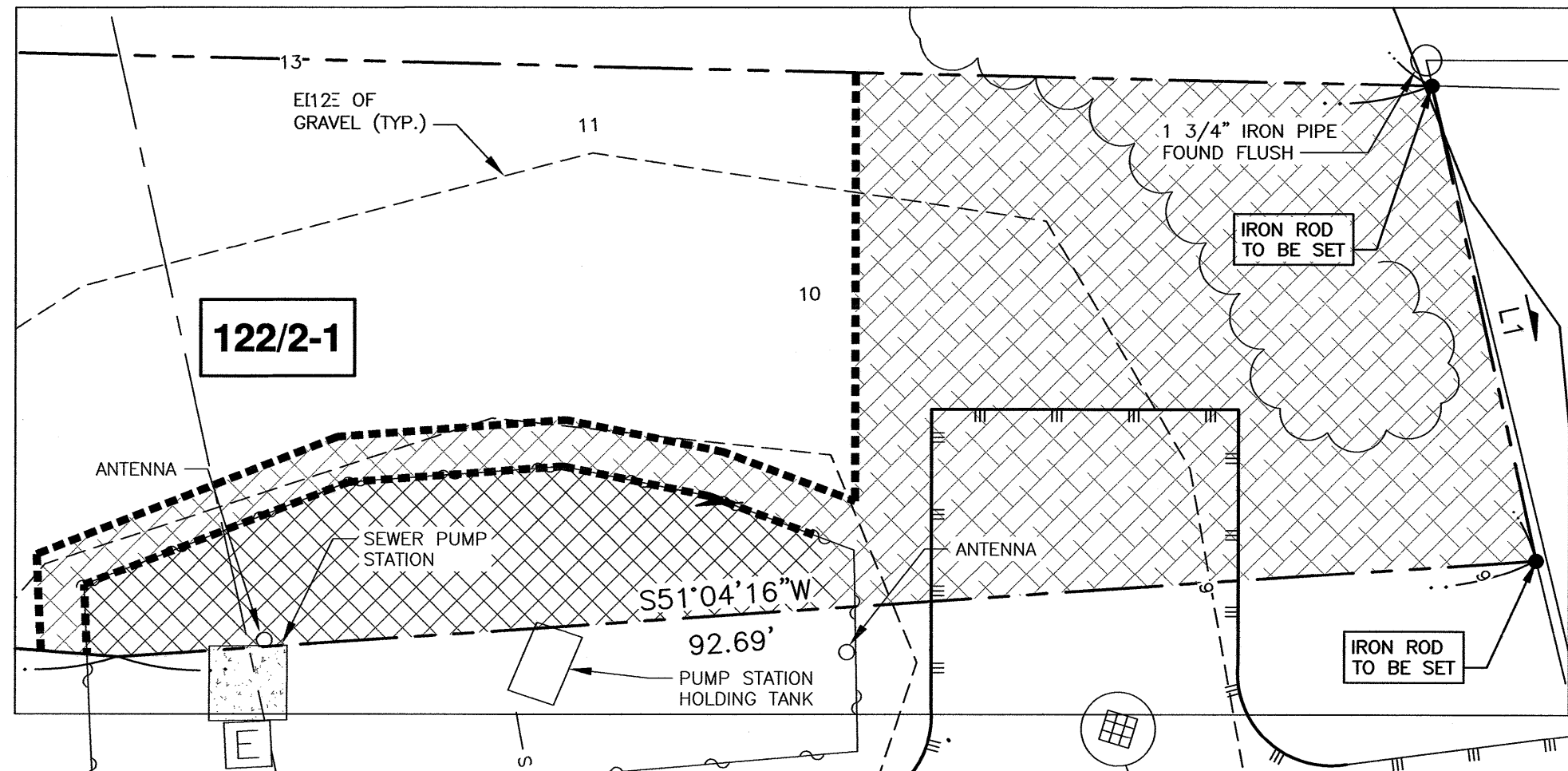
6) ZONING DISTRICTS:  
GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.

7) DIMENSIONAL REQUIREMENTS:  
LOT AREA: 7,500 S.F.  
FRONTAGE: 100'  
DEPTH: 70'  
SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.  
MAXIMUM STRUCTURE HEIGHT: 35'  
MAXIMUM BUILDING COVERAGE: 25%  
MINIMUM OPEN SPACE: 30%

8) PROPOSED LOT 1 DIMENSIONAL CALCULATIONS:  
LOT AREA: 7,500 S.F.  
FRONTAGE: 179'  
DEPTH: 44.7' AVERAGE  
SETBACKS:  
FRONT: 13.8'  
SIDE: 40.5'  
REAR: 1.8'  
BUILDING COVERAGE: 1,029 S.F. - 14%  
OPEN SPACE: 6,246 S.F. - 83%



SEWER PUMP STATION & TURN AROUND



AREA B  
SCALE 1"=10'

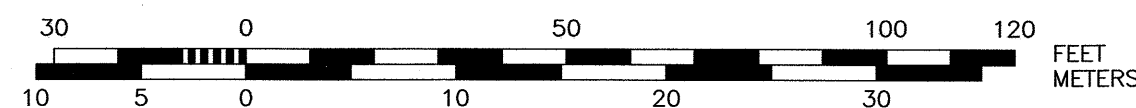
LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S 47°28'51" E	31.75'
L2	S 64°01'21" W	34.26'
L3	S 64°19'54" W	54.79'
L4	S 51°20'10" W	21.35'
L5	N 49°16'35" W	70.45'

EASEMENT LENGTH TABLE

LINE	BEARING	DISTANCE
E1	N 56°16'33" E	20.54'
E2	S 20°36'02" E	19.73'
E3	S 51°20'10" W	15.48'
E4	S 41°10'10" W	5.99'
E5	N 20°36'02" W	22.71'

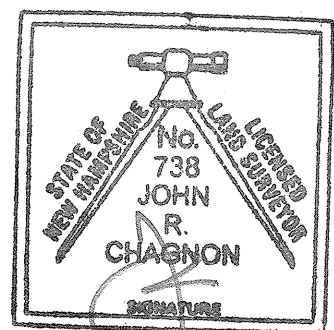
GRAPHIC SCALE



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHAGNON, LLS 738

8.23.21  
DATE



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

SUBDIVISION PLAN  
TAX MAP 122 - LOT 2

OWNERS:  
GREGORY J. MORNEAULT &  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE

SCALE: 1" = 30'

SEPTEMBER 2020

FB 249 PG 70

2759.02

**AMBIT ENGINEERING, INC.** CIVIL ENGINEERS AND LAND SURVEYORS  
200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

27 October 2021

Peter Britz, Acting Chair  
City of Portsmouth Planning Department  
1 Junkins Avenue  
Portsmouth, NH 03801

**Re: City of Portsmouth Application for Conditional Use Permit  
Tax Map 122, Lot 2  
TBD Northwest Street – Single Family Residence  
Portsmouth, New Hampshire**

Dear Mr. Britz:

On behalf of Darrell Moreau (Amanda & Gregory Morneault - Owners) the accompanying Project Narrative and Revised *Proposed Housing* Plan Set is submitted for review for a City of Portsmouth Wetland Conditional Use Permit Application request to permit a total of 5,062 square feet of disturbance within a Tidal Buffer Zone (City of Portsmouth Wetland Buffer) on the above referenced site. The property currently exists as a single family home on an oversized lot. The project has 2 key components: The proposed Subdivision of the property into 2 lots and the construction of a Single Family Home on the vacant lot. This project will require NHDES Wetlands Board Approval for work in the Tidal Buffer Zone. The project received approval from the Portsmouth Zoning Board for some dimensional relief in February of 2021. We request that we be placed on the agenda for the **Conservation Commissions November 10, 2021 Meeting**, to be followed by the **November 18, 2021 Planning Board** meeting.

### **Proposed Single Family Residence**

The Proposed Single Family Residence construction includes removing an existing gravel turn-around serving an existing city sewer pump station. The pump station enclosure and turn around cross on to the property in an area not in any existing easement. The project includes the dedication of a suitable easement to the city. The gravel turn around will be removed in favor of a paved turn out to be constructed by the applicant. The orientation and location was determined after consultation with the Portsmouth Department of Public Works. In reviewing the site the design team noticed an existing drainage outfall which is currently eroding the adjacent resource area (salt march edge) so included in this application is a plan to correct the erosion issue.

The construction of the single family residence involves work in the 100 foot City of Portsmouth Wetland Buffer and this CUP application is filed to obtain Portsmouth Planning Board approval for the work. The work involves removal of an existing oversized gravel turn-around area on property the applicant intends to purchase. The area of the removed gravel will be returned to a natural existing condition upon completion of the house construction.

The following plans are included in our submission:

- Cover Sheet – This shows the Owner, Legend, Site Location, and Site Zoning.
- Subdivision Plan – This plan shows the subdivision of the property.
- Existing Conditions Plan C1 – This plan shows the existing site conditions and topography. The site is adjacent to North Mill Pond on the opposite side of Northwest Street. There is an outlet of a 10 inch culvert downstream of the project.



- Subdivision Site Plan C2 – This plan shows the proposed development of a single family residence on the subdivided vacant lot.
- Erosion Control and Grading Plan C3 – This plan shows the proposed erosion control measures and site grading.
- Utility Plan C4 – This plan shows the proposed utility connections.
- CUP & NHDES Permit Plan C5 – This plan shows the impact areas within the TBZ and the City 100 foot Buffer.
- Neighborhood Plan – Aerial P1 – This plan shows the proposed residence in context with the surrounding developed properties.
- Detail Sheets D1 and D2 - These plans show the associated erosion control notes and site construction details.

According to the City of Portsmouth Zoning Ordinance, *Article 10.1017.50 Criteria for Approval*, the proposal shall comply with the following criteria:

**1. The land is reasonably suited to the use, activity or alteration.**

The proposal is to provide needed housing within the city. The project has been reviewed by the ZBA and the use is consistent with the Master Plan. The addition of the drainage outfall rip rap will serve to reduce erosion. Due to these facts, the land is reasonable suited to the use, activity, and alteration.

**2. There is no alternative location outside of the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.**

The structure cannot be located further away from the resource as the lot narrows significantly. Specific variances with setbacks were obtained. Since the original submission the building has been moved away from the resource, and also made smaller to the greatest extent feasible. The outfall improvements need to be at that location. There is no feasible method to perform that proposed work outside of the wetland buffer.

**3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.**

The proposal will not impact the existing wetland resource located adjacent to the site and its current functions and values. The attached neighborhood exhibit shows the relative location of nearby structures and pavement much closer to the resource. The rip rap outlet protection will prevent an ongoing erosion issue. The removal of the existing gravel on the subject parcel will move the impact area away from the resource. In addition wetland buffer plantings are shown on the plans to mitigate any potential impact.

**4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.**

The areas within the 100' City of Portsmouth Wetland Buffer that are proposed to be impacted would be characterized as gravel roadway, pump station, and drainage outfall, and all are previously disturbed. A significant area in the buffer is being returned to a natural state, including the addition of a planted buffer.

**5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.**

The project represents the alternative with the least adverse impact to areas and environments while allowing reasonable use of the property. The buffer is enhanced by the removal of gravel and replacement with buffer plantings.

**6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.**

The area of the gravel turn around within the vegetated buffer strip that will be impacted by this project will be returned to the pre-existing surface condition to include an area of buffer plantings.

Please contact me if you have any questions or concerns regarding this application.

Respectfully submitted,

*John Chagnon*

John R. Chagnon  
Project Engineer  
Ambit Engineering, Inc.

Google Maps 136 Northwest St



Image capture: Sep 2011 © 2020 Google



Google Maps 172 Northwest St



Image capture: Sep 2011 © 2020 Google







**OWNERS:**

GREGORY J. MORNEAULT  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
PORTSMOUTH, N.H. 03801

**APPLICANT:**

DARRELL MOREAU  
1B JACKSON HILL STREET  
PORTSMOUTH, N.H. 03801  
TEL: (603) 512-5116

**LAND SURVEYOR & CIVIL ENGINEER:**

AMBIT ENGINEERING, INC.  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, N.H. 03801-7114  
TEL: (603) 430-9282  
FAX: (603) 436-2315

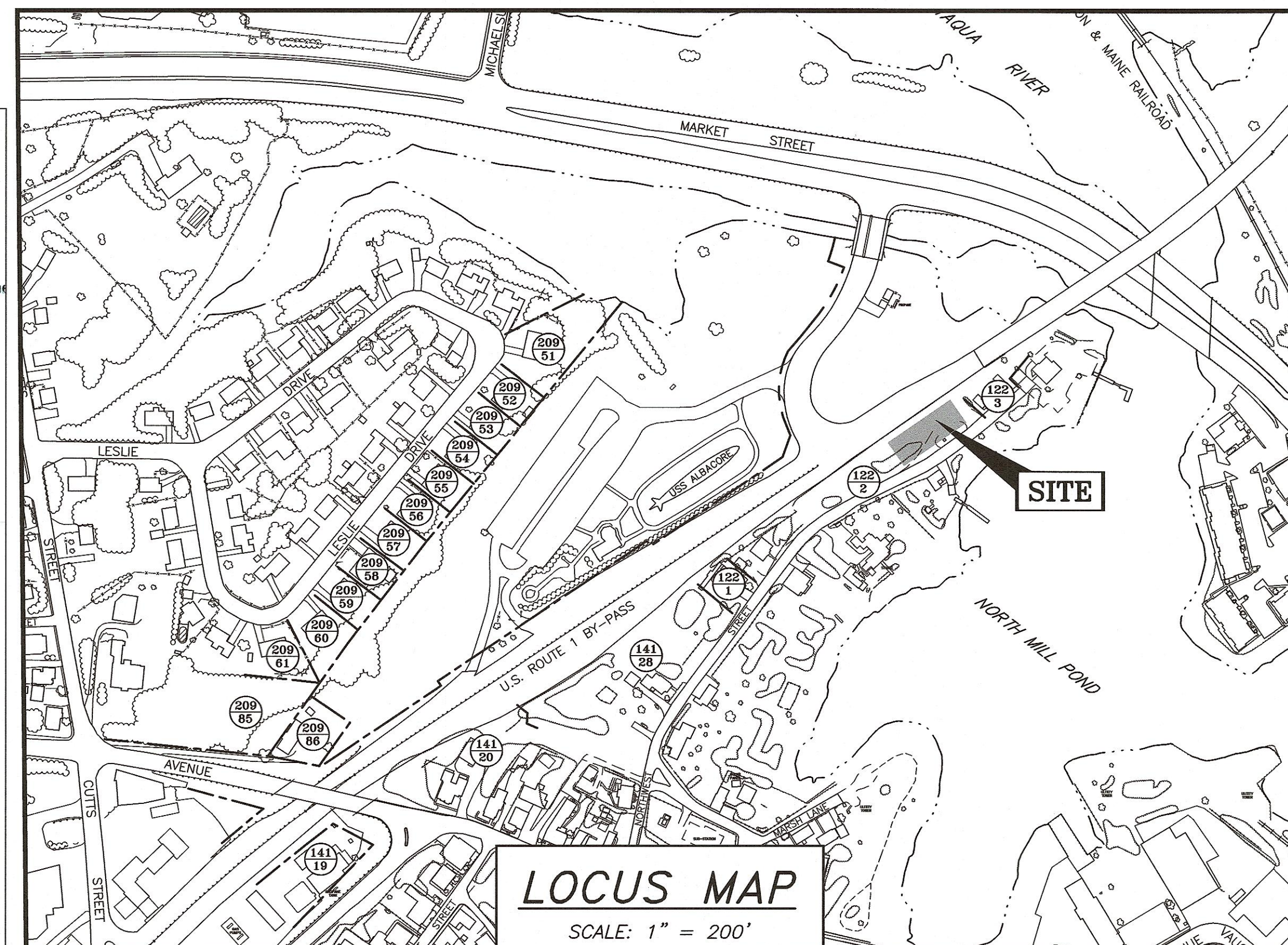
**ARCHITECT:**

ART FORM ARCHITECTURE, INC.  
44 LAFAYETTE ROAD  
NORTH HAMPTON, NH. 03862  
TEL: (603) 431-9559



# PROPOSED SUBDIVISION PLAN TBD NORTHWEST STREET PORTSMOUTH, NEW HAMPSHIRE PERMIT PLANS

R	Rural
SRA	Single Residence A
SRB	Single Residence B
GRA	General Residence A
GRB	General Residence B
GRC	General Residence C
GAMH	Garden Apartment/Mobile Home
<b>Mixed Residential Districts</b>	
MRO	Mixed Residential Office
MRB	Mixed Residential Business
G1	Gateway Corridor
G2	Gateway Center
<b>Business Districts</b>	
GB	General Business
B	Business
WB	Waterfront Business
<b>Industrial Districts</b>	
OR	Office Research
I	Industrial
WI	Waterfront Industrial
<b>Airport Districts</b>	
AIR	Airport
AI	Airport Industrial
PI	Pease Industrial
ABC	Airport Business Commercial
<b>Other Districts</b>	
M	Municipal
NRP	Natural Resource Protection
TC	Transportation Corridor



**REQUIRED PERMITS**  
NHDES SHORELAND PERMIT: PENDING  
NHDES WETLAND PERMIT: PENDING  
PORTSMOUTH CONDITIONAL USE PERMIT: PENDING  
PORTSMOUTH ZONING BOARD: APPROVED 2/16/21  
PORTSMOUTH PLANNING BOARD: PENDING

**LEGEND:**

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
11/21	MAP 11/LOT 21
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
IR SET	IRON ROD SET
DH FND	DRILL HOLE FOUND
DH SET	DRILL HOLE SET
	GRANITE BOUND w/IRON ROD FOUND
<b>EXISTING</b>	
FM	FORCE MAIN
S	SEWER PIPE
SL	SEWER LATERAL
G	GAS LINE
D	STORM DRAIN
FD	FOUNDATION DRAIN
W	WATER LINE
FS	FIRE SERVICE LINE
UE	UNDERGROUND ELECTRIC SUPPLY
	UNDERGROUND ELECTRIC SERVICE
OHW	OVERHEAD ELECTRIC WIRES
	RETAINING WALL
	EDGE OF PAVEMENT (EP)
100	CONTOUR
97x3	SPOT ELEVATION
E	UTILITY POLE
	ELECTRIC METER
	TRANSFORMER ON CONCRETE PAD
	ELECTRIC HANDHOLD/PULLBOX
	WATER SHUT OFF/CURB STOP
	PIPE CLEANOUT
	GATE VALVE
	HYDRANT
	CATCH BASIN
	SEWER MANHOLE
	DRAIN MANHOLE
	WATER METER MANHOLE
	TEST BORING
	TEST PIT
	LANDSCAPED AREA
	CAST IRON PIPE
	COPPER PIPE
	CORRUGATED METAL PIPE
	DUCTILE IRON PIPE
	POLYVINYL CHLORIDE PIPE
	REINFORCED CONCRETE PIPE
	HYDRANT
	CENTERLINE
	EDGE OF PAVEMENT
	ELEVATION
	FINISHED FLOOR
	INVERT
	TEMPORARY BENCH MARK
	TYPICAL
<b>PROPOSED</b>	
FM	FORCE MAIN
S	SEWER PIPE
SL	SEWER LATERAL
PG	GAS LINE
D	STORM DRAIN
FD	FOUNDATION DRAIN
W	WATER LINE
FS	FIRE SERVICE LINE
UE	UNDERGROUND ELECTRIC SUPPLY
	UNDERGROUND ELECTRIC SERVICE
OHW	OVERHEAD ELECTRIC WIRES
	RETAINING WALL
	EDGE OF PAVEMENT (EP)
100	CONTOUR
98x0	SPOT ELEVATION
E	UTILITY POLE
	ELECTRIC METER
	TRANSFORMER ON CONCRETE PAD
	ELECTRIC HANDHOLD/PULLBOX
	WATER SHUT OFF/CURB STOP
	PIPE CLEANOUT
	GATE VALVE
	HYDRANT
	CATCH BASIN
	SEWER MANHOLE
	DRAIN MANHOLE
	WATER METER MANHOLE
	TEST BORING
	TEST PIT
	LANDSCAPED AREA
	CAST IRON PIPE
	COPPER PIPE
	CORRUGATED METAL PIPE
	DUCTILE IRON PIPE
	POLYVINYL CHLORIDE PIPE
	REINFORCED CONCRETE PIPE
	HYDRANT
	CENTERLINE
	EDGE OF PAVEMENT
	ELEVATION
	FINISHED FLOOR
	INVERT
	TEMPORARY BENCH MARK
	TYPICAL



**INDEX OF SHEETS**

- SUBDIVISION PLAN  
C1- EXISTING CONDITIONS PLAN  
C2- SUBDIVISION SITE PLAN  
C3- EROSION CONTROL & GRADING PLAN  
C4- UTILITY PLAN  
C5- CUP & NHDES PERMIT PLAN  
P1- NEIGHBORHOOD PLAN- AERIAL  
D1-D2- DETAILS

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

**UTILITY CONTACTS**

**ELECTRIC:**  
EVERSOURCE  
74 OLD DOVER ROAD  
ROCHESTER, N.H. 03867  
Tel. (603) 332-4227,  
Ext. 555.5325  
ATTN: MARK COLLINS  
EMAIL:  
mark.collins@eversource.com

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT  
OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 6294-5147  
ATTN: SUSAN DUPLISA  
duplisa@sunitil.com

**COMMUNICATIONS:**  
FAIRPOINT  
COMMUNICATIONS  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525  
ATTN: JOE CONSIDINE  
EMAIL:  
jconsidine@fairpoint.com

**CABLE:**  
XFINITY BY COMCAST  
180 GREENLEAF AVE.  
PORTSMOUTH, N.H. 03801  
Tel. (603) 266-2278  
ATTN: MIKE COLLINS

**PROJECT ABUTTERS:**

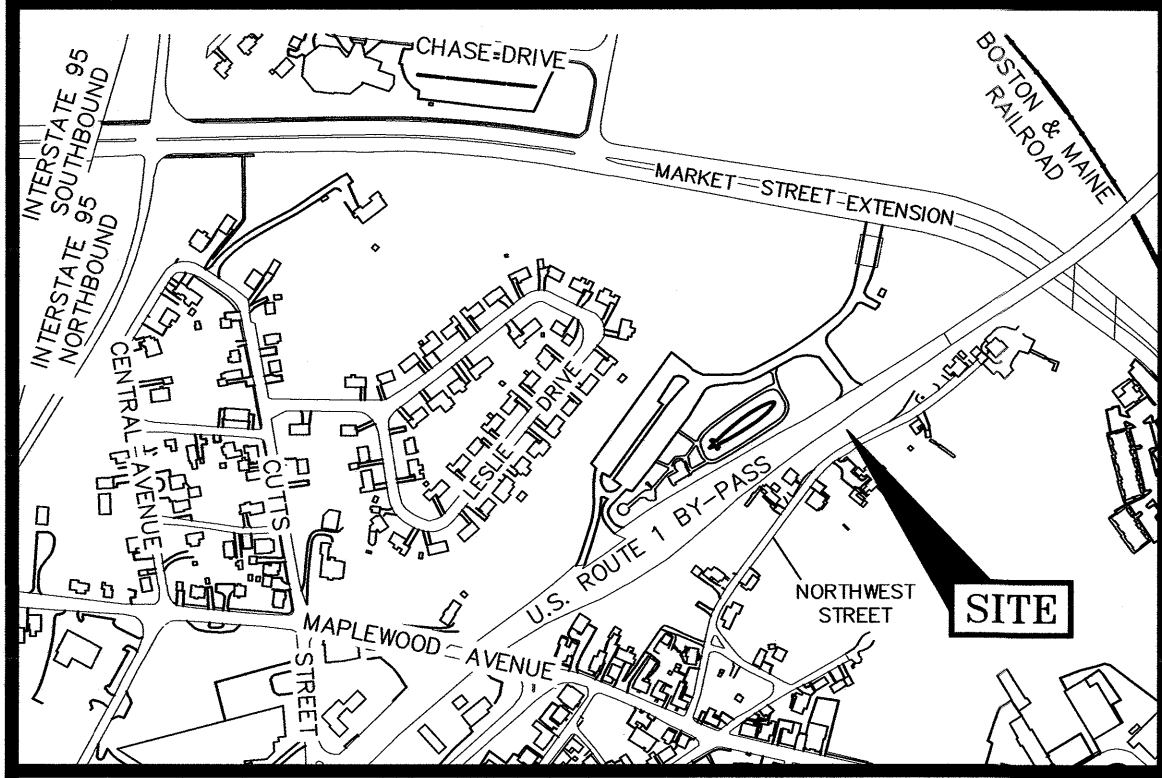
122 1	N/F ANDREA L. ARDITO 121 NORTHWEST STREET PORTSMOUTH, NH 03801 5646/912	122 3	N/F MICHAEL GEORGE PETRIN & KATIE MARIE LAVERRIERE 268 DENNETT STREET PORTSMOUTH, NH 03801 6138/647 (12.3% INT.)	122 3	N/F NATHAN LAVERRIERE 2040 FRANKLIN STREET APT. #801 SAN FRANCISCO, CA 94109 6138/647 (87.7% INT.)
122 5	N/F MICHAEL GEORGE PETRIN & KATIE MARIE LAVERRIERE 268 DENNETT STREET PORTSMOUTH, NH 03801 6138/647 (12.3% INT.)	122 5	N/F NATHAN LAVERRIERE 2040 FRANKLIN STREET APT. #801 SAN FRANCISCO, CA 94109 6138/647 (87.7% INT.)	122 6	N/F MARY A. MAHONEY c/o MARY A. MAHONEY TRUST 208 NORTHWEST STREET PORTSMOUTH, NH 03801 6042/1984
122 7	N/F LARRY BOOZ 172 NORTHWEST STREET PORTSMOUTH, NH 03801 5773/2064 D-14146	122 8	N/F LISA E. GROUX 136 NORTHWEST STREET PORTSMOUTH, NH 03801 4666/602 C-33849	122 9	N/F THE SOCIETY FOR THE PRESERVATION OF NEW ENGLAND ANTIQUITIES 141 CAMBRIDGE STREET BOSTON, MA 02114 786/216

PROPOSED SUBDIVISION PLAN  
TBD NORTHWEST STREET  
PORTSMOUTH, N.H.

**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 27 OCTOBER 2021





LOCATION MAP

SCALE: 1" = 500'

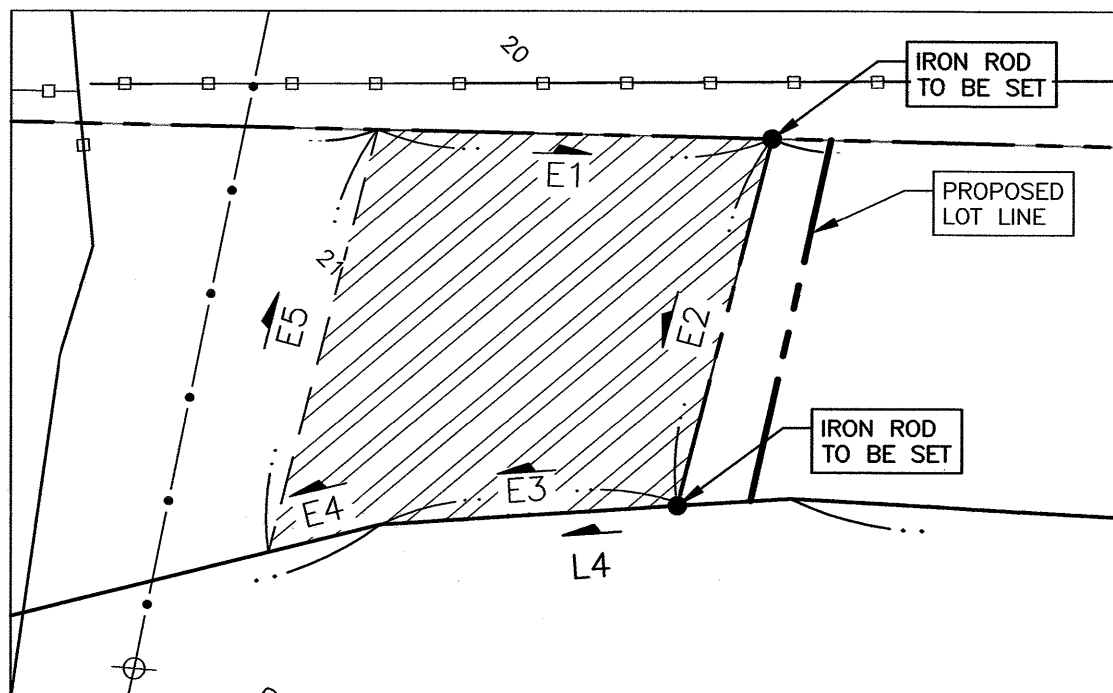
LEGEND:

- N/F NOW OR FORMERLY  
RP RECORD OF PROBATE  
RCRD ROCKINGHAM COUNTY  
RR SPK REGISTRY OF DEEDS  
RAILROAD SPIKE  
MAP 11/LOT 21  
IRON ROD FOUND  
IRON PIPE FOUND  
IRON ROD SET  
DRILL HOLE FOUND  
DRILL HOLE SET  
NHDOT BOUND FOUND  
TOWN BOUND  
BOUND WITH DRILL HOLE  
STONE BOUND WITH DRILL HOLE

PLAN REFERENCES:

- 1) MAINE NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY PISCATAQUA RIVER BRIDGE KITTERY, MAINE - PORTSMOUTH, NEW HAMPSHIRE RIGHT OF WAY MAP - N.H. APPROACH, SCALE: 1" = 50', PREPARED BY HARRINGTON AND CORTELYOU CONSULTING ENGINEERS KANSAS CITY, MO., DATED DECEMBER 1938, SHEET 1 OF 11, NOT RECORDED  
2) MAINE - NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY PISCATAQUA RIVER BRIDGE KITTERY, MAINE - PORTSMOUTH, NEW HAMPSHIRE RIGHT OF WAY MAPS N.H. APPROACH, RE-SURVEYED BY: MOULTON ENGINEERING CO. KITTERY, MAINE 1954, SCALE: 1" = 50', SHEET 1 OF 5, NOT RECORDED  
3) US ROUTE 1 BYPASS & SUBMARINE WAY RIGHT OF WAY LAYOUT PLANS CITY OF PORTSMOUTH JULY 17, 2019, OWNER OF RECORD: STATE OF NEW HAMPSHIRE, STATE PROJECT NO. 13455, SCALE: 1" = 50', PREPARED BY GM2 ASSOCIATES, SHEETS 3 & 4 OF 6, RCRD D-41603  
4) PLAN OF LAND PORTSMOUTH, N.H. FOR ESTATE OF GRACE L. HOYT, SCALE: 1" = 20' DATED DEC. 1972 REV. MAR. 1973, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD D-3596  
5) CONDOMINIUM SITE PLAN FOR GENTRY REALTY TRUST 172 NORTHWEST STREET COUNTY OF ROCKINGHAM PORTSMOUTH, N.H. SCALE: 1" = 20', DATED SEPT. 11, 1985 REV. OCT. 1, 1985, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SHEET 1 OF 3, RCRD D-14146  
6) STANDARD PROPERTY SURVEY AND CONDOMINIUM SITE PLAN OF LAND OF LOT 4 TAX MAP U-22 250 NORTHWEST STREET PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM, SCALE: 1" = 10', DATED 9-9-96, PREPARED BY CIVILWORKS DOVER, N.H., RCRD D-24961  
7) PLAN OF LAND IN THE NAME OF THE SUSAN M. REED REVOCABLE TRUST OF TAX MAP 122 / LOT 8 LOCATED AT #136 NORTHWEST STREET COUNTY OF ROCKINGHAM PORTSMOUTH, NH, SCALE: 1" = 20' DATED MAY 23, 2006, PREPARED BY DAVID W. VINCENT, LLS RCRD C-33849

PROPOSED WATERLINE EASEMENT

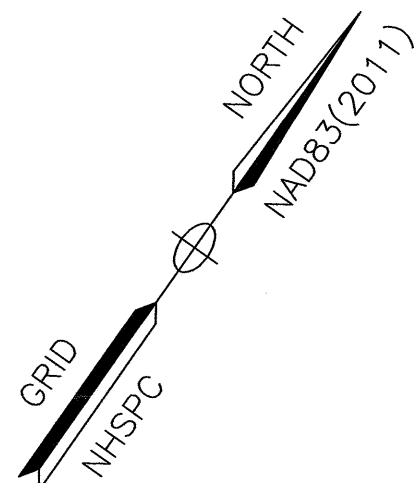


REQUIRED VARIANCES:

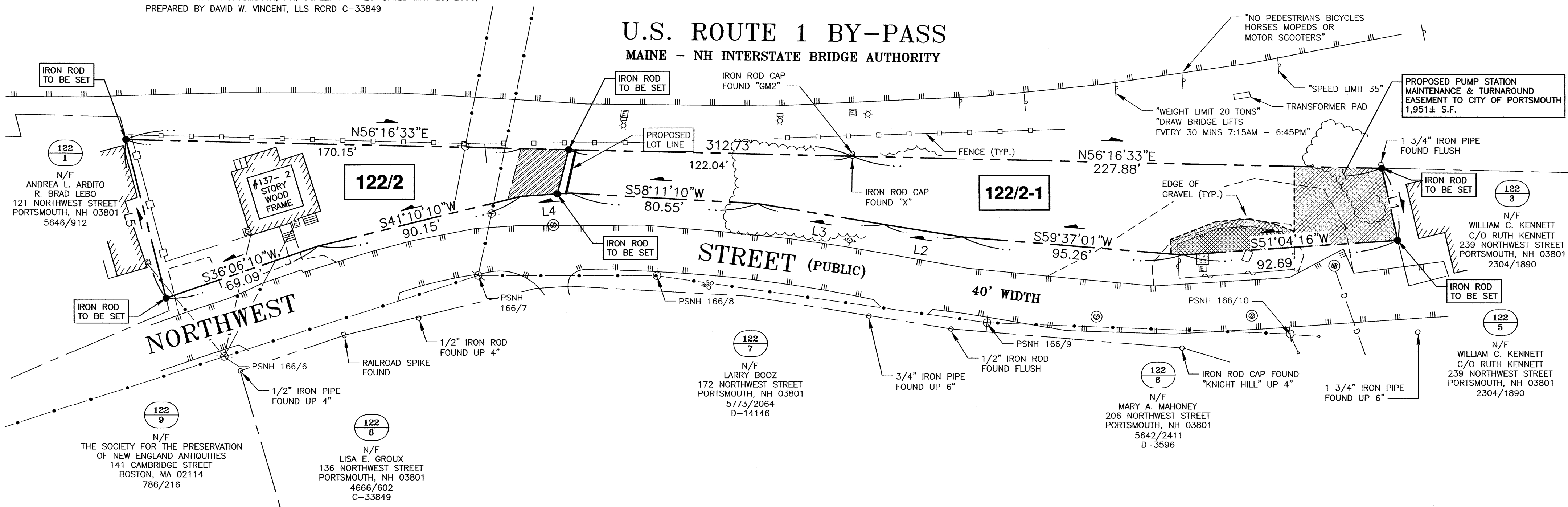
SECTION 10.521

A LOT DEPTH OF 44.7 FEET FOR LOT 1 AND 25.4 FEET FOR LOT 2 WHERE 70 FEET IS REQUIRED FOR EACH.

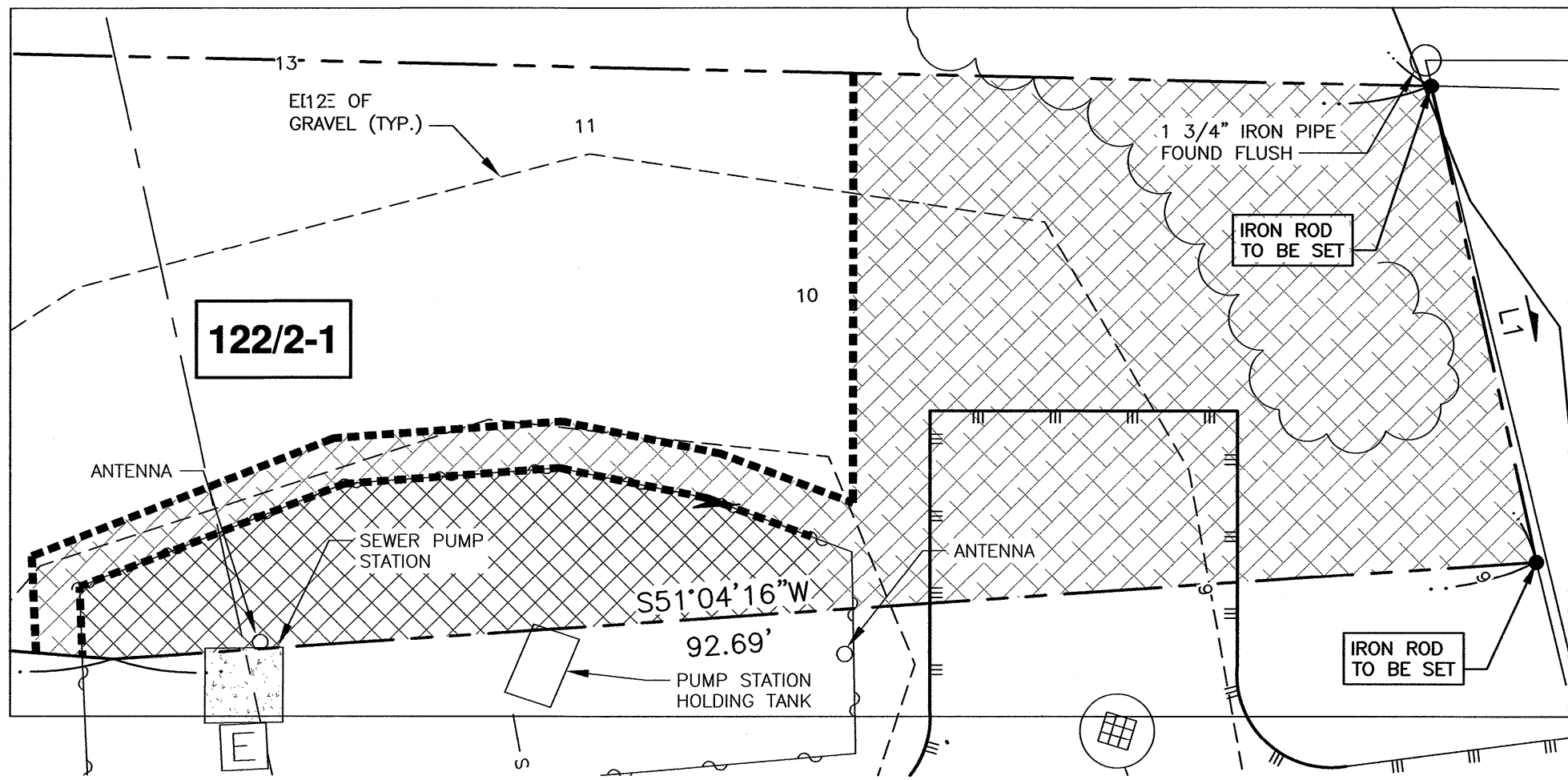
APPROVED 2-16-2021



U.S. ROUTE 1 BY-PASS  
MAINE - NH INTERSTATE BRIDGE AUTHORITY



SEWER PUMP STATION & TURN AROUND



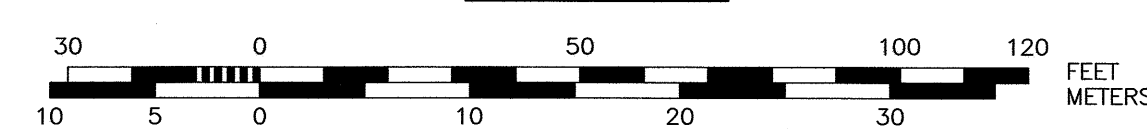
LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S 47°28'51" E	31.75'
L2	S 64°01'21" W	34.26'
L3	S 64°19'54" W	54.79'
L4	S 51°20'10" W	21.35'
L5	N 49°16'35" W	70.45'

EASEMENT LENGTH TABLE

LINE	BEARING	DISTANCE
E1	N 56°16'33" E	20.54'
E2	S 20°36'02" E	19.73'
E3	S 51°20'10" W	15.48'
E4	S 41°10'10" W	5.99'
E5	N 20°36'02" W	22.71'

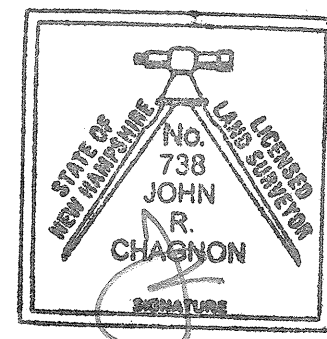
GRAPHIC SCALE



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHAGNON, LLS 738

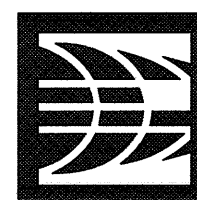
8.23.21  
DATE



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.  
2) OWNERS OF RECORD:  
GREGORY J. MORNEAULT  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
PORTSMOUTH, N.H. 03801  
APPLICANT:  
DARRELL MOREAU  
1B JACKSON HILL STREET  
PORTSMOUTH, NH 03801  
3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL 8) AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.  
4) EXISTING LOT AREA:  
18,134 S.F.  
0.4163 ACRES  
PROPOSED LOT AREAS:  
122/2 122/2-1  
7,500 S.F. 10,634 S.F.  
0.1722 ACRES 0.2441 ACRES  
5) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBDIVISION OF ONE LOT INTO TWO LOTS AND CREATE EASEMENTS TO THE CITY OF PORTSMOUTH.  
6) ZONING DISTRICTS:  
GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.  
7) DIMENSIONAL REQUIREMENTS:  
LOT AREA: 7,500 S.F.  
FRONTAGE: 100'  
DEPTH: 70'  
SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.  
MAXIMUM STRUCTURE HEIGHT: 35'  
MAXIMUM BUILDING COVERAGE: 25%  
MINIMUM OPEN SPACE: 30%  
8) PROPOSED LOT 1 DIMENSIONAL CALCULATIONS:  
LOT AREA: 7,500 S.F.  
FRONTAGE: 179'  
DEPTH: 44.7' AVERAGE  
SETBACKS:  
FRONT: 13.8'  
SIDE: 40.5'  
REAR: 1.8'  
BUILDING COVERAGE: 1,029 S.F. - 14%  
OPEN SPACE: 6,246 S.F. - 83%

NO.	DESCRIPTION	DATE
1	EASEMENT LOCATION	8/23/21
0	ISSUED TO TAC	5/17/21

REVISIONS

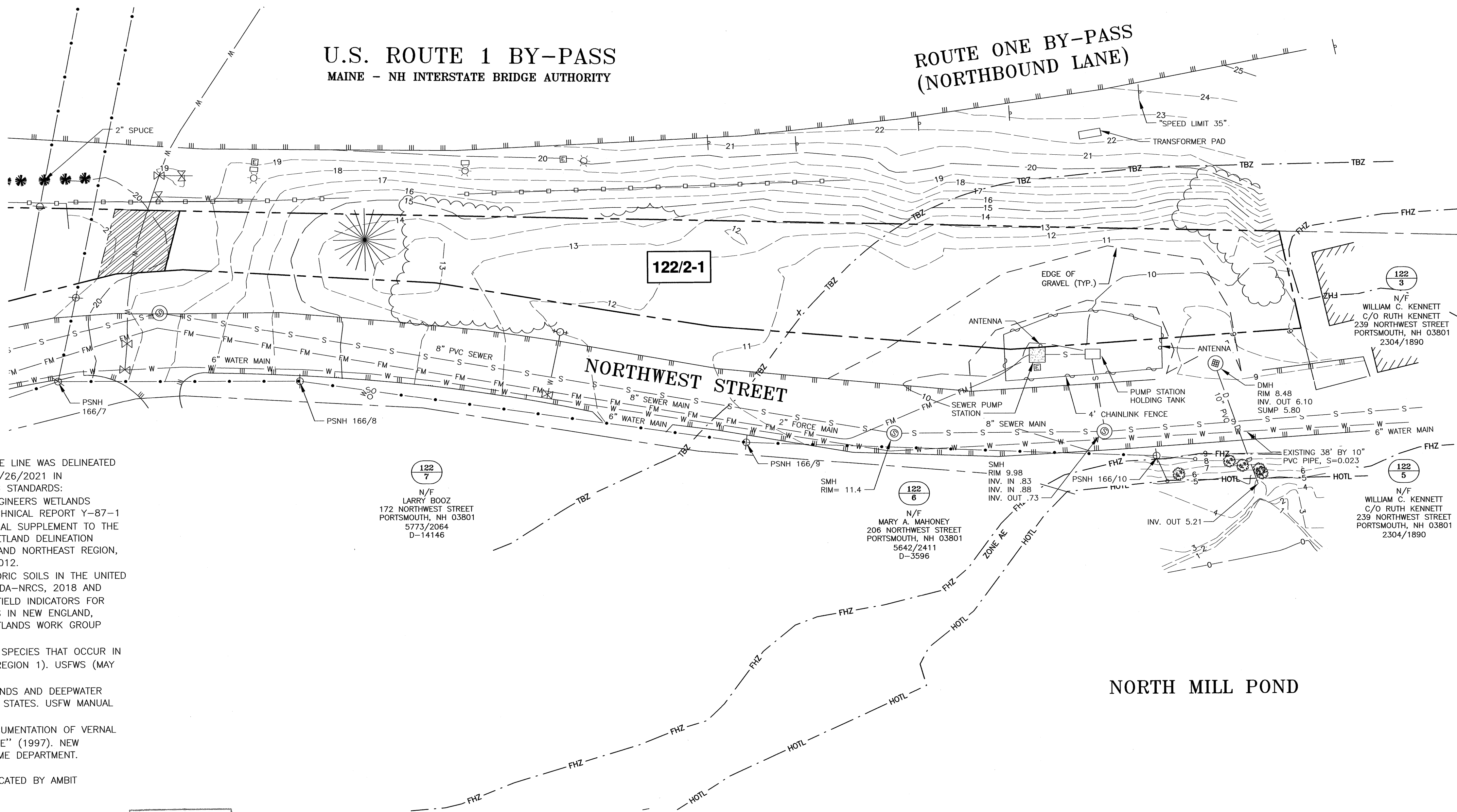
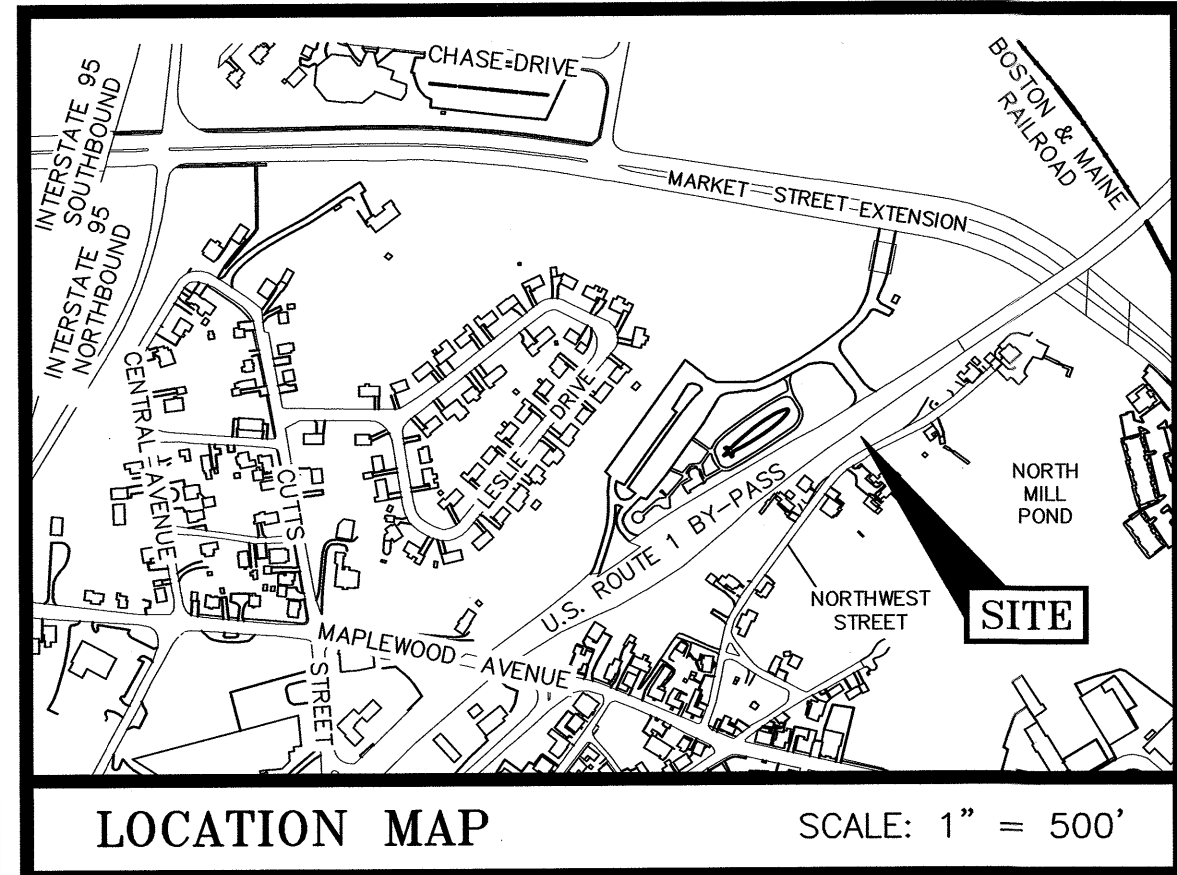
SUBDIVISION PLAN  
TAX MAP 122 - LOT 2  
OWNERS:  
GREGORY J. MORNEAULT &  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE

SCALE: 1" = 30'

SEPTEMBER 2020

FB 249 PG 70

2759.02

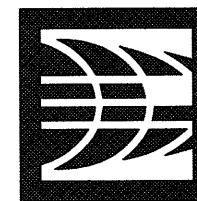
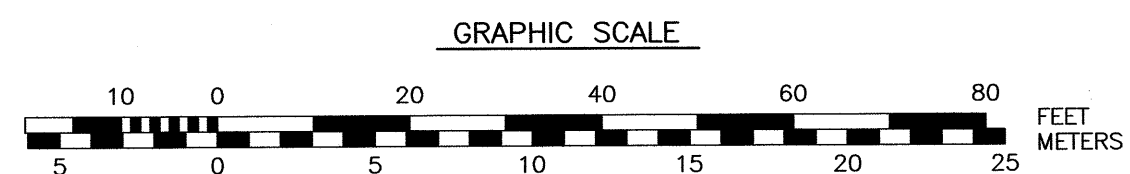
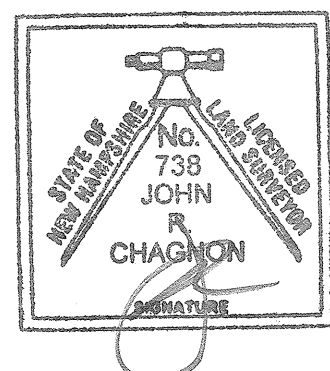


WETLAND NOTES:

- 1) THE HIGHEST OBSERVABLE TIDE LINE WAS DELINEATED BY STEVEN D. RIKER, CWS ON 10/26/2021 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
  - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
  - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, NEIWPCC WETLANDS WORK GROUP (2019).
  - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1), USFWS (MAY 1988).
  - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, USFWS MANUAL FWS/OBS-79/31 (1997).
  - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997), NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) LINE LOCATION WAS FIELD LOCATED BY AMBIT ENGINEERING, INC.

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS DATE



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
- 2) OWNERS OF RECORD:  
GREGORY J. MORNEAULT  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
PORTSMOUTH, N.H. 03801  
  
APPLICANT:  
DARRELL MOREAU  
1B JACKSON HILL STREET  
PORTSMOUTH, NH 03801
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL 9) AS SHOWN ON FIRM PANEL 3301500259F, EFFECTIVE DATE JANUARY 29, 2021. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.
- 4) EXISTING LOT AREA:  
10,634 S.F.  
0.2441 ACRES
- 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON LOT 2-1 OF THE PROPOSED SUBDIVISION.
- 6) ZONING DISTRICTS:  
GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
- 7) DIMENSIONAL REQUIREMENTS:  
LOT AREA: 7,500 S.F.  
FRONTAGE: 100'  
DEPTH: 70'  
SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.  
MAXIMUM STRUCTURE HEIGHT: 35'  
MAXIMUM BUILDING COVERAGE: 25%  
MINIMUM OPEN SPACE: 30%
- 8) PROPOSED LOT 2 DIMENSIONAL CALCULATIONS:  
LOT AREA: 10,634 S.F.  
FRONTAGE: 357'  
DEPTH: 25.4 AVERAGE
- 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

PROPOSED HOUSING  
TBD NORTHWEST ST.  
PORTSMOUTH, NH

NO.	DESCRIPTION	DATE
1	WET DELINEATION NOTE	1/27/21
0	ISSUED FOR COMMENT	8/23/21

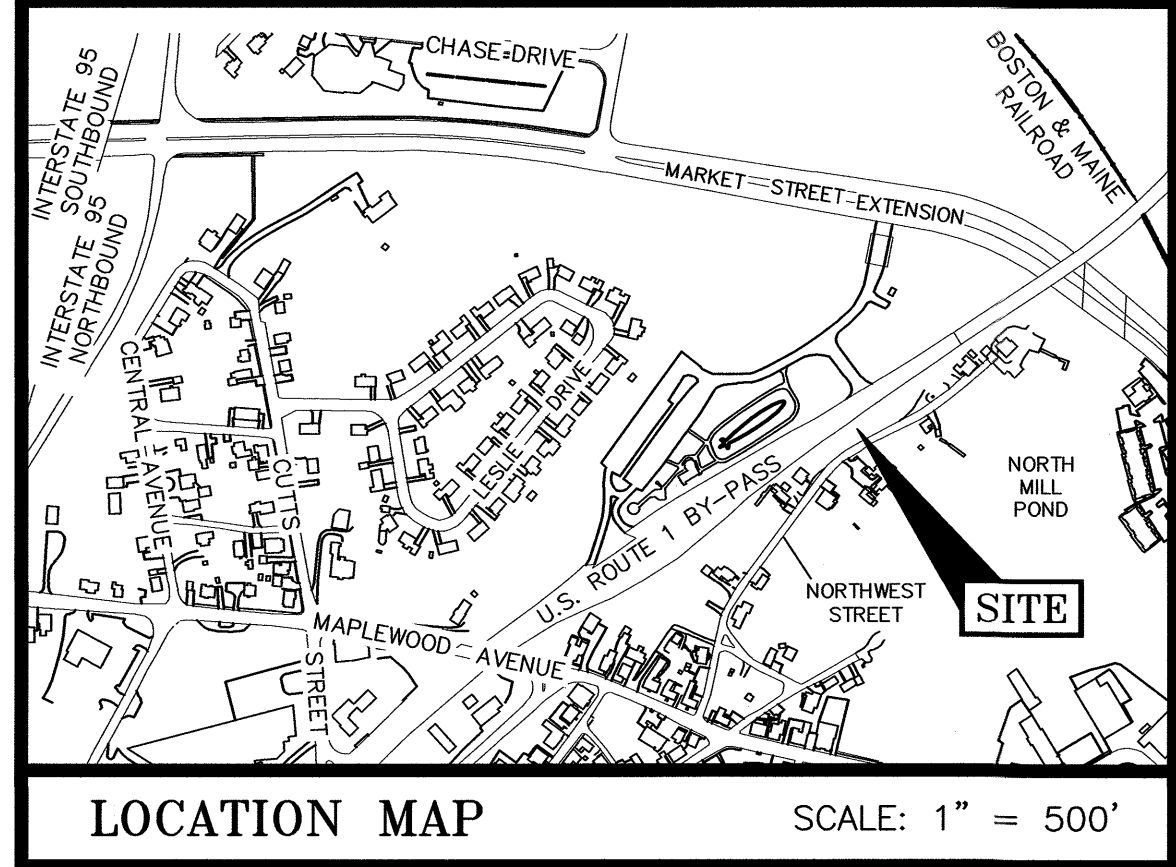
REVISIONS	

SCALE 1" = 20' JUNE 2021

EXISTING CONDITIONS  
PLAN- LOT 2-1

C1



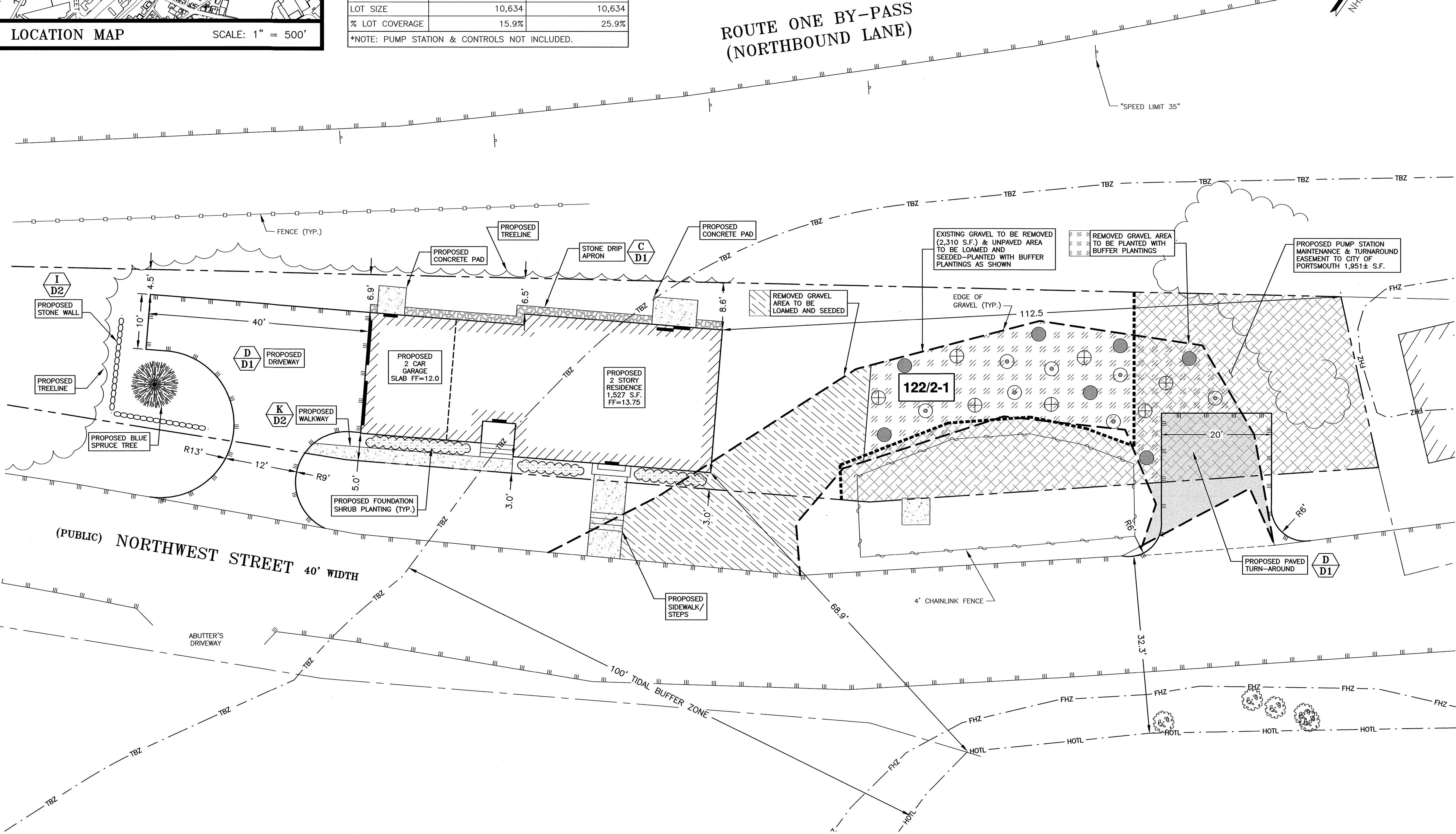


IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	*PRE- CONSTRUCTION IMPERVIOUS (S.F.)	POST- CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	0	1,527
STAIRS	0	53
CONCRETE SLAB	0	65
PAVEMENT	0	1,011
GRAVEL	1,692	0
WALKWAY	0	97
TOTAL	1,692	2,753
LOT SIZE	10,634	10,634
% LOT COVERAGE	15.9%	25.9%

\*NOTE: PUMP STATION & CONTROLS NOT INCLUDED.

BUFFER PLANTING SCHEDULE			
SYMBOL	ITEM	SIZE	QTY
●	CLETHRA ALNIFOLIA	3-4 GALLON	7
○	SWEET PEPPERBUSH	3-4 GALLON	7
⊕	MYRICA PENSYLVANICA	3-4 GALLON	7
	NORTHERN BAYBERRY	3-4 GALLON	7
	VIBURNUM RECOGNITUM	3-4 GALLON	7
	NORTHERN ARROWOOD	3-4 GALLON	7
	MEADOW SWEET	3-4 GALLON	7

ROUTE ONE BY-PASS  
(NORTHBOUND LANE)



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200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
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Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
  - 2) OWNERS OF RECORD:  
GREGORY J. MORNEAULT  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
PORTSMOUTH, N.H. 03801  
  
APPLICANT:  
DARRELL MOREAU  
1B JACKSON HILL STREET  
PORTSMOUTH, NH 03801
  - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL 9) AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE DATE JANUARY 29, 2021. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.
  - 4) EXISTING LOT AREA:  
10,634 S.F.  
0.2441 ACRES
  - 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE PLACEMENT OF A PROPOSED RESIDENCE ON LOT 2 OF THE PROPOSED SUBDIVISION.
  - 6) ZONING DISTRICTS:  
GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
  - 7) DIMENSIONAL REQUIREMENTS:  
LOT AREA: 7,500 S.F.  
FRONTAGE: 100'  
DEPTH: 70'  
SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.  
MAXIMUM STRUCTURE HEIGHT: 35'  
MAXIMUM BUILDING COVERAGE: 25%  
MINIMUM OPEN SPACE: 30%
  - 8) PROPOSED LOT 2 DIMENSIONAL CALCULATIONS:  
LOT AREA: 10,634 S.F.  
FRONTAGE: 357'  
DEPTH: 25.4 AVERAGE  
SETBACKS:  
FRONT: 3.0'  
SIDE: 112.5'  
REAR: 6.5'  
STRUCTURE HEIGHT: <35'  
BUILDING COVERAGE: 1,527 S.F. (14%)  
OPEN SPACE: 7,628 S.F. (72%)
  - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 10) PLANTING & MAINTENANCE SHALL BE IN ACCORDANCE WITH NOFA STANDARDS FOR ORGANIC LAND CARE.

**PROPOSED HOUSING  
TBD NORTHWEST ST.  
PORTSMOUTH, NH**

NO.	DESCRIPTION	DATE
1	BUILDING, DRIVEWAY, STONEWALL, PLANTING	10/27/21
0	ISSUED FOR COMMENT	8/23/21

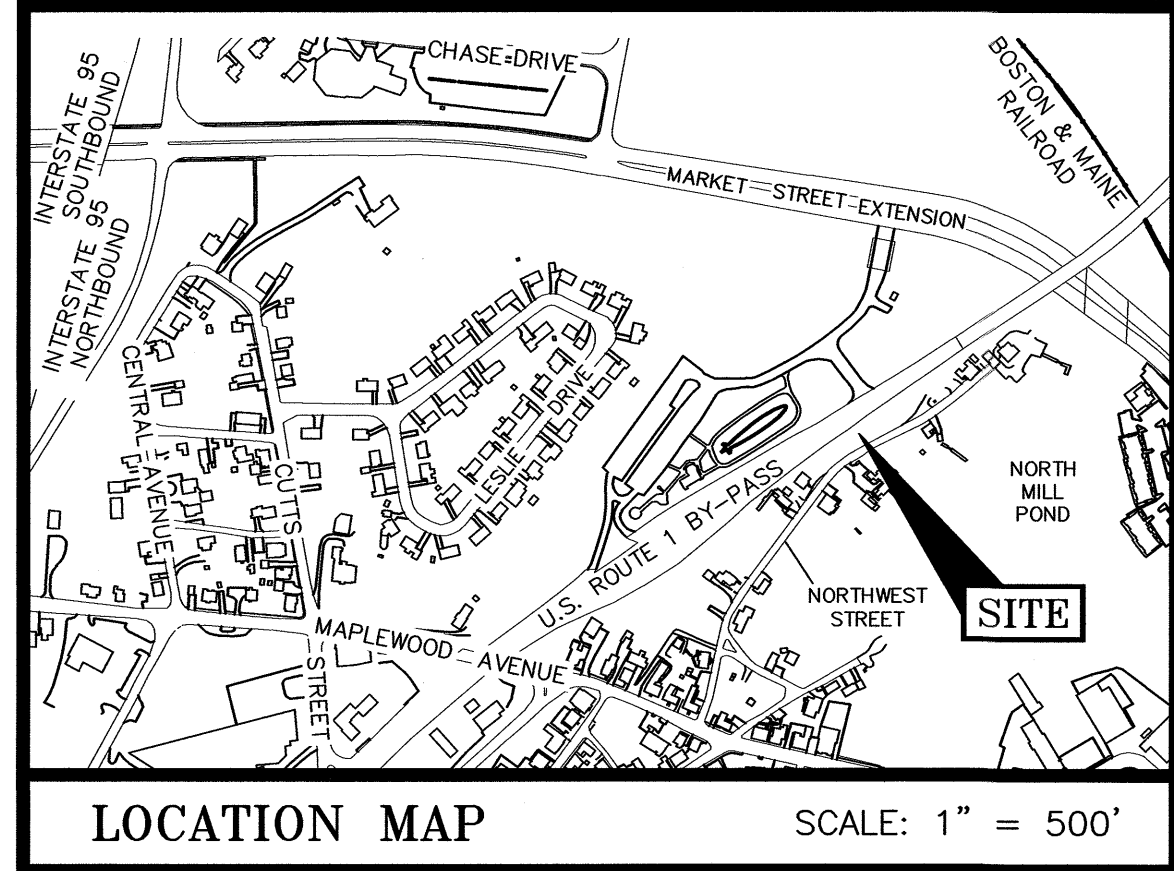
REVISIONS

JOHN R. CHAGNON  
No. 738  
LICENSED PROFESSIONAL ENGINEER  
STATE OF NEW HAMPSHIRE

SCALE 1" = 10' JUNE 2021

SUBDIVISION SITE  
PLAN- LOT 2-1

**C2**

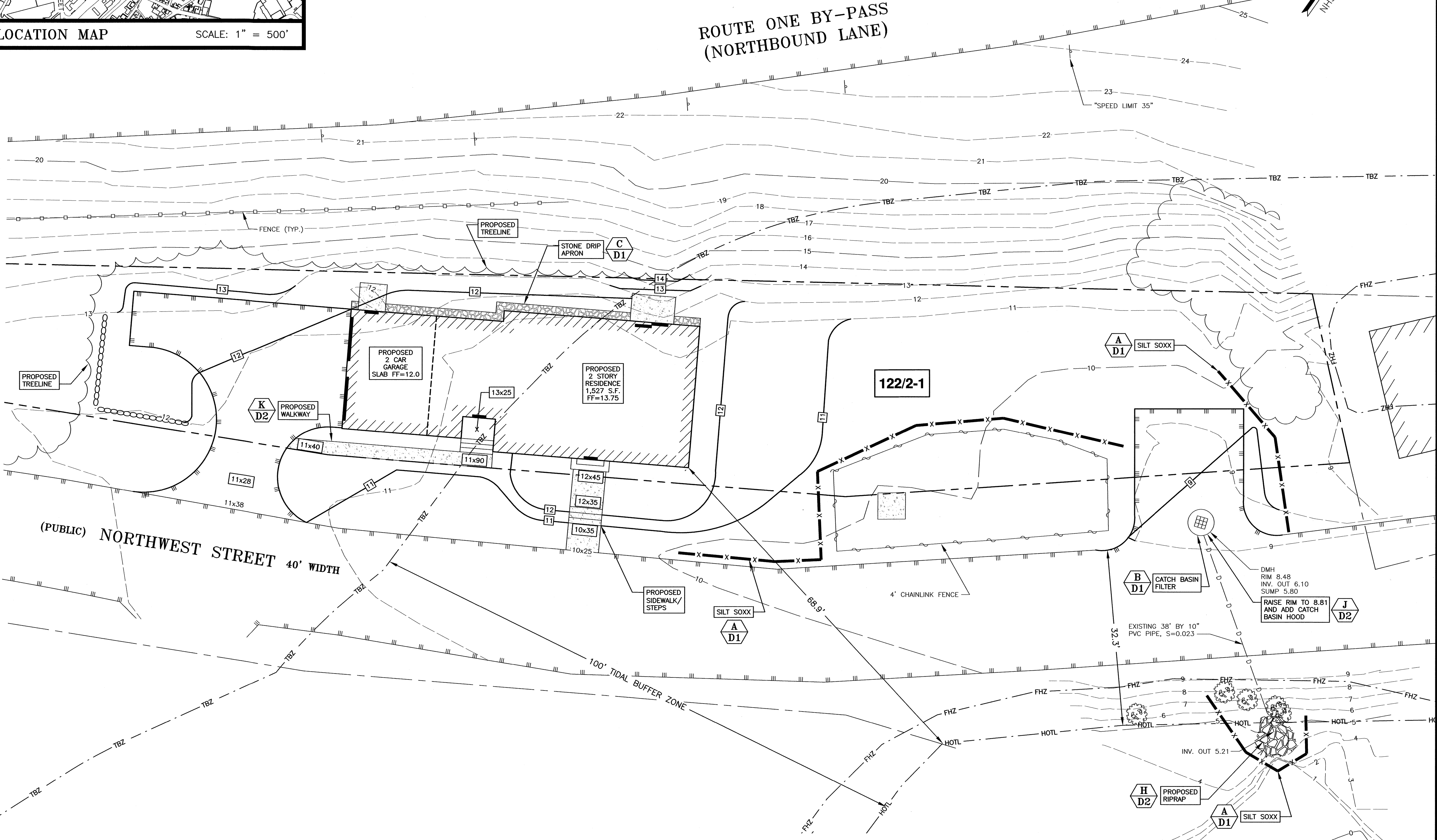
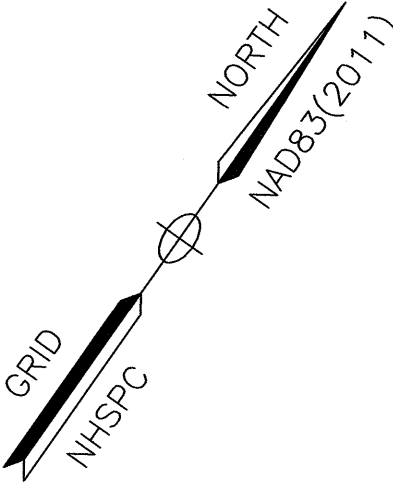


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Portsmouth, N.H. 03801-7114  
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**NOTES:**

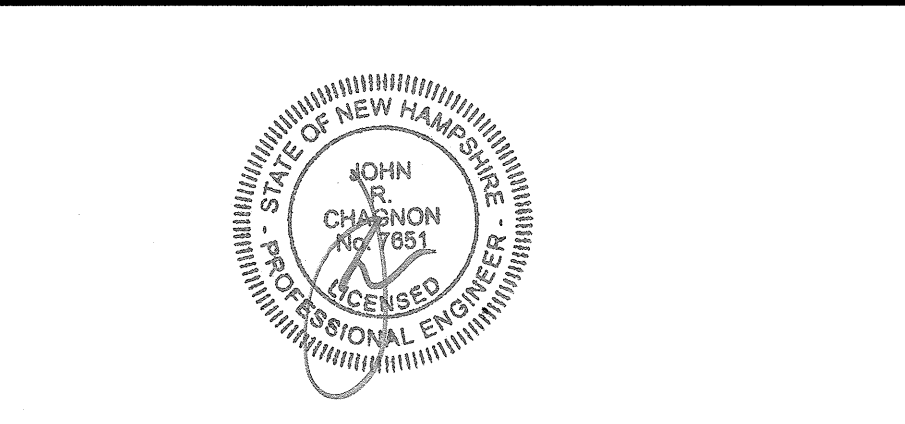
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008)".

**ROUTE ONE BY-PASS  
(NORTHBOUND LANE)**



**PROPOSED HOUSING  
TBD NORTHWEST ST.  
PORTSMOUTH, NH**

NO.	DESCRIPTION	DATE
2	STRUCTURE, DRIVEWAY, TREELINE, STONE WALL	10/27/21
1	RIPRAP	8/25/21
0	ISSUED FOR COMMENT	8/23/21



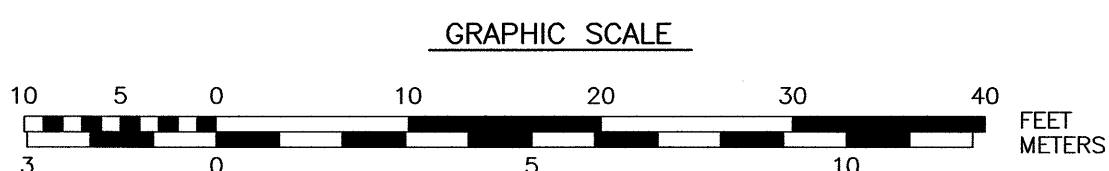
SCALE 1" = 10' JUNE 2021

**EROSION CONTROL  
& GRADING PLAN-  
LOT 2-1**

**C3**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

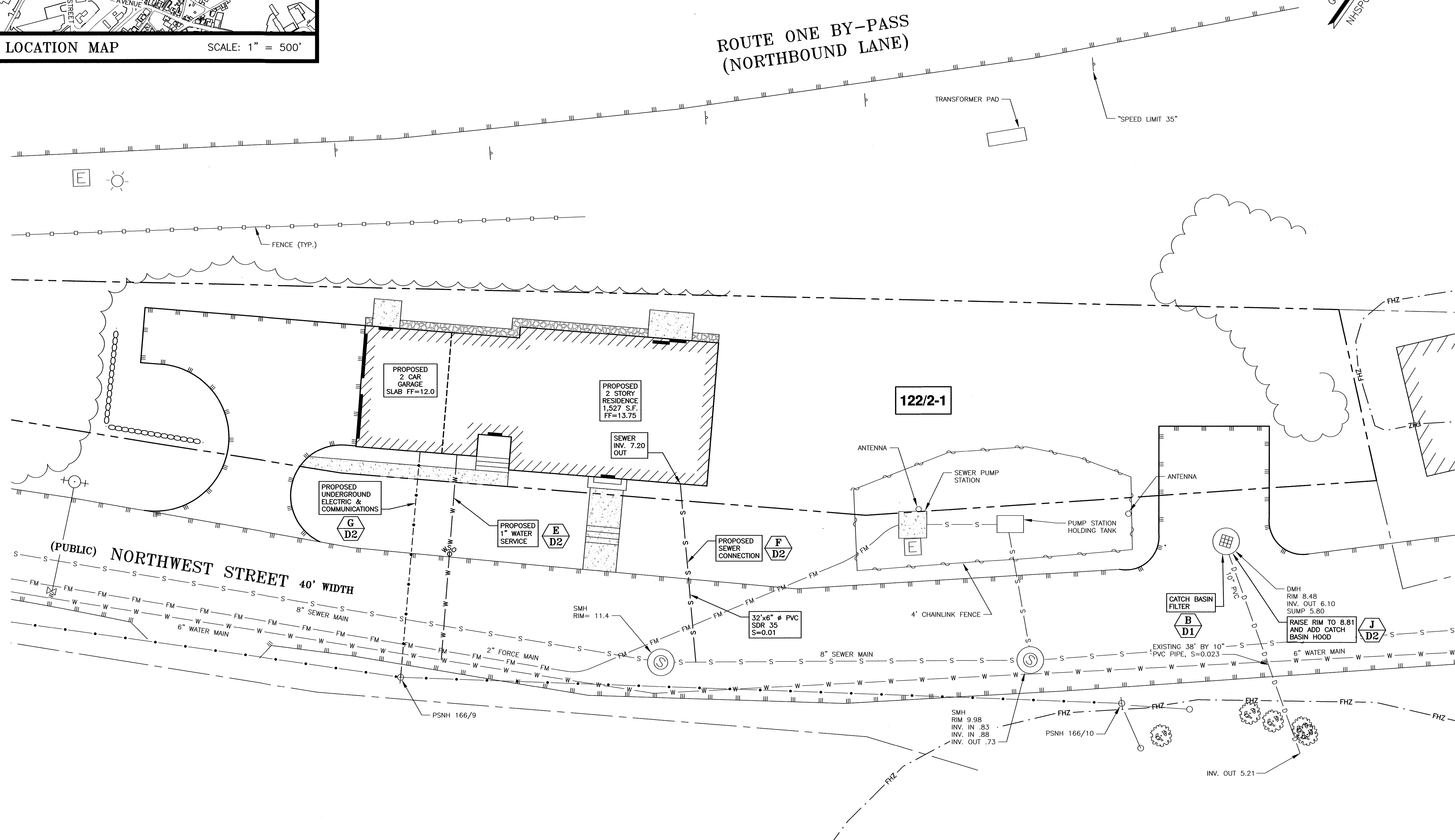
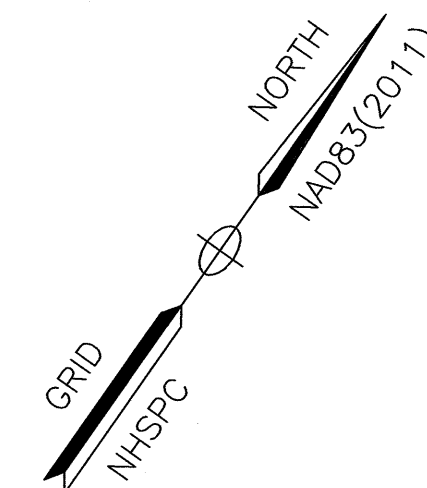
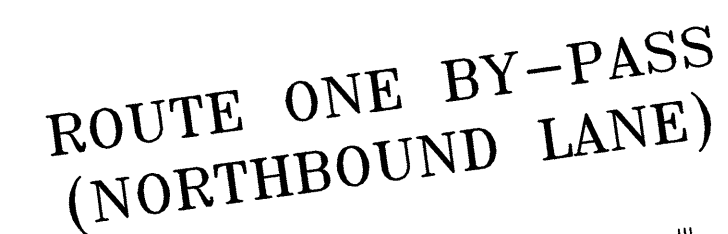
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



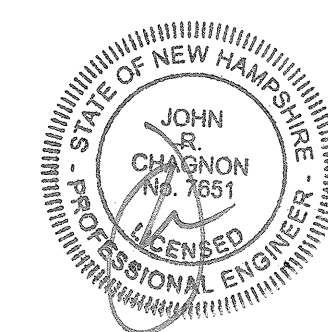




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1	WATER SERVICE SIZE	10/27/2
0	ISSUED FOR COMMENT	8/23/2
NO.	DESCRIPTION	DATE



SCALE 1" = 10'                      JUNE 2021

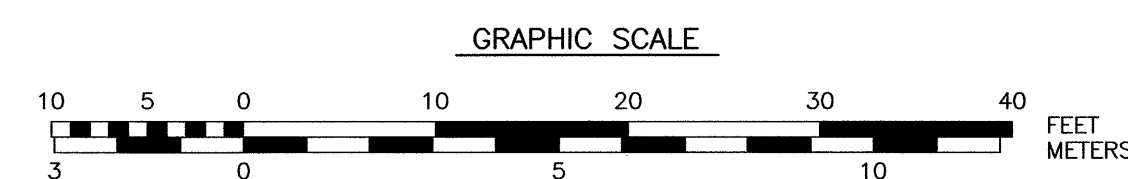
UTILITY PLAN—  
LOT 2-1

## C4

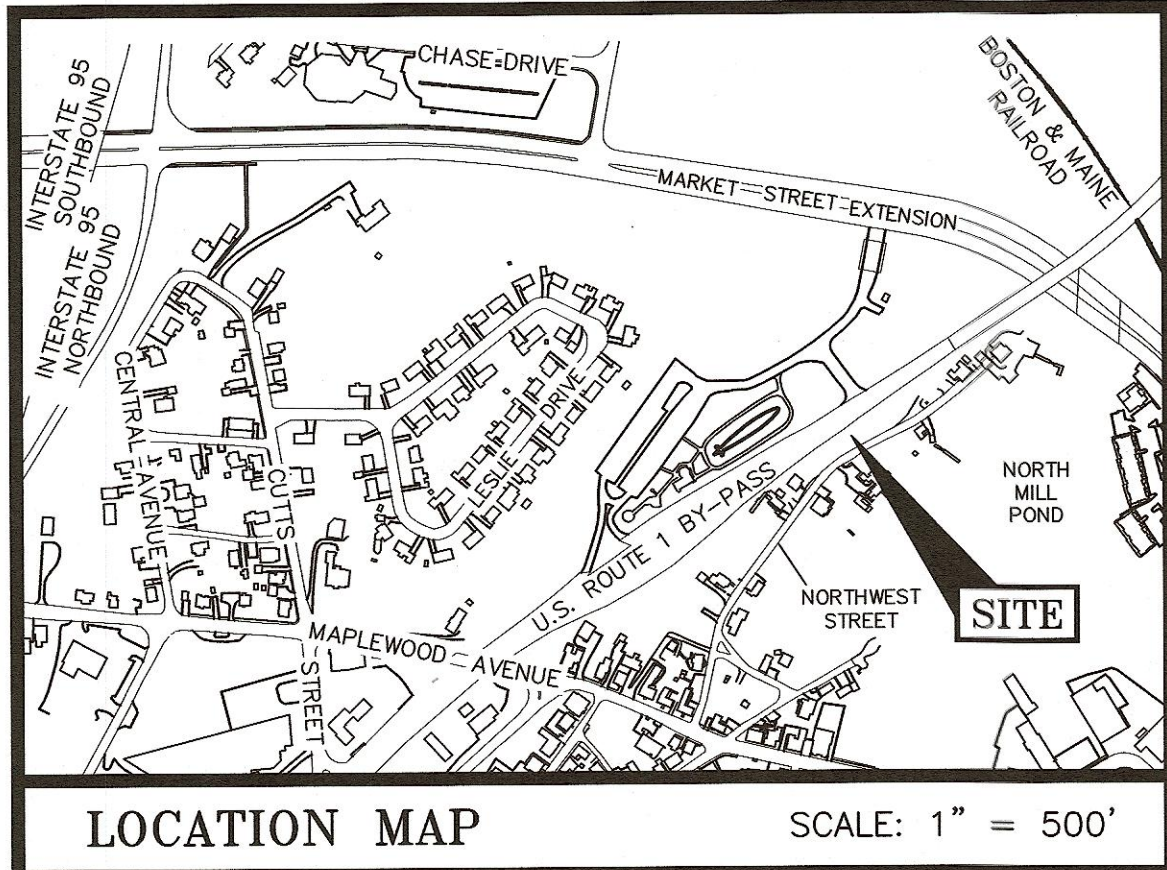
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE \_\_\_\_\_



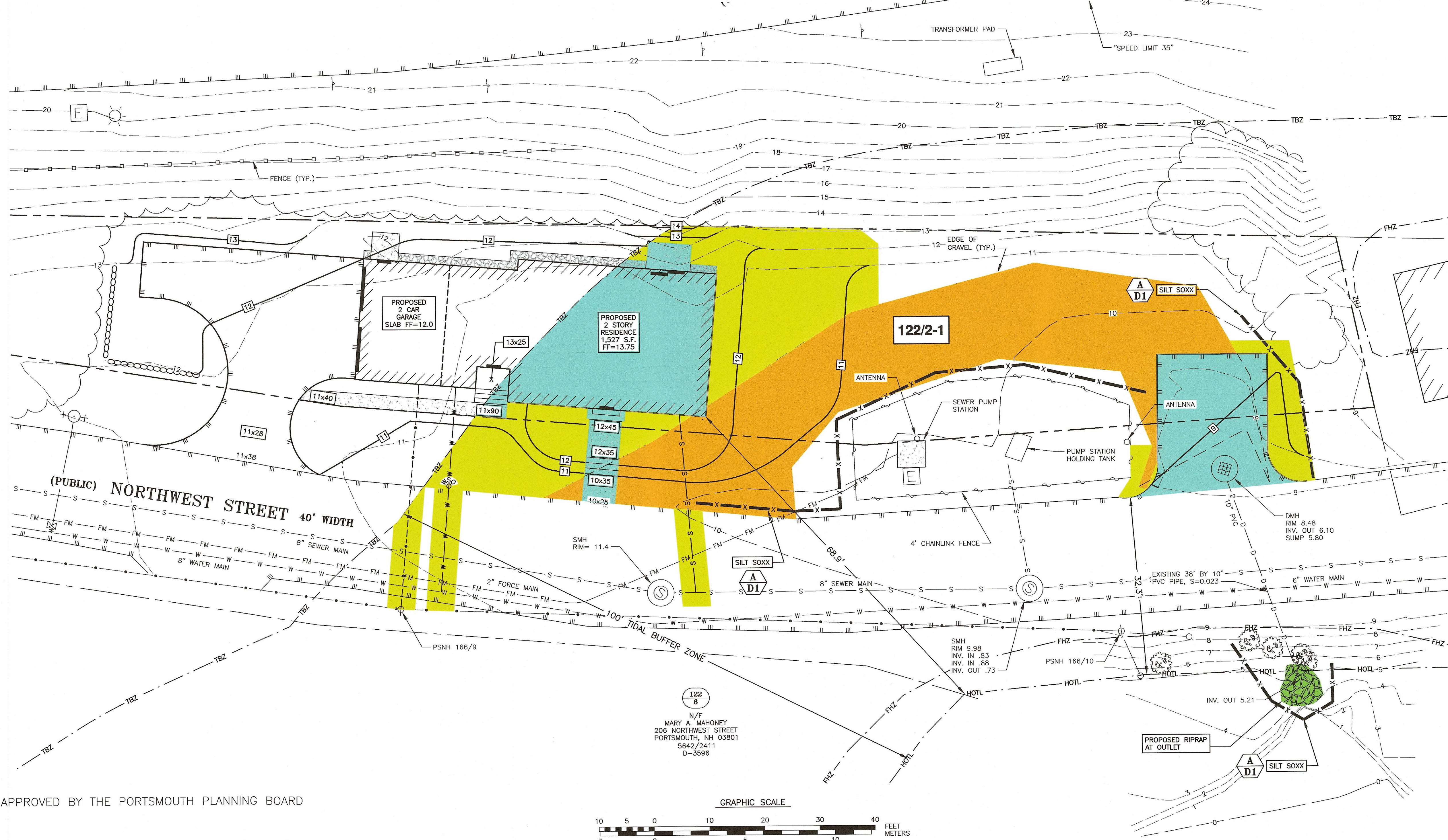
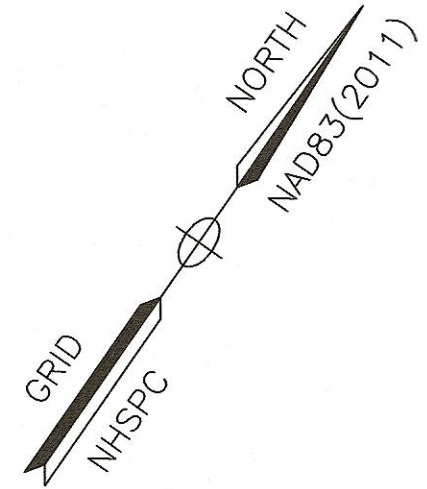




IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	*PRE- CONSTRUCTION IMPERVIOUS (S.F.)	POST- CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	0	1,527
STAIRS	0	53
CONCRETE SLAB	0	65
PAVEMENT	0	1,011
GRAVEL	1692	0
WALKWAY	0	97
TOTAL	1,692	2,753
LOT SIZE	10,634	10,634
% LOT COVERAGE	15.9%	25.9%

\*NOTE: PUMP STATION & CONTROLS NOT INCLUDED.

DISTURBED AREAS IN 100' TIDAL WETLAND BUFFER		
STRUCTURE	COLOR	PROPOSED (S.F.)
IMPERVIOUS: GRAVEL-TO BE REMOVED		1,954
PROPOSED STRUCTURE & PAVEMENT		1,449
PROPOSED RIPRAP		45
TEMPORARY IMPACT AREAS		1,614
TOTAL IMPACT AREA		5,062



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
  - 2) OWNERS OF RECORD:  
GREGORY J. MORNEAULT  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
PORTSMOUTH, N.H. 03801  
APPLICANT:  
DARRELL MOREAU  
18 JACKSON HILL STREET  
PORTSMOUTH, NH 03801
  - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.
  - 4) EXISTING LOT AREA:  
10,634 S.F.  
0.2441 ACRES
  - 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE PLACEMENT OF A PROPOSED RESIDENCE ON LOT 2 OF THE PROPOSED SUBDIVISION.
  - 6) ZONING DISTRICTS:  
GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
  - 7) DIMENSIONAL REQUIREMENTS:  
LOT AREA: 7,500 S.F.  
FRONTAGE: 100'  
DEPTH: 70'  
SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.  
MAXIMUM STRUCTURE HEIGHT: 35'  
MAXIMUM BUILDING COVERAGE: 25%  
MINIMUM OPEN SPACE: 30%
  - 8) PROPOSED LOT 2 DIMENSIONAL CALCULATIONS:  
LOT AREA: 10,634 S.F.  
FRONTAGE: 357'  
DEPTH: 25.4 AVERAGE  
SETBACKS:  
FRONT: 3.0'  
SIDE: 112.5'  
REAR: 6.5'  
STRUCTURE HEIGHT: <35'  
BUILDING COVERAGE: 1,527 S.F. (14%)  
OPEN SPACE: 7,628 S.F. (72%)
  - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

**PROPOSED HOUSING  
TBD NORTHWEST ST.  
PORTSMOUTH, NH**

NO.	DESCRIPTION	DATE
1	IMPACT AREAS	10/27/21
0	ISSUED FOR COMMENT	8/25/21

**REVISIONS**

1	IMPACT AREAS	10/27/21
0	ISSUED FOR COMMENT	8/25/21

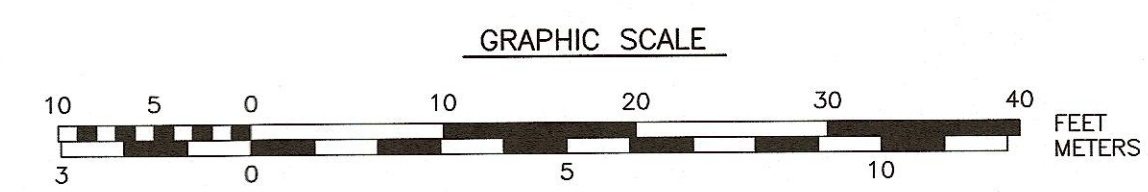
SCALE 1" = 10' JUNE 2021

**CUP & NHDES  
PERMIT PLAN-  
LOT 2-1**

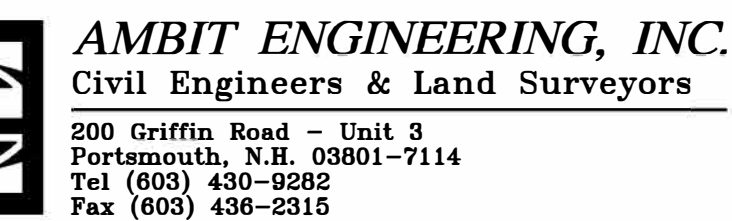
**C5**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_





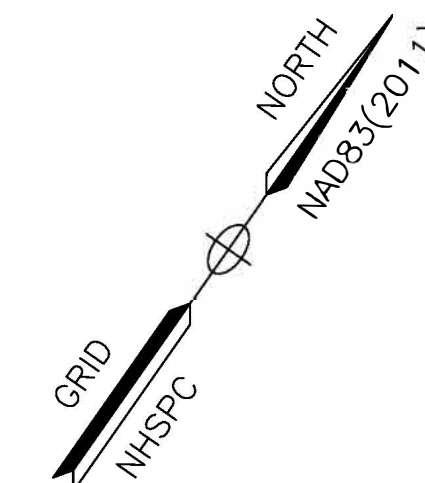


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- 2) OWNERS OF RECORD:  
GREGORY J. MORNEAULT  
AMANDA B. MORNEAULT  
137 NORTHWEST STREET  
PORTSMOUTH, N.H. 03801

APPLICANT:  
DARRELL MOREAU  
1B JACKSON HILL STREET  
PORTSMOUTH, NH 03801

- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE DEVELOPMENT IN CONTEXT TO THE NEIGHBORHOOD.



**PROPOSED HOUSING  
TBD NORTHWEST ST.  
PORTSMOUTH, NH**

0	ISSUED FOR COMMENT	10/27/2
NO.	DESCRIPTION	DATE

## REVISIONS

SCALE 1" = 30'

JUNE 2021

NEIGHBORHOOD  
PLAN-AERIAL

P1

JOBS\JUN2700\JUN 2759\2020 Subvision\Plans & Specs\Site\2759 Site 2021.dwg, 10/26/2021 3:52:00 PM, Adobe PDF







Diagram illustrating a water service connection from a street main to a property line. The connection includes a long radius bend, a curb box, and a cast iron improved extension type with arch pattern base and lid with plug. The diagram shows the water main in the street, the tapping saddle, the long radius bend, the curb box, and the extension type with arch pattern base and lid with plug. The connection is labeled with dimensions and material specifications.

Labels and dimensions in the diagram:

- 3/4" to 2" TYPE K COPPER (120 PSI) WATER SERVICE
- COPPER CORPORATION STOP TAPPED, DIRECTED INTO PIPE BARREL (2" MUST BE SET IN TAPPING SADDLE)
- WATER MAIN IN STREET
- LONG RADIUS BEND
- MINIMUM COVER 40"
- SEE NOTE 2
- 12"±
- PROPERTY LINE
- FINISHED GRADE
- CAST IRON IMPROVED EXTENSION TYPE WITH ARCH PATTERN BASE AND LID WITH PLUG
- CURB BOX
- CURB STOP COPPER TO COPPER
- 1" TYPE K COPPER (120 PSI) ON CUSTOMER'S PROPERTY

This diagram illustrates the installation of a Tee and Plug in a Cast Iron Curb Box. The setup shows a street sewer line entering a curb box from the left. A Tee/45° & Wye is installed at the curb box, with a minimum cover of 4 inches. The sewer line continues horizontally, maintaining a minimum slope of 1/4" per foot. The pipe has a minimum diameter of 6 inches. The line terminates at an adapter with a flexible joint, which is connected to a building drain. The building drain is shown rising from the floor level. The distance from the curb box to the building drain is specified as 1'-0" to 3'-0". A clean out is also indicated on the building drain. The diagram includes labels for the street sewer, tee and plug, pipe, sewer slope, adapter, building drain, clean out, and floor.

OBSERVATION TEE AND PLUG IN CAST IRON CURB BOX/COVER

STREET

MINIMUM COVER

4" MINIMUM COVER

TEE/45° & WYE (SEE NOTES 4 & 5)

PIPE 6" MINIMUM

SEWER: MINIMUM SLOPE 1/4" PER FOOT

1'-0" TO 3'-0"

BUILDING DRAIN

CLEAN OUT

FLOOR

ADAPTER WITH FLEXIBLE JOINT (SEE NOTE)

NOTES:

- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.
- 2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
- 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
- 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
- 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANY'S PRIOR TO ANY CONSTRUCTION.

[illegible]

EXISTING GROUND

APPLY ABUTTING SURFACE TREATMENTS AS REQUIRED

EXISTING 10" Ø PVC PIPE- CUT BACK TO EDGE OF RIPRAP

GEOTEXTILE FABRIC

EXISTING GROUND

6" GRAVEL BLANKET

INFILL EXISTING DEPRESSION WITH COMPACTED FILL

NHDOT CLASS D RIP RAP MINIMUM THICKNESS 2.5'

36" MIN

## J C3 "ELIMINATOR" OIL & FLOATING DEBRIS TRAP NTS

**K** CONCRETE WALKWAY  
**C3** NTS

**K** CONCRETE WALKWAY  
**C3** NTS

FIELDSTONE WALL, DRY LAID LOOK  
MORTARED CENTER  
1/12 BATTER ON BOTH SIDES.  
PROVIDE 2" WEEPS 6" O.C.

18"

1:12 BATTER

36"

18"

GEOTEXTILE FABRIC

18" - 3/4" - 1 1/2"

COMPACTED SUBGRADE

COMPACTED CRUSHED STONE

**I** FIELDSTONE WALL  
**C2** NTS

## 2759.02



## **SEPTIC DESIGNS of NH, LLC**

Licensed Designer, Installer, and Certified Septic Evaluator

20210823

RE: 797 Elwyn Rd., Portsmouth, NH – Conditional Use Permit

City of Portsmouth,

This letter is to briefly describe the application, what the homeowners are trying to do, and why we need the Conditional Use Permit.

The application is for the addition on the back of the house as well as replacing a septic system to one that is up to present day code. The previous septic system is outdated and is in the same location as the proposed septic. Everything will be new for the septic from the pipe leaving to the leaching area to include the septic tank. The tank will be monolithic.

This addition and septic is being completed by the home owners. They are both elderly and one of them does have a medical condition. This addition is to help them improve their quality of life as well as help the children assist their parents better.

The City of Portsmouth has a wetlands setback of 100' and swales are included in this setback requirement. The field and proposed addition are over 156' to poorly drained soils on the back of the property which is outside of the City setback. However, there is a culvert that crosses the road between the two properties. This culvert discharges into a slight swale that runs along the property line to the poorly drained soils at the end of the property. We need this conditional use permit because the septic system and the proposed addition is inside the 100' setback from the swale.

Kind Regards,

Micah Denner  
Owner, Septic Designs of NH, LLC



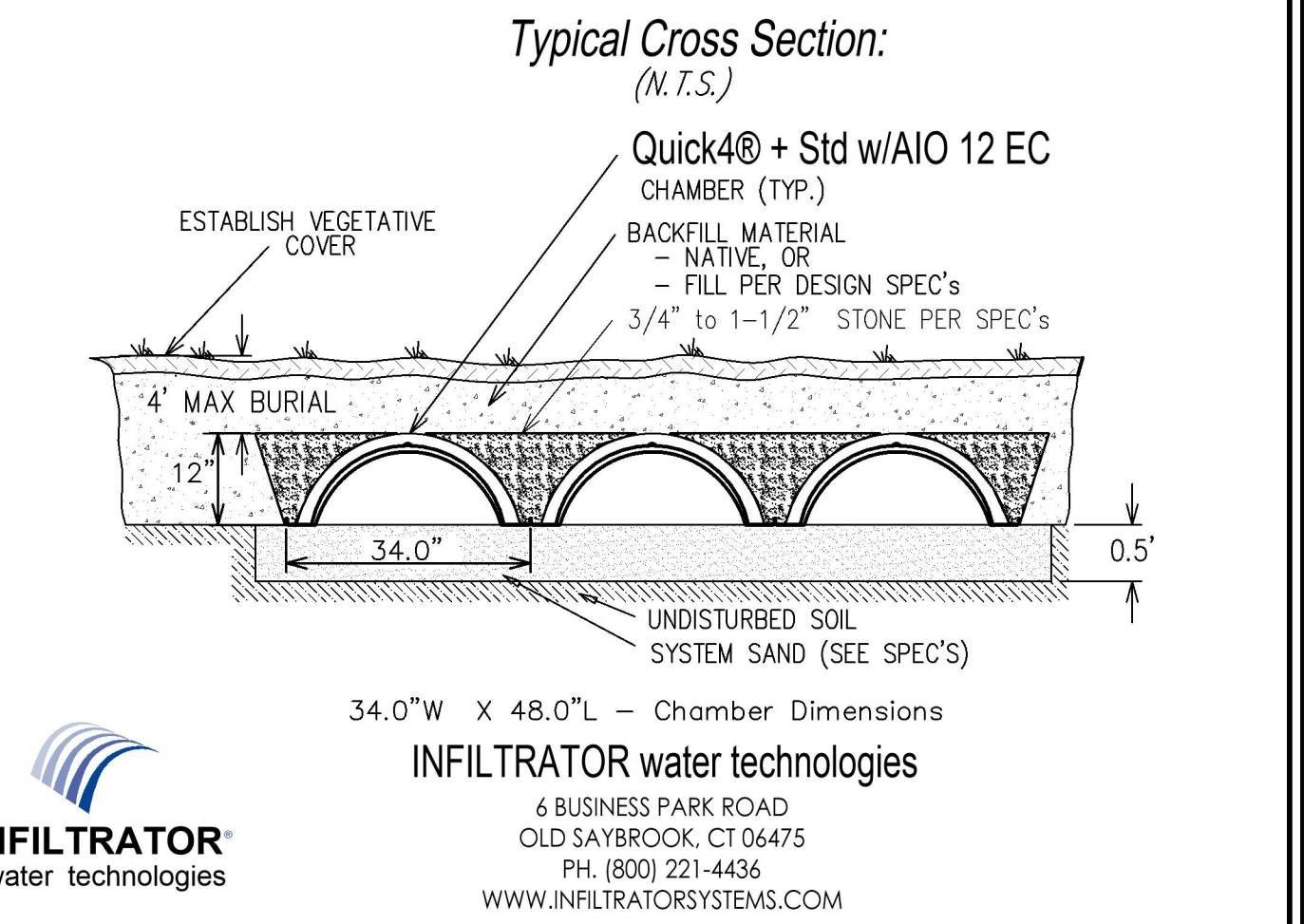
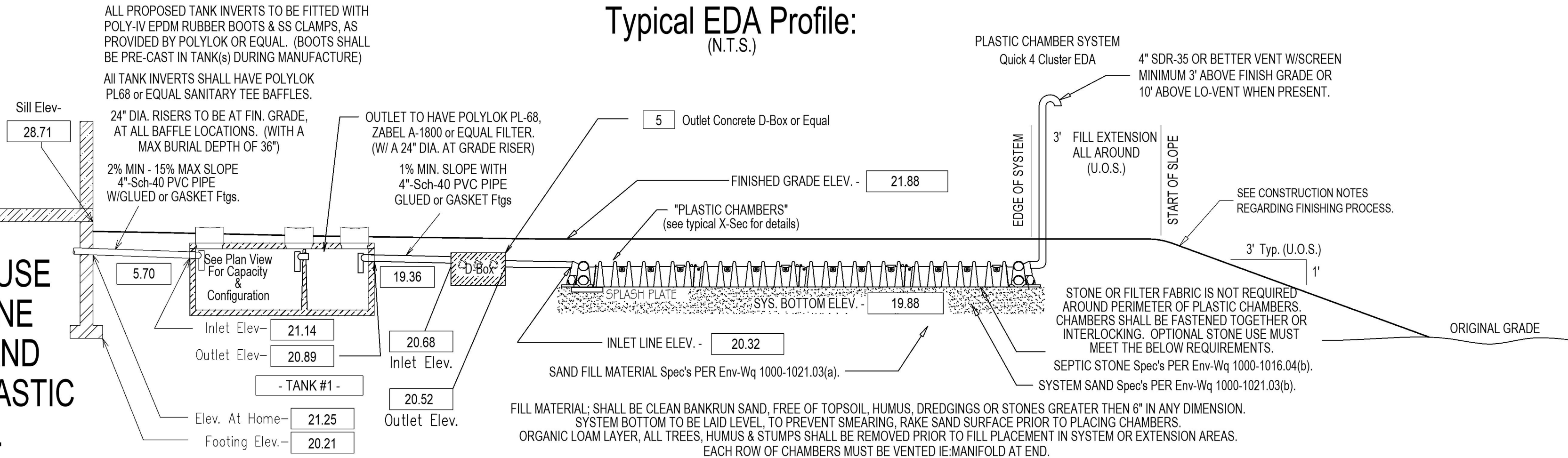
Material Specifications	
- System Sand -	- Stone -
<b>ASTM C-33;</b> 100% passing $\frac{3}{8}$ " Screen 95-100% passing $\frac{1}{2}$ " Screen 80-100% passing $\frac{3}{4}$ " Screen 50-85% passing #16 Screen 25-60% passing #30 Screen 10-30% passing #50 Screen 0-10% passing #100 Screen 0-5% passing #200 Screen	<b>AASHTO T11-085;</b> 100% passing 2" Screen 90-100% passing 1 $\frac{1}{2}$ " Screen 0-20% passing $\frac{3}{4}$ " Screen 0-5% passing #4 Screen 0-1.5% passing #200 Screen
All Material must be WASHED Product	

-- WETLANDS DELINEATION --  
Minimum area of 75' around the OWTS has been delineated per the;  
"Corps of Engineers Wetlands Delineation Manual  
Technical Report Y-87-1"

The manual was used in accordance with Env-Wq 1014.06  
by: "Micah Denner"

And unless otherwise shown on the plan, it was  
determined that No Wetlands are present.

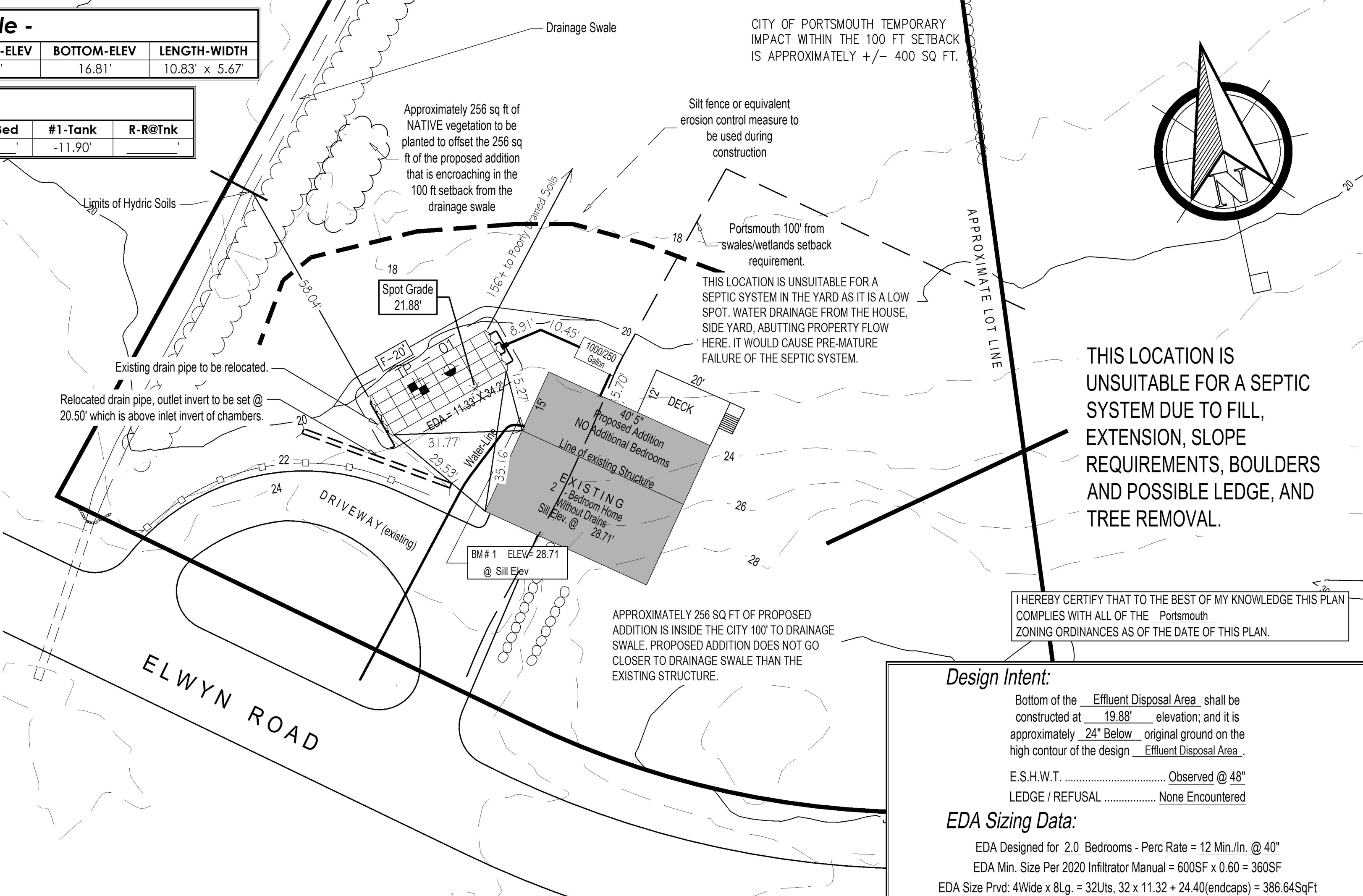
INSTALLER TO USE  
WASHED STONE  
IN-BETWEEN AND  
AROUND THE PLASTIC  
CHAMBERS.



- Septic Tank Dimension & Invert Table -							
LOCATION	OA-CAPACITY	CONFIGURATION	INLET-INVERT	OUTLET-INVERT	TANK-TOP-ELEV	BOTTOM-ELEV	LENGTH-WIDTH
#1-Tank	1250-Gallon	1000/250	21.14'	20.89'	22.06'	16.81'	10.83' x 5.67'

- Key Construction Measurements -								
BM-Nmbr	BM-Elev	R-R@BM	Footing	R-R@Ftg	ISDS-Diag.	ISDS-Bottom	R-R@Bed	#1-Tank
1	28.71		-8.50'		36.0285'	-8.83'		-11.90'

- INSTALLER NOTES --
- SEPTIC TANK: IF UTILIZING EXISTING PRECAST CONCRETE SEPTIC TANK, CONTRACTOR TO CHECK CONDITION OF BAFFLES AND REPAIR OR REPLACE AS NECESSARY.
  - SEAL AND GROUT ALL SEAMS OF NEW SEPTIC TANK PRIOR TO INSTALLATION WITH APPROVED METHOD SUCH AS HYDRAULIC CEMENT.
  - LEVEL BED, ALL PIPES TO BE SET AT SAME ELEVATION.
  - USE SCH 40 PVC PIPE FROM TANK TO D-BOX AND OWTS.
  - USE SCH 40 PVC PIPE FROM HOUSE TO TANK.
  - INSTALL A VENT, TO BE A MINIMUM OF 36" ABOVE FINISHED GRADE.
  - INSTALL A PLASTIC/CONCRETE 8 OUTLET D-BOX.
  - INSTALL FILTER FABRIC (5 OZ. SQ YD OR GREATER) OVER SYSTEM AFTER STATE APPROVAL TO PREVENT INFILTRATION OF BACKFILL.
  - INSTALL AN EF-4 EFFLUENT FILTER OR EQUIVALENT.
  - INSTALL AN ENTRY RESISTANT RISER OVER THE OUTLET TANK BAFFLE TO BRING IT TO GRADE.
  - REMOVE ALL TREES AND SHRUBS WITHIN 10' OF SYSTEM COMPONENTS.
- QUICK-4 Plus Std & Std CHAMBER NOTES --
- PIPES LEADING TO AND EXITING FROM THE PROPOSED SEPTIC TANK SHALL BE SEALED WITH AN APPROVED METHOD AS TO MAKE THE JOINTS WATERTIGHT.
  - MAINTENANCE: RECOMMEND INSPECTION OF SEPTIC TANKS AT LEAST ONCE EVERY TWO YEARS AND CLEAN IF COMBINED THICKNESS OF SLUDGE AND SCUM EQUALS MORE THAN 1/4 OF THE LIQUID DEPTH INSIDE THE TANK.
  - SHOULD FAILURE OCCUR THIS OWTS SHALL BE REBUILT IN PLACE.
  - NEAREST NEIGHBORING WELL OR GROUP 6 SOIL ARE ALL GREATER THAN 75' AWAY FROM PROPOSED SEPTIC SYSTEM.
  - PRIOR TO THE START OF CONSTRUCTION ALL BENCHMARKS SHALL BE VERIFIED FOR ACCURACY.
  - SYSTEM TO BE INSTALLED IN ACCORDANCE WITH PRODUCT DESIGN AND INSTALLATION MANUAL, STATE AND LOCAL REGULATIONS.
  - MEDIUM TO COARSE TEXTURED SAND, WITH AN EFFECTIVE SIZE OF .025 TO 2.0 MM, WITH LESS THAN 2% AND NO GREATER THAN 5% PASSING THE NUMBER 200 SIEVE, AND NO PARTICLE SIZE LARGER THAN 3/4 INCH; OR MATERIALS MEETING THE ASTM C-33 SPECIFICATION REQUIRED UNDER AND AROUND INFILTRATOR® CHAMBERS. (SEE DESIGN AND INSTALLATION MANUAL FOR COMPLETE SAND AND FILL SPECIFICATIONS.)
  - INSTALLER ADVISED TO CONTACT DIG SAFE PRIOR TO CONSTRUCTION.
  - DO NOT INSTALL SYSTEM ON FROZEN GROUND OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.
  - NO DRAINS, HOT TUBS, SAUNAS, GARBAGE DISPOSALS ETC.. SHALL BE INCORPORATED INTO THIS SYSTEM UNLESS OTHERWISE SPECIFIED.
  - SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH Env-Wq 1000.
  - FOUNDATION DRAINS: INSTALLED, NO FOUNDATION DRAINS SHALL BE INSTALLED WITHIN 15' OF THE PROPOSED SEPTIC SYSTEM OR WITHIN 5' OF THE PROPOSED SEPTIC TANK.
  - NO GARBAGE DISPOSAL IS PROPOSED WITH THIS DESIGN. SHOULD THE PROPOSED HOMEOWNER DECIDE TO ADD A GARBAGE DISPOSAL OR GRINDER THAN THE CAPACITY OF THE SEPTIC TANK WILL NEED TO BE DOUBLED. ADDITIONAL APPROVALS FROM THE NH-DES WILL BE REQUIRED FOR THIS CHANGE.
  - JOINTS ARE TO BE BELLED PVC OR STANDARD SLIP COLLARS.
  - FILL SHALL NOT BE OF SATURATED SOIL.
  - ALL TREES TOPSOIL, ROOTS AND ORGANIC MATTER MUST BE REMOVED FROM THE AREA TO BE FILLED, OUT TO AND INCLUDING THE AREA UNDER THE IMPERMEABLE SOIL BARRIER. FILL MATERIAL TO BE CLEAN MEDIUM TO COURSE SAND, FREE FROM TOPSOIL, HUMUS, DREDGINGS, OR STONE OVER 6" IN DIMENSION.
  - PROVIDE MEASURED TIES TO OWNER, ON THE LOCATION OF THE SEPTIC TANK ACCESS POINTS.
  - QUICK 4 Plus Std or Std CHAMBERS BY INFILTRATOR ARE TO BE USED, SIZING CALCULATION INCLUDES THE AREA OF THE ENDCAPS (see specific endcap note for model & effective area)
  - ANY DISCREPANCIES OR UNUSUAL CONDITIONS SHALL BE REPORTED TO THE DESIGNER BEFORE CONTINUING WITH THE INSTALLATION.
  - WATER SOFTENERS, JACUZZI TUBS OR SIMILAR AMMENITIES SHALL NOT BE DISCHARGED INTO THE PROPOSED FIELD. IF SUCH AMENITIES ARE PROPOSED IN THE NEW STRUCTURE THEN THE CONTRACTOR SHALL NOTIFY THE DESIGNER AND AN ALTERNATIVE FOR THESE SERVICES WILL BE DIVIDED AND INSTALLED.
  - THE PURPOSE OF THIS PLAN IS TO INSTALL A NEW SEPTIC SYSTEM TO REPLACE A SEPTIC THAT IS IN POOR CONDITION.
  - PRODUCT SUBSTITUTION(S) ARE NOT ALLOWED, AND MAY REQUIRE A NEW DESIGN & APPROVAL(S).



- PLAN PURPOSE --
- THE PURPOSE OF THIS PLAN IS TO REPLACE AN EXISTING FAILED SYSTEM.
- 2- There is no CHANGE or EXPANSION of USE associated with this system design.
- 3- Unless Otherwise Shown, all existing system components are to be excavated, removed from the site and disposed of in a legal manner.
- 4- All uses shown are as previously approved or existed prior to January 1, 1990.

PROPOSED TANK AND LEACH  
FIELD ARE IN SAME  
LOCATION AS EXISTING TANK  
AND LEACH FIELD.

- LEGEND -	
ANGLE POINT	TREE LINE
BENCHMARK	UTILITY POLE
BOULDERS	WELL
DRILL HOLE	WETLAND LINE
GRANITE BOUND	
IRON PIN	
SPOT ELEVATION	
STONE WALL	

REV #	DATE	DESCRIPTION	BY	CHK
A	9-Aug-2020	Adds poorly drained limits	FBF	MRD

**Design Intent:**

Bottom of the Effluent Disposal Area shall be constructed at 19.88' elevation; and it is approximately 24" Below original ground on the high contour of the design Effluent Disposal Area.

E.S.H.W.T. .... Observed @ 48"

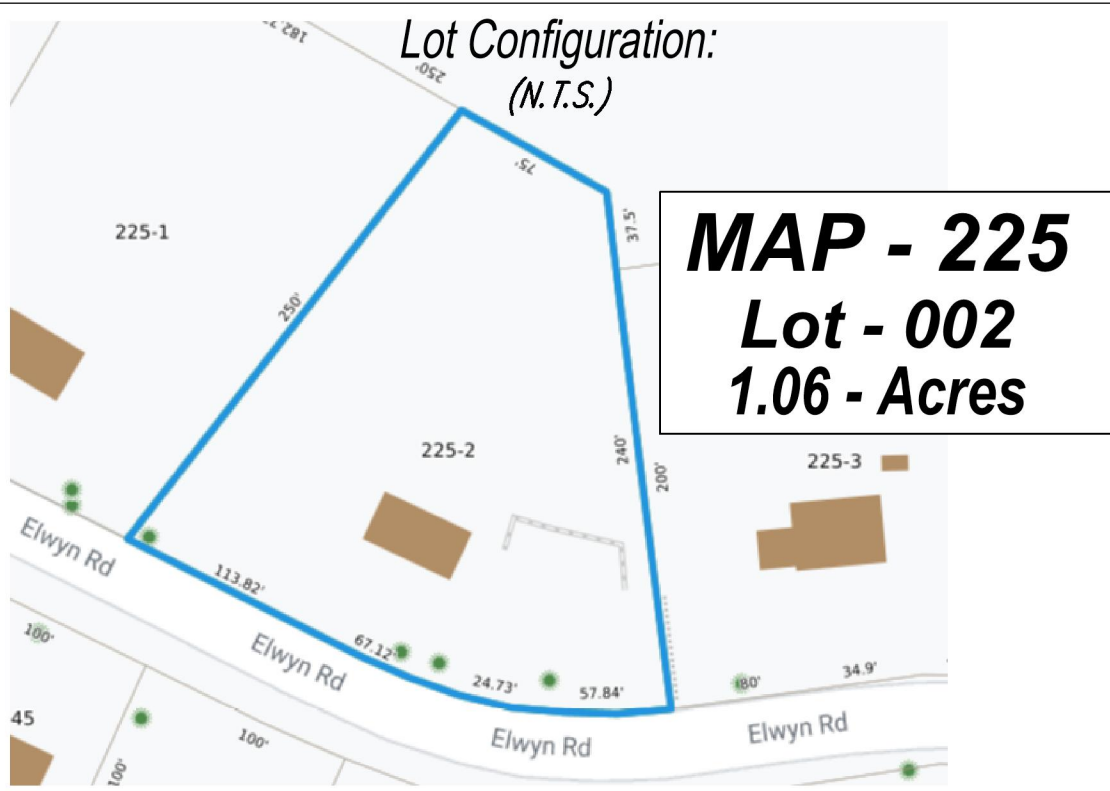
LEDGE / REFUSAL .... None Encountered

**EDA Sizing Data:**

EDA Designed for 2.0 Bedrooms - Perc Rate = 12 Min./In. @ 40"

EDA Min. Size Per 2020 Infiltrator Manual = 600SF x 0.60 = 360SF

EDA Size Prvd: 4Wide x 8Lg. = 32Units, 32 x 11.32 + 24.40(endcaps) = 386.64SqFt



TEST PIT #..... 1 @ 20.92'

To-8" 10YR3/3, DARK BROWN Granular, Loam, V-Friable

To-39" 10YR3/6, DRK YELLOWISH BRN Granular, F-Sandy Loam, Friable

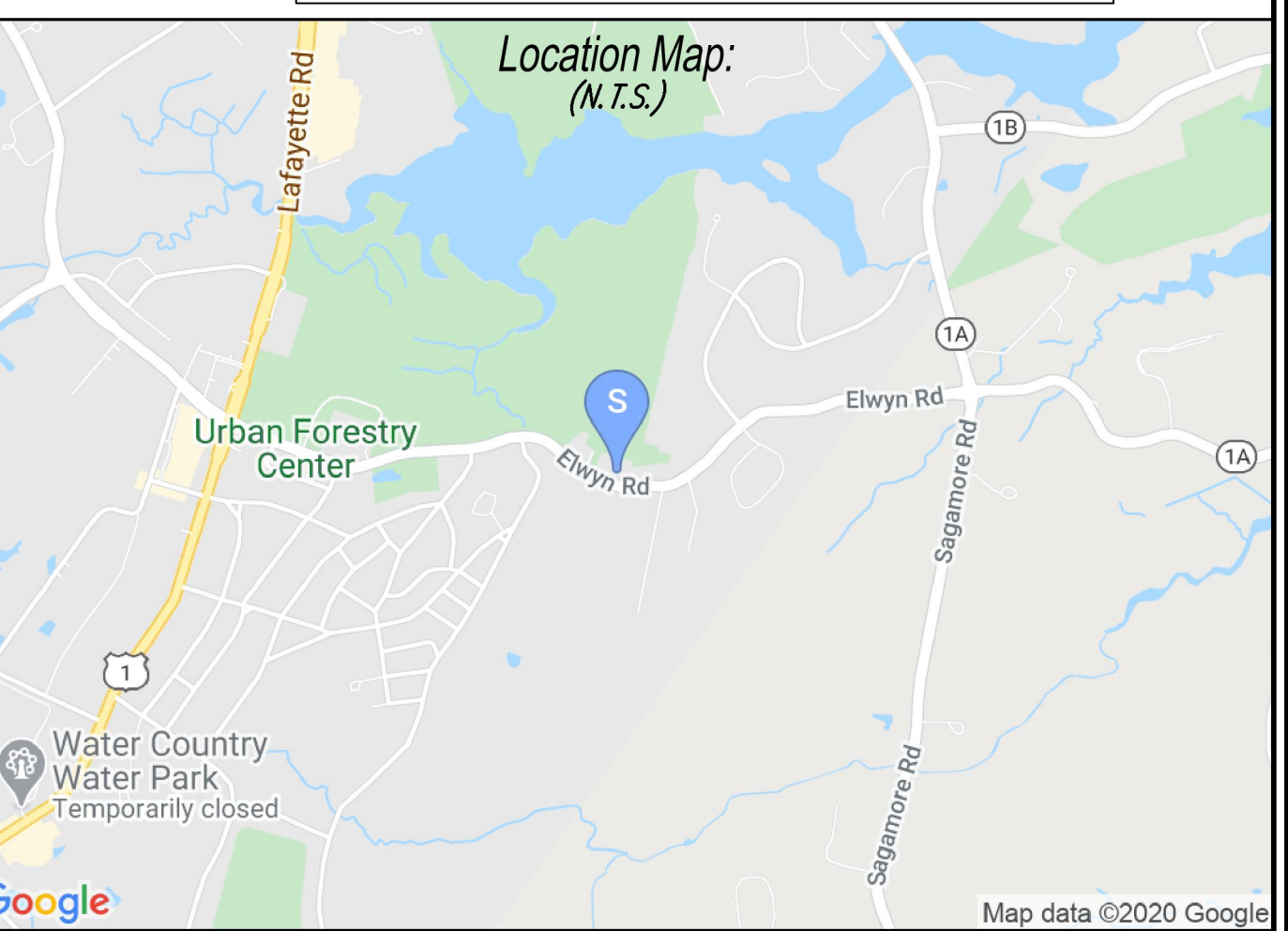
To-60" 2.5Y5/2, GRAYISH BROWN Angular Blocky, F-Sandy Loam, Firm

Soil Classification

Soil data provided by; SoilWeb @ UCDavis & NRCS  
33A - Scitico silt loam, 0 to 5 percent slopes

PEPIN PRECAST

1-207-324-6125



Replacement OWTS Plan for :  
**Omar Gordon Revocable Trust**

797 Elwyn Road, Portsmouth NH 03801

By: **Septic Designs of NH**

12 Folsom Street  
Exeter, NH 03833  
603-714-7018  
Permitted Designer  
office@septicdesignsofnh.com  
SepticDesignsofNH.com

Deed Information :  
County : Rockingham Book : 5376 Page : 1249

Subdivision Approval # :  
NA Pre 67'

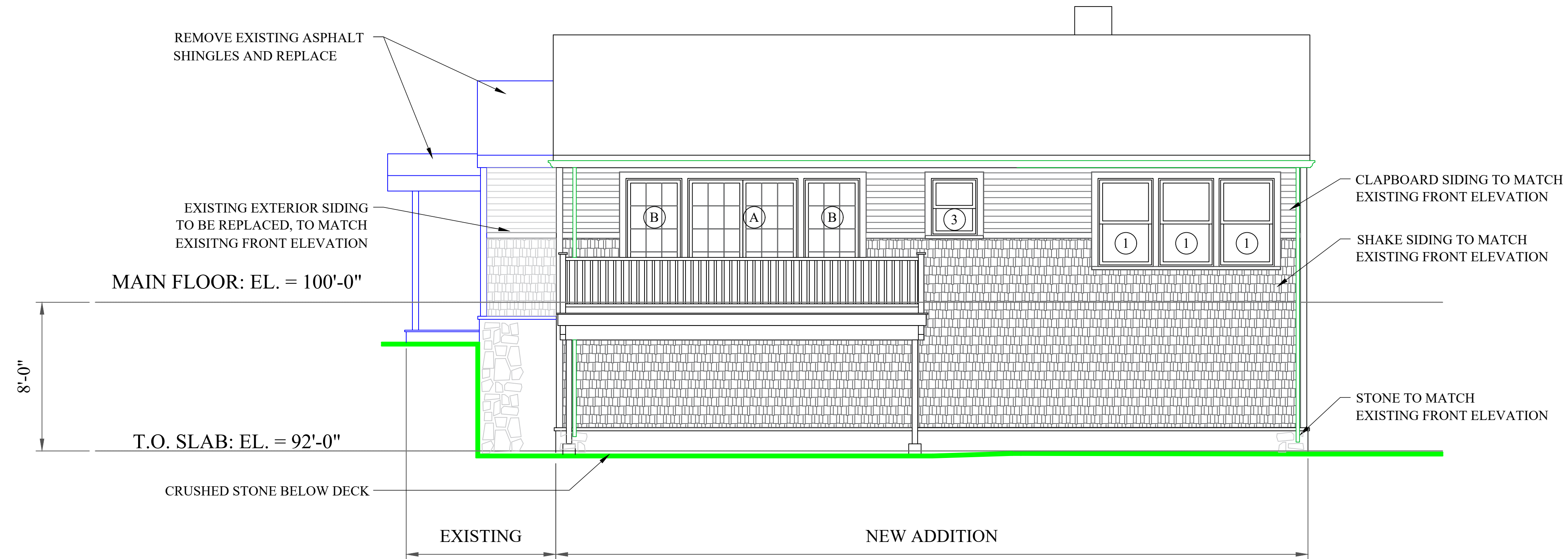
Date: 03 July 20 Scale: 1"=20'

Lot & Map #: Map-225, Lot-002

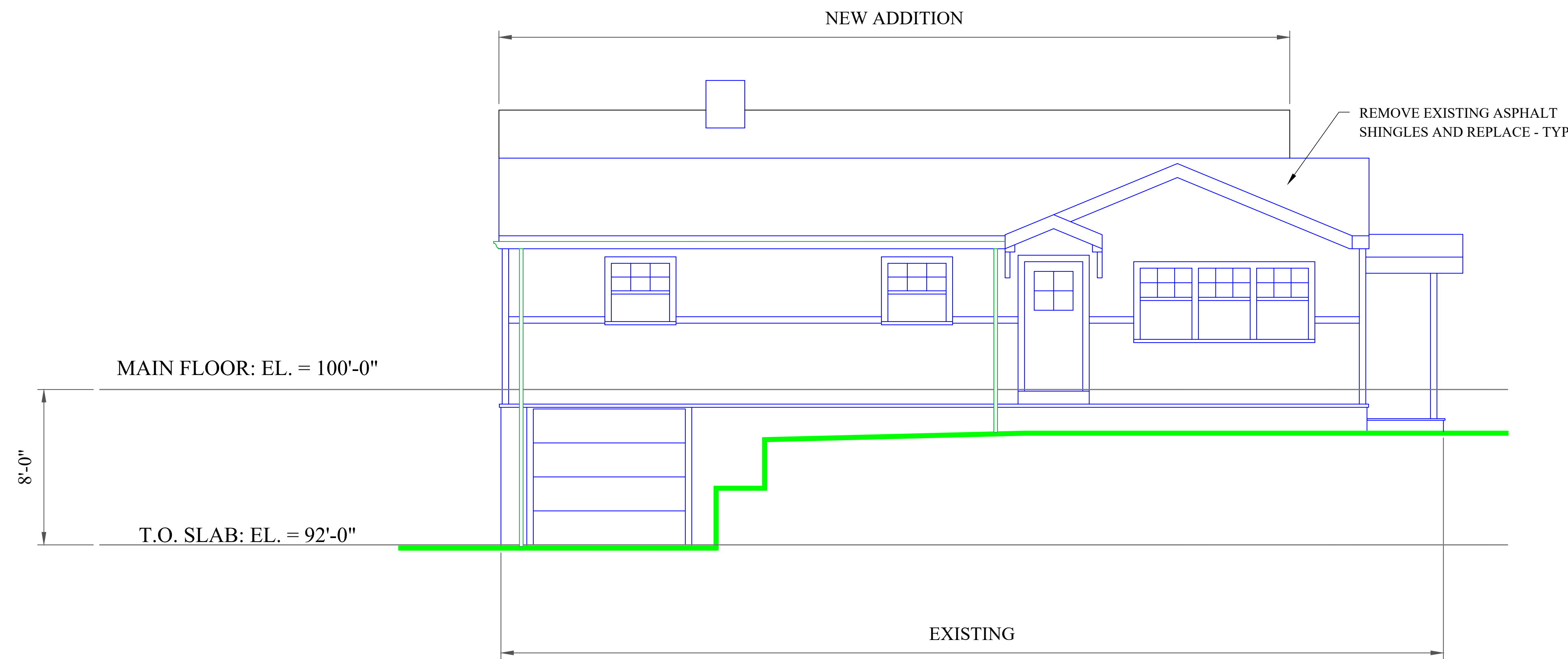
Street : 797 Elwyn Rd  
Town : PORTSMOUTH, NH

Plan #: Layout 1

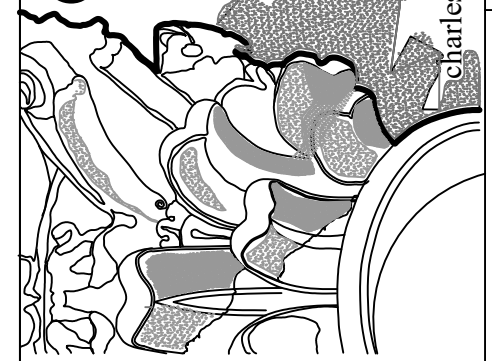


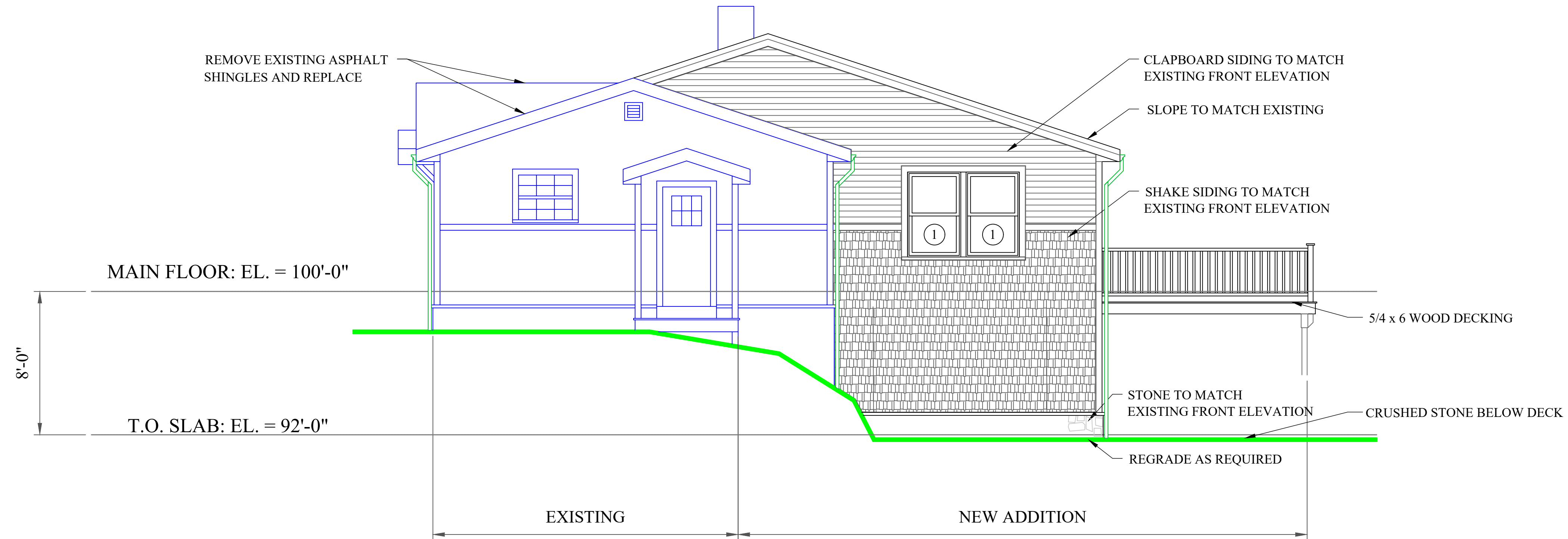


REAR ELEVATION

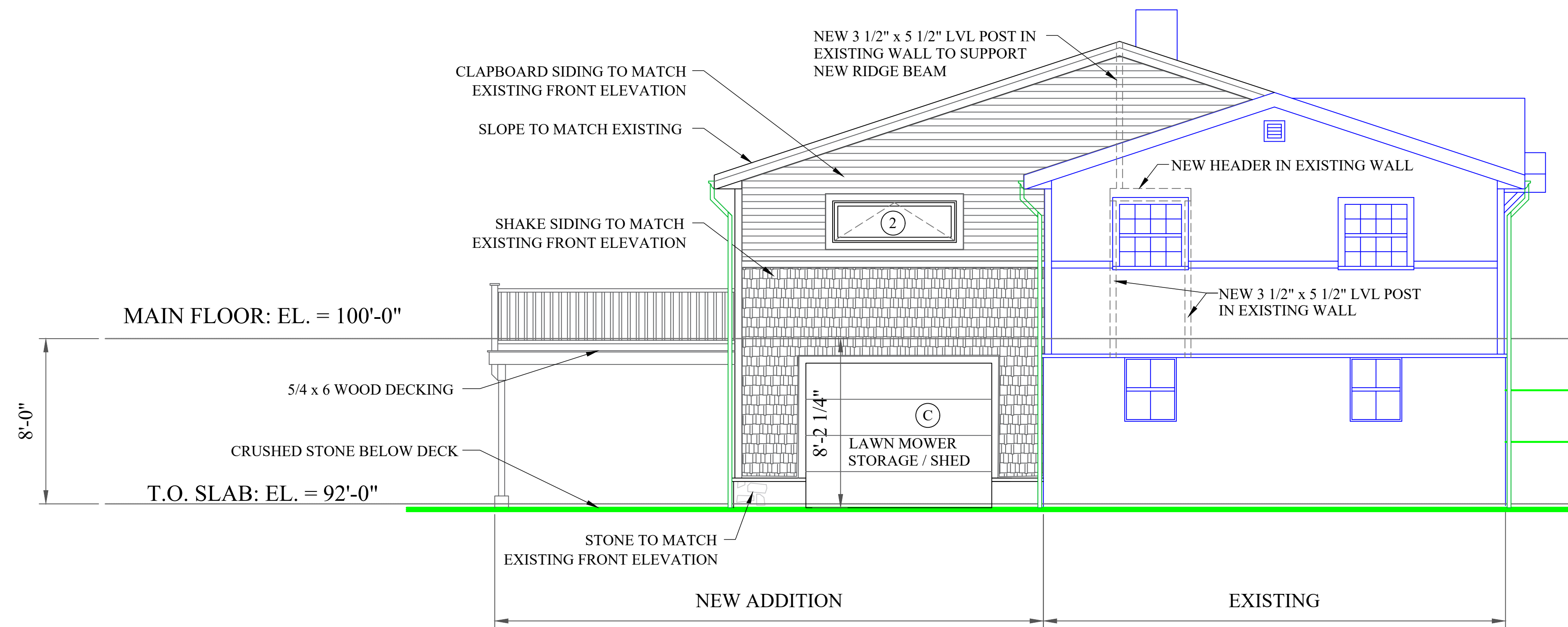


FRONT ELEVATION

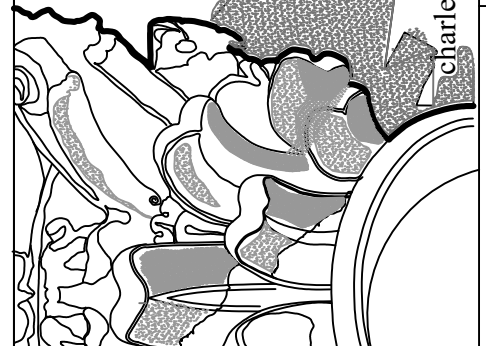
797 EL WYN RD PORTSMOUTH, NH.		ELEVATIONS SCALE: 1/4"=1'-0"	
 CHARLES HOYT DESIGNS Shingle Style Architecture 893 Ocean Blvd. Eve, NH 03870 (603) 431-5310 charleshoytdesigns@hotmail.com	09-17-21	A1	



RIGHT ELEVATION

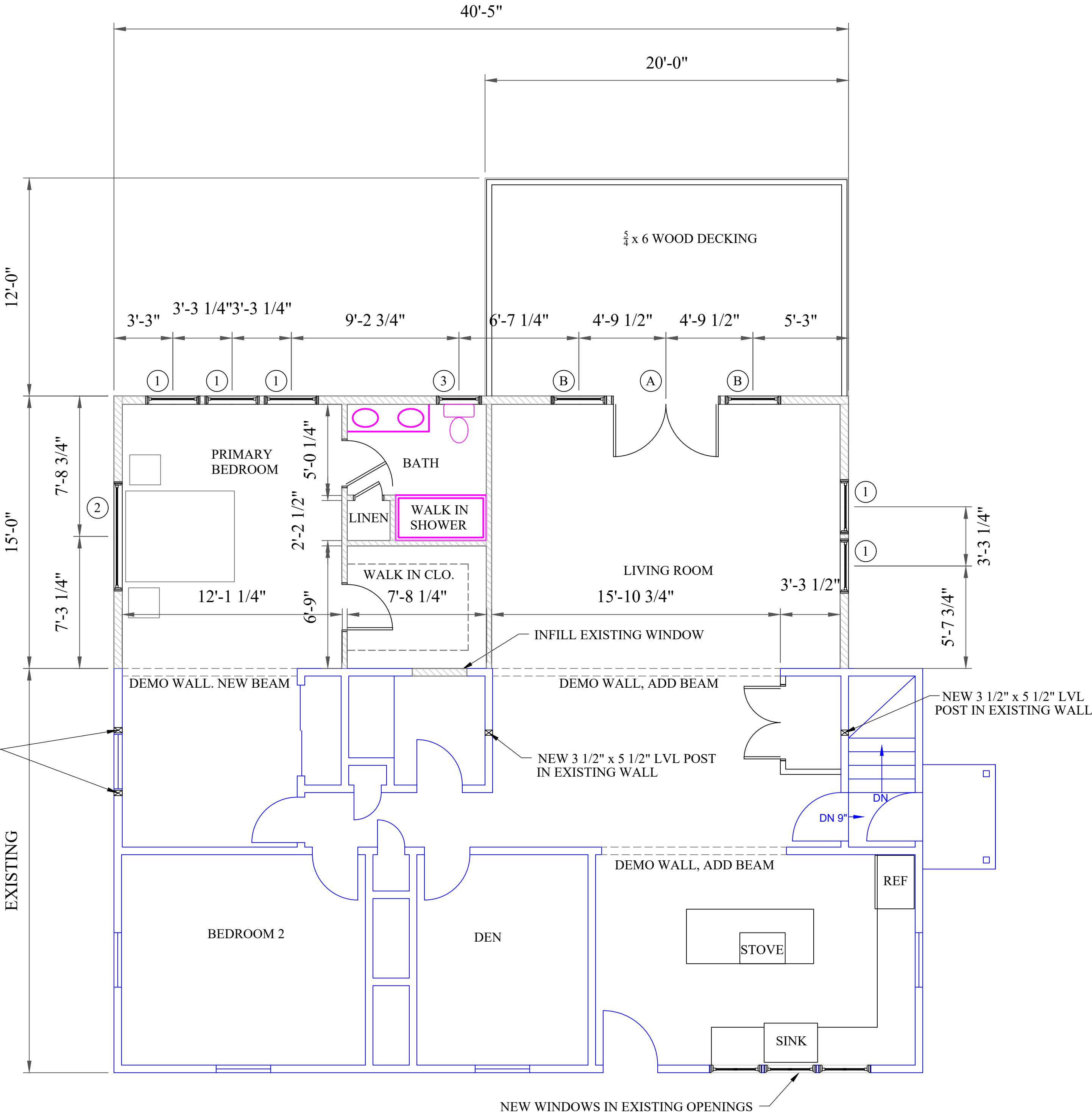


LEFT ELEVATION

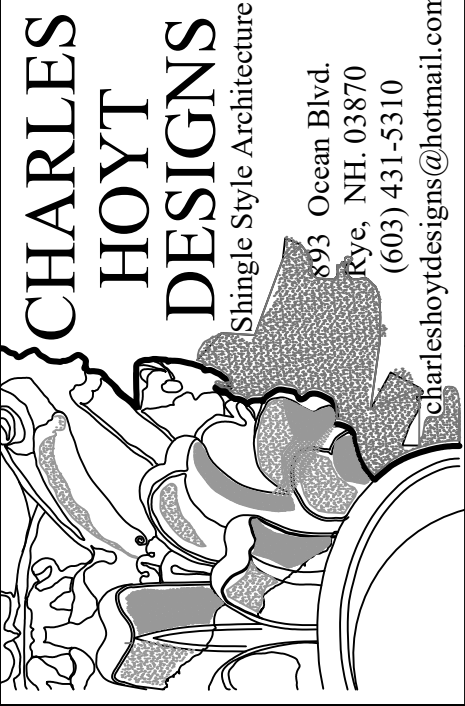
797 EL WYN RD PORTSMOUTH, NH.		ELEVATIONS SCALE: 1/4"=1'-0"	
 CHARLES HOYT DESIGNS Shingle Style Architecture 893 Ocean Blvd. Rye, NH 03870 (603) 431-5310 charleshoytdesigns@hotmail.com	09-17-21	A2	
		PERMIT SET	

WINDOW AND DOOR SCHEDULE				
	SYMBOL	ROUGH OPENING	MODEL NO.	NOTES
DOORS	(A)	6'-0" x 6'-8"	FWH6068APLR	ANDERSEN FRENCHWOOD HINGED INSWING PATIO DOOR
	(B)	3'-2 1/2" x 6'-10 1/4"	FWH3168S	ANDERSEN FRENCHWOOD SIDELIGHT
	(C)	9'-0" x 7'-0"		GARAGE DOOR: 9'-0" x 7'-0"
WINDOWS	(1)	3'-0 1/8" x 4'-8 7/8"	TW21046	ANDERSEN 400 SERIES DOUBLE-HUNG
	(2)	6'-0 3/8" x 2'-0 5/8"	AW61	ANDERSEN 400 SERIES AWNING
	(3)	2'-6 1/8" x 3'-0 7/8"	TW24210	ANDERSEN 400 SERIES DOUBLE-HUNG

NEW 3 1/2" x 5 1/2" LVL POST IN EXISTING WALL  
WITH NEW HEADER ABOVE EXISTING WINDOW.  
NEW 3 1/2" x 5 1/2" LVL POST BEARING ON NEW  
HEADER TO SUPPORT NEW LVL RIDGE BEAM



MAIN  
FLOOR



CHARLES  
HOYT  
DESIGNS

Shingle Style Architecture

893 Ocean Blvd.  
Eve, NH 03870  
(603) 431-5310  
charleshoymdesigns@hotmail.com

797 EL WYN RD  
PORTSMOUTH, NH.

FLOOR PLAN  
SCALE: 1/4"=1'-0"

09-17-21

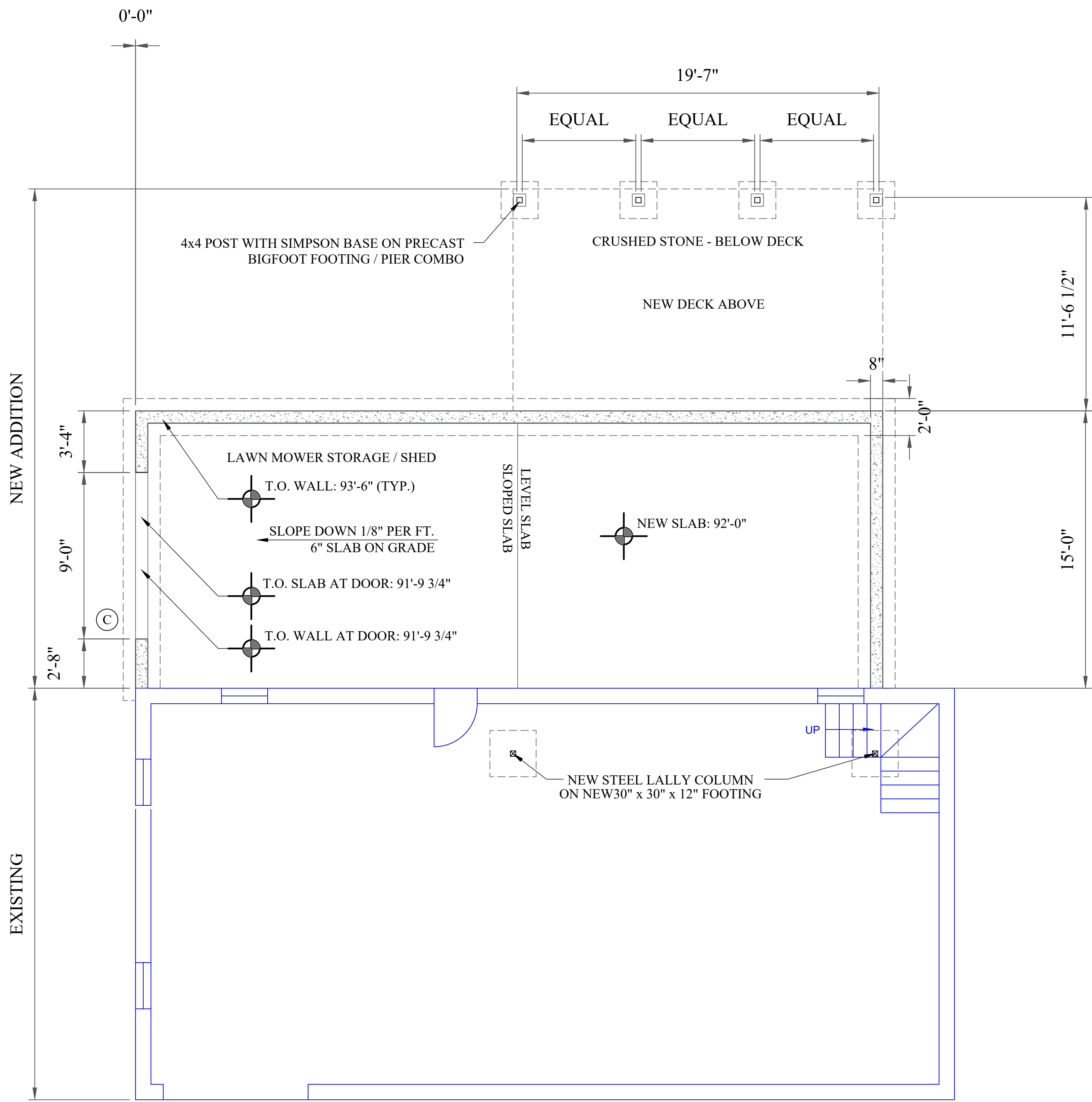
A3

PERMIT SET



NOTES:

- 1. SOIL BEARING CAPACITY SHOULD BE TESTED AND RATED FOR 3000 PSF.
- 2. CONCRETE MIX SHALL BE 3,500 IN GARAGE.
- 3. FOOTING SHOULD REST ON UNDISTURBED SOILS. IF LEDGE IS ENCOUNTERED, FOOTING SHOULD BE PINNED TO ROCK WITH 12" LONG #5 REBAR 6" INTO ROCK AND 6" INTO FOOTING @ 5' O.C.
- 4. FOOTING: 24" WIDE x 10" THICK:  
REINFORCED WITH 2 ROWS OF #5 REBAR CONTINUOUS, 3" UP FROM BOTTOM.  
PIN WALL TO FOOTING WITH #4 VERTICAL REBAR @ 24" O.C. UP 24" INTO WALL (TYP.)
- 5. STRIP FOOTER: REINFORCE WITH 4 ROWS OF #5 REBAR CONTINUOUS 3" UP FROM BOTTOM.
- 6. FOUNDATION WALL: 8" THICK AT TYPICAL WALLS. REINFORCE WITH #4 REBAR (2) ROWS 2" FROM TOP AND (2) ROWS AT BOTTOM, RUN HORIZONTALLY  
PLACE EXTRA #4 VERTICAL REBAR BELOW LOCATIONS WHERE POST SITS ON FOUNDATION WALL.
- 7. AT DECK: 5' TALL PRECAST BIGFOOT FOOTER / PIER COMBO.
- 8. PIN P.T. PLATE TO FOUNDATION WALL WITH ½" DIAMETER x 1'-0" ANCHOR BOLTS 4'-0" O.C. (TYP.). THERE SHALL BE A MINIMUM OF TWO BOLTS PER SILL PLATE SECTION AND NOT MORE THAN 12" FROM EACH END.



FOUNDATION PLAN

CHARLES HOYT DESIGNS Shingle Style Architecture 893 Ocean Blvd. Gye, NH 03870 (603) 431-5310 charleshoymdesigns@hotmail.com		797 EL WYN RD PORTSMOUTH, NH.	
09-17-21		FOUNDATION PLAN SCALE: 1/4"=1'-0"	
A4			

- a. Material: SPF (Spruce-Pine-Fir) Fb 875 PSI FV 70 PSI
- b. Grade: No. 2 or better
- c. Sill Material: (2) 2x6 pt (pressure treated )
- d. General Notes on Building Materials: ( Refer to the framing plans )
- e. Provide solid blocking between joists below all post locations.
- f. All wood framing shall be built plumb level square and true with adequate bracing and connection hardware to insure a rigid structure. All dimensions are taken to rough stud or rafter unless otherwise noted.
- g. All plywood should be laid with long dimensions perpendicular to supports, stagger all joints. Solid Blocking @ Wall along the perp. dimension to studs.
- h. All exterior doors and window headers less than 4' spans shall be 2 x 8s with 1/2" fir plywood. 4 foot to 8 foot spans, use 2 x 10s with 1/2 fir plywood". Spans greater than 8 foot, refer to framing plans.
- i. Refer to Sections for description.

- j. Contractor to take precaution that all beam ends support trace down to solid bearing.
- k. Apply construction adhesive between all joists and plywood floors.
- l. Install additional joists at parallel interior walls for second floor.
- m. All exterior wall construction shall be 2x6 @ 16" o.c.
- n. Design assumption of first floor minimum of 40 PSF live & 10 PSF dead.
- o. Design assumption of roof minimum of 50 PSF live & 10 PSF dead.
- p. Design assumption off all decks 60 PSF live & 10PSF dead.

- a. Floor joists:  $9\frac{1}{2}"$  TJs @ 16" O.C. (refer to framing plans)
- b. Sub Floor:  $\frac{3}{4}"$  Advantec decking Glued and fastened w/ 8p ring shank nails @ 16" O.C. Staggered joints
- c. Bridging: Solid bracing @ midspan. (where applicable)
- d. Other: Main girder (See framing plans)
- e. Structural posts:  $3\frac{1}{2}"$  PSL or 4" x 4" x 1/4" steel Posts (see framing plans)

a. 2 x 8s Spacing: 16" O.C. (if applicable)

- a. Rafters (typ.): 2x10 @ 16" O.C.  
Ridge Beam: (3) 16" LVLs
- b. Sheathing: 5/8" Fir .
- c. Roofing: Material, Asphalt organic 35 years ARC Grade.
- d. Manufacturer: To be determined. Model: TBD Color: TME Fastening: Galvanized nails
- e. Grace Ice and Water: At all roofs


- f. Valleys: Cut with ice and water .
- g. Others:
- h. Flashing Material: Heavy Gauge copper
- i. Windows: Andersen (see specs from window sales rep.)
- j. Steps: Lead
- k. Drip Edge: Heavy gauge copper.
- l. Ice Belt: Grace on entire roof.

- a. Nailing: All nailing to meet IBC requirements
- b. Soffit Venting: Vinyl
- c. Other: All framing to be within 1/4" tolerance per 4 feet of run for all horizontal and vertical members. Provide adequate blocking for cabinets and plumbing accessories.



797 ELWYN RD  
PORTSMOUTH, NH.

MAIN FLOOR FRAMING  
SCALE: 1/4"=1'-0"



**CHARLES  
HOYT  
DESIGNS**  
Shingle Style Architecture

593 Ocean Blvd.  
Rye, NH 03870  
(603) 431-5310  
[charleshoytdesigns@hotmail.com](mailto:charleshoytdesigns@hotmail.com)

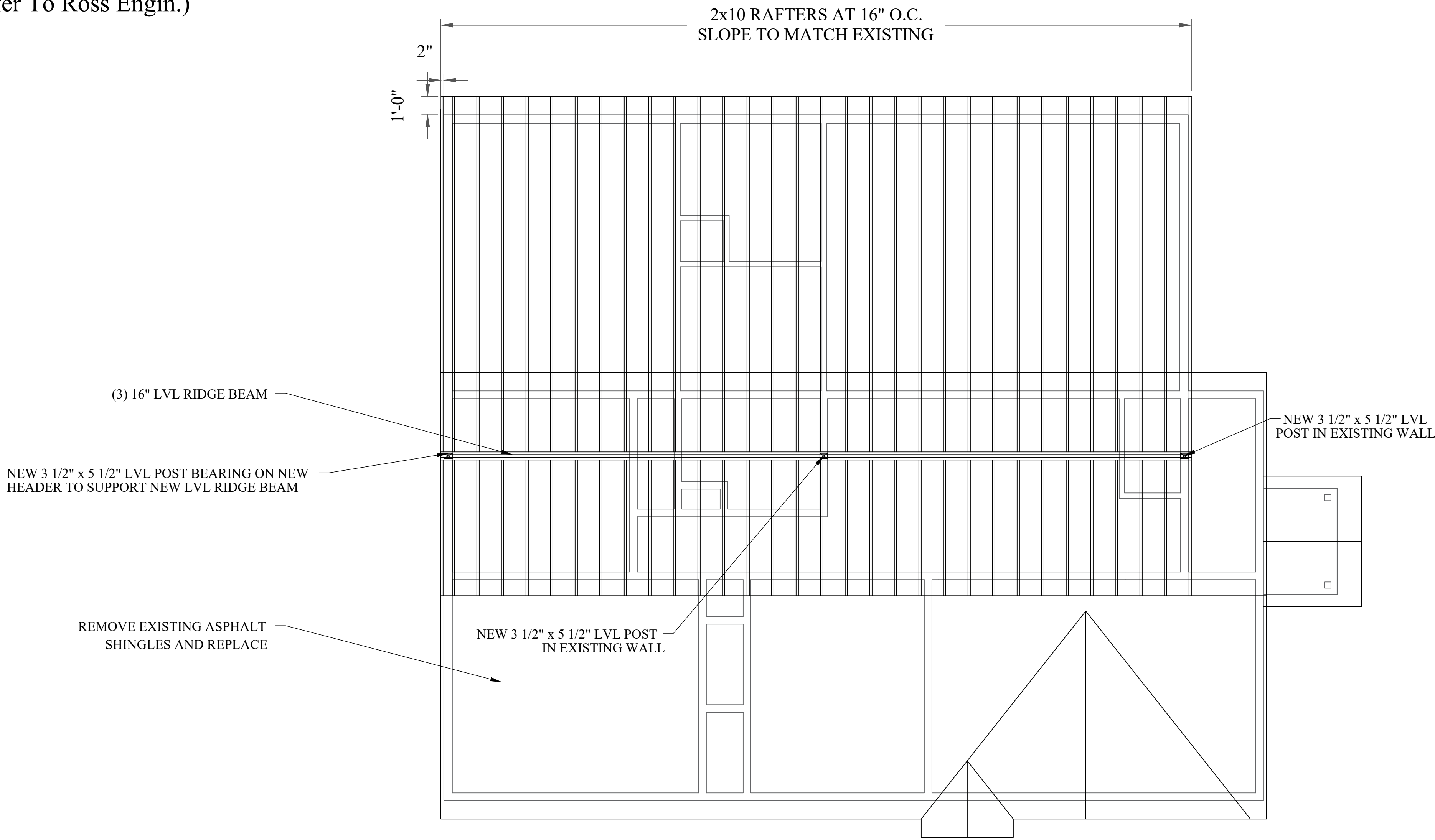
A5

09-17-21

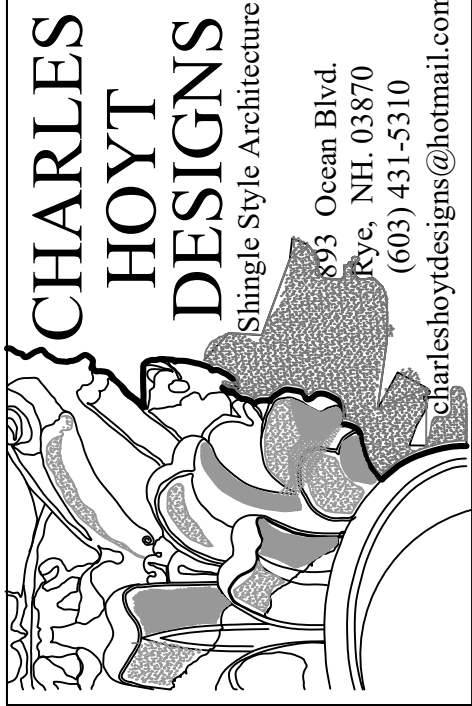
# PERMIT SET

NOTES:

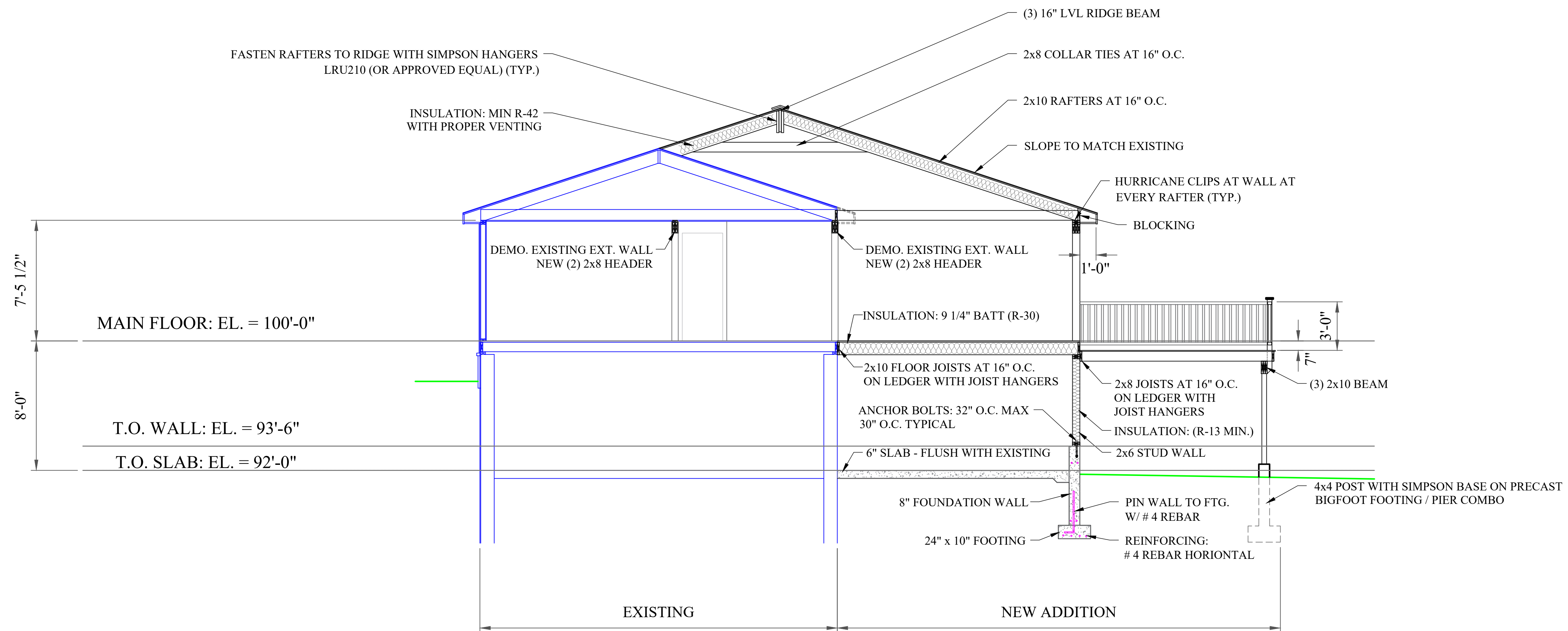
- 1. Hurricane Clips SIMPSON H2.5A (Or Approved Eq.)  
@ Wall @ Every Rafter (Typ.)
- 2. Fasten Rafters To Ridge W/ Simpson Hangers  
LRU210 (Or Approved Eq.)(Typ. )
- 3. All Structural Beam To Beam, Beam To Post,  
Fastened W/ An Approved Connector, (Refer To Ross Engin.)
- 4. ROOF SYSTEM:  
2x10s @ 16" O.C. W/ 5/8" Fir Plywd. Over



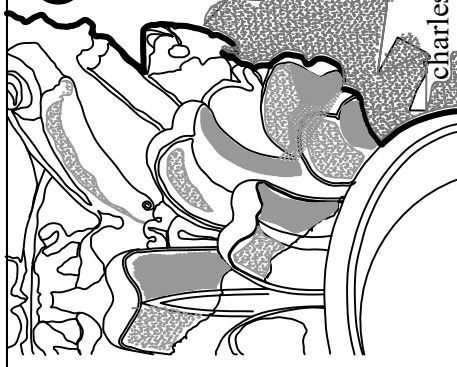
ROOF FRAMING  
PLAN

797 EL WYN RD PORTSMOUTH, NH.		ROOF FRAMING SCALE: 1/4"=1'-0"	
 CHARLES HOYT DESIGNS Shingle Style Architecture 893 Ocean Blvd. Eve, NH. 03870 (603) 431-5310 charleshoymdesigns@hotmail.com			A6
			09-17-21

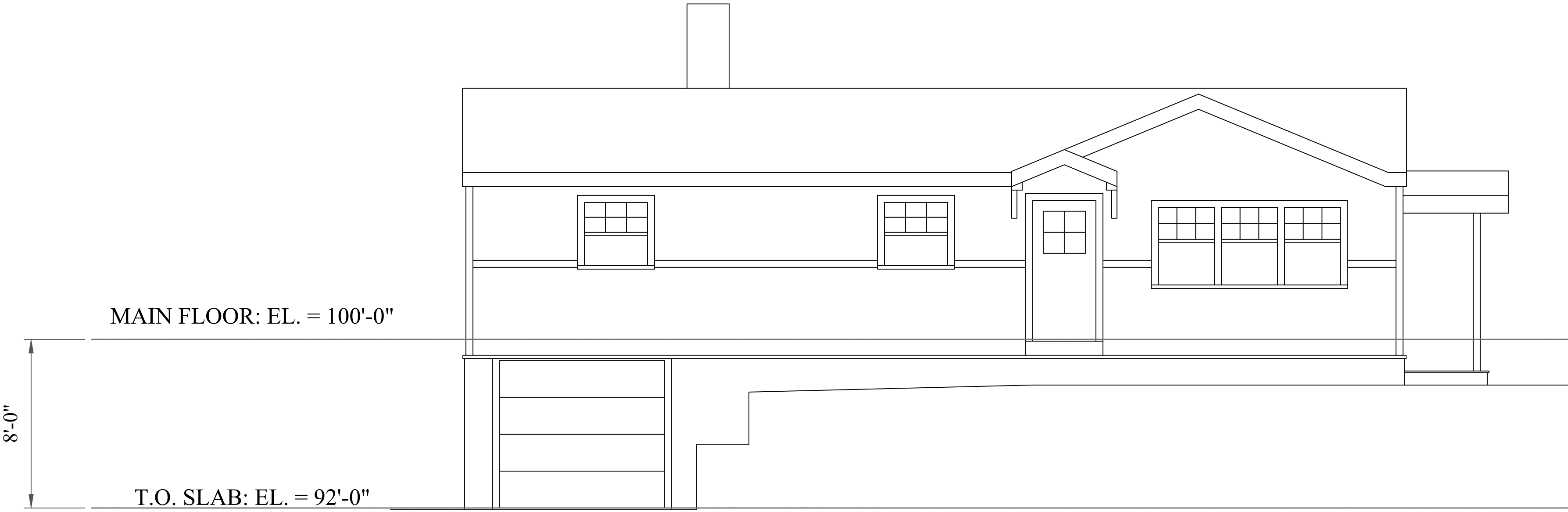




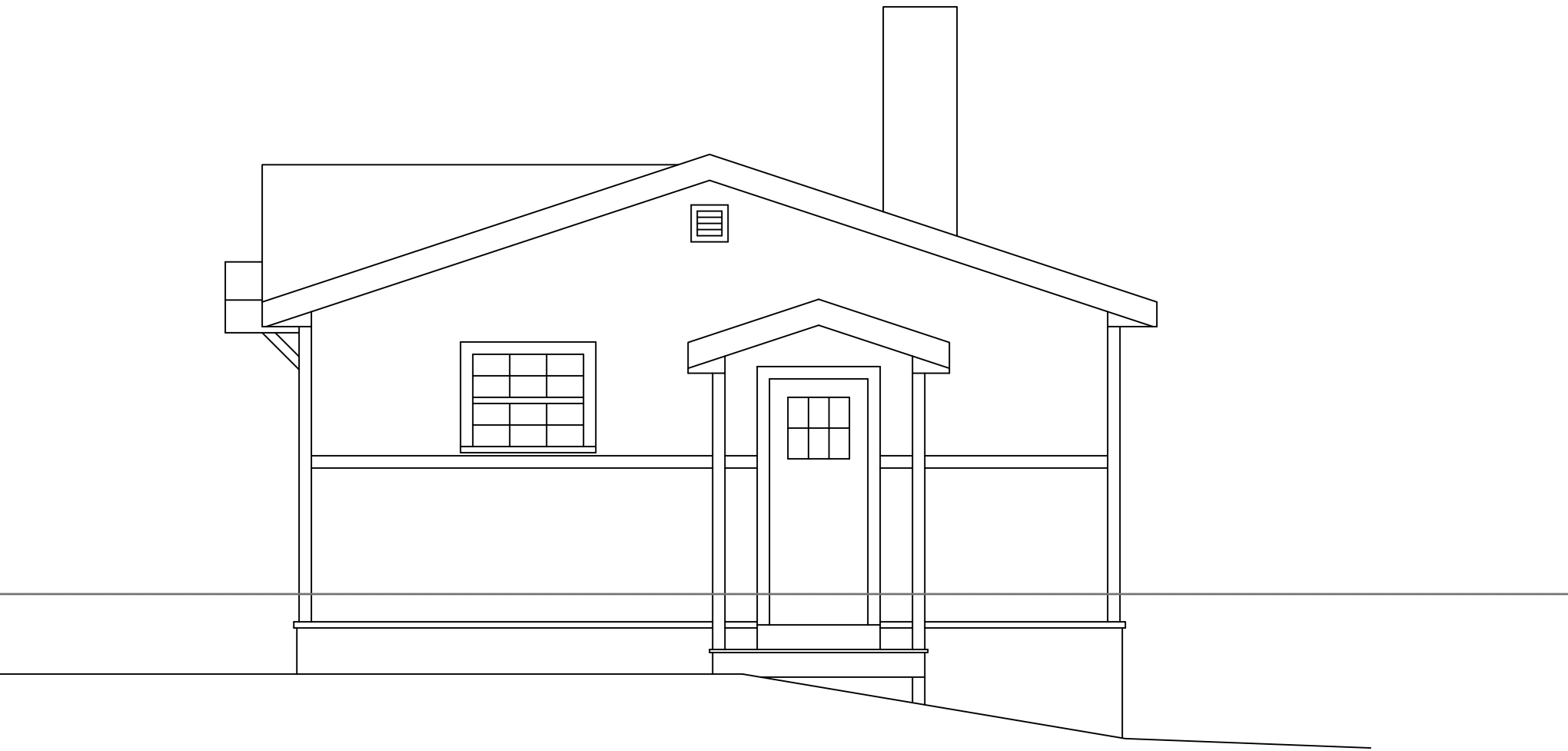
SECTION

 <p>CHARLES HOYT DESIGNS Shingle Style Architecture 893 Ocean Blvd. Rye, NH 03870 (603) 431-5310 charleshoytdesigns@hotmail.com</p>		09-17-21
797 EL WYN RD PORTSMOUTH, NH.		A7
SECTION		
SCALE: 1/4"=1'-0"		

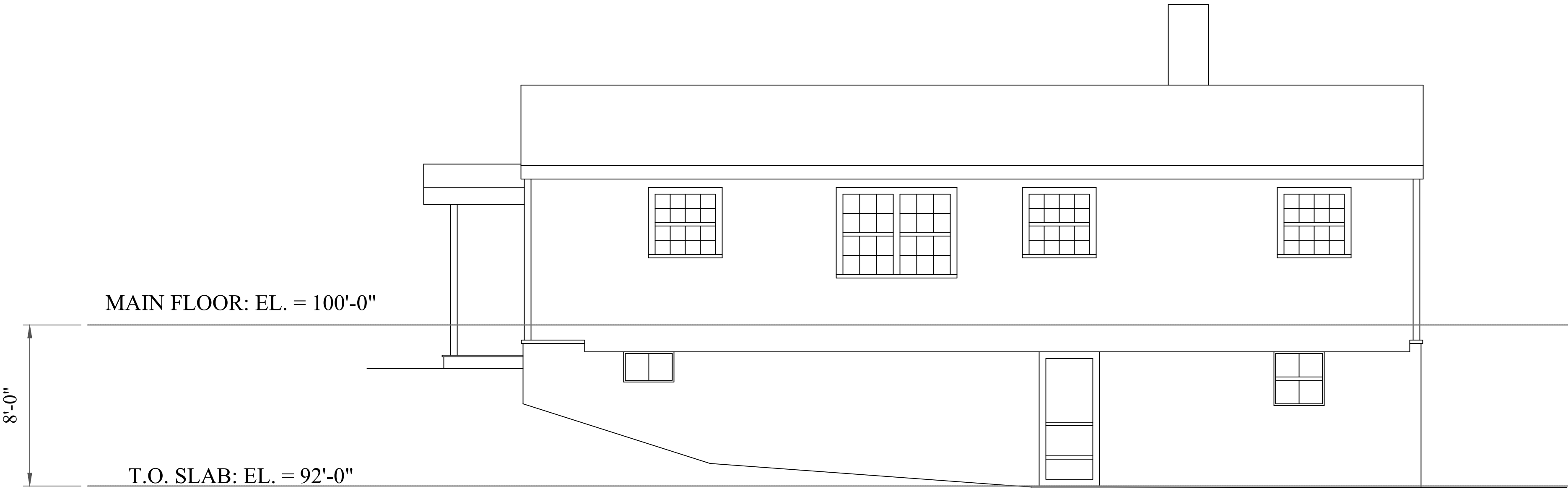




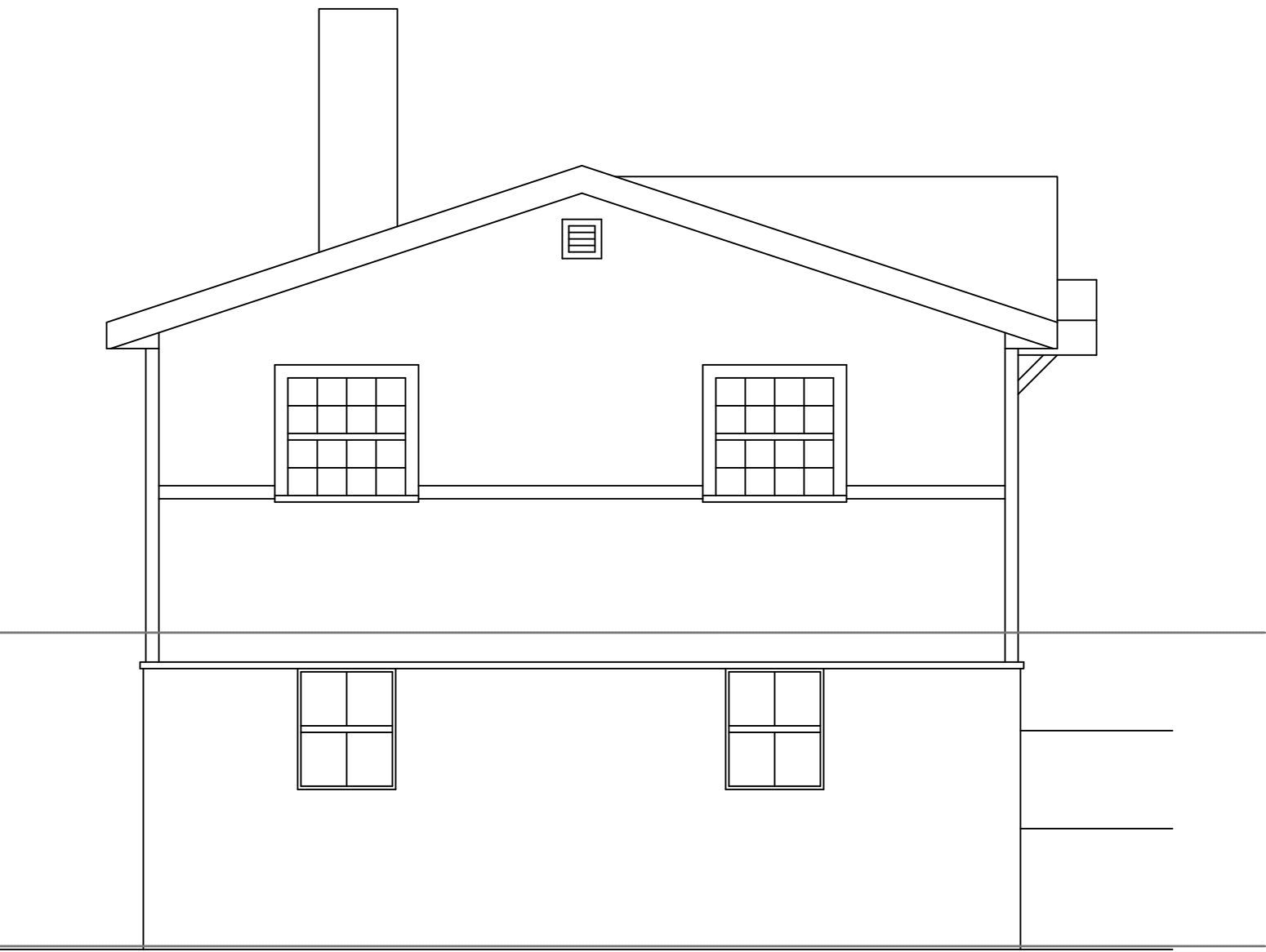
FRONT



RIGHT

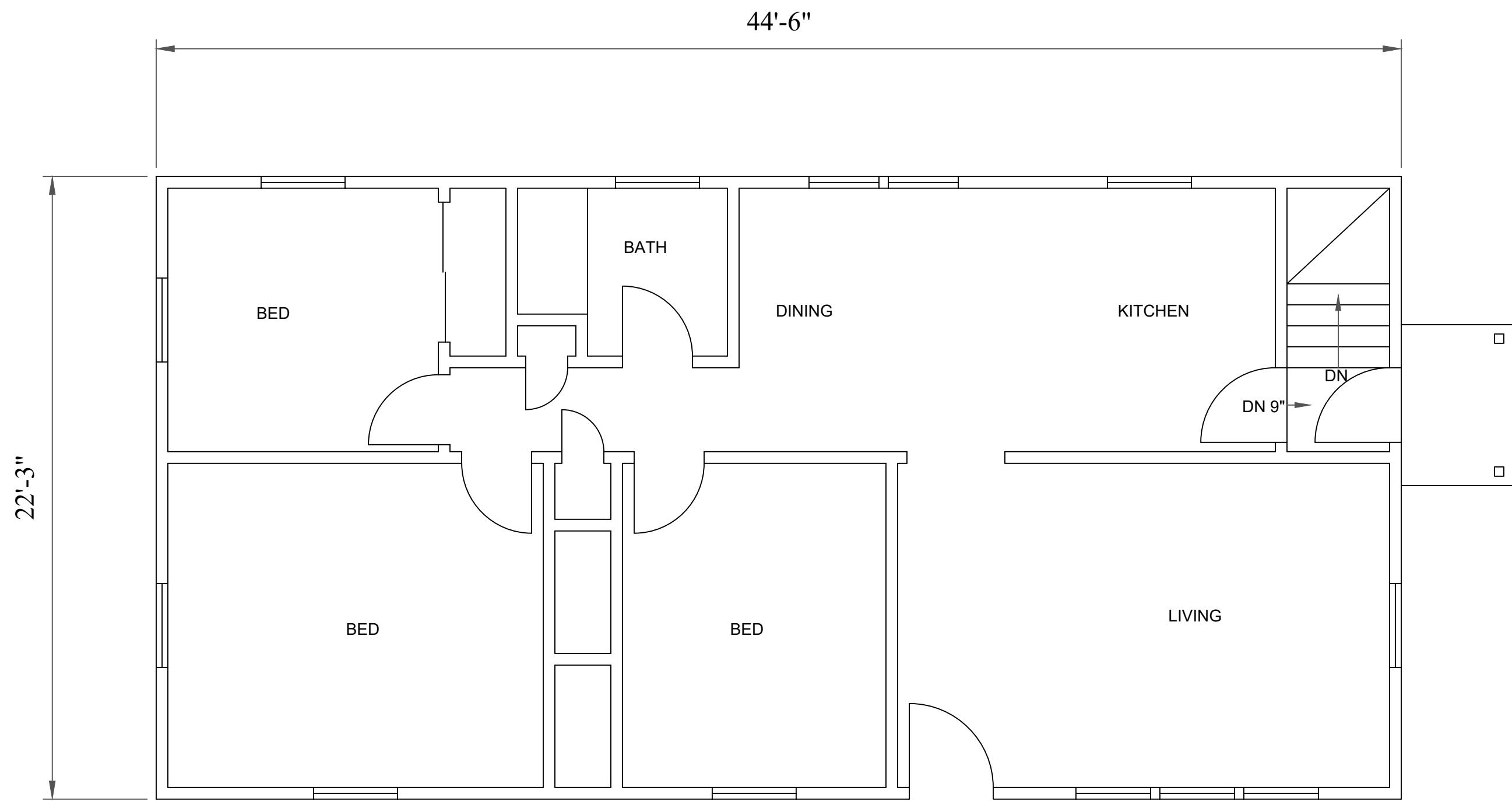


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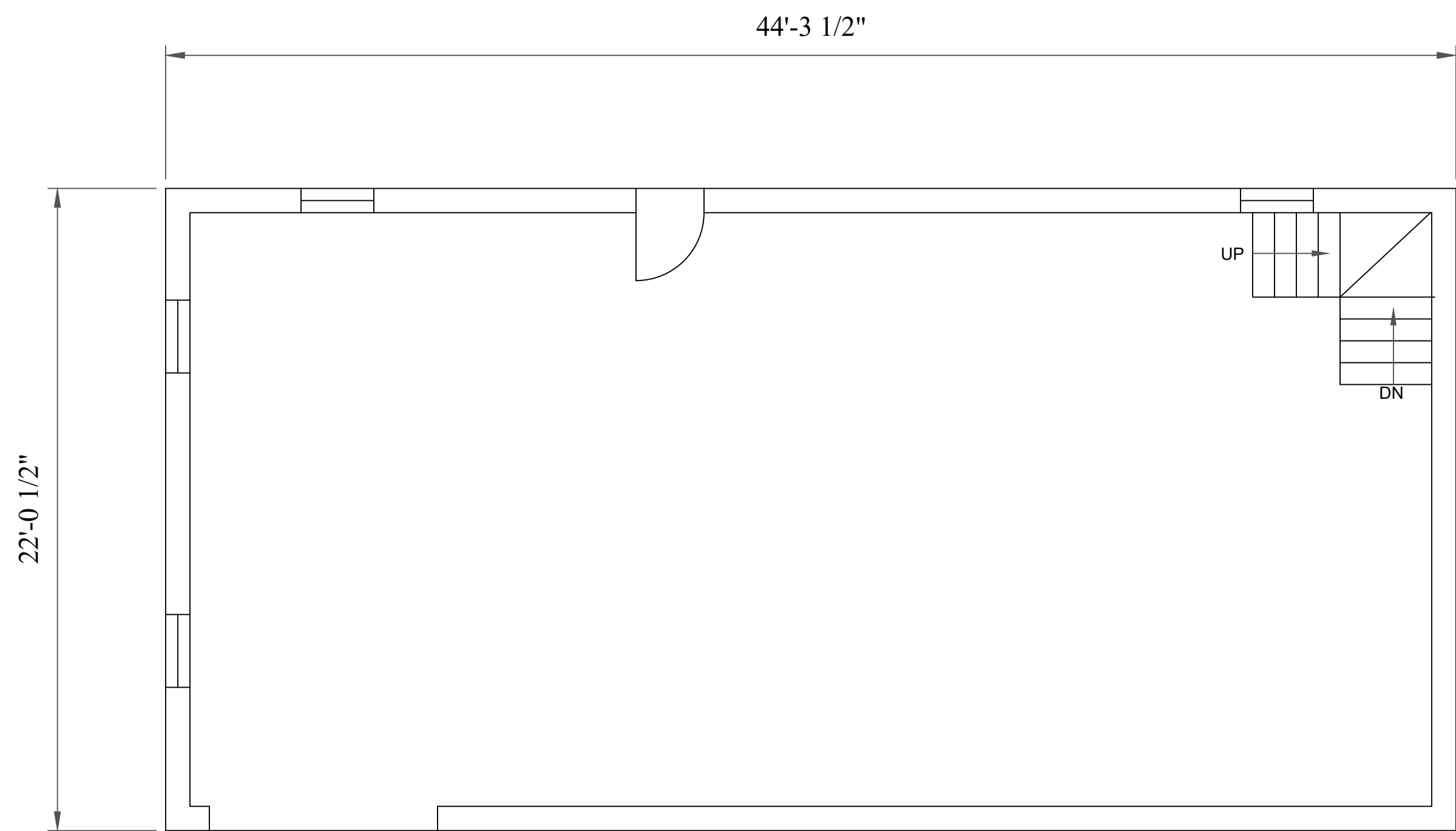


LEFT

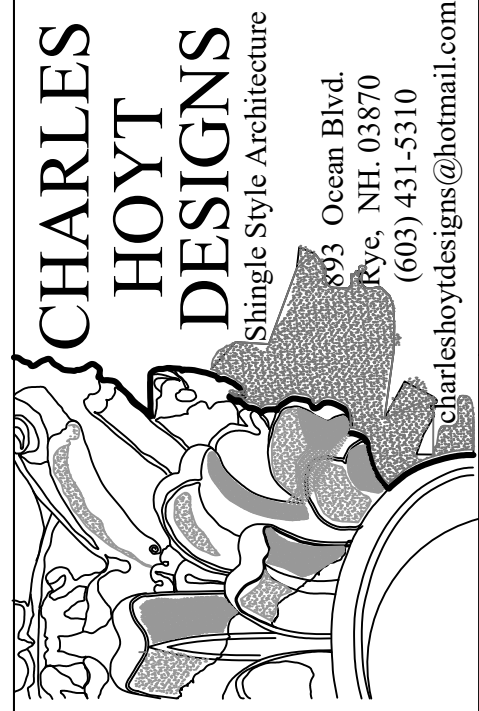
CHARLES HOYT DESIGNS Shingle Style Architecture 893 Ocean Blvd. Rye, NH 03870 (603) 431-5310 charleshoymail.com		797 EL WYN RD PORTSMOUTH, NH.	
09-17-21		EXISTING ELEVATIONS SCALE: 1/4"=1'-0"	



MAIN  
FLOOR



BASEMENT



CHARLES  
HOYT  
DESIGNS  
Shingle Style Architecture  
893 Ocean Blvd.  
Rye, NH 03870  
(603) 431-5310  
charleshoymail.com

797 EL WYN RD  
PORTSMOUTH, NH.

EXISTING PLANS  
SCALE: 1/4"=1'-0"

09-17-21

E2

# AMBIT ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

4 November 2021

Dexter Legg, Planning Board Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

## **RE: Request for Design Review at 181 Hill Street, Proposed Housing Development**

Dear Mr. Legg and Planning Board Members:

On behalf of Hill Hanover Group, LLC we are pleased to submit the attached revised plan set for **Design Review Public Hearing** for the above-mentioned project and request that we be placed on the agenda for your **November 18, 2021** Planning Board Meeting. The plans set has been updated from our initial submission with the addition of the Parking Plan and a Concept Plan.

The project concept includes the demolition of three existing buildings and construction of a 3 story residential building containing 12 units with the associated and required site improvements. Currently the site is occupied by three 4 unit buildings, or 12 existing units. 14 parking spaces are provided on the adjacent Deer Street Associates Lot 6 property under a deeded right. Parking also occurs between the buildings (historic) and a portion of the property provides parking for an adjacent building. The Site Plans show the proposed (approved) future construction on the Deer Street Associates Lot 6, for reference.

The Plan set contains a Concept Plan C6. This plan shows that the current property could be subdivided into 3 lots which would allow proposed footprints similar to the existing building footprints to be re-constructed on each of the lots. The introduction of the lower level parking in the 3 building re-development scenario, however, would not be possible. This project plans to provide parking in a lower level to be accessed from Autumn Street, which is possible given the single building approach to re-development, and provides 21 parking spaces. The parking level is shown on the C5 Parking Plan.

### Site Specifics of Development:

Green Building: the new construction will comply with Green Building Requirements

Stormwater Runoff: the design will not increase impervious surface areas from existing. The design will comply with the required stormwater treatment practices shall be adequately sized to treat the Water Quality Volume (WQV) or Water Quality Flow (WQF) in order to minimize pollutant discharges. Design will include in line roof leader treatment.

Utility Services: The project is surrounded by streets with public utilities.

Flood Hazard / Resource: the project is not in a flood hazard zone or in any resource buffer area.

Lighting: will be building mounted; subject to future design.

Solid Waste Management: will be handled internal to the building.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows the existing buildings which will be removed.
- Site Plan C3 – This plan shows the site development in detail with the associated Zoning Development Standards calculations.
- Utility Plan C4 – This plan shows the site utilities in detail.
- Parking Plan C5 – This plan shows the proposed lower level parking.
- Concept Plan C6 – This plan shows possible alternative development based on current zoning.
- Erosion Control Notes and Details D1 – This plan shows sequence of construction and details.
- Detail Sheets D 2 – D 3 – These plans show associated details for construction.
- Exterior Elevation Plans – This plan shows the proposed building exterior elevations.

We look forward to the Planning Board's review of this submission and feedback on the proposed design.

Sincerely,

*John Chagnon*

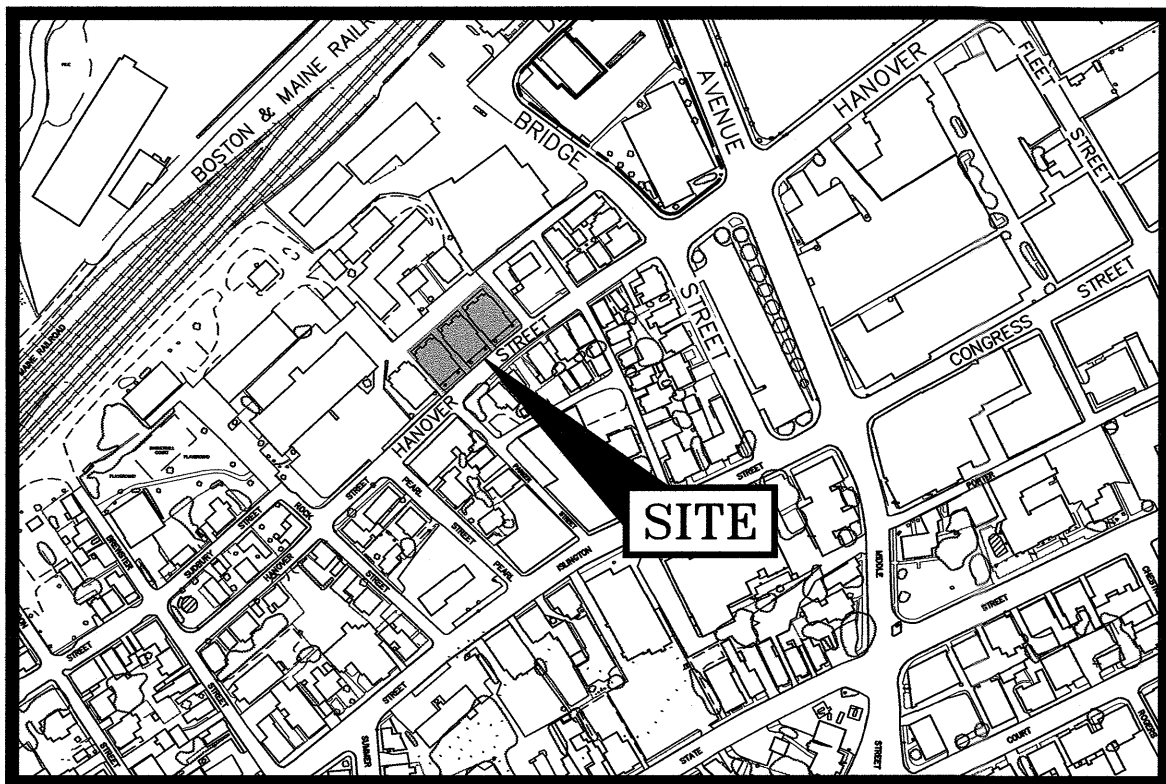
John R. Chagnon, PE

CC: JPK Properties, CJ Architects



## 725





LOCATION MAP

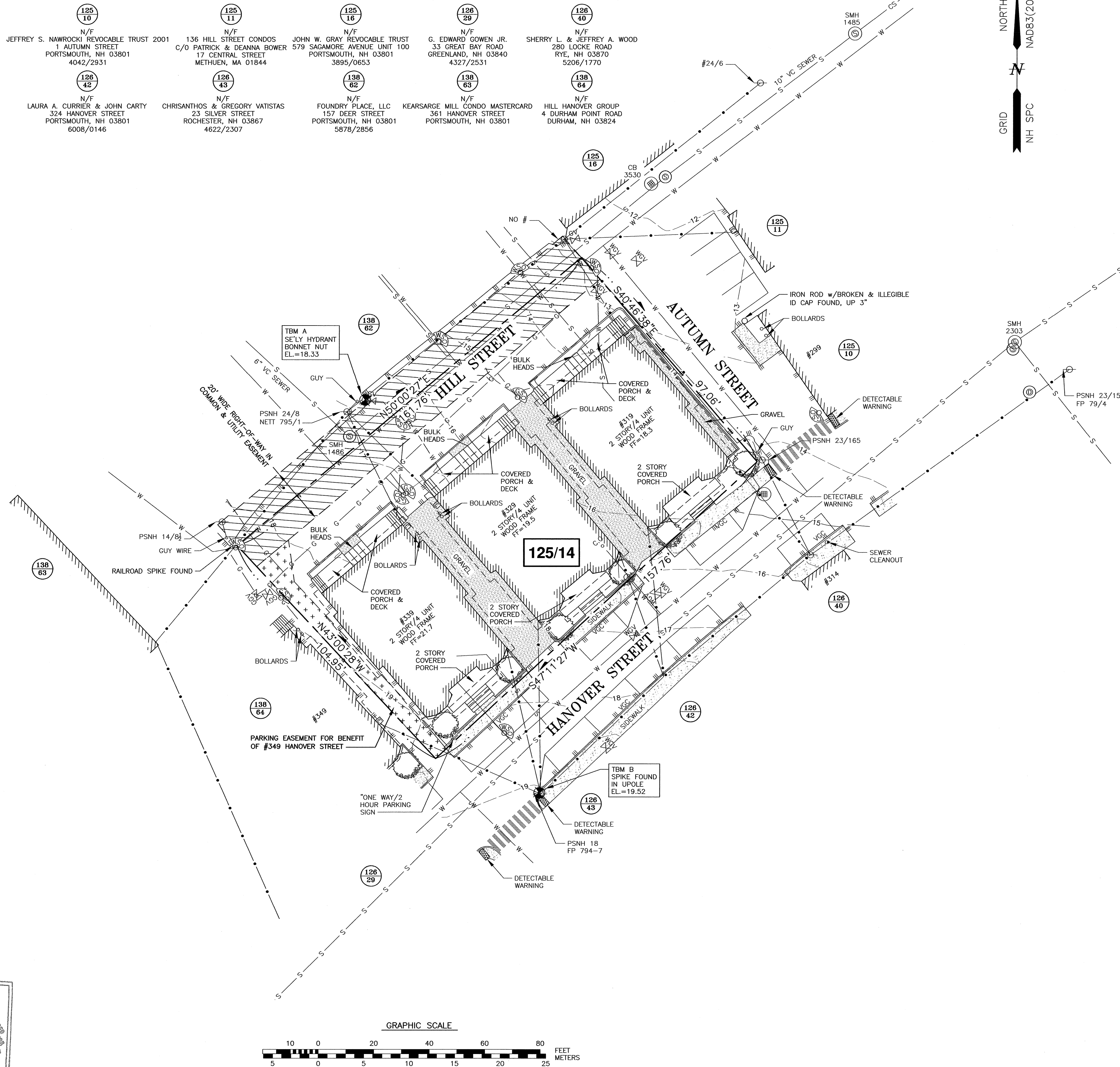
SCALE: 1" = 300'

PLAN REFERENCES:

- 1) LOT LINE RELOCATION PLAN TAX MAP 125, LOT 14 & TAX MAP 138, LOT 62, OWNERS OF RECORD: HILL HANOVER GROUP, LLC c/o JPK PROPERTIES, LLC 1 NEW HAMPSHIRE AVENUE. #125 FOR DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2013, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38162.
- 2) UTILITY EASEMENT PLAN TAX MAP 125 - LOT 14 & TAX MAP 138 - LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES TO THE CITY OF PORTSMOUTH, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38163.
- 3) PARKING EASEMENT PLAN TAX MAP 125 - LOT 14 & TAX MAP 138 - LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 12, 2014. R.C.R.D. PLAN D-38164.

ABUTTERS:

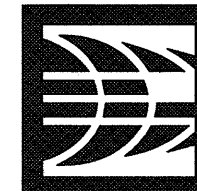
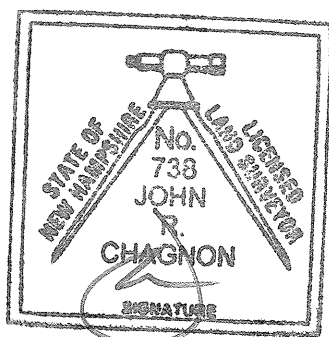
- |   |   |  |   |  |
|---|---|--|---|--|
| <p>125<br/>10<br/>N/F<br/>JEFFREY S. NAWROCKI REVOCABLE TRUST 2001<br/>1 AUTUMN STREET<br/>PORTSMOUTH, NH 03801<br/>4042/2931</p> | <p>125<br/>11<br/>N/F<br/>136 HILL STREET CONDOS<br/>C/O PATRICK &amp; DEANNA BOWER<br/>17 CENTRAL STREET<br/>METHUEN, MA 01844</p> | <p>125<br/>16<br/>N/F<br/>JOHN W. GRAY REVOCABLE TRUST<br/>579 SAGAMORE AVENUE UNIT 100<br/>PORTSMOUTH, NH 03801<br/>3895/0653</p> | <p>128<br/>29<br/>N/F<br/>G. EDWARD GOWEN JR.<br/>33 GREAT BAY ROAD<br/>GREENLAND, NH 03840<br/>4327/2531</p> | <p>128<br/>40<br/>N/F<br/>SHERRY L. &amp; JEFFREY A. WOOD<br/>280 LOCKE ROAD<br/>RYE, NH 03870<br/>5206/1770</p> |
| <p>128<br/>42<br/>N/F<br/>LAURA A. CURRIER &amp; JOHN CARTY<br/>324 HANOVER STREET<br/>PORTSMOUTH, NH 03801<br/>6008/0146</p>     | <p>128<br/>43<br/>N/F<br/>CHRISANTHOS &amp; GREGORY VATISTAS<br/>23 SILVER STREET<br/>ROCHESTER, NH 03867<br/>4622/2307</p>         | <p>138<br/>62<br/>N/F<br/>FOUNDRY PLACE, LLC<br/>157 DEER STREET<br/>PORTSMOUTH, NH 03801<br/>5878/2856</p>                        | <p>138<br/>63<br/>N/F<br/>KEARSARGE MILL CONDO MASTERCARD<br/>361 HANOVER STREET<br/>PORTSMOUTH, NH 03801</p> | <p>138<br/>64<br/>N/F<br/>HILL HANOVER GROUP<br/>4 DURHAM POINT ROAD<br/>DURHAM, NH 03824</p>                    |



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS

DATE



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 14.
- 2) OWNER OF RECORD:  
HILL-HANOVER GROUP, LLC  
c/o JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE, #125  
PORTSMOUTH, NH 03801  
4356/10  
R.C.R.D. PLANS D-38162, D-38163, & D-38164
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 (LIMITED 1).
- 4) DIMENSIONAL REQUIREMENTS:  
CHARACTER DISTRICT 4-L1 (CD4-L1):  
MIN. LOT AREA: 3,000 S.F.  
FRONTAGE: NO REQUIREMENT  
SETBACKS:  
FRONT (MAX.) 15 FEET (PRIMARY)  
FRONT (MAX.) 12 FEET (SECONDARY)  
SIDE 5-20 FEET (MAX)  
REAR 5/10  
MAXIMUM STRUCTURE HEIGHT: 2-3 STORIES  
40 FEET  
MAXIMUM STRUCTURE COVERAGE: 60%  
MAXIMUM BUILDING FOOTPRINT: 2,500 S.F.  
MINIMUM OPEN SPACE: 25%  
MINIMUM FRONT LOT LINE BUILDOUT: 60-80%
- 5) LOT AREA: 16,127 S.F., 0.3702 ACRES.
- 6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 125, LOT 14 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS NGS PID 0C0290 - B 2 1923.
- 9) PARCEL IS SUBJECT TO A 20' WIDE UTILITY EASEMENT. SEE R.C.R.D. 5518/2759.
- 10) PARCEL IS SUBJECT TO AND BENEFITED BY A 20' WIDE RIGHT-OF-WAY IN COMMON. SEE R.C.R.D. 829/130.
- 11) PARCEL BENEFITS FROM AN EASEMENT FOR PARKING. SEE R.C.R.D. 5518/2747, SEE ALSO PARTIAL RELEASE R.C.R.D. 5751/1463.

RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE

REVISIONS

SCALE 1" = 20' SEPTEMBER 2021

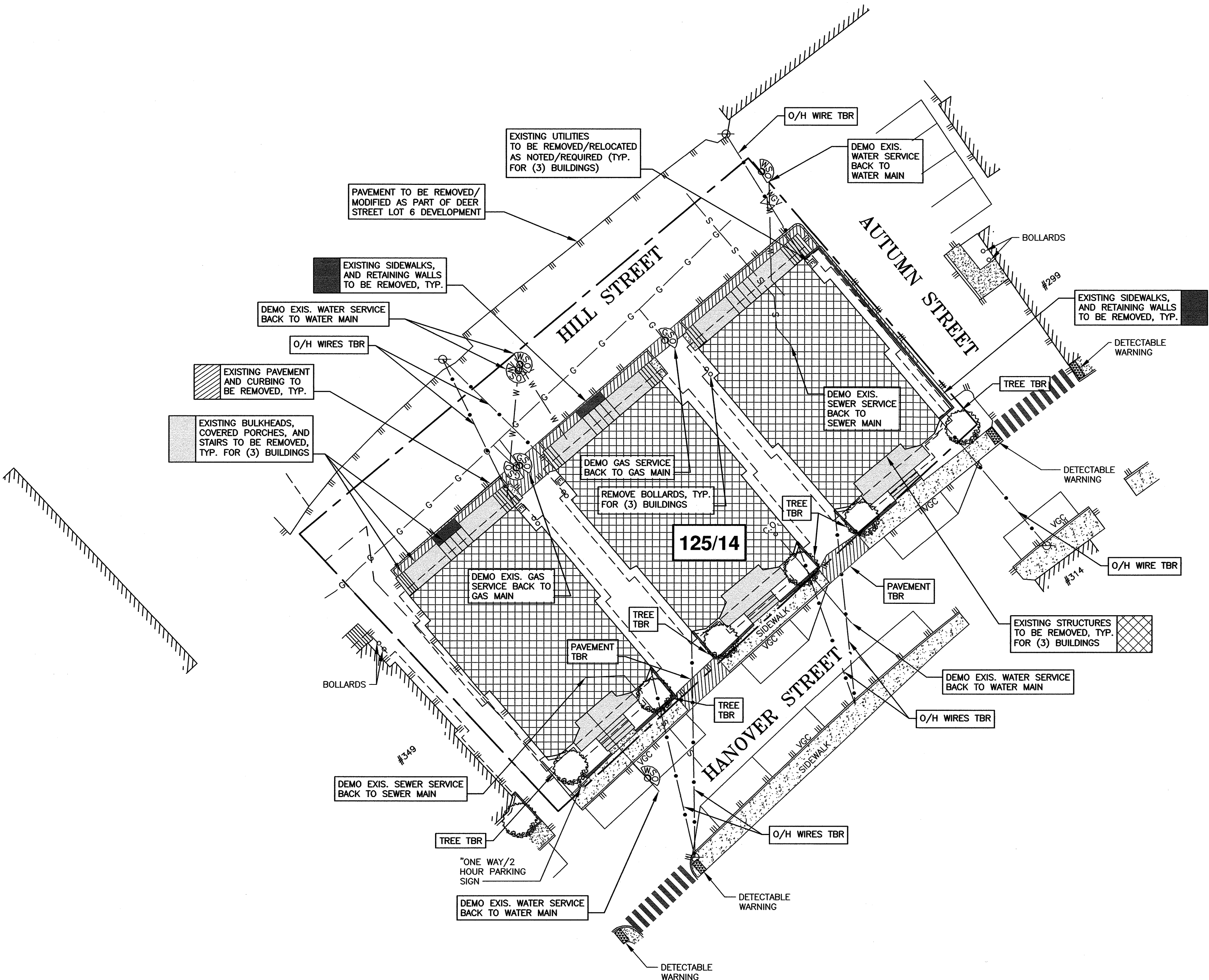
EXISTING CONDITIONS  
PLAN

C1



DEMOLITION NOTES:

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- K) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- L) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- M) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS.



**AMBIT ENGINEERING, INC.**  
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200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

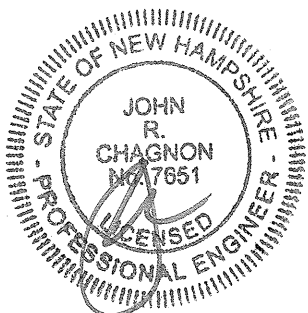
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE 'NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) COORDINATE ACCESS IN STREET/ROW AREAS ADJACENT TO DEMOLITION TO INSURE SAFE PASSAGE. UTILIZE DETOURS IF NEEDED.
- 5) EXISTING UTILITIES TO BE ABANDONED SHALL BE REMOVED TO THE UTILITY MAIN AND CAPPED PER THE UTILITY COMPANY REQUIREMENT.

**RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE

REVISIONS

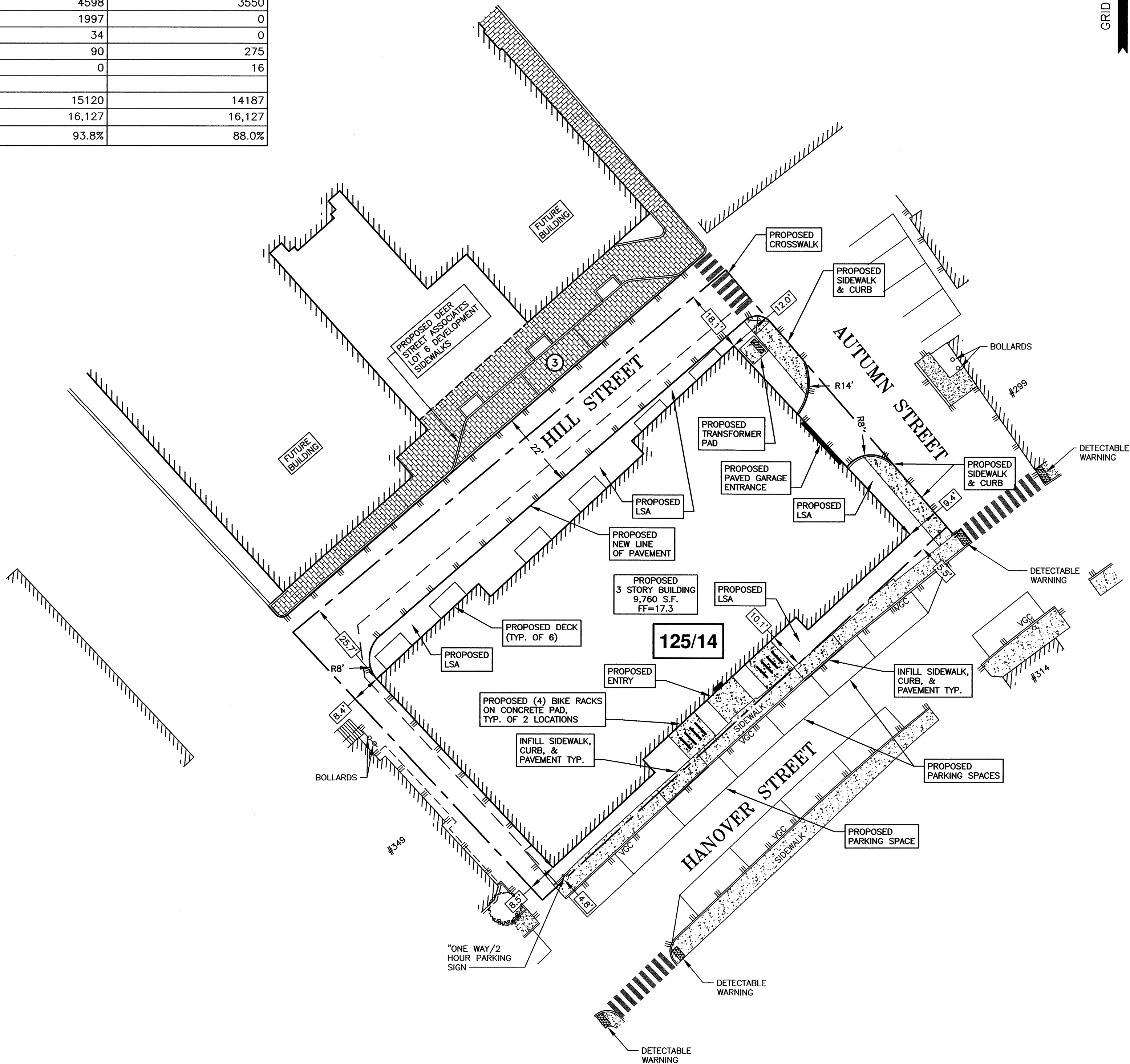


SCALE 1" = 20' SEPTEMBER 2021

**DEMOLITION  
PLAN** **C2**

ZONING DEVELOPMENT STANDARD			
CD4-L1: CHARACTER DISTRICT 4-L1			
BUILDING PLACEMENT (PRINCIPAL):			
	181 HILL STREET		
	REQUIRED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	15 FEET	10.0'	10.1'
MAX. SECONDARY FRONT YARD:	12 FEET	5.0'	12.0'
MIN. SIDE YARD:	5 FEET MIN. TO 20' MAX.	7'	8.4'
MIN. REAR YARD:	GREATER OF 5 FEET FROM REAR LOT LINE OR 10 FEET FROM CENTERLINE OF ALLEY	26.0'	18.1'
FRONT LOT LINE BUILDOUT:	60% MIN. TO 80% MAX.	76%	89%
BUILDING TYPES:			
ALLOWED BUILDING TYPES: HOUSE, DUPLEX, ROWHOUSE, APARTMENT BUILDING, LIVE/WORK BUILDING, PAIRED HOUSE, MIXED-USE BUILDING, FLEX SPACE BUILDING, COMMUNITY BUILDING.			
ALLOWED FACADE TYPE: PORCH, STOOP, FORECOURT, RECESSED-ENTRY, DOORYARD.			
BUILDING FORM:			
	REQUIRED	EXISTING	PROPOSED
MAX. STRUCTURE HEIGHT:	40 FEET	-	40'
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	38"	18"
MIN. GROUND STORY HEIGHT:	13 FEET	-	TBD
MIN. SECOND STORY HEIGHT:	N/A	-	TBD
FACADE GLAZING (WINDOW/PERIMETER):	70% SHOP 20-40% OTHER	-	TBD
ROOF TYPE ALLOWED: FLAT, GABLE, HIP, GAMBREL, MANSARD			
LOT OCCUPATION:			
	REQUIRED	EXISTING	PROPOSED
MAX. BUILDING BLOCK:	80 FEET	-	140.0'
MAX. FACADE MOD. LENGTH:	50 FEET	-	60.0'
MAX. BUILDING COVERAGE:	60%	43.4%	60%
MAX. BUILDING FOOTPRINT:	2,500 S.F.	2,342 S.F.	9,760 S.F.
MIN. LOT AREA:	3,000 S.F.	16,127 S.F.	16,127 S.F.
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	3,000 S.F.	-	1,344 S.F.
MIN. OPEN SPACE :	25%	6.2%	13.7%

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
BUILDINGS	7,007	9,760
PORCHES/DECKS	863	264
STAIRS	249	0
CONCRETE	282	322
PAVEMENT	4598	3550
GRAVEL	1997	0
RETAINING WALL	34	0
SIDEWALK	90	275
CURBING	0	16
TOTAL	15120	14187
LOT SIZE	16,127	16,127
% LOT COVERAGE	93.8%	88.0%




**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

A. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

B. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



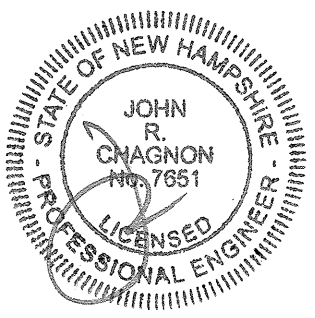
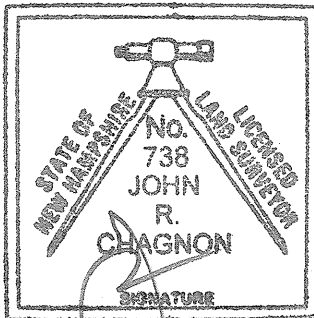
**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 14.
  - 2) OWNER OF RECORD:  
HILL-HANOVER GROUP, LLC  
c/o JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE, #125  
PORTSMOUTH, NH 03801  
4356/10  
R.C.R.D PLANS D-38162, D-38163, & D-38164
  - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 (LIMITED 1).
  - 4) DIMENSIONAL REQUIREMENTS:  
CHARACTER DISTRICT 4-L1 (CD4-L1):  
MIN. LOT AREA: 3,000 S.F.  
FRONTAGE: NO REQUIREMENT  
SETBACKS:  
FRONT (MAX.) 15 FEET (PRIMARY)  
FRONT (MAX.) 12 FEET (SECONDARY)  
SIDE 5-20 FEET (MAX)  
REAR 5/10  
MAXIMUM STRUCTURE HEIGHT: 2-3 STORIES  
40 FEET  
MAXIMUM STRUCTURE COVERAGE: 60%  
MAXIMUM BUILDING FOOTPRINT: 2,500 S.F.  
MINIMUM OPEN SPACE: 25%  
MINIMUM FRONT LOT LINE BUILDOUT: 60-80%
  - 5) LOT AREA: 16,127 S.F., 0.3702 ACRES.
  - 6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
  - 7) THE PURPOSE OF THIS PLAN IS A PROPOSED REPLACEMENT STRUCTURE ON TAX MAP 125, LOT 14 IN PORTSMOUTH, NH.

**RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.**

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SCALE 1" = 20' SEPTEMBER 2021

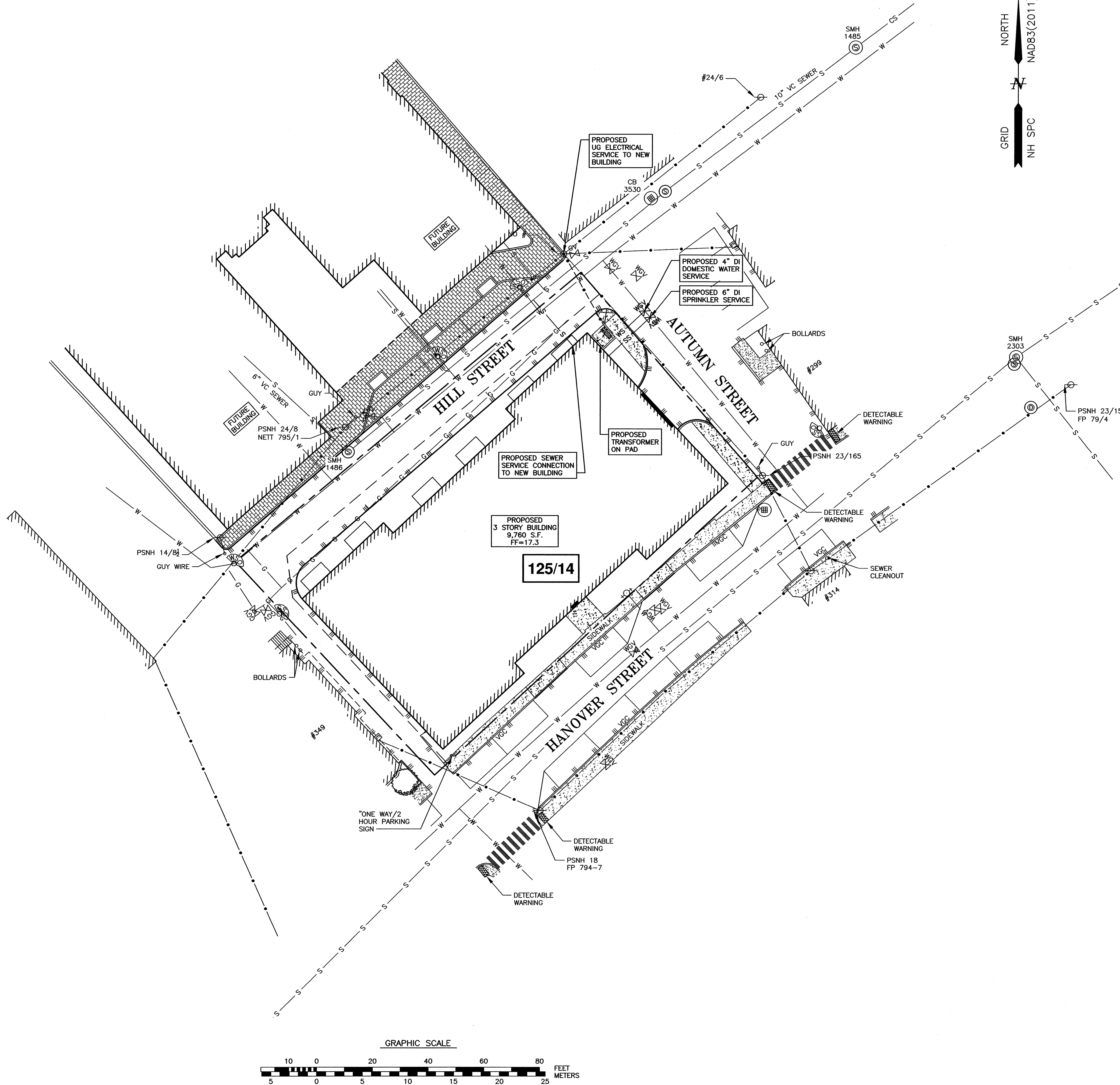
SITE  
PLAN

C3



UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.



AMBIT ENGINEERING, INC.

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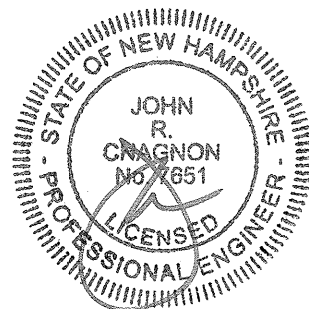
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS (IN THE PROJECT VICINITY) UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER #XXXXXX
- 8) PROPOSED SEWER FLOW:  
12 UNITS X 170 GPD/UNITS = 2,040 GPD  
TOTAL FLOW: 2,040 GPD
- 9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 10) FINAL CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.
- 11) EXISTING UTILITIES TO BE ABANDONED SHALL BE REMOVED TO THE UTILITY MAIN AND CAPPED PER THE UTILITY COMPANY REQUIREMENT.

RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	9/29/21
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REVISIONS



SCALE 1" = 20' SEPTEMBER 2021

UTILITY  
PLAN

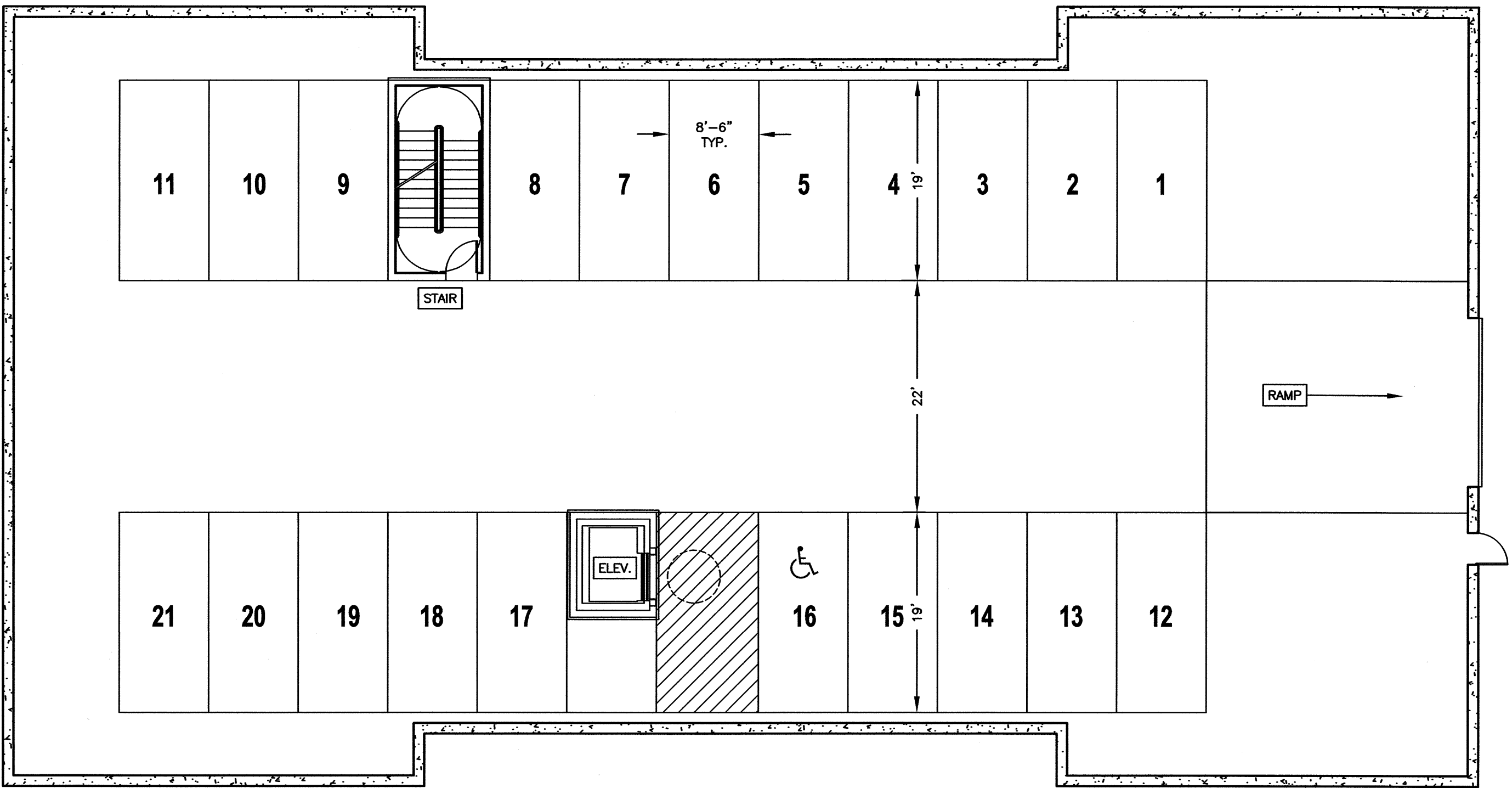
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Tel (603) 430-9282  
Fax (603) 436-2315

**NOTES:**

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 14.
- 2) OWNER OF RECORD:  
HILL-HANOVER GROUP, LLC  
c/o JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE, #125  
PORTSMOUTH, NH 03801  
4356/10  
R.C.R.D PLANS D-38162, D-38163, & D-38164
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 125 LOT 14 IN THE CITY OF PORTSMOUTH.
- 4) REQUIRED PARKING:  
12 1,900 S.F. UNITS  
12 X 1.3 = 16 SPACES
- PROVIDED PARKING:  
21 SPACES LOWER LEVEL  
14 SPACES OFFSITE  
35 SPACES TOTAL



**PORTSMOUTH APPROVAL CONDITIONS NOTE:**

ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

A. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

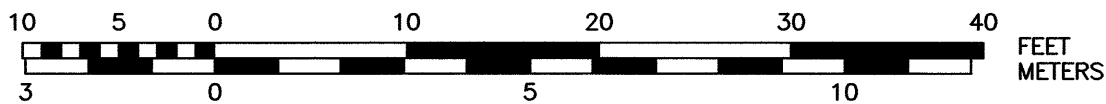
B. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

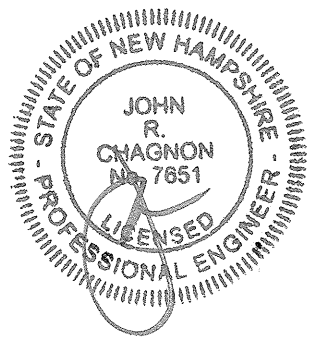
**GRAPHIC SCALE**



**RESIDENTIAL BUILDING**  
**HILL-HANOVER GROUP, LLC**  
**181 HILL STREET**  
**PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	11/2/21
NO.	DESCRIPTION	DATE

**REVISIONS**

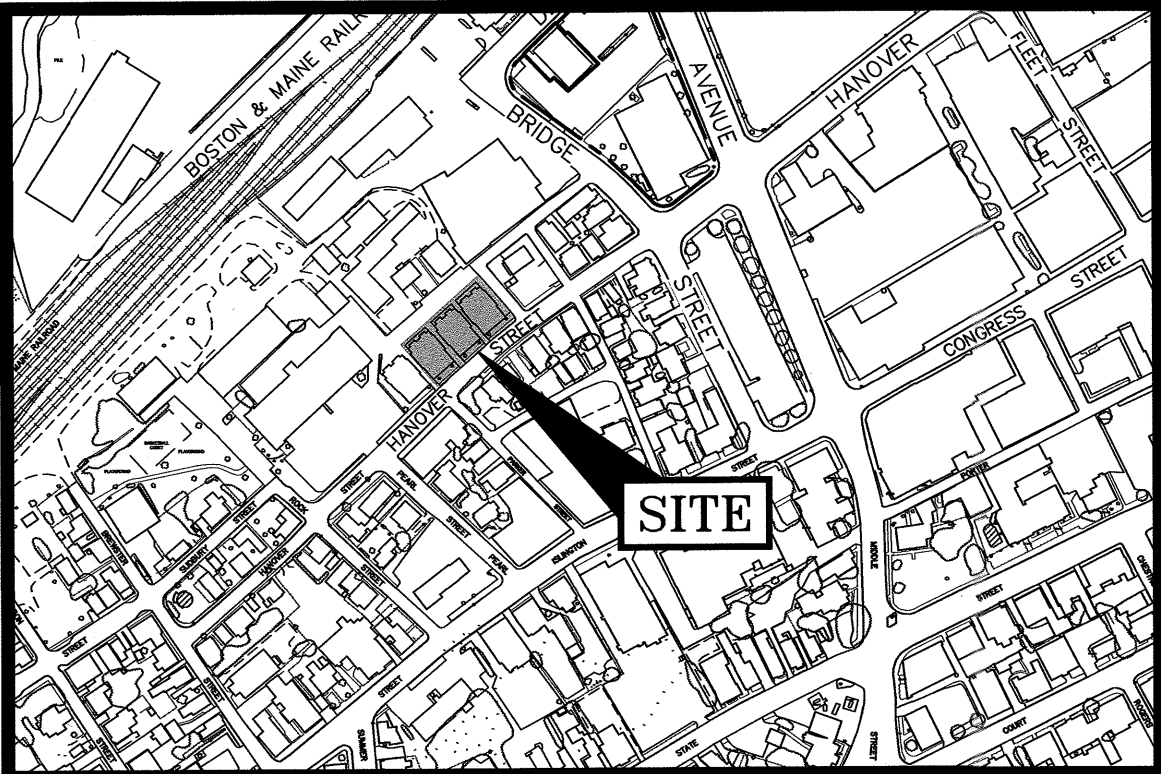


SCALE 1" = 10' SEPTEMBER 2021

**PARKING PLAN**

**C5**





LOCATION MAP

SCALE: 1" = 300'

PLAN REFERENCES:

- 1) LOT LINE RELOCATION PLAN TAX MAP 125, LOT 14 & TAX MAP 138, LOT 62, OWNERS OF RECORD: HILL HANOVER GROUP, LLC c/o JPK PROPERTIES, LLC 1 NEW HAMPSHIRE AVENUE. #125 FOR DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2013, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38162.
- 2) UTILITY EASEMENT PLAN TAX MAP 125 - LOT 14 & TAX MAP 138 - LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38163.
- 3) PARKING EASEMENT PLAN TAX MAP 125 - LOT 14 & TAX MAP 138 - LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 12, 2014. R.C.R.D. PLAN D-38164.

DEVELOPMENT TABLE					
LOT #	LOT AREA S.F.	BUILDING FOOTPRINT/ COVERAGE	OPEN SPACE S.F./%	# UNITS	DENSITY (S.F./UNIT)
①	5,736 S.F.	2,713 S.F. (47%)	312 S.F. (5.4%)	4	1,434 S.F.
②	5,301 S.F.	2,699 S.F. (50.9%)	246 S.F. (4.6%)	4	1,325 S.F.
③	5,090 S.F.	2,717 S.F. (53.3%)	328 S.F. (6.4%)	4	1,272 S.F.

NOTE: MAX. BUILDING FOOTPRINT AND OPEN SPACE REQUIREMENTS ARE NOT MET.

ABUTTERS:

- 125  
10

N/F  
JEFFREY S. NAWROCKI REVOCABLE TRUST 2001  
1 AUTUMN STREET  
PORTSMOUTH, NH 03801  
4042/2931
- 125  
11

N/F  
136 HILL STREET CONDOS  
C/O PATRICK & DEANNA BOWER  
17 CENTRAL STREET  
METHUEN, MA 01844
- 125  
16

N/F  
JOHN W. GRAY REVOCABLE TRUST  
579 SAGAMORE AVENUE UNIT 100  
PORTSMOUTH, NH 03801  
3895/0653
- 126  
29

N/F  
G. EDWARD GOWEN JR.  
33 GREAT BAY ROAD  
GREENLAND, NH 03840  
4327/2531
- 126  
40

N/F  
SHERRY L. & JEFFREY A. WOOD  
280 LOCKE ROAD  
RYE, NH 03870  
5206/1770
- 126  
43

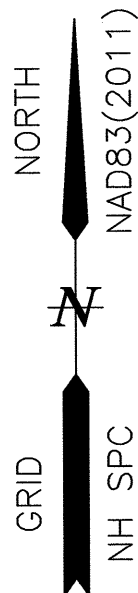
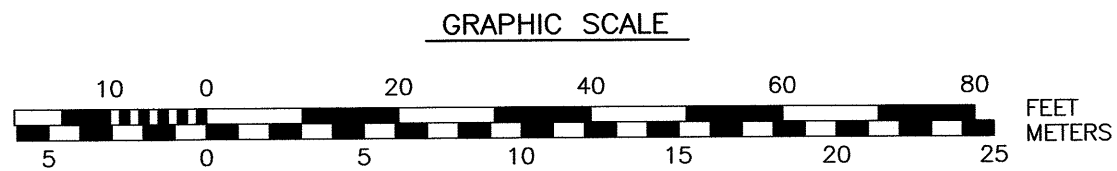
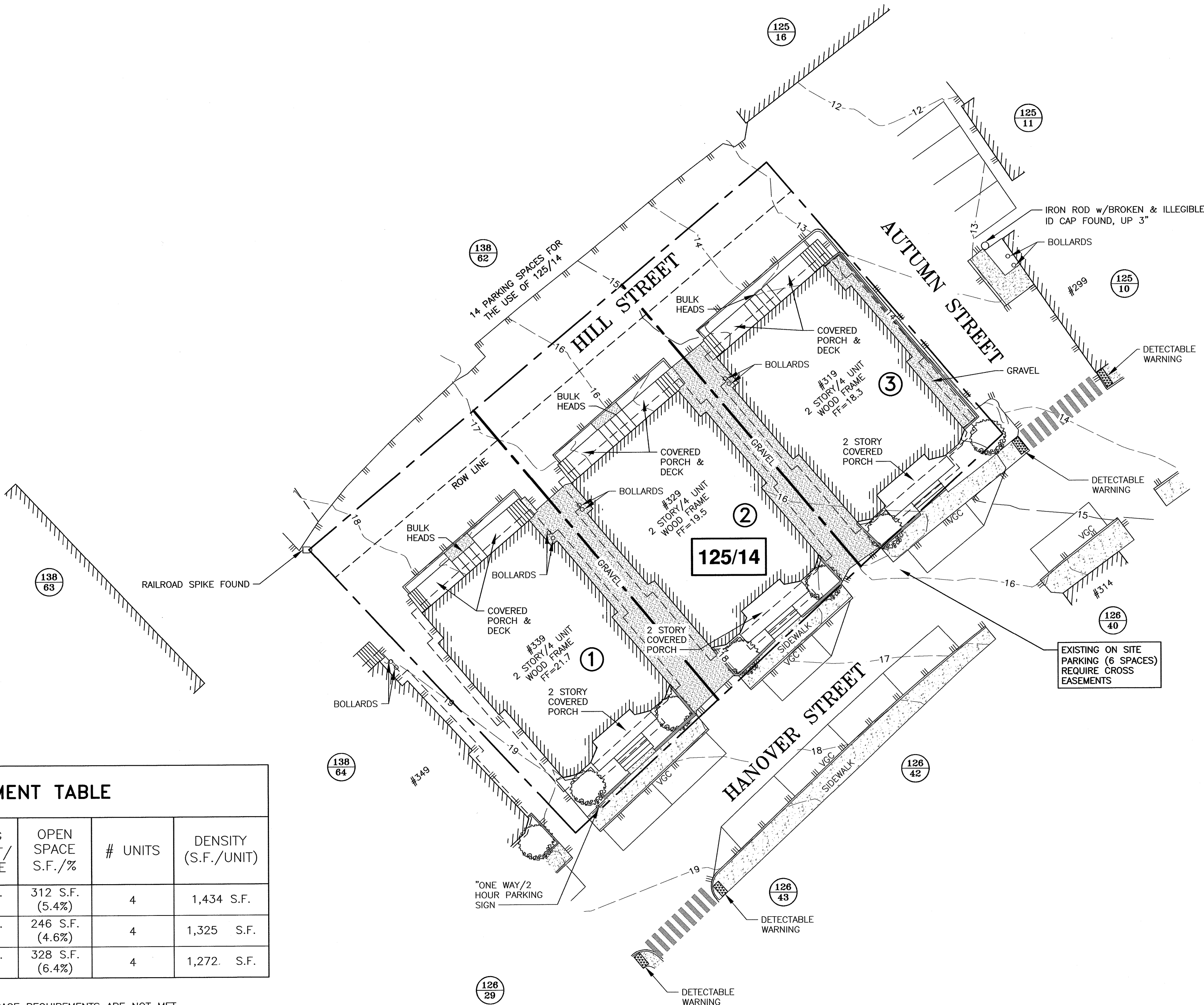
N/F  
LAURA A. CURRIER & JOHN CARTY  
324 HANOVER STREET  
PORTSMOUTH, NH 03801  
6008/0146
- 126  
43

N/F  
CHRISANTHOS & GREGORY VATISTAS  
23 SILVER STREET  
ROCHESTER, NH 03867  
4622/2307
- 138  
62

N/F  
FOUNDRY PLACE, LLC  
157 DEER STREET  
PORTSMOUTH, NH 03801  
5878/2856
- 138  
63

N/F  
KEARSARGE MILL CONDO MASTERCARD  
361 HANOVER STREET  
PORTSMOUTH, NH 03801
- 138  
64

N/F  
HILL HANOVER GROUP  
4 DURHAM POINT ROAD  
DURHAM, NH 03824



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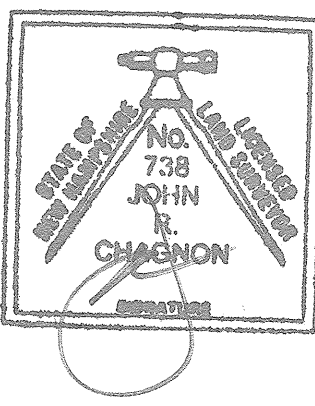
NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 14.
- 2) OWNER OF RECORD:  
HILL-HANOVER GROUP, LLC  
c/o JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE, #125  
PORTSMOUTH, NH 03801  
4356/10  
R.C.R.D. PLANS D-38162, D-38163, & D-38164
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 (LIMITED 1).
- 4) DIMENSIONAL REQUIREMENTS:  
CHARACTER DISTRICT 4-L1 (CD4-L1):  
MIN. LOT AREA: 3,000 S.F.  
FRONTAGE: NO REQUIREMENT  
SETBACKS:  
FRONT (MAX.) 15 FEET (PRIMARY)  
FRONT (MAX.) 12 FEET (SECONDARY)  
SIDE 5-20 FEET (MAX)  
REAR 5/10  
MAXIMUM STRUCTURE HEIGHT: 2-3 STORIES  
40 FEET  
MAXIMUM STRUCTURE COVERAGE: 60%  
MAXIMUM BUILDING FOOTPRINT: 2,500 S.F.  
MINIMUM OPEN SPACE: 25%  
MINIMUM FRONT LOT LINE BUILDOUT: 60-80%
- 5) LOT AREA: 16,127 S.F., 0.3702 ACRES.
- 6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW POTENTIAL DEVELOPMENT ON TAX MAP 125, LOT 14 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS NGS PID 0C0290 - B 2 1923.
- 9) PARCEL IS SUBJECT TO A 20' WIDE UTILITY EASEMENT. SEE R.C.R.D. 5518/2759.
- 10) PARCEL IS SUBJECT TO AND BENEFITED BY A 20' WIDE RIGHT-OF-WAY IN COMMON. SEE R.C.R.D. 829/130.
- 11) PARCEL BENEFITS FROM AN EASEMENT FOR PARKING. SEE R.C.R.D. 5518/2747, SEE ALSO PARTIAL RELEASE R.C.R.D. 5751/1463.

RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	11/2/21

REVISIONS



SCALE 1" = 20' SEPTEMBER 2021

CONCEPT  
PLAN

C6



## EROSION CONTROL NOTES

### CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN **NPDES** PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, I.E., SILT/SOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH EXISTING BUILDINGS, REMOVE IMPACTED UTILITIES.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT SIDEWALKS.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

### GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES ( LOAM AND SEED AREAS ) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS--CONSTRUCT SILT FENCE OR SILT/SOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

### VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREEPING RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	
<b>SLOPE SEED</b> (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)		
CREEPING RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:  
MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

PERENNIAL RYE: 0.7 LBS/1,000 S.F.  
MULCH: 1.5 TONS/ACRE

### MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE OR SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

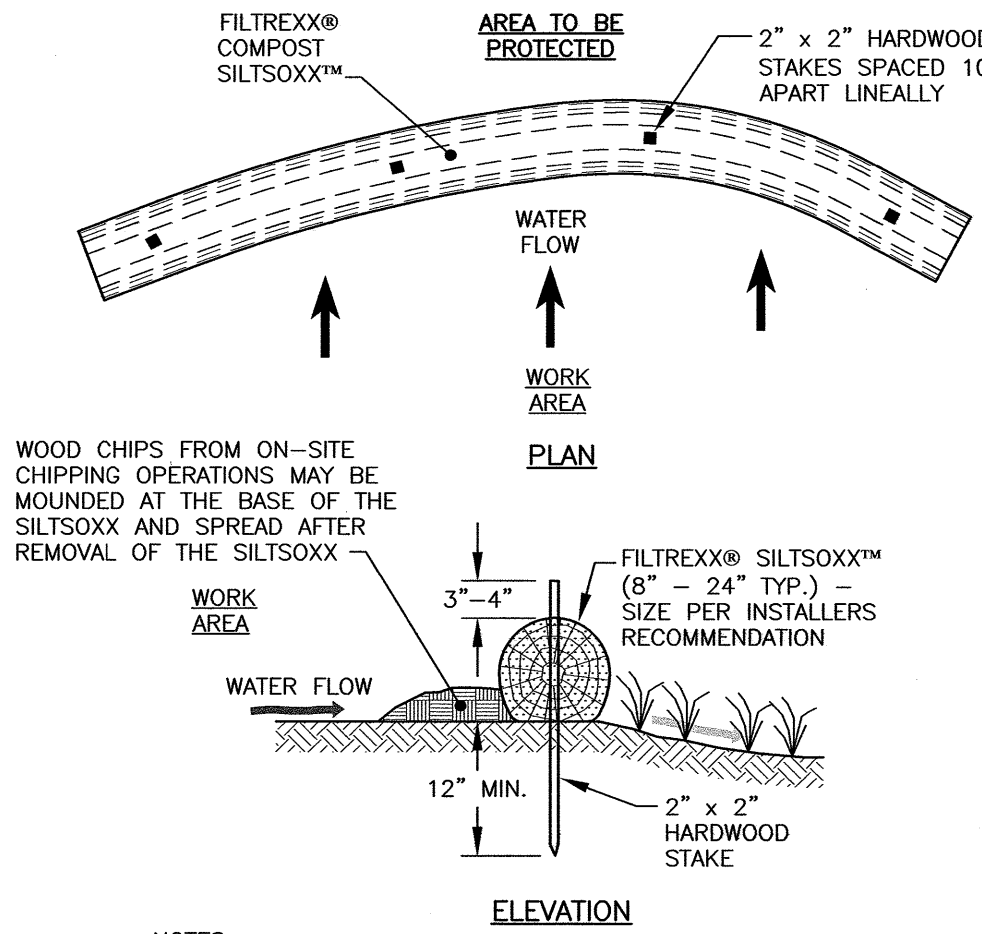
SILT FENCING AND SILT/SOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

### WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



- NOTES:
- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
  - FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
  - THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
  - SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
  - THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

**FILTREXX®**  
**SILT/SOXX™ FILTRATION SYSTEM**  
A C5 (AS NEEDED) NTS

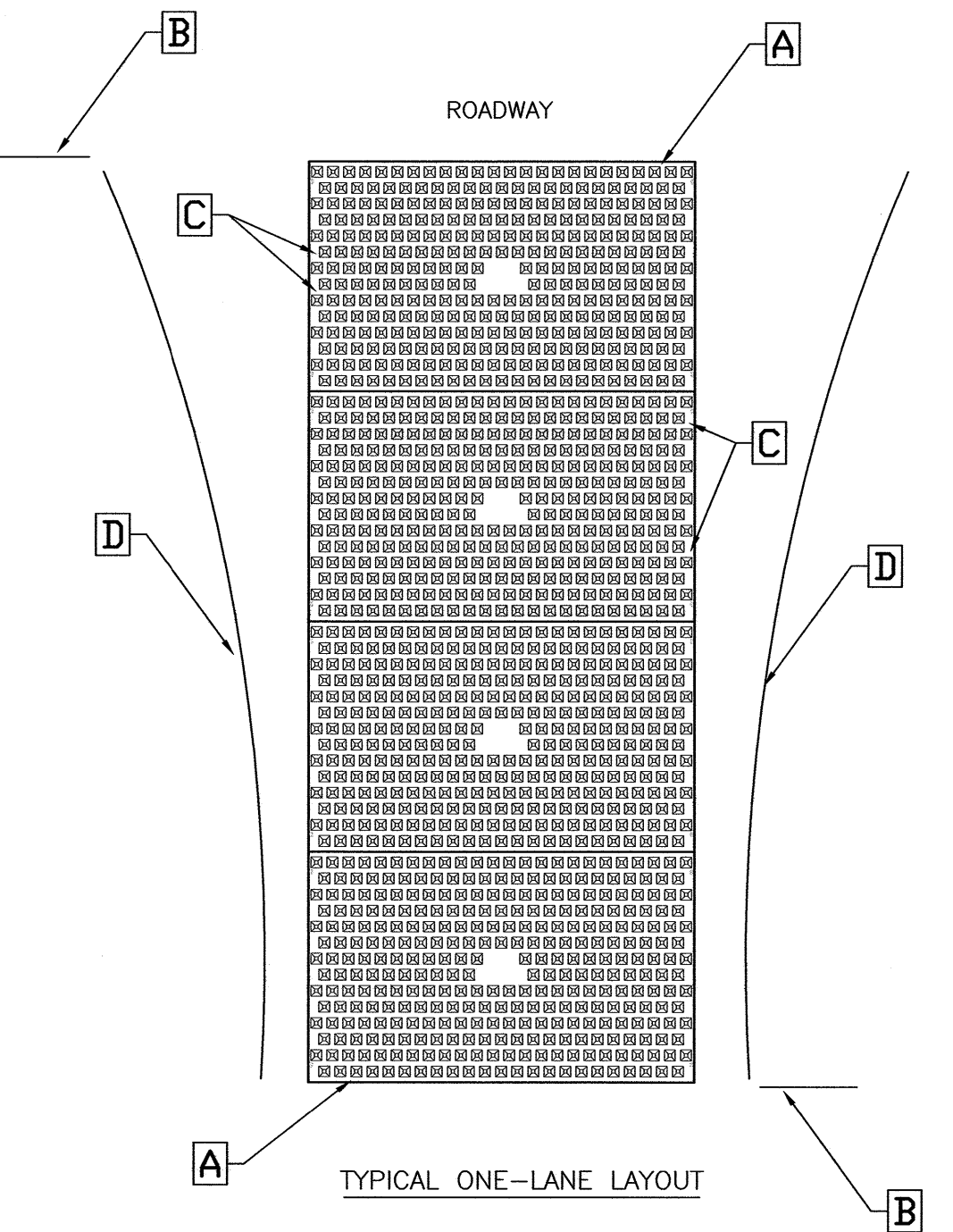
## FODS TRACKOUT CONTROL SYSTEM

### INSTALLATION:

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

#### KEY NOTES:

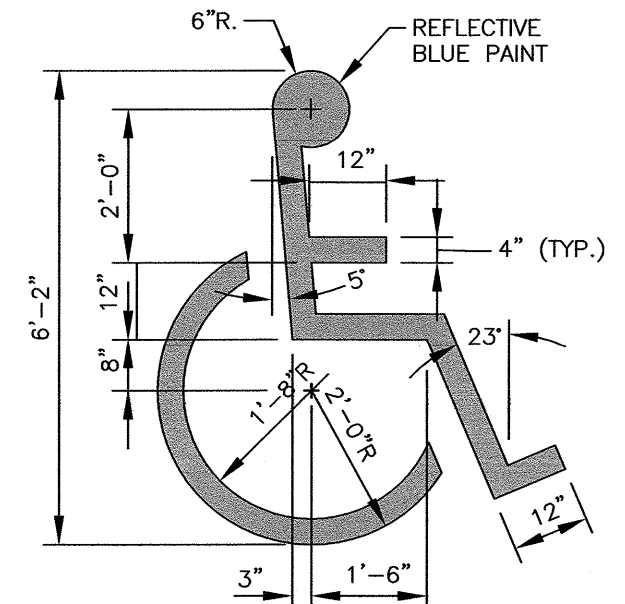
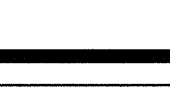
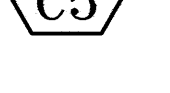
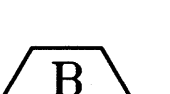
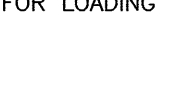
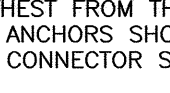
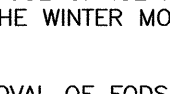
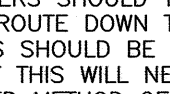
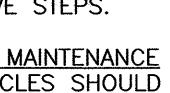
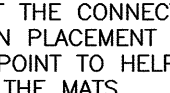
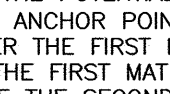
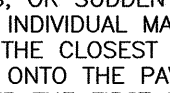
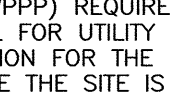
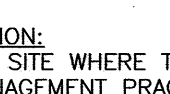
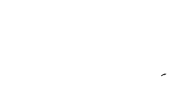
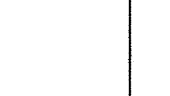
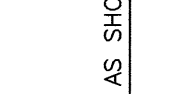
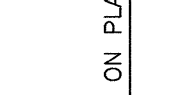
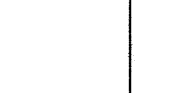
- FODS TRACKOUT CONTROL SYSTEM MAT.
- FODS SAFETY SIGN.
- ANCHOR POINT.
- SILT OR ORANGE CONSTRUCTION FENCE.



R7-8g  
12" x 18"  
SIGN ON POST  
EACH SPACE  
SHALL HAVE  
THIS SIGN  
DISPLAYED PER  
ADA CODE

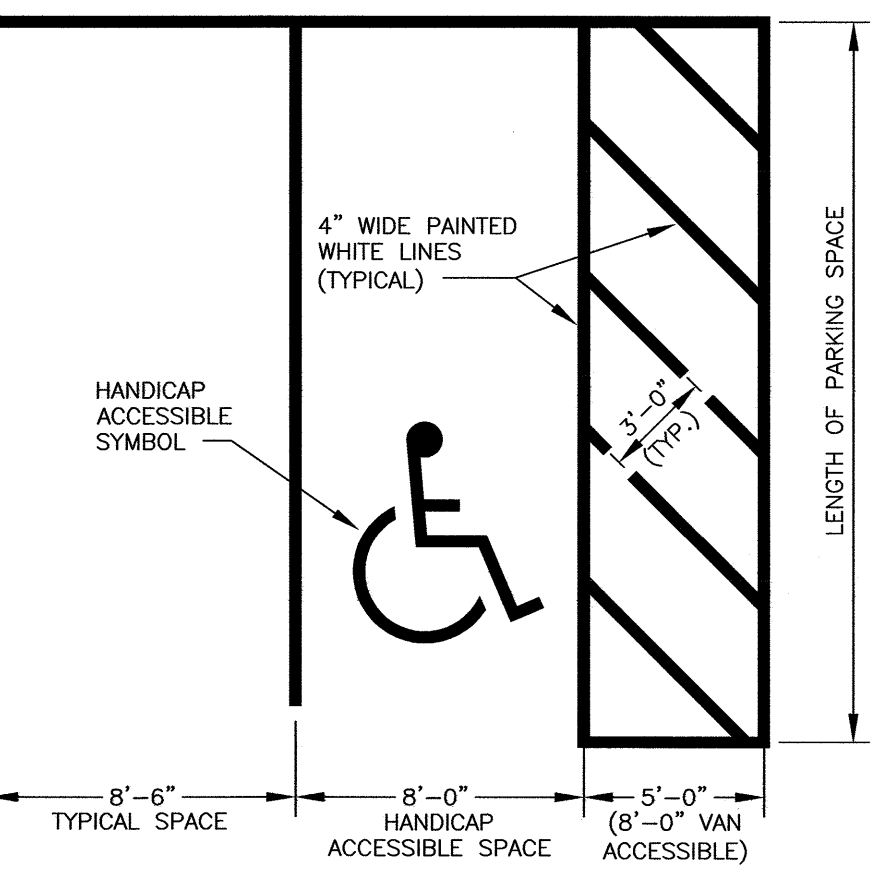
### SIGNAGE

#### LEGEND SYMBOL



#### HANDICAP ACCESSIBLE SYMBOL

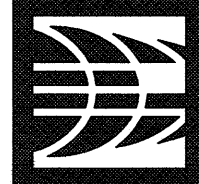
PROVIDE SIGN (PER ADA CODE) AT EACH HANDICAP ACCESSIBLE SPACE



C6 HANDICAP PARKING DETAIL  
NTS

#### NOTES:

- SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
- SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
- ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.



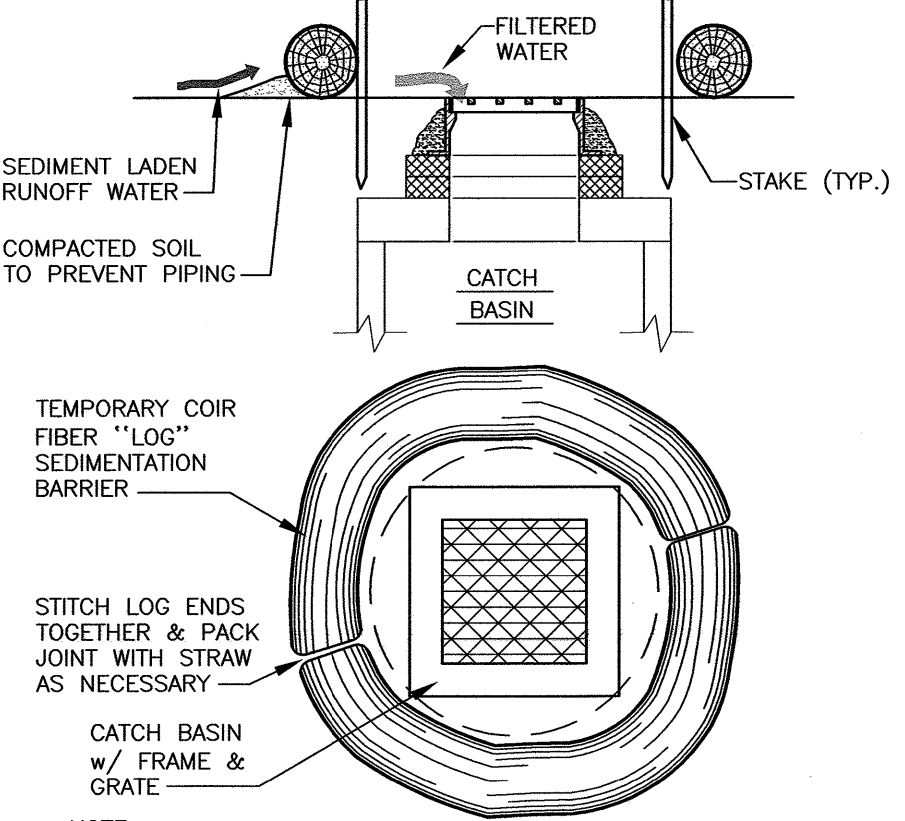
## AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

## NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



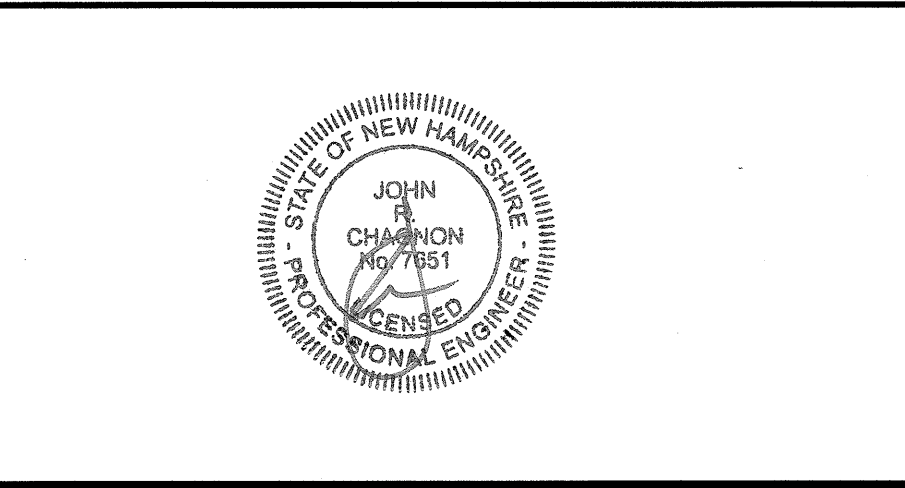
- NOTE:
- PRIOR TO INSTALLATION, SILT LOGS SHALL BE KEPT DRY AND STORED IN THEIR ORIGINAL WRAPPING.
  - MINIMUM CROSS SECTIONAL DIAMETER OF SILT LOGS: 12".
  - SILT LOGS MAY BE CUT AND RE-STITCHED AS NEEDED PER MANUFACTURERS RECOMMENDATIONS.
  - SILT LOGS SHALL BE INSPECTED AFTER EACH STORM EVENT.
  - REMOVE ACCUMULATED SILT WHEN DEPTH REACHES ONE HALF OF SILT LOG DIAMETER.
  - IF LOGS ARE TOO STIFF TO BEND AROUND CATCH BASIN INLET, THEY MAY BE CUT AND LAID SQUARE.

**"SILT LOG" BARRIER**  
**AT CATCH BASIN INLET**  
(AS NEEDED) NTS

## RESIDENTIAL BUILDING HILL-HANOVER GROUP, LLC 181 HILL STREET PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE

### REVISIONS

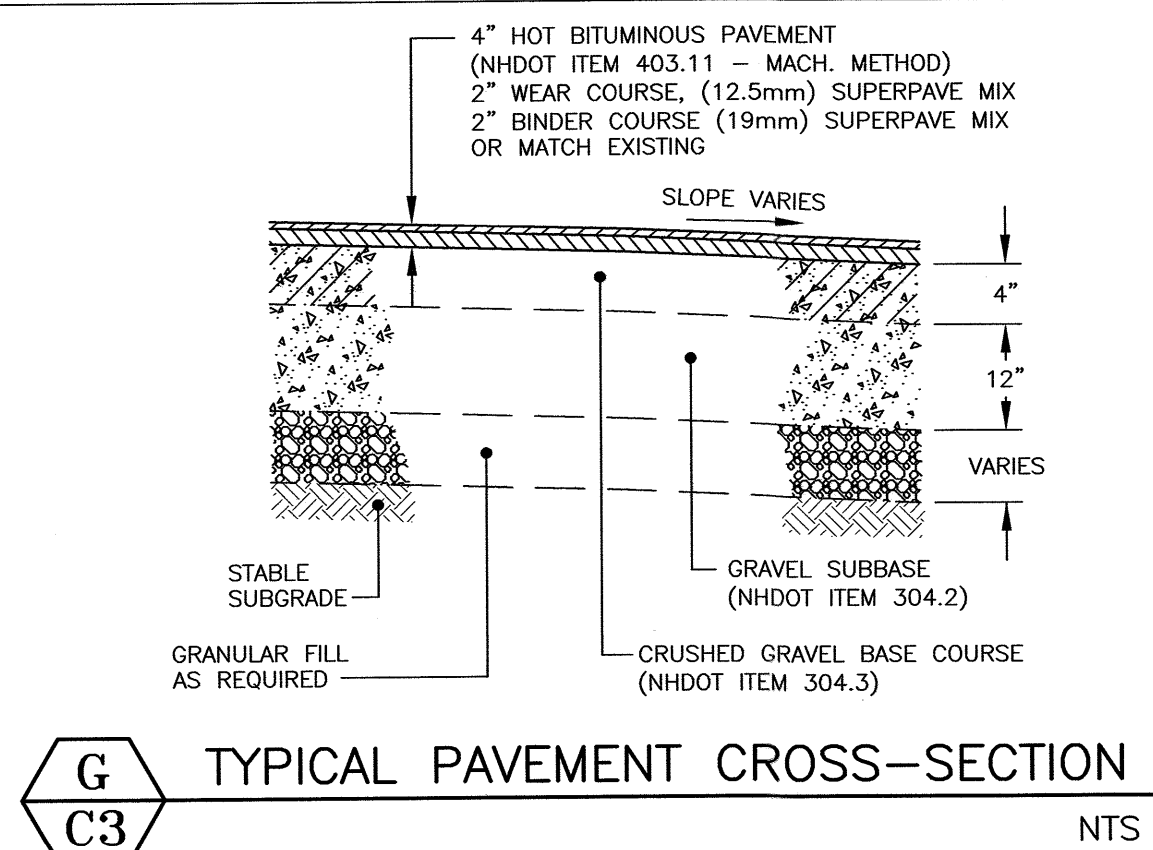
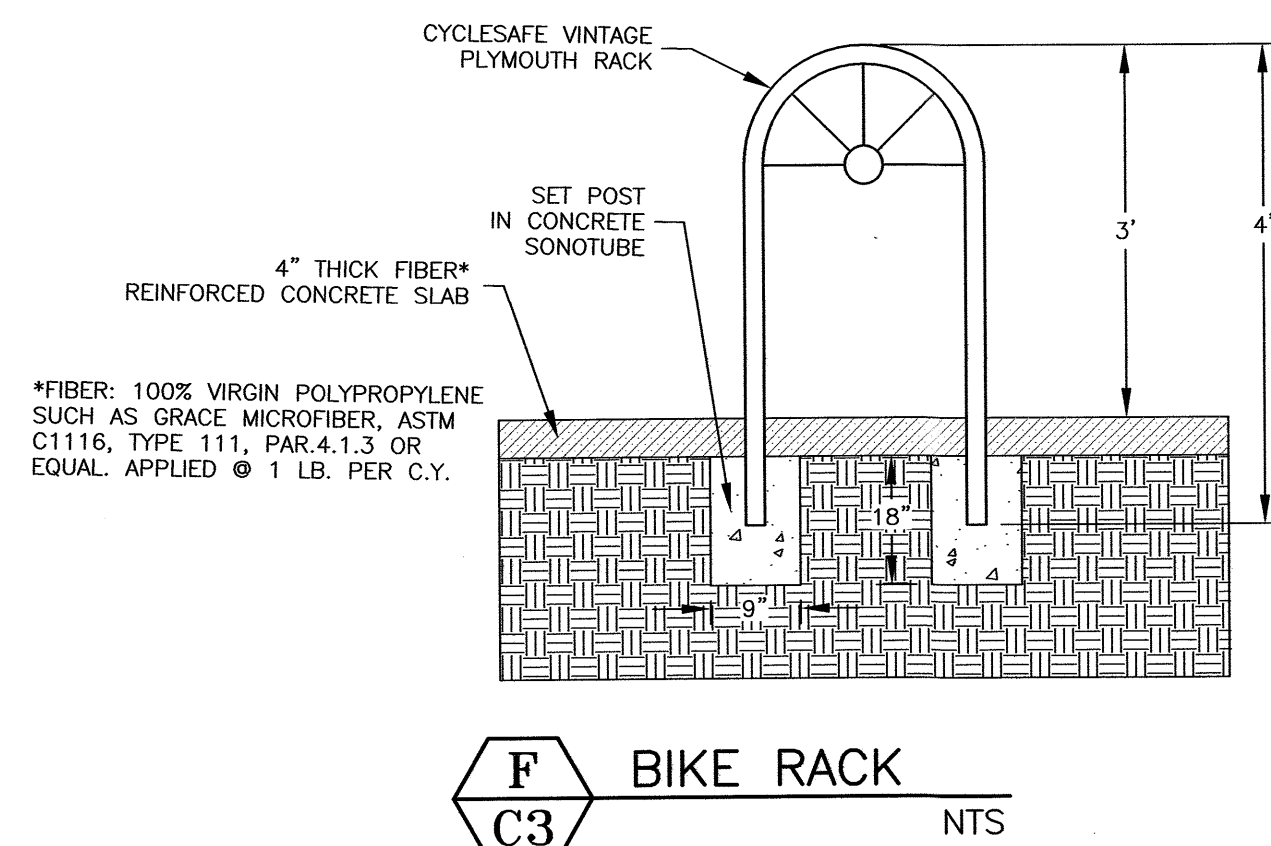
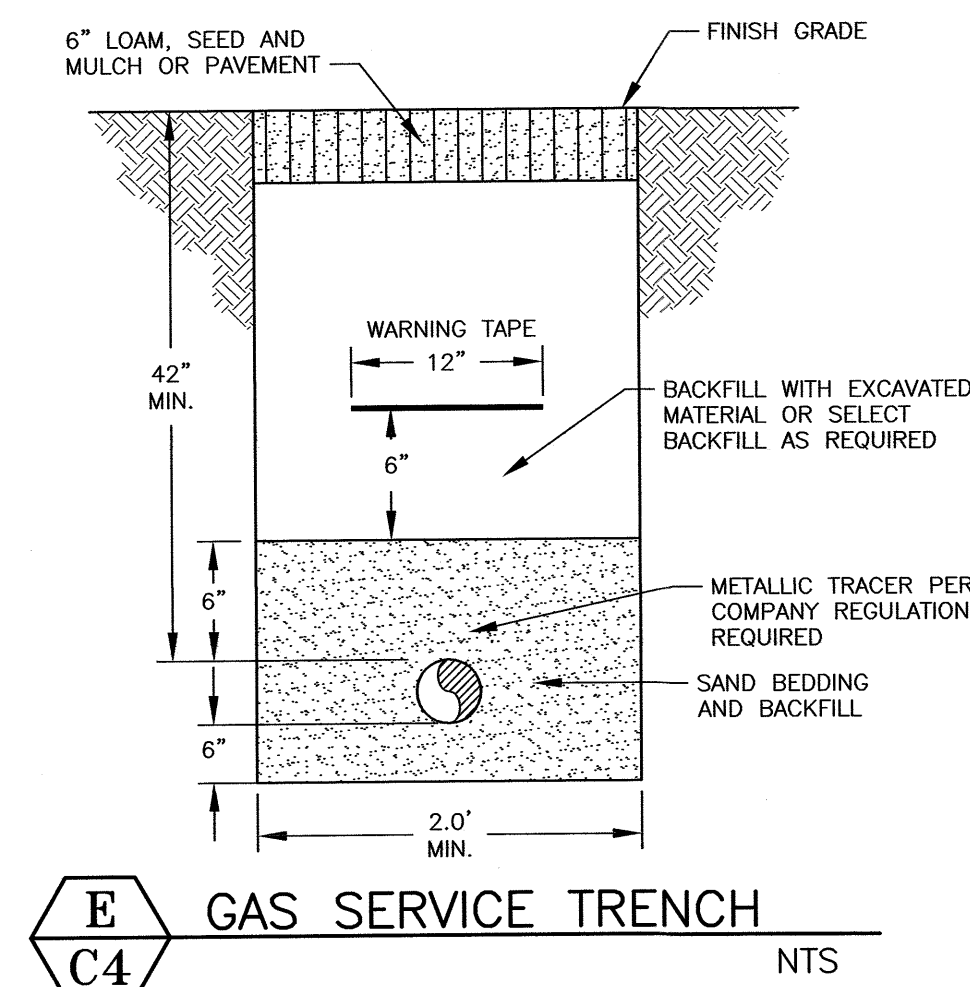
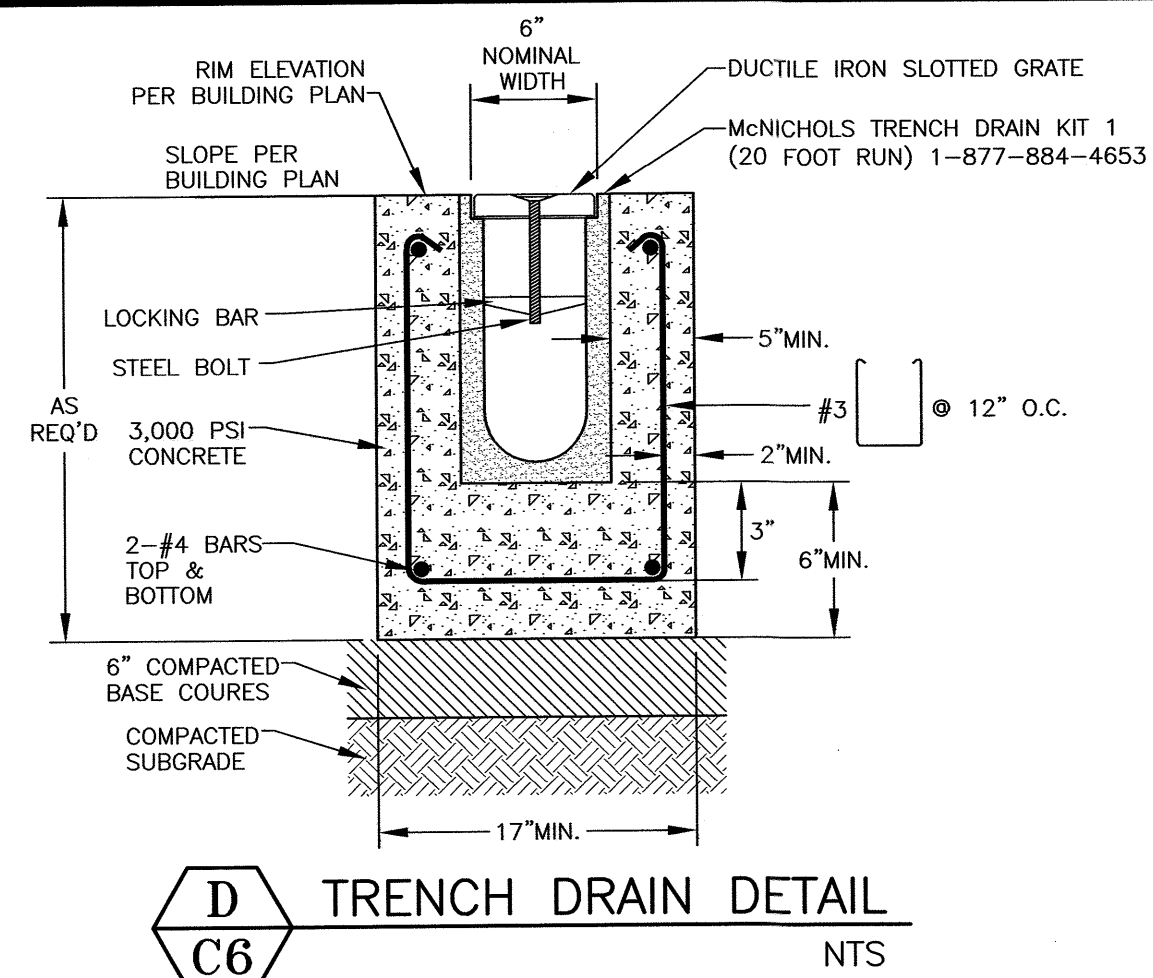


SCALE: AS SHOWN SEPTEMBER 2020

**EROSION PROTECTION  
NOTES AND DETAILS**

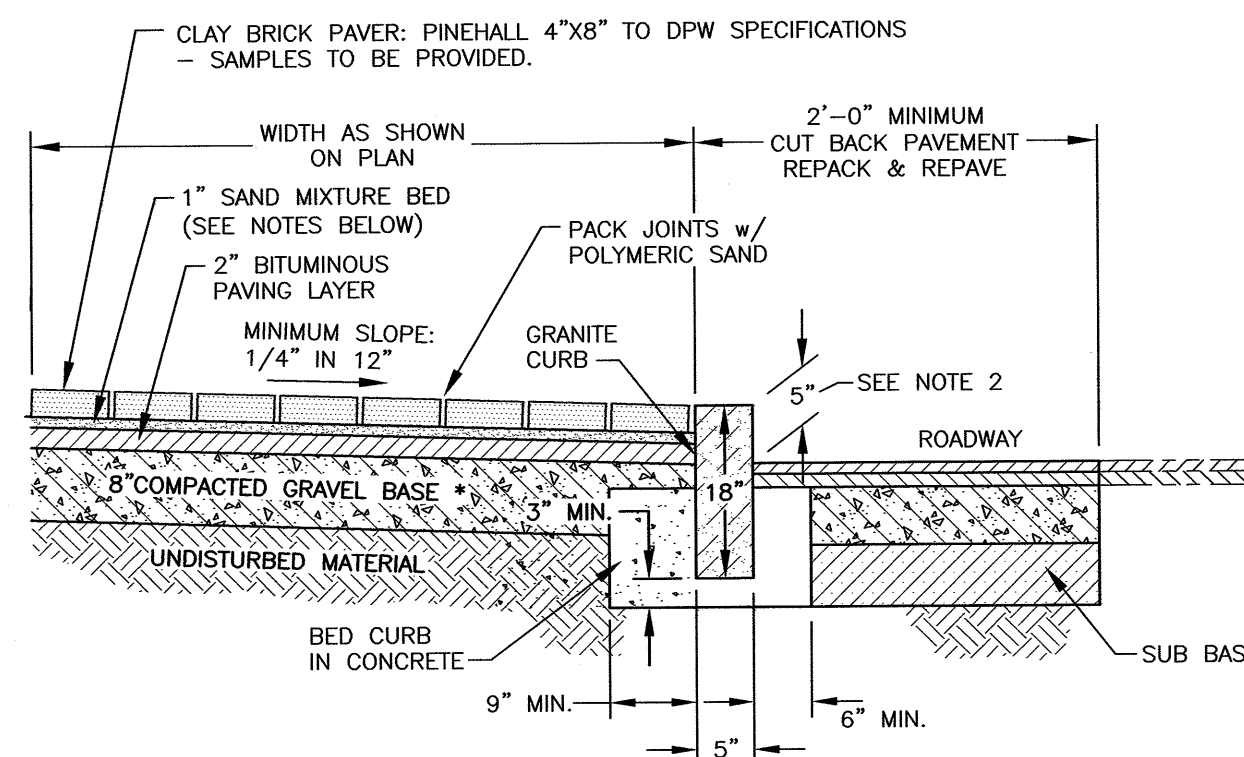
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CONSTRUCTION NOTE:

EXISTING GRANITE CURB  
DISTURBED BY CONSTRUCTION  
SHALL BE REUSED AND ANY  
MISSING CURB SHALL BE  
REPLACED WITH NEW CURB  
MATCHING EXISTING CURB  
SIZE. NO CURB LESS THAN  
3' IN LENGTH WILL BE  
ALLOWED.



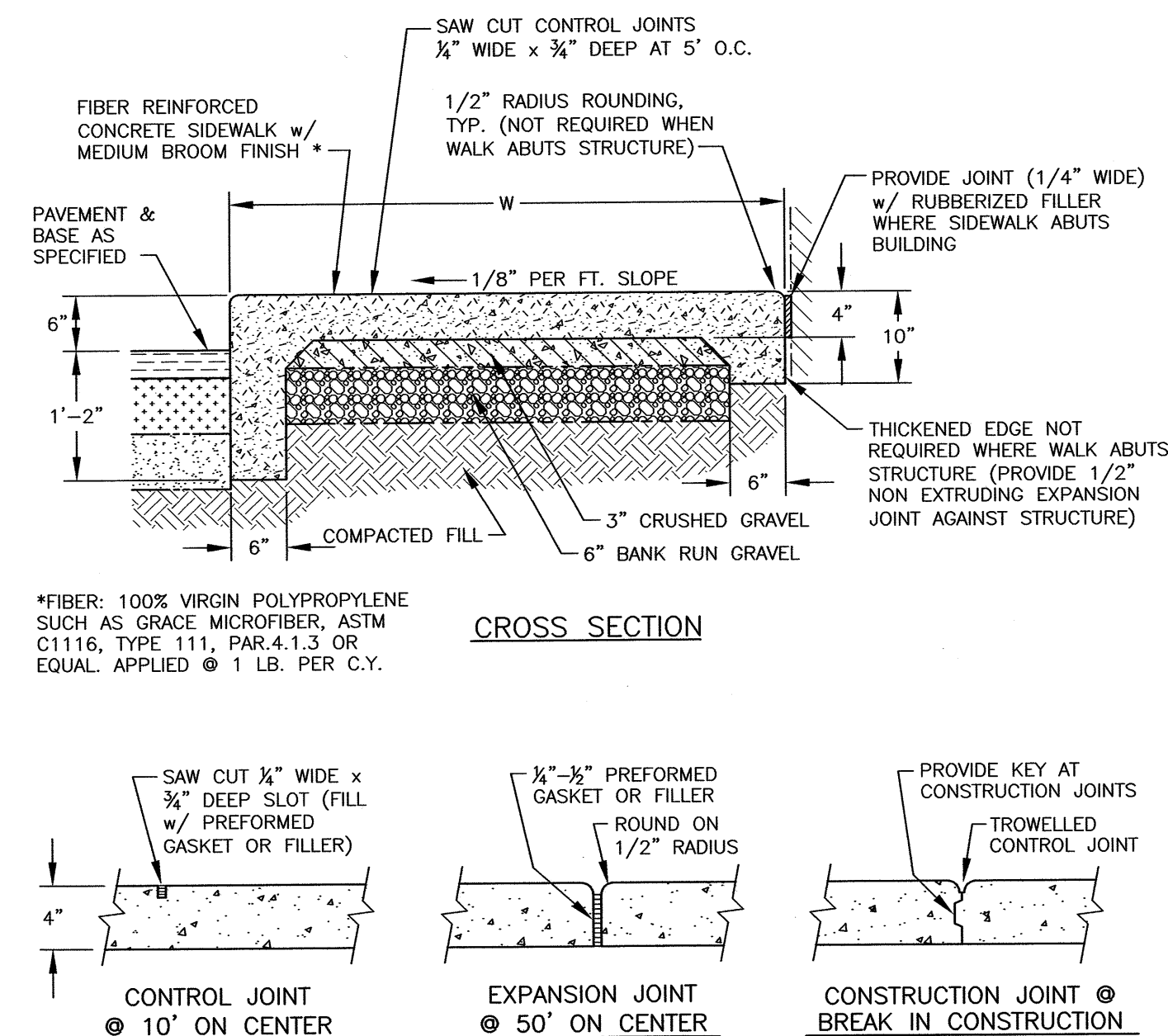
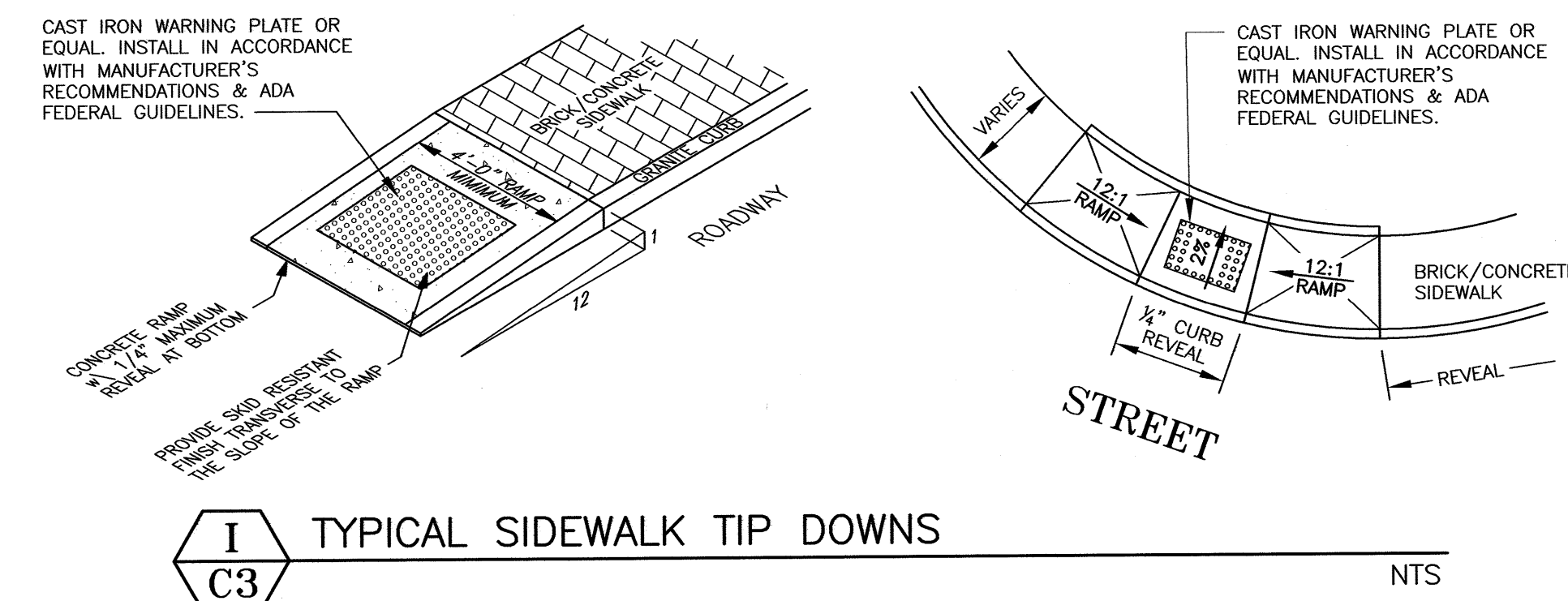
## BRICK PAVEMENT NOTES

SCOPE OF WORK:

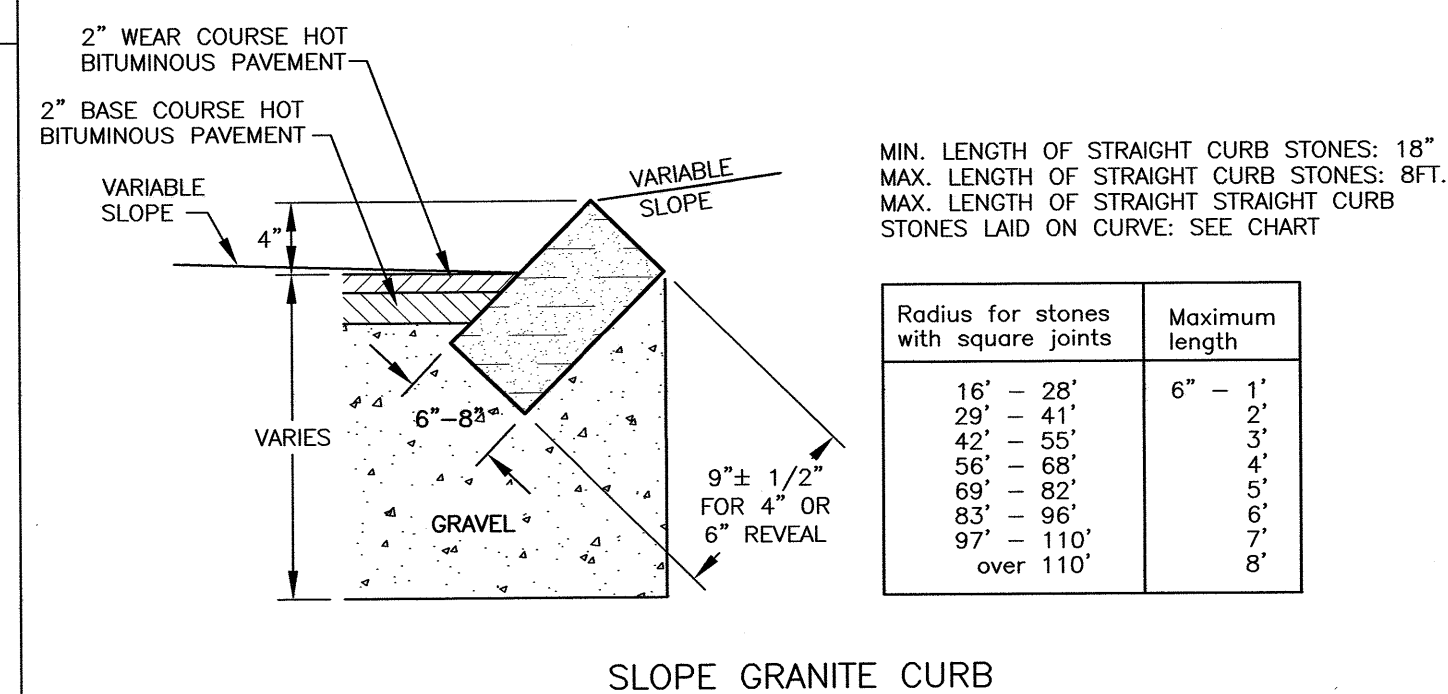
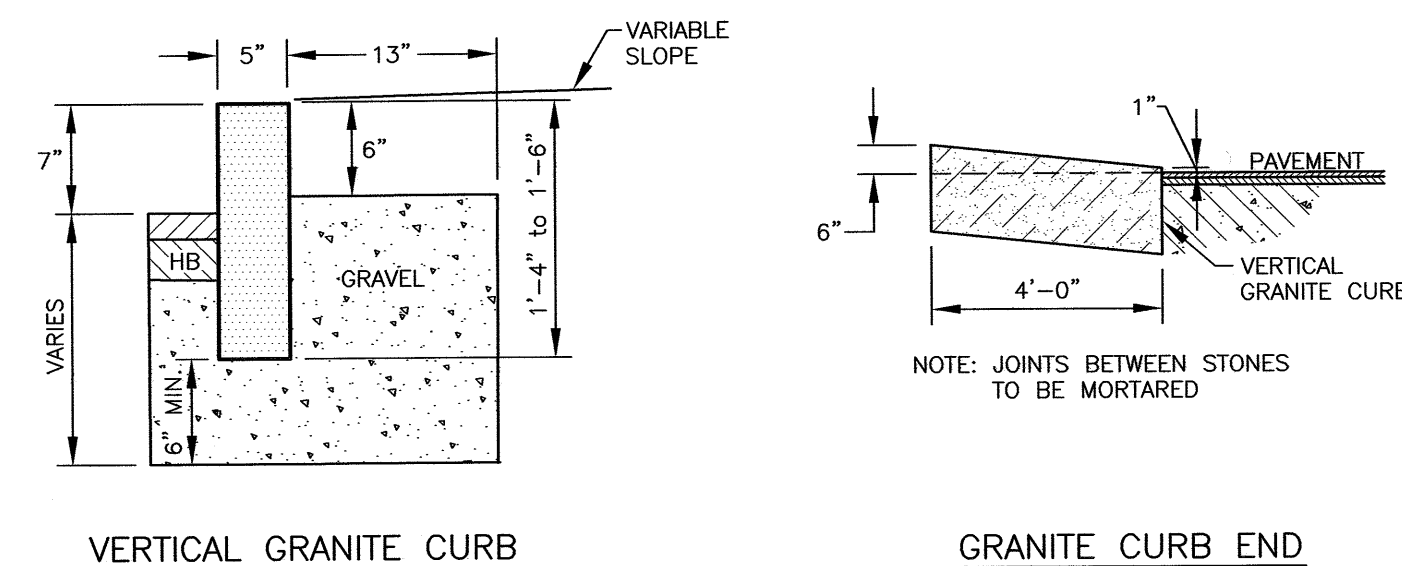
- 1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER.
- 2) REVEAL SHALL BE 5" (COORDINATE WITH PORTSMOUTH DPW).

### METHODS OF CONSTRUCTION:

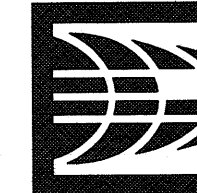
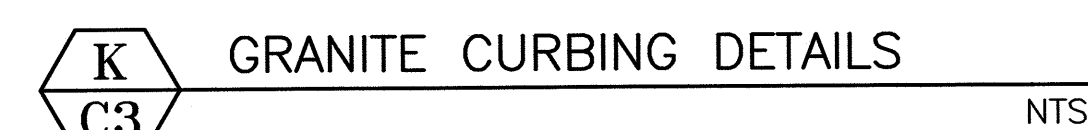
- A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.
- B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" X 4 X 8").
- C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.
- D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 85% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKFILL UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.
- E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.
- F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT.
- G) THE SIDEWALK SHALL FIGHT TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.
- H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.



Radius	Max. length
22' – 21'	3'
22' – 28'	4'
29' – 35'	5'
36' – 42'	6'
43' – 49'	7'
50' – 56'	8'
57' – 60'	9'
over 60'	10'



Radius for stones with square joints	Maximum length
16' - 28'	6" - 1'
29' - 41'	2'
42' - 55'	3'
56' - 68'	4'
69' - 82'	5'
83' - 96'	6'
97' - 110'	7'
over 110'	8'



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors

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200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

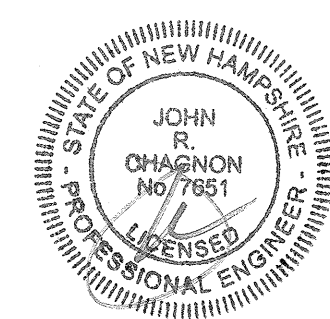
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION." (NHDES DECEMBER 2008).

**RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE

## REVISIONS



SCALE: AS SHOWN      SEPTEMBER 2020

## DETAILS

D2



NTS







1 FRONT ELEVATION  
1/8" = 1'-0"



2 BACK ELEVATION  
1/8" = 1'-0"



3 RIGHT ELEVATION  
1/8" = 1'-0"



4 LEFT ELEVATION  
1/8" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS:

HILL-HANOVER GROUP, LLC.

181 HILL STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801



BUILDING  
ELEVATIONS

DATE: 10/06/21  
DRAWN BY: RLD  
APPROVED BY: CJG  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 22009

A1.0