SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE PORTSMOUTH, NEW HAMPSHIRE

WORK SESSION

Conference Room A City Hall, Municipal Complex, 1 Junkins Avenue

2:00 PM September 14, 2021

AGENDA

2:00 pm 2255 Lafayette Road Site Plan Review

Mastoran Restaurants, Inc, Owner Granite State Convenience, Applicant Greenman-Pedersen, Inc., Engineer

(LUTW-21-11)

2:30 pm 2454 Lafayette Road Site Plan Review

2422 Lafayette Road Associates, LLC, Owner

Torrington Properties, Applicant Tighe & Bond, Inc., Engineer

(LUTW-21-12)

3:00 pm 99 Bow Street Site Plan Review

Martingale LLC, Owner Ambit Engineering, Engineer

(LUTW-21-13)

3:30 pm 93 Pleasant Street Site Plan Review

Dagny Taggart, LLC, Owner Ambit Engineering, Engineer

(LUTW-21-14)

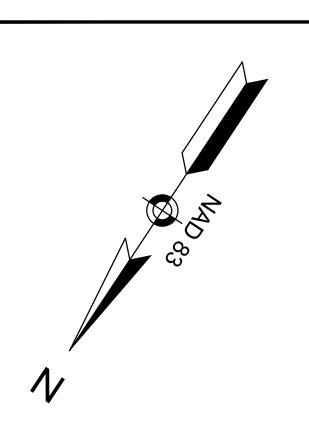
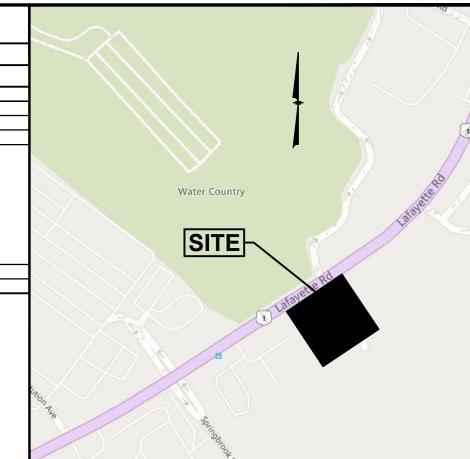


TABLE OF ZONING REGULATIONS - PORTSMOUTH, NH				
ZONE: GATEWAY CORRIDOR (G1)				
DESCRIPTION	REQUIRED	PROVIDED		
MINIMUM LOT AREA acres	1 ACRE	2.57 ACRES		
MINIMUM FRONT YARD BUILDING SETBACK	70' TO 90' FROM CENTER OF LAFAYETTE RD	121'		
MINIMUM SIDE YARD BUILDING SETBACK	10'	>10'		
MINIMUM REAR YARD BUILDING SETBACK	15'	>15'		
MINIMUM NUMBER PARKING SPACES	RETAIL = 4,555 SF x 1 SPACE/300 SF GFA = 15.18 SPACES RESTAURANT = 1,000 SF x 1 SPACE/100 SF = 10 SPACES RETAIL FUEL = 2 SPACES + 0 SF x 1 SPACE/400 SF GFA = 2 SPACES TOTAL SPACES REQUIRED = 28 SPACES	36 SPACES (25 PARKING SPACES + 11 PARKING SPACES/CHARGING STATION SPACES)		
MAXIMUM COVERAGE	70%	1.5 + / - ACRES = 58%		
MAXIMUM BUILDING HEIGHT	40 FT OR 3 STORIES	<40 FT, 1 STORY		



LOCATION MAP

(NOT TO SCALE)

NOTES:

- 1) THE PURPOSE OF THIS PLAN IS TO SHOW A CONCEPTUAL LAYOUT OF A RETAIL MOTOR FUEL OUTLET AND FUTURE AREA FOR A CAR WASH FACILITY.
- 2) RELIEF REQUESTED TO ALLOW TWO DRIVEWAYS, TO ALLOW PARKING SPACES BETWEEN PRINCIPAL BUILDING AND ROAD, AND TO ALLOW OVER A 90' BUILDING SETBACK FROM



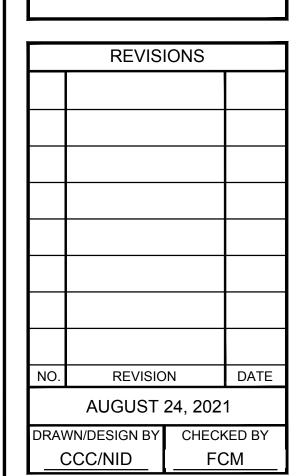
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44 Stiles Road, Suite One Salem, NH 03079

> **GRANITE STATE** CONVENIENCE

25 SPRINGER ROAD HOOKSETT, NH

PREPARED FOR

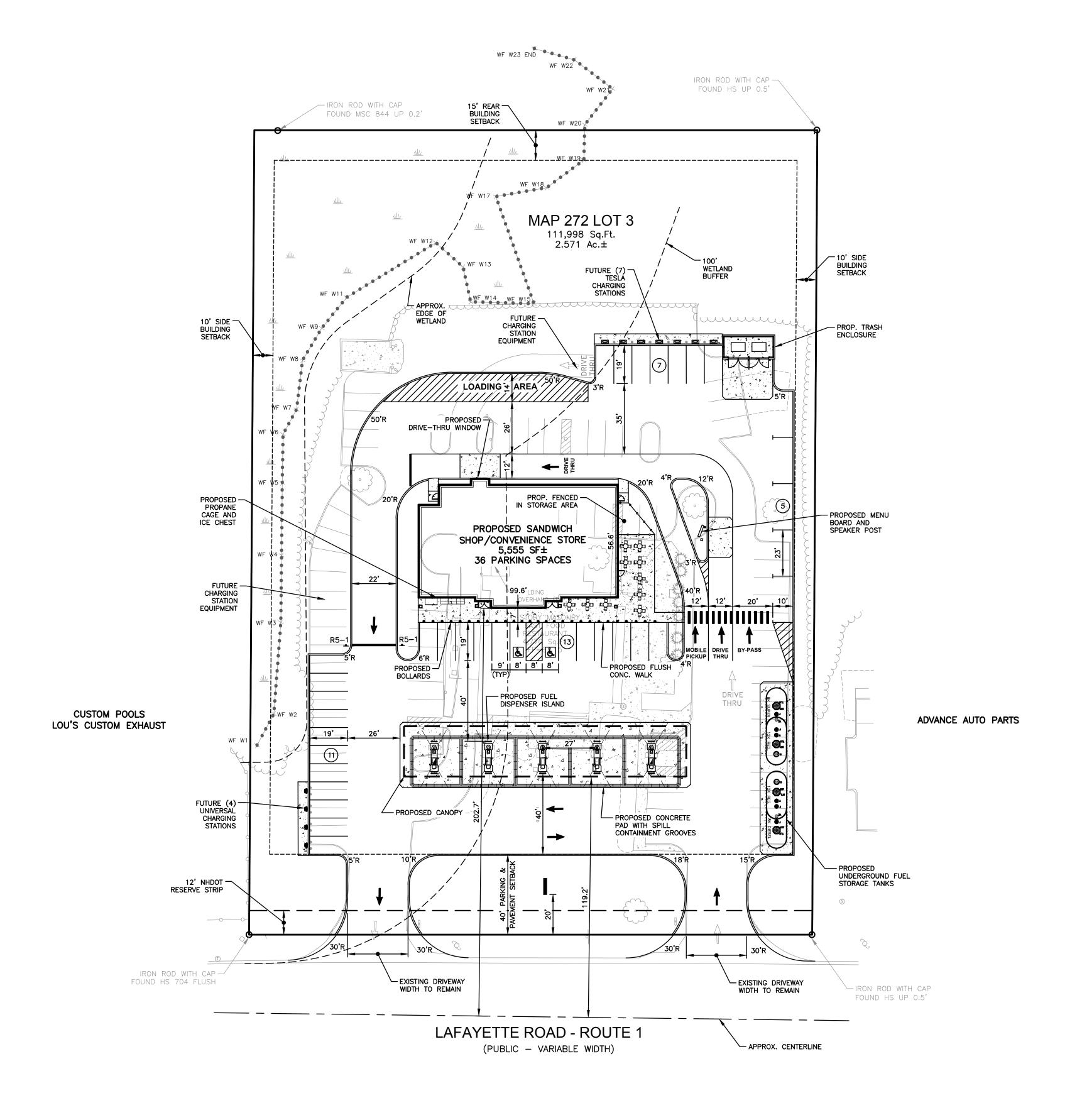


PRELIMINARY SITE PLAN

1"=30'

NEX-2021163

1 OF 1



SCALE: 1" = 30'





T-5047-001 September 2, 2021

Ms. Juliet Walker, Planning Director City of Portsmouth Planning Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

Re: Request for TAC Work Session
Proposed Multifamily Development, 2454 Lafayette Road, Portsmouth, NH

Dear Juliet:

On behalf of 2422 Lafayette Road Associates, LLC (owner), and Torrington Properties Inc (applicant), we are pleased to submit the following information to support a request to meet with the Technical Advisory Committee (TAC) at their next scheduled Work Session for the above referenced project:

- Two (2) copies, one (1) full size and one (1) half size (11x17), of the Site Plan Set, last revised September 2, 2021;
- One (1) copy of the Community Space Exhibit, dated September 2, 2021;
- One (1) copy of the Fire Truck Turning Exhibit, dated September 2, 2021

The property in question is the former Cinemagic movie theater located at 2454 Lafayette Road which is located in the Gateway Neighborhood Mixed Use Corridor, G1 District. The proposed project consists of the construction of a 5-story, 95-unit multifamily condominium building located in the northern corner of the Portsmouth Green Plaza, with ground floor parking, upper floor residential units, and associated site improvements. The proposed 41,000 SF footprint will be located in the area of the existing 29,000 SF, 1,264 seat cinema that will be demolished. Also, the previously approved 5,000 SF restaurant pad proposed for this area will not be constructed.

The units will be modestly priced and will also contain 20% workforce housing units which will meet the Density Bonus Incentives of section 10.5B70 of the City of Portsmouth Zoning Ordinance. A Conditional Use Permit for the modification of standards will be required for the project, as permitted in section 10.5B74.30 and detailed on the enclosed Site Plan. The project will need to amend the existing Conditional Use Permit for parking that was granted by the Planning Board in August 2019.

The proposed project will require the following site related approvals from the Planning Board:

- Site Plan Review Permit
- Conditional Use Permit for the Modification of Standards
- Amended Conditional Use Permit for Parking



The applicant would like to solicit feedback from City staff on the project prior to submitting the formal applications for the above listed permits. Thus, the applicant respectfully requests to meet with TAC at their next scheduled Work Session on September 14, 2021. If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at pmcrimmins@tighebond.com.

Sincerely,

TIGHE & BOND, INC.

Patrick M. Crimmins, PE Senior Project Manager Neil A. Hansen, PE Project Engineer

Copy: 2422 Lafayette Road Associates, LLC (via e-mail)

Torrington Properties Inc (via e-mail)

Gregg Mikolaities, August Consulting, PLLC (via e-mail) John Bosen, Bosen & Associates, PLLC (via e-mail)

PROPOSED MULTI-FAMILY DEVELOPMENT PORTSMOUTH GREEN

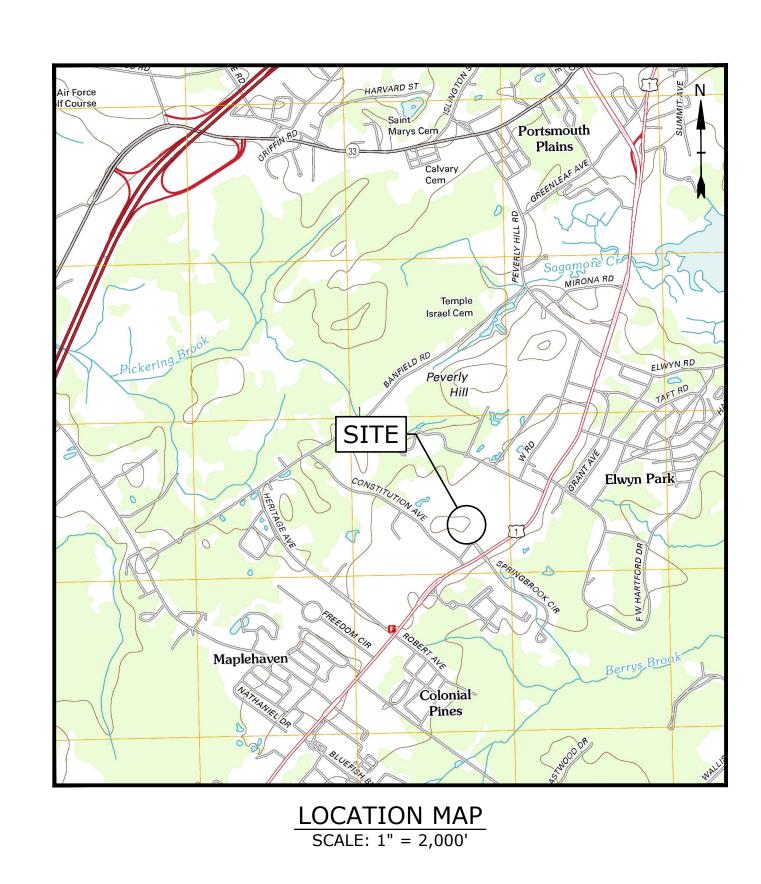
2454 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE

AUGUST 5, 2021

LAST REVISED: SEPTEMBER 2, 2021

	LIST OF DRAWINGS			
SHEET NO.	SHEET TITLE	LAST REVISED		
	COVER SHEET	9/2/2021		
C-101	OVERALL EXISTING CONDITIONS PLAN	9/2/2021		
C-101.1	EXISTING CONDITIONS AND DEMOLITION PLAN	9/2/2021		
C-102	OVERALL SITE PLAN	9/2/2021		
C-102.1	SITE PLAN	9/2/2021		
C-103.1	GRADING, DRAINAGE AND EROSION CONTROL PLAN	9/2/2021		
C-104	UTILITIES PLAN	9/2/2021		
C-105	LANDSCAPE PLAN	9/2/2021		
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	9/2/2021		
C-502	DETAILS SHEET	9/2/2021		
C-503	DETAILS SHEET	9/2/2021		
C-504	DETAILS SHEET	9/2/2021		
C-505	DETAILS SHEET	9/2/2021		

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT		
CONDITIONAL USE PERMIT		
STATE		
NHDES - ALTERATION OF TERRAIN PERMIT		
NHDES - SEWER CONNECTION PERMIT		
NHDOT - DRIVEWAY PERMIT		



PREPARED BY:

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

OWNERS:

2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL DEVELOPMENT 322 RESERVOIR STREET, 2ND FLOOR NEEDHAM, MASSACHUSETTS 02494

APPLICANT:

TORRINGTON PROERTIES INC 11 ELKINS STREET, SUITE 420 BOSTON, MASSACHUSETTS 02127

SURVEYOR:

DOUCET SURVEY, LLC 102 KENT PLACE NEWMARKET, NH 03857

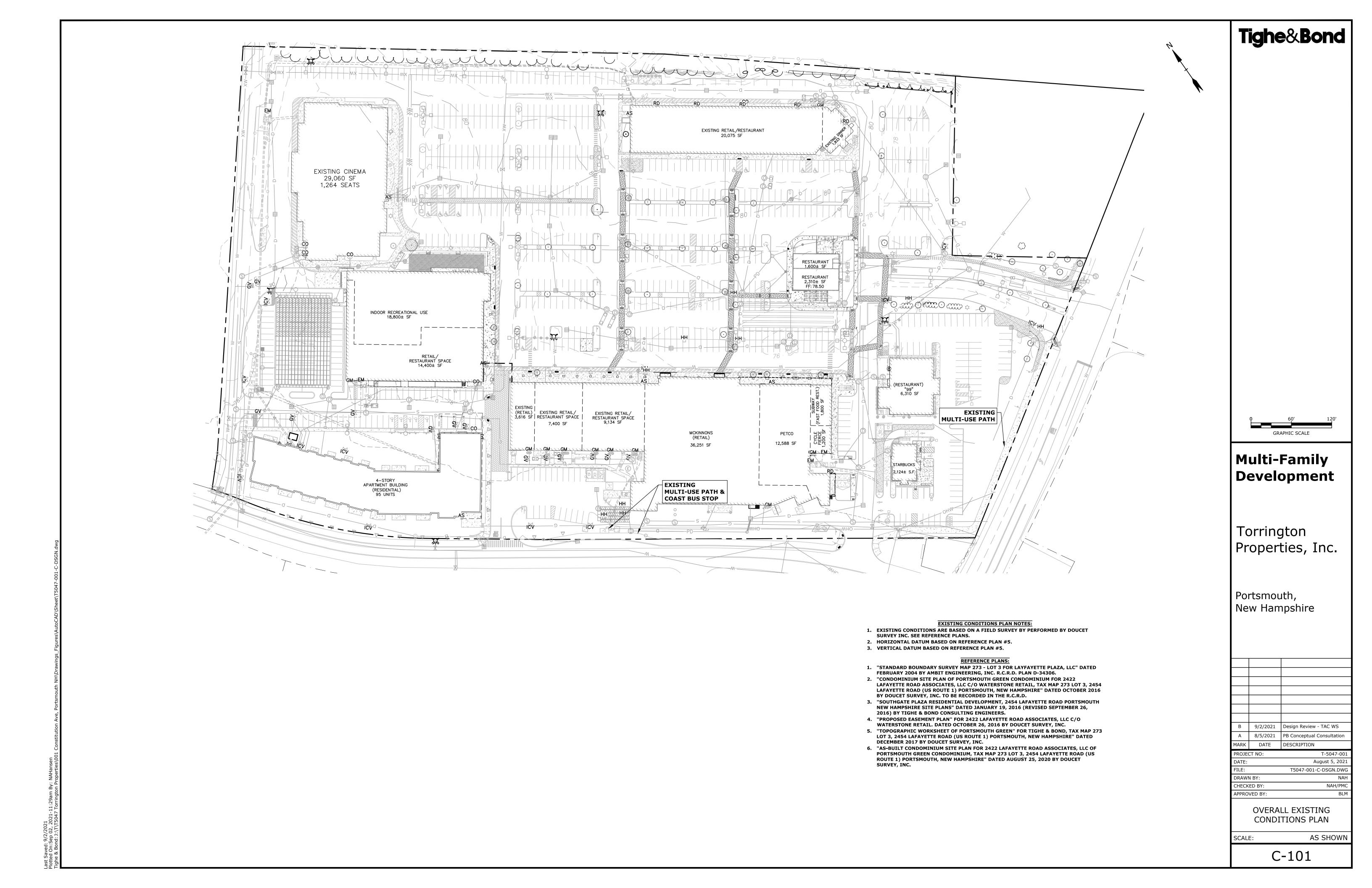
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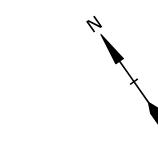
EMBARC STUDIO

580 HARRISON AVENUE, SUITE 2W BOSTON, MASSACHUSETTS 02118

DOSTON, MASSACHOSETTS UZITO

DESIGN REVIEW - TAC WORK SESSION COMPLETE SET 13 SHEETS





LEGEND

APPROXIMATE LIMIT OF PROPOSED SAW CUT LIMIT OF WORK PROPOSED SILT SOCK APPROXIMATE LIMIT OF **PAVEMENT TO BE REMOVED** PROPOSED CONSTRUCTION **BUILDING TO BE REMOVED** ,_______ LOCATION OF PROPOSED BUILDING <u>'------</u> INLET PROTECTION SILT SACK TBR ··· TO BE REMOVED BUILDING BLDG... TYP ··· TYPICAL

COORD...

DEMOLITION NOTES:

COORDINATE

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- 3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- 4. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- 5. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/
 DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL
 EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 6. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- 8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY
- INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.

 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- 10. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK.
- 11. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- 12. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE.
 ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE
 CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT
- 13. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- 14. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 15. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 16. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- 17. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
- 18. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 19. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- 20. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- 21. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.



GRAPHIC SCALE

Tighe&Bond

Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

В	9/2/2021	Design Review - TAC WS
Α	8/5/2021	PB Conceptual Consultation
MARK	DATE	DESCRIPTION
PROJECT NO:		T-5047-001
DATE:		August 5, 2021

EXISTING CONDITIONS AND DEMOLITION PLAN

T5047-001-C-DSGN.DW

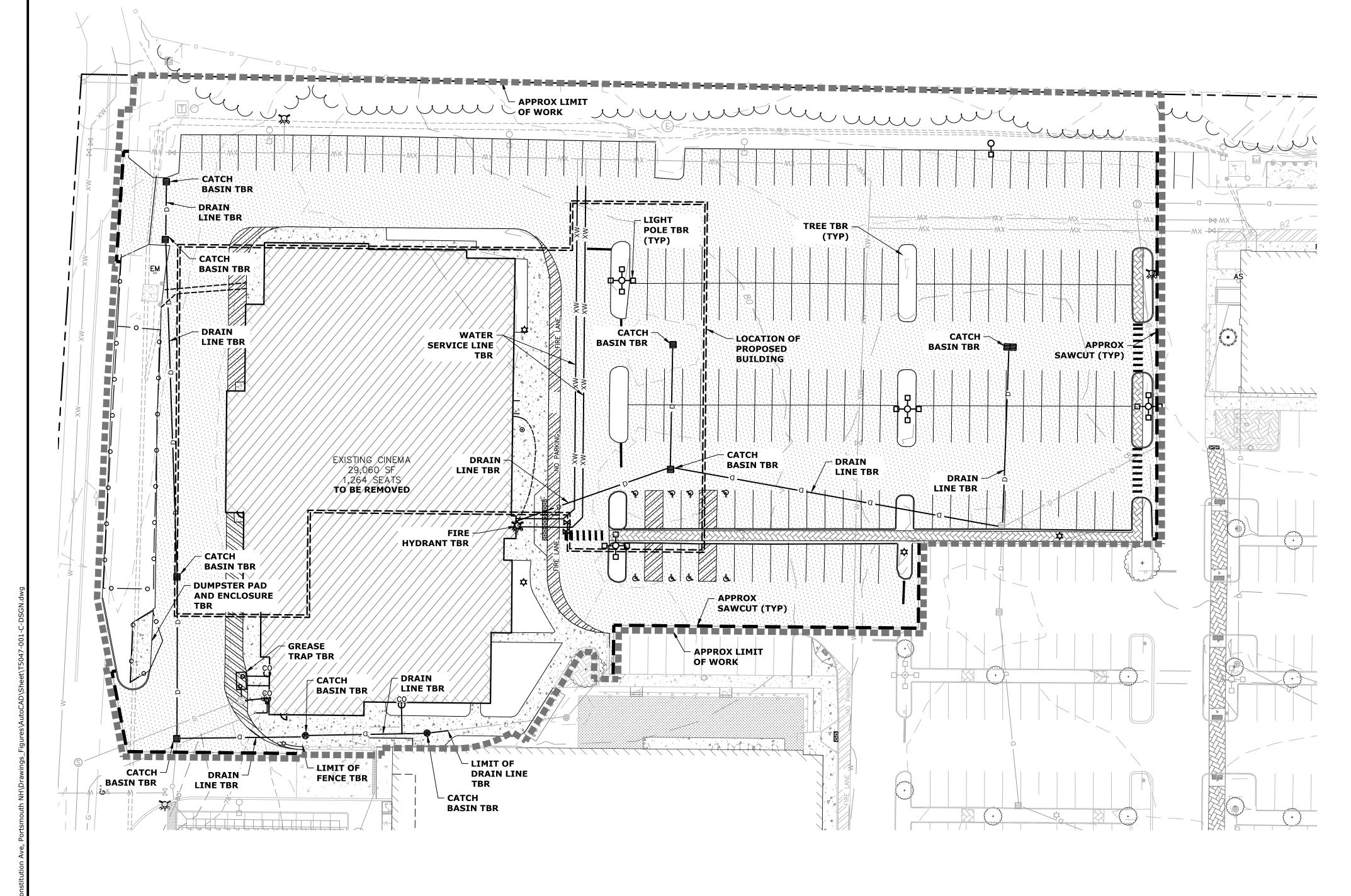
NAH/PMC

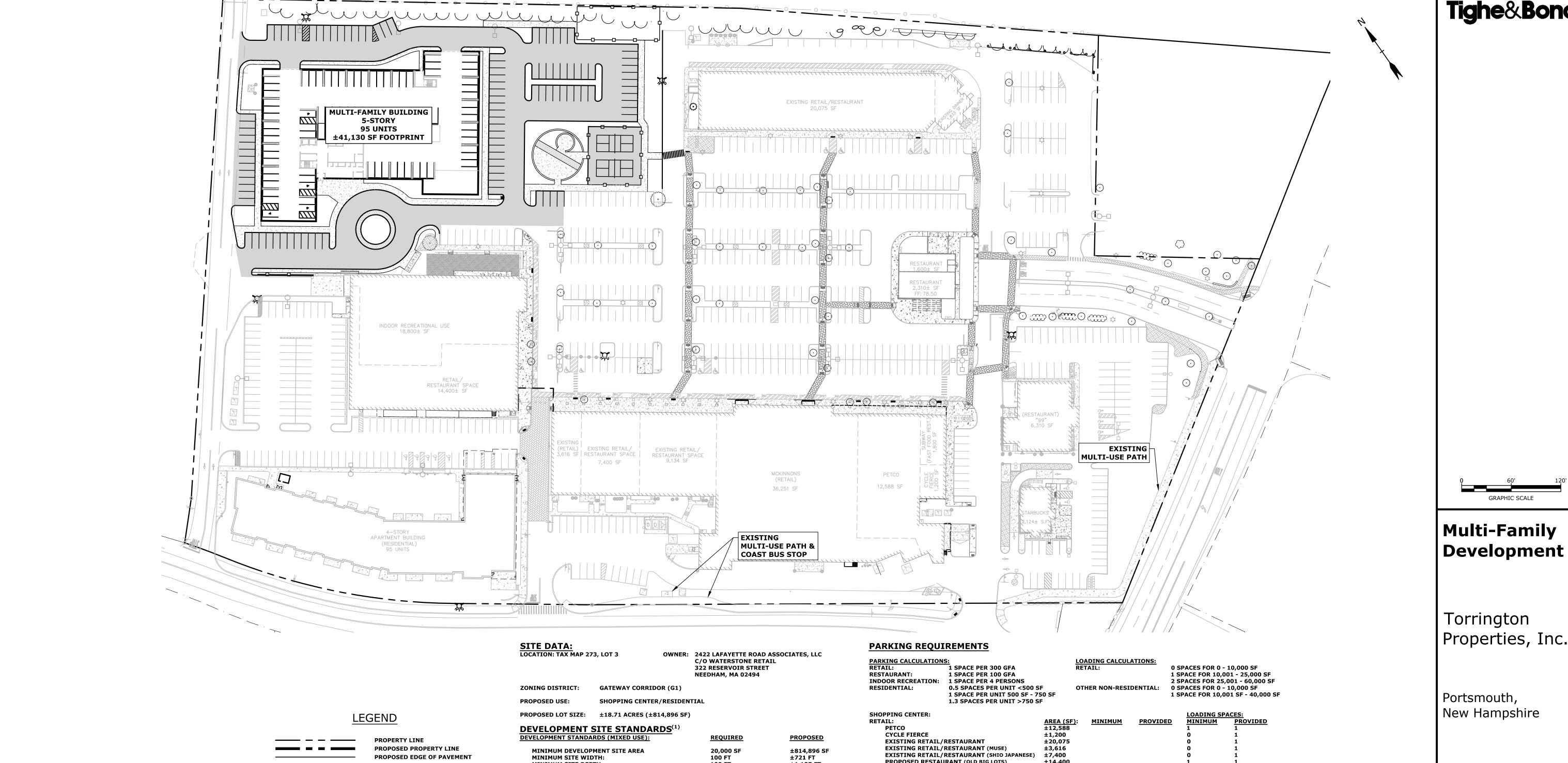
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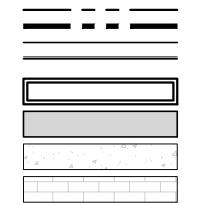
DRAWN BY: CHECKED BY:

APPROVED BY:

C-101.1







PROPOSED CURB

PROPOSED BUILDING PROPOSED PAVEMENT SECTION

PROPOSED CONCRETE SIDEWALK PROPOSED BRICK SIDEWALK

PROPOSED BOLLARD

BLDG BUILDING TYP **TYPICAL** COORD COORDINATE PROPOSED CURB RADIUS 30'R PROPOSED VERTICAL GRANITE CURB PROPOSED SLOPED GRANITE CURB

EVELOPMENT STANDARDS (MIXED USE):	REQUIRED	PROPOSED
MINIMUM DEVELOPMENT SITE AREA	20,000 SF	±814,896 SF
MINIMUM SITE WIDTH:	100 FT	±721 FT
MINIMUM SITE DEPTH:	100 FT	±1,137 FT
MINIMUM PERIMETER BUFFER FROM RESIDENTIAL,		
MIXED RESIDENTIAL, OR CD4-L1 DISTRICTS:	75 FT	N/A
MAXIMUM DEVELOPMENT BLOCK DIMENSIONS:		
BLOCK LENGTH:	800 FT	±1,137 FT ⁽²⁾
BLOCK PERIMETER:	2,200 LF	±3,780 LF ⁽²⁾
MAXIMUM BUILDING COVERAGE:	70%	25.4%
MINIMUM OPEN SPACE COVERAGE:	20%	±21.7%
FRONT LOT LINE BUILDOUT:	75%	0% ⁽²⁾
UILDING DESIGN STANDARDS:		
MAXIMUM BUILDING HEIGHT:	5 STORIES ⁽⁴⁾	5 STORIES
	60 FT ⁽⁴⁾	<60 FT
MINIMUM STREET FACING FACADE HEIGHT:	24 FT	>24 FT
MAXIMUM FINISHED FLOOR SURFACE OF		
GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36 IN
MAXIMUM BUILDING FOOTPRINT:	NR	
MAXIMUM FACADE MODULATION LENGTH:	50 FT	<50 FT
MINIMUM STREET FACING FACADE GLAZING:	20% GROUND FLOOR	>20%
ENSITY THRESHOLDS AND BONUSES:		
DWELLING UNITS PER ACRE:	20 UNITS	10.4 UNITS
DWELLING UNITS PER BUILDING:	36 UNITS	95 UNITS ⁽³⁾
DI IIS 1-STORY MAY 10 FT	5 STORIES ⁽⁴⁾	5 STORIES

(1) - USE OF DEVELOPMENT SITE STANDARDS ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B41.10

PLUS 1-STORY, MAX 10 FT

WITH APPROVAL FROM THE PLANNING BOARD. (2) - EXISTING NON-CONFORMING CONDITION, MODIFICATION OF STANDARDS ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B74.30 FOR THE DEVELOPMENT TO PROVIDE WORKFORCE

5 STORIES⁽⁴⁾

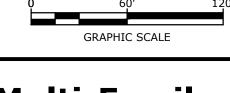
5 STORIES

- (3) MODIFICATION OF STANDARDS ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B74.30 FOR THE DEVELOPMENT TO PROVIDE WORKFORCE HOUSING.
- (4) ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B73.10 FOR PROVIDING 20% WORKFORCE

SHOPPING CENTER:				LOADING SP	ACES:
RETAIL:	AREA (SF):	MINIMUM	PROVIDED	MINIMUM	PROVIDED
PETCO	±12,588			1	1
CYCLE FIERCE	±1,200			0	1
EXISTING RETAIL/RESTAURANT	±20,075			0	1
EXISTING RETAIL/RESTAURANT (MUSE)	±3,616			0	1
EXISTING RETAIL/RESTAURANT (SHIO JAPANESE)	±7,400			0	1
PROPOSED RESTAURANT (OLD BIG LOTS)	±14,400			1	1
INDOOR RECREATIONAL (PINZ)	±18,800			1	1
SUBWAY	±1,800			0	0
THE 99	±6,310			0	1
McKINNON'S	±36,251			2	3
RETAIL	±9,134			0	1
DINER	±1,833			0	1
PROPOSED RESTAURANT	±1,600			1	0
PROPOSED RESTAURANT	±2,310			0	0
STARBUCKS	±2,124			0	1
TOTAL SHOPPING CENTER	±139,441	406 SPACES		8	15
RESIDENTIAL:	•				
PROPOSED DWELLING UNITS	95 UNITS				
EXISTING DWELLING UNITS	95 UNITS				
VISITOR PARKING					
TOTAL:		654 ⁽¹⁾	813	9	15

(1) - PER PARKING DEMAND ANALYSIS PERFORMI	ED BY TIGHE & BOND DATED JU	LY 18, 2021
	REQUIRED	PROVIDED
ACCESSIBLE SPACES (2% OF TOTAL):	15	32
VAN ACCESSIBLE SPACES		
(1 PER 6 ACCESSIBLE SPACES):	2	24
PARKING STALL SIZE:	8.5 FT X 19 FT	8.5 FT X 19 FT
DRIVE AISLE:	24 FT	24 FT, 26 FT
BIKE SPACES REQUIRED:		
	REQUIRED	PROVIDED
SHOPPING CENTER:		
1 BIKE SPACE / 10 PARKING SPACES		
MAXIMUM OF 30 SPACES	30 SPACES	42 SPACES
RESIDENTIAL:		
EXISTING 95 DWELLING UNITS	19 SPACES	30 SPACES
PROPOSED 95 DWELLING UNITS	19 SPACES	20 SPACES

Tighe&Bond



Torrington Properties, Inc.

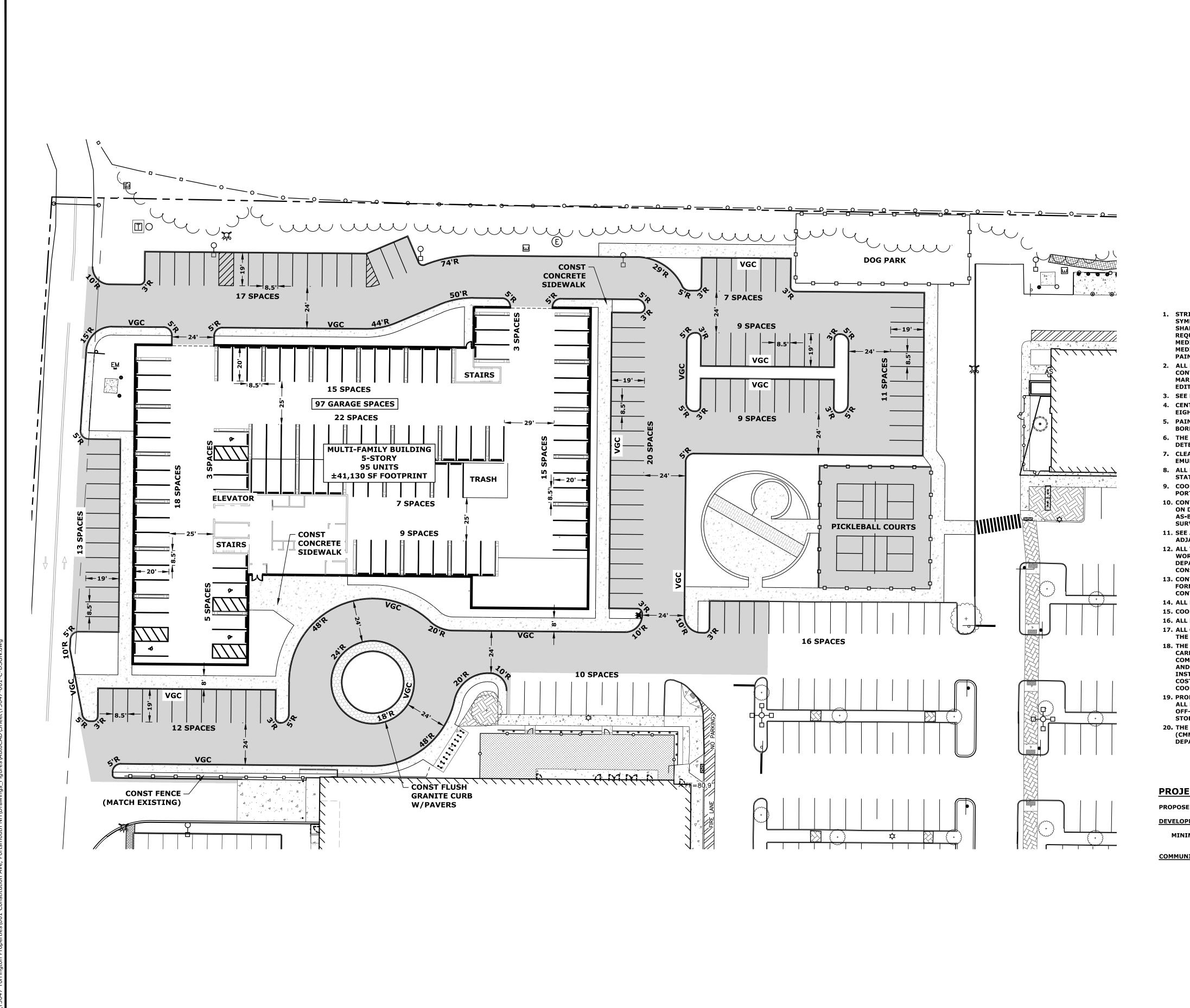
Portsmouth, New Hampshire

В	9/2/2021	Design Review - TAC WS
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DRAWN BY:		NAH
CHECKED BY:		NAH/PMC

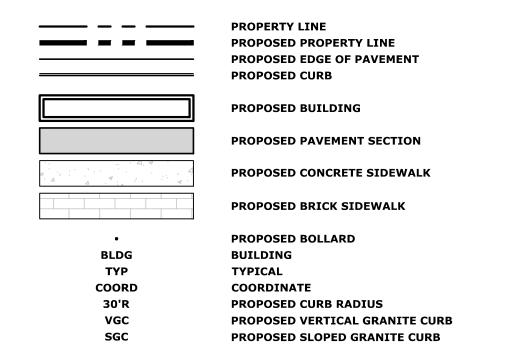
OVERALL SITE PLAN

APPROVED BY:

AS SHOWN



LEGEND



SITE NOTES:

- 1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES SHALL BE THERMOPLASTIC MATERIAL. THERMOPLASTIC MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO AASHTO M249. (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
- 2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- 3. SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- 6. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO
- DETERMINE ALL LINES AND GRADES.
 7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1
- EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.

 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL,
- STATE, AND LOCAL CODES & SPECIFICATIONS.

 9. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF
- 9. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES)
 ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT.
 AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND
- 11. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- 12. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE
- CONSTRUCTION", CURRENT EDITION.

 13. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR
- 14. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- 15. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- 16. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 17. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- 18. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
- 19. PROPERTY MANAGEMENT SHALL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN NECESSARY TO MAINTAIN ADEQUATE SNOW
- STORAGE AREAS.

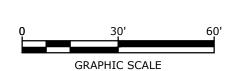
 20. THE APPLICANT SHALL PREPARE A CONSTRUCTION MANAGEMENT AND MITIGATION PLAN (CMMP) FOR REVIEW AND APPROVAL BY THE CITY'S LEGAL AND PLANNING

PROJECT AREA DATA:

PROPOSED PROJECT AREA: ±3.45 ACRES (±150,350 SF)

DEVELOPMENT STANDARDS (MIXED USE):	REQUIRED	PROPOSED
MINIMUM OPEN SPACE COVERAGE:	20% 30,070 SF	±55.75% 83,818 SF
COMMUNITY SPACE:	10% 15,035 SF	±14.6% 21,896 SF

Tighe&Bond



Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

В	9/2/2021	Design Review - TAC WS
Α	8/5/2021	PB Conceptual Consultation
MARK	DATE	DESCRIPTION
PROJE	CT NO:	T-5047-001
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FILE:		T5047-001-C-DSGN.DWG
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SITE PLAN

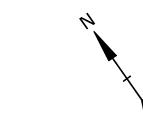
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SCALE: AS SHOWN

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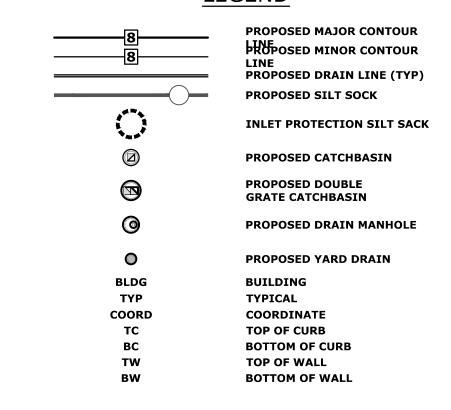
APPROVED BY:

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LEGEND



GRADING AND DRAINAGE NOTES

1. COMPACTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL BELOW LOAM AND SEED AREAS

st all percentages of compaction shall be of the maximum dry density at the OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.

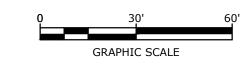
- ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
- 3. SEE UTILITY PLAN FOR ALL SITE UTILITY INFORMATION.
- 4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO 5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF
- LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING 6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES,
- WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF
- 7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
- 9. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT
- STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. 10. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS
- AND 4' SUMPS. 11. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE
- DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION. 12. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT.

AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND

13. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

- 1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK. 2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS
- 3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. MAINTAIN FOR THE DURATION OF THE PROJECT.
- 4. INSTALL STABILIZED CONSTRUCTION EXIT(S).
- 5. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- 6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- 7. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
- 8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
- 9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID
- 10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- 11. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL
- SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN FULLY PAVED.
- 12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.
- 13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT. 14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE



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APPROVED BY: GRADING, DRAINAGE &

EROSION CONTROL PLAN

T5047-001-C-DSGN.DW

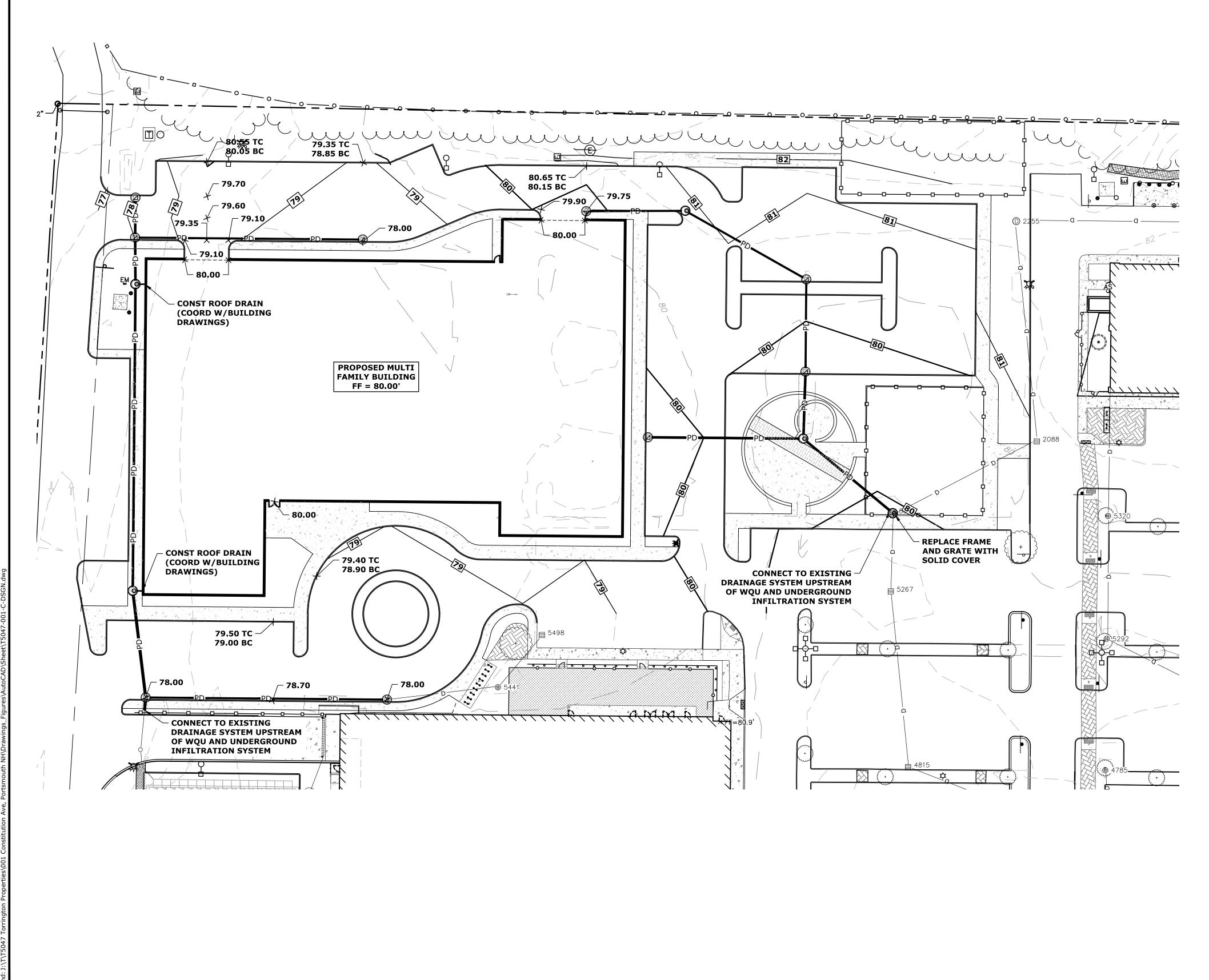
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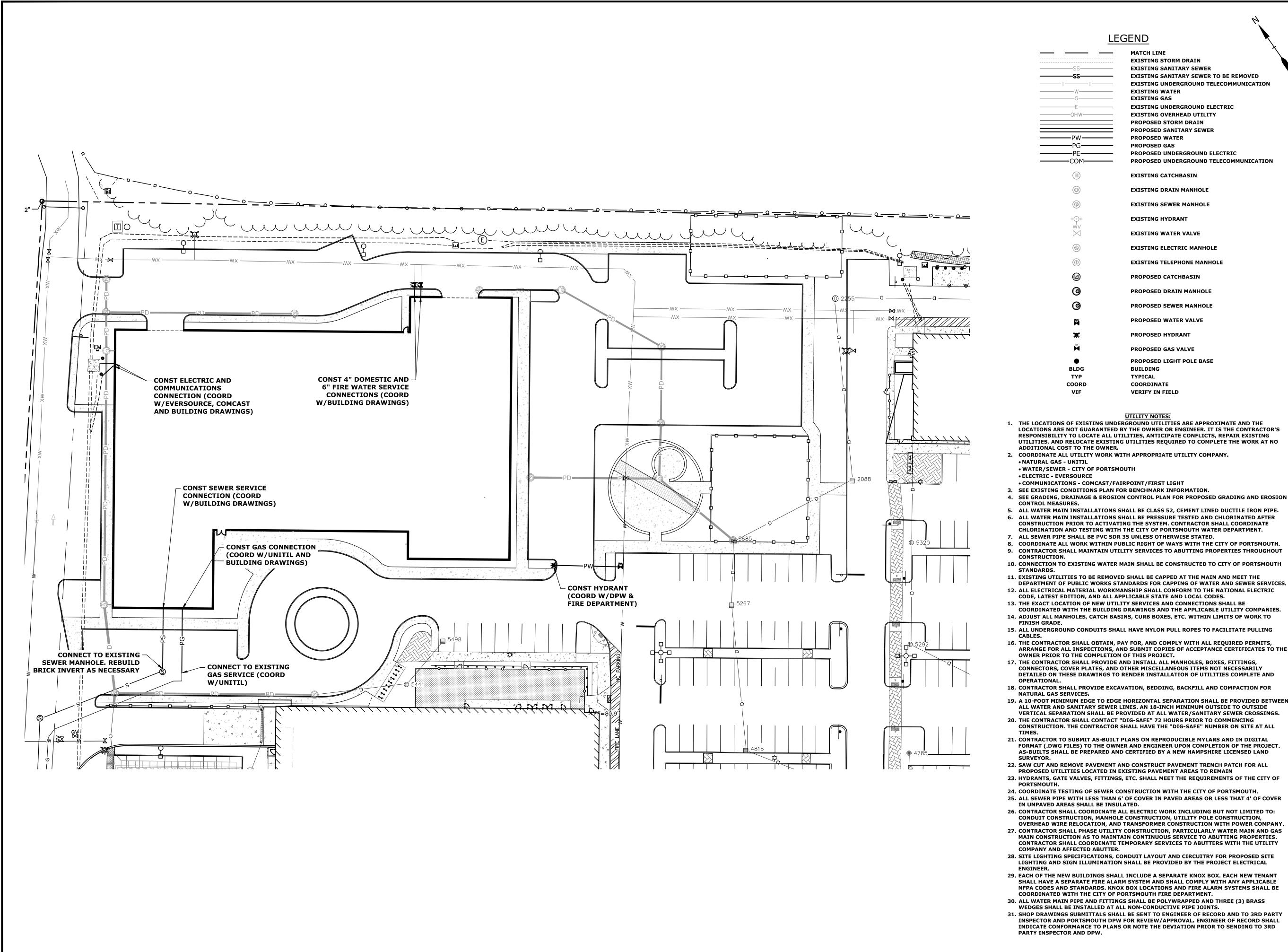
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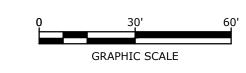
LEGEND

EXISTING STORM DRAIN EXISTING SANITARY SEWER EXISTING SANITARY SEWER TO BE REMOVED EXISTING UNDERGROUND TELECOMMUNICATION EXISTING WATER EXISTING GAS EXISTING UNDERGROUND ELECTRIC EXISTING OVERHEAD UTILITY PROPOSED STORM DRAIN **PROPOSED GAS** PROPOSED UNDERGROUND ELECTRIC PROPOSED UNDERGROUND TELECOMMUNICATION **EXISTING CATCHBASIN EXISTING DRAIN MANHOLE EXISTING SEWER MANHOLE EXISTING HYDRANT EXISTING WATER VALVE EXISTING ELECTRIC MANHOLE EXISTING TELEPHONE MANHOLE** PROPOSED CATCHBASIN PROPOSED DRAIN MANHOLE PROPOSED SEWER MANHOLE PROPOSED WATER VALVE PROPOSED HYDRANT PROPOSED GAS VALVE PROPOSED LIGHT POLE BASE **BUILDING TYPICAL** COORD COORDINATE **VERIFY IN FIELD**

UTILITY NOTES:

- 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- 2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
- WATER/SEWER CITY OF PORTSMOUTH
- ELECTRIC EVERSOURCE
- COMMUNICATIONS COMCAST/FAIRPOINT/FIRST LIGHT 3. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 4. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION **CONTROL MEASURES.**
- 5. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE. 6. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE
- CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT. 7. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 8. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH 9. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 10. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH
- STANDARDS.
- 11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES. 14. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO
- FINISH GRADE. 15. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING
- 16. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS,
- OWNER PRIOR TO THE COMPLETION OF THIS PROJECT. 17. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY
- DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND 18. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR
- 19. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN
- ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- 20. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL
- FORMAT (.DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND
- 22. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- 23. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF
- 24. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH. 25. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER
- IN UNPAVED AREAS SHALL BE INSULATED. 26. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO:
- CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY. 27. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES.
- CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER. 28. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL
- 29. EACH OF THE NEW BUILDINGS SHALL INCLUDE A SEPARATE KNOX BOX. EACH NEW TENANT SHALL HAVE A SEPARATE FIRE ALARM SYSTEM AND SHALL COMPLY WITH ANY APPLICABLE
- NFPA CODES AND STANDARDS. KNOX BOX LOCATIONS AND FIRE ALARM SYSTEMS SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH FIRE DEPARTMENT. 30. ALL WATER MAIN PIPE AND FITTINGS SHALL BE POLYWRAPPED AND THREE (3) BRASS
- WEDGES SHALL BE INSTALLED AT ALL NON-CONDUCTIVE PIPE JOINTS.
- 31. SHOP DRAWINGS SUBMITTALS SHALL BE SENT TO ENGINEER OF RECORD AND TO 3RD PARTY INSPECTOR AND PORTSMOUTH DPW FOR REVIEW/APPROVAL. ENGINEER OF RECORD SHALL INDICATE CONFORMANCE TO PLANS OR NOTE THE DEVIATION PRIOR TO SENDING TO 3RD PARTY INSPECTOR AND DPW.

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UTILITIES PLAN

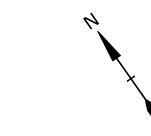
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LEGEND

PROPOSED LIGHT POLE BASE

PROPOSED DECIDUOUS TREE

PROPOSED DECIDUOUS TREE

PROPOSED EVERGREEN TREE

PROPOSED EVERGREEN SHRUB

PROPOSED SHRUB

PROPOSED GROUND COVER

mummy mummen

DOG PARK

PICKLEBALL COURTS

PLAZA

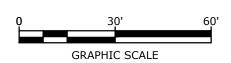
SEATING AREA

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LANDSCAPE NOTES:

- 1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
- ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
 PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE
- PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
- 4. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
- 5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- 6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- 7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- 8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- 9. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL
- BE PROVIDED WITH AN IRRIGATION SYSTEM.

 10. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 11. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
- 12. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- 13. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3
 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING
- 14. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- 15. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
- 16. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB
- 17. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
- 18. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE
- 20. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.



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RAWI	AWN BY: NAH			
HECK	ECKED BY: NAH/PMC			
PRO	PROVED BY: BLM			
LANDSCAPE PLAN				

SCALE: AS SHOWN

PROJECT OWNER: 2422 LAFAYETTE ROAD ASSOC LLC C/O WATERSTONE RETAIL 322 RESERVOIR STREET

PROJECT NAME: PORTSMOUTH GREEN - MULTI-FAMILY DEVELOPMENT

NEEDHAM, MA 02494

2454 LAFAYETTE ROAD PROJECT ADDRESS: PORTSMOUTH, NH 03801

PROJECT MAP / LOT: MAP 273 / LOT 3 PROJECT LATITUDE: 43.036120 N PROJECT LONGITUDE: -70.784829 W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF DEMOLITION OF THE EXISTING CINEMA AND THE CONSTRUCTION OF A PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 3.5 ACRES.

SOIL CHARACTERISTICS

BASED ON THE NRCS WEB SOIL SURVEY FOR ROCKINGHAM COUNTY - NEW HAMPSHIRE THE SOILS ON SITE CONSIST OF MOSTLY URBAN SOILS WHICH HAVE UNKNOWN DRAINAGE PROPERTIES.

NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF WILL BE COLLECTED IN A CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY DISCHARGES TO THE LITTLE HARBOR.

CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
- NEW CONSTRUCTION CONTROL OF DUST
- NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS
- CONSTRUCTION DURING LATE WINTER AND EARLY SPRING ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS ALL ROADS AND PARKING AREA SHALL
- BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- FINISH PAVING ALL ROADWAYS AND PARKING LOTS INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

SPECIAL CONSTRUCTION NOTES:

- THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- LIMIT THE LENGTH OF EXPOSURE OF UNSTABILIZED SOIL TO 45 DAYS OR LESS.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALE, SILT FENCES, MULCH BERMS, INLET PROTECTION AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
- INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION
- CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND
- FERTILIZER. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE
- EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN
- INSTALLED;
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED. WINTER STABILIZATION PRACTICES:
- A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED
- OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS; B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR

WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS

- THE DESIGN FLOW CONDITIONS; C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE
- WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT; STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR
- DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE: A. TEMPORARY SEEDING;
- B. MULCHING. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN
- SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE

FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15.

- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE
- CONSTRUCTION PERIOD. 2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY
- 3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

- . LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND
- CULVERTS. 2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES

MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

- PRIOR TO THE ONSET OF PRECIPITATION. 3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO
- ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY. 4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT

OFF SITE VEHICLE TRACKING:

1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

- TEMPORARY GRASS COVER:
- A. SEEDBED PREPARATION: a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
- a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
- b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL
- TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED; c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY
- INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
- C. MAINTENANCE: a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY
- MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
- VEGETATIVE PRACTICE: A. FOR PERMANENT MEASURES AND PLANTINGS:
- a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
- FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 **FERTILIZER**
- c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH
- SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
- e. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE; THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED;
- THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED; h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE
- APPLIED AT THE INDICATED RATE: APPLICATION RATE
 - CREEPING RED FESCUE 20 LBS/ACRE TALL FESCUE 20 LBS/ACRE REDTOP 2 LBS/ACRE
- IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
- 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL): A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER
- NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE: A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES
- AT THEIR OWN PLANT OR DISPATCH FACILITY; B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS; D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM

ALLOWABLE NON-STORMWATER DISCHARGES:

- FIRE-FIGHTING ACTIVITIES; . FIRE HYDRANT FLUSHING;
- 3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- 4. WATER USED TO CONTROL DUST;
- 5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING; ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- 7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- 8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER; 10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- 11. UNCONTAMINATED EXCAVATION DEWATERING;
- 12. LANDSCAPE IRRIGATION.

DISPOSAL BY THE SUPERINTENDENT.

WASTE DISPOSAL

- WASTE MATERIAL ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED
- NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE; C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE

- 2. HAZARDOUS WASTE:
- A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
- B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE: A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE

SPILL PREVENTION:

 CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.

PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

- THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
- A. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
- a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
- b. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
- c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
- d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS
- e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE
- B. HAZARDOUS PRODUCTS THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS | 3.
- ASSOCIATED WITH HAZARDOUS MATERIALS: g. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT
- h. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION; i. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO
- THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
- a. PETROLEUM PRODUCTS: a.1. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR
- PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE; a.2. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- b. FERTILIZERS: b.1. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
- b.2. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
- b.3. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- c. PAINTS: c.1. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR
- c.2. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM c.3. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S
- INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES; b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE
- MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE; ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
- d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE:
- e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED; f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE
- THE SPILL PREVENTION AND CLEANUP COORDINATOR. VEHICLE FUELING AND MAINTENANCE PRACTICE: a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPTMENT/VEHICAL FUELING AND
- MAINTENANCE AT AN OFF-SITE FACILITY; b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS
- CLEAN AND DRY;
- c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED; d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
- e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE; f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

REPLACING SPENT FLUID.

- 1. THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.
- 2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT: A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE
- CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR

B. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO

THE ENGINEER, THE OWNER, AND THE CONTRACTOR; C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;

D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

PERFORATED RISER DIKE, IF **PLAN VIEW** IF USING PIPE NECESSARY, WEIR OR OUTLET TO DIVERT **EMBANKMENT IF** FLOW INTO USING STONE -EXCAVATION FOR OUTLET OR PIPE REQUIRED STORAGE OUTLET 3:1 MAX. SLOPE SIDE SLOPES TO SECTION VIEW BE STABILIZED

STABILIZED.

THE EXIT SHALL BE

WHICH WILL PREVENT

APPROVED SEDIMENT

SEDIMENT SHALL BE

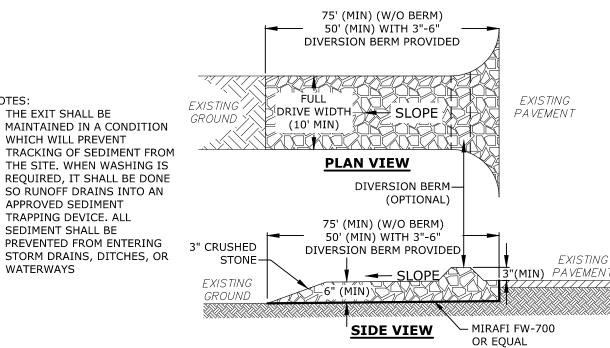
WATERWAYS

TRAPPING DEVICE. ALL

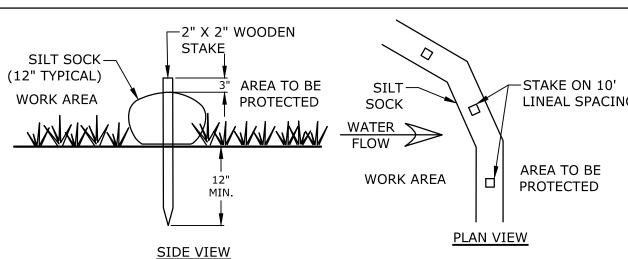
- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE THE MAXIMUM CONTRIBUTING AREA TO A SINGLE TRAP SHALL BE LESS THAN 5
- THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP. TRAP SHALL DISCHARGE TO A STABILIZED AREA. TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
- MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED

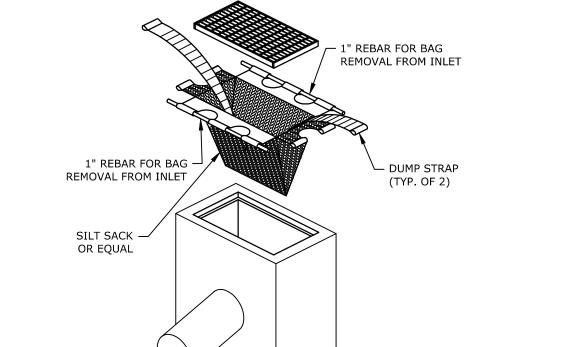
SEDIMENT TRAP NO SCALE

SEDIMENT TRAPS MUST BE USED AS NEEDED TO CONTAIN RUNOFF UNTIL SOILS ARE



STABILIZED CONSTRUCTION EXIT NO SCALE





INLET PROTECTION BARRIER SHALL BE SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INLET PROTECTION BARRIER SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS LOCATE

WITHIN THE LIMIT OF WORK SILT SACK SHALL BE INSPECTED REGULARLY AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER

INLET PROTECTION BARRIER

Development

Multi-Family

Torrington Properties, Inc.

Portsmouth,

9/2/2021 Design Review - TAC WS A 8/5/2021 PB Conceptual Consultation T-5047-00 August 5, 202 T5047-001-C-DTLS.DW0 DRAWN BY: CHECKED BY NAH/PMC APPROVED BY:

AS SHOWN SCALE:

IN A DUMPSTER;

1. SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL.

STORMWATER RUNOFF AT A SINGLE DISCHARGE POINT.

2. SILT SOCK SHALL BE FILLED WITH FILTERMEDIA BY FILTREXX OR APPROVED EQUAL

3. WHERE TWO SILT SOCKS ARE JOINED, A MINIMUM OF 2 FEET OF OVERLAP SHALL BE MAINTAINED.

4. SILT SOCKS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

5. CONTRACTOR TO INSTALL SILT SOCK IN J-HOOK OR SMILE CONFIGURATION TO LIMIT CONCENTRATION OF

SILT SOCK

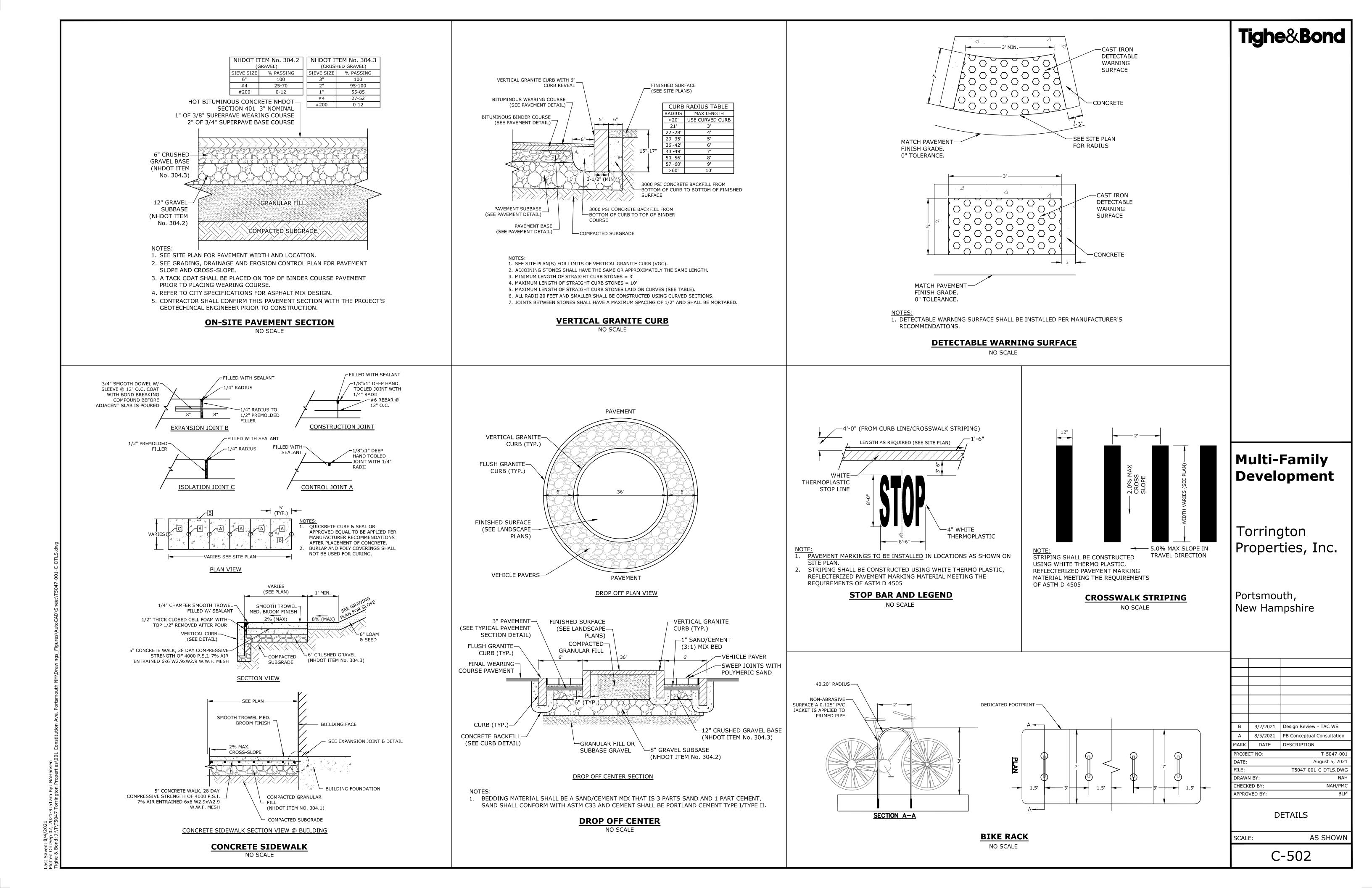
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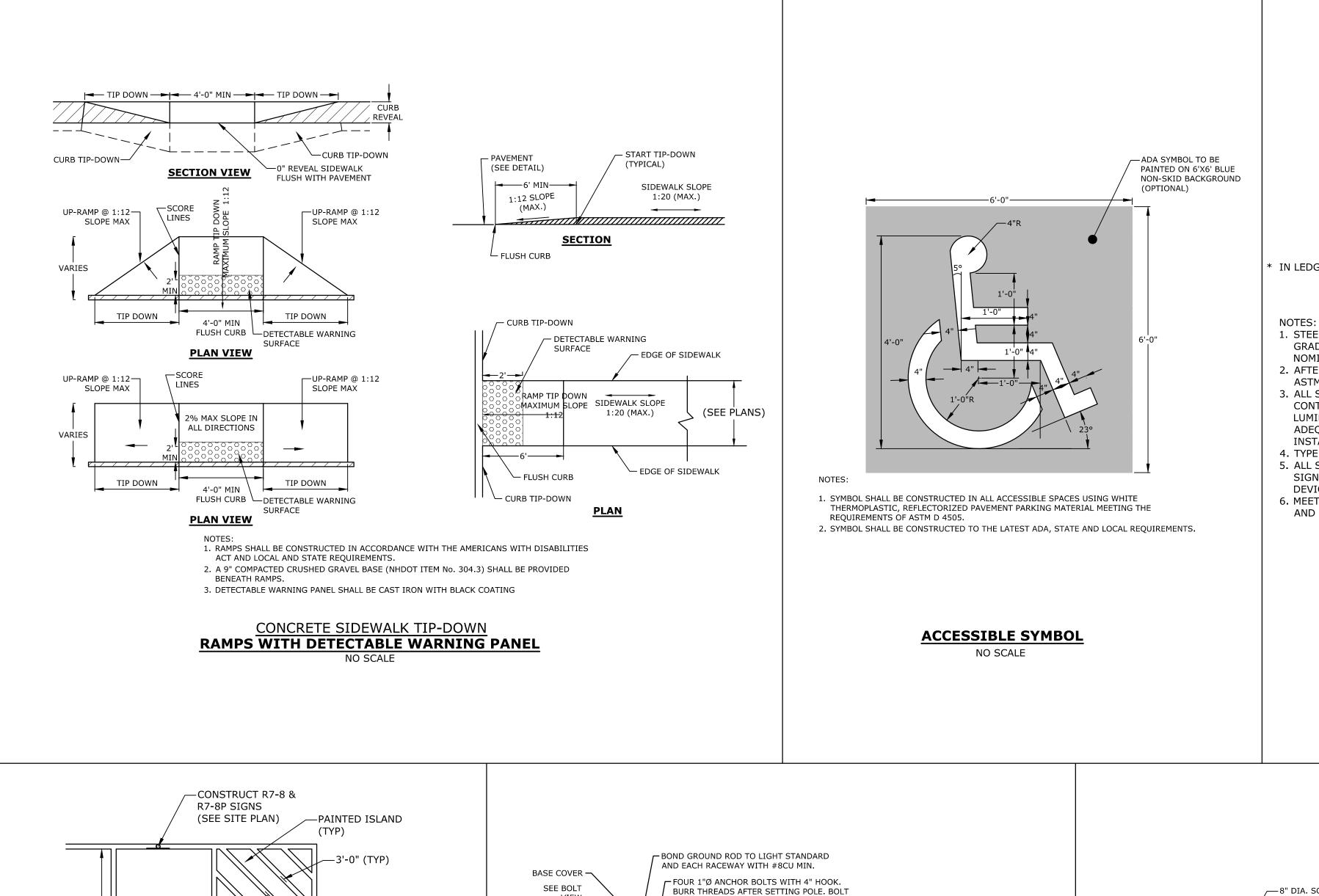
LINEAL SPACING

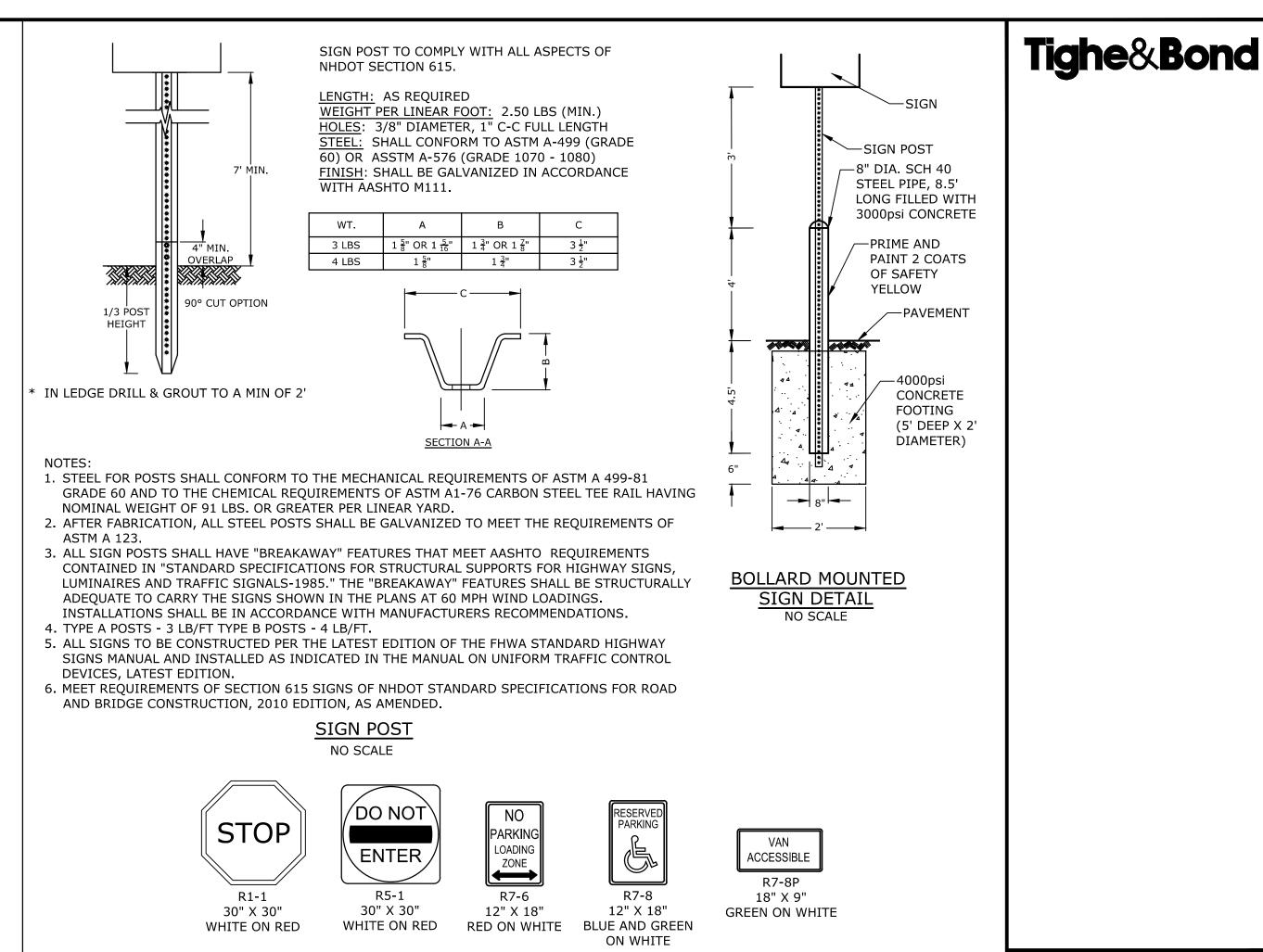
New Hampshire

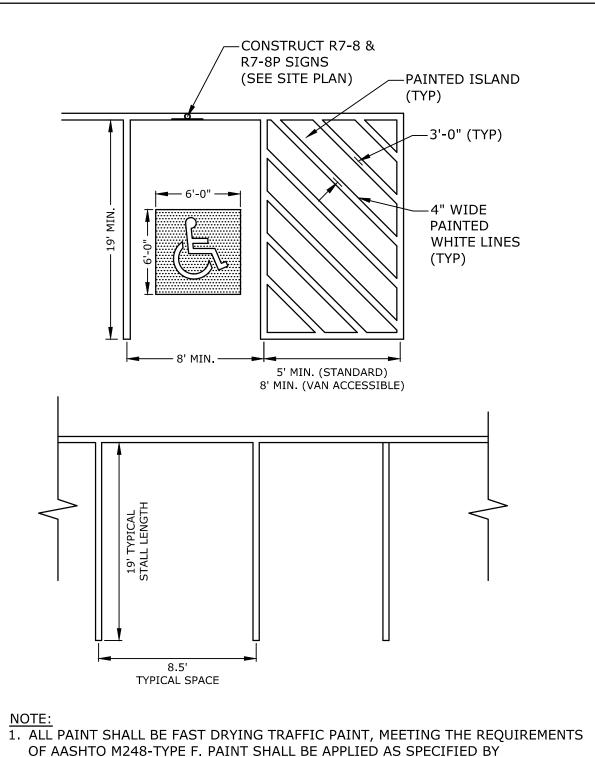
MARK DATE DESCRIPTION PROJECT NO: DATE:

EROSION CONTROL NOTES









2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE

AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.

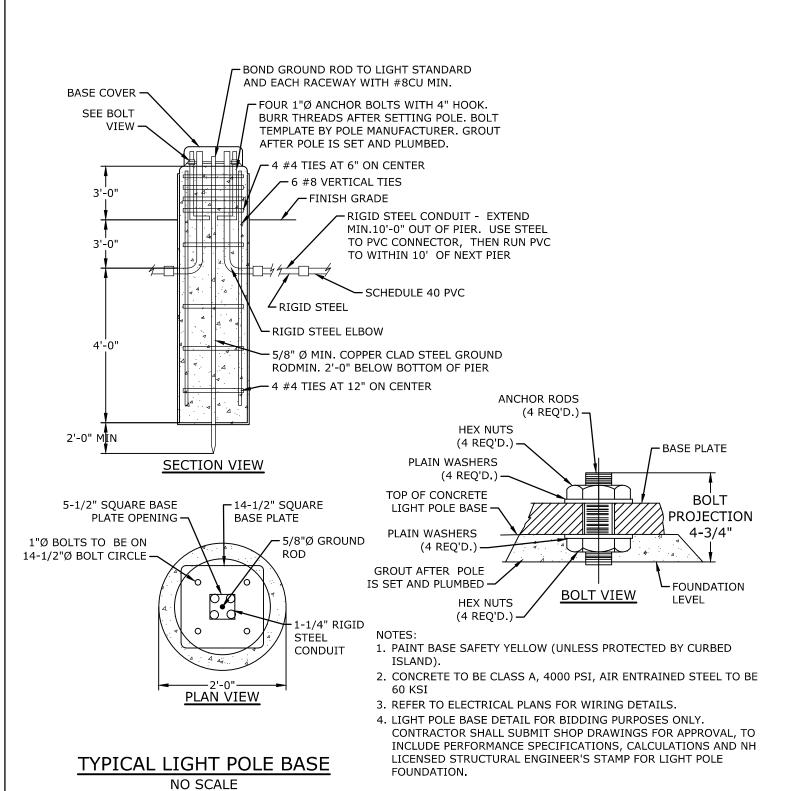
3. FINISH PAVEMENT GRADES AT ALL HANDICAP ACCESSIBLE STALLS AND PAINTED

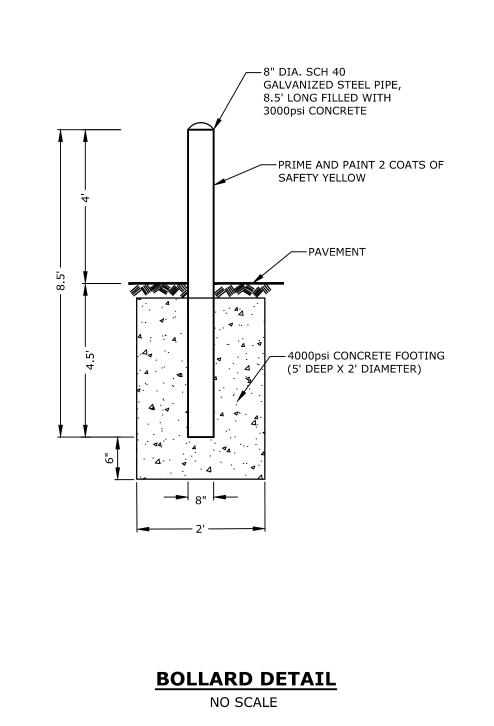
STALL STRIPING

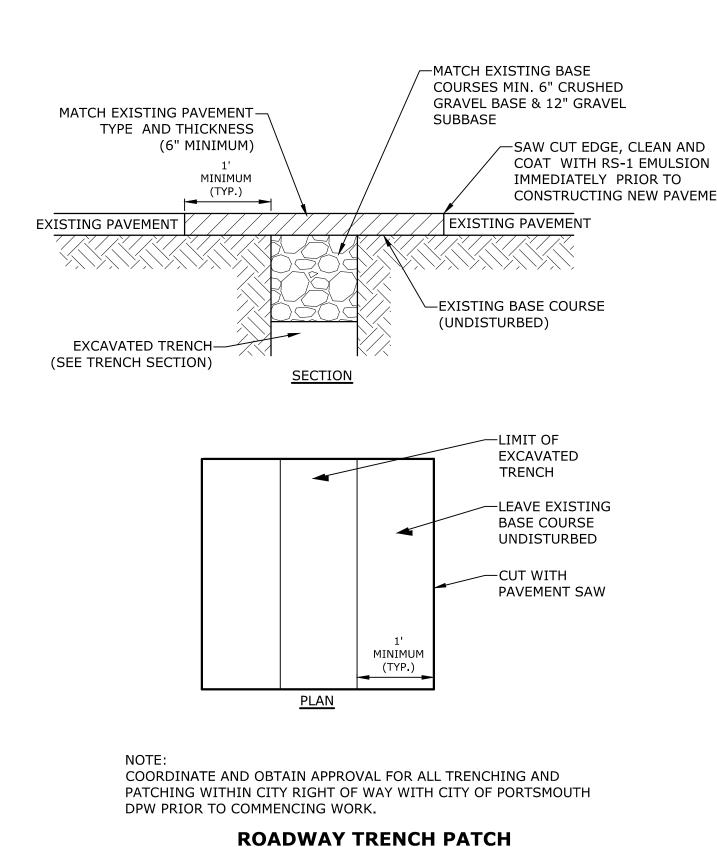
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ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.

MANUFACTURER.





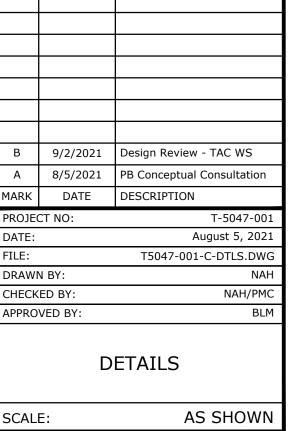


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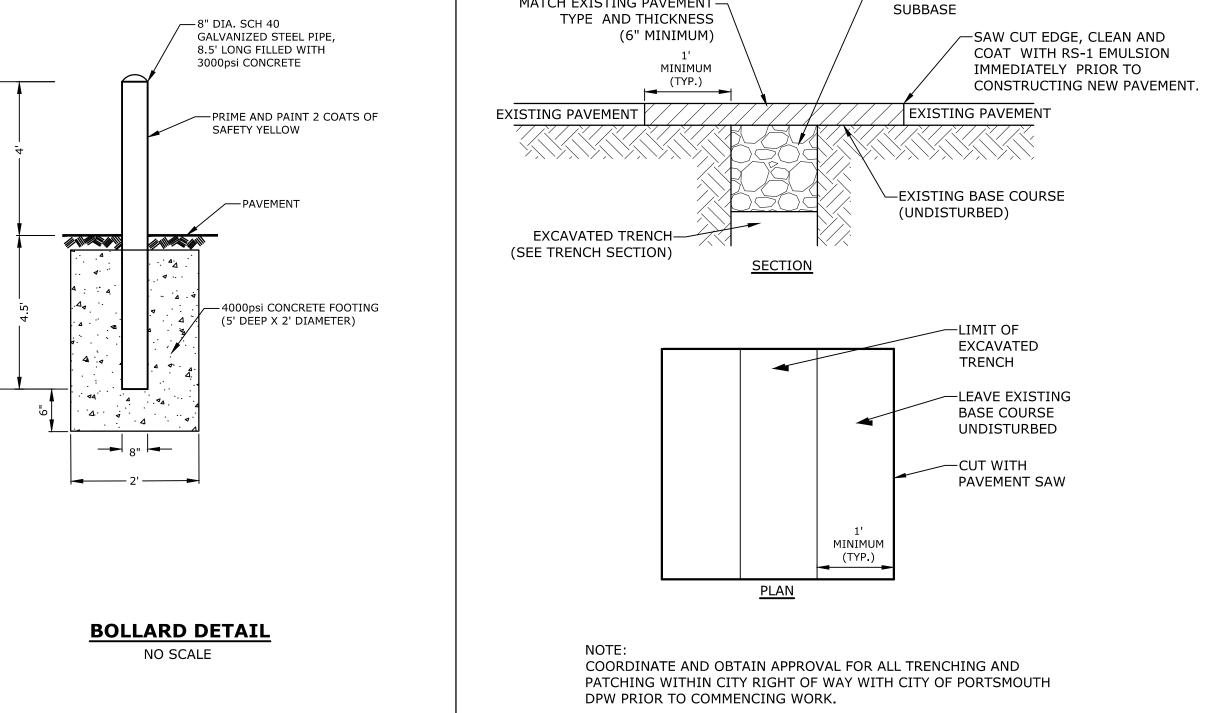
Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

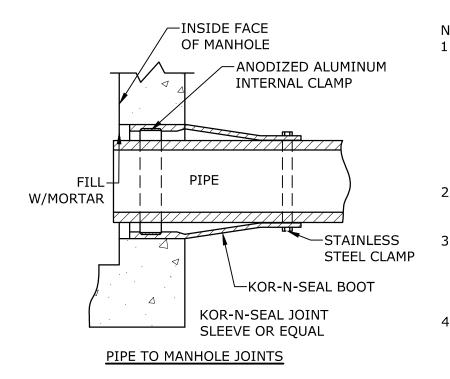


C-503



SIGN LEGEND & SIGN POST

NO SCALE



GASKET 1-/2" x 2"

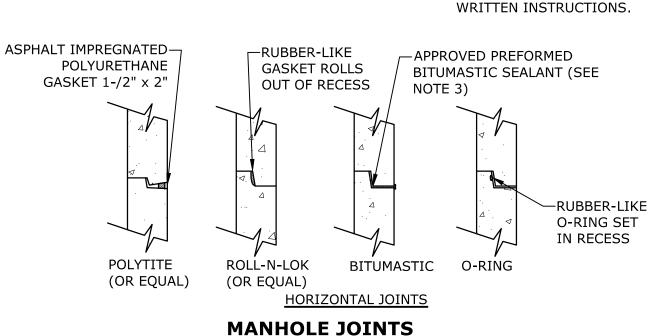
1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW

GASKET. 2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD. 3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL

ELASTOMERIC OR MASTIC-LIKE

CAVITY. 4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS'

AT LEAST 75% OF THE JOINT



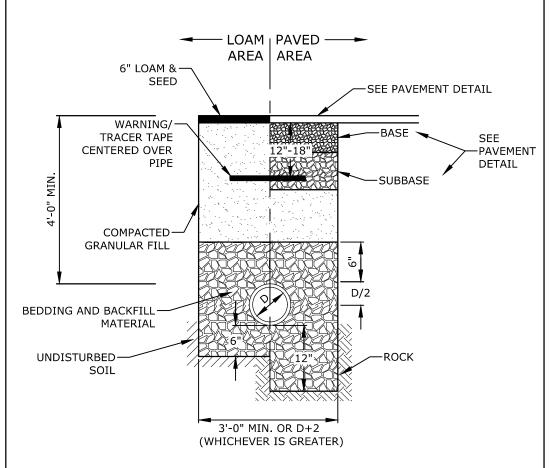
NO SCALE

1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)

2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE. 3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL FLOATING

DEBRIS TRAP

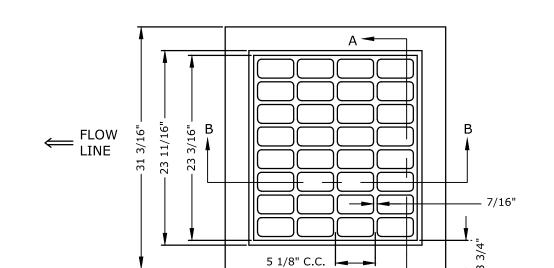


1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY

COMPANIES AND THE CITY OF PORTSMOUTH. . DRAIN LINE SHALL BE INSULATED WHERE THERE IS LESS THAN 6' OF COVER IN PAVED AREAS AND LESS THAN 4' OF COVER IN NON-PAVED AREAS.

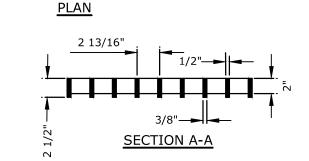
STANDARDS, COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY

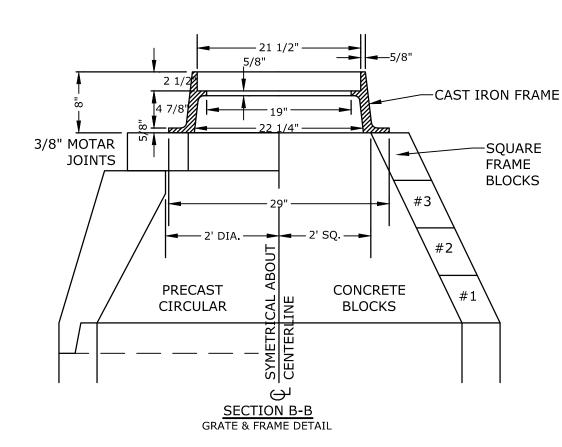
STORM DRAIN TRENCH



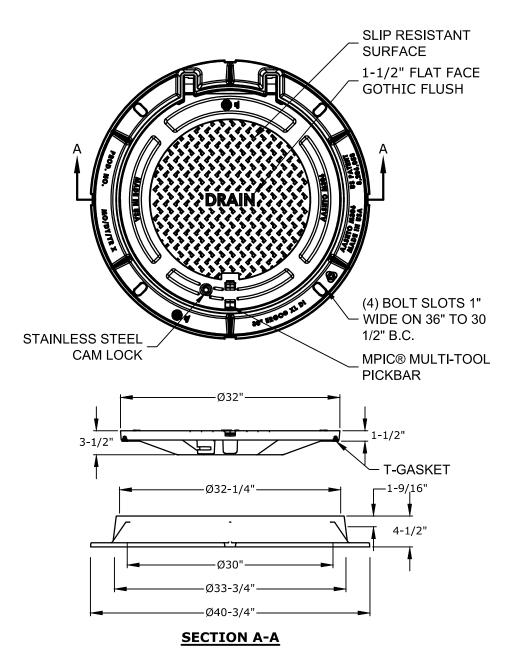
1. GRATE TO BE CAST IRON (NHDOT TYPE B) 2. FRAME AND GRATE TO BE

MANUFACTURED IN THE USA





CATCH BASIN FRAME & GRATE NO SCALE



1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL

BY EJ CO. 2. ALL DIMENSIONS ARE NOMINAL.

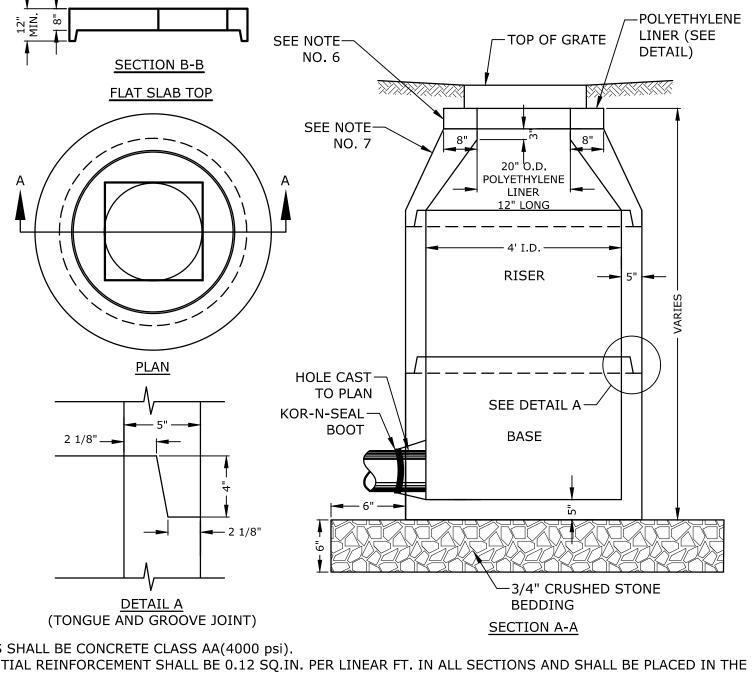
FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:

A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING. B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES

ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS. C. ALL OTHER PERTINENT REQUIREMENTS OF THE

SPECIFICATIONS ARE MET. 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER.

DRAIN MANHOLE FRAME & COVER NO SCALE



1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi).

- 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF
- 3. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
- 4. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.

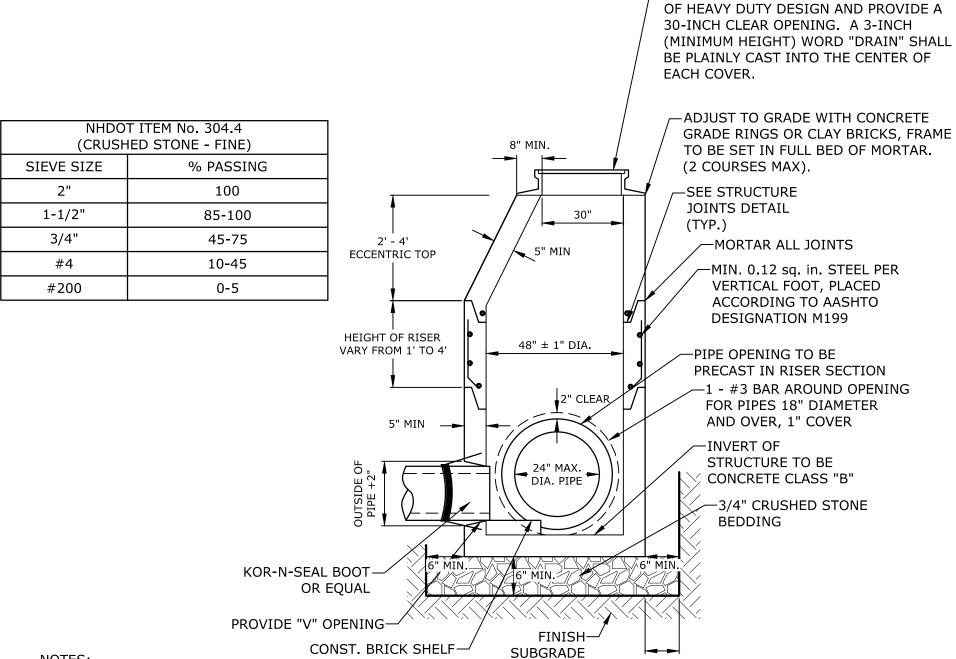
5. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.

- 6. FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX.).
- 7. CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.

8. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.

- 9. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
- 10. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- 11. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT

4' DIAMETER CATCHBASIN



1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.

- CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
- 4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
- CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
- THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
- PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
- 9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE
- WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS. 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN

4' DIAMETER DRAIN MANHOLE

75% OF A HORIZNTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

NO SCALE

Multi-Family Development

-MANHOLE FRAMES AND COVERS SHALL BE

Tighe&Bond

Torrington Properties, Inc.

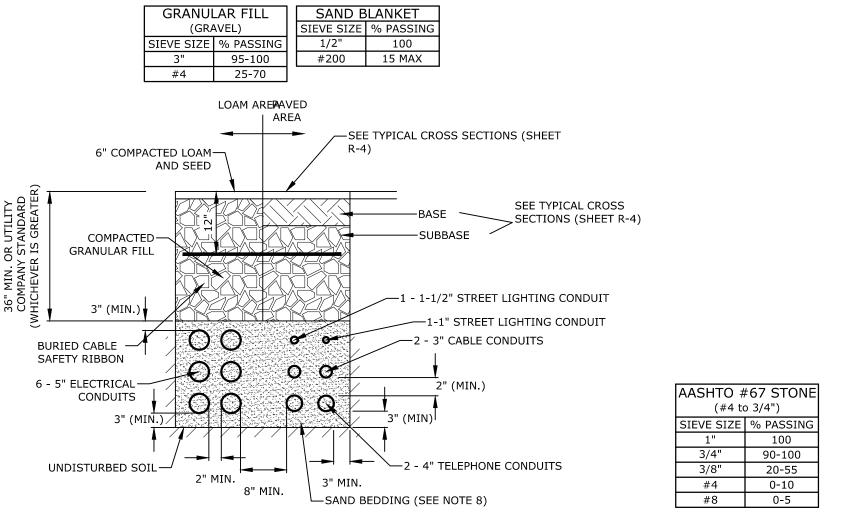
Portsmouth, New Hampshire

В	9/2/2021	Design Review - TAC WS
A	8/5/2021	PB Conceptual Consultation
RK	DATE	DESCRIPTION
OJE(CT NO:	T-5047-00
TE:		August 5, 202

T5047-001-C-DTLS.DWG DRAWN BY: CHECKED BY: NAH/PMC APPROVED BY:

DETAILS

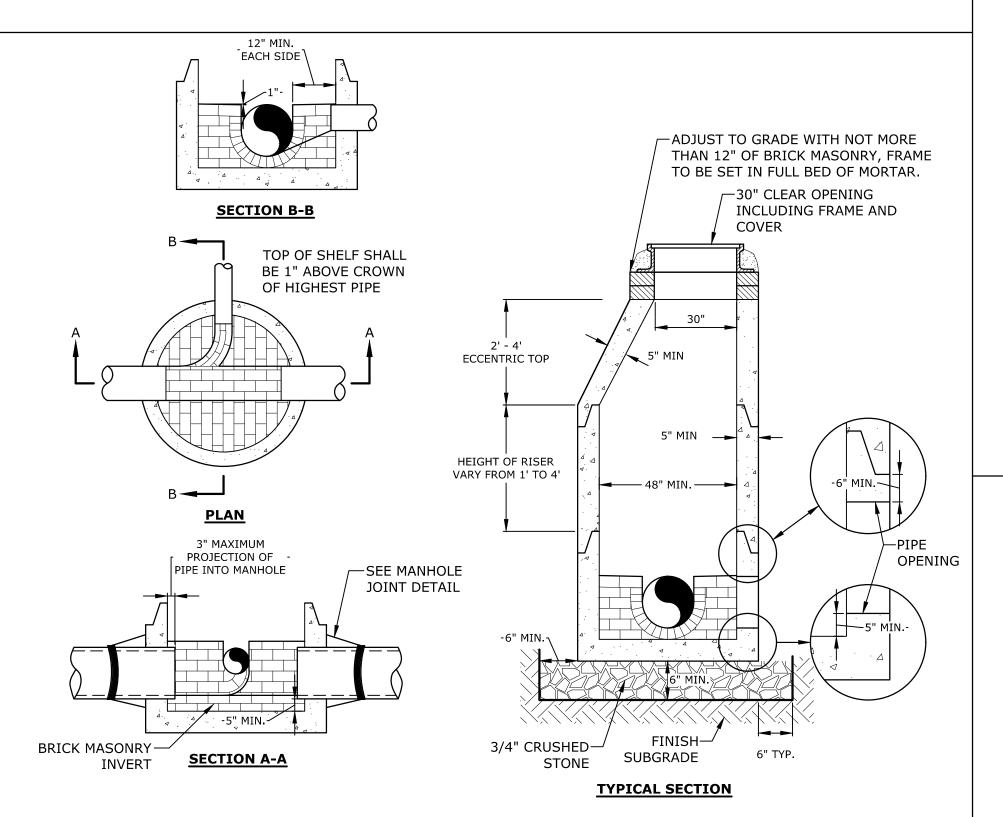
AS SHOWN SCALE:



- 1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS.
- CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING. 2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY
- STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
- 3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS. 4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO
- 5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
- 6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
- 7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
- 8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR
- WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT

NO SCALE



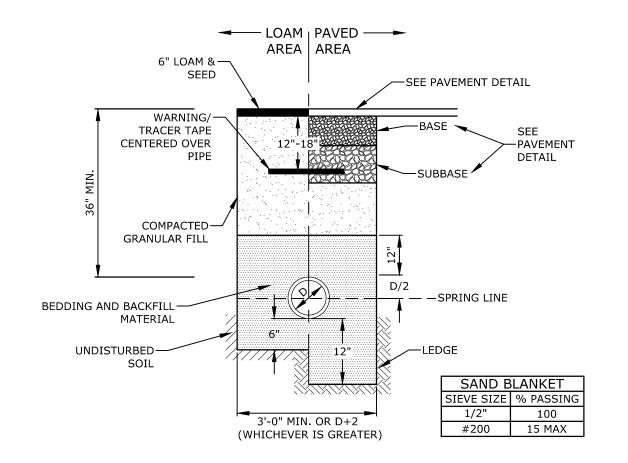
ASTM C478-06.

- 1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
- 2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
- 3. INVERT BRICKS SHALL BE LAID ON EDGE.
- 4. TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE 5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC

WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A

3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. 6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT. 7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO

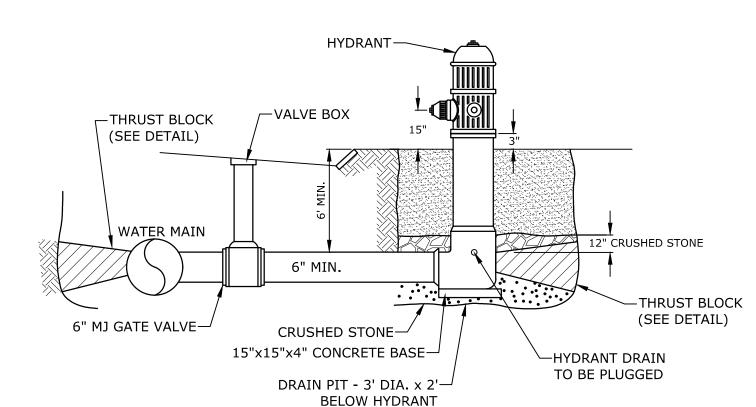
> **SEWER MANHOLE** NO SCALE



- 1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE
- 2. GAS LINE SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY/TOWN OF ????.

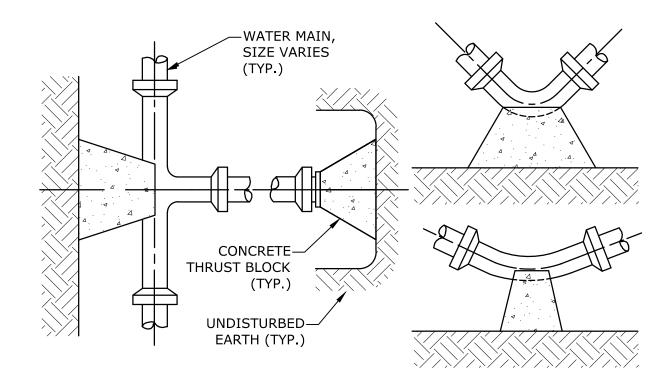
GAS TRENCH

NO SCALE



- 1. HYDRANT TO BE KENNEDY TYPE K-81, RIGHT OPEN (NO EQUAL). COORDINATE WITH CITY OF PORTSMOUTH
- WATER DEPARTMENT AND CITY OF PORTSMOUTH FIRE DEPARTMENT. 2. PAINT HYDRANT IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS AFTER INSTALLATION AND TESTING.

FIRE HYDRANT



200psi	SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL					
PRESSURE =	REACTION	PIPE SIZE				
	TYPE	4"	6"	8"	10"	12"
	A 90°	0.89	2.19	3.82	11.14	17.24
	B 180°	0.65	1.55	2.78	8.38	12.00
	C 45°	0.48	1.19	2.12	6.02	9.32
TEST	D 22-1/2°	0.25	0.60	1.06	3.08	4.74
	E 11-1/4°	0.13	0.30	0.54	1.54	2.38

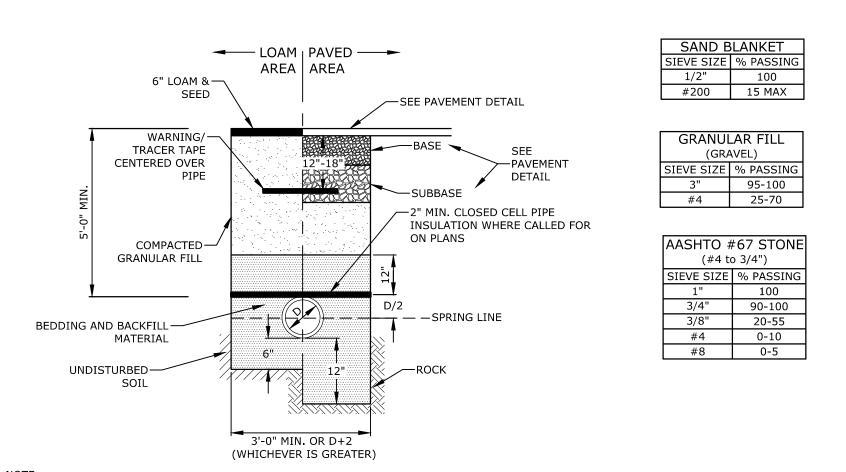
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
- 4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END
- 5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

THRUST BLOCKING DETAIL

— LOAM | PAVED — ► AREA AREA 6" LOAM-& SEED PAVEMENT DETAIL WARNING/ —BASE**⊸** TRACER TAPE -PAVEMENT CENTERED DETAIL OVER PIPE ∠2-2" MIN. CLOSED CELL COMPACTED-PIPE INSULATION GRANULAR WHERE CALLED FOR ON FILL PLANS 3/4"-CRUSHED STONE UNDISTURBED-SOIL 3'-0" MIN. OR D+2 (WHICHEVER IS GREATER)

- 1. CRUSHED STONE BEDDING FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK. CRUSHED STONE SHALL ALSO COMPLETELY ENCASE THE PIPE AND COVER THE PIPE TO A GRADE 6" OVER THE TOP OF THE PIPE FOR THE ENTIRE WIDTH OF THE TRENCH.
- 2. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

SEWER SERVICE TRENCH NO SCALE



- 1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE
- 2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

WATER TRENCH NO SCALE

Multi-Family Development

Tighe&Bond

Torrington Properties, Inc.

Portsmouth, New Hampshire

В	9/2/2021	Design Review - TAC WS
Α	8/5/2021	PB Conceptual Consultation
1ARK	DATE	DESCRIPTION
ROJE	CT NO:	T-5047-001
ATE:		August 5, 2021

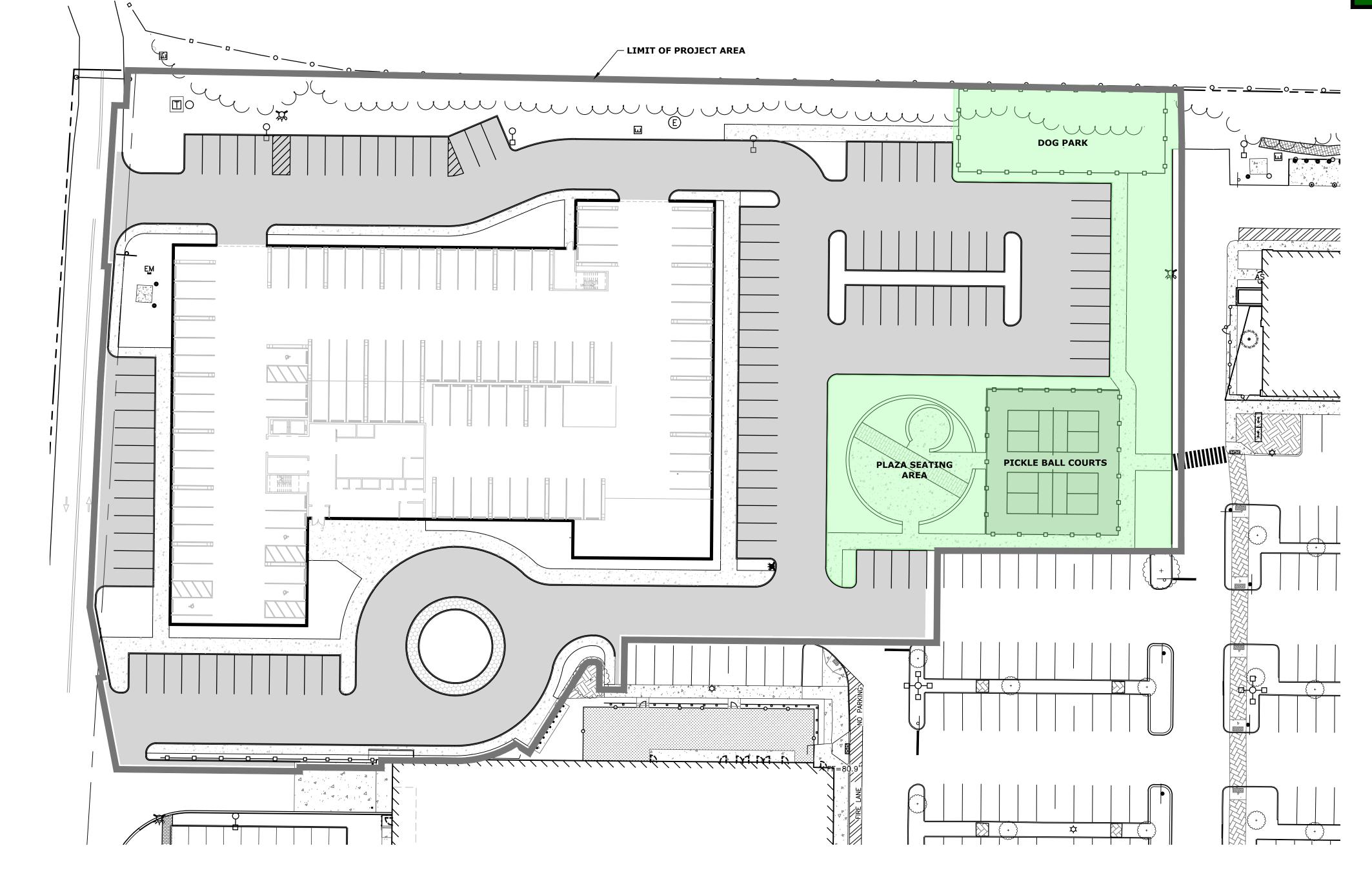
T5047-001-C-DTLS.DW0 DRAWN BY: CHECKED BY: NAH/PMC APPROVED BY:

DETAILS

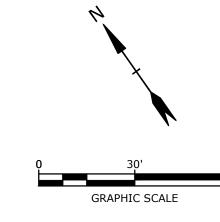
AS SHOWN SCALE:

PROPOSED MULTI-FAMILY DEVELOPMENT PORTSMOUTH, NEW HAMPSHIRE

COMMUNITY SPACE EXHIBIT





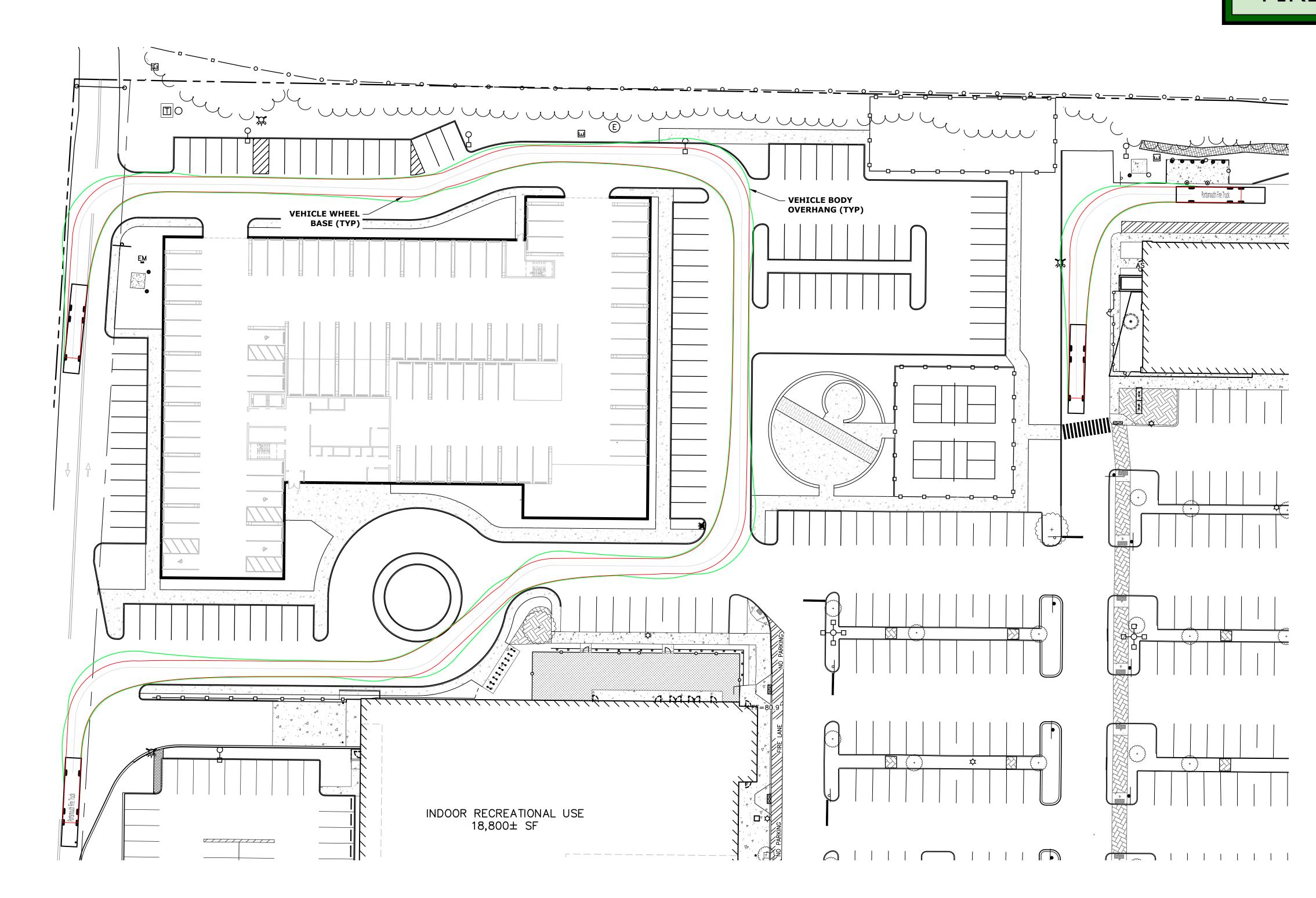


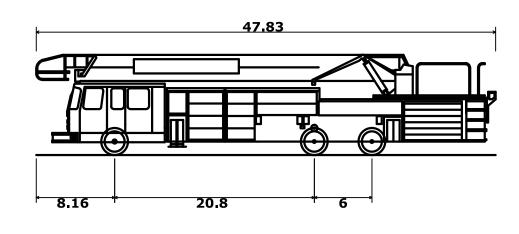
Tighe&Bond

September 2, 2021 T5047-001-C-DSGN.dwg

PROPOSED MULTI-FAMILY DEVELOPMENT PORTSMOUTH, NEW HAMPSHIRE

FIRE TRUCK TURNING EXHIBIT





Portsmouth Fire Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Steering Angle (Virtual)

47.830ft 8.500ft 10.432ft 0.862ft 8.000ft 6.00s 38.00°

<u>LEGEND</u>

VEHICLE OVERHAN

0 30'

Tighe&Bond

September 2, 2021 T5047-001-C-DSGN.dwg

AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315

6 September 2021

Juliet Walker, Planning Department Chair City of Portsmouth 1 Junkins Avenue Portsmouth, NH 03801

RE: Application for TAC Workshop Approval, Tax Map 106, Lot 54, 99 Bow Street

Dear Juliet and TAC Members:

On behalf of Martingale, LLC we submit herewith the attached for TAC Workshop review. The project consists of two separate decks which will be attached to the east and west ends of the existing over water deck located at 99 Bow Street, Portsmouth, and commonly referred to as the Martingale. The West Deck expansion (public wharf deck) will provide the general public with handicap accessible access to the Piscataqua River Waterfront for the enjoyment of the active Inner Harbor of Portsmouth, the Sarah Mildred Long Bridge, the Memorial Bridge, the Moran Tug Boats, the NH State Port Authority Pier and the working waterfront of Kittery Maine. The East Deck expansion will be for an expansion of the existing outside dinning for the Martingale Wharf Restaurant, which is open to the public.

Martingale Wharf is the only restaurant open to the general public located on the Inner Harbor of downtown Portsmouth that provides full handicap accessibility via on street parking located on Bow Street and a passenger elevator to the waterfront. Martingale Wharf also has handicap accessible bathrooms located on the waterfront as part of the restaurant. The northern, or "waterside" limit of the building is synonymous with a seawall, which is also the landward limit of the Highest Observable Tide Line for the majority of the shoreline frontage associated with the property. At the time of construction in 2010, Martingale was one of only two projects to receive an Urban Exemption to Shoreland Zoning which permitted the construction and improvements as seen today, including approval for public dining on the existing deck. The West Deck expansion (public wharf deck) is the only waterfront deck with handicap accessibility to the general public. The deck also has additional public access via a continuous easement that connects the Martingale with Ceres Street and Bow Street (See Existing Conditions Plan-Sheet C1).

The public wharf deck and the public dining deck will each display an educational bas relief sculpture installed on the walls of the deck expansion. Each sculpture will depict black and white seamen in the age of sail, while weaving in images of the Portsmouth seaport history. The sculpture located on the East wall of the public dining deck will feature seamen at work, while the sculpture located on the West wall of the public wharf deck will feature seamen at rest and play. These and other specialized landscaped features will provide the public with a unique experience in a unique space (See McHenry Architecture Plans attached).

Please find the following plans in this submission:

- Cover Sheet This shows the Development Team, Legend, Site Location, and Site Zoning.
- As Built Plan, Martingale Wharf This shows the property dimensions of the lot.
- Existing Conditions Plan C1 This plan shows the current improvements on the property.
- NHDES Permit Plan C2 This plan shows the proposed deck expansion(s) and layout of the proposed features.
- Site Sections C3 & C4 This plan shows the on-site and adjacent underwater topography / bathymetry as well as the proposed pile locations.
- Details D1 This plan shows the Deck Details as well as erosion control and project construction sequence.
- Perspective View (Decks) A4 & A5 These plans show the rendered views of the proposed deck expansion.
- Perspective View (Murals) A6, A7, & A8 These plans show the rendered views of the proposed murals at each end of the decks, with relevant details.
- Decks Expansion Plan A9 The plan show the dimensions of the proposed deck expansion and proposed deck seating.
- Elevations, Detail Plans, Cut Sheets and Materials A11, A12 & A13 These plans show additional details of the proposed deck expansion and murals.
- Landscape Details L1 The plan show landscape details for the proposed deck expansion and murals.

We ask that we be placed on the Agenda for the **September 14 TAC Work Session**. We look forward to your review of this submission.

Sincerely,

John Chagnon

John R. Chagnon, PE CC: 99 Bow Street Team

PUBLIC ACCESS IMPROVEMENTS

OWNER & APPLICANT:

MARTINGALE, LLC MCNABB PROPERTIES, LTD 3 PLEASANT STREET, SUITE 400 PORTSMOUTH, NH 03801

(603) 427-0725 CIVIL ENGINEER & LAND

SURVEYOR:

AMBIT ENGINEERING, INC. 200 GRIFFIN ROAD, UNIT 3 PORTSMOUTH, N.H. 03801

Tel. (603) 430-9282 Fax (603) 436-2315

ATTORNEY:

RATH, YOUNG, AND PIGNATELLI, P.C. ONE CAPITAL PLAZA CONCORD NH 03302-1500 (603) 226-2600

- DOWNTOWN OVERLAY

DISTRICT LINE

LANDSCAPE ARCHITECT:

TERRA FIRMA LANDSCAPE **ARCHITECTURE**

163A COURT STREET PORTSMOUTH NH 03801 TEL. (603) 430-8388

ARCHITECT:

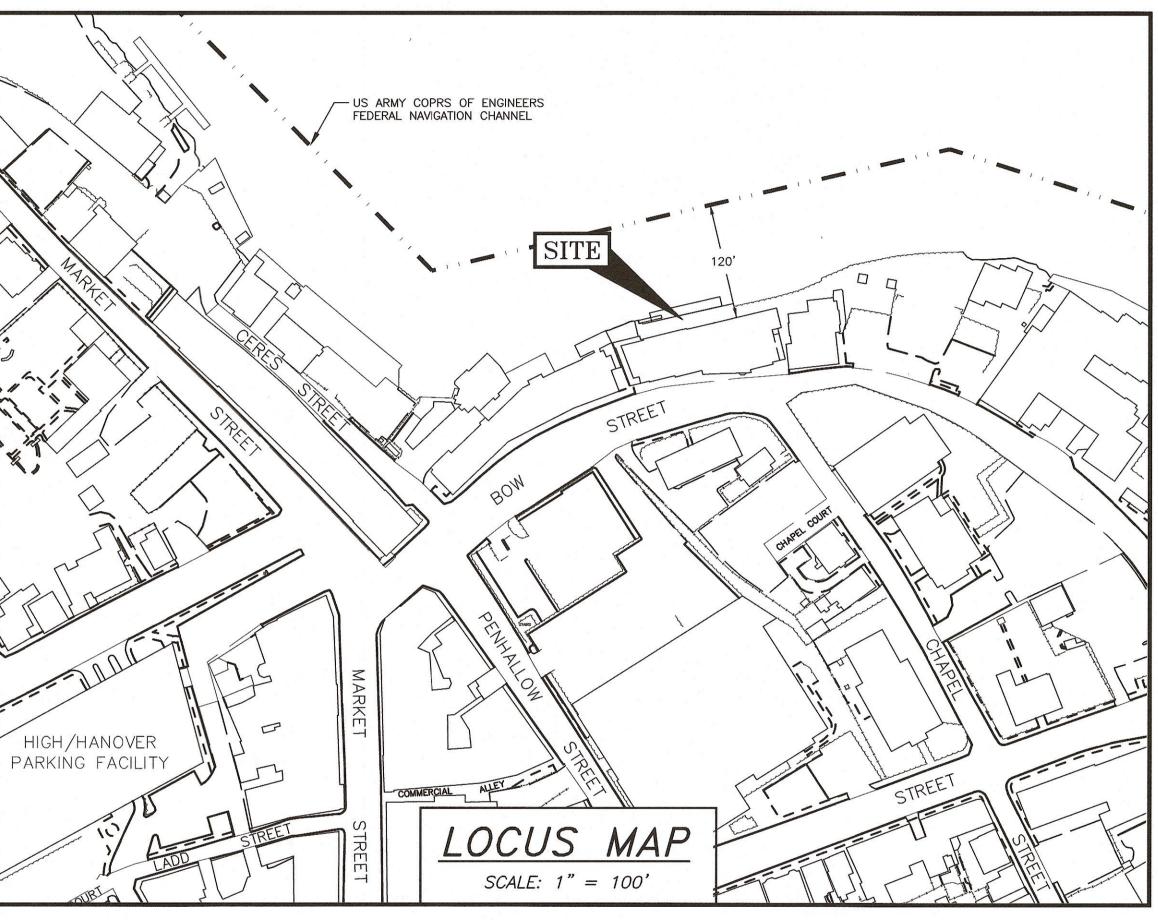
McHENRY ARCHITECTURE, PLLC

4 MARKET STREET PORTSMOUTH NH 03801 TEL. (603) 430-0274

MARTINGALE WHARF

99 BOW STREET, PORTSMOUTH, NEW HAMPSHIRE

PERMIT PLANS





INDEX OF SHEETS

Map 10.5A21A **Character Districts** and Civic Districts

Historic District

Civic District

Civic District

Municipal District

Municipal District

Downtown Overlay District

CD5 Character District 5

CD4 Character District 4

CD4-W Character District 4-W

CD4-L1 Character District 4-L1 CD4-L2 Character District 4-L2

_	AS-BUILT PLAN
C1	EXISTING CONDITIONS PLAN
C2	DES PERMIT PLAN
C3-C4	SITE SECTIONS
D1	DETAILS
-	ARCHITECTURAL PLANS
	PERSPECTIVE VIEWS
_	DECK EXPANSION PLAN
_	ELEVATIONS AND DETAILS
_	CUT SHEETS
_	LANDSCAPE DETAILS

DWG No.

UTILITY CONTACTS

ELECTRIC: EVERSOURCE 1700 LAFAYETTE ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 436-7708, Ext. 555.5678 ATTN: MICHAEL BUSBY, P.E. (MANAGER)

SEWER & WATER: PORTSMOUTH DEPARTMENT OF PUBLIC WORKS 680 PEVERLY HILL ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 427-1530 ATTN: JIM TOW

NATURAL GAS: UNITIL 325 WEST ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 294-5144 ATTN: DAVE BEAULIEU

CABLE:

COMCAST

155 COMMERCE WAY

ATTN: MIKE COLLINS

PORTSMOUTH, N.H. 03801

Tel. (603) 679-5695 (X1037)

COMMUNICATIONS: FAIRPOINT COMMUNICATIONS JOE CONSIDINE 1575 GREENLAND ROAD GREENLAND, N.H. 03840 Tel. (603) 427-5525

PORTSMOUTH HDC: PENDING

PERMIT LIST:

LEGEND:

EXISTING	PROPOSED	
		PROPERTY LINE SETBACK
S	S	SEWER PIPE
SL	G SL	SEWER LATERAL GAS LINE
D	D	STORM DRAIN
——— W ———— ——— WS ————	W	WATER LINE WATER SERVICE
——— UGE ———	UGE —	UNDERGROUND ELECTRIC
——— OHW ———	——— OHW ———	OVERHEAD ELECTRIC/WIRES FOUNDATION DRAIN
		EDGE OF PAVEMENT (EP)
97x3	98x0	CONTOUR SPOT ELEVATION
\rightarrow	-	UTILITY POLE
-\\\\\-\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		WALL MOUNTED EXTERIOR LIGHTS
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD
450 GS0	GV GV	SHUT OFFS (WATER/GAS)
		GATE VALVE
9	+++HYD	HYDRANT
CB CB	CB	CATCH BASIN
	SMH	SEWER MANHOLE
	DMH	DRAIN MANHOLE
	TMH	TELEPHONE MANHOLE
14)	14	PARKING SPACE COUNT
PM		PARKING METER
LSA	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI COP	CI COP	CAST IRON PIPE COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC RCP	PVC RCP	POLYVINYL CHLORIDE PIPE REINFORCED CONCRETE PIPE
AC		ASBESTOS CEMENT PIPE
VC EP	VC EP	VITRIFIED CLAY PIPE EDGE OF PAVEMENT
EL.	EL.	ELEVATION
FF INV	FF INV	FINISHED FLOOR INVERT
S =	S =	SLOPE FT/FT
TBM TYP	TBM TYP	TEMPORARY BENCH MARK TYPICAL

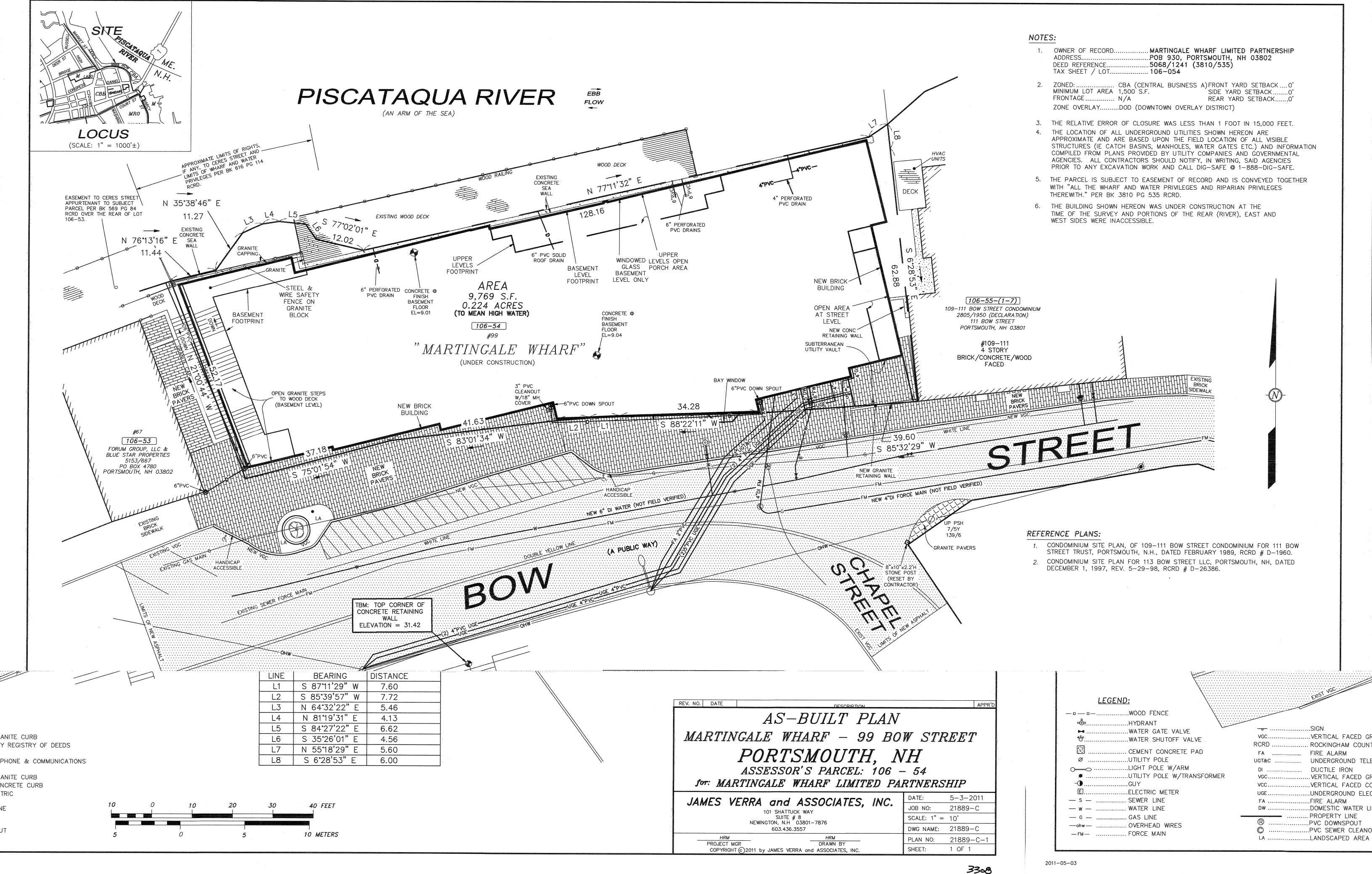
PUBLIC ACCESS IMPROVEMENTS MARTINGALE WHARF 99 BOW STREET PORTSMOUTH, N.H.

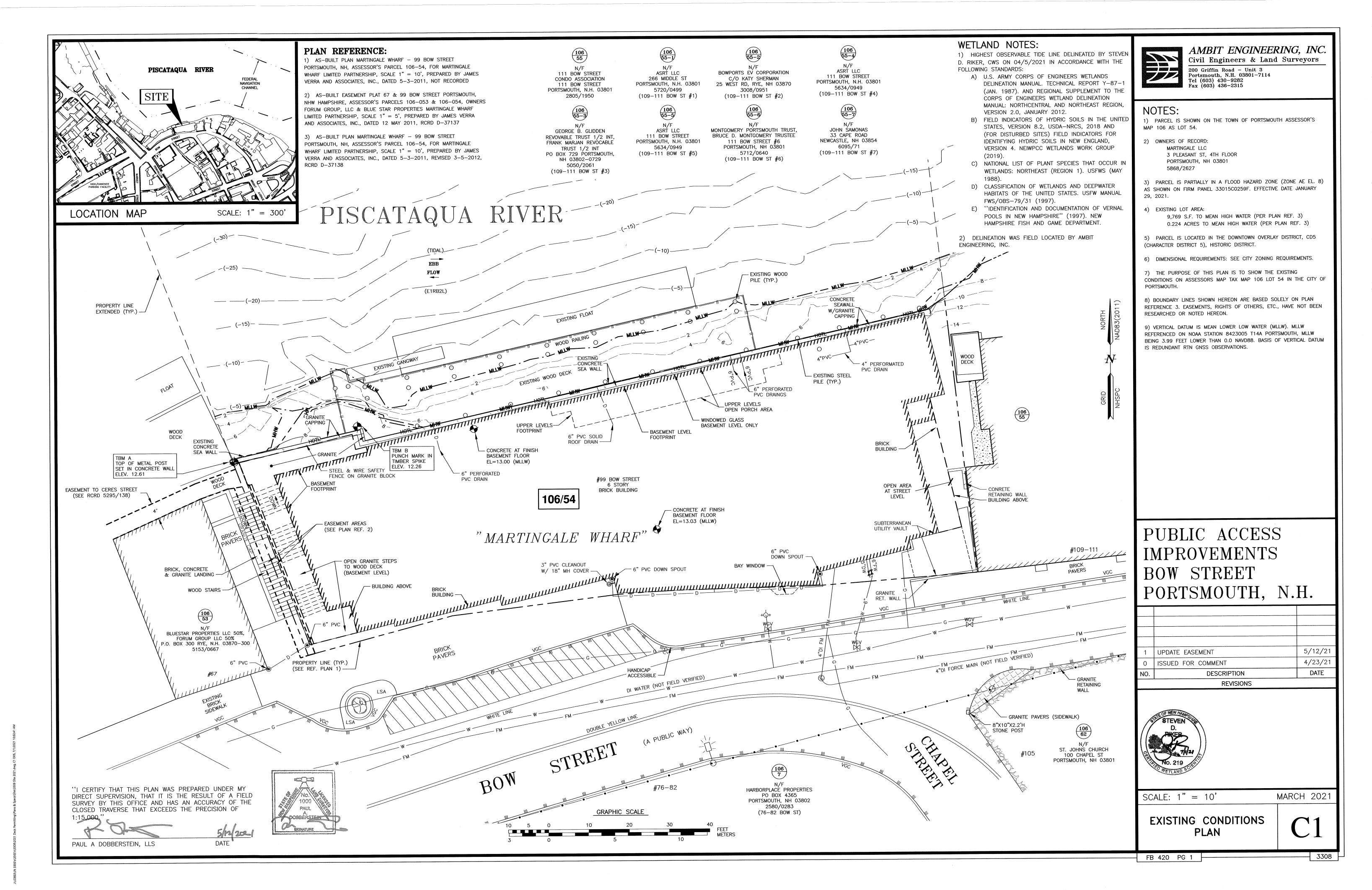


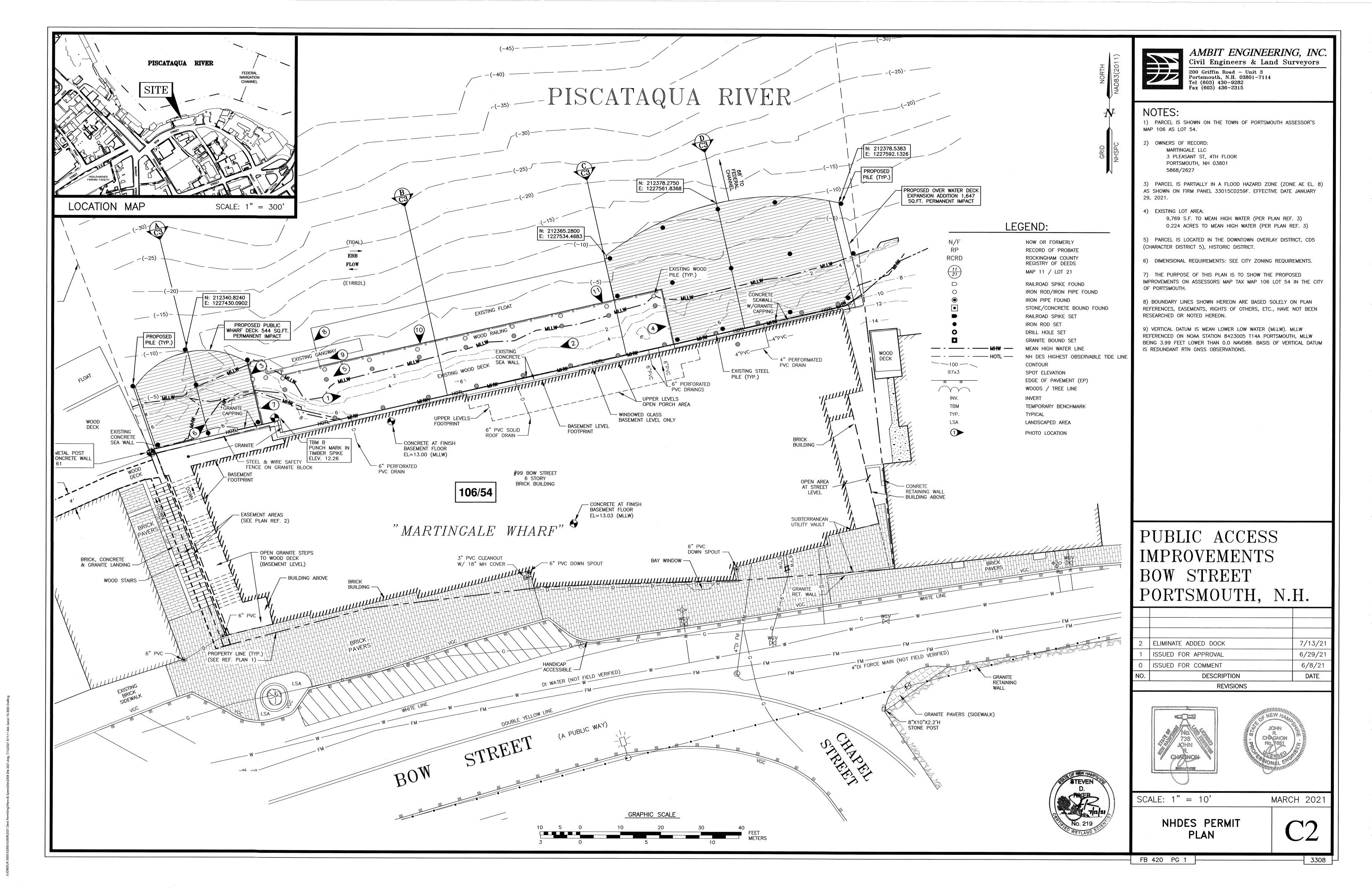
AMBIT ENGINEERING, INC. Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282

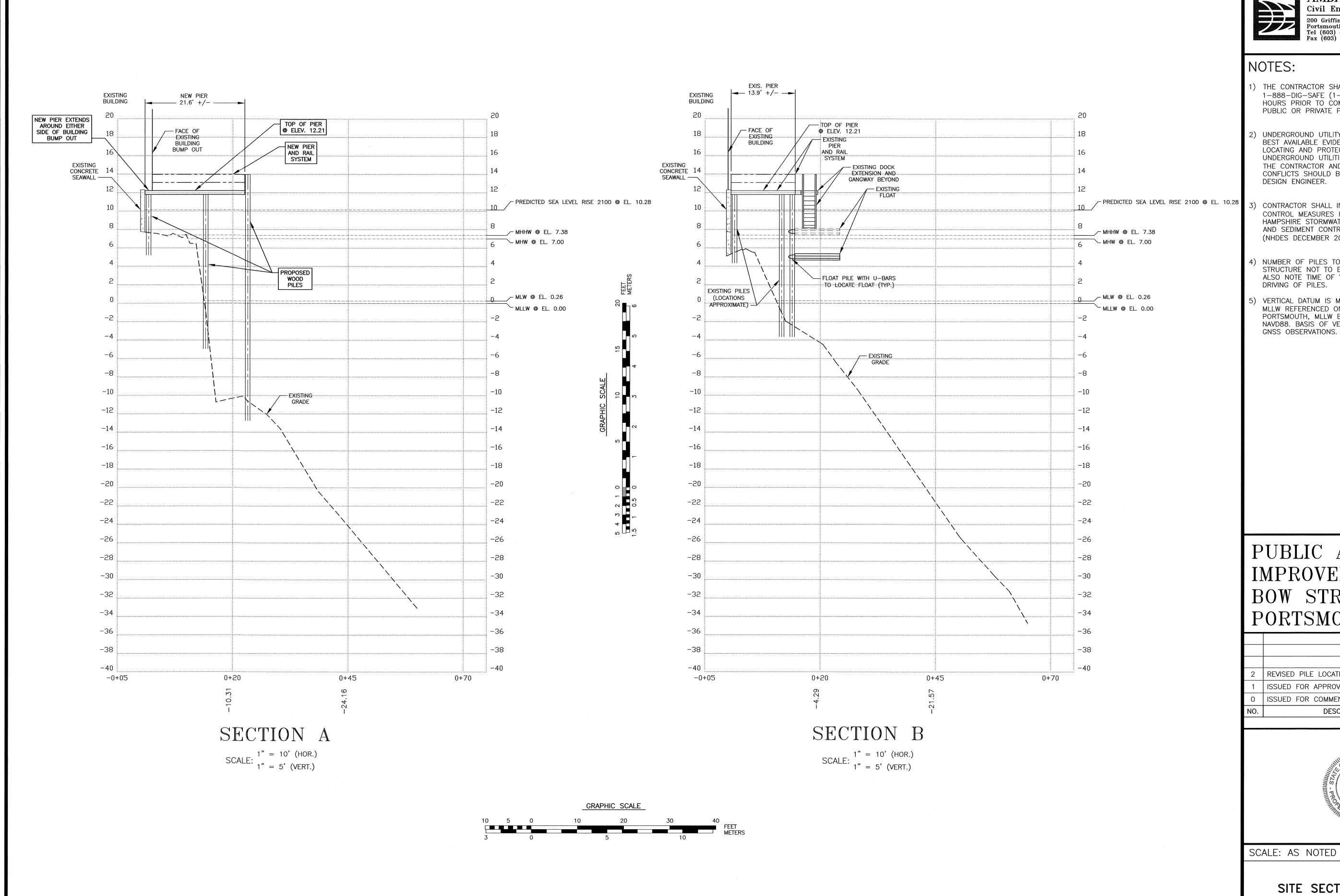
PLAN SET SUBMITTAL DATE: 12 AUGUST 2021

Fax (603) 436-2315











AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114

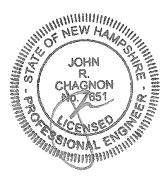
1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

Tel (603) 430-9282 Fax (603) 436-2315

- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BÉ REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) NUMBER OF PILES TO BE DRIVEN FOR DECK & DOCKING STRUCTURE NOT TO EXCEED 25 AS DEPICTED ON PLANS. ALSO NOTE TIME OF YEAR AND NOISE RESTRICTIONS FOR DRIVING OF PILES.
- 5) VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

PUBLIC ACCESS **IMPROVEMENTS** BOW STREET PORTSMOUTH, N.H.

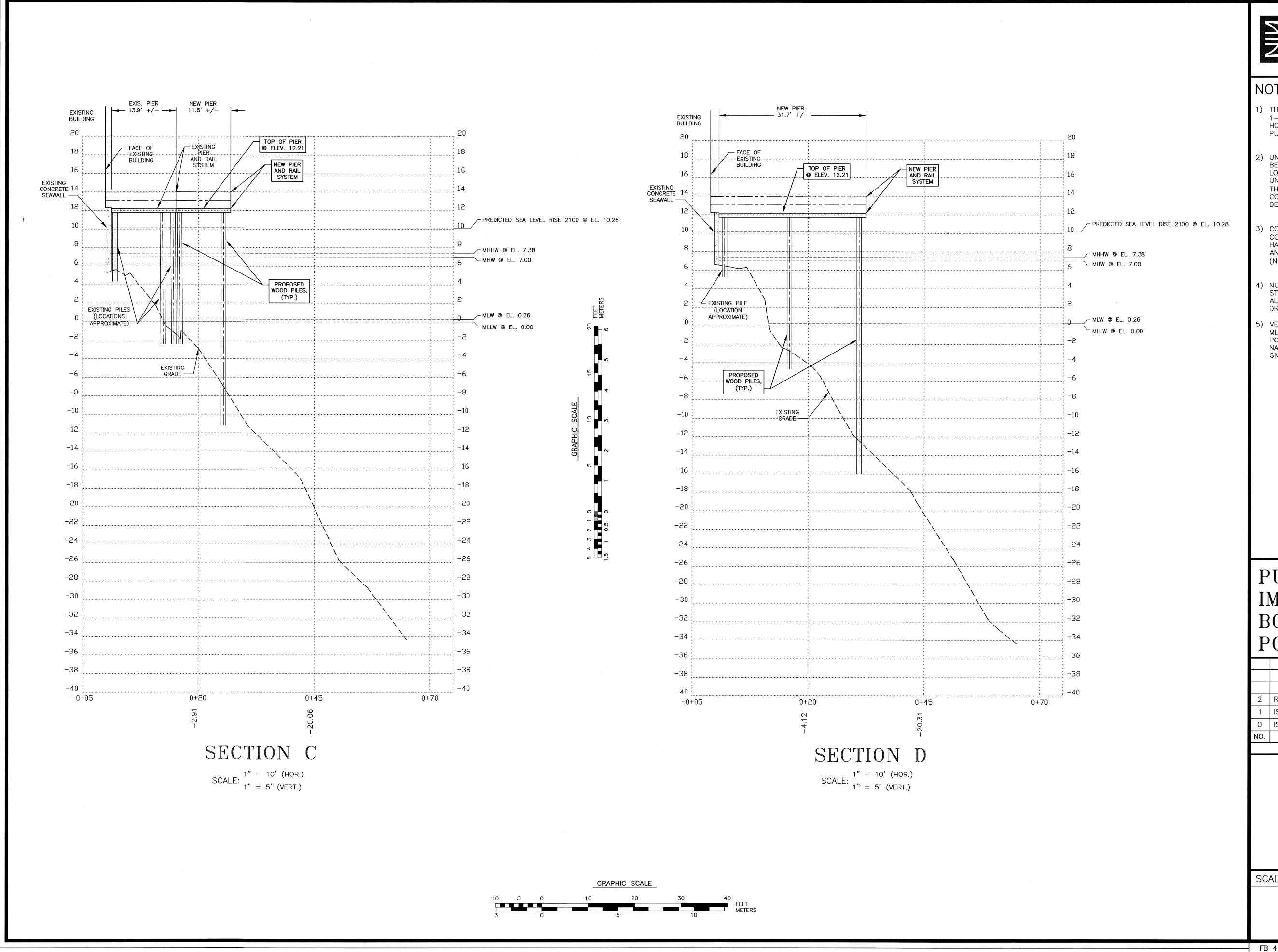
2	REVISED PILE LOCATIONS	8/12/21
1	ISSUED FOR APPROVAL	6/29/21
0	ISSUED FOR COMMENT	6/8/21
NO.	DESCRIPTION	DATE
	REVISIONS	



MARCH 2021

SITE SECTIONS

FB 420 PG 1





AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114

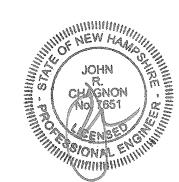
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NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) NUMBER OF PILES TO BE DRIVEN FOR DECK & DOCKING STRUCTURE NOT TO EXCEED 25 AS DEPICTED ON PLANS. ALSO NOTE TIME OF YEAR AND NOISE RESTRICTIONS FOR DRIVING OF PILES.
- 5) VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

PUBLIC ACCESS **IMPROVEMENTS** BOW STREET PORTSMOUTH, N.H.

2	REVISE PILES. REMOVE PROPOSED FLOAT	8/12/21
1	ISSUED FOR APPROVAL	6/29/21
0	ISSUED FOR COMMENT	6/8/21
NO.	DESCRIPTION	DATE
	REVISIONS	

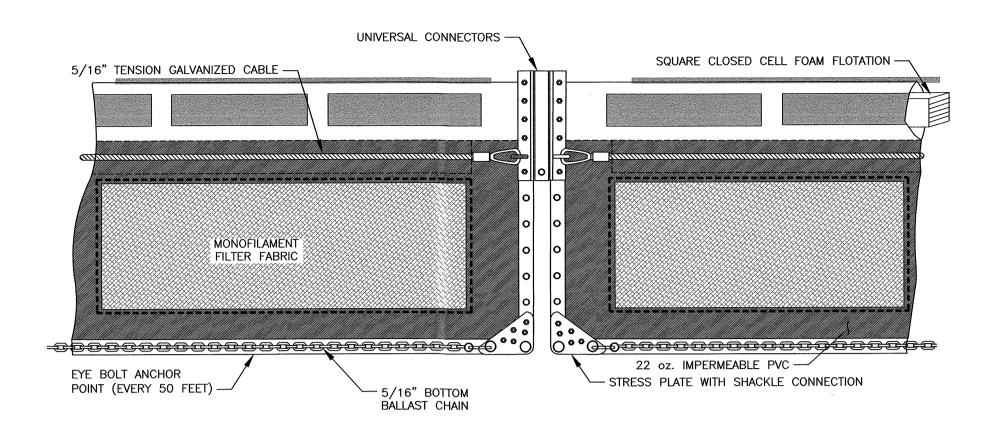


SCALE: AS NOTED

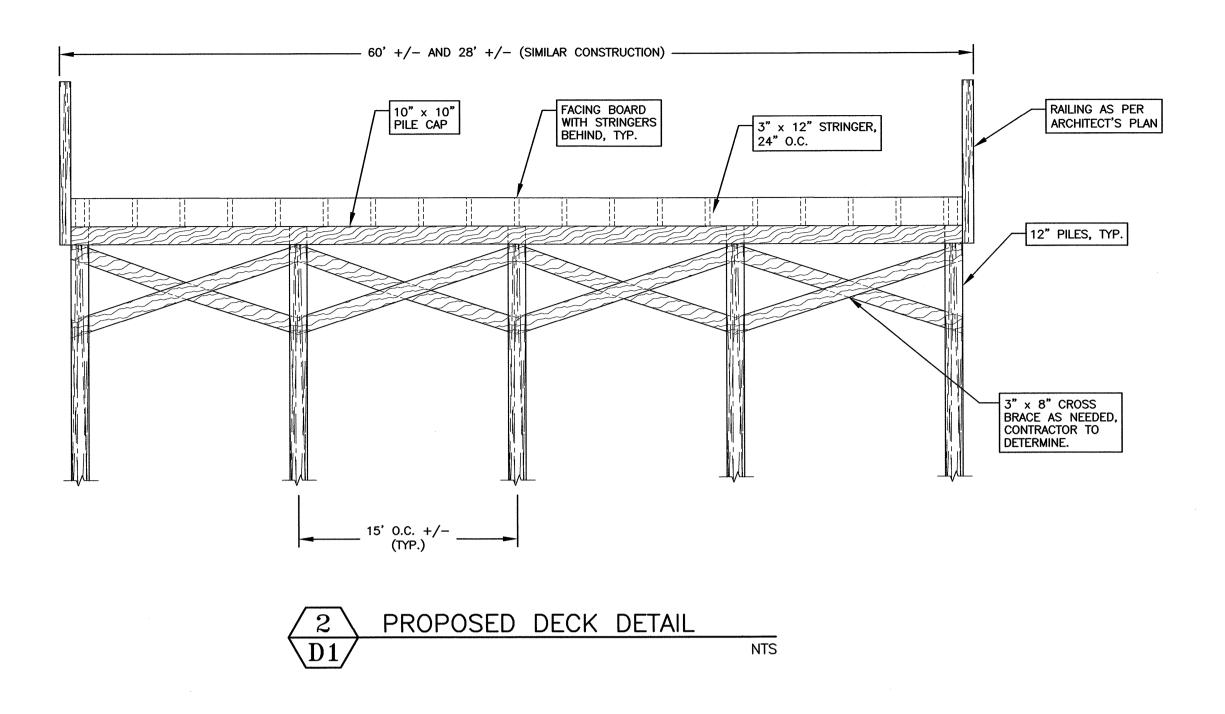
MARCH 2021

SITE SECTIONS

FB 420 PG 1







SEQUENCE OF CONSTRUCTION

- MOBILIZATION OF A CRANE BARGE, PUSH BOAT, WORK SKIFF, MATERIALS AND PREFABRICATED COMPONENTS SUCH AS THE GANGWAY AND FLOAT TO THE SITE VIA APPROVED ACCESS.
- MOBILZATION OF EQUIPMENT TRUCKS TO THE SITE. THE BARGE WILL BE POSITIONED ALONGSIDE THE PROPOSED LOCATION OF THE NEW DOCK AND WATERWARD OF ANY
- EMERGENT VEGETATION TO MINIMIZE IMPACTS
- INSTALLATION OF THE SUB STRUCTURE WILL BE PERFORMED FROM A CRANE BARGE OR SKIFF TO REDUCE THE AMOUNT OF FOOT TRAFFIC IN THE INTERTIDAL AREA.
- ALL WORK WILL BE PERFORMED AT LOW TIDE TO MINIMIZE SEDIMENTATION.
- PILINGS WILL BE MECHANICALLY DRIVEN BY A CRANE ELIMINATING ANY EXCAVATION FOR INSTALLATION OF THE
- PILINGS. PILING ARE DRIVEN TO REFUSAL.
- 7) PILINGS ARE CUT AND BEAM CAPS ARE INSTALLED AND THE SUPER STRUCTURE OF THE PIER IS BUILT. MATERIALS
- ARE LIFTED FROM THE BARGE AND SET INTO POSITION BY THE CRANE.
- 8) ONCE THE PIER IS COMPLETE, THE GANGWAY AND FLOAT ARE BROUGHT INTO POSITION AND INSTALLED.

DISCHARGES. AVOIDANCE, MINIMIZATION AND MITIGATION

DISCHARGES OF DREDGED OR FILL MATERIAL INTO WATERS OF THE U.S. AND ANY SECONDARY IMPACTS SHALL BE AVOIDED AND MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. PERMITTEES MAY ONLY FILL THOSE JURISDICTIONAL WETLANDS AND WATERWAYS THAT THE CORP AND NHDES AUTHORIZES TO BE FILLED AND IMPACT THOSE AREAS THAT THE CORPS AND AND NHDES AUTHORIZES AS SECONDARY IMPACTS. IF NOT SPECIFICALLY AUTHORIZED BY USACOE AND AND NHDES, ANY UNAUTHORIZED FILL OR SECONDARY IMPACT TO WETLANDS MAY BE CONSIDERED AS A VIOLATION OF THE

UNLESS SPECIFICALLY AUTHORIZED USACOE AND AND NHDES, NO WORK SHALL DRAIN A WATER OF THE U.S. BY PROVIDING A CONDUIT FOR WATER ON OR BELOW THE SURFACE.

HEAVY EQUIPMENT IN FRESH WATER WETLANDS

HEAVY EQUIPMENT OTHER THAN FIXED EQUIPMENT (DRILL RIGS, FIXED CRANES, ETC.) WORKING IN WETLANDS SHALL NOT BE STORED, MAINTAINED OR REPAIRED IN WETLANDS, UNLESS IT IS LESS ENVIRONMENTALLY DAMAGING OTHERWISE, AND AS MUCH AS POSSIBLE SHALL NOT BE OPERATED WITHIN THE INTERTIDAL ZONE. WHERE CONSTRUCTION REQUIRES HEAVY EQUIPMENT OPERATION IN WETLANDS, THE EQUIPMENT SHALL EITHER HAVE LOW GROUND PRESSURE (<3 PSI), OR SHALL NOT BE LOCATED DIRECTLY ON WETLAND SOILS AND VEGETATION; IT SHALL BE PLACED ON SWAMP MATS THAT ARE ADEQUATE TO SUPPORT THE EQUIPMENT IN SUCH A WAY AS TO MINIMIZE DISTURBANCE OF WETLAND SOIL AND VEGETATION. SWAMP MATS ARE TO BE PLACED IN THE WETLAND FROM THE UPLAND OR FROM EQUIPMENT POSITIONED ON SWAMP MATS IF WORKING WITHIN A WETLAND. DRAGGING SWAMP MATS INTO POSITION IS PROHIBITED. OTHER SUPPORT STRUCTURES THAT ARE LESS IMPACTING AND ARE CAPABLE OF SAFELY SUPPORTING EQUIPMENT MAY BE USED WITH WRITTEN CORPS AND NHDES AUTHORIZATION. SIMILARLY, NOT USING MATS DURING FROZEN, DRY OR OTHER CONDITIONS MAY BE ALLOWED WITH WRITTEN CORPS AND NHDES AUTHORIZATION. AN ADEQUATE SUPPLY OF SPILL CONTAINMENT EQUIPMENT SHALL BE MAINTAINED ON SITE. CORDUROY ROADS AND SWAMP/CONSTRUCTION MATS ARE CONSIDERED AS FILL WHETHER THEY'RE INSTALLED TEMPORARILY OR PERMANENTLY.

TIME OF YEAR WORK WINDOW AND NOISE RESTRICTIONS

- PILES INSTALLED IN-THE-DRY DURING LOW WATER OR IN-WATER BETWEEN NOV. 8TH APR. 9TH, OR
- MUST BE DRILLED AND PINNED TO LEDGE, OR
- III. VIBRATORY HAMMERS USED TO INSTALL ANY SIZE AND QUANTITY OF WOOD, CONCRETE OR STEEL PILES, OR
- IV. IMPACT HAMMERS LIMITED TO ONE HAMMER AND <50 PILES INSTALLED/DAY WITH THE FOLLOWING: WOOD PILES OF ANY SIZE, CONCRETE PILES ≤18-INCHES DIAMETER, STEEL PILES 12-INCHES DIAMETER IF THE HAMMER IS ≤3000 LBS. AND A WOOD CUSHION IS USED BETWEEN THE HAMMER AND STEEL PILE. FOR II-IV ABOVE:
- IN-WATER NOISE LEVELS SHALL NOT >187dB SEL RE ΙμΡα OR 206dB PEAK RE ΙμΡα AT A DISTANCE >10M FROM THE PILE BEING INSTALLED, AND
- II. IN-WATER NOISE LEVELS >155dB PEAK RE IµPa SHALL NOT EXCEED 12 CONSECUTIVE HOURS ON ANY GIVEN DAY AND A 12 HOUR RECOVERY PERIOD (I.E., IN-WATER NOISE BELOW 155dB PEAK RE ΙμΡα) MUST BE PROVIDED BETWEEN WORK DAYS.

WORK SITE RESTORATION

1) UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED WETLAND AREAS SHALL BE PROPERLY STABILIZED. ANY SEED MIX SHALL CONTAIN ONLY PLANT SPECIES NATIVE TO NEW ENGLAND.

2) THE INTRODUCTION OR SPREAD OF INVASIVE PLANT SPECIES IN DISTURBED AREAS IS PROHIBITED.

3) IN AREAS OF AUTHORIZED TEMPORARY DISTURBANCE, IF TREES ARE CUT THEY SHALL BE CUT AT GROUND LEVEL AND NOT UPROOTED IN ORDER TO PREVENT DISRUPTION TO THE WETLAND SOIL STRUCTURE AND TO ALLOW STUMP SPROUTS TO REVEGETATE THE WORK AREA, UNLESS OTHERWISE AUTHORIZED.

4) WETLAND AREAS WHERE PERMANENT DISTURBANCE IS NOT AUTHORIZED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND ELEVATION, WHICH UNDER NO CIRCUMSTANCES SHALL BE HIGHER THAN THE PRE-CONSTRUCTION ELEVATION. ORIGINAL CONDITION MEANS CAREFUL PROTECTION AND/OR REMOVAL OF EXISTING SOIL AND VEGETATION, AND REPLACEMENT BACK TO THE ORIGINAL LOCATION SUCH THAT THE ORIGINAL SOIL LAYERING AND VEGETATION SCHEMES ARE APPROXIMATELY THE SAME, UNLESS AUTHORIZED.

SEDIMENTATION AND EROSION CONTROL

ADEQUATE SEDIMENTATION AND EROSION CONTROL MANAGEMENT MEASURES, PRACTICES AND DEVICES, SUCH AS PHASED CONSTRUCTION, VEGETATED FILTER STRIPS, GEOTEXTILE SILT FENCES, STORMWATER DETENTION AND INFILTRATION SYSTEMS, SEDIMENT DETENTION BASINS, OR OTHER DEVICES SHALL BE INSTALLED AND PROPERLY MAINTAINED TO REDUCE EROSION AND RETAIN SEDIMENT ON-SITE DURING AND AFTER CONSTRUCTION. THEY SHALL BE CAPABLE OF PREVENTING EROSION, OF COLLECTING SEDIMENT, SUSPENDED AND FLOATING MATERIALS, AND OF FILTERING FINE SEDIMENT. THE DISTURBED AREAS SHALL BE STABILIZED AND THESE DEVICES SHALL BE REMOVED UPON COMPLETION OF WORK. THE SEDIMENT COLLECTED BY THESE DEVICES SHALL BE REMOVED AND PLACED AT AN UPLAND LOCATION, IN A MANNER THAT WILL PREVENT ITS LATER EROSION INTO A WATERWAY OR WETLAND. ALL EXPOSED SOIL AND OTHER FILLS SHALL BE PERMANENTLY STABILIZED AT THE EARLIEST PRACTICABLE DATE.

SPAWNING AREAS.

DISCHARGES OF DREDGED OR FILL MATERIAL, AND/OR SUSPENDED SEDIMENT PRODUCING ACTIVITIES IN FISH AND SHELLFISH SPAWNING OR NURSERY AREAS, OR AMPHIBIAN AND MIGRATORY BIRD BREEDING AREAS. DURING SPAWNING OR BREEDING SEASONS SHALL BE AVOIDED. IMPACTS TO THESE AREAS SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE DURING ALL TIMES OF THE YEAR. INFORMATION ON SPAWNING HABITAT FOR SPECIES MANAGED UNDER THE MAGNUSON-STEVENS FISHERY CONSERVATION AND MANAGEMENT ACT (I.E., EFH FOR SPAWNING ADULTS) CAN BE OBTAINED FROM THE NMFS WEBSITE AT: WWW.NERO.NOAA.GOV/HCD.

STORAGE OF SEASONAL STRUCTURES.

COASTAL STRUCTURES SUCH AS PIER SECTIONS, FLOATS, ETC., THAT ARE REMOVED FROM THE WATERWAY FOR A PORTION OF THE YEAR (OFTEN REFERRED TO AS SEASONAL STRUCTURES) SHALL BE STORED IN AN UPLAND LOCATION, LOCATED ABOVE HIGHEST OBSERVABLE TIDE LINE (HOTL) AND NOT IN TIDAL WETLANDS. THESE SEASONAL STRUCTURES MAY BE STORED ON THE FIXED, PILE-SUPPORTED PORTION OF THE STRUCTURE THAT IS SEAWARD OF HOTL. THIS IS INTENDED TO PREVENT STRUCTURES FROM BEING STORED ON THE MARSH SUBSTRATE AND THE SUBSTRATE SEAWARD OF MHW.

ENVIRONMENTAL FUNCTIONS AND VALUES

THE PERMITTEE SHALL MAKE EVERY REASONABLE EFFORT TO 1) CARRY OUT THE CONSTRUCTION OR OPERATION OF THE WORK AUTHORIZED BY USACOE AND NHDES HEREIN IN A MANNER THAT MINIMIZES ADVERSE IMPACTS ON FISH, WILDLIFE AND NATURAL ENVIRONMENTAL VALUES, AND 2) PROHIBIT THE ESTABLISHMENT OR SPREAD OF PLANT SPECIES IDENTIFIED AS NON-NATIVE INVASIVE SPECIES BY ANY FEDERAL OR STATE AGENCY. SEE THE SECTION ON INVASIVE SPECIES AT HTTP://WWW.NAE.USACE.ARMY.MIL/REGULATORY/ FOR CONTROL METHODS.

<u>INSPECTIONS</u>

THE PERMITTEE SHALL ALLOW THE CORPS AND NHDES TO MAKE PERIODIC INSPECTIONS AT ANY TIME DEEMED NECESSARY IN ORDER TO ENSURE THAT THE WORK IS BEING OR HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. THE CORPS AND NHDES MAY ALSO REQUIRE POST-CONSTRUCTION ENGINEERING DRAWINGS FOR COMPLETED WORK, AND POST-DREDGING SURVEY DRAWINGS FOR ANY DREDGING WORK.



AMBIT ENGINEERING, INC. Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

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PUBLIC ACCESS **IMPROVEMENTS** BOW STREET PORTSMOUTH, N.H.

6/29/21 ISSUED FOR APPROVAL ISSUED FOR COMMENT 6/8/21 DATE DESCRIPTION REVISIONS



SCALE: NTS

MARCH 2021

DETAILS

FB 420 PG 1









PRINTED AT 1/2 SCALE ON 11X17 PAPER

MARTINGALE WHARF DECK EXPANSION

99 BOW ST. SUITE W PORTSMOUTH, NH 03801



PRINTED AT 1/2 SCALE ON 11X17 PAPER

MARTINGALE W H A R F RESTAURANT & BAR



EAST MURAL AT MARTINGALE WHARF DECK

MARTINGALE RESTAURANT: NARRATIVE FOR THE EAST END BAS RELIEF SCULPTURAL MURAL

THE CITY OF PORTSMOUTH AND THE PISCATAQUA RIVER HAS A 400-YEAR HISTORY AS AN ACTIVE HARBOR AND PORT OF CALL, AND AS A VITAL SHIP BUILDING COMMUNITY.

THE PROPOSED EAST AND WEST IMAGES ON EITHER END OF THIS DOCK EXTENSION HAVE BEEN CONCEIVED AS 'BAS RELIEF' SCULPTURES. THE DESIGN IS BASED, IN PART, ON INFORMATION ABOUT THE HISTORY OF SAILORS, BOTH WHITE AND BLACK, THAT I CULLED FROM A BOOK CALLED, BLACK JACKS BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER.

THIS BAS RELIEF SCULPTURE HAS NUMEROUS SYMBOLIC ELEMENTS:

- BLACK SAILORS WERE CALLED 'BLACK JACKS', AND THEY WERE ABOUT 20% OF ALL AMERICAN SAILORS. BLACK JACKS SOUGHT SAILING AND WHALING AS A MEANS TO ACHIEVE FREEDOM FROM SLAVERY AND TO MAKE A LIVING.
- THE SAILOR CLOTHING IS A MIX OF THE VARIOUS STYLES OF HATS AND DRESS OF THE SAILORS THROUGH THE DECADES, INCLUDING CIVIL WAR SAILORS AND THOSE ON WHALING SHIPS.
- THE WHALE REPRESENTS THE SAILOR'S PURSUIT OF FREEDOM AND THE ECONOMY OF OIL
- THE ROPE REPRESENTS THE SAILOR'S STRUGGLE AND THE COOPERATION AMONG SAILORS OF ALL WALKS OF LIFE IN COMBINED PURSUIT OF THEIR INDIVIDUAL INDEPENDENCE. THE FOCUS OF THAT STRUGGLE, THE WHALE, SEEMINGLY SWIMS AWAY SUGGESTING AN OUTCOME THAT IS NOT KNOWN.
- THE TURBULENCE OF THE WATER REPRESENTS THE INSTABILITY AND DANGERS INHERENT IN THE LIVELIHOOD OF SAILING. THE SAILORS IN THIS IMAGE ARE SEEN STANDING ON THE WATER, AND THE HINT OF A DECK, SUGGESTING THEIR FATE AND SAFETY WERE ALWAYS IN QUESTION
- THE SHIP IS A TYPICAL AMERICAN COMMERCIAL SCHOONER OF THE 1800'S WITH NUMEROUS SAILS AND RIGGING.
- THE TOWER OF THE BRIDGE IN THE BACKGROUND IS THE CURRENT SAILORS MEMORIAL BRIDGE. INSERTING THE CONCEPT OF 'HISTORIC DISSONANCE' WITH THE IMAGE OF THE CONTEMPORARY BRIDGE SUGGESTS THAT HISTORY IS NOT STATIC, THE STRUGGLES OF SAILORS REMAIN, AND PORTSMOUTH IS STILL A VITAL SEAPORT. THE BRIDGE WILL ALSO BE SEEN FROM THIS VIEW.

PORTSMOUTH, NH 03801

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT

PUBLIC DECK: NARRATIVE FOR THE WEST END BAS RELIEF SCULPTURAL MURAL

JUST AS WITH THE PROPOSED EAST IMAGE, THE IMAGE ON THE WEST END OF THE DOCK EXTENSION HAS BEEN CONCEIVED AS A 'BAS RELIEF' SCULPTURE. THIS DESIGN IS ALSO BASED, IN PART, ON INFORMATION ABOUT THE HISTORY SAILORS, BOTH WHITE AND BLACK, CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER

THE WEST SCULPTURE WILL HAVE DIRECT ACCESS BY THE PUBLIC FROM A STAIR SYSTEM THAT EXTENDS FROM BOW STREET ONTO A PUBLIC DECK THAT LOOKS NORTH UP THE PISCATAQUA RIVER. THERE WILL OVER 32 LINEAR FEET OF BUILT-IN BENCHES ON THIS DECK. IN THIS IMAGE, A PROPOSED BENCH IS IN THE FOREGROUND AND RUNS THE LENGTH OF THE DOCK ABOUT 16'. THE SAILOR FIGURES ARE LIFE-SIZE AND STAND BEHIND THE BENCH AS THE TOURISTS SIT ON THE BENCH. A PERFECT 'SELFIE' OPPORTUNITY.

THE THEME OF THIS BAS RELIEF IS THAT OF SAILORS AT REST AND PLAY, THE OPPOSITE THEME OF THE EAST SCULPTURE.

AS HARD AS SAILORS WORKED IN THIS DANGEROUS OCCUPATION, THERE WERE TIMES OF SLACK WIND OR EXTENDED PORT STAYS THAT ALLOWED SAILORS TIME TO RELAX. MUSIC WAS IMPORTANT TO SAILORS AND CONSEQUENTLY THEY INVENTED THE SHANTI WORK SONGS, SUNG TO AID IN COOPERATIVE TASKS SUCH AS LOADING AND UNLOADED THE VESSELS.

THE HISTORIC BOAT IN THE BACKGROUND IS ONE OF THE QUINTESSENTIAL VESSELS OF THE SHIPYARD, THE KEARSARGE, ORIGINALLY BUILT DURING THE CIVIL WAR HAS HAD NUMEROUS NAMESAKES BUILT SINCE THEN.

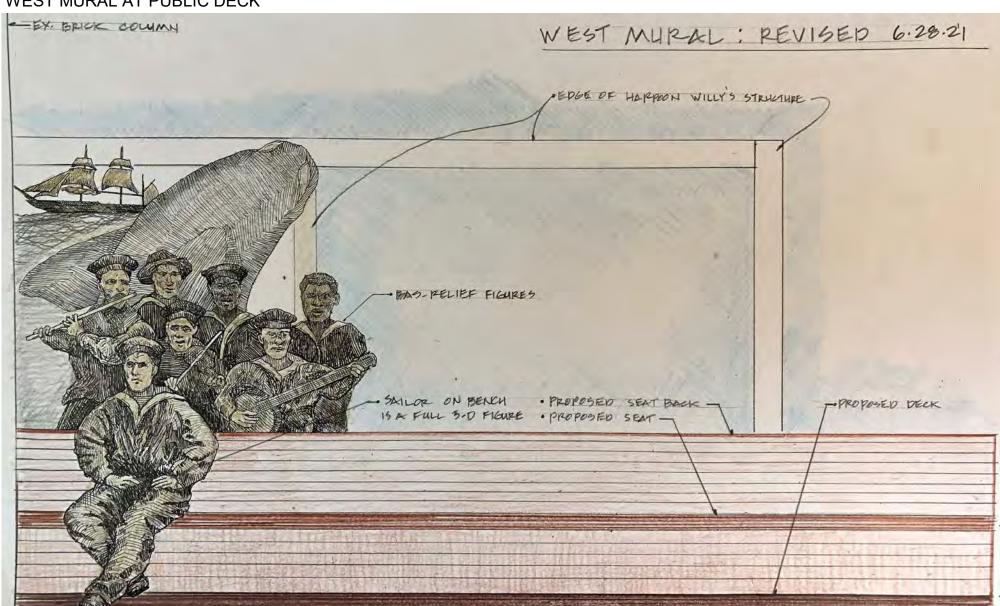
AND FINALLY, EVEN THE WHALE, UNLIKE THE ONE BEING PURSUED IN THE EAST IMAGE, CAN BE SEEN FREE OF ENCUMBRANCES AS IT LEAPS OUT OF THE WATER HEADING OUT TO SEA.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT





WEST MURAL AT PUBLIC DECK



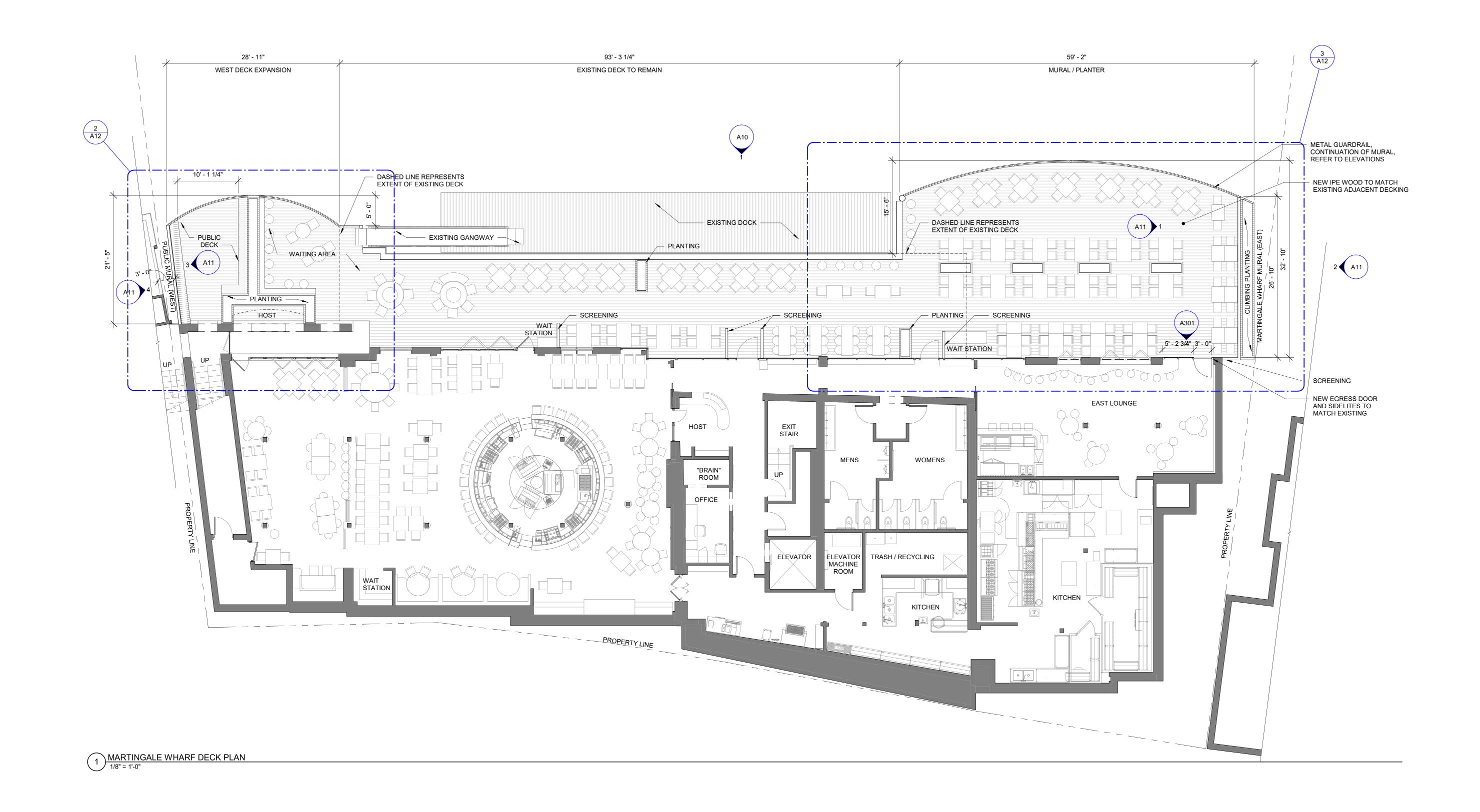
WEST MURAL AT PUBLIC DECK - SKETCH



EAST MURAL AT MARTINGALE WHARF DECK - SKETCH



Portsmouth, New Hampshire



Portsmouth, New Hampshire

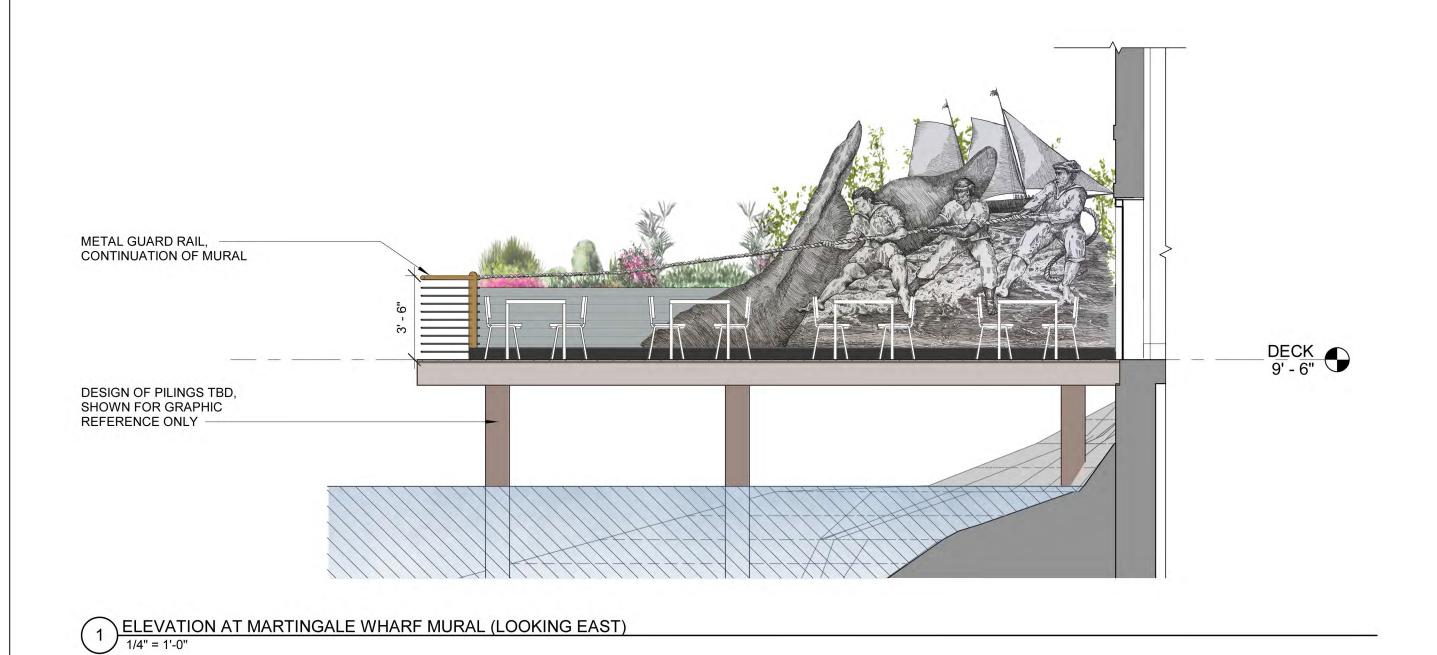
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terra *firm a*

landscape architecture

163.a court street - portsmouth, nh o3801 ൺല 603.430.8388 | terrence@terrafirmalandarch.com

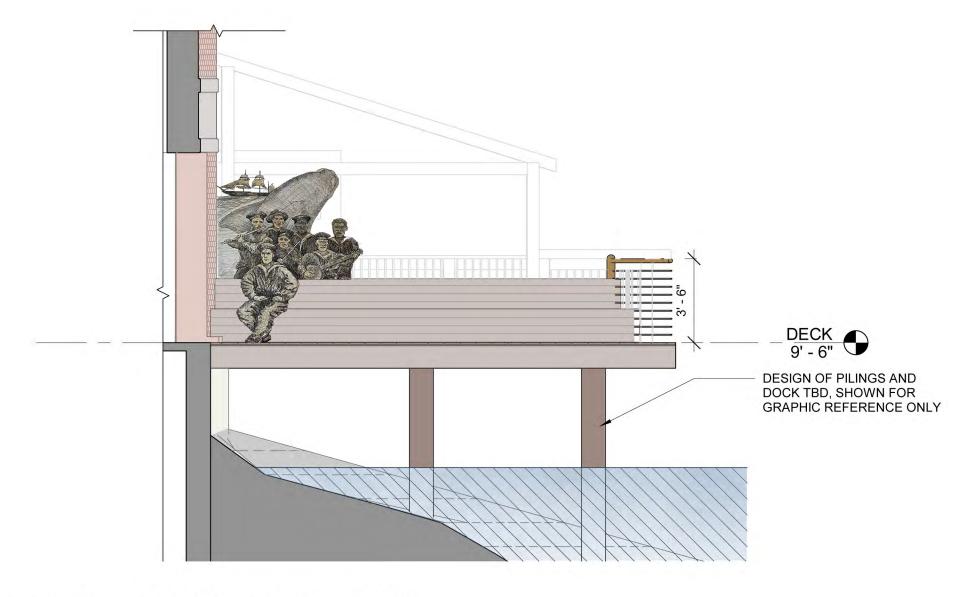
WARTINGALE W H A R F RESTAURANT & BAR



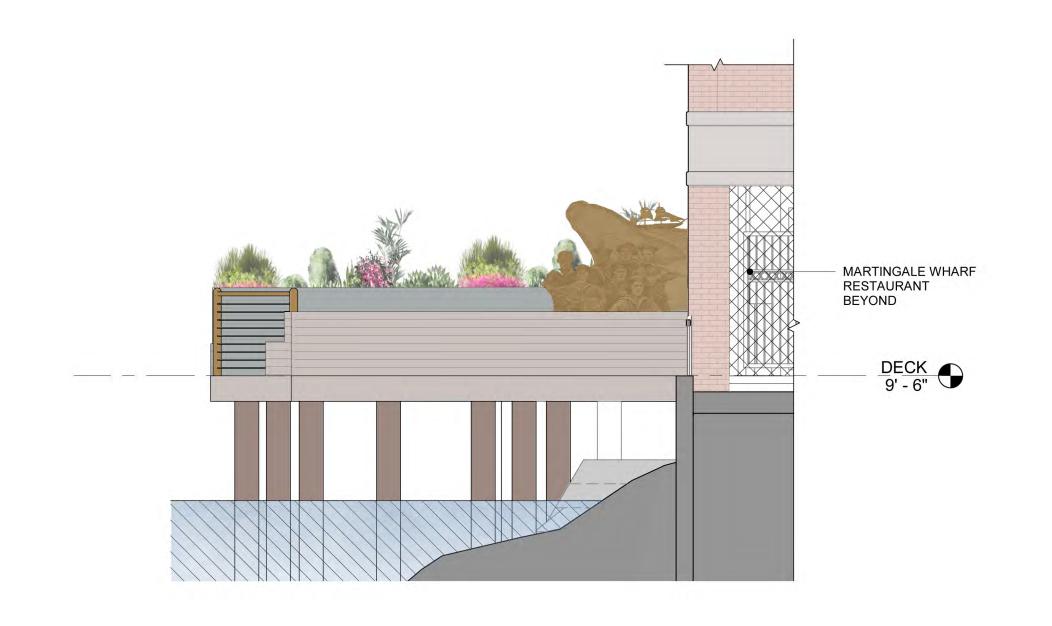


2 EAST ELEVATION (BACKSIDE OF MARTINGALE WHARF MURAL)

1/4" = 1'-0"



3 ELEVATION AT PUBLIC MURAL (LOOKING WEST)
1/4" = 1'-0"



WEST ELEVATION (BACKSIDE OF PUBLIC DECK MURAL)

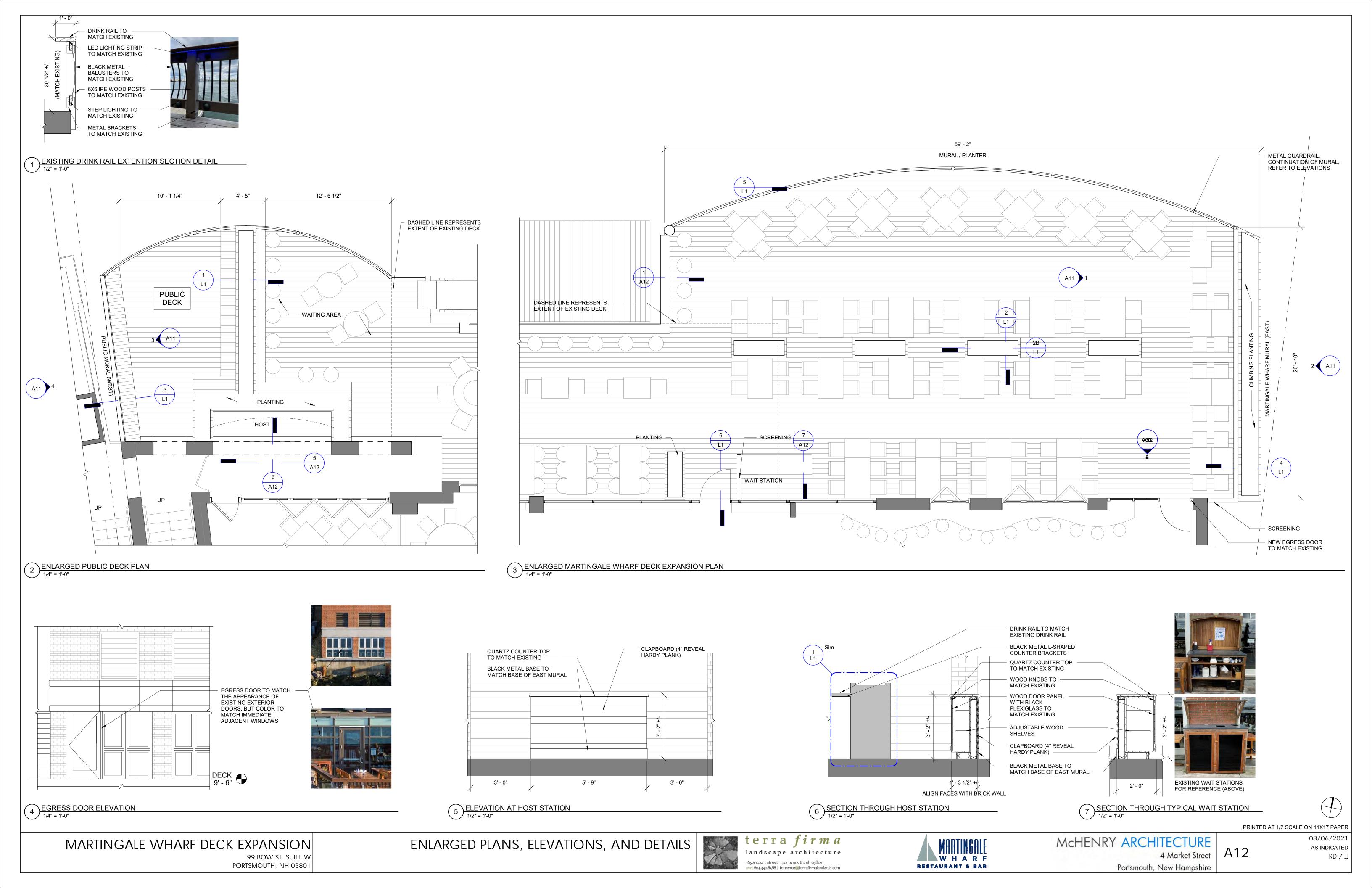
1/4" = 1'-0"

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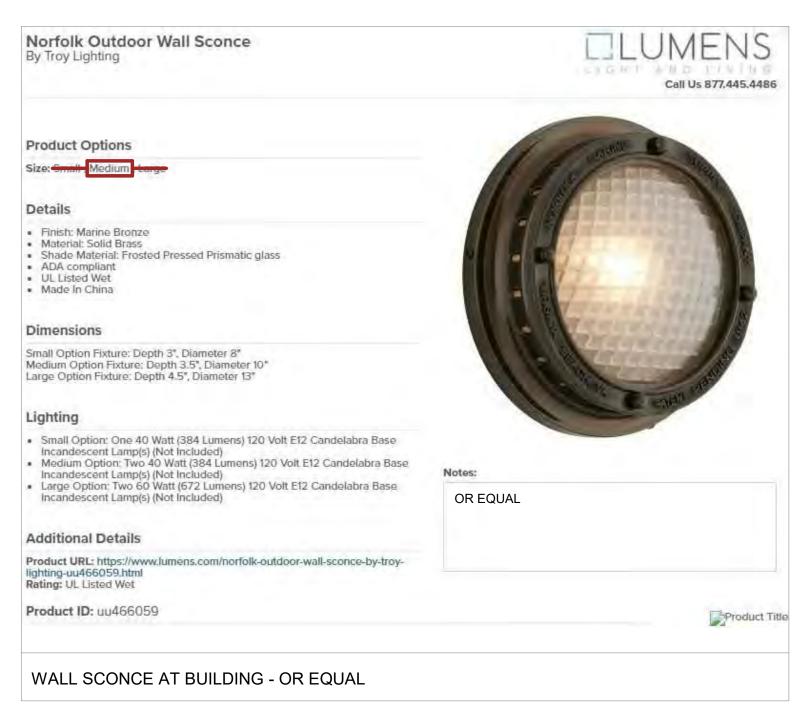
MARTINGALE WHARF DECK EXPANSION
99 BOW ST. SUITE W
PORTSMOUTH, NH 03801

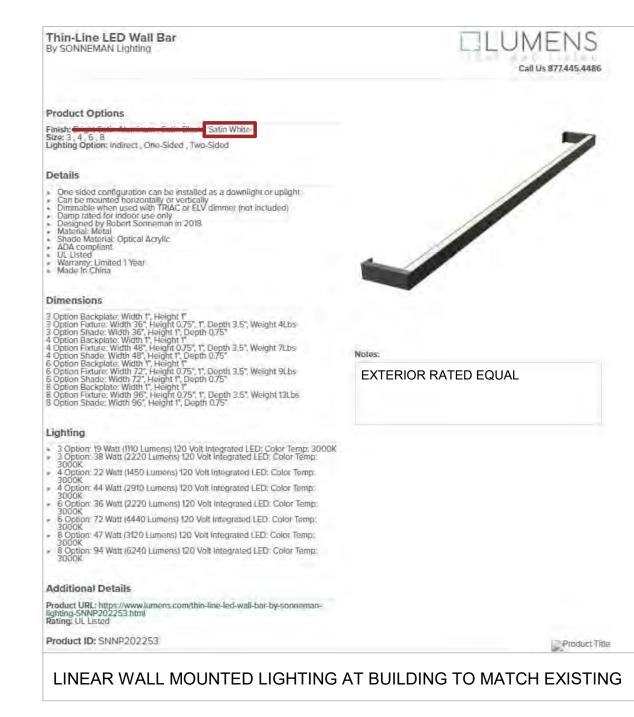


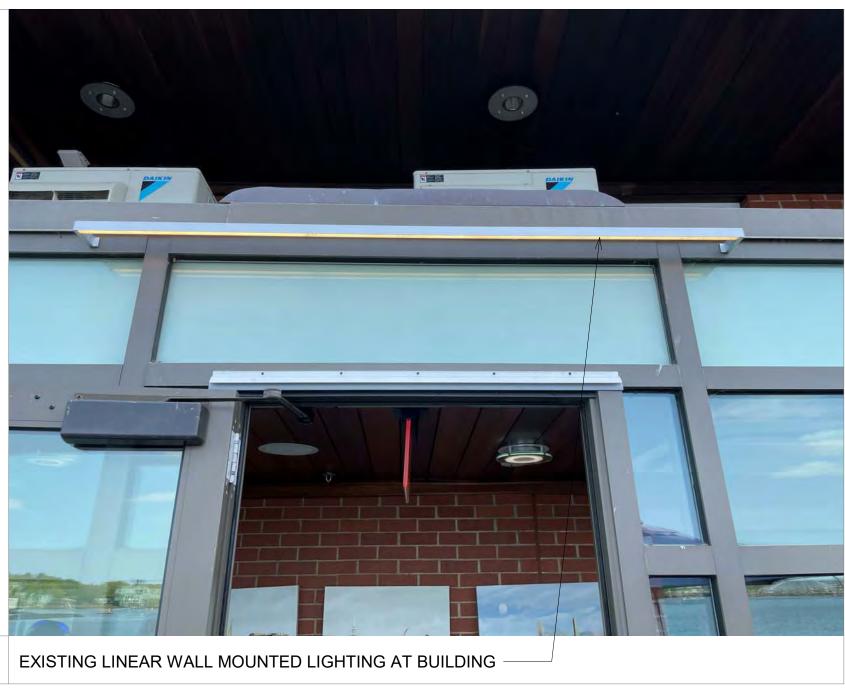








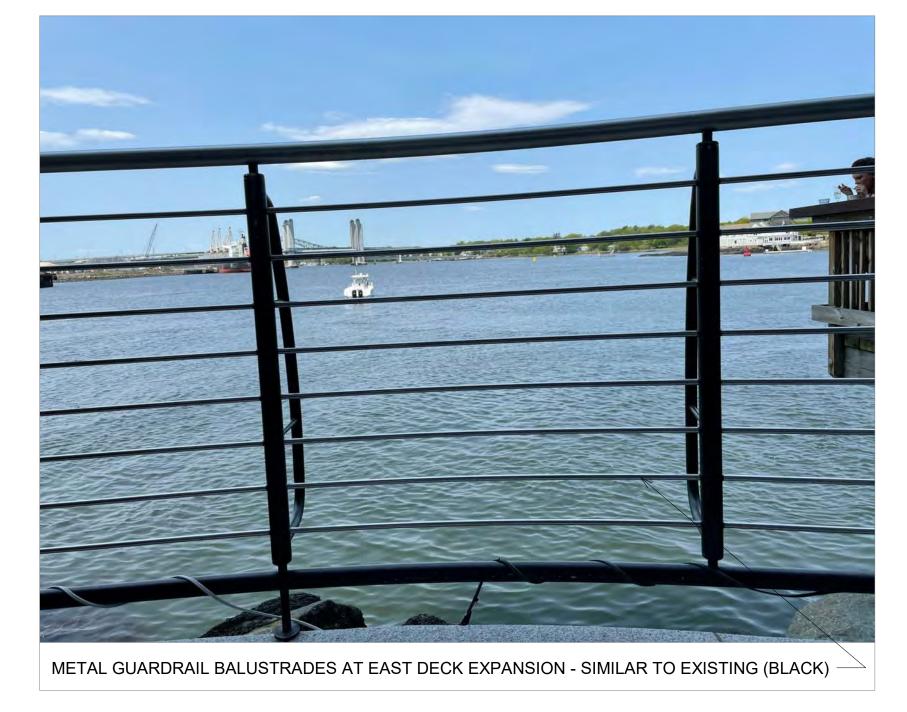




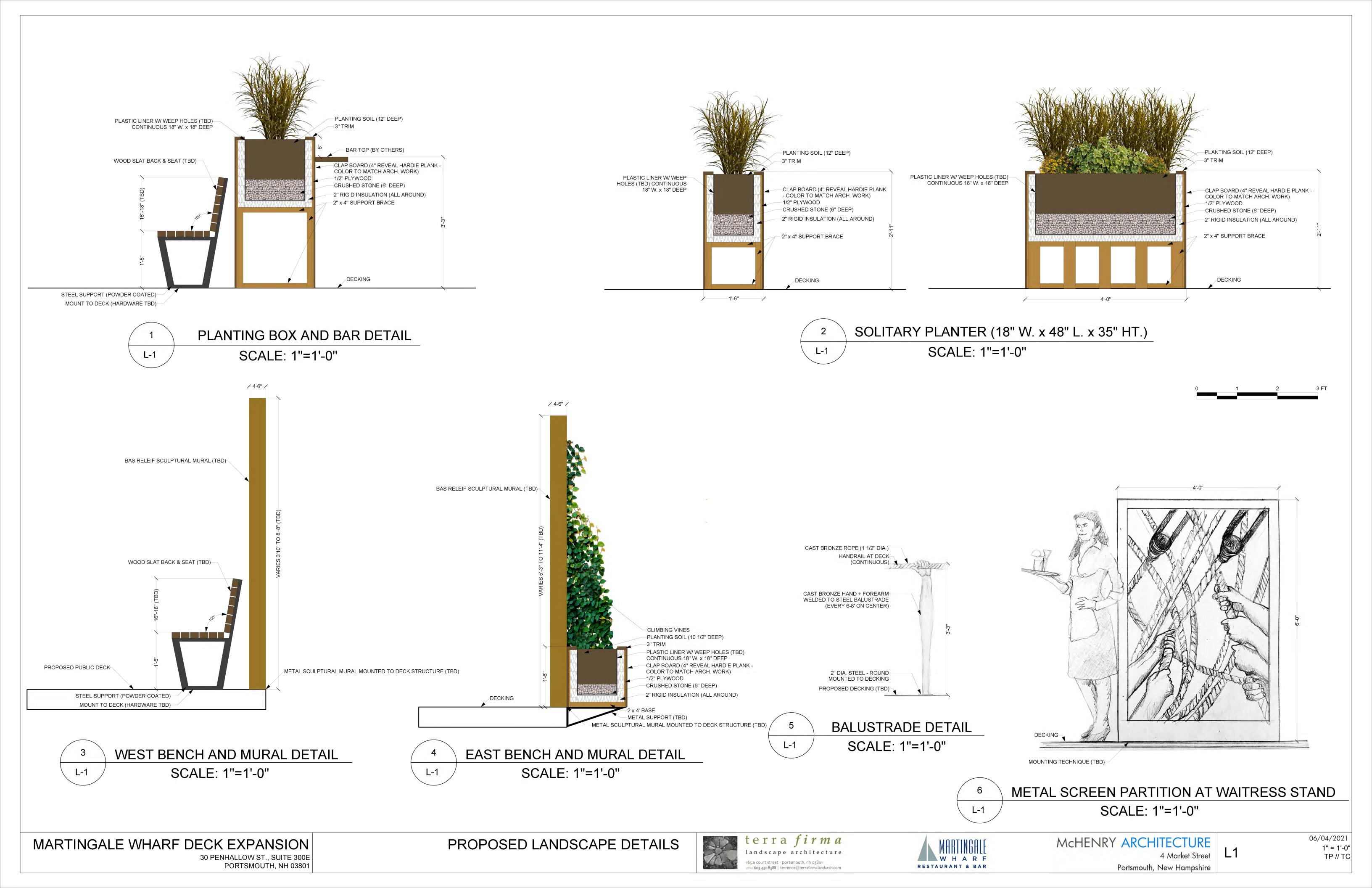












AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315

7 September 2021

Juliet Walker, Planning Department Chair City of Portsmouth 1 Junkins Avenue Portsmouth, NH 03801

RE: Request for TAC Workshop at 93 Pleasant Street, Micro Housing / Office Mixed Use Development

Dear Ms. Walker and TAC Members:

On behalf of Mark McNabb and Dagny Taggart, LLC we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **September 14, 2021** TAC Meeting. The project includes the re-use of the existing commercial building and proposed new construction of a 2 story with a short 3rd building to the rear of the existing building with the associated and required site improvements. The area behind the existing building is currently a surface parking lot. The surface parking will be lowered to below street level and be included with the new construction.

The following plans are included in our submission:

- Cover Sheet This shows the Development Team, Legend, Site Location, and Site Zoning.
- Boundary Plan These plans show the existing property boundaries.
- Existing Conditions Plan C1 This plan shows the existing site conditions in detail.
- Demolition Plan C2 This plan shows portions of the existing building which will be removed.
- Site Layout Plan C3 This plan shows the site development in detail.
- Parking Plan C4 This plan shows the proposed parking level and parking calculations.
- Utility Plan C5 This plan shows the site utilities in detail.
- Erosion Control Notes and Details D1 This plan shows sequence of construction and details.
- Detail Sheets D 2-3 These plans show associated details for construction.
- Floor Plans and Exterior Elevation Plans These plan shows the proposed building exterior elevations and interior layouts.

We look forward to the TAC review of this submission and feedback on the proposed design.

Sincerely,

John Chagnon

John R. Chagnon, PE

CC: Mark McNabb, Tracy Kozak, Terrance Parker

MIXED USE DEVELOPMENT

OWNER:

DAGNY TAGGART LLC 3 PLEASANT STREET SUITE #400 PORTSMOUTH, NH 03801 TEL. (603) 427-0725

CIVIL ENGINEER:

AMBIT ENGINEERING, INC. 200 GRIFFIN ROAD, UNIT 3 PORTSMOUTH, N.H. 03801 Tel. (603) 430-9282 Fax (603) 436-2315

ARCHITECT:

JSA ARCHITECTS 273 CORPORATE DRVIVE SUITE 100 PORTSMOUTH, NH 03801 TEL. (603) 436-2551

LANDSCAPE ARCHITECT:

TERRA FIRMA LANDSCAPE ARCHITECTURE

163A COURT STREET PORTSMOUTH, NH 03801 TEL. (603) 430-8388

GEOTECHNICAL:

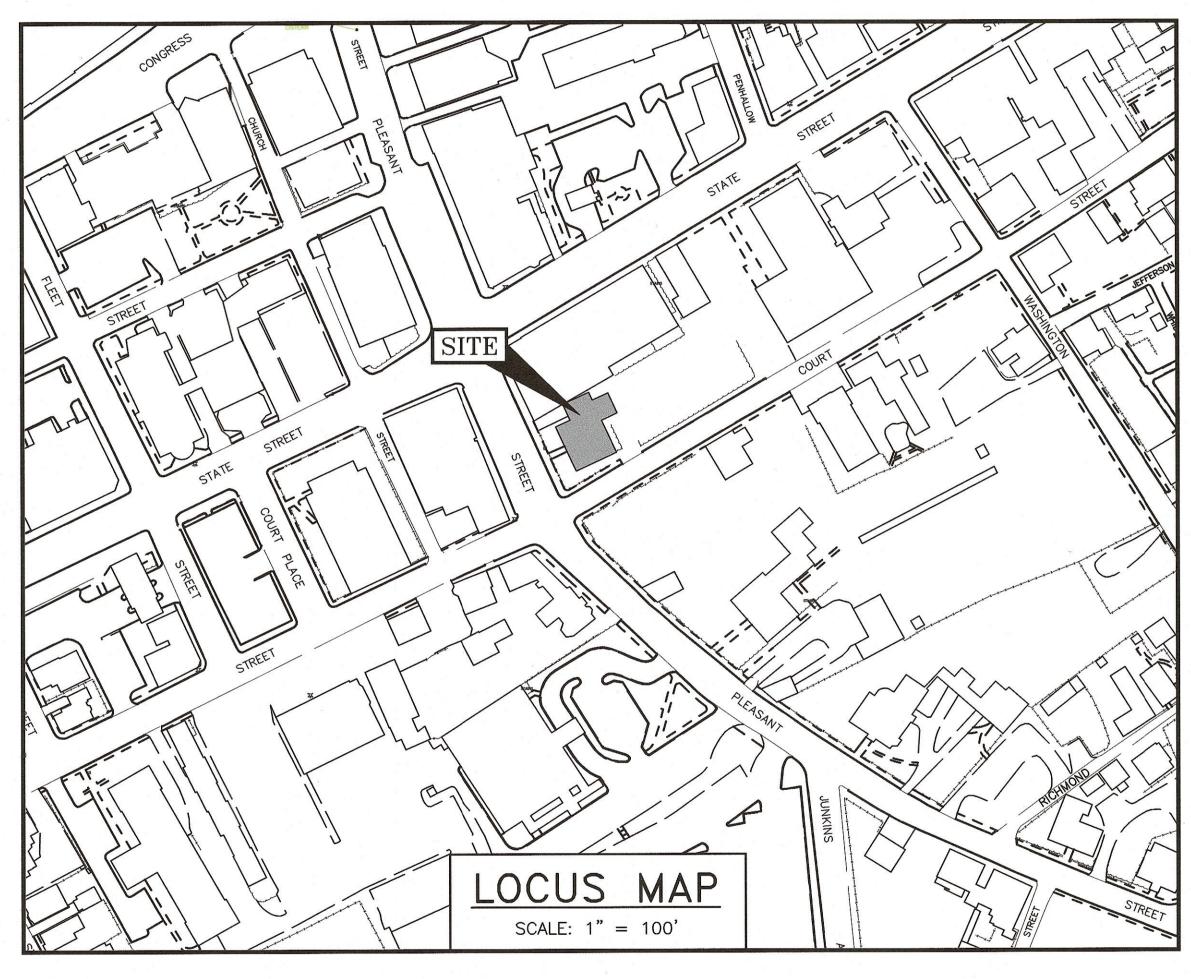
GEOTECHNICAL SERVICES INC. 18 COTE AVENUE, UNIT 11 GOFFSTOWN, N.H. 03045 Tel. (603) 624-2722

LAND SURVEYOR:

TF MORAN, INC. 170 COMMERCE WAY SUITE 102

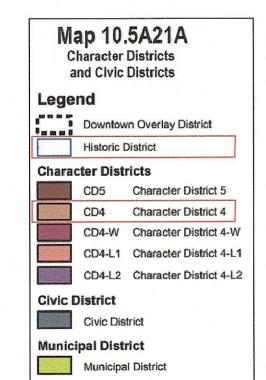
PORTSMOUTH NH, 03801 TEL. (603) 431-2222

93 PLEASANT STREET PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS









INDEX OF SHEETS

DWG No.

BOUNDARY PLAN

EXISTING CONDITIONS PLAN

DEMOLITION PLAN

SITE LAYOUT PLAN PARKING PLAN

UTILITY PLAN

FLOOR PLANS AND ELEVATIONS

UTILITY CONTACTS

ELECTRIC: EVERSOURCE 1700 LAFAYETTE ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 436-7708, Ext. 555.5678 ATTN: MICHAEL BUSBY, P.E. (MANAGER)

SEWER & WATER:

680 PEVERLY HILL ROAD

Tel. (603) 427-1530

ATTN: JIM TOW

PORTSMOUTH, N.H. 03801

COMMUNICATIONS: FAIRPOINT COMMUNICATIONS PORTSMOUTH DEPARTMENT OF PUBLIC WORKS JOE CONSIDINE 1575 GREENLAND ROAD GREENLAND, N.H. 03840 Tel. (603) 427-5525

NATURAL GAS: UNITIL 325 WEST ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 294-5144

ATTN: DAVE BEAULIEU

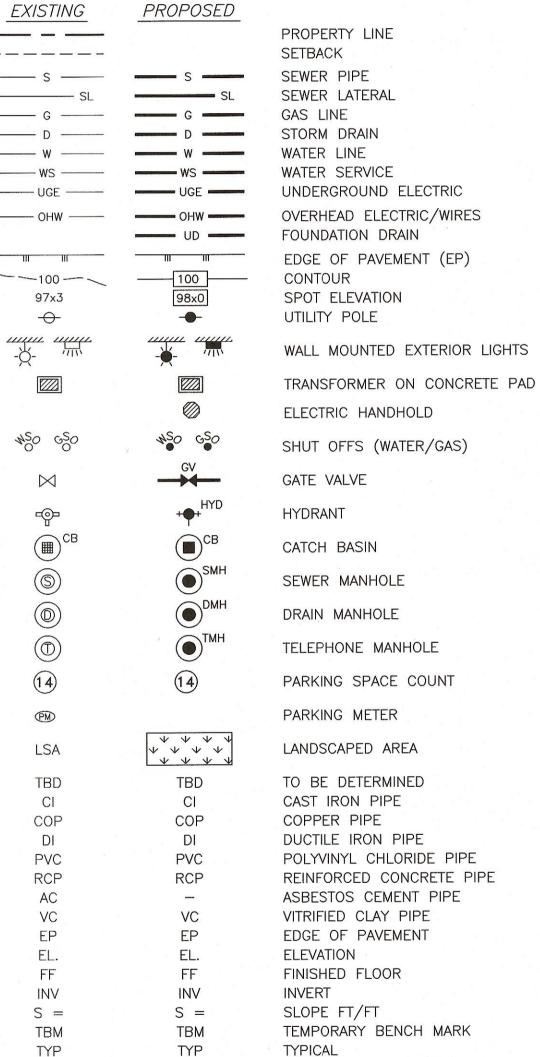
COMCAST 155 COMMERCE WAY PORTSMOUTH, N.H. 03801 Tel. (603) 679-5695 (X1037) ATTN: MIKE COLLINS

CABLE:

PERMIT LIST:

NHDES SEWER DISCHARGE PERMIT: TO BE SUMBITTED

LEGEND:



SITE PERMIT PLANS MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.



AMBIT ENGINEERING, INC. Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282

PLAN SET SUBMITTAL DATE: 7 SEPTEMBER 2021

Fax (603) 436-2315

PORTSMOUTH APPROVAL CONDITIONS NOTE: ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

LEGEND:

ASSESSORS MAP AND LOT NUMBER

--- CHAINLINK FENCE → O O O O WROUGHT IRON FENCE --- SETBACK LINE CONCRETE PAVEMENT

SIGN

GRAVEL PARKING AREA

BRICK WOODEN DECK GRANITE BLOCK RETAINING WALL

N 60°00'10" E 12.95' L2 |N 61°05'47" E|33.80'

MAP 107 LOT 68 #214 2"STORY #75 1 STORY BRICK BUILDING 226 STATE STREET LLC MAP 107 LOT 73 BRICK BUILDING 1 MIDDLE STREET MAP 107 LOT 67 PORTSMOUTH, NH 03801 MAP 107 LOT 78 RCRD BK 5232 PG 2877 PHELPS DIECK REAL ESTATE WSK GODDARD LIMITED HOLDINGS LLC GRANITE RETAINING PARTNERSHIP 75 PLEASANT STREET PNF TRUST OF 2013 123 PENN AIR ROAD PORTSMOUTH, NH 03801 2-1/2 STORY PETER N. FLOROS, TRUSTEE WOLFEBORO, NH 03894 RCRD BK 4794 PG 1518 BRICK BUILDING 282 MIDDLE ROAD RCRD BK 2946 PG 1224 (HELD FOR LINE) PORTSMOUTH, NH 03801 ~ SEE DETAIL 1

BRICK RETAINING RCRD BK 5540 PG 293 CHAINLINK - SEE DETAIL 2 CHAINLINK WALL **FENCE** GRANITE RET. GRANITE POST FENCE /////N 60°00'10" E/ 1-1/2" IRON PIPE N 60°36'54" F N 61'32'44" E FOUND. 3.5 A.G. (HELD) 51.33' TEMPORARY 41.09' PSNH4/13A CHAINLINK FENCE EG MAP 107 LOT 74 MAP 107 LOT 77 FIRE ESCAPE — (LOT 1 & 2 COMBINED) (0.2517 ACRES) PNF TRUST OF 2013 6,535 S.F. (0.4017 ACRES) PETER N. FLOROS, TRUSTEE (0.1500 ACRES) 282 MIDDLE ROAD WROUGHT PORTSMOUTH, NH 03801 GRAVEL PARKING AREA RCRD BK 6131 PG 1663 FENCE 2-1/2 STORY MAP 107 LOT 66 BRICK BUILDING IRON WROUGHT GRANITE RET. FENCE TEMPLE OF ISRAEL WALLMAP 107 LOT 76 L=6.71'200 STATE STREET WINDOW WELL (TYP.) R=4.00' PORTSMOUTH, NH 03801 "PERMIT PARKING *∆=96°06′49"* ¬ WORKING STIFF PROPERTIES LLC ONLY" CHD=N 72'52'48" W 15' SECONDARY FRONT YARD SETBACK 94 PLEASANT STREET PORTSMOUTH, NH 03801 RCRD BK 5511 PG 0446 GRANITE RET. PSNH 4/14 VZ 149/10.5 S 5910'06" W∃# 字*S 5970'06" W*宗 "STRAWBERY BANKE/ MARKET SQUARE' COURT STREET IRON ROD FOUND W/CAP "KIMBALL CHASE", O.2 A.G. (BENT) (PUBLIC RIGHT OF WAY) IRON ROD FOUND, 0.3 B.G. (HELD) NET17/PSC4/11 NET149/16S/PSNH4 PSNH4/12/149/16 MAP 116 LOT 32 CD4-L1 CIVIC DISTRICT CIVIC DISTRICT CHAIN LINK PSNH65/2/FP159/1/149

IRON ROD FOUND

W/CAP "VERRA", 0.3 A.G.

MAP 108 LOT 14

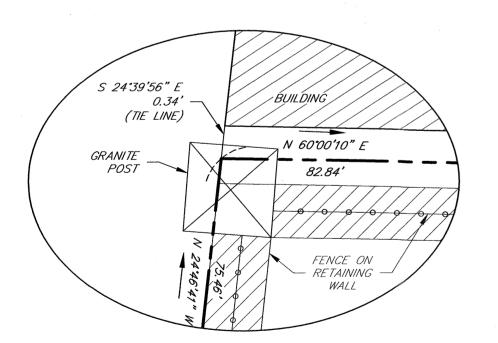
SOC PRE NE ANTIQUES OF MA

141 CAMBRIDGE STREET

BOSTON, MA 02114

GRANITE PETAINING -

HH WALL



DETAIL 1 1"=1'



1. "SUBDIVISION OF LAND/ 93 PLEASANT ST. PORTSMOUTH, NEW HAMPSHIRE FOR BREWSTER INN PARTNERSHIP" BY KIMBALL CHASE COMPANY, INC. DATED 10-26-1987 WITH REVISION DATE 1-5-1988. RCRD PLAN D-17511.

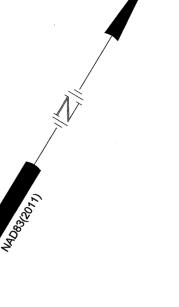
DHF

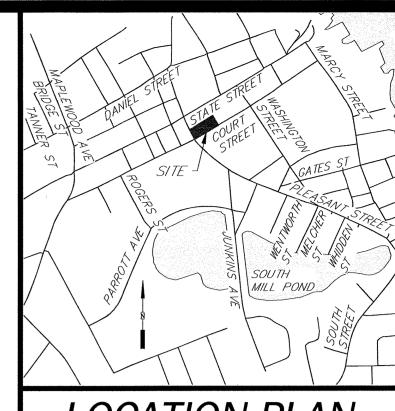
├ (HELD FOR ├

- "SUBDIVISION OF LAND PORTSMOUTH, N.H. TRADER'S BLOCK TRUST JOSEPH G. SAWTELLE, JR., TR." BY JOHN W. DURGIN CIVIL ENGINEERS, DATED DECEMBER 1977. RCRD PLAN C-7497. "SUBDIVISION OF LAND PORTSMOUTH, N.H. TRADER'S BLOCK TRUST JOSEPH G. SAWTELLE, JR., TR."
- BY JOHN W. DURGIN CIVIL ENGINEERS, DATED MARCH 1977 LAST REVISED APRIL 12, 1977. RCRD "BOUNDARY LINE CONFIRMATION BETWEEN T. & M. LAURIE & STRAWBERY BANK INC. PORTSMOUTH,

_N 60°00'10" E ___N 60°00'10" E

- N.H." BY M.E. JENKINS, DATED APRIL 1989. RCRD PLAN C-19507 "PLAN OF LAND 278 COURT STREET PORTSMOUTH, NEW HAMPSHIRE FOR STRAWBERY BANKE, INC."
- BY JAMES VERRA AND ASSOCIATES, INC., DATED 10-29-2009. RCRD PLAN D-36475. "220-226 STATE STREET CONDOMINIUMS AMENDED SITE PLAN FOR PROPERTY AT 220-226 STATE STREET PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE OWNED BY 226 STATE STREET LLC" BY NORTH EASTERLY SURVEYING, INC. DATED 10-24-2012. RCRD PLACE D-37475.





LOCATION PLAN

NOTES:

- 1. THE PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) & THE DOWNTOWN & HISTORIC OVERLAY DISTRICTS.
- 2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.
- 3. THE PARCEL IS LOCATED IN ZONE 'X' AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, VERSION NUMBER 2.3.2.1, MAP NUMBER 33015C0259F, MAP REVISED JANUARY 29, 2021.

4. <u>DIMENSIONAL REQUIREMENTS:</u>
<u>BUILDING PLACEMENT — PRINCIPAL BUILDING:</u> REQUIRED: MAXIMUM PRINCIPAL FRONT YARD: MAXIMUM SECONDARY FRONT YARD: SIDE YARD: MINIMUM REAR YARD: MINIMUM FRONT LOT LINE BUILDOUT: 50% BUILDING AND LOT OCCUPATION: MAXIMUM BUILDING COVERAGE: MAXIMUM BUILDING FOOTPRINT: 15,000 S.F./30,000 S.F.* MINIMUM LOT AREA: MINIMUM LOT AREA PER DWELLING UNIT: MINIMUM OPEN SPACE: MAXIMUM GROUND FLOOD GFA PER USE: 15,000 S.F. BUILDING FORM — PRINCIPAL BUILDING: BUILDING HEIGHT: 2 STORIES & SHORT 3RD STORY/35' MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE: MINIMUM GROUND STORY HEIGHT: MINIMUM SECOND STORY HEIGHT: BUILDING PLACEMENT - OUTBUILDING: 20' BEHIND A FACADE OF A PRINCIPAL BUILDING MINIMUM FRONT YARD: MINIMUM SIDE YARD: MINIMUM REAR YARD: NR = NO REQUIREMENT PER THE CITY OF PORTSMOUTH ZONING ORDINANCE DATED DECEMBER 21, 2009 AS AMENDED THROUGH JANUARY 11, 2021 ARTICLE 5A FIGURE 10.5A41.10C *SEE SECTION 10.5A43.43

OWNER OF RECORD: MAP 107 LOT 74: DAGNY TAGGART, LLC 30 PENHALLOW STREET, SUITE 300 PORTSMOUTH, NH 03801 RCRD BK.#6162 PG.#0074 (SECOND PARCEL)

6. PARCEL AREA: MAP 107 LOT 74: 17,498 S.F.

(0.4017 ACRES)

FC-5000 DATA COLLECTOR.

- 7. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- 8. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AND MAJOR SITE FEATURES OF
- 9. FIELD SURVEY COMPLETED BY T.C.E. IN JANUARY 2020 USING A TOPCON DS103 AND A TOPCON
- 10. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS.
- 11. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S)
- 12. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:18, II AND III AND 672:14:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

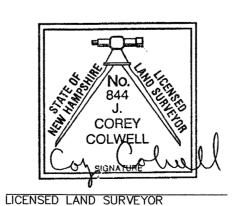
MAP 108 LOT 14

SOC PRE NE ANTIQUES OF MA

141 CAMBRIDGE STREET

BOSTON, MA 02114

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN JANUARY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

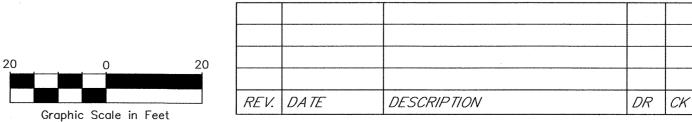


02-24-2021 DATE

IRON ROD

FOUND W/CAP

"738", O.2 A.G.



TAX MAP 107 LOT 74

STANDARD BOUNDARY SURVEY

93 PLEASANT STREET PORTSMOUTH, NEW HAMPSHIRE **COUNTY OF ROCKINGHAM**

DAGNY TAGGART, LLC

OWNED BY

SCALE: 1" = 20' (22x34) 1" = 40' (11x17)

FEBRUARY 23, 2021



Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists

| 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

47230-21

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OIG SAFE

TOPNOTCH PROPERTIES LLC &

JJCM REALTY LLC

9 PASTURE LANE

BEDFORD, NH 03110

RCRD BK 6045 PG 1955

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

FENCE POST

MAP 108 LOT 13

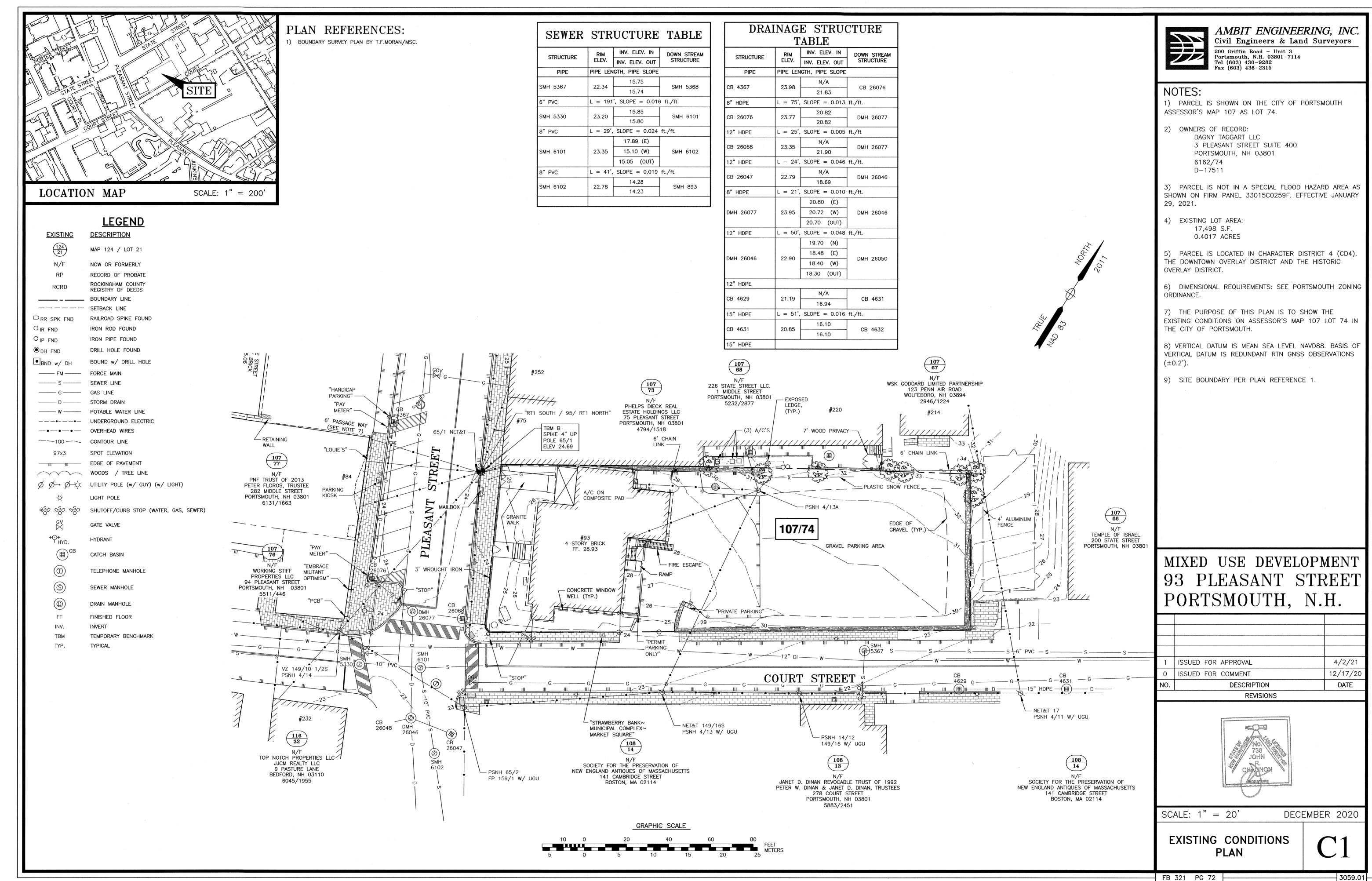
JANET D. DINAN REVOCABLE

TRUST OF 1992

278 COURT STREET

PORTSMOUTH, NH 03801

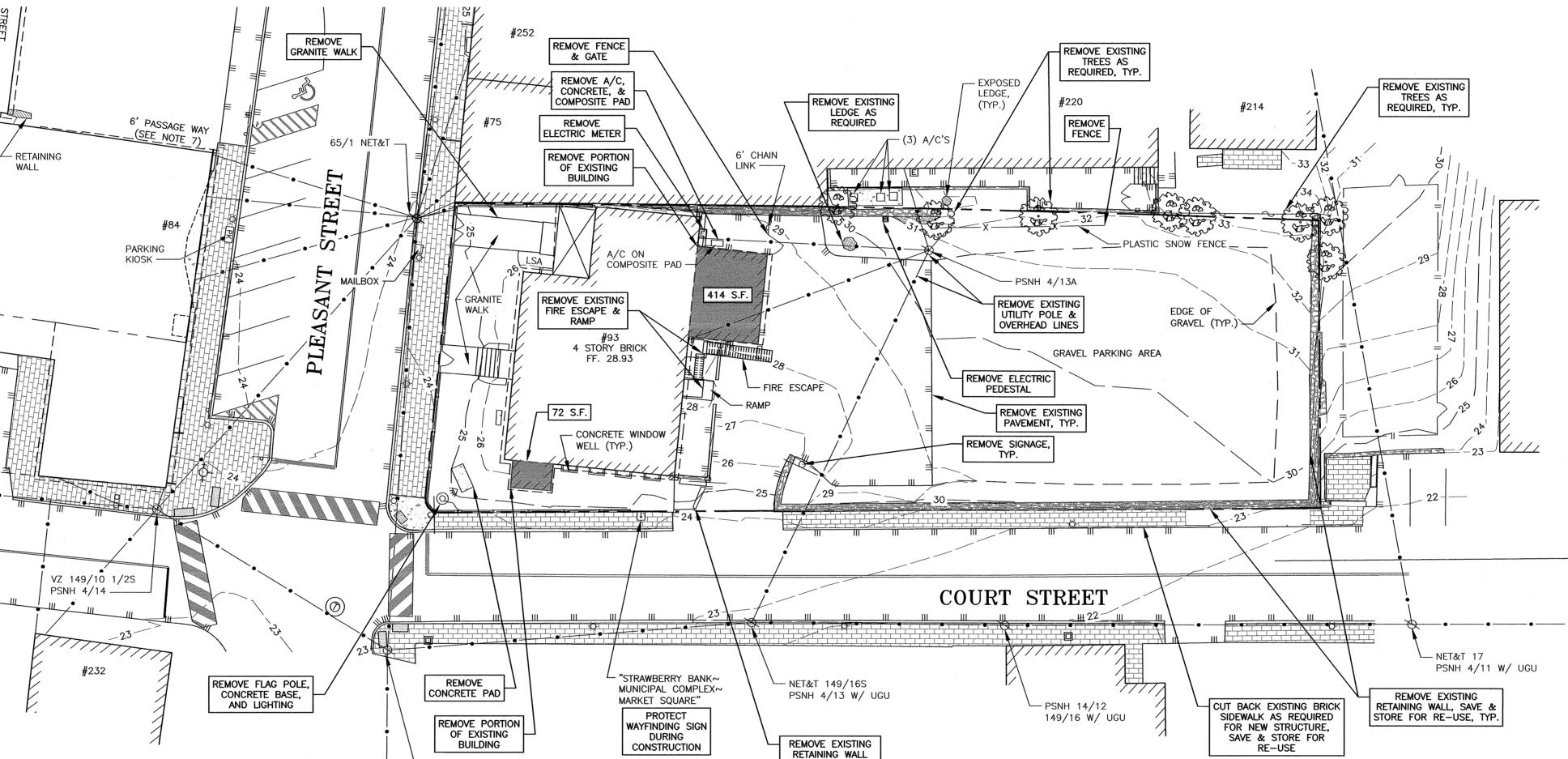
RCRD BK 5883 PG 2452



DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF—SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF—SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF—SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION
 THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD
 ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL
 EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS





AND CURBING, TYP



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3

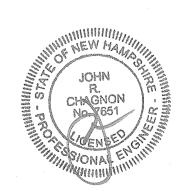
200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.

		,		
0	ISSUED FOR COMMENT	4/2/21		
NO.	DESCRIPTION	DATE		
REVISIONS				



SCALE: 1" = 20'

DECEMBER 2020

DEMOLITION PLAN

C2

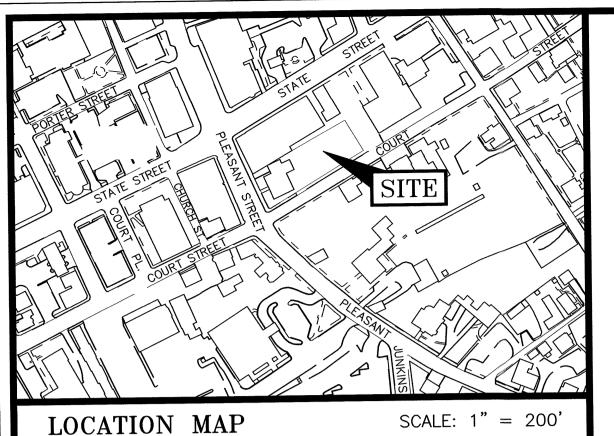
GRAPHIC SCALE

10 0 20 40 60 80
FEET METERS

5 0 5 10 15 20 25

- PSNH 65/2

FP 159/1 W/ UGU

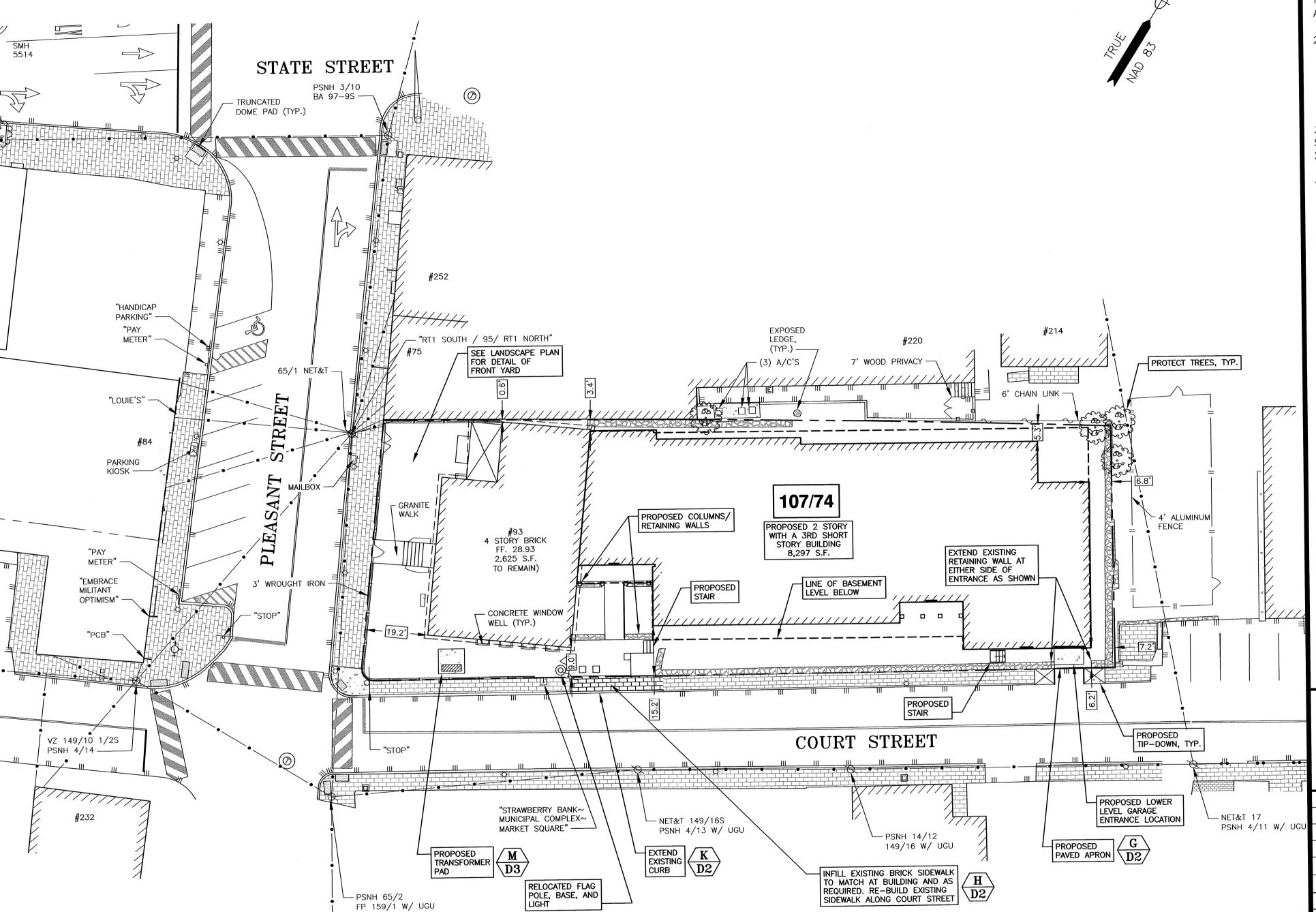


BUILDING DATA:

PROPOSED BUILDING:
10,922 S.F. FOOTPRINT
61 RESIDENTIAL UNITS
(43 1—BEDROOM)
OFFICE SPACE
1 LEVEL OF PARKING

CONDITIONAL USE PARKING PERMIT

CONDITIONAL USE PERMIT TO PROVIDE 18 PARKING SPACES WHERE 29 ARE REQUIRED (43 MICRO UNITS x 0.5 SPACES PER UNIT) + (2 UNITS x 1.0 SPACES PER UNIT) + (45 x 1 VISITOR SPACE PER 5 UNITS) = 33 SPACES REQUIRED. DOD 4 SPACE REDUCTION YIELDS 29 REQUIRED.



PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE

GRAPHIC SCALE

10 0 20 40 60 80
FEET METERS

5 0 5 10 15 20 25

#

AMBIT ENGINEERING, INC. Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.

2) OWNERS OF RECORD:

DAGNY TAGGART LLC

3 PLEASANT STREET SUITE 400

PORTSMOUTH, NH 03801

6162/74

D-17511

3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.

4) EXISTING LOT AREA: 17,498 S.F. 0.4017 ACRES

5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4), THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC OVERLAY DISTRICT.

6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ZONING ORDINANCE.

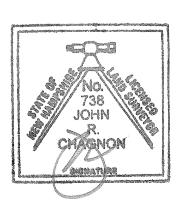
7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 107 LOT 74 IN THE CITY OF PORTSMOUTH.

8) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS $(\pm 0.2')$.

9) SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE AREA. PICK UP SCHEDULE AS NEEDED TO MAINTAIN CAPACITY.

MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.

1 REVISED BUILDING/EXTERIOR LAYOUT 9/7/21
0 ISSUED FOR COMMENT 4/2/21
NO. DESCRIPTION DATE
REVISIONS

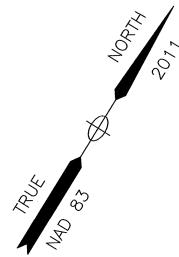


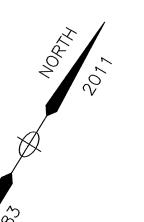
SCALE: 1" = 20'

DECEMBER 2020

SITE LAYOUT PLAN \mathbf{C}

FB 321 PG 72







AMBIT ENGINEERING, INC.

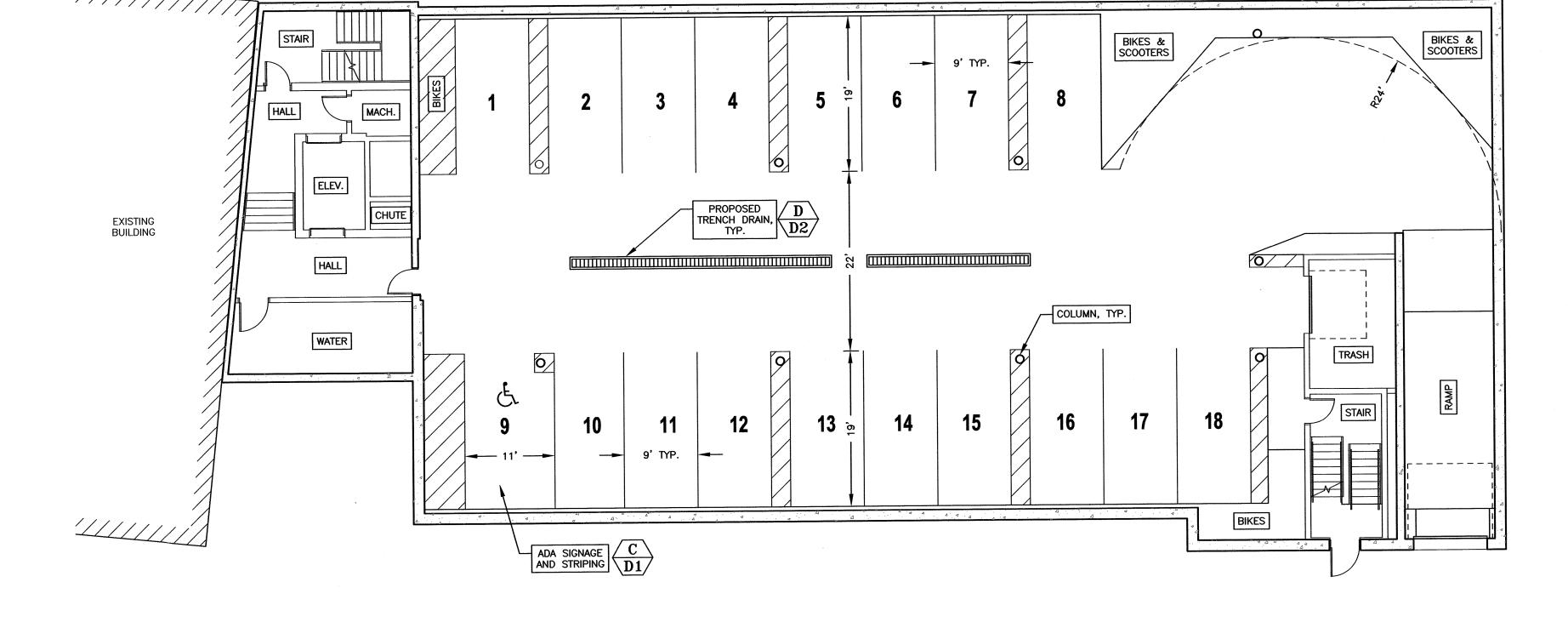
Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.

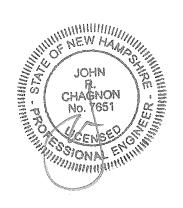
2) OWNERS OF RECORD: DAGNY TAGGART LLC 3 PLEASANT STREET SUITE 400 PORTSMOUTH, NH 03801 6162/74 D-17511

3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 107 LOT 74 IN THE CITY OF PORTSMOUTH.



MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.

9/7/21 REVISED BUILDING LAYOUT 4/2/21 ISSUED FOR COMMENT DATE DESCRIPTION REVISIONS



SCALE: 1" = 10'

DECEMBER 2020

PARKING LEVEL PLAN

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

DATE CHAIRMAN

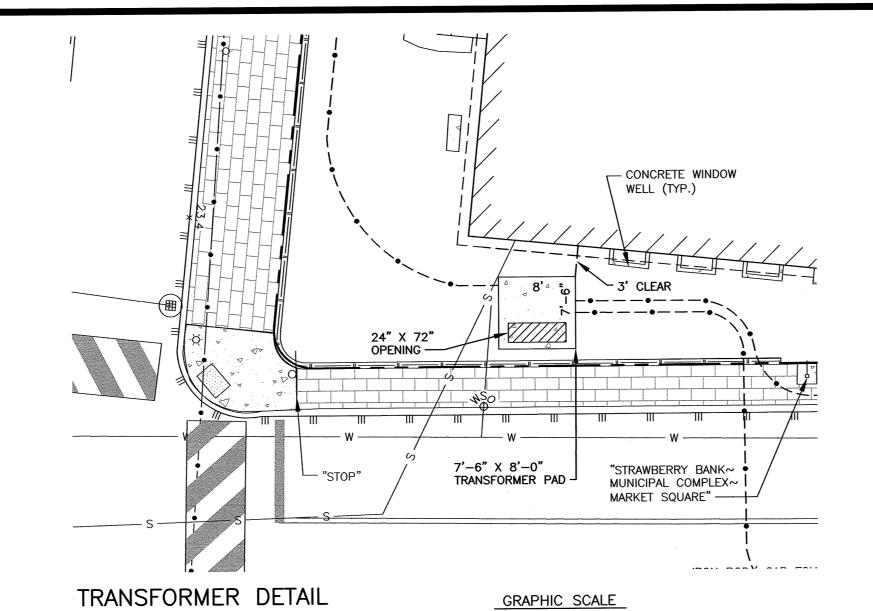
CONDITIONAL USE PARKING PERMIT

CONDITIONAL USE PERMIT TO PROVIDE 18 PARKING SPACES WHERE 29 ARE REQUIRED (43 MICRO UNITS x 0.5 SPACES PER UNIT) + (2 UNITS x 1.0 SPACES PER UNIT) + (45 x 1 VISITOR SPACE PER 5 UNITS) = 33 SPACES REQUIRED. DOD 4 SPACE REDUCTION YIELDS 29 REQÚIRED.

UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.

PROPOSED	PROPOSED SEWER CONNECTION			
STRUCTURE	RIM ELEV.	INV. ELEV. IN INV. ELEV. OUT	PIPE SIZE & TYPE (FROM/TO)	
SMH 5367 (EXISTING)	22.34	15.75		
(=,		15.74	6" PVC (5368)	
		15.67	INV. OUT @ BLDG.	
BUILDING CONNECTION		15.61	INV. @ WYE (PIPE)	



65/1 NET&T

MAILBOX —

3' WROUGHT IRON -

 (\emptyset) DMH

6101

26047

- PSNH 65/2 FP 159/1 W/ UGU

EXISTING SEWER SERVICE

DMH 260,46

CB

26048

— "RT1 SOUTH / 95/ RT1 NORTH"

- PROPOSED

WALK

SECONDARY

SERVICE FEED

#93 4 STORY BRICK

FF. 28.93

- CONCRETE WINDOW

"STRAWBERRY BANK~

MUNICIPAL COMPLEX~

MARKET SQUARE" ----

7'-6" x 8'-0" TRANSFORMER PAD (SEE ENLARGED DETAIL

WATER SERVICE

TO BE REMOVED

WELL (TYP.)

"HANDICAP

PARKING"

METER"

"LOUIE'S"

PARKING

KIOSK -

METER" -

"EMBRACE

OPTIMISM"

MILITANT

VZ 149/10 1/2S

#232

PSNH 4/14 -

SEWER	STR	UCTURE	TABLE
STRUCTURE	RIM ELEV.	INV. ELEV. IN	DOWN STREAM
SIRUCIURE		INV. ELEV. OUT	STRUCTURE
PIPE	PIPE LENGTH, PIPE SLOPE		
SMH 5367	22.34	15.75	SMH 5368
SMH 3307	22.54	15.74	31411 3300
6" PVC	L = 191', SLOPE = 0.016 ft./ft.		
CMIL E770	23.20	15.85	SMH 6101
SMH 5330	23.20	15.80	SMIT 0101
8" PVC	L = 29', SLOPE = 0.024 ft./ft.		
	23.35	17.89 (E)	
SMH 6101		15.10 (W)	SMH 6102
		15.05 (OUT)	
8" PVC	L = 41', SLOPE = 0.019 ft./ft.		
0.00	22.78	14.28	SMH 893
SMH 6102		14.23	2MH 092
	L		

EXPOSED

#220

7' WOOD PRIVACY -

 $\begin{array}{|c|c|c|c|c|}\hline N & \hline PROPOSED \\ 16' \times 6" & SEWER \\ SERVICE & SDR35 & PVC \\ S=0.01 & & & \\ \hline \end{array}$

COURT STREET

777777777777

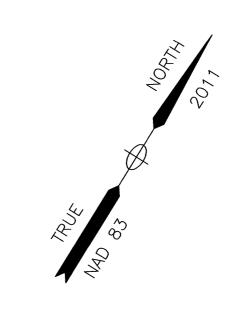
- PSNH 14/12 149/16 W/ UGU

107/7/

LEDGE,

(3) A/C'S

(TYP.) ---



- 4'ALUMINUM

- NET&T 17

PSNH 4/11 W/ UGU

FENCE

#214

6' CHAIN LINK -

PROVIDE SPARE CONDUIT STUBS

FOR FUTURE USE

PROPOSED POLE



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

NOTES:

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4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.

5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.

7) EVERSOURCE WORK ORDER #5127007

8) PROPOSED SEWER FLOW:
OFFICE UNITS:
2 UNITS X 80 GPD/UNIT = 160 GPD
RESIDENTIAL:
45 UNITS X 115 GPD/UNIT = 5,175 GPD
TOTAL PROPOSED FLOW = 5,335 GPD

9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

10) COMMUNICATIONS CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.

MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.

_	2	REVISED BUILDING/EXTERIOR LAYOUT	9/7/21
,	1	ELECTRICAL FEED	4/28/21
	0	ISSUED FOR COMMENT	4/2/21
Į	NO.	DESCRIPTION	DATE
		REVISIONS	



SCALE: 1" = 20'

DECEMBER 2020

UTILITY PLAN C5

GRAPHIC SCALE

10 0 20 40 60 80
FEET METERS

5 0 5 10 15 20 25

- NET&T 149/16S

PROPOSED PRIMARY

 $\frac{\langle L \rangle}{D3 / 2}$

SERVICE FEEDS

PSNH 4/13 W/ UGU

SECONDARY FEED

PROPOSED 4" DI N

PROPOSED 6" DI SPRINKLER SERVICE

DOMESTIC WATER D3

GAS METER

GAS SERVICE SIZE TBD

TO BUILDING

FB 321 PG 72

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, i.e., SILTSOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT

PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. REMOVE WALL AND STORE.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT SIDEWALKS.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILTSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS -- CONSTRUCT SILT FENCE OR SILTSOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED

- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED

- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED

- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW, IMMEDIATELY BEFORE SEEDING. THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO

THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT

WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER PROPORTION SEEDING RATE CREEPING RED FESCUE 50% 100 LBS/ACRE KENTUCKY BLUEGRASS 50% SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1) CREEPING RED FESCUE 42% 42% TALL FESCUE 48 LBS/ACRE BIRDSFOOT TREFOIL

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS: MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES: PERENNIAL RYE: 0.7 LBS/1,000 S.F.

1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE OR SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

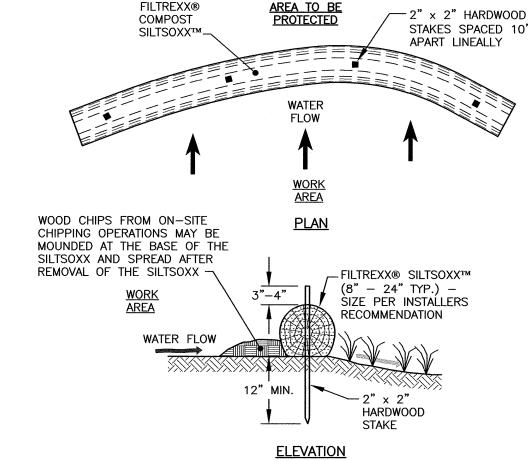
SILT FENCING AND SILTSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILTSOXX REMOVAL SHALL BE PERMANENTLY

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS. FILLTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.

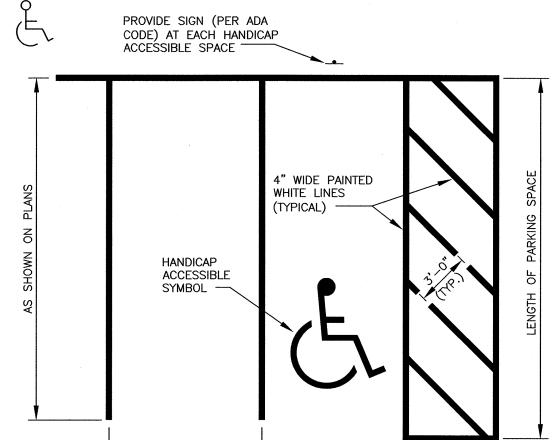
THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES

MAY REQUIRE ADDITIONAL PLACEMENTS. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE



NOTES: RESERVED BLUE PAINT 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES. 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA). 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE SIGN ON POST INSTALLED ON SIGN POST BELOW HANDICAP SIGN. EACH SPACE SHALL HAVE THIS SIGN DISPLAYED PER ADA CODE SIGNAGE HANDICAP ACCESSIBLE SYMBOL LEGEND SYMBOL

PARKING



HANDICAP PARKING DETAIL

HANDICAP

ACCESSIBLE SPACE ACCESSIBLE)

(8'-0" VAN

TYPICAL SPACE

FODS TRACKOUT CONTROL SYSTEM

INSTALLATION:

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

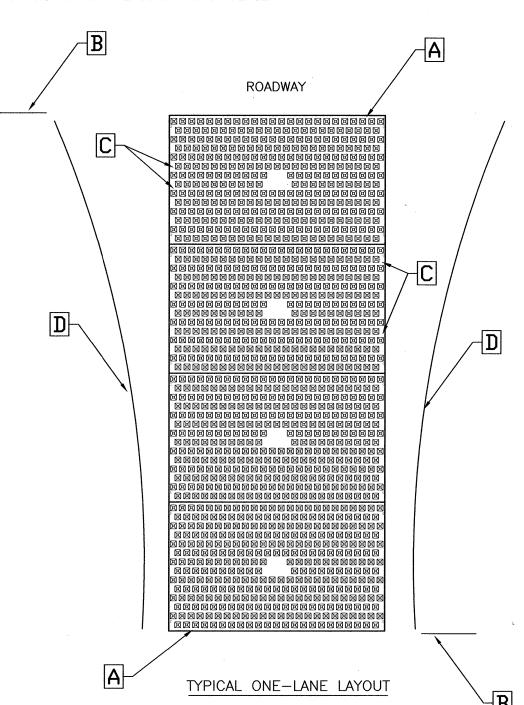
THE ABOVE STEPS.

KEY NOTES:

A. FODS TRACKOUT CONTROL SYSTEM MAT.

B. FODS SAFETY SIGN.

ANCHOR POINT. D. SILT OR ORANGE CONSTRUCTION FENCE.



INSTALLATION:

1. THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS

. CÀLL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811. 3. ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION. 4. THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM

THE SITE ONTO THE PAVED SURFACE AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION. MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT 10. ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT. MAKE SURE THE H BRACKET IS

CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER. 11. NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER. 12. UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS. 13. SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING

USE AND MAINTENANCE VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.

DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S—TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM. MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY. 4. THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

REMOVAL

1. REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST. THE ANCHORS SHOULD BE REMOVED.

4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

FODS (USE AS REQUIRED)



AMBIT ENGINEERING, INC.

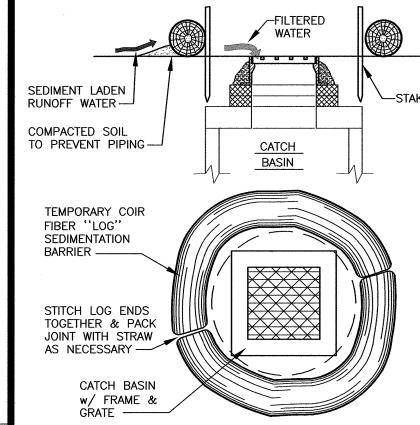
Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282

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Fax (603) 436-2315

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1. PRIOR TO INSTALLATION, SILT LOGS SHALL BE KEPT DRY

AND STORED IN THEIR ORIGINAL WRAPPING. MINIMUM CROSS SECTIONAL DIAMETER OF SILT LOGS: 12". SILT LOGS MAY BE CUT AND RE-STITCHED AS NEEDED PER

MANUFACTURERS RECOMMENDATIONS. 4. SILT LOGS SHALL BE INSPECTED AFTER EACH STORM EVENT. 5. REMOVE ACCUMULATED SILT WHEN DEPTH REACHES ONE

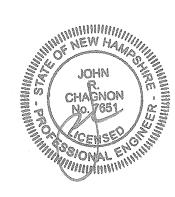
HALF OF SILT LOG DIAMETER. 6. IF LOGS ARE TOO STIFF TO BEND AROUND CATCH BASIN

INLET, THEY MAY BE CUT AND LAID SQUARE. "SILT LOG" BARRIER

AT CATCH BASIN INLET (AS NEEDED)

MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.

ISSUED FOR COMMENT 4/2/21 DESCRIPTION DATE REVISIONS

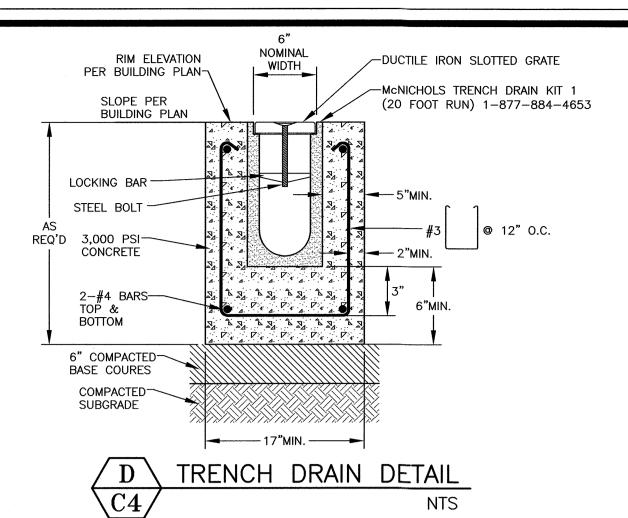


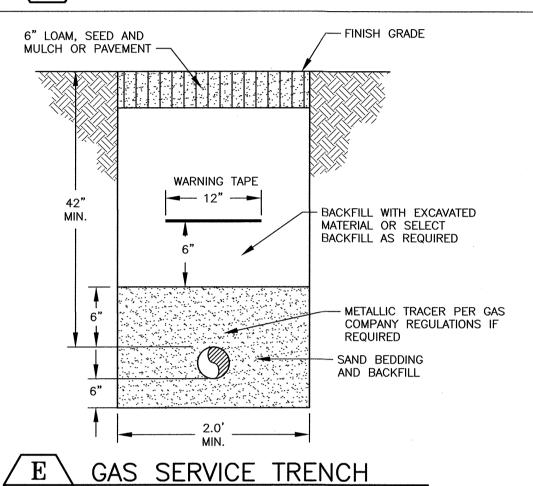
SCALE: AS SHOWN

DECEMBER 2020

EROSION PROTECTION NOTES AND DETAILS

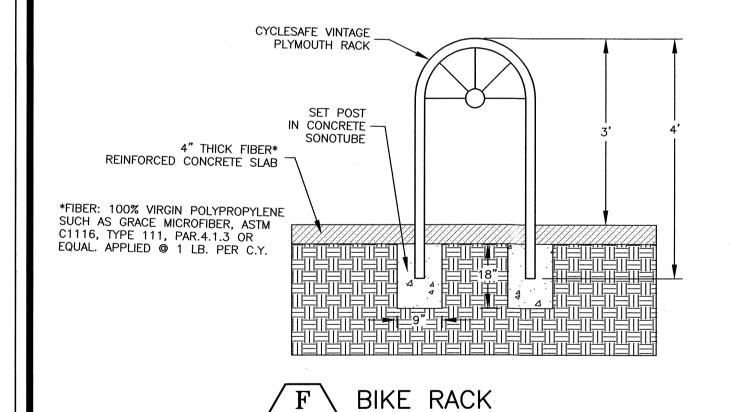
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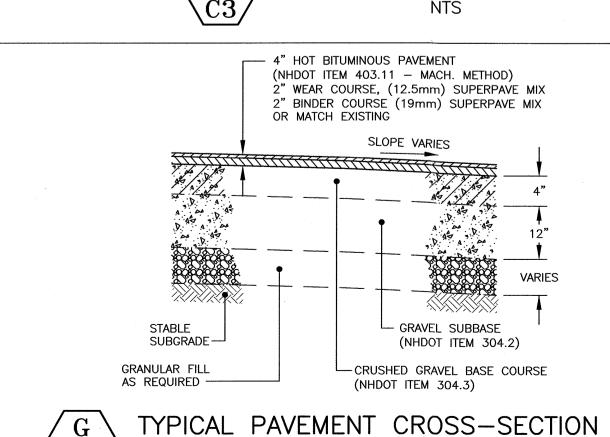




NTS

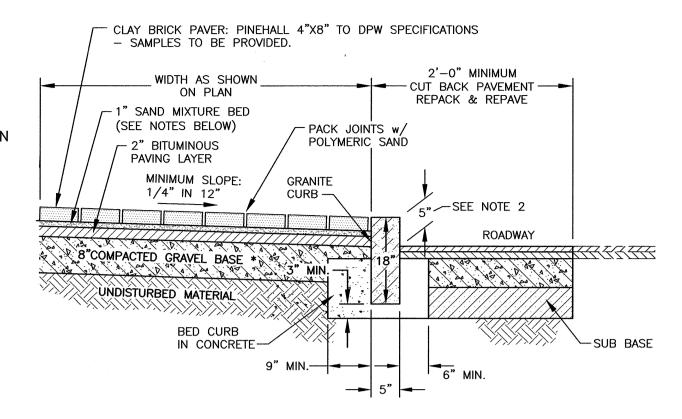
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CONSTRUCTION NOTE:

EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.



BRICK PAVEMENT NOTES

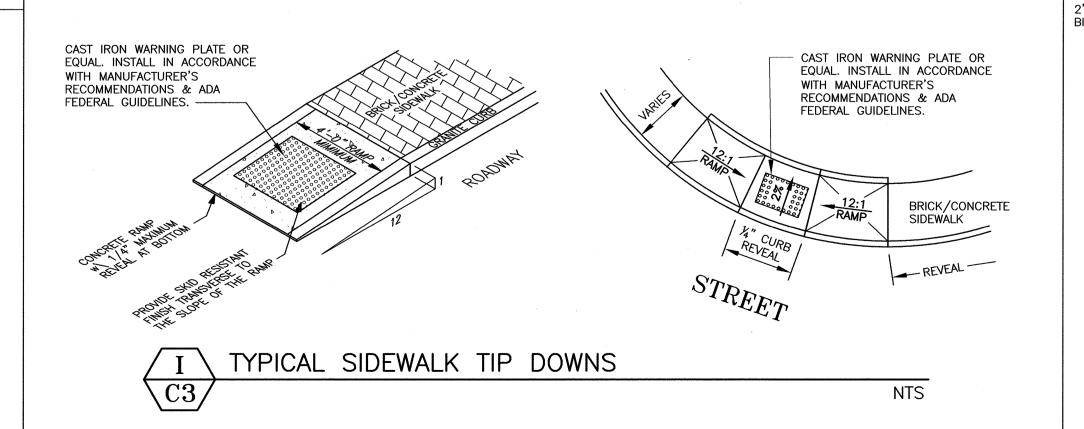
SCOPE OF WORK:

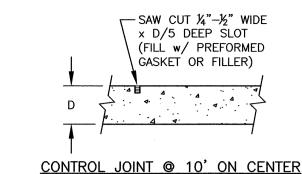
- 1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK
- SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER. 2) REVEAL SHALL BE 5" (COORDINATE WITH PORTSMOUTH DPW).

METHODS OF CONSTRUCTION:

- A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.
- B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" X 4 X 8").
- C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.
- D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.
- E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.
- F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT
- G) THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.
- H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S
- I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.

\BRICK SIDEWALK w/ VERTICAL GRANITE CURB (STONE DUST BEDDING OVER BITUMINOUS PAVING)





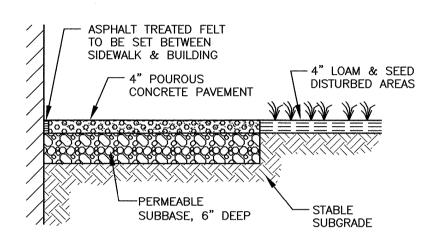
ー¼"─½" PREFORMED - PROVIDE KEY AT GASKET OR FILLER CONSTRUCTION JOINTS ROUND ON \ 1/2" RADIUS

EXPANSION JOINT @ 50' ON CENTER

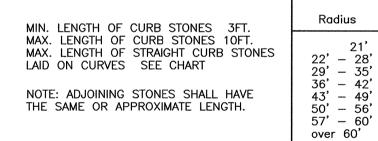
CONSTRUCTION JOINT @ BREAK IN CONSTRUCTION

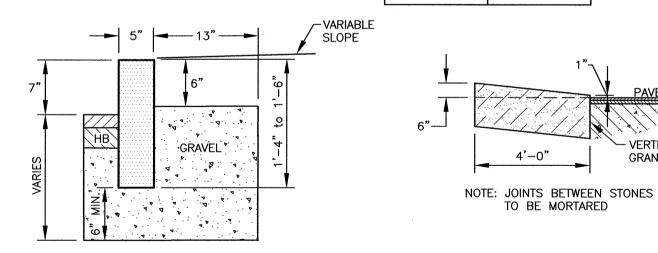
-TROWELLED

CONTROL JOINT



POROUS CONCRETE WALK NTS



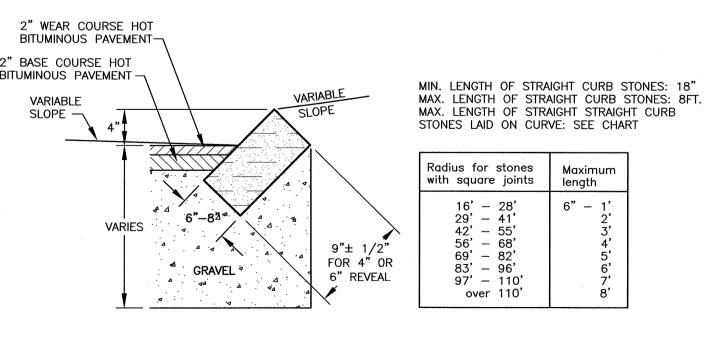


VERTICAL GRANITE CURB

GRANITE CURB END

- VERTICAL GRANITE CURB

Max. length



SLOPE GRANITE CURB

GRANITE CURBING DETAILS

NTS

AMBIT ENGINEERING, INC. Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
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MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.

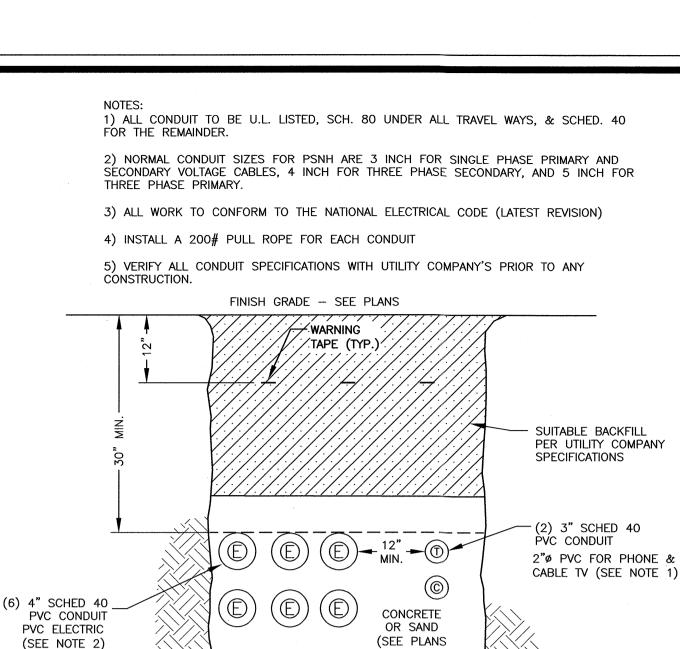
ISSUED FOR COMMENT 4/2/21 DESCRIPTION DATE **REVISIONS**



SCALE: AS SHOWN

DECEMBER 2020

DETAILS





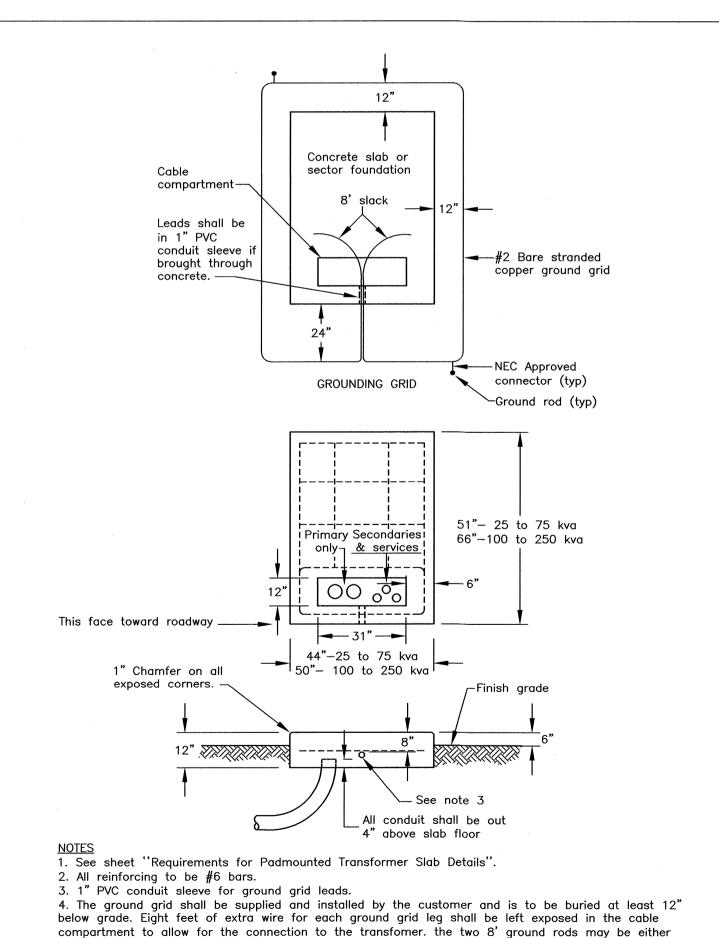
*SEPARATION DIMENSIONS

TO BE VERIFIED w/ UTILITY PROVIDER

> 4'-0" MIN. SEE PLANS

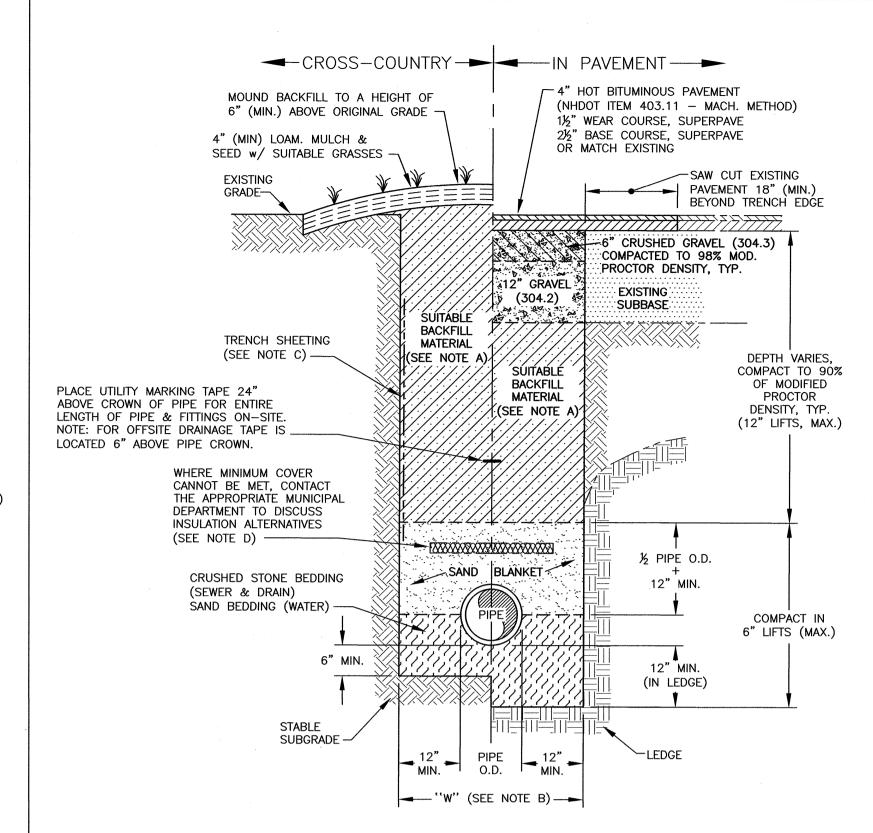
UNDISTURBED

MATERIAL -



galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

TRANSFORMER PAD



TRENCH NOTES:

- IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.

EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.

- IN <u>CROSS-COUNTRY</u> CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE,

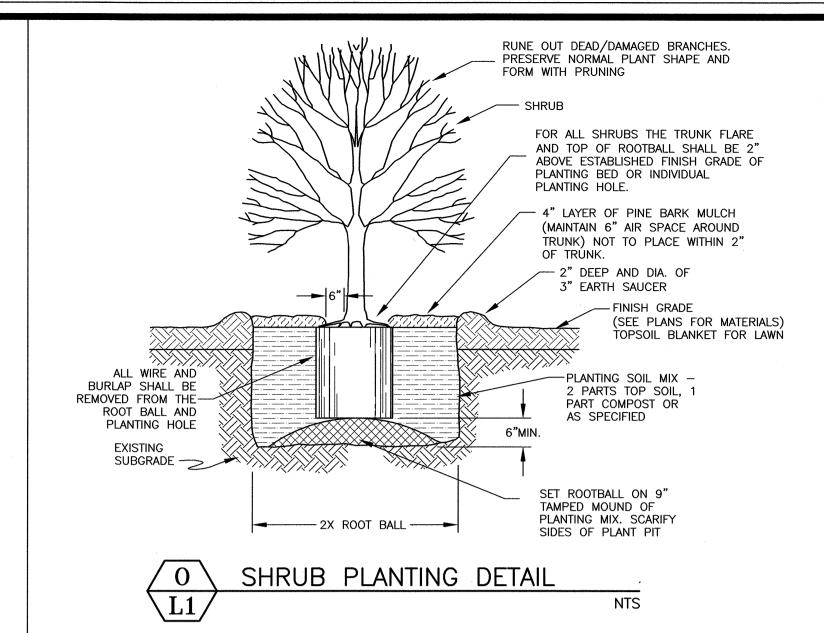
B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PÍPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES, FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..

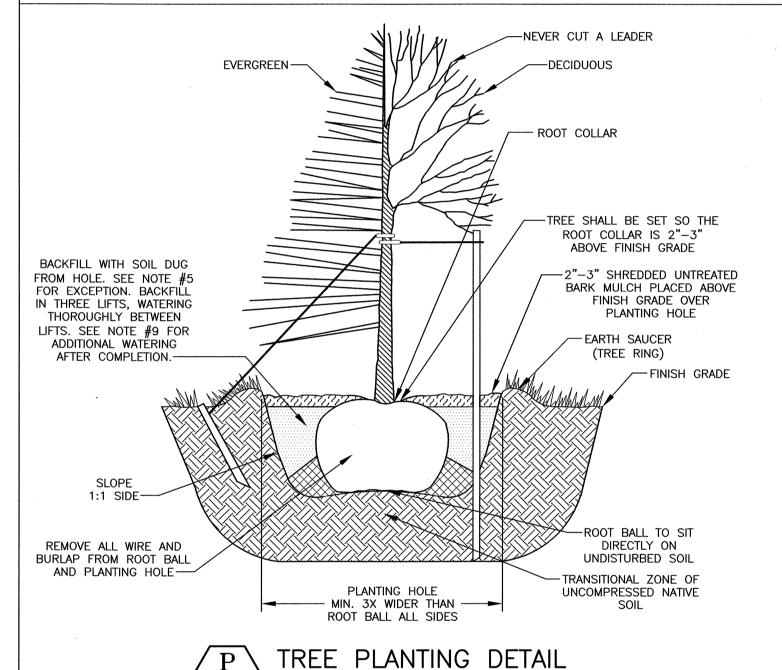
THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFE EXCAVATION PRACTICES.

D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):

- 5' MINIMUM FOR SEWER (IN PAVEMENT)
- 4' MINIMUM FOR SEWER (CROSS COUNTRY) 3' MINIMUM FOR STORMWATER DRAINS
- 5' MINIMUM FOR WATER MAINS
- E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.







CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS

THE BASE OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING. ANSI A300 PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IS NOT THE "END ALL" FOR THE CITY OF PORTSMOUTH. THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE ANSI A300

- 1. ALL PLANTING HOLES MUST BE DUG BY HAND- NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS AND PLANTING DEPTH NEEDS TO BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.
- 2. ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.
- 3. THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO
- GIRDLING ROOTS ARE PRESENT. 4. THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHED DEPTH.
- 5. ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
- 6. ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS- NO EXCEPTIONS.
- 7. AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.
- 8. 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
- 9. AT THE TIME THE PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS, BACKFILL MATERIAL, AND MULCH LAYER.
- 10. STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUY MATERIAL SHALL BE NON-DAMAGING TO THE TREE.
- 11. ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS, AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/REJECT ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.



AMBIT ENGINEERING, INC.

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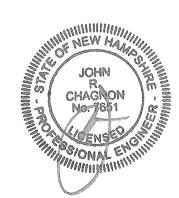
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MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.

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0	ISSUED FOR COMMENT	4/2/2	
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REVISIONS			

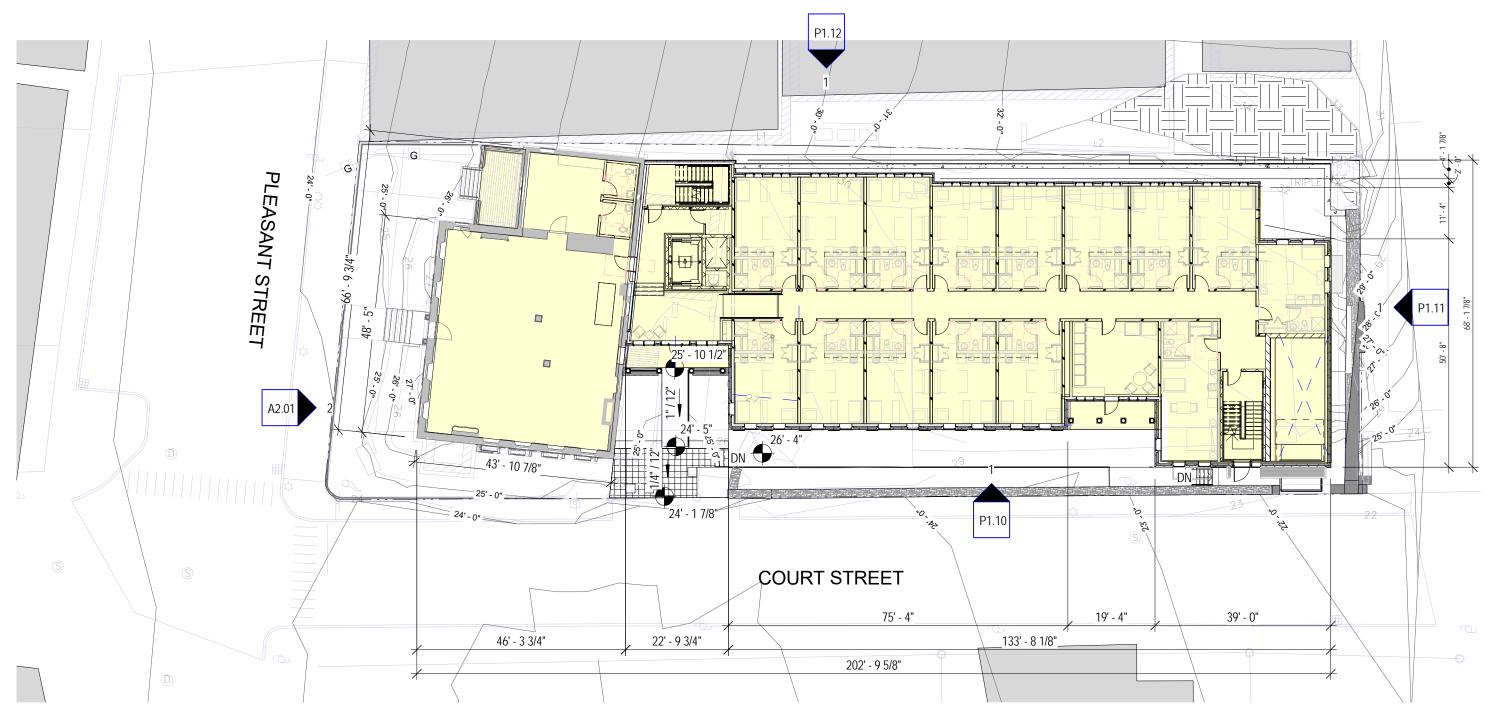


SCALE: AS SHOWN

DECEMBER 2020

DETAILS

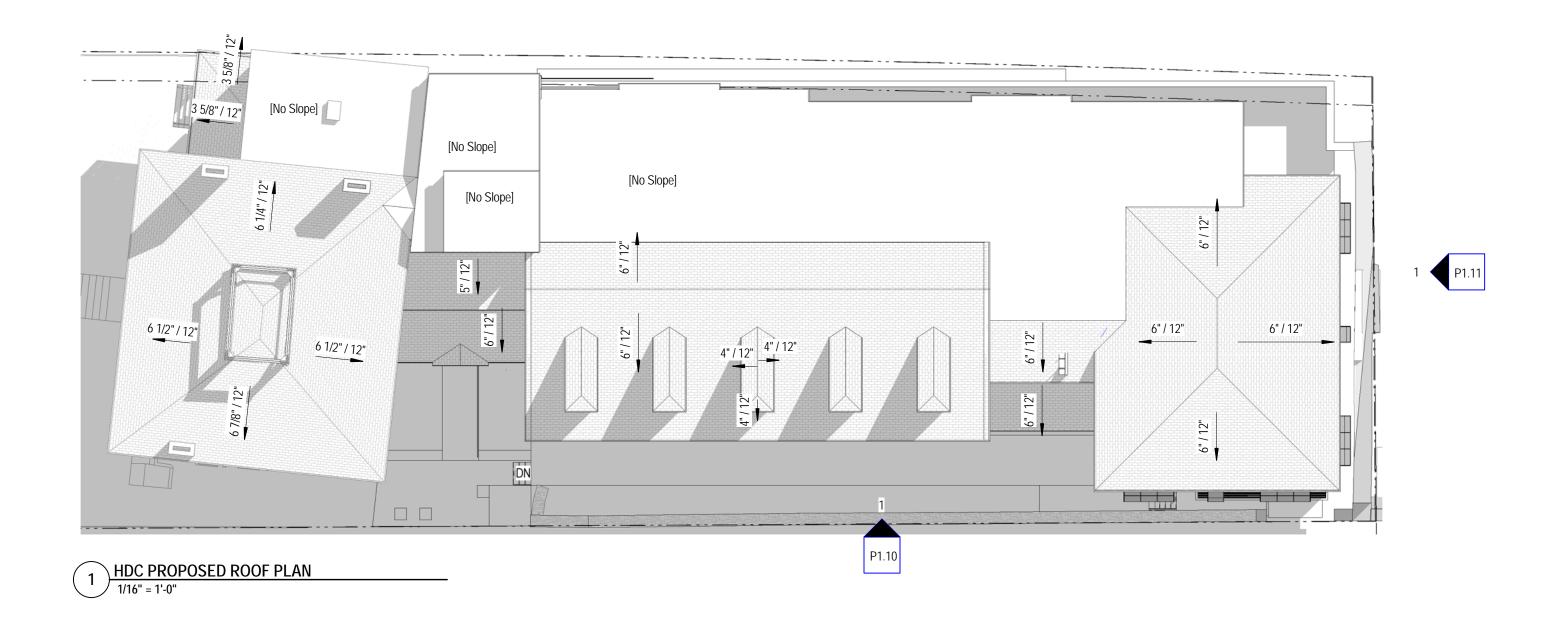
FB 321 PG 72

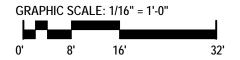


HDC PROPOSED FIRST FLOOR PLAN

P1.2













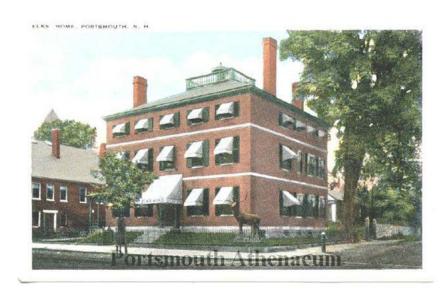


PERSPECTIVE VIEW - SE

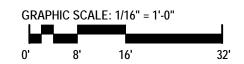
93 PLEASANT STREET HDC WORK SESSION 5 - AUGUST 23, 2021







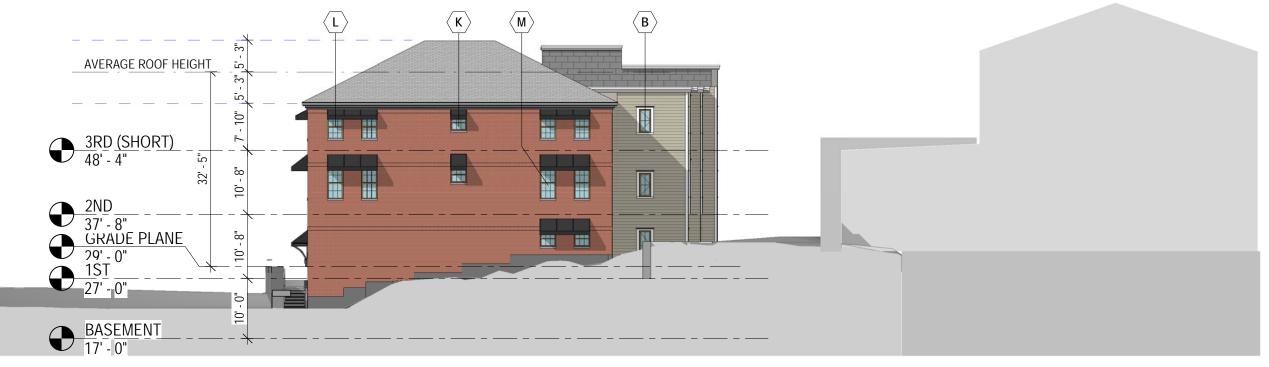




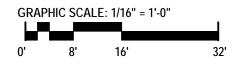
P1.10 ELEVATION - FRONT

93 PLEASANT STREET HDCws 5 August 25, 2021





1 HDC ELEVATION - SIDE
1/16" = 1'-0"



P1.11 ELEVATION - SIDE

93 PLEASANT STREET HDCws 5 August 25, 2021





1) HDC ELEVATION - REAR
1/16" = 1'-0"