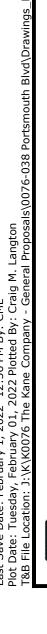
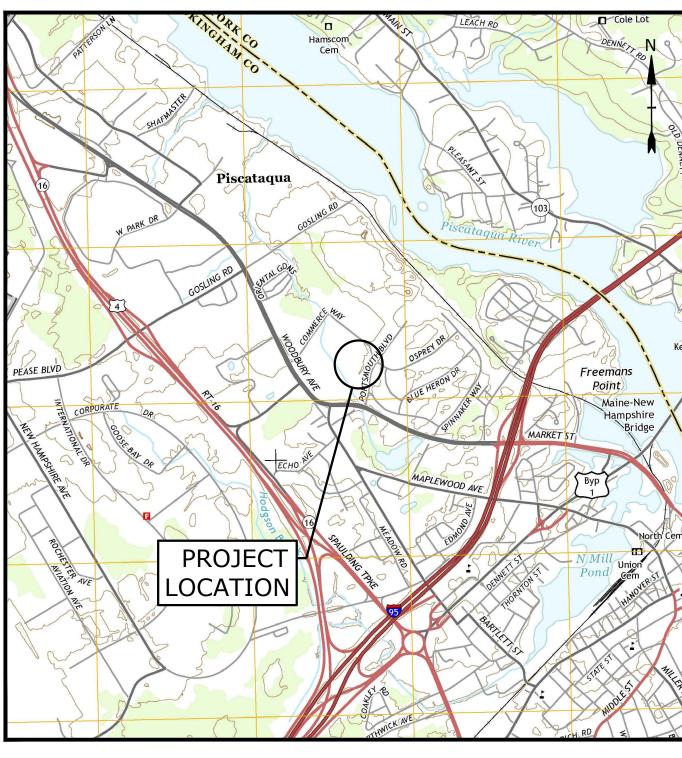
PROPOSED 2-STORY BUILDING 230 COMMERCE WAY, PORTSMOUTH, NH PRELIMINARY DRAWINGS FEBRUARY 1, 2022

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	02/01/2022
G-101	GENERAL NOTES, ABBREVIATIONS & LEGEND SHEET	02/01/2022
C-101	EXISTING CONDITIONS PLAN	02/01/2022
C-102	SITE PLAN	02/01/2022
C-103	GRADING, DRAINAGE, EROSION CONTROL & UTILITIES PLAN	02/01/2022
C-501	EROSION CONTROL NOTES & DETAILS SHEET	02/01/2022
C-502	DETAILS SHEET	02/01/2022
C-503	DETAILS SHEET	02/01/2022







PREPARED BY: Tighe&Bond

APPLICANT: The Kane Company 210 Commerce Way Portsmouth, New Hampshire 03801

LOCATION MAP SCALE: 1" = 2,000'

COMPLETE SET 8 SHEETS

	GENERAL NOTES:		ADJACENT TO BUILDING.
1.	THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING		CONTRACTOR TO PROVIDE BACKFILL AND COMPA FORMS FOR SIDEWALKS AND PADS HAVE BEEN S CONTRACTOR.
	UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO	11.	ALL LIGHT POLE BASES NOT PROTECTED BY A RA COORDINATE ALL WORK ADJACENT TO BUILDING ALL DIMENSIONS ARE TO THE FACE OF CURB UN
	DETERMINE ALL LINES AND GRADES. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT		
	LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.	1.	GRADING AND DRAI COMPACTION REQUIREMENTS:
	IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH		BELOW PAVED OR CONCRETE AREAS 95 TRENCH BEDDING MATERIAL AND
Т	THE CONDITIONS OF ALL OF THE PERMIT APPROVALS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS,		SAND BLANKET BACKFILL 95
	TICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR CESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.	>	BELOW LOAM AND SEED AREAS 90 * ALL PERCENTAGES OF COMPACTION SHALL BE O
	HE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO ROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE		OPTIMUM MOISTURE CONTENT AS DETERMINED A ASTM D-1557, METHOD C FIELD DENSITY TESTS
	CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT IMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND	2.	D-1556 OR ASTM-2922. ALL STORM DRAINAGE PIPES SHALL BE HIGH DE
	WER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, ATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED		N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTH ADJUST ALL MANHOLES, CATCH BASINS, CURB B
C	CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION		FINISH GRADE.
С	OMPANY AND AFFECTED ABUTTER. LL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE,	4.	CONTRACTOR SHALL PROVIDE A FINISH PAVEME SPOTS AND PONDING AREAS. CRITICAL AREAS II RAMPS AND LOADING DOCK AREAS ADJACENT TO
А	ND LOCAL CODES & SPECIFICATIONS. LL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS,	5.	ALL DISTURBED AREAS NOT TO BE PAVED OR OT
ST	ANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF ANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION",	6.	SEED FERTILIZER AND MULCH. ALL STORM DRAIN CONSTRUCTION SHALL BE IN
CU	RRENT EDITION. NTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON	7.	SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, ALL PROPOSED CATCH BASINS SHALL BE EQUIPP
DI	SK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.		SUMPS.
CC	ONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE MIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.	1	EROSION CONTR SEE SHEET C-501 FOR GENERAL EROSION CONTR
	·		
	DEMOLITION NOTES: ROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING	1.	COORDINATE ALL UTILITY WORK WITH APPROPRI
AI	R DEMOLITION ACTIVITIES. LL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE		• NATURAL GAS - UNITIL • WATER - CITY OF PORTSMOUTH
MA	ONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL ATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS,		SEWER - CITY OF PORTSMOUTH ELECTRIC - EVERSOURCE
C	RDINANCES AND CODES. DORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE	2	• COMMUNICATIONS - FAIRPOINT & COMCAST ALL WATER MAIN INSTALLATIONS SHALL BE CLAS
	/NER AND APPROPRIATE UTILITY COMPANY. Y EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/		ALL WATER MAIN INSTALLATIONS SHALL BE PRES CONSTRUCTION PRIOR TO ACTIVATING THE SYST
	OLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING DITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.	1	CHLORINATION AND TESTING WITH THE PORSTM ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS (
	CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR TING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING		CONNECTION TO EXISTING WATER MAIN SHALL E
	VEMENT OR CONCRETE TO REMAIN. E CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF	6.	DPW STANDARDS. EXISTING UTILITIES TO BE REMOVED SHALL BE C
MAT	FERIALS REQUIRED TO COMPLETE THE WORK. LITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF	7.	DEPARTMENT OF PUBLIC WORKS STANDARDS FO ALL ELECTRICAL MATERIAL WORKMANSHIP SHAL
PO	RTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES CATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.	8.	CODE, LATEST EDITION, AND ALL APPLICABLE ST THE EXACT LOCATION OF NEW UTILITY SERVICES
СС	ONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO MOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES	9.	COORDINATED WITH THE BUILDING DRAWINGS ALL UNDERGROUND CONDUITS SHALL HAVE NYLO
AN	Y ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER MEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL	10.	CABLES. THE CONTRACTOR SHALL PROVIDE AND INSTALL
PE	RMANENT SOLUTION IS IN PLACE.	201	CONNECTORS, COVER PLATES, AND OTHER MISC DETAILED ON THESE DRAWINGS TO RENDER INS
PA	VEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL VEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. NTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.	11	OPERATIONAL. CONTRACTOR SHALL PROVIDE EXCAVATION, BED
Т	HE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE ADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY		NATURAL GAS SERVICES. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTA
Ι	DENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND	12.	BETWEEN ALL WATER AND SANITARY SEWER LIN OUTSIDE VERTICAL SEPARATION SHALL BE PROV
PIP	ING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, JNDATION, TREES AND LANDSCAPING.	13	CROSSINGS. SAW CUT AND REMOVE PAVEMENT AND CONSTRU
RE	MOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL RUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN		PROPOSED UTILITIES LOCATED IN EXISTING PAV
AC	CORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.		HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL PORTSMOUTH.
٨N	INTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION ID CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE		COORDINATE TESTING OF SEWER CONSTRUCTIO ALL SEWER PIPE WITH LESS THAN 6' OF COVER I
RE	ONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO PLACE DISTURBED MONUMENTS.	17.	IN UNPAVED AREAS SHALL BE INSULATED. CONTRACTOR SHALL COORDINATE ALL ELECTRIC
C	ROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN DNSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF		CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, MANHOLE CONSTRUCTION, AND TRANSFORM
T۲	OM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT	18.	SITE LIGHTING SPECIFICATIONS, CONDUIT LAYO LIGHTING AND SIGN ILLUMINATION SHALL BE PR
R/	ACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH AIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE ISPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED	19.	ENGINEER. CONTRACTOR SHALL CONSTRUCT ALL UTILITIES
А	FTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR EDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.		FOUNDATION WALLS AND CONNECT THESE TO SI
Т	THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, ARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE	1	LANDSCAPE I THE CONTRACTOR SHALL FURNISH AND PLANT A
0	F A CLEAN AND SAFE CONSTRUCTION SITE. AW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL	1.	THIS PLAN. NO SUBSTITUTIONS WILL BE PERMIT PLANTS SHALL BE NURSERY GROWN.
UTI	ILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT EAS TO REMAIN.	2.	ALL PLANTS SHALL BE NURSERY GROWN AND PLA
АЛ			TO THE AMERICAN ASSOCIATION OF NURSERYME LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SH LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-S
	SITE NOTES: VEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP	3.	PLANT STOCK SHALL BE GROWN WITHIN THE HA
	RS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS ND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE		THE PLANT HARDINESS ZONE MAP, MISCELLANE RESEARCH SERVICE, UNITED STATES DEPARTMENT
M	DNSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT ARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE		PLANT MATERIAL SHALL BEAR THE SAME RELATION ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
CE	QUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING INTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF	5.	THE NUMBER OF EACH INDIVIDUAL PLANT TYPE A ON THE PLAN IS FOR THE CONTRACTOR'S CONVE
А	ASHTO M248 TYPE "F". LL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC		BETWEEN THE NUMBER OF PLANTS ON THE LABE THE DRAWINGS, THE GREATER NUMBER SHALL A
C M	ONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT ARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST	6.	NO SUBSTITUTION OF PLANT MATERIALS WILL BE APPROVAL OF THE OWNER'S REPRESENTATIVE.
	DITIONS. EE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.	7.	THE CONTRACTOR SHALL LOCATE, VERIFY AND MUNDERGROUND UTILITIES PRIOR TO ANY LAWN V
CE	ENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.		MIGHT OCCUR BETWEEN PLANTING AND UTILITIE OWNER SO THAT ALTERNATE PLANTING LOCATIO
Γ,	Y FOUR (4) INCH WIDE LINES.	8.	ALL DISTURBED AREAS NOT TO BE PAVED OR OT LOAM AND SEED. NO FILL SHALL BE PLACED IN A
	STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM	9.	THREE INCHES (3") OF BARK MULCH IS TO BE US
S T	O CURRENT MUTCD STANDARDS.		AS SPECIFIED IN THE DETAILS. WHERE BARK MU
	TO CURRENT MUTCD STANDARDS. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS		AS SPECIFIED IN THE DETAILS. WHERE BARK MU THE BARK MULCH SHALL MEET THE TOP INSIDE E

ILL AND COMPACTION AT CURB LINE AFTER CONCRETE HAVE BEEN STRIPPED. COORDINATE WITH BUILDING

ECTED BY A RAISED CURB SHALL BE PAINTED YELLOW. TO BUILDING WITH BUILDING CONTRACTOR. CE OF CURB UNLESS OTHERWISE NOTED.

NG AND DRAINAGE NOTES:

95%

- 95%
- 90%
- ON SHALL BE OF THE MAXIMUM DRY DENSITY AT THE DETERMINED AND CONTROLLED IN ACCORDANCE WITH ENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM
- L BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS UNLESS OTHERWISE SPECIFIED. ASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO
- NISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW TICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, ADJACENT TO THE BUILDING.
- PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM,
- SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD AND BRIDGES, LATEST EDITION.
- IALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4'
- SION CONTROL NOTES:
- ROSION CONTROL NOTES AND DETAILS.

UTILITY NOTES:

/ITH APPROPRIATE UTILITY COMPANY.

- SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE. SHALL BE PRESSURE TESTED AND CHLORINATED AFTER TING THE SYSTEM. CONTRACTOR SHALL COORDINATE TH THE PORSTMOUTH WATER DEPARTMENT.
- OR 35 UNLESS OTHERWISE STATED.
- MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH
- ED SHALL BE CAPPED AT THE MAIN AND MEET THE STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES. MANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC
- APPLICABLE STATE AND LOCAL CODES.
- ILITY SERVICES AND CONNECTIONS SHALL BE IG DRAWINGS AND THE APPLICABLE UTILITY COMPANIES. HALL HAVE NYLON PULL ROPES TO FACILITATE PULLING
- AND INSTALL ALL MANHOLES, BOXES, FITTINGS, D OTHER MISCELLANEOUS ITEMS NOT NECESSARILY O RENDER INSTALLATION OF UTILITIES COMPLETE AND
- CAVATION, BEDDING, BACKFILL AND COMPACTION FOR
- SE HORIZONTAL SEPARATION SHALL BE PROVIDED ARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO HALL BE PROVIDED AT ALL WATER/SANITARY SEWER
- AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL EXISTING PAVEMENT AREAS TO REMAIN GS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF
- CONSTRUCTION WITH THE CITY OF PORTSMOUTH. I 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER
- E ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: DLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, ND TRANSFORMER CONSTRUCTION WITH POWER COMPANY. CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE ON SHALL BE PROVIDED BY THE PROJECT ELECTRICAL
- ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE CT THESE TO SERVICE STUBS FROM THE BUILDING.

LANDSCAPE NOTES:

AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON VILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL

- ROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM OF NURSERYMEN STANDARDS, INCLUDING BUT NOT , ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE ARRIVAL ON-SITE AND AFTER PLANTING.
- WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL TES DEPARTMENT AGRICULTURE, LATEST REVISION. SAME RELATIONSHIP TO FINISHED GRADE AS TO THE
- TO DIGGING. . PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR CTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON MBER SHALL APPLY.
- ERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN
- VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE NTING LOCATIONS CAN BE DETERMINED.
- PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF BE PLACED IN ANY WETLAND AREA.
- CH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING HERE BARK MULCH IS TO BE USED IN A CURBED ISLAND TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL

- RECEIVE 6" INCHES OF LOAM AND SEED. 10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR
- SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM. 11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
- 13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- 14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL
- 15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- 16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
- 17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
- 18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
- 19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
- 21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REOUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

	ABBRE	VIATIONS
AASHTO	AMERICAN ASSOCIATION OF STATE	OD
	HIGHWAY & TRANSPORTATION OFFICIAL	S OFC
AC	ACRES	PAD
ADA	AMERICANS WITH DISABILITIES ACT	PC
AGGR	AGGREGATE	PCB
BLDG	BUILDING	PDMH
BOC	BOTTOM OF CURB	PI
BOW	BOTTOM OF WALL	POS
CB	CATCH BASIN	PROP
CMP	CORRUGATED METAL PIPE	PDWLI
CONST	CONSTRUCT	PDYL
COORD	COORDINATE	PSMH
DIA	DIAMETER	PSWL
DIP	DUCTILE IRON PIPE	PT
DMH	DRAINAGE MANHOLE	PVC
DWG	DRAWING	PVMT
ELEV	ELEVATION	PYD
EP	EDGE OF PAVEMENT	R
FES	FLARED END SECTION	RCP
FF	FINISHED FLOOR	RL
HDPE	HIGH DENSITY POLYETHYLENE	ROW
HMA	HOT MIX ASPHALT	SF
HMP	HOT MIX PAVEMENT	STD
HW	HEADWALL	SWL
HYD	HYDRANT	SYL
ID	INSIDE DIAMETER	TBR
INV	INVERT	TOC
L	LENGTH	TOW
LF	LINEAR FEET	TYP
MAX	MAXIMUM	UD
MIN	MINIMUM	USCS
NRCS	NATURAL RESOURCES CONSERVATION	W
	SERVICE	W/
OC	ON CENTER	YD

- OUTSIDE DIAMETER OD OFC OIL FILL CAP PAD PROPOSED AREA DRAIN PC POINT OF CURVATURE PCB PROPOSED CATCH BASIN PROPOSED DRAINAGE MANHOLE DMH ΡI POINT OF INTERSECTION POS PROPOSED OUTLET STRUCTURE PROP PROPOSED PROPOSED DASHED WHITE LANE LINE DWLL PDYL PROPOSED DOUBLE YELLOW LINE SMH PROPOSED SEWER MANHOLE SWLL PROPOSED SOLID WHITE LANE LINE POINT OF TANGENCY PΤ PVC POLYVINYL CHLORIDE PAVEMENT VMT PYD PROPOSED YARD DRAIN R RADIUS RCP REINFORCED CONCRETE PIPE RL ROOF LEADER ROW RIGHT OF WAY SQUARE FEET SF STD STANDARD SWL SINGLE WHITE LINE SYL SINGLE YELLOW LINE TO BE REMOVED TBR TOC TOP OF CURB TOW TOP OF WALL TYP TYPICAL UD UNDERDRAIN JSCS UNIFIED SOIL CLASSIFICATION SYSTEM
- W W/
- YD

- WITH
- WIDTH
- YARD DARIN

- - - ----- $-\circ -\circ -\circ -\circ -\circ -\circ -$ ——OHW—— ------E------------PE------PE-------------PE&C------PE&C------____D____D_____ ------PD------PD-------——PG———PG— _____W_____ _____PW____PW_____ _____S_____S_____ —PS— —PS— -133 -- — — — - 1.31 — — — -133 - --- --- --- ---____O____O____

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EXISTING PROPERTY LINE EXISTING CHAINLINK FENCE PROPOSED FENCE EXISTING OVERHEAD WIRES EXISTING UNDERGROUND ELECTRIC LINE PROPOSED UNDERGROUND ELECTRIC LINE EXISTING UNDERGROUND TELECOMMUNICATION LINE PROPOSED UNDERGROUND ELECTRIC & COMMUNICATION LINE EXISTING DRAIN LINE PROPOSED DRAIN LINE EXISTING GAS LINE PROPOSED GAS LINE EXISTING WATER LINE PROPOSED WATER LINE EXISTING SEWER LINE PROPOSED SEWER LINE EXISTING MAJOR CONTOUR LINE EXISTING MINOR CONTOUR LINE PROPOSED CONTOUR LINE APPROXIMATE LIMIT OF WORK APPROXIMATE LIMIT OF SAWCUT PROPOSED PERIMETER EROSION CONTROL APPROXIMATE LIMIT OF EXISTING UTILITIES TO BE REMOVED

EXISTING CONCRETE

LEGEND

PROPOSED CONCRETE

EXISTING LANDSCAPED AREA

EXISTING BRICK

PROPOSED BRICK

EXISTING PAVEMENT/CONCRETE TO BE REMOVED

PROPOSED STANDARD DUTY PAVEMENT SECTION

PROPOSED HEAVY DUTY PAVEMENT SECTION

PROPOSED SNOW STORAGE AREAS

EXISTING UTILITY POLE PROPOSED UTILITY POLE **EXISTING UTILITY POLE & GUY WIRE** EXISTING UTILITY POLE W/ LIGHT PROPOSED UTILITY POLE W/ LIGHT EXISTING LIGHT POLE (ONE ARM) PROPOSED LIGHT POLE (ONE ARM) PROPOSED LIGHT POLE BASE EXISTING SIGN PROPOSED SIGN EXISTING POST EXISTING GRANITE POST EXISTING PARKING PAY METER EXISTING BOLLARD EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT EXISTING WATER GATE VALVE PROPOSED WATER GATE VALVE EXISTING WATER SHUTOFF VALVE PROPOSED WATER SHUTOFF VALVE PROPOSED THRUST BLOCK EXISTING GAS GATE VALVE PROPOSED GAS GATE VALVE EXISTING ELECTRIC BOX PROPOSED ELECTRIC MANHOLE EXISTING CATCH BASIN PROPOSED CATCH BASIN EXISTING DRAIN MANHOLE PROPOSED DRAIN MANHOLE EXISTING MANHOLE EXISTING TELEPHONE MANHOLE EXISTING SEWER MANHOLE PROPOSED SEWER MANHOLE EXISTING CLEANOUT PROPOSED CLEANOUT EXISTING HAND HOLE EXISTING CONIFEROUS TREE EXISTING DECIDUOUS TREE EXISTING CONIFEROUS SHRUB EXISTING DECIDUOUS BUSH EXISTING BOUND FOUND EXISTING IRON PIPE FOUND PROPOSED FLOW DIRECTION/SLOPE EXISTING SPOT SHOT ELEVATION PROPOSED SPOT SHOT ELEVATION

SCALE IN FEET

Tighe&Bond

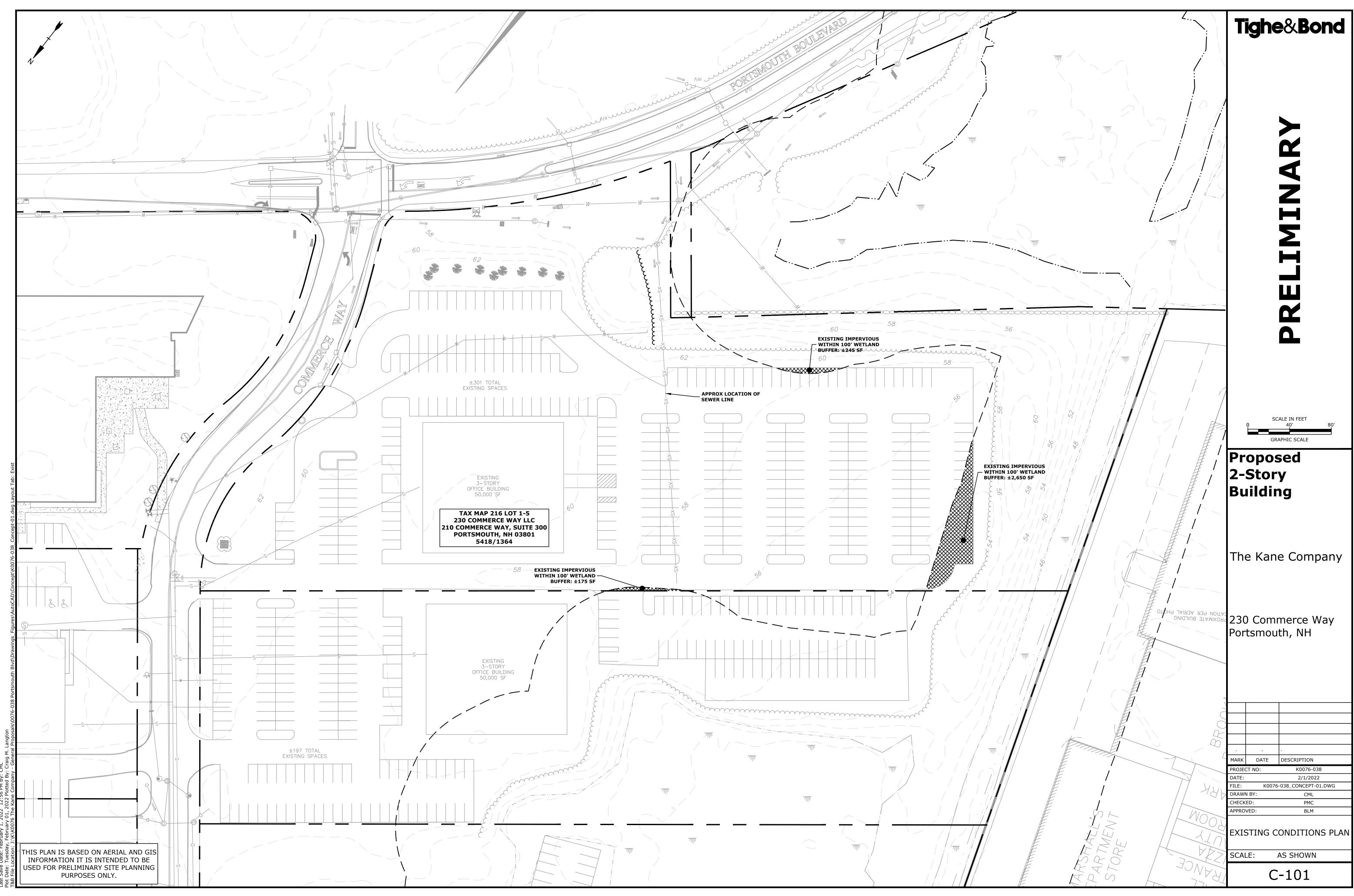
GRAPHIC SCALE

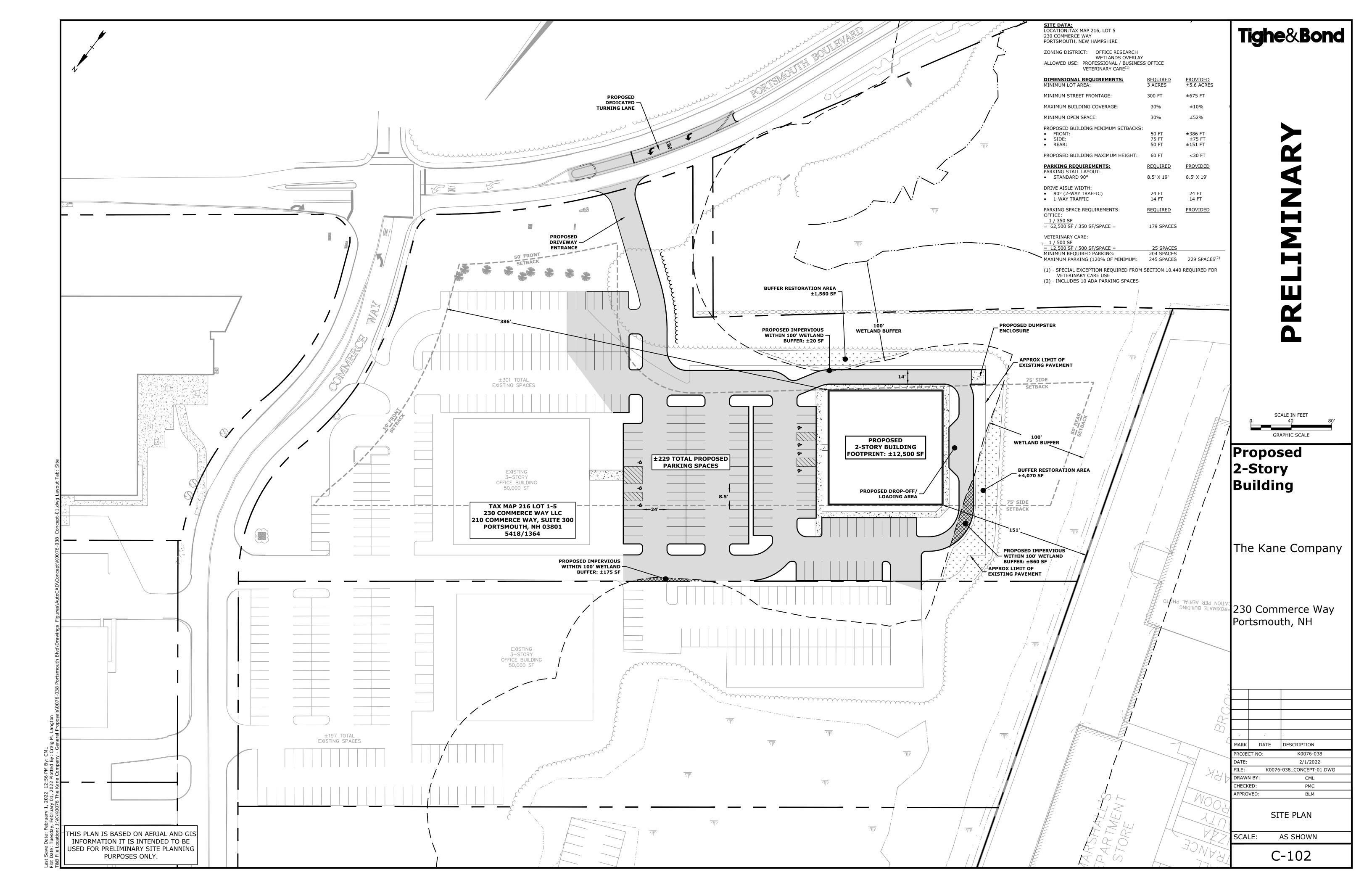
|Proposed 2-Story Building

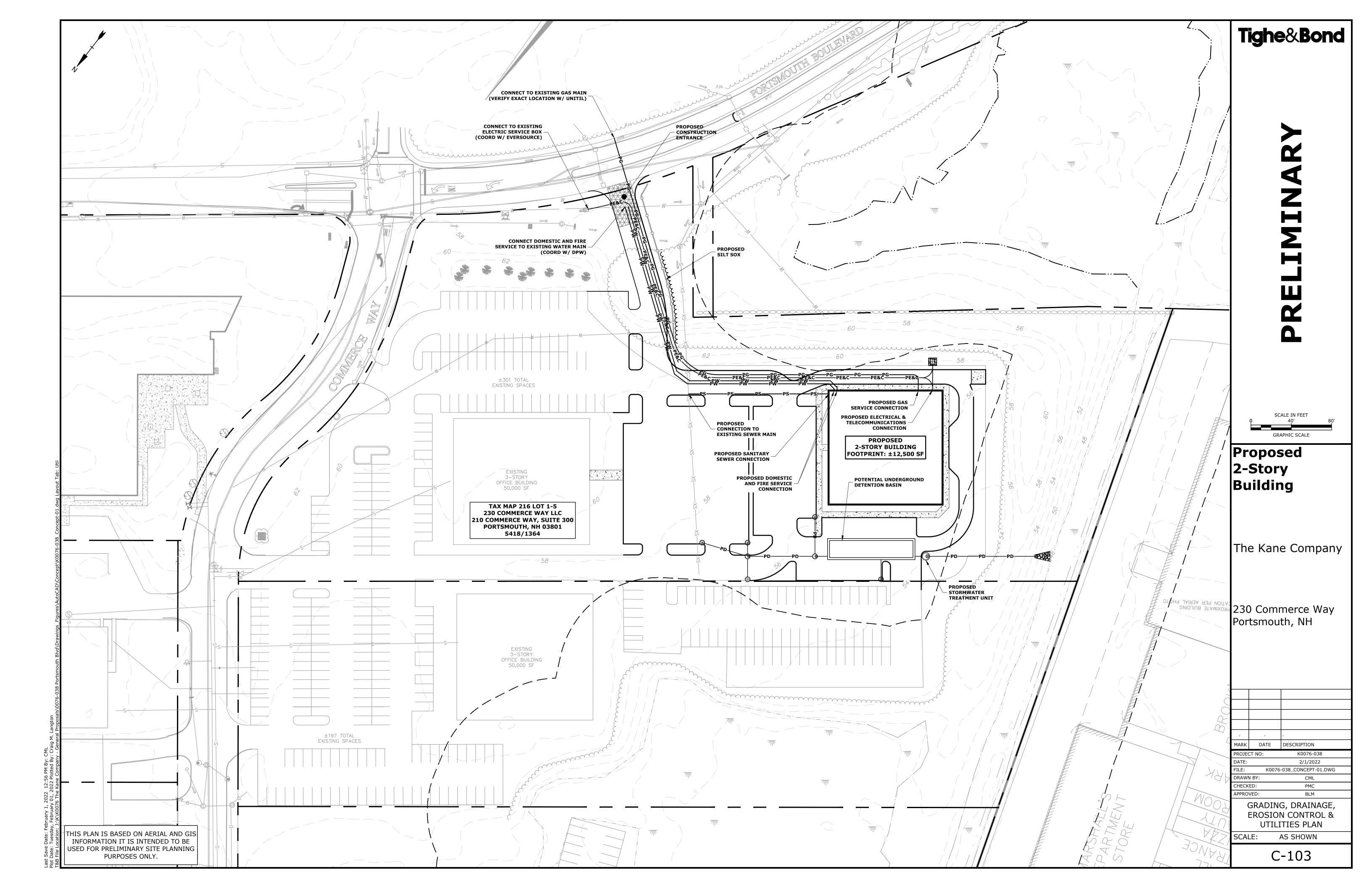
The Kane Company

230 Commerce Way Portsmouth, NH

	-		
MARK	DATE	DESCRIPTION	
PROJE	CT NO:	K0076-038	
DATE:		2/1/2022	
FILE:	K0076	-038_CONCEPT-01.DWG	
DRAW	DRAWN BY: CML		
CHECK	ED:	PMC	
APPRO	VED:	BLM	
GENERAL NOTES, ABBREVIATIONS & LEGEND SHEET			
SCAI	_E: /	AS SHOWN	
G-101			







GENERAL PROJECT	INFORMATION	5.	DURING CONSTRUCTION, RUNOFF WILL
PROJECT OWNER:	THE KANE COMPANY		PIPING OR STABILIZED CHANNELS WHE
	210 COMERCE WAY		FILTERED THROUGH SILT FENCES, MUL
	PORTSMOUTH, NEW HAMPSHIRE 03801		STORM DRAIN BASIN INLETS SHALL BE
PROJECT NAME:	PROPOSED OFFICE BUILDING		RACKS. THE SITE SHALL BE STABILIZE
PROJECT ADDRESS:	25 PORTSMOUTH BLVD AVENUE		
	PORTSMOUTH, NEW HAMPSHIRE 03801	DU	ST CONTROL:
PROJECT LATITUDE:	43°-08'-14"N	1.	THE CONTRACTOR SHALL BE RESPONS
PROJECT LONGITUDE	: 70°-56'-22"W		CONSTRUCTION PERIOD.
		2.	DUST CONTROL METHODS SHALL INCL
PROJECT DESCRIPT	ION		EXPOSED AREAS, COVERING LOADED D
THE PROJECT CONSIS	STS OF 2 STORY OFFICE BUILDING WITH ASSOCIATED SITE IMPROVEMENTS THE		MULCHING.
WORK IS ANTICIPATE	ED TO START IN SPRING OF 2022, AND BE COMPLETED BY WINTER OF 2023.	3.	DUST CONTROL MEASURES SHALL BE U
			FROM THE SITE TO ABUTTING AREAS.
DISTURBED AREA			
THE TOTAL AREA TO	BE DISTURBED IS APPROXIMATELY 4 ACRES.	<u>ST(</u>	OCKPILES:
		1	LOCATE STOCKDUES A MINIMUM OF EC

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- 2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- 3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE
- INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY. 4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT

OFF SITE VEHICLE TRACKING:

1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

VEGETATION:

- TEMPORARY GRASS COVER
- A. SEEDBED PREPARATION
- TONS PER ACRE; B. SEEDING:
- a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
- c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY C. MAINTENANCE:
- a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
- 2. VEGETATIVE PRACTICE: A. FOR PERMANENT MEASURES AND PLANTINGS:
 - a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5; b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE
 - SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER; c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES
 - WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH
 - d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
 - e. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE; f. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, NOXIOUS WEEDS REMOVED;
 - g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED; h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

SEED MIX	APPLICA
CREEPING RED FESCUE	50 LBS/A
KENTUCKY BLUEGRASS	100 LBS/
PERENNIAL RY GRASS	50 LBS/A
I NO CASE SHALL THE WEED CO	DNTENT EXC
HALL COMPLY WITH STATE AND	FEDERAL S

- CEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
- 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL): A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE: A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES
- AT THEIR OWN PLANT OR DISPATCH FACILITY;
- B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND
- DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM
- DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS; D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN
- MATERIALS NEED TO BE REMOVED.
- ALLOWABLE NON-STORMWATER DISCHARGES:
- FIRE-FIGHTING ACTIVITIES; FIRE HYDRANT FLUSHING;
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- 7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED 8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION
- 9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
- 10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- 11. UNCONTAMINATED EXCAVATION DEWATERING;
- 12. LANDSCAPE IRRIGATION.

WASTE DISPOSAL:

- I. WASTE MATERIA A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
- B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE; C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE
- DISPOSAL BY THE SUPERINTENDENT
- 2. HAZARDOUS WASTE: A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY
- LOCAL OR STATE REGULATION OR BY THE MANUFACTURER; B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT. 3. SANITARY WASTE: A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE
 - PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SOILS. NAME OF RECEIVING WATERS

SOIL CHARACTERISTICS

THE STORM WATER RUNOFF WILL ULTIMATELY DISCHARGE INTO AN UNNAMED WETLAND. PRIOR TO DISCHARGING TO THE WETLAND, STORMWATER RUNOFF WILL BE COLLECTED AND TREATED BY VARIOUS TREATMENT SWALES, SEDIMENTATION BASINS AND A GRAVEL WETLAND.

CHATFIELD-HOLLIS-CANTON COMPLEX AND URBAN LAND SOILS WHICH ARE MODERATELY DRAINED

CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

- CUT AND CLEAR TREES. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES, EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
- NEW CONSTRUCTION DEVELOPMENT OF BORROW PIT AREAS

BASED ON THE NRCS WEB SOIL SURVEY FOR THE SOILS ON SITE CONSIST OF

- DISPOSAL OF SEDIMENT SPOIL, STUMP AND OTHER SOLID WASTE
- FLOOD PLAIN EXCAVATION WORK STREAM CHANNEL MODIFICATIONS
- CONTROL OF DUST
- CONSTRUCTION OF ACCESS AND HAUL ROAD
- NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- CLEAR AND DISPOSE OF DEBRIS. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF
- TO THEM. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING. 0. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE
- TEMPORARY EROSION CONTROL MEASURES.
- SPECIAL CONSTRUCTION NOTES: THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REOUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE
- ASSOCIATED DRAINAGE IS COMPLETE AND STABLE. THIS NOTE IS APPLICABLE TO SINGLE/DUPLEX FAMILY SUBDIVISIONS, WHEN LOT DEVELOPMENT IS NOT PART OF THE PERMIT.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
- SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
- INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE
- EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

TABILIZATION:

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED: A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED: B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN
- INSTALLED; D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.;
- E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.
- WINTER STABILIZATION PRACTICES: A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN
- GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS; ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR
- THE DESIGN FLOW CONDITIONS; AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:

A. TEMPORARY SEEDING;

B. MULCHING.

WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15.

- CTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE ON PERIOD.
- EAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY

STRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES FABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE ROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL N BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH

OL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON

OL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST

MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3)

b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;

INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;

SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR

AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS

DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER

WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL

TION RATE

ACRE S/ACRE

ACRE

SPILL PREVENTION:

- 1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
- 2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
- A. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION: a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
- b. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
- c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE
- FOLLOWED; d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL
- OF MATERIALS; e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE
- MANUFACTURER; f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE
- CONTAINER. B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
- g. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE; h. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT
- **PRODUCT INFORMATION;** SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL
- C. PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
- a. PETROLEUM PRODUCTS:
- ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR
- PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE; PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED
- ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. b. FERTILIZERS
- FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO
- STORMWATER; • STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE
- PLASTIC BIN TO AVOID SPILLS. c. PAINTS: ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR
- USE EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
- EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL
- MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES; b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE
- MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
- c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
- d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
- e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED; f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE
- THE SPILL PREVENTION AND CLEANUP COORDINATOR. E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
- a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPTMENT/VEHICAL FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
- b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
- c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
- d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA; e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE; f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN
- EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

REPLACING SPENT FLUID.

THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE ENGINEER. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

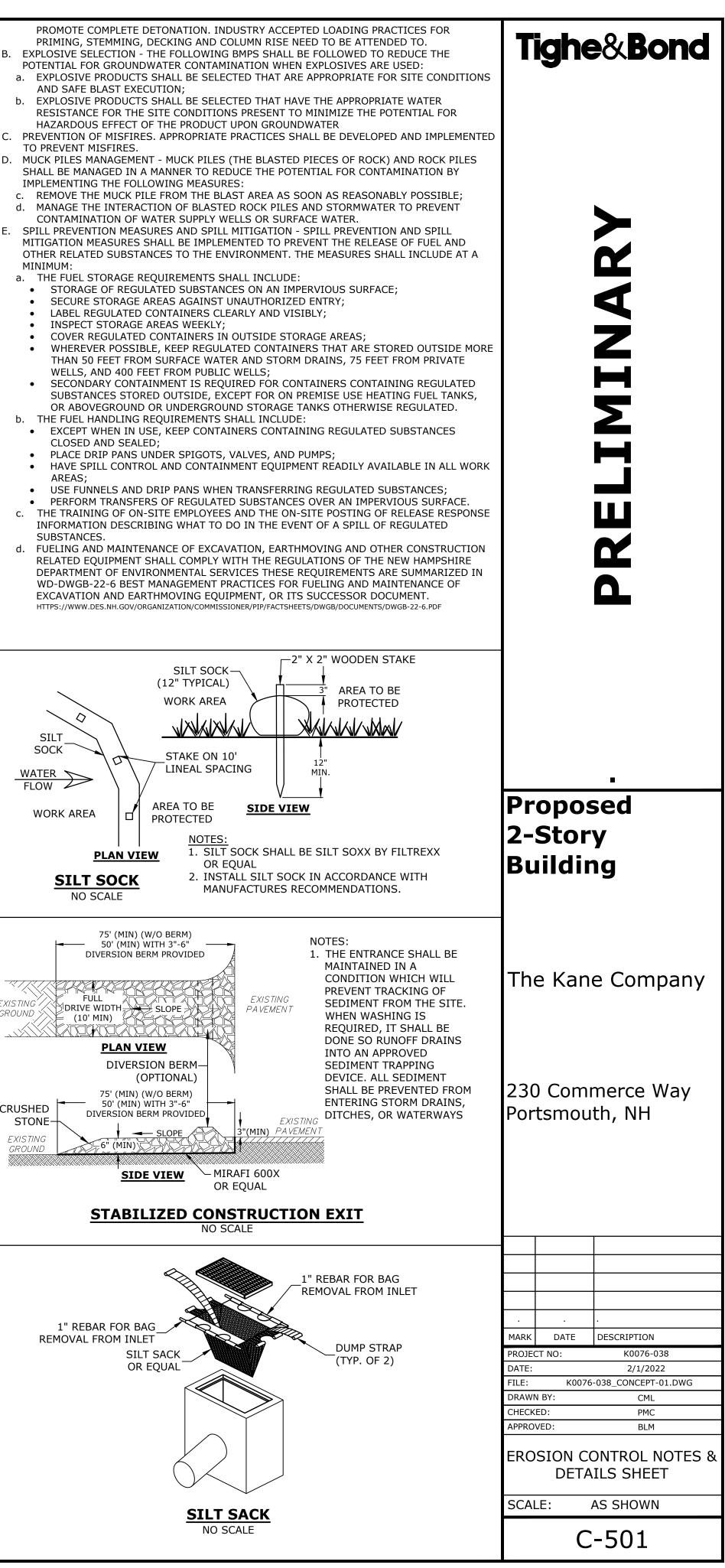
OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER:

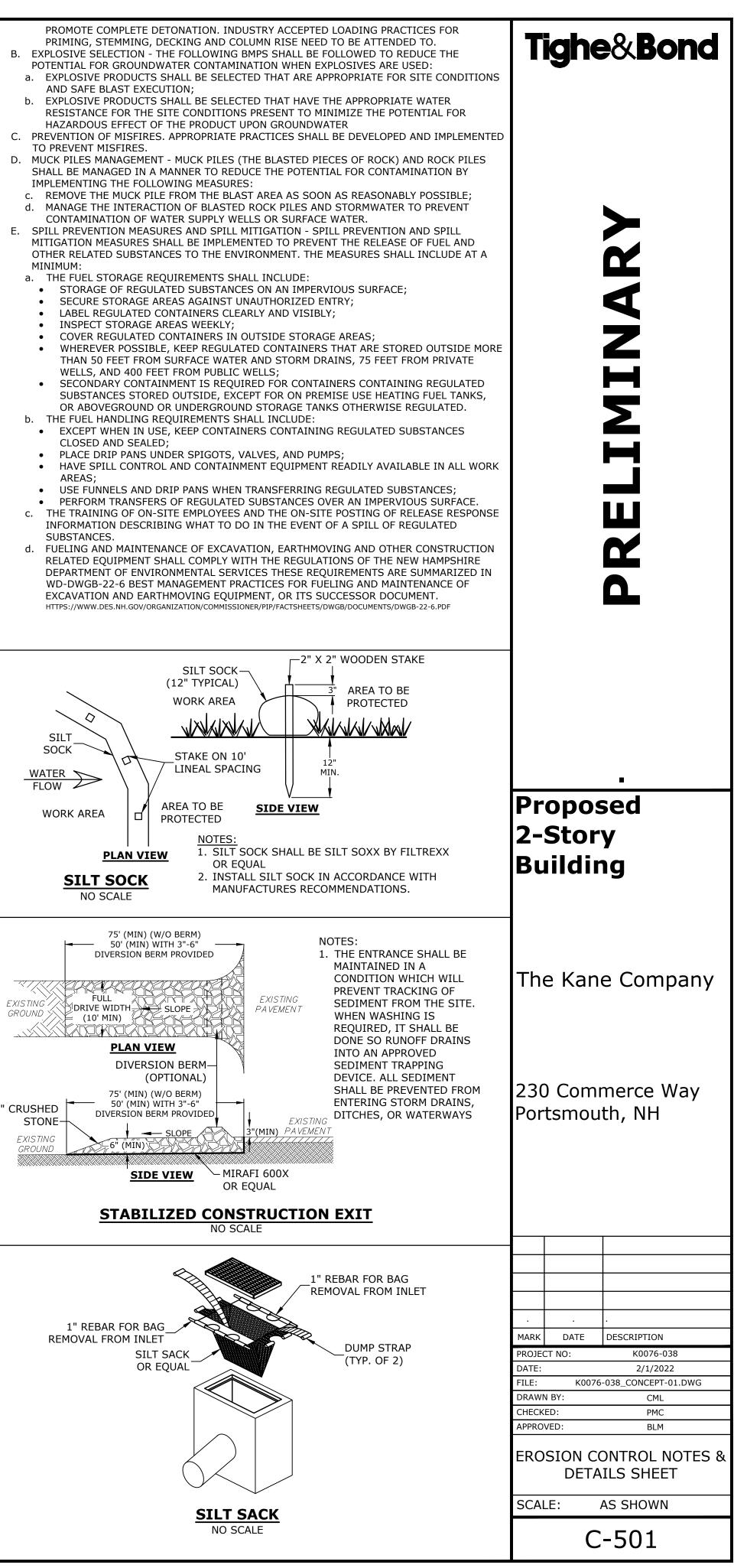
- AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR
- 3. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
- 4. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

BLASTING NOTES:

- IF MORE THAN 5000 CUBIC YARDS ARE TO BE BLASTED A BLASTING PLAN SHALL BE PROVIDED. THE BLASTING PLAN SHALL INCLUDE: A. LOCATION AND IDENTIFICATION OF DRINKING WATER WELLS LOCATED WITHIN 2000 FEET OF
- THE PROPOSED BLASTING ACTIVITIES; B. A GROUNDWATER QUALITY SAMPLING PROGRAM, APPROVED BY NHDES PRIOR TO INITIATING BLASTING, TO MONITOR FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY
- WELLS IN THE AREA. a. THE GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY NHDES. 2. THE FOLLOWING BEST MANAGEMENT PROCEDURES FOR BLASTING SHALL BE COMPLIED WITH:
- A. LOADING PRACTICES THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
- a. DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS
- b. EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
- c. SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL
- d. LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS
- REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED; e. LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF
- CONTAMINANTS TO THE ENVIRONMENT; f. EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO

- MINIMUM





CRUSHED STONE-	
EXISTING GROUND	

XISTING ROUND	FULI DRIVE W (10' M

