

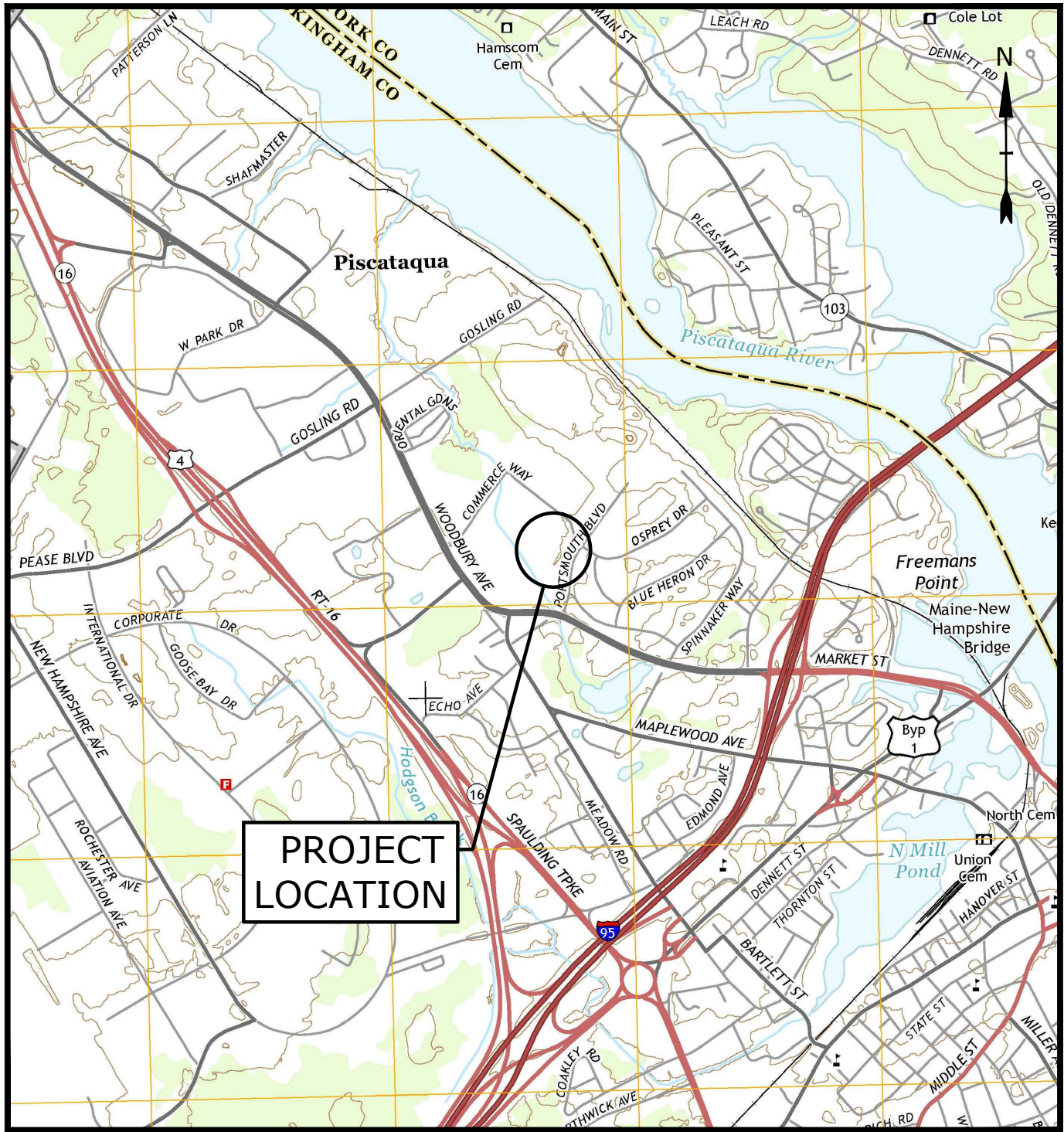
PROPOSED 2-STORY BUILDING

230 COMMERCE WAY, PORTSMOUTH, NH

PRELIMINARY DRAWINGS

FEBRUARY 1, 2022

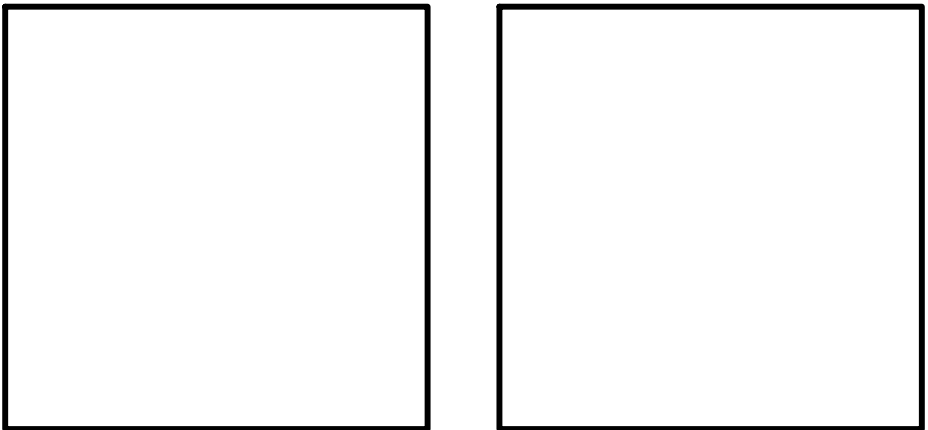
LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	02/01/2022
G-101	GENERAL NOTES, ABBREVIATIONS & LEGEND SHEET	02/01/2022
C-101	EXISTING CONDITIONS PLAN	02/01/2022
C-102	SITE PLAN	02/01/2022
C-103	GRADING, DRAINAGE, EROSION CONTROL & UTILITIES PLAN	02/01/2022
C-501	EROSION CONTROL NOTES & DETAILS SHEET	02/01/2022
C-502	DETAILS SHEET	02/01/2022
C-503	DETAILS SHEET	02/01/2022



LOCATION MAP
SCALE: 1" = 2,000'

PREPARED BY:

Tighe&Bond



APPLICANT:

The Kane Company
210 Commerce Way
Portsmouth, New Hampshire 03801



230 Commerce Way
Portsmouth, NH

MARK	DATE	DESCRIPTION
PROJECT NO:		K0076-038
DATE:		2/1/2022
FILE:		K0076-038_CONCEPT-01.DWG
DRAWN BY:	CML	
CHECKED:	PMC	
APPROVED:	BLM	

EXISTING CONDITIONS PLAN

SCALE: AS SHOWN

C-101

THIS PLAN IS BASED ON AERIAL AND GIS
INFORMATION IT IS INTENDED TO BE
USED FOR PRELIMINARY SITE PLANNING
PURPOSES ONLY.

**TAX MAP 216 LOT 1-5
230 COMMERCE WAY LLC
210 COMMERCE WAY, SUITE 300
PORTSMOUTH, NH 03801
5418/1364**

EXISTING
3-STORY
OFFICE BUILDING
50,000 SF

EXISTING
3-STORY
OFFICE BUILDING
50,000 SF

**EXISTING IMPERVIOUS
WITHIN 100' WETLAND
BUFFER: ±175 SF**

**EXISTING IMPERVIOUS
- WITHIN 100' WETLAND
BUFFER: ±245 SF**

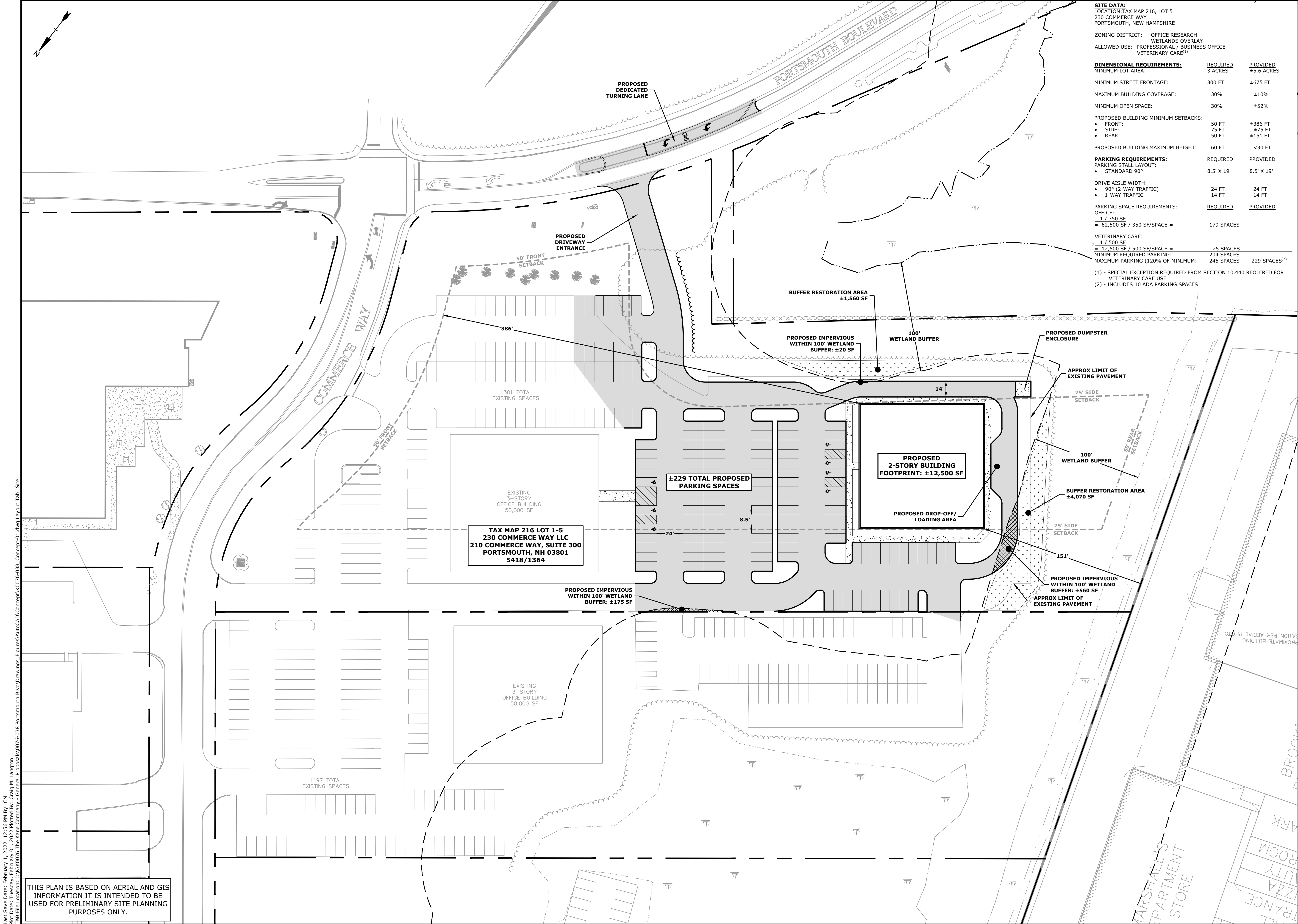
**EXISTING IMPERVIOUS
- WITHIN 100' WETLAND
BUFFER: ±2,650 SF**

WASTE BUILDING
PER AERIAL PHOTO

MARSHALL'S
DEPARTMENT
STORE

BROO

ARK
ROOM
UTY
ZZA
FRANCE
LL



SITE DATA: LOCATION: TAX MAP 216, LOT 5 230 COMMERCE WAY PORTSMOUTH, NEW HAMPSHIRE		
ZONING DISTRICT:	OFFICE RESEARCH WETLANDS OVERLAY	
ALLOWED USE:	PROFESSIONAL / BUSINESS OFFICE VETERINARY CARE ⁽¹⁾	
<u>DIMENSIONAL REQUIREMENTS:</u>		
MINIMUM LOT AREA:	REQUIRED 3 ACRES	PROVIDED ±5.6 ACRES
MINIMUM STREET FRONTAGE:	300 FT	±675 FT
MAXIMUM BUILDING COVERAGE:	30%	±10%
MINIMUM OPEN SPACE:	30%	±52%
PROPOSED BUILDING MINIMUM SETBACKS:		
• FRONT:	50 FT	±386 FT
• SIDE:	75 FT	±75 FT
• REAR:	50 FT	±151 FT
PROPOSED BUILDING MAXIMUM HEIGHT:	60 FT	<30 FT
<u>PARKING REQUIREMENTS:</u>		
PARKING STALL LAYOUT:	REQUIRED	PROVIDED
• STANDARD 90°	8.5' X 19'	8.5' X 19'
DRIVE AISLE WIDTH:		
• 90° (2-WAY TRAFFIC)	24 FT	24 FT
• 1-WAY TRAFFIC	14 FT	14 FT
PARKING SPACE REQUIREMENTS:	REQUIRED	PROVIDED
OFFICE:		
$\frac{1}{350} \text{ SF}$		
= 62,500 SF / 350 SF/SPACE =	179 SPACES	
VETERINARY CARE:		
$\frac{1}{500} \text{ SF}$		
= 12,500 SF / 500 SF/SPACE =	25 SPACES	
MINIMUM REQUIRED PARKING:	204 SPACES	
MAXIMUM PARKING (120% OF MINIMUM):	245 SPACES	229 SPACES ⁽²⁾
(1) - SPECIAL EXCEPTION REQUIRED FROM SECTION 10.440 REQUIRED FOR VETERINARY CARE USE		
(2) - INCLUDES 10 ADA PARKING SPACES		

Tighe&Bond

PRELIMINARY

Proposed 2-Story Building

The Kane Company

230 Commerce Way
Portsmouth, NH

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APPROVED:	BLM	

SITE PLAN

SCALE: AS SHOWN

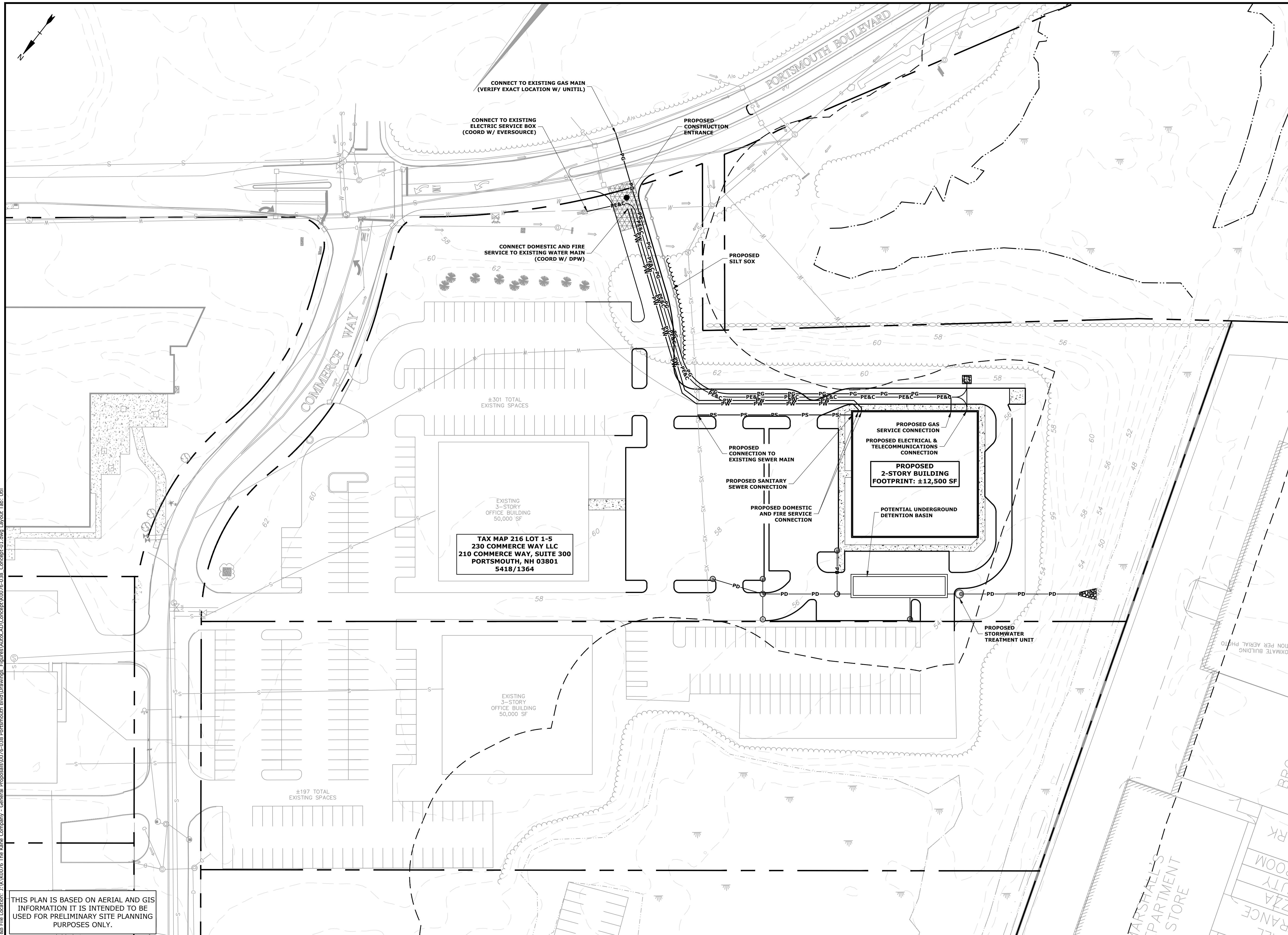
C-102

Last Save Date: February 1, 2022 12:56 PM By: CML
Plot Date: Tuesday, February 01, 2022 Plotted By: Craig M. Langdon
File Location: Z:\K0076 The Kane Company - General Proposals\0076-038 Portsmouth Blvd Drawings Figures\AutoCAD\Concept\K0076-038 Concept-01.dwg Layout Tab: Site

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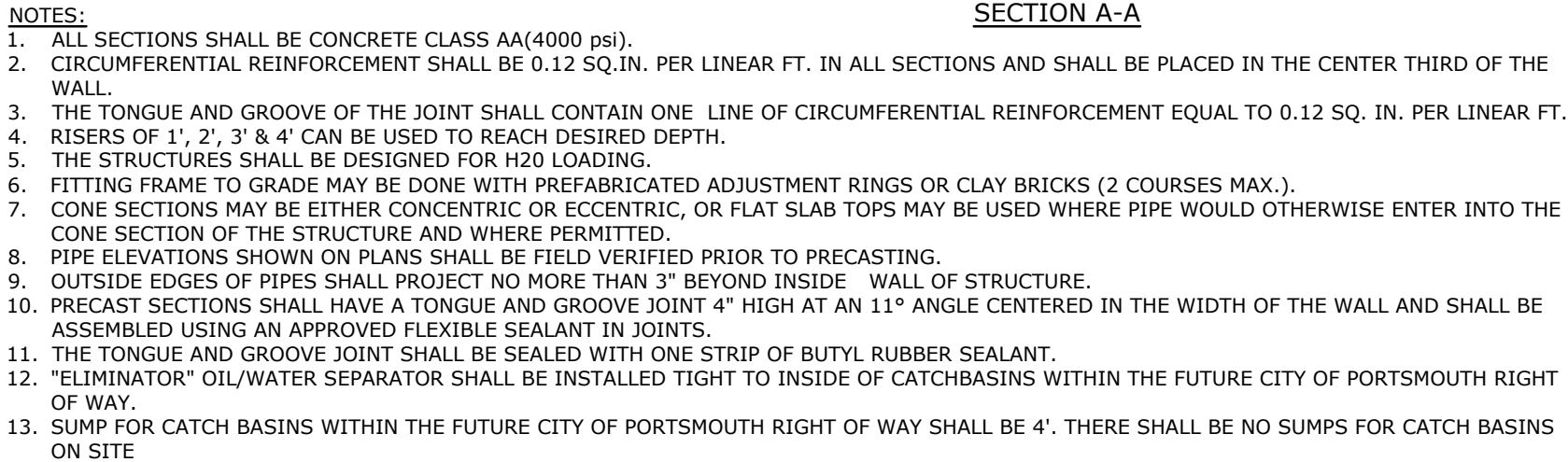
230 Commerce Way
Portsmouth, NH

MARK	DATE	DESCRIPTION
PROJECT NO:		K0076-038
DATE:		2/1/2022
FILE:	K0076-038_CONCEPT-01.DWG	
DRAWN BY:		CHL
CHECKED:		PMC
APPROVED:		BLM
<p align="center">GRADING, DRAINAGE, EROSION CONTROL & UTILITIES PLAN</p>		
SCALE:		AS SHOWN

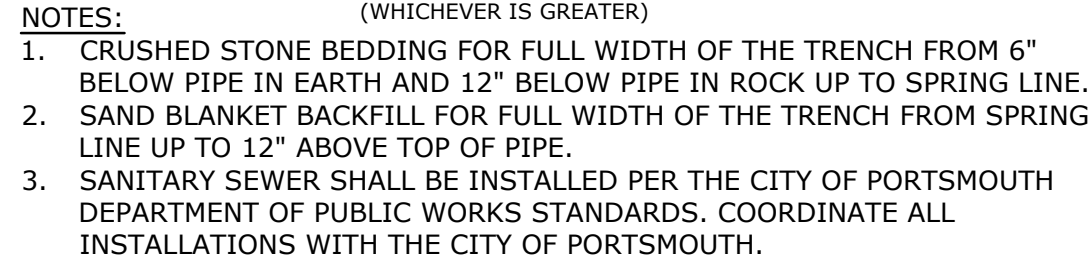


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 Job File Location: J:\K00705 The Kane Company - General Proposals\0076-K-038 Portsmouth Blvd Drawings
 X8 File Location: J:\K00705 The Kane Company - General Proposals\0076-K-038 Portsmouth Blvd Drawings
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NO SCALE



NO SCALE



1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON CONDUIT PLAN (SHEET C-104.1 & C-104.2).
2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.

NO SCALE



- NOTES:**
- HORIZONTAL JOINTS**
1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
 2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
 3. FOR BUTTMASTIC JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

NO SCALE



1. INVERT AND SHELVE TO BE PLACED AFTER EACH LEAKAGE TEST.
2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
3. INVERT BRICKS SHALL BE LAID ON EDGE.
4. BITUMINOUS WATERPROOF COATING TO BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS.
6. CAST-IRON FRAMES WILL BE PURCHASED FROM THE CITY OF PITTSBURGH. COVERS OF RUBBER WORKS.
7. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
8. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.

NO SCALE



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