

**MEETING OF
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

6:30 p.m.

February 02, 2022

AGENDA

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. January 05, 2022

II. ADMINISTRATIVE APPROVALS

1. 500 market Street, Unit 7 (LUHD-420)
2. 160 Court Street (LUHD-421)
3. 475 Marcy Street (LUHD-430)
4. 40 Bridge Street, Unit 101 (LUHD-429)
5. 145 Maplewood Avenue (LUHD-431)

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Steven P. & Cathy Ann Henson**, owners for property located at **0 Maplewood Avenue**, wherein permission is requested to allow the construction of a new single-family home with attached garage on a vacant lot as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 3 and lies within the General Residence A (GRA) and Historic Districts. (LU-22-4)

2. Petition of **National Society of Colonial Dames**, owner for property located at **0 Market Street (The Oar House)**, wherein permission is requested to allow the replacement of roof top mechanical equipment (restaurant kitchen vents) and renovations to an existing structure (replace the existing rubber roof membrane) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 5 and lies within the Character District 4 (CD4), Downtown Overlay, Civic and Historic Districts. (LU-22-3)

IV. PUBLIC HEARINGS (OLD BUSINESS)

- A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow modifications to a previously approved plan (revisions

to the storefront design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-20-214)

V. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-234)

B. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LUHD-366)

C. Work Session requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-414)

D. Work Session requested by **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission is requested to allow changes to a previously approved design (changes to the sunroom and roof design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. (LUHD-416)

VI. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_VFa-e0KEQ2mSIpl66mz_Hw

**MINUTES
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

January 5, 2022

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; members Margot Doering, Martin Ryan, David Adams, and Dan Brown; Alternate Heinz Sauk-Schubert

MEMBERS EXCUSED: Alternate Karen Bouffard

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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It was moved, seconded, and passed unanimously to elect Jon Wyckoff as Chairman and Reagan Ruedig as Vice-Chair.

I. APPROVAL OF MINUTES

1. December 1, 2021
2. December 15, 2021

Both sets of minutes were **approved** as presented.

II. ADMINISTRATIVE APPROVALS

*It was moved, seconded, and passed by unanimous vote, 7-0, to pull **Item 1**, 99 Bow Street, and **Item 4**, 442-444 Middle Street, for separate review and vote.*

Note: The administrative approval items were not reviewed in sequence.

1. 99 Bow Street

Mr. Cracknell said the application was approved in December with the stipulation that the sculptured art be removed from what was approved and resubmitted for administrative approval. The project artist Terence Parker was not present. Mr. Ryan said he took issue with two suggestions made in Mr. Parker's submitted letter: 1) that the Commission wasn't qualified, and 2) that the Commission had a problem with the black sailors depicted in the image. Mr. Ryan said he was offended by the second remark especially, noting that the Commission had clearly stated that they had problems with the depiction of whaling because Portsmouth wasn't a whaling town. He said he could not support the request and that he stood by his earlier position that the whaling references were not appropriate for Portsmouth. He said public art was a collaboration, not one person's mission or statement. Chairman Wyckoff said he also couldn't

support it. He said the term ‘blackjacks’ came from the Port of Portsmouth ships that were in the cotton trade and Black Portsmouth. He said the whaling situation in Portsmouth was essential to bringing oil from other cities but that Portsmouth didn’t send out whaling ships. Ms. Reagan said she agreed with Mr. Ryan’s comments. She said the Commission did not refuse the art on any racial basis or because they didn’t like the art or didn’t want art – it was simply that it was a slight skewing and misrepresentation of what Portsmouth’s history was. It was further discussed and decided that the art was inappropriate.

*Mr. Adams moved to **deny** the request, and Mr. Brown seconded. The motion **passed** by unanimous vote, 7-0.*

2. 462 Middle Street

The request was to replace louver shutters with panel ones. In response to the Commission’s questions, Mr. Cracknell said historic photos of the home weren’t provided and that he thought the shutters were being placed on just the front façade. Mr. Brown noted that 11 out of 14 houses on Middle Street had shutters, so it seemed appropriate. He asked how they would be attached. Mr. Cracknell said the Commission could stipulate that the shutters would have hinges. Mr. Adams noted that the flat panel shutters were typical of a Revival shutter and saw no issue.

Stipulation: the shutters shall have hinges and fasteners.

3. 160 Court Street

Vice-Chair Ruedig recused herself.

Mr. Cracknell said the request was to reroof the Feaster Building with a shallow-sloped one and possibly gutters and downspouts. The applicant’s representative Carla Goodnight was present and said there would be no change in the coping detail at the eave, but a large gutter would be on top of it because the Department of Public Works determined that Parrott Avenue couldn’t handle the internal drains going out to it, so the water drainage would be rerouted to Court Street.

*Ms. Doering moved to **approve** the item, and Mr. Ryan seconded. The motion **passed** by unanimous vote, 6-0.*

4. 442-444 Middle

The request was to remove the two chimneys and rebuild them in kind using restoration brick and lime-based mortar.

*Vice-Chair Ruedig moved to **approve Item 1**, 99 Bow Street, and **Item 4**, 442-444 Middle Street. Mr. Ryan seconded. The motion **passed** by unanimous vote 7-0.*

5. 80 Fleet Street

The request was to replace the roof with an asphalt one or a tar roof with stone, with no gutter or draining system proposed.

*Ms. Doering moved to **approve Item 2**, 462 Middle Street with its stipulation, and **Item 5**, 80 Fleet Street. Vice-Chair Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

III. PUBLIC HEARINGS – NEW BUSINESS

1. Petition of **John C. and Jane C. Angelopoulos, owners**, for property located at **36 State Street**, wherein permission is requested to allow renovations to an existing structure (replacement windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 9 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITION

The owner John Angelopoulos was present and said he wanted to replace five windows because they were failing. He said the new windows would be Andersen 400 Series with wood on the inside and Fibrex on the outside, would match the trim, and half-screens would be used. He said nothing on the exterior would change.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Doering moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulation**:*

- 1. Half-screens shall be used.*

Vice-Chair Ruedig seconded.

Ms. Doering said the project would preserve the integrity of the District and have compatibility of design with surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

*It was moved, seconded, and **passed** unanimously (7-0) to **postpone** the following petition and work session:*

- 1- Public Hearings (Old Business), Item A. 64 Vaughan Street, and*
- 2- Work Sessions (New Business), Item 1, 129 State Street.*

Mr. Cracknell noted that the applicant for Work Session (Old Business) Item A, 137 Northwest Street, withdrew and would refile for a public hearing.

IV. PUBLIC HEARINGS (OLD BUSINESS)

A. **REQUEST TO POSTPONE** - Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow modifications to a previously approved plan (add rooftop atrium and masonry changes to the brick wall and front wall of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed by unanimous vote (7-0) to **postpone** the application.*

V. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE** - Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

The petition was **withdrawn**. The applicant will refile for a public hearing.

B. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

Architect Carla Goodnight was present on behalf of the applicant, and project team member Eben Tormey phoned in. Ms. Goodnight asked for feedback on the massing of the hotel and mixed-use building. Chairman Wyckoff said a few Commission members were uncomfortable with the style and design of the project. He suggested rerouting the condominium building to a more traditional style because of its location and perhaps using the same material as the Court Street project. Vice-Chair Ruedig said she didn't agree because the North End Charettes found that the area was one for contemporary design, and she didn't think the Commission should tell the applicant how to design their building. Ms. Doering said the massing was too big for its location right on Mill Pond. She said she was fine with the contemporary design but thought it should have its own unique characteristics. Mr. Adams said he would be more comfortable to see elements from the community reflected in the building. He suggested that the building have a more celebrated entryway, and it was further discussed. Mr. Ryan said it could be a modern building but it didn't have to be an abstract modern building and it could have human elements

and some order and formalities like balance, rhythm, corner elements and also historical references. He noted that Sheet 3.1 showed a great example of balance and order in the upper corner. Mr. Brown agreed but said he still had problems with the mass. Vice-Chair Ruedig said there were ways to get order, details and trim in a modern building with brick and masonry and perhaps some metal. She noted that the project was already surrounded by very contemporary buildings, so it would work with the context. She suggested stepping the building down as it faced the water but said she could get behind the presented design. Mr. Ryan said he had no problem with the mass and scale and thought the building was far enough back from the buffer. The 100-ft buffer was further discussed. Mr. Tormey said they received a Conditional Use Permit (CUP) and Planning Board approval for the design and for keeping it out of the buffer.

The hotel massing was discussed. Ms. Doering said the massing read as one very big block of cubes. Vice-Chair Ruedig agreed but thought the taller massing that was pushed against the Raines Avenue side was better for the street framing. She said she'd like to see it pulled down a bit toward 3S Artspace so that it stepped down toward the small building. She said the corner that faced the back could be eroded to make balconies on the front to make it look like it was stepping down. Mr. Adams said he struggled with the design and didn't see the point of it. Mr. Sauk-Schubert said the sense of aesthetics and balance had eroded. Mr. Ryan suggested that the design be more formal. He said the way the first floor met the ground would be important as to how the building related to 3S Artspace and suggested something that brought it down or gave it more of a porch feeling or human scale and made it less abstract. Chairman Wyckoff said the site was the most valuable one in Portsmouth and thought the buildings should be legacy ones for the builder, hotel company, and the architect.

Public Comment

Elizabeth Bratter of 159 McDonough Street suggested that the first building on Maplewood Avenue could step down 2-3 stories because it would otherwise seem high compared to surrounding buildings. She said the building's style had nothing to do with the historic north end and the improvements of the mixed-use building still looked sterile. She said the hotel's massing should step down to three stories and gradually lower to two stories by the 3S Artspace. She said the area was known for historic shipbuilding and a mill that all involved wood, and she suggested several wood elements throughout the building.

Peter Whelan of 100 Gates Street said the site was one of the most historic in Portsmouth and that the architecture looked like any other architecture in the country. He said a lot more work could be done to step the buildings down so that they were two or 2-1/2 stories along the pond.

Esther Kennedy of 41 Pickering Avenue said the whole area had to be looked at as one big project and the building needed to step down to the water and be two stories. She said the building would be the first thing people saw coming into Portsmouth.

Paige Trace of 27 Hancock Street noted that the hotel building showed five windows in a row instead of four as depicted in the slide. She said there was a collision course with dollars and the last historic part of Portsmouth and asked the Commission to hold their line on the massing because it was too much, too big, and not appropriate right next to the North Mill Pond.

Bill Downey of 67 Bow Street said he was heartened to hear the reference to the Charettes and the investment that the citizens put into it. He agreed that the building was too big and said there needed to be a higher scale of definition and integrity. He said the Commission had an opportunity to make the significant property a great Gateway one that engaged the citizens and wasn't just a public benefit or amenity for the tenants.

No one else spoke, and Chairman Wyckoff closed the public comment session.

DECISION

The applicant said they would return for a future work session.

C. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street** (2 lots), wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

The applicants Brooks Slocum and Ryan Plummer were present to speak to the petition. Mr. Slocum said they separated the three buildings completely. He said the grade plan was different on the side buildings than on the center one, so the height could be played with. He said the condominium building would be in the middle and now faced Mill Pond instead of downtown, which would open up the view across the tracks and allow more of a street presence. He said the intent was to create another part of town like the Market Square area by placing the buildings next to each other. He said they shrunk the finger building and moved it over a bit and that they would create a walkway with a stairway at the end, which would be another avenue toward the town. He said the two layers of parking would be placed near only one building on the railroad tracks side and across the street from the Sheraton. He said the liner would have amenities and that they would try to get retail spaces. He said the finger building would become a smaller rental building with perhaps retail on the ground floor and that they planned to use different colors of brick so that the three buildings would look like six buildings.

Mr. Slocum said the road behind the building was a fire access road and access to the parking. Chairman Wyckoff noted the grade difference. Mr. Slocum said it was about 10-15 feet and all the parking on the ground floor was buried in the center building. It was further discussed. Chairman Wyckoff asked if the liner space was shallow retail space, nothing that many developments had retail spaces that were about 5,000 square feet and ended up vacant. Mr. Slocum said the space was 30 feet deep but long and could be manipulated, but the main problem was parking. Mr. Plummer said the spaces could be chopped up into smaller retail spaces. Vice-Chair Ruedig said that was a good idea, noting that the residents would need more amenities like coffee shops and so on. In response to Ms. Doering's questions, Mr. Slocum said the small park in the center building was on top of the parking and not open to the public. He said the small alleyway was a route at grade level and would be used to go into the buildings but was mainly a driveway. It was further discussed. Mr. Adams said the applicant did a great job of breaking the pieces up but was puzzled as to why the applicant was doing so much to make Portwalk Place

seem to fit in. Mr. Slocum said it was a great pedestrian connection. Mr. Ryan said the project was going in a good direction by getting a formal modernism with a base, middle, and top.

Public Comment

Elizabeth Bratter of 159 McDonough Street said the massing was helpful to envision how the development would fit into the corner. She said the applicant might want to consider the amount of reflective noise once the tunnel was created by the two structures. She suggested creating the community space along the railroad tracks instead of a large one in the middle of the three lots. She said having the commercial spaces on the bottom and first floors closer to the tracks would be better than stacking the condos, rentals, and commercial from the ground floor upward. She suggested stepping the side by the tracks to help with the noise or provide various views by doing an accordion stepping. She noted that there was very little parking in the north end and the likelihood of renting units might be low if public parking wasn't available, so she suggested adding some parking to the building on the corner of Russell Street and Maplewood Avenue.

Jerry Zelin said the massing of the building was what the opponents to Harborcorp's project recommended and that it had his full support. He thought it was great that there were two cut-throughs with three separate towers. He thanked the architects and their clients for their sensitivity to what was a proper massing for the project.

No one else spoke, and Chairman Wyckoff closed the public comment session.

DECISION OF THE COMMISSION

*Vice-Chair Ruedig moved to **continue** the work session to the February 2 meeting, and Mr. Brown seconded. The motion **passed** unanimously, 7-0.*

D. Work Session requested by **Steve & Cathy Ann Henson, owners**, for property located at **0 Maplewood Avenue**, wherein permission is requested to allow the construction of a new single family dwelling as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 3 and lies within the General Resident A (GRA) and Historic Districts.

Architect Michael Keane was present on behalf of the applicant, along with Michael Brown and the owner Steve Henson. Mr. Keane reviewed several changes, which included:

Sheet 1:

- The front storefront was changed to a granite material and the breezeway material matches the garage lean-to's material;
- The carriage house was lessened by a foot;
- A chimney was added to the main house and bigger windows added to the attic gables; and
- The grill patterns were changed to 6/1 and 8/1.

Sheet 2:

- Wood clap siding replaced Hardie Plank;
- Two windows were added to the crawl space;

- The brick was carried toward the back ell; and
- The gabled end of the back ell was changed to a hip roof.

Sheet 3:

- The attic window was changed to a larger one; and
- The carriage house back door was moved and the door location was replaced by a window.

Sheet 4:

- Muntin patterns changed from 2/2 to 8/1; and
- The dining room door was changed and a window was added to the kitchen.

Sheet 5:

- The cupola was lowered and reduced by about 30 percent.

Sheet 7:

- Fencing was added around the HVAC units in a few locations.

Sheet 9:

- Details were added for the top of the windows on the main house, wall sections, cornice eave, and front entrance.

Mr. Sauk-Schubert said the glazing above the door was too tall for the trim above it and suggested increasing the trim's height. Ms. Doering said the relationship between the two buildings was much better and didn't think a cupola was necessary. She said she was disappointed in the change to the entryway and the turn because it was a form of entryway that she would expect in a downtown house on Union Street that was right on the sidewalk, and she thought there was room in front of the house for it. She said the turn effect didn't go well with the house's style. She asked why PVC material was used on the window trim, especially so close to the street. Mr. Keane said PVC was easier to maintain and would be field painted. Ms. Doering said making the door trim wood and having a wooden door would look much better. She recommended that the screening for the mechanicals be Boral instead of PVC because PVC would look fake, even if it was painted. Mr. Ryan said he supported the massing, scale, and size and would keep the cupola. He said the rake returns seemed truncated but thought there just needed to be an extra step.

Vice-Chair Ruedig said the project was going in a much better direction and that she could take or leave the cupola. She noted that the façade windows and doorways weren't symmetrical and that it looked like the door and the window above it were a bit to the right or didn't line up right. The hip roof over the main entry was discussed. Chairman Wyckoff said heavier trim was needed over the door. He suggested moving the windows on the left-hand side of the first and second floors over to the left a bit. Vice-Chair Ruedig agreed and said the door and the window could also be moved into the center. It was further discussed. Mr. Brown said he liked the changes and thought the chimney made the cupola unnecessary. He said putting the door to the right of the driveway made more sense and agreed with the symmetry comments. Mr. Sauk-Schubert said the changes were fine. Chairman Wyckoff said he echoed everyone's comments and that having a cupola or not made no difference to him.

There was no public comment.

DECISION

The applicant said he would return for a public hearing.

VI. WORK SESSIONS (NEW BUSINESS)

1. **REQUEST TO POSTPONE**- Work Session requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts.

*It was moved, seconded, and passed by unanimous vote, 7-0, to **postpone** the work session to a future meeting.*

2. Work Session requested by **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission is requested to allow changes to a previously approved design (changes to the sunroom and roof design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts.

Architect Carla Goodnight was present on behalf of the applicant. Jake Weider of CJ Architects and David Calkins representing the owner were also present. Ms. Goodnight said they were operating under the current HDC approval that was granted to the prior owner. She said the new owners purchased the historic structure in 2021 and were working with the Planning Department and a structural engineering company and interviewing historic preservation experts. She said the team was primarily focused on the mansion because the owners were eager to move in. She said the previously-approved modifications were what the new owners wanted to do, except that the round room built in the 1980s wasn't built well, so they wanted to redo it as a Phase II process.

Ms. Goodnight reviewed the petition. She said some of the shutters were falling off and that they were trying to find out how old they were. She said they intended to restore the windows and repair the siding as well as retain all the details. She said they wanted to reconstruct the round porch room with a real foundation and modern living qualities. She noted that there was a corrective sheet on the previous approval since there were some items that weren't noted on the building plans, like the existing chimney, skylights, and dormers. She said they wanted to remove the bay window and back door and fix the porch, all items that weren't historic. She said some selective demolition was started and that their structural engineer found a number of significant framing issues affecting the building, so a lot of work needed to be done.

Mr. Calkins said he managed all of the owners' properties and acted as their construction manager. He said he house's exterior had been neglected and that they were consulting with a few companies on how to preserve the windows and restore the house. He noted that some Commission members were invited to see the inside of the house. Ms. Goodnight said the first floor system needed to be replaced because it was rotted but the foundation was still in good shape. She said the annex needed work and didn't have the foundation stability that the mansion did. She said it was added lower than the other roofline and main timber frames were cut, so now there was significant sagging and the first floor would probably have to be excavated, suspended,

and reframed. Mr. Adams said if the annex was raised so that the roof intersected with the main roof, it would free up the top two windows but would impinge on the center doghouse former on the center of the roof. Ms. Goodnight said it was collapsing in that area and didn't know if it was salvageable. Vice-Chair Ruedig said the annex ell addition was built in the 1860s and was in itself a very historic element of the house, and to raise it up or move it would destroy that part of its history. It was further discussed. Ms. Goodnight said if they could preserve the dormer, they'd have to rebuild it anyway, and the first floor had to be rebuilt because it was rotted. Ms. Doering asked why the applicant would want to go through so much trouble to preserve the annex's physical structure instead of doing other things. Vice-Chair Ruedig said the interior was shot but the exterior had a beautiful curve and there was still plenty of historic and structural integrity on it. She asked if its shell would be literally lifted up and propped up more to make everything else line up. Ms. Goodnight said they wouldn't do it if they hadn't already detached three quarters of it. She said the last quarter would come up 30 inches and wouldn't change any of the façade, and the first floor would be flush with the original but the second and third floors could stay where they were. Chairman Wyckoff asked how the first floor would be framed on top of a foundation that was 30 inches higher. Ms. Goodnight said the new first floor would get 30 inches taller. Mr. Adams said taking the building apart like that would mean pulling the exterior skin off and resheathing it. It was further discussed. Chairman Wyckoff said there were several other options and Ms. Doering agreed. She said she would support the raising and retrofitting if it helped preserve the main building's integrity, and she'd be in favor of taking the annex down and preserving the moldings and so on, but if it was redone, the material and the quality had to be ones that should have been done originally. It was further discussed.

There was no public comment.

DECISION

*Vice-Chair Ruedig moved to **continue** the work session to the February 2 meeting, and Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

VII. ADJOURNMENT

The meeting was adjourned at 9:55 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

Historic District Commission

Staff Report – February 2nd, 2022

February 2nd MEETING

Administrative Approvals:

- | | |
|----------------------------------|----------------------|
| 1. 500 Market St. (LUHD-420) | - Recommend Approval |
| 2. 160 Court St. (LUHD-411) | - Recommend Approval |
| 3. 475 Marcy St. (LUHD-413) | - Recommend Approval |
| 4. 40 Bridge St. (LUHD-429) | - Recommend Approval |
| 5. 145 Maplewood Ave. (LUHD-431) | - Recommend Approval |

PUBLIC HEARINGS – NEW BUSINESS:

1. 0 Maplewood Ave. (LU-22-4) (new single family)
2. 0 Market Street (LU-22-3) (new HVAC equipment)

PUBLIC HEARINGS – OLD BUSINESS:

1. 64 Vaughan St. (LU-21-214) (storefront alterations)

WORK SESSIONS – OLD BUSINESS:

- A. 1 Raynes Ave. (LUHD-234) (two new mixed-use buildings)
- B. 2 Russell / 0 Deer St. (LUHD-366) (2 new buildings)
- C. 129 State St. (LUHD-414) (façade alterations & dormers)
- D. 179 Pleasant St. (LUHD-416) (modifications to previous)

February 9th MEETING

WORK SESSIONS – NEW BUSINESS:

1. 92 Pleasant St. (LUHD-422) (modifications to storefront)
2. 1 Congress St. (LUHD-425) (new construction)
3. 445 Marcy St. (LUHD-424) (new single family)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: February 2nd & 9th
APPLICATIONS: 15

Historic District Commission

Project Address: 0 MAPLEWOOD AVE. (LU-22-3)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #1

A. Property Information - General:

Existing Conditions:

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 10,890 SF +/-
- Estimated Age of Structure: NA
- Building Style: Contemporary
- Number of Stories: 2.5
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood Ave.
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To construct a new single family structure.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave. and North School Street in the Christian Shore neighborhood. It is surrounded with many contributing historic structures on a narrow street with buildings along the street with no front yard setbacks, shallow side yards and deeper rear yards.

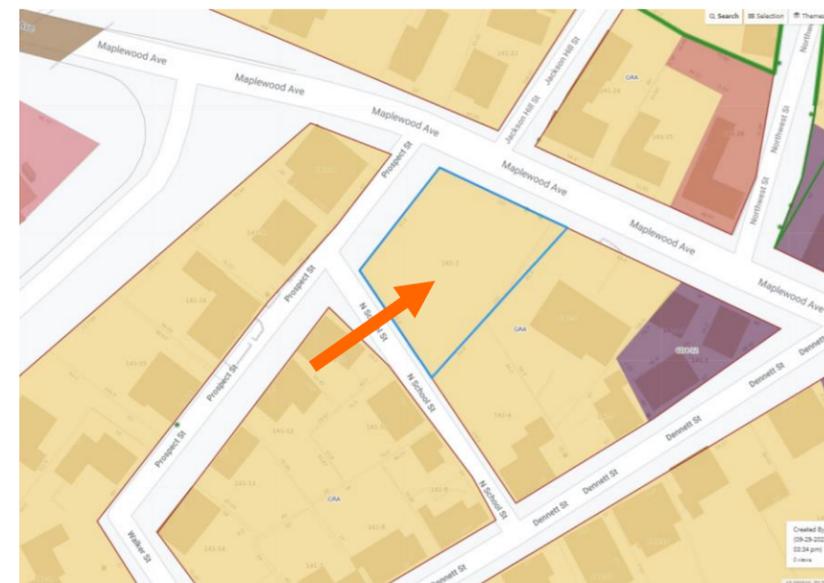
J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Construct a new single family house on a vacant lot.
 - As requested, the applicant has revised the building elevations to addressing the massing and detail concerns expressed at the previous work session. The cupola has been reduced in scale, a chimney added, entryway revised and lighting added.

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

0 MAPLEWOOD AVE. (LU-22-3) – PUBLIC HEARING #1 (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - CONSTRUCT A NEW SINGLE FAMILY RESIDENCE ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 0 MAPLEWOOD AVE. Case No.: 1 Date: 2-2-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 0 MARKET ST. (LU-22-4)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

A. Property Information:

Existing Conditions:

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 10,890 SF +/-
- Estimated Age of Structure: NA
- Building Style: Contemporary
- Number of Stories: 2.5
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood Ave.
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To replace HVAC equipment and roof membrane.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The single-story building is located between Market and Ceres Streets and is directly across from the historic Moffat-Ladd House and Garden. It is surrounded with many contributing historic structures and provides views to the waterfront across the roof structure.

J. Staff Comments and/ or Suggestions for Consideration:

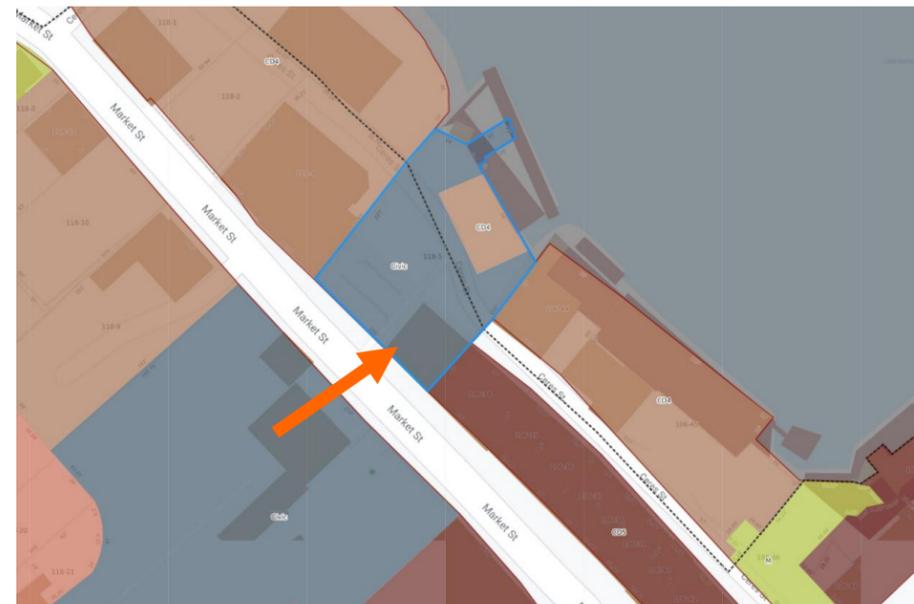
- The applicant is proposing to:
 - Replace some mechanical equipment on the roof; and
 - Replace the rubber roof membrane.
 - Note that no screening is proposed.

Design Guideline Reference – Guidelines for Roofing (04) and Site Elements and Streetscapes (09).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

0 MARKET ST. (LU-22-4) – PUBLIC HEARING #2 (MINOR PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - REPLACE ROOF AND HVAC EQUIPMENT ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 0 MARKET STREET Case No.: 2 Date: 2-2-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 64 VAUGHAN MALL (LU-20-214)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #A

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 15,242 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Vernacular Commercial
- Historical Significance: C
- Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To revise roof atrium and deck.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The building is currently being renovated to support a commercial office use.

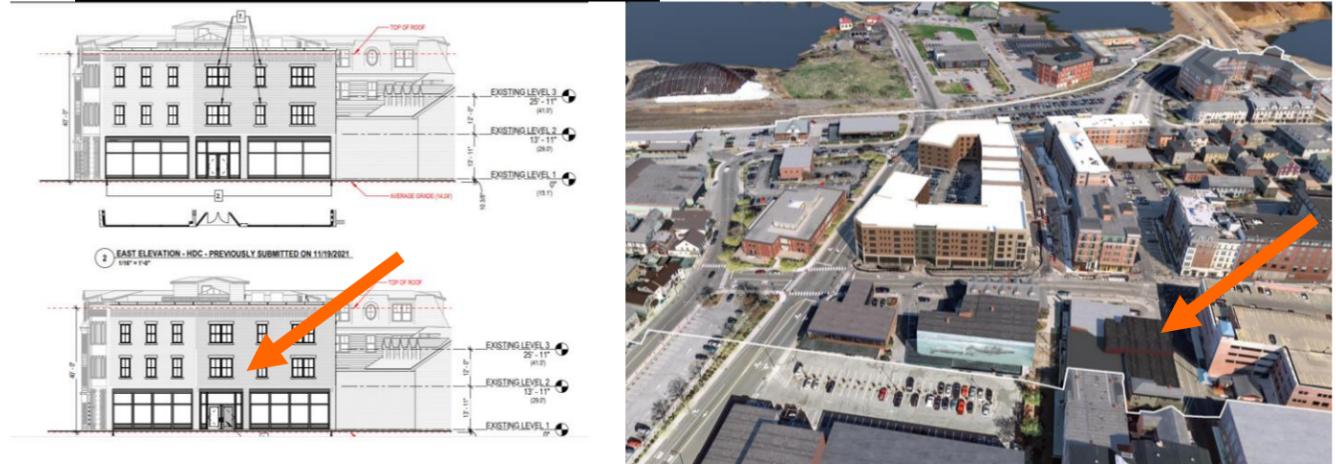
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

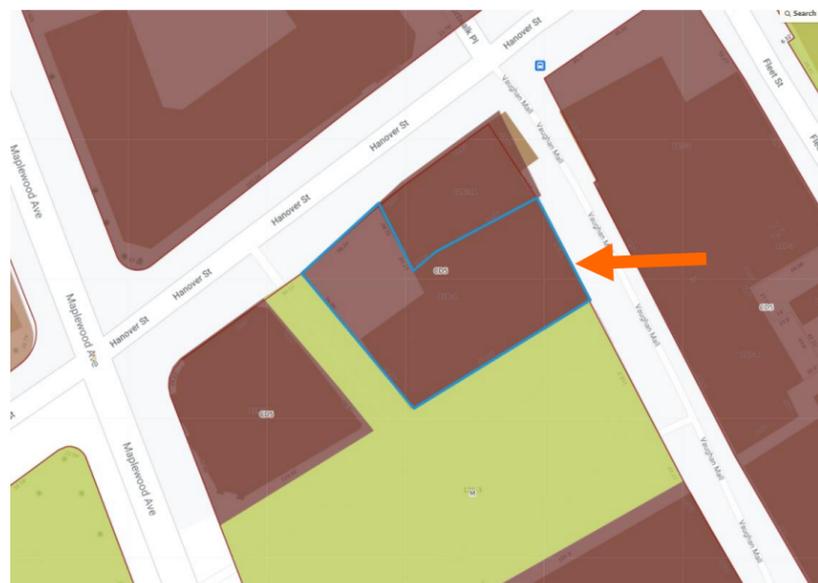
- The applicant is requesting to make changes to the storefront only and will return to the Commission at a subsequent meeting for the roof top atrium. The modifications to the storefront relate to comments from the Commission regarding the spacing of the entryway and division between the two abutting buildings.

Design Guideline Reference – Guidelines for Windows and Doors (08) and Commercial Development and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

64 VAUGHAN MALL (LU-21-214) – PUBLIC HEARING #A (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – MODIFY STOREFRONT SYSTEM ONLY –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
39 Lighting (i.e. street, building...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
40 Accessory Buildings (i.e. sheds, greenhouses...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 64 VAUGHAN MALL Case No.: A Date: 2-2-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 1 & 31 RAYNES AVE. (LUHD-234)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #A

Existing Conditions:

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: Contemporary
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To construct a 4-5 story mixed-use building(s).

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- **NOTE THAT THE APPLICANT HAS REQUESTED A CONTINUANCE TO THE 3-2-22 MEETING.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

1 & 31 RAYNES AVE. (LUHD-234) – WORK SESSION #A (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT - Construct two 5-Story Mixed-Use Buildings Only -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 1 & 31 Raynes Ave. Case No.: A Date: 2-2-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 2 RUSSELL & 0 DEER ST (LUHD-366)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #B

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Vacant /Parking
- Land Area: 85,746 SF +/-
- Estimated Age of Structure: NA
- Building Style: NA
- Number of Stories: NA
- Historical Significance: NA
- Public View of Proposed Work: View from Deer & Russell Streets & Maplewood Ave.
- Unique Features: Surface Parking Lot
- Neighborhood Association: North End

B. Proposed Work: To construct 4-5 story, mixed-use buildings.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

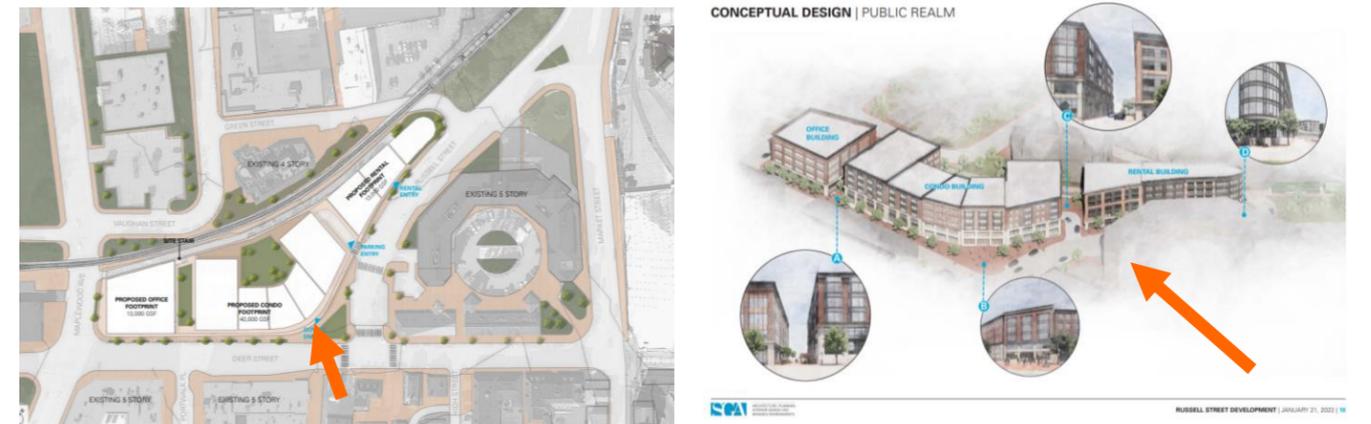
I. Neighborhood Context:

- The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots with little to no setback from the sidewalk.

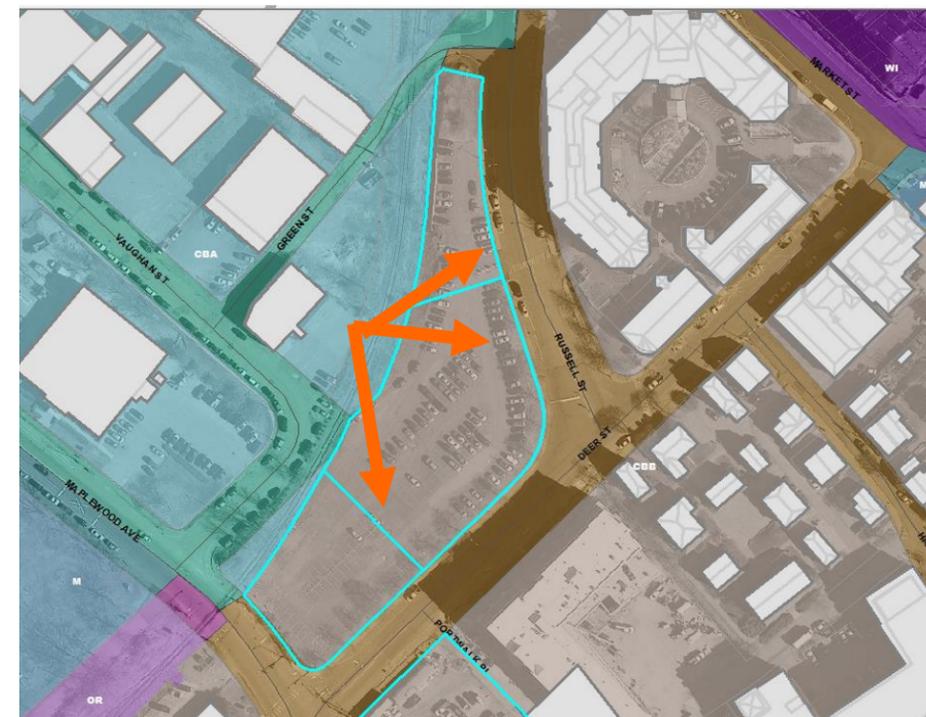
J. Staff Comments and/ or Suggestions for Consideration:

- THE APPLICANT HAS SUBMITTED BUILDING ELEVATIONS SHOWING A VARIETY OF ARCHITECTURAL ELEMENTS TO BREAK UP THE MASS OF THE LARGER BUILDING INTO SMALL, MORE TRADITIONALLY SPACED BUILDINGS.
- IN ADHERENCE TO THE 4-STEP DESIGN PROCESS, THE COMMISSION SHOULD ASSESS AND PROVIDE FEEDBACK ON THE PROPOSED FAÇADE TREATMENTS, MASSING, AND THE RELATIONSHIP OF THE TRANSITIONARY SPACES ALONG THE SIDEWALK AND PROPOSED COMMUNITY SPACES WITH THE BUILDINGS.

L. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map



2 RUSSELL & 0 DEER STREET (LUHD-366) – WORK SESSION #B (MAJOR PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT - CONSTRUCT 4-5-STORY, MIXED-USE BUILDINGS ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 2 RUSSELL & 0 DEER ST. Case No.: B Date: 2-2-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 129 STATE ST. (LUHD-414)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #C

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Single Family
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c1815
- Building Style: Federal
- Number of Stories: 3.0
- Historical Significance: NA
- Public View of Proposed Work: View from State and Sheafe Streets
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To add dormers, modify rear additions and rooflines.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

K. Neighborhood Context:

- The new building is located along lower State Street and is surrounded with many contributing historic structures with uniform cornice heights and federal architectural design. The buildings are fronting directly along the street with no front yard setbacks and, where available, have shallow side or rear yards.

L. Staff Comments and/ or Suggestions for Consideration:

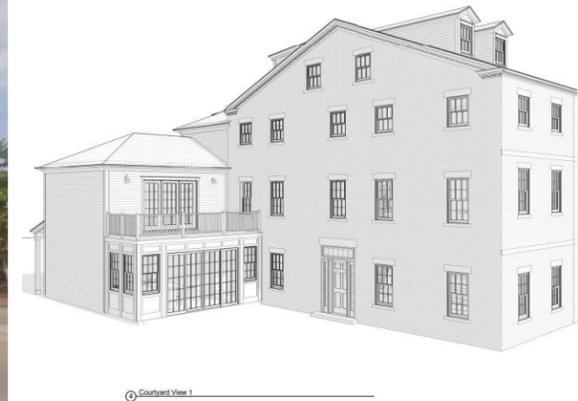
- The applicant is proposing to:
 - Add dormers to the main historic building.
 - Make significant modifications to the rear additions.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

M. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

129 STATE ST. (LUHD-414) – WORK SESSION #C (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - ADD DORMERS AND MODIFY REAR ADDITIONS & ROOFLINES ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 129 STATE STREET Case No.: C Date: 2-3-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 179 PLEASANT STREET (LUHD-416)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #D

A. Property Information - General:

Existing Conditions:

- Zoning District: MRO
- Land Use: Single-Family
- Land Area: 32,410 SF +/-
- Estimated Age of Structure: c.1860
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: View from Pleasant Street
- Unique Features: Thomas Thompson House
- Neighborhood Association: South End

B. Proposed Work: To modify prior approval from 10-2-19.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

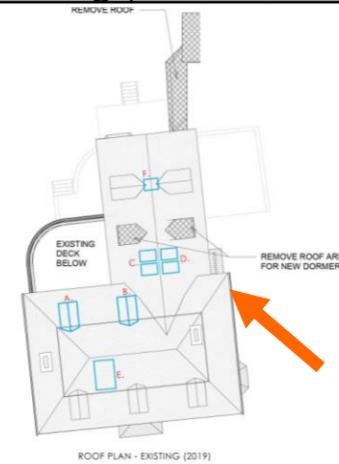
- This focal historic structure is located along Pleasant Street and sits at the terminal vista of Junkins Ave. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to revise the previous approval for the following items:
 - Remove an angle bay window on the rear elevation.
 - Redesign single story porch addition.
 - Make major modifications and repairs to the rear addition, basement, and the attic level of the main house.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

179 PLEASANT STREET (LUHD-416) – WORK SESSION #D (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT – SUBSTANTIAL RENOVATIONS TO THE MAIN BUILDING AND REAR ADDITION –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
	CONTEXT	8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 179 PLEASANT STREET Case No.: D Date: 2-3-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

L. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 92 PLEASANT ST. (LUHD-422)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Mixed-Use
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c. 1880
- Building Style: Colonial Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from Court and Pleasant St.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To replace windows, add a balcony and doors.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

M. Neighborhood Context:

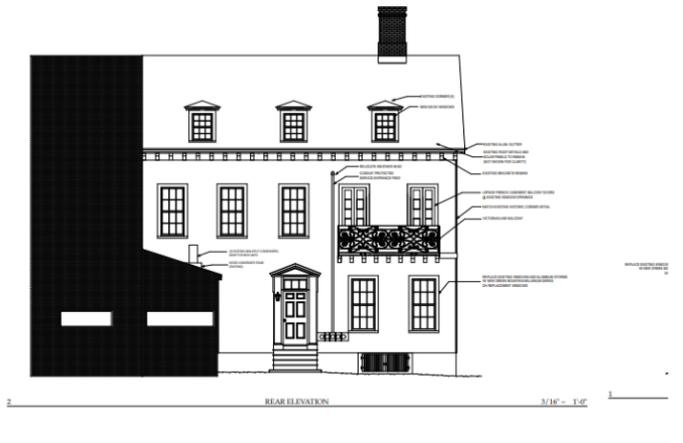
- The new building is located along Court and Pleasant Streets in the Downtown neighborhood. It is surrounded with many multi-storied, contributing historic structures on a narrow street with buildings located directly along the street with no front or side yard setbacks.

N. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Replace the existing windows and aluminum storm windows.
 - Add a balcony on the second floor of the rear elevation.
 - Add doors to access the balcony.

• **Design Guideline Reference – Guidelines for Exterior Windows & Doors (08), and Porches, Steps and Decks (06)**

N. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

92 PLEASANT ST. (LUHD-422) – WORK SESSION #1 (MINOR PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - REPLACE WINDOWS, ADD A BALCONY AND DOORS ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 92 PLEASANT ST. Case No.: 1 Date: 2-9-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 1 CONGRESS ST. (LUHD-425)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #2

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4& CD5
- Land Use: Commercial
- Land Area: 13,940 SF +/-
- Estimated Age of Structure: c1860 & 1892
- Building Style: Italianate & Richardsonian Romanesque
- Number of Stories: 3 & 3.5
- Historical Significance: Contributing (1860) & Focal (1892)
- Public View of Proposed Work: View from Congress and High Streets
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To renovate the existing buildings and add a new 3-story building.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located market square and High Street with many contributing historic structures. The building front directly along the street with no front yard or side yard setbacks. The abutting parking lot previous had a three-story wood-frame hotel building.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Make significant renovations to the existing historic structures and add a three-story addition to fill the existing surface parking lot.
 - The project also proposes improvements to Haven Court as a pedestrian alleyway connecting to Fleet Street.

• **Design Guideline Reference – Guidelines for Commercial Development and Storefronts (12)**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

1 CONGRESS ST. (LUHD-425) – WORK SESSION #2 (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT					
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)				
STAFF	No.	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)							
	1	Gross Floor Area (SF)		MAJOR PROJECT ALTERATIONS TO EXISTING HISTORIC BUILDINGS & ADD A THREE-STORY BUILDING							
	2	Floor Area Ratio (GFA/ Lot Area)									
	3	Building Height / Street-Width (ROW) Ratio									
	4	Building Height – Zoning (Feet)									
	5	Building Height – Street Wall / Cornice (Feet)									
	6	Number of Stories									
	7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS					
		8	Scale (i.e. height, volume, coverage...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		9	Placement (i.e. setbacks, alignment...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		10	Massing (i.e. modules, banding, stepbacks...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS		11	Architectural Style (i.e. traditional – modern)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			12	Roofs				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			13	Style and Slope				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			14	Roof Projections (i.e. chimneys, vents, dormers...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			15	Roof Materials				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			16	Cornice Line				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			17	Eaves, Gutters and Downspouts				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			18	Walls				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			19	Number and Material				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			20	Projections (i.e. bays, balconies...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			21	Doors and windows				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			22	Window Openings and Proportions				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			23	Window Casing/ Trim				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			24	Window Shutters / Hardware				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			25	Storm Windows / Screens				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			26	Doors				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			27	Porches and Balconies				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			28	Projections (i.e. porch, portico, canopy...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			29	Landings/ Steps / Stoop / Railings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			30	Lighting (i.e. wall, post...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			31	Signs (i.e. projecting, wall...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			32	Mechanicals (i.e. HVAC, generators)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			33	Decks				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			34	Garages / Barns / Sheds (i.e. doors, placement...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			SITE DESIGN		35	Fence / Walls / Screenwalls (i.e. materials, type...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
					36	Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
					37	Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
					38	Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
					39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
					40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 1 CONGRESS ST. Case No.: 2 Date: 2-9-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 445 MARCY STREET (LUHD-424)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #3

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 14,810 SF +/-
- Estimated Age of Structure: NA
- Building Style: NA
- Number of Stories: 2.5
- Historical Significance: NA
- Public View of Proposed Work: View from Pray and Marcy Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To add a single family residence.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

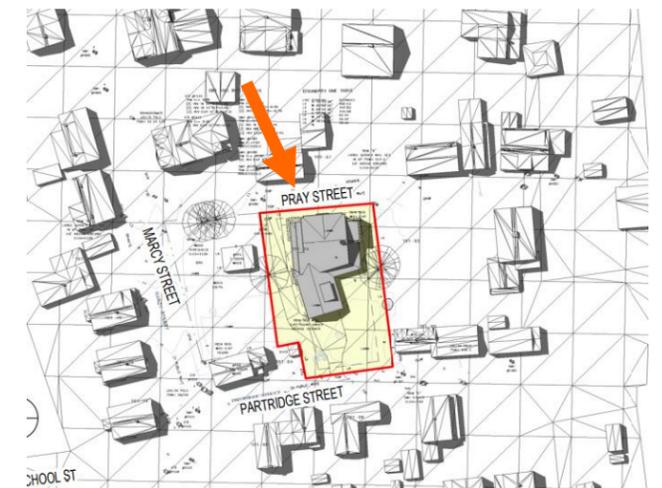
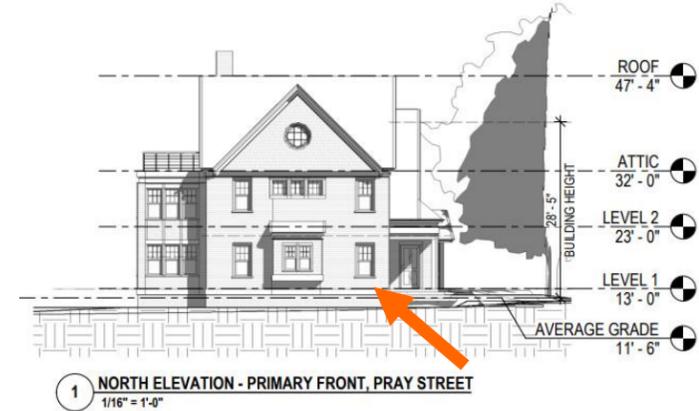
- This proposed structure is located along Pray Street and will be surrounded with many wood-sided, 2.5- story contributing historic structures. Most buildings have a shallow front- and side-yard setbacks and deeper but still relatively compact rear yards.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to revise the previous approval for:
 - Adding a new single family structure on the lot where previous a historic structure was located.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NA

445 MARCY STREET (LUHD-424) – WORK SESSION #3 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT – ADD A NEW SINGLE FAMILY STRUCTURE ONLY –</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
 PORTSMOUTH HISTORIC DISTRICT COMMISSION
 PROPERTY: 445 MARCY STREET Case No.: 3 Date: 2-9-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

L. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

HDC

ADMINISTRATIVE APPROVALS

February 02, 2022

1. 500 Market Street, Unit 7 (LUHD-420) -Recommended Approval
2. 160 Court Street (LUHD-421) -Recommended Approval
3. 475 Marcy Street (LUHD-430) -Recommended Approval
4. 40 Bridge Street, Unit 101 (LUHD-429) -Recommended Approval
5. 145 Maplewood Avenue (LUHD-431) -Recommended Approval

1. 500 Market Street, Unit 7 - Recommended Approval

Background: The applicant is seeking approval for the removal of an existing exhaust vent and the addition of two new mechanical louvers.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



01/28/2022

LUHD-420

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Jan 4, 2022**Applicant**

Richard Desjardins
 richard@mchenryarchitecture.com
 4 Market Street
 Portsmouth, NH 03801
 603-430-0274

Location

500 MARKET ST Unit 7
 Unit 7
 Portsmouth, NH 03801

Owner:

EW 500 MARKET LLC
 520 SOUTH ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Removal of existing exhaust vent, add two new mechanical louvers (12"x12" and 12"x18") to achieve mechanical code ventlation needs.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Richard Desjardins

Business Name (if applicable)

McHenry Architecture

Mailing Address (Street)

4 Market Street

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

(603) 430-0274

Email Address

richard@mchenryarchitecture.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

AW WILSON PLASTIC SURGERY: OFFICE RENOVATIONS

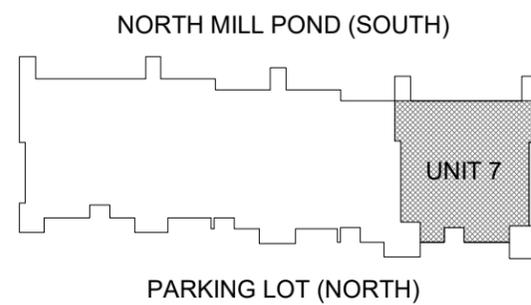
Historic District Commission Administrative Approval - February 2022, Portsmouth, New Hampshire

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

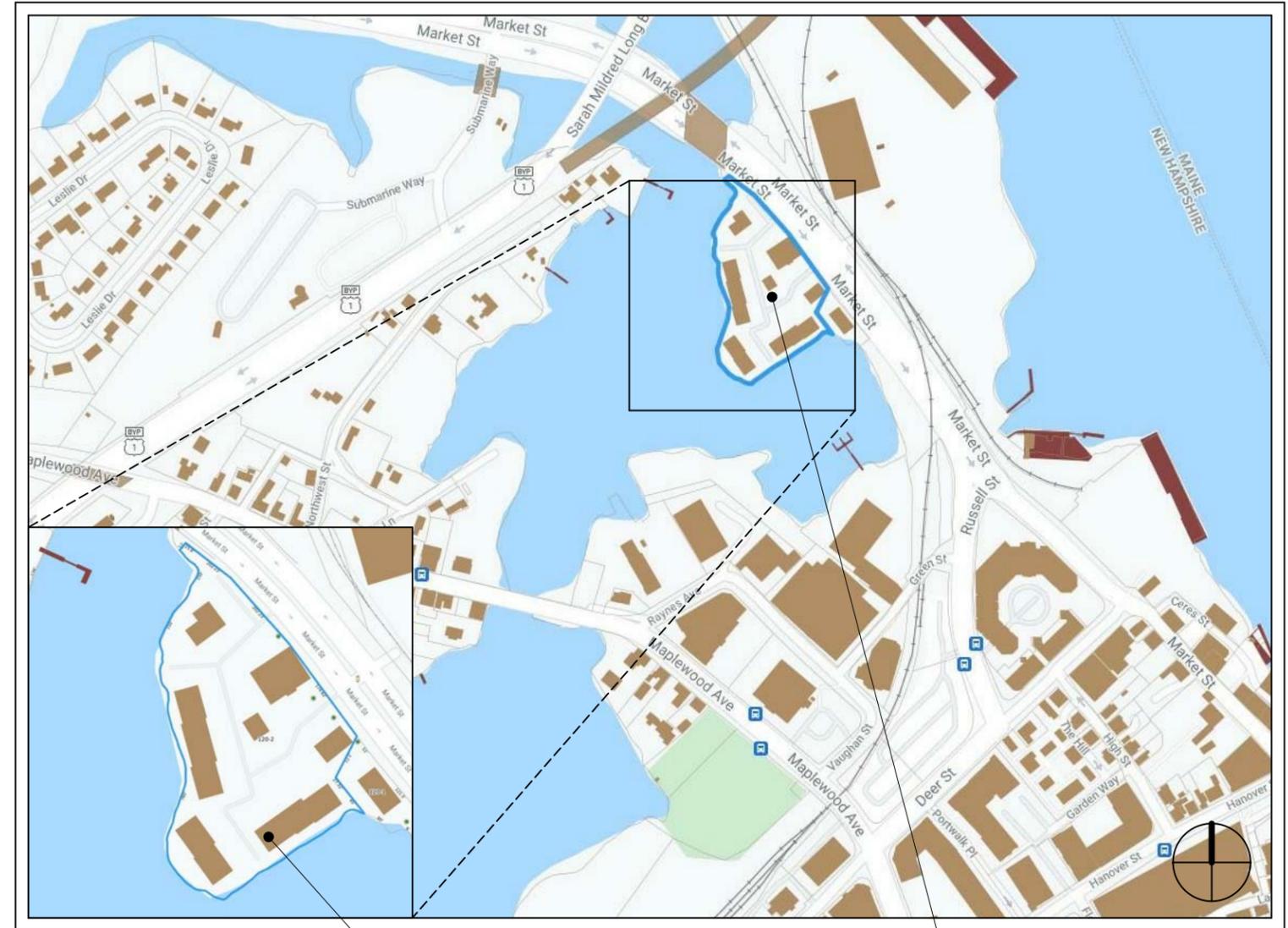
- REMOVAL OF EXISTING EXHAUST VENT, MATCH INFILL SIDING IN KIND
- ADD TWO LOUVERS (ONE EXHAUST AND ONE INTAKE) FOR MECHANICAL CODE REQUIRED AIR EXCHANGE FOR A BUSINESS USE

HDC SHEET LIST	
Sheet Number	Sheet Name
C	COVER
A1	EXISTING IMAGES
A2	FLOOR PLAN
A3	INTAKE LOUVER (SOUTH)
A4	EXHAUST LOUVER (WEST)
A5	LOUVER CUT SHEETS



BUILDING KEY PLAN

1" = 50'-0"



500 MARKET STREET, UNIT 7
PORTSMOUTH, NH 03801

LOCUS MAP

500 MARKET STREET
PORTSMOUTH, NH 03801

© 2021 McHenry Architecture

OFFICE RENOVATIONS

500 MARKET STREET, UNIT 7
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

C

12/23/2021
McHA: RD / MG
AS INDICATED

Locus



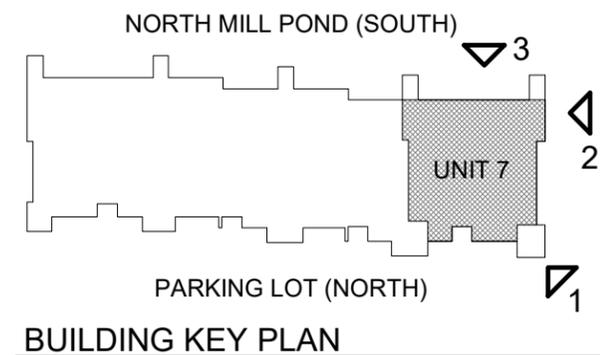
1 NORTH WEST CORNER OF UNIT 7



2 WEST ELEVATION OF UNIT 7



2 SOUTH ELEVATION OF UNIT 7



© 2021 McHenry Architecture

OFFICE RENOVATIONS

500 MARKET STREET, UNIT 7
PORTSMOUTH, NH 03801

EXISTING IMAGES

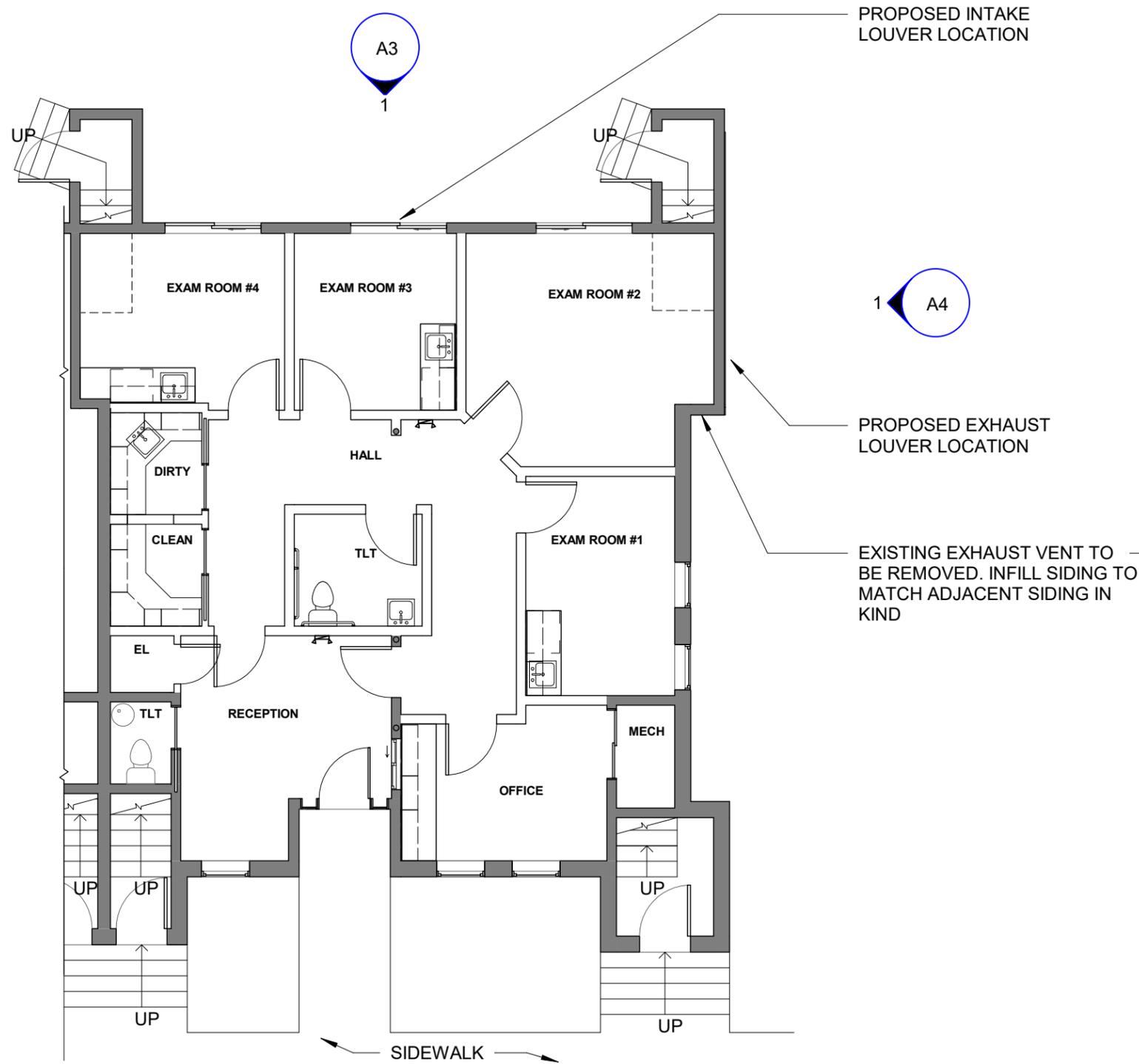
HISTORIC DISTRICT COMMISSION

McHENRY ARCHITECTURE

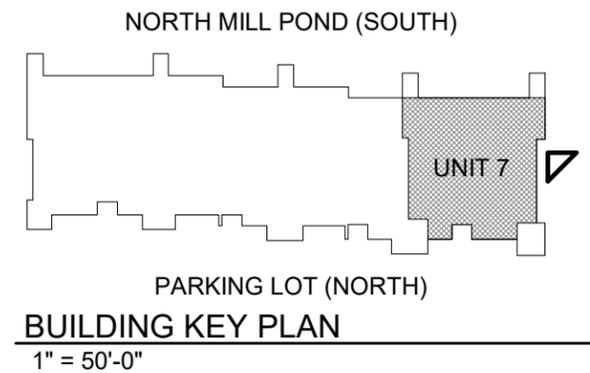
4 Market Street
Portsmouth, New Hampshire

A1

12/23/2021
McHA: RD / MG
NOT TO SCALE



EXISTING IMAGE OF WEST ELEVATION



1 FIRST FLOOR PLAN
1/8" = 1'-0"

© 2021 McHenry Architecture

OFFICE RENOVATIONS

500 MARKET STREET, UNIT 7
PORTSMOUTH, NH 03801

FLOOR PLAN

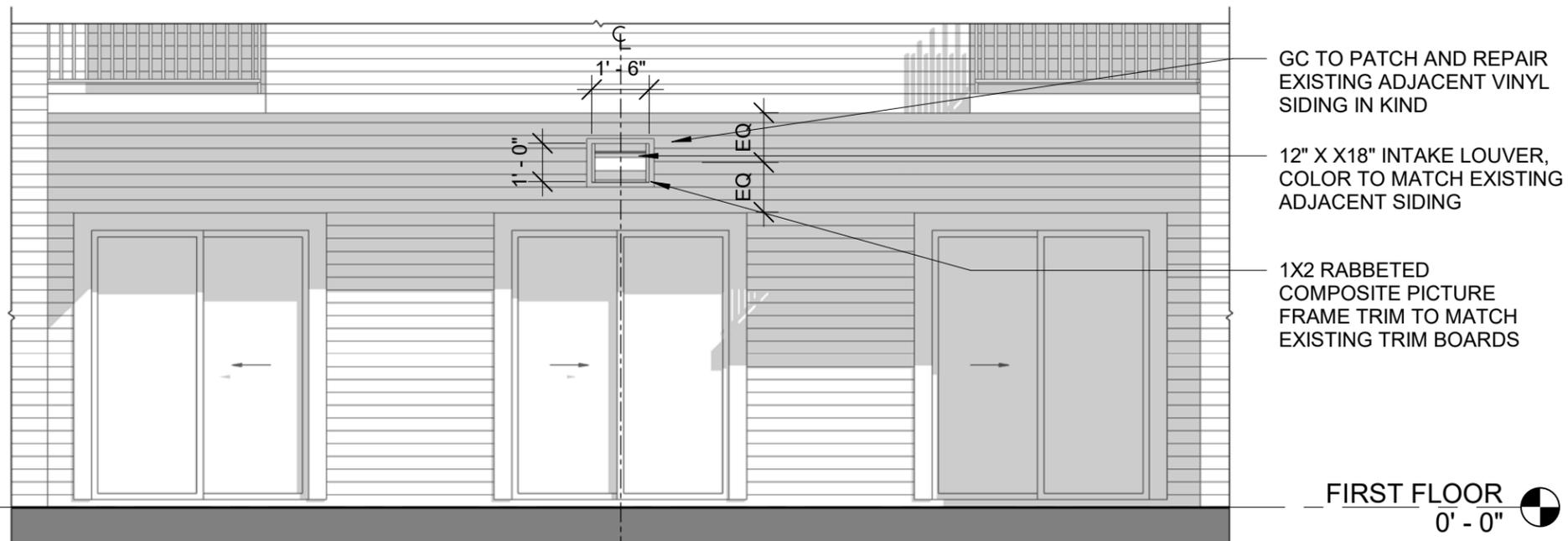
HISTORIC DISTRICT COMMISSION

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A2

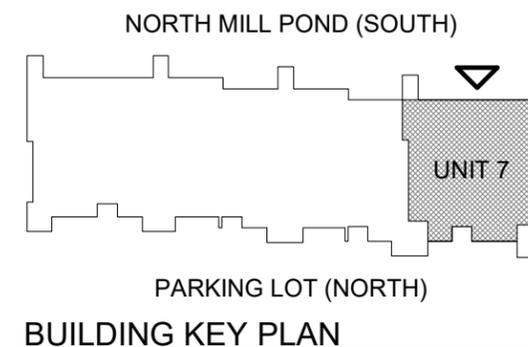
12/23/2021
McHA: RD / MG
AS INDICATED



1 ELEVATION AT INTAKE LOUVER (SOUTH)
1/4" = 1'-0"



PROPOSED LOCATION FOR INTAKE LOUVER



2 PROPOSED LOCATION FOR INTAKE LOUVER (SOUTH)

© 2021 McHenry Architecture

OFFICE RENOVATIONS

500 MARKET STREET, UNIT 7
PORTSMOUTH, NH 03801

INTAKE LOUVER (SOUTH)

HISTORIC DISTRICT COMMISSION

McHENRY ARCHITECTURE

4 Market Street

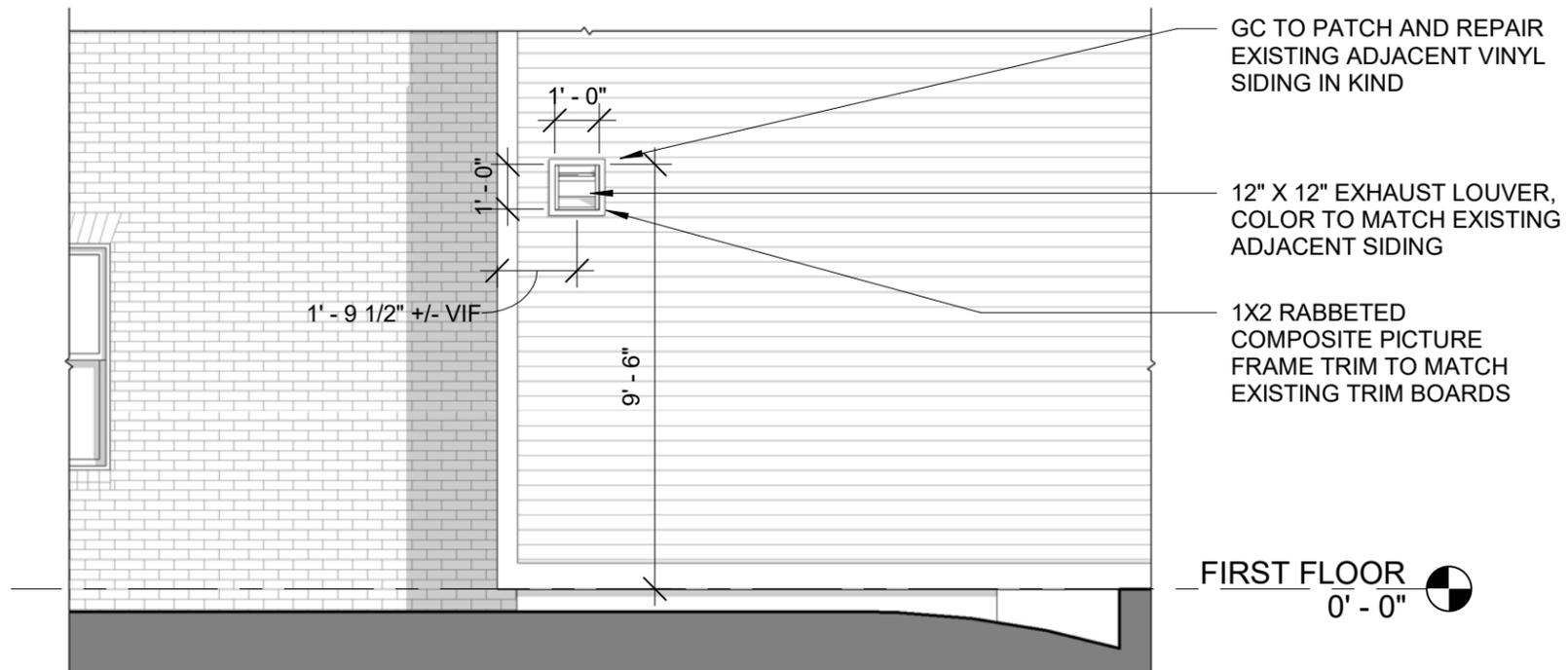
Portsmouth, New Hampshire

A3

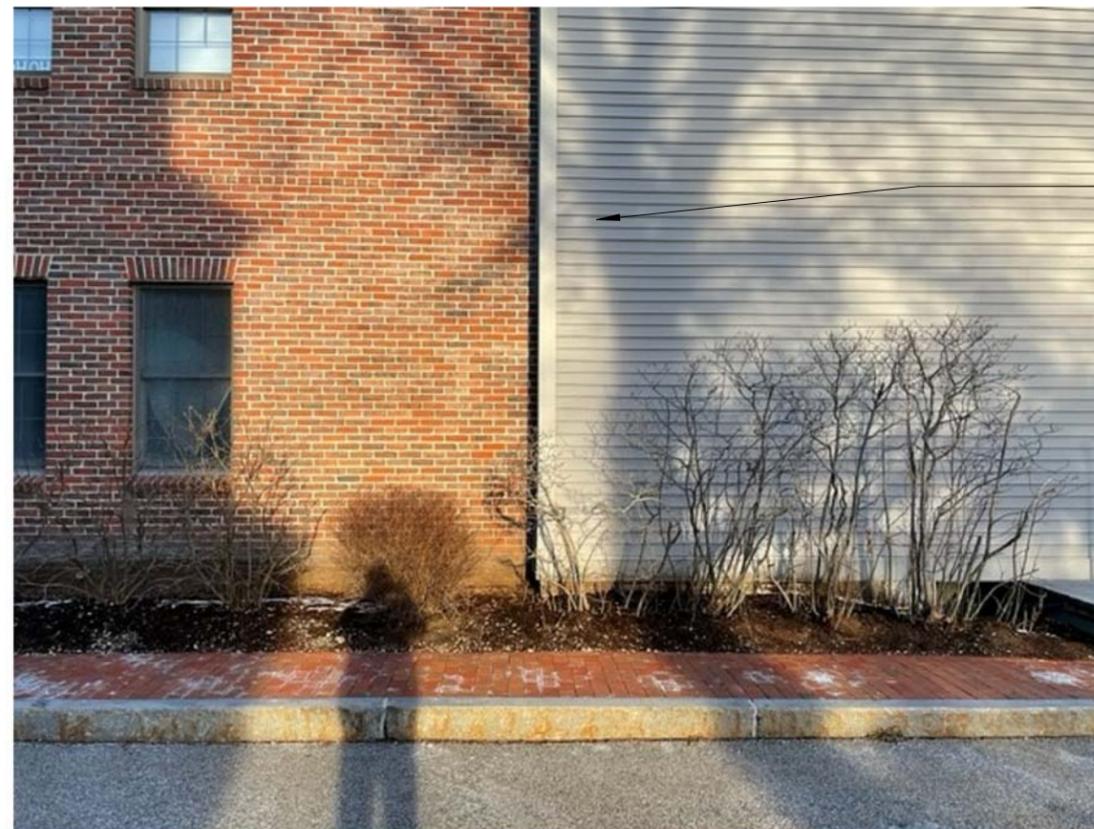
12/23/2021

McHA: RD / MG

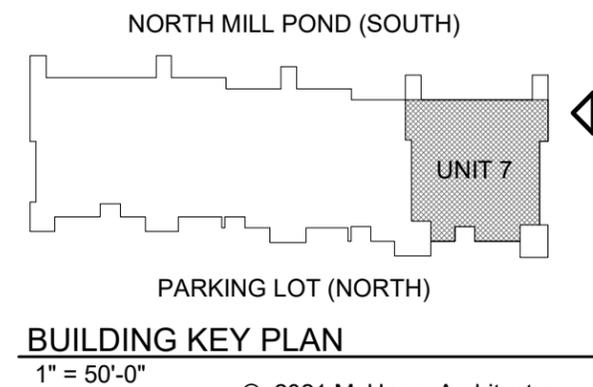
AS INDICATED



1 ELEVATION AT EXHAUST LOUVER (WEST)
1/4" = 1'-0"



2 PROPOSED LOCATION FOR EXHAUST LOUVER (WEST)



OFFICE RENOVATIONS

500 MARKET STREET, UNIT 7
PORTSMOUTH, NH 03801

EXHAUST LOUVER (WEST)

HISTORIC DISTRICT COMMISSION

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

A4

12/23/2021

McHA: RD / MG

AS INDICATED

Model: ESD-435-18x12

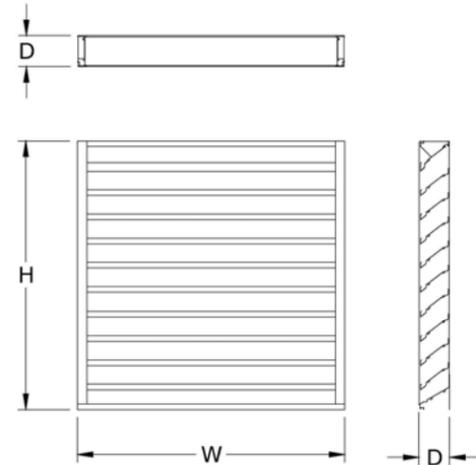
4 in. Drainable Blade Louver

Certifications/special requirements: AMCA-500-L (Air), AMCA-500-L (Water)

Construction	
Material	All
Blade Type	All
Blade Orientation	Horizontal
Weight (lbs)	5
Mullion Type	No Preference

Dimensional	
Nominal Width (in)	18
Nominal Height (in)	12
Actual Width (in)	17.75
Actual Height (in)	11.75
Blade Depth (in)	4
Sections Wide	1
Sections High	1

Performance	
Application	Intake
Volume (CFM)	200
Pressure Drop (in. wg)	0.03
Free Area Velocity (ft/min)	412
Free Area (ft ²)	0.5
Air Density (lbs/ft ³)	0.075



*Louvers are tested to figure 5.5-6.5
*Sections wide x high are as configured with a base mill finish channel frame product and may vary depending on options selected.



Greenheck Fan Corporation certifies that the louver shown herein is licensed to bear the AMCA Seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 511 and comply with the requirements of the AMCA Certified Ratings Program. The AMCA Certified Ratings Seal applies to air performance and water penetration ratings.

1 INTAKE LOUVER (SOUTH)

Model: ESD-435-12x12

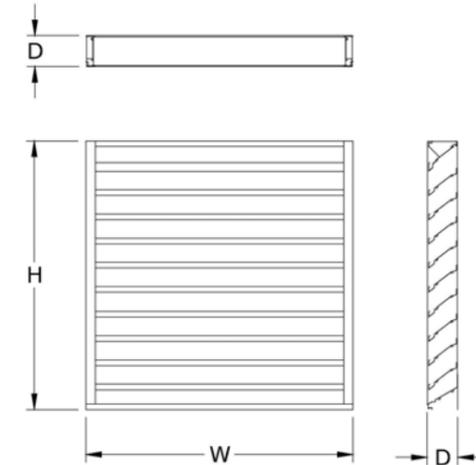
4 in. Drainable Blade Louver

Certifications/special requirements: AMCA-500-L (Air), AMCA-500-L (Water)

Construction	
Material	All
Blade Type	All
Blade Orientation	Horizontal
Weight (lbs)	3
Mullion Type	No Preference

Dimensional	
Nominal Width (in)	12
Nominal Height (in)	12
Actual Width (in)	11.75
Actual Height (in)	11.75
Blade Depth (in)	4
Sections Wide	1
Sections High	1

Performance	
Application	Exhaust
Volume (CFM)	200
Pressure Drop (in. wg)	0.06
Free Area Velocity (ft/min)	680
Free Area (ft ²)	0.3
Air Density (lbs/ft ³)	0.075



*Louvers are tested to figure 5.5-6.5
*Sections wide x high are as configured with a base mill finish channel frame product and may vary depending on options selected.



Greenheck Fan Corporation certifies that the louver shown herein is licensed to bear the AMCA Seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 511 and comply with the requirements of the AMCA Certified Ratings Program. The AMCA Certified Ratings Seal applies to air performance and water penetration ratings.

2 EXHAUST LOUVER (WEST)



3 COLOR TO MATCH SIDING (TBD)

2. 160 Court Street - Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (exterior egress staircase).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



01/28/2022

LUHD-421

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Jan 13, 2022**Applicant**

Carla Goodknight
 carla@cjarchitects.net
 233 Vaughan Street
 Suite 101
 Portsmouth, NH 03801
 6034312808

Location

160 COURT ST
 Portsmouth, NH 03801

Owner:

PORTSMOUTH HOUSING AUTHORITY
 245 MIDDLE ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Minor exterior egress stair revision.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project	
Architect	
If you selected "Other", please state relationship to project.	
--	
Full Name (First and Last)	Business Name (if applicable)
Carla	CJ Architects
Mailing Address (Street)	City/Town
233 Vaughan Street	Portsmouth
State	Zip Code
New Hampshire	03801
Phone	Email Address
603 431 2808	carla@cjarchitects.net

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



City of Portsmouth
Historic District Commission & Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

January 13, 2022

160 Court Street - HDC Application for Amended Approval

We respectfully submit this Application for Amended Approval for the 160 Court Street project.

- 1) Remove PVC lattice at underside of stair to allow planter to extend below.
- 2) Extend previously approved column wraps below stair to cover support posts.

Please refer to the attached drawings for more information on this proposed amendment.

Thank you for your consideration.
Sincerely,

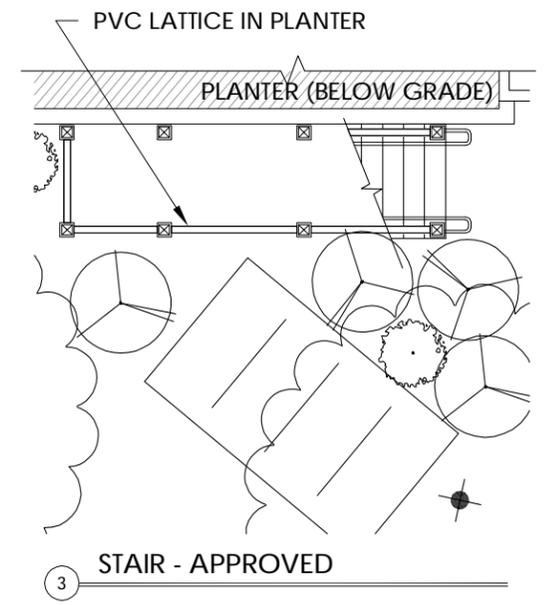
A handwritten signature in black ink, appearing to read 'Cn', with a long horizontal flourish extending to the right.

Carla Goodknight, AIA
Principal, CJ Architects

Representing Owner:
PHA-Portsmouth Housing Authority



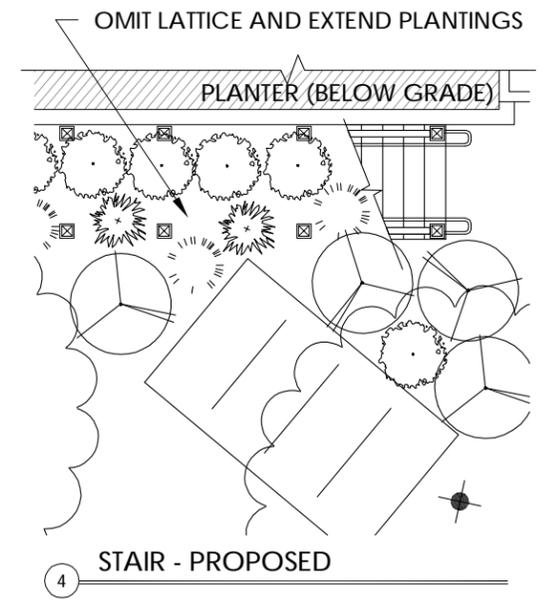
1 WEST ELEVATION - APPROVED
(COURTYARD)



3 STAIR - APPROVED



2 WEST ELEVATION - PROPOSED
(COURTYARD)



4 STAIR - PROPOSED

SCALE: 1/8" = 1'-0" ON 22 x 34 SHEET

COURT STREET DEVELOPMENT
PORTSMOUTH, NEW HAMPSHIRE

REVISED STAIR

HDC APPLICATION FOR AMENDED APPROVAL: FEBRUARY 2, 2022



PORTSMOUTH
HOUSING

1

3. 475 Marcy Street - Recommended Approval

Background: The applicant is seeking approval for the installation of a mechanical vent on the back side of the house on the first floor.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



01/28/2022

LUHD-430

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jan 25, 2022

Applicant

John Markley
j.tyler.markley@gmail.com
475 Marcy St
Portsmouth, New Hampshire 03801
6032366117

Location

475 MARCY ST
Portsmouth, NH 03801

Owner:

MARCY STREET REV TST MARKLEY JOHN TYLER & CUDAHY KRISTINE TRUSTEES
475 MARCY ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Installation of condensing furnace with exterior vent from first floor on the back side of the house. Vent is approx 10" by 6".

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted



HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

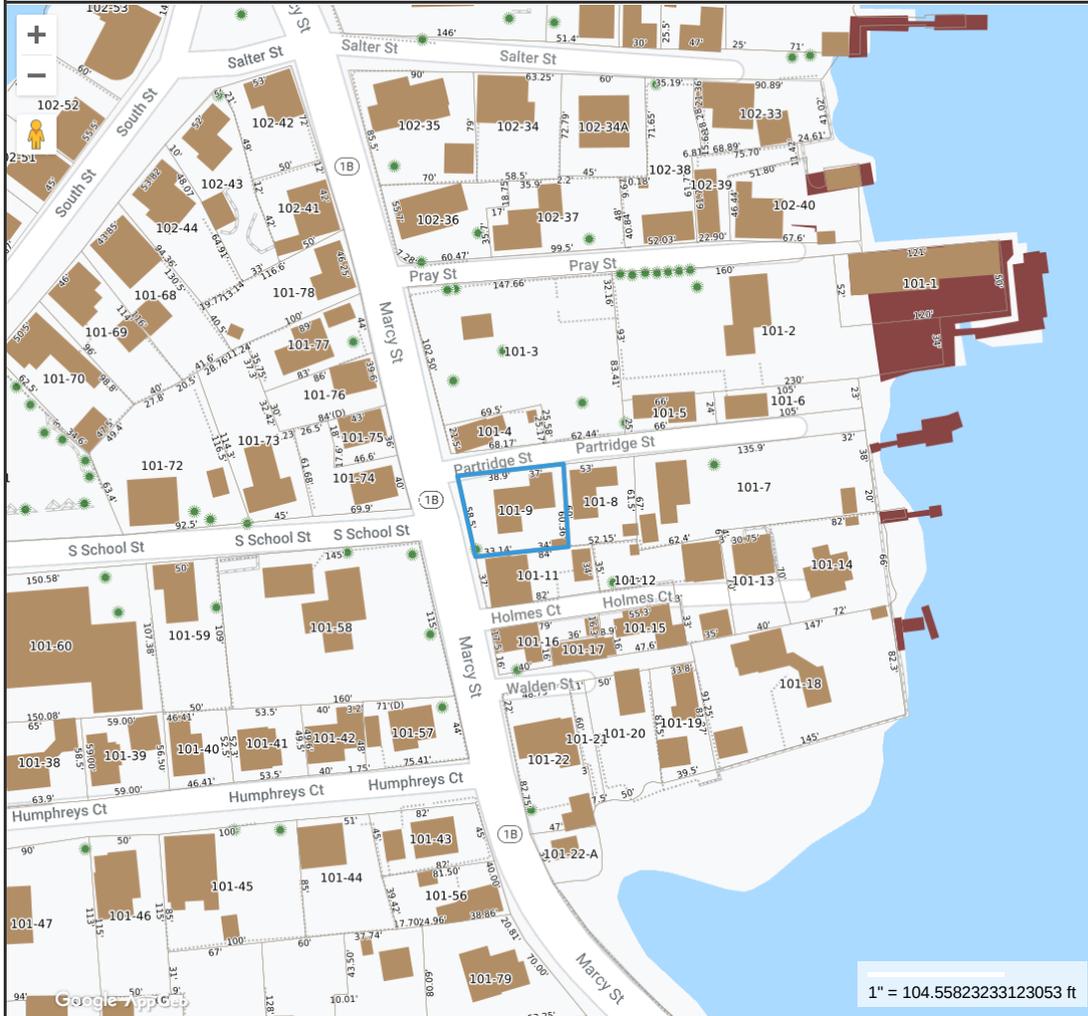
--

Property Location:

City of Portsmouth, NH

January 13, 2022

475 Marcy St



Property Information	
Property ID	0101-0009-0000
Location	475 MARCY ST
Owner	MARCY STREET REV TST


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

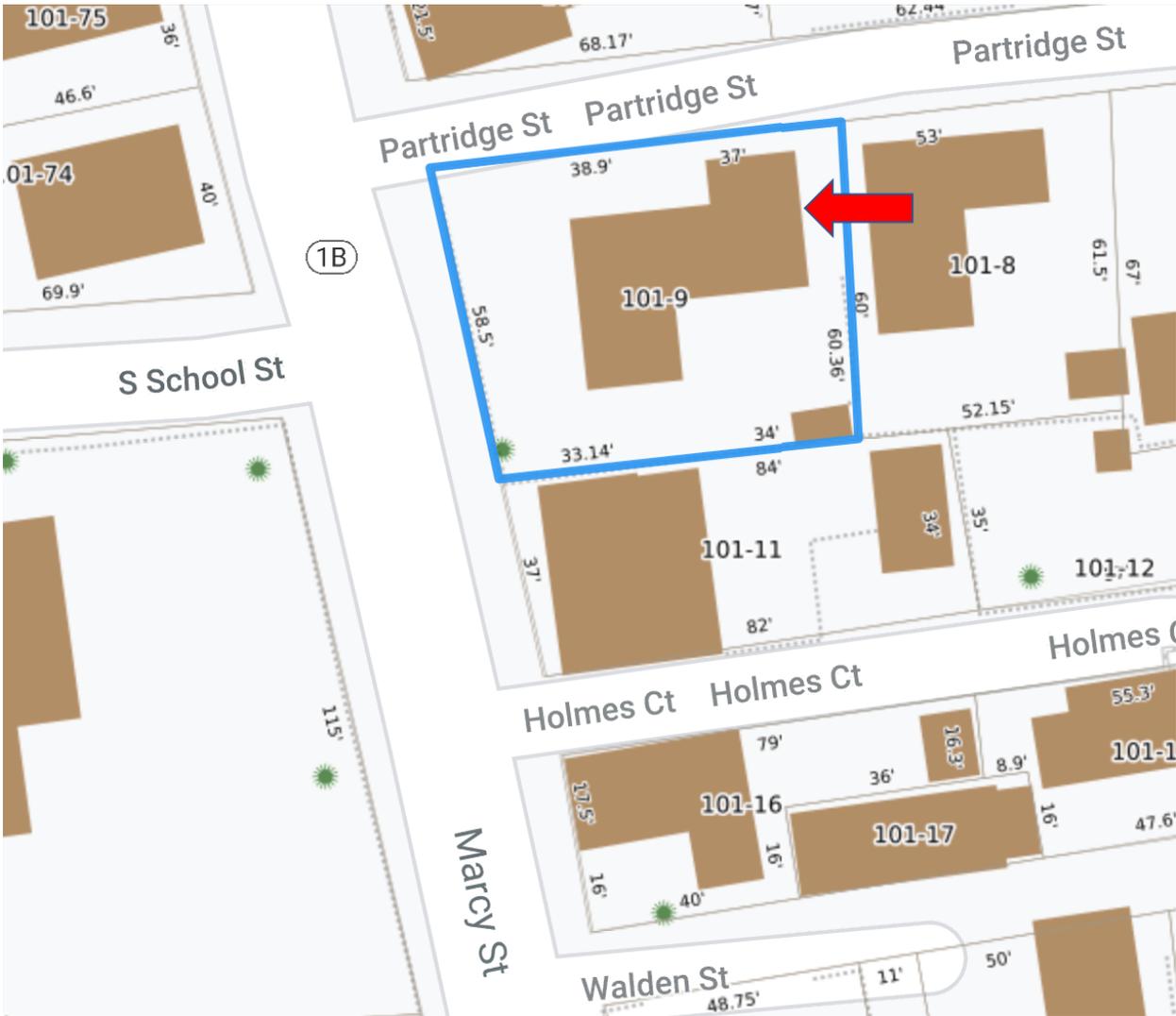
Geometry updated 4/1/2019
Data updated 7/17/2019

Print map scale is approximate.
Critical layout or measurement activities should not be done using this resource.

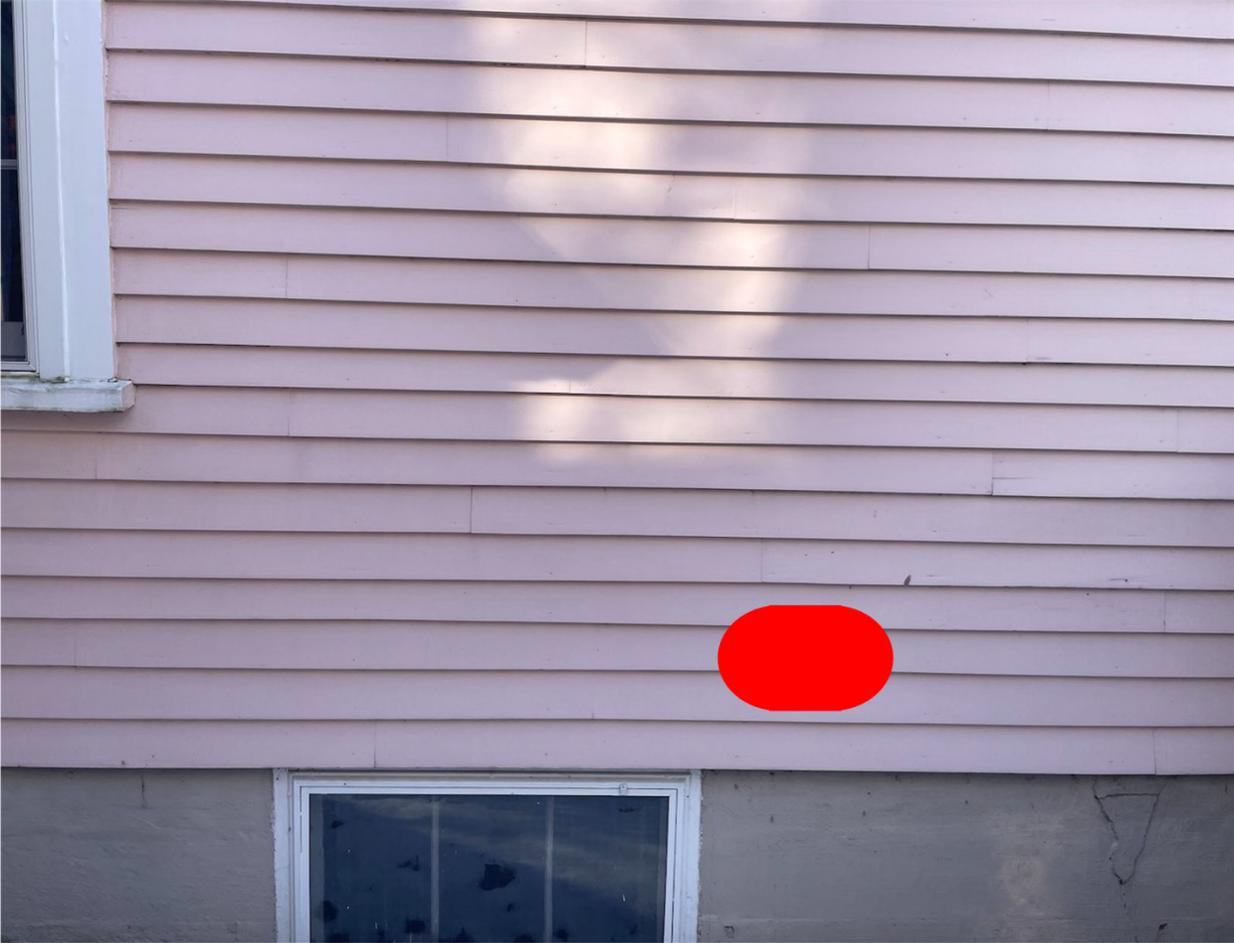
Project Description:

Seeking approval for the installation of condensing furnace with exterior vent from first floor on the back side of the residence at 475 Marcy Street, Portsmouth, NH. Vent is approximately 10" by 6".

Best approximation of vent location on property (Red Arrow Point):



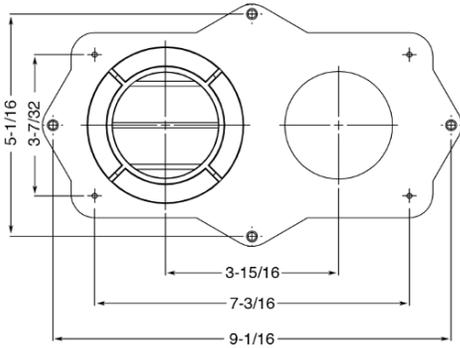
Best approximation & mockup of vent location and size/footprint (Red Oval):



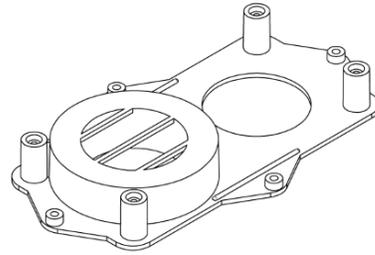
View & location from Partridge St. Perspective (Red arrow pointing to right of fixed basement windows)



Intended venting solution: Diversitech PVC Horizontal Vent Kit for High Efficiency Fossil Fuel Appliances



ALL DIMENSIONS ARE IN INCHES



Property of Diversitech
THE INFORMATION CONTAINED IN THIS DRAWING
IS THE SOLE PROPERTY OF DIVERSITECH
ANY REPRODUCTION IN PART OR AS A WHOLE
WITHOUT THE WRITTEN PERMISSION OF
DIVERSITECH IS PROHIBITED.

ANGULAR MACH	±0.25	DRAWN	NAME	DATE	DiversiTECH	TITLE:	VENT TERMINAL BASE 2IN
ANGULAR BEND	±1	CHECKED				SIZE:	DRAWING NUMBER
X	±2	ENG APPR.				SCALE:	1:2 (WEIGHT)
XX	±0.1	MFG APPR.				REV	
XXX	±0.02	GA			THIRD ANGLE PROJECTION		
XXXX	±N/A				FINISH: SEE NOTES		
					MATERIAL: SEE NOTES		
					DO NOT SCALE DRAWING		

Vent Termination Kits

Concentric vents and termination kits make it easier to have a two-pipe installation for high efficiency furnaces. These vents simplify installation and only require one hole through the wall or roof where the pipes terminate. Without using these vents, the installation would require cutting two holes through the home (2in or 3in depending on the furnace), one for each pipe. These vents save time and money by reducing the amount of work required.

Horizontal vent kits for use in venting high efficiency fossil fuel appliances. The low profile kit hides the vent from view.



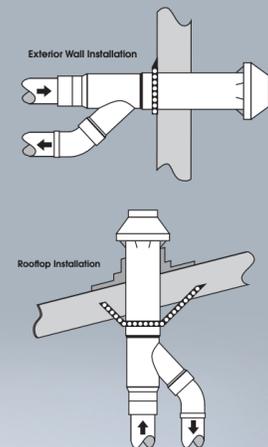
All Fittings included

DiversiTech's CVENT series concentric vent kit includes all fittings a contractor will need to install the vent. No additional fittings for outside connections are needed. Only piping from the vent kit to the furnace will need to be provided separately.



Low profile

The low profile of the HVENT series product creates a neat look for the vent connection. The simple and clean looking vent hides both the intake and exhaust pipework.



Flexible installation

The same CVENT series vent kit can be used in either a horizontal (through the wall) or vertical (through the roof) installation.

4. 40 Bridge Street, Unit 101 - Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (exterior signage and lighting) and the replacement of a window with a new door and modifications to mechanical louver sizes).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



01/28/2022

LUHD-429

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jan 24, 2022

Applicant

Richard Desjardins
richard@mchenryarchitecture.com
4 Market Street
Portsmouth, NH 03801
603-430-0274

Location

40 BRIDGE ST Unit 101
Unit 101
Portsmouth, NH 03801

Owner:

CIRCLE PROPERTY HOLDINGS, LLC LLC
19 CRAIG RD ACTON, MA 01720

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

- NEW EXTERIOR SIGNAGE LIGHTS AT BRIDGE STREET FACADE. SIGNAGE TO BE DONE UNDER SEPARATE PERMIT.
- EXISTING REAR WINDOW TO BE REPLACED WITH A DOOR TO MATCH ADJACENT SIDELIGHTS.
- NEW REAR PATIO ENCLOSURE TO INCLUDE NEW WOOD FENCE. SIGNAGE (UNDER SEPARATE PERMIT), AND LIGHTING.
- MODIFICATIONS TO PREVIOUSLY APPROVED (2017) MECHANICAL LOUVERS/VENT LOCATIONS AND SIZES.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project Architect	
If you selected "Other", please state relationship to project. --	
Full Name (First and Last) Richard Desjardins	Business Name (if applicable) McHenry Architecture
Mailing Address (Street) 4 Market Street	City/Town Portsmouth
State NH	Zip Code 03801
Phone 603-430-0274	Email Address richard@mchenryarchitecture.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect Representative

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name

--

Owner Contact Street Address

--

Owner Address City

--

Owner Address State

--

Owner Address Zip

--

RE: (memo field)

--

Meeting Date

--

Assessor Map and Lot

--

Zoning District Information

--

Decision

--

Stipulations

--

Attachments

- OAL-21112-Portsmouth Planning Department-220124.pdf
Uploaded by Richard Desjardins on Jan 24, 2022 at 10:25 am
- 220302-CIRCLE FURNITURE-HDC SUBMISSION-REV 1.pdf
Uploaded by Richard Desjardins on Jan 27, 2022 at 2:12 pm

History

Date	Activity
Jan 24, 2022 at 10:15 am	Richard Desjardins started a draft of Record LUHD-429
Jan 24, 2022 at 11:20 am	Richard Desjardins altered Record LUHD-429, changed ownerCity from "PORTSMOUTH" to "ACTON"
Jan 24, 2022 at 11:20 am	Richard Desjardins altered Record LUHD-429, changed ownerName from "TANNER BRIDGE DEVELOPMENT LLC" to "CIRCLE PROPERTY HOLDINGS, LLC LLC"
Jan 24, 2022 at 11:20 am	Richard Desjardins altered Record LUHD-429, changed ownerPostalCode from "03801" to "01720"
Jan 24, 2022 at 11:20 am	Richard Desjardins altered Record LUHD-429, changed ownerState from "NH" to "MA"
Jan 24, 2022 at 11:20 am	Richard Desjardins altered Record LUHD-429, changed ownerStreetName from "549 US HIGHWAY 1 BYPASS" to "19 CRAIG RD"
Jan 24, 2022 at 11:21 am	Richard Desjardins submitted Record LUHD-429
Jan 24, 2022 at 11:21 am	approval step Application Completeness Review was assigned to Izak Gilbo on Record LUHD-429
Jan 24, 2022 at 11:30 am	Izak Gilbo approved approval step Application Completeness Review on Record LUHD-429
Jan 24, 2022 at 11:30 am	approval step Land Use Permit -- Planning Department Review and Fee Calculation was assigned to Izak Gilbo on Record LUHD-429

Date	Activity
Jan 24, 2022 at 11:31 am	Izak Gilbo approved approval step Land Use Permit -- Planning Department Review and Fee Calculation on Record LUHD-429

Timeline

Label	Status	Activated	Completed	Assignee	Due Dat
 Application Completeness Review	Complete	Jan 24, 2022 at 11:21 am	Jan 24, 2022 at 11:30 am	Izak Gilbo	-
 Land Use Permit -- Planning Department Review and Fee Calculation	Complete	Jan 24, 2022 at 11:30 am	Jan 24, 2022 at 11:31 am	Izak Gilbo	-
 Application Permit Fee	Active	Jan 24, 2022 at 11:31 am	-	-	-
 HDC Approval Received	Inactive	-	-	-	-

CIRCLE FURNITURE - INTERIOR FIT-UP

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL - MARCH 2022, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

- NEW EXTERIOR SIGNAGE LIGHTS AT BRIDGE STREET FACADE, SIGNAGE TO BE DONE UNDER SEPARATE PERMIT.
- EXISTING REAR WINDOW TO BE REPLACED WITH A DOOR TO MATCH ADJACENT SIDELIGHTS.
- NEW REAR PATIO ENCLOSURE TO INCLUDE NEW WOOD FENCE, SIGNAGE (UNDER SEPARATE PERMIT), AND LIGHTING.
- MODIFICATIONS TO PREVIOUSLY APPROVED (2017) MECHANICAL LOUVERS/VENT LOCATIONS AND SIZES.



40 BRIDGE STREET, UNIT 1
PORTSMOUTH, NH 03801

SHEET LIST	
Sheet Number	Sheet Name
C	COVER
A1	OVERALL FIRST FLOOR PLAN
A2	PATIO DETAILS
A3	PATIO DETAILS
A4	EAST ELEVATION (FRONT)
A5	WEST ELEVATION (REAR)
A6	EXISTING IMAGE & CUT SHEETS
A7	LIGHTING SCHEDULE & CUT SHEETS

GRAPHIC KEY

- : EXISTING
- : TO BE REMOVED
- : PROPOSED
- : LIGHT FIXTURE TAG
- : DOOR NUMBER
- : DETAIL NUMBER
- : SHEET NUMBER



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CIRCLE FURNITURE

40 BRIDGE STREET, UNIT 1
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL - MARCH 2022

McHENRY ARCHITECTURE

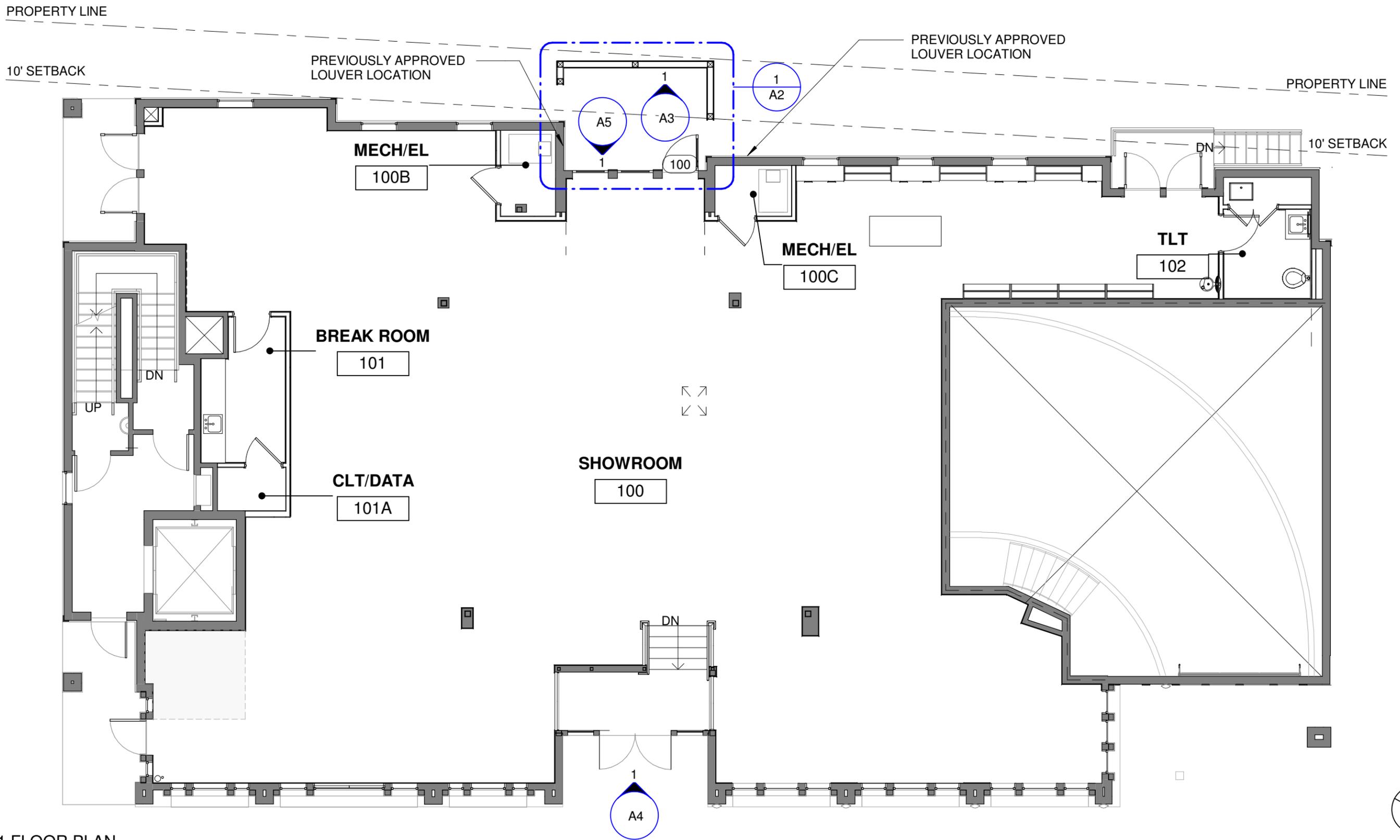
4 Market Street
Portsmouth, New Hampshire

C

03/02/2022

McHA: RD / MG

NOT TO SCALE



1 UNIT 1 FLOOR PLAN
1/8" = 1'-0"

© 2022 McHenry Architecture

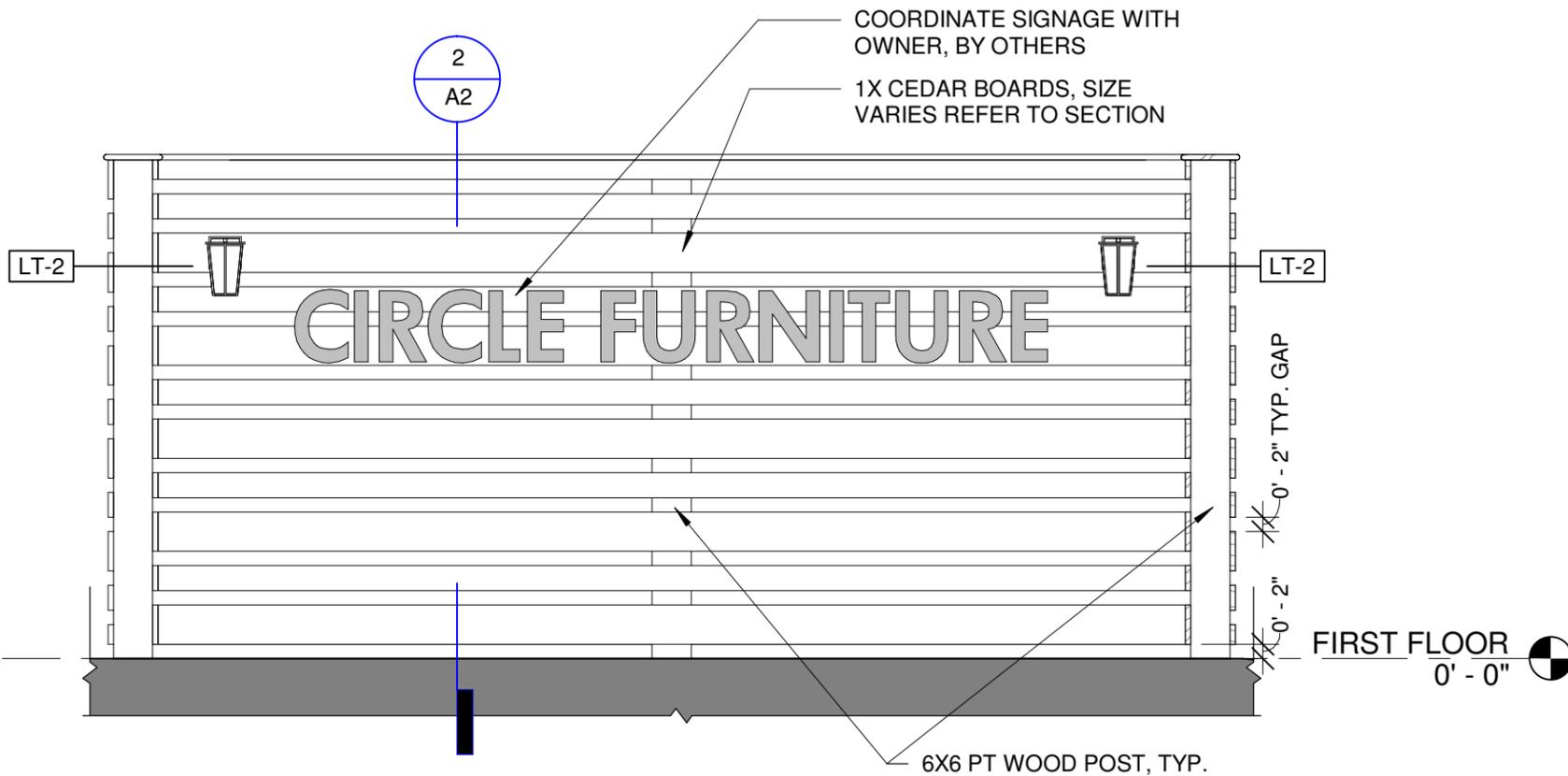
CIRCLE FURNITURE
40 BRIDGE STREET, UNIT 1
PORTSMOUTH, NH 03801

OVERALL FIRST FLOOR PLAN
HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL - MARCH 2022

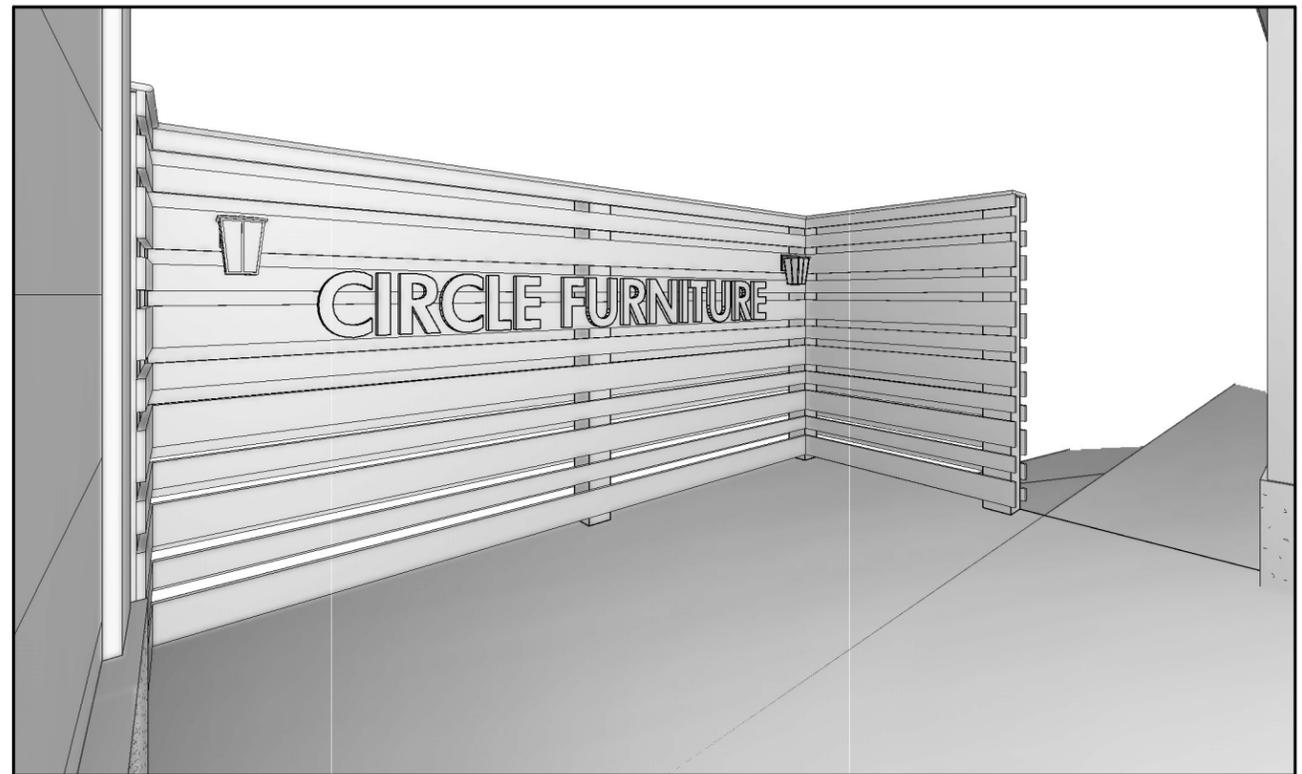
McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A1

03/02/2022
McHA: RD / MG
Scale: 1/8" = 1'-0"



1 ELEVATION AT PROPOSED FENCE
1/2" = 1'-0"



2 PERSPECTIVE AT PATIO ENCLOSURE

© 2022 McHenry Architecture

CIRCLE FURNITURE

40 BRIDGE STREET, UNIT 1
PORTSMOUTH, NH 03801

PATIO DETAILS

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL - MARCH 2022

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A3

03/02/2022

McHA: RD / MG

AS INDICATED



1 EAST ELEVATION
1/8" = 1'-0"

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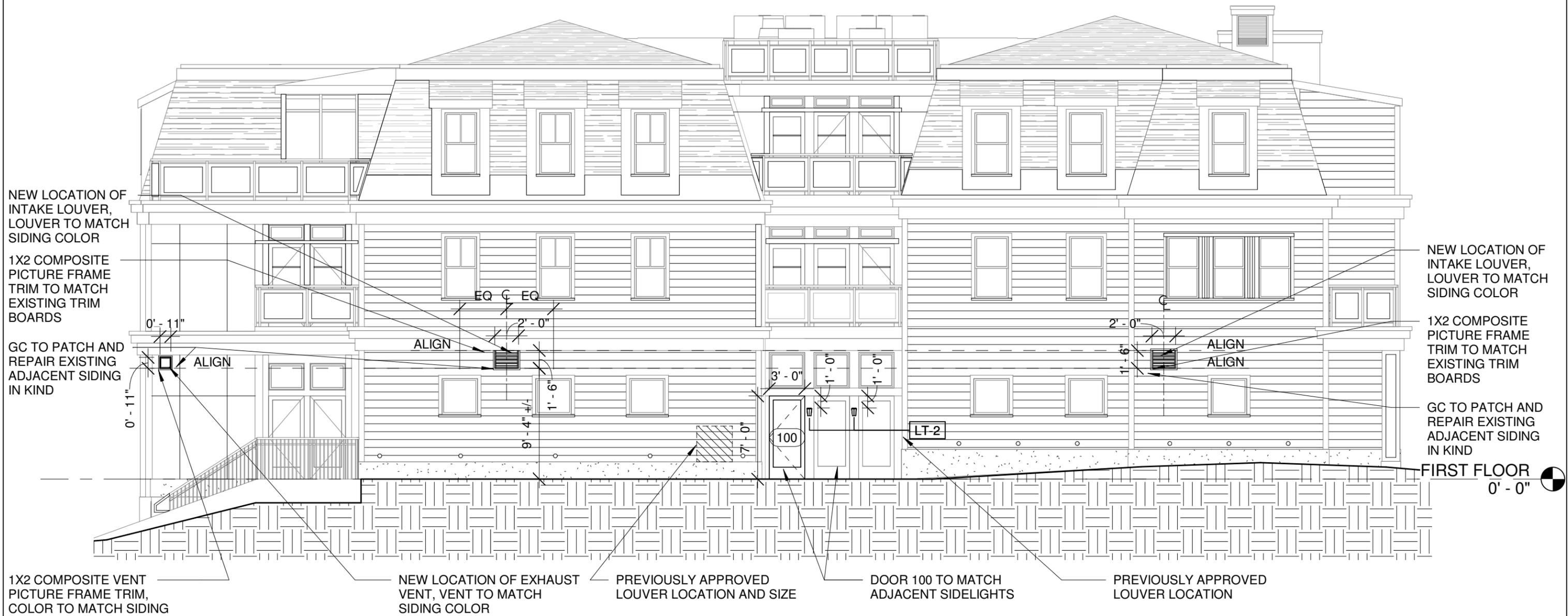
CIRCLE FURNITURE
40 BRIDGE STREET, UNIT 1
PORTSMOUTH, NH 03801

EAST ELEVATION (FRONT)
HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL - MARCH 2022

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A4

03/02/2022
McHA: RD / MG
Scale: 1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

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CIRCLE FURNITURE
40 BRIDGE STREET, UNIT 1
PORTSMOUTH, NH 03801

WEST ELEVATION (REAR)
HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL - MARCH 2022

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A5

03/02/2022
McHA: RD / MG
Scale: 1/8" = 1'-0"



NEW DOOR LOCATION (DOOR 100, REFER TO WEST ELEVATION A5), DOOR TO MATCH ADJACENT SIDELITES
 EXISTING PLANTING AND CHAIN LINK FENCE TO BE REMOVED, REFER TO PATIO DETAILS (A2/A3) FOR NEW ENCLOSURE FENCE

EXISTING IMAGE OF REAR ELEVATION



Printed Date: 01/14/2022
 Job: EXHAUST WALL CAP
 Mark: Outside Air Louver
 Model: EDJ-401



Printed Date: 01/14/2022
 Job: EXHAUST WALL CAP
 Mark: WC1
 Model: WC-8

EDJ-401 4 in. Frame, J Blade

APPLICATION & DESIGN

EDJ-401 is a weather louver designed to protect air intake and exhaust openings in building exterior walls. Design incorporates drainable head, J style blades, sloped sill and high free area to provide maximum resistance to rain and weather while providing minimum resistance to airflow. The EDJ-401 is an extremely efficient louver with AMCA LICENSED PERFORMANCE DATA enabling designers to select and apply with confidence.

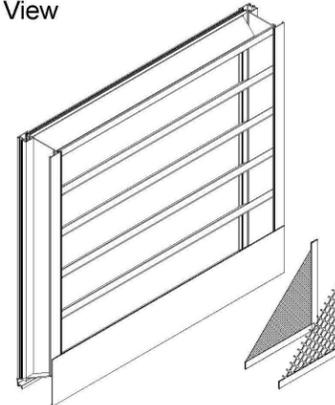
PRODUCT DETAILS

Frame: 4 in. x 0.081 in. Frame Thickness
Frame Type: Channel
Blades: 0.081 in. Fixed Blade Thickness
Material: Aluminum
Sizing: Nominal
Shape: Rectangular
Construction: Mechanically Fastened

OPTIONS & ACCESSORIES

Finish: Mill
Bird Screen: 0.75 in. x 0.05 in., Flat Expanded Aluminum, Internal, Mill Finish
Insect Screen: Aluminum, Internal
Union Label: No Preference
Warranty: 1 year Standard Product Warranty

Internal View



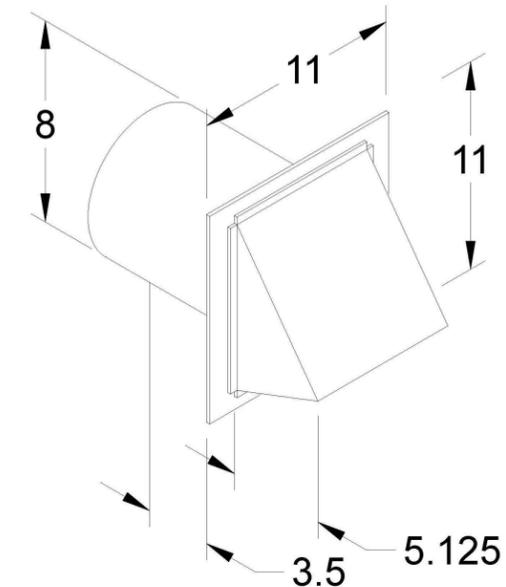
Width and Height furnished approximately 0.25 under size.

SUMMARY

ID #	TAG	QTY.	W (in.)	H (in.)	FREE AREA (ft2)	FREE AREA (%)	SECT. WIDE	SECT. HIGH	SHIP SECT.
1-1		1	28	14	0.96	35.3	1	1	1

Total Louver Qty: 1 **Total Weight (lb):** 8 **Louver Area (ft2):** 3
Total Ship Sect.: 1

**Weight shown is an estimate only based on the default base product configuration without options or accessories. Larger openings may require field assembly of multiple louver panels to make up the overall opening size. Individual louver panels are designed to withstand windloads up to a maximum of 25 PSF (size and configuration dependent). Design, materials and installation of structural reinforcement required to adequately support large sections or multiple section assemblies within a large opening are not provided by Greenheck. Options and accessories including, but not limited to, screens, filter racks, louver doors, and blankoff panels are not subject to structural analysis unless indicated otherwise by Greenheck. Unless specifically indicated, the following are NOT included in the quote provided: structural steel, installation hardware (anchors, angle clips, continuous angles, shims, fasteners, inserts, backer rod and sealant), field measuring and/or installation, miscellaneous flashing, trim or enclosures, blank off panels, mullion covers or mullion hardware, hinged frames or removable subframes, custom bird/insect screen, 3-coat, metallic and/or exotic paint finishes, bituminous paints for unlike metals, any applicable taxes, stamped and sealed structural calculations seismic calculations or job specific engineered submittal drawings.



Notes: All dimensions shown are in units of in.

Z:\HVAC CAD Systems\Jobs\2021\2021-236 40 Bridge Street\100 Design\130 HVAC\132 Equipment Cuts\WALL CAP\EXHAUST WALL CAP.gfcj
 CAPS 4.36.1219 Generated by: dphilbin@csi-engineers.com Page 1 of 1

PROPOSED EXHAUST VENT

Z:\HVAC CAD Systems\Jobs\2021\2021-236 40 Bridge Street\100 Design\130 HVAC\132 Equipment Cuts\WALL CAP\EXHAUST WALL CAP.gfcj
 CAPS 4.36.1219 Generated by: dphilbin@csi-engineers.com Page 1 of 1

PROPOSED MECHANICAL INTAKE LOUVERS

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CIRCLE FURNITURE EXISTING IMAGE & CUT SHEETS

40 BRIDGE STREET, UNIT 1
 PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
 ADMINISTRATIVE APPROVAL - MARCH 2022

McHENRY ARCHITECTURE

4 Market Street
 Portsmouth, New Hampshire

A6

03/02/2022
 McHA: RD / MG
 NOT TO SCALE

LIGHT FIXTURE SCHEDULE

Type Mark	Type	Manufacturer	Model	Lamp	Finish / Material	Comments
LT-1	SINGLE ADJUSTABLE FLOOD LIGHT	WAC LIGHTING	ENDURANCE - WP-LED514	LED	ARCHITECTURAL BRONZE	60 DEGREE BEAM, 3000K BULB
LT-2	AMBER VALLEY OUTDOOR WALL LANTERN	KICHLER	KCH606464	LED	TEXTURED BLACK ALUMINUM	OR EQUAL

LT-1 SINGLE ADJUSTABLE FLOOD LIGHT

Endurance™ - WP-LED514



WAC LIGHTING

Responsible Lighting®

Fixture Type:

Catalog Number:

Project: _____

Location: _____

PRODUCT DESCRIPTION

Die cast aluminum factory sealed luminaire with patent pending design for a water and dust proof IP66 rated outdoor.

FEATURES

- Rotate to continuously adjust beam angles indexed at 15°, 25°, 40°, 60°
- IP66 and ETL & cETL Wet Location Listed
- Factory-Sealed LED Light Engine
- Die-Cast Aluminum Construction
- 120V Direct Wire - No Driver Needed
- Safety cable and canopy included
- Comes with extension rod kit to extend up to 44" total
- Detachable Shroud
- Safety cable recommended for extensions over 36"
- One 6", one 12", one 24" field interchangeable rods included

SPECIFICATIONS

- Construction:** Die-cast aluminum
- Power:** Line Voltage input (120V)
- CRI:** 85
- Dimming:** 100% - 10% with Electronic Low Voltage (ELV) dimmer
- Finish:** Architectural Bronze, Black, Graphite and White
- Operating Temp:** -40°F to 122°F (-40°C to 50°C)
- Standards:** IP66, Wet Location, ETL & cETL Listed
- Rated Life:** 50,000 hours

ORDER NUMBER

	Power	Comparable	Beam	Delivered Lumens	CBCP	Color Temp	Finish
WP-LED514 <i>Single</i>	15W	150W PAR38	15°	600	4145	30 3000K	ABZ Architectural Bronze
			60°	985	875		
	15W	150W PAR38	15°	695	4800	40 4000K	ABK Architectural Black
			60°	1140	1015		

Example: **WP-LED514-40-AGH**

WAC Lighting
www.waclighting.com
Phone (800) 526.2588 • Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive • Port Washington, NY 11050
Phone (516) 515.5000 • Fax (516) 515.5050

Western Distribution Center
1750 Archibald Avenue • Ontario, CA 91760
Phone (800) 526.2588 • Fax (800) 526.2585

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB 2017

LT-2 Amber Valley Outdoor Wall Lantern

By Kichler



Amber Valley Outdoor Wall Lantern
By Kichler

Product Options

Size: Small

Details

Finish: Textured Black
Material: Aluminum
Shade Material: Etched Seeded Glass
ETL Listed Wet
Made In China

Dimensions

Small Option Backplate: Width 4.5", Height 7.5"
Small Option Fixture: Width 6.5", Height 13", Depth 7.5", Weight: 4.4Lbs

Lighting

Lamp Type	LED Built-in
Volts	120
Color Temp	3000 (Soft White)
Average Lifespan	40000.00
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:
<https://www.lumens.com/amber-valley-outdoor-wall-lantern-by-kichler-KCH606464.html>

Rating: ETL Listed Wet

ITEM#: KCH606464



Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:



Created January 20th, 2022

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CIRCLE FURNITURE SCHEDULE & CUT SHEETS

40 BRIDGE STREET, UNIT 1
PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL - MARCH 2022

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A7

03/02/2022

McHA: RD / MG

NOT TO SCALE

5. 145 Maplewood Avenue - Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (modifications to rooftop deck).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



01/28/2022

LUHD-431

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jan 26, 2022

Applicant

Christopher Lizotte
clizotte@proconinc.com
PO Box 4430
Manchester, NH 03108
6035182279

Location

145 MAPLEWOOD AVE
Portsmouth, NH 03801

Owner:

145 MAPLEWOOD AVENUE LLC
210 COMMERCE WAY SUITE 300 PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Update and revision to the previous approval on 12-02-2020.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project Architect	
If you selected "Other", please state relationship to project. --	
Full Name (First and Last) Christopher Lizotte	Business Name (if applicable) Procon LLC
Mailing Address (Street) PO Box 4430	City/Town Manchester
State NH	Zip Code 03108
Phone 6035182279	Email Address clizotte@proconinc.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name

--

Owner Contact Street Address

--

Owner Address City

--

Owner Address State

--

Owner Address Zip

--

RE: (memo field)

--

Meeting Date

--

Assessor Map and Lot

--

Zoning District Information

--

Decision

--

Stipulations

--

Attachments

 2022_0126_111 Maplewood_Owner Authorization_HDC Admin Approval.pdf

Uploaded by Izak Gilbo on Jan 27, 2022 at 1:19 pm

 2022_0202_111-145 Maplewood_HDC Admin Approval Set.pdf

Uploaded by Christopher Lizotte on Jan 26, 2022 at 3:44 pm

History

Date	Activity
Jan 26, 2022 at 12:06 pm	Christopher Lizotte started a draft of Record LUHD-431
Jan 26, 2022 at 3:47 pm	Christopher Lizotte submitted Record LUHD-431
Jan 26, 2022 at 3:47 pm	approval step Application Completeness Review was assigned to Izak Gilbo on Record LUHD-431
Jan 26, 2022 at 3:51 pm	Izak Gilbo approved approval step Application Completeness Review on Record LUHD-431
Jan 26, 2022 at 3:51 pm	approval step Land Use Permit -- Planning Department Review and Fee Calculation was assigned to Izak Gilbo on Record LUHD-431
Jan 26, 2022 at 3:52 pm	Izak Gilbo approved approval step Land Use Permit -- Planning Department Review and Fee Calculation on Record LUHD-431
Jan 27, 2022 at 12:38 pm	completed payment step Application Permit Fee on Record LUHD-431
Jan 27, 2022 at 12:38 pm	approval step HDC Approval Received was assigned to Nicholas Cracknell on Record LUHD-431

Timeline

Label	Status	Activated	Completed	Assignee
 Application Completeness Review	Complete	Jan 26, 2022 at 3:47 pm	Jan 26, 2022 at 3:51 pm	Izak Gilbo
 Land Use Permit -- Planning Department Review and Fee Calculation	Complete	Jan 26, 2022 at 3:51 pm	Jan 26, 2022 at 3:52 pm	Izak Gilbo

Label	Status	Activated	Completed	Assignee
 Application Permit Fee	Paid	Jan 26, 2022 at 3:52 pm	Jan 27, 2022 at 12:38 pm	-
 HDC Approval Received	Active	Jan 27, 2022 at 12:38 pm	-	Nicholas Cracknell



REVISED DESIGN 02-02-2022 AGENDA
Previously approved on 12-02-2020:

1. Add North and South roof decks with glass railings.
2. Add 4 doors to access new roof decks.
3. Add 4 - WP2 light fixtures at new roof decks.

Revised 02-02-2022:

1. North deck not installed.
2. New doors not added, use the single existing door.
3. Add 2 - WP2 light fixtures instead of 4.
4. Add fire pit at West and South roof deck.
5. Add egress light bollards at West and South roof deck, nine total.

SITE PLAN - ROOF PLAN

111 MAPLEWOOD AVE
 PORTSMOUTH, NH

SQUARE – model: WS-W386
LED Interior & Exterior Sconce

Low wall areas, balcony
and roof terrace



Light type
Approved on 12/02/2020

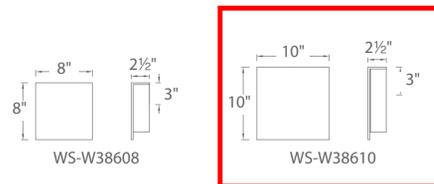


Fixture Type: **WP2**

Catalog Number:

Project: **145 Maplewood, Portsmouth NH**

Location: **Exterior Wall**



PRODUCT DESCRIPTION

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways and dramatic visual intrigue in the evening. Perfect for wall grazing surfaces.

FEATURES

- Dark Sky friendly
- ADA compliant, low profile design
- ETL & cETL, wet location listed, IP65 rated
- Aluminum construction
- Full range dimming when used with compatible dimmers
- No transformer or driver required
- 277V option available (special order)
- 50,000 hour rated life
- Color Temp: 3000K
- CRI: 90

ORDER NUMBER

Model	Width	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W38608	8"	9W	120V	486	398	BZ Bronze
WS-W38610	10"	15W	120V	836	720	TT Titanium

Example: **WS-W38608-BZ**
For 277V special order, add an "F" before the finish: **WS-W38608F-BZ**

SPECIFICATIONS

- Construction:** Aluminum construction.
- Light Source:** High output LED.
- Finish:** Titanium (TT), Bronze (BZ).
- Standards:** ETL & cETL damp location listed. IP65 rated. ADA compliant. **Dark Sky friendly.**



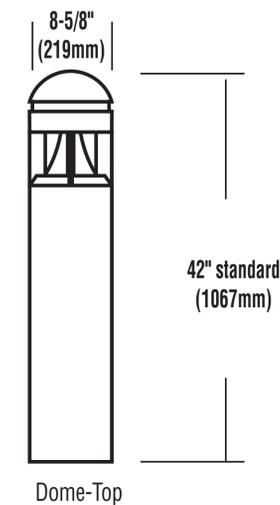
Outdoor Great Room CV-72 – Cove 72" Linear Gas Fire Pit Table

Natural Grey Supercast Contemporary Concrete Finish
Overall Fire Pit Dimensions: 72" L x 24" W x 16" H

LSI Industries LED Bollard (XBVRD - downlight)

Color - Platinum Plus

DIMENSIONS



LIGHT OUTPUT - XBVR			
Description	# of LEDs	Output	
		Lumens	Watts
Cool White XBVR ID	24	1338	38
Neutral White XBVR ID	24	1224	38
Warm White XBVR ID	24	856	38

10.1144.60 The maximum mounting height of a luminaire shall be 20 feet above grade except as follows:

10.1144.61 Flood or spot luminaires with a lamp or lamps rated at 900 lumens or less, and other luminaires with a lamp or lamps rated at a total of 1800 lumens or less, may be used without restriction to mounting height.

modernforms.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

BUILDING LIGHTING
111 MAPLEWOOD AVE
PORTSMOUTH, NH

ADMINISTRATIVE APPROVAL 02-02-2022
Page 3 of 3

0 Maplewood Avenue

Public Hearing

LU-22-4



01/28/2022

LU-22-3

Land Use Application

Status: Active**Date Created:** Jan 14, 2022**Applicant**

Michael Keane
 michael@mjkarchitects.com
 101 Kent Place
 Newmarket, NH 03857
 603 292 1400

Location

0 MAPLEWOOD AVE
 Portsmouth, NH 03801

Owner:

HENSON STEVEN P & HENSON CATHY ANN
 36 NORTH SCHOOL ST PORTSMOUTH, NH 03801

Applicant Information**Please indicate your relationship to this project**

F. Applicant's Representative Filing on behalf of C., D. or E. above

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an **ADDITION** to an existing structure or a **NEW** structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a **NEW** structure on a parcel that is currently **VACANT**. If there are any existing structures on the property (even if you are planning to remove them), you should select **Addition and Renovation** above

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

Request for Extension of Previously Granted Land Use Approval



WEST ELEVATION

SCALE: 1/8" = 1'-0"

PROPOSED RESIDENCE 00 MAPLEWOOD AVE
PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISION PUBLIC HEARING 02/02/22



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

PROPOSED RESIDENCE 00 MAPLEWOOD AVE
 PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISION PUBLIC HEARING 02/02/22



101 KENT PLACE NEWMARKET, NH 03857 603.292.1400



EAST ELEVATION

SCALE: 1/8" = 1'-0"

PROPOSED RESIDENCE 00 MAPLEWOOD AVE
PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISSION PUBLIC HEARING 02/02/22



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

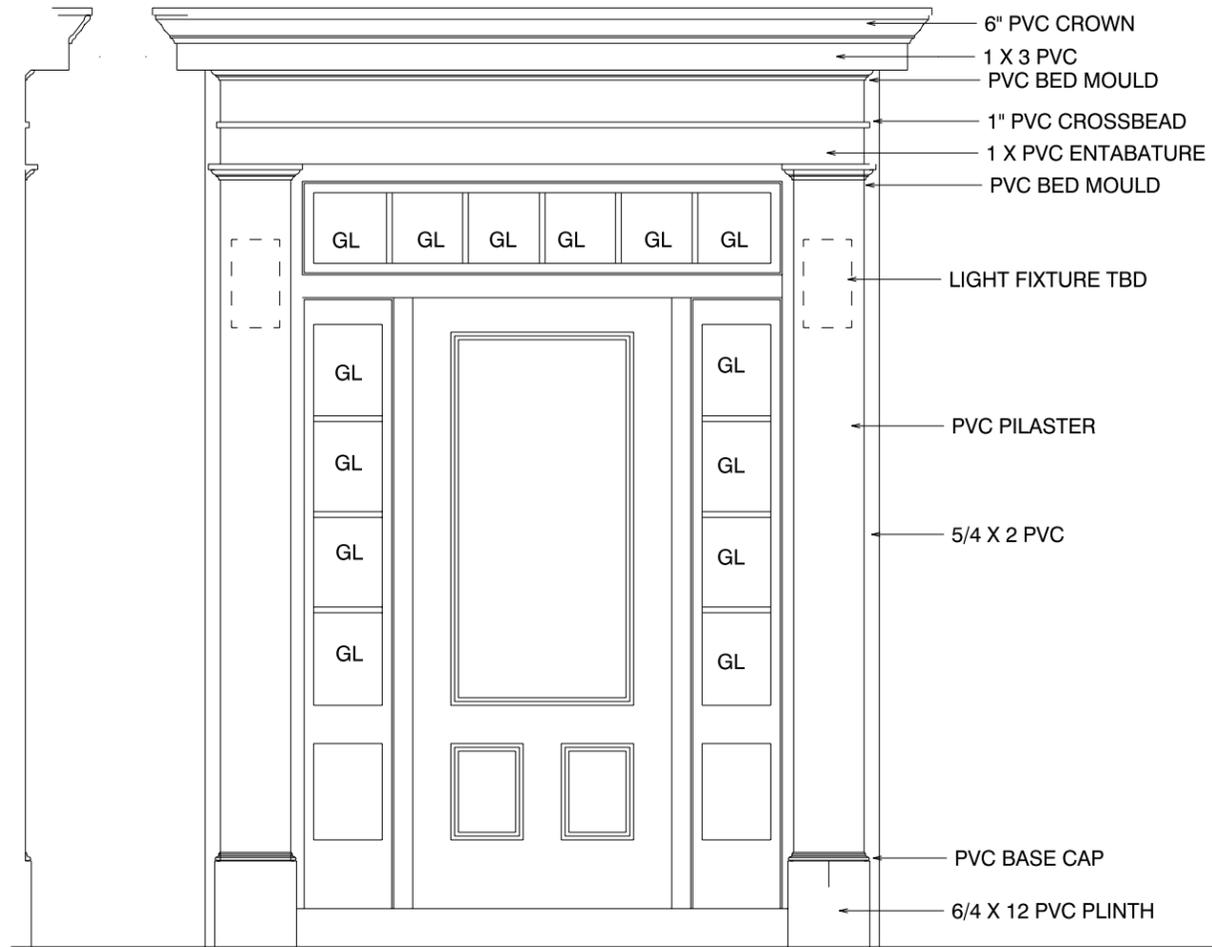
PROPOSED RESIDENCE 00 MAPLEWOOD AVE
 PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISION PUBLIC HEARING 02/02/22

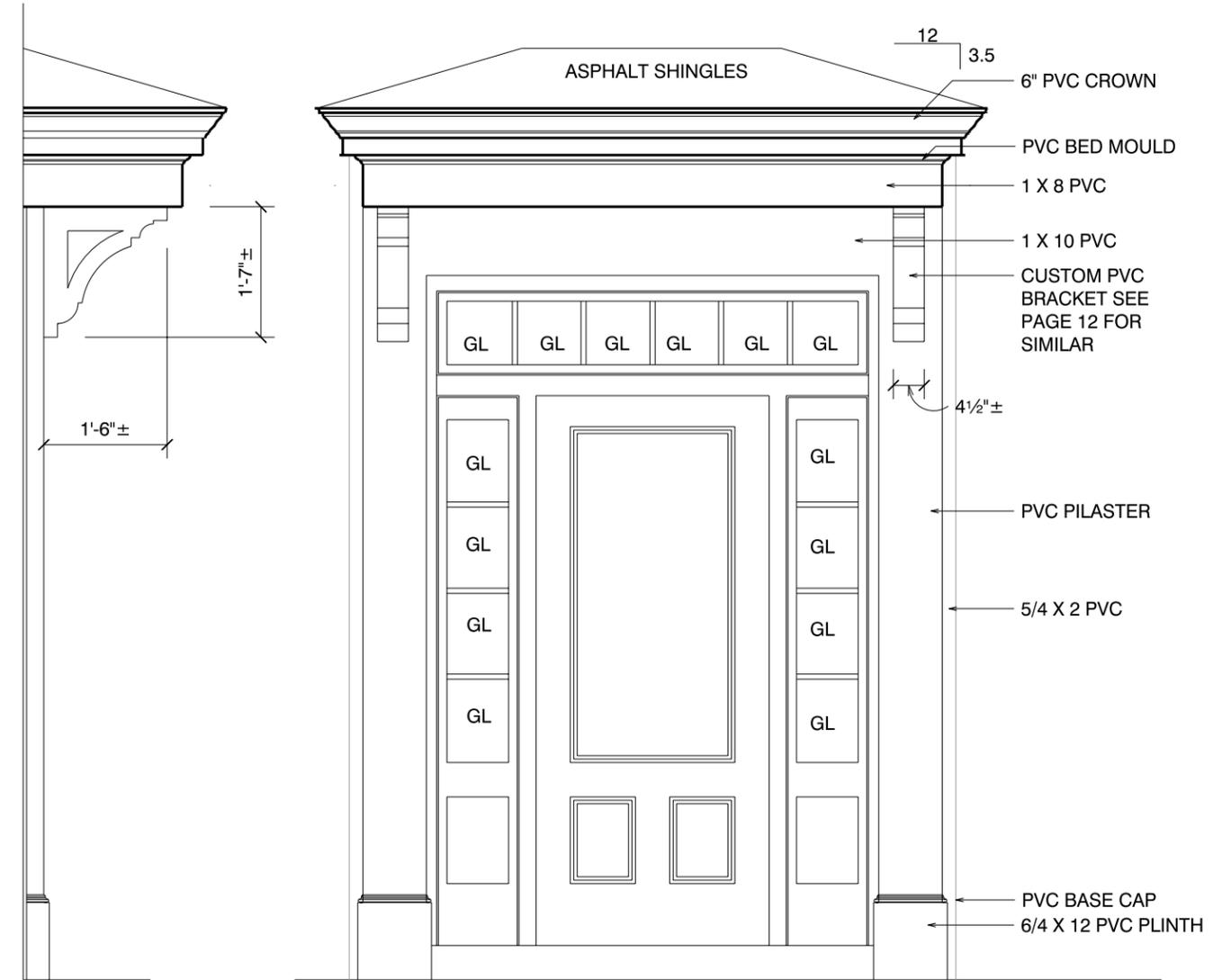
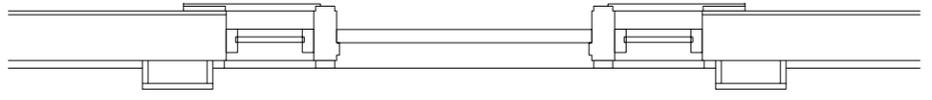




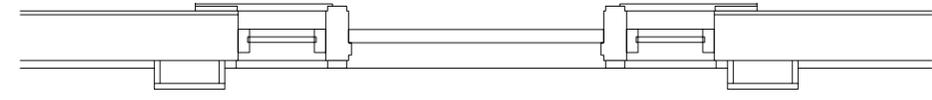




ALTERNATE ENTRY DETAIL



ENTRY DETAIL



OPTIONAL ENTABLATURE IF ROOFED OVERHANG IS NOT PERMITTED BY ZONING

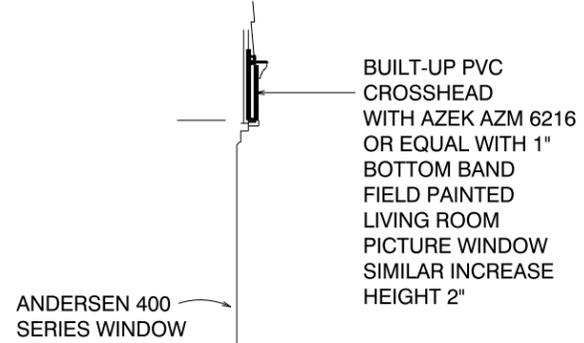
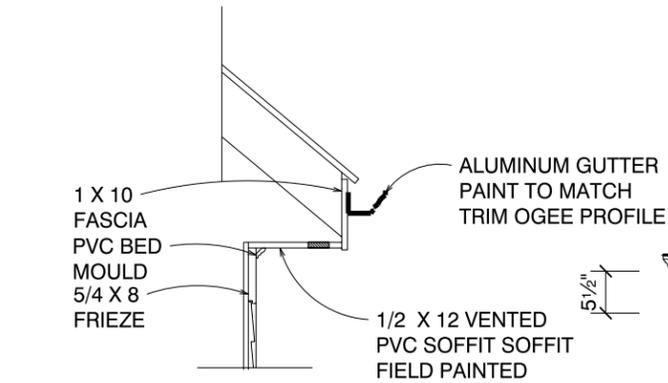
ENTRANCE DETAILS

SCALE: 1/2" = 1'-0"

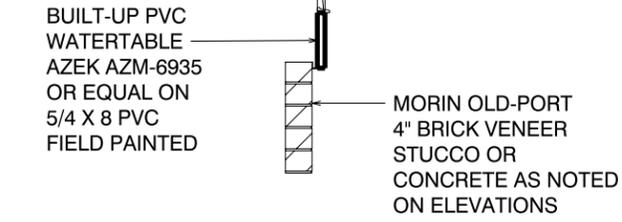


PROPOSED RESIDENCE 00 MAPLEWOOD AVE
PORTSMOUTH, NEW HAMPSHIRE

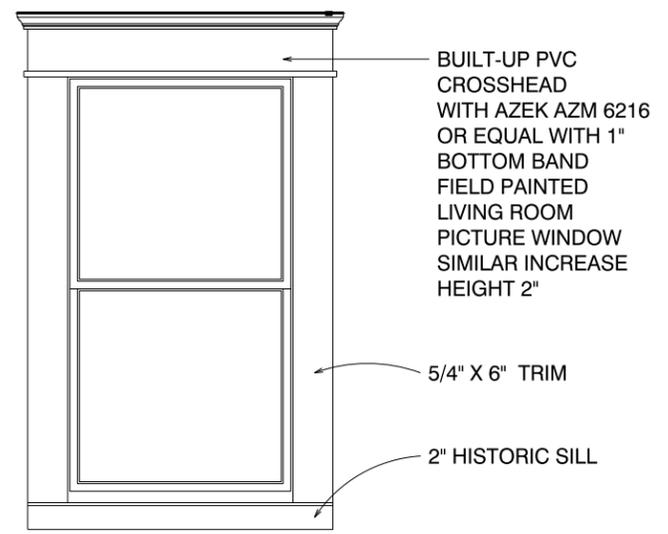
HISTORIC DISTRICT COMMISION PUBLIC HEARING 02/02/22



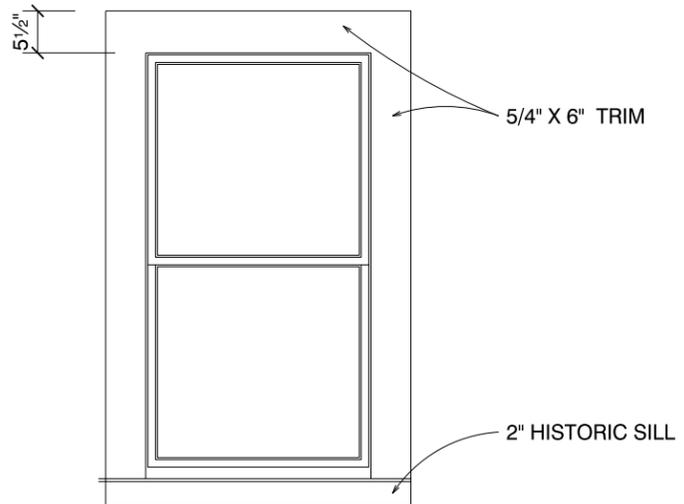
ANDERSEN 400 SERIES WINDOW



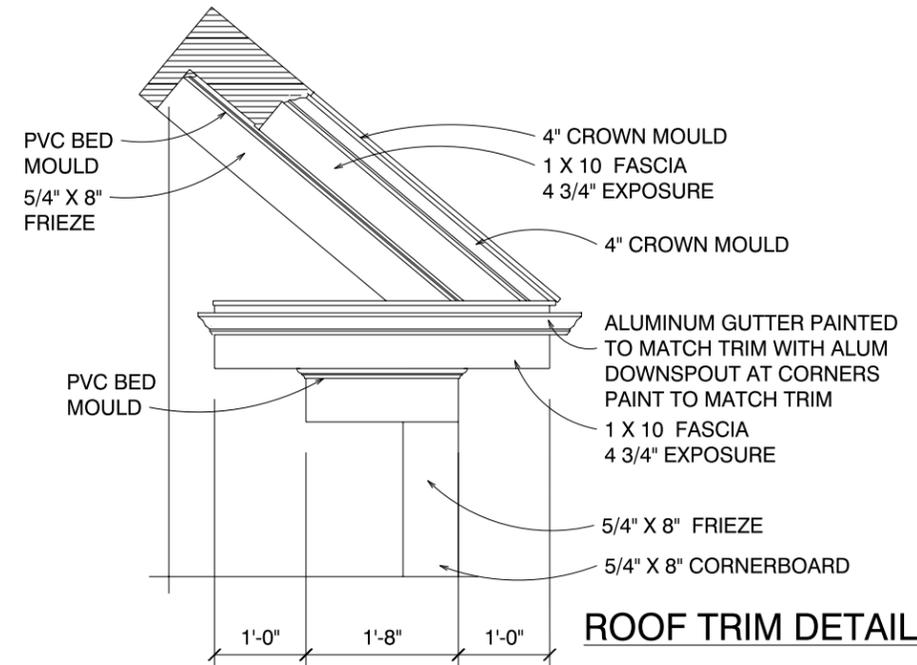
TYPICAL WALL SECTION



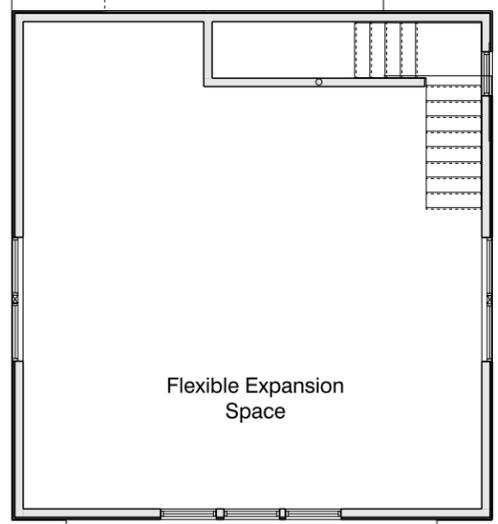
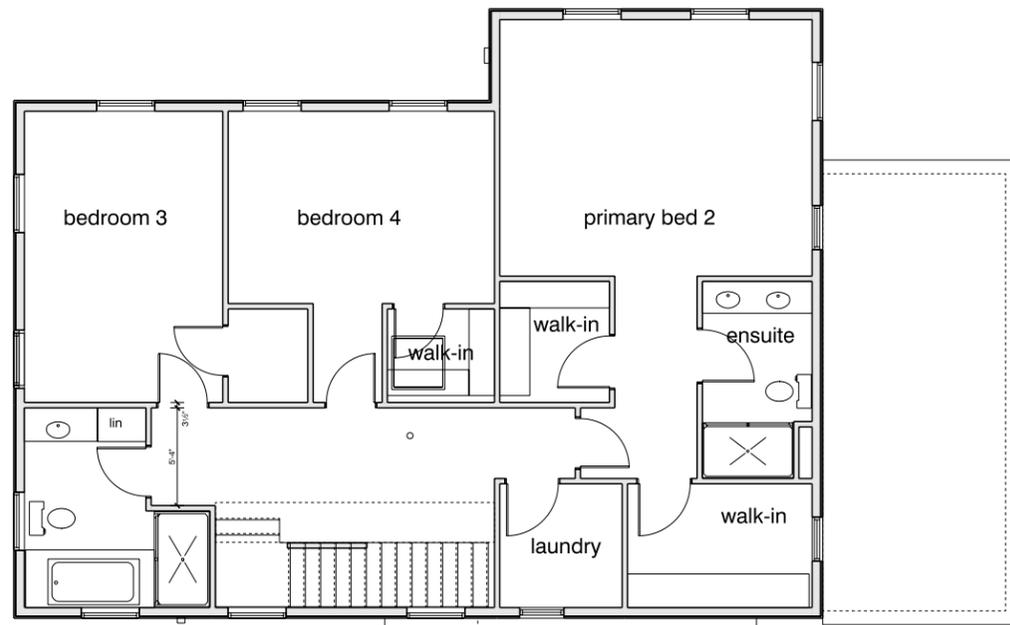
TYPICAL TRIM DETAIL - MAIN HOUSE



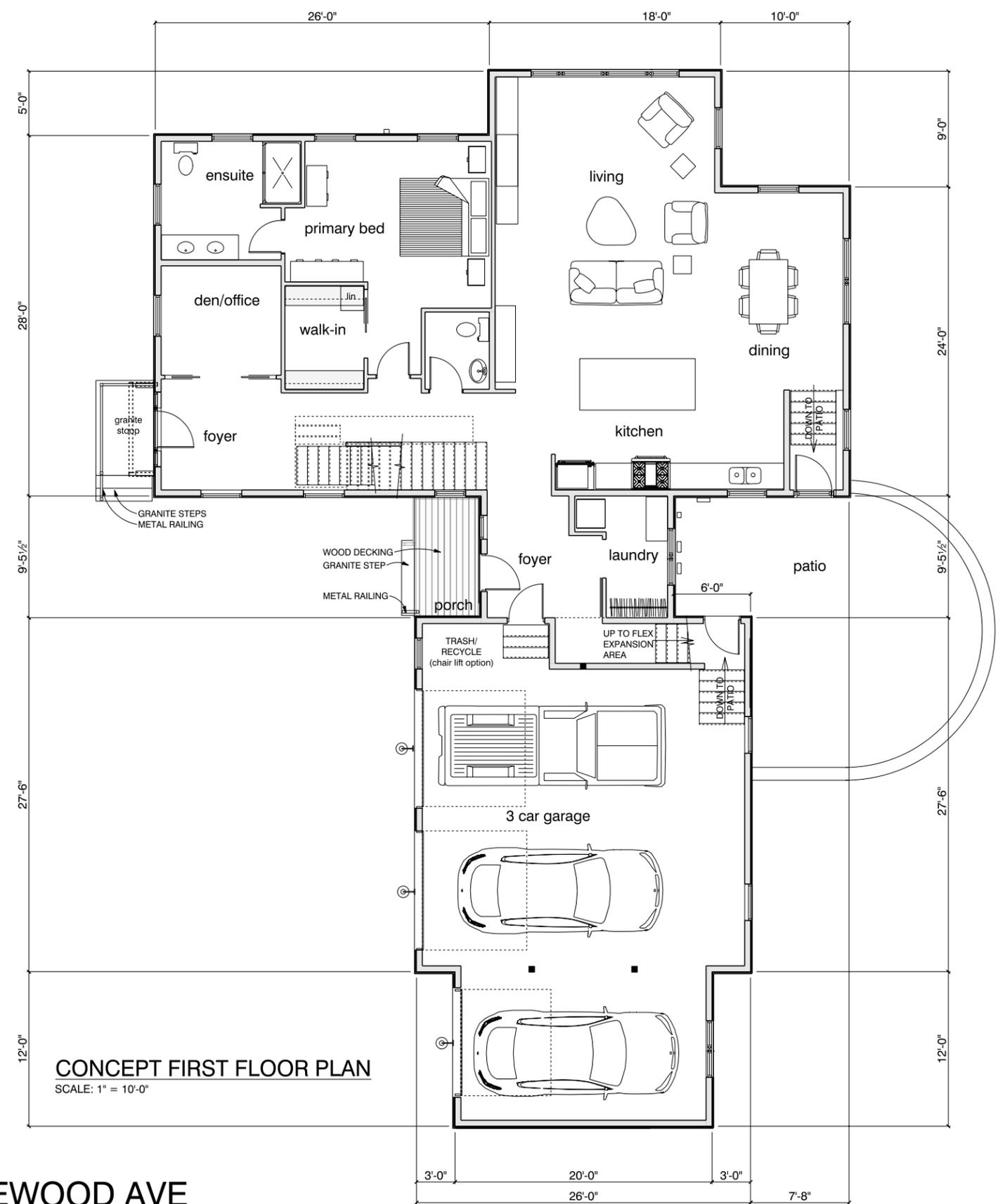
TYPICAL TRIM DETAIL - GARAGE



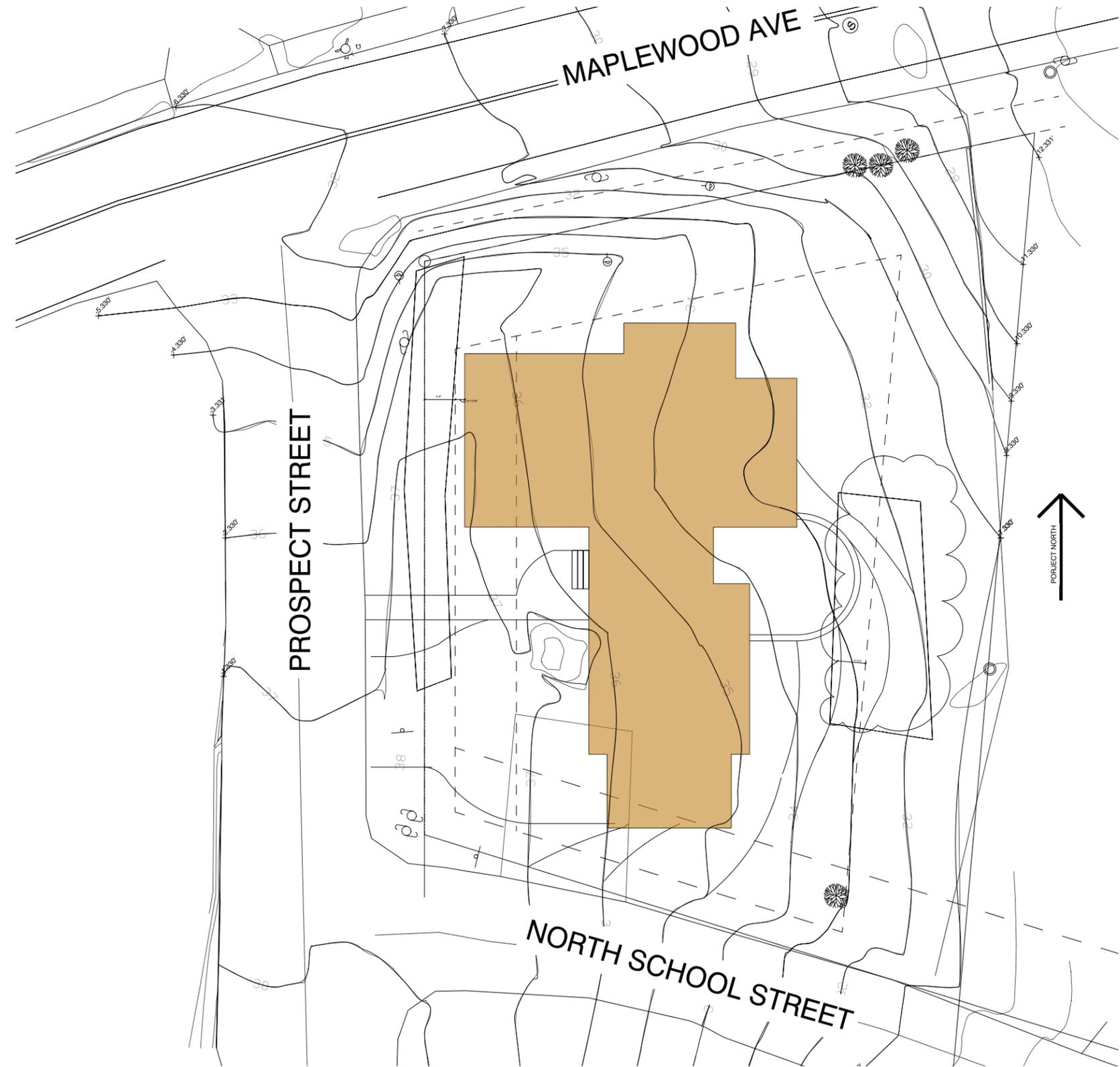
ROOF TRIM DETAIL



CONCEPT SECOND FLOOR PLAN
SCALE: 1" = 10'-0"



CONCEPT FIRST FLOOR PLAN
SCALE: 1" = 10'-0"



PROPOSED RESIDENCE 00 MAPLEWOOD AVE
PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISSION PUBLIC HEARING 02/02/22



GARAGE LIGHTS



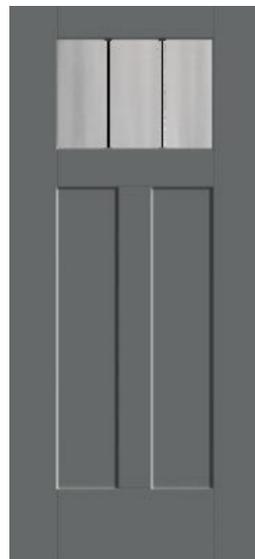
EXTERIOR RAILING



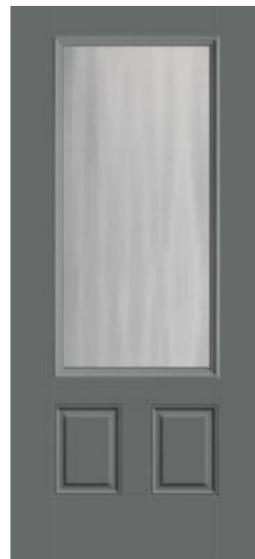
**GAF TIMBERLINE
NATURAL SHADOW OR EQUAL
COLOR TO BE DETERMINED**



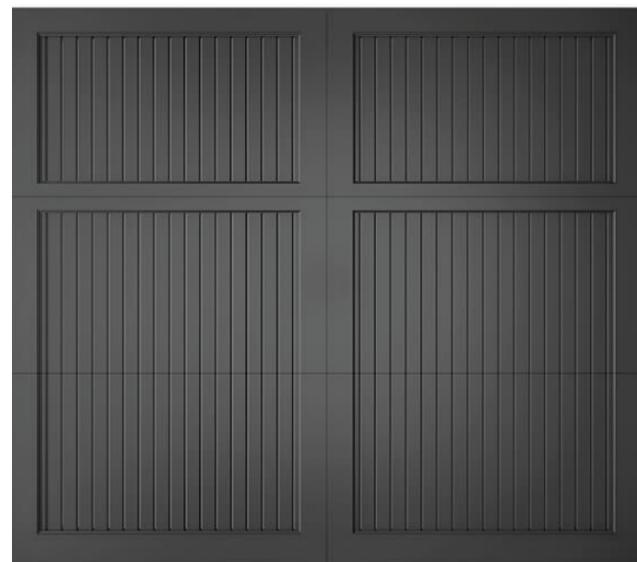
**THERMA-TRU FCM 31
FIBERGLASS
FRONT ENTRY DOOR
COLOR TO
BE DETERMINED**



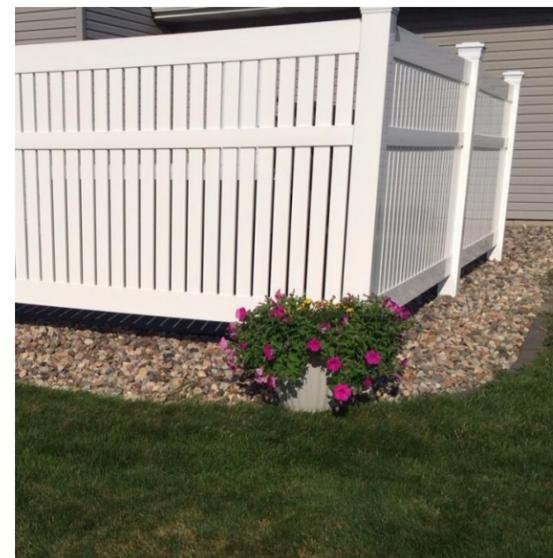
**THERMA-TRU SS 213
FIBERGLASS
BREEZEWAY AND
GARAGE/PATIO DOORS
COLOR TO BE DETERMINED**



**THERMA-TRU SS 170
FIBERGLASS
PATIO DOOR FROM HOUSE
COLOR TO BE DETERMINED**



**GARAGE OVERHEAD DOORS
TIMBERLANE 309 OR EQUAL
COMPOSITE WOOD VENEER FIELD PAINTED
COLOR TO BE DETERMINED**



**MECHANICAL SCREEN FENCING
5' HIGH PVC SEMI PRIVACY**



**SIMILAR PVC ENTRANCE BRACKET
BY WHITEWOOD DOVER**

GRILLE OPTIONS

Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern, and we'll even work with you and your customers to create custom patterns.



FULL DIVIDED LIGHT
Permanently applied to the interior and exterior of the window, with a spacer between the glass.

SIMULATED DIVIDED LIGHT
Permanent grilles on the exterior and interior, with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

CONVENIENT CLEANING OPTIONS
Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes, and feature a contoured profile in 1" (25) and 3/4" (19) widths.



ANDERSEN 400 SERIES TILT-WASH, CASEMENT AND AWNING WINDOWS

**PROPOSED RESIDENCE 00 MAPLEWOOD AVE
PORTSMOUTH, NEW HAMPSHIRE**

HISTORIC DISTRICT COMMISSION PUBLIC HEARING 02/02/22

**0 Market Street
Public Hearing
LU-22-3**



01/28/2022

LU-22-4

Land Use Application

Status: Active

Date Created: Jan 14, 2022

Applicant

Carla Goodknight
carla@cjarchitects.net
233 Vaughan Street
Suite 101
Portsmouth, NH 03801
6034312808

Location

0 MARKET ST
Portsmouth, NH 03801

Owner:

NATIONAL SOC OF COLONIAL DAMES & C/O RAY GUERIN
55 CERES ST PORTSMOUTH, NH 03801

Applicant Information

Please indicate your relationship to this project

B. Property Owner's Representative

Alternative Project Address

Alternative Project Address

55 Ceres Street

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

Request for Extension of Previously Granted Land Use Approval

55 Ceres Street - HDC Application for Approval

We respectfully submit this Application for Approval for the 55 Ceres Street project.

- Add proposed mechanical equipment.
- Replace rubber roof membrane.

Please refer to the attached drawings for more information on this proposed approval for the 55 Ceres Street project.

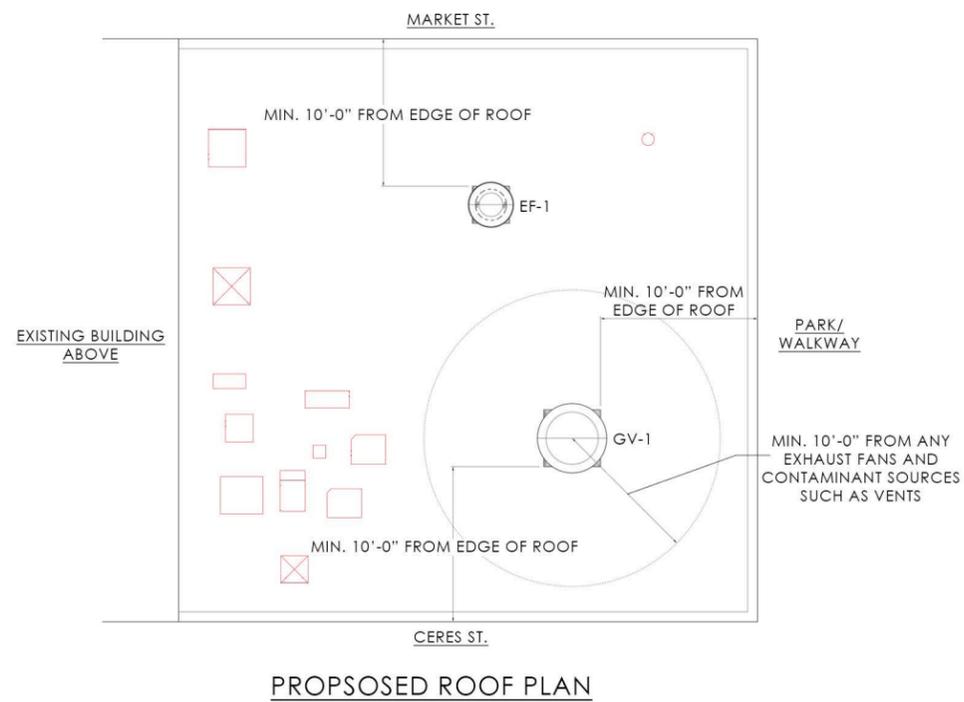
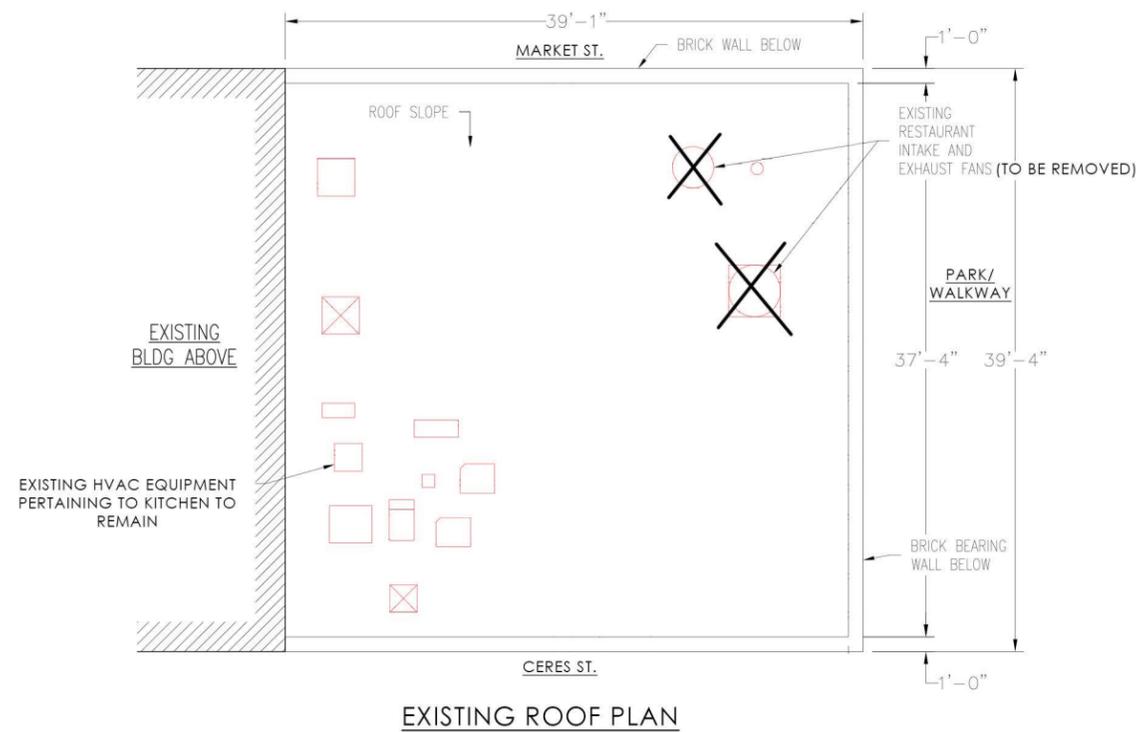
The Mechanical equipment presented in this application is limited only to equipment currently installed or proposed to be installed for the *Kitchen for The Oar House Restaurant*.

Thank you for your consideration.
Sincerely,



Carla Goodknight, AIA
Principal, CJ Architects





55 CERES STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED ROOF PLANS

HDC APPLICATION FOR APPROVAL: FEBRUARY 2, 2022



2.0



NOTE: EXISTING FENCE TO REMAIN.

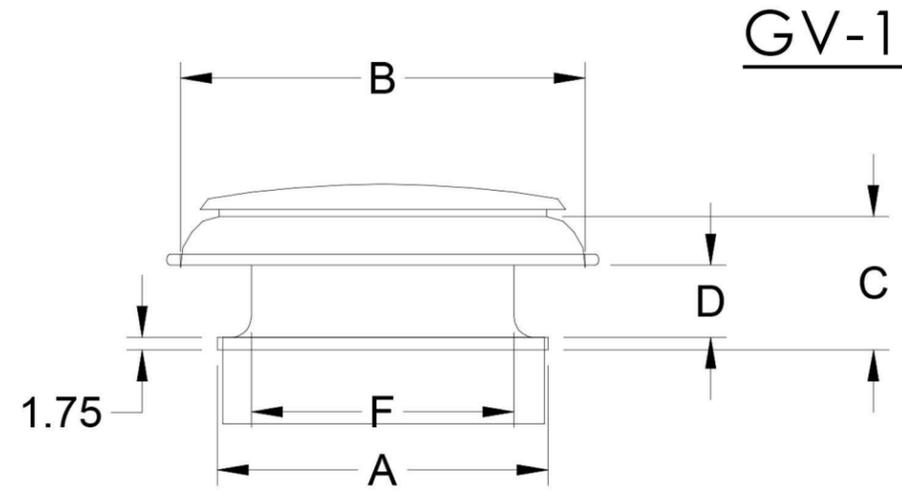
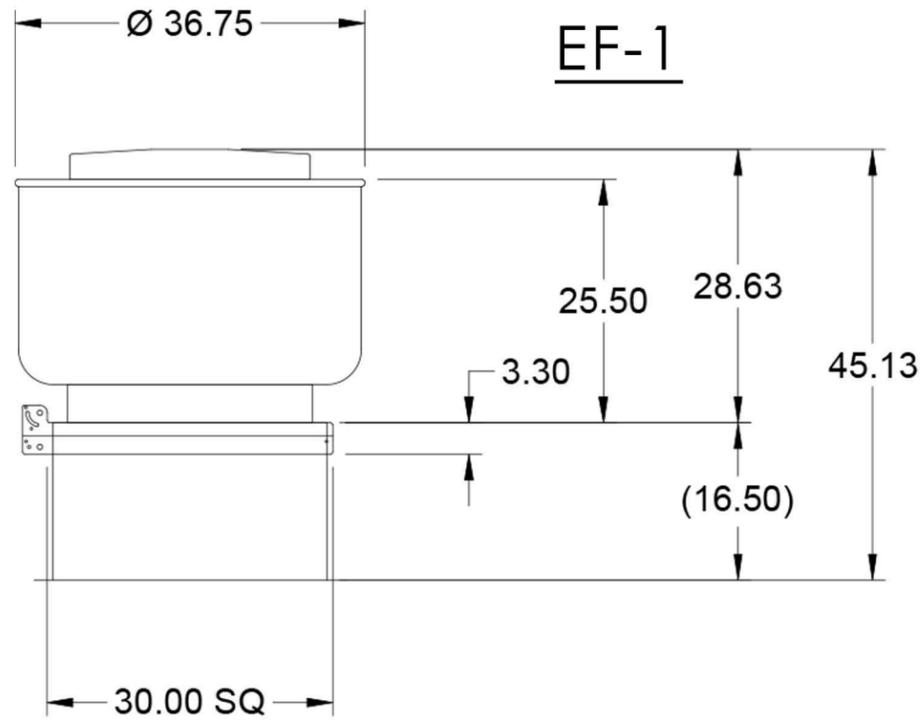
55 CERES STREET
PORTSMOUTH, NEW HAMPSHIRE

VIEW OF EXISTING ROOF

HDC APPLICATION FOR APPROVAL: FEBRUARY 2, 2022

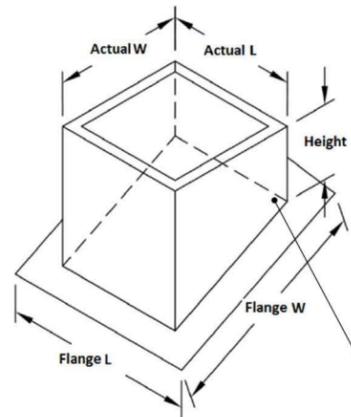


3.0



Dimensions

ID#	Tag	Qty	Model	Model Size (in.)	A (in.)	B (in.)	C (in.)	D (in.)	E (in.)	F (in.)	Curb Cap Width (in.)	Curb Cap Length (in.)	Weight (lb)
1-1		1	GRSI-36	36	46	56.75	23	10	N/A	36.5	46	46	45



Model: GPFP

**Pitched Roof Curb
Standard Construction Features:**

- Roof Curb fits between the building roof and the fan mounted directly to the roof support structure - Constructed of either 18 ga galvanized steel or 0.064 in. aluminum - Designed for pitched roofs - Straight sided without a cant - 2 in. or 5 in. mounting flange - 1 in. thick 3 lb density insulation - Height - Available from 8 in. to 24 in. as specified in 0.5 in. increments Notes: - The maximum roof opening dimension should not be greater than the "Actual" top outside dimension minus 2 in.. - The minimum roof opening dimension should be at least 2.5 in. more than the damper dimension or recommended duct size. - The Roof Opening Dimension may or may not be the same as the Structural Opening Dimension.

CURB FLANGE TO BE INSTALLED ON 2x BLOCKING AS REQUIRED BY ROOFING MANUFACTURER

General

ID#	Tag	Qty	Model	Sizing Method	Undersizing (in.)	Pitch (in.)	Pitch Run	Weight (lb)	Shipped Assembled
3-1		1	GPFP-30-G16	Nominal	1.25	0.125	Short Side	65	Yes

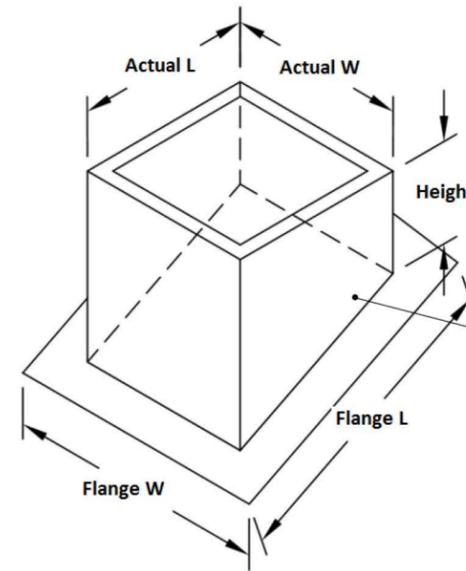
Dimensions

ID#	Curb Height (in.)	Nominal Outside Width (in.)	Nominal Outside Length (in.)	Actual Outside Width (in.)	Actual Outside Length (in.)	Actual Inside Width (in.)	Actual Inside Length (in.)	Flange Width (in.)	Flange Length (in.)	Hinge Base Width* (in.)	Hinge Base Length* (in.)
3-1	16	30	30	28.75	28.75	25.25	25.25	32.75	38.75	29	29

*May not be applicable

Accessories

ID#	Material	Security Bars	Liner	Insulation (in.)
3-1	Galvanized	N/A	No	1



CURB FLANGE TO BE INSTALLED ON 2x BLOCKING AS REQUIRED BY ROOFING MANUFACTURER

Dimensions

ID#	Curb Height (in.)	Nominal Outside Width (in.)	Nominal Outside Length (in.)	Actual Outside Width (in.)	Actual Outside Length (in.)	Flange Width (in.)	Flange Length (in.)
1-1	12	46	46	44.75	44.75	48.75	54.75



CELEBRATING OVER 35 YEARS OF SERVICE TO OUR CLIENTS

PLEASE RESPOND TO THE EXETER OFFICE

LIZABETH M. MACDONALD
JOHN J. RATIGAN
DENISE A. POULOS
ROBERT M. DEROSIER
CHRISTOPHER L. BOLDT
SHARON CUDDY SOMERS
DOUGLAS M. MANSFIELD
KATHERINE B. MILLER
CHRISTOPHER T. HILSON
HEIDI J. BARRETT-KITCHEN
JUSTIN L. PASAY
ERIC A. MAHER
CHRISTOPHER D. HAWKINS
BRENDAN A. O'DONNELL
ELAINA L. HOEPPNER
WILLIAM K. WARREN
SAM M. GONYEA

RETIRED

MICHAEL J. DONAHUE
CHARLES F. TUCKER
ROBERT D. CIANDELLA
NICHOLAS R. AESCHLIMAN

January 14, 2022

Jon Wyckoff, Vice Chair
Nick Cracknell
Portsmouth Historic District Commission
1 Junkins Ave., 3d Floor
Portsmouth, NH 03801

Re: Application of 55 Ceres Street, Inc.

Dear Mr. Wyckoff and Mr. Cracknell:

This office represents the National Society of the Colonial Dames of America in the State of New Hampshire (the "Colonial Dames"), which owns the property at 55 Ceres Street (the "Property") currently occupied by 55 Ceres Street, Inc. (the "Applicant").

The Colonial Dames are aware that the Applicant is seeking a Certificate of Approval from the City of Portsmouth's Historic District Commission ("HDC") to add two ventilation units to the roof of the building on the Property, which is the kitchen for the Oar House Restaurant. The Applicant has provided the Colonial Dames proposed sketches and information regarding the dimensions of the proposed units, and the Applicant has made representations to the Colonial Dames regarding its application.

The Colonial Dames hereby authorize the Applicant, through its agents, to submit an application to the HDC regarding the Property based upon the information provided and representations made by the Applicant to the Colonial Dames, subject to the following terms and conditions:

1. The agents of the Applicant are authorized to present information on behalf of the Applicant but are not authorized to present the position of the Colonial Dames except as specified in this letter.
2. The Colonial Dames do not authorize any application, offer, or discussion of replacing, renovating, or otherwise improving the existing fence along Market Street on the Property.

DONAHUE, TUCKER & CIANDELLA, PLLC
16 Acadia Lane, P.O. Box 630, Exeter, NH 03833
111 Maplewood Avenue, Suite D, Portsmouth, NH 03801
Towle House, Unit 2, 164 NH Route 25, Meredith, NH 03253
83 Clinton Street, Concord, NH 03301

3. The Colonial Dames' authorization is based upon the assumption and understanding that Unit EF-1, depicted in the filed materials, will be no more than 45.13 inches from the surface of the roof of the building on the Property and that Unit GV-1 will be less than 45.13 from the surface of the roof.
4. The Applicant's proposed work requires a Certificate of Approval from the HDC after a public hearing and is not properly the subject of an Administrative Approval because the Applicant's proposal does not constitute a "minor modification on work for which a Certificate of Approval has previously been issued", as required by Section 10.633.30 of the City of Portsmouth's Zoning Ordinance. Further, the Colonial Dames will be provided notice of all public hearings.
5. The Colonial Dames' authorization is limited to the items depicted in the Applicant's filing only. The Colonial Dames' authorization expressly does not apply to any other external modifications to the Property which may be required of the Applicant, or its successors or assigns, pursuant to the Food Service permitting process, or any other applicable law, code or regulation.
6. The Colonial Dames' authorization is based upon information it has been provided by the Applicant. If the information presented by the Applicant to the HDC is materially different than that which was presented to the Colonial Dames, then the Colonial Dames reserve the right to withdraw their authorization.
7. In the event the HDC imposes any conditions upon the Applicant in connection with the current application, the Colonial Dames reserve the right to withdraw their authorization.

The Colonial Dames reserve the right to withdraw their authorization at any time.

This letter does not alter or amend in any manner the existing lease agreement between the Colonial Dames, as landlord, and 55 Ceres Street, Inc., nor is it intended to be deemed or interpreted as a consent to any assignment of such lease agreement.

Thank you for your attention to this matter.

Sincerely,

DONAHUE, TUCKER & CIANDELLA, PLLC



Christopher D. Hawkins
chawkins@dtclawyers.com

64 Vaughan Street

Public Hearing

LU-20-214

**ATTN: Historic District
Commission**

**RE: February 2, 2022 Meeting
64 Vaughan Mall Restoration
Portsmouth, NH 03801**

**Novocure Inc.
195 Commerce Way
Portsmouth, NH 03801**

**CONTACT:
Shayne Forsley
Hampshire Development Corp.
Shayne.forsley@hdcgc.net
603.997.2519**

HAMPSHIRE DEVELOPMENT CORPORATION

General Contractor

January 13, 2022

City of Portsmouth
Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

Attention: Historic District Commission
RE: 64 Vaughan Mall (LU-20-214)

The applicant for the Restoration of 64 Vaughan Mall requests to modify the East Elevation as shown in the attached drawing. The proposed elevation shows a “4-bay” storefront on either side of the entry door from the Vaughan Mall, previously approved as a 3-bay configuration. Due to the vertical structure requirements, and the availability of glass for the large individual units, the new configuration has been prepared for your review.

Sincerely,

Shayne Forsley
General Manager

Cc: Novocure Inc.
195 Commerce Way
Portsmouth, NH 03801
64 Vaughan Mall - Owner



2 EAST ELEVATION - HDC - PREVIOUSLY SUBMITTED ON 11/19/2021
1/16" = 1'-0"

- HDC REVISION KEY NOTES**
- HANOVER STREET ENTRY AND RAMP REMOVED. REPLACED 5 METAL PANELS WITH 4 STOREFRONT WINDOW SYSTEMS.
 - REVISED LAYOUT OF STOREFRONT AT VAUGHAN MALL ENTRANCE.
 - REMOVED EXTERIOR DECKS.
 - INFILL OF DECK WITH INTERIOR FLOOR MOVED EXTERIOR WALLS TO ALIGN WITH FIRST FLOOR EXTERIOR BELOW.
 - RELOCATED MECHANICAL ROOF UNITS.
 - CENTERED WINDOWS.
 - RESIZED WINDOWS AND CENTERED WINDOWS.
 - ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



2 EAST ELEVATION - HDC
1/16" = 1'-0"

- HDC REVISION KEY NOTES**
- REVISED LAYOUT OF STOREFRONT AT VAUGHAN MALL ENTRANCE.
 - INCLUDED EXISTING DOOR LEAF AND MATCHED DESIGN FOR OPPOSITE LEAF.

A3.1 EXTERIOR ELEVATIONS
64 Vaughan Mall
01/14/2022
SCALE: As indicated

**2 Russell Street & 0 Deer
Street (2 Lots)
Work Session
LUHD-366**



01/28/2022

LUHD-366

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jul 13, 2021

Applicant

Ryan Plummer
ryan@twointernationalgroup.com
1 New Hampshire Ave, Suite 123
Portsmouth, NH 03801
603.431.6400 ext. _____

Location

2 RUSSELL ST
Portsmouth, NH 03801

Owner:

PORT HARBOR LAND LLC
1000 MARKET ST BUILDING ONE PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Development of a roughly 2 acre parcel in CD-5, Historic District, and NEIOD.

Description of Proposed Work (Planning Staff)

new construction of a free-standing structure (construct a 3-5 story mixed-use building)

Project Representatives

Relationship to Project	
Other	
If you selected "Other", please state relationship to project.	
Owner's Representative	
Full Name (First and Last)	Business Name (if applicable)
Ryan Plummer	Two International Group
Mailing Address (Street)	City/Town
1 New Hampshire Ave, Suite 123	Portsmouth
State	Zip Code
NH	03801
Phone	Email Address
6034316400	ryan@twointernationalgroup.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Other



RUSSELL STREET DEVELOPMENT

HDC SUBMISSION #4 | 1.21.2022



PROJECT TEAM

**PORT HARBOR
LAND, LLC**
OWNER

SGA
ARCHITECT



**MARKET SQUARE
ARCHITECTS**
ARCHITECT OF RECORD



TIGHE & BOND
CIVIL



SITE CONTEXT | DOWNTOWN PORTSMOUTH



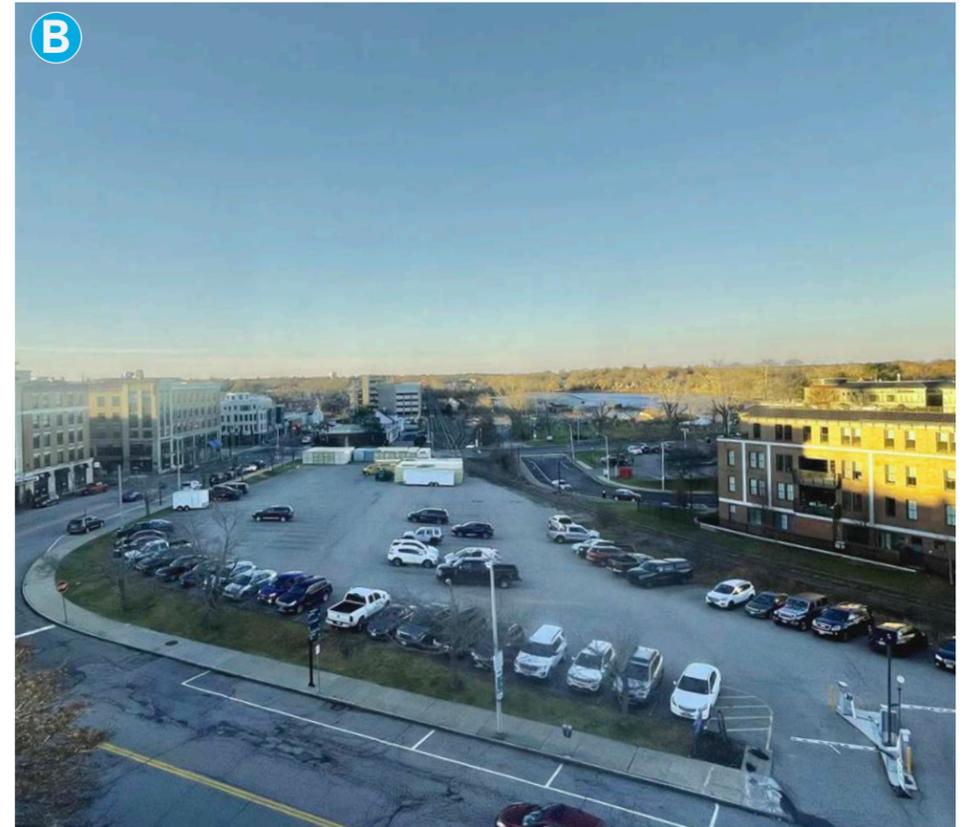
SITE CONTEXT | NORTH END SITE ANALYSIS



- KEY**
- PROJECT SITE
 - BIKE LANE
 - BUS
 - NEW DEVELOPMENT
 - FUTURE NEW DEVELOPMENT AREA
 - GREEN SPACE

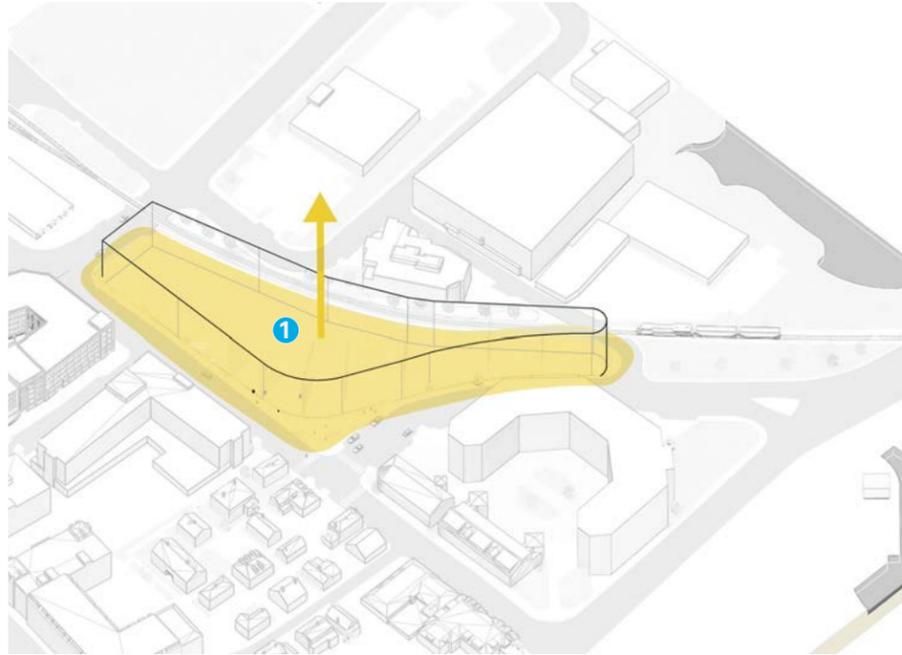


SITE CONTEXT | EXISTING SITE PHOTOS

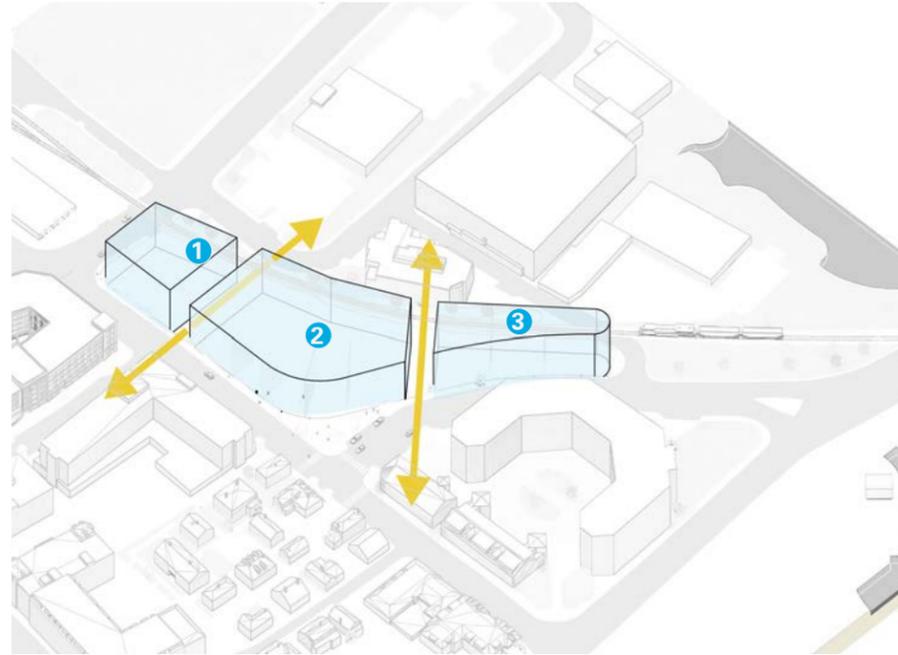


- A. View from Russell Street looking South towards site
- B. View from Sheraton Hotel looking South toward's site
- C. View from site looking NE towards Vaughan Street
- D. View from site looking South down Maplewood Avenue

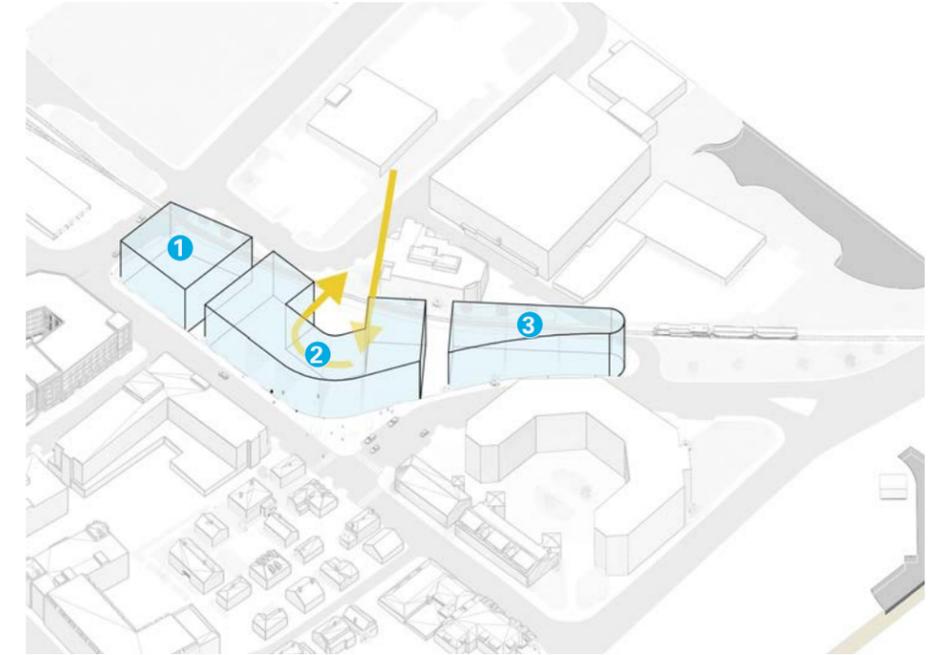
MASSING DIAGRAMS



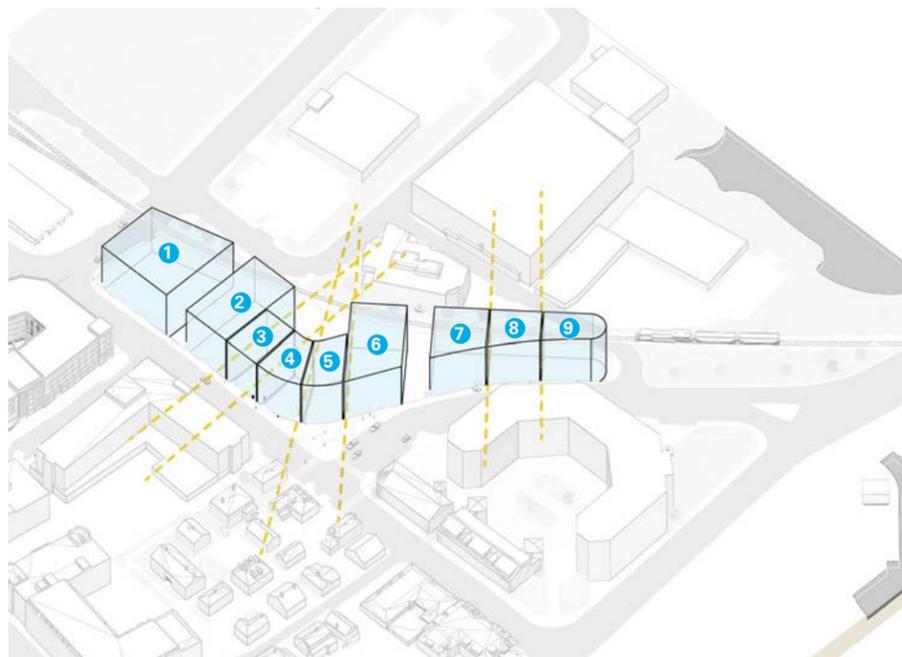
STEP 1: EXTRUDE THE ENTIRE BUILDABLE SITE
TO MAXIMIZE BUILDING HEIGHT AND FOOTPRINT.



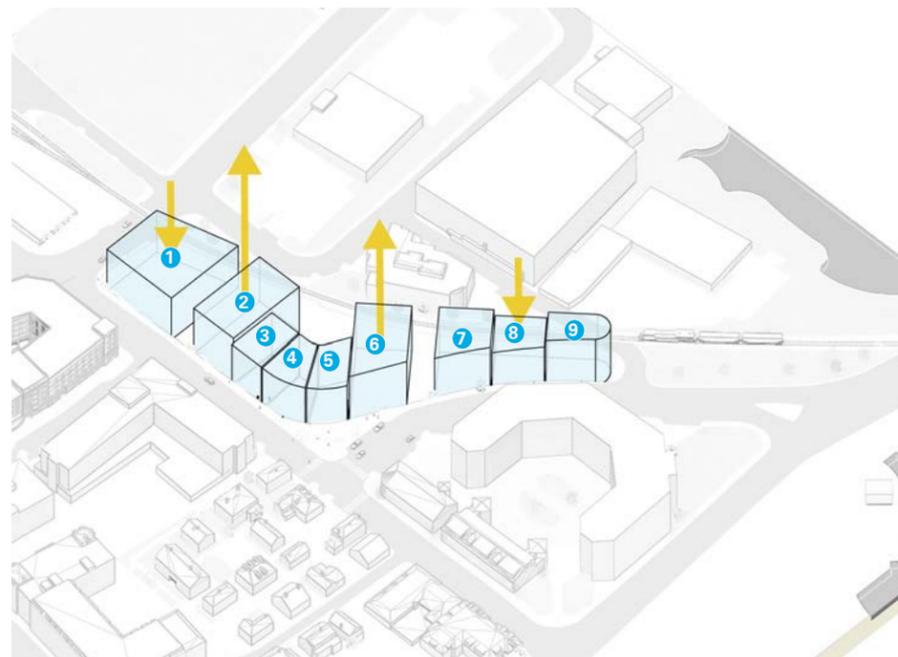
STEP 2: CREATE VIEW CORRIDORS
TO FRAME CONTEXT AND BREAK DOWN BUILDING SCALE.



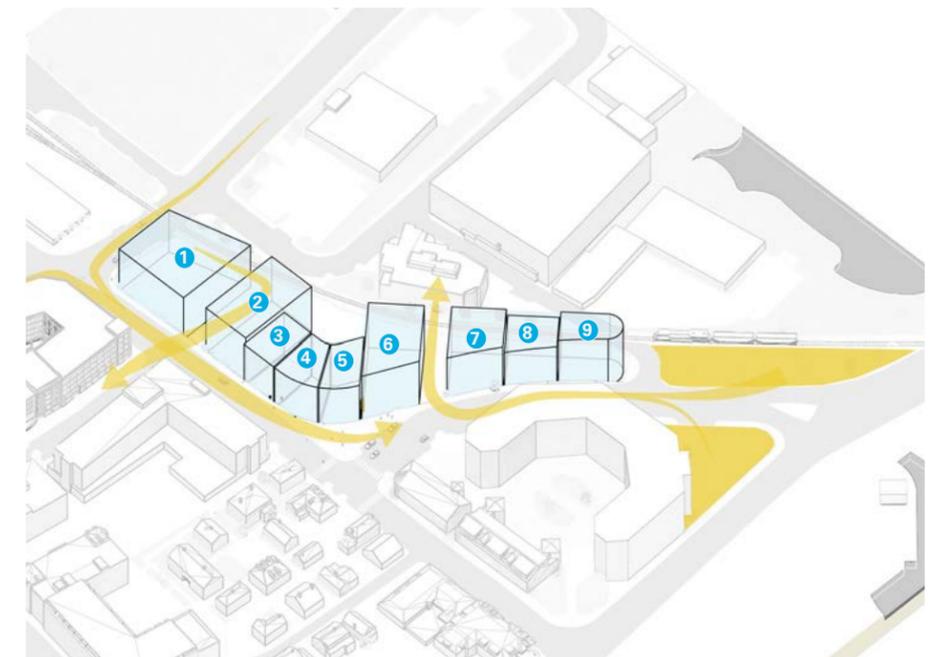
STEP 3: CARVE AWAY AT THE MASS
TO FORM OUTDOOR COURTYARD SPACE.



STEP 4: BREAK THE MASSES INTO MODULES
TO RELATE TO THE SURROUNDING CONTEXT SCALE.



STEP 5: VARY MODULE HEIGHTS AND SETBACKS
TO CREATE VISUAL BREAKS IN THE FACADES.



STEP 6: PULL IN COMMUNITY SPACE
TO STRENGTHEN PUBLIC INTERACTION WITH THE SITE

FACADE STUDY | DOWNTOWN PORTSMOUTH



1. CREATE AN ACTIVE GROUND & DEFINE ENTRANCES



2. MAINTAIN WINDOW LINES



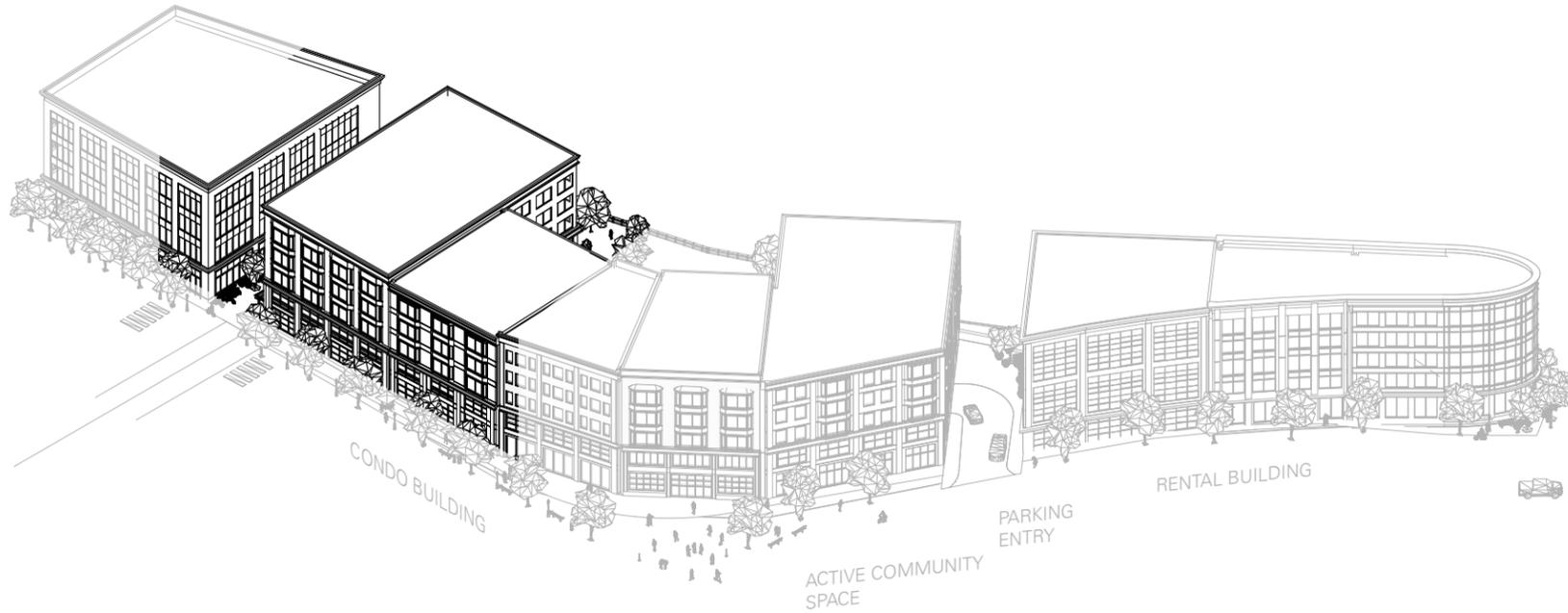
3. PRESERVE FACADE RHYTHM



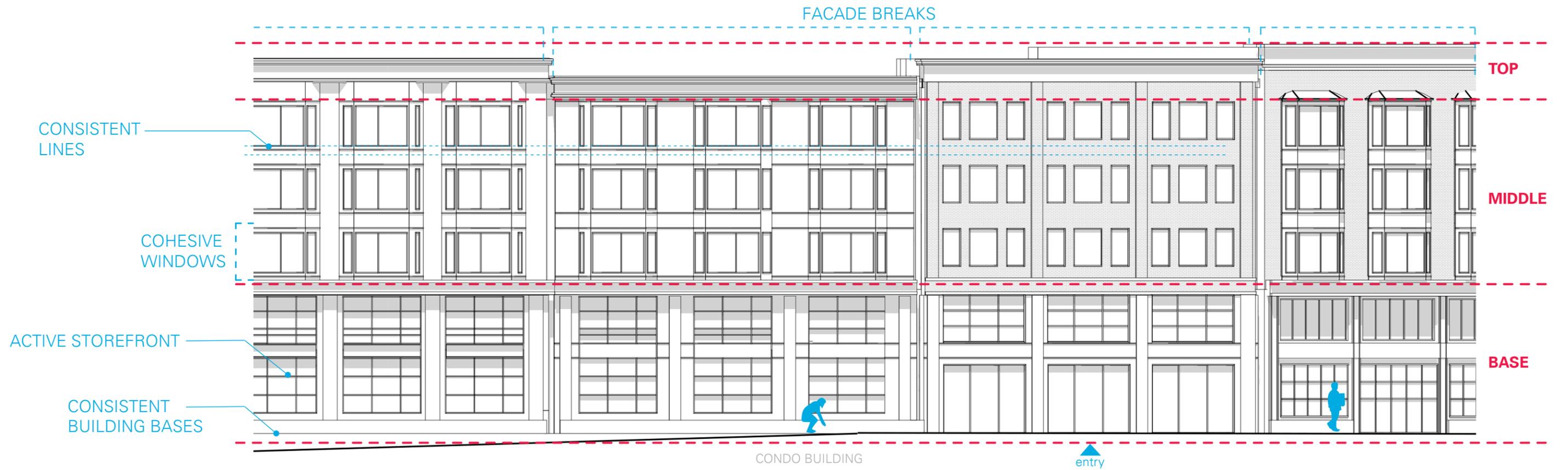
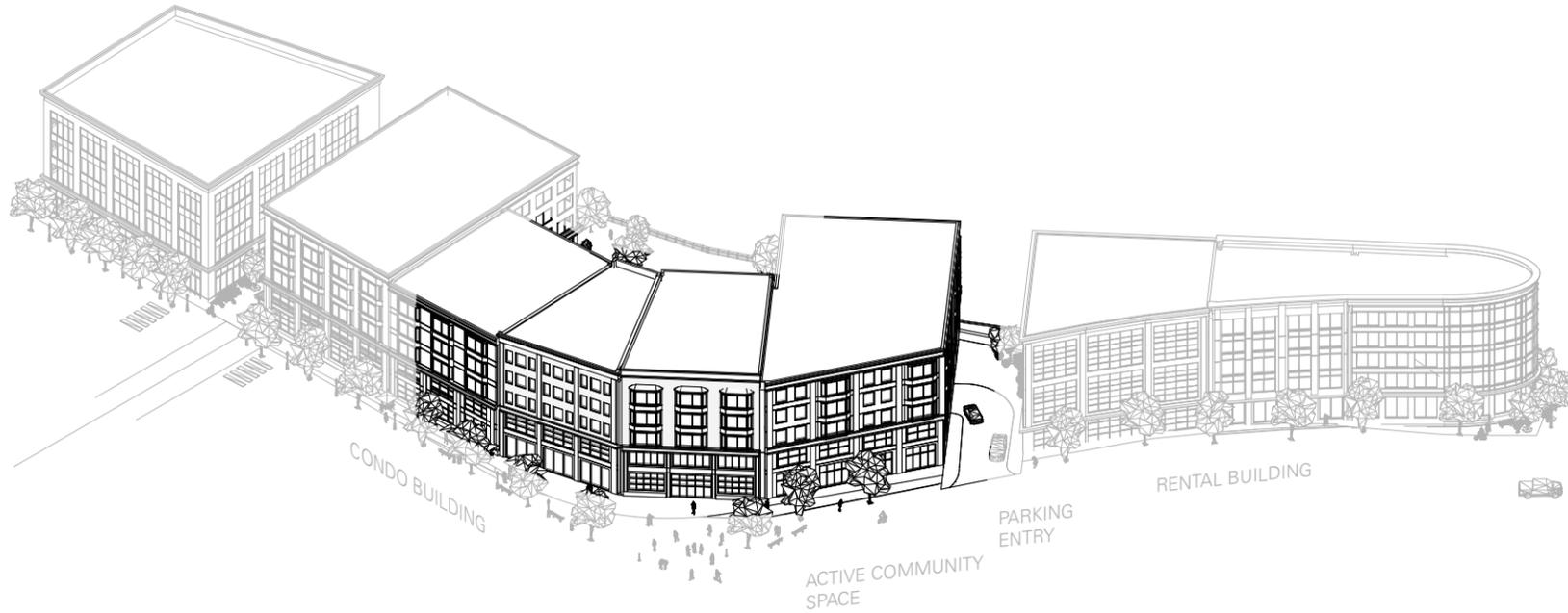
FACADE STUDY AT MARKET SQUARE



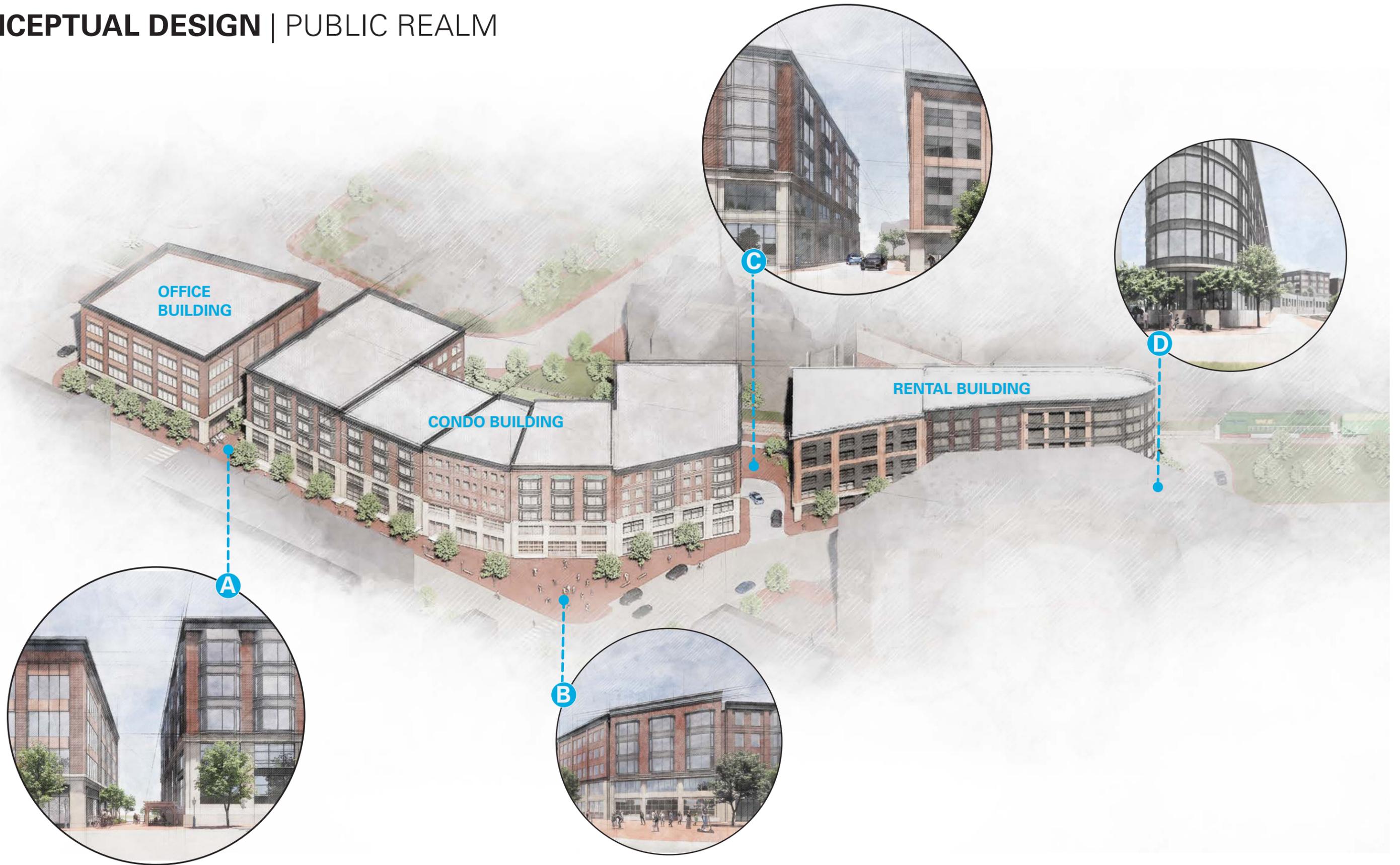
FACADE DESIGN | OFFICE AND CONDO PARTIAL ELEVATION



FACADE DESIGN | CONDO PARTIAL ELEVATION



CONCEPTUAL DESIGN | PUBLIC REALM



CONCEPTUAL DESIGN | PUBLIC REALM - VIEW A | DEER STREET PUBLIC ALLEY



CONCEPTUAL DESIGN | PUBLIC REALM - VIEW B | DEER & RUSSELL STREET PLAZA



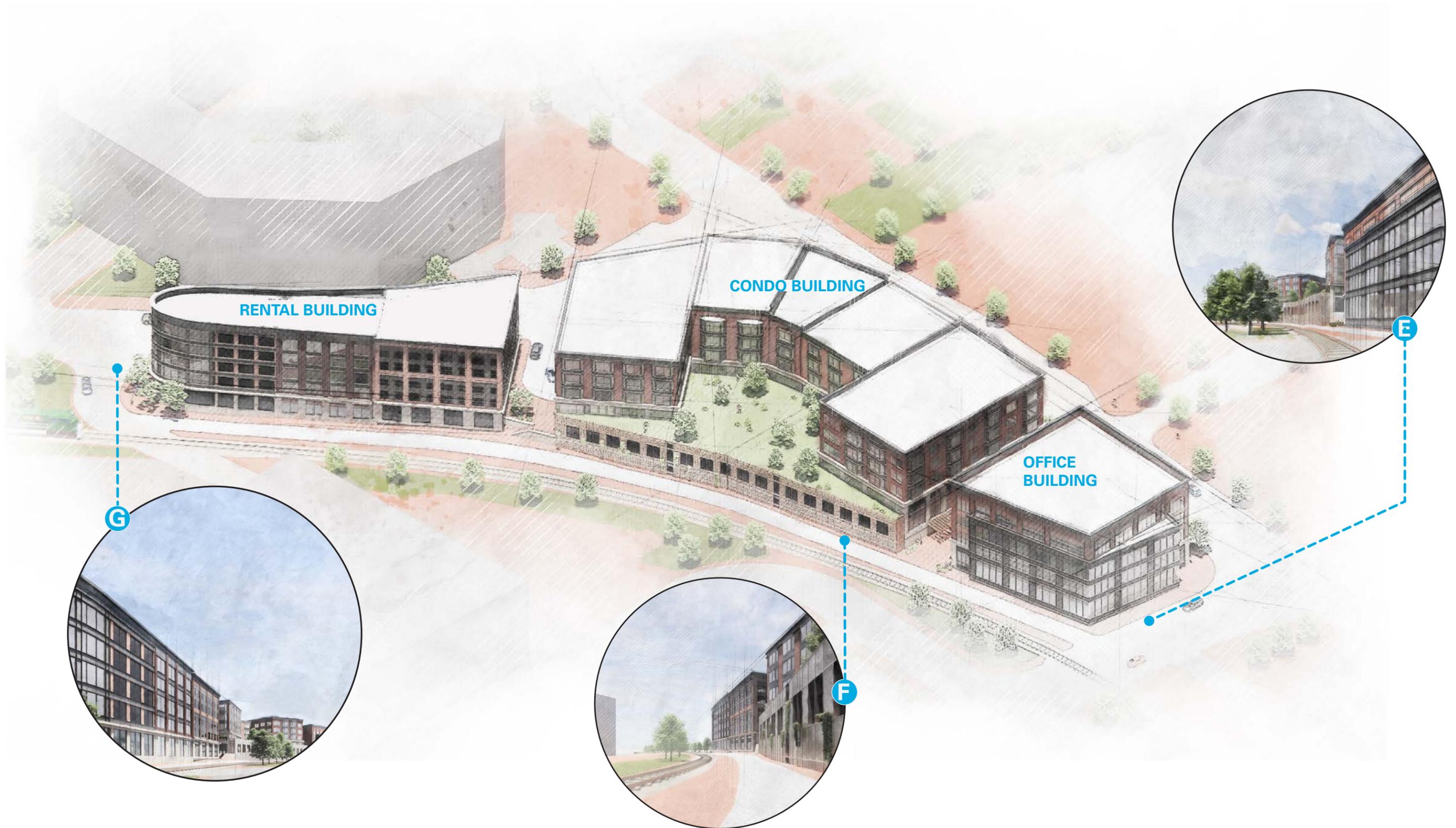
CONCEPTUAL DESIGN | PUBLIC REALM - VIEW C | RUSSELL STREET PARKING ENTRY



CONCEPTUAL DESIGN | PUBLIC REALM - VIEW D | GREEN AND RUSSELL STREET PLAZA



CONCEPTUAL DESIGN | PUBLIC REALM (CONTINUED)



CONCEPTUAL DESIGN | PUBLIC REALM - VIEW E | REAR VIEW FROM MAPLEWOOD STREET



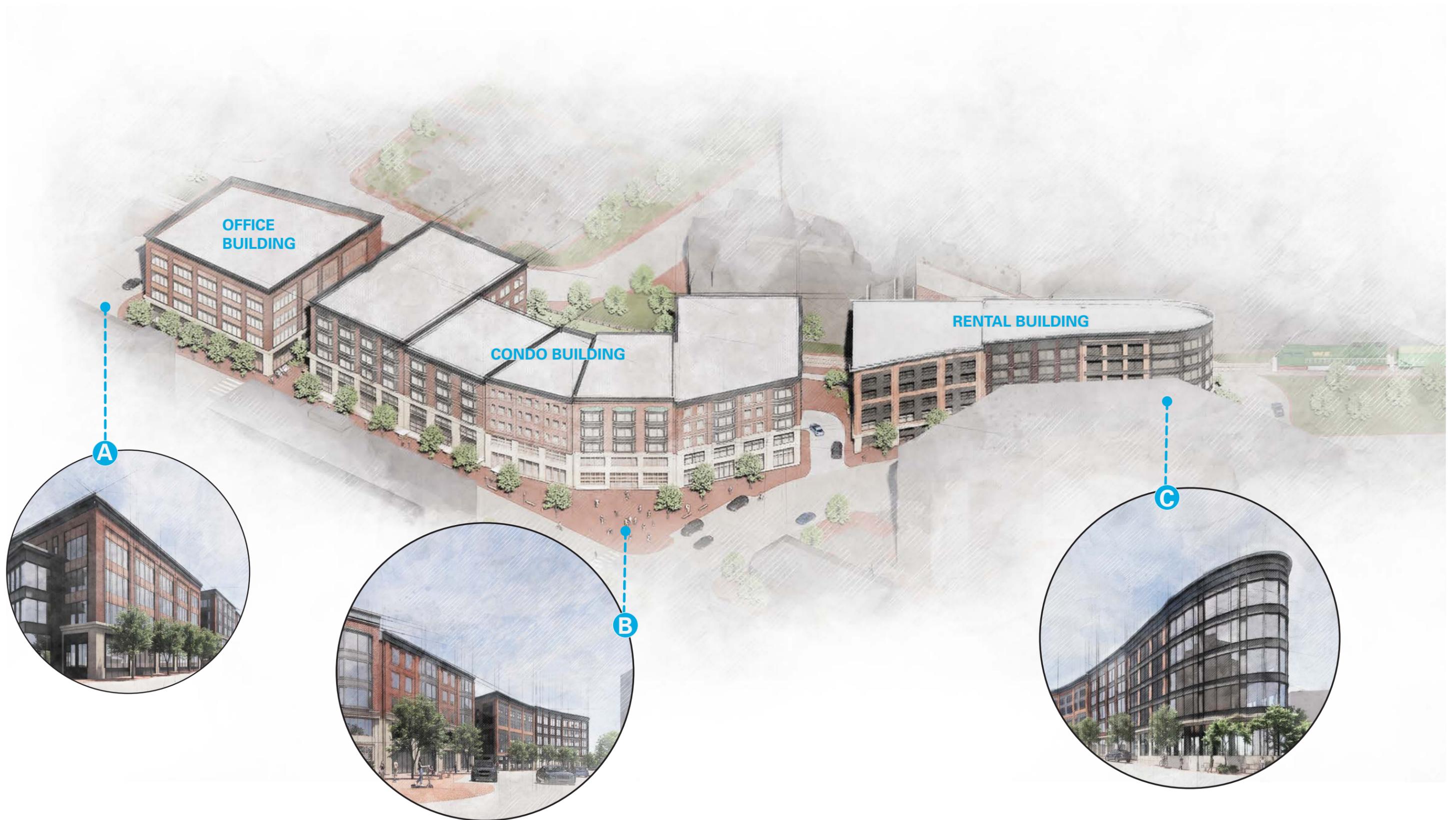
CONCEPTUAL DESIGN | PUBLIC REALM - VIEW F | REAR VEHICULAR ACCESS



CONCEPTUAL DESIGN | PUBLIC REALM - VIEW G | REAR VIEW FROM GREEN AND RUSSELL ST



CONCEPTUAL DESIGN | FACADE



CONCEPTUAL DESIGN | FACADE - VIEW A | MAPLEWOOD AND RUSSELL STREET EDGE



CONCEPTUAL DESIGN | FACADE - VIEW B | DEER AND RUSSELL STREET PLAZA



CONCEPTUAL DESIGN | FACADEVIEW - VIEW C | GREEN AND RUSSELL STREET PLAZA



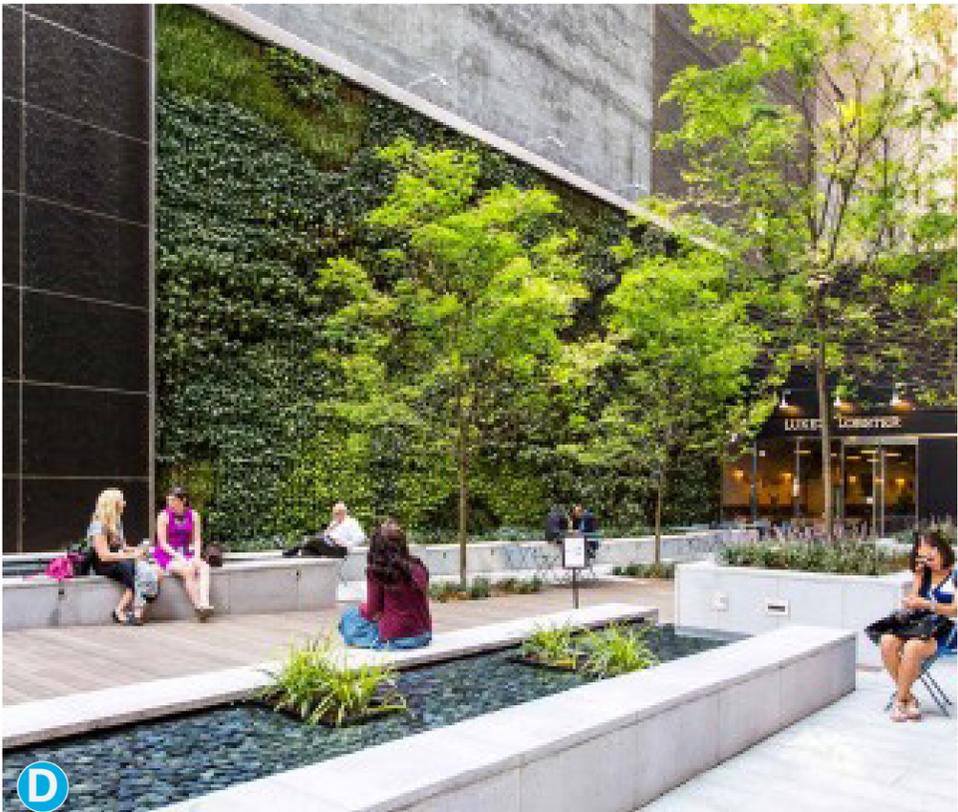
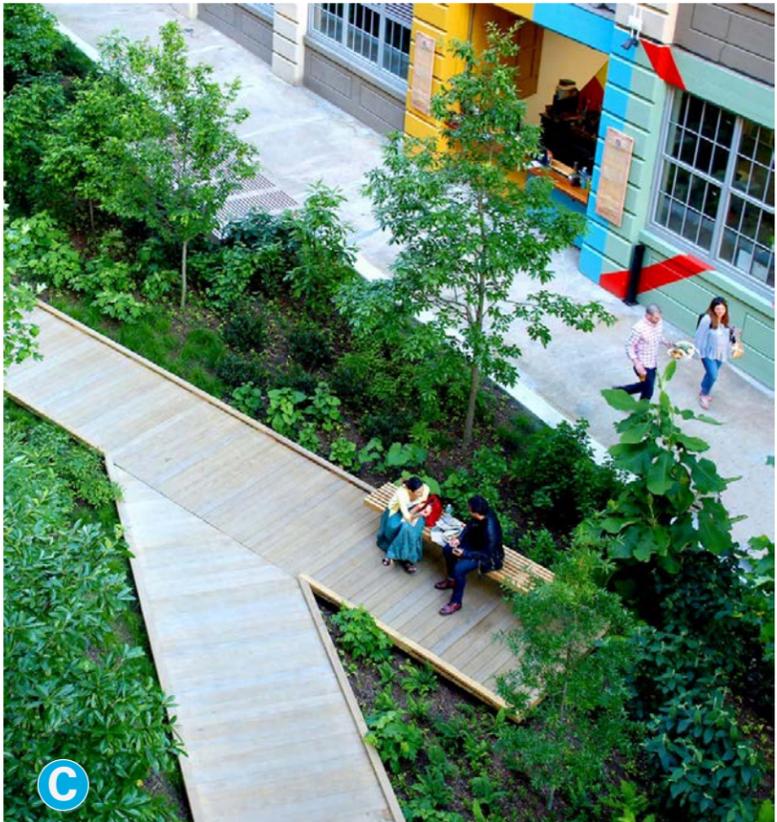
PRECEDENT IMAGES - FACADE



PRECEDENT IMAGES - LOCAL PORTSMOUTH



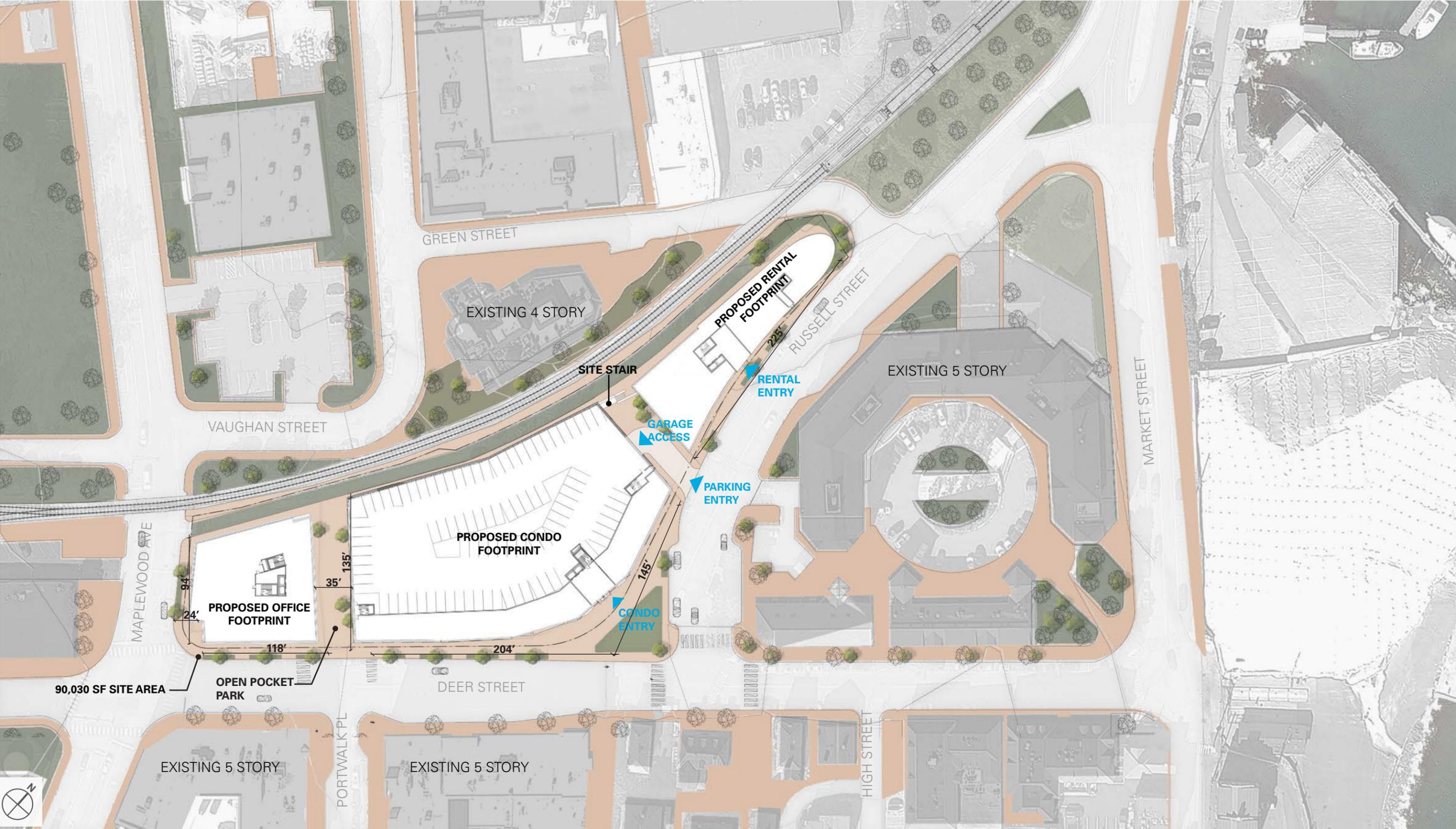
PRECEDENT IMAGES - COMMUNITY SPACE



CONTEXTUAL SITE PLAN



GROUND FLOOR PLAN



ARCHITECTURE | PLANNING
INTERIOR DESIGN | VDC
BRANDED ENVIRONMENTS

BOSTON
200 HIGH ST, FLOOR 2
BOSTON, MA 02110

NEW YORK
54 W 21ST ST, FLOOR 12
NEW YORK, NY 10010

SGA-ARCH.COM
857.300.2610

THANK YOU

129 State Street

Work Session

LUHD-414



01/28/2022

LUHD-414

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Dec 16, 2021

Applicant

Shayne Forsley
shayne.forsley@hdcgc.net
41 Industrial Dr STE 20
Exeter, NH 03833
603-997-2519

Location

129 STATE ST
Portsmouth, NH 03801

Owner:

129 STATE STREET LLC
129 STATE ST PORTSMOUTH , NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Facade modifications to include removal of shutters and modern ornamental trim, addition of dormers, roof and siding material changes, and reorganization of entry points for persons and vehicles.

Description of Proposed Work (Planning Staff)

renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department.

Project Representatives

Relationship to Project Architect	
If you selected "Other", please state relationship to project. --	
Full Name (First and Last) Chip Webster	Business Name (if applicable) Chip Webster Architects
Mailing Address (Street) 11 South Shore Road	City/Town Nantucket
State MA	Zip Code 02554
Phone 508-228-3600	Email Address info@chipwebster.com

Relationship to Project Owner	
If you selected "Other", please state relationship to project. --	
Full Name (First and Last)	Business Name (if applicable)

**ATTN: Historic District
Commission**

**RE: February 2, 2022 Meeting
129 State Street
Portsmouth, NH 03801**

**129 State Street
Doyle Residence – Bill Doyle & Stephanie Nam**

**CONTACT:
Shayne Forsley
Hampshire Development Corp.
Shayne.forsley@hdcgc.net
603.997.2519**

HAMPSHIRE DEVELOPMENT CORPORATION

General Contractor

January 13, 2022

City of Portsmouth
Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

Attention: Historic District Commission
RE: 129 State Street (LUHD-414)

The applicant and homeowners of 129 State Street, Bill & Stephanie Doyle requests to modify the façade to their property and add dormers for their use. The proposed design includes:

- Removal of the decorative window dressings
- Replacement of the non-historic windows & addition/reconfiguration of windows facing Sheafe Street
- Addition of stone sills & headers on original masonry structure
- Addition of (2) gable dormers on State Street & shed dormer facing Sheafe Street
- Addition of hip roof to rear portion of the modern structure
- Replacement of asphalt shingle roof with synthetic slate
- Reconfiguration of garage entry & civilian entry at the rear of the modern addition on Sheafe Street
- Replacement of existing siding to modern addition with period appropriate clapboard or composite siding
- Addition of exterior lights above the garage doors and balcony facades
- General clean up of masonry & exterior trim to restore the structure back to its original form

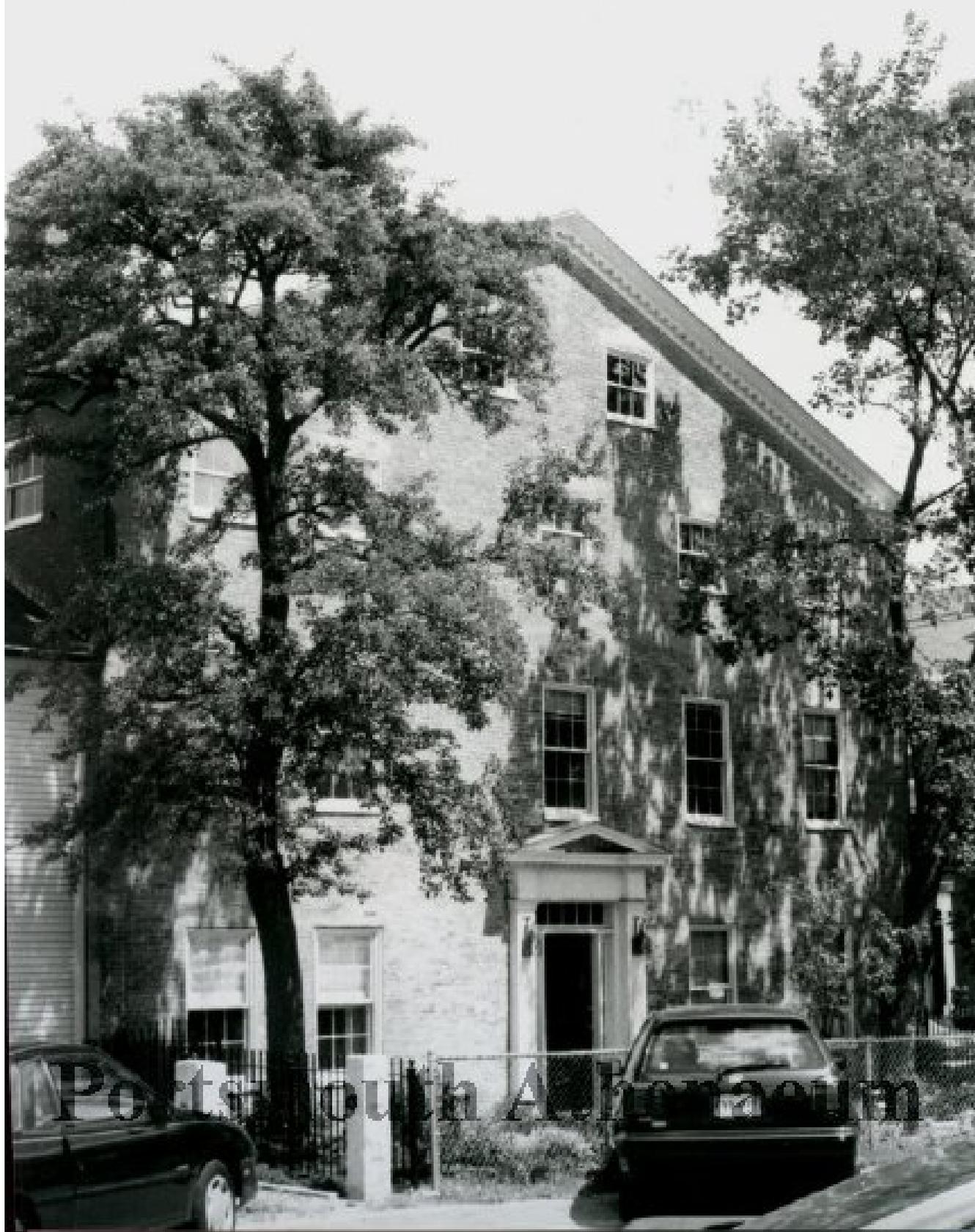
The proposed architectural design is included in the package for your review and comment. We look forward to meeting with you for a work session for this project.

Sincerely,

Shayne Forsley
General Manager

Cc: Bill Doyle & Stephanie Nam - Owners
129 State Street
Portsmouth, NH 03801

129 State Street - 1998



129 State Street - 1998



Barreouth@thenas.m

179 Pleasant Street
Work Session
LUHD-416



01/28/2022

LUHD-416

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Dec 17, 2021**Applicant**

Carla Goodknight
 carla@cjarchitects.net
 233 Vaughan Street
 Suite 101
 Portsmouth, NH 03801
 6034312808

Location

179 PLEASANT ST
 Portsmouth, NH 03801

Owner:

Mill Pond View LLC
 179 PLEASANT ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Work Session

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Work Session to review minor changes to a previous approval and current structural findings.

Description of Proposed Work (Planning Staff)

changes to a previously approved design (changes to the sunroom and roof design) as per plans on file in the Planning Department.

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Carla Goodknight

Business Name (if applicable)

CJ Architects

Mailing Address (Street)

233 Vaughan Street, Suite 101

City/Town

Portsmouth

State

New Hampshire

Zip Code

03801

Phone

603 431 2808

Email Address

carla@cjarchitects.net

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

21 January 2022

Structural Condition Assessment - Annex
Captain Thomas Thompson House
179 Pleasant Street
Portsmouth, New Hampshire

Gorham Structural Engineering, PLLC is a consultant to the property owner and has been retained to work with project architect, CJ Architects, to provide a conditions assessment of the building structure at 179 Pleasant Street. The following is a summary of the findings from the conditions assessment for the annex.

General Description

The Captain Thomas Thompson House is a two story wood framed hip-roofed mansion that was built in 1784. An ell known as the annex extends off the back of the original building and was built around 1860. The overall dimensions of the annex are approximately 22'-9"x30'-0".

Exterior

On the exterior, the building's foundation, siding, windows, roofing and chimneys are all in need of maintenance.



Annex south elevation



Annex east elevation



Annex north elevation



Side entry foundation detail view



Bulkhead detail view



East wall foundation with access panel

Foundation

The annex is supported a combination of brick and stone foundations with three distinctly different areas. See SK1 attached. From the back wall of the mansion, a full depth stone foundation extends east 14'-6" (\pm). The next area is inaccessible with a shallow stone perimeter foundation wall and an exposed earth floor extending east 10'-8" (\pm). The third foundation area is constructed of brick over stone masonry perimeter wall enclosing a low clearance crawl space with an exposed earth floor extending east 11'-9" (\pm).

The full-height stone foundation wall along the side entrance appears to be bowing inward with numerous cracks in the mortar joints. This is most likely due to the surcharge force

from the side entrance foundation, which is in visibly poor condition and in need of repair or replacement. Further investigation of this area is recommended.

The brick and stone foundation is in poor condition with eroded mortar joints and some wall areas visibly leaning out of plumb. My opinion is that the crawl space foundations will require significant repair.

First Floor Framing

The annex first floor framing is a combination of heavy timber, wood framing in direct contact with soil, and timber joists over a crawl space. See SK2 attached. My opinion is that the first floor framing, over the crawl space areas, is in poor condition and may need to be removed to provide access to the crawl space so the foundation can be repaired, for the installation of a proper vapor barrier, and to install new MEP systems.



First floor transition at full foundation



First floor near chimney/hearth

First Floor Wall Framing

The first floor exterior wall framing appears to have been modified numerous times over the life of the building. Some areas which look original are framed with 3x3 studs spaced at 30" on center with 2x2 infill studs and sloped furring. In other areas, it appears that new windows were installed and significant, but structurally dubious, framing modifications have been made. Significant repairs have been made at the curved wall.



3x3 and 2x2 first floor wall framing



Curved wall framing



Wall framing at window



Wall framing at window

Second Floor Framing

The second floor is framed using 3"x5½" joists spaced at 24" on center. See SK3 attached. The joists are supported at a (4)2x10 beam spanning 18-feet and a 3½"x7" beam which is supported at the chimney. Both beams are significantly overstressed. A number of the joists have been notched, drilled, or otherwise damaged to an extent that they have no tangible structural value. It was observed that one ply of the (4)2x10 beam is fractured. Assuming Hem-Fir material, the allowable total load for this floor system would be less than 5 psf. This floor must be considered unsafe in current condition and will require significant reinforcing or replacement.



Second floor joist



Second floor joist



(4)2x10 beam at supporting second floor



3"x7½" beam supporting second floor

Second Floor Wall Framing

The second floor exterior walls are constructed using 3"x4" studs spaced at 32" on center and are in good condition.



View of second floor wall framing



Curved wall framing as second floor

Third Floor Framing

The third floor is framed using 4"x5³/₄" wood joists spaced at 32" on center. See SK4 attached. Assuming Hem-Fir material, the allowable total load for this floor system would be approximately 10 psf. Joists are supported at the chimney and some joists are lacking adequate support, which are conditions that will need to be corrected.



Third floor framing supported at chimney



Annex third floor unsupported framing

Roof / Attic

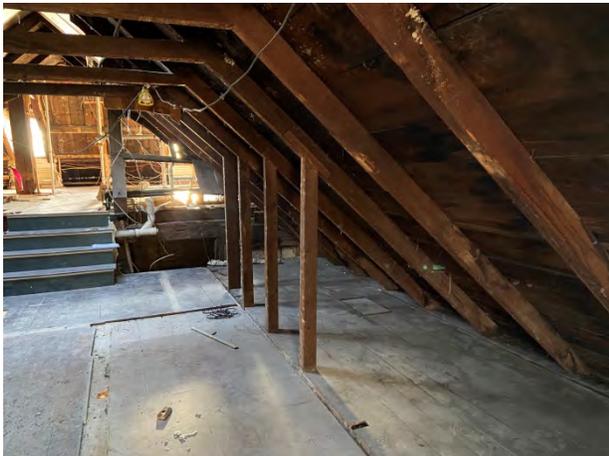
The annex roof is framed using 2 $\frac{3}{4}$ "x4 $\frac{3}{4}$ " rafters spaced at 32" on center with 3"x4" collar beams located about 7-feet above the floor. The large roof overhang along the north side is partially supported by vertical struts, aligned with the exterior wall below, and extending to the underside of the rafters. Some of the gable wall framing is spliced. Assuming Hem-Fir material, the allowable total load for this roof system would be approximately 20 psf. The roof will require significant reinforcing or replacement to increase load capacity.



Roof framing at dormer



Gable wall framing



Vertical struts at curved wall and overhang

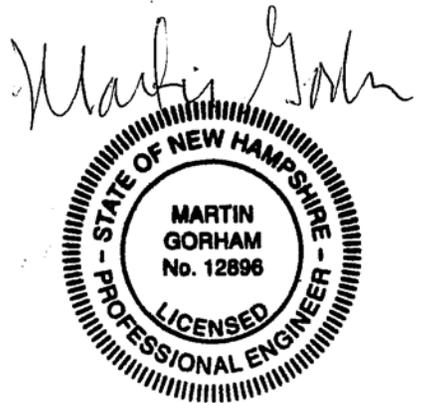


Roof framing looking toward Mansion

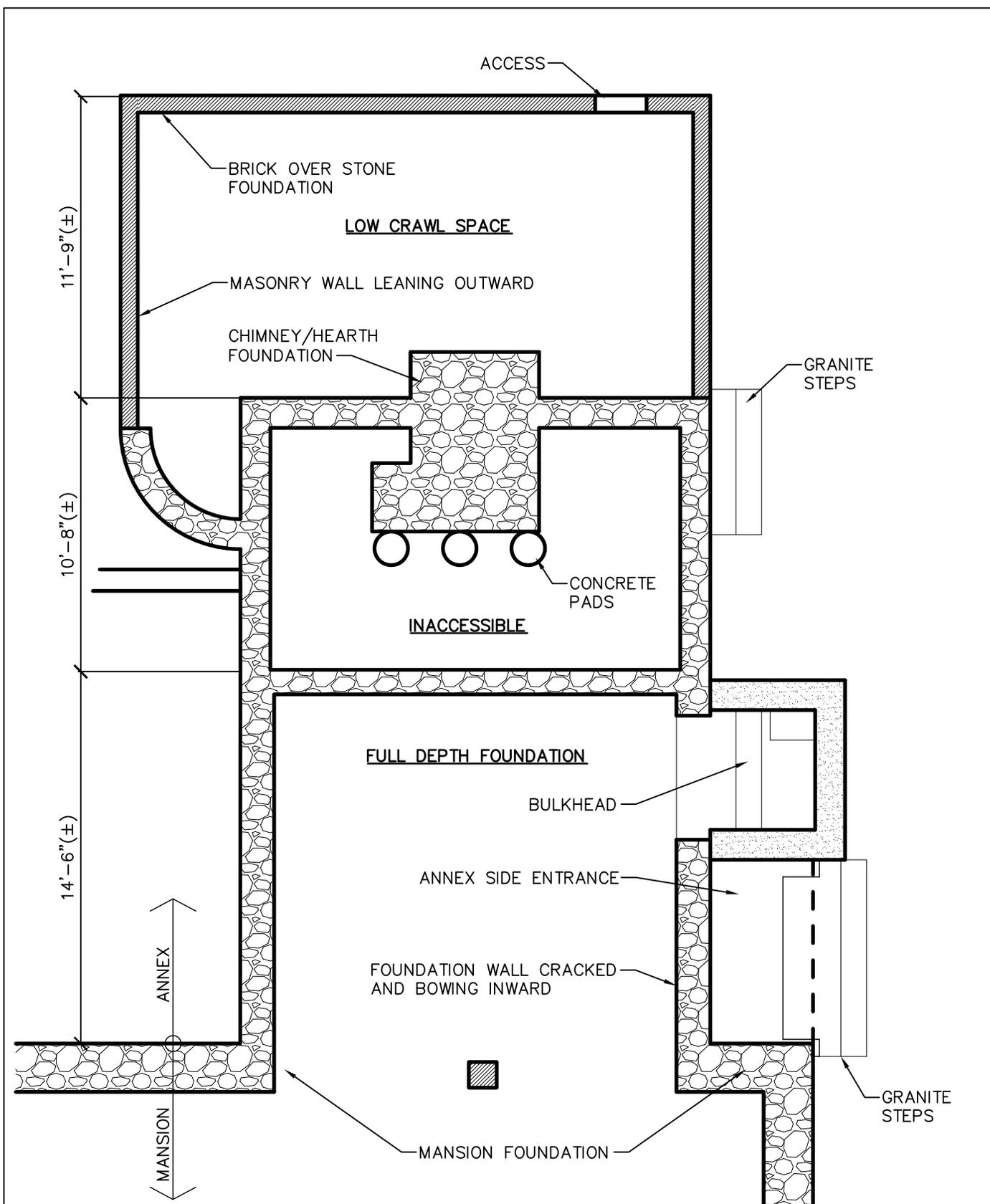
Conclusion

In my opinion, the annex framing is far too undersized, damaged, and compromised to be considered acceptable and safe for any current occupancy or use. The annex will require a significant commitment from the owner to provide the structural improvements needed to ensure that the building is safe and can remain in service in the future.

Respectfully submitted,
Martin Gorham, PE, LEED-AP, SECB

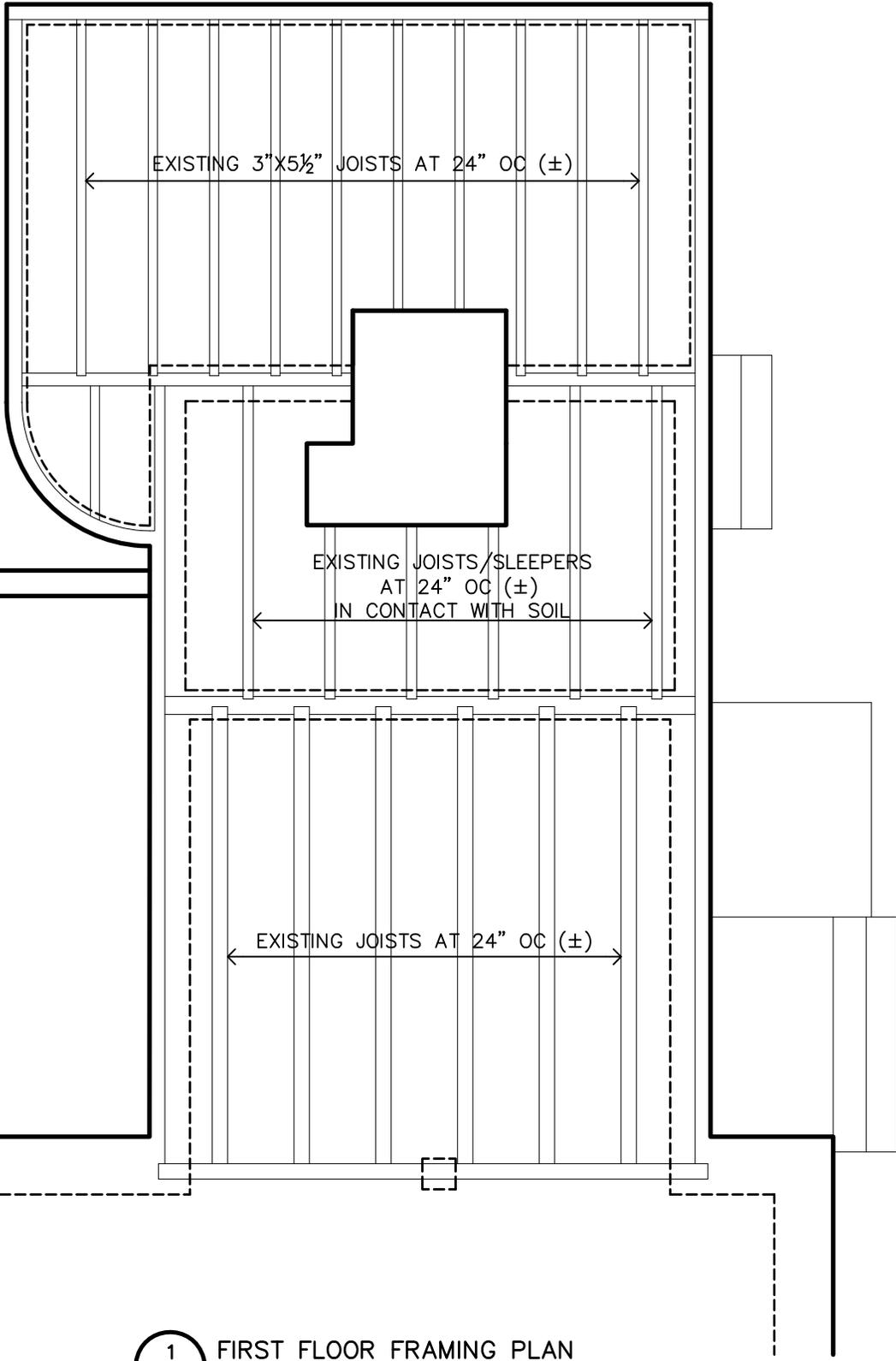


Attachments: SK1, SK2, SK3, SK4 & SK5

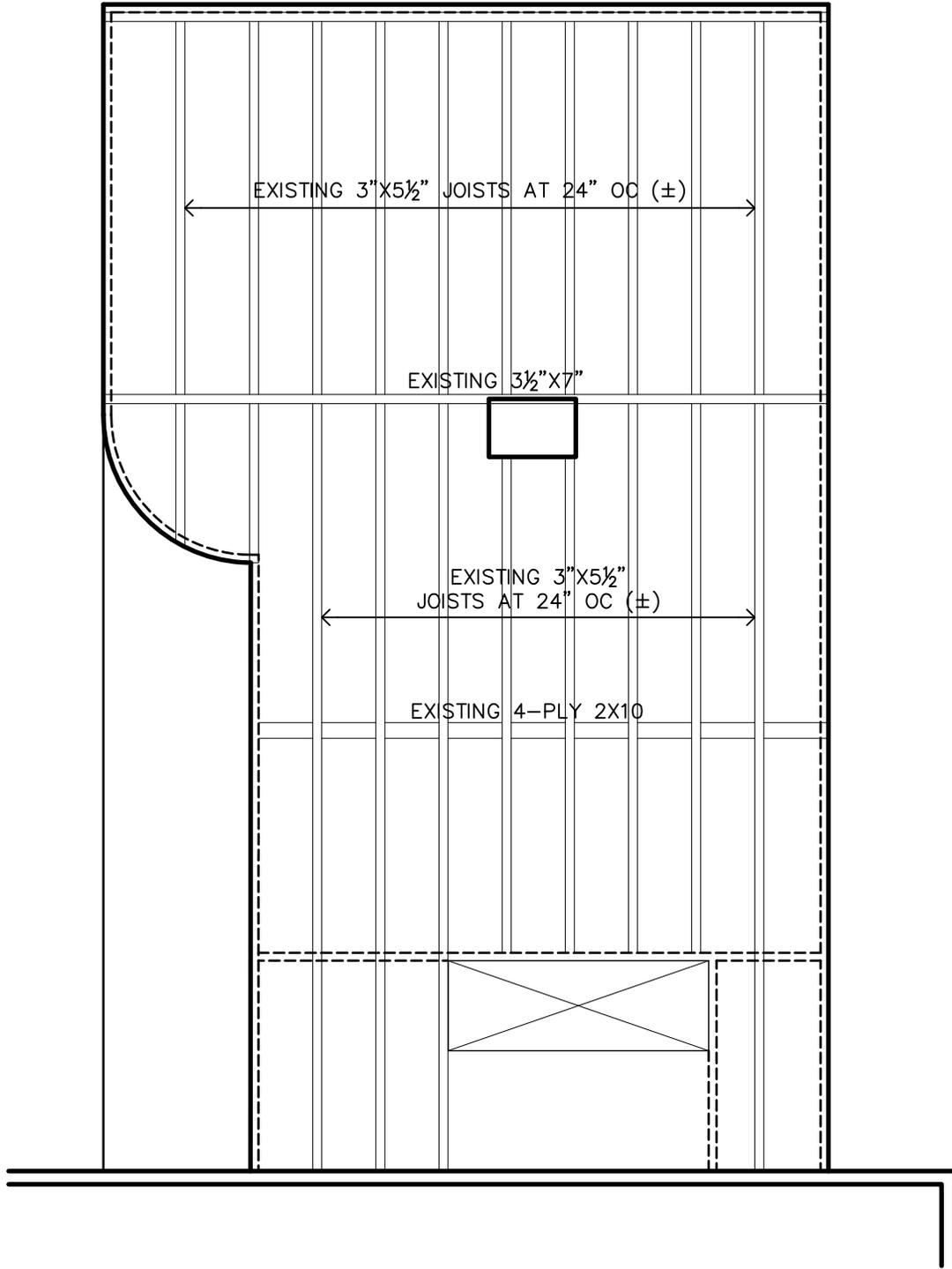


1 ANNEX FOUNDATION PLAN
SK

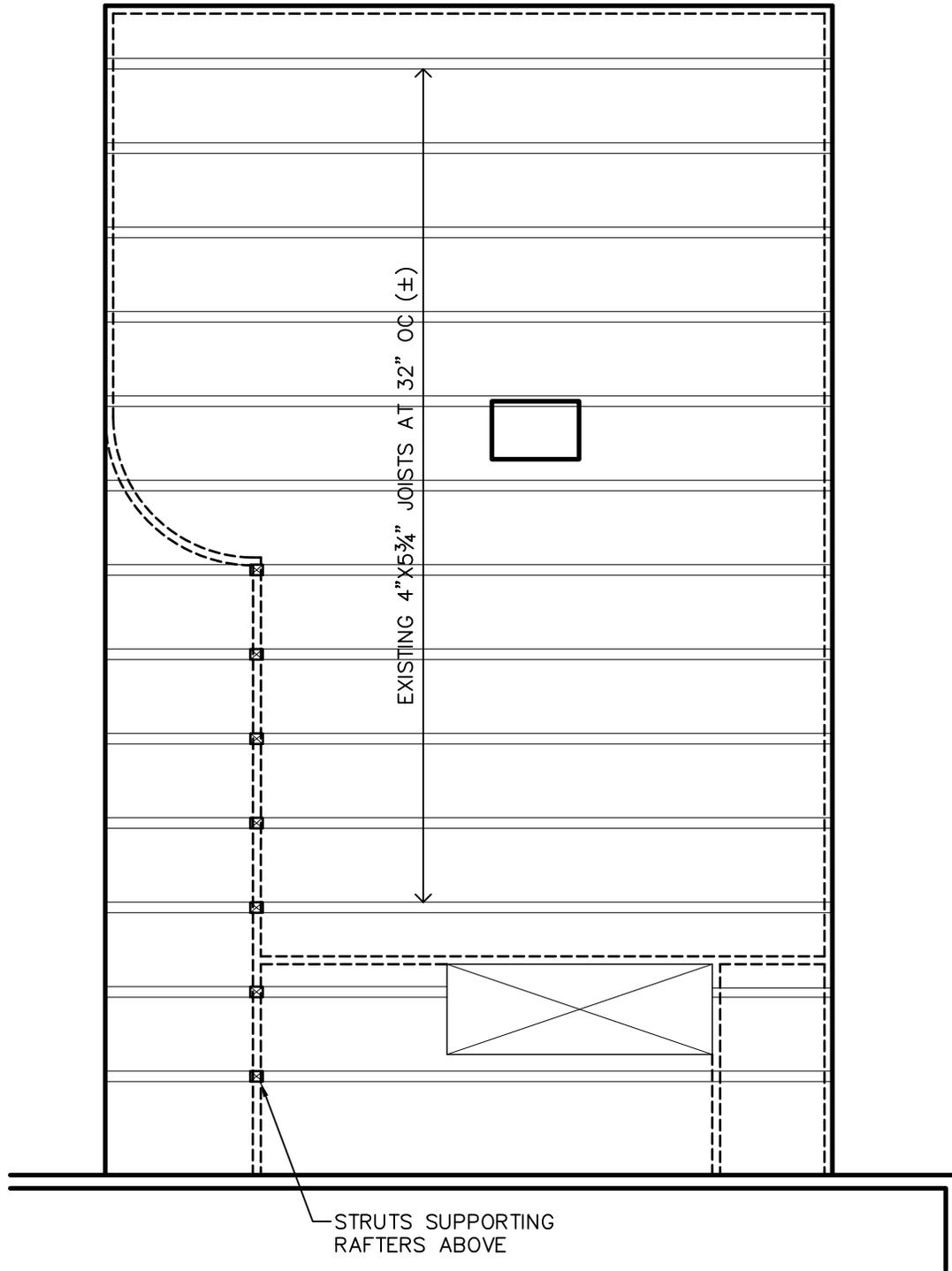
 <p>11 Burnham Avenue, Durham NH 03824 603-988-1738</p>	<p>179 Pleasant Street Portsmouth, New Hampshire</p>	Date: 1-21-2022	Affected Document:
		Revision:	NA
			Sheet Number:
			SK1



1 FIRST FLOOR FRAMING PLAN
SK

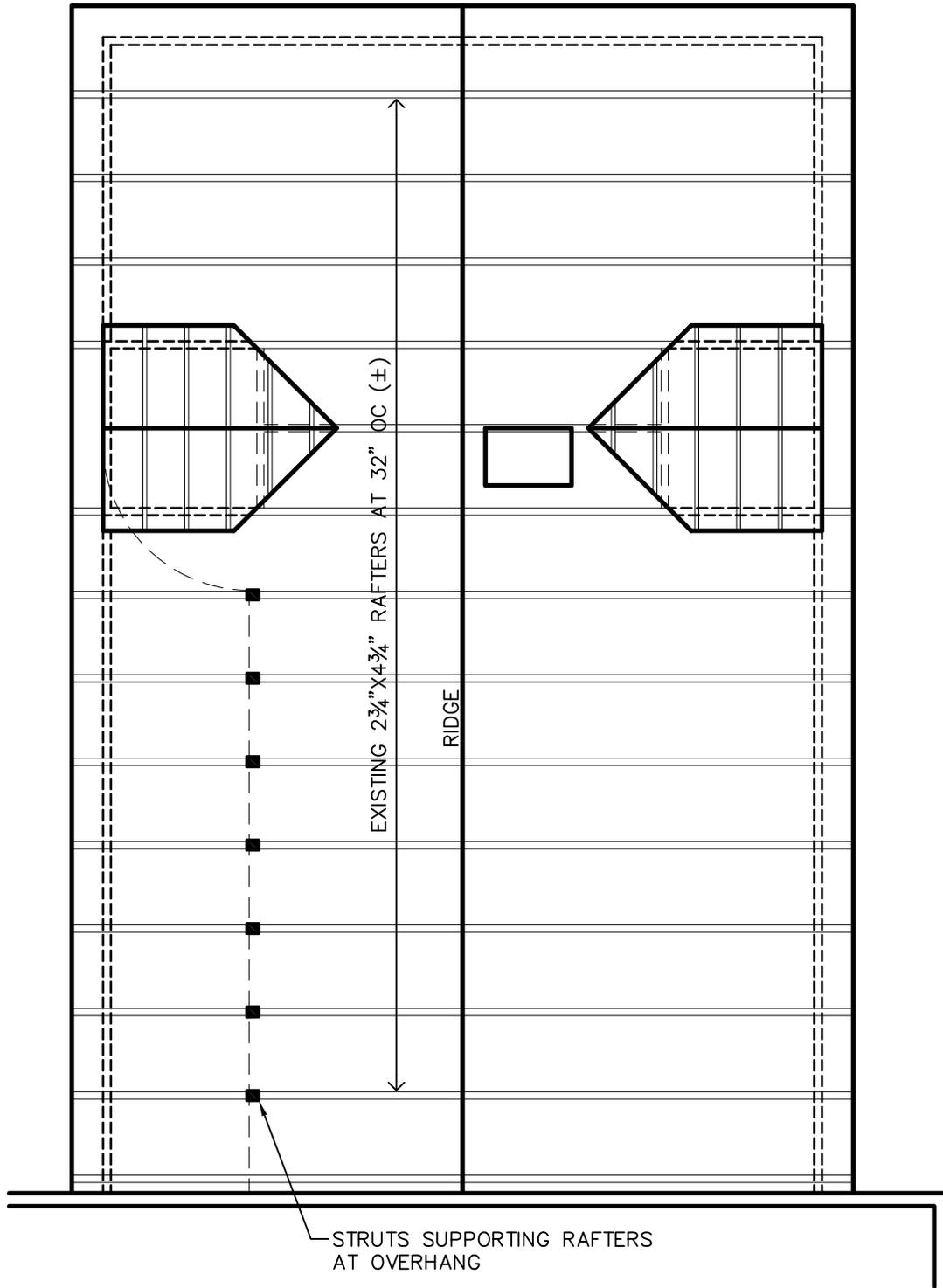


1 SECOND FLOOR FRAMING PLAN
SK



1 THIRD FLOOR FRAMING PLAN
SK

Date:	1-21-2022	Affected Document:
Revision:		NA
		Sheet Number:
		SK4



1 ROOF FRAMING PLAN
SK

STEVEN C. MALLORY
ARCHITECTURAL CONSERVATOR

191 South Road, Kensington NH 03833
1656amati@gmail.com 518/796.9324

18. January, 2022

Attn: Carla Goodknight; Project Architect, CJ Architects
Jake Weider: Architectural Designer
David Calkins: Owners Representative / General Contractor

ASSESSMENT OF HISTORIC INTEGRITY
Captain Thomas Thompson Mansion
179 Pleasant Street, Portsmouth NH

INTRODUCTION

This memorandum outlines my observations when conducting a field inspection of the property described as the Captain Thomas Thompson Mansion, located at 179 Pleasant Street in Portsmouth, New Hampshire. The purpose of the assessment was to examine the historic structure but particularly the rear ell or “annex” for historical integrity and make recommendations for careful preservation as part of a greater renovation campaign that best serves the property, owners, and considers the requirements of the Historic District Commission.

As per onsite discussions with project manager David Calkins and architect Jake Wieder, the desire of the homeowner is to renovate the annex, which involves raising the building in order to tie in exterior roof lines and level interior floor planes. This will also involve replacing the inadequate first-floor decking and installing a code-compliant foundation.

As described in greater detail below, it is clear that the annex was added to the building in the mid 19th century as part of a greater Greco-Italianate style renovation to the 1780s historic mansion. It was placed over an irregular foundation and exhibits resultant settling.

Two approaches are possible to accomplish the desired outcome. The first would be to detach and raise the annex to align floors and exterior woodwork, also placing it on a new foundation. This would also involve moving windows and doors so they align with the fenestration of the main building. A second approach would be to remove the ell and replace it with a modern structure with framing allowances that comply with insulation values and structural loads, while replicating the original street-view facades and re-using original exterior architectural elements.

Addition of the annex likely involved removal of an 18th century small rear ell, perhaps the location of the original kitchen. The original basement to this lost element survives and is described below.

ABOUT ME

I am a senior architectural conservator with over 25 years of professional experience. My undergraduate degree is in Architecture from Skidmore College, and I did my graduate work (MSHP) from the University of Vermont. I have been mostly a consultant specializing in museum structures and private owners of historic houses from the Mid-Atlantic to Maine. I was also the restoration manager for George Washington's Mount Vernon Estate and Gardens for many years. I have done many projects for the Town of Wells, Maine, the Old York Historical Society in York, Maine, Strawberry Banke Museum in Portsmouth, and provided the restoration specifications for the exterior of the American Independence Museum's Folsom Tavern in Exeter in concert with architect John Merkle in the early 2000s as local examples of my work. I have done many conditions assessments, historic structures reports, architectural surveys and preservation specifications for the New Hampshire Preservation Alliance and LCHIP projects across New Hampshire.

To better describe my role in the preservation community, I am a forensics expert for historic structures. I analyze architectural design elements, building materials, nail types, hardware, tool marks, tree ring science, and paint history among other things to determine what a given building started out as, and how it evolved over time. I also evaluate existing conditions and develop preservation-friendly strategies that maximize preservation while also considering sustainability and practicality.

SUMMARY OF FINDINGS

Addition of the annex likely involved removal of an 18th century small rear ell. Some evidence in the floor framing in this area suggests that the original cooking fireplace was more or less located in the position of the current (19th century) basement stairwell. The foundation and cellar of the earlier ell were incorporated within the 19th century annex, resulting a full basement at the south end and a crawlspace at the north; a shallow-footed stone foundation with a largely inaccessible crawlspace below. I recommend that regardless of the future approach for the annex above, that the footprint of the 18th century ell and the foundation be retained in any new foundation work.

The annex contains an historically important 19th century chimney that includes a rare cast iron built-in cookstove as well as a set kettle. This interior feature is somewhat beyond the purview of the Historic Commission except that above the roof line it is an important exterior character-defining feature. Retaining this element while raising the building as proposed is challenging but possible. Incorporating it within a replacement structure is equally challenging and possible.

The framing of the annex is representative of a major shift in American wood-framed building traditions away from the timber frame and toward modern balloon framing. This building exhibits characteristics of both. Retaining the existing structure and raising it will surely involve building out existing studs, joists and rafters to accommodate current codes for load, insulation and energy efficiency. This will result in the same slight loss of interior space as if the structure were replaced with a modern one.

The biggest design concern with either approach is with how to tie in the original compound Georgian cornice of the main house with the Greek Revival cornice of the annex. These can essentially die into one another with creative, clean woodworking joints. The most important aspect of this issue will be obtaining an even valley and drip edge at this intersection.

With the exception of the 1970s solarium and rear picture window (not visible from any public vantagepoint), the exterior of the annex retains a great deal of historic integrity. Sophisticated surgery would be involved in retaining and lowering existing windows if the existing structure were retained in its entirety, but this is possible.

I hope this memo proves helpful. Please do not hesitate to reach out with any further questions, clarifications or concerns.

Best regards,
Steven

179 Pleasant Street Proposed Exterior Improvements:
South Elevation



“Main House”

“Annex”

Main House:

- Chimneys (2 in total on the mansion)
 - Wash and clean both exterior surfaces and interior flues
 - Strip all paint off the chimneys by sponge jetting
 - Repair and repoint chimneys as needed
 - Mortar analysis and brick selection to be complete prior to repointing
 - Insert stainless steel liners in both chimneys
 - (1) chimney will be wood burning, the other will be for gas venting
 - All chimneys to be returned to natural brick and water sealed
 - Sealer will be provided for approval
- Widows Walk
 - Lift widows walk off the roof, this to be done as a complete unit or 4 pieces
 - Complete paint prep and rot restoration to be completed
 - Alter “back” elevation to accommodate raising the Annex ridge line
 - Complete paint job before reinstalling it on the roof in same configuration
 - Paint color to match siding and trim
 - A paint sample will be analyzed to match existing white

- Roof
 - Remove all slate roofing on the mansion to expose original sheathing
 - Review and most likely remove all flashings on the roof system as well
 - Install 1" of polyisocyanurate rigid foam over existing roof sheathing
 - Install ¾ CDX plywood over rigid foam and screw into interior members
 - This work to be done in coordination with structural roof work on the interior
 - Eave detail will be provided to preserve historic profile
 - Install Grace Ice and Water shield and Triflex on the roof
 - Install new composite slate roofing on roof system of the mansion
 - A sample will be provided for approval
 - All flashings to be copper
- Gutters
 - Remove existing aluminum gutters and downspouts
 - Install new copper ½ round gutters with 3" smooth round downspouts
 - All gutter downspouts to enter a perimeter drainage system
 - Perimeter drain explained further in grading and landscape section
 - All soffit trim pieces and fascia to remain and be restored prior to new gutter system
- Shutters
 - Shutters exist on the north and south walls of the mansion
 - Remove all shutters on the mansion, review condition & material used for construction
 - Complete paint prep and rot restoration on shutters not damaged beyond repair
 - Build new custom shutters to the same spec for any damaged beyond repair
 - New material to be Spanish cedar by Beech River Millworks
 - Final paint job on all repaired and new shutters
 - A paint sample will be analyzed to match the existing black
- Windows/Storms
 - All original windows in the mansion to remain and be restored
 - The only exception are the dormer windows, to be explained in dormer section
 - Each sash to be removed, reglazed, completely prepped, and painted
 - Where glass panels need to be replaced, historic glass will be installed
 - There is a small handful but most are in good condition
 - Each window to receive new sash chains, weights, and weather stripping
 - Custom wooden storm windows to be installed on the exterior
 - Wooden storm construction to be white oak with a painted finish
 - Paint color will match sample provided for siding and trim
 - Storm windows will be seasonal and incorporate the following
 - Full storm with simulated check rail
 - ½ screen for warmer months
 - A drawing will be submitted for approval
 - All window work to be completed by Window Woman of NE

- Siding & Trim
 - All siding and trim paint to be removed down to original wood
 - Sponge jet, scrap, heat, strip, will need to define method
 - Repairs or replacements will be made with wood and in kind as needed
 - There are several repairs/replacements needed throughout the mansion
 - Trim will be made with the exact profile where needed
 - Siding lap joints will be recreated where needed
 - Please see supporting pics on page 9
 - Remove bottom 18" of siding and trim on all sides of the mansion
 - Remove all siding, trim, and sheathing so sill beam rot can be addressed
 - Install new wooden siding in kind and same dimensions as original
 - If possible, install original shirt board back on the mansion
 - If skirt board can't be salvaged a new one will be milled to exact profile
 - Would a synthetic be acceptable since its so close to grade?
- Bay Window
 - Bay window to receive same treatment as described above in window, siding, & trim
 - Remove the existing copper flat seamed roof
 - Install framing to create a minimal pitch away from the house
 - Currently has a negative pitch due to settling
 - Water is sitting against the exterior and extensive rot has occurred
 - Install flat seam copper roof
 - Review CMU block foundation under bay window
 - It is our evaluation the current foundation does not go much below grade
 - We will install a new frost wall if current CMU wall is inadequate
 - Veneer foundation walls with stone to look like main foundation
 - Sample of veneer stone to be supplied for approval
- Utility & Building Penetrations
 - Relocate & address all utility and venting penetrations on the building
 - Hide or disguise as much as possible
 - This will be expanded upon in "phase 2" with exterior lighting and hardware
- Basement Windows
 - Replace all basement windows with new wooden sash windows (4) in total
 - Basement windows to be 4 light as existing windows, non-operational
 - See pictures showing basement window light cut
- Grading & Landscaping
 - During construction we would like to dig down around foundation of main house
 - The depth of this trench to be defined but would like 24" min below grade
 - Infill trench with positive draining soils
 - Install brick drip edge around the perimeter of the house as currently installed
 - Drip edge not to exceed top of wall in elevation
 - Currently installed at top of sill
 - Only appearance change should be more exposed rubble foundation

Annex:

- Remove structure down to foundation walls
- Original kitchen ell foundation walls to remain
- The remaining annex foundation walls will be removed completely, to include footings
 - See page 9 of structural report for illustration of foundation walls
- Cut entry portico free and leave standing while the rest of the annex is removed
- Portico foundation will need to be reviewed at this time
- The original rubble foundation does not go under the portico
- The foundation wall supporting the portico and bulkhead has been compromised
 - See page 2 and 9 on the structural report for orientation
- Remove bulkhead address portico foundation, and patch rubble wall where needed
- Historic architectural elements to be saved and reused are as follows:
 - (6) windows
 - Shutters as explained in shutter scope above
 - Door pediment, transom, and door
 - Cornice molding
 - Entry portico
- Pour new concrete walls in same location as original annex walls
 - New concrete walls to receive a stone veneer same as described in bay window section
- Construct the new “annex” in the same footprint
 - See architectural drawings for footprint of new annex
 - Single story box bay to replace angled bay per drawings
- The height of the new annex will be lifted 32” so floors and soffits align
- The ridge of the annex will be lower than the main house
- A drawing will illustrate soffit connection details
- Annex to be constructed as detailed in attached plans
- New dormer windows to be Marvin wood sash per spec attached

179 Pleasant Street Proposed Exterior Improvements:
West Elevation



Main House:

The proposed project scope as noted on the “South Elevation” will also apply to the west elevation or the front of the house. The additional items proposed for the west elevation are as follows:

- Dormers
 - All (3) dormers will remain
 - Dormers to receive same proposed treatment as described in siding & trim section
 - Dormer windows will however be replaced with Marvin wood sash windows
 - Current windows are vinyl jamb wood sash, not original
- Window Head Casings
 - The head casings on the 1st floor windows show signs of water infiltration and rot
 - Remove 2 courses of siding above the head units to properly flash
 - All flashings will be copper
 - We will restore the trim wherever possible
 - If the trim is beyond restoring, an exact replicated head casing will be made in wood
 - New wood siding or salvaged siding to be installed after flashing has been corrected
 - See pictures for head flashing issues

- Main Entry Portico
 - Portico to receive same treatment as described above in siding & trim section
 - Review existing flat seamed copper roof
 - If the roof is inadequate then we will replace in kind with flat seam copper, soldered
 - Remove column bases, currently boxed in
 - See attached pictures for detail
 - Install new ionic style bases to match the profile of the pilaster bases on the portico
 - See attached pictures for profile
 - I would like to replace the column and pilaster bases with exact replicated bases
 - Would a synthetic be acceptable here since it is in contact with granite steps

179 Pleasant Street Proposed Exterior Improvements:
North Elevation



Main House:

The proposed project scope as noted on the “South Elevation” will also apply to the north elevation of the house. The additional items proposed for the north elevation are as follows:

- Siding & Trim
 - Remove all siding on this side of the house to expose sheathing
 - There is a large bow in the center of the wall
 - Significant water infiltration visible on both exterior and interior surfaces
 - Concerns for health of the wall system and chimney, which correlates with the bow in the wall mid-span
 - All siding removed will try to be salvaged and reused for repairs on other walls
 - Trim, casings, cornice will all remain intact
 - Sheathing may need to be removed in some areas but wall system to remain in place
- Window Head Casings
 - The head casings on the 1st floor windows show signs of water infiltration and rot
 - Remove 2 courses of siding above the head units to properly flash
 - All flashings will be copper
 - We will restore the trim wherever possible
 - If the trim is beyond restoring, an exact replicated head casing will be made in wood
 - New wood siding or salvaged siding to be installed after flashing has been corrected
 - See pictures for head flashing issues

Sunroom:

- The sunroom will be removed completely
- Remove the roof system, all walls, foundation, slab, and footings in its entirety
- We are not saving or salvaging any material from this structure
 - The structure was added in the 1980's
- A new sunroom will be built to the same size as detailed in the architectural plans
- The sunroom will have a new foundation with veneered walls to match main house
 - The veneer will be the same as submitted and approved for the bay window
- Please refer to architectural plans for design and details

Annex:

- Remove structure down to foundation walls, also including
 - Angled bay and pressure treated deck system
- Original kitchen ell foundation walls to remain
- The remaining annex foundation walls will be removed completely, to include footings
 - See page 9 of structural report for illustration of foundation walls
- Historic architectural elements to be saved and reused are as follows:
 - (5) windows
 - Shutters as explained in shutter scope above
 - Cornice molding
- Pour new concrete walls in same location as original annex walls
 - New concrete walls to receive a stone veneer same as described in bay window section
- Construct the new "annex" in the same footprint
 - See architectural drawings for footprint of new annex
 - Single story box bay to replace angled bay per drawings
- The height of the new annex will be lifted 32" so floors and soffits align
- The ridge of the annex will be lower than the main house
- A drawing will illustrate soffit connection details
- Annex to be constructed as detailed in attached plans
- New windows in proposed plan will be Marvin wood sash windows

179 Pleasant Street Proposed Exterior Improvements:
Supporting Pictures



Siding & Trim repair/replacement



Siding & Trim repair/replacement

179 Pleasant Street Proposed Exterior Improvements:
Supporting Pictures



North wall with water issues, cornice repair



North wall with water issues, significant bow in wall

179 Pleasant Street Proposed Exterior Improvements:
Supporting Pictures



Main entry portico column base



Main entry pilaster base

179 Pleasant Street Proposed Exterior Improvements:
Supporting Pictures



Bricks and grade at or above sill beam, promoting rot



179 Pleasant Street Proposed Exterior Improvements:
Supporting Pictures



Basement window



Utility

179 Pleasant Street Proposed Exterior Improvements:
Supporting Pictures



Dormer window



179 Pleasant Street Proposed Exterior Improvements:
Supporting Pictures



Main entry portico roof



Window head unit flashing



179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022



1.0

LETTER OF AGENDA

We respectfully submit this Application for a Work Session to review our upcoming Application for Amended Approval. The current HDC Approval was granted to the prior owner.

At this time, the team is primarily focusing all efforts on the Historic Thompson House. We have included the following items for your consideration:

- 1) **Gorham Structural Engineering** - Existing Structural Report
- 2) **Architectural Conservator** - Assessment of Historic Integrity
- 3) **David Calkins GC & CM** - Exterior Renovation scope of work
- 4) **CJ Architects** - Architectural Design Proposal
 - Property Timeline
 - Proposed Annex Scope of Work
 - Proposed Design & Restoration
 - Materials
 - Reference

Thank you for your consideration.
Sincerely,



Carla Goodknight, AIA, NCARB
Principal, CJ Architects

PROPERTY TIMELINE: Sources: Portsmouth Athenaeum - Portsmouth Permitting Archives

- 1780's:** Captain Thomas Thompson House is Constructed (same time period John Langdon built his house next door)
- 1859:** Mark H. Wentworth purchased the house from the Thompson Family and made several Victorian improvements
- 1903:** Mark H. Wentworth passed away and leaves the house to his daughter Susan J. Wentworth
- 1940:** Susan J. Wentworth passed away and the house is owned by several people
- 1962:** Doctors office is approved and built in carriage house
- 1978:** Kitchen added to the apartment in main house, apartment was used as housekeeper quarters.
- 1979:** 10 x 16 addition added as "carport" to rear of connector building
- 1979:** Single family house was approved as "duplex"
- 1980:** Remodel 2nd floor bathroom
- 1981:** Remodel kitchen and add kitchen powder room, remodel 2 other bathrooms in house
- 1982:** Sun porch was added as 3 season structure, was a garden terrace prior
- 1983:** Widows walk was reproduced, only on the front of the building
- 1983:** Apartment was remodeled in main house
- 1984:** Widows walk was expanded to all four sides of the house
- 1986:** The lot was sub-divided into 2 lots 179 & 181 (This is not clear)
- 1986:** Carriage house was remodeled and expanded upon
- 1988:** Sun porch was reroofed, and door added from main house to access roof top
- 1988:** 3rd floor of main house was extensively renovated and finished with new living space, skylights added
- 2003:** Lot line adjustment on right side of 181
- 2005:** Lots 179 & 181 are voluntarily merged
- 2014:** Widows walk completely reproduced on all 4 sides
- 2018:** Larger garage door was installed in carriage house and misc. in-fill framing
- 2018:** Section of wooden fence was replaced on the front only
- 2019:** HDC Certificate of Approval granted for renovations and expansions
- 2020:** 1-year extension granted for HDC Certificate of Approval granted for renovations and expansions
- 2020:** Flooring in carriage house was removed and stored
- 2021:** [New Ownership](#)
- 2021:** [Permit Issued for nonstructural demolition](#)

HISTORIAN CONSULTANTS

John Schnitzler - Attended 2021-12-21 Walkthrough
Master Carpenter - Strawberry Banke

Elizabeth Farish - Attended 2021-12-21 Walkthrough
Chief Curator - Strawberry Banke

Tom Hardiman - Assistance in Historic Research
Keeper - Portsmouth Athenaeum

Steven Mallory - Attended 2022-01-10 Walkthrough
Preservation Historian

Bruce Blanchard - Attended 2022-01-12 Langdon & Thompson House Walkthroughs
Preservation Manager for the Piscataqua Area - Historic New England

Melissa Kershaw - Attended 2022-01-12 Langdon & Thompson House Walkthroughs
Regional Site Administrator, Northern New England - Historic New England

Dylan Peacock - Attended 2022-01-12 Langdon & Thompson House Walkthroughs
Senior Preservation Services Manager - Historic New England



1. PARTIAL NORTH ELEVATION (RIGHT SIDE)



2. WEST ELEVATION (FRONT)



3. SOUTH ELEVATION (LEFT SIDE)



4. PARTIAL NORTH ELEVATION (RIGHT SIDE)



5. EAST ELEVATION (REAR)



6. PARTIAL NORTH ELEVATION (RIGHT SIDE)

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING ELEVATIONS

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022



2.0



PREVIOUSLY APPROVED SOUTH ELEVATION (FOR REFERENCE)

KEY:

- TRIM TO BE REMOVED, RESTORED, & RE-INSTALLED
- WINDOWS & DOORS TO BE REMOVED, RESTORED, & RE-INSTALLED
- SIDING, TRIM, & WINDOWS TO BE REPLACED IN KIND
- FRAMING, ROOFING, BULKHEAD, & CHIMNEY TO BE DEMOLISHED



VIEW OF EXISTING SOUTH ELEVATION



EXISTING SOUTH ELEVATION



179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED ANNEX SCOPE OF WORK
SOUTH ELEVATION

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022



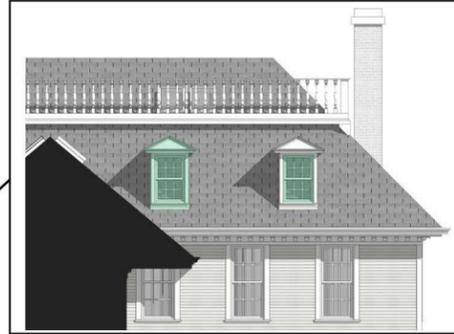
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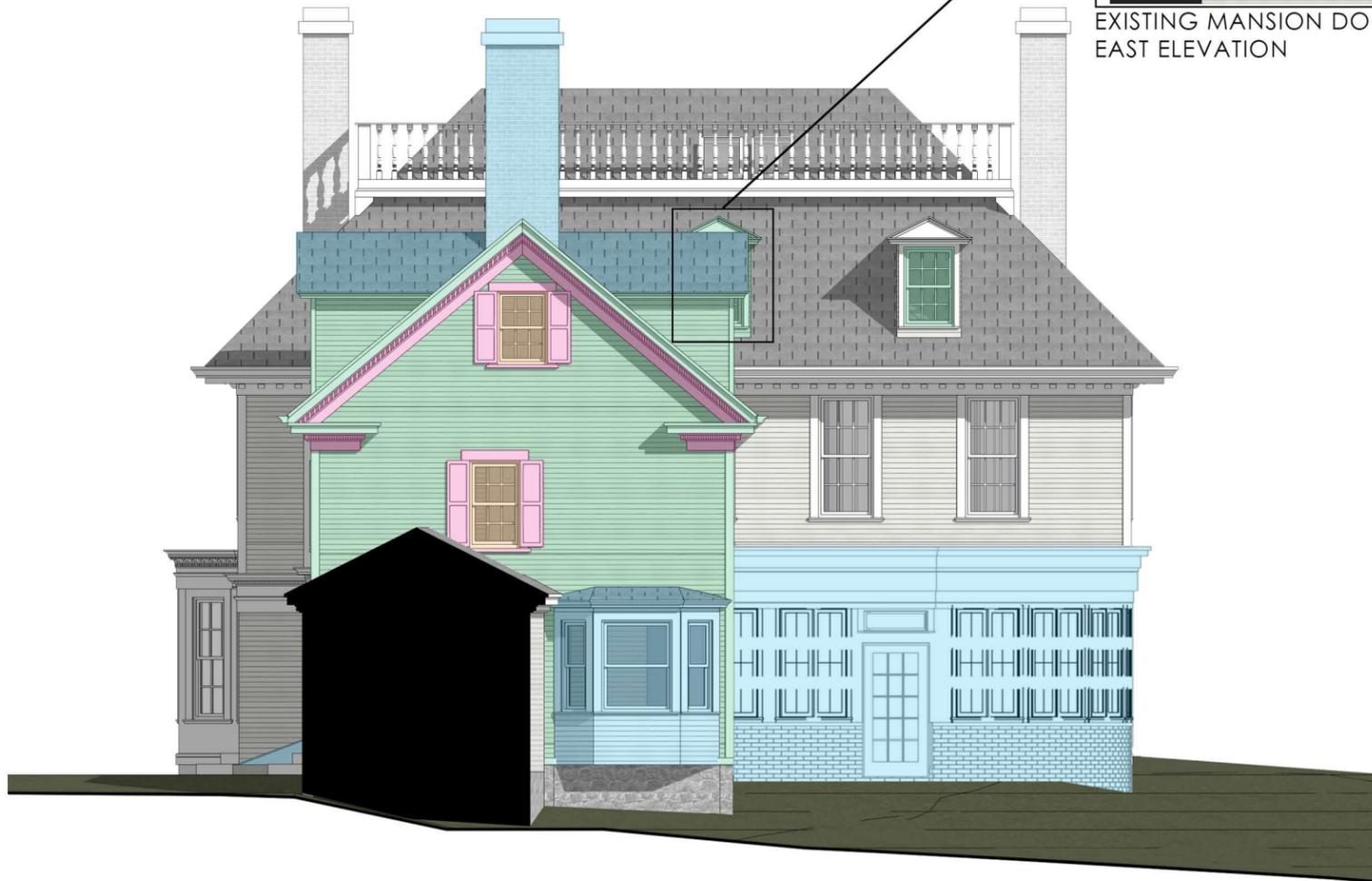
PREVIOUSLY APPROVED EAST ELEVATION (FOR REFERENCE)

KEY:

- TRIM TO BE REMOVED, RESTORED, & RE-INSTALLED
- WINDOWS & DOORS TO BE REMOVED, RESTORED, & RE-INSTALLED
- SIDING, TRIM, & WINDOWS TO BE REPLACED IN KIND
- FRAMING, ROOFING, BULKHEAD, & CHIMNEY TO BE DEMOLISHED



EXISTING MANSION DORMERS
EAST ELEVATION



EXISTING EAST ELEVATION



VIEW OF EXISTING EAST ELEVATION



179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

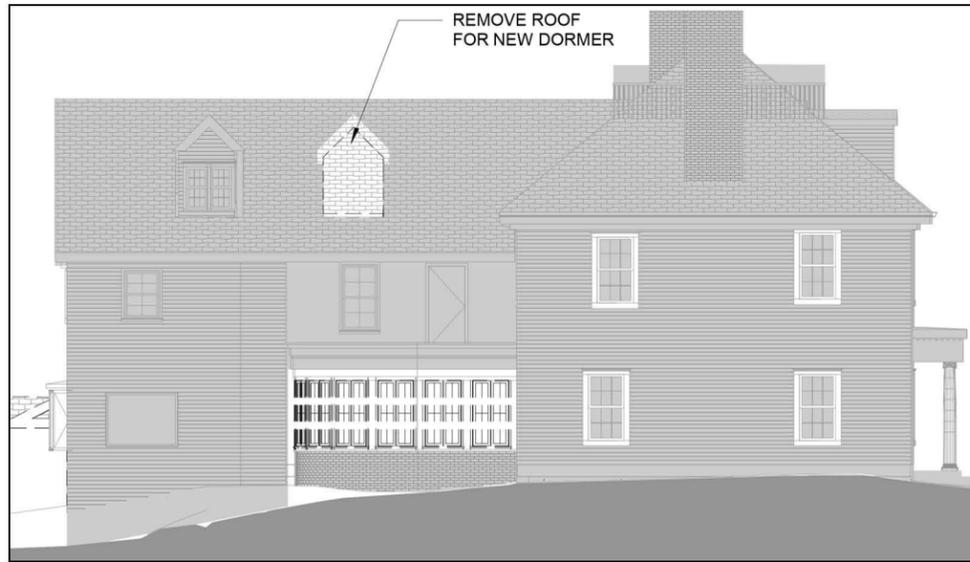
PROPOSED ANNEX SCOPE OF WORK

EAST ELEVATION

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022



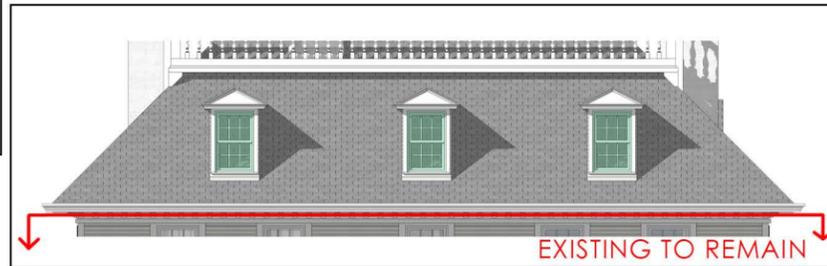
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PREVIOUSLY APPROVED NORTH ELEVATION (FOR REFERENCE)

KEY:

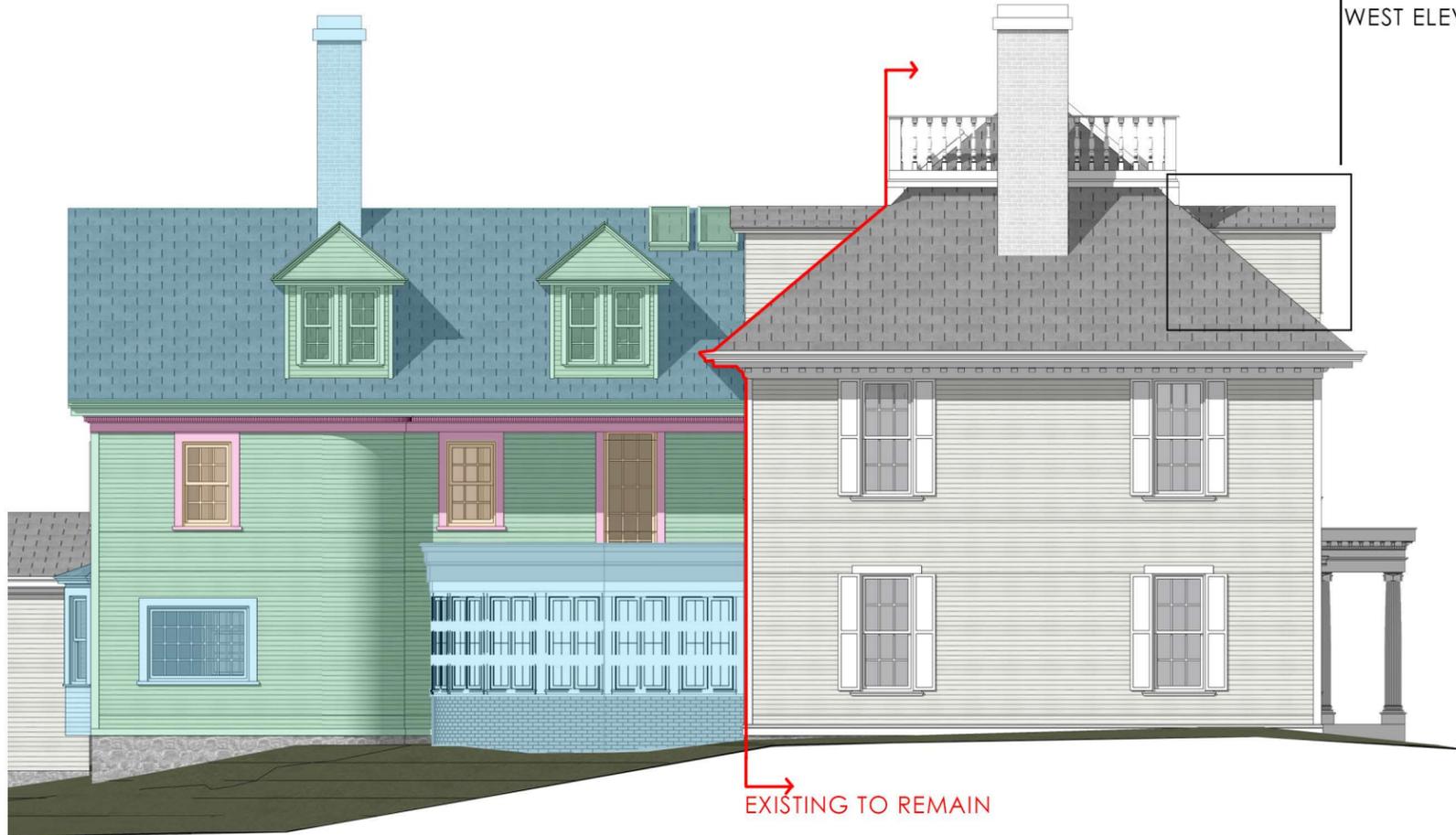
- TRIM TO BE REMOVED, RESTORED, & RE-INSTALLED
- WINDOWS & DOORS TO BE REMOVED, RESTORED, & RE-INSTALLED
- SIDING, TRIM, & WINDOWS TO BE REPLACED IN KIND
- FRAMING, ROOFING, BULKHEAD, & CHIMNEY TO BE DEMOLISHED



EXISTING MANSION DORMERS
WEST ELEVATION



VIEW OF EXISTING NORTH ELEVATION



EXISTING NORTH ELEVATION



179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED ANNEX SCOPE OF WORK
NORTH ELEVATION

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022





PREVIOUSLY APPROVED SOUTH ELEVATION (FOR REFERENCE)



VIEW OF EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED CORNICE INTERSECTION

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED SOUTH ELEVATION

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022



4.0



PREVIOUSLY APPROVED EAST ELEVATION (FOR REFERENCE)



VIEW OF EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

NEW CASEMENT WINDOWS

NEW 7'-6" x 10'-6" SINGLE STORY ADDITION

NEW MANSARD ROOF



PROPOSED MANSION DORMERS - EAST ELEVATION

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED EAST ELEVATION

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PREVIOUSLY APPROVED NORTH ELEVATION (FOR REFERENCE)



VIEW OF EXISTING NORTH EAST ELEVATION



PROPOSED NORTH ELEVATION



VIEW OF EXISTING NORTH ELEVATION

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED NORTH ELEVATION

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022



4.2



PREVIOUSLY APPROVED VIEW FROM NORTH EAST



EXISTING VIEW FROM NORTH EAST



PROPOSED VIEW FROM NORTH EAST

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

3D VIEW FROM NORTH EAST

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022



5.0



PREVIOUSLY APPROVED VIEW FROM SOUTH WEST



EXISTING VIEW FROM SOUTH



PROPOSED VIEW FROM SOUTH WEST

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

3D VIEW FROM SOUTH WEST

HDC WORK SESSION #2 APPLICATION TO AMEND PREVIOUS APPROVAL: FEBRUARY 2, 2022



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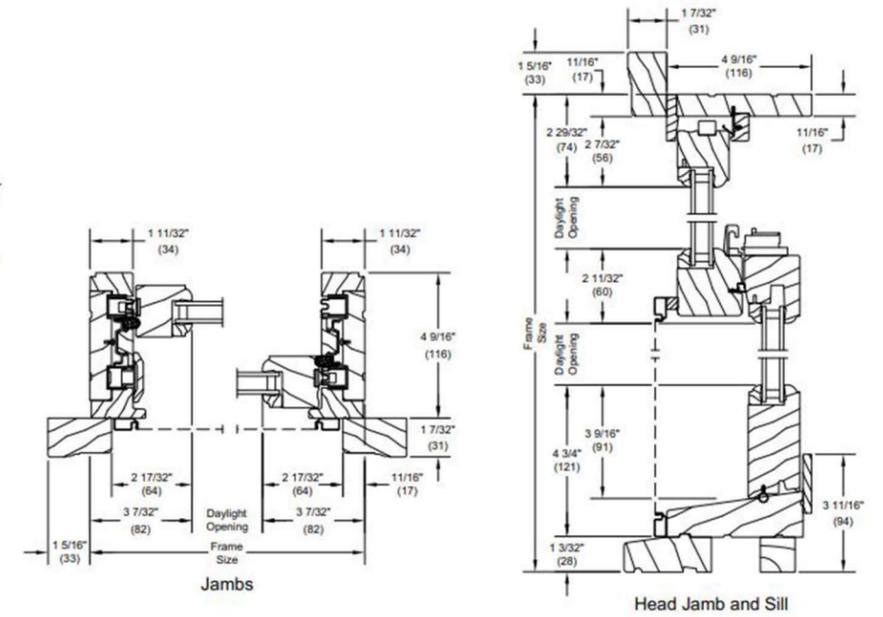


FAUX SLATE ROOFING

Simulated Divided Lite with Spacer Bar (SDLS)



Paired with SDL bars on the exterior of the glass, a spacer bar is installed between the glass, creating an even closer match to the Authentic Divided Lite look.



5" HALFRound COPPER GUTTER



3" SMOOTH COPPER DOWNSPOUT

COPPER GUTTER & DOWNSPOUT



Features of the Ultimate Wood Double Hung Window

- Available in heights up to 8 feet or widths up to 4 feet
- Multiple design options and woods available to match historical aesthetics and design requirements
- Also available as a round top, single hung, stationary transom or picture window
- Unique wash mode allows cleaning of both sides of glass from indoors
- Available with IZ3 coastal/hurricane certification
- CE certified

MARVIN WINDOWS

PROPOSED MATERIALS

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

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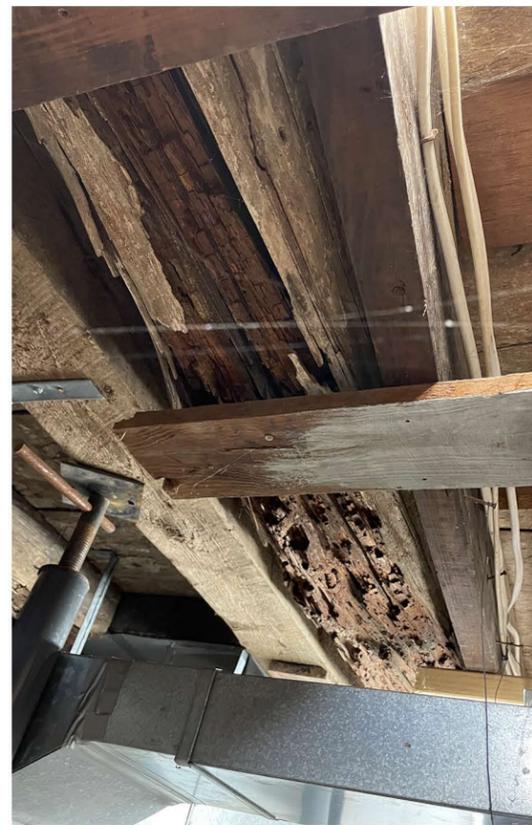
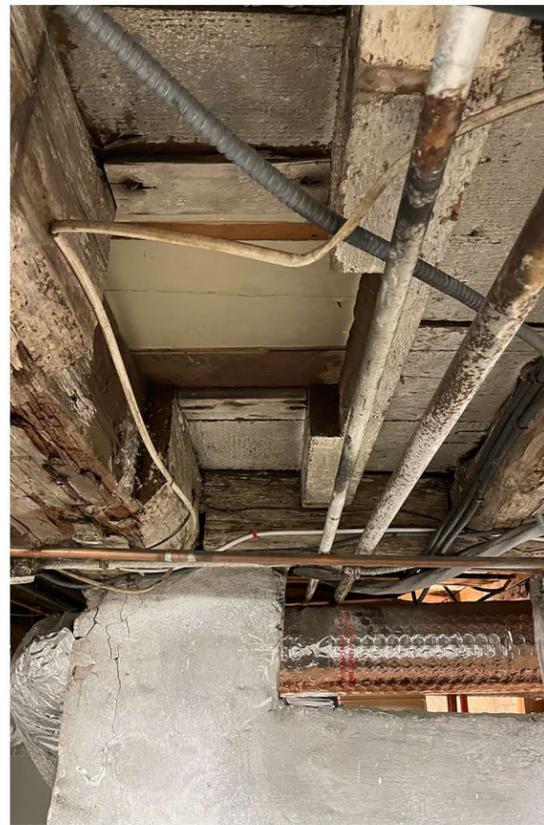


179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

STRUCTURAL FINDINGS
THIRD FLOOR -1988 MANSION RENOVATION
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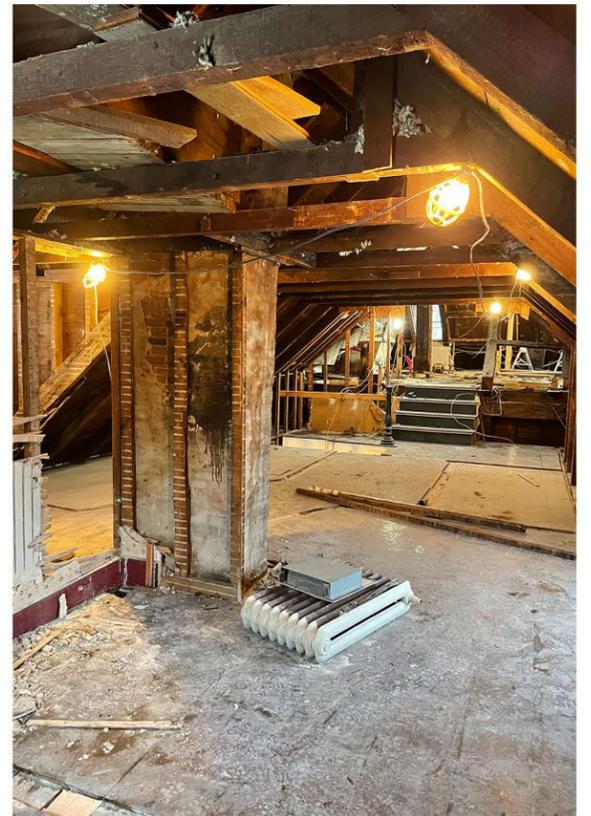
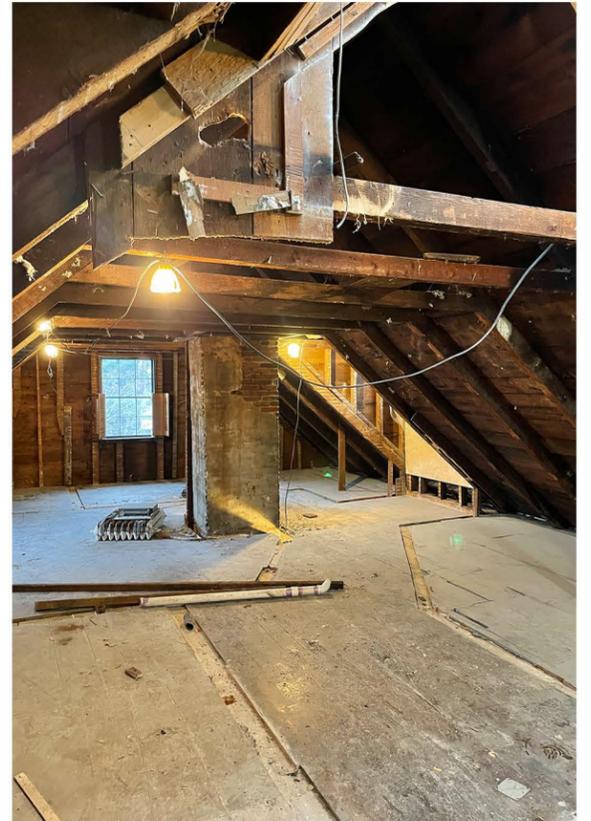
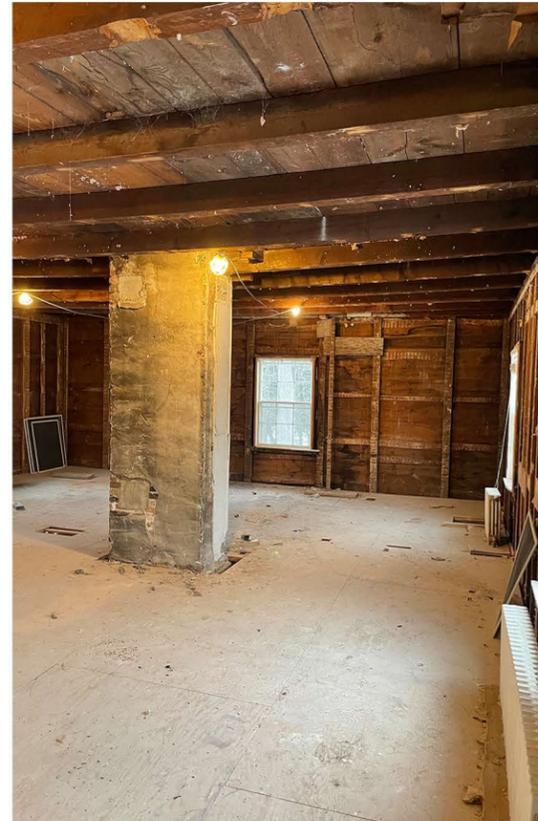


179 PLEASANT STREET
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STRUCTURAL FINDINGS
FIRST FLOOR STRUCTURE - MANSION

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179 PLEASANT STREET
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STRUCTURAL FINDINGS
ALL FLOORS - ANNEX

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