

**DRAWING INDEX**

- A.0.0 - COVER
- A.0.1 - CONTEXT MAP
- A.0.2 - SITE PHOTOS
- A.0.3 - CONTEXT PHOTOS
- A.0.4 - CONTEXT - HISTORIC
- A.0.5 - SUBDIVISION SITE PLAN
- A.1 - SITE PLAN
- A.2 - FLOOR PLANS
- A.3 - ELEVATIONS - STREET
- A.4 - ELEVATIONS - BUILDING
- A.5 - 3D VIGNETTES
- A.6 - AERIAL VIEWS

**Zoning & Code Review**

GRB General Residence B  
Flood Plain overlay

Portsmouth Zoning  
dimensional standards  
10.521

	<b>GRB</b>
<b>Minimum Lot Dimensions</b>	
<b>Lot area</b>	5,000 sf
<b>Lot area per dwelling unit</b>	5,000 sf
Continuous <b>street frontage</b>	80'
Depth	60'
<b>Minimum Yard Dimensions</b>	
front	5'
side	10'
rear	25'
<b>Maximum Structure Dimensions</b>	
sloped roof	35'
flat roof	30'
Roof appurtenance height	8'
Building coverage	30%
Minimum <b>open space</b>	25%

**PROJECT NARRATIVE**

NEW CONSTRUCTION ON AN EMPTY UNDEVELOPED LOT, LOT SUBDIVISION IS BEING PURSUED CONCURRENT TO HDC REVIEW PROCESS. BUILDING USE IS SINGLE FAMILY RESIDENTIAL. BUILDING IS IN FLOOD ZONE AE AND EXTENDED FLOOD ZONE. CURRENT ZONING AND BUILDING CODES REQUIRE THE BUILDING TO BE ELEVATED ABOVE FLOOD PLAIN AND TO HAVE A FLOW-THROUGH OR BREAK-AWAY FOUNDATION (NO BASEMENT). BUILDING WILL BE DESIGNED TO HIGH ENERGY STANDARDS, IN PURSUIT OF PASSIVE HOUSE AND/OR NET ZERO READY CERTIFICATION.



# 445 MARCY STREET NEW RESIDENCE

## HISTORIC DISTRICT COMMISSION WORK SESSION 1

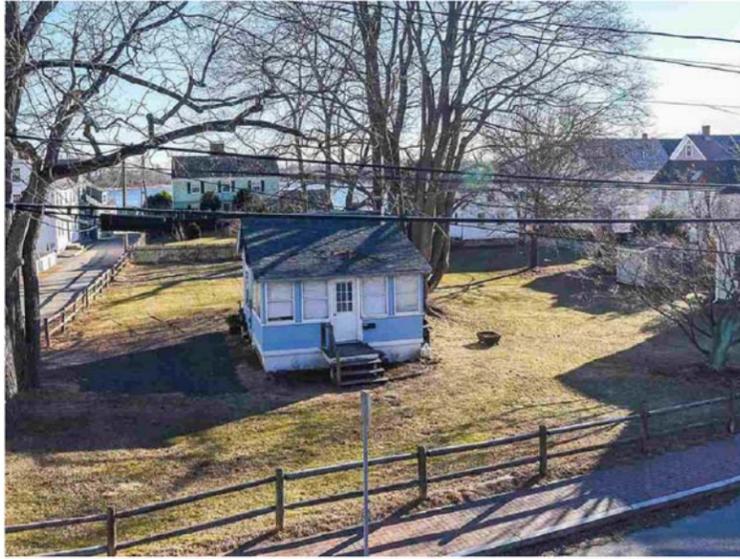




1 LEVEL 1 CONTEXT hdc  
1" = 60'-0"

A.0.1 CONTEXT MAP  
445 MARCY ST  
SCALE: 1" = 60'-0"  
1/14/2022





1 FROM MARCY ST



3 FROM MARCY ST @ PRAY



2 FROM MARCY ST @ PARTRIDGE LOOKING NORTHEAST



4 FROM BACK OF CANDY SHOP LOOKING EAST



5 FROM PARTRIDGE LOOKING SOUTHEAST



6 FROM PARTRIDGE LOOKING SOUTH



7 FROM PARTRIDGE LOOKING NORTH



8 FROM PARTRIDGE LOOKING NORTHWEST

A.0.2 SITE PHOTOS  
445 MARCY ST  
SCALE:  
1/14/2022





1 MARCY @ SALTER



2 MARCY @ PRAY



3 MARCY @ PRAY



4 PRAY, NORTH



5 PRAY, NORTH



6 PARTRIDGE, SOUTH



7 PRAY @ RIVER



8 PARTRIDGE, LOOKING WEST



9 PRIVATE WAY, ACROSS FROM LOBSTER POUND



10 MARCY ST



11 MARCY @ HUMPHREY'S COURT



12 MARCY, WEST



13 MARCY, WEST

A.0.3

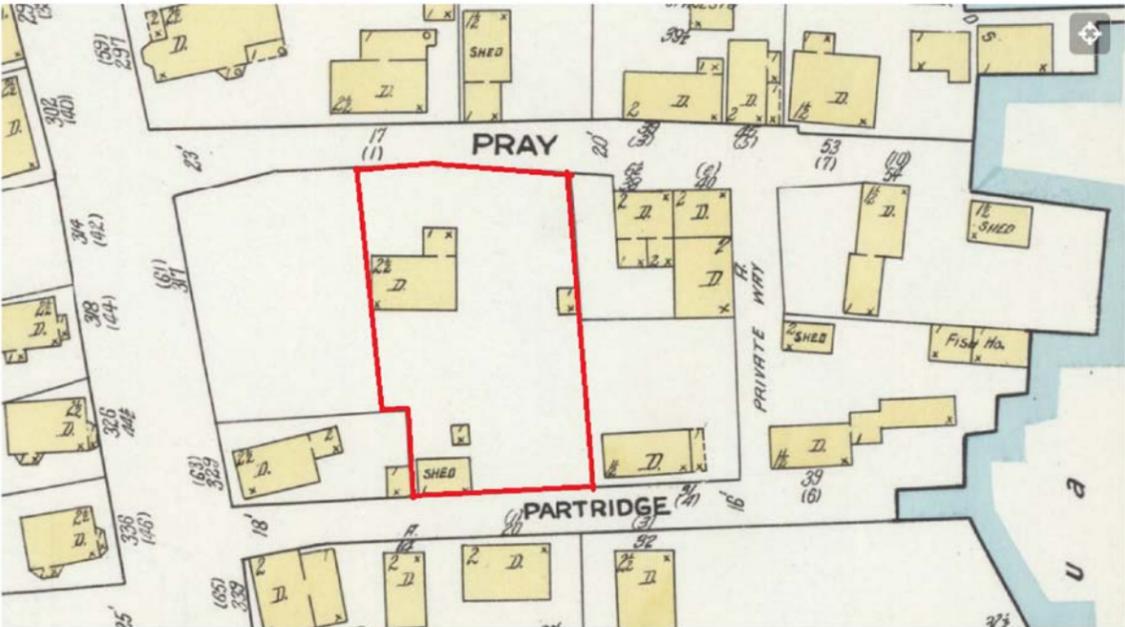
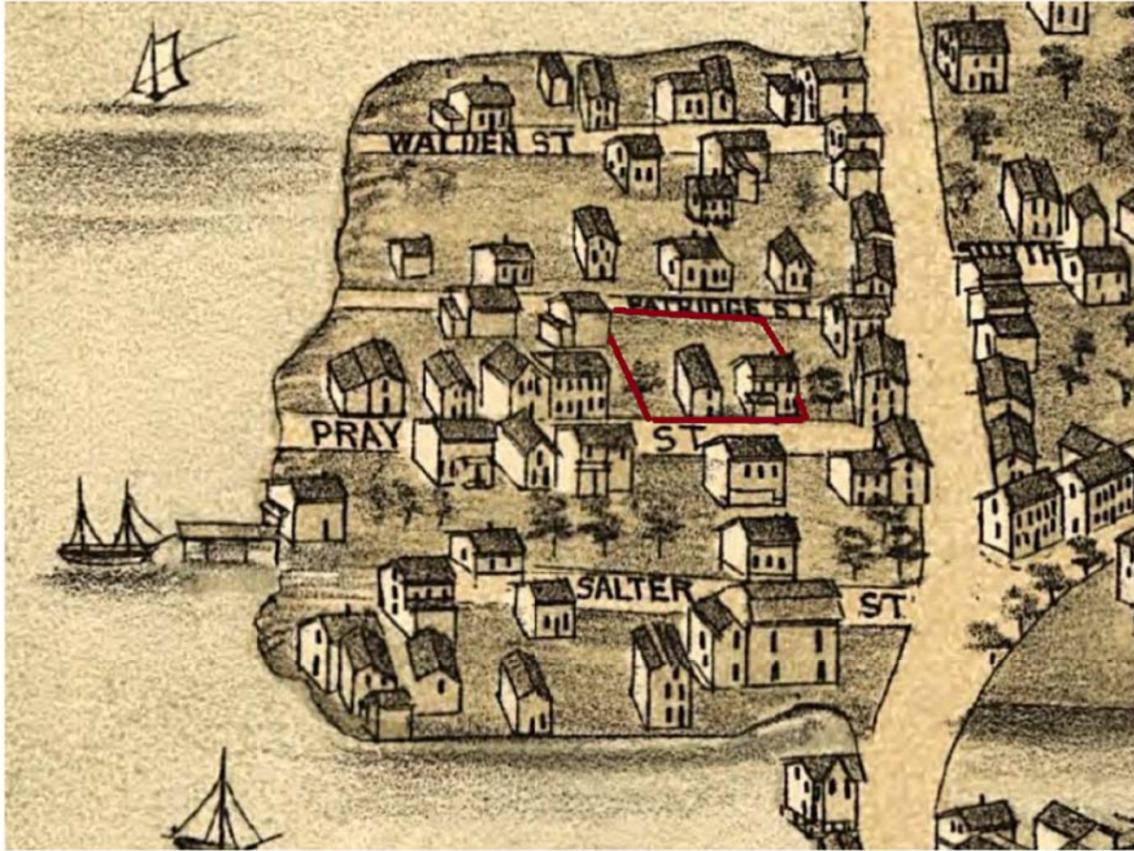
# CONTEXT PHOTOS 445 MARCY ST

SCALE:  
1/14/2022



# Bird's eye view of Portsmouth, Rockport, 1877.

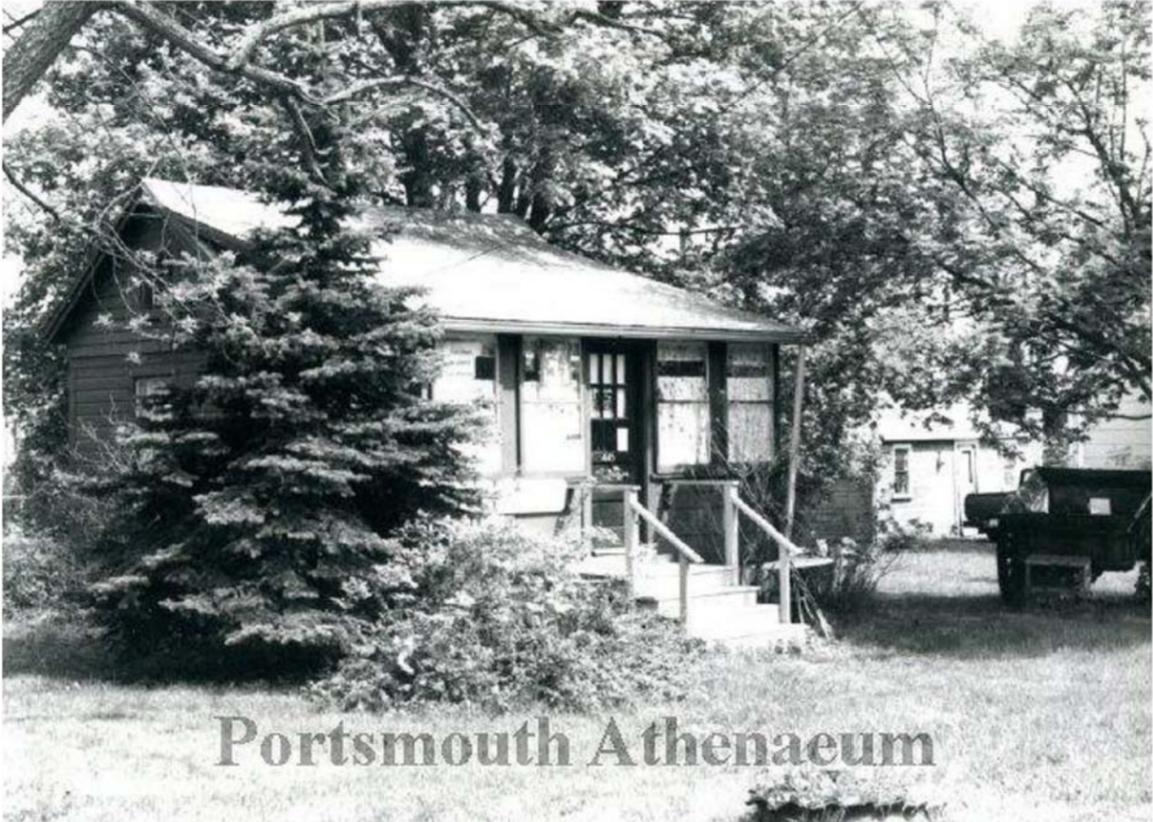
[« About this Item](#)



SANBORN MAP - 1910



PARTRIDGE STREET, 1944

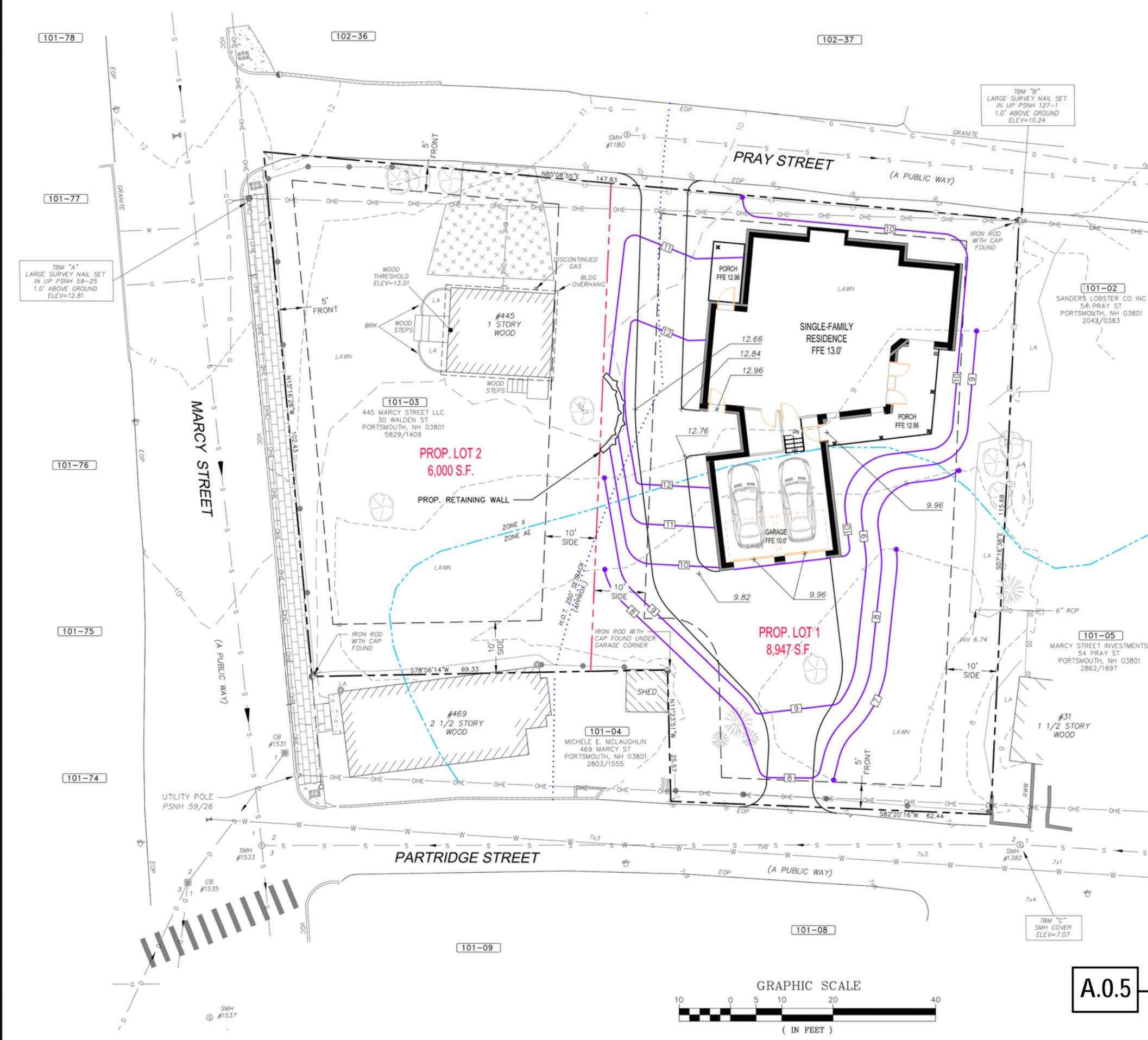


CANDY SHOP, 1982

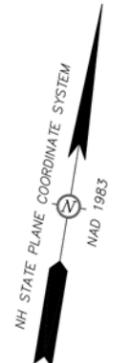
**A.0.4** CONTEXT - HISTORIC  
445 MARCY ST

SCALE:  
1/14/2022





**LOCUS**  
(N.T.S.)



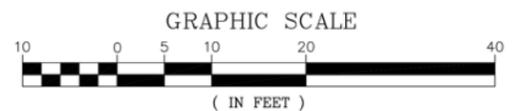
**SITE NOTES**

- DESIGN INTENT - THIS PLAN IS INTENDED TO DEPICT A SUBDIVISION AND SITE PLAN FOR PROPOSED NEW SINGLE-FAMILY RESIDENCE.
- APPROXIMATE LOT AREA: 14,947 S.F.± (0.34 AC.±)
- ZONE: GENERAL RESIDENCE B (GRB)
- DIMENSIONAL REQUIREMENTS:

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	5,000 SF	14,947 SF	-- SF
MIN. STREET FRONTAGE:	80'	102.43'	--'
MIN. LOT DEPTH:	60'	134.20'	--'
FRONT SETBACK:	5'	23.0'±	--'
SIDE SETBACK:	10'	89.8'±	--'
REAR SETBACK:	25'	N/A	N/A
MAX. BLDG. HEIGHT:	35' (SLOPE)	--'	--'
MAX. BLDG. COVERAGE:	30%	--%	--%
MIN. OPEN SPACE:	25%	--%	--%
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- THE EXISTING SITE CONDITION DETAILS SHOWN ARE THE RESULTS OF AN ON THE GROUND INSTRUMENT FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. OCTOBER 2021. THE CLOSED TRAVERSE ROUGH CLOSURE PRECISION WAS 1/15,000.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 2010.0000, US SURVEY FOOT. VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ROBE"
- A PORTION OF THE PARCEL SHOWN HEREON LIES WITHIN ZONE AE (ELEVATION 8) & ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0259F, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- APPROXIMATE 250' SETBACK TO THE HIGHEST OBSERVABLE TIDE LINE PER THE CITY OF PORTSMOUTH TAX MAPS.

**PLAN REFERENCE**

- "EXISTING CONDITIONS PLAN, 445 MARCY STREET, PORTSMOUTH, NEW HAMPSHIRE", REVISED DATED OCTOBER 6, 2021, PREPARED BY JAMES VERRA & ASSOCIATES, INC.



**A.0.5**

**SUBDIVISION SITE PLAN**  
**445 MARCY ST**

SCALE:  
1/14/2022

**ALTUS**  
ENGINEERING, INC.

133 Court Street  
(603) 433-2335

Portsmouth, NH 03801  
www.altus-eng.com

**NOT FOR CONSTRUCTION**

ISSUED FOR: **REVIEW**

ISSUE DATE: **DECEMBER 1, 2021**

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
0	XXXX	XXX	XX/XX/XX

DRAWN BY: \_\_\_\_\_ RMB

APPROVED BY: \_\_\_\_\_ EDW

DRAWING FILE: \_\_\_\_\_ 5217SUB.DWG

**SCALE:**

(22"x34") 1" = 10'

(11"x17") 1" = 20'

**APPLICANT:**

**445 MARCY STREET, LLC.**  
30 WALDEN STREET  
PORTSMOUTH, NH 03801

**OWNER:**

**445 MARCY STREET, LLC.**  
30 WALDEN STREET  
PORTSMOUTH, NH 03801

**PROJECT:**

**445 MARCY STREET RESIDENCE**  
TAX MAP 101,  
LOT 03

**445 MARCY STREET**  
**PORTSMOUTH, NH**

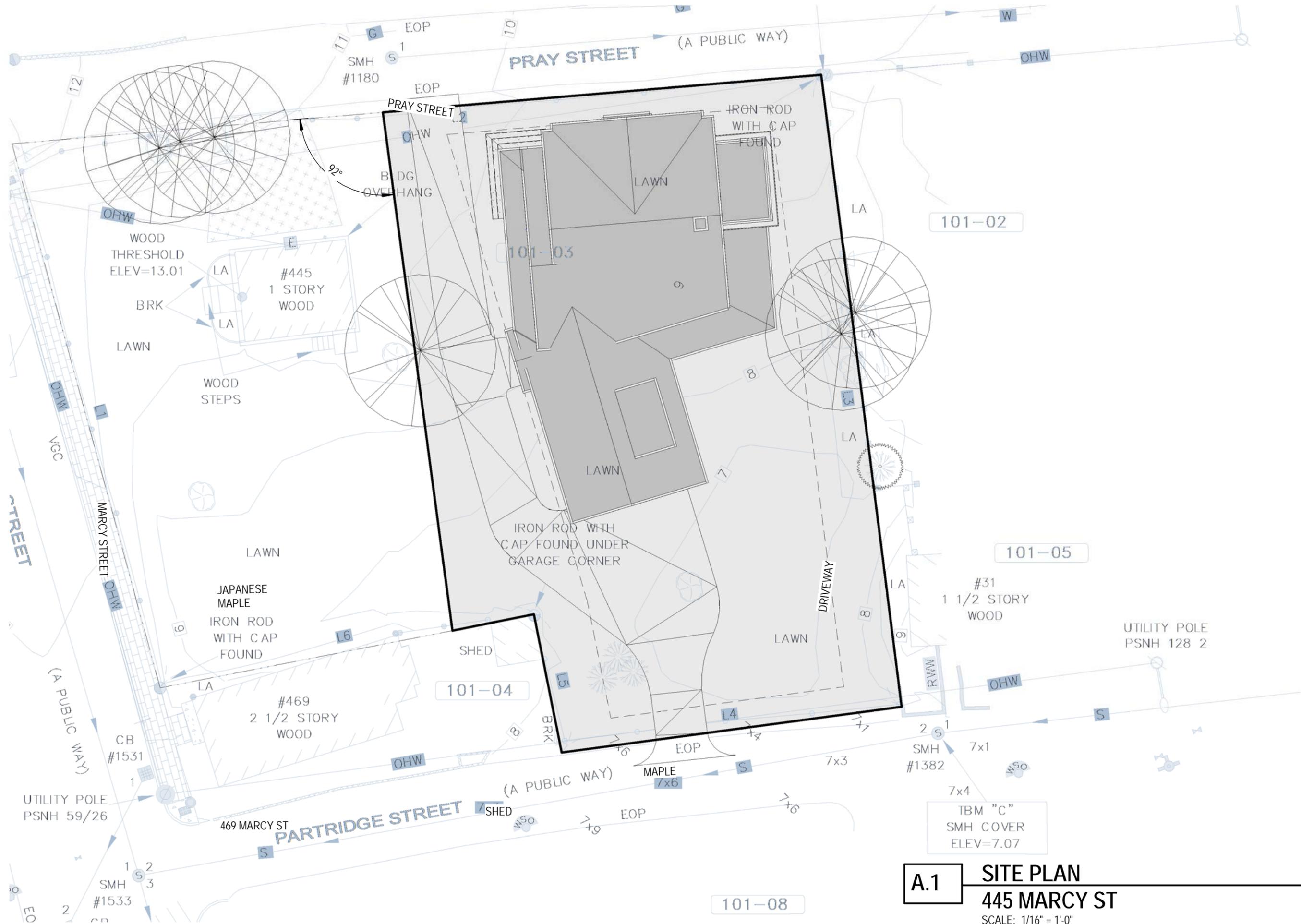
**TITLE:**

**SUBDIVISION AND SITE PLAN**

**SHEET NUMBER:**

**C - ARCOVE**  
ARCHITECTS

P5217



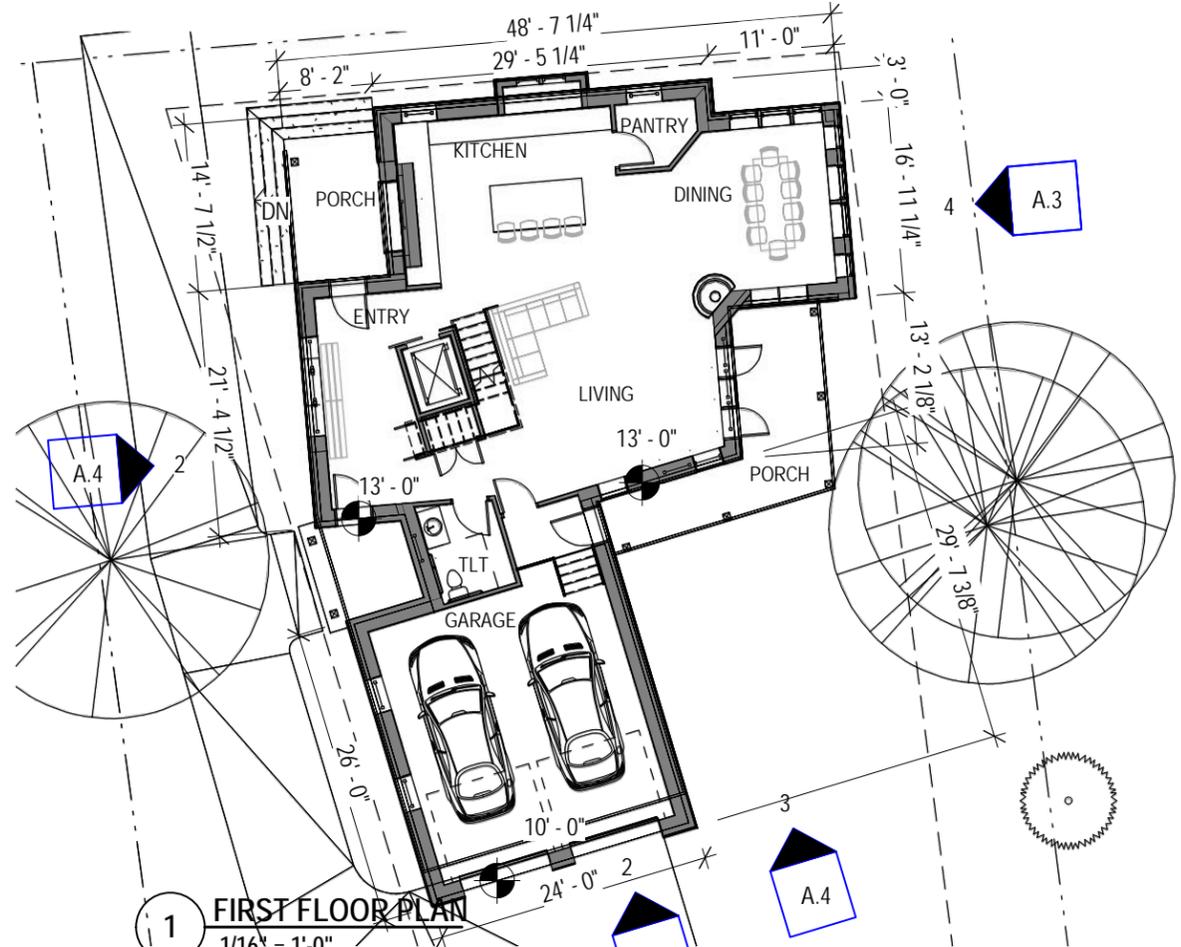
**A.1**

**SITE PLAN**

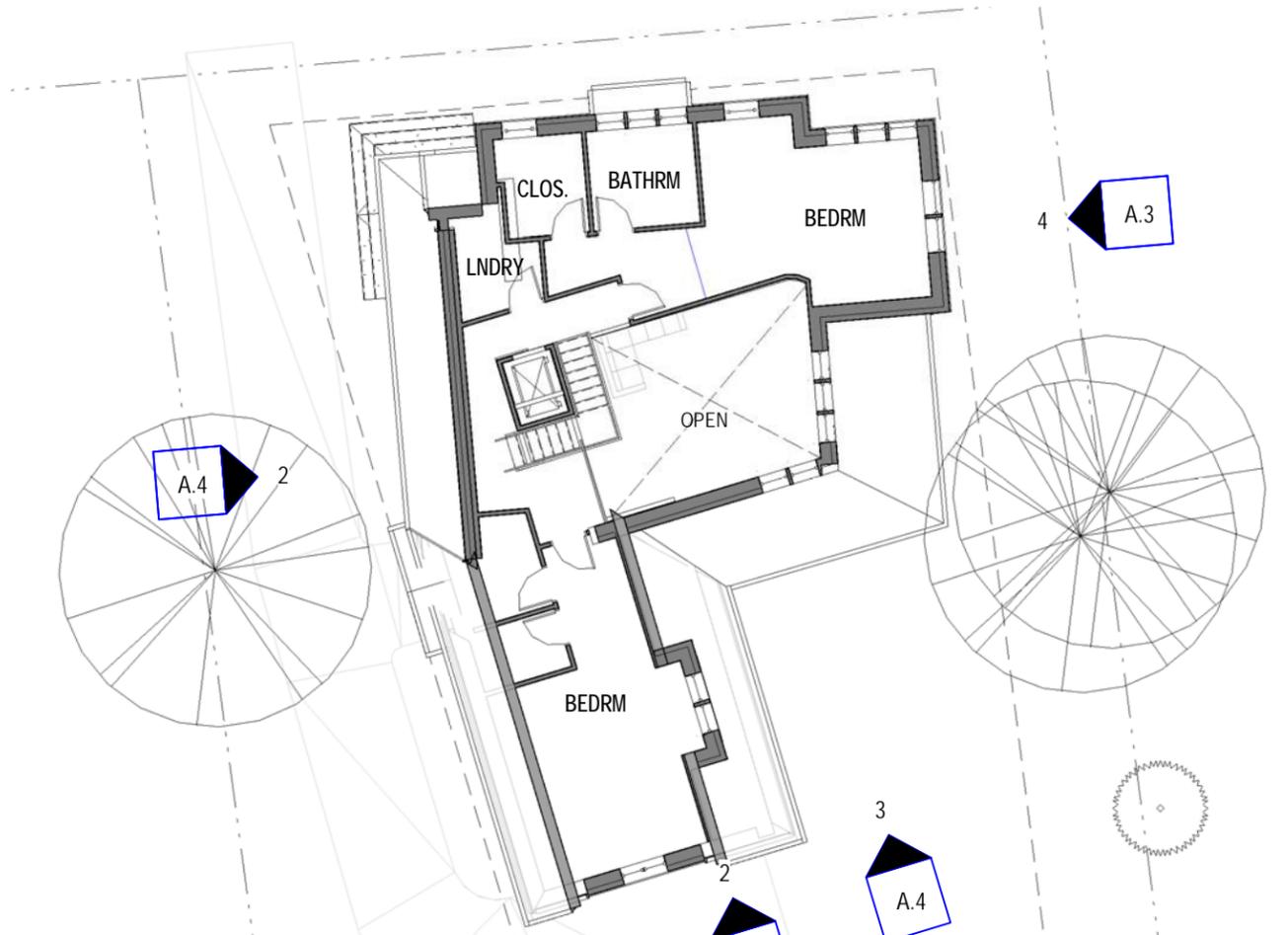
**445 MARCY ST**

SCALE: 1/16" = 1'-0"  
1/14/2022

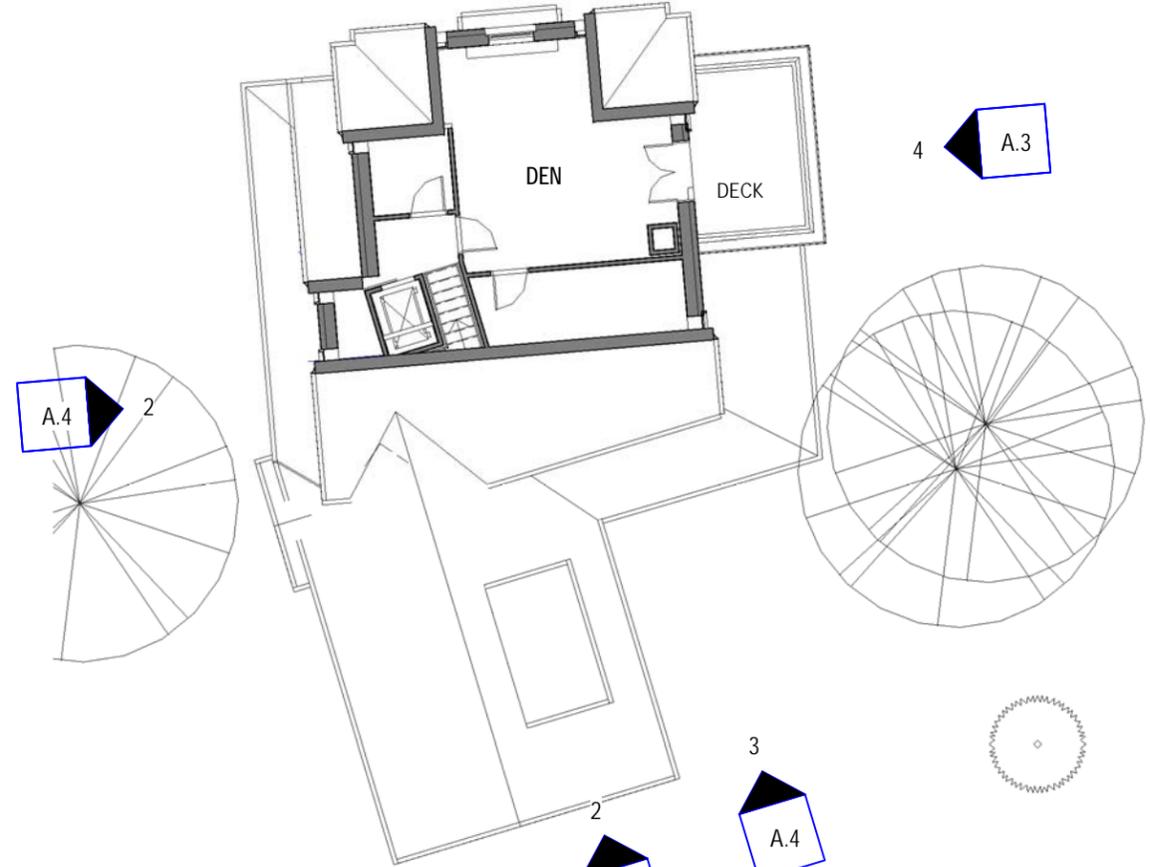




1 **FIRST FLOOR PLAN**  
1/16" = 1'-0"



2 **SECOND FLOOR PLAN**  
1/16" = 1'-0"



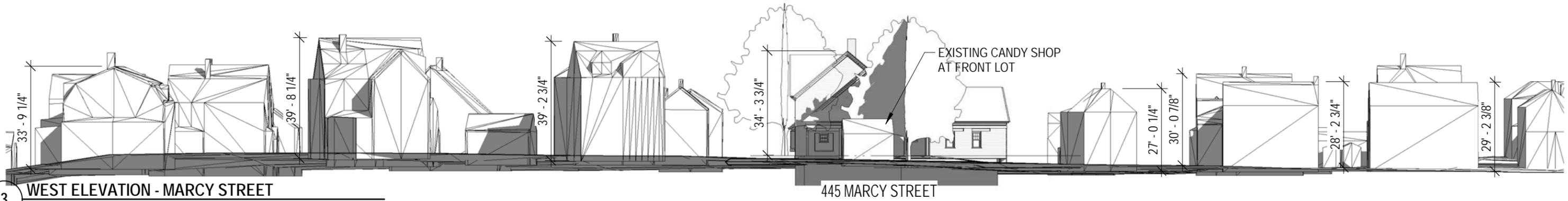
3 **ATTIC PLAN**  
1/16" = 1'-0"

**A.2 FLOOR PLANS**  
**445 MARCY ST**  
SCALE: 1/16" = 1'-0"  
1/14/2022

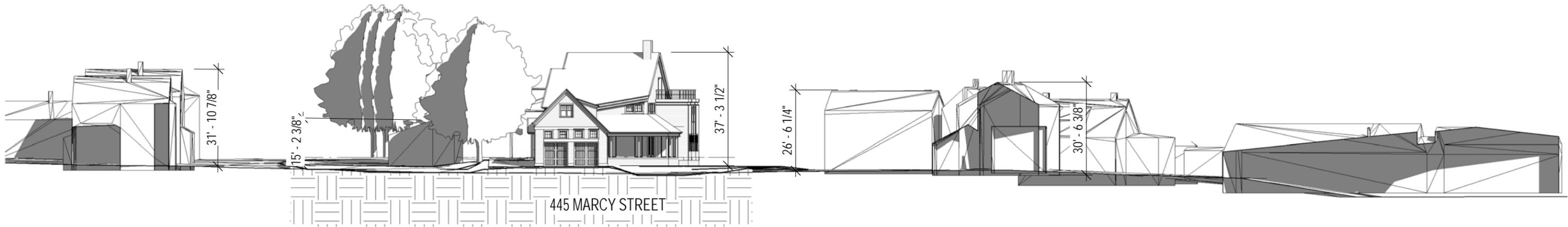




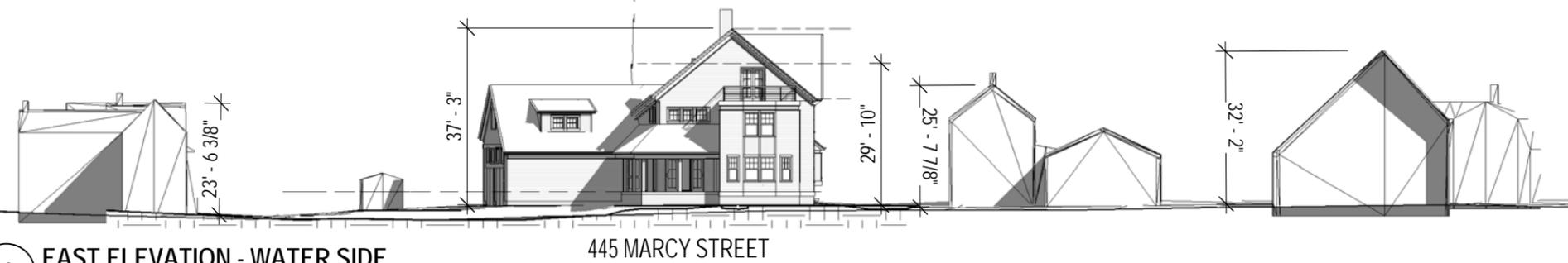
**1** NORTH ELEVATION - PRAY STREET  
1/32" = 1'-0"



**3** WEST ELEVATION - MARCY STREET  
1/32" = 1'-0"



**2** SOUTH ELEVATION - PARTRIDGE STREET  
1/32" = 1'-0"



**4** EAST ELEVATION - WATER SIDE  
1/32" = 1'-0"

**A.3** ELEVATIONS - STREET  
445 MARCY ST

SCALE: 1/32" = 1'-0"  
1/14/2022

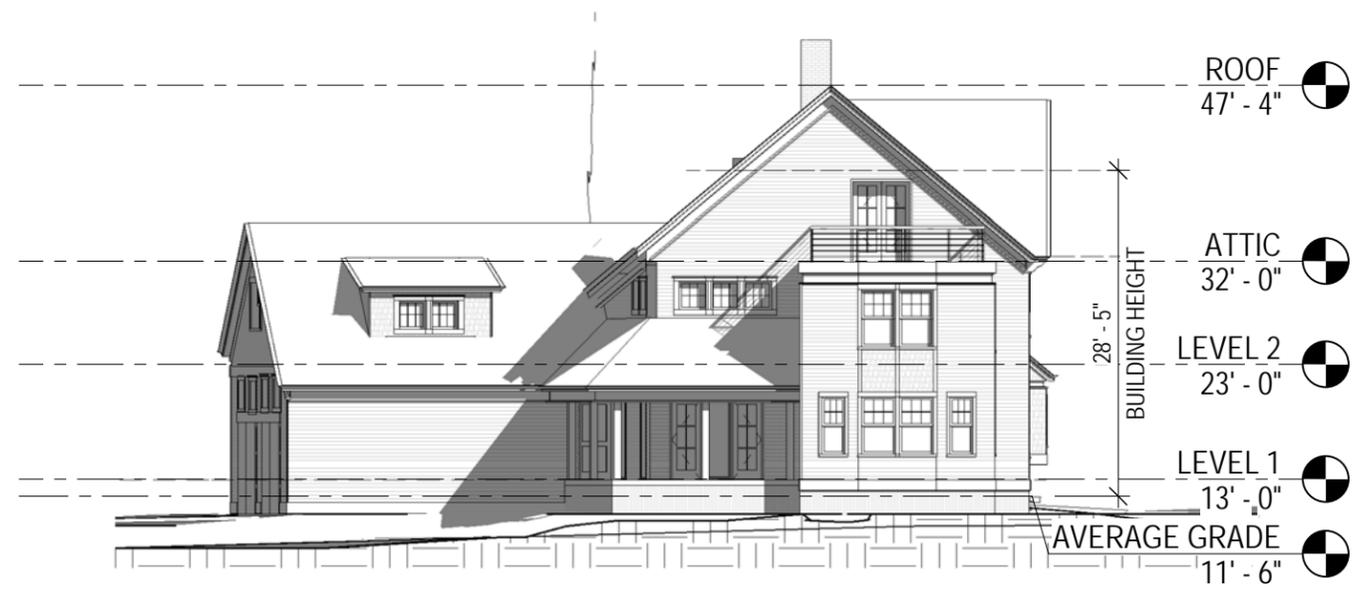




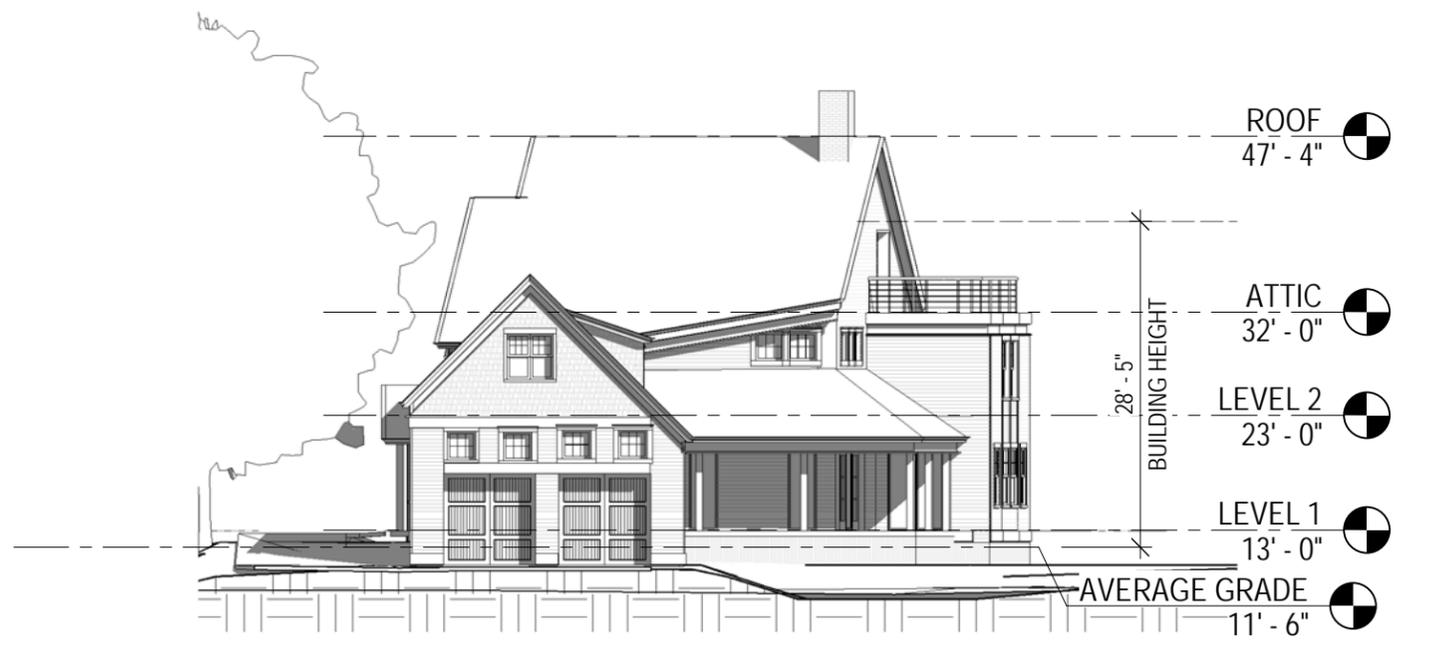
1 NORTH ELEVATION - PRIMARY FRONT, PRAY STREET  
1/16" = 1'-0"



2 WEST ELEVATION - SIDE, MARCY STREET  
1/16" = 1'-0"

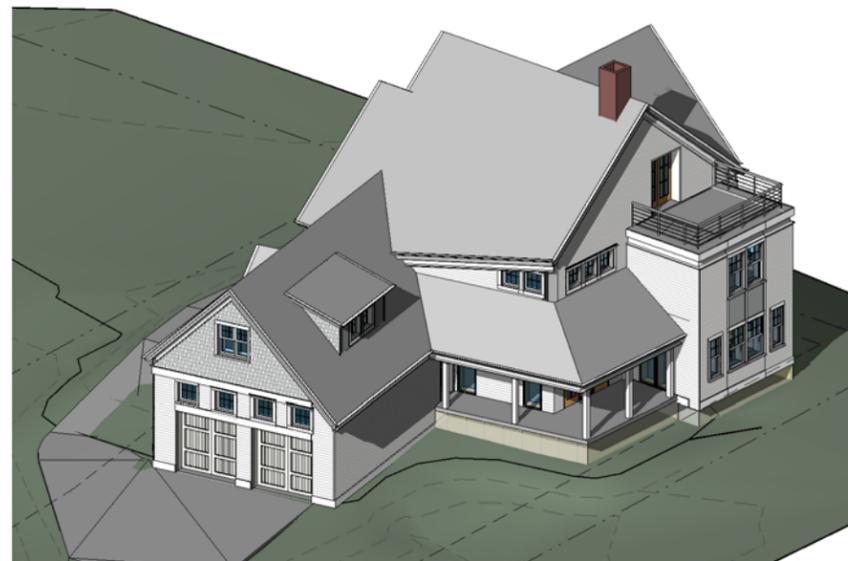
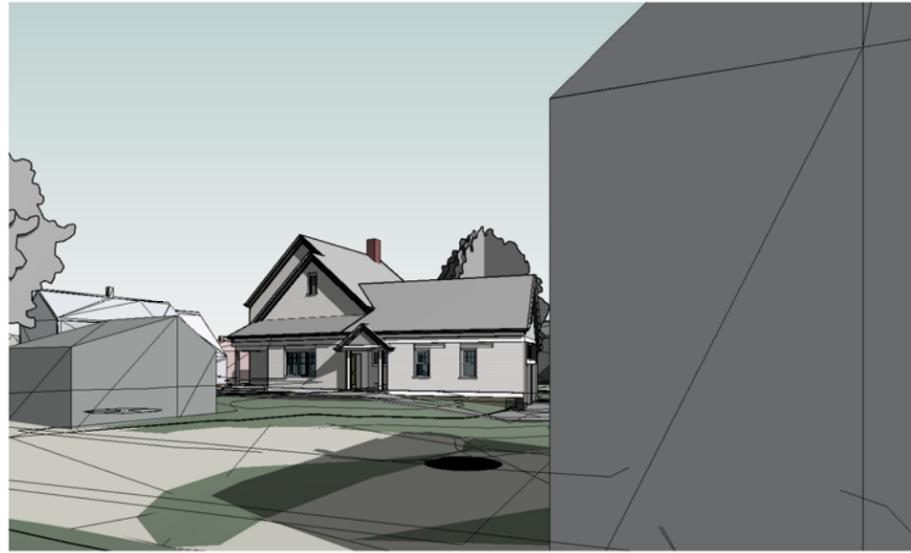


4 EAST ELEVATION - SIDE, WATERFRONT  
1/16" = 1'-0"



3 SOUTH ELEVATION - SECONDARY FRONT, PARTRIDGE STREET  
1/16" = 1'-0"



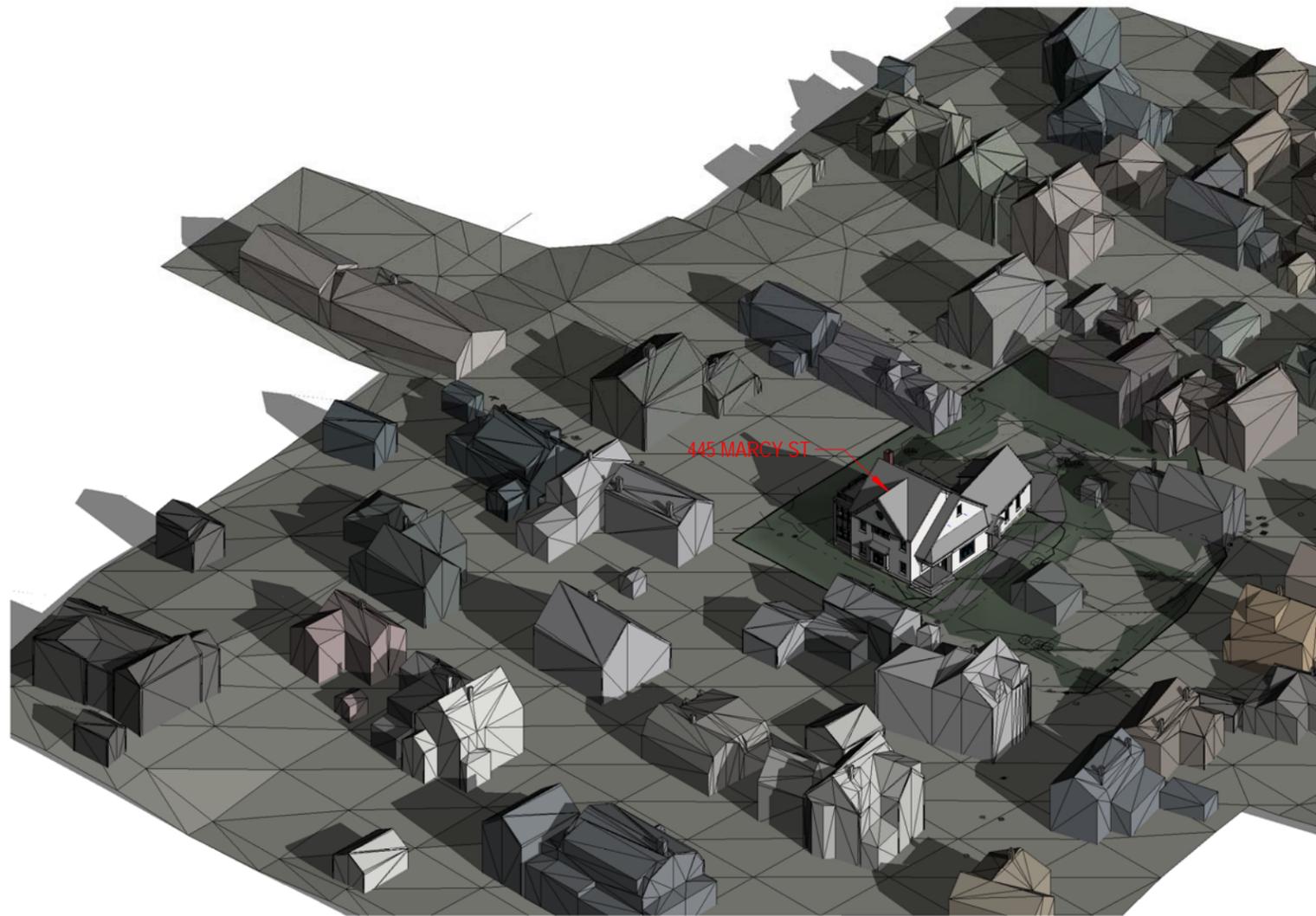


A.5

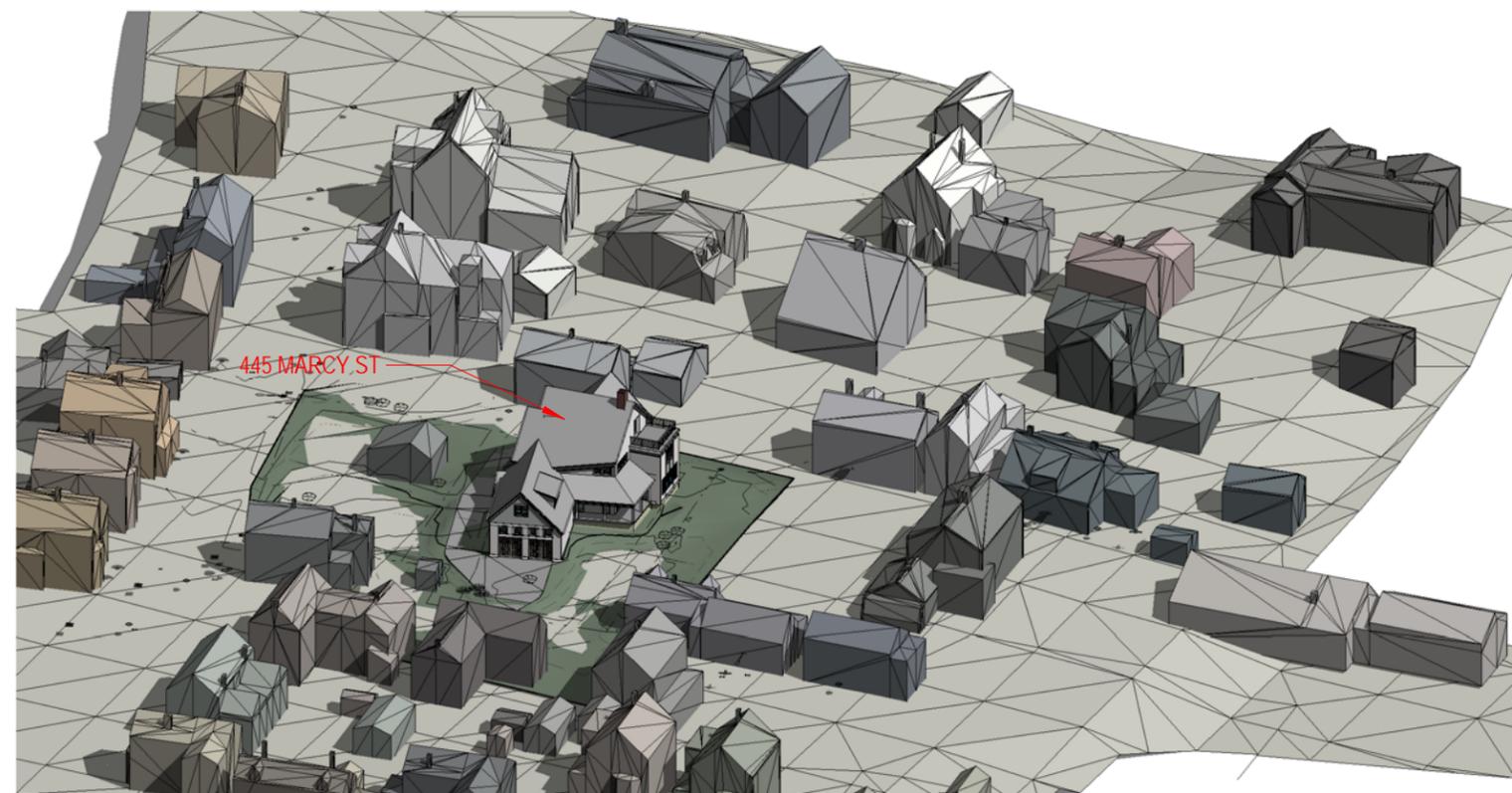
3D VIGNETTES  
445 MARCY ST

SCALE:  
1/14/2022

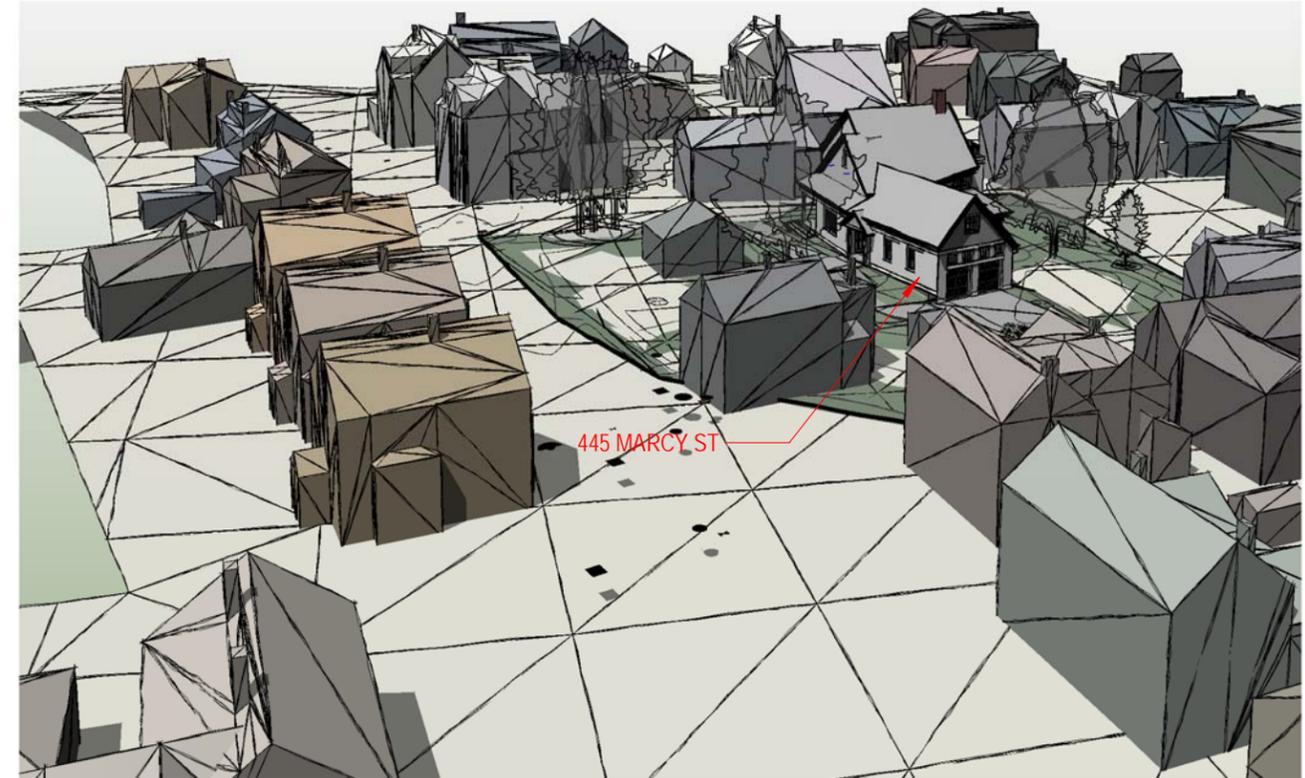




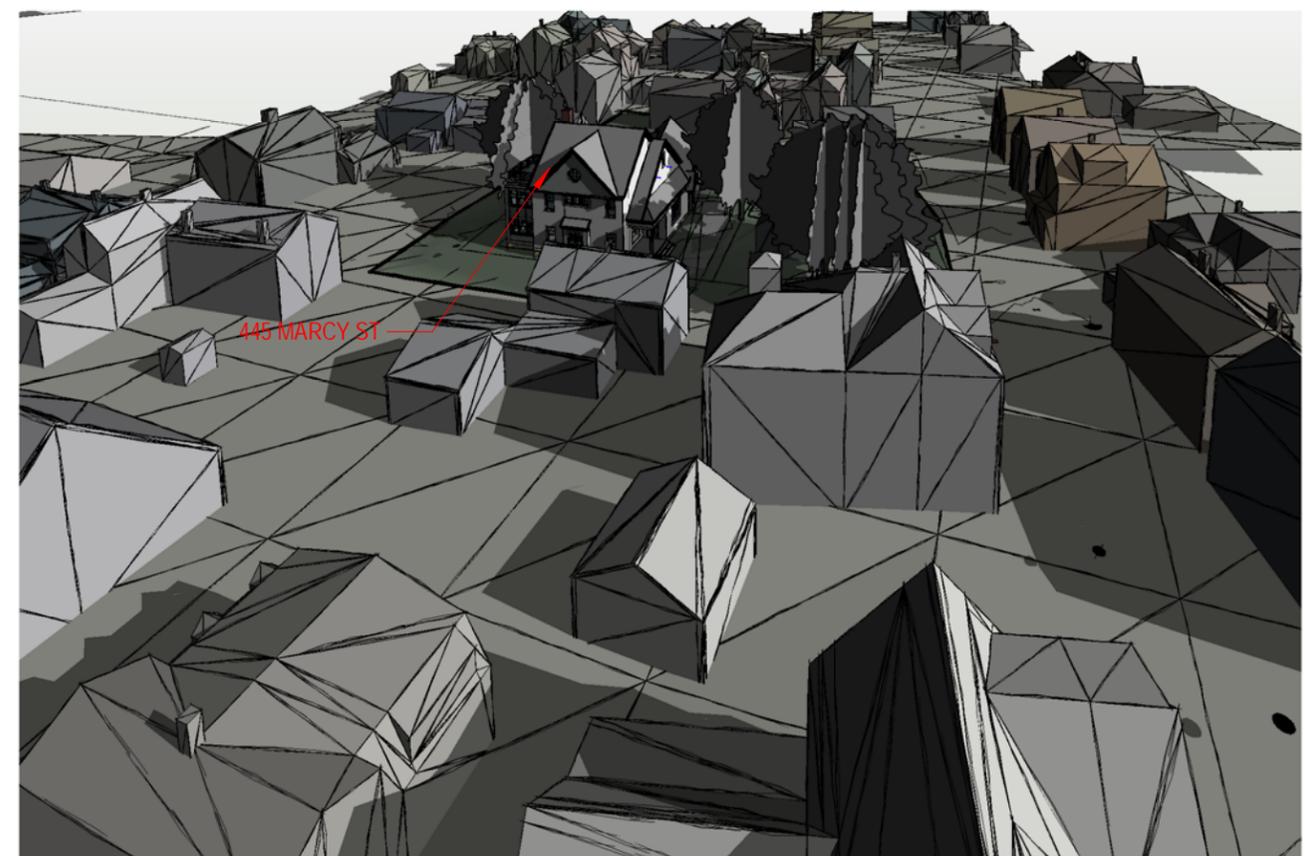
2 SITE AXON SE



1 SITE AXON NW



4 BIRDSEYE PERSPECTIVE FROM SE



3 BIRDSEYE PERSPECTIVE FROM NW

A.6 AERIAL VIEWS  
 445 MARCY ST  
 SCALE:  
 1/14/2022

