

# HDC

## ADMINISTRATIVE APPROVALS

November 02, 2022

- |    |  |                       |
|----|--|-----------------------|
| 1. | 11 Walden Street (LUHD-502)            | -TBD                  |
| 2. | 60 Penhallow Street (LUHD-540)         | -Recommended Approval |
| 3. | 45 Market Street (LUHD-538)            | -Recommended Approval |
| 4. | 500 Market Street, Unit 2 C (LUHD-539) | -Recommended Approval |
| 5. | 124 State Street (LUHD-542)            | -Recommended Approval |
| 6. | 322 Islington Street (LUHD-543)        | -Recommended Approval |
| 7. | 232 Court Street (LUHD-544)            | -Recommended Approval |
| 8. | 138 Maplewood Avenue (LUHD-541)        | -TBD                  |
| 9. | 348 Maplewood Avenue (LUHD-545)        | -TBD                  |

**1. 11 Walden Street**

**- TBD**

**Background:** The applicant is seeking approval for the installation of HVAC equipment.

**Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/28/2022

**LUHD-502**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jul 18, 2022**Applicant**

Jay Aucella  
 jay@aucella.biz  
 6 Province Rd  
 Strafford, NH 03884  
 866-926-6888

**Primary Location**

11 WALDEN ST  
 Portsmouth, NH 03801

**Owner:**

MRAZ JUDITH A REVOCABLE TRUST & MRAZ JUDITH A TRUSTEE  
 67 BALD HILL RD NEWFIELDS, NH 03856

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Installation of a Mitsubishi heat pump system with one outdoor unit and three indoor units. The outdoor unit to be mounted on the Northern most point of the West side of the structure. One wall ductless split mounted on the West side of the First Floor to condition that space. Two floor units, one in each of the two Bedrooms on the Second Floor. Line hide to enclose all refrigerant lines etc. on the exterior of the home. All line hide to be located on the West and North side of the home only and painted to match the exterior of the home.

**Description of Proposed Work (Planning Staff)**

the installation of HVAC equipment

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

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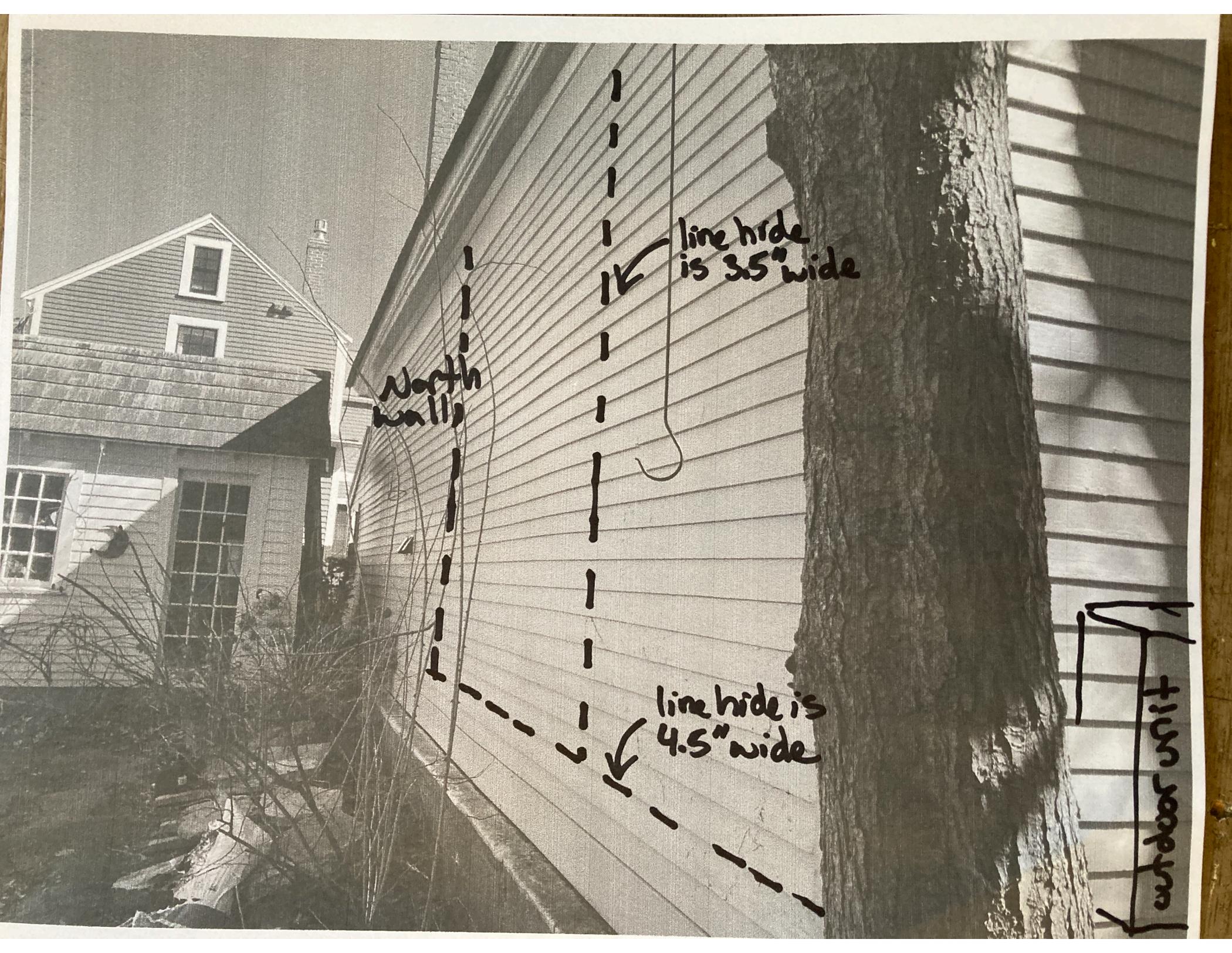
**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

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**Planning Staff Comments**

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**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title****Owner Addressee Prefix and Last Name**



North wall

line hrde is 3.5" wide

line hrde is 4.5" wide

outdoor unit

west  
wall

Line hide  
painted to  
match Siding



outdoor unit location

HOLMES COURT

2 STORY WOOD FRAME BUILDING  
U-1/18  
N/F JEANNINE L. McCOY  
499 MARCY STREET  
PORTSMOUTH, NH 03801  
RCRD BOOK 2995-PAGE 1281

PARCEL I  
751 SQ. FT.  
0.0172 Ac.

EP  
POLE #129/1

WOOD GARAGE

CONCRETE FOUNDATION

U-1/18  
N/F CLAIR D'ARVILLE  
24 HOLMES COURT  
PORTSMOUTH, NH 03801  
RCRD BOOK 3378-PAGE 548

IRON ROD W/CAP #335

S81°04'03"E

46.82'

U-1/17  
N/F MARC & MARTHA DROGIN  
11 WALDEN STREET  
PORTSMOUTH, NH 03801  
RCRD BOOK 3069-PAGE 1023

IRON ROD W/CAP #335 SET

2 STORY WOOD FRAME BUILDING

2 STORY WOOD FRAME BUILDING

OLD FENCE POST

46.16'

N81°27'17"W

WOOD STAIRS

WALDEN STREET

(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

PICKET FENCE  
S82°32'40"E  
47.73'

POLE #77/1

S81°27'17"E

11.50'

RAILROAD SPIKE TO BE SET

S81°57'07"E  
43.20'

EP

S81°54'12"E  
33.80'

U-1/21  
& MARTHA DROGIN  
WALDEN STREET  
PORTSMOUTH, NH 03801  
RCRD BOOK 3069-PAGE 1023

BOUNDARY LINES  
PER BOUNDARY  
LINE AGREEMENT  
DATED 9-17-87  
RECORDED @ RCRD  
BOOK 2704 PAGE 1668

2 STORY WOOD FRAME BUILDING

GATE

U-1/22  
JAY N. GINGRICH  
3 MARCY STREET  
PORTSMOUTH, NH 03801  
RCRD BOOK 2639-PAGE 280

N04°43'10"E  
58.74'

**MXZ-3C30NA2**  
**MULTI-ZONE INVERTER HEAT-PUMP SYSTEM**



Job Name:

System Reference:

Date:



**FEATURES**

- Variable speed INVERTER-driven compressor
- Optional base pan heater
- Quiet outdoor unit operation as low as 56 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection

# SPECIFICATIONS: MXZ-3C30NA2

(For data on specific indoor units, see the MXZ-C Technical and Service Manual.)

Cooling* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,400 / 27,400
	Capacity Range	Btu/h	9,500 - 28,400 / 9,500 - 27,400
	Rated Total Input	W	2,680 / 2,860
Heating at 47°F* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,600 / 27,600
	Capacity Range	Btu/h	15,500 - 36,000 / 15,500 - 35,000
	Rated Total Input	W	2,150 / 2,220
Heating at 17°F* (Non-ducted/Ducted)	Rated Capacity	Btu/h	16,000 / 15,100
	Rated Total Input	W	2,120 / 2,140
Connectable Capacity		Btu/h	12,000 - 36,000
Electrical Requirements	Power Supply	Voltage, Phase, Hertz	208 / 230V, 1-Phase, 60 Hz
	Recommended Fuse/Breaker Size	A	25
	MCA	A	22.1
Voltage	Indoor - Outdoor S1-S2	V	AC 208 / 230
	Indoor - Outdoor S2-S3	V	DC ±24
Compressor		INVERTER-driven Scroll Hermetic	
Fan Motor (ECM)		F.L.A.	2.43
Sound Pressure Level	Cooling	dB(A)	52
	Heating	dB(A)	56
External Dimensions (H x W x D)		In mm	31-11/32 x 37-13/32 x 13 (796 x 950 x 330)
Net Weight		Lbs / kg	137 (62)
External Finish		Munsell No. 3Y 7.8/11	
Refrigerant Pipe Size O.D.	Liquid (High Pressure)	In / mm	1/4 (12.7)
	Gas (Low Pressure)	In / mm	A: 1/2 (6.35) ; B.C: 3/8 (9.52)
Max. Refrigerant Line Length		Ft / m	230 (70)
Max. Piping Length for Each Indoor Unit		Ft / m	82 (25)
Max. Refrigerant Pipe Height Difference	If IDU is Above ODU	Ft / m	49 (15)
	If IDU is Below ODU	Ft / m	49 (15)
Connection Method		Flared/Flared	
Refrigerant		R410A	

\* Rating Conditions per AHRI Standard:

Cooling | Indoor: 80° F (27° C) DB / 67° F (19° C) WB  
Cooling | Outdoor: 95° F (35° C) DB / 75° F (24° C) WB

Heating at 47° F | Indoor: 70° F (21° C) DB  
Heating at 47° F | Outdoor: 47° F (8° C) DB / 43° F (6° C) WB

Heating at 17° F | Indoor: 70° F (21° C) DB  
Heating at 17° F | Outdoor: 17° F (-8° C) DB / 15° F (-9° C) WB

## OPERATING RANGE:

	Outdoor
Cooling	14 to 115° F (-10 to 46° C) DB
Heating	5 to 65° F (-15 to 18° C) WB

## ENERGY EFFICIENCIES:

Indoor Unit Type	SEER	EER	HSPF	COP @ 47°F	COP @ 17°F
Non-ducted (09+09+12)	19.0	10.6	10.6	3.90	2.77
Ducted and Non-ducted	17.6	10.1	10.1	3.77	2.78
Ducted (09+09+12)	16.2	9.6	9.6	3.64	2.78

## NOTES:

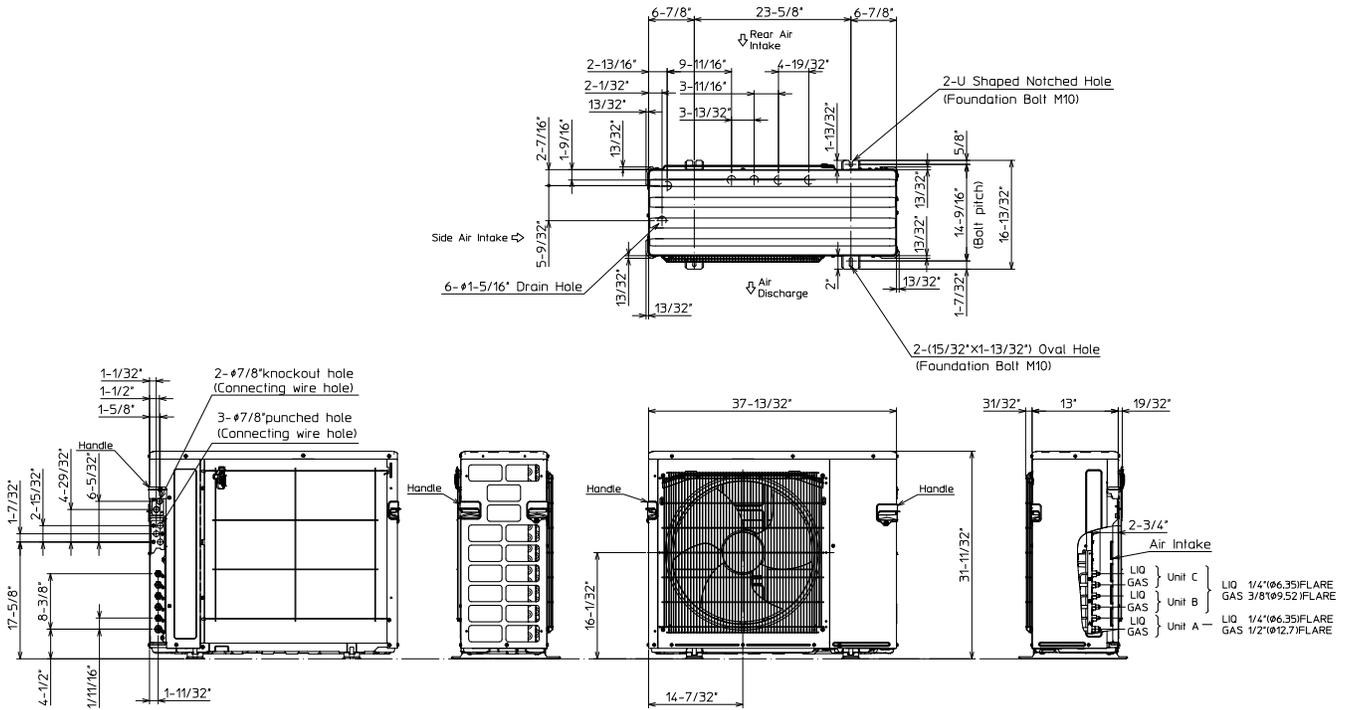
For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance. Although the maximum connectable capacity can exceed rated, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

## OUTDOOR UNIT ACCESSORIES: MXZ-3C30NA2

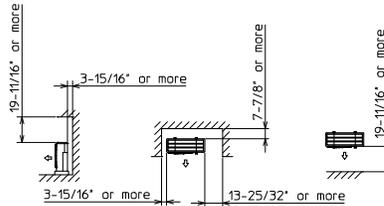
Air Outlet Guide	Air Outlet Guide (1 Piece)	PAC-SH96SG-E
Ball Valve	Refrigeration Ball Valve - 1/2"	BV12FFSI2
	Refrigeration Ball Valve - 1/4"	BV14FFSI2
	Refrigeration Ball Valve - 3/8"	BV38FFSI2
	Refrigeration Ball Valve - 5/8"	BV58FFSI2
Distribution pipe for Branch Box	M-NET Converter	PAC-IF01MNT-E
Drain Socket	Drain Socket	PAC-SG60DS-E
Hail Guards	Hail Guard	HG-A9
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Optional Defrost Heater	Base Heater	PAC-645BH-E
Port Adapter	Adaptor: 1/2" x 3/8"	MAC-A455JP-E
	Adaptor: 1/2" x 5/8"	MAC-A456JP-E
	Adaptor: 3/8" x 1/2"	MAC-A454JP-E
	Adaptor: 3/8" x 5/8"	PAC-SG76RJ-E
Power Supplies and Auxiliary Components	M-Net Control Wire, 1,000' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-1000
Power Supplies And Auxiliary Components	M-Net Control Wire, 250' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-250
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket -Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

# OUTDOOR UNIT DIMENSIONS: MXZ-3C30NA2

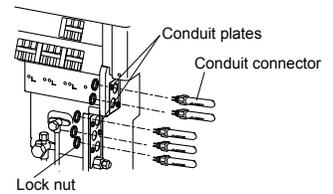
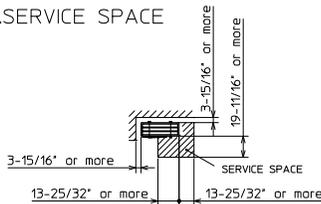
Unit: inch



## 1. FREE SPACE



## 2. SERVICE SPACE



1340 Satellite Boulevard Suwanee, GA 30024  
Toll Free: 800-433-4822 www.mehvac.com

**2. 60 Penhallow Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/28/2022

**LUHD-540**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 14, 2022**Applicant**

Tracy Kozak  
 tracyskozak@gmail.com  
 3 Congress Street, Suite 1  
 Portsmouth, New Hampshire 03801  
 603-731-5187

**Primary Location**

60 PENHALLOW ST  
 Portsmouth, NH 03801

**Owner:**

DAGNY TAGGART LLC  
 3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

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**Project Information****Brief Description of Proposed Work**

minor revisions to previously approved application - gutters &amp; downspouts; remove some wood strapping trim at upper windows.

**Description of Proposed Work (Planning Staff)**

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**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

architect

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

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**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--

**Owner Organization / Business Name****Owner Contact Street Address**

# 60 PENHALLOW STREET AT BRICK MARKET

HDC REVISION 7 - OCTOBER 14, 2022

HDC - OCTOBER 2022 SHEET LIST	
Sheet Number	Sheet Name
H7.1	COVER
H7.2	FIRST FLOOR PLAN
H7.3	NORTH ELEVATION (DANIEL ST) PROPOSED
H7.4	EAST ELEVATION (PENHALLOW ST) PROPOSED
H7.5	SOUTH ELEVATION (SOUTH ALLEY) PROPOSED
H7.6	ELEVATION IMAGES



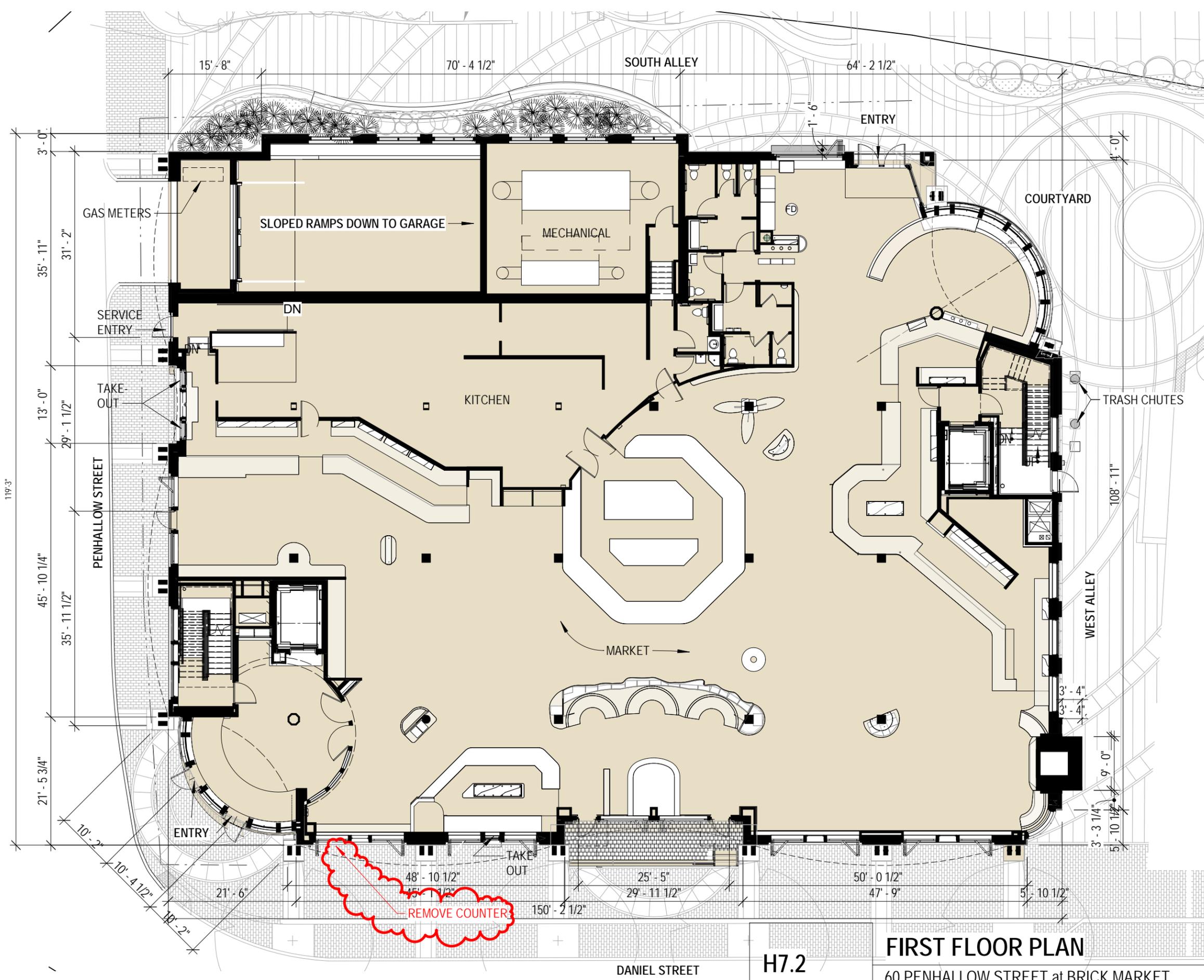
## SUMMARY OF REVISIONS

1. At NE Vessel Cheek Walls, remove Wood Strapping
2. At Daniel Street & Penhallow Street elevations and NW corner window, remove Wood strapping on windows where over glass
3. At South Alley, add 6" **box** gutter and two 4" vertical downspouts in Freedom Gray
4. At Daniel Street elevation, remove exterior countertop and two lights

H7.1

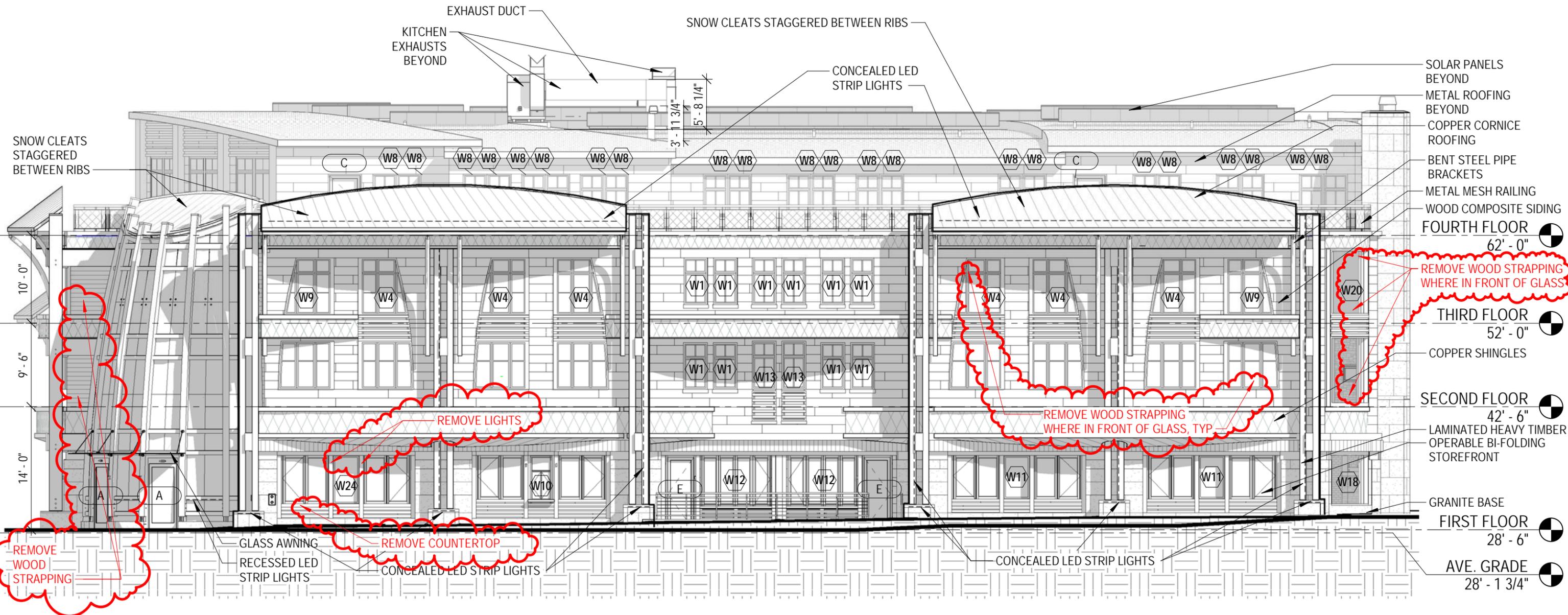
## COVER

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 7, 10/14/2022



1 FIRST FLOOR OVERALL PLAN  
1/16" = 1'-0"

H7.2  
**FIRST FLOOR PLAN**  
 60 PENHALLOW STREET at BRICK MARKET  
 HDC Revision 7, 10/14/2022



1 NORTH ELEVATION - DANIEL ST  
3/32" = 1'-0"

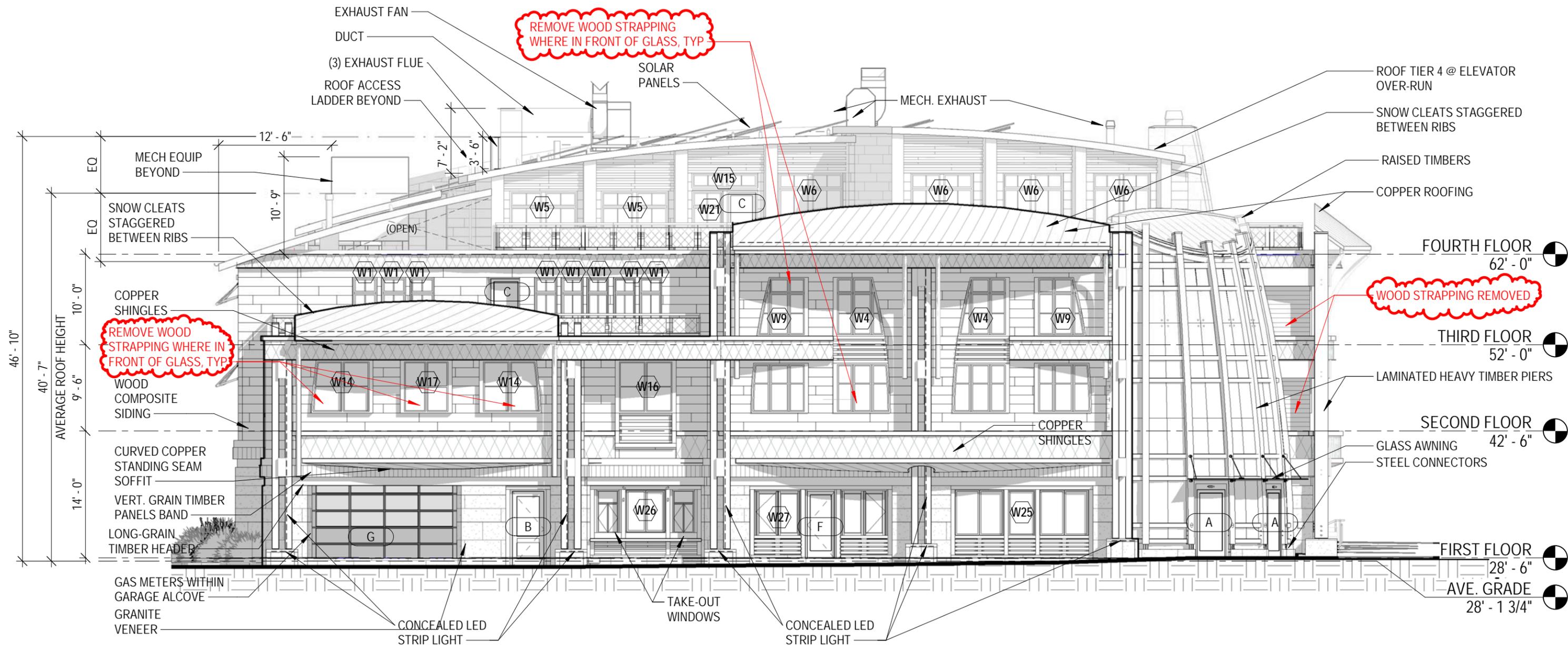
H7.3

NORTH ELEVATION (DANIEL ST) PROPOSED

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 7, 10/14/2022



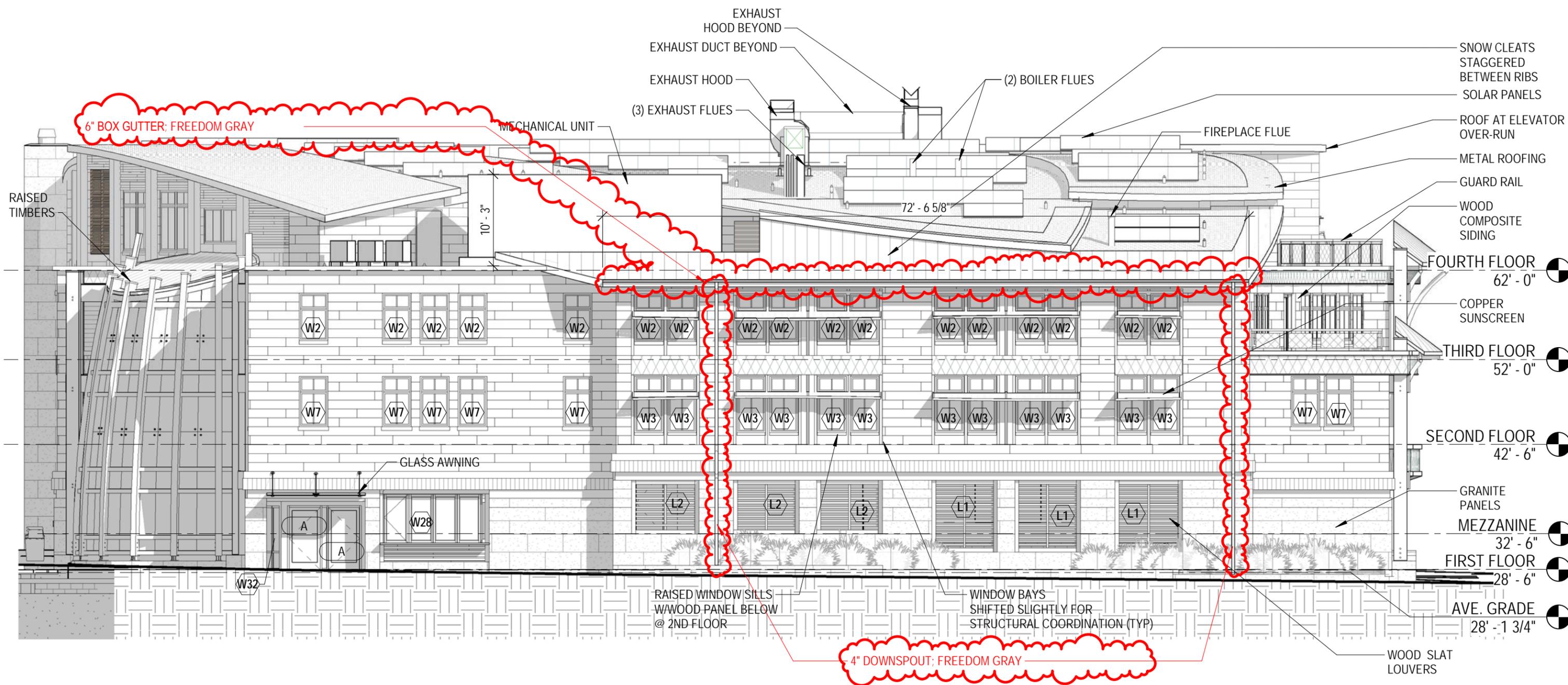
ARCHITECTS  
INTERIORS  
PLANNERS



1 EAST ELEVATION - PENHALLOW STREET  
 3/32" = 1'-0"

H7.4 EAST ELEVATION (PENHALLOW ST) PROPOSED  
 60 PENHALLOW STREET at BRICK MARKET  
 HDC Revision 7, 10/14/2022





1 SOUTH ELEVATION - ALLEY  
 3/32" = 1'-0"

H7.5 SOUTH ELEVATION (SOUTH ALLEY) PROPOSED  
 60 PENHALLOW STREET at BRICK MARKET  
 HDC Revision 7, 10/14/2022



THIS ELEVATION SHOWS THE PREVIOUSLY APPROVED STRAPPING OVER GLASS



THIS ELEVATION SHOWS THE NEWLY PROPOSED CONDITION WITH NO STRAPPING OVER THE GLASS

H7.6

## ELEVATION IMAGES

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 7, 10/14/2022

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS

**3. 45 Market Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-538

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active

**Date Created:** Oct 5, 2022

#### Applicant

Shannon Alther  
pod1@tms-architects.com  
1 Cate Street  
Portsmouth, NH 03801  
603-436-4274

#### Primary Location

45 MARKET ST  
Portsmouth, NH 03801

#### Owner:

C5 45 MARKET STREET LLC  
45 MARKET ST PORTSMOUTH, NH 03801

#### Application Type

Please select application type from the drop down menu below

Administrative Approval

#### Alternative Project Address

--

#### Project Information

##### Brief Description of Proposed Work

Request for removal of Market Street recess deck and added skylights on opposite of Market Street (due to recess deck removal.) Removal of rear (alley side) stairs and request for associated minor changes.

##### Description of Proposed Work (Planning Staff)

--

#### Project Representatives

<b>Relationship to Project</b> Architect	
<b>If you selected "Other", please state relationship to project.</b> --	
<b>Full Name (First and Last)</b> Shannon Alther	<b>Business Name (if applicable)</b> TMS Architects
<b>Mailing Address (Street)</b> 1 Cate Street	<b>City/Town</b> Portsmouth
<b>State</b> NH	<b>Zip Code</b> 03801
<b>Phone</b> 603-436-4274	<b>Email Address</b> pod1@tms-architects.com

#### Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

# 45 Market Street

Portsmouth NH

## HDC Application Addendum



Market Street: **Previously Approved HDC**

Removal of Previously Approved Recessed Deck  
Due to Framing Complexity @ Existing Roof

Add 2 New Skylights on  
Opposite Roof in Lieu of  
Recessed Deck



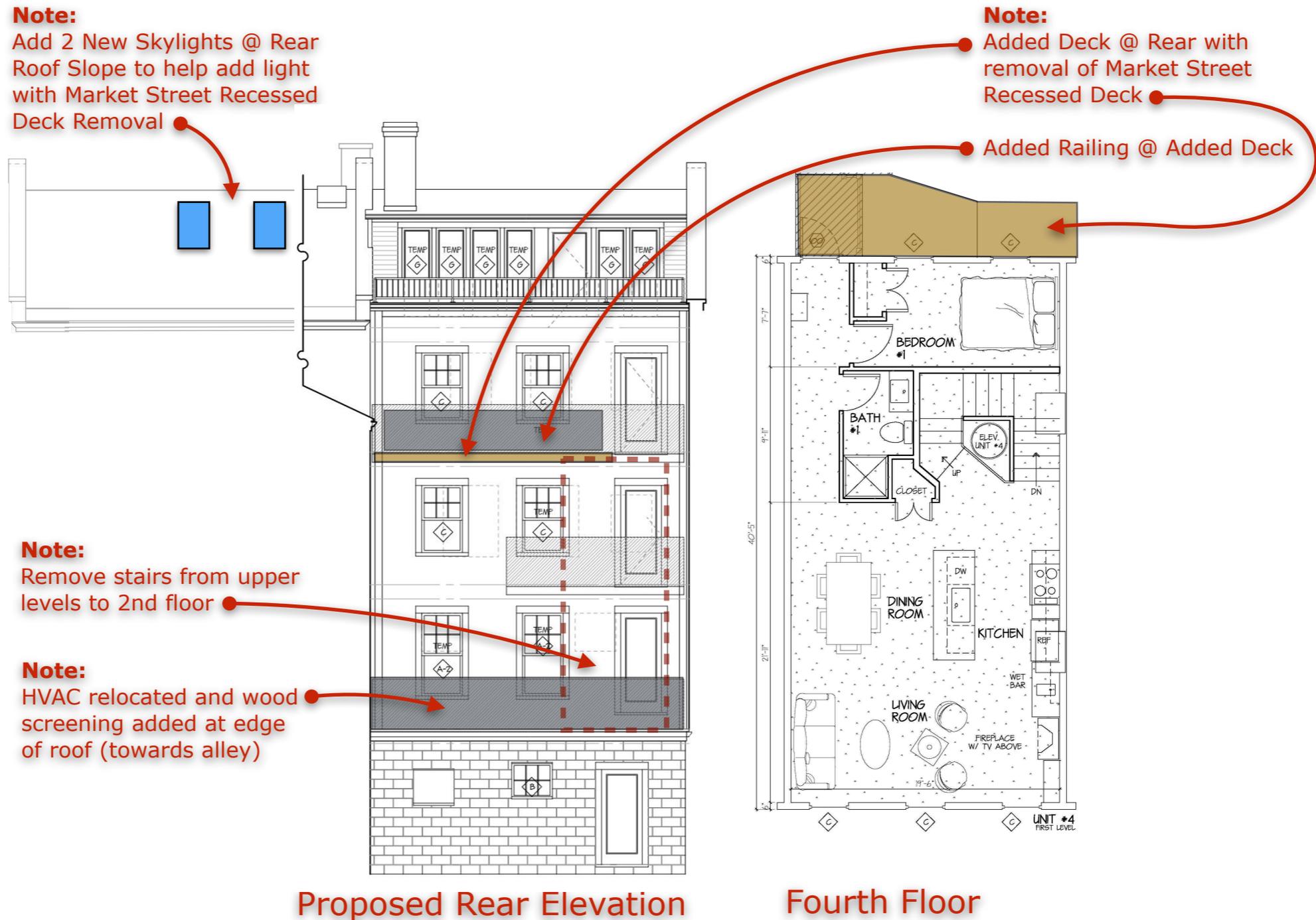
Market Street: **Proposed Minor Change**

- Removal of Recessed Deck Element @ Market Street

# 45 Market Street

Portsmouth NH

## HDC Application Addendum



### Rear Elevation: **Proposed Minor Changes**

- 2 Added Skylights
- Increased Deck with Market Recessed Deck Removal
- Removal of stairs / adjusted HVAC screening @ alley

**4. 500 Market Street, Unit 2 C - Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of existing wood gutters with new aluminum gutters.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/28/2022

**LUHD-539**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 10, 2022**Applicant**

Dean Mello  
dmello@onpointccg.com  
500 Market Street  
Building 2C  
Portsmouth, NH 03801  
6034985956

**Primary Location**

500 MARKET ST Unit 2C  
Unit 2C  
Portsmouth, NH 03801

**Owner:**

NOBLE PROPERTIES LLC  
500 MARKET ST 2C PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Replacement of the existing wood gutters with aluminum gutters. The existing gutters are significantly beyond their useful life and need to be replaced. The new gutters would be aluminum similar to other aluminum gutters that have been installed on the Noble Island Property. The water is leaking down onto the brick sidewalk and is deteriorating the grout. This is a safety issue and needs to be addressed. Although in the historic district, this is not a historic building. The replacement with Aluminum Gutters should be a non-issue as Noble Island already has buildings with metal gutters.

**Description of Proposed Work (Planning Staff)**

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**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Dean

**Business Name (if applicable)**

Noble Properties

**Mailing Address (Street)**

500 Market Street

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

603-498-5956

**Email Address**

dmello@onpointccg.com

**Relationship to Project**

Other

**If you selected "Other", please state relationship to project.**

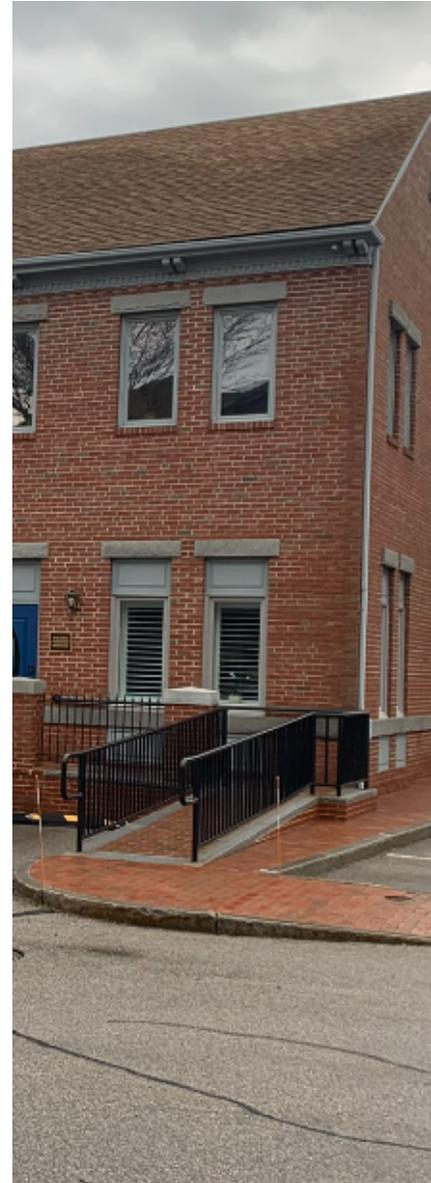
Property Manager



# Gutter Replacement

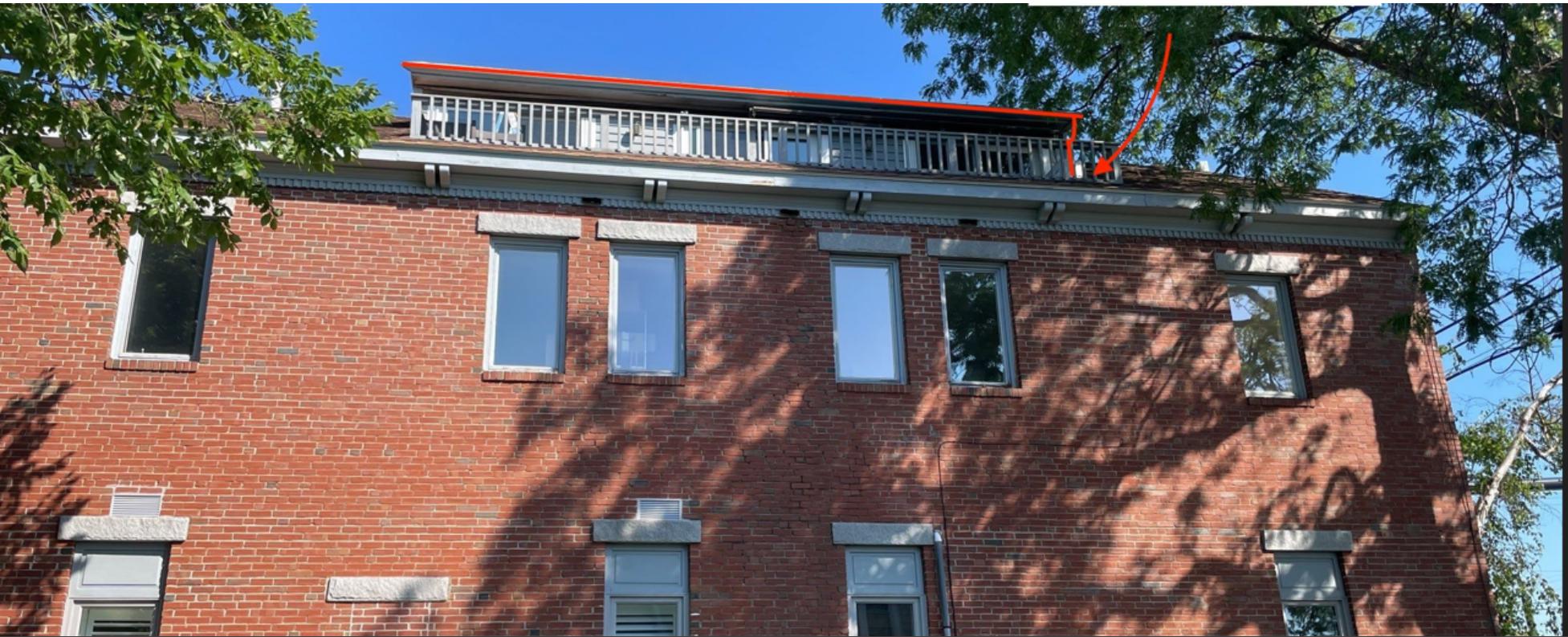
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Building 2 (A,B,C)  
500 Market Street  
Portsmouth NH





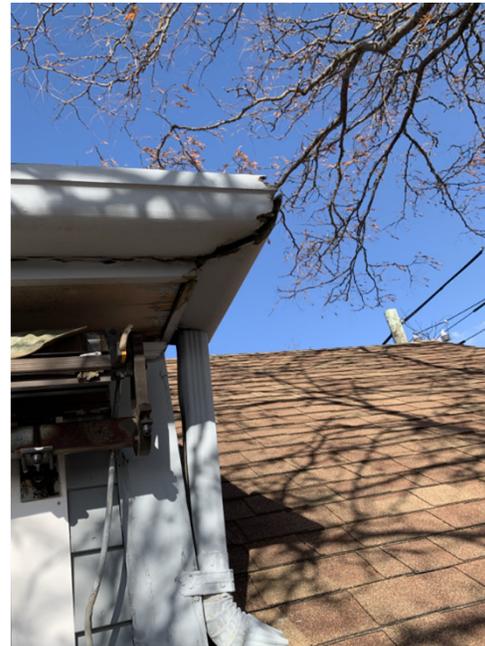
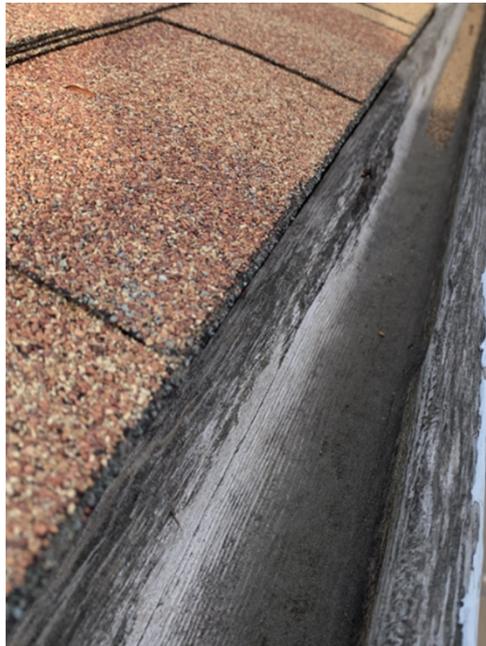
Gutter Locations – Front Elevation



Gutter Locations – Rear of Building

## Existing Conditions Photos (Gutters are rotted out and in need of replacement)

This is a safety issue as the grout is being washed away on the sidewalks due to the water leakage.



# Existing Aluminum Gutters Currently Installed on Noble Island



Photo of  
Existing Grout  
@ Front  
Sidewalk Due to  
Excess Water  
from Roof

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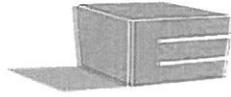
Please Reach  
Out With Any  
Additional  
Questions

Dean Mello

[dmello@onpointccg.com](mailto:dmello@onpointccg.com)

603-498-5956

Thank you



# ENGLERT™

## GUTTER SPECIFICATIONS

### SCOPE OF WORK

Furnish all labor, materials, and equipment required to complete installation of Raincarrying System and related work as indicated on drawings or specified herein.

### MATERIALS

- a. Gutters shall be made of 3105-H24 aluminum and shall be continuous and seamless (minimum tensile strength 26,000 psi, minimum yield strength 25,000 psi) or equivalent.
- b. Gutter gauges shall be .032" or .027" (select one as needed) gauge nominal, with 3" x 4" or 2" x 3" (select one) downspouts, (leaders) in .019" gauge.
- c. End caps to be .027" gauge.
- d. Inside and outside miters to be .027" gauge.
- e. Sealant/Caulking – (select as appropriate):
  1. Parabond Sealer –
  2. Silicone –
  3. Tripolymer Sealer –
- f. Downspout anchors to be aluminum.
- g. Gutter hangers to be .060" gauge.
- h. Prior to painting, the metal shall receive a pre-treatment to assure for maximum paint adhesion. The exterior finish shall be CastleClad, two-coat system applied in a continuous baked-on process in a single operation, comprising of an acid-base primer and a baked-on high performance linear polyester topcoat. The inside of the gutter shall be finished with a polyester gold backer or wash coat.
- i. All accessories used with the Raincarrying System shall have the same CastleClad finish as the gutters.

### INSTALLATION, WORKMANSHIP

- a. Before starting work, verify governing dimensions at building; examine, clean and repair, if necessary, any adjoining work on which this work is in any way dependent for its proper installation.
- b. The Raincarrying System shall be installed in accordance with Manufacturer's recommended procedures. Gutters shall be installed by using appropriate hangers to allow flexibility of movement.
- c. All gutter hangers shall be installed by using 1-1/2" screw and fastened into solid lumber.
- d. All gutters shall be in continuous length for each elevation (run). No end laps are allowed.

- e. Upon completion, the Contractor shall clean the debris.
- f. Dissimilar materials.
  1. Exercise care in placing aluminum in contact with other dissimilar metals or materials that are not compatible with aluminum.
  2. Provide adequate insulation, separation whatever necessary, such as by painting or otherwise protecting when they are in contact with aluminum or when drainage from them passed over aluminum.

### CERTIFICATION OF COMPLIANCE

The Raincarrying Systems shall meet the following specifications and/or code approvals:

- a. American Architectural Manufacturers Association (AAMA) Specification 1405.1 "Specification for Aluminum Raincarrying Systems".
- b. FHA Minimum Property Standard 4900.1 for One and Two-Family Dwellings.
- c. FHA Minimum Property Standard 4910.1 or Multi-Family Dwellings.

### WARRANTY

The Raincarrying System shall be covered by a Limited 20-Year, pro-rated and non-transferable Warranty covering labor and materials by the Manufacturer.

# LEAFBLASTER PRO™ PROTECTS YOU AND YOUR HOME



LEAVES & DEBRIS



EXTERIOR WATER DAMAGE



RODENTS & PESTS



FIRES



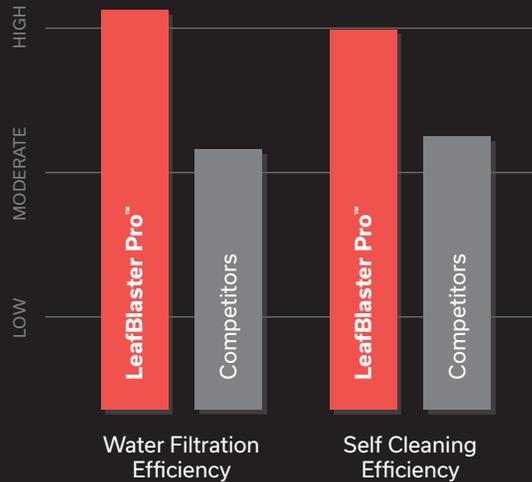
HOMEOWNER SAFETY



PERSONAL TIME



## Z-BEND TECHNOLOGY STAINLESS STEEL MESH



### Z-Bend vs Flat Mesh



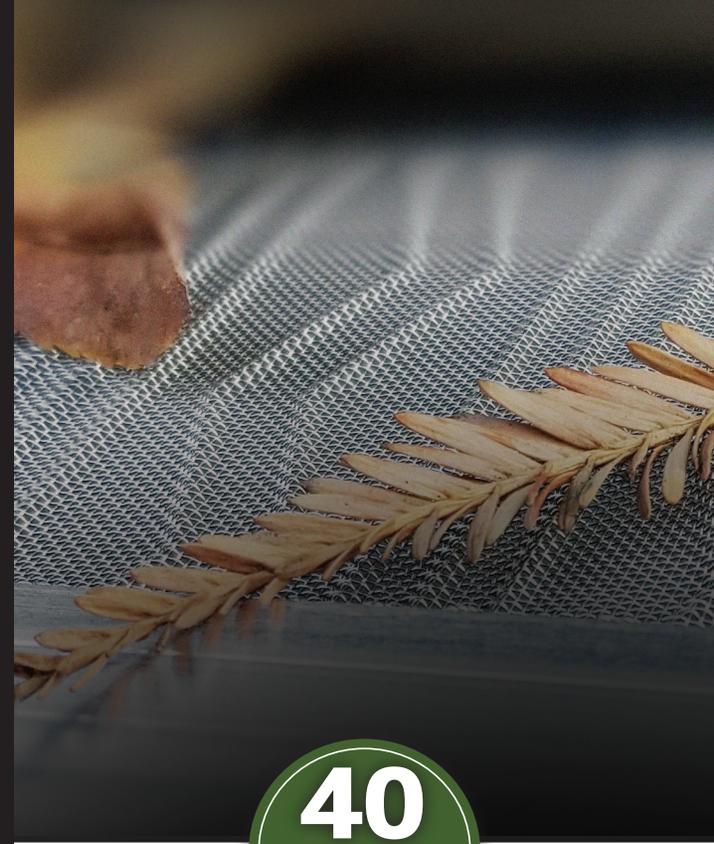
#### Gutterglove®

In accordance with NSF/ANSI 372  
Also certified to NSF Protocol P151  
Rainwater Catchment System  
Component MH61876

### ABOUT GUTTERGLOVE®

It all started back in 1996 when we were in the gutter cleaning business. After cleaning out millions of feet of gutter, we observed that no gutter guard was performing as promised. We realized that a reliable gutter protection solution was needed and incorporated in 2000. We explored new designs, the best materials, and doing what is best for customers to create what is now an extensive patent portfolio of the highest praised gutter guards available. We are proud to offer you gutter guards you can trust. The Nation's Most Trusted Gutter Guards.®

[LeafBlaster.com](http://LeafBlaster.com)



# THE NATION'S MOST TRUSTED GUTTER GUARDS.™

[LeafBlaster.com](http://LeafBlaster.com)



**PRO GRADE**

**STAINLESS STEEL MESH**

**GUTTER PROTECTION**



**Z-BEND TECHNOLOGY**



**Upward Z Corrugations**  
Elevates debris so wind more easily pushes it off.



**1**

**STAINLESS STEEL MESH**  
Blocks even the finest debris from entering your gutters and won't warp or crack like plastic and uPVC.

**2**

**Z-BEND TECHNOLOGY**  
Provides rigidity in the mesh to handle heavy debris while maximizing rainwater filtration.

**3**

**ALUMINUM EXTRUSION**  
Holds the mesh in place and fastens to the front lip of your gutters.

**FITS ANY GUTTER AND ROOF COMBO**



**GOOD FOR THE ENVIRONMENT**

Many gutter guard products use plastic or PVC, which are harmful to the environment. LeafBlaster Pro™ is made from aluminum and stainless steel, both of which are 100% recyclable.

**5. 124 State Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of an existing metal fence with a wooden fence.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/28/2022

**LUHD-542**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 21, 2022**Applicant**

Laura Ludes  
 ludesl@comcast.net  
 PO Box 822  
 New Castle, NH 03854  
 603-498-4685

**Primary Location**

124 STATE ST  
 Portsmouth, NH 03801

**Owner:**

LUDES GREG & LUDES LAURA  
 PO BOX 822 NEW CASTLE, NH 03854

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Replace existing metal fence w/cedar fence.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives**

<b>Relationship to Project</b>	
Owner	
<b>If you selected "Other", please state relationship to project.</b>	
--	
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Laura Ludes	--
<b>Mailing Address (Street)</b>	<b>City/Town</b>
PO Box 822	New Castle
<b>State</b>	<b>Zip Code</b>
NH	03854
<b>Phone</b>	<b>Email Address</b>
603-498-4685	ludesl@comcast.net

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

124 State Street – Court Street View

Replace existing metal w/vertical cedar fence – 5' w/granite posts for gate from driveway.



Cedar fence – similar to **City's fence** abutting neighbor's driveway (lower photo).



**6. 322 Islington Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/28/2022

**LUHD-543**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 24, 2022**Applicant**

STEPHEN BUCKLIN  
 socoboxes@yahoo.com  
 322 ISLINGTON ST  
 PORTSMOUTH, NH 03801  
 603-496-8274

**Primary Location**

322 ISLINGTON ST  
 Portsmouth, NH 03801

**Owner:**

BUCKLIN STEPHEN G  
 322 ISLINGTON ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

The carriage house renovation was approved for new Green Mountain Windows Milestone Series. I would like to replace 9 existing vinyl windows on the attached house as highlighted on the picture with the same Milestone Series. The existing windows are not original to the house and all are in view from our patio and carriage house. To be consistent with the architectural restoration look I would like to replace these with the same GM Window Series.

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title****Owner Addressee Prefix and Last Name**







**7. 232 Court Street, Unit 2**

**- Recommended Approval**

Background: The applicant is seeking approval for chimney repair.

Staff Comment: Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-544

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active

**Date Created:** Oct 24, 2022

#### Applicant

John Verre  
john.m.verre@gmail.com  
232 Court St.  
Portsmouth, NH 03801  
16177198674

#### Primary Location

232 COURT ST Unit 2  
Unit 2  
Portsmouth, NH 03801

#### Owner:

John M. Verre and Beth Norton  
232 Court St. Court Portsmouth, MA 03801

#### Application Type

Please select application type from the drop down menu below

Administrative Approval

#### Alternative Project Address

--

#### Project Information

##### Brief Description of Proposed Work

Chimney Repairs

##### Description of Proposed Work (Planning Staff)

--

#### Project Representatives

##### Relationship to Project

--

If you selected "Other", please state relationship to project.

--

##### Full Name (First and Last)

Paul Dyer

##### Business Name (if applicable)

Southern Maine Masonry

##### Mailing Address (Street)

117 Portland Street

##### City/Town

South Berwick

##### State

Maine

##### Zip Code

03908

##### Phone

603-767-6442

##### Email Address

--

#### Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

## Chimney Repair Work at 232 Court St., Portsmouth

### Southern Maine Masonry:

- Take down the approximately half the chimney and set original brick aside.
- Rebuild the chimney using original brick to pre-existing height (no new brick will be used).
- Re-point the remainder of chimney with type s waterproof mortar.

### A Merrie Sweepe Chimney Services

- Install a custom, meshed, stainless steel, black powder coated raincap over the entire chimney top.

### Original chimney condition:



Stock picture of the proposed raincap, to be black powder coated:



**8. 138 Maplewood Avenue - TBD**

**Background:** The applicant is seeking approval for changes to a previously approved design. **Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/28/2022

**LUHD-541**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 18, 2022**Applicant**

Anne Whitney  
 archwhit@aol.com  
 801 Islington St, Suite 32  
 Portsmouth, NH 03801  
 603-502-4387

**Primary Location**

138 MAPLEWOOD AVE  
 Portsmouth, NH 03801

**Owner:**

PANTELAKOS DONNA P REV TRUST & PANTELAKOS G T & D P  
 TRUSTEES  
 138 MAPLEWOOD AVE PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Changes to approved HDC (LU-20-71) &amp; Building Permit (BLDG-22-567).

1. Relocate Door at Right Side
2. Change siding to Hardi-Plank Lap Siding Smooth, color to match existing residence.
3. Heatpump & HVAC Condensor location at Right Side
4. 24" Shed Roof over relocated Door, Match Exist, at Units 1 & 2, doors to Deck.
5. Hip Roofed 24" Overhang with Brackets at Front Door

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

Architect

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

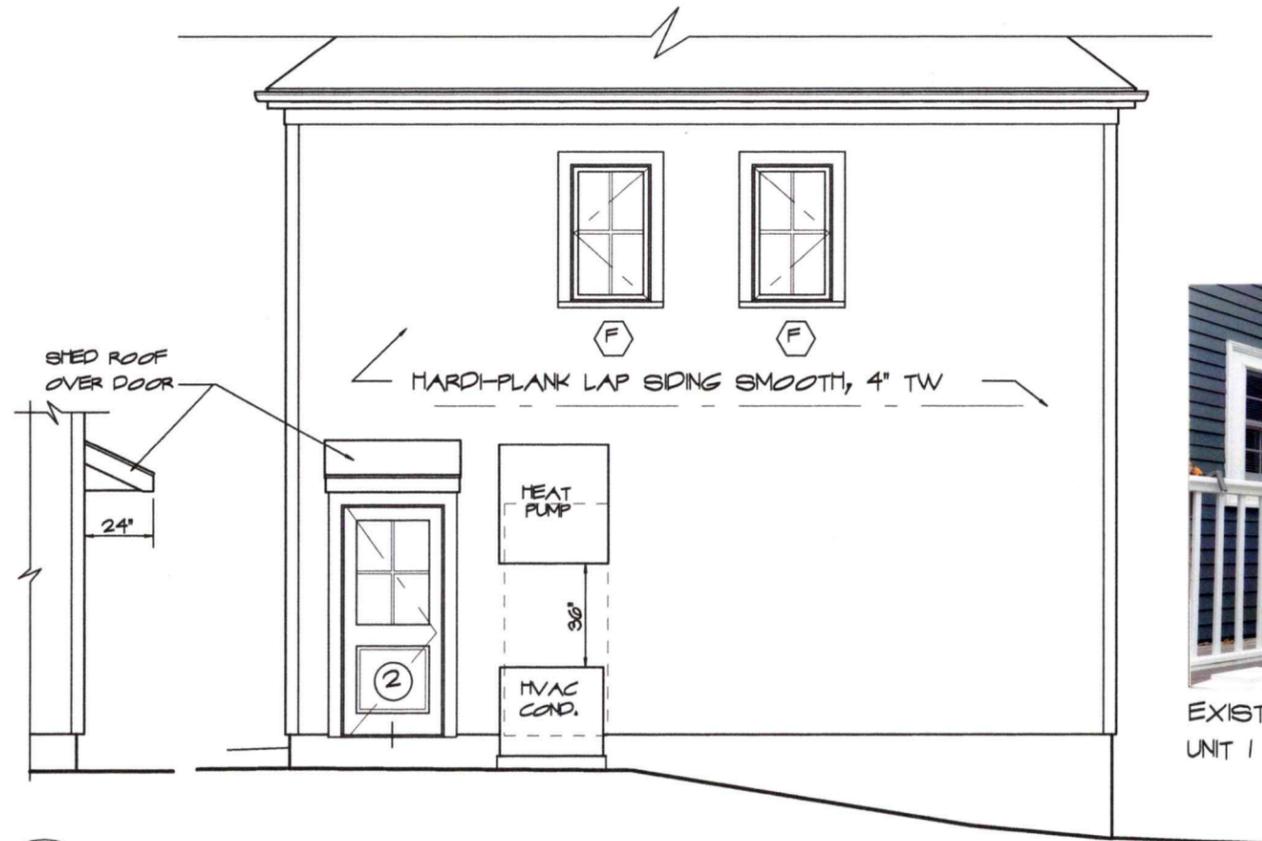
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**Planning Staff Comments**

--

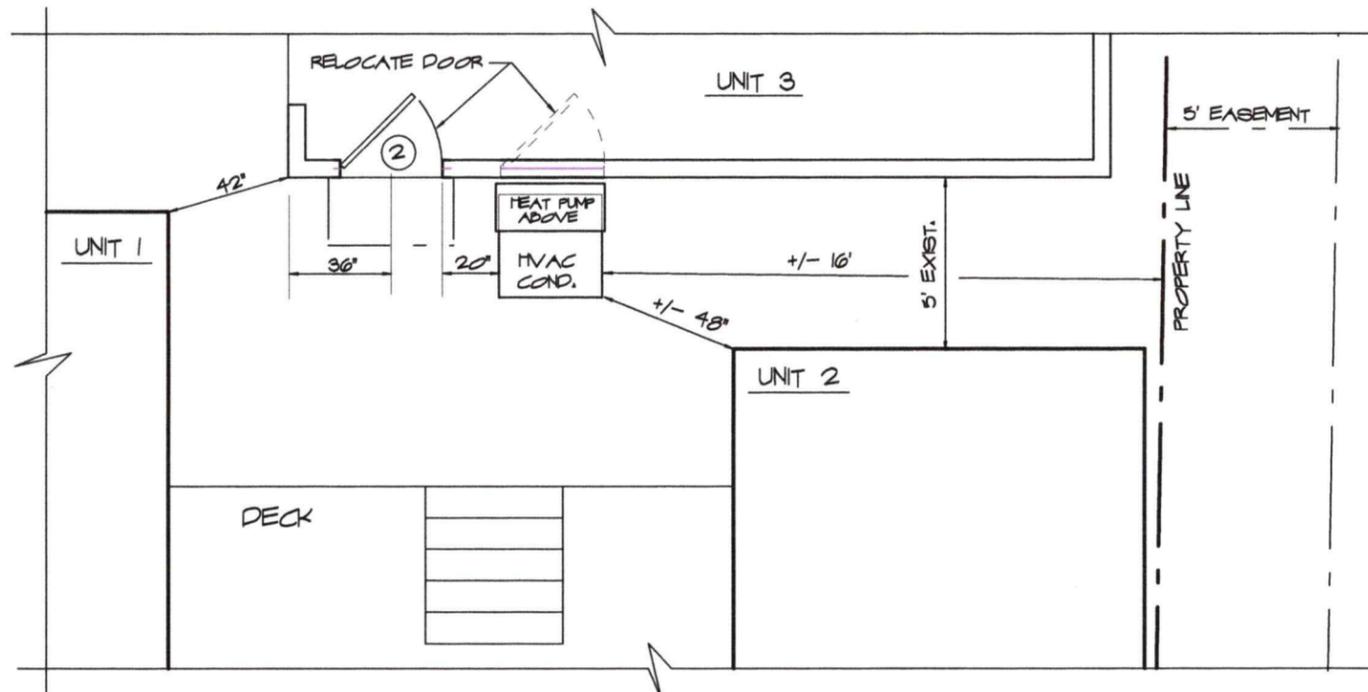
MDC ADMIN. APPROVAL CHANGES

1. RELOCATE DOOR AT RIGHT/EAST SIDE
2. CHANGE SIDING TO HARD-PLANK LAP SIDING SMOOTH, COLOR TO MATCH EXIST. RESIDENCE.
3. HEAT PUMP & HVAC CONDENSOR LOCATION AT RIGHT/EAST SIDE.
4. 24" SHED ROOF OVER RELOCATED DOOR, MATCH EXIST AT UNITS 1 & 2, DOORS TO DECK.
3. M I P ROOFED 24" OVERHANG WITH BRACKETS AT FRONT DOOR



EXIST SHED ROOF OVER UNIT 1 & 2, DECK DOORS

EAST ELEVATION & PLAN  
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION

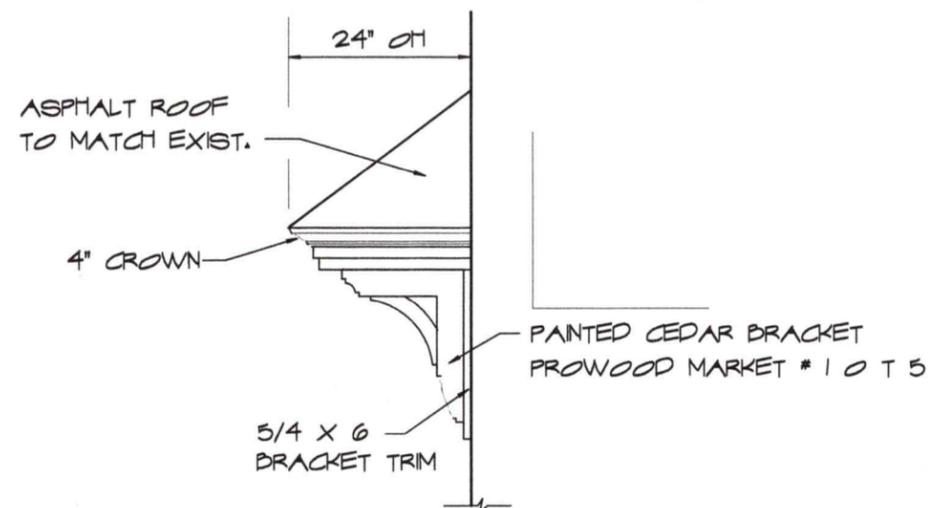


VIEW OF ALLEY BETWEEN BUILDINGS

<p>MDC REVISIONS</p>	<p>801 Irlington St, Suite 32 Portsmouth NH 03801 603-562-4387 archwhit@aol.com</p>	Project: 2002	Date: 10/18/22
		Revisions:	1 OF 2
<p>ANNE WHITNEY ARCHITECT</p> <p>ADDITIONS &amp; RENOVATIONS, PANTELAKOS RESIDENCE</p> <p>138 MAPLEWOOD AVE PORTSMOUTH, NH</p>			



○ MIP ROOF OVER ENTRY DOOR  
SCALE : 1/4" = 1'-0"



○ MIP ROOF WITH BRACKET DETAIL  
SCALE : 1/2" = 1'-0"



HARD-PLANK LAP SIDING AT EXIST. BUILDING

MDC REVISIONS ADDITIONS & RENOVATIONS, PANTELAKOS RESIDENCE 138 MAPLEWOOD AVE PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2002 Revisions:	Date: 10/18/22
	<b>ANNE WHITNEY ARCHITECT</b>		2 OF 2

# Submittal Documents

## MXZ-3C30NAHZ3 2.5-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name: **138 Maplewood St, Portsmouth, NH**  
System Reference: **Condenser**

Date: **9.29.22**



### FEATURES

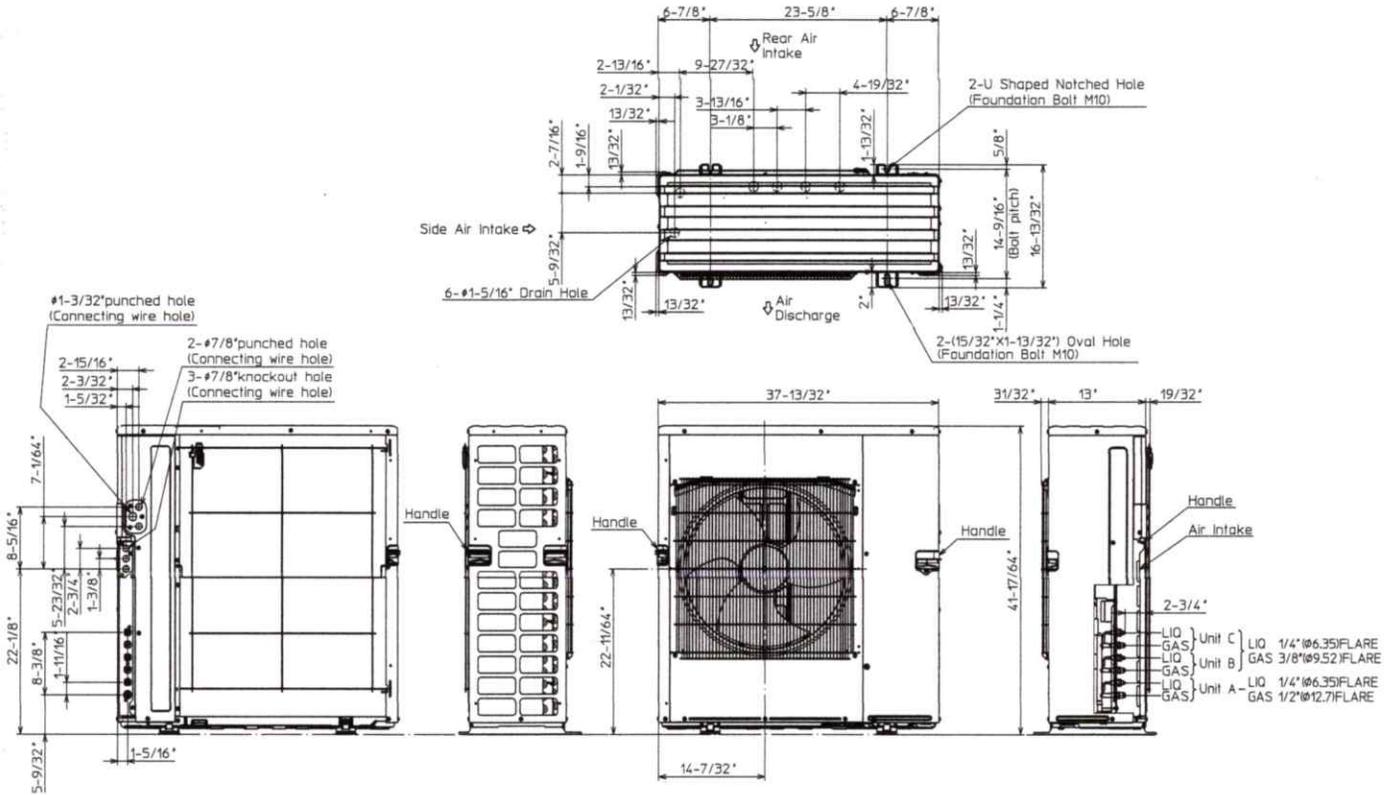
- Variable speed INVERTER-driven compressor
- Built-in base pan heater
- Quiet outdoor unit operation as low as 54 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 88% heating capacity at -13°F
- ENERGY STAR® certified (non-ducted)

ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.

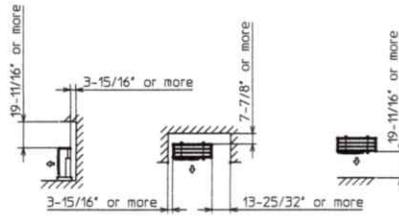
Specifications are subject to change without notice.

# OUTDOOR UNIT DIMENSIONS: MXZ-3C30NAHZ3

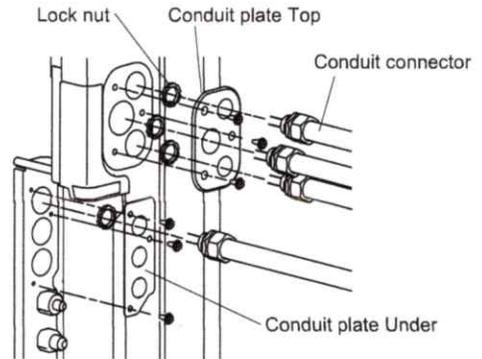
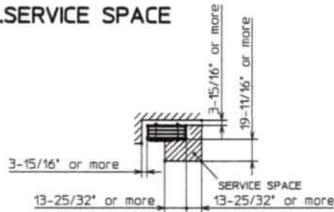
Unit: inch (mm)



## 1.FREE SPACE



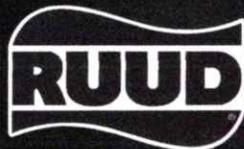
## 2.SERVICE SPACE



1340 Satellite Boulevard Suwanee, GA 30024  
Toll Free: 800-433-4822 www.mehvac.com



FORM# MXZ-3C30NAHZ3 - 202206



## Ruud Achiever® Series Air Conditioners



### RA13 Series

Efficiencies 13-15.5 SEER/11.5-13 EER  
Nominal Sizes 1½ to 5 Ton [5.28 to 17.6 kW]  
Cooling Capacities 17.3 to 60.5 kBTU  
[5.7 to 17.7 kW]

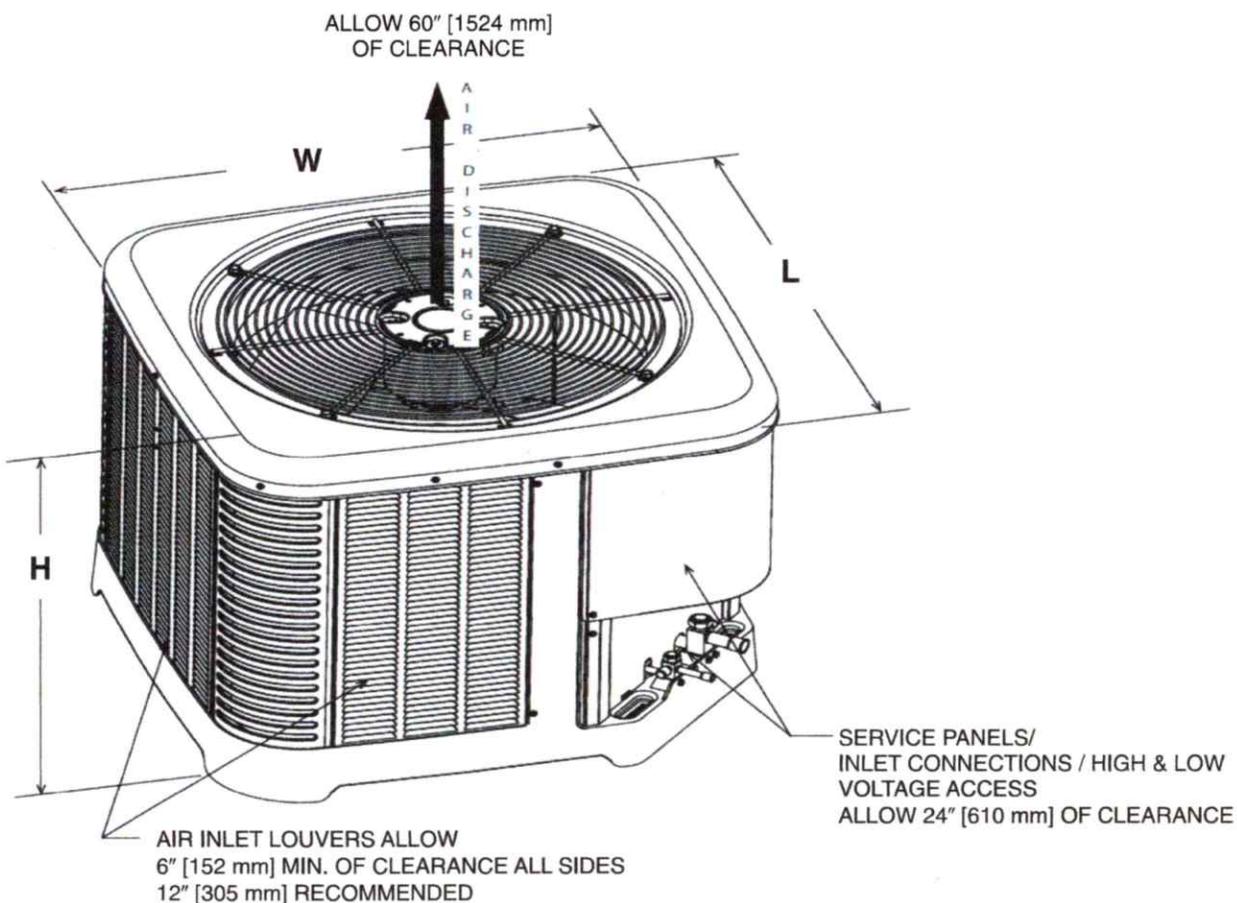


*"Proper sizing and installation of equipment is critical to achieve optimal performance. Split system air conditioners and heat pumps must be matched with appropriate coil components to meet Energy Star. Ask your Contractor for details or visit [www.energystar.gov](http://www.energystar.gov)."*

- Composite base pan – dampens sound, captures louver panels, eliminates corrosion and reduces number of fasteners needed
- Powder coat paint system – for a long lasting professional finish
- Scroll compressor – uses 70% fewer moving parts for higher efficiency and increased reliability
- Modern cabinet aesthetics – increased curb appeal with visually appealing design
- Curved louver panels – provide ultimate coil protection, enhance cabinet strength, and increased cabinet rigidity
- Optimized fan orifice – optimizes airflow and reduces unit sound
- Rust resistant screws – confirmed through 1500-hour salt spray testing
- PlusOne™ **Expanded Valve Space** – 3"-4"-5" service valve space – provides a minimum working area of 27-square inches for easier access
- PlusOne™ **Triple Service Access** – 15" wide, industry leading corner service access – makes repairs easier and faster. The two fastener removable corner allows optimal access to internal unit components. Individual louver panels come out once fastener is removed, for faster coil cleaning and easier cabinet reassembly
- Diagnostic service window with two-fastener opening – provides access to the high and low pressure.
- External gauge port access – allows easy connection of "low-loss" gauge ports
- Single-row condenser coil – makes unit lighter and allows thorough coil cleaning to maintain "out of the box" performance
- 35% fewer cabinet fasteners and fastener-free base – allow for faster access to internal components and hassle-free panel removal
- Service trays – hold fasteners or caps during service calls
- QR code – provides technical information on demand for faster service calls
- Fan motor harness with extra long wires allows unit top to be removed without disconnecting fan wire.

## Unit Dimensions

MODEL NO.	OPERATING						SHIPPING					
	H (Height)		L (Length)		W (Width)		H (Height)		L (Length)		W (Width)	
	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm
RA1318	27	685	29.75	755	29.75	755	28.75	730	32.38	822	32.38	822
RA1324	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
RA1330	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
RA1336	27	685	29.75	755	29.75	755	28.75	730	32.38	822	32.38	822
RA1342	31	787	29.75	755	29.75	755	32.75	831	32.38	822	32.38	822
RA1348	27	685	33.75	857	33.75	857	28.75	730	36.38	924	36.38	924
RA1360	31	787	35.75	908	35.75	908	32.75	831	38.38	974	38.38	974



[ ] Designates Metric Conversions

ST-A1226-02-00

**9. 348 Maplewood Avenue - TBD**

**Background:** The applicant is seeking approval for rooftop repair and renovation. **Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/28/2022

### LUHD-545

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active

**Date Created:** Oct 26, 2022

#### Applicant

Brian Gibb  
bkgibb@gmail.com  
348 Maplewood Ave  
Apt 2  
Portsmouth, NH 03801  
603-303-9255

#### Primary Location

348 MAPLEWOOD AVE  
Portsmouth, NH 03801

#### Owner:

OLD FRANKLIN SCHOOL CONDO MASTERCARD  
348 Maplewood Ave Portsmouth, NH 03801

#### Application Type

Please select application type from the drop down menu below

Administrative Approval

#### Alternative Project Address

--

#### Project Information

##### Brief Description of Proposed Work

Old Franklin School Annex Rooftop Repair & Renovation

##### Description of Proposed Work (Planning Staff)

--

#### Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Owner Unit 2, HOA President

#### INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted



HDC Approval Date

--

#### Planning Staff Comments

--

#### INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name

Owner Contact Street Address

**348 Maplewood Avenue**  
**Old Franklin School Annex Rooftop Repair & Renovation**  
**Submitted by: Brian Gibb, Unit 2, HOA President**



Figure 1. Old Franklin School as seen from Maplewood Ave and showing brick building constructed 1847 and adjoining annex added ~1986 as part of condo conversion.

## Location/Site Context

348 Maplewood Avenue is located near the intersection of Maplewood & Dennett Street. It is the site of the Old Franklin brick school building situated on the SW side of Maplewood. The building was converted to condos ~1986 with major renovation to the brick building and the addition of an attached 3-story wooden annex structure on the SE side of the main building. The building has 5 units which are all presently owner occupied. Brian Gibb is the owner of Unit 2, the president of the HOA and the coordinator for the proposed project.

## Existing Structures

### Annex Rooftop

The annex structure rooftop (Figures 2-6) has an EPDM covering upon which a wooden deck structure was overlaid and that presently covers only a portion of the rooftop. On the NE side facing Maplewood, there is a uniform 6 feet of exposed EPDM from the railing to building edge. On the SE side facing Dennett, the gap is not uniform and ranges from 6.7 feet at the NE end to 4 feet at the SW end adjoining the fire escape. The decking area is contained by the 36.5 high, 2x4 railing covered with lattice. These rails are not anchored (Figure 7) and only “propped” into place with 2x4s. All of the wood on the rooftop is very aged and deteriorating (Figure 9) and the uncovered EPDM has been patched multiple times to address leaks (ostensibly due weathering impact from direct exposure). **It is important to note that the rooftop surface decking/EPDM is at a height where it is not visible to neighbors at top floors or from street level. Only the railings are visible.**

### Approx Dimensions (Figure 19)

- Annex rooftop
  - Long segment facing Dennett is 34'
  - Segment facing Maplewood is 19'
  - Segment facing SW is 17'
- Railings
  - Segment facing Dennett setback ranging from 7' to 4' (NE corner to SW corner)
  - Setback 6' from segment facing Maplewood
  - Positioned at rooftop edge (no gap) on SW facing side
  - Height of 36.5"

### Fire Escape

On the SW side, facing School street, is the 3-story fire escape (Figure 10) built in the same period and which is connected to the rooftop decking with stairs on the edge at the SE side. That structure, like the rooftop, had become very weather worn and brittle over the past three decades. In 2020, the fire escape was repaired with new wood where required, rails replaced from only a 2x4 railing to railing (Figure 11) with height meeting code and handrail and spindles for more support. The entire structure was also stained Cabot Cordovan Brown which nicely complements the red color of the annex and the brick. That structure is complete and has been visibly pleasing to our neighbors and provides a much more secure feeling when traversed.

Other priorities unfortunately prevented us from performing the same renovation work on the rooftop deck which is in equally or even worse condition at this point.

## Abutters

The primary (closest/adjacent) abutters (Figure 12) with most direct visibility are 1) Nicole Abshier @ 31 Dennett and 2) Kathryn Jordan @ 334 Maplewood. The first home is two-story and the second has a reduced third floor structure. We have coordinated with them on the project.

## Current Situation

It has become dangerous to walk on the rooftop decking or rely on the support of the railings. Moreover, recent heavy rainstorms caused some roof leaks which made it necessary to remove much of the wood decking (Figure 13) immediately to locate the source and repair. Although it was our desire to begin this work in Spring 2023, this emergency work now necessitates urgent decking replacement. Since we must replace the decking, we naturally explored best materials, design, practices, etc.

Contractor Donovan Pack of LHC Portsmouth, a local carpenter with roofing experience, performed the fire escape repair and has examined the rooftop situation with the following near-term recommendations:

- Replace the existing wood decking with more durable, flexible, composite material allowing for a modular build with ability to access any section of roof more easily to address problems
- Extend the deck to cover all of the roof to protect from weather which is aging that portion must faster
- Bring the railings up to proper height for safety and with more rigorous design

He also believes that extending the usable space by pushing out railings a moderate amount would make the rooftop more workable and provide additional storage space for firewood, etc that we don't have today with the limited decking footprint. The expansion would also be much more aesthetically appealing and likely increase owner's valuations.

We have built a small prototype section (Figure 17) to 1) temporarily protect the area with the leak and 2) to convey the look of the proposed decking.

## Project Proposal Summary

We seek approval to repair the rooftop decking and railings with materials that are consistent with those used to repair the existing fire escape structure. We will duplicate the railing style and coloring exactly. This will have the benefit of making the entire structure (rooftop and fire escape) consistent and uniform in appearance as observed from Maplewood Ave and Dennett St. and benefit from the fire escape design that has been vetted for appearance, utility, and safety.

We also seek approval to utilize (Trex brand, Figure 14-15) composite materials to replace the wood decking and also to extend it to the rooftop edges, 4-6 foot on the NE and SE facing sides. The decking already meets the roof edge and adjoins the fire escape on the SW side and is attached to the brick structure facing NW.

### Specific Work

- Apply a new EPDM surface to the existing roof material and seal as appropriate.
  - Replace the entire wood deck with Trex brand composite decking (composite, color-matched per figure below) and consistent with the short segment adjoining fire escape (Figure 16).
  - Extend the decking fully to the rooftop edges where it presently is not on the Maplewood and Dennett sides.
  - Reposition the new railing closer (no closer than \*36") away from the rooftop edges on these two sides to form a larger rectangle-shaped section (aligned with the brick structure as it is today and with ranging proximity to the edge on the Dennett side).
  - Replace the handrails with more robust design consistent with the fire escape and to code height (42" or greater), exactly as in fire escape. (Figure 16)
  - Stain the entire rooftop railing materials to color consistent with fire escape.
- \*The exact distance is still being discussed with abutters.

### Timing

A section of the decking has been removed to allow access to the roof to repair the leak. This must be repaired immediately including the handrail alongside the fire escape stairs for safety purposes. The remaining decking will ideally be repaired as much as possible prior to Winter and leaving the railing rework to be completed in early Spring if necessary.

## Support Images



Figure 2. Drone image show buildings relative to abutting homes.



Figure 3. Drone image showing existing rooftop deck configuration including exit doors from Units 4 & 5 and height relative to adjacent homes.

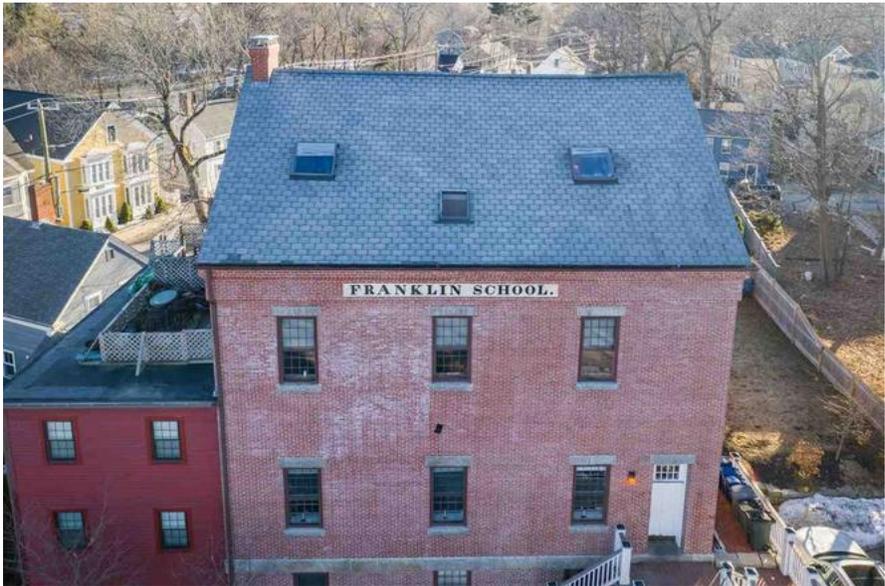


Figure 4. Drone image showing rooftop deck from Maplewood perspective and also height relative to abutters.



Figure 5. Rooftop perspective as seen from Maplewood street level.



Figure 6. Rooftop as seen from Dennett and adjoining fire escape on left side.



Figure 7. Rooftop as seen facing Maplewood and showing existing railing with lattice and propped vs. secured. Also showing exposed EPDM to edge.



Figure 8. Exposed roof area facing Maplewood.