

# HDC

## ADMINISTRATIVE APPROVALS

November 09, 2022

1. 338 Middle Street (LUHD-546) -Recommended Approval
2. 50 New Castle Avenue (LUHD-547) -Recommended Approval
3. 179 Pleasant Street (LUHD-548) -Recommended Approval
4. 111 State Street (LU-22-125) -TBD Pending Review
5. 1 Congress Street (LU-22-12) -TBD Pending Review

**1. 338 Middle Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of a damaged garage door with a different style.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



11/04/2022

**LUHD-546**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 31, 2022**Applicant**

Bill Mautz  
billwmautz@yahoo.com  
338 Middle Street  
Portsmouth, NH 03801  
6039572256

**Primary Location**

338 MIDDLE ST  
Portsmouth, NH 03801

**Owner:**

MAUTZ C SUE 2008 TRUST & MAUTZ C SUE TRUSTEE  
338 MIDDLE ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Replace damaged door for single car garage.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Other

**If you selected "Other", please state relationship to project.**

Husband

**Full Name (First and Last)**

William Mautz

**Business Name (if applicable)**

--

**Mailing Address (Street)**

338 Middle Street

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

6039572256

**Email Address**

billwmautz@yahoo.com

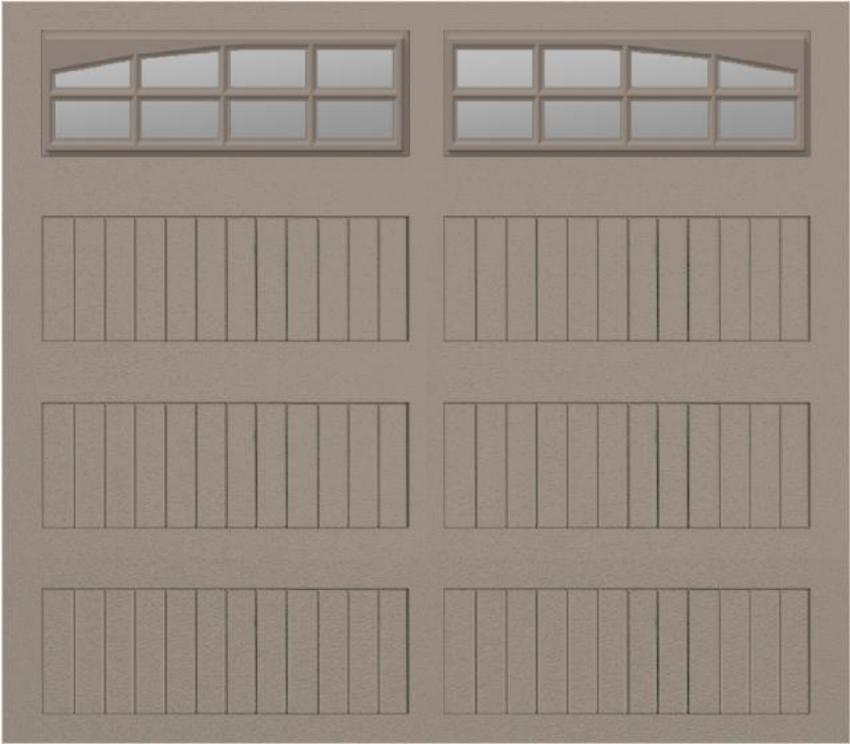
**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

Existing Garage Door:



Proposed New Garage Door:



**2. 50 New Castle Avenue**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



11/04/2022

**LUHD-547**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 31, 2022**Applicant**

Amy Dutton  
amy@amyduttonhome.com  
9 Walker Street  
Kittery, Maine 03904  
207-337-2020

**Primary Location**

50 NEW CASTLE AVE  
Portsmouth, NH 03801

**Owner:**

LIETO TIMOTHY M & LIETO ALEXANDRA  
50 NEW CASTLE AVE PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

We are seeking Administrative Approval for items that either did not change from existing conditions and the drawings portrayed those areas incorrectly or did change from what was represented on the drawings.

**Front Elevation:**

- "Corner board omitted between covered side porch and main house". The existing house did not have that corner board, but the drawing did.
- "Side porch columns are heavier". The side porch columns are existing, and not part of the renovation. We did not alter in any way.
- "Brick foundation veneer beneath side porch replaced with lattice". The lattice was existing, and not part of the renovation. We did not alter in any way.

**Back Elevation:**

- "Brick foundation veneer replaced with stone veneer". This is a change from the drawing.
- "Brackets omitted from overhang". - This is a change from the drawing

**Right Side Elevation:**

- "Privacy screens omitted". - Traditional baluster height and spacing used instead of privacy balusters as shown in drawing.
- "Clapboarding under rear porch extends further down to beneath window sills". This is a change from the drawing. Needed to align grades as path side foundation elevation wrapped around to patio side.

**Left Side Elevation:**

- "Foundation is exposed on rear addition". No brick veneer has been installed. Request to eliminate should budget not allow for the brick veneer.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives**

<b>Relationship to Project</b>	
Other	
<b>If you selected "Other", please state relationship to project.</b>	
Designer	
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Amy Dutton	Amy Dutton Home
<b>Mailing Address (Street)</b>	<b>City/Town</b>
9 Walker Street	Kittery
<b>State</b>	<b>Zip Code</b>



**FRONT RIGHT  
OVERVIEW**



**BACK LEFT  
OVERVIEW**

BUILDING CONTRACTOR/HOME OWNER  
TO REVIEW AND VERIFY ALL DIMENSIONS,  
SPECS, AND CONNECTIONS BEFORE  
CONSTRUCTION BEGINS.

ELECTRICAL SYSTEM CODE: SEC.2701  
MECHANICAL SYSTEM CODE: SEC.2801  
PLUMBING SYSTEM CODE: SEC.2901

**FINAL CD SET DATE: 02.01.21**

Revision Table			
Number	Date	Revised By	Description
1			



COVER PAGE

Layout Page Table Label	Title
1	COVER PAGE
2	SITE PLAN
3	DEMO
4	FOUNDATION
5	FIRST FLOOR
6	SECOND FLOOR
7	WINDOW & DOOR SCHEDULE
8	ELEVATIONS
9	ELEVATIONS
10	SECTION
12	SECTIONS
13	Roof Plan
11	FRAMING
14	FRAMING OVERVIEW
15	DETAILS
16	ELECTRICAL PLUMBING + ELECTRICAL SCH
17	PLUMBING
18	CABINETRY
20	CABINETRY
21	CABINETRY
	LAUNDRY ROOM



**EXISTING HOME**  
SCALE: NOT TO SCALE



**CURRENT HOME**  
SCALE: NOT TO SCALE



SCALE: NOT TO SCALE

LIVING AREA	
MAIN FLOOR	1987sqft
TOTAL	1987sqft
GARAGE	690
FRONT PORCH	128
DECK	271



**SPECIFICATIONS + NOTES**

- \*ROOFING MATERIAL: Timberline HD Shingles in Charcoal
- \*ALL TRIM PACKAGE: TO MATCH EXISTING
- \*SIDING: Should budget allow the ideal scenario would be to remove the aluminum siding, repair existing wood clapboards and install new cedar clapboards on the addition. Paint the entire house BM, Simply White. OPTION 2: HardiePlank Lap Siding w/ 4" exposure on addition ONLY
- \*BRACKETS: ProWood Market - Bracket 14T3 - P 28", H:28", T: 5.5" (Ftd: WHITE)
- \*STAIR SYSTEM:
  - \_EXTERIOR:
    - \*RISER: WOOD - PTD WHITE
    - \*TREAD: WOOD - MAHOGANY
    - \*HANDRAIL: WOOD MAHOGANY RAIL
    - \*BALUSTERS: WOOD SQ WHITE 1"X1"
    - \*DECK: MAHOGANY
    - \*PRIVACY: WOOD TO MATCH SKETCH, UNDER DECK AS WELL (SLIDING PANELS)

- \*WINDOWS: All new windows throughout house if budget allows. Removing 1/1 replacement double hung windows and large picture window installed in the 1970's to a historically appropriate 2/1 double hung window with black exterior
  - \_MANUFACTURER: MARVIN - ELEVATE - 2/1 D.H.
  - \_EXT. FINISH: BLACK
  - \_INT. FINISH: WHITE

\*EXTERIOR PATIO: STONEWOOD EVER BLUE THERMAL BLUE

- NOTES:
- \*CORNER BOARDS: TO MATCH EXISTING
  - \*WATER TABLE: TO MATCH EXISTING
  - \*RAKE BOARD: TO MATCH EXISTING
  - \*SOFFIT: TO MATCH EXISTING
  - \*WINDOW TRIM: TO MATCH EXISTING

**GENERAL NOTES:**

1. DO NOT SCALE DRAWINGS
2. ALL TRASH GENERATED BY THE CONTRACTOR WILL BE PLACED IN A TRASH CONTAINER PROVIDED BY THE CONTRACTOR ON SITE AT THE END OF EACH DAY.
3. VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIAL. NOTIFY DESIGNER OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.
4. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE PERFORMED BY SUB-CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR AND INTERIOR DESIGNER WITH RESPECT TO LIGHTING AND CEILING DETAILS.
5. COORDINATE ALL ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR, AND WALL SPACES. VERIFY LOCATIONS WITH DESIGNER.
6. IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO COMPLETE THE WORK WITHIN THE RECOGNIZED STANDARDS OF THE CONSTRUCTION INDUSTRY.

CLIENT:  
**Tim & Alex Lieto**  
50 New Castle Ave  
Portsmouth, NH

CONTACT:  
AMY DUTTON HOME  
4 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0646

DATE:

10/31/2022

SCALE:

SCALED FOR:  
24" X 36"

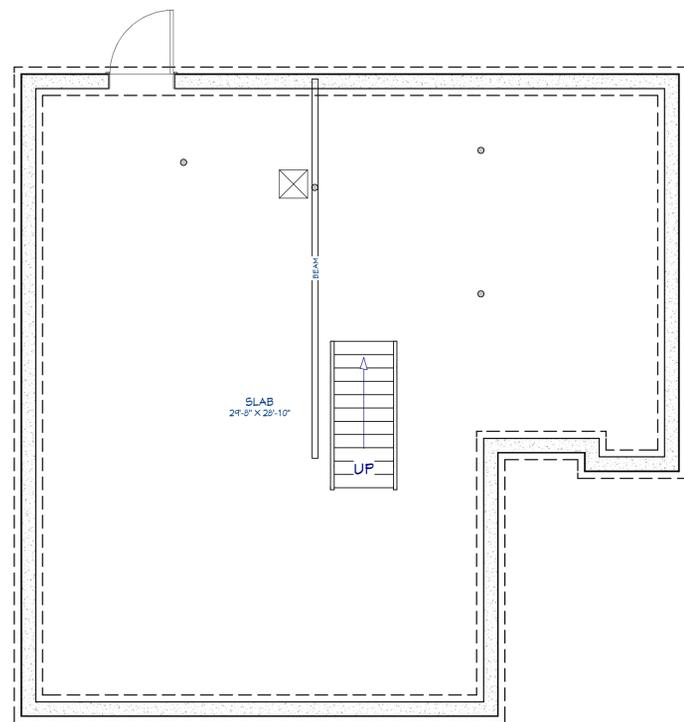
DRAWING SCALE

SHEET:

A1

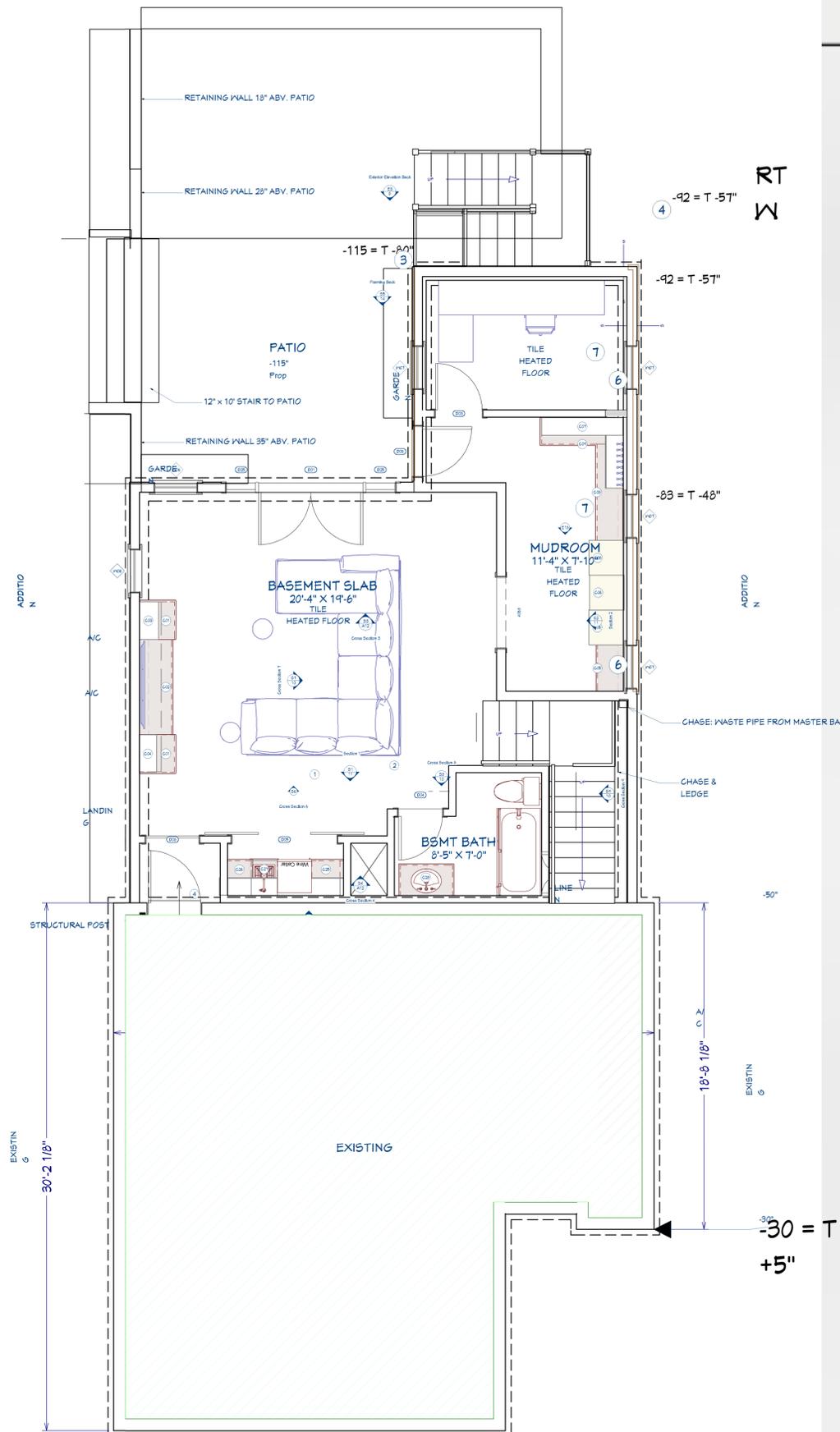
FLOOR 0 NOTE SCHEDULE	
①	TILE FLOOR WITH RADIANT OR ELECTRIC HEAT
②	WHITE HERRINGBONE TILE
③	DOOR ACCESS STO STORAGE
④	EXTEND SLAB FOR AC UNITS AND UNDER STAIRS W/ FOOTINGS.
⑥	RUN 2X4 WALL ON FLAT OVER FOUNDATION WALL
⑦	RUN BASEBOARD W/ GAP FOR EXPANSION OVER HEATED TILE FLOOR

NOTE:  
 1. ALL DIMENSIONS ARE FROM FRAMING TO FRAMING  
 2. ALL BOTTOM OF HEADERS TO BE HUNG @ \_\_\_\_"



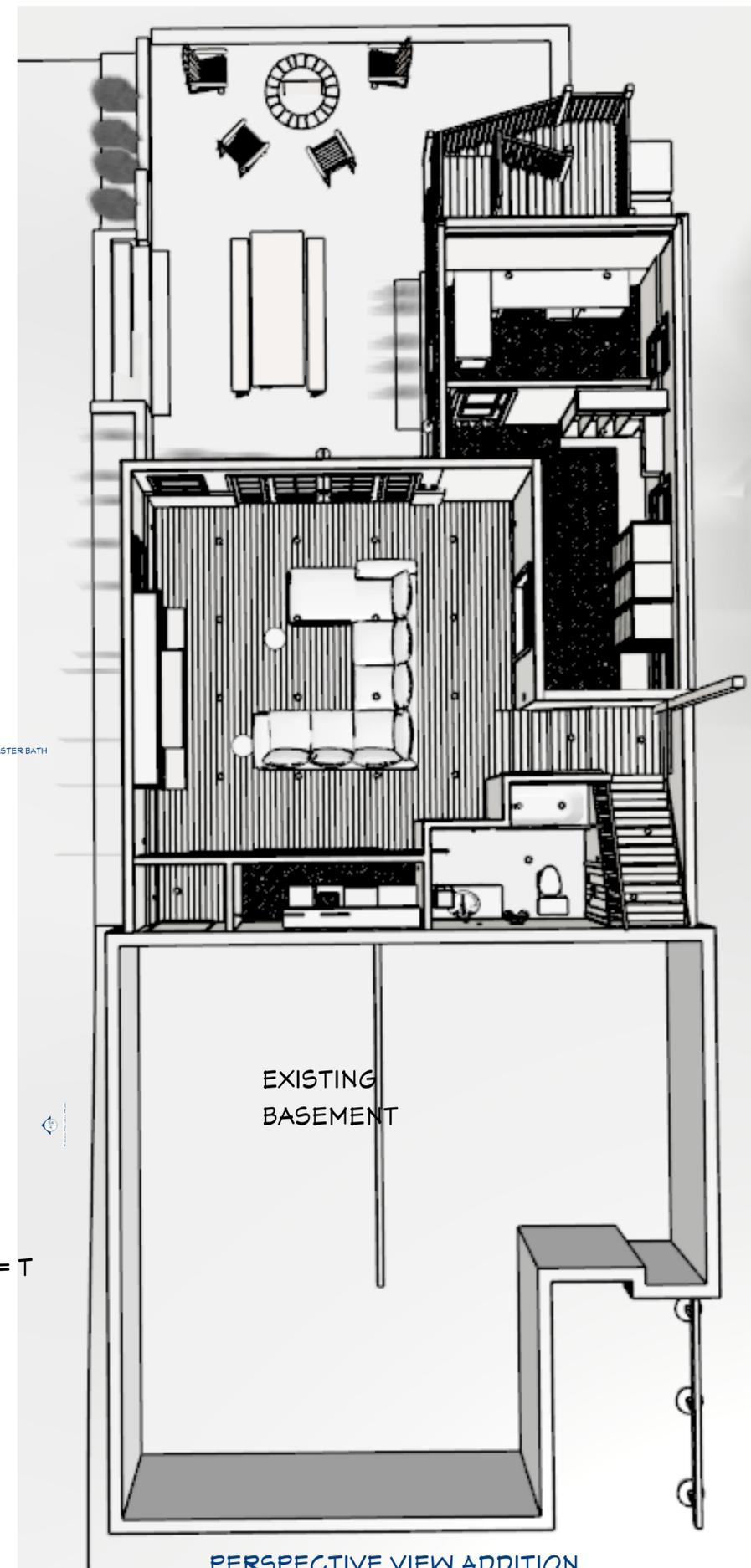
**EXISTING FOUNDATION PLAN**

SCALE: 1/8" = 1'-0"



**PROPOSED FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



**PERSPECTIVE VIEW ADDITION**

SCALE: NTS



**FOUNDATION**

Layout Page Table Label	Title
1	COVER PAGE
2	SITE PLAN
3	DEMO
4	FOUNDATION
5	FIRST FLOOR
6	SECOND FLOOR
7	WINDOW & DOOR SCHEDULE
8	ELEVATIONS
9	ELEVATIONS
10	SECTION
12	SECTIONS
13	Roof Plan
11	FRAMING
14	FRAMING OVERVIEW
15	DETAILS
16	ELECTRICAL PLUMBING + ELECTRICAL SCH
17	PLUMBING
18	CABINETRY
19	CABINETRY
20	CABINETRY
21	CABINETRY
	LAUNDRY ROOM

**CLIENT:**  
**Tim & Alex Lieto**  
 50 New Castle Ave  
 Portsmouth, NH

**CONTACT:**  
 AMY DUTTON HOME  
 4 WALKER STREET | KITTERY, ME  
 amy@amyduttonhome.com  
 207.703.0646

**DATE:**  
 10/31/2022

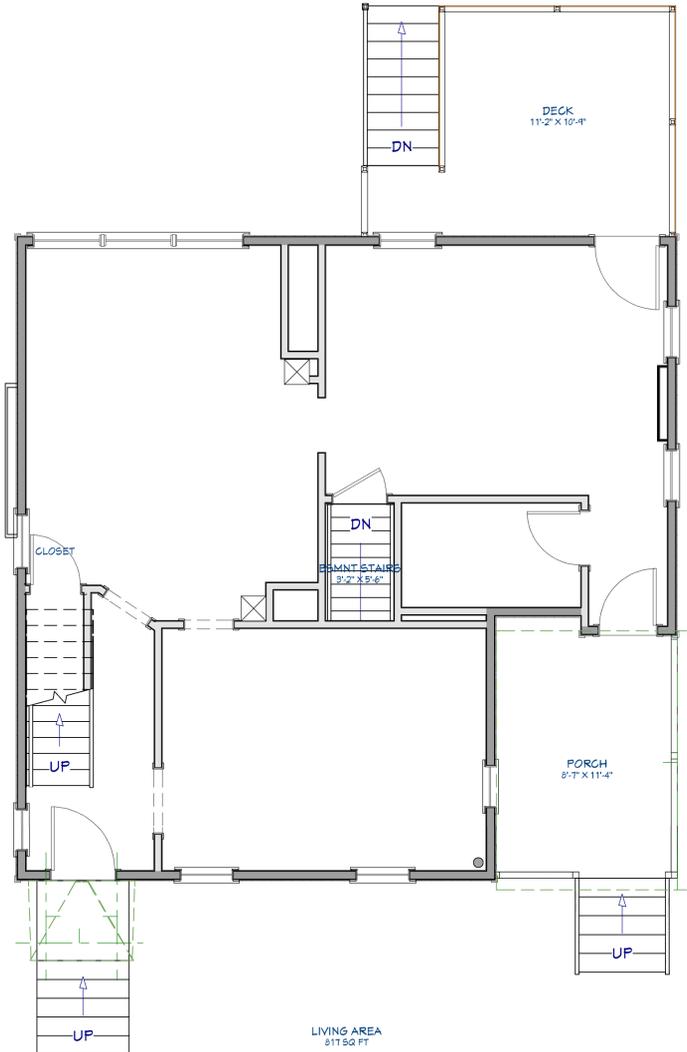
**SCALE:**  
 SCALED FOR:  
 24" X 36"  
 DRAWING SCALE  
 1/4" = 1'-0"

**SHEET:**  
**A4**

# WALL LEGEND

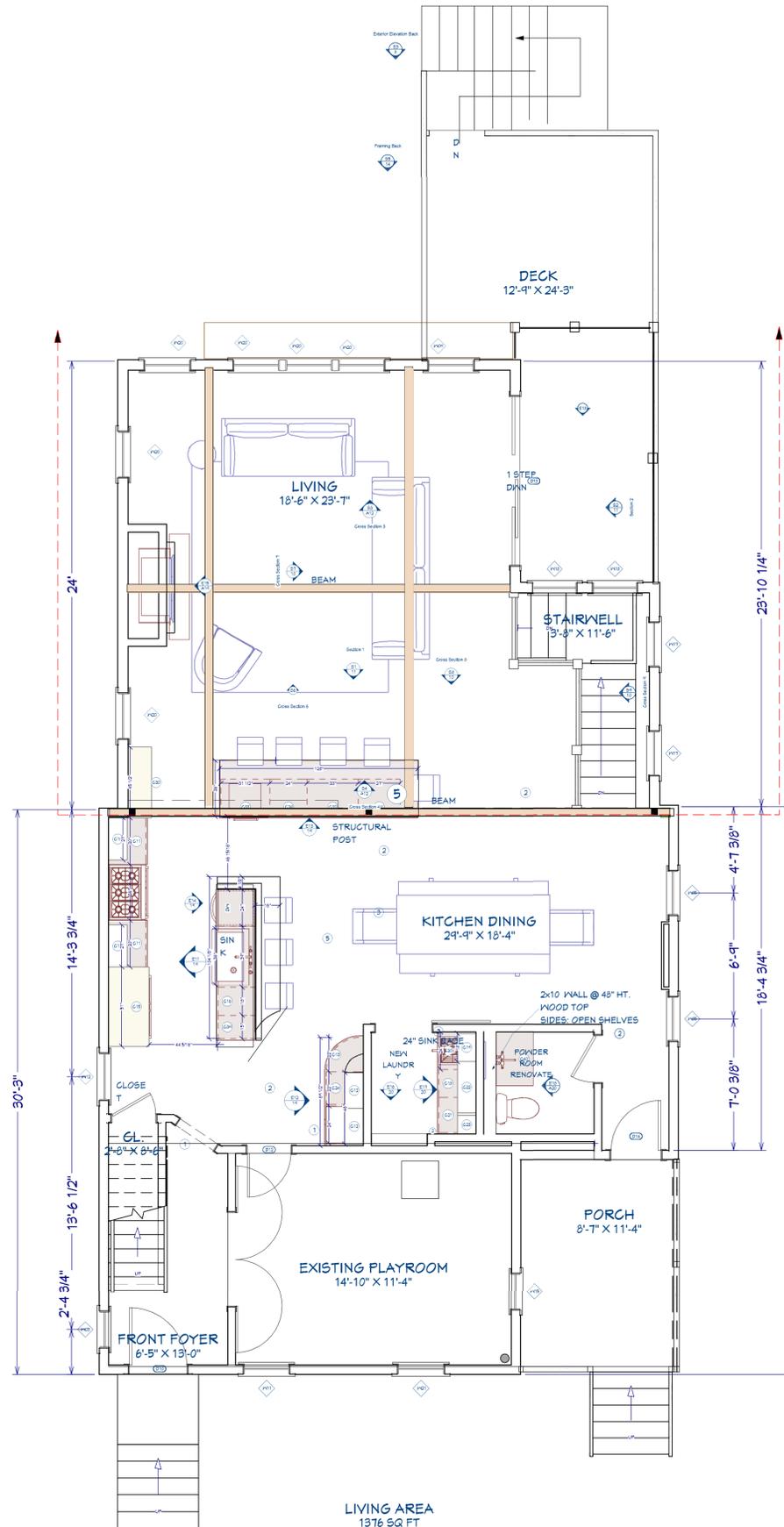
-  = EXTERIOR WALL
-  = INTERIOR 6
-  = INTERIOR 4
-  = DEMO WALL
-  = GLASS TOP TILE BOTTOM PONY WALL
-  = GLASS SHOWER WALL

FIRST FLOOR NOTE SCHEDULE	
①	EXISTING FLOOR TO REMAIN
②	NEW FLOOR - WHITE OAK
③	REMOVE CHIMNEY
⑤	STRUCTURAL POST TO BEAM



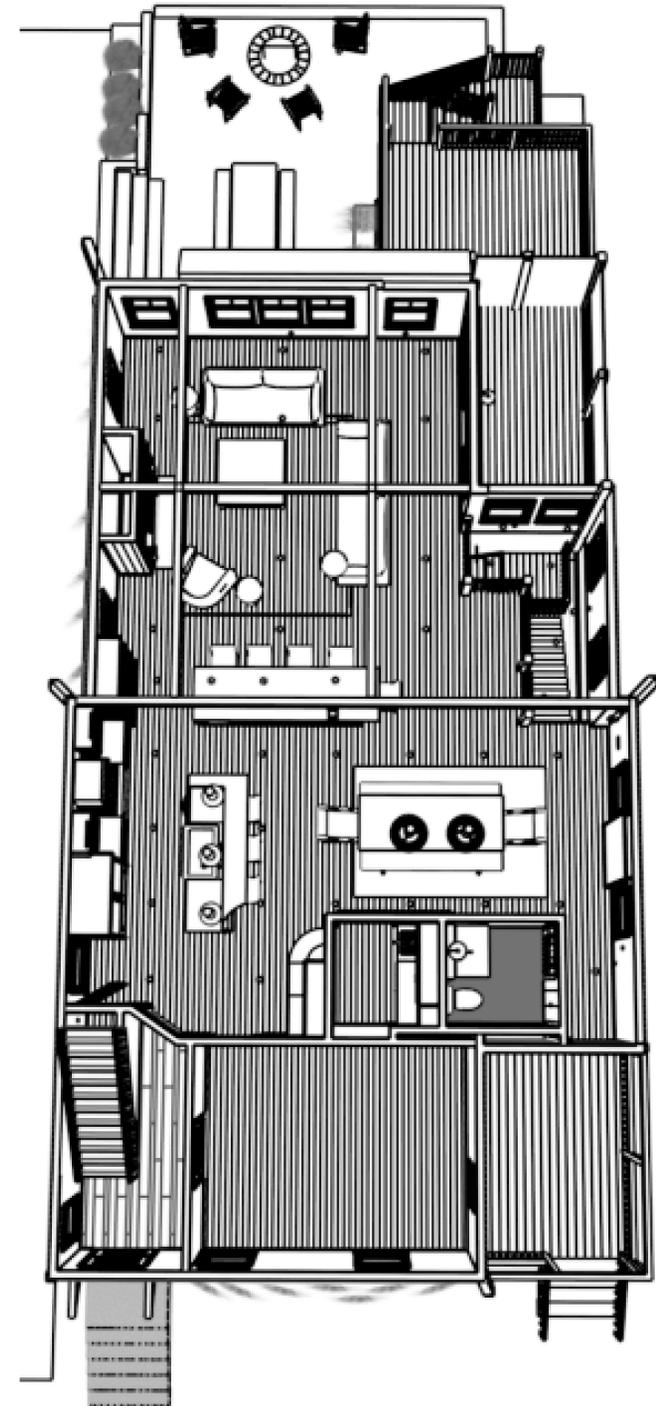
**EXISTING FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**PROPOSED REMODEL- FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**PERSPECTIVE VIEW**

SCALE: NTS



**FIRST FLOOR**

Layout Page Table Label	Title
1	COVER PAGE
2	SITE PLAN
3	DEMO
4	FOUNDATION
5	FIRST FLOOR
6	SECOND FLOOR
7	WINDOW & DOOR SCHEDULE
8	ELEVATIONS
9	ELEVATIONS
10	SECTION
12	SECTIONS
13	Roof Plan
11	FRAMING
14	FRAMING OVERVIEW
15	DETAILS
16	ELECTRICAL PLUMBING + ELECTRICAL SCH
17	PLUMBING
18	PLUMBING
19	CABINETRY
20	CABINETRY
21	CABINETRY
	LAUNDRY ROOM

**CLIENT:**  
**Tim & Alex Lieto**  
 50 New Castle Ave  
 Portsmouth, NH

**CONTACT:**  
 AMY DUTTON HOME  
 4 WALKER STREET | KITTERY, ME  
 amy@amyduttonhome.com  
 207.703.0646

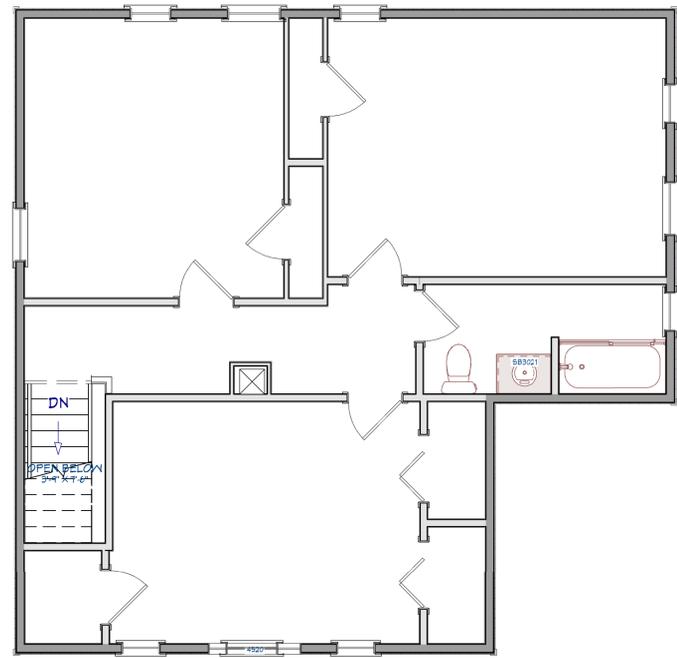
**DATE:**  
 10/31/2022

**SCALE:**  
 SCALED FOR:  
 24" X 36"  
**DRAWING SCALE**  
 1/4" = 1'-0"

**SHEET:**  
**A5**  
 FIRST FLOOR  
 PLAN

### WALL LEGEND

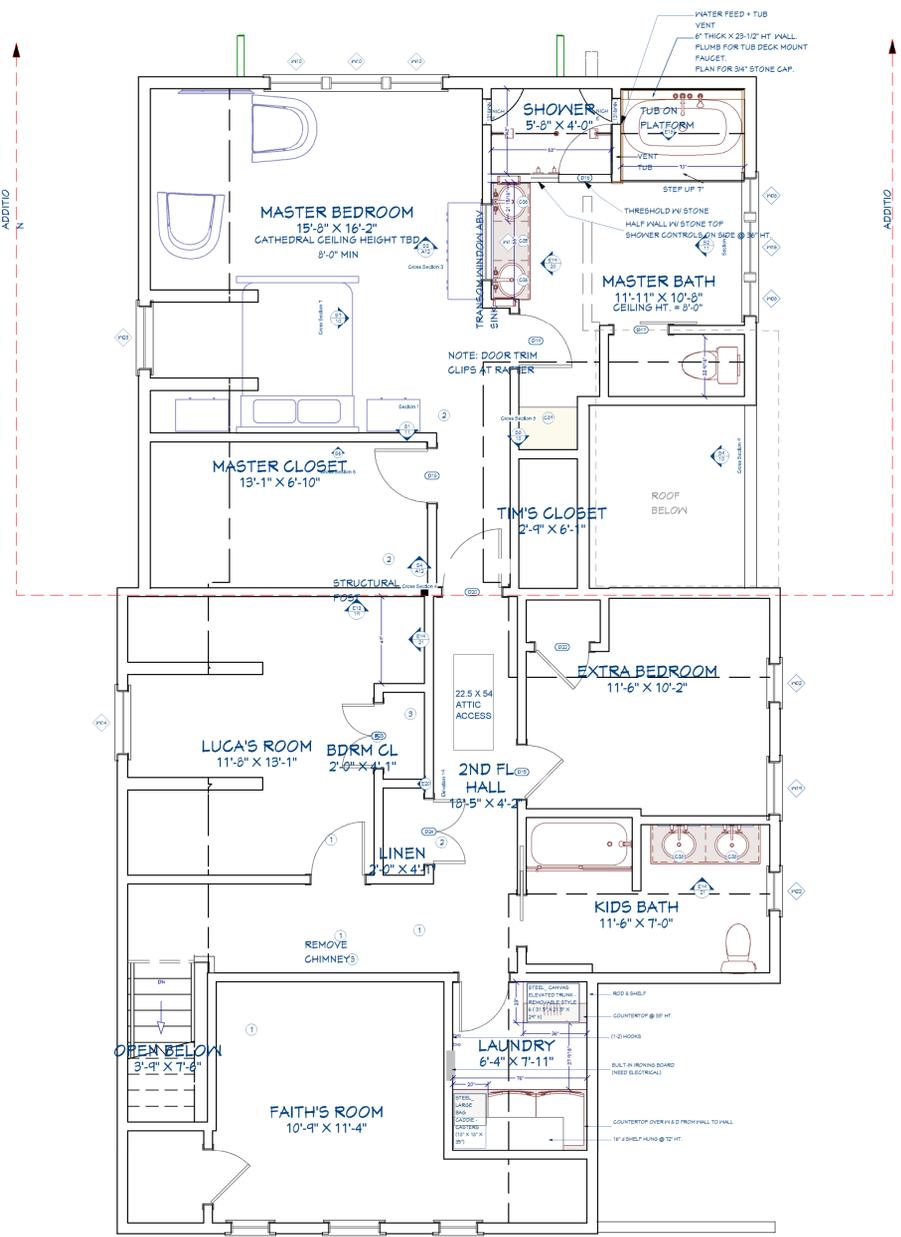
- = EXTERIOR WALL
- = INTERIOR 6
- = INTERIOR 4
- = DEMO WALL
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL



LIVING AREA  
805 SQ FT

### EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

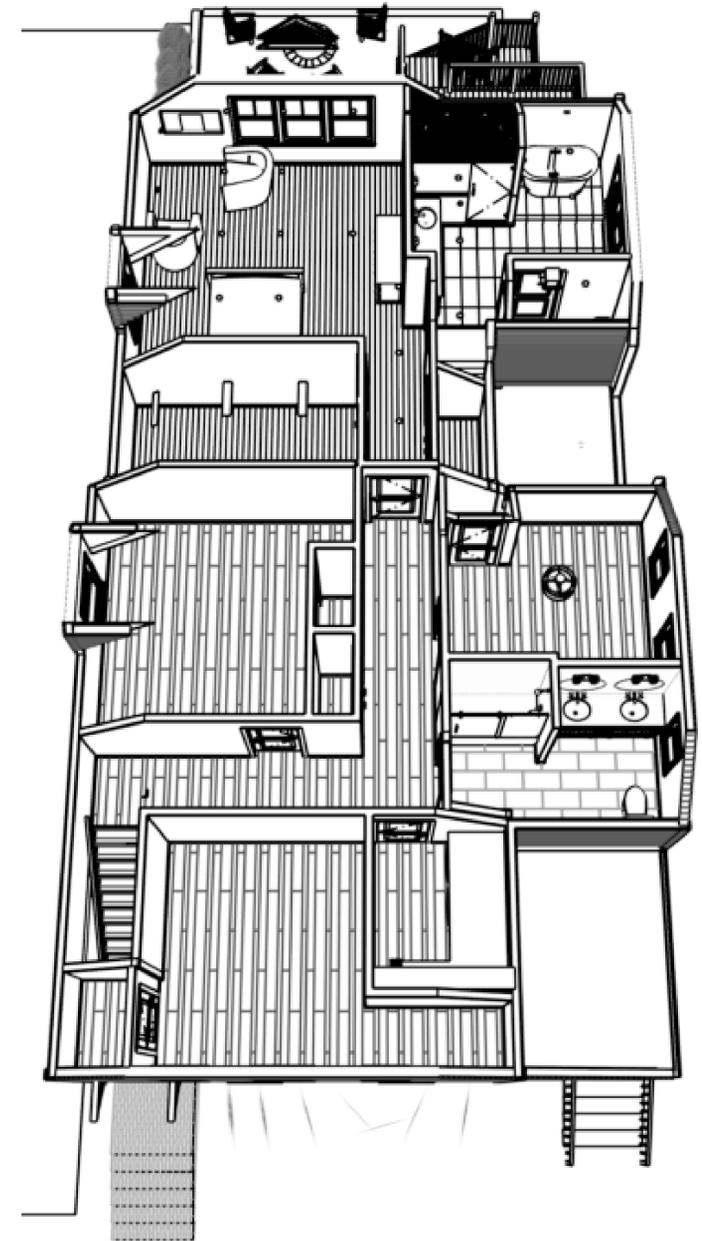


LIVING AREA  
1434 SQ FT

### PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

SECOND FLOOR NOTE SCHEDULE	
①	EXISTING FLOOR TO REMAIN
②	NEW FLOOR - WHITE OAK
③	REMOVE CHIMNEY



### PERSPECTIVE VIEW

SCALE: NTS



## SECOND FLOOR

Label	Title
1	COVER PAGE
2	SITE PLAN
3	DEMO
4	FOUNDATION
5	FIRST FLOOR
6	SECOND FLOOR
7	WINDOW & DOOR SCHEDULE
8	ELEVATIONS
9	ELEVATIONS
10	SECTION
12	SECTIONS
13	Roof Plan
11	FRAMING
14	FRAMING OVERVIEW
15	DETAILS
16	ELECTRICAL PLUMBING + ELECTRICAL SCH
17	PLUMBING
18	CABINETRY
19	CABINETRY
20	CABINETRY
21	CABINETRY
	LAUNDRY ROOM

CLIENT:  
**Tim & Alex Lieto**  
50 New Castle Ave  
Portsmouth, NH

CONTACT:  
AMY DUTTON HOME  
4 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.705.0646

DATE:  
10/31/2022

SCALE:  
SCALED FOR:  
24" X 36"  
DRAWING SCALE  
1/4" = 1'-0"

SHEET:  
**A6**  
SECOND FLOOR PLAN



**FRONT ELEVATION EXISTING**

SCALE: 1/4" = 1'-0"



**EXISTING**



**CURRENT PROPOSED**



**FRONT ELEVATION PROPOSED**

SCALE: 1/4" = 1'-0"

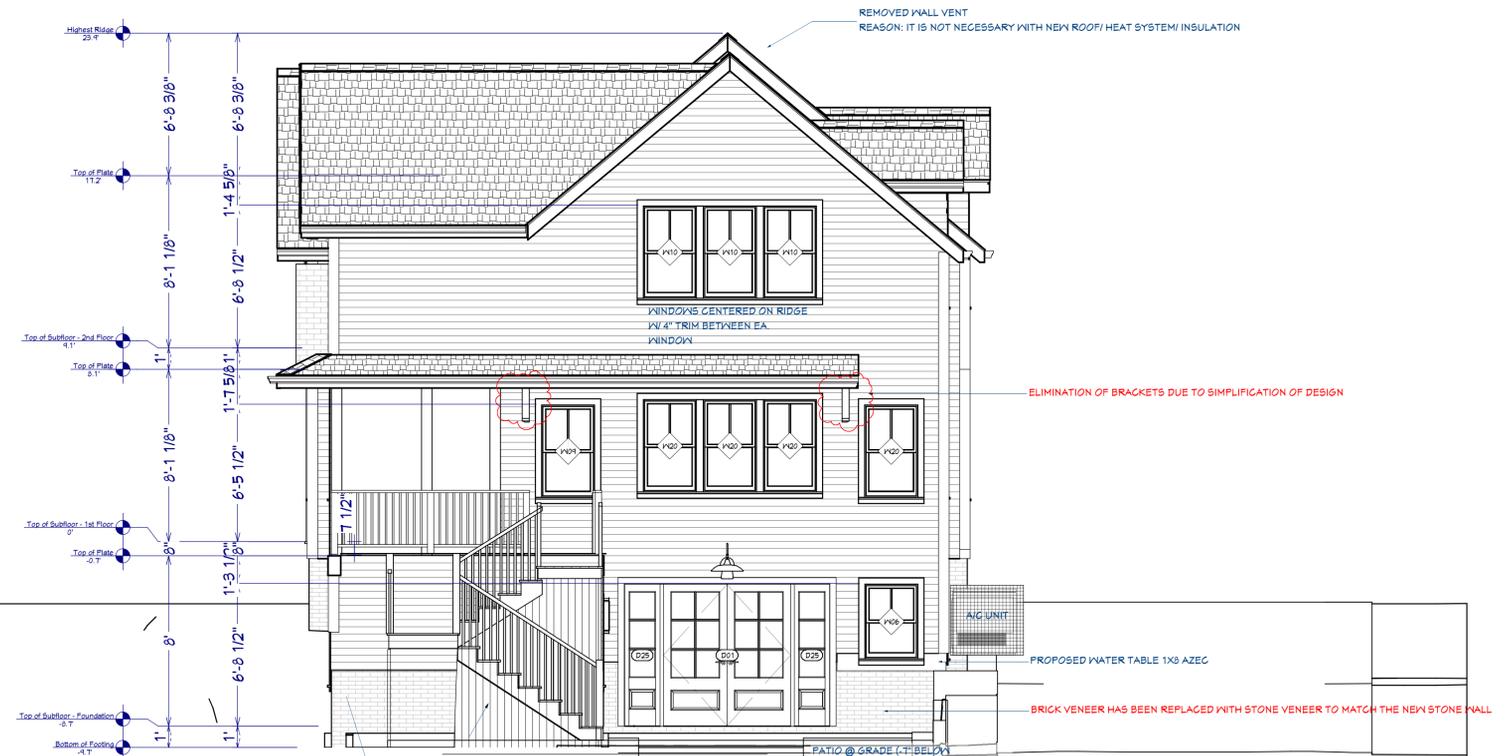


**BACK ELEVATION EXISTING**

SCALE: 1/4" = 1'-0"



**CURRENT PROPOSED**



**BACK ELEVATION PROPOSED**

SCALE: 1/4" = 1'-0"

- NOTE:
1. MASTER BEDROOM 3 WINDOWS, NO BALCONY
  2. FRENCH DOORS OUT OF BASEMENT, GRADE DROPPED DOWN TO -1' BELOW BASEMENT F.F.

AC CONDENSER COVERS TO REMAIN SAME DESIGN AS APPROVED.

\*\*PLEASE NOTE: AT THIS TIME OF YEAR WE WILL NOT BE INSTALLING THE AC CONDENSERS NOR THE COVER. THIS WILL HAPPEN IN SPRING '23



**ELEVATIONS**

Layout Page Table Label	Title
1	COVER PAGE
2	SITE PLAN
3	DEMO
4	FOUNDATION
5	FIRST FLOOR
6	SECOND FLOOR
7	WINDOW & DOOR SCHEDULE
8	ELEVATIONS
9	ELEVATIONS
10	SECTION
12	SECTIONS
13	Roof Plan
11	FRAMING
14	FRAMING OVERVIEW
15	DETAILS
16	ELECTRICAL PLUMBING + ELECTRICAL SCH
17	PLUMBING
18	PLUMBING
19	CABINETRY
20	CABINETRY
21	CABINETRY
	LAUNDRY ROOM

CLIENT:  
**Tim & Alex Lieto**  
 50 New Castle Ave  
 Portsmouth, NH

CONTACT:  
 ANY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@anyduttonhome.com  
 207.703.0646

DATE:  
 10/31/2022

SCALE:  
 SCALED FOR:  
 24" X 36"  
 DRAWING SCALE  
 1/4" = 1'-0"

SHEET:  
**A8**



CURRENT PROPOSED



RIGHT EXISTING ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



LEFT EXISTING ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



RIGHT PROPOSED ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"

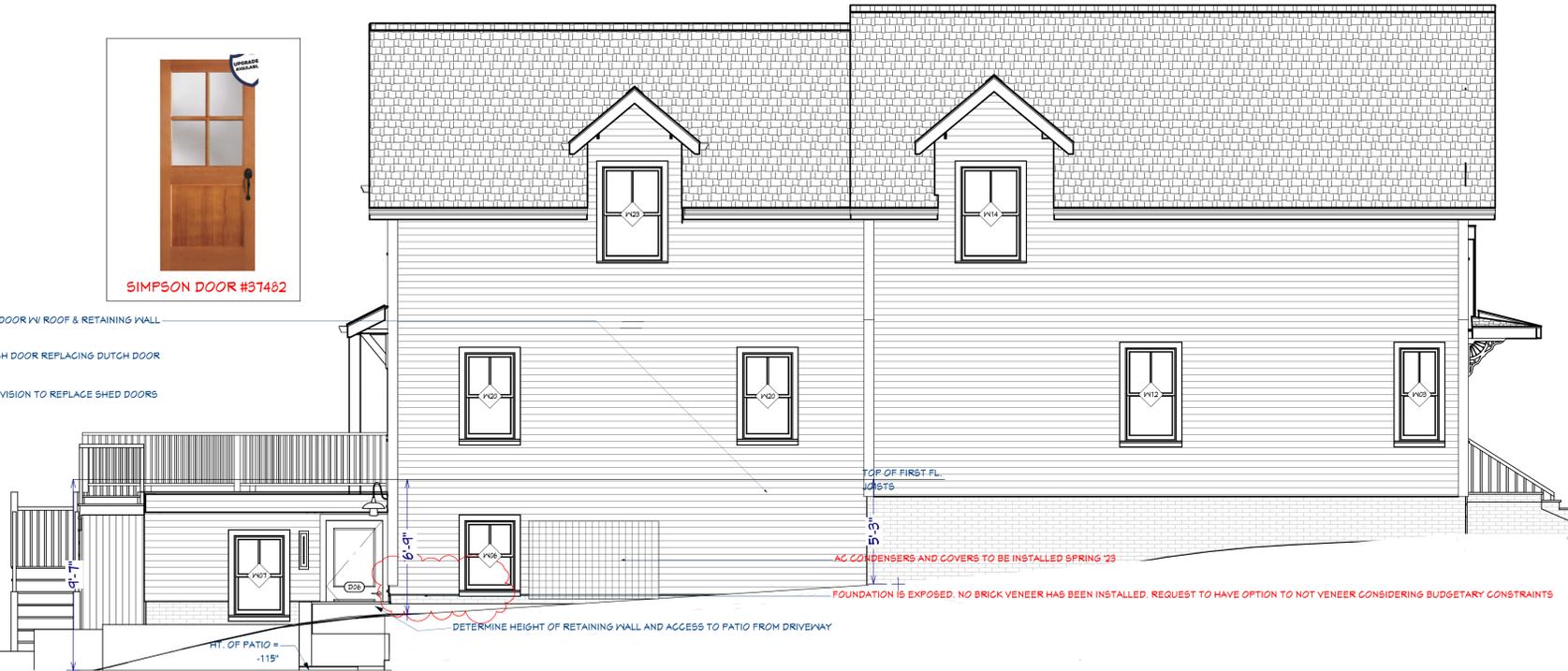


SIMPSON DOOR #37482

REMOVE PROPOSED DOOR W/ ROOF & RETAINING WALL

DOOR STYLE TO MATCH APPROVED FRONT PORCH DOOR REPLACING DUTCH DOOR

PROPOSED WINDOW REVISION TO REPLACE SHED DOORS



LEFT PROPOSED ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



ELEVATIONS

Layout Page	Table Title
1	COVER PAGE
2	SITE PLAN
3	DEMO
4	FOUNDATION
5	FIRST FLOOR
6	SECOND FLOOR
7	WINDOW & DOOR SCHEDULE
8	ELEVATIONS
9	ELEVATIONS
10	SECTION
12	SECTIONS
13	Roof Plan
11	FRAMING
14	FRAMING OVERVIEW
15	DETAILS
16	ELECTRICAL
17	PLUMBING + ELECTRICAL SCH
18	PLUMBING
19	CABINETRY
20	CABINETRY
21	CABINETRY
	LAUNDRY ROOM

CLIENT:  
**Tim & Alex Lieto**  
 50 New Casite Ave  
 Portsmouth, NH

CONTACT:  
 ANY DUTTON HOME  
 4 WALKER STREET | KITTERY, ME  
 amy@anyduttonhome.com  
 207.703.0646

DATE:  
 10/31/2022

SCALE:  
 SCALED FOR:  
 24" X 36"  
 DRAWING SCALE  
 1/4" = 1'-0"

SHEET:  
 A9

**3. 179 Pleasant Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



11/04/2022

### LUHD-548

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active

**Date Created:** Nov 2, 2022

#### Applicant

Carla Goodknight  
carla@cjarchitects.net  
233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801  
6034312808

#### Primary Location

179 PLEASANT ST  
Portsmouth, NH 03801

#### Owner:

MILL POND VIEW LLC  
PO BOX 399 NOTTINGHAM, NH 03290

#### Application Type

Please select application type from the drop down menu below

Administrative Approval

#### Alternative Project Address

--

#### Project Information

##### Brief Description of Proposed Work

This application is for approval to use the same slate roofing sample that was presented and approved during the Carriage house application, on the entire project where slate is specified. No changes are proposed to the approved slate locations.

##### Description of Proposed Work (Planning Staff)

--

#### Project Representatives

<b>Relationship to Project</b> Architect	
<b>If you selected "Other", please state relationship to project.</b> --	
<b>Full Name (First and Last)</b> Carla Goodknight	<b>Business Name (if applicable)</b> CJ Architects
<b>Mailing Address (Street)</b> 233 Vaughan Street	<b>City/Town</b> Portsmouth
<b>State</b> New Hampshire	<b>Zip Code</b> 03801
<b>Phone</b> 6034312808	<b>Email Address</b> carla@cjarchitects.net

#### Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction





City of Portsmouth  
Historic District Commission & Planning Department  
1 Junkins Avenue  
Portsmouth, NH 03801

November 1, 2022

## 179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

Dear Chairman Wyckoff,

This application is for approval to use the same slate roofing sample that was presented and approved during the Carriage house application, on the entire project where slate is specified. No changes are proposed to the approved slate locations.

The property located at 179 Pleasant Street currently has two HDC approvals in place.

- The first approval (dated 3/15/22) is for the historic Captain Thomas Thompson Mansion and Annex.
- The second approval (dated 9/15/22) is for the Carriage house and Connecting structures.

The first approval (3/15) contains a stipulation that “the roof shall have natural slate and samples shall be submitted to the commission as an Administrative Approval prior to installation.”

The second approval (9/15) does not contain that stipulation because natural slate roofing samples were submitted and approved during the Carriage house application process.

We request to extend the approved slate material across both approvals.

Please refer to the attached 3/15 & 9/15 approval letters, as well as the 9/15 materials page for additional information.

Thank you for your consideration.  
Sincerely,

A handwritten signature in black ink, appearing to read 'Cn', with a long horizontal flourish extending to the right.

Carla Goodknight, AIA  
Principal, CJ Architects

Representing owners:  
Mill Pond View, LLC.



# CITY OF PORTSMOUTH

Planning Department  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801  
(603) 610-7216

## HISTORIC DISTRICT COMMISSION

March 15, 2022

Mill Pond View, LLC  
PO BOX 399  
Nottingham, NH 03290

**RE: Certificate of Approval for Property Located at 179 Pleasant Street (LU-22-19)**

Dear Owner:

The Historic District Commission, at its regularly scheduled meeting of **Wednesday, March 02, 2022**, considered your application for changes to a previously approved design (changes to the sunroom and roof design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108, Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. As a result of said consideration, the Commission voted to **grant** the Certificate of Approval with the following stipulations:

1. The roof shall have natural slate and samples shall be submitted to the Commission as an Administrative Approval prior to installation.
2. The Color of the Morin Brick shall match the existing and be submitted and approved prior to installation.
3. There shall be an on-site mockup of the brick work prior to installation.

### **Findings of Fact**

#### A. Purpose and Intent

The proposed application meets the following objective(s) of the Historic District (as provided in Section 10.631.20 of the Zoning Ordinance):

-Preserve the integrity of the District.

#### B. Review Criteria

The proposed application also meets the following review criteria of the Historic District (as provided in Section 10.635.70 of the Zoning Ordinance):

-Consistent with special and defining character of surrounding properties.

The Commission's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Commission's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Approvals may also be required from other City Committees or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of one (1) year

from the date granted by the Historic District Commission unless an extension is granted by the Commission in accordance with Section 10.636.70 of the Zoning Ordinance.

*Please note that any changes or modifications to this application require review and approval from the Commission prior to implementation and additional fees may apply.*

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,



Nicholas J. Cracknell, AICP, Principal Planner  
for Jonathan Wyckoff, Chairman of the Historic District Commission

cc: Shanti Wolph, Chief Building Inspector  
Rosann Maurice-Lentz, City Assessor

Carla Goodknight, AIA, CJ Architects



# CITY OF PORTSMOUTH

Planning Department  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801  
(603) 610-7216

## HISTORIC DISTRICT COMMISSION

September 15, 2022

Mill Pond View, LLC  
PO BOX 399  
Nottingham, NH 03290

**RE: Certificate of Approval for property located at 179 Pleasant Street (LU-22-169)**

Dear Owner:

The Historic District Commission, at its regularly scheduled meeting of **Wednesday, September 07, 2022**, considered your application for new construction to an existing structure (minor demolition, new construction, restoration and renovation of the accessory structures and annex of the main home) as per plans on file in the Planning Department.

Said property is shown on Assessor Map 108, lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. As a result of said consideration, the Commission voted to **grant** the Certificate of Approval as presented.

### **Findings of Fact**

#### A. Purpose and Intent

The proposed application meets the following objective(s) of the Historic District (as provided in Section 10.631.20 of the Zoning Ordinance):

-Conservation and enhancement of property values.

#### B. Review Criteria

The proposed application also meets the following review criteria of the Historic District (as provided in Section 10.635.70 of the Zoning Ordinance):

-Relation to historic and architectural value of existing structures.

The Commission's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Commission's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Approvals may also be required from other City Committees or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of one (1) year from the date granted by the Historic District Commission unless an extension is granted by the Commission in accordance with Section 10.636.70 of the Zoning Ordinance.

*Please note that any changes or modifications to this application require review and*

*approval from the Commission prior to implementation and additional fees may apply.*

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,



Nicholas J. Cracknell, AICP, Principal Planner  
for Jonathan Wyckoff, Chairman of the Historic District Commission

cc: Shanti Wolph, Chief Building Inspector  
Rosann Maurice-Lentz, City Assessor

Carla Goodknight, AIA, CJ Architects

APPROVED 9/7/22



**SLATE ROOFING**

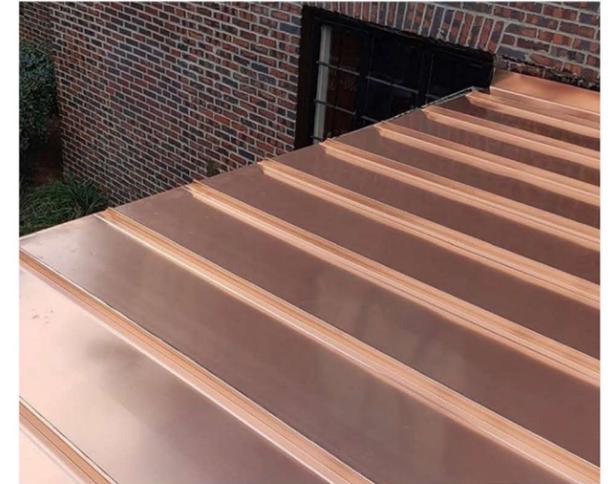
MANUFACTURER: CAMARA SLATE  
SIZE: 12x18  
COLOR: SPANISH BLACK



PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

**FLAT SEAM COPPER ROOF**

MANUFACTURER: CUSTOM FABRICATED  
STYLE: FLAT SEAM  
MATERIAL: COPPER



PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

**STANDING SEAM COPPER ROOF**

MANUFACTURER: CUSTOM FABRICATED  
STYLE: STANDING SEAM  
MATERIAL: COPPER



PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

**GUTTER & DOWNSPOUT**

MANUFACTURER: CUSTOM FABRICATED  
STYLE: K-STYLE GUTTER W/ 3" SMOOTH DOWNSPOUT  
MATERIAL: COPPER



**STONE VENEER**

MANUFACTURER: CUSTOM  
STYLE: CUT GRANITE; THERMAL FINISH  
COLOR: GRAY

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

**PROPOSED MATERIALS**

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: SEPTEMBER 7, 2022



5.0

**4. 111 State Street**

**- TBD Pending Review**

**Background:** The applicant is seeking approval for changes to a previously approved design.

**Staff Comment:** TBD Pending Review

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



11/04/2022

**LU-22-125**

Land Use Application

**Status:** Active**Date Created:** Jun 1, 2022**Applicant**

Francis X. Bruton  
meaghan@brutonlaw.com  
601 Central Avenue  
Dover, NH 03820  
6037494529

**Primary Location**

111 STATE ST  
Portsmouth, NH 03801

**Owner:**

COVENTRY REALTY LLC  
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)



**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work



**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line



**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**



**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



**Request for Extension of Previously Granted Land Use Approval**

# 111 STATE STREET ADDITION & RENOVATION

## DRAWING LIST

H0.1 COVER  
H1.3B PROPOSED ROOF PLAN  
H2.1 STATE STREET ELEVATION  
H2.2 CHAPEL STREET ELEVATION  
H2.3 SHEAFE STREET ELEVATION  
H3.1 AXONOMETRIC  
H3.2 VIGNETTE, CHAPEL STREET  
H3.3 VIGNETTE, STATE STREET  
H3.4 VIGNETTE, SHEAFE STREET  
A3.5 RENDERING, STATE STREET  
A3.6 RENDERING, CHAPEL ST



**COVENTRY REALTY, LLC**

**HDC PUBLIC HEARING  
NOVEMBER, 2022**

## MINOR REVISIONS TO PREVIOUSLY APPROVED APPLICATION

### Updates per HDC approval stipulations:

- A. The third floor windows at new rear dormers and State Street changed to 6/3 double hung wood windows instead of casements.
- B. The roof canopy over the rear Chapel Street porch door was extended, with post added.
- C. The transom window at State Street door changed to an arch shape instead of flat, this will be spandrel glass due to existing floor framing behind wall.
- D. The folding Nana-windows on State street are moved further away from the door.

### Updates per code and coordination requirements:

- E. Remove and rebuild gable roof on rear wood framed structure at one foot higher, with same detailing; to comply with building code for egress ceiling heights and structural coordination.
- F. Elevator over-run moved slightly closer to rear roof ridge line.
- G. Changed vertical siding transition between new upper and lower flat roofs to a sloped shingle transition.
- H. Change porch egress door to 6 panel with one light, for fire rating code requirements.
- I. Addition of copper gutters and downspouts.

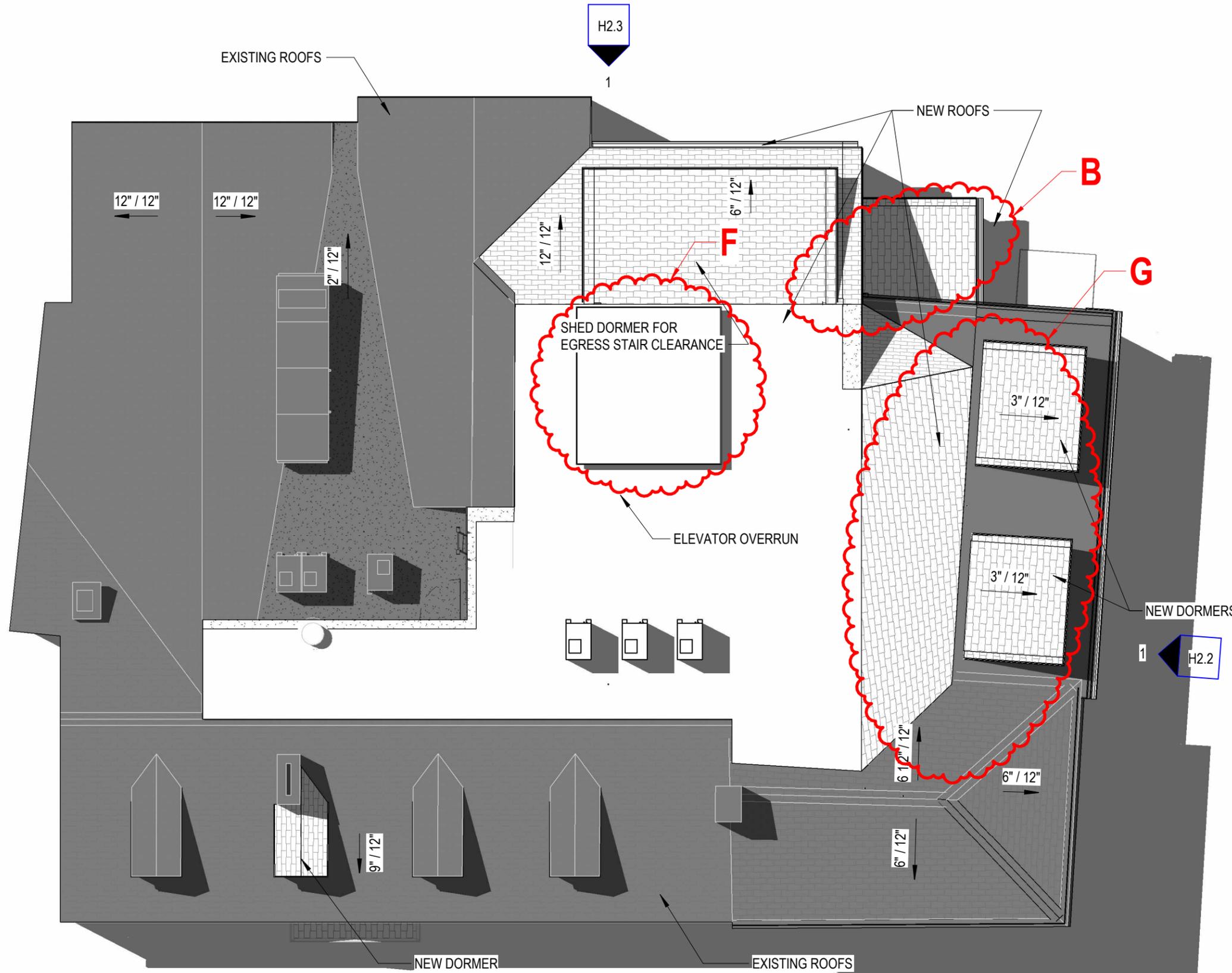
H0.1

**COVER**

**111 STATE STREET**

SCALE:  
10/14/22



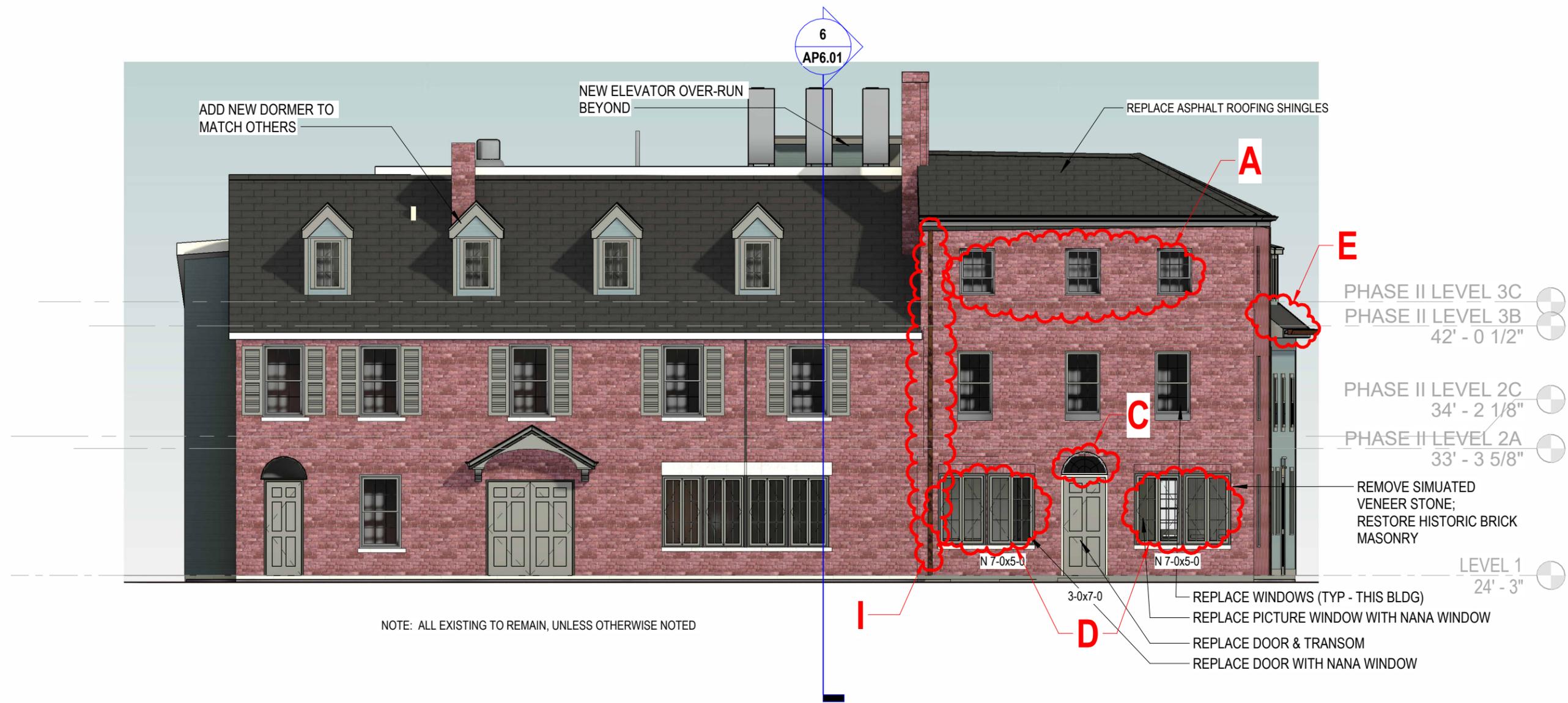


**LEGEND**

	EXISTING ROOF - SHALLOW SLOPE, MEMBRANE
	EXISTING ROOF - STEEP SLOPED, SHINGLES
	NEW ROOF - FLAT, MEMBRANE
	NEW ROOF - SLOPED, SHINGLES

**H1.3B PROPOSED ROOF PLAN**  
**111 STATE STREET**  
 SCALE: 1/8" = 1'-0"  
 10/14/22



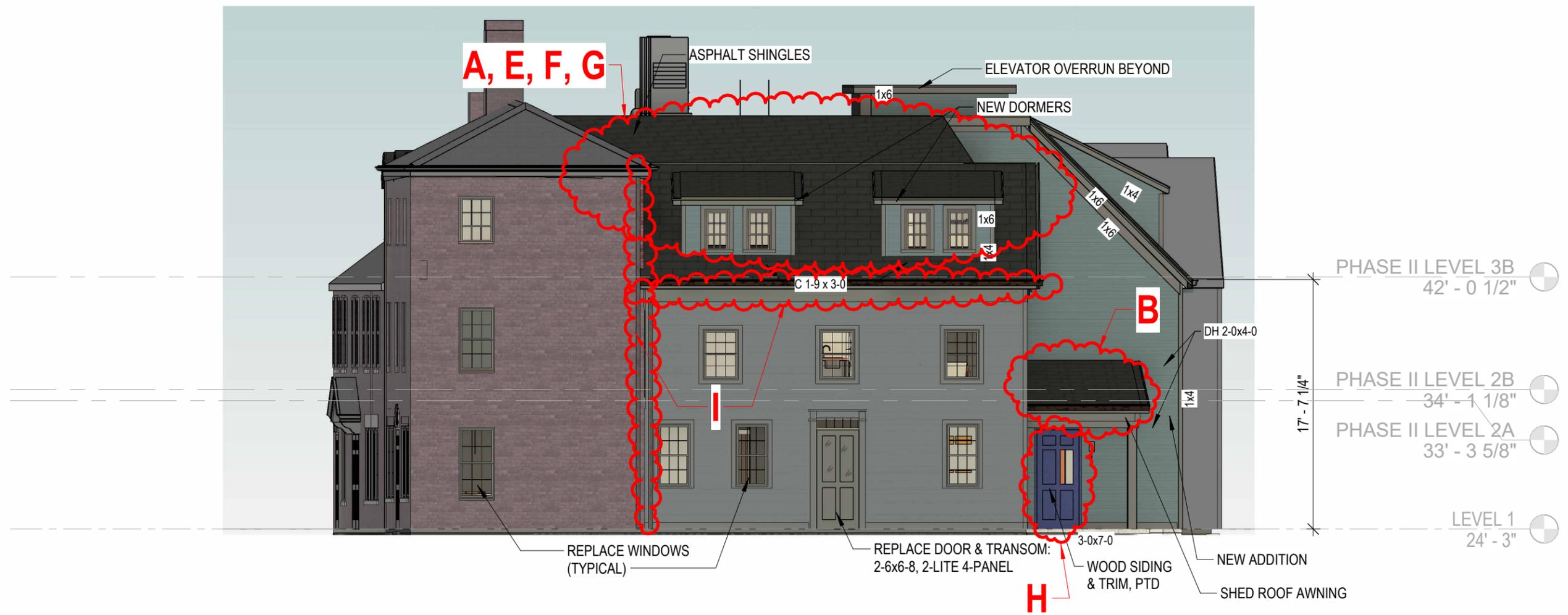


NOTE: ALL EXISTING TO REMAIN, UNLESS OTHERWISE NOTED

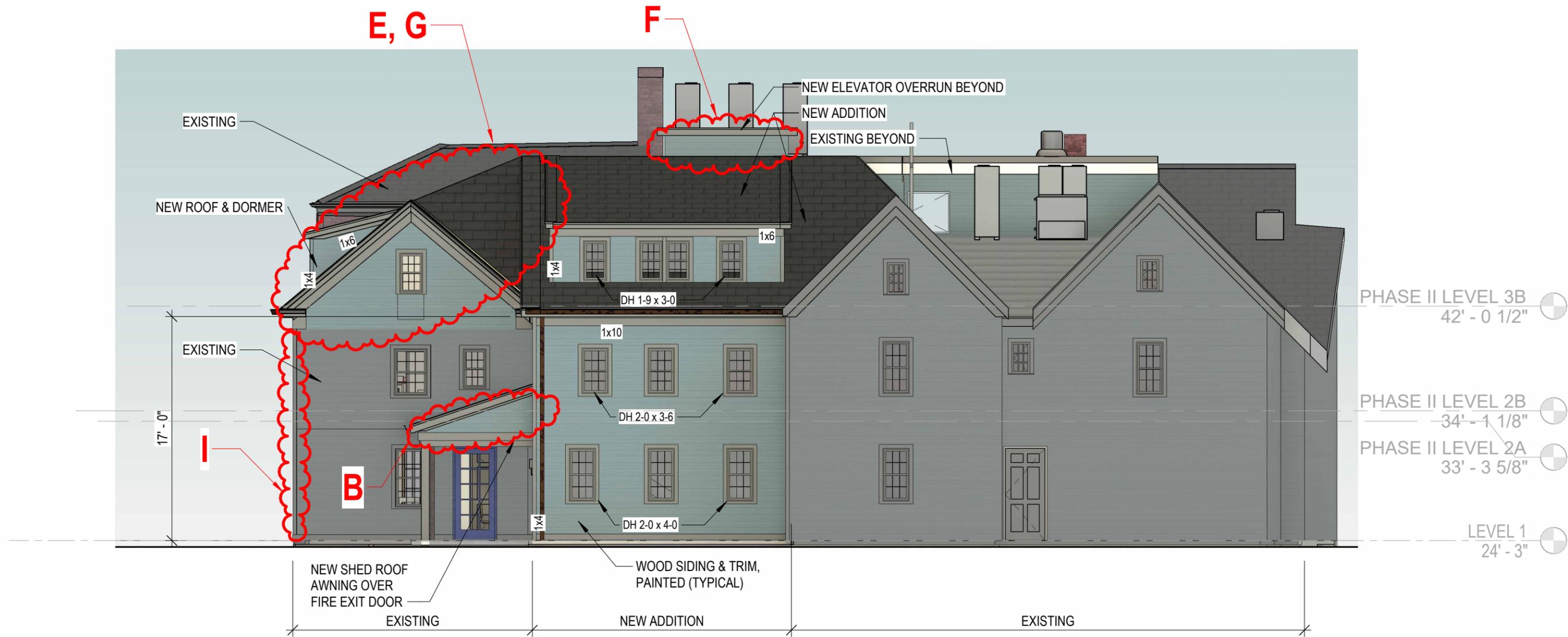
**H2.1 STATE STREET ELEVATION  
111 STATE STREET**

SCALE: 1/8" = 1'-0"  
10/14/22





**H2.2** CHAPEL STREET ELEVATION  
 111 STATE STREET  
 SCALE: 1/8" = 1'-0"  
 10/14/22

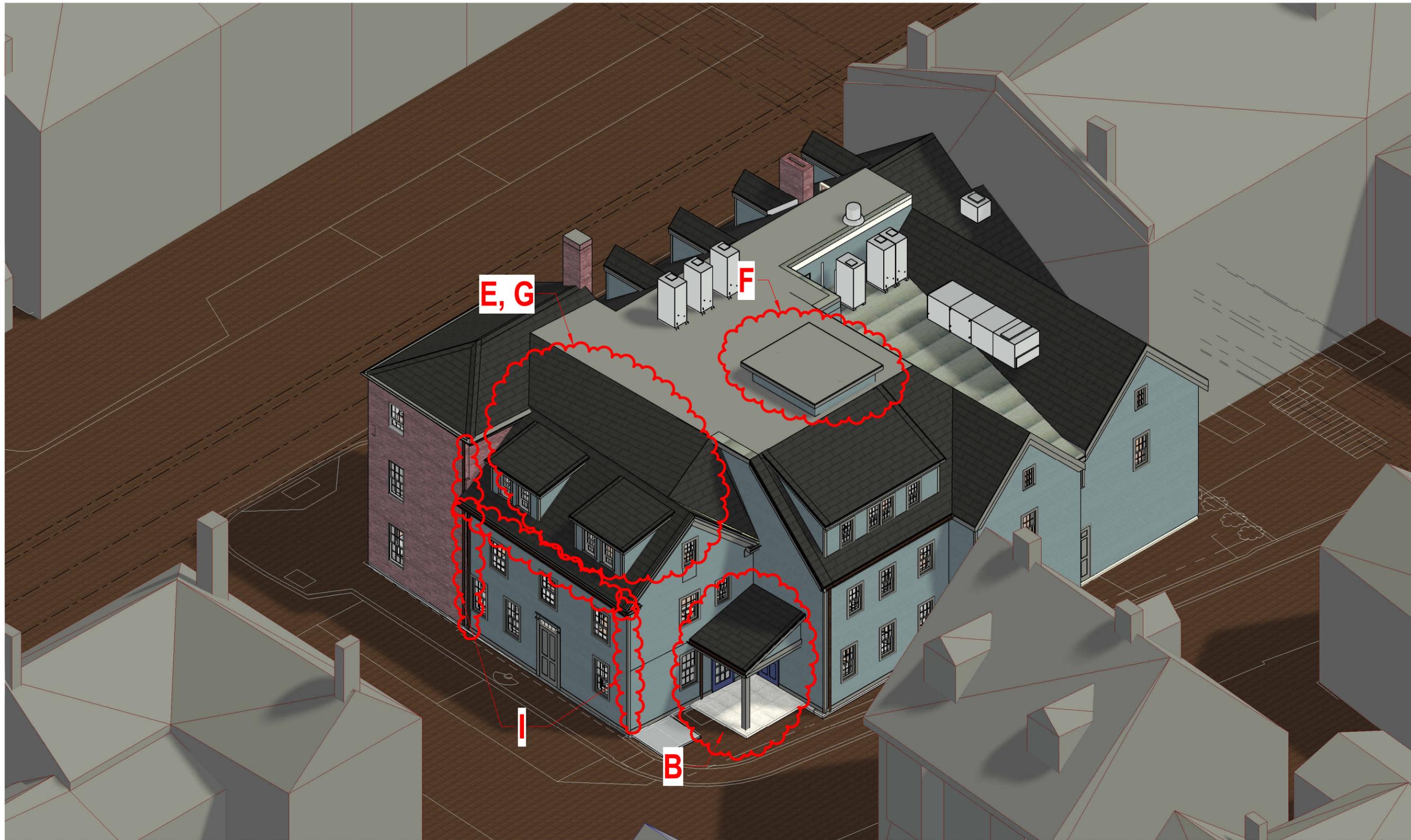


**H2.3 SHEAFE STREET ELEVATION  
111 STATE STREET**

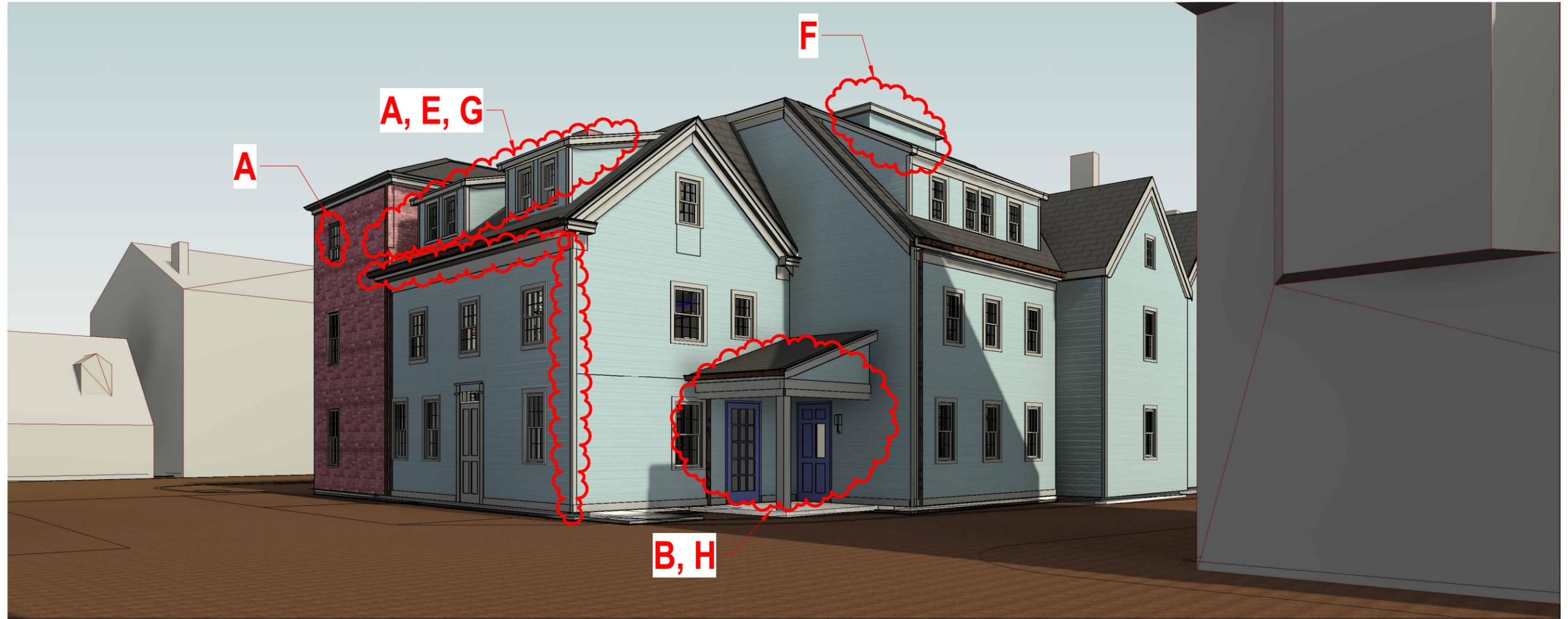
SCALE: 1/8" = 1'-0"  
10/14/22



COPYRIGHT © 2022



**H3.1** **AXONOMETRIC**  
**111 STATE STREET**  
SCALE:  
10/14/22



**H3.2** VIGNETTE - CHAPEL STREET  
111 STATE STREET  
SCALE:  
10/14/22



**H3.3** VIGNETTE - STATE STREET  
111 STATE STREET

SCALE:  
10/14/22



**H3.4** VIGNETTE - SHEAFE STREET  
111 STATE STREET

SCALE:  
10/14/22



**A3.5** RENDERING - STATE STREET  
111 STATE STREET

SCALE:  
10/14/22



**A3.6** **RENDERING - CHAPEL STREET**  
**111 STATE STREET**

SCALE:  
10/14/22

**5. 1 Congress Street**

**- TBD Pending Review**

**Background:** The applicant is seeking approval for the replacement of an existing metal fence with a wooden fence.

**Staff Comment:** TBD Pending Review

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



11/04/2022

**LU-22-12**

Land Use Application

**Status:** Active**Date Created:** Jan 26, 2022**Applicant**

Tracy Kozak  
 tracyskozak@gmail.com  
 3 Congress Street, Suite 1  
 Portsmouth, New Hampshire 03801  
 603-731-5187

**Primary Location**

1 CONGRESS ST  
 Portsmouth, NH 03801

**Owner:**

One Market Square, LLC  
 3 Pleasant Street Portsmouth, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

3 Congress St

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)



**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work



**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line



**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**



**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



**Request for Extension of Previously Granted Land Use Approval**

DRAWING INDEX - REVISED SHEETS

H5.01 COVER  
H5.13 ROOF PLAN  
H5.14 FIRST FLOOR PLAN

H5.17 ROOF AREAS CALCULATIONS

H5.20 ROOF HEIGHT DETAIL - HAVEN CT  
H5.21 ELEVATION - CONGRESS STREET  
H5.22 ELEVATION - HIGH STREET  
H5.23 ELEVATION - HAVEN COURT  
H5.24 ELEVATION - REAR (WEST) ALLEY

H5.31 AXONOMETRIC  
H5.33 VINGNETTE - HIGH ST FROM CONGRESS ST  
H5.34 VINGNETTE - HIGH ST FROM STARBUCKS  
H5.35 VINGNETTE - HAVEN CT FROM LADD ST  
H5.36 VINGNETTE - HIGH ST AT LADD ST & HAVEN CT  
H5.37 VINGNETTE - HAVEN COURT AT NEWBERRY'S

H5.55 MATERIALS - STOREFRONT & LIGHTING SCONCE

**MINOR REVISIONS TO PREVIOUSLY APPROVED APPLICATION**

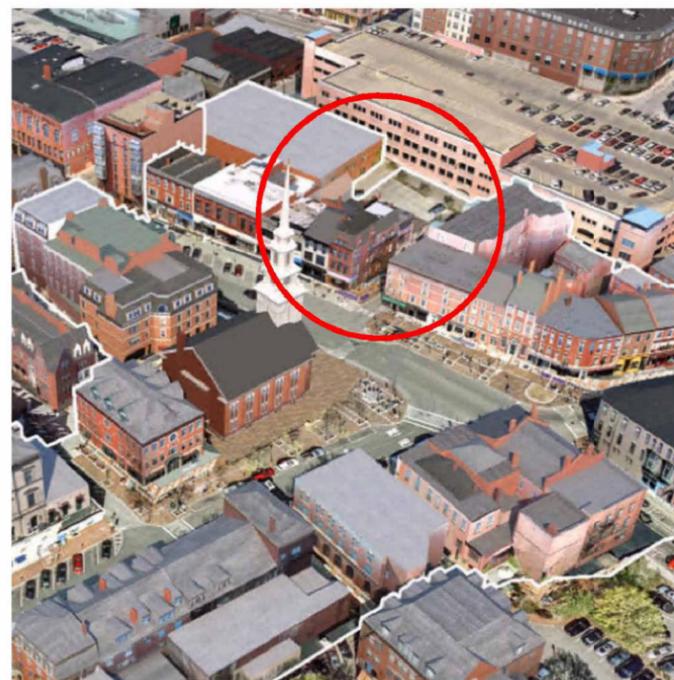
UPDATES ASSOCIATED WITH CHANGE OF BUILDING USE FROM HOTEL & RESTAURANT, TO MIXED-USE: APARTMENTS, OFFICE, & RETAIL:

- A. FILLED IN DRIVE-THROUGH UNDERPASS ON HIGH STREET WITH RETAIL STOREFRONT. CHANGE FOLDING LIFTING STOREFRONTS ON HAVEN COURT TO FIXED STOREFRONTS.
- B. BUILDING HEIGHT INCREASE BY 11 INCHES, TO ALIGN UPPER FLOORS WITH EXISTING ATTACHED BUILDING FOR HANDICAPPED ACCESSIBILITY
- C. RELOCATED ELEVATOR OVER-RUN AND STAIR ACCESS TO ROOF
- D. ADJUST SETBACK ROOF EDGE BEHIND ROOF DECK ON HIGH STREET (STRAIGHTENED AND MOVED FORWARD)
- E. OMIT 3 WINDOWS ON HAVEN COURT AT EGRESS STAIR ( FOR TRASH CHUTE BEHIND WALL).
- F. SOLAR ARRAY AND MECHANICAL ROOFTOP EQUIPMENT SHOWN
- G. ADDED WALL SCONCE LIGHT FIXTURES TO PIERS BETWEEN STOREFRONTS
- H. ADJUST LOCATIONS OF DOORS, WINDOWS ON REAR WEST ALLEY FACADE TO COORDINATE WITH REVISED PROGRAM.
- I. REDUCE WIDTH AND ALIGN DOOR AND WINDOWS AT WALL BEHIND REAR RECESSED ROOF DECK (AT SOUTH WALL BEHIND CONGRESS STREET BUILDINGS).
- J. CHANGE TWO SINGLE DOORS AT MAIN ENTRANCE ON HIGH STREET TO ONE SINGLE DOOR



# ONE CONGRESS STREET RENOVATION & ADDITION

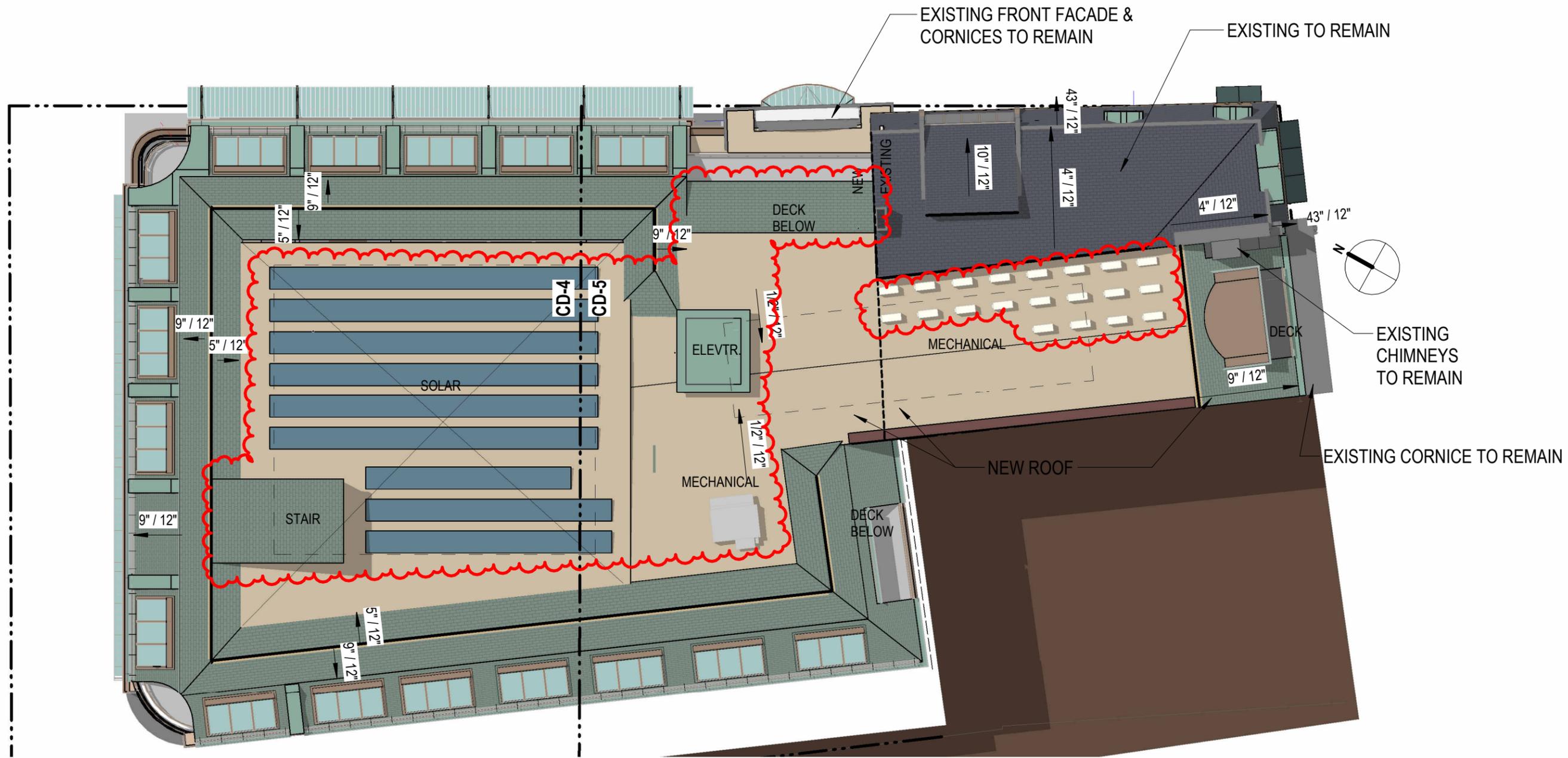
ONE MARKET SQUARE, LLC



## HISTORIC DISTRICT COMMISSION - PUBLIC HEARING November, 2022

**H5.01 COVER**  
**1 CONGRESS STREET**  
SCALE:  
10/14/2022





H5.13

**ROOF PLAN**  
**1 CONGRESS STREET**

SCALE: 1/16" = 1'-0"  
10/14/2022

GRAPHIC SCALE: 1/16" = 1'-0"



COPYRIGHT © 2022

BUILDING ABOVE

5  
H5.41

9' - 6 1/2"

73' - 4"

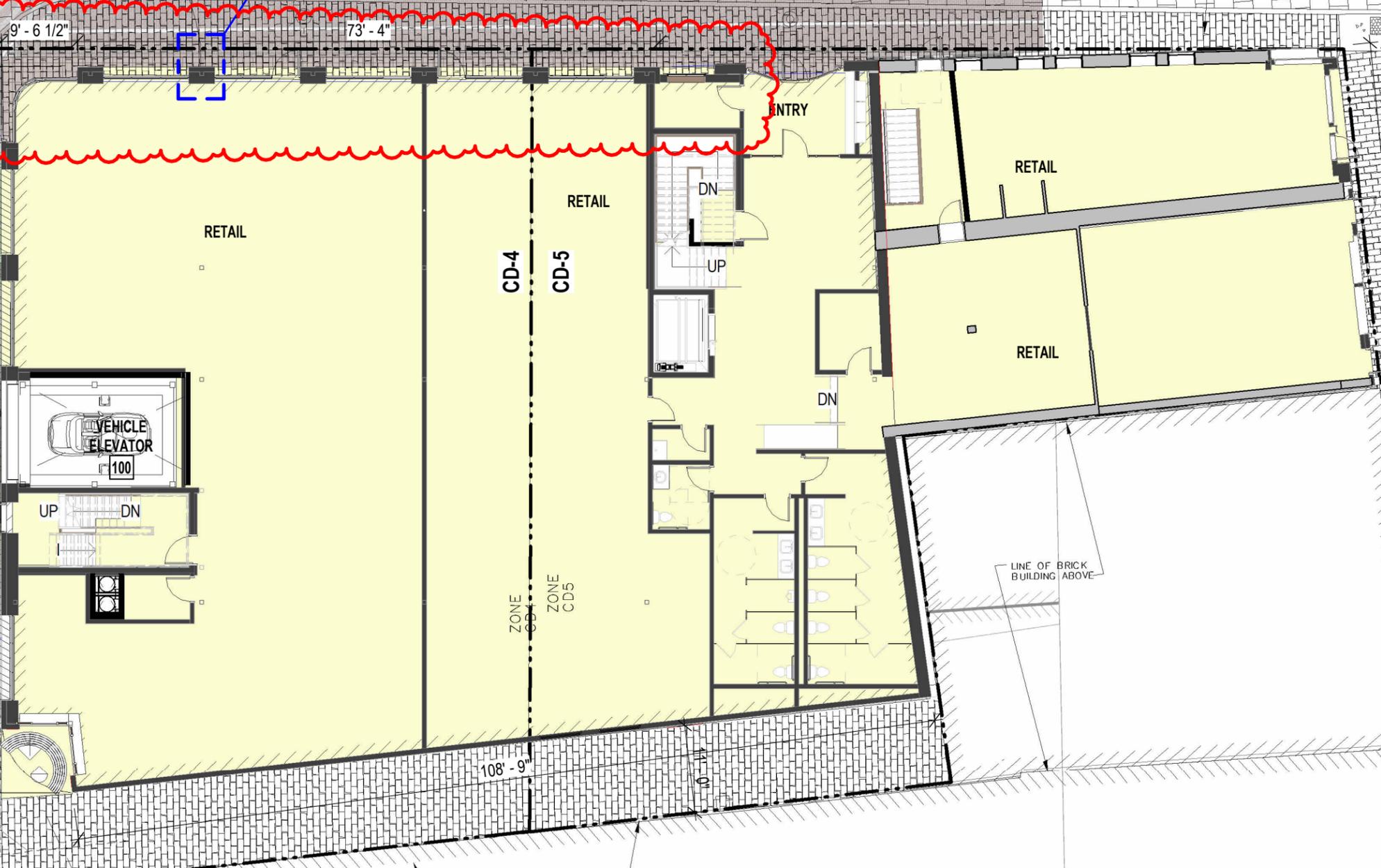
9' - 7"

73' - 7 3/8"

8' - 0"

108' - 9"

42' - 9 1/2"

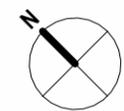


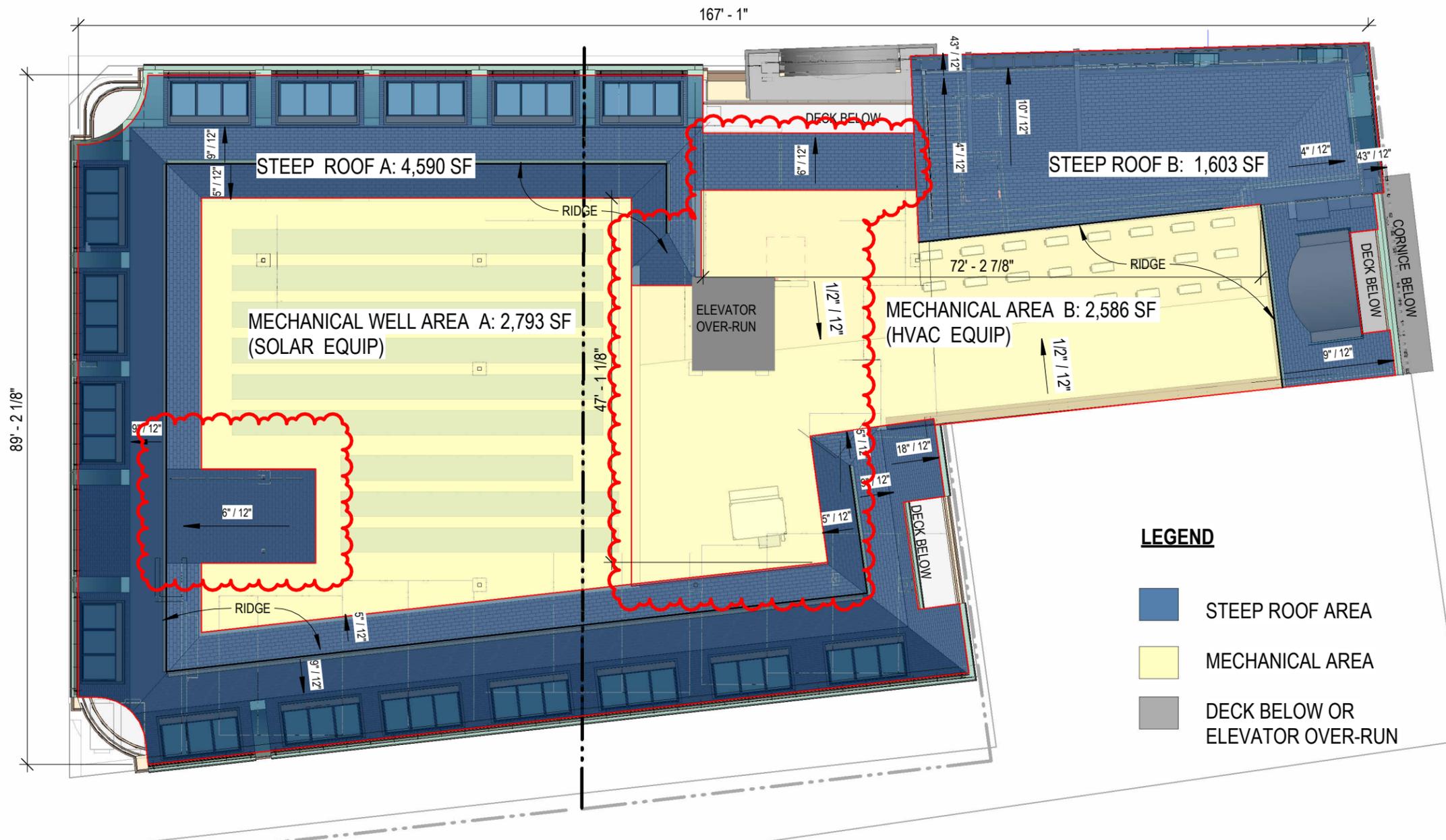
#19  
H5.14

# FIRST FLOOR PLAN 1 CONGRESS STREET

SCALE: 1/16" = 1'-0"  
10/14/2022

GRAPHIC SCALE: 1/16" = 1'-0"

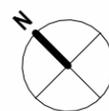




**LEGEND**

- STEEP ROOF AREA
- MECHANICAL AREA
- DECK BELOW OR ELEVATOR OVER-RUN

HIP TOP MANSARD ROOF	
1 Congress Street	
10/13/2022	
<b>SLOPED ROOF AREAS</b>	
STEEP ROOF AREA A	4,590
STEEP ROOF AREA B	1,603
<b>Total</b>	<b>6,193</b>
<b>MECHANICAL AREAS</b>	
MECHANICAL AREA A	2,793
MECHANICAL AREA B	2,586
<b>Total</b>	<b>5,379</b>
<b>TOTAL ROOF AREA</b>	<b>11,572</b>
Slope roof % of total	53.52%
<b>Flat roof % of total</b>	<b>46.48%</b>



GRAPHIC SCALE: 1/16" = 1'-0"

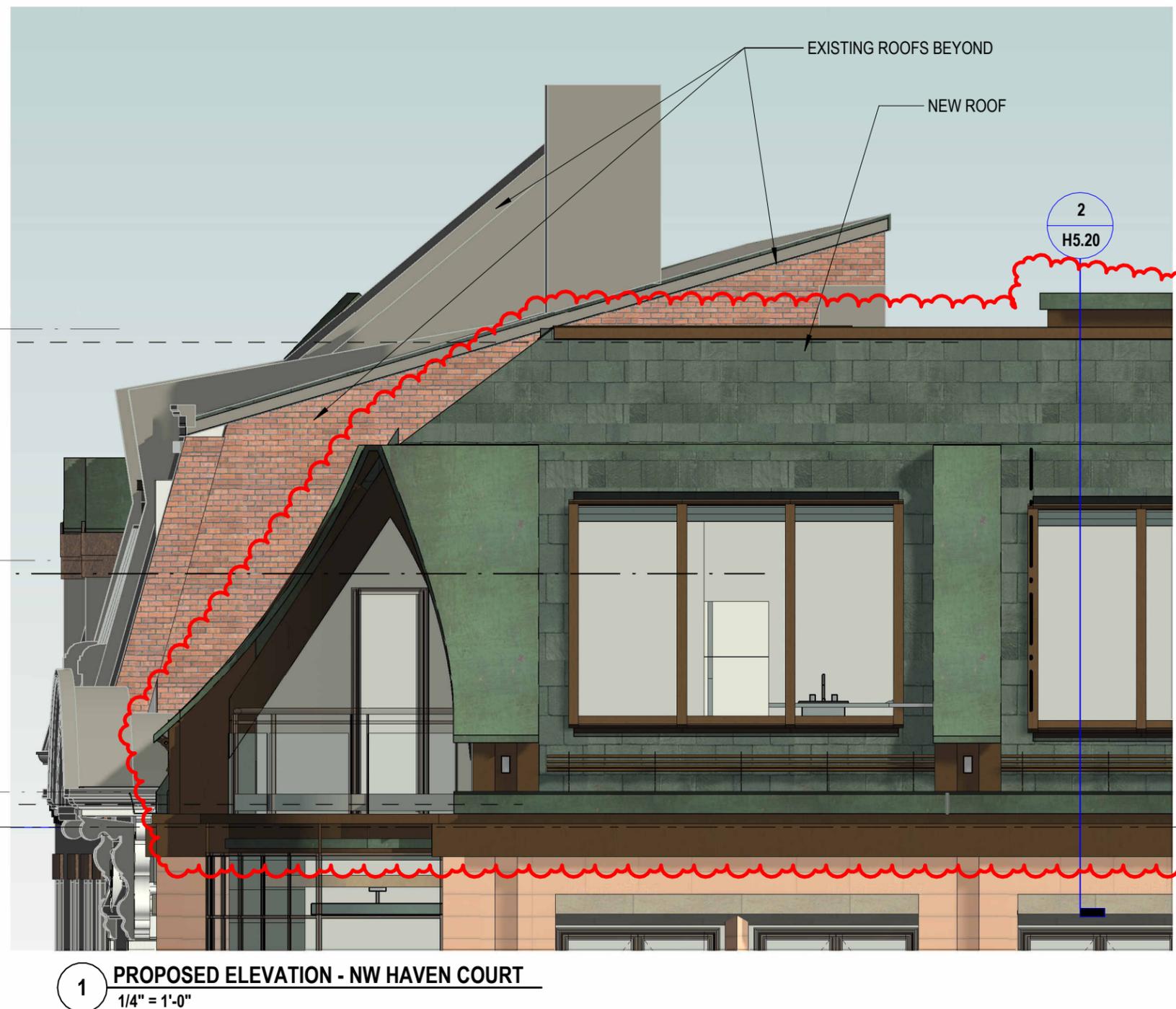
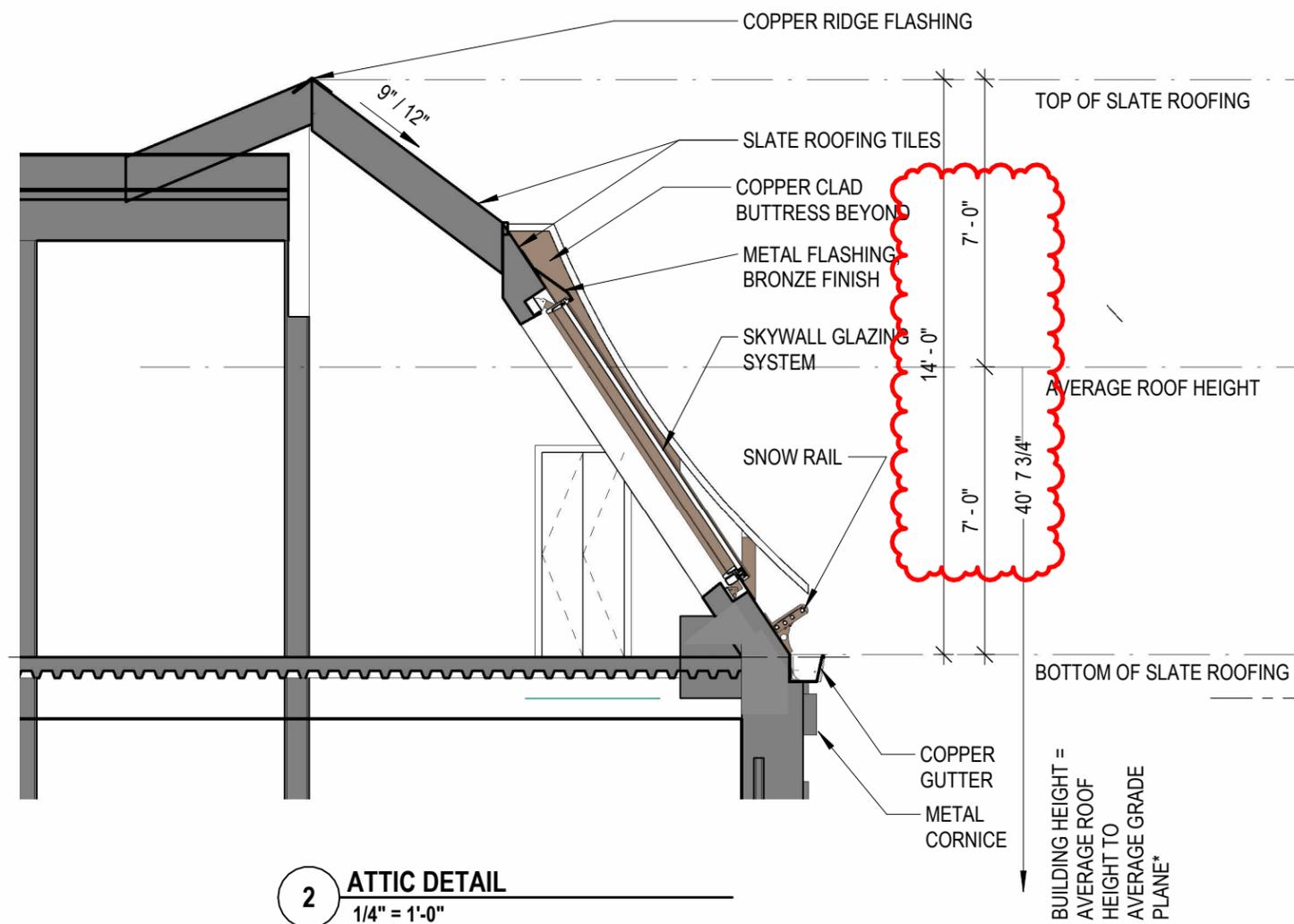


**H5.17 ROOF AREA CALCULATIONS**  
**1 CONGRESS STREET**

SCALE: 1/16" = 1'-0"  
10/14/2022



COPYRIGHT © 2022



**H5.20** ROOF HEIGHT DETAIL - HAVEN CT  
 1 CONGRESS STREET

SCALE: 1/4" = 1'-0"  
 10/14/2022

\* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16



COPYRIGHT © 2022



**1 PROPOSED ELEVATION - CONGRESS STREET**  
3/32" = 1'-0"



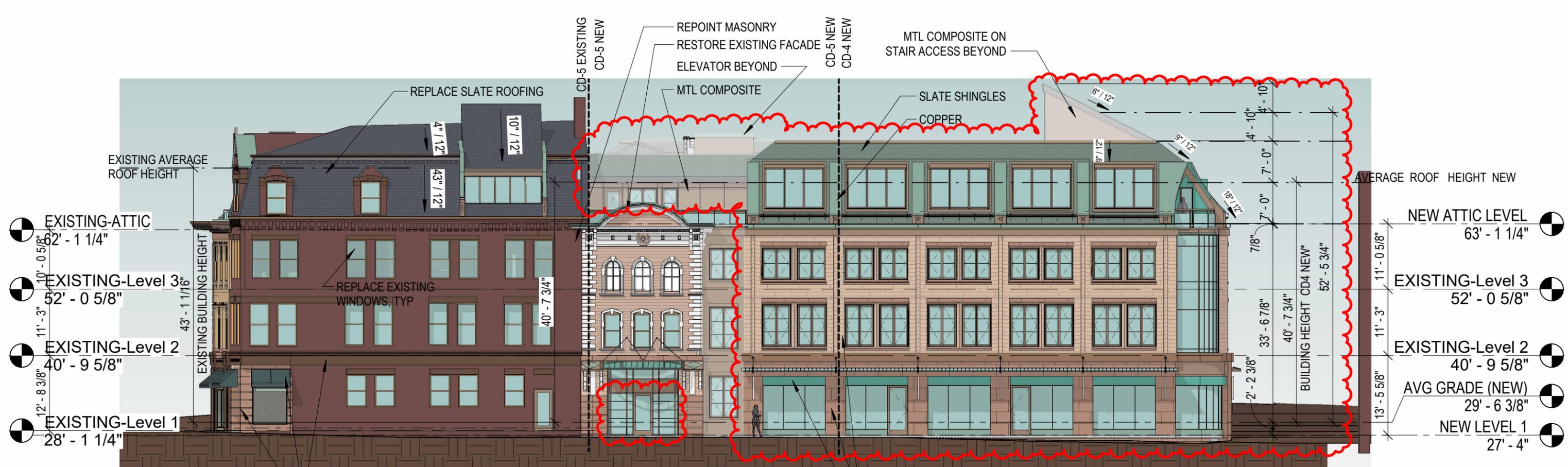
- RESTORE & RECREATE ORIGINAL GRANITE AND CAST IRON STOREFRONT
- REPLICATE EARLY 20TH CENTURY STAINED GLASS TRANSOMS
- REPLICATE HISTORIC PEDIMENTS
- REPLICATE ORIGINAL CAST IRON STOREFRONT THIS SIDE

**2 PROPOSED ELEVATION - CONGRESS STREET**  
1/8" = 1'-0"

**H5.21 ELEVATION - CONGRESS STREET**  
**1 CONGRESS STREET**

SCALE: As indicated  
10/14/2022



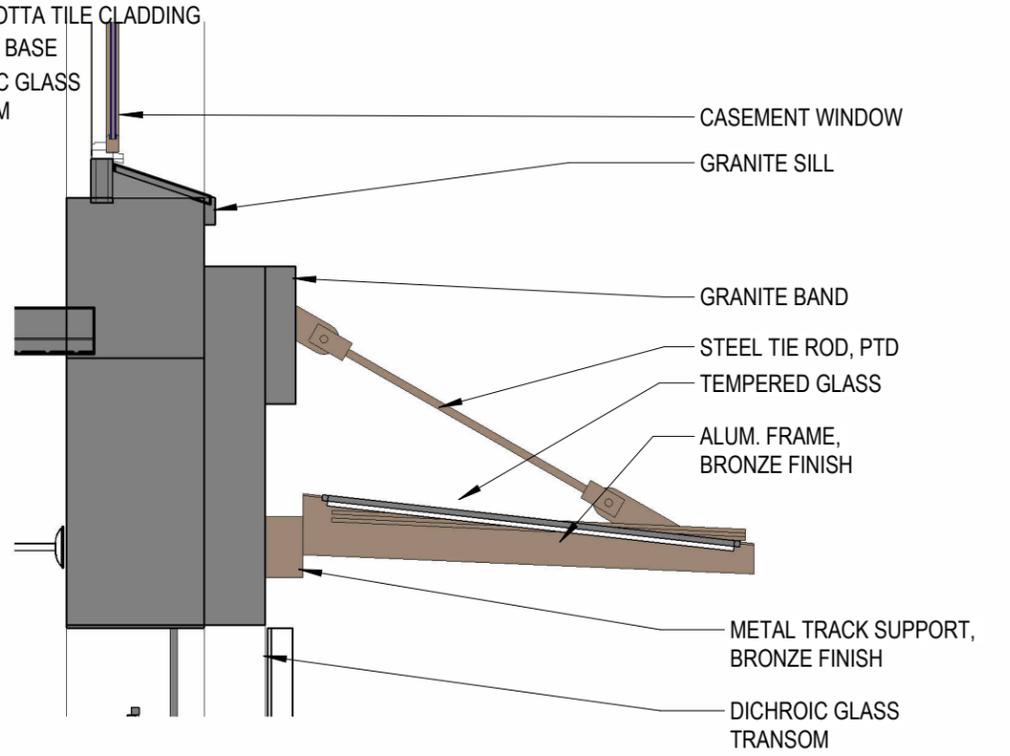


**1 PROPOSED ELEVATION - NE - HIGH STREET**  
1/16" = 1'-0"



**2 PROPOSED ELEVATION - NE - HIGH STREET**  
1/8" = 1'-0"

**3 HDC AWNING DETAIL**  
1/2" = 1'-0"



**H5.22 ELEVATION - HIGH STREET**  
**1 CONGRESS STREET**

SCALE: As indicated  
10/14/2022





**2 NORTH ELEVATION - HIGH STREET & HAVEN COURT (OBLIQUE)**  
 1/16" = 1'-0"



**1 PROPOSED ELEVATION - NW HAVEN COURT**  
 1/16" = 1'-0"

- NEW ATTIC LEVEL 63' - 1 1/4"
- EXISTING-Level 3 52' - 0 5/8"
- EXISTING-Level 2 40' - 9 5/8"
- AVG GRADE (NEW) 29' - 6 3/8"
- NEW LEVEL 1 27' - 4"

**ELEVATIONS - HAVEN COURT**  
**1 CONGRESS STREET**

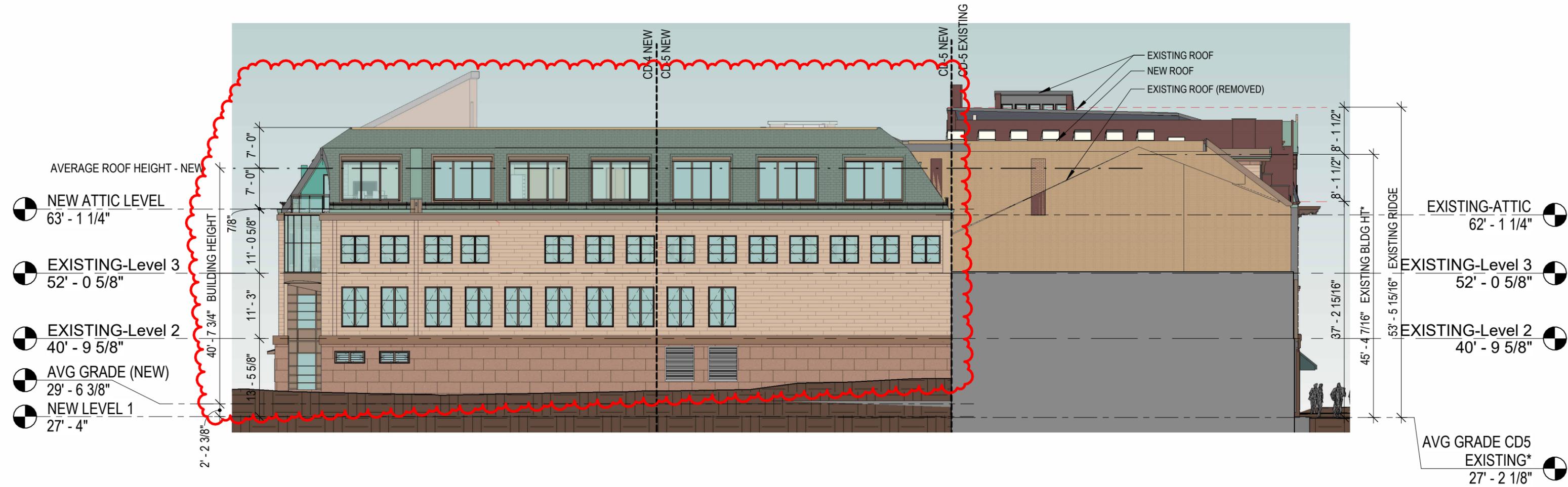
SCALE: 1/16" = 1'-0"  
 10/14/2022

H5.23

\* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16



COPYRIGHT © 2022

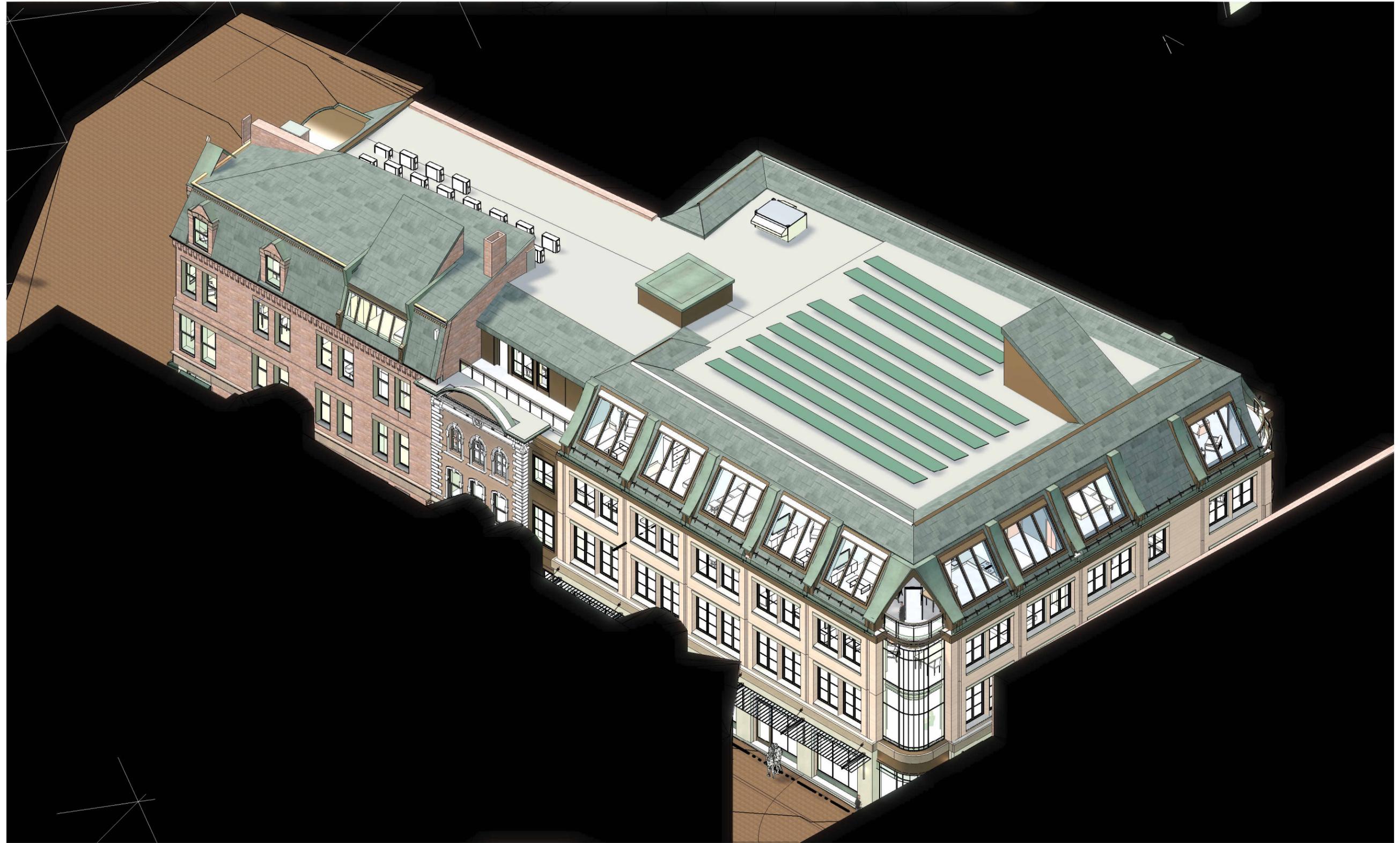


**H5.24 SW ELEVATION - REAR ALLEY**  
**1 CONGRESS STREET**

SCALE: 1/16" = 1'-0"  
10/14/2022



COPYRIGHT © 2022



**H5.31 BIRDSEYE AXONOMETRIC  
1 CONGRESS STREET**

SCALE:  
10/14/2022



**H5.33 VIGNETTES - HIGH FROM CONGRESS  
1 CONGRESS STREET**

SCALE:  
10/14/2022



COPYRIGHT © 2022



H5.34

**HIGH STREET FROM STARBUCKS  
1 CONGRESS STREET**

SCALE:  
10/14/2022



COPYRIGHT © 2022



**H5.35. VIGNETTE - HAVEN CT FROM LADD ST  
1 CONGRESS STREET**

SCALE:  
10/14/2022



COPYRIGHT © 2022



**H5.36** VIGNETTE - HIGH AT LADD & HAVEN  
**1 CONGRESS STREET**  
SCALE:  
10/14/2022  
TANGRAM 3DS



**H5.37** VIGNETTE - HAVEN CT AT NEWBERRY  
1 CONGRESS STREET

SCALE:  
10/14/2022



COPYRIGHT © 2022

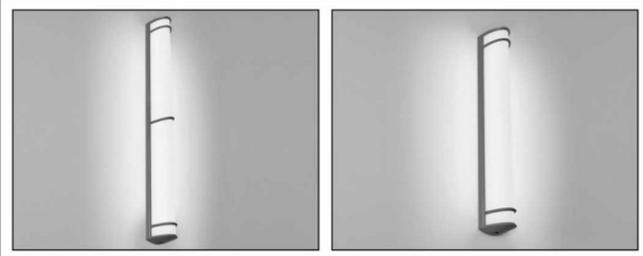
**RAVEN™**  
OW1340/OW1342/OW1344/OW1346/OW1348  
Outdoor models with Accent Bars

Rev. 2022/09/25



VisaLighting.com/products/Raven

Type: \_\_\_\_\_ Project: \_\_\_\_\_ Location: \_\_\_\_\_



**DIMENSIONS<sup>1</sup>**

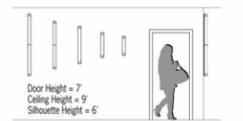
L = Length D = Depth W = Width WT = Weight

	OW1348	OW1340	OW1342	OW1344	OW1346
L	18-1/2" (470 mm)	24-3/4" (629 mm)	36-1/2" (927 mm)	48-5/8" (1229 mm)	60-1/8" (1527 mm)
D	4" (102 mm)				
W	3-3/8" (86 mm)				

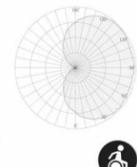
**FEATURES**

- Integral driver
- Vertical or horizontal mounting
- Mounts to 2 X 4 electrical junction box (by others) with provided hardware. Requires auxiliary mounting fasteners (provided). Orient junction box to match fixture's linear dimension (horizontal or vertical)
- Tamper resistant fasteners
- High impact extruded aluminum backplate/side rails, die-cast end caps and trim bars; gasketed and sealed construction
- Extruded clear prismatic performance lens and extruded white acrylic diffuser
- High impact extruded white acrylic, FI rated; UV stable; UL-94 HB Flame Class rated
- No VOC powder coat finish
- ETL listed for wet location mounting 4' above grade

**RELATIVE SCALE DRAWING**



**PHOTOMETRICS**



800-788-VISA

VisaLighting.com

Page 1

**RAVEN (cont.)**

OW1340/OW1342/OW1344/OW1346/OW1348  
Outdoor models with Accent Bars



**FINISHES**

Specify color code when ordering. For accurate color matching, individual paint and finish samples are available upon request. For more information about our finishes visit [visalighting.com/finishes](http://visalighting.com/finishes)

**Powder Coat Paint Finishes (Standard)**

AGGY Agate Grey	ALGN Alpine Green	BJBG Baja Beige	BMAT Bronze Matt	<b>BRNZ Bronze</b>	BSIL Blade Silver	CVBL Cove Blue
DEOR Deoro Gold	GLWT Glacier White	GSIL Graphite Silver	HRGR Harbor Grey	JTBK Jet Black	OCBL Ocean Blue	SHGR Shoreline Grey
SBGN Sagebrush Green	SLGR Slate Grey	SSTP Sierra Taupe	TRCN Terracotta Canyon	TRWT Traffic White	VBLK Velvet Black	VNRD Vineyard Red

TRIFAB® VG (VERSAGLAZE®)  
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &  
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM

**Design + Performance**  
Versatility with Unmatched  
Fabrication Flexibility



Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual IsoLock® thermal break.

**AESTHETICS**

Trifab® VersaGlaze® Framing Systems offer front-, center-, back- or multi-plane glass

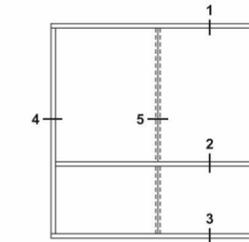
**STOREFRONT**

BLACK	BOYSENBERRY	HARTFORD GREEN
SANDSTONE	CLASSIC BRONZE	MILITARY BLUE
BONE WHITE	COLONIAL WHITE	ANTIQUE BRONZE
DOVE GRAY	DARK IVY	CHARCOAL
REDWOOD	SEA WOLF	MEDIUM BRONZE

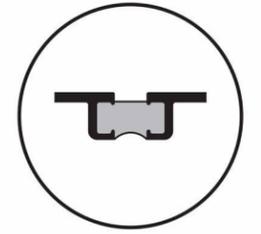
glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be

Additional information and CAD details are available at [www.kawneer.com](http://www.kawneer.com)



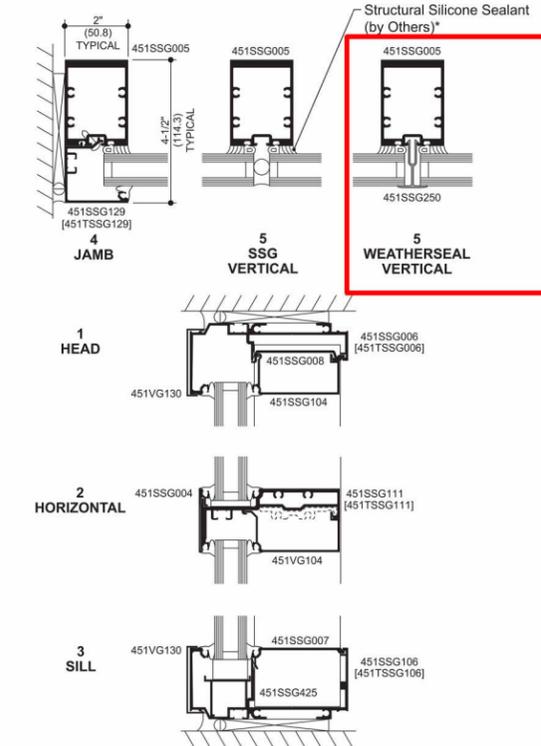
ELEVATION IS NUMBER KEYED TO DETAILS



NUMBERS IN BRACKETS ARE THERMALLY BROKEN MEMBERS

**STICK (INSIDE GLAZED)  
TWO COLOR OPTION**

**SSG RECEPTOR**



\* INSTALLER NOTE: Installer is responsible for all required compatibility review and approvals with the Structural Silicone Manufacturer and the Insulating Glass Unit Manufacturer.



ADMCO40EN

kawneer.com

**WALL SCONCE  
LIGHT FIXTURES**



**H5.55**

**MATERIALS STOREFRONT & SCONCE  
1 CONGRESS STREET**

SCALE:  
10/14/2022



COPYRIGHT © 2022

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

© 2018, Kawneer Company, Inc.