

SITE WALK- 40 PLEASANT STREET- WEDNESDAY, OCTOBER 05, 2022 @ 5:30 P.M.

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

6:30 p.m.

October 05, 2022

AGENDA (revised on October 05, 2022)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. September 07, 2022
2. September 14, 2022

II. ADMINISTRATIVE APPROVALS

1. 11 Walden Street (LUHD-502)
2. 621 Islington Street, Unit E (LUHD-528)
3. 621 Islington Street, Unit D (LUHD-527)
4. 553 Islington Street (LUHD-531)
5. 55 Gates Street (LUHD-532)
6. 12 South Street (LUHD-533)
7. 7 Hancock Street (LUHD-536)
8. 93 Pleasant Street (LUHD-535)
9. 31 Aldrich Road, Unit 33 (LUHD-534)

III. PUBLIC HEARINGS (OLD BUSINESS)

A. REQUEST TO POSTPONE- Petition of **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 5 story mixed-use building and a 5 story hotel as per plans on file in the Planning Department. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lie within the Character District 4 (CD4) and Historic Districts. (LU-21-54)

B. REQUEST TO POSTPONE- Petition of **43 Holmes Court, LLC, owner**, for property located at **43 Holmes Court**, wherein permission is requested to allow the demolition of the existing home and the new construction of a single family home of similar design as per plans on

file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 14 and lies within the Waterfront Business (WB) and Historic Districts. (LU-22-72)

C. **REQUEST TO POSTPONE-** Petition of **Sheafe Street Condominium Association, owner and Smith Family Declaration of Trust, Todd C. Smith, Trustee, applicant**, for property located at **159 State Street, Unit #3A**, wherein permission is requested to allow the installation of mechanical equipment (HVAC condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 46-303A and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-68)

D. **REQUEST TO POSTPONE-** Petition of **Seacoast Management Consulting, LLC, owner**, for property located at **3 Walton Alley**, wherein permission is requested to allow renovations to an existing structure (replace rear window, add back storm door and add A/C condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 20 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-100)

E. **REQUEST TO POSTPONE-** Petition of **Pickering Wharf Condominium Association, owner**, for property located at **33 South Mill Street**, wherein permission is requested to allow new construction to an existing structure (add solar array to roof of existing building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102, Lot 17 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-171)

F. (*Work Session/Public Hearing*) requested by **Customs House, LLC, owner**, for property located at **40 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (replacement windows) and new construction to an existing structure (add new window canopy system and add exterior lighting) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 81 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-22-170)

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. (*Work Session/Public Hearing*) requested by **City of Portsmouth, owner**, for property located at **0 Marcy Street (Prescott Park)**, wherein permission is requested to allow the partial demolition of an existing structure (the rear portion of the Shaw Warehouse), the relocation of the remaining structure closer to Marcy Street, and renovations to an existing structure (complete exterior modifications) as per plans on file in the Planning Department. Said property is shown on Assessor Map 104 as Lot 5 and lies within the Municipal and Historic Districts. (LU-22-188)

2. Petition of **490 Islington Street Condominium Association, owner**, for property located at **490 Islington Street Unit #2**, wherein permission is requested to allow new construction to an existing structure (add a skylight over an existing bathroom) as per plans on file in the Planning Department. Said property is shown on Assessor Map 156 as Lot 1-2 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-187)

3. (Work Session/Public Hearing) requested by **Lucky Thirteen Properties, LLC, owner**, for property located at **147 Congress Street**, wherein permission is requested to allow new construction to an existing structure (construct a 1-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 4 and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts. (LU-22-192)

4. Petition of **EIGHTHKPH, LLC, owner**, for property located at **161 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a new mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 17-3 and lies within the Character District 5 (CD5) and Historic Districts. (LU-22-173)

V. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Work Session requested by **Lucky Thirteen Properties, LLC, owner**, for property located at **361 Islington Street**, wherein permission is requested to allow new construction to an existing structure (add side and rear additions) and renovations to an existing structure (new siding, windows and mechanical screening) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LUHD-521)

B. **POSTPONED TO THE NOVEMBER 02, 2022 MEETING-** Work Session requested by **SEVENKPH, LLC, owner**, for property located at **324 Maplewood Avenue**, wherein permission is requested to allow renovations to an existing structure (replace and add windows and doors, new siding and trim details on the single story accessory structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 1 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LUHD-481)

VI. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_iPTNva93QXKyywEhZ-2jQ

**MINUTES
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

September 07, 2022

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; City Council Representative Rich Blalock; members Margot Doering, Martin Ryan, David Adams, and Dan Brown; Alternates Karen Bouffard and Johanna Landis

MEMBERS EXCUSED: None.

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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Chairman Wyckoff introduced and welcomed the new Commissioner member Johanna Landis.

The two sets of August minutes were **approved** as presented.

I. ADMINISTRATIVE APPROVALS

Note: Administrative Item 6 for 11 Walden Street, was reviewed out of order.

1. 60 Penhallow Street (LUHD-523)

The request was to change the second-floor frieze band and adjust the board spacing from 12” to 6”, remove a gate, replace the wood trim on the second-floor windows, add a fireplace exhaust, and change the siding from a dark to a medium color. The applicant’s representative Tracy Kozak was present and said the difference between the two materials was that the primary siding on the building was a wood veneer composite in a medium brown color and the two rounded corners were a darker shade of brown.

2. 41 Dearborn Street (LUHD-517)

The request was for a condenser on the side of the building and a new fence to screen it.

Stipulations:

1. The fence shall be maintained in the same location, and
2. The vent shall be painted to match the house.

3. 82 Congress Street (LUHD-518)

Vice-Chair Ruedig recused herself from the item.

Mr. Cracknell said the previous approval of the project had a stipulation that the transom windows on the side be presented with a better design for administrative approval. The applicant's representative architect Mark Gianniny was present and proposed three options: 1) clear glass; 2) frosted glass, and 3) textured glass. After further discussion, the majority of the Commission decided that Option 3, the textured glass, was preferred.

4. 245 Islington Street, Unit #6 (LUHD-519)

The request was to replace two windows in kind.

5. 258 Maplewood Avenue (LUHD-522)

The request was to replace the balustrade at the back of the house with a code-compliant railing of a different design.

6. 11 Walden Street (LUHD-502)

The request was to place a condenser on the side of the house. Mr. Cracknell said the applicant confirmed that the proposed location was on his property and that it would need a variance because the location was within ten feet of the lot line. He suggested that the item be continued until the Board of Adjustment granted the variance.

Vice-Chair Ruedig moved to **continue** the item to the October 5 meeting, seconded by City Council Representative Blalock. The motion passed unanimously.

7. 232 South Street (LUHD-526)

Mr. Cracknell said the project was previously approved with shutters on the front but the new owner preferred not to have them.

Mr. Brown moved to **approve** Items 1, 2, 4, 5, and 7, seconded by City Council Representative Blalock. The motion passed unanimously.

Mr. Brown moved to **approve** Item 3, 82 Congress Street, seconded by Mr. Blalock. The motion passed unanimously, with Vice-Chair Ruedig recused.

II. DEMOLITION REVIEW COMMITTEE

Mr. Cracknell said the five members usually met once a year to review demolition applications outside of the Historic District that didn't go before the BOA or the Planning Board for major alterations. He reviewed the process and objectives in detail (see video time 22:30).

Vice-Chair Ruedig moved to **recommend** the Demolition Review Committee's revisions, along with the removal of the exemption of the Planning Board and the BOA. City Council Representative Blalock seconded. The motion passed unanimously.

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 5 story mixed-use building and a 5 story hotel as per plans on file in the Planning Department. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lie within the Character District 4 (CD4) and Historic Districts. (LU-21-54)

SPEAKING TO THE PETITION

The applicant's representatives architect Carla Goodknight and Eben Tormey were present to speak to the petition. Ms. Goodknight recapped how the project evolved over nine work sessions and reviewed the petition in detail.

Chairman Wyckoff asked if the wood construction was on a platform or a steel-framed building and whether solar panels were considered. Ms. Goodknight said it was wood construction and the building was solar ready for future panels if desired. In response to further questions from the Chair, Mr. Tormey showed the locations of the four upward-acting storefront doors. Vice-Chair Ruedig asked if there were plans for documenting any of the demolished buildings. Mr. Tormey said they didn't have a specific plan but would do so. Vice-Chair Ruedig suggested stipulating it.

Chairman Wyckoff opened the public hearing.

SPEAKING IN OPPOSITION TO THE PETITION

Elizabeth Bratter of 159 McDonough said she was shocked that the Commission was moving to approve the petition, considering that most of their requests during the last three work sessions weren't met, like having bolder entrances and canopies and signature features. She further elaborated and made suggestions. She said the applicant seemed to make only one small change at every work session, and she thought the Commission should put off approval until something was seen that they specifically asked for.

Mr. Ryan said he agreed with some of Ms. Bratter's comments. He said he had asked for more articulation and didn't get it. He said he could live with the massing based on the fact that the building had to be pulled out from the 100-ft buffer, but the fact that he didn't receive the level of architecture and articulation that he had asked for would cause him not to support the petition. Ms. Landis said she could not approve a project of that size being mundane and architecturally uninteresting. City Council Representative Blalock agreed that the Commission had asked for more architecture. He said there was a wall that didn't exist anywhere else, and he didn't think the architecture was significant enough to support such massing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else spoke, and Chairman Wyckoff closed the public hearing.

DISCUSSION AND DECISION OF THE COMMISSION

Mr. Ryan moved to **continue** the application to the October 5 meeting for purposes of discussion, seconded by Ms. Doering.

Mr. Cracknell pointed out that the public hearing could be continued to give the applicant an opportunity to return with revisions. City Council Representative Blalock agreed. Mr. Brown pointed out that the Commission had nine work sessions with the applicant and hadn't seen anything that really made them happy, although they saw changes that were acceptable. Vice-Chair Ruedig said she could support the continuance but the design changes would have to be drastically different. She noted that the architecture and design had been very underwhelming and mirrored the Portwalk buildings more than it did some of the nearby newer construction, and she didn't think Portwalk was the level of quality that the Commission wanted to use for context for the applicant's buildings. Mr. Adams said he felt he was part of the problem because he was pushing to have separate windows, thinking it would give the building more texture. He said he was pleased with the buildings being broken up into vertical columns reminiscent of row buildings in Portsmouth but never found comfort in the earlier designs. He said he felt more comfortable as the designs developed but still wasn't inspired by them, noting that the building didn't have the edginess that a modern building should have. He said the applicant did a good job in making better entrances to the building over time and the building's presence of Maplewood Avenue was improved, but there was nothing inspiring about it.

The motion to **continue** the petition to the October 5 meeting passed by unanimous vote, 7-0.

B. Petition of **Seacoast Management Consulting, LLC, owner**, for property located at **3 Walton Alley**, wherein permission is requested to allow renovations to an existing structure (replace rear window, add back storm door and add A/C condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 20 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-100)

SPEAKING TO THE PETITION

The owner Lisa Massina was present to speak to the petition. She said the only place to put the condenser was to the right of the back stairs. She said the new window was historic and the storm door was high quality.

In response to Ms. Doering's questions, the applicant said the Andersen window was six feet wide and the condenser would be tucked into the corner by the fence. Ms. Doering noted that there was no proposal to change the stairs and that it looked like the condenser would either sit at the bottom of the stairs or be further to right beyond the side wall of the house. The applicant said the stairs were moving to the back, even though it wasn't noted in the petition. Mr. Cracknell said he was told that the condenser would be on the left-hand side by the bulkhead but now it was on the right and the stairs were moving. He said the applicant would have to return for an administrative approval with an exact location and would also need a variance. Ms. Doering said the picture window looked very big. Chairman Wyckoff said a drawing was required to show how the new window would go over to the corner. Vice-Chair Ruedig said

changing the stairs would make it cleaner and suggested that the property tax map be used so the Commission could see how things were moving out. The Commission said they would prefer two double hung windows instead of the large window.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and the Chair closed the public hearing.

DECISION OF THE COMMISSION

Vice-Chair Ruedig moved to **continue** the application to the October 5 meeting, seconded by City Council Representative Blalock. The motion passed unanimously.

C. **POSTPONED TO THE OCTOBER 05, 2022 MEETING-** Petition of **43 Holmes Court, LLC, owner**, for property located at **43 Holmes Court**, wherein permission is requested to allow the demolition of the existing home and the new construction of a single family home of similar design as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 14 and lies within the Waterfront Business (WB) and Historic Districts. (LU-22-72)

The petition was **postponed** to the October 5 meeting.

D. **POSTPONED TO THE OCTOBER 05, 2022 MEETING-** Petition of **Sheafe Street Condominium Association, owner and Smith Family Declaration of Trust, Todd C. Smith, Trustee, applicant**, for property located at **159 State Street, Unit #3A**, wherein permission is requested to allow the installation of mechanical equipment (HVAC condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 46-303A and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-38)

The petition was **postponed** to the October 5 meeting.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission is requested to allow new construction to an existing structure (minor demolition, new construction, restoration and renovation of the accessory structures and annex of the main home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. (LU-22-169)

SPEAKING TO THE PETITION

Architect Carla Goodknight was present on behalf of the applicant and reviewed the petition.

Vice-Chair Ruedig said it was a well thought-out design and restoration and the new additions and connector section configuration were appropriate in design and style, but she was still baffled as to why the stone was being used. She said she would prefer that the chimney be done in brick because the outcome of that type of stone would not be attractive. She said she could accept the stone in the lower parts of the addition but not the chimney.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

City Council Representative Blalock moved to **grant** the Certificate of Compliance for the petition as presented, seconded by Mr. Ryan.

Mr. Blalock said the project would conserve and enhance property values and would have relation to the historic and architectural value of the existing structure. Mr. Ryan said the level of preservation was incredible and a model for any other restoration project in Portsmouth. He said he could accept the applicant's personal preferences with the stone in the back.

Ms. Doering said she didn't think the project was in keeping with the nature of the historic building but thought the preservation work was fantastic, which is why she was baffled by the amount of care put into the old building but the massive, very modern structure being put in the back. She said the back wasn't a typical back-of-the-house because it was a structure almost the size of the existing one. She said the building was an iconic one and the size, mass, and style of the addition seemed out of place. City Council Representative Blalock said the massing in the back did give him caution but he didn't think it was visible. He said he would prefer a brick chimney but it wasn't a deal breaker for him. Mr. Brown said the backyard was so private that the applicant should be allowed to do what they wanted. Ms. Doering pointed said she had seen more than one person lose their backyard privacy because the neighbor cut back the trees.

The motion **passed** by a vote of 4-3, with Ms. Doering, Mr. Adams, and Vice-Chair Ruedig voting in opposition.

Mr. Brown recused himself from the following petition, and Alternate Bouffard took a voting seat.

2. Petition of **Pickering Wharf Condominium Association, owner**, for property located at **33 South Mill Street**, wherein permission is requested to allow new construction to an existing structure (add solar array to roof of existing building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102, Lot 17 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-171)

SPEAKING TO THE PETITION

The applicant Kevin Bean was present and said he owned the duplex and that he met with Synergy Solutions, who submitted the plans.

Chairman Wyckoff asked if the new roof would be asphalt and if the plan had been shown to the Building Inspector or the Fire Department. Mr. Bean said the new roof would be asphalt and thought the solar contractor presented the plans to the Building Inspector. Chairman Wyckoff said other applicants shrunk down the amount of solar panels because room was needed for firefighters to walk up the sides and front. He said the roof could not be solid solar panels. Mr. Cracknell explained that the Inspection and/or Fire Department would require a 4-ft setback from all the edges and that the application would no doubt be modified. Vice-Chair Ruedig said the HDC guidelines had a section for placement of solar panels and that they could not be very visible from the public way. She said solar panel arrays were usually approved for the back of the building or a space that's not visible and she could not support panels on the façade of the applicant's house. She asked if the panels could be put on the flat section and tilted up. The applicant said he could put a racking system. Vice-Chair Ruedig asked that it be photographed and mocked-up so the Commission could see that it wouldn't be visible.

Chairman Wyckoff asked if the shed roof addition had a low pitch roof. The applicant agreed and explained what the rack would look like. Chairman Wyckoff suggested that the Commissioners could do a site walk on their own. Ms. Doering said the proposed location wasn't acceptable and agreed that a mock-up of the racking system should be presented.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and the Chair closed the public hearing.

DECISION OF THE COMMISSION

Mr. Brown moved to **continue** the petition to the October 5 meeting, seconded by Ms. Doering. The motion passed unanimously.

3. Petition of **Paul S. Neilson, owner**, for property located at **31 Aldrich Road, Unit # 33**, wherein permission is requested to allow new construction to an existing structure (add rear deck, extend existing rear bump out addition, replace (1) window and (1) door, replace (2) screen doors, replace (2) bulkheads, replace existing shed and remove and replace existing composite decking on the front of the structure) as per plans on file with the Planning Department. Said property is shown on Assessor Map 153, Lot 28 and lies within the General Residence A (GRA) and Historic Districts. (LU-22-163)

SPEAKING TO THE PETITION

The applicant's representative Ben Molin was present and reviewed the petition.

Chairman Wyckoff asked why the roof stuck out. Mr. Molin said the owner wanted an area to sit out in, but that he could add some brackets to the overhang. He said everything would be in the back of the house, and he further reviewed the windows. Ms. Doering agreed that the overhang needed some visual support. Chairman Wyckoff said it was hard to approve a roof overhang that he knew was wrong structurally and wouldn't work. He said it was okay on the left side but the right side would obstruct the door and deck access. Mr. Molin explained how he would do it. In response to further questions, Mr. Molin said the shed was clear shakes and could be painted to match the house. He said the stairs and landing were composite but were fading, and the risers would stay, and there would be no changes to the balusters.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and the Chair closed the public hearing.

DECISION OF THE COMMISSION

Vice-Chair Ruedig moved to **grant** the Certificate of Compliance with the following stipulations:

1. The shed shall be painted to match the house; and
2. The applicant shall return for an administrative approval for the support design for the overhang.

City Council Representative Blalock seconded.

Vice-Chair Ruedig said the project would conserve and enhance property values and relate to the historic and architectural value of the existing structure.

The motion passed unanimously, 7-0.

4. (*Work Session/Public Hearing*) requested by **Customs House, LLC, owner**, for property located at **40 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (replacement windows) and new construction to an existing structure (add new window canopy system and add exterior lighting) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 81 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-22-170)

WORK SESSION

Architect Brandon Holben was present on behalf of the applicant. He said he wanted to review the windows and the concept of the canopies and the lighting. He said the current windows didn't work very well and seemed to be from the 1970s. Chairman Wyckoff said the replacement windows weren't simulated divided lights (SDLs), which was what the Commission insisted on if someone wanted that type of window. Mr. Holben said they were wood-framed, true SDLs, insulated and two-paned. Mr. Adams said he would need to look at them, and it was further

discussed. Vice-Chair Ruedig said the current windows had very thin muntins and were elegant looking. She asked if the applicant found any options that were all wood. Mr. Holben agreed. Vice-Chair Ruedig said the building was a focal and precious one. Screens were discussed. Mr. Holben explained why an interior screen couldn't be done. Ms. Doering said more information on the windows was needed. Mr. Brown said he went into the building the day before and saw only two original windows that had single panes. Chairman Wyckoff said a site walk was needed. Mr. Holben said they also wanted to eliminate the fire escape and that he would return with a plan to restore that egress.

Ms. Doering asked about the canopies. Mr. Holben said there was a large one at the primary entry to the retail and office space and he pointed out the locations of all the proposed canopies. He said lighting would also be integrated. He explained that the canopies were glass with metal frames anchored at the jambs. He said all the doors would be replaced. He described the new windows and lighting. Mr. Cracknell asked if the color of the light could be changed. Mr. Holben agreed and said he could bring a sample of it at the next work session.

Ms. Doering said she had concerns with the canopies, which she felt should be simple and allow people to see the arches through them. She said the large canopy was very ornate and didn't think that style was right for the building. She said the placement was appropriate but asked why the canopy was needed in the first place because historically the building had awnings and not canopies, and she asked why canopies would be drilled into that building. Ms. Landis agreed. Vice-Chair Ruedig said a fabric canopy would also be historically appropriate if it were lighter and more delicate. Mr. Ryan said a canopy would be a nice reproduction feature for the building but just needed to be dialed down because it was so heavy and should be lighter and more elegant. He suggested a traditional-looking steel window with a very thin muntin. He said the lighting would be difficult and thought the examples shown were too garish.

The drilling into the building was further discussed. Chairman Wyckoff said there already was drilling into the building. Vice-Chair Ruedig said they could be patched. Mr. Adams said the building suffered from a history of things put into it. He said it wasn't the holes, it was the stuff left behind. He said affordable stainless steel was available. Ms. Doering said she'd like to see other options. City Council Representative Blalock said the building was very important and that adding a modern awning to a grand old building wasn't appropriate. He said he was excited about the lighting that he felt would celebrate the building's architectural features.

Chairman Wyckoff concluded that the Commission was split on the canopy but there seemed to be more support for the lighting. He said he was concerned about the windows and thought a site walk was needed. Vice-Chair Ruedig said she wanted to know what other replacement options were found by the applicant. Mr. Adams said he agreed with Mr. Ryan that a modern awning unit may make a bit of excitement for the building and may be more practical than a canvas-type material, but the idea of putting them across the openings was a non-starter to him. He agreed that the location of the awnings was also a concern.

There was no public comment.

DECISION OF THE COMMISSION

Mr. Brown moved to **continue** the work session, seconded by Mr. Ryan. The motion passed by unanimous vote, 7-0.

V. WORK SESSIONS (OLD BUSINESS)

A. **POSTPONED TO THE NOVEMBER 02, 2022 MEETING-** Work Session requested by **SEVENKPH, LLC, owner**, for property located at **324 Maplewood Avenue**, wherein permission is requested to allow renovations to an existing structure (replace and add windows and doors, new siding and trim details on the single story accessory structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 1 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LUHD-481)

The petition was **postponed** to the November 2 meeting.

VI. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Lucky Thirteen Properties, LLC, owner**, for property located at **361 Islington Street**, wherein permission is requested to allow new construction to an existing structure (add side and rear additions) and renovations to an existing structure (new siding, windows and mechanical screening) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LUHD-521)

WORK SESSION

Architect Brandon Holben and his project team were present. Mr. Holben reviewed the site plan and said the goal was to transform the building into a full-service restaurant with indoor and outdoor seating, add some greenspace, and construct small additions on the west and north. He said the existing canopy would be altered to create patio space, all the windows would be replaced, the materials would be wood and metal cladding and the existing concrete block would be painted, and the parking would be screened.

Mr. Adams said the building needed more volume and asked about the siding and exterior materials. Mr. Holben said the materials would be consistent with the 1950s vintage building by being industrial metal. He said there would be indoor seating for 44 people as well as outdoor seating. Ms. Doering said she liked where the project was headed by using the building's iconic 50s style as a jumping-off point and cleaning and jazzing it up without losing that feeling.

Mr. Holben reviewed the materials, patio lighting, garage doors, and windows. He said the lighting plan needed more work but they planned on having string lighting for the patio. Chairman Wyckoff asked if wood strips would be added to the open trestle area or if the existing metal would be kept. Mr. Holben said they would just use the big canopy. He said the large tree would remain only if the addition were smaller. Chairman Wyckoff said the building was being respected and looked good so far. Vice-Chair Ruedig said she was excited with the plan and the fact that the canopy was being kept and the building was being embraced for what it was and being brought back to life. Mr. Ryan advised against making the building look like a brand new Cumberland Farms type of building. He said the canopy had a lot of height and suggested bring

it down to make the front space more appealing. City Council Representative Blalock said the project was telling a story and he liked the idea that someone could tell that the building used to be a gas station and was being repurposed.

Chairman Wyckoff opened the public comment.

Public Comment

Elizabeth Bratter of 159 McDonough Street spoke to her concerns of a smaller setback, no parking spaces, no actual sizes of the proposed additions, the nonconforming seating capacity and employee staffing, and the fact that the building was surrounded by mostly residential units.

Chairman Wyckoff said the Commission couldn't consider those types of things.

DECISION OF THE COMMISSION

Ms. Doering moved to **continue** the work session, seconded by City Council Representative Blalock. The motion passed unanimously, 7-0.

VII. ADJOURNMENT

The meeting was adjourned at 10:24 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

September 14, 2022

MEMBERS PRESENT: Chairman Jon Wyckoff; City Council Representative Rich Blalock; members Margot Doering, Martin Ryan, David Adams, Dan Brown and Karen Bouffard

MEMBERS EXCUSED: Vice-Chair Reagan Ruedig

ALSO PRESENT: Peter Stith, Principal Planner, Planning Department

.....
Chairman Wyckoff announced that Alternate Karen Bouffard was now a regular member.

I. PUBLIC HEARINGS (NEW BUSINESS)

Mr. Adams recused himself from the following petition.

1. Petition of **James Williams Woods and Anna Roeline Meinardi, owners**, for property located at **1 Walton Alley**, wherein permission is requested to allow the new construction of a free-standing detached garage as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 27 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

Project architect Mark Gianniny was present on behalf of the applicant. He reviewed the petition and pointed out that there were two options for the window restoration/replacement: Option 1 was to restore the existing windows on the Gates Street and Walton Alley facades and replace remaining windows with Green Mountain ones, and Option 2 was to replace all the windows with Green Mountain windows.

Ms. Doering noted that the new driveway was a lot of stone and asked if water issues had been addressed. Mr. Gianniny said any stormwater would go into the applicant's own yard. In response to her other question about the deep eave return on the garage seeming heavy and out of character with the house, Mr. Gianniny said the house was very plain and they wanted to add a bit more detail so they proposed a 6.25" overhang. He said the hip roof was to minimize the structure's height due to the slope. Mr. Ryan said he fully supported the project because it was well done, with nice details and high-quality materials.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and the Chair closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to **grant** the Certificate of Compliance for the petition as presented.

Ms. Doering asked about the window options. Mr. Ryan said he had no issue with either option and would leave it up to the applicant. Ms. Doering said the commission always wanted to restore windows as much as possible and the home was in the heart of the Historic District.

Mr. Ryan **withdrew** his motion.

Ms. Doering moved to **grant** the Certificate of Compliance for the petition as presented, with the following stipulation:

1. Window Option 1 shall be used.

City Council Representative Blalock seconded. Ms. Doering said the project was compatible in design with surrounding properties and would complement and enhance the architectural and historic character.

The motion **passed** by unanimous vote, 6-0.

2. Petition of **Henry R. Klementowicz Revocable Trust of 2013, owner**, for property located at **244 Marcy Street**, wherein permission is requested to allow renovations to an existing structure (replacement windows) and the installation of an HVAC condenser as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 51 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

Project contractor Randy King was present on behalf of the applicant. He pointed out that the HVAC unit would be in the back of the house, so a variance wasn't needed. He reviewed the petition, noting that they wanted to upgrade the windows and siding and also the electrical system from 100 amps to 200 amps. He pointed out that the siding close to the neighboring house should be replaced with vinyl because it was rotted due to a constant barrage of rainwater running down the narrow walk between neighboring house and his house. He said there were two options for that siding, the Restoration Classic vinyl siding and the fire retardant sheathing. He reviewed window options that included vinyl, Andersen A Series wood windows clad with fiberglass, and a Marvin wood window.

In response to Mr. Adams' questions, Mr. King showed how much of the right-hand side of the building would be vinyl siding and he explained how he would place a column down and bump it out to make it look natural. He said he wanted new construction on every window because the frames were badly rotted. Mr. Adams said a lot of the building's textural material that the public

viewed would be lost in the process, like the window sills and casings. He asked about the butt joints. Mr. King said they were butted together, with a 4" exposure. He said the Andersen windows would have sills and flat casings, so everything would be replicated. Mr. Adams asked if the clapboards would line up with the tops of the window casings and sills. Mr. King said he could do that. The applicant Henry Klementowicz said the house was in danger of falling down, which necessitated emergency repairs and required removing the siding. He explained that the walls continued to rot even with new wood siding due to the water issue and the windows were drafty due to gaps in the old window sills. Mr. Ryan said he didn't think the applicant had to resort to vinyl to get the needed protection if he changed the clapboards to a new system. He suggested a site walk. Mr. King asked that the commission grant approval for the windows and electrical service before the site walk.

Ms. Doering said she echoed Mr. Adams' concerns about the window sills. Mr. King said the windows would be the same except for the side that was fire rated, which would be new construction and would match the siding. Chairman Wyckoff recommended that approval be given for the windows because time was tight. City Council Representative Blalock said he was comfortable working with the applicant on the windows and separating them from the site walk, and the other commissioners agreed. Ms. Doering clarified that the windows in the wet section would be fiberglass and the rest of the house would be wood. Mr. King said he would like to do the Andersen A series so that all the windows looked the same. He said he would order half screens. It was further discussed.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Paige Trace of 27 Hancock Street said the commission could google the street address and zoom in on the rot on the side of the house. She said they should take a leap of faith that the applicant would do as he promised with the windows. She said there must be a siding available that was an alternative to vinyl and would be a better solution.

Esther Kennedy of 41 Pickering Avenue said she was hearing a back-and-forth process, like a work session, versus a final product for the public to comment on. She agreed that there should be a site walk.

No one else spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Ms. Doering moved to **grant** the Certificate of Approval as presented with the following **stipulations**:

1. The replacement windows for the entire house shall be fiberglass or wood depending on their location and that the band moldings, sills, and so on match as close as possible what exists now;
2. Half screens shall be used;
3. The electrical service can be replaced from 100 amps to 200 amps; and

4. Approval of the siding choice shall be made after the site walk.

Ms. Bouffard seconded the motion. Ms. Doering said the project would conserve and enhance property values and would have compatibility of design with surrounding properties.

The motion **passed** by unanimous vote, 7-0.

II. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **EIGHTHKPH, LLC, owner**, for property located at **161 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a new mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 17-3 and lies within the Character District 5 (CD5) and Historic Districts. (LUHD-462)

WORK SESSION

Project architect Carla Goodknight and the applicant Tom Balon were present. Ms. Goodknight reviewed the changes, which included the rail span inspiration being used as a balcony protective cover, scaling down the balconies, putting the garage entrance on Deer Street instead of Maplewood Avenue as recommended by TAC, and keeping the driveway and curb cut as required by Eversource. Ms. Doering referred to TAC's wanting the door on Deer Street and asked if the cut could be changed by pulling the corner out and placing the recessed corner on Deer Street. Mr. Balon said a 5-ft fire clearance from the transformers was needed, so there would always be a notch. Mr. Ryan said it was the logical place for it, and it was further discussed. Ms. Goodknight reviewed the balconies and brick banding. She said an alucobond material would be used for the balcony front coverings and canopies. In response to Chairman Wyckoff's question, she said the overhang on the railroad side would be a standing seam metal over the ventilation grills and a cover for the residential use of the land between the building and the tracks. She reviewed the banding details, materials, garage door, canopies, and the fence.

Mr. Brown said he liked the banding better because it brought the building back to an industrial-like one. Mr. Ryan said the signature feature of the building was more logical and much better and he thought the details were right for the building as well as using masonry versus metal. He said he was concerned about the curved corner piece because those things usually ended up segmented and chunky. He referred to the relationship of the punched openings to the brick wall and thought the openings would be more appealing if they were tall. He said the penthouse seemed to fade away. Otherwise, he thought the project had developed into something very appealing. City Council Representative Blalock agreed and said he liked the black banding because it complemented the iron work. Chairman Wyckoff said he agreed with Mr. Ryan about the window proportions. Mr. Adams said each of the spirited and playful little elements told a story that he found exciting in terms of the building's context. He said there was no discussion about the loss of the strip mall. Chairman Wyckoff said a history of the mall, including photographs and drawings, should be given to the Portsmouth Athenaeum. Mr. Ryan recommended that the applicant consider the curved corner being alucobond material because it had a window that was unlike the rest of the building.

Chairman Wyckoff opened the public comment session.

Public Comment

Elizabeth Bratter of 159 McDonough Street said she'd like to see what the Vaughan Street elevation looked like to someone coming down Maplewood Avenue. She said the wall material should be one that graffiti could be erased from. She said the second corner close to Maplewood Avenue needed something like banding or cornerstones because it would be seen from Maplewood Avenue. She said the doorway under the tree seemed like it would be tight to the sidewalk when opened and that the balconies looked busy.

Susan Sterry of Broad Street (via Zoom) asked how close the building could be to the railroad tracks and how tall the boundary had to be. Mr. Balon said the railroad rear yard setback was 15 feet and the fence was limited to six feet. Mr. Stith confirmed that the zoning code had a 6-ft fence requirement. Mr. Balon said the wall was rendered as one foot inside the property line.

No one else spoke, and Chairman Wyckoff closed the public comment session.

DECISION OF THE COMMISSION

City Council Representative Blalock moved to **continue** the work session, seconded by Mr. Ryan. The motion **passed** by unanimous vote, 7-0.

B. Work Session requested by **Lucky Thirteen Properties, LLC, owner**, for property located at **147 Congress Street**, wherein permission is requested to allow new construction to an existing structure (construct a 1-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 4 and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts. (LUHD-501)

WORK SESSION

Project architect Sarah Howard and owner Michael Labrie were present. Ms. Howard reviewed the petition and pointed out that the applicant preferred the lighter option for the addition's pilaster siding. She verified that the concrete sidewalk was the hard line for the property line, in response to Mr. Adams' question. She reviewed the window options for the west elevation and had a sample of the gray tinned glass to show the commission. Chairman Wyckoff asked if the four windows at the top would be changed. Ms. Howard said they would not. She then reviewed the north and south elevations.

Chairman Wyckoff said the white pilaster for the siding looked bright white. Ms. Howard said it wouldn't be bright and would relate better to the original building and that Hardy siding panel material would be used. Ms. Doering asked if the roof would be flat or pitched and was told that it would be flat. She asked why the slightly wider piece of the addition was that width. Ms. Howard said it was on the curve and was due to the way the corners came together. She said it was difficult to get windows sizes large enough on a curve. Ms. Doering said she preferred the black siding. Mr. Labrie said the lighter color would let them have some fun with the wash

lights. City Council Representative Blalock said he liked how the canopy integrated the new part into the old section and he preferred the lighter color for the addition because it integrated it more. Ms. Bouffard said the structure was much more appealing with the changes and enhancements and the curved glass tied it in nicely. She said she preferred the black color for the addition but thought it might be nice with the wash lights.

Mr. Ryan said there were very thick elements going vertically to a very thin element, which he thought was an odd composition. He noted that the rendering showed a column in the back up against the building but it wasn't shown in the plan. Ms. Howard said they wouldn't need both columns in the back and the extreme one in the corner would stay. Mr. Ryan said it would present stronger if there weren't thick verticals and if thick columns going around the corner onto Congress Street were used instead. He said it was like a bad 1970s modern addition, which concerned him. He suggested having similar lettering going around the curve that could be a signature element and not have it look so bleak. He said some of the best elements of the curve wrapping around should be more prominent. Chairman Wyckoff agreed that the columns coming up and the thin horizontal roof didn't gel, and it was further discussed.

Chairman Wyckoff opened the public comment session.

Public Comment

Elizabeth Bratter of 159 McDonough Street suggested getting rid of the flat awning on the back to tie the building in with the jazz club next to it. She said the windows on the top made the building look like a garage and the awning seemed stark.

No one else spoke, and Chairman Wyckoff closed the public comment session.

The applicant said they wanted to return for a work session/public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to **continue** the work session, seconded by Ms. Doering. The motion **passed** unanimously, 7-0.

III. ADJOURNMENT

The meeting was adjourned at 8:21 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

October 05, 2022

- | | | |
|----|---|-----------------------|
| 1. | 11 Walden Street (LUHD-502) | -TBD |
| 2. | 621 Islington Street, Unit E (LUHD-528) | -Recommended Approval |
| 3. | 621 Islington, Unit D Street (LUHD-527) | -Recommended Approval |
| 4. | 553 Islington Street (LUHD-531) | -TBD |
| 5. | 55 Gates Street (LUHD-532) | -Recommended Approval |
| 6. | 12 South Street (LUHD-533) | -Recommended Approval |
| 7. | 7 Hancock Street (LUHD-536) | -TBD |
| 8. | 93 Pleasant Street (LUHD-535) | -TBD |
| 9. | 31 Aldrich Street, Unit 33 (LUHD-534) | -Recommended Approval |

1. 11 Walden Street

- TBD

Background: The applicant is seeking approval for the installation of HVAC equipment.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



North wall

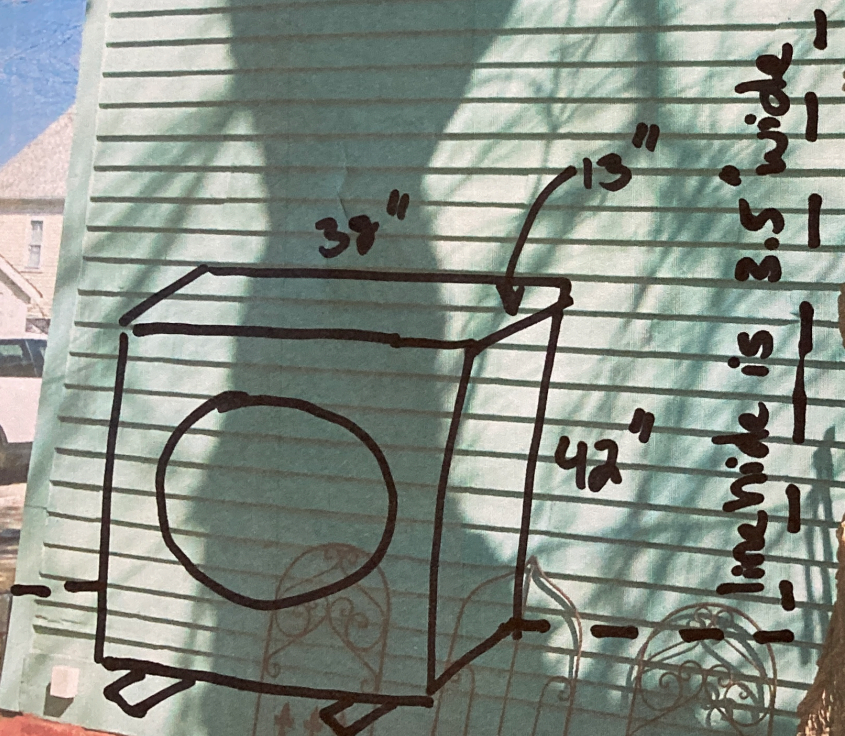
line hrde is 3.5" wide

line hrde is 4.5" wide

outdoor unit

west
wall

Line hide
painted to
match Siding



outdoor unit location

HOLMES COURT

2 STORY WOOD FRAME BUILDING
U-1/18
N/F JEANNINE L. McCOY
499 MARCY STREET
PORTSMOUTH, NH 03801
RCRD BOOK 2995-PAGE 1281

PARCEL I
751 SQ. FT.
0.0172 Ac.

EP
POLE #129/1

WOOD GARAGE

CONCRETE FOUNDATION

U-1/18
N/F CLAIR D'ARVILLE
24 HOLMES COURT
PORTSMOUTH, NH 03801
RCRD BOOK 3378-PAGE 548

IRON ROD W/CAP #335

S81°04'03"E

46.82'

U-1/17
N/F MARC & MARTHA DROGIN
11 WALDEN STREET
PORTSMOUTH, NH 03801
RCRD BOOK 3069-PAGE 1023

IRON ROD W/CAP #335 SET

2 STORY WOOD FRAME BUILDING

2 STORY WOOD FRAME BUILDING

OLD FENCE POST

46.16'

N81°27'17"W

WOOD STAIRS

WALDEN STREET

(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

PICKET FENCE
S82°32'40"E
47.73'

POLE #77/1

S81°27'17"E

S81°57'07"E
43.20'

RAILROAD SPIKE TO BE SET

U-1/21
& MARTHA DROGIN
WALDEN STREET
PORTSMOUTH, NH 03801
RCRD BOOK 3069-PAGE 1023

BOUNDARY LINES
PER BOUNDARY
LINE AGREEMENT
DATED 9-17-87
RECORDED @ RCRD
BOOK 2704 PAGE 1668

2 STORY WOOD FRAME BUILDING

GATE

U-1/22
JAY N. GINGRICH
3 MARCY STREET
PORTSMOUTH, NH 03801
RCRD BOOK 2639-PAGE 280

N04°43'10"E
58.74'

S81°54'10"E
33.80'

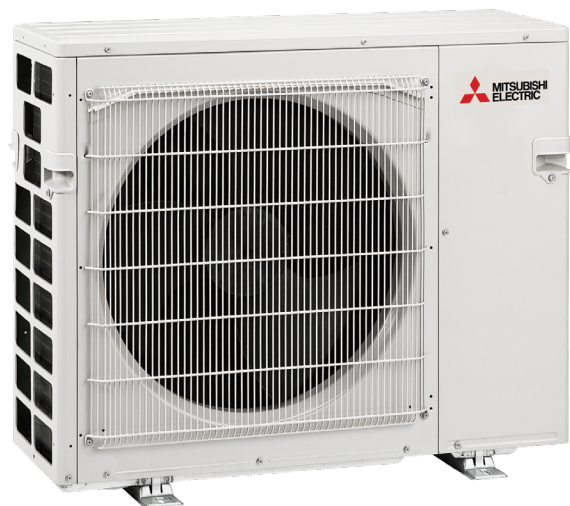
MXZ-3C30NA2
MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name:

System Reference:

Date:



FEATURES

- Variable speed INVERTER-driven compressor
- Optional base pan heater
- Quiet outdoor unit operation as low as 56 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection

SPECIFICATIONS: MXZ-3C30NA2

(For data on specific indoor units, see the MXZ-C Technical and Service Manual.)

Cooling* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,400 / 27,400
	Capacity Range	Btu/h	9,500 - 28,400 / 9,500 - 27,400
	Rated Total Input	W	2,680 / 2,860
Heating at 47°F* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,600 / 27,600
	Capacity Range	Btu/h	15,500 - 36,000 / 15,500 - 35,000
	Rated Total Input	W	2,150 / 2,220
Heating at 17°F* (Non-ducted/Ducted)	Rated Capacity	Btu/h	16,000 / 15,100
	Rated Total Input	W	2,120 / 2,140
Connectable Capacity		Btu/h	12,000 - 36,000
Electrical Requirements	Power Supply	Voltage, Phase, Hertz	208 / 230V, 1-Phase, 60 Hz
	Recommended Fuse/Breaker Size	A	25
	MCA	A	22.1
Voltage	Indoor - Outdoor S1-S2	V	AC 208 / 230
	Indoor - Outdoor S2-S3	V	DC ±24
Compressor		INVERTER-driven Scroll Hermetic	
Fan Motor (ECM)		F.L.A.	2.43
Sound Pressure Level	Cooling	dB(A)	52
	Heating	dB(A)	56
External Dimensions (H x W x D)		In mm	31-11/32 x 37-13/32 x 13 (796 x 950 x 330)
Net Weight		Lbs / kg	137 (62)
External Finish		Munsell No. 3Y 7.8/11	
Refrigerant Pipe Size O.D.	Liquid (High Pressure)	In / mm	1/4 (12.7)
	Gas (Low Pressure)	In / mm	A: 1/2 (6.35) ; B.C: 3/8 (9.52)
Max. Refrigerant Line Length		Ft / m	230 (70)
Max. Piping Length for Each Indoor Unit		Ft / m	82 (25)
Max. Refrigerant Pipe Height Difference	If IDU is Above ODU	Ft / m	49 (15)
	If IDU is Below ODU	Ft / m	49 (15)
Connection Method		Flared/Flared	
Refrigerant		R410A	

* Rating Conditions per AHRI Standard:

Cooling | Indoor: 80° F (27° C) DB / 67° F (19° C) WB
Cooling | Outdoor: 95° F (35° C) DB / 75° F (24° C) WB

Heating at 47° F | Indoor: 70° F (21° C) DB
Heating at 47° F | Outdoor: 47° F (8° C) DB / 43° F (6° C) WB

Heating at 17° F | Indoor: 70° F (21° C) DB
Heating at 17° F | Outdoor: 17° F (-8° C) DB / 15° F (-9° C) WB

OPERATING RANGE:

	Outdoor
Cooling	14 to 115° F (-10 to 46° C) DB
Heating	5 to 65° F (-15 to 18° C) WB

ENERGY EFFICIENCIES:

Indoor Unit Type	SEER	EER	HSPF	COP @ 47°F	COP @ 17°F
Non-ducted (09+09+12)	19.0	10.6	10.6	3.90	2.77
Ducted and Non-ducted	17.6	10.1	10.1	3.77	2.78
Ducted (09+09+12)	16.2	9.6	9.6	3.64	2.78

NOTES:

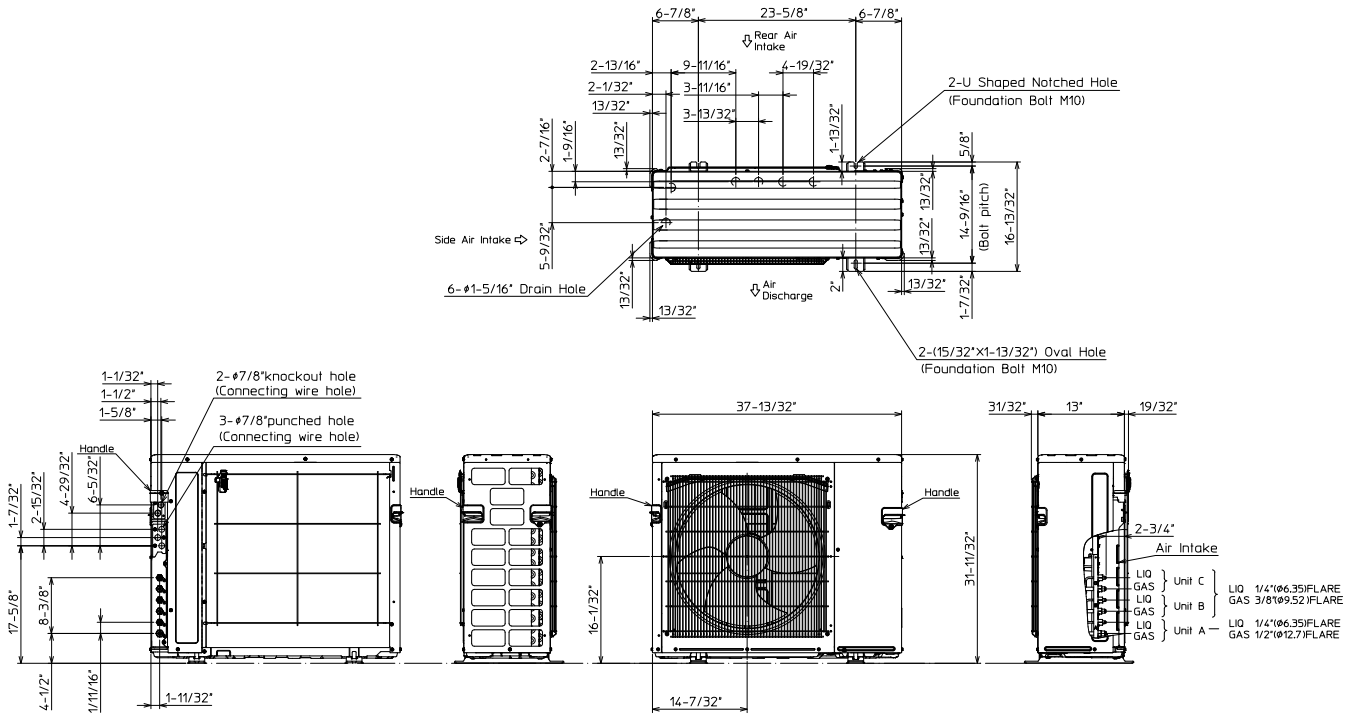
For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance. Although the maximum connectable capacity can exceed rated, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

OUTDOOR UNIT ACCESSORIES: MXZ-3C30NA2

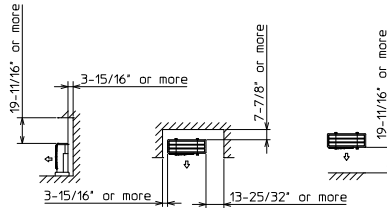
Air Outlet Guide	Air Outlet Guide (1 Piece)	PAC-SH96SG-E
Ball Valve	Refrigeration Ball Valve - 1/2"	BV12FFSI2
	Refrigeration Ball Valve - 1/4"	BV14FFSI2
	Refrigeration Ball Valve - 3/8"	BV38FFSI2
	Refrigeration Ball Valve - 5/8"	BV58FFSI2
Distribution pipe for Branch Box	M-NET Converter	PAC-IF01MNT-E
Drain Socket	Drain Socket	PAC-SG60DS-E
Hail Guards	Hail Guard	HG-A9
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Optional Defrost Heater	Base Heater	PAC-645BH-E
Port Adapter	Adaptor: 1/2" x 3/8"	MAC-A455JP-E
	Adaptor: 1/2" x 5/8"	MAC-A456JP-E
	Adaptor: 3/8" x 1/2"	MAC-A454JP-E
	Adaptor: 3/8" x 5/8"	PAC-SG76RJ-E
Power Supplies and Auxiliary Components	M-Net Control Wire, 1,000' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-1000
Power Supplies And Auxiliary Components	M-Net Control Wire, 250' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-250
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket -Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

OUTDOOR UNIT DIMENSIONS: MXZ-3C30NA2

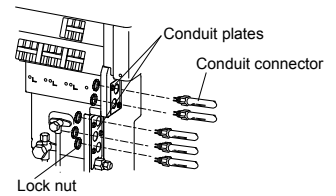
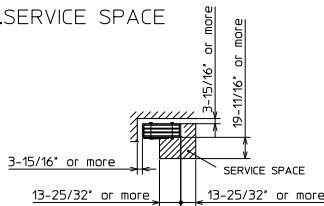
Unit: inch



1. FREE SPACE



2. SERVICE SPACE



1340 Satellite Boulevard Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

2. 621 Islington Street, Unit E - Recommended Approval

Background: The applicant is seeking approval for the installation of a storm door.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801



1 1-Rear wing of Building



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801



2 2-Rear wing of Building



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801



3 3-Close up of Units D and E

Date Taken: 9/1/2021



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801



4 4-Proposed look of storm door Date Taken: 9/5/2022



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801

Product Overview

The Andersen 3000 Series Self-Storing Storm Door is one of our most popular anytime storm door offering you a wide variety of features and options. This full light style storm door has glass from top to bottom to maximize your views, along with our most convenient features, low maintenance and durability. Backed by a limited lifetime warranty.

- The color of this door is white. The handle set is sold separately
- This door is right handed as viewed from the exterior of the home
- Pre-assembled for easy installation with only basic tools in as little as 45 minutes with no cutting
- Thermally tempered safety glass is stronger and safer than regular glass; if broken the glass breaks into pebbles instead of sharp pieces
- Anytime ventilation with an easy one-hand retractable insect screen that conveniently rolls into the frame of the door and out of view when not in use
- 1.5 in. Frame construction with reinforced aluminum internal corner brackets for added strength and durability
- Heavy-duty steel, push-button closer allows you to prop the door open with the tap of your toe
- Dual weather stripping on top and sides of the door with an additional layer on the handle side to enhance weather-tightness and energy efficiency
- Limited lifetime warranty
- Rekeyable deadbolt lock eliminates need to carry an extra key
- Oops-proof program provides free replacement of any lost parts during installation
- Tamper-resistant hinges

5

5-621 Door info

Date Taken: 9/14/2022

3. 621 Islington Street, Unit D - Recommended Approval

Background: The applicant is seeking approval for the installation of a storm door.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801



1 1-Rear wing of Building



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801



2 2-Rear wing of Building



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801



3 3-Close up of Units D and E

Date Taken: 9/1/2021



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801



4 4-Proposed look of storm door Date Taken: 9/5/2022



Insurcomm, Inc.

290 Heritage Ave.
Suite 1
Portsmouth, NH 03801

Product Overview

The Andersen 3000 Series Self-Storing Storm Door is one of our most popular anytime storm door offering you a wide variety of features and options. This full light style storm door has glass from top to bottom to maximize your views, along with our most convenient features, low maintenance and durability. Backed by a limited lifetime warranty.

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- Pre-assembled for easy installation with only basic tools in as little as 45 minutes with no cutting
- Thermally tempered safety glass is stronger and safer than regular glass; if broken the glass breaks into pebbles instead of sharp pieces
- Anytime ventilation with an easy one-hand retractable insect screen that conveniently rolls into the frame of the door and out of view when not in use
- 1.5 in. Frame construction with reinforced aluminum internal corner brackets for added strength and durability
- Heavy-duty steel, push-button closer allows you to prop the door open with the tap of your toe
- Dual weather stripping on top and sides of the door with an additional layer on the handle side to enhance weather-tightness and energy efficiency
- Limited lifetime warranty
- Rekeyable deadbolt lock eliminates need to carry an extra key
- Oops-proof program provides free replacement of any lost parts during installation
- Tamper-resistant hinges

5

5-621 Door info

Date Taken: 9/14/2022

4. 553 Islington Street

- TBD

Background: The applicant is seeking approval to address items listed in the Land Use Compliance Report.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Administrative Approval Application

September 16, 2022

Nick Cracknell, Principal Planner
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for HDC Administrative Approval for 553-559 Islington Street, Tax Map 157 / Lot 3

Dear Mr. Cracknell,

On behalf of 553 – 559 Islington Street, LLC we hereby submit the attached and enclosed documents for discussion at the October 5 Historic District Commission Hearing.

The project scope includes comprehensive interior alterations of the existing 6-unit apartment building and a small 2-1/2 story addition at the rear of the building, previously approved under LU-20-180 & LUHD-240. Construction is substantially complete.

HDC Administrative Approval is requested to resolve items listed in the Land Use Compliance Report dated 8/10/22.

Here is a summary of these items and our responses with photos.

June 1, 2022 Historic District Commission Administrative Approval

To be Completed:

13. Refurbish and reinstall existing iron wrought fence.

Completed.



Historic District Commission Administrative Approval Application

December 9, 2020 Historic District Commission –Sheet A321: Southeast (Front) Elevation

Alterations to the Approved Design:

14. (1x) chimney removed.

This chimney had been removed and capped a few inches above the ridge of the roof prior to the Owner's purchase of the building. During demolition of interior finishes, the brick was found to be in poor condition and there was a large hole in the chimney (see photo). Due to safety concerns the remaining chimney was removed down to the basement.



Original chimney, capped at ridge



Hole in chimney, brick in poor condition



Chimney removed



Chimney removed

Historic District Commission Administrative Approval Application

15. *Extended dormer eaves and new wood trim omitted.*

The third floor front dormer is not believed to be original to the building or historically significant. The existing trim was found to be in good condition so it was kept in place rather than reworking it.



16. *(2x) Dormer windows changed to 2/1 light and reduced in size.*

Approved drawings showed these white vinyl windows as existing to remain, however the Owner decided to replace them with windows similar to other new windows in this project. New windows are the same size as the original windows.

Historic District Commission Administrative Approval Application

17. (5x) windows on main structure changed to 2/2 light.

Approved drawings showed these white vinyl 6/6 windows as existing to remain, however the Owner decided to replace them with windows similar to other new windows in this project. In earlier HDC hearings, the Commission had expressed a desire for these windows to be replaced to be similar to the other approved 2/2 windows, but the Owner was not ready to commit to this investment at that time. 2/2 windows are believed to be consistent with the original building, based on some older 2/2 windows that were still in place at the back of the building.



18. Full screens installed.

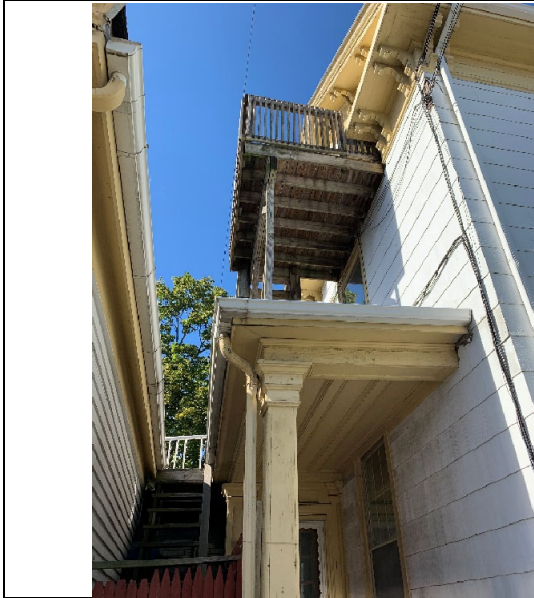
Please Note: Full screens are also noted on side and rear elevations.

These are all new windows. Type of screens was not indicated on submitted drawings, and no direction was given by HDC regarding screens.

Historic District Commission Administrative Approval Application

19. Second floor deck column does not match or align with column below.

The size of the new deck was reduced to the size of the original deck to avoid conflicts with eave returns and to better align with structural support below. With the smaller deck and columns set back, it is less important to match the column below. The column is thinner and has a less ornate capital trim, consistent with new columns at the rear portico.



Original deck



New deck



New deck



Deck column

Historic District Commission Administrative Approval Application

20. Ground level deck door changed to 9 light.

This was the existing door that was not replaced. It was painted to match other doors.



21. Ground level deck railings omitted.

Railings had been proposed on the design drawings, however the original building did not have railings and this deck is only 17" +/- above grade, which does not require a guardrail by code.



Historic District Commission Administrative Approval Application

22. On side addition, door trim and corner board are one piece:

The door trim piece is overlaid on top of the corner board piece. Extending the trim to the corner is a cleaner detail than stopping the door trim where it intersects the corner board.



Design drawing



Completed trim



Door trim overlaid on corner board

Historic District Commission Administrative Approval Application

November 12, 2020 Historic District Commission –Sheet A323: Northeast (Right Side) Elevation

To be Completed:

23. *Installation of basement window.*

This window opening had been boarded up prior to the Owner’s purchase of the building. It was bricked in as directed by the building inspector.



Original Basement window opening boarded up



Basement window opening bricked in

Historic District Commission Administrative Approval Application

November 12, 2020 Historic District Commission –Sheet A233: Northwest (Rear) Elevation

Alterations to the Approved Design:

NOTE: These items are at the rear of the building, not visible from the street.

24. Side addition saltbox roof changed to gable roof.

The existing low-slope roofs in this back corner had been cobbled together through several small additions and were performing poorly. The Owner decided to remove and reframe this roof as a gable for better drainage and to look more consistent with other gables on the larger building.



Historic District Commission Administrative Approval Application

25. Portico design altered (e.g. omission of pilasters, changed to gable roof, column details altered). This design was revised to be consistent with the gables on the main addition and the reworked gable on the side addition.

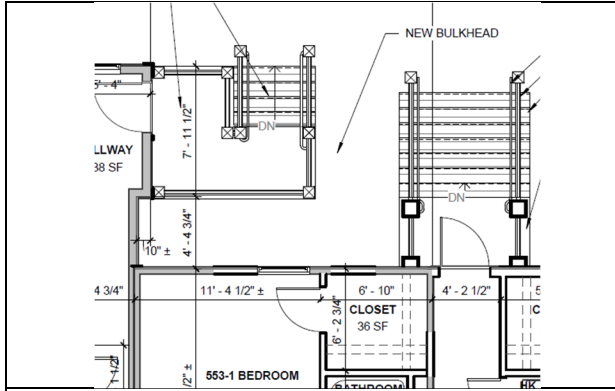
	<p>NEW WOOD COLUMN ENCLOSURE TRIM AND CAPITAL TO MATCH SIDE PORCH COLUMN - SEE A231 NEW 1/2 GLASS ENTRY DOOR - 36"x84" (4) NEW EXTERIOR SCONCE LIGHTS</p>
<p>Design drawing</p>	<p>Design drawing</p>
<p>Completed portico</p>	<p>Completed portico</p>

26. Window above portico moved further up. The Second Floor is at different heights in the addition and adjacent existing building. This window was raised to make sill heights more consistent at different floor levels.

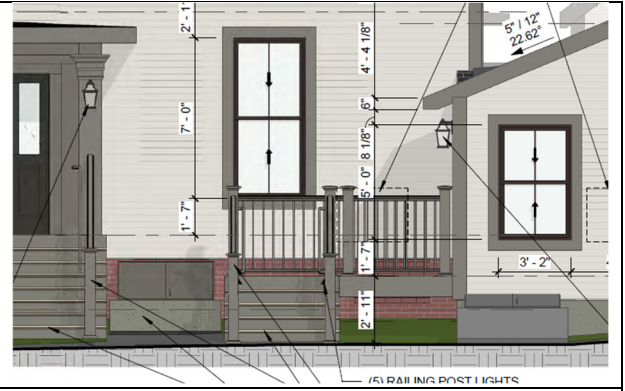
Historic District Commission Administrative Approval Application

27. Deck omitted.

The original design for the stair and landing at the rear of the side addition was configured to provide egress without blocking the bulkhead. During construction we determined that the other side of the portico was a better location for the bulkhead (2/12/21 Amended Site Plan Approval). This allowed this stair and landing to be simplified, and provides better privacy and security for the bedroom in the adjacent unit.



Design drawing – Landing from side addition to avoid bulkhead



Design drawing – Landing from side addition to avoid bulkhead



Bulkhead relocated, stair landing simplified

28. Portico door changed to 9 light.

This is incorrect, this portico door is a 4-light (see photo). This is consistent with the appearance of the 2/2 windows.



4-light door

Historic District Commission Administrative Approval Application

29. Applicant to provide evidence Andersen 400 series windows were installed.
The Owner has provided this information separately.

November 12, 2020 Historic District Commission –Sheet A234: Southwest (Left Side) Elevation

Alterations to the Approved Design:

30. Deck reduced in size.

The size of the new deck was reduced to the size of the original deck to avoid conflicts with eave returns and to better align with structural support below.



31. Deck door changed to 4 light.

The 4-light door is consistent with the appearance of the 2/2 windows.

Historic District Commission Administrative Approval Application

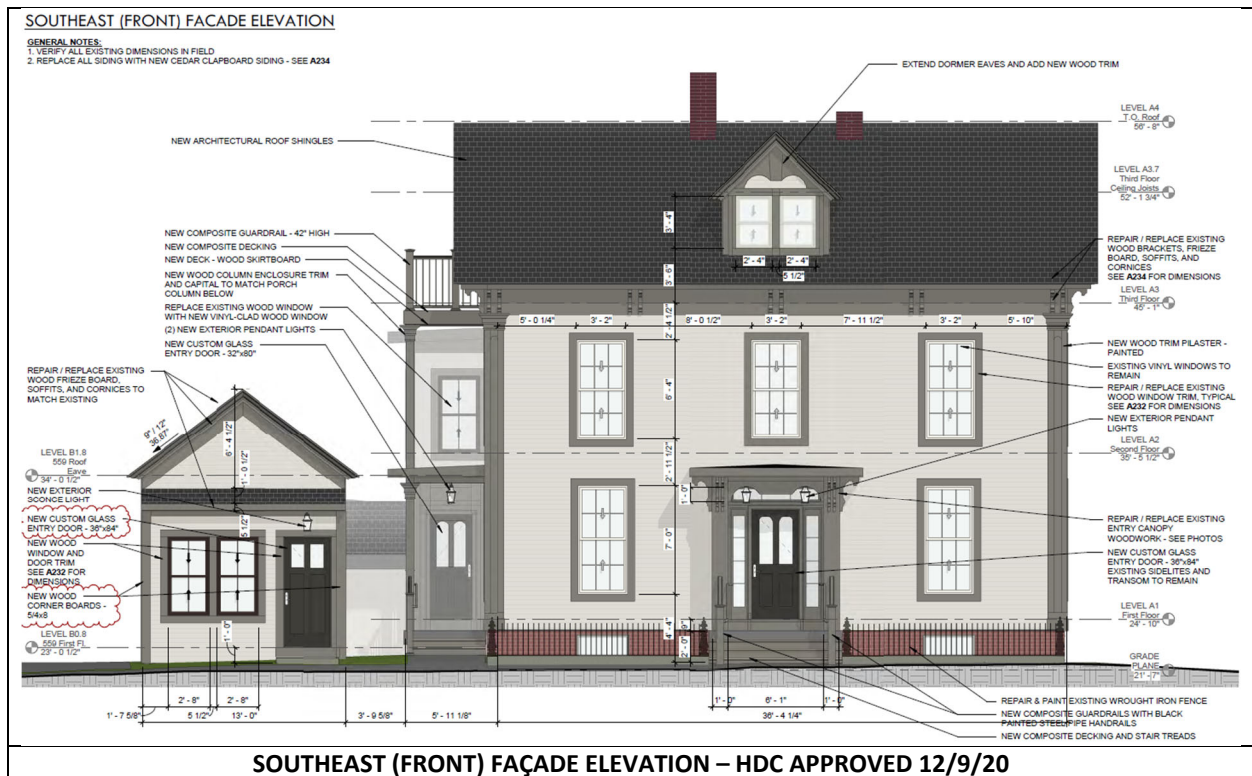
32. Small window next to deck door omitted.

This was a poorly placed small white vinyl window next to the original door that was shown as existing to remain on the design drawings, but which the Owner chose to remove. Removal of this window is more consistent with the historical appearance of this building.

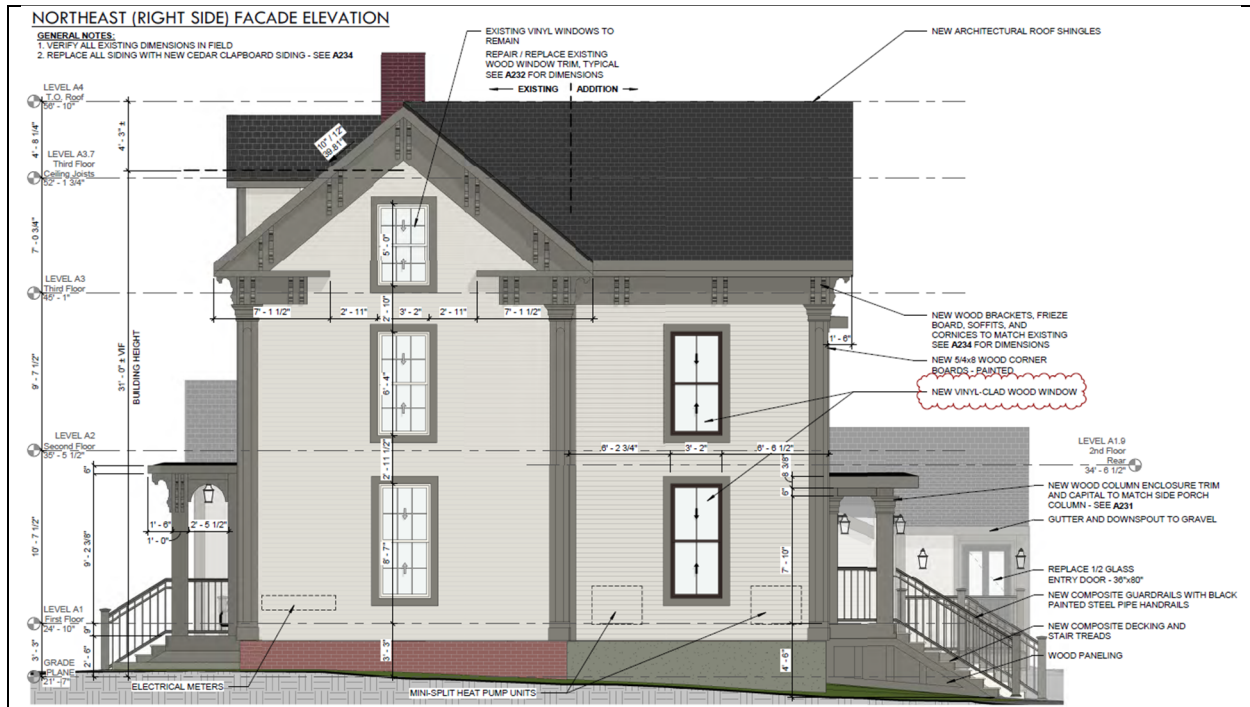


Original window

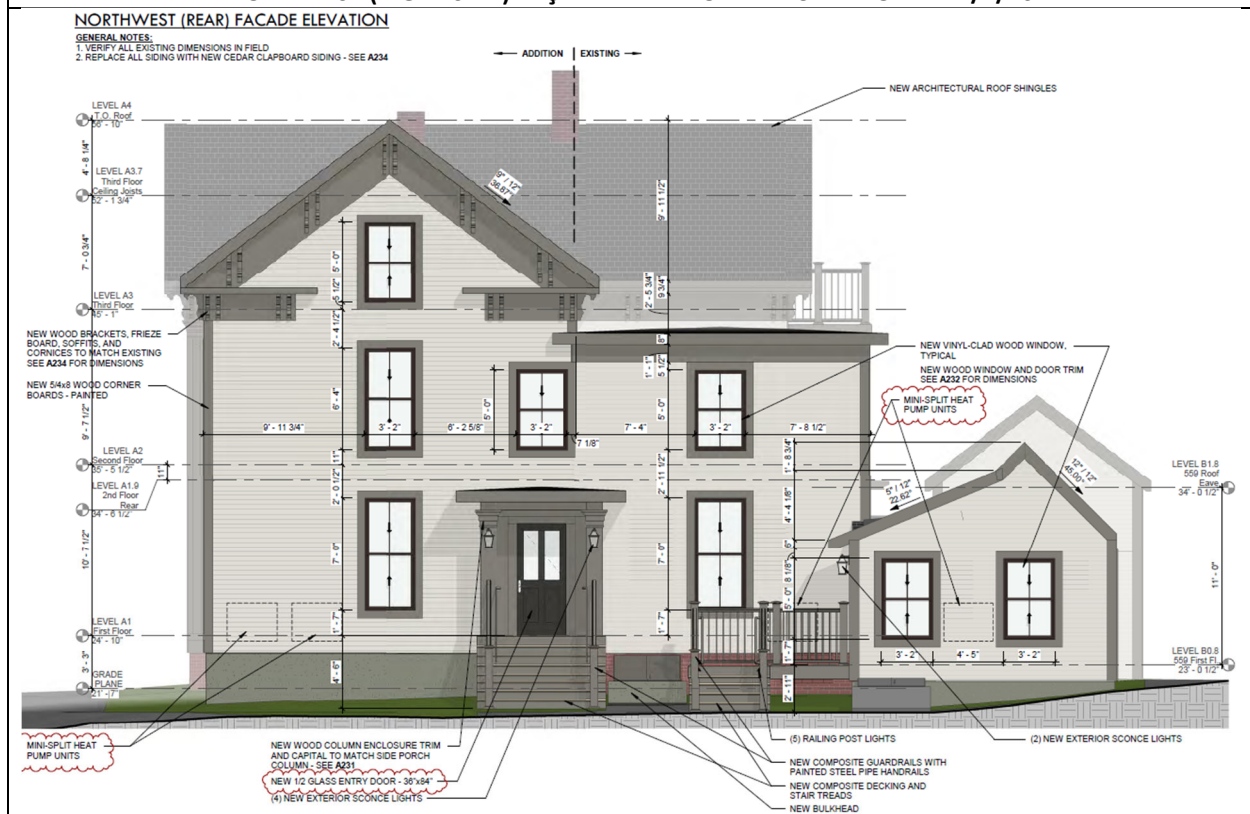
HDC APPROVED DESIGN DRAWINGS FOR REFERENCE:



Historic District Commission Administrative Approval Application

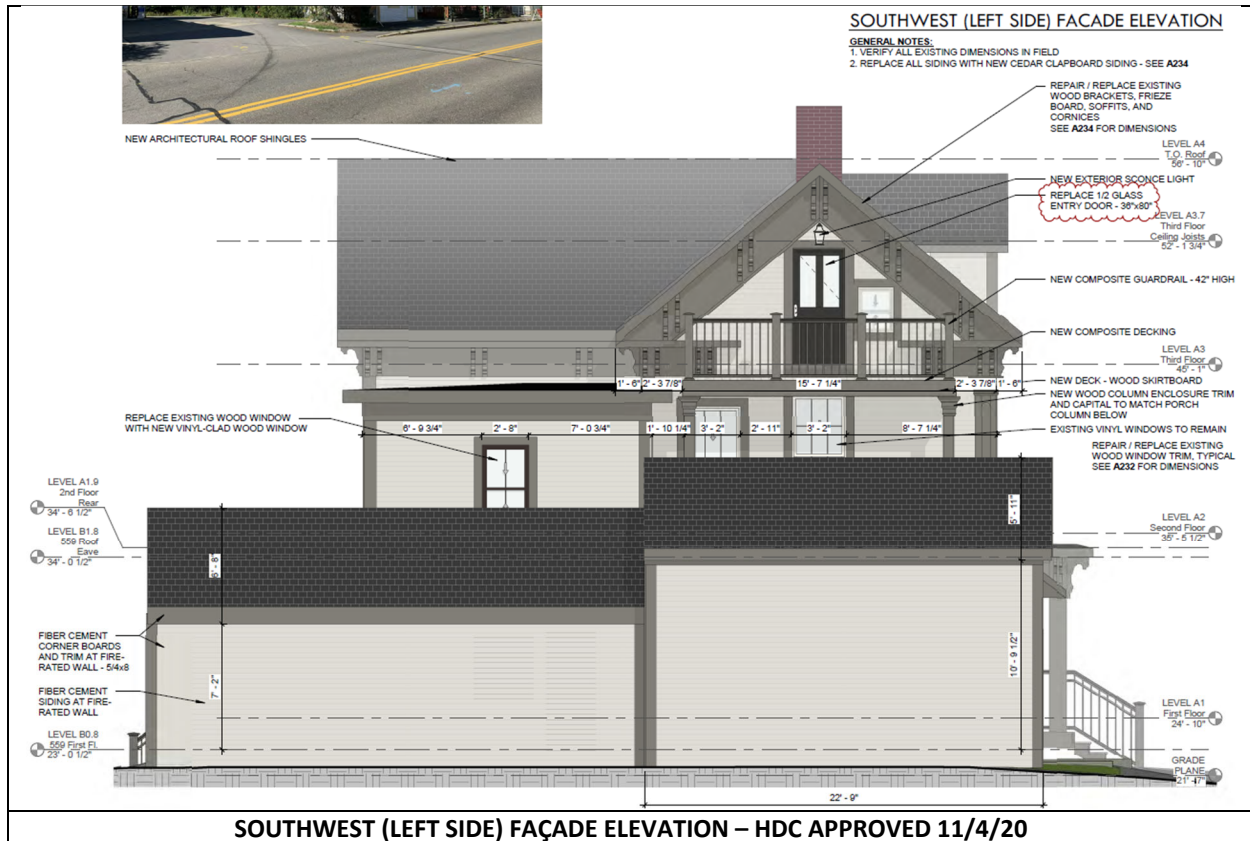


NORTHEAST (RIGHT SIDE) FAÇADE ELEVATION – HDC APPROVED 11/4/20



NORTHWEST (REAR) FAÇADE ELEVATION – HDC APPROVED 11/4/20

Historic District Commission Administrative Approval Application



We look forward to the Historic District Commission’s review of this submission. If there are any questions or comments please feel free to reach out to me.

Sincerely,

Tim Brochu, Principal and Manager
 Adra Architecture LLC
 NH Licensed Architect
tim@adraarchitecture.com

Land Use Compliance Report
553 Islington Street
Portsmouth, NH 03801
8.10.22



Land Use Compliance Report
August 10, 2022
Portsmouth, NH 03801

Planning Board Approval

November 20 2020 Planning Board Approval – Sheet C2: Demolition Plan

To be Completed:

1. Applicant to provide evidence Note K has been completed, “Applicant shall protect all property monumentation throughout demolition and construction operations. Should any monumentation be disturbed, the contractor shall employ a NH licensed surveyor to replace them.”

November 20 2020 Planning Board Approval – Sheet C3: Site Plan

To be Completed:

2. Route out crack in tipdown panel with sikaflex:

[Please See Page 2 for Corresponding Photograph]



3. Connect all gutter/downspouts facing Islington Street to underdrains.
Please Note: No stormwater from gutter system is allowed to daylight onto the sidewalk.
4. Remove construction materials, construction dumpster, etc.
5. Remove timber and debris stockpiling:

[Please See Page 3 for Corresponding Photograph]



6. Install final layer of pavement.
7. Stripe 8 parking stalls.
8. Install bike rack.
9. Site stabilization (i.e. along sides and rear of property).
Please Note: Once site is stabilized, erosion control measures may be removed.

November 20 2020 Planning Board Approval – Sheet C4: Utility Plan

To be Completed:

10. Applicant to provide evidence Note 6 has been completed, “Utility as built shall be submitted to the City of Portsmouth DPW upon completion of the project.”
11. Applicant to provide evidence of gas meter connection.
Please Note: Gas meters are not found where shown on the plan. There appears to be a gas hookup on the left side of the structure. However, no meter is installed. Please confirm if the structure was converted to electric.

November 20 2020 Planning Board Approval – Sheet C6: Landscaping Plan

To be Completed:

12. Applicant to provide evidence sightline from driveway will be maintained in perpetuity per note: “Sightline from driveway No plantings taller than 30” above pavement level.”

Land Use Compliance Report
553 Islington Street
Portsmouth, NH 03801
8.10.22

Historic District Commission Approval

June 1, 2022 Historic District Commission Administrative Approval

To be Completed:

13. Refurbish and reinstall existing iron wrought fence.

December 9, 2020 Historic District Commission –Sheet A321: Southeast (Front) Elevation

Alterations to the Approved Design:

14. (1x) chimney removed.
15. Extended dormer eaves and new wood trim omitted.
16. (2x) Dormer windows changed to 2/1 light and reduced in size.
17. (5x) windows on main structure changed to 2/2 light.
18. Full screens installed.

Please Note: Full screens are also noted on side and rear elevations.

19. Second floor deck column does not match or align with column below.
20. Ground level deck door changed to 9 light.
21. Ground level deck railings omitted.
22. On side addition, door trim and corner board are one piece:



November 12, 2020 Historic District Commission –Sheet A323: Northeast (Right Side) Elevation

To be Completed:

23. Installation of basement window.

November 12, 2020 Historic District Commission –Sheet A233: Northwest (Rear) Elevation

Alterations to the Approved Design:

24. Side addition saltbox roof changed to gable roof.
25. Portico design altered (e.g. omission of pilasters, changed to gable roof, column details altered).
26. Window above portico moved further up.
27. Deck omitted.
28. Portico door changed to 9 light.
29. Applicant to provide evidence Andersen 400 series windows were installed.

November 12, 2020 Historic District Commission –Sheet A234: Southwest (Left Side) Elevation

Alterations to the Approved Design:

30. Deck reduced in size.
31. Deck door changed to 4 light.
32. Small window next to deck door omitted.

5. 55 Gates Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design.

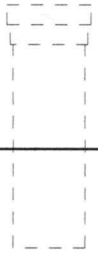
Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

55 GATES STREET

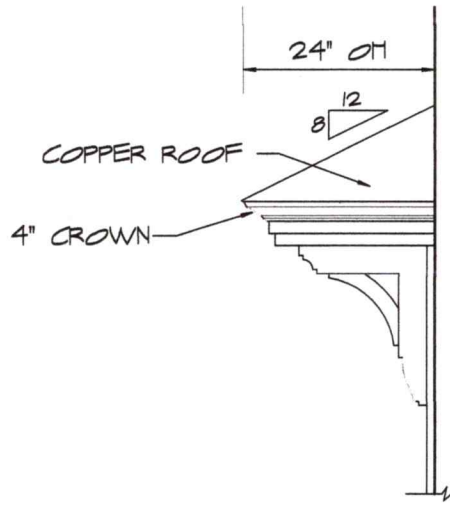
1 OF 2 9 / 19 / 22



EXIST.
6' FENCE

M I P ROOF OVER DOOR

EX.
FENCE



24" OH

3/8

COPPER ROOF

4" CROWN

PAINTED CEDAR BRACKET 16" X 20"
PROWOOD MARKET #1075

M I P ROOF WITH BRACKET DETAIL
SCALE : 1/2" = 1'-0"



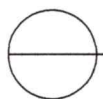
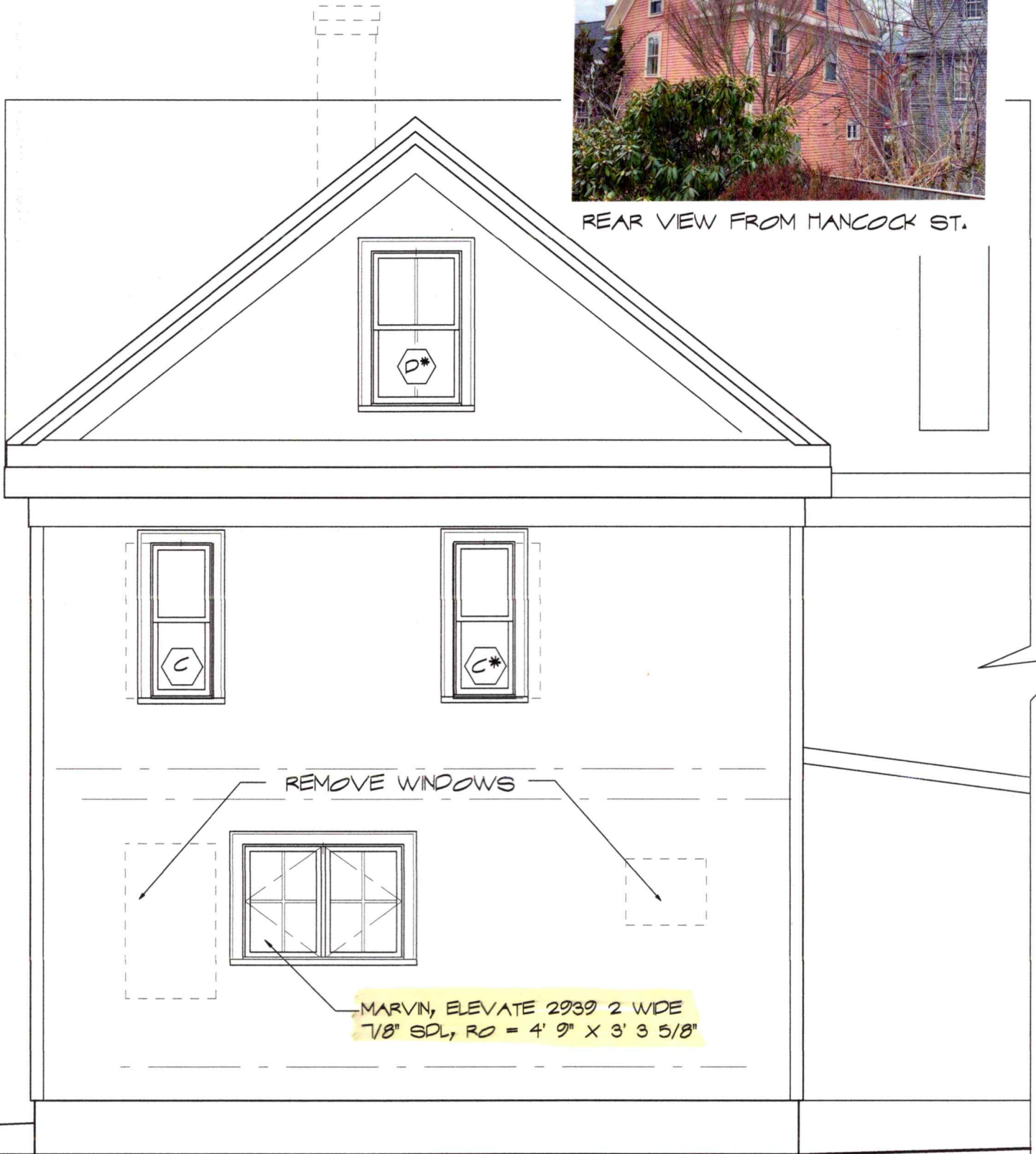
RIGHT SIDE ELEVATION
SCALE : 1/4" = 1'-0"

55 GATES STREET

2 OF 2 9 / 19 / 22



REAR VIEW FROM MANCOCK ST.



REAR ELEVATION

SCALE : 1/4" = 1'-0"

6. 12 South Street

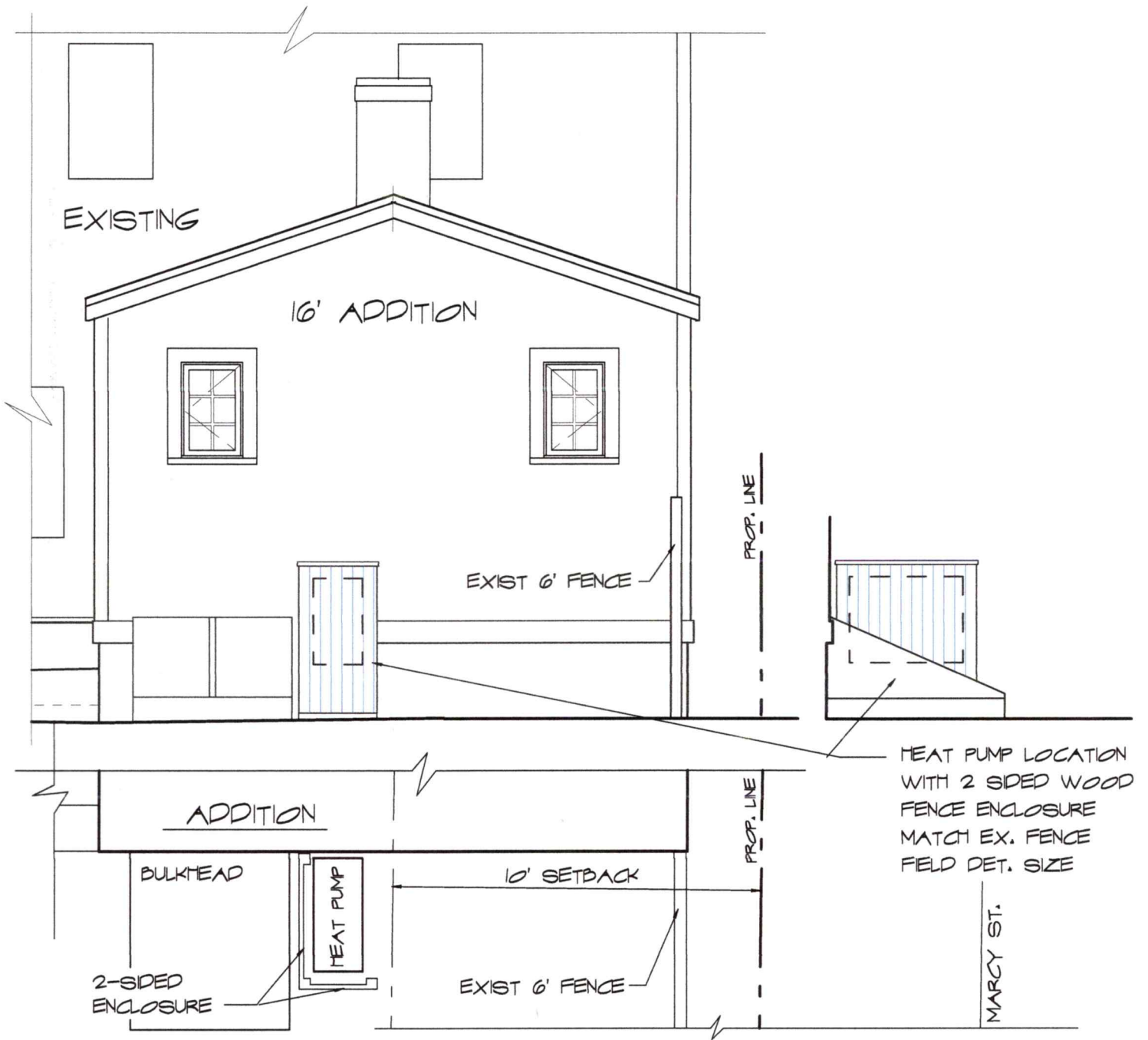
- Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment with screening.

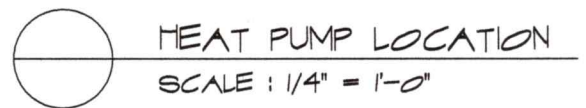
Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



ADDITION REAR ELEVATION



12 SOUTH STREET

801 Islington St, Suite 32
Portsmouth, NH 03801
603-502-4387
archwhit@aol.com



ANNE WHITNEY ARCHITECT

Project:	Date:
• 2012	9 / 27 / 22

Inverter Driven Heat Pump

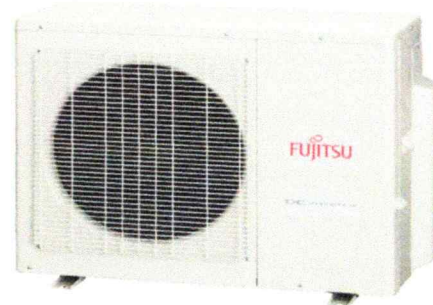
24,000 BTU Multi Zone System

Job Name _____
 Location _____
 Engineer _____
 Submitted To _____
 Submitted By _____
 Reference _____

Date _____
 Approval _____
 Construction _____
 Unit No _____
 Drawing No _____

PRODUCT FEATURES

- Operate as few as one indoor unit or all indoor units
- Mix & match from 4 indoor unit styles
- Blue-fin condenser coil coating



MODEL NUMBERS

System	24RLXFZ		
Outdoor Unit	AOU24RLXFZ		
Indoor Unit	Non-Ducted	Ducted	Mix

EFFICIENCIES

SEER		18	15.5	16.75
EER		12.5	10.6	11.55
HSPF		9.5	9	9.25
COP	kW/kW	4.04	3.42	3.74
	Btu/hW	13.8	11.7	12.8

OUTDOOR TEMPERATURE OPERATION RANGE

Cooling	*F(°C)		14 to 115 (-10 to 46)
Heating			5 to 75 (-15 to 24)

CAPACITIES

Total Capacity Range			14,000 to 21,000 Btu/h
Cooling	Rated		22000
	Min.-Max.	BTU/hW	6,100-27,000
Heating	Rated		24000
	Min.-Max.		6,800-29,800

LINESET REQUIREMENTS

Connection Method			Flare
Liquid	in (mm)		Ø1/4 (Ø6.35) × 3
		Gas	Ø3/8 (Ø9.52) × 2 + Ø1/2 (Ø12.7) × 1
Pre-Charge Length	ft (m)		98 (30)
Maximum Length			164 (50)
Maximum Length Each			82 (25)
Minimum Length			49 (15)
Minimum Length Each			16 (5)
Max. Height Diff.			49 (15)

OUTDOOR DIMENSIONS & WEIGHT

Net (H x W x D)	in	27-9/16 × 35-7/16 × 13
	mm	700 × 900 × 330
Gross (H x W x D)	in	34-1/16 × 41-5/16 × 17-1/2
	mm	865 × 1,050 × 445
Net Weight		124 (56)
Gross Weight	lb (kg)	141 (64)

SOUND PRESSURE

Outdoor Unit	Cooling	dB (A)	51
	Heating		52

Warranty Information



7 Year Compressor, 5 Year Parts out-of-the-box Warranty



10 Year Compressor, 10 Year Parts Warranty when registered within 30 days of installation in a residence



12 Year Compressor, 12 Year Parts Warranty when registered within 30 days of installation in a residence, and installed by a Fujitsu Elite contractor

FAN DATA

Outdoor Unit	Cooling	CFM (m3/h)	1,942 (3,300)
Airflow Rate	Heating		1,942 (3,300)

CONNECTABLE INDOOR UNIT

TYPE		Slim Duct (ARU)
		Wall Mount (ASU)
		Compact Cassette (AAU)
		Floor Mount (AGU)
NUMBER		2 to 3



Outdoor Unit ETL#: 91987

Due to continuous product improvements, specifications are subject to change without notice. Please log in to the Fujitsu Portal for the most up-to-date documentation <https://portal.fujitsugeneral.com>

Inverter Driven Heat Pump

24,000 BTU Multi Zone System

REFRIGERANT

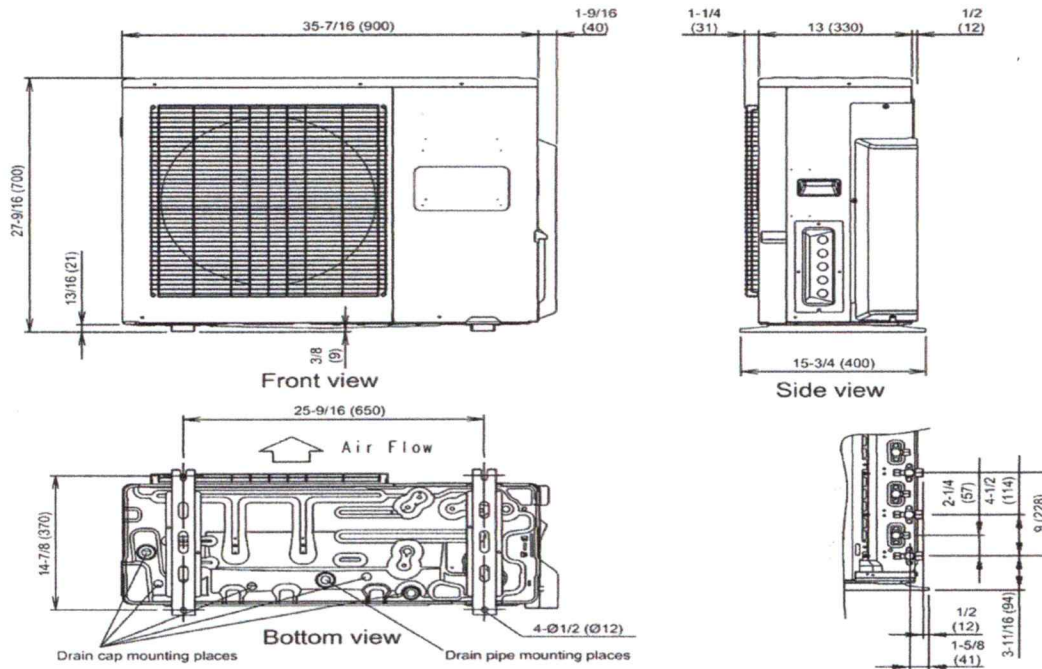
Type	R410A	
Charge	lb oz	4 lb 14 oz
	g	2200
Oil Type	POE	

ELECTRICAL SPECIFICATIONS

		Non-Ducted	Ducted	Mix
Voltage/Frequency/Phase		1Ø 208/230 V 60 Hz		
Voltage Range		187-264V		
Rated Current (A)	Cooling	7.7	9.1	8.4
	Heating	7.6	9	8.3
Maximum Operating Current		13.7		
Starting Current		9		
MCA		17		
Maximum Circuit Breaker		20		
Rated Input Power (kW)	Cooling	1.76	2.08	1.9
	Heating	1.73	2.05	1.88
Max. Input Power (kW)	Cooling	2.6	2.84	2.72
	Heating	2.93	0	0

DIMENSIONS

Units: In. (mm)



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Note: Specifications are based on the following conditions:
 Cooling: Indoor temperature of 80°F (26.7°C) DB/67°F (19.4°C) WB, and outdoor temperature of 95°F (35°C) DB/75°F (23.9°C) WB. Heating: Indoor temperature of 70°F (21.1°C) DB/60°F (15.6°C) WB, and outdoor temperature of 47°F (8.3°C) DB/43°F (6.1°C) WB. Pipe length: 25ft. (7.5m), Height difference: 0ft. (0m) (Outdoor unit - indoor unit).

7. 7 Hancock Street

- TBD

Background: The applicant is seeking approval for the installation of HVAC equipment. **Staff Comment:** TBD

Stipulations:

1. _____
2. _____
3. _____



LINE SETS

AIR HANDLER
OUTDOOR UNIT



Samsung "Max Heat" FJM Series, 4 Port Condensing Unit

Job Name _____
 Purchaser _____
 Submitted to _____
 Unit Designation _____

Location _____
 Engineer _____
 Reference _____ Approval _____ Construction _____
 Schedule # _____

Model	US Code	JXH30S4B	
	Model Number	AJ030BXS4CH/AA	
Performance*	Capacity (standard / max.)	Cooling (Btu/h)	28,400 / 28,400
		Heating (Btu/h)	28,600 / 28,600
	Heating Capacity at 5°F OA, 70° Indoor DB (Btu/h)		28,600
	Heating Capacity at -13°F OA, 70° Indoor DB (Btu/h)		20,000
	Minimum Cooling Capacity (Btu/h)		6,500
	Minimum Heating Capacity (Btu/h)		7,500
	SEER (Ducted / Mixed / Non-ducted)		17.0 / 18.0 / 19.0
	EER (Ducted / Mixed / Non-ducted)		10.5 / 11.5 / 12.5
HSPF (Ducted / Mixed / Non-ducted)		9.8 / 10.4 / 11.0	
Power	Voltage	(ø)V/Hz	1 / 208-230 / 60
	Nominal Current ¹	Cooling (A)	10.9
		Heating (A)	10.0
	Max. Breaker	Amps	30
	Minimum Circuit Ampacity (A)		26.0
Dimensions	W X H X D	Inches	37 x 39 5/16 x 13
	Weight	lbs.	173.1
Noise Level	Cooling	dB (A)	54
	Heating	dB (A)	58
Operating Temperatures	Cooling	14 ~ 114.8°F (-10 ~ 46.0°C)	
	Heating	-13 ~75°F (-25 ~ 24.0°C)	
Pipe Connections	High Side		1/4" X 4
	Low Side (suction)		3/8" X 2 + 1/2" X 2
	Maximum Individual Line Set Length		82 ft
	Maximum Line Set Length (total)		230 ft
	Maximum Vertical Separation	Outdoor to Indoor	49 ft
		Highest to lowest indoor	25 ft
Included Pipe Adapters		2 - 1/2" X 3/8"	
Condenser Fan	Motor		BLDC With Propeller Fan (1)
	Output	Watts / FLA	125 / 1.28
		CFM	2,493
Compressor	Type		Twin BLDC Rotary Inverter
	RLA	Amps	18.4
Heat Exchanger	Type		Aluminum Fin - Copper Tube
Refrigerant	Type		R410A
	Control Method		Electronic Expansion Valve
	Factory Charge		119.9 oz
	Charged for		131 ft
	Additional Refrigerant		0.22 oz/ft over 131 ft
Accessories	Wall Bracket		CKN-250
	Wind Baffle	Front	WBF-2M-B
		Back	WBB-11M
Certifications	Safety		ETL (UL 1995)
	AHRI Certification Number	Non-Ducted	207349919
		Ducted	207350083
		Mixed	207350096
	ENERGY STAR® Certification		Applies to AHRI non ducted listing
Warranty	10 Years compressor, 10 year parts, 1 year limited labor (registration required)		



General Information

- The Samsung Max Heat system shall provide high heating capacity at -13°F outside temperature
- The outdoor unit shall supply power individually to the indoor units via 14 AWG X 3 power wire
- The outdoor unit shall have a base pan heater as standard to ensure optimal defrost cycle water drainage
- Auto-restart after power loss
- Available maximum current setting option to reduce operating current.
- System energy consumption can be viewed using Samsung SmartThings mobile app (not revenue grade, for reference only).
- Soft-start to reduce current demand during compressor start
- Optional snow accumulation prevention setting to prevent snow drifting against idle outdoor units
- Auto or manual addressing of indoor units

Construction

- The outdoor unit shall be galvanized steel with a baked on powder coated finish for durability

Heat Exchanger

- The heat exchanger shall be mechanically bonded fin to copper tube

Controls

- Control signal shall be a DDC type signal
- Interconnect control wire between outdoor and indoor units shall be 16AWG X 2
- Controls shall integrate with a BMS system
- The system shall integrate with the Samsung Controls solution

Refrigerant System

- The refrigerant shall be R410A
- The compressor shall be hermetically sealed, inverter controlled, Twin BLDC Rotary
- Refrigerant flow shall be controlled by 4 separate electronic expansion valves at outdoor unit

Indoor Unit Compatibility

Will only operate with Samsung evaporator model numbers:
 AR**TSFABWKNCV (RNS**ABT): 7,000 - 24,000 Btu/h models
 AR**BSFCMWKNCV (RNS**CMB): 7,000 - 24,000 Btu/h models
 AR**TSFYBWKNCV (RNS**YBT): 7,000 - 24,000 Btu/h models
 AC0**BNNDCH/AA (CNH**NDB): 9,000 - 18,000 Btu/h models
 AC0**BN1DCH/AA (CNH**1DB): 9,000 - 12,000 Btu/h models
 AC0**BNJDCH/AA (CNH**JDB): 9,000 - 18,000 Btu/h models
 AC0**BNLDCH/AA (CNH**LDB): 9,000 - 18,000 Btu/h models
 AC0**BNZDCH/AA (CNH**ZDB): 12,000 - 18,000 Btu/h models
 AJ0**BNHDCH/AA (JNH**HDB): 9,000 - 18,000 Btu/h models

Proper sizing and installation of equipment is critical to achieve optimal performance. Split system air conditioners and (excluding ductless systems) must be matched with appropriate coil components to meet ENERGY STAR® criteria. Ask your contractor for details or visit www.energystar.gov.

* Certified in accordance with the AHRI Unitary Small Air-Source Heat Pumps (USHP) Certification Program which is based on the latest edition of AHRI Standard 210/240. Refer to www.AHRIdirectory.org for current reference numbers.

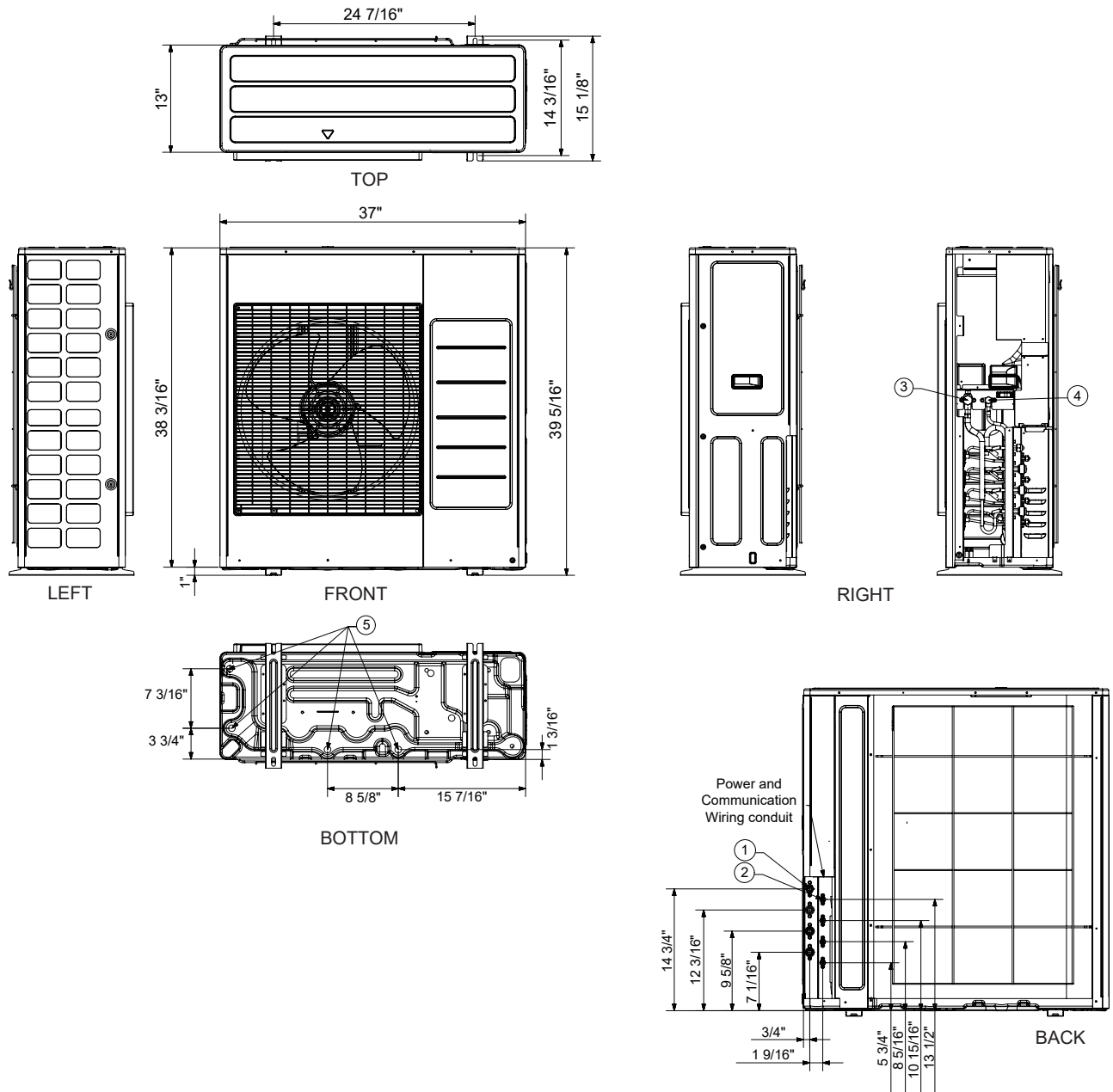
¹ Rated current is based on highest combination ratio of non-ducted indoor units.

Samsung HVAC maintains a policy of ongoing development, specifications are subject to change without notice.



Samsung "Max Heat" FJM Series, 4 Port Condensing Unit

Dimensional drawing



No.	Name	Description
1	Refrigerant suction pipes	ø3/8" x 2, ø1/2" x 2
2	Refrigerant liquid pipes	ø1/4" x 4
3	Service Valve (suction)	5/8"
4	Service Valve (liquid)	3/8"
5	Drain holes	Connection with provided drain fitting

Indoor Unit Connection Options

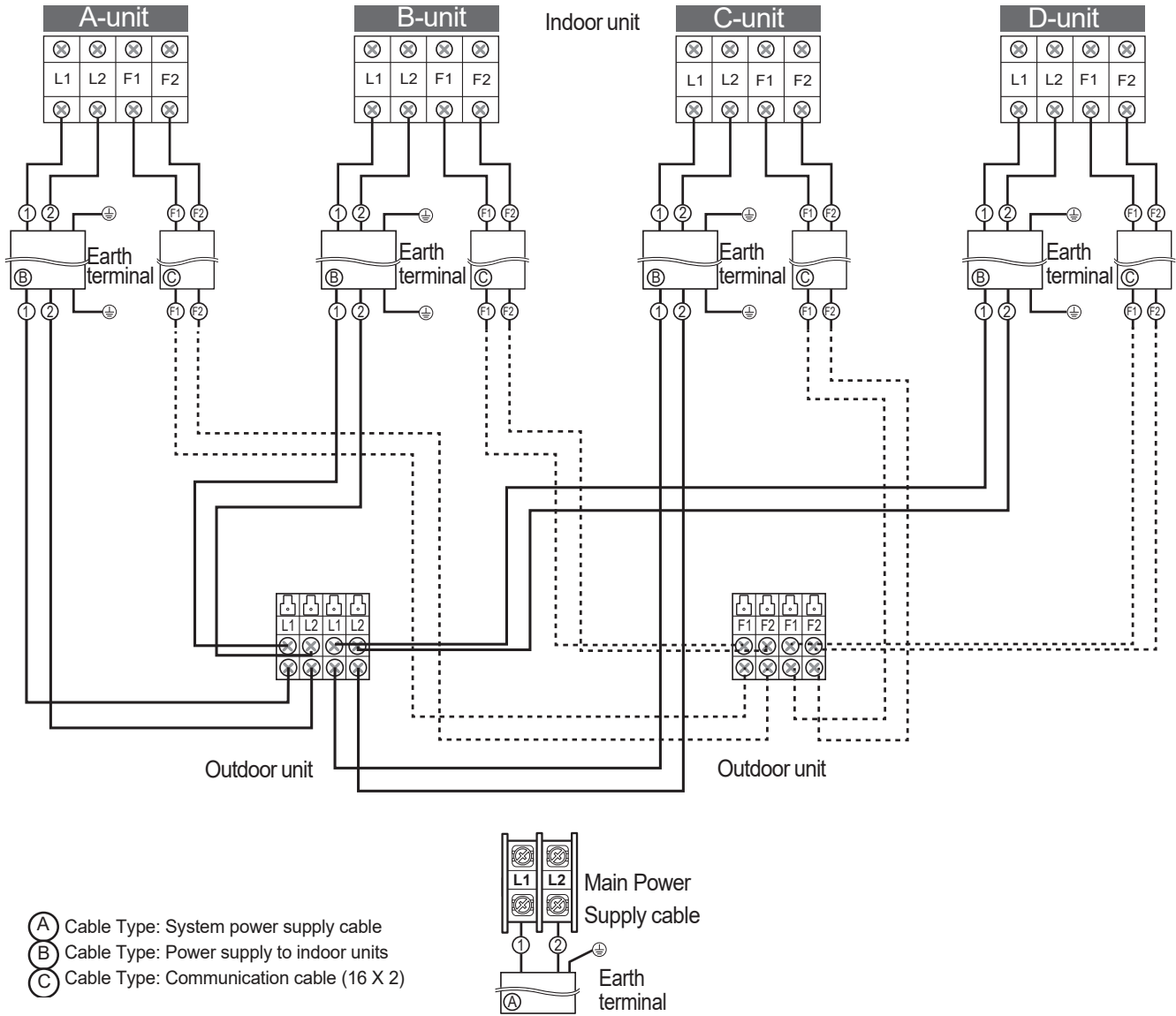
Unit Qty.	Indoor Nominal Capacity (K Btu/h)				Duct S / MPAH Compatibility*		Connected Capacity (K Btu/h)
	A	B	C	D	Duct S	MPAH	
2	7	7					14
	7	9			•		16
	7	12			•	•	19
	7	15			•		22
	7	18			•	•	25
	7	24				•	31
	9	9			•		18
	9	12			•	•	21
	9	15			•		24
	9	18			•	•	27
	9	24			•	•	33
	12	12			•	•	24
	12	15			•	•	27
	12	18			•	•	30
	12	24			•	•	36
	15	15			•		30
	15	18			•	•	33
	15	24					39
18	18			•	•	36	
3	7	7	7				21
	7	7	9				23
	7	7	12				26
	7	7	15		•		29
	7	7	18		•	•	32
	7	7	24		•		38
	7	9	9		•	•	25
	7	9	12				28
	7	9	15		•		31
	7	9	18		•	•	34
	7	9	24		•		40
	7	12	12		•	•	31
	7	12	15				34
	7	12	18		•	•	37
	9	9	9		•	•	27
	9	9	12				30
	9	9	15				33
	9	9	18				36
	9	12	12				33
	9	12	15				36
9	12	18				39	
12	12	12		•		36	
12	12	15		•	•	39	
4	7	7	7	7	•		28
	7	7	7	9	•	•	30
	7	7	7	12			33
	7	7	7	15	•	•	36
	7	7	7	18	•	•	39
	7	7	9	9			32
	7	7	9	12			35
	7	7	9	15			38
	7	7	12	12			38
	7	9	9	9			34
	7	9	9	12			37
	7	9	9	15	•	•	40
	7	9	12	12			40
	9	9	9	9			36
9	9	9	12			39	

* Combatable combination that includes 1 X MPAH (AC0**BNZDCH/AA) OR 1 X Duct S (AJ0**BNHDCH/AA) unit.

Notes

1. Only 1 X MPAH (AC0**BNZDCH/AA) OR 1 X Duct S (AJ0**BNHDCH/AA) unit can be connected to a single FJM outdoor unit.
2. Applies to outdoor units manufactured after 4/30/2022.
3. Refer to supporting technical data book (TDB) for indoor unit compatibility available at www.SamsungHVAC.com.

Basic Wire Connection Diagram



This simple wiring diagram is for reference only. Please refer to installation manuals for full details and requirements.

8. 93 Pleasant Street

- TBD

Background: The applicant is seeking approval for changes to a previously approved design and for the temporary removal of the stone wall during construction.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

93 PLEASANT STREET



PROJECT SUMMARY: NEW CONSTRUCTION ADDITION & RENOVATIONS

OFFICE USE, NEW STRUCTURE LOCATED AT PARKING LOT BEHIND TREADWELL-JENNESS HOUSE.
2 STORIES + 3RD SHORT STORY, 1 LEVEL UNDERGROUND PARKING.

DRAWING LIST

P0.1 COVER
P1.0 LANDSCAPE SITE PLAN
P1.3 ROOF PLAN
P1.8 FRONT PERSPECTIVE
P1.10 FRONT ELEVATION
P1.11 SIDE ELEVATION
P1.12 REAR ELEVATION

REVISIONS TO PREVIOUSLY APPROVED APPLICATION:

1. TEMPORARILY RELOCATE STONE WALL TO PROTECT STONE WALL FROM CONSTRUCTION IMPACTS OF UNDERGROUND UTILITIES INSTALLATION AND EXCAVATION VIBRATIONS. DOCUMENT, LABEL AND TEMPORARILY REMOVE STONE WALL, STORE SECURELY FOR REINSTALLATION IN SAME CONFIGURATION AFTER SITEWORK IS COMPLETED.
2. CHANGE COMPOSITE BORAL POLYASH SIDING TO FIBER CEMENT SIDING, TO MEET FIRE RATING REQUIREMENTS.
3. RAISE FLAT, SETBACK ROOF AREA OVER STAIR CONNECTOR BEHIND TREADWELL HOUSE, BY 1'-4" TO COORDINATE WITH STRUCTURAL REQUIREMENTS.

P0.0 **COVER**
93 PLEASANT STREET
HDC REVISION 2
9/28/2022



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Plant List - Trees and Shrubs				
ID	Qty	Latin Name	Common Name	Scheduled Size
AAM	2	Aronia melanocarpa 'Autumn Magic'	Black Chokeberry	3-4'
AML	3	Amelanchier laevis 'Spring Flurry'	Spring Flurry Allegheny Serviceberry	5-6' Ht.
BBG	20	Buxus microphylla 'Baby Gem'	Baby Gem Boxwood	4-4 1/2'
BGG	33	Buxus 'Green Gem'	Green Gem Boxwood	2-2.5'
BWG	5	Buxus 'Winter Gem'	Winter Gem Boxwood	2 1/2' Ht.
CFF	16	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	1 1/2-2" Cal.
CTN	1	Chaenomeles speciosa 'Toyo Nishiki'	Toyo Nishiki Quince	2 1/2" Cal.
PFC	6	Picea abies 'Fat Cat'	Fat Cat Norway Spruce	10 Gal.
RYP	15	Rhododendron 'Yaku Princess'	Yaku Princess Rhododendron	3-4'
TOS	4	Thuja occidentalis 'Smaragd'	American Arborvitae	8-10'

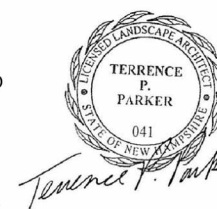
Plant List - Perennials				
ID	Qty	Latin Name	Common Name	Scheduled Size
ABI	34	Amsonia 'Blue Ice'	Blue Star Flower	1 Gal.
AMT	26	Amsonia tabernaemontana	Blue Star	1 Gal.
AOS	16	Aster oblongifolius 'October Skies'	October Skies Aster	2 QT
BAG	9	Baptisia 'American Goldfinch'	Yellow Baptisia	2 QT
CVM	9	Coreopsis verticillata 'Moonbeam'	Threadleaf Coreopsis	2 QT
CWB	34	Chrysanthemum weyrichii 'White Bomb'	Dwarf Chrysanthemum	2 QT
DIG	12	Digitalis grandiflora 'Carillion'	Yellow Foxglove	2 QT
DP	142	Dennstaedtia punctilobata	Hay-Scented Fern	2 QT
EPI	24	Epimedium rubrum	Barrenwort	2 QT
GMB	65	Geranium macrorrhizum 'Bevan's'	Cranesbill	2 QT
LVP	27	Lavendula x intermedia 'Phenomenal'	Niko Lavender	2 QT
PKW	8	Paeonia 'Krinkled White'	Single White Jap. Peony	2 Gal.
PPT	9	Paeonia 'President Taft'	Single Jap. Pink Peony	2 Gal.
PT	7	Parthenocissus tricuspidata	Boston Ivy	
PX	10	Polystichum acrostichoides	Christmas Fern	2 QT
RF	3	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	2 QT
SED	28	Sedum kamtschaticum	Stonecrop	2 QT
SEDM	34	Sedum 'Matrona'	Matrona Stonecrop	2 QT
SEDR	34	Sedum reflexum 'Angelina'	Stonecrop	2 QT
SEDS	28	Sedum sexangulare	Stonecrop	2 QT
STP	28	Sedum ternatum 'Larinem Park'	Stonecrop	2 QT
WAL	13	Waldsteinia ternata	Siberian Barren Strawberry	2 QT

NOTES:
ALL DRIP EDGE TO BE ROUNDED RIVER STONE, 1/2"-3/4" DIA. (FINAL COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT)

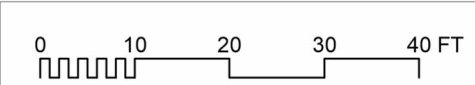
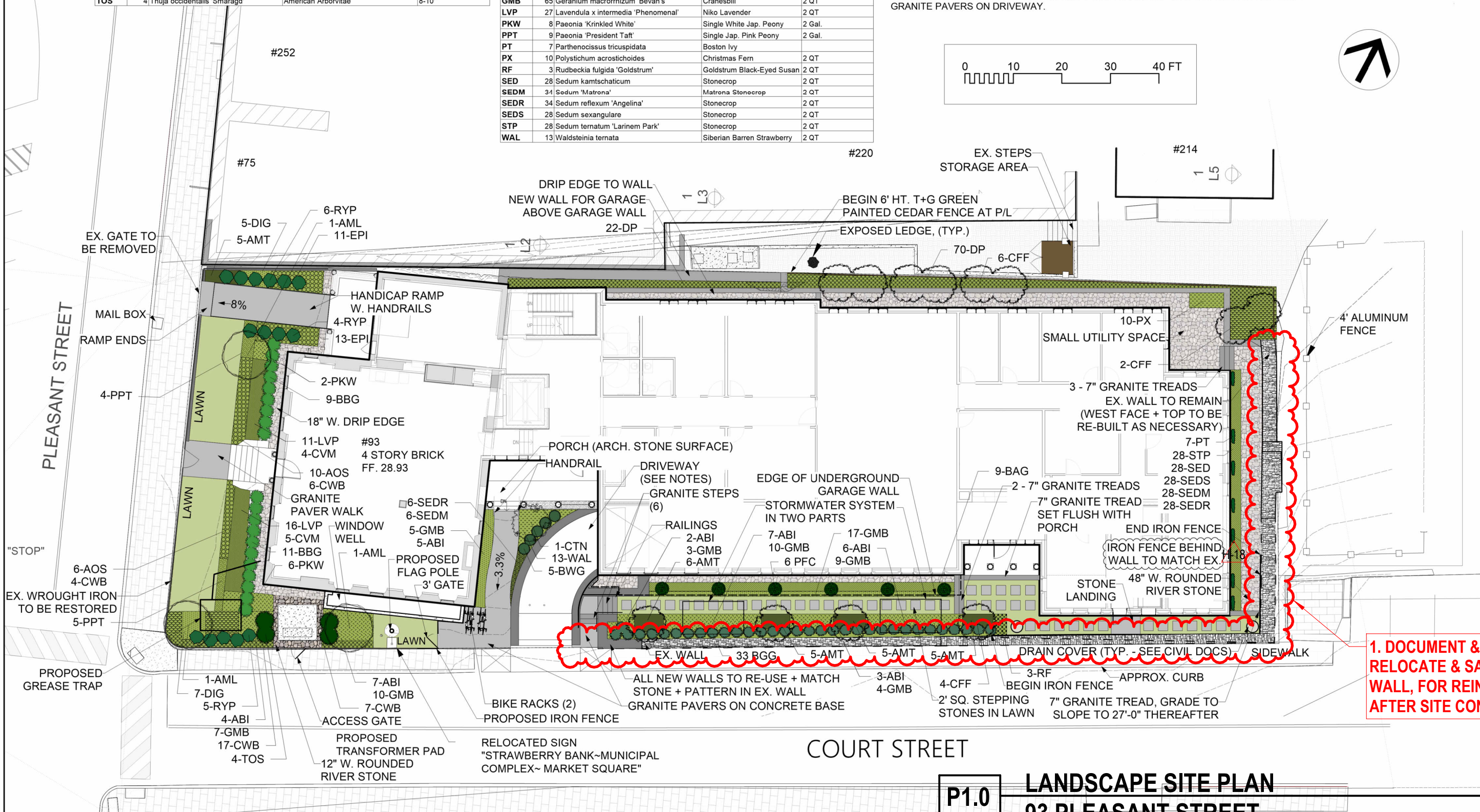
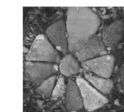
RENOVATION OF EXISTING FENCE: EXISTING FENCE SHALL BE TAKEN APART, FLAWED PARTS SHALL BE REMOVED AND REPLACED, FENCE SHALL BE STEEL SHOT BLASTED TO BARE METAL, ACID DIPPED, CLEANED, HOT DIPPED GALVANIZED, COATED WITH EPOXY PRIMER, PAINTED BLACK WITH URETHANE TOPCOAT.

ALL STONE SHOULD BE WOODBURY GRANITE OR EQUAL.

GENERAL CONTRACTOR TO DESIGN AND BUILD A RADIANT SLAB SYSTEM TOPPED WITH GRANITE PAVERS ON DRIVEWAY.



terra firma
landscape architecture



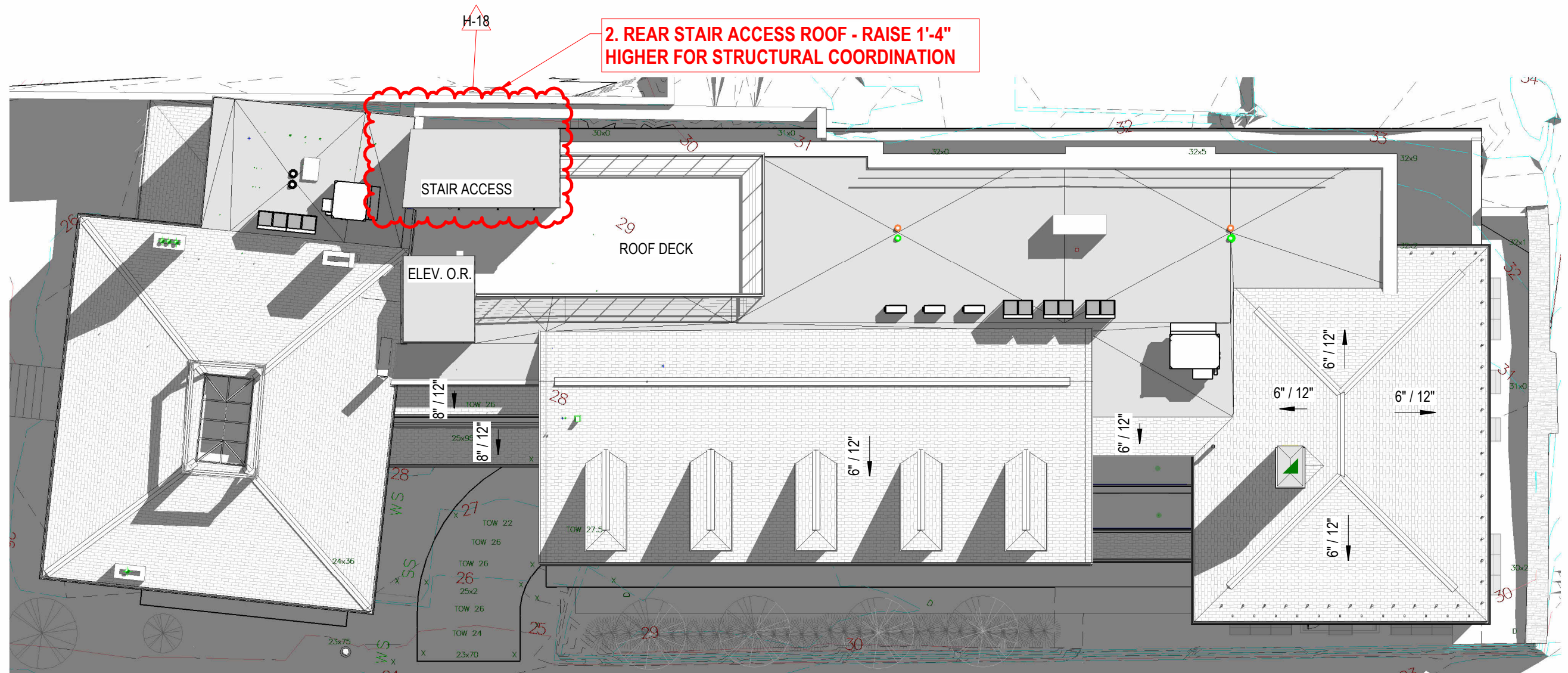
1. DOCUMENT & TEMPORARILY RELOCATE & SAFELY STORE STONE WALL, FOR REINSTALLATION AFTER SITE CONSTRUCTION

No.	Date	Issue Notes
A	11/22/21	ZBA RE-SUBMISSION
B	12/9/21	TAC REVISIONS
C	3/24/22	
D	4/15/22	TEMPLE FENCE EXPANSION
E	6/3/22	90% CD'S Bid & Permit Set
F	6/30/22	100% CD'S Bid & Permit Set
G	7/26/22	ADDENDUM 1

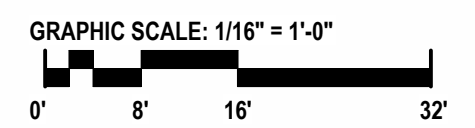
P1.0 LANDSCAPE SITE PLAN
93 PLEASANT STREET

HDC REVISION 2
9/28/2022
PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.





ROOF LEGEND	
○ DS	DOWNSPOUT
----	GUTTER

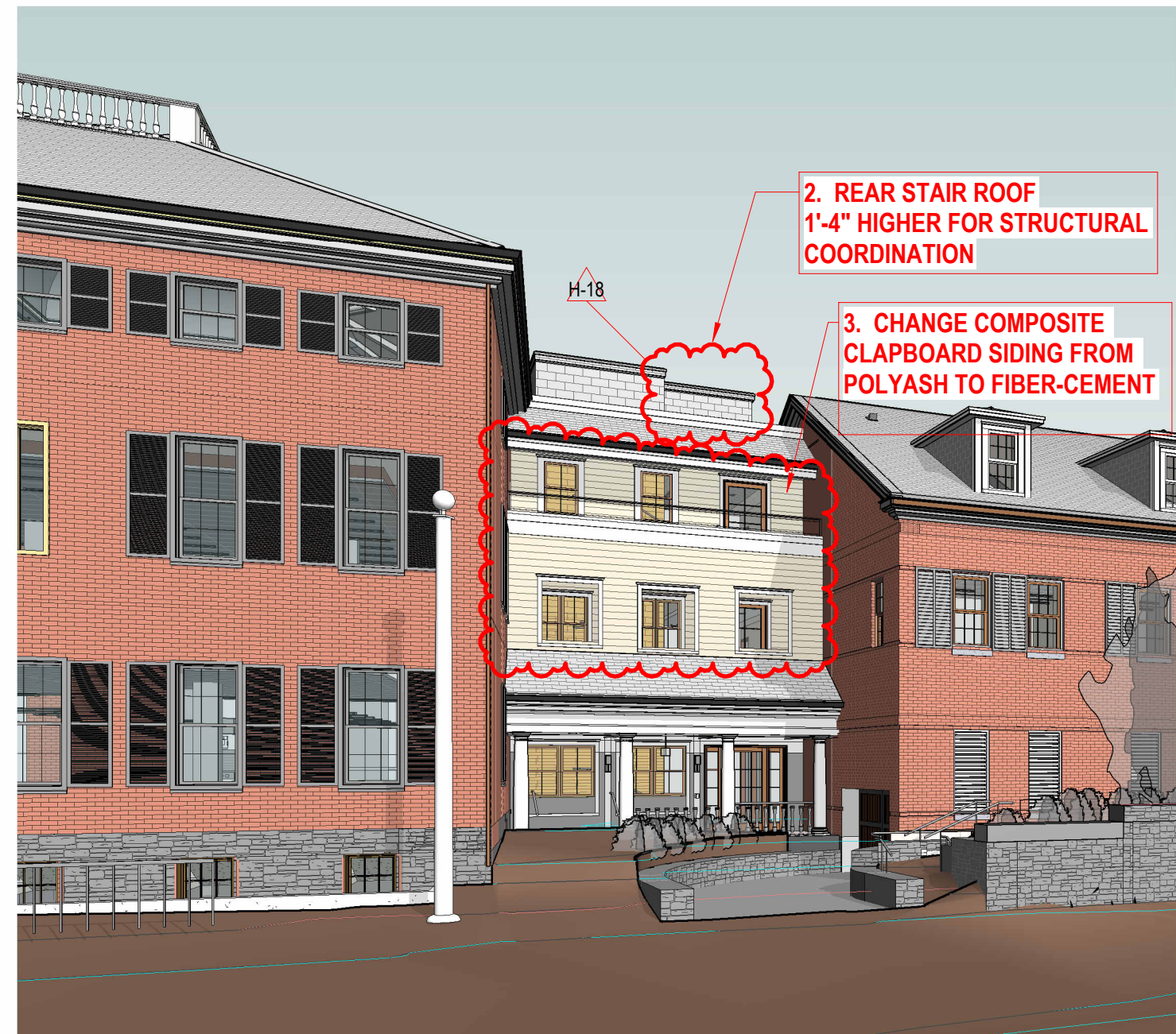


P1.3 **ROOF PLAN**
93 PLEASANT STREET
 HDC REVISION 2
 9/28/2022





PREVIOUSLY APPROVED



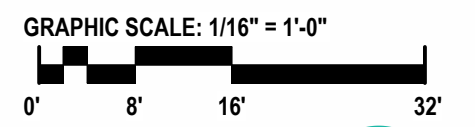
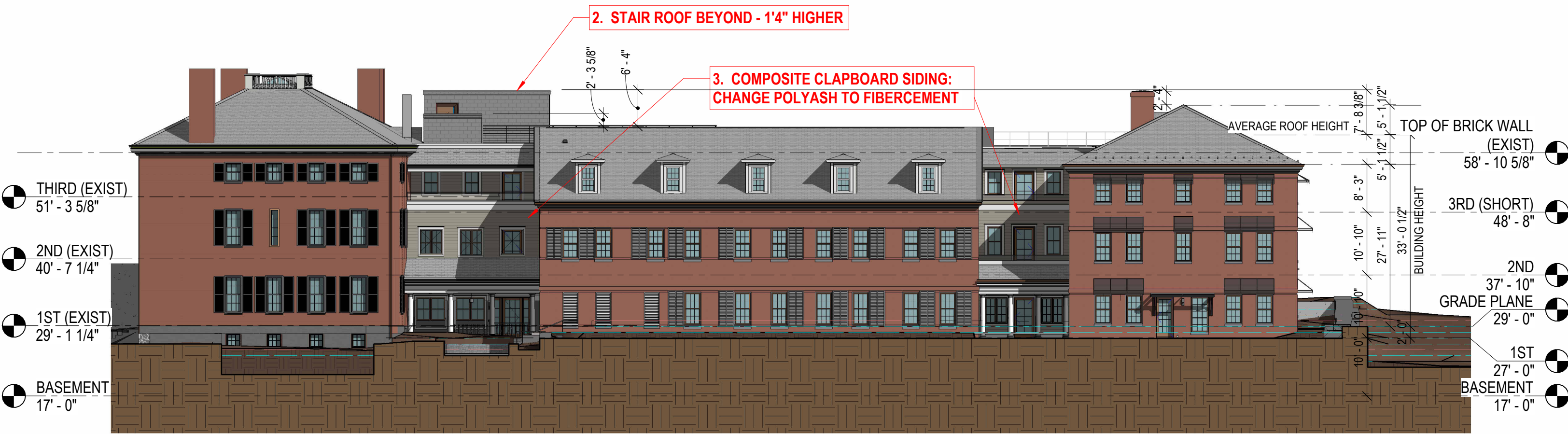
PROPOSED

P1.8 PERSPECTIVE VIEW - SW
93 PLEASANT STREET

9/28/2022



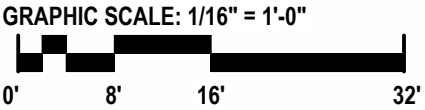
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P1.10 **ELEVATION - FRONT**
93 PLEASANT STREET
 HDC REVISION 2
 9/28/2022

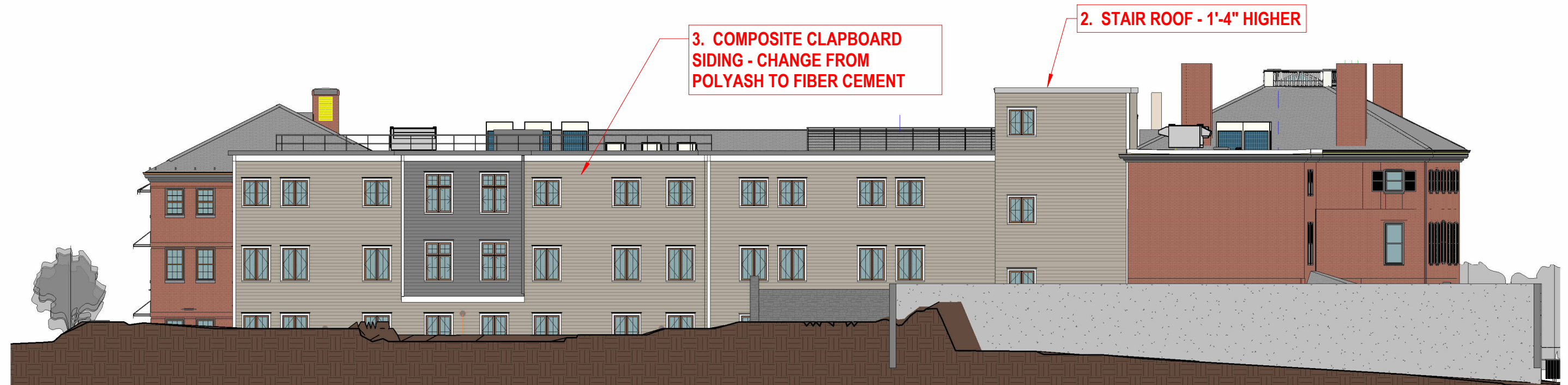


EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT



P1.11 **ELEVATION - SIDE**
93 PLEASANT STREET
 HDC REVISION 2
 9/28/2022





EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT

P1.12 **ELEVATION - REAR**
93 PLEASANT STREET
 HDC REVISION 2
 9/28/2022





STONE WALL - EXISTING CONDITIONS

SEVERINO

TRUCKING CO. INC.

P.O. Box 202
Phone: 603-483-2133

www.severinotrucking.com

Candia, NH 03034
Fax: 603-483-2998

Ms. Lynn Kramer
Executive Vice President
McNabb Group
3 Pleasant Street, Suite 400
Portsmouth, NH

September 26, 2022

**Re: 93 Pleasant Street
Mortar Rubble Wall Reconstruction**

Ms. Kramer,

Based on our site meeting last Thursday we offer the following process and procedure. The wall will be removed and reconstructed in like or better condition, maintaining and enhancing the historic value and appearance.

Removal:

1. Close sidewalk with MUTCD signage and add crosswalks at appropriate locations.
2. Remove sidewalk and place portable concrete barrier.
3. Document face of wall appearance with pictures and elevations.
4. Brace wall face.
5. Excavate wall on back side.
6. Remove each stone, clean, number, place on pallet and photograph.
7. Cover pallets with black polyethylene sheeting to preserve numbers.
8. Transport to staging area.

Reconstruction:

1. Excavate and pour new reinforced 1' x 5' concrete footing at 4' deep for frost protection.
2. Transport pallets sequentially as wall construction begins.
3. Increase depth and width of wall with additional stones and concrete below grade and on backside to create 1:4 batter.
4. Place and mortar salvaged stones on backside to give "laid-dry" appearance.
5. Place 4" aggregate underdrain with stone and fabric.
6. Backfill with granular backfill material.

Please see attached picture of bridge in Peterborough, NH reconstructed with similar method this month.

Thank you,

Bernard F. Lee
Chief Estimator

CC: Ryan Duntley

EXCAVATING CONTRACTOR

SEVERINO

TRUCKING CO. INC.

*P.O. Box 202
Phone: 603-483-2133*

www.severinotrucking.com

*Candia, NH 03034
Fax: 603-483-2998*



EXCAVATING CONTRACTOR

SITE DEVELOPMENT

ROAD CONSTRUCTION

SAND AND GRAVEL

SEVERINO

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*Candia, NH 03034
Fax: 603-483-2998*



EXCAVATING CONTRACTOR

SITE DEVELOPMENT

ROAD CONSTRUCTION

SAND AND GRAVEL

HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie® siding – adding punctuation to your design statement.

HardieTrim®
Boards
Khaki Brown

HardiePlank®
Lap Siding
Navajo Beige

The performance you require.

THE DISTINCTIVENESS YOU DESIRE.

HardiePlank®

Thickness 5/16 in
Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

Width	5.25 in	6.25 in	7.25 in	8.25 in
Exposure	4 in	5 in	6 in	7 in
Prime Pcs/Pallet	360	308	252	230
ColorPlus Pcs/Pallet	324	280	252	210
Pcs/Sq	25.0	20.0	16.7	14.3

SELECT CEDARMILL®



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

SMOOTH



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

BEADED CEDARMILL®

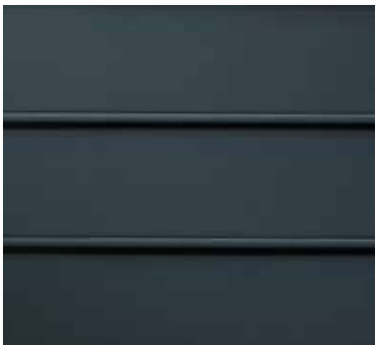


BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
Prime Pcs/Pallet	240
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3

STATEMENT COLLECTION™	_____
DREAM COLLECTION™	✓
PRIME	✓

BEADED SMOOTH

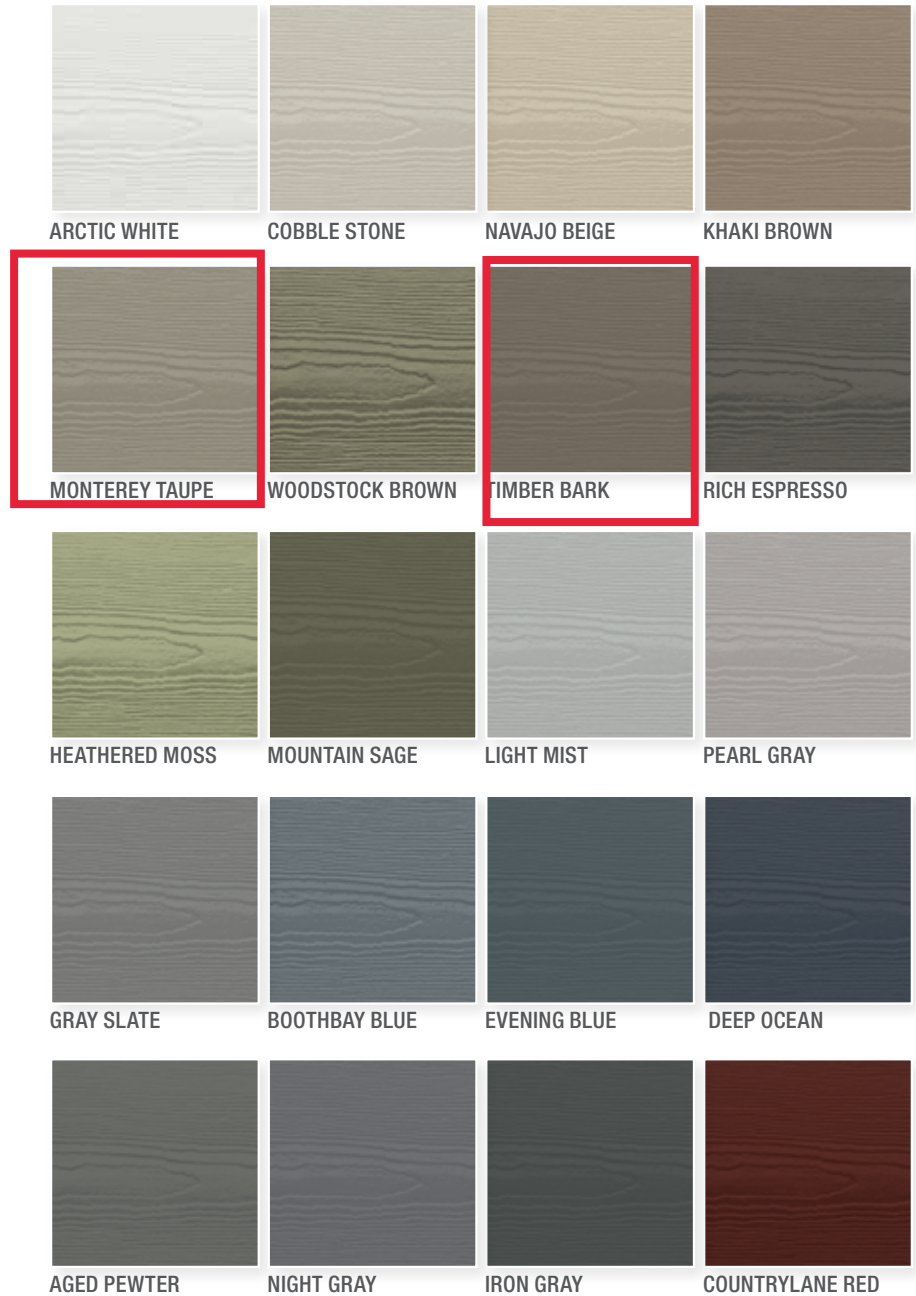


STATEMENT COLLECTION™

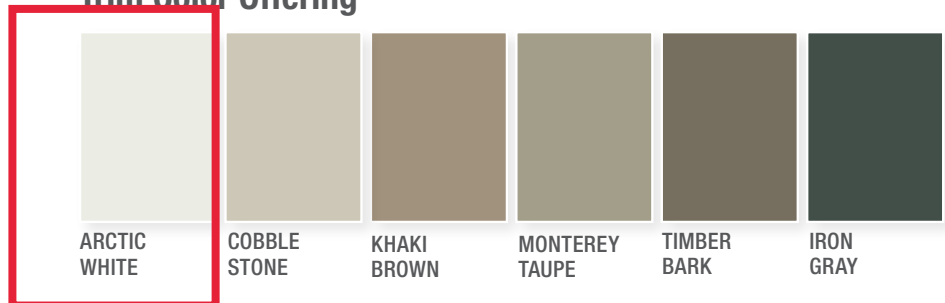
Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

ColorPlus® Technology

Plank, Panel, Shingle and Batten Color Offering



Trim Color Offering



Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color.

HardiePlank®



SELECT CEDARMILL®

Width 5.25 in 6.25 in
Exposure 4 in 5 in



SMOOTH

Width 5.25 in 6.25 in
Exposure 4 in 5 in

HardiePanel®



SELECT CEDARMILL®

Size 4 ft x 10 ft



SMOOTH

Size 4 ft x 10 ft

HardieShingle®



STRAIGHT EDGE PANEL

Height 14 in 15.25 in
Exposure 5 in 7 in

HardieTrim®

3/4 SMOOTH



Thickness .75 in
Length 12 ft boards
Width 3.5 in 5.5 in 7.25 in 11.25 in

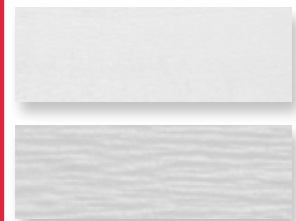
5/4 SMOOTH



Thickness 1 in
Length 12 ft boards
Width 3.5 in 4.5 in 5.5 in 7.25 in 11.25 in

BATTEN BOARDS

3/4 SMOOTH & RUSTIC GRAIN®



.75 in
2.5 in



Selecting a color? Request a product sample at jameshardiepros.com/samples

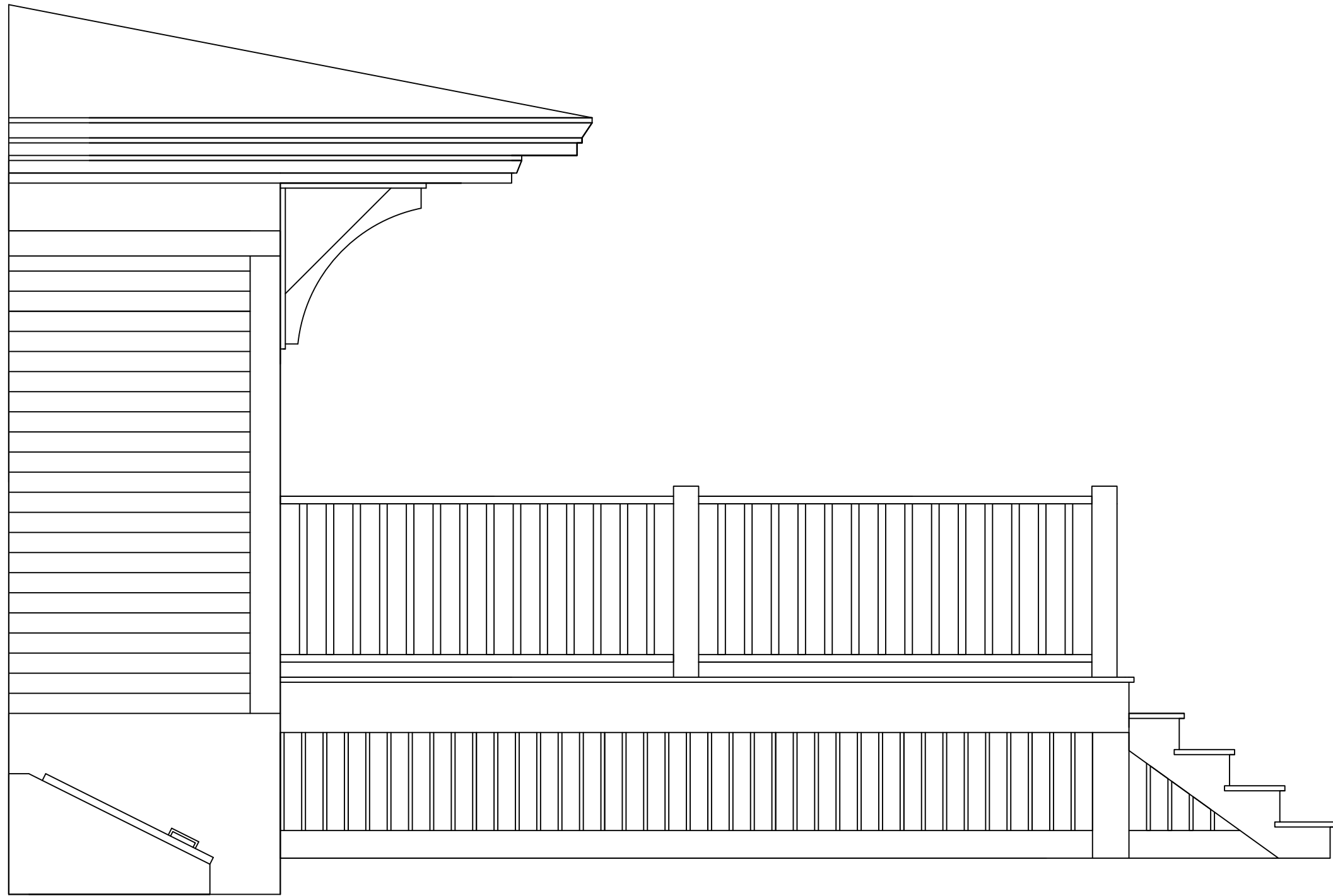
9. 31 Aldrich Street, Unit 33 - Recommended Approval

Background: The applicant is seeking approval for a bracket design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN D.B.MOLIN & CO. AND IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR USED FOR THE MANUFACTURE OF ANY ARTICLE WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.
2. WORK TO FIGURED DIMENSIONS ONLY.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, SERVICE ENGINEER'S AND D.B.MOLIN & CO. DRAWINGS AND SPECIFICATIONS.

Bracket Option

A			
REV:	DESCRIPTION:	BY:	DATE:
STATUS: FOR APPROVAL			



CLIENT:	Neilson
ARCHITECT:	D.B.Molin & Co. 456 Brixham Rd Eliot, ME 603.231.2727

SITE:	33 Aldrich
TITLE:	Bracket Option

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
N/A	9.20.22	Molin	
PROJECT NO:	DRAWING NO:	REVISION:	
			a

Historic District Commission

Staff Report – October 5th, 2022

October 5th MEETING

Administrative Approvals:

- | | |
|------------------------------------|----------------------|
| 1. 11 Walden St. (LUHD-502) | - Recommend Approval |
| 2. 621 Islington St. UE (LUHD-528) | - Recommend Approval |
| 3. 621 Islington St. UD (LUHD-527) | - Recommend Approval |
| 4. 553 Islington St. (LUHD-531) | - Recommend Approval |
| 5. 55 Gates St. (LUHD-532) | - Recommend Approval |
| 6. 12 South St. (LUHD-533) | - Recommend Approval |

WORK SESSIONS – OLD BUSINESS:

- A. 361 Islington St. (LUHD-521) (side and rear addition)
- B. 324 Maplewood Ave. (LUHD-462) (adaptive reuse)

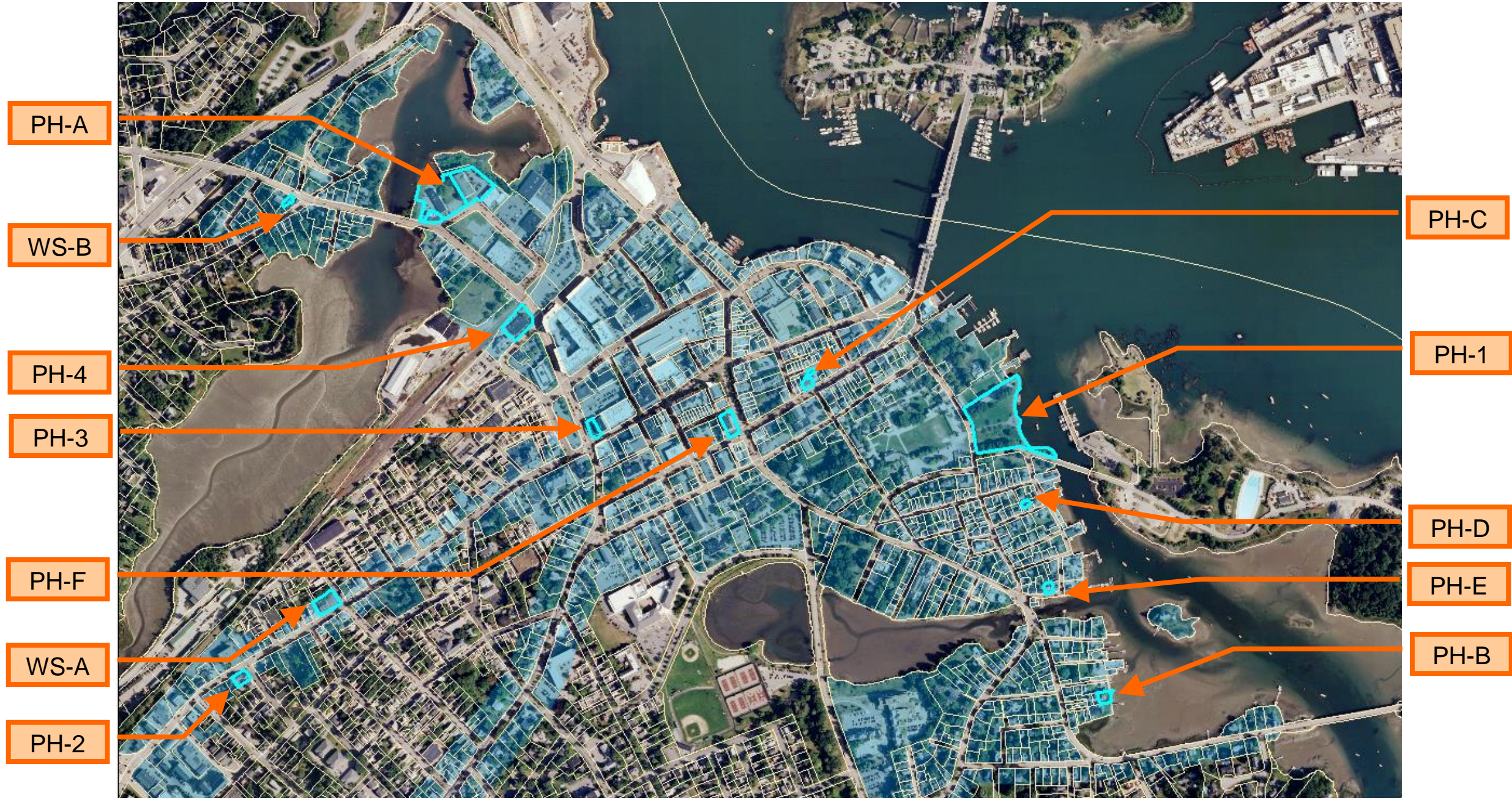
DISCUSSION – Certified Local Government

PUBLIC HEARINGS – OLD BUSINESS:

- A. 1 Raynes Ave. (LU-21-54) (2 infill buildings)
- B. 43 Holmes Court (LU-22-72) (demolition & new single family)
- C. 159 State St. (LU-22-169) (HVAC)
- D. 3 Walton Alley (LU-22-100) (window, storm windows & HVAC)
- E. 33 South Mill Pond St. (LU-22-171) (solar panels)
- F. 40 Pleasant St. (LUHD-524) (lighting & door canopies)

PUBLIC HEARINGS – NEW BUSINESS:

- 1. 0 Marcy St. (LU-22-169) (building relocation)
- 2. 490 Islington St. (LU-22-171) (skylight)
- 3. 147 Congress St. (LUHD-501) (one story addition)
- 4. 161 Deer St. (LUHD-462) (4 story infill building)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: October 5th

APPLICATIONS: 18

Historic District Commission

Project Address: 1 & 31 RAYNES AVE. (LUHD-234)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #A

Existing Conditions:

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: Contemporary
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To construct a 4 story mixed-use building and 5 story hotel.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building(s) is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings and replace them with two multi-story buildings including a hotel and a mixed-use building with ground floor commercial and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- **NOTE THAT WE ARE EXPECTING THIS APPLICATION TO REQUEST A CONTINUANCE UNTIL THE NOVEMBER 2ND MEETING IN ORDER TO MAKE SOME ADJUSTMENTS TO THE BUILDING DESIGN PER THE HDC'S COMMENTS ON 9-6-22.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Mixed-Use and Hotel Building Renderings



Zoning Map

HISTORIC SURVEY RATING

C

1 & 31 RAYNES AVE. (LU-21-54) – PUBLIC HEARING #A (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT - CONSTRUCT A 4 STORY MIXED-USE BUILDING AND 5 STORY HOTEL -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 1 & 31 Raynes Ave. Case No.: A Date: 10-5-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: **43 HOLMES COURT (LU-22-72)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #B**

A. Property Information - General:

Existing Conditions:

- Zoning District: WB
- Land Use: Single-Family
- Land Area: 5,662 SF +/-
- Estimated Age of Structure: c.1903
- Building Style: Late Gothic Revival
- Number of Stories: 1.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Holmes Court
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace the existing house with a 2 story traditionally-designed house.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This historic structure is located at the terminal vista of Holmes Court in the South End. It is the only house on the block that is zoned Waterfront Business. The structure is surrounded with many wood-sided, 2.5 story contributing structures. Most buildings have a shallow front- and side-yard setbacks with deeper rear yards.

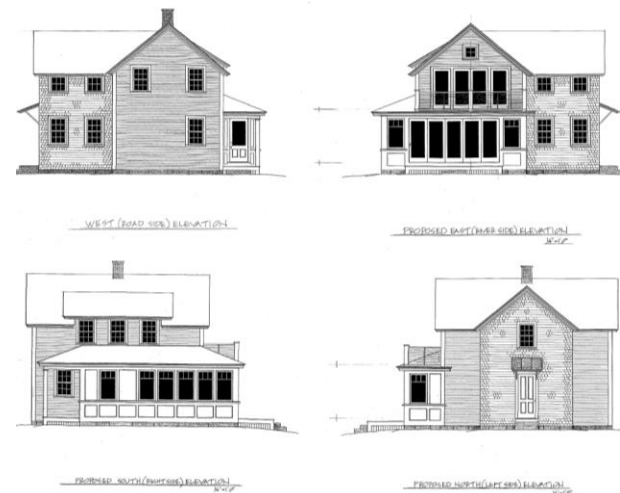
J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to revise the previous approval for the following items:
- Remove and replace the existing structure with a traditionally-design small house that is fully code compliant and is elevated out of the floodplain.

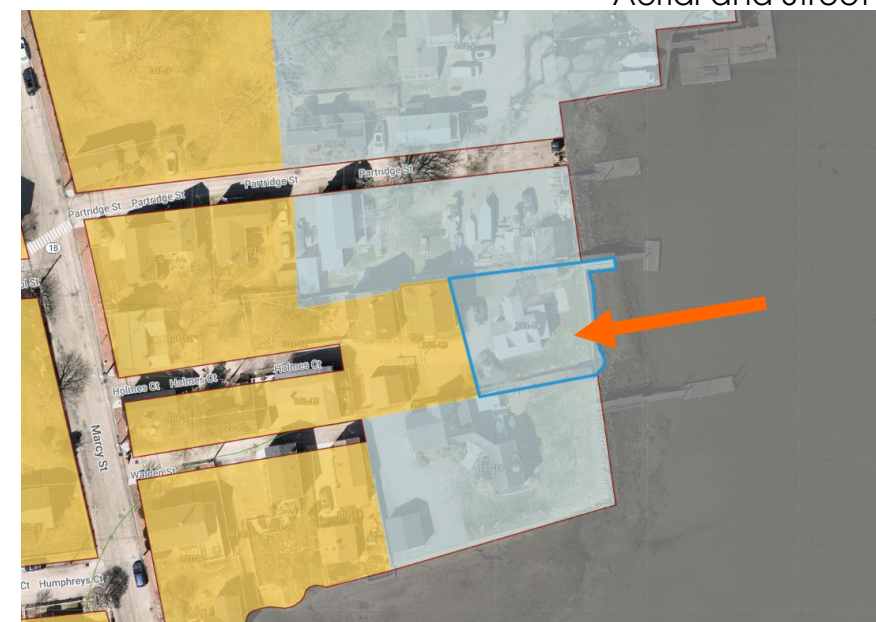
Note that the applicant has requested to postpone this application to the November 2nd meeting.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

43 HOLMES COURT (LU-22-72) – PUBLIC HEARING #B (MODERATE)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF	No	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<h3 style="margin: 0;">MODERATE PROJECT</h3> <h4 style="margin: 0;">– REMOVAL & REPLACEMENT OF A SINGLE FAMILY HOUSE –</h4>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
	7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	8	PROJECT REVIEW ELEMENT		HDC COMMENTS		HDC SUGGESTIONS		APPROPRIATENESS	
	9	Scale (i.e. height, volume, coverage...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Placement (i.e. setbacks, alignment...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Massing (i.e. modules, banding, stepbacks...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Architectural Style (i.e. traditional – modern)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Roofs						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Style and Slope						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Projections (i.e. chimneys, vents, dormers...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Roof Materials						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Cornice Line						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Eaves, Gutters and Downspouts						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Walls						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Siding / Material						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Projections (i.e. bays, balconies...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Doors and windows						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Openings and Proportions						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Casings/ Trim						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Window Shutters / Hardware						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Awnings						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Doors						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Porches and Balconies						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Projections (i.e. porch, portico, canopy...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Landings/ Steps / Stoop / Railings						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Lighting (i.e. wall, post...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Signs (i.e. projecting, wall...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Mechanicals (i.e. HVAC, generators)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Decks						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	Garages (i.e. doors, placement...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Fence / Walls (i.e. materials, type...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Grading (i.e. ground floor height, street edge...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Landscaping (i.e. gardens, planters, street trees...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Driveways (i.e. location, material, screening...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Parking (i.e. location, access, visibility...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 43 HOLMES COURT Case No.: B Date: 10-5-22

Decision: Approved Approved with Stipulations Denied Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

L. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 159 STATE ST. (LU-22-68)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #C

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Multi-Family
- Land Area: 3,920 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Italianate
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: View from Sheafe Street
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To add wall-mounted HVAC to the second floor.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alterations, additions or expansions)

J. Neighborhood Context:

- This building is located along State and Sheafe Streets. The property is surrounded with many historically significant brick-sided structures. The structures in this neighborhood have little to no front yard setbacks along the street and narrow side yards.

K. Staff Comments and/ or Suggestions for Consideration:

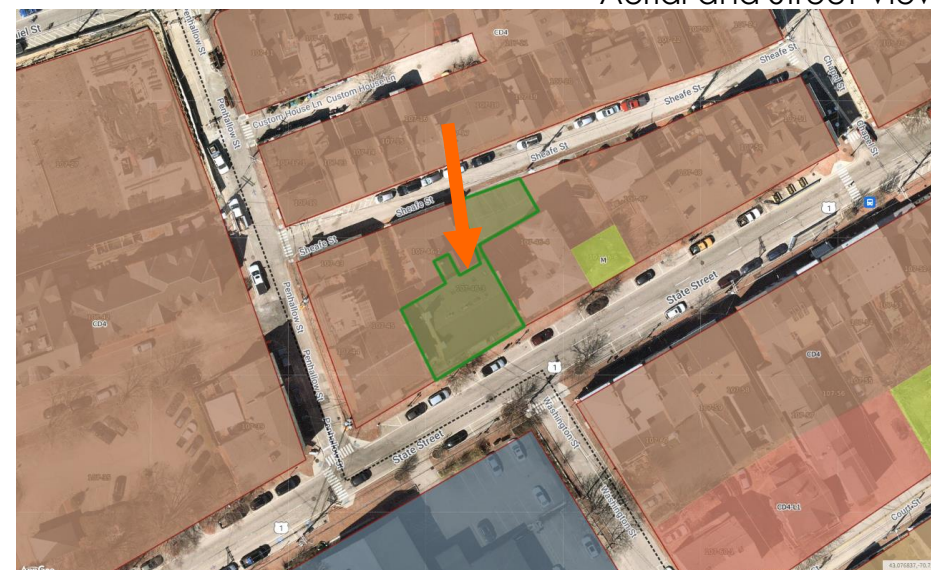
- The Applicant is proposing to:
- Add a wall-mounted HVAC unit on the 2nd floor of the exterior wall of the structure. Conduit will also be applied to the wall.
 - **NOTE WE NEED TO CONFIRM THAT THE CONDO ASSOCIATION SUPPORTS THE APPLICATION AND THE APPLICANT IS REQUESTING A CONTINUANCE TO THE NOVEMBER 2ND MEETING.**

Design Guideline Reference – Guidelines for Masonry and Stucco (07) and Site Elements and Streetscapes (09).

I. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

159 STATE ST. (LU-22-68) – PUBLIC HEARING #C (MINOR)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - WALL-MOUNTED HVAC CONDENSOR ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 159 STATE ST. Case No.: C Date: 10-5-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 3 WALTON ALLEY (LU-22-100)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #D

- This 2 story historic structure is located along Walton Alley. It is surrounded with many 2 1/2 -3 story wood-sided structures with shallow front and side yards. This property also has a shallow rear yard with two of the abutting structures located near the lot lines.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Replace the storm windows and doors.
- Replace bulkhead using pvc materials.
- Add a picture window on the rear wall.
- Add a condenser in the rear yard.

NOTE THAT THE APPLIANT IS SEEKING A POSTPONEMENT TO THE NOVEMBER 2ND MEETING.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:



Rear Elevation and Streetscape View



Zoning Map

**HISTORIC
SURVEY
RATING**

C

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 1,680 SF +/-
- Estimated Age of Structure: c.1750-1800
- Building Style: Georgian/ Federal
- Historical Significance: C
- Public View of Proposed Work: Limited view from Walton Alley
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To add a picture window and replace bulkhead & storm windows.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

3 WALTON ALLEY (LU-22-100) – PUBLIC HEARING #D (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	<div style="font-size: 24pt; font-weight: bold; margin-bottom: 10px;">MODERATE PROJECT</div> <div style="font-size: 18pt; font-weight: bold;">– Add HVAC, picture window, & replace storm windows –</div>					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 3 WALTON ALLEY Case No.: D Date: 10-5-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 33 SOUTH MILL STREET (LU-22-171)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #E

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Single Family
- Land Area: 3,495 SF +/-
- Estimated Age of Structure: c. 1860
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from South Mill and Salter Streets
- Unique Features: Significant alterations
- Neighborhood Association: South End Residents

B. Proposed Work: To replace rear window and door with French doors.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects only):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along South Mill Street. It is surrounded with many wood-sided 2.5 story historic structures with shallow to no front yard setbacks with gardens and lawns within the side and rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
- Replace the rear window and door with a set of French doors..

NOTE THAT THE APPLICANT HAS REVIEWED HIS PLAN WITH THE SOLAR VENDER AND THE FIRE DEPARTMENT AND THE PROPOSED PANEL DESIGN IS ACCEPTABLE AND PREFERRABLE. THE REAR SHED ROOF IS NOT.

K. Aerial Image, Street View and Zoning Map:



Aerial and Streetview Images



Zoning Map

HISTORIC SURVEY RATING

C

33 SOUTH MILL STREET (LU-22-171) – PUBLIC HEARING #E (MODERATE)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT				
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
STAFF	No.			(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
		GENERAL BUILDING INFORMATION		MODERATE PROJECT – INSTALL SOLAR PANELS ONLY –						
	1	Gross Floor Area (SF)								
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS		HDC SUGGESTIONS		APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	12	Roofs					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages/ Barns / Sheds (i.e. doors, placement...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37	Landscaping (i.e. gardens, planters, street trees...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38	Driveways (i.e. location, material, screening...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39	Parking (i.e. location, access, visibility...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40	Accessory Buildings (i.e. sheds, greenhouses...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 33 SOUTH MILL STREET Case No.: E Date: 10-5-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Evaluation Form: 40 PLEASANT ST. (LU-22-170)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #F

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 9,520 SF +/-
- Estimated Age of Structure: c.1860
- Building Style: Renaissance Revival
- Number of Stories: 3.0
- Historical Significance: Focal
- Public View of Proposed Work: View from Church, State, Porter & Pleasant Streets
- Unique Features: Former Post Office / US District Court House
- Neighborhood Association: Downtown

B. Proposed Work: To replace windows, doors, signage and add lighting.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This historically significant (focal) 3 story granite-clad building is located at the intersection of State and Pleasant Streets and is surrounded with many contributing and focal historic structures. It is surrounded with many 3-4 story wood- and brick sided historic structures with no front yard setback along the street and narrow side yards.

J. Staff Comments and Suggestions for Consideration:

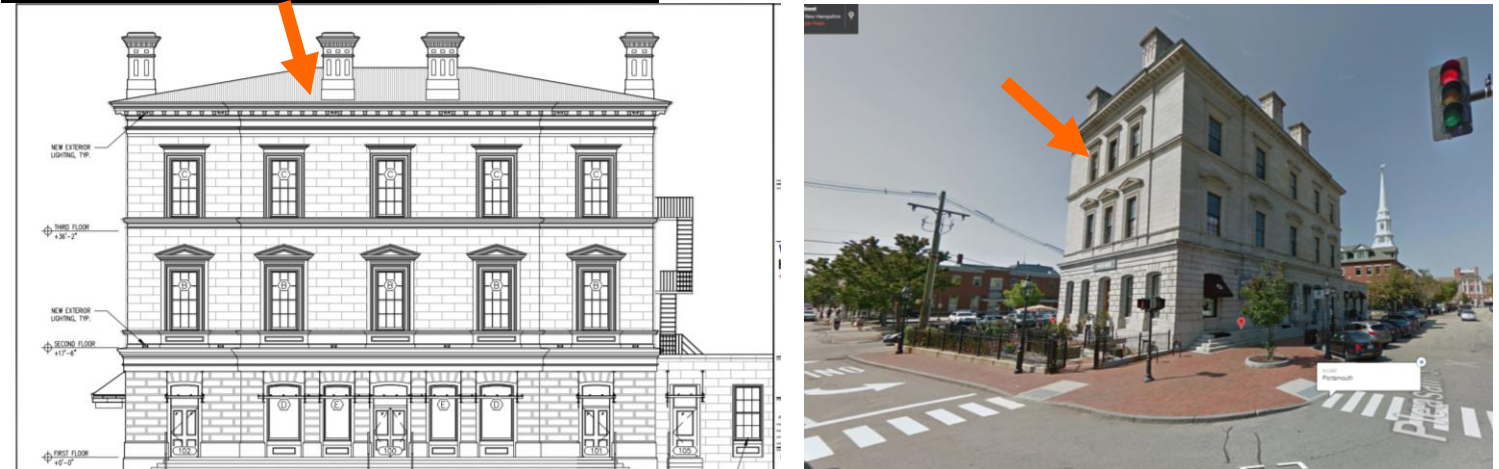
The project includes:

- The replacement of the historic windows.
- Replacement of existing entry door and frames
- Sign replacement
- Addition of exterior lighting.

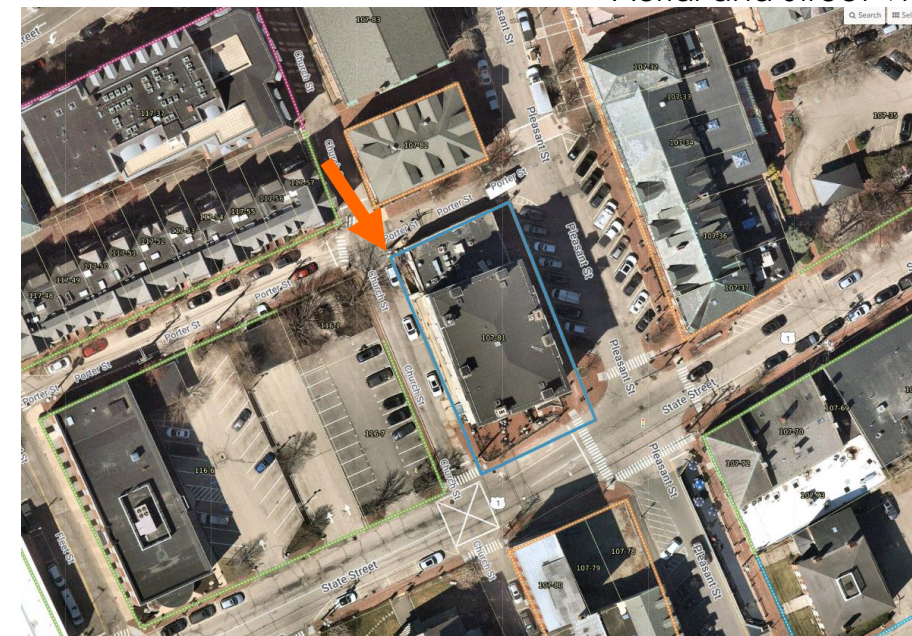
NOTE THAT THE EXTERIOR AWNINGS HAVE BEEN REMOVED FROM THE APPLICATION.

• **Design Guideline Reference: Guidelines Windows and Doors (08 and Signs and Awnings (11).**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

F

40 PLEASANT STREET (LU-22-170) – PUBLIC HEARING #F (MODERATE)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
STAFF	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	<h3 style="margin: 0;">MODERATE PROJECT</h3> <h4 style="margin: 0;">– REPLACE WINDOWS, DOORS, SIGNAGE AND ADD LIGHTING –</h4>					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
PROJECT REVIEW ELEMENT		HDC COMMENTS						HDC SUGGESTIONS
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
BUILDING DESIGN & MATERIALS	BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 40 PLEASANT STREET Case No.: F Date: 10-5-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 0 MARCY STREET (LUHD-ADVISORY)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION / PUBLIC HEARING #1

Existing Conditions:

- Zoning District: M
- Land Use: Municipal
- Land Are: 6.9 Acres +/-
- Estimated Age of Structure: c.1790
- Building Style: Federal
- Historical Significance: C
- Public View of Proposed Work: View from Marcy Street & Prescott Park
- Unique Features: Remaining Warehouse
- Neighborhood Association: South End

B. Proposed Work: To elevate, relocate and renovate the Shaw Warehouse.

C. Other Permits Required:

- Board of Adjustment
- Planning Board
- City Council
- Condo Association
- Abutting Property Owner

D. Lot Location:

- Terminal Vista
- Gateway
- Mid-Block
- Intersection / Corner Lot
- Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal
- Accessory
- Demolition

F. Sensitivity of Context:

- Highly Sensitive
- Sensitive
- Low Sensitivity
- "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing structure is located in the heart of Prescott Park adjacent the Sheafe Warehouse. The structure is currently located within the 100 year floodplain.

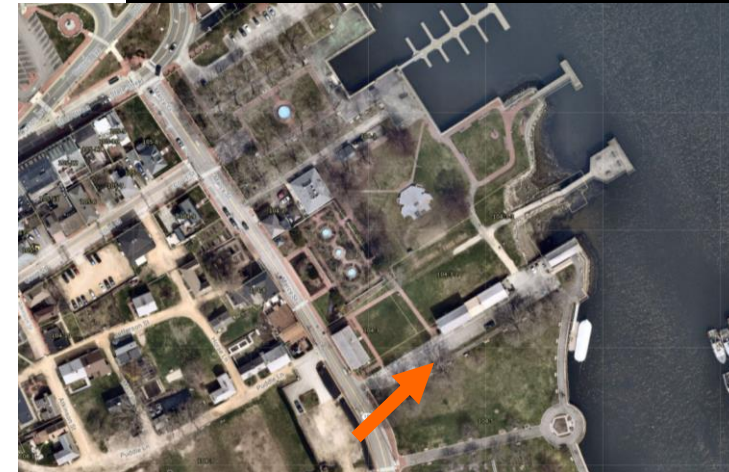
J. Staff Comments and/ or Suggestions for Consideration:

The City is proposing to:

- Elevate, relocate, and remove (demolish) the two additions located on the north side of the Shaw Warehouse.
- This project is part of a multi-phased master plan improvement program for Prescott Park.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows and Doors (08) and Site Elements and Streetscapes (09).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

0 MARCY STREET (LUHD-) – WORK SESSION/PUBLIC HEARING #1 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT – Elevate, Relocate, and Renovate the Shaw Warehouse (c. 1820) –</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 0 MARCY STREET Case No.: 1 Date: 10-5-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 490 ISLINGTON STREET #2 (LU-22-187)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L2
- Land Use: Multi-Family
- Land Area: 6,534 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: 4 Square with addition
- Number of Stories: 2.5-3
- Historical Significance: Contributing and New Construction
- Public View of Proposed Work: View from Columbia Street
- Unique Features: NA
- Neighborhood Association: West End

B. Proposed Work: To add a skylight.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This historic structure has a large contemporary addition and is located along the intersection of Columbia and Islington Streets. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to install a skylight to the roof on the parking side of the building that does not front on Islington Street.

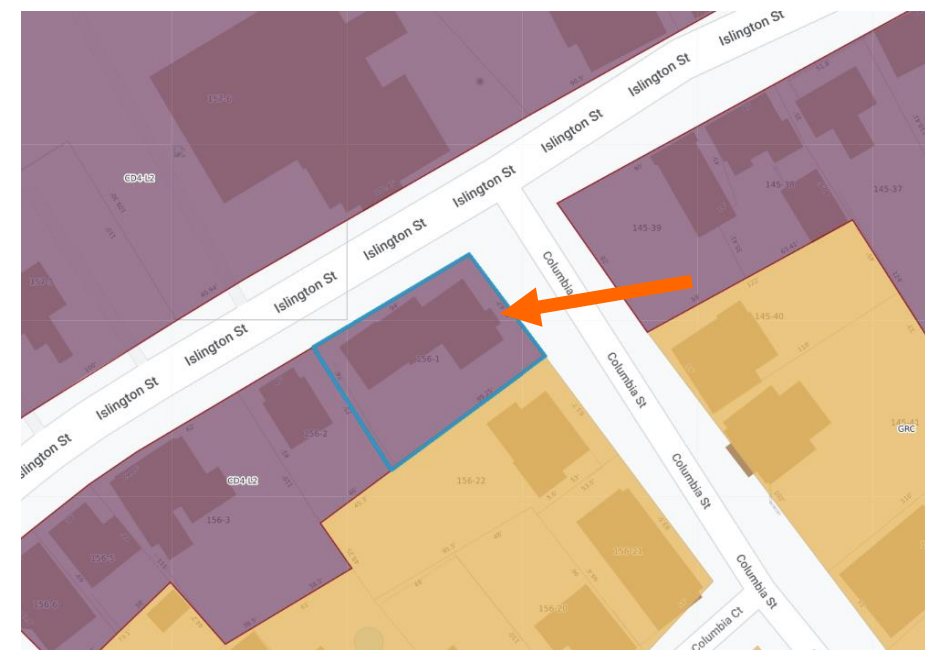
Note that the applicant has mentioned adding another window but has not provided any window details on the location or window type so that will require subsequent administrative approval.

Design Guideline Reference – Guidelines for Exterior Woodwork (05)

K. Aerial Image, Street View and Zoning Map:



Bird's Eye View



Zoning Map

HISTORIC SURVEY RATING

C

490 ISLINGTON STREET #2 (LU-22-187) – PUBLIC HEARING #2 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - ADD A SKYLIGHT -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 490 ISLINGTON STREET Case No.: 2 Date: 10-5-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- 1. Preserve the integrity of the District: Yes No
- 2. Assessment of the Historical Significance: Yes No
- 3. Conservation and enhancement of property values: Yes No
- 4. Maintain the special character of the District: Yes No
- 5. Complement and enhance the architectural and historic character: Yes No
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No

L. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: Yes No
- 2. Compatibility of design with surrounding properties: Yes No
- 3. Relation to historic and architectural value of existing structure: Yes No
- Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Evaluation Form: 147 CONGRESS ST. (LU-22-192)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 6,908 SF +/-
- Estimated Age of Structure: c.1950
- Building Style: Modern Vernacular
- Number of Stories: 2
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Congress St. and Maplewood Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To add a single story side addition along Maplewood Ave.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

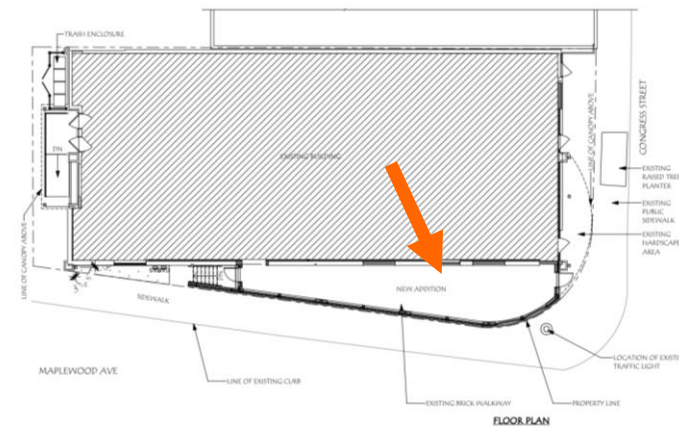
- This non-contributing structure is located at the intersection of Maplewood Ave. and Congress St. It is located within the Urban Renewal Area. Most buildings have a no front- and side-yard setbacks with shallow rear yards.

J. Staff Comments and Suggestions for Consideration:

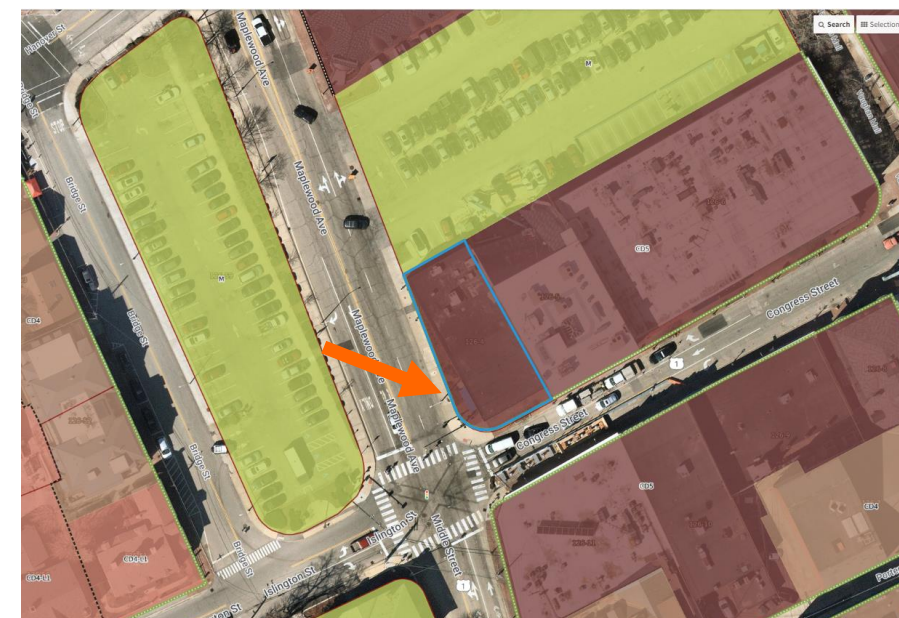
- The applicant proposes to revise the previous approval for the following items:
 - Adding a new side addition along the Maplewood Ave. façade.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NC

147 CONGRESS ST. (LU-22-192) – PUBLIC HEARING #3 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT - 1-STORY SIDE ADDITION -</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
BUILDING DESIGN & MATERIALS		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
SITE DESIGN		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 147 CONGRESS ST. Case No.: 3 Date: 10-5-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

L. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 161 DEER STREET (LU-22-)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #4

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 22,650 SF +/-
- Estimated Age of Structure: c.1970
- Building Style: Contemporary
- Number of Stories: 1
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Maplewood Ave. and Deer Street
- Unique Features: Former Rail Station
- Neighborhood Association: North End

B. Proposed Work: To replace the existing building with a 4 ½ story mixed-use building.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This property is located within the Urban Renewal Area of the North End. The existing building was constructed in the 1970s and is non-contributing. . The structure is surrounded with many brick non-contributing structure constructed in the 1960s-1980s. Many building in the surrounding neighborhood are now being replaced with multi-story, mixed-use buildings.

J. Staff Comments and Suggestions for Consideration:

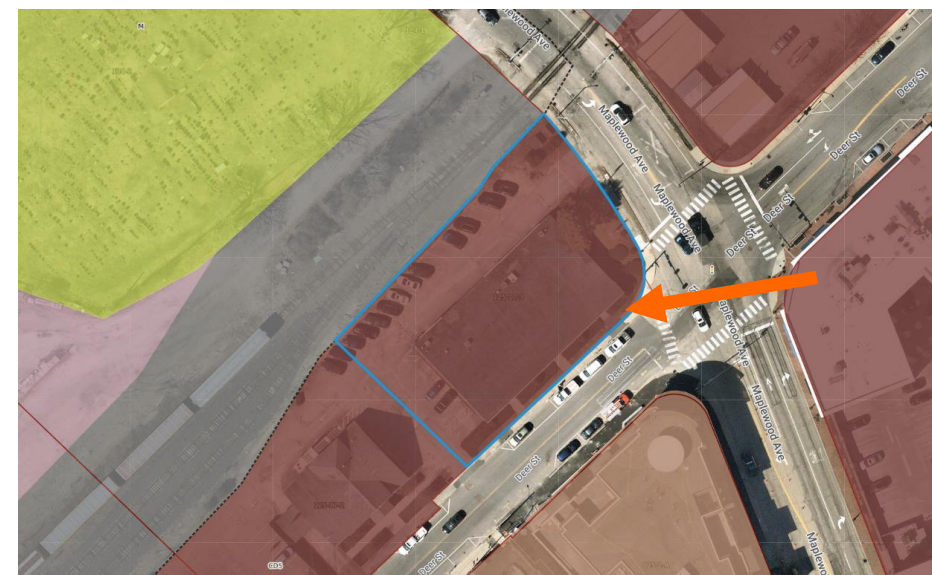
- The applicant proposes to revise the previous approval for the following items:
 - Remove the existing building.
 - Construct a 4 story building with a penthouse on the 5th floor.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NC

161 DEER STREET (LU-22-___) – PUBLIC HEARING #4 (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT – NEW 4 STORY INFILL BUILDING WITH A PENTHOUSE LEVEL –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 161 DEER STREET Case No.: 4 Date: 10-5-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

L. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 361 ISLINGTON STREET (LUHD-521)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #A

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Vacant / Commercial
- Land Area: 15,174 SF +/-
- Estimated Age of Structure: 1965
- Building Style: Commercial / Modern
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Islington and Cabot Streets
- Unique Features: NA
- Neighborhood Association: Islington Creek

B. Proposed Work: Add side & rear additions and make site improvements.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very significant alternations, additions or expansions)

I. Neighborhood Context:

- The structure is located along Islington Street. It is surrounded with mainly wood 2.5 - 3 story historic structures with shallow or no front yard setbacks on relatively small lots

J. Background & Suggested Action:

The applicant proposed to:

- Convert the former gas station to a full-service restaurant;
- Add a small addition to the west and rear side of the building;
- Modify the existing canopy to create an outdoor seating area; and
- Add fencing and landscaping along the edge of the property.
- A large shade tree is also included for removal along the rear driveway.

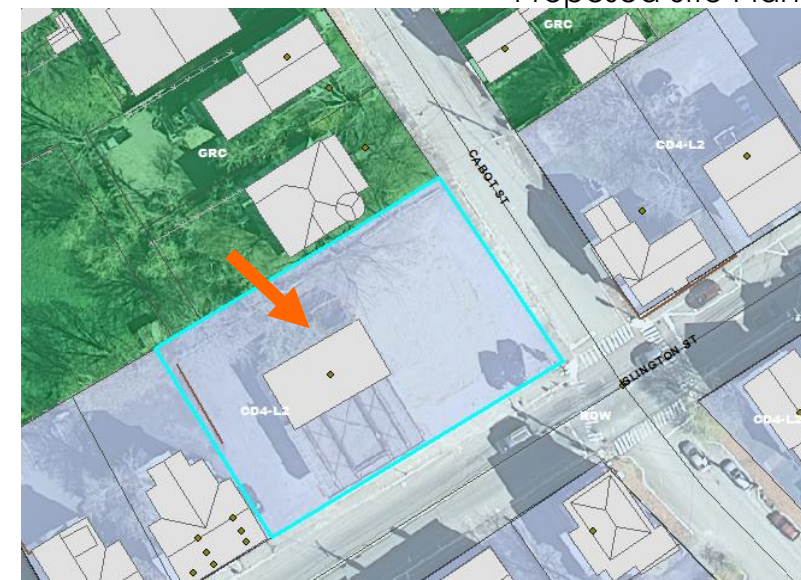
NOTE THAT NO NEW PLANS HAD BEEN SUBMITTED AT THE TIME OF THIS REPORT. ANY UPDATED PLANS WILL BE FORWARDED TO THE HDC MEMBERS IN ADVANCE OF THE MEETING.

Design Guideline Reference – Masonry & Stucco (07), Windows and Doors (08), Site Elements & Streetscapes (09), Small Scale New Construction & Additions, and Signs and Awnings (11)

K. Aerial Image, Street View and Zoning Map:



Proposed Site Plan and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NC

361 ISLINGTON STREET – WORK SESSION #A (MODERATE)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT				
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
STAFF	No.			(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
		GENERAL BUILDING INFORMATION		<h1 style="margin: 0;">MODERATE PROJECT</h1> <h3 style="margin: 0;">– SITE ALTERATIONS AND SIDE & REAR ADDITION ONLY –</h3>						
	1	Gross Floor Area (SF)								
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS		HDC SUGGESTIONS		APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	Roofs					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	15	Roof Materials					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Storm Windows / Screens					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages/ Barns / Sheds (i.e. doors, placement...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37	Landscaping (i.e. gardens, planters, street trees...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38	Driveways (i.e. location, material, screening...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39	Parking (i.e. location, access, visibility...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40	Accessory Buildings (i.e. sheds, greenhouses...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 361 ISLINGTON STREET Case No: A Date: 10-5-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 324 MAPLEWOOD AVE. (LUHD-481)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #B

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L2
- Land Use: Mixed-Use
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c.1948
- Building Style: Commercial
- Number of Stories: 1.0
- Historical Significance: NC
- Public View of Proposed Work: View from Dennett Street and Maplewood Ave.
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To renovate the existing building for a single family use.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

L. Neighborhood Context:

- This building is located along Maplewood Ave. The property is surrounded with many modern and historically significant structures. The structures in this neighborhood have shallow setbacks along the street and narrow side yards and deeper rear yards.

M. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Clad the exterior walls with clapboards
- Add windows and doors.
- Convert the accessory structure for a residential use.

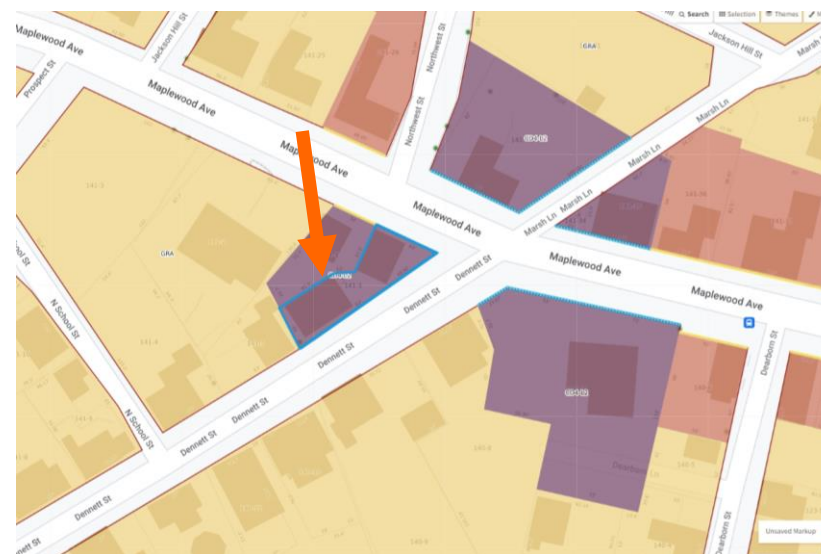
NOTE THAT THE APPLICANT HAS REQUESTED THIS APPLICATION BE CONTINUED TO THE NOVEMBER 2ND MEETING.

Design Guideline Reference – Guidelines for Windows and Doors (08).

J. Aerial Image, Street View and Zoning Map:



Street View Image & Proposed Elevation



Zoning Map

**HISTORIC
SURVEY
RATING**

C

324 MAPLEWOOD AVE. (LUHD-481) – WORK SESSION #B (MINOR)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	MINOR PROJECT - EXTERIOR CLADDING, WINDOWS AND DOORS -					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width (ROW) Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
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			24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
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			27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
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			32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 324 MAPLEWOOD AVE Case No: B Date: 10-5-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |



09/30/2022

LU-22-170

Land Use Application

Status: Active**Date Created:** Aug 19, 2022**Applicant**

Ben Kelley
ben@kelleyfamilyproperties.com
PO Box 1374

Concord, NH 03302
6032311240

Primary Location

40 PLEASANT ST
Portsmouth, NH 03801

Owner:

ALLISON STREET HOLDINGS LLC % & 69 WARREN STREET LLC %
7 Church Street DEERFIELD, NH 03037

Applicant Information**Please indicate your relationship to this project**

A. Property Owner

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

Request for Extension of Previously Granted Land Use Approval

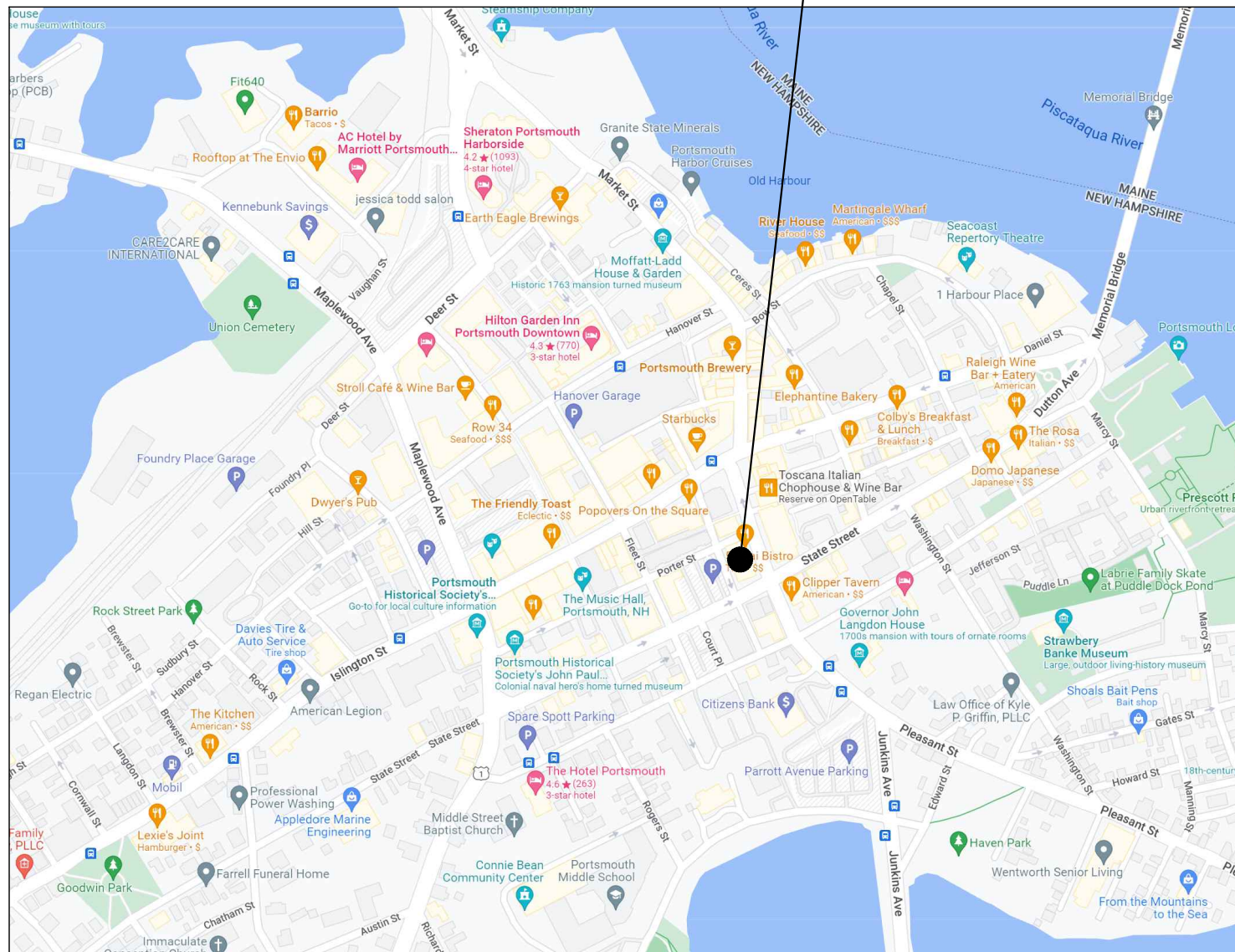
40 PLEASANT STREET

40 PLEASANT STREET
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING - 10/05/2022

PREVIOUS SUBMISSIONS:
PUBLIC HEARING / WORK SESSION - 09/07/2022

SITE LOCATION MAP:

BUILDING LOCATION



DESIGN INTENT:

- REPLACE EXISTING WINDOWS WITH NEW WINDOWS THAT UPHOLD THE HISTORICAL APPEARANCE OF THE CUSTOM HOUSE
- ~~REMOVE EXISTING CANVAS AWNINGS AND CONSTRUCT NEW STEEL AND GLASS AWNINGS AT PLEASANT, CHURCH, AND STATE STREET ENTRANCES~~ REMOVED FROM SUBMISSION
- REPLACE EXISTING ENTRY DOOR WITH NEW DOOR AND FRAMES THAT UPHOLD THE HISTORICAL APPEARANCE OF THE CUSTOM HOUSE
- REPLACE CURRENT SIGNAGE WITH NEW SIGNAGE THAT BETTER RESPECTS THE BUILDING ARCHITECTURE
- INSTALL NEW EXTERIOR LIGHTING TO ENHANCE THE FACADES AT NIGHT

DRAWING INDEX:

GENERAL

- T0.1 TITLE SHEET
- T1.0 CONTEXT - HISTORIC
- T1.1 CONTEXT - EXISTING

EXISTING DRAWINGS

- AE1.0 EXISTING GROUND PLAN
- AE2.0 EXISTING NORTH ELEVATION
- AE2.1 EXISTING EAST ELEVATION
- AE2.2 EXISTING SOUTH ELEVATION
- AE2.3 EXISTING WEST ELEVATION
- AE7.0 EXISTING WINDOW TYPES / DETAILS
- AE9.0 EXISTING WINDOW IMAGES

ARCHITECTURAL DRAWINGS

- A2.0 PROPOSED NORTH ELEVATION
- A2.1 PROPOSED EAST ELEVATION
- A2.2 PROPOSED SOUTH ELEVATION
- A2.3 PROPOSED WEST ELEVATION
- A5.0 SECTIONS AND DETAILS
- A5.1 SECTIONS AND DETAILS
- A5.2 SECTIONS AND DETAILS
- ~~A5.3 SECTIONS AND DETAILS~~ REMOVED FROM SUBMISSION
- ~~A6.0 PERSPECTIVE IMAGES~~ REMOVED FROM SUBMISSION
- A7.0 WINDOW TYPES
- A7.1 DOOR TYPES
- A7.2 WINDOW DETAIL COMPARISON
- A8.0 WINDOW CUT SHEET
- A8.1 LIGHTING CUT SHEET
- ~~A9.0 CANOPY PLAN/INSPIRATION~~ REMOVED FROM SUBMISSION
- A9.1 LIGHTING INSPIRATION

PROJECT:

KEY:

**WINTER
HOLBEN**

architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:

40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801

PROJECT NO.:

22065

DRAWN BY:

GL/RW

APPROVED BY:

BH

ISSUE DATE:

9/23/2022

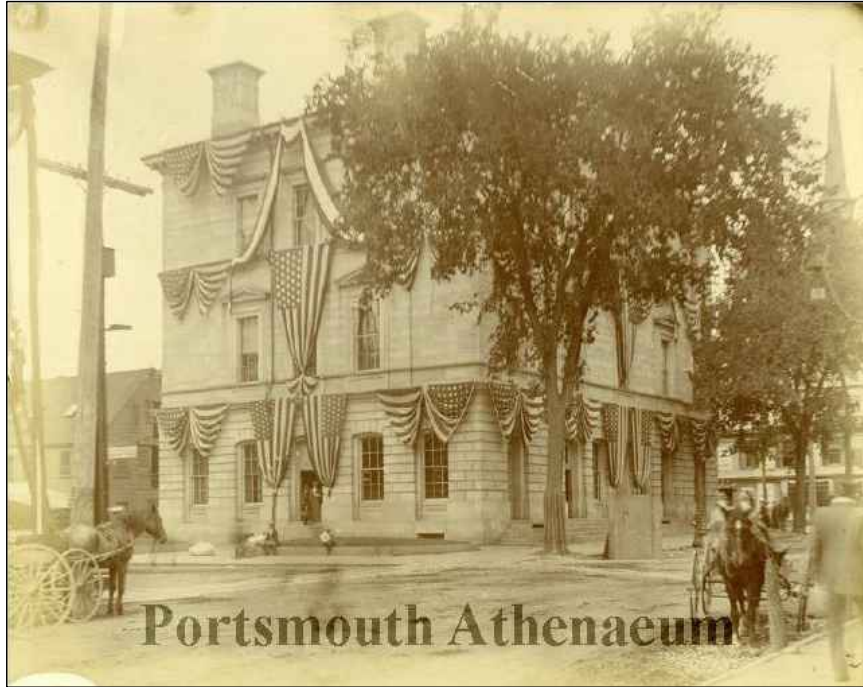
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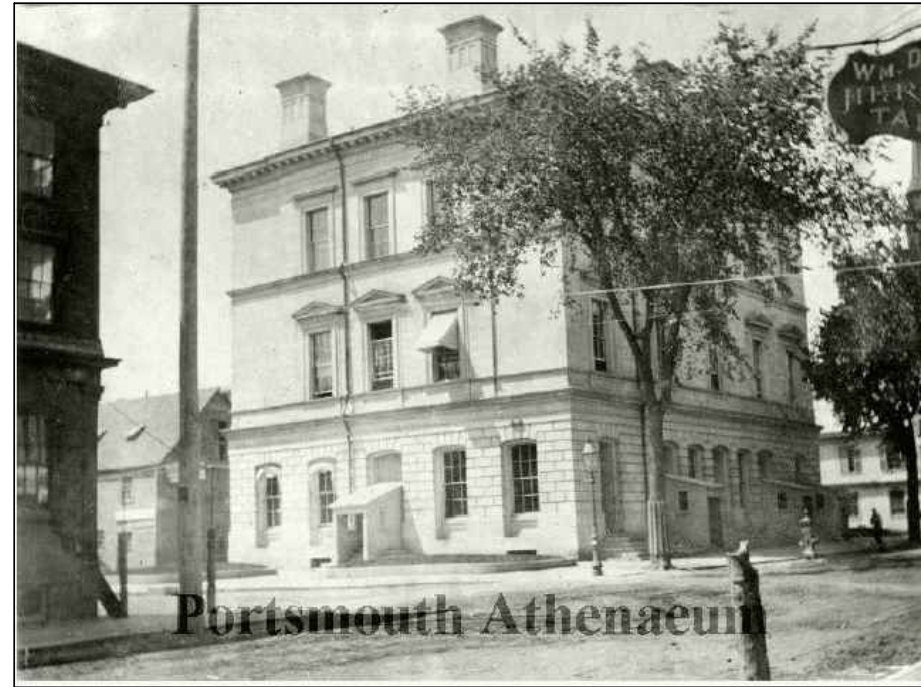
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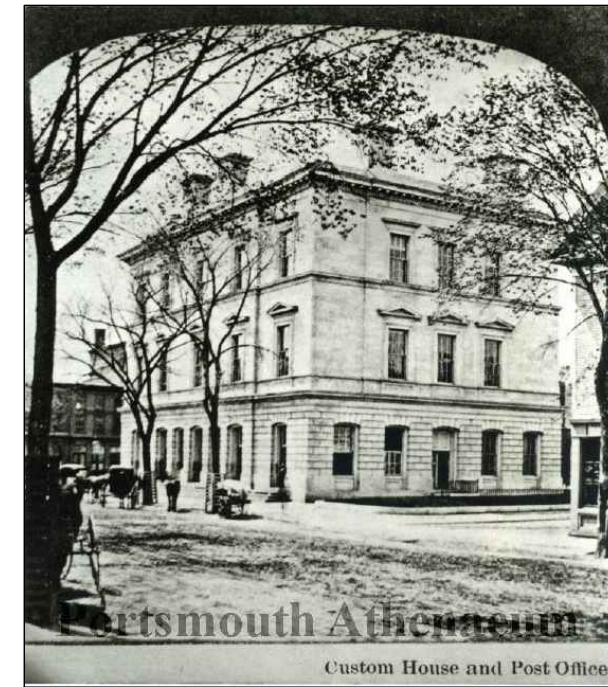
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HISTORIC SOUTH EAST BUILDING CORNER



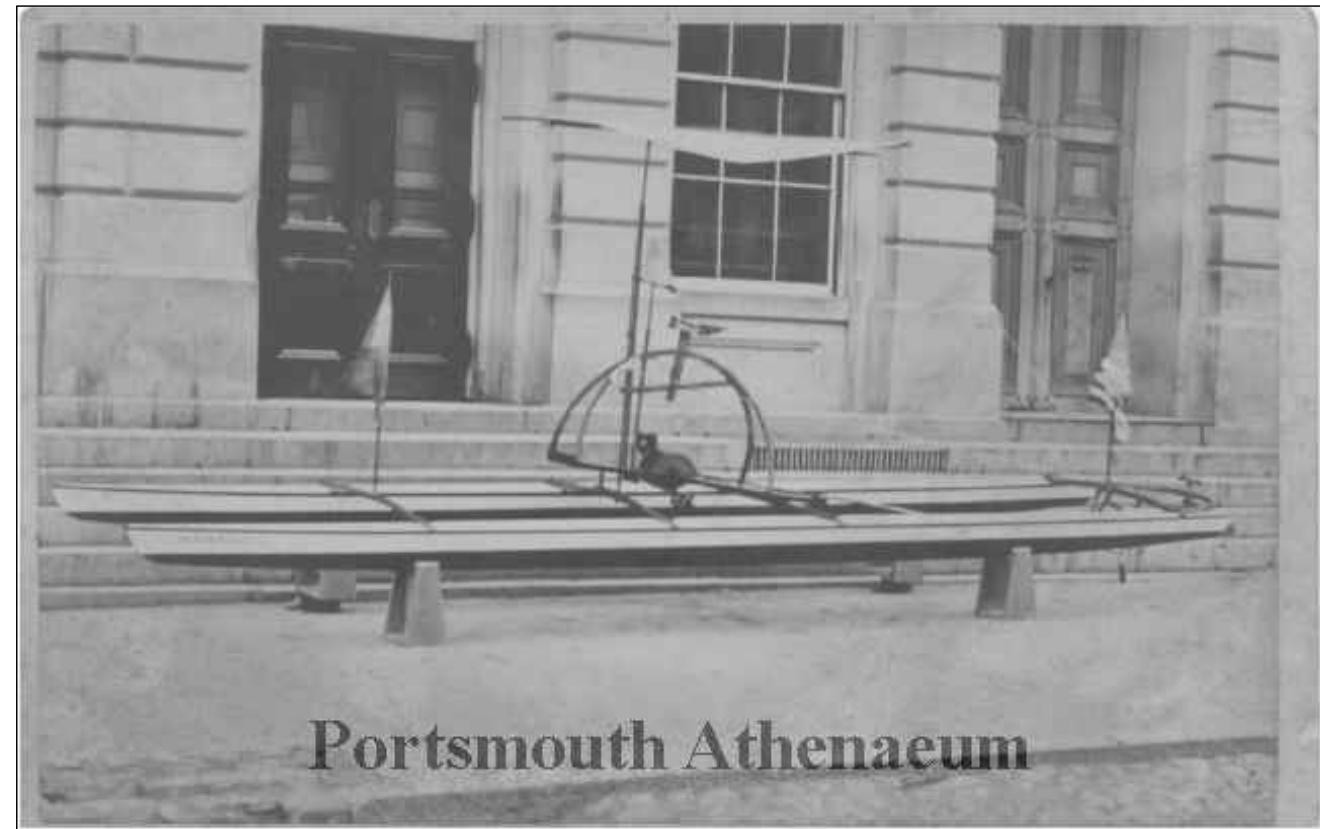
HISTORIC SOUTH EAST BUILDING CORNER



HISTORIC NORTH EAST BUILDING CORNER



HISTORIC EAST ELEVATION



HISTORIC EAST ENTRY

40 PLEASANT STREET
 40 PLEASANT STREET
 PORTSMOUTH, NH 03801

PROJECT:

KEY:

**WINTER
 HOLBEN**

architecture + design

7 WALLINGFORD SQ
 UNIT 209-9
 KITTERY, MAINE 03904
 207.994.3104

REVISIONS:

PROJECT NAME:
 40 PLEASANT STREET
 40 PLEASANT ST.
 PORTSMOUTH, NH 03801

PROJECT NO.: 22065
 DRAWN BY: GL/RW
 APPROVED BY: BH
 ISSUE DATE: 9/23/2022

DRAWING NAME:
 CONTEXT -
 HISTORIC

SCALE:

DRAWING NO.:

T1.0



EXISTING NORTH WEST BUILDING CORNER



EXISTING NORTH EAST BUILDING CORNER



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING SOUTH EAST BUILDING CORNER



EXISTING WEST ELEVATION

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:

KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

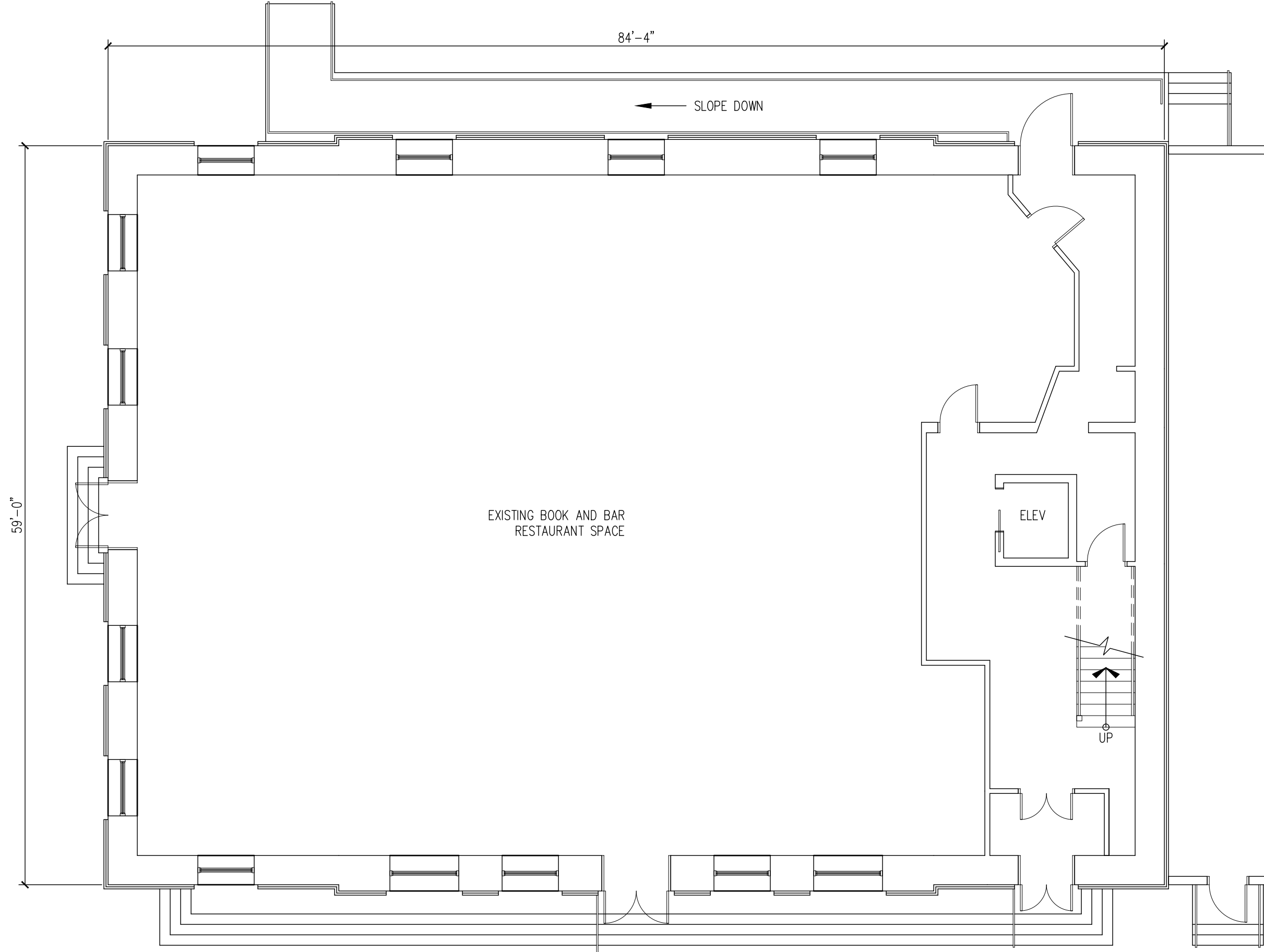
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40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22065
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DRAWING NAME:
CONTEXT -
EXISTING

SCALE:

DRAWING NO.:

T1.1



EXISTING GROUND PLAN
SCALE: 1/8"=1'-0"

AE1.0 1

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

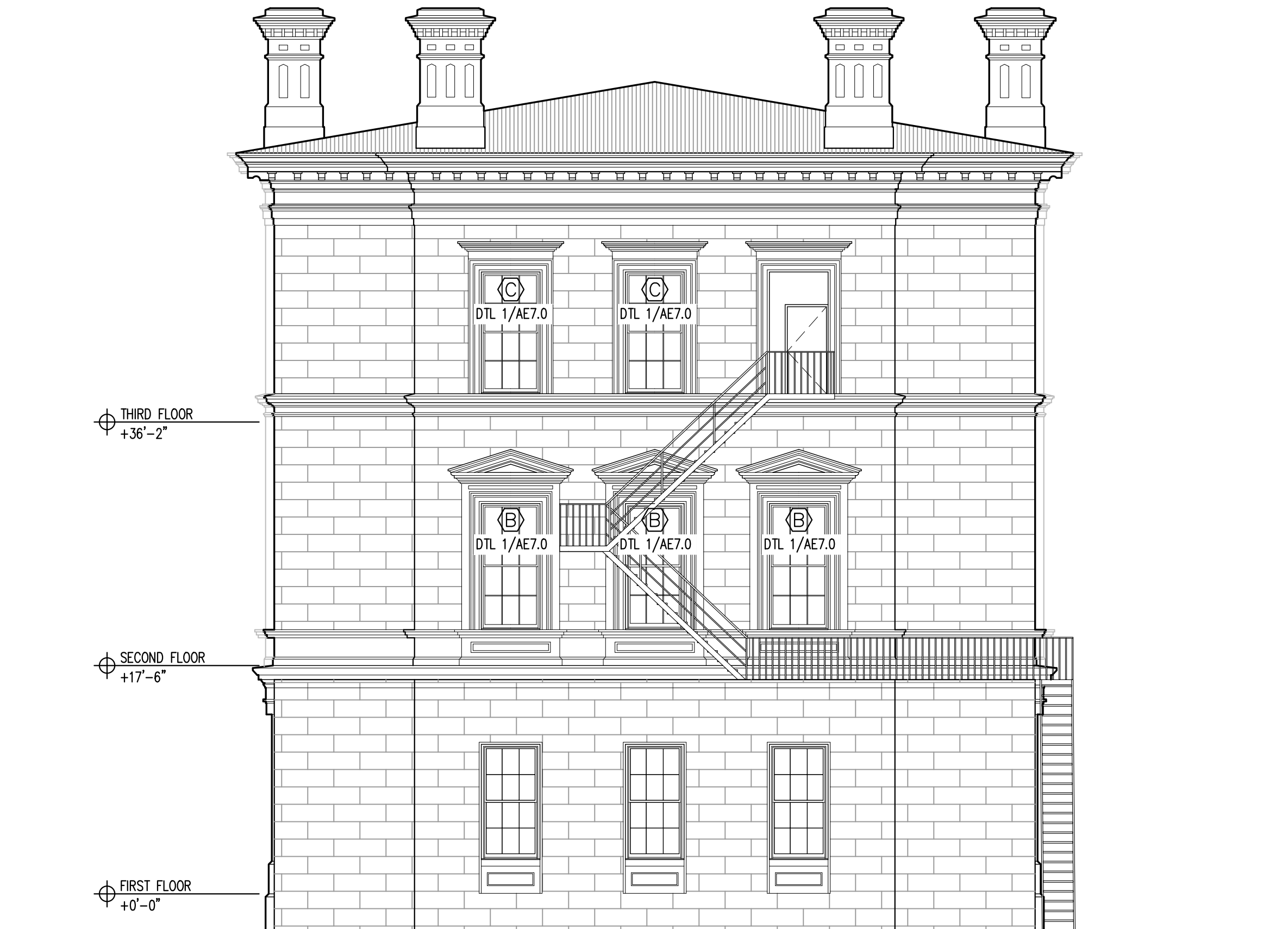
PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022

DRAWING NAME:
EXISTING GROUND
PLAN

SCALE:
DRAWING NO.:

AE1.0



THIRD FLOOR
+36'-2"

SECOND FLOOR
+17'-6"

FIRST FLOOR
+0'-0"

EXISTING NORTH ELEV. (PORTER ST.)
SCALE: 1/8"=1'-0"

AE2.0 1

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
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HOLBEN**
architecture + design

7 WALLINGFORD SQ
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207.994.3104

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PROJECT NAME:
40 PLEASANT STREET
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PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022

DRAWING NAME:
EXISTING NORTH
ELEVATION

SCALE:
DRAWING NO.:

AE2.0



THIRD FLOOR
+36'-2"

SECOND FLOOR
+17'-6"

FIRST FLOOR
+0'-0"

DTL 3/AE7.0

DTL 1/AE7.0

DTL 1/AE7.0

DTL 1/AE7.0

DTL 3/AE7.0

DTL 1/AE7.0

DTL 1/AE7.0

DTL 1/AE7.0

DTL 1/AE7.0

DTL 1/AE7.0

DTL 2/AE7.0

DTL 2/AE7.0

DTL 2/AE7.0

DTL 2/AE7.0

DTL 2/AE7.0

EXISTING EAST ELEV. (PLEASANT ST.)
SCALE: 1/8"=1'-0"

AE2.1 1

40 PLEASANT STREET

40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

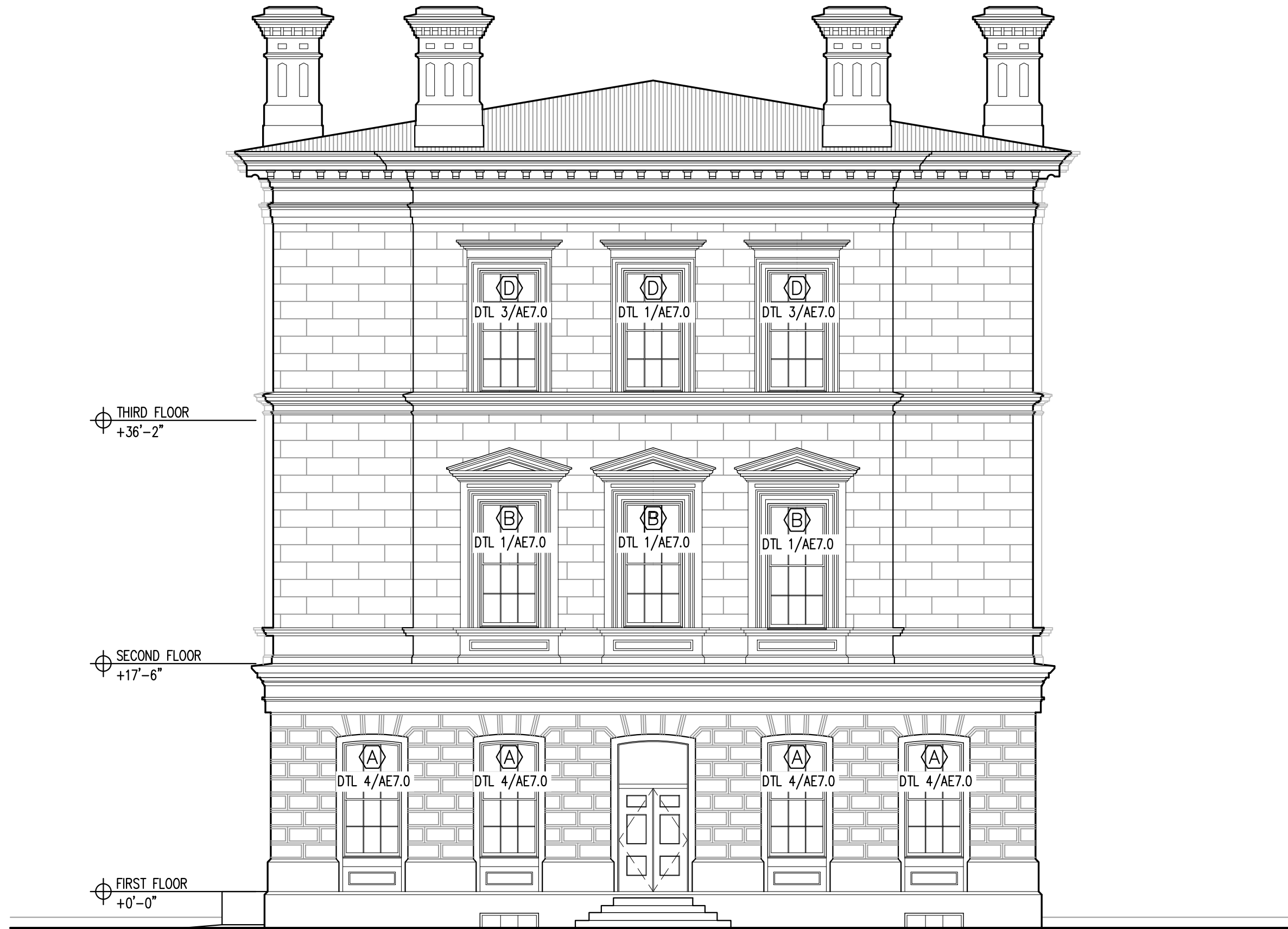
7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022
DRAWING NAME:
EXISTING EAST
ELEVATION

SCALE:
DRAWING NO.:

AE2.1



EXISTING SOUTH ELEV. (STATE ST.)

SCALE: 1/8"=1'-0"

AE2.2

1

40 PLEASANT STREET

40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:

KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
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9/23/2022

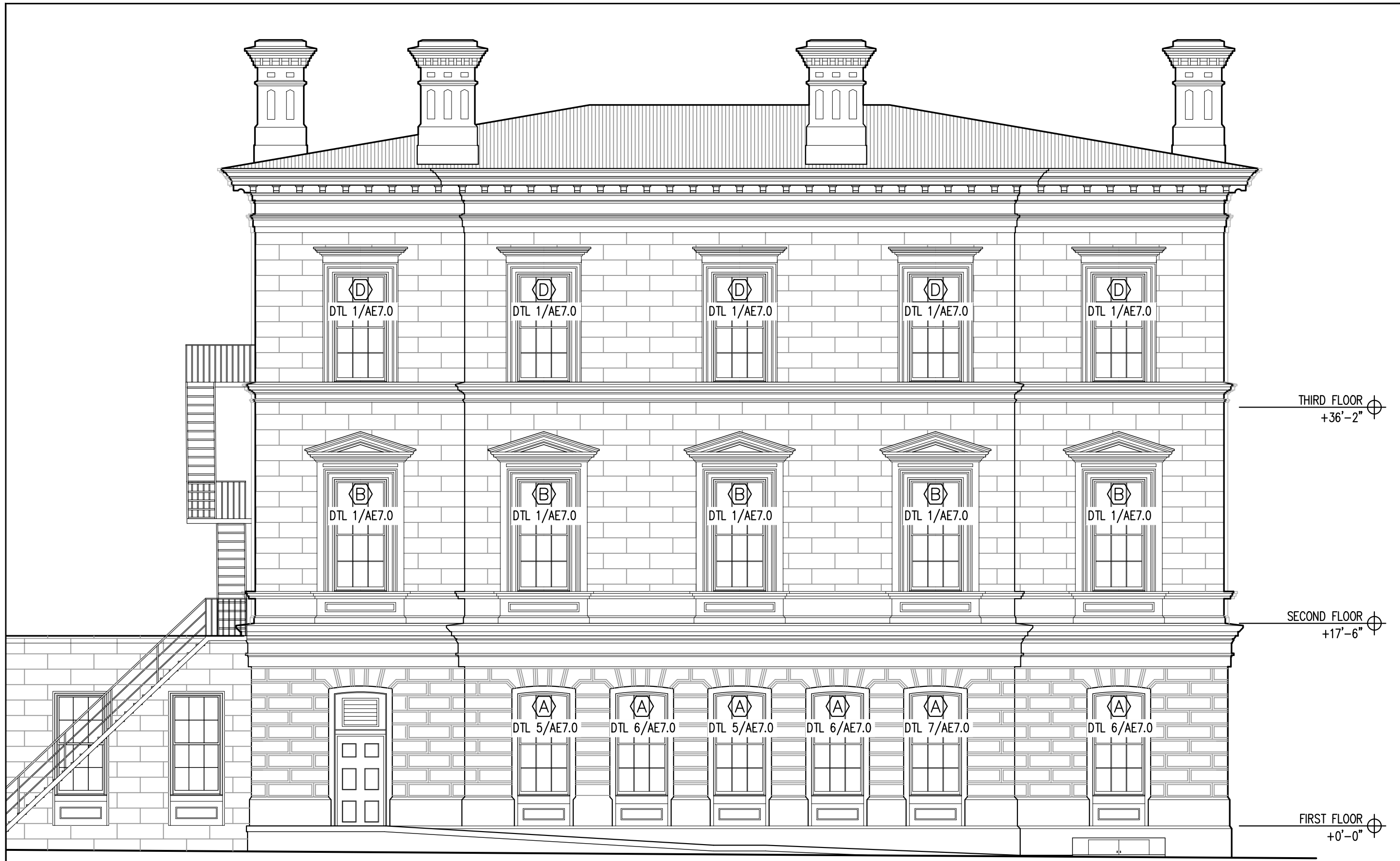
DRAWING NAME:

EXISTING SOUTH
ELEVATION

SCALE:

DRAWING NO.:

AE2.2



EXISTING WEST ELEV. (CHURCH ST.)
SCALE: 1/8"=1'-0"

AE2.3 1

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

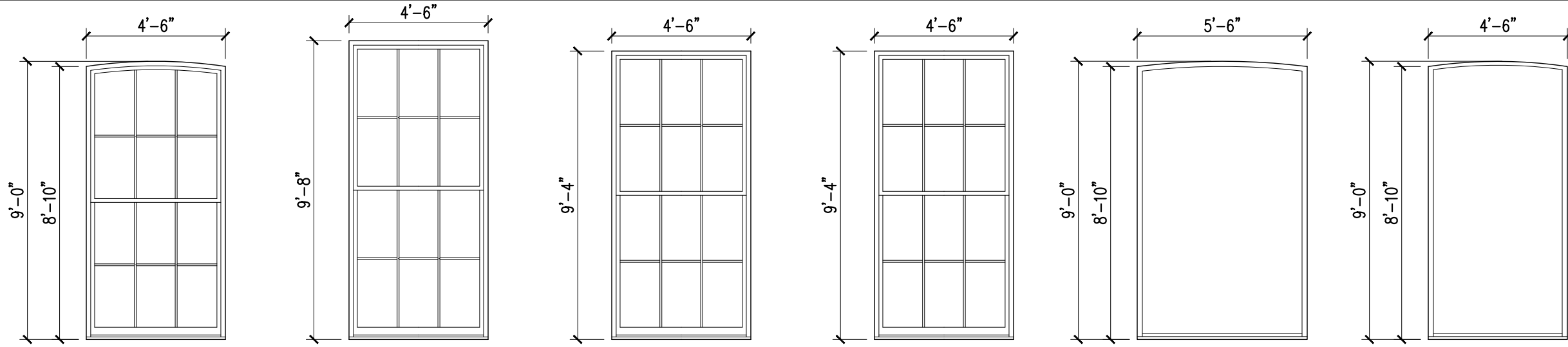
REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022
DRAWING NAME:
EXISTING WEST
ELEVATION

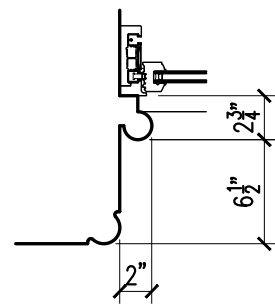
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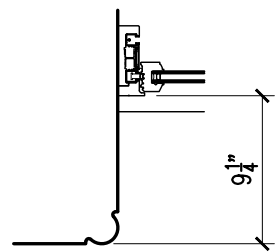
EXISTING WINDOW TYPES



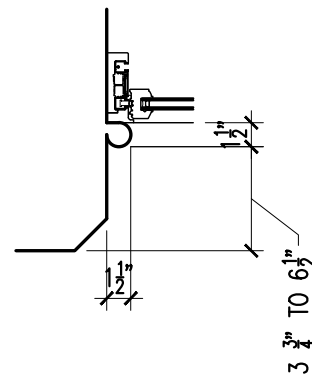
A WOOD SINGLE HUNG WITH INSULATED GLASS
 B WOOD DOUBLE HUNG WITH INSULATED GLASS
 C WOOD DOUBLE HUNG WITH NON-INSULATED GLASS
 D WOOD DOUBLE HUNG WITH INSULATED GLASS
 E WOOD FIXED WITH INSULATED GLASS
 F WOOD FIXED WITH INSULATED GLASS



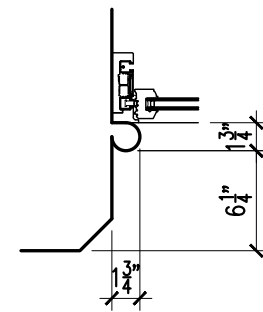
1 STEEL 3/4 ROUND / STEEL SILL
SCALE: 1"=1'-0" AE7.0



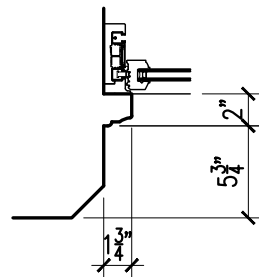
3 NO / MISSING TRIM / STEEL SILL
SCALE: 1"=1'-0" AE7.0



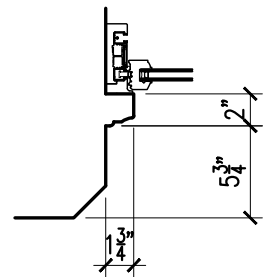
5 WOOD 3/4 ROUND / WOOD SILL
SCALE: 1"=1'-0" AE7.0



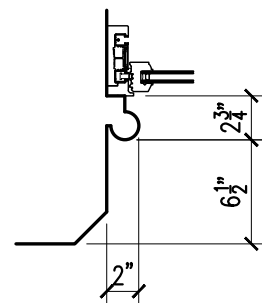
7 WOOD 3/4 ROUND / WOOD SILL
SCALE: 1"=1'-0" AE7.0



2 WOOD BRICK MOULD / WOOD SILL
SCALE: 1"=1'-0" AE7.0



4 WOOD BRICK MOULD / STONE SILL
SCALE: 1"=1'-0" AE7.0



6 STEEL 3/4 ROUND / STONE SILL
SCALE: 1"=1'-0" AE7.0

40 PLEASANT STREET
 40 PLEASANT STREET
 PORTSMOUTH, NH 03801

PROJECT:
KEY:

WINTER HOLBEN
 architecture + design

7 WALLINGFORD SQ
 UNIT 209-9
 KITTERY, MAINE 03904
 207.994.3104

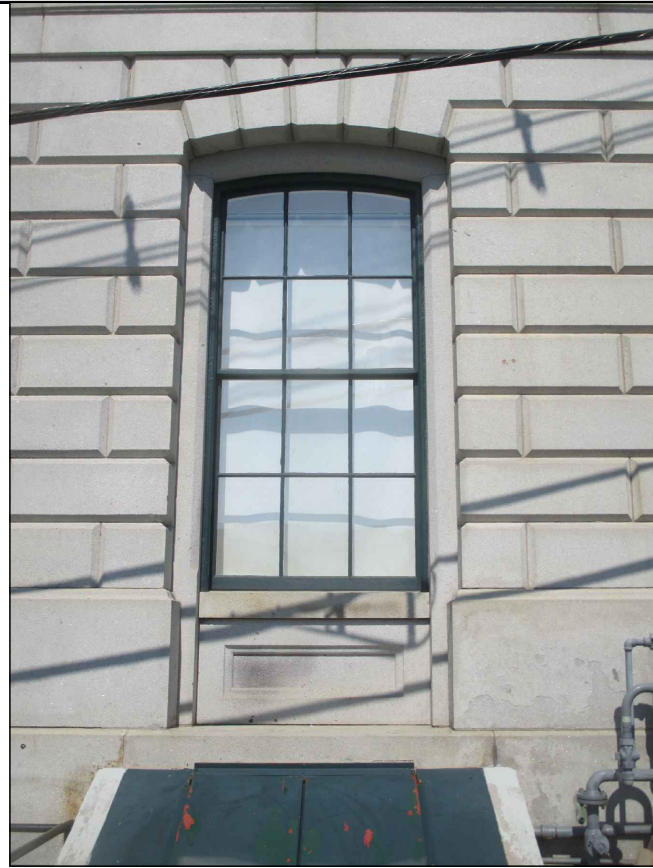
REVISIONS:

PROJECT NAME:
 40 PLEASANT STREET
 40 PLEASANT ST.
 PORTSMOUTH, NH 03801
 PROJECT NO.: 22065
 DRAWN BY: GL/RW
 APPROVED BY: BH
 ISSUE DATE: 9/23/2022

DRAWING NAME:
EXISTING WINDOW TYPES

SCALE:
DRAWING NO.:

AE7.0



INSULATED GLASS WITH METAL TRIM AND STONE SILL
SCALE: N.T.S.

1



INSULATED GLASS WITH METAL TRIM AND METAL SILL
SCALE: N.T.S.

2



NON-INSULATED GLASS WITH METAL TRIM AND METAL SILL
SCALE: N.T.S.

3



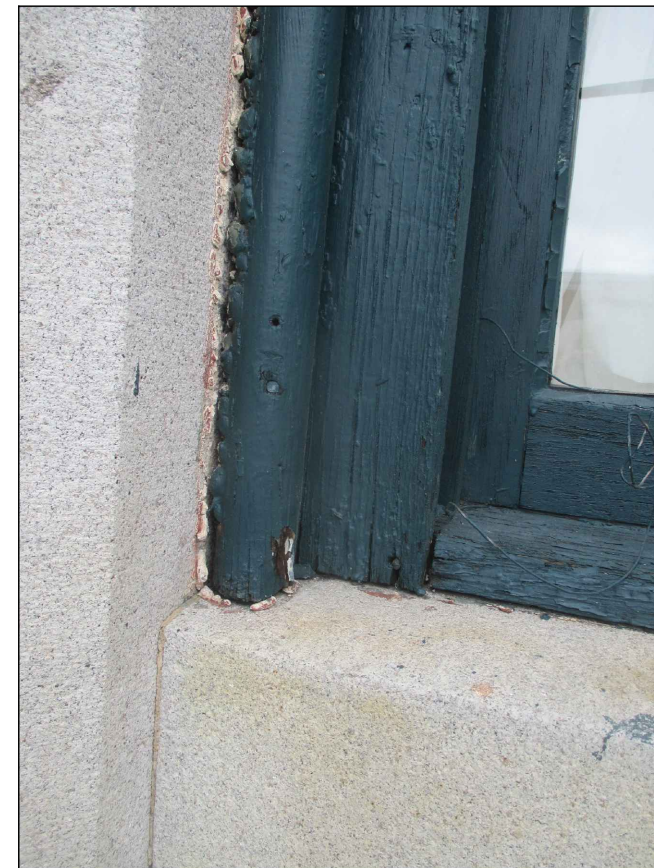
INSULATED GLASS WITH METAL TRIM AND METAL SILL
SCALE: N.T.S.

4



INSULATED GLASS WITH WOOD BRICK MOULD AND WOOD SILL
SCALE: N.T.S.

5



INSULATED GLASS WITH WOOD TRIM AND WOOD SILL
SCALE: N.T.S.

3

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

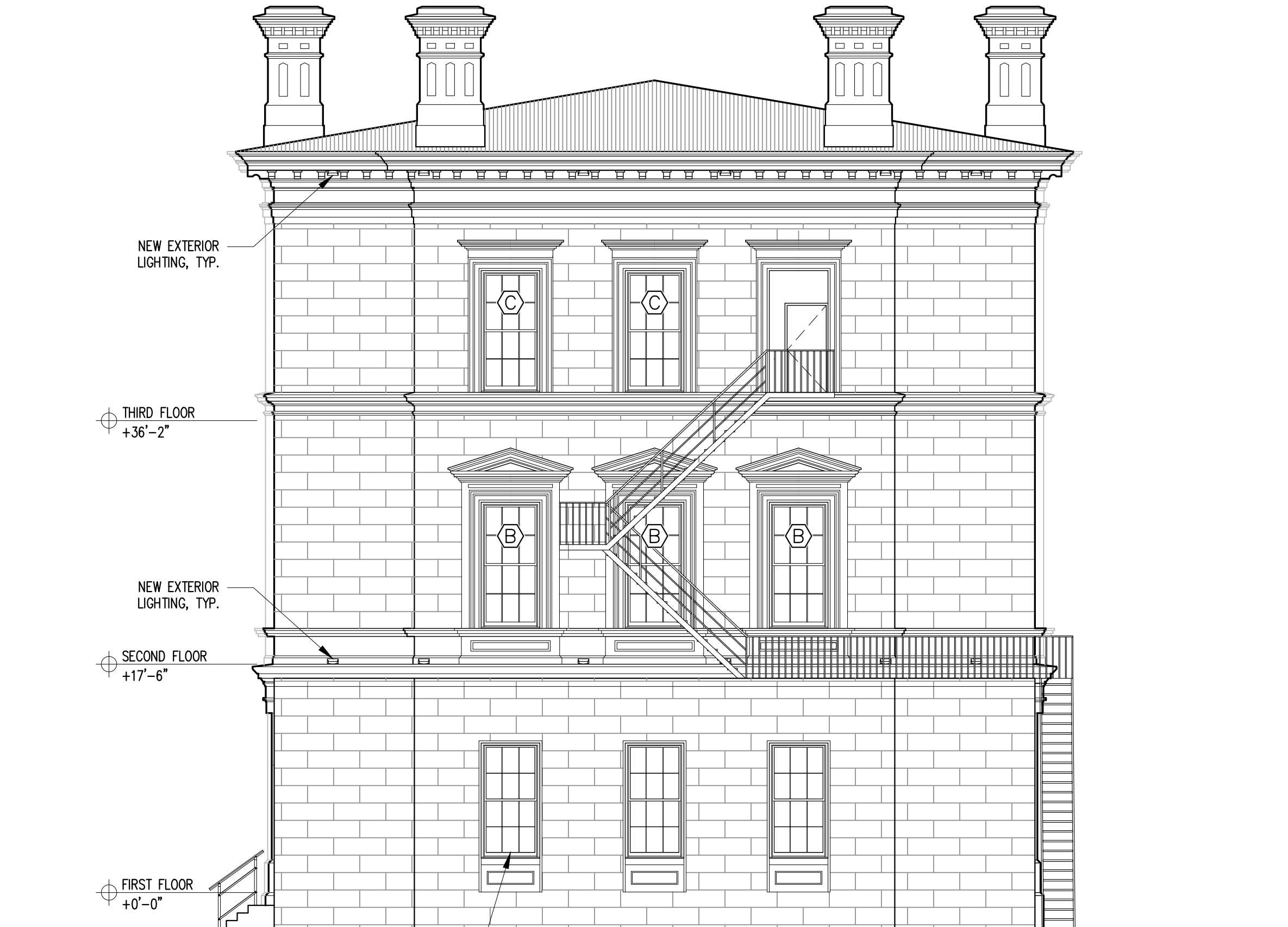
7 WALLINGFORD SQ
UNIT 209-9
KITTEERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022
DRAWING NAME:
EXISTING WINDOW
IMAGES

SCALE:
DRAWING NO.:

AE9.0



NEW EXTERIOR LIGHTING, TYP.

THIRD FLOOR
+36'-2"

NEW EXTERIOR LIGHTING, TYP.

SECOND FLOOR
+17'-6"

FIRST FLOOR
+0'-0"

PAINT AND REPAIR EXISTING WINDOWS,
TYPICAL FOR 5 THAI WINDOWS

PROPOSED NORTH ELEV. (PORTER ST.)
SCALE: 1/8"=1'-0"

A2.0 1

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTEERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022

DRAWING NAME:
PROPOSED NORTH
ELEVATION

SCALE:
DRAWING NO.:

A2.0

40 PLEASANT STREET
 40 PLEASANT STREET
 PORTSMOUTH, NH 03801

PROJECT:
 KEY:

**WINTER
 HOLBEN**
 architecture + design

7 WALLINGFORD SQ
 UNIT 209-9
 KITTERY, MAINE 03904
 207.994.3104

REVISIONS:

PROJECT NAME:
 40 PLEASANT STREET
 40 PLEASANT ST.
 PORTSMOUTH, NH 03801
 PROJECT NO.: 22065
 DRAWN BY: GL/RW
 APPROVED BY: BH
 ISSUE DATE: 9/23/2022
 DRAWING NAME:
 PROPOSED EAST
 ELEVATION

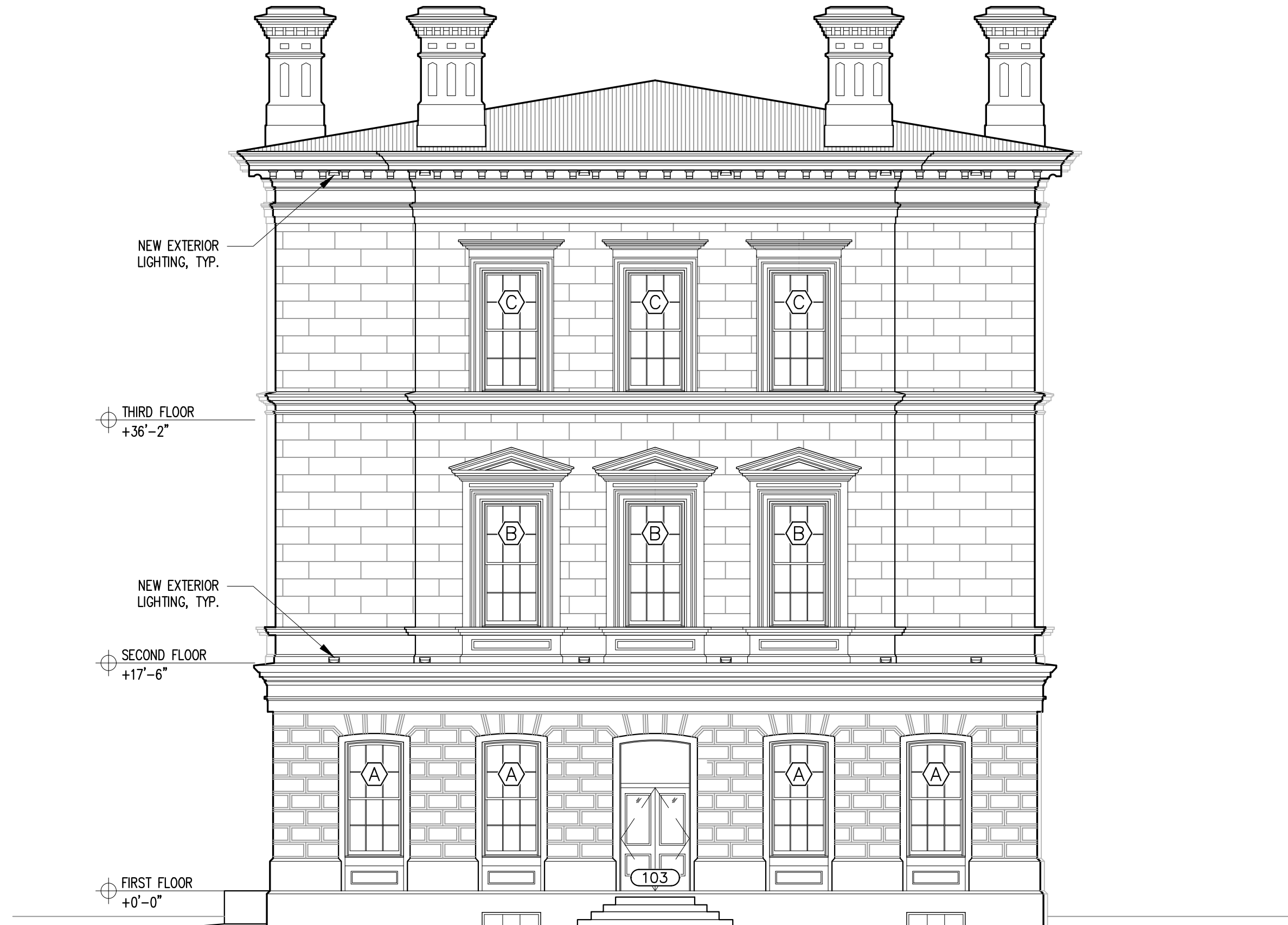
SCALE:
 DRAWING NO.:

A2.1



PROPOSED EAST ELEV. (PLEASANT ST.)
 SCALE: 1/8"=1'-0"
 A2.1 1

PAINT AND REPAIR EXISTING WINDOWS,
 TYPICAL FOR 5 THAI WINDOWS



PROPOSED NORTH ELEV. (STATE ST.)
SCALE: 1/8"=1'-0"

A2.2 1

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

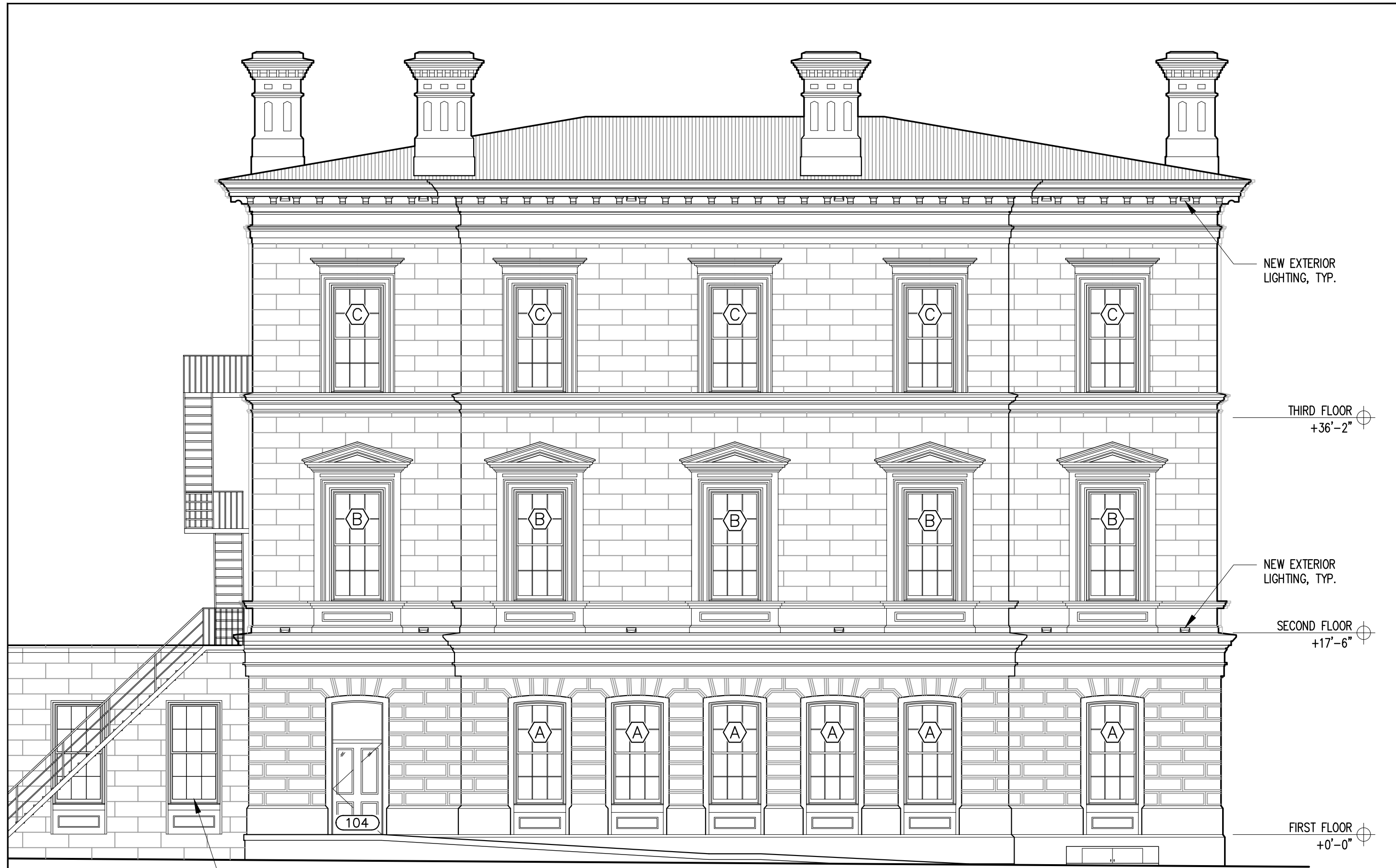
7 WALLINGFORD SQ
UNIT 209-9
KITTEERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022
DRAWING NAME:
PROPOSED SOUTH
ELEVATION

SCALE:
DRAWING NO.:

A2.2



PAINT AND REPAIR EXISTING WINDOWS,
TYPICAL FOR 5 THAI WINDOWS

PROPOSED WEST ELEV. (CHURCH ST.)
SCALE: 1/8"=1'-0"

A2.3 1

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

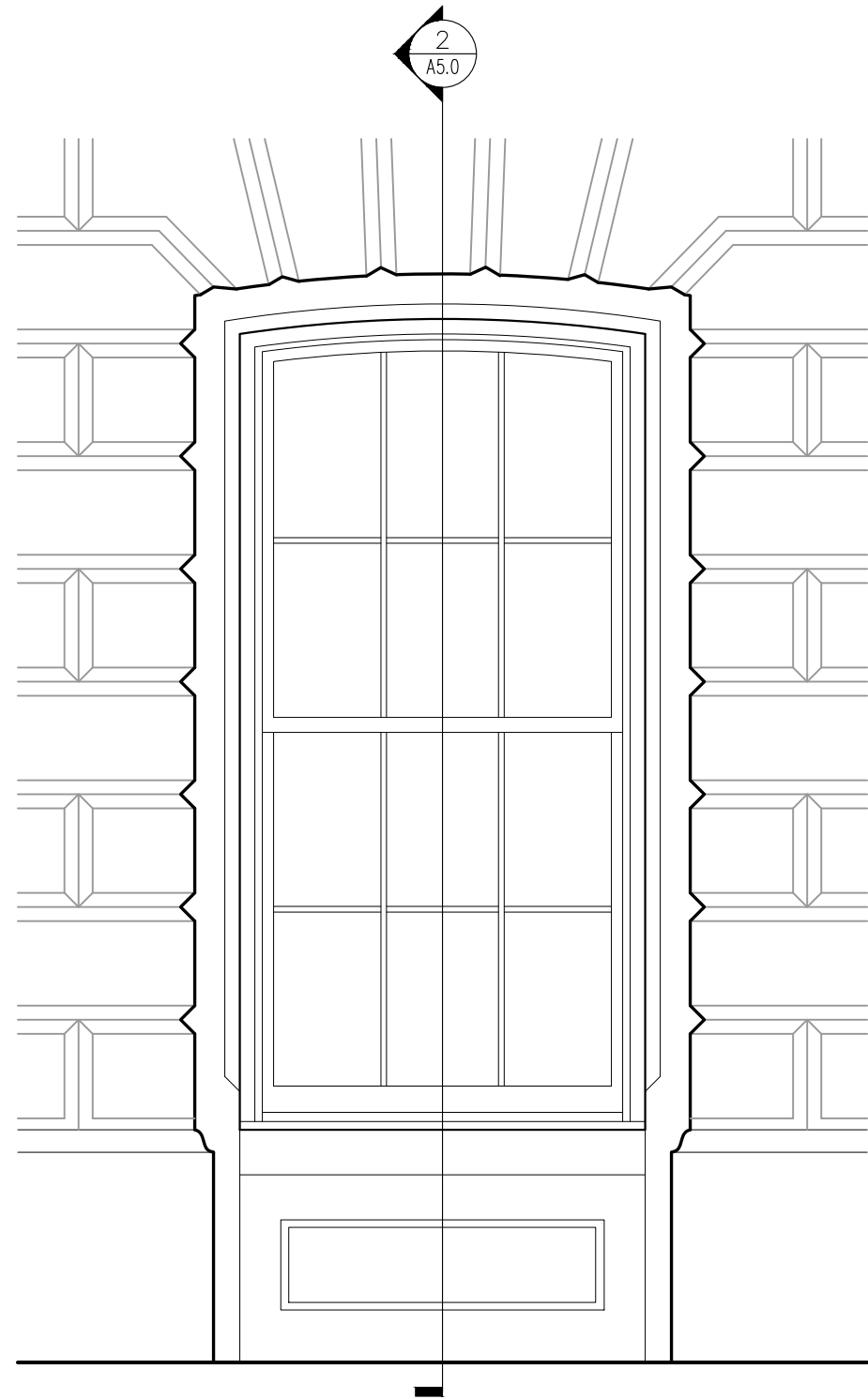
7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022
DRAWING NAME:
PROPOSED WEST
ELEVATION

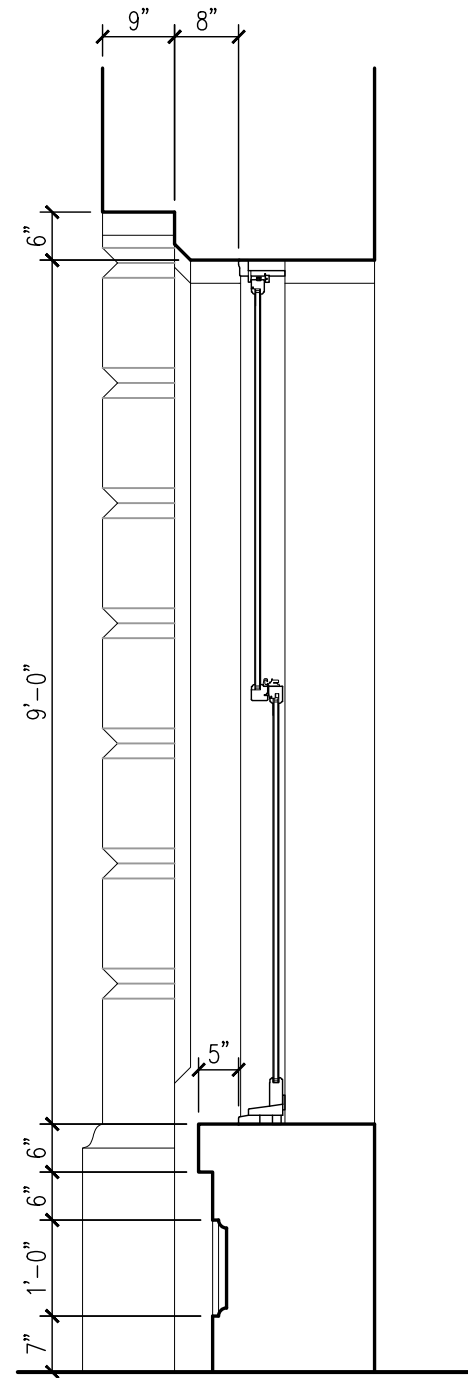
SCALE:
DRAWING NO.:

A2.3



TYPICAL FIRST FLOOR WINDOW ELEV.
SCALE: 1/2"=1'-0"

A5.0 1



TYPICAL FIRST FLOOR PROFILE
SCALE: 1/2"=1'-0"

A5.0 2

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
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**WINTER
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7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801

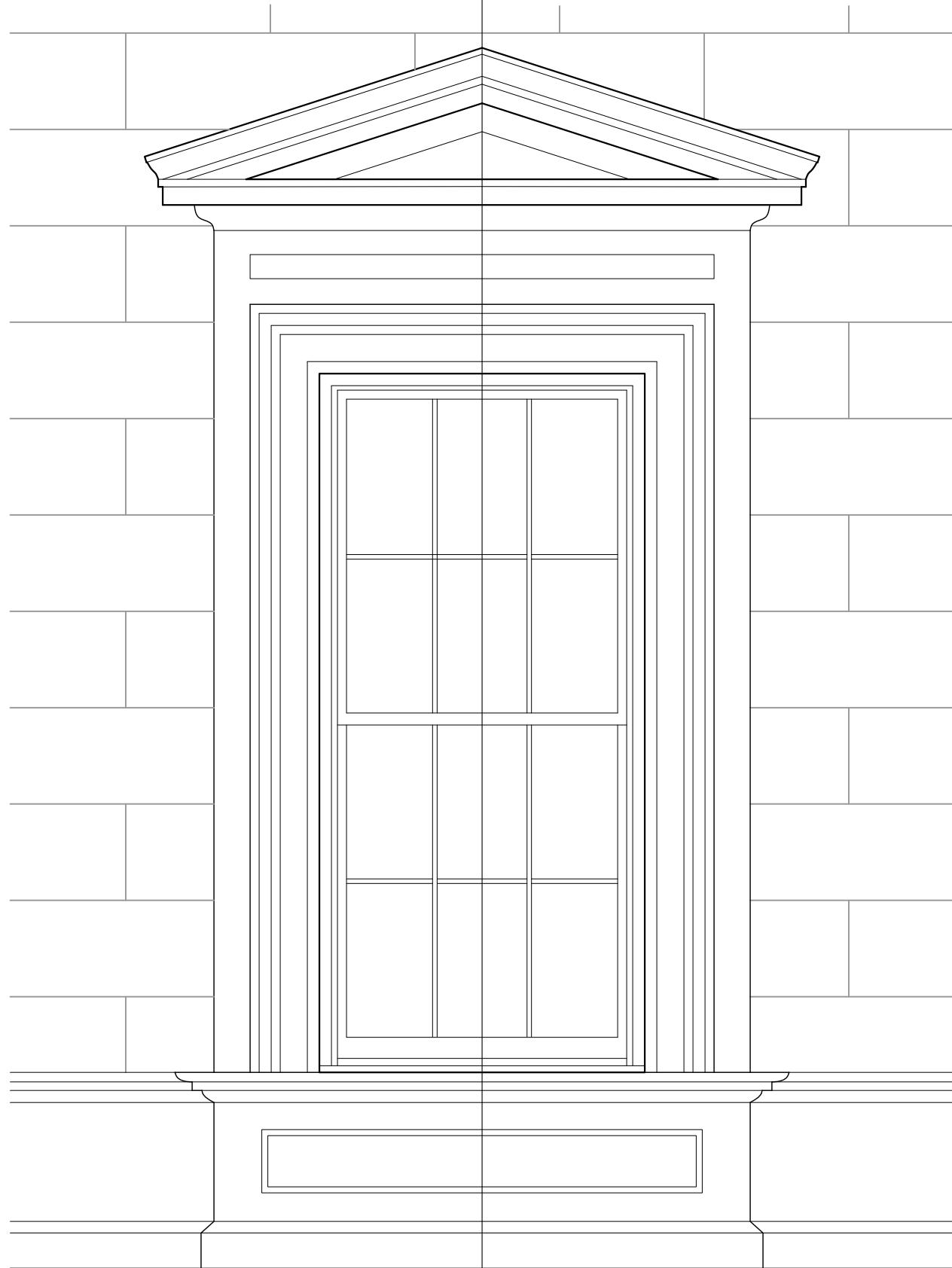
PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022

DRAWING NAME:
FIRST FLOOR
WINDOW DETAIL

SCALE:
DRAWING NO.:

A5.0

2
A5.1

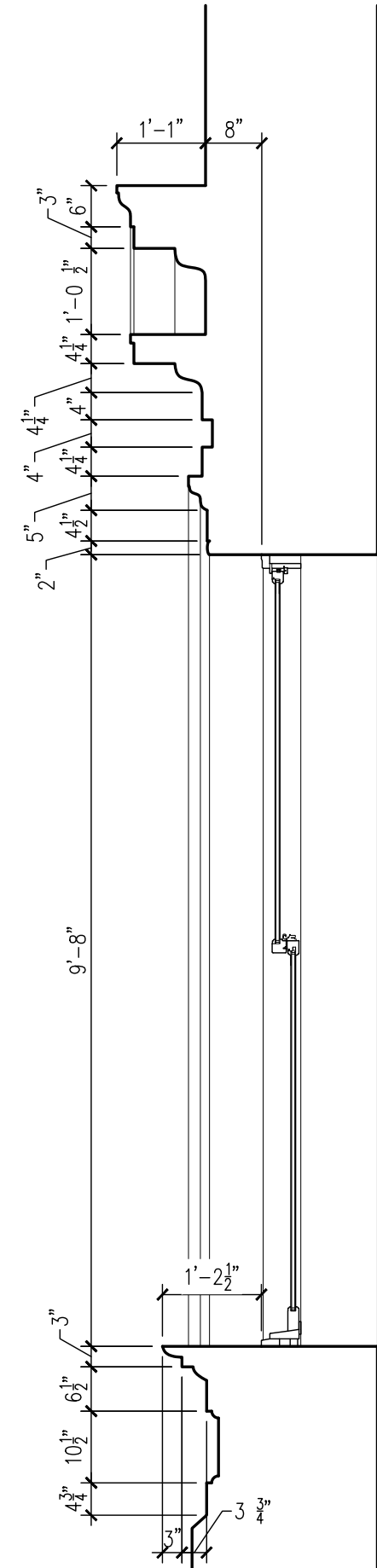


TYPICAL SECOND FLOOR WINDOW ELEV.

SCALE: 1/2"=1'-0"

1

A5.1



TYPICAL SECOND FLOOR PROFILE

SCALE: 1/2"=1'-0"

2

A5.1

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801

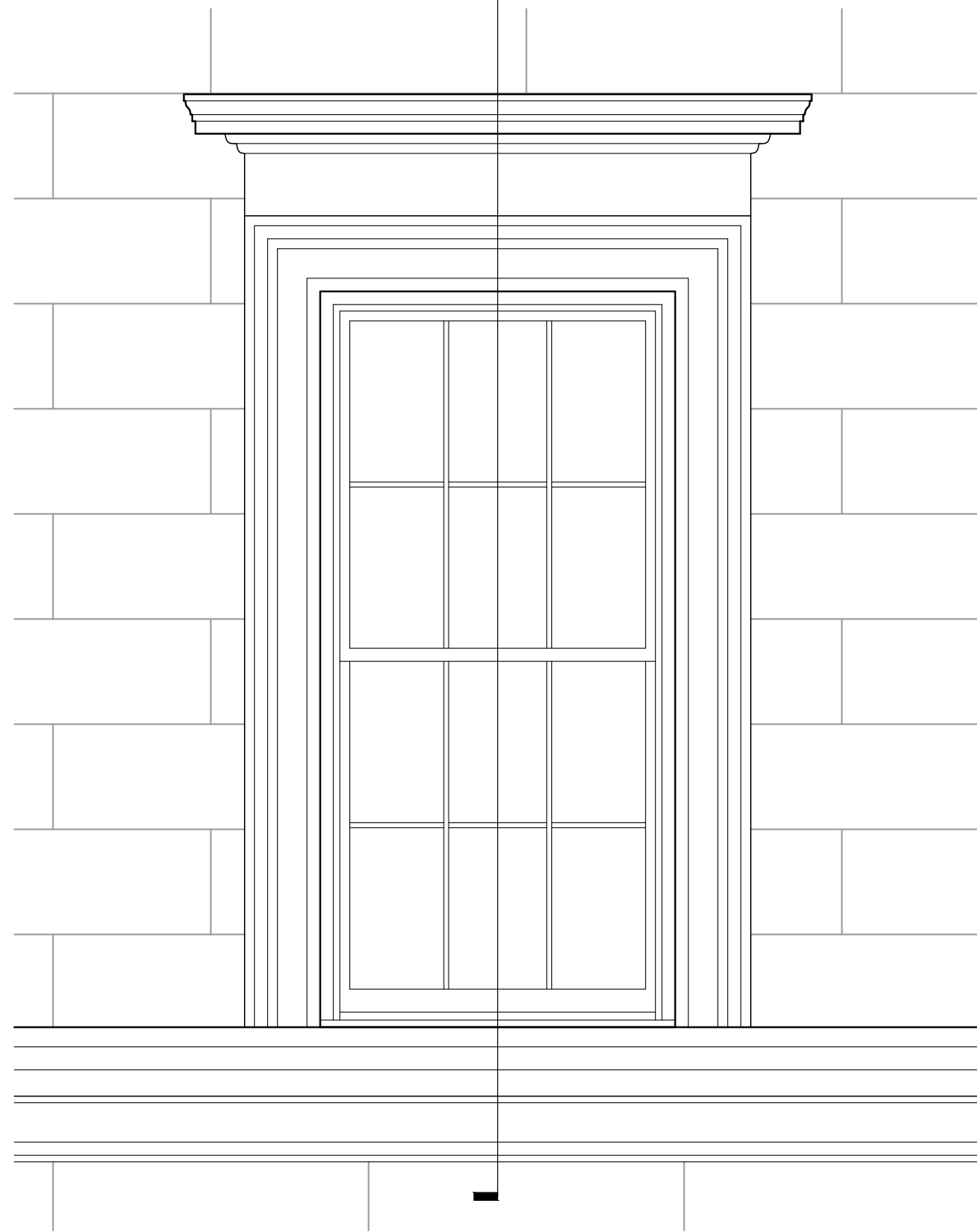
PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022

DRAWING NAME:
SECOND FLOOR
WINDOW DETAIL

SCALE:
DRAWING NO.:

A5.1

2
A5.2

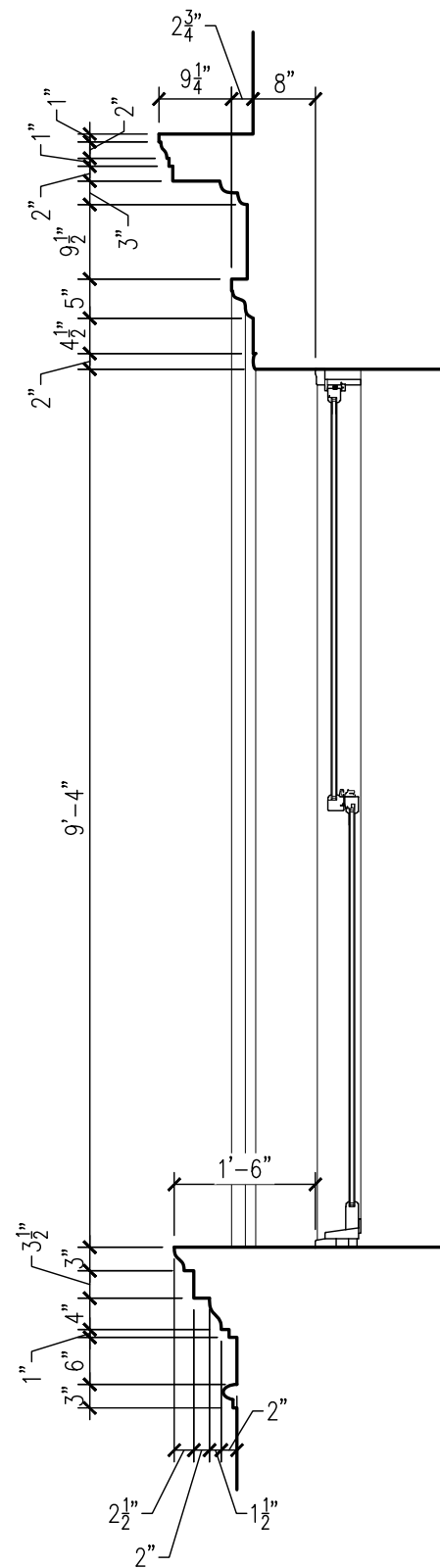


TYPICAL THIRD FLOOR WINDOW ELEV.

SCALE: 1/2"=1'-0"

A5.2

1



TYPICAL THIRD FLOOR PROFILE

SCALE: 1/2"=1'-0"

A5.2

2

40 PLEASANT STREET
40 PLEASANT STREET
PORTSMOUTH, NH 03801

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**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

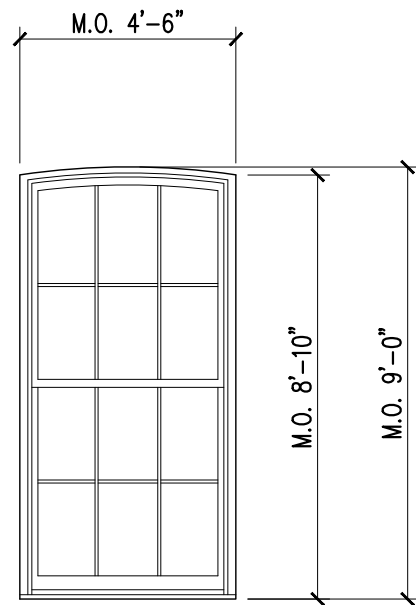
PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022

DRAWING NAME:
THIRD FLOOR
WINDOW DETAIL

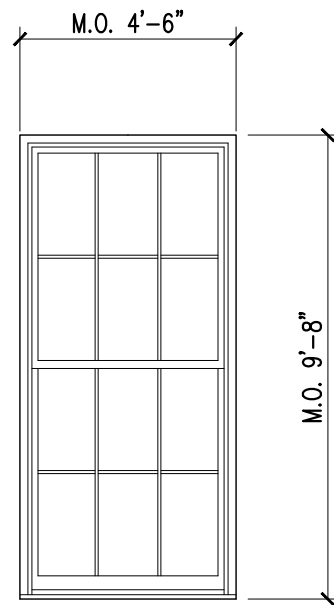
SCALE:
DRAWING NO.:

A5.2



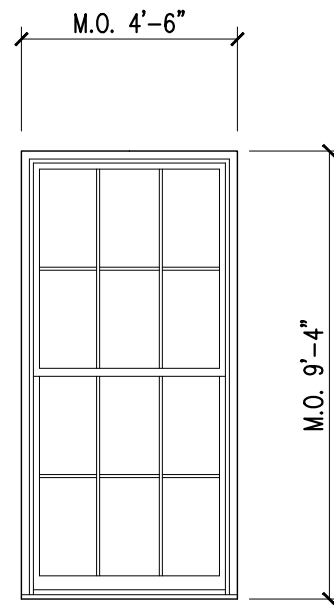
A

PELLA RESERVE TRADITIONAL
SINGLE HUNG
ALUMINUM CLAD WOOD



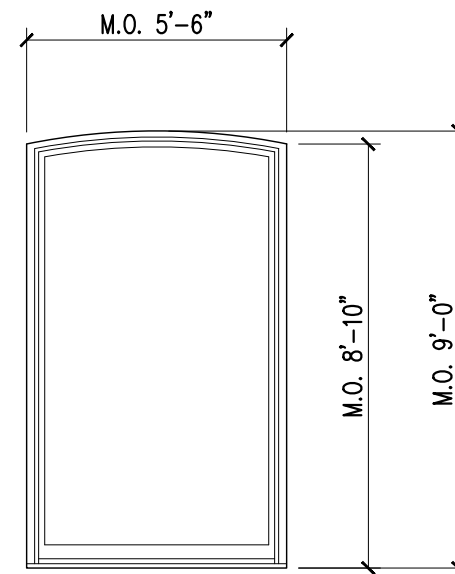
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PELLA RESERVE TRADITIONAL
SINGLE HUNG
ALUMINUM CLAD WOOD



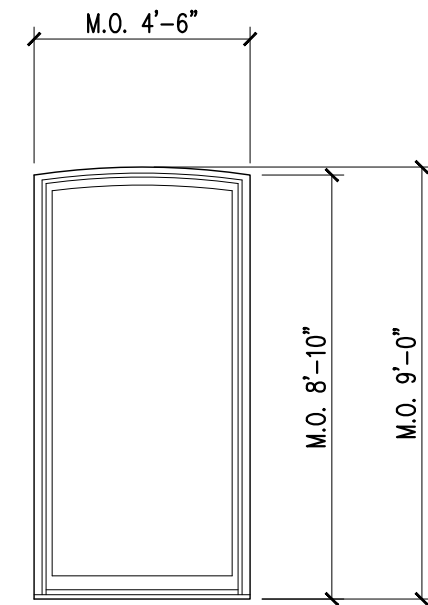
C

PELLA RESERVE TRADITIONAL
SINGLE HUNG
ALUMINUM CLAD WOOD



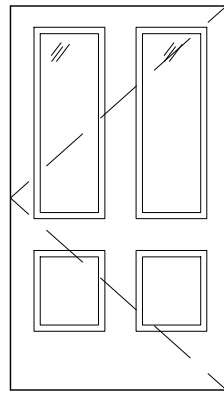
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PELLA RESERVE TRADITIONAL
FIXED STOREFRONT
ALUMINUM CLAD WOOD



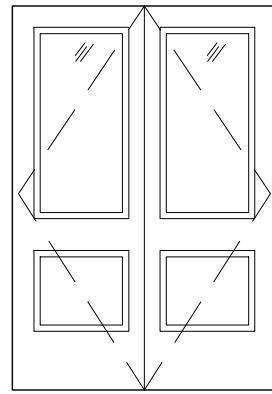
E

PELLA RESERVE TRADITIONAL
FIXED STOREFRONT
ALUMINUM CLAD WOOD



TYPE A

EXTERIOR WOOD



TYPE B

EXTERIOR WOOD
HINGED DOUBLE

NOTES:

CONTRACTOR TO VERIFY DOOR OPERATIONS WITH PLANS PRIOR TO ORDERING.

CONTRACTOR SHALL VERIFY SIZES, MODEL #'S, REQUIRED ROUGH OPENINGS, ETC. PRIOR TO PLACING THE DOOR ORDER.

DOOR SCHEDULE

NO.	ROOM NAME	DOOR		SIZE	FRAME MATERIAL	HRDWR	NOTES
		TYPE	MATERIAL				
100	FIRST FLOOR - MAIN ENTRY	B	WD/GLS	5'-6" X 8'-0"	WD	1	
101	FIRST FLOOR - RESIDENTIAL ENTRY	A	WD/GLS	4'-6" X 8'-0"	WD	1	
102	FIRST FLOOR - FIRE STAIR	A	WD/GLS	4'-6" X 8'-0"	WD	1	
103	FIRST FLOOR - BOOK & BAR	B	WD/GLS	5'-6" X 8'-0"	WD	1	
104	FIRST FLOOR - RAMP ENTRY	A	WD	4'-6" X 8'-0"	WD	1	
105	FIRST FLOOR - THAI BISTRO	A	WD/GLS	3'-0" X 7'-0"	WD	1	

DOOR TYPES
SCALE: 1/4"=1'-0"

A7.1 1

40 PLEASANT STREET
 40 PLEASANT STREET
 PORTSMOUTH, NH 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

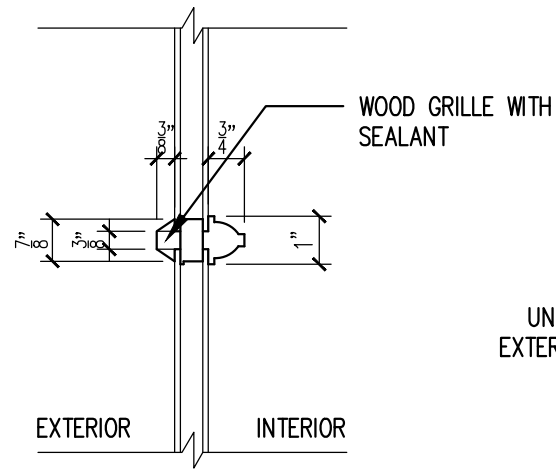
REVISIONS:

PROJECT NAME:
40 PLEASANT STREET
40 PLEASANT ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22065
DRAWN BY: GL/RW
APPROVED BY: BH
ISSUE DATE: 9/23/2022

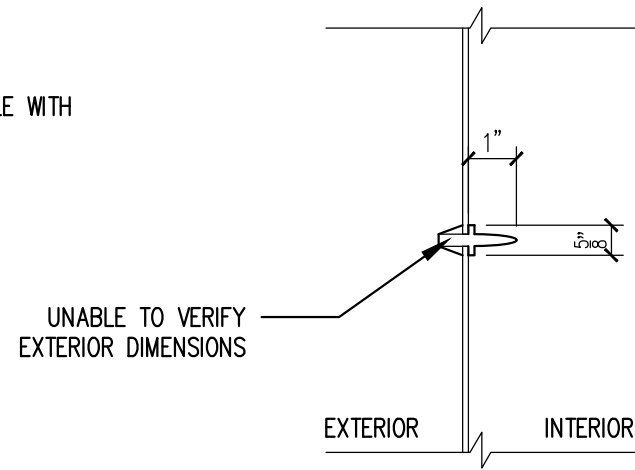
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DOOR TYPES

SCALE:
DRAWING NO.:

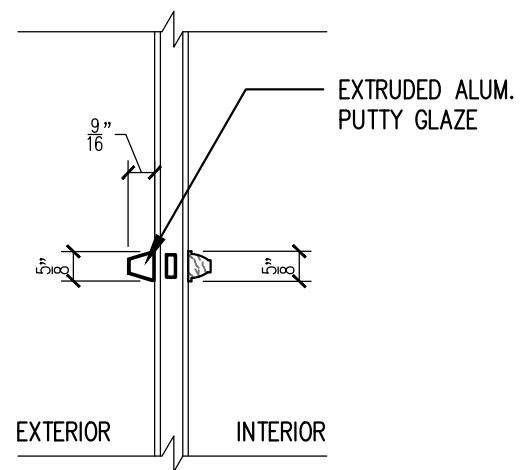
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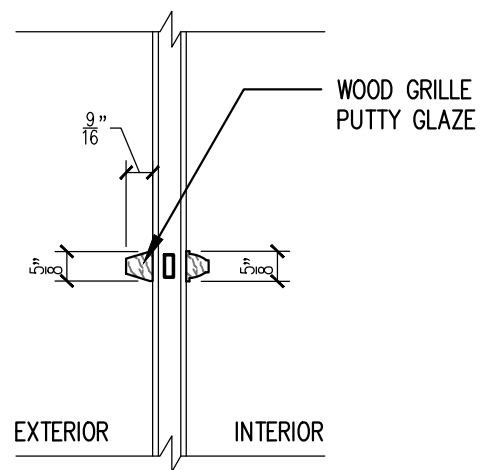
EXISTING GRILLE DETAIL - INSULATED GLASS 1
SCALE: 3"=1'-0" A7.2



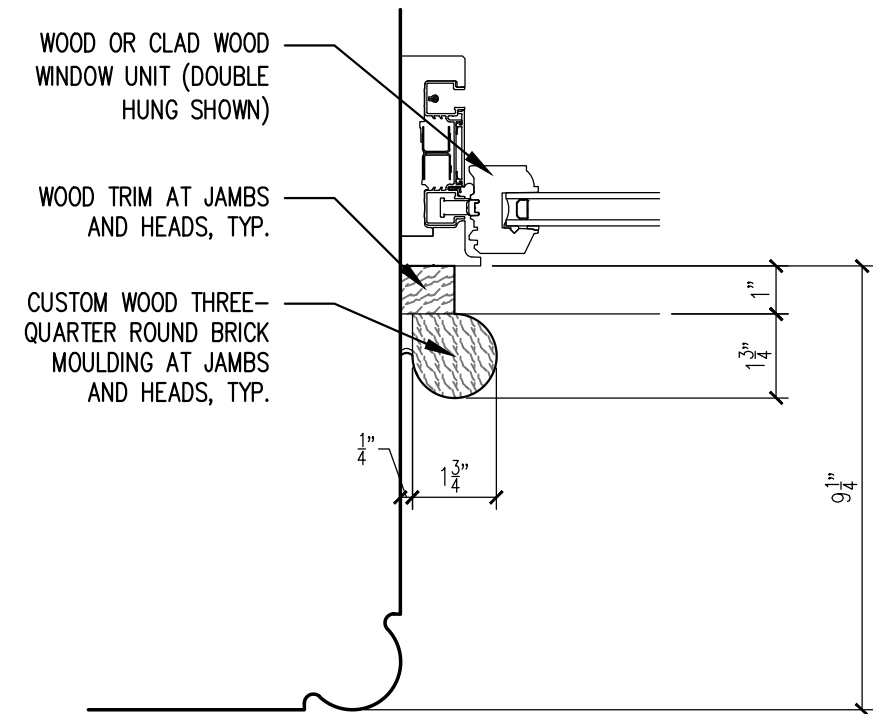
EXISTING GRILLE DETAIL - DIVIDED LITE 2
SCALE: 3"=1'-0" A7.2



PROPOSED GRILLE DETAIL - CLAD WOOD 3
SCALE: 3"=1'-0" A7.2



PROPOSED GRILLE DETAIL - WOOD 4
SCALE: 3"=1'-0" A7.2



PROPOSED WINDOW JAMB DETAIL 5
SCALE: 3"=1'-0" A7.2

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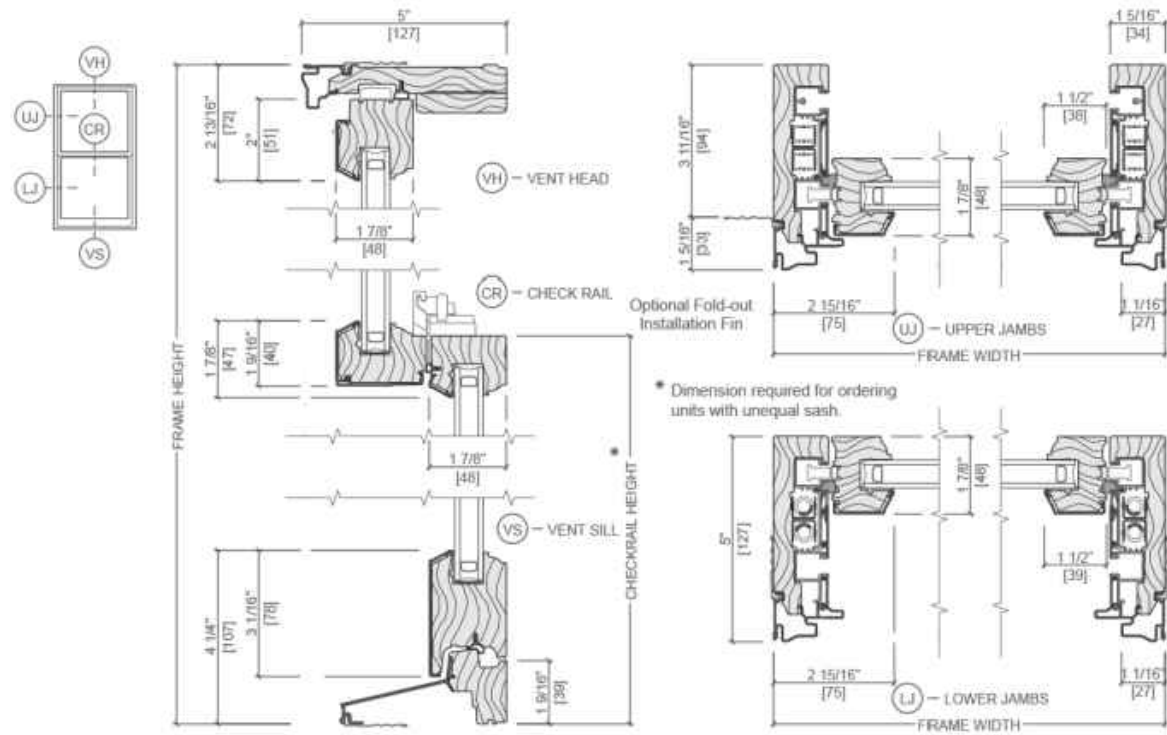
**WINDOW DETAIL
COMPARISON**

SCALE:
DRAWING NO.:

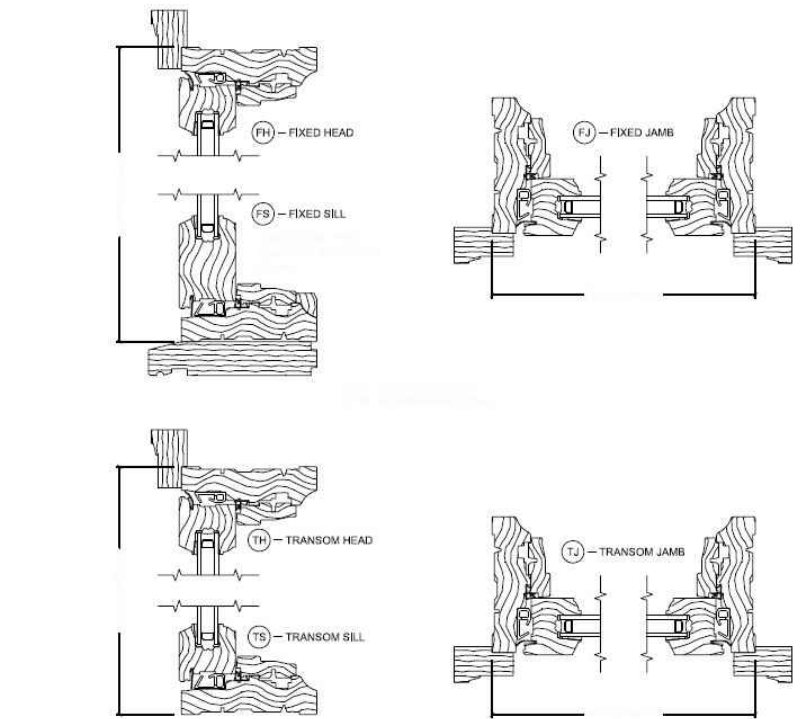


Pella® Reserve™ Traditional Hung Window

Unit Sections - Aluminum-Clad Putty Glaze Exterior Profile



ALUMINUM CLAD WOOD PROFILES



WOOD PROFILES

HISTORIC ELEMENTS

Exquisitely designed, traditional Pella Reserve windows deliver unparalleled historical detailing and have even been reviewed and approved on a case-by-case basis by the National Park Service for use on projects with historic tax credits. Featuring through-stile construction, deliberate proportions and intricate profiles to achieve authentic traditional style.

Putty Profile
Through-Stile Construction
Integral Light Technology
Authentic Hardware

Putty Profile

Further your aesthetic with the putty profile, recreated with historically accurate angles – providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.

Pella® Reserve™ Traditional Precision-Fit Hung Window

Grille Profiles

Traditional Style Collection - Integral Light Technology®

Putty Glaze and Ogee Grilles
Clad Exterior - Wood Interior

Putty Glaze and Ogee Grilles
Wood Exterior - Wood Interior

Ogee Grilles
Clad Exterior - Wood Interior

Grilles-Between-the-Glass

3/4" Contoured

WINDOW GRILLE PROFILES

40 PLEASANT STREET
 40 PLEASANT STREET
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PROJECT NO.: 22065
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APPROVED BY: BH
ISSUE DATE: 9/23/2022
DRAWING NAME:

WINDOW CUT SHEET

SCALE:
DRAWING NO.:

A8.0

Specification Sheet

lumenbeam

Large
LBL

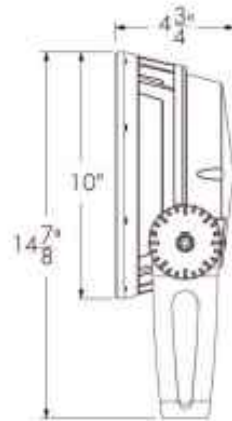
DYNAMIC WHITE

Project Name _____ Qty _____

Type _____ Catalog / Part Number _____



Front view



Side view

Photometric Summary

Symmetric

	Delivered output (lm)	Intensity (peak cd)
VN (6°)	2,841	148,030
NS (10°)	3,041	107,839
NF (20°)	3,005	28,185
M (30°)	2,754	12,450
FL (40°)	2,587	6,385
WFL (60°)	2,151	2,233

Asymmetric

NAS	3,161	48,684 (@2.5°)
WW	2,616	11,627 (@5°)

Based on DWH full output, DMX/RDM configuration.
Photometric performance is measured in compliance with IESNA LM-79-08.

Optics



VN 6° NS 10° NF 20° M 30°



FL 40° WFL 60° NAS WW

Colors and Color Temperatures



Controls

DIM/DTW DMX/RDM1 DMX/RDM
lumen talk DALI8

Description

The Lumenbeam Large Dynamic White is an IP66-rated luminaire for lighting landscapes, trees, columns, monuments, and architectural details with a special feature that enables the selection of any color temperature from 2200K to 3000K or from 2700K to 6500K. This dynamic feature gives designers and their clients the freedom to alter the ambiance of a space in response to the time of day or the way a space is used. A number of other options are on offer: optics for flood or accent lighting, as well as accessories, spread lenses, and controls. The luminaire also has an anti-corrosion option for use in harsh, chemical, or coastal environments.

Features

Color and Color Temperature	Dynamic warm white (2200K to 3000K), Dynamic white (2700K to 6500K)
Optics (nominal distribution)	VN (6°), NS (10°), NF (20°), M (30°), FL (40°), WFL (60°), NAS (Narrow Asymmetric), WW (Asymmetric Wallwash)
Optical Option	Linear spread lens horizontal distribution, Linear spread lens vertical distribution
Options	Short Yoke, 3G ANSI C136.31-2010 Vibration Rating for bridge applications, Corrosion-resistant coating for hostile environments
Cable Color	Black, White
Power Consumption	50 W
Warranty	5-year limited warranty
Performance	
Maximum Delivered Output	3161 lm (DWH full output, NAS, DMX/RDM)
Maximum Delivered Intensity	148,030 cd at nadir (DWH full output, VN 6°, DMX/RDM)
Illuminance at Distance	Minimum 1 fc at 385 ft (DWH full output, VN 6°, DMX/RDM)
Lumen Maintenance	L70 120,000 hrs (Ta 25 °C)

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REVISIONS:

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PORTSMOUTH, NH 03801

PROJECT NO.: 22065

DRAWN BY: GL/RW

APPROVED BY: BH

ISSUE DATE: 9/23/2022

DRAWING NAME:

LIGHTING CUT
SHEET

SCALE:

DRAWING NO.:

A8.1

lumenpulse™

1220 Marie-Victoria Blvd., Longueuil, QC, J4G 2H9, CA
info@lumenpulse.com www.lumenpulse.com

1 United States 617.307.5700 | Canada 1.877.937.3003 | 514.937.3003 F 514.937.6289
www.lumenpulse.com/products/2480

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EM - 821

1 / 14



LIGHTING PRECEDENT 1



LIGHTING PRECEDENT 2



LIGHTING PRECEDENT 3



LIGHTING PRECEDENT 4

40 PLEASANT STREET
 40 PLEASANT STREET
 PORTSMOUTH, NH 03801

PROJECT:
 KEY:

**WINTER
 HOLBEN**
 architecture + design

7 WALLINGFORD SQ
 UNIT 209-9
 KITTERY, MAINE 03904
 207.994.3104

REVISIONS:

PROJECT NAME:
 40 PLEASANT STREET
 40 PLEASANT ST.
 PORTSMOUTH, NH 03801
 PROJECT NO.: 22065
 DRAWN BY: GL/RW
 APPROVED BY: BH
 ISSUE DATE: 9/23/2022
 DRAWING NAME:

LIGHTING
 INSPIRATION
 IMAGES

SCALE:
 DRAWING NO.:

A9.1



09/27/2022

LU-22-188

Land Use Application

Status: Active**Date Created:** Sep 16, 2022**Applicant**

Cassandra Bethoney
bethoneyc@wseinc.com
85 Devonshire Street
3rd Floor
Boston, MA 02109
617-459-4234

Primary Location

0 MARCY ST
Portsmouth, NH 03801

Owner:

CITY OF PORTSMOUTH & REC
PO BOX 628 PORTSMOUTH, NH 03802

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

Request for Extension of Previously Granted Land Use Approval

**TRANSMITTAL
PRESCOTT PARK PHASE 1A IMPROVEMENTS
SHAW BUILDING HDC APPLICATION DOCUMENTS**

TO: John Wyckoff, Chair
Historic District Commission
City of Portsmouth

COPY: Peter Rice
City of Portsmouth
Director of Public Works

FROM: Carlos Guzmán, AIA (Touloukian Touloukian Inc.)

PROJECT: Prescott Park Phase IA Improvements

DATE: 16 September 2022

PAGES: 50 pages

WE ARE SENDING YOU: Via hardcopy

<u>No. of Copies</u>	<u>Description</u>
1	HDC Application Drawings: 09/16/22
1	HDC Application Supplemental Photobook: 10/05/22
1	HDC Application Supplemental Specifications
1	HDC Work session/Application Presentation: 10/05/22

REMARKS:

We are pleased to submit our Historic District Commission (HDC) Certificate of Appropriateness Application to relocate and renovate the Shaw building located at 105 Marcy St, Portsmouth, NH.

Our submission includes the following documents:

1. Drawing package dated 09/16/22 that documents the existing buildings, extent of demolition, and proposed elevations and details.
2. Supplemental Photobook dated 10/05/22 conveying the existing buildings.
3. Supplemental building specifications of the proposed window and door systems for the Shaw Building renovation.
4. Presentation for our 10/05/22 Public Meeting

Please contact us with any questions or if you need any other information.

Sincerely,

Carlos Guzmán, AIA
Project Architect

CITY OF PORTSMOUTH, NEW HAMPSHIRE

DEPARTMENT OF PUBLIC WORKS

PRESCOTT PARK PHASE 1A IMPROVEMENTS

SHAW BUILDING HDC APPLICATION DOCUMENTS



DRAWING LIST

E1.00	PARK-WIDE EXISTING CONDITIONS PLAN
E1.10	EXISTING CONDITIONS PLAN
A1.00	MATERIALS PLAN
AE1.11	EXISTING SHAW BUILDING PLANS
AE2.00	EXISTING SHAW BUILDING PLANS
AE2.01	EXISTING SHAW BUILDING ELEVATIONS
AD1.00	SHAW BUILDING DEMO PLANS
AD1.01	SHAW BUILDING DEMO PLANS
AD2.00	SHAW BUILDING DEMO ELEVATIONS
AD2.01	SHAW BUILDING DEMO ELEVATIONS
A2.00	PROPOSED SHAW BUILDING ELEVATIONS
A2.01	PROPOSED SHAW BUILDING ELEVATIONS
A3.00	WINDOW, DOOR, AND EAVE DETAILS

Project:
 PORTSMOUTH,
 NEW HAMPSHIRE



PRESCOTT PARK
 PHASE 1 IMPROVEMENTS
 105 MARCY STREET,
 PORTSMOUTH, NH, 03801

Weston & Sampson
 85 Devonshire Street,
 3rd Floor, Boston, MA 02109
 617.412.4480 800.SAMPSON
 www.westonandsampson.com

Consultants:
 Architecture
 Touloukian Touloukian Inc.
 Architecture + Urban Design
 67 Battery March Street
 Suite 200 Boston, MA 02110
 617.526.0884
 www.ttarch.com

Revisions:

No.	Date	Description

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 SHAW BUILDING HDC
 APPLICATION DOCUMENTS

Scale:

Date: 16 SEPTEMBER 2022

Drawn By:

Reviewed By:

Approved By:

W&S Project No: XXX

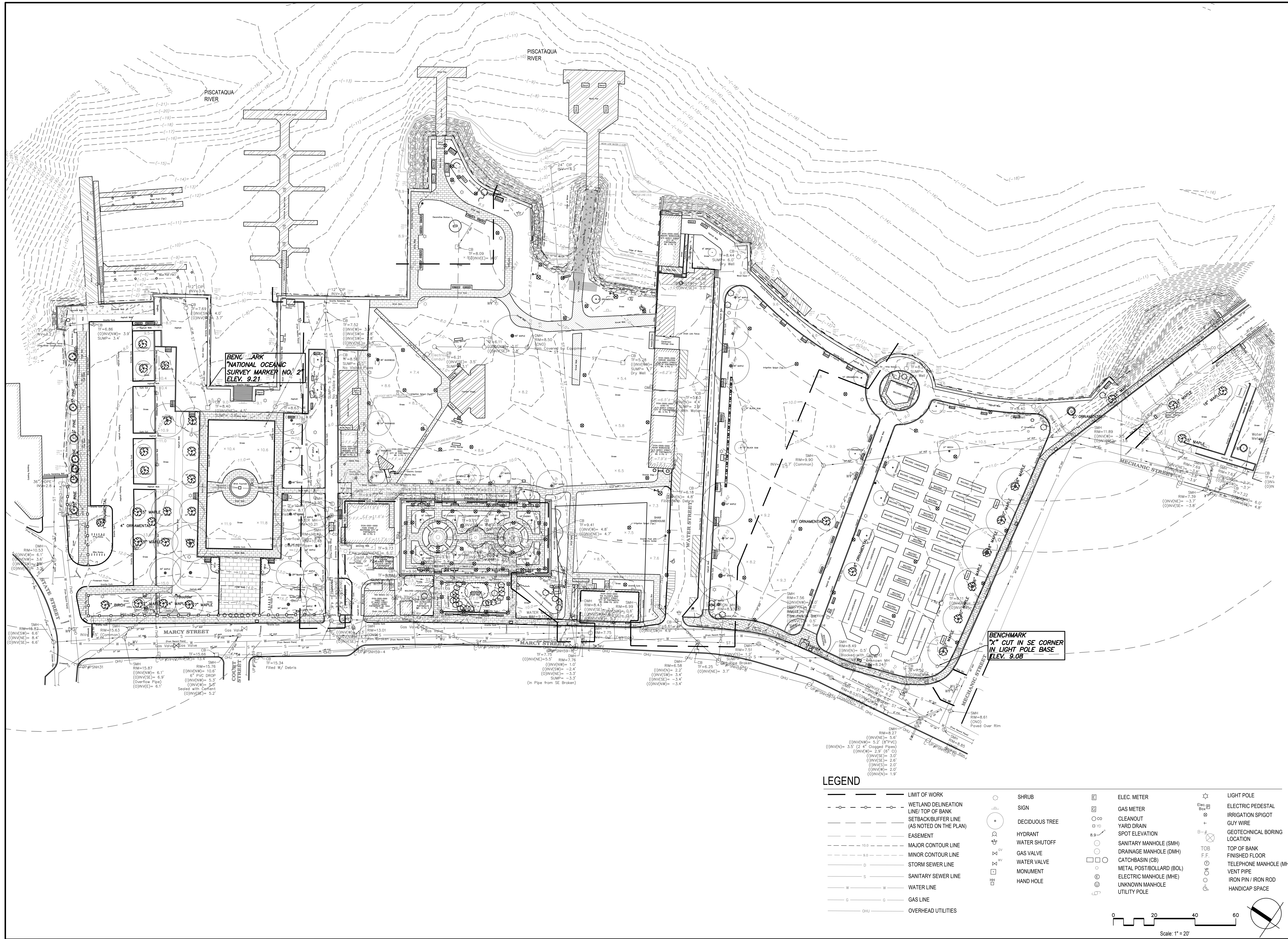
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Project:
**PORTSMOUTH,
 NEW HAMPSHIRE**

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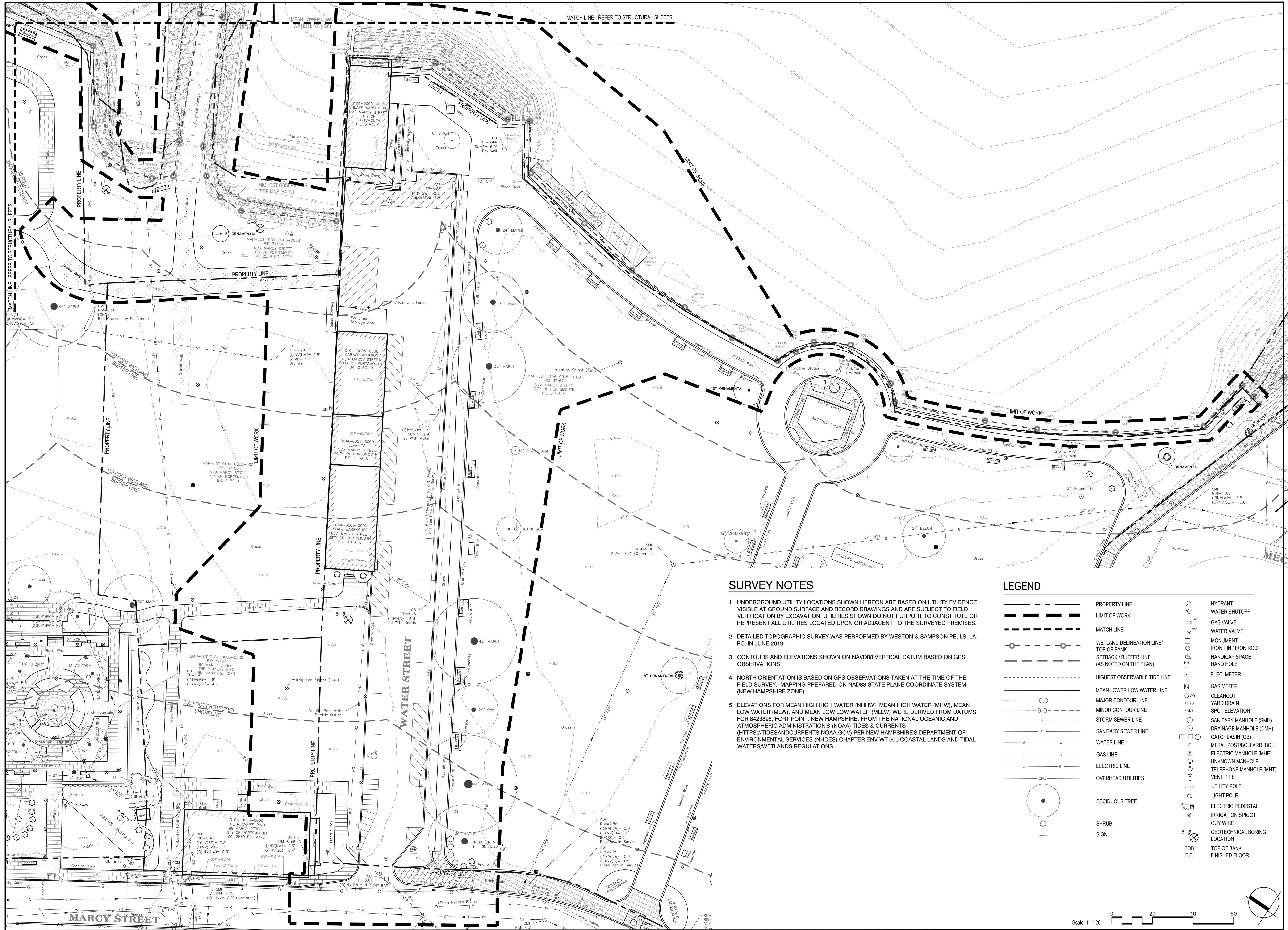
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 Date: 16 SEPTEMBER 2022
 Drawn By:
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 Approved By:
 W&S Project No: XXX
 W&S File No: XXX

Drawing Title:
**PARK-WIDE
 EXISTING
 CONDITIONS
 PLAN**
 Sheet Number:
E1.00

LEGEND

	LIMIT OF WORK		SHRUB		ELEC. METER		LIGHT POLE
	WETLAND DELINEATION LINE/ TOP OF BANK		SIGN		GAS METER		ELECTRIC PEDESTAL
	SETBACK/BUFFER LINE (AS NOTED ON THE PLAN)		DECIDUOUS TREE		CLEANOUT		IRRIGATION SPIGOT
	EASEMENT		HYDRANT		YARD DRAIN		GUY WIRE
	MAJOR CONTOUR LINE		WATER SHUTOFF		SPOT ELEVATION		GEOTECHNICAL BORING LOCATION
	MINOR CONTOUR LINE		GAS VALVE		SANITARY MANHOLE (SMH)		TOP OF BANK
	STORM SEWER LINE		WATER VALVE		DRAINAGE MANHOLE (DMH)		FINISHED FLOOR
	SANITARY SEWER LINE		MONUMENT		CATCHBASIN (CB)		TELEPHONE MANHOLE (MHT)
	WATER LINE		HAND HOLE		METAL POST/BOLLARD (BOL)		VENT PIPE
	GAS LINE		ELECTRIC MANHOLE (MHE)		IRON PIN / IRON ROD		UNKNOWN MANHOLE
	OVERHEAD UTILITIES		UTILITY POLE		HANDICAP SPACE		

Scale: 1" = 20'



SURVEY NOTES

1. UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND RECORD DRAWINGS AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION. UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES.
2. DETAILED TOPOGRAPHIC SURVEY WAS PERFORMED BY WESTON & SAMPSON PE, LS, LA, PC IN JUNE 2019.
3. CONTOURS AND ELEVATIONS SHOWN ON NAVD88 VERTICAL DATUM BASED ON GPS OBSERVATIONS.
4. NORTH ORIENTATION IS BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE FIELD SURVEY. MAPPING PREPARED ON NAD83 STATE PLANE COORDINATE SYSTEM (NEW HAMPSHIRE ZONE).
5. ELEVATIONS FOR MEAN HIGH HIGH WATER (NHHW), MEAN HIGH WATER (MHW), MEAN LOW WATER (MLW), AND MEAN LOW LOW WATER (MLLW) WERE DERIVED FROM DATUMS FOR 8423898, FORT POINT, NEW HAMPSHIRE, FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION'S (NOAA) TIDES & CURRENTS (HTTPS://TIDESANDCURRENTS.NOAA.GOV) PER NEW HAMPSHIRE'S DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) CHAPTER ENV-WT 600 COASTAL LANDS AND TIDAL WATERS/WETLANDS REGULATIONS.

LEGEND

	PROPERTY LINE		HYDRANT
	LIMIT OF WORK		WATER SHUTOFF
	MATCH LINE		GAS VALVE
	WETLAND DELINEATION LINE/ TOP OF BANK		WATER VALVE
	SETBACK / BUFFER LINE (AS NOTED ON THE PLAN)		MONUMENT
	HIGHEST OBSERVABLE TIDE LINE		IRON PIN / IRON ROD
	MEAN LOWER LOW WATER LINE		HANDICAP SPACE
	MAJOR CONTOUR LINE		HAND HOLE
	MINOR CONTOUR LINE		ELEC. METER
	STORM SEWER LINE		GAS METER
	SANITARY SEWER LINE		CLEANOUT
	WATER LINE		YARD DRAIN
	GAS LINE		SPOT ELEVATION
	ELECTRIC LINE		SANITARY MANHOLE (SMH)
	OVERHEAD UTILITIES		DRAINAGE MANHOLE (DMH)
	DECIDUOUS TREE		CATCHBASIN (CB)
	SHRUB		METAL POST/BOLLARD (BOL)
	SIGN		ELECTRIC MANHOLE (MHE)
			UNKNOWN MANHOLE
			TELEPHONE MANHOLE (MHT)
			UTILITY POLE
			LIGHT POLE
			ELECTRIC PEDESTAL
			IRRIGATION SPIGOT
			GUY WIRE
			GEOTECHNICAL BORING
			LOCATION
			TOP OF BANK
			FINISHED FLOOR

Project:
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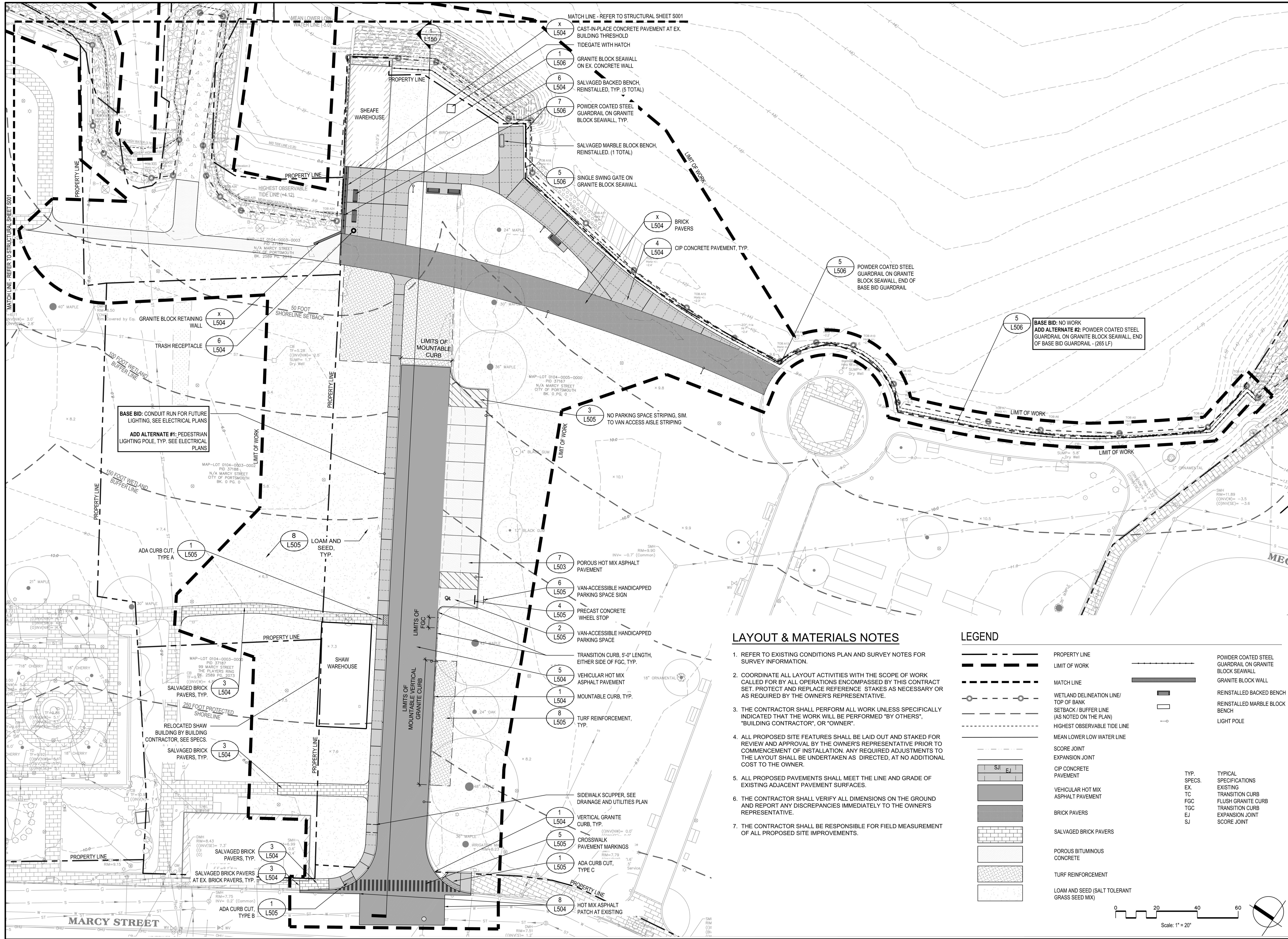
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 W&S File No: XXX

Drawing Title:
**EXISTING
 CONDITIONS
 PLAN**
 Sheet Number:
E1.10



Project:
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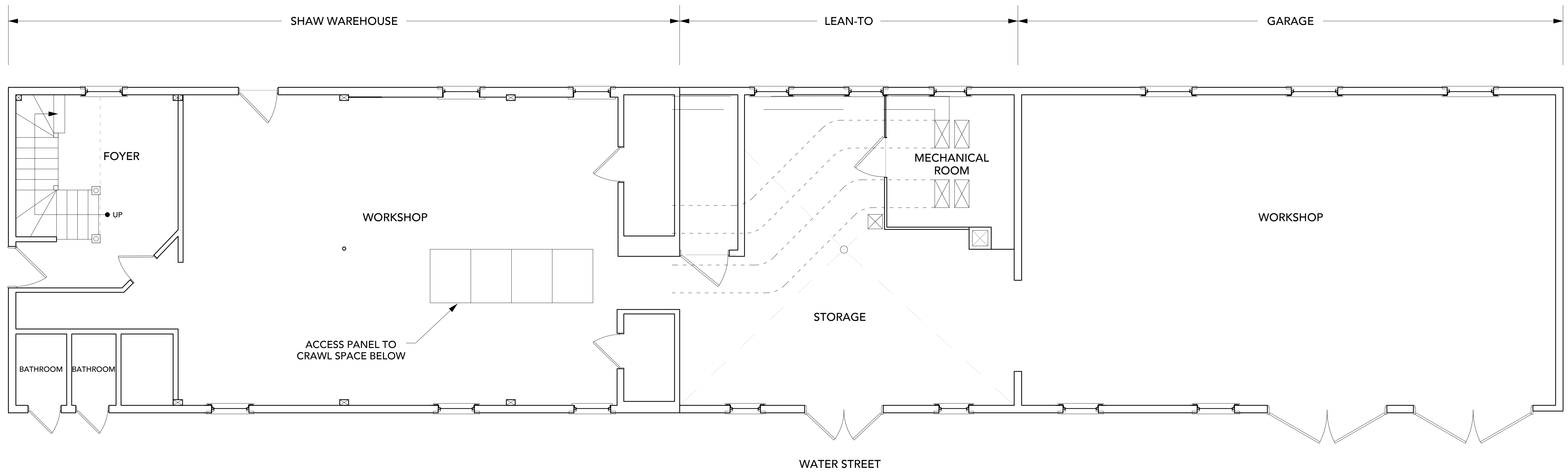
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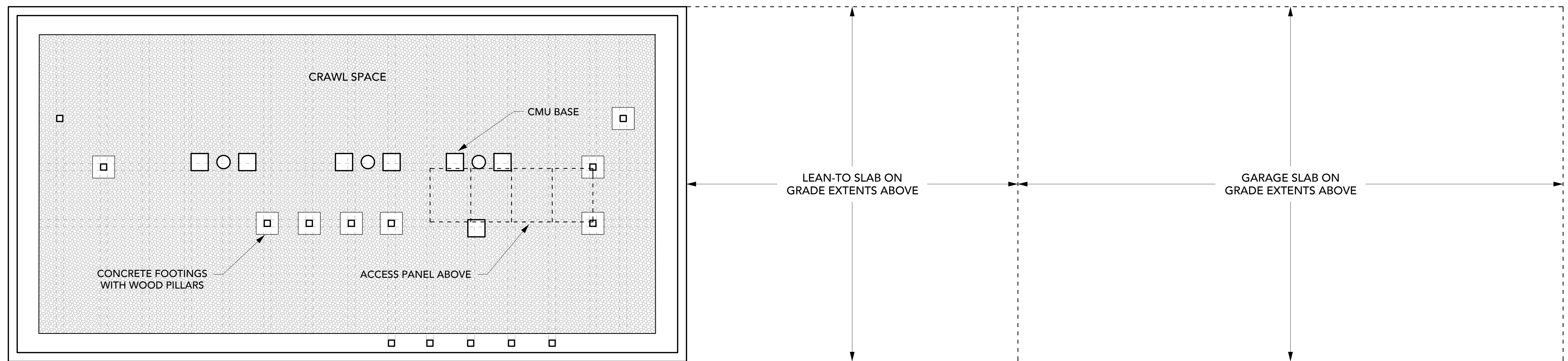
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 W&S File No: XXX

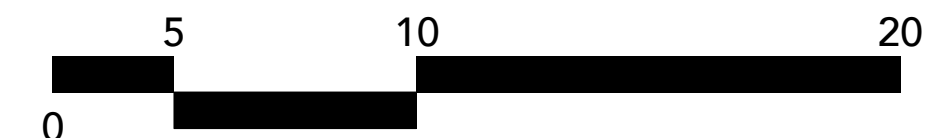
Drawing Title:
**MATERIALS
 PLAN**
 Sheet Number:
A1.00



2 SHAW BUILDING LEVEL 1 EXISTING PLAN
GRAPHIC SCALE



1 EXISTING FOUNDATION PLAN
GRAPHIC SCALE



Project:
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NEW HAMPSHIRE



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APPLICATION DOCUMENTS

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Drawing Title:
**SHAW
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PLANS**

Sheet Number:
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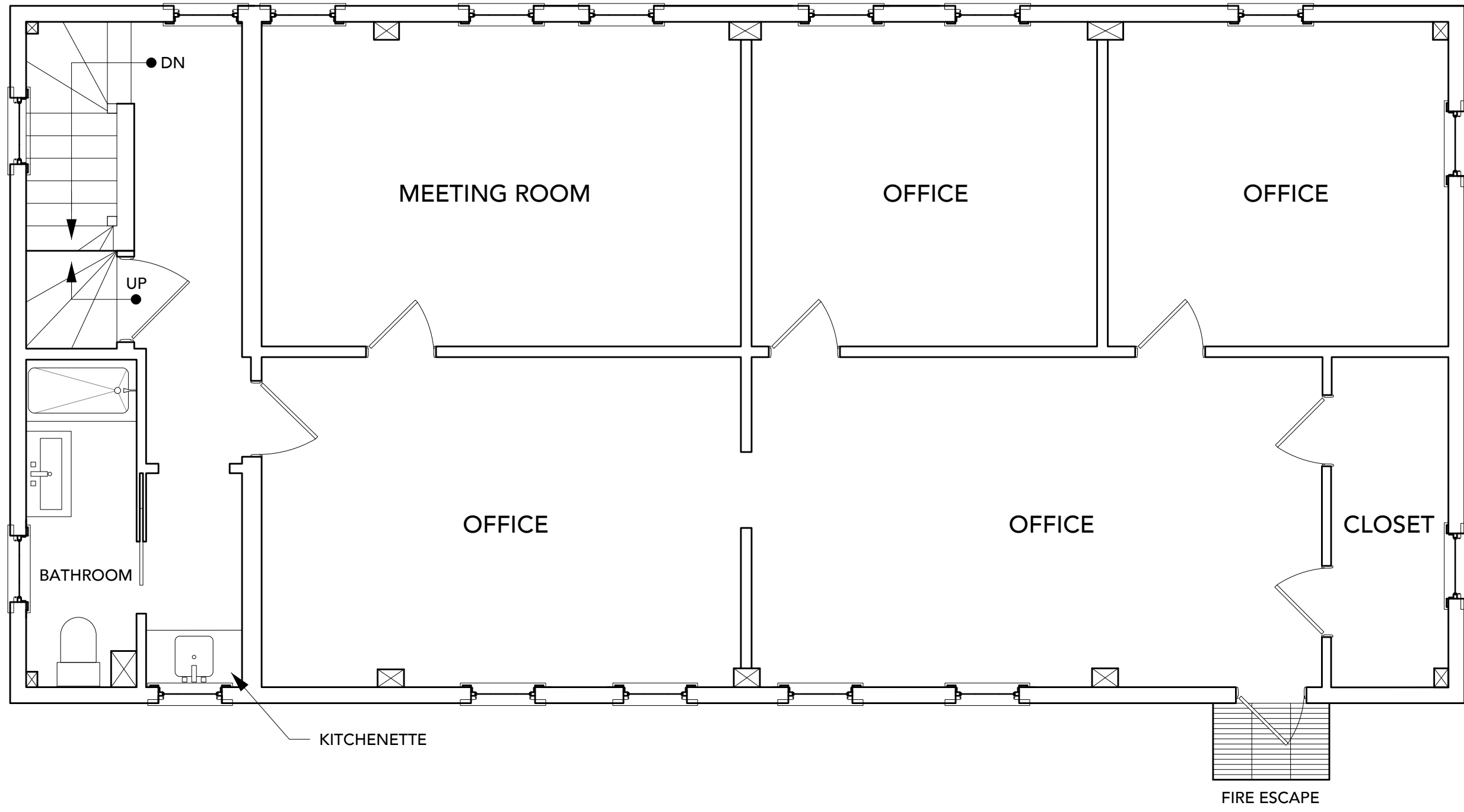
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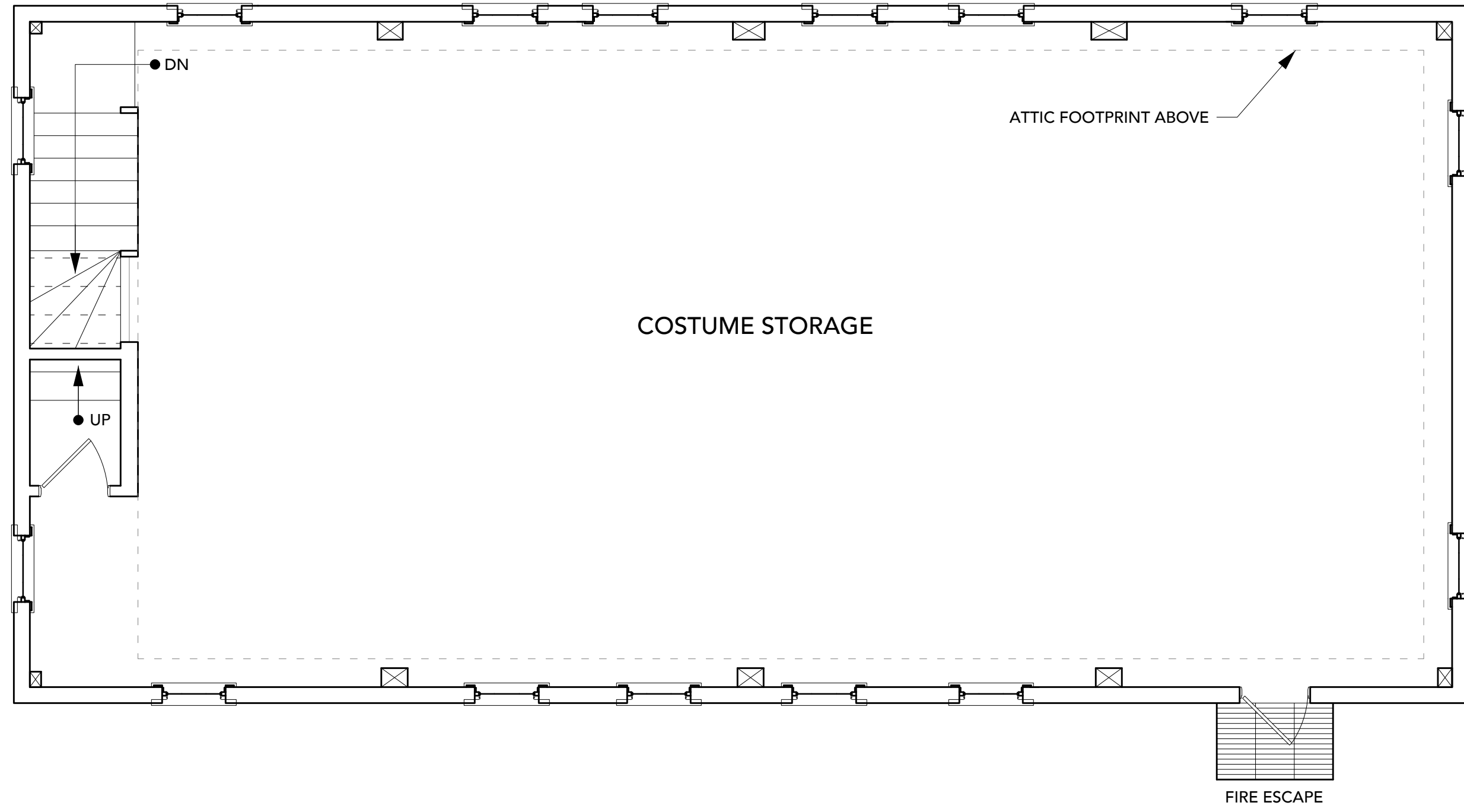
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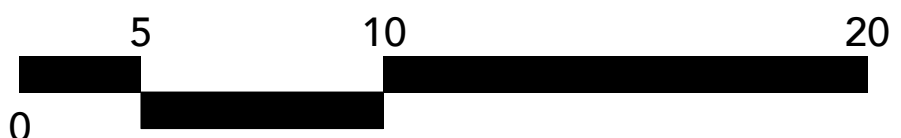
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 Sheet Number:
AE1.11



2 SHAW BUILDING LEVEL 2 EXISTING PLAN
 GRAPHIC SCALE



3 SHAW BUILDING LEVEL 3 EXISTING PLAN
 GRAPHIC SCALE



T.O. ROOF RIDGE
43' - 1 3/4"

T.O. THIRD
FLR: 26' - 1/2"

T.O. SECOND
FLR: 17' - 10"

T.O. FIRST
FLR: 7' - 11"



2 SHAW BUILDING NORTH ELEVATION - EXISTING
GRAPHIC SCALE

T.O. ROOF RIDGE
43' - 1 3/4"

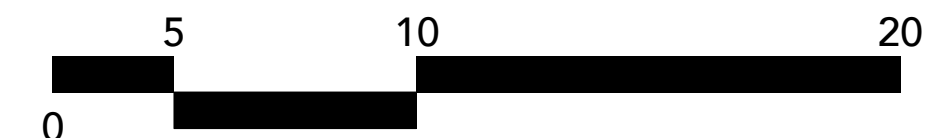
T.O. THIRD FLOOR
26' - 0 1/2"

T.O. SECOND FLOOR
17' - 10"

T.O. FIRST FLR
7' - 11"



1 SHAW BUILDING SOUTH ELEVATION - EXISTING
GRAPHIC SCALE



Project:
PORTSMOUTH,
NEW HAMPSHIRE



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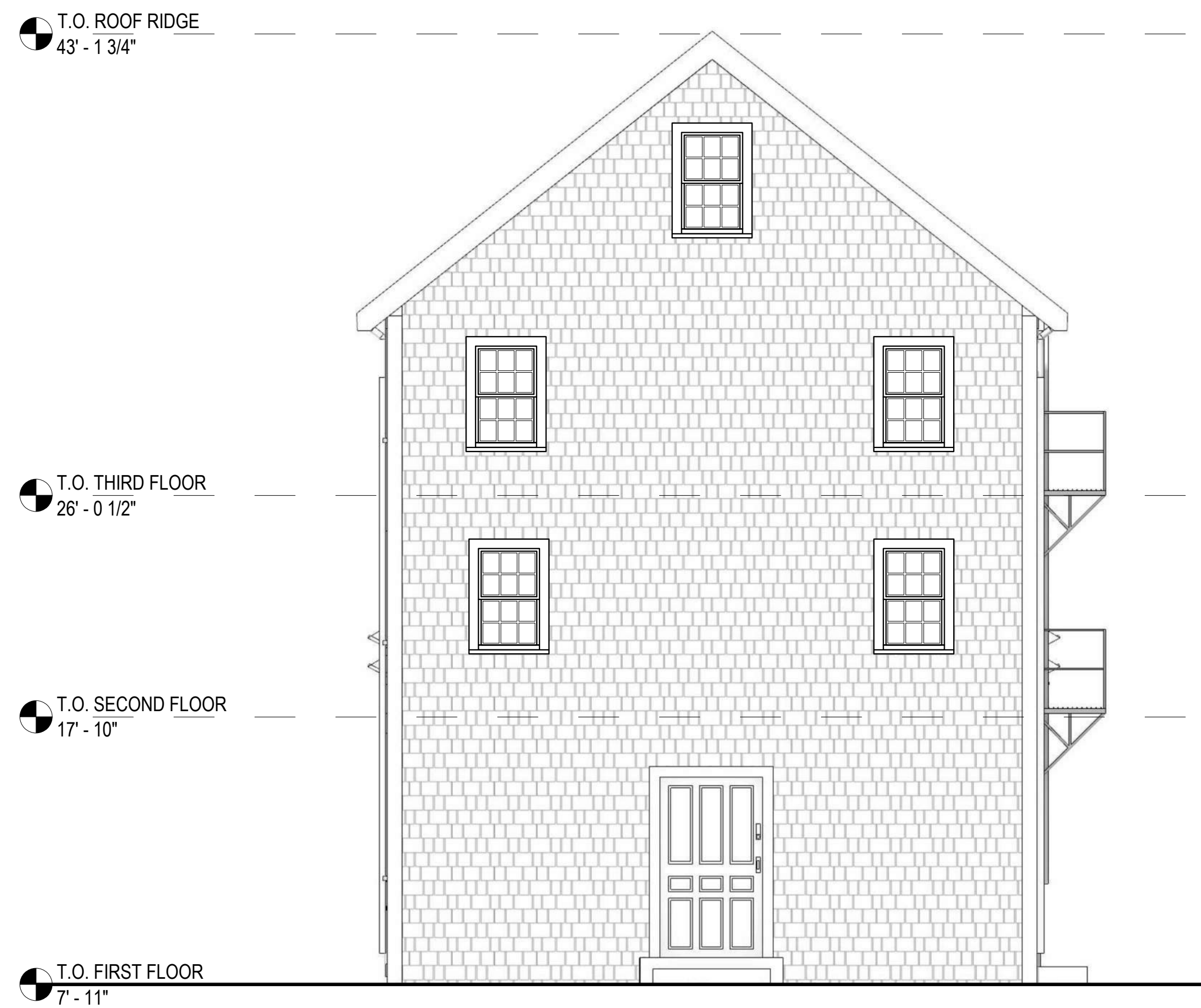
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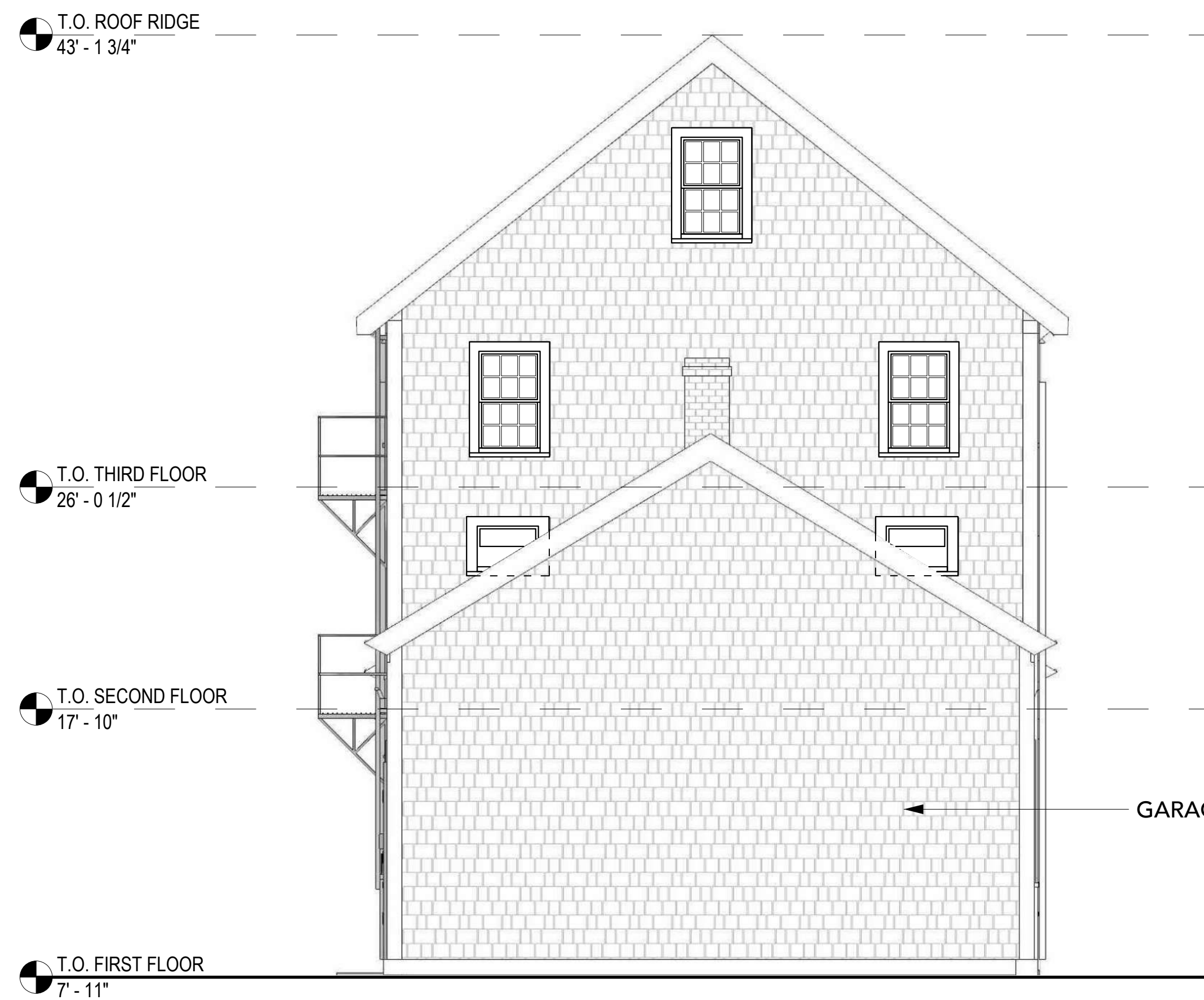
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**EXISTING
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THE SHAW**

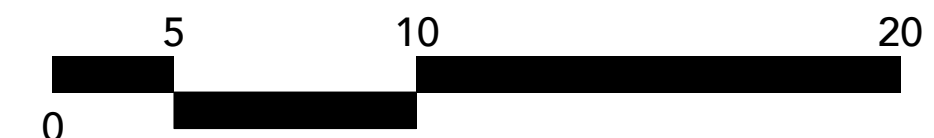
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2 SHAW BUILDING WEST ELEVATION - EXISTING
GRAPHIC SCALE



1 SHAW BUILDING EAST ELEVATION - EXISTING
GRAPHIC SCALE



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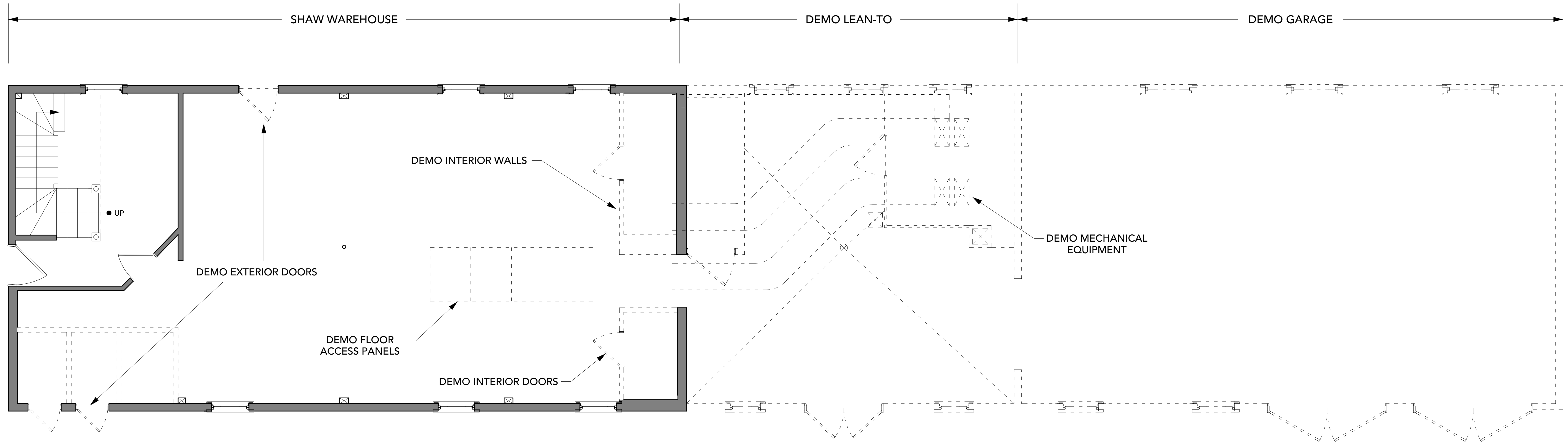
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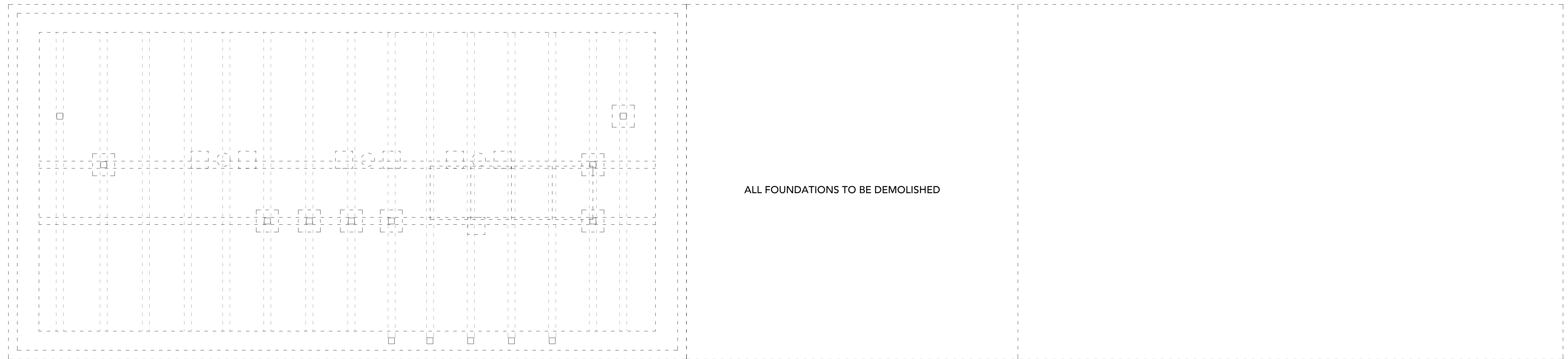
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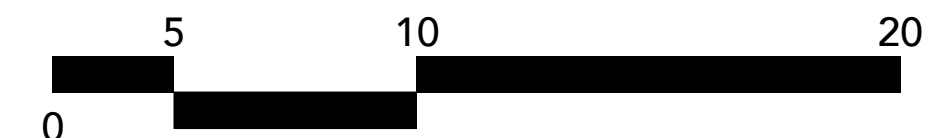
□ DEMOLISH



2 SHAW BUILDING LEVEL 1 DEMO PLAN
GRAPHIC SCALE



1 SHAW BUILDING FOUNDATION DEMO PLAN
GRAPHIC SCALE



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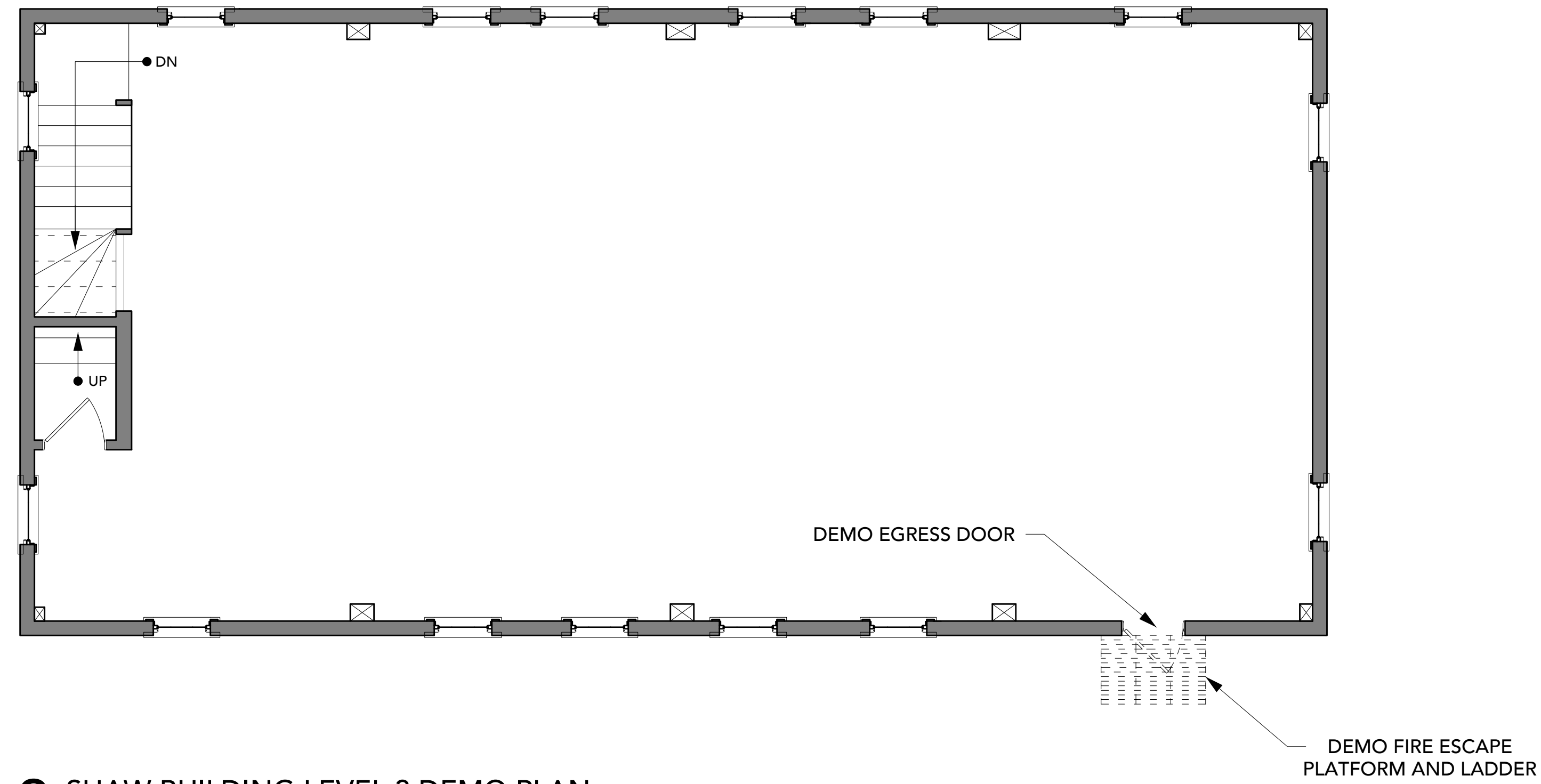
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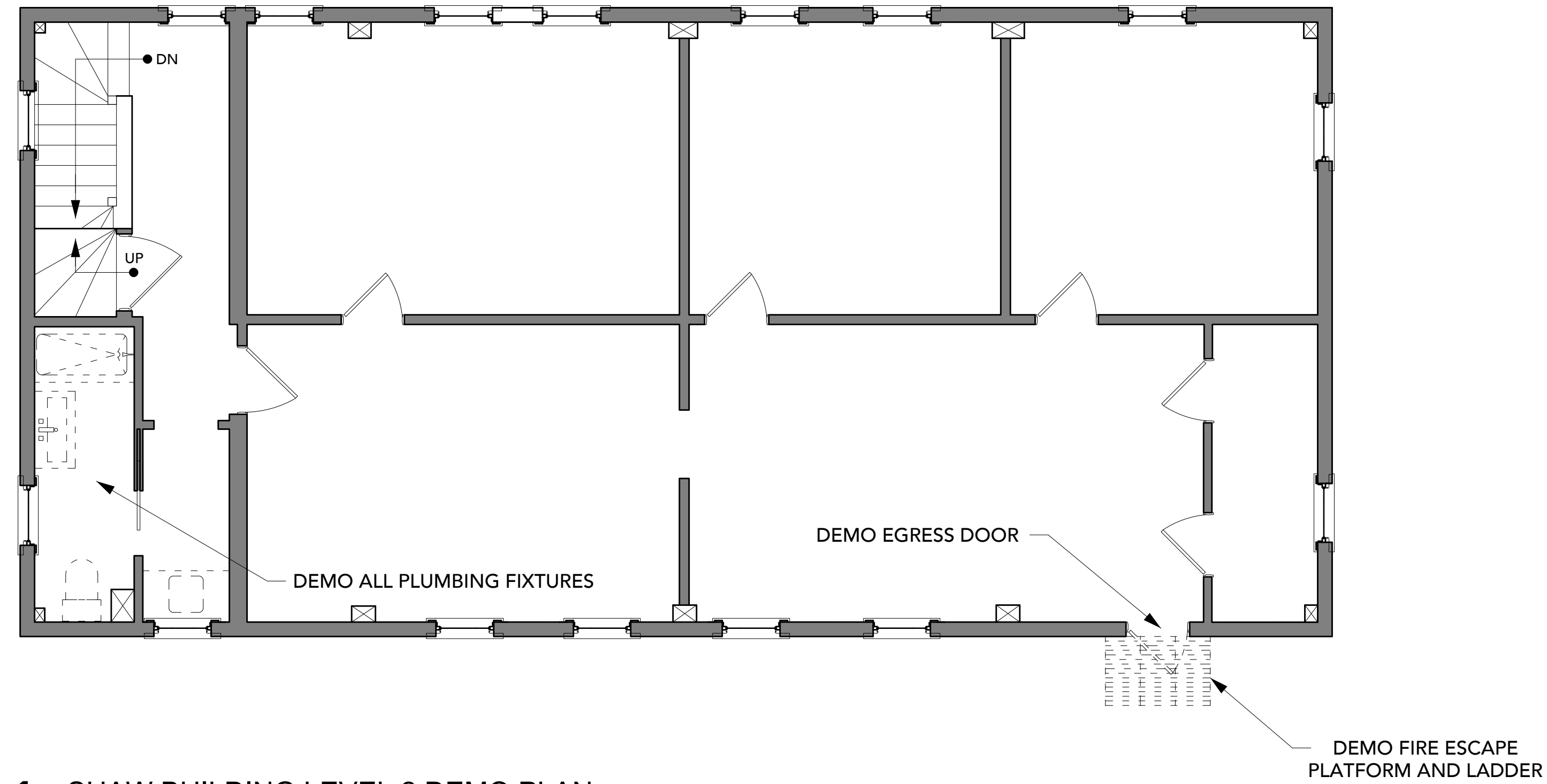
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AD1.00

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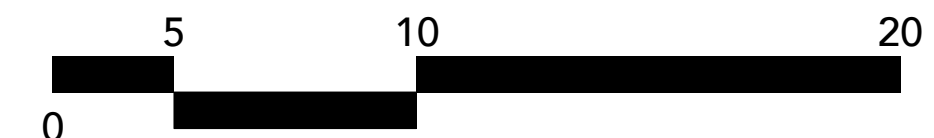
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2 SHAW BUILDING LEVEL 3 DEMO PLAN
GRAPHIC SCALE



1 SHAW BUILDING LEVEL 2 DEMO PLAN
GRAPHIC SCALE



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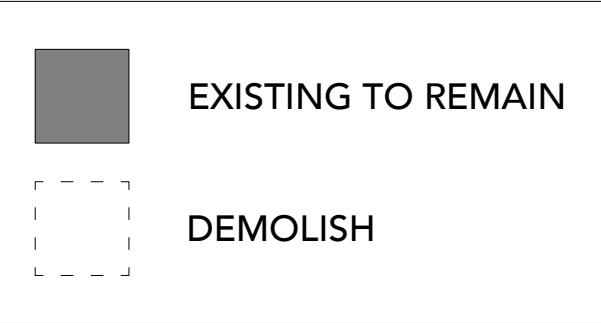
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**SHAW
 BUILDING
 DEMO PLAN**

Sheet Number:
AD1.01

T.O. ROOF RIDGE
43' - 1 3/4"

LEGEND



NOTES

1. SEE DEMOLITION AND PROPOSED ELEVATIONS FOR ADDITIONAL CONFIRMATION
2. SEE SITE PLAN FOR PROPOSED FOOTPRINT LOCATION

DEMO ROOF SYSTEM, SHINGLES,
TRIM, AND WINDOWS (TYP.)

DEMO LEAN-TO AND
GARAGE IN ENTIRETY (TYP.)

T.O. THIRD
FLR: 26' - 1/2"

T.O. SECOND
FLR: 17' - 10"

T.O. FIRST
FLR: 7' - 11"

2 SHAW BUILDING NORTH ELEVATION - DEMO
GRAPHIC SCALE

OPTION TO SALVAGE STONE
FOR NEW FOUNDATION (TYP.)

DEMO OPENING FOR NEW WINDOW
DEMO DOOR AND TRIM

T.O. ROOF RIDGE
43' - 1 3/4"

T.O. THIRD FLOOR
26' - 0 1/2"

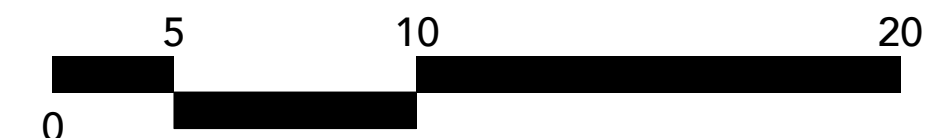
T.O. SECOND FLOOR
17' - 10"

T.O. FIRST FLR
7' - 11"

DEMO FIRE DOORS, TRIM,
AND LADDER SYSTEM

DEMO OPENING FOR NEW WINDOW
DEMO DOORS AND TRIM

1 SHAW BUILDING SOUTH ELEVATION - DEMO
GRAPHIC SCALE



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EXISTING
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THE SHAW

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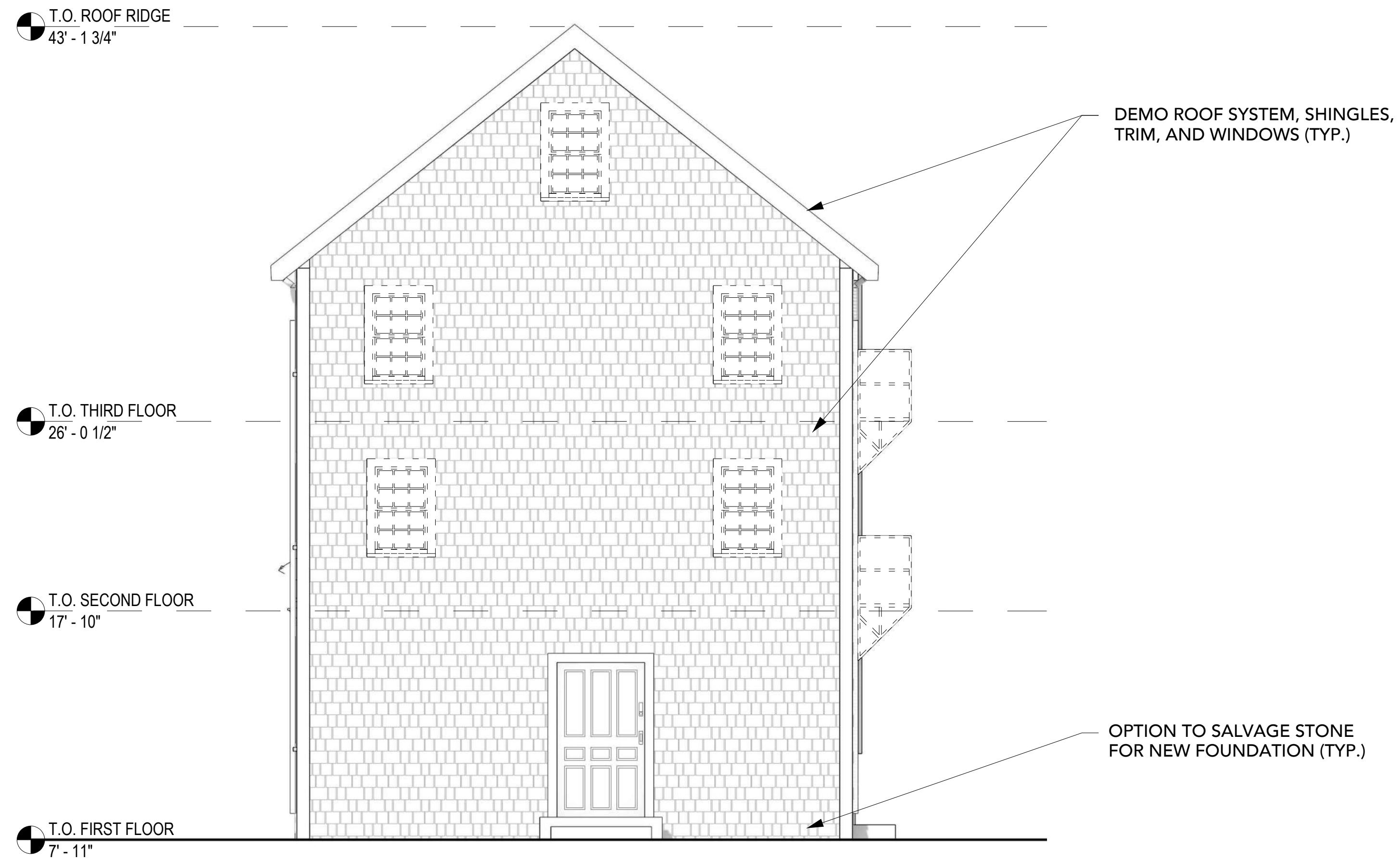
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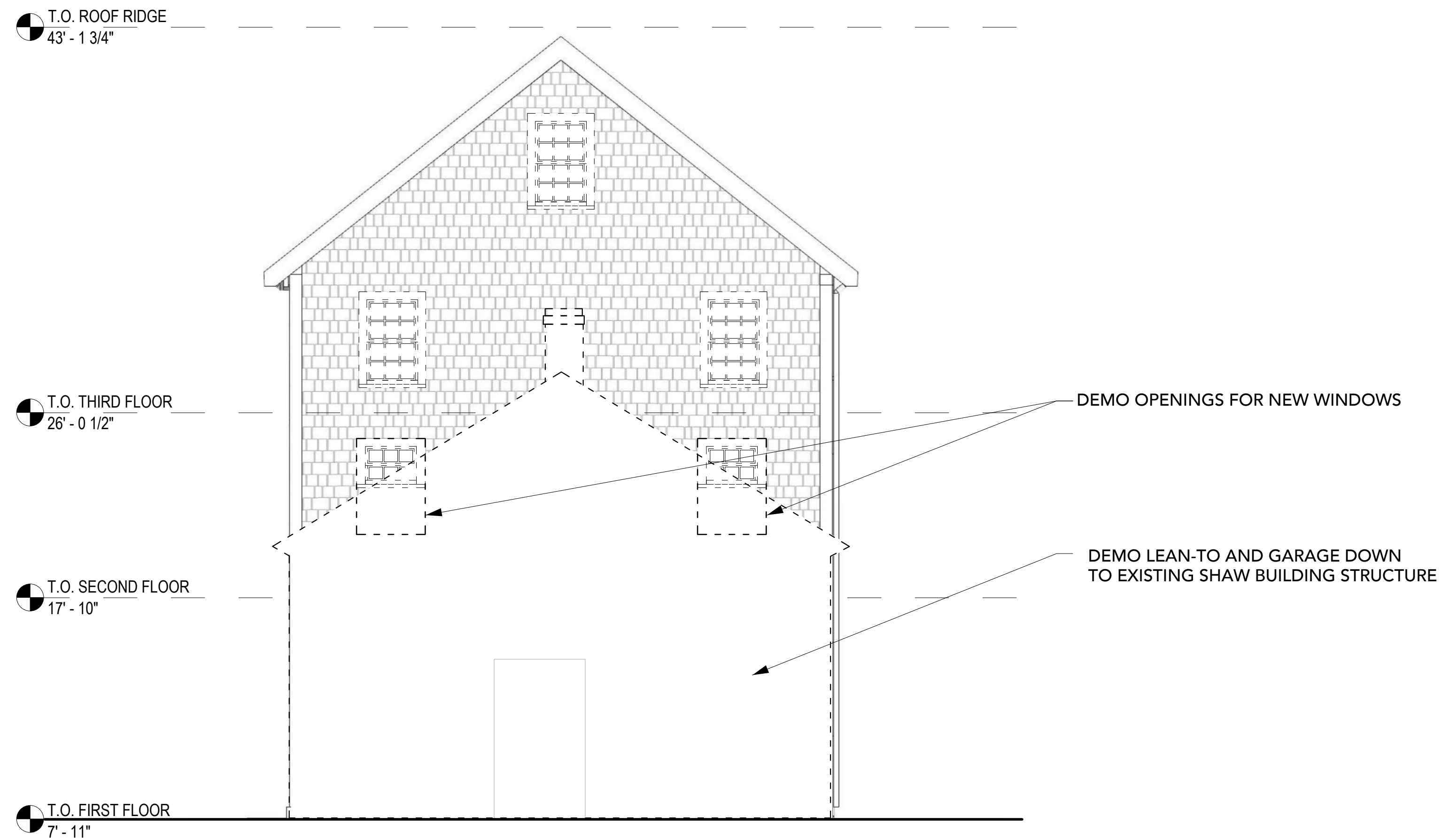
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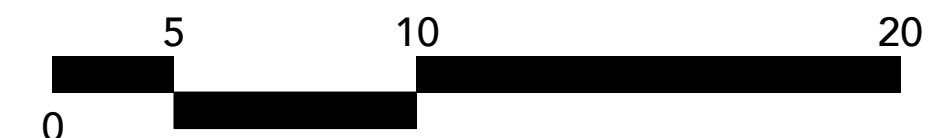
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2. SEE SITE PLAN FOR PROPOSED FOOTPRINT LOCATION



2 SHAW BUILDING WEST ELEVATION - DEMO
GRAPHIC SCALE



1 SHAW BUILDING EAST ELEVATION - DEMO
GRAPHIC SCALE



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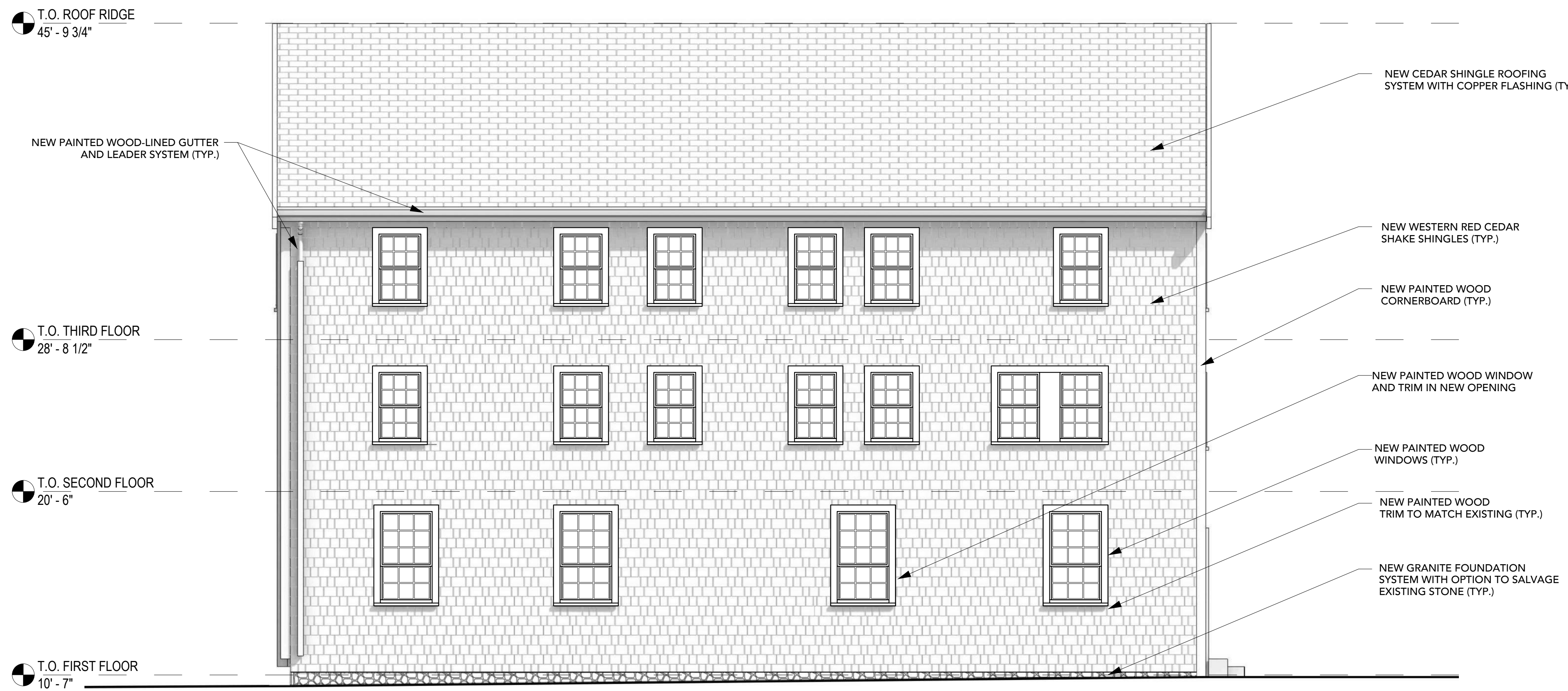
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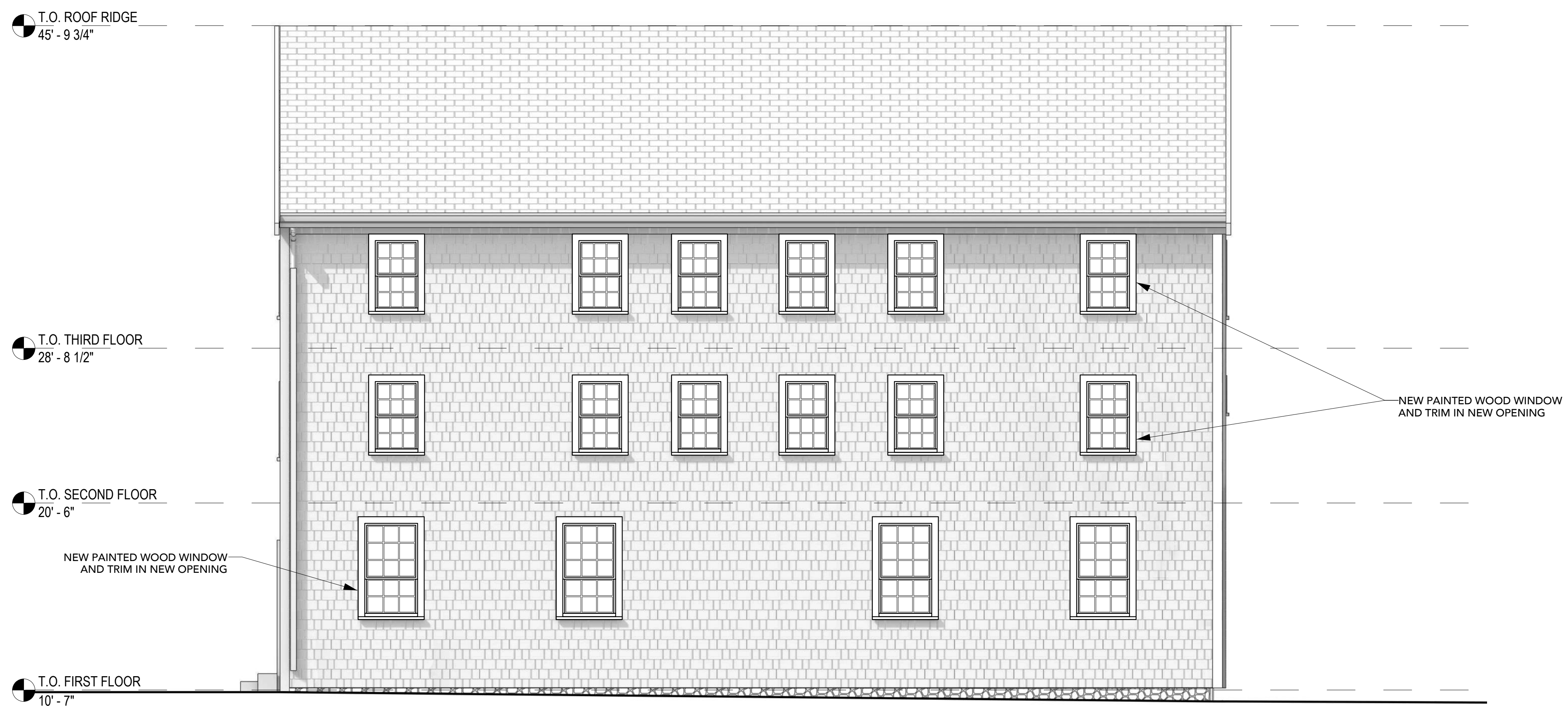
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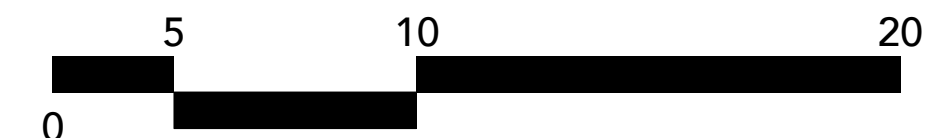
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**EXISTING
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 ELEVATIONS:
 THE SHAW**
 Sheet Number:
AD2.01



2 SHAW BUILDING NORTH ELEVATION - PROPOSED
GRAPHIC SCALE



1 SHAW BUILDING SOUTH ELEVATION - PROPOSED
GRAPHIC SCALE



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**PROPOSED
BUILDING
ELEVATIONS:
THE SHAW**

Sheet Number:

A2.00

T.O. ROOF RIDGE
45' - 9 3/4"

T.O. THIRD FLOOR
28' - 8 1/2"

T.O. SECOND FLOOR
20' - 6"

T.O. FIRST FLOOR
10' - 7"

2 SHAW BUILDING WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1' - 0"



SEE A2.00 FOR TYPICAL NOTES

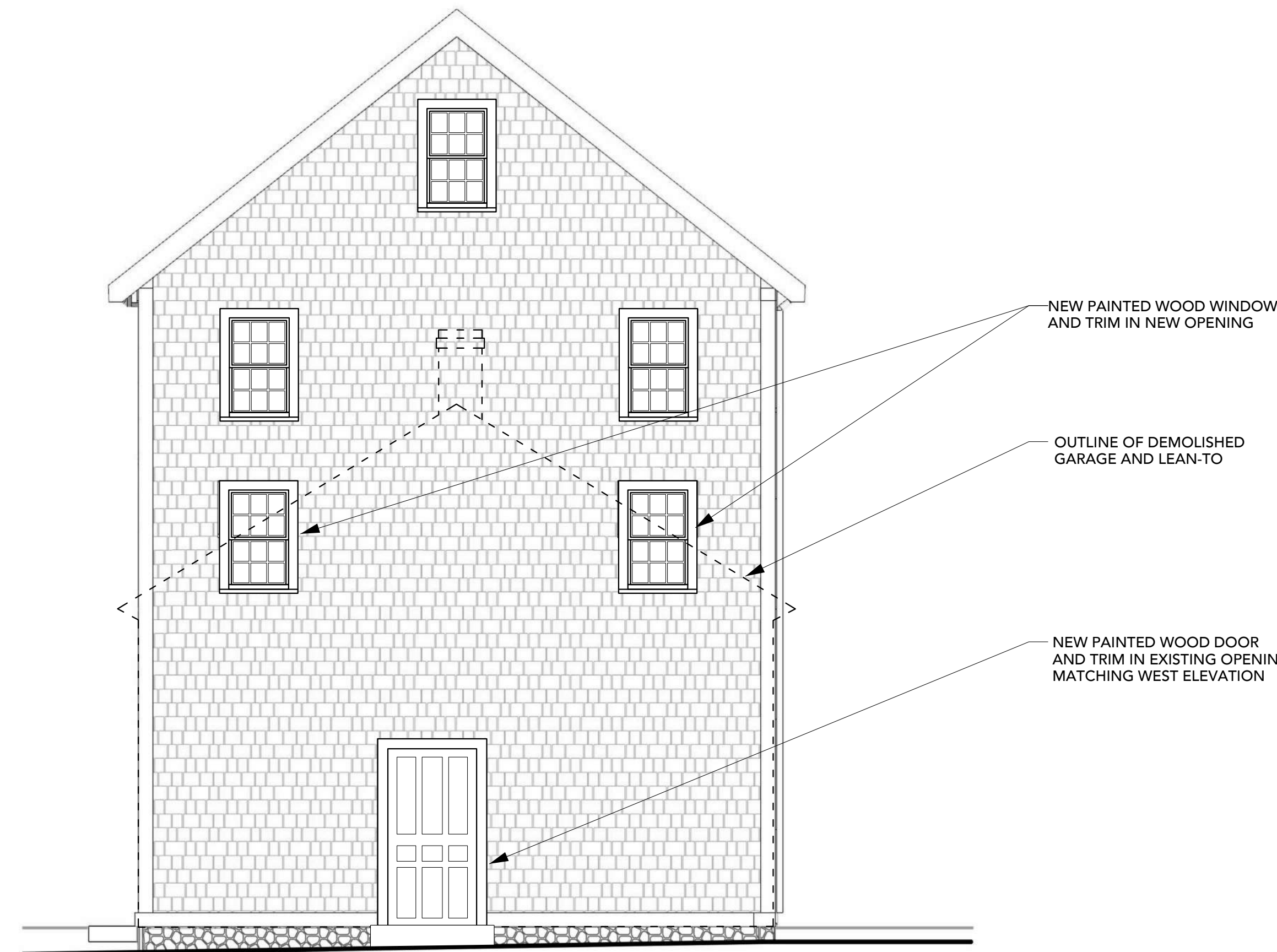
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SCALE: 1/4" = 1' - 0"



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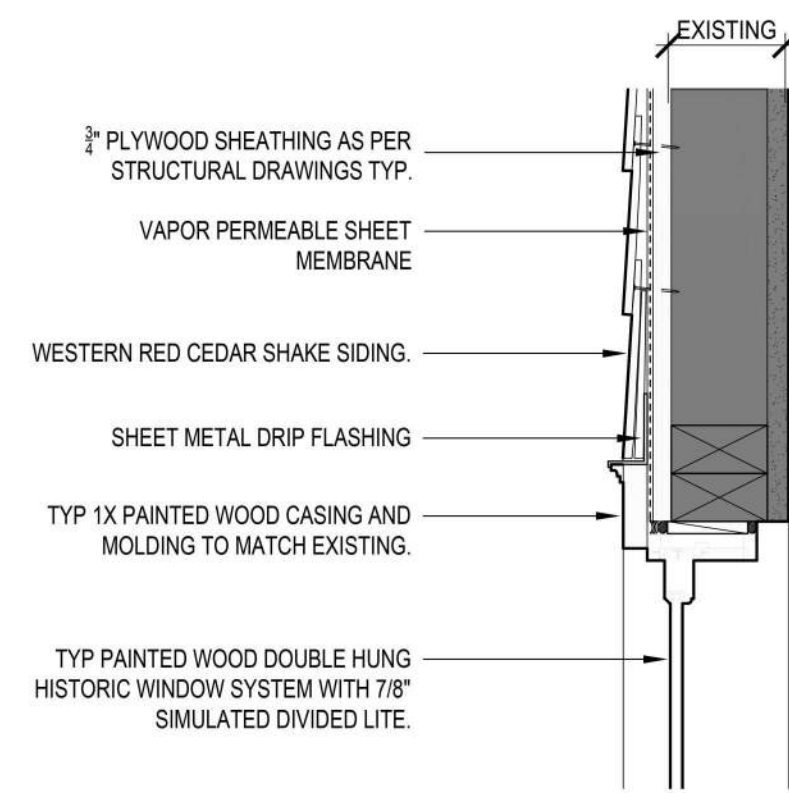
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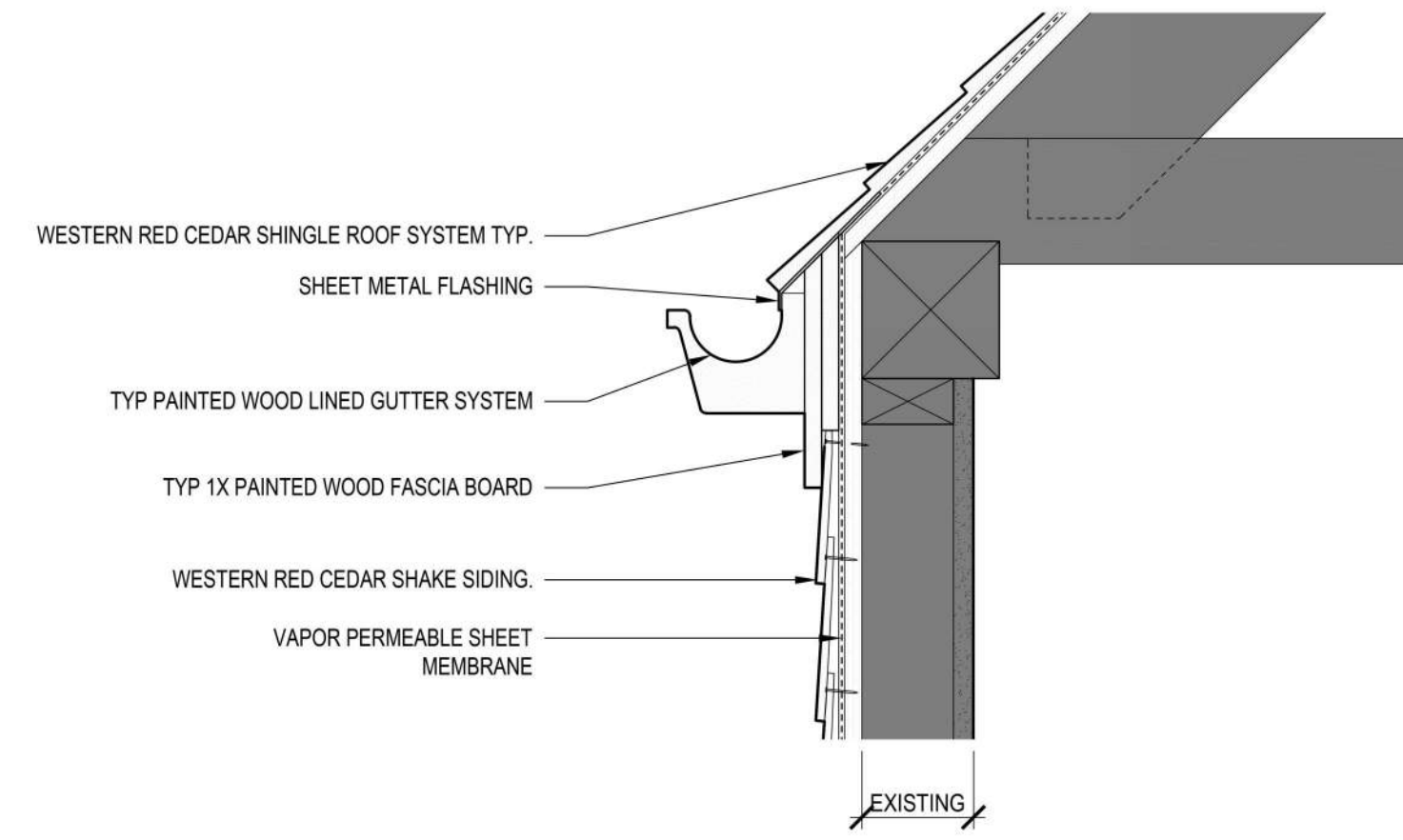
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**PROPOSED
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THE SHAW**
Sheet Number:
A2.01



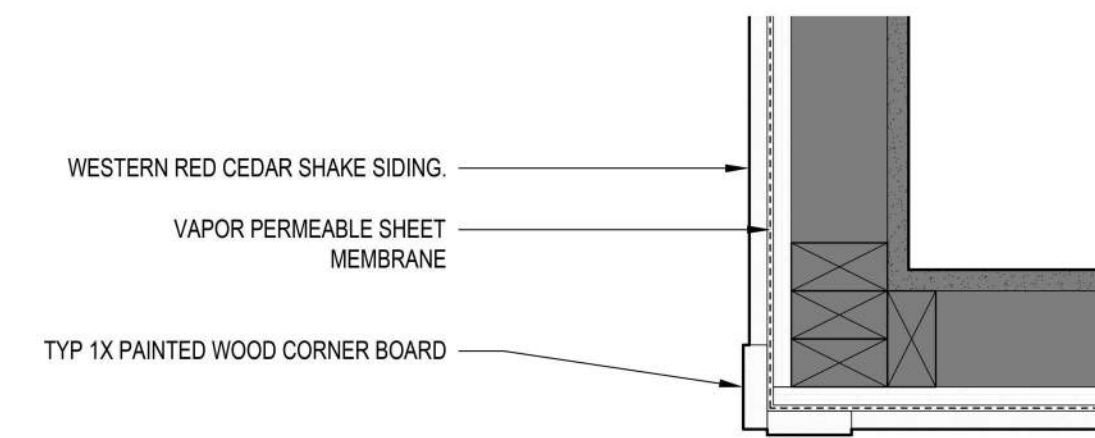
A: TYP WINDOW HEAD DETAIL

Scale 1 1/2" = 1'-0"



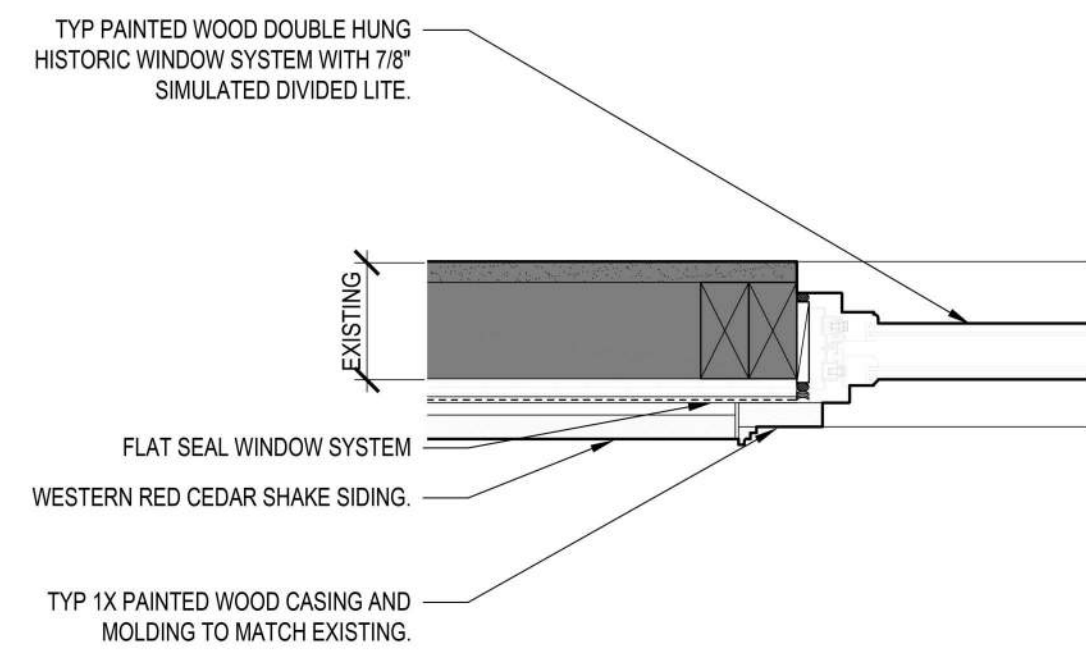
B: TYP EAVE DETAIL

Scale 1 1/2" = 1'-0"



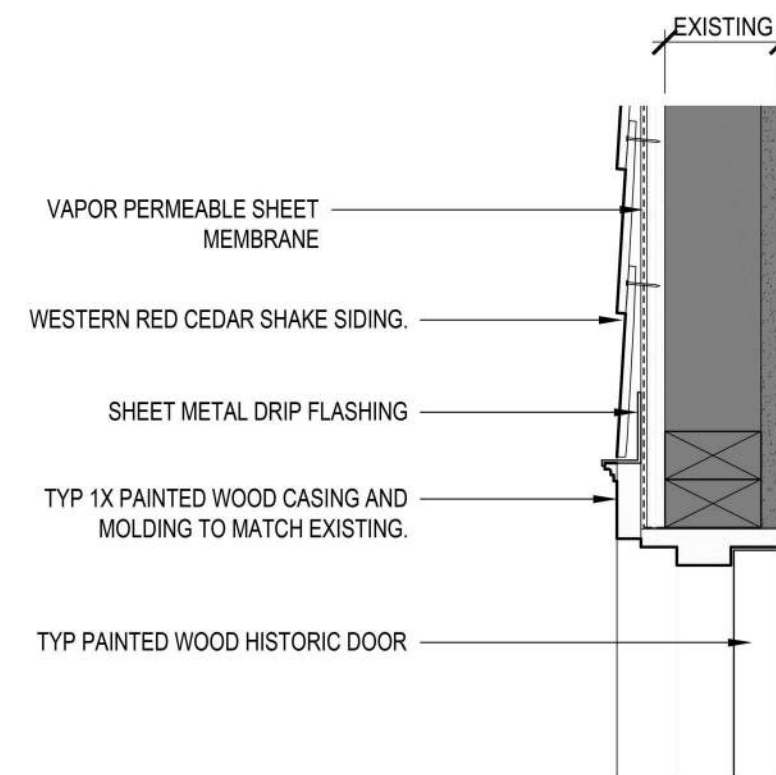
C: TYP CORNER BOARD DETAIL

Scale 1 1/2" = 1'-0"



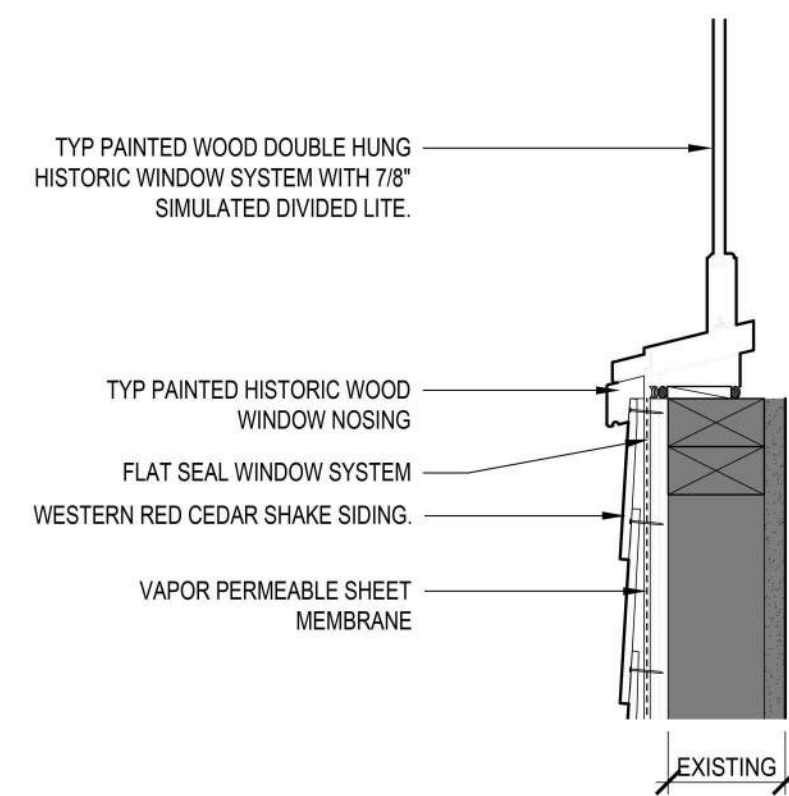
D: TYP WINDOW JAMB DETAIL

Scale 1 1/2" = 1'-0"



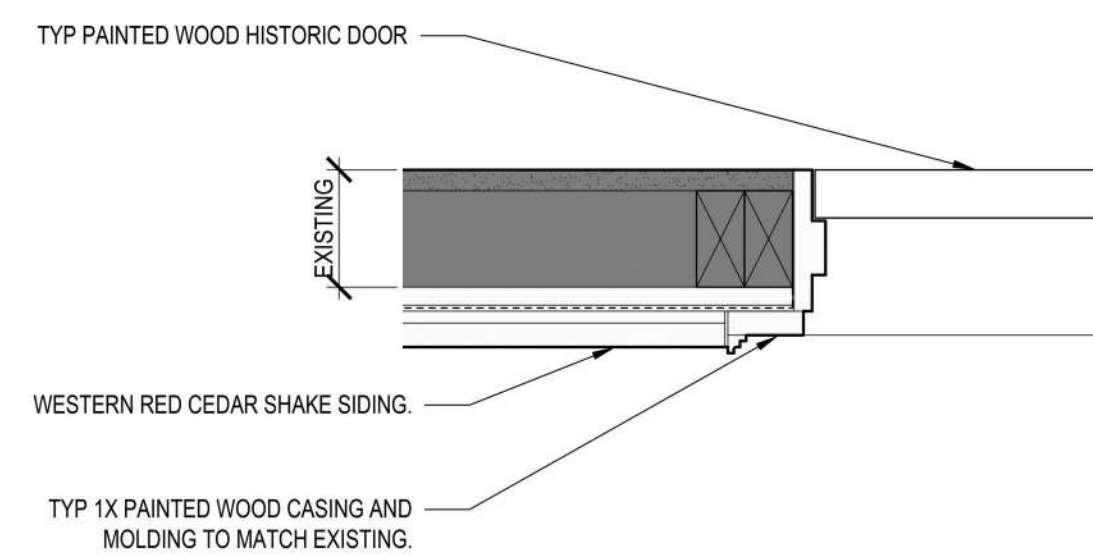
E: TYP DOOR HEAD DETAIL

Scale 1 1/2" = 1'-0"



F: TYP WINDOW SILL DETAIL

Scale 1 1/2" = 1'-0"



G: TYP DOOR JAMB DETAIL DETAIL

Scale 1 1/2" = 1'-0"

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**WINDOW,
 DOOR,
 AND EAVE
 DETAILS**

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Prescott Park Portsmouth, NH

PHASE 1A IMPROVEMENTS

HDC APPLICATION SUPPLEMENTAL PHOTOBOOK

05 October 2022

The Shaw Warehouse, Lean-To and Garage Buildings

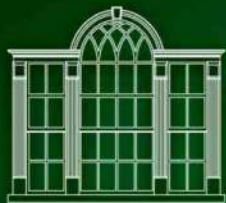


The Shaw Warehouse, Lean-To and Garage Buildings



The Shaw Warehouse





GREEN MOUNTAIN
WINDOW & DOOR™
COMPANY

News

NEW CONSTRUCTION



GREEN MOUNTAIN WINDOW SPECIALIZES IN NEW CONSTRUCTION WINDOW SOLUTIONS FOR BUILDINGS DESIGNED TO MATCH THE NORTHEAST'S UNIQUE ARCHITECTURAL STYLE. OUR WINDOWS ARE DESIGNED TO BLEND THE DETAILS AND PATTERNS ONCE USED BY LOCAL CRAFTSMAN IN NORTHEASTERN SASH MILLS WITH THE LATEST ENERGY PERFORMANCE TECHNOLOGY.

TWO DIFFERENT NEW CONSTRUCTION SYSTEMS:

- MILESTONE SERIES FOR HISTORICAL ACCURACY AND SUPERIOR ENERGY PERFORMANCE
- CLASSIC SERIES FOR BUDGET DRIVEN PROJECTS THAT STILL DEMAND CORRECT WINDOW PROPORTIONS AND GREAT ENERGY EFFICIENCY



We offer two different product lines to fit any budget:



1. Milestone Series Double Hung: This is the most traditional looking double hung window on the market. The sash and frame details are all proportioned to match the historic widows used around the northeast in the 19th and early 20th century. Modern materials such as vinyl and metal are concealed by our exclusive frame design. The sash can tilt in by releasing our hidden release latches. Our hardware options mimic period appropriate design. Options of 5/8", 7/8" or 1 1/4" wide muntins allow you to design to the architectural period of your choice. And our sash is engineered to hide the fact that it holds the most energy efficient glazing available in a narrow glazing pocket; often people don't even realize that it is insulated glass.

2. Milestone Series Casement / Awning: Do you hate the look and operation of modern crank out hardware? Then this window was designed with you in mind. This is a push out system with hardware to hold the sash in any open position. Wide stiles and rails create an old world charm. And a wood framed screen on the interior compliments the traditional design. We offer a concealed friction hinge version and a butt hinge with a sash stay bar version. The window to the right shows the butt hinge / stay bar option on a French Casement (two sash in one frame).



3. Classic Series Double Hung: With this window you won't be sacrificing much to satisfy a more limited budget. The main difference between the Classic and Milestone double hung is the use of exposed vinyl tracks on the sides of the frame to hold the sash in place. These vinyl tracks make the sash a little more difficult to tilt in, are slightly less air tight and are less historic looking than the Milestone system. However, if your windows are painted white the vinyl will blend right in and no one will know that you paid less since all other features and options are the same as the Milestone. Classic window with transom in photo to the left.

4. Classic Series Casement / Awning: This window line has the roto crank hardware, narrow stiles / rails, and aluminum framed interior screen that is commonly found in modern casement and awning windows. However, creative use of our trim packages and muntin options will still make these windows draw attention. To the right is a Classic Series casement with a wood shutter.





Green Mountain Window and Door Co.

Milestone Double Hung v2.2

Product Information

Unit Specifications	1.2
NFRC & Design Pressure Information	1.3 & 1.4
Egress & Clear Opening Information	1.5
Measurement Conversions	1.6

Elevations & Sections

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Elevations: Double Hung Transom & Cottage Units	1.10
Section Details: Double Hung	1.11
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Angle Bay Assemblies

Section Details	1.20
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NOTE:

All specifications and data are subject to change without notice.

Allow 1/16" tolerance on all measurements.

Some options and accessories are not covered in this manual. Contact your Green Mountain Representative for further assistance



Green Mountain Window and Door Co.

Unit Specifications

Frame:

- Pine wood interior and exterior standard. Options include South American Mahogany, Philippine Mahogany (Marenti), Douglas Fir, Western Red Cedar, Teak, or other. Optional species can be specified for specific parts only (sill, sill nose, casing, etc.)
- Frame width: 4 9/16"
- Frame thickness: 5/8"
- Sill: 14 degree bevel, 1" standard sill nose. Optional 2" "historic" sill nose
- Pine exterior parts are dipped in a water repellent preservative.

Sash:

- Pine wood interior and exterior standard. Options include South American Mahogany, Philippine Mahogany (Marenti), Douglas Fir, Western Red Cedar, Teak, or other.
- Check rail thickness: 1 5/8"
- Stile and top & bottom rail thickness: 1 1/4"
- Operating sash tilt in for easy cleaning. The top sash of reverse cottage windows can not be tilted in.
- Pine exterior parts are dipped in a water repellent preservative.

Interior and exterior finish:

- Bare wood interior white primed exterior standard
- Pre-finished exterior options. See your Green Mountain Window Representative for colors and availability.

Hardware:

- Standard sash lock and keeper: Truth cam lock in Bronze. Option finish: white.
- Upgraded sash lock and keeper: Colonial cam lock in Oil Rubbed Bronze, Nickel, Polished Chrome or Brass. Arts & Crafts pivot lock available in Brass only.
- Sash lift: Truth sash lift in Bronze. Option: finish to match lock choice.
- Balance system: block and tackle balance

Weatherstrip:

- Foam filled bulb on weatherstrip on top rail, bottom rail, and side jambs. Jamb weatherstrip is light beige.
- Leaf weatherstrip on head parting stop.

Jamb extension:

- Applied jamb extension available to match virtually any wall thickness
- Standard thickness: 21/32"

Insect Screens:

- Aluminum framed full screen with charcoal fiberglass mesh screening standard. Optional surround colors: Dark Bronze, Tan or Green. Optional mesh: charcoal aluminum, bright aluminum, or Gore Enlighten high visibility.
- Optional wood screen: full or half screens with charcoal fiberglass mesh screening. Species and finish to match window.
- Optional mesh: charcoal aluminum, bright aluminum, bright bronze, or Gore Enlighten high visibility.

Glass:

- Double strength glass sealed with Gray Duraseal warm edge spacer. Standard overall glass thickness on wood exterior units is 1/2" with wood exterior glazing bead. Optional 11/16" glass thickness with white vinyl exterior glazing bead.
- Glazing method: silicone wet seal interior and exterior
- Glazing types: single glass, insulating glass
- Option for black Duraseal warm edge spacer
- Standard insulating glass options include: (see NFRC ratings for performance comparison)
 - 1/2" regular insulating glass
 - 1/2" Low E with Argon gas fill
 - 1/2" Low E with Krypton gas fill
 - 11/16" regular insulating glass (white vinyl glazing bead on exterior)
 - 11/16" Low E with Argon (white vinyl glazing bead on exterior)
- Other glass options: tempered, laminated, obscure, mouth blown restoration (wavy), tinted, UL rated, any specified

Optional Divided Lites:

- Options include: 5/8" white flat airspace grille, 5/8" white profiled airspace grille, 7/8" removable stick grille (interior only), 7/8" removable full surround grille (interior only), 5/8" true divided lite (single glass only), 5/8" simulated divided lite (SDL) with or without spacer bar, 7/8" SDL with or without a spacer and 1 1/4" SDL with or without a spacer bar. Gray SDL spacer is standard with gray SDL tape. Optional black spacer and tape is used when black glass spacer option is chosen.
- See "section details: divided lites for muntin profiles" for standard cuts. Custom configurations are available

Green Mountain Window and Door Co.

NFRC Values						
Glazing Type and Thickness	U-Factor	CR-Value	SHGC	VT	R-Value	
Single Glass	.86	12	.63	.66	1.16	
Single Glass with TDL	.86	12	.57	.58	1.16	
Single Glass with TDL and Ext. EP	.47	44	.50	.53	2.13	
Single Glass with TDL and Ext. Low E EP	.40	32	.44	.49	2.50	
Single Glass with TDL and Int. EP	.46	45	.50	.53	2.17	
Single Glass with TDL and Int. Low E EP	.37	32	.44	.49	2.70	
Single Glass with TDL and Storm	.43	-	.50	.53	2.33	
Single Glass with TDL and Low E Storm	.32	-	.43	.49	3.13	
Single Glass with TDL and Laminated Storm	.42	-	.43	.52	2.38	
Single Glass with TDL, Ext. EP and Storm	.30	-	.45	.48	3.33	
Single Glass with TDL, Ext. EP and Low E Storm	.25	-	.39	.44	4.00	
Single Glass with TDL, Ext. Low E EP and Storm	.25	-	.40	.44	4.00	
Single Glass with TDL, Ext. Low E EP and Low E Storm	.21	-	.36	.41	4.76	
Single Glass with TDL, Int. EP and Storm	.30	-	.45	.48	3.33	
Single Glass with TDL, Int. EP and Low E Storm	.24	-	.39	.44	4.17	
Single Glass with TDL, Int. Low E EP and Storm	.25	-	.40	.44	4.00	
Single Glass with TDL, Int. Low E EP and Low E Storm	.21	-	.36	.41	4.76	
1/2" Glass Thickness						
1/2" Clear Insulated	.50	42	.56	.60	2.00	
1/2" Clear Insulated with SDL	.50	42	.50	.53	2.00	
1/2" Clear Insulated with SDL and Spacer	.52	40	.50	.53	1.92	
1/2" Low E / Argon	.35	52	.48	.55	2.70	
1/2" Low E / Argon with SDL	.35	52	.43	.49	2.70	
1/2" Low E / Argon with SDL and Spacer	.37	52	.43	.49	2.50	
1/2" Low E / Krypton	.28	57	.43	.49	3.13	
1/2" Low E / Krypton with SDL	.28	57	.43	.49	3.13	
1/2" Low E / Krypton with SDL and Spacer	.30	57	.43	.49	2.94	
1/2" Low E / Argon with Storm	.26	-	.45	.50	3.85	
1/2" Low E / Argon with SDL and Storm	.26	-	.40	.44	3.85	
1/2" Low E / Argon with SDL, Spacer and Storm	.27	-	.40	.44	3.70	
1/2" Low E / Krypton with Storm	.23	-	.44	.50	4.35	
1/2" Low E / Krypton with SDL and Storm	.23	-	.39	.44	4.35	
1/2" Low E / Krypton with SDL, Spacer and Storm	.24	-	.39	.44	4.17	

NFRC Values, cont'd						
Glazing Type and Thickness	U-Factor	CR-Value	SHGC	VT	R-Value	
1/2" Low E / Argon with Low E Storm	.22	-	.41	.46	4.55	
1/2" Low E / Argon with SDL and Low E Storm	.22	-	.36	.41	4.55	
1/2" Low E / Argon with SDL, Spacer and Low E Storm	.23	-	.36	.41	4.35	
1/2" Low E / Krypton with Low E Storm	.19	-	.40	.46	5.26	
1/2" Low E / Krypton with SDL and Low E Storm	.19	-	.36	.41	5.26	
1/2" Low E / Krypton with SDL, Spacer and Low E Storm	.20	-	.36	.41	5.00	
1/2" Low E / Argon with Low E Laminated Storm	.21	-	.36	.45	4.76	
1/2" Low E / Argon with SDL and Low E Laminated Storm	.21	-	.33	.40	4.76	
1/2" Low E / Argon with SDL, Spacer and Low E Laminated Storm	.22	-	.33	.40	4.55	
1/2" Low E / Krypton with Low E Laminated Storm	.19	-	.36	.45	5.26	
1/2" Low E / Krypton with SDL and Low E Laminated Storm	.19	-	.32	.40	5.26	
1/2" Low E / Krypton with SDL, Spacer and Low E Laminated Storm	.20	-	.32	.40	5.00	
11/16" Glass Thickness						
11/16" Insulated Glass	.46	43	.56	.60	2.17	
11/16" Insulated Glass with SDL	.46	43	.50	.53	2.17	
11/16" Insulated Glass with SDL and Spacer	.46	43	.50	.53	2.17	
11/16" Low E Glass with Argon	.32	55	.48	.55	3.13	
11/16" Low E Glass with Argon and SDL	.32	55	.43	.49	3.13	
11/16" Low E Glass with Argon, SDL and Spacer	.33	55	.43	.49	3.03	

= South

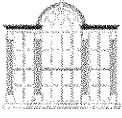
Design Pressure Values are based on a 44" x 60" window (per the industry test standard). Unit #1 is based on our standard interior sill stop. Unit #2 has an optional 3/4" tall sill stop. Many installers apply a 3/4" tall stool cap in the place of our standard sill stop. Overall Design Pressure:

Unit #1 – DP 35

Unit #2 – DP 40

Specific Test Results for ANSI/AAMA/NWDA/I.S.2:

		<u>Results:</u>	<u>Allowed:</u>
Air Infiltration – ASTM E283		.11 scfm/ft ²	.30 scfm/ft ²
Water Resistance – ASTM E547 Unit #1 5.25 psf		Pass	No Leakage
Water Resistance – ASTM E547 Unit #2 6.00 psf		Pass	No Leakage
Uniform Structural Load – ASTM E330 Unit #1 22.5 psf	Pos	.020 in	.164 in
“	Neg	.012 in	.164 in
Uniform Structural Load – ASTM E330 Unit #2 60 psf	Pos	.065 in	.164 in
“	Neg	.0005 in	.164 in
Forced Entry Resistance – ASTM F588 Grade 10		Pass	No Entry
Operating Force – ASTM E2068		17 / 17 lb/f	30 lb/f
Deglazing – ASTM E987		0%	<100%



Green Mountain Window and Door Co.

Egress and Clear Opening Information

Size	Clear Opening Width	Clear Opening Height	Square Foot Opening	Size	Clear Opening Width	Clear Opening Height	Square Foot Opening
16x12	17 7/8	11	1.37	28x26	29 7/8	25	5.19
16x14	17 7/8	13	1.61	28x28**	29 7/8	27 1/2	5.71
16x16	17 7/8	15	1.86	28x30*	29 7/8	29	6.02
16x18	17 7/8	17	2.11	28x32*	29 7/8	31	6.43
16x20	17 7/8	19	2.36	28x34*	29 7/8	33	6.85
16x22	17 7/8	21	2.61	28x36*	29 7/8	35	7.26
16x24	17 7/8	23	2.86	30x12	31 7/8	11	2.43
16x26	17 7/8	25	3.08	30x14	31 7/8	13	2.88
16x28	17 7/8	27	3.35	30x16	31 7/8	15	3.32
16x30	17 7/8	29	3.60	30x18	31 7/8	17	3.76
16x32	17 7/8	31	3.85	30x20	31 7/8	19	4.21
16x34	17 7/8	33	4.10	30x22	31 7/8	21	4.65
16x36	17 7/8	35	4.34	30x24	31 7/8	23	5.09
20x12	21 7/8	11	1.67	30x26	31 7/8	25	5.53
20x14	21 7/8	13	1.98	30x28*	31 7/8	27	5.98
20x16	21 7/8	15	2.28	30x30*	31 7/8	29	6.42
20x18	21 7/8	17	2.58	30x32*	31 7/8	31	6.86
20x20	21 7/8	19	2.89	30x34*	31 7/8	33	7.30
20x22	21 7/8	21	3.19	30x36*	31 7/8	35	7.75
20x24	21 7/8	23	3.49	32x12	33 7/8	11	2.59
20x26	21 7/8	25	3.80	32x14	33 7/8	13	3.06
20x28	21 7/8	27	4.10	32x16	33 7/8	15	3.53
20x30	21 7/8	29	4.41	32x18	33 7/8	17	4.00
20x32	21 7/8	31	4.71	32x20	33 7/8	19	4.47
20x34	21 7/8	33	5.01	32x22	33 7/8	21	4.94
20x36	21 7/8	35	5.32	32x24	33 7/8	23	5.41
24x12	25 7/8	11	1.98	32x26*	33 7/8	25	5.88
24x14	25 7/8	13	2.32	32x28*	33 7/8	27	6.35
24x16	25 7/8	15	2.70	32x30*	33 7/8	29	6.82
24x18	25 7/8	17	3.05	32x34*	33 7/8	33	7.76
24x20	25 7/8	19	3.41	32x36*	33 7/8	35	8.20
24x22	25 7/8	21	3.77	36x12	37 7/8	11	2.89
24x24	25 7/8	23	4.13	36x14	37 7/8	13	3.42
24x26	25 7/8	25	4.49	36x16	37 7/8	15	3.95
24x28	25 7/8	27	4.85	36x18	37 7/8	17	4.47
24x30	25 7/8	29	5.21	36x20	37 7/8	19	5.00
24x32	25 7/8	31	5.57	36x22	37 7/8	21	5.52
24x34*	25 7/8	33	5.93	36x24*	37 7/8	23	6.05
24x36*	25 7/8	35	6.29	36x26*	37 7/8	25	6.58
26x12	27 7/8	11	2.13	36x28*	37 7/8	27	7.10
26x14	27 7/8	13	2.52	36x30*	37 7/8	29	7.63
26x16	27 7/8	15	2.90	36x32*	37 7/8	31	8.15
26x18	27 7/8	17	3.29	36x34*	37 7/8	33	8.68
26x20	27 7/8	19	3.68	36x36*	37 7/8	35	9.21
26x22	27 7/8	21	4.07	40x12	41 7/8	11	3.20
26x24	27 7/8	23	4.45	40x14	41 7/8	13	3.78
26x26	27 7/8	25	4.84	40x16	41 7/8	15	4.36
26x28	27 7/8	27	5.23	40x18	41 7/8	17	4.94
26x30	27 7/8	29	5.61	40x20	41 7/8	19	5.53
26x32*	27 7/8	31	6.00	40x22	41 7/8	21	6.11
26x34*	27 7/8	33	6.39	40x24*	41 7/8	23	6.69
26x36*	27 7/8	35	6.78	40x26*	41 7/8	25	7.27
28x12	29 7/8	11	2.28	40x28*	41 7/8	27	7.85
28x14	29 7/8	13	2.70	40x30*	41 7/8	29	8.43
28x16	29 7/8	15	3.11	40x32*	41 7/8	31	9.01
28x18	29 7/8	17	3.53	40x34*	41 7/8	33	9.60
28x20	29 7/8	19	3.94	40x36*	41 7/8	35	10.18
28x22	29 7/8	21	4.36				
28x24	29 7/8	23	4.77				

*These units meet national egress codes for fire evacuation. Local codes may vary.

** The 28x28 can be ordered to meet 5.7 sp. Ft. by specifying 28x28E.

Note on optional locks: some optional locks or aftermarket locks will keep bottom sash from rising all the way up. This will decrease the amount of clear opening. Please contact you Green Mountain Window Representative for details.



Green Mountain Window and Door Co.

Measurement Conversions

“Size” used for conversion purposes is the unit name.

Example: 32x24 double hung has a “size” of 32 wide and 24 high.

Double Hung:

	<u>Width</u>	<u>Height</u>
For Daylight Opening:	“Size” – 1/2”	“Size” – 1/2”
For Sash Opening:	“Size” + 4”	“Size” x 2 + 6”
For Frame Size:	“Size” + 5 5/16”	“Size” x 2 + 8 7/8”
For Rough Opening:	“Size” + 6 5/16”	“Size” x 2 + 9 3/8”

Rough Openings of Mullered Units:

Double Wide Unit:	(Single RO x2) -1”	No Conversion Necessary
Triple Wide Unit:	(Single RO x3) -2”	No Conversion Necessary
Four Wide Unit:	(Single RO x4) -3”	No Conversion Necessary

Picture Windows:

	<u>Width</u>	<u>Height</u>
For Daylight Opening:	“Size” – 5/8”	“Size” – 5/8”
For Sash Opening:	“Size” + 4”	“Size” + 5”
For Frame Size:	“Size” + 5 5/16”	“Size” + 7 7/8”
For Rough Opening:	“Size” + 6 5/16”	“Size” + 8 3/8”

Rough Openings of Mullered Units:

Double Wide Unit:	(Single RO x2) -1”	No Conversion Necessary
Triple Wide Unit:	(Single RO x3) -2”	No Conversion Necessary
Four Wide Unit:	(Single RO x4) -3”	No Conversion Necessary

Double Hung Transoms:

	<u>Width</u>	<u>Height</u>
For Daylight Opening:	“Size” – 1/2”	“Size” + 1/8”
For Sash Opening:	“Size” + 4”	“Size” + 4 3/8”
For Frame Size:	“Size” + 5 5/16”	“Size” + 7”
For Rough Opening:	“Size” + 6 5/16”	“Size” + 7 1/2”

Note: If transom is to be directly mullered above a double hung add the frame height of the transom to the rough opening height of the double hung for overall rough opening.

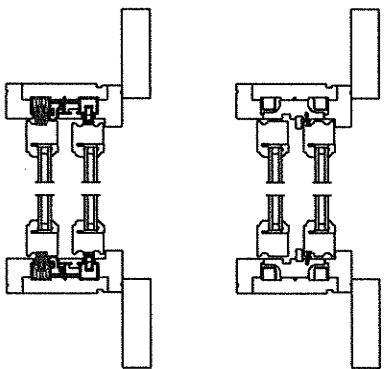
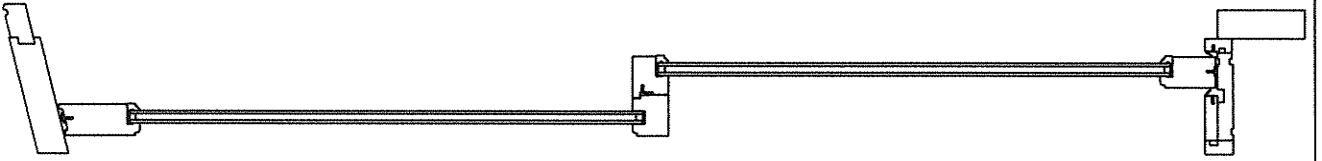
Rough Openings of Mullered Units:

Double Wide Unit:	(Single RO x2) -1”	No Conversion Necessary
Triple Wide Unit:	(Single RO x3) -2”	No Conversion Necessary
Four Wide Unit:	(Single RO x4) -3”	No Conversion Necessary

Glass Size Sash Opening Frame Rough Opening	16" 1' 0-1/4" 1' 10-1/4"	20" 1' 4" 2' 2-1/4"	24" 1' 8" 2' 6-1/4"	26" 1' 9-1/4" 2' 8-1/4"	28" 1' 11-1/4" 2' 10-1/4"	30" 1' 12-1/4" 3' 0-1/4"	32" 1' 14" 3' 2-3/4"	36" 1' 18-1/4" 3' 6-1/4"	40" 1' 22-1/4" 3' 10-1/4"	Glass Size Sash Opening Frame Rough Opening	36" 3' 0-1/4" 3' 6-1/4"	48" 3' 6-1/4" 4' 6-1/4"	56" 3' 11-1/4" 5' 2-1/4"
MDH 1612	MDH 2012	MDH 2412	MDH 2612	MDH 2812	MDH 3012	MDH 3212	MDH 3612	MDH 4012	DHPW 3625	DHPW 4825	DHPW 5625		
MDH 1614	MDH 2014	MDH 2414	MDH 2614	MDH 2814	MDH 3014	MDH 3214	MDH 3614	MDH 4014	DHPW 3629	DHPW 4829	DHPW 5629		
MDH 1616	MDH 2016	MDH 2416	MDH 2616	MDH 2816	MDH 3016	MDH 3216	MDH 3616	MDH 4016	DHPW 3633	DHPW 4833	DHPW 5633		
MDH 1618	MDH 2018	MDH 2418	MDH 2618	MDH 2818	MDH 3018	MDH 3218	MDH 3618	MDH 4018	DHPW 3637	DHPW 4837	DHPW 5637		
MDH 1620	MDH 2020	MDH 2420	MDH 2620	MDH 2820	MDH 3020	MDH 3220	MDH 3620	MDH 4020	DHPW 3641	DHPW 4841	DHPW 5641		
MDH 1622	MDH 2022	MDH 2422	MDH 2622	MDH 2822	MDH 3022	MDH 3222	MDH 3622	MDH 4022	DHPW 3645	DHPW 4845	DHPW 5645		
MDH 1624	MDH 2024	MDH 2424	MDH 2624	MDH 2824	MDH 3024	MDH 3224	MDH 3624E	MDH 4024E	DHPW 3649	DHPW 4849	DHPW 5649		
MDH 1626	MDH 2026	MDH 2426	MDH 2626	MDH 2826	MDH 3026	MDH 3226E	MDH 3626E	MDH 4026E	DHPW 3653	DHPW 4853	DHPW 5653		
MDH 1628	MDH 2028	MDH 2428	MDH 2628	MDH 2828E	MDH 3028E	MDH 3228E	MDH 3628E	MDH 4028E	DHPW 3657	DHPW 4857	DHPW 5657		
MDH 1630	MDH 2030	MDH 2430	MDH 2630	MDH 2830E	MDH 3030E	MDH 3230E	MDH 3630E	MDH 4030E	DHPW 3661	DHPW 4861	DHPW 5661		
MDH 1632	MDH 2032	MDH 2432	MDH 2632E	MDH 2832E	MDH 3032E	MDH 3232E	MDH 3632E	MDH 4032E					
MDH 1634	MDH 2034	MDH 2434E	MDH 2634E	MDH 2834E	MDH 3034E	MDH 3234E	MDH 3634E	MDH 4034E					
MDH 1636	MDH 2036	MDH 2436E	MDH 2636E	MDH 2836E	MDH 3036E	MDH 3236E	MDH 3636E	MDH 4036E					

Rough Openings of Muller Units
 Double Wide: (Single RO x 2) -1"
 Triple Wide: (Single RO x 3) -2"
 Four Wide: (Single RO x 4) -3"

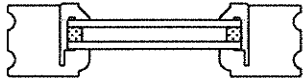
Glass Size Sash Opening Frame Rough Opening	16" 20" 1'-9-1/4"	20" 24" 2'-1/4"	24" 28" 2'-5-1/4"	26" 30" 2'-8-1/4"	28" 32" 2'-10-1/4"	30" 34" 2'-11-1/4"	32" 36" 3'-2-1/4"	36" 40" 3'-5-1/4"	40" 44" 3'-9-1/4"
12" 36" 2'-2-3/8"	MDH 1612	MDH 2012	MDH 2412	MDH 2612	MDH 2812	MDH 3012	MDH 3212	MDH 3612	MDH 4012
14" 34" 3'-1-3/8"	MDH 1614	MDH 2014	MDH 2414	MDH 2614	MDH 2814	MDH 3014	MDH 3214	MDH 3614	MDH 4014
16" 38" 3'-5-3/8"	MDH 1616	MDH 2016	MDH 2416	MDH 2616	MDH 2816	MDH 3016	MDH 3216	MDH 3616	MDH 4016
18" 42" 3'-9-3/8"	MDH 1618	MDH 2018	MDH 2418	MDH 2618	MDH 2818	MDH 3018	MDH 3218	MDH 3618	MDH 4018
20" 46" 4'-1-3/8"	MDH 1620	MDH 2020	MDH 2420	MDH 2620	MDH 2820	MDH 3020	MDH 3220	MDH 3620	MDH 4020
22" 50" 4'-5-3/8"	MDH 1622	MDH 2022	MDH 2422	MDH 2622	MDH 2822	MDH 3022	MDH 3222	MDH 3622	MDH 4022
24" 54" 4'-9-3/8"	MDH 1624	MDH 2024	MDH 2424	MDH 2624	MDH 2824	MDH 3024	MDH 3224	MDH 3624E	MDH 4024E
26" 58" 5'-1-3/8"	MDH 1626	MDH 2026	MDH 2426	MDH 2626	MDH 2826	MDH 3026	MDH 3226E	MDH 3626E	MDH 4026E
28" 62" 5'-5-3/8"	MDH 1628	MDH 2028	MDH 2428	MDH 2628	MDH 2828E	MDH 3028E	MDH 3228E	MDH 3628E	MDH 4028E
30" 66" 5'-9-3/8"	MDH 1630	MDH 2030	MDH 2430	MDH 2630	MDH 2830E	MDH 3030E	MDH 3230E	MDH 3630E	MDH 4030E
32" 70" 6'-1-3/8"	MDH 1632	MDH 2032	MDH 2432	MDH 2632E	MDH 2832E	MDH 3032E	MDH 3232E	MDH 3632E	MSH 4032E
34" 74" 6'-5-3/8"	MDH 1634	MDH 2034	MDH 2434E	MDH 2634E	MDH 2834E	MDH 3034E	MDH 3234E	MDH 3634E	MSH 4034E
36" 78" 6'-9-3/8"	MDH 1636	MDH 2036	MDH 2436E	MDH 2636E	MDH 2836E	MDH 3036E	MDH 3236E	MDH 3636E	MSH 4036E



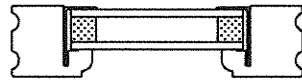
MDH Cross Sections

Green Mountain Window and Door Co.

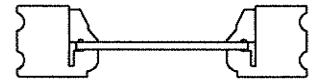
92 Park Street, Rutland, Vermont 05701



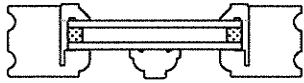
I.G., No Lites
Wood Bead



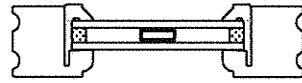
I.G., No Lites
Vinyl Bead



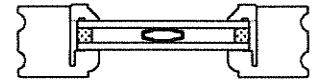
No Lites
Single Glass



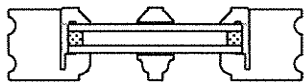
7/8" Grille



Flat Airspace



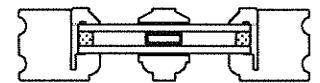
Profile Airspace



5/8" SDL



7/8" SDL



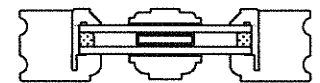
7/8" SDL
with Spacer Bar



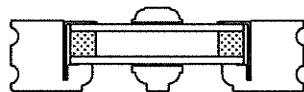
5/8" SDL
with Spacer Bar



1 1/4" SDL



1 1/4" SDL
with Spacer Bar



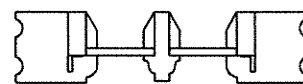
I.G., 7/8" SDL
Vinyl Bead



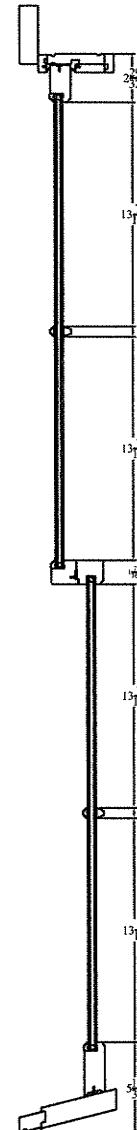
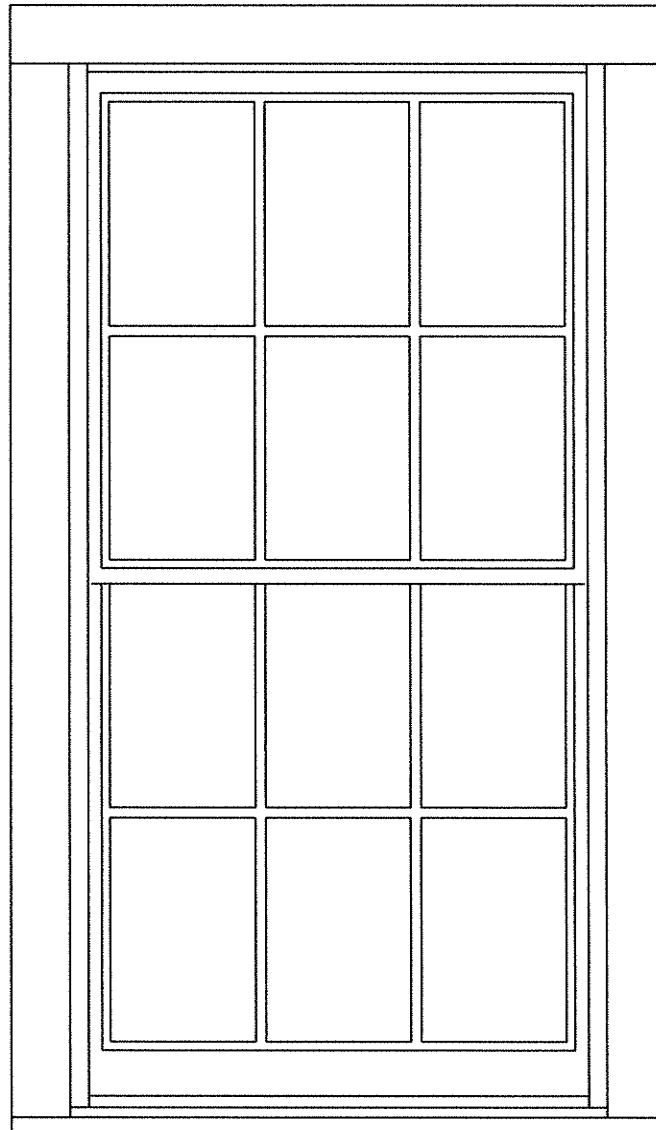
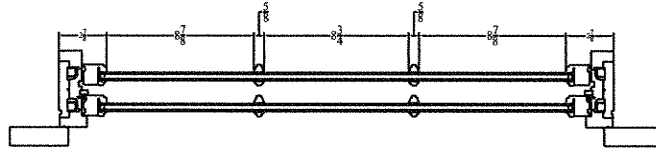
I.G., 7/8" SDL
with Spacer Bar
Vinyl Bead



5/8" TDL
Single Glass
Putty Glaze



5/8" TDL
Single Glass
Wood Bead



MDH 2828

Note: the example above only applies to a 28 x 28 with 7/8" muntins in a 6/6 pattern.
 For all other sizes and configurations: determine the overall daylight opening of each sash (without lites) with the formulas on 1.5. Then multiply the number of bars by the bar width and deduct that number from that overall daylight. Divide this number by the number of lites for daylight of each lite.

$$\frac{\text{Overall DLO} - (\text{sum of all bar widths})}{\text{Number of Lites}}$$

1.15

Touloukian Touloukian Inc.

Architecture + Urban Design

A 67 Batterymarch Street, Suite 200
Boston, Massachusetts 02110
T +1 617 526 0884

Prescott Park Portsmouth, NH

PHASE 1A IMPROVEMENTS

ARCHITECTURAL PROGRAMMING

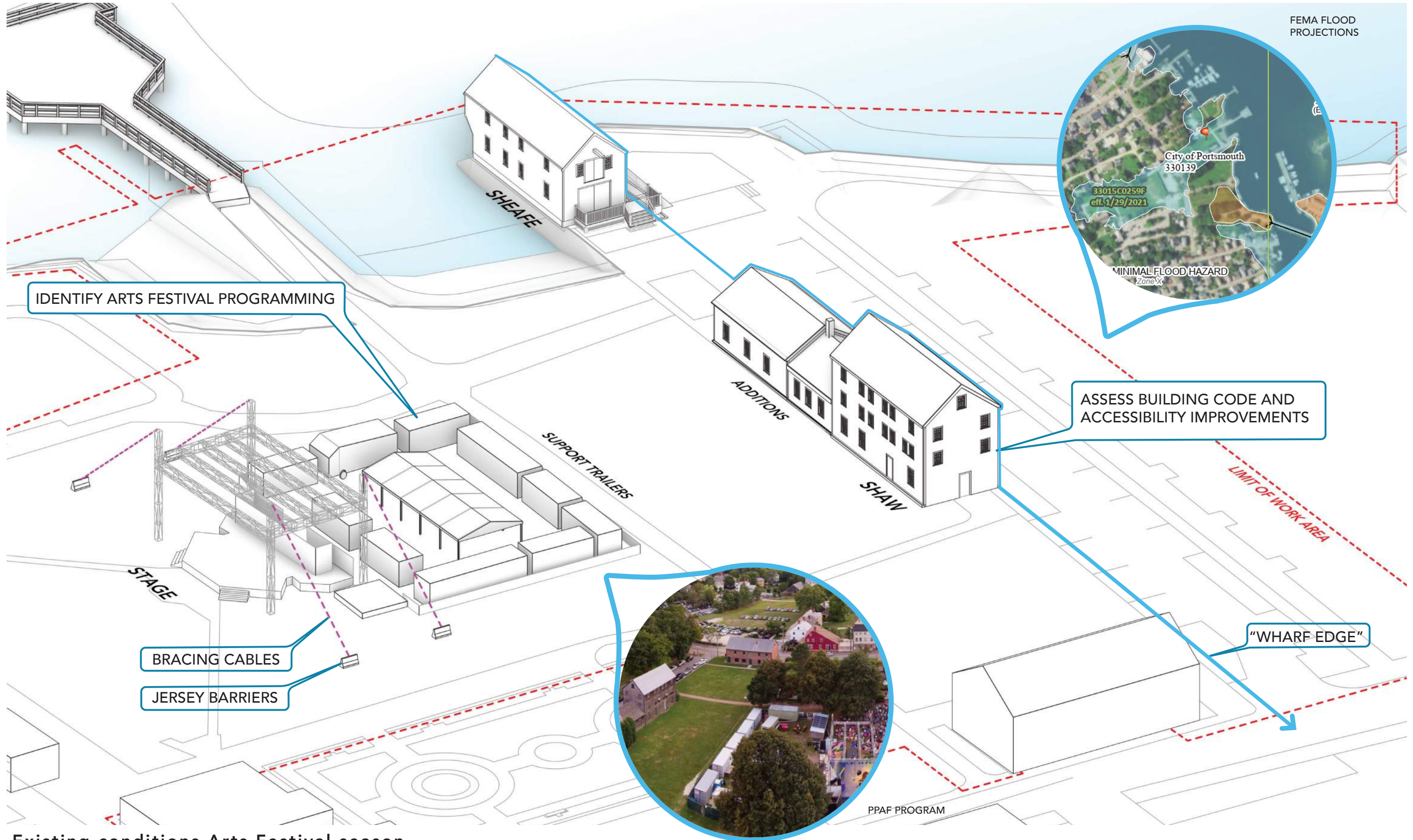
HDC WORKSESSION PRESENTATION

05 October 2022

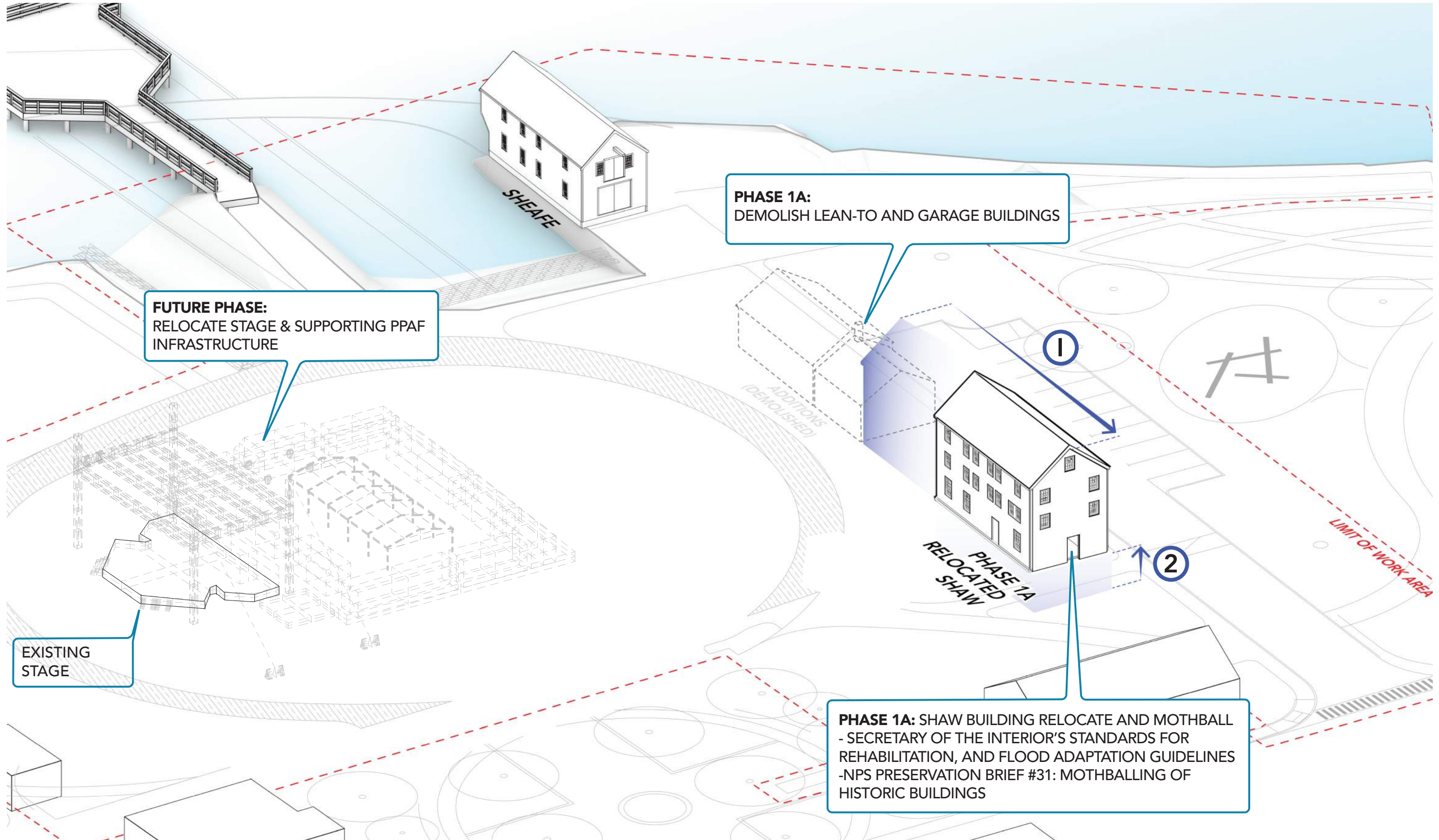
Shaw Building Phase 1A Goals

1. Demolish Lean-to and Garage
2. Relocate Shaw Building Based on Current Flood Zone Projections and Resiliency Projections & to Allow for a Future Addition and Stage
3. Full Exterior Renovation Due to Needed Structural Reinforcement Prior to Shaw Building Relocation

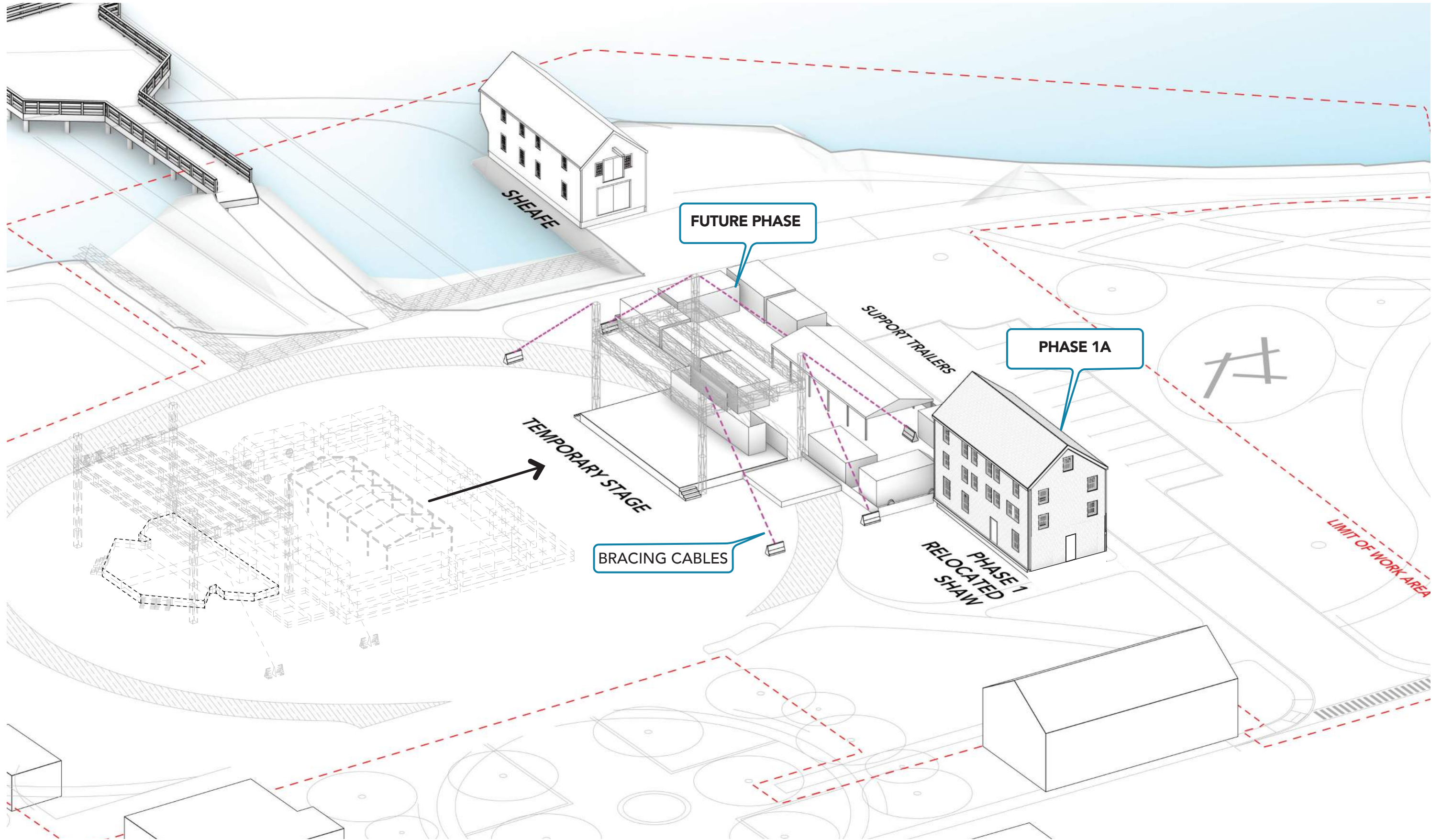




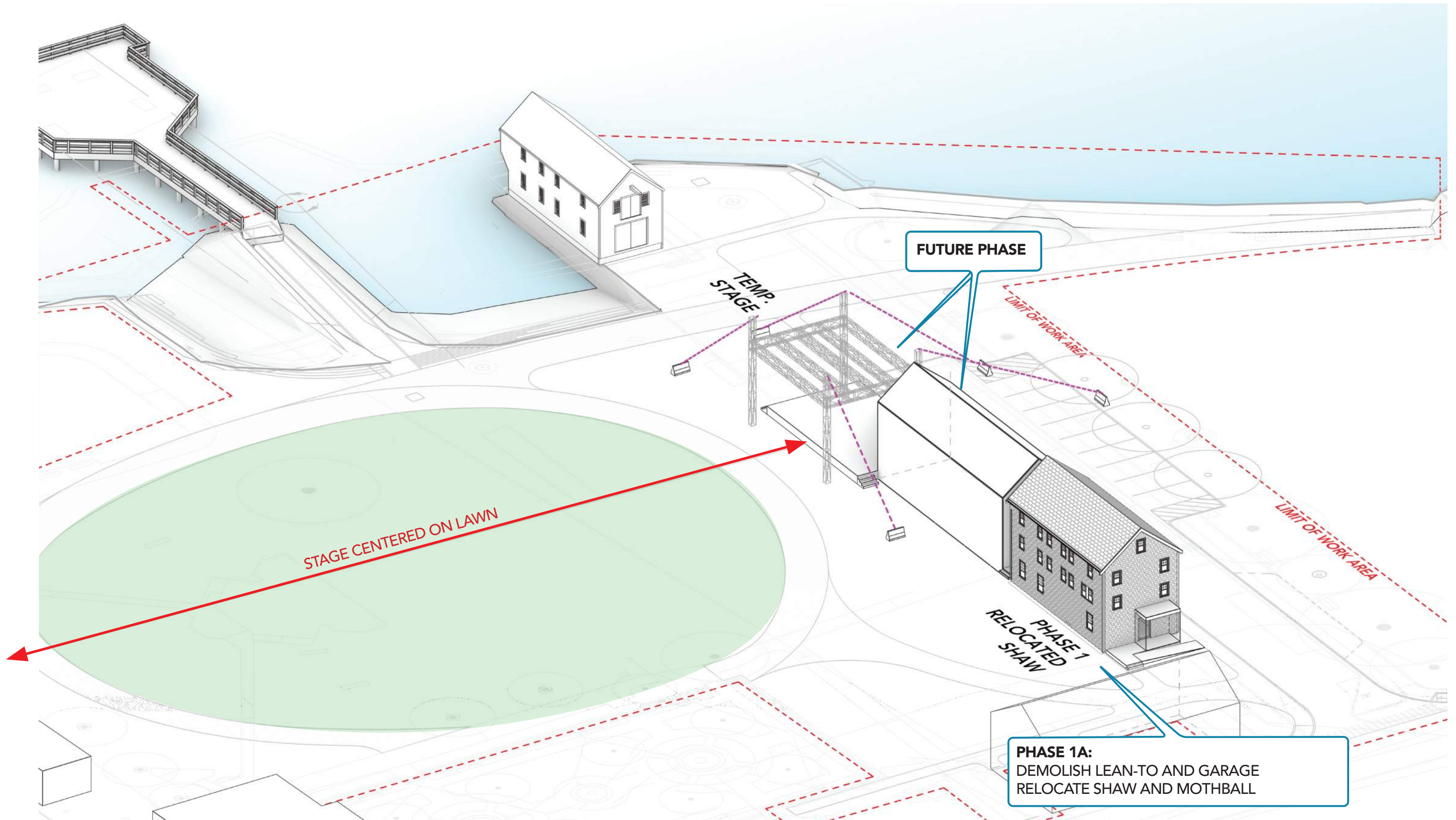
Existing conditions Arts Festival season



Phase 1 - Demo Garage and Lean-to. Relocate and raise Shaw Building



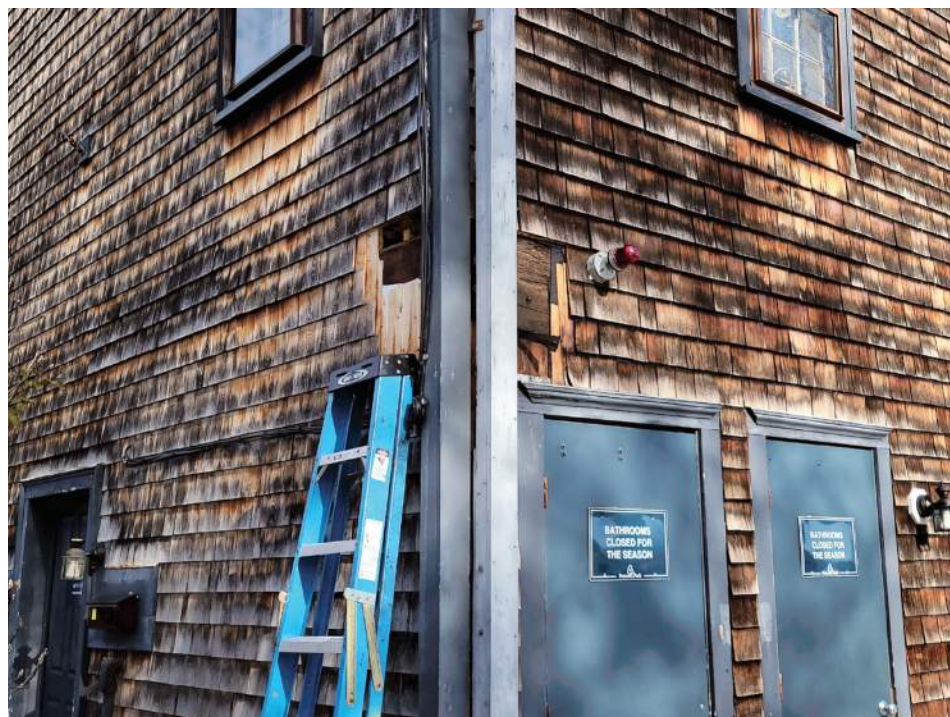
Phase 1: During Arts Festival



Overall Vision



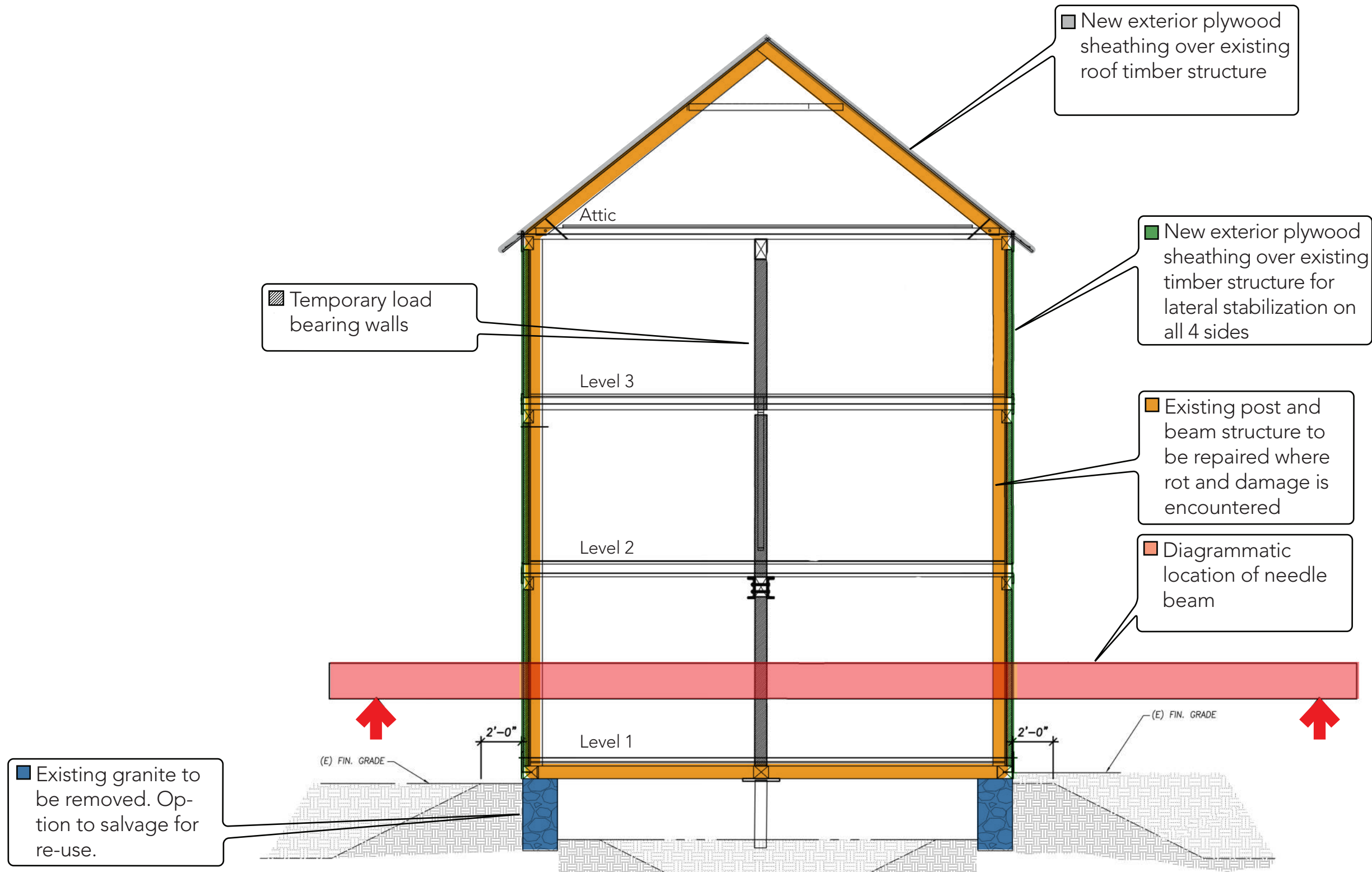




Preliminary structural repairs needed prior to building relocation



Preliminary structural repairs needed prior to building relocation



Shaw building section looking West

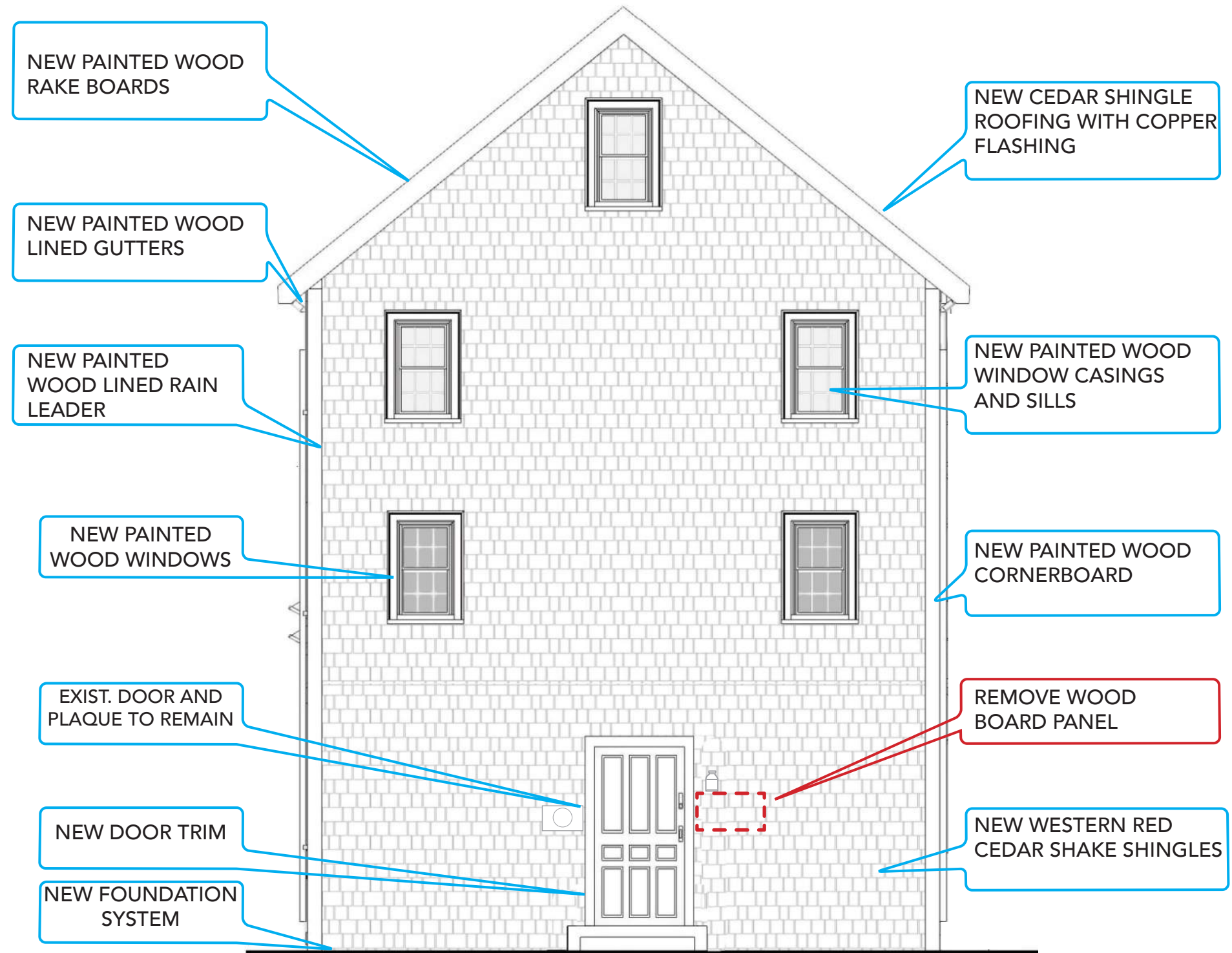
Shaw Building Renovation Goals

1. Exterior Renovation as per Design Guidelines and Standards
2. Interior Renovation as per Mothball Standards until future phases of work are commenced

Design Guidelines and Standards referenced

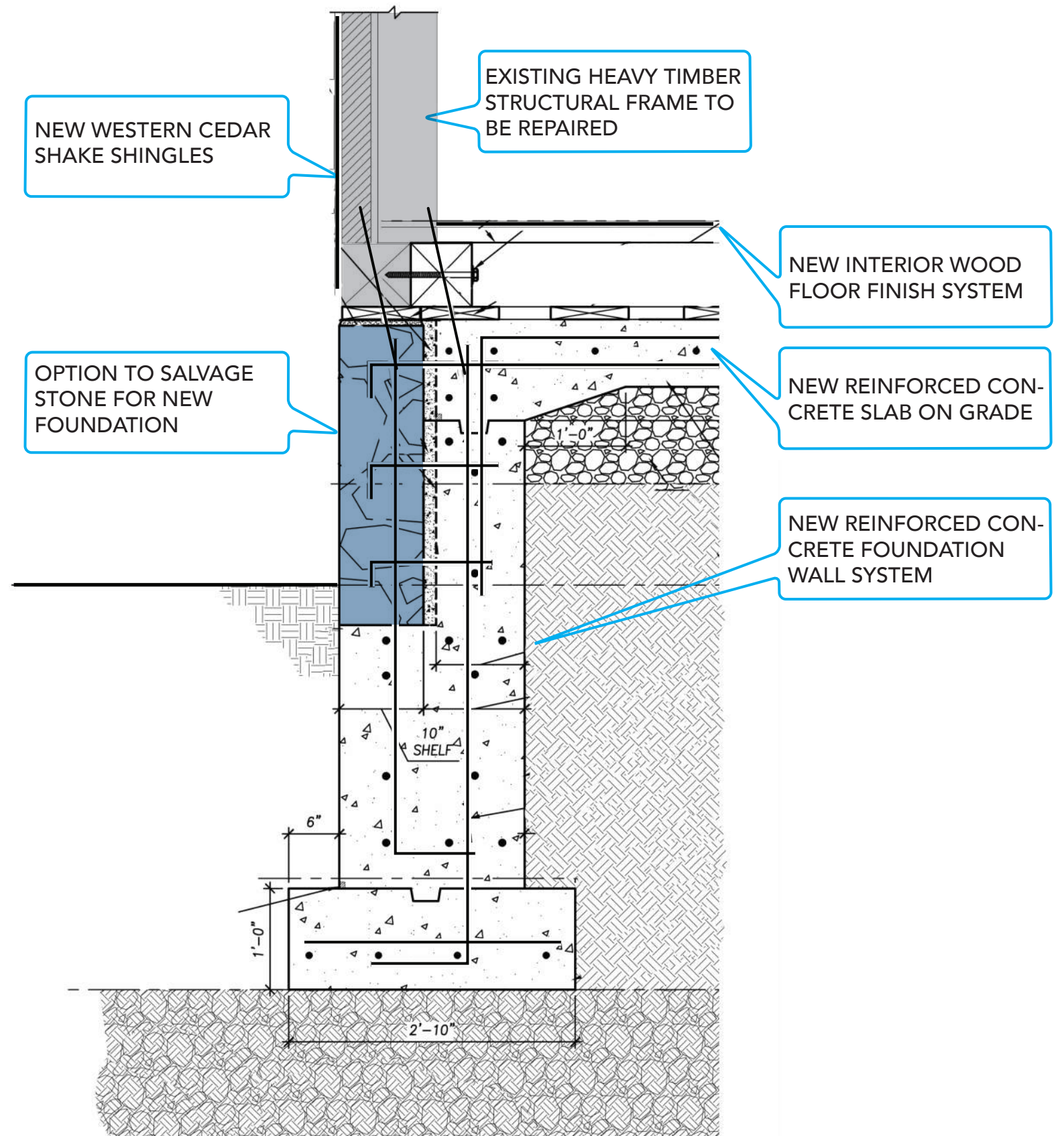
- City of Portsmouth Historic District Commission Design Review Guidelines
- US Department of the Interior Guidelines on Flood Adaption for Rehabilitating Historic Buildings
- US Department of the Interior Preservation Brief #31 Mothballing of Historic Buildings
- US Department of the Interior Standards for the Treatment of Historic Properties

Existing Elevation Overlays With Proposed Changes

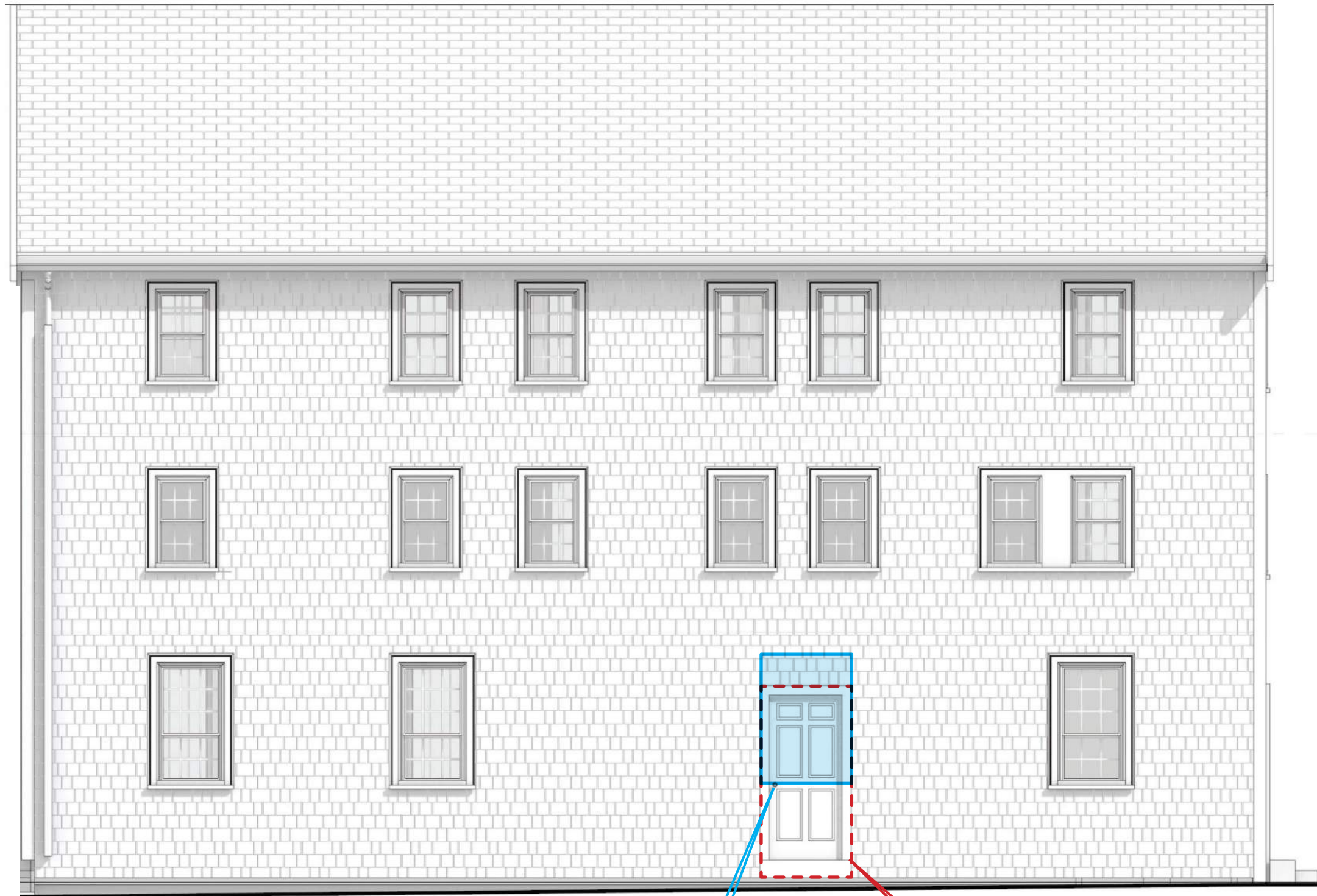


West Elevation - Entrance to building

Proposed Foundation Wall Design



Existing Elevation Overlays With Proposed Changes



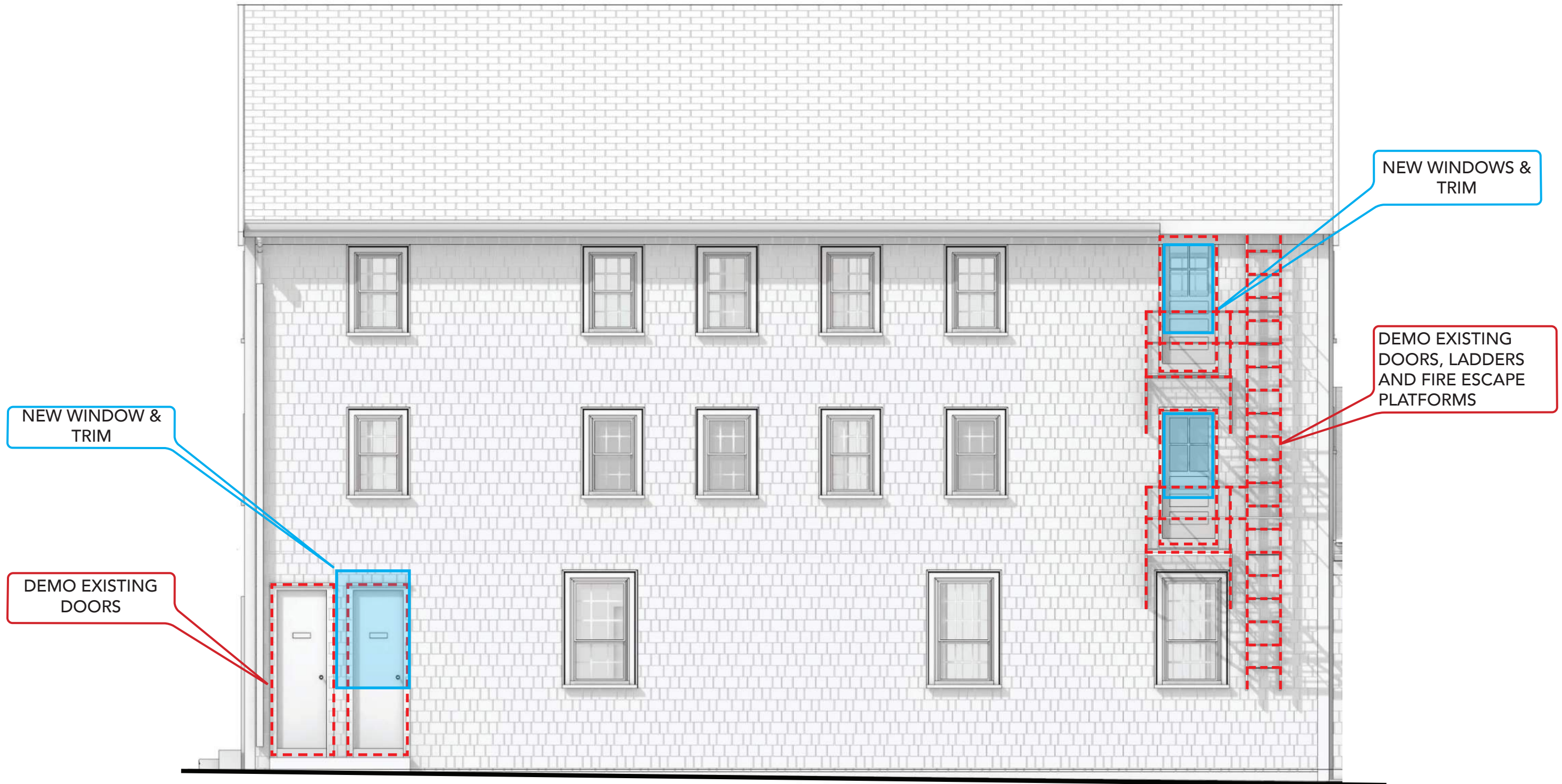
REMNANTS OF FLASHING VISIBLE
FROM PREVIOUS ERA



NEW WINDOW &
TRIM

DEMO EXISTING DOOR

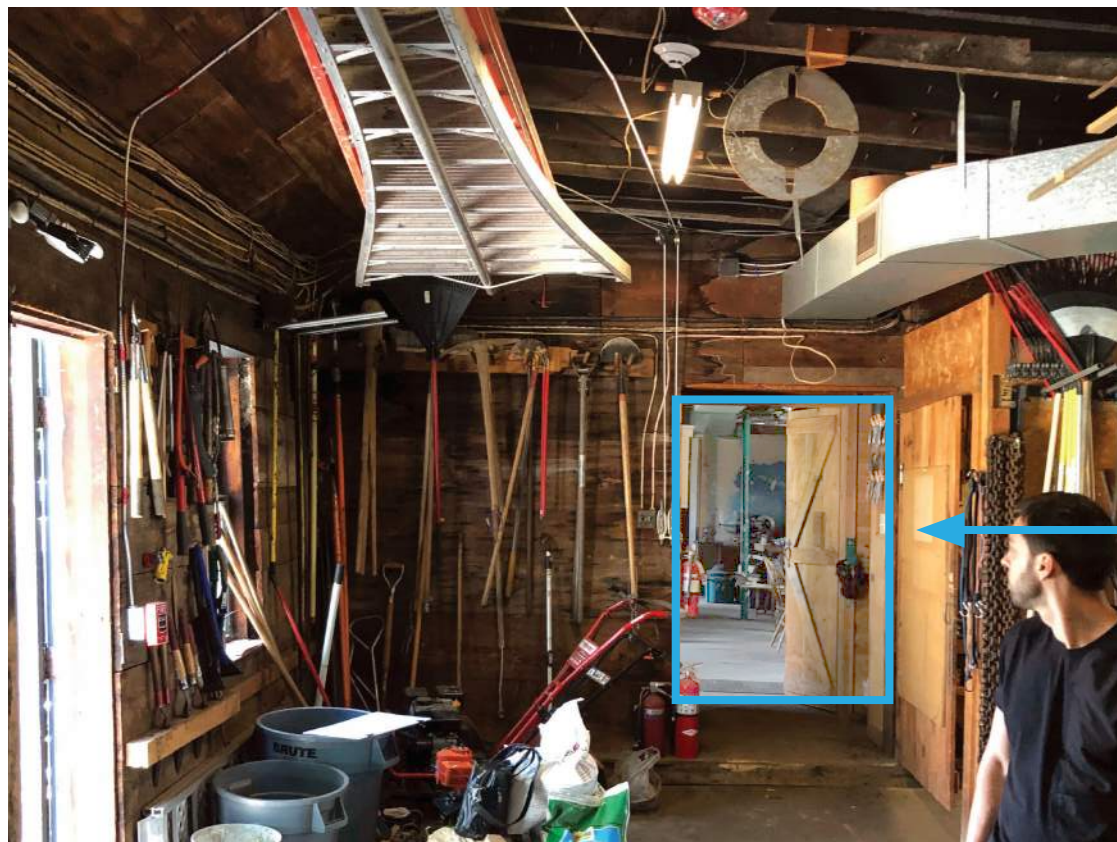
Existing Elevation Overlays With Proposed Changes



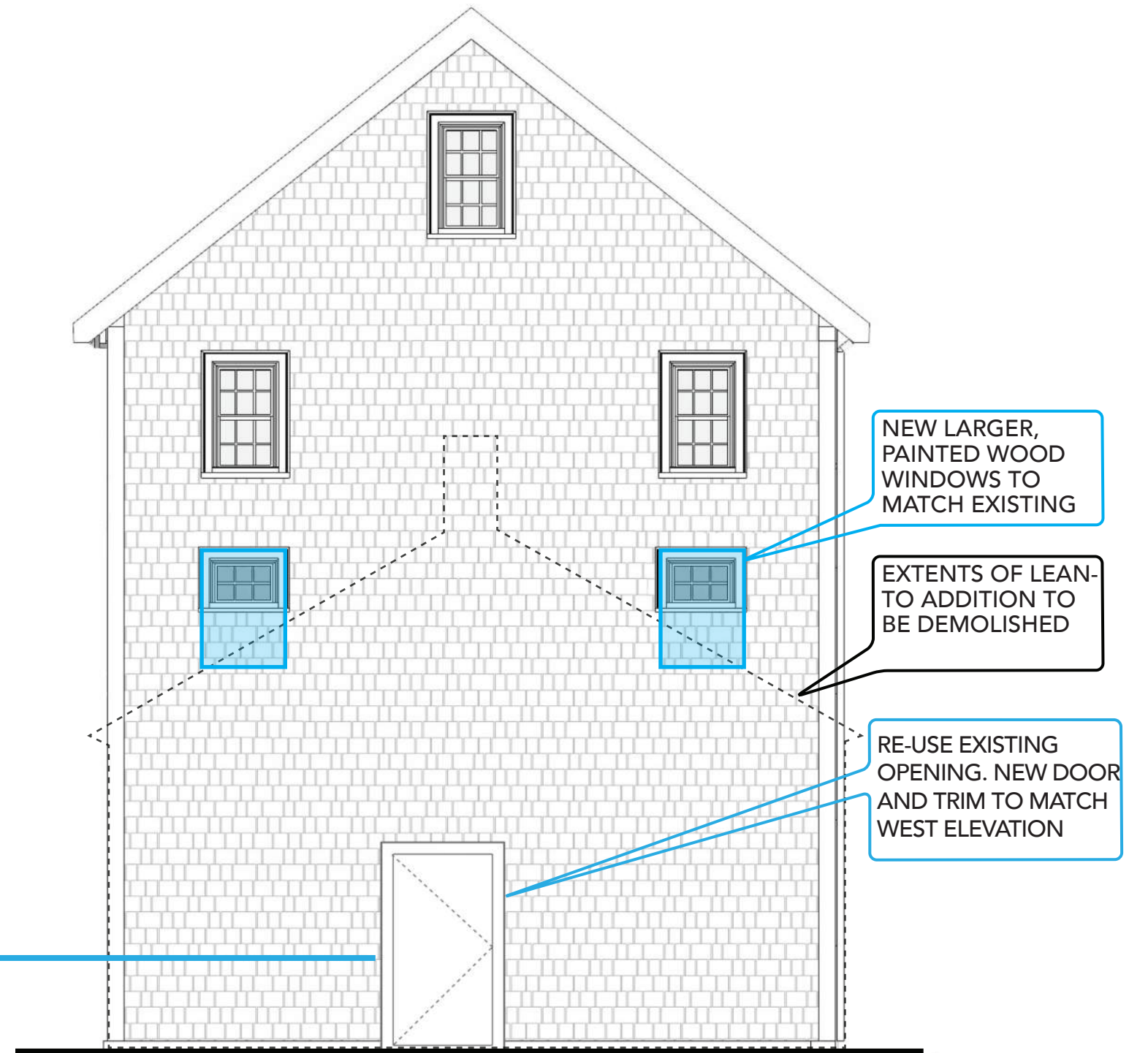
Existing Elevation Overlays With Proposed Changes

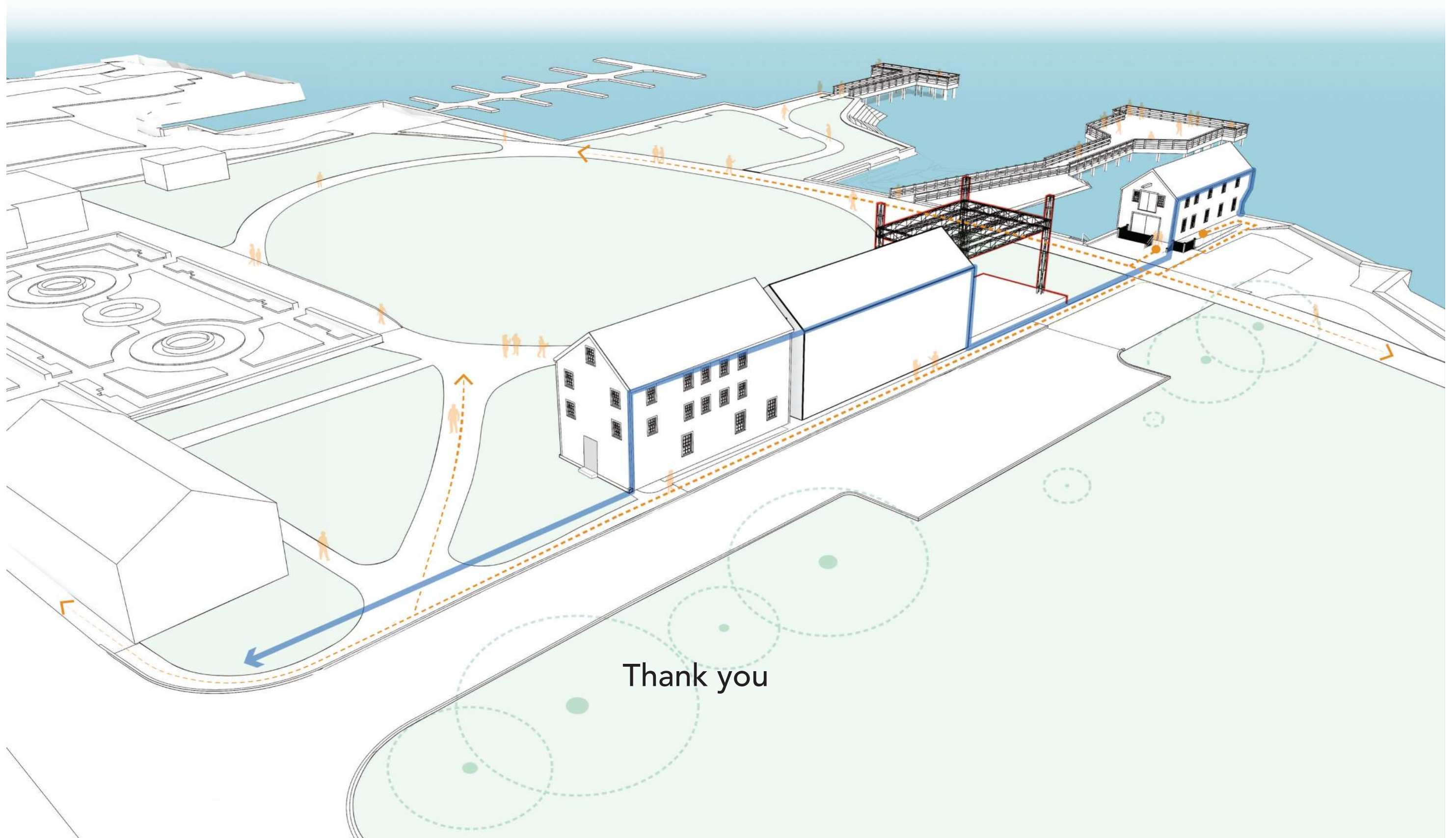


Shaw to Lean-to interface (exterior)



Shaw to Lean-to interface (interior)





Thank you



09/27/2022

LU-22-187

Land Use Application

Status: Active**Date Created:** Sep 15, 2022**Applicant**

Kelley Mumper
kelley@ospreybuildingcompany.com
263 Beech Rd
Eliot, ME 03903
978-621-4465

Primary Location

490 ISLINGTON ST Unit 2
Unit 2
Portsmouth, NH 03801

Owner:

MELLETT ALEXANDER JAMES & YATES SARAH AUDREY
490 ISLINGTON ST #2 PORTSMOUTH, NH 03801

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an **ADDITION** to an existing structure or a **NEW** structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a **NEW** structure on a parcel that is currently **VACANT**. If there are any existing structures on the property (even if you are planning to remove them), you should select **Addition and Renovation** above

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

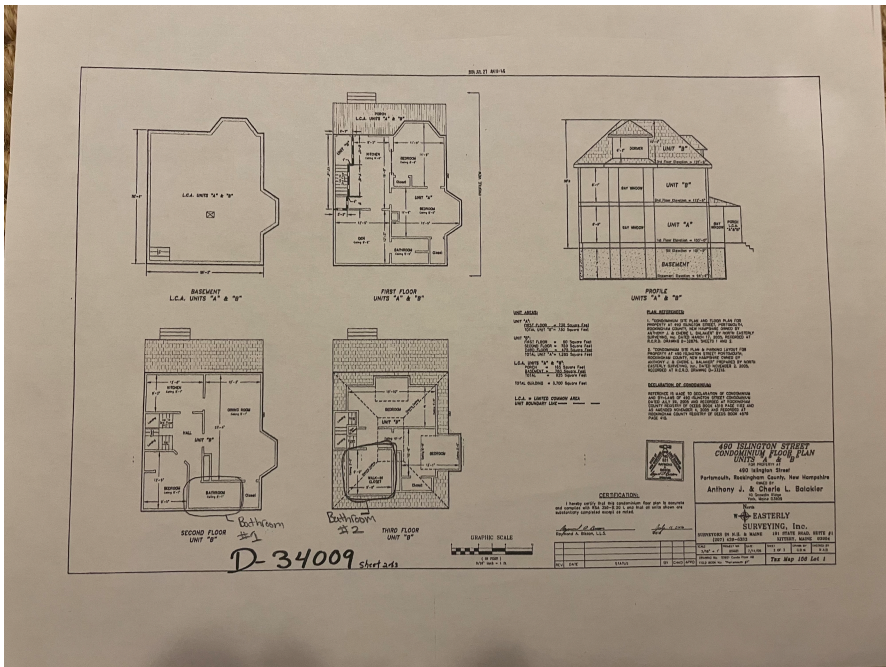
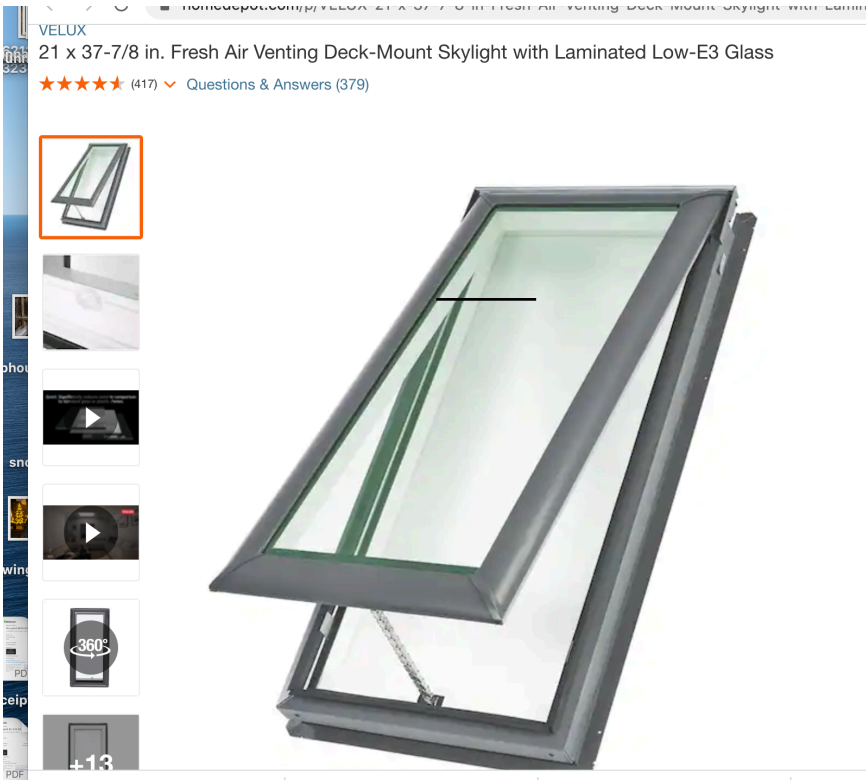
Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

Plans:

We plan to add a skylight to the upstairs bathroom on the 3rd story.

- Size : 21" x 37 7/8"
- Type: Vented Deck Mount Skylight
- We plan to add the skylight between existing roof rafters - no structural changes to existing framing
- Our skylight will go on the roofline facing the parking lot and not seen from street



Neighbor Examples:





09/27/2022

LU-22-192

Land Use Application

Status: Active**Date Created:** Sep 22, 2022**Applicant**

Danielle Cain
 dcain@marketsquarearchitects.com
 104 Congress St
 Suite 203
 Portsmouth, NH 03801
 603-501-0202

Primary Location

147 CONGRESS ST
 Portsmouth, NH 03801

Owner:

LUCKY THIRTEEN PROPERTIES LLC
 PO BOX 300 RYE, NH 03870-0300

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an **ADDITION** to an existing structure or a **NEW** structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a **NEW** structure on a parcel that is currently **VACANT**. If there are any existing structures on the property (even if you are planning to remove them), you should select **Addition and Renovation** above



Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



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Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval



Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

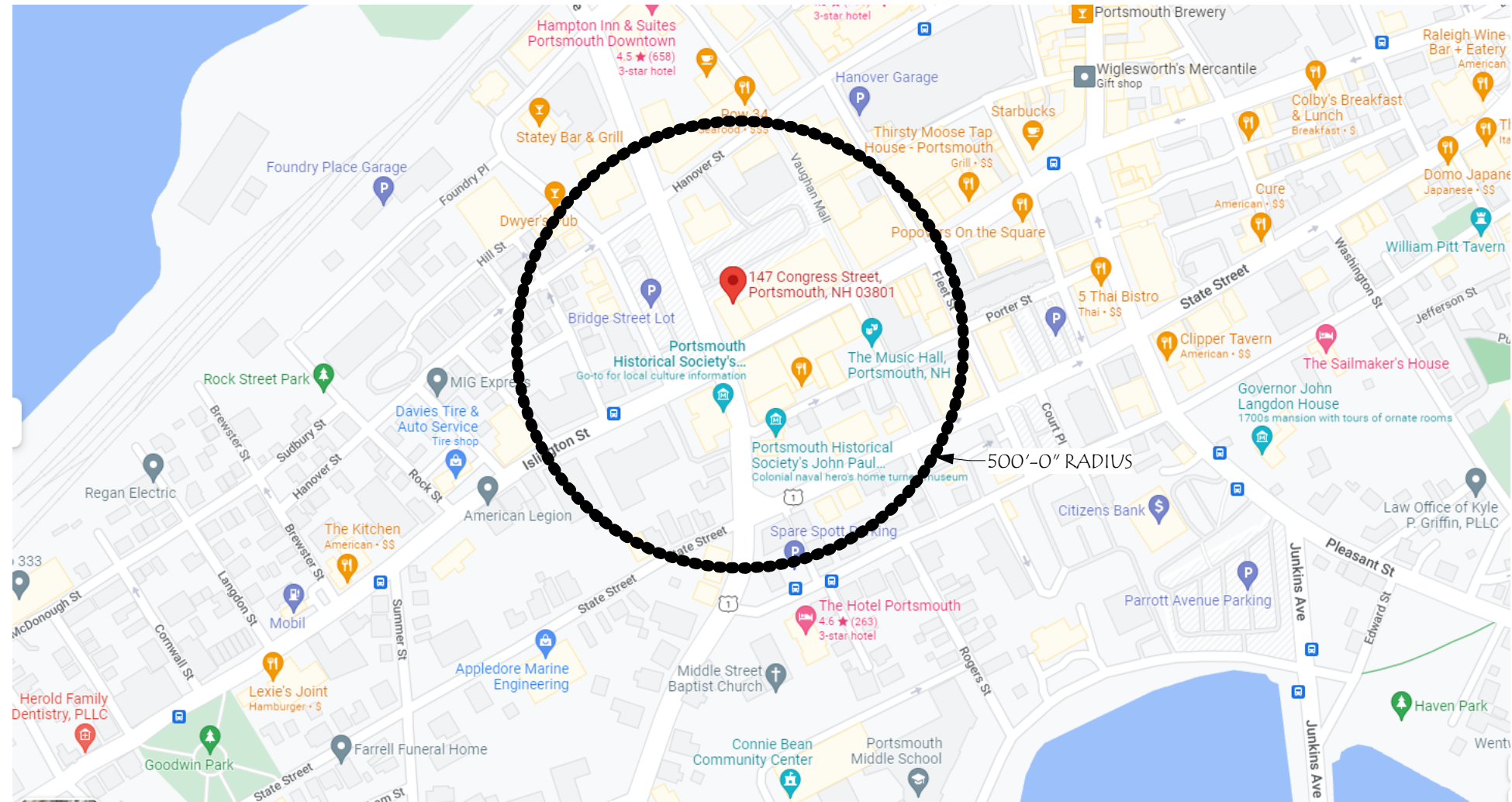


Request for Extension of Previously Granted Land Use Approval

147 CONGRESS STREET

GENERAL PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE ADDITION OF A NEW GROUND UP SINGLE STORY STRUCTURE TO AN EXISTING BUILDING



ZONING SUMMARY:

ZONING DISTRICT: HISTORIC DISTRICT CD5,
 DOWNTOWN OVERLAY DISTRICT
 LOT SIZE: ~6,282 SF
 MIN OPEN SPACE: 5%
 BUILDING HEIGHT: 2-3 STORIES, 40'-0" ALLOWED
 MIN GROUND STORY HEIGHT : 12'-0" MIN REQUIRED
 MIN GROUND STORY HEIGHT: ~11'-0" EXISTING
 REQUIRED FACADE TYPE: SHOPFRONT

147 CONGRESS

147 Congress St
 Portsmouth, NH 03801

Revisions #	Description	Date

SCALE:	SNH
DRAWN BY:	RJH
CHECKED BY:	202209
PROJECT NO.:	10/05/22
DATE:	9/22/2022 4:21:48 PM

TITLE: COVER SHEET	1
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147 CONGRESS
 147 Congress St
 Portsmouth, NH 03801

Revisions #	Description	Date

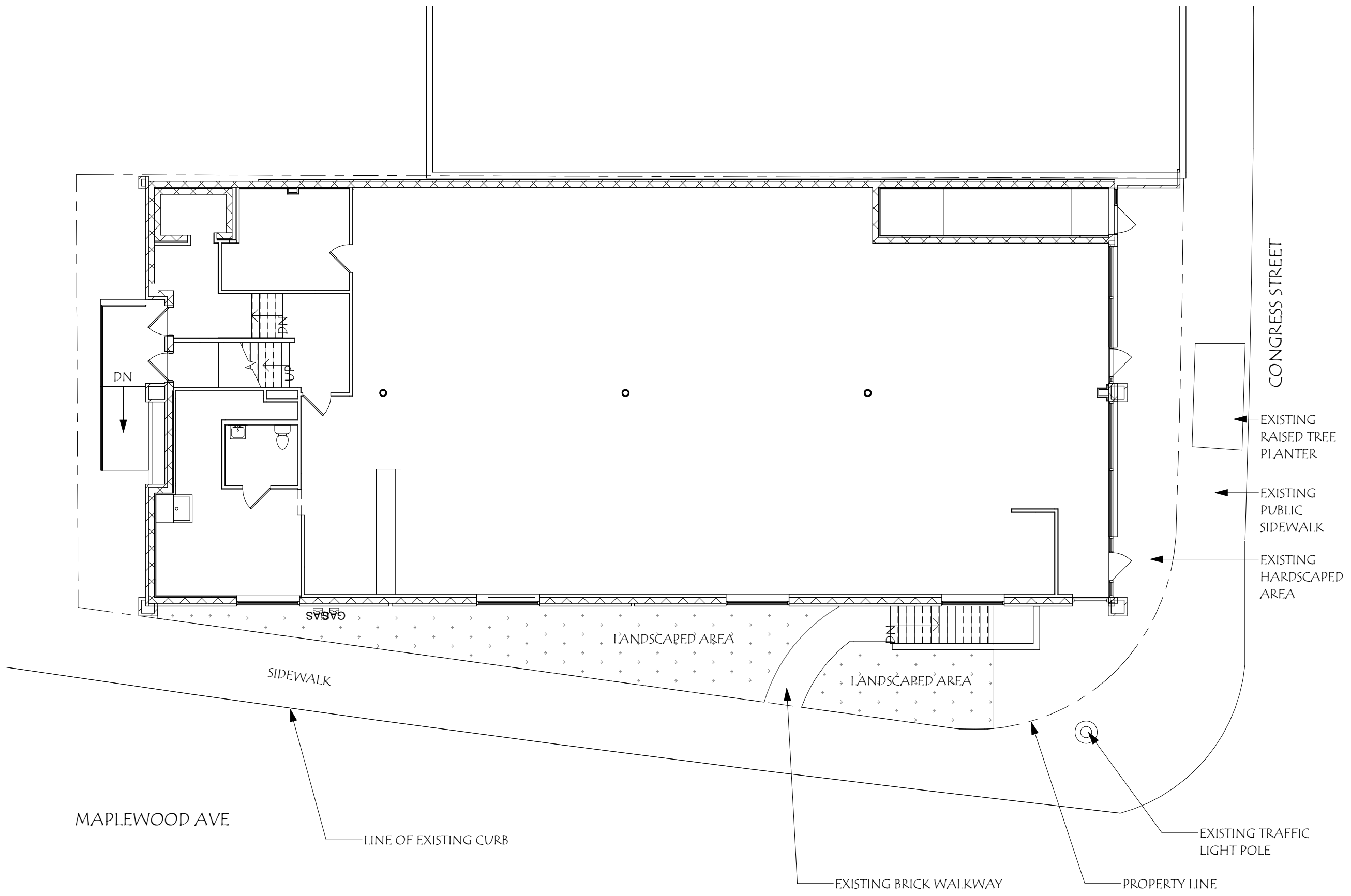
SCALE:	SNH
DRAWN BY:	RJH
CHECKED BY:	
PROJECT NO.:	202209
DATE:	10/05/22

TITLE:	EXISTING CONTEXT
	2

Revisions #	Description	Date

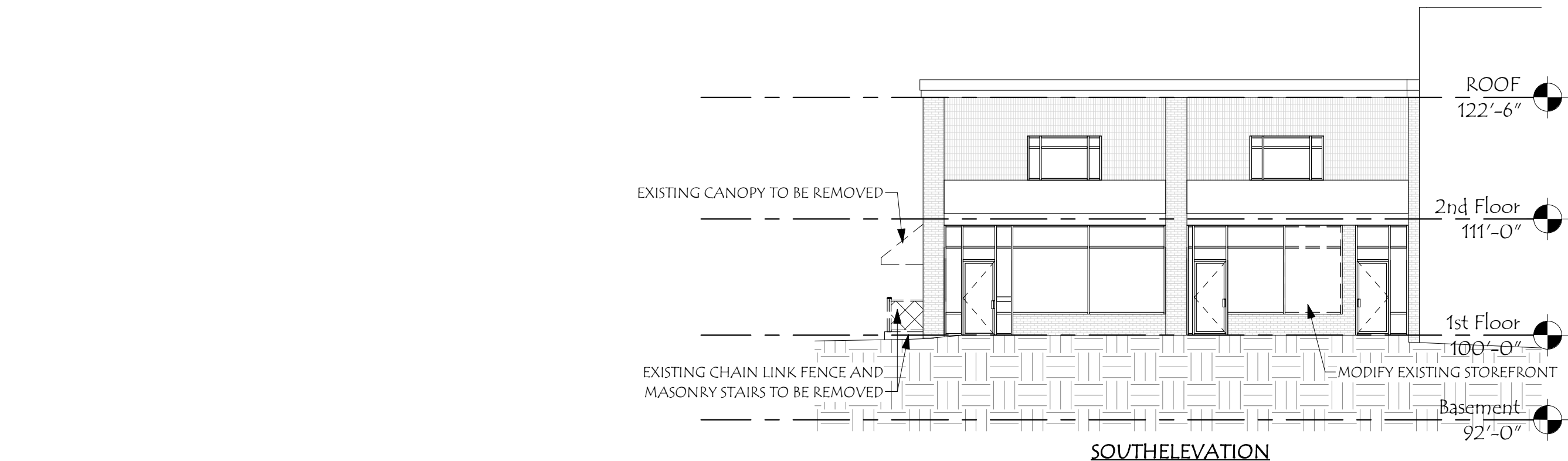
SCALE:	3/32" = 1'-0"
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	10/05/22

TITLE:	EXISTING PLAN
	3

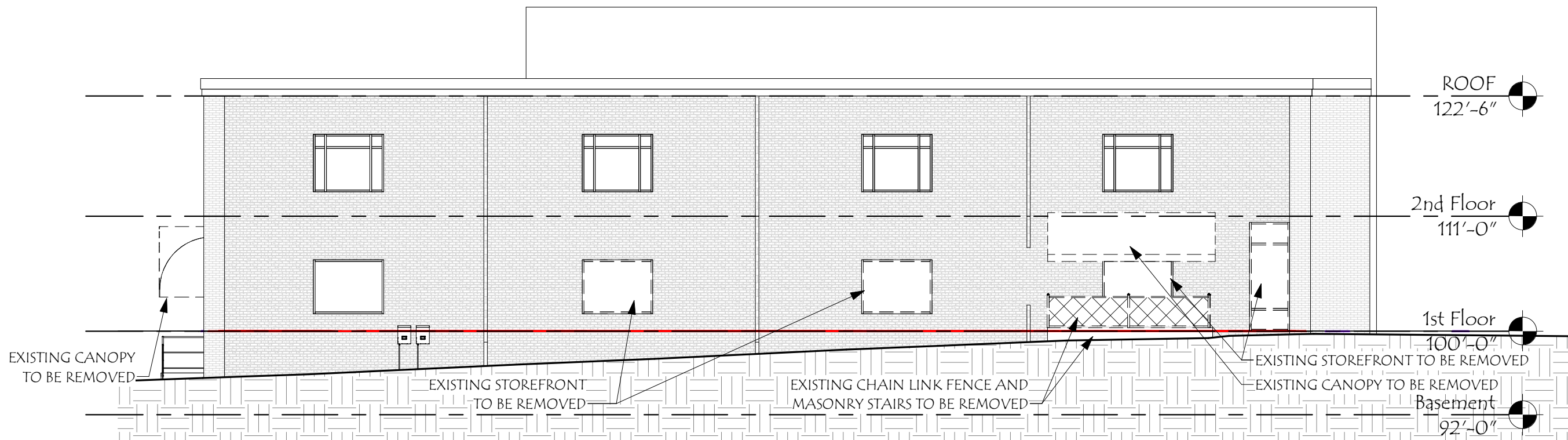


147 CONGRESS

147 Congress St
 Portsmouth, NH 03801



SOUTHELEVATION

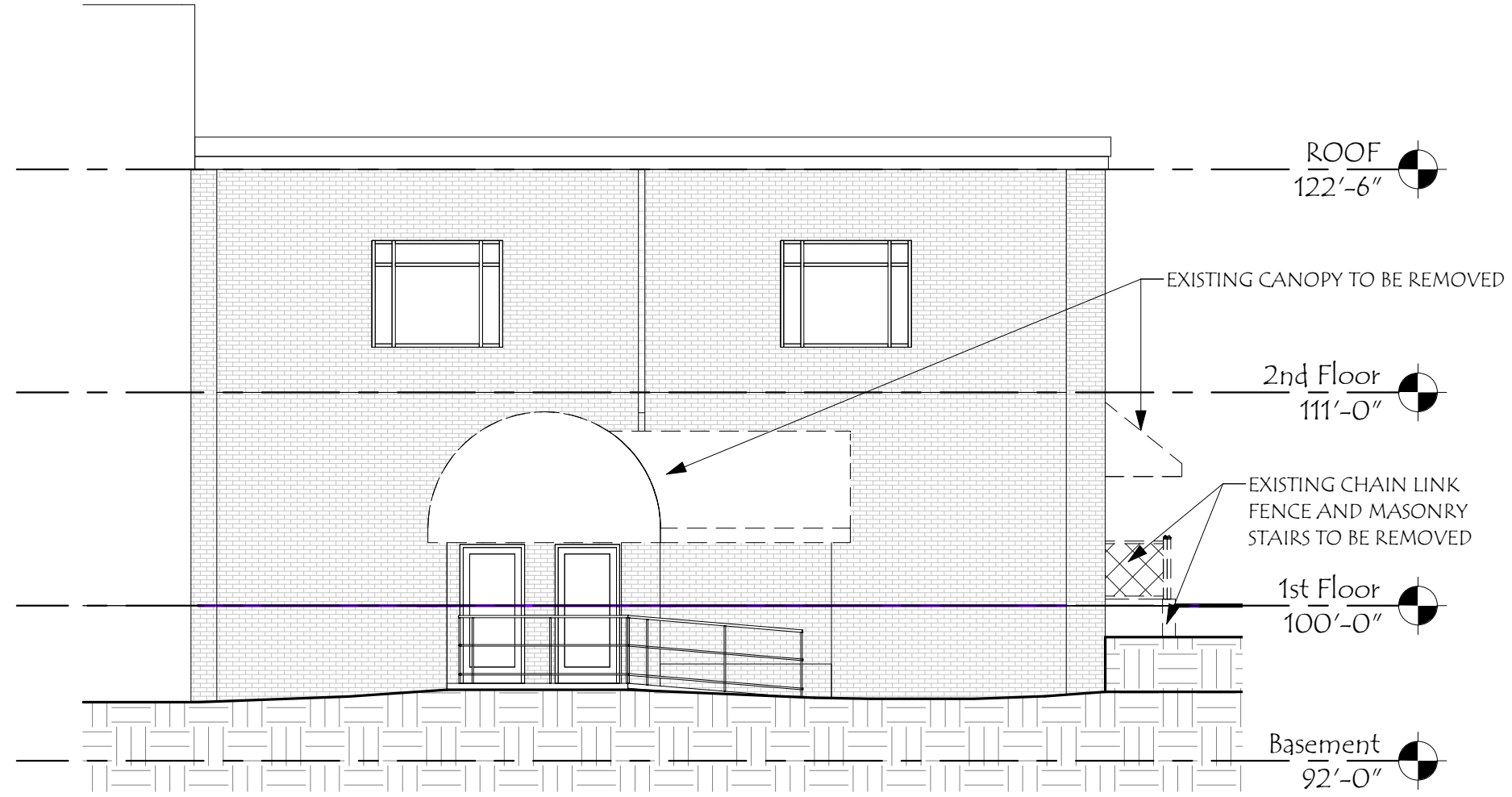


WEST ELEVATION

Revisions #	Description	Date

SCALE: 3/32" = 1'-0"	DRAWN BY: SNH	CHECKED BY: RJH	PROJECT NO.: 202209	DATE: 10/05/22
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TITLE: DEMO ELEVATIONS	4
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NORTH ELEVATION

Revisions #	Description	Date

SCALE:	1/8" = 1'-0"
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	10/05/22

TITLE:	DEMO ELEVATIONS
	5



147 CONGRESS ST

147 CONGRESS

147 Congress St
 Portsmouth, NH 03801

Revisions #	Description	Date

SCALE:	SNH
DRAWN BY:	RJH
CHECKED BY:	202209
PROJECT NO.:	10/05/22
DATE:	

TITLE:	PROPOSED CONTEXT
	6



147 CONGRESS ST

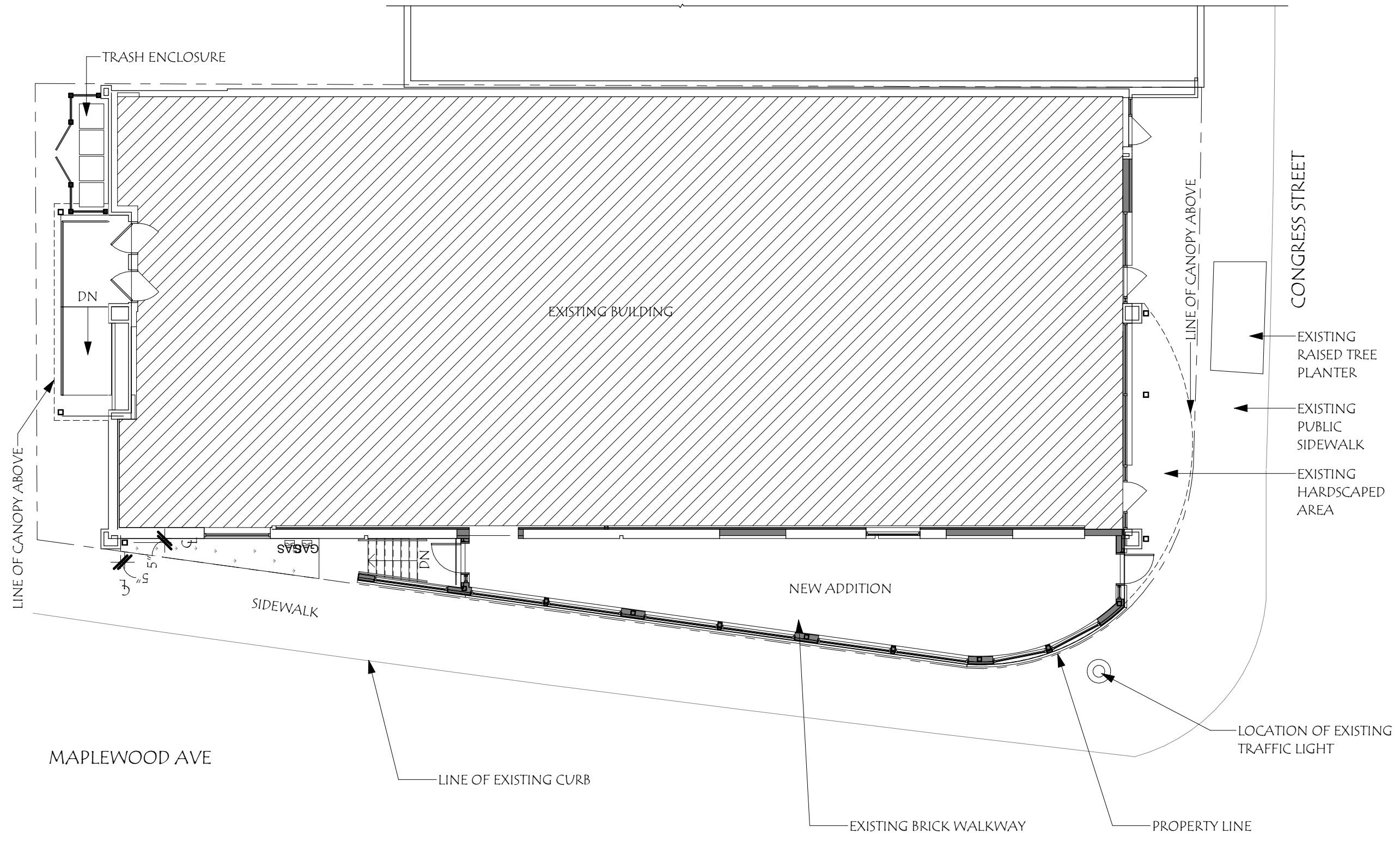
147 CONGRESS

147 Congress St
 Portsmouth, NH 03801

Revisions #	Description	Date

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DRAWN BY:	RJH
CHECKED BY:	202209
PROJECT NO.:	10/05/22
DATE:	

TITLE:	PROPOSED CONTEXT
	7

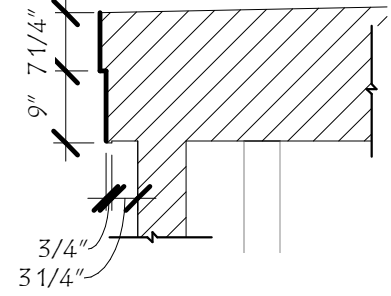


FLOOR PLAN

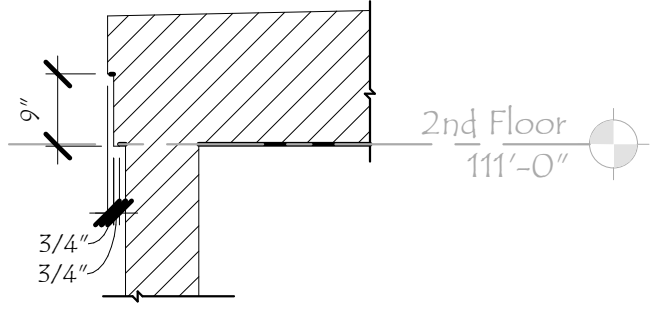
Revisions #	Description	Date

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DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	10/05/22

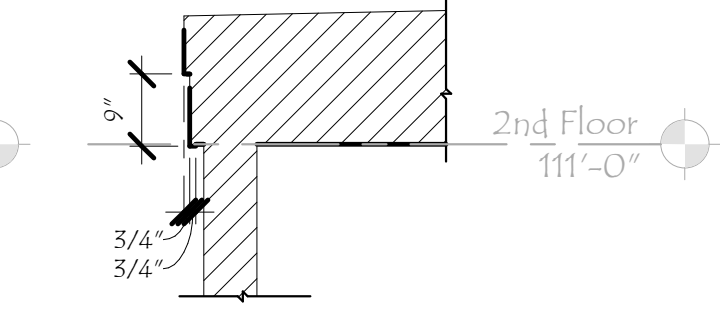
TITLE:	PROPOSED PLAN
	8



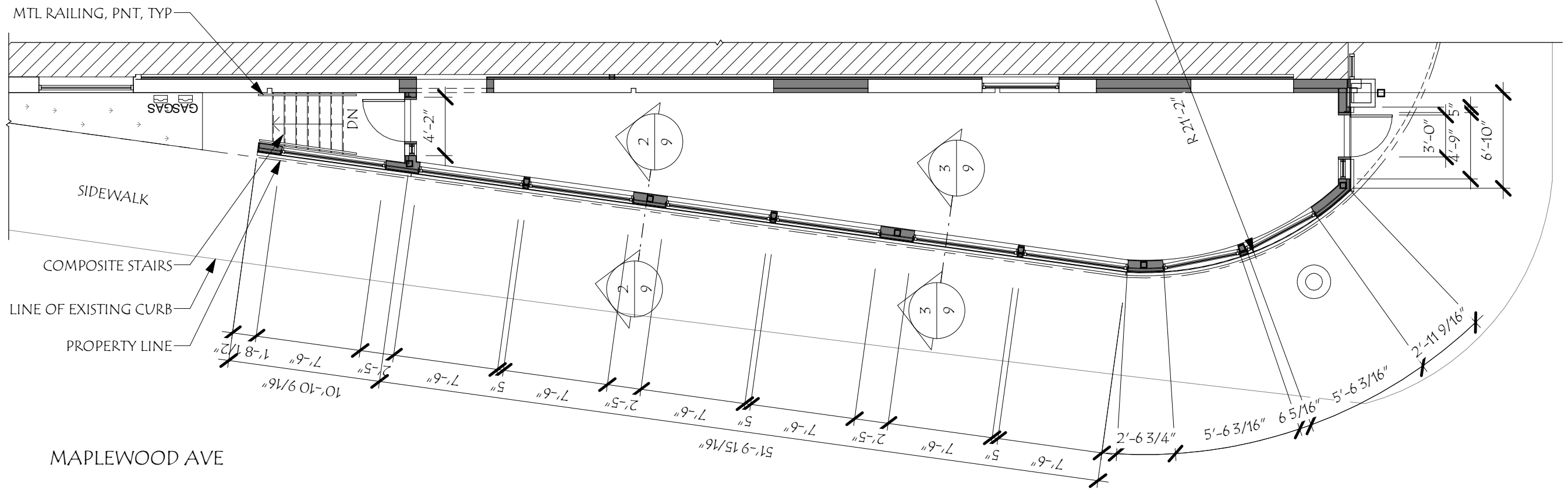
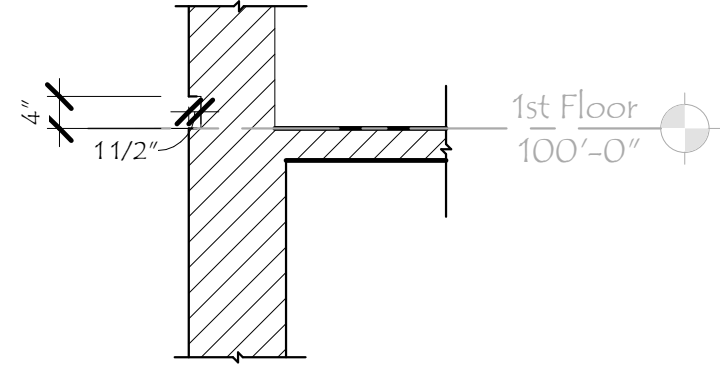
DETAIL 3



DETAIL 2



DETAIL 1

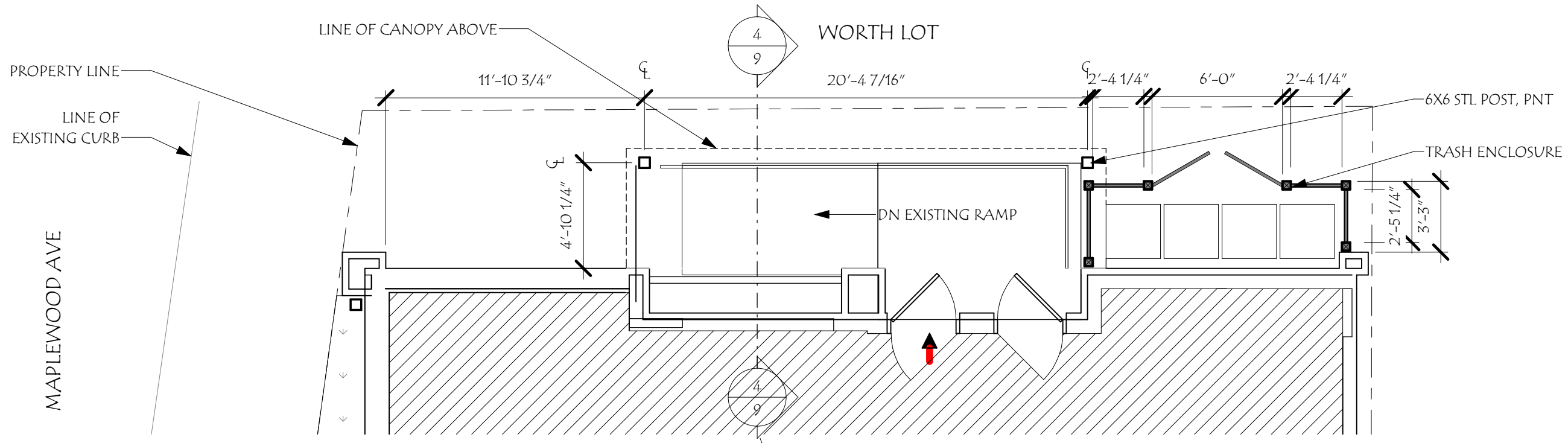


ENLARGED WEST ADDITION PLAN

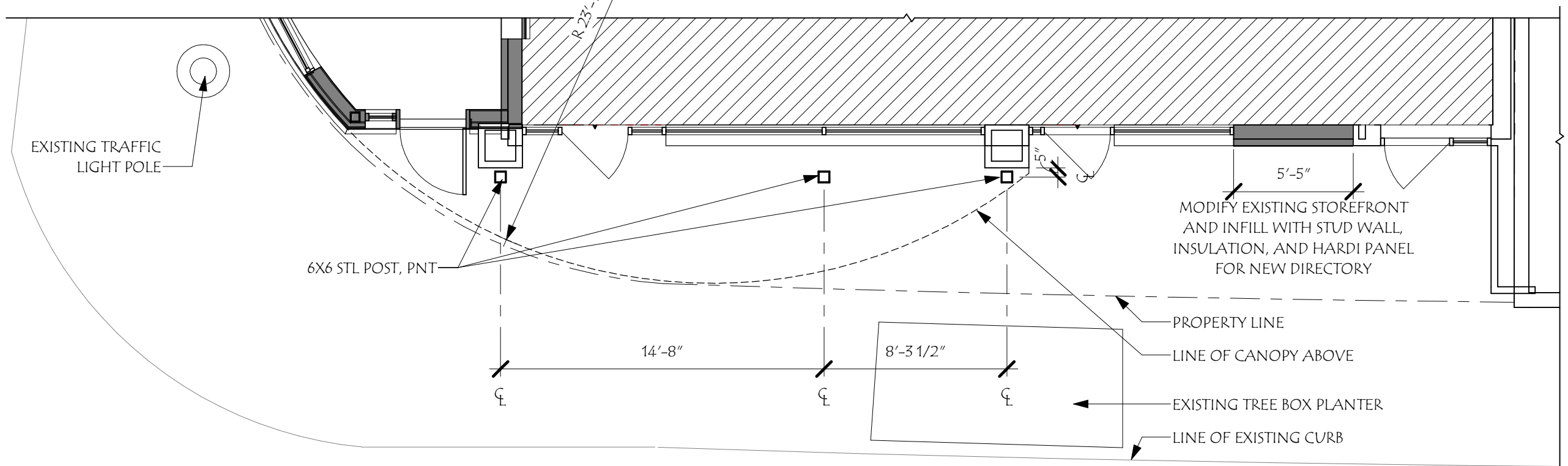
Revisions #	Description	Date

SCALE:	As Indicated
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	10/05/22

TITLE:	ENLARGED PLAN
	9



ENLARGED NORTH CANOPY PLAN

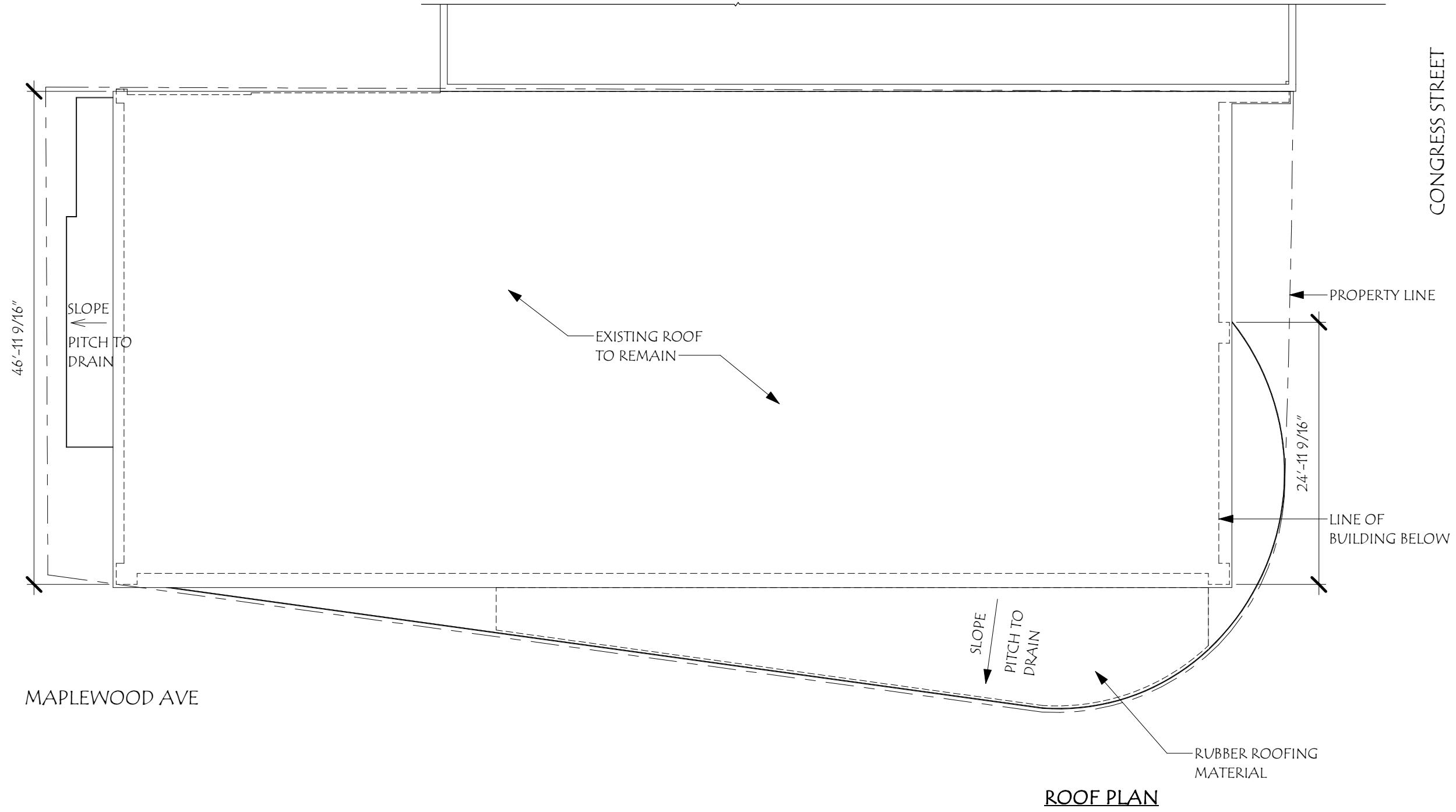


ENLARGED SOUTH CANOPY PLAN

Revisions #	Description	Date

SCALE: 3/16" = 1'-0"	DRAWN BY: SNH	CHECKED BY: RJH	PROJECT NO.: 202209	DATE: 10/05/22
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TITLE: ENLARGED PLAN	10
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ROOF PLAN



HISTORIC DISTRICT COMMISSION
 WORKSESSION/
 PUBLIC HEARING
 OCTOBER 2022

147 CONGRESS
 147 Congress St
 Portsmouth, NH 03801

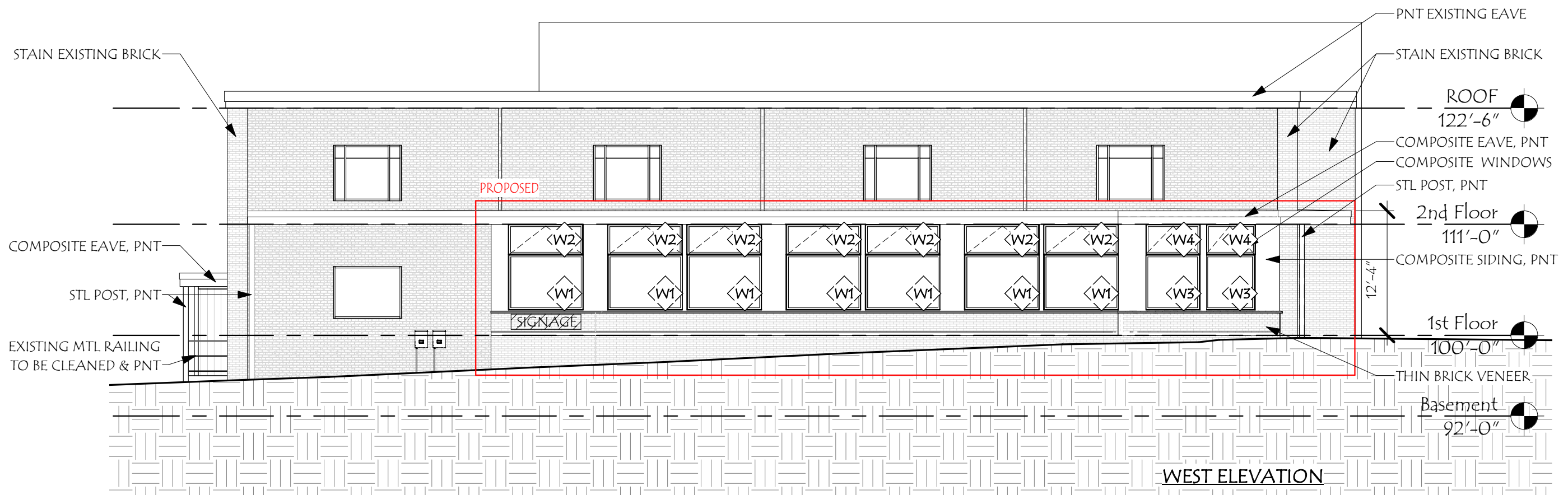
Revisions #	Description	Date

SCALE:	3/32" = 1'-0"
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	10/05/22

TITLE:	ROOF PLAN
	11



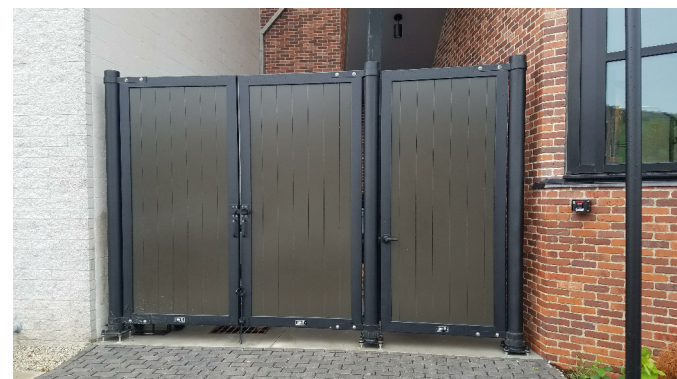
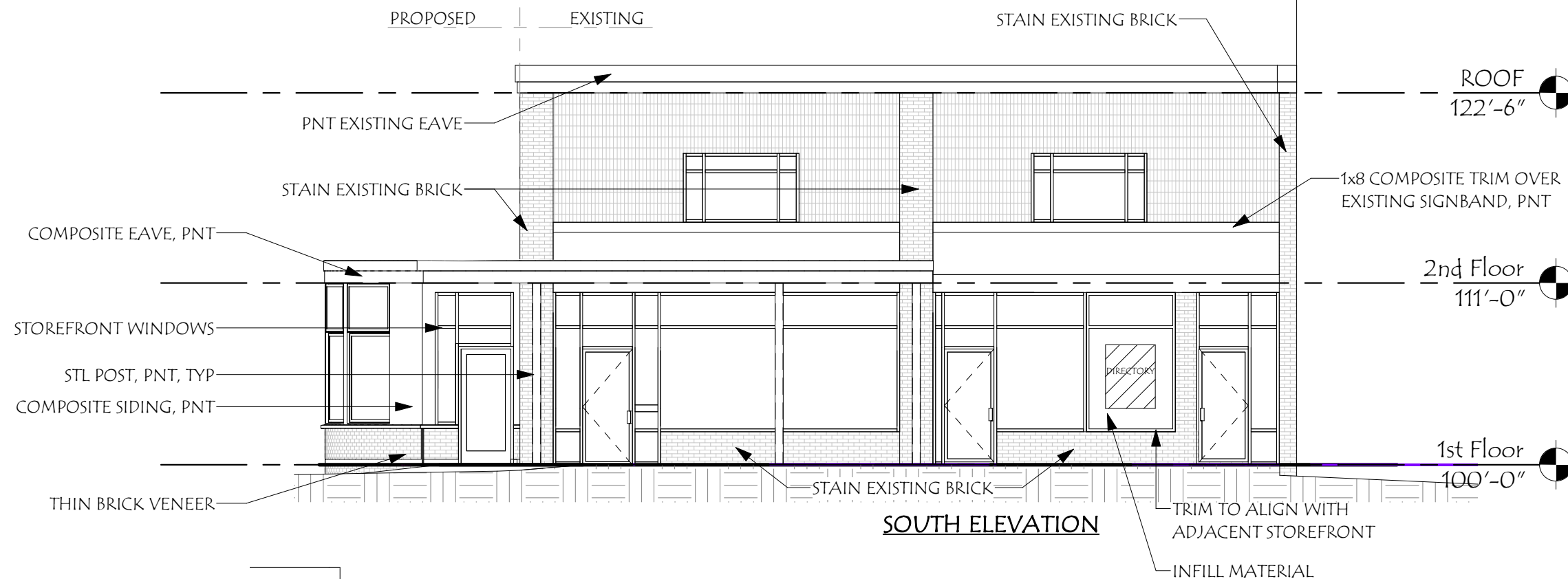
INSPIRATION IMAGES AND MATERIALS



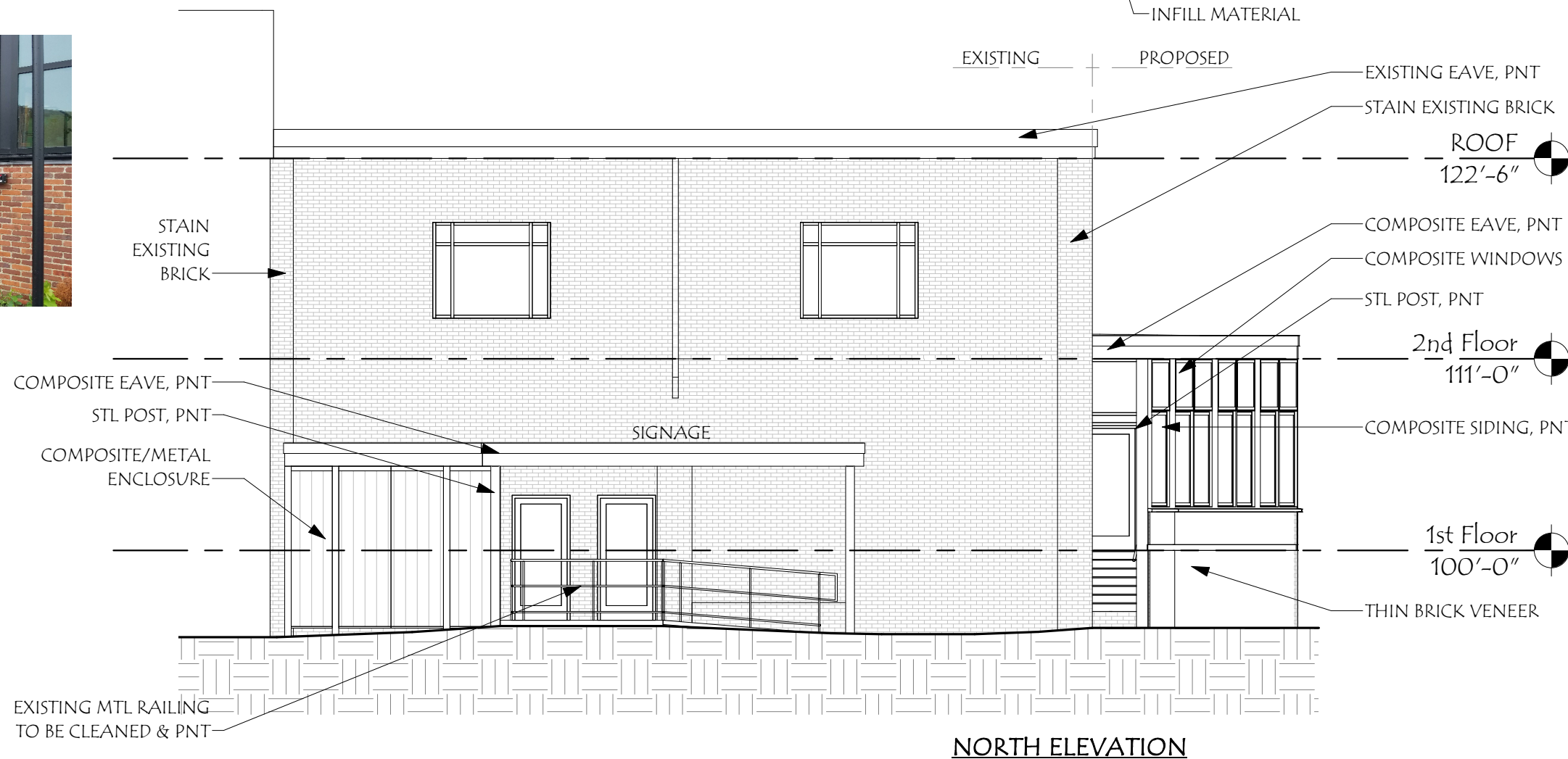
Revisions:	Date
# Description	

SCALE: 3/32" = 1'-0"	DRAWN BY: SNH	CHECKED BY: RJH	PROJECT NO.: 202209	DATE: 10/05/22
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TITLE: PROPOSED ELEVATIONS	12
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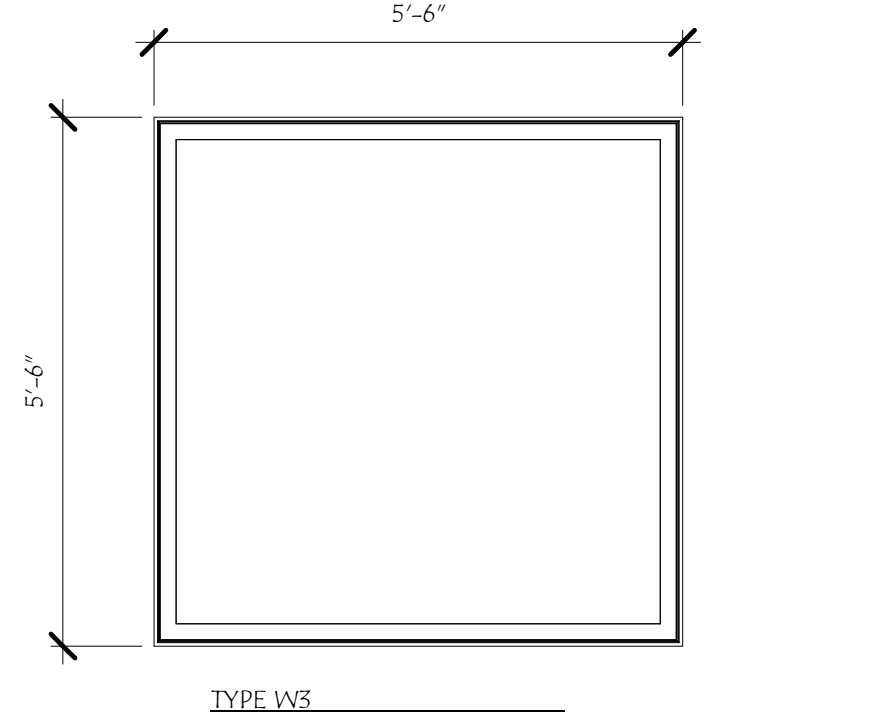
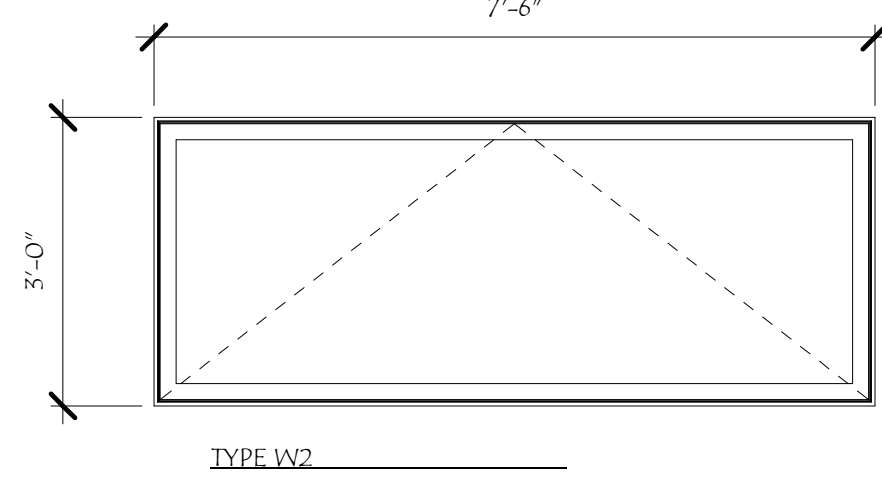
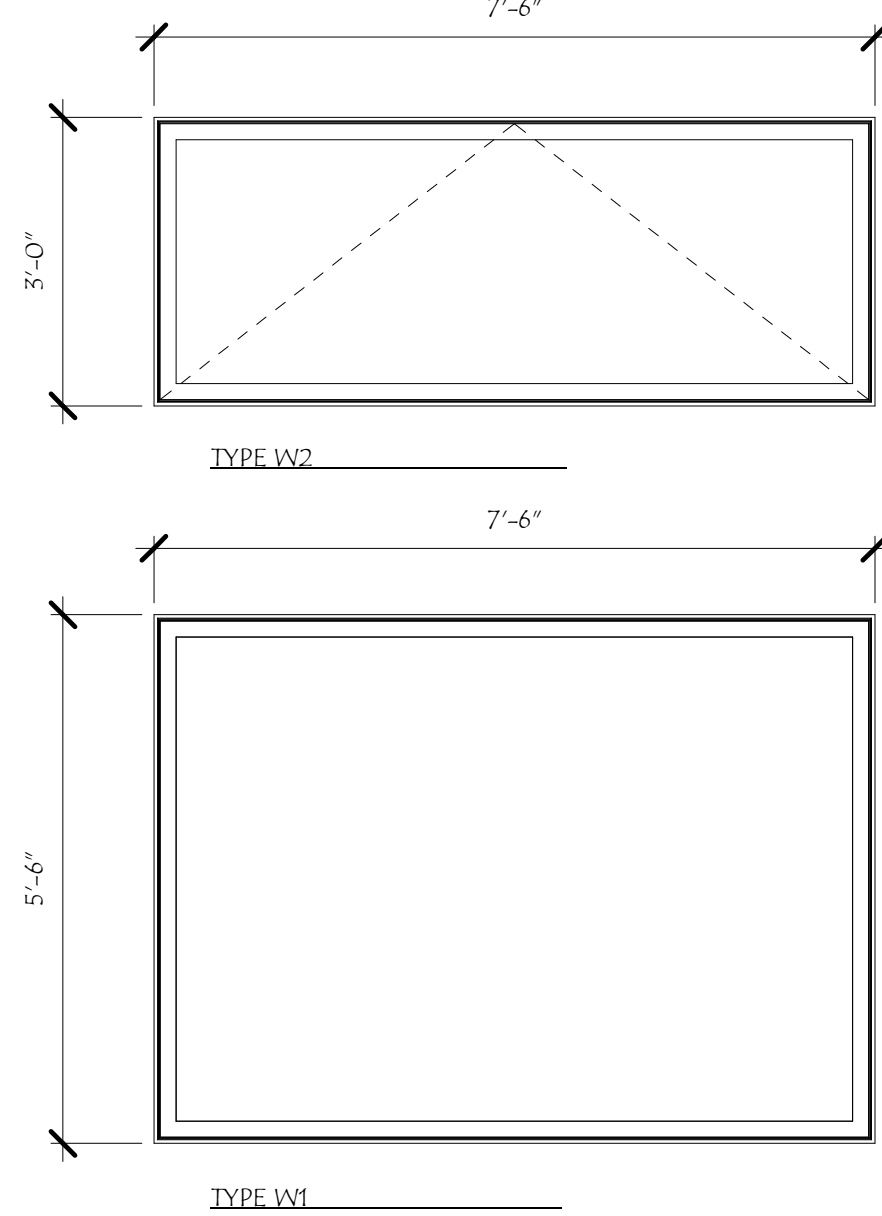
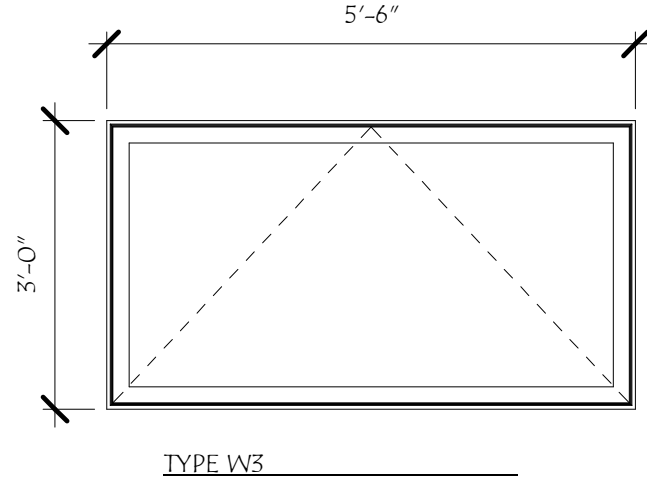
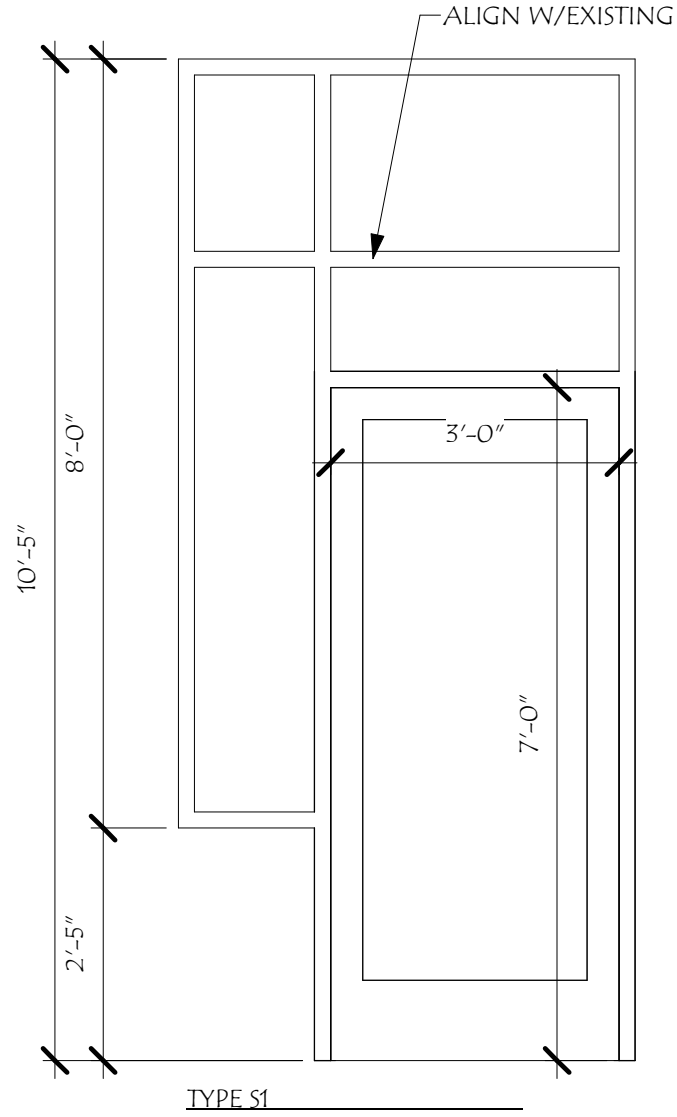
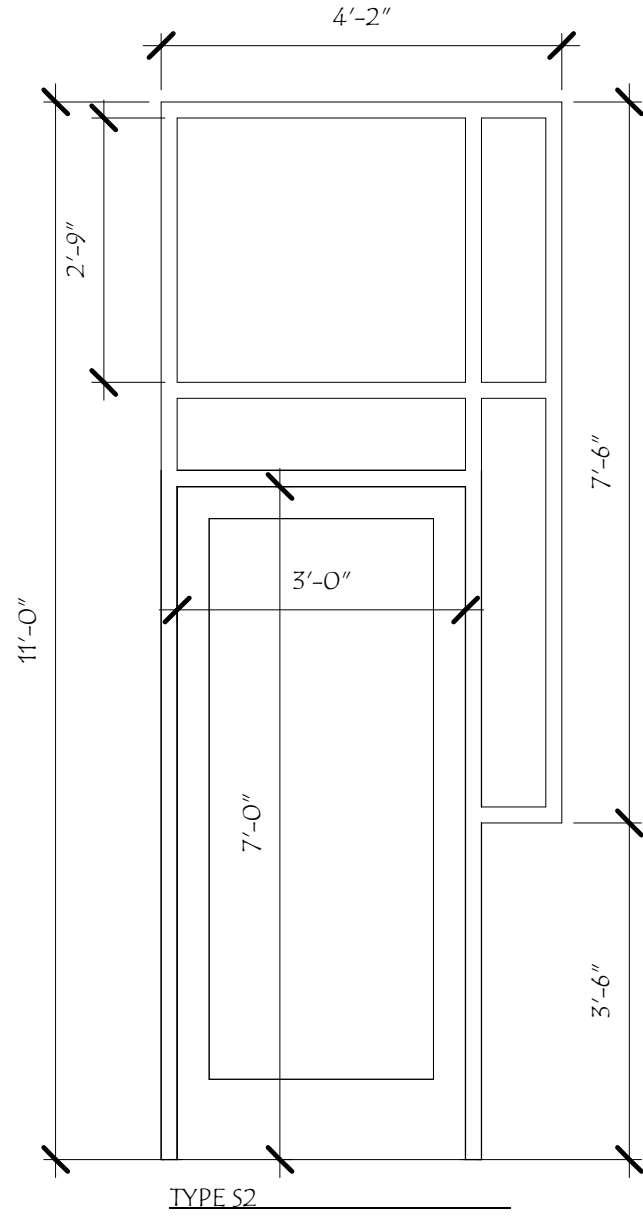
ENCLOSURE INSPIRATION



Revisions #	Description	Date

SCALE: 1/8" = 1'-0"	DRAWN BY: SNH	CHECKED BY: RJH	PROJECT NO.: 202209	DATE: 10/05/22
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TITLE: PROPOSED ELEVATIONS	13
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TITLE:
FENESTRATION

14

SCALE: 1/2" = 1'-0"
DRAWN BY: SNH
CHECKED BY: RJH
PROJECT NO.: 202209
DATE: 10/05/22

Revisions: #	Description	Date

147 CONGRESS

147 Congress St
Portsmouth, NH 03801

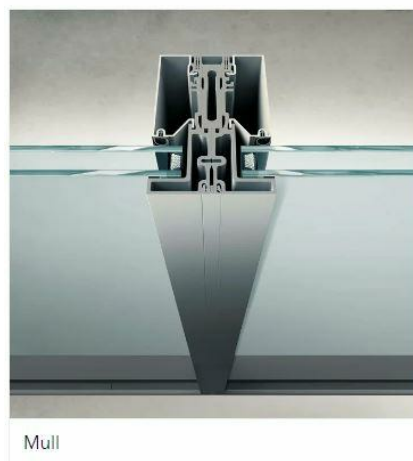
HISTORIC
DISTRICT
COMMISSION
WORKSESSION/
PUBLIC HEARING
OCTOBER 2022



MARVIN SIGNATURE® COLLECTION

Our High-Density Fiberglass material and proprietary frame design provide unparalleled thermal performance and durability. The Integrated Mull Channel, a structural cavity within the frame, allows you to add up to 1/2" of mull reinforcement without compromising sightlines. Frame recesses accept a drywall return, allowing for an easier wall integration and consistent frame reveal.

- A. Proprietary frame design helps keep interior temperatures comfortable
- B. The frame's integrated mull channel preserves sightlines and supports structural performance
- C. Built-in drywall return for easy wall integration



Mull

Decorative Glass

The Modern product line is designed to work together visually as a modular system with consistent profiles and narrow sightlines less than 3 inches even on units that are mull together.

Selected: Mull



Gray Tint

GLASS: LOW E3 WITH GRAY TINT

Selected: Gray Tint



EXTERIOR COLOR

Selected: Ebony



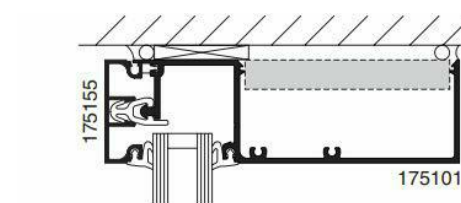
OR ARCHITECT APPROVED EQUAL

Taking center stage in Kawneer's lineup, the EnCORE™ Framing System is a two-piece face-and-gutter system that offers thermal economy, a structural silicone glazed (SSG) option and numerous design choices. Engineered for easy installation and lower costs, features include the unique QuickSeal™ self-sealing system, a broad selection of system depths and a 1-3/4" (44.5 mm) minimal sightline. The EnCORE™ Framing System readily adapts to remodel projects and new construction, whether traditional or modern architecture.

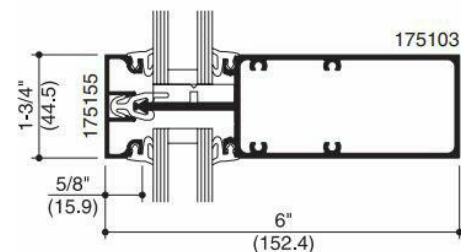
ECONOMY

EnCORE™ is a QuickSeal™ dry-glazed self-sealing framing system and is the first to eliminate joint sealant at horizontal joints, making it more cost effective. The vertical gasket runs through, and when "pinched" by the head, sill and intermediate horizontals, a watertight seal is created, eliminating the need for sealant.

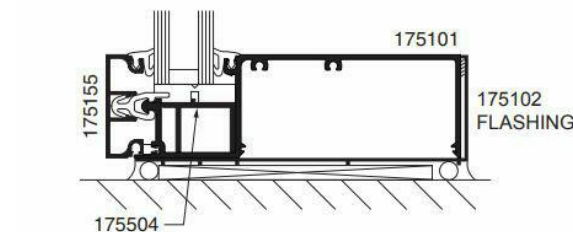
By using the same extrusions for horizontal and vertical mullions, metal utilization is maximized. In addition, the tongue on the extrusions eliminates the need for a secondary, continuous water deflector, thus economizing on installation costs and time.



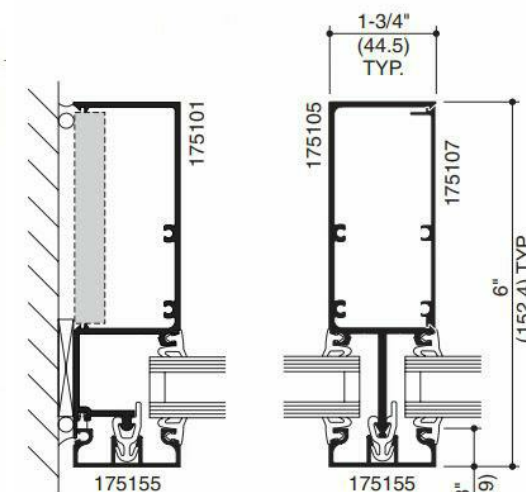
1 HEAD



2 HORIZONTAL

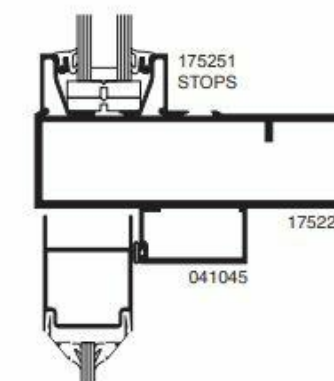


3 SILL



4 JAMB

5 SPLIT MULLION



2 S/A OFFSET ARM
OFFSET PIVOT/
BUTT HUNG
TRANSOM BAR



HISTORIC DISTRICT COMMISSION WORKSESSION/PUBLIC HEARING OCTOBER 2022

147 CONGRESS

147 Congress St
Portsmouth, NH 03801

Revisions #	Description	Date

SCALE:	Author
DRAWN BY:	Checker
CHECKED BY:	202209
PROJECT NO.:	10/05/22
DATE:	

TITLE: PRODUCT SHEET	15
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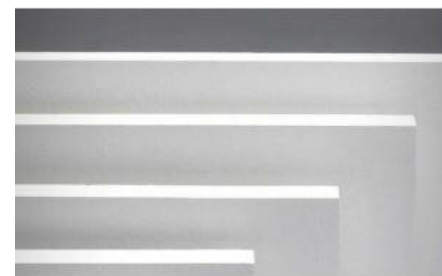


**HARDIE® PANEL VERTICAL SIDING
SMOOTH**

You can't go wrong with this sleek, modern siding. Find the perfect color in our Statement Collection products or Dream Collection products. Or get it primed for paint.

AVAILABLE SIZES

THICKNESS: 0.312"	LENGTH: 120"
	WIDTHS: 48"



**HARDIE® TRIM BOARDS
4/4 SMOOTH**

This trim's simplicity never goes out of style. In a color from our Statement Collection products or Dream Collection products, it has even more staying power. Also available primed for paint.

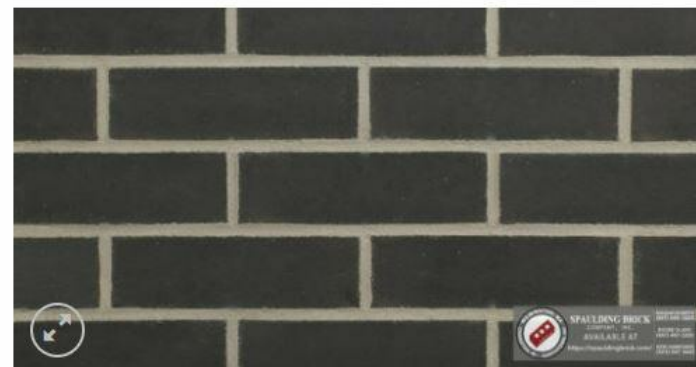
AVAILABLE SIZES

THICKNESS:	0.75"
LENGTH:	144" boards
WIDTHS:	3.5" 5.5"
	7.25" 9.25"
	11.25"



**SPAULDING BRICK
COMPANY, INC.**
an employee owned company

OR ARCHITECT
APPROVED EQUAL



**BRICK MATERIAL- FINAL SELECTION TO
MATCH STAINED EXISTING BRICK**



TECHNICAL DATA SHEET

KEIM RESTAURO® STAIN OR ARCHITECT APPROVED EQUAL
SOL-SILICATE PIGMENTED MINERAL STAIN AND GLAZE

PRODUCT DESCRIPTION

Sol-silicate based, non-film forming mineral stain provides a penetrating, low pigment or translucent finish when diluted with RESTAURO Dilution/Thinner. The original look and feel of natural or precast stone and masonry or brick are not filled-in or altered by RESTAURO, except for color tone. It may be used as a solid-color finish (undiluted) or as a transparent stain/glaze when mixed with dilution/thinner. Pigment and opacity level is the result of how much dilution (clear) is added. Stains ranging from mostly opaque to almost clear are possible. It has water repellent properties and fulfills the requirements of DIN 18363 sect. 2.4.1.

FIELD OF APPLICATION

RESTAURO Pigmented Mineral Stain is uniquely formulated for use on interior or exterior new or bare, aged brick, mortar, mortar repairs and natural and precast stone. It should not be applied to existing latex or acrylic painted surfaces. It is used to decorate or add color or to visually conceal color variations in new or old masonry and for blending and minimizing the appearance of repairs. It may also be used to provide a stained appearance on entire stone or brick facades.

RESTAURO Stain can also be applied as an opaque thin-layer finish retaining the natural surface texture and providing a protective water and weather resistant finishes.

Water proofing may be further enhanced by a pretreatment with SILAN-100 Silane Penetrating Water Repellent. The application of DESIGN Stain together with SILAN-100 complies with water protection requirements as per DIN EN 1504-2/2.2.

RESTAURO Stain is less weather resistant on horizontal and slightly inclined surfaces.

PRODUCT PROPERTIES

RESTAURO Stain protects masonry from the action of weather and prevents the penetration of atmospheric pollutants. Surface textures are fully retained and never "filled-in". It provides a natural mineral matte finish.

- Sol-silicate penetrates and forms permanent chemical bonds—won't peel or lose adhesion
- Light fast, color will not fade
- Extremely vapor permeable—masonry remains dryer
- Weather and moisture resistant
- Not affected by pollution or acid rain
- Darkens when wet—repairs blend into natural masonry wet or dry

Technical data

Density	1.1—1.3 g/cm³
Weight	10.1 lbs/gal
VOC by ASTM D6886	< 1 g/liter
Vapor Diffusion	sd (H2O) = <0.02 m
Water Absorption Coefficient (DIN EN 1504)	W=0.20 kg/m² h 0.5
Lightfastness of color pigment (Fb-Code acc. to BFS technical bulletin No. 26)	A1 Best in class rating No color change after 4 years
Vapor Permeability (ASTM E96)	75—85 Perms
Flashpoint	Non-Flammable
Alkali Resistance ASTM D1308	Passes
Mildew Resistance ASTM D3273/D3274	Passes
Thermal Expansion	Comparable to the concrete substrate
Gloss at 85°	2.0 Mineral Matte Flat
All test results performed on 2 coats Restauro Stain applied at 425—475 sf/gallon	



KEIM Mineral Coatings of America, Inc.
3935 Perimeter West, Suite 100
Charlotte, NC 28214
keim.com
1-866-906-5346 or 704-588-4811
Email: info@keim.com



**HISTORIC
DISTRIC
COMMISSION**
WORKSESSION/
PUBLIC HEARING
OCTOBER 2022

147 CONGRESS

147 Congress St
Portsmouth, NH 03801

Revisions #	Description	Date

SCALE:	Author
DRAWN BY:	Checker
CHECKED BY:	202209
PROJECT NO.:	10/05/22
DATE:	9/22/2022 4:21:57 PM

TITLE:
PRODUCT SHEET



09/27/2022

LU-22-173

Land Use Application

Status: Active**Date Created:** Aug 23, 2022**Applicant**

John Chagnon
 jrc@ambitengineering.com
 200 Griffin Road
 Unit 3
 Portsmouth, NH 03801
 603-430-9282 ext. 308

Primary Location

161 DEER ST
 Portsmouth, NH 03801

Owner:

EIGHTKPH LLC
 233 VAUGHN ST UNIT 301 PORTSMOUTH, NH 03801

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

88 Maplewood Avenue

Project Type

Addition or Renovation: any project (commercial or residential) that includes an **ADDITION** to an existing structure or a **NEW** structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a **NEW** structure on a parcel that is currently **VACANT**. If there are any existing structures on the property (even if you are planning to remove them), you should select **Addition and Renovation** above



Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)



Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work



Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line



Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval



Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



Request for Extension of Previously Granted Land Use Approval

LETTER OF AGENDA

This property located at the corner of Deer Street and Maplewood Avenue has a rich history that is greatly influenced by the Portsmouth Rail Corridor.

Design updates:

- Sawtooth brick course detail
- Window pattern at radius corner entry
- Penthouse details

Please review the following items submitted for consideration:

1.0 – Design Inspiration and Details

2.0 – Proposed Renderings

3.0 – Proposed Elevations

4.0 – Details

5.0 – Proposed Materials

Appendix A

- Site and surroundings
- Zoning and Vision Plan

Appendix B

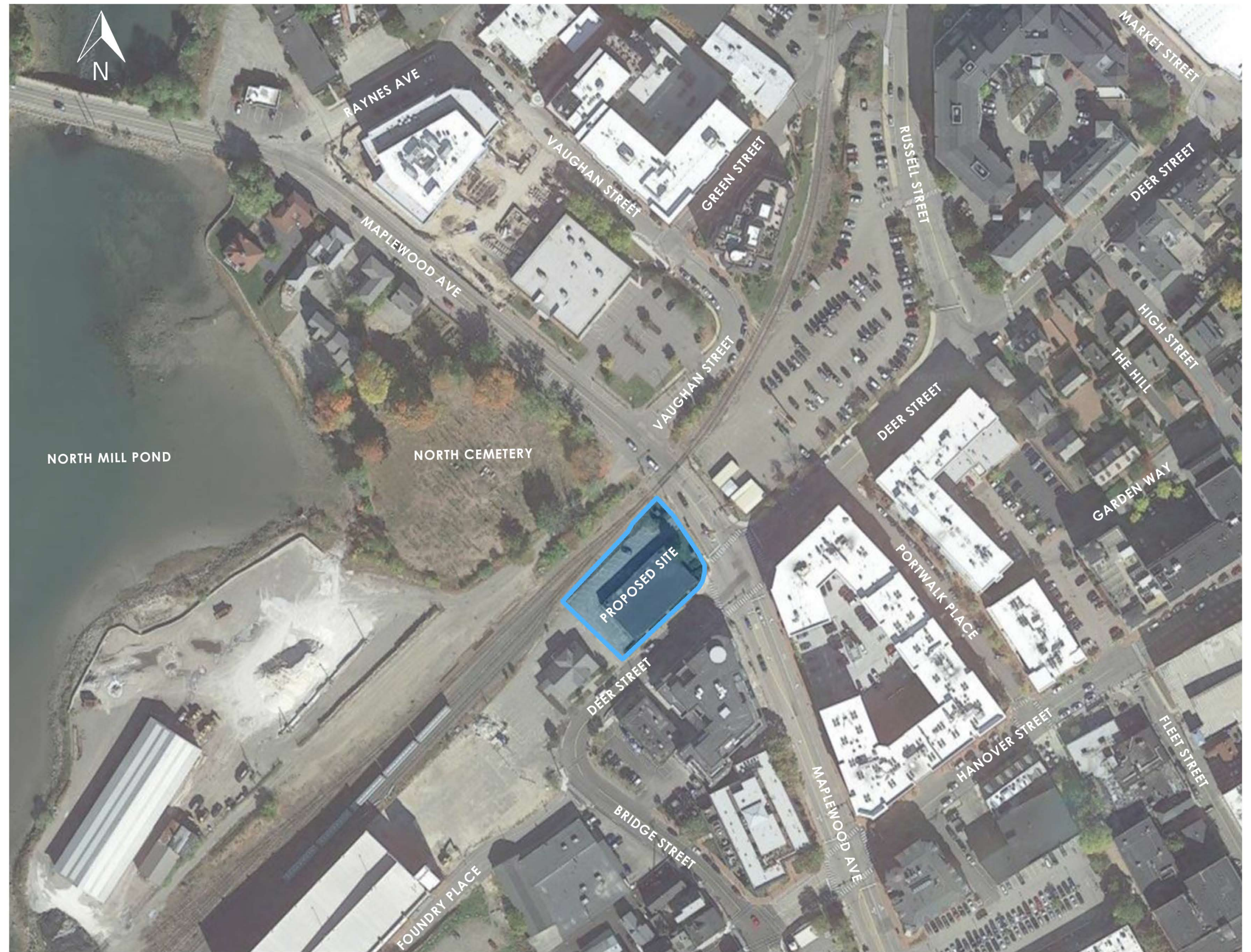
- 1/4" = 1'-0" Scale Elevations on 22x34 sheets

We respectfully submit this Application for Amended Approval. The current HDC Approval was granted to the prior owner.

Thank you for your consideration.
Sincerely,



Carla Goodknight, AIA, NCARB
Principal, CJ Architects

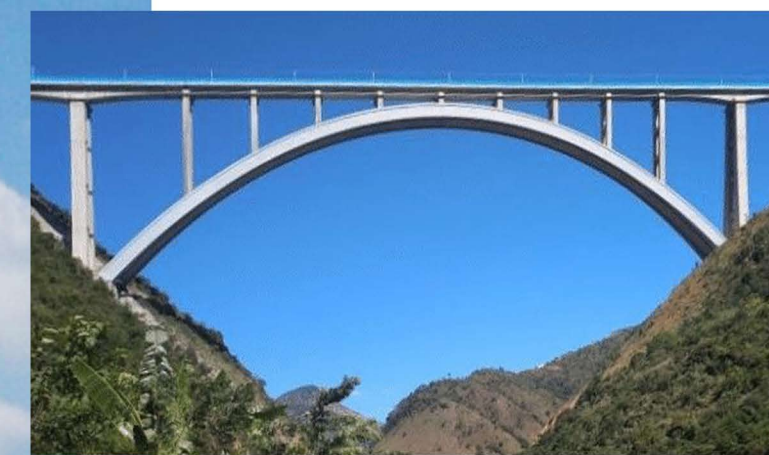


88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022





RAIL BRIDGE SPAN
INSPIRATION

88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

RAIL BRIDGE INSPIRATION
AND BRICK DETAILS

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



1.0



88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



2.0



88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM DEER STREET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



2.1



88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM DEER STREET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



2.2



88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM VAUGHAN STREET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



2.3



88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM BRIDGE STREET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



2.4



88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM BRIDGE STREET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



2.5



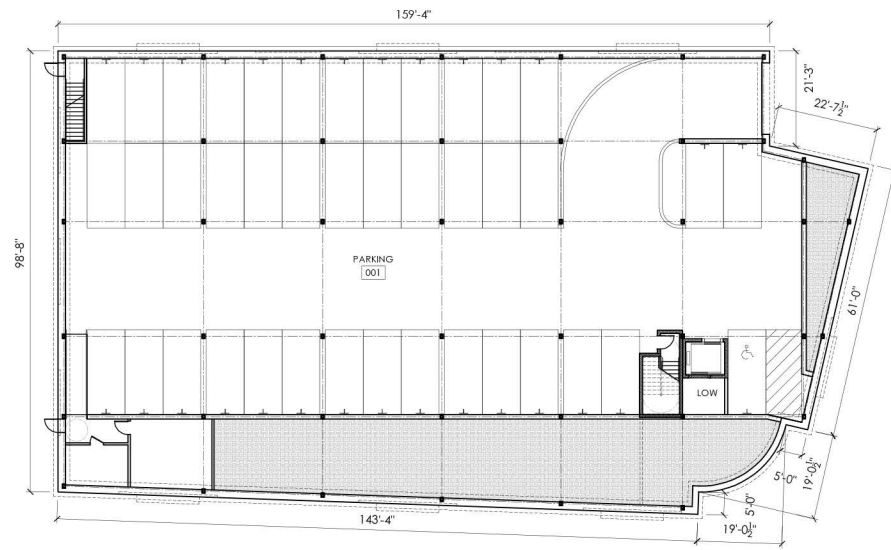
88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

VIEW OF RAIL SIDE CANOPY DETAIL

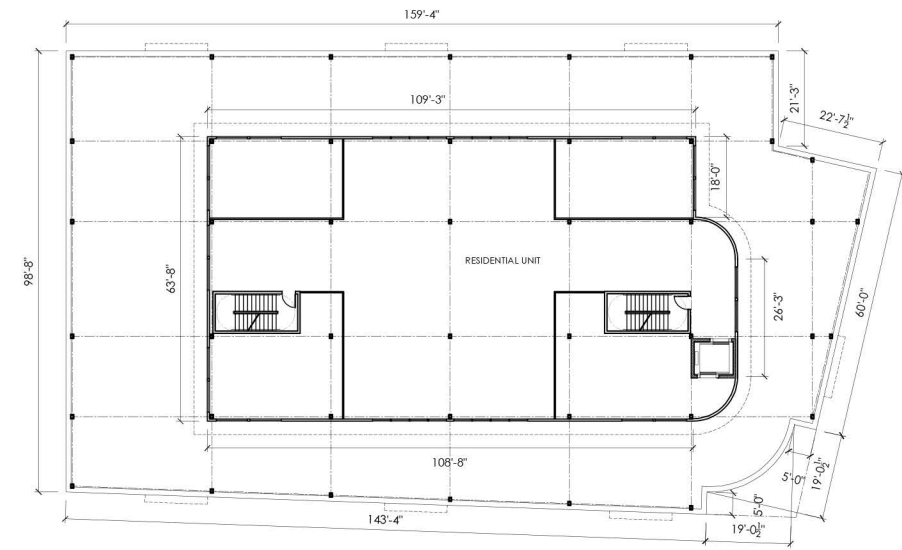
HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



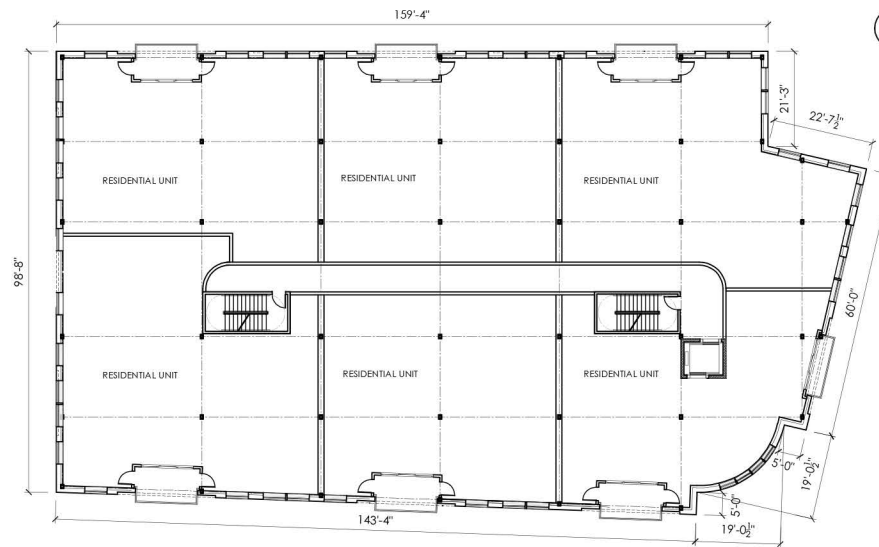
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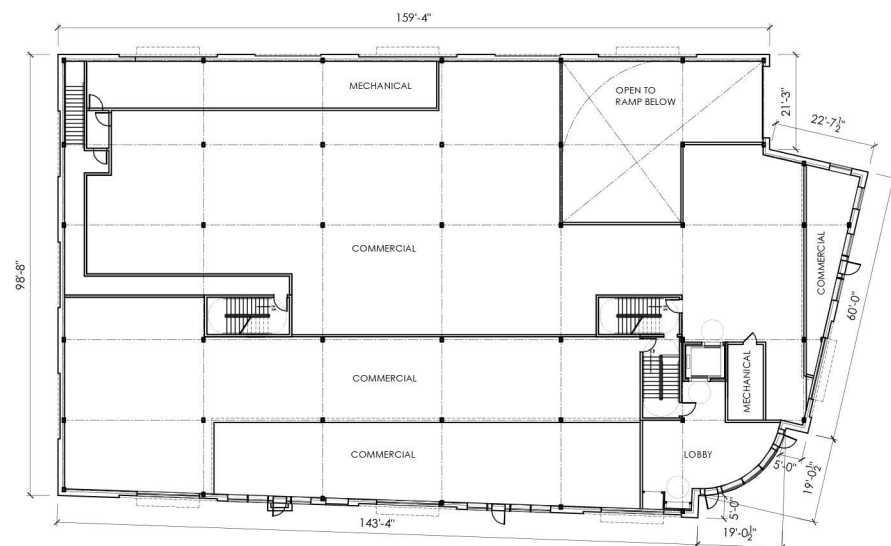
1 LOWER LEVEL PLAN
NTS



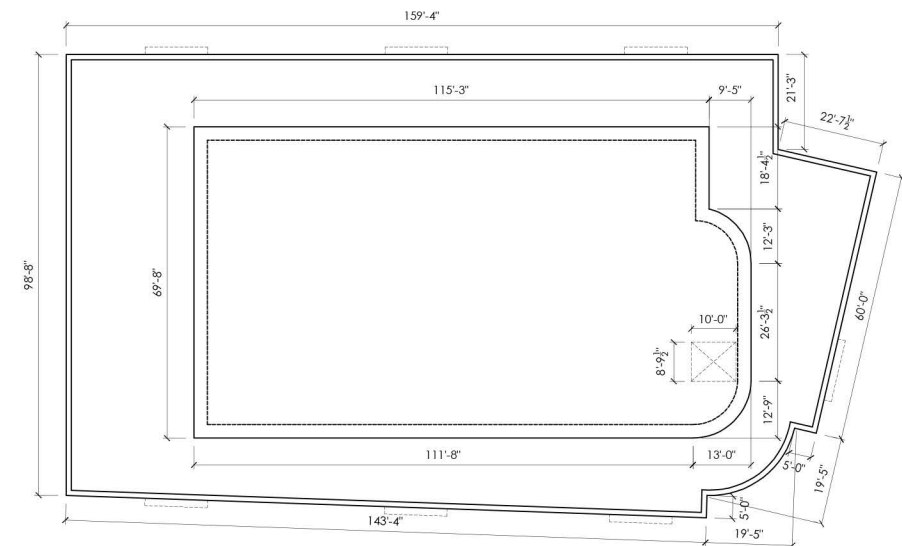
4 PENTHOUSE LEVEL PLAN
NTS



3 SECOND, THIRD, AND FOURTH LEVEL PLAN
NTS



2 FIRST LEVEL PLAN
NTS



5 ROOF PLAN
NTS



DEER STREET ELEVATION



MAPLEWOOD AVENUE ELEVATION



RAIL CORRIDOR ELEVATION



WEST ELEVATION



88 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

PARTIAL DEER STREET ELEVATION (LEFT SIDE)
 1/4" = 1'-0" ON 22x34 SHEET

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88 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

PARTIAL DEER STREET ELEVATION (RIGHT SIDE)
 1/4" = 1'-0" ON 22x34 SHEET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



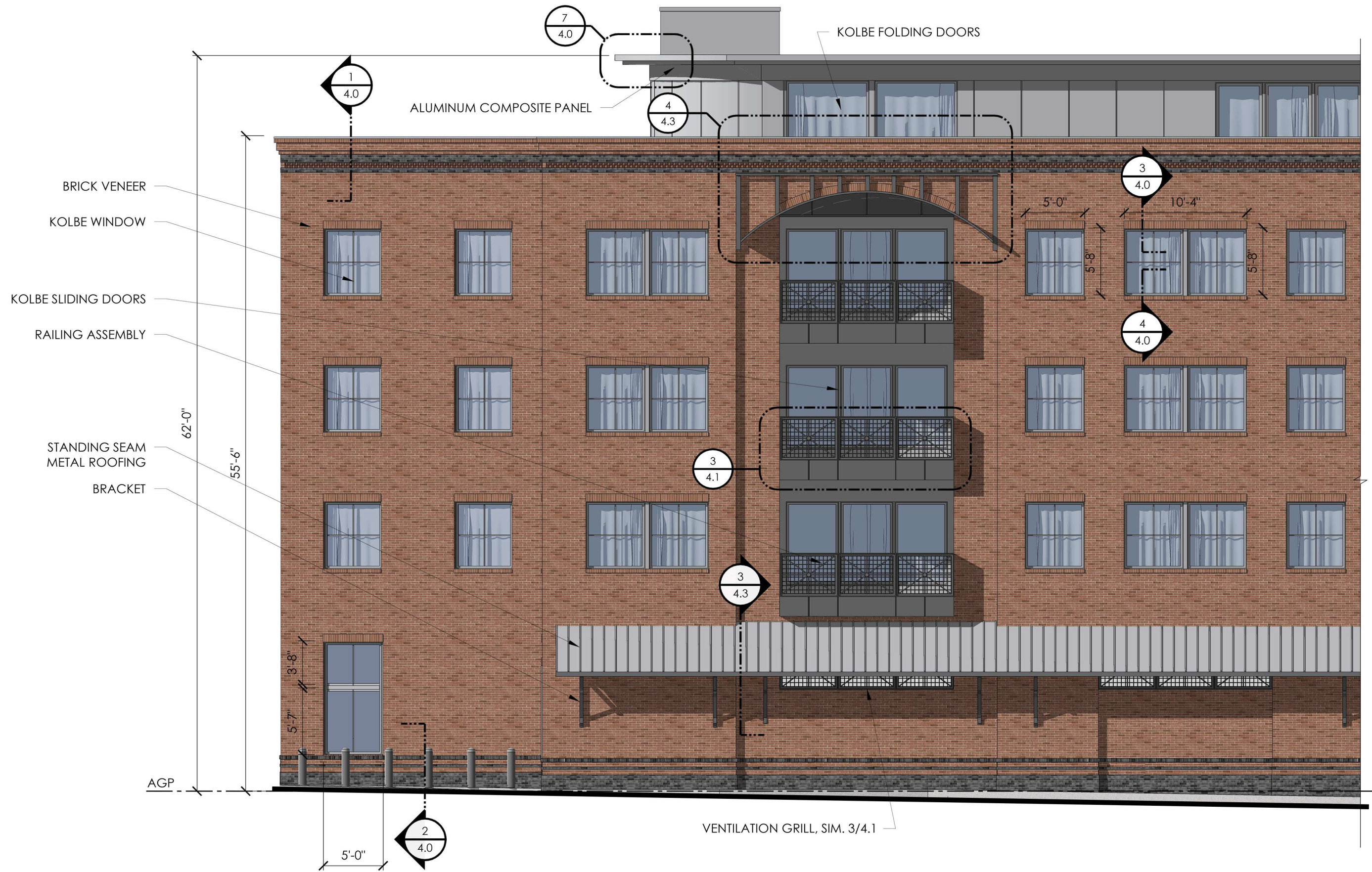


88 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD AVENUE ELEVATION
 1/4" = 1'-0" ON 22x34 SHEET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



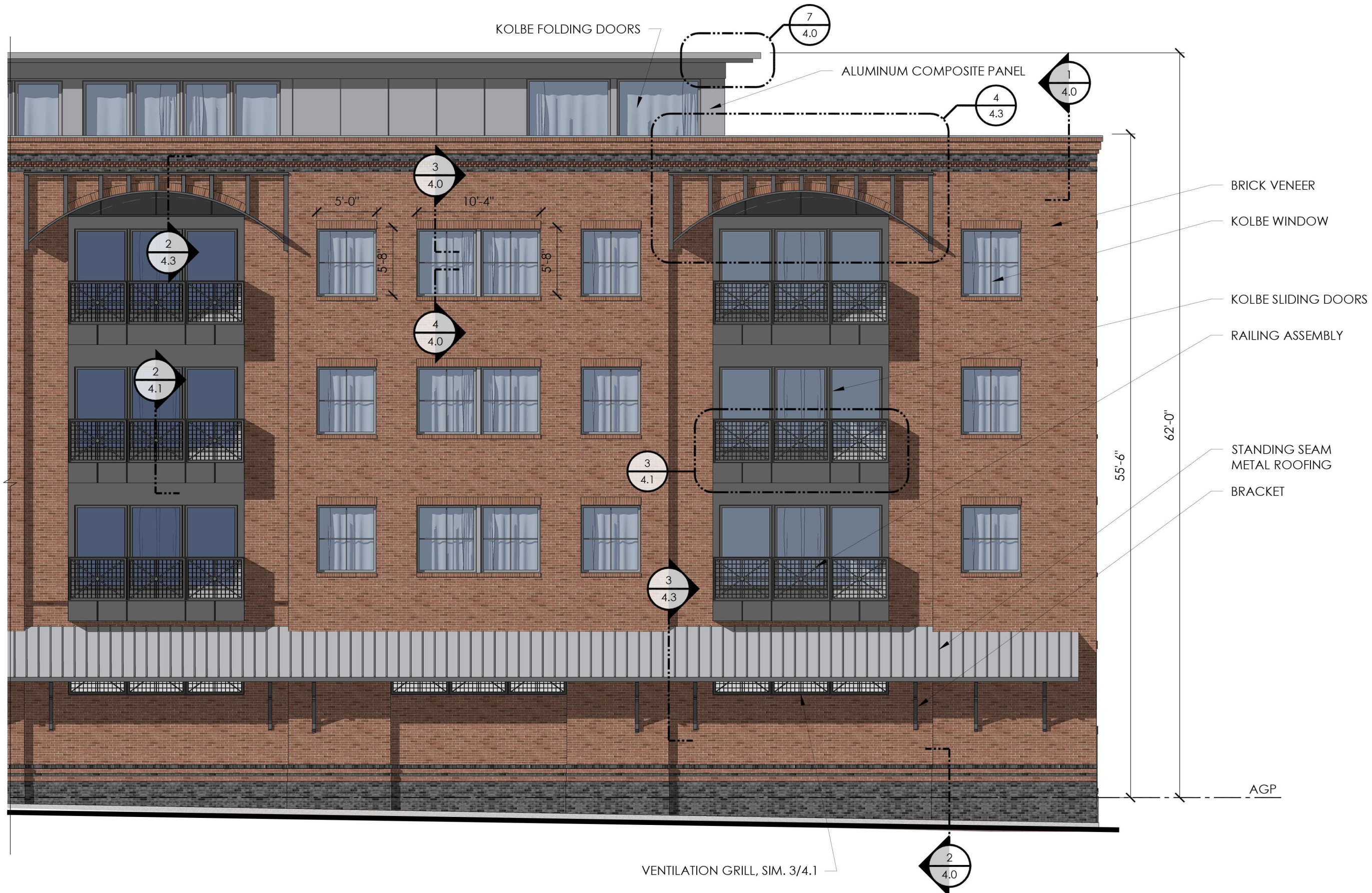


88 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

PARTIAL RAIL CORRIDOR ELEVATION (LEFT SIDE)
 1/4" = 1'-0" ON 22x34 SHEET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



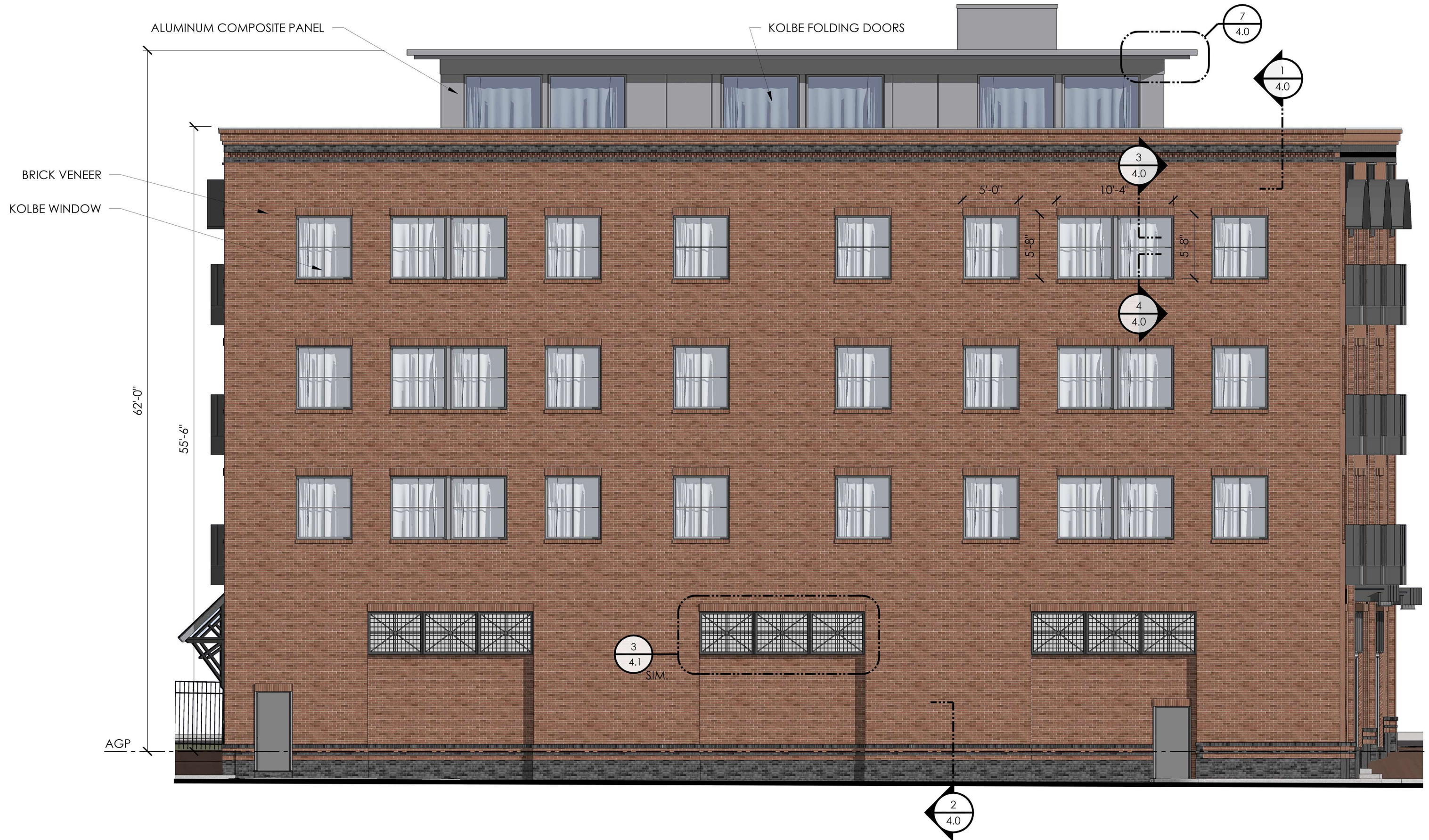


88 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

PARTIAL RAIL CORRIDOR ELEVATION (RIGHT SIDE)
 1/4" = 1'-0" ON 22x34 SHEET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022





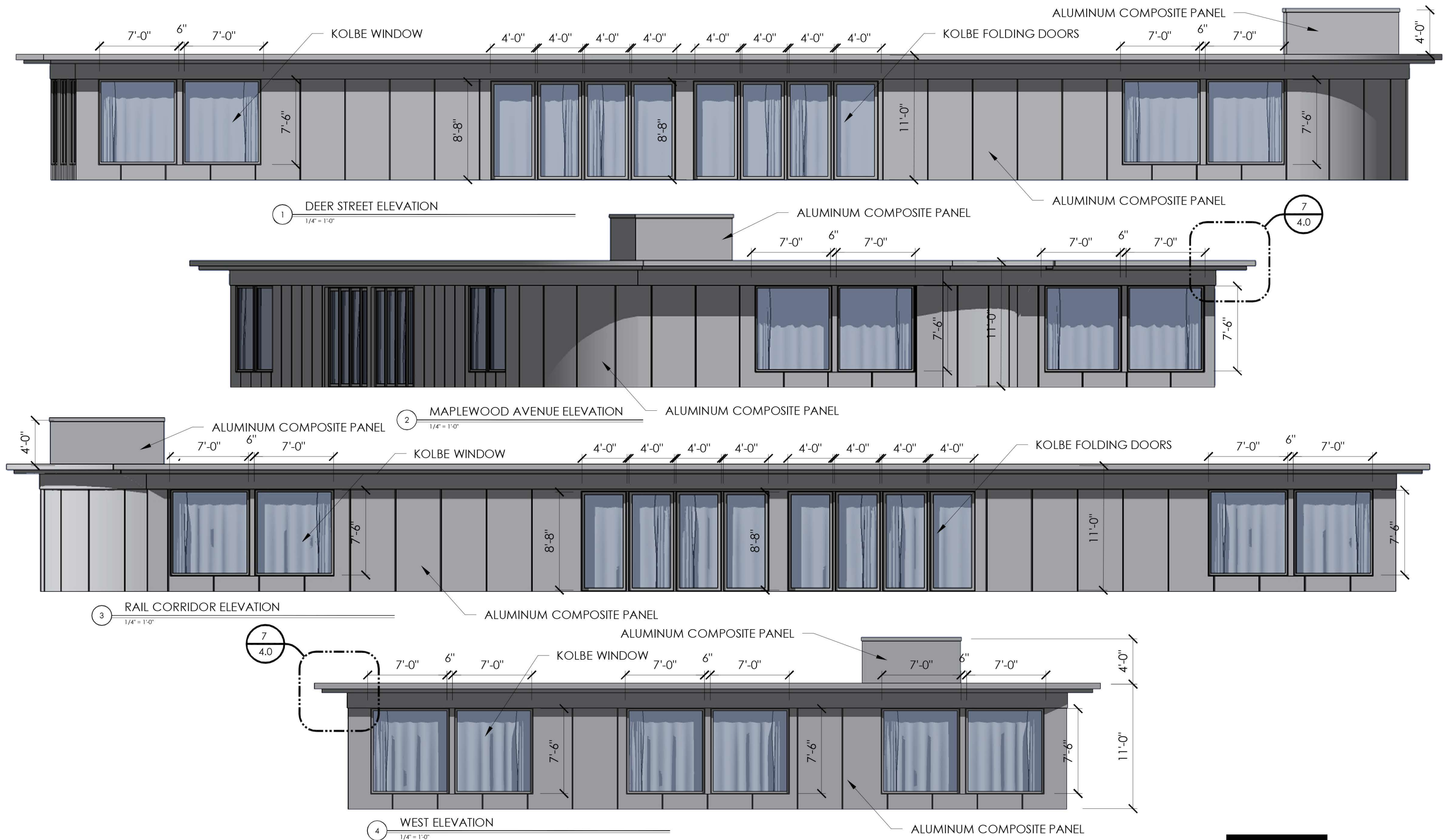
88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

WEST ELEVATION
1/4" = 1'-0" ON 22x34 SHEET

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



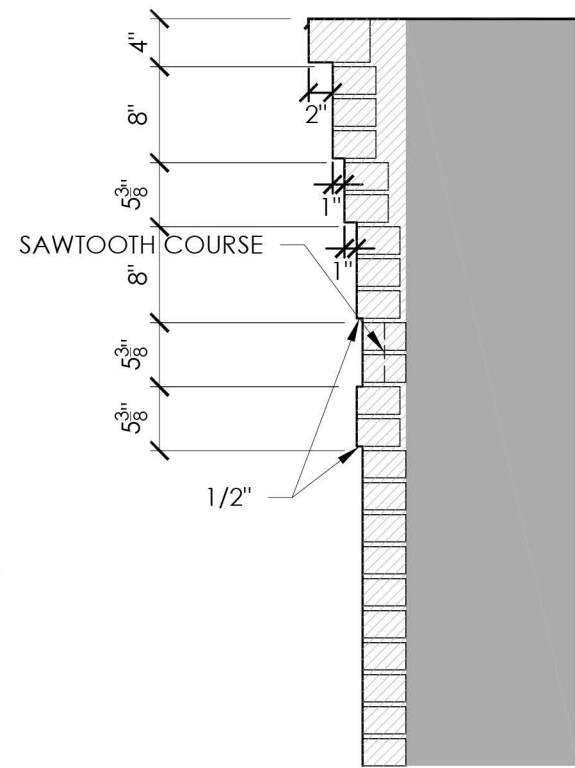
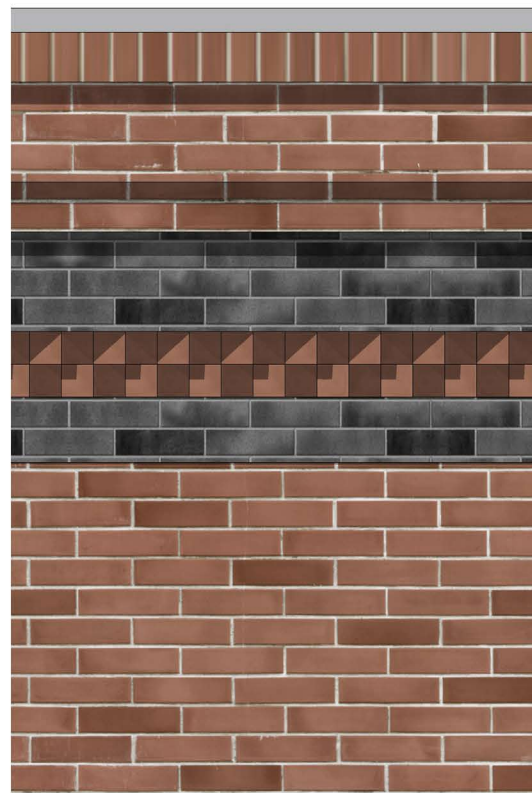
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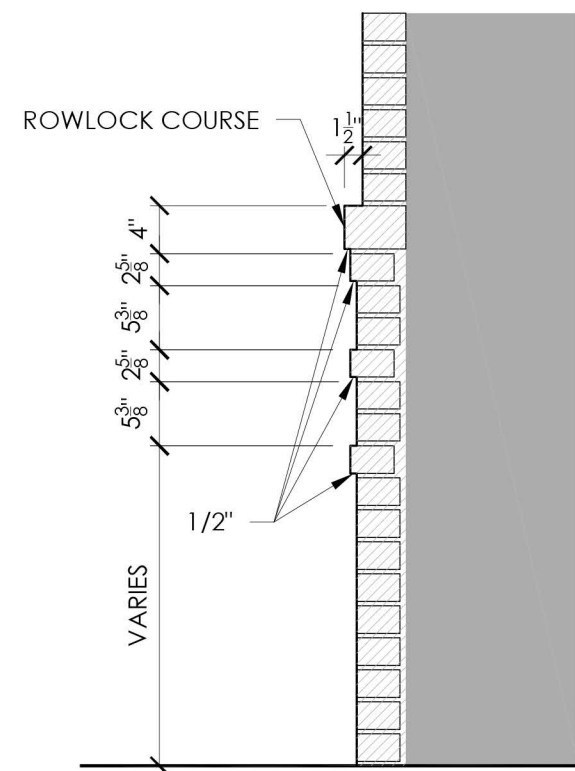
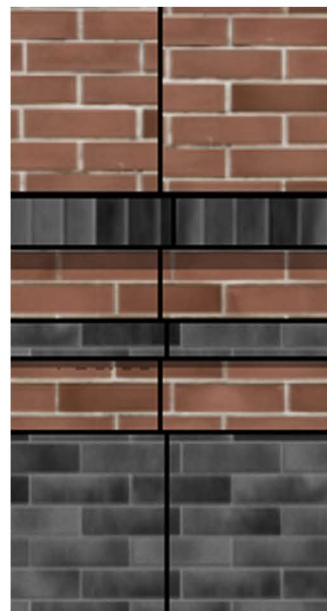
88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

PENTHOUSE ELEVATIONS
1/4"=1'-0" ON 22X34 SHEET
HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022

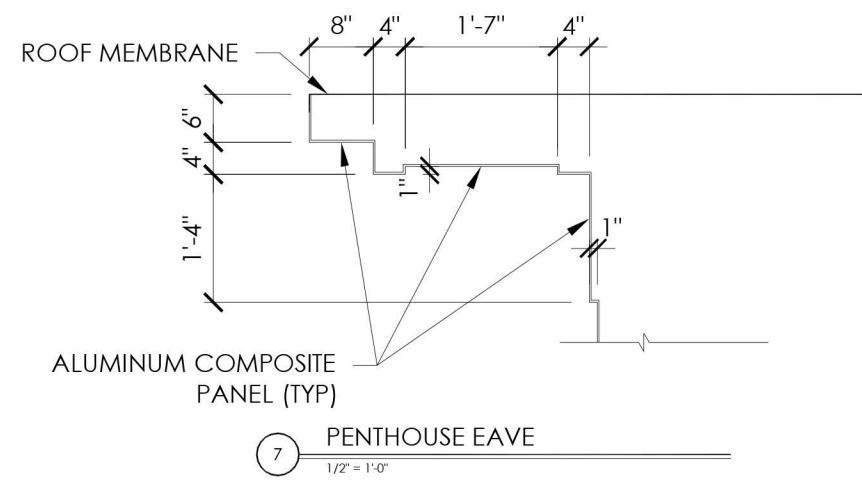




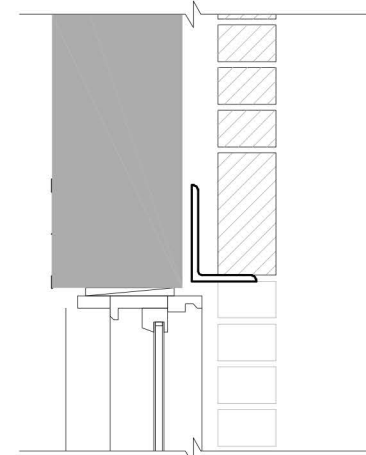
1 CORNICE BRICK BANDING
3/4" = 1'-0"



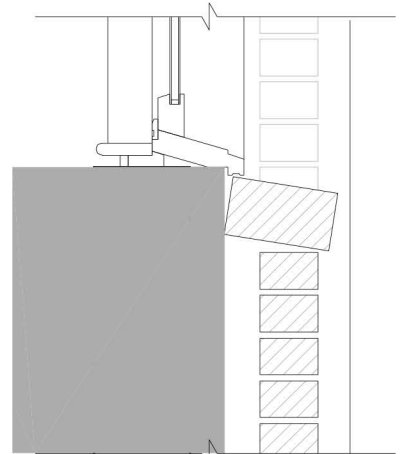
2 BASE BRICK BANDING
3/4" = 1'-0"



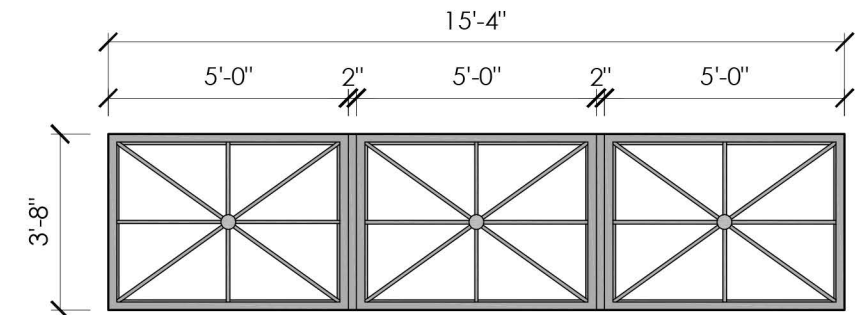
7 PENTHOUSE EAVE
1/2" = 1'-0"



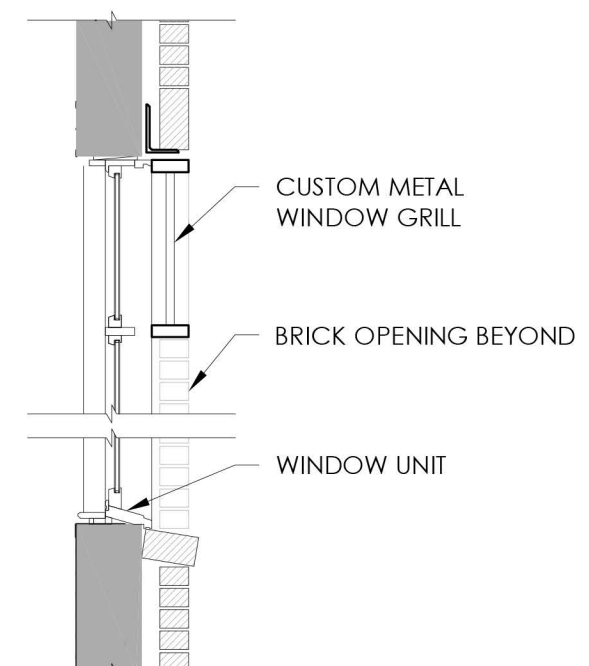
3 SOLDIER COURSE LINTEL DETAIL
1" = 1'-0"



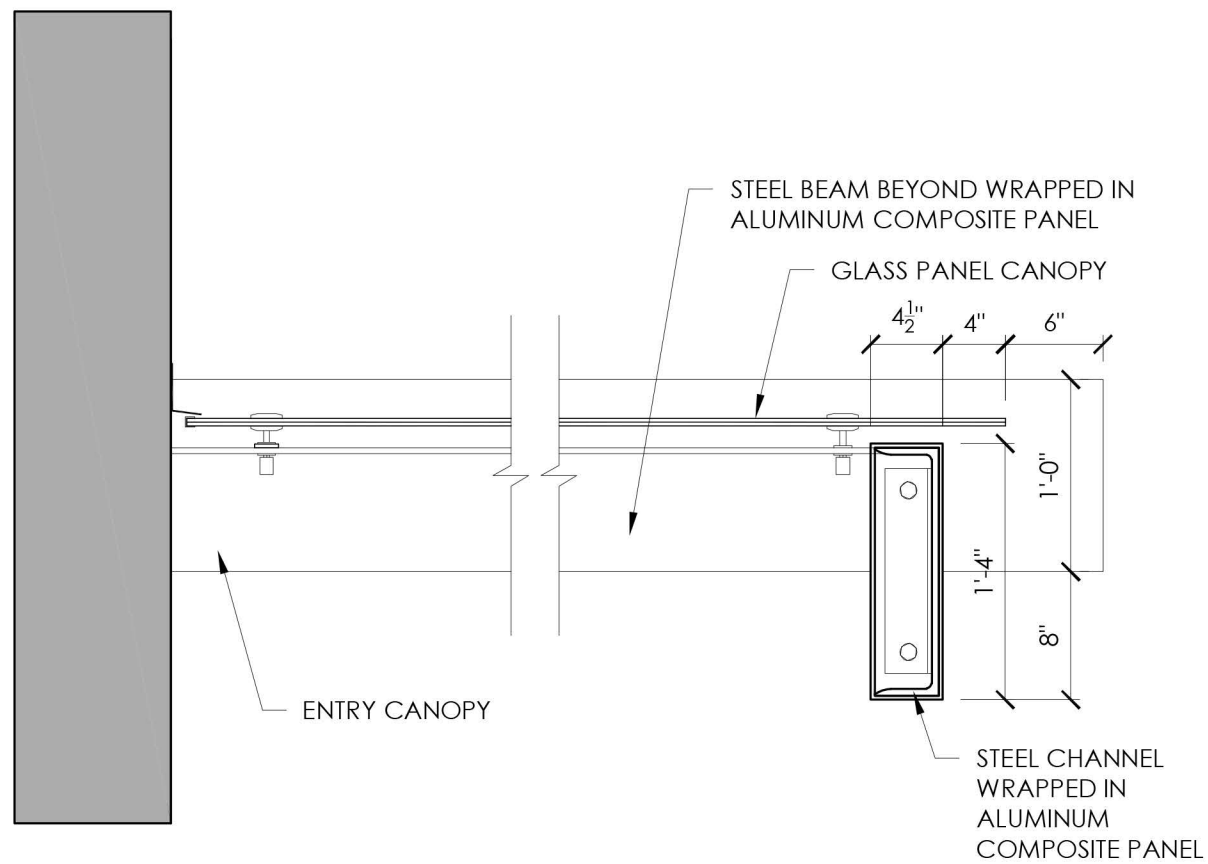
4 ROWLOCK SILL DETAIL
1" = 1'-0"



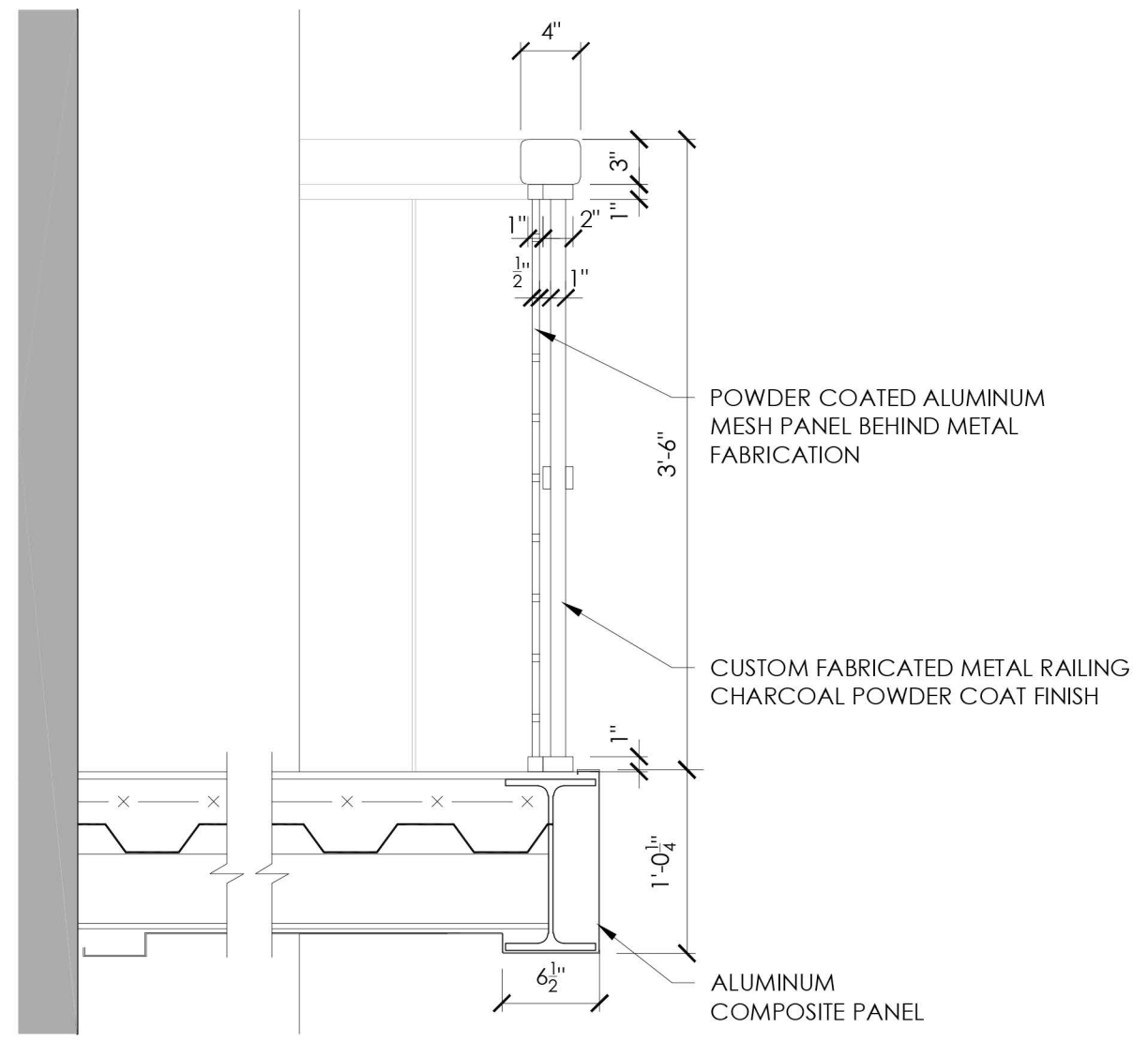
5 WINDOW GRILL
1/4" = 1'-0"



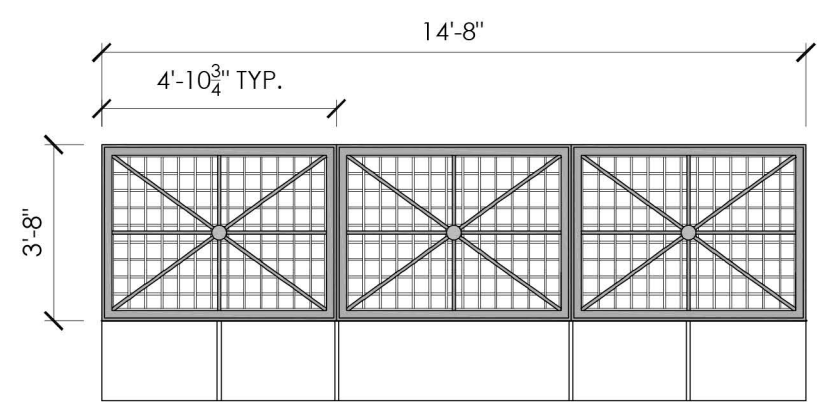
6 WINDOW GRILL DETAIL
1/4" = 1'-0"



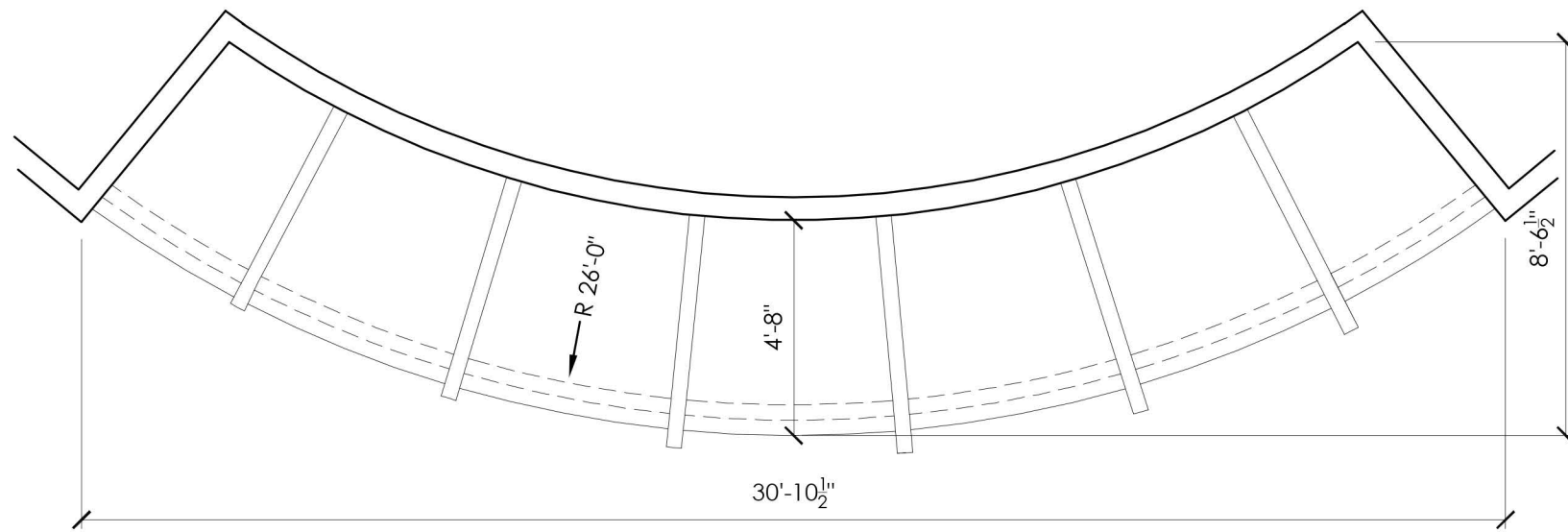
1 CANOPY DETAIL
1" = 1'-0"



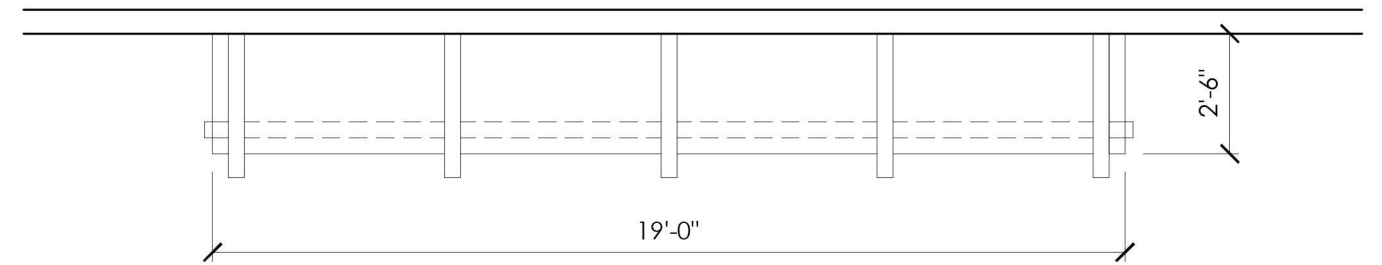
2 BALCONY AND RAILING DETAIL
1" = 1'-0"



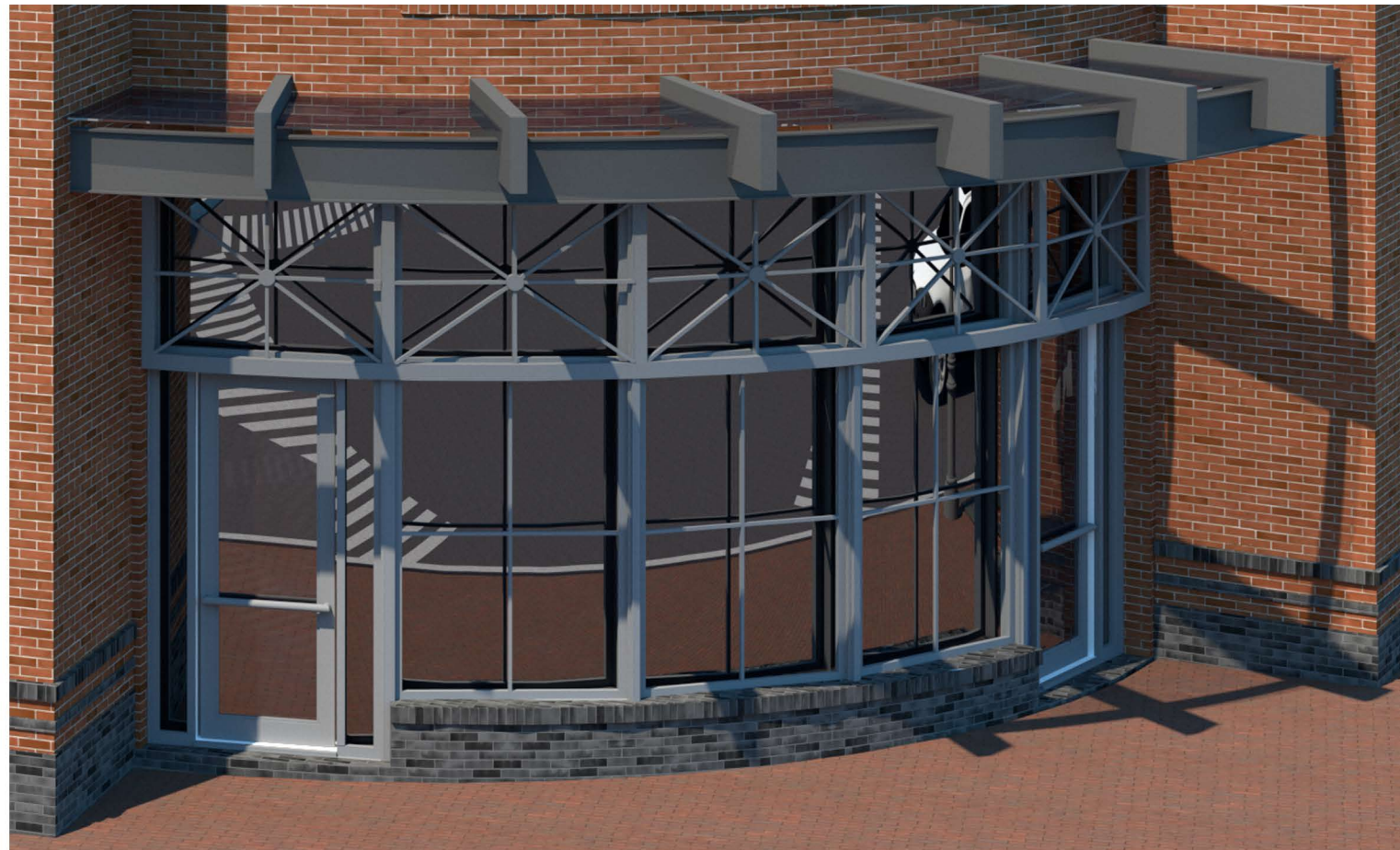
3 RAILING (VENTILATION GRILL SIMILAR)
1/4" = 1'-0"



1 CANOPY PLAN
1/4" = 1'-0"



2 CANOPY PLAN
1/4" = 1'-0"



CANOPY ELEVATION



CANOPY ELEVATION

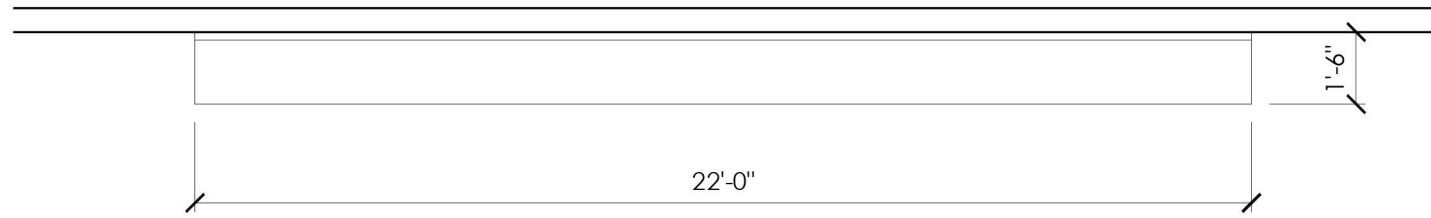
88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

DETAILS

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



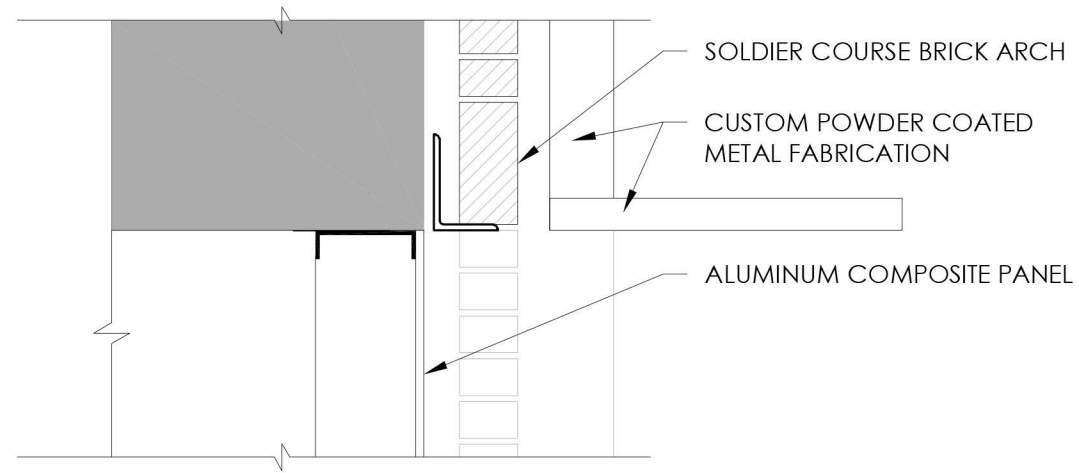
4.2



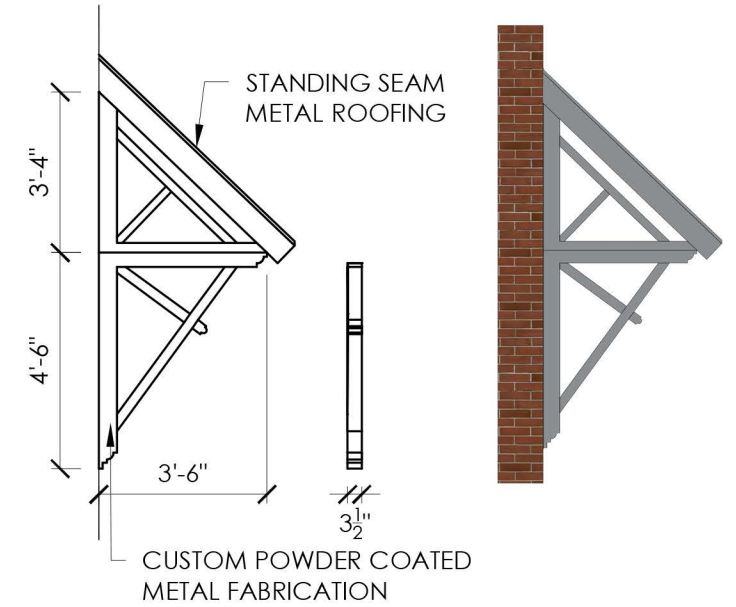
1 CANOPY PLAN
1/4" = 1'-0"



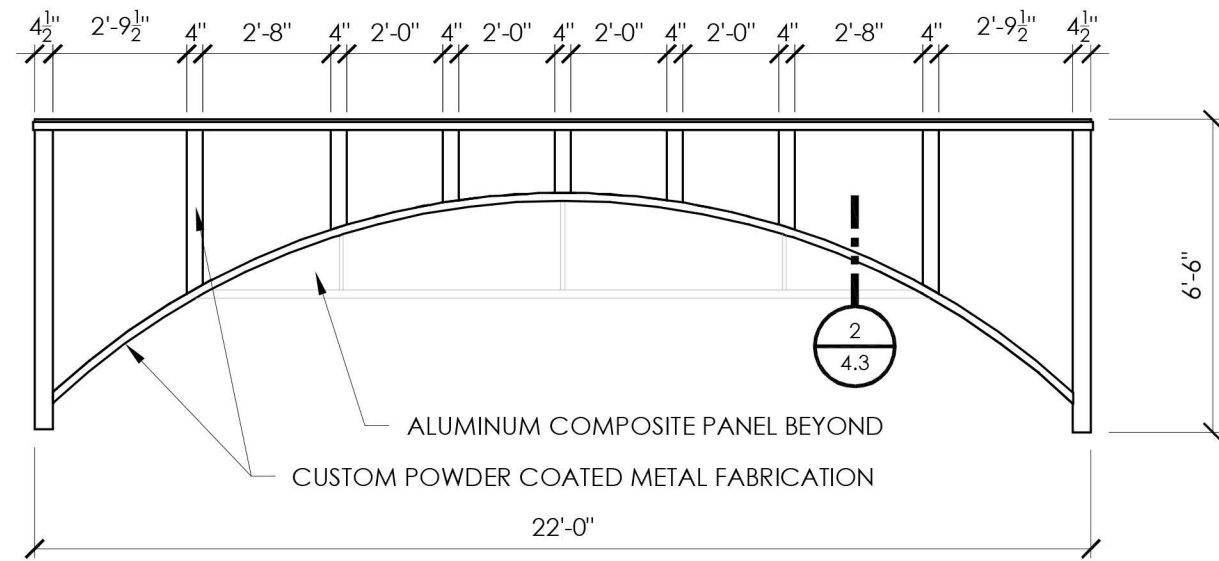
CANOPY ELEVATION



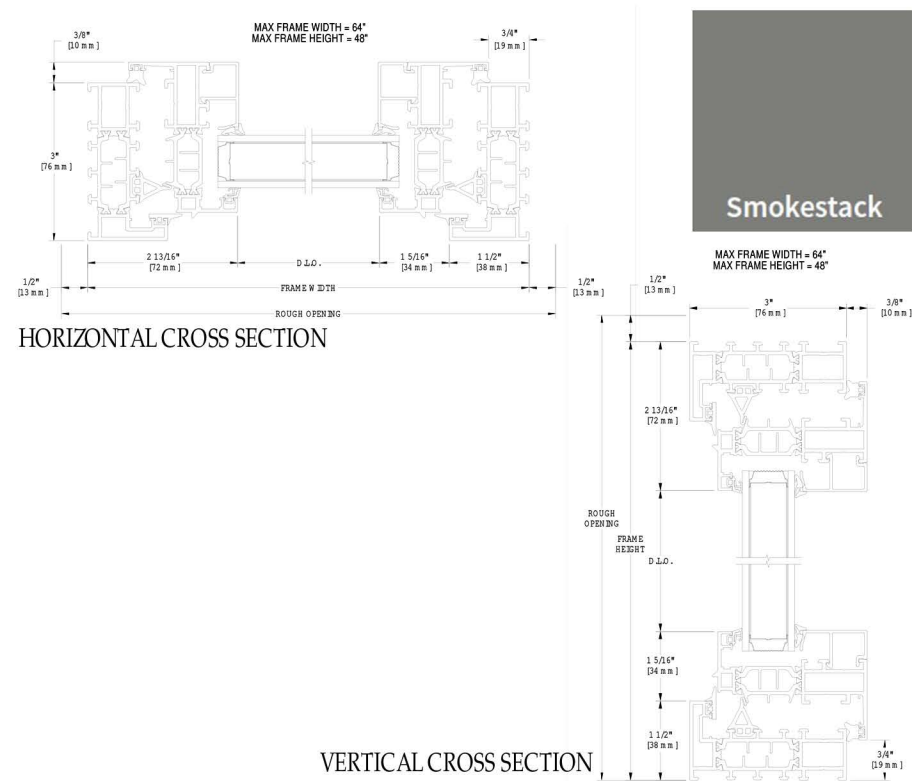
2 BRICK ARCH DETAIL
1" = 1'-0"



3 BRACKET
1/4" = 1'-0"



4 CANOPY ELEVATION
1/4" = 1'-0"



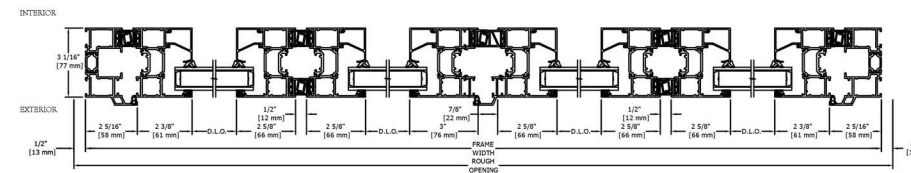
WINDOWS

MANUFACTURER: Kolbe Vista Luxe Series - Awning
COLOR: Smokestack
SPECIFICATION: Extruded Aluminum



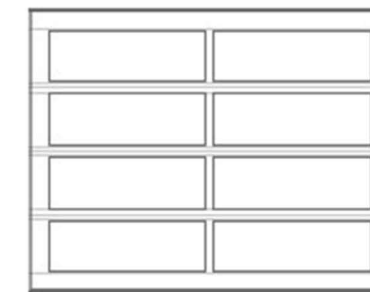
STEEL DOOR

MANUFACTURER: Ceco 84x36 Flush Steel Metal Insulated Exterior Door
COLOR: Charcoal



FOLDING DOORS

MANUFACTURER: Kolbe Vista Luxe Series - Folding Doors
COLOR: Smokestack
SPECIFICATION: Extruded Aluminum

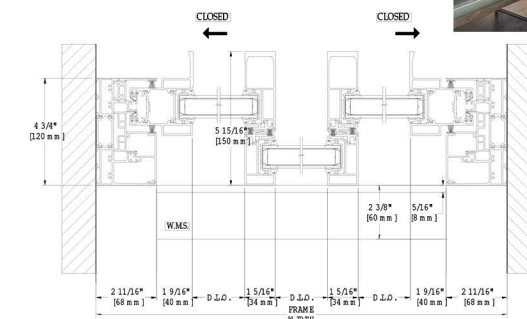


**Common Layout/
Nature**



GARAGE DOOR

MANUFACTURER: Garaga California Collection
COLOR: Charcoal
SPECIFICATION: Aluminum Frame - Sandblasted Glass



SLIDING GLASS DOORS

MANUFACTURER: Kolbe Vista Luxe Series
COLOR: Smokestack
SPECIFICATION: Extruded Aluminum

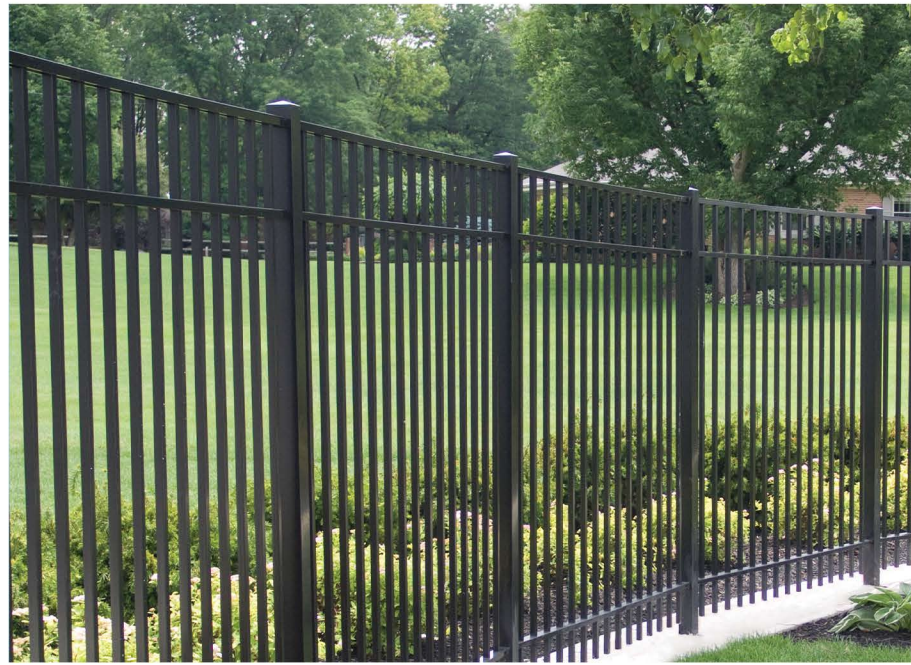
88 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

MATERIALS

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



5.0



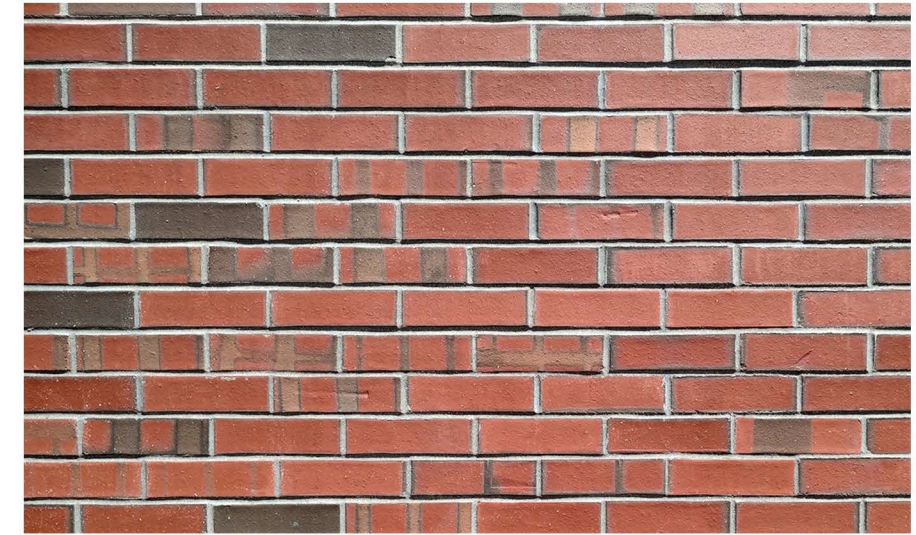
METAL FENCE

MANUFACTURER: TBD
COLOR: Black



RETAINING WALL

MANUFACTURER: ReCon - Rustic Texture
COLOR: Unstained



BRICK

MANUFACTURER: Morin Brick - Academy Smooth
COLOR: Full Range/Commonsets/Darks



ACCENT BRICK

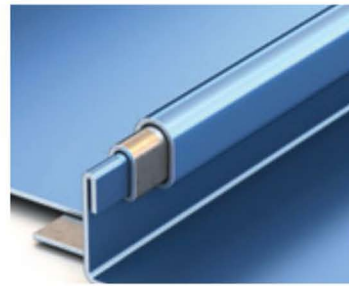
MANUFACTURER: Endicott
COLOR: Manganese Ironspot - Smooth

88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

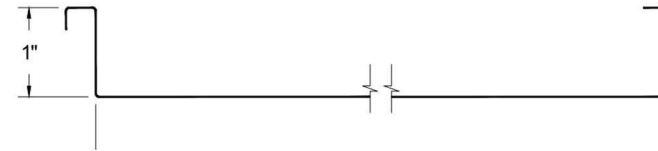
MATERIALS

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



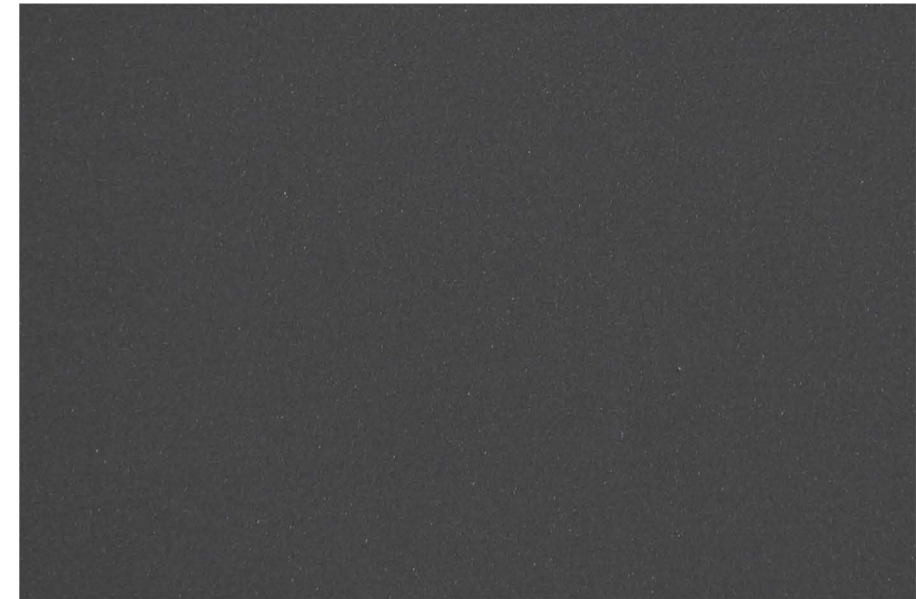


Double lock panel



STANDING SEAM METAL ROOFING

MANUFACTURER: DREXEL DMC 100SS STANDING SEAM
COLOR: Grey



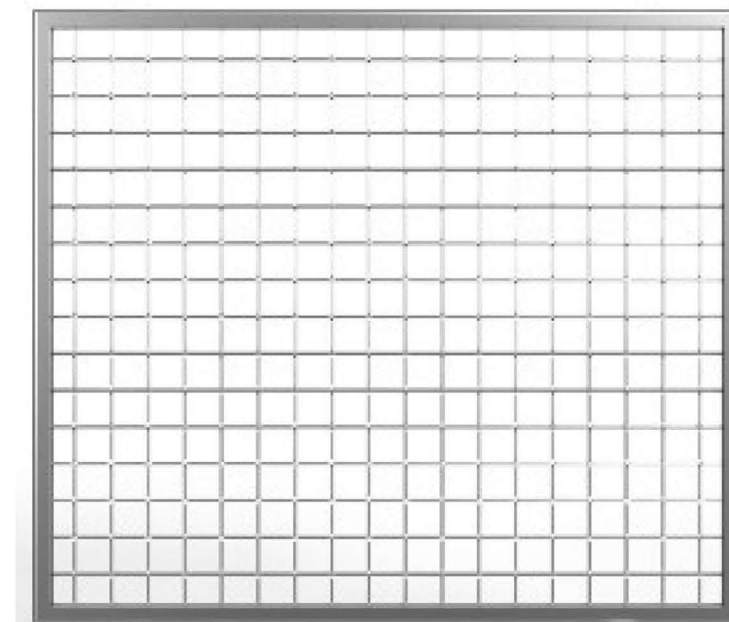
ALUMINUM COMPOSITE PANEL

MANUFACTURER: Alucobond
COLOR: Graphite Mica



GLASS CANOPY

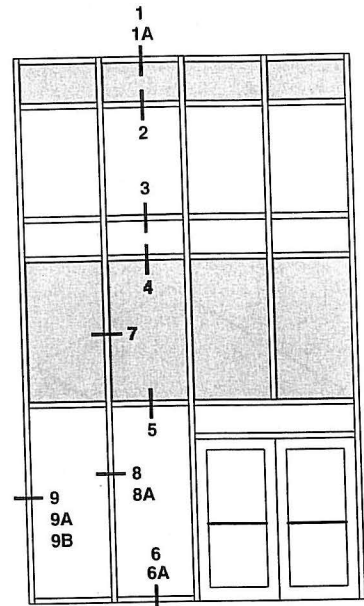
MANUFACTURER: New Hampshire Glass
COLOR: Graphite Mica



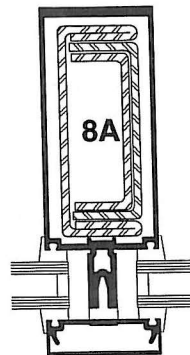
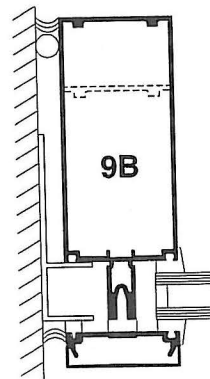
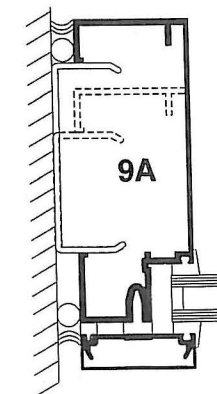
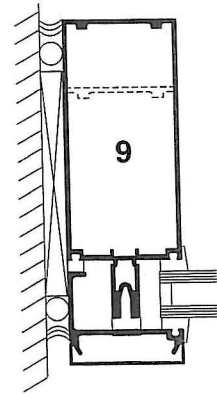
POWDER COATED ALUMINUM MESH PANEL

MANUFACTURER: Custom
COLOR: Charcoal

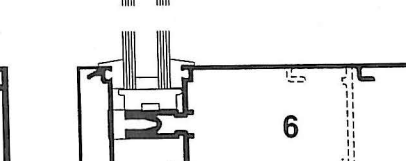
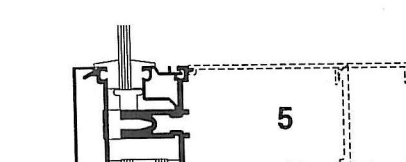
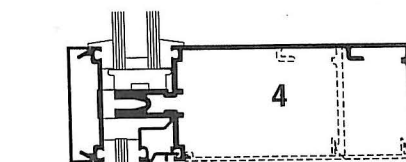
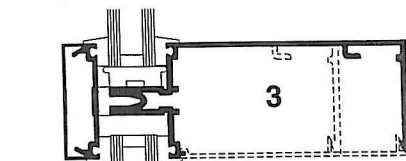
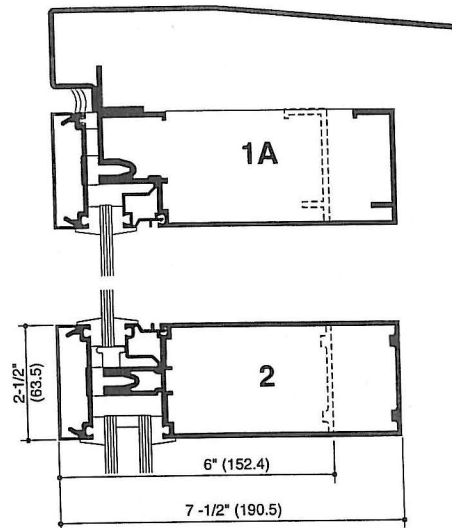
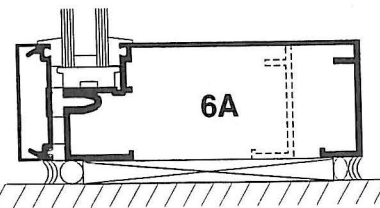
SCALE 3" = 1'-0"



ELEVATION IS NUMBER KEYED TO DETAILS



OPTIONAL STEEL REINFORCING AS REQUIRED

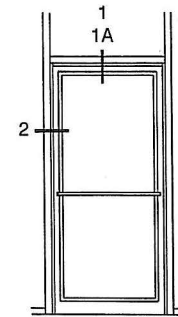


8

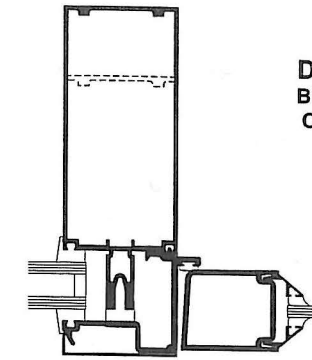
1600 WALL SYSTEM®1

ENTRANCE DETAILS (1" INFILL)

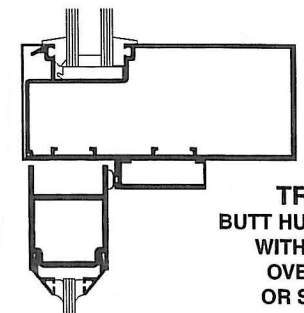
SCALE 3" = 1'-0"



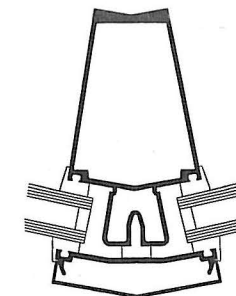
B/H OR O/P



6
DOOR JAMB
BUTT HUNG OR
OFFSET PIVOT



5
TRANSOM BAR
BUTT HUNG OR OFFSET PIVOT
WITH LCN CONCEALED
OVER HEAD CLOSER
OR SURFACE CLOSER



15° TO 25°

OUTSIDE SPLAYED MULLIONS

kawneer.com

KAWNEER 1600 STOREFRONT SYSTEM

MANUFACTURER: Kawneer
COLOR: Charcoal

MATERIALS

88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



5.3

APPENDIX A:
ZONING AND VISION PLAN
SITE AND SURROUNDINGS

88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



A



BUILDING HEIGHT

Legend

*Penthouse Levels may exceed the building height by 2 feet.

1. A short story includes either: 1) use of a top story below the cornice line of a sloped roof that is at least 20% shorter in height than the story below; or 2) a story within a mansard roof with a pitch no greater than 30:12.

2. When a lot is assigned to more than one height requirements standard refer to the requirements listed in Section 10.5A21.22.

3. Attic space within either a gable, gambrel, hip or hip-top mansard roof or a penthouse level on a flat roof is not considered a story. Attic space is permitted above the top story provided the proposed building is no greater than the maximum building height.

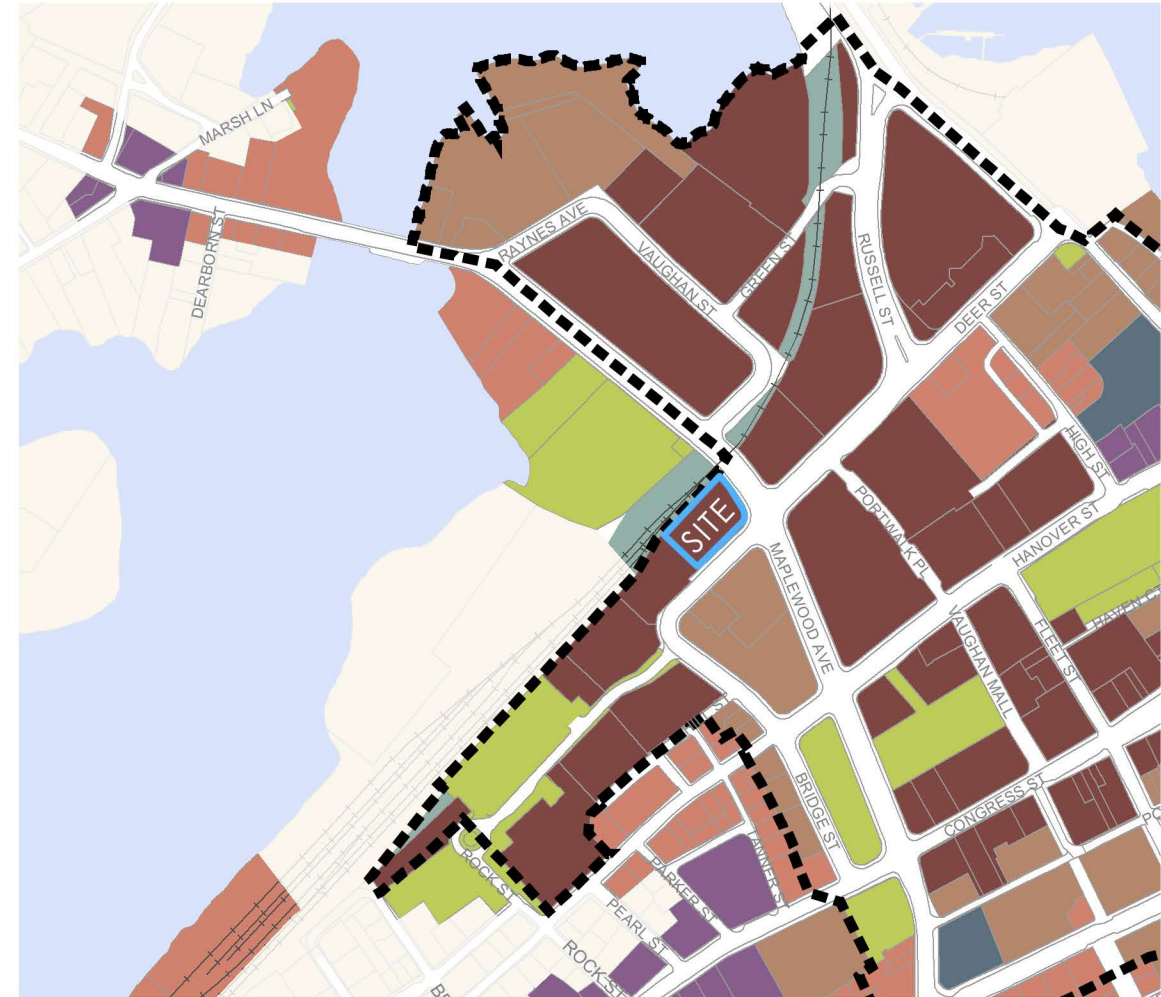
Incentive Overlay Districts

Within the Incentive Overlay Districts, certain specified development standards, including height, density and parking, may be modified pursuant to Section 10.5A47.

•••• North End Incentive Overlay District
Between Maplewood Avenue and Russell Street, the boundary of the North End Incentive Overlay District is established at 100 feet from the mean high water line.

•••• West End Incentive Overlay District
The boundary of the West End Incentive Overlay District is established at 200 feet from the rear lot lines of the abutting Aldrich Road lots and/or 100 feet from the rear lot lines of lots that abut the public or private portions of Chevrolet Avenue, whichever is greater.

Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'



ZONING PLAN

Legend

- ⬜ DOD Downtown Overlay District
- ⬜ HD Historic District

Character Districts

- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-B
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

Civic District

- CIVIC Civic District

Other Districts

- M Municipal District
- TC Transportation Corridor

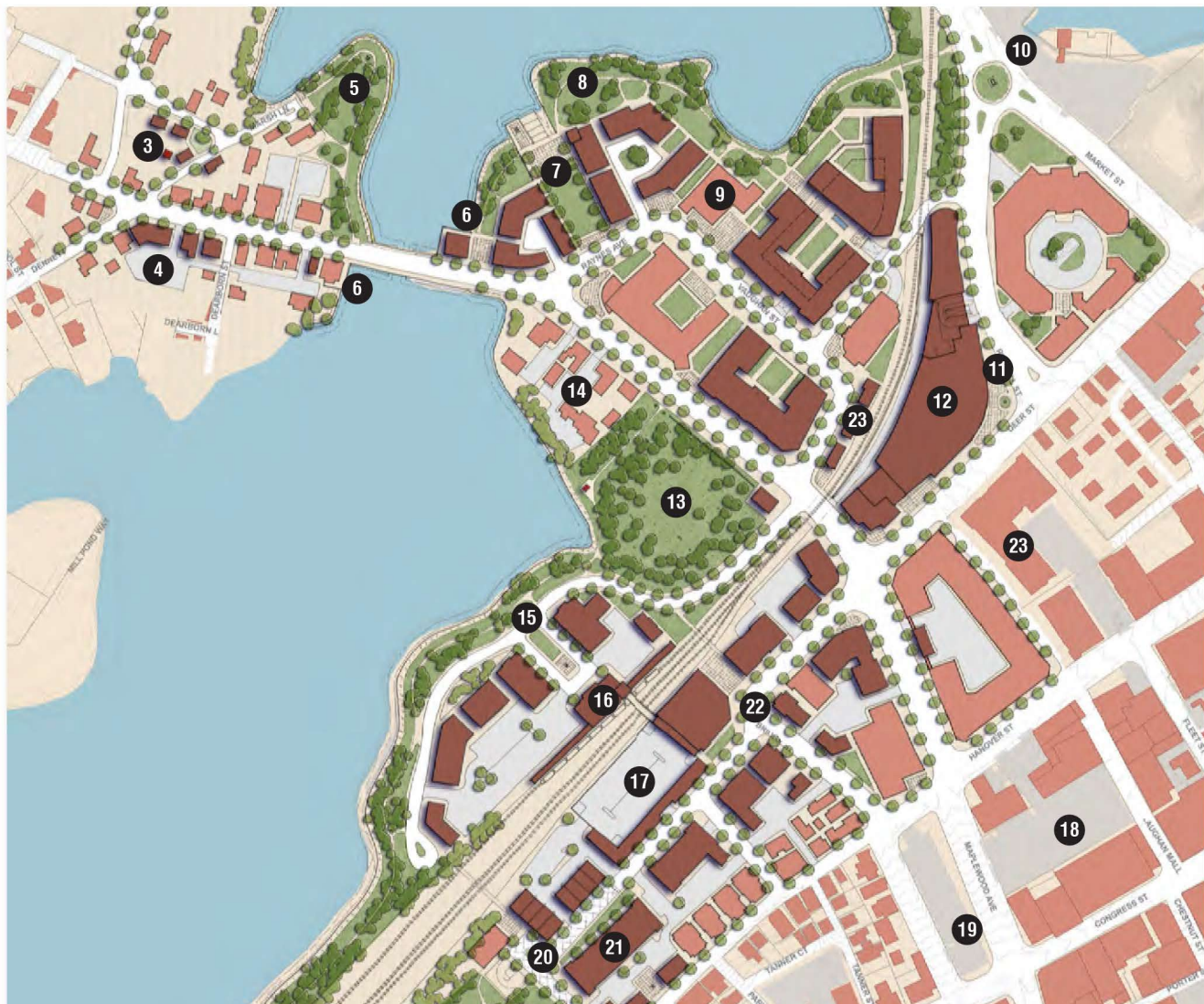
88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

ZONING

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



6.0



NORTH END VISION PLAN
PROPOSED PROJECT SITE

BUILDING DESIGN

The massing strategy of the vision plan is to respond to the surrounding context and viewsheds by stepping down building heights and densities towards the waterfront and existing historic structures. While Portsmouth's downtown is rich in historical architectural styles, public opinion during the charrette expressed a desire for a mixture of contemporary building design, styles types, materials and a wide variety of building height, volumes and massing techniques in the North End. This purposeful distinction will help to define the North End as a unique entity while complementing and contrasting with the historic character of the larger downtown.

- 1 NOBLE'S ISLAND
- 2 ALBACORE MUSEUM
- 3 PSNH SUBSTATION
- 4 MAPLEWOOD/DENNETT GATEWAY REDEVELOPMENT
- 5 MARSH LANE PARK
- 6 WATERFRONT DINING
- 7 MILL POND CIVIC PLAZA & GREEN
- 8 MILL POND WATERFRONT PARK & GREENWAY
- 9 3S ARTSPACE
- 10 MARKET STREET ROUNDABOUT & PARKS
- 11 NORTH END PLAZA
- 12 FUTURE HARBORCORP/WHOLE FOODS CONVENTION CENTER
- 13 UNION CEMETERY/NORTH CEMETERY

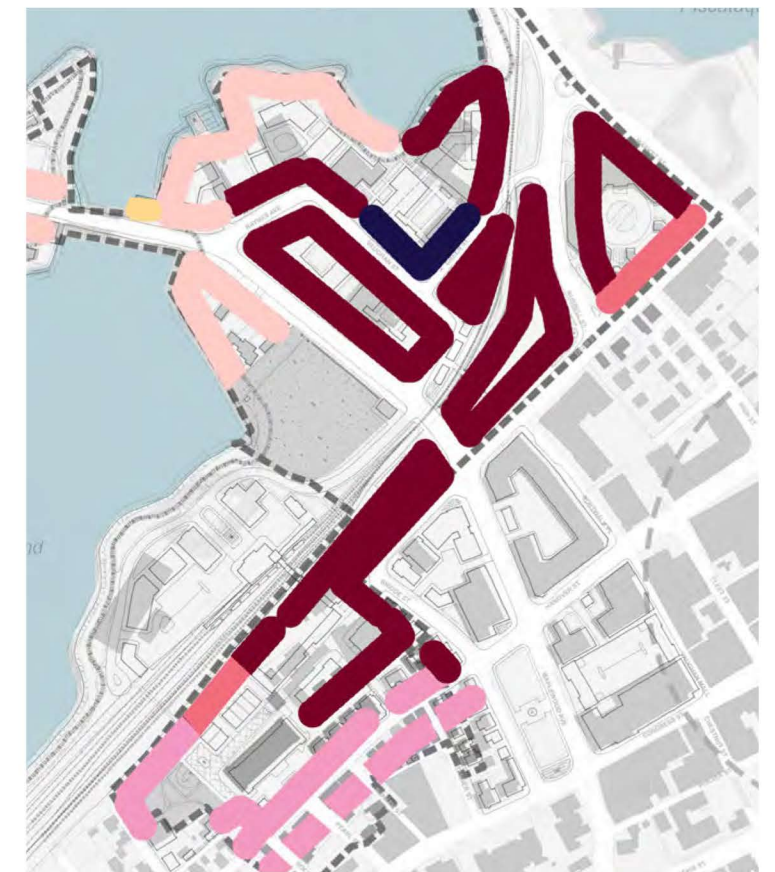
- 14 MAPLEWOOD HISTORIC HOMES
- 15 TRANSIT ORIENTED DEVELOPMENT
- 16 FUTURE PASSENGER RAIL STATION
- 17 FUTURE NORTH END PARKING GARAGE W/ MIXED-USE LINER BUILDING
- 18 FUTURE MAPLEWOOD PARKING GARAGE W/ MIXED-USE LINER BUILDING
- 19 FUTURE MAPLEWOOD AVENUE SQUARE/PARK
- 20 FUTURE ARTISAN/WORKFORCE HOUSING DISTRICT
- 21 FUTURE UPWARD EXTENSION OF HEINEMANN BUILDING
- 22 FUTURE MIXED-USE DISTRICT
- 23 FUTURE INFILL & LINER BUILDINGS

LEGEND

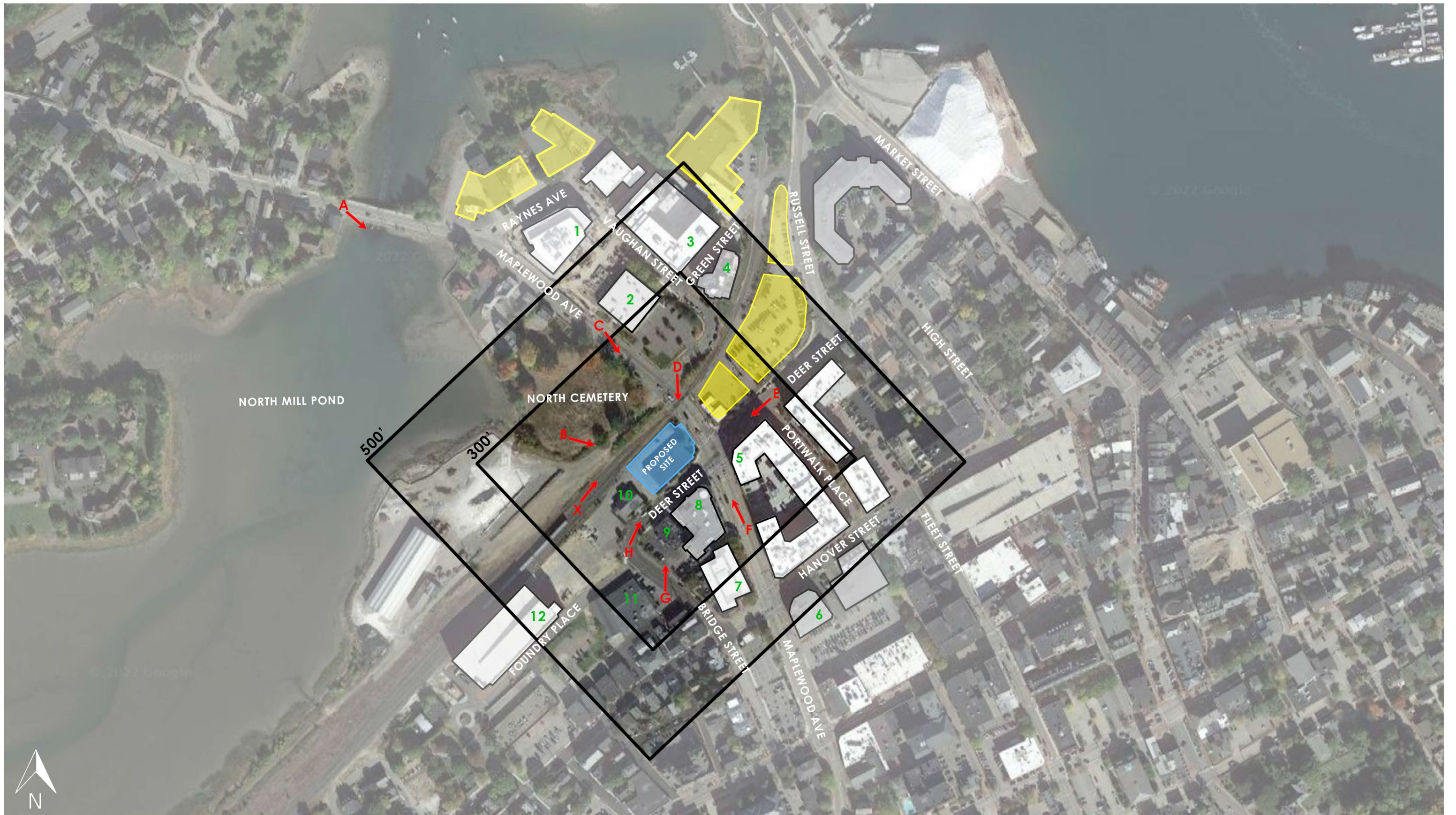
Dark Blue	6 Stories (70')
Dark Red	4-5 Stories (60')
Red	3-4 Stories (50')
Pink	2-3 Stories (45')
Light Pink	* 2 Stories (35')
Yellow	1 Story (20')



NORTH END ARCHITECTURAL STYLE



PRELIMINARY BUILDING HEIGHT MAP



88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

300' & 500' SITE SURROUNDINGS

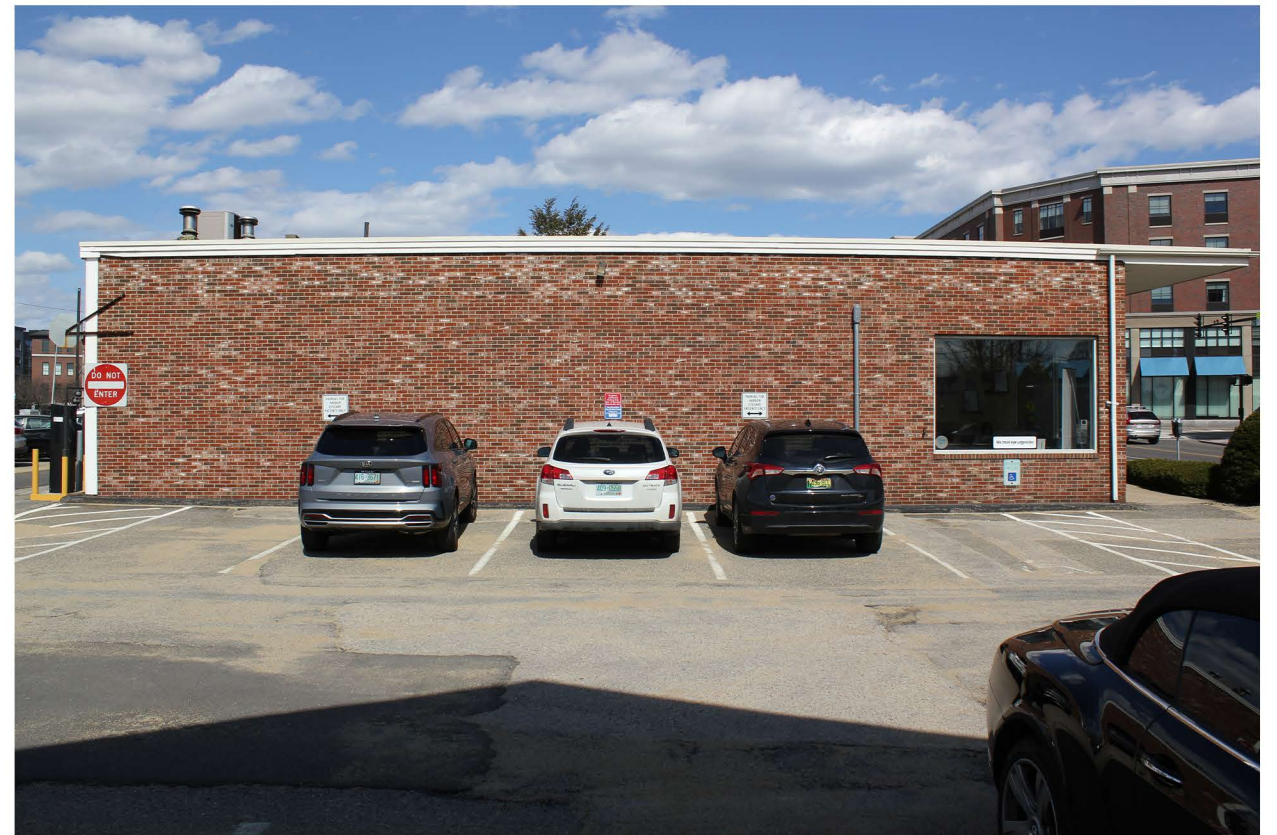
HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022



7.0



DEER STREET ELEVATION



ELEVATION FACING LOT 4



ELEVATION FACING RAILROAD TRACKS



MAPLEWOOD AVE ELEVATION

88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

SITE AND SURROUNDINGS
EXISTING BUILDING

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022





A. VIEW ACROSS NORTH MILL POND TO NORTH CEMETARY



B. VIEW OF THE SITE FROM NORTH CEMETARY



C. VIEW OF THE SITE FROM MAPLEWOOD AVENUE



D. VIEW OF THE SITE FROM VAUGHAN STREET



E. VIEW FROM DEER STREET TO FOUNDRY GARAGE



F. VIEW FROM MAPLEWOOD TOWARD VAUGHAN STREET



G. VIEW OF THE SITE FROM BRIDGE STREET



H. VIEW OF SITE FROM THE CORNER OF BRIDGE STREET



X. VIEW OF RAILROAD TRACKS ABUTTING SITE

88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

SITE AND SURROUNDINGS
PRIMARY VIEWS OF THE SITE
HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022





1 145 MAPLEWOOD



2 111 MAPLEWOOD



3 299 VAUGHAN STREET



4 233 VAUGHAN STREET



5 PORTWALK



6 25 MAPLEWOOD



7 30 MAPLEWOOD



8 46 MAPLEWOOD



9 238 DEER STREET



10 163 DEER STREET



11 126 BRIDGE STREET



12 FOUNDRY PARKING GARAGE

88 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

SITE AND SURROUNDINGS
PROPERTIES WITHIN 300'-500' OF SITE
HDC APPLICATION TO AMEND PREVIOUS APPROVAL: OCTOBER 5, 2022





09/30/2022

LUHD-521

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Aug 18, 2022**Applicant**

Sean Creeley
 sean.creeley@gmail.com
 337 Richards Ave
 Portsmouth, New Hampshire 03801
 6035470509

Primary Location

361 ISLINGTON ST
 Portsmouth, NH 03801

Owner:

IT'S GOOD TO BE KNEADED, LLC
 337 Richards Ave Portsmouth, NH 03801

Application Type**Please select application type from the drop down menu below**

Work Session

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Renovation with an addition.

Description of Proposed Work (Planning Staff)

new construction to an existing structure (add side and rear additions) and renovations to an existing structure (new siding, windows, and mechanical screening)

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Robert Whiteamire

Business Name (if applicable)

WINTER HOLBEN Architecture + Design

Mailing Address (Street)

7 Wallingford Square Unit 209-9

City/Town

Kittery

State

ME

Zip Code

03904

Phone

207.994.3104

Email Address

robert@winterholben.com

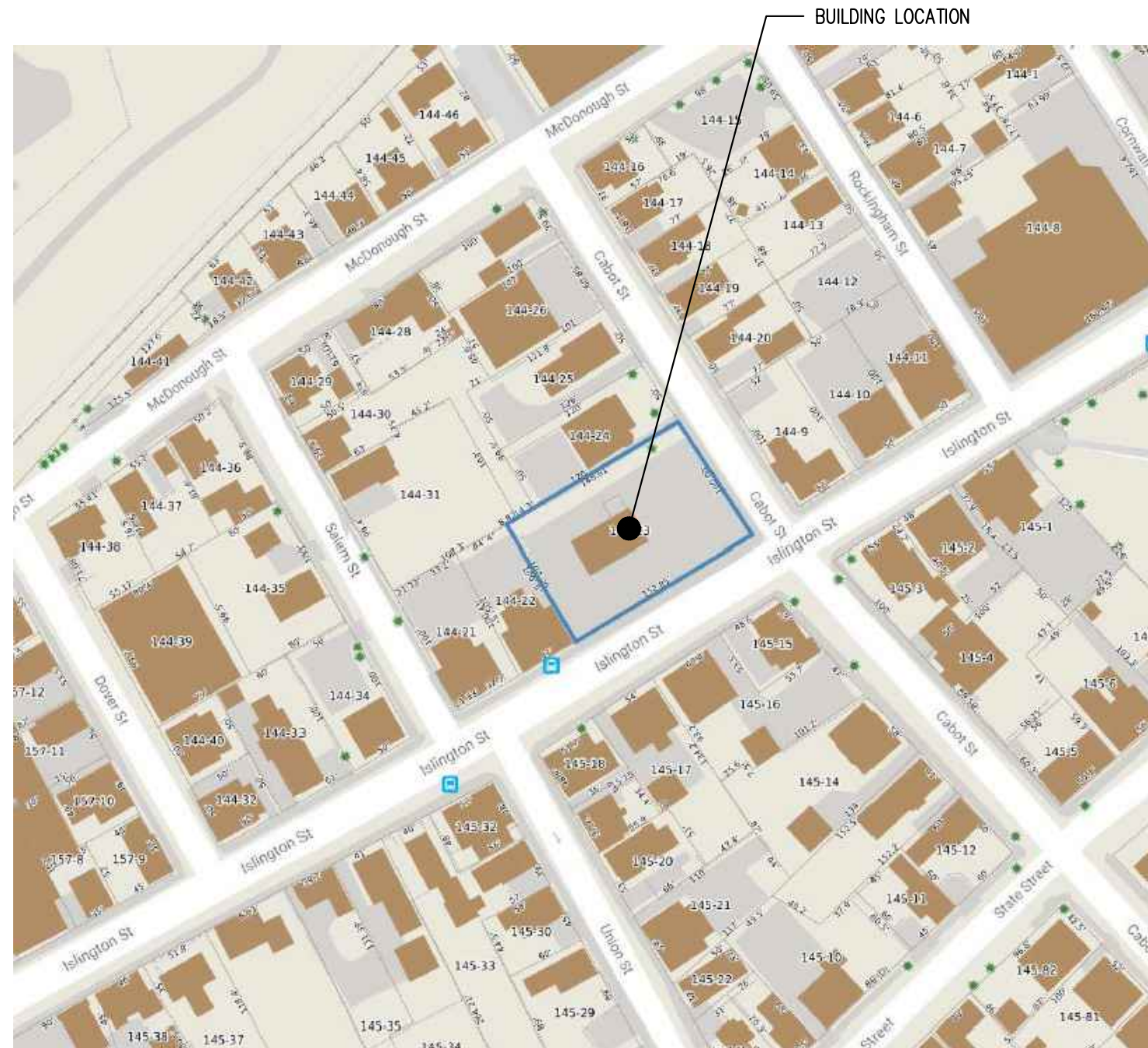
Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

THE GETTY

361 ISLINGTON STREET
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING - 10/05/2022

PREVIOUS SUBMISSIONS:
WORK SESSION - 09/07/2022

SITE LOCATION MAP:



DESIGN INTENT:

- TRANSFORM THE FORMER GAS STATION / FORMER OUTDOOR FOOD TRUCK COURT INTO A FULL SERVICE RESTAURANT WITH INDOOR AND OUTDOOR SEATING.
- ADD TO THE VITALITY OF ISLINGTON STREET WITH THE ADDITION OF A PUBLIC GATHERING SPACE.
- CONSTRUCT A SMALL ADDITION TO THE WEST OF THE EXISTING STRUCTURE TO REPLACE A LARGE GLAZED GARAGE DOOR TO CREATE A BUFFER TO THE NEIGHBORING PROPERTY.
- CONSTRUCT AN ADDITION TO THE NORTH OF THE EXISTING STRUCTURE TO PROVIDE SPACE FOR KITCHEN, COOLING EQUIPMENT, AND NEW RESTROOMS FOR THE RESTAURANT.
- ALTER THE EXISTING CANOPY TO CREATE OUTDOOR SEATING AREAS THAT ARE BOTH FULLY COVERED AND PARTIALLY COVERED.
- LANDSCAPING AND PLANTERS WILL BE CONSTRUCTED TO CREATE A BUFFER BETWEEN THE SEATING AND STREETScape AREAS.
- EXISTING WINDOWS AND DOORS WILL BE REPAIRED AND/OR REPLACED. NEW WOOD AND METAL CLADDING WILL BE INSTALLED OVER PORTIONS OF THE EXISTING CONCRETE BLOCK. OTHER AREAS OF CONCRETE BLOCK SHALL BE PAINTED.
- A FENCE WILL BE PROVIDED ALONG THE NORTH RETAINING WALL AS A BUFFER BETWEEN THE PARKING AND THE NEIGHBORING PROPERTY.

DRAWING INDEX:

GENERAL

- T0.1 TITLE SHEET
- T1.0 EXISTING SITE PHOTOS

EXISTING DRAWINGS

- AE1.0 EXISTING SITE PLAN
- AE1.1 EXISTING FLOOR PLAN
- AE2.0 EXISTING ELEVATIONS
- AE2.1 EXISTING ELEVATIONS

ARCHITECTURAL DRAWINGS

- A1.0 PROPOSED SITE PLAN
- A1.1 PROPOSED FLOOR PLAN
- A2.0 PROPOSED ELEVATIONS
- A2.1 PROPOSED ELEVATIONS
- A5.0 SECTIONS AND DETAILS
- A7.0 DOOR AND WINDOW TYPES
- A8.0 PERSPECTIVE IMAGES
- A8.1 BEFORE/AFTER IMAGES
- A9.0 MATERIAL INSPIRATION
- A9.1 PRODUCT DATA

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

WINTER HOLBEN
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME:
Cover

SCALE:
DRAWING NO.:

T0.1



EXISTING EAST ELEVATION



EXISTING NORTH EAST BUILDING CORNER



EXISTING NORTH WEST BUILDING CORNER



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING SOUTH ELEVATION

THE GETTY
 361 ISLINGTON STREET
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:

KEY:

**WINTER
 HOLBEN**
 architecture + design

7 WALLINGFORD SQ
 UNIT 209-9
 KITTERY, MAINE 03904
 207.994.3104

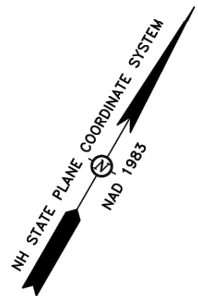
REVISIONS:

PROJECT NAME:
 THE GETTY
 361 ISLINGTON ST.
 PORTSMOUTH, NH 03801
 PROJECT NO.: 22063
 DRAWN BY: BH, RW
 APPROVED BY: BH
 ISSUE DATE: 2022/09/16
 DRAWING NAME:
 EXISTING PHOTOS

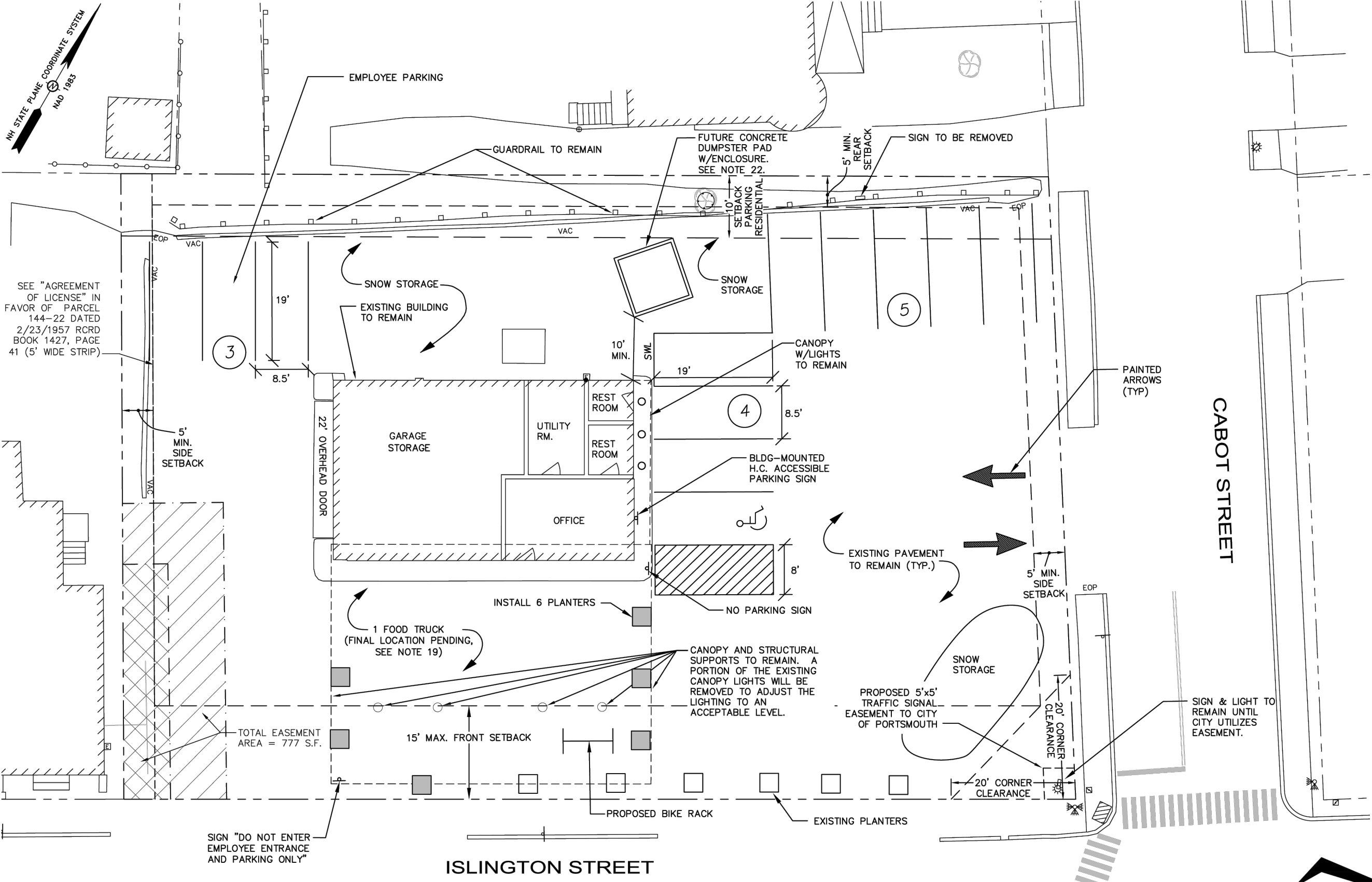
SCALE:

DRAWING NO.:

T1.0



SEE "AGREEMENT OF LICENSE" IN FAVOR OF PARCEL 144-22 DATED 2/23/1957 RCRD BOOK 1427, PAGE 41 (5' WIDE STRIP)



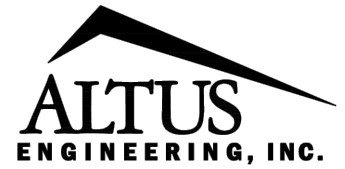
SIGN "DO NOT ENTER EMPLOYEE ENTRANCE AND PARKING ONLY"

ISLINGTON STREET

CABOT STREET

EXISTING SITE PLAN
SCALE: 1/16"=1'-0"

AE1.0 1



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

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architecture + design

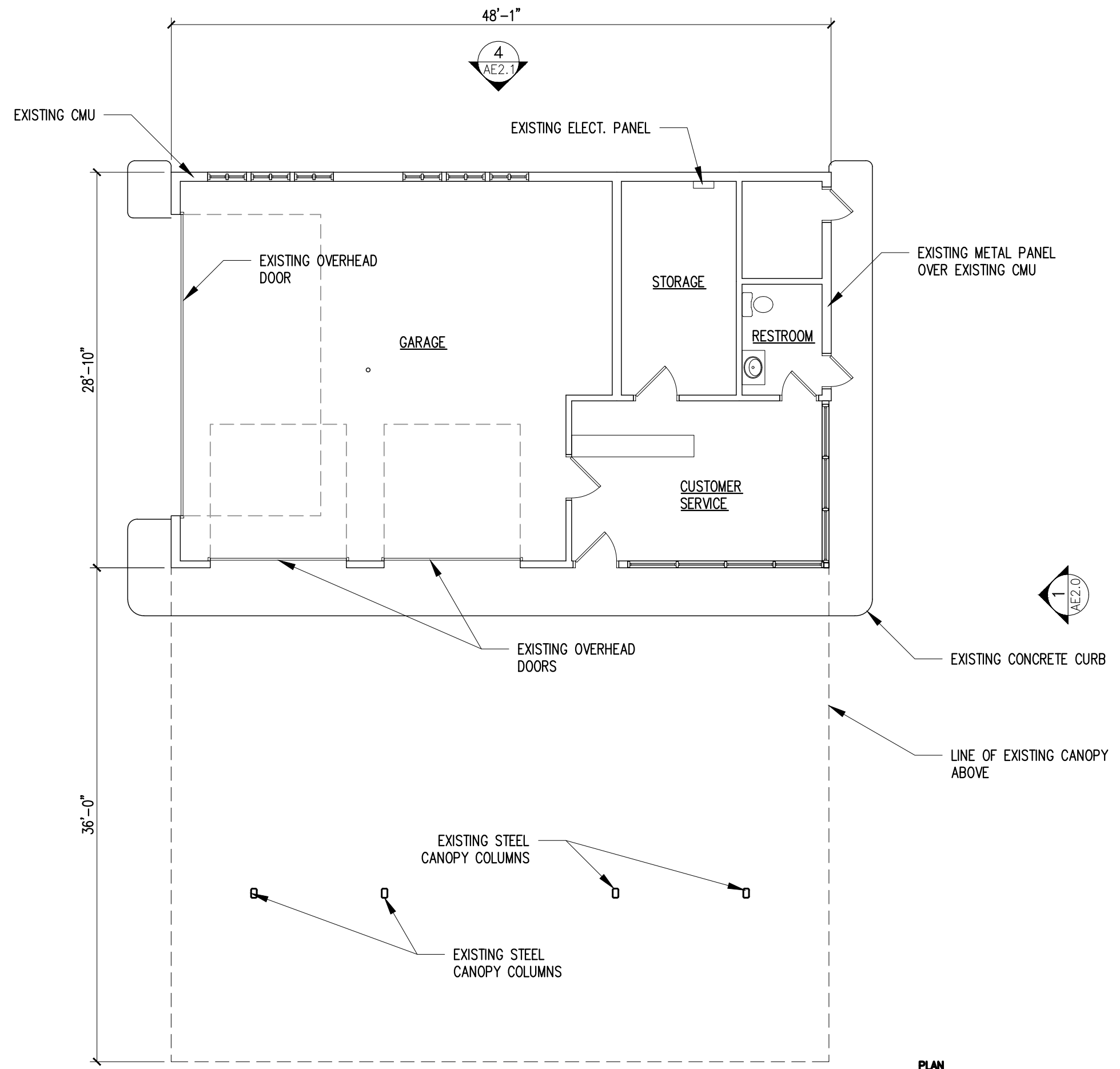
7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME: THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME: EXISTING SITE PLAN

SCALE:
DRAWING NO.:

AE1.0



EXISTING FLOOR PLAN
SCALE: 1/8"=1'-0"



THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
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WINTER HOLBEN
architecture + design

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UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

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PROJECT NAME:
THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16

DRAWING NAME:
EXISTING FLOOR PLAN

SCALE:
DRAWING NO.:

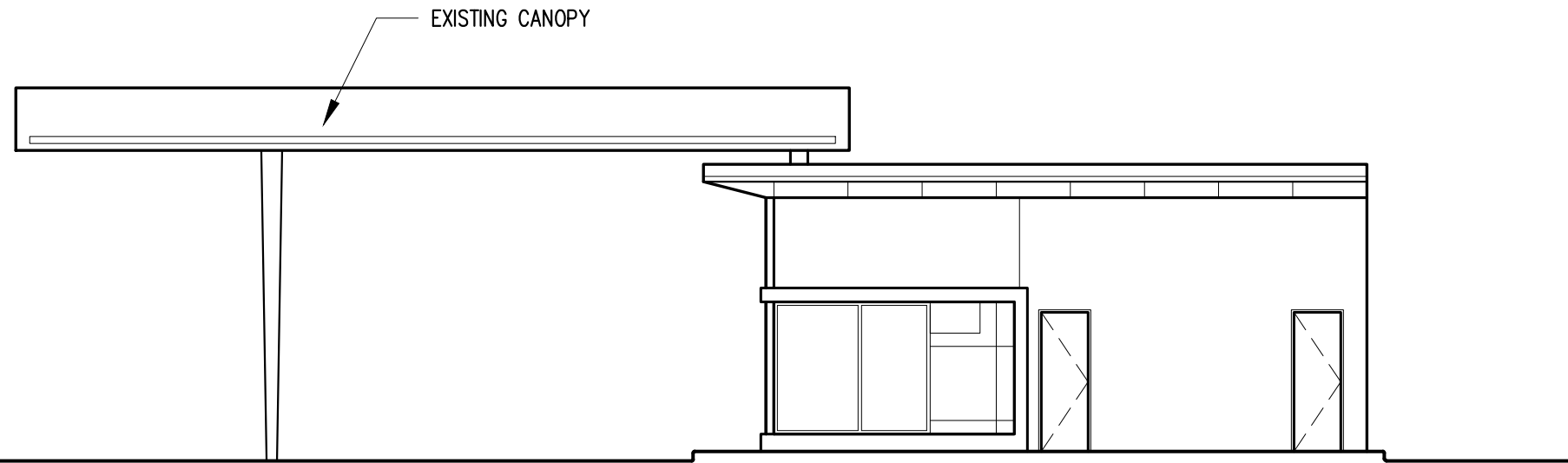
AE1.1

⊕ TOP OF CANOPY
ELEV = +17'-5"

⊕ TOP OF ROOF
ELEV = +13'-9"

⊕ FIRST FLOOR
ELEV = +0'-0"

⊕ GRADE
ELEV = (-0'-5 1/2")



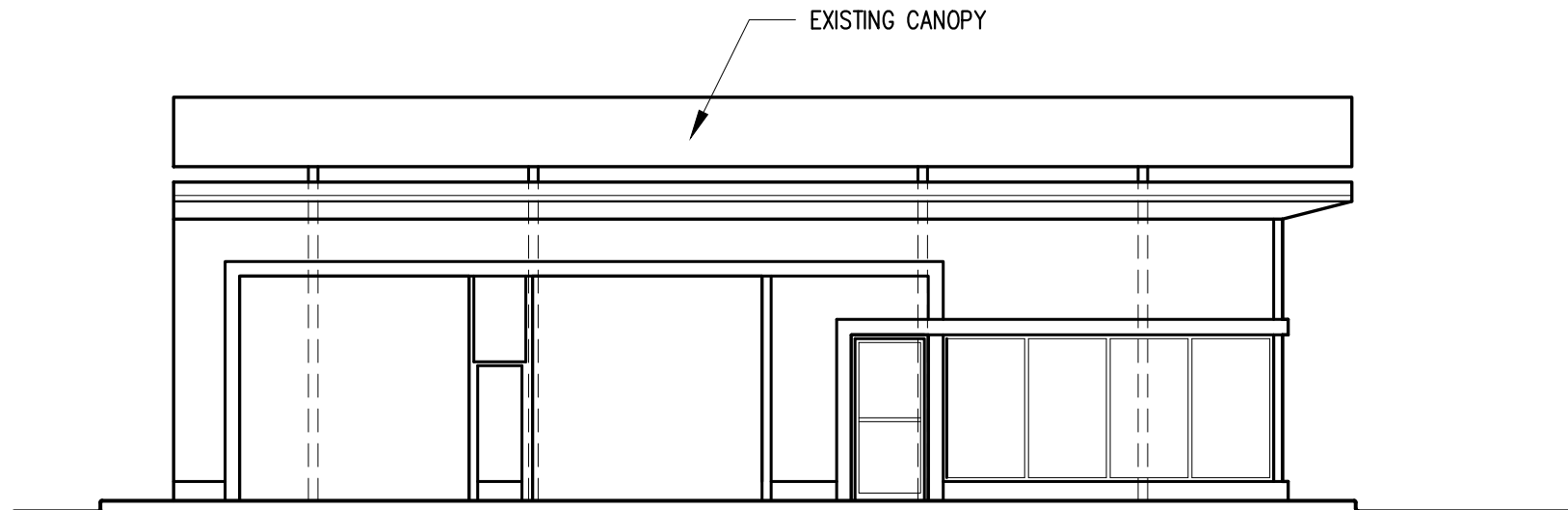
EXISTING EAST ELEVATION
SCALE: 1/8"=1'-0" AE2.0 1

⊕ TOP OF CANOPY
ELEV = +17'-5"

⊕ TOP OF ROOF
ELEV = +13'-9"

⊕ FIRST FLOOR
ELEV = +0'-0"

⊕ GRADE
ELEV = (-0'-5 1/2")



EXISTING SOUTH ELEVATION
SCALE: 1/8"=1'-0" AE2.0 2

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

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UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16

DRAWING NAME:
EXISTING
ELEVATIONS

SCALE:
DRAWING NO.:

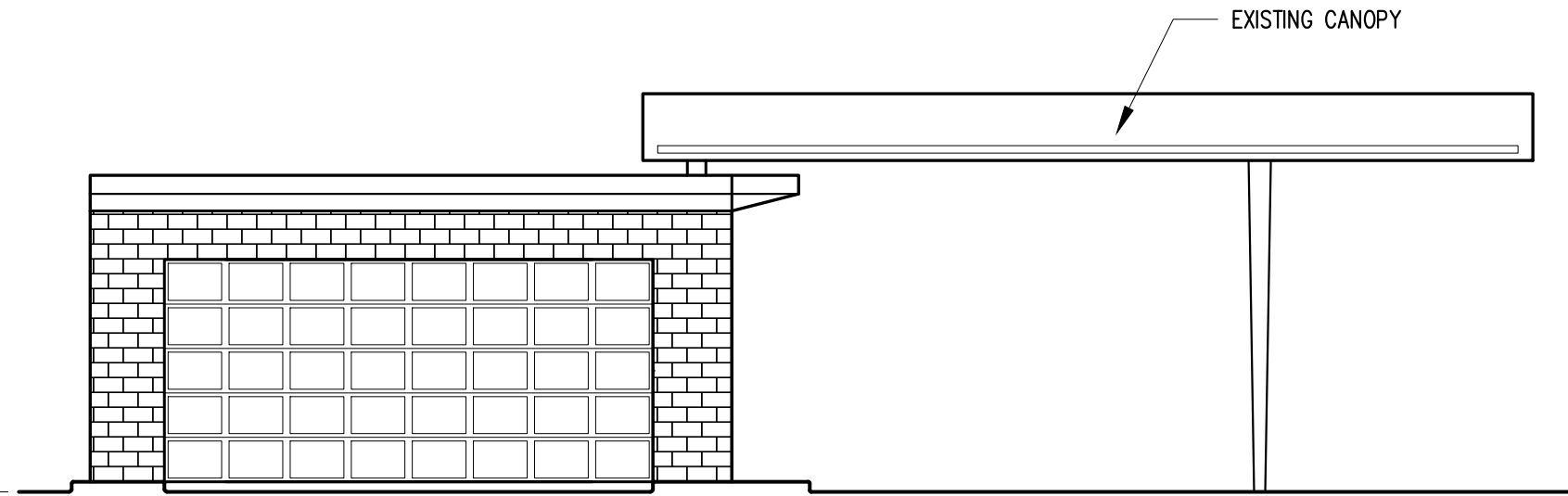
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⊕ TOP OF CANOPY
ELEV = +17'-5"

⊕ TOP OF ROOF
ELEV = +13'-9"

⊕ FIRST FLOOR
ELEV = +0'-0"

⊕ GRADE
ELEV = (-0'-5 1/2")



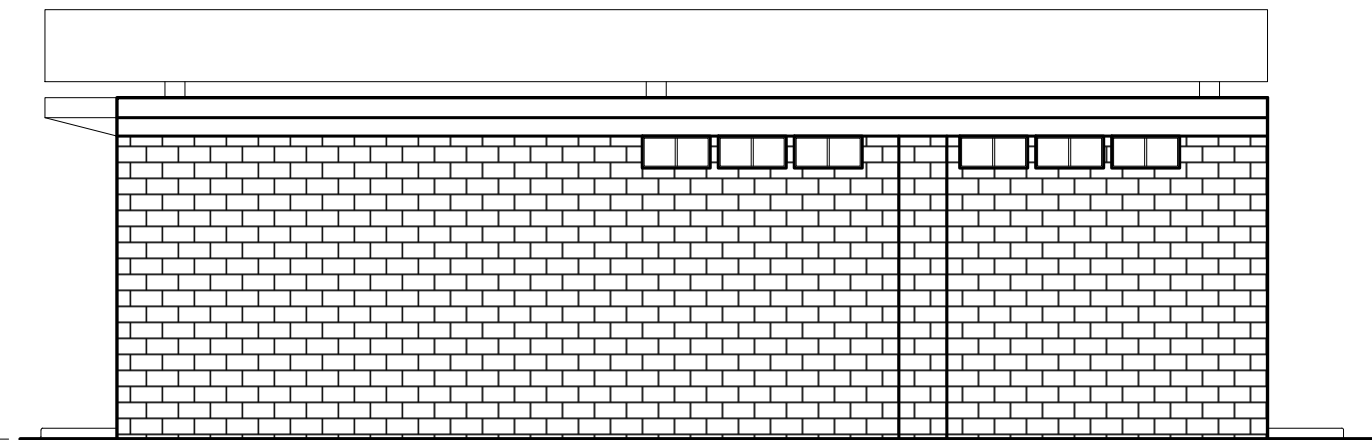
EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0" AE2.0 3

⊕ TOP OF CANOPY
ELEV = +17'-5"

⊕ TOP OF ROOF
ELEV = +13'-9"

⊕ FIRST FLOOR
ELEV = +0'-0"

⊕ GRADE
ELEV = (-0'-5 1/2")



EXISTING NORTH ELEVATION
SCALE: 1/8"=1'-0" AE2.0 4

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

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KITTERY, MAINE 03904
207.994.3104

REVISIONS:

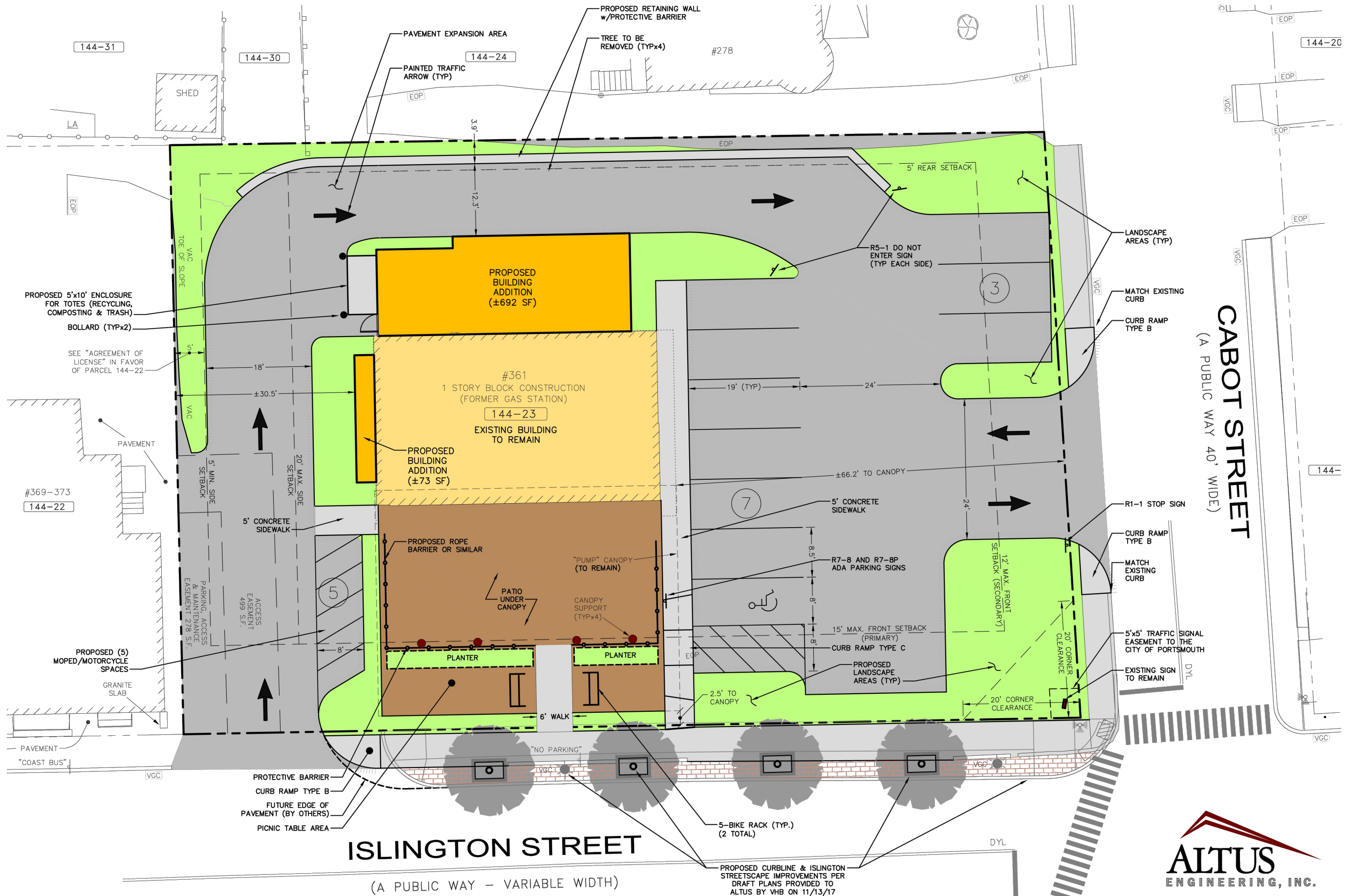
PROJECT NAME:
THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME:

EXISTING
ELEVATIONS

SCALE:
DRAWING NO.:

AE2.1

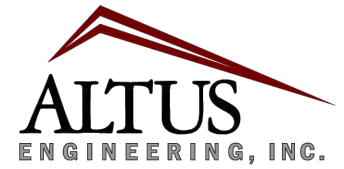


ISLINGTON STREET

(A PUBLIC WAY - VARIABLE WIDTH)

PROPOSED SITE PLAN
SCALE: 1/16"=1'-0"

A1.0



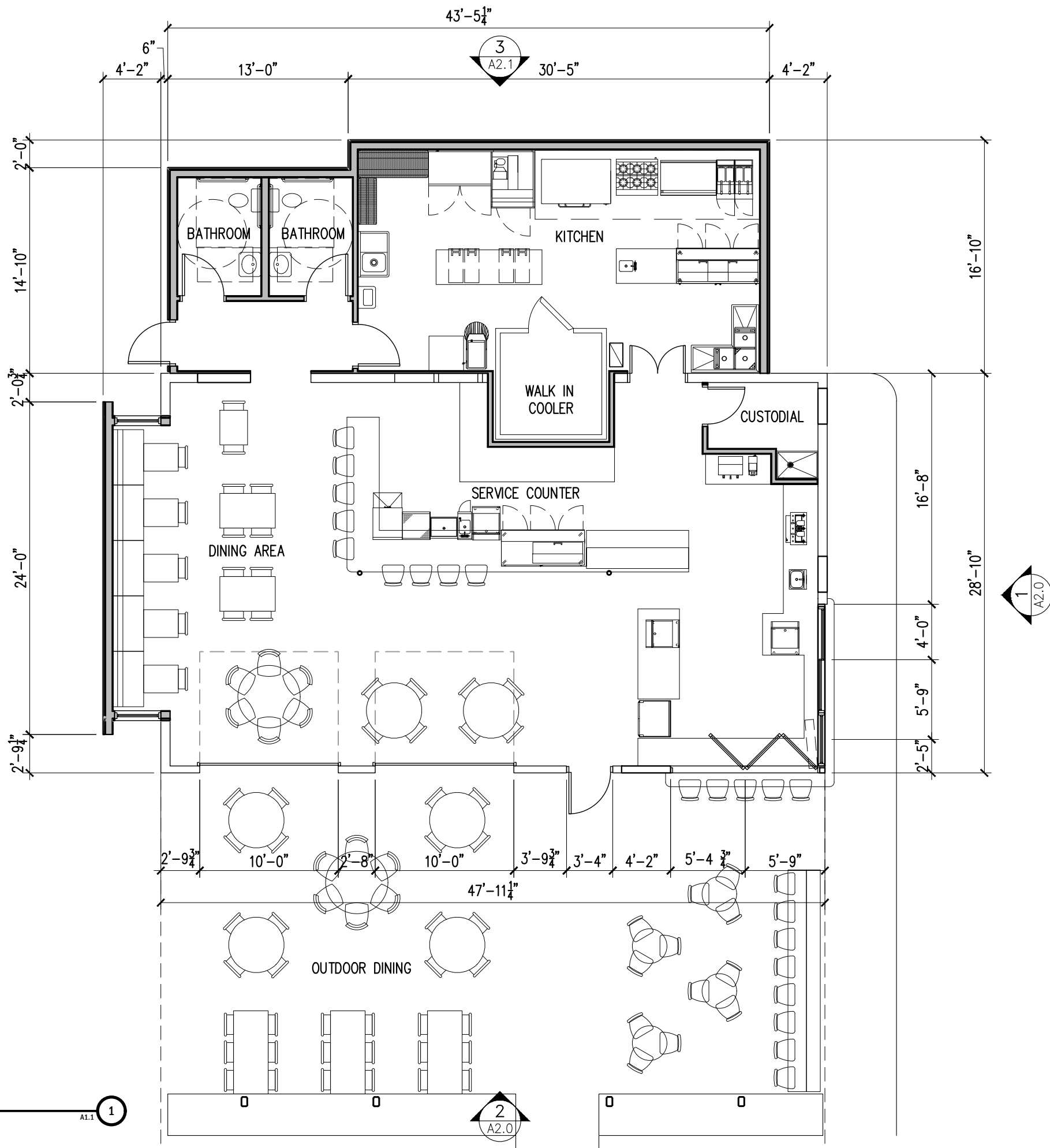
133 Court Street
(603) 433-2335
Portsmouth, NH 03801
www.altus-eng.com

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:
WINTER HOLBEN
architecture + design
7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:
PROJECT NAME:
THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME:
PROPOSED SITE PLAN
SCALE:
DRAWING NO.:

A1.0



PROPOSED FLOOR PLAN
SCALE: 1/8"=1'-0"

A1.1 1

PLAN KEY NOTES:	
1	LINE OF EXISTING CANOPY ABOVE
2	FOLDING WINDOW TO EXTERIOR SEATING

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

WINTER HOLBEN
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTEERY, MAINE 03904
207.994.3104

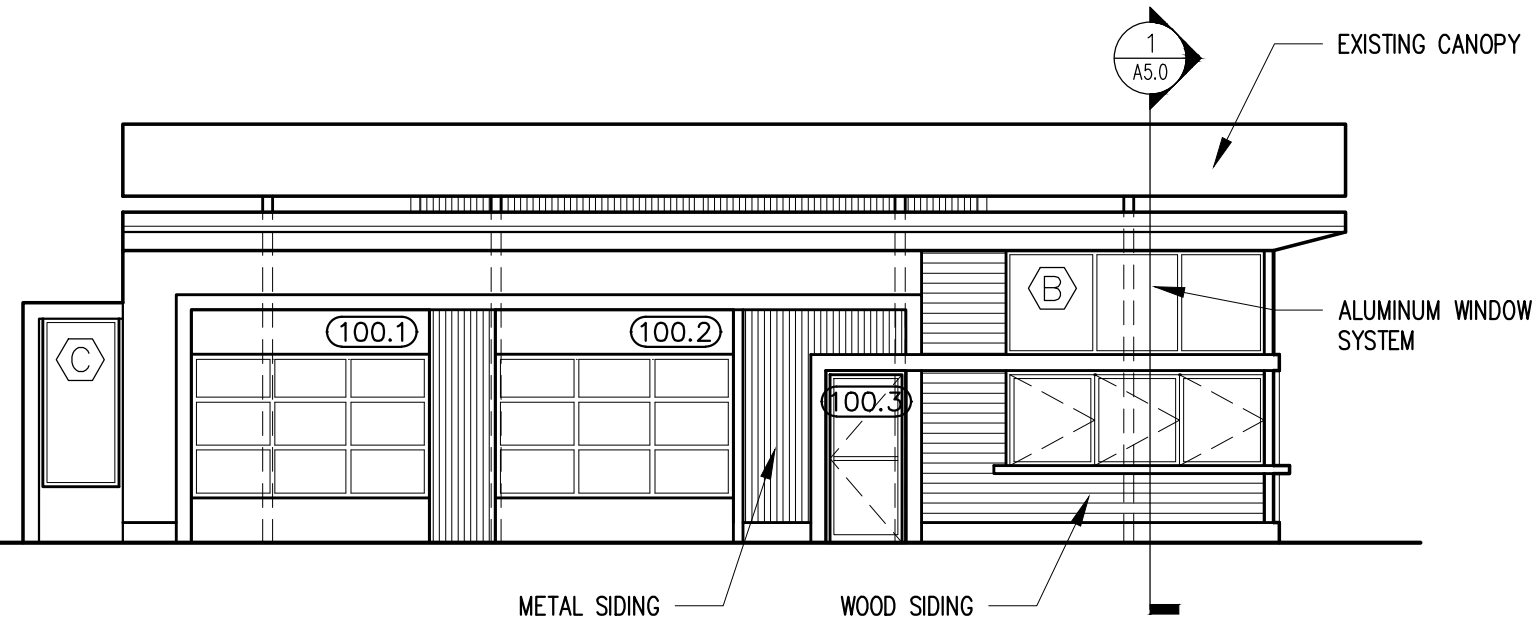
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361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME: PROPOSED FLOOR PLAN

SCALE:
DRAWING NO.:

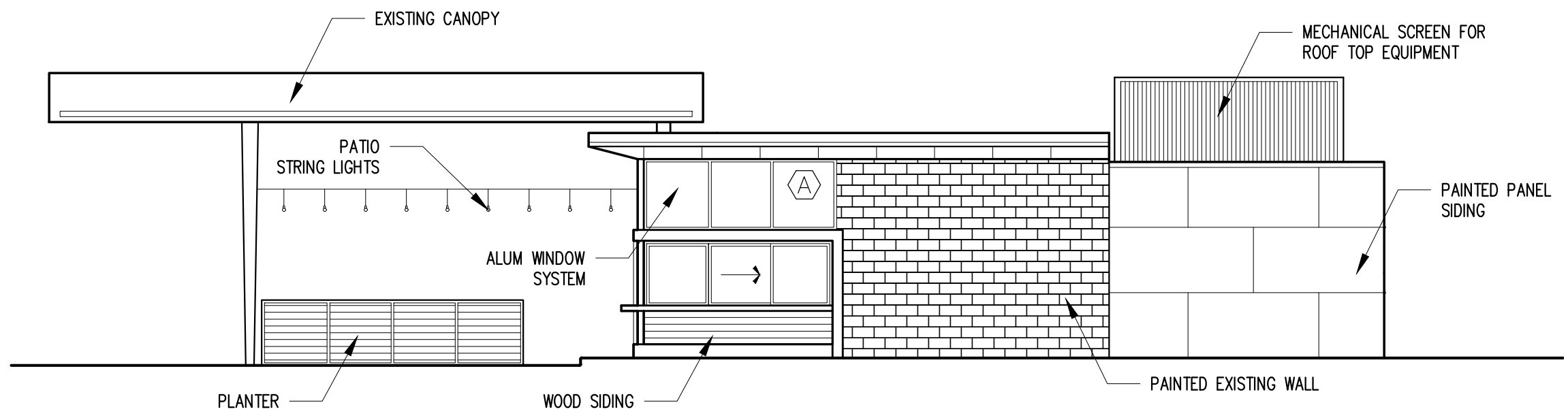
A1.1

- ⊕ TOP OF CANOPY
ELEV = +17'-5"
- ⊕ TOP OF SCREENING
ELEV = +17'-4"
- ⊕ TOP OF ROOF
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF
ELEV = +12'-0"
- ⊕ FIRST FLOOR
ELEV = +0'-0"
- ⊕ GRADE
ELEV = (-0'-5 1/2")



PROPOSED SOUTHEAST ELEVATION
SCALE: 1/8"=1'-0" A2.0 1

- ⊕ TOP OF CANOPY
ELEV = +17'-5"
- ⊕ TOP OF SCREENING
ELEV = +17'-4"
- ⊕ TOP OF ROOF
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF
ELEV = +12'-0"
- ⊕ FIRST FLOOR
ELEV = +0'-0"
- ⊕ GRADE
ELEV = (-0'-5 1/2")



PROPOSED NORTHEAST ELEVATION
SCALE: 1/8"=1'-0" A2.0 2

THE GETTY
 361 ISLINGTON STREET
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

WINTER HOLBEN
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTEERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
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PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME:

PROPOSED ELEVATIONS

SCALE:
DRAWING NO.:

A2.0

PROJECT:
 KEY:

**WINTER
 HOLBEN**
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 207.994.3104

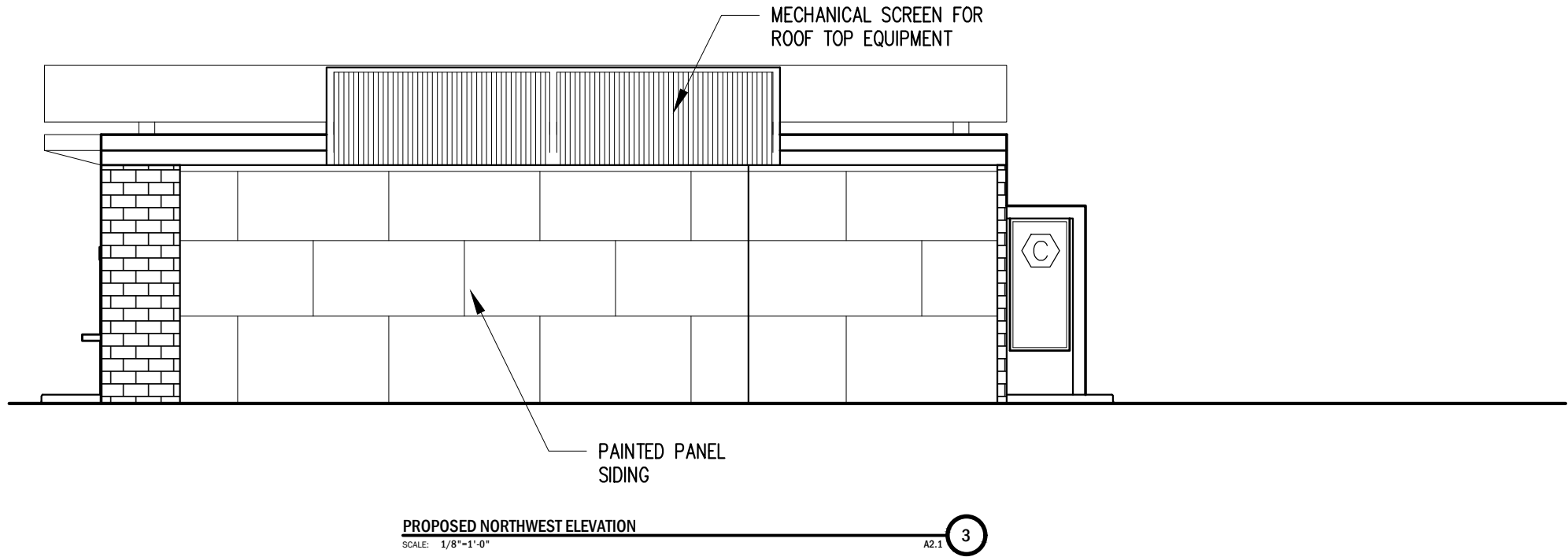
REVISIONS:

PROJECT NAME:
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 ISSUE DATE: 2022/09/16

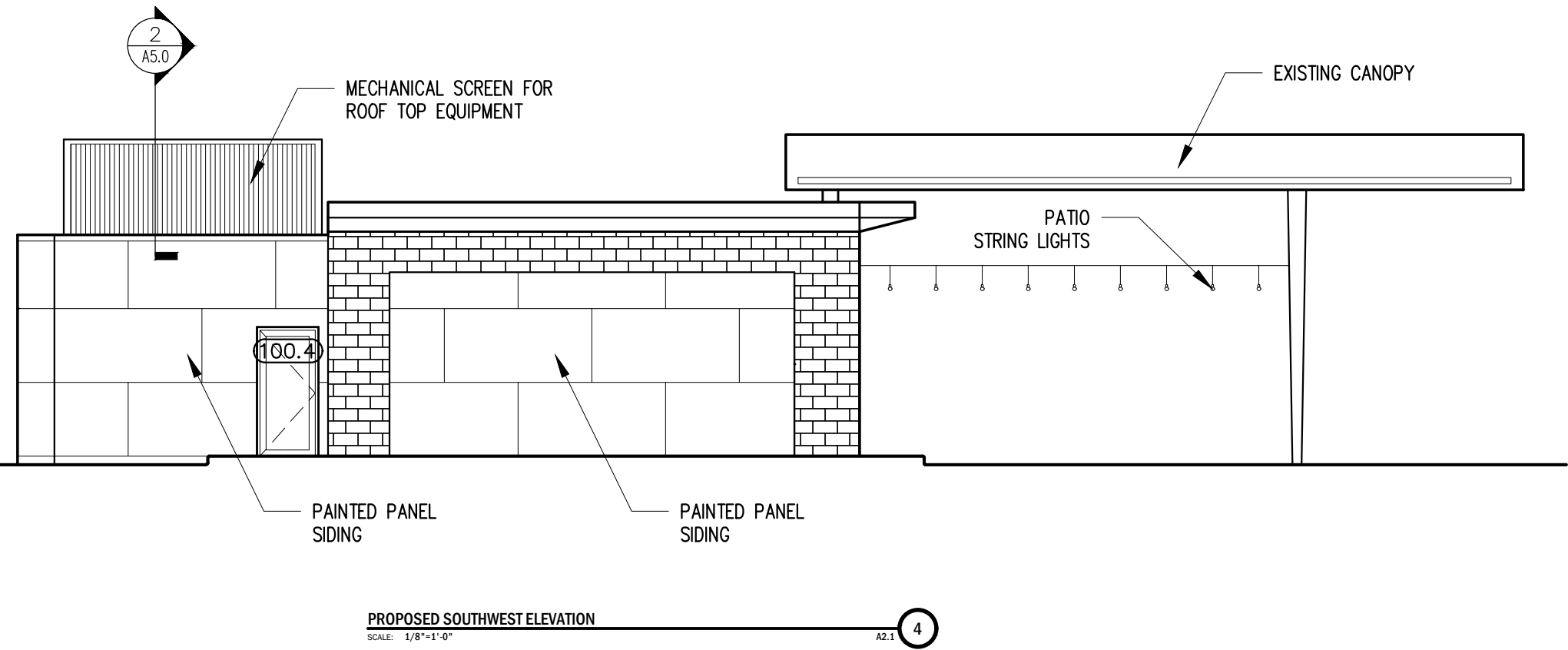
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 PROPOSED
 ELEVATIONS

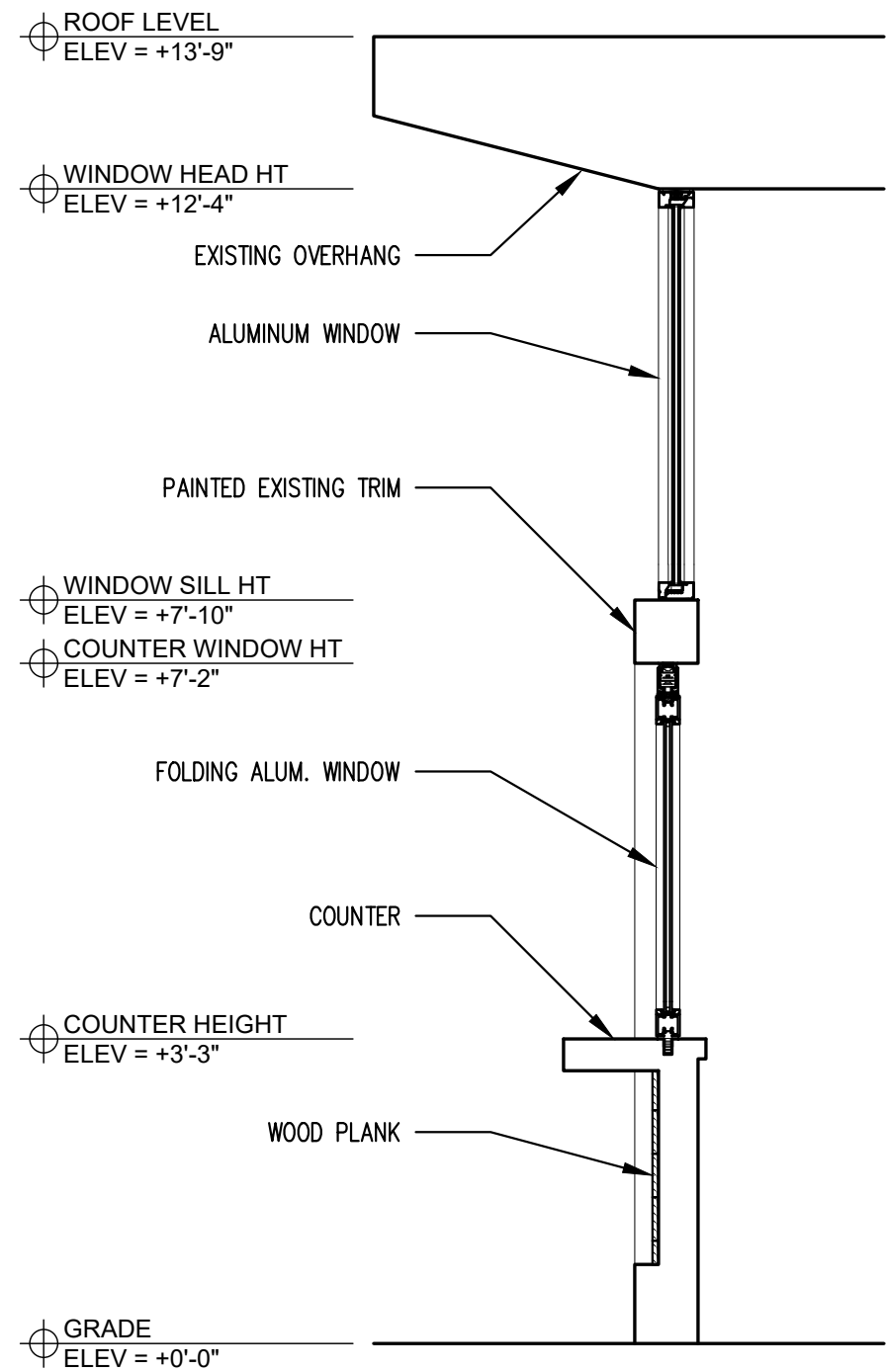
SCALE:
 DRAWING NO.:

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ELEV = +17'-5"
- ⊕ TOP OF SCREENING
ELEV = +17'-4"
- ⊕ TOP OF ROOF
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF
ELEV = +12'-0"
- ⊕ FIRST FLOOR
ELEV = +0'-0"
- ⊕ GRADE
ELEV = (-0'-5 1/2")

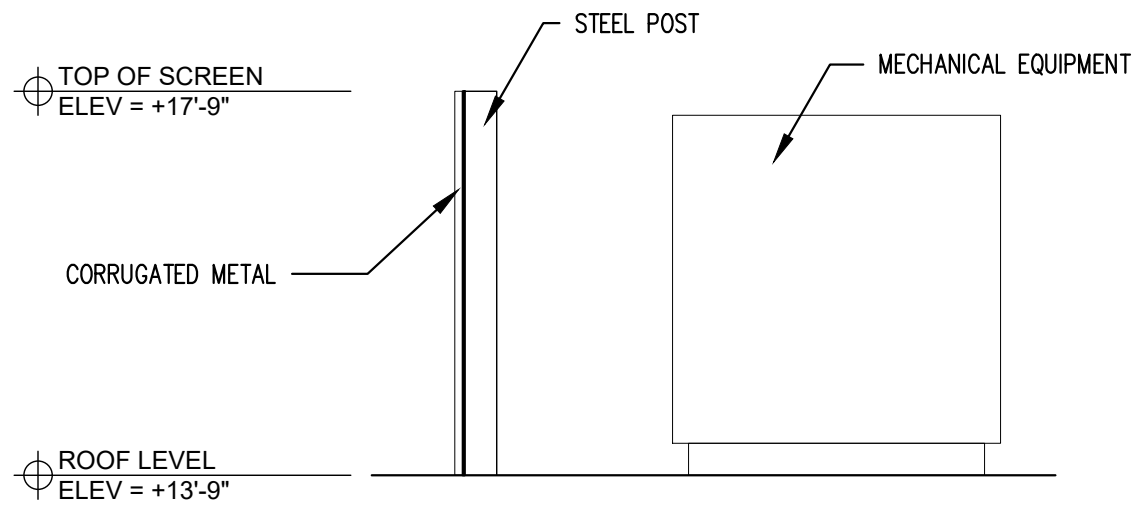


- ⊕ TOP OF CANOPY
ELEV = +17'-5"
- ⊕ TOP OF SCREENING
ELEV = +17'-4"
- ⊕ TOP OF ROOF
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF
ELEV = +12'-0"
- ⊕ FIRST FLOOR
ELEV = +0'-0"
- ⊕ GRADE
ELEV = (-0'-5 1/2")

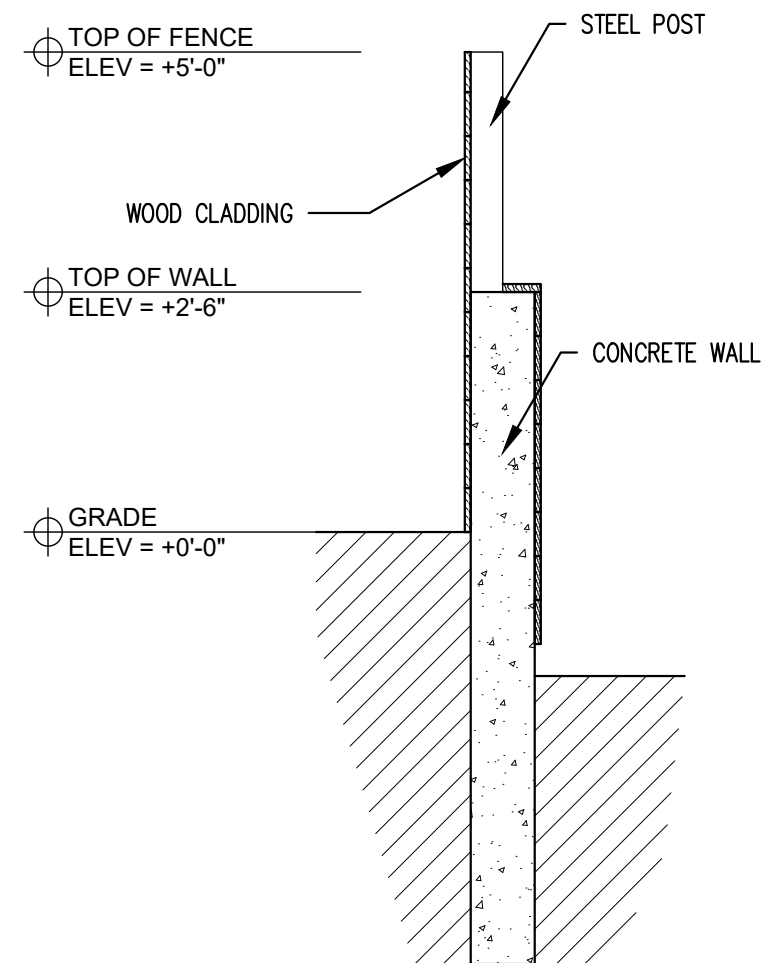




WALL SECTION 1
SCALE: 1/2"=1'-0" A5.0



ROOF SCREEN DETAIL 2
SCALE: 1/2"=1'-0" A5.0



FENCE DETAIL 3
SCALE: 1/2"=1'-0" A5.0

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

WINTER HOLBEN
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTEERY, MAINE 03904
207.994.3104

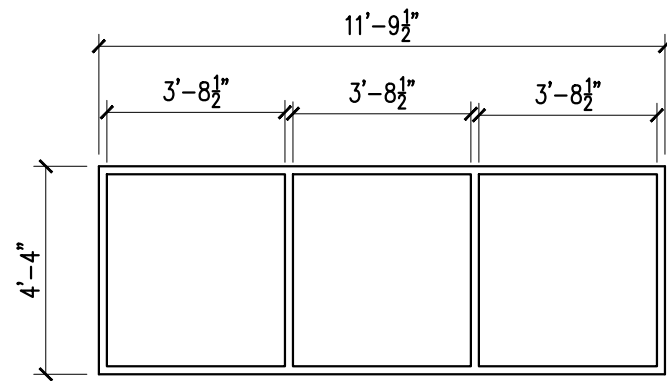
REVISIONS:

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361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
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DRAWING NAME:

SECTIONS AND DETAILS

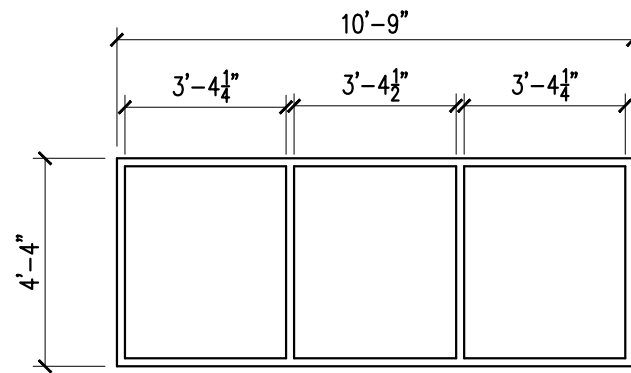
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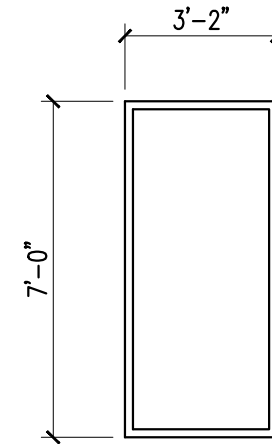
A

ALUMINUM FRAME FIXED WINDOW UNIT



B

ALUMINUM FRAME FIXED WINDOW UNIT



C

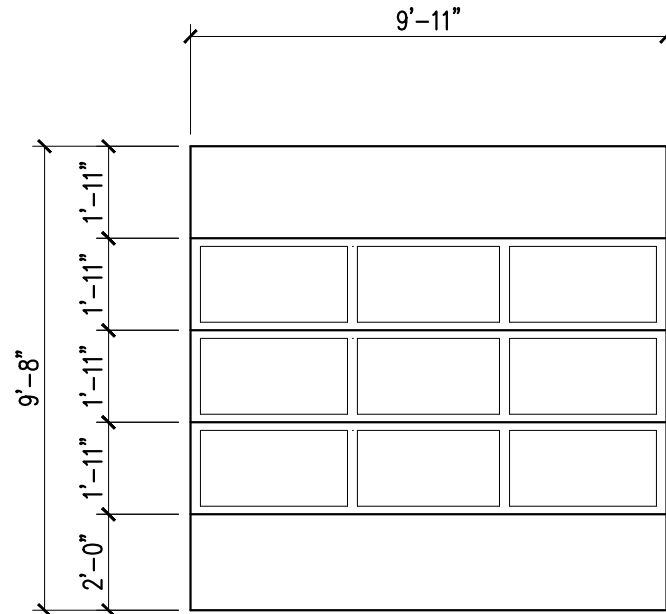
ALUMINUM FRAME FIXED WINDOW UNIT

WINDOW TYPES

SCALE: 1/4"=1'-0"

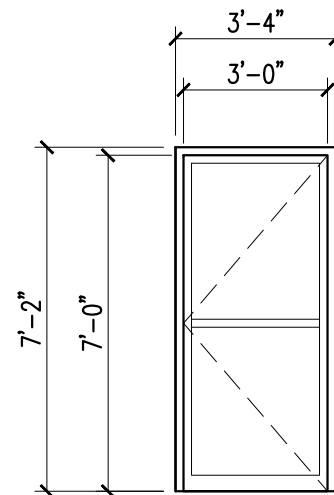
1

A7.0



100.1
100.2

ALUMINUM SECTIONAL OVERHEAD DOOR WITH LITES



100.3
100.4

FULL LITE ALUMINUM DOOR

DOOR TYPES

SCALE: 1/4"=1'-0"

2

A7.0

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:

KEY:

WINTER
HOLBEN

architecture + design

7 WALLINGFORD SQ
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207.994.3104

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THE GETTY
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PORTSMOUTH, NH 03801

PROJECT NO.: 22063

DRAWN BY: BH, RW

APPROVED BY: BH

ISSUE DATE: 2022/09/16

DRAWING NAME:

DOOR AND WINDOW TYPES

SCALE:

DRAWING NO.:

A7.0



PROPOSED SOUTH EAST PERSPECTIVE



PROPOSED AERIAL PERSPECTIVE



PROPOSED EAST PERSPECTIVE



PROPOSED NORTH EAST PERSPECTIVE

THE GETTY
 361 ISLINGTON STREET
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 architecture + design

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 PORTSMOUTH, NH 03801
 PROJECT NO.: 22063
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 APPROVED BY: BH
 ISSUE DATE: 2022/09/16
 DRAWING NAME:

PERSPECTIVE
 IMAGES

SCALE:
 DRAWING NO.:

A8.0

BEFORE (EXISTING):



EXISTING VIEW FROM SOUTH EAST



EXISTING VIEW FROM SOUTH WEST



EXISTING VIEW FROM EAST

AFTER (PROPOSED):



PROPOSED VIEW FROM SOUTH EAST



PROPOSED VIEW FROM SOUTH WEST



PROPOSED VIEW FROM EAST

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

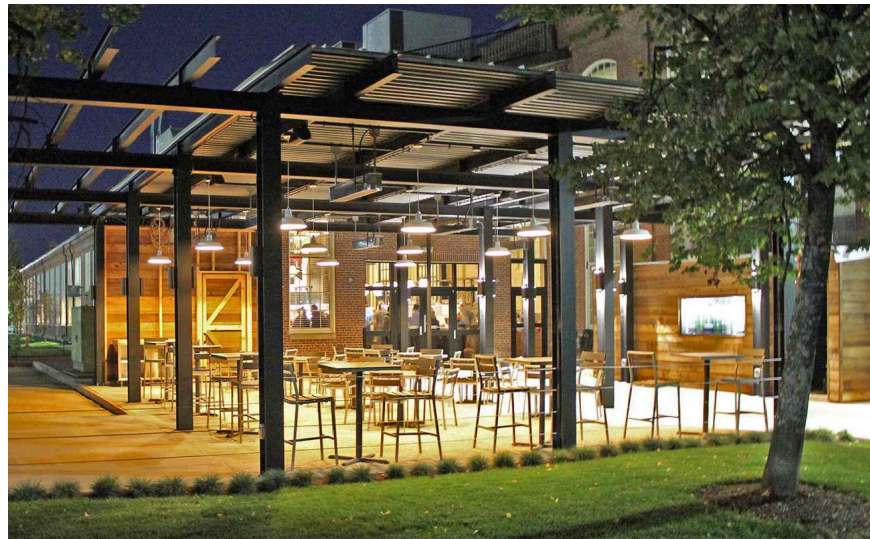
7 WALLINGFORD SQ
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PROJECT NAME:
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PORTSMOUTH, NH 03801
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ISSUE DATE: 2022/09/16
DRAWING NAME:
BEFORE AND AFTER
IMAGES

SCALE:
DRAWING NO.:

A8.1



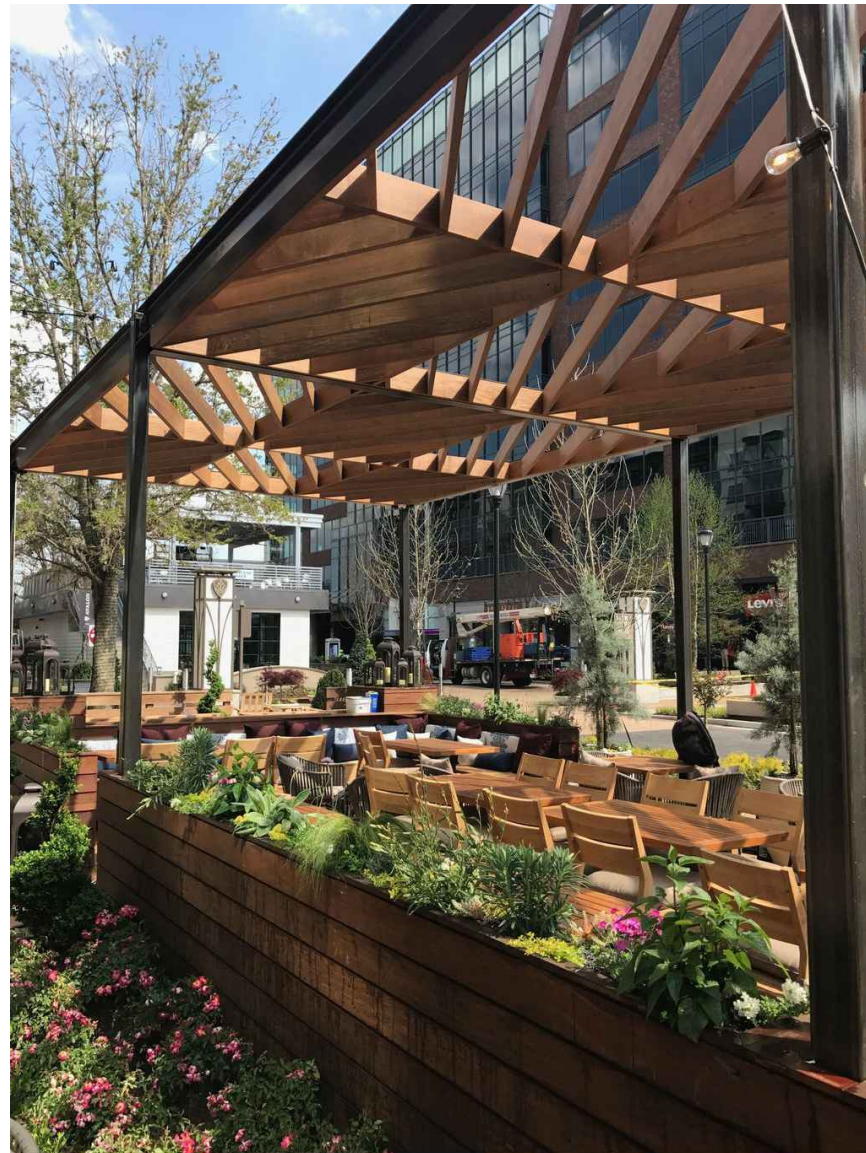
DINING CANOPY - OPEN TRELLIS



DINING CANOPY - OPEN TRELLIS



INDOOR / OUTDOOR DINING EXPERIENCE



DINING CANOPY - OPEN TRELLIS



INDOOR / OUTDOOR DINING EXPERIENCE



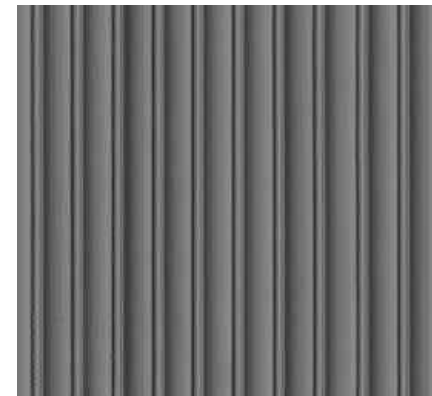
PLANTER



WOOD PLANK



ROOF SCREEN



CORRUGATED METAL



PATIO LIGHTING



GLAZED OVERHEAD DOOR

FOLDING COUNTER WINDOW

THE GETTY

361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:

KEY:

WINTER
HOLBEN

architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
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THE GETTY
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PORTSMOUTH, NH 03801

PROJECT NO.: 22063

DRAWN BY: BH, RW

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ISSUE DATE: 2022/09/16

DRAWING NAME:

MATERIAL
INSPIRATION CUT
SHEETS

SCALE:

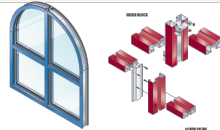
DRAWING NO.:

A9.0

SERIES 402 STOREFRONT FRAMING



Shear Block • Screw Spline • Can Receptor
This economical 2" X 4-1/2" flush glaze system is available in both shear block and screw spline fabrication methods. Series 402 Storefront can accommodate all standard 1 3/4" entrances as well as WV410 vents. Vertical mullions will accept steel reinforcement to enhance structural performance.



STRUCTURAL LOAD (ASTM E289) VISIT EFCOCORP.COM	WATER RESISTANCE (ASTM E331 & E333) 12 PSF
AIR INFILTRATION (ASTM E283) <0.06 CFM/FT ²	CRF (AAMA 1503) N/A
U-FACTOR* (ANSI/NFRC 100-200) N/A	OITC* (ASTM E90 & E413) SCREW SPLINE: 26 - 29
STC* (ASTM E90 & E413) SCREW SPLINE: 30-34	

STANDARD FEATURES

- Open back and shear block door frames with transom bars and bulb type weather stripping
- Accommodates up to 1-1/16" glazing
- Uniform glazing gasket is used for exterior and interior
- The optional Roto-Vent ventilator
- 2-way corner mullions (90° and 135°)
- 3-way corner mullions (T-mullions) 0°-15° and 15°-30° variable mullions
- Various height intermediate horizontals and sills
- Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.
- Anodized or painted finished available

* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.

1000 COUNTY RD • MONETT, MO 65708 • 800.221.6169 • efco.com

Disclaimer: Info subject to change at any time

Updated: 4/2020

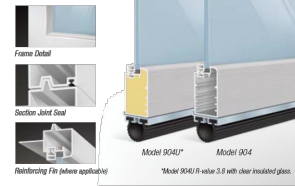
ALUMINUM WINDOW

CLOPAY COMMERCIAL – MODELS 904U, 904 architectural series



ALUMINUM FULL-VIEW DOORS

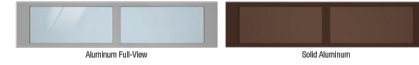
Clopay's Model 904 showcases a sleek design with fewer lines and angles to its appearance. With equal stile spacing, rail and stile profiles are more proportional to each other. This design provides an aesthetically pleasing appearance making it ideal in applications such as restaurants, auto dealerships and fire stations. In addition to these features, Model 904U features Intelicore® polyurethane insulated rails and stiles.



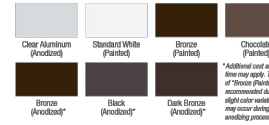
clopaycommercial.com

OPTIONS

PANEL OPTIONS



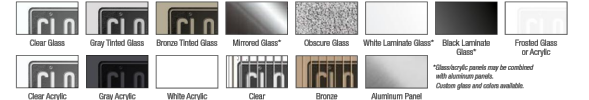
FRAME/SOLID PANEL COLOR OPTIONS



CUSTOM PAINT OPTIONS



GLASS/PANEL OPTIONS



PERFORMANCE OPTIONS

HEAVY-DUTY HARDWARE



SPECIALTY PRODUCTS



OPTIONAL WARRANTY

Extended 6 year hardware warranty includes upgraded industrial hardware. Upgraded hardware includes 3" track and rollers, 11 gauge hinges, heavy duty brackets, solid shaft and nuts...

WINDCODE®

Design pressure (DP) up to 25 PSF depending on configuration. Models tested 50% greater than DP!

STANDARD SPECIFICATIONS

Max Width	12'2"
Max Height	20'2"
Exterior/Interior Panel Thickness	2-1/4"
Insulation	Intelicore® polyurethane (Model 904U)
R-Value*	3.5 (Model 904U with clear insulated glass)
U-Factor	0.85 (Model 904U with clear insulated glass)
Air Infiltration Rate	0.15 cfm/ft ²
End Stile Thickness	4.5" wide stile up to 14'2" 6.5" wide stile over 14'2"
Emboss	Recessed panel with smooth surface
Panel Style	Full view or solid aluminum panel
Section Construction	6063-T5 extruded aluminum alloy

For more information on these and other Clopay products, visit clopaycommercial.com. Architects and specifiers, visit architectclopay.com.

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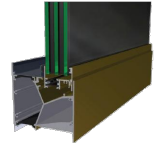
ARCT ARCTA SIDA 0800-804-16-809642

SERIES SX45 HORIZONTAL SLIDER

4-1/2" HIGH PERFORMANCE THERMAL, ARCHITECTURAL GRADE WINDOW



The SX45 is loaded with options to fit many applications while providing an industry leading U-Factor. The energy efficient design provides a substantial improvement in the interior frame temperatures as well. Designed to meet the increasing demand for thermally superior products needed in schools, government buildings and green construction, EFCO's SX45 horizontal sliding window sets a new standard. The outstanding U-Factor provides demonstrable energy savings when used in conjunction with building envelope performance software.



AAMA RATING (A440) AW-PG45-HS	STRUCTURAL LOAD (ASTM E330) 150.4 PSF
AIR INFILTRATION (ASTM E283) <0.30 CFM/FT ²	WATER RESISTANCE (ASTM E331) 15 PSF
U-FACTOR* (ANSI/NFRC 100-200) 0.31 - 0.54	CRF (AAMA 1503) 67
STC* (ASTM E90 & E413) 33 - 37	OITC* (ASTM E90 & E413) 27 - 33
FORCED ENTRY (ASTM F568 OR F842) TYPE: A - GRADE 40	ACCESSIBILITY (AAMA 513) N/A

STANDARD FEATURES

- 4-1/2" frame depth
- XO, CX, OXO, XOX configurations
- 15 lb water
- AW45 standard rating
- AW80 optional rating
- Fully strutted, 2-color availability
- 1-1/2" glass pocket
- U-Factor with EFCO stock glass .34
- Fixed mate, series FX45
- U-Factor: .31

* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.

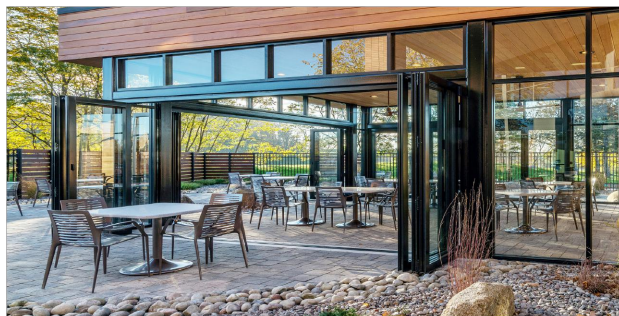
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Disclaimer: Info subject to change at any time

Updated: 12/2020

ALUMINUM SLIDING WINDOW (PICK UP WINDOW)

G2 FOLDING GLASS WALLS



G2 Thermal System

G2 Aluminum Folding Glass Wall Systems are a great way to open your environment to the outdoors. The frame uses a thermal strut system that separates the interior metal from the exterior metal. By including a thermal break, the temperature transfer between the outdoors and indoors is minimized.

The frames are available in two vertical stile widths: narrow and standard. The widths can be combined over multiple units for a unique style or kept consistent throughout. This flexibility allows multiple sightline and bottom rail configurations that can be retrofitted to match an existing opening or accommodate specific structural requirements.

Panels

- Minimum panel size: 18" wide; smaller panels may be available upon request
- Panel size up to 3' x 10'; larger panel options may be available depending on application

Glazing

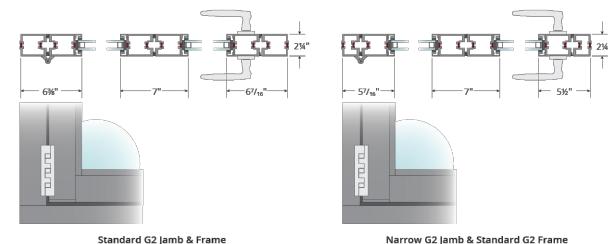
- Designed to accommodate almost any monolithic, insulated, laminated, decorative, polycarbonate, or solid panel infill from 3/8" to 1 1/4"

Performance

- Water performance up to 12psf, depending on sill choice and configuration
- Structurally tested up to a design pressure of 80psf
- Higher design pressure ratings available with engineering approval
- Test results available upon request

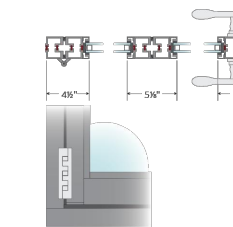
sales@proquest.com | 800.888.0669 | 31 Roberts Road, Pine Grove, PA 17963 | Rev 8/17/22

JAMB DETAILS



Standard G2 Jamb & Frame

Narrow G2 Jamb & Standard G2 Frame



Narrow G2 Jamb & Frame

Top and bottom horizontals unable to utilize narrow framing. Options dependent upon desired size and engineering requirements.

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STATEMENT COLLECTION™

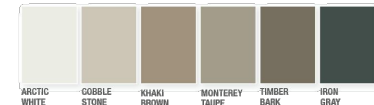
Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

ColorPlus® Technology

Plank, Panel, Shingle and Batten Color Offering



Trim Color Offering



22

FIBER CEMENT SIDING

HardiePanel®

Thickness: 5/16 in

SELECT CEDARMILL®, SMOOTH, STUCCO & SIERRA 8

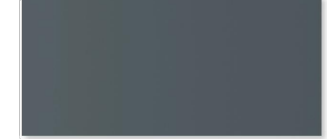
Size	4 ft x 8 ft	4 ft x 10 ft
Prime Post/Pallet	50	50
Color/Prime Post/Pallet	50	50
Prime/Rq	3.2	2.5

SELECT CEDARMILL®



Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

SMOOTH



Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

STUCCO



Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

SIERRA 8



Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

15

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:

KEY:

WINTER
HOLBEN
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

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THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22063
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APPROVED BY: BH
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DRAWING NAME:

PRODUCT DATA

SCALE:

DRAWING NO.:

A9.1