

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE  
PORTSMOUTH, NEW HAMPSHIRE**

**WORK SESSION**

**Conference Room A  
City Hall, Municipal Complex, 1 Junkins Avenue**

**2:00 PM**

**March 8, 2022**

**AGENDA**

<b>2:00 PM</b>	70 Court Street Treadwell House Inc., Owner Altus Engineering, Engineer (LUTW-22-5)	<b>Conditional Use Permit</b>
<b>2:30 PM</b>	405 South Street Julia R. Tiebout Revocable Trust '09, Owner Ambit Engineering, Engineer (LUTW-22-6)	<b>Subdivision</b>
<b>3:00 PM</b>	437 Lafayette Artwill LLC, Owner TF Moran Inc., Engineer (LUTW-22-7)	<b>Subdivision</b>

**BOSEN & ASSOCIATES, P.L.L.C.**  
ATTORNEYS AT LAW

February 23, 2022

Mr. Rick Chellman, Chair  
Planning Board  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**John K. Bosen**  
Admitted in NH & MA

**Christopher P. Mulligan**  
Admitted in NH & ME

**Molly C. Ferrara**  
Admitted in NH & ME

**Austin Mikolaities**  
Admitted in NH

**Bernard W. Pelech**  
1949 - 2021

**RE: 70 Court Street, Tax Map 116, Lot 49**  
**REQUEST FOR CONDITIONAL USE PERMIT**

Dear Mr. Chellman:

This office represents The Davenport Inn, LLC. Please accept this correspondence as our request for a Conditional Use Permit pursuant to 10.1112.14 provide less than the minimum number of off-street parking spaces otherwise required under Section 10.1112.30 relative to the proposed conversion of the office building at the above location to an 8 unit inn with caretaker residence. Variances associated therewith were granted by the Board of Adjustment at its February 15, 2022 meeting.

Submitted herewith are updated site plans, floor plans and a parking demand analysis as required under section 10.1112.141.

The parking configuration on site as it presently exists consists of four spaces. As proposed, the parking will increase to five spaces. The ordinance requires 11 spaces. The parking demand analysis suggests six spaces would be sufficient for the proposed use.

The applicant maintains that the approval criteria set forth in Section 10.1112.14 are met:

10.1112.141. See Altus Engineering parking demand analysis submitted herewith.

10.1112.142. The applicant believes that available on street parking along Court Street, as well as nearby access to downtown public and private parking lots, mitigates the need to meet the ordinance requirements. It should be noted that, were this property within the Downtown Overlay District, which applies to properties a block away, the parking requirements would be met.

The property is .2 miles from the Bridge Street and Worth public lots, and .3 miles from the Parrott Avenue lot. The Foundry Place garage is .4 miles from the property. The High-Hanover garage is .3 miles away. The applicant's principals own the office building located at 159 Middle Street, approximately 500 feet away, which could be accessed for overflow parking, if necessary. The applicant is prepared to enter into an appropriate shared parking arrangement

utilizing that property, should the board require it. There are additional private surface lots within easy walking distance that may afford the opportunity in the future to provide additional parking, if necessary.

The applicant's operation of the inn shall be on a remote check-in model, whereby guests will be provided in advance with access codes to the building and individual rooms. This model will provide sufficient opportunities for the applicant to provide guests with multiple parking options in advance and coordinate the actual parking demand should that be necessary.

10.1112.143. The number of spaces is adequate and appropriate for the proposed use of the property given the factors enumerated above. In addition, guests will be based in the heart of the downtown with easy pedestrian and bicycle access to a variety of services and attractions. Private services, such as ride sharing, will also likely be available for guests.

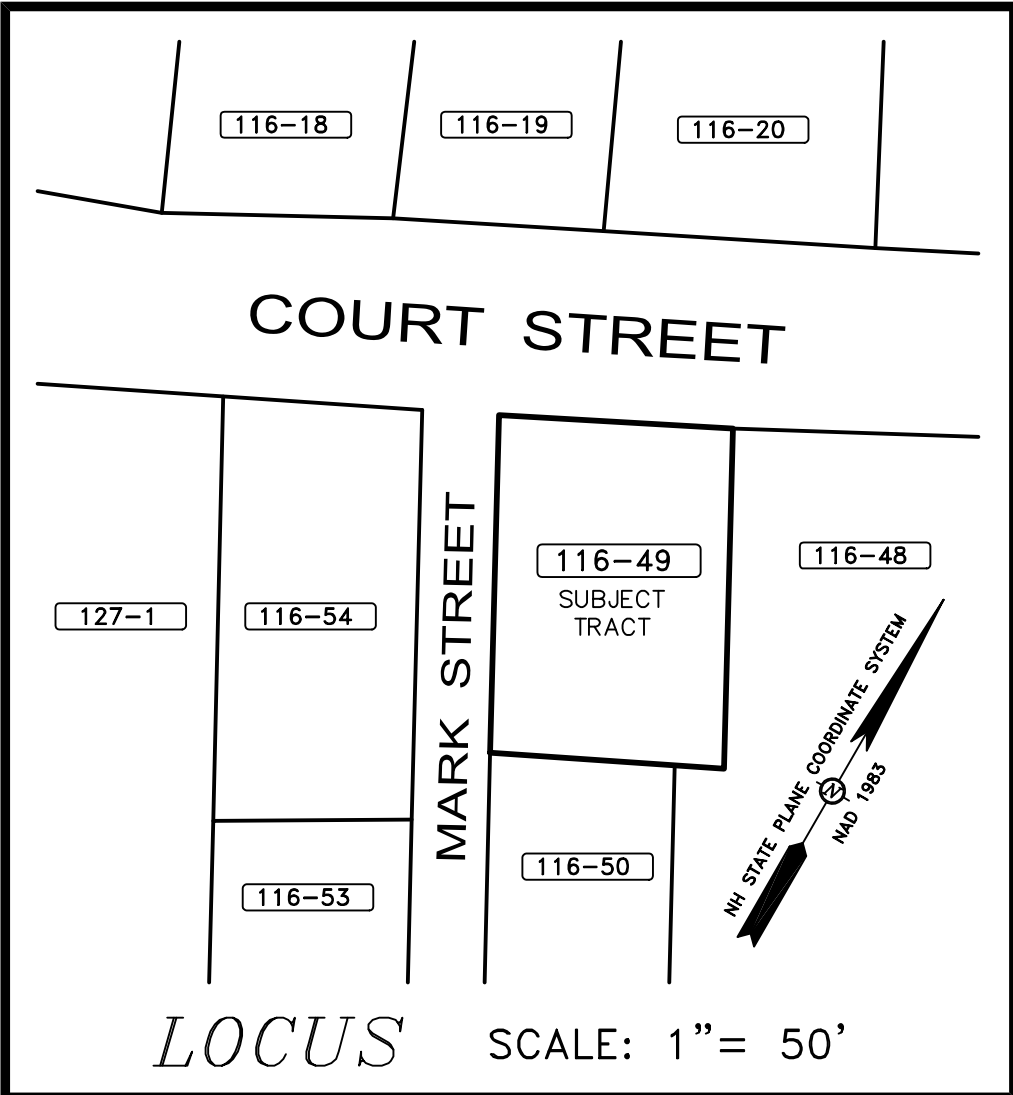
Thank you for your attention.

Sincerely,

*Christopher P. Mulligan*

Christopher P. Mulligan

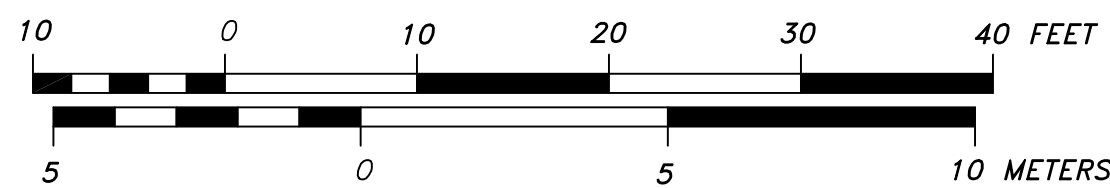
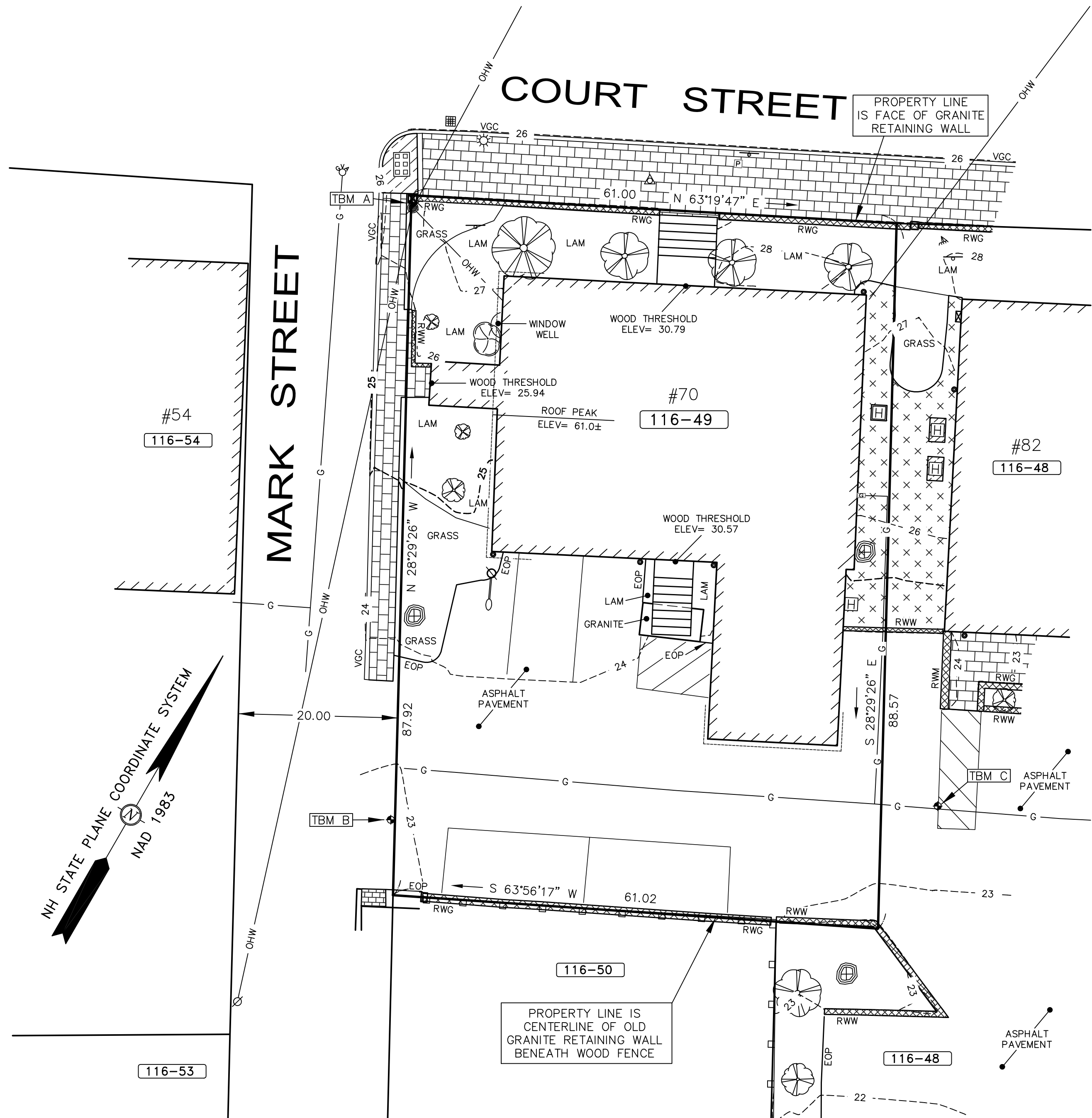
CPM/



LOCUS SCALE: 1"= 50'

- LEGEND:**
- △.....SURVEY NAIL SET
  - .....WOOD FENCE
  - PSNH.....PUBLIC SERVICE CO. OF NH
  - 110-5.....TAX SHEET - LOT NUMBER
  - RCRD.....ROCKINGHAM COUNTY REGISTRY OF DEEDS
  - EOP.....EDGE OF PAVEMENT
  - VGC.....VERTICAL FACED GRANITE CURB
  - RWM.....MORTARED RETAINING WALL
  - RWW.....WOOD RETAINING WALL
  - RWG.....GRANITE RETAINING WALL
  - .....PARK METER KIOSK
  - .....SIGN
  - .....UTILITY POLE
  - .....UTILITY POLE W/TRANSFORMER
  - ☆.....LIGHT POLE
  - .....UTILITY POLE WITH ARM & LIGHT
  - .....DIRECTED LIGHT
  - .....GAS METER
  - .....GAS VALVE
  - .....CATCH BASIN
  - .....ROOF DOWNSPOUT
  - .....DECIDUOUS TREE
  - .....DECIDUOUS SHRUB
  - OHW.....OVERHEAD WIRES
  - .....CEMENT CONCRETE
  - .....BRICK PAVERS
  - .....CRUSHED STONE
  - .....RETAINING WALL
  - LAM.....MULCH LANDSCAPED AREA
  - x12.5.....SPOT GRADE
  - .....STUMP FOUND

TBM	DESCRIPTION	ELEV.
A	SURVEY NAIL FOUND IN UTILITY POLE PSNH 4 22 A (1.35' ABOVE GROUND)	27.98
B	SURVEY NAIL SET IN ASPHALT	22.84
C	SURVEY NAIL SET IN ASPHALT	23.41



**NOTES:**

- OWNER OF RECORD.....TREADWELL HOUSE, INC. C/O CHARLES DOLEAC, ESQ. ADDRESS.....82 COURT ST, PORTSMOUTH, NH 03801 DEED REFERENCE.....2357/1111 TAX SHEET / LOT.....116-49 PARCEL AREA .....5,380 S.F.
- SUBJECT TRACT IS ZONED MRB, HD & CD4-L1. SEE CITY OF PORTSMOUTH ZONING ORDINANCE.
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- ON SITE CONTROL ESTABLISHED USING SURVEY GRADE GPS UNITS. HORIZONTAL DATUM: NAD 1983 (2011)(EPOCH 2010.0000) VERTICAL DATUM: NAVD 1988 PRIMARY BM: CITY CONTROL POINT "ROBE"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.
- PARCEL 116-49 IS SUBJECT TO A ROW FOR ALL PURPOSES IN FAVOR OF PARCEL 116-48. SEE RCRD BK 2357, PAGE 1111.

**REFERENCE PLANS:**

- PLAN OF WILLIAM P. JONES HOMESTEAD, UNDATED, RCRD PLAN 0099.

MAP-LOT	OWNER OF RECORD	DEED REF.
119-19	UNITARIAN-UNIVERSALIST CHURCH OF PORTSMOUTH N.H. 73 COURT ST, PORTSMOUTH, NH 03801	N/A
116-20	CITY LIGHTS, LLC PO BOX 1389, PORTSMOUTH, NH 03802-1389	N/A
116-48	82 COURT ST, LLC 82 COURT ST, PORTSMOUTH, NH 03801	5357/2696
116-50	KATIE C. JENKINS & JASON R. JENKINS 35 MARK ST, PORTSMOUTH, NH 03801	4821/202
116-53	BERNARD A. COHEN 28 MARK ST, PORTSMOUTH, NH 03801	2877/2906
116-54	IRENE R. LEBEL REV. TRUST OF 2014 C/O FRANCES D. LEBEL & THOMAS L. LEBEL 457 BROAD ST, PORTSMOUTH, NH 03801	5514/736

**SURVEYOR:**

James Verra and Associates, Inc.  
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8  
NEWINGTON, N.H. 03801- 7876  
603-436-3557  
JOB NO: 23985  
JOB NO: 23985

**ENGINEER:**

**ALTUS**  
ENGINEERING, INC.  
133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com

**ISSUED FOR:**

ENGINEERING DESIGN

**ISSUE DATE:**

JANUARY 18, 2022

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
1	ENGINEERING DESIGN	JV	1/18/22

DRAWN BY: JCS

APPROVED BY: JV

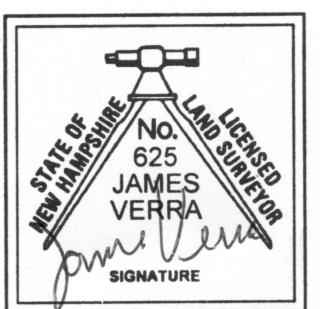
DRAWING FILE: 23985.DWG

**SCALE:**

22" x 34" - 1" = 10'  
11" x 17" - 1" = 20'

**OWNER/APPLICANT:**

TREADWELL HOUSE, INC.  
C/O CHARLES DOLEAC, ESQ.  
82 COURT STREET  
PORTSMOUTH, NH 03801  
ASSESSOR'S PARCEL 116-49



**PROJECT:**

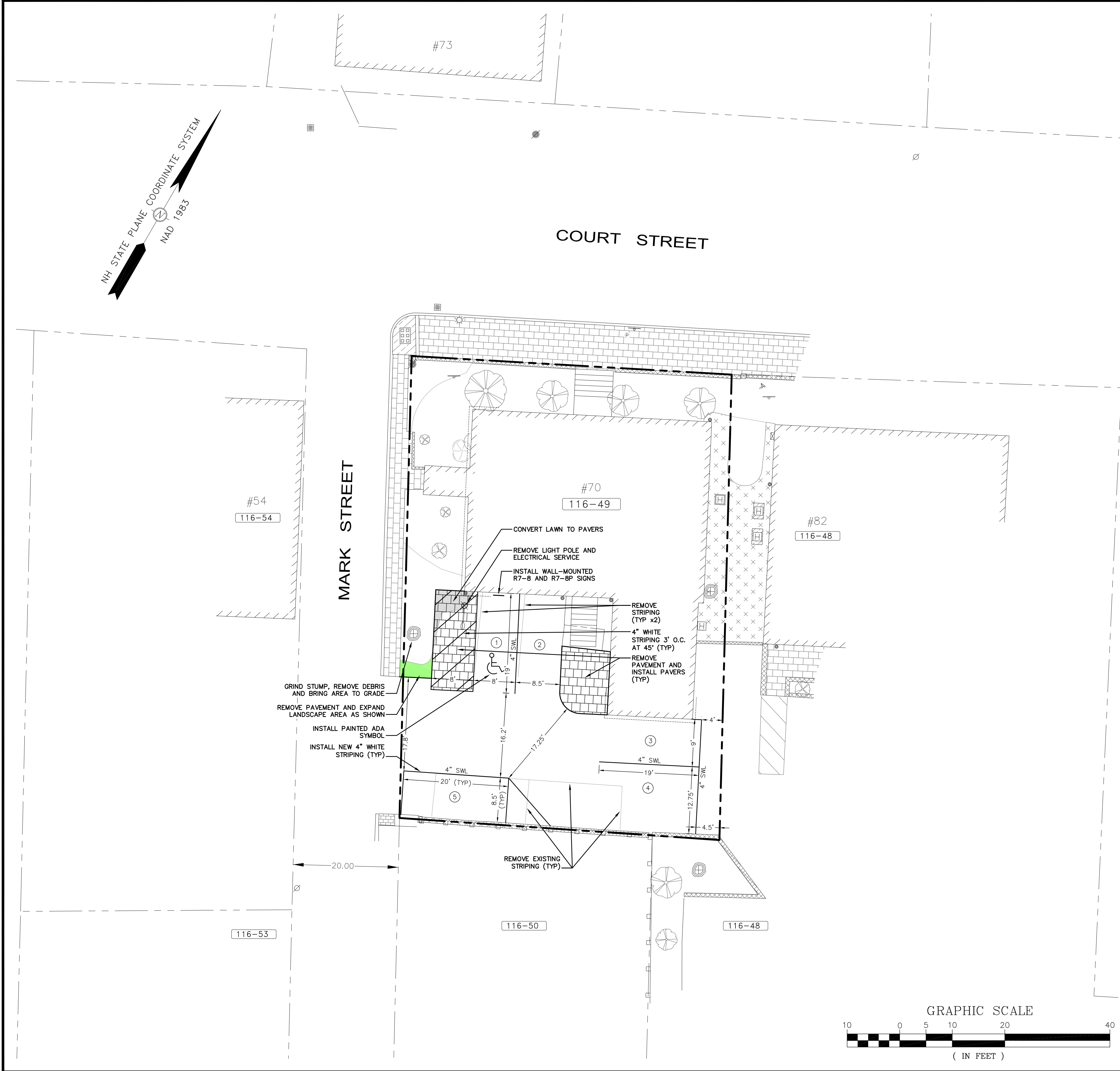
PROPOSED SITE  
DEVELOPMENT  
PLANS  
70 COURT STREET  
& MARK STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCEL  
116-49

**TITLE:**

EXISTING  
CONDITIONS  
PLAN

**SHEET NUMBER:**

1 OF 1

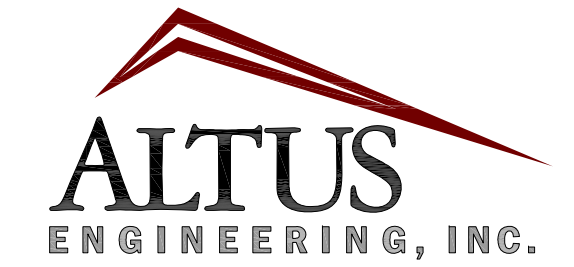


SITE NOTES

- DESIGN INTENT – THIS PLAN SET IS INTENDED TO DEPICT THE RENOVATION OF THE SITE TO AN INN.
- APPROXIMATE LOT AREA: ±5,380 S.F. (±0.12 AC.)
- ZONE: CHARACTER DISTRICT 4–L1 (CD4–L1)  
HISTORIC DISTRICT OVERLAY (HD)
- DIMENSIONAL REQUIREMENTS – BUSINESS:  
MIN. LOT AREA: 3,000 S.F.  
MIN. STREET FRONTAGE: 150'  
FRONT SETBACK: 15'  
SECONDARY FRONT YARD: 12'  
SIDE SETBACK: 5' MIN. TO 20' MAX.  
REAR SETBACK: 5'  
FRONT LOT LINE BUILDOUT: 60% MIN. TO 80% MAX.  
MAX. BUILDING HEIGHT: 35' (2 STORIES, SHORT 3RD)  
MAX. BLDG. COVERAGE: 60%  
MINIMUM OPEN SPACE: 25% (23.3% EXISTING, 27.9% PROPOSED)
- PARKING REQUIREMENTS:  
INN, HOTEL, MOTEL: 1.25/ROOM  
8 ROOMS x 1.25 = 10 SPACES  
CARETAKERS RESIDENCE <500 S.F.: 0.5/UNIT  
1 CARETAKER x .5 = 0.5 SPACES  
TOTAL PARKING REQUIRED = 11 SPACES  
TOTAL PARKING PROVIDED = 5 SPACES (6 SPACE DEFICIT)
- VARIANCE FROM SECTION 10.440.10.30 REQUIRED TO ALLOW AN INN IN THE CD4–L1 ZONE GRANTED FEBRUARY 15, 2022.
- VARIANCE FROM SECTION 10.1114.21 REQUIRED FOR REDUCED MANEUVERING AISLE WIDTH GRANTED FEBRUARY 15, 2022.
- CONDITIONAL USE PERMIT UNDER SECTION 10.1112.14 REQUIRED TO ALLOW A REDUCTION IN THE REQUIRED NUMBER OF PARKING SPACES.
- PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"–WIDE DIAGONAL WHITE LINES 3'–0" O.C. BORDERED BY 4"–WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"–WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- ALL PAVER SURFACES SHALL BE INSTALLED SO AS TO BE ADA–COMPLIANT.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.



LOCUS MAP NOT TO SCALE



133 Court Street  
(603) 433-2335

Portsmouth, NH 03801  
www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: FEBRUARY 28, 2022

REVISIONS		
NO.	DESCRIPTION	BY DATE
0	ZBA	EBS 01/25/22
1	TAC	EBS 02/15/22
2	TAC	EBS 02/23/22
3	REVISED ADA PARKING	EBS 02/28/22

DRAWN BY: EBS

APPROVED BY: EBS

DRAWING FILE: 5301–SITE.dwg

SCALE:

22" x 34" – 1" = 10'

11" x 17" – 1" = 20'

OWNER:

TREADWELL HOUSE, INC.  
c/o CHARLES DOLEAC, ESQ.

82 COURT STREET  
PORTSMOUTH, NH 03801

APPLICANT:

DAVENPORT, LLC

c/o 266 MIDDLE STREET  
PORTSMOUTH, NH 03801

PROJECT:

DAVENPORT INN

TAX MAP 116, LOT 49

70 COURT STREET  
PORTSMOUTH, NH

TITLE:

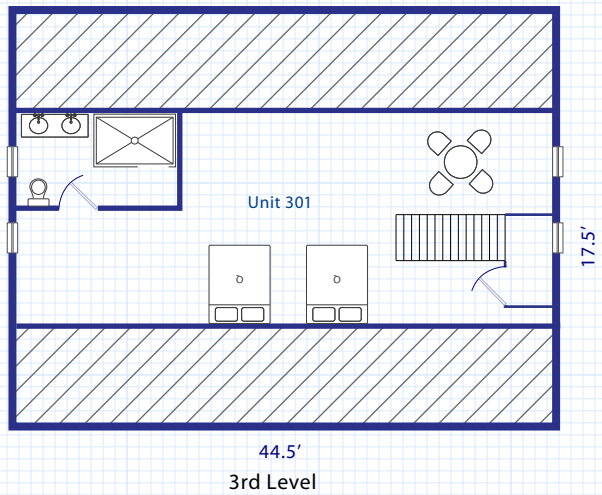
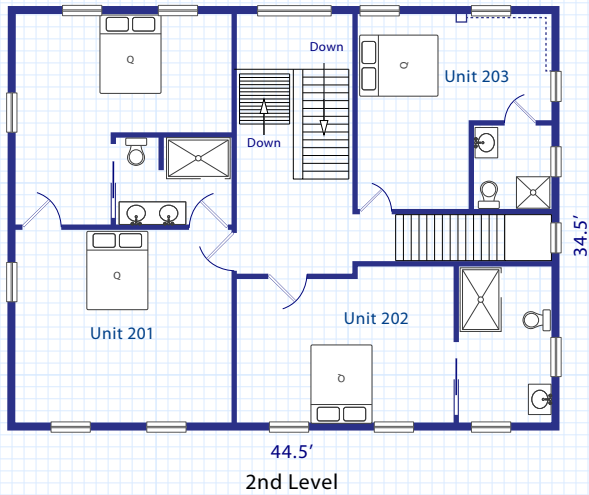
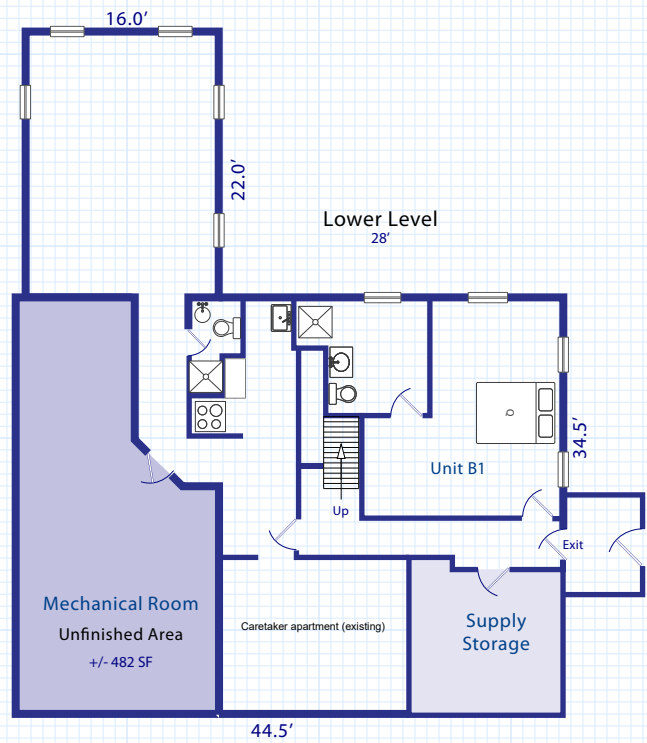
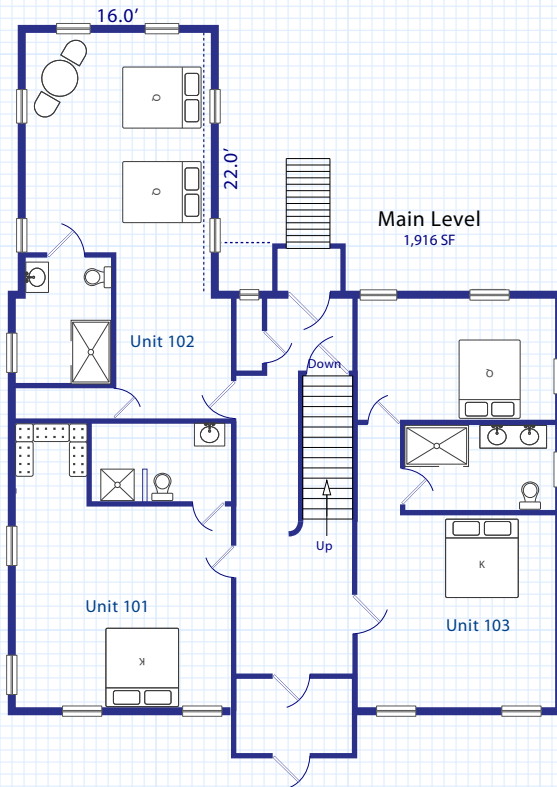
SITE PLAN

SHEET NUMBER:

C - 1

# 70 Court Street, Portsmouth, NH

Total Area: 5,367 SF



Scale: 1" = 16'



**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

February 15, 2022

John Samonas  
Samonas Realty  
266 Middle Street  
Portsmouth, NH 03801

**Re: Parking Demand Memorandum  
Assessor's Map 116, Lot 49  
70 Court Street  
Portsmouth, NH  
Altus Project 5301**

Dear Mr. Samonas,

Pursuant to the Portsmouth Zoning Ordinance, we have undertaken a basic parking demand analysis of the proposed renovation of 70 Court Street into the Davenport Inn. The proposed facility will feature 8 units, a caretakers unit and an reconfigured existing parking lot accessed from Mark Street. Per the *Parking Generation Manual*, 5th edition, prepared by the Institute of Transportation Engineers (ITE), this use can best be categorized into ITE Land Use Code 310 (Hotel) in a Dense Multi-Use Urban setting. For the purposes of this analysis, we have assumed that the caretakers unit will not require a parking space.

As shown below, the site can be expected to generate the following parking demand based on 100% occupancy during a typical Saturday overnight period:

Spaces per Room            0.71  
x8 Guest Rooms =        5.68 (6) spaces

Per the above analysis, we calculated that the proposed inn would require 6 parking spaces at peak demand. This is well below the minimum parking required by the City ordinance.

Please call me if you have any questions or need any additional information.

Sincerely,

**ALTUS ENGINEERING, INC.**

A handwritten signature in red ink, appearing to read "E.B. Saari", is written over a dashed line.

Erik B. Saari  
Vice President

ebs/5301-Parking-021522

# Hotel (310)

## Peak Period Parking Demand vs: Occupied Rooms

On a: Saturday

Setting/Location: Dense Multi-Use Urban

Peak Period of Parking Demand: 10:00 p.m. - 9:00 a.m.

Number of Studies: 2

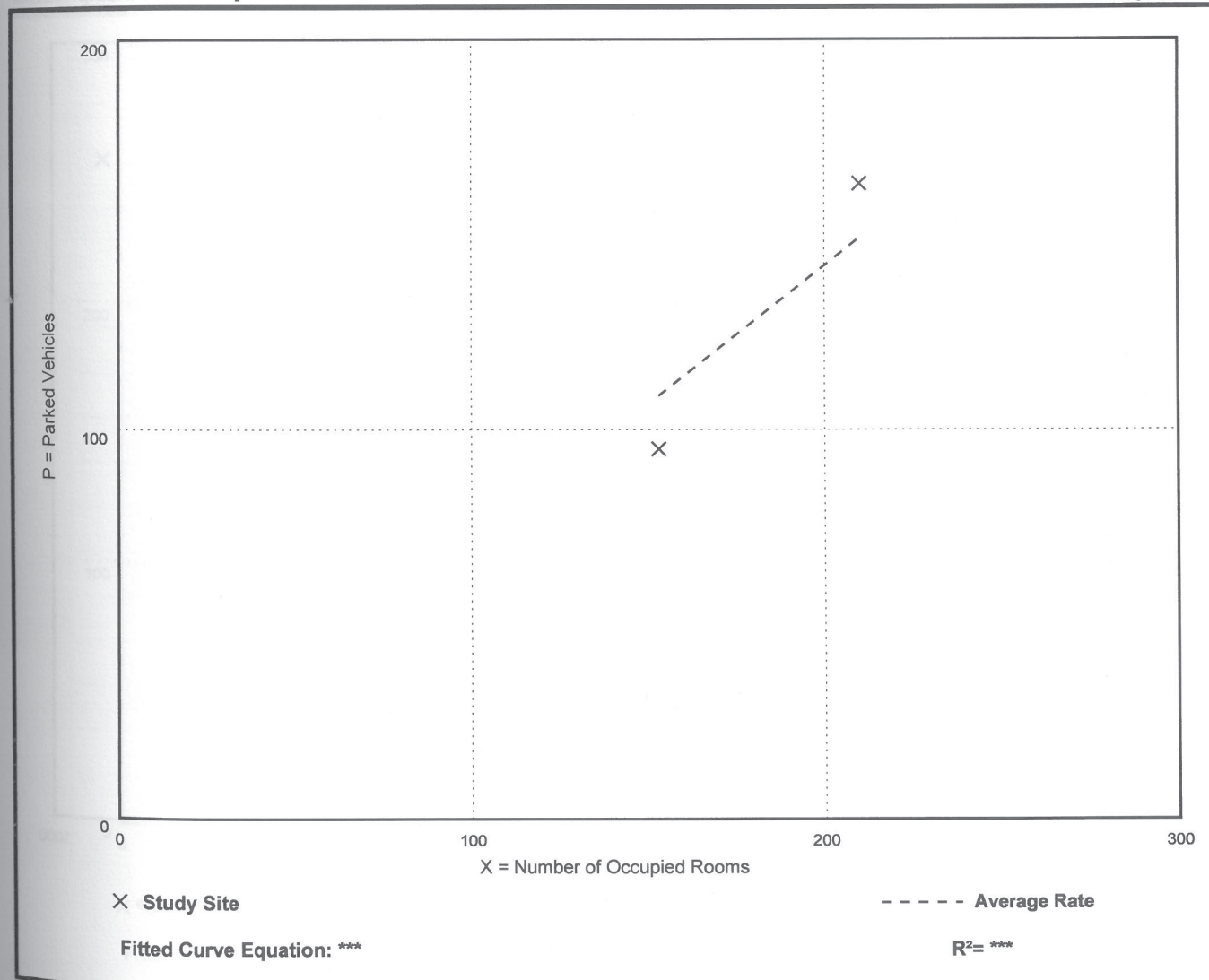
Avg. Num. of Occupied Rooms: 182

## Peak Period Parking Demand per Occupied Room

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.71	0.62 - 0.78	*** / ***	***	*** ( *** )

## Data Plot and Equation

Caution – Small Sample Size



# AMBIT ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

1 March 2022

Peter Stith, Technical Advisory Committee Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

## **RE: Request for TAC Workshop at 405 South Street, Proposed Subdivision**

Dear Mr. Stith and TAC Members:

On behalf of SAI Builders and the Julia R. Tiebout Revocable Trust we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **March 8, 2022** TAC Work Session. The project in the subdivision of one lot into two lots. The existing residence will remain and be on Proposed Lot 1 and a new home will be constructed on Proposed Lot 2.

The property has enough area for the lot division, and the property has access from two streets; South Street and McNabb Court. The subdivision proposal includes a new single family residence to be constructed on the lot with access from McNabb Court. However, the existing frontage on McNabb Court does not meet the minimum standard required. We currently have a request in to the Zoning Board for this proposal; requesting relief to frontage and also setback requirements for the proposed garage / structure. Given the need for housing in the city, we believe this application is worthy of review, and approval. Included in the application package is a site plan showing the location of the proposed building footprint as well as Architectural Plans of the proposed structure.

### Site Specifics of Development:

Building Construction: the new construction will meet current energy codes

Stormwater Runoff: the design includes drip aprons to infiltrate as much run-off as possible. In addition the northern part of the property is being left in as natural state to allow for the collection of stormwater run-off (from this site as well as abutting sites).

Utility Services: plans show proposed water and sewer services. Electric service discussion are ongoing with Eversource.

Flood Hazard / Resource Protection: the project is not in a flood hazard zone or in any wetland or resource buffer area.

Lighting: will be standard building mounted residential fixtures.

Parking: is provided in a garage space and exterior space (2 total).

Solid Waste Management: will be curbside trash pickup with the city.

Snow plowing: the applicant is willing to allow, through the appropriate mechanism, the city to plow McNabb Court and deposit snow to the left of the applicant's driveway.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Subdivision Plan – This plan shows the existing and proposed property boundaries.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Subdivision Site Plan C2 – This plan shows the site development in detail with the associated zoning and coverage calculations.
- Grading and Erosion Control Plan C3 – This plan shows the proposed site grading.
- Utilities Plan C4 – This plan shows the proposed site utilities.
- Detail Sheets D1 - D2 – These plans show sequence of construction associated details for construction.

We look forward to the Technical Advisory Committee's review of this submission and feedback on the proposed design.

Sincerely,

*John Chagnon*

John R. Chagnon, PE

CC: Project Team



1 Proposed Front Elevation  
Scale: 1/4" = 1'-0"



2 Proposed Right Elevation  
Scale: 1/4" = 1'-0"



3 Proposed Left Elevation  
Scale: 1/4" = 1'-0"



4 Proposed Rear Elevation  
Scale: 1/4" = 1'-0"

405 South Street  
Portsmouth, NH



O'SULLIVAN ARCHITECTS, INC.  
ARCHITECTURE ■ INTERIORS ■ PLANNING

606 MAIN STREET, SUITE 3001 ■ READING, MA 01867  
Tel: (781) 439-6166 ■ Fax: (781) 439-6170 ■ [www.osullivanarchitects.com](http://www.osullivanarchitects.com)

© 2016 O'Sullivan Architects Inc.

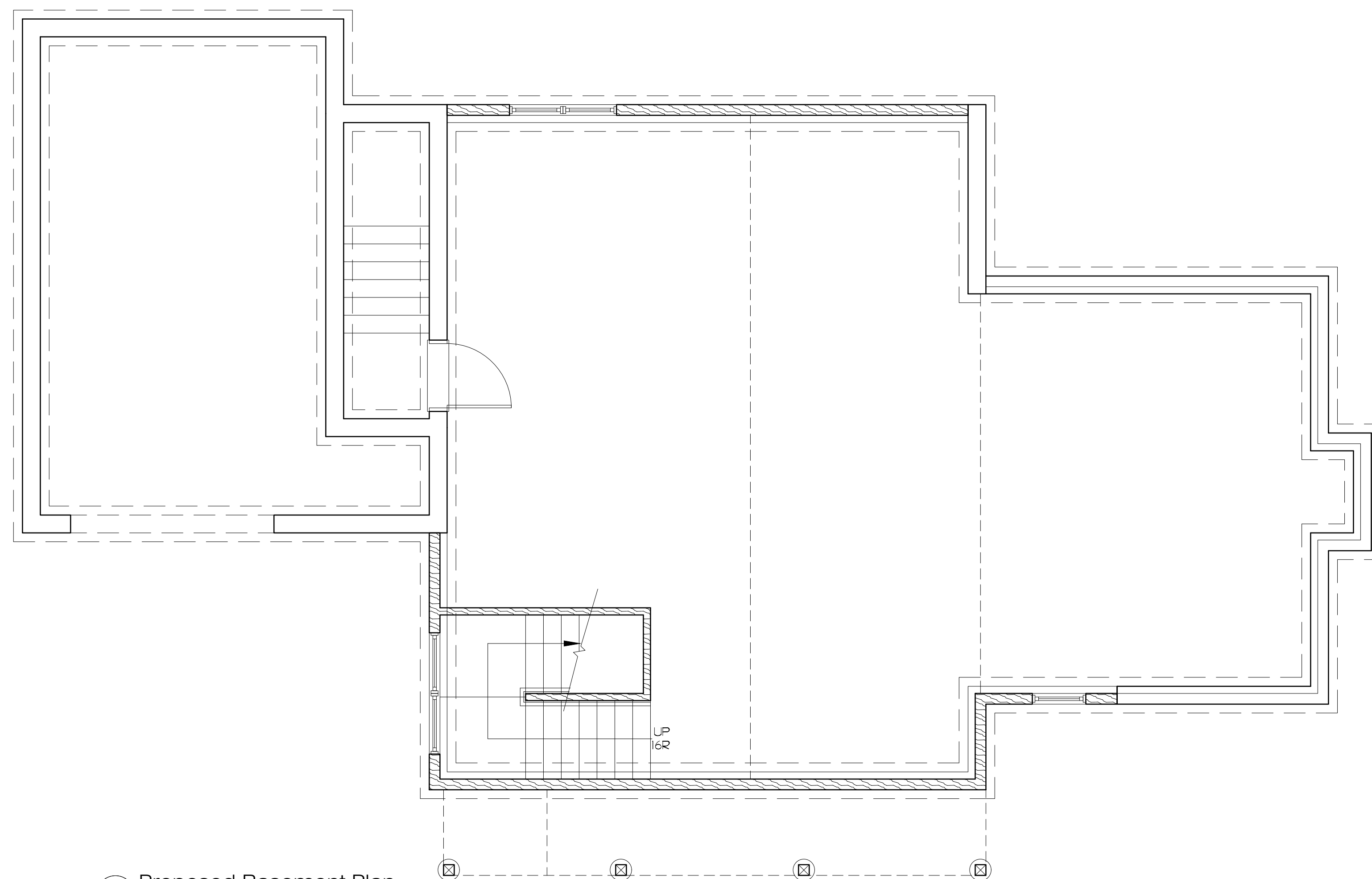
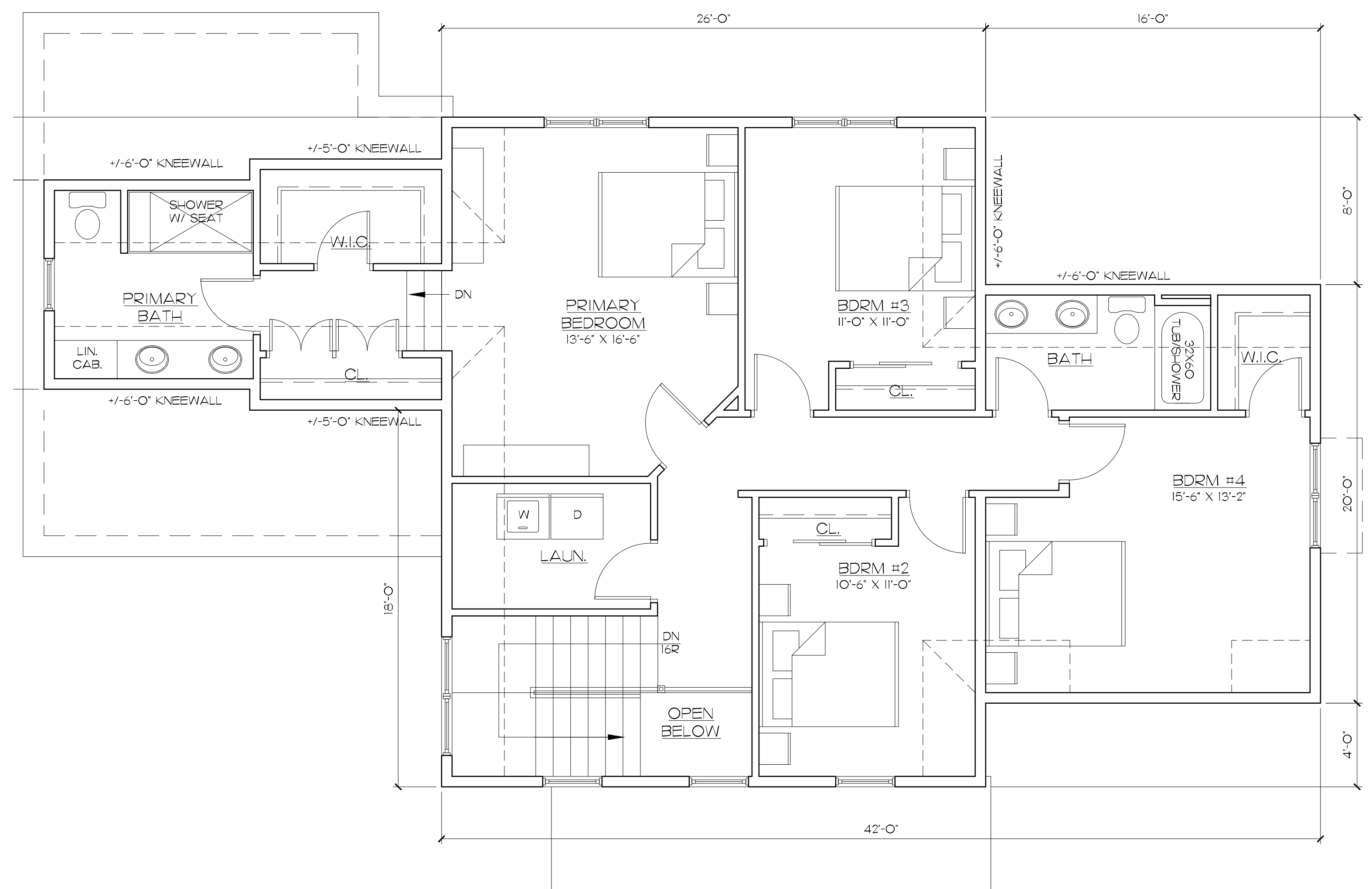
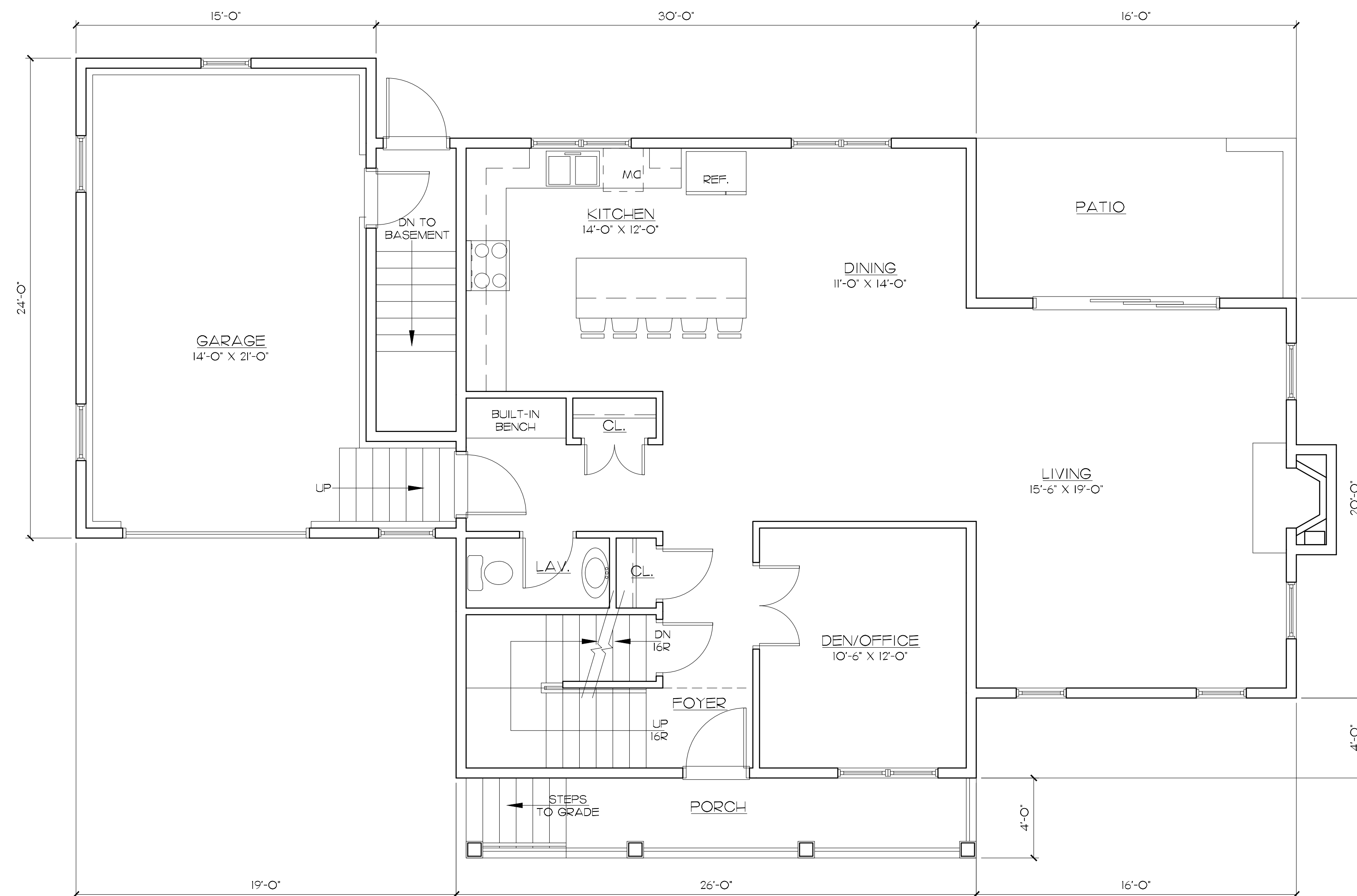
ISSUED	12/8/2021
REVISED / REVISED BY	

SHEET NUMBER

2

JOB NO:

21032



BUILDING S. F.	12/10/21
FIRST FLOOR	1151 S.F.
SECOND FLOOR	1257 S.F.
TOTAL =	2408 S.F.
GARAGE	457 S.F.

405 South Street  
Portsmouth, NH



O'SULLIVAN ARCHITECTS, INC.

606 MAIN STREET, SUITE 3001 ■ READING, MA 01867  
Tel: (781) 439-6166 ■ Fax: (781) 439-6170 ■ [www.osullivanarchitects.com](http://www.osullivanarchitects.com)

ISSUED
12/8/2021

REVISED / REVISOR BY  
12/22/2021

SHEET NUMBER

1

JOB NO:

21032

# PROPOSED RESIDENTIAL SUBDIVISION

## 405 SOUTH STREET

### PORTSMOUTH, NEW HAMPSHIRE

# PERMIT PLANS

**OWNER:**

JULIA R. TIEBOUT REVOCABLE  
TRUST OF 1999  
JULIA ROBB  
(F/K/A JULIA R. TIEBOUT),  
TRUSTEE  
405 SOUTH STREET  
PORTSMOUTH, NH 03801

**CIVIL ENGINEER &  
LAND SURVEYOR:**

AMBIT ENGINEERING, INC.  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, N.H. 03801  
TEL. (603) 430-9282  
FAX (603) 436-2315

**CONTRACTOR:**

SAI BUILDERS  
12 INDUSTRIAL WAY  
SALEM, NH 03079  
TEL. (603) 421-0470

**ATTORNEY:**

DURBIN LAW  
144 WASHINGTON STREET  
PORTSMOUTH, N.H. 03801  
TEL. (603) 287-4764

**ARCHITECT:**

O'SULLIVAN ARCHITECTS  
606 MAIN STREET, SUITE 3001  
READING, MA 01867  
TEL. (781) 439-6166

**REQUIRED PERMITS:**

PORTSMOUTH SUBDIVISION: PENDING  
PORTSMOUTH ZBA: PENDING

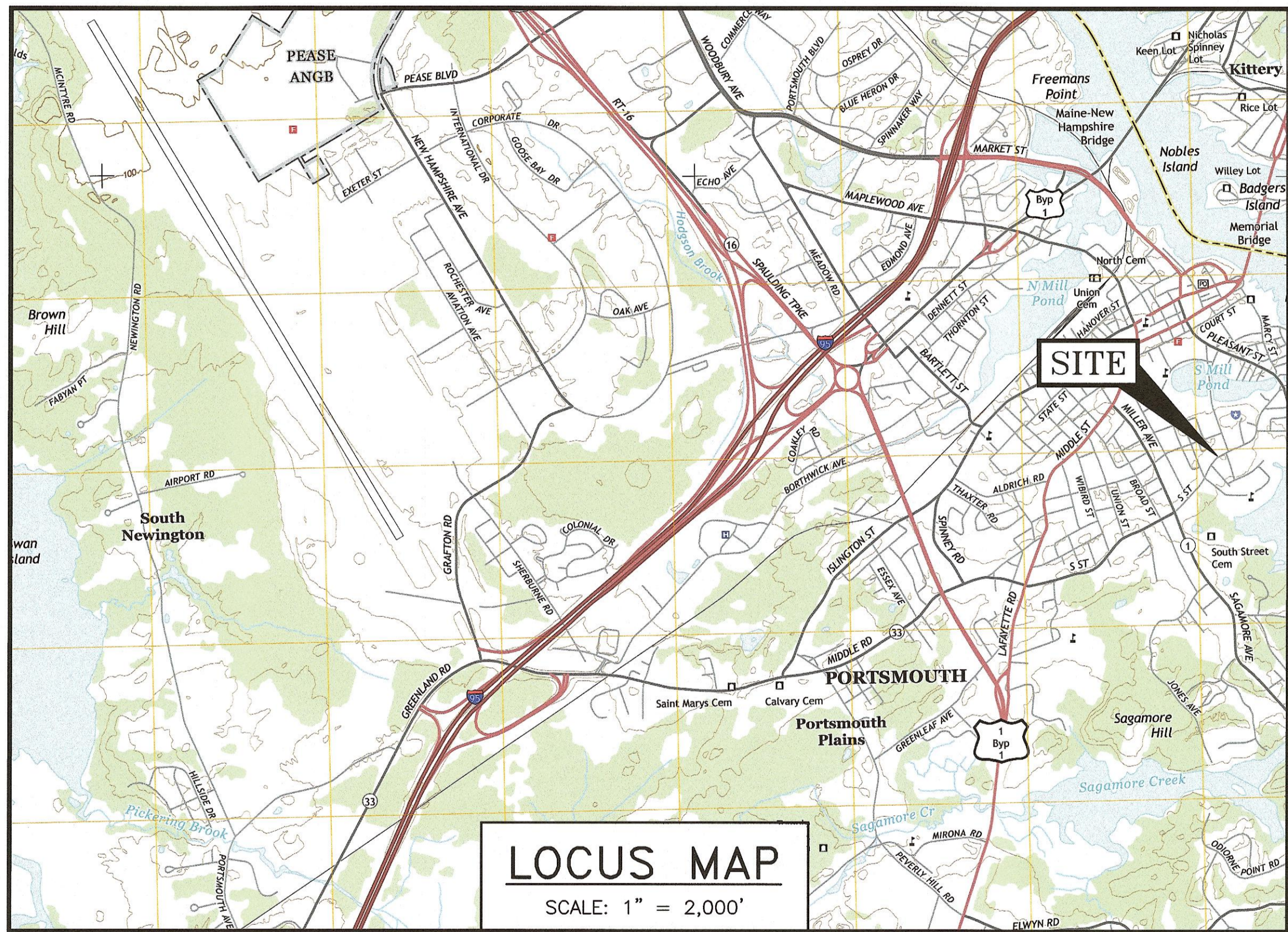
**LEGEND:**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
---	---	CONTOUR
---	---	SPOT ELEVATION
---	---	UTILITY POLE
---	---	WALL MOUNTED EXTERIOR LIGHTS
---	---	TRANSFORMER ON CONCRETE PAD
---	---	ELECTRIC HANDHOLD
---	---	SHUT OFFS (WATER/GAS)
---	---	GATE VALVE
---	---	HYDRANT
---	---	CATCH BASIN
---	---	SEWER MANHOLE
---	---	DRAIN MANHOLE
---	---	TELEPHONE MANHOLE
---	---	PARKING SPACE COUNT
---	---	PARKING METER
---	---	LANDSCAPED AREA
---	---	TO BE DETERMINED
---	---	CAST IRON PIPE
---	---	COPPER PIPE
---	---	DUCTILE IRON PIPE
---	---	POLYVINYL CHLORIDE PIPE
---	---	REINFORCED CONCRETE PIPE
---	---	ASBESTOS CEMENT PIPE
---	---	VITRIFIED CLAY PIPE
---	---	EDGE OF PAVEMENT
---	---	ELEVATION
---	---	FINISHED FLOOR
---	---	INVERT
---	---	SLOPE FT/FT
---	---	TEMPORARY BENCH MARK
---	---	TYPICAL

**PORTSMOUTH ZONING MAP**



Residential Districts
R Rural
SRA Single Residence A
SRB Single Residence B
SRA General Residence A
SRB General Residence B
SRG General Residence C
GAMH Garden Apartments/Mobile Home Park
Mixed Residential Districts
MRO Mixed Residential Office
MNB Mixed Residential Business
G1 Gateway Corridor
G2 Gateway Center
Business Districts
GB General Business
B Business
WB Waterfront Business
Industrial Districts
OR Office Research
I Industrial
WI Waterfront Industrial
Airport Districts
AIR Airport
AI Airport Industrial
PI Pease Industrial
ABC Airport Business Commercial
Conservation Districts
M Municipal
NRP Natural Resource Protection



**LOCUS MAP**

SCALE: 1" = 2,000'



**INDEX OF SHEETS**

DWG No.	
---	SUBDIVISION PLAN
C1	EXISTING CONDITIONS PLAN
C2	SUBDIVISION SITE PLAN
C3	GRADING & EROSION CONTROL PLAN
C4	UTILITIES PLAN
D1-D2	DETAILS

**UTILITY CONTACTS**

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**COMMUNICATIONS:**  
CONSOLIDATED  
COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN  
PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF  
PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

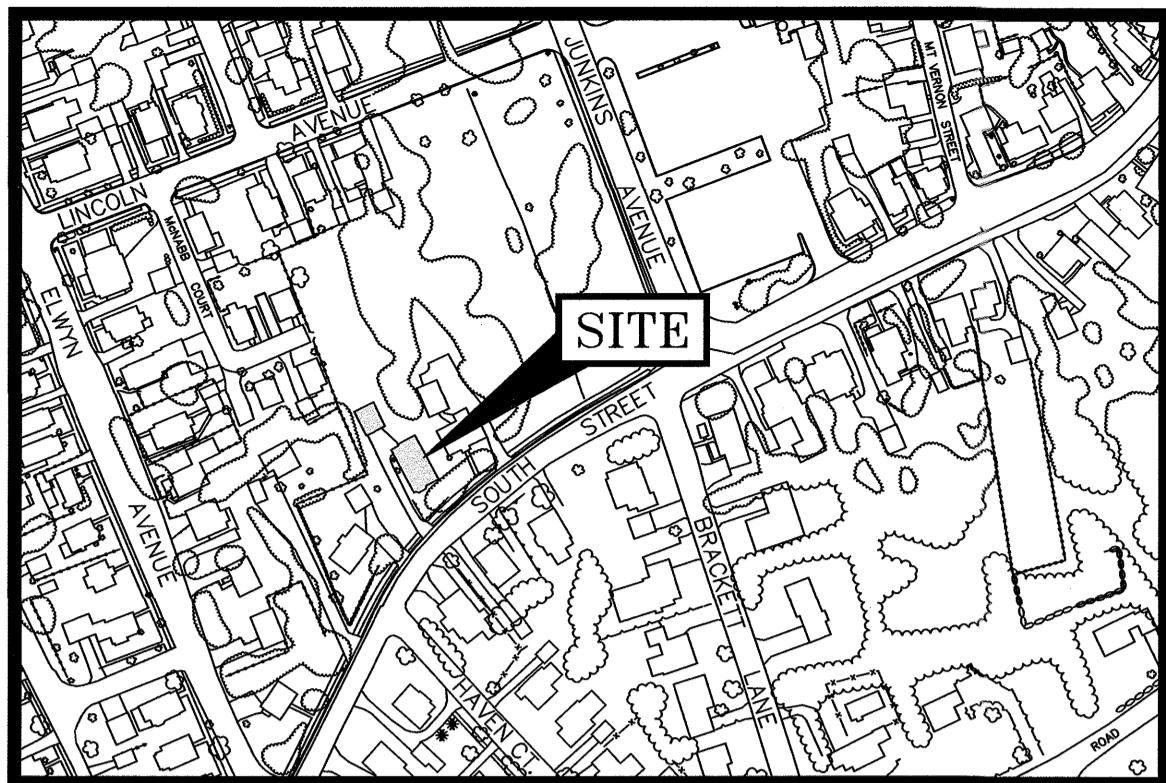
DATE

**PROPOSED RESIDENTIAL SUBDIVISION**  
**405 SOUTH STREET**  
**PORTSMOUTH, N.H.**



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 1 MARCH 2022



LOCATION MAP

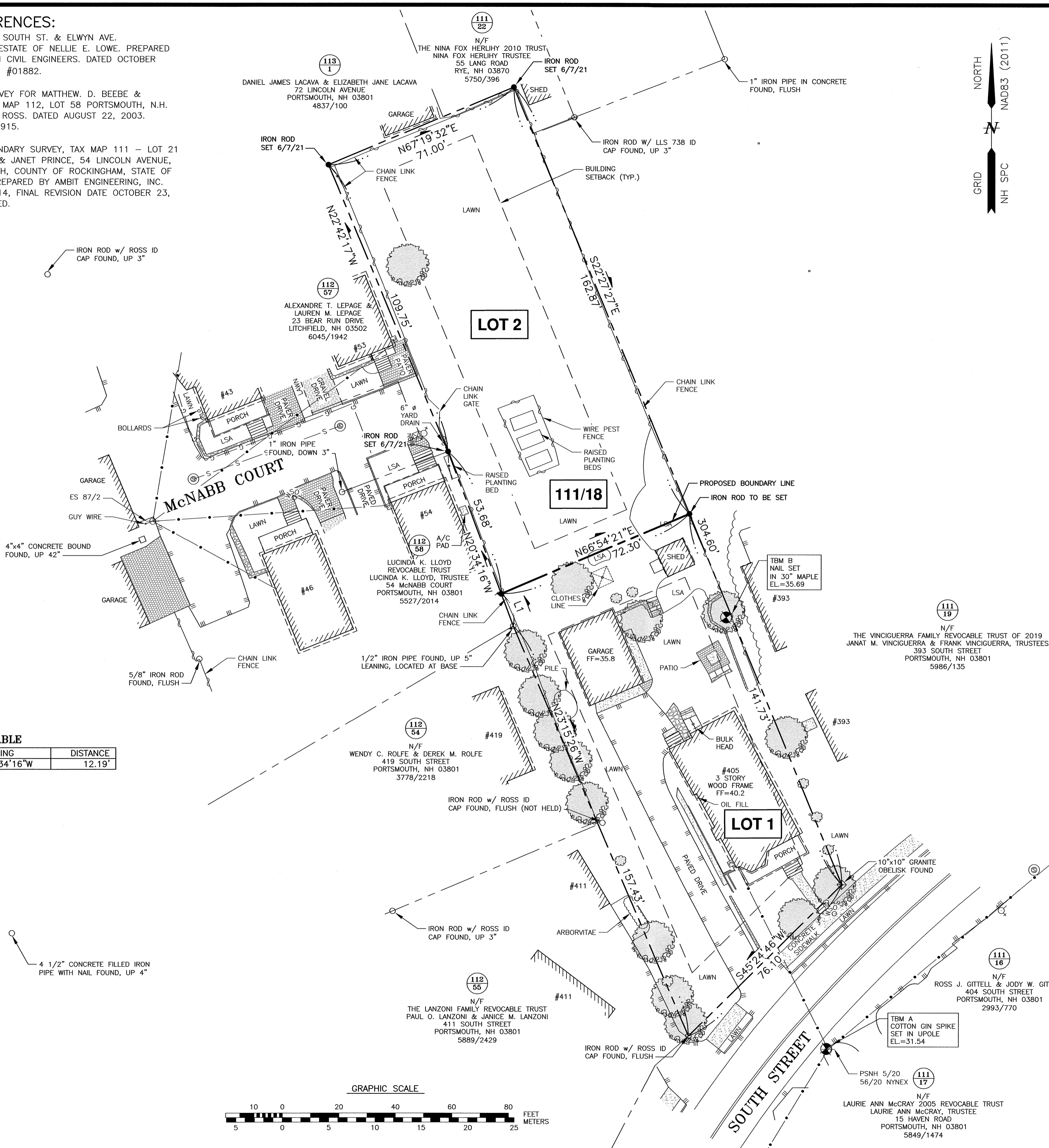
1" = 200'

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
11 21	MAP 11 / LOT 21
---	BOUNDARY
---	PROPOSED BOUNDARY
---	SETBACK
○	RAILROAD SPIKE FOUND
○	IRON ROD/PIPE FOUND
○	DRILL HOLE FOUND
○	STONE/CONCRETE BOUND FOUND
○	RAILROAD SPIKE SET
○	IRON ROD SET
○	DRILL HOLE SET
○	GRANITE BOUND SET
○	EDGE OF PAVEMENT (EP)
○	WOODS / TREE LINE
○	UTILITY POLE (w/ GUY)
○	METER (GAS, WATER, ELECTRIC)
○	TYP.
○	LANDSCAPED AREA

PLAN REFERENCES:

- 1) PLAN OF LOTS, SOUTH ST. & ELWYN AVE. PORTSMOUTH, N.H. ESTATE OF NELLIE E. LOWE. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED OCTOBER 1951. R.C.R.D. PLAN #01882.
- 2) BOUNDARY SURVEY FOR MATTHEW. D. BEEBE & BARBARA R. JENNY, MAP 112, LOT 58 PORTSMOUTH, N.H. PREPARED BY ALEX ROSS. DATED AUGUST 22, 2003. R.C.R.D. PLAN D-30915.
- 3) STANDARD BOUNDARY SURVEY, TAX MAP 111 - LOT 21 FOR PETER BERGH & JANET PRINCE, 54 LINCOLN AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED OCTOBER 2014, FINAL REVISION DATE OCTOBER 23, 2014. NOT RECORDED.



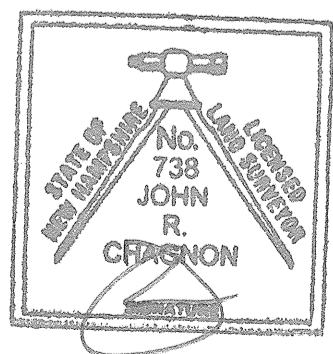
LENGTH TABLE

LINE	BEARING	DISTANCE
L1	N20°34'16"W	12.19'

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS

11/16/21  
DATE

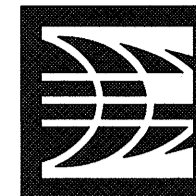
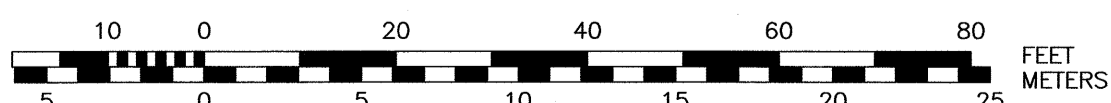


APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

GRAPHIC SCALE



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

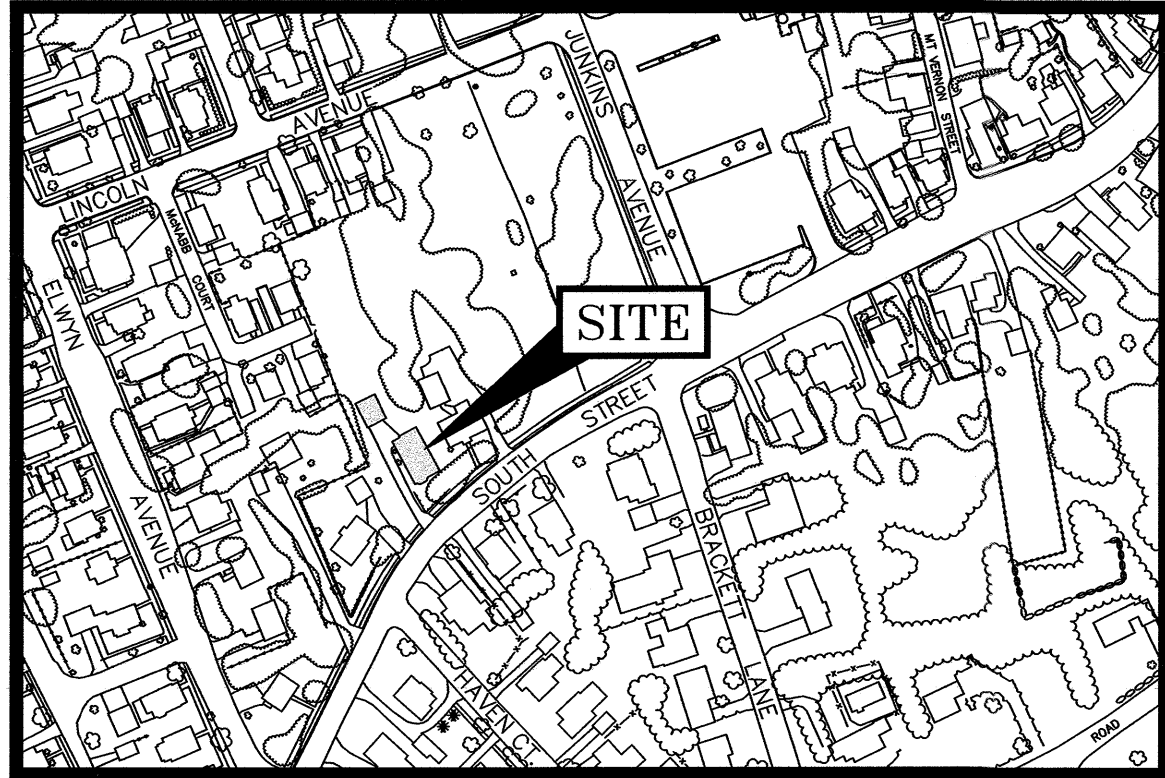
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 111 AS LOT 18.
- 2) OWNER OF RECORD:  
JULIA R. TIEBOUT REVOCABLE TRUST OF 1999  
JULIA ROBB (f/k/a JULIA R. TIEBOUT), TRUSTEE  
405 SOUTH STREET  
PORTSMOUTH, NH 03801  
5064/696
- 3) PARCEL NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:  
22,750 S.F.  
0.5223 ACRES  
  
PROPOSED LOT AREAS:  
LOT 1 11,172 S.F. 0.2565 ACRES  
LOT 2 11,578 S.F. 0.2658 ACRES
- 5) PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 7,500 S.F.  
FRONTAGE: 100 FEET  
MIN. DEPTH: 70 FEET  
SETBACKS: FRONT 15 FEET  
SIDE 10 FEET  
REAR 20 FEET  
  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 25%  
MINIMUM OPEN SPACE: 30%
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 9) THE PURPOSE OF THIS PLAN IS TO SHOW A SUBDIVISION OF ASSESSOR'S MAP 111 LOT 18 IN THE CITY OF PORTSMOUTH INTO TWO LOTS.

NO.	DESCRIPTION	DATE
2	PROPOSED LINE	11/16/21
1	REVISE PER COMMENTS	9/14/21
0	ISSUED FOR COMMENT	8/16/21

SUBDIVISION PLAN  
LAND OF  
JULIA R. TIEBOUT  
REVOCABLE TRUST OF 2009  
405 SOUTH STREET  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE

SCALE 1"=20'

AUGUST 2021



LOCATION MAP

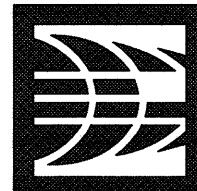
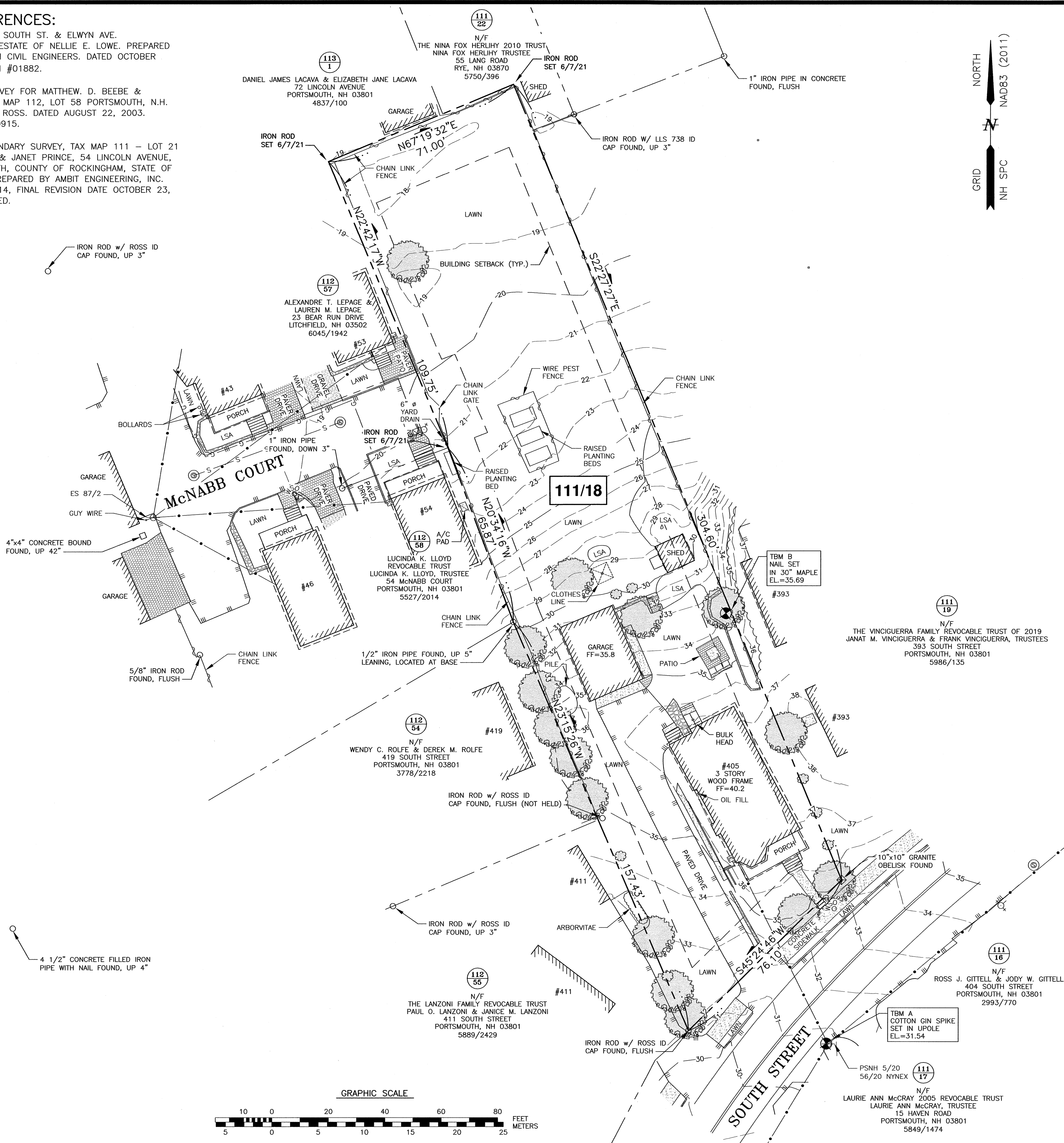
1"= 200'

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
11 21	MAP 11 / LOT 21
---	BOUNDARY
---	SETBACK
○	RAILROAD SPIKE FOUND
●	IRON ROD/PIPE FOUND
○	DRILL HOLE FOUND
■	STONE/CONCRETE BOUND FOUND
○	RAILROAD SPIKE SET
○	IRON ROD SET
○	DRILL HOLE SET
■	GRANITE BOUND SET
---	SEWER LINE
---	GAS LINE
---	STORM DRAIN
---	WATER LINE
---	UNDERGROUND ELECTRIC
---	OVERHEAD ELECTRIC/WIRES
---	CONTOUR
---	SPOT ELEVATION
---	EDGE OF PAVEMENT (EP)
---	WOODS / TREE LINE
○	UTILITY POLE (w/ GUY)
○	GAS SHUT OFF
○	WATER SHUT OFF/CURB STOP
○	GATE VALVE
○	HYDRANT
○	METER (GAS, WATER, ELECTRIC)
○	CATCH BASIN
○	TELEPHONE MANHOLE
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	AIR CONDITIONER UNIT
○	SIGNS
○	ELEVATION
○	EP
○	F.F.
○	INV.
○	TBM
○	TYP.
○	VGC/SGC
○	LSA

PLAN REFERENCES:

- 1) PLAN OF LOTS, SOUTH ST. & ELWYN AVE. PORTSMOUTH, N.H. ESTATE OF NELLIE E. LOWE. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED OCTOBER 1951. R.C.R.D. PLAN #01882.
- 2) BOUNDARY SURVEY FOR MATTHEW. D. BEEBE & BARBARA R. JENNY, MAP 112, LOT 58 PORTSMOUTH, N.H. PREPARED BY ALEX ROSS. DATED AUGUST 22, 2003. R.C.R.D. PLAN D-30915.
- 3) STANDARD BOUNDARY SURVEY, TAX MAP 111 - LOT 21 FOR PETER BERGH & JANET PRINCE, 54 LINCOLN AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED OCTOBER 2014, FINAL REVISION DATE OCTOBER 23, 2014. NOT RECORDED.



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 111 AS LOT 18.
- 2) OWNER OF RECORD:  
JULIA R. TIEBOUT REVOCABLE TRUST OF 1999  
JULIA ROBB (f/k/a JULIA R. TIEBOUT), TRUSTEE  
405 SOUTH STREET  
PORTSMOUTH, NH 03801  
5064/696
- 3) PARCEL NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:  
22,750 S.F.  
0.5223 ACRES
- 5) PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 7,500 S.F.  
FRONTAGE: 100 FEET  
MIN. DEPTH: 70 FEET  
SETBACKS: FRONT 15 FEET  
SIDE 10 FEET  
REAR 20 FEET  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 25%  
MINIMUM OPEN SPACE: 30%
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 9) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 111 LOT 18 IN THE CITY OF PORTSMOUTH.

PROPOSED SUBDIVISION  
ROBB RESIDENCE  
405 SOUTH STREET  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	6/7/21
REVISIONS		

SCALE 1"=20'

JUNE 2021

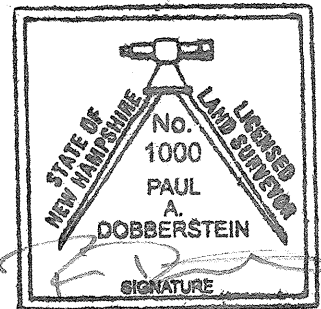
EXISTING CONDITIONS  
PLAN

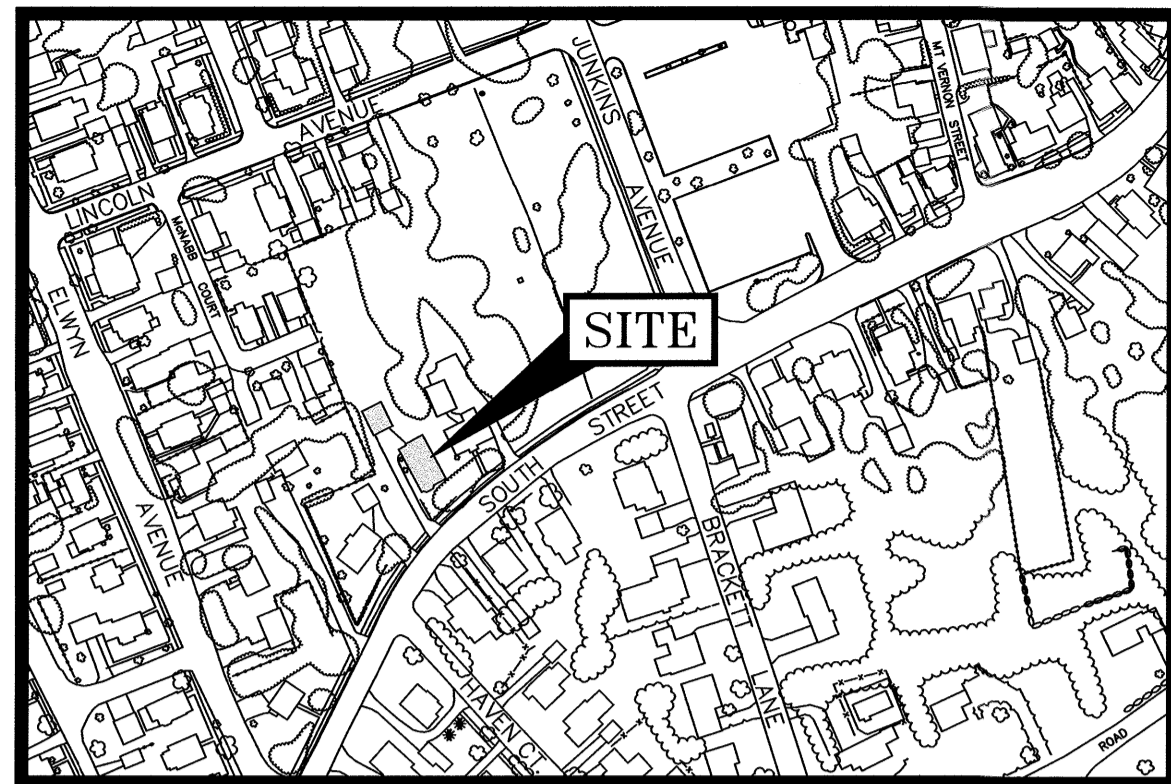
C1

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A DOBBERSTEIN, LLS

DATE



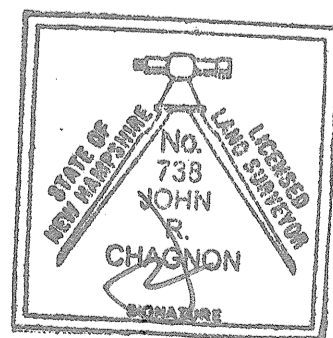


LOCATION MAP

1"= 200'

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCD	ROCKINGHAM COUNTY
11	REGISTRY OF DEEDS
21	MAP 11 / LOT 21
---	BOUNDARY
- - -	SETBACK
○	RAILROAD SPIKE FOUND
●	IRON ROD/PIPE FOUND
□	DRILL HOLE FOUND
■	STONE/CONCRETE BOUND FOUND
○	RAILROAD SPIKE SET
●	IRON ROD SET
□	DRILL HOLE SET
■	GRANITE BOUND SET
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	WATER LINE
---	UNDERGROUND ELECTRIC
---	OVERHEAD ELECTRIC/WIRES
---	CONTOUR
---	SPOT ELEVATION
---	EDGE OF PAVEMENT (EP)
---	WOODS / TREE LINE
○	UTILITY POLE (w/ GUY)
○	GAS SHUT OFF
○	WATER SHUT OFF/CURB STOP
○	GATE VALVE
○	HYDRANT
○	METER (GAS, WATER, ELECTRIC)
○	CATCH BASIN
○	TELEPHONE MANHOLE
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	AIR CONDITIONER UNIT
○	SIGNS
EL.	ELEVATION
EP	EDGE OF PAVEMENT
F.F.	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL
VGC/SGC	VERTICAL/SLOPED GRANITE CURB
LSA	LANDSCAPED AREA

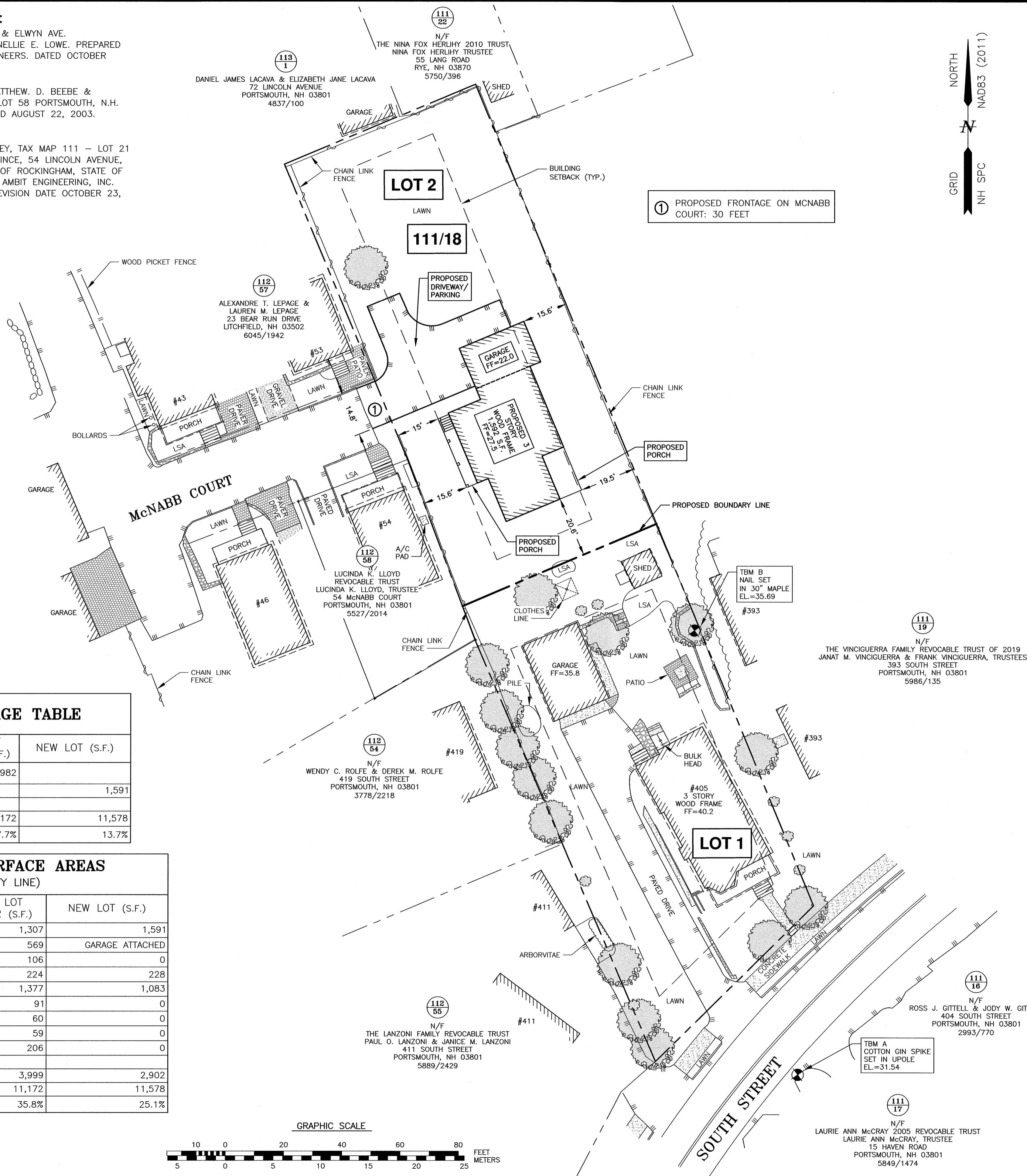


"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS  
DATE 2-17-22

PLAN REFERENCES:

- 1) PLAN OF LOTS, SOUTH ST. & ELWYN AVE. PORTSMOUTH, N.H. ESTATE OF NELLIE E. LOWE. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED OCTOBER 1951. R.C.R.D. PLAN #01882.
- 2) BOUNDARY SURVEY FOR MATTHEW. D. BEEBE & BARBARA R. JENNY, MAP 112, LOT 58 PORTSMOUTH, N.H. PREPARED BY ALEX ROSS. DATED AUGUST 22, 2003. R.C.R.D. PLAN D-30915.
- 3) STANDARD BOUNDARY SURVEY, TAX MAP 111 - LOT 21 FOR PETER BERGH & JANET PRINCE, 54 LINCOLN AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED OCTOBER 2014, FINAL REVISION DATE OCTOBER 23, 2014. NOT RECORDED.

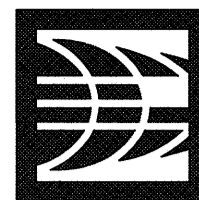


BUILDING COVERAGE TABLE

STRUCTURE	EXISTING LOT REMAINDER (S.F.)	NEW LOT (S.F.)
HOUSE, GARAGE, SHED	1,982	
HOUSE & GARAGE		1,591
LOT AREAS	11,172	11,578
% LOT COVERAGE	17.7%	13.7%

IMPERVIOUS SURFACE AREAS  
(TO PROPERTY LINE)

STRUCTURE	EXISTING LOT REMAINDER (S.F.)	NEW LOT (S.F.)
MAIN STRUCTURE	1,307	1,591
GARAGE	569	GARAGE ATTACHED
SHED	106	0
STAIRS/PORCHES/DECKS	224	228
PAVEMENT	1,377	1,083
PATIOS	91	0
WALKWAYS	60	0
RETAINING WALLS	59	0
CONCRETE	206	0
TOTAL	3,999	2,902
LOT SIZE	11,172	11,578
% LOT COVERAGE	35.8%	25.1%



AMBIT ENGINEERING, INC.  
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

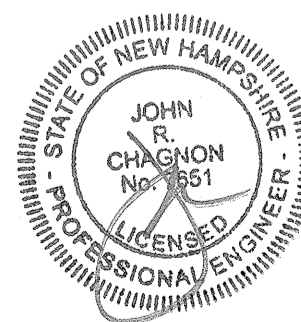
NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 111 AS LOT 18.
- 2) OWNER OF RECORD:  
JULIA R. TIEBOUT REVOCABLE TRUST OF 1999  
JULIA ROBB (f/k/a JULIA R. TIEBOUT), TRUSTEE  
405 SOUTH STREET  
PORTSMOUTH, NH 03801  
5064/696
- 3) PARCEL NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:  
22,750 S.F.  
0.5223 ACRES  
  
PROPOSED LOT AREAS:  
LOT 1 11,172 S.F. 0.2565 ACRES  
LOT 2 11,578 S.F. 0.2658 ACRES
- 5) PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 7,500 S.F.  
FRONTAGE: 100 FEET  
MIN. DEPTH: 70 FEET  
SETBACKS: FRONT 15 FEET  
SIDE 10 FEET  
REAR 20 FEET  
  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 25%  
MINIMUM OPEN SPACE: 30%
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 9) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED CONDITIONS ON THE LOT DIVIDED FROM ASSESSOR'S MAP 111 LOT 18 IN THE CITY OF PORTSMOUTH.

PROPOSED SUBDIVISION  
SAI BUILDERS, LLC  
405 SOUTH STREET  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
3	COVERAGE TABLE	2/17/22
2	ISSUED FOR APPROVAL	1/24/22
1	PROPOSED LINE	11/16/21
0	ISSUED FOR COMMENT	6/7/21

NO.	DESCRIPTION	DATE
-----	-------------	------



SCALE 1"=20'

JUNE 2021

SUBDIVISION SITE  
PLAN

C2



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

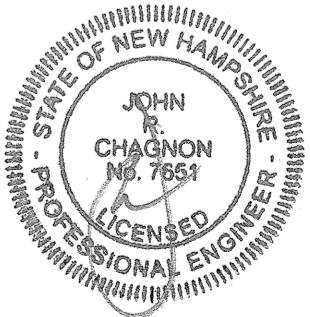
**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**PROPOSED SUBDIVISION**  
**SAI BUILDERS, LLC**  
**405 SOUTH STREET**  
**PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	3/1/22
NO.	DESCRIPTION	DATE

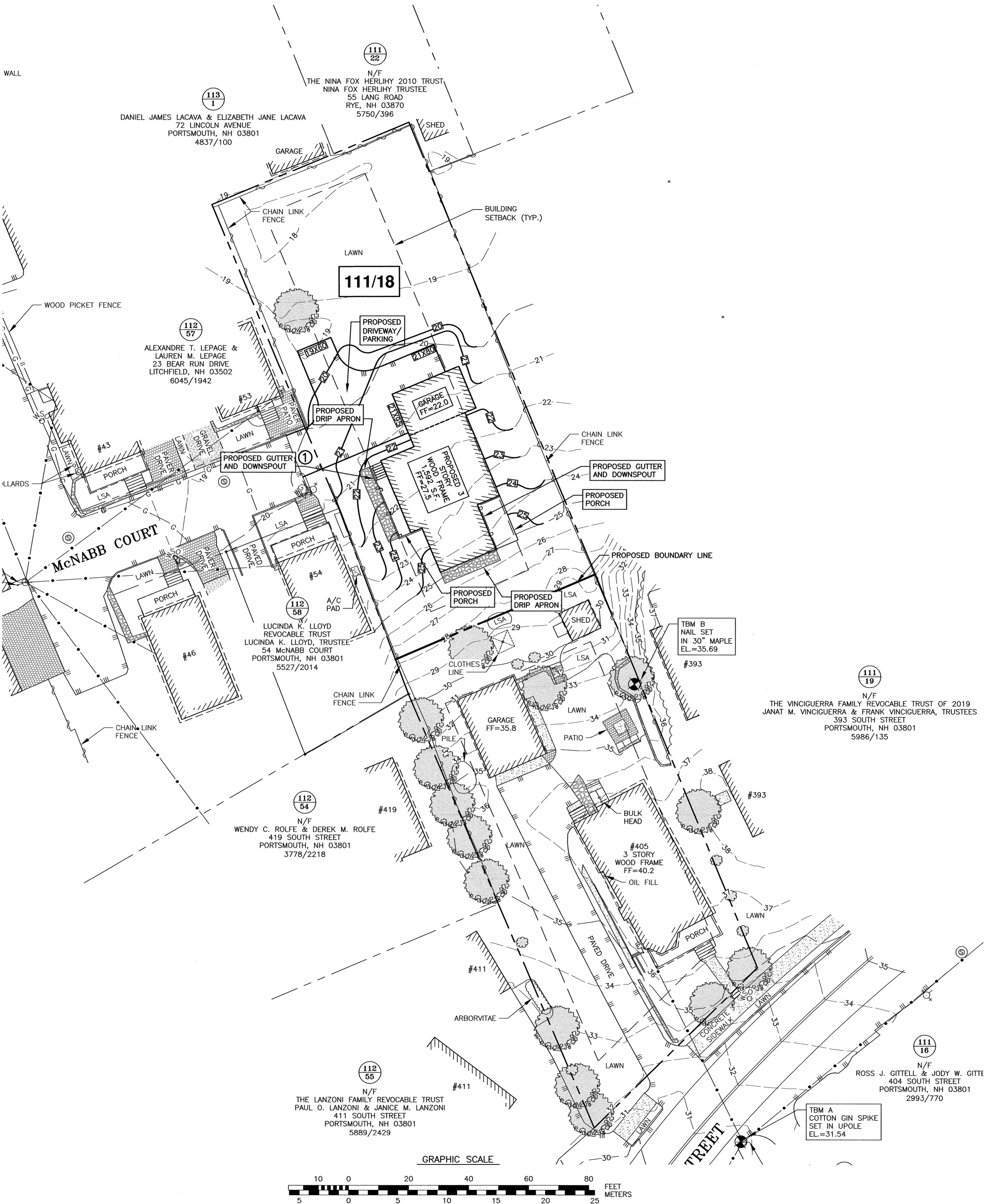
**REVISIONS**



SCALE 1"=10' JUNE 2021

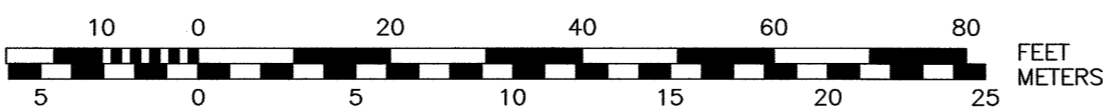
**GRADING  
PLAN**

**C3**



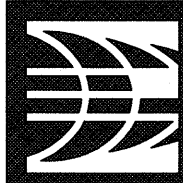
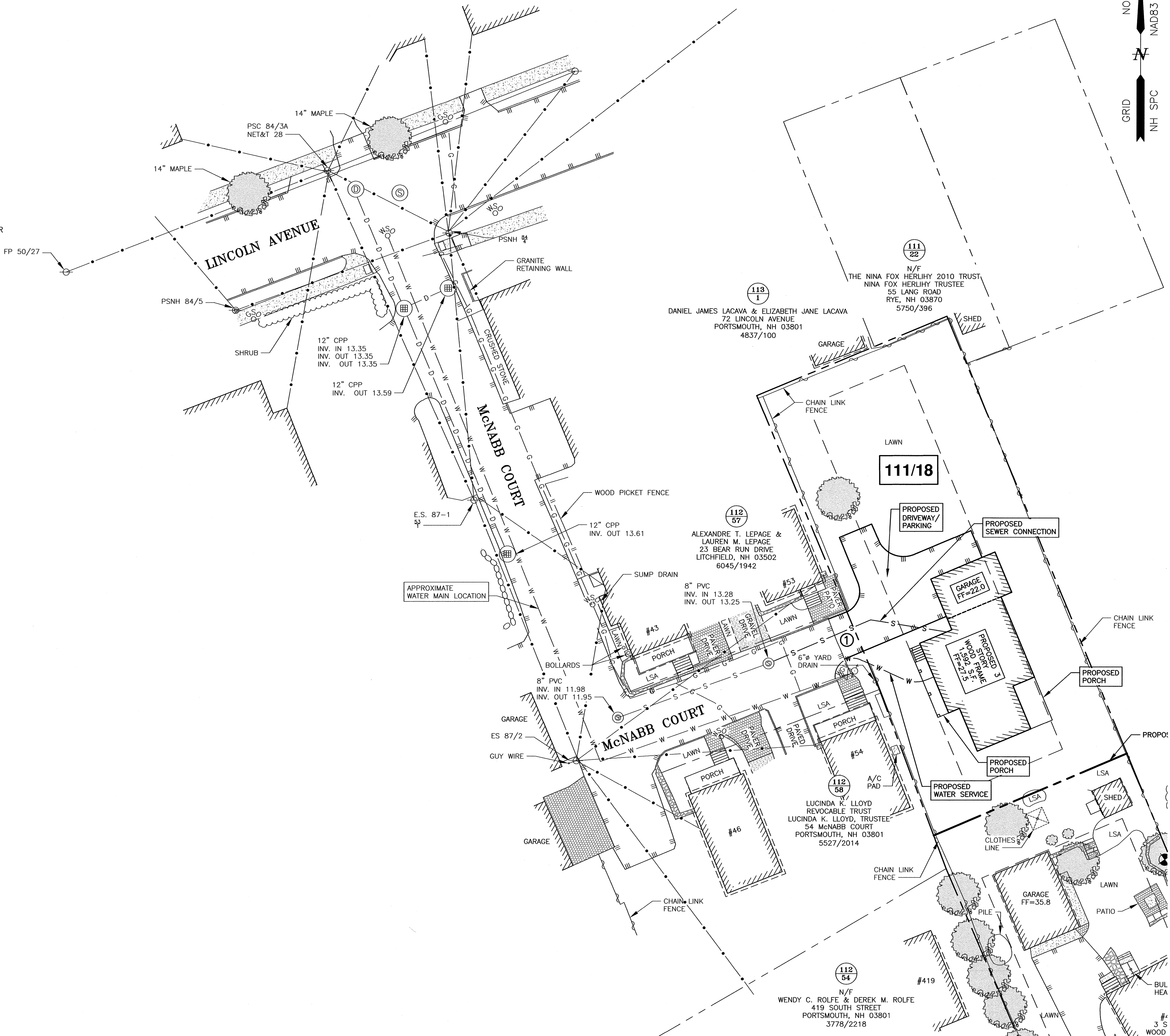
NORTH  
GRID  
NAD83 (2011)  
NH SPC

GRAPHIC SCALE



UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ANY WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ANY WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) ANY EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

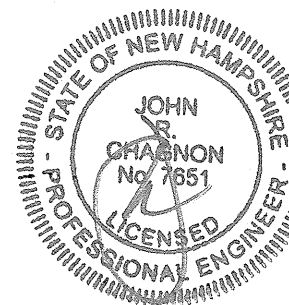
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE 'NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING CATCH BASINS IN THE PROJECT VICINITY UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER: TBD
- 8) PROPOSED SEWER FLOW: SINGLE FAMILY RESIDENCE  
210 GPD AVERAGE

PROPOSED SUBDIVISION  
SAI BUILDERS, LLC  
405 SOUTH STREET  
PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	3/1/22
NO.	DESCRIPTION	DATE

REVISIONS



SCALE 1"=20' JUNE 2021

UTILITIES  
PLAN

C4

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

INSTALL PERIMETER CONTROLS, i.e., SILTSOXX AROUND THE LIMITS OF DISTURBANCE AND DRAINAGE CONSTRUCTION FENCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

CUT BRUSH AND TREES AS REQUIRED. STUMP SITE AND CLEAR TOPSOIL.

INSTALL FOUNDATION AND BACKFILL; ROUGH GRADE DRIVEWAY

ROUGH GRADE SITE, PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES IN THE FORM OF MULCHING, JUTE MESH OR DITCH DAMS.

CONSTRUCT BUILDING & DRIP APRONS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

FINISH ALL REMAINING LANDSCAPE WORK.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILTSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES ( LOAM AND SEED AREAS ) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS—CONSTRUCT SILT FENCE OR SILTSOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:  
\* BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED  
\* A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED  
\* A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED  
\* EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.

NEW LAWN INSTALLATION

—ORDER OF PROCESSES:  
1. SOIL TESTING. SOIL TYPE PREFERRED IS CLOSE TO NEUTRAL PH AND HAS A BALANCED FUNGAL TO BACTERIAL RATIO.  
2. PLANTING BED PREPARATION WITH SOIL AMENDMENTS AS SPECIFIED BY SOIL TEST RESULTS.  
3. SEEDING WITH AN APPROPRIATE MIX OF SEEDS BY HAND, USING A SPREADER OR SEED DRILLER, OR BY ORGANIC HYDROSEEDING.  
4. WATERING FREQUENTLY BUT SHALLOWLY, MAINTAINING A "UNIFORMLY MOIST" SEEDBED DURING GERMINATION AND ESTABLISHMENT.

LAWN MAINTENANCE

—GRASS SHOULD BE ALLOWED TO GROW 3" OR TALLER IN HEIGHT PRIOR TO FIRST MOWING. GRASS CLIPPINGS SHOULD BE LEFT IN PLACE.  
—REMOVE NO MORE THAN 1/5 OF GRASS LENGTH PER MOWING.

FERTILIZING

—ORGANIC FERTILIZERS ONLY. OMRI CERTIFIED PRODUCTS (ORGANIC MATERIALS REVIEW INSTITUTE) ARE PREFERRED.

EROSION CONTROL NOTES

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS: LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

ORGANIC FERTILIZERS ONLY. OMRI CERTIFIED PRODUCTS (ORGANIC MATERIALS REVIEW INSTITUTE) ARE PREFERRED.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. PER CITY OF PORTSMOUTH ZONING ORDINANCE, ARTICLE 10.1018.24 FERTILIZERS: THE USE OF ANY FERTILIZER IS PROHIBITED IN A WETLAND, VEGETATED BUFFER STRIP OR LIMITED CUT AREA; AND THE USE OF FERTILIZERS OTHER THAN LOW PHOSPHATE AND SLOW RELEASE NITROGEN FERTILIZERS IS PROHIBITED IN ANY PART OF A WETLAND BUFFER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREeping RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	
SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)		
CREeping RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS: MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:  
PERENNIAL RYE: 0.7 LBS/1,000 S.F.  
1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE. PER CITY OF PORTSMOUTH ZONING ORDINANCE, ARTICLE 10.1018.24 FERTILIZERS: THE USE OF ANY FERTILIZER IS PROHIBITED IN A WETLAND, VEGETATED BUFFER STRIP OR LIMITED CUT AREA; AND THE USE OF FERTILIZERS OTHER THAN LOW PHOSPHATE AND SLOW RELEASE NITROGEN FERTILIZERS IS PROHIBITED IN ANY PART OF A WETLAND BUFFER.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT. PER CITY OF PORTSMOUTH ZONING ORDINANCE, ARTICLE 10.1018.24 FERTILIZERS: THE USE OF ANY FERTILIZER IS PROHIBITED IN A WETLAND, VEGETATED BUFFER STRIP OR LIMITED CUT AREA; AND THE USE OF FERTILIZERS OTHER THAN LOW PHOSPHATE AND SLOW RELEASE NITROGEN FERTILIZERS IS PROHIBITED IN ANY PART OF A WETLAND BUFFER. ORGANIC FERTILIZERS ONLY. OMRI CERTIFIED PRODUCTS (ORGANIC MATERIALS REVIEW INSTITUTE) ARE PREFERRED.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

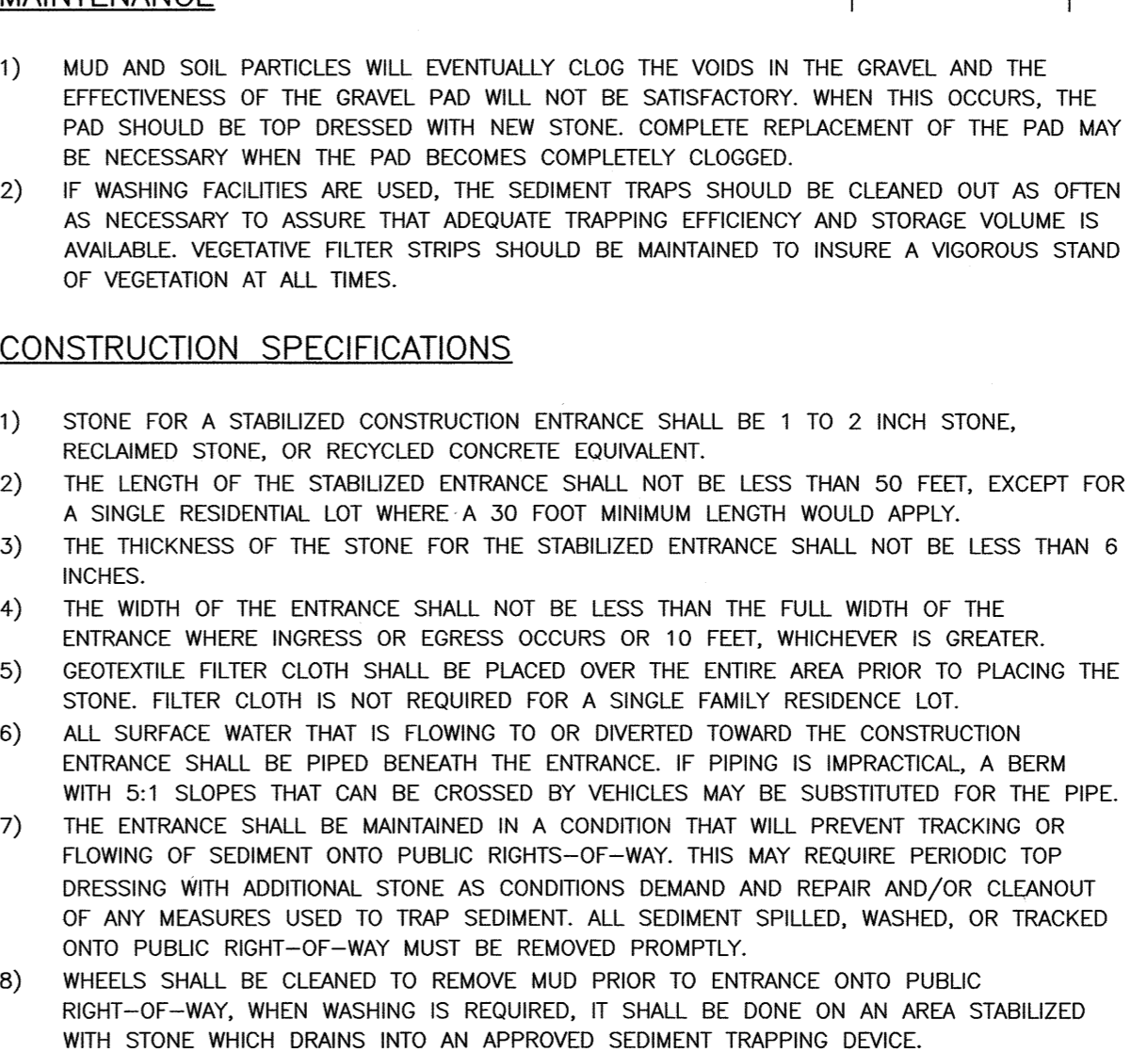
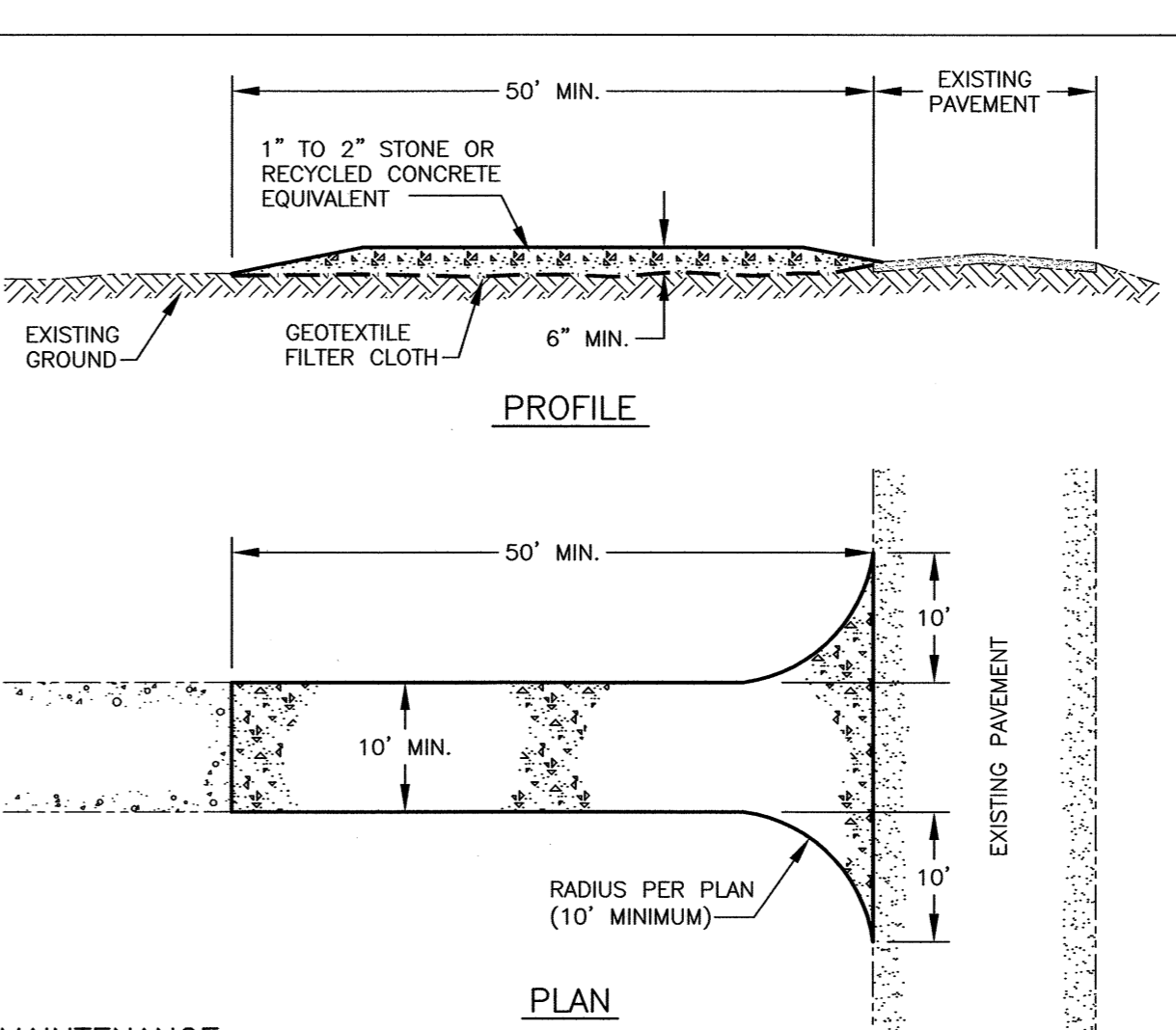
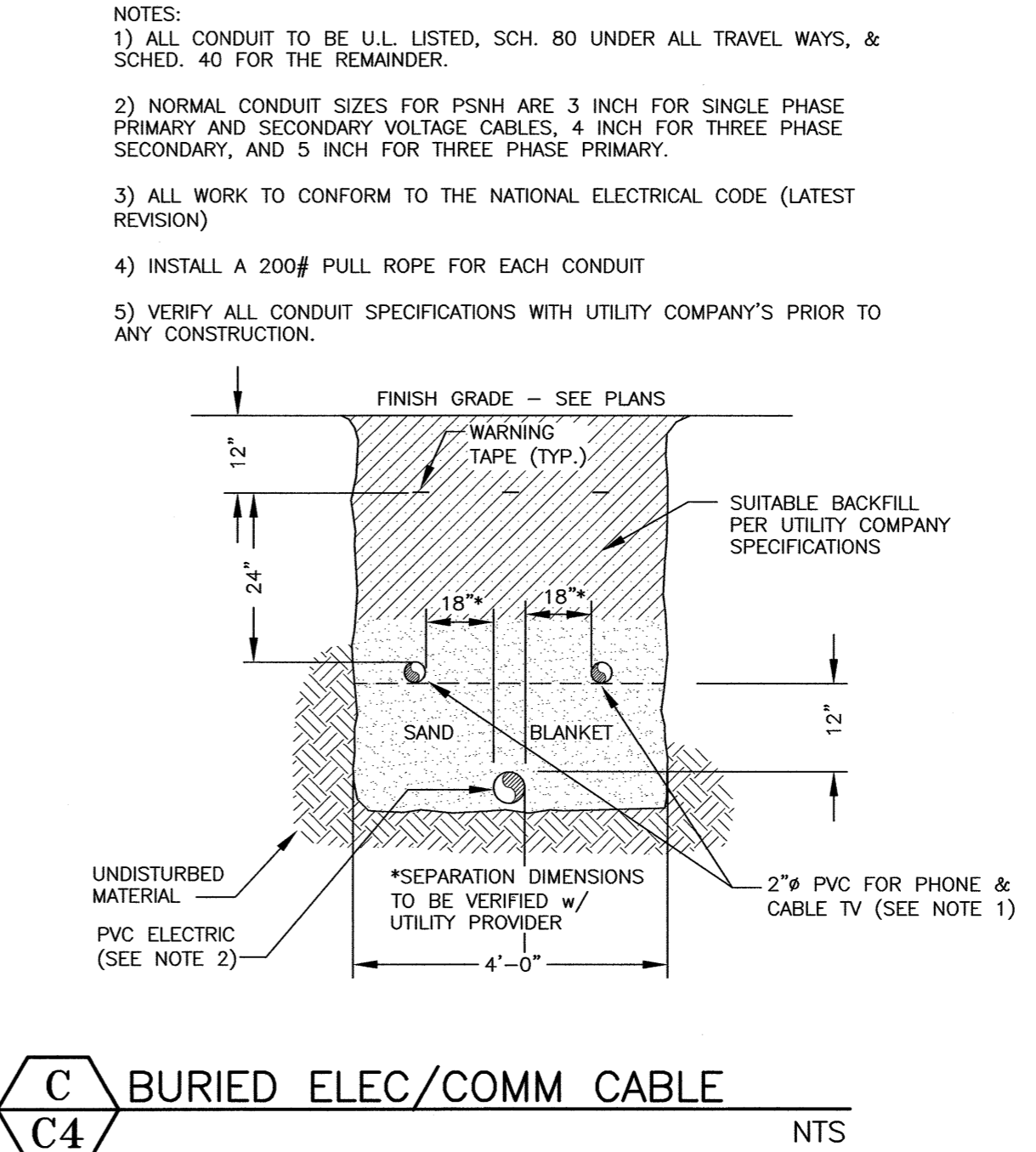
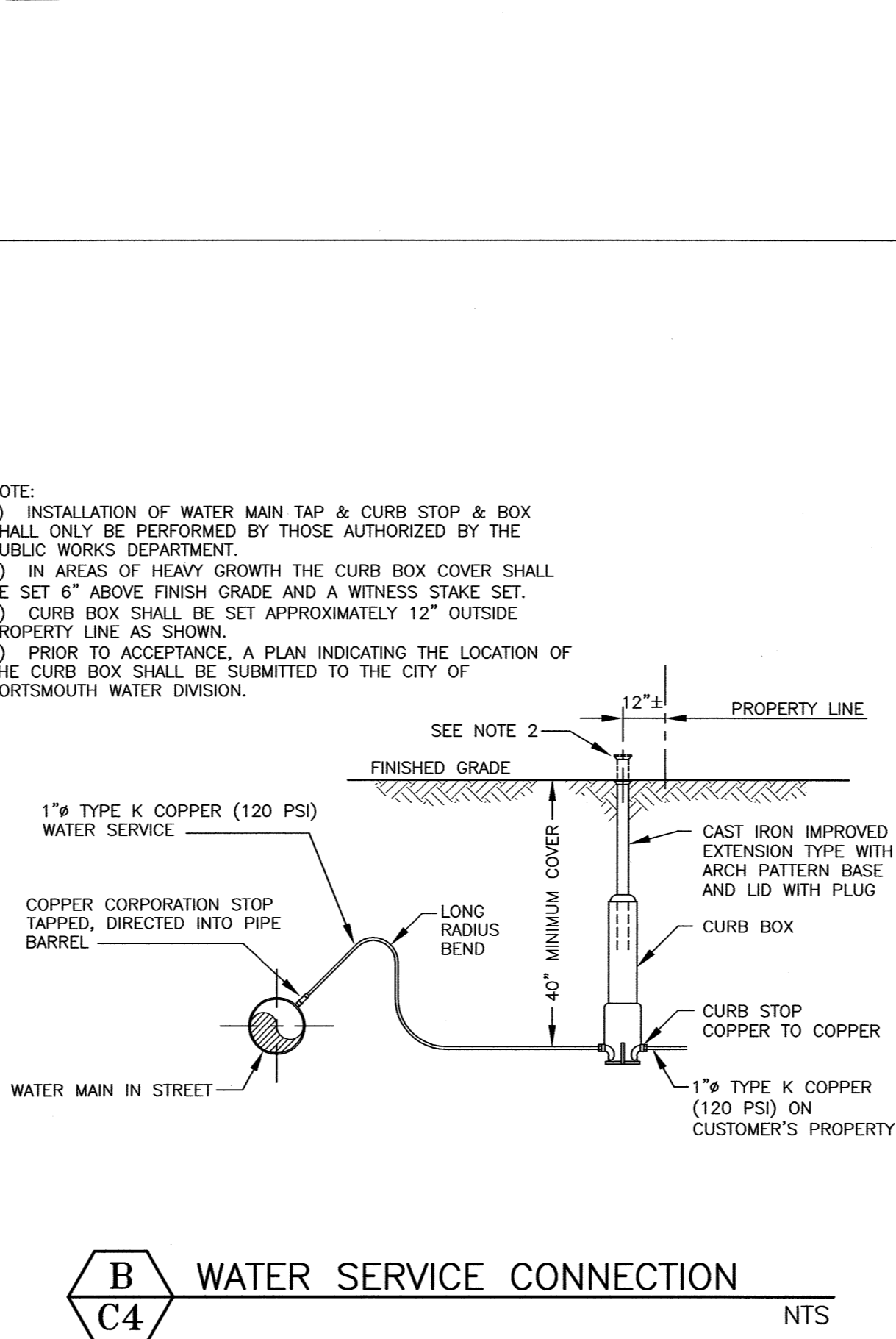
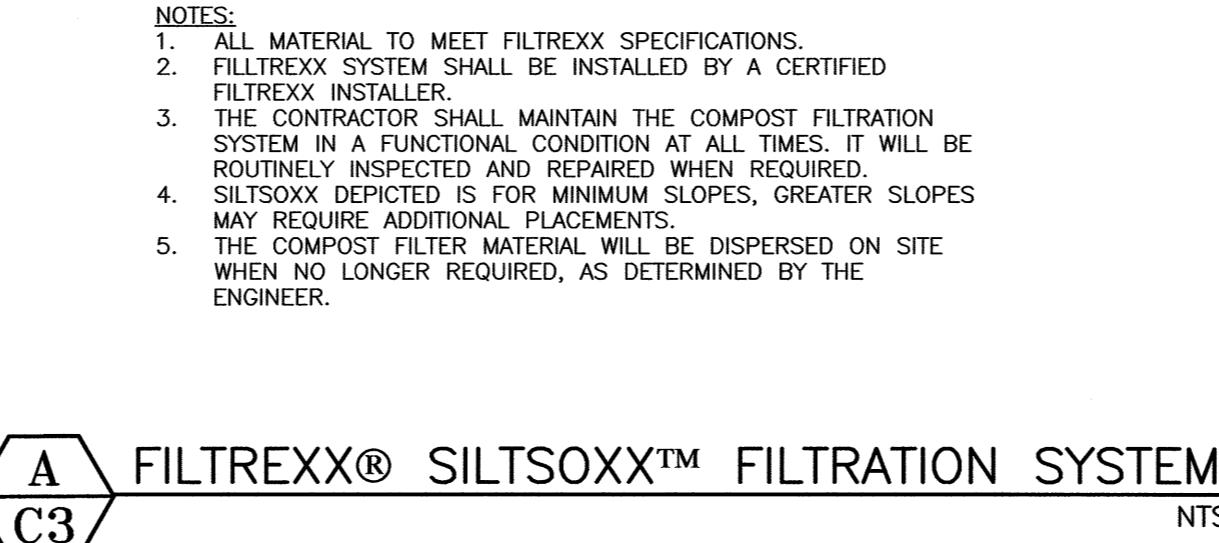
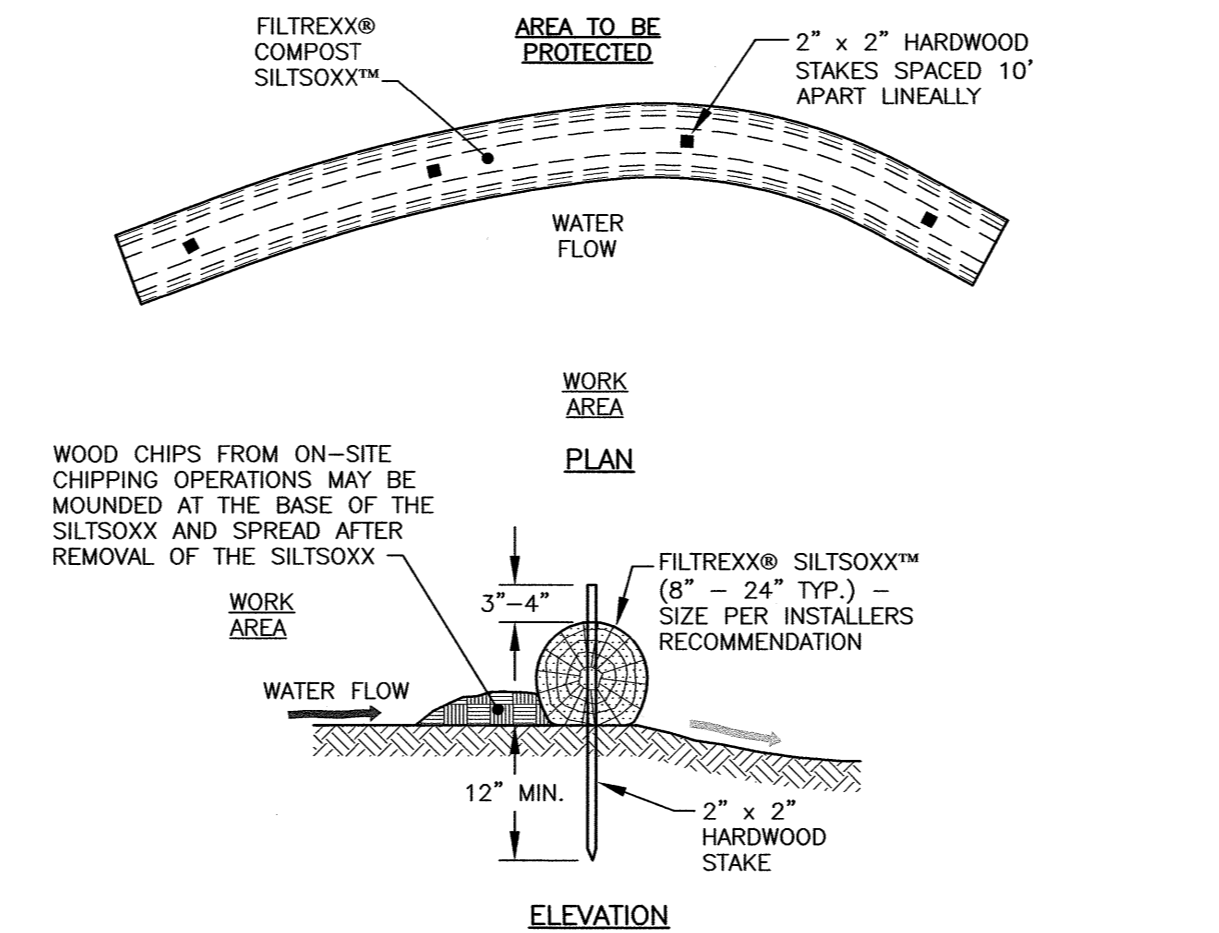
SILT FENCING AND SILTSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILTSOXX REMOVAL SHALL BE PERMANENTLY SEEDED.


WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.





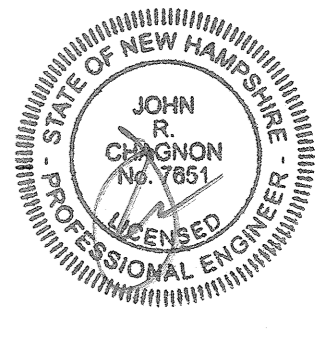
**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road – Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

- NOTES:
- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

PROPOSED SUBDIVISION  
405 SOUTH STREET  
PORTSMOUTH, NH

0	ISSUED FOR COMMENT	3/1/22
NO.	DESCRIPTION	DATE

REVISIONS



SCALE: AS SHOWN      FEBRUARY 2022

EROSION NOTES  
& DETAILS

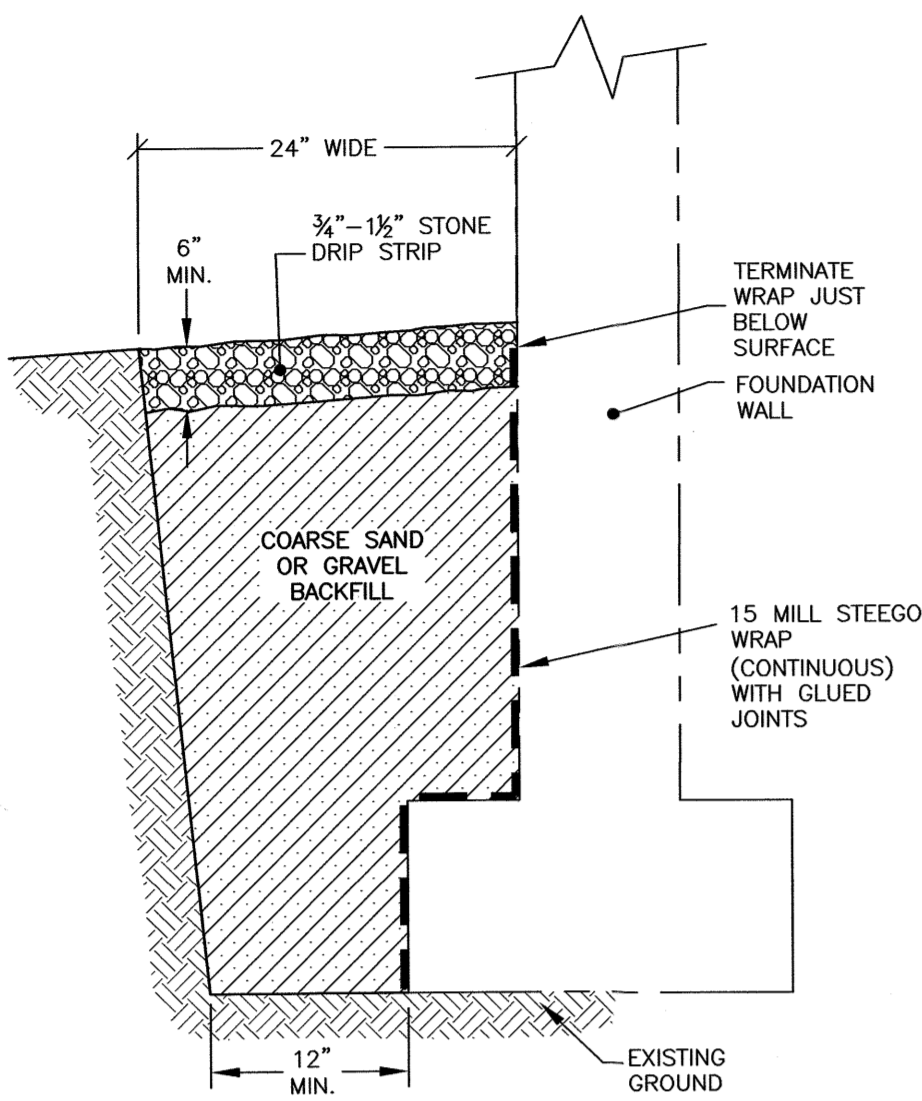
D1



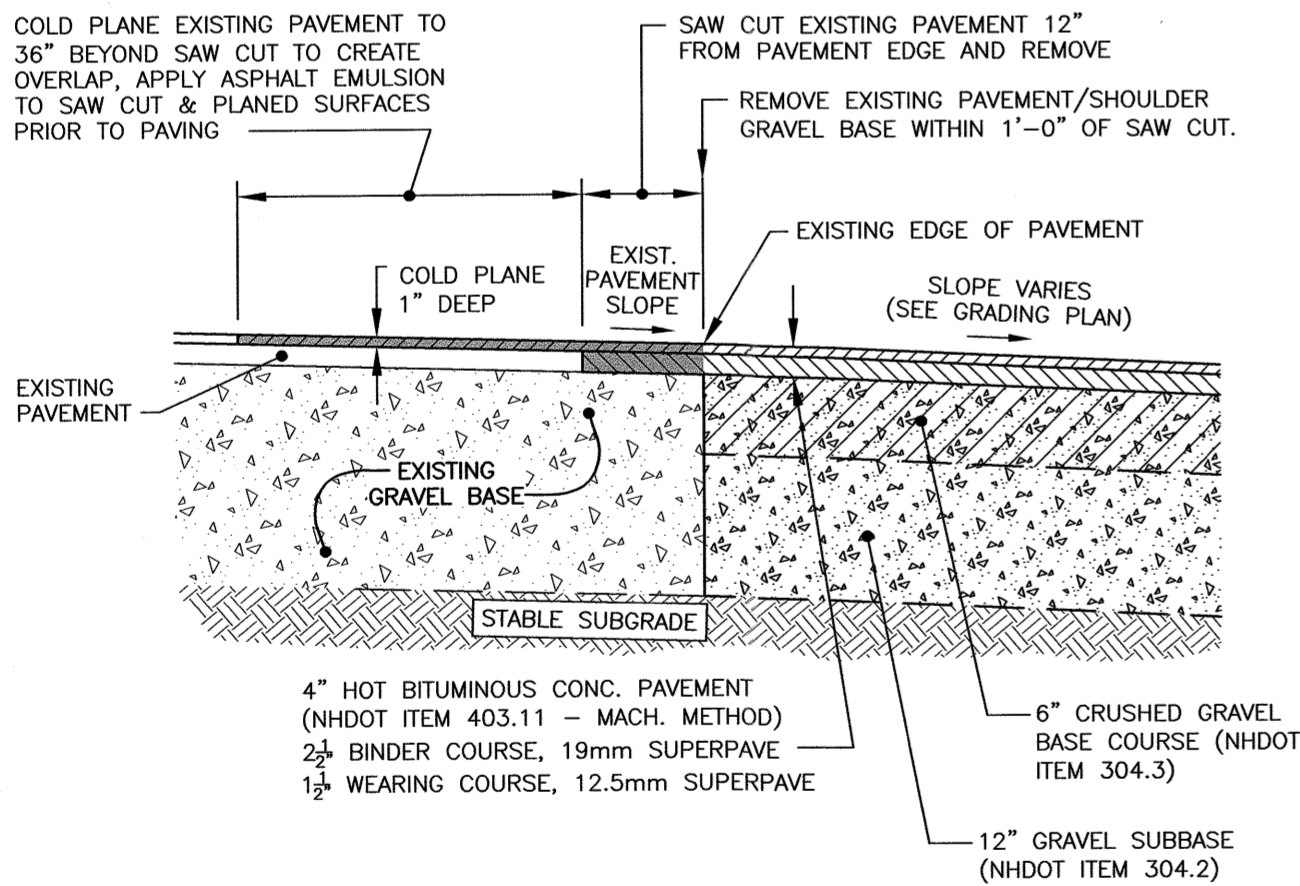
**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



**E**  
**C3** **STONE DRIP APRON**  
(UNDER BUILDING DRIP LINE) NTS



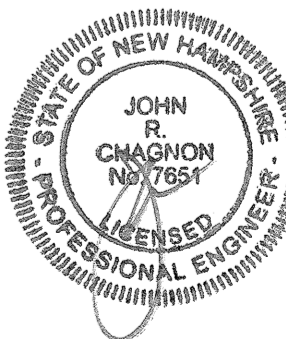
- NOTES:
- 1) PAVEMENT SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS - SECTION 401.
  - 2) CRUSHED GRAVEL AND GRAVEL SUBBASE SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS - SECTION 304, TABLE 1E, AND SHALL BE COMPACTED AS INDICATED IN SECTION 304, 3.6 COMPACTION, AND 3.7 DENSITY TESTING, AND CITY OF PORTSMOUTH CONSTRUCTION STANDARDS, SECTION VIII B AND C.

**F**  
**C2** **PAVEMENT / PAVEMENT JOINT DETAIL**  
NTS

**PROPOSED SUBDIVISION**  
**405 SOUTH STREET**  
**PORTSMOUTH, NH**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	3/1/22

REVISIONS



SCALE: AS SHOWN FEBRUARY 2022

DETAILS

**D2**

Mar 01, 2022 - 11:37am  
F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-120 - Smithfield Construction - 437 Lafayette Rd\Design\PRODUCTION DRAWINGS\45407-120\_Cover.dwg

GENERAL INFORMATION

**OWNER**  
MAP 229 LOT 1  
ARTWILL, LLC  
P.O. BOX 370  
PORTSMOUTH, NH 03802

**APPLICANT**  
MAP 229 LOT 1  
ARTWILL, LLC  
P.O. BOX 370  
PORTSMOUTH, NH 03802

**PREPARED FOR**  
MAP 229 LOT 1  
ARTWILL, LLC  
P.O. BOX 370  
PORTSMOUTH, NH 03802

**RESOURCE LIST**

PLANNING/ZONING DEPARTMENT  
1 JUNKINS AVE  
PORTSMOUTH, NH 03801  
603-610-7216

BUILDING DEPARTMENT  
1 JUNKINS AVE  
PORTSMOUTH, NH 03801  
603-610-7243  
ROBERT MARSLIA,  
CHIEF BUILDING INSPECTOR

PUBLIC WORKS  
600 PEVERLY HILL RD  
PORTSMOUTH, NH 03801  
603-472-1530  
PETER RICE, PUBLIC WORKS DIRECTOR

POLICE DEPARTMENT  
3 JUNKINS AVE  
PORTSMOUTH, NH 03801  
603-427-1510  
MARK NEWPORT, CHIEF

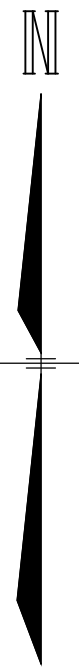
FIRE DEPARTMENT  
170 COURT ST  
PORTSMOUTH, NH 03801  
603-427-1515  
PATRICK HOWE, CHIEF

PROPOSED 3 LOT  
SUBDIVISION

437 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE

MARCH 1, 2022

VICINITY PLAN



HORIZONTAL SCALE 1"=500'  
500 250 0 500

INDEX OF SHEETS

SHEET	SHEET TITLE
C-00	COVER
C-01	NOTES & LEGEND
S-01	EXISTING CONDITIONS PLAN
S-02	SUBDIVISION PLAN
C-02	SITE PREPARATION & DEMOLITION PLAN
C-03	SITE LAYOUT PLAN
C-04	GRADING & DRAINAGE PLAN
C-05	UTILITY PLAN
C-06	LANDSCAPE PLAN
C-07	EROSION CONTROL PLAN
C-08	EROSION CONTROL NOTES
C-09 - C-10	DETAILS
REFERENCE PLANS BY ASSOCIATED PROFESSIONALS	
-	LIGHTING PLAN
-	ARCHITECTURAL ELEVATION PLAN

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
CITY PLANNING BOARD SITE PLAN REVIEW	-	-	-
NHDES SEWER CONNECTION PERMIT	-	-	-

WAIVERS

THE FOLLOWING WAIVERS FROM THE CITY OF PORTSMOUTH SITE REVIEW REGULATIONS ARE BEING REVIEWED BY THE PLANNING BOARD:  
1. CITY/TOWN OF XXX SITE REVIEW REGULATIONS SECTION XXX-XX(X)(X)(X) -  
XXX SHALL BE A MINIMUM OF XXX' IN WIDTH.

SITE DEVELOPMENT PLANS

TAX MAP 229 LOT 1  
**COVER**  
**PROPOSED 3 LOT SUBDIVISION**  
**437 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**  
OWNED BY & PREPARE FOR  
**ARTWILL, LLC**

SCALE: AS SHOWN

MARCH 1, 2022

Copyright 2022 ©TFMoran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.




CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

PROGRESS  
PRINT  
date: 3/1/2022

REV	DATE	DESCRIPTION			DR CK

		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists		48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 <a href="http://www.tfmoran.com">www.tfmoran.com</a>	
FILE	45407-120	DR	JSM	FB	-
		CK	JCC	CADFILE	45407-120_COVER
C-00					

## LEGEND:

## MAP 229 / LOT 9

A.G.  
BK./PG.  
BNDF  
DYL  
EL.  
EP  
FF  
GM  
IPF  
IRF  
N/F  
ORN  
RCRD  
R.O.W.  
S.F.  
SWL  
VGC  
WM

ASSESSOR'S MAP NUMBER/  
LOT NUMBER  
ABOVE GRADE  
BOOK/PAGE  
BOUND FOUND  
DOUBLE YELLOW LINE  
ELEVATION  
ELECTRIC METER  
EDGE OF PAVEMENT  
FINISHED FLOOR  
GAS METER  
IRON PIPE FOUND  
IRON ROD FOUND  
NOW OR FORMERLY  
ORNAMENTAL  
ROCKINGHAM COUNTY  
REGISTRY OF DEEDS  
RIGHT OF WAY  
SQUARE FEET  
SINGLE WHITE LINE  
VERTICAL GRANITE CURB  
WATER METER

LANDSCAPED AREA  
PAVEMENT  
CONCRETE

HYDRANT  
IRRIGATION CONTROL VALVE  
WATER SHUT OFF  
WATER VALVE  
POST INDICATOR VALVE  
AIR CONDITIONER  
ELECTRIC BOX  
UTILITY POLE  
LIGHT POST  
SEWER CLEAN OUT  
SEWER MANHOLE  
GAS VALVE  
DRAINAGE MANHOLE  
CATCH BASIN  
BELL MANHOLE  
BIKE LANE  
SIGN POLE  
DECIDUOUS TREE

TEST PIT  
PROPERTY LINE  
ABUTTERS LINE  
UNDERGROUND ELECTRIC  
OVERHEAD UTILITIES  
DRAIN LINE  
GAS LINE  
WATER LINE  
SEWER LINE  
FORCE MAIN  
TREE LINE  
SPLIT RAIL FENCE  
CHAINLINK FENCE  
EXISTING CONTOUR

MAP 231 LOT 59  
N/F  
CINDI S. BLANCHETTE  
95 GREENLEAF AVENUE  
PORTSMOUTH, NH 03801  
RCRD BK.#4251 PG.#2060

MAP 231 LOT 1  
N/F  
VINCENT A. & ALICIA B. RICCO  
440 LAFAYETTE ROAD  
PORTSMOUTH, NH 03801  
RCRD BK.#5592 PG.#1160

MAP 229 LOT 5  
N/F  
KRISTIN M. & CHRISTOPHER M. CHASE  
34 ARTWILL AVENUE  
PORTSMOUTH, NH 03801  
RCRD BK.#5599 PG.#0453

MAP 230 LOT 23A  
N/F  
FRIENDS OF LAFAYETTE HOUSE  
PO BOX 4545  
PORTSMOUTH, NH 03802  
RCRD BK.#6065 PG.#0669

MAP 230 LOT 25  
N/F  
TERRY A. & ANDREA C. SMITH  
7 ANDREW JARVIS DRIVE  
PORTSMOUTH, NH 03801  
RCRD BK.#5562 PG.#0412

MAP 229 LOT 2  
N/F  
ST. NICHOLAS GREEK  
ORTHODOX CHURCH  
40 ANDREW JARVIS DRIVE  
PORTSMOUTH, NH 03801  
RCRD BK.#1848 PG.128

MAP 229 LOT 1  
65,365 S.F.  
(1.5006 ACRES)

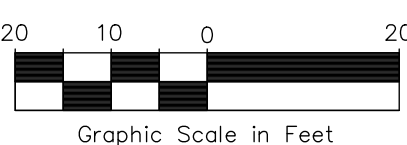
## LOCATION PLAN

## NOTES:

1. THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE B (SRB) ZONE.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 1.
3. THE PARCEL IS LOCATED IN FLOOD ZONE X (AREAS OF MINIMAL FLOODING) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, VERSION NUMBER 2.3.2.1, MAP NUMBER 33015C0270F, MAP REVISED JANUARY 29, 2021.
4. ZONING REQUIREMENTS:  
MINIMUM LOT DIMENSIONS  
LOT AREA 15,000 S.F.  
LOT AREA PER DWELLING UNIT 15,000 S.F.  
CONTINUOUS STREET FRONTAGE 100'  
DEPTH 100'  
MINIMUM YARD DIMENSIONS  
FRONT 30'  
SIDE 10'  
REAR 30'  
MAXIMUM STRUCTURE DIMENSIONS  
STRUCTURE HEIGHT: 35'  
SLOPED ROOF 30'  
FLAT ROOF 30'  
ROOF APPURTENANCE HEIGHT 8'  
BUILDING COVERAGE 20%  
MINIMUM OPEN SPACE 40%
5. TOTAL PARCEL AREA:  
MAP 229 LOT 1  
65,365 S.F.  
(1.5006 ACRES)
6. OWNER OF RECORD:  
MAP 229 LOT 1  
ARTWILL, LLC  
PO BOX 370  
PORTSMOUTH, NH 03802  
RCRD BK.#6334 PG.#0455
7. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
8. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING FEATURES OF MAP 229 LOT 1.
9. HORIZONTAL DATUM IS NAD 83 (2011) VERTICAL DATUM IS NAVD 88 PER STATIC GPS OBSERVATIONS.
10. FIELD SURVEY COMPLETED BY TODD C. EMERSON IN OCTOBER 2021 USING A LEICA TS-16, A TOPCON HIPER SR AND A CARLSON RT-4 DATA COLLECTOR.
11. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL WOULD DETERMINE.
12. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.

## PLAN REFERENCES:

1. "PLAN OF LAND PORTSMOUTH, N.H. FOR BEATRICE L. HOPLEY" BY JOHN W. DURGIN CIVIL ENGINEERS, DATED NOV. 1966. RCRD PLAN #839.
2. "PLAN OF LOTS OWNED BY BEATRICE L. HOPLEY LAFAYETTE ROAD PORTSMOUTH, N.H.", DATED JUNE 1940, REVISED FROM ORIGINAL PLAN BY JOHN W. DURGIN, REVISED MAY, 1946, REVISED FEB. 1957. RCRD PLAN #2637.
3. "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION CONSTRUCTION PLANS FEDERAL AID PROJECT OF PROPOSED BRIDGE REMOVAL BRIDGE NO. 173/071 & RECONFIGURATION OF US ROUTE 1 BYPASS AND US ROUTE 1 (LAFAYETTE ROAD) FEDERAL PROJECT X-A000(994) NH PROJECT NO. 13455-A, CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM", APPROVED 6/27/12. RCRD PLAN #13455.
4. "STATE OF NEW HAMPSHIRE STATE HIGHWAY DEPARTMENT PLAN AND PROFILE OF PROPOSED FEDERAL AID PROJECT LAFAYETTE ROAD NO-R37-A, CITY OF PORTSMOUTH ROCKINGHAM COUNTY", PLAN #50031.
5. "STATE OF NEW HAMPSHIRE STATE HIGHWAY DEPARTMENT PLAN AND PROFILE OF PROPOSED FEDERAL AID PROJECT LAFAYETTE ROAD NO. 37 LAFAYETTE ROAD", PLAN #50147.
6. "CORRECTIVE SEWER EASEMENT PLAN OVER LAND OF KARONA, LLC 36 ARTWILL AVENUE PORTSMOUTH, NEW HAMPSHIRE ASSESSOR'S PARCEL 229-4 FOR KARONA, LLC" BY JAMES VERRA AND ASSOCIATES, INC., DATED 1/19/2021. RCRD PLAN #C-42611.
7. "SUBDIVISION PLAN OF LAND OF J. PHILIP MCCAFFERY FOR GREAT BAY SCHOOL AND TRAINING CENTER LAFAYETTE RD. COUNTY OF ROCKINGHAM PORTSMOUTH NH", BY RICHARD P. MILLETTE AND ASSOCIATES, DATED DEC. 1981, WITH REV.1 FROM 1/7/82. RCRD PLAN #D-10590.
8. "SUBDIVISION PLAN TAX MAP 230 - LOT 23 OWNER: GREAT BAY SCHOOL AND TRAINING CENTER FOR LEMIEUX BUILDERS, INC." 417 LAFAYETTE ROAD CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC., DATED SEPTEMBER 2013, WITH REVISION 2 DATED 12/23/13. RCRD PLAN #D-38079.
9. "EASEMENT PLAN TAX MAP 230 - LOT 25 D.R. LEMIEUX BUILDERS, INC. TO THE CITY OF PORTSMOUTH 7 ANDREW JARVIS DRIVE CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC., DATED JUNE 2014, WITH REVISION 2 DATED 7/25/14. RCRD PLAN #D-38417.
10. "EASEMENT PLAN TAX MAP 229 - LOT 5 KRISTIN M. CHASE AND CHRISTOPHER M. CHASE TO THE CITY OF PORTSMOUTH 34 ARTWILL AVENUE CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY GPI GREENMAN-PEDERSEN, INC., DATED OCTOBER 26, 2015, WITH REVISION 1 DATED 10/26/2015. RCRD PLAN #D-40626.
11. "EASEMENT PLAN TAX MAP 229 - LOT 5 KRISTIN M. CHASE AND CHRISTOPHER M. CHASE TO THE CITY OF PORTSMOUTH 34 ARTWILL AVENUE CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY GPI GREENMAN-PEDERSEN, INC., DATED JANUARY 20, 2016, WITH REVISION 2 DATED 12/2/2016. RCRD PLAN #D-40627.
12. "INTERSECTION IMPROVEMENT PROJECT U.S. ROUTE 1 AT ANDREW JARVIS DRIVE IN THE CITY OF PORTSMOUTH ROCKINGHAM COUNTY STATE OF NEW HAMPSHIRE PREPARED FOR CITY OF PORTSMOUTH DEPT OF PUBLIC WORKS" BY GREENMAN-PEDERSON, INC., DATED 12/22/17.



LICENSED LAND SURVEYOR

DATE

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 229 LOT 1  
**EXISTING CONDITIONS PLAN**  
**SMITHFIELD CONSTRUCTION**  
**437 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
OWNED BY  
**ARTWILL, LLC**

SCALE: 1" = 20' (22x34)  
1" = 40' (11x17)

MARCH 1, 2022

Seacoast Division



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

45407-120

DR

CK

FB

CADFILE

S-1

Copyright 2022 © TFMoran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

Mar 01, 2022 - 2:31pm  
F:\MSC Projects\45407 - Lafayette Rd\Carlson Survey\Drawings\45407-120 Survey.dwg

TEST PIT LOG

SITE: 437 LAFAYETTE ROAD, PORTSMOUTH, NH  
LOGGED BY: PAUL O'HANLON, TFM, INC.  
DATE: 1/25/2022

Test Pit #1:  
0-13" 10YR 5/3 BROWN, LOAM, MASSIVE, FRIABLE, ANTHROPOGENIC FILL (ASPHALT, BRICK)  
13-20" AB 10YR 7/6 YELLOW, LOAM, BLOCKY, FRIABLE, GRAVELY <5% ROCK (IRON STONE)  
20-55" B1 GLEY 1 7N GRAY, SANDY LOAM, MASSIVE, PLIABLE  
55- 65" B2 10YR 5/1 GRAY, COARSE SAND, FRIABLE, MASSIVE, > 15% ANGULAR ROCK FRAGMENT (IRON STONE)  
REDOX @ 20" 10YR 7/8 COMMON DISTINCT >15%  
SOIL SERIES: WALPOLE  
EST WET: 20" BELOW GRADE  
OBS WT: 39" BELOW GRADE (APPARENT →)  
LEDGE: > 65" BELOW GRADE

Test Pit #2:  
0-15"A 10YR 4/3 BROWN, LOAM, MASSIVE  
15-17" 10YR 7/6 YELLOW, SANDY LOAM, FRIABLE, GRANULAR  
17-27" GLEY 1 7/N LIGHT GRAY, SANDY LOAM, FRIABLE, GRANULAR  
27-52" 10YR 6/6 BROWNISH YELLOW, LOAM, FRIABLE, MASSIVE  
52-77" 10YR 5/1 GRAY, COURSE SAND, FRIABLE, GRAVELY, GRANULAR  
REDOX @ 26" 10YR 7/8 COMMON DISTINCT  
SOIL SERIES: WALPOLE  
EST WET: 26" BELOW GRADE  
OBS WT: 51" BELOW GRADE (APPARENT ↑)  
LEDGE: 77" BELOW GRADE

Test Pit #3:  
0-16" 10YR 4/3 BROWN, LOAM, AGGREGATED, FRIABLE  
16-27" 10YR 6/6 BROWNISH YELLOW, LOAM, AGGREGATED, FRIABLE, GRAVELY >5%  
27-52" 10YR 7/2 LIGHT GRAY, LOAMY SAND, AGGREGATED, FRIABLE GRAVELY >15%  
52-84" 10YR 8/1 WHITE, SANDY CLAY LOAM, PLATEY, INDURATE  
REDOX @ 41" 10YR 7/8 COMMON DISTINCT >15%  
SOIL SERIES: CANTON - CHATFIELD COMPLEX  
EST WET: 41" BELOW GRADE  
OBS WT: 84" BELOW GRADE (APPARENT ↘)  
LEDGE: 84" BELOW GRADE

Test Pit #4:  
0-18" 10YR 5/4 YELLOWISH BROWN, LOAM, FRIABLE, AGGREGATE  
18-27" 10YR 6/6 BROWNISH YELLOW, SANDY LOAM, GRAVELY >5%, FRIABLE, AGGREGATE  
27-37" 10YR 6/2 LIGHT BROWNISH GREY, LOAMY SAND, > 15% ANGULAR ROCK FRAGMENT (IRON STONE)  
37-65" 10YR 7/8 YELLOW, DECAYING BEDROCK, ANGULAR COBBLE, IRON STONE  
REDOX @ 5R 3/8 COMMON DISTINCT >15%  
SOIL SERIES: CHATFIELD  
EST WET: 37" BELOW GRADE  
OBS WT: 56" BELOW GRADE (APPARENT ↑)  
LEDGE: 65" BELOW GRADE

Test Pit #5:  
0-10" 10YR 4/3 BROWN, LOAMY SAND, AGGREGATE, FRIABLE, GRAVELY >5%  
10-31" 10YR 5/4 YELLOWISH BROWN, COURSE SAND, GRANULAR, FRIABLE, GRAVELY >15%  
31-57" GLEY 1 5/N GRAY, CLAY, DECAYED BEDROCK, BOULDERS >5%, MASSIVE  
REDOX @ 31" 5R 3/8 COMMON DISTINCT >15%  
SOIL SERIES: CHATFIELD - MAYBID COMPLEX  
EST WET: 31" BELOW GRADE  
OBS WT: > 57"  
LEDGE: 57" BELOW GRADE

TEST PIT LOG

SITE: 437 LAFAYETTE ROAD, PORTSMOUTH, NH  
LOGGED BY: PAUL O'HANLON, TFM, INC.  
DATE: 1/25/2022

Test Pit #6:  
0-12" 10YR 4/3 BROWN, SANDY LOAM, AGGREGATE, FRIABLE  
12-16" 10YR 7/2 LIGHT GRAY, SAND, GRANULAR, FRIABLE, GRAVELY >5%  
16-28" 10YR 7/1 LIGHT GRAY, FINE SAND, GRANULAR, FRIABLE  
28-42" 10YR 7/3 VERY PALE BROWN, SANDY LOAM, AGGREGATE, FRIABLE, HETEROGENEOUS  
42-47" GLEY 1 5/5G-1 GREENISH GRAY, SANDY CLAY LOAM, PLATEY, INDURATE  
47-96" GLEY 2 8/5BG LIGHT GREENISH GRAY, CLAY, MASSIVE, INDURATE, HOMOGENEOUS  
REDOX @42" 5R 3/8 COMMON DISTINCT >15%  
SOIL SERIES: CANTON COMPLEX (ANTHROPOGENIC)  
EST WET: 42" BELOW GRADE  
OBS WT: 79" BELOW GRADE (APPARENT →)  
LEDGE: > 96"

Test Pit #7:  
0-18" 10YR 4/2 DARK GRAYISH BROWN, SANDY LOAM, FRIABLE, BLOCKY  
18-42" 10YR 7/4 VERY PALE BROWN, FINE SAND, GRANULAR, FRIABLE  
42-54" 10YR 6/6 BROWNISH YELLOW, COURSE SAND, GRANULAR, FRIABLE  
54-65" 10YR 5/8 YELLOWISH BROWN, SANDY LOAM, HETEROGENEOUS, FRIABLE  
65-72" GLEY 2 4/10B DARK BLUEISH GRAY, SANDY CLAY LOAM, PLATEY, INDURATE  
72-102" GLEY 2 7/10B LIGHT BLUEISH GRAY, CLAY, MASSIVE, INDURATE  
REDOX @ 57" 5R 3/8 COMMON DISTINCT >15%  
SOIL SERIES: CANTON COMPLEX (ANTHROPOGENIC)  
EST WET: 57" BELOW GRADE  
OBS WT: 93" BELOW GRADE (APPARENT ↑)  
LEDGE: >102"

Test Pit #8:  
0-14" 10YR 4/2 DARK GRAYISH BROWN, LOAMY SAND, FRIABLE, BLOCKY  
14-42" 10YR 7/4 VERY PALE BROWN, FINE SAND, AGGREGATE, FRIABLE, > 15% COBBLE RIVER STONE  
42-50" GLEY 1 5/5G-/1 GREENISH GRAY, SANDY CLAY LOAM, AQUATARD PRESENT (IRON STONE), MASSIVE, INDURATE  
50-55" 10YR 6/4 LIGHT YELLOWISH BROWN, SANDY CLAY LOAM, INCLUSION, HETEROGENEOUS, MASSIVE, INDURATE  
55-103" GLEY 2 8/5BG LIGHT GREENISH GRAY, CLAY, INDURATE, MASSIVE  
REDOX @ 42 5R 3/8 COMMON DISTINCT >15% (AQUATARD (POTENTIALLY ANTHROPOGENIC))  
SOIL SERIES: CANTON COMPLEX (ANTHROPOGENIC)  
EST WET: 42" BELOW GRADE  
OBS WT: 101" BELOW GRADE (APPARENT ↑)  
LEDGE: > 103"

Test Pit #9:  
0-9"10YR 4/3 BROWN, LOAM, BLOCKY, FRIABLE, GRAVELY >5%  
9-23" 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, , > 15% ANGULAR ROCK FRAGMENT (IRON STONE)  
23-54" 10YR 7/2 LIGHT GREY, SANDY LOAM, INDURATE, MASSIVE, HETEROGENEOUS, > 15% ANGULAR ROCK FRAGMENT (IRON STONE)  
REDOX @ 5R 4/6 COMMON DISTINCT >15%  
SOIL SERIES: WALPOLE  
EST WET: 30" BELOW GRADE  
OBS WT: > 54"  
LEDGE: 54" BELOW GRADE

TEST PIT LOG

SITE: 437 LAFAYETTE ROAD, PORTSMOUTH, NH  
LOGGED BY: PAUL O'HANLON, TFM, INC.  
DATE: 2/1/2022

Test Pit #10:  
0-12" 10YR 4/4 DARK YELLOWISH BROWN, LOAMY SAND, BLOCKY, FRIABLE, COBBLE >15%, HOMOGENEOUS SOIL  
12-23" 10YR 6/3 PALE BROWN, SANDY LOAM, AGGREGATE, FRIABLE, COBBLE >15%, HOMOGENEOUS SOIL  
23-36" 10YR 6/2 LIGHT BROWNISH GREY, COURSE SAND, GRANULAR, HETEROGENEOUS, COBBLE >15%, VERY COURSE PARTICLES <5%  
36-66" 10YR 5/4 YELLOWISH BROWN, LOAMY SAND, MASSIVE, INDURATE > 25% ANGULAR ROCK FRAGMENT (IRON STONE)  
66-76" 10YR 5/4 YELLOWISH BROWN, SANDY LOAM, MASSIVE, INDURATE, DECAYING LEDGE, > 55% ANGULAR ROCK FRAGMENT (IRON STONE)  
REDOX @ 52 - 58 10YR 5/6 COMMON DISTINCT >15%  
SOIL SERIES: CANTON - WALPOLE COMPLEX  
EST WET: 52" BELOW GRADE  
OBS WT: >76"  
LEDGE: 76" BELOW GRADE

TAX MAP 229 LOT 1  
TEST PITS LOGS  
SMITHFIELD CONSTRUCTION  
437 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM  
OWNED BY  
ARTWILL, LLC

SCALE: N.T.S.

MARCH 1, 2022

Seacoast Division



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

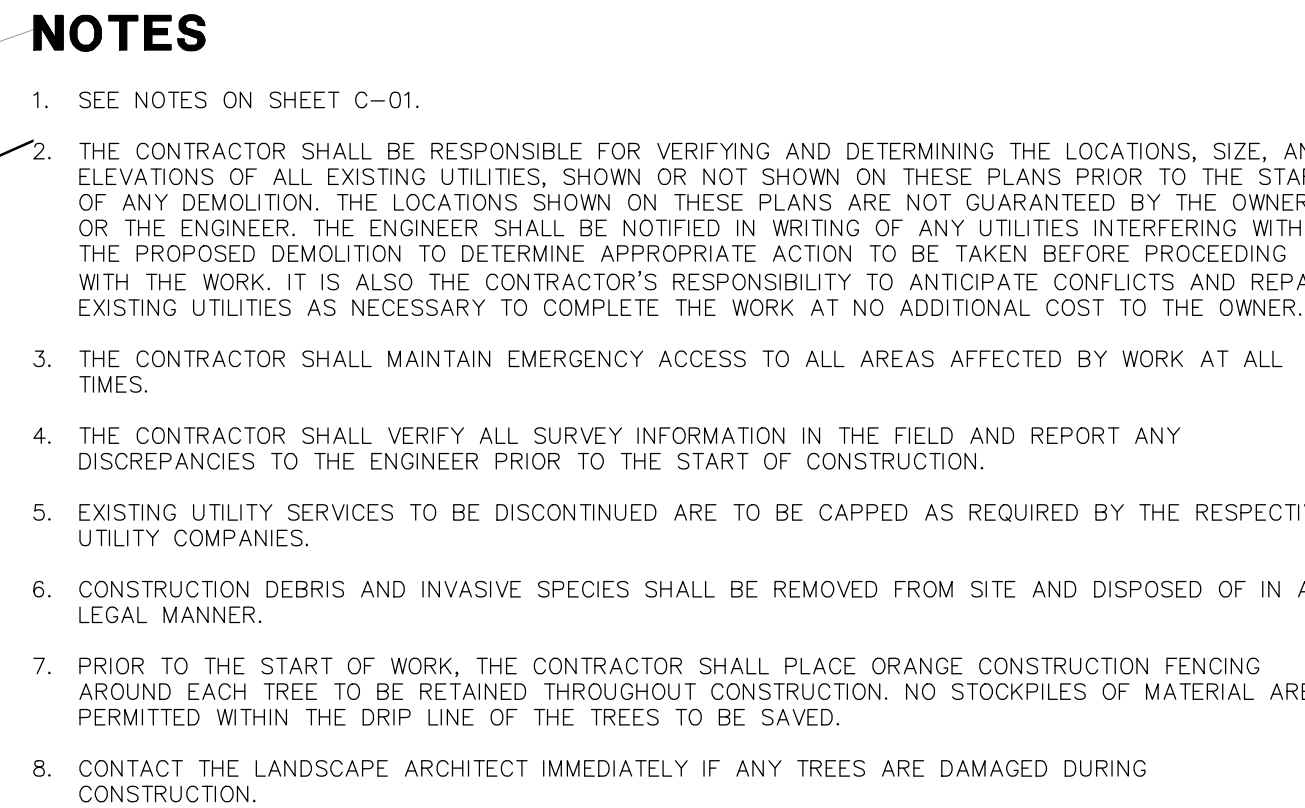
Copyright 2022 © TFMoran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

REV.	DATE	DESCRIPTION	DR	CK

FILE	45407-120	DR		FB	S-2
		CK		CADFILE	



TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.

MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 4 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.

THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

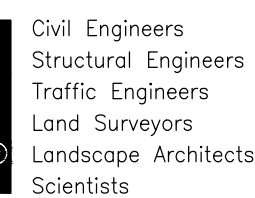
DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.

DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. STORMWATER TREATMENT PITS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 TO 3.0/1000' SHALL BE USED.)
6. CONDUCT MAJOR EARTHWORK, INCLUDING GRADING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEED/VEGETATED WITHIN 72 HOURS AFTER GRADING.
7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AREA AND COVERED WITHIN 72 HOURS OF EXPOSURE TO PREVENT THESE FILLS IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.)
13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND ARE NO LONGER REQUIRED FOR EROSION CONTROL.
17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

**1"=40' (11"X17")**  
**SCALE: 1"=20' (22"X34")** **MARCH 1, 2022**



48 Constitution Drive  
Bedford, NH 03110  
Phone (603) 472-4444  
Fax (603) 472-9747  
www.tfmoran.com

FILE	45407-120	DR	JSM	FB		C-02
		CK	JCC	CADFILE	45407-120_SITE PREP	

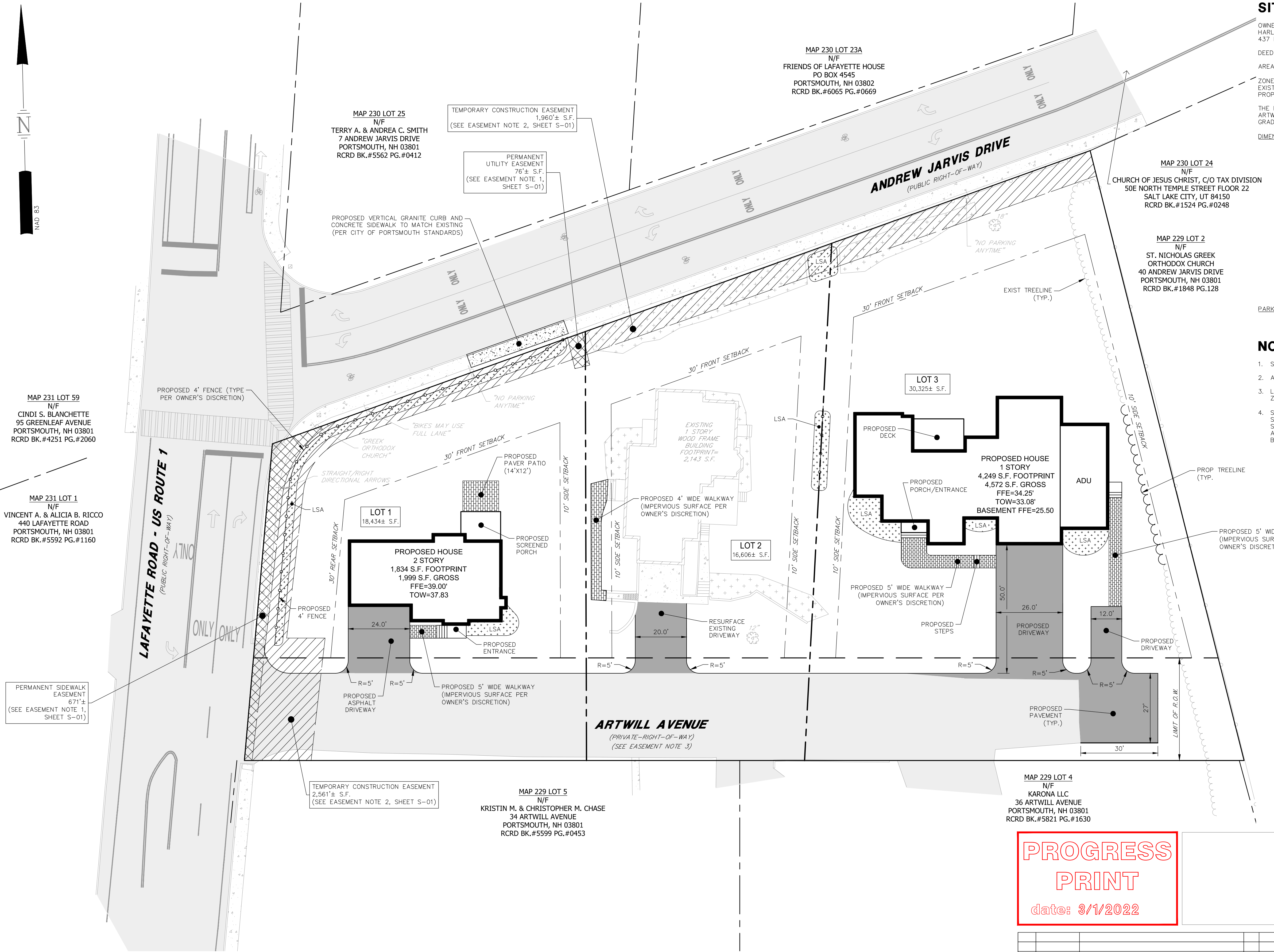


HORIZONTAL SCALE 1"=20'



A horizontal scale bar with a black background and white markings. The markings are labeled 20, 10, 0, and 20 from left to right. The bar is divided into segments by white lines.

Mar 01, 2022 - 4:54pm  
F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-120 - Smithfield Construction - 437 Lafayette Rd\Design\PRODUCTION DRAWINGS\45407-120\_Site Layout.dwg



**SITE DATA**

OWNER OF RECORD OF MAP 229 LOT 1:  
HARLON P. WILLIS REVOCABLE TRUST & JEAN P. WILLIS REVOCABLE TRUST  
437 LAFAYETTE ROAD, PORTSMOUTH, NH 03801

DEED REFERENCE TO PARCEL IS BK.#3537 PG.#1327

AREA OF PARCEL = 65,365± S.F. OR 1.5006± ACRES

ZONED: SINGLE RESIDENCE B (SRB)  
EXISTING USE: 1 LOT, SINGLE FAMILY DWELLING UNIT  
PROPOSED USE: 3 LOTS, 3 SINGLE FAMILY DWELLING UNITS

THE PURPOSE OF THIS PLAN IS TO DEPICT TWO PROPOSED SINGLE FAMILY DWELLING UNIT WITH ACCESS ALONG ARTWELL AVENUE. ASSOCIATED IMPROVEMENTS NOT SHOWN ON THIS PLAN INCLUDE AND ARE NOT LIMITED TO GRADING, STORMWATER MANAGEMENT SYSTEMS, UTILITIES, LIGHTING, AND LANDSCAPING.

**DIMENSIONAL REQUIREMENTS (CURRENT ZONING)**

	REQUIRED:	PROVIDED: LOT 1:	LOT 2:	LOT 3:
MINIMUM LOT DIMENSIONS:				
LOT AREA	15,000 S.F.	18,434 S.F.	16,606 S.F.	30,325 S.F.
LOT FRONTAGE	30 FT	129.6 FT	102.0 FT	107.0 FT
DEPTH	100 FT	105.6 FT	142.4 FT	179.7 FT
MINIMUM YARD DIMENSIONS:				
FRONT	30 FT	30 FT	30 FT	30 FT
SIDE	10 FT	10 FT	10 FT	10 FT
REAR	30 FT	30 FT	30 FT	30 FT
MAXIMUM STRUCTURE DIMENSIONS:				
SLOPED ROOF	35 FT	XXX FT	XXX FT	XXX FT
ROOF APPURTENANCE HEIGHT	8 FT	XXX FT	XXX FT	XXX FT
BUILDING LOT COVERAGE	20% (MAX)	11.2%	14.9%	15.1%
MINIMUM SETBACKS/BUFFER:				
BUILDING FRONT	30 FT	30 FT	30 FT	30 FT
BUILDING SIDE	10 FT	10 FT	10 FT	10 FT
BUILDING REAR	30 FT	30 FT	30 FT	30 FT
MINIMUM OPEN SPACE	40%	59.3%	59.1%	64.0%

**PARKING REQUIREMENTS**

PARKING SPACES	1.3 SPACES/UNIT	2 SPACES	2 SPACES	2 SPACES	2 SPACES
----------------	-----------------	----------	----------	----------	----------

**NOTES**

- SEE NOTES ON SHEET C-01.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- SNOW SHALL NOT BE STOCKPILED IN STORMWATER BMP'S, WETLAND BUFFERS, OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR.

**SITE DEVELOPMENT PLANS**

TAX MAP 229 LOT 1  
**SITE LAYOUT PLAN**  
**PROPOSED 3 LOT SUBDIVISION**  
**437 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**  
OWNED BY & PREPARE FOR  
**ARTWILL, LLC**

**1"=40' (11"X17")**  
**SCALE: 1"=20' (22"X34")** **MARCH 1, 2022**



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

48 Constitution Drive  
Bedford, NH 03110  
Phone (603) 472-4488  
Fax (603) 472-9747  
www.tfmoran.com

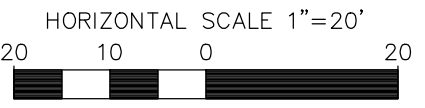
FILE	45407-120	DR	JSM	FB	45407-120_SITE LAYOUT	C-03
REV	DATE	DESCRIPTION	DR	CK		

Copyright 2022 ©TFMoran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

**DIG SAFE**  
CALL BEFORE YOU DIG  
1-800-4-A-SAFE



**PROGRESS**  
**PRINT**  
date: 3/1/2022



