

ADU HANDBOOK UPDATE

Land Use Committee
June 2, 2023

ADU HANDBOOK

Purpose and Intent

Purpose

- Assist homeowners and contractors with the process of creating an **Accessory Dwelling Unit (ADU)** in the City of Portsmouth.
- Handbook will include relevant zoning, design standards, building codes and showcase prototype designs for ADUs.



ADU HANDBOOK

Purpose and Intent

Intent

- Promote the design and construction of a low-density, affordable housing option that represents infill appropriate to the character of Portsmouth neighborhoods.
- Inform homeowners about ADUs and help them decide whether building an ADU is right for them, from **Planning and Design to Applying for a Permit to Building** and choosing a tenant.



ADU HANDBOOK

Table of Contents

Getting Started

Planning and Designing Your ADU

Frequently Asked Questions

Learn More

Appendix



ADU HANDBOOK

Getting Started

- What is an Accessory Dwelling Unit
- Why Create ADUs?
- The Many Types of ADUs



ADU HANDBOOK

ADU Categories:

ATTACHED ADU (AADU):

- Interior Door
- 750 square foot maximum GLA
(Gross Living Area)
- Subordinate to principal dwelling unit
- Four types in handbook



ADU HANDBOOK

ADU Categories:

ATTACHED ADU (AADU): Four Types

- Internal Conversion



Accessory Dwelling Unit Type:
Internal Conversion

ADU HANDBOOK

ADU CATEGORIES:

ATTACHED ADU (AADU): Four Types

- Garage



Accessory Dwelling Unit Type:
Garage

ADU HANDBOOK

ADU CATEGORIES:

ATTACHED ADU (AADU): Four Types

- Outward Extension
- Recessed 18 inches from existing front wall
- Street facing garage = 10 feet



Accessory Dwelling Unit Type:
Outward Extension

ADU HANDBOOK

ADU CATEGORIES:

ATTACHED ADU (AADU): Four Types

- Upward Extension
- Building height 75% of existing structure



Accessory Dwelling Unit Type:
Upward Extension

ADU HANDBOOK

ADU CATEGORIES:

DETACHED ADU (DADU)

- Accessory building on the lot
- No larger than 750 sq. ft. GLA
- Existing not expanded other than 50 sq. ft. front entry, deck not to exceed 300 sq. ft.
- Planning Board may grant conditional use permit to allow up to 600 sq. ft. additional GLA
- Within side or rear yard shall not have windows, balconies, doors higher than 8' facing adjacent property
- Subordinate to principal dwelling unit



ADU HANDBOOK

ADU CATEGORIES:

DETACHED ADU (DADU)

- Setback 10' from front wall of existing
- New building not taller than 22'
- Building footprint set at 750 sq. ft.
- Gross floor area no greater than 1,600 sq. ft. or 75% of principal dwelling unit (whichever is less)
- Roof dormers outside setback, no more than 35% roof plane.
- No less than 5 feet from principal dwelling structure



ADU HANDBOOK

ADU CATEGORIES:

DETACHED ADU (DADU): Four Types

- Barn



Accessory Dwelling Unit Type:
Barn (Existing)

ADU HANDBOOK

ADU CATEGORIES:

DETACHED ADU (DADU): Four Types

- Carriage House



Accessory Dwelling Unit Type:
Carriage House

ADU HANDBOOK

ADU CATEGORIES:

DETACHED ADU (DADU): Four Types

- Garage



Accessory Dwelling Unit Type:
Garage

ADU HANDBOOK

ADU CATEGORIES:

DETACHED ADU (DADU): Four Types

- Shed

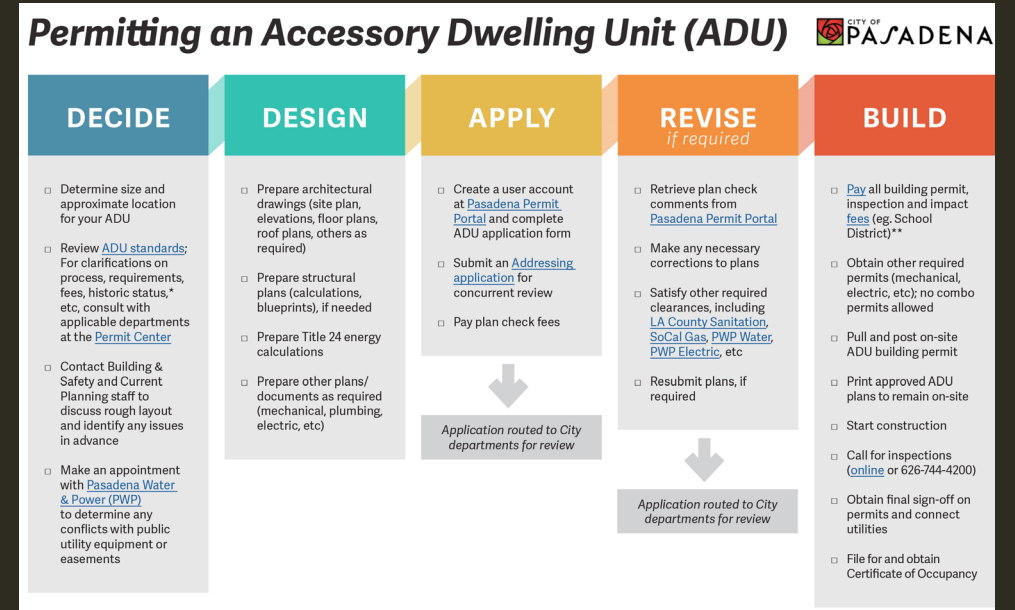


Accessory Dwelling Unit Type:
Shed

ADU HANDBOOK

Planning and Designing Your ADU

- *Plan:* Property Assessment
- *Design:* Drawings
- *Apply:* Permitting
- *Build:* Construction and Inspections



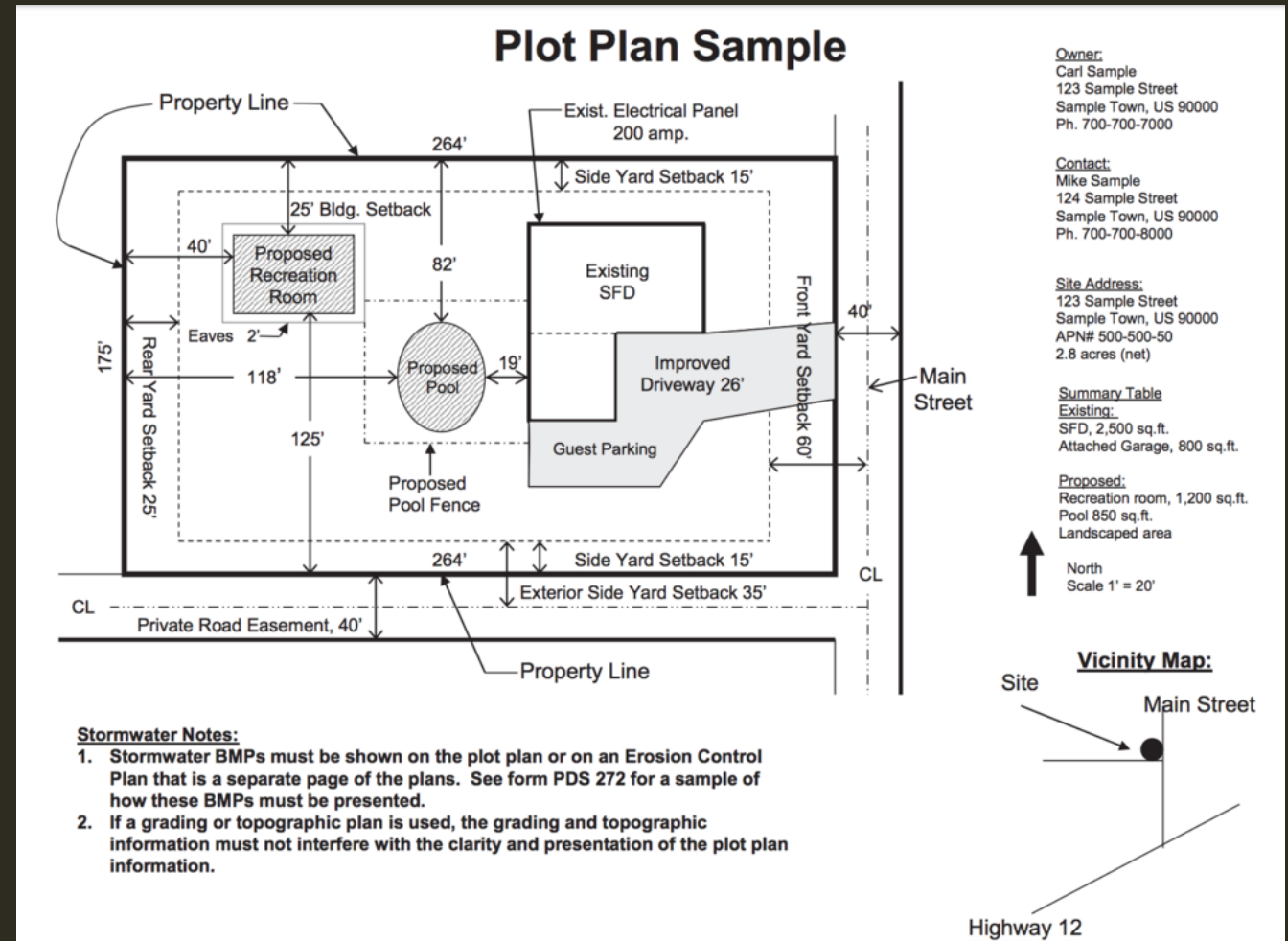
The Permit and Inspection Process



ADU HANDBOOK

Plan: Property Assessment

- Form in handbook Appendix
- Zoning District
- Lot Area
- Ownership and Occupancy
- Parking
- Drainage
- Landscape
- Subordination
- Meet with City



ADU HANDBOOK

Design: Drawings

- *Form in handbook Appendix*
- *Development Team*
- *Elevations*
- *Floor Plan(s)*
- *Site Plan*



City of Salinas

COMMUNITY DEVELOPMENT DEPARTMENT

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NEW ACCESSORY DWELLING UNIT [ADU] CHECKLIST

The information provided in this document is general and intended as a guide. Due to the variation in each project, additional items may be required. Failure to include items below will delay the permitting process.

When ready to submit. Attach all documents listed below to an email. Send the email to epermit@ci.salinas.ca.us. Each document should be in PDF format with a label matching those used below.

DOCUMENTS	
GENERAL	Completed Building Permit Application
	Plan Set - Signed and Dated (A Single PDF file Containing All Plan Sheets, 24"x36" Minimum)
	Structural Calculations – Signed and Dated (If Required)
	Soils Report – Signed and Dated
	Construction & Demolition Waste Form
	Manufacturer Specifications and Cut Sheets
COVER SHEET	Applicable Codes: 2019 California Building or Residential Code and the Electrical, Mechanical, Plumbing, Energy, Fire, Green Building Codes and City of Salinas Municipal Code
	Preparer's Title and Registration (If Applicable), Address, Phone Number
	Project Address, Assessor Parcel Number, Legal Property Owner's Name, Address, Phone Number
	Scope of Work Identifying All Work Proposed Under This Permit
	Project Data: Property Type, Type of Construction, Occupancy Classification, Square Footage of Existing/Remodeled/New Proposed, Building Height, Fire Sprinkler (Yes / No), Number of Stories
	Sheet Index
	Deferred Submittal List – Truss, Sprinklers, Etc. (If Applicable)
	Special Inspections Form (ST&I) Reproduced on Cover Sheet (If Required)
	Site Plan: North Arrows, Scale, Setbacks, Lot Dimensions, Property Boundaries, street Names, Building Footprint and Roofline with All Projections Dimensioned to Property Lines, Vicinity Map, New And Existing Structures, Gates, Walls, Fences, Driveways, Sidewalks, Easements, Utilities, Meter Locations, Etc.
	Demolition Plan Showing Any Existing Structure to Be Removed
CONSTRUCTION PLANS	Floor Plans with Framing Details – Dimensions, Label Each Building and Room
	Exterior Elevations – All Sides of the Building, Existing/Proposed, include Materials and Mechanical Equipment
	Cross Sections/Details
	Foundation Plan with Details
	Roof Plan
	Roof Framing Plan with Details
	Wall Framing Plan with Details: CRC Braced Walls or CBC Shear Walls (If Modified)
	Location of New or Existing Mechanical Equipment serving the addition
	Electrical Plan with Receptacles, Lighting and Panel Schedule (If Modified)
	Gas line diagram and calculations (If Modified)
	Energy Certificate of Compliance Forms Reproduced on Full Size Plan Sheets
	Cal Green Mandatory Measures Checklist Reproduced on Full Size Sheets
Site Improvements Plans including Grading and Drainage	

ADU HANDBOOK

Design: Drawings

Visualizations of ADU Configurations

- *Elevations*



ADU HANDBOOK

Design: Drawings

Visualizations of ADU Configurations

- Floor Plan(s)

A detailed floor plan for a 1-bedroom ADU. The overall dimensions are 24'-0" wide by 40'-0" deep. The layout includes a bedroom (12'-8" x 11'-0"), a bathroom (8'-0" x 5'-0"), a kitchen (8'-2" x 12'-2"), and a living area (12'-2" x 17'-8"). Other features include a garage area, a utility room (WD), and a rear porch (RF). A scale bar indicates 0, 2, 4, and 8 feet.

STEPHEN DALTON ARCHITECTS www.SDArchitects.net

DEL MAR ACCESSORY DWELLING UNIT
1 BEDROOM
793 SF

7/20/2023

A set of architectural drawings for a garage. It includes a 'GARAGE FIRST FLOOR PLAN' and a 'GARAGE SECOND FLOOR PLAN' on the left, showing structural details and dimensions. On the right, there are three elevations: 'NORTH ELEVATION', 'SOUTH ELEVATION', and 'EAST (GABLE) & WEST (GABLE) ELEVATIONS'. The drawings show a two-story structure with a gabled roof and a brick or stone finish. A title block at the bottom right contains the following information:

TITLE: GARAGE FLOOR PLAN & ELEVATIONS
SCALE: 1/8" = 1'-0"
DATE: 4-20-2023
DRAWING: A7

APPROVED: TOWN OF KITERY
DATE OF APPROVAL: _____

A floor plan for a studio ADU. The overall dimensions are 24'-0" wide by 40'-0" deep. The layout includes a living area, a kitchen, a bathroom, and a bedroom. A scale bar indicates 0, 2, 4, and 8 feet.

STEPHEN DALTON ARCHITECTS www.SDArchitects.net

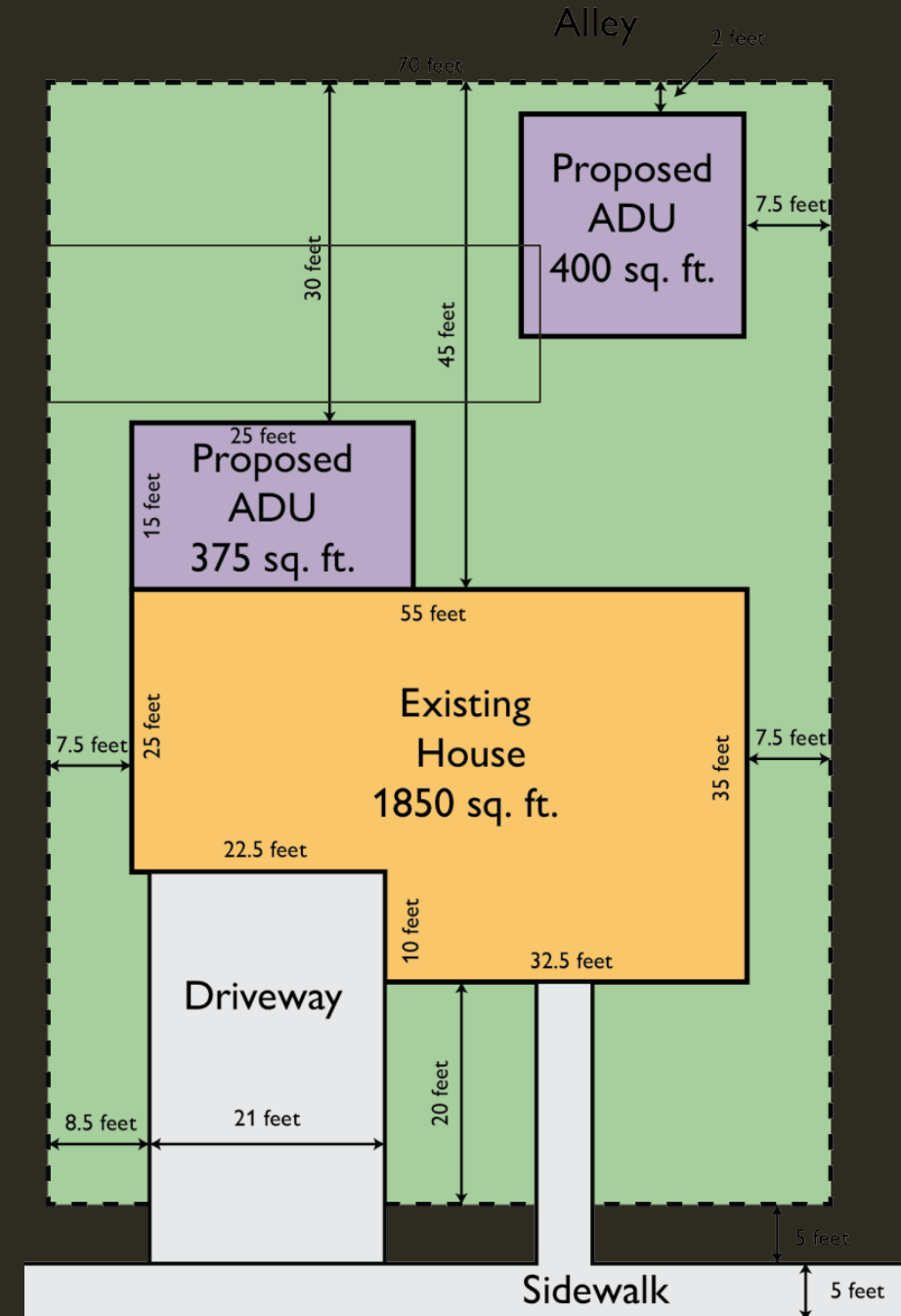
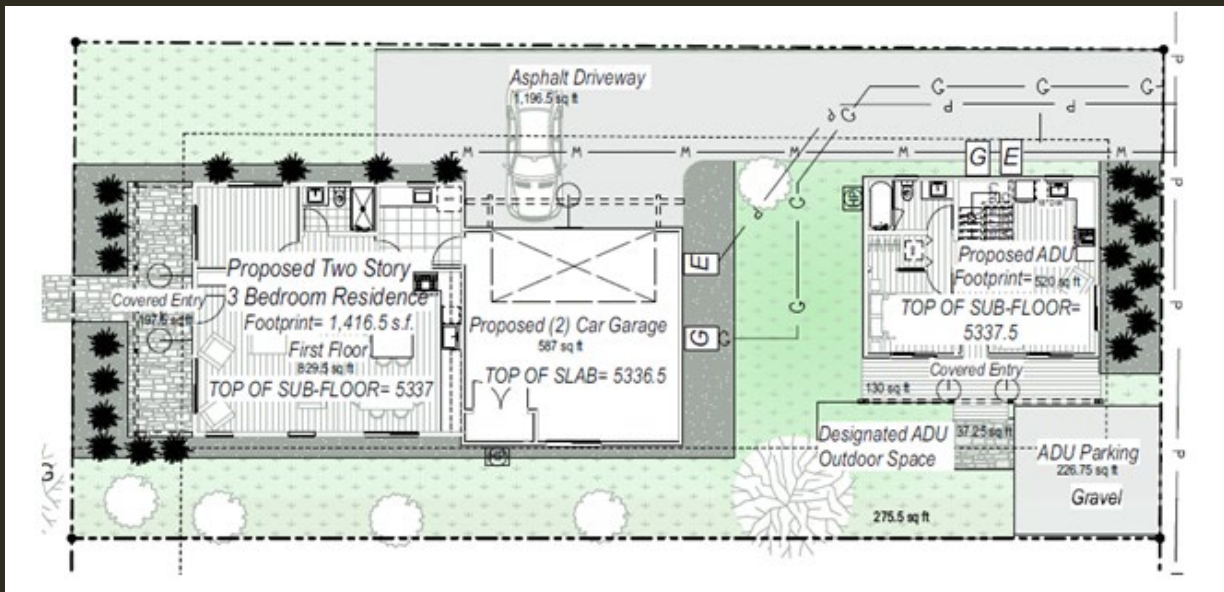
DEL MAR ACCESSORY DWELLING UNIT
STUDIO
428 SF

ADU HANDBOOK

Design: Drawings

Visualizations of ADU Configurations

- Site Plan



ADU HANDBOOK

Apply: Permitting

- Architectural Design Standards
 - *Massing*
 - *Overall character*
 - *Roof forms*
 - *Siding materials*
 - *Door style*
 - *Window spacing and proportions*
 - *Trim details*
 - *Exposed foundation materials and profiles*



ADU HANDBOOK

Apply: Permitting

- Administrative Approval
 - *Section 10.440 Table of Uses*
 - *750 sq. ft. entirely within primary residential dwelling unit*
 - *600 sq. ft. GLA within existing and conforming accessory building*
 - *Planning Director or referral to Planning Board for Conditional Use Permit*
 - *Posting of notice for 30 days following date of application*



ADU HANDBOOK

Apply: Permitting

- Conditional Use Permit
 - Planning Board
 - AADU:
 - 750 sq. ft. GLA in expansion of primary dwelling unit
 - DADU:
 - 600 sq. ft. GLA conforming accessory dwelling
 - 600 sq. ft. GLA non-conforming
 - 750 sq. ft. GLA entirely within existing accessory dwelling
 - 750 sq. ft. GLA new accessory dwelling complying with lot and building requirements



ADU HANDBOOK

Build: Construction and Occupancy

- *Construction*
- *Inspections*
- *Permit Requirements*
- *Occupancy*



**ADU HANDBOOK UPDATE
AND DENSITY INCENTIVE AMENDMENTS**

Questions???