

PORTSMOUTH 2025

Planning Board Draft | February 2017 Public Hearing

OPPORTUNITY

Below. A redevelopment study of a parcel on Lafayette Road, showing new structures built according to existing zoning regulations for a Gateway Planned Development. An analysis of this site is described in the Future Development Objectives: Land Use section of this chapter.



GATEWAY MIXED USE DISTRICTS

Land Use Committee
July 7, 2023

BUILDING TYPES

Cottage*

Paired House*

Gateway Townhouse*

Apartment Building

Live-Work/Shop Building

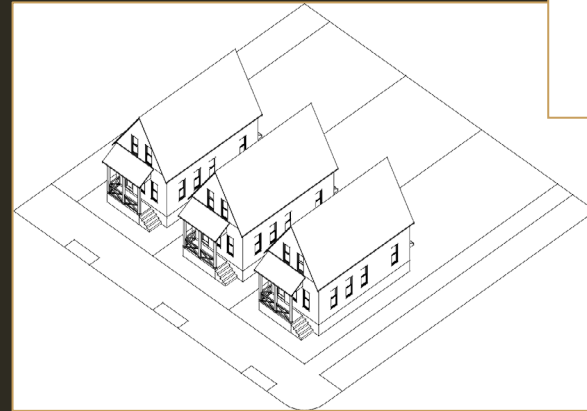
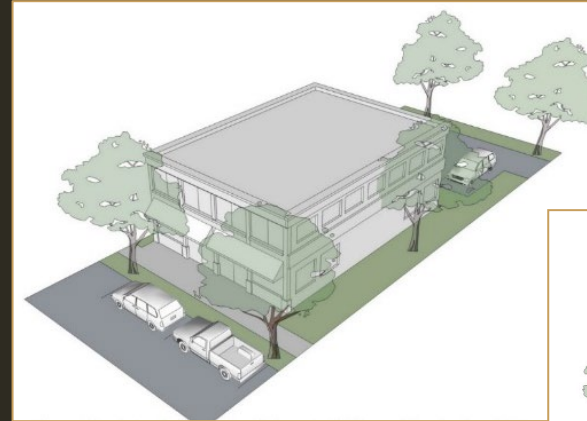
Small Commercial Building

Large Commercial Building

Mixed-Use Building*

Flex Space/Fabrication Building*

Community Building*



* indicate Building Types added as a result of the Gateway zoning amendments in 2017.

BUILDING TYPES

1010.5B34.50 Live/Work Building

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	20 ft.
D. Front Building Setback from Lot Line (Min./Max.)	0 ft./15 ft.
E. Side Building Setback from Lot Line (Min.)	10 ft.
F. Rear Building Setback from Lot Line (Min.)	20 ft.
G. Open Space Coverage (Min.)	15%

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	1
B. Dwelling Units Size (Max.)	NR

1.3 DESIGN STANDARDS

A. Building Height (Max.)	2.5 Stories/ 35 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Min./Max.)	0"/24"
D. Building Coverage (Max.)	50%
E. Building Footprint (Max.)	NR
F. Façade Modulation Length (Max.)	18 ft. (see Section 10.5A43.20)
G. Street Facing Façade Glazing (Min.)	50% Ground Floor
H. Street Facing Entrance	Required
I. Street Facing Entrance Spacing (Max.)	NR
J. Roof Type	All
K. Façade Types	Door Yard, Recessed Entry, Porch, Shopfront, Terrace

10.5B34.30 Gateway Townhouse

LOT STANDARDS

Minimum lot depth	50 ft
Minimum street frontage	20 ft
Front building setback from lot line	5 ft min. to 15 ft max.
Minimum side building setback from lot line	10 ft
Minimum rear building setback from lot line	15 ft
Minimum open space coverage	20%

BUILDING AND LOT USE

Maximum dwelling units per building	1
Maximum dwelling unit size	NR

DESIGN STANDARDS

Maximum building height	2.5 stories or 35 ft
Minimum street facing façade height	12 ft
Maximum finished floor surface of ground floor above sidewalk grade	36"
Maximum building coverage	50%
Maximum building footprint	NR
Maximum façade modulation length	required every 4th Unit (see Section 10.5A43.20)
Minimum street facing façade glazing	20% ground floors
Street facing entrance	required
Maximum street facing entrance spacing	NR
Roof type	all
Façade types	dooryard, stoop, recessed entry, step, porch

ADDITIONAL STANDARDS

10.5B34.40 Apartment Building

LOT STANDARDS

Minimum lot depth	NR
Minimum street frontage	50 ft
Front building setback from lot line	10 ft min. to 30 ft max.
Minimum side building setback from lot line	15 ft
Minimum rear building setback from lot line	20 ft
Minimum open space coverage	20%

BUILDING AND LOT USE

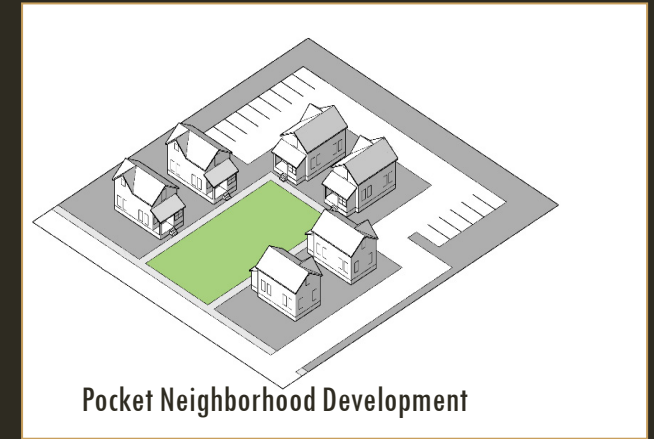
Dwelling units per building	4 min. to 24 max.
Maximum dwelling unit size	NR

DESIGN STANDARDS

Maximum building height	4 stories or 50 ft
Minimum street facing façade height	24 ft
Maximum finished floor surface of ground floor above sidewalk grade	36"
Maximum building coverage	50%
Maximum building footprint	NR
Maximum façade modulation length	50 ft (see Section 10.5A43.20)
Minimum street facing façade glazing	20% ground floor
Street facing entrance	required
Maximum street facing entrance spacing	NR
Roof type	All
Façade types	forecourt, recessed entry, dooryard, step, porch

DEVELOPMENT SITES

- Conditional Use Permit approval from the Planning Board
- Any lot or group of contiguous lots owned or controlled by the same person or entity, assembled for the purpose of a single development and including more than one principal building or Building Type.



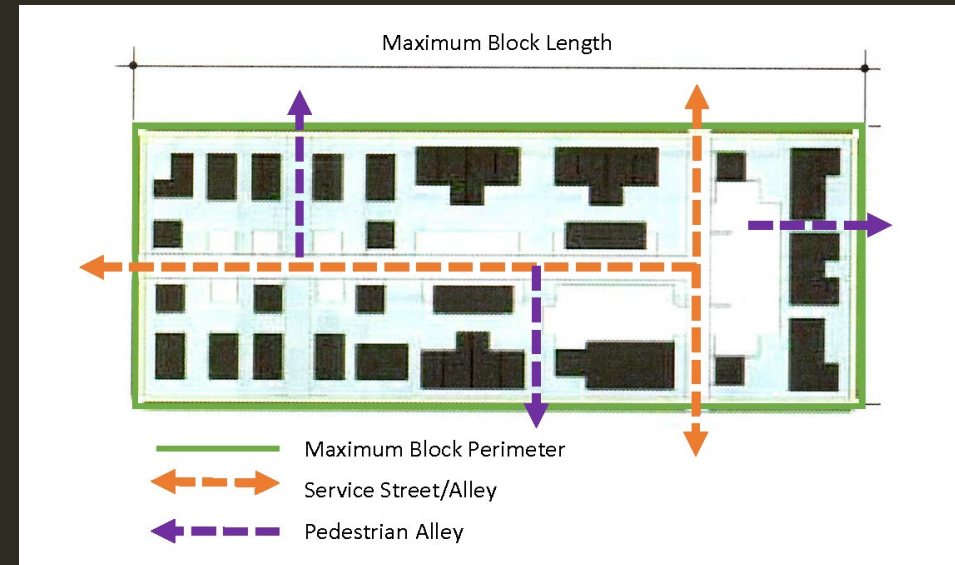
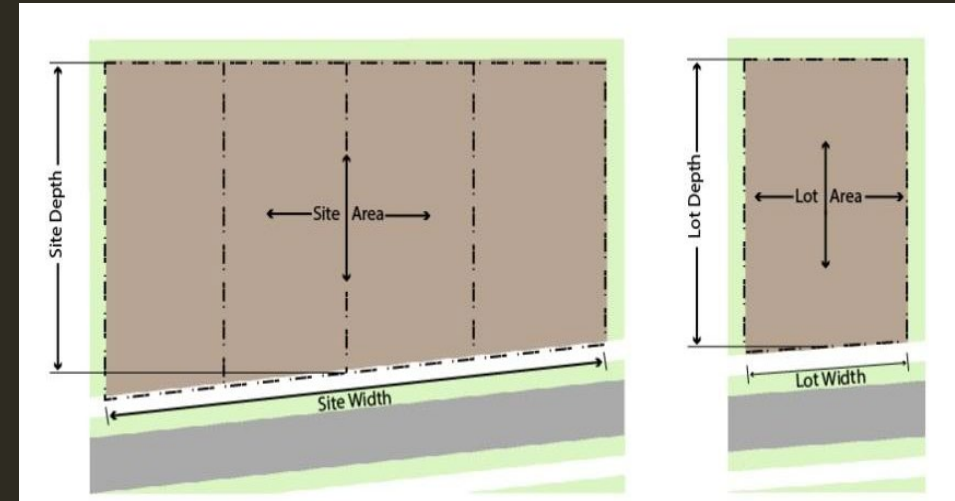
DEVELOPMENT SITES

Pocket Neighborhood Development

Mixed Use Development

General Residential Development

General Commercial Development



DEVELOPMENT SITES

10.5B42.20 Mixed Use Development



A **development** project containing multiple residential, nonresidential, and mixed-use Building Types. Mixed Use Developments may include a combination of horizontally and vertically mixed **buildings** and **uses** on site subject to all applicable Building Type standards in Section 10.5B30.

1.1 DEVELOPMENT STANDARDS

A. Site Area (Minimum)	20,000 S.F.
B. Site Width (Min.)	100 ft.
C. Site Depth (Min.)	100 ft.
D. Perimeter Buffer (Min.)	75 ft. from a Residential District, Mixed Residential District, or Character District 4-L1
E. Development Block Dimensions (Max.)	Block Length 800 ft.; Block Perimeter 2,200 linear ft.
F. Open Space Coverage (Min.)	20%
G. Community Space Types	All

1.2 PERMITTED BUILDING TYPES

A. Apartment Building, Gateway Townhouse, Live/Work Building, Small Commercial Building, Large Commercial Building, Mixed-Use Building, Small Flex Space/Fabrication Building, Community Building

10.5B42.40 General Commercial Development

A **development** project containing one or more commercial **building** types in accordance with allowed **building** types and design standards in Section 10.5B34.



DEVELOPMENT STANDARDS

Minimum development site area	10,000 sf
Minimum site width	75 ft
Minimum site depth	100 ft
Minimum perimeter buffer	100 ft from a Residential District, Mixed Residential District, or Character District 4-L1
Maximum development block dimensions	block length 700 ft; block perimeter 2,000 linear ft
Maximum building coverage	70%
Minimum open space coverage	10%
Community space types	park, pedestrian alley, wide pedestrian sidewalk, common or green, outdoor dining café, greenway, square, plaza, courtyard

PERMITTED BUILDING TYPES

small commercial building, large commercial building, small flex space/fabrication building

10.5B42.30 General Residential Development

A **development** project containing one or more residential **building** types in accordance with allowed **building** types and design standards in Section 10.5B34.



DEVELOPMENT STANDARDS

Minimum development site area	10,000 sf
Minimum site width	75 ft
Minimum site depth	100 ft
Minimum perimeter buffer	75 ft from a Residential District, Mixed Residential District, or Character District 4-L1
Maximum development block dimensions	block length 500 ft; block perimeter 1,500 linear ft
Maximum building coverage	50%
Minimum open space coverage	20%
Community space types	greenway, park, pocket park, playground, recreation field or court, common or green, community garden, square, plaza

PERMITTED BUILDING TYPES

apartment building, gateway townhouse, live/work building, community building

COMMUNITY SPACE TYPES



COMMUNITY SPACE TYPES**	DEVELOPMENT SITES			
	Mixed Use Development Pocket Neighborhood	General Residential Development	General Commercial Development	
Park	P	P	P	P
Greenway	P	P	P	P
Pedestrian Alley	P		P	P
Wide Pedestrian Sidewalk	P		P	P
Pocket Park	P	P	P	P
Playground	P	P	P	
Recreation Field*	P	P	P	
Common or Green*	P	P	P	P
Community Garden*	P	P	P	
Outdoor Dining Café*	P			P
Square	P		P	P
Plaza	P		P	P
Courtyard*	P	P	P	P

**4 New Community Space Types before City Council for consideration

COMMUNITY SPACE IN GATEWAY DISTRICTS

For Development Sites:

- In the G1 District, the minimum community space coverage shall be equal to 10% of the total site area of the development site.
- In the G2 District, the minimum community space coverage shall be equal to 20% of the total site area of the development site.

Community Garden or Farm



Recreation Field or Court



DENSITY THRESHOLDS

RESIDENTIAL DENSITY (Dwelling Units per Acre)

Building Type	Gateway Mixed Use Corridor (G1)		Gateway Mixed Use Center (G2)	
	P	CU	P	CU
Cottage	NR	NR	NR	NR
Paired House	NR	NR	NR	NR
Apartment Building	16	24	16	24
Gateway Townhouse	16	24	16	24
Live-Work Building	16	24	16	24
Mixed-Use Building	16	24	16	24

GATEWAY DENSITY THRESHOLDS

RESIDENTIAL DENSITY (Dwelling Units per Acre)

Development Types	G1		G2	
	P	CU	P	CU
Pocket Neighborhood	16	20	12	16
Mixed Use Development	20	36	20	36
General Residential Development	20	36	20	36

DENSITY BONUSES

DENSITY BONUS INCENTIVES BY CONDITIONAL USE PERMIT

Incentives*

Dwelling units per building

- Max. of 36 units

Dwelling units per acre

- Max. as shown on preceding table

Height and Building Footprint

- 1-story or 10' in height
- 20% square footage

Requirements**

Workforce Housing

- 20% DUs in development (no less than 3)

Public Realm Improvements

- Off-road trail or path
- Public park or athletic facility

*densities can be modified above maximum by Planning Board through the CUP process

**If only 1 incentive is used, workforce housing must be provided. More than 1 incentive requires both workforce housing and public realm improvements.

DENSITY BONUSES

DENSITY BONUS INCENTIVES BY CONDITIONAL USE PERMIT

Workforce Housing

- Ownership units – Affordable to a household with income of no more than 100% of median income for Portsmouth-Rochester HMFA
- Rental units – Affordable to a household with an income of no more than 60% of the median income

RESIDENTIAL PROJECTS IN THE GATEWAY



Michael J. Keane
Architects
101 Kent Place
Newmarket, NH
03857
603-292-1400
mjkaarchitects.com

A Proposed Multi-unit Residential Building for:
Insurcomm Construction, Inc.
3510 & 3518 Lafayette Road
Portsmouth, New Hampshire

date: July 26, 2016

project no.:

drawn by:

scale: not to scale

A-1

Attachm

3510 Lafayette – 25 Unit Multi-Family - Approved – 2016/2017

- Approved under the old Gateway zoning to allow 25 unit residential where the use was previously not permitted.
- Zoning Board stipulation that 2 units designated as workforce housing. (Applicant offered to designate 2 units during the discussion)

RESIDENTIAL PROJECTS IN THE GATEWAY



RESIDENTIAL PROJECTS IN THE GATEWAY

West End Yards - G1 District

Mixed-Use Development Approved – 2019

- 273 residential units in 2 apartment buildings, 23 townhomes and a separate commercial building
- CUP required for Development Site
- CUP for Density Incentives
- Workforce Housing Requirement – 20% of units at 60% AMI for rental.
- WFH Term was negotiated from 20% of units and 60% to 10% of units and 80% AMI for 3-family rental for 30 years
- 27 Workforce Housing Units
- 10% Community Space Required per Zoning



West End Yards - By-Right

- Approximately 15 acres
- Mixed-Use Development Site allows 20 units per acre
- 300 Units by right without any incentives
- CUP for Development Site still required
- 10% Community Space Required per Zoning

RESIDENTIAL PROJECTS IN THE
GATEWAY



200 Chase Ave, Portsmouth, NH
June 2019

Artist Renderings of Michael Succi Drive Elevation



200 Chase Drive – G2 District

- Mixed-Use Development Approved – 2019
- Subdivision and construction of 22 Unit Apartment Building
- CUP required for Development Site (multiple buildings on a site)
- No Incentives requested
- 20% Community Space Requirement for Development Site in G2
- Status: In Litigation

RESIDENTIAL PROJECTS IN THE
GATEWAY



200 Chase Ave, Portsmouth, NH
June 2019

Artist Renderings of Michael Succi Drive Elevation



200 Chase Drive - By-Right

- Approximately 2.6 acres
- Mixed-Use Development Site allows 20 units per acre
- 52 Units by-right
- CUP for Development Site required
- 20% Community Space Required per Zoning

RESIDENTIAL PROJECTS IN THE
GATEWAY



1400 Lafayette – G2 District

- Mixed-Use Development Approved – 2020
- Originally 53 residential units in 6 buildings. Reduced to 32 Units in 5 buildings.
- CUP required for Development Site
- 20% Community Space Required per Zoning

RESIDENTIAL PROJECTS IN THE GATEWAY



1400 Lafayette – By-Right G2 District

- 5+ acre site
- Mixed-Use Development allows 20 units/acre by-right
- 100 units by-right
- CUP required for Development Site
- 20% Community Space Required per Zoning

RESIDENTIAL PROJECTS IN THE GATEWAY



3-D Elev.



3-D Elev.



A02

3548 Lafayette – G1 District

- Residential Development Approved – 2021
- Convert Wren’s Nest into apartments and construct 2 new apartment buildings.
- 75 Units in 8 Buildings.
- CUP required for Development Site
- 10% Community Space Required per Zoning

RESIDENTIAL PROJECTS IN THE
GATEWAY



3-D Elev.



3-D Elev.



A02

3548 Lafayette — By-Right

G1 District

- 3.74 Acres
- Residential Development allows 20 units per acre by-right
- 75 Units by-right
- CUP required for Development Site
- 10% Community Space Required per Zoning

RESIDENTIAL PROJECTS IN THE
GATEWAY



3400 Lafayette – G1 District

- Residential Development Approved in 2021
- 50 Units – townhouse building type
- CUP required for Development Site
- 10% Community Space Required per Zoning
- No density incentive(s)
- Provided Conservation Easement on 10 Acres (not required)

RESIDENTIAL PROJECTS IN THE
GATEWAY



RESIDENTIAL PROJECTS IN THE GATEWAY

3400 Lafayette – By-Right

G1 District

- Split zoned – 15.5+ acres zoned G1
- General Residential Development allows 20 units/acre by-right
- 248 units by-right
- CUP required for Development Site
- 10% Community Space Required per Zoning



2454 Lafayette – Cinemagic

G1 District

Mixed-Used Development Approved in 2021

- 95 for sale units
- CUP required for Development Site
- Density Incentives for building height and units per building
- Required both WFH and Public Realm
- 19 WFH Units - 20% units @ 100% AMI
- Public Realm – Multi-Use path on Constitution Ave.
- 10% Community Space Required per Zoning

RESIDENTIAL PROJECTS IN THE GATEWAY



2454 Lafayette – Cinemagic By-Right

G1 District

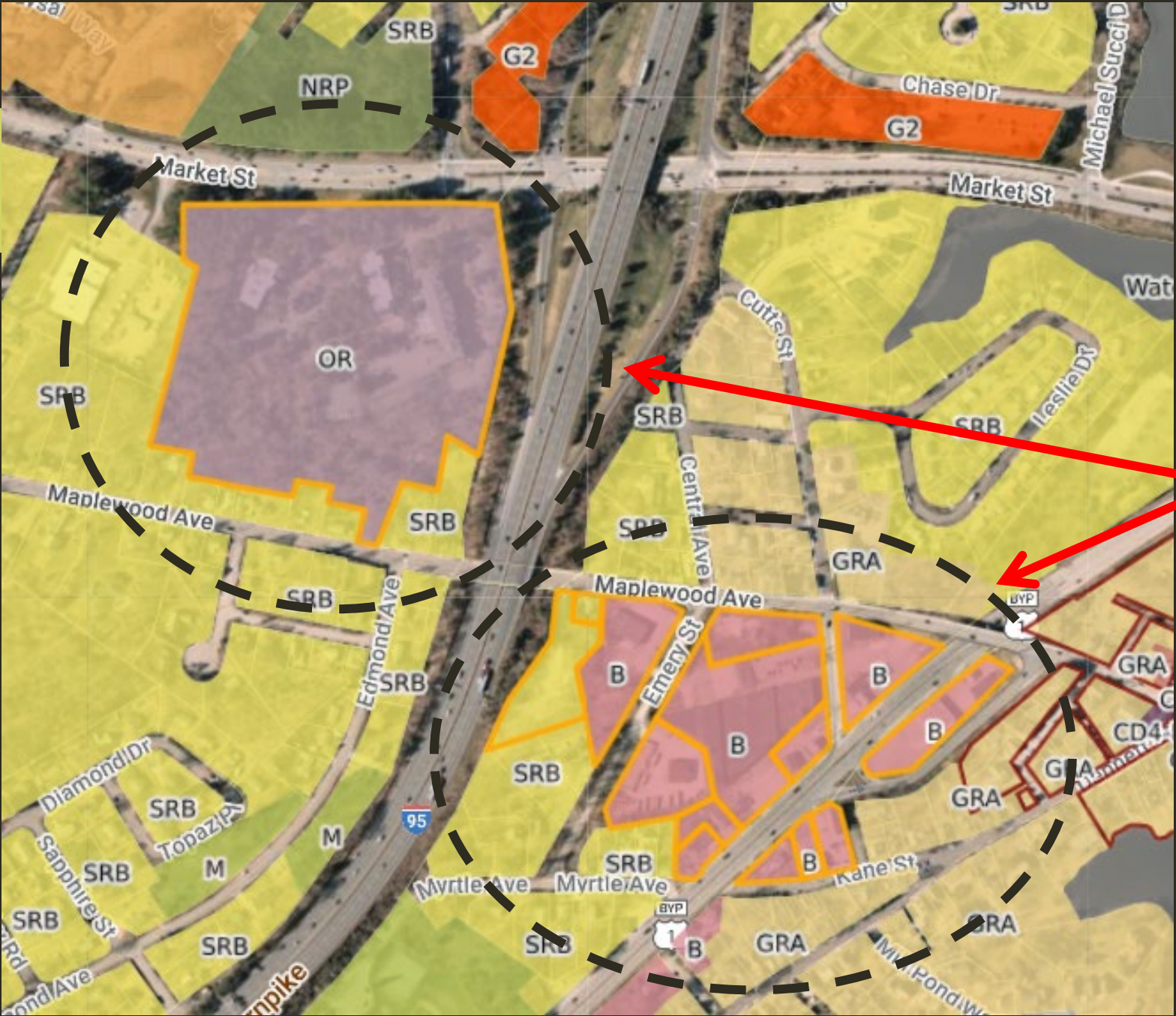
- 18.71 Acres
- 95 Units Exist – Veridian
- 279 Additional Units
- CUP required for Development Site
- 10% Community Space Required per Zoning

RESIDENTIAL PROJECTS IN THE GATEWAY

KEY ISSUES FOR CONSIDERATION

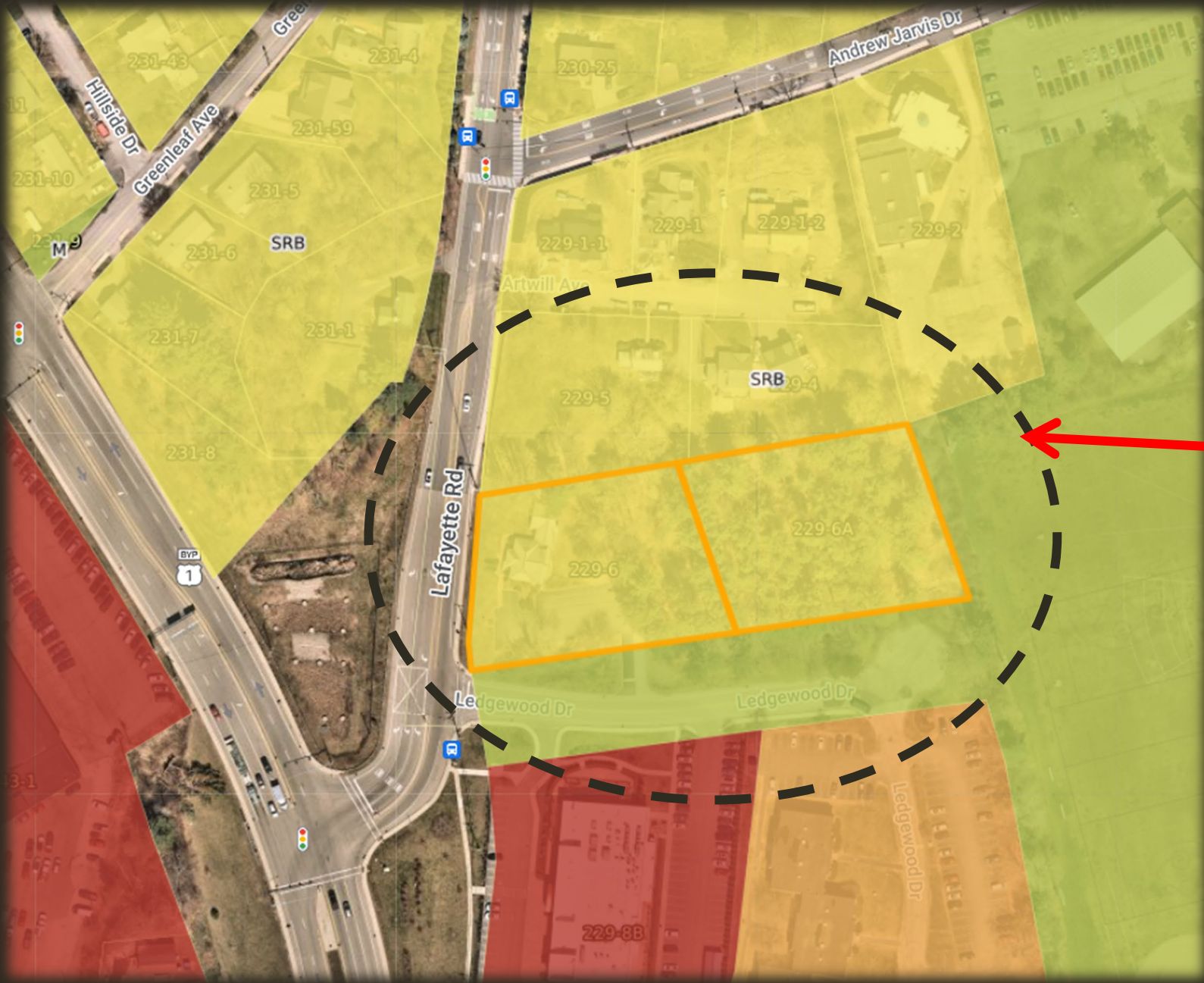
- Define Developable Area (DLA) – (exclude wetlands, buffers, floodplains, steep slopes > 20%, easements)
- As-of Right base density should be based on DLA for a lot or development site.
- Review by-right density allowance for building types and development sites
- Consider lowering by-right units per acre for building types and development sites
- Review other development standards: parking location, open space/community space, liner building for residential buildings
- Expand District boundaries

POTENTIAL AREAS TO CONSIDER FOR REZONING



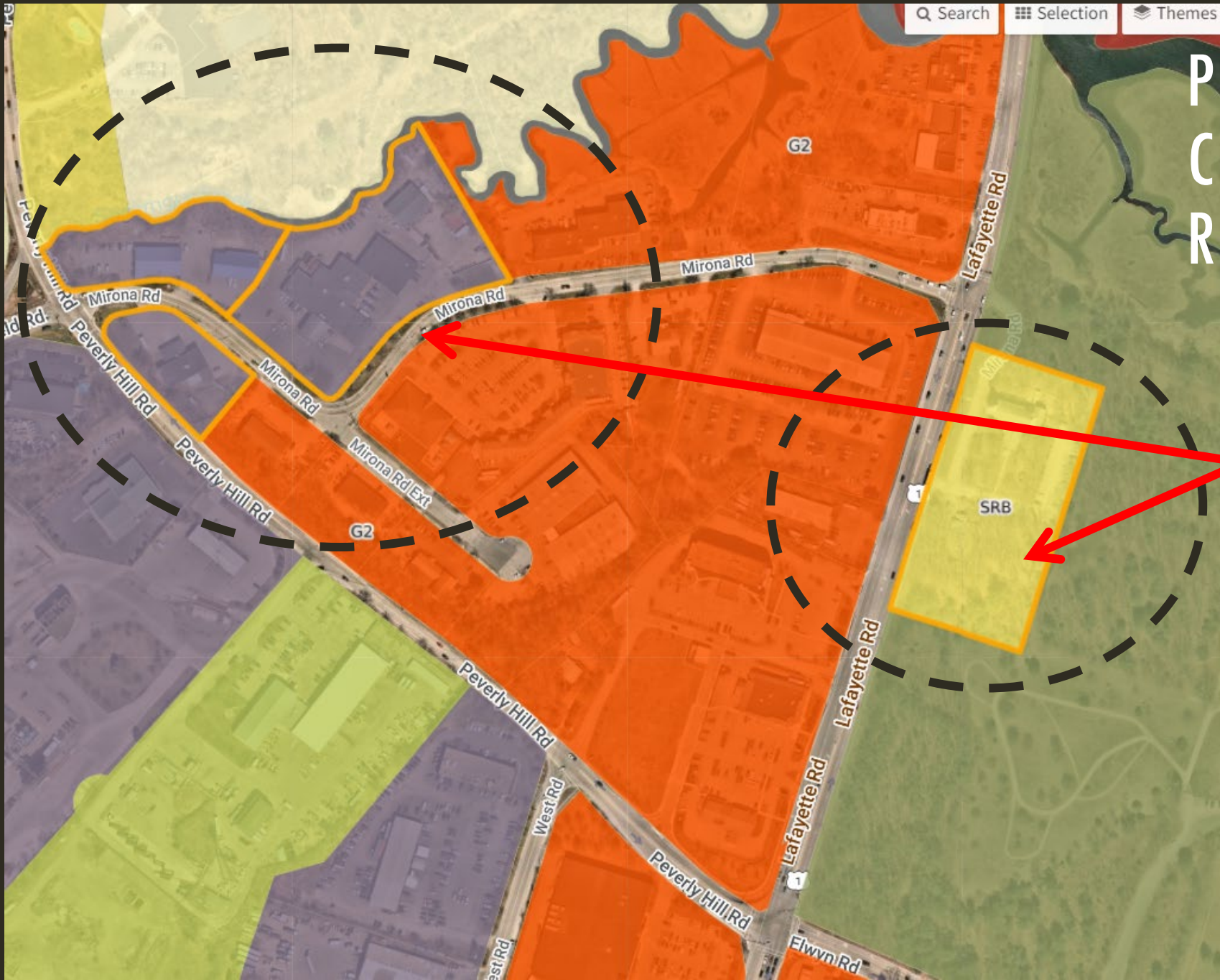
• Potential G2 additions

POTENTIAL AREAS TO CONSIDER FOR REZONING



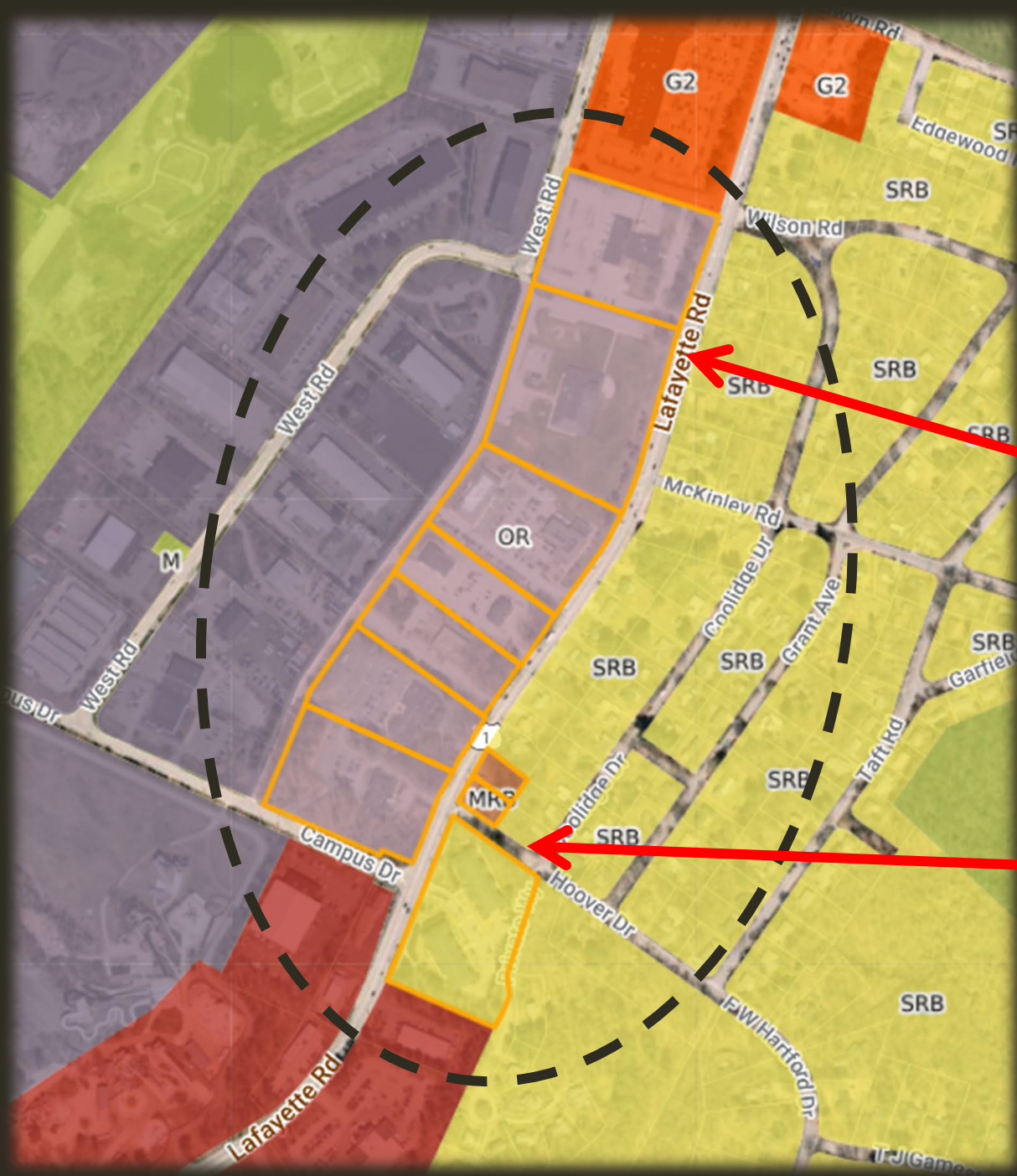
• Potential G1 additions

POTENTIAL AREAS TO CONSIDER FOR REZONING



• Potential G2 additions

POTENTIAL AREAS TO CONSIDER FOR REZONING



- Potential G2 additions

- Potential G1 additions

QUESTIONS AND COMMENTS



July 7, 2023 Land Use Committee Meeting