

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

April 05, 2023

AGENDA (revised on March 31, 2023)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. March 01, 2023

II. ADMINISTRATIVE APPROVALS

1. 11 Sheafe Street (LUHD-552)
2. 303 Pleasant Street (LUHD-579)
3. 138 Gates Street (LUHD-596)
4. 48 Manning Street (LUHD-595)
5. 93 Pleasant Street (LUHD-597)
6. 303 Pleasant Street (LUHD-599)
7. 45 Market Street (LUHD-538)
8. 237 Islington Street, Unit 2 (LUHD-583)

III. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **Christopher Daniel Freund, owner**, for property located at **37 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (add separate first and second floor additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 16 and lies within the General Residence A (GRA) and Historic Districts. (LUHD-563)

B. Work Session requested by **Shawn and Michiyo Bardong, owners**, for property located at **39 Dearborn Street**, wherein permission is requested to allow exterior construction to an existing structure (replace existing roofing structure, add a new side and entry additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 140 as Lot 3 and lies with and the General Residence A (GRA) and Historic Districts. (LUHD-568)

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Nobles Island Condominium Association, owner**, for property located at **500 Market Street, Units 4L-15R**, wherein permission is requested to allow renovations to an

existing structure (remove and replace existing cantilevered deck with new raised decks on concrete footings) as per plans on file in the Planning Department. Said property is shown on assessor Map 120 as Lot 2 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts. (LU-23-34)

2. Petition of **James William Woods and Anna Roeline Meinardi, owners**, for property located at **1 Walton Alley**, wherein permission is requested to allow renovations to an existing structure (install new windows and replace existing windows) as per plans on file in the Planning Department. Said property is shown on assessor Map 103 as Lot 27 and lies within the General Residence B (GRB) and Historic Districts. (LU-23-39)

3. Petition of **Marcia C. Piel and Gary Evan Lowe, owners**, for property located at **105 South Street**, wherein permission is requested to allow renovations to an existing structure (add solar panels to the existing roofline) as per plans on file in the Planning Department. Said property is shown on Assessor Map 110 as Lot 11 and lies within the General Residence B (GRB) and Historic Districts. (LU-23-38)

V. PUBLIC HEARINGS (OLD BUSINESS)

A. **REQUEST TO POSTPONE**- Petition of **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (add masonry parapet) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-78)

B. **REQUEST TO POSTPONE**- Petition of **David A. Sinclair & Nicole J. Giusto, owners**, for property located at **765 Middle Street**, wherein permission is requested to allow the new construction of a detached garage with living space above as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 as Lot 37 and lies within the General Residence A (GRA) and Historic Districts. (LU-22-196)

VI. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_0560PenkRsQ-Y4s87Ci7hA

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

March 01, 2023

MEMBERS PRESENT: Chairman Jon Wyckoff; City Council Representative Rich Blalock; Members Reagan Ruedig, Martin Ryan, David Adams, Karen Bouffard, and Alternate Johanna Landis

MEMBERS EXCUSED: Dr. Dan Brown, Vice-Chair Margot Doering

ALSO PRESENT: Nicholas Cracknell, Principal Planner, Planning Department

.....
Alternate Johanna Landis took a voting seat for the evening.

I. APPROVAL OF THE FEBRUARY 1, 2023 MINUTES

Chairman Wyckoff and Mr. Ryan recused themselves from the vote because they did not attend that meeting.

It was requested that the name John Schniztel be changed to Schnitzler and that Mr. Brown be addressed as Dr. Brown in those minutes and moving forward.

*Ms. Ruedig moved to **approve** the February 1 minutes as **amended**, seconded by City Council Representative Blalock. The motion **passed** by a unanimous vote of 5-0.*

II. ADMINISTRATIVE APPROVALS

NOTE: The items were not reviewed and approved in sequence.

1. 11 Sheafe Street (LUHD-552)

The item was postponed because the documentation was received too late.

*Ms. Ruedig moved to **postpone** the item to the April 5 meeting, seconded by City Council Representative Blalock. The motion **passed** by a unanimous vote of 7-0.*

At this point in the meeting, Chairman Wyckoff announced that Work Session A, 37 Prospect Street, was also postponed to the April 5 meeting.

*City Council Representative Blalock moved to **postpone** the item to the April 5 meeting, seconded by Ms. Ruedig. The motion **passed** by a unanimous vote of 7-0.*

At this point in the meeting, Items 8 and 15 were pulled for separate votes because one person recused on each item. (It wasn't specified who recused on Item 15, and Ms. Bouffard recused herself from Item 8).

2. 15 Congress Street (LUHD-576)

The request was to replace the existing awning at the Thirsty Moose restaurant with a flag wall sign and install a 3-dimensional beer mug sign. Mr. Cracknell said the flag wall sign already met the city's sign requirements but that the applicant may be over the limit as to how large the beer sign could be. He said he encouraged them to get relief from the BOA first.

3. 57 Salter Street, Unit 2 (LUHD-577)

Mr. Cracknell said the request was for another mechanical condenser that wasn't visible from many places. He said it did not have a screen but he didn't think it needed one.

4. 60 Penhallow Street (LUHD-578)

Architect Tracy Kozak was present on behalf of the applicant and said the minor changes to the petition were: 1) the center bay 2nd floor window strapping bands engaged with the window will have a piece of siding between the sill and the strapping; the granite chimney would not have an overlay of the masonry mural but instead just be plain granite; the takeout window for food would be two inches higher; the 12"x12" exhaust vent at the 3rd-floor level would not have gray fieldstone; and the coping band of metal at the top in the back alley would be a green color to match the fascia band.

City Council Representative Blalock asked if the band of metal would match the chimney. Ms. Kozak said it would be the same finish but would be a warmer color.

*Mr. Adams moved to **postpone** the item to the April 5 meeting, seconded by Ms. Ruedig. The motion **passed** by a unanimous vote of 7-0.*

5. 63 Islington Street (LUHD-580)

The request was to replace the storefront that got crashed into.

6. 4 Rock Street, Unit 3 (LUHD-581)

The request was for an HVAC condenser. The board discussed where the feed line would terminate. Mr. Adams said it seemed like there was an interior chase but if he was wrong, the applicant could return to show where the line would penetrate.

Stipulation: the feed line will be painted to match the building.

7. 303 Pleasant Street (LUHD-579)

The request was to remove and rebuild the rear entry staircase. Chairman Wyckoff said the plan seemed to have two sets of stairs. Mr. Cracknell said there was one at the bulkhead. Mr. Adams said there was a secondary entrance to the building to get access to a coal room back in the day. He said it seemed like a parking space would be lost by letting the new stairwell stretch toward the street. He also noted that there was nothing to stop someone from falling into the well and asked if it needed rails. Mr. Cracknell said the Inspection Department would determine it. Chairman Wyckoff suggested that the applicant return with a design for a railing and more information on the stairs.

*Mr. Adams moved to **postpone** the petition to the April 5 meeting, seconded by City Council Representative Blalock. The motion **passed** by a unanimous vote of 7-0.*

8. 70 Court Street (LUHD-567)

Ms. Bouffard recused herself from the vote and Ms. Landis took a voting seat.

Mr. Cracknell said the request was to mount six condensing units on the side of the building. He said he spoke with the building inspector and the contractor and they described the units as being stacked, which wasn't shown in the application. He said what was proposed was times two and that it seemed more appropriate that the units go toward the back of the building.

The applicant Andrew Samonas was present and said they agreed to have the units in a horizontal fashion on the ground level instead of vertical and placed on a concrete pad. He said he could submit a drawing after the approval. He noted that the main feed would go through the foundation.

*Ms. Ruedig moved to **approve** the item with the following **stipulations**:*

- 1. The six proposed units shall be placed horizontally behind the second window from Court Street toward the rear of the building, and*
- 2. Landscaping shall be added in front of the first unit.*

*City Council Representative Blalock seconded the motion. The motion **passed** by a unanimous vote of 6-0.*

9. 44 Gardner Street (LUHD-582)

Mr. Cracknell said the proposal had a stipulation that the deck and railing would be detailed before the work was done. He said there was a sketch of the railing system and the composite decking. Mr. Ryan asked about the details. Mr. Cracknell said a plan in the original approval showed where the deck was but the material and railing dimensions were lacking.

10. 117 Bow Street (LUHD-584)

Mr. Cracknell said the request was for a condenser that had a lot of boxes and wires but wouldn't been seen from the street. Mr. Ryan said it could be approved based on a stipulation that it would be located on the building's exterior. Ms. Ruedig noted that the location was in a

dead-end back alleyway. Mr. Cracknell said it be approved based on what was submitted and if he saw something different at the site, he would bring it back for to the commission.

*Ms. Ruedig moved to **approve** the item with the following **stipulations**:*

- 1. That the condenser be located on the building's exterior, and*
- 2. That it be brought back to the commission if it was different from what was submitted.*

*Mr. Ryan seconded the motion. The motion **passed** by a unanimous vote of 7-0.*

11. 45 Richmond Street (LUHD-586)

Mr. Cracknell said everything was approved except for the greenhouse details. He said the applicant wanted to change the size of the greenhouse to 10'x10'.

12. 2 Bow Street (LUHD-588)

Mr. Cracknell said the request was for approval for a new exterior façade trim that was going to a PVC painted one to match existing. He said there were four panels under the window that were replicated in kind with a composite material. Mr. Adams said the panels had survived with some early trim elements and there were still fragments of the small beads and the outlining element. He said the location might be great for the new material but that he hated to see the material made out of plastic just to make it fit. He asked if it could be done in kind.

Stipulation: the panels shall be replaced in kind with the composite material, with matching profiles.

13. 17 Pray Street (LUHD-587)

Mr. Cracknell said the request was for a condenser that would not be visible from the streetscape due to its location.

Stipulation: the condenser will be painted to match.

14. 179 Pleasant Street (LUHD-589)

The applicant's representative Carla Goodknight was present and said they wanted to remove the chimney and do an infill of the basement walkout.

15. 64 Vaughan Street (LUHD-591)

A commission member was recused from the vote, and Ms. Landis took a voting seat.

The applicant's representative Mark Mueller was present and addressed the commission's previous stipulations. He said they wanted to extend the shed to make it symmetrical with the deck and that they created a more symmetrical mass to balance the symmetry of the overbuild

at the other side of the roof deck. He noted that a small change was made to the deck's footprint and a subtle material adjustment was also made by infilling the pediment portion of the dormer in the center.

*Mr. Martin moved to **approve** the item, seconded by Ms. Ruedig. The motion **passed** by a unanimous vote of 6-0.*

16. 28 New Castle Avenue (LUHD-590)

Mr. Cracknell said there were a few changes to the previously-approved design for the windows and stone porch columns. The applicant Erin Barber was present and said she wanted to postpone the siding and the columns because she wasn't ready to address them. She said they proposed to replace the original 2/1 window with a 6/1.

*Ms. Ruedig moved to **approve** Items 2, 3, 5, 6, 8, 9, 11, 12, 13, 14, and 16 with their respective stipulations. City Council Representative Blalock seconded. The motion **passed** by a unanimous vote of 7-0.*

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **43 Holmes Court, LLC, owner**, for property located at **43 Holmes Court**, wherein permission is requested to allow the demolition of the existing home and the new construction of a single-family home of similar design as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 14 and lies within the Waterfront Business (WB) and Historic Districts. (LU-22-227)

SPEAKING TO THE PETITION

The applicant's representative, project architect Brendan McNamara, was present via Zoom. He said other State applications were in process and being handled by Altus Engineering and the issue was the flood hazard requirements. He said the house dated back to 1749 and had several renovations and additions since then. He said the house was close to the river and prone to flood damage and that any work done to it would require that the house be lifted up a minimum of one foot, but then they would have to meet the dimensional requirements and so on. He said what they proposed was to demolish the structure and rebuild a slightly larger and flood-preventive home. He said the BOA approved the site plan and that the home would be as close as possible to the existing home, with adjustments. He reviewed some of the material details.

Ms. Ruedig asked what steps were made relating to flood proofing. Mr. McNamara said they made the foundation continuous with no breaks in its top edge. He said they would use the insulated concrete form that had a system for wood proofing the exterior. He said everything below that line would be flood resistant and that the basement could only be used for storage. He said there might be a second means of egress from the basement via a horizontal hatch access. Ms. Landis asked if the basement slab was at current grade and if the DFE was a foot higher. Mr. McNamara said the proposed basement slab was close to the current one and the DFE was a little over a foot of the existing floor. Ms. Ruedig said her only concern was the demolition of the historic house and the digging around it. She asked that there be thorough documentation of the

house inside and out and if anything were found, like old framing, that it be documented as well and that a digital copy be given to the Athenaeum and to the city. Mr. McNamara agreed.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chairman Wyckoff closed the public hearing.

DISCUSSION OF THE COMMISSION

City Council Representative Blalock said that, given that that the house was in the floodplain, it was in keeping with the building's history. He said he appreciated the design changes that reflected the current building. Mr. Ryan agreed and said the massing and materials were wonderful but noted that the condenser unit wasn't screened. Ms. Landis asked if any research was done while elevating the existing structure. Mr. McNamara said if more than 50 percent of the building's market value was spent, then it was required to meet code compliance across the building. He said the elevation of the existing structure would exceed that 50 percent requirement and that it wasn't possible to do due to the building's existing shape and wouldn't be justified for the building that would be left. Mr. Adams said it was a charming little historic building that barely passed the usefulness test over the years and no one in the past had addressed the flooding issues and required improvements. He said the proposed building was larger in every dimension but thought the neighbors would be better off with the proposed building in terms of its livability and property values. Chairman Wyckoff said he was saddened by the building's removal but he noted that there was no one present who objected.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulations**:*

- 1. That the building's interior and exterior be documented fully with high-resolution digital photos and that those photos be submitted to the city and Athenaeum; and*
- 2. That the excavations be done carefully.*

City Council Representative Blalock seconded the motion.

Ms. Ruedig said the project has conservation and enhancement of property values and compatibility of design with surrounding properties. Mr. Blalock concurred and said he didn't take any demolition of a historic structure in Portsmouth lightly. He said the commission did the site walk and saw all the options and thought demolition was the best solution for the house.

*The motion **passed** by a unanimous vote of 7-0.*

2. Petition of **Rudy Stolarz Holding, LLC, and C/O Bosen & Associates, PLLC, owners,** for property located at **96 Chestnut Street**, wherein permission is requested to allow exterior renovations to an existing structure (add new doorway) and the installation of mechanical

equipment (HVAC condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 24 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts. (LU-23-14)

SPEAKING TO THE PETITION

The owner John Bosen was present and said he wanted to convert his former office building to a single-family residence. He said the only means of egress was in the back and that a second means of egress was needed. He noted that there was a slider door in the back with a short deck and that it wouldn't be visible from the front of the property.

City Council Representative Blalock asked if there would be any digging, and Mr. Bosen said there would not. Mr. Ryan asked if the windows would be changed out and why a slider would be used. Mr. Bosen said the windows wouldn't change and the slider was a Marvin Fibrex window element that was HDC compliant and paintable.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Ryan.*

Ms. Ruedig said the proposal had conservation and enhancement of property values and compatibility of design with surrounding properties.

*The motion **passed** by a unanimous vote of 7-0.*

3. Petition of **Daniel Pinkham House, LLC, owner**, for property located at **400 The Hill, Unit #8-4**, wherein permission is requested to allow renovations to an existing structure (replacement window sashes for all windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 26-10 and lies within the Character District 4- L1 (CD4-L1) and Historic Districts. (LU-23-16)

SPEAKING TO THE PETITION

The applicant was not present at the time. It was moved, seconded, and passed to postpone the petition to the April meeting. Then the applicant appeared, and it was moved, seconded, and passed to bring the petition back to the table.

The applicant Nancy (no last name given) was present via Zoom and said she wanted to replace the windows on her home with Pella windows to deal with energy loss.

Chairman Wyckoff said some of the windows might be original. The Pella window representative Steve (no last name given) was present and said the windows were not original but were probably from the 1970s or 1980s. He said they did not have the weighted pockets but still had the storms. Mr. Cracknell asked if any of the windows were handmade, and the representative said no. Ms. Ruedig said the commission didn't have many photos of the existing windows and some of the photos were cut off the page, but she could see that the sills had springs in the jambs instead of where the pockets should be. She said the muntin profile and hardware looked older than the 1970s and 1980s. Mr. Adams said he walked around the building's exterior and thought the windows were Brosco replacement windows from the 1970s. He said the window frames most likely never had pockets for sash weights. He said he didn't think anything was lost in terms of historic material. Ms. Ruedig asked if a clad window on The Hill was wanted instead of wood windows inside and out. Mr. Ryan asked if the storms would be eliminated. The representative agreed. He said the windows would be aluminum clad and the 6/6 window pattern would be matched. Ms. Ruedig said the third-floor windows needed to match what was there by being a size 6 top sash and a size 3 lower sash. In response to Mr. Adams' questions, the representative said the replacement sashes came in frames and the frame would be made out of aluminum on the exterior and the sill would also be aluminum.

Chairman Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

No one spoke.

SPEAKING IN OPPOSITION TO THE PETITION

Paige Trace of 27 Hancock Street said there had to be a better way for a home on The Hill. She said an aluminum sash would show a frame, and she thought proper sashes, frames, and wooden windows should be used instead of aluminum windows that could bow and twist. The representative said they were the only manufacturer that had a true wood window and that it was really a wood window with an aluminum wrap.

SPEAKING IN OPPOSITION TO THE PETITION

No one else spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulation**:*

- 1. That the sashes and muntin profile match on all the windows.*

Mr. Ryan said the project would preserve the integrity of the Historic District and would be consistent with the special and defining character of the area.

City Council Representative Blalock seconded.

Ms. Ruedig said she could not support the petition because there were better options for a wood window on the exterior and interior that would match the profile and opening of the building and the windows in this building better.

*The motion **failed** by a vote of 4.3, with Mr. Adams, Ms. Ruedig, Ms. Bouffard, and Ms. Landis opposed.*

The window representative said he could offer the window in a full wood exterior.

*Mr. Ryan moved to **reconsider**, seconded by City Council Representative Blalock. The motion **passed** by a unanimous vote of 7-0.*

The representative said the window was a Pella Architect series. Mr. Cracknell said it had a wood exterior that could be field painted. In response to Mr. Adams' questions, the representative said the window came in a frame and the frame would be wood on the exterior. He said the angle of the aluminum sill would be the same as existing or adjustable. Mr. Cracknell said the sash and muntin profile would match every opening.

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition, with the following **stipulations**:*

- 1. The wood window will have a wood exterior, and*
- 2. The pattern and configuration will match what's existing*

City Council Representative Blalock seconded.

Mr. Ryan said the project would be consistent with the integrity of the Historic District and consistent with the special and defining character of the area.

*The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition.*

4. Petition of **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (add masonry parapet) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-78)

SPEAKING TO THE PETITION

Shayne Forsley of Hampshire Development was present on behalf of the applicant. He said they wanted to place a parapet to deal with the co-mingling of the roofs between 129 State Street and the abutting 121 and 123 State St properties. He said there was a bit of difference in pitch between the two roofs, so they proposed to build a one-foot wide parapet to match the one at the north end of the roof. He said there would need to be an agreement in place with the abutting condominium association before any of the work commenced.

City Council Representative Blalock asked if the footprint would change. Mr. Forsley said the footprint would be slightly expanded but pointed out that there was no setback requirement on the rear yard area and there would be no encroachment on the public right-of-way. Mr. Cracknell said that would need to be approved. Chairman Wyckoff said the back of the two buildings was extended in the prior approval but now the applicant was back to say he needed another foot. He asked the reason for it and whether it needed BOA approval. Mr. Cracknell said it wouldn't require BOA approval, and if it met the zoning requirements, it could be folded into the application and the applicant could return for an administrative approval. It was further discussed. Mr. Forsley said it was a 1/6" expansion on both the garage and living structures. Mr. Cracknell said the garage looked bigger than the living room.

Mr. Ryan said there were abutters who objected to what was already proposed and approved and now the applicant wanted more. He said he could not support the parapet until it was properly presented. In response to Mr. Ryan's questions, Mr. Forsley said the cornice would be cut into to extend the parapet up. He said they came for approval for the parapet and wanted to handle the footprint separately. He explained how they would install the parapet. Ms. Ruedig said she wanted to ensure that the parapet was as it was shown on the opposite side of the building and that the dentil course at the bottom was preserved. It was further discussed.

Chairman Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

No one spoke.

SPEAKING IN OPPOSITION TO THE PETITION

Marie Bodi of 121 State Street said the plan further encroached into Sheafe Street and there was no understanding or agreement between the owner of the property and the condominium association about putting the two roofs together.

Paige Trace of 27 Hancock Street said there was no agreement between the two property owners and that there should be before the commission voted on it.

SPEAKING TO, FOR, OR AGAISNT THE PETITION

Mr. Forsley said they fully accepted and understood the nature of having a formal agreement in place before the work commenced. Chairman Wyckoff asked if the applicant could weave asphalt shingles. Mr. Forsley agreed and said they were previously approved to replace the roof with synthetic slates, and that's where the discussion of handling the co-mingling came about because the roof pitches were different. Mr. Cracknell suggested that the faux slate shingle not be abandoned to go back to an inferior product because Mr. Forsley couldn't get an agreement, but that he return with at least a tentative agreement where the parties could write in favor of the concept of putting a parapet on the building. He said a formal agreement was unnecessary until the commission gave approval to separate the roofs. He also suggested either adding or removing

the expanded massing on the back and having tentative approval from the abutters before returning to the commission.

DECISION OF THE COMMISSION

*City Council Representative Blalock moved to **continue** the petition to the April 5 meeting, seconded by Ms. Ruedig. The motion **passed** by a unanimous vote of 7-0.*

5. Petition of **DAGNY TAGGART, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow the removal and replacement of a portion or all of the existing stone wall on the site) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts. (LU-21-183)

SPEAKING TO THE PETITION

The applicant's representative architect Tracy Kozak was present to review the petition. She said they excavated the back of the wall and had experts come out to prepare shoring plans to stabilize the wall during construction. She said they discovered that the wall isn't stable and there are gaps in the stones because the wall has moved over time. She said the stones could resettle after the shoring is removed and cause more risk to the wall. She asked that they be able to rebuild the wall at the same place with the same stones. She said the historic configuration of the wall is altered and the risk factor is that it continues to lean over and will eventually fall over.

Mr. Ryan asked what the finished product would look like if the wall was taken down and restored. Ms. Kozak said it would be put back in the same arrangement and that they would record how it was taken down. The mason Bernie Lee was present and said the wall will be catalogued and reconstructed and will have the same stones. He said the back of the wall will have the reinforcement, so the top and the front would look the way it does now. Mr. Ryan asked if the wall would be reinforced and all the joints mortared as well as structurally sound and safe. Mr. Lee agreed and said the amount of mortar seen today would not be seen and that the wall will have a dry stack appearance. City Council Representative Blalock asked how small a stone would be considered. Mr. Lee said any stone in the wall will go back, even chinkers, but will be mortared from behind instead of in the front. Chairman Wyckoff said most of the mortar was probably done by someone who wasn't a mason or done as an emergency repair; he asked if the mortar seen in the wall, especially in the lower part, was done as a repair type of thing. Mr. Lee said he thought one of the repairs was done by a mason but it looked it was done in an emergency fashion and might need to be filled in. Ms. Landis said she understood from the last time Mr. Lee spoke that the wall had evolved over the years and could not be reconstructed but that they would create a better version. She said now Mr. Lee was saying that it would be exactly the same from the front. Mr. Lee said he was addressing the emergency repair and that they would achieve a look of the wall that's more original to its era. Ms. Landis said she remembered that, due to so many eras of placement of stone and so much variability of size and method of placement, it would be impossible to recreate the wall. Mr. Lee said some rocks fell out and modern blasted ledge was incorporated into the wall, so they said they would put the wall back with the same stones but get rid of the mortar infused in it. Ms. Landis said she had a photo of the wall

that looked like there was a lot of heavy machinery being leaned up against it during constructions. Mr. Lee said the back of the wall was cordoned off and there was nothing stacked behind it. It was further discussed. Mr. Ryan asked if the Building Department was involved in whether the wall can be saved or whether it needed to be brought up to code and the fact that it was next to a public pathway. Ms. Kozak said the Building Department wasn't involved.

Chairman Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

No one spoke.

SPEAKING IN OPPOSITION TO THE PETITION

Sue Polidura of Middle Street said the project was originally contingent on keeping the wall, and suddenly the wall needs to come down. She said six feet of soil was dug up near the wall, which increased its instability, and that the trench dug out 300 years of soil and history. She asked if there was an archaeologist on site during the digging and what happened to the soil. She asked if anyone looked at the bands of soil and the different periods of the property.

Paige Trace of 27 Hancock Street said the commission had a public hearing on January 4 and voted no on the demolition removal of the stone wall. She said now the developer was back with the intent to buttress the wall to be administratively approved. She said it was a second bite of the apple and was against Fisher v. Dover.

Petra Huda of 280 South Street said the assignment for the developer was to come back and tell the commission how they would support the wall during reconstruction, but now they wanted to take the wall down and put it back together, which alters its history. She said the trench also affected the wall's stability as well as the large piece of equipment to make the trench.

Patricia Bagley (via Zoom) asked if the public wasn't supposed to notice the wearing-down strategy. She said the development team lied to the commission and to the public by not only saying that the wall would be preserved but that it was in good condition. She said the commission approved the project with that understanding. She said the wall had been there for over three centuries but now it was an inconvenience to one person who expected the commission to approve its destruction. She said the commission was tasked with deciding whether or not to deconstruct history.

Barbara Jenny of 94 Pleasant Street (via Zoom) said it was cheaper for the developer not to have the wall there and that she was appalled that they were here again when the commission had already made a decision. She asked the committee or Planning board to look into whether there should be fines for the trench that posed a threat to the wall's stability.

Jeff Barbi of 224 State Street (via Zoom) said the wall was a wall with a new building problem. He said there would be a 14-ft hole in the ground and that it shouldn't be dug.

Peter Whelan (via Zoom) said he found it hard to believe the commission was back here tonight discussing this. He said the commission took a vote saying the wall would be preserved and the contractor was supposed to come back with a plan of how he would keep the wall during construction. He wanted to know if the developer ask the commission for permission to dig the trench. He said the HDC should not be holding a second public hearing. He said the developer was all about profit. Ms. Kozak said the wall was important and that the developer wasn't lying because of profit. She said the January 4 stipulation was that they return with a shoring plan to protect the wall, and if they saw that the wall was at risk, it would come down. She said their goal was to have the wall the way it is now forever, and the trench was part of the investigation to determine the wall's stability and integrity. She said the stones didn't carry through, and the foundation was uneven. She said it was trenched and backfilled ten years ago.

Marie Bodi speaking on behalf of McNab Properties said there was discussion about the wall and what they were presenting that night was trying to do more due diligence and provide the commission with professional information.

Doug Tilton of 58 Middle Road said he represented Temple Israel, who shared part of the wall. He asked what the process would be. Mr. Lee explained how the wall would be reconstructed in the same manner.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else spoke, and Chairman Wyckoff closed the public hearing.

DISCUSSION OF THE BOARD

Mr. Cracknell addressed the process-related questions and said there was no requirement for a building permit or HDC approval to dig the trench, regardless of its impact on the wall's integrity. He said he wasn't aware that the trench was dug. He said it was presented in January as a proposal to remove and replace the wall, but was retracted by the applicant based on feedback from the commission and the public, so the final decision in January was to re-evaluate the wall's integrity with the goal of shoring it up so that it didn't have to be removed and replaced. He said there were three pieces of new evidence: the structural engineering report on the inherent risk of shoring the wall and what may result after the blasting; 2) the trenching investigation to evaluate the usefulness of that report and whether the wall could be shored; and 3) a risk assessment of shoring. He said the applicant was here tonight because the risk assessment indicted that the wall won't be in good shape after the work is done. He said that was new information brought to the commission and that the applicant was here for a public hearing because it wasn't the administrative approval that was agreed upon in January. He said the commission had the sole determination as to whether there wasn't a material change in the application that invoked Fisher v. Dover, and he did think there was a material change, based on the new information and that Fisher v. Dover was not invoked.

Mr. Ryan asked if the applicant's occupancy permit could be withheld if they took the wall down and restored it and then walked away from it. Mr. Cracknell said there were several ways to ensure compliance that the wall is not only done right but done beyond the occupancy permit. He

said it was within the HDC's purview to hire a third-party structural engineer to confirm or modify what's been presented. Ms. Landis asked how Fisher v. Dover addressed the fact that there was a consultant paid for by the petitioner. Mr. Cracknell explained why it wasn't relevant to Fisher v. Dover. Chairman Wyckoff said the applicant said he would put all the stones back in the way they are now, including some stones that are not appropriate, and that he'll dry lay these with the mortar on the back side, which was a substantial change from what the applicant said in January that he would take stones out that he thought was more appropriate from the other wall facing State Street that won't be rebuilt and harvest stones from that wall. He said it wasn't cheap work to take the wall down and store it offsite and rebuild it the way the developer said he would. Ms. Ruedig agreed that a different thing was being asked for. She said she wasn't happy with the idea of rebuilding a look-alike wall, but it was different and much more expensive than shoring up the wall and keeping it where it is. She said it was a huge task to number and label all the stones and put them back the way they are. She said she was willing to vote on the application because it was a different one. Mr. Ryan agreed, noting that there was a lot more evidence. He said the proposal to come back and restore what's there is totally different than what was proposed last time. Mr. Adams said he was put off by the fact that someone dug a trench and never called the commission. He said the wall looked like it was built in stages and he didn't believe it was built six feet tall in one motion. He said the soil zones inside the trench made him believe that the lot was filled at different times with different materials. He thought the wall was open on both sides at one time and was never built to support the amount of load against it from the parking area. He said it wasn't the wall that everyone thought it was and thought the plan for it made sense. Ms. Bouffard said she didn't like the plan and didn't see how the wall would be able to be rebuilt. She said she had worked with many rebuilt walls and asked who would oversee the process and how the HDC would know how and when the wall was rebuilt. She favored analyzing the situation more and having an independent expert look at it. Ms. Ruedig said she agreed with Mr. Adams and that an expert told her that it was a freestanding wall originally and a dry stacked wall, which is not a good retaining wall. For the function that the wall will serve in the present and future, she said she was looking in the future as to what the best option was for keeping the wall. She said the applicant was willing to shore it up and do the work and see what happens when the shoring is removed, but thought the wall wouldn't last because it's not meant to do what it's being asked to do anymore. She said neither of the options were perfect, but the best path forward had to be taken that would best preserve the wall for the future, and if it can't be preserved, then it should be replicated as best as possible. City Council Representative Blalock agreed and said he had to respect the experts' opinions. Ms. Landis said she was a preservationist but that she had to look at the future. She said it was a contentious issue and felt that an expert should be hired whose focus wasn't to tell the developer what he wanted to hear. She thought it would be better to hire a preservationist who had a vast amount of knowledge so that the commission wasn't speculating. Mr. Ryan said it shouldn't be contentious because the commission wanted to preserve and protect the wall. He said a lot of historic things had been rebuilt, like the North Church steeple. He said he supported the preservation of the wall by dismantling and rebuilding it and thought it was the right thing to do.

Mr. Cracknell suggested taking a vote to note that there has been a material change in the application.

Mr. Adams moved to call for a vote of confidence from the commission that the digging of the trench and the demonstration of the interior conditions of the wall represent a significant change that allows the commission to take another view of the project before them. Ms. Ruedig seconded. The motion passed by a vote of 5-2, with Ms. Landis and Ms. Bouffard voting in opposition.

Mr. Ryan moved to approve the proposal to rebuild the wall, deconstruct and then reconstruct it exactly the way it is as proposed tonight, with the following stipulation:

- 1. The documentation plan shall be submitted to the commission for administrative approval so that it's clear who's doing what and how the wall will be rebuilt in its existing form; and*
- 2. A section shall be provided showing the drainage, the footing, and associated construction details for the preservation for the wall.*

Mr. Adams seconded.

Mr. Ryan said the proposal would conserve historic materials, preserve the integrity of the Historic District, and would relate to the historic and architectural value of the existing structure.

The motion passed by a vote of 5-2, with Ms. Landis and Ms. Bouffard voting in opposition.

Ms. Bouffard left the meeting at this point.

6. Petition of **David A. Sinclair & Nicole J. Giusto, owners**, for property located at **765 Middle Street**, wherein permission is requested to allow the new construction of a detached garage with living space above as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 as Lot 37 and lies within the General Residence A (GRA) and Historic Districts. (LU-22-196)

SPEAKING TO THE PETITION

The applicant's representative architect Jennifer Ramsey was present, along with the owner David Sinclair and landscape architect Vicky Martel. Ms. Ramsey reviewed the changes and said they reduced the deck by two feet so that it's closer to the building. She said the apartment above had an interior and exterior stair and a separate stair that accessed the office. She said the height of a parapet wall of the deck on the east side was increased to match the front deck and a rail would be placed on top of it. She said the base of the second floor would sweep out horizontally and the windows over the main garage doors were made separate. She said there were two letters of support from realtors saying that the home was not out of character with the neighborhood.

Mr. Adams said there was a lot of pavement. Ms. Martel said the driveway was expanded to access the rear building. She said there was an increase in impervious surface, but the amount of treatment was greater and better than the existing condition. She noted that there was a catch basin under the driveway and a raingarden to the left to treat stormwater runoff. Mr. Adams asked if so many parking spaces were needed. Ms. Martel said the parking spaces closest to the road already existed and the added asphalt was to access the garage bays and the rear of the

property. Mr. Cracknell suggested that the commission decide whether asphalt was appropriate instead of the pavers because they had a different aesthetic. Mr. Sinclair said they were adding a fourth apartment to the building and the city ordinance required seven spots for four units. He said the cars had to be able to head in and out. It was further discussed. Ms. Sinclair said he intended to put pavers down. City Council Representative Blalock said the deck seemed to give a view of the neighbor's yard. Ms. Ramsey they reduced the deck and put in a parapet wall so that the deck would not be looking into the neighbor's yard. She said they added 10-12 arborvitae at a height of 8-10 feet. She said they could move the fence further onto the 732 Middle property, take away some of the perceived driveway, and put in different plantings. Mr. Cracknell suggested recessing the deck off the outside wall of the building to give more relief to the property line. It was further discussed. The parapet wall was further discussed. Mr. Blalock said he was concerned about the massing, which included the deck. Ms. Ramsey said decks were not uncommon in areas of multi-family homes.

The commission discussed removing the deck. Ms. Ruedig said she had some concerns about the massing but didn't think it was inappropriate or out of line with the surrounding homes in terms of the building, spacing, and lot coverage. Mr. Ryan said the massing did look a bit heavy but the color renderings helped. He said he'd like to see the roof have some elements to help with the massing, like eyebrow windows and so on. He asked if there was an open cathedral ceiling in the interior. Ms. Ramsey said there was in some of it. She said they considered adding other types of dormers to break up the massing, and it was further discussed.

Chairman Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

No one spoke.

SPEAKING IN OPPOSITION TO THE PETITION

Nicole Dodoh of 733 Middle Street said she was there on her behalf, Craig Crowell, and the condo association. She said the BOA decision to grant the variance contained a stipulation that the design and location of the garage may change based on Planning Board and HDC reviews and approvals. She said the size of the garage was too large and inconsistent with the neighborhood. She said the average size of a garage in the neighborhood was 594 square feet compared to the applicant's proposed 1,970-sf garage. She said the garage's design was incompatible with the neighborhood's character. She suggested removing the deck and garden room and reducing the size of the leg of the garage that blocked 733 Middle Street.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else spoke, and Chairman Wyckoff closed the public hearing.

DISCUSSION OF THE COMMISSION

City Council Representative Blalock said he couldn't support the application as presented due to concerns from the direct abutter. He said the deck would be very invasive and decrease property values. He said he had a hard time sacrificing one resident to give another resident a fourth unit and he thought the massing was too big. Mr. Ryan said he had a hard time with the notion that just because someone lived on their property didn't give them the right to own the view. He said Portsmouth was a very dense city, which came with a certain aggravation factor that one might see their neighbor's house and it might cause a shadow on one's property. He said views change, trees died or got cut down, new trees got planted, fences got put up, and so on. He said he would support the project. Ms. Ruedig agreed. She said the building was a big one to put on that parcel. She said she'd be more inclined to support it if the deck portion was removed and the building was simplified to help ease the neighbor's concerns. Mr. Adams agreed that maybe the deck's opacity needed to be stripped off to make it more palatable. He said he liked how much of the building was derivative of the main house's architecture. He said maybe stripping a few features off would make it a better thing. He said he also remained concerned about the paving, and it was further discussed.

Ms. Ramsey said they could come back so the commission could see the application without the deck. Mr. Cracknell said if the deck and the space below it were removed and the massing and three openings and projecting elements of the door to the deck were reworked, the application might be better. Several of the commissioners agreed that would be better.

DECISION OF THE COMMISSION

*Mr. Adams moved to **continue** the petition to the April 5 meeting, seconded by City Council Representative Blalock. The motion **passed** by a unanimous vote of 6-0.*

IV. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE**- Work Session requested by **Christopher Daniel Freund, owner**, for property located at **37 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (add separate first and second floor additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 16 and lies within the General Residence A (GRA) and Historic Districts. (LUHD-563)

The petition was **postponed** to the April 5 meeting.

B. Work Session requested by **Shawn and Michiyo Bardong, owners**, for property located at **39 Dearborn Street**, wherein permission is requested to allow exterior construction to an existing structure (replace existing roofing structure, add a new side and entry additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 140 as Lot 3 and lies with and the General Residence A (GRA) and Historic Districts. (LUHD-568)

WORK SESSION

Architect Amy Dutton and the owners Shawn and Michiyo Bardong were present. Ms. Dutton reviewed the revisions and said the family room was connected to the existing shed; the shed

roof was raised 30 inches and now matched the kitchen pitch and height; and the entry was pulled back so that the railing of the second floor deck went into the wall.

City Council Representative Blalock said he got a few letters from the public and his biggest concern was losing the Cape but was fine with the massing. He asked whether the Cape architecture could still be seen if the Dutch roof was a Cape one. Ms. Dutton said if they kept it a Cape, they wouldn't get the height they needed. Chairman Wyckoff suggested having the head roof addition on the Cape and pushing it up to 3'12" for another foot; he said there could be a gable dormer at the center where the bath was. Ms. Dutton said it was proposed back in 2017 and denied. Ms. Ruedig said she was concerned about losing the Cape and its history at the previous work session and she was still uncomfortable with introducing a style that was so different. She noted that there weren't any Dutch colonials in the area. She asked if the applicant considered raising it up to a taller gabled building by taking the same roofline and raising it up to get the head height. It was further discussed. Mr. Adams said he thought it was more of a poorly developed fishing shack than a Cape and felt that the applicant's intent was to do something responsible and make it look more architectural. He said the Dutch colonial cottage was a reasonable approach. Ms. Dutton said if they did a full Colonial, they would have two full floors and an attic. Chairman Wyckoff said he would stick with the Cape. Mr. Ryan said maybe the answer was using the outbuildings instead. He said he couldn't support the proposal.

Public Comment

Michael Stasiuk said he was the abutter and that he didn't voice an objection to a similar plan when the HDC permitted an expanded kitchen, a shed dormer facing Dennett Street, a second dormer, and the removal of a mudroom. He asked if there was durability in decisions made by the commission. Chairman Wyckoff said things could change after 10-15 years. Mr. Stasiuk said he would not be able to see the sky from his window if a roofline 7-1/2 feet higher were there. He said the proposal to increase the shed's height by three feet wasn't present at the first work session. He said the shed's dimensions, height, and storage use were in writing and tied to a legal document. He said the city broke that agreement. Chairman Wyckoff asked if Mr. Stasiuk purchased the easement from the previous owner. Mr. Cracknell asked if it included the existing outbuildings, and if it didn't, then it wasn't related to the view easement. Mr. Stasiuk said it wasn't in the view easement but the shed was five feet from his property line. He said he agreed to let that shed be placed there in exchange for the view easement. He asked if the letter that accompanied the view easement was part of the view easement deed. Mr. Cracknell said an attorney would have to determine that. It was further discussed and Mr. Cracknell concluded that it was a legal question but because the view easement didn't directly speak to any structures on the property, it didn't restrict any property owner from going back to the BOA and adjusting any other structures on that lot. The difference between a Cape and a Dutch colonial was discussed.

Roz Grant of 21 Walker Street said her husband lived in that house at one point and she felt that the changes the owners wanted to make changed the character of the house.

DECISION OF THE COMMISSION

Ms. Ruedig asked the applicant if he could take away the gambrel pieces and still reflect on the Cape form and get the room he needed. Mr. Cracknell said the applicant would need a full shed dormer on the back if it was a story and a half and probably some doghouse dormers on the front, or he could do a recessed shed dormer to get more headroom that was three feet from the bottom and a foot down from the top and 3-4 feet from the side. It was further discussed.

*Ms. Ruedig moved to **continue** the work session to the April 5 meeting, seconded by City Council Representative Blalock. The motion **passed** by a unanimous vote of 6-0.*

V. ADJOURNMENT

The meeting adjourned at 11:45 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

April 05, 2023

- | | | |
|----|--|------|
| 1. | 11 Sheafe Street (LUHD-552) | -TBD |
| 2. | 303 Pleasant Street (LUHD-579) | -TBD |
| 3. | 138 Gates Street (LUHD-596) | -TBD |
| 4. | 48 Manning Street (LUHD-575) | -TBD |
| 5. | 93 Pleasant Street (LUHD-597) | -TBD |
| 6. | 303 Pleasant Street (LUHD-599) | -TBD |
| 7. | 45 Market Street (LUHD-538) | -TBD |
| 8. | 237 Islington Street, Unit #2 (LUHD-583) | -TBD |

1. 11 Sheafe Street - TBD

Background: The applicant is seeking approval for exterior siding, roofing, and HVAC equipment.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-552

Submitted On: Nov 18, 2022

Applicant

 Matt Silva
 603-765-6648
 @matt@profilehomesnh.com

Primary Location

11 SHEAFE ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Exterior Siding, HVAC System, roofing

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Project Manager

Full Name (First and Last)

Kinnon Nolan

Business Name (if applicable)

Profile HOmes

Mailing Address (Street)

953 Islington St

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

6037656648

Email Address

kinnon@profilehomesnh.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Approved Contractor

INTERNAL USE ONLY -- Historic District Commission Review and Approval

Date: 11/16/22

Profile Homes NH
953 Islington St, Unit 22C
Portsmouth, NH 03801
603-433-2464

City of Portsmouth Historical District Commission

RE: 11 Sheafe Street Request for Administrative approval or public hearing

Dear Members of the Historical District Commission,

Please see the attached request for a hearing regarding the above mentioned project.

Our company has been hired by the owners of this structure to updated the interior of the structure including the heating and cooling systems and the areas of the home that have been neglected.

As these photos show the exterior of the home has an addition that was installed with vinyl siding on it that needs replacement and a bulkhead which has begun to rust away. The owners also wish to install new heating and cooling system to the home that requires outdoor heat pumps that will also be under review through the Portsmouth ZBA due to proximity to the property line.

We appreciate the opportunity for discussion related to this property so we may comfortably continue construction and rebuilding.

Thank you,

Kinnon Nolan-Finkel
Profile Homes of NH

Attached is the description for these documents which relative to the exterior improvements which include:

Siding
Roofing
Bulkhead
Heatpumps

Introduction:

The property is located in the CD4 zoning district within downtown.

The proposed improvements to the site consist of re-siding the building and replacing the current roofing. We will also be installing a chimney cap and will be replacing the old rusted-out bulkhead. Additionally, we will be installing new energy-efficient Mitsubishi heat-pumps which will be mounted on the exterior of the building.

SPECIFICATIONS:

Siding: The original wood siding on the addition at the back of the building has not been well maintained and is in need of replacement. We have elected to strip all layers of siding off the building and install a weather air barrier (WRB) against the sheathing. Clapboards will be painted to be a colonial shade of blue.

Trim details will be done in wood to match the existing or original on the structure and from the historical photo's made available.

Roofing: Current roof is old and in need of replacement. We will be installing architectural asphalt shingles.

Bulkhead: Current bulkhead is rusted-out and is in a state of disrepair. Our plan is to replace with a new black bulkhead.

Heat pumps: Our company has a long standing history of energy efficient improvements to historical and new construction buildings. In the method of the energy efficiency improvements to the air sealing and added insulation to the building we are seeking to allow owners of the building the rights to install Mitsubishi heat-pumps which will be installed on the exterior of the building.

Please note all photo's attached for representation and discussion

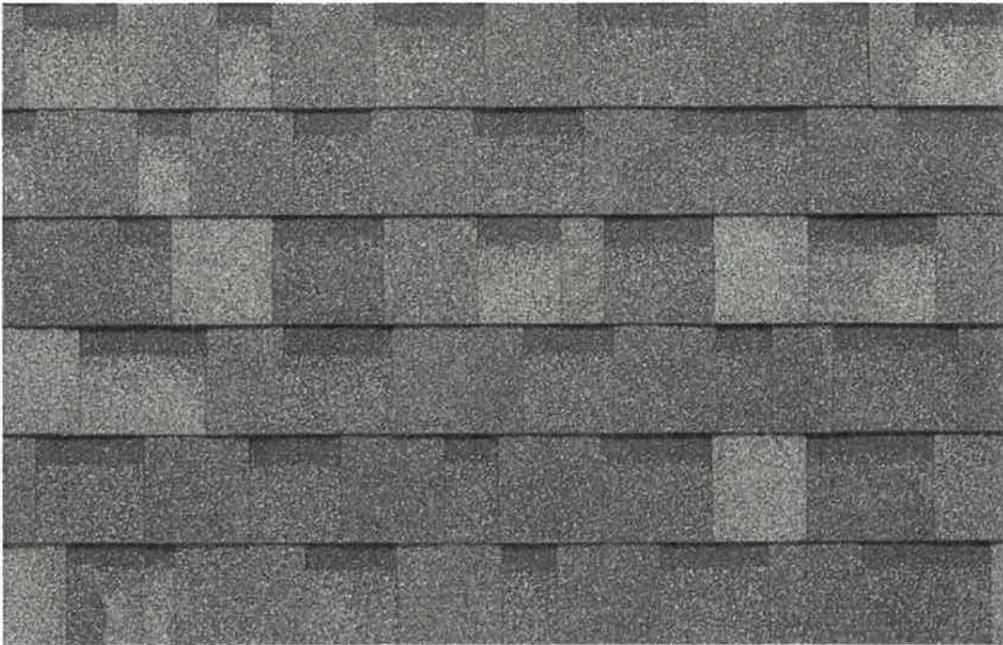
Thank you,

Kinnon Nolan-Finkel
Profile Homes

BULKHEAD:



ROOFING SHINGLE:



MITSUBISHI HEAT PUMP:



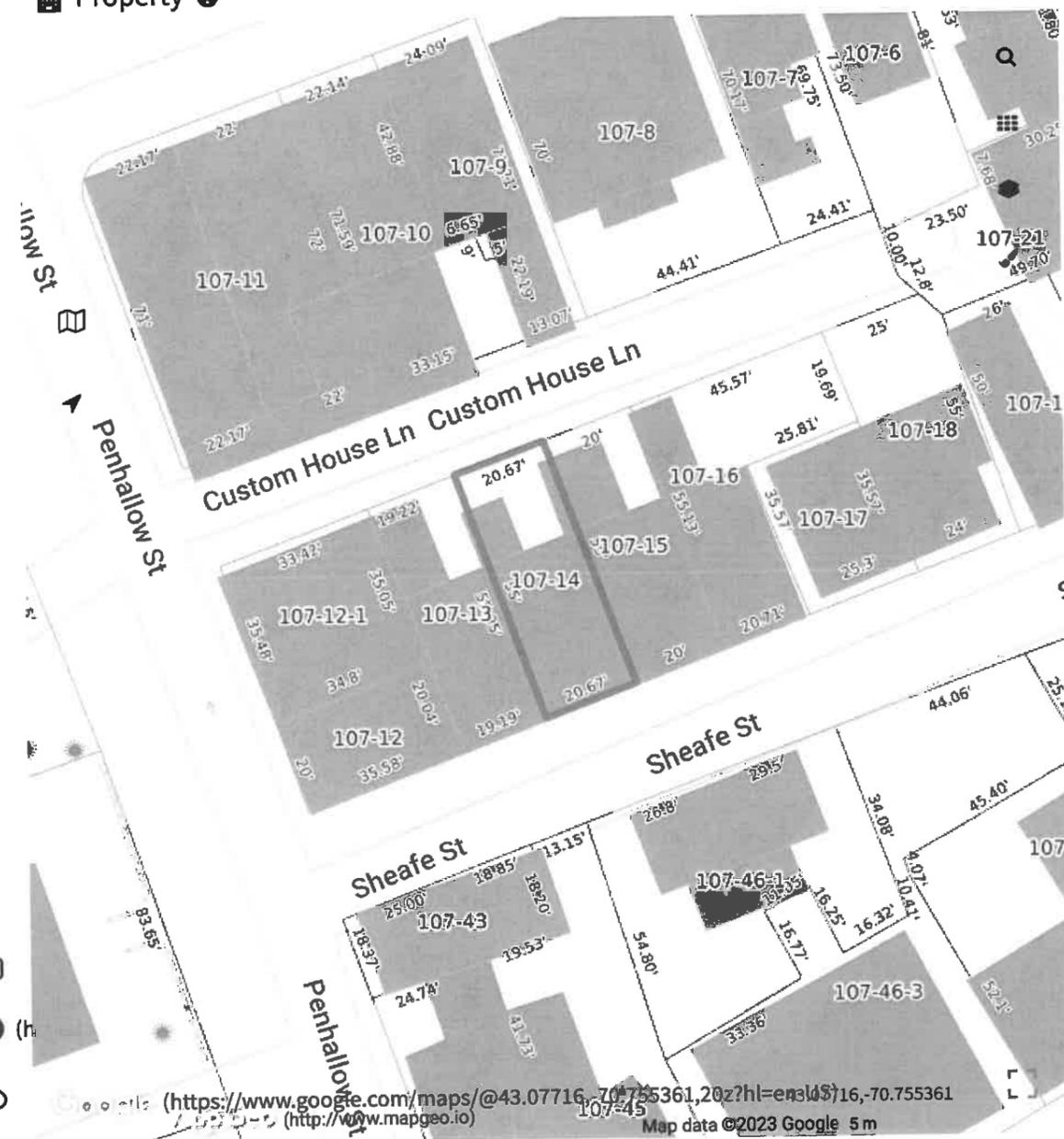
Existing Location:





City of Portsmouth, NH

Property ?



11 sheafe

Search

Advanced Search

Download Results More

Showing 1-1 results. Scroll to see more.

11 SHEAFE ST
NARCAJ ALEXANDER
0107-0014-0000

32

HVAC EXTERIOR
EQUIPMENT



FUS
FUS
BAS
UBM

8

4

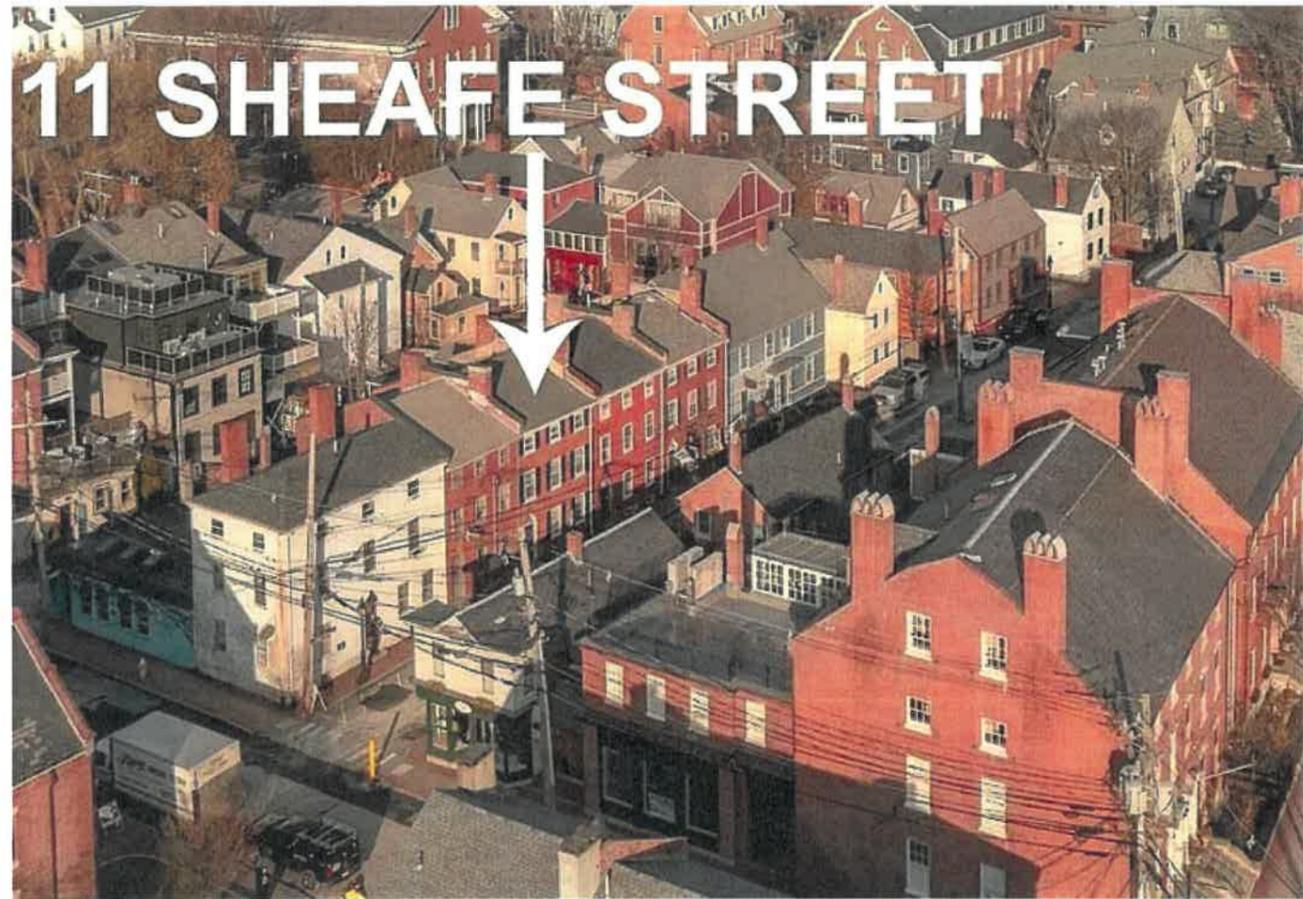
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16

12

BAS

10



2. 303 Pleasant Street - TBD

Background: The applicant is seeking approval for the removal and replacement of side entry stairs with new design.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-579

Submitted On: Feb 9, 2023

Applicant

 Mary Thomas
 603-969-3583
 sarmcmatt@gmail.com

Primary Location

303 PLEASANT ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Remove and replace badly detereorating exterior stairs at back of building facing Washington Street. These stairs are not original to the house and are crumbling from the inside. Contractor to excavate and pour new concrete slab upon which concrete block will be set to form the majority of the structure. The structure will receive a veneer of reproduction brick while the landing and stairs will be quarried granite. A cast iron hand railing in period appropriate shape will be made by local blacksmith Peter Happney.

Project Representatives

Relationship to Project	If you selected "Other", please state relationship to project.
Owner	--
Full Name (First and Last)	Business Name (if applicable)
Gregory Thomas	--
Mailing Address (Street)	City/Town
303 Pleasant St	Portsmouth
State	Zip Code
NH	03801
Phone	Email Address
603-319-7822	grthomas82@gmail.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

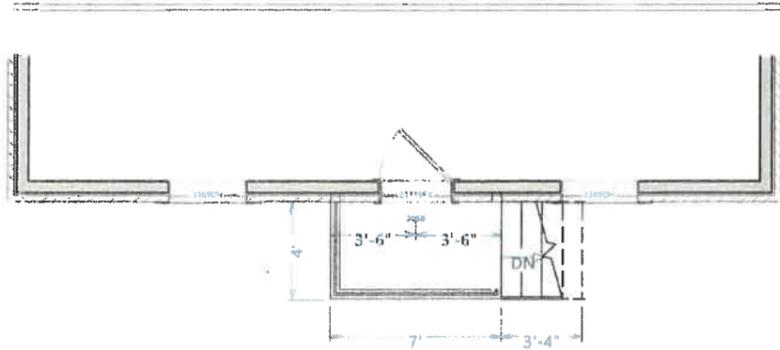
Owner of this property

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

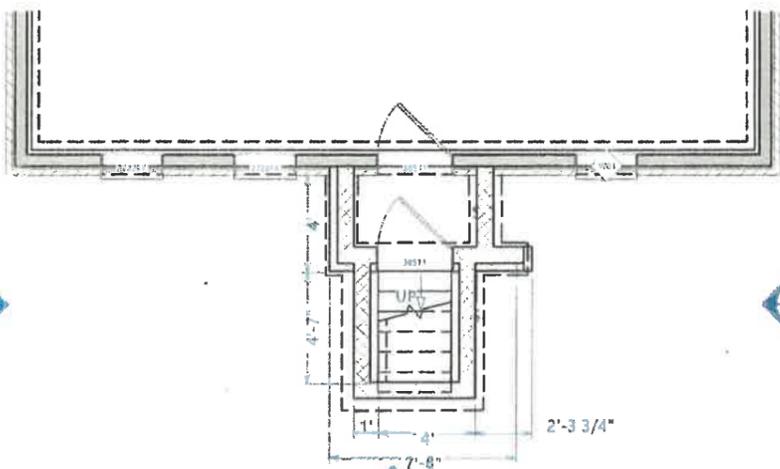
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FIRST FLOOR PLAN
1/2" = 1'-0"

WALL SCHEDULE		
3D SYMBOL	WALL TYPE	WALL CONSTRUCTION
	8" CMU (BLOCK) STEM WALL	GREY-BLOCKS RUNNING BOND - 8"
	8" CMU (BLOCK) STEM WALL W. BRICK VENEER	RED BRICK - 4", GREY-BLOCKS RUNNING BOND - 8"

WINDOW SCHEDULE						
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	DIMENSIONS	R/O	DESCRIPTION
	W01	2722FX	1	30 1/2"X36"FX	81 1/2"X27"	FIXED GLASS



FOUNDATION PLAN
1/2" = 1'-0"

Robert M. ...
 Professional Engineer
 State of ...
 License No. ...
 Exp. ...

DATE:
 2/2/2023
 SCALE:
 1/2" = 1'-0"
 SHEET:
A100



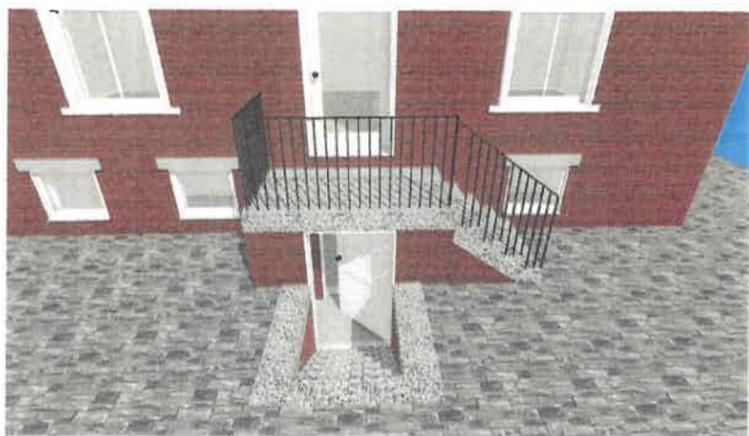
EXTERIOR 1



EXTERIOR 2



EXTERIOR 3



EXTERIOR 4

PROJECT: [REDACTED]
DATE: [REDACTED]
SCALE: [REDACTED]
SHEET: [REDACTED]
DATE: 2/2/2023
SCALE: 1/4" = 1'-0"
SHEET: A100

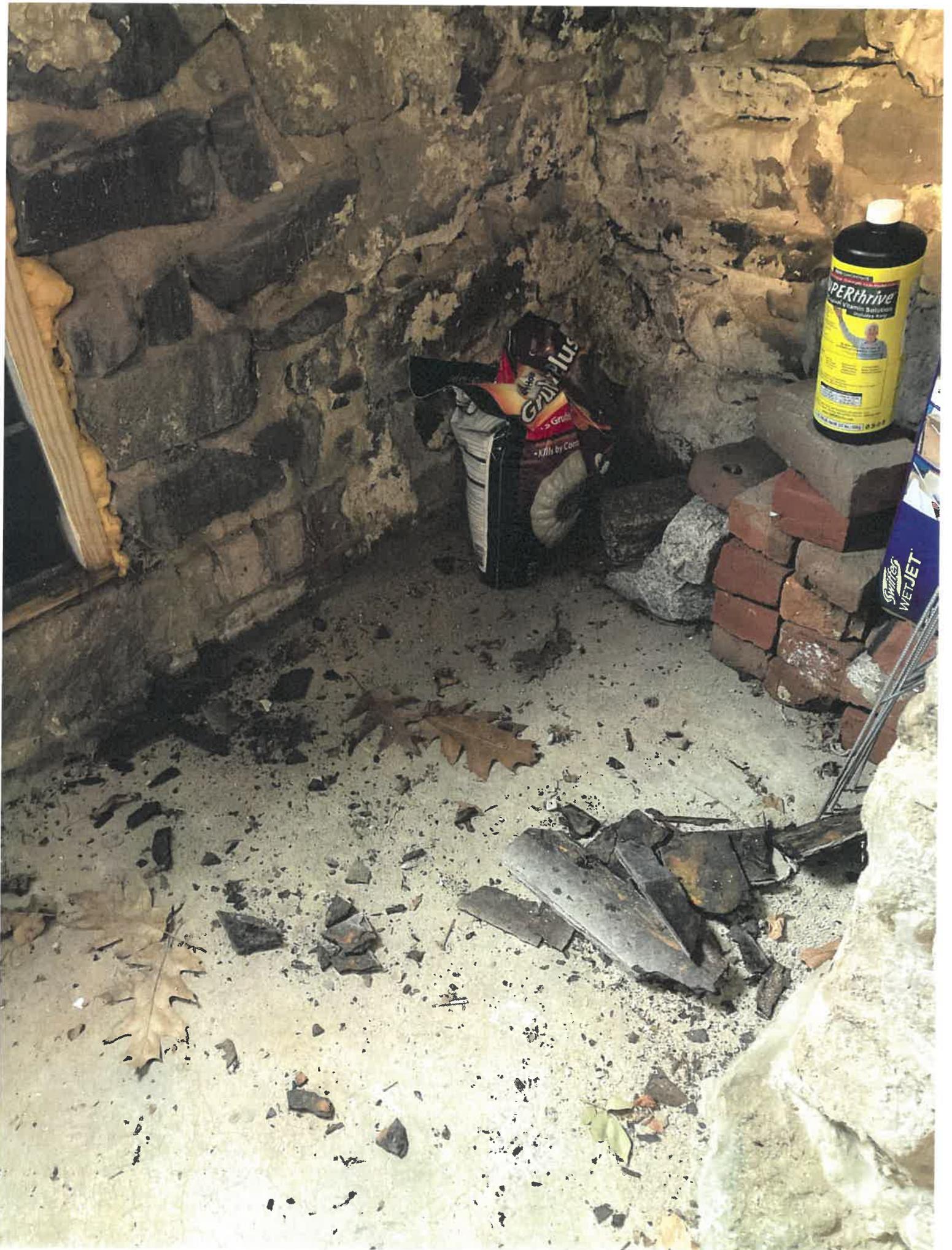


















3. 138 Gates Street - TBT

Background: The applicant is seeking approval for changes to a previously approved design (window location change).

Staff Comment: TBT

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work
Session or Administrative Approval
Application

Applicant

 Anne Whitney
 603-502-4387
 archwhit@aol.com

Primary Location

138 GATES ST
Portsmouth, NH 03801

LUHD-596

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Window locations on Right Side Elevation. At Existing Gable, B & D windows shift to 40" from corner & at Addition, E window shifts into 1/2 Bath. This project is part of LU-22-55 & BLDG-23-168.

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best
of my knowledge.

true

By checking this box, I agree that this is equivalent to a
handwritten signature and is binding for all purposes related to
this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship
to this project. Owner authorization is required.

Architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

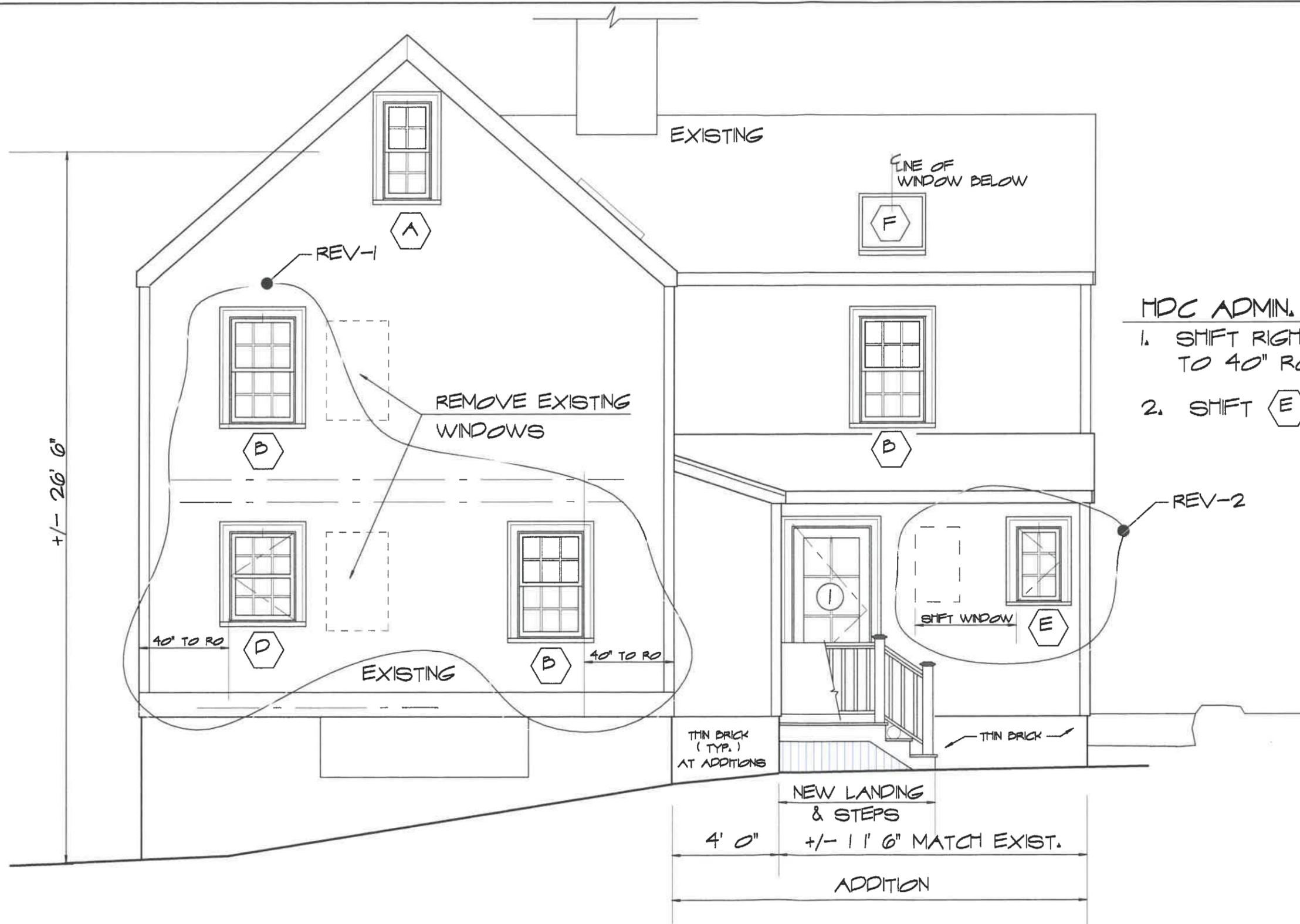
HDC Approval Date

--

Planning Staff Comments

--

RECEIVED
 MAR 29 2023
 By 1257



MDC ADMIN. APPROVAL

1. SHIFT RIGHT SIDE WINDOWS TO 40" RO FROM CORNERS
2. SHIFT (E) WINDOW INTO 1/2 BATH

RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION

ADDITIONS & RENOVATIONS, WESE RESIDENCE
 138 GATES STREET PORTSMOUTH, NH

801 Islington St, Suite 92
 Portsmouth, NH 03801
 603-562-4387
 archwhit@aol.com

AW

ANNE WHITNEY ARCHITECT

Project: 2109	Date: 2/22/23
Revisions: 3/21/23	A-5

4. 48 Manning Street

- TBT

Background: The applicant is seeking approval for the following changes as noted by the applicant:

1. Removal of aluminum storm windows and replacement with period style wood storm windows by Cooper historic windows in CT.
2. Removal of trellises in front and back of house.
3. Relocate plumbing roof vents with custom lead coated copper vent sleeves.
4. Remove skylight and replace with existing roof shingles.
5. Removal of the front and side fence to facilitate the excavation and waterproofing at the front stone foundation. The goal is to remedy water seepage issues in basement and to replace fence with a more period correct fence or the second option would be to have no fence and to create a period correct landscape.
5. Replacement or permanent removal of the metal gutters and downspouts. If replacement is required because of drainage issues, wood gutters and downspouts will be installed.
6. Condensers for HVAC to be installed in side yard.
7. Future installation of wood cedar roof.
8. Installation of new kitchen hood stove vent. The exterior will be covered with wood and painted to blend into clapboards.

Staff Comment: TBT

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-595

Submitted On: Mar 21, 2023

Applicant

 James Laverdiere
 978-314-6357
 @jim@bcasystems.com

Primary Location

48 MANNING ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

--

Project Information

Brief Description of Proposed Work

Exterior alterations-

1. Removal of aluminum storm windows and replacement with period style wood storm windows by Cooper historic windows in CT.
2. Removal of trellises in front and back of house.
3. Relocate plumbing roof vents with custom lead coated copper vent sleeves.
4. Remove skylight and replace with existing roof shingles.
5. Removal of the front and side fence to facilitate the excavation and water proofing at the front stone foundation. The goal is to remedy water seepage issues in basement and to replace fence with a more period correct fence or the second option would be to have no fence and to create a period correct landscape.
5. Replacement or permanent removal of the metal gutters and downspouts. If replacement is required because of drainage issues, wood gutters and downspouts will be installed.
6. Condensers for HVAC to be installed in side yard.
7. Future installation of wood cedar roof.
8. Installation of new kitchen hood stove vent. Exterior will be covered with wood and painted to blend into clapboards.

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am
Owner of this property

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

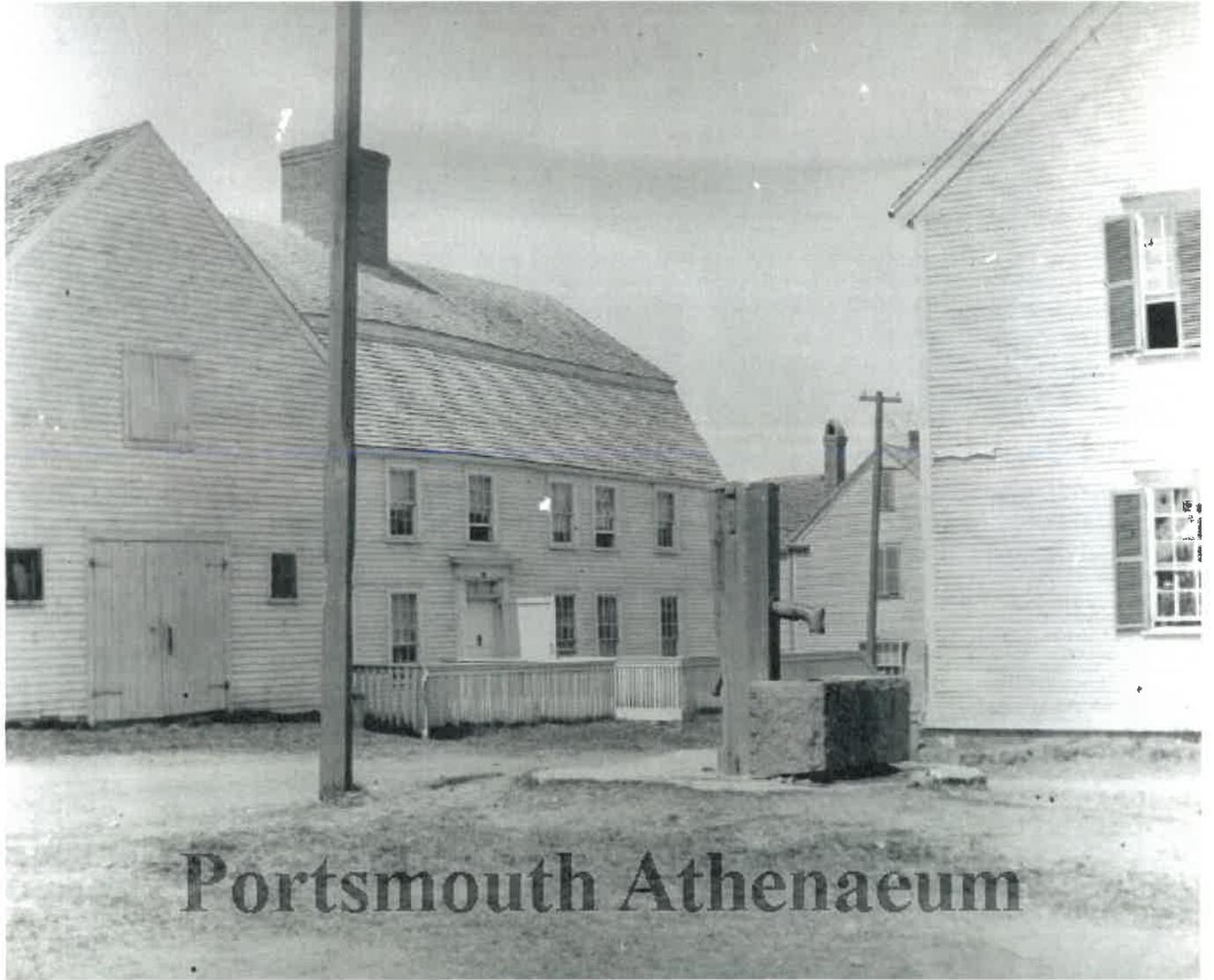
--

HDC Approval Date

--



48 Manning Street with no fence.



48 Manning Street with capped spaced board fence.



Future area for HVAC condensers. Left side of house.



The fence on Howard Street is heavily rotted.
Would like to remove it.



Would like to remove this skylight.



Closeup picture of the existing skylight.



Would like to remove this rubber plumbing roof vent with custom lead coated copper vents.



This is the lead coated copper roof vent.



Would like to remove this fence on Howard Street.



View of old aluminum storm windows.



This is a photo of the wood storm I will be installing.



Would like to remove these old aluminum storm windows and replace them with period wood storm windows.



Would like to remove these drainpipes and excavate a new underground drainage pipe with crushed stone and rubber membrane under the surface.



and

Corner of Howard and Manning Street fence.



Would like to remove this fence.



Front section of fence we would like to remove.



Would like to remove this front trellis.



Would like to remove this rear trellis.









5. 93 Pleasant Street - TBT

Background: The applicant is submitted the documentation plan and construction detail for the stone wall at the site as requested by the Commission.

Staff Comment: TBT

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-597

Applicant

 Tracy Kozak
 603-731-5187
@ tracyskozak@gmail.com

Primary Location

93 PLEASANT ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Documentation Plan and Construction Detail for stone wall as stipulated with 3/1/23 approval; and substitute Pella windows for the previously approved Kolbe windows.

Project Representatives

Relationship to Project	If you selected "Other", please state relationship to project.
Architect	--
Full Name (First and Last)	Business Name (if applicable)
tracy kozak	Arcove llc
Mailing Address (Street)	City/Town
1 Congress St	Portsmouth
State	Zip Code
NH	03801
Phone	Email Address
603.731.5187	tracy.kozak@arcove.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

architect

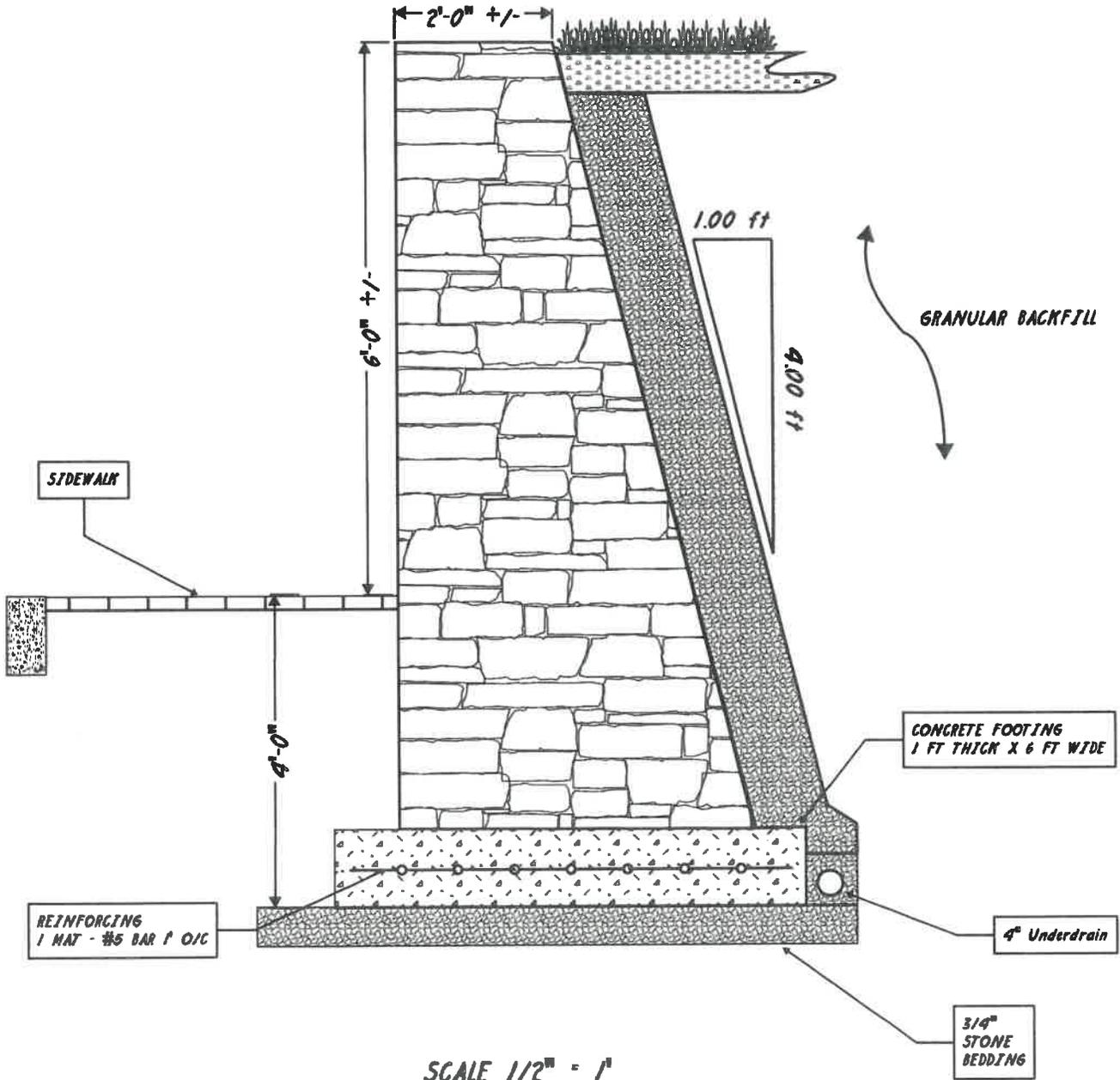


93 Pleasant Street

Administrative Approval Application
Historic District Commission
March 24, 2023

Scope of work:

1. As stipulated upon approval of application to rebuild the stone wall at the March 1, 2023 meeting, enclosed is the ***Documentation Plan*** and ***Construction Detail***.
2. At new addition only, request to use ***Pella-Architectural Series windows*** (aluminum clad wood) in lieu of the originally approved Kolbe-Fogent series windows (fiberglass clad wood). There is no change to the previously approved sizes, operability, details or configurations. There is no change to the previously approved plan to restore existing windows in the historic mansion. The reason for this change is to eliminate the affixed window screens – the Pella windows have integral concealed roll-up screens.



RETAINING WALL DETAIL

93 PLEASANT ST. PORTSMOUTH, NH

3/22/2023

SEVERINO

EXCAVATION CONTRACTOR

P.O. Box 202
 512 Raymond Road
 Candia, NH 03034

Office: 603-483-2133
 Fax: 603-483-2998
 www.severinotrucking.com



P.O. Box 202
Phone: 603-483-2133

www.severinotrucking.com

Candia, NH 03034
Fax: 603-483-2998

Retaining Wall Removal And Reconstruction Procedure

Removal

1. Document the wall by taking measurements and pictures.
2. Remove the sidewalk and curb in front of the wall.
3. Excavate 3' of dirt behind the wall. Continue excavation after each 3' elevation of wall has been removed.
4. Remove each face stone individually and number the back of the stone. Each stone will be catalogued and referenced to the corresponding photo.
5. Stones will be palletized and wrapped in black plastic.
6. Pallets will be transported to our Dover, NH yard and stored in a secured area encompassed by jersey barrier for safe keeping.

Reconstruction

1. A 1' thick x 6' wide concrete footing will be placed the length of the wall. This will be reinforced with a single mat of #5 bar tied 1' on center. This footing will sit on 6" of $\frac{3}{4}$ " stone.
2. Since we are embedding the wall deeper and battering the bottom wider than originally constructed to achieve structural integrity, imported rock will be used below grade and on the backside. The face above grade and top of the wall will be replaced in kind.
3. An underdrain will be installed at the base of the wall. A 1' wide lens of $\frac{3}{4}$ " stone will extend vertically behind the wall. A layer of geotextile will separate the stone and the granular backfill beyond.
4. Once the base of the wall is back to grade and backfilled, pallets will be brought back in reverse sequential order. Layout will be verified, and stones will be placed by referencing the photos and catalog.
5. The face rock will be dry set to replicate existing conditions. The rock behind the face will be set in mortar to enhance the rigidity of the wall.

EXCAVATING CONTRACTOR

Pella® Reserve™

Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- Historical details**
 Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve - Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**
 Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural interest**
 Featuring the industry's only foam spacer solution, Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles – providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**
 If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
 From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**
 Winner of the 2019 Most Innovative Window from Window and Door Magazine, the Integrated Rolscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window, and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**
 To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified¹**
 Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.
- Best limited lifetime warranty²**
 Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.²

Available in these window and patio door styles:



Special shape windows also available.

^{1,2} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-3/4"	13-3/4"	59"	59"	LC40-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Awning	17"	17"	53"	29"	R45-CW50	0.28-0.32	0.18-0.47	27-30	Pocket Replacement
Casement	13-3/4"	13-3/4"	47"	108"	R35-CW50	0.25-0.29	0.18-0.47	27-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Casement	17"	17"	35"	73"	R35-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Fixed Casement	10"	10"	144"	144"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Fixed Casement	17"	17"	59"	73"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Double-Hung	14"	24-3/8"	48"	96"	CW30-CW50	0.25-0.30	0.19-0.53	28-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-1/2"	23-3/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement

Extruded Aluminum-Clad Exterior Colors:

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.*



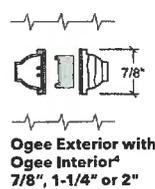
Custom colors are also available.



Grilles

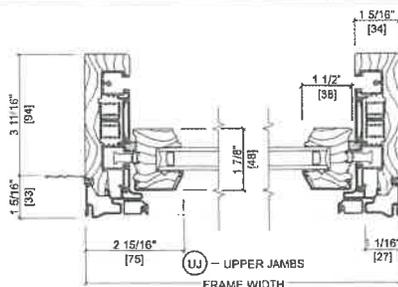
Integral Light Technology*

Choose the look of true divided light featuring the industry's only foam spacer.



Cross Sections

Cross Sections



Optional Fold-out Installation Fin

The double-hung cross sections provide visual reference to the historic putty exterior profile and traditional, beveled Ogee interior that add architectural interest to your project.

* See back cover for disclosures.

6. 303 Pleasant Street

- TBT

Background: The applicant is seeking blanket approval for Historic Marker/Plaque designs.

Staff Comment: TBT

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-599

Submitted On: Mar 29, 2023

Applicant

 Mary Thomas
 603-969-3583
 sarmcmatt@gmail.com

Primary Location

303 PLEASANT ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

throughout the city

Project Information

Brief Description of Proposed Work

This is a proposal to make historic house plaque signs available to all residents of the city. A committee has been formed to explore this idea and is proposing a design in two (2) sizes for HDC approval. This design is quite similar to one that was previously approved around 2018.

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Owner of this property

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

I am one of several people who have been working on this project. Others include representatives from the Citywide Neighborhood Committee, Portsmouth NH 400, Inc., the Athenaeum, and Portsmouth Advocates/ Portsmouth Historical Society. s

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--



Documents related to application for Administrative
Approval, # LUHD - 599

historic house plaques

submitted by Mary Thomas
sarmcmatt@gmail.com

Details regarding the proposed historic house plaques to be offered to residents of Portsmouth:

material: 5/4" clear western red cedar

shape: rectangle with bumped-up slope on upper side

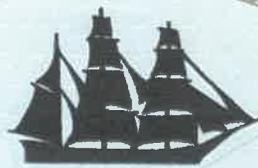
sizes: 9" x 11.25" and 11.25" x 16"

finish: primed and painted white (exterior paint) with black hand-painted lettering and clear seal coat

center ship design: inspired by the city's rich shipbuilding legacy, the design is meant to evoke the silhouette of historic frigates built in Portsmouth like *Ranger* and *Raleigh*, the latter being represented on NH's state seal and state flag

*The non-profit group Portsmouth NH 400th, Inc. is supporting this plaque program through the remainder of 2023 to help commemorate the city's settlement in 1623. In 2024 and beyond, the plaques will no longer include their info at the bottom.

9" x 11.25"



ROBERT M. SMITH

C. 1821

1623 ♦ HISTORY LIGHTS OUR WAY ♦ 2023

PORTSMOUTH NH 400TH ♦ PORTSMOUTH ADVOCATES

11.25" x 16"



ROBERT M. SMITH

C. 1821

1623 ♦ HISTORY LIGHTS OUR WAY ♦ 2023

PORTSMOUTH NH 400TH ♦ PORTSMOUTH ADVOCATES

7. 45 Market Street

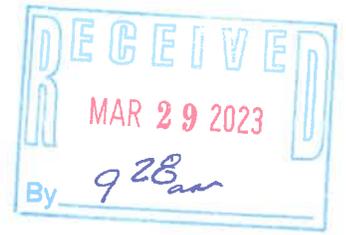
- TBT

Background: The applicant is seeking approval for changes to a previously approved design (change (2) door designs).

Staff Comment: TBT

Stipulations:

1. _____
2. _____
3. _____



45 Market Street Door (TMS)

Shannon Alther, AIA <pod1@tms-architects.com>

Fri 3/17/2023 7:55 AM

To: igilbo@cityofportsmouth.com <igilbo@cityofportsmouth.com>; Nicholas J. Cracknell <njcracknell@cityofportsmouth.com>
Cc: Shannon Alther, AIA <pod1@tms-architects.com>

📎 1 attachments (2 MB)

2023-3-17 For Nick's Comment TMS.pdf;

Nick,

I had tried to connect up a few times on the possibility of changing the two doors from full lite to one 3/4 lite and one solid door on 45 Market.

The change would mirror the doors at 41-43.

Can you comment if this is acceptable or needs to go to HDC for review?

Thanks

Shannon Alther, AIA

Principal

shannon@tms-architects.com

TMS Architects / Interiors

one cate street portsmouth, nh

p: 603.436.4274

www.tmsarchitects.com

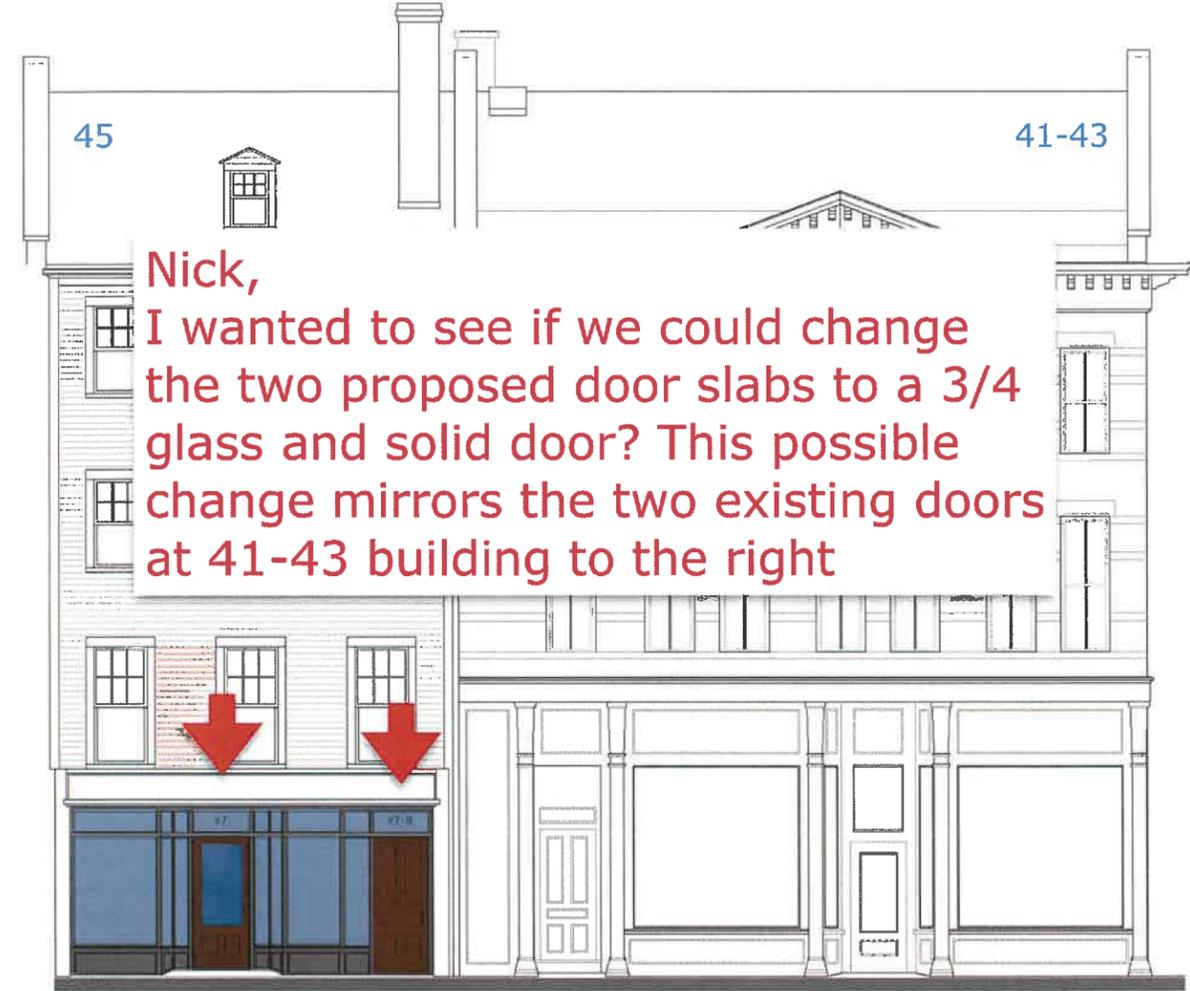
45 Market Street

Portsmouth NH

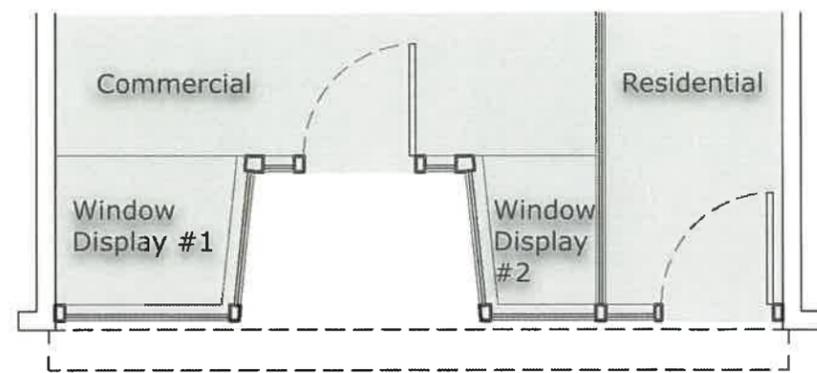
Door Slab Change Prior to Any Admin Approval



Market Street: **Approved**

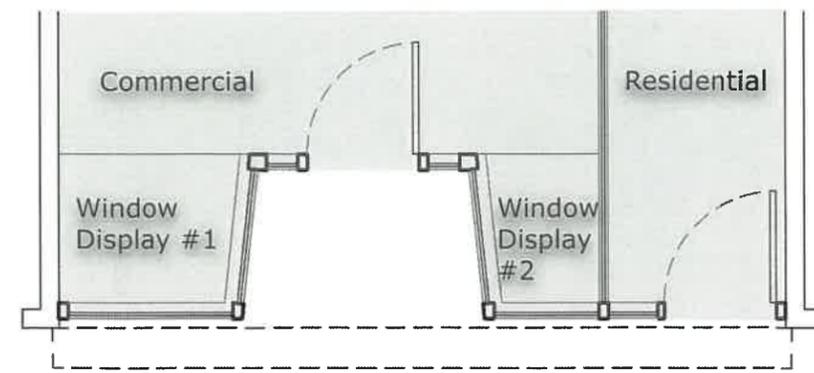


Market Street: **Door Change**



- Mimics earliest plan layout from records
- Wood Storefront System (Mahogany) & Double Pane Glass
- 2 Doors
 - 1 Commercial
 - 1 Residential

45 Market Storefront: **Black Paint**



- Mimics earliest plan layout from records
- Wood Storefront System (Mahogany) & Double Pane Glass
- 2 Doors
 - 1 Commercial
 - 1 Residential

45 Market Storefront: **Black Paint**

9-18-2020

TMS
architects
interiors

8. 237 Islington Street, Unit 2 - TBD

Background: The applicant is seeking approval to change a fixed pane window to an awning window.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-583

Submitted On: Feb 19, 2023

Applicant

 Linda Henry
 603-969-6840
@ linda.e.henry@comcast.net

Primary Location

235 ISLINGTON ST
Unit 237
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

replace front windows

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

window replacement

Full Name (First and Last)

Granite State Glass

Business Name (if applicable)

--

Mailing Address (Street)

1 Mirona Road

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603-373-6539

Email Address

--

Relationship to Project

--

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

--

Business Name (if applicable)

--

Mailing Address (Street)

--

City/Town

--

State

--

Zip Code

--

Phone

--

Email Address

--





WINDOWS: 250TB-PROJECT OUT VENTS

325TB-S/H SINGLE HUNG

325TB-D/H-DOUBLE HUNG

325TB-S/W-SLIDING WINDOWS

325TB-FIXED-STATIONARY

325TB-ACCESSORIES

250TB-PROJECT IN VENTS

250TB-PROJECT OUT VENTS

250TB-CAS-CASEMENTS

250TB-FIXED-STATIONARY

250TB-ACCESSORIES

Our #250TB-OUT Series Project-Out Windows offer top hinged project out vents. 2-1/2" depth. Full thermally broken frames and sashes to help thermal improvement yet keeping the strength of a heavy commercially rated product.

All Project-Out Vents are set up for 1" insulated glass for various specifications with alternate interior and exterior grids. Glass is set with a tape set "wet" exterior and a snap in glazing bead with a neoprene gasket.

AAMA rated HC-90. Structural & thermal test reports are available upon request.

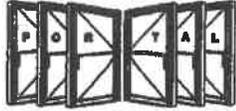
All Projected Windows are available in various painted finishes as well as clear and bronze anodized.

All Project-Out Vents are available with various operating hardware such as four-bar hinges, cam handles, pushbars, center crank roto operators, etc.

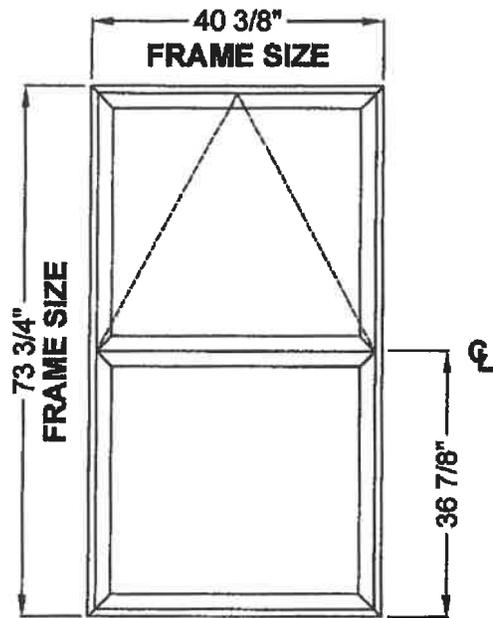
Our Projected windows have various exterior panning, nail fins, interior trim and receptor systems available upon request.

Our #250TB Series are also available in project in, casement and stationary window versions.

View/Print PDF file:



PORTAL INC.
10 TRACY DRIVE- AVON, MA. 02322

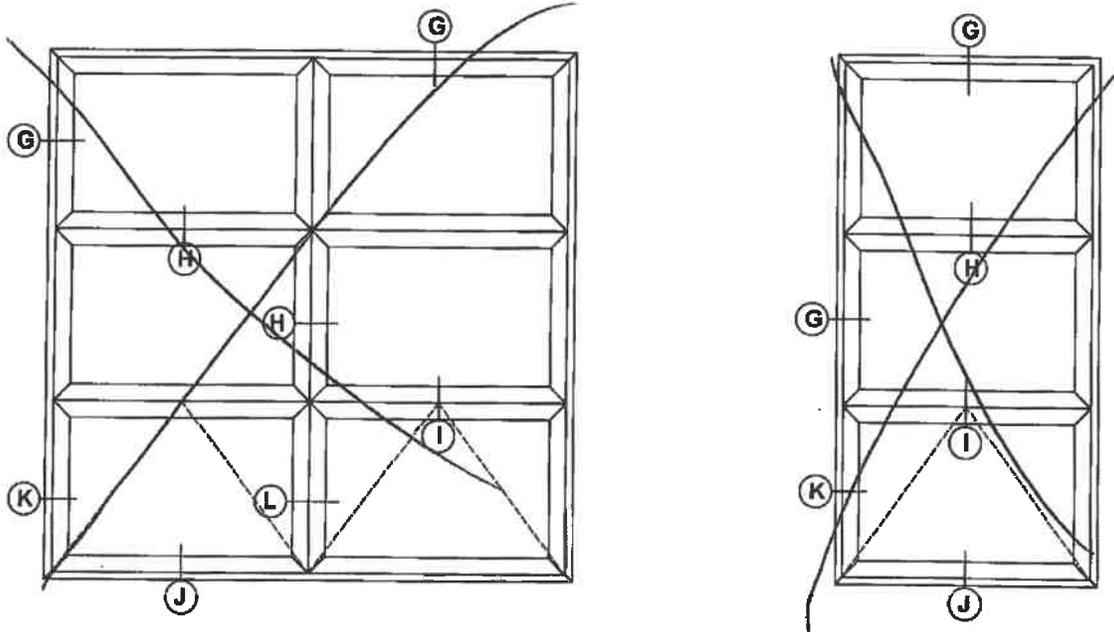


(1-REQ'D.)

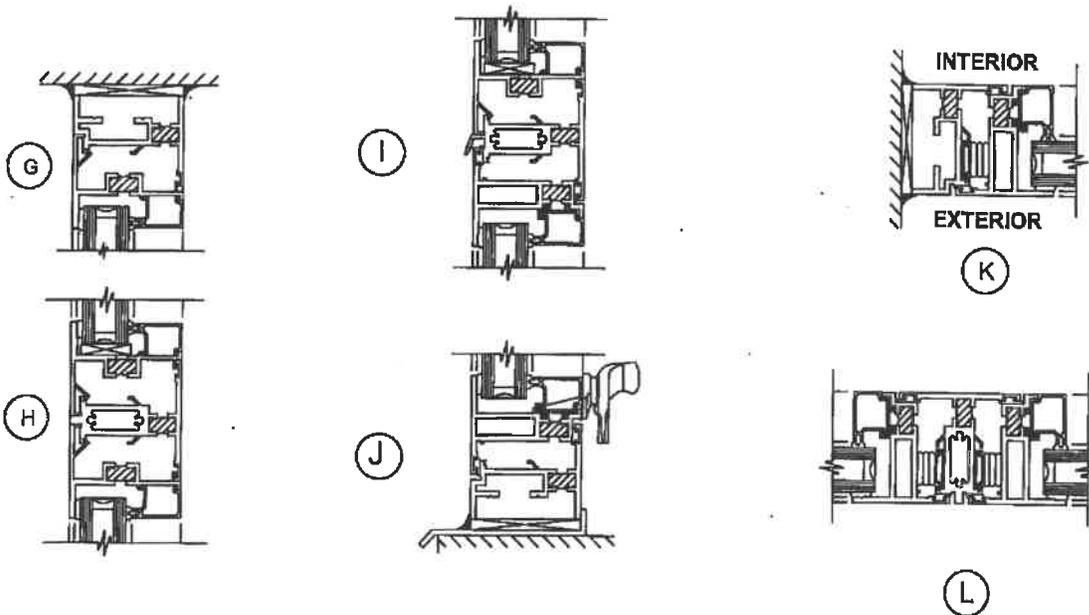


PORTAL INC.
10 TRACY DRIVE- AVON, MA. 02322

SERIES
250TB
quarter size details



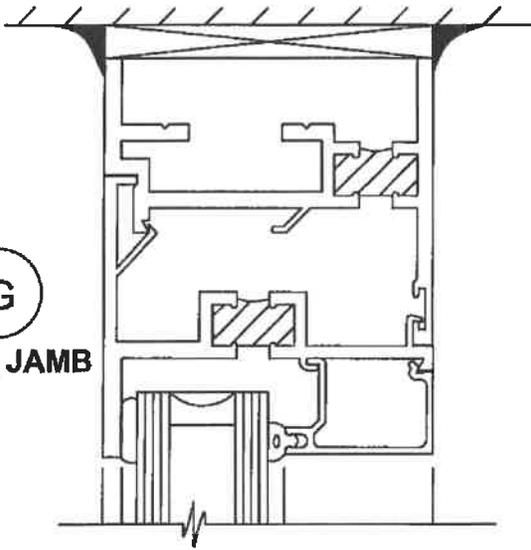
PROJECT-OUT WINDOWS



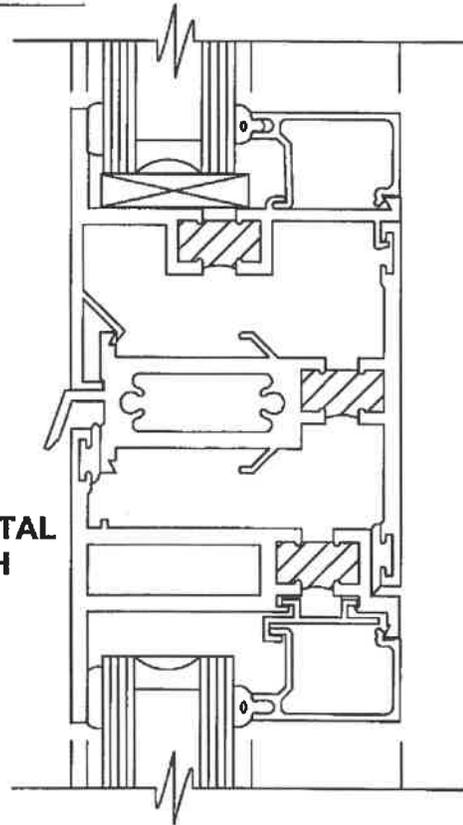


PROJECT-OUT WINDOWS

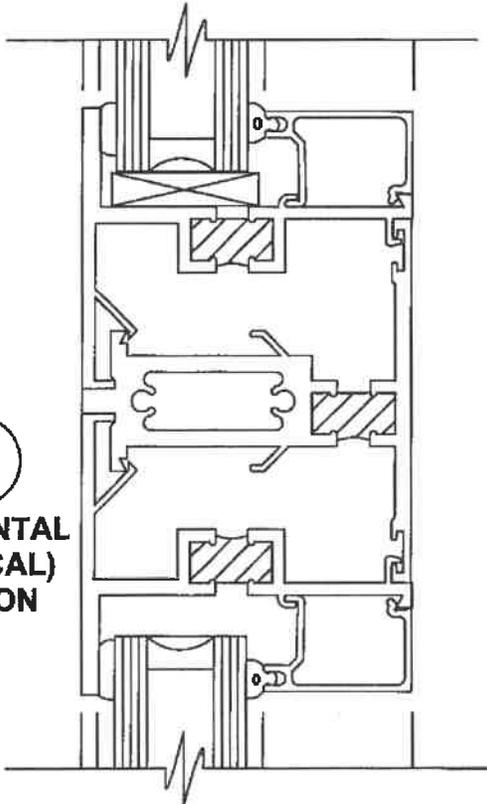
G
HEAD / JAMB



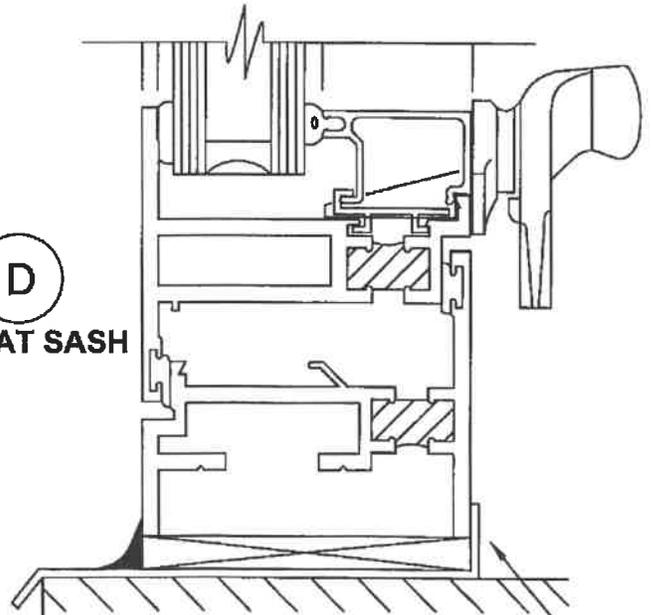
I
HORIZONTAL
AT SASH



H
HORIZONTAL
(VERTICAL)
MULLION



D
SILL AT SASH

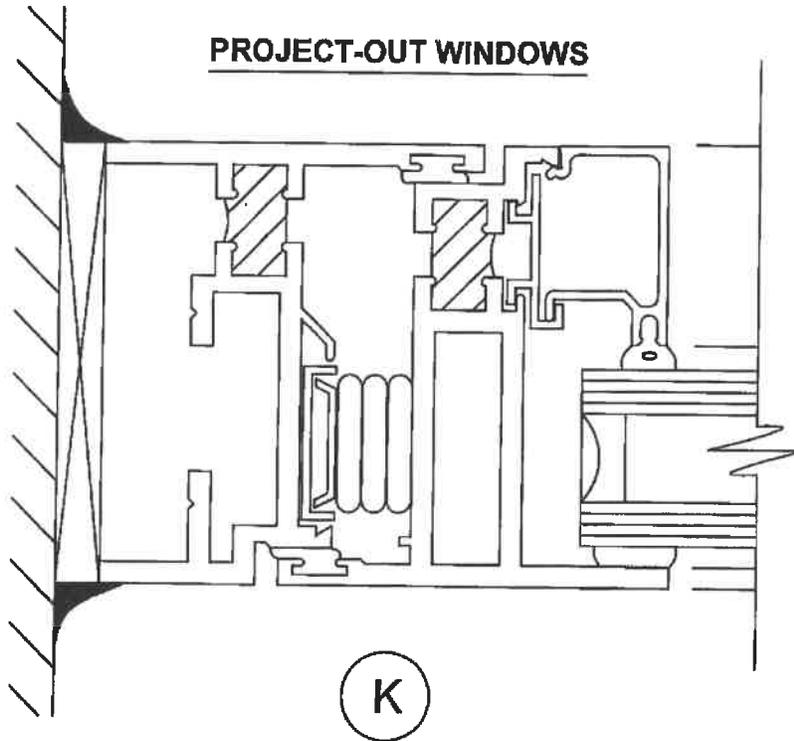


RECOMMENDED SILL FLASHING.

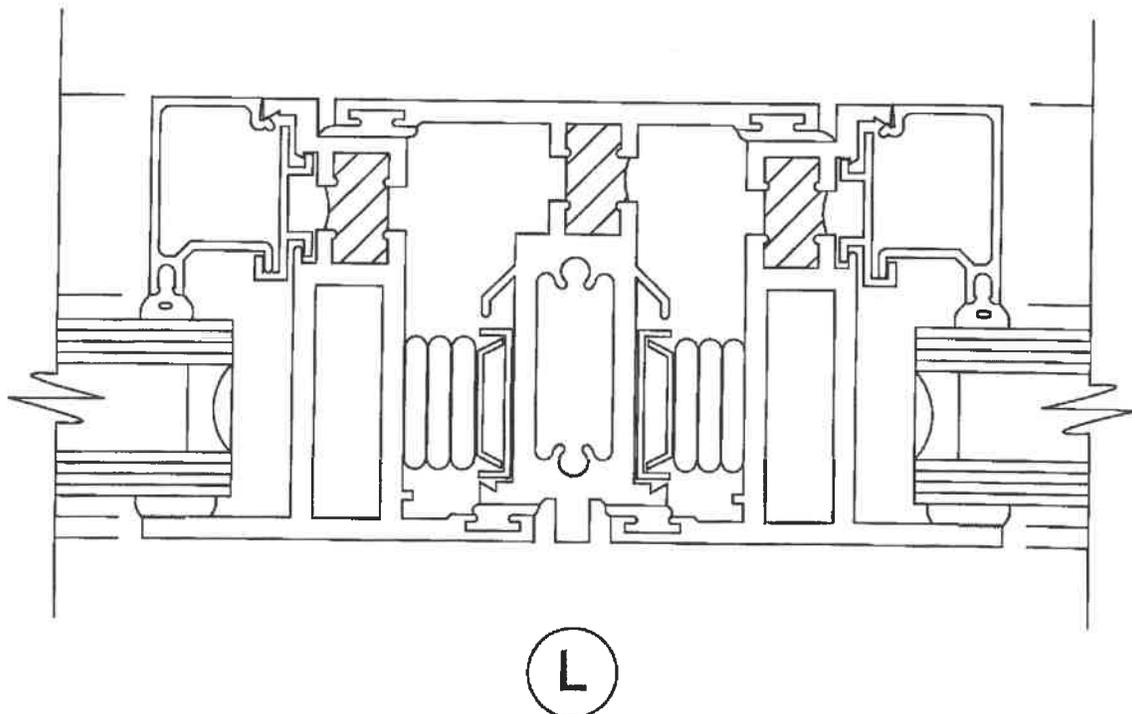


PORTAL INC.
10 TRACY DRIVE- AVON, MA. 02322

SERIES
250TB
full size detail:



JAMB AT SASH



VERTICAL MULLION BETWEEN SASHES

Historic District Commission

Staff Report – April 5th, 2023

April 5th MEETING

Administrative Approvals:

1. 11 Sheafe St. (LUHD - 550) - Request to Postpone
2. 60 Penhallow St. (LUHD – 578) - TBD
3. 303 Pleasant St. (LUHD – 579) - TBD
4. 138 Gates St. (LUHD-596) - TBD
5. 48 Manning St. (LUHD –595) - TBD
6. 93 Pleasant St. (LUHD-597) - TBD
7. 303 Pleasant St. (LUHD – 599) - TBD
8. 45 Market St. (LUHD –) - Recommend for Approval

WORK SESSIONS – OLD BUSINESS:

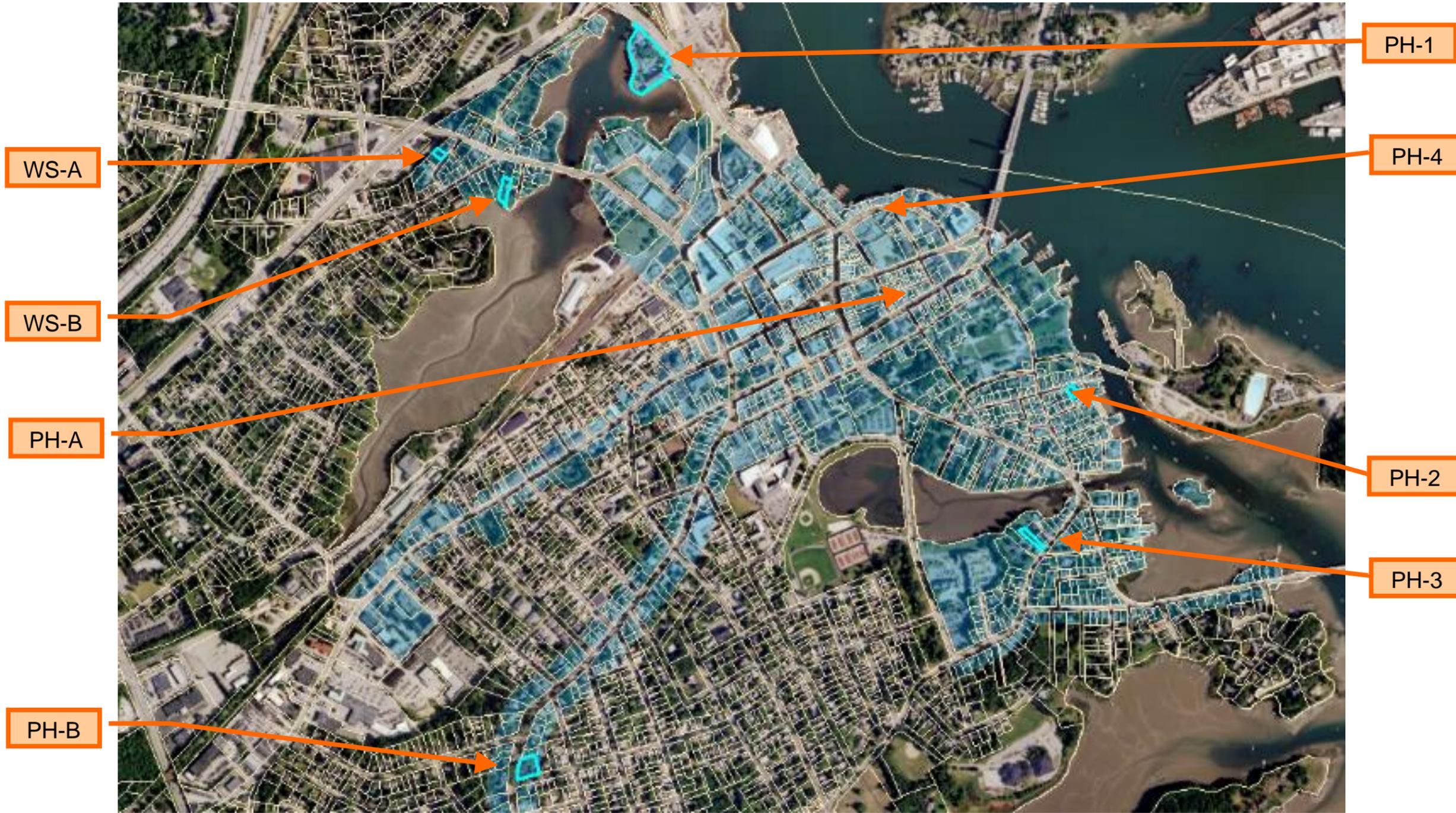
- A. 37 Prospect Street (LUHD-563) (additions)
- B. 39 Dearborn Street (LUHD-568) (addition)

PUBLIC HEARINGS – NEW BUSINESS:

1. 500 Market St. (LU-23-34) (replace decks)
2. 1 Walton Alley (LU-23-14) (new windows)
3. 105 South St. (LU-23-38) (solar panels)

PUBLIC HEARINGS – OLD BUSINESS:

- A. 129 State St. (LU-22-78) (parapet wall)
- B. 765 Middle St. (LU-22-196) (carriage house)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: April 5th
APPLICATIONS: 15

Historic District Commission

Project Address: 37 PROSPECT ST. (LUHD-563)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #A

A. Property Information - General:

Existing Conditions:

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 5,230 SF +/-
- Estimated Age of Structure: c.1790
- Building Style: Colonial
- Number of Stories: 2
- Historical Significance: Contributing
- Public View of Proposed Work: View from Prospect Street
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To construct a 1st and 2nd floor addition.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Prospect Street in the Christian Shore neighborhood. It is surrounded with many contributing historic structures on a narrow street with buildings along the street with no front yard setbacks, shallow side yards and deeper rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

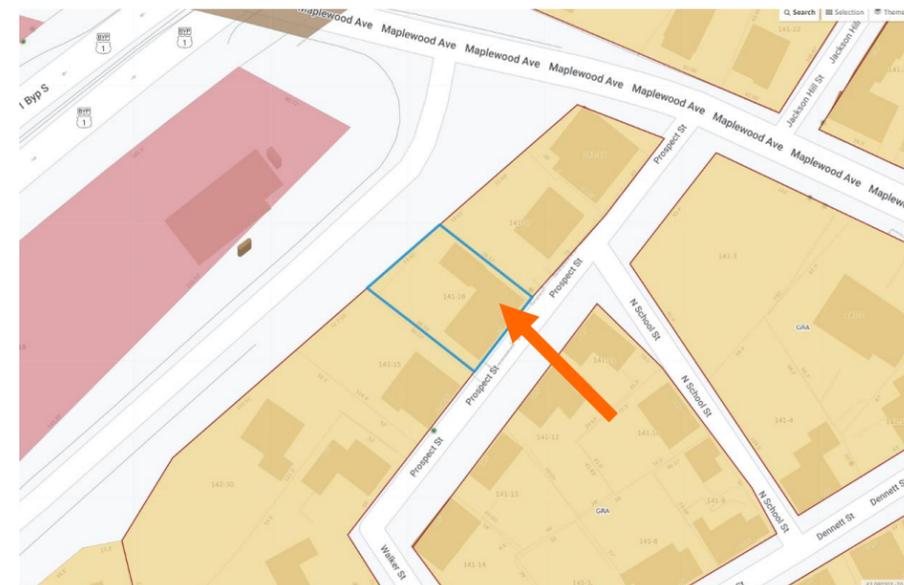
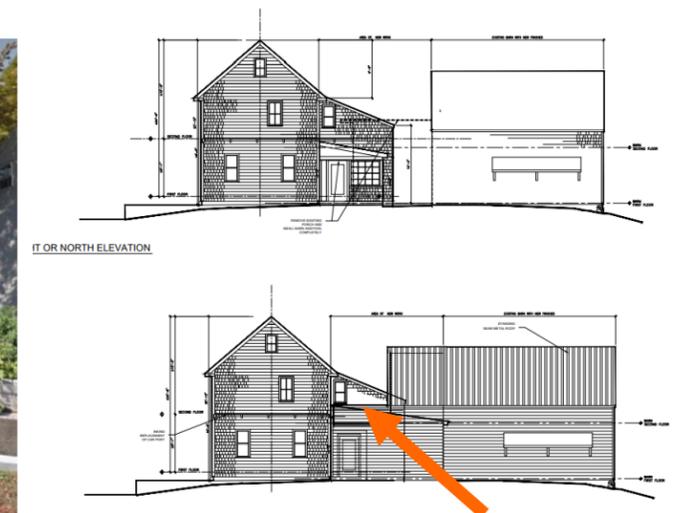
- The applicant is proposing to:
 - Add a 2-story rear addition with a roof deck.
 - **Note, the applicant has requested to postpone this application to the May meeting.**

• Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, stoops and Decks (06) & Windows and Doors (08)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

37 PROSPECT STREET (LUHD-563) – WORK SESSION #A (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<h3 style="margin: 0;">MODERATE PROJECT</h3> <h4 style="margin: 0;">- ADD 1ST AND 2ND FLOOR ADDITIONS -</h4>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 37 PROSPECT ST. Case No.: A Date: 4-5-23

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 39 DEARBORN LANE (LUHD-568)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSIONS #B

A. Property Information - General:

Existing Conditions:

- Zoning District: GRA
- Land Use: Single-Family
- Land Area: 11,600 SF +/-
- Estimated Age of Structure: c.1800
- Building Style: NA
- Historical Significance: NA
- Public View of Proposed Work: View from Dearborn Street
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To replace add a connector with an addition.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Dearborn Lane off of Dearborn Street. It is surrounded with many wood-frame 2.5 story structures with little to no setbacks from the sidewalk.

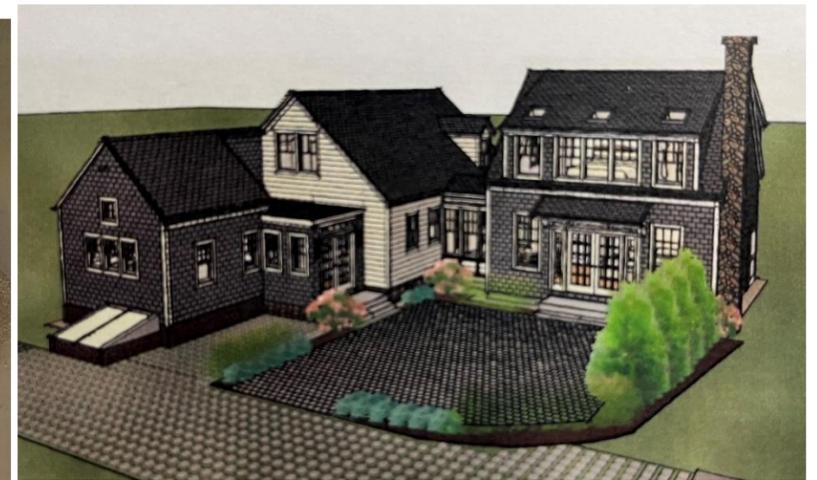
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add a new connector building and addition;
- Expending a section of the kitchen.
- **Note that the applicant has modified the proposed a variety of designs to attach a proposed connector building to a new larger addition. The applicant also received a variance from the BOA for the proposed project.**

Design Guideline Reference – Guidelines for Roofing (04), Exterior Woodwork (05), Porches, stoops and Decks (06) & Windows and Doors (08)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

39 DEARBORN LANE – WORK SESSION #B (MODERATE PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT										
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)									
STAFF	No.														
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)												
	1	Gross Floor Area (SF)													
	2	Floor Area Ratio (GFA/ Lot Area)													
	3	Building Height / Street-Width Ratio													
	4	Building Height – Zoning (Feet)													
	5	Building Height – Street Wall / Cornice (Feet)													
	6	Number of Stories													
7	Building Coverage (% Building on the Lot)														
		PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS		HDC SUGGESTIONS									
HISTORIC DISTRICT COMMISSION MEMBERS		CONTEXT		MODERATE PROJECT											
				– Modify Cape to Add a Connector Building & Addition –											
HISTORIC DISTRICT COMMISSION MEMBERS		BUILDING DESIGN & MATERIALS		<p style="font-size: 24px; margin: 0;">MODERATE PROJECT</p> <p style="font-size: 18px; margin: 0;">– Modify Cape to Add a Connector Building & Addition –</p>											
								SITE DESIGN							
										8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
										40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 39 DEARBORN STREET Case No.: B Date: 4-5-23

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 500 MARKET STREET (LU-23-34)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Mixed-Use
- Land Area: 102,680 SF +/-
- Estimated Age of Structure: c. 1982
- Building Style: Classical Revival
- Historical Significance: C
- Public View of Proposed Work: View from Market Street
- Unique Features: NA
- Neighborhood Association: Nobles Island

B. Proposed Work: Replace rear decks.

C. Other Permits Required:

- Board of Adjustment
- Planning Board
- City Council
- Condo Association
- Abutting Property Owner

D. Lot Location:

- Terminal Vista
- Gateway
- Mid-Block
- Intersection / Corner Lot
- Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal
- Accessory
- Demolition

F. Sensitivity of Context:

- Highly Sensitive
- Sensitive
- Low Sensitivity
- "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The buildings are located along Market Street along the North Mill Pond. It's surrounded with many brick 2.5 story structures with shallow setbacks and an internal parking lot area.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Replace the rear decks with a pier-supported structural system.
- The concrete piers will be located beneath the deck and, as requested, a specification sheet has been provided by the applicant.

Note that this project was approved in 2020 but the approval has expired.

• Design Guideline Reference: Guidelines for Porches, Stoops and Decks (06)

K. Aerial Image, Street View and Zoning Map:



Rear Decks and Aerial View Image



Zoning Map

HISTORIC SURVEY RATING

C

500 MARKET STREET (LU-23-34) – PUBLIC HEARING #1 (MINOR)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
1	Gross Floor Area (SF)		MINOR PROJECT – Replace Rear Decks –			
2	Floor Area Ratio (GFA/ Lot Area)					
3	Building Height / Street-Width Ratio					
4	Building Height – Zoning (Feet)					
5	Building Height – Street Wall / Cornice (Feet)					
6	Number of Stories					
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
27		Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
28		Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
29		Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
30		Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 500 MARKET STREET Case No.: 1 Date: 4-5-23
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 1 WALTON ALLEY (LU-23-39)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 5,663 SF +/-
- Estimated Age of Structure: c.1790
- Building Style: Georgian/ Federal
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Walton Alley
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To add new windows and replace windows.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This focal historic structure is located along Gates Street and Walton Alley. The lot is larger than most abutting lots with mature vegetation. It is surrounded with many wood-sided, 2.5- story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to revise the previous approval for the following items:
 - Add new window openings;
 - Remove skylights; and
 - Replace windows.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

1 WALTON ALLEY (LU-23-39) – PUBLIC HEARING #2 (MINOR)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
STAFF	No	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)		<div style="border: 2px solid black; padding: 10px;"> <h2 style="margin: 0;">MINOR PROJECT</h2> <h3 style="margin: 0;">- ADDING A NEW WINDOWS & REPLACE WINDOWS -</h3> </div>				
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS		HDC SUGGESTIONS		APPROPRIATENESS	
	8	Scale (i.e. height, volume, coverage...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	13	Style and Slope					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and windows					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages (i.e. doors, placement...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	36	Grading (i.e. ground floor height, street edge...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 1 WALTON ALLEY Case No.: 2 Date: 4-5-23

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 105 SOUTH ST. (LU-23-38)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 7,840 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: 19th Century Vernacular
- Historical Significance: C
- Public View of Proposed Work: View from South Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To add solar panels.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This 2.5 story historic structure is located along South Street. It is surrounded with many 2 -2 1/2 - story wood-sided structures with shallow front and side yards. This property also has a deep rear yard that extends to the South Mill Pond.

J. Staff Comments and/ or Suggestions for Consideration:

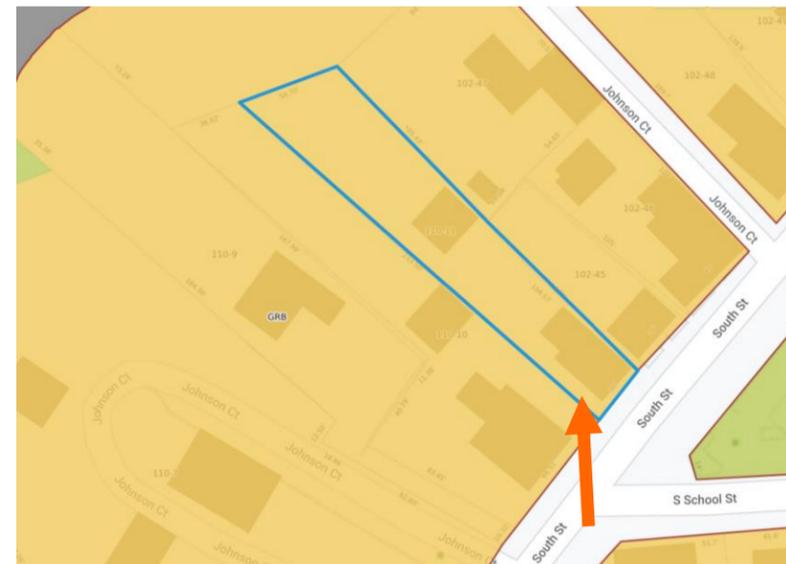
- The Application is proposing to:
- Install solar panels.

Design Guideline Reference – Guidelines for Roofing (04).

K. Aerial Image, Street View and Zoning Map:



Side Elevation and Streetscape View with Panels



Zoning Map

**HISTORIC
SURVEY
RATING**

C

105 SOUTH ST. (LU-23-38) – PUBLIC HEARING #3 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - Add Solar Panels -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
30		Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
31		Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
32		Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
33		Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
34		Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
35		Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
36		Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

2 PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 106 South St. Case No.: 3 Date: 4-5-23

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 129 STATE ST. (LU-22-78)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #A

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Single Family
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c1815
- Building Style: Federal
- Number of Stories: 3.0
- Historical Significance: NA
- Public View of Proposed Work: View from State and Sheafe Streets
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To install a masonry parapet wall.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along lower State Street and is surrounded with many contributing historic structures with uniform cornice heights and federal architectural design. The buildings are fronting directly along the street with no front yard setbacks and, where available, have shallow side or rear yards.

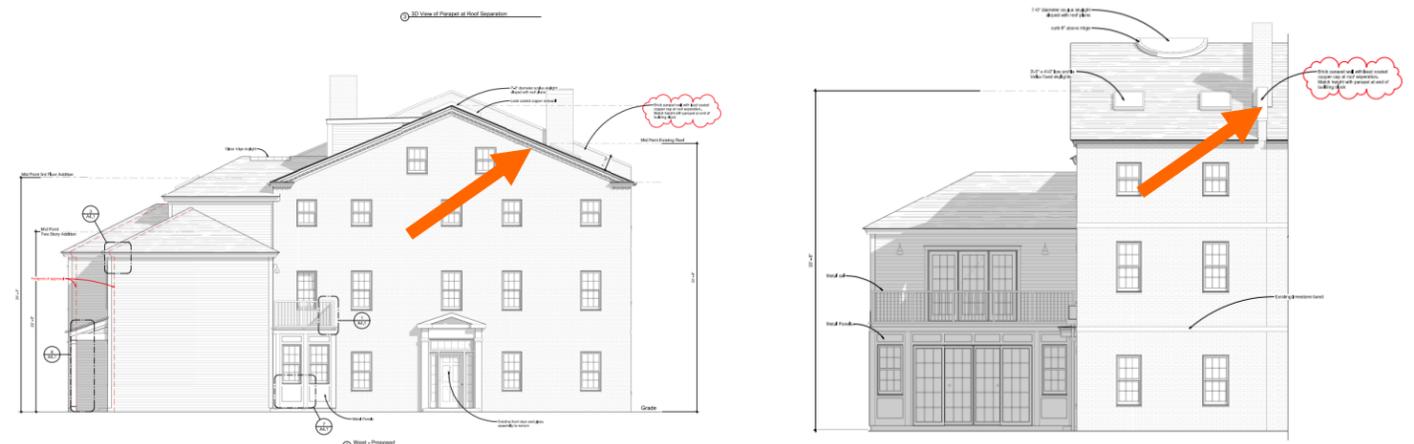
J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Add a masonry parapet wall between 129 and 123 State Street.
 - Note that this application is a result of the approval of the faux slate shingles which will sit at a higher plane than the abutting asphalt shingles for 121-123 State Street.

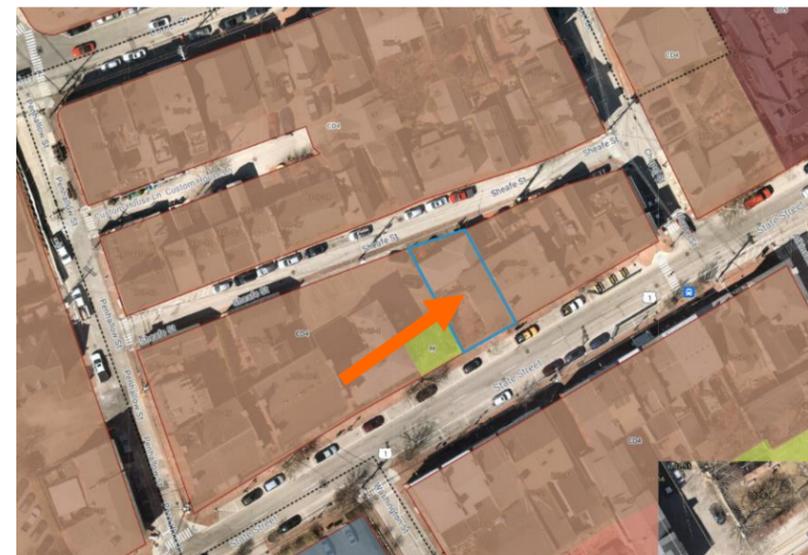
Note that the Applicant has requested a continuance to the May meeting in order to coordinate with the abutters on the roof and gutter design as well as the mechanical equipment.

Design Guideline Reference – Guidelines for Roofing (04) & Masonry & Stucco (07)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

129 STATE ST. (LU-22-78) – PUBLIC HEARING #A (MINOR PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT - Add a Masonry Parapet Wall -</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 129 STATE STREET Case No.: A Date: 4-5-23
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



- H. Purpose and Intent:**
- 1. Preserve the integrity of the District: Yes No
 - 2. Assessment of the Historical Significance: Yes No
 - 3. Conservation and enhancement of property values: Yes No
 - 4. Maintain the special character of the District: Yes No
 - 5. Complement and enhance the architectural and historic character: Yes No
 - 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No
- I. Review Criteria / Findings of Fact:**
- 1. Consistent with special and defining character of surrounding properties: Yes No
 - 2. Compatibility of design with surrounding properties: Yes No
 - 3. Relation to historic and architectural value of existing structure: Yes No
 - 4. Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Address: 765 MIDDLE STREET (LU-22-196)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #B

A. Property Information - General:

Existing Conditions:

- Zoning District: GRA
- Land Use: Multi-Family
- Land Area: 21,682 SF +/-
- Estimated Age of Structure: New Construction
- Building Style: Traditional
- Number of Stories: 1.5
- Historical Significance: NA
- Public View of Proposed Work: View from Middle St.
- Unique Features: NA
- Neighborhood Association: Wibird

B. Proposed Work: To add a carriage house structure to the rear yard.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This property located along the intersection of Middle Street and Lincoln Ave. The property are surrounded with many historically significant structures. The structures in this neighborhood have shallow setbacks along the street and deeper side and rear yards.

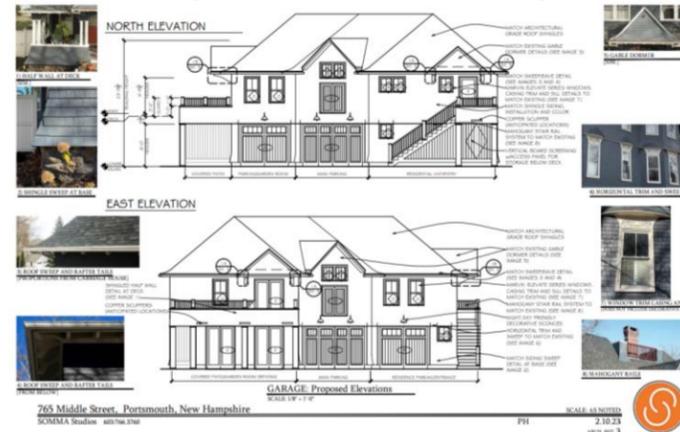
J. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

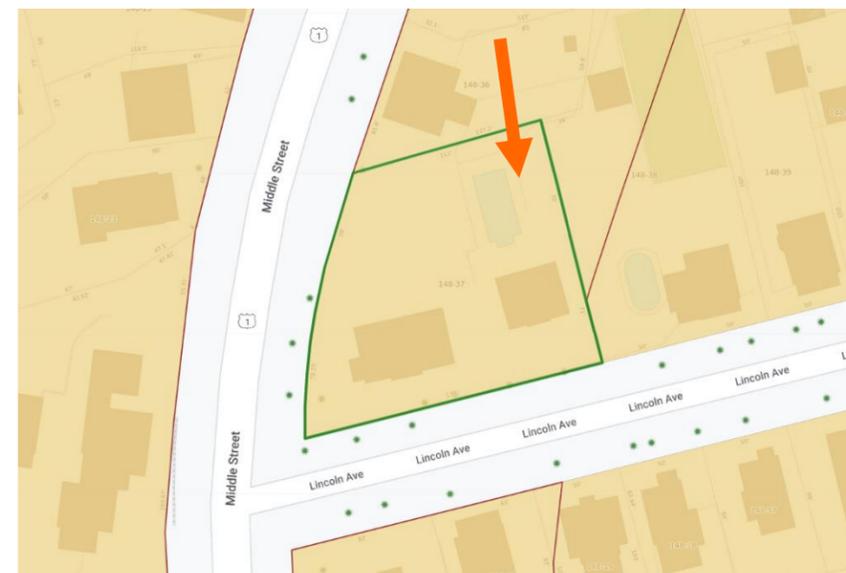
- Construct a detached garage with living space above.
- Note that a dimensional variance was granted by the BOA.
- **Note the applicant has added screening for the second-floor balcony as well as considered other design changes to respond to the abutters privacy, light and air concerns.**

Design Guideline Reference – Guidelines for Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:



Proposed Elevation & Proposed Elevation



Zoning Map

HISTORIC SURVEY RATING

NA

765 MIDDLE STREET (LU-22-196) – PUBLIC HEARING #B (MODERATE)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	MODERATE PROJECT - ADD A NEW CARRIAGE HOUSE -					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width (ROW) Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 765 MIDDLE ST. Case No: B Date: 4-5-23
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission Work Session or Administrative Approval Application

LUHD-563

Submitted On: Dec 16, 2022

Applicant

 Dan Freund
 6038170161
 hey@myfrienddan.com

Primary Location

37 PROSPECT ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Homeowner wishes to add on an additional 20 feet of ground coverage, a second floor area of 147 sq feet and a roof deck of 131 sq feet

Project Representatives

Relationship to Project	If you selected "Other", please state relationship to project.
Other	Consultant
Full Name (First and Last)	Business Name (if applicable)
Bob Cook	Adapt Design
Mailing Address (Street)	City/Town
--	Portsmouth
State	Zip Code
NH	03801
Phone	Email Address
(603) 828-1311	bob@adaptdesignonline.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

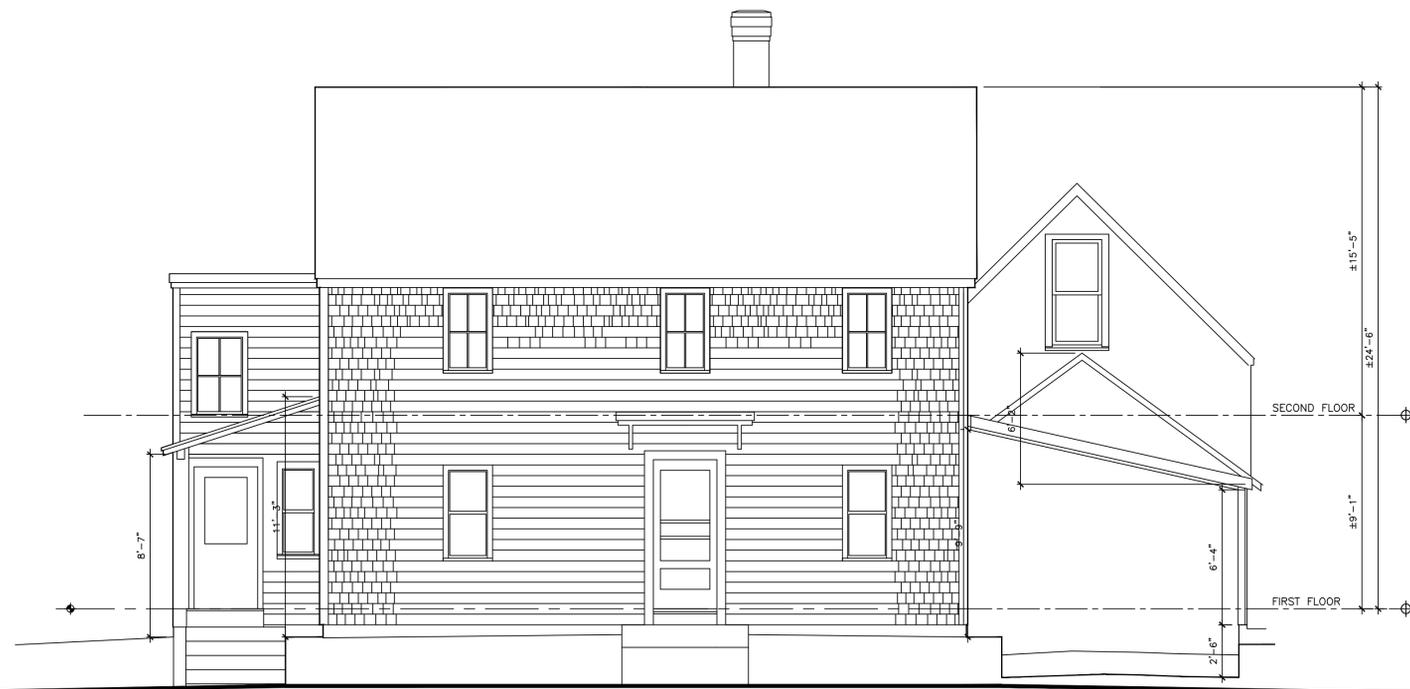
Owner of this property

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

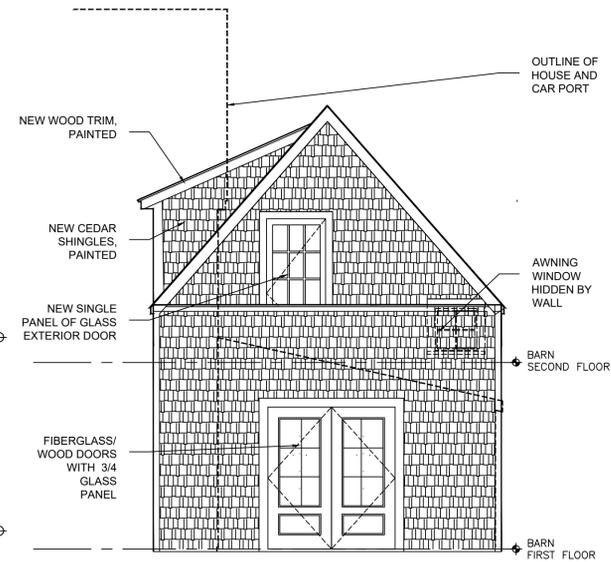
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1 EXISTING STREET OR EAST ELEVATION
SCALE - 1/4" = 1'-0"

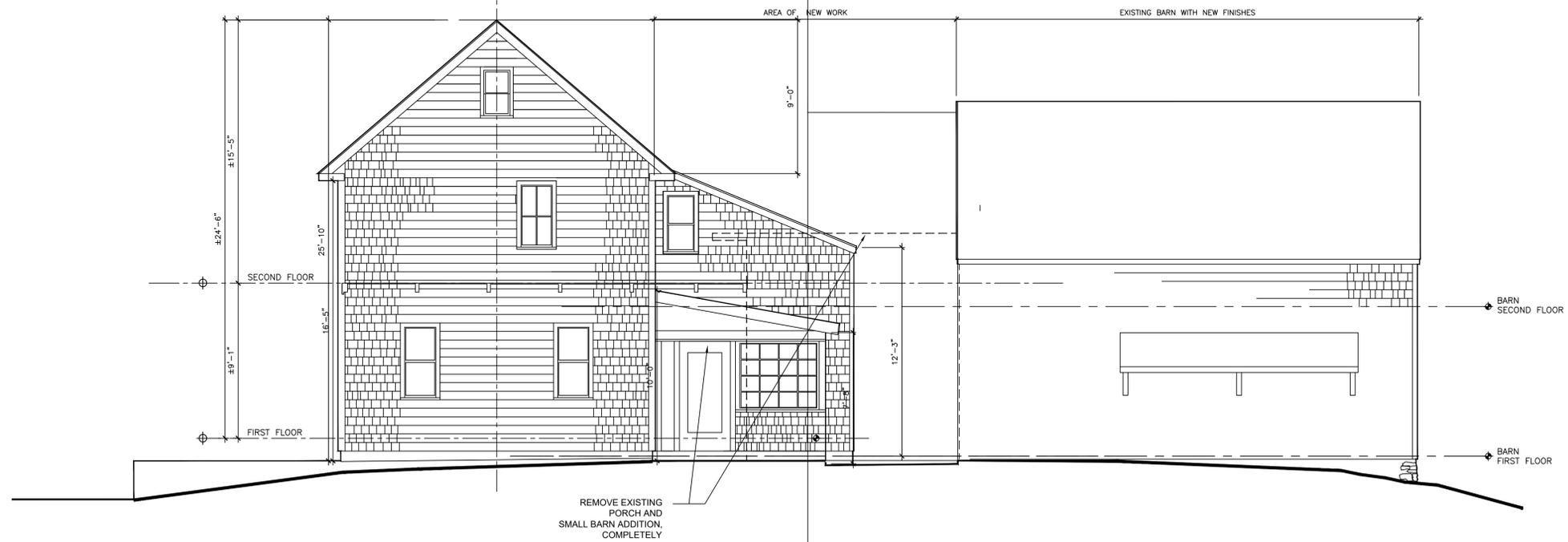


2 PROPOSED STREET OR EAST ELEVATION
SCALE - 1/4" = 1'-0"

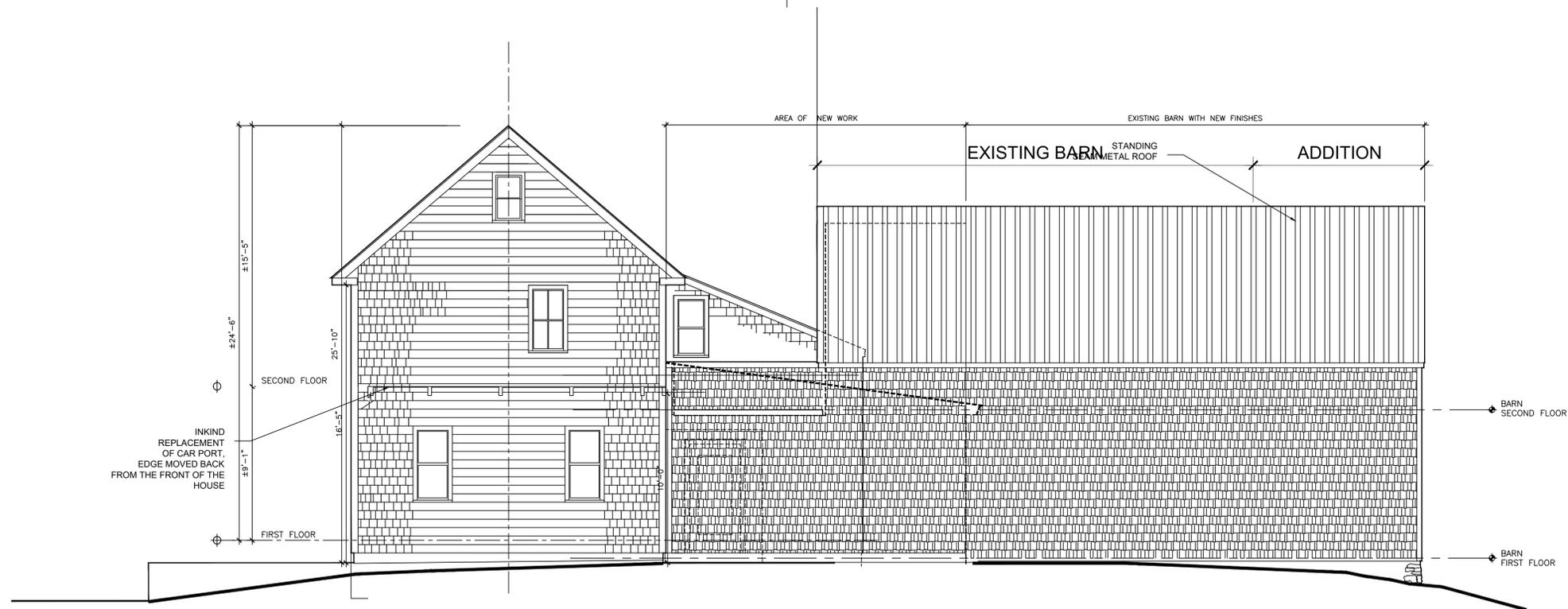


3 PARTIAL ELEVATION
SCALE - 1/4" = 1'-0"

#	DATE	DESCRIPTION
REVISIONS		

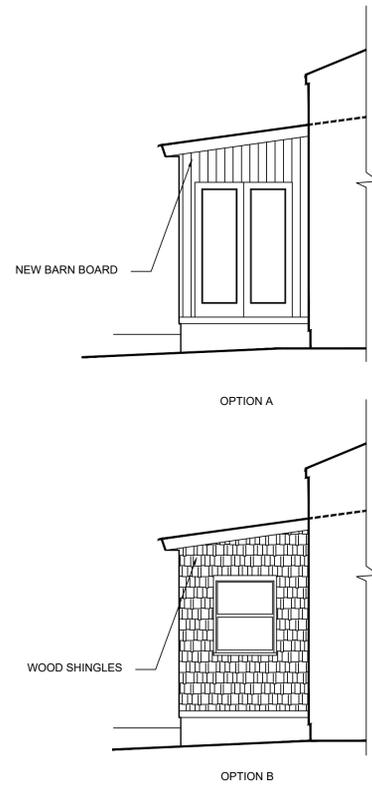


1 EXISTING RIGHT OR NORTH ELEVATION
SCALE - 1/4" = 1'-0"

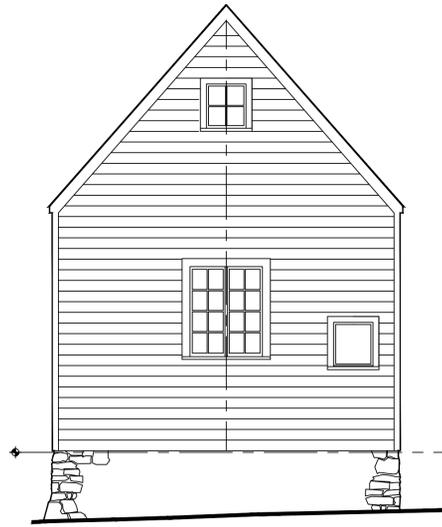


2 PROPOSED RIGHT OR NORTH ELEVATION
SCALE - 1/4" = 1'-0"

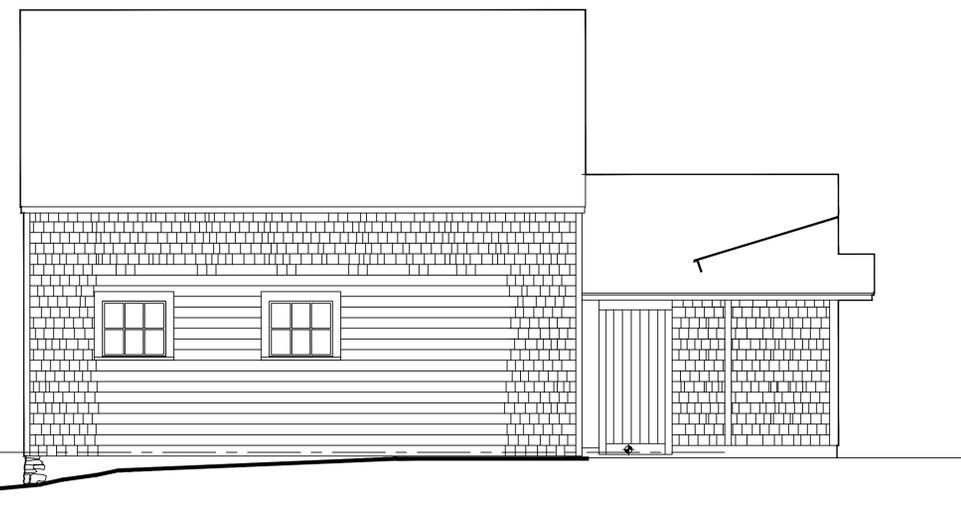
#	DATE	DESCRIPTION



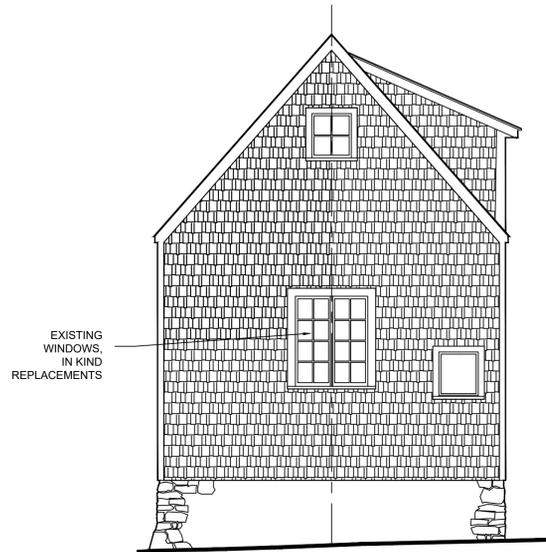
3 PARTIAL SOUTH ELEVATION- SIDE VIEW



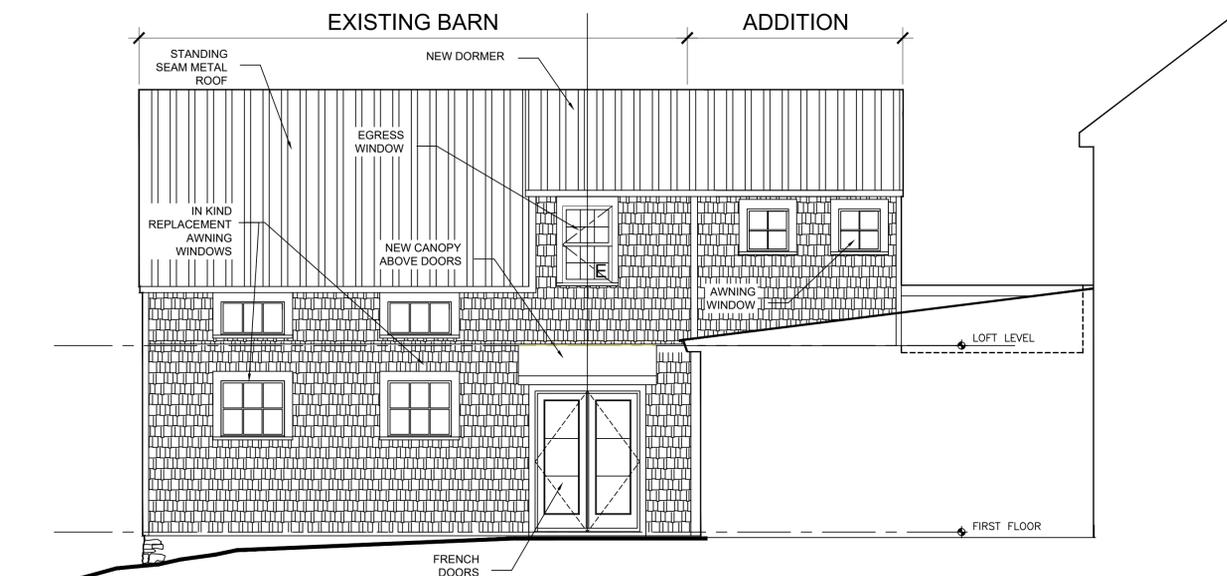
2 EXISTING BACK OR WEST ELEVATION
SCALE - 1/4" = 1'-0"



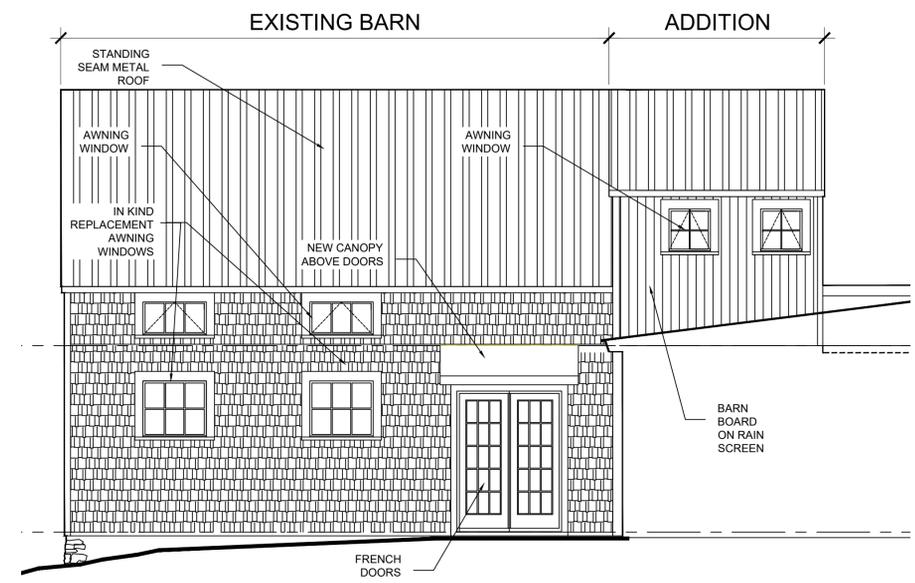
1 PARTIAL LEFT SIDE OR SOUTH ELEVATION
SCALE - 1/4" = 1'-0"



4 PROPOSED BACK OR WEST ELEVATION
SCALE - 1/4" = 1'-0"

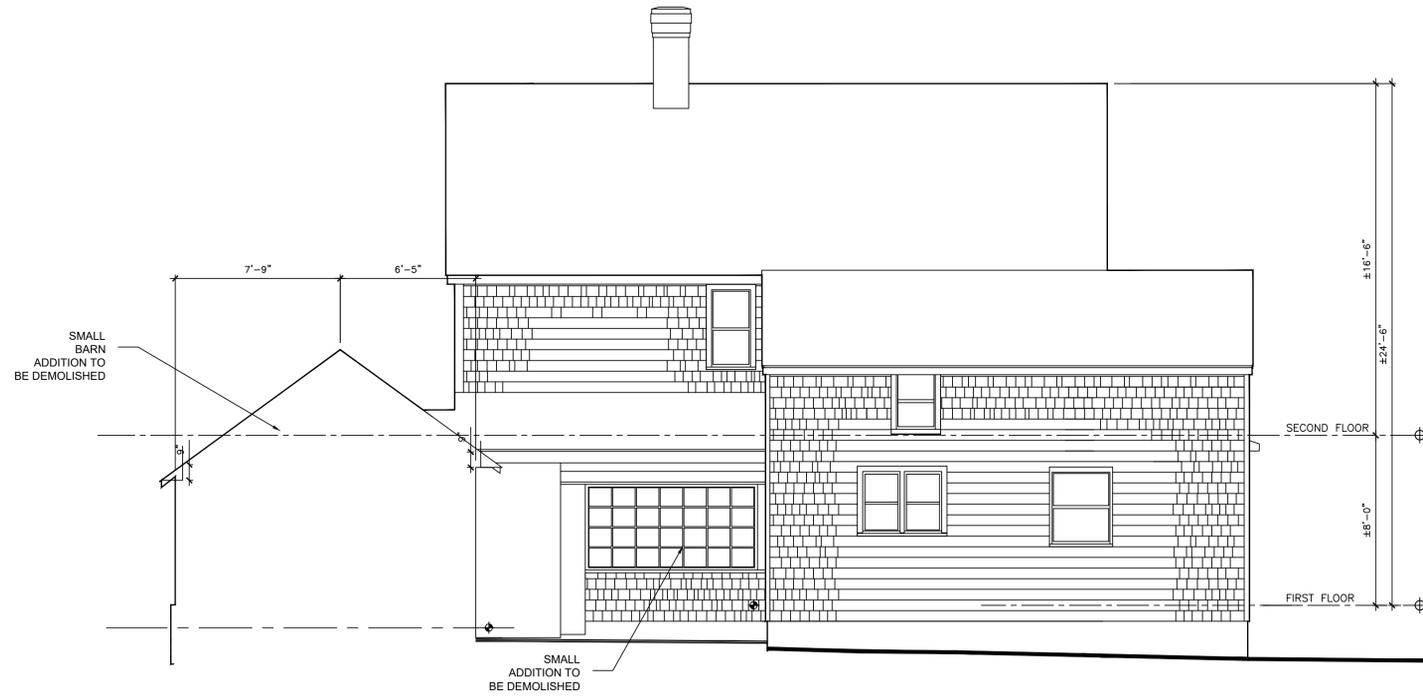


5 PROPOSED PARTIAL SOUTH ELEVATION OPTION A



6 PARTIAL SOUTH ELEVATION- OPTION B

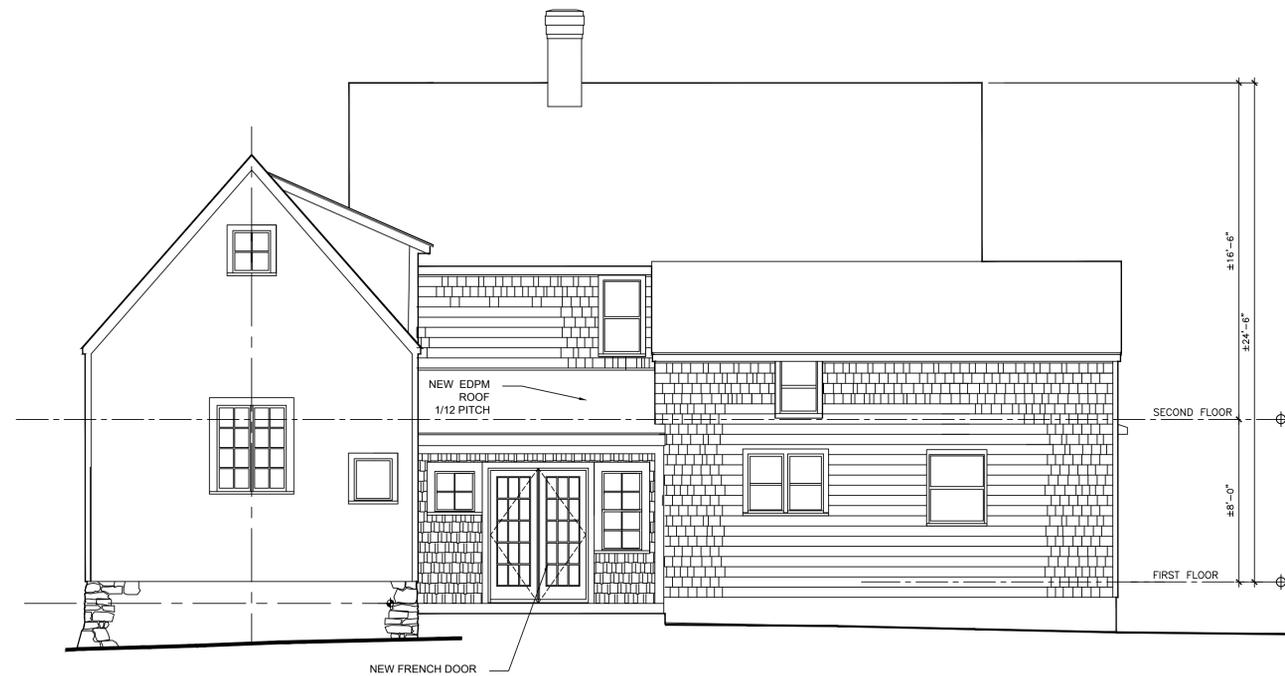
#	DATE	DESCRIPTION



1 EXISTING BACK OR WEST ELEVATION
SCALE - 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION- OPTION A
SCALE - 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION- OPTION B
SCALE - 1/4" = 1'-0"

#	DATE	DESCRIPTION
REVISIONS		





Historic District Commission Work Session or Administrative Approval Application

LUHD-568

Submitted On: Jan 13, 2023

Applicant

 Amy Dutton
 207-337-2020
 amy@amyduttonhome.com

Primary Location

39 DEARBORN ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

We are proposing replacing a failed roof structure with a new Dutch Colonial roof system as well as adding on a family room and extending a section of the kitchen for an entry.

Project Representatives

Relationship to Project Other	If you selected "Other", please state relationship to project. Designer
Full Name (First and Last) Amy Dutton	Business Name (if applicable) Amy Dutton Home
Mailing Address (Street) 9 Walker Street	City/Town Kittery
State Maine	Zip Code 03904
Phone 207-337-2020	Email Address amy@amyduttonhome.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

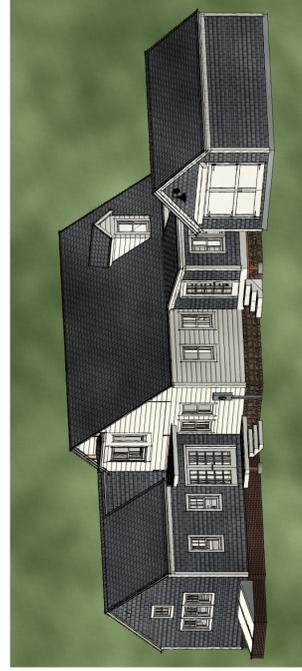
By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Designer

FRONT VIEW



EXISTING CONDITIONS



VERSION5: COLONIAL STYLE



VERSION6: WITH ADDITION



VERSION7: CAPE W/ COLONIAL ADDITION

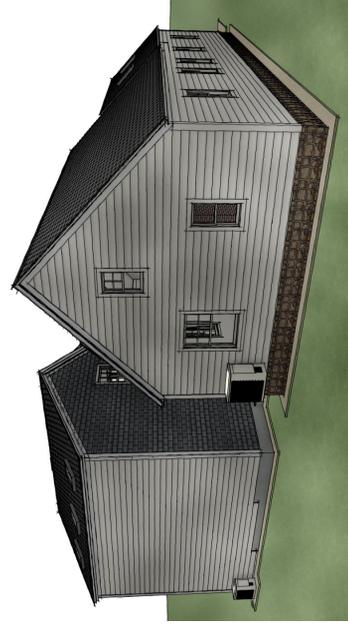


VERSION 8: CAPE WITH CAPE ADDITION

REAR VIEW



PROGRESS STUDY



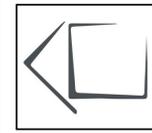
PRELIMINARY ARCHITECTURAL CONSTRUCTION USE

CONTACT: ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

CLIENT: BARDONG
39 DEARBORN EXT
PORTSMOUTH, NH

OVERVIEW

Number	Date	Description



VERSION 7: CAPE W/ COLONIAL ADDITION



FRONT VIEW



VIEW BACK SIDE



VIEW FROM WATER

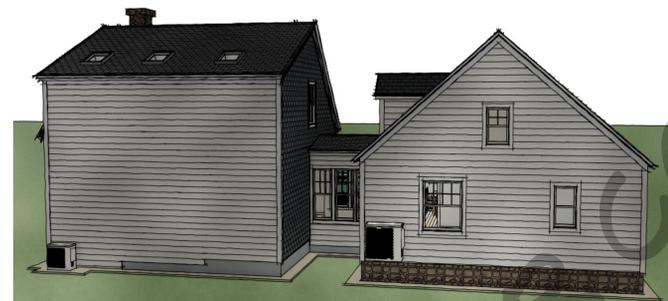


BACK VIEW

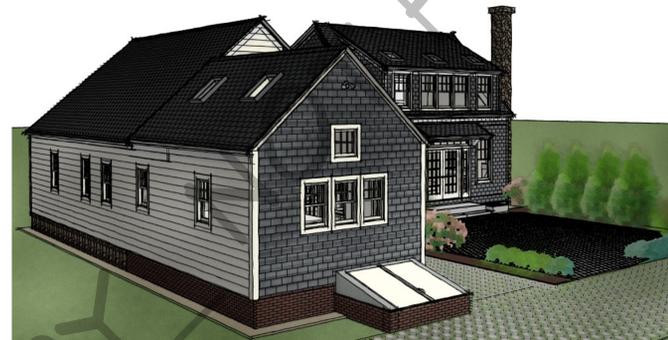
VERSION 8: CAPE WITH CAPE ADDITION



FRONT VIEW



VIEW BACK SIDE



VIEW FROM WATER



BACK VIEW

EXISTING PROPERTY PHOTOS



HEIGHT STUDY IN RELATIONSHIP TO ABUTTER



RELATIONSHIP OF SHED TO PROPERTY LINE (ON OTHER SIDE OF FENCE)



SHED IN RELATIONSHIP TO CAPE & ENTRY

EXISTING NEIGHBORHOOD PHOTOS



VIEW FROM DENNETT



VIEW FROM DEARBORN



VIEW FROM MAPLEWOOD



Revision Table	
Number	Description

OVERVIEW

CLIENT:
 ABRIGO HOME
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 201.345.6050

DATE:

3/21/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

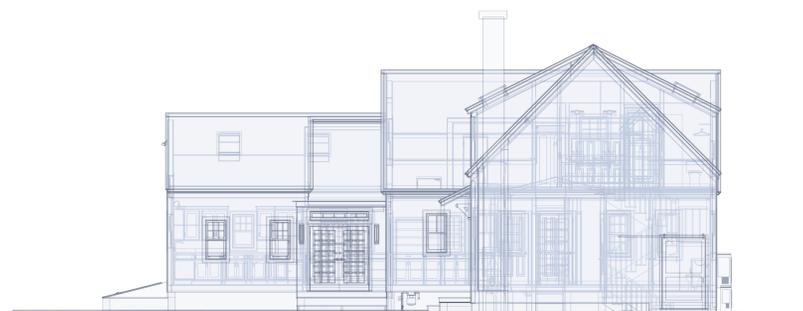
0-3



CITY OF PORTSMOUTH - MAP GEO GIS



GOOGLE SATELITE SITE



GLASS HOUSE ELEVATION FROM EAST

SCALE: 1/8" = 1'-0"

SITE PLAN

PRELIMINARY

NOT FOR CONSTRUCTION



Revision Table	Description
Number	Date

PLOT PLAN

CLIENT:
 ABRIGO HOME
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 201.345.6050

DATE:

3/21/2023

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SCALED FOR:
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A1



LEGEND

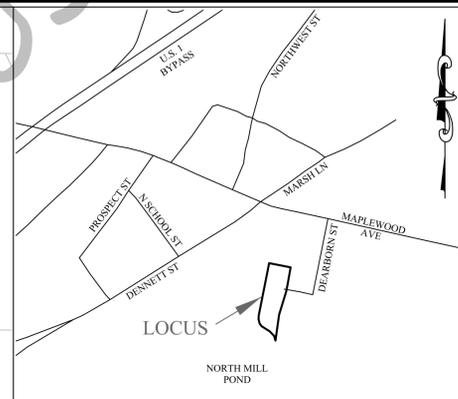
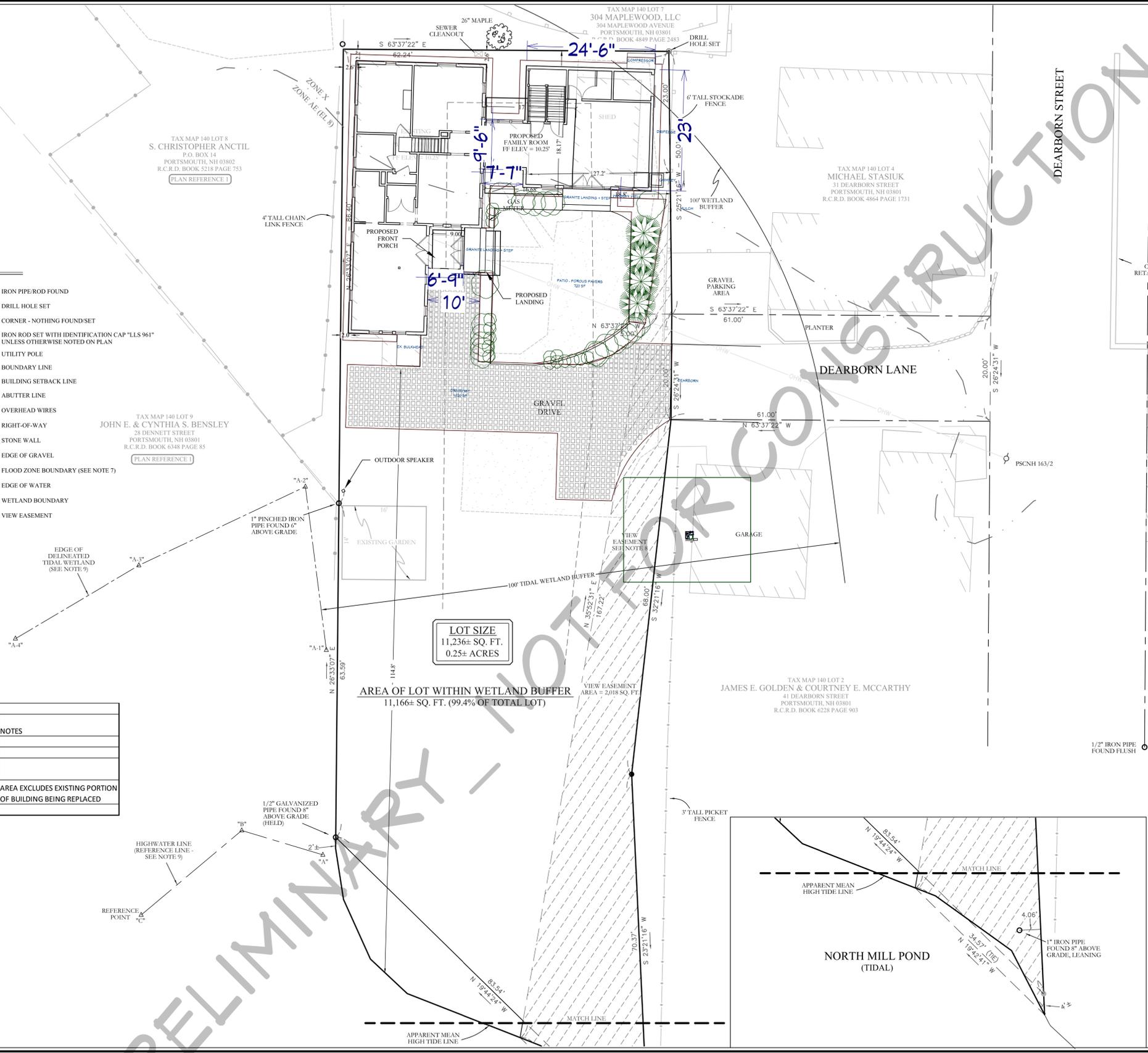
- — IRON PIPE/ROD FOUND
- — DRILL HOLE SET
- ◆ — CORNER - NOTHING FOUND/SET
- — IRON ROD SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- ⊕ — UTILITY POLE
- — BOUNDARY LINE
- - - - BUILDING SETBACK LINE
- - - - ABUTTER LINE
- - - - OVERHEAD WIRES
- - - - RIGHT-OF-WAY
- - - - STONE WALL
- - - - EDGE OF GRAVEL
- - - - FLOOD ZONE BOUNDARY (SEE NOTE 7)
- - - - EDGE OF WATER
- - - - WETLAND BOUNDARY
- - - - VIEW EASEMENT

BUILDING AREAS			
STRUCTURE	EXISTING AREA (SF)	PROPOSED AREA (SF)	NOTES
EXISTING HOUSE	1,232.5		
EXISTING SHED	221.8		
FRONT PORCH		75.1	
FAMILY ROOM (PROPOSED)		225.8	AREA EXCLUDES EXISTING PORTION OF BUILDING BEING REPLACED
TOTALS	1,454.3	300.9	

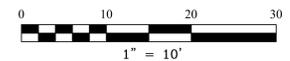
LOT COVERAGE	
LOT AREA (SF)	11,236.0
TOTAL PROPOSED BUILDING AREA (SF)	1,755.2
PROPOSED BUILDING COVERAGE	15.6%
ALLOWABLE BUILDING COVERAGE	25%

SITE PLAN

PRELIMINARY - NOT FOR CONSTRUCTION USE



- NOTES:**
- REFERENCE: TAX MAP 140 LOT 3 R.C.R.D. BOOK 6450 PAGE 552 R.C.R.D. PLAN D-37444
 - TOTAL PARCEL AREA: 11,236 SQ. FT. OR 0.25 AC.
 - OWNER OF RECORD: SHAWN & MICHIO BARDONG 39 DEARBORN STREET PORTSMOUTH, NH 03801
 - ZONE: GRA - GENERAL RESIDENCE A DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA 7,500 SQ. FT.
MINIMUM FRONTAGE 100 FT.
MINIMUM FRONT SETBACK 15 FT.
MINIMUM SIDE SETBACK 10 FT.
MINIMUM REAR SETBACK 20 FT.
MAXIMUM STRUCTURE HEIGHT 35 FT.
 - FIELD SURVEY PERFORMED BY S.D.B. ON 12/1/2022 USING A SPECTRA FOCUS 35 ROBOTIC TOTAL STATION. TRAVERSE ADJUSTMENT IS BASED ON THE COMPASS RULE METHOD OF ADJUSTMENT.
 - HORIZONTAL DATUM IS MAGNETIC BASED ON PLAN REFERENCE 1.
 - A PORTION OF THIS LOT FALLS WITHIN FLOOD ZONE AE AND ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM MAP NUMBER 3301SC0259F, EFFECTIVE DATE JANUARY 29, 2021.
 - VIEW EASEMENT FOR THE BENEFIT OF TAX MAP 140 LOT 4, TO REMAIN FREE OF ALL TEMPORARY OR PERMANENT STRUCTURES INCLUDING BUT NOT LIMITED TO SHEDS, BUILDINGS, EQUIPMENT, VEHICLE STORAGE OR PARKING, OR OTHER SIMILAR OBSTRUCTIONS OF THE VIEW CORRIDOR.
 - TIDAL WETLANDS AND HIGHWATER REFERENCE LINE WERE DELINEATED BY PATRICK D. SEEKAMP, P.W.S., C.W.S. OF SEEKAMP ENVIRONMENTAL CONSULTING.
 - THE INTENT OF THIS PLAN IS TO SHOW A BUILDING ADDITION IN REFERENCE TO THE BOUNDARY OF RECORD.
- PLAN REFERENCES:**
- PLAN TITLED "LOT LINE RELOCATION PLAN FOR JOHN J. & CATHERINE PAUSON AND HAROLD C. & ASTRID LOUISE PASSER, 12-28 DENNETT STREET" DATED NOVEMBER 30, 1983, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, R.C.R.D. PLAN D-12123.
 - PLAN TITLED "BOUNDARY LINE ADJUSTMENT FOR MICHAEL J. & DIANE REGAN, MAPLEWOOD AVENUE, PORTSMOUTH, NH" DATED SEPT. 1997, PREPARED BY EMERY ENGINEERING, R.C.R.D. PLAN C-3772.
 - PLAN TITLED "PLAN OF LAND PREPARED FOR MICHAEL BRANDZEL & HELEN LONG" DATED OCTOBER 1, 2012, PREPARED BY THIS OFFICE, R.C.R.D. PLAN D-37444.



SITE PLAN
LAND OF
SHAWN & MICHIO BARDONG
(TAX MAP 140 LOT 3)
39 DEARBORN STREET
PORTSMOUTH, NH

DRAWN BY: SDB DATE: FEBRUARY 8, 2023
CHECKED BY: ARB DRAWING NAME: 22039B3
JOB NAME: 22039 SHEET: C1

Boudreau Land Surveying P.L.L.C.
SCOTT D. BOUDREAU, L.L.S. #961
2 BEATRICE LANE
NEWMARKET, NH 03857
(603) 659-3468

Revision Table

Number	Date	Description

PLOT PLAN

CLIENT:
BARDONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

3/21/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A2

PRELIMINARY - NOT FOR CONSTRUCTION USE

VERSION 1: CAPE W/ COLONIAL ADDITION

DEMOLITION NOTES

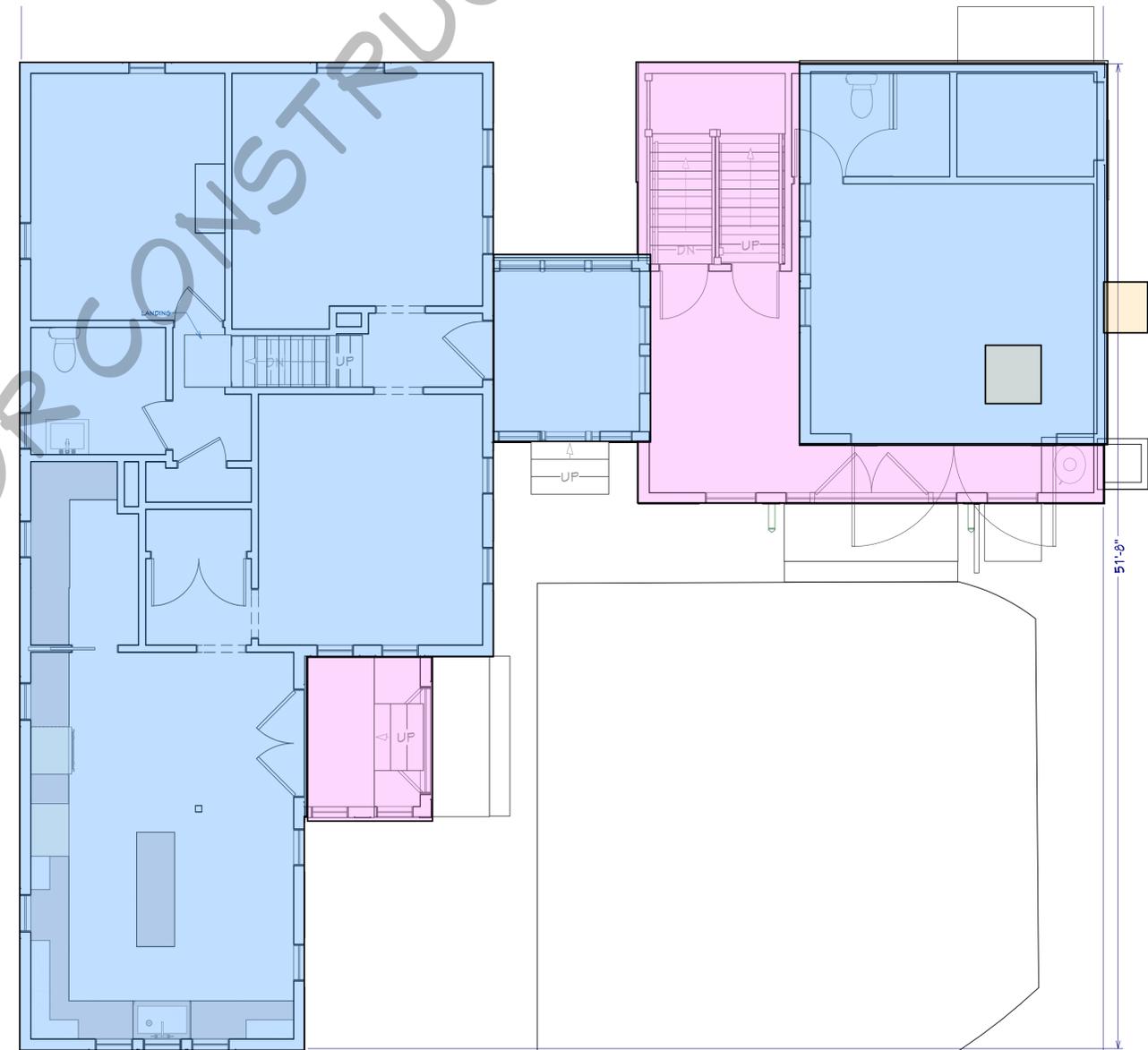
- GENERAL NOTES**
1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION W/ DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.
 2. CUT EXISTING FOUNDATION TO LOCATION IDENTIFIED AND PREPARE FOR NEW FOUNDATION WALL.
 3. EXISTING FOUNDATION WALL TO BE CUT AND REMAIN IN PLACE. REMOVE SILL PLATES OR OTHER LUMBER AND CUT BACK ANCHOR BOLTS TO TOP OF WALL. FILL VOID WITH SAND AND/ OR SOILS CONSISTENT WITH SURROUNDING MATERIALS.

CAD BLOCK GUIDE

- EXISTING FOOTPRINT (1522 SQFT)
 - PROPOSED ADDITION (263 SQFT)
 - PROPOSED FOOTPRINT (59 SQFT)
- TOTAL 1844 SQFT

RENOVATION PLAN

SCALE: 1/4" = 1'-0"



VERSION 8: CAPE WITH CAPE ADDITION



Revision Number	Date	Description

RENOVATION PLAN

CLIENT:
 BARBONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 FORTSMOUTH, NH 03801
 201.345.6050

DATE:

3/21/2023

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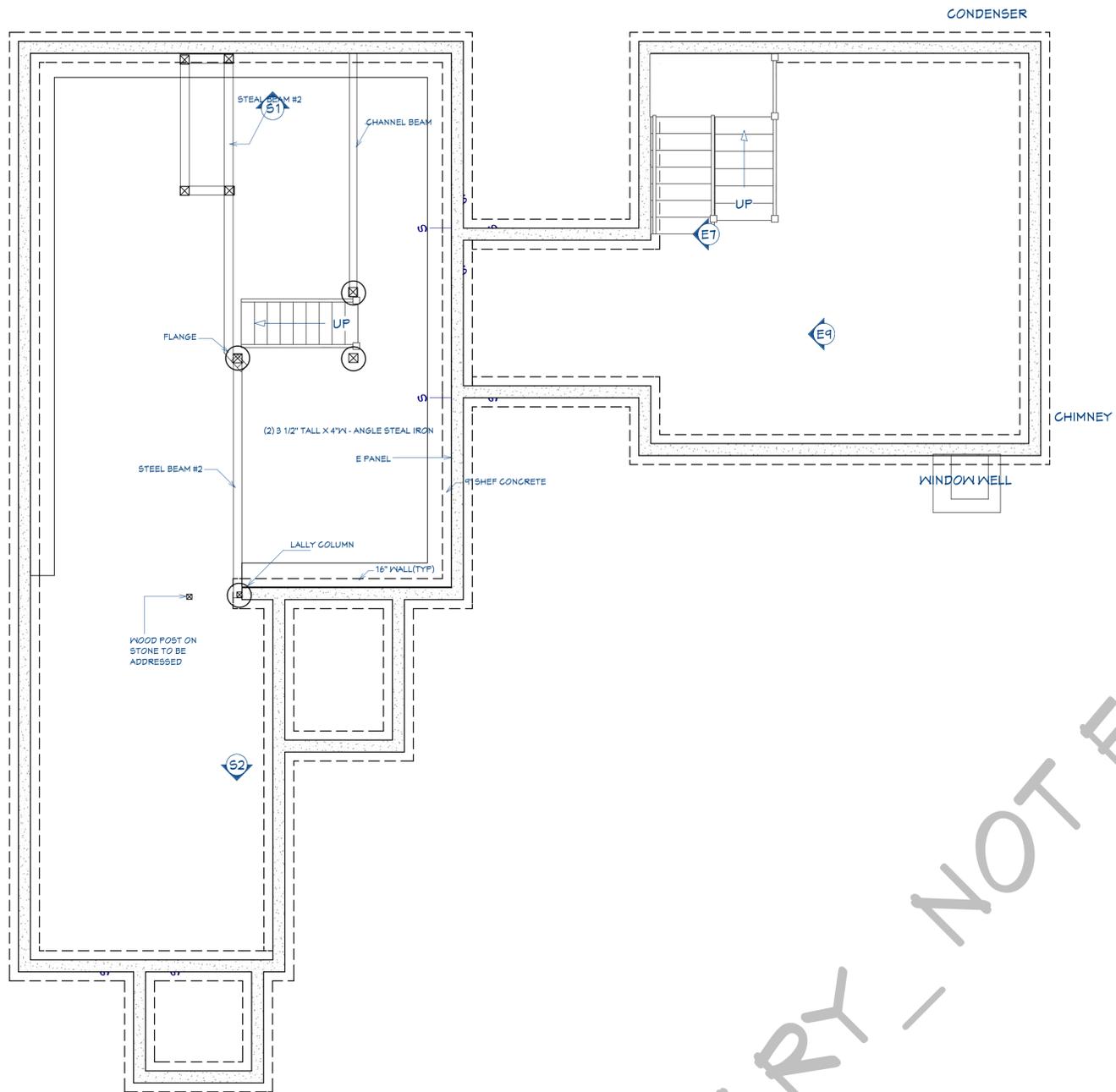
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

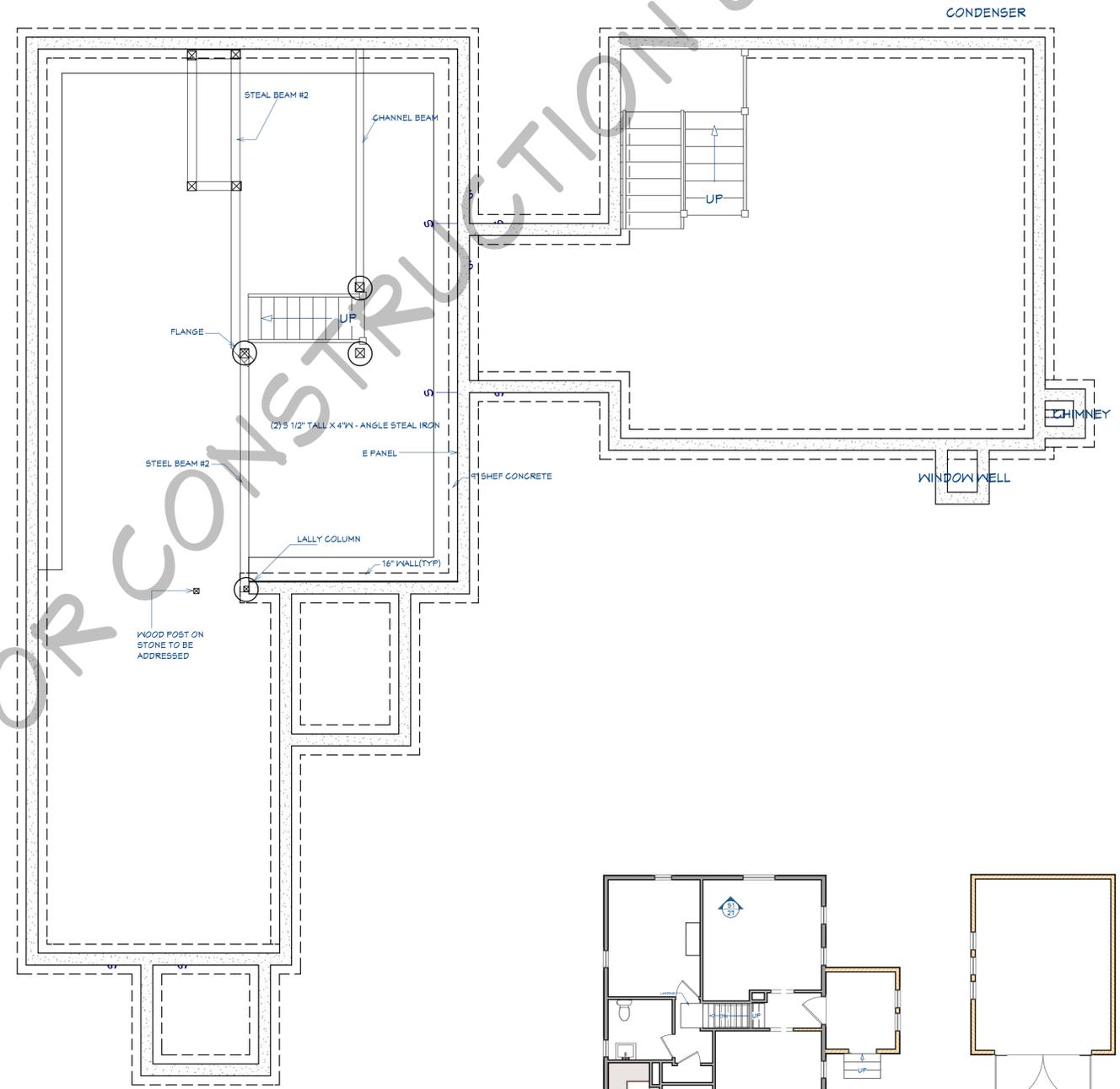
SHEET:

A5



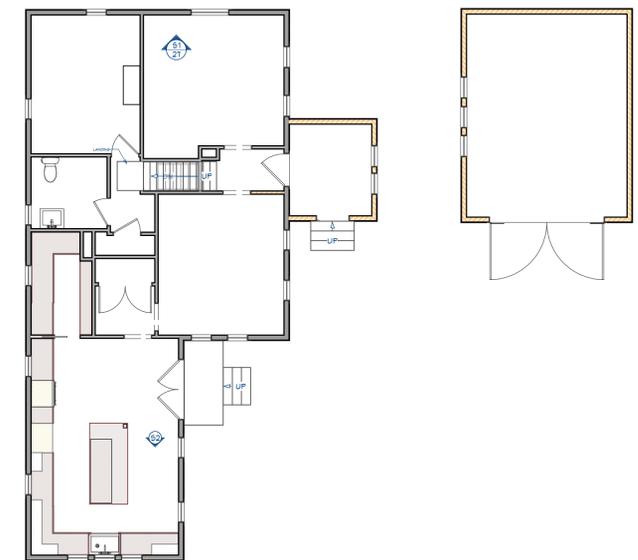
VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"



VERSION 8: CAPE WITH CAPE ADDITION

SCALE: 1/4" = 1'-0"



EXISTING FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



Revision Number	Date	Description

FOUNDATION

CLIENT:
 BARBONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 FORTSMOUTH, NH 03801
 201.345.6050

DATE:

3/21/2023

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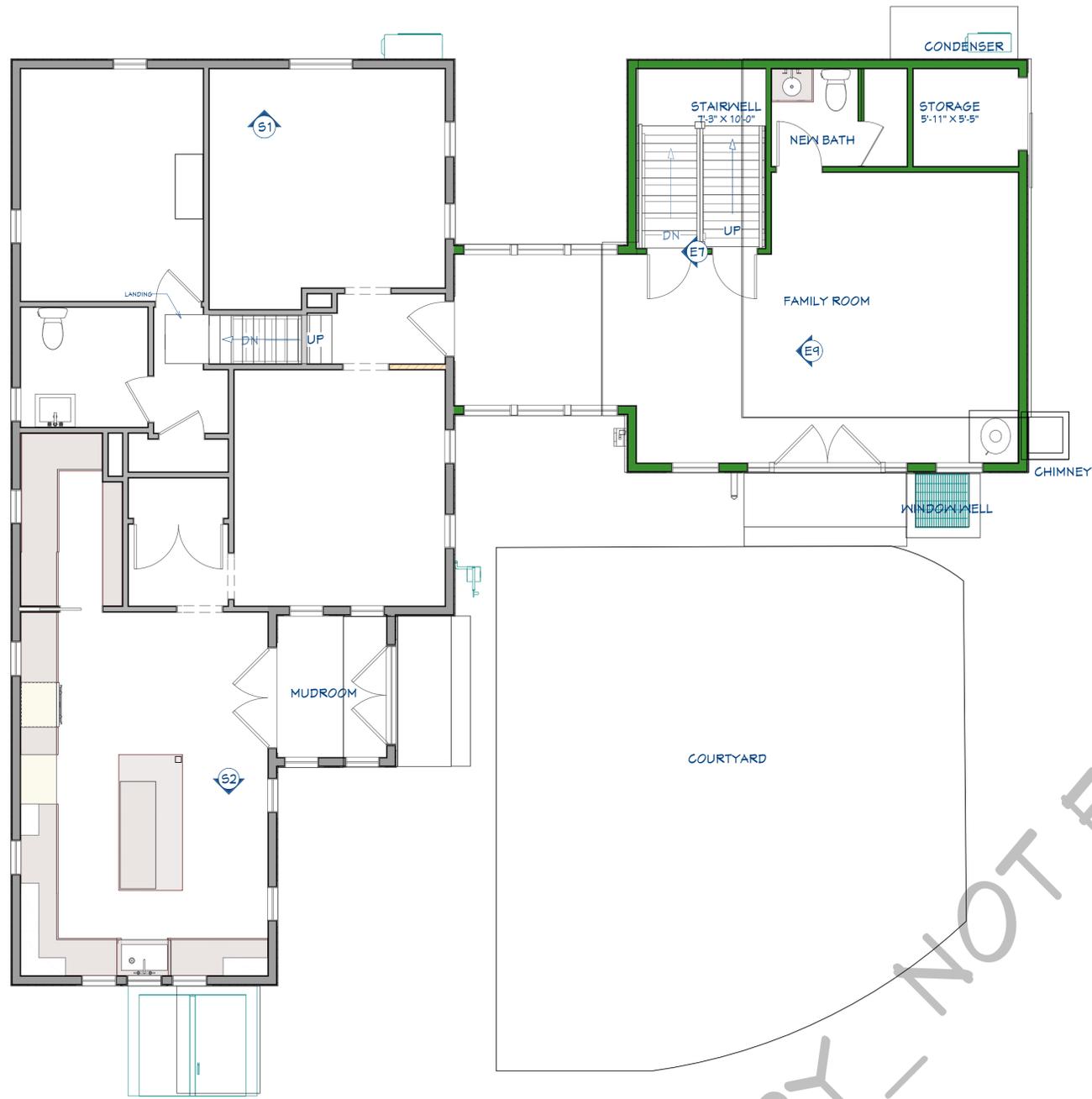
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

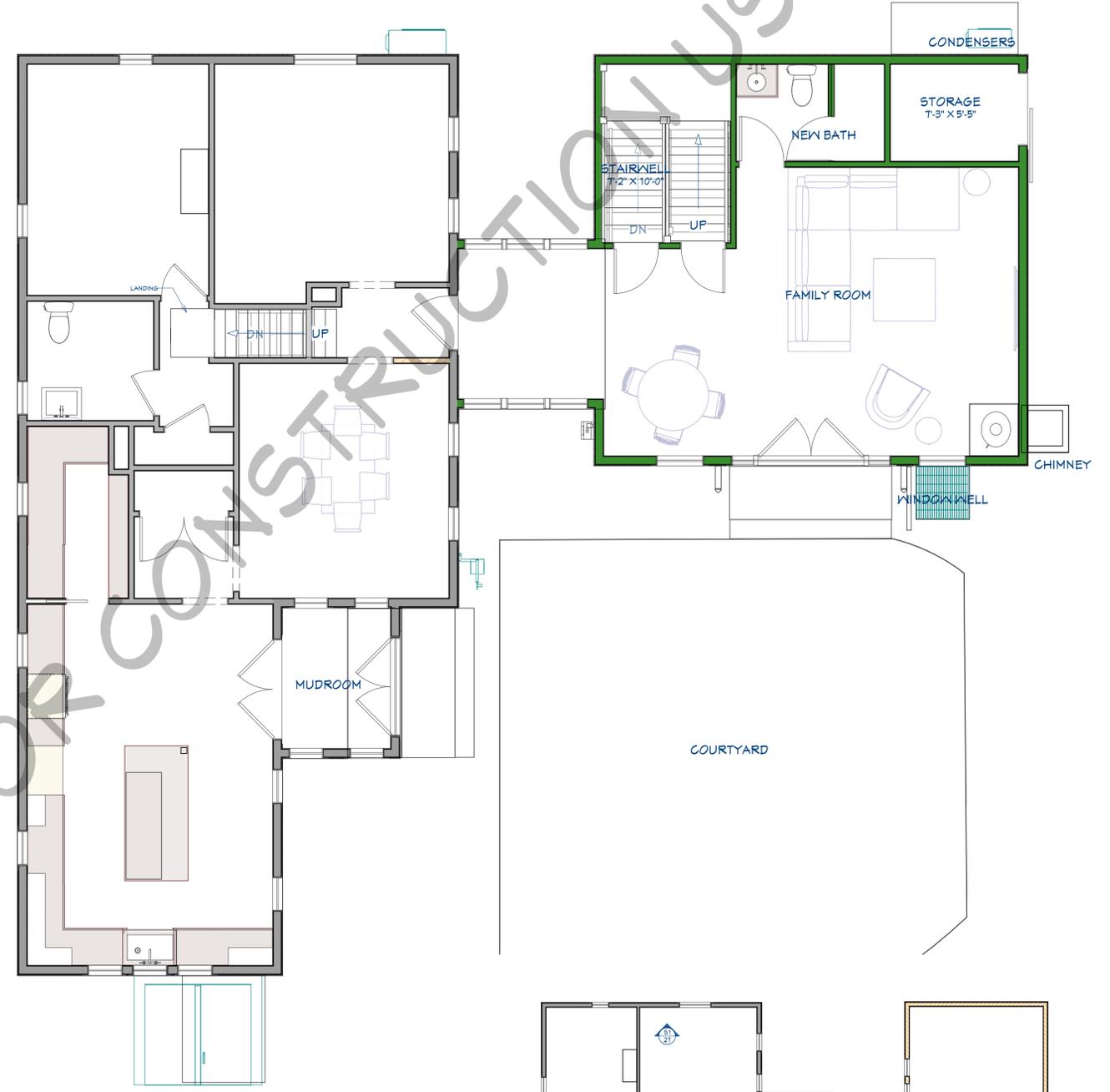
SHEET:

A-1



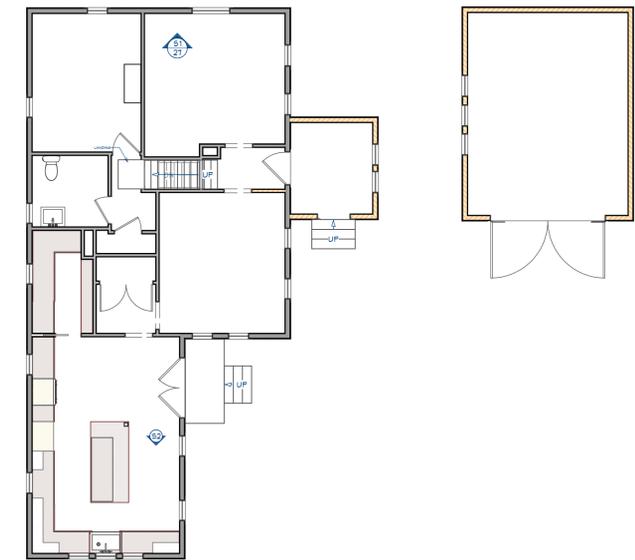
VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"



VERSION 8: CAPE WITH CAPE ADDITION

SCALE: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



Revision Table

Number	Date	Description

FIRST FLOOR

CLIENT:
 ABRIGO HOME
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 FORTSMOUTH, NH 03801
 201.345.6050

DATE:

3/21/2023

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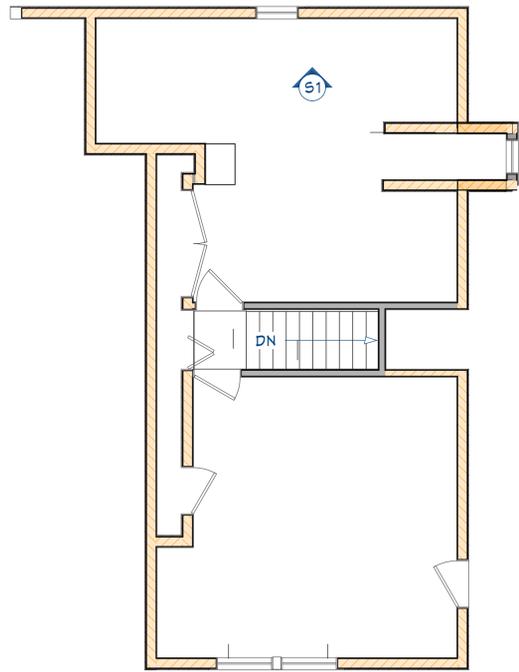
SCALED FOR:
24" X 36"

SCALE:

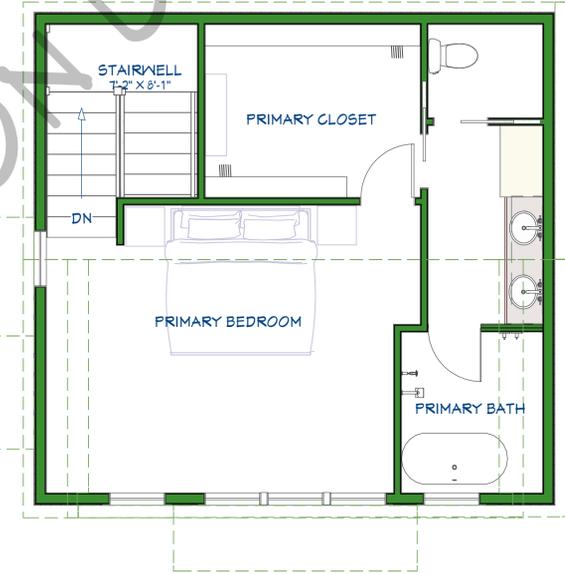
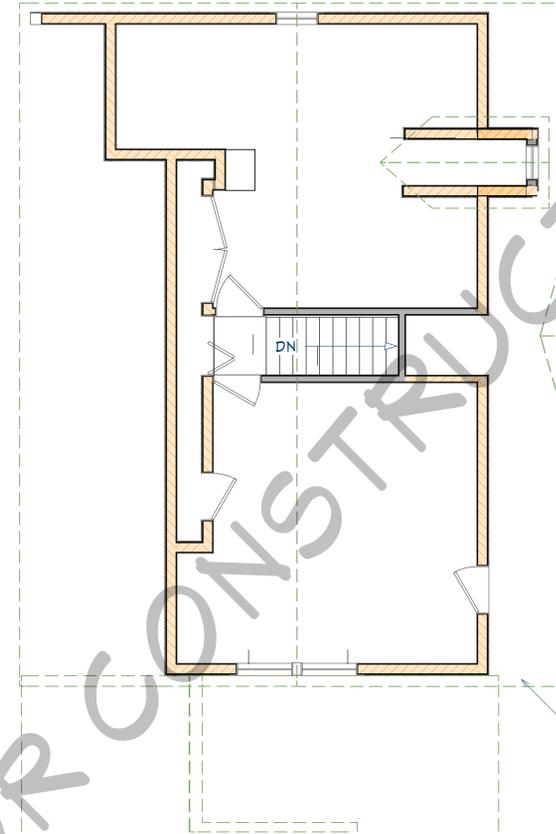
SEE SCALE ON DRAWINGS

SHEET:

A-2



SIP ROOF SYSTEM APPLIED ON TOP OF EXISTING ROOF TO ACCOMPLISH:
 1. MEETING ENERGY EFFICIENCY CODE
 2. RETAIL ORIGINAL EXPOSED BEAMS AND RAFTERS ON INTERIOR
 (NOTE: PREVIOUSLY APPROVED)



SIP ROOF SYSTEM APPLIED ON TOP OF EXISTING ROOF TO ACCOMPLISH:
 1. MEETING ENERGY EFFICIENCY CODE
 2. RETAIL ORIGINAL EXPOSED BEAMS AND RAFTERS ON INTERIOR
 (NOTE: PREVIOUSLY APPROVED)

VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

VERSION 8: CAPE WITH CAPE ADDITION

SCALE: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



Number	Date	Description

SECOND FLOOR

CLIENT:
 BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 201.345.6050

DATE:

3/21/2023

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SCALED FOR:
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-3

WINDOW SCHEDULE:
MFG: MARVIN_ELEVATE

FIRST FLOOR

3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W01	5	24 1/2"x38 1/2"	23 1/2"	37 1/2"	KITCHEN	DOUBLE HUNG	1
	W02	2	24"x45"	23"	44"	KITCHEN	DOUBLE HUNG	1
	W03	1	24"x42"	23"	41"	PANTRY	DOUBLE HUNG	1
	W04	6	27"x69 1/4"	26"	68 1/4"	FAMILY ROOM	DOUBLE HUNG	1
	W05	2	24"x45"	23"	44"	DINING/ENTRYWAY	DOUBLE HUNG	1
	W07	1	61 1/2"x11 1/2"	66 1/2"	10 1/2"	ENTRYWAY	FIXED GLASS	1
	W08	1	10"x11 1/2"	108"	10 1/2"	FAMILY ROOM	FIXED GLASS	1
	W09	1	44"x56"	43"	55"	LIVING	DOUBLE HUNG	1
	W10	2	25"x50"	24"	49"	LIVING	DOUBLE HUNG	1
	W11	1	24"x45"	23"	44"	BATH	DOUBLE HUNG	1
	W12	2	24"x45"	23"	44"	BEDROOM 1	DOUBLE HUNG	1
	W13	1	25"x25"	24"	24"	KITCHEN	FIXED GLASS	1

3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W14	2	24"x45"	23"	44"	ENTRYWAY	DOUBLE HUNG	1
	W15	2	24"x45"	23"	44"	DINING	DOUBLE HUNG	1
	W16	5	33"x53"	32"	52"	PRIMARY BEDROOM	DOUBLE HUNG	2
	W17	2	33"x53"	32"	52"	BEDROOM #1	DOUBLE HUNG	2

SECOND FLOOR

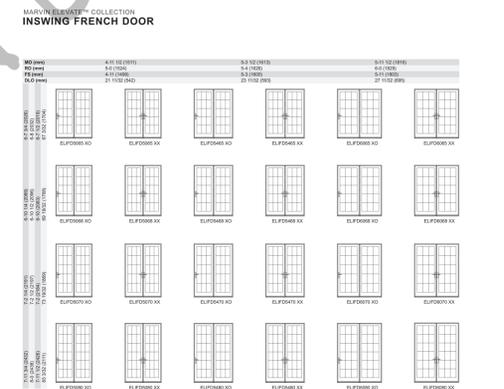
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W18	1	20 5/8"x46 11/16"	14 5/8"	45 11/16"	UNSPECIFIED	DOUBLE HUNG	2
	W20	1	33"x53"	32"	52"	PRIMARY BATHROOM	DOUBLE HUNG	2
	W21	1	25"x40 1/2"	24"	39 1/2"	UNSPECIFIED	DOUBLE HUNG	2
	W22	2	33"x69 1/4"	32"	68 1/4"	FAMILY ROOM	DOUBLE HUNG	1



VELUX SKYLIGHTS

MARVIN INC, ELEVATE DOUBLE HUNG, 7/8" SDL, LOW E GLAZING, STONE WHITE CLADDING HARDWARE TO BE CHOSEN BY HOMEOWNER, IN 2X6 WALL

NO (mm)	1-10 (254)	2-2 (508)	2-6 (762)	2-6 (813)	2-10 (864)
NO (mm)	1-10 (254)	2-2 (508)	2-6 (762)	2-6 (813)	2-10 (864)
FR (mm)	1-9 1/2 (248)	2-1 1/2 (50)	2-5 1/2 (138)	2-5 1/2 (138)	2-9 1/2 (238)
DLO (mm)	1-3 1/16 (38)	1-2 1/16 (30)	1-11 1/16 (82)	1-11 1/16 (82)	1-3 1/16 (38)



Direct Glaze

NO (mm) 3-0 (76) 3-1/2 (89) 3-1/2 (95) 4-0 (102) 4-6 (117)

FR (mm) 3-0 (76) 3-1/2 (89) 3-1/2 (95) 4-0 (102) 4-6 (117)

DLO (mm) 3-0 (76) 3-1/2 (89) 3-1/2 (95) 4-0 (102) 4-6 (117)

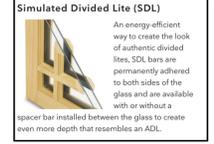
Details and Elevations not to scale.
This product is only available lead lined.
C = Casework, O = Operable
Optional Direct Glaze (DG), SDs and SDs with Spacer Bar are available in a standard rectangular cut as shown. Alternative cutouts available to align with doors using select cut options shown on page 3.
For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

January 2020

1. SUBMIT FINAL WINDOW/EXT. DOOR SCHEDULE FOR APPROVAL BEFORE ORDERING
 2. BUILDER TO VERIFY ROUGH OPENINGS
- *EGRESS = SIGNIFIES EGRESS (see window notes for specs)



MARVIN ELEVATE DOUBLE-HUNG 6/11



Simulated Divided Lite (SDL)
An energy-efficient way to create the look of authentic divided lites. SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

MULTIPLE ASSEMBLIES
Multiple assemblies can be factory milled.
MAXIMUM ROUGH OPENING not to exceed 13 1/2" x 76 1/2" Maximum up to 5 units wide by 1 unit high.
MAXIMUM ROUGH OPENING not to exceed 84" x 52" Maximum up to 3 units wide by 5 units high.
Field mullions are available. Structural mullion reinforcement is required for some assemblies.
Please consult your local Marvin representative for more information.

Revision Table	Description
Number	Date

WINDOW AND DOOR SCHEDULE

CLIENT:
ABRIGO HOME
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:	3/21/2023
COPYRIGHT @ ABRIGO HOME	2022
SCALED FOR:	24" X 36"
SCALE:	
SEE SCALE ON DRAWINGS	
SHEET:	A-8



LINE LEGEND

- = EXISTING
- = PROPOSED

Revision Table	Description
Number	Date

ELEVATIONS

CLIENT:
 ABRIGO HOME
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 FORTSMOUTH, NH 03801
 207.345.6050

DATE:

3/21/2023

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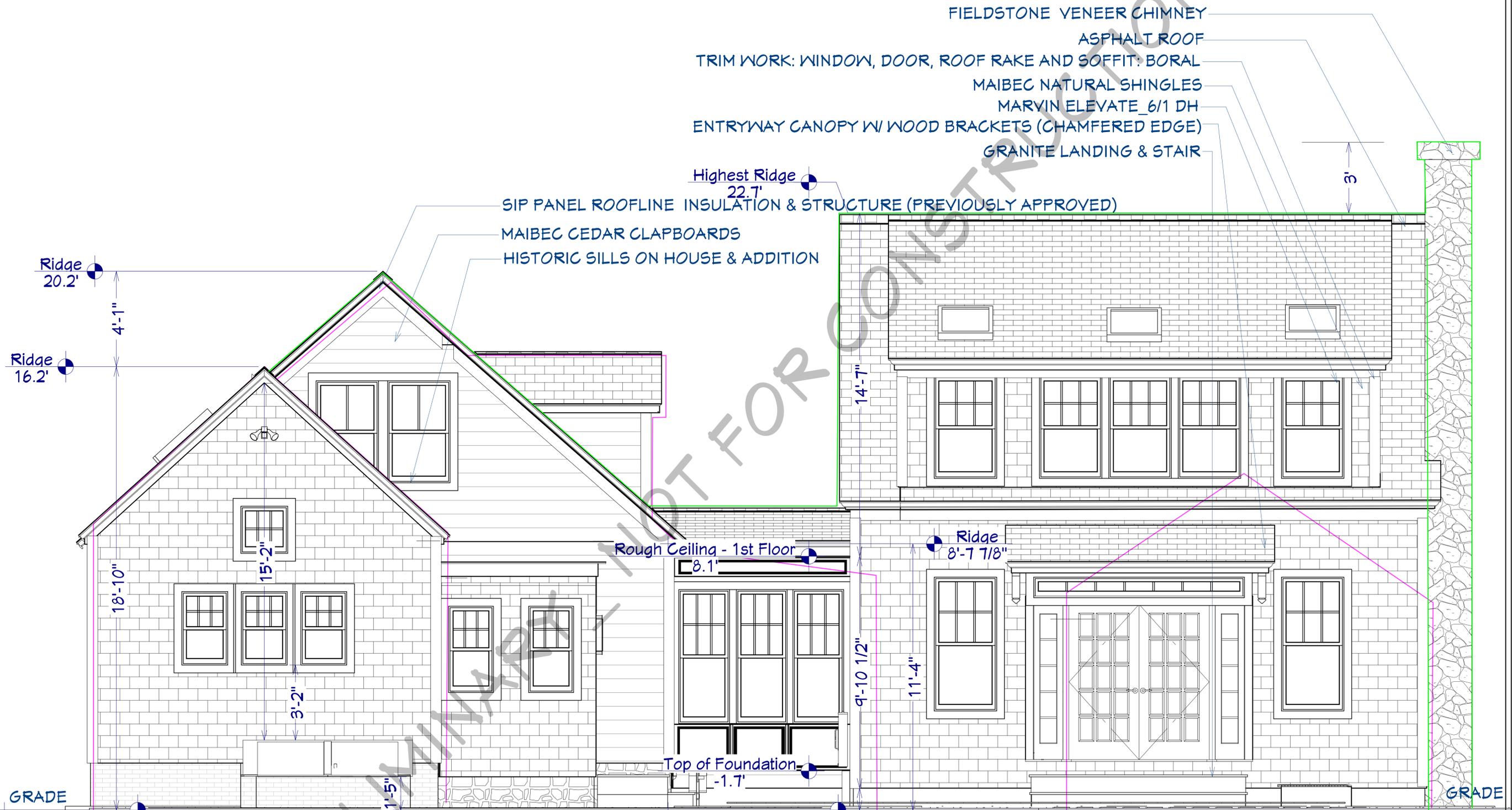
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24" X 36"

SCALE:

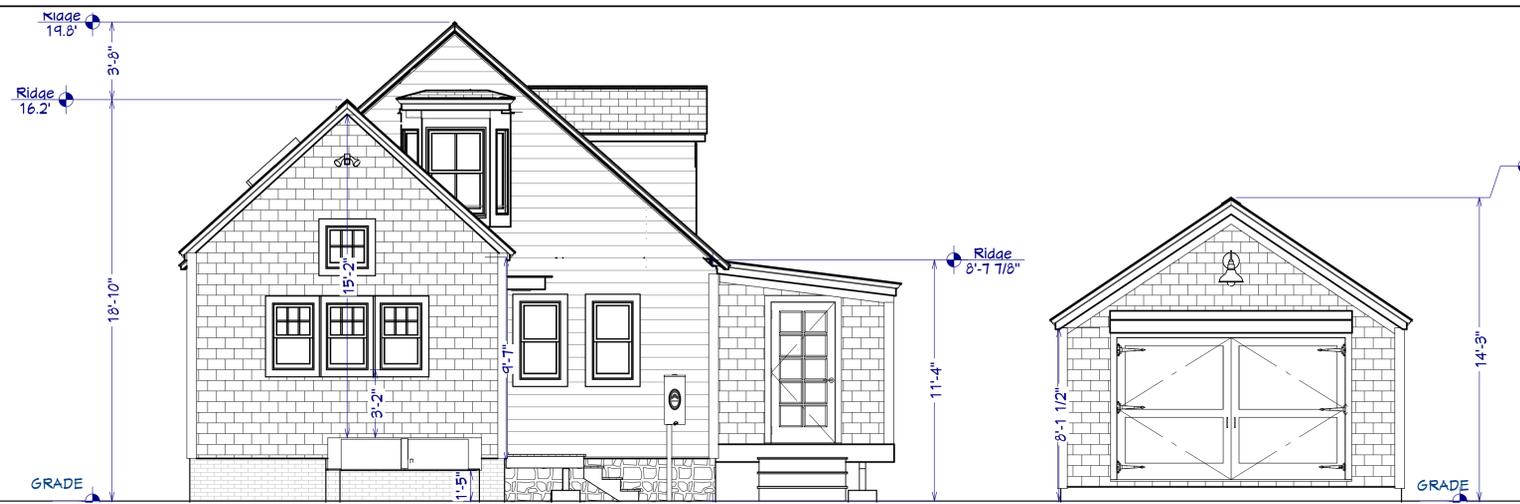
SEE SCALE ON DRAWINGS

SHEET:

A-9



ELEVATION
 SCALE: 1/2" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"



VERSION 8: CAPE WITH CAPE ADDITION

SCALE: 1/4" = 1'-0"

PROPOSED SOUTH ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"



EXISTING VIEW FROM WATER



EXAMPLE OF A CONNECTOR - ST. JOHN'S CHURCH



Number	Date	Description

ELEVATIONS

CLIENT:
 ABRIGO HOME
 BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 207.345.6050

DATE:

3/21/2023

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SCALED FOR:
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-10



EXISTING SOUTH ELEVATION | FRONT VIEW

SCALE: 1/8" = 1'-0"



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"



VERSION 8: CAPE WITH CAPE ADDITION

SCALE: 1/4" = 1'-0"

PROPOSED EAST ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"



EXISTING FRONT HOUSE



EXISTING VIEW OF ENTRY AND MUDROOM AREA

PRELIMINARY NOT FOR CONSTRUCTION



EXISTING FRONT DOOR



EXISTING 15-LITE FRENCH DOOR

PROPOSED 15 LITE DOOR TO MATCH IN PRIMARY
PROPOSED TRANSOM INSTALLED OVER THIS RELOCATED 15-LITE DOOR



INCANDESCENT BULB_40W

NIGHT SKY COMPLIANT
BRONZE FINISH



Revision Table	
Number	Date

ELEVATIONS

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

3/21/2023

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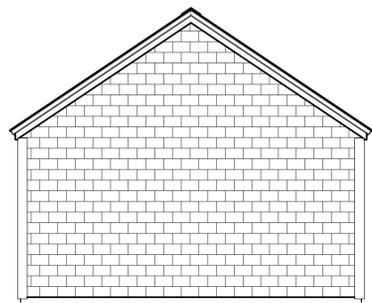
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

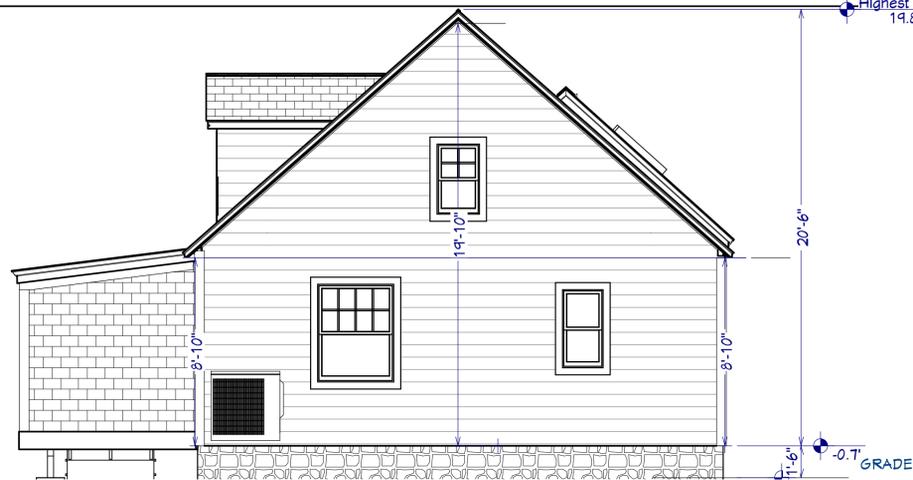
SHEET:

A-11
ELEVATIONS



EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING PHOTOS



SOUTH SIDE VIEW



REAR VIEW



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

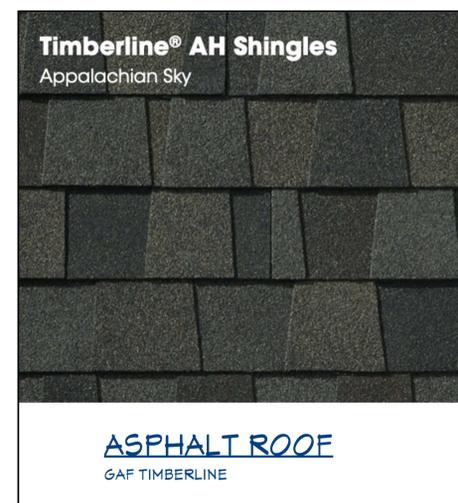


VERSION 8: CAPE WITH CAPE ADDITION

SCALE: 1/4" = 1'-0"

PROPOSED NORTH ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"



LINE LEGEND

	= EXISTING
	= PROPOSED



Revision Table	
Number	Date

ELEVATIONS

CLIENT:
 ABRIGO HOME
 BARBONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 FORTSMOUTH, NH 03801
 207.345.6050

DATE:

3/21/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-12



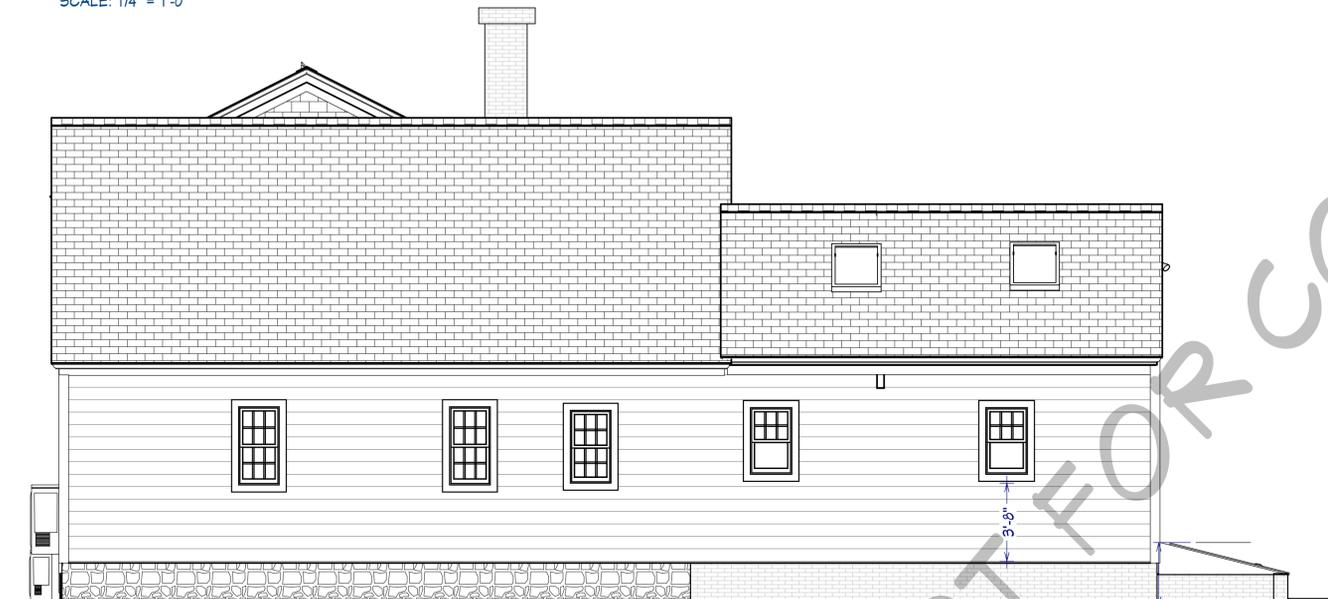
EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING PHOTO

SCALE: NTS



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"



VERSION 8: CAPE WITH CAPE ADDITION

SCALE: 1/4" = 1'-0"

PROPOSED WEST ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"



Revision Table	
Number	Date

ELEVATIONS

CLIENT:
 ABRIGO HOME
 BARBONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 FORTSMOUTH, NH 03801
 207.345.6050

DATE:
 3/21/2023

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SCALED FOR:
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-13
 ELEVATIONS



LANDSCAPING PERSPECTIVE

PLANT SCHEDULE				
3D ELEVATION	NUMBER	QTY	COMMON NAMES	SCIENTIFIC NAME
	F01	3	RHODODENDRON	RHODODENDRON
	F02	16	PLANTAIN LILY	HOSTA
	F03	4	EASTERN ARBORVITAE, AMERICAN ARBORVITAE, NORTHERN WHITE CEDAR	THUJA OCCIDENTALIS
	F04	16	FORCUPINE GRASS	MISCANTHUS SINENSIS



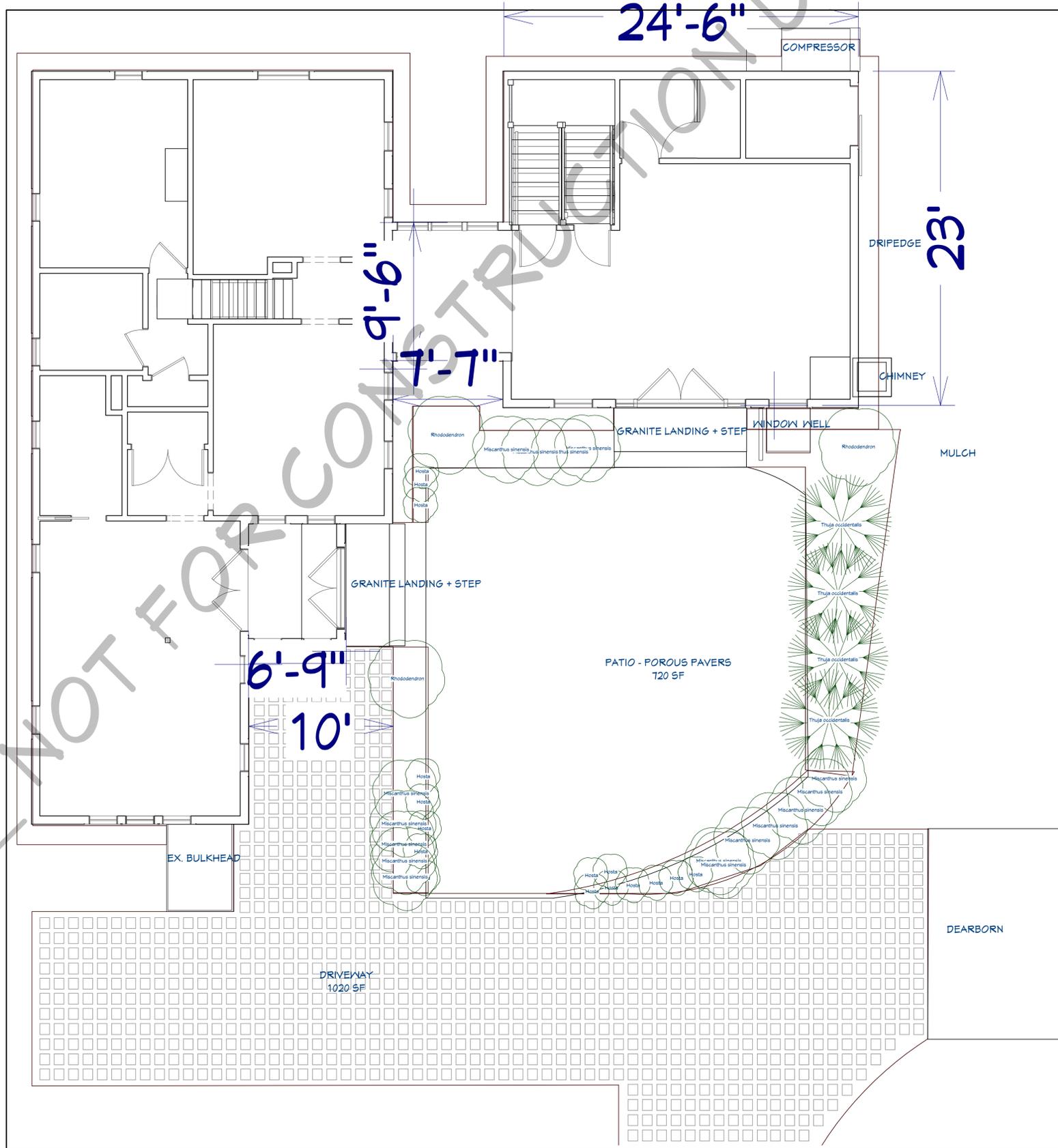
DRIVEWAY PAVERS
GRANITE SQUARE POROUS 1/4" GRASS INSTALL



COURTYARD PAVERS
GRANITE SQUARE POROUS INSTALLATION

LANDSCAPE PLAN

SCALE: 1/4" = 1'-0"



NOTE: COURTYARD CREATED WITH PAVERS INSTALLED ACCORDING TO CONSERVATION COMMISSION



Revision Table	
Number	Date

LANDSCAPE PLAN

CLIENT:
BARBORG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
201.345.6050

DATE:
3/21/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

L-1

Land Use Application

LU-23-34

Applicant

 Michael Street
 6037786300
 michael@cpmanagement.com

Primary Location

500 MARKET ST
Portsmouth, NH 03801

Applicant Information

Please indicate your relationship to this project

B. Property Owner's Representative

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

--

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure
true

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

--

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

Appeal of an Administrative Decision or Request for Equitable Waiver

--

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

--

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

--

Request for Extension of Previously Granted Land Use Approval

--

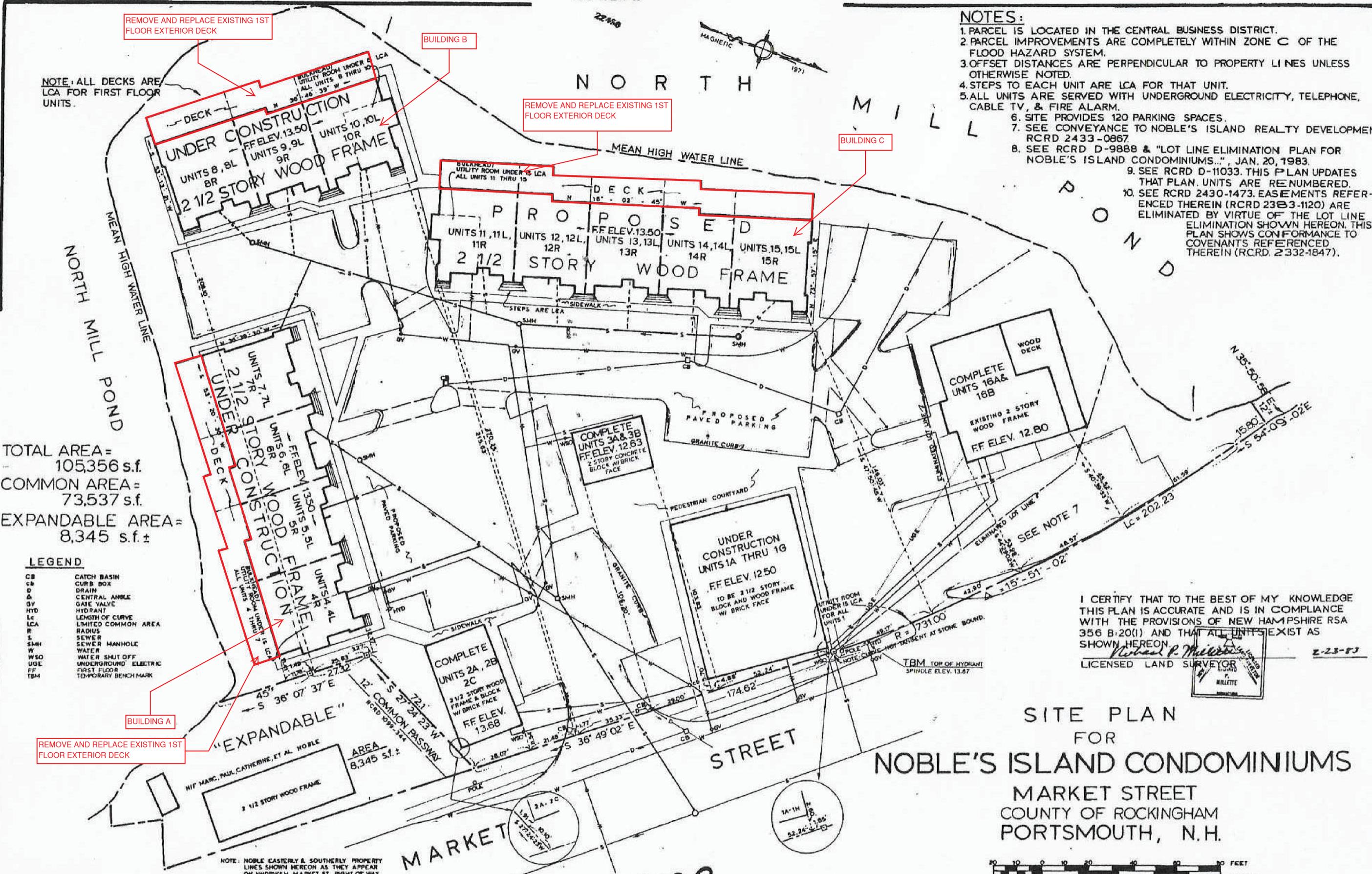
NOTES:

1. PARCEL IS LOCATED IN THE CENTRAL BUSINESS DISTRICT.
2. PARCEL IMPROVEMENTS ARE COMPLETELY WITHIN ZONE C OF THE FLOOD HAZARD SYSTEM.
3. OFFSET DISTANCES ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED.
4. STEPS TO EACH UNIT ARE LCA FOR THAT UNIT.
5. ALL UNITS ARE SERVED WITH UNDERGROUND ELECTRICITY, TELEPHONE, CABLE TV, & FIRE ALARM.
6. SITE PROVIDES 120 PARKING SPACES.
7. SEE CONVEYANCE TO NOBLE'S ISLAND REALTY DEVELOPMENT RCRD 2433-0867.
8. SEE RCRD D-9888 & "LOT LINE ELIMINATION PLAN FOR NOBLE'S ISLAND CONDOMINIUMS..." JAN. 20, 1983.
9. SEE RCRD D-11033. THIS PLAN UPDATES THAT PLAN. UNITS ARE RE-NUMBERED.
10. SEE RCRD 2430-1473. EASEMENTS REFERENCED THEREIN (RCRD 2303-1120) ARE ELIMINATED BY VIRTUE OF THE LOT LINE ELIMINATION SHOWN HEREON. THIS PLAN SHOWS CONFORMANCE TO COVENANTS REFERENCED THEREIN (RCRD. 2332-1847).

N O R T H

M I L L

P O N D



TOTAL AREA = 105,356 s.f.
 COMMON AREA = 73,537 s.f.
 EXPANDABLE AREA = 8,345 s.f.±

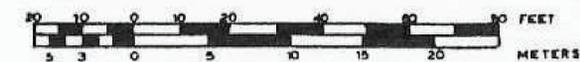
LEGEND

- CB CATCH BASIN
- CB BOX CURB BOX
- DRAIN
- CA CENTRAL ANGLE
- GV GATE VALVE
- HYD HYDRANT
- LCA LENGTH OF CURVE
- LCA LIMITED COMMON AREA
- R RADIUS
- SMH SEWER MANHOLE
- W WATER
- WSO WATER SHUT OFF
- UOE UNDERGROUND ELECTRIC
- FF FIRST FLOOR
- TBM TEMPORARY BENCH MARK

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND IS IN COMPLIANCE WITH THE PROVISIONS OF NEW HAMPSHIRE RSA 356 B:20(i) AND THAT ALL UTILITIES EXIST AS SHOWN HEREON.

Richard P. Millette
 LICENSED LAND SURVEYOR
 2-23-83

SITE PLAN FOR
 NOBLE'S ISLAND CONDOMINIUMS
 MARKET STREET
 COUNTY OF ROCKINGHAM
 PORTSMOUTH, N.H.



SCALE: 1" = 20'

JANUARY 20, 1983

PORTSMOUTH PLANNING BOARD
Edward Clarke 2-25-83

For Recording Purposes Only -
 Not a sub-division.

D-11709
 Sheet 1 of 8

RICHARD P. MILLETTE AND ASSOC. THE HILL PORTSMOUTH, NH 0380'

20089 500 Market St / Portsmouth, NH
Photographs taken by Aaron Wilson, P.E.

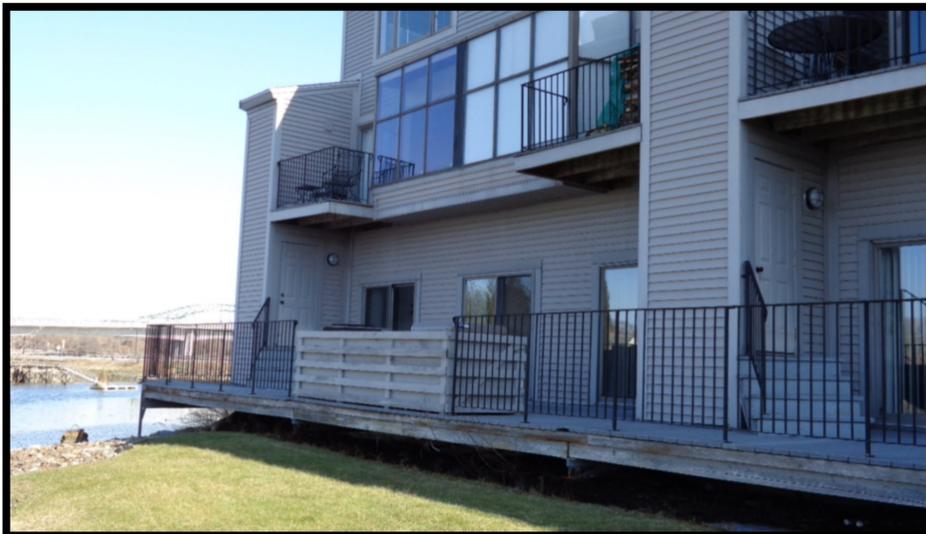
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DSC00545 3/26/2020 9:03:42 AM



DSC00551 3/26/2020 9:05:16 AM



DSC00552 3/26/2020 9:05:24 AM



DSC00553 3/26/2020 9:05:32 AM



DSC00558 3/26/2020 9:08:02 AM

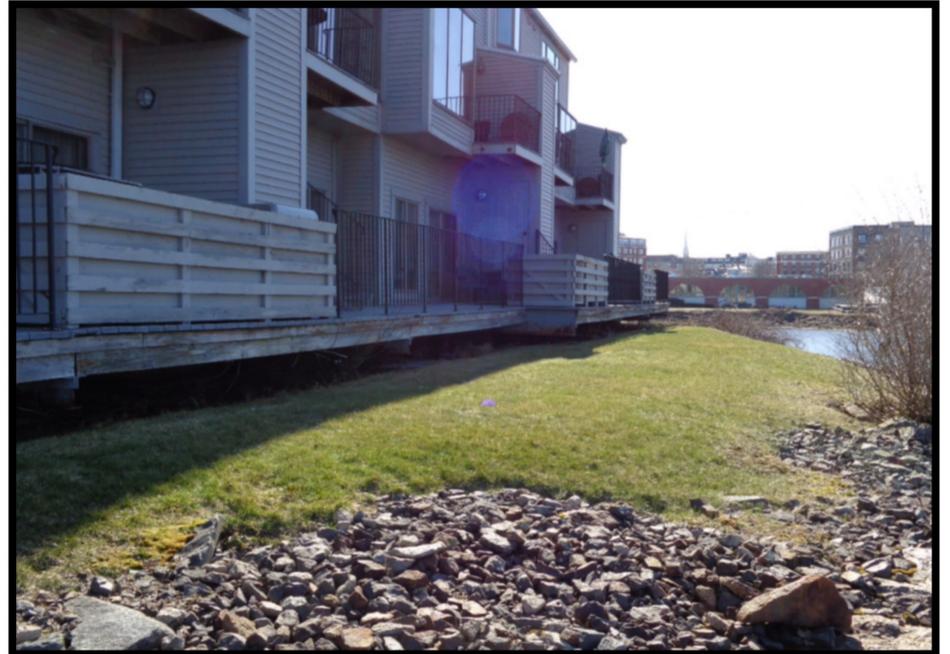


20089 500 Market St / Portsmouth, NH
Photographs taken by Aaron Wilson, P.E.

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DSC00560 3/26/2020 9:08:22 AM



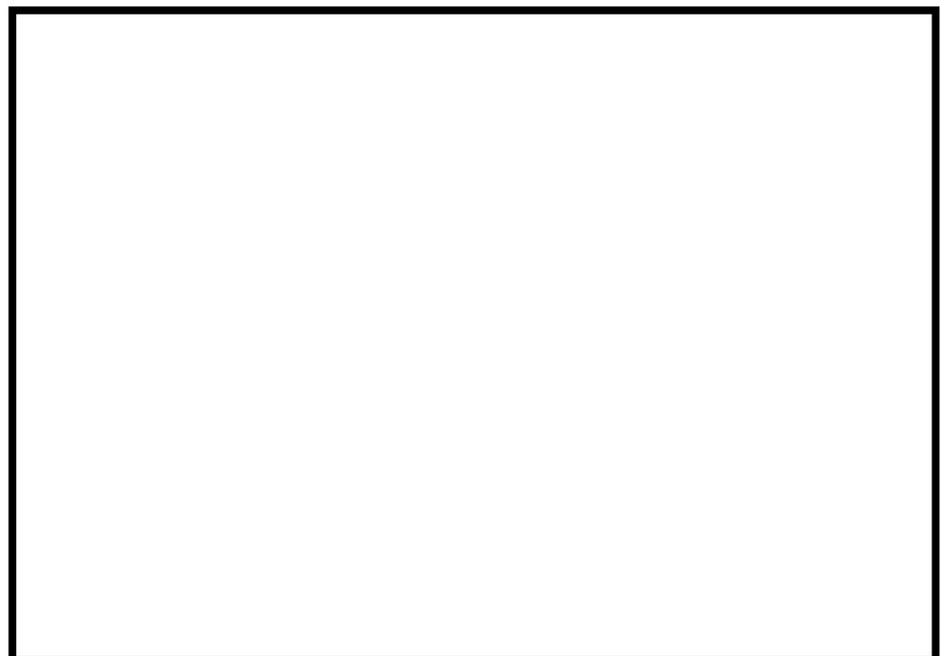
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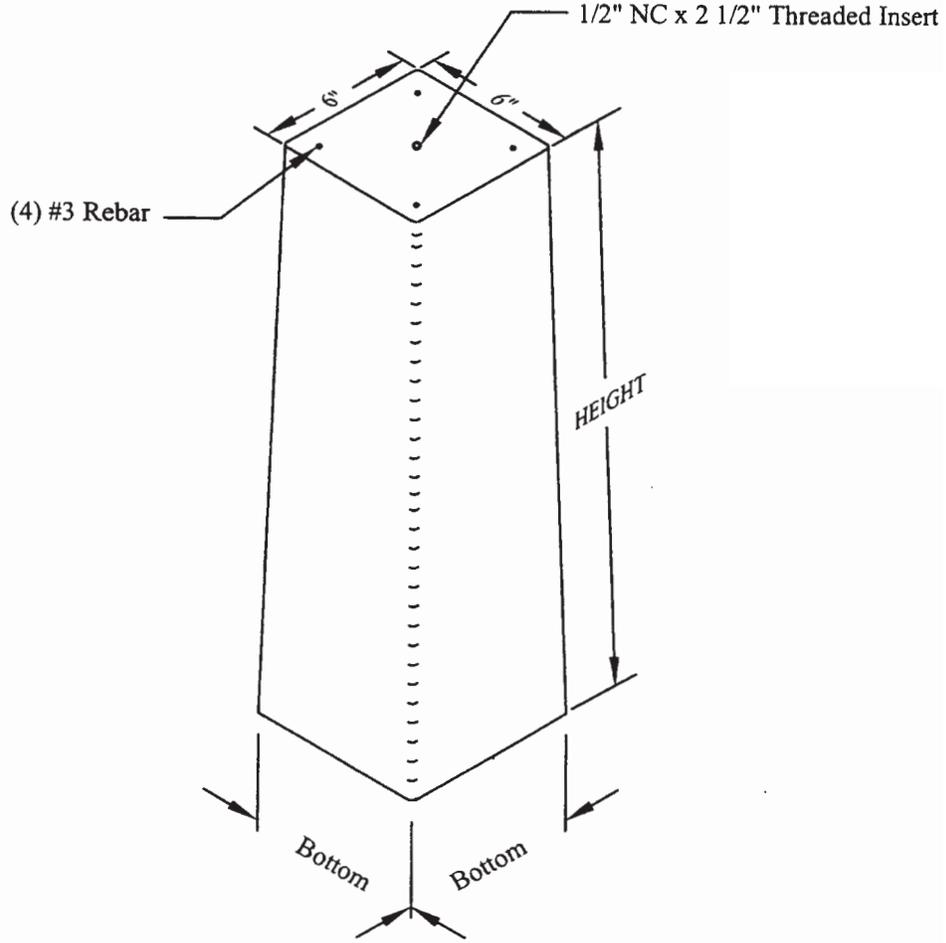


20089 18 9/17/2020 2:23:42 PM



20089 20 9/17/2020 2:26:14 PM



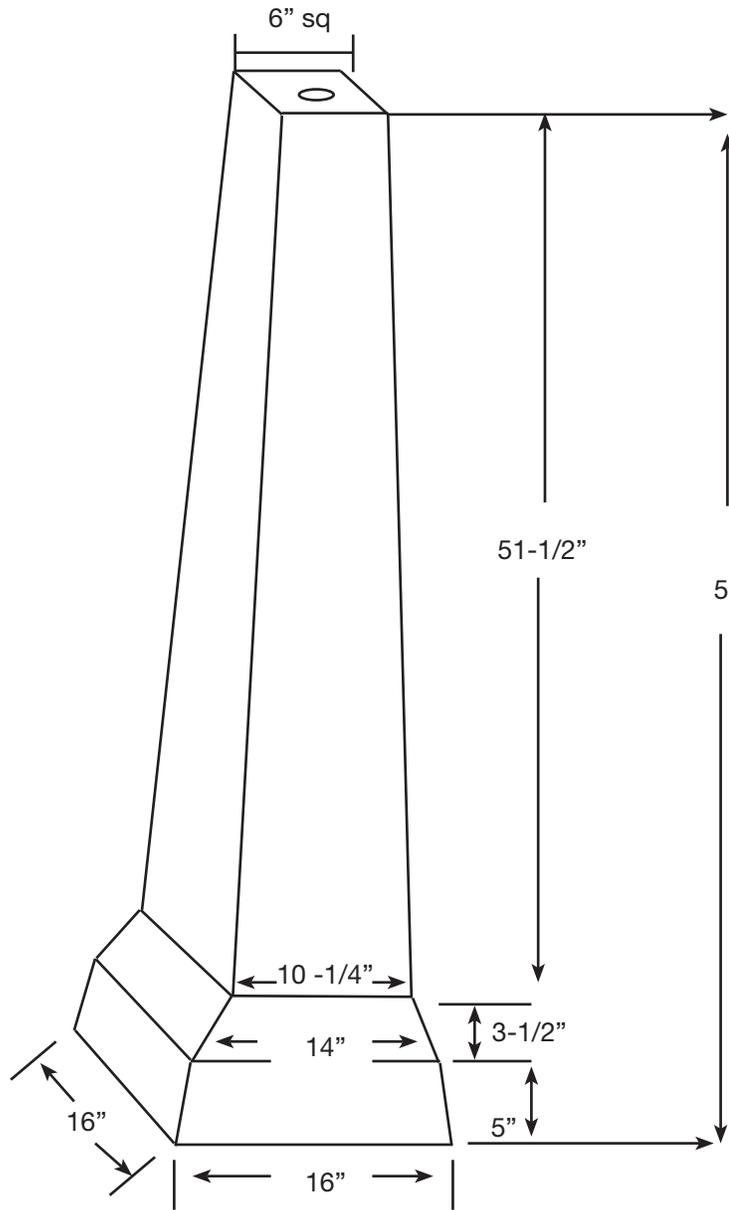


ELEVATION

Height (Feet)	Bottom (Inches)	Item #	Weight
4'-0"	9"	21740	230 lbs.
5'-0"	10"	21750	340 lbs.
6'-0"	11"	21760	450 lbs.

DESIGN NOTES:

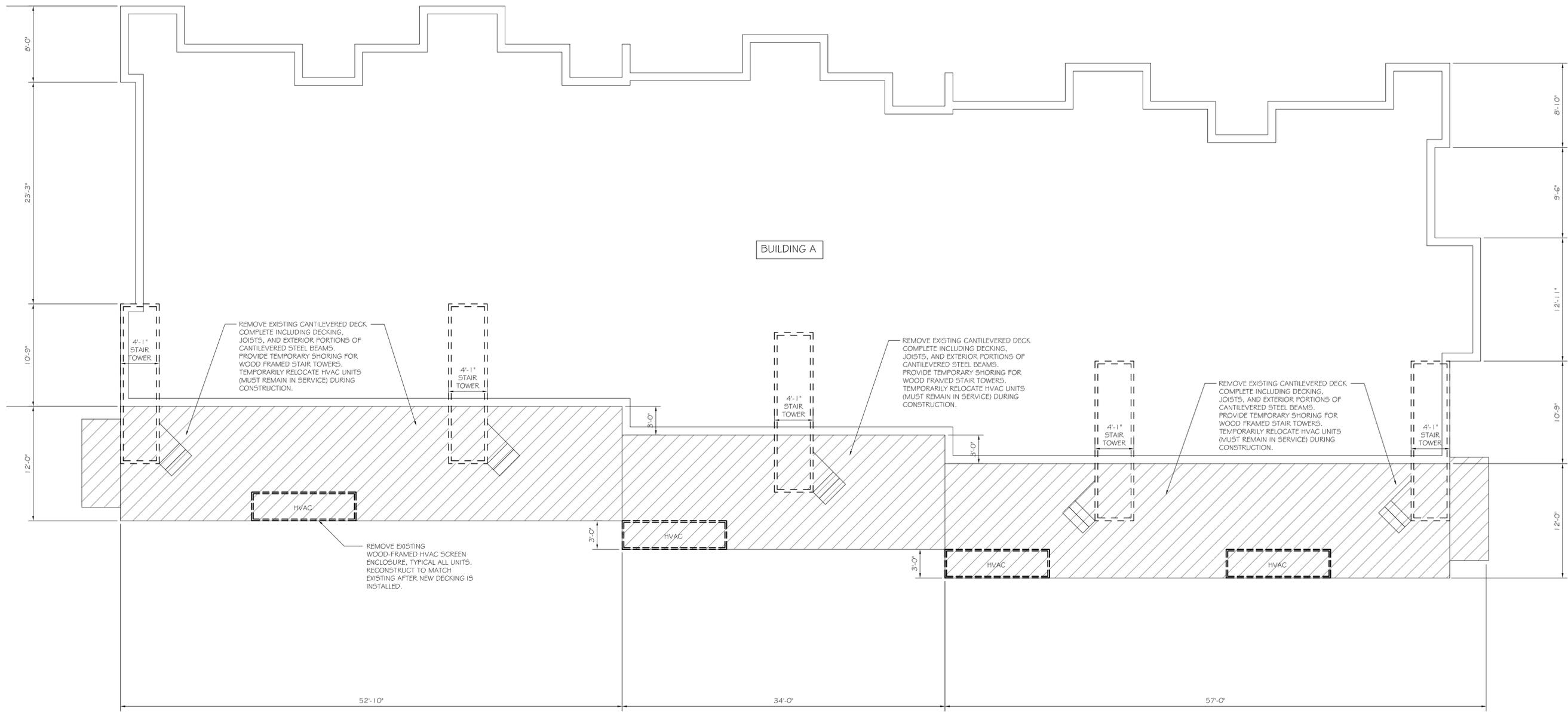
- 1) Concrete Mix Design is 4,000 PSI standard at 28 days, Type 3 Cement.
- 2) Reinforcing Steel ASTM A 615, Grade 60
- 2) Smooth Finish on all exposed surfaces.



Design Notes:

1. Concrete Mix Design is 5,000 PSI standard at 28 days, Type 3 Cement.
2. Reinforced Steel ASTM A 615, Grade 60.
3. Smooth Finish on all exposed surfaces.

DEMOLITION NOTES
 1. REMOVE AND SALVAGE EXISTING WOOD FRAMED STEPS AT SECONDARY EGRESS TOWERS. REPAIR/RECONSTRUCT STEPS IF DAMAGED OR DETERIORATED (LIKE KIND). RE-INSTALL AFTER NEW DECK IS CONSTRUCTED. PROVIDE TEMPORARY STEPS TO GRADE DURING CONSTRUCTION FOR SECONDARY EGRESS REQUIREMENTS.



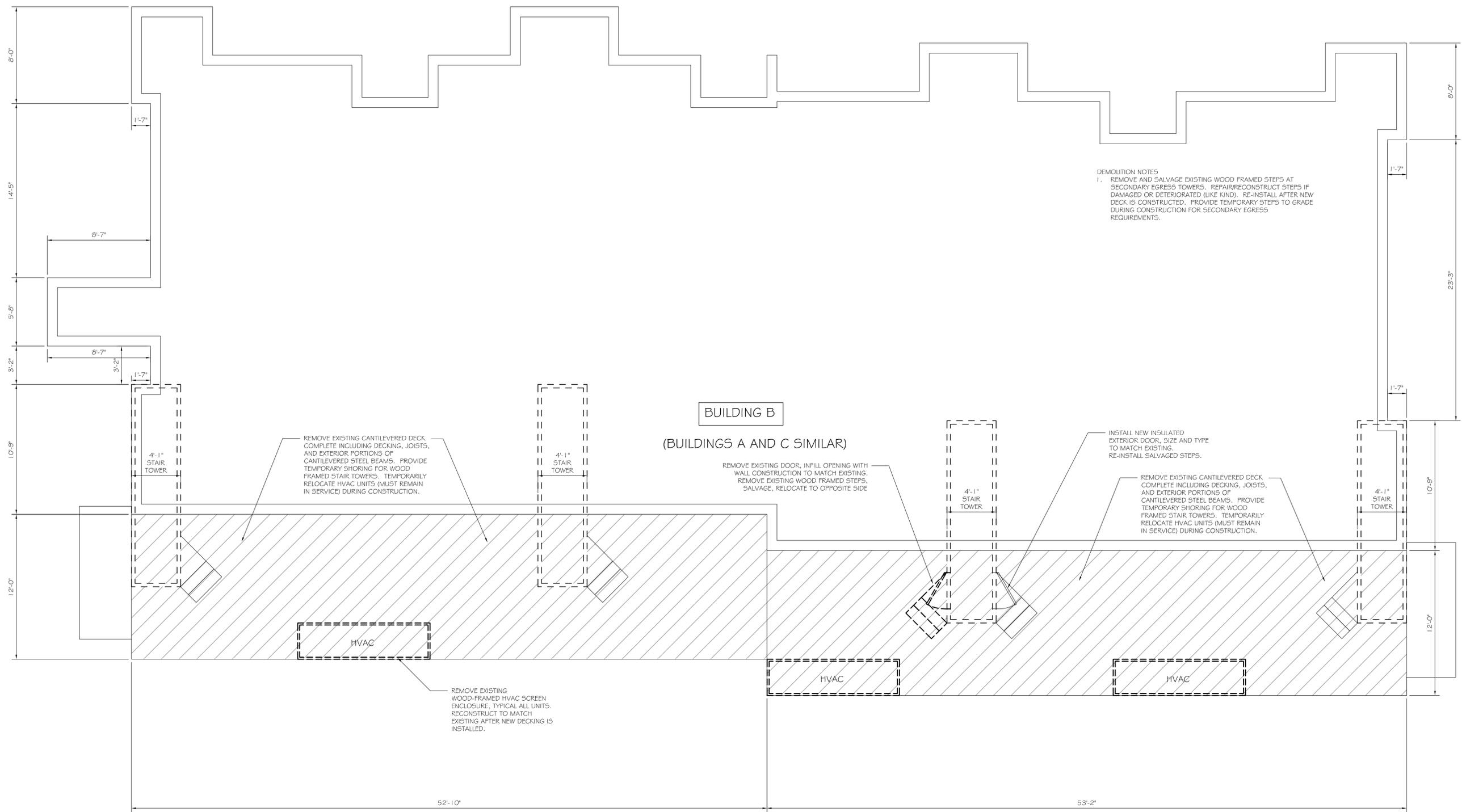
ASSOCIATED DESIGN PARTNERS INC.
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com
 80 Leighton Road
 Falmouth, Maine 04105

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PROJECT: **500 MARKET ST PORTSMOUTH, NH**
 FOR:
 SHEET TITLE: **DEMOLITION PLAN - BUILDING A**
CONCEPTUAL - NOT FOR CONSTRUCTION

NO.	BY	DESCRIPTION	DATE

DATE : 2/12/21
 SCALE : 3/16" = 1'-0"
 DESIGN BY: ASW
 DRAWN BY: ASW
 FILE #:
 PROJECT NUMBER:
20089
 SHEET NO:
50-A



DEMOLITION NOTES
 1. REMOVE AND SALVAGE EXISTING WOOD FRAMED STEPS AT SECONDARY EGRESS TOWERS. REPAIR/RECONSTRUCT STEPS IF DAMAGED OR DETERIORATED (LIKE KIND). RE-INSTALL AFTER NEW DECK IS CONSTRUCTED. PROVIDE TEMPORARY STEPS TO GRADE DURING CONSTRUCTION FOR SECONDARY EGRESS REQUIREMENTS.

BUILDING B
 (BUILDINGS A AND C SIMILAR)

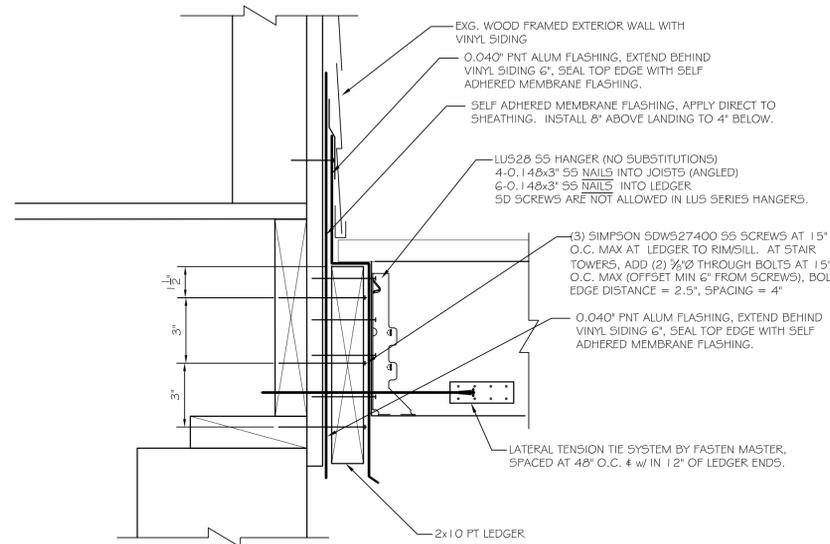
ASSOCIATED DESIGN PARTNERS INC.
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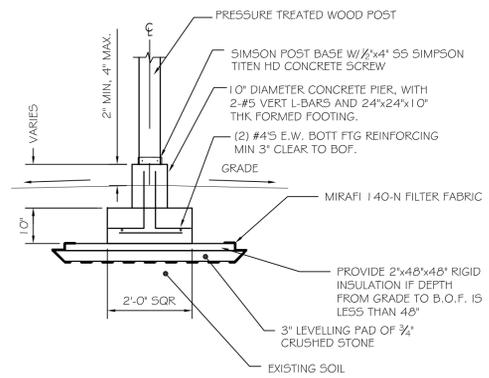
PROJECT: **500 MARKET ST PORTSMOUTH, NH**
 FOR:
 SHEET TITLE: **DEMOLITION PLAN - BUILDING B**
CONCEPTUAL - NOT FOR CONSTRUCTION

REVISIONS	DATE
No.	BY
1	ASW
2	ASW
3	ASW
4	ASW
5	ASW
6	ASW
7	ASW
8	ASW

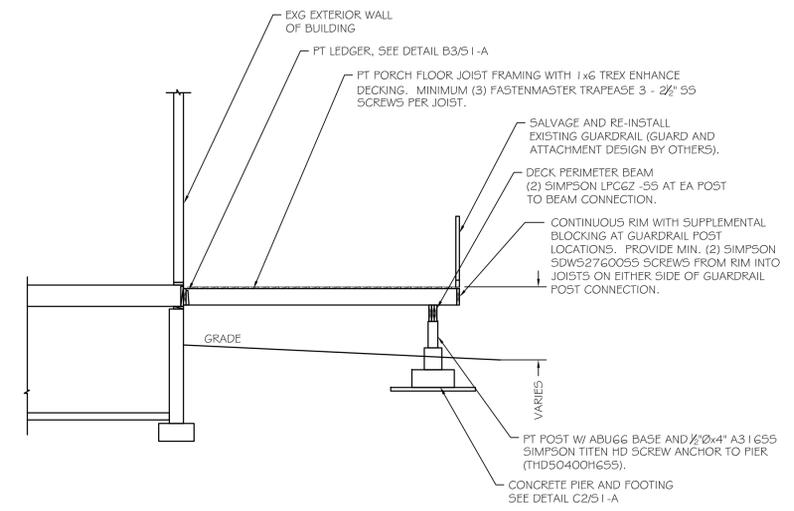
DATE : 2/12/21
 SCALE : 1/4" = 1'-0"
 DESIGN BY: ASW
 DRAWN BY: ASW
 FILE #:
 PROJECT NUMBER:
20089
 SHEET NO:
50-B



B3 LEDGER DETAIL
SCALE: NTS



B2 PIER DETAIL
SCALE: NTS

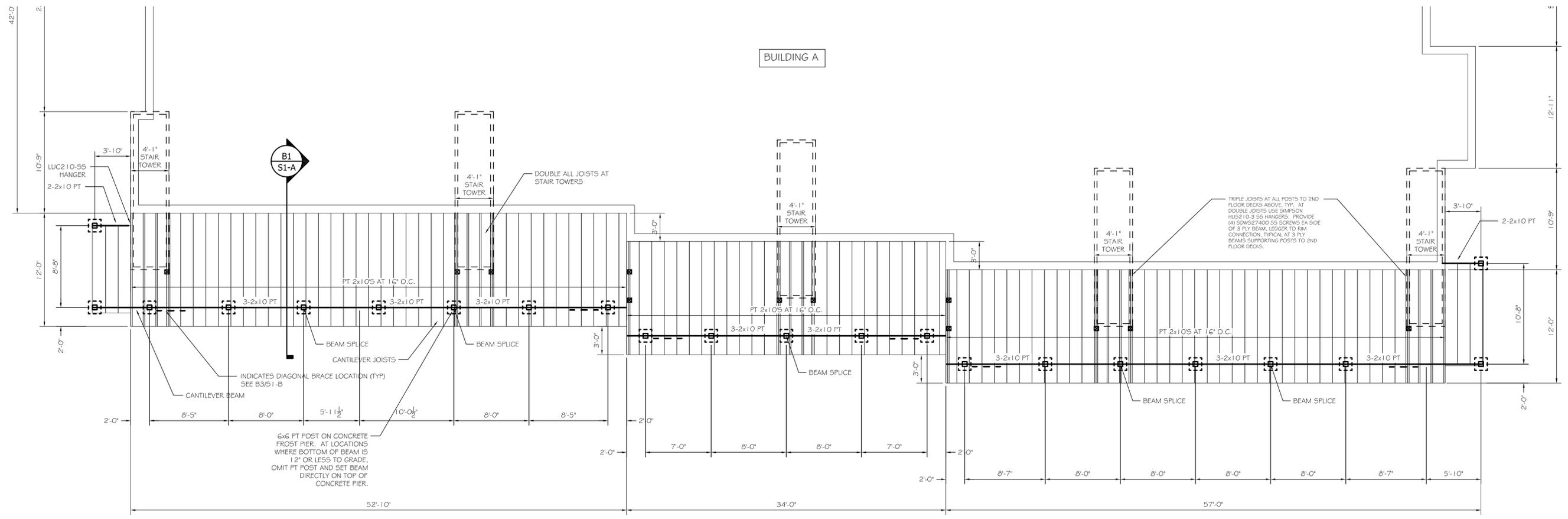


B1 DECK SECTION - BUILDING A
SCALE: 1/4\"/>

FOUNDATION NOTES:

- PIERS ARE CENTERED ON FOOTINGS, UNO.
- CONTRACTOR VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL WOOD FRAMING TO BE PT SYP #1 OR BETTER.
- ALL SIMPSON HARDWARE AND FASTENERS TO BE A316 SS.
- CONCRETE FOR PIERS AND FOOTINGS TO BE 3K51, 5% AIR.

STRUCTURAL DISCLAIMER:
THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBERS SIZES FOR NEW STRUCTURAL ELEMENTS (BEAMS, JOISTS, POSTS, PIERS, SPREAD FOOTINGS) DEPICTED ON THIS PLAN ONLY. UNLESS OTHERWISE NOTED, DESIGN AND DETAIL FOR FRAMING CONNECTIONS, EXISTING CONDITIONS, COMPONENTS AND CLADDING, RAILINGS, HANDRAILS, BALUSTERS, GUARDRAILS, FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL. OWNER/CONTRACTOR IS RESPONSIBLE TO CONSTRUCT THE BUILDING IN CONFORMANCE WITH IRC 2015 BUILDING CODE AND LOCAL ORDINANCES. USE OF THESE DRAWINGS INDICATES OWNER/CONTRACTOR AGREEMENT TO THESE TERMS.



A4 1ST FLOOR DECK FRAMING PLAN
SCALE: 3/16\"/>

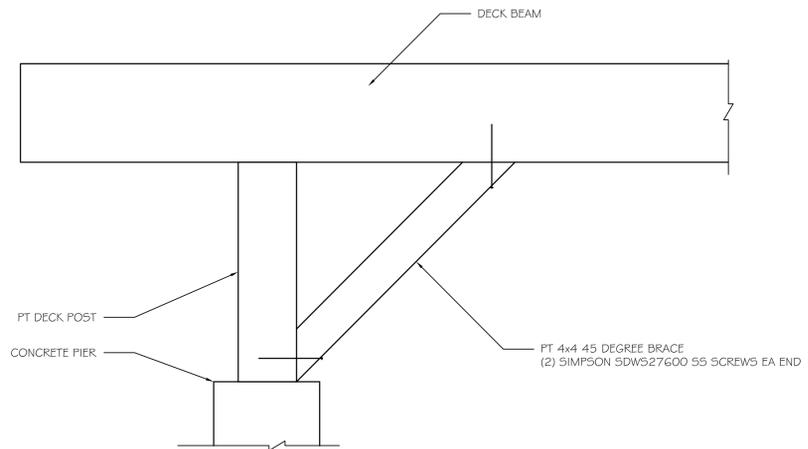
ASSOCIATED DESIGN PARTNERS INC.
Office: (207) 878-1751
80 Leighton Road
Falmouth, Maine 04105
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

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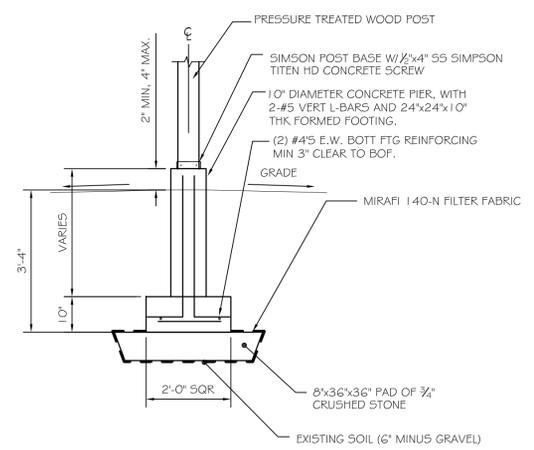
PROJECT: **500 MARKET ST PORTSMOUTH, NH**
FOR:
SHEET TITLE: **DECK FRAMING PLAN - BUILDING A**
ISSUED FOR PRICING - NOT FOR CONSTRUCTION

NO.	BY	DATE	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

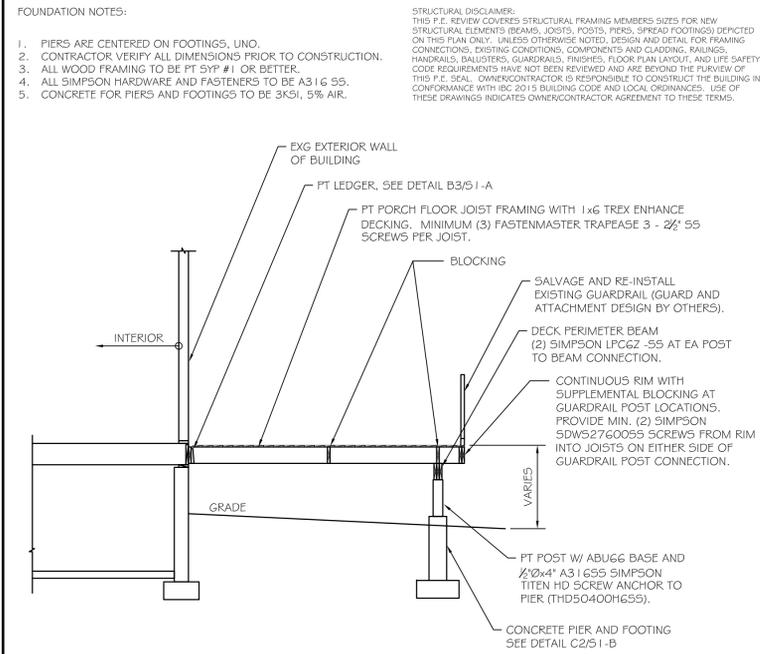
DATE : 11/14/22
SCALE : 1/4\"/>



B3 DIAGONAL BRACE DETAIL
SCALE: NTS



B2 PIER DETAIL BUILDINGS B#C
SCALE: NTS



B1 DECK SECTION - BUILDINGS B#C
SCALE: 1/4" = 1'-0"

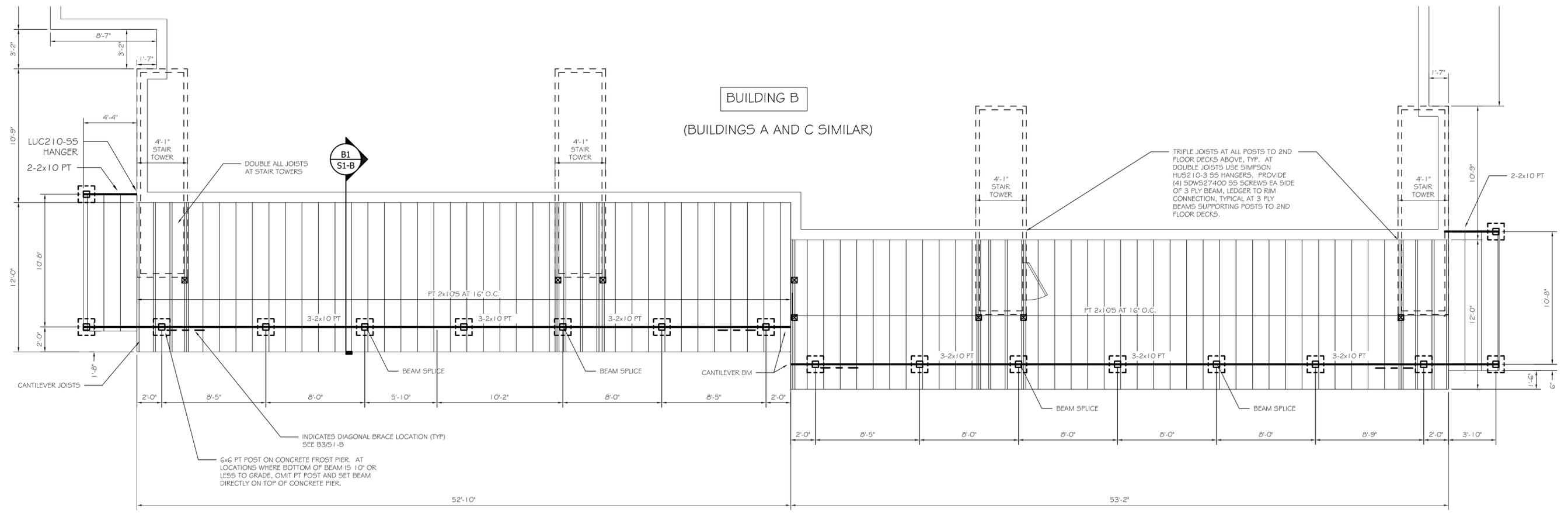
FOUNDATION NOTES:

- PIERS ARE CENTERED ON FOOTINGS, UNO.
- CONTRACTOR VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL WOOD FRAMING TO BE PT SYP #1 OR BETTER.
- ALL SIMPSON HARDWARE AND FASTENERS TO BE A316 55.
- CONCRETE FOR PIERS AND FOOTINGS TO BE 3KSI, 5% AIR.

STRUCTURAL DISCLAIMER:
THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBERS SIZES FOR NEW STRUCTURAL ELEMENTS (BEAMS, JOISTS, POSTS, PIERS, SPREAD FOOTINGS) DEPICTED ON THIS PLAN ONLY. UNLESS OTHERWISE NOTED, DESIGN AND DETAIL FOR FRAMING CONNECTIONS, EXISTING CONDITIONS, COMPONENTS AND CLADDING, RAILINGS, HANDRAILS, BAULSTERS, GUARDRAILS, FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL. OWNER/CONTRACTOR IS RESPONSIBLE TO CONSTRUCT THE BUILDING IN CONFORMANCE WITH 19C 2015 BUILDING CODE AND LOCAL ORDINANCES. USE OF THESE DRAWINGS INDICATES OWNER/CONTRACTOR AGREEMENT TO THESE TERMS.

ASSOCIATED DESIGN PARTNERS INC.
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80 Leighton Road, Falmouth, Maine 04105
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A4 1ST FLOOR DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"

PROJECT: 500 MARKET ST PORTSMOUTH, NH
SHEET TITLE: DECK FRAMING PLAN - BUILDING B
ISSUED FOR PRICING - NOT FOR CONSTRUCTION

NO.	BY	DATE	REVISIONS	DESCRIPTION
1				
2				
3				
4				
5				
6				
7				

DATE: 11/14/22
SCALE: 1/4" = 1'-0"
DESIGN BY: ASW
DRAWN BY: ASW
PROJECT NUMBER: 20089
SHEET NO: S1-B

Land Use Application

LU-23-39

Submitted On: Mar 24, 2023

Applicant

 Mark Gianniny
 603-431-0274
 mark@mchenryarchitecture.com

Primary Location

1 WALTON ALY
Portsmouth, NH 03801

Applicant Information

Please indicate your relationship to this project

B. Property Owner's Representative

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

--

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

--

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

--

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

Appeal of an Administrative Decision or Request for Equitable Waiver

--

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

--

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

--

Request for Extension of Previously Granted Land Use Approval

--

WALTON ALLEY ADDITION

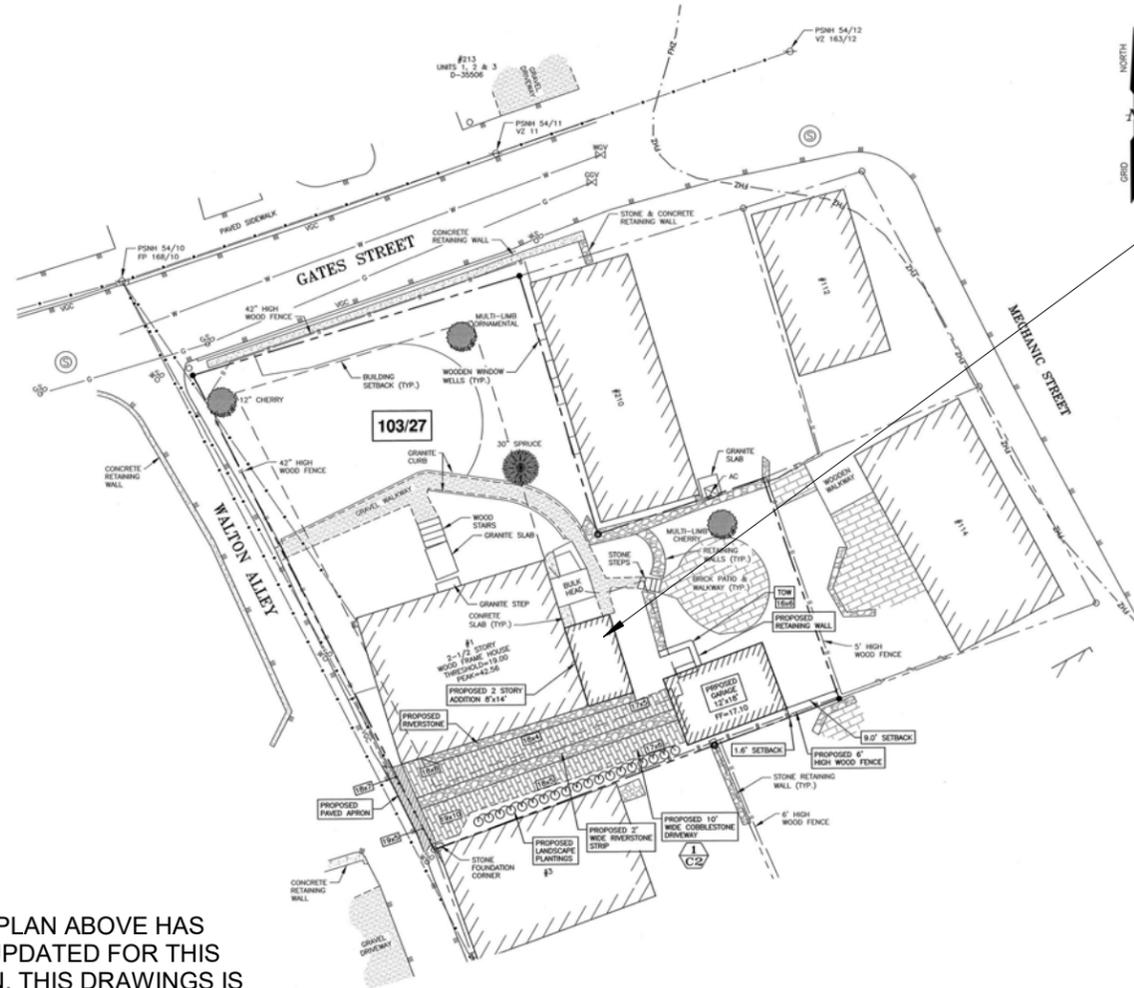
HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - APRIL 2023, PORTSMOUTH, NEW HAMPSHIRE

PROPOSED WORK CHANGES:

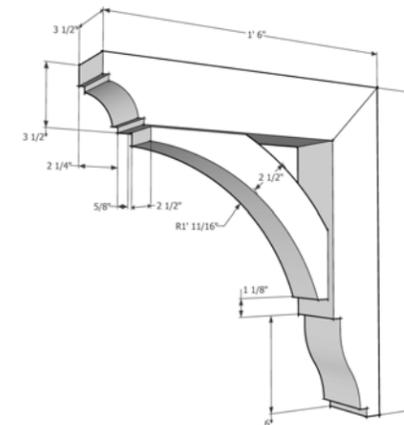
- ENLARGED OVERHANG ON REAR ENTRY DOOR
- REPLACE KITCHEN WINDOW ON WEST ELEVATION
- ADD TWO SECOND FLOOR WINDOWS
- REVERT TO ORIGINAL ATTIC WINDOW ON EAST ELEVATION



1 WALTON ALLEY
PORTSMOUTH, NH 03801



NOTE: SITE PLAN ABOVE HAS NOT BEEN UPDATED FOR THIS SUBMISSION, THIS DRAWINGS IS FOR CONTEXT ONLY



TIMBERBUILD WOODEN BRACKET: 02T24

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WALTON ALLEY ADDITION

1 WALTON ALLEY
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
APPROVAL - APRIL 5TH, 2023

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

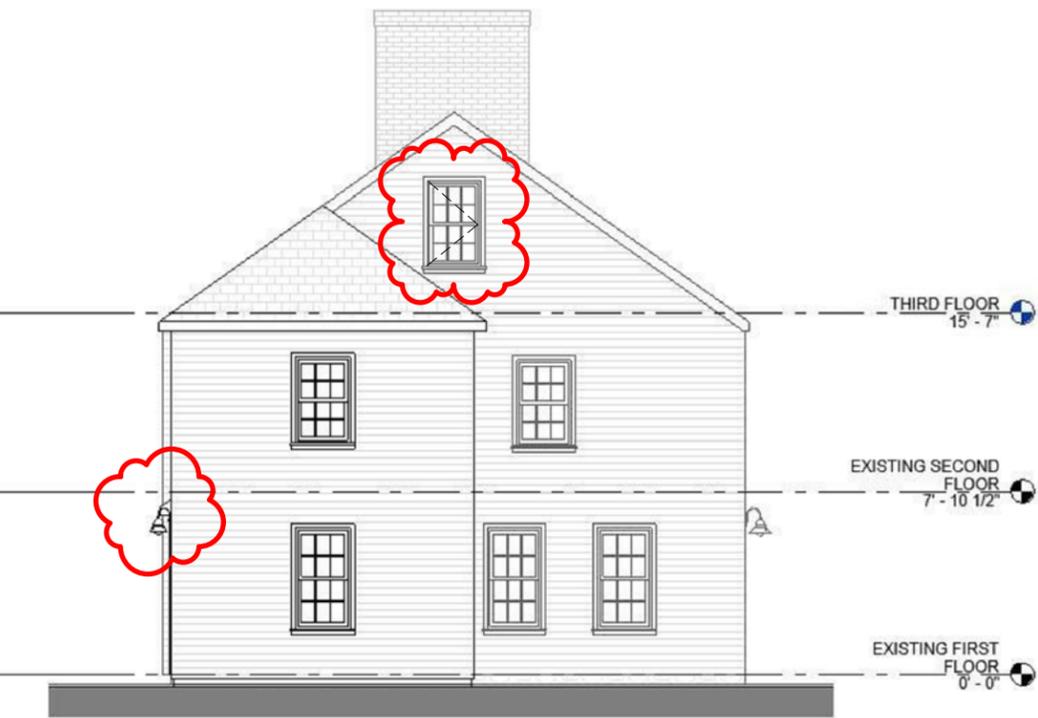
C

03/20/2023
McHA: RD / MG
NOT TO SCALE

PREVIOUSLY APPROVED

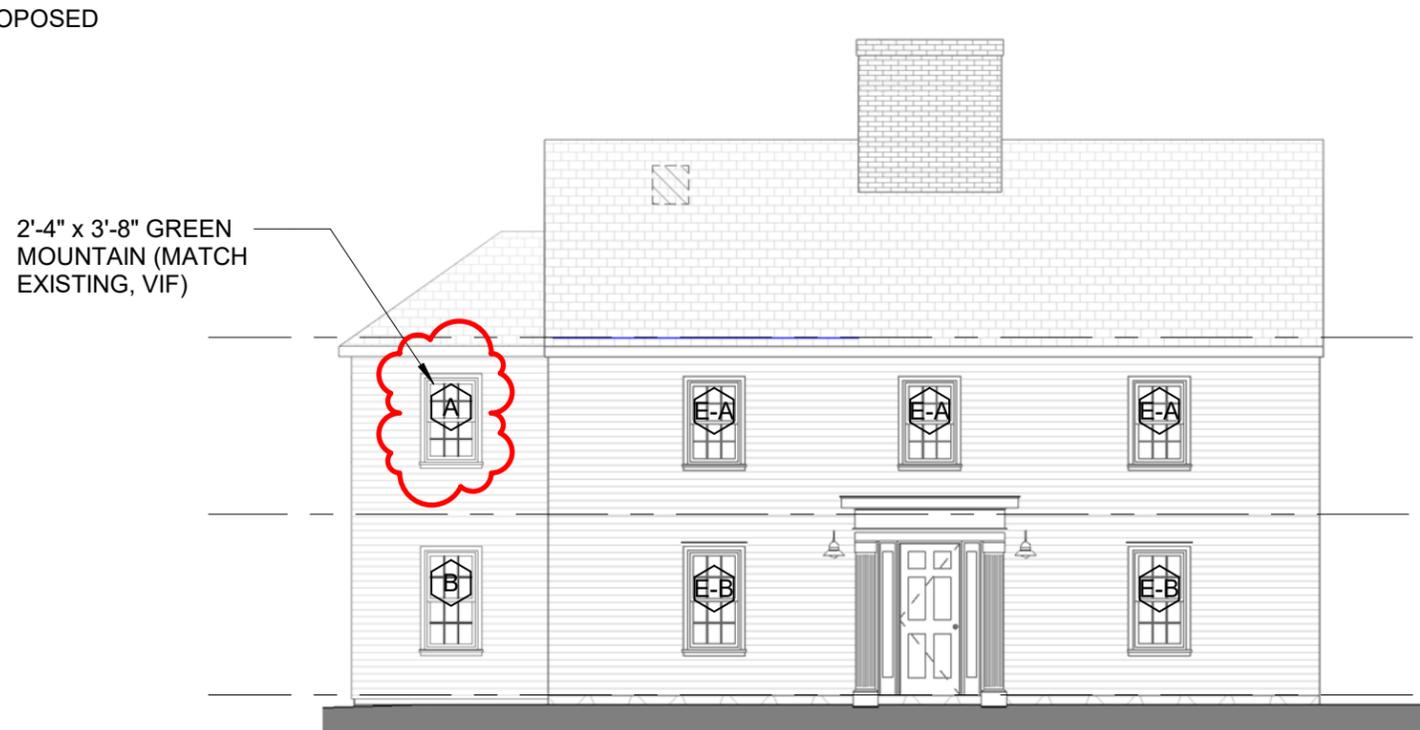


1 NORTH ELEVATION
1/4" = 1'-0"

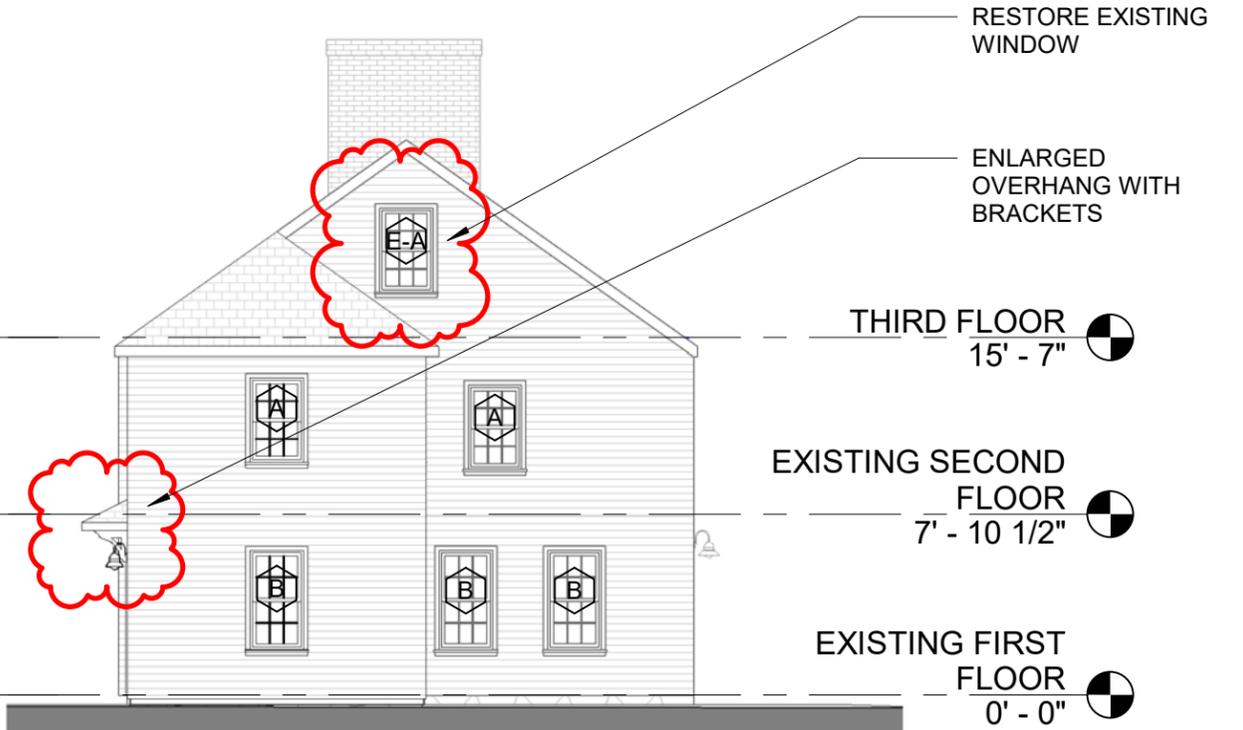


2 EAST ELEVATION
1/4" = 1'-0"

PROPOSED



1 NORTH ELEVATION HDC
1/8" = 1'-0"



2 EAST ELEVATION HDC
1/8" = 1'-0"

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WALTON ALLEY ADDITION

1 WALTON ALLEY
PORTSMOUTH, NH 03801

PROPOSED CHANGES

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
APPROVAL - APRIL 5TH, 2023

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A1

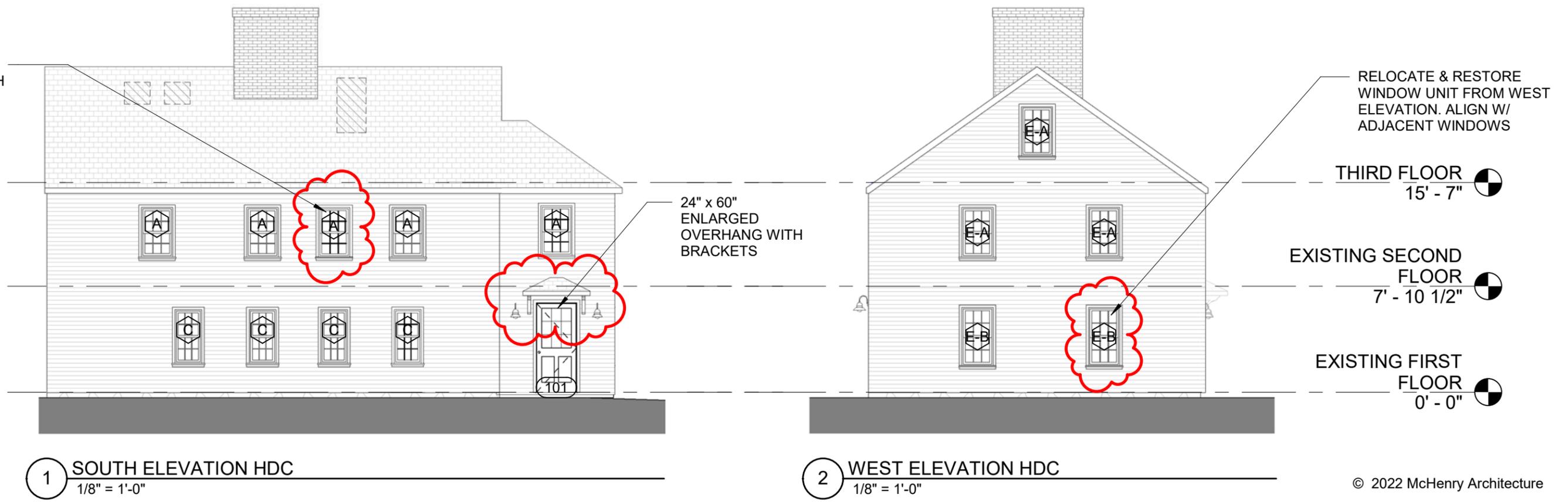
03/20/2023
McHA: RD /MG
AS INDICATED

PREVIOUSLY APPROVED



PROPOSED

2'-4" x 3'-8" GREEN MOUNTAIN (MATCH EXISTING, VIF)



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WALTON ALLEY ADDITION
 1 WALTON ALLEY
 PORTSMOUTH, NH 03801

PROPOSED CHANGES
 HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
 APPROVAL - APRIL 5TH, 2023

McHENRY ARCHITECTURE
 4 Market Street
 Portsmouth, New Hampshire

A2

03/20/2023
 McHA: RD / MG
 NOT TO SCALE

Land Use Application

LU-23-38

Submitted On: Mar 24, 2023

Applicant

 Gary Lowe
 6034962850
 lowegary@gmail.com

Primary Location

105 SOUTH ST
Portsmouth, NH 03801

Applicant Information

Please indicate your relationship to this project

A. Property Owner

Alternative Project Address

Alternative Project Address

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Project Type

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Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

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Request for Extension of Previously Granted Land Use Approval

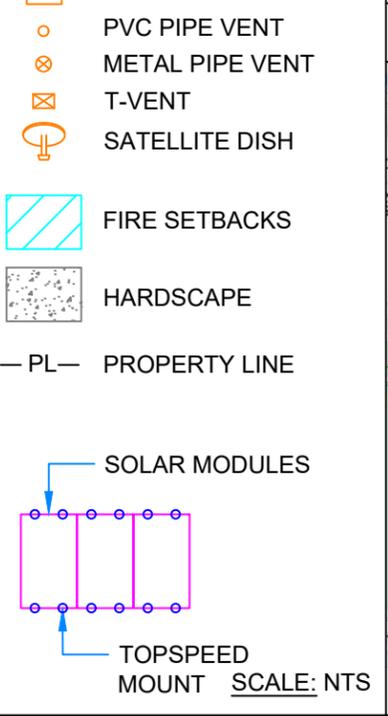
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SHEET INDEX	
PAGE #	DESCRIPTION
PV-1.0	COVER SHEET
PV-2.0	SITE PLAN
PV-3.0	LAYOUT
PV-4.0	ELECTRICAL
PV-5.0	SIGNAGE

ABBREVIATIONS	
A	AMPERE
AC	ALTERNATING CURRENT
AFC	ARC FAULT CIRCUIT INTERRUPTER
AZIM	AZIMUTH
COMP	COMPOSITION
DC	DIRECT CURRENT
(E)	EXISTING
ESS	ENERGY STORAGE SYSTEM
EXT	EXTERIOR
INT	INTERIOR
MSP	MAIN SERVICE PANEL
(N)	NEW
NTS	NOT TO SCALE
OC	ON CENTER
PRE-FAB	PRE-FABRICATED
PSF	POUNDS PER SQUARE FOOT
PV	PHOTOVOLTAIC
RSD	RAPID SHUTDOWN DEVICE
TL	TRANSFORMERLESS
TYP	TYPICAL
V	VOLTS
W	WATTS
LAN	LANDSCAPE
POR	PORTRAIT

SE	SERVICE ENTRANCE
MP	MAIN PANEL
SP	SUB-PANEL
LC	PV LOAD CENTER
SM	SUNRUN METER
PM	DEDICATED PV METER
INV	INVERTER(S)
AC	AC DISCONNECT(S)
DC	DC DISCONNECT(S)
CB	IQ COMBINER BOX
[Dashed Box]	INTERIOR EQUIPMENT SHOWN AS DASHED
[Chimney]	CHIMNEY
[Attic Vent]	ATTIC VENT
[Flush Attic Vent]	FLUSH ATTIC VENT
[PVC Pipe Vent]	PVC PIPE VENT
[Metal Pipe Vent]	METAL PIPE VENT
[T-Vent]	T-VENT
[Satellite Dish]	SATELLITE DISH
[Fire Setbacks]	FIRE SETBACKS
[Hardscape]	HARDSCAPE
— PL —	PROPERTY LINE
[Solar Modules]	SOLAR MODULES
[TopSpeed Mount]	TOPSPEED MOUNT

- SYSTEM SIZE: 4680W DC, 3800W AC
- MODULES: (12) TRINA SOLAR: TSM-390DE09C.07
- INVERTERS: (1) SOLAREEDGE TECHNOLOGIES: SE3800H-USSN
- RACKING: TOPSPEED, SEE DETAIL SNR-DC-30004
- SERVICE ENTRANCE CONDUCTORS TO BE REPLACED.



- ALL WORK SHALL COMPLY WITH 2018 IRC/IBC/IEBC, MUNICIPAL CODE, AND ALL MANUFACTURERS' LISTINGS AND INSTALLATION INSTRUCTIONS.
- PHOTOVOLTAIC SYSTEM WILL COMPLY WITH NEC 2020.
- ELECTRICAL SYSTEM GROUNDING WILL COMPLY WITH NEC 2020.
- PHOTOVOLTAIC SYSTEM IS UNGROUNDED. NO CONDUCTORS ARE SOLIDLY GROUNDED IN THE INVERTER. SYSTEM COMPLIES WITH 690.35.
- MODULES CONFORM TO AND ARE LISTED UNDER UL 1703.
- INVERTER CONFORMS TO AND IS LISTED UNDER UL 1741.
- RACKING CONFORMS TO AND IS LISTED UNDER UL 2703.
- SNAPNRACK RACKING SYSTEMS, IN COMBINATION WITH TYPE I, OR TYPE II MODULES, ARE CLASS A FIRE RATED.
- RAPID SHUTDOWN REQUIREMENTS MET WHEN INVERTERS AND ALL CONDUCTORS ARE WITHIN ARRAY BOUNDARIES PER NEC 690.12(1).
- CONSTRUCTION FOREMAN TO PLACE CONDUIT RUN PER 690.31(G).
- ARRAY DC CONDUCTORS ARE SIZED FOR DERATED CURRENT.
- 13.35 AMPS MODULE SHORT CIRCUIT CURRENT.
- 20.85 AMPS DERATED SHORT CIRCUIT CURRENT [690.8 (A) & 690.8 (B)].

REV	NAME	DATE	COMMENTS



#180120

200 RESEARCH DR, WILMINGTON, MA 01887
PHONE 888.657.6527
FAX 805.528.9701

CUSTOMER RESIDENCE:
GARY LOWE
105 SOUTH ST, PORTSMOUTH, NH, 03801

TEL: (603) 496-2850
APN: PRSM-000110-000011

PROJECT NUMBER:
222R-105LOWE

DESIGNER: (415) 580-6920 ex3
RIA CAPISTRANO

SHEET
COVER SHEET

REV: A1 3/11/2023

PAGE
PV-1.0



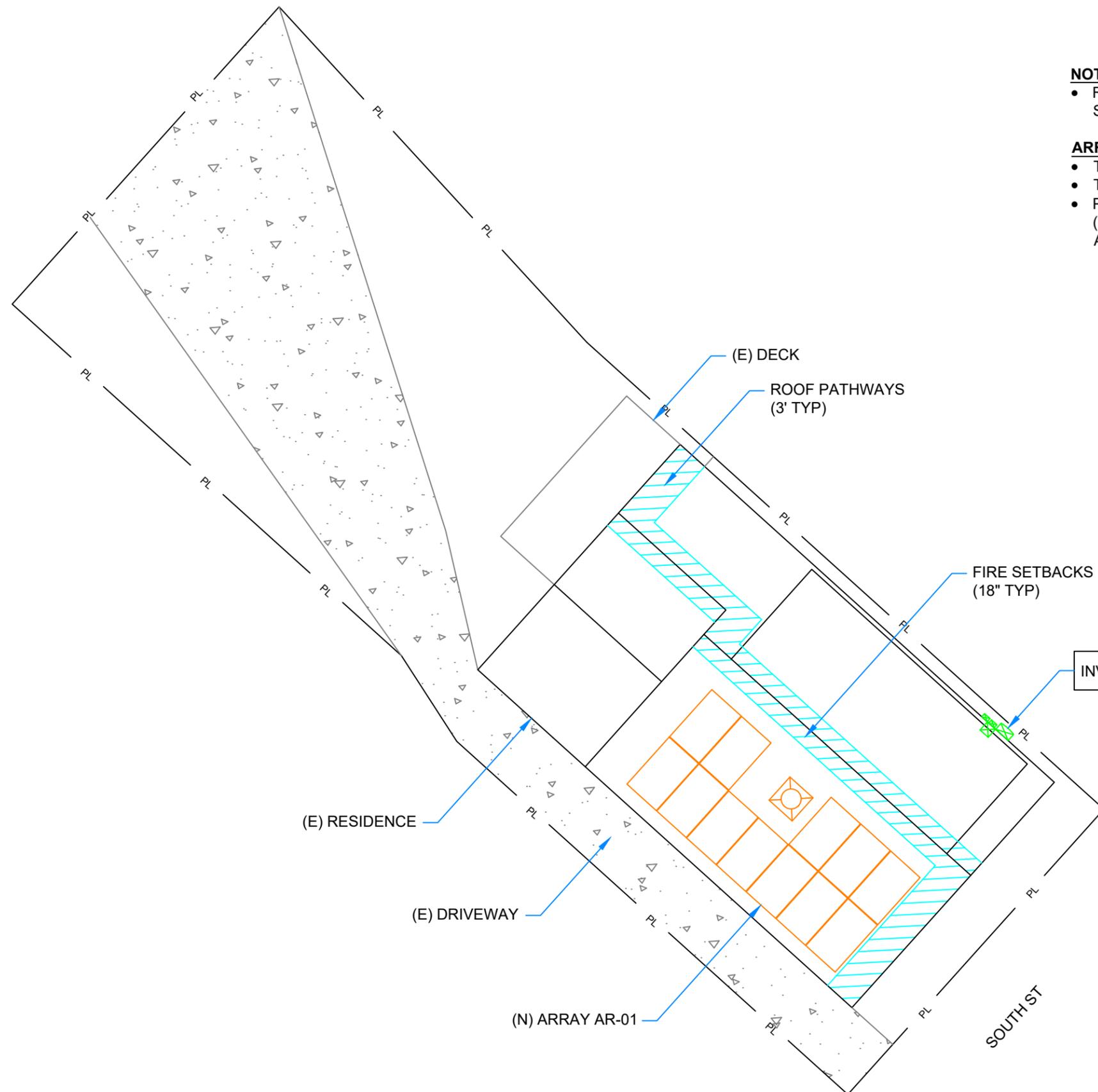
	ARRAY PITCH	TRUE AZIM	MAG AZIM	PV AREA (SQFT)
AR-01	44°	222°	236°	248.3

NOTES:

- RESIDENCE DOES NOT CONTAIN ACTIVE FIRE SPRINKLERS.

ARRAY DETAILS:

- TOTAL ROOF SURFACE AREA: 1301 SQFT.
- TOTAL PV ARRAY AREA: 248.3 SQ FT.
- PERCENTAGE PV COVERAGE:
(TOTAL PV ARRAY AREA/TOTAL ROOF SURFACE AREA) * 100 = 19.1%



SUNRUN

#180120

200 RESEARCH DR, WILMINGTON, MA 01887
PHONE 888.657.6527
FAX 805.528.9701

CUSTOMER RESIDENCE:
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105 SOUTH ST, PORTSMOUTH,
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APN: PRSM-000110-000011

PROJECT NUMBER:
222R-105LOWE

DESIGNER: (415) 580-6920 ex3
RIA CAPISTRANO

SHEET
SITE PLAN

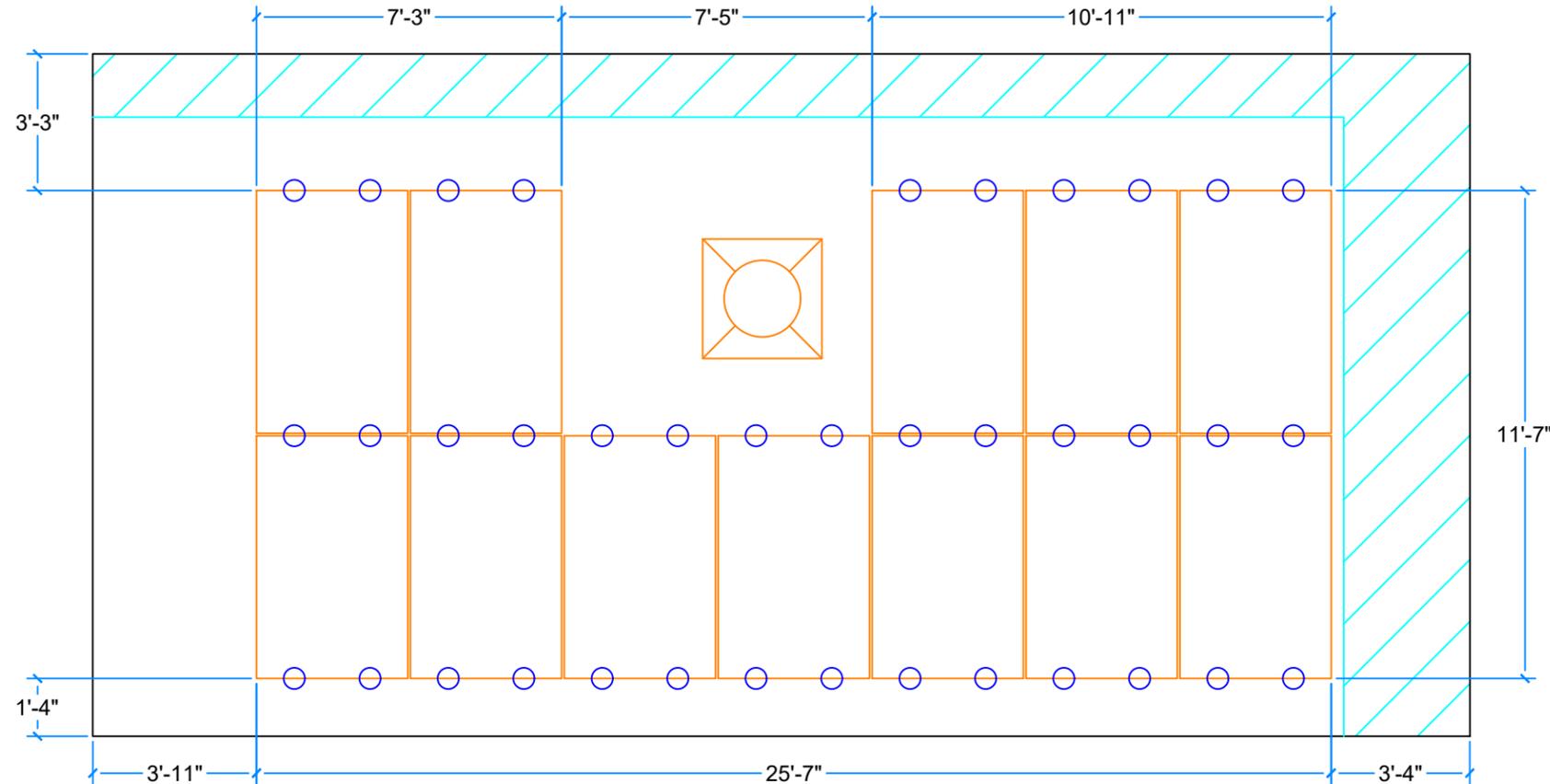
REV: A1 3/11/2023

PAGE
PV-2.0

ROOF INFO			FRAMING INFO			ATTACHMENT INFORMATION			
Name	Type	Height	Type	Max Span	OC Spacing	Detail	Minimum Number of Mounts per Up-Slope	Max Landscape Overhang	Max Portrait Overhang
AR-01	COMP SHINGLE - TOPSPEED	2-Story	2X8 RAFTERS	8' - 3"	24"	TOPSPEED, SEE DETAIL SNR-DC-30004	2	1' - 5"	0' - 10"

DESIGN CRITERIA
MAX DISTRIBUTED LOAD: 3 PSF
SNOW LOAD: 50 PSF
WIND SPEED: 115 MPH 3-SEC GUST.
S.S. LAG SCREW
(4) #14 X 2.25" SS SEALING WASHER WOOD SCREWS FULLY PENETRATING THROUGH WOOD DECK

D1 - AR-01 - SCALE: 1/4" = 1'-0"
AZIM: 222°
PITCH: 44°



STRUCTURAL NOTES:
 INSTALLERS SHALL NOTIFY ENGINEER OF ANY POTENTIAL STRUCTURAL ISSUES OBSERVED PRIOR TO PROCEEDING W/ INSTALLATION.

MOUNT NUMBER FOR LEADING DOWNSLOPE EDGE SHALL MATCH REQUIREMENTS LISTED ABOVE INSTALL PER TOPSPEED™ INSTALLATION MANUAL.
 CONTRACTOR MAY SUBSTITUTE SNAPRACK DECKTRACK MOUNTS (SNR DETAIL SNR-DC-00453) WITH A MAX OVERHANG OF 6"



#180120
 200 RESEARCH DR, WILMINGTON, MA 01887
 PHONE 888.657.6527
 FAX 805.528.9701

CUSTOMER RESIDENCE:
 GARY LOWE
 105 SOUTH ST, PORTSMOUTH, NH, 03801

TEL: (603) 496-2850
 APN: PRSM-000110-000011

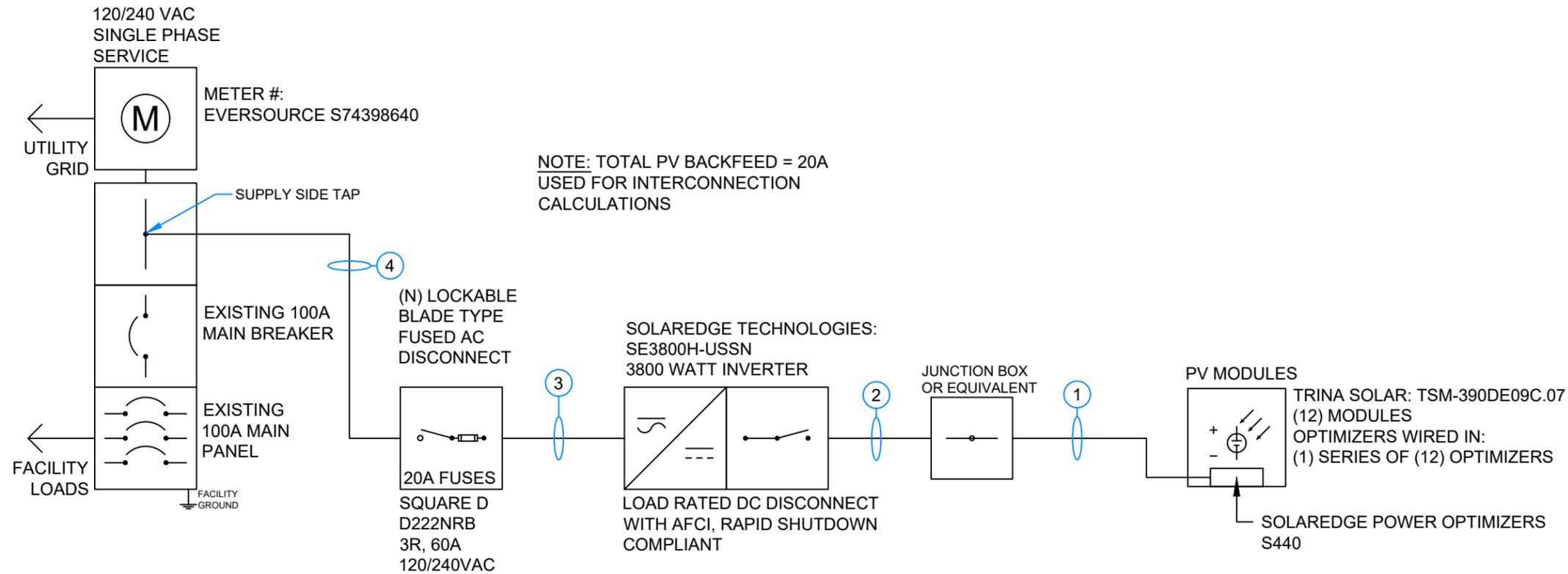
PROJECT NUMBER:
 222R-105LOWE

DESIGNER: (415) 580-6920 ex3
 RIA CAPISTRANO

SHEET
LAYOUT

REV: A1 3/11/2023

PAGE
PV-3.0



CONDUIT SCHEDULE

#	CONDUIT	CONDUCTOR	NEUTRAL	GROUND
1	NONE	(2) 10 AWG PV WIRE	NONE	(1) 6 AWG BARE COPPER
2	3/4" EMT OR EQUIV.	(2) 10 AWG THHN/THWN-2	NONE	(1) 8 AWG THHN/THWN-2
3	3/4" EMT OR EQUIV.	(2) 10 AWG THHN/THWN-2	(1) 10 AWG THHN/THWN-2	(1) 8 AWG THHN/THWN-2
4	3/4" EMT OR EQUIV.	(2) 6 AWG THHN/THWN-2	(1) 8 AWG THHN/THWN-2	(1) 8 AWG THHN/THWN-2

MODULE CHARACTERISTICS

TRINA SOLAR: TSM-390DE09C.07: 390 W
 OPEN CIRCUIT VOLTAGE: 40.8 V
 MAX POWER VOLTAGE: 33.8 V
 SHORT CIRCUIT CURRENT: 13.35 A

S440 OPTIMIZER CHARACTERISTICS:

MIN INPUT VOLTAGE: 8 VDC
 MAX INPUT VOLTAGE: 60 VDC
 MAX INPUT ISC: 14.5 ADC
 MAX OUTPUT CURRENT: 15 ADC

SYSTEM CHARACTERISTICS - INVERTER 1

SYSTEM SIZE: 4680 W
 SYSTEM OPEN CIRCUIT VOLTAGE: 12 V
 SYSTEM OPERATING VOLTAGE: 380 V
 MAX ALLOWABLE DC VOLTAGE: 480 V
 SYSTEM OPERATING CURRENT: 12.32 A
 SYSTEM SHORT CIRCUIT CURRENT: 15 A

SUNRUN

#180120

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PROJECT NUMBER:
 222R-105LOWE

DESIGNER: (415) 580-6920 ex3
 RIA CAPISTRANO

SHEET
ELECTRICAL

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! WARNING
ELECTRICAL SHOCK HAZARD
TERMINALS ON LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL LOCATION:
INVERTER(S), AC/DC DISCONNECT(S), AC COMBINER PANEL (IF APPLICABLE).
PER CODE(S): NEC 2020: 690.13(B), CEC 2022: 690.13(B)

! WARNING
DUAL POWER SUPPLY
SOURCES: UTILITY GRID AND PV SOLAR ELECTRIC SYSTEM

LABEL LOCATION:
UTILITY SERVICE METER AND MAIN SERVICE PANEL.
PER CODE(S): NEC 2020: 705.12(C), CEC 2022: 705.12(C)

! WARNING
POWER SOURCE OUTPUT CONNECTION
DO NOT RELOCATE THIS OVERCURRENT DEVICE

LABEL LOCATION:
ADJACENT TO PV BREAKER AND ESS OCPD (IF APPLICABLE).
PER CODE(S): NEC 2020: 705.12(B)(3)(2), CEC 2022: 705.12(B)(3)(2)

! WARNING
THIS EQUIPMENT FED BY MULTIPLE SOURCES. TOTAL RATING OF ALL OVERCURRENT DEVICES EXCLUDING MAIN SUPPLY OVERCURRENT DEVICE SHALL NOT EXCEED AMPACITY OF BUSBAR

LABEL LOCATION:
PV LOAD CENTER (IF APPLICABLE) AND ANY PANEL THAT UTILIZES "THE SUM OF BREAKERS RULE".
PER CODE(S): NEC 2020: 705.12 (B)(3)(3), CEC 2022: 705.12 (B)(3)(3)

PV SYSTEM DISCONNECT
MAXIMUM AC OPERATING CURRENT: 16 AMPS
NOMINAL OPERATING AC VOLTAGE: 240 VAC

LABEL LOCATION:
AC DISCONNECT(S), PHOTOVOLTAIC SYSTEM POINT OF INTERCONNECTION.
PER CODE(S): NEC 2020: 690.54, CEC 2022: 690.54

INVERTER 1

PHOTOVOLTAIC DC DISCONNECT
MAXIMUM SYSTEM VOLTAGE: 480 VDC

LABEL LOCATION:
INVERTER(S), DC DISCONNECT(S).
PER CODE(S): NEC 2020: 690.53, CEC 2022: 690.53

WARNING: PHOTOVOLTAIC POWER SOURCE

LABEL LOCATION:
INTERIOR AND EXTERIOR DC CONDUIT EVERY 10 FT, AT EACH TURN, ABOVE AND BELOW PENETRATIONS, ON EVERY JB/PULL BOX CONTAINING DC CIRCUITS.
PER CODE(S): NEC 2020: 690.31(D)(2), CEC 2022: 690.31(D)(2)

RAPID SHUTDOWN SWITCH FOR SOLAR PV SYSTEM

LABEL LOCATION:
INSTALLED WITHIN 3' OF RAPID SHUT DOWN SWITCH PER CODE(S): NEC 2020: 690.56(C)(2), CEC 2022: 690.56(C)(2), IFC 2018: 1204.5.3

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY.

LABEL LOCATION:
ON OR NO MORE THAT 1 M (3 FT) FROM THE SERVICE DISCONNECTING MEANS TO WHICH THE PV SYSTEMS ARE CONNECTED.
PER CODE(S): NEC 2020: 690.56(C), CEC 2022: 690.56(C)

NOTES AND SPECIFICATIONS:

- SIGNS AND LABELS SHALL MEET THE REQUIREMENTS OF THE NEC 2020 ARTICLE 110.21(B), UNLESS SPECIFIC INSTRUCTIONS ARE REQUIRED BY SECTION 690, OR IF REQUESTED BY THE LOCAL AHJ.
- SIGNS AND LABELS SHALL ADEQUATELY WARN OF HAZARDS USING EFFECTIVE WORDS, COLORS AND SYMBOLS.
- LABELS SHALL BE PERMANENTLY AFFIXED TO THE EQUIPMENT OR WIRING METHOD AND SHALL NOT BE HAND WRITTEN.
- LABEL SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.
- SIGNS AND LABELS SHALL COMPLY WITH ANSI Z535.4-2011, PRODUCT SAFETY SIGNS AND LABELS, UNLESS OTHERWISE SPECIFIED.
- DO NOT COVER EXISTING MANUFACTURER LABELS.

CAUTION: MULTIPLE SOURCES OF POWER

105 SOUTH ST, PORTSMOUTH, NH, 03801

PER CODE(S): NEC 2020 : 705.10, 710.10, CEC 2022: 705.10, 710.10

SUNRUN

#180120

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SHEET **SIGNAGE**

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