

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details) \**

**6:30 p.m.**

**August 02, 2023**

**AGENDA (revised on July 28, 2023)**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. APPROVAL OF MINUTES**

1. July 12, 2023

**II. ADMINISTRATIVE APPROVALS**

1. 1 Walton Alley
2. 3 Walker Street
3. 90 Fleet Street, Unit 5-1
4. 333 State Street
5. 303 Pleasant Street
6. 39 Chauncey Street
7. 113 Daniel Street
8. 161 Deer Street
9. 244 Marcy Street
10. 195 Market Street
11. 752 South Street
12. 475 Marcy Street

**III. CERTIFICATE OF APPROVAL EXTENSIONS**

1. Petition of **Neal Pleasant Street Properties, LLC, owner**, for property located at **420 Pleasant Street**, wherein permission is requested to allow a second one-year extension of the Certificate of Approval originally granted on July 07, 2021 for new construction to an existing structure (remove existing rear entryway, replace existing southeast addition with added rooftop deck, construct 3-story stair enclosure, and construct new rear entry porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 56 and lies within the General Residence and Historic Districts.

2. Petition of **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow a one-year extension to the Certificate of Approval originally granted on August 10, 2022 for the construction of 3 new

freestanding structures (4-5-story mixed-use and office buildings) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

#### IV. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Coventry Realty, LLC, owner**, for property located at **111 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (at State Street façade replace existing left side door and window with a Nana window, reconstruct the right chimney at parapet wall and remove left chimney and replace with new dormer) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 50 and lies within the Character District 4 (CD4) and Historic Districts.

#### V. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Nobles Island Condominium Association, owner and Christopher Goepfert, unit owner**, for property located at **500 Market Street, Unit 14R**, wherein permission is requested to allow exterior renovations to an existing structure (remove existing solarium and rebuild with similar design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 120 as Lot 2-14R and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

2. Petition of **Seacoast Management Consulting, LLC, owner**, for property located at **3 Walton Alley**, wherein permission is requested to allow the installation of new fencing and gate as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 20 and lies within the General Residence B (GRB) and Historic Districts.

3. Petition of **Michelle A. Grennon Revocable Trust, Michelle A. Grennon Trustee, owner**, for property located at **10 State Street, Unit D**, wherein permission is requested to allow the installation of mechanical equipment and renovations to an existing structure (remove two existing patio doors and replace with a new panel door and vestibule renovations) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 4-4 and lies within the Character District 4 (CD4) and Historic Districts.

4. Petition of **Peter G. Morin Trust, Peter G. Morin Trustee, owner**, for property located at **0 Mechanic Street (170 Mechanic Street)**, wherein permission is requested to allow renovations to an existing structure (replace windows and pedestrian door on the existing barn and complete exterior maintenance) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 35 and lies within the Waterfront Business (WB) and Historic Districts.

5. Petition of **Jill H. Brenehan Revocable Trust, Jill H. Brenehan Trustee, owner**, for property located at **11 Market Street, Unit 2**, wherein permission is requested to allow renovations to an existing structure (replace existing windows) as per plans on file in the

Planning Department. Said property is shown on Assessor Map 106 as Lot 13 and lies within the Downtown Overlay, Character District 5 (CD5) and Historic Districts.

## **VI. WORK SESSIONS (OLD BUSINESS)**

A. **REQUEST TO POSTPONE- Work Session** requested by **Christopher Daniel Freund, owner**, for property located at **37 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (add separate first and second floor additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 16 and lies within the General Residence A (GRA) and Historic Districts.

B. Petition of **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (modifications to windows, skylights, door, canopy and railing design, size and location) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts.

C. Work Session requested by **John Galt, owner**, for property located at **14 Market Square**, wherein permission is requested to allow new construction to an existing structure (add curbed rooftop addition and dormers) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 29 and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts.

## **VII. ADJOURNMENT**

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_KCLNnPfTTPy4\\_EbM\\_Wdc\\_Q](https://us06web.zoom.us/webinar/register/WN_KCLNnPfTTPy4_EbM_Wdc_Q)

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**July 12, 2023**

**MEMBERS PRESENT:** Chairman Jon Wyckoff; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Martin Ryan, David Adams, Dr. Dan Brown

**MEMBERS EXCUSED:** Reagan Ruedig, Karen Bouffard, and Alternate Johanna Landis

**ALSO PRESENT:** Izak Gilbo, Associate Planner, Planning Department

.....  
City Council Representative Blalock was late to the meeting.

**I. APPROVAL OF MINUTES**

1. June 07, 2023
2. June 14, 2023

*Vice-Chair Doering moved to **approve** both sets of minutes as presented, seconded by Mr. Ryan. The motion **passed** unanimously, 5-0.*

**Note:** The administrative approval items were not reviewed in order. Items 2, 4, 7, 9 and 10 were voted on individually due to their complexity. Mr. Adams recused himself from Items 1 and 16, and those two items were also voted on separately.

**II. ADMINISTRATIVE APPROVALS**

**1. 1 Walton Alley**

Mr. Adams recused himself. The request was approval to replace the front and side windows with Green Mountain ones.

**Public Comment**

The abutter David Adams of 210 Gates Street said the original proposal was fine and approved by the Commission but had shifted to the point where the applicant was no longer interested in restoring the windows. He said matching the windows would be a problem because the window openings on the first floor were 9 over 6 sashes and not 6 over 6. He asked that the windows be replaced with 9 over 6 sashes to be more in keeping with the neighborhood.

Vice-Chair Doering said the house was close to the Walton Alley side, which was a walking neighborhood, and she thought the windows should be as authentic as possible. She said she was surprised that Mr. Adams thought that not restoring the existing windows was okay but understood his point that the existing windows were replacement sashes and weren't done in the original style. Mr. Adams said two different groups of windows were a problem now.

Architect Mark Gianniny was present and said the windows in the back weren't installed yet and that he would check whether they were ordered. It was further discussed.

*Mr. Ryan moved to **continue** the item to the August 2 meeting, seconded by Dr. Brown. The motion **passed** by unanimous vote, 4-0, with Mr. Adams recused.*

## **2. 132-134 Middle Street**

Mr. Gilbo said the applicant was previously before the Commission for exterior updates to the property and it was stipulated that he return for approval for final roofing materials. He said the applicant proposed to use red and gray slates for the roof that were an inch wider than existing. Mr. Adams said he was surprised to see that the Middle Street side of the roof had little evidence of having red and gray slates and assumed that some of the red slates bleached out. He said it seemed that the proposal was following the pattern of two different slate colors and that it made sense considering the history, but he didn't see it in the drawings.

*The item was unanimously **approved** (5-0) with the following **stipulation**:*

- 1. The applicant shall install the roofing to match the existing red and gray slate pattern that is shown on the rear of the structure.*

## **3. 303 Pleasant Street**

Mr. Gilbo said the applicant received approval to change the direction of the stairs and was back for approval for the railing design.

## **4. 3 Walker Street**

The request was to replace the existing decking and railing materials with a composite, to replace and encapsulate the posts in more of a square style with a PVC material, and to replace the front door with a similar one. Doctor Brown said he liked the door but would miss the brackets. Mr. Gilbo said the posts would eliminate the brackets. Chairman Wyckoff said he was concerned about using PVC material. Mr. Adams said removing the brackets and cladding the posts would not enhance the neighborhood.

The applicant's representative John McCormack was present and said the posts were rotting at the bottom and had to be replaced but that the brackets could be put back. Chairman Wyckoff said he agreed with Mr. Adams. He said the house was a very visible 1900s Victorian home and one of the landmark houses on the street. He suggested other alternatives, like posts that looked like they were turned but were made out of other materials.

The railings and decking were discussed. Vice-Chair Doering said the composite deck wouldn't be very visible but the railings would stand out. Mr. Ryan said the Commission had approved composite rails in the past as long as they were the proper type and profile. Chairman Wyckoff said he had no problem with them but thought it would be difficult to get them up to the proper height. He said the main issue was the removal of the rounded posts and brackets and the fact that the porch would look contemporary. Vice-Chair Doering suggested that the applicant return with the more details for the railings and materials and with a plan of what they would like to do.

*Mr. Adams moved to **postpone** the item to the August 2 meeting, seconded by Vice-Chair Doering. The motion **passed** by unanimous vote, 5-0.*

**5. 111 Bridge Street, Unit 205**

The request was approval for a simple black awning system over the rooftop deck for Unit 205.

**6. 111 Bridge Street**

The request was for approval for the installation and lighting of a sign at the entrance of the condominium building.

**7. 92 Pleasant Street**

Mr. Gilbo said the applicant removed the request for approval for the HVAC system from the application and just wanted to replace the windows on the first and second floors with Green Mountain ones to match the eight Green Mountain windows on the third floor.

*The Commission **approved** the request unanimously, 5-0. (There was no motion made).*

**8. 70 Court Street**

Mr. Gilbo said the HVAC component was removed from the application and that the applicant was proposing lighting for various parts of the building. Chairman Wyckoff asked why the condenser was removed. Mr. Gilbo said there were currently six condensers and the applicant wanted to add a seventh but the Board of Adjustment (BOA) had to approve it.

The applicant Andrew Samonas was present and said the seventh condenser was needed for the manager's apartment and there was no need to run conduit lines up the side of the building. He said they were pulled back from the street side and enclosed. He said the light representations were accurate. Mr. Adams noted that each of the lights was from a different period, like Colonial and Arts and Crafts, and didn't see how they related to each other on the building. Mr. Samonas said the doghouse dormer was from the 1940s, so he thought the lighting for that portion was appropriate. He said it was also an ADA entrance that required more illumination.

**9. 37 Whidden Street**

Mr. Gilbo said the applicant wanted approval to install a condenser on the rear structure.

The applicant Allison Green was present and said the conduits would be run along the side of the building. In response to Vice-Chair Doering's questions, Mr. Green said it was a single-family home and the walls were plaster and there was no reason for them to go inside the building. Mr. Ryan said the Commission often approved conduit lines on the exterior and noted that the lines would be on the back and side of the building.

*Mr. Ryan moved to **approve** the item, with the following **stipulations**:*

- 1. The conduit lines shall be painted to match the existing siding on the house.*
- 2. Any mechanical equipment that is installed on the side of the house shall return for Administrative Approval for screening.*

*Vice-Chair Doering seconded the motion. The motion **passed** by unanimous vote, 5-0.*

#### **10. 138 Maplewood Avenue**

The request was for changes to the previously-approved petition. The applicant's representative architect Anne Whitney was present and said the applicant didn't consult her before making the changes. She reviewed the changes. [TIMESTAMP 46:16]

Mr. Ryan said he wanted to see the proposed cupola in an elevation before approving it. Doctor Brown said he preferred that there not be a cupola. Chairman Wyckoff said the cupola would look stuck on. He said the changes were presented as simple ones but weren't simple things when the Commission approved them. He objected to the fact that the applicant did all the changes. Mr. Ryan agreed. Ms. Whitney said she thought the changes were in keeping with the front of the building. Chairman Wyckoff said the most egregious change was the columns because round Tuscan columns were approved and it would make a big difference on the water-facing side of the building. He said he couldn't support it. Vice-Chair Doering said she found the door change more egregious than the columns but would support it. Mr. Adams said he could not support the proposed columns because they impacted the porch too much. Ms. Whitney said another change was that the as-built garage side door and roof would stay the same but would have 5 over 4 brackets. Chairman Wyckoff asked if the metal rail was horizontal. Ms. Whitney agreed. She said the last change was a 6 over 2 panel on the side garage door.

*Mr. Ryan moved to **approve** the changes except for the columns, with the following **stipulations**:*

- 1. The rear porch square columns shall be removed and the originally approved round columns shall be installed.*
- 2. The porch screening shall come to the center of the new round column.*

*The motion **passed** by unanimous vote, 5-0.*

#### **11. 145 Maplewood Avenue**

The request was to install a memorial in the form of a sailboat structure in the pocket park. The applicants John Stebbins and Sally Stebbins were present. Mr. Stebbins said they were two one the owners of 145 Maplewood Avenue. He said his father passed away, so he wanted to donate the structure to the park in his honor. He said the sailboat would be fitting since there used to be

a historic sailboat manufacturing facility in that location. The artist Josh Parsons was present and said the sculpture would be 14 feet high and the overall shape would be seven feet. He said it would be made of aluminum and painted with white marine paint. The applicant said they also wanted to install a plaque with an inscription and that there would be landscaping.

#### **12. 161 Deer Street**

Mr. Gilbo said the applicant wanted to install a lighting fixture at several locations on the property and that they would be the same style. Mr. Adams asked for a stipulation that the lights be dark sky compliant. Vice-Chair Doering said the lighting was in keeping with the industrial look of the building but on the Deer Street side they looked like they might be too simple. She said it was hard to tell from the renderings. The applicant's representative architect Carla Goodnight was present and said the lights would be dark sky compliant, so a stipulation wasn't necessary. She said the building's showcase was the grill work and the light fixtures had an I-beam shape, which she thought was appropriate. She said if the light fixtures had a stronger design, it would detract from the grillwork.

#### **13. 179 Pleasant Street**

Mr. Gilbo said several changes were proposed that mostly had to do with the windows, a canopy, and a brick chimney. Mr. Adams said the brick mockup disturbed him because of the shape it was in. The applicant's representative architect Carla Goodnight was present and said the brick's shape was reconstructed and supported by a steel structure and would be replicated above the roof. She said the brick was thin waterstruck brick and was reduced in weight and size. Mr. Adams said the mockup sample failed and he was surprised that the Commission voted to remove the chimney. It was further discussed. Mr. Ryan said it looked like a lot of detail and craftsmanship was going into it and that the other changes were improvements.

#### **14. 112 Mechanic Street**

The item was **postponed** by the applicant.

#### **15. 401 State Street**

The request was to install an AC condenser at the Library Restaurant above the vent and replace the vent with a slightly larger one. The restaurant owner Adrienne Waterman was present and said the conduits would go directly into the kitchen.

#### **16. 189 Gates Street**

Mr. Adams was recused. The request was to install a fence that would blend in with the neighboring ones.

*The request was **approved** unanimously, 4-1. (There was no motion made).*



Mr. Ryan moved to **approve** Items 3, 5, 6, 8, 11, 12, 13 and 15, seconded by Doctor Brown. The motion **passed** by a vote of 4-1, with Mr. Adams voting in opposition.

Mr. Adams said he opposed Item 13 because he didn't have confidence in it, so he had to vote in opposition to the entire motion.

**Note:** At this point in the meeting, Councilor Blalock arrived.

### III. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE- Work Session** requested by **Christopher Daniel Freund, owner**, for property located at **37 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (add separate first and second floor additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 16 and lies within the General Residence A (GRA) and Historic Districts.

#### DECISION OF THE COMMISSION

The request to postpone was **approved** by unanimous vote, 5-0.

### IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (modifications to windows, skylights, door, canopy and railing design, size and location) and add masonry parapet as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts.

#### SPEAKING TO THE PETITION

The applicant's representative Shayne Forsley of Hampshire Development Corporation was present, with project architect Howard Spivak. Mr. Forsley and asked the Commission to bifurcate the application so that the parapet package could be reviewed and approved and the other changes could move into a work session. The Commission agreed. Mr. Spivak reviewed the changes to the parapet. [TIMESTAMP 1:36:38]

Mr. Ryan said he could support the parapet changes. He said some of the stepping would take craftsmanship but thought the detail was strong and appropriate. Other Commissioners agreed.

Chairman Wyckoff opened the public hearing.

#### SPEAKING TO, FOR, OR, AGAINST THE PETITION

Marie Bodie of 121 State Street said the public notice stated that the petition would be a public hearing, and she asked how it could go to a work session instead. She said she had a lot of questions. Chairman Wyckoff said she could sit at the table during the work session.

No one else spoke, and Chairman Wyckoff closed the public hearing.

## **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the parapet part of the petition as presented, seconded by Mr. Adams.*

Mr. Martin said the parapet will be consistent with the special and defining character of the surrounding properties and will conserve and enhance property values.

*The motion **passed** unanimously, 6-0.*

## **WORK SESSION**

Shane Forsley and the architect Howard Spivak were present, with the abutters Marie and Mark Brodie. Mr. Spivak reviewed the changes, noting that the windows were re-fenestrated, the oculus was replaced, and a hip roof and skylight were added. [Timestamp 1:42:36]

Vice-Chair Doering said she reluctantly approved the original version of the addition but did so because it was a more modern structure that didn't relate to the historic structure, but she said the proposed changes tipped it over the top and did not relate to the historic structure at all. She said it didn't fit the rest of the homes on Sheafe Street either and she couldn't support the changes. Doctor Brown agreed. Mr. Ryan said there were two buildings and thought the applicant was taking liberties with the modern addition. He said it seemed almost Japanese in quality and the second floor hovered above the first, and he thought it was disrespectful to the older brick section. He said he could reach a compromise but thought the roof approach and the skylights were too far off. Mr. Spivak said the skylights would not be seen from the street and would open no more than four inches. He said he would do a mockup. Councilor Blalock said the photo was misleading because the skylight could be seen, and he couldn't support the addition because it took too many liberties. Mr. Adams said he didn't see the appropriateness of the changes for a dwelling in the back of a downtown classic historical building. He noted that the previous approval was a stretch to accommodate the applicant. He said the alleyway was now a substantial road, so there was no 'back of the house'. He said the skylights would be seen, but even if they wouldn't, he would know they were there. He said there were too many removals taking place on the roof and no original rafters. Chairman Wyckoff said he agreed with the comments and thought the added skylights didn't fit into the Historic District. He said he wasn't so much against the new first floor because there was something similar to it down the road and it was back of the house. He said he wanted to see a space between the windows and thought bringing a square look into the 6 over 6 windows was wrong.

## **Public Comment**

Mark Bodie said he also represented six residents of Sheafe Street who were against the proposal. He said he researched the windows at the Athenaeum and couldn't find any reference to the type and look of the proposed windows. He said the strip of windows on the west side did

not fit in with the neighborhood. He said the structure mentioned on Sheafe Street was a temporary one with no relevant connection. He said the window design would overlook his building and thought the building's modernization was inappropriate for the location. Marie Bodie thanked the Commissioners for their comments and said they were correct. She said the skylights would be seen and the addition should not have been built.

Jim Keane of 123 State Street said the lot line window had to meet the fire code. He said there were excavation and constructability issues that should be reviewed by the Technical Advisory Committee (TAC). He said the wall on the lot line showed a soffit overhang on his property. Mr. Spivac said there had been negotiations in terms of drainage, etc. that had to be worked out and the lot line was a bigger issue. Mr. Keane said he had an agreement with the former owner that had nothing to do with the soffit. Mr. Forster said they had extensive talks with the Building Inspection and Zoning departments about how sites with a shared lot line worked.

Jeremiah Johnson of 4 Fairview Drive said he was an architect and thought the design was tasteful to some degree and knew that zero lot lines and constructability were a challenge, but he said it was important that the Commissioners knew they were reviewing a design that would come back for changes via an administrative approval. He said the roof overhang was a big issue and that an elevation showing what would be built should be presented. He said he also thought TAC should look at some issues related to fire and police protection and planning department concerns. He asked how the wall would be built on a zero lot line, how snow and garbage removal would be done, and so on. He said the proposal wasn't realistic.

No one else spoke, and Chairman Wyckoff closed the public comment session.

## **DECISION OF THE COMMISSION**

Chairman Wyckoff said the applicant might have to maintain a traditional look on the building. Vice-Chair Doering said it wasn't just a matter of what could be seen from the street because there were neighbors who lived a few stories up who would have a view of the skylights.

*Vice-Chair Doering moved to **continue** the work session to the August 2 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 6-0.*

2. Petition of **Charles J. Silva Jr. and Margaret M. Moran, owners**, for property located at **434 Marcy Street**, wherein permission is requested to allow new construction to an existing structure (create 2<sup>nd</sup> floor and attic addition over existing 1-story footprint with overhang, create a 1-story rear entry and bay addition with new landing and stairs, and remove and replace existing shed) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 41 and lies within the General Residence B (GRB) and Historic Districts.

## **SPEAKING TO THE PETITION**

Architect Anne Whitney was present on behalf of the applicant. She said she had more change details and reviewed the petition. She said the view of the addition would be minimal.

Councilor Blalock said most of the addition was in the back and would be visible from South Street but didn't think it would be a bad thing. Ms. Whitney said she got approval from the BOA and the three immediate abutters. Mr. Adams said the roof had a crowded feeling and he was unfamiliar with any other dormers like the one proposed. He said it was unprecedented and that it didn't matter that the addition wasn't on the main drag.

Chairman Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR, AGAINST THE PETITION**

No one spoke, and Chairman Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, seconded by Vice-Chair Doering.*

Mr. Blalock said the project would maintain the special character of the Historic District and would be compatible with the designs of surrounding properties.

*The motion **passed** by a vote of 5-1, with Mr. Adams voting in opposition.*

**Note:** At this point, Vice-Chair Doering left the meeting to go home but was available on Zoom.

3. Petition of **Northern Tier Real Estate Acq. & Dev., LLC, owner**, for property located at **172 Hanover Street**, wherein permission is requested to allow exterior renovations to an existing structure (remove existing doorway and replace it with new a window) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1A and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts.

### **SPEAKING TO THE PETITION**

The project architect Brian Rodonets was present on behalf of the applicant. He reviewed the petition and said they proposed to replace the door with a custom window that would match the size and features of the existing ones. Mr. Adams asked if the old frame still existed. Mr. Rodonets said it did and the new window would be custom built and have the same profile.

Chairman Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR, AGAINST THE PETITION**

No one spoke, and the Chair closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Adams moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Ryan.*

Mr. Adams said the project will maintain the special character of the District and will be compatible with the architecture of the building.

*The motion **passed** by unanimous vote, 5-0.*

**Note:** At this point, Chairman Wyckoff read the petitions to be postponed for 37 Prospect Street, 111 State Street, and 141 Market Square.

*Mr. Adams moved to **grant** the postponements, seconded by Councilor Blalock. The motion **passed** by unanimous vote, 5-0.*

4. **REQUEST TO POSTPONE-** Petition of **Coventry Realty, LLC, owner**, for property located at **111 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (at State Street façade replace existing left side door and window with a Nana window, reconstruct the right chimney at parapet wall and remove left chimney and replace with new dormer) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 50 and lies within the Character District 4 (CD4) and Historic Districts.

#### **DECISION OF THE COMMISSION**

*The request to postpone was **approved** by unanimous vote, 5-0.*

5. Petition of **202 Court Street Property Group, LLC, owner**, for property located at **202 Court Street**, wherein permission is requested to allow exterior renovations to an existing structure (install a Nana door where one currently does not exist) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 35 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

#### **SPEAKING TO THE PETITION**

The applicant Matt Rushton was present to review the petition. He said there were two units in the building and that he owned the top second and third floors. He said they wanted to add a fireplace to the back of the second floor and a vent that would be visible to the fire station's parking lot and some residential apartments near the lot. He said they wanted to replace a door with a window that would match the other windows and add a folding NanaWall to the deck. He said the three glass doors would have an aluminum black frame. In response questions from the Commission, he said the new window would be the same head height and the casing of the NanaWall would be the same as the window casings. He said the vent would be at the rear of the second floor. Chairman Wyckoff asked that the NanaWall be flashed.

Chairman Wyckoff opened the public hearing.

#### **SPEAKING TO, FOR, OR, AGAINST THE PETITION**

No one spoke, and Chairman Wyckoff closed the public hearing.

## DECISION OF THE COMMISSION

*Mr. Adams moved to **grant** the Certificate of Approval for the application as presented, seconded by Councilor Blalock.*

Mr. Adams said the project will maintain the special character of the neighborhood and will be compatible with the architecture of the area.

*The motion **passed** by unanimous vote, 5-0.*

## V. WORK SESSIONS (NEW BUSINESS)

1. **REQUEST TO POSTPONE-** Work Session requested by **John Galt, owner**, for property located at **14 Market Square**, wherein permission is requested to allow new construction to an existing structure (add curbed rooftop addition and dormers) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 29 and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts.

## DECISION OF THE COMMISSION

*The request to postpone was **approved** by unanimous vote, 5-0.*

2. Work Session requested by **Allison Melanie Piper, owner**, for property located at **236 Union Street**, wherein permission is requested to allow new construction to an existing structure (add second floor addition over existing footprint) as per plans on file in the Planning Department. Said property is shown on Assessor Map 135 as Lot 22 and lies within the General Residence C (GRC) and Historic Districts.

Project architect Richard Lo and the applicant Allison Melanie were present. Mr. Lo said they wanted to add a second-floor 400 sf addition for a studio and storage area and a 118 sf roof deck at the back of it. He said the materials would be the same as the house and the wood cladding would be horizontal. Mr. Adams asked what would be used to make the transition from the existing house to the addition. Mr. Lo said there would be a flashing detail between the two materials but that the contrast wouldn't be strong. He said the back of the property would become more modern with the flat roof and corner windows. Mr. Ryan said the massing was nicer and the addition complemented what was there and the neighborhood. Councilor Blalock agreed and thought the location was appropriate. Chairman Wyckoff said the addition fell short of connecting to the back roof of the original portion and looked awkward but thought it might work with the right amount of flashing. Mr. Lo showed street views of it.

Vice-Chair Doering called in via Zoom and said she appreciated the history behind what was there and the idea that the house on the street was not a historic structure. She said her initial concern was the comparison of the addition in mass and size compared to the other historic-looking structures on the street, but knowing that it wasn't a historic structure, she thought it was less of an issue from the Commission's guidelines point of view. She said she had concerns with

how the addition relates in size and mass to the existing house and looked forward to the next iteration and details. Mr. Lo said the gable would be smaller in the new addition and the ridge would be lower than the existing volume close to the street, so it would read as a secondary volume set further back from the street. Vice-Chair Doering said it was the combined volume of the new addition with the old addition that concerned her and said the total mass behind the smaller front structure was getting bigger.

There was no public comment.

## **DECISION**

The applicant said he would return for a future public hearing.

## **VI. ADJOURNMENT**

The meeting adjourned at 10:01 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

# HDC

## ADMINISTRATIVE APPROVALS

August 02, 2023

- |     |                           |                       |
|-----|---------------------------|-----------------------|
| 1.  | 1 Walton Alley            | -Recommended Approval |
| 2.  | 3 Walker Street           | -Recommended Approval |
| 3.  | 90 Fleet Street, Unit 5-1 | -Recommended Approval |
| 4.  | 333 State Street          | -Recommended Approval |
| 5.  | 303 Pleasant Street       | -Recommended Approval |
| 6.  | 39 Chauncy Street         | -Recommended Approval |
| 7.  | 113 Daniel Street         | -Recommended Approval |
| 8.  | 161 Deer Street           | -Recommended Approval |
| 9.  | 244 Marcy Street          | -TBD                  |
| 10. | 195 Market Street         | -Recommended Approval |
| 11. | 752 South Street          | -Recommended Approval |
| 12. | 475 Marcy Street          | -Recommended Approval |



**1. 1 Walton Alley**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of windows to match already replaced windows on the structure and for the installation of (2) AC condensers with screening.

**Staff Comment:** Recommended Approval

**Stipulations:**




1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-636**

Submitted On: Jun 16, 2023

**Applicant**

 Mark Gianniny  
 603-431-0274  
 mark@mchenryarchitecture.com

**Primary Location**

1 WALTON ALY  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

--

**Project Information**

**Brief Description of Proposed Work**

Additional window replacment with previously approved windows.

**Project Representatives**

<b>Relationship to Project</b> Architect	<b>If you selected "Other", please state relationship to project.</b> --
<b>Full Name (First and Last)</b> Mark Gianniny	<b>Business Name (if applicable)</b> McHenry Architecture
<b>Mailing Address (Street)</b> 4 Market St.	<b>City/Town</b> Portsmouth
<b>State</b> NH	<b>Zip Code</b> 03801
<b>Phone</b> 603-430-0274	<b>Email Address</b> mark@mchenryarchitecture.com

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

July 26, 2023

Historic District Commission  
Portsmouth City Hall  
1 Junkin Ave  
Portsmouth, NH 03801

Re: 1 Walton Alley – HDC  
Administrative approval

HDC Chair and Board Members:

On behalf of James Woods & Anneke Meirardi, we request administrative approval for modification to the windows previously approved and exterior condensers with screening.

At prior public hearings, the board approved restoration of the existing windows along the Gate Street and Walton Alley facades and replacement windows on the other two facades. Replacement units are Green Mountain, wood double-hung windows that match in size and configuration. At the onset of construction, the existing window sashes were removed and reviewed by window restorer Rob Lusignan from Hemlock Historic Co. Upon examination his recommendation to Aaron Henderson, general contractor, were the sashes are not restorable. Pictures of some of the sashes and deterioration are included in the attached.

Due to the condition of the existing windows, we request replacement of all windows with the previously approved Green Mountain units. This will also provide a uniform appearance of all windows from the outside. Exterior storm windows will be deleted from the scope and remove visible obstructions. This change will also be in keeping with other properties in the neighborhood such as the Tobias Langdon house, a few doors away.

During the July 5, 2023 meeting, where the application was continued, it was suggested that due to the age of the structure that a 9/6 window may be more appropriate for the larger first floor windows. There are a handful of examples of the 9/6 configuration on the surrounding Gates and Gardener streets. A comparison of the 6/6 vs 9/6 is included in the attached for reference. Also, the previously approved 6/6 replacement windows for the east and south facades are to be delivered on September 1. With the replacement windows being in production and the applicant's fondness to maintain consistency of the first-floor openings, their preference would be the 6/6 windows.

Sincerely,



Mark R. Gianniny, AIA  
Principal

Cc: James Woods and Anneke Meinardi  
Aaron Henderson

Exhibit A



Image 1



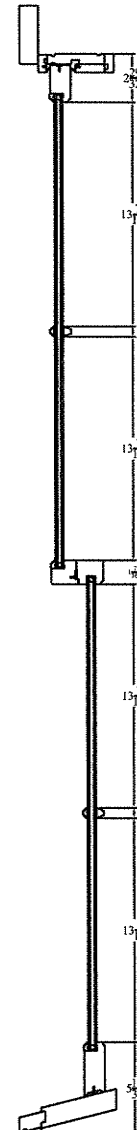
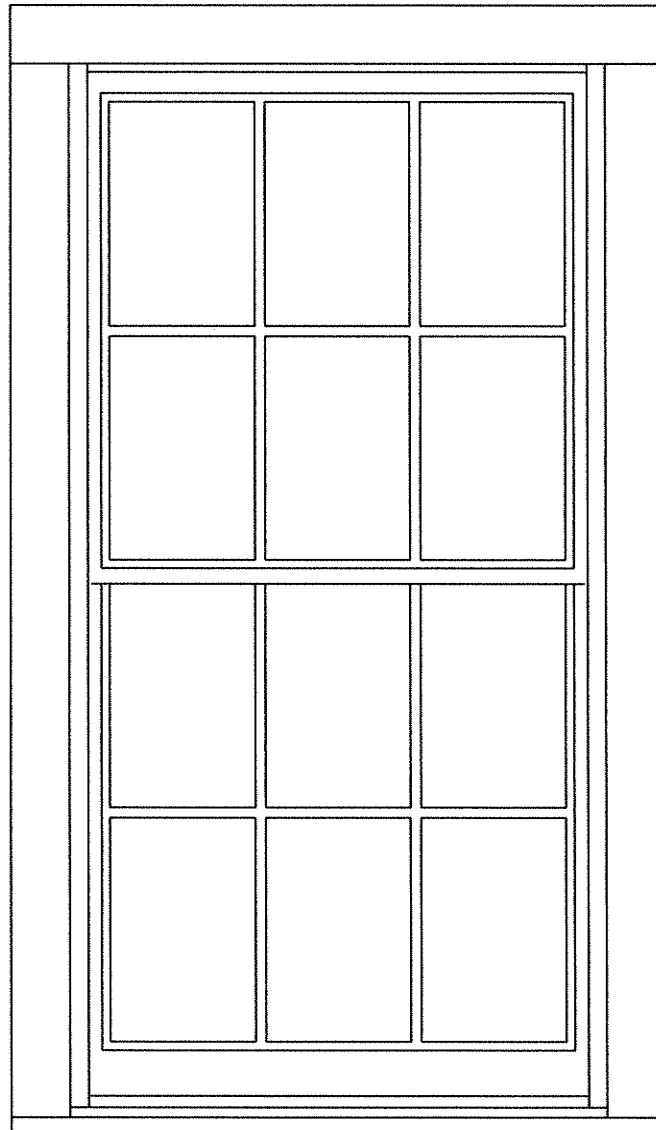
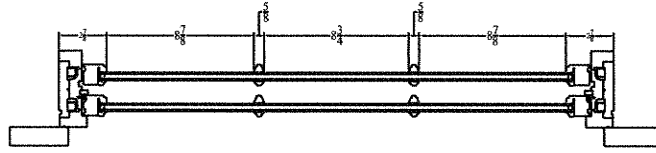
Image 2



Image 3



Image 4



## MDH 2828

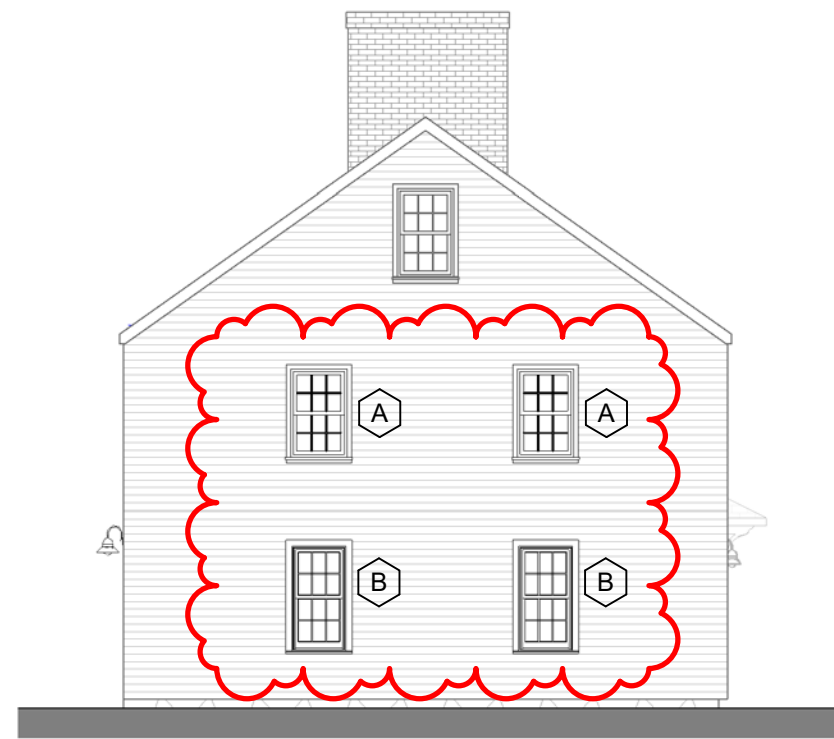
Note: the example above only applies to a 28 x 28 with 7/8" muntins in a 6/6 pattern.  
 For all other sizes and configurations: determine the overall daylight opening of each sash (without lites) with the formulas on 1.5. Then multiply the number of bars by the bar width and deduct that number from that overall daylight. Divide this number by the number of lites for daylight of each lite.

$$\frac{\text{Overall DLO} - (\text{sum of all bar widths})}{\text{Number of Lites}}$$

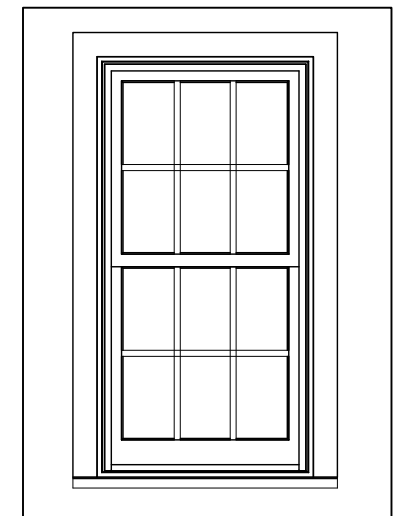
1.15



1 NORTH ELEVATION (GATES STREET) - WINDOW TYPE B  
1/8" = 1'-0"



2 WEST ELEVATION (WALTON ALLEY) - WINDOW TYPE B  
1/8" = 1'-0"

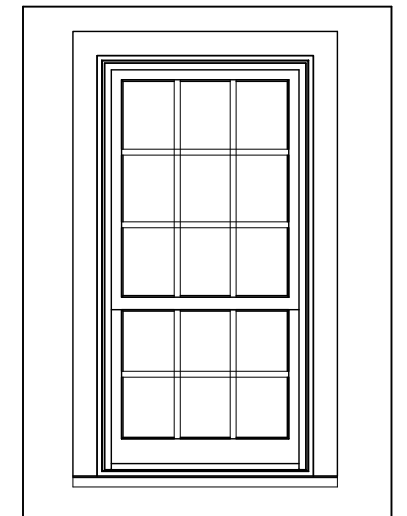


TYPE B:

GREEN MOUNTAIN,  
DOUBLE HUNG WINDOW  
TO MATCH EXISTING.  
6 OVER 6.



3 NORTH ELEVATION (GATES STREET) - WINDOW TYPE B1  
1/8" = 1'-0"



TYPE B1:

GREEN MOUNTAIN,  
DOUBLE HUNG WINDOW,  
MATCH EXISTING  
OPENING SIZE, 9 OVER 6.

© 2023 McHenry Architecture

# WALTON ALLEY ADDITION

1 WALTON ALLEY  
PORTSMOUTH, NH 03801

# WINDOW COMPARISON

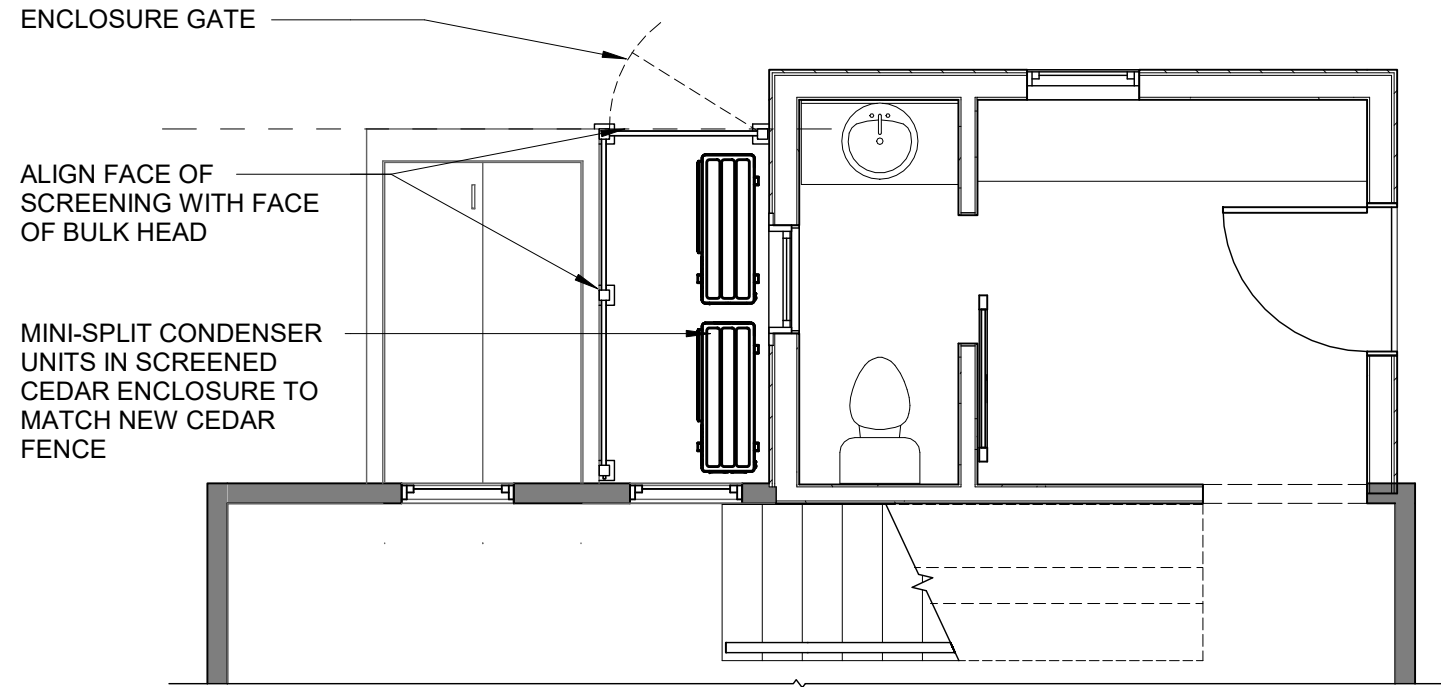
HISTORIC DISTRICT COMMISSION - PUBLIC HEARING

# McHENRY ARCHITECTURE

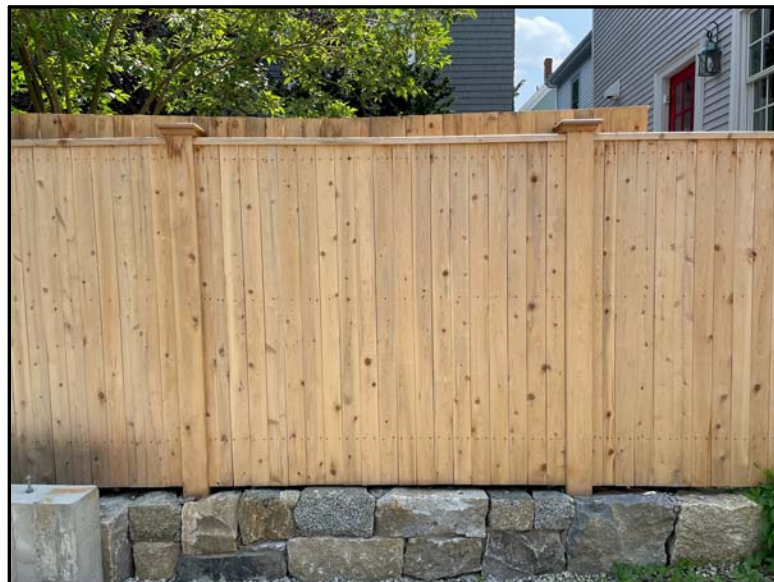
4 Market Street  
Portsmouth, New Hampshire

SK-2

07/26/2023  
McHA: RD/ MG  
AS INDICATED



1 ENLARGED FLOOR PLAN AT CONDENSERS  
1/4" = 1'-0"



NEW FENCE AT PROPERTY LINE (IMAGE ABOVE),  
CONDENSER SCREENING TO MATCH



2 EAST ELEVATION (REAR YARD)  
1/4" = 1'-0"

© 2023 McHenry Architecture

**WALTON ALLEY ADDITION**  
1 WALTON ALLEY  
PORTSMOUTH, NH 03801

**CONDENSER LOCATIONS**  
HISTORIC DISTRICT COMMISSION - PUBLIC HEARING

**McHENRY ARCHITECTURE**  
4 Market Street  
Portsmouth, New Hampshire

**SK-3**

07/26/2023  
McHA: RD / MG  
Scale: 1/4" = 1'-0"



**2. 3 Walker Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of the front door and the replacement of the front decking and railings with composite material and cover posts with PVC wrap.

**Staff Comment:** Recommended Approval

**Stipulations:**




1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-631**

Submitted On: Jun 14, 2023

**Applicant**

 John McCormack  
 6036613755  
 john@greatislandbuilders.com

**Primary Location**

3 WALKER ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

--

**Project Information**

**Brief Description of Proposed Work**

Replace front door, pressure treated decking and railings with composite material and cover posts with PVC post wrap.

**Project Representatives**

<b>Relationship to Project</b> Other	<b>If you selected "Other", please state relationship to project.</b> Contractor
<b>Full Name (First and Last)</b> John	<b>Business Name (if applicable)</b> McCormack
<b>Mailing Address (Street)</b> PO Box 383	<b>City/Town</b> New Castle
<b>State</b> NH	<b>Zip Code</b> 03854
<b>Phone</b> 6036613755	<b>Email Address</b> john@greatislandbuilders.com

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

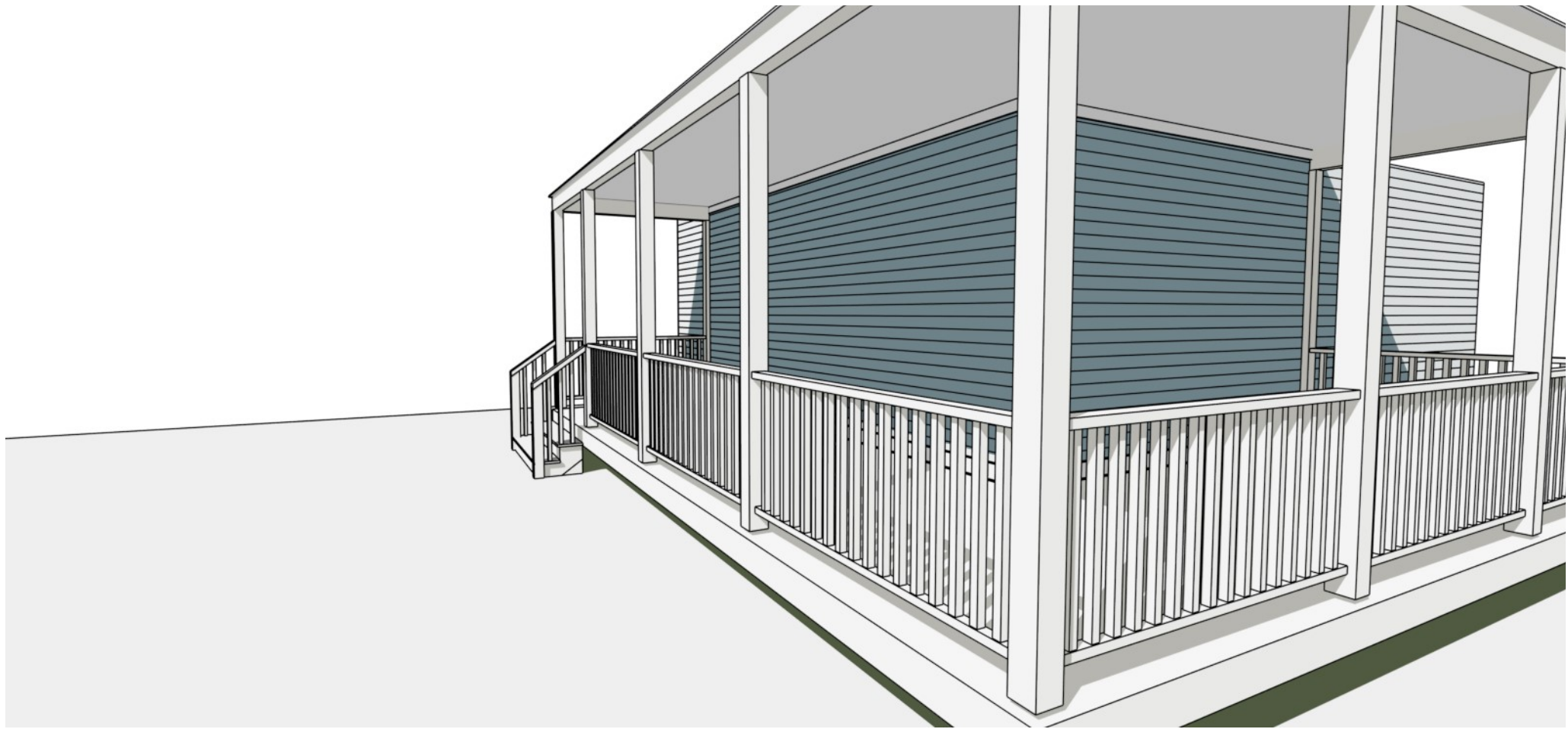
true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Contractor

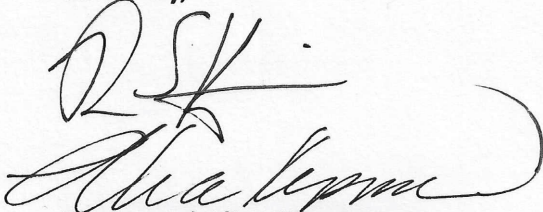


Tuesday, June 13, 2023

TO:  
HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NH 03801

We authorize John McCormick to represent us before the Historic District Commission  
And any meetings that are required. We have met with John and asked him to act on our  
behalf during this process.

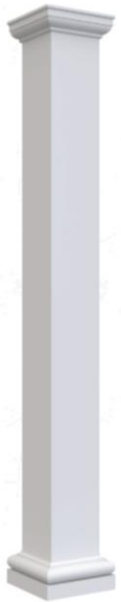
Sincerely,

A handwritten signature in black ink, appearing to read "Bruce and Alice Kipperman". The signature is written in a cursive style with a large, sweeping flourish at the end.

Bruce and Alice Kipperman  
3 Walker St  
Portsmouth, NH 03801

Kipperman  
3 Walker St  
Portsmouth NH





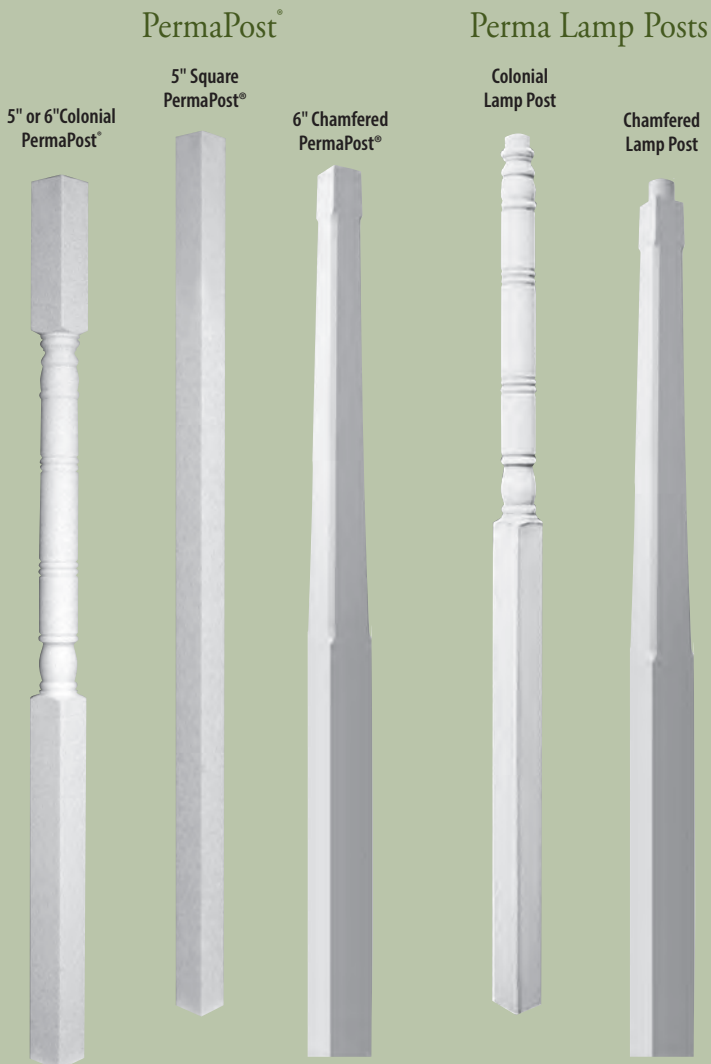
5" Square Porch Post available in 8',9', and 10'

# 10 Prospect St Portsmouth, NH



The Square PermaPost® is made from low maintenance PVC and is pre-finished with a white capstock. HB&G's Colonial and Chamfered PermaPost® are made from a low maintenance polyethylene and are pre-finished

white and should not be painted. For a warm and inviting decorative look for your front porch, choose from either the 5" or 6" Colonial PermaPost®, the 5" Square PermaPost®, or the 6" Chamfered PermaPost®.



The Perma Lamp Post is an attractive way to light a drive or garden area. The pipe in the center is designed to allow a wire to be easily installed. The 2<sup>7</sup>/<sub>8</sub>" pipe fits most outdoor lamp fixtures.

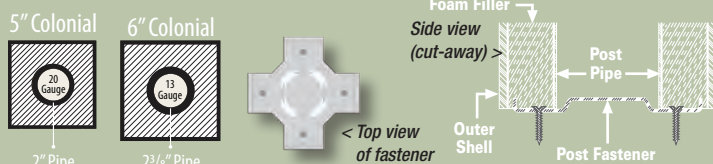
Post Size	Width	Turned Area	Base Height	Length (in feet)	Top Portion (Square Top)
<b>COLONIAL POSTS</b>					
5" x 5"	4"	38½"	41½"	8'	16¼"
5" x 5"	4"	38½"	45¼"	9'	24½"
6" x 6"	5"	38½"	41½"	8'	16¼"
6" x 6"	5"	38½"	45¼"	9'	24½"
<b>SQUARE POSTS</b>					
5" x 5"	4¼"	N/A	N/A	8'	N/A
5" x 5"	4¼"	N/A	N/A	9'	N/A
5" x 5"	4¼"	N/A	N/A	10'	N/A
<b>CHAMFERED POST</b>					
6" x 6"	3½" & 5½"	N/A	46¼"	8'	4½"
<b>COLONIAL LAMP POST</b>					
6" x 6"	3½" & 5½"	38"	51"	7' 6½"	N/A
<b>CHAMFERED LAMP POST</b>					
6" x 6"	3½" & 5½"	N/A	46¼"	8'	4½"

*Measurements in inches unless otherwise noted. There may be a variance of up to 1/4" in all dimensions.*  
*\*Loadbearing capacity is dependent on the concentric loading of the post.*  
**NOTE: All sizes are nominal.**



**Colonial Post**

Two (2) post fasteners are shipped with each Colonial post.



**Square Post**

Two (2) post fasteners are shipped with each Colonial post.



**Porch-Loc®**

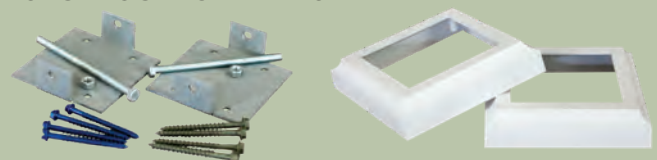
- Adds wind uplift resistance
- Porch-Loc® secures structural Colonial and Square PermaPost® to floor and beam/header
- Easy installation
- Durable skirts included

**Wind Uplift Resistant Installation Brackets**

Size	Dimension
5" Colonial	4"
6" Colonial	5"
5" Square	4-1/4"

Skirts and hardware included

**PORCH-LOC® INSTALLATION KIT**





The PermaRail Plus® railing system is a beautiful way to tie your whole porch look together. It is made up of several different components, allowing you the ability to create the designs that match your way of life. Easy to install, this

worry-free railing system will be a beautiful, low maintenance addition to your porch or deck for generations to come. Be sure to use the Coastal Newel Post Mount System in areas where coastal effect corrosion is a concern.

### Savannah

---

### Belhaven

---



### Newport

---

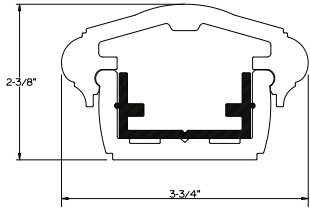
### Standard

---

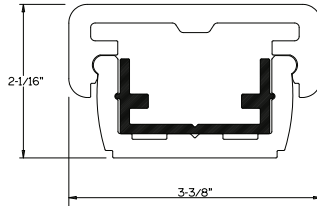


All rail sections are suitable for use with PermaCast® columns, PermaRail Plus® newels, or PermaPost®.

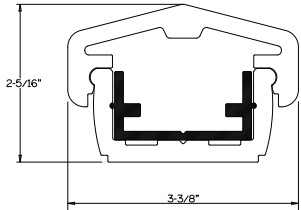
\*HB&G recommends checking all applicable building code requirements before the design and installation of PermaRail Plus®.



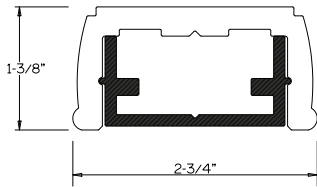
Savannah Top Rail\*



Belhaven Top Rail\*



Newport Top Rail\*



Standard Top Rail\*\* and Standard Bottom Rail with Aluminum Stiffener

\*\*Maximum 8' Length

\*With Aluminum Stiffener and Standard Bottom Rail



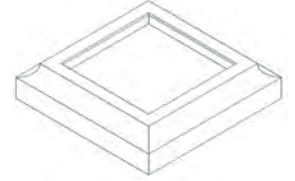
Supplemental Aluminum Stiffener for Savannah, Newport, and Bellhaven for Rail Lengths over 8'



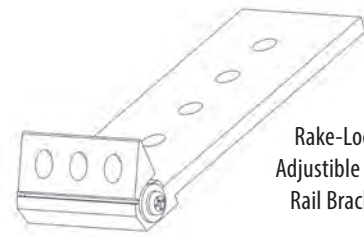
Standard Aluminum Stiffener



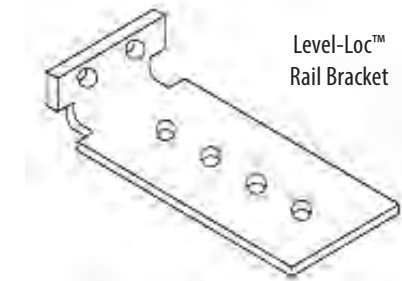
Newel Cap



Newel Skirt

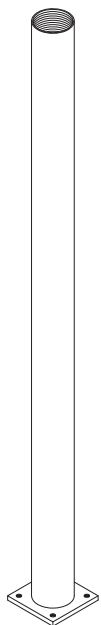


Rake-Loc™ Adjustable Stair Rail Bracket

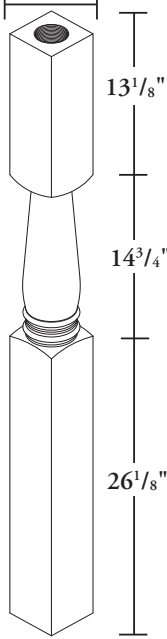


Level-Loc™ Rail Bracket

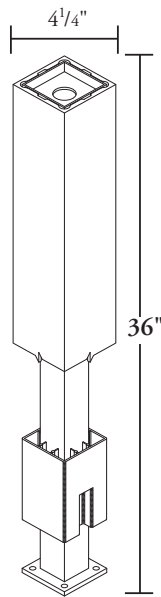
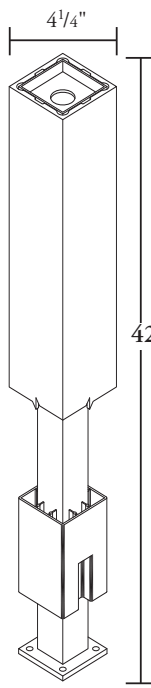
Chesterfield Newel Support Kit



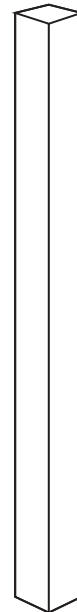
Chesterfield Newel



Newel-Loc™ Square Newel Post Mount System\*



1-1/4" Square Baluster 30" and 36"



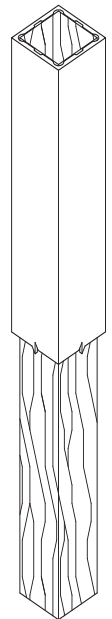
1-1/2" Square Baluster 30" and 36"



1-1/2" Turned Baluster 30" and 36"



Newel Sleeve 45" and 54"\*\*\*



\*The 36" and 42" Newel Post Mount are designed for coastal conditions.

NOTE: Newel-Loc™ and Newel Sleeve must be purchased separately.

\*\*\*Newel sleeves can be slid over an existing 4 x 4 or installed with the Newel Post Mount.

The top rail, bottom rail, and balusters are pre-finished white and are made from weather resistant cellular PVC.

Turned Balusters are made from hollow rigid vinyl and cannot be painted

**3. 90 Fleet Street, Unit 5-1**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of (1) window to match windows that were previously installed.

**Staff Comment:** Recommended Approval

**Stipulations:**




1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-641**

Submitted On: Jun 22, 2023

**Applicant**

 Chris Carr  
 6034635864  
 mrchrisjarr@gmail.com

**Primary Location**

90 FLEET ST  
Unit 5-1  
Portsmouth, NH 03801

---

**Application Type**

Please select application type from the drop down menu below

**Alternative Project Address**

Administrative Approval

--

---

**Project Information**

**Brief Description of Proposed Work**

Granite State Glass will replace 1 failing vinyl window with 1 National Vinyl Northwind III Double Hung Vinyl Window factory-painted on the interior and exterior to match the other 5 windows in the Unit, which were replaced prior to my ownership of the condo. The interior stops will also be replaced to match the existing.

Project description:

One (1) National Vinyl Northwind III Double Hung Vinyl Window

Specifications: Both Sashes Tilt in for Easy Cleaning

Style: Replacement

Color: Factory-painted Bronze Interior & Exterior

Glass: Dual Glazed, Low-E & Argon

Energy Star Rating: Meets required 0.27 U-factor

Grids: None

Hardware Finish: Brown

Screen: Full - Fiberglass Mesh Flex Screen

Details: New Pre-primed Pine Interior Stops to match existing

---

**Project Representatives**

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

---

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

HDC Certificate of Approval Granted

HDC Approval Date

--

--

Granite State Glass will replace 1 failing vinyl window with 1 National Vinyl Northwind III Double Hung Vinyl Window, factory-painted on the interior and exterior to match the other 5 windows in the Unit, which were replaced prior to my ownership of the condo. The interior stops will also be replaced to match the existing.

**Project description:**

One (1) National Vinyl Northwind III Double Hung Vinyl Window

Specifications: Both Sashes Tilt in for Easy Cleaning

Style: Replacement

Color: Factory-painted Bronze Interior & Exterior

Glass: Dual Glazed, Low-E & Argon

Energy Star Rating: Meets required 0.27 U-factor

Grids: None

Hardware Finish: Brown

Screen: Full - Fiberglass Mesh Flex Screen

Details: New Pre-primed Pine Interior Stops to match existing

A brochure for Northwind Windows is attached.

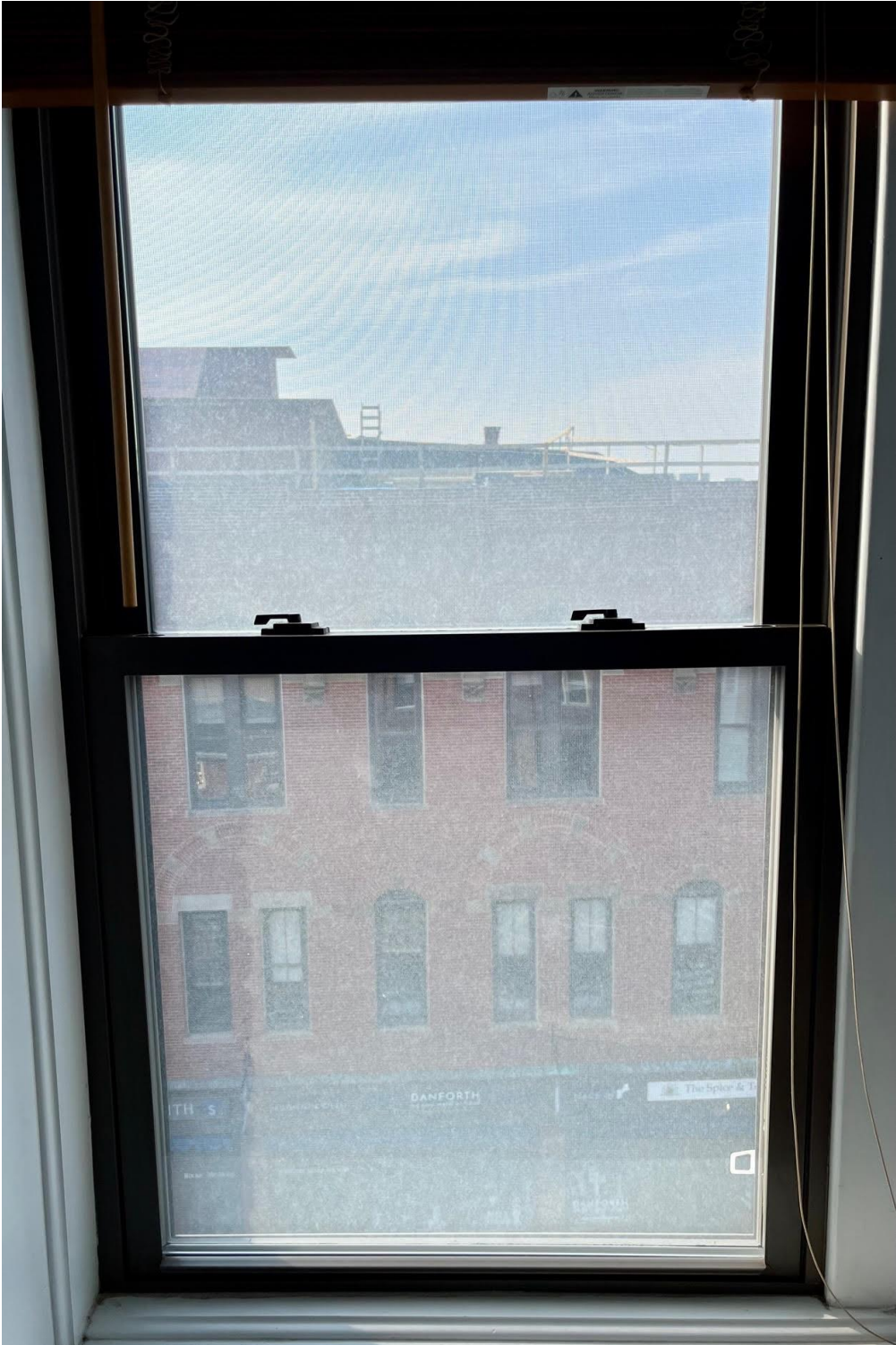
Interior view of window to be replaced.



Exterior view of window to be replaced.



View of existing window in Unit that had been replaced previously. The new window will be the same color and style.





Facsimile of window to be installed.





**GRANITE  
STATE  
GLASS**

[www.granitestateglass.com](http://www.granitestateglass.com)

Concord  
 Conway  
 Gilford  
 Hudson  
 Keene  
 Laconia  
 Manchester

224-8897  
447-5471  
528-4748  
883-8545  
352-4527  
524-0407  
668-8735

Plymouth  
 Portsmouth  
 Rochester  
 W. Lebanon  
 Wolfeboro  
 Burlington, VT  
 St. Johnsbury, VT

536-1205  
436-0001  
332-1385  
298-2980  
569-4311  
802-862-5458  
802-441-4127

## *Proposal & Agreement*

Chris Carr  
90 Fleet St., Unit 51  
Portsmouth, NH

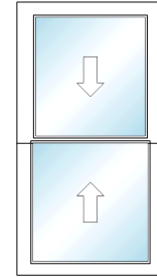
(603) 463-5864  
mrchrisjcarr@gmail.com

June 21, 2023  
**Quote:** P-17740

### *Furnish and Install:*

#### *One (1) National Vinyl Northwind III Double Hung Vinyl Window*

Specifications: Both Sashes Tilt in for Easy Cleaning  
Style: Replacement  
Color: Factory-painted Bronze Interior & Exterior  
Glass: Dual Glazed, Low-E & Argon  
Energy Star Rating: Meets required 0.27 U-factor  
Grids: None  
Hardware Finish: Brown  
Screen: Full - Fiberglass Mesh Flex Screen  
Details: New Pre-primed Pine Interior Stops to match existing



Price: **\$1,590.00**

**Warranties** Granite State Glass - **10 year Service and Workmanship**  
National Vinyl - Lifetime limited transferable warranty on parts, mechanisms, and glass.  
Limited transferable 15 year warranty on paint finish.

**GSG Advantages** **Serving the Northern New England Market since 1984**  
**Installation performed by Granite State Glass employees**  
**Over 150,000 windows and doors installed**  
**Our employees are fully covered by Worker's Compensation Insurance**

**Includes** Insulation and caulking  
Removal of all debris and complete cleanup of work area  
Washing of new windows and doors

**Excludes** Wood rot replacement not specifically listed above  
Painting or staining



**Payment: 50% deposit to order by cash, check, Visa, MasterCard or Discover with balance due the day of completion.**

**For the above work:**

**One thousand five hundred ninety dollars**

**\$1,590.00**

Prices are based on proposal being ordered complete. Any adjustment to the quantity count could result in the need to requote this proposal.

All material is guaranteed to be as specified. The work above to be performed in accordance with the specifications submitted and completed in a substantial workmanlike manner. You, the buyer, may cancel this transaction at any time prior to midnight of the third business day following the date of this transaction. Notice of cancellation can be verbal but must be followed up in writing no later than midnight of the following business day. This is a custom order and all deposits are non-refundable. Any alteration/deviation from specifications will become an additional charge. Electrical, plumbing or HVAC work are the responsibility of the property owner. All agreements are contingent upon strikes, accidents, or delays beyond our control. Owner is responsible to provide permits if applicable. Drawings are similar but not exact representation of the design. Actual design may vary. Prices are subject to change upon final measurement.

**Estimated start time is 12-14 weeks from the date of signed agreement, the deposit and final measurement.  
Orders that include factory paint or stain, tempered glass or custom hardware will increase lead times.**

**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

*Note: This proposal may be withdrawn if not accepted within 30 days.*

**Acceptance of Proposal:** The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

***Thank you for trusting Granite State Glass with your home improvement project!***

Mark Gauvin Project Manager mgauvin@granitestateglass.com 603-365-6811

# Northwind III

## ENERGY ADVANTAGE

*A BEAUTIFUL LIFE – FROM EVERY POINT OF VIEW*



**Beauty   Quality   Comfort   Longevity   Strength   Performance**

# THE ENERGY ADVANTAGE

---

If you are looking for an energy saving double hung, sliding, picture, hopper, casement and/or awning window, our **Northwind III Energy Advantage** Series are a great choice. Our window products easily meet and can exceed the Energy Star requirements for thermal tests.

National Vinyl's **Northwind III Energy Advantage** Series fusion welded windows are virtually maintenance free, designed for smooth and effortless operation and will provide you with long lasting beauty for years to come. The **Northwind III Energy Advantage** Series Replacement and remodeling product line is available only through authorized National Vinyl dealers and are typically installed by a contractor or remodeler.

Our **Northwind III Energy Advantage** Series windows come with National Vinyl's Limited Lifetime Warranty and Satisfaction Guarantee! Contact National Vinyl for more information or to learn about purchasing the **Northwind III Energy Advantage** Series windows.



**A Beautiful Life**

~  
**From Every Point  
of View**



**A crystal clear view to life.**

**Watching the trees sway gently in the wind, the flowers bloom and the birds soaring in synchronicity through the sky ... enjoying the view of life growing, changing and expanding before their very eyes.**


# LIFETIME WARRANTY

## The National Vinyl LLC Fully Transferable Lifetime Limited Warranty

We proudly provide each of our **Northwind III Energy Advantage** Series windows with one of the strongest warranties in the industry. With a lifetime limited warranty on vinyl, all moveable parts, as well as glass (in case of seal failure), you can be confident in your National Vinyl LLC window purchase.

Our National Vinyl LLC Lifetime Limited Warranty is fully transferable, which means it can be transferred to your home's new owner if you decide to move. This is advantageous when selling your home or condo.

Please review our Lifetime Limited Warranty for exact details.



Limited  
Lifetime  
Warranty



### Kim & John

"The installers came and had all ten of our windows installed the same day. It looks so beautiful! We love it. Our house looks new!"

## HISTORY OF QUALITY & LONGEVITY

National Vinyl LLC was founded with the simple premise to make the best windows at a fair price and provide the best value and service in the industry. National Vinyl's owners bring well over 50 years of fenestration experience to the company.

The founders, Ben Sumner and Stephen Fellers, became partners in 1963. In 1978, they started building interior storm panels. When they saw the energy savings that vinyl windows could bring to the homeowner, it was an easy decision to add this innovative product line to National Vinyl's offerings in 1984.

Today, with over 100 years of combined window manufacturing and management experience, National Vinyl is the premier choice for Northeastern homeowners. Our windows are manufactured with a slim profile to let in more natural light, insulated glass technology for the highest energy efficiency ratings, and fusion welded frames and sashes for durability.

All of us at National Vinyl thank you for the opportunity to provide quality windows and doors in your home. The decision to upgrade your windows and doors only needs to be made once. We are confident you will be completely satisfied with your decision to use National Vinyl's products in your home.



# DURABLE & LONG LASTING

Energy Star® promotes standards in energy efficient products. As Energy Star Partners, our windows are rated according to procedures established by the National Fenestration Rating Council (NFRC) which is a nonprofit organization for the fenestration industry. We are NFRC Certified! Through continued technological advances in window design, we have engineered our windows to meet or exceed NFRC's stringent test standards without expensive upgrades. We meet and surpass even their minimum test results without expensive foam and krypton gas. Our windows utilize the most advanced thermal insulated glass spacer and take advantage of the insulating properties of a multi-chambered sash and frame design. Even our Ccore® structural reinforcements are thermally efficient. We utilize scientifically engineered PVC composite reinforcements for strength and durability.

***We strive to bring you the strongest and most energy efficient products to keep you comfortable in your home.***

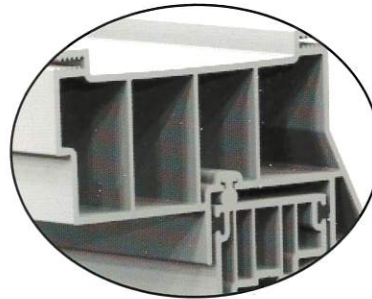


Comes with an Aluminum 1/2 screen with fiber glass screen mesh (not shown)

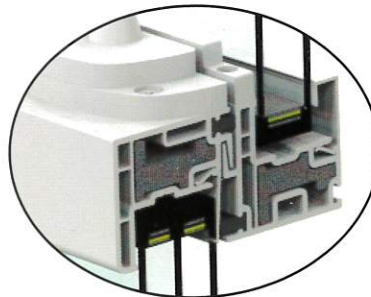


Fusion welded frame and sash – provide structural integrity and durability

Balance covers for a neat interior look

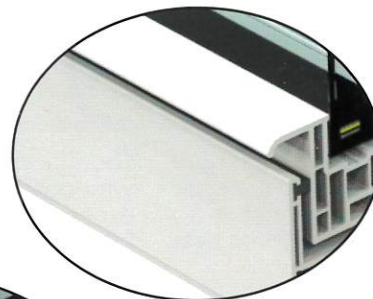


Multi-chambered hollows in frame and sash – engineered to create vastly increased thermal insulating values to meet Energy Star's requirements. Bonus, it also increases the structural value of the window!



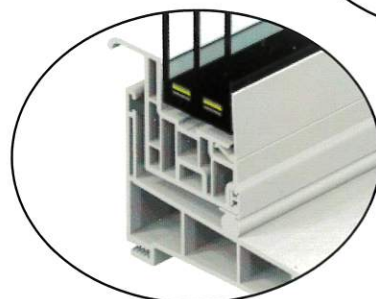
Fully weatherstripped sashes provide unequalled protection against air infiltration and increases thermal values

Utilizing the Duralite spacer (manufactured without any heat/cold conducting metal) inherently increases thermal values

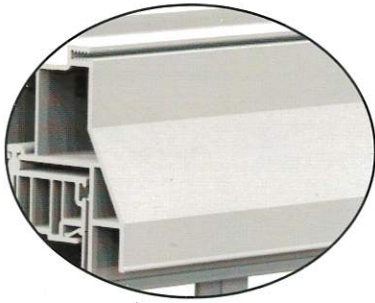


One-piece lift rail top and bottom

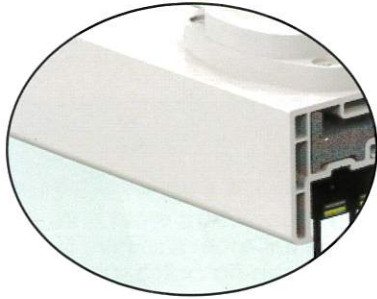
Mullion options are available for all your multi-window needs (not shown)



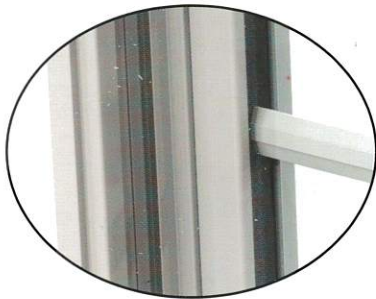
Superior bulb seal where sash meets sill. This creates the best protection against air and water infiltration for greater peace of mind



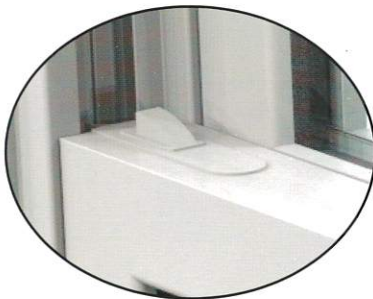
Decorative beveled exterior – captures that classic look which complements every home



Beautiful soft bevel on sash – provides a more elegant and traditional look



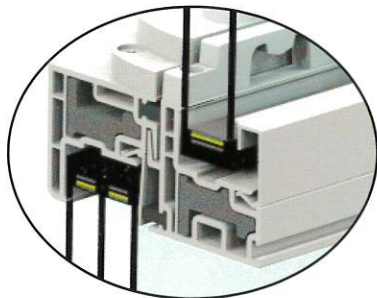
Slim profile – allows for maximum glass area letting more light in to your home



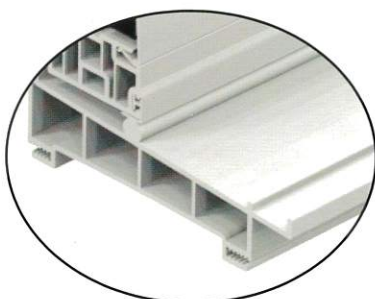
Heavy-duty block and tackle balance system – provides years of easy sash operation

Dual night latches – for night time ventilation

Easy tilt-in top and bottom sash – for safe, interior and exterior cleaning with ergonomically designed integral tilt latches



Fully reinforced meeting rails – for structural integrity and lock longevity utilizing thermally efficient Ccore® structural composite reinforcement.



True sloped sill design provides optimal water run-off eliminating water entry into home

## Energy Star Performance Ratings

Choose our Soft Coat Low E 3/4" insulated dual pane glass with argon gas fill and Ccore® reinforcement for strength.  
NOTE: To reach Energy Star Ratings, NO foam, NO krypton gas or triple glazing is necessary. The thermal efficiency is built right into the window!

Double Hung Window  
U-Value: 0.27

Solar Heat Gain (SHGC): 0.28  
Visual Transmittance (VT): 0.52  
Condensation Resistance (CR): 62.0

All window styles meet Energy Star. Rating results may vary by window style.



## R5 Most Efficient

For the most efficient window, choose our Soft Coat Dual Low E 1" insulated triple pane glass with argon gas fill and Ccore® reinforcement for strength.  
NOTE: Goes beyond Energy Star Ratings, NO foam, NO krypton gas. The thermal efficiency is already built right into the window, this enhanced glass package surpasses it!

Double Hung Window  
U-Value: 0.20

Solar Heat Gain (SHGC): 0.21  
Visual Transmittance (VT): 0.34  
Condensation Resistance (CR): 73.0

All window styles meet Energy Star. Rating results may vary by window style.



# PERSONALIZING YOUR HOME

**Your home.** It's where you and your family begin each day – and the place you look forward to retreating each night. It provides your family with security and peace of mind. Your home is a reflection of who you are. Technological advances in vinyl window manufacturing have made them one of the smartest choices to improve a home's energy efficiency. Plus they bring beauty and elegance to your home's appearance.

The **Northwind III Energy Advantage** provides you with a professionally crafted window. It combines the beauty of a classically designed window with the performance that meets or exceeds today's tough energy standards. Built from the finest materials, the **Northwind III Energy Advantage** allows you to create nearly limitless possibilities when you take advantage of our special grid and color options. We put the flexibility to match the unique decor of your home in your hands.

**We are committed to meeting and exceeding your expectations by providing high quality products, unparalleled customer service, and support.**

## Available Colors

Your color options are virtually limitless with our Custom Matching Service. Present us with a color swatch to match and we'll do the rest! One time color match cost applies. Standard colors shown. **Ask for an actual sample for best color matching.** Our standard stocked colors include White, Desert Sand, Cocoa Brown and Bronze. Available for exterior, interior or both.

### Solid Vinyl Window Colors



European White



\*Desert Sand



Black



Alaskan White



\*\*Cocoa Brown



\*\*Chelsea Bronze



Gambrel Brown



Grey



Hunter Green



Barn Red



Custom Color Matching Available

### Custom Painted Window Colors

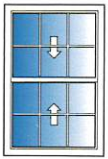
\*Can be custom painted. \*\*Lineal inventoried for normal lead-time production, exterior only.

**Bob & Terry**  
"We noticed an improvement in how the windows reduced the amount of noise coming into our house right away."

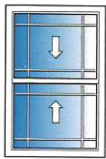


# ENTERING A HOME YOU LOVE

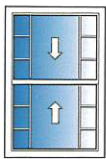
## Grid Styles



Colonial



Prairie



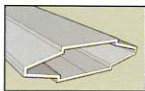
Ladder



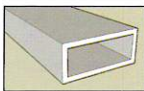
Diamond  
Style

## Grid Between Glass (GBG)

Grids can be between glass for effortless cleaning or SDL (Simulated Divided Lite) for a more true "wood" or traditional look. GBG (Grid Between Glass) mimics a more authentic colonial look. We match interior and exterior colors on grids.



Contoured  
Grids



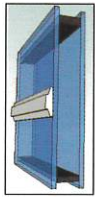
Flat  
Grids



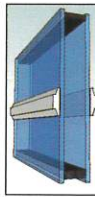
Grid Between  
Glass

Our two-tone products (wood grain or coated) are fabricated with matching grids to complete your window design.

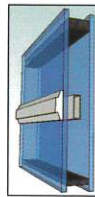
## Simulated Divided Lite (SDL)



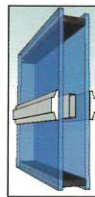
Exterior or  
Interior SDL  
only



Exterior and  
Interior SDL  
only



Exterior or  
Interior SDL  
with GBG



Exterior and  
Interior SDL  
with GBG

## Wood Grain Interior Stains



Dark Golden Oak  
Base 7863 with  
Dark Mahogany  
Stain 9573



Dark Golden  
Oak Base 7863  
with Walnut  
Stain 9574



Dark Golden  
Oak Base 7863  
with Mahogany  
Stain 9509



Beige Base  
7600 with  
Walnut Stain  
9574



Natural Base  
7601 with  
Cherry Stain  
9571

These printed color swatches do not match the actual stain. **Please ask for an actual sample for best color matching.** Note: Your approval of a physical color sample from our window factory is required prior to production.

### Brian & Samantha

"I am so glad we opted for the stained interior. They look so great and I love how easy our new windows are to clean too!"

## STAYING AHEAD OF THE COMPETITION

Our technologically advanced window is inherently thermally efficient without costly upgrades.

In order for the competition to match our product features and to meet the new Energy Star requirements, they have to make major modifications or additions. Including:

- The competition needs to use foam fill which adds costs and weight to the window.
- The competition may require that you invest in very expensive insulated glass units.
- The competition may include an expensive upcharge to use krypton gas within in the insulated glass unit.
- The competition may require the unit to be triple glazed, or triple glazed and foam filled. Costlier and puts more stress on unit due to weight.
- The competition may suggest the use of a complex Low-E coatings to achieve the Energy Star rating which can cause darker glass with lower emissivity values.

Let us show you the science behind saving you dollars and increasing your energy savings.

**BEST PERFORMANCE, NO ADDED COSTS, NO EXTRA FOAM FILLING, NO DARK GLASS, NO TRIPLE GLAZING.....JUST GREAT LONG LASTING PERFORMANCE**

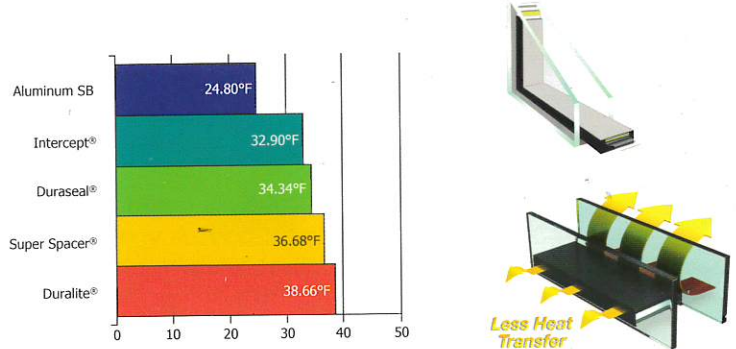


# COMFORT IN YOUR OWN HOME

We enhance your comfort by using the technology of the Duralite® Warm-edge Spacer in the insulated glass. Windows built with Duralite reduce heat transfer and improve the temperature of your inside window glass. Regardless of the season, home comfort begins with windows built with Duralite Warm-edge Spacer.

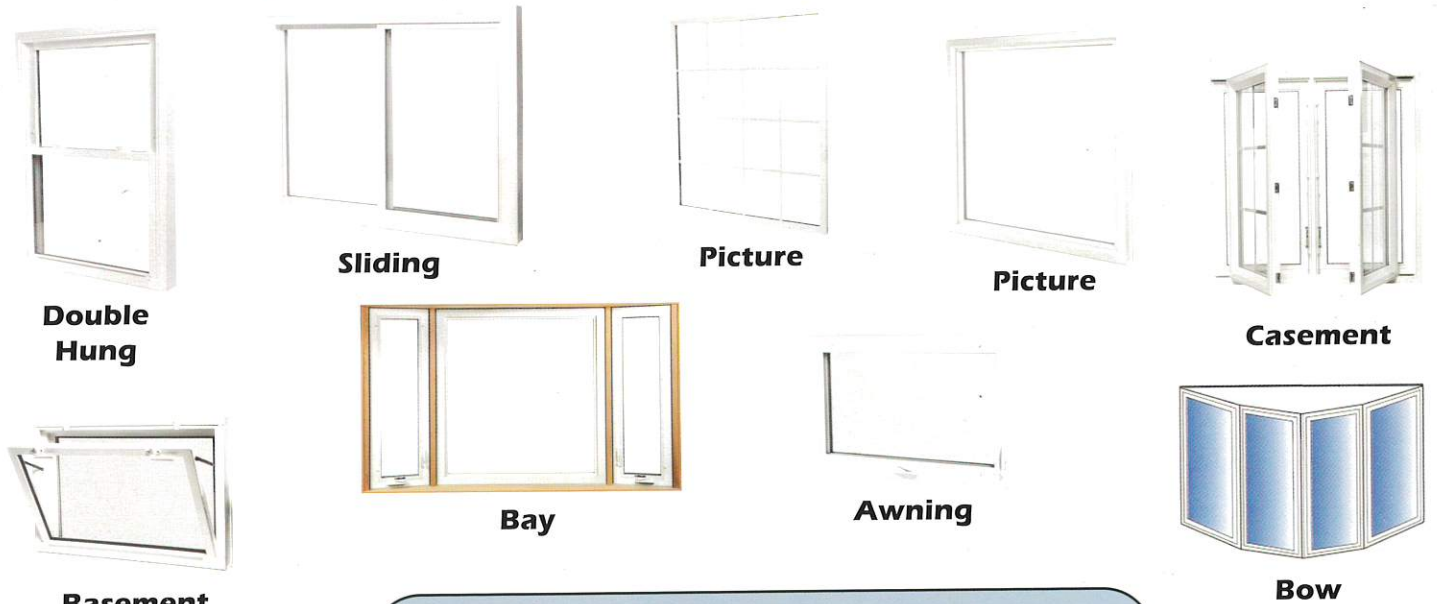
When it comes to windows, you have many choices in colors, interior finishes, hardware and glass. Most glass options also have a variety of different spacer choices that can make a real difference in performance and comfort.

The warmer the glass edge, the less energy lost and the more comfortable you feel near your window. Duralite reduces condensation, increases thermal performance, and improves total U-Value.



Above chart shows edge of glass temperatures and is based off NFRC 100-2001 testing whereby the interior temperature is 70° F and the exterior temperature is 0° F.

## Double Hung Sliding Picture Casement Awning Bay



*Chris & Alex*  
 "Professionally installed. Getting new windows was an easy decision once we saw the energy savings. Thank you."



National Vinyl LLC • 7 Coburn Street • Chicopee, MA 01013 • 413-420-0548 • www.NVPwindows.com



©2018 National Vinyl LLC #NV-NWIII-3-18  
 Score® is a registered trademark of Chelsea Building Products  
 Duralite® is a registered trademark of Quanex.

**4. 333 State Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of the existing awnings with a new design and material.

**Staff Comment:** Recommended Approval




**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Land Use Application**

**LU-23-87**

**Applicant**

 Bryan Giroux  
 2674648058  
 bgiroux@core-states.com

**Primary Location**

333 STATE ST  
Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

B. Property Owner's Representative

**Alternative Project Address**

Alternative Project Address

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

--

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure  
true

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

--

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

--

**Request for Extension of Previously Granted Land Use Approval**

--















**5. 303 Pleasant Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of (1) window to match already approved windows.

**Staff Comment:** Recommended Approval

**Stipulations:**




1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-648**

Submitted On: Jul 10, 2023

**Applicant**

 Mary Thomas  
 603-969-3583  
 sarmcmatt@gmail.com

**Primary Location**

303 PLEASANT ST  
Portsmouth, NH 03801

---

**Application Type**

Please select application type from the drop down menu below

**Alternative Project Address**

Administrative Approval

--

---

**Project Information**

**Brief Description of Proposed Work**

We are asking the board's permission to replace one (1) existing vinyl window on the west facing elevation with a new Green Mountain Window Co. window of the same size and configuration as the other original wooden 2/2 lite double-hung windows on the 2nd floor of the house. The vertical muntins on the GMW measure 1" wide, to match the existing original windows, whereas the muntins on the vinyl window measure 3/8".

This proposed window replacement is part of a larger bathroom remodel project to start in August 2023. Because the lead times at GMW were estimated to be 20 weeks, I went ahead and ordered the new window, which is now on site. Note: because a proposed freestanding tub will be installed in front of it, the window was ordered with tempered glass.

---

**Project Representatives**

---

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

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**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

HDC Certificate of Approval Granted

HDC Approval Date

--

--

Planning Staff Comments

--



















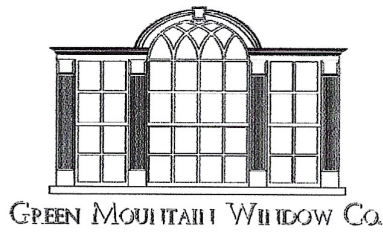
GREEN MOUNTAIN  
WINDOW





# INVOICE HISTORY

Green Mountain Window Company  
 92 Park Street  
 Rutland, VT 05701  
 8027476915  
 Phone: (802) 747-6915  
 Fax: (802) 747-7864



To: TH0300

Mary Thomas  
 303 Pleasant St  
 Portsmouth NH 03801

FOB: DLVD	Entd By: ANDY	Via: OUR TRUCK	Our Order: 021152
Type: WHSE	In: 03 / Out: 03	Terms: 50% DEP/50% COD	Your Order:

Item / Description	Qty Orderd	Qty Shippd	Qty Bckord	U/M	Net Price	Net Extended
Item: *021152001.00 Insert DH Mile-1w, 35 1/4" x 68 1/2" Frame Size To Long Point, Pine, Cabot Ultra White Exterior, Primed Interior, No Casing, Tempered 1/2" Glass, Wood Glazing Bead, Low-E w/ Argon, 3 3/8 Jamb, Oil Rubbed Bronze Lock, White Tilt Latch, No Screen, 2/2, 7/8" SDL w/ Gray Spacer Bar, No Sill Nose	1.00	1.00		EA		
Item: *021152001.00020 Tempered Glass 1/8" 30-1/4" X 30-9/16"	2.00	2.00		EA	0.00	0.00
Item: *021152001.00030 Low-E Tempered Glass 1/8" 30-1/4" X 30-9/16"	2.00	2.00		EA	0.00	0.00

Merchandise....	
Tax.....	0.00
Misc Charges...	0.00
Order Total....	
Less Pmts/Dep.:	0.00
Balance Due....	



**6. 39 Chauncy Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of HVAC equipment (Condensor).

**Staff Comment:** Recommended Approval

**Stipulations:**




1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-651**

Submitted On: Jul 19, 2023

**Applicant**

 Melissa Maccabee  
 603-332-6466  
 melissa.maccabee@serviceexperts.com

**Primary Location**

39 CHAUNCEY ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

--

**Project Information**

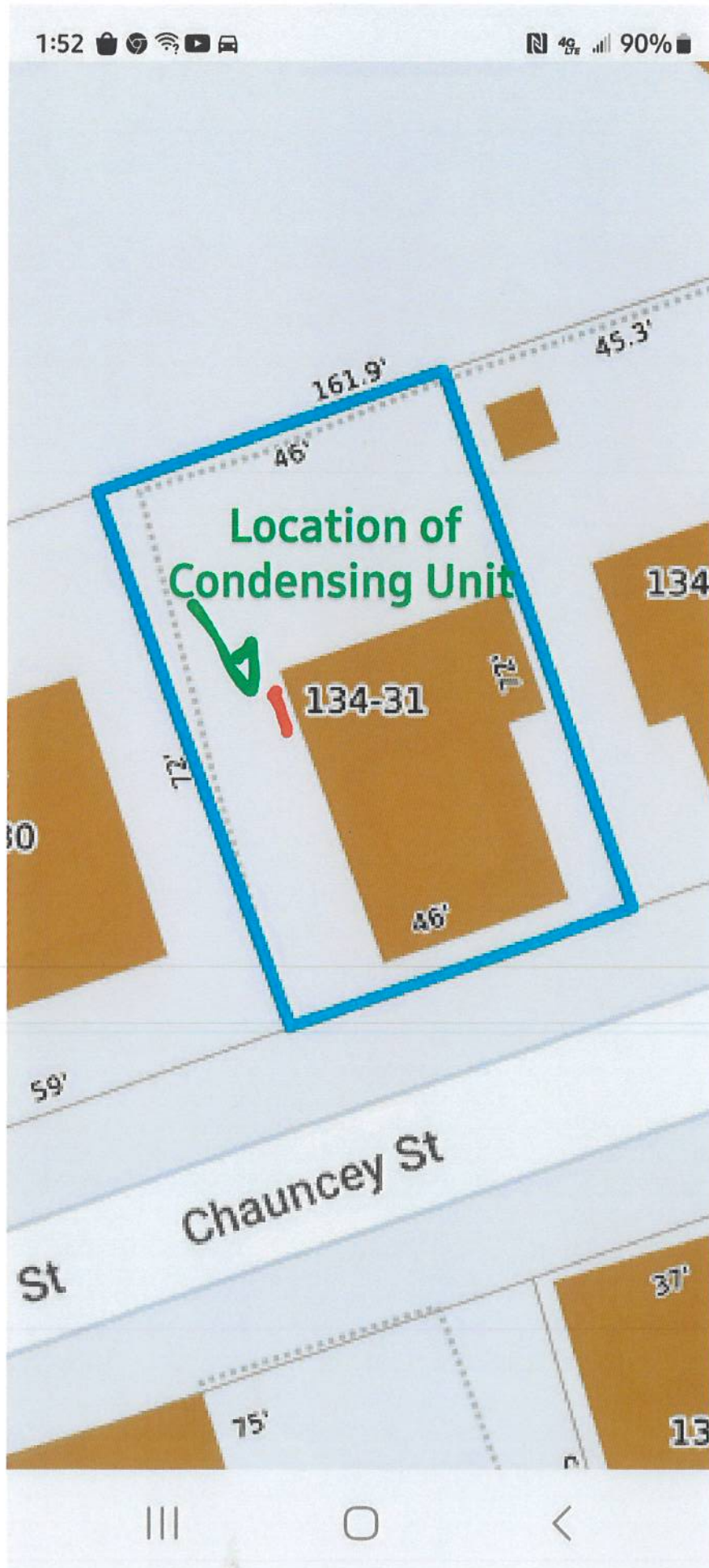
**Brief Description of Proposed Work**

Replacing a mini split condensing unit and head with a new Mitsubishi condensing unit and head on the second floor. Customer is requesting that we put the condensing unit on the corner of the house on the pavement on a stand.

**Project Representatives**

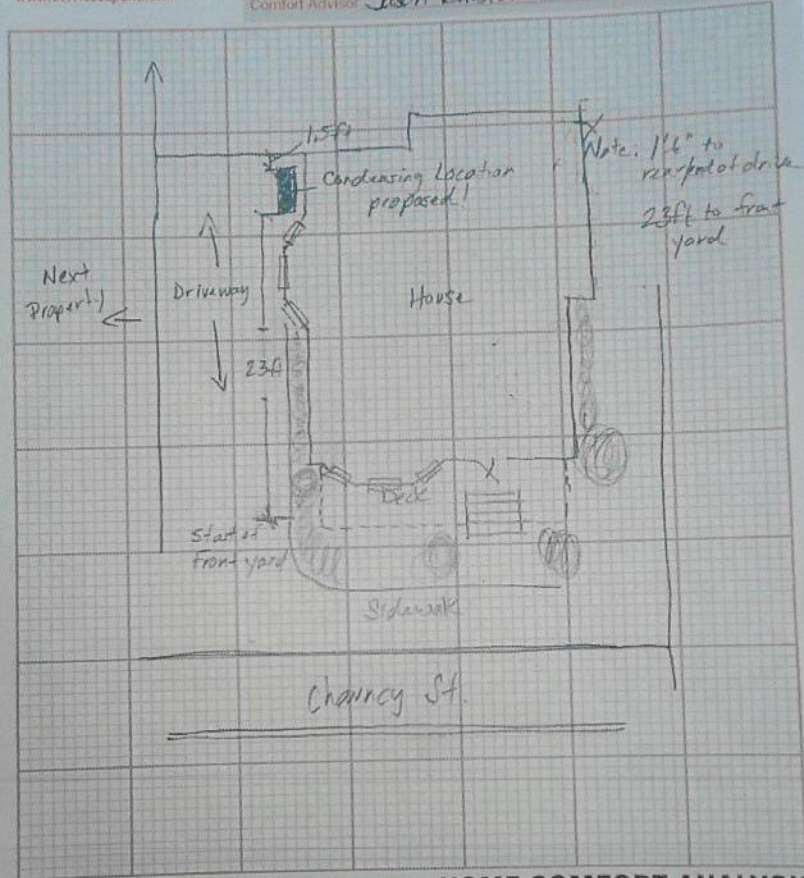
<b>Relationship to Project</b> Other	<b>If you selected "Other", please state relationship to project.</b> Contractor - sales consultant
<b>Full Name (First and Last)</b> Jason Barstow	<b>Business Name (if applicable)</b> Strogen's Service Experts
<b>Mailing Address (Street)</b> 38 Milton Rd	<b>City/Town</b> Rochester
<b>State</b> NH	<b>Zip Code</b> 03868
<b>Phone</b> 603-507-3393	<b>Email Address</b> jason.barstow@serviceexperts.com

<b>Relationship to Project</b> Other	<b>If you selected "Other", please state relationship to project.</b> Contractor - sales coordinator
<b>Full Name (First and Last)</b> Melissa Maccabee	<b>Business Name (if applicable)</b> Strogen's Service Experts
<b>Mailing Address (Street)</b> 38 Milton Rd	<b>City/Town</b> Rochester
<b>State</b> NH	<b>Zip Code</b> 03868





Customer: Larry Novelli Email: \_\_\_\_\_  
 Address: 39 Chauncy St  
 City: Portsmouth State: MA Zip: 03801  
 Home Phone: \_\_\_\_\_ Work Phone: \_\_\_\_\_  
 Comfort Advisor: Jason Bairstow



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### HOME COMFORT ANALYSIS

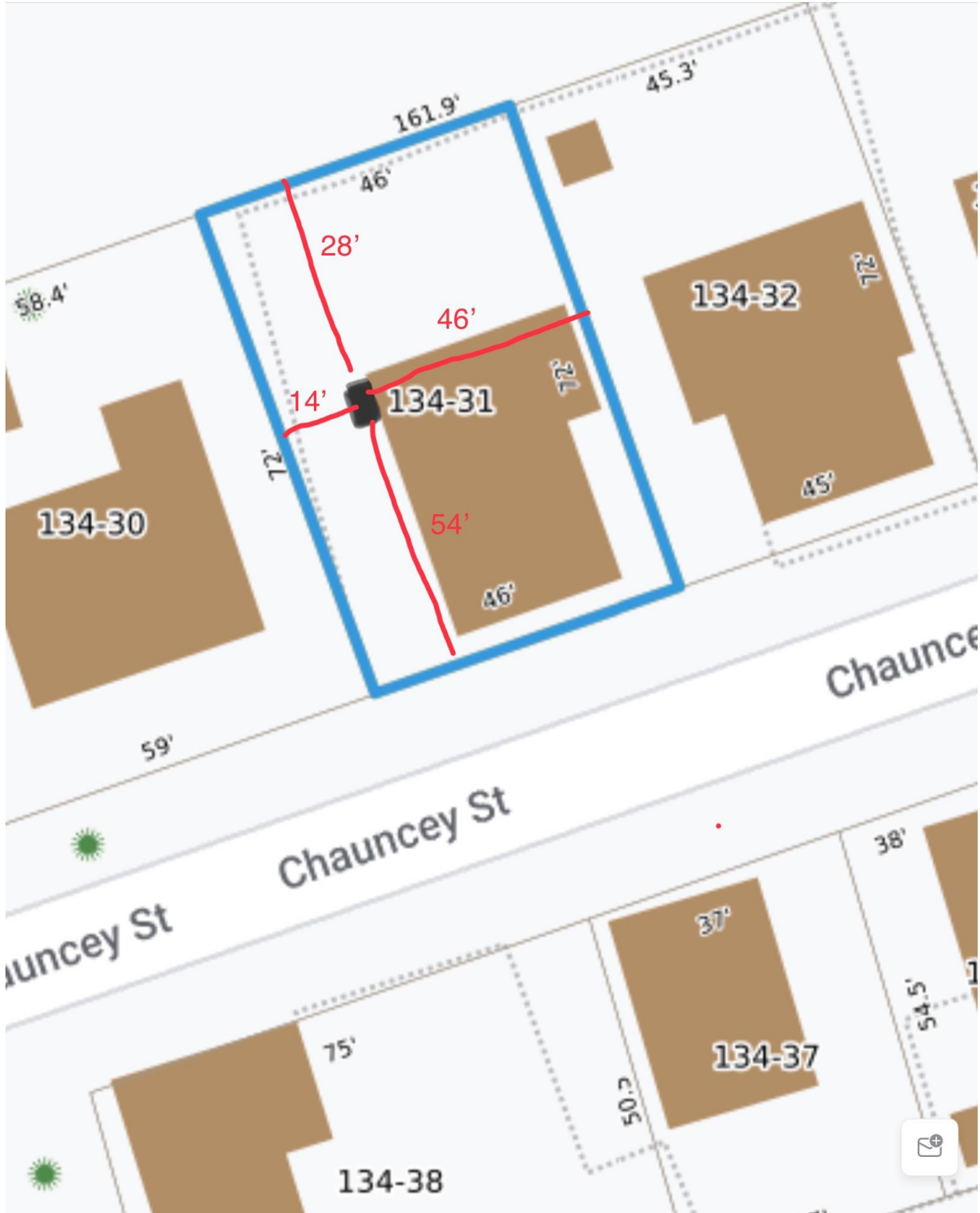












**7. 113 Daniel Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of awnings on the front façade of the building.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-650

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 7/18/2023

### Primary Location

113 DANIEL ST

Portsmouth, NH 03801

### Owner

JTM REALTY LLC

111 DANIEL ST

PORTSMOUTH, NH 03801

### Applicant

Jason Stiles

603-817-6741

jasonstiles91@yahoo.com

1527 Islington st

111

Daniel,st,Portsmouth,NH

Portsmouth , NH 03801

## Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

111 Daniel st

## Project Information

### Brief Description of Proposed Work\*

Awnings Infront of main door and exit door to protect weather for customers

### Description of Proposed Work (Planning Staff)

1 of 1



Canvas: Sumbrella - Silver Charcoal #4897

LT SIDE 1/2 ROUND - 5' W x 2'-6" CENTER HEIGHT x 3' projection BOTTOM OF FRAME TO GROUND 96"

RT SIDE 1/2 ROUND 10'-3" W x 2'-9" CENTER HEIGHT x 3' projection BOTTOM OF FRAME TO GROUND 96"

5:04

App Store



126 Daniel St



 Google



Google ...'39"N 70°45'18"W) 39 ft



**8. 161 Deer Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for a revision to the approved retaining wall material.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-652**

Submitted On: Jul 21, 2023

**Applicant**

 Carla Goodknight  
 6034312808  
 carla@cjarchitects.net

**Primary Location**

161 DEER ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

70 Maplewood

**Project Information**

**Brief Description of Proposed Work**

Revise the retaining wall product that was previously approved.

**Project Representatives**

<b>Relationship to Project</b> Architect	<b>If you selected "Other", please state relationship to project.</b> --
<b>Full Name (First and Last)</b> Carla Goodknight	<b>Business Name (if applicable)</b> CJ Architects
<b>Mailing Address (Street)</b> 233 Vaughan Street	<b>City/Town</b> Portsmouth
<b>State</b> --	<b>Zip Code</b> 03801
<b>Phone</b> 6034312808	<b>Email Address</b> carla@cjarchitects.net

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

City of Portsmouth  
Historic District Commission & Planning Department  
1 Junkins Avenue  
Portsmouth, NH 03801

August 2, 2023

**70 MAPLEWOOD AVE - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL**

Dear Chairman Wyckoff,

This application is for administrative approval to revise the Retaining Wall product from ReCon to Lock + Load that was originally approved on 10/5/22.

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA  
Principal, CJ Architects LLC



RETAINING WALL (APPROVED 10/5/22)

**MANUFACTURER:** ReCon - Rustic Texture  
**SIZE:** 16" H x 48" W



RETAINING WALL (PROPOSED)

**MANUFACTURER:** Lock + Load  
**SIZE:** 16" H x 32" W



HEIGHTS OF PROPOSED RETAINING WALL FACING RAILROAD TRACKS

RETAINING WALL

88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: AUGUST 2, 2023



1.0



**9. 244 Marcy Street - TBD**

**Background:** The applicant is seeking approval for the siding material of the structure. The applicant has supplied physical samples.

**Staff Comment:** TBD

**Stipulations:**




1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-658**

Submitted On: Jul 27, 2023

**Applicant**

 Randy King  
 603-785-5284  
 rekingcontracting@gmail.com

**Primary Location**

244 MARCY ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

--

**Project Information**

**Brief Description of Proposed Work**

To Install siding.

**Project Representatives**

<b>Relationship to Project</b> Other	<b>If you selected "Other", please state relationship to project.</b> Contractor
<b>Full Name (First and Last)</b> Randy King	<b>Business Name (if applicable)</b> --
<b>Mailing Address (Street)</b> 70 Proctor Road	<b>City/Town</b> Wilton
<b>State</b> NH	<b>Zip Code</b> 03086
<b>Phone</b> 603-785-5284	<b>Email Address</b> rekingcontracting@gmail.com

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

General Contractor hired by the home Owner.

**City Of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801**

**July 17, 2023**

**Attention Portsmouth Historic District Commissioner's**

**Dear Members,**

**I have supplied two samples for administrative approval as requested by the HDC Chair per an email from Izak Gilbo dated 7-12-2023.**

**Both samples are CertainTeed Products, first choice is the Mainstreet D4 sample in Wedgewood Blue which is a .042 panel.**

**The second choice is the Monogram D4 sample in Pacific Blue which is a .046 panel.**

**The color of the siding samples matches the existing house paint color as close as possible. The house would eventually be painted to match the siding choice as selected by the HDC.**

**Thank You**

**Randy King  
70 Proctor Road  
Wilton, NH 03086-5823  
603-785-5284**

**10. 195 Market Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of HVAC equipment (vertical condenser unit).

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-656**

Submitted On: Jul 26, 2023

**Applicant**

 Carla Goodknight  
 6034312808  
 carla@cjarchitects.net

**Primary Location**

195 MARKET ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

205 Market Street

**Project Information**

**Brief Description of Proposed Work**

Remove two existing AC Condensers located at the rear of the building and replace them with one vertical unit.

**Project Representatives**

<b>Relationship to Project</b> Architect	<b>If you selected "Other", please state relationship to project.</b> --
<b>Full Name (First and Last)</b> Carla Goodknight	<b>Business Name (if applicable)</b> CJ Architects
<b>Mailing Address (Street)</b> 233 Vaughan Street	<b>City/Town</b> --
<b>State</b> --	<b>Zip Code</b> 03801
<b>Phone</b> 6034312808	<b>Email Address</b> carla@cjarchitects.net

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

City of Portsmouth  
 Historic District Commission & Planning Department  
 1 Junkins Avenue  
 Portsmouth, NH 03801

August 2, 2023

**205 MARKET STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL**

Dear Chairman Wyckoff,

We respectfully request administrative approval to remove two existing AC Condensers located at the rear of the building (Ceres Street side) and replace them with one vertical unit. These units were compromised during the "king tide & full moon" event in December last year where Ceres Street experienced as much as a foot of water in that location.

The two current condensers are mounted on top of an existing 3' x 6' elevated concrete pad. The existing condensers would be removed, and a new vertical unit installed on the same pad. They would be mounted on a required stand for flood protection, and two bollards would be installed to protect the units from adjacent parking.

The two current condensers each have short horizontal line sets running directly to the basement and not up the exterior wall. The new line sets would occupy the same space as those shown in the photo and would be distributed to the units on the building interior from the basement.

All other exterior elements on the building will be unchanged.

Thank you for your consideration.  
 Sincerely,



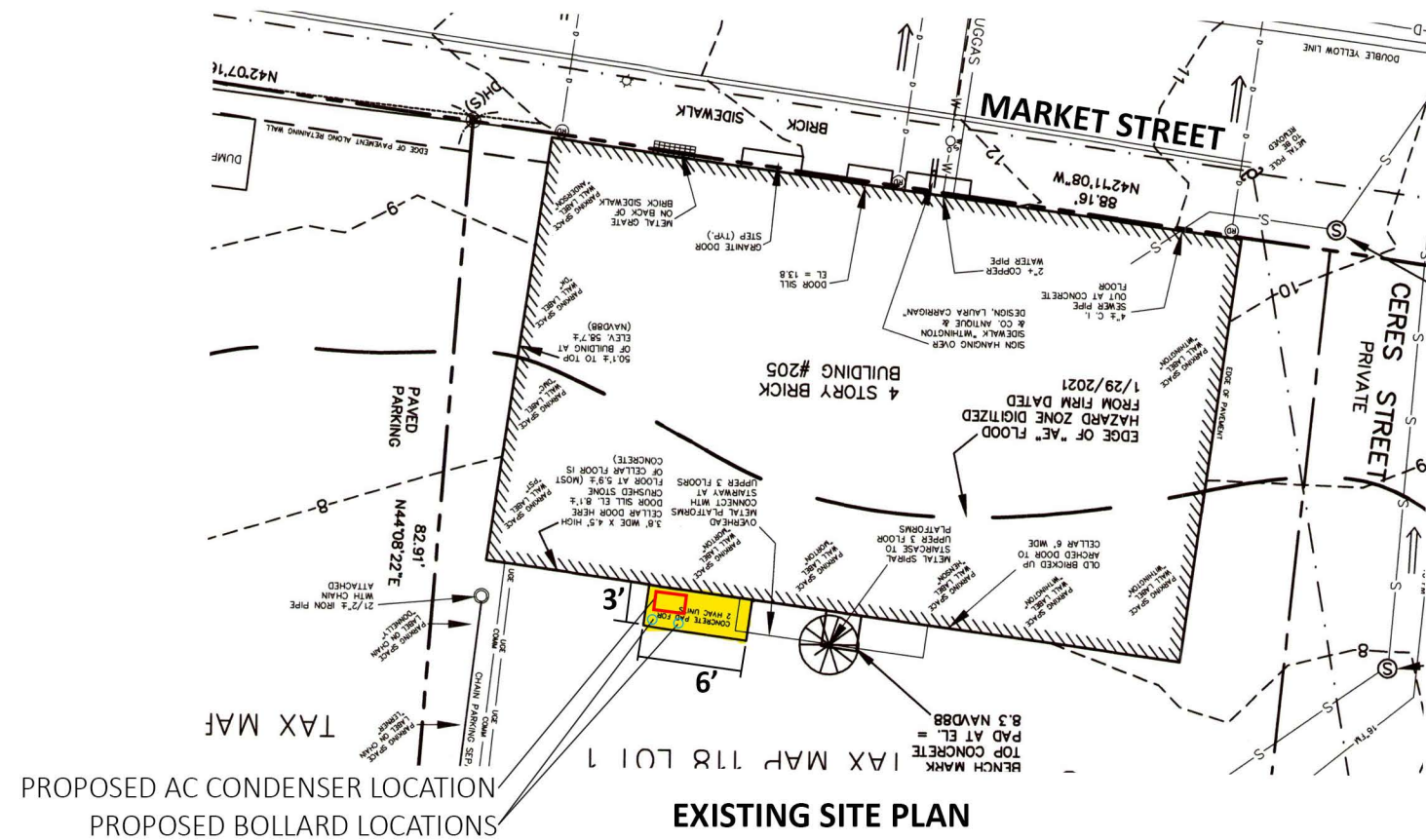
Carla Goodknight, AIA  
 Principal, CJ Architects LLC



**VIEW OF FRONT ELEVATION**



**AERIAL VIEW OF REAR ELEVATION**



**PROPOSED AC CONDENSER**

205 MARKET STREET  
 PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISSION APPLICATION FOR ADMINISTRATIVE APPROVAL:  
 AUGUST 2, 2023



1.0



**VIEW OF REAR ELEVATION**



**EXISTING AC CONDENSERS**

**MANUFACTURER:** MITSUBISHI  
**SIZE:** 32" W x 35" H x 18" D  
**QUANTITY :** 2



**PROPOSED AC CONDENSER**

**MANUFACTURER:** SAMSUNG  
**SIZE:** 41" W x 48" H x 13" D  
**QUANTITY :** 1



**BOLLARD**

**SIZE:** 4" DIA. X 36" H  
**COLOR:** CHARCOAL



**CONDENSER STAND**

**MANUFACTURER:** QUICK-SLING  
**SIZE:** 19"H x 32"W x 20.5"

**PROPOSED AC CONDENSER**

205 MARKET STREET  
 PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISSION APPLICATION FOR ADMINISTRATIVE APPROVAL:  
 AUGUST 2, 2023



2.0

**11. 752 South Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of HVAC equipment (condensers).

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_






**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-655**

Submitted On: Jul 26, 2023

**Applicant**

 Samuel Taylor  
 6036822812  
 sam@sambuilds.com

**Primary Location**

752 SOUTH ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

--

**Project Information**

**Brief Description of Proposed Work**

Mini split units installed by MCHVAC.

Planned location is between garage and House in front of Connector as submitted by MCHVAC. This location has existing AC unit that is shielded from street view by an evergreen shrub. We want the same natural screening of evergreen plantings.

**Project Representatives**

<b>Relationship to Project</b> Other	<b>If you selected "Other", please state relationship to project.</b> General Contractor
<b>Full Name (First and Last)</b> Sam Taylor	<b>Business Name (if applicable)</b> Samuel Taylor Builder LLC
<b>Mailing Address (Street)</b> 407 Piscassic Rd	<b>City/Town</b> Newfields
<b>State</b> NH	<b>Zip Code</b> 03856
<b>Phone</b> 6036822812	<b>Email Address</b> sam@sambuilds.com

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Hired by owners to help facilitate this work.

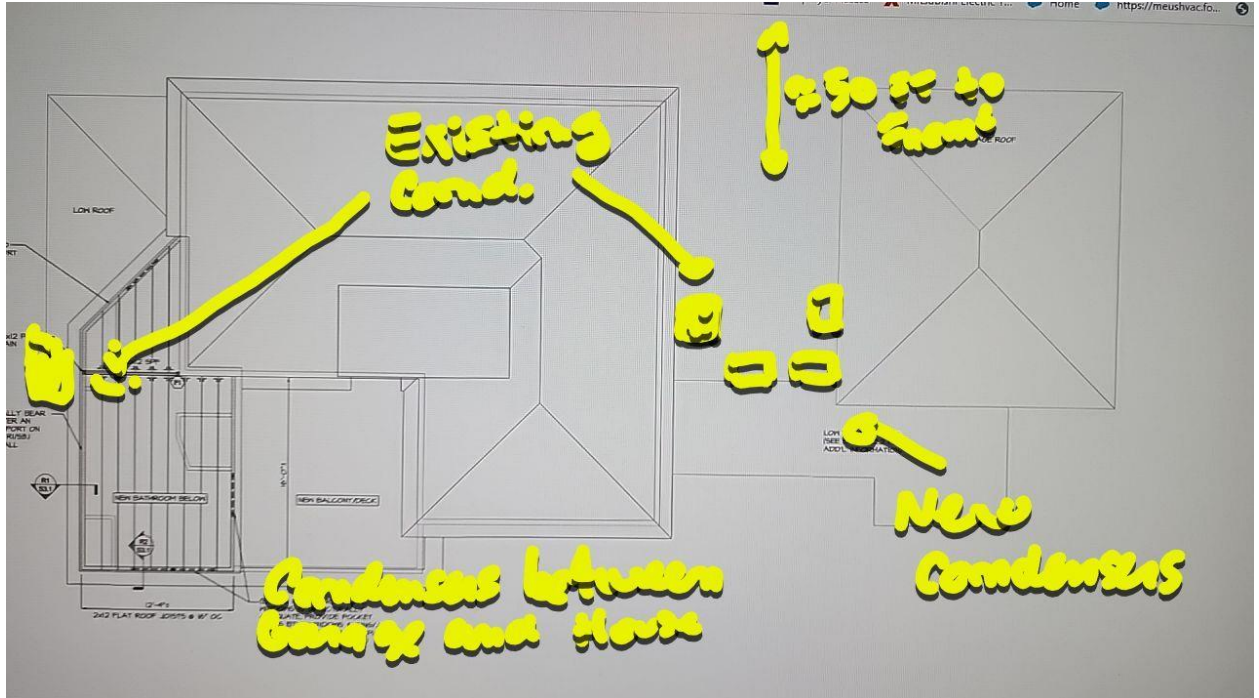


Mini Splits

Existing AC

More Evergreens

Street View



**12. 475 Marcy Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of PVC trim and risers on the recently replaced deck.

**Staff Comment:** Recommended Approval

**Stipulations:**



1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-657**

Submitted On: Jul 26, 2023

**Applicant**

 John Markley  
 6032366117  
 @ j.tyler.markley@gmail.com

**Primary Location**

475 MARCY ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

--

**Project Information**

**Brief Description of Proposed Work**

We are currently replacing a rotting wooden deck with new wooden deck with same dimensions approved under a separate building permit. We are requesting an administrative approval to use PVC trim (rise boards, vertical skirting and rim joist trim) in areas for rotting protection. (All other materials on deck will still be wood)

Deck is located on the backside of the house and is surrounded by a wood fence.

**Project Representatives**

<b>Relationship to Project</b>	<b>If you selected "Other", please state relationship to project.</b>
Engineer	--
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Steve Kirk	Premier Deck
<b>Mailing Address (Street)</b>	<b>City/Town</b>
--	--
<b>State</b>	<b>Zip Code</b>
--	--
<b>Phone</b>	<b>Email Address</b>
--	--

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

## Project Description:

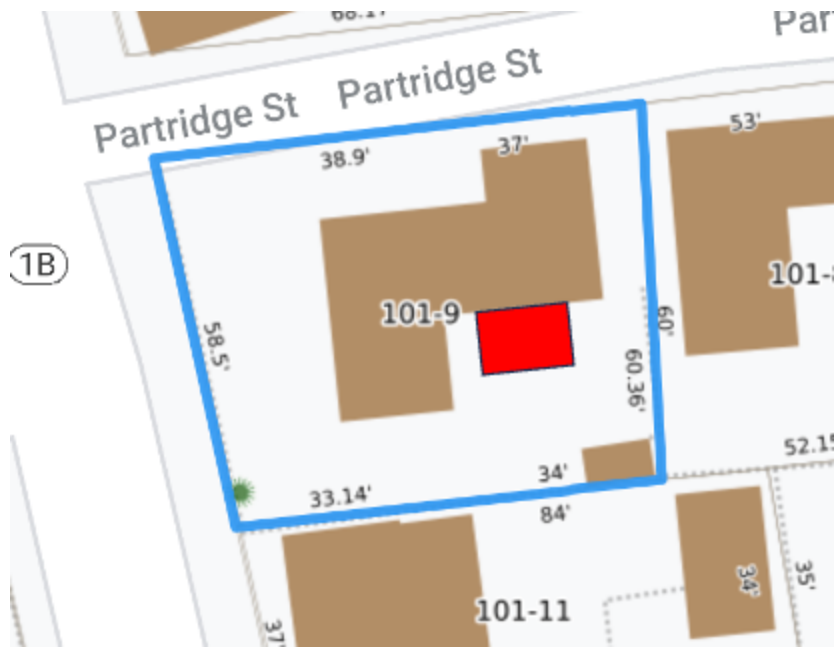
Replacement of the current rotting wooden deck with new wooden deck with same dimensions. Requesting change to use PVC trim (rise boards, vertical skirting and rim joist trim) in areas for rotting protection. (All other materials on deck will still be wood)

Deck is located on the backside of the house and is surrounded by a wood fence.

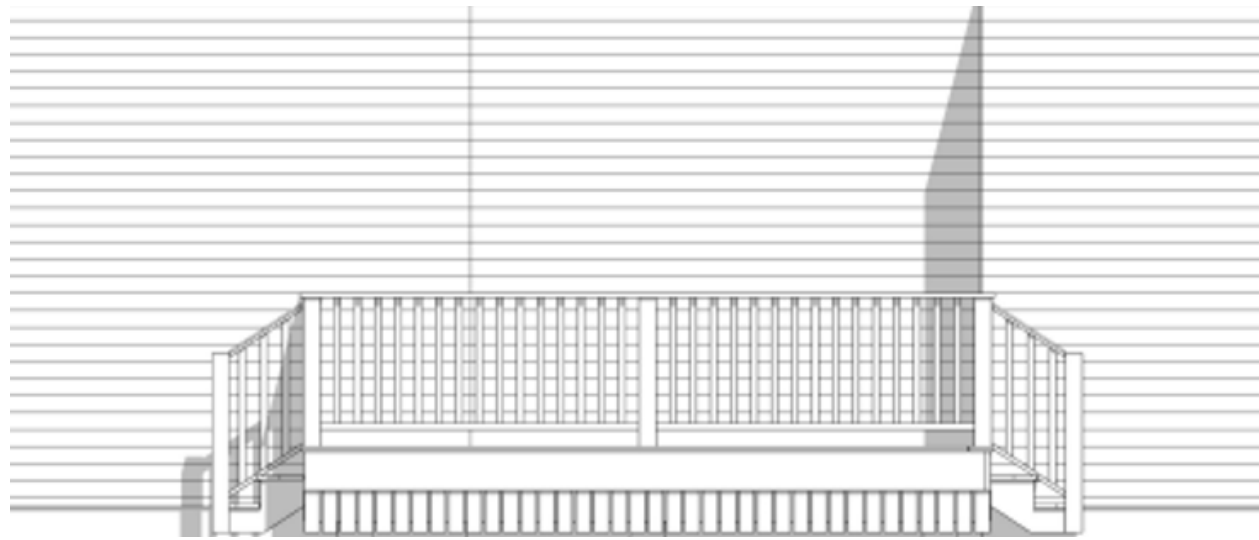
## Property Location:



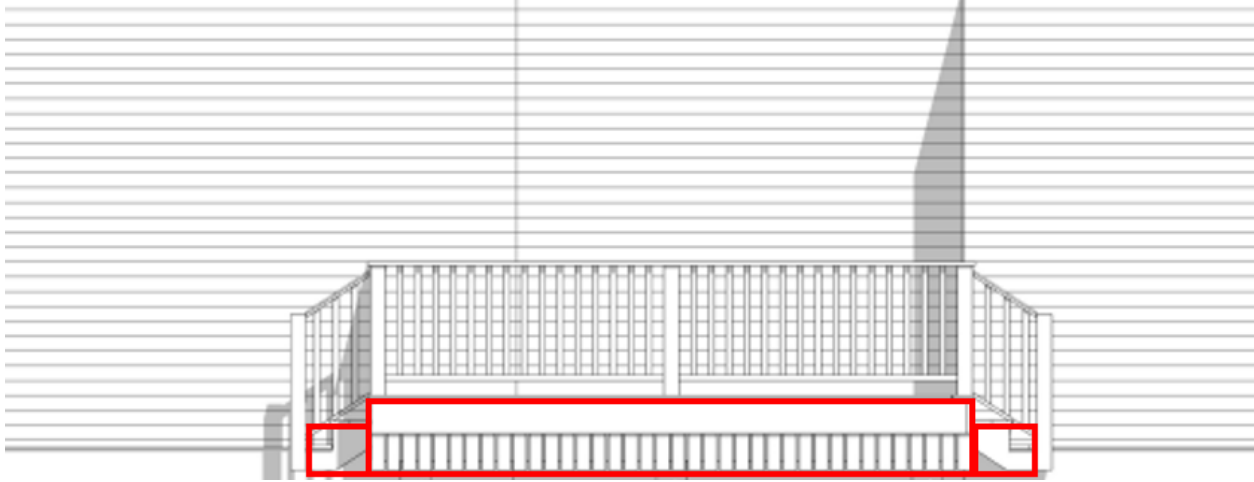
## Deck on Property Location (Red):



Deck Design:



Areas to use PVC.







# Historic District Commission

## Staff Report – August 2<sup>nd</sup>, 2023

### August 2<sup>nd</sup> MEETING

#### Administrative Approvals:

- |                              |                        |
|------------------------------|------------------------|
| 1. 1 Walton Alley            | - Recommended Approval |
| 2. 3 Walker Street           | - Recommended Approval |
| 3. 90 Fleet Street, Unit 5-1 | - Recommended Approval |
| 4. 333 State Street          | - Recommended Approval |
| 5. 303 Pleasant Street       | - Recommended Approval |
| 6. 39 Chauncy Street         | - Recommended Approval |
| 7. 113 Daniel Street         | - Recommended Approval |
| 8. 161 Deer Street           | - Recommended Approval |
| 9. 244 Marcy Street          | - TBD                  |
| 10. 195 Market Street        | - Recommended Approval |
| 11. 752 South Street         | - Recommended Approval |
| 12. 475 Marcy Street         | - Recommended Approval |

#### CERTIFICATE OF APPROVAL EXTENSIONS:

- 420 Pleasant Street (second 1-year extension)
- 2 Russell Street & 0 Deer Street (2 Lots) (1-year extension)

#### PUBLIC HEARINGS – OLD BUSINESS:

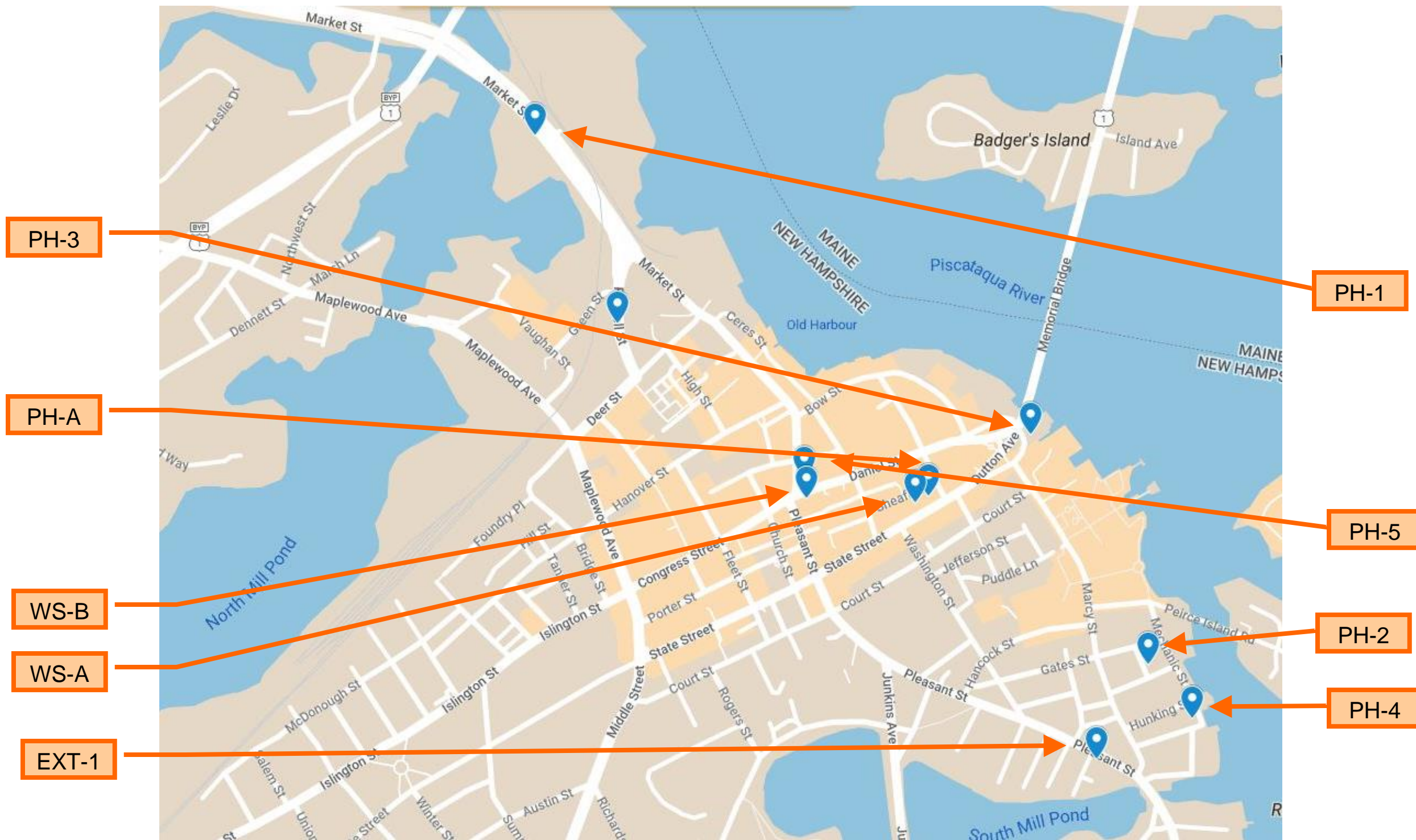
- 111 State Street (Door, chimney, and dormer)

#### PUBLIC HEARINGS – NEW BUSINESS:

- 500 Market Street, Unit 14R (solarium rebuild)
- 3 Walton Alley (fence and gate installation)
- 10 State Street, Unit D (vestibule revisions, new patio door)
- 170 Mechanic Street (0 Mechanic Street)  
(replace windows and pedestrian door on barn)
- 11 Market Street, Unit 2 (replacement windows)

#### WORK SESSIONS – OLD BUSINESS:

- 37 Prospect Street (rear addition)
- 129 State Street (changes to a previously approved design)
- 14 Market Square (roof top addition and dormers)



LOCATOR MAP

# HISTORIC DISTRICT COMMISSION

MEETING DATE: August 2<sup>nd</sup>  
APPLICATIONS: 23

# Historic District Commission

**Project Address:** 111 STATE STREET (LU-22-125)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Mixed-Use/ Commercial
- Land Area: 2,875 SF +/-
- Estimated Age of Structure: c.1825
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from State and Sheafe Street.
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** To replace door and windows, remove chimney & add dormer.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

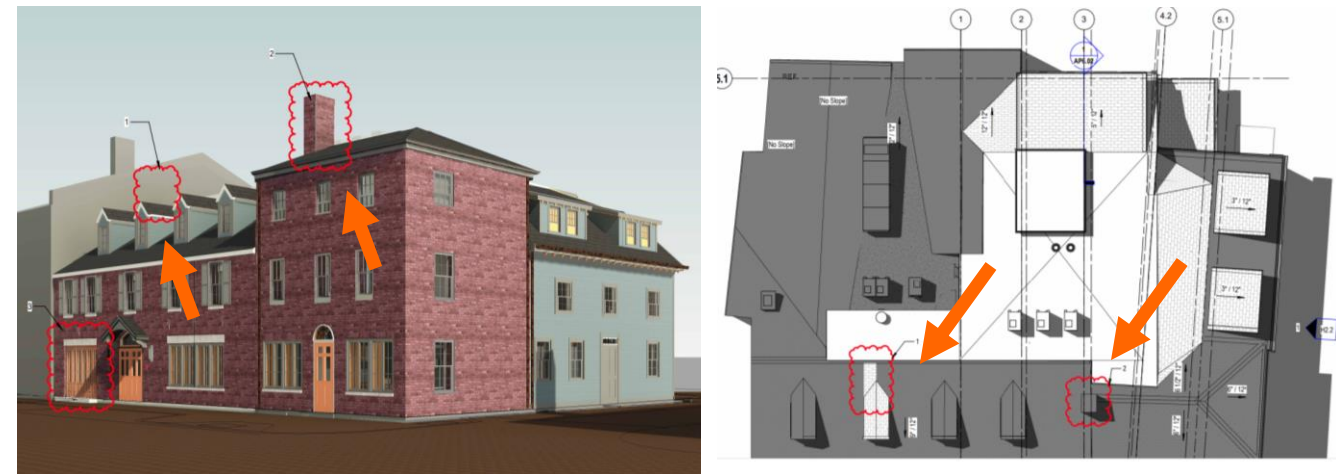
- This historic structure fronts along State Street with a rear yard along Sheafe Street. It is surrounded with many other historically-significant structures.

**J. Staff Comments and/ or Suggestions for Consideration:**

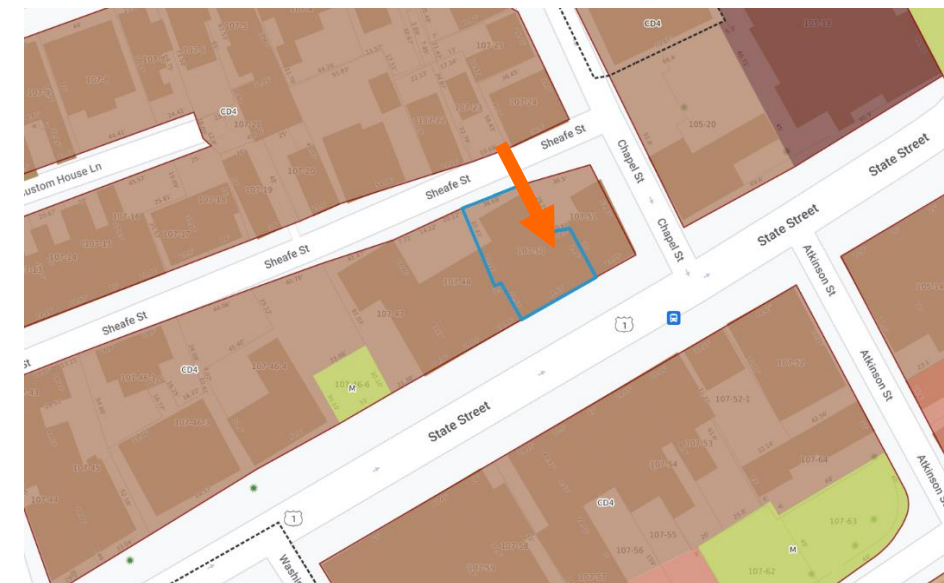
- The project proposal includes the following:
  - Replace the ground-floor window and left side door with nano windows;
  - Reconstruct the chimney at the parapet; and
  - Remove the left chimney and replace it with a dormer.

**Design Guideline Reference – Guidelines for Roofing (04), Windows and Doors (08) & Commercial Developments and Storefronts (12).**

**K. Aerial Image, Street View and Zoning Map:**



Front and Rear Axonometric Drawings



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

**111 STATE STREET (LU-22-125) – PUBLIC HEARING #A (MODERATE PROJECT)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<b>MODERATE PROJECT</b> <b>- Add Folding Doors, Remove Chimney and Add Dormer -</b>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	<b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	<b>Doors and windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	<b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	<b>Garages / Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	35		<b>Fence / Walls / Screenwalls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36		<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37		<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		<b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		<b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

**PROPERTY EVALUATION FORM**  
**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 111 STATE ST. Case No.: A Date: 8-2-23**  
**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 500 MARKET STREET, UNIT 14R (LU-23-104)

**Permit Requested:** CERTIFICATE OF APPROVAL

**Meeting Type:** PUBLIC HEARING #1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4-L1
- Land Use: Mixed-Use
- Land Area: 102,680 SF +/-
- Estimated Age of Structure: c. 1982
- Building Style: Classical Revival
- Historical Significance: C
- Public View of Proposed Work: View from The North Mill Pond
- Unique Features: NA
- Neighborhood Association: Nobles Island

**B. Proposed Work:** Replace the rear solarium on unit 14R.

**C. Other Permits Required:**

- Board of Adjustment
- Planning Board
- City Council
- Condo Association
- Abutting Property Owner

**D. Lot Location:**

- Terminal Vista
- Gateway
- Mid-Block
- Intersection / Corner Lot
- Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal
- Accessory
- Demolition

**F. Sensitivity of Context:**

- Highly Sensitive
- Sensitive
- Low Sensitivity
- "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)

- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The building is located along Market Street along the North Mill Pond. It's surrounded with many brick 2.5 story structures with shallow setbacks and an internal parking lot area.

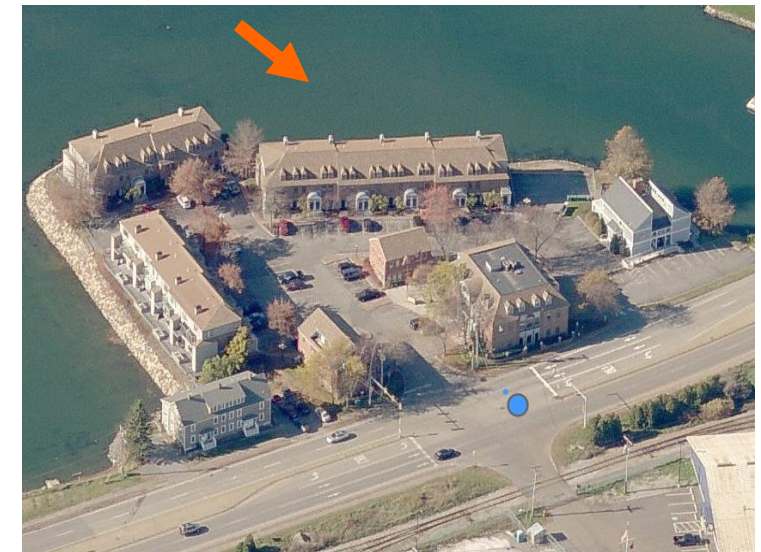
**J. Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

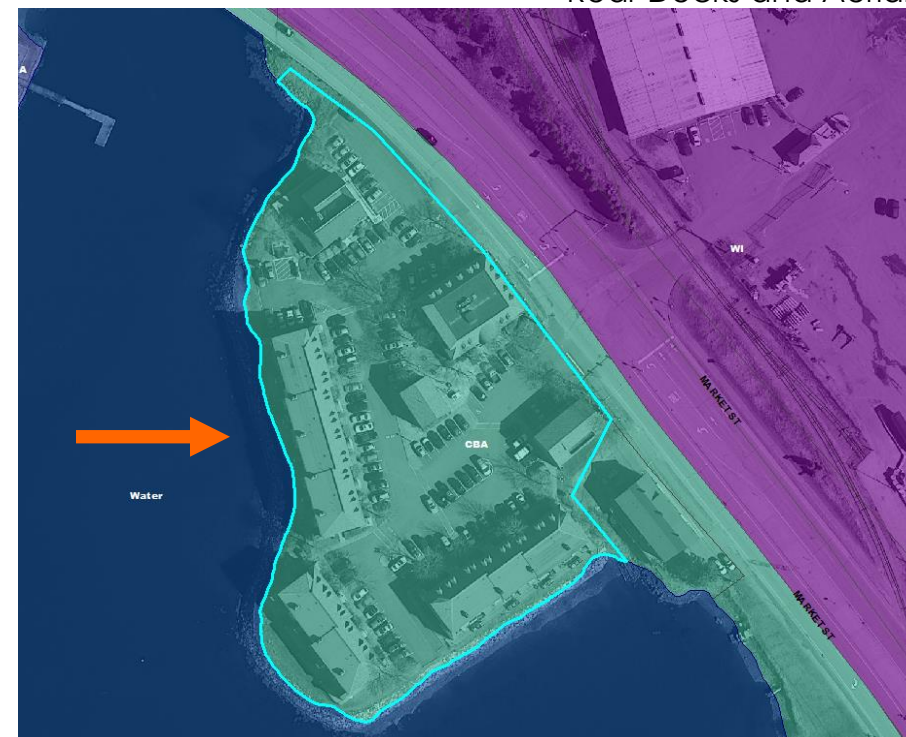
- Replace the existing solarium with a new solarium of a similar design.

• **Design Guideline Reference: Guidelines for Architectural Styles (2)**

**K. Aerial Image, Street View and Zoning Map:**



Rear Decks and Aerial View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

**500 MARKET STREET, UNIT 14R (LU-23-104) – PUBLIC HEARING #2 (MINOR)**

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<p><b>MINOR PROJECT</b>                      – Replace solarium at rear of the unit –</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	<b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	<b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	<b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	<b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	<b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	<b>Doors and Windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	<b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	<b>Garages/ Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	<b>Fence / Walls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	<b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	<b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

**PROPERTY EVALUATION FORM**  
**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 500 MARKET STREET, Unit 14R Case No.:1**

Date: 8-2-23

**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 3 WALTON ALLEY (LU-23-101)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #2

Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- This 2 story historic structure is located along Walton Alley. It is surrounded with many 2 1/2 -3 story wood-sided structures with shallow front and side yards. This property also has a shallow rear yard with two of the abutting structures located near the lot lines.

**J. Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

- Extend part of an existing fence to enclose the yard and add a decorative gate.

**Existing Conditions:**

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 1,680 SF +/-
- Estimated Age of Structure: c.1750-1800
- Building Style: Georgian/ Federal
- Historical Significance: C
- Public View of Proposed Work: Limited view from Walton Alley
- Unique Features: NA
- Neighborhood Association: South End

**B. Proposed Work:** To extend part of an existing fence and add decorative gate.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)

**Design Guideline Reference – Guidelines for Site Elements and Streetscapes (9)**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Streetscape View



Zoning Map

**HISTORIC SURVEY RATING**

**C**



### 3 WALTON ALLEY (LU-23-101) – PUBLIC HEARING #2 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	<h2 style="margin: 0;">MINOR PROJECT</h2> <h3 style="margin: 0;">- Extend existing fence and add decorative gate -</h3>					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
	CONTEXT	8	<b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		9	<b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		10	<b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		11	<b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	<b>Roofs</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		21	<b>Doors and Windows</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		33	<b>Decks</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		34	<b>Garages/ Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	<b>Fence / Walls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			38	<b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			39	<b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate

2 PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 3 WALTON ALLEY Case No.: 2 Date: 8-2-23

**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure:       | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties:     | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 10 STATE STREET  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #3

**A. Property Information - General:**

**Staff Report**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Multi-Family Residential
- Land Area: 10,827 SF +/-
- Estimated Age of Structure: 2014
- Building Style: NA
- Number of Stories: 3.0
- Historical Significance: NA
- Public View of Proposed Work: View from State and Marcy Streets
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** Add a recessed entryway and a new patio door system.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal       Accessory       Significant Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- This lot and structure is located along State Street and is surrounded variety of 3-4 story structures. The neighborhood is predominantly 3-4 story brick structures no setbacks from the street edge.

**J. Staff Comments and Suggestions for Consideration:**

The applicant proposes the following design changes:

- Create a new state street side entrance with vestibule and replace existing patio doors.

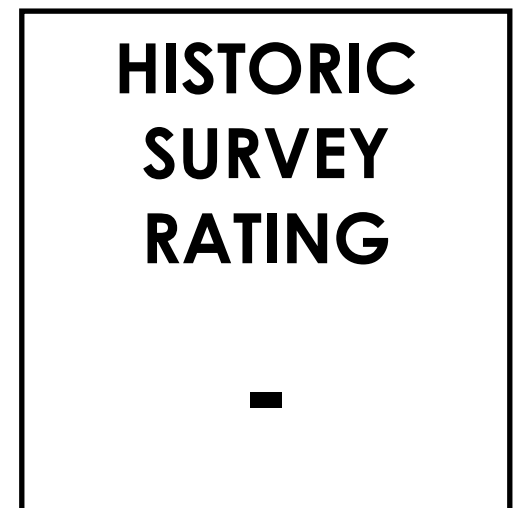
**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map



**10 STATE STREET, UNIT D – PUBLIC HEARING #3 (MINOR PROJECT)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
1	Gross Floor Area (SF)		<p><b>MINOR PROJECT</b></p> <p><b>- Modify existing vestibule entrance and replace patio door system -</b></p>				
2	Floor Area Ratio (GFA/ Lot Area)						
3	Building Height / Street-Width Ratio						
4	Building Height – Zoning (Feet)						
5	Building Height – Street Wall / Cornice (Feet)						
6	Number of Stories						
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
39			Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
40			Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

**PROPERTY EVALUATION FORM**

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 10 STATE STREET, Unit D Case No.: 3 Date: 8-2-23

Decision:  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Evaluation Form:** 170 MECHANIC STREET  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #4

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Waterfront Business (WB)
- Land Use: Accessory Structure
- Land Area: 404 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Vernacular
- Number of Stories: 1.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Hunking and Mechanic Streets
- Unique Features: NA
- Neighborhood Association: South End

**B. Proposed Work:** New windows and pedestrian door on the existing barn.

**C. Other Permits Required:**

- Board of Adjustment     Planning Board     City Council

**D. Lot Location:**

- Terminal Vista     Gateway     Mid-Block  
 Intersection / Corner Lot     Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal     Accessory     Significant Demolition

**F. Sensitivity of Context:**

- Highly Sensitive     Sensitive     Low Sensitivity     "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)

Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

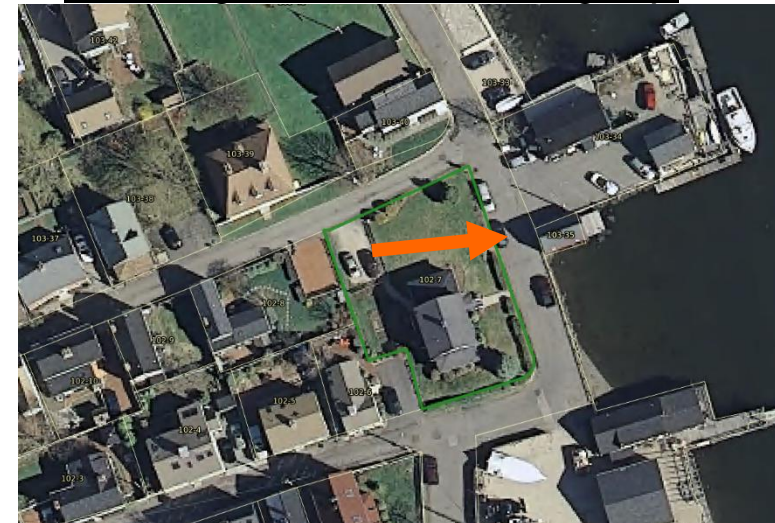
- This contributing historic structure is located along Hunking and Mechanic Streets and is surrounded with many other wood-sided, 2.5-3 story contributing structures. Most buildings have little to no front yard setback and off-street parking is limited.

**J. Staff Comments and Suggestions for Consideration:**

- The applicant proposes to: Replace the existing windows and pedestrian door while performing needed exterior maintenance.

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), and Windows & Doors (08).**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

**170 MECHANIC STREET – PUBLIC HEARING #4 (MINOR)**

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<b>MINOR PROJECT</b> <b>- Replacement windows and pedestrian door -</b>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	<b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	<b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	<b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	<b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	<b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	<b>Doors and windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	<b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	<b>Garages</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	<b>Fence / Walls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	<b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	<b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

**PROPERTY EVALUATION FORM**

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 170 MECHANIC STREET Case No.: 4 Date: 8-2-23

Decision:  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 11 MARKET STREET  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #5

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD5
- Land Use: Mixed-Use
- Land Area: 102,680 SF +/-
- Estimated Age of Structure: c.1803
- Building Style: Federal
- Historical Significance: Contributing
- Public View of Proposed Work: Market Street
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** Window Replacements

**C. Other Permits Required:**

- Board of Adjustment     Planning Board     City Council

**D. Lot Location:**

- Terminal Vista     Gateway     Mid-Block  
 Intersection / Corner Lot     Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal     Accessory     Demolition

**F. Sensitivity of Context:**

- Highly Sensitive     Sensitive     Low Sensitivity     "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

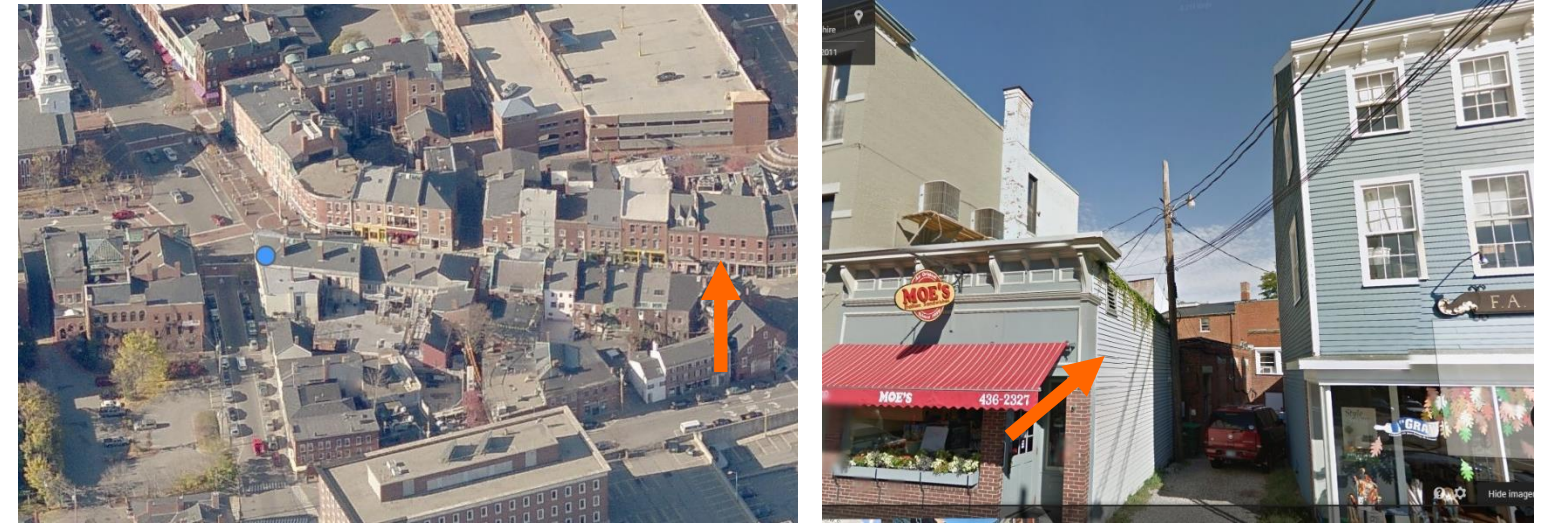
**I. Neighborhood Context:**

- The building is located along Market Street. It is surrounded with many brick 3-4 story structures with no setbacks from the sidewalk.

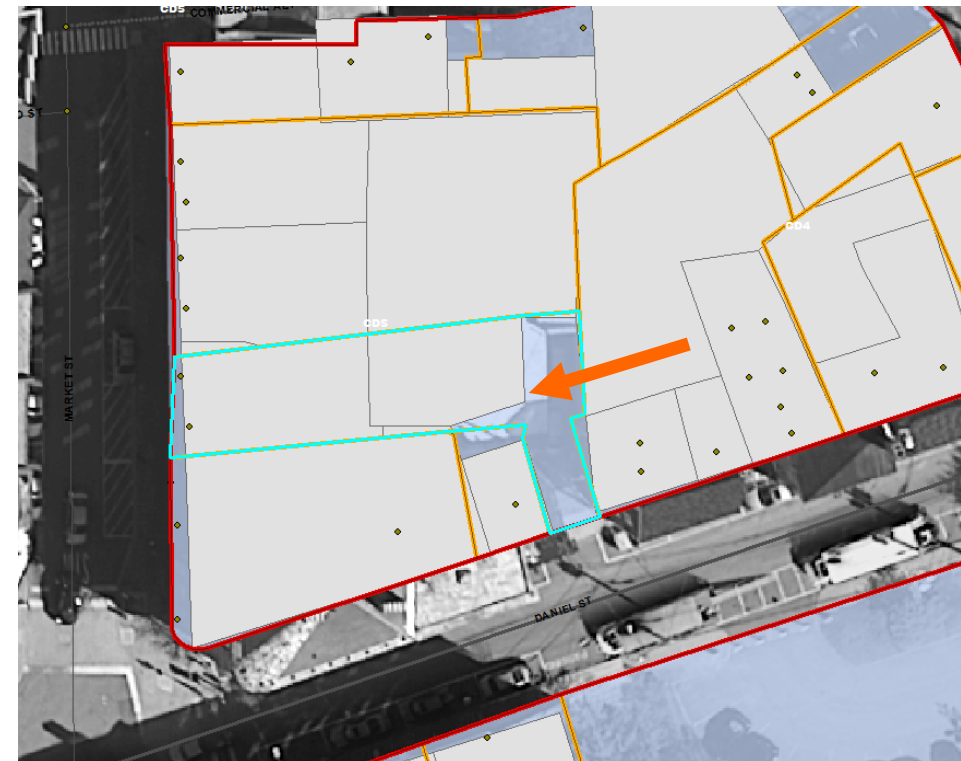
**J. Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to: Replace existing windows on the building.

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

**11 MARKET STREET, UNIT #2 – PUBLIC HEARING #5 (MINOR)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	<b>GENERAL BUILDING INFORMATION</b>		<b>(ESTIMATED FROM THE TAX MAPS &amp; ASSESSOR'S INFO)</b>				
	1	Gross Floor Area (SF)	<p><b>MINOR PROJECT</b> <b>- Window replacements-</b></p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	<b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	<b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	<b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	<b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	<b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	<b>Doors and Windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	<b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	<b>Garages/ Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	<b>Fence / Walls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38		<b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		<b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

**PROPERTY EVALUATION FORM**  
**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 11 MARKET STREET, UNIT #2 Case No.: 5**

**Date: 8-2-23**

**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 37 PROSPECT ST. (LUHD-563)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 5,230 SF +/-
- Estimated Age of Structure: c.1790
- Building Style: Colonial
- Number of Stories: 2
- Historical Significance: Contributing
- Public View of Proposed Work: View from Prospect Street
- Unique Features: NA
- Neighborhood Association: Christian Shore

**B. Proposed Work:** To construct an addition, connector and repurpose the barn.

**C. Other Permits Required:**

- Board of Adjustment     Planning Board     City Council

**D. Lot Location:**

- Terminal Vista     Gateway     Mid-Block  
 Intersection / Corner Lot     Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- Principal     Accessory     Demolition

**F. Sensitivity of Context:**

- Highly Sensitive     Sensitive     Low Sensitivity     "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

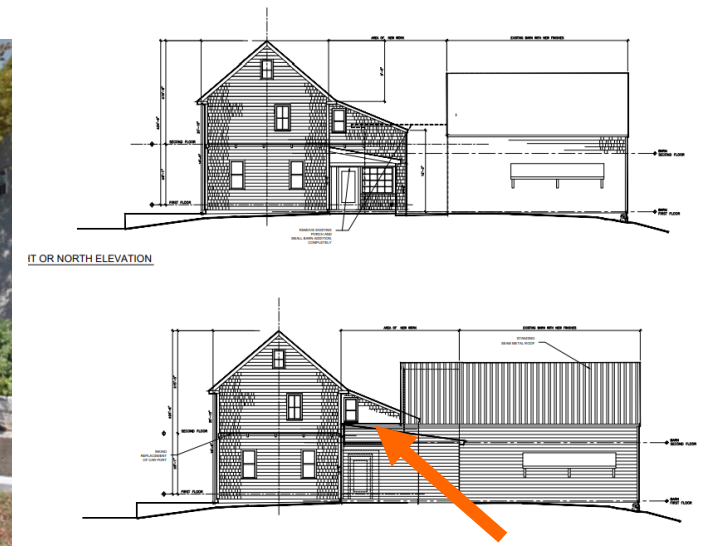
- The new building is located along Prospect Street in the Christian Shore neighborhood. It is surrounded with many contributing historic structures on a narrow street with buildings along the street with no front yard setbacks, shallow side yards and deeper rear yards.

**J. Staff Comments and/ or Suggestions for Consideration:**

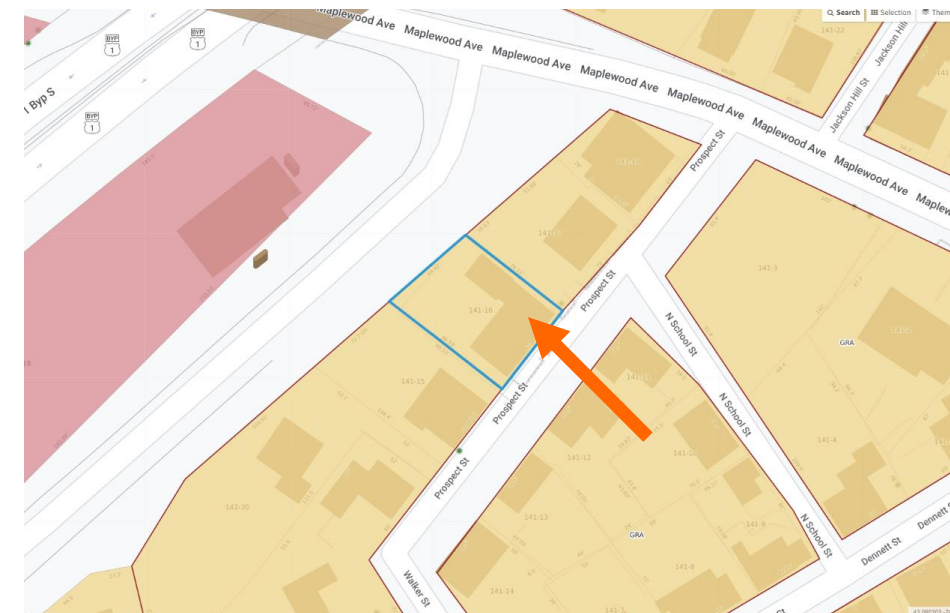
- The applicant is proposing to:
  - Add a 2-story rear addition with a connector and repurpose the barn.
  - **Note, the applicant has requested to postpone this item to the September meeting.**

**• Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, stoops and Decks (06) & Windows and Doors (08)**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**



**37 PROSPECT STREET (LUHD-563) – WORK SESSION #A (MODERATE PROJECT)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	<p><b>MODERATE PROJECT</b></p> <p><b>- Barn Conversion, Connector and Addition -</b></p>					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width (ROW) Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate

**PROPERTY EVALUATION FORM**  
**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 37 PROSPECT ST. Case No.: A Date: 8-2-23**  
**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 129 STATE ST. (LU-22-78)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #B

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Single Family
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c1815
- Building Style: Federal
- Number of Stories: 3.0
- Historical Significance: NA
- Public View of Proposed Work: View from State and Sheafe Streets
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** To modify the windows, door, skylights and roofline features.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

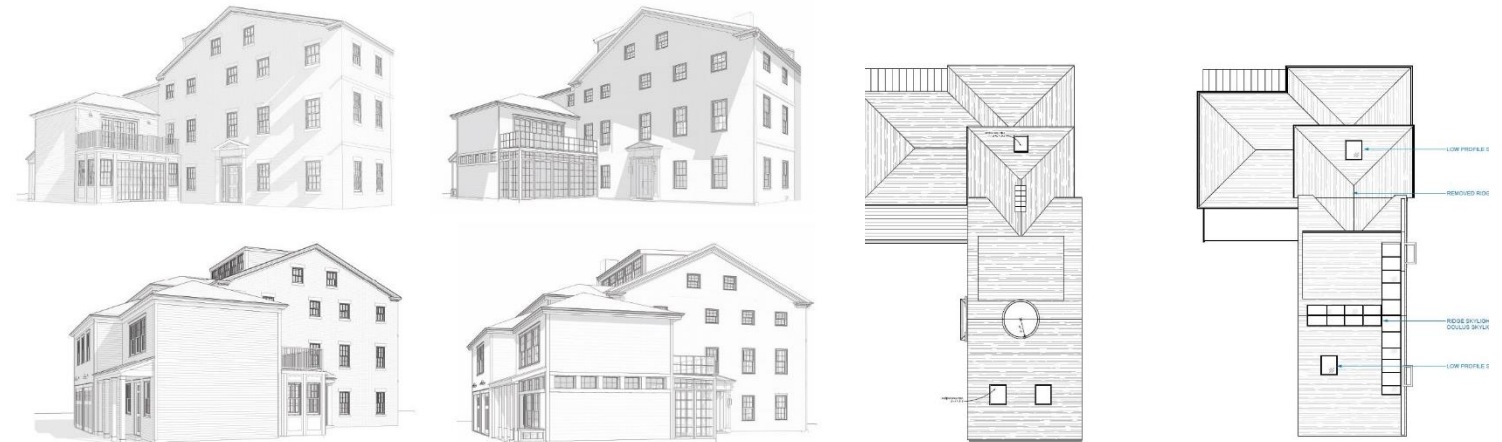
- The building is located along lower State Street and is surrounded with many contributing historic structures with uniform cornice heights and federal architectural design. The buildings are fronting directly along the street with no front yard setbacks and, where available, have shallow side or rear yards.

**J. Staff Comments and/ or Suggestions for Consideration:**

- The applicant is proposing to:
  - Modify the window, doors, skylights and oculus on the previously approved plan.

**Design Guideline Reference – Guidelines for Roofing (04), Masonry & Stucco (07) & Windows and Doors (08)**

**L. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

**129 STATE ST. (LU-22-78) – WORK SESSION #B (MODERATE PROJECT)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<b>MODERATE PROJECT</b> - Change Windows, Doors and Skylight Design -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
27		Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
SITE DESIGN	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

**PROPERTY EVALUATION FORM**  
**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 129 STATE STREET Case No.: B Date: 8-2-23**  
**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 14 MARKET SQUARE (LUHD-639)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #C

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD5
- Land Use: Mixed-Use
- Land Area: 3,136 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Commercial Vernacular
- Number of Stories: 3
- Historical Significance: Contributing
- Public View of Proposed Work: View from Market Square
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** To add a barreled dormer and shed dormers to the roof.

**C. Other Permits Required:**

- Board of Adjustment     Planning Board     City Council

**D. Lot Location:**

- Terminal Vista     Gateway     Mid-Block  
 Intersection / Corner Lot     Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- Principal     Accessory     Demolition

**F. Sensitivity of Context:**

- Highly Sensitive     Sensitive     Low Sensitivity     "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- The building is located at the intersection of Daniel and Congress Streets and fronts on Market Square. The property is surrounded with many historically significant brick and stone buildings ranging from 3 to 4 stories in height. There are no setbacks along the front- or side-yard and small to no rear yards.

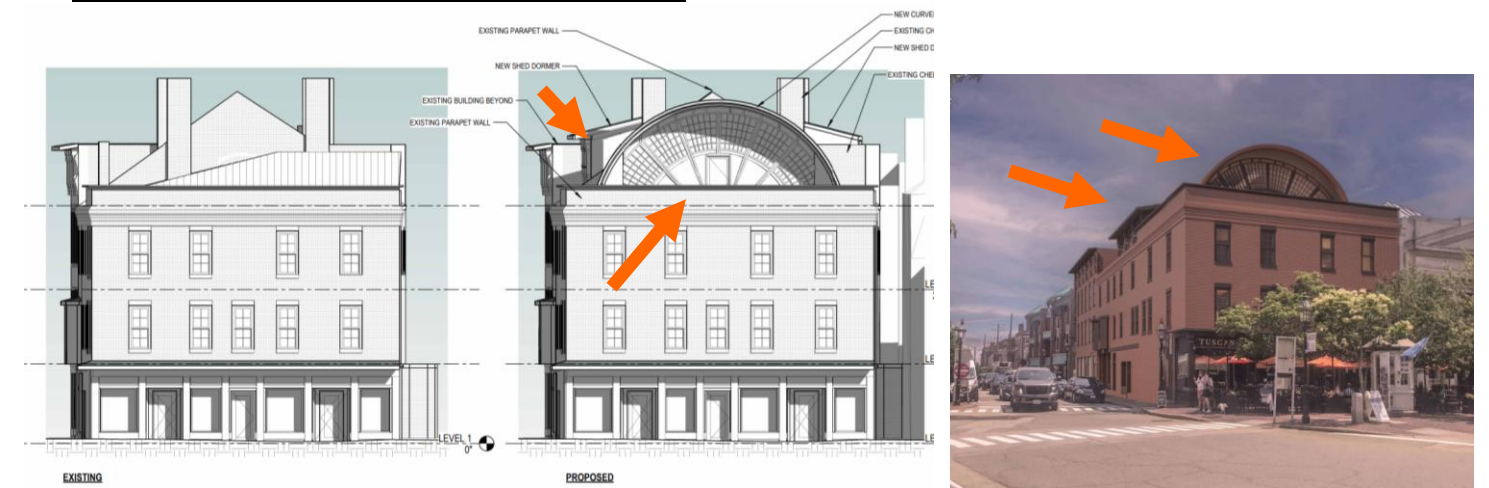
**J. Staff Comments and/ or Suggestions for Consideration:**

The Applicant is proposing to:

- Add a new roof addition – a barreled roof along the Market Square façade; and
- Add two new shed dormers on the rear roof.

**Design Guideline Reference – Guidelines for Roofing (04), Windows & Doors (08), and Small Scale New Construction and Additions (10).**

**I. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

**14 MARKET SQUARE (LUHD-639) – WORK SESSION #C (MODERATE PROJECT)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<b>MODERATE PROJECT</b> <b>- DORMERS AND BARRELLED ROOF MODIFICATIONS TO ROOFLINE -</b>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	<b>Roofs</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		21	<b>Doors and windows</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
27		<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
28		Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
29		Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
30		<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
33	<b>Decks</b>			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
34	<b>Garages / Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
35	<b>Fence / Walls / Screenwalls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
SITE DESIGN	36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
	37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
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	40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	

**PROPERTY EVALUATION FORM**

**PORTSMOUTH HISTORIC DISTRICT COMMISSION**

**PROPERTY: 14 MARKET SQUARE Case No.: C Date: 8-2-23**

**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |  |   |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No          | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No   |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No       | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No                                |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**




- |   |   |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No   |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No                      | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

**Land Use Application**

**LU-21-126**

Submitted On: Jun 18, 2021

**Applicant**

 Richard Desjardins  
 603-430-0274  
 richard@mchenryarchitecture.com

**Primary Location**

420 PLEASANT ST  
Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

B. Property Owner's Representative

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

true

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

--

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Other Site Alteration** requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Request for Extension of Previously Granted Land Use Approval**

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

--

**Zoning Information**

**Base Zoning District**

General Residence B (GRB)

**Base Zoning District 2**

--

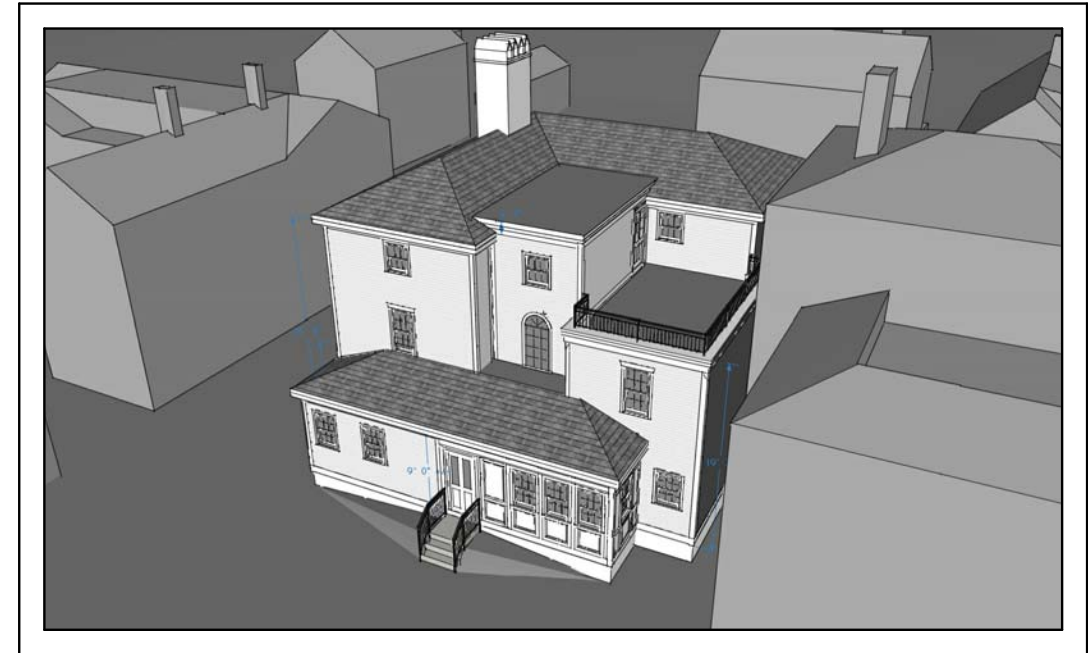
# 420 PLEASANT STREET - ADDITION AND RENOVATIONS

HISTORIC DISTRICT COMMISSION: WORK SESSION / PUBLIC HEARING - JULY 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

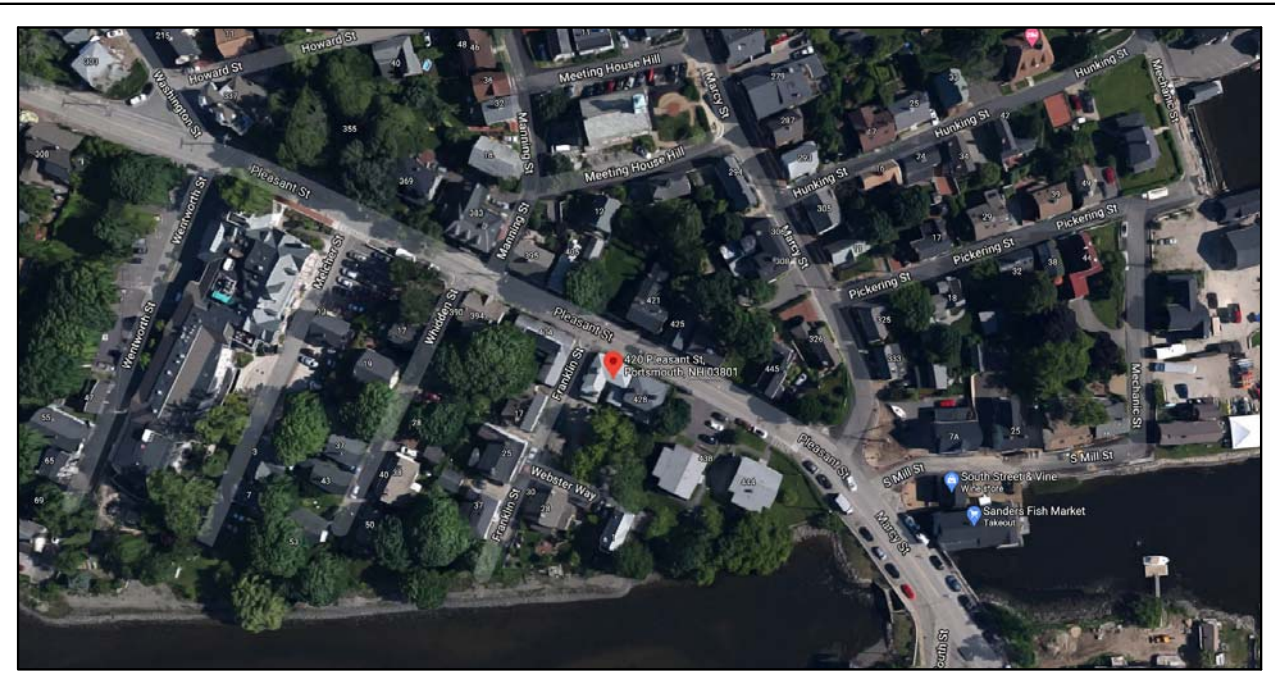
PROPOSED WORK:

- CONVERT FROM A FIVE (5) UNIT RESIDENTIAL BUILDING TO A THREE (3) UNIT RESIDENTIAL BUILDING
- REMOVAL OF EXISTING REAR ENTRY VESTIBULE AND BATHROOM
- REPLACEMENT OF SOUTHEAST ADDITION INCORPORATING A THIRD FLOOR ROOF DECK
- ADDITION OF A THREE STORY CODE COMPLIANT EGRESS STAIR ENCLOSURE AT REAR OF BUILDING
- ADDITION OF REAR ENTRY PORCH

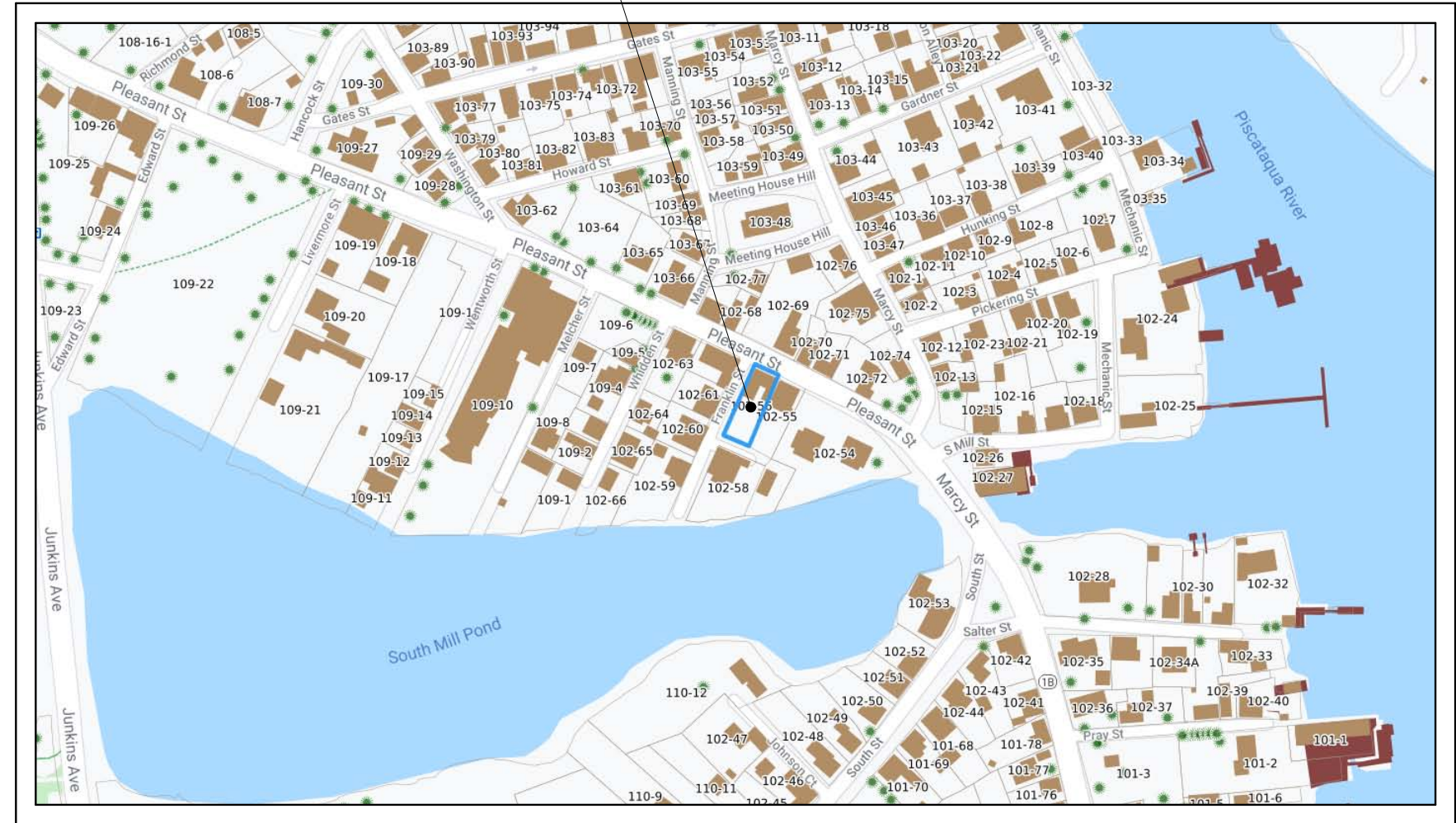


## SHEET LIST

Sheet Number	Sheet Name
C	COVER
A1	EXISTING PHOTOS
A2	CONTEXT PHOTOS
A3	CONTEXT PHOTOS
A4	EXISTING FLOOR PLANS
A5	PROPOSED FLOOR PLANS
A6	PREFERRED ROOF FORM
A7	MATERIALS AND DETAILS
A8	MATERIALS AND DETAILS
A9	MATERIALS AND DETAILS
A10	ROOF OPTIONS
A11	ROOF OPTIONS



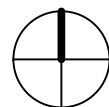
420 PLEASANT STREET PORTSMOUTH, NH 03801



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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801



HDC WORK SESSION / PUBLIC HEARING - JULY 2021

COVER

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

C

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE



VIEW DOWN FRANKLIN STREET



VIEW FROM 420 PLEASANT STREET PARKING LOT



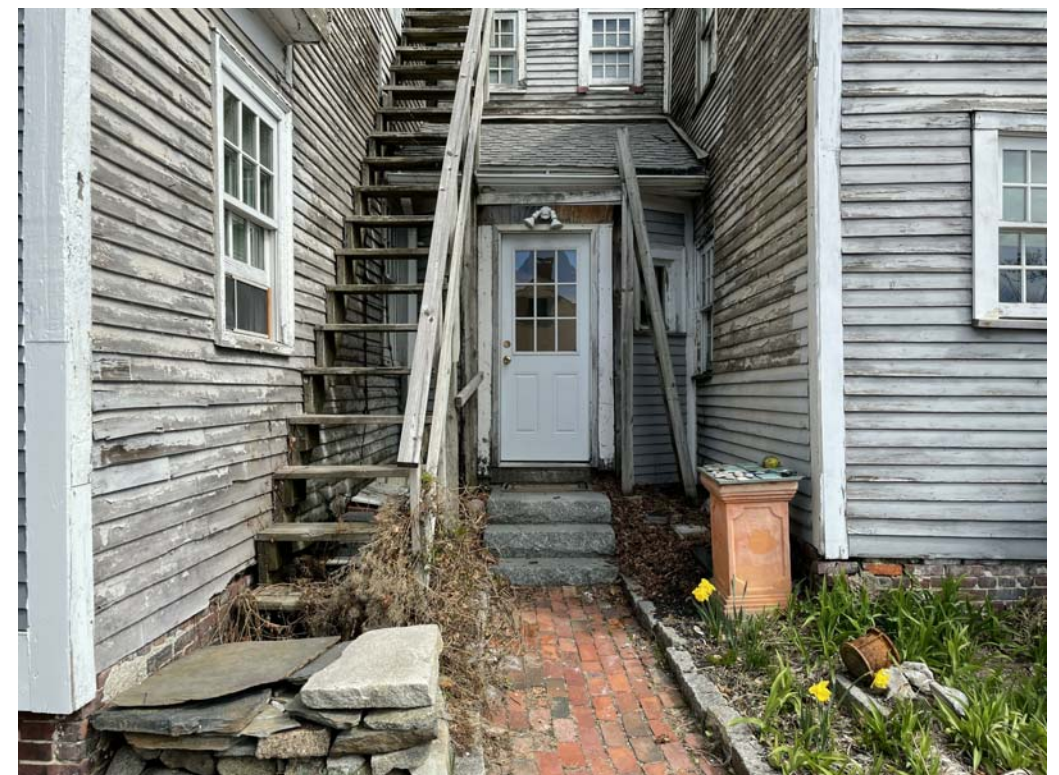
VIEW OF EXISTING SOUTHEAST ADDITION



ENTRY ON PLEASANT STREET



REAR OF BUILDING FROM FRANKLIN STREET



EXISTING REAR ENTRY

© 2021 McHenry Architecture

# 420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

# EXISTING PHOTOS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

## McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

# A1

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE





APPROACH ON PLEASANT STREET FROM DOWNTOWN (1)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (2)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (3)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (1)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (2)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (3)

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# 420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

# CONTEXT PHOTOS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

# McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A2

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE



APPROACH FROM FRANKLIN STREET (1)



APPROACH FROM FRANKLIN STREET (2)



APPROACH FROM SANDERS FISH MARKET (PLEASANT STREET)



FRANKLIN STREET



APPROACH ON PLEASANT STREET FROM DOWNTOWN (1)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (2)

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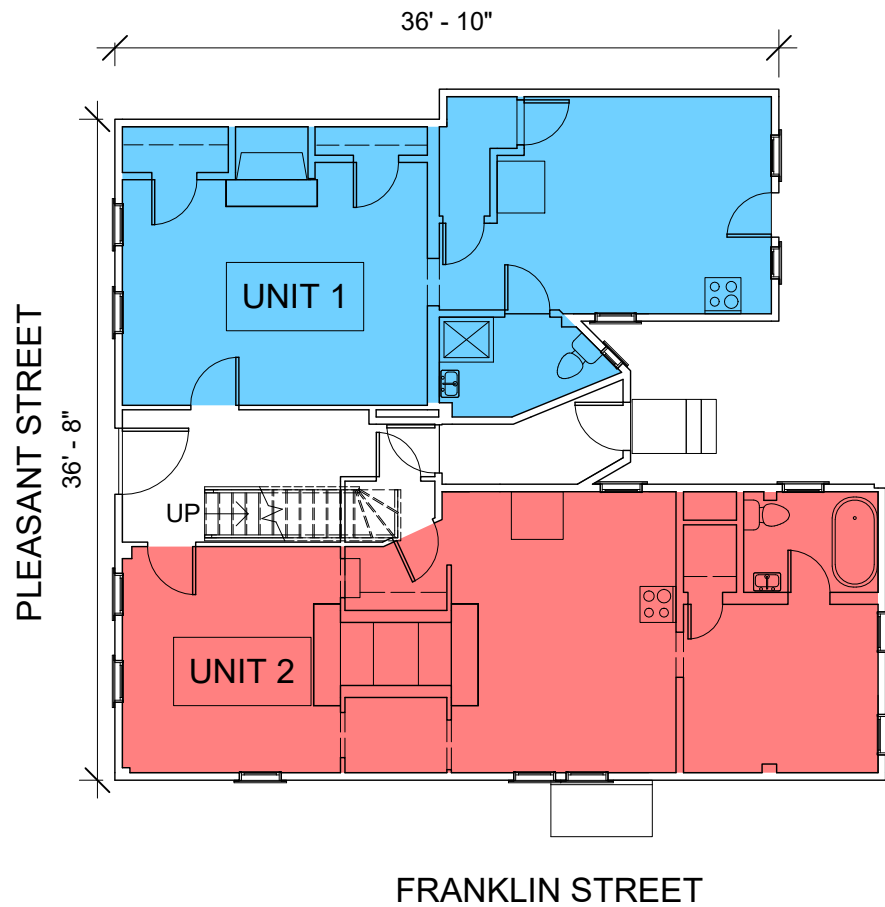
**420 PLEASANT ST. RENOVATIONS**  
 420 PLEASANT STREET  
 PORTSMOUTH, NH 03801

**CONTEXT PHOTOS**  
 HDC WORK SESSION / PUBLIC HEARING - JULY 2021

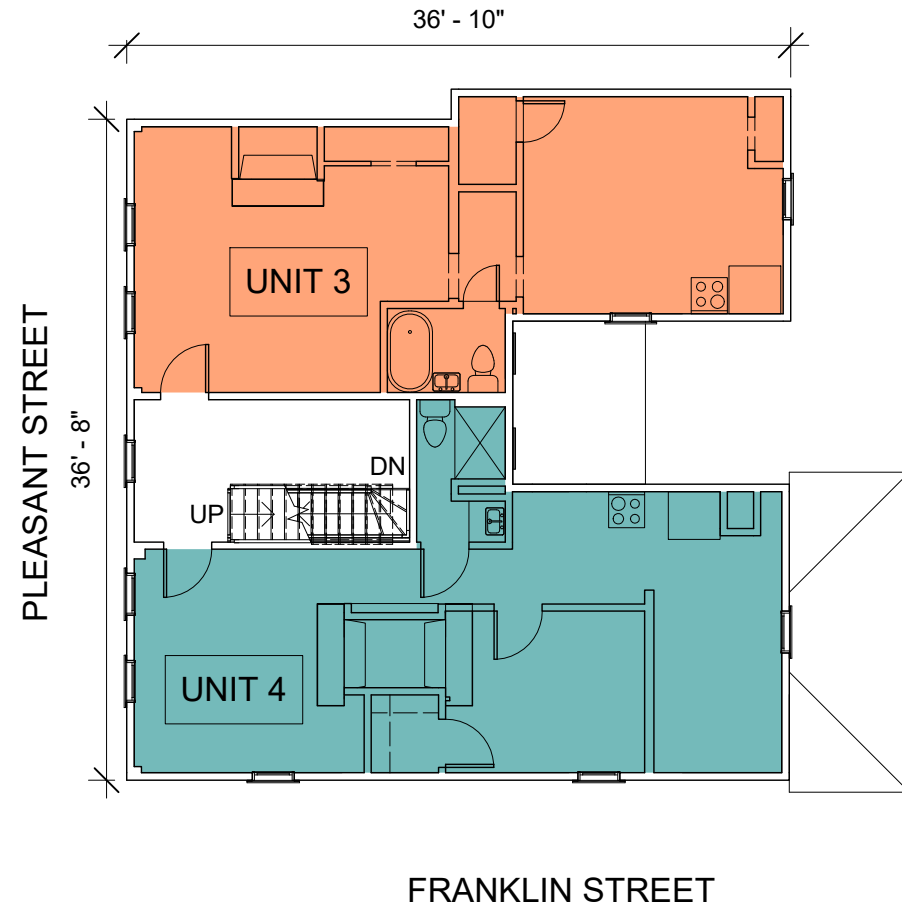
**McHENRY ARCHITECTURE**  
 4 Market Street  
 Portsmouth, New Hampshire

**A3**

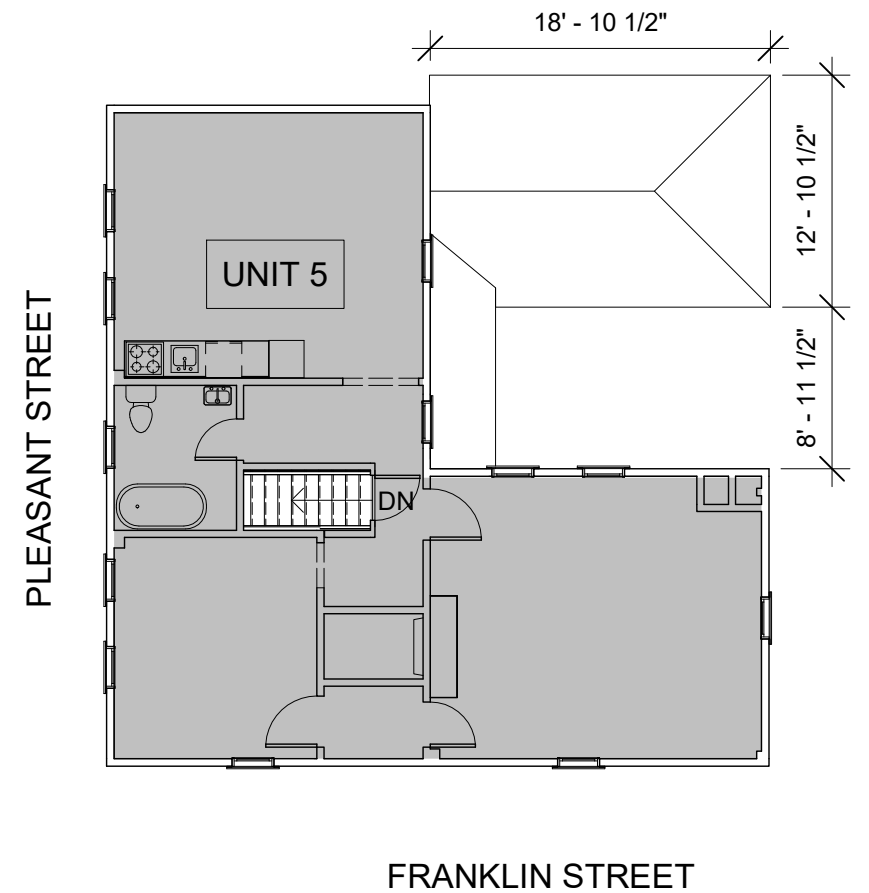
07/07/2021  
 McHA: RD / JJ  
 NOT TO SCALE



1 EXISTING FIRST FLOOR  
3/32" = 1'-0"



2 EXISTING SECOND FLOOR  
3/32" = 1'-0"



3 EXISTING THIRD FLOOR  
3/32" = 1'-0"

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420 PLEASANT ST. RENOVATIONS  
420 PLEASANT STREET  
PORTSMOUTH, NH 03801



EXISTING FLOOR PLANS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

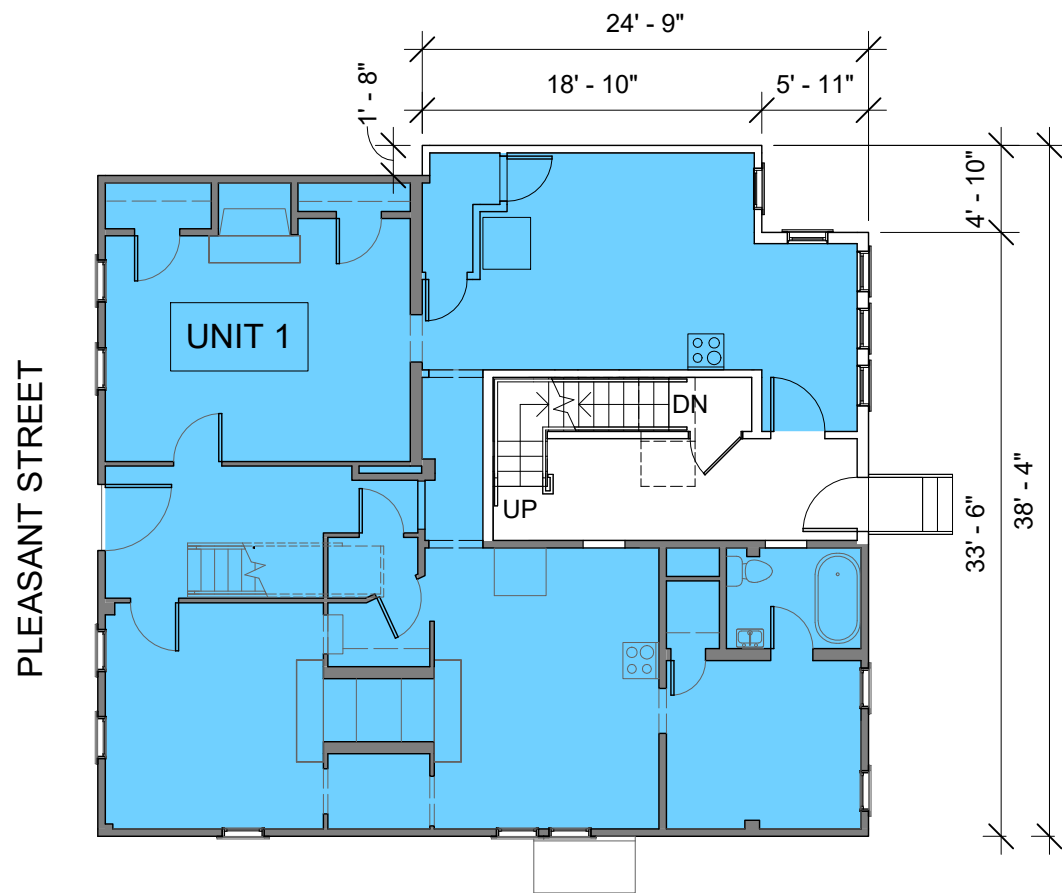
McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

A4

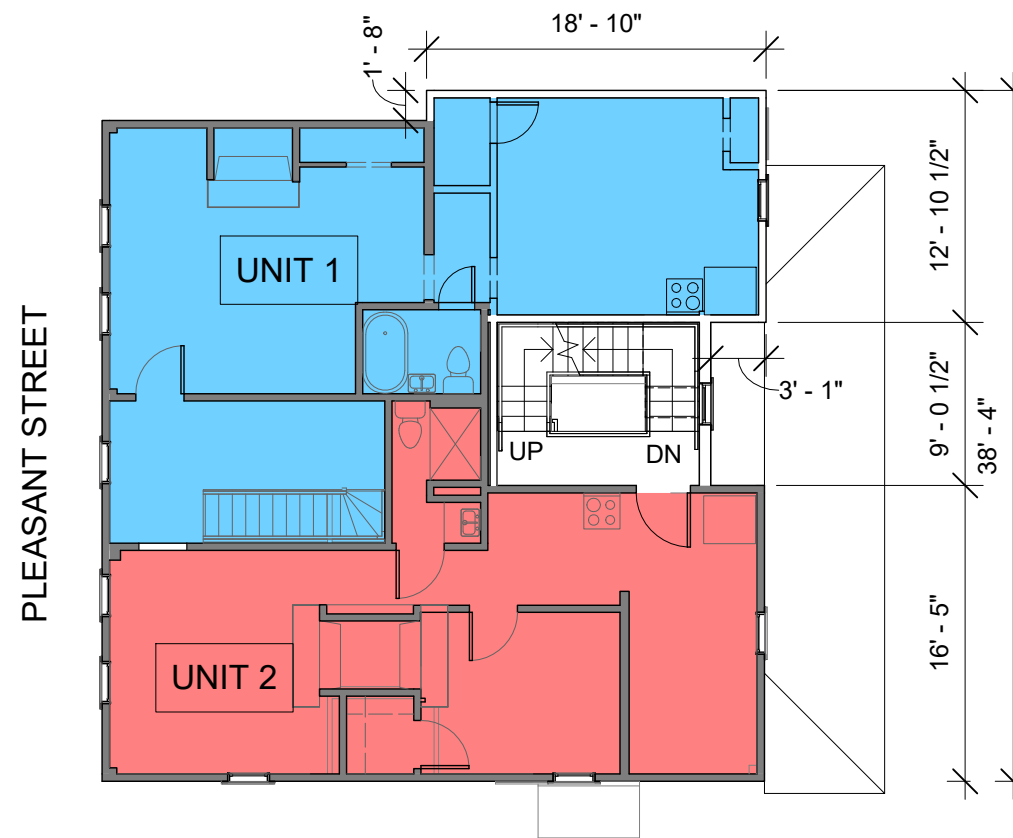
07/07/2021  
McHA: RD / JJ  
AS INDICATED

**GRAPHIC KEY**

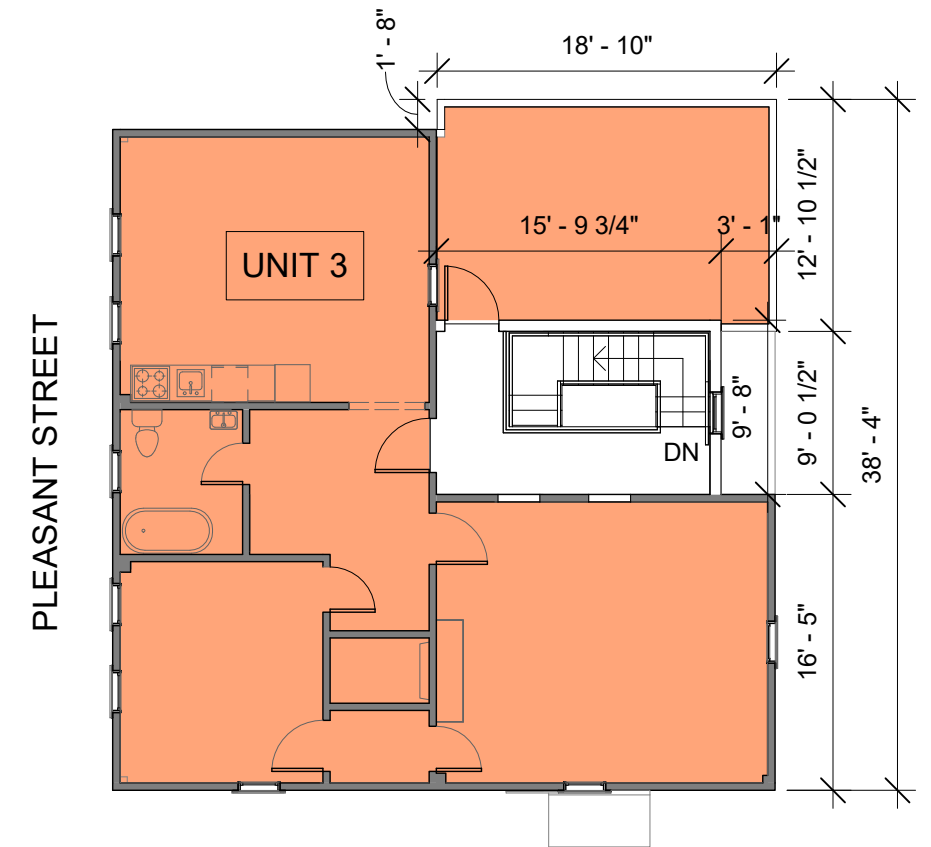
- : EXISTING
- : TO BE REMOVED
- : PROPOSED



FRANKLIN STREET



FRANKLIN STREET



FRANKLIN STREET

**1** FIRST FLOOR  
3/32" = 1'-0"

**2** SECOND FLOOR  
3/32" = 1'-0"

**3** THIRD FLOOR  
3/32" = 1'-0"

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**420 PLEASANT ST. RENOVATIONS**

420 PLEASANT STREET  
PORTSMOUTH, NH 03801



**PROPOSED FLOOR PLANS**

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

**McHENRY ARCHITECTURE**

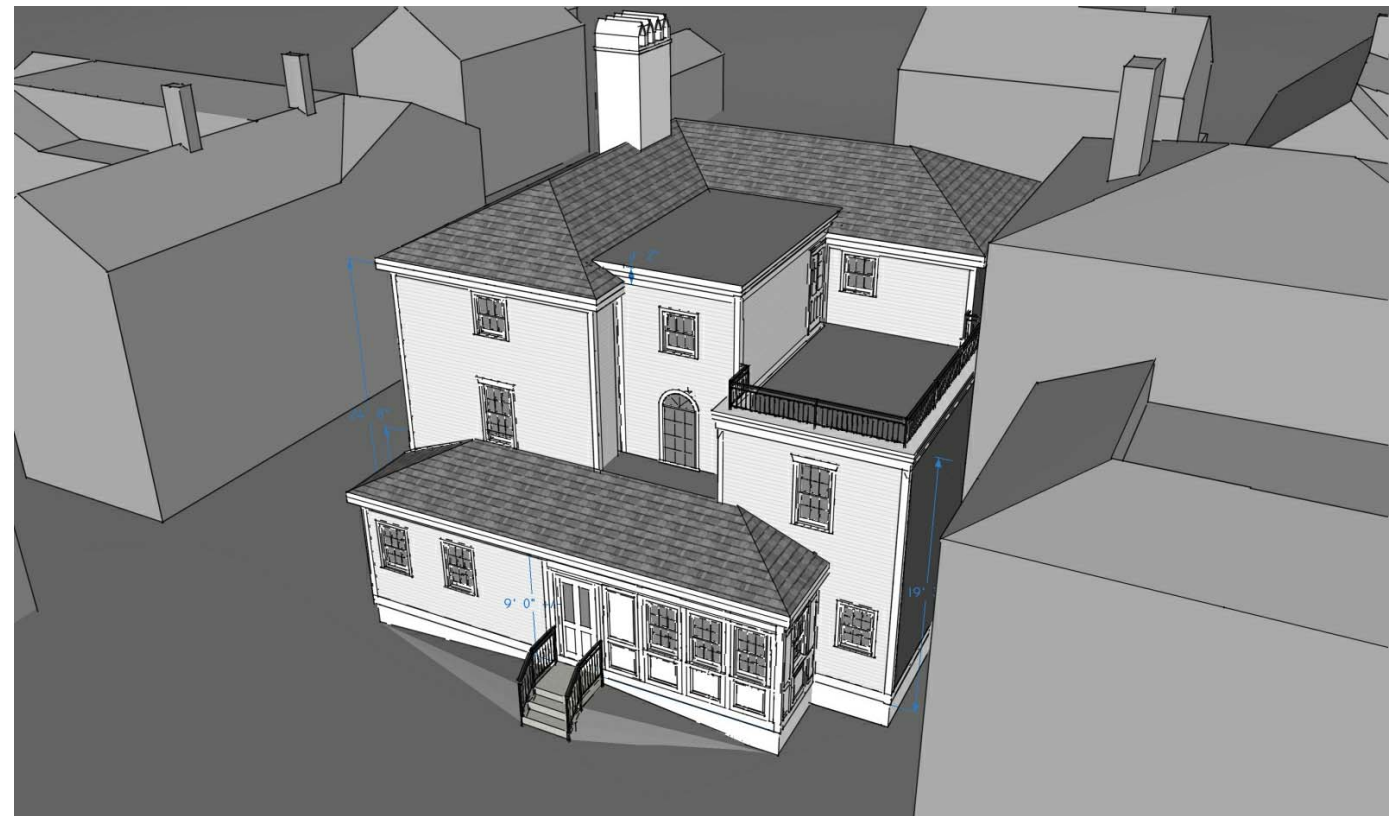
4 Market Street  
Portsmouth, New Hampshire

**A5**

07/07/2021  
McHA: RD / JJ  
AS INDICATED



VIEW FROM SOUTH - FLAT ROOF A



AERIAL VIEW FROM SOUTH - FLAT ROOF A



VIEW FROM SOUTHWEST - FLAT ROOF A



ENLARGED AERIAL VIEW OF DECK - FLAT ROOF A

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

PREFERRED ROOF FORM

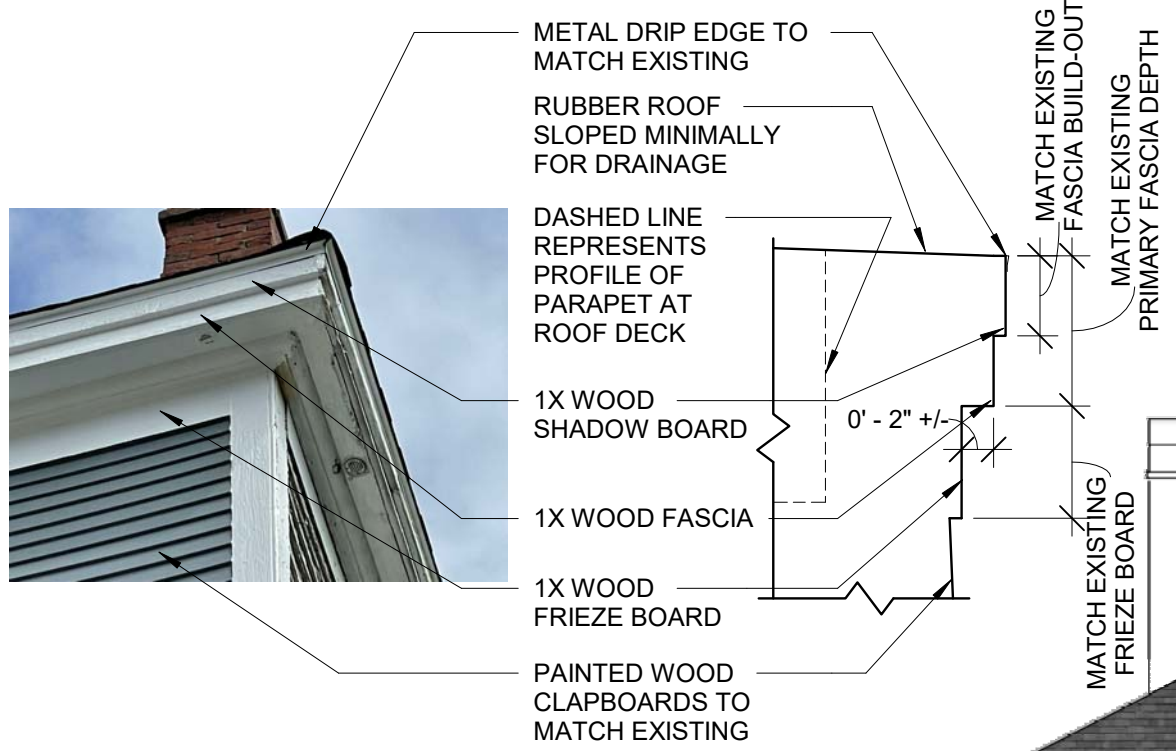
HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A6

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE

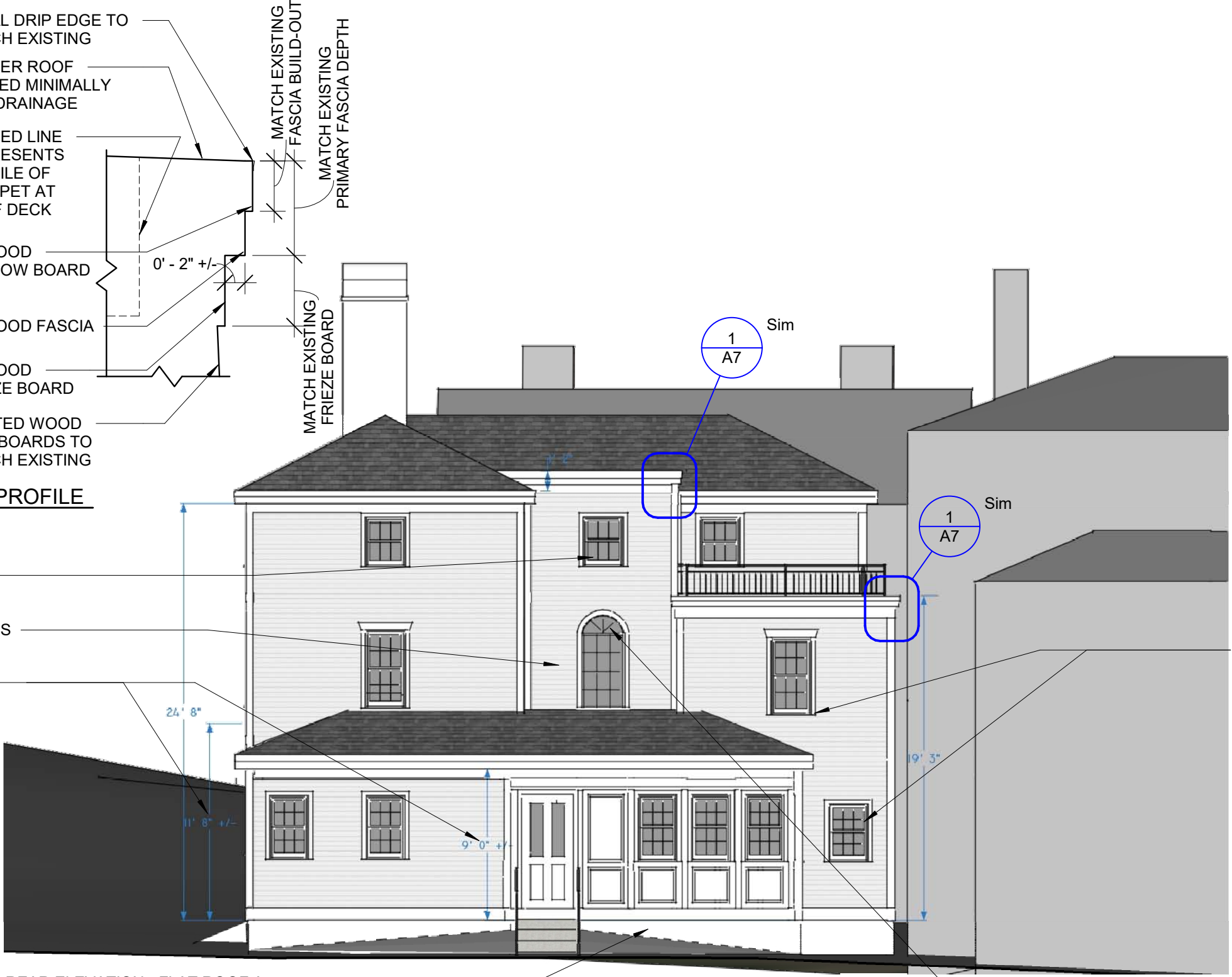


**1 PROPOSED FLAT ROOF EDGE PROFILE**  
1" = 1'-0"

- DESIGN INTENT: ALL PROPOSED WINDOWS TO BE WOOD GREEN MOUNTAIN WINDOWS
- DESIGN INTENT: ALL NEW CLAPBOARDS TO MATCH EXISTING PAINTED WOOD CLAPBOARDS
- DESIGN INTENT: MATCH EXISTING HEIGHTS



DESIGN INTENT: MATCH EXISTING BASE TRIM, WOOD CLAPBOARD, AND BRICK FOUNDATION AT PROPOSED ADDITIONS



REAR ELEVATION - FLAT ROOF A



DESIGN INTENT: MATCH EXISTING WOOD WINDOW TRIM AND SILL PROFILES AT PROPOSED WINDOWS



DESIGN INTENT: PROPOSED REAR HALF ROUND WINDOW TO BE SIMILAR TO FRONT DOOR TRANSOM

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**420 PLEASANT ST. RENOVATIONS**  
420 PLEASANT STREET  
PORTSMOUTH, NH 03801

**MATERIALS AND DETAILS**  
HDC WORK SESSION / PUBLIC HEARING - JULY 2021

**McHENRY ARCHITECTURE**  
4 Market Street  
Portsmouth, New Hampshire

07/07/2021  
McHA: RD / JJ  
**A7**  
AS INDICATED



OUTDOOR LIGHTING AT ROOF DECK TBD

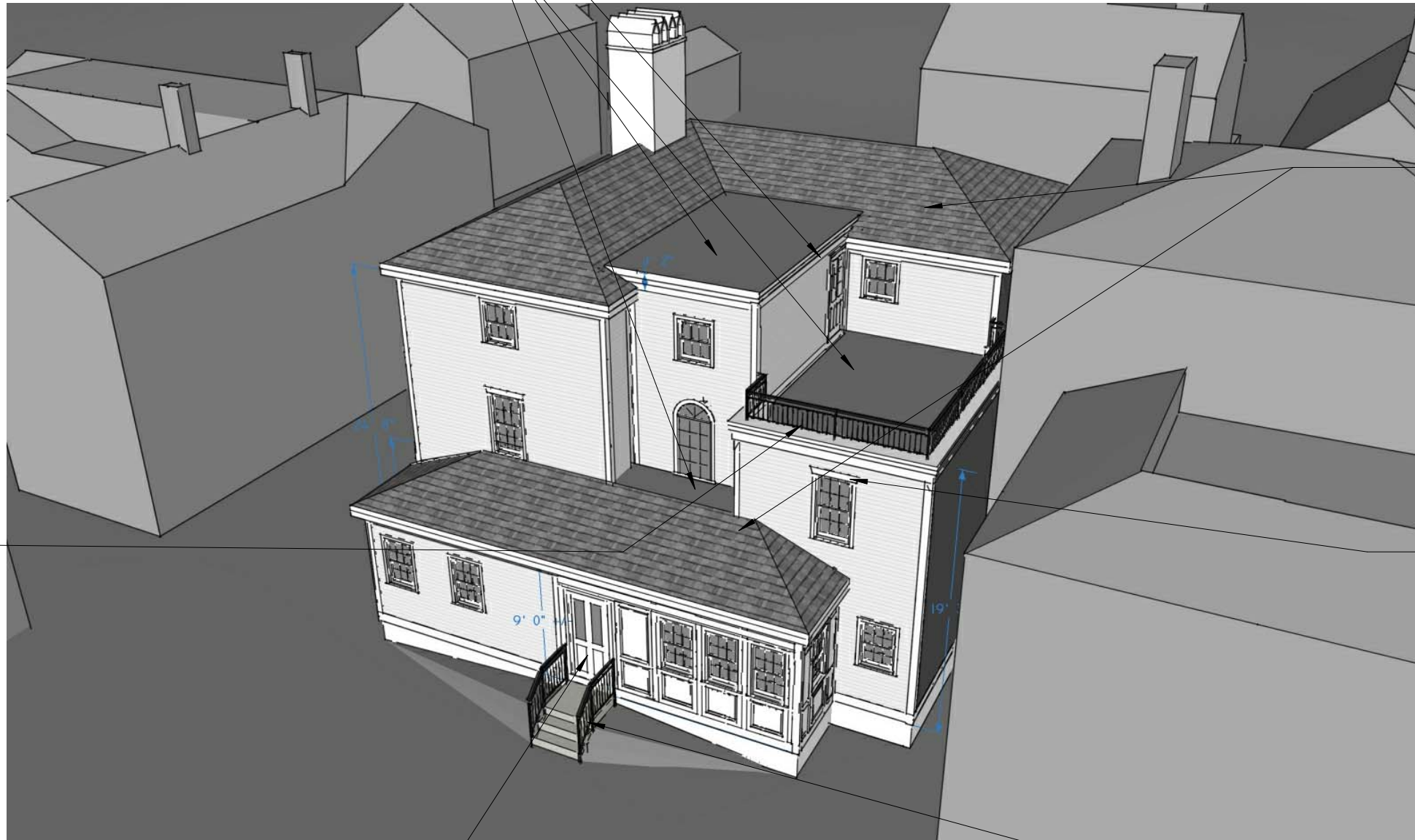
DESIGN INTENT: RUBBER ROOF TO MATCH COLOR OF NEW ARCHITECTURAL SHINGLES



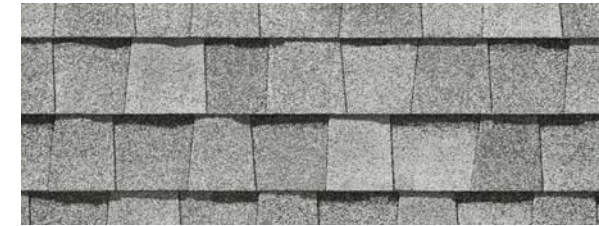
DESIGN INTENT: GUARDRAILS TO BE BLACK WROUGHT IRON SIMILAR TO 177 STATE STREET ROOF DECK RAILING



DESIGN INTENT: PROPOSED WOOD EXTERIOR ENTRY DOOR TO BE FOUR PANEL SIMILAR TO FRONT ENTRY DOOR WITH TWO LITES



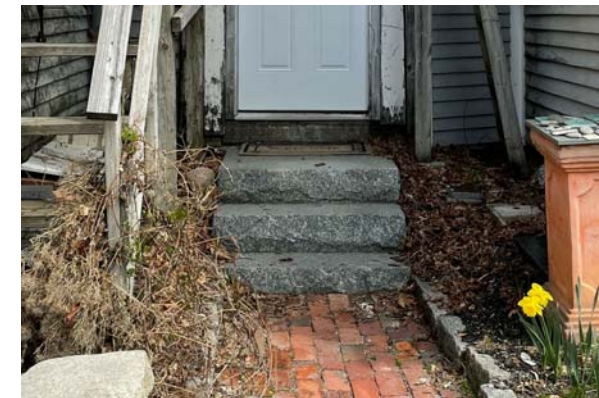
AERIAL VIEW FROM SOUTH - FLAT ROOF A



DESIGN INTENT: NEW CERTAINTEED SILVER BIRCH ASPHALT LANDMARK SHINGLES AT ALL ROOFS



DESIGN INTENT: MATCH EXISTING REAR WINDOW HEADER TRIM AT EXISTING WING ADDITION AT REBUILT ADDITION



DESIGN INTENT: REUSE EXISTING REAR ENTRY GRANITE STEPS

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

MATERIALS AND DETAILS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

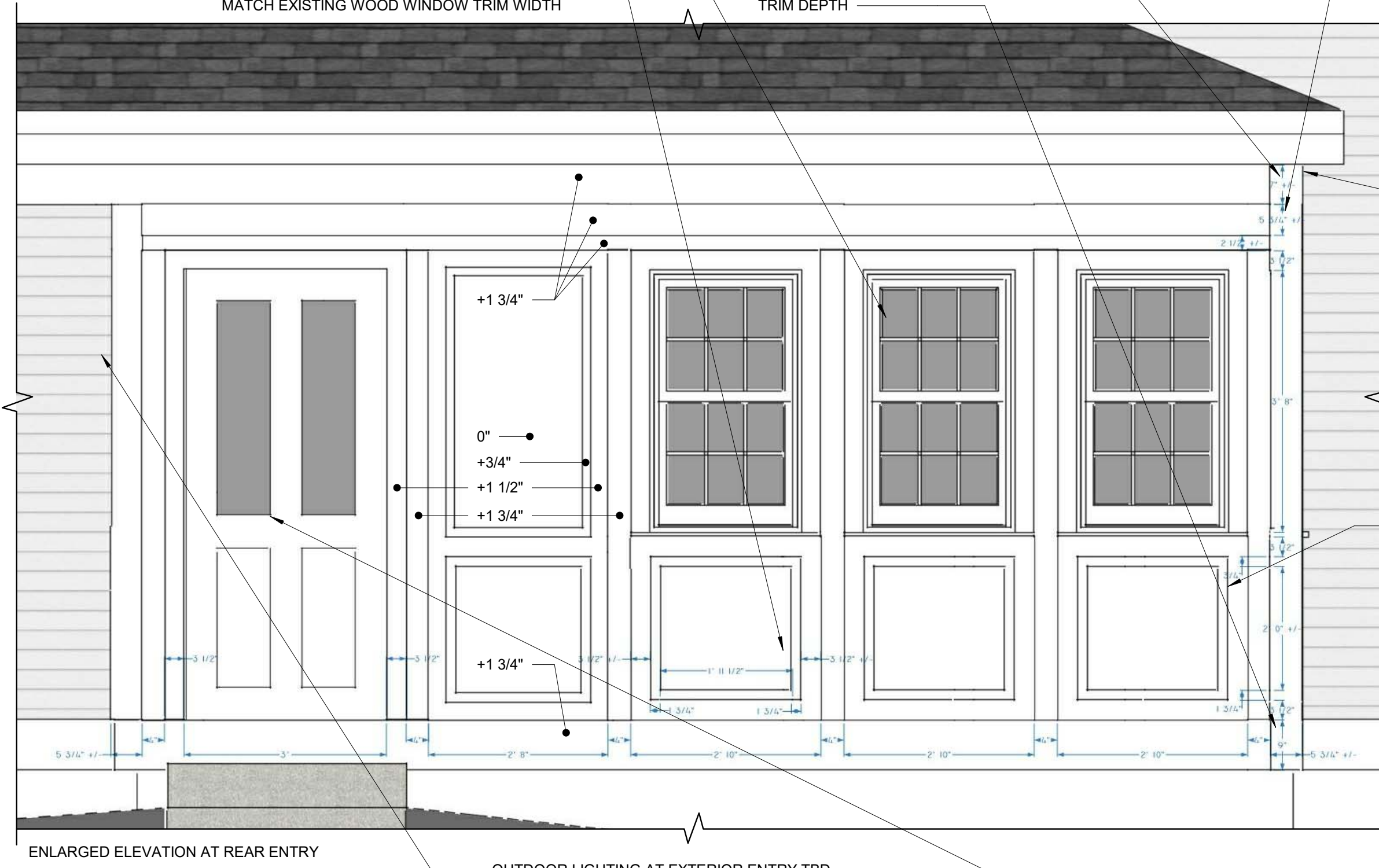
A8

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE

DESIGN INTENT: ALL PROPOSED WINDOWS TO BE WOOD GREEN MOUNTAIN WINDOWS TO MATCH EXISTING ADJACENT WINDOWS

DESIGN INTENT: ALL 3 1/2" DIMENSIONS TO MATCH EXISTING WOOD WINDOW TRIM WIDTH

DESIGN INTENT: ALL 3 1/2" DIMENSIONS TO MATCH EXISTING WOOD WINDOW TRIM WIDTH  
 MATCH EXISTING FRIEZE BOARD DEPTH  
 MATCH EXISTING BASE TRIM DEPTH



DESIGN INTENT: MATCH EXISTING HIP ROOF EAVE AND SOFFIT WOOD TRIM, WOOD CORNERBOARDS AND OTHER WOOD TRIM AT PROPOSED ADDITIONS



1X FLAT STOCK PANELING SIMILAR TO NEARBY PROPERTY AT 1 LIVERMORE STREET



DESIGN INTENT: PROPOSED WOOD EXTERIOR ENTRY DOOR TO BE FOUR PANEL SIMILAR TO FRONT ENTRY DOOR WITH TWO LITES

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ENLARGED ELEVATION AT REAR ENTRY

OUTDOOR LIGHTING AT EXTERIOR ENTRY TBD

**420 PLEASANT ST. RENOVATIONS**  
 420 PLEASANT STREET  
 PORTSMOUTH, NH 03801

**MATERIALS AND DETAILS**  
 HDC WORK SESSION / PUBLIC HEARING - JULY 2021

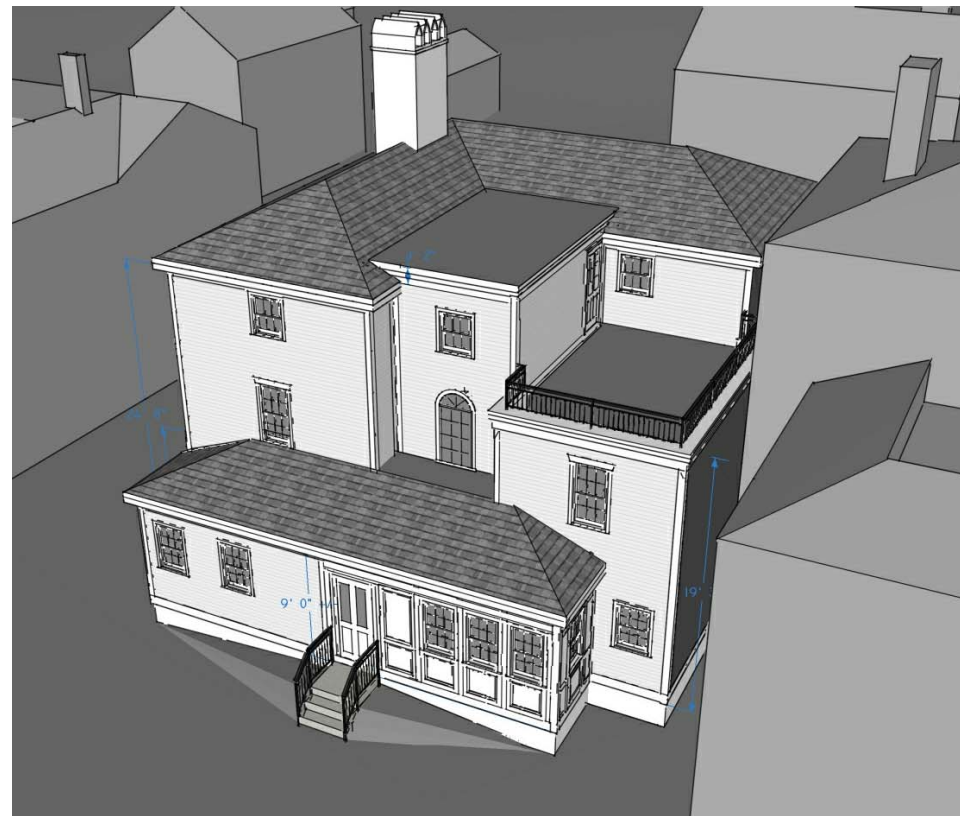
**McHENRY ARCHITECTURE**  
 4 Market Street  
 Portsmouth, New Hampshire

07/07/2021  
 McHA: RD / JJ  
**A9**  
 NOT TO SCALE

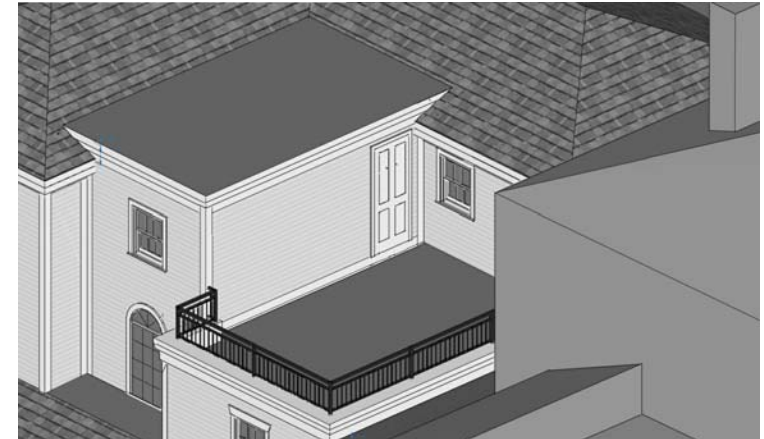




VIEW FROM SOUTH - FLAT ROOF A



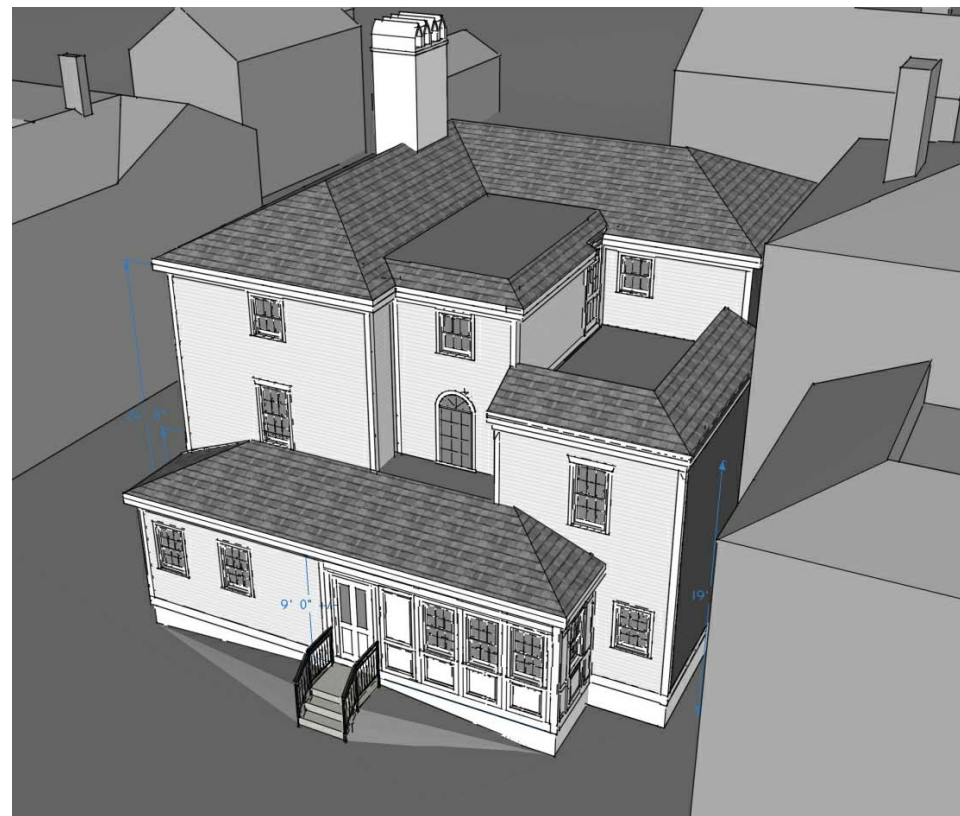
AERIAL VIEW FROM SOUTH - FLAT ROOF A



ENLARGED AERIAL VIEW AT ROOF DECK - FLAT ROOF A



VIEW FROM SOUTH - HIP ROOF



AERIAL VIEW FROM SOUTH - HIP ROOF



ENLARGED AERIAL VIEW AT ROOF DECK - HIP ROOF

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

ROOF OPTIONS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

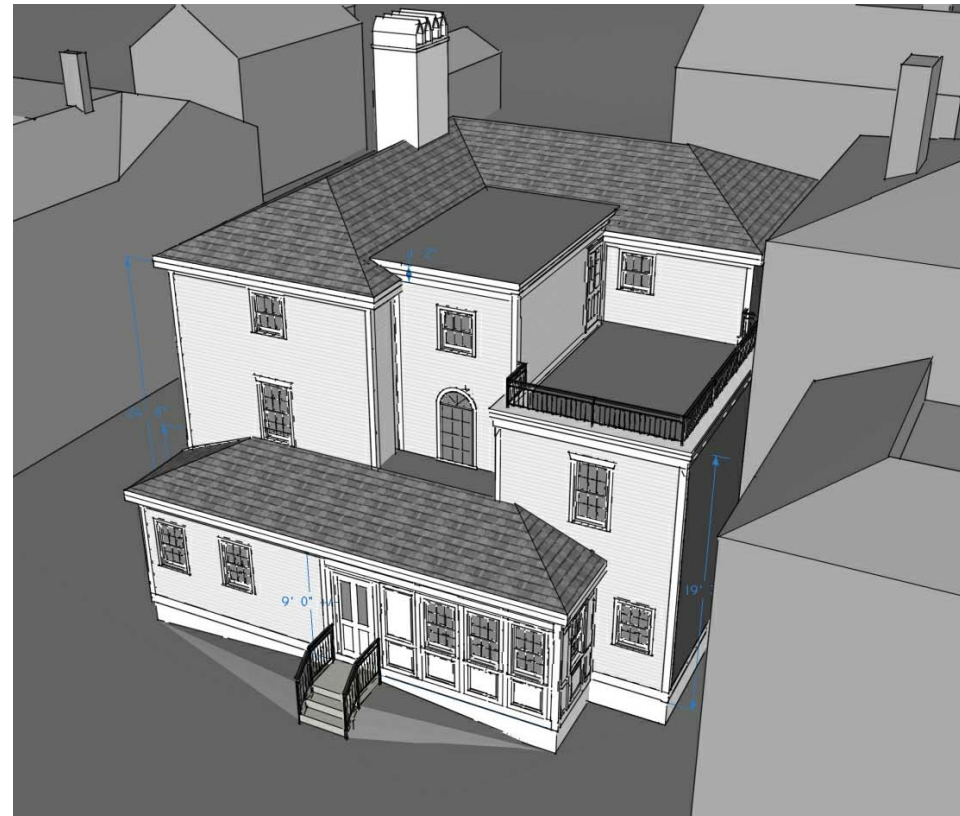
4 Market Street  
Portsmouth, New Hampshire

A10

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE



VIEW FROM SOUTH - FLAT ROOF A



AERIAL VIEW FROM SOUTH - FLAT ROOF A



ENLARGED AERIAL VIEW AT ROOF DECK - FLAT ROOF A



VIEW FROM SOUTH - FLAT ROOF B



AERIAL VIEW FROM SOUTH - FLAT ROOF B



ENLARGED AERIAL VIEW AT ROOF DECK - FLAT ROOF B

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# 420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

# ROOF OPTIONS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

# McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire




A11

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE

**Land Use Application**

**LU-22-125**

**Applicant**

 Francis X. Bruton  
 6037494529  
 meaghan@brutonlaw.com

**Primary Location**

111 STATE ST  
Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

B. Property Owner's Representative

**Alternative Project Address**

Alternative Project Address

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

true

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

true

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

--

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

true

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Other Site Alteration** requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Request for Extension of Previously Granted Land Use Approval**

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

true

# 111 STATE STREET ADDITION & RENOVATION

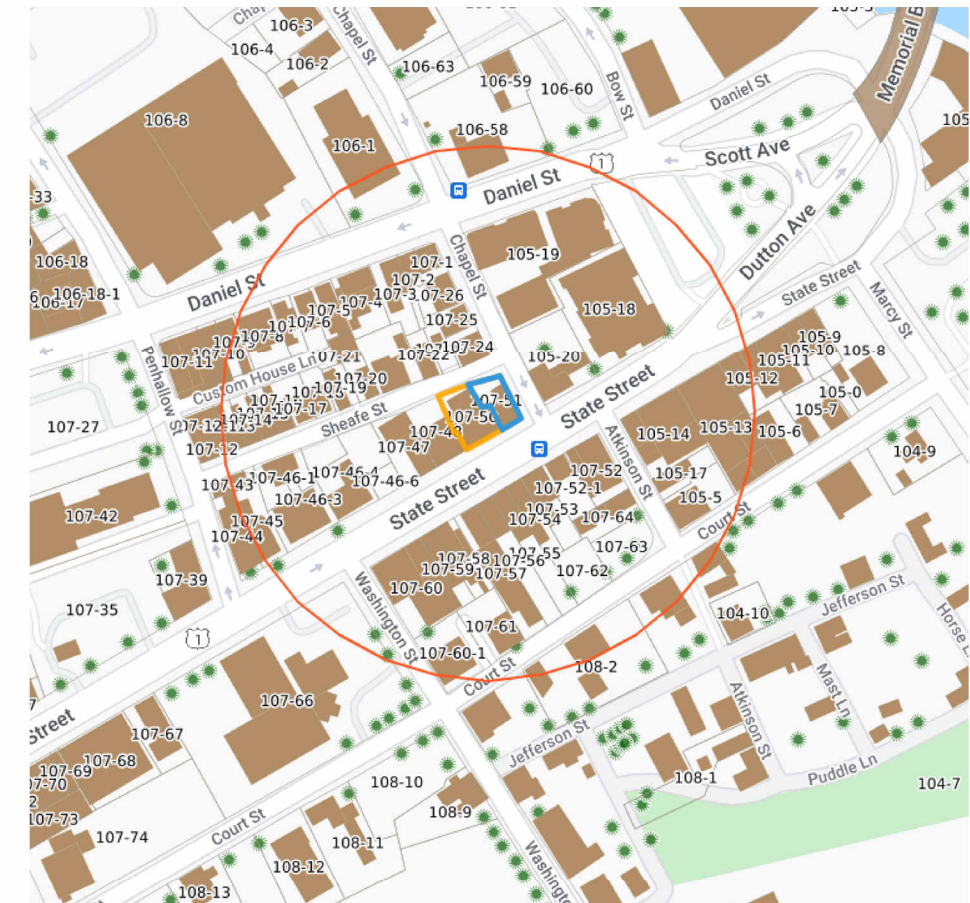
## MINOR REVISIONS TO PREVIOUSLY APPROVED APPLICATION

Changes pertaining to change of use at second floor from Restaurant to Apartment.

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

## DRAWING LIST

- HR0.1 COVER
- HR0.4 EXISTING CONDITIONS
- HR1.3B ROOF PLAN
- HR2.1 STATE STREET ELEVATION
- HR3.1 AXONOMETRIC
- HR3.3 VIGNETTE, STATE STREET



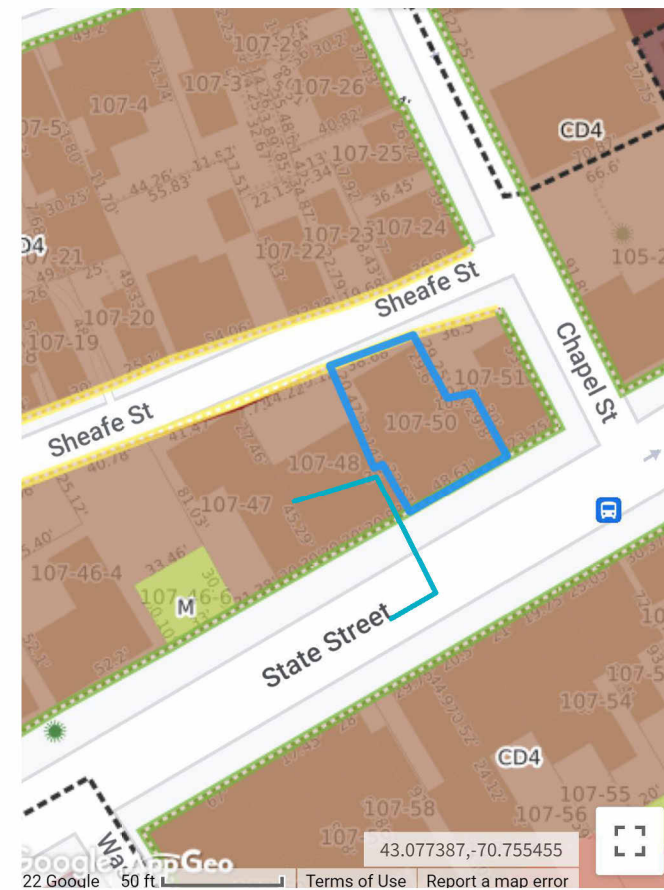
**COVENTRY REALTY, LLC**

**HDC PUBLIC HEARING  
JULY 2023**

**HR0.1** COVER  
**111 STATE STREET**  
SCALE:  
06/14/23



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**ZONING SUMMARY**  
**CHARACTER DISTRICT CD-4**

**HEIGHT ALLOWED -**  
**STATE STREET: 2-3 STORIES, 40'**  
**SHEAFE STREET: 2 STORIES, 35'**

**CURRENT USE:**  
**3rd FLOOR: RESIDENTIAL & RESTAURANT-OFFICE**  
**2nd, 1st & BASEMENT: RESTAURANT**

**PROPOSED USE:**  
**3rd FLOOR: RESIDENTIAL**  
**2nd FLOOR: RESIDENTIAL**  
**1st FLOOR: RESTAURANT**  
**BASEMENT: RESTAURANT FOOD PREP, STORAGE, MEP, & SUPPORT**

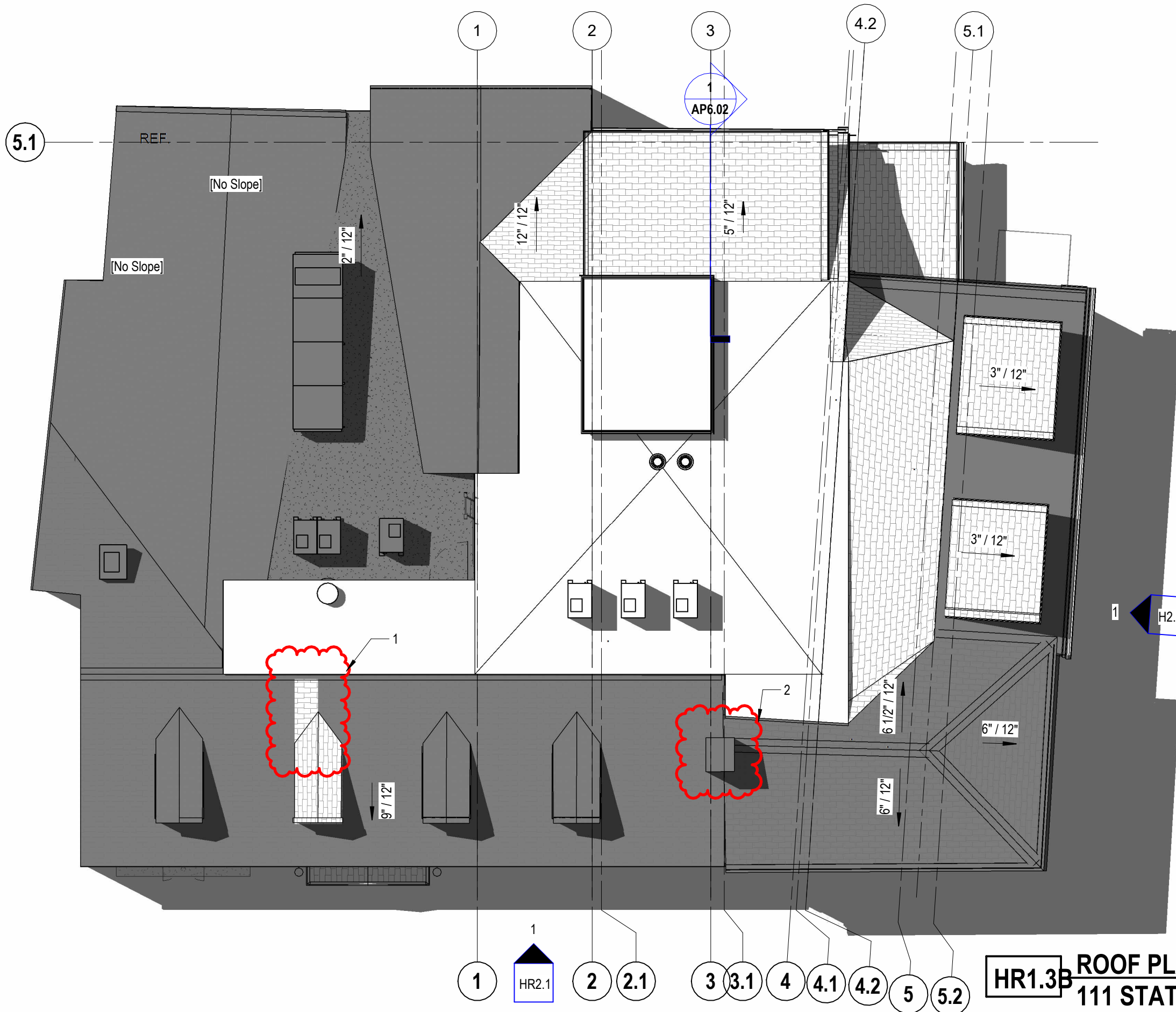
**HR0.2 LOCUS MAP & SUMMARY**  
**111 STATE STREET**

SCALE:  
 06/14/23




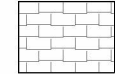


**HR0.4** EXISTING CONDITIONS  
111 STATE STREET

SCALE:  
06/14/23



**LEGEND**

-  EXISTING ROOF - SHALLOW SLOPE, MEMBRANE
-  EXISTING ROOF - STEEP SLOPED, SHINGLES
-  NEW ROOF - FLAT, MEMBRANE
-  NEW ROOF - SLOPED, SHINGLES

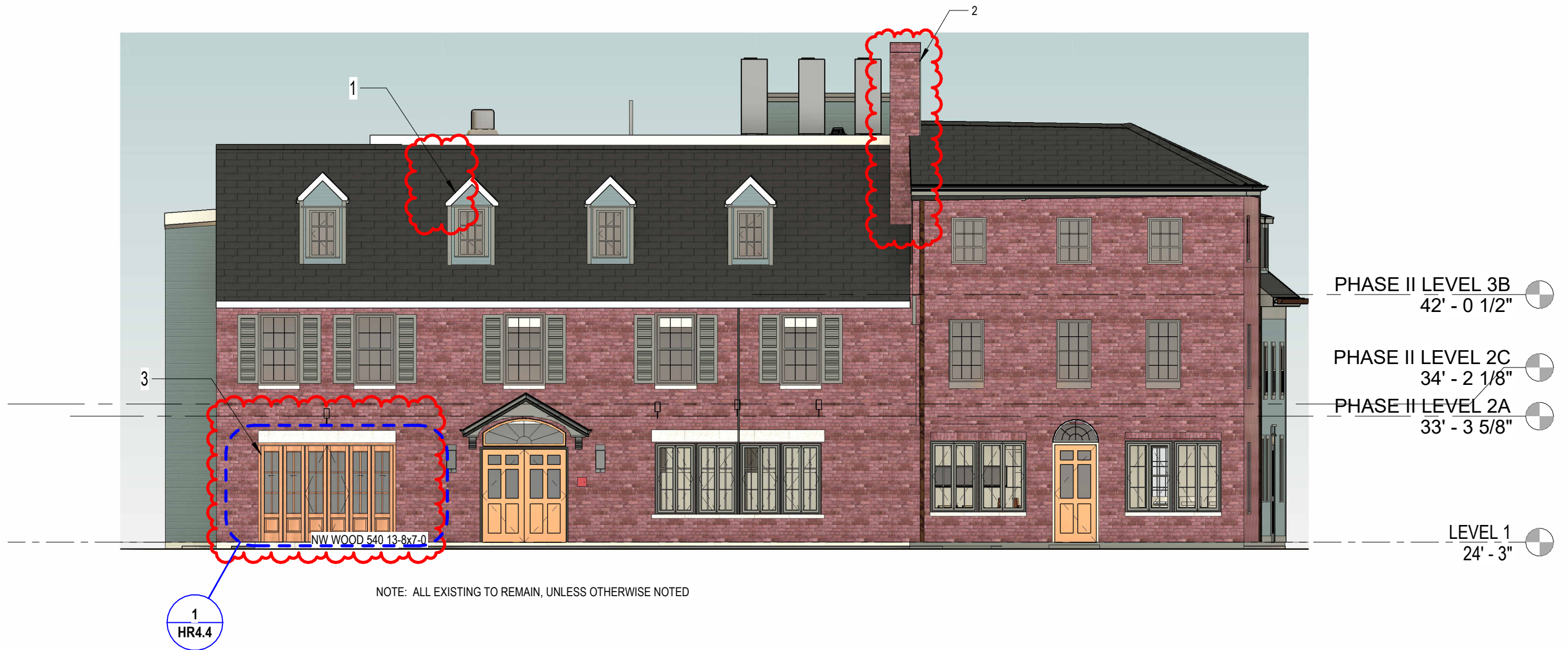
**Key Notes**

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

**HR1.3B ROOF PLAN**  
**111 STATE STREET**

SCALE: 1/8" = 1'-0"  
 06/14/23





### Key Notes

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

## HR2.1 STATE STREET ELEVATION 111 STATE STREET

SCALE: 1/8" = 1'-0"  
06/14/23



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**Key Notes**

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

**HR3.1** **AXONOMETRIC**  
**111 STATE STREET**

SCALE:  
06/14/23

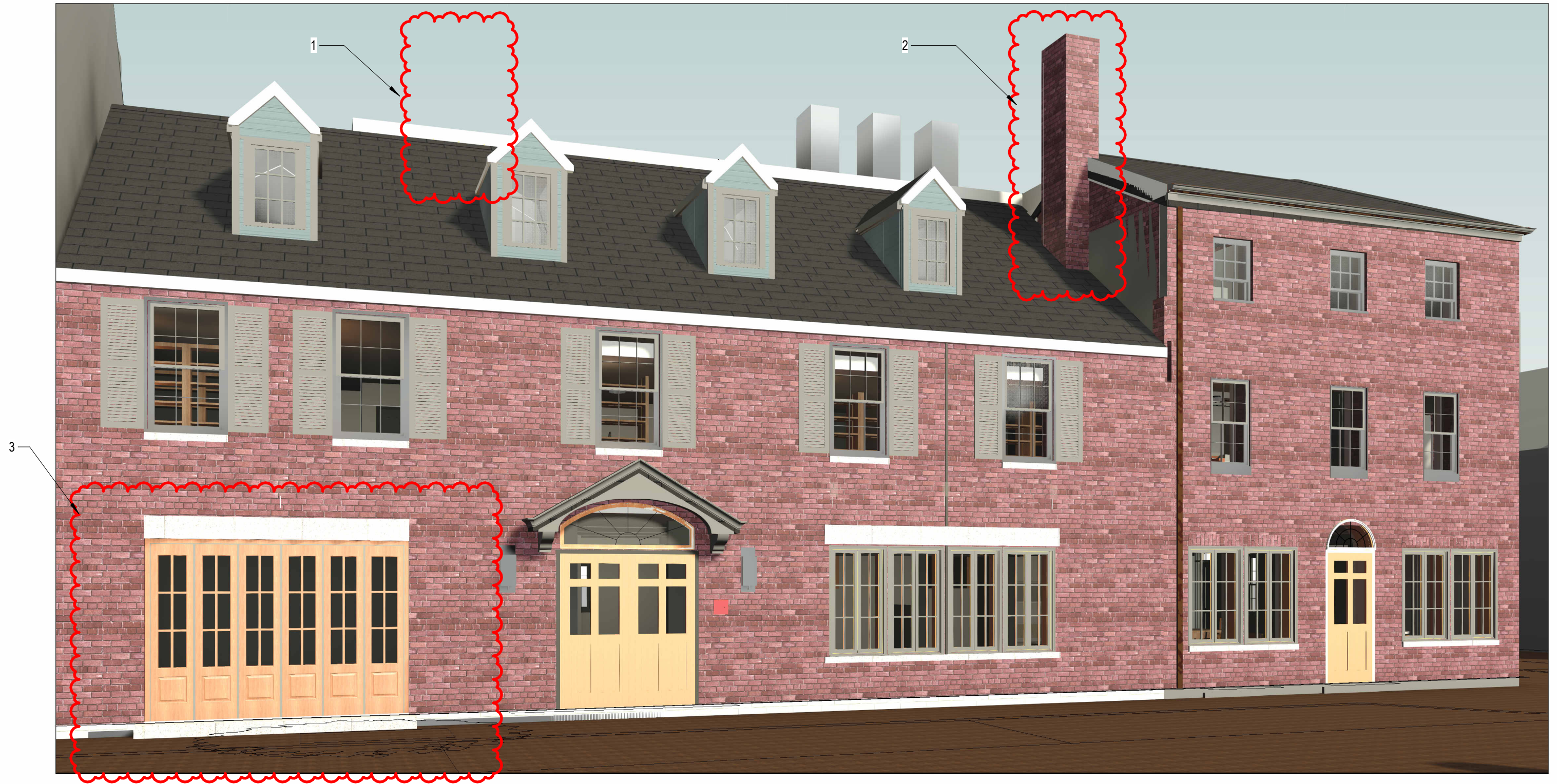


**Key Notes**

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

**HR3.3** **VIGNETTE - STATE STREET EAST**  
**111 STATE STREET**

SCALE:  
06/14/23



**Key Notes**

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

**HR3.5** **VIGNETTE - STATE STREET WEST**  
**111 STATE STREET**

SCALE:  
06/14/23



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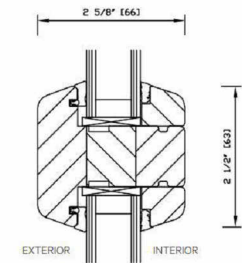


# Nanawall - NW Wood 540 Slimmest Wood Framed Folding Glass Wall

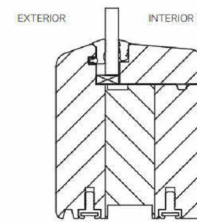
OTHER SECTION DETAILS | WD65

All Cross Sectional Views Are Half Size

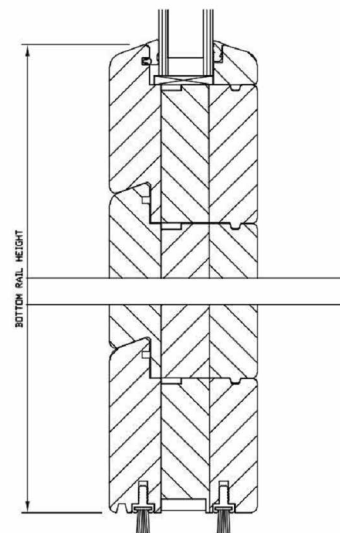
Typical Mullion Profile (Note that different mullion widths are available)



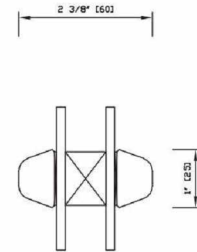
Typical Stile and Rail with Single 1/4\"/>



Typical Higher Bottom Rail

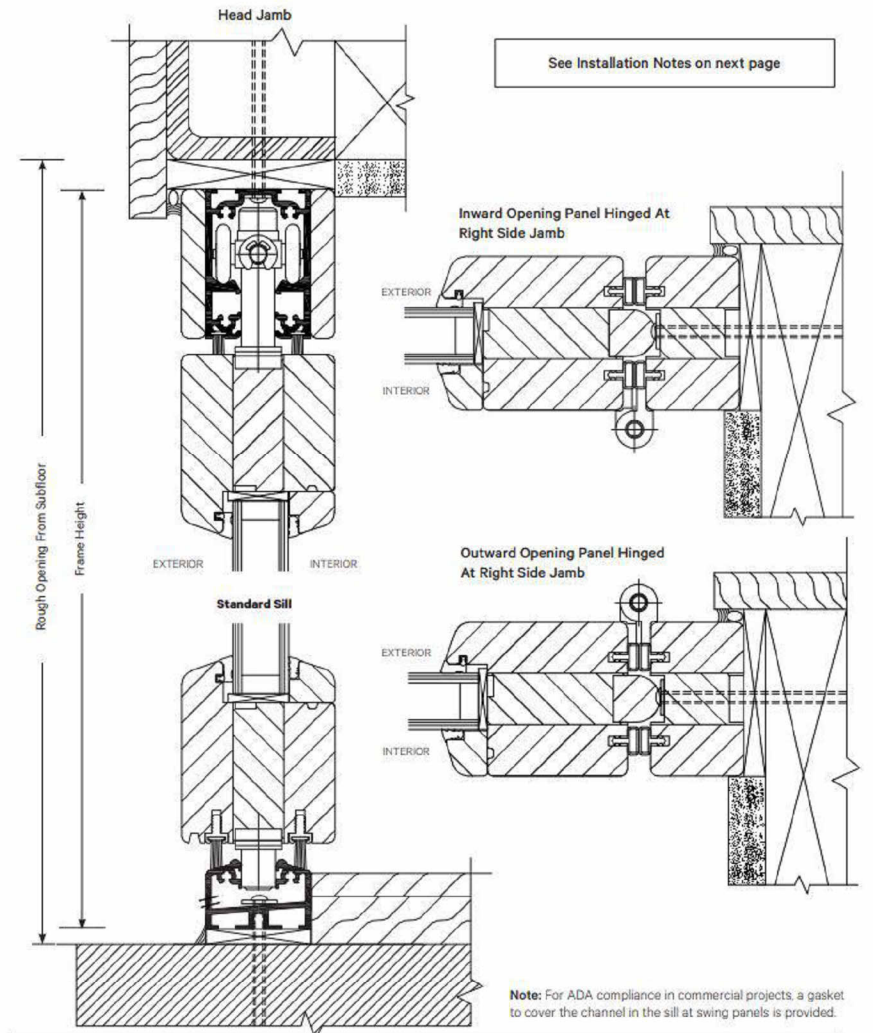


Typical Simulated Divided Lites Muntins with Spacers Between Insulated Glass (SDL)



SUGGESTED TYPICAL INSTALLATION FOR BOTH INWARD AND OUTWARD OPENING | WD65

Shown are 3 1/8\"/>



NanaWall  
Engineering the Exceptional

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22

NanaWall  
Engineering the Exceptional

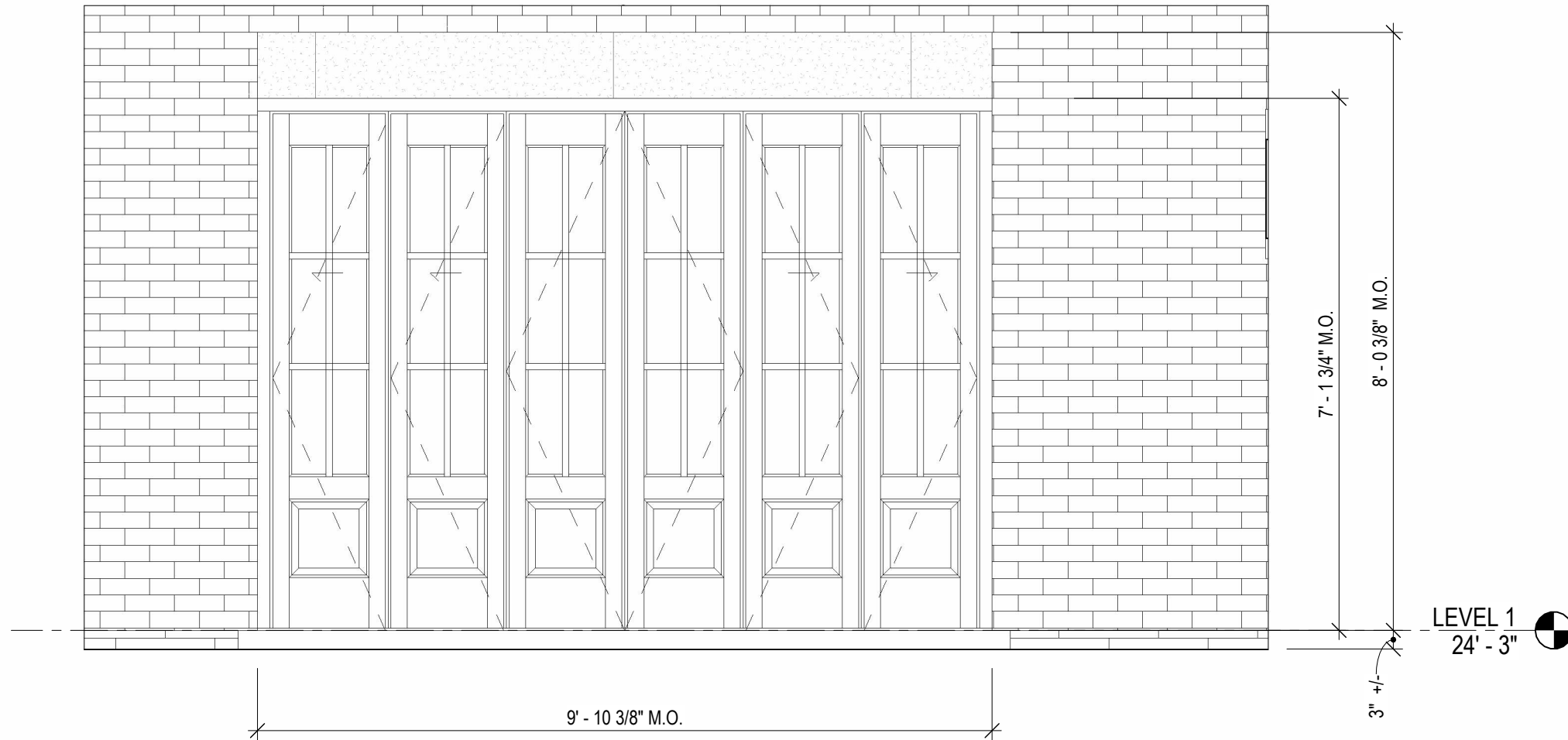
SPECIFICATIONS AND DETAILS SUBJECT TO CHANGE WITHOUT NOTICE  
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20

**HR4.3** MATERIALS  
**111 STATE STREET**  
SCALE:  
06/14/23



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**HR4.4 DOOR DETAIL**  
**111 STATE STREET**

SCALE: 1/2" = 1'-0"  
 06/14/23






**Land Use Application**

**LU-23-104**

Submitted On: Jul 14, 2023

**Applicant**

 Christopher Goepfert  
 603-312-5373  
 goepfertca1@gmail.com

**Primary Location**

500 MARKET ST  
Unit 14R  
Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

A. Property Owner

**Alternative Project Address**

Alternative Project Address

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

--

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure  
true

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

--

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

--

**Request for Extension of Previously Granted Land Use Approval**

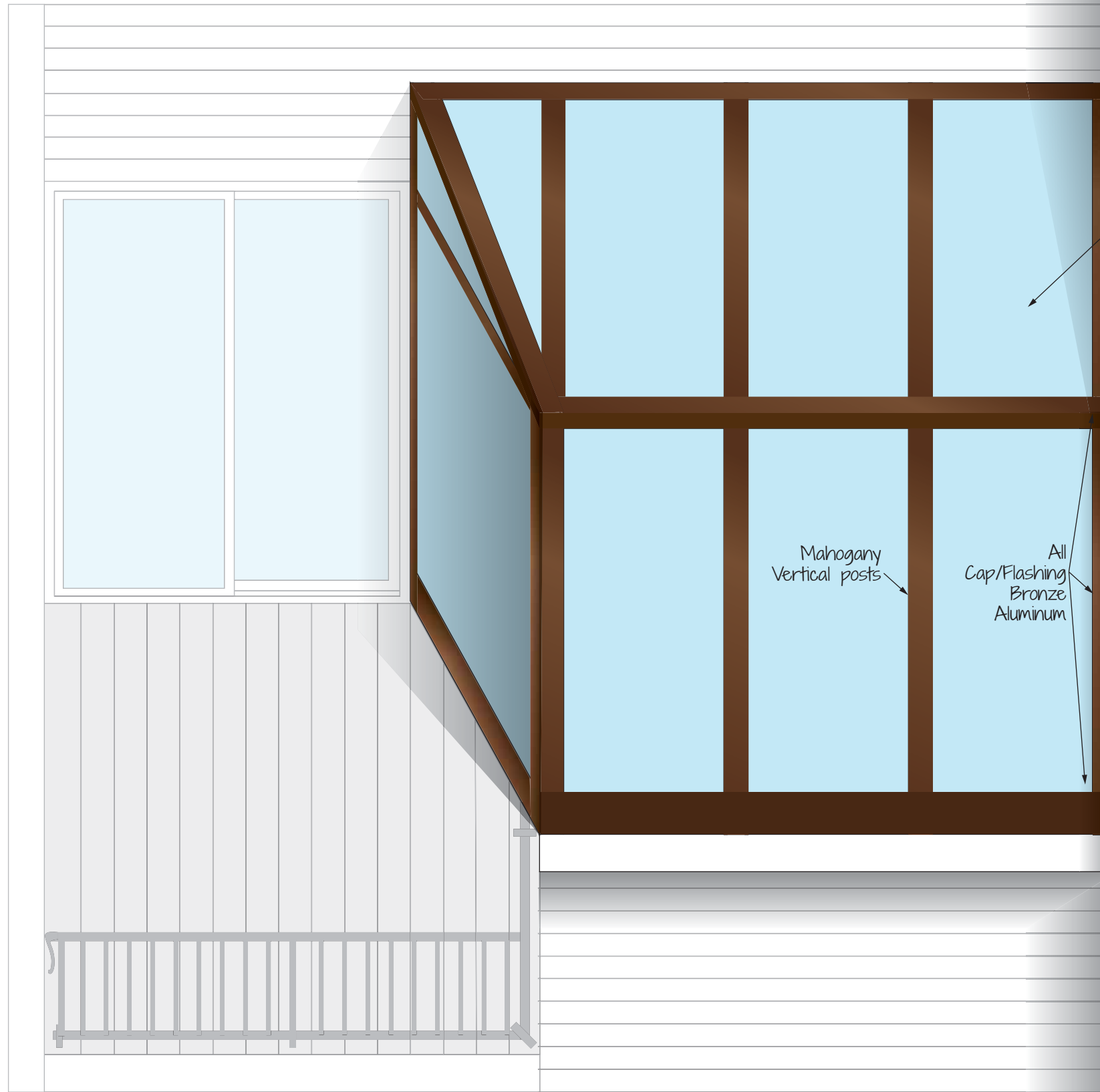
--

Christopher Goepfert – 500 Market Street Unit 14R – Solarium Window



# COMP - PROJECTION

SCALE: 1/2" = 1ft



Roof IGU  
Solarban 70  
Insulated Temp/Lam

Mahogany  
Vertical posts

All  
Cap/Flashing  
Bronze  
Aluminum

Existing  
Basewall  
to remain

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AND SHALL NOT BE DUPLICATED OR ALTERED UNDER ANY CIRCUMSTANCES  
WITHOUT PERMISSION OF SUNSPACE DESIGN INC.

**PROJECT ADDRESS**

500 Market St, Portsmouth, NH

DATE: 7/16/23

CAD FILE:

All dimensions & construction details must be reviewed & verified by the contractor.  
Any discrepancies or changes must be sent to Sunspace Design Inc.  
Contractor is fully responsible for code compliant construction. Sunspace Design  
assumes no responsibility for errors or revisions in these drawings or in the  
construction by others.

Unit #14

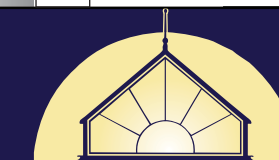
SCALE: 1/2" = 1ft

DRAWN BY: TDH

TITLE: Comp View

SHEET: 1A

PAGE: 1



**SUNSPACE DESIGN**

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PLANNING • DESIGN • CONSTRUCTION

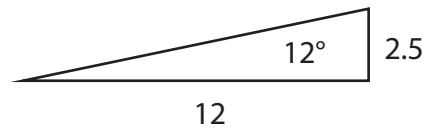
est. 1981

29 Seamist Lane, York, ME 03909 / ph: (800) 530-2505  
www.sunspacedesign.com

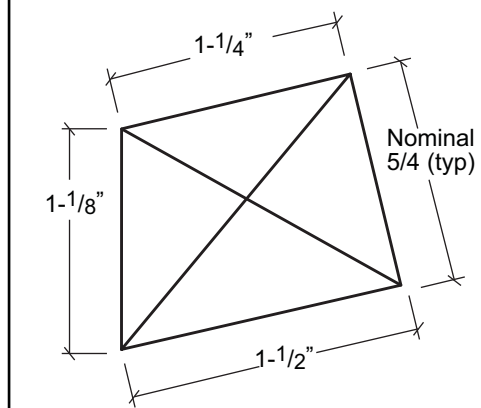


# SECTION VIEW DETAIL

SCALE: 1" = 2"



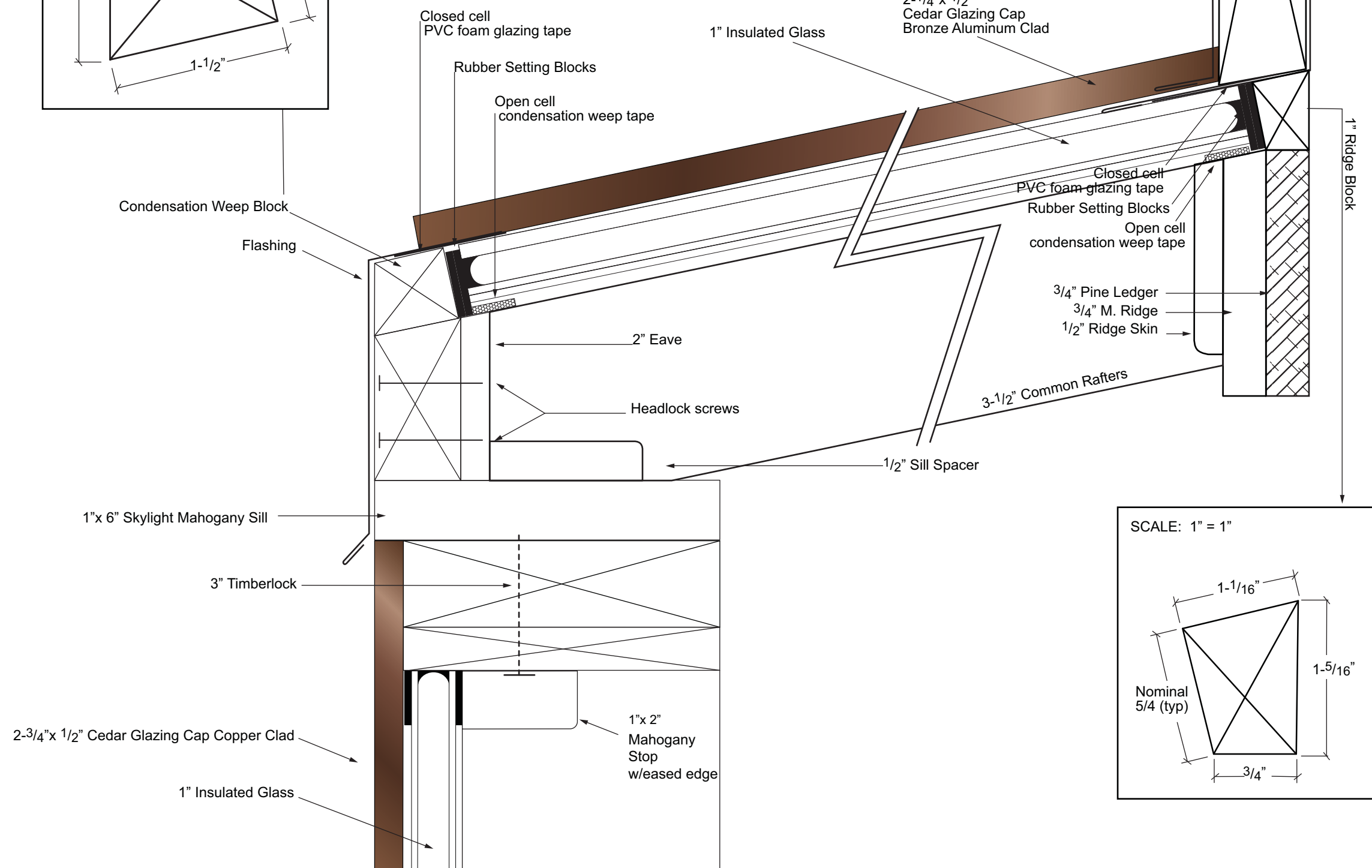
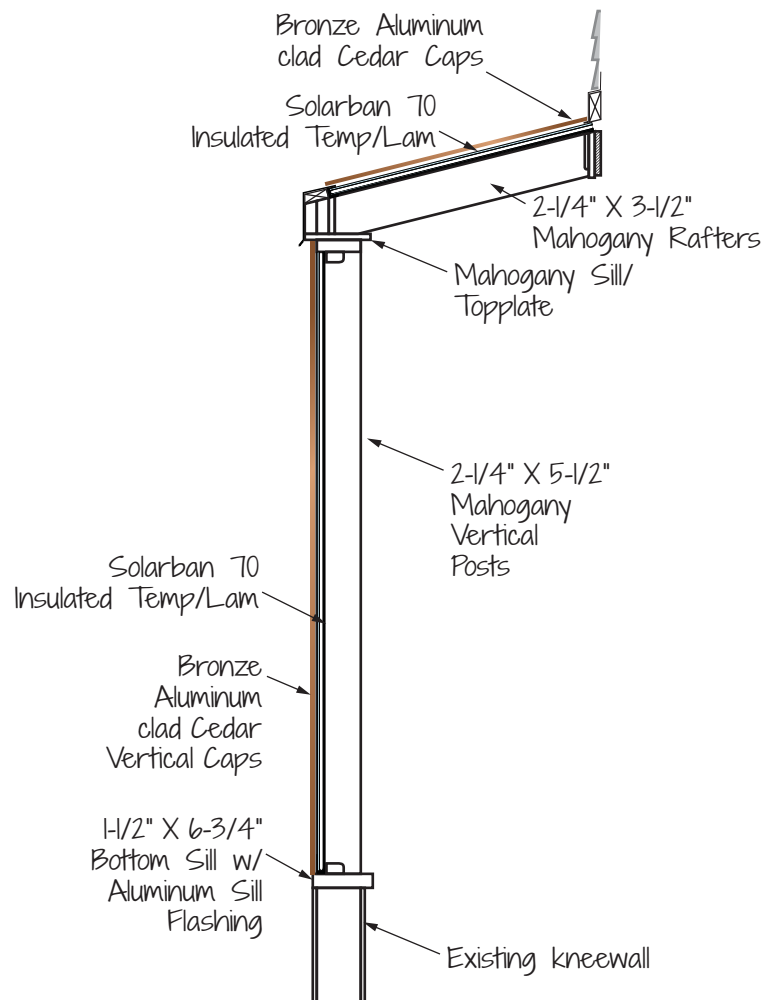
SCALE: 1" = 1"



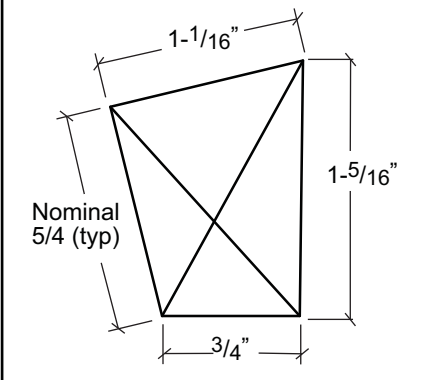
# SECTION VIEW

To match existing as closely as possible

SCALE: 1" = 1ft



SCALE: 1" = 1"




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All dimensions & construction details must be reviewed & verified by the contractor. Any discrepancies or changes must be sent to Sunspace Design Inc. Contractor is fully responsible for code compliant construction. Sunspace Design assumes no responsibility for errors or revisions in these drawings or in the construction by others.

PROJECT ADDRESS	
500 Market St, Portsmouth, NH	
Unit #14	
TITLE: Cross Section-n-Detail	

DATE:	7/20/23
SCALE:	As Marked
SHEET:	1B

CAD FILE:	
DRAWN BY:	TDH
PAGE:	1



## SUNSPACE DESIGN

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29 Seamist Lane, York, ME 03909 / ph: (800) 530-2505  
www.sunspacedesign.com

**Land Use Application**

**LU-23-101**

**Applicant**

 Lisa Messina  
 978-204-5653  
 hallconsultinggroup1@gmail.com

**Primary Location**

3 WALTON ALY  
Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

A. Property Owner

**Alternative Project Address**

Alternative Project Address

3 Walton Aly Portsmouth nh

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

false

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

false

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

true

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Other Site Alteration** requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Request for Extension of Previously Granted Land Use Approval**

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

--

# Abutters Fencing

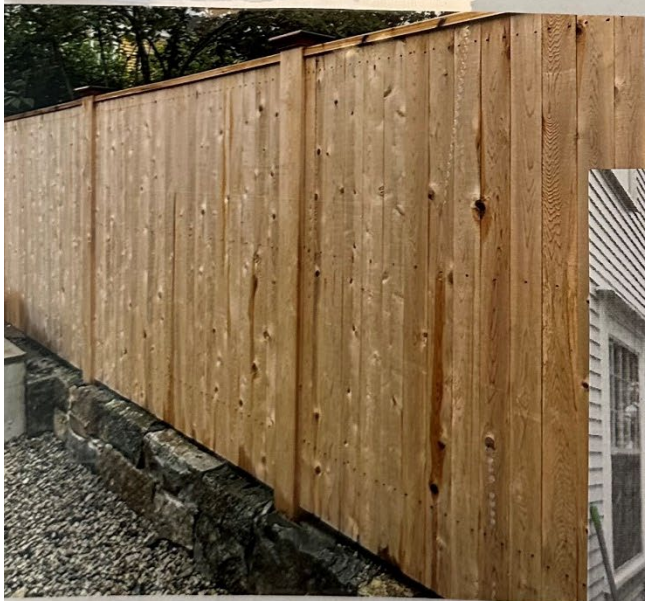
5

Rear ↙



Kate's  
↙

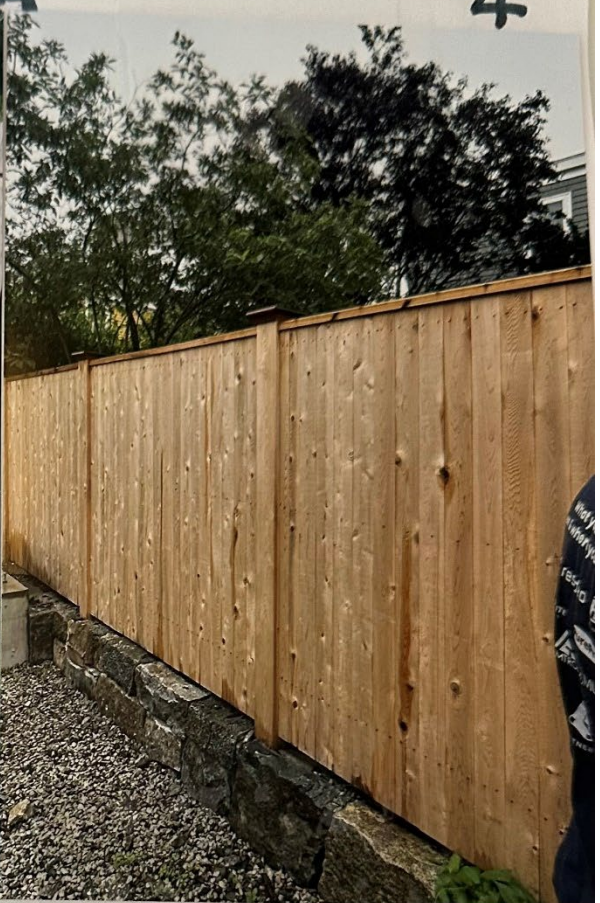
↙ Left side.



↗  
Driveway  
Side

Fencing

4



Antique  
Cedar Gate

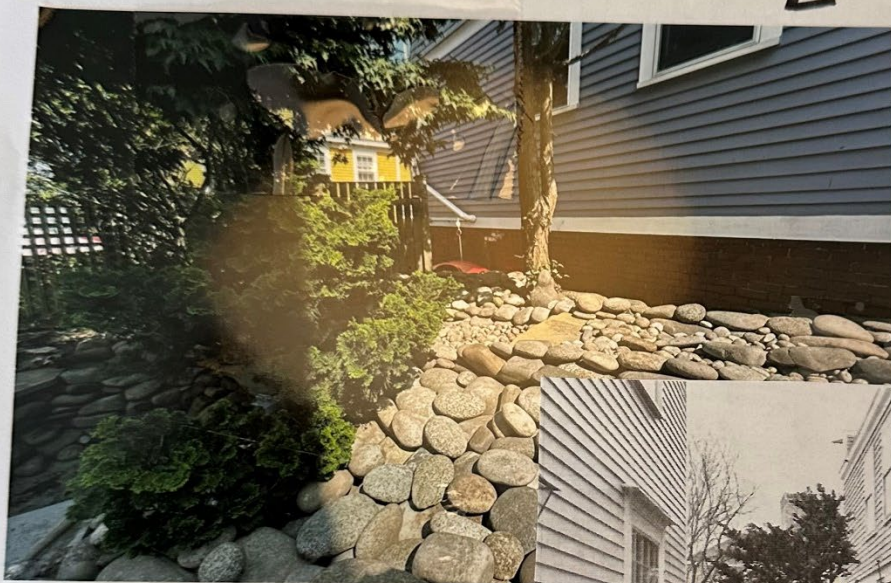
100% Cedar  
with Cedar Caps



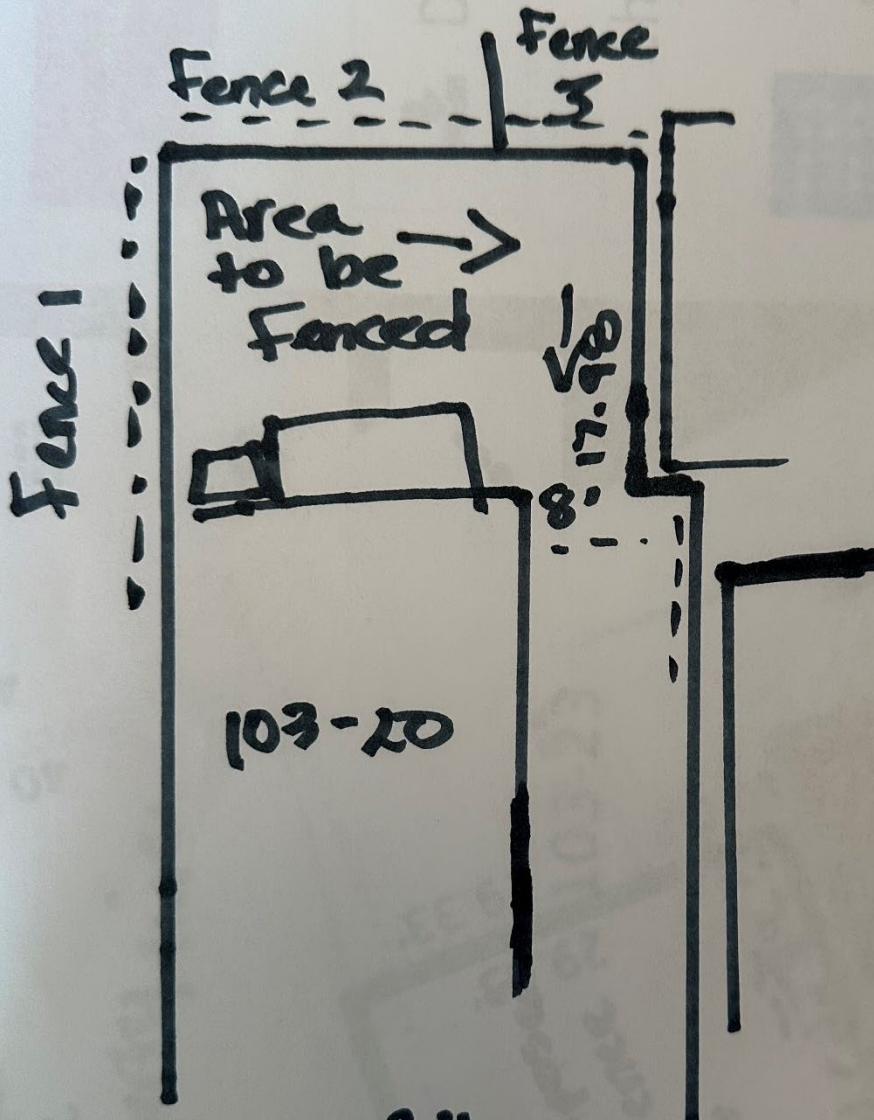
Recently HDO  
Approved  
Cedar  
Fence

Right Side of Rear Yard  
Propossed Fence line.

3



↑ Proposed  
Fence &  
GATE  
Rear of  
Drive way  
+ Yard Entrance.



Site  
3 Walton Fence for  
privacy!

6' Privacy Fence  
cedar shown in  
photos ①

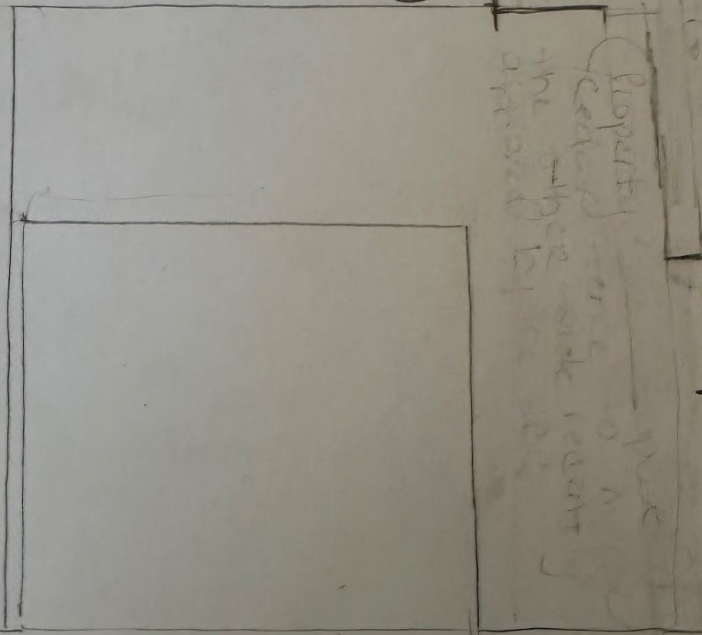
Rear  
Neighbors Fence  
shown in  
photos

Right side  
Neighbor  
Kat  
fence ③

Mechanic St

②

③



1 Walto

3 Waton






**Land Use Application**


**LU-23-106**

Submitted On: Jul 14, 2023

**Applicant**

 Chris Martin

 9786212458

 cmartin@augerbuildingcompany.com

**Primary Location**

10 STATE ST

Unit D

Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

B. Property Owner's Representative

**Alternative Project Address**

Alternative Project Address

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

--

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure  
true

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

--

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

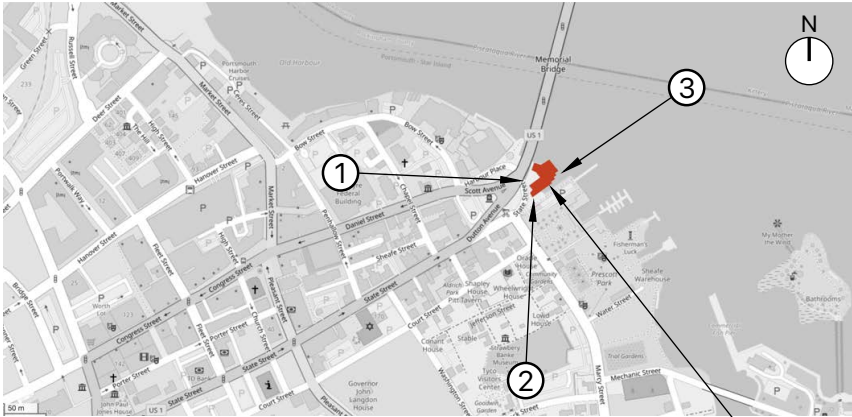
--

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

--

**Request for Extension of Previously Granted Land Use Approval**

--



**LOCUS MAP**



**2 UNIT-D ENTRY (SOUTHEAST ELEVATION) 10 STATE STREET**




**1 MAIN ENTRY (WEST ELEVATION) 10 STATE STREET**

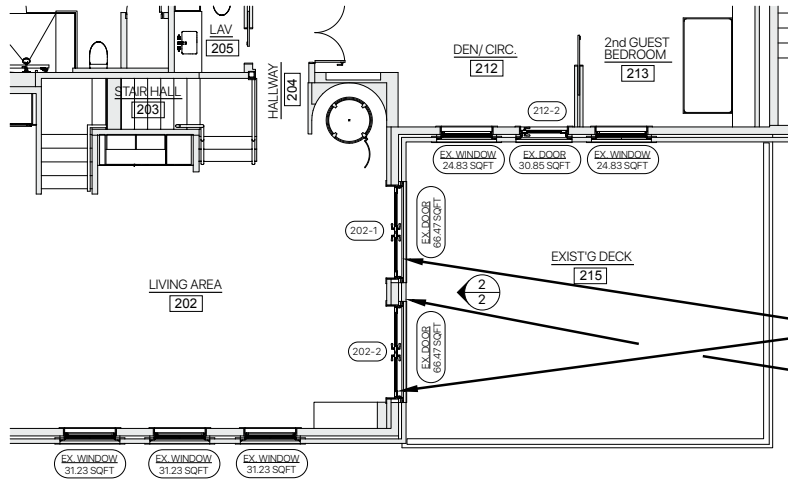


**3 UNIT-D 2ND FLR ROOF DECK (EAST/ RIVER ELEVATION)**

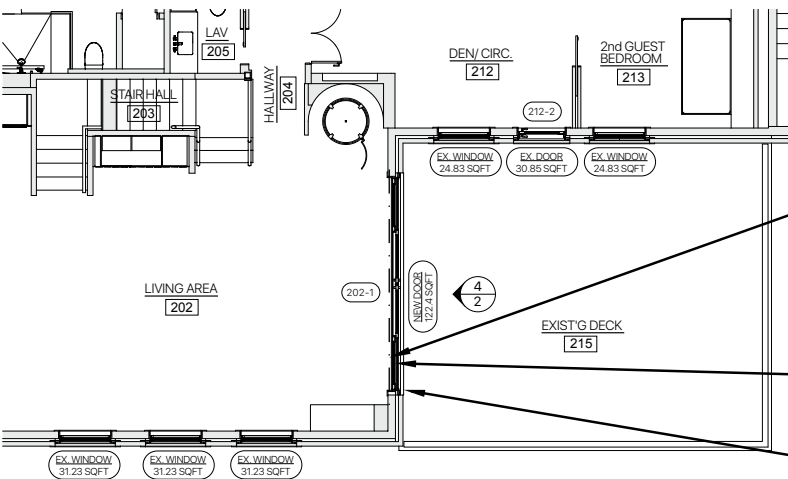
- SITE
- EXISTING DOOR W/ TRANSOM ABOVE
- EXISTING DOOR W/ NO TRANSOM
- EXISTING 2ND FLR ROOF DECK BEYOND
- EXISTING UNIT-D 1ST FLR ENTRY DOOR
- EXISTING DOORS W/ TRANSOMS ABOVE TO 2ND FLR ROOF DECK

**PROJECT/ SITE CONTEXT**

 <p><b>AUGER BUILDING COMPANY, INC.</b> augerbuildingcompany.com</p>	Project Name: GRENNON-10 State Street	Date: 06/14/2023	Drawing No.: of 11
		Scale: As Noted	<b>1</b>
	Drawing Title: SITE MAP AND PHOTOS OF EXISTING BUILDING	Revisions:	



1 PLAN @EXISTING TERRACE DOORS  
Scale: 1/4" = 1'-0"



3 PROPOSED PLAN @REPLACEMENT DOOR  
Scale: 1/4" = 1'-0"

FAILING EXIST'G  
INSWING FRENCH  
DOOR / TRANSOM  
ABOVE TO BE  
REMOVED

EXIST'G WALL  
BETWEEN EXIST'G  
DOORS TO BE  
DEMOLISHED



2 EXISTING FAILING TERRACE DOORS (PHOTO)  
Scale: NONE

INFILL SPACE  
ABOVE NEW  
DOOR WITH  
BRICK & MORTAR  
TO MATCH EX.  
ADJ.

NEW STEEL BEAM  
IN WALL BEYOND  
ABOVE NEW DOOR

MATCH EXIST'G.

NEW GRANITE  
LINTEL TO MATCH  
EXIST'G.


NEW PELLA DOOR  
202-1 SEE DWG-2/  
SHT-3

NEW GRANITE  
SILL TO MATCH  
EXIST'G. ADJ.

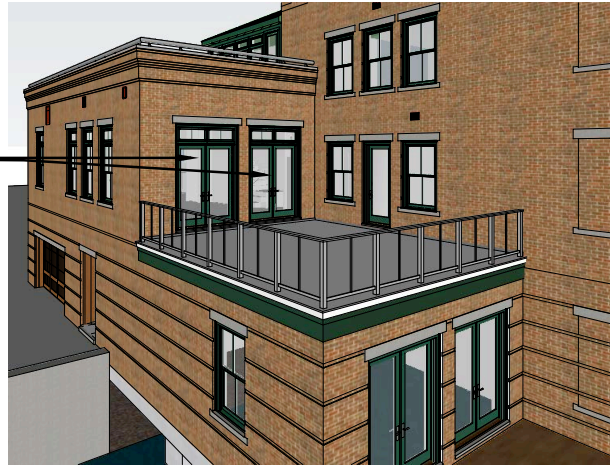


4 PROPOSED REPLACEMENT DOOR  
Scale: NONE

# PLANS and ELEVATIONS

 <p>AUGER BUILDING COMPANY, INC. augerbuildingcompany.com</p>	Project Name: GRENNON-10 State Street	Date: 06/14/2023	Drawing No.: of 11
		Scale: As Noted	<h1>2</h1>
	Drawing Title: PLANS AND ELEVATIONS OF TERRACE DOORS	Revisions:	

EXISTING FAILING  
TERRACE DOORS



① EXISTING FAILING TERRACE DOORS  
Scale: NONE

INFILL SPACE ABOVE  
NEW DOOR WITH  
BRICK & MORTAR  
TO MATCH EX. ADJ.

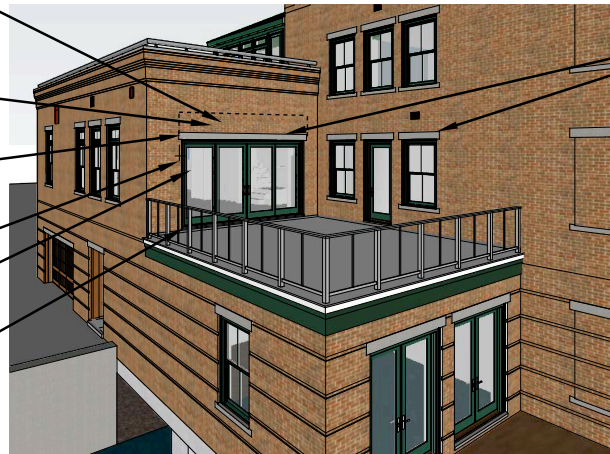
NEW STEEL BEAM  
IN WALL BEYOND  
ABOVE NEW DOOR

NEW GRANITE  
LINTEL TO MATCH  
EXIST'G.

MATCH EXIST'G.

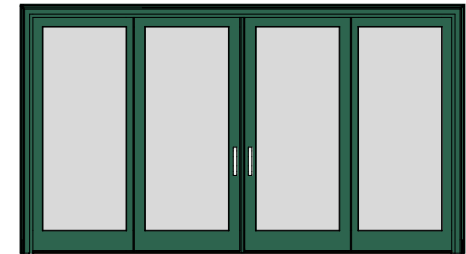
NEW PELLA DOOR  
202-1 SEE DWG-2/  
SHT-3

NEW GRANITE  
SILL TO MATCH  
EXIST'G. ADJ.



② PROPOSED REPLACEMENT DOOR  
Scale: NONE

TOP OF NEW GRANITE LINTEL  
TO ALIGN WITH TOP OF EXIST'G.  
ADJ. GRANITE LINTEL



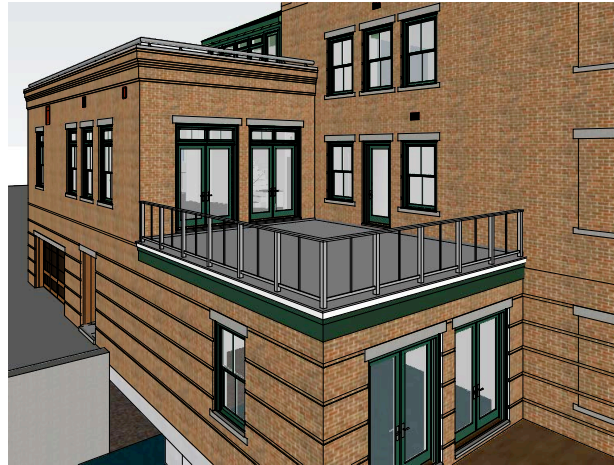
**DOOR 202-1** Pella Reserve, Traditional, Quad Sliding Door, Fixed/ Vent Left/ Vent Right/ Fixed, 170 x 95.5, Hartford Green

③ PROPOSED REPLACEMENT DOOR  
Scale: 1/4" = 1'-0"

# PERSPECTIVES

 <b>AUGER</b> BUILDING COMPANY, INC. <small>augerbuildingcompany.com</small>	Project Name: GRENNON-10 State Street	Date: 06/14/2023	Drawing No.: of 11
		Scale: As Noted	<div style="font-size: 48pt; text-align: center;">3</div>
	Drawing Title: PERSPECTIVE OF EXISTG & PROPOSED TERRACE DOORS	Revisions:	

EXISTING FAILING  
TERRACE DOORS



① EXISTING FAILING TERRACE DOORS  
Scale: NONE

INFILL SPACE ABOVE  
NEW DOOR WITH  
BRICK & MORTAR  
TO MATCH EX. ADJ.

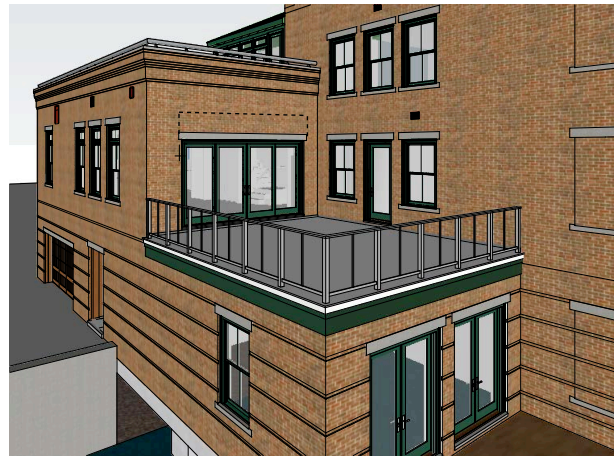
NEW STEEL BEAM  
IN WALL BEYOND  
ABOVE NEW DOOR

NEW GRANITE  
LINTEL TO MATCH  
EXIST'G.

MATCH EXIST'G.

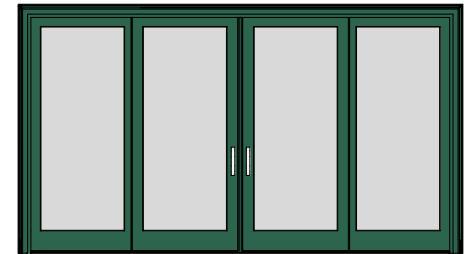
NEW PELLA DOOR  
202-1 SEE DWG-2/  
SHT-3

NEW GRANITE  
SILL TO MATCH  
EXIST'G. ADJ.



② PROPOSED REPLACEMENT DOOR  
Scale: NONE


TOP OF NEW GRANITE LINTEL  
TO ALIGN WITH TOP OF EXIST'G.  
ADJ. GRANITE LINTEL



**DOOR 202-1** Pella Reserve, Traditional, Quad Sliding Door, Fixed/ Vent Left/ Vent Right/ Fixed, 170 x 95.5, Hartford Green

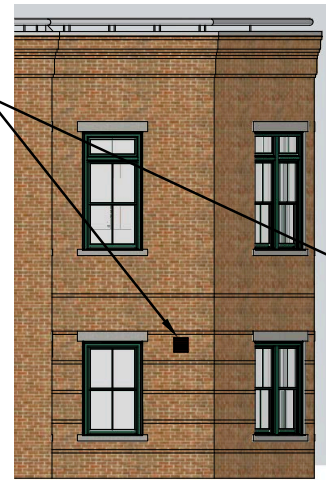
③ PROPOSED REPLACEMENT DOOR  
Scale: 1/4" = 1'-0"

# PERSPECTIVES

 <b>AUGER</b> BUILDING COMPANY, INC. <small>augerbuildingcompany.com</small>	Project Name: <b>GRENNON-10 State Street</b>	Date: <b>06/14/2023</b>	Drawing No.: of <b>11</b>
		Scale: <b>As Noted</b>	<div style="font-size: 48pt; text-align: center;">4</div>
	Drawing Title: <b>PERSPECTIVE OF EXISTG &amp; PROPOSED TERRACE DOORS</b>	Revisions:	



② SOUTHWEST ELEVATION (STATE STREET)  
Scale: 1/4" = 1'-0"



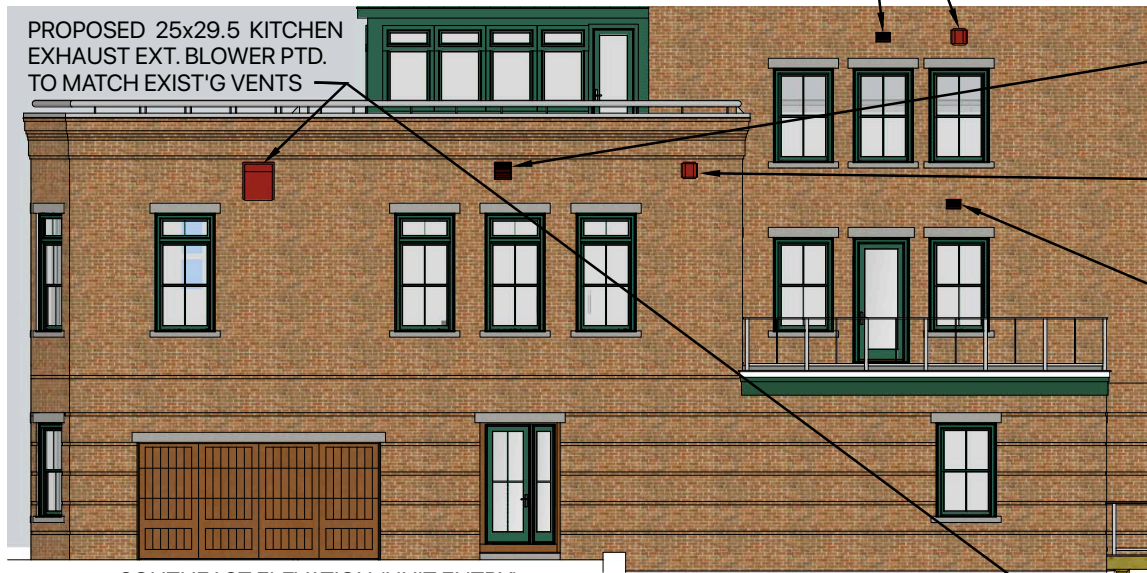
③ NORTHWEST ELEVATION (PARTIAL) (STATE STREET)  
Scale: 1/4" = 1'-0"

PROPOSED 12x12  
MAKEUP AIR  
INTAKE VENT TO  
MATCH EXIST'G  
PTD. TO MATCH  
EXIST'G

EXIST'G PTD. GRILL  
TO REMAIN



EXAMPLE OF EXIST'G  
BUILDING VENT PTD.



① SOUTHEAST ELEVATION (UNIT ENTRY)  
Scale: 1/4" = 1'-0"

PROPOSED 25x29.5 KITCHEN  
EXHAUST EXT. BLOWER PTD.  
TO MATCH EXIST'G VENTS


PROPOSED 14x14 HRV  
EXHAUST VENT TO  
MATCH EXIST'G. PTD. TO  
MATCH EXIST'G.

PROPOSED 14x14 GAS  
FIREPLACE EXHAUST VENT  
TO MATCH PTD. TO MATCH  
EXIST'G. VENTS

EXIST'G/ PROPOSED  
12x8 HRV INTAKE VENT  
TO MATCH EXIST'G. PTD.  
TO MATCH EXIST'G.



# ELEVATIONS

 <b>AUGER</b> BUILDING COMPANY, INC. <small>augerbuildingcompany.com</small>	Project Name: GRENNON-10 State Street	Date: 06/14/2023	Drawing No.: of 11
		Scale: As Noted	<div style="font-size: 48pt; text-align: center; border: 1px solid black; padding: 5px;">5</div>
	Drawing Title: ELEVATIONS PROPOSED VENT LOCATIONS	Revisions:	



② NE ELEVATION EX. FAILING DOORS (RIVER SIDE)  
Scale: 3/32" = 1'-0"



③ NE ELEVATION PROPOSED DOOR (RIVER SIDE)  
Scale: 3/32" = 1'-0"



① SE ELEVATION (UNIT ENTRY)  
Scale: 3/32" = 1'-0"

# ELEVATIONS

 <b>AUGER</b> BUILDING COMPANY, INC. <small>augerbuildingcompany.com</small>	Project Name:	GRENNON-10 State Street	Date:	06/14/2023	Drawing No.: of 11
	Scale:	As Noted	Revisions:		
	Drawing Title:	ELEVATIONS EXIST'G. & PROPOSED TERRACE DOORS			



① EAST PERSPECTIVE (EXISTING FAILING TERRACE DOORS)  
Scale: N.A.

# PERSPECTIVE




Project Name: <b>GRENNON-10 State Street</b>	Date: <b>06/14/2023</b>	Drawing No.: of <b>11</b>
Drawing Title: <b>EAST PERSPECTIVE</b>	Scale: <b>As Noted</b>	<b>7</b>
	Revisions:	

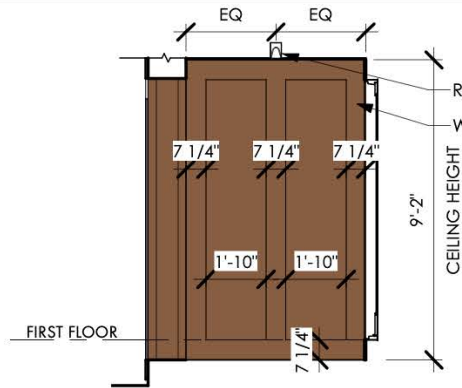




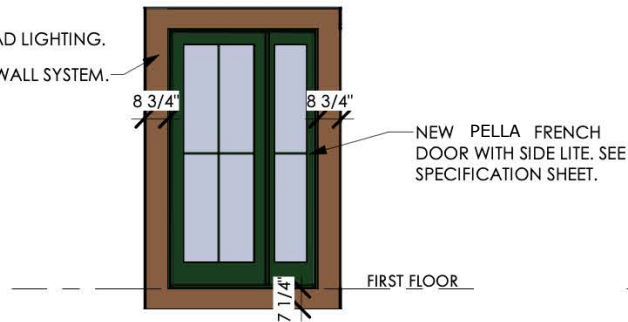
① EAST PERSPECTIVE (PROPOSED TERRACE DOORS)  
Scale: N.A.

# PERSPECTIVE

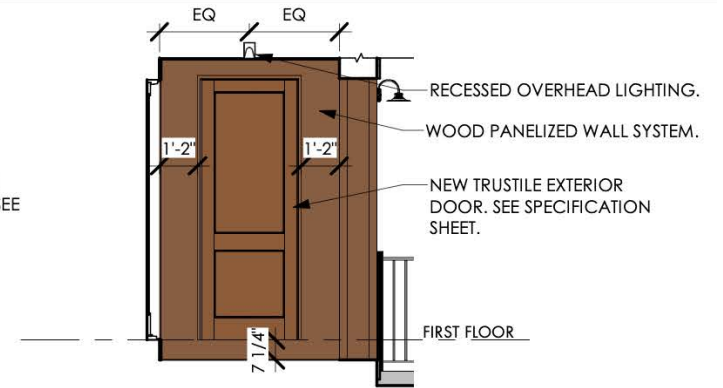
 <b>AUGER</b> BUILDING COMPANY, INC. <small>augerbuildingcompany.com</small>	Project Name:	GRENNON-10 State Street	Date:	06/14/2023	Drawing No.: of 11
	Drawing Title:	EAST PERSPECTIVE	Scale:	As Noted	
	Revisions:				



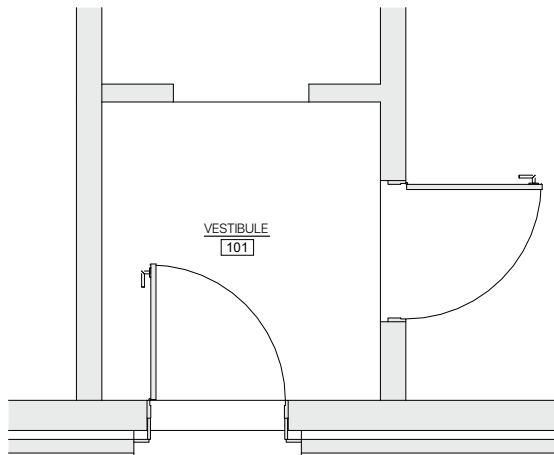
**E1** PROPOSED VESTIBULE ELEVATION  
Scale: N.A.



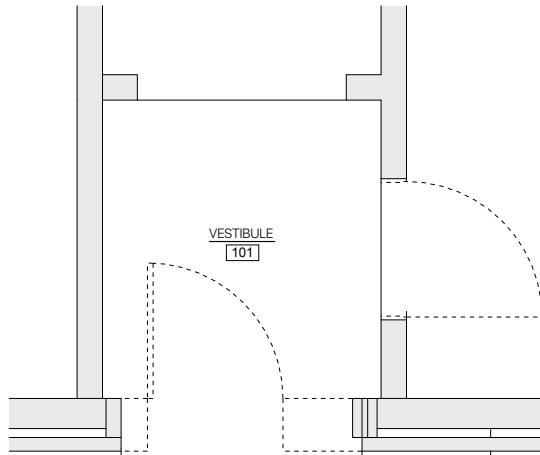
**E2** PROPOSED VESTIBULE ELEVATION  
Scale: N.A.



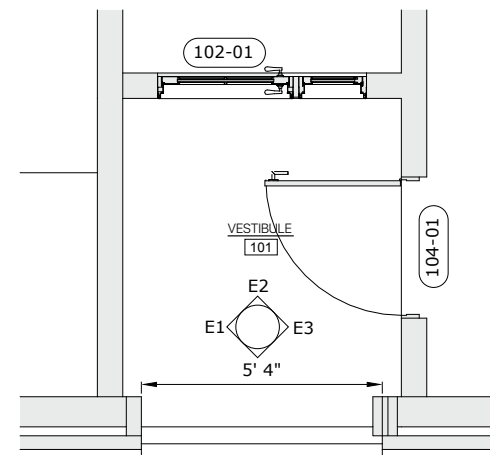
**E3** PROPOSED VESTIBULE ELEVATION  
Scale: N.A.




**1** EXISTING VESTIBULE PLAN  
Scale: N.A.

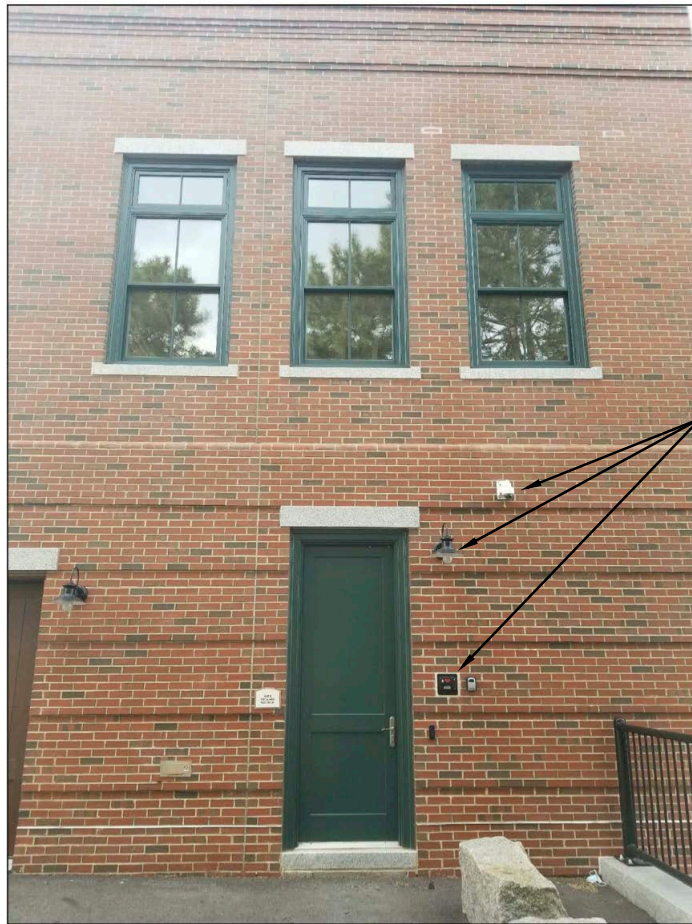


**2** EXISTING VESTIBULE DEMOLITION PLAN  
Scale: N.A.



**3** PROPOSED VESTIBULE PLAN  
Scale: N.A.

 <b>AUGER</b> BUILDING COMPANY, INC. <small>augerbuildingcompany.com</small>	Project Name: <b>GRENNON-10 State Street</b>	Date: <b>06/14/2023</b>	Drawing No.: of <b>11</b>
		Scale: <b>As Noted</b>	<b>9</b>
	Drawing Title: <b>PROPOSED VESTIBULE MODIFICATIONS</b>	Revisions:	



ALL EXIST'G.  
KEYPADS,  
CAMERAS  
LIGHTING TO  
BE RELOCATED

① EXIST'G PARTIAL ELEVATION (UNIT ENTRY)  
Scale: N.A.




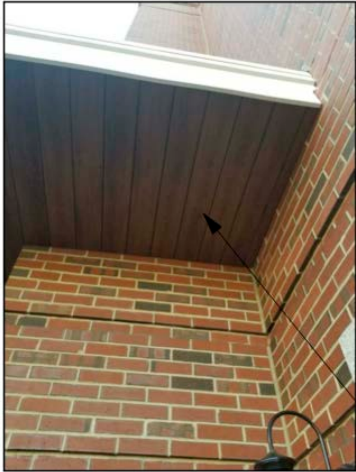
NEW GRANITE  
LINTEL TO MATCH  
EXIST'G.

NEW GRANITE  
SILL TO MATCH  
EXIST'G.

② PROPOSED PARTIAL ELEVATION (UNIT ENTRY)  
Scale: 1/4" = 1'-0"

# ELEVATIONS

 <b>AUGER</b> BUILDING COMPANY, INC. <small>augerbuildingcompany.com</small>	Project Name: <b>GRENNON-10 State Street</b>	Date: <b>06/14/2023</b>	Drawing No.: of <b>11</b>
	Drawing Title: <b>PROPOSED PARTIAL ELEVATIONS @UNIT ENTRY</b>	Scale: <b>As Noted</b>	<b>10</b>
		Revisions:	



WOOD PANELING  
TO MATCH EX.  
CASING

WOOD CEILING  
STAINED W/  
MARINE GRADE  
SEALER TO  
MATCH EX.  
@BUILDING  
COVERED MAIN  
ENTRY



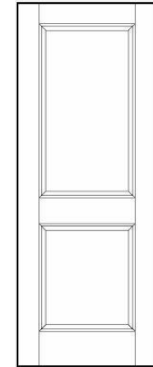
WOOD CASING  
TO MATCH EX.

GRANITE PAVERS



NEW GRANITE  
LINTEL TO MATCH  
EXIST'G.

NEW GRANITE  
SILL TO MATCH  
EXIST'G.




**DOOR 104-1**  
Mahogany 1 3/4" thk. two panel door w/  
1 hr fire rating.



**DOOR 102-1**  
Pella Reserve, Traditional, French door  
w/ sidelite, Hartford Green

1 PROPOSED PARTIAL ELEVATION (UNIT ENTRY)  
Scale: N.A.

## MATERIALS/ SPECIFICATIONS




 <b>AUGER</b> BUILDING COMPANY, INC. <small>augerbuildingcompany.com</small>	Project Name:	GRENNON-10 State Street	Date:	06/14/2023	Drawing No.: of 11
	Drawing Title:	MATERIAL SPECIFICATIONS	Scale:	As Noted	
			Revisions:		

**Land Use Application**

**LU-23-105**

Submitted On: Jul 14, 2023

**Applicant**

 PETER MORIN  
 6034337070  
 pgm49@aol.com

**Primary Location**

170 MECHANIC ST  
Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

A. Property Owner

**Alternative Project Address**

Alternative Project Address

Red barn across from 170 Mechanic St

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

--

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure  
true

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

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--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

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**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

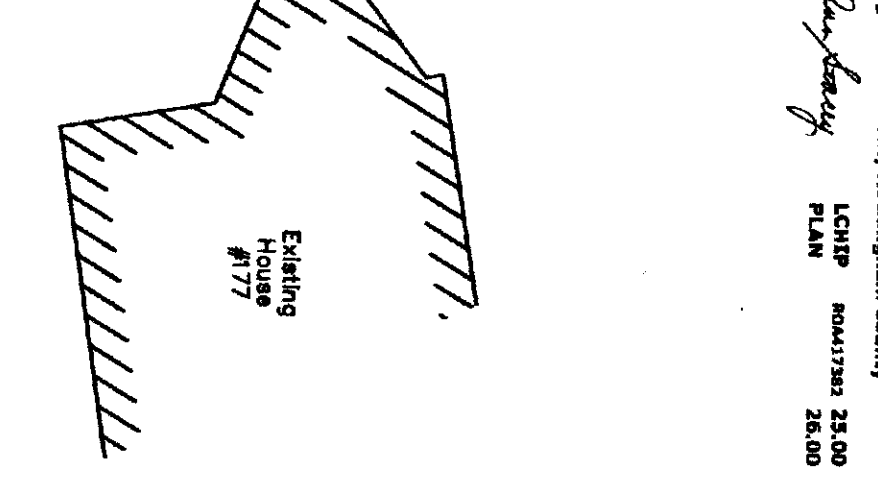
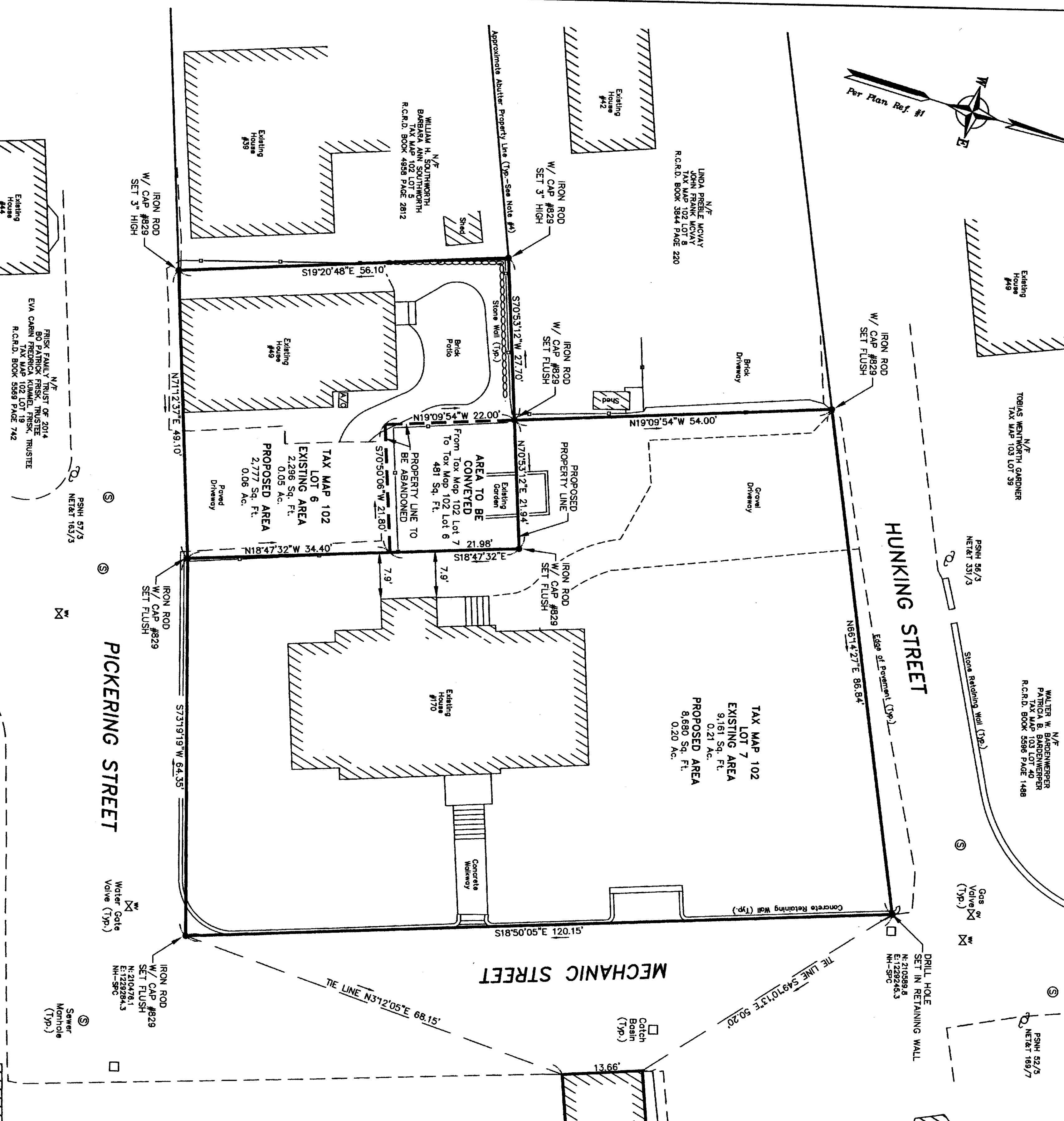
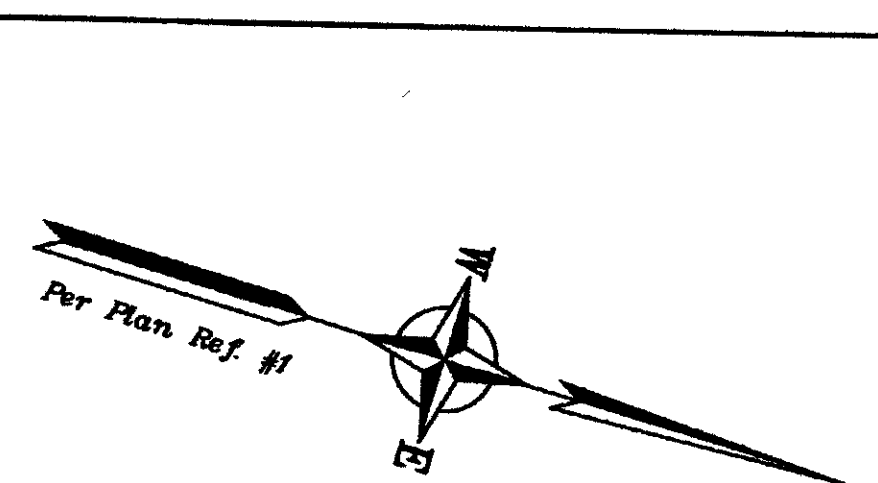
--

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

--

**Request for Extension of Previously Granted Land Use Approval**

--



ZONING DATA PER CITY OF PORTSMOUTH ZONING ORDINANCE  
 LAST AMENDED 12/4/17 (SEE NOTE #8).  
 ZONE: GENERAL RESIDENCE-B (GRB)

- REQUIREMENTS:
- MINIMUM LOT AREA: 5,000 SQ. FT.
  - MINIMUM STREET FRONT SETBACK: 50 FT.
  - MINIMUM LOT DEPTH: 80 FT.
  - MINIMUM FRONT SETBACK: 5 FT.
  - MINIMUM SIDE SETBACK: 10 FT.
  - MINIMUM REAR SETBACK: 25 FT.
  - MAXIMUM BUILDING HEIGHT: 35 FT.
  - MAXIMUM BUILDING COVERAGE: 30%
  - MINIMUM OPEN SPACE: 25%

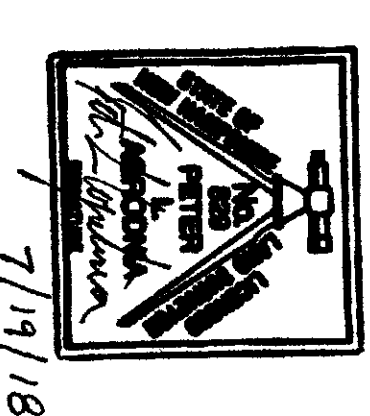
PLAN REFERENCES:

- STANDARD PROPERTY SURVEY FOR PROPERTY AT 42 HUNKING STREET, PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE, OWNED BY LINDA FREBLE MCVAY & JOHN FRANK MCVAY, PREPARED BY NORTH PLASMA SURVEYING, INC., DATED SEPTEMBER 13, 2007 AND RECORDED AT THE R.C.R.D. AS PLAN D-35015.

NOTES:

- OWNERS OF RECORD:  
 TAX MAP 102 LOT 6  
 PETER G. MORIN, TRUSTEE  
 R.C.R.D. BOOK 3675 PAGE 1454  
 DATED NOVEMBER 14, 2001  
 TAX MAP 102 LOT 7  
 HUNKINGS HOLDINGS, LLC  
 R.C.R.D. BOOK 3594 PAGE 1288  
 DATED FEBRUARY 23, 2018  
 TAX MAP 102 LOT 6  
 2,296 SQ. FT.  
 TAX MAP 102 LOT 7  
 9,161 SQ. FT.
- TOTAL EXISTING PARCEL AREA:  
 TAX MAP 102 LOT 6  
 2,296 SQ. FT.  
 TAX MAP 102 LOT 7  
 9,161 SQ. FT.
- BASIS OF BEARING IS PER PLAN REFERENCE #1.
- APPROXIMATE ABUTTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELEIED UPON AS BOUNDARY INFORMATION.
- EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCLUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
- ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF PORTSMOUTH PRIOR TO DESIGN OR CONSTRUCTION.
- THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS, FIELD EVIDENCE AND PAROL TESTIMONY RECOVERED AT THE TIME OF SURVEY AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE.
- VARIANCES GRANTED AT BOARD OF ADJUSTMENT MEETING ON MAY 22, 2018.
- A VARIANCE FROM SECTION 10.521 TO ALLOW A 7.9'± REAR YARD WHERE 25' IS REQUIRED.

PISCATAQUA RIVER



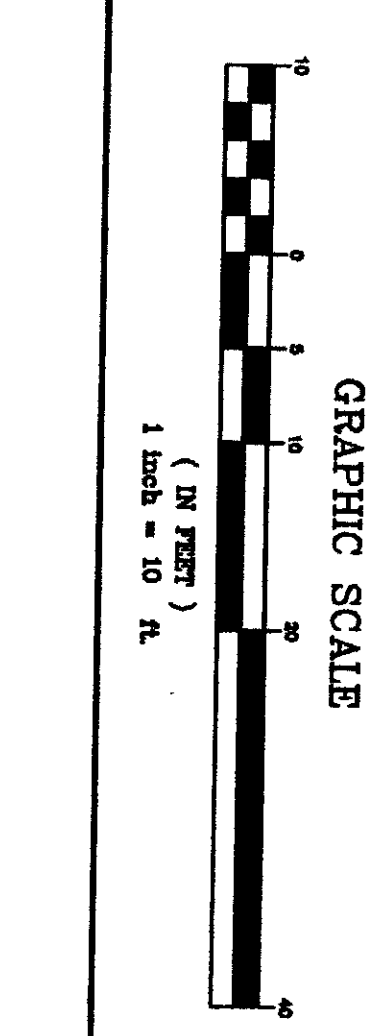
APPROVED: CITY OF PORTSMOUTH, NH  
 PLANNING BOARD  
 7/19/18

**LOT LINE REVISION PLAN**  
 FOR PROPERTY AT  
 49 Pickering Street & 170 Mechanic Street  
 Portsmouth, Rockingham County, New Hampshire  
 OWNED BY  
**Peter G. Morin Trust**  
 Peter G. Morin, Trustee  
 49 Pickering Street, Portsmouth, NH 03801  
 OWNED BY  
**Hunking Holdings, LLC**  
 c/o Peter Morin  
 49 Pickering Street, Portsmouth, NH 03801

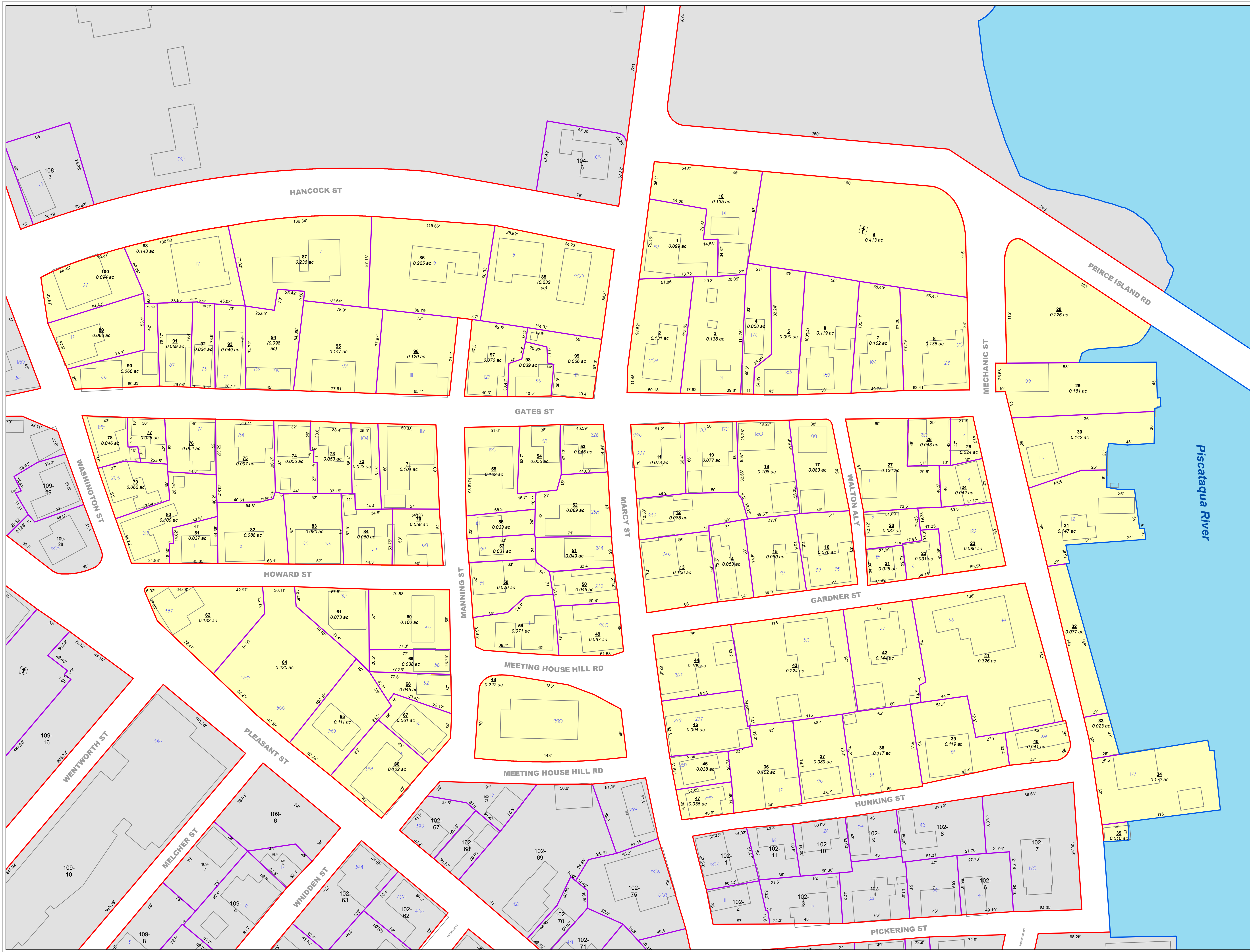


**EASTERLY SURVEYING, Inc.**  
 SURVEYORS IN N.H. & MAINE  
 191 STATE ROAD, SUITE #1  
 KITTERY, MAINE 03904  
 (207) 439-6933

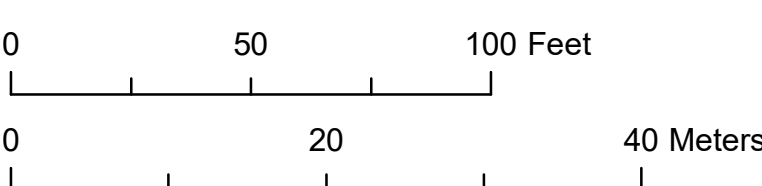
REV.	DATE	ADD NOTE # & MONUMENTS SET	STATUS	BY	CHKD	APPD.
A	7/5/18			A.M.P./P.L.A.	P.L.A.	



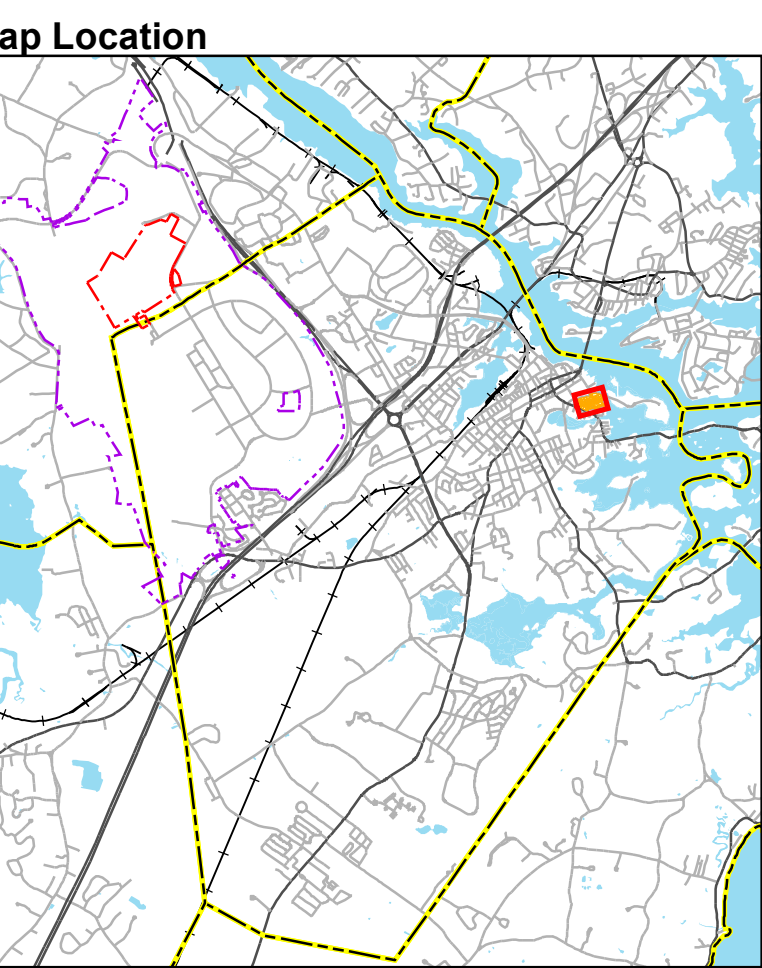
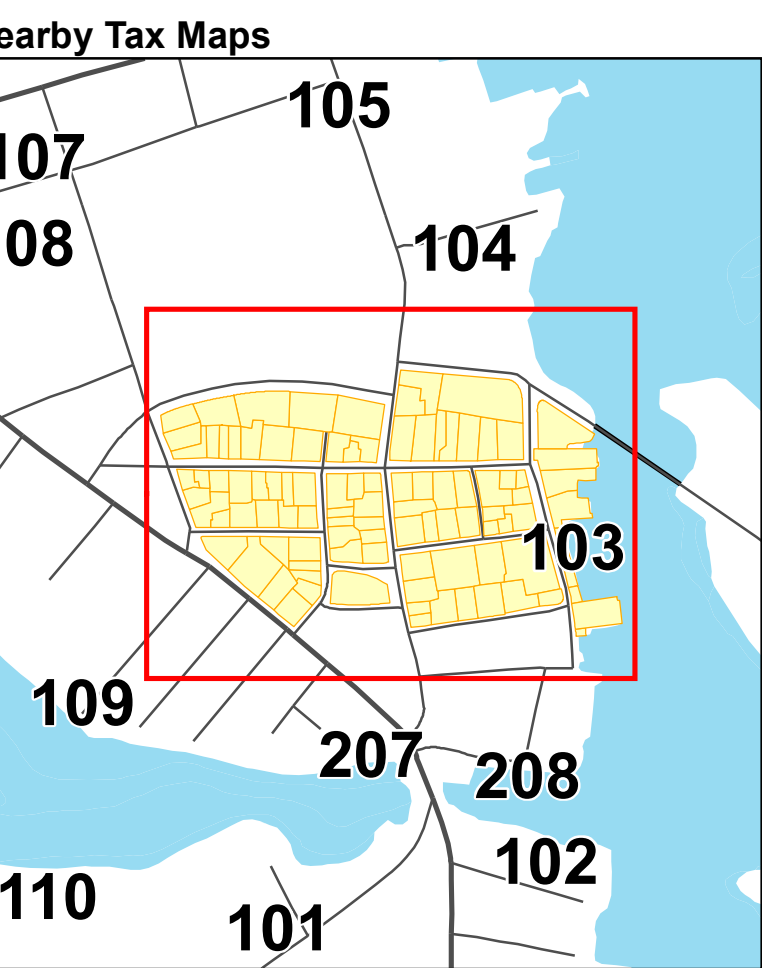
D-40964



- Partial Legend**  
 See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
  - 2.56 ac Parcel area in acres (ac) or square feet (sf)
  - 25 Address number
  - 233-137 Parcel number from a neighboring map
  - 68' Parcel line dimension
  - SIMS AVE** Street name
  - Parcel/Parcel boundary
  - Parcel/ROW boundary
  - Water boundary
  - Structure (1994 data)
  - Parcel covered by this map
  - Parcel from a neighboring map (see other map for current status)



*This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.*



# REAL WOOD. REDEFINED.

## LIFESPAN<sup>®</sup> SOLID SELECT

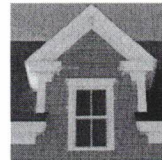
LIFESPAN SOLID SELECT is premium, clear grade lumber, treated to prevent damage caused by insects and the elements, and expertly primed for a striking finish. LIFESPAN is real wood at its finest.



No finger joints, knots, or defects



Limited lifetime warranty



EPA-registered non-metallic preservative



Dual-coated with alkyd primer



A pleasure to work with



The natural integrity of real wood



Prevents against rot, fungal attack, and insect damage



Superior moisture resistance



Sourced from New Zealand



BEAUTY IN ITS CHARACTER.  
STRENGTH IN EVERY FIBER.

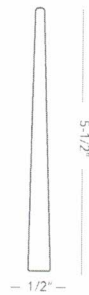
### S4S TRIM BOARDS

- 1x3 - 12' & 16'
- 1x4 - 12' & 16'
- 1x5 - 12' & 16'
- 1x6 - 12' & 16'
- 1x8 - 12' & 16'
- 1x10 - 12' & 16'
- 1x12 - 12' & 16'

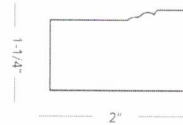
### S4S TRIM BOARDS

- 5/4x4 - 12' & 16'
- 5/4x5 - 12' & 16'
- 5/4x6 - 12' & 16'
- 5/4x8 - 12' & 16'
- 5/4x10 - 12' & 16'
- 5/4x12 - 12' & 16'

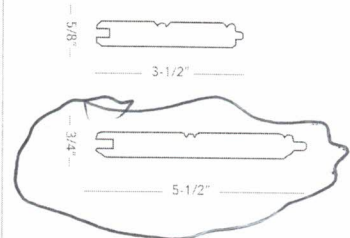
### MOULDING PROFILES



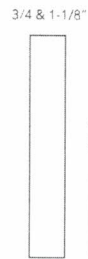
BEVEL SIDING



BRICKMOULD CASING



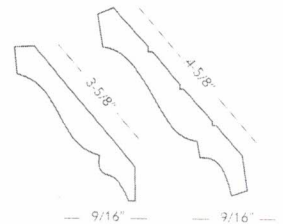
WAINSCOT EDGE & CENTERBEAD



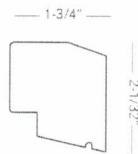
TRIM BOARDS



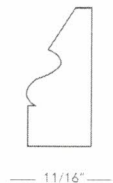
BED MOULDING



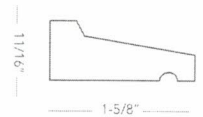
CROWN MOULDING



HISTORIC SILL



BAND MOULDING



DRIP CAP

QUANTITY 1

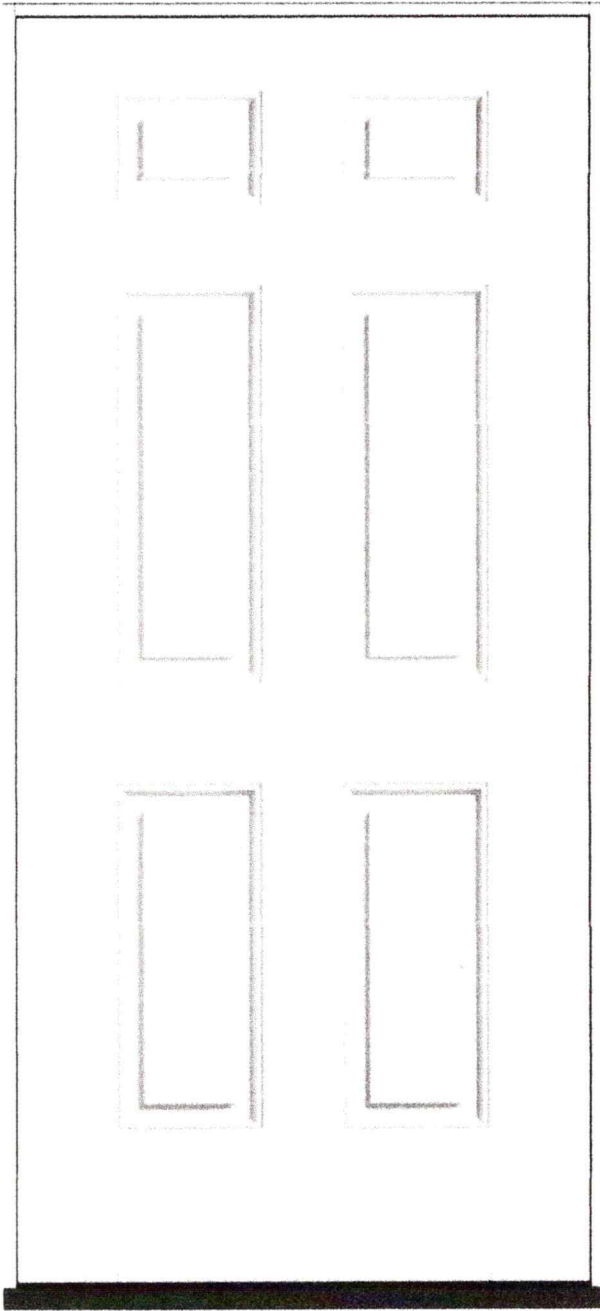
BWU BROSCO WINDOW UNIT WOOD SSB, MULL, BACK-TO-BACK, 8X13 6/6, 8X13 6/6, WH SASH LOCK, 4-9/16, CLEAR HEAD & HISTORIC SILL, BLOCK AND TACKLE WHITE BAL, HISTORICAL CEDAR CONNECT, NO CASING, 3-3/4 HORNS

QUANTITY 3

BWU SU BROSCO WINDOW UNITS WOOD SSB, SGL, 8X12 6/6, WH SASH LOCK, 4-9/16, CLEAR HEAD & HISTORIC SILL, BLOCK AND TACKLE WHITE BAL, HISTORICAL CEDAR CONNECT, NO CASING, 3-3/4 HORNS

QUANTITY 2

BWU SU BROSCO WINDOW UNITS STATIONARY WINDOW, SGL, CELLAR SASH 8X12 6 LT GLA, 4-9/16, CLEAR HEAD & HISTORIC SILL, NO BALANCE, HISTORICAL CEDAR CONNECT, NO CASING, 3-3/4 HORNS



**THERMA TRU**<sup>®</sup>  
DOORS

---

## Smooth-Star<sup>®</sup>

Style No. S210 | 6 Panel | Glass Name: No Glass



EAST SIDE



SOUTH SIDE



NORTH SIDE




WEST SIDE


**Land Use Application**

**LU-23-110**

Submitted On: Jul 20, 2023

**Applicant**

 Jaime Morin

 617-966-0412

 renewalbyandersen@gopermits.org

**Primary Location**

11 MARKET ST

Unit 2

Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

F. Applicant's Representative Filing on behalf of C., D. or E.  
above

**Alternative Project Address**

Alternative Project Address

--

**Project Type**

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--

**Request for Extension of Previously Granted Land Use Approval**

--

Circled in Blue are the 3 they want to change.  
Circled in green brand new Andersen windows  
done in the next building.





G. Willikers!

mary dolan  
starling  
hair and beauty 603.433.6555

Footnotes

Footnotes

15 MINUTE  
METERED  
PARKING

NO  
PARKING  
POLICE  
CRUISER  
ONLY

Sweet  
Jones  
MUSIC  
...  
...





G. Willikers!





# Agreement Document and Payment Terms

**DBA: RENEWAL BY ANDERSEN OF BOSTON**  
Legal Name: Renewal by Andersen LLC  
HIC# 170810  
30 Forbes Road | Northborough, MA 01532  
Phone: (508) 351-2200 | Fax: (508) 986-7072 | rbaboston@gmail.com

**Jill Breneman**  
11 Market Street Unit 2  
Portsmouth, NH 03801  
H: (603)431-1974  
C: (207)423-7551

Jill Breneman

06/19/23

**BUYER(S) NAME**

**CONTRACT DATE**

11 Market Street Unit 2, Portsmouth, NH 03801

(603)431-1974

(207)423-7551

**BUYER(S) STREET ADDRESS**

**PRIMARY NUMBER**

**SECONDARY NUMBER**

jillikers@comcast.net

**PRIMARY EMAIL**

**SECONDARY EMAIL**

**NOTES:**

Buyer(s) hereby jointly and severally agrees to purchase the products and/or services of Renewal by Andersen LLC d/b/a Renewal By Andersen of Boston ("Contractor"), in accordance with the terms and conditions described in this Agreement Document and Payment Terms, any documents listed in the Table of Contents, and any other document attached to this Agreement Document, the terms of which are all agreed to by the parties and incorporated herein by reference (collectively, this "Agreement"). Buyer(s) hereby agrees to sign a completion certificate after Contractor has completed all work under this Agreement.

<b>TOTAL JOB AMOUNT:</b>	\$12,998	By signing this Agreement, you acknowledge that the Balance Due, and the Amount Financed must be made by personal check, bank check, credit card, or cash.	
<b>DEPOSIT RECEIVED:</b>	\$4,332		
<b>BALANCE DUE:</b>	\$8,666	Estimated Start: October	Estimated Completion: 1 day
<b>AMOUNT FINANCED:</b>	\$0		
<b>METHOD OF PAYMENT:</b>	Check	We schedule installations based on the date of the signed contract and secondarily on the date in which we complete the technical measurements. The installation date that we are providing at this time is only an estimate. We will communicate an official date and time at a later date. Rain and extreme weather are the most common causes for delay.	
<b>NOTES:</b>	Check 1779 4332; Start of install 1/3; Substantial completion 1/3		

Buyer(s) agrees and understands that this Agreement constitutes the entire understandings between the parties and that there are no verbal understandings changing or modifying any of the terms of this Agreement. No alterations to or deviations from this Agreement will be valid without the signed, written consent of both the Buyer(s) and Contractor. Buyer(s) hereby acknowledges that Buyer(s) 1) has read this Agreement, understands the terms of this Agreement, and has received a completed, signed, and dated copy of this Agreement, including the two attached Notices of Cancellation, on the date first written above and 2) was orally informed of Buyer's right to cancel this Agreement.

NOTICE TO BUYER: Do not sign this contract if blank. You are entitled to a copy of the contract at the time you sign.

**YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME NOT LATER THAN MIDNIGHT OF 06/22/2023 OR THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION, WHICHEVER DATE IS LATER. SEE THE ATTACHED NOTICE OF CANCELLATION FORM FOR AN EXPLANATION OF THIS RIGHT.**

**SIGNATURE OF SALES PERSON**

Kevin Monahan

**PRINT NAME OF SALES PERSON**

**SIGNATURE**

Jill Breneman

**PRINT NAME**

**SIGNATURE**

**PRINT NAME**



# Itemized Order Receipt

**DBA: RENEWAL BY ANDERSEN OF BOSTON**  
 Legal Name: Renewal by Andersen LLC  
 HIC# 170810  
 30 Forbes Road | Northborough, MA 01532  
 Phone: (508) 351-2200 | Fax: (508) 986-7072 | rbaboston@gmail.com

**Jill Breneman**  
 11 Market Street Unit 2  
 Portsmouth, NH 03801  
 H: (603)431-1974  
 C: (207)423-7551

ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
100			Misc Misc, Additional Job Notes, Quantity 1, Police detai	
101	Living		<b>Window</b> Double-Hung (DG) 1:1 Flat Sill, Base Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas, <b>Performance Calculator</b> PG Rating: 30   DP Rating: + 30 / - 30 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , Canvas, <b>Screen</b> , Fiberglass, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 2w x 1h, <b>Misc</b> , None	
102	Living		<b>Window</b> Double-Hung (DG) 1:1 Flat Sill, Base Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas, <b>Performance Calculator</b> PG Rating: 30   DP Rating: + 30 / - 30 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , Canvas, <b>Screen</b> , Fiberglass, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 2w x 1h, <b>Misc</b> , None	
103	Living		<b>Window</b> Double-Hung (DG) 1:1 Flat Sill, Base Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas, <b>Performance Calculator</b> PG Rating: 30   DP Rating: + 30 / - 30 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , Canvas, <b>Screen</b> , Fiberglass, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 2w x 1h, <b>Misc</b> , None	
<b>WINDOWS: 3</b>	<b>PATIO DOORS: 0</b>	<b>ENTRY DOORS: 0</b>	<b>SPECIALTY: 0</b>	<b>MISC: 1</b>
				<b>TOTAL \$12,998</b>



*Renewal by Andersen is committed to our customers' safety by complying with the rules and lead-safe work practices specified by the EPA.*



**dba: RENEWAL BY ANDERSEN OF BOSTON**

Legal Name: Renewal by Andersen LLC | License # HIC# 170810  
30 Forbes Road | Northborough, MA 01532  
Phone: (508) 351-2200 | Fax: (508) 986-7072 |  
rbabostonoperationsarchive@gmail.com  
Measure Tech: Jesse Lawrence,

**Jill Breneman**

11 Market Street Unit 2  
Portsmouth, NH 03801  
H: (603)431-1974  
C: (207)423-7551

# Installation Package

---

11 Market Street Unit 2  
Portsmouth, NH 03801

---

**PRODUCTS: 4   WINDOWS: 3   PATIO DOORS: 0   ENTRY DOORS: 0   SPECIALTY: 0   MISC: 1**  
*Updated 6/28/23*

---

**BUYER**

**Jill Breneman**

11 Market Street Unit 2  
Portsmouth, NH 03801  
H: (603)431-1974  
C: (207)423-7551  
Year Built: 1810  
jillikers@comcast.net  
Est. Duration:

**REPRESENTATIVE**

**Kevin Monahan**

(603)759-6717  
Kevin.monahan@andersencorp.com

**TECH MEASURE**

**Jesse Lawrence**

jesse.lawrence@andersencorp.com

**dba: RENEWAL BY ANDERSEN OF BOSTON**

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30 Forbes Road | Northborough, MA 01532  
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Jill Breneman

11 Market Street Unit 2  
 Portsmouth, NH 03801  
 H: (603)431-1974  
 C: (207)423-7551

ID#	ROOM	SIZE		DETAILS
<b>JOB</b>				
101	Living	36" 37-1/8"	80" 88-1/8"	<p><b>Window:</b> , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas <b>Performance Calculator:</b> , PG Rating: 30   DP Rating: + 30 / - 30</p> <p><b>Glass:</b> , All Sash: High Performance SmartSun Glass, No Pattern</p> <p><b>Hardware:</b> , Canvas <b>Screen:</b> , Fiberglass, Full Screen <b>Grille Style:</b> , Full Divided Light (FDL with spacer) <b>Grille Pattern:</b> , All Sash: Colonial 2w x 1h</p> <p><b>Misc:</b> , None <b>Construction:</b> , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1), Out of area (1) <b>Material:</b> , None <b>Sill Angle:</b> , 14°</p>
102	Living	36" 37-1/8"	80" 88-1/8"	<p><b>Window:</b> , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas <b>Performance Calculator:</b> , PG Rating: 30   DP Rating: + 30 / - 30</p> <p><b>Glass:</b> , All Sash: High Performance SmartSun Glass, No Pattern</p> <p><b>Hardware:</b> , Canvas <b>Screen:</b> , Fiberglass, Full Screen <b>Grille Style:</b> , Full Divided Light (FDL with spacer) <b>Grille Pattern:</b> , All Sash: Colonial 2w x 1h</p> <p><b>Misc:</b> , None <b>Construction:</b> , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1)</p> <p><b>Material:</b> , None <b>Sill Angle:</b> , 14°</p>
103	Living	36" 37-1/8"	80" 88-1/8"	<p><b>Window:</b> , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas <b>Performance Calculator:</b> , PG Rating: 30   DP Rating: + 30 / - 30</p> <p><b>Glass:</b> , All Sash: High Performance SmartSun Glass, No Pattern</p> <p><b>Hardware:</b> , Canvas <b>Screen:</b> , Fiberglass, Full Screen <b>Grille Style:</b> , Full Divided Light (FDL with spacer) <b>Grille Pattern:</b> , All Sash: Colonial 2w x 1h</p> <p><b>Misc:</b> ,</p>



# Order Summary

**dba: RENEWAL BY ANDERSEN OF BOSTON**

Legal Name: Renewal by Andersen LLC | License # HIC# 170810  
 30 Forbes Road | Northborough, MA 01532  
 Phone: (508) 351-2200 | Fax: (508) 986-7072 |  
 rbabostonoperationsarchive@gmail.com  
 Measure Tech: Jesse Lawrence,

**Jill Breneman**  
 11 Market Street Unit 2  
 Portsmouth, NH 03801  
 H: (603)431-1974  
 C: (207)423-7551

ID#	ROOM	SIZE	DETAILS
			None <b>Construction:</b> , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1) <b>Material:</b> , None <b>Sill Angle:</b> , 14°
100		0" 0"	<b>Misc:</b> , Additional Job Notes, Notes, Quantity 1, Police detail <b>Construction:</b> , None <b>Material:</b> , None

**PRODUCTS: 4 WINDOWS: 3 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 1**

*Updated 6/28/23*

## JOB NOTES

LSWP

CONDO IS LOCATED DOWNTOWN IN PORTSMOUTH. BELOW THE CONDO ARE BUSINESS THEY OWN AND THAT AREA WILL NEED TO BE TAPED OFF SO PEDESTRIANS CANT WALK UNDER YOU WHILE YOU ORK.

CUSTOMER HAS PARKING IN REAR OF BUILDING THAT WE CAN USE. PLEASE HAVE HER DIRECT YOU WHEN YOU ARRIVE.

3 DG inserts with L-trim. Insulate weight pockets. R&r interior shutters. Wrap sills only.

REMOVE PADING AT TOP OF OPENINGS SO WINDOWS WILL FIT PROPERLY. SEE PICTURES.

### Estimated Duration:



# Order Summary

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## JOB PHOTOS



Image 1



Image 2



Image 3



Image 4

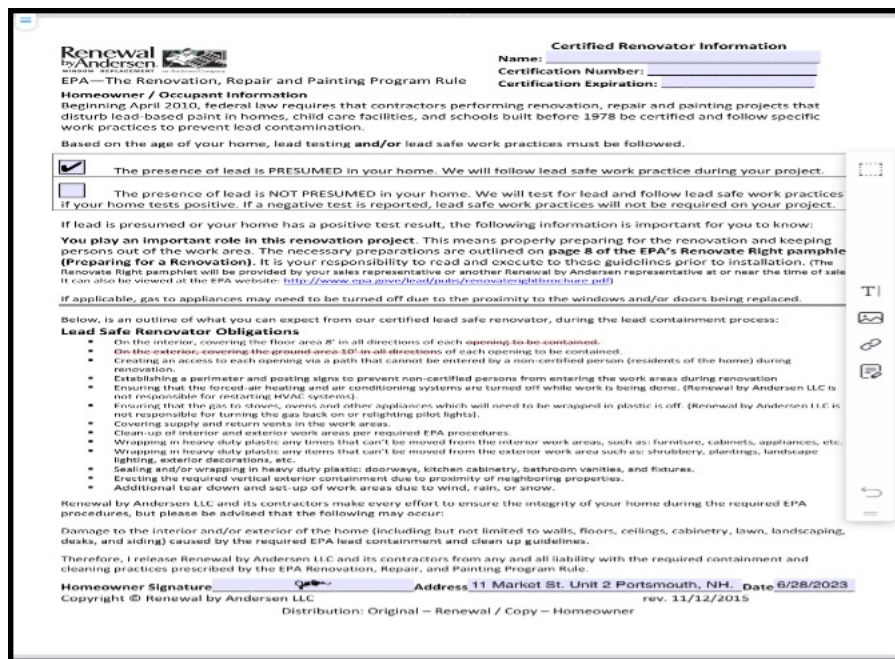


Image 5



Image 6



Image 7



Image 8

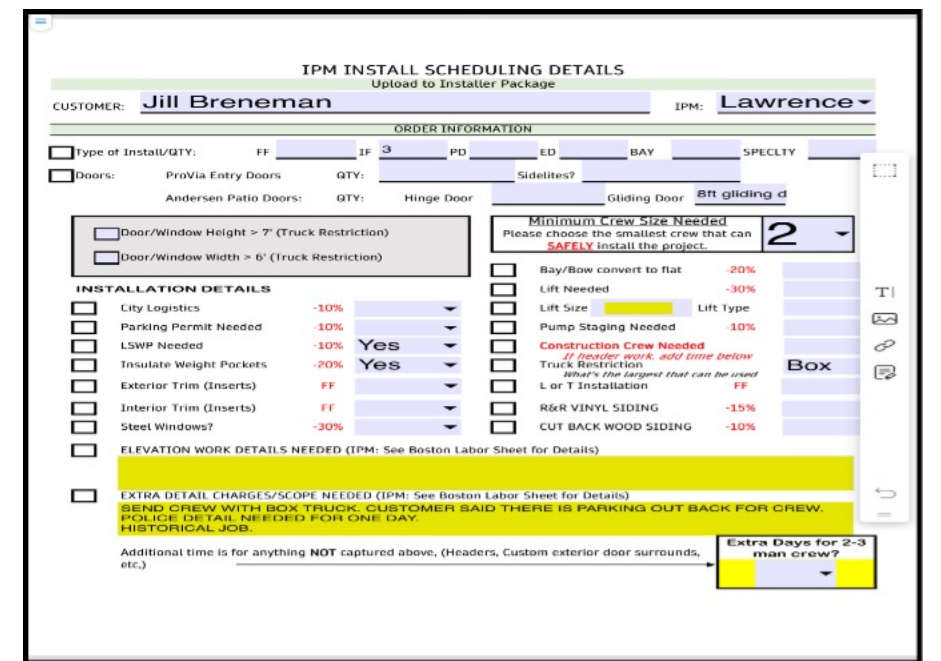


Image 9



# 101

dba: RENEWAL BY ANDERSEN OF BOSTON

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30 Forbes Road | Northborough, MA 01532  
Phone: (508) 351-2200 | Fax: (508) 986-7072 |  
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11 Market Street Unit 2  
Portsmouth, NH 03801  
H: (603)431-1974  
C: (207)423-7551

# 101

Living  
37-1/8" W 88-1/8" H  
Window, Double-Hung (DG)



**Window:** , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas **Performance Calculator:** , PG Rating: 30 | DP Rating: + 30 / - 30 **Glass:** , All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** , Canvas **Screen:** , Fiberglass, Full Screen **Grille Style:** , Full Divided Light (FDL with spacer) **Grille Pattern:** , All Sash: Colonial 2w x 1h **Misc:** , None **Construction:** , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1), Out of area (1) **Material:** , None **Sill Angle:** , 14°

## UNIT NOTES

## UNIT CONSTRUCTION

Interior stops 4-sides	1
LSWP Windows	1
Shutters	2
Standard Window Wrap	1
Insulate weight pockets	1
Out of area	1

## UNIT MATERIALS

## UNIT PHOTOS





# 102

dba: RENEWAL BY ANDERSEN OF BOSTON

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rbabostonoperationsarchive@gmail.com  
Measure Tech: Jesse Lawrence,

Jill Breneman

11 Market Street Unit 2  
Portsmouth, NH 03801  
H: (603)431-1974  
C: (207)423-7551

# 102 Living 37-1/8" W 88-1/8" H Window, Double-Hung (DG)



**Window:** , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas **Performance Calculator:** , PG Rating: 30 | DP Rating: + 30 / - 30 **Glass:** , All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** , Canvas **Screen:** , Fiberglass, Full Screen **Grille Style:** , Full Divided Light (FDL with spacer) **Grille Pattern:** , All Sash: Colonial 2w x 1h **Misc:** , None **Construction:** , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1) **Material:** , None **Sill Angle:** , 14°

## UNIT NOTES

## UNIT CONSTRUCTION

Interior stops 4-sides	1
LSWP Windows	1
Shutters	2
Standard Window Wrap	1
Insulate weight pockets	1

## UNIT MATERIALS

## UNIT PHOTOS



# 103

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C: (207)423-7551

# 103 Living 37-1/8" W 88-1/8" H Window, Double-Hung (DG)



**Window:** , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas **Performance Calculator:** , PG Rating: 30 | DP Rating: + 30 / - 30 **Glass:** , All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** , Canvas **Screen:** , Fiberglass, Full Screen **Grille Style:** , Full Divided Light (FDL with spacer) **Grille Pattern:** , All Sash: Colonial 2w x 1h **Misc:** , None **Construction:** , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1) **Material:** , None **Sill Angle:** , 14°

## UNIT NOTES

## UNIT CONSTRUCTION

Interior stops 4-sides	1
LSWP Windows	1
Shutters	2
Standard Window Wrap	1
Insulate weight pockets	1

## UNIT MATERIALS

## UNIT PHOTOS



# 100

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Portsmouth, NH 03801  
H: (603)431-1974  
C: (207)423-7551

# 100

Misc



**Misc:** , Additional Job Notes, Notes, Quantity 1, Police detail **Construction:** , None **Material:** , None

## UNIT NOTES

Police detail

## UNIT CONSTRUCTION

## UNIT MATERIALS

## UNIT PHOTOS

# Installation Invoice

**Jill Breneman**  
11 Market Street Unit 2  
Portsmouth, NH 03801  
H: (603)431-1974  
C: (207)423-7551

DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
<b>Base Unit Installation Charges, Full Frame &amp; EJ Frame</b>			
<b>Base Unit Installation Charges, Insert Frame &amp; Base Frame</b>			
Install Double-Hung Window-DG (Base Frame), 120-129.99 UI	3	\$177.00	\$531.00
<b>Base Unit Installation Charges, Patio Doors</b>			
<b>Base Unit Installation Charges, Entry Doors</b>			
<b>Construction Charges</b>			
Interior stops 4-sides, 101, 102, 103	3	\$20.00	\$60.00
Standard Window Wrap, 101, 102, 103	3	\$20.00	\$60.00
Insulate weight pockets, 101, 102, 103	3	\$20.00	\$60.00
Shutters, 101, 102, 103	6	\$20.00	\$120.00
LSWP Windows, 101, 102, 103	3	\$35.00	\$105.00
Custom - Out of area	1	\$50.00	\$50.00

<b>SUBTOTAL</b>	<b>\$ 986.00</b>
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## Additional Items

<b>ADDITIONAL</b>	<b>\$</b>
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<b>TOTAL</b>	<b>\$</b>
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**Property Information**

**Property ID** 0106-0013-0002  
**Location** 11 MARKET ST #2  
**Owner** BRENEMAN JILL H REV TRUST



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 06/21/2023  
Data updated 3/9/2022

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

Andersen® Product Line & Product Type	Andersen Glass Type	Grille Type	NFRC Certified Products Directory Number	U-Factor¹	U-Factor² Metric	SHGC³	VT³	Canada ER	Air Infiltration	U.S. ENERGY STAR v 6.0				Canada ENERGY STAR v 4.1		
										North	N. Central	S. Central	South	Zone 1	Zone 2	Zone 3
<b>2.2 Annealed Glass - w/ No Grilles and Grilles Less Than 1"</b>																
Low-E	No Grilles	AND-N-59-00849-00001	0.29	1.65	0.32	0.55	22	< 0.2	-	NC	-	-	-	-	-	
	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00849-00002	0.29	1.65	0.29	0.49	20	< 0.2	-	NC	-	-	-	-	-	
	Full Divided Lite	AND-N-59-00855-00001	0.31	1.76	0.29	0.49	17	< 0.2	-	-	-	-	-	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00867-00001	0.30	1.70	0.29	0.49	19	< 0.2	-	NC	-	-	-	-	-	
Low-E Sun	No Grilles	AND-N-59-00850-00001	0.30	1.70	0.20	0.30	14	< 0.2	-	NC	SC	S	-	-	-	
	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00850-00002	0.30	1.70	0.18	0.27	12	< 0.2	-	NC	SC	S	-	-	-	
	Full Divided Lite	AND-N-59-00856-00001	0.31	1.76	0.18	0.27	11	< 0.2	-	-	-	S	-	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00868-00001	0.31	1.76	0.18	0.27	11	< 0.2	-	-	-	S	-	-	-	
Low-E SmartSun™	No Grilles	AND-N-59-00851-00001	0.29	1.65	0.21	0.49	15	< 0.2	-	NC	SC	S	-	-	-	
	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00851-00002	0.29	1.65	0.19	0.44	14	< 0.2	-	NC	SC	S	-	-	-	
	Full Divided Lite	AND-N-59-00857-00001	0.30	1.70	0.19	0.44	13	< 0.2	-	NC	SC	S	-	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00869-00001	0.30	1.70	0.19	0.44	13	< 0.2	-	NC	SC	S	-	-	-	
Low-E PassiveSun®	No Grilles	AND-N-59-00848-00001	0.30	1.70	0.53	0.60	33	< 0.2	N	-	-	-	Z1	Z2	-	
	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00848-00002	0.30	1.70	0.47	0.54	29	< 0.2	N	-	-	-	Z1	Z2	-	
	Full Divided Lite	AND-N-59-00854-00001	0.31	1.76	0.47	0.54	28	< 0.2	-	-	-	-	Z1	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00866-00001	0.31	1.76	0.47	0.54	28	< 0.2	-	-	-	-	Z1	-	-	
Low-E w/ HeatLock™	No Grilles	AND-N-59-00969-00001	0.28	1.59	0.31	0.54	22	< 0.2	-	NC	-	-	Z1	-	-	
	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00969-00002	0.28	1.59	0.28	0.48	21	< 0.2	-	NC	-	-	Z1	-	-	
	Full Divided Lite	AND-N-59-00972-00001	0.28	1.59	0.28	0.48	21	< 0.2	-	NC	-	-	Z1	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00978-00001	0.28	1.59	0.28	0.48	21	< 0.2	-	NC	-	-	Z1	-	-	
Low-E SmartSun™ w/ HeatLock™	No Grilles	AND-N-59-00970-00001	0.28	1.59	0.21	0.48	17	< 0.2	-	NC	SC	S	Z1	-	-	
	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00970-00002	0.28	1.59	0.19	0.43	15	< 0.2	-	NC	SC	S	-	-	-	
	Full Divided Lite	AND-N-59-00973-00001	0.28	1.59	0.19	0.43	15	< 0.2	-	NC	SC	S	-	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00979-00001	0.28	1.59	0.19	0.43	15	< 0.2	-	NC	SC	S	-	-	-	
Low-E PassiveSun® w/ HeatLock™	No Grilles	AND-N-59-00968-00001	0.26	1.48	0.48	0.59	35	< 0.2	N	-	-	-	Z1	Z2	Z3	
	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00968-00002	0.26	1.48	0.43	0.52	32	< 0.2	N	-	-	-	Z1	Z2	-	
	Full Divided Lite	AND-N-59-00971-00001	0.29	1.65	0.43	0.52	28	< 0.2	N	-	-	-	Z1	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00977-00001	0.29	1.65	0.43	0.52	28	< 0.2	N	-	-	-	Z1	-	-	
<b>2.2 Annealed Glass - w/ Grilles 1" or Greater</b>																
Low-E	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00849-00003	0.29	1.65	0.26	0.43	18	< 0.2	-	NC	-	-	-	-	-	
	Full Divided Lite	AND-N-59-00861-00001	0.30	1.70	0.26	0.43	17	< 0.2	-	NC	-	-	-	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00873-00001	0.31	1.76	0.29	0.49	17	< 0.2	-	-	-	-	-	-	-	
Low-E Sun	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00850-00003	0.30	1.70	0.16	0.24	11	< 0.2	-	NC	SC	S	-	-	-	
	Full Divided Lite	AND-N-59-00862-00001	0.31	1.76	0.16	0.24	10	< 0.2	-	-	-	S	-	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00874-00001	0.32	1.82	0.18	0.27	10	< 0.2	-	-	-	S	-	-	-	
Low-E SmartSun™	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00851-00003	0.29	1.65	0.17	0.39	13	< 0.2	-	NC	SC	S	-	-	-	
	Full Divided Lite	AND-N-59-00863-00001	0.30	1.70	0.17	0.39	12	< 0.2	-	NC	SC	S	-	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00875-00001	0.31	1.76	0.19	0.44	12	< 0.2	-	-	-	S	-	-	-	
Low-E PassiveSun®	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00848-00003	0.30	1.70	0.42	0.47	26	< 0.2	N	-	-	-	Z1	-	-	
	Full Divided Lite	AND-N-59-00860-00001	0.31	1.76	0.42	0.47	25	< 0.2	-	-	-	-	Z1	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00872-00001	0.32	1.82	0.47	0.54	27	< 0.2	-	-	-	-	Z1	-	-	
Low-E w/ HeatLock™	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00969-00003	0.28	1.59	0.25	0.42	19	< 0.2	-	NC	SC	S	Z1	-	-	
	Full Divided Lite	AND-N-59-00975-00001	0.28	1.59	0.25	0.42	19	< 0.2	-	NC	SC	S	Z1	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00981-00001	0.28	1.59	0.28	0.48	21	< 0.2	-	NC	-	-	Z1	-	-	
Low-E SmartSun™ w/ HeatLock™	Simulated Divided Lite or Installed Interior Removable	AND-N-59-00970-00003	0.28	1.59	0.17	0.38	14	< 0.2	-	NC	SC	S	-	-	-	
	Full Divided Lite	AND-N-59-00976-00001	0.28	1.59	0.17	0.38	14	< 0.2	-	NC	SC	S	-	-	-	
	Finelight™ (grilles-between-the-glass)	AND-N-59-00982-00001	0.28	1.59	0.19	0.43	15	< 0.2	-	NC	SC	S	-	-	-	

200 Series  
Tilt-Wash  
Double-Hung

This information is for reference only.  
Performance varies by unit size and options selected.  
For specific unit performance information, please contact your dealer or Andersen Sales Representative.



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 Portsmouth, NH 03801  
 H: (603)431-1974  
 C: (207)423-7551

ID#	ROOM	SIZE		DETAILS
<b>JOB</b>				
101	Living	36" 37-1/8"	80" 88-1/8"	<p><b>Window:</b> , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas Performance Calculator: , PG Rating: 30   DP Rating: + 30 / - 30</p> <p><b>Glass:</b> , All Sash: High Performance SmartSun Glass, No Pattern</p> <p><b>Hardware:</b> , Canvas <b>Screen:</b> , Fiberglass, Full Screen <b>Grille Style:</b> , Full Divided Light (FDL with spacer) <b>Grille Pattern:</b> , All Sash: Colonial 2w x 1h</p> <p><b>Misc:</b> , None <b>Construction:</b> , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1), Out of area (1) <b>Material:</b> , None <b>Sill Angle:</b> , 14°</p>
102	Living	36" 37-1/8"	80" 88-1/8"	<p><b>Window:</b> , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas Performance Calculator: , PG Rating: 30   DP Rating: + 30 / - 30</p> <p><b>Glass:</b> , All Sash: High Performance SmartSun Glass, No Pattern</p> <p><b>Hardware:</b> , Canvas <b>Screen:</b> , Fiberglass, Full Screen <b>Grille Style:</b> , Full Divided Light (FDL with spacer) <b>Grille Pattern:</b> , All Sash: Colonial 2w x 1h</p> <p><b>Misc:</b> , None <b>Construction:</b> , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1)</p> <p><b>Material:</b> , None <b>Sill Angle:</b> , 14°</p>
103	Living	36" 37-1/8"	80" 88-1/8"	<p><b>Window:</b> , Double-Hung (DG), 1:1, Limited Travel Reduced 5.0625, Slope Sill, Insert Frame, Traditional Checkrail, Exterior Forest Green, Interior Canvas Performance Calculator: , PG Rating: 30   DP Rating: + 30 / - 30</p> <p><b>Glass:</b> , All Sash: High Performance SmartSun Glass, No Pattern</p> <p><b>Hardware:</b> , Canvas <b>Screen:</b> , Fiberglass, Full Screen <b>Grille Style:</b> , Full Divided Light (FDL with spacer) <b>Grille Pattern:</b> , All Sash: Colonial 2w x 1h</p> <p><b>Misc:</b> ,</p>



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ID#	ROOM	SIZE	DETAILS
			None <b>Construction:</b> , Interior stops 4-sides (1), LSWP Windows (1), Shutters (2), Standard Window Wrap (1), Insulate weight pockets (1) <b>Material:</b> , None <b>Sill Angle:</b> , 14°
100		0" 0"	<b>Misc:</b> , Additional Job Notes, Notes, Quantity 1, Police detail <b>Construction:</b> , None <b>Material:</b> , None

PRODUCTS: 4 WINDOWS: 3 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 1

Updated 6/28/23

## JOB NOTES

LSWP

CONDO IS LOCATED DOWNTOWN IN PORTSMOUTH. BELOW THE CONDO ARE BUSINESS THEY OWN AND THAT AREA WILL NEED TO BE TAPED OFF SO PEDESTRIANS CANT WALK UNDER YOU WHILE YOU ORK.

CUSTOMER HAS PARKING IN REAR OF BUILDING THAT WE CAN USE. PLEASE HAVE HER DIRECT YOU WHEN YOU ARRIVE.

3 DG inserts with L-trim. Insulate weight pockets. R&r interior shutters. Wrap sills only.

REMOVE PADING AT TOP OF OPENINGS SO WINDOWS WILL FIT PROPERLY. SEE PICTURES.

**Estimated Duration:**



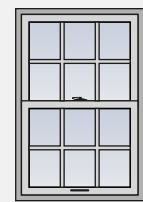
**GRILLE OPTIONS**

**Customize Your Windows**

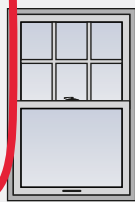
Renewal by Andersen offers a wide range of creative grille patterns to enhance the look of your home.

All of our grilles are designed to be long lasting<sup>1</sup> with low-maintenance performance. With such a broad range of high-profile grille options, you can match your home's current architecture, change the look and style of your home, or incorporate them into a renovation project for historical accuracy.

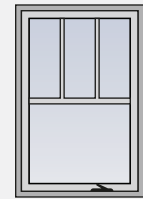
**Patterns**



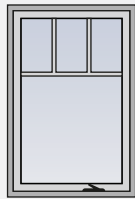
**Colonial**  
Specified number of squares per sash.  
Double-hung window shown



**Modified Colonial**  
Specified number of squares on one sash.  
Double-hung window shown



**Farmhouse**  
Two vertical bars meet a wider horizontal rail or bar at the center of the window.  
Casement window shown



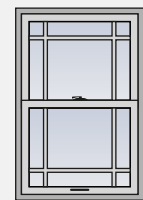
**Fractional**  
Specified number of vertical bars meet a horizontal bar.  
Casement window shown



**Prairie**  
Two vertical and two horizontal bars per sash to form 4-inch corner squares.  
Double-hung window shown



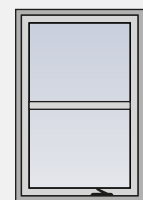
**Equal Light**  
Specified number of horizontal bars, equal distance apart.  
Casement window shown



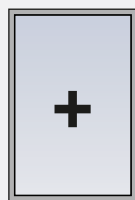
**Modified Prairie**  
Two vertical bars and one horizontal bar per sash.  
Double-hung window shown



**Custom**  
Create a new pattern or revive one from the past.  
Casement window shown

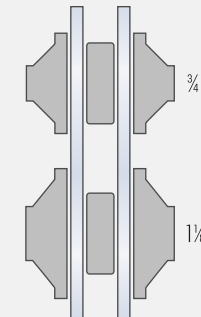
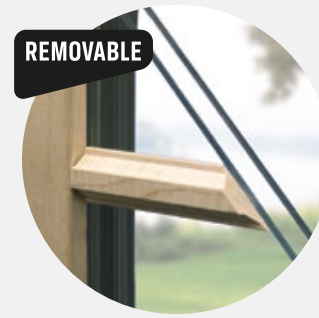
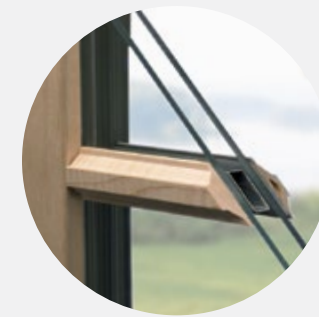


**Simulated Double-Hung**  
Preserve the look of a traditional window.  
Casement window shown



**More**  
Ask your design consultant for more grille options.  
Picture window shown

**Profiles**



**Full Divided Light Grilles**

Full divided light grilles provide a visual representation of true divided glass. The option consists of a permanently applied exterior Fibrex® material grille, an aluminum spacer between the glass, and a removable or permanently applied interior grille. Available in two widths and an array of colors.

**Grilles Between-the-Glass**

Aluminum grilles are permanently installed between the panes during manufacturing, providing the beauty of grilles with the quick cleaning of a smooth glass surface. Available in two widths and an array of colors.

**Interior Wood Grilles**

Made of hardwood, these grilles snap into clips on the interior of the sash and can be easily removed to make glass cleaning a breeze. Available in two widths.



Casement and Picture Windows / Black Interior / Fractional Grilles



Casement Window / White Interior / Prairie Grilles






Double-Hung Window / Black Exterior / Custom Grilles

**Land Use Application**

**LU-22-78**

**Applicant**

 Shayne Forsley  
 603-997-2519  
 @ shayne.forsley@hdcgc.net

**Primary Location**

129 STATE ST  
Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

B. Property Owner's Representative

**Alternative Project Address**

Alternative Project Address

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

true

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

--

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Other Site Alteration** requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Request for Extension of Previously Granted Land Use Approval**

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

--

# DOYLE NAM RESIDENCE

129 STATE STREET, PORTSMOUTH, NH

HISTORIC DISTRICT COMMISSION RENDERINGS OF

Spivak Architects

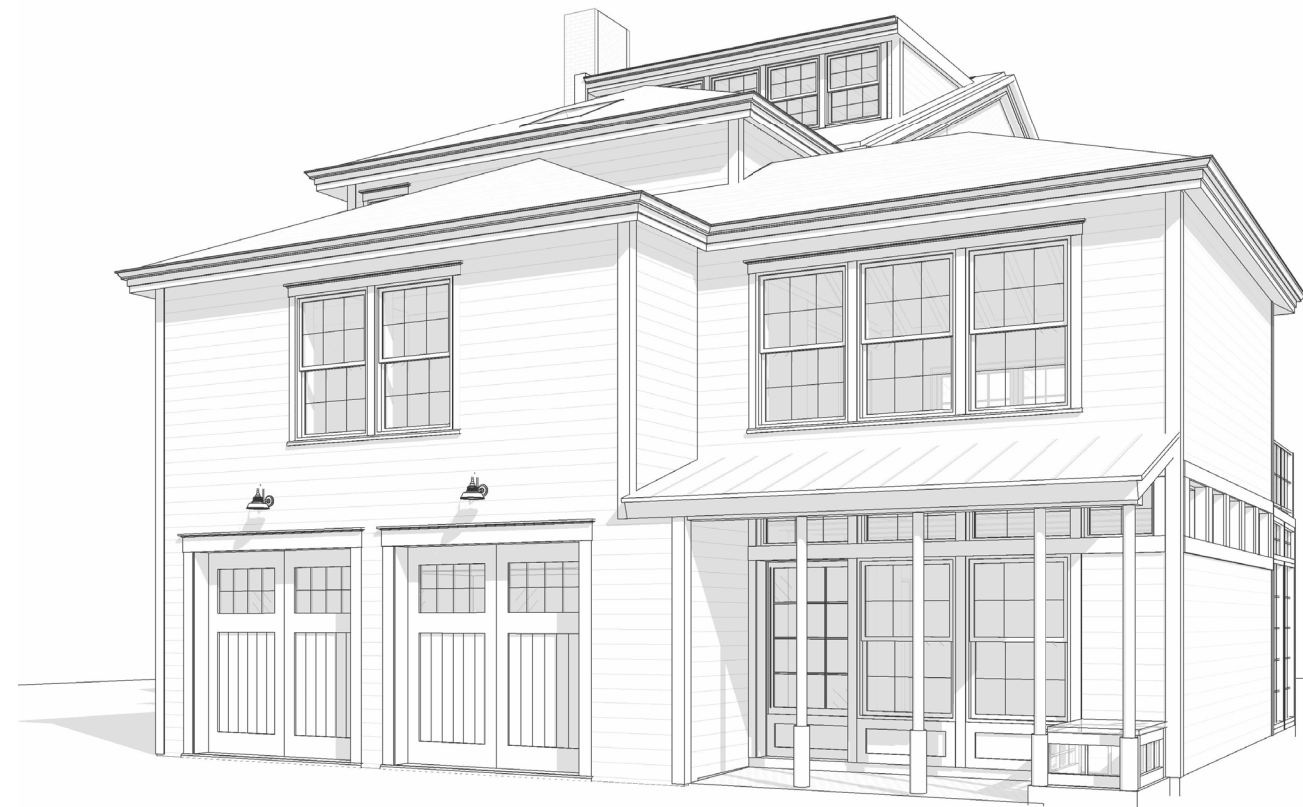


HDC APPROVED 05/04/2022

PROPOSED



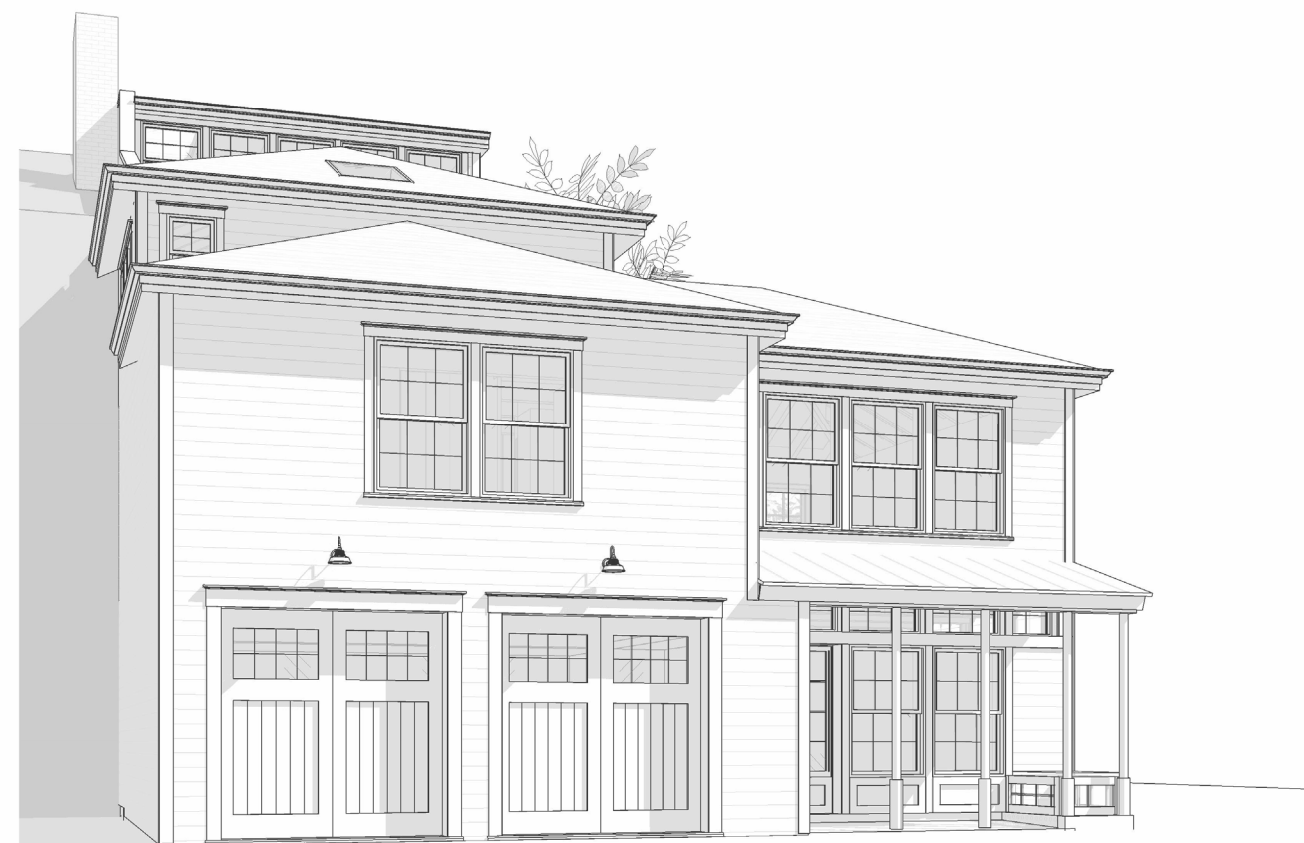
HDC APPROVED 05/04/2022



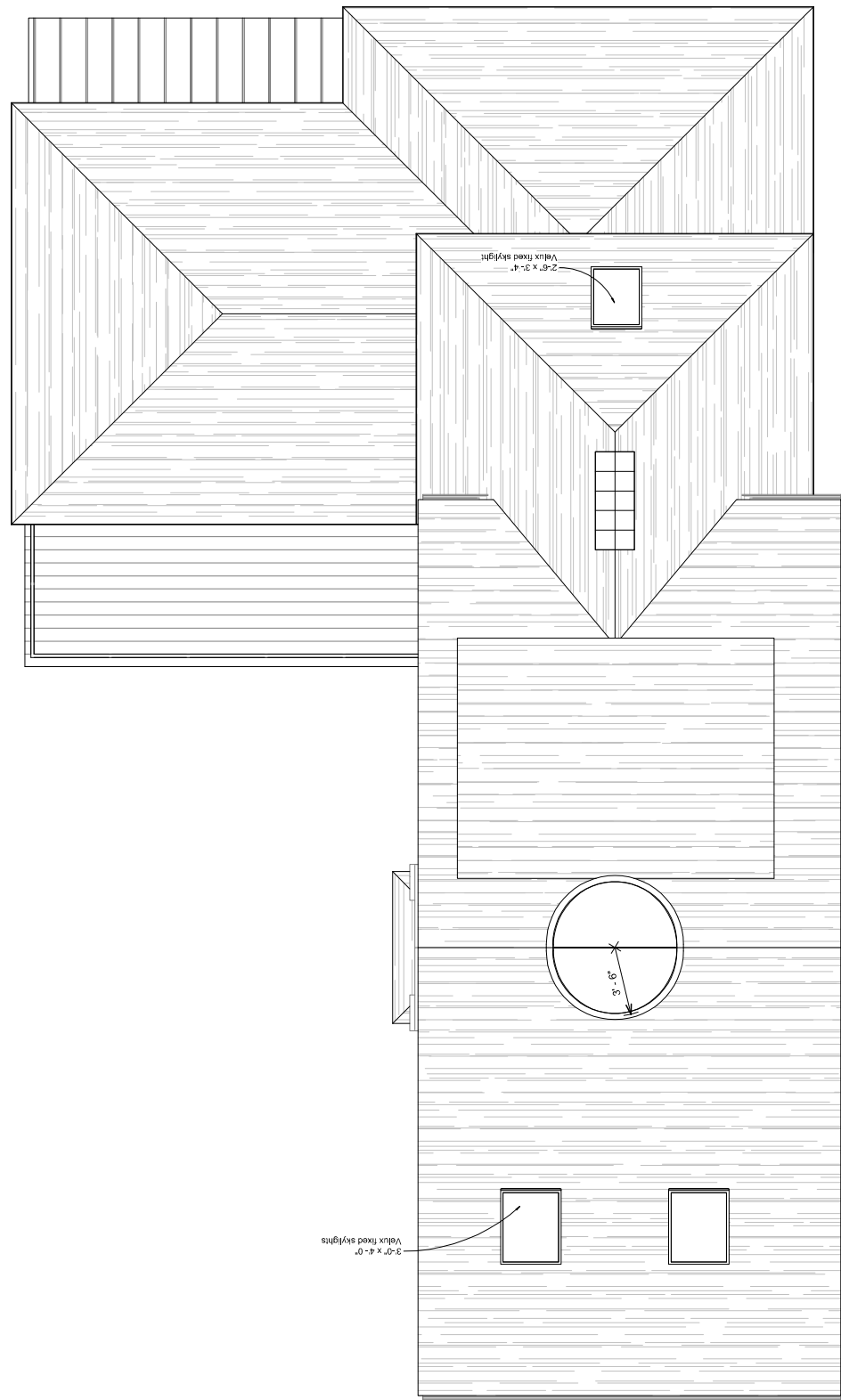
PROPOSED



HDC APPROVED 05/04/2022

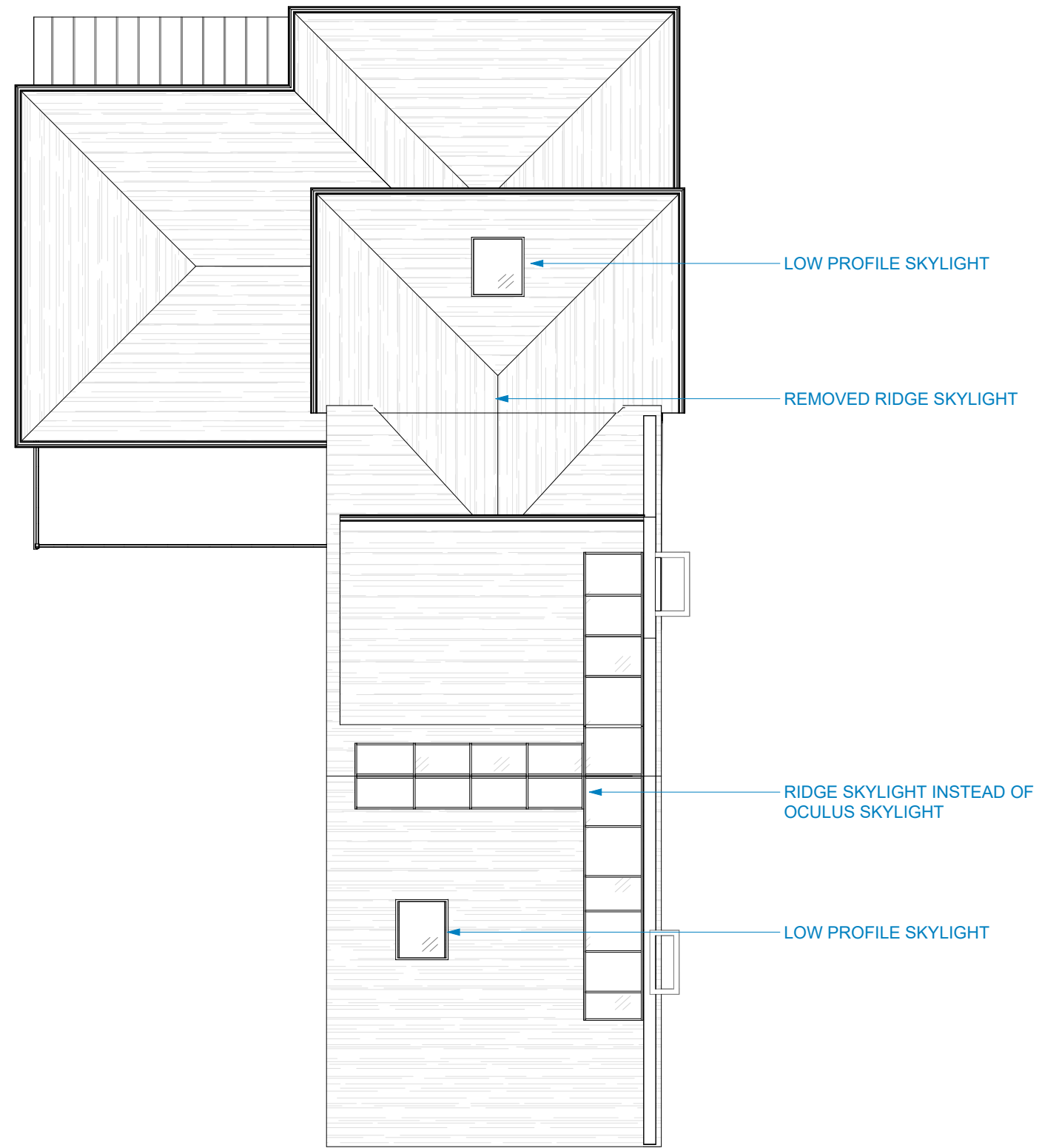


PROPOSED

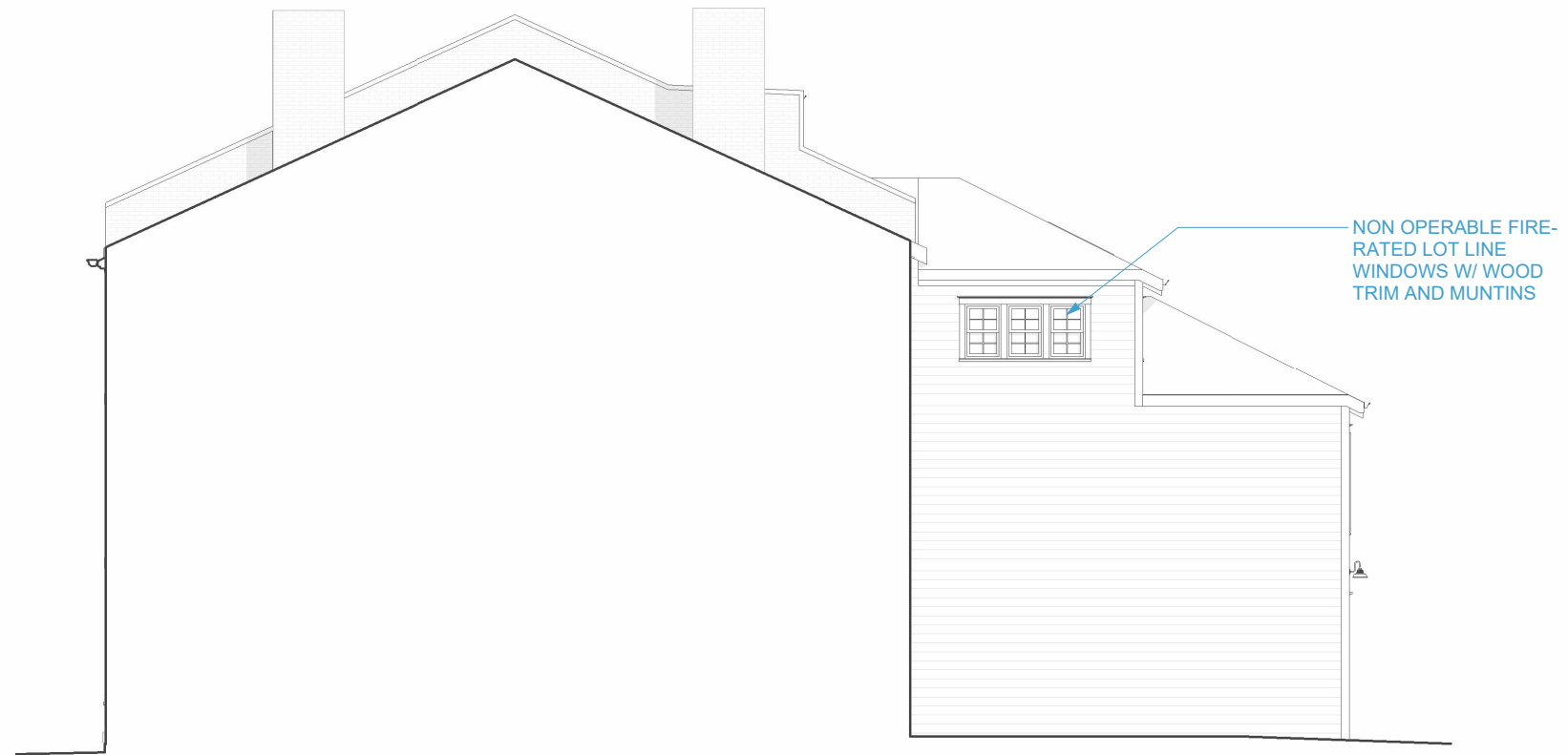


HDC APPROVED 05/04/2022

# ROOF PLAN

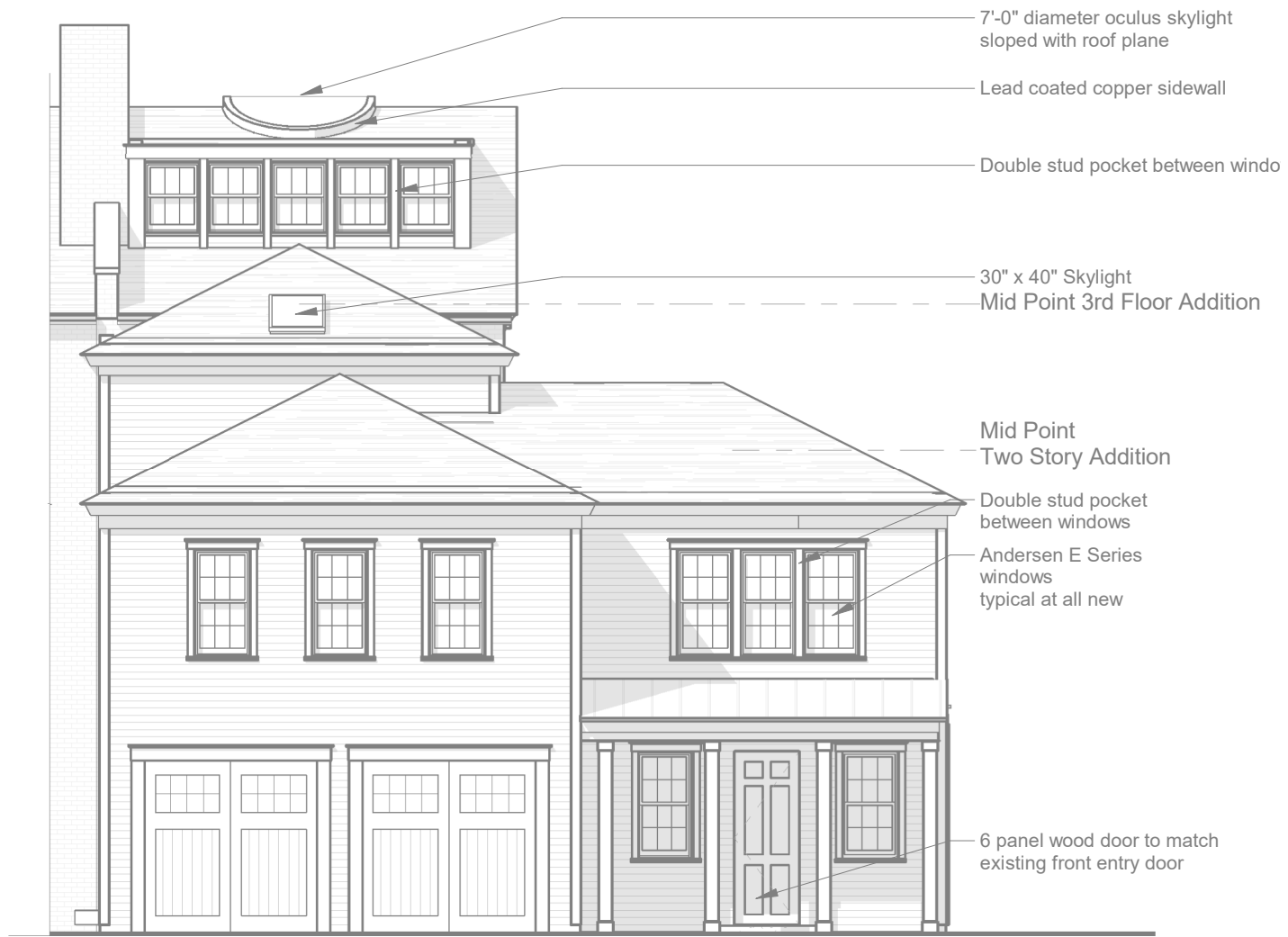


PROPOSED

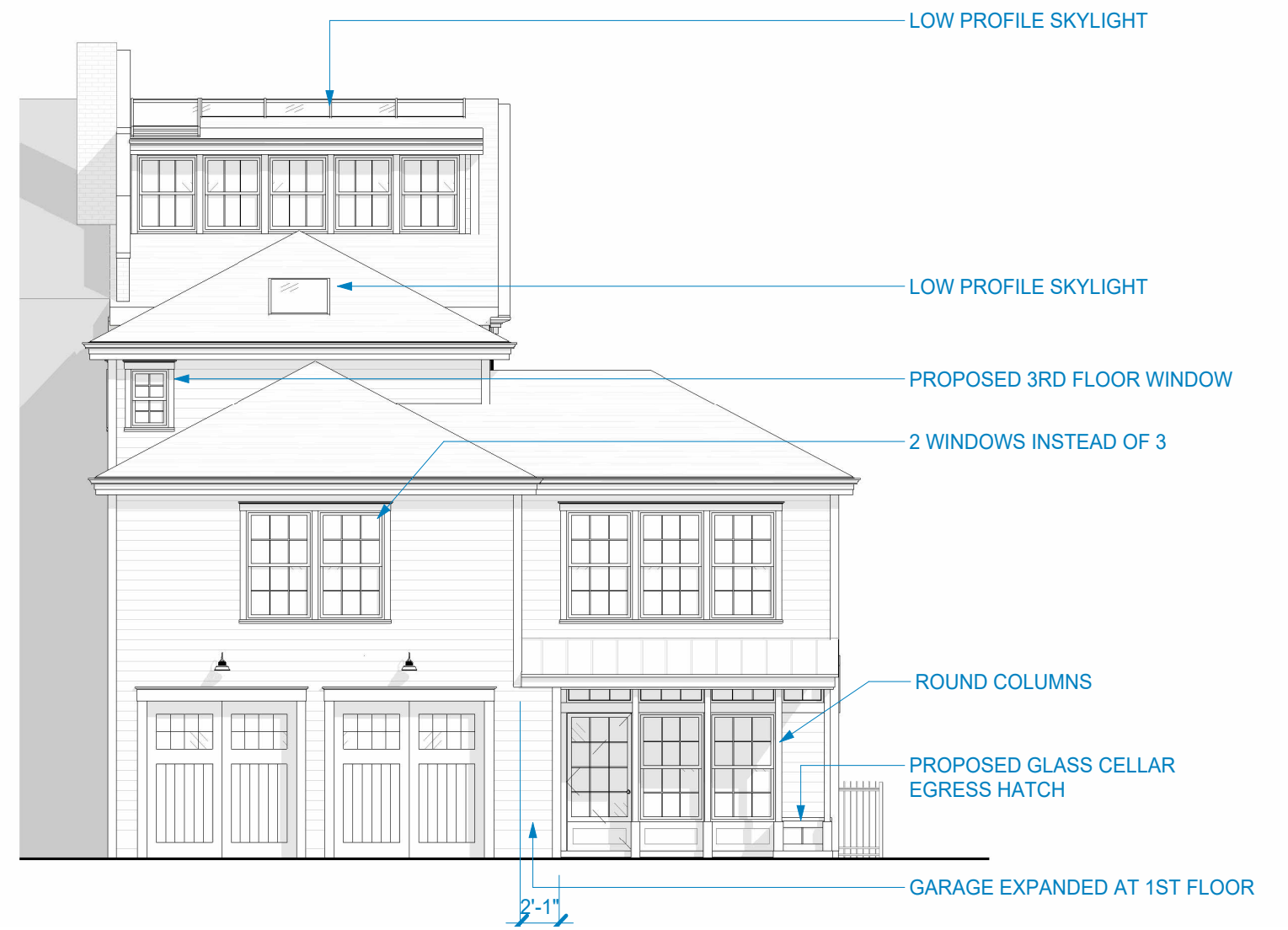


PROPOSED ELEVATION

# EAST ELEVATION



HDC APPROVED 05/04/2022



PROPOSED ELEVATION

# NORTH ELEVATION





HDC APPROVED 05/04/2022

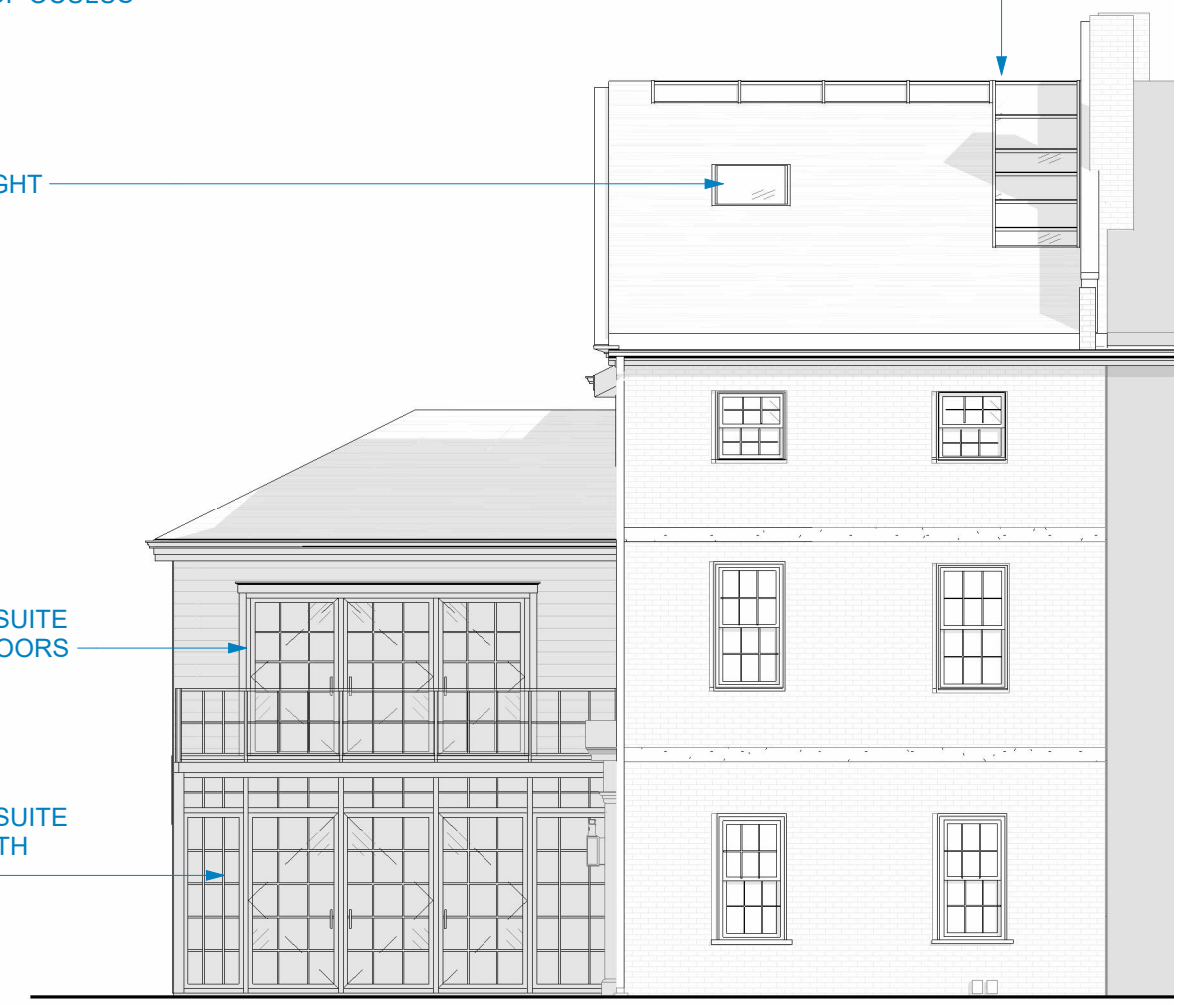
PROPOSED LOW-PROFILE SKYLIGHT INSTEAD OF OCULUS

LOW PROFILE SKYLIGHT

HOPES OLD WORLD SUITE STEEL AND GLASS DOORS

HOPES OLD WORLD SUITE STEEL SOLARIUM WITH MATCHING RAILING

Existing limestone band

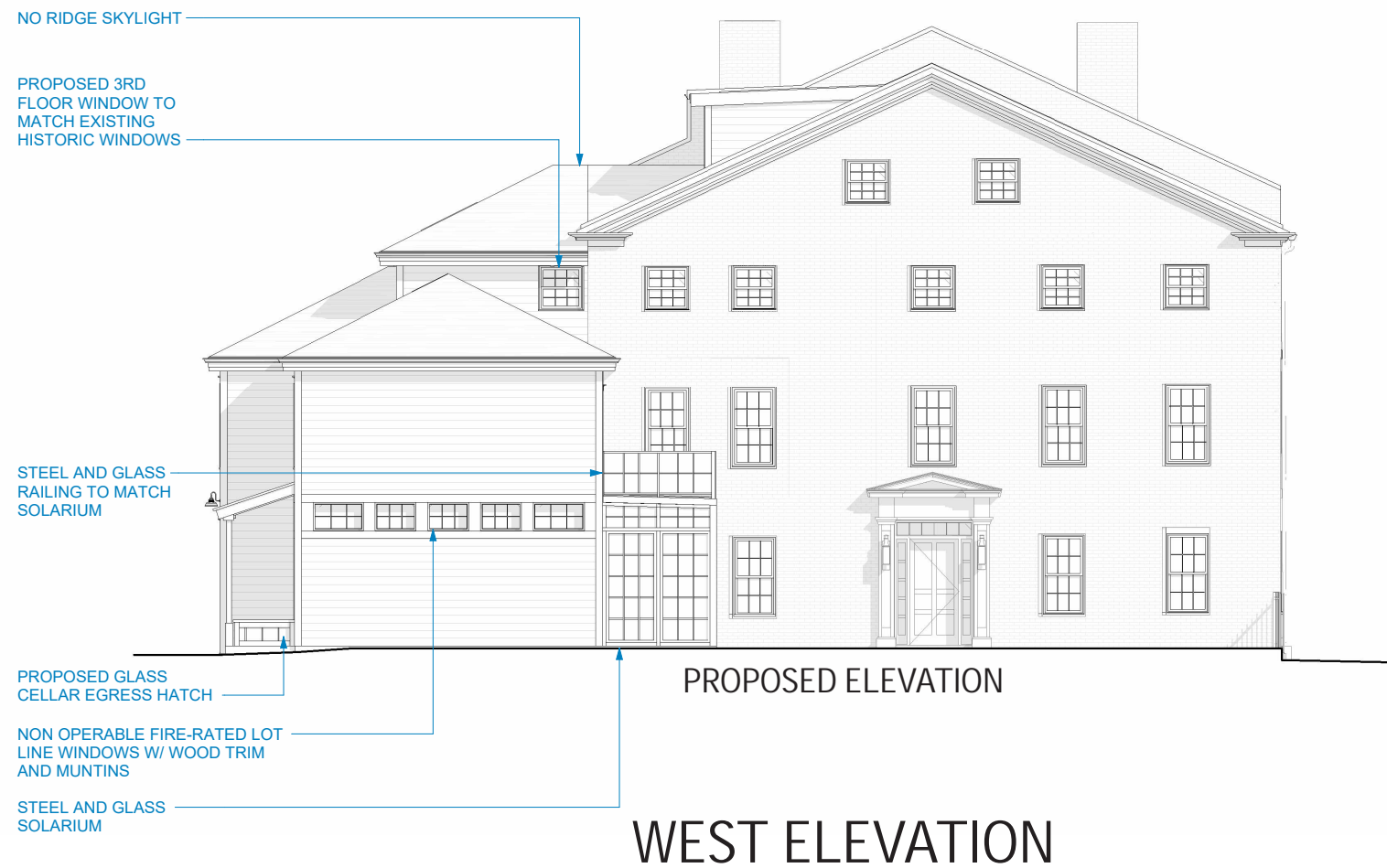


PROPOSED ELEVATION

# SOUTH ELEVATION



HDC APPROVED 05/04/2022



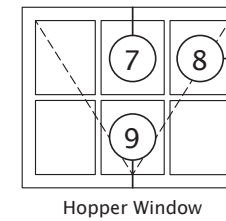
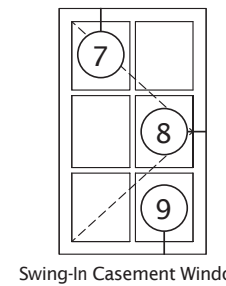
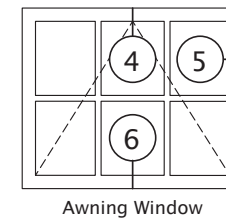
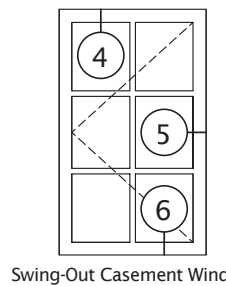
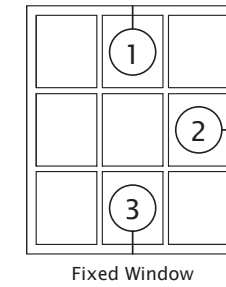
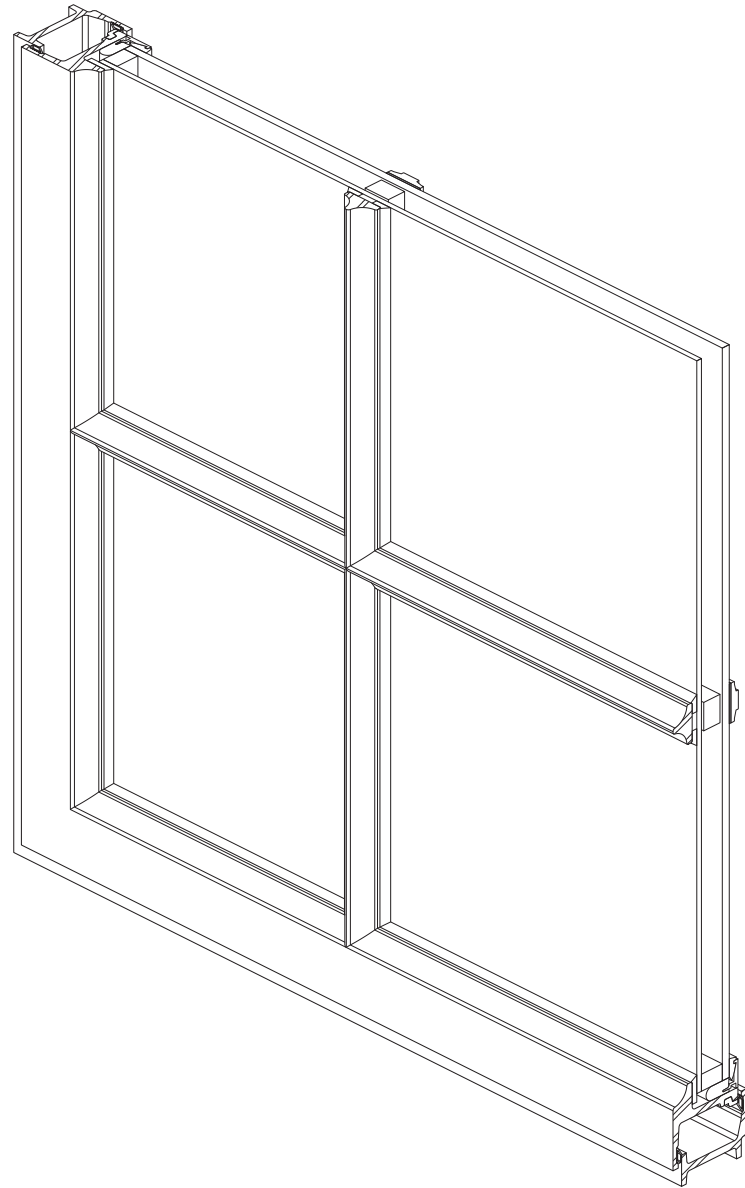


PROPOSED ALTERNATE - NO EAVE OVERHANG

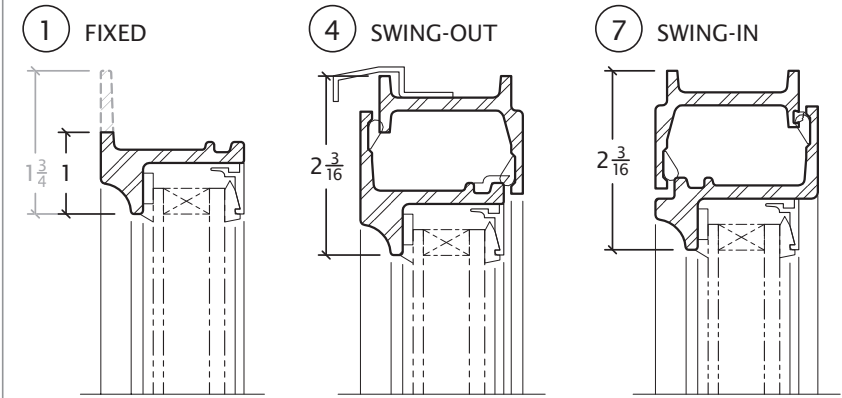
Hope's Old World Suite steel sections are specifically designed for projects calling for classical solid, hot-rolled steel windows with old world style three-point casement, or arrow-shaped, profiles. The fixed and operable configurations can be glazed with monolithic or insulated glass for energy efficiency. The unique window profiles and very narrow sightlines are ideal for new buildings as well as replacement projects.

**PRODUCT FEATURES**

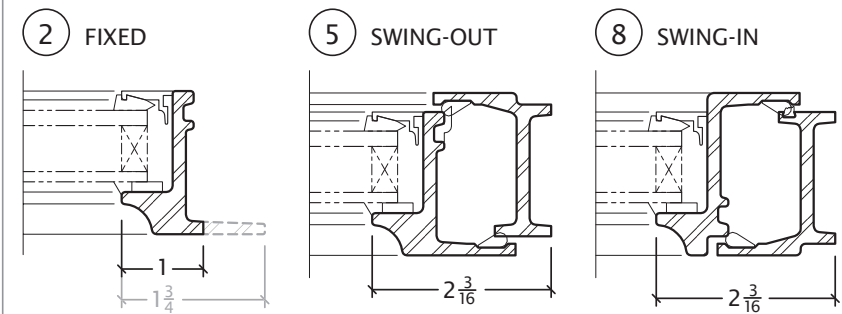
- Historically accurate sightlines and true divided lite or simulated divided lite muntins
- Unsurpassed strength of hot-rolled steel sections
- Accepts up to 7/8" thick insulating glass with simulated divided lites; up to 1/2" thick glass with true divided lites
- ASTM compliance for air infiltration and water penetration
- Hope's Power of 5 Finishing System with hot-dip galvanizing pretreatment
- Available with Hope's Thermal Evolution™ technology



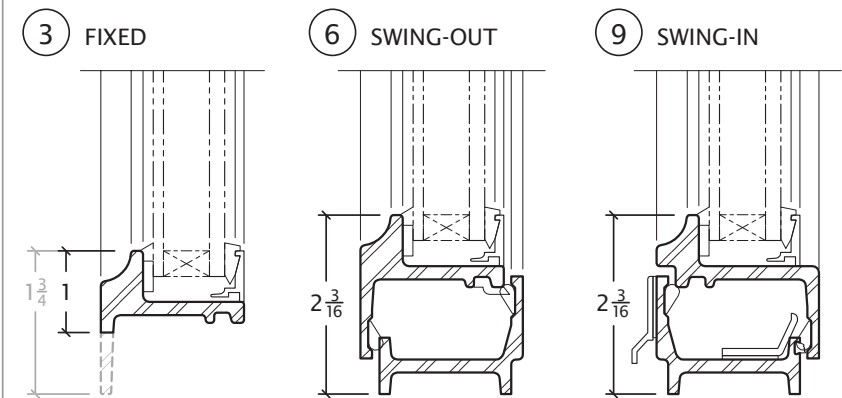
**TYPICAL HEAD DETAILS**




**TYPICAL JAMB DETAILS**



**TYPICAL SILL DETAILS**



Details are half scale and shown inside glazed with 7/8" thick glass.  
Perimeter frame profiles are available in long leg or equal leg configurations.  
All Hope's products are custom manufactured to your specific project requirements.

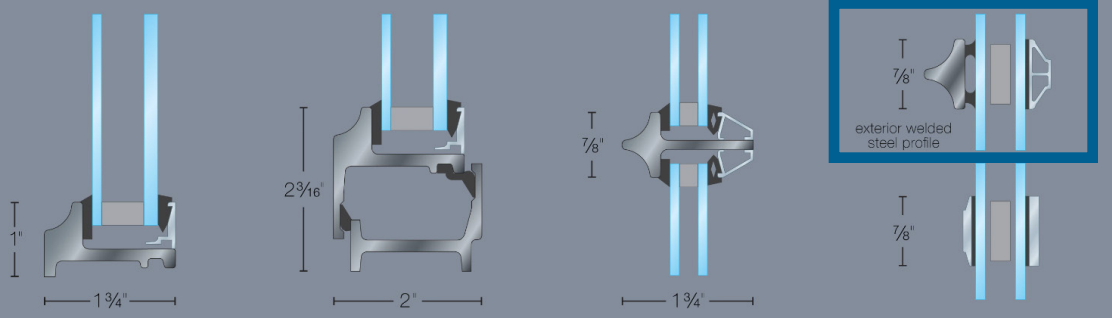



### PRODUCT PERFORMANCE

- Meets or exceeds **air infiltration** test criteria in accordance with ASTM E283
- Meets or exceeds **water penetration** test criteria in accordance with ASTM E331
- Meets or exceeds **structural** test criteria in accordance with ASTM E330
- Meets or exceeds **forced entry** test criteria in accordance with ASTM F588
- Impact-rated product meets or exceeds **missile impact and cyclic pressure** test criteria in accordance with ASTM E1886
- Impact-rated product meets or exceeds **hurricane windborne debris** test criteria in accordance with ASTM E1996

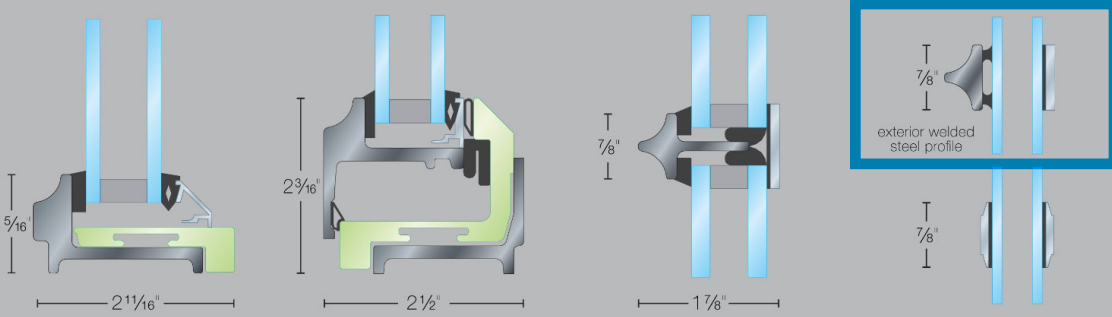
*Consult Hope's to review applicable testing and design performance data for your specific project.*

### STANDARD PROFILES



**FIXED**      **OPERABLE**      **TRUE DIVIDED LITE**      **SIMULATED DIVIDED LITE**

### THERMAL PROFILES



**THERMAL FIXED**      **THERMAL OPERABLE**      **THERMAL TRUE DIVIDED LITE**      **THERMAL SIMULATED DIVIDED LITE**






Photo: Connie Zhou

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-639**

Submitted On: Jun 16, 2023

**Applicant**

 Tracy Kozak  
 603-731-5187  
 tracyskozak@gmail.com

**Primary Location**

14 MARKET SQ  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Work Session

**Alternative Project Address**

--

**Project Information**

**Brief Description of Proposed Work**

Add roof addition, and 2 shed dormers

**Project Representatives**

<b>Relationship to Project</b> Architect	<b>If you selected "Other", please state relationship to project.</b> architect
<b>Full Name (First and Last)</b> tracy kozak	<b>Business Name (if applicable)</b> Arcove
<b>Mailing Address (Street)</b> 3 Congress St, Ste 1	<b>City/Town</b> Portsmouth
<b>State</b> NH	<b>Zip Code</b> 03801
<b>Phone</b> 603.731.5187	<b>Email Address</b> tracy.kozak@arcove.com

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

architect

# 14 MARKET SQUARE



## 14 MARKET SQUARE - ROOF ADDITION JOHN GALT, LLC

HDC WORK SESSION 1  
JULY 2023

### DRAWING LIST

H0.0 COVER  
H0.1 CONTEXT MAP  
H0.2 EXISTING BUILDING PHOTOS  
H0.3 CONTEXT PHOTOS  
H0.4 HISTORIC CONTEXT  
H1.0 SITE PLAN, EXISTING  
H1.1 SITE PLAN, PROPOSED  
H2.1 MASSING STREET SECTIONS  
H2.2 MASSING STREET SECTIONS



COVER

14 MARKET SQUARE

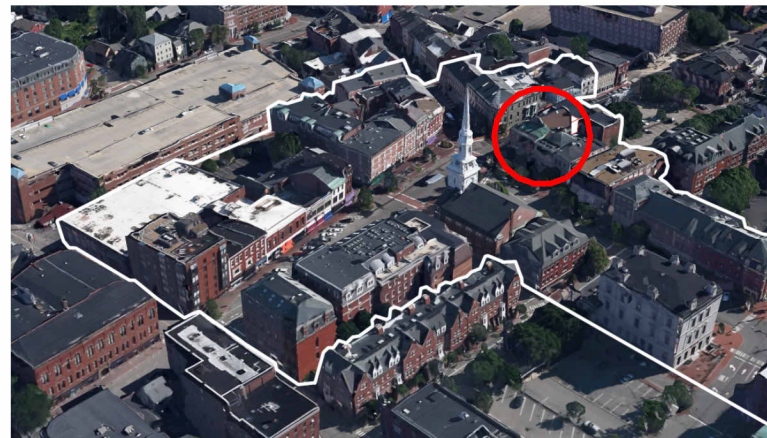
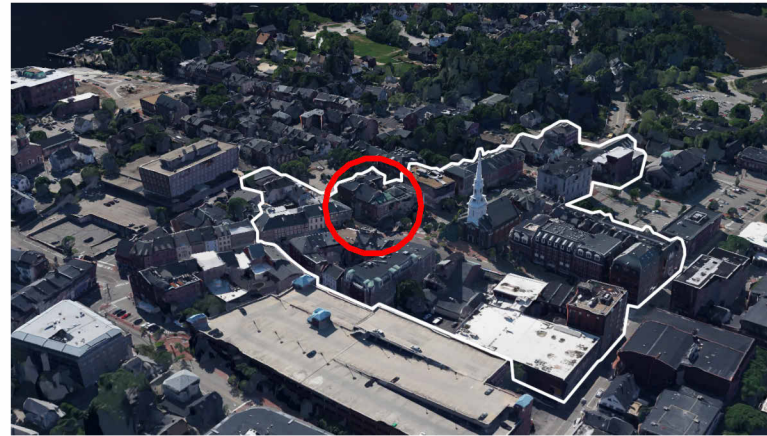
H0.0

6/16/2023  
PROJECT NO:1014



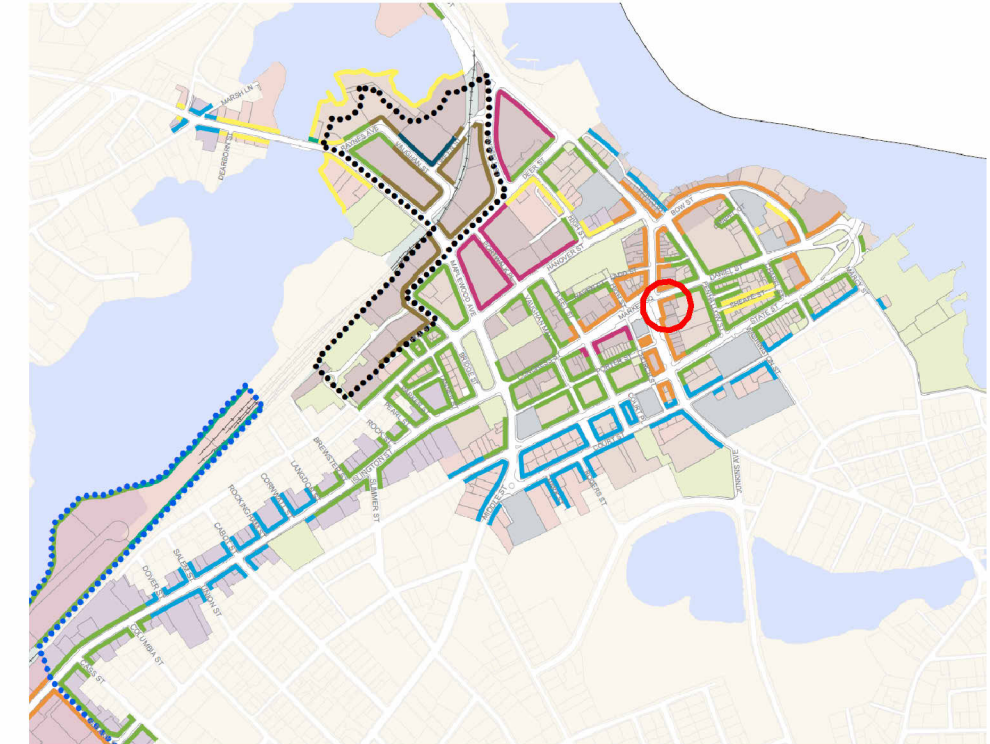


**300' RADIUS GIS MAP**



## PROJECT SUMMARY

1. A NEW ROOF ADDITION AT PLEASANT ST ROOF DECK
2. TWO NEW SHED DORMERS AT REAR ROOF



## ZONING SUMMARY

### Legend

CHARACTER DISTRICT CD-5

DOWNTOWN OVERLAY DISTRICT HEIGHT -

PLEASANT STREET: 2-3 STORIES (SHORT 4TH), 45'  
 DANIEL STREET: 2-3 STORIES (SHORT 4TH), 45'

CURRENT USE:  
 FIRST FLOOR - RESTAURANT  
 SECOND & THIRD FLOOR - OFFICE  
 ATTIC - STORAGE

PROPOSED USE:  
 FIRST FLOOR - RESTAURANT  
 SECOND, THIRD, & ATTIC - RESIDENTIAL

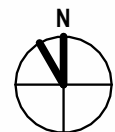
Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'

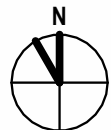
\*Penthouse Levels may exceed the building height by 2 feet.

1. A short story includes either: 1) use of a top story below the cornice line of a sloped roof that is at least 20% shorter in height than the story below; or 2) a story within a mansard roof with a pitch no greater than 30:12.

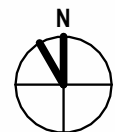
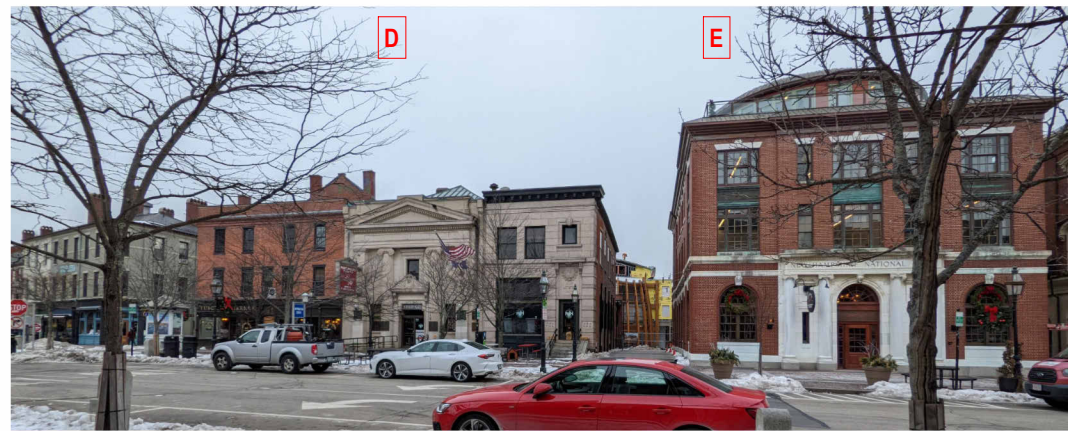
2. When a lot is assigned to more than one height requirement standard refer to the requirements listed in Section 10.5A21.22.

3. Attic space within either a gable, gambrel, hip or hip-top mansard roof or a penthouse level on a flat roof is not considered a story. Attic space is permitted above the top story provided the proposed building is no greater than the maximum building height.

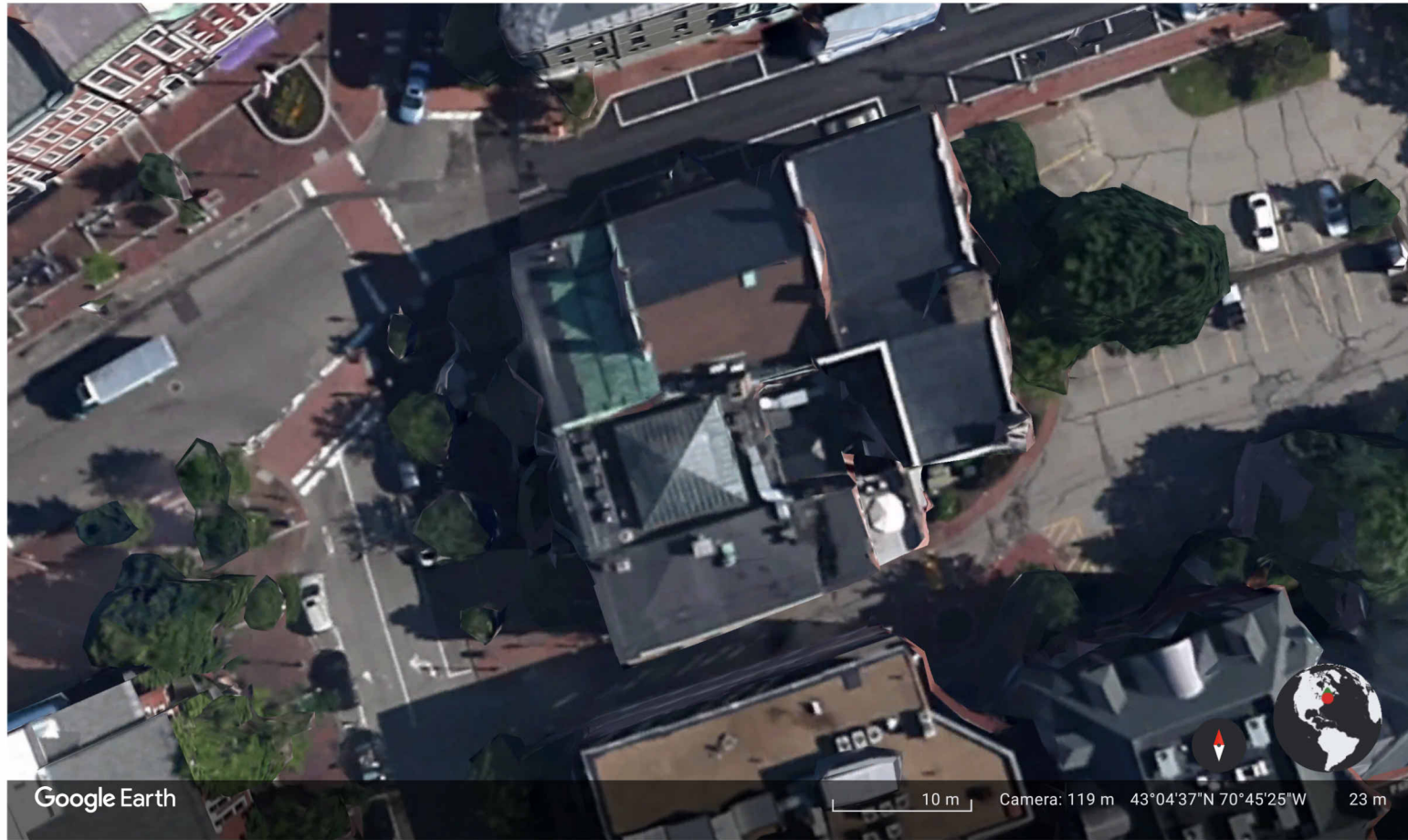




EXISTING BUILDING PHOTOS  
14 MARKET SQUARE



EXISTING CONTEXT  
14 MARKET SQUARE

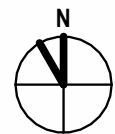
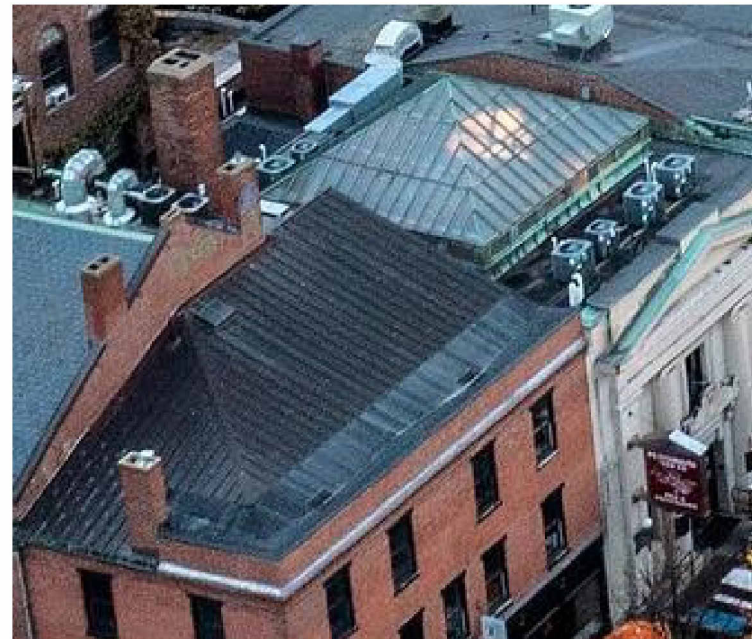


Google Earth

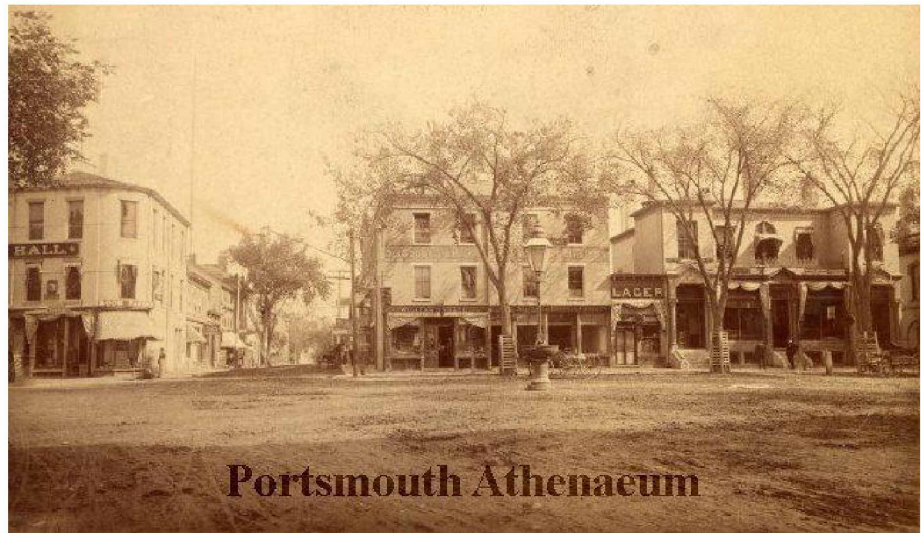
10 m Camera: 119 m 43°04'37"N 70°45'25"W 23 m

[https://earth.google.com/web/search/14+Market+Square,+Portsmouth,+NH/@43.07695515,-70.7572012,22.89701188a,96.32512948d,35y,0h,0t,0r,data=CigUgokCbrINJy-fUVAEb\\_upxRsfUVAGYDmW6UvFHAIRTzCHrvFHA](https://earth.google.com/web/search/14+Market+Square,+Portsmouth,+NH/@43.07695515,-70.7572012,22.89701188a,96.32512948d,35y,0h,0t,0r,data=CigUgokCbrINJy-fUVAEb_upxRsfUVAGYDmW6UvFHAIRTzCHrvFHA)

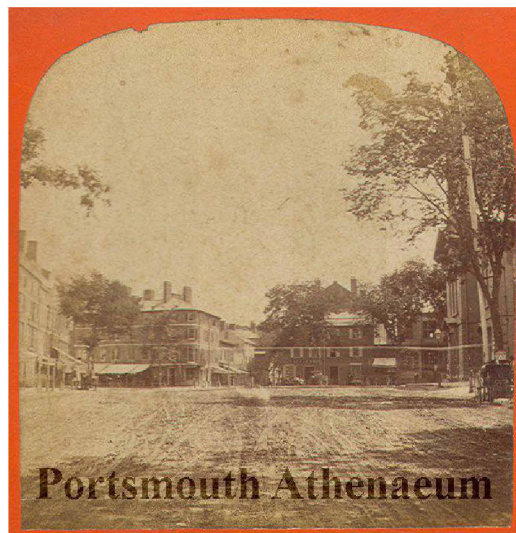
1/1



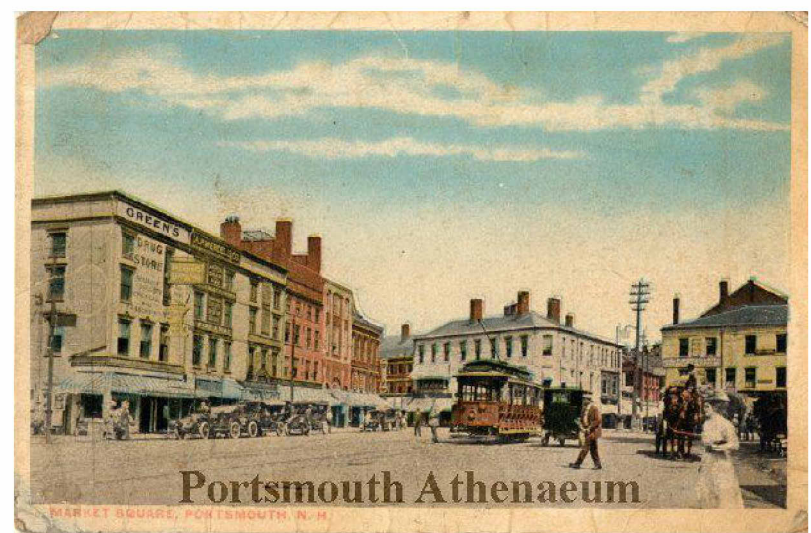
EXISTING CONTEXT DETAIL  
14 MARKET SQUARE



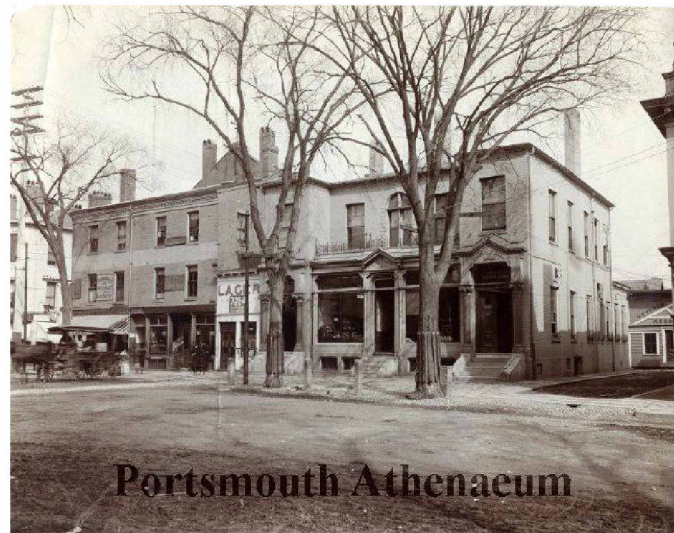
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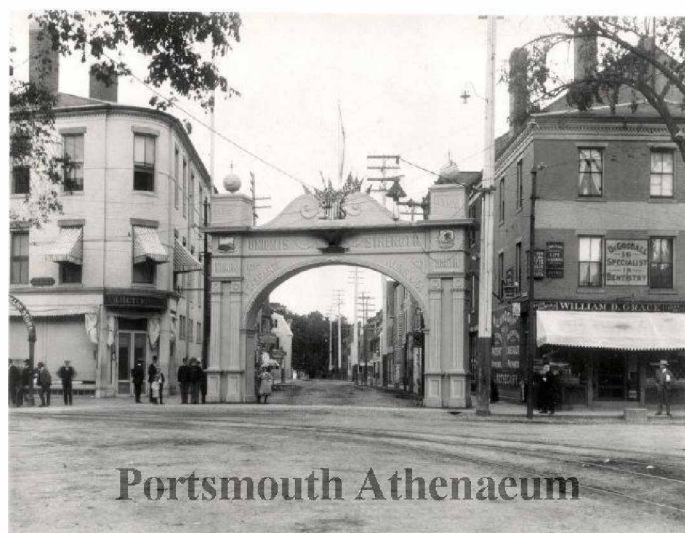
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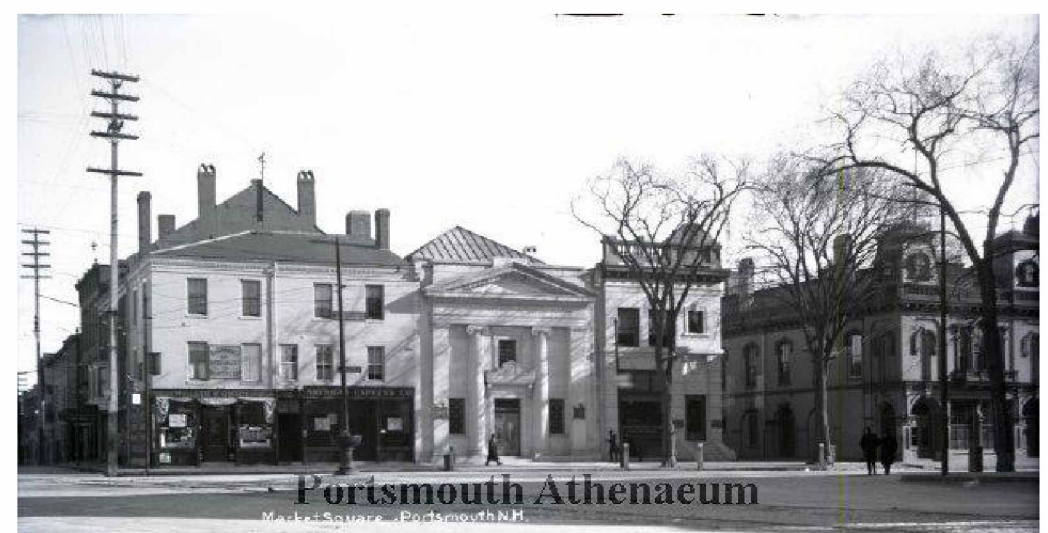
1890



1890



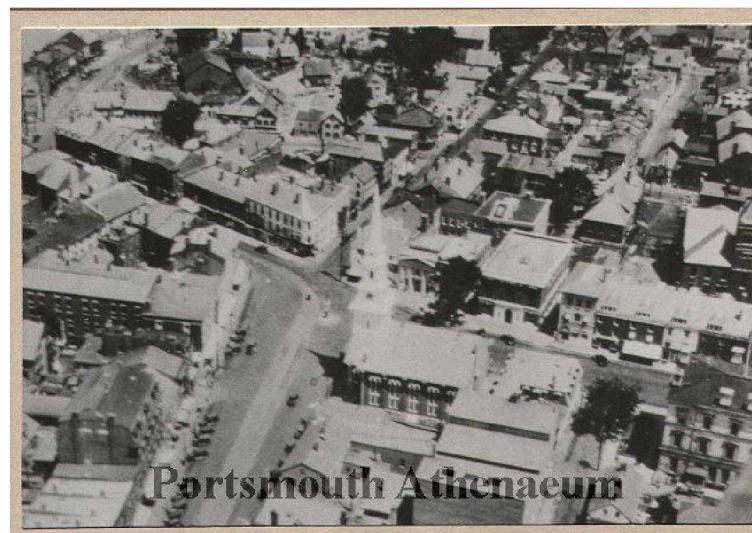
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1904



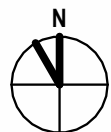
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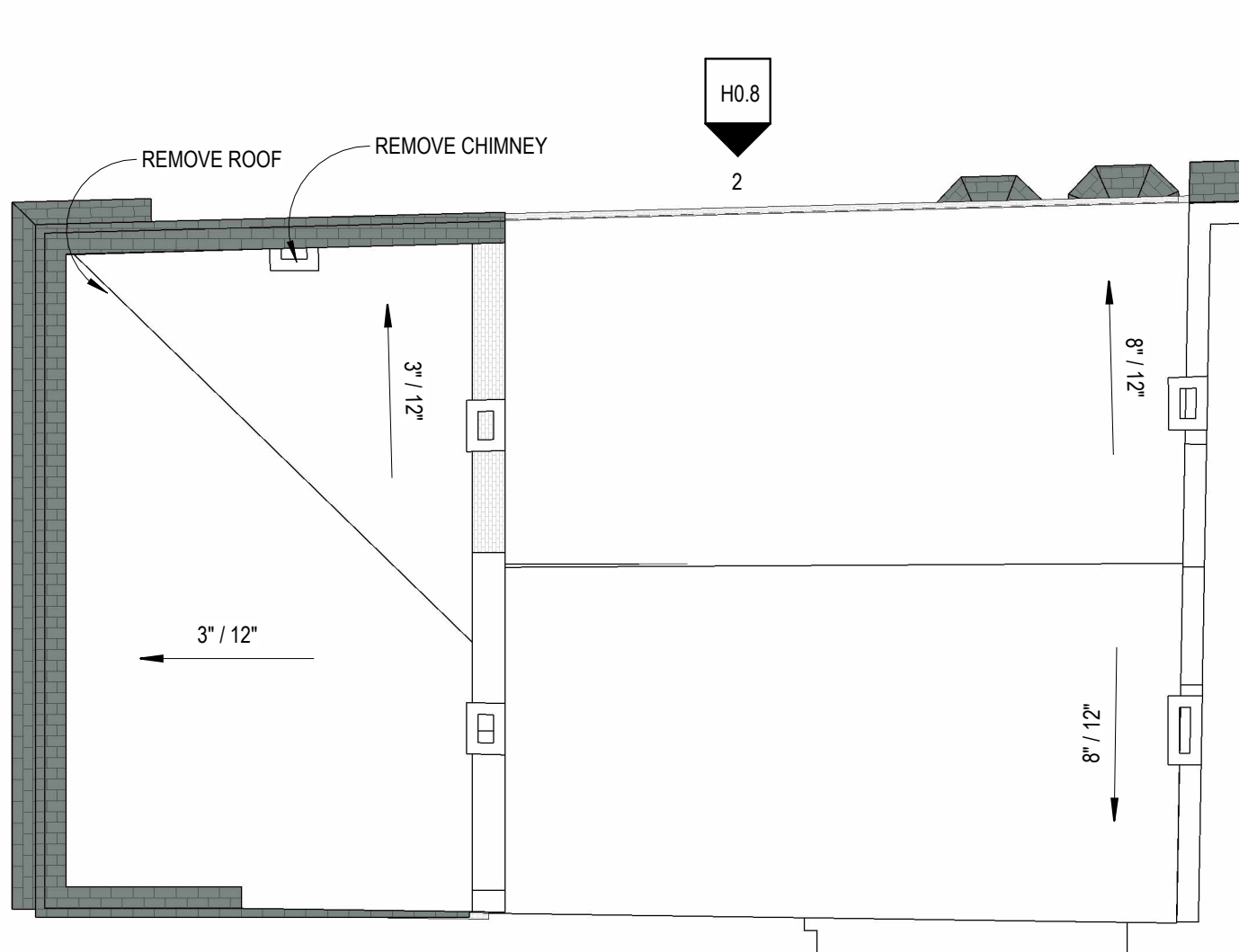


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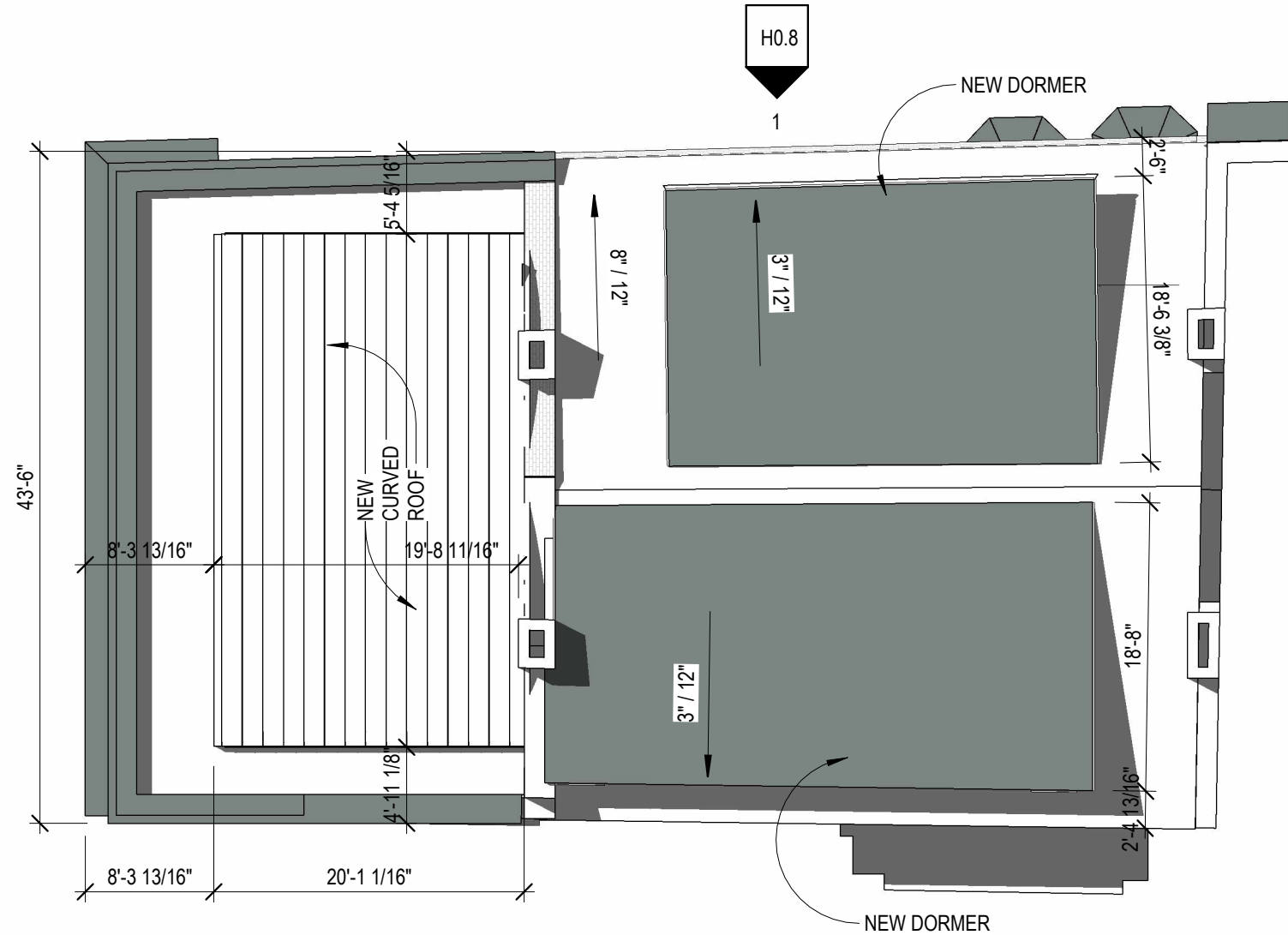


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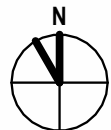


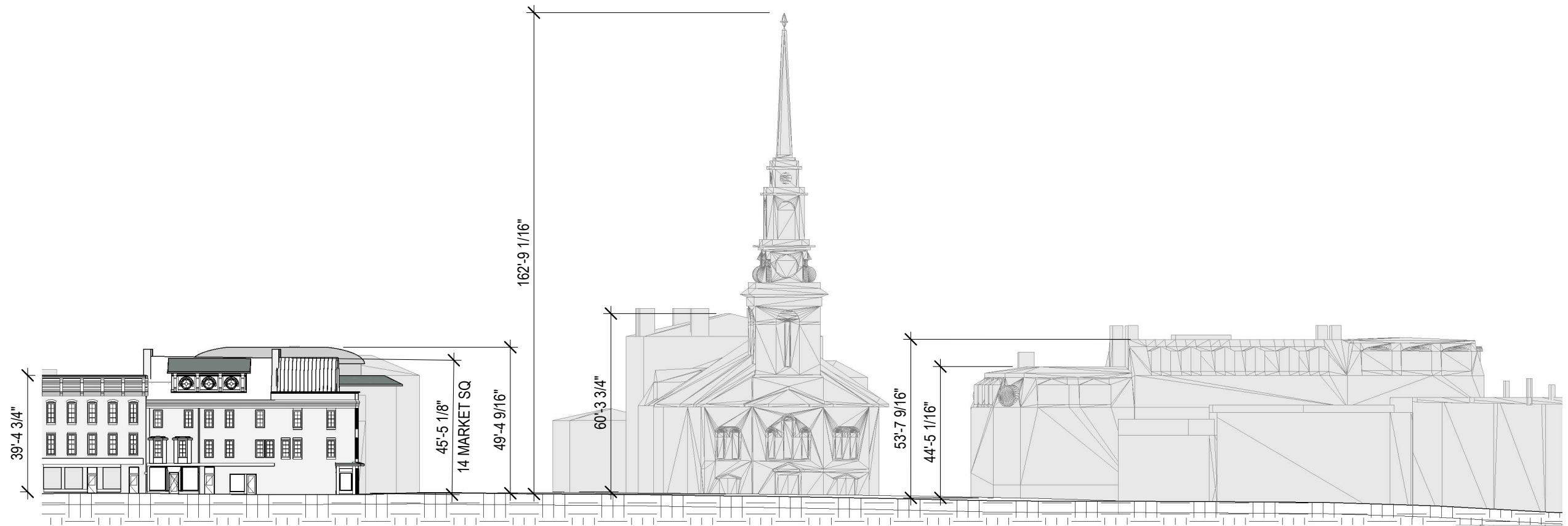


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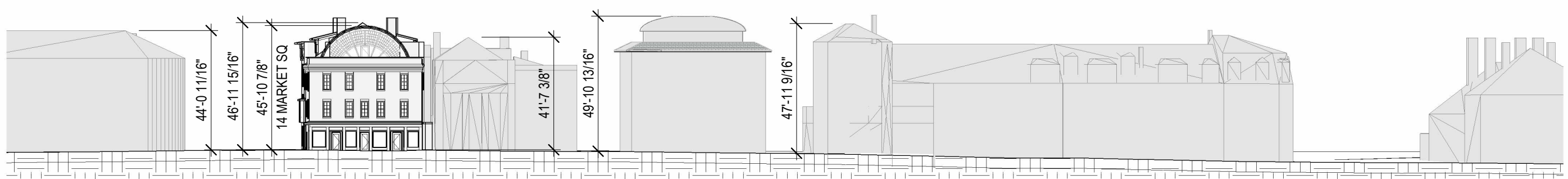


**PROPOSED**

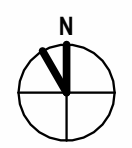




1 STREET SECTION - DANIEL STREET - CONGRESS STREET  
1" = 40'-0"



2 STREET SECTION - MARKET STREET - PLEASANT STREET  
1" = 40'-0"



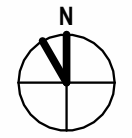


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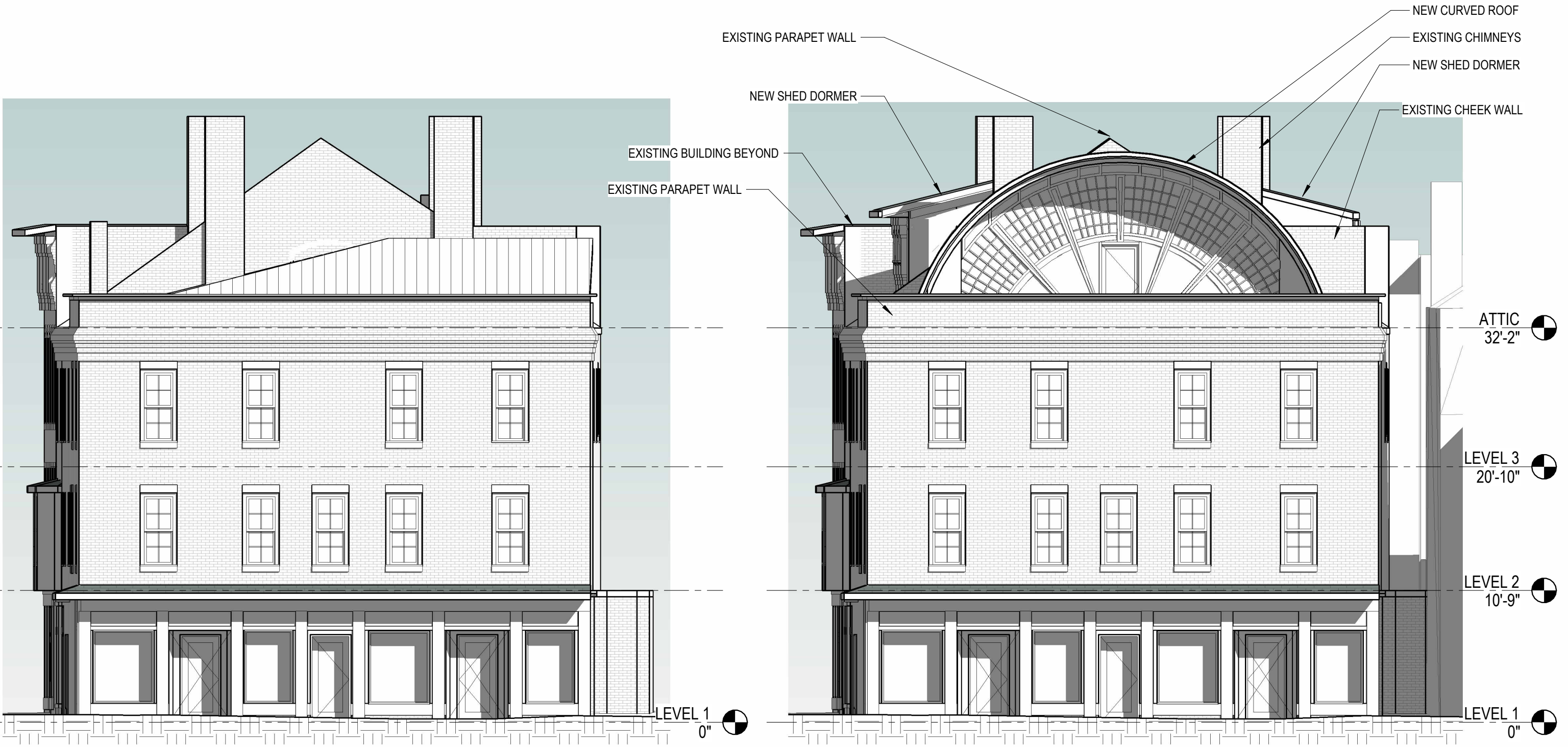


**PROPOSED**

WEST ELEVATION  
14 MARKET SQUARE







**EXISTING**

**PROPOSED**





1 HDC 1 - MARKET ST LOOKING SOUTH



2 HDC 2 - PLEASANT ST LOOKING NORTH



3 HDC 3 - CONGRESS ST LOOKING EAST



4 HDC 4 - DANIEL ST LOOKING WEST





RENDERING  
14 MARKET SQUARE