

# 14 MARKET SQUARE



## DRAWING LIST

- H0.0 COVER
- H0.1 CONTEXT MAP
- H0.2 HISTORIC PHOTOS
- H0.3 EXISTING STREET VIEW PHOTOS
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- H2.1 FRONT ELEVATION
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- H4.2 MATERIALS - SIDING & GLAZING
- H4.3 ROOFTOP MECHANICAL UNITS - HEAT PUMPS

## 14 MARKET SQUARE - ROOFTOP MECHANICAL ADDITION

JOHN GALT, LLC

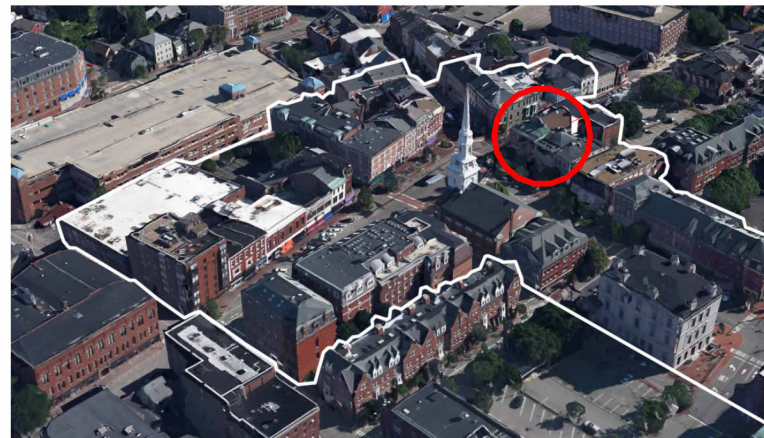
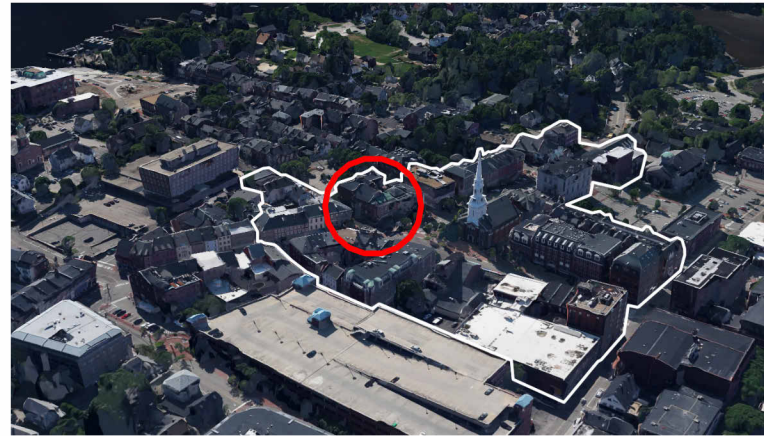
HDC  
NOVEMBER 2023







**300' RADIUS GIS MAP**



## PROJECT SUMMARY

### NEW ROOFTOP ADDITIONS:

1. FIRE STAIR PENTHOUSE FOR SAFE ROOF ACCESS
2. ROOF HATCH AND MECHANICAL PLATFORM FOR MECHANICAL EQUIPMENT
3. SAFETY GUARDRAIL BEHIND PARAPET

## ZONING SUMMARY

### Legend

**CHARACTER DISTRICT CD-5**  
**DOWNTOWN OVERLAY DISTRICT HEIGHT -**

**PLEASANT STREET: 2-3 STORIES (SHORT 4TH), 45'**  
**DANIEL STREET: 2-3 STORIES (SHORT 4TH), 45'**

**CURRENT USE:**  
**FIRST FLOOR - RESTAURANT**  
**SECOND & THIRD FLOOR - OFFICE**  
**ATTIC - STORAGE**

**PROPOSED USE:**  
**FIRST FLOOR - RESTAURANT**  
**SECOND, THIRD, & ATTIC - RESIDENTIAL**

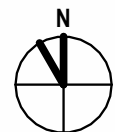
Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'

\*Penthouse Levels may exceed the building height by 2 feet.

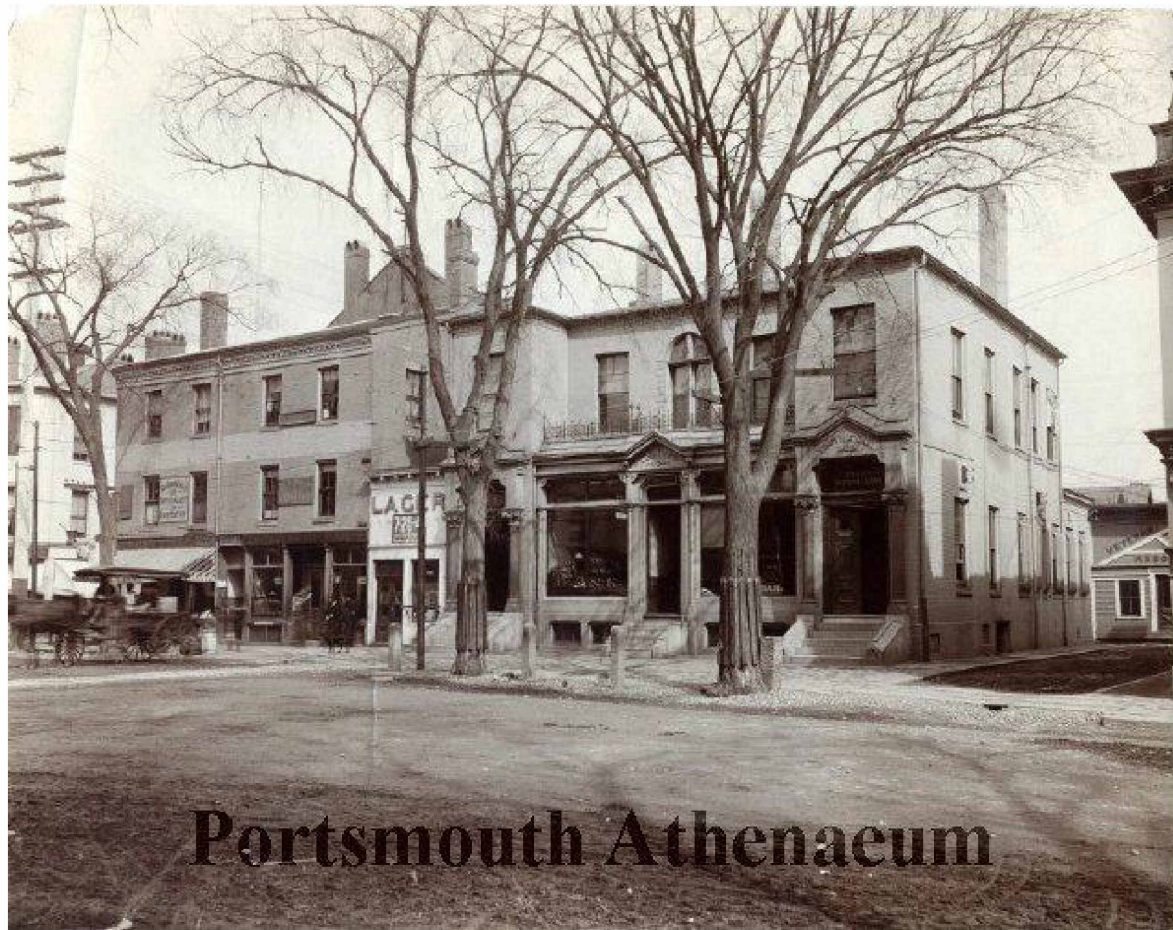
1. A short story includes either: 1) use of a top story below the cornice line of a sloped roof that is at least 20% shorter in height than the story below; or 2) a story within a mansard roof with a pitch no greater than 30:12.

2. When a lot is assigned to more than one height requirement standard refer to the requirements listed in Section 10.5A21.22.

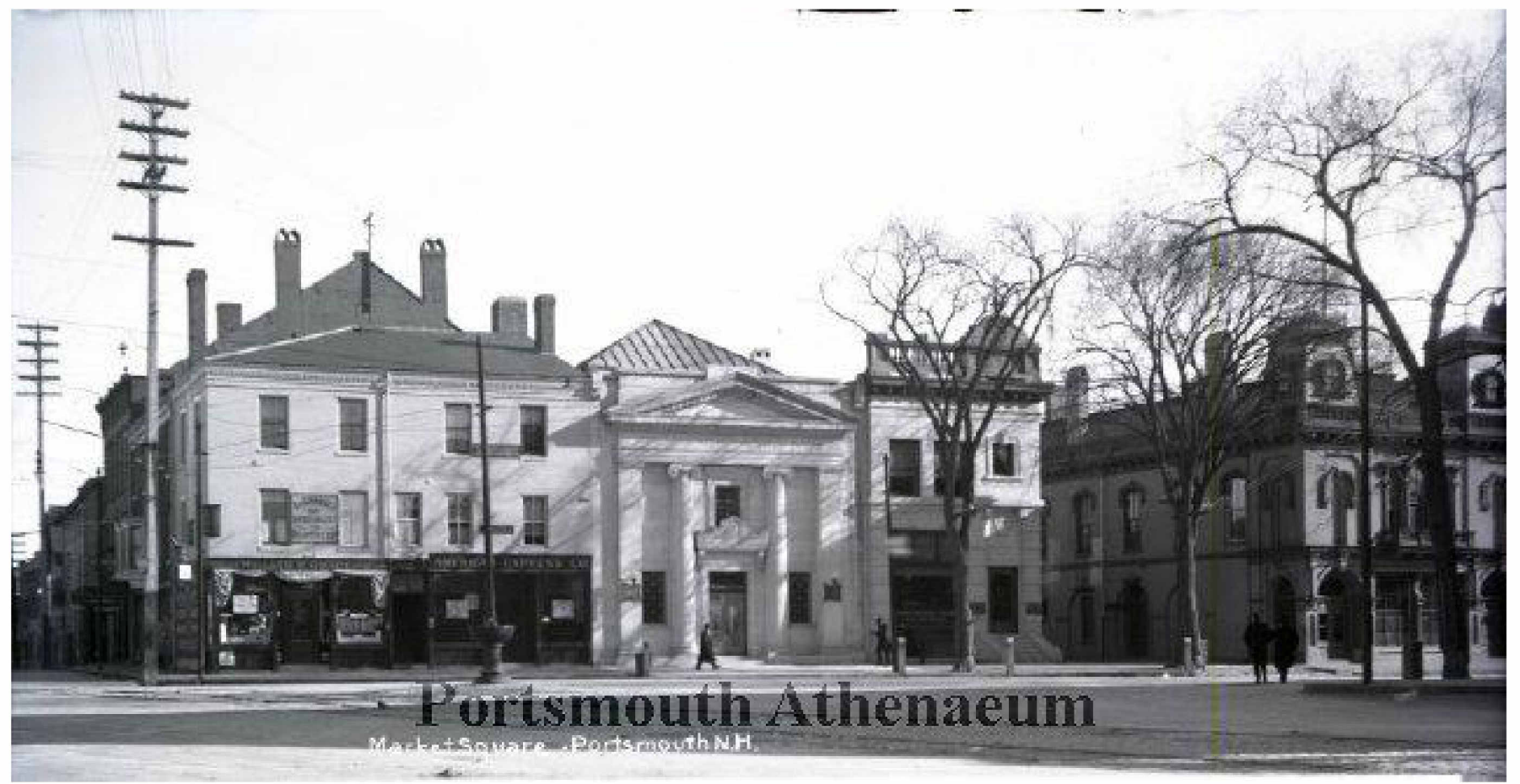
3. Attic space within either a gable, gambrel, hip or hip-top mansard roof or a penthouse level on a flat roof is not considered a story. Attic space is permitted above the top story provided the proposed building is no greater than the maximum building height.







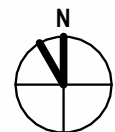
1890



1904



1935

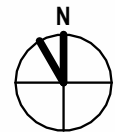
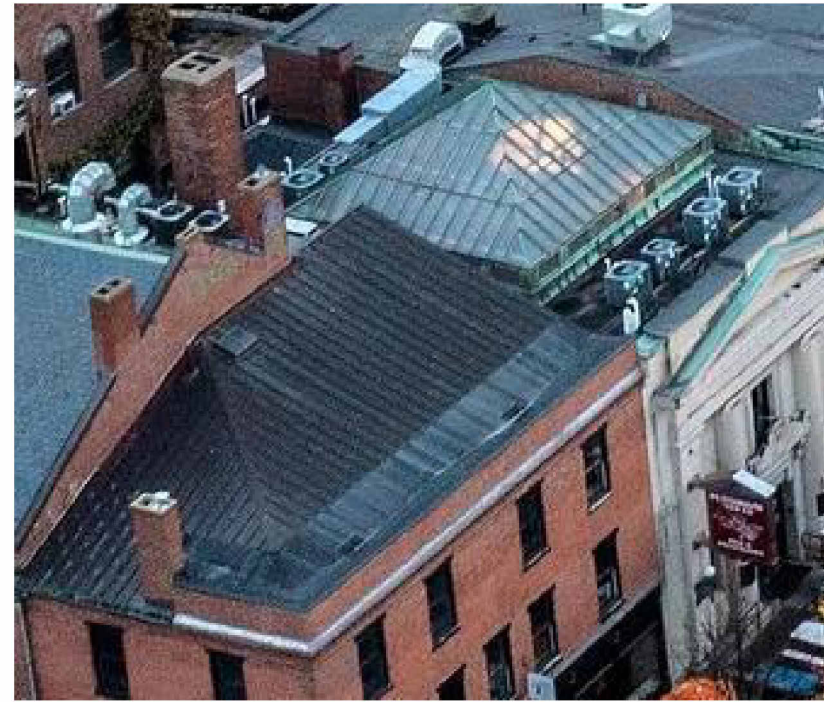
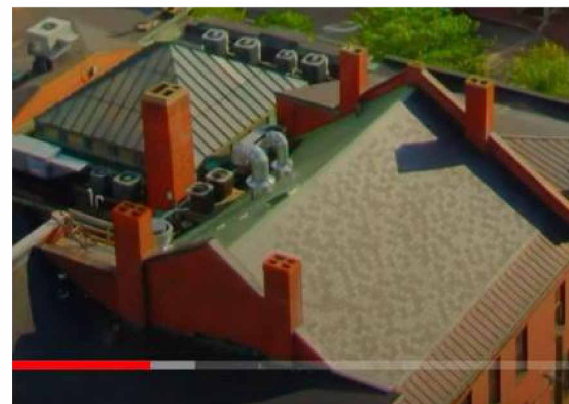






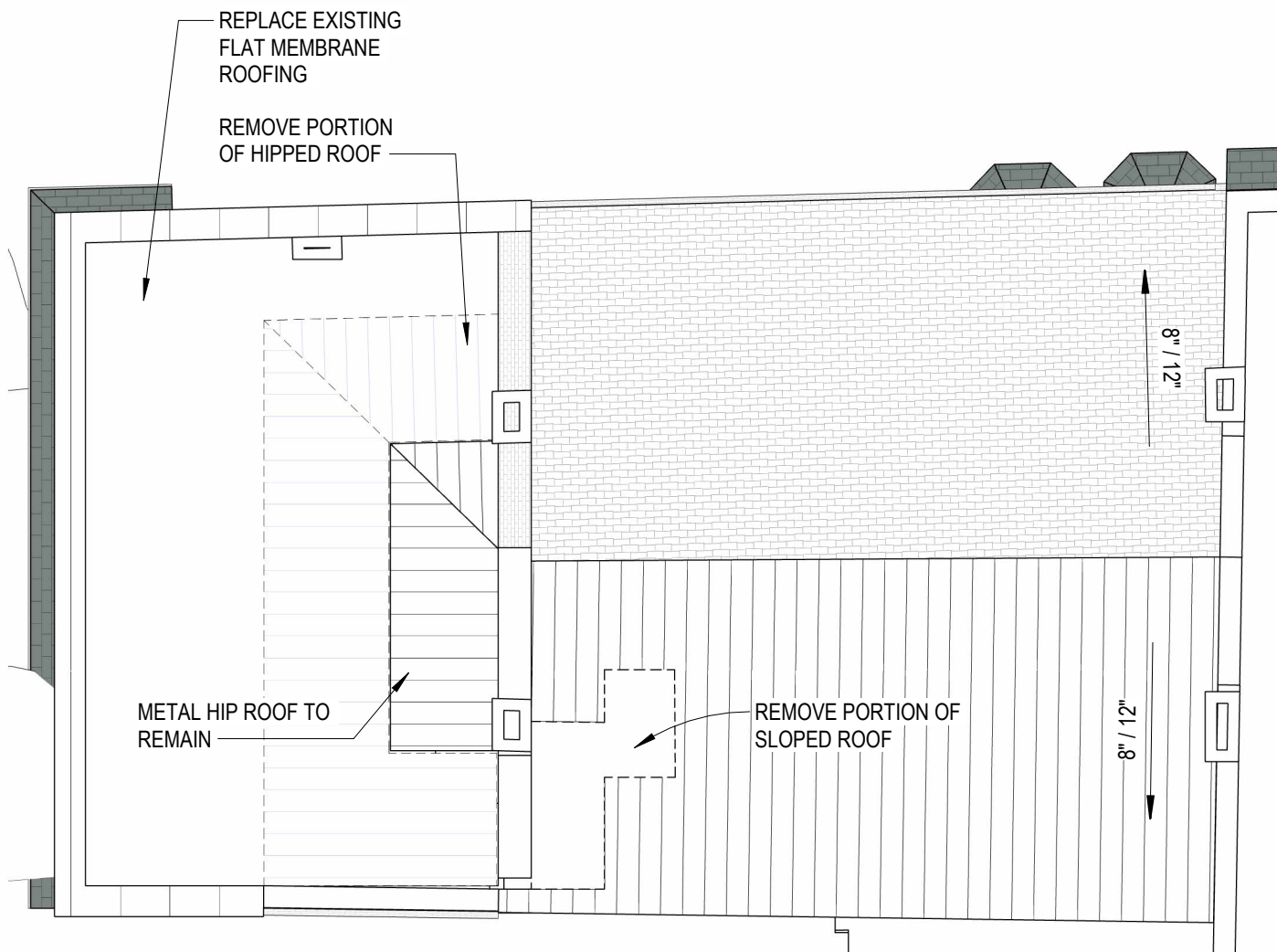
EXISTING STREET VIEW PHOTOS  
14 MARKET SQUARE



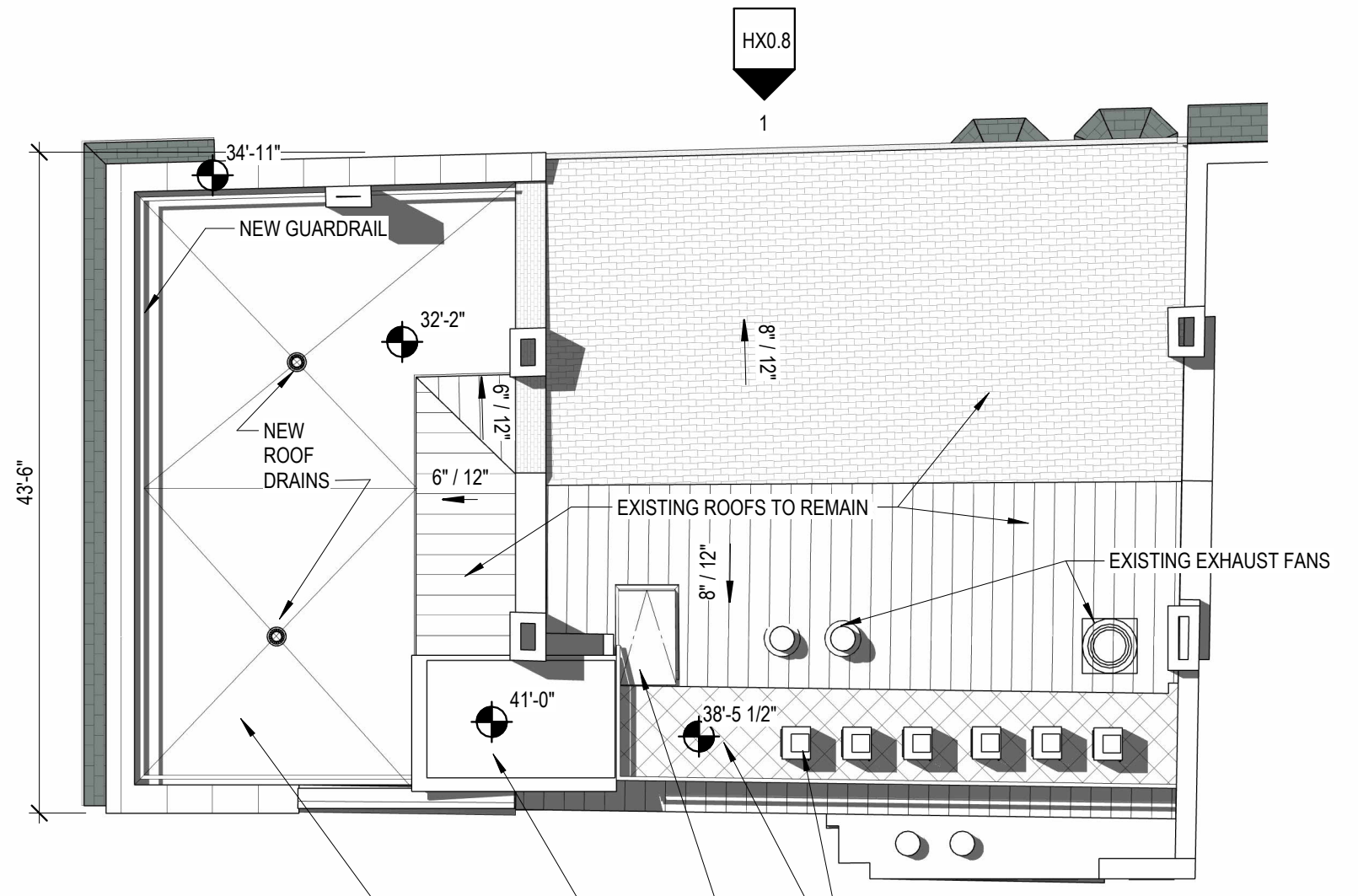


EXISTING BIRDSEYE ROOF PHOTOS  
14 MARKET SQUARE

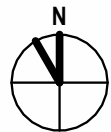




**EXISTING**



**PROPOSED**



ROOF PLAN  
14 MARKET SQUARE

H1.0

10/19/2023  
PROJECT NO:1014





**EXISTING**

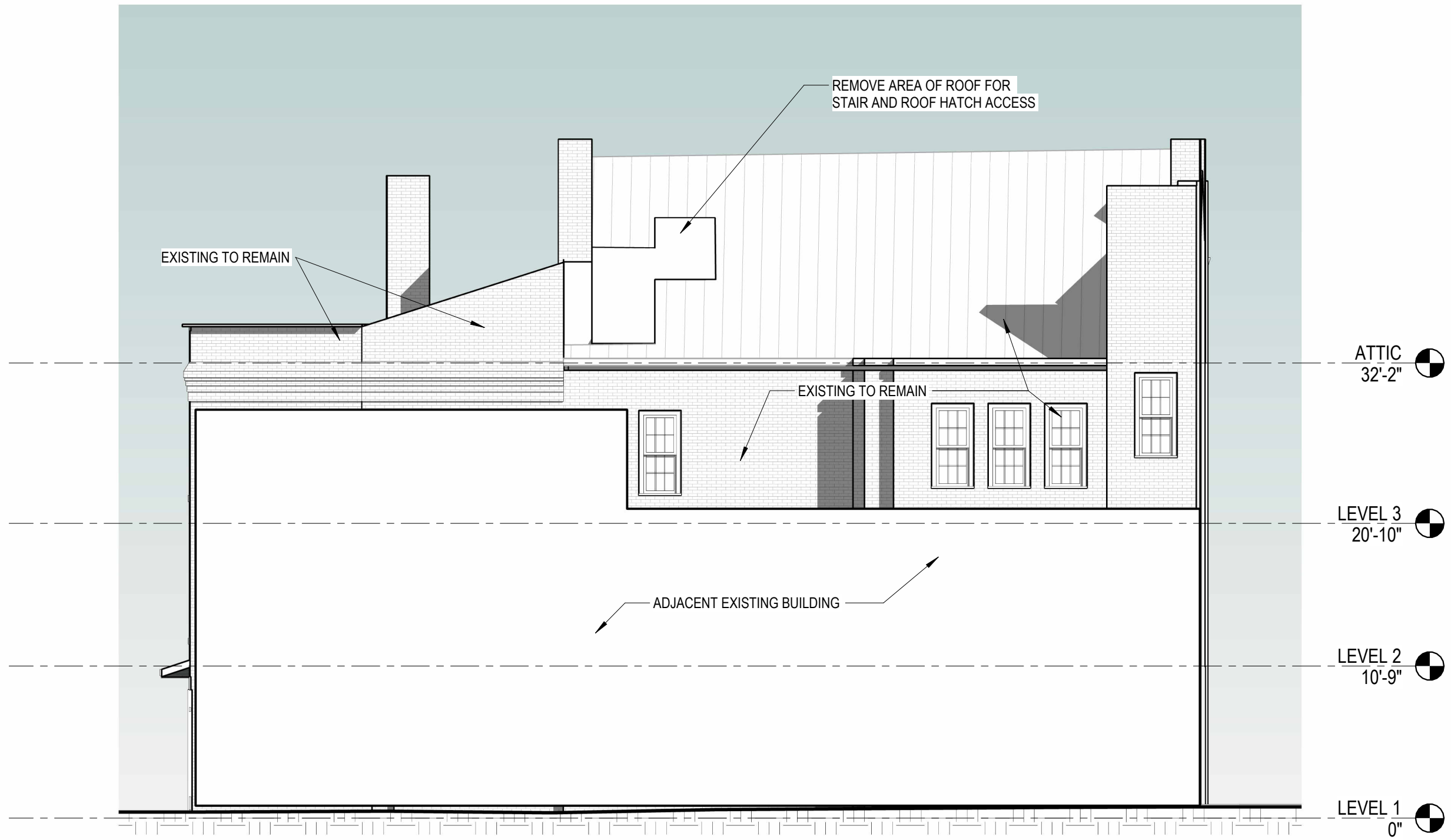
**PROPOSED**



FRONT ELEVATION  
14 MARKET SQUARE

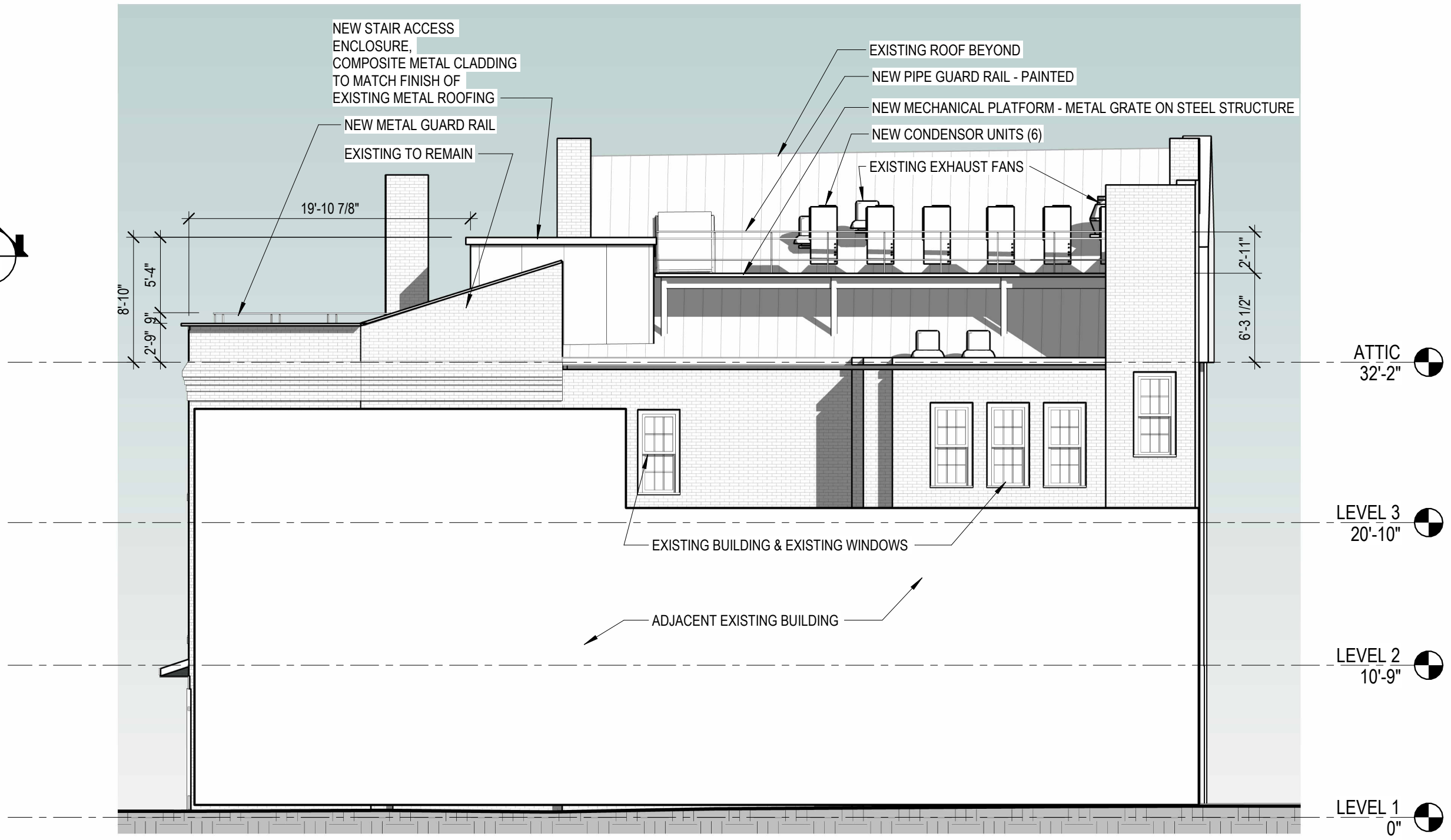
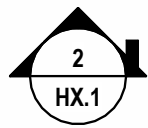
H2.1  
10/19/2023  
PROJECT NO:1014





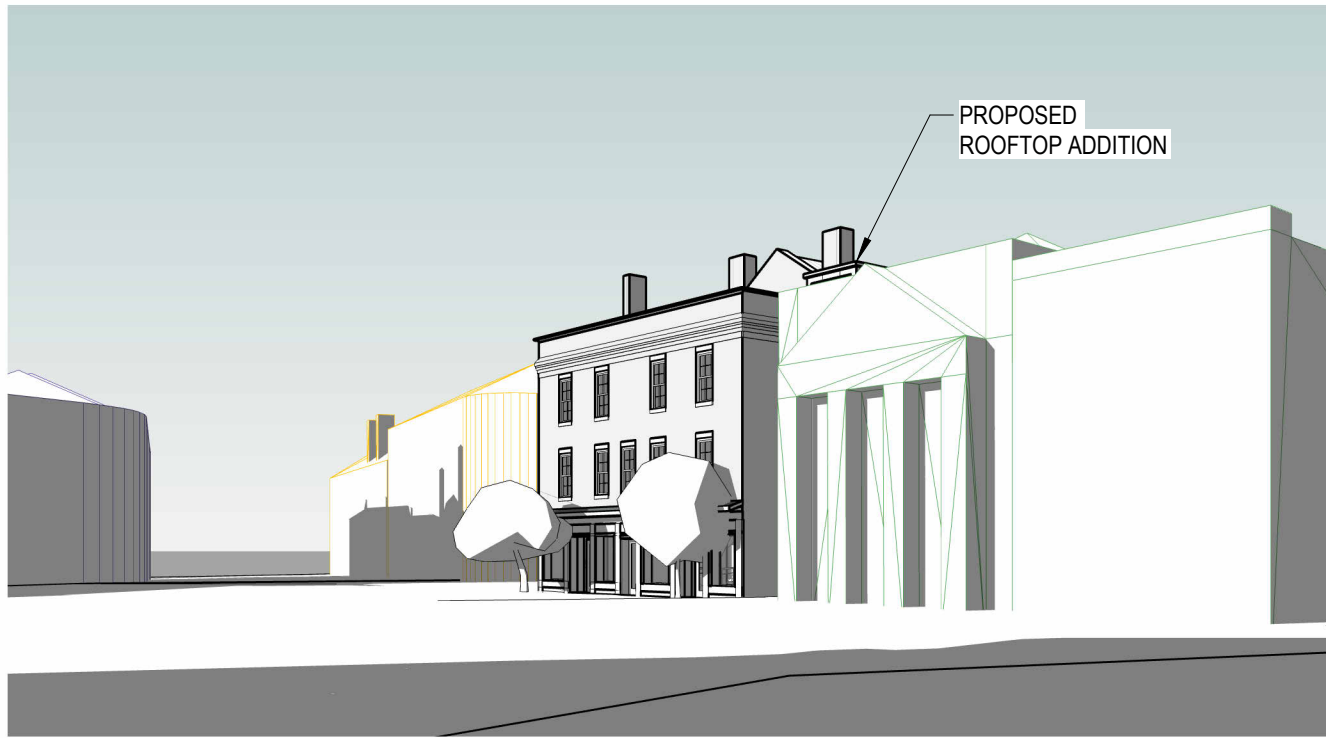
SIDE ELEVATION - EXISTING  
14 MARKET SQUARE





SIDE ELEVATION - PROPOSED  
14 MARKET SQUARE

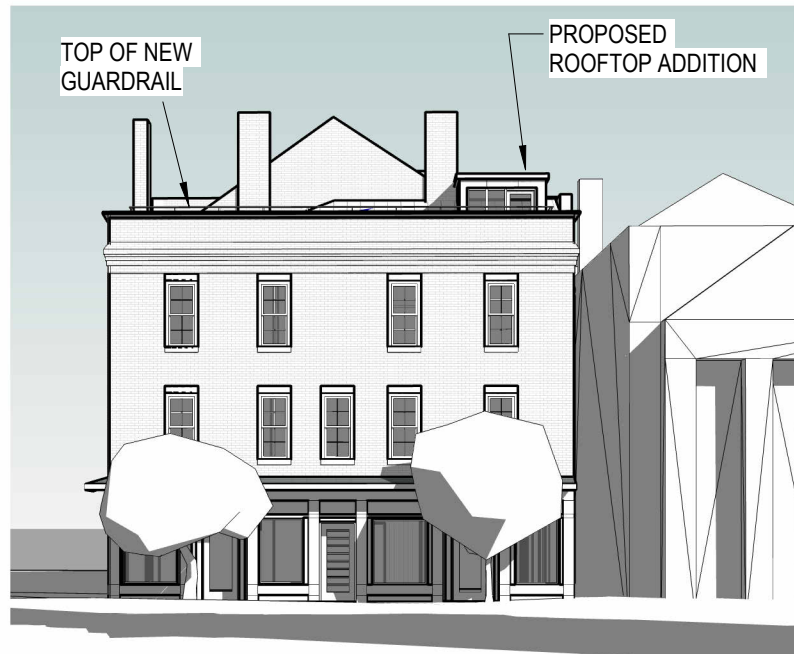




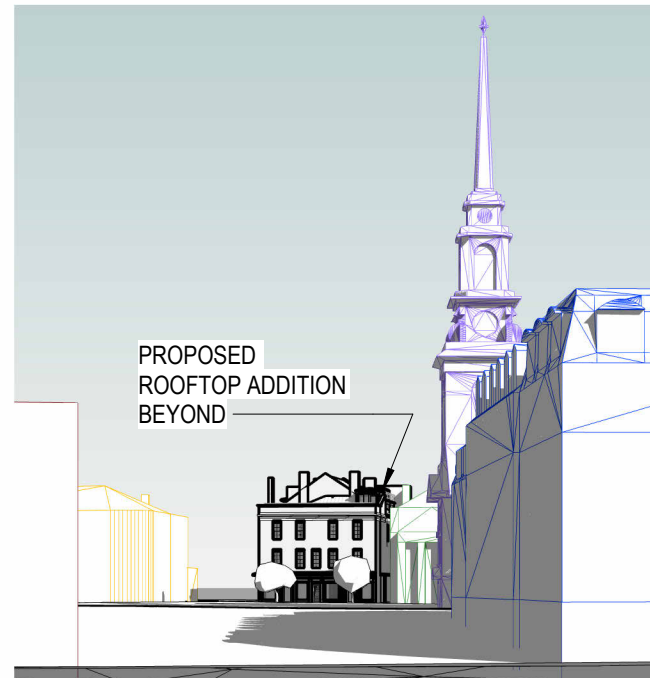
1 FROM PLEASANT STREET AT STONEWALL KITCHEN



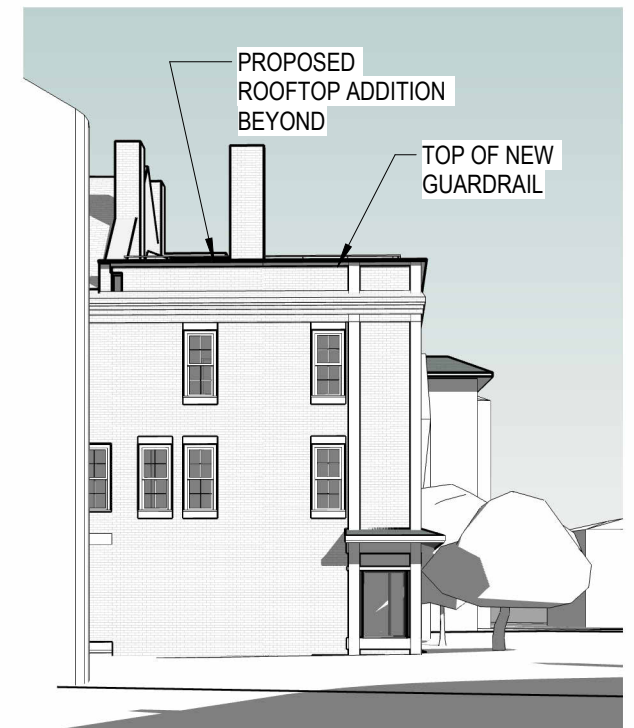
2 FROM CONGRESS STREET AT BUS STOP



3 FROM CONGRESS ST IN FRONT OF POOVERS



4 FROM CONGRESS ST AT FLEET STREET



5 FROM DANIEL STREET LOOKING SOUTH

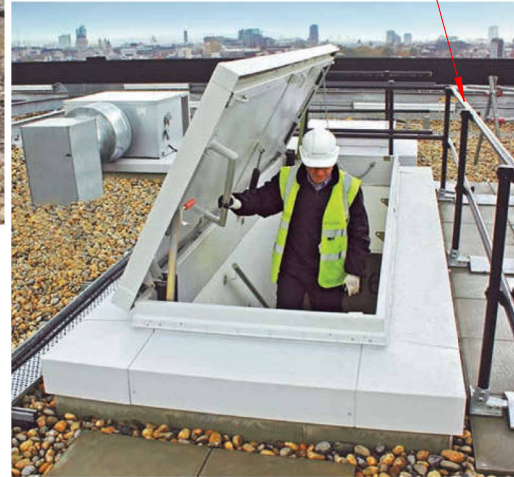




BILCO roof hatches provide safe and convenient access to roof areas by means of an interior ladder, ship stair or service stair. A variety of special sizes are also available to provide an accessible way to install or remove large pieces of equipment from a building. All products feature engineered lift assistance for easy one-hand operation.



TYPICAL SAFETY GUARDRAIL, PAINTED BLACK



### Benefits

- Easy, one-hand operation
- Weathertight performance
- Energy efficient
- Installs quickly and easily
- Convenient and secure access to roof areas
- Durable construction
- Custom sizes and options readily available

### Features

- Engineered lift assistance
- Heavy-gauge construction
- Positive slam latch with interior and exterior padlock hasps
- Fully insulated and gasketed
- Corrosion resistant hardware
- Bilclip® Flashing System for ease of installation on single-ply roofing
- Available with Miami-Dade County and Florida Product Approval
- Pre-punched capflashing to receive the Bil-Guard® 2.0 Hatch Safety Railing System (see page 17 for more information)

Contact us by phone: **800.366.6530** or email: [commercial@BILCO.com](mailto:commercial@BILCO.com)

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# TECHNICAL INFORMATION



## Standard Decking Options

- **Advantech** - This is a high quality product superior to ordinary plywood and OSB options due to its enhanced strength, stiffness and moisture resistance.
- **ResinDek** - This is high density composite flooring, recommended for mezzanines requiring a solid floor subject to heavy loads from the use of pallet jacks, carts or dollies.
- **Diamond Plate** - This steel decking is considered to be our second most durable flooring.
- **Concrete Flooring** - The most durable type of mezzanine flooring by far is concrete.
- **Press-locked Grating** - Steel grating, commonly referred to as bar grating or press-locked grating, is a common choice in the waste management, mining, and food service industries.

## Standard Color Options

- |   |   |
|---|---|
|  |  |
| 39/40010<br>Royal Blue  | 39/80010<br>Gloss Black 80+   |
|  |  |
| 39/20020<br>Safety Yellow   | 39/30100<br>Fire Engine Red   |
|  |  |
| 39/10100<br>ASA-49  | 39/10100<br>Sky White   |

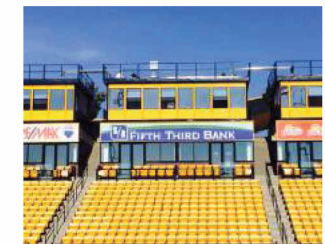
## Features

- Modular bolt-together systems
- Sturdy handrail with 4" kickplate
- Heavy-duty columns & baseplates
- Heavy-duty prefabricated stairs and accessories
- 4-MIL powder coated steel components provide a superior level of durability against abusive, corrosive applications

## Applications



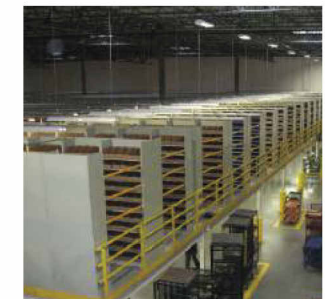
Catwalks



Sport Facilities



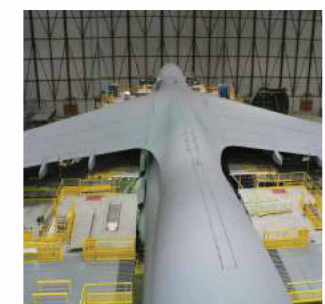
Observation Office



Storage



Range Towers



Aerospace Applications



## PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

### ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.



#### Product Properties

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft <sup>2</sup>
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"

\* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.  
\*\* Sheets will be fabricated to meet custom panel sizes within product range above.

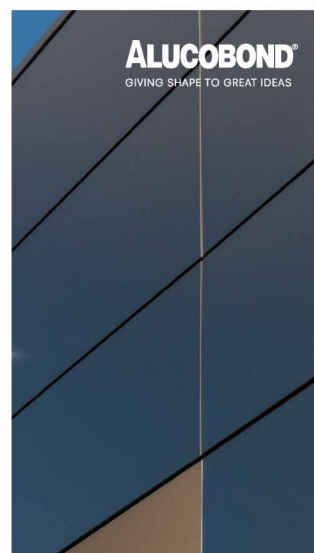
### ALUCOBOND® AXCENT™

A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.



#### Product Properties

Product thickness	0.040" (nominal)
Weight	0.56 lb/ft <sup>2</sup>
Standard width	48"
Standard length	120"



### ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

- ALUCOBOND EasyFix must be used with:
- ALUCOBOND PLUS
  - ALUCOBOND EasyFix: Clips or Rails



#### Product Properties

Weight	1.9 lb/ft <sup>2</sup>
Weight	1.56 lb/ft <sup>2</sup>
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12'

\*\* Sheets may be fabricated to meet custom panel sizes within maximum product range above.

ALUCOBONDUSA.COM / 800.626.3635

### ECONOMY

Trifab® VersaGlaze® 450/451/451T Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



Brighton Landing  
Cambridge, Massachusetts  
ARCHITECT  
ADD Inc., Cambridge, Massachusetts  
GLAZING CONTRACTOR  
Ipswich Bay Glass Company, Inc., Rowley, Massachusetts  
PHOTOGRAPHER  
© Gordon Schenck, Jr.

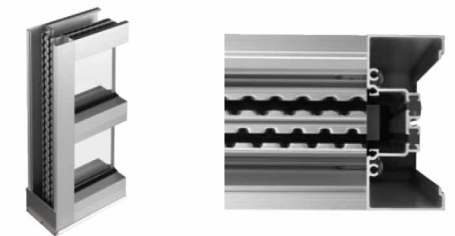
All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

### FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

### PERFORMANCE

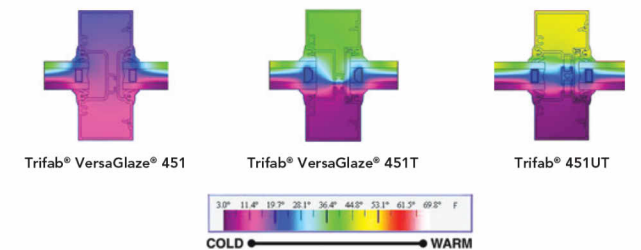
Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.



Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

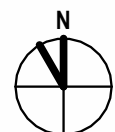
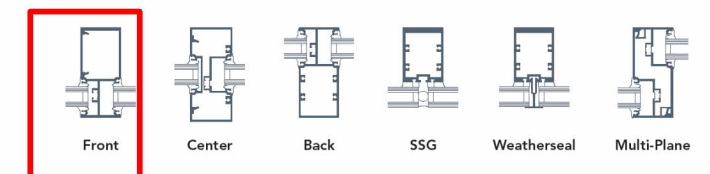
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



### PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425





# MXZ-SM36NAMHZ 3-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name: \_\_\_\_\_  
System Reference: \_\_\_\_\_ Date: \_\_\_\_\_

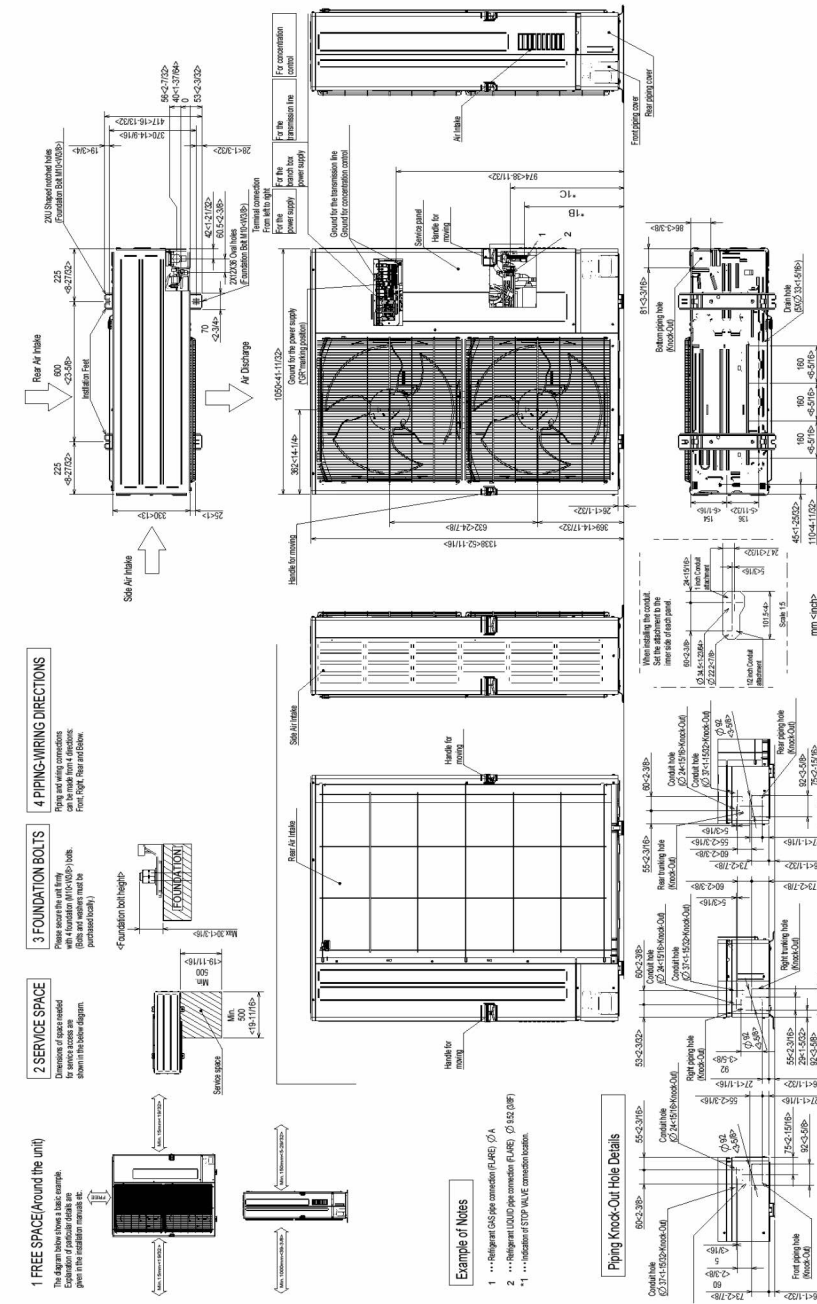


### FEATURES

- Compatible with M- and P-Series and CITY MULTI® indoor units. Branch box required for connection with M- and P-Series
- Variable speed INVERTER-driven compressor
- Seacoast protection on heat exchanger and base panel (rated for 2,000 hrs in accordance with ASTM B117 testing)
- Thermal Differential 1°F (with PAC-MKA32/52BC only)
- Built-in base pan heater
- Quiet outdoor unit operation, rated sound pressure as low as 49 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 75% heating capacity at -13°F
- ENERGY STAR® certified (non-ducted, mixed & ducted)

# OUTDOOR UNIT DIMENSIONS: MXZ-SM36NAMHZ

Unit: mm  
<inch>

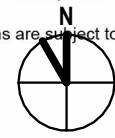


MODEL NAME	DIMENSION A	DIMENSION B	DIMENSION C
MXZ-SM36NAMHZ	15.88 (58F)	428 <16-2532>	485 <19-302>
MXZ-SM42NAMHZ	19.05 (74F)	393 <15-1502>	460 <17-2932>
MXZ-SM60NAMHZ	15.88 (58F)	428 <16-2532>	485 <19-302>

1340 Satellite Boulevard Suwanee, GA 30024  
Toll Free: 800-433-4822 www.mehvac.com



ARCOVE ARCHITECTS products are third-party certified by an EPA-recognized Certification Body. Specifications are subject to change without notice.



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FORM# MXZ-SM36NAMHZ - 202209

Specifications are subject to change without notice.



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# 14 MARKET SQUARE

**MINOR REVISIONS TO PREVIOUSLY  
APPROVED APPLICATION**

Revision 1- Add new skylight to rear roof.

Revision 2- Add new section of parapet to match existing along Daniel St.



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## 14 MARKET SQUARE - ROOFTOP MECHANICAL ADDITION

JOHN GALT, LLC

HDC - ADMINISTRATIVE APPROVAL,  
REVISIONS  
NOVEMBER 2023



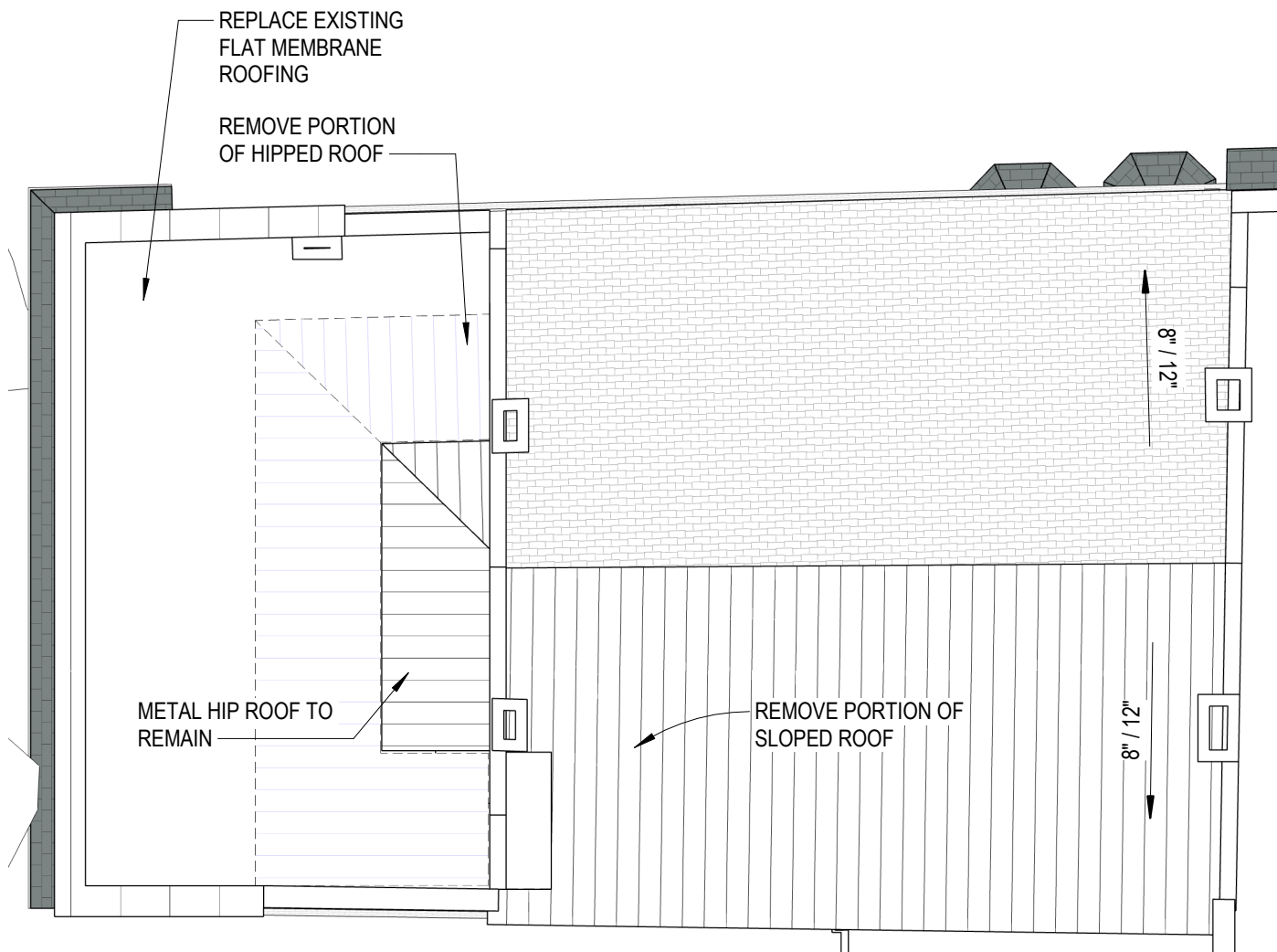
COVER

14 MARKET SQUARE

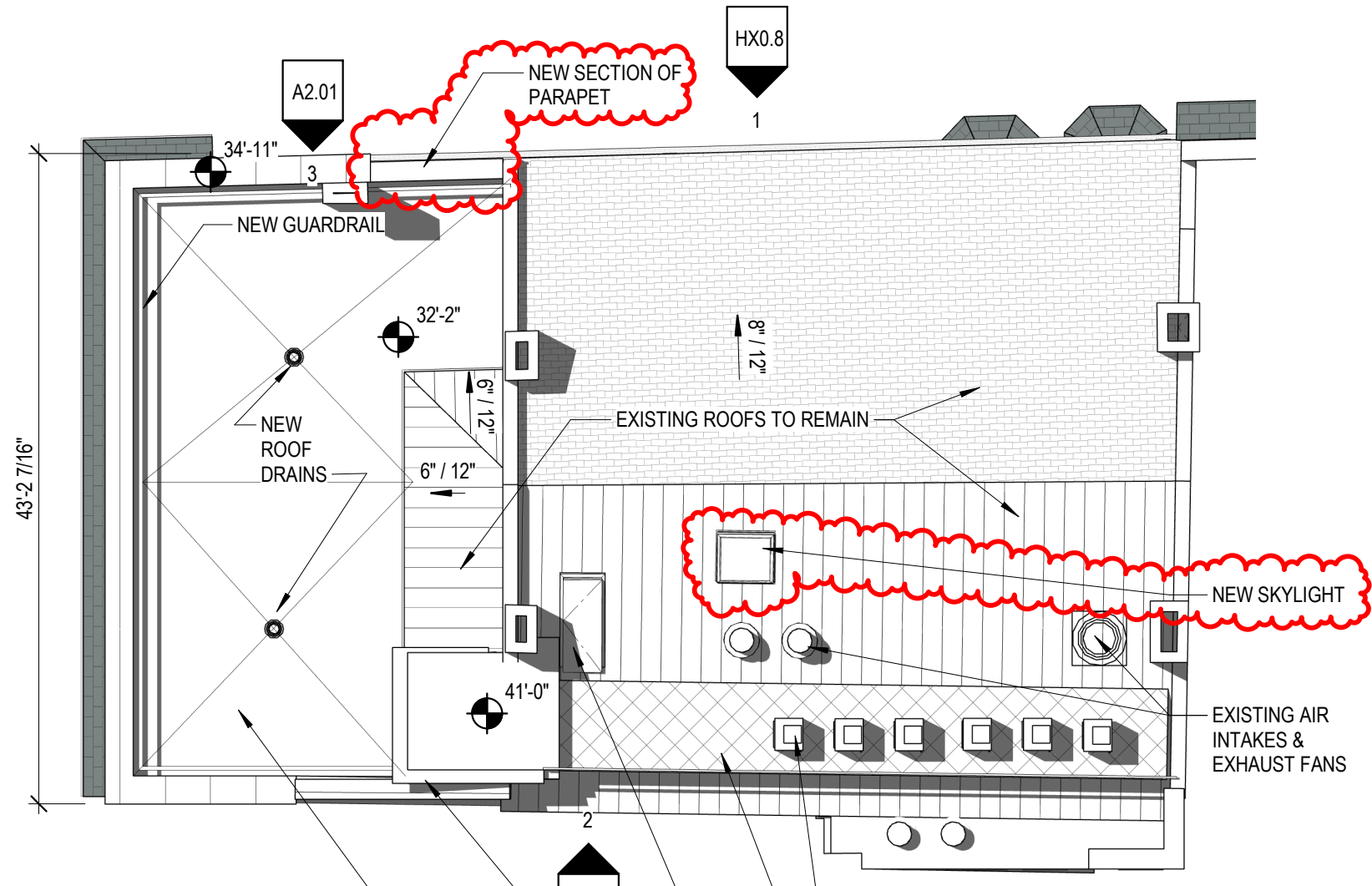
H0.0

11/17/2023  
PROJECT NO:1014



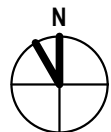


**EXISTING**

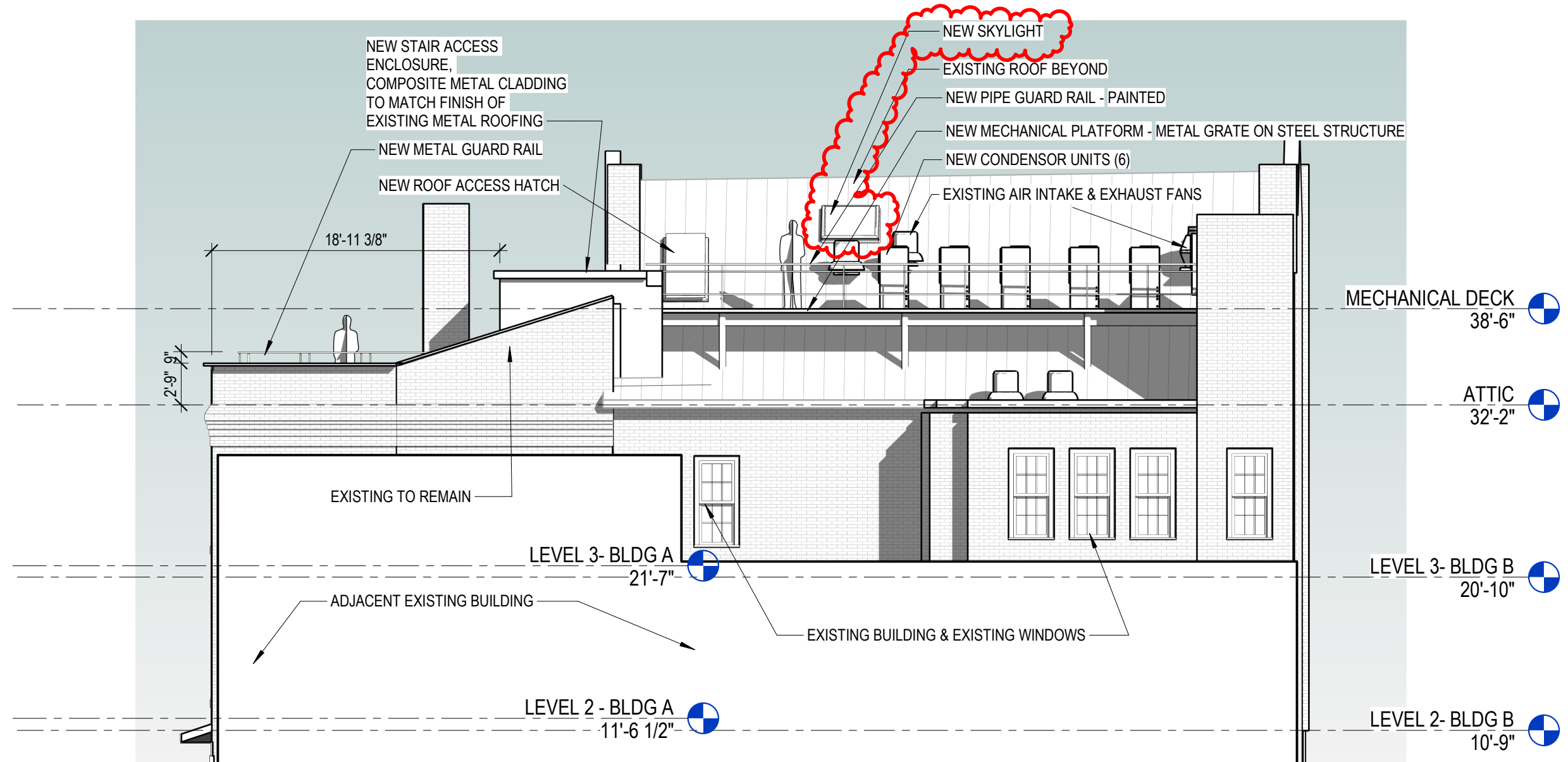


**PROPOSED**

- (6) NEW CONDENSOR UNITS
- NEW METAL GRATE MECHANICAL PLATFORM WITH GUARDRAIL
- NEW ROOF ACCESS HATCH
- NEW FLAT ROOF OVER STAIR ACCESS
- REPLACE FLAT MEMBRANE ROOFING





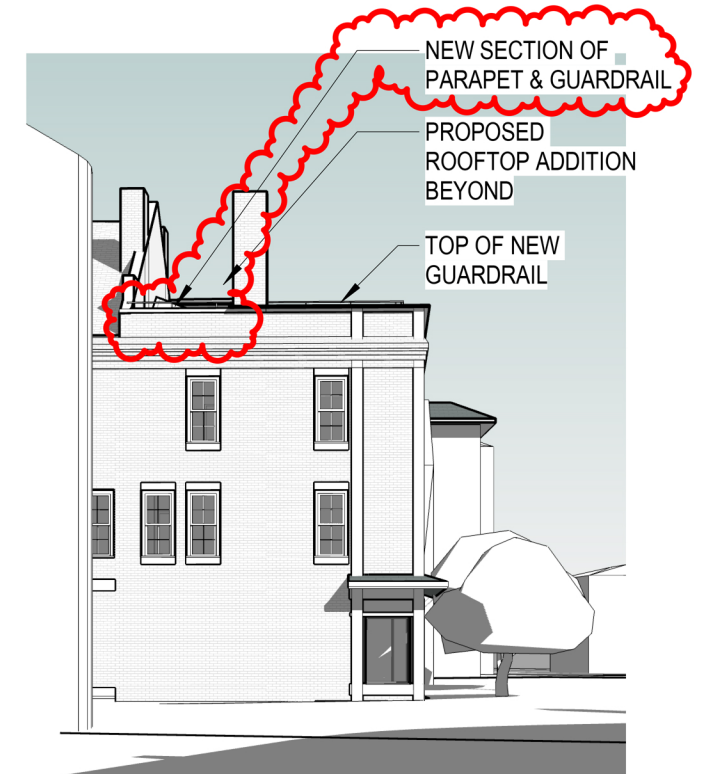


SIDE ELEVATION - PROPOSED  
14 MARKET SQUARE





2 FROM CONGRESS STREET AT BUS STOP



5 FROM DANIEL STREET LOOKING SOUTH