

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details) \**

**6:30 p.m.**

**December 06, 2023**

**AGENDA**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. APPROVAL OF MINUTES**

1. October 04, 2023
2. November 01, 2023

**II. ADMINISTRATIVE APPROVALS**

1. 466 Marcy Street- **Request to Postpone**
2. 425 Islington Street- **Request to Postpone**
3. 295 Maplewood Avenue
4. 45 Market Street
5. 135 Market Street, Unit B
6. 507 State Street, Unit 2
7. 10 Ceres Street
8. 138 Gates Street
9. 111 State Street
10. 20 Congress Street
11. 242 State Street

**III. CEERTIFICATE OF APPROVAL EXTENSIONS**

1. Petition of **Lucky Thirteen Properties, LLC, owner**, for property located at **361 Islington Street**, wherein permission is requested to allow a 1-year extension of the Certificate of Approval originally granted on November 2, 2023 for new construction to an existing structure (add side and rear additions) and renovations to an existing structure (new siding, windows and mechanical screening) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

**IV. PUBLIC HEARINGS (NEW BUSINESS)**



1. Petition of **Anne F. Moody Living Trust, Anne F. Moody Trustee, owner**, for property located at **180 New Castle Avenue**, wherein permission is requested to allow the installation mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 23 and lies within the Single Residence B (SRB) and Historic Districts.
2. Petition of **John Galt, LLC, owner**, for property located at **14 Market Square**, wherein permission is requested to allow new construction to an existing structure (add a rooftop addition and a new skylight) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 29 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.
3. Petition of **Beagan Family Trust of 2021, Michael & Wendy Beagan Trustees, owners**, for property located at **30 Gardner Street**, wherein permission is requested to allow new construction to an existing structure (construct rear decks with spiral staircase) and renovations to an existing structure (relocate windows, remove chimneys, relocate bulkhead, and add (2) skylights) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 43 and lies within the General Residence B (GRB) and Historic Districts.

#### V. WORK SESSIONS (NEW BUSINESS)

- A. Work Session requested by **95 Daniel Street, LLC, owner**, for properties located at **95 & 99 Daniel Street**, wherein permission is requested to allow exterior renovations and construction to both structures (replace or repair exterior features and construct new rear addition at 95 Daniel Street) and (replace or repair exterior features and construct new rear deck and stairs at 99 Daniel Street) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 107 as Lots 6 & 7 and lie within the Character District 4 (CD4) and Historic Districts.
- B. Work Session requested by **Zachary Dombrowski & Meghan Black, owners**, for property located at **111 Gates Street**, wherein permission is requested to allow new construction to an existing structure (remove rear porch, add new rear 2-story addition with walkout basement and reconfigure existing side addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot and lies within the General Residence B (GRB) and Historic Districts.

#### VI. ADJOURNMENT

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_ov-MXWgCTwG9EAZR-Zhnnw](https://us06web.zoom.us/webinar/register/WN_ov-MXWgCTwG9EAZR-Zhnnw)

**MINUTES of the  
HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**October 04, 2023**

**MEMBERS PRESENT:** Chair Jon Wyckoff; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Reagan Ruedig, Martin Ryan, David Adams, Dr. Dan Brown; Alternate Karen Bouffard

**MEMBERS EXCUSED:** None.

**ALSO PRESENT:** Izak Gilbo, Associate Planner, Planning Department

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**Note:** the timestamp denotes the time of the video.

**I. APPROVAL OF MINUTES**

**1. September 06, 2023**

*Mr. Adams moved to **approve** the minutes as submitted, seconded by City Council Councilor Blalock. The motion **massed** unanimously, 7-0.*

**II. ADMINISTRATIVE APPROVALS**

Administrative Approval Items 1, 4, 6 and 9 were pulled from the list and addressed separately.

**1. 147 Congress Street**

Mr. Gilbo said the applicant had a final façade plan for the Congress Street side of the building, as requested by the Commission. Chair Wyckoff said the conflict had been with the rain leaders. Mr. Adams said he didn't know if the applicant planned on replacing the plastic leaders on the back of the building. He said what started out as a few square tubes turned into four or more 8'x8' beams and looked awkward because there was a lot of exposed structural and utility material on the front façade that shouldn't be there. He said he could not support it. Chair Wyckoff said the 8'x8' beams were already approved, but now the applicant was putting two rain leaders down. The developer Michael Labrie was present and said the two rain leaders in the rear were being converted to metal pipes, and the painted I beams were the same treatment as the ones next door at Jimmy's. He said they really didn't have other options on running the rain leaders and that they went well with the building's design.

*Ms. Ruedig moved to **approve** the item, noting that there was no problem since the rain leaders were consistent with the neighboring building. Councilor Blalock seconded. The motion **passed** by a vote of 4-3, with Mr. Ryan, Mr. Adams **and ??** voting in opposition to the motion.*

## 2. 22 Ladd Street, Unit A

The request was to replace the windows on the second, third and fourth floors on Ladd Street and on the alley behind it; replace a 4<sup>th</sup>-floor deck door in kind; and update the staircase on the rear entrance to Starbucks to a granite one. Chair Wyckoff asked if the staircase would remain the same height and layout. Mr. Gilbo said the applicant wanted to replace it using the same dimensions but a different material.

**Stipulation:** Half screens shall be used.

## 3. 169 Lafayette Road, Unit 2

Mr. Gilbo said the applicant wanted to install fencing for his unit because other units had some type of separation in their open spaces. Ms. Ruedig said she would have liked to see a plan because it was hard to figure out where the fence began and ended on the property. Vice-Chair Doering agreed that the plan was light on details and noted that the Commission didn't know if the fence was metal or wrought iron. Councilor Blalock agreed. Ms. Ruedig said she had concerns with a metal fence in that location because the examples given were more of an urban style and normally only wood fences were seen in that area. Mr. Adams pointed out a few other properties in the neighborhood that had metal fences but said the applicant's property had two other kinds of fencing on it and his proposed fence would divide just part of the yard and would look awkward. The Commission decided to continue it to the end of the administrative approvals for further discussion. (When the applicant did not appear at the end of the Administrative Approval Items, Ms. Ruedig suggested pulling the item out so that the applicant could submit more detail and possibly use a wood alternative).

*Ms. Ruedig moved to **pull** the item and **postpone** it to the November 1 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

## 4. 104 Congress Street

The request was to install mechanical venting. Mr. Adams wondered if putting the pipes along the building required a contraption built on the stairs. The applicant's representative Meghan Boland of Chinburg Builders was present via Zoom and said the pipes couldn't be run horizontally under the stairs due to the chiller lines. She said they had hand-taped ducts that would run as tight to the building as possible. She said the railing would be wood and go all the way up to the stairs and that it was the only path to allow the ERB system that the City required. Mr. Ryan said he could support it, given that it was a service alley. Dr. Brown agreed.

*Mr. Ryan moved to **approve** the item as presented, seconded by Dr. Brown. The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition to the motion.*

## 5. 466 Marcy Street

The request was to replace the wood staircase with a granite one, with two options proposed. Dr. Brown said he didn't know if it would fit in well with the neighborhood, noting that 16 homes

had wooden stairs and only one had granite stairs but they were back from the road. Mr. Adams agreed but thought the granite stoop made sense. Ms. Ruedig said it would depend on how close it came to the sidewalk. Chair Wyckoff suggested pulling and continuing the item to the November 1 meeting, noting that an option of wood stairs with railings might be needed.

*Mr. Adams moved to **pull** the item out, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

*Mr. Adams moved to **continue** the item to the November 1 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

## **6. 260 Marcy Street**

Mr. Gilbo said the concrete retaining wall in front of the property was damaged and the applicant wanted to replace it with a granite wall. He said the applicant reviewed specifications with the Department of Public Works (DPW). He said the applicant also wanted to replace a concrete patio in the backyard with a granite one and some granite benches. Mr. Adams asked what the face of the retaining wall would be made of and what size and finish the granite steps would have. Mr. Gilbo said the steps would go where the existing gate was and that only the size of the steps was in the packet. Mr. Adams asked if the fence would be reconstructed. Mr. Gilbo said it wasn't part of the application. Chair Wyckoff suggested continuing the item to the November meeting so that the applicant could provide more details. Ms. Ruedig suggested that the curbing and the wall be consistent with the granite curbs done by DPW for a consistent finish and that the new steps be similar to the other steps in the neighborhood.

*Mr. Adams moved to **continue** the item to the November 1 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

## **7. 503 State Street, Unit 3**

The request was to change the approved Anderson 400 Series wooden door at the rear of the property to a Sunrise vinyl door that would not be visible to State Street.

## **8. 42 Hunking Street**

The request was to replace six windows on the second floor with Pella Reserve wooden clad windows in the same 6 over 6 pattern. The applicant Linda McVay was present and said the downstairs windows were 9 over 6 and wouldn't be changed.

**Stipulation:** Half screens shall be used.

## **9. 9 Sheafe Street**

Mr. Gilbo said the applicant was before the Commission previously and wanted a garage door similar to the one that was approved but with no crossbars and no light pattern divide between the 2 over 2 windows. He said it would be wood and the same size. Mr. Adams said he still

opposed the introduction of the doorway on the back of the building because of the technique and proposed installation of the doorway on the sensitive brick. Vice-Chair Doering agreed.

*Ms. Ruedig moved to **approve** the item as presented, noting that it was just about the type of door. Dr. Brown seconded. The motion **passed** by a vote of 5-2, with Mr. Adams and Vice-Chair Doring voting in opposition to the motion.*

#### **10. 39 Dearborn Street**

Mr. Gilbo said the applicant got final approval but the window schedule showed a few windows that were the incorrect size, so the applicant was back with a final window schedule. He said there were two different schedules, one for Phase One and the overall window schedule. He said the windows were still Marvin Elevate ones but the dimensions matched what was approved.

**Stipulation:** the windows shall have half screens.

**Note:** At this time in the meeting, the applicant for Item 3, **169 Lafayette Road, Unit 2**, had not arrived and Ms. Ruedig suggested pulling the item out so that the applicant could discuss it further with the Commission and potentially use a wood alternative.

*Ms. Ruedig moved to **pull** the item and **postpone** it to the November 1 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

*Vice-Chair Doering moved to **approve** Administrative Items 2, 5, 7, 8 and 10, with stipulations for half screens on Items 2, 8, and 10. Councilor Blalock seconded. The motion **passed** unanimously, 7-0.*

### **III. PUBLIC HEARINGS (OLD BUSINESS)**

A. **REQUEST TO POSTPONE-** Petition of **202 Court Street Property Group, LLC, owner**, for property located at **202 Court Street**, wherein permission is requested to allow exterior renovations to an existing structure (install HVAC condensers with fencing and roof mounted solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 35 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **postpone** the petition to the November 1 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

### **IV. PUBLIC HEARINGS (NEW BUSINESS)**

1. (*Work Session/Public Hearing*) requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (modifications to windows, skylights, door, canopy and railing design, size,

and location) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts.

## **WORK SESSION**

[Timestamp 57:34] Architect Howard Spivak was present on behalf of the applicant and discussed the skylights. Mr. Adams said they wouldn't be seen but hadn't known that they would extend on the back of the building onto the shed dormer. Ms. Ruedig said she was impressed that they would not be seen but wondered if the whole line of them would be more reflective. Chair Wyckoff confirmed that the skylights would not open and that the steel rail on the pavilion would be painted black with the same finish as the solarium. Ms. Bouffard said she had liked the oculus but was sold on the disappearing skylight and could also support the solarium now that it had more blended quiet features. Councilor Blalock agreed. Mr. Ryan said he was hoping for a simple elevation of Sheafe Street that the Commission had asked for, but given that it wasn't going beyond what was previously approved, he could accept it. Dr. Brown said the 3D model helped and that he liked the changes and the skylight.

## **Public Comment**

Mark Bodie of 121 State Street said he agreed that the applicant did a nice job of lowering the profile but wasn't pleased with some elements of the process and with the fact that the Commission had not discussed the massing.

Marie Bodie of 121 State Street said the Commission approved an artist's drawing in May 2022 and that the approved driveway wasn't the same. She said they were back to what started in 2022. She said the project did not go well with the neighborhood.

Jonathan Sobel of 49 Sheafe Street said the original renderings were artistic ones that didn't allow for a reasonable representation of massing. He said it was an enormous addition and the amount of glass shown on the vertical façade was more than five houses on Sheafe Street. He said it was not consistent with the rest of the street or the neighborhood. He said the fenestration was excessive and there were no other cupolas on Sheafe Street or downtown. He said the row of windows and a shed dormer made that part of the building the dominant visual effect for the entire project. He said the garage was really five feet in from the setback, not twelve feet as shown on the rendition, and that it was unrealistic to place the garage doors so close to such a narrow street. He said the original demolition occurred and the applicant revoked their initial application and substituted the present one and several people were fired, including the construction company, who removed the dust, silt, and privacy screen in revenge.

Mr. Spivak said the applicant asked the contractor to remove the screen due to a hurricane.

Jim Keane of 123 State Street said the plan had no details about the addition's siding and no window schedule. He said the fence shown was different than the one on the site. He said there sandstone lintels over the windows were previously approved but weren't shown on the present rendering and plan.

Chair Wyckoff asked Mr. Spivak what was underneath the lintels. Mr. Spivak said it was brick and that the Commission decided they didn't want the stone lintels. Mr. Gilbo said all the plans were on the Planning Department's website for public access. Ms. Ruedig said she thought the Commission said the brick would be kept. Mr. Spivak said he thought the stone lintels were not included, and it was further discussed.

Jonathan Sobel said he researched the brick pediments on the brick condos on State Street and suggested that the applicant revisit the issue to reflect the historic nature of the building. Chair Wyckoff said the pediments on State Street obstructed the limestone banding and when removed, the original paint on the bricks could be seen.

No one else spoke, and Chair Wyckoff opened the public hearing.

### **SPEAKING TO THE PETITION**

Chair Wyckoff read the petition into the record. Mr. Spivak reviewed the changes on all the elevations that were made from the previous proposal [Timestamp 1:37:17].

Vice-Chair Doering asked if the skylight specifications were on file. Mr. Spivak said he could send them to Mr. Gilbo. Ms. Ruedig asked what the windows were, other than the metals ones and those for the solarium. Mr. Spivak said they were Andersen windows. Ms. Ruedig confirmed that the Commission was reviewing modifications to the previously approved plan rather than a new plan. Mr. Adams said the Commission didn't know the things that were being transferred over from the previous plan. Mr. Spivak said he included it with the submission and that he was just showing modifications on everything that was previously approved.

Chair Wyckoff opened the public hearing.

### **SPEAKING IN FAVOR OF THE PETITION**

No one spoke.

### **SPEAKING IN OPPOSITION TO THE PETITION**

Marie Brodie of 121 State Street said there were stipulations in the May 22 submission noting that clarifications had not been decided or provided to the Commission for the garage door materials and so on. She said the packet was posted to the HDC website but had no reference to mockups of the proposed windows or an example of the clapboard material. She said the Commission didn't have all the information and that they should not vote that evening.

Jim Keane of 128 State Street asked if there were details on the fire-rated lot line window. He said the wall without soffits that were dictated by code would be built without a soffit and what the Commission was approving that night was the alternate.

Mark Brodie of 121 State Street said the project was very confusing and that the public didn't know what the plans were that night. He said the proposal should be turned down because it



would not be in character with the neighborhood. He noted that Mr. Spivak said at the previous work session that he would reduce the massing.

Jonathan Sobel of 49 Sheafe Street said the massing was inappropriate for the street and the proposed structure was not subordinate to the main building. He said the fenestration was inappropriate and might devalue the other properties on the street. He said the drawings did not have dimensions and no one knew how close the garage would be to the street.

Chair Wyckoff said the Commission needed more clarification and suggested that the work session be continued to November. Mr. Adams agreed. Ms. Ruedig said she pulled up the application that was approved and if the Commission voted no that night, it would not make the project go away because the applicant could build what they were approved for. She said the Commission could not go back to renegotiating the mass because that was done. She said they were voting on the modifications to the previous approval and not the whole project.

Mr. Sobel said the Commission might be headed in the wrong direction because in most jurisdictions, when there was more than 50 percent change on an application, it became a new one. Mr. Adams said the application appeared to be a new one and thought there should be further discussion. He said the Commission was trying to find a structure that would be consistent with the HDC rules and regulations and what was proposed didn't appear to apply.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one else spoke, and Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

Mr. Adams said several items weren't specified that the Commission needed and that they also needed more information on the fire-coded windows.

*Vice-Chair Doering moved to **continue** the work session to the November 1 meeting, seconded by Mr. Adams. The motion **passed** unanimously, 7-0.*

2. *(Work Session/Public Hearing)* requested by **C. Daniel Freund, owner**, for property located at **37 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (add separate first and second floor additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 16 and lies within the General Residence A (GRA) and Historic Districts.

Martin recused himself from the work session and Ms. Bouffard took a voting seat.

### **WORK SESSION**

The applicant Dan Freund was present and said he added details on the carport, the materials, and the windows but that the updates hadn't changed since the previous work session. He said the carport material was 6'x6' post and beam with 2'x10' rafters attached to a header and that



the carport extended to a walkout from the second floor of the barn. He said the shed dormer would make that space livable and code compliant but had to extend over the first section of the original barn, which would encompass about a third of the barn and not a third of the overall length once the new second floor was added.

Chair Wyckoff asked if a beam would be removed, and Mr. Freund said it would not. Mr. Adams asked if a false wall was being built in front of the garage addition to the carport. Mr. Freund agreed and said it was to give it some shape and contain it as a walkout. Councilor Blalock asked if there would be a railing. Mr. Freund said it would just be a fixed wall. Councilor Blalock noted that there was a triangle on the front of the carport on one picture, yet there wasn't one on another picture. Mr. Freund said the cross piece should be added in.

Vice-Chair Doering said she found the whole project awkward and that the carport made it even more odd. She said she didn't understand the type of changes the applicant was proposing for the structures and the language of the buildings, especially with the shed. Mr. Freund said the existing structure was a mess and he was trying to create something that would allow him to stay in Portsmouth. He said his objective was to add living space to the barn. Ms. Ruedig agreed that it was awkward but noted that the property itself was awkward and that there had been weird additions over time. She said she saw the project as a continuation of what the house had gone through and thought trying to clean it up would improve the look of the property but get rid of a lot of its history. She said she could approve it, and it was further discussed. Chair Wyckoff asked about the siding on the carport. Mr. Freund said it would be vertical barnboard on the new extension and cedar shingles on the barn. Dr. Brown said the stumbling point was the carport and what the applicant did to continue its angles and quirkiess was successful. Chair Wyckoff said he was happy that the part on the front of the carport would be closed in.

There was no public comment, and Chair Wyckoff opened the public hearing.

### **SPEAKING TO THE PETITION**

[Timestamp 2:29:29] The applicant Dan Freund reviewed the petition and explained how he wanted to reconfigure the barn and the house's connection and make it more livable.

Vice-Chair Doering wondered if there was enough information on the trim details. Chair Wyckoff asked if the windows would have historic sills, and Mr. Freund agreed.

Chair Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Dr. Brown moved to **grant** the Certificate of Approval for the application as presented, seconded by Ms. Ruedig.*

Ms. Ruedig noted that the Commission had the drawings that were submitted in April and had most of the dimensions that would be needed to get a permit for the carport changes.

Dr. Brown said the project would preserve the integrity of the District, complement and enhance the architectural and historic character, and would be consistent with the special and defining character of surrounding properties. Ms. Ruedig concurred and said it would also be consistent with the defining character of the property, which was a conglomeration of different add-ons, and it would preserve the history of all those different changes.

Mr. Adams said he could not support the application because he found it an unnecessarily complicated structure and design that did not blend well with the neighborhood. He said the carport had no historic precedent, even for storing hay, and the addition of the barn and how that would get utilized would mean concessions in the interior. He said he didn't see the project as cleaning up the site or making the building more compatible with the others around it or making it more valuable to the applicant or the community. Vice-Chair Doering said she was concerned about a lot of the things Mr. Adams was and thought it would be better to simplify and leave the buildings separate. Councilor Blalock said he would support it because the history of what happened was still there. Ms. Bouffard said it was a complicated property but the applicant wanted more space and wanted to save the buildings instead of demolishing them.

*The motion **passed** by a vote of 5-2, with Mr. Adams and Vice-Chair Doering voting in opposition to the motion.*

Mr. Ryan resumed his voting seat and Ms. Bouffard returned to alternate status.

3. Petition of **Michael B. Myers and Stephanie G. Taylor, owners**, for property located at **700 Middle Street**, wherein permission is requested to allow the installation of rooftop mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 and Lot 29 and lies within the General Residence A (GRA) and Historic Districts.

### **SPEAKING TO THE PETITION**

The applicant wasn't present.

### **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **postpone** the petition to the end of the meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

**Note:** At the end of the meeting, the applicant still had not appeared, so the following motion was made:

*Ms. Ruedig moved to **postpone** the petition to the November 1 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

4. Petition of **Russell Serbagi, owner**, for property located at **306 Marcy Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace all windows on the structure and replace clapboard siding as needed) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 and Lot 75 and lies within the General Residence B (GRB) and Historic Districts.

#### **SPEAKING TO THE PETITION**

The applicant Russell Serbagi was present and said he was also one of the condo association board members. He said he wanted to replace 36 double hung windows with Marvin Elevate ones with half screens and also replace the exterior trim. He said there were 11 windows with ornate cornice headers that would remain and some carved head casings would also remain. He said the two transom windows on the south elevation would be replaced with Marvin Elevate windows as well and that the siding on the front and some of the north side would be replaced.

Ms. Ruedig said the windows on the sides shown in the photo before the condo conversion was done looked simpler and didn't have band moldings, and she thought keeping it simple might be better. Vice-Chair Doering said the specifications noted a stone white exterior. Mr. Serbagi said he originally wanted to do it in white but preferred black. Chair Wyckoff said the screen situation on the specs was vague. Mr. Serbagi said they would have screens.

Chair Wyckoff opened the public hearing.

#### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Wyckoff closed the public hearing.

#### **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulations**:*

- 1. The windows shall be all black.*
- 2. The jamb liners shall be black.*
- 3. If window screens are installed, they shall be half-screens.*

*Vice-Chair Doering seconded.*

Ms. Ruedig said everything would be replaced in kind. She said the project would preserve the integrity of the District and have compatibility of design with surrounding properties.

*The motion **passed** unanimously, 7-0.*

5. Petition of **Lawrence C. Barr and Donna Novelli, owners**, for property located at **39 Chauncey Street**, wherein permission is requested to allow the installation of rooftop mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 134 and Lot 31 and lies within the General Residence A (GRA) and Historic Districts.

## **SPEAKING TO THE PETITION**

The solar panel representative Kayla Harding was present on behalf of the applicant and reviewed the petition. She said all the permits were submitted and they already had approved panels on a South Street home.

Ms. Ruedig asked what the panels would look like. Ms. Harding said they would be black on black with a skirt on the bottom. Mr. Adams asked if there were connection materials that would go up the side of the building. Ms. Harding said there would be a conduit with an option of where to place it. She noted that the house was on the edge of the Historic District and that the street wasn't heavily used, and that the panels were a 25-year program and would only be on the sides of the house. Chair Wyckoff said the house's back corner was within the 100-ft spacing that Middle Street had. There was discussion about the boundary lines from Middle Street. Ms. Ruedig said she could support the petition because the house was barely in the Historic District. Vice-Chair Doering said it was a good situation for the back-of-the-house criteria.

Chair Wyckoff opened the public hearing.

## **SPEAKING IN FAVOR OF THE PETITION**

Andrew Bagley of 40 Chauncey Street said there were only six houses on the street and that he lived on the side that was not in the Historic District. He said the applicant lived on the side that was in the District and that it wasn't fair if he could have solar panels and the applicant couldn't.

## **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one else spoke, and Chair Wyckoff closed the public hearing.

## **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **grant** the Certificate of Approval for the petition as presented, seconded by Councilor Blalock.*

Ms. Ruedig said the project would have compatibility of innovative technologies and conservation and enhancement of property values. She said the house was barely in the District and would have no effect on the District. Mr. Ryan agreed, given the special factors that the house itself was not in the District, but he cautioned that the Commission would see a lot more applications for solar panels in the future.

*The motion **passed** unanimously, 7-0.*

**Note:** At this time, the applicant for **700 Middle Street** did not appear at the meeting.

*Ms. Ruedig moved to **postpone** the petition to the November 1 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

## V. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **John Galt, owner**, for property located at **14 Market Square**, wherein permission is requested to allow new construction to an existing structure (add rooftop addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 29 and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts.

[Timestamp 3:13:36] Architect Tracy Kozak was present on behalf of the applicant. She reviewed the petition, noting that the existing parapet would not change. She explained how they would improve the roof drains and cut an opening on the south side to get a roof hatch. She said they proposed six rooftop a/c condensers and a new heating systems and that the three restaurants fans would stay. She said the penthouse would be glass and access the flat roof area.

Mr. Adams asked if it would be clad with metal, and Ms. Kozak said it would be metal or copper but could match the metal roofing. The roof hatch and stair access were discussed. Mr. Adams asked if a rack would be made to put the a/c units on. Ms. Kozak agreed and said it would be a steel metal grate supported by small sections of structural steel. She showed 3D street views and said the door had two sidelights. Mr. Ryan said he wished some architecture could be put up there to hide the mechanical work and platforms. Mr. Adams asked what was meant by the term 'removed portion of sloped roof'. Ms. Kozak said it was the hatch. Councilor Blalock asked what the front part would be, and Ms. Kozak said it would be roof drains all below the parapet.

There was no public comment.

*Vice-Chair Doering moved to **close** the work session, seconded by Councilor Blalock. The motion **passed** unanimously.*

## DECISION

Ms. Kozak said they would be back at the November 1 meeting.

## VI. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Novocure, Inc., owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow the installation of animated direct illumination signage as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 and Lot 1 and lies within the Downtown Overlay, Character District 5 (CD5), and Historic Districts.

[Timestamp 3:25:50] Mike Ambrogi, part of the leadership team at Novocure, was present, along with Steve Smith, Associate Director of North American Facilities for Novocure, and Attorney Chris Mulligan as counsel. Mr. Ambrogi said the building would serve as Novocure's North American Headquarters and that the goal was to connect Novocure to the community by engaging pedestrians and showcasing the diverse identities of Portsmouth. He said they envisioned a series of changing screens that would tell the story as people walked by. Mr. Smith

said the building was approved for eight large windows and designed for a retail building, so the challenge was how to use that to get their message across. He said they proposed to put 65” animated and illuminated screens in each window and adjust the pictures throughout the day. He showed a video of what it would look like. He said it could be shut off at night and that the colors could be changed.

Mr. Adams said if people didn’t look at the screens, they would be looking inside a sterile box of a room inside the windows. Mr. Ambrogi said they hired museum designers to help build out the front so that it would look presentable. Mr. Smith said they would have a human factors lab on the first floor that would look interesting. Mr. Adams said Portsmouth didn’t have a history of that. Chair Wyckoff said curtains could be placed on the inside. Mr. Smith asked if it would be more appealing to have it recessed a bit, and it was further discussed. Vice-Chair Doering said there was a firm in Portsmouth that could help to bring out the modern bit but not be flashy. Mr. Ryan suggested a translucent wall system to obscure what was behind the wall but still show activity and an occupied space. Mr. Ambrogi said the intent was to put local rotational art on the former Whale Wall and that they would figure out how to make the building look alive and not like a sterile closet with a television in it. Councilor Blalock said it could set a precedent with restaurants wanting to show their dishes on televisions in their windows. Mr. Smith said the challenge was having 20 windows of that size on the first floor around the building, and it was further discussed. Ms. Ruedig asked if the designs could change. Mr. Smith said the design was approved. Ms. Ruedig said she was concerned with the illumination at night and thought it would be incongruous with the rest of the downtown area to have one building suddenly have all those screens when none of the other ones did. Mr. Ambrogi said they wanted to put pictures up like pieces of art and change them so that people didn’t see the same thing every time.

### **Public Input**

Larry Booz said he was the new HDC alternate and thought the solution to tying in Novocure and the history of Portsmouth would be using different themes in different windows, like Novocure in one, Prescott Park in another, and so on. He said it would draw attention to the building and could be like a news outlet for the community.

### **DECISION**

The applicant said they would continue the work session to an indeterminate time.

### **ADDITIONAL ITEMS (not on the agenda)**

Vice-Chair Doering handed out information to the Commission and said 11 properties were toured and there were questions and criteria that everyone answered on a scale of one to five as to how the building fit into the neighborhood. She said she also took the ratings for mass and façade and added them together for the building, and the higher the number, the more approval was rated on that building. She said a building that had a high rating approval of the mass and façade also had a correlation to whether the Commission would approve a similar building. It was further discussed. [Timestamp 3:54:48]

Chair Wyckoff discussed how the Demolition Committee was affected by a City Council change in 2019 and how an applicant would go before the Board of Adjustment for a new house and that demolition was part of the application. He said people might not be aware that a house was going to be torn down because of other items on the BOA's agenda, and he thought that was the reason why the original Demolition Committee had a function. [Timestamp 3:58:34]

## **VII. ADJOURNMENT**

The meeting was adjourned at 10:40 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

**MINUTES OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**November 01, 2023**

**MEMBERS PRESENT:** Chair Jon Wyckoff; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Reagan Ruedig, Martin Ryan, David Adams, Dr. Dan Brown, and Alternates Karen Bouffard and Alternate Larry Booz

**MEMBERS EXCUSED:** None.

**ALSO PRESENT:** Izak Gilbo, Associate Planner, Planning Department

.....

Chair Wyckoff called the meeting to order at 6:30 p.m. He introduced the new alternate member, Larry Booz. Councilor Blalock was due to arrive later in the evening, and Alternate Ms. Bouffard took a voting seat until then.

**I. ADMINISTRATIVE APPROVALS**

**Note:** Items 1, 8, and 12 were pulled out for separate review and voting, so the items were not reviewed in sequence.

**1. 169 Lafayette Road, Unit 2**

The request was approval for a fence installation for the applicant's portion of the condo association's yard. He said two options were submitted. Vice-Chair Doering said she preferred the wooden fence but was concerned about the placement of it because it came way forward into the front yard and wasn't consistent with the unit to the right. Mr. Ryan said the wooden fence didn't have the sense of a gate off to the side, so it might be workable. The owner Andrew Shane was present and said the fence would be 6 to 8 feet off the road lined with shrubs. Vice-Chair Doering asked if the fence would be in front of behind the two mature trees. Mr. Shane said it would be in front of the larger tree but behind the taller tree. Vice-Chair Doering asked if the fence's height would change going further to the left. Mr. Shane said it would not because it would stay off the slope. Ms. Ruedig said she had no problem with the location but preferred wood because there were more wooden fences on the street. Mr. Adams said it would be a third kind of fence on the exterior of the house and found it hard to believe that there was ever a multitude of fences on that property. He said different kinds of fences going around the property seemed contrary to the District's historic fabric.

*Ms. Ruedig moved to approve the item, with the following stipulation:*

- 1. The fence shall be wood.*



*Mr. Ryan seconded the motion. The motion **passed** by a vote of 5-2, with Mr. Adams and Vice-Chair Doering voting in opposition.*

**2. 466 Marcy Street - Request to Postpone**

*Mr. Ryan moved to **postpone** the request, seconded by Ms. Ruedig. The motion **passed** unanimously, 7-0.*

**3. 260 Marcy Street**

Mr. Gilbo said the applicant decided to forgo the stairway and the existing fence would stay, so the request was just to replace the concrete retaining wall. The applicant Jeff Dorow was present and said the wall would be replaced with antique-looking granite blocks and would be deep then would slope down a bit. Mr. Gilbo added that the design was vetted by DPW and that approval was needed for the wall being in the City's right-of-way.

**4. 70 Maplewood Avenue**

Mr. Gilbo said there were several design changes that included window and storefront dimensions, the elevator height increase, and minor window and door location updates. Vice-Chair Doering said it looked like some windows were separated in one spot. Mr. Gilbo said that row of windows had been narrowed and a mechanical rail screening and louvers were added. Ms. Ruedig said the most obvious change was the window adjustment on the Maplewood Avenue side, showing a lot more brick wall and tiny windows.

Project architect Carla Goodnight was present. She said the windows were five feet wide in the original approval and were now four feet wide. She said the smaller windows on the Maplewood Avenue elevation were modified for interior changes. Ms. Ruedig said she was bothered by the blank brick wall with recessed brick windows and thought another window there might help. It was further discussed. Mr. Ryan said it looked more traditional and historic with less glass. Mr. Brown agreed and thought it related more to the railroad, so he could accept it.

**5. 500 Market Street, Unit 10R**

**6. 500 Market Street, Unit 12R**

The two items above were reviewed together. Mr. Gilbo said the request was to replace the windows and patio doors of both units in kind with the existing ones. Chair Wyckoff noted that the photo showed a structural element on Unit 10R that he didn't remember being presented to the Commission previously and he asked that Mr. Gilbo check on it.

**7. 48 South Street**

Mr. Gilbo said the windows and siding were rotted and needed to be replaced and that the applicant proposed Marvin Elevate windows with the same pattern. The neighbor Lou Harriman of 57 South Street was present on behalf of the owner and said the project was only on the front and left sides. He said there were various types of storms on some of the existing windows. Vice-

Chair Doering suggested stipulating that the new windows would have half screens. Mr. Adams asked if it would be pine or cedar siding. Mr. Harriman said he wasn't sure but there was cedar on the house with a sharp edge. Mr. Adams said a highly spirited reveal program was used on the house when it was re-cladded in the mid-70s and wondered what it would like if only part of the building was being re-sided. Ms. Ruedig asked if the windows were original. Mr. Harriman said they were original BROSCO windows from the 1970s.

**Stipulation:** the windows shall have half screens.

**8. 50 South School Street, Unit 3**

The request was to install a black EV charger on a post adjacent to Unit 3's driveway and walkway. Vice-Chair Doering said the vegetation shielding the charger would not always be green and wanted to know if there were other location options. Mr. Gilbo said a previous option proposed was on the other side of the driveway on the property line but would have required a variance from the Board of Adjustment. He said it also would have been more out in the open and would not have been able to be attached to the side of the home due to the cable length.

*Ms. Ruedig moved to **approve** the request as presented, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

**9. 40 Market Street**

The request was to install an HVAC condenser for the top level unit on the back side. Mr. Gilbo said it would be high up on the wall and not as visible as the previous location that was proposed on the side. He said the other mechanicals would be the same height as the condenser.

**10. 795 Middle Street**

Mr. Gilbo said the applicant was before the Commission a few months before for a fence design and that the fence would be the same material and spacing but without the scalloped top.

**11. 111 State Street**

Mr. Gilbo reviewed the changes from the previously-approved petition that included the following: the rear addition of the shed dormer over the egress would increase; the roof pitch changed; the elevator overrun was raised by twelve inches; a proposed door on the Sheafe Street porch was replaced with two 6/6 windows; four side windows on the Sheafe Street addition were shifted apart and two center windows were removed; a bike rack was added at the rear porch; and a roof access hatch was added. The project architect Tracy Kozak was present. Chair Wyckoff asked if there was a change in the footprint, and Ms. Kozak said there was not.

**12. 425 Islington Street**

The request was to replace the eight vinyl windows on the second floor with similar vinyl windows. Ms. Ruedig said she'd like to see a higher quality replacement window if it had to be

vinyl and a 2/2 instead of a 1/1 configuration, and she suggested that the applicant research it more. Vice-Chair Doering agreed. Mr. Adams thought the current windows were a replacement frame and window and that a sash replacement window would be better.

*Mr. Adams moved to **table** the item so that the applicant could research it further and return with a different option. Ms. Ruedig seconded. The motion **passed** unanimously, 7-0*

### **13. 33 Johnson Court**

The request was to replace the second-floor deck and railing with a Trex material.

### **14. 113 Daniel Street**

The request was to remove the existing chimney due to water damage. The owner was present and said one of the chimney's bricks fell on his neighbor's property, so he wanted to bring the chimney down a few inches off the top to make it more stable. He said it was only a partial removal and that he would replicate the current top of the chimney.

### **15. 411 The Hill**

The request was to install two HVAC condensers. Mr. Gilbo said there would be some vegetation screening and the right-hand side would be more visible. Ms. Ruedig said she'd prefer wood screening because vegetation could go away. Mr. Adams said the building was very visible and he didn't want to see two boxes on each side. Chair Wyckoff said it could be just a section of a fence. Vice-Chair Doering suggested that the applicant come back with a screening option.

**Stipulation:** the applicant shall return with a wood screening option for the two condensers.

The Commission voted on the following items as a group:

*Vice-Chair Doering moved to **approve** Items 4, 5, 6, 7, 9, 10, 11, 13, 14, and 15, with stipulations on Items 7 and 15. Ms. Ruedig seconded. The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition to the motion.*

## **II. PUBLIC HEARINGS (OLD BUSINESS)**

**A.** Petition of **202 Court Street Property Group, LLC, owner**, for property located at **202 Court Street**, wherein permission is requested to allow exterior renovations to an existing structure (install HVAC condensers with fencing and roof mounted solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 35 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

### **SPEAKING TO THE PETITION**

The contractor Matt Silva was present on behalf of the applicant. He said the HVAC equipment would be heat pump units and would be on the front of the building and shielded by a fence, with

one mounted to the building and one to the fence. He said the fencing would be white cedar but noted that the house next door had a horizontal black fence, so he wanted feedback from the Commission as to whether they would prefer more of a clear stained cedar fence to match that fence. He said the solar panels would be on the most visible side of the building due to the unit purchaser's preference. He said there would also be architectural changes to the building's exterior, windows, and venting. He said they wanted to install gas lanterns on both sides of the front door and one on the side, noting that gas lanterns were original features of the building.

Vice-Chair Doering asked if the solar panels were only on one side of the building. Mr. Silva said they were only on the south side facing the fire station. He said the upstairs unit would have about eight panels, and there would be more panels on the other side of the chimney for the downstairs unit. He said both owners agreed to have solar panels and that the panels would be black. Mr. Ryan asked Mr. Silva about the fencing. Mr. Silva said it would be a vertical white cedar fence six inches wide, or it would match the black horizontal fence on the adjacent unit.

Chair Wyckoff asked the Commission if they wanted to postpone the fence. Ms. Ruedig said she wanted to see the height and style specifications and a mockup of the gas lantern. She said she had a hard time with the most visible part of the roof being filled with solar panels and asked if some panels could be transferred to the back side behind the chimney. Mr. Silva said it would look disjointed, with some panels high and some low, and they would have to run horizontally instead of vertically. Mr. Booz asked if the panels would provide total or supplemental electricity. Mr. Silva said that space would not provide the total power that those units needed. Ms. Ruedig said she'd like to see a rendering of what it would look like from Court Street. Ms. Bouffard agreed. Mr. Booz said the middle one might not be needed if it was supplemental.

Chair Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR, AGAINST THE PETITION**

Lou Harriman of 57 South Street said he thought the Commission was wise to ask for sketches of views from Court Street.

No one else spoke, and Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulation**:*

- 1. The applicant will return for administrative approval for the solar panels, gas lighting, and fencing.*

*Mr. Ryan seconded the motion.*

Ms. Ruedig said the project would conserve and enhance property values and would have compatibility of innovative technologies with surrounding properties.

*The motion **passed** unanimously, 7-0.*

**B.** (Work Session/Public Hearing) requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (modifications to windows, skylights, door, canopy and railing design, size, and location) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts.

### **WORK SESSION**

The Commission and applicant decided that a work session wasn't needed and that they could go into the public hearing.

*Mr. Adams moved to **close** the work session, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

### **SPEAKING TO THE PETITION**

Ms. Ruedig noted that the previous work session ended with a legal question of whether the application would be considered a new one and that the Legal Department found that the previous approval would still stand and that the application would be focused on specific changes. She said enough time was spent at the previous work sessions to give citizens ample time to speak to those items.

Project architect Howard Spivak reviewed the proposed and previously approved items and the revised items relating to details and materials. [Timestamp 1:22:54]

Chair Wyckoff noted the gas lighting for a few outside fixtures and asked how they compared to the existing ones. Mr. Spivak said they were more aesthetically pleasing and gave off the same light. Vice-Chair Doering asked if any windows opened on the solarium that would need screening. Mr. Spivak said they were just doors and if they needed screens, they would have to go on the inside. He said the double hung windows would have half screens. Mr. Adams asked if the applicant would take responsibility for flashing the neighbor's roof in building the parapet. Mr. Spivak said it was negotiated with the neighbors and the flashing was agreed to.

Chair Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR, AGAINST THE PETITION**

Jim Keane of 123 State Street said the HDC submittal requirements required a site plan about that type of a project but that there was nothing in the applicant's petition that was a site plan. He asked if the fire-rated windows aesthetically met the Commission's standards.

Architect Howard Spivak said the exterior of the windows would be made by Little Harbor and would match the look of all the other double hung windows on the house. No one else spoke, and Chair Wyckoff closed the public hearing.

## DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulation**:*

- 1. If the double hung windows have screens, they shall be half screens.*

*Ms. Ruedig seconded the motion.*

Mr. Ryan said the project was in keeping with the surrounding neighborhood. He noted that there had been a lot of discussion from the abutters on Sheafe Street that Sheafe Street is a particular kind of street, but he felt that it was a two-sided street – the formal side, and then the back side of the houses facing State Street, which he felt the project was in keeping with. He said the scale and massing were appropriate and the project had some modern accents to it that weren't in the previously-approved version but he believed that it preserved the integrity of the District and was consistent with the special and defining character of the surrounding properties. Ms. Ruedig clarified that it was a vote on the modifications to the original approval and said the modifications were acceptable to the previously-approved design. Mr. Adams said he was pleased with the applicant's process but still had heartburn over the heavy-handed placement of the skylights sectioning the roof of the building to the point that it looked unlike any other building in town. He said he had no desire to see a row of windows sectioning the kitchen ell into two halves and didn't think it was appropriate with the special and defining character of the neighborhood and the buildings that surrounded the home.

*The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition to the motion.*

**C.** Petition of **Michael B. Myers and Stephanie G. Taylor, owners**, for property located at **700 Middle Street**, wherein permission is requested to allow the installation of rooftop mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 and Lot 29 and lies within the General Residence A (GRA) and Historic Districts.

## SPEAKING TO THE PETITION

The solar contractor Joseph Deluca was present on behalf of the applicant. He reviewed the petition and explained why it was necessary to put the panels on three certain sections of the roof that had different pitches. [Timestamp 1:43:10]

Dr. Brown asked if the tree on the corner of Middle and Aldrich Streets was owned by the City. Mr. Deluca said it was the applicant's tree. Dr. Brown said that tree blocked quite a bit. Mr. Deluca said the tree was oak, so it would lose its vegetation in the winter. He said both trees provided natural cover except in the winter. Ms. Ruedig said the panels were very visible and would be seen on that side of the house six months out of the year. Mr. Booz agreed and suggested putting the panels on the left-hand side. Mr. Deluca said the panels should be south-facing and the south face was the most visible. He said the western side of the roof wasn't large enough for the number of panels needed, and it was further discussed. Mr. Ryan said the home was beautiful and thought the panels would look atrocious on it. He said he could not support the

petition. Mr. Adams asked how big the control surfaces were. Mr. Deluca said they were larger than a main surface panel in a home. He said the wiring would start in attic space and drop down into the soffits then run parallel to the gutter along the back side of the building as conduit. He said the brackets would match the color of the home and would be painted by the owner.

Chair Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR, AGAINST THE PETITION**

No one spoke, and Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the application as presented for purposes of discussion, seconded by Vice-Chair Doering.*

Dr. Brown said the panels would be very visible six months out of the year and a flash would be seen coming down Middle Street. Mr. Ruedig said it would be too visible. Vice-Chair Doering said she had nothing to add. Mr. Adams said the house was very nice and well sited, and a flashing surface seemed wrong for the District. Ms. Bouffard said she could not support it. Chair Wyckoff reminded the Commissioners that in the past they said solar panels were removable, and he thought that made a difference and that they could be replaced when another technology came along. He said he had to support them and wasn't offended by the look of them. He noted that all houses had an electric meter on the corner. Dr. Brown said in ten years there would probably be solar shingles or screens and some big changes, but he thought it was better to preserve the District for ten years and wait for better technology.

*The motion failed by a vote of 6-1, with only Chair Wyckoff voting in approval of the motion.*

### **III. PUBLIC HEARINGS (NEW BUSINESS)**

**1.** Petition of **Stephen and Kathryn Singlar, owners**, for property located at **39 Holmes Court**, wherein permission is requested to allow new construction to an existing structure (add a recessed shed dormer) and renovations to an existing structure (replace windows and trim, remove chimney and replace with faux chimney) and the installation of mechanical equipment as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 13 and lies within the General Residence B (GRB) and Historic Districts.

The owner Stephen Singlar was present, along with the architect Brenda McNamara. Mr. McNamara said the removal of the asbestos shingles would return the house to a wooden shingle appearance, and they wanted to add a recessed shed dormer and replace the existing chimney to a faux chimney and add a heat pump.

Mr. Adams said he remembered discussing windows on the water side of the building. Mr. McNamara said windows were added on the east elevation and the owners decided not go add windows on the water side. Mr. Adams asked why the applicant thought shingles were more



appropriate than clapboards. Mr. McNamara said he thought it was originally shingled and didn't believe it was ever clapboarded. It was further discussed. Mr. Adams said it was clapboarded under the asbestos shingles, which he found out by looking under a loose piece of siding by the water. Vice-Chair Doering asked where the heat pump would be located. Mr. McNamara said it would be on the water side of the house and didn't plan on screening for it because the screening would be in the middle of the properties. Vice-Chair Doering said the owner might not always own both properties and a new neighbor might feel differently. Ms. Ruedig asked the applicant if he would consider going to clapboards if he investigated what was under the current siding and found that it was clapboards. Mr. McNamara said it would be up to the owner. He said they didn't look under the shingles because they were asbestos, but they assumed the shingles replicated what was beneath them. Mr. Singlar said he would prefer to keep what was proposed.

Chair Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR, AGAINST THE PETITION**

No one spoke, and Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the application as presented, seconded by Dr. Brown.*

Mr. Ryan said he took no exception to cedar shingles, given the quality of the restoration and what was being brought back. He said the project would preserve the integrity of the District and would be consistent with the special and defining character of the surrounding properties.

Mr. Adams said, relating to the special and defining character of the neighborhood, that clapboard houses were part of the District. He said the integrity of that particular building was that it was a clapboarded building and also had corner boards and vertical elements that created a blending of horizontal and vertical. He said the house next to it was identical and had a special character and had been issued the same plans. He said there was a departure that didn't need to be done. He said there were some issues with the current siding but thought the major issue with the siding that drove it to be re-sided was that the owner was tired of painting it. Mr. Ryan said he thought all the corner boards were gone. Mr. Adams said he saw one corner board. Vice-Chair Doering said the Commission encouraged other applicants to go back to the original when there was clear evidence and that the Commission was departing a bit from that norm if they did not request that the owner do the investigation and return to tell the Commission what they found and if they still wanted to proceed with the shingles. Mr. Ryan suggested adding a stipulation that the applicant return for an administrative approval after investigating what was under the shingles, and it was further discussed. [Timestamp 2:12:20]

*Mr. Ryan **amended** his original motion as follows:*

***Mr. Ryan moved to grant the Certificate of Approval for the application as presented, seconded by Dr. Brown, with the following stipulation:***



1. *The Applicant shall reveal the siding that exists under the asbestos siding and shall return for Administrative Approval if they choose to use a different style.*

***The motion passed unanimously, 7-0.***

**Note:** At this point in the meeting, City Council Representative Blalock arrived at the meeting and Ms. Bouffard returned to alternate status.

**2. REQUEST TO POSTPONE-** Petition of **Joseph Cunningham, owner, and Jane Myers Vanni, perspective buyer,** for property located at **195 Washington Street**, wherein permission is requested to allow renovations to an existing structure (repair rot on the front entryway, siding and trim, remove and replace stairs, replace roofing, and install gutters) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 78 and lies within the General Residence B (GRB) and Historic Districts.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **postpone** the petition to the November meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

**3.** Petition of **Anne F. Moody Living Trust, Anne F. Moody Trustee, owner,** for property located at **180 New Castle Avenue**, wherein permission is requested to allow the installation mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 23 and lies within the Single Residence B (SRB) and Historic Districts.

### **SPEAKING TO THE PETITION**

The owner Anne Moody was present via Zoom and said she wanted to install solar panels on the back side of her property. She said they would be visible to the neighbors but not from the street.

Vice-Chair Doering said the panels appeared to be random. Ms. Moody said there were some vents that made for a weird conglomeration of panels and a grid pattern couldn't be done but that it would function the way it was supposed to. Ms. Ruedig said the panels were hidden from the main views, so she was comfortable supporting the petition. Mr. Ryan said there were no architectural materials to judge the addition of solar panels to the historic home and that he would want to see what the view would be from the side street. He said it was a historic house in the Historic District and couldn't support the petition with all those panels placed like that. Councilor Blalock said he could support it because the panels were hidden enough from the main view. Mr. Adams said the panels were too hodgepodge and would like to see it cleaned up a bit, and he also wanted a better idea of how reflective it would be. Mr. Booz said the panels would stand out because they would be dark on a light gray roof. It was further discussed. Ms. Moody said she was trying to find a balance between historic and progressive. Mr. Ryan said the Commission cared about the environment but their role was to protect the Historic District. Chair Wyckoff opened the public hearing.

## **SPEAKING TO, FOR, OR, AGAINST THE PETITION**

No one spoke, and Chair Wyckoff closed the public hearing.

## **DECISION OF THE COMMISSION**

*Councilor Blalock moved to **grant** the Certificate of Approval for the application as presented, seconded by Ms. Ruedig.*

Ms. Ruedig encouraged the applicant to simplify the grid layout on the back if possible and said it was not a stipulation.

Counselor Blalock said the project would preserve the integrity of the District and would have compatibility of innovative technologies with surrounding properties. Vice-Chair Doering said she was supportive of putting panels on the back of the house but thought the solar panel design fell within the Commission's purview and that they should be more aesthetically pleasing and work better with the color of the roof. Councilor Blalock said it was the back of the house.

*The motion **failed** by a vote of 4-3, with Dr. Brown, Mr. Ryan, Vice-Chair Doering, and Mr. Adams voting in opposition to the motion.*

## **IV. WORK SESSIONS (NEW BUSINESS)**

**A.** Work Session requested by **Novocure, Inc., owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow new construction to an existing structure (construction of a rooftop pavilion) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within Character District 5 (CD5), Downtown Overlay and Historic Districts.

### **WORK SESSION**

[Timestamp 2:34:14] Dean Smith, Associate Director of North America Facilities for Novocure, and architect Mark Mueller were present. Mr. Smith said they took the Commission's previous feedback on the flat roof vs. the sloped roof and decided to go with the sloped roof, which was approved by the BOA. He said they wanted to review the final design that evening. Mr. Mueller reviewed the roof pavilion and said the center third of the floor plan would be an opaque cover and have a standing seam metal roof in gray copper in the same plane as the glazing. He said it would conceal mechanical equipment and reduce the amount of solar gain from sunlight. Mr. Adams asked about the transition from the metal to the glaze. Mr. Mueller said it would be a subtle plane change of an inch and a half. He reviewed the elevations and said there were several existing structural columns that dictated where new structural columns could be brought down and that they would come down directly on top of the existing column grid. He said the new pavilion structure would have two large center bays that were folding glass doors that would open. He said the two smaller bays on the outer edges would have at least one swinging door in that bay as a means of egress from the deck. On the roof surface, he said there would be a 10-ft setback from the parapet all the way around and there would be a green grid roof and an exterior

wood deck just outside the pavilion. He said the center element with the three windows was the side of the small appurtenance that was part of the original design and was a means of egress. He showed the views of the rooftop pavilion and said it was set back enough that its visibility would be reduced. He said the corner element would look historic.

Vice-Chair Doering asked if there was a specification for the final glazing. Mr. Smith said they were working with different vendors. Mr. Mueller said they were not trying to create a mirrored glass look but wanted it to look like historic glass. Mr. Adams said old photos of that kind of structure showed ribs visible to the surface, and it was further discussed. Mr. Mueller said the surface of the glass could be treated with a frit. Mr. Boze said he liked the pavilion and thought it looked like a London botanical structure. Councilor Blalock said he liked the idea of an active rooftop and liked the green roof going around the pavilion and the fact that the pavilion was set back. Vice-Chair Doering asked if the railing would be metal or wire. Mr. Smith said they weren't sure. Mr. Mueller said part of the railing system would have a light bollard to cast a little light on the deck. Mr. Ryan said he thought the pavilion was developing nicely, but he objected to how the stair enclosure met the glass pavilion and asked if there was a way to blend it in better. Mr. Mueller said they had a sloped roof before and went to a flat roof because the sloped roof would make glazing around the pavilion more complicated. He said the intent was to create a simple flat lid to let the glazing run uninterrupted. He said it would still have a continuous frieze, the same gutter system, and so on. He said they would look into refinements, however. Vice-Chair Doering asked if there was enough height to hit the ends. Mr. Mueller said they would have more height than needed on one side and would be pinched to have just the right amount of height on the other side. He said they would take a second look at it to see if they could lower it.

There was no public comment. The applicant said they would return for a work session/public hearing.

## **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **close** the work session, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

## **V. ADJOURNMENT**

The meeting adjourned at 9:34 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

# HDC

## ADMINISTRATIVE APPROVALS

December 06, 2023

- |     |                           |                       |
|-----|---------------------------|-----------------------|
| 1.  | 466 Marcy Street          | -Request to Postpone  |
| 2.  | 425 Islington Street      | -Request to Postpone  |
| 3.  | 295 Maplewood Avenue      | -Recommended Approval |
| 4.  | 45 Market Street          | -Recommended Approval |
| 5.  | 135 Market Street, Unit B | -Recommended Approval |
| 6.  | 507 State Street, Unit 2  | -Recommended Approval |
| 7.  | 10 Ceres Street           | -Recommended Approval |
| 8.  | 138 Gates Street          | -Recommended Approval |
| 9.  | 111 State Street          | -Recommended Approval |
| 10. | 20 Congress Street        | -Recommended Approval |
| 11. | 242 State Street          | -Recommended Approval |

**1. 466 Marcy Street**

**-Request to Postpone**

**Background:** The applicant is seeking approval for the replacement of the front stairs.

**Staff Comment:** The applicant has requested to postpone to the January 03, 2024 meeting.

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**2. 425 Islington Street**

**-Request to Postpone**

**Background:** The applicant is seeking approval for replacement windows on the 2<sup>nd</sup> floor.

**Staff Comment:** The applicant has requested to postpone to the December 13, 2023 meeting.

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**3. 295 Maplewood Avenue**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of (1) window.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-700

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 10/27/2023

### Primary Location

295 MAPLEWOOD AVE  
Portsmouth, NH 03801

### Owner

35 PINES LLC  
295 MAPLEWOOD AVE #1  
PORTSMOUTH, NH 03801

### Applicant

Phyrom Oum  
 603-312-7206  
 poum@hjd.builders  
 27 Aspen Drive  
Somersworth, NH 03878

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Side window replacement

### Description of Proposed Work (Planning Staff)

## Project Representatives

### Relationship to Project

Other

If you selected "Other", please state relationship to project.

Builder/Contractor









Ricci Lumber  
105 Bartlett Street Portsmouth NH 03801

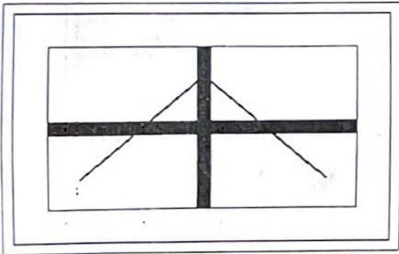
QUOTE BY : Ian Krause  
SOLD TO :  
PO# : IK-HJDBUILDERS  
Ship Via : Ground

QUOTE # : JW230800P75 - Version 0  
SHIP TO :  
PROJECT NAME : IK-HJDBUILDERS  
REFERENCE :

U-Factor Weighted Average: 0.27

SHGC Weighted Average: 0.17

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	Rough Opening : 27 X 17 3/4	Frame Size : 26 1/4 X 17 (Outside Casing Size: 32 1/4 X 20 15/16), Sitrine Wood Awning, Auralast Pine, Primed Exterior, Primed Interior, 3 1/2" Flat Casing, Standard Sill Nosing, DripCap, Brilliant White Drip Cap, 8 9/16 Jamb, 5/4 JE - 4/4 Reveal Thick, Venting, Nesting Crank Handle, Matte Black Hardware, 2 Locks, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial 2 Wide 2 High BetterVue Mesh Black Screen Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), U-Factor: 0.27, SHGC: 0.17, VLT: 0.40, Energy Rating: 16.00, CR: 61.00, CPD: JEL-N-882-02806-00001 PEV 2023.2.0.4290/PDV 7.017 (06/07/23)NW		1	\$1167.52
<b>Total:</b>					\$1167.52



Viewed from Exterior. Scale: 1/2" = 1'

**Total Units:** 1

**AuraLast** Protect yourself when you choose JELD-WEN AuraLast pine products backed by a limited lifetime warranty against wood rot and termite damage.

**4. 45 Market Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-703

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 11/7/2023

### Primary Location

45 MARKET ST  
Portsmouth, NH 03801

### Owner

C5 45 MARKET STREET LLC  
45 MARKET ST  
PORTSMOUTH, NH 03801

### Applicant

Shannon Alther  
 603-436-4274  
 pod1@tms-architects.com  
 1 Cate Street  
Portsmouth , NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Request for 3 items:  
Removal of rear chimney from project scope, Review of screens at Market Street and Review of Storefront element for project close in December 2023.

Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.



# 45 Market Street

Portsmouth NH

Chimney #1  
To Remain

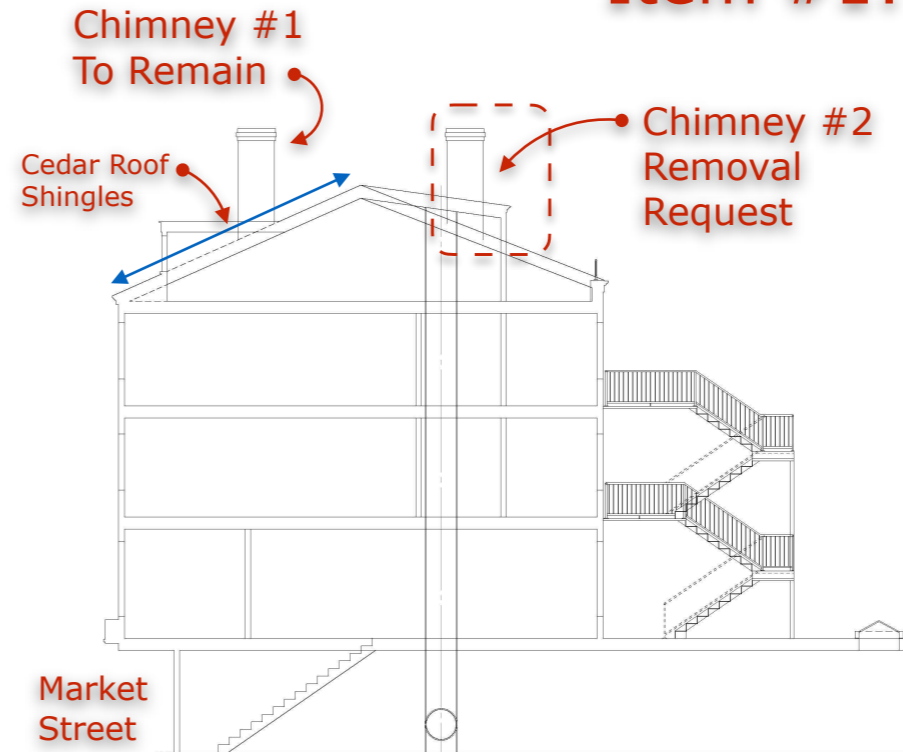


Previously Approved 10-7-2020 (LU-20-143)

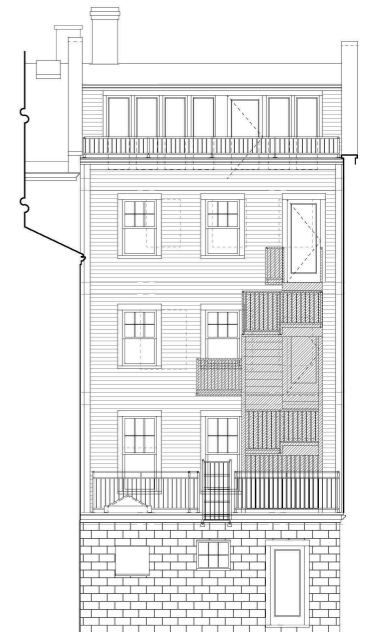
## Request:

- Asking for approval of rear (east chimney) to NOT be constructed
- Existing rear chimney was not needed for exhaust piping as originally intended. Is not facing Market Street.
- Project added Cedar Shingles at Market Street with earlier chimney work review with Nick C.

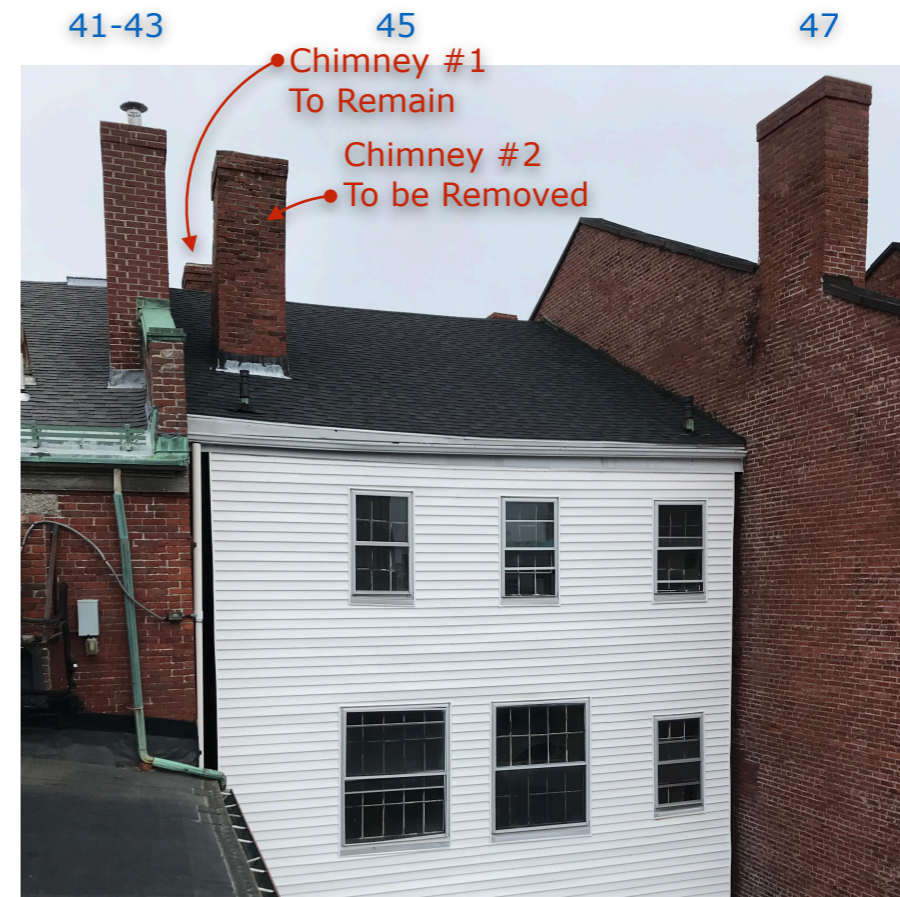
## HDC Application Addendum Item #1: East Chimney



Section



Rear Elevation

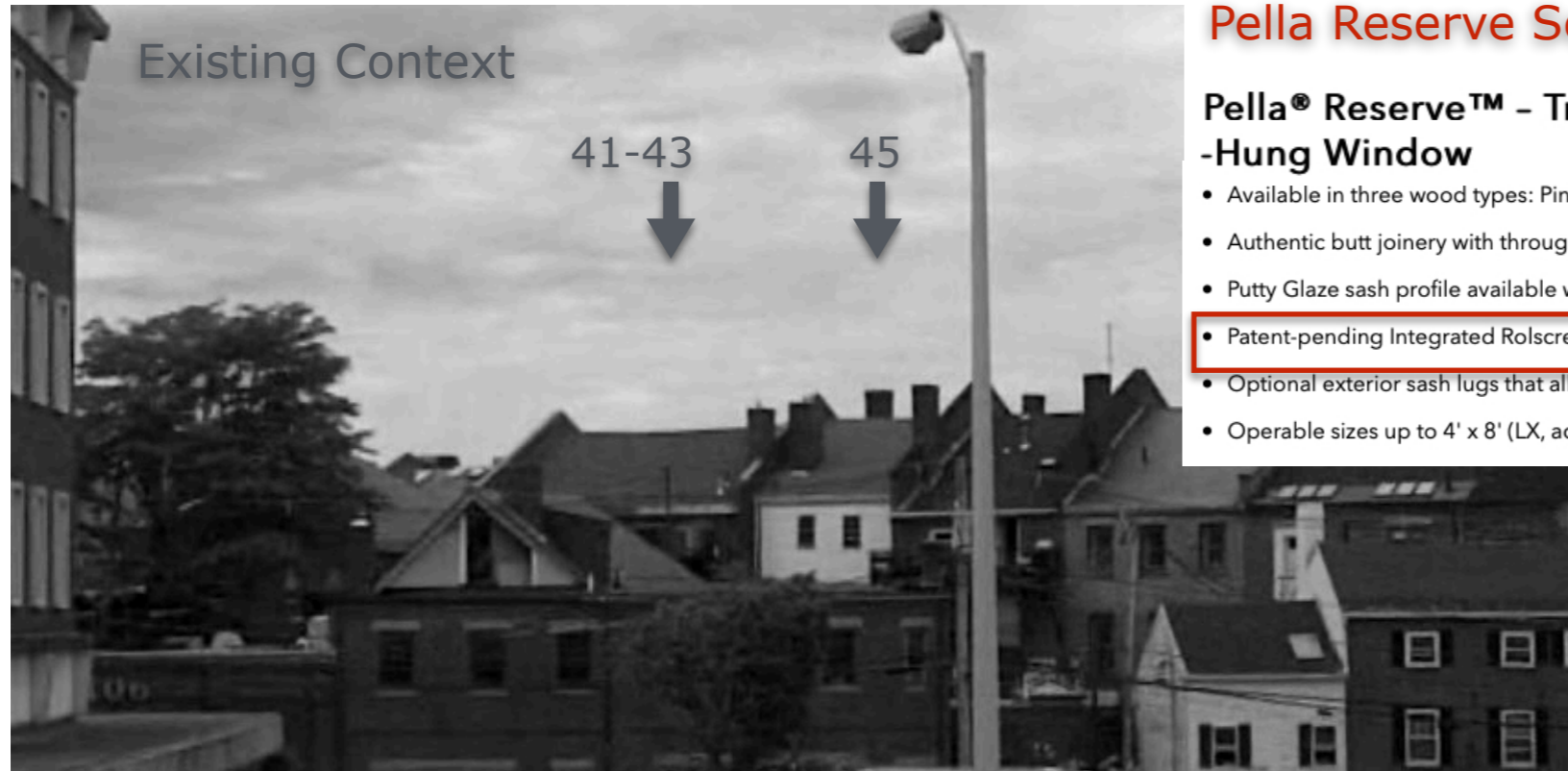


# 45 Market Street

Portsmouth NH

Early HDC Meeting, No specific review of screens. Did change Pella to Marvin due to Covid material delays. Reviewed with Nick C.

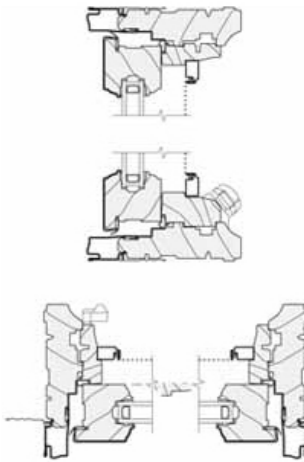
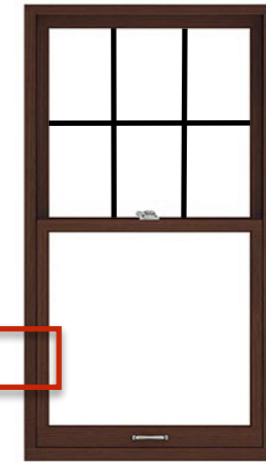
## HDC Application Addendum Item #2: Screens



### Pella Reserve Series (Black)

#### Pella® Reserve™ - Traditional Double-Hung Window

- Available in three wood types: Pine, Mahogany, and Douglas Fir.
- Authentic butt joinery with through-stile construction.
- Putty Glaze sash profile available with matching grilles.
- Patent-pending Integrated Rolscreen® retractable screen is optional.
- Optional exterior sash lugs that allow for tilting.
- Operable sizes up to 4' x 8' (LX, additional sizes in [Monumental](#))



### Siding / Trim

- Replace existing vinyl siding and trim with matching style / To-the-weather with James Hardie or similar material
  - Color of trim to be = White / Cream @ Front
  - Color of body to be = Pastel Color @ Front
  - Color of trim to be = White @ Rear
  - Color of body to be = White @ Rear
- Roofing material = Remains asphalt

### Gutters

- Remove existing gutters and replace in kind (size and style)
- Add new gutter material as needed for proper water flow
- Add necessary fasteners (matching style)

### Condenser Units

- New HVAC condensers with small footprint
- Coordinate new piping and conduits for least intrusive look





# 45 Market Street

Portsmouth NH

## HDC Application Addendum Item #3: Storefront

Previously Approved  
10-7-2020  
(LU-20-143)

- This image just shows Storefront
- Upper band and side columns not shown black here
- But they are black in photo



Updated Coloring  
Outline to Align  
with Actual Photo



10-20-2023 Photo

1. Less Glass at corners Due to Wood Construction
2. Slightly Raised Sill for Sprinkler Piping in Basement
3. Door Updates: With Nick C. Changed to:
  - Half Glass @ 47
  - Solid Door @ 45
  - Mimic 41-43 Doors
4. Add horizontal muntin, last thing to complete at close out



**5. 135 Market Street, Unit B**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of a roof hatch to access HVAC equipment.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



## LUHD-707

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 11/14/2023

### Primary Location

135 MARKET ST


Portsmouth, NH 03801


### Owner

Florence Ann Roskey

Market St 135 Portsmouth,  
NH 03801

### Applicant

 Florence Ann Roskey

 774-278-0323

 annroskey@yahoo.com

 135 Market St

Apt B

Portsmouth, NH 03801

---

## Application Type

Please select application type from the drop down menu below

Alternative Project Address 

Administrative Approval

---

## Project Information

### Brief Description of Proposed Work\*

Install a roof access window on the roof of the building to allow contractors to have safe access to the roof for repairs, maintenance and emergency egress. The window will be mounted in a position that is not visible from anywhere other than the roof. Of note, there are already 7 skylights installed on the roof top for Units A and B which are depicted in the attached drawing. A picture of the building is also included for reference.

 Description of Proposed Work (Planning Staff)

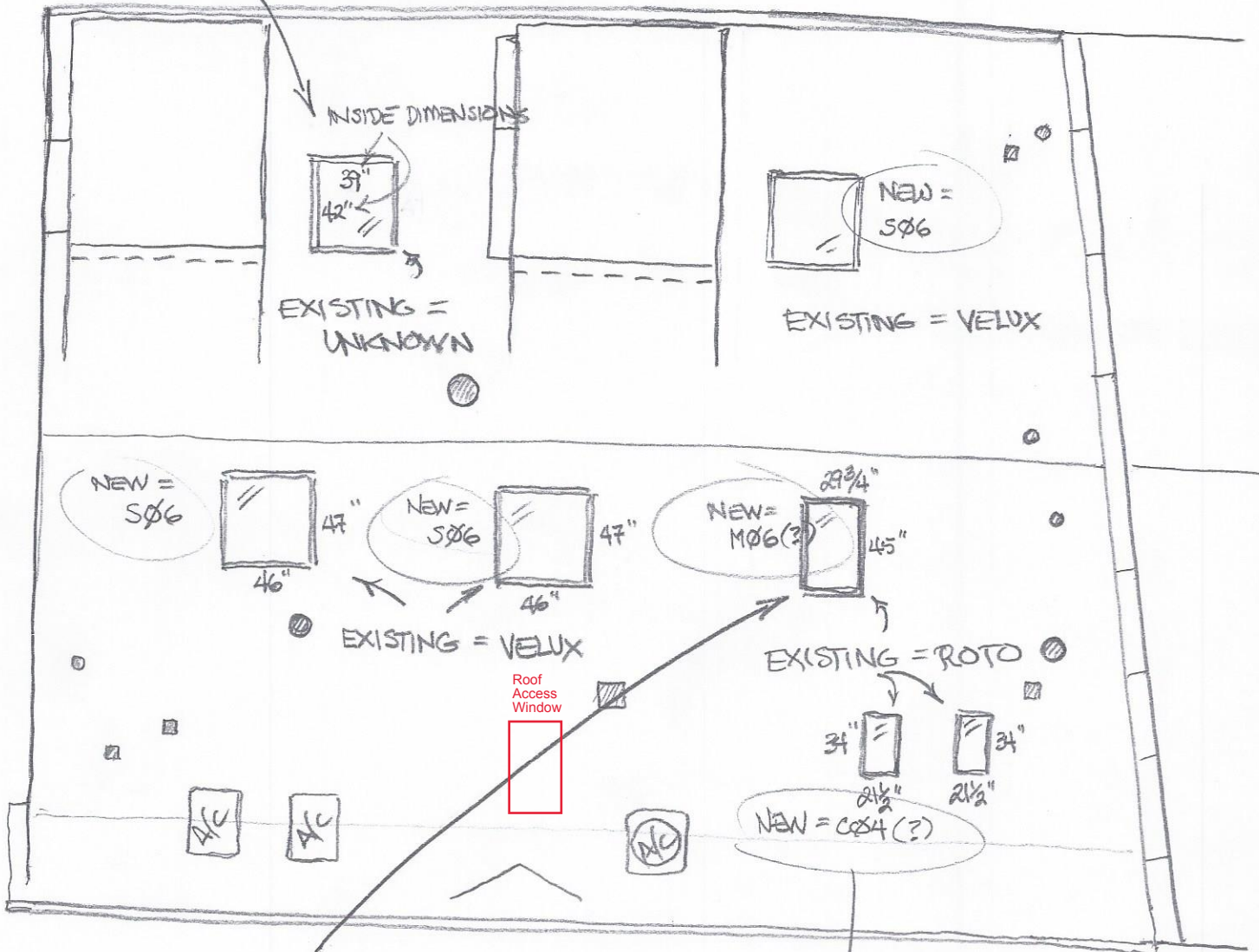
---

# JPK PROPERTIES

135 MARKET ST.  
PORTSMOUTH, NH 03801

← CERES ST →

\* NEW SØ6 IS 3" WIDER THAN EXISTING. NEXT SIZE DOWN IS APPROX 14" NARROWER.



\* MØ6 R.O. =  $30\frac{1}{16}'' \times 45\frac{3}{4}''$   
 NEXT SIZE DOWN IS MØ4, WHICH IS  $30\frac{1}{16}'' \times 39\frac{7}{8}''$   
 OR CØ4, WHICH IS  $21'' \times 37\frac{7}{8}''$

← MARKET ST →

\* CØ4 =  $21'' \times 37\frac{7}{8}''$  (R.O.)  
 NEXT SIZE DOWN IS CØ1  
 WHICH IS  $21'' \times 26\frac{7}{8}''$  (R.O.)





**6. 507 State Street, Unit 2**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of (2) entry doors.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-702

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 11/3/2023

### Primary Location

507 STATE ST  
Portsmouth, NH 03801

### Owner

HARE FAMILY REVOCABLE  
TRUST & HARE WILLIAM E &  
CATHERINE E TT  
507 STATE ST #2  
PORTSMOUTH, NH 03801

### Applicant

JAIME Morin  
 860-952-4112  
renewalbyandersen@gopermits.org  
 30  
Forbes Road  
NORTHBOROUGH, MA  
01532

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

TO REMOVE AND REPLACE (2) ENTRY DOORS. LIKE SIZE; NO STRUCTURAL ALTERATIONS.

Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

CONTRACTOR





**dba: RENEWAL BY ANDERSEN OF BOSTON**

Legal Name: Renewal by Andersen LLC | License # HIC# 170810  
30 Forbes Road | Northborough, MA 01532  
Phone: (508) 351-2200 | Fax: (508) 986-7072 |  
rbabostonoperationsarchive@gmail.com  
Measure Tech: Jesse Lawrence,

**William & Cathy Hare**

507 State St. Unit 2  
Portsmouth, NH 03801  
H: (714)514-7795

# Installation Package

---

507 State St. Unit 2

Portsmouth, NH 03801

---

PRODUCTS: 2 WINDOWS: 0 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 2  
*Updated 10/19/23*

---

BUYER

**William & Cathy Hare**

507 State St. Unit 2  
Portsmouth, NH 03801  
H: (714)514-7795  
Year Built: 2008  
billhare213@gmail.com

Est. Duration:

REPRESENTATIVE

**Steven Ramey**

(978)257-7668  
steven.ramey@andersencorp.com

TECH MEASURE

**Jesse Lawrence**

jesse.lawrence@andersencorp.com

**dba: RENEWAL BY ANDERSEN OF BOSTON**

Legal Name: Renewal by Andersen LLC | License # HIC# 170810  
30 Forbes Road | Northborough, MA 01532  
Phone: (508) 351-2200 | Fax: (508) 986-7072 |  
rbabostonoperationsarchive@gmail.com  
Measure Tech: Jesse Lawrence,



# Order Summary

dba: RENEWAL BY ANDERSEN OF BOSTON

Legal Name: Renewal by Andersen LLC | License # HIC# 170810  
30 Forbes Road | Northborough, MA 01532  
Phone: (508) 351-2200 | Fax: (508) 986-7072 |  
rbabostonoperationsarchive@gmail.com  
Measure Tech: Jesse Lawrence,

William & Cathy Hare

507 State St. Unit 2  
Portsmouth, NH 03801  
H: (714)514-7795

## ID# ROOM SIZE DETAILS

### JOB

<b>100</b>	Front	0"	0"	<b>Misc:</b> , Misc, ProVia, Entry Door System, Quantity 1, See attachment for details. Make size 37 9/16 x 84 11/16 Right hand inswing Jamb 7 1/8 <b>Construction:</b> , Entry Door (1), LSWP Hinged Door (1), R&R vinyl Siding - includes new J channel (1), Band (1), Out of area , (1) <b>Material:</b> , None
<b>102</b>	Back Door	0"	0"	<b>Misc:</b> , Misc, ProVia, Entry Door System, Quantity 1, See attachment for details. Make size 33 9/16 x 79 1/4 Right hand inswing Jamb 6 3/4 <b>Construction:</b> , Entry Door (1), LSWP Hinged Door (1), R&R vinyl Siding - includes new J channel (1), Band (1) <b>Material:</b> , None

PRODUCTS: 2 WINDOWS: 0 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 2

Updated 10/19/23

## JOB NOTES

LSWP

2 Provia doors.

Front door, pad up bottom so door panel will not drag. Also remove the padding from top of opening before installing our door.

Trim interior with primed 3 1/2 casings. Trim exterior with PVC 5/4x6 and PVC bandmoulding. R&R Vinyl siding reuse j channel of necessary.

**Estimated Duration:**









**100**

dba: RENEWAL BY ANDERSEN OF BOSTON

Legal Name: Renewal by Andersen LLC | License # HIC# 170810  
 30 Forbes Road | Northborough, MA 01532  
 Phone: (508) 351-2200 | Fax: (508) 986-7072 |  
 rbabostonoperationsarchive@gmail.com  
 Measure Tech: Jesse Lawrence,

**William & Cathy Hare**  
 507 State St. Unit 2  
 Portsmouth, NH 03801  
 H: (714)514-7795

**100** Front  
 Misc



**Misc:** , Misc, ProVia, Entry Door System, Quantity 1, See attachment for details Make size 37 9/16 x 84 11/16 Right hand inswing Jamb 7 1/8 **Construction:** , Entry Door (1), LSWP Hinged Door (1), R&R vinyl Siding - includes new J channel (1), Band (1), Out of area , (1) **Material:** , None 10/10/23

**UNIT NOTES**

See attachment for details  
 Make size 37 9/16 x 84 11/16  
 Right hand inswing  
 Jamb 7 1/8

**UNIT CONSTRUCTION**

<b>Entry Door</b>	<b>1</b>
<b>LSWP Hinged Door</b>	<b>1</b>
<b>R&amp;R vinyl Siding - includes new J channel</b>	<b>1</b>
<b>Band</b>	<b>1</b>
<b>Out of area</b>	<b>1</b>

**UNIT MATERIALS**

**UNIT PHOTOS**

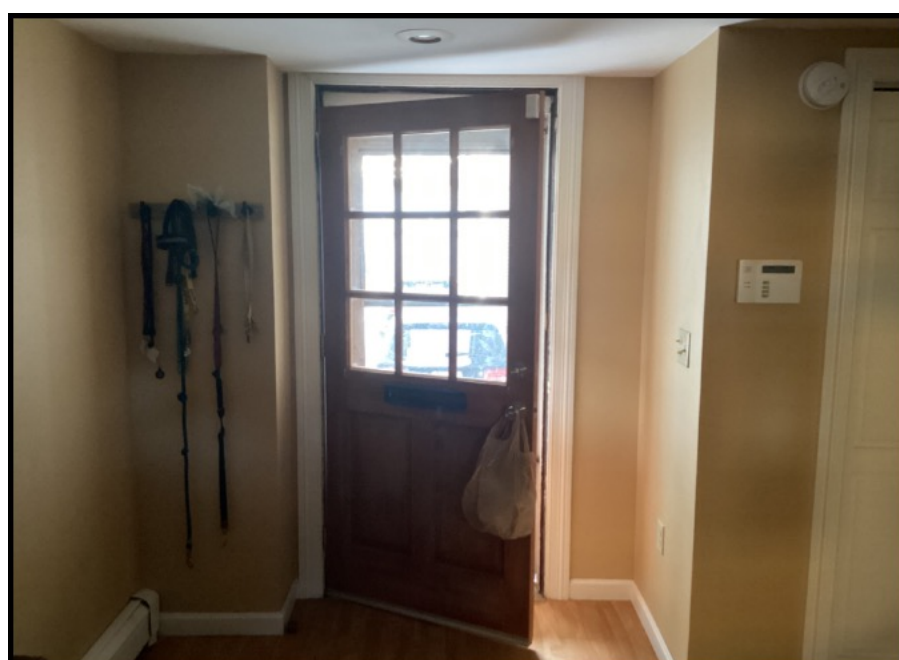


Image 1



Image 2





# Buyer Acknowledgement

dba: RENEWAL BY ANDERSEN OF BOSTON

Legal Name: Renewal by Andersen LLC | License # HIC# 170810

30 Forbes Road | Northborough, MA 01532

Phone: (508) 351-2200 | Fax: (508) 986-7072 |

rbabostonoperationsarchive@gmail.com

Measure Tech: Jesse Lawrence,

**William & Cathy Hare**

507 State St. Unit 2

Portsmouth, NH 03801

H: (714)514-7795

I acknowledge that by signing this as the homeowner or on behalf of the homeowner, I hereby confirm that all product details, features and options have been reviewed with the Measure Technician. The features and options include, but not limited to:

- Window Color
- Hardware Color & Style
- Grill Configurations
- Interior Trim Details
- Exterior Trim Details
- Painting/Staining, Blinds
- Product Handling

I acknowledge that I have reviewed this order summary and that the order summary is accurate.

## Buyer

\_\_\_\_\_  
Signature

The homeowner reviewed and signed this order during the measure appointment.

\_\_\_\_\_  
Name

A representative for the homeowner reviewed and signed this order during the measure appointment.

\_\_\_\_\_  
Date

The order was not signed during the measure appointment.

# Materials Checklist

**William & Cathy Hare**

507 State St. Unit 2

Portsmouth, NH 03801

H: (714)514-7795

CATEGORY	DESCRIPTION	QUANTITY	
ACCESSORIES	<b>Foam Can</b>	.. 1 can	<input type="checkbox"/>
ACCESSORIES	<b>Ice &amp; Water 9"</b>	.. 1 unit	<input type="checkbox"/>
LUMBER- AZEK	<b>PVC 5/4 x 6 - 12</b>	..6 units	<input type="checkbox"/>
LUMBER- AZEK	<b>PVC 5/4 x 8 - 12</b>	.. 1 unit	<input type="checkbox"/>
LUMBER- AZEK	<b>PVC 1 5/8" band mold - 12</b>	..5 units	<input type="checkbox"/>
MATERIAL- CAULK	<b>Kleer Caulking</b>	.. 1 tube	<input type="checkbox"/>
MATERIAL- CAULK	<b>RBA White Caulk</b>	..8 tubes	<input type="checkbox"/>
MATERIAL- CAULK	<b>White paintable DAP</b>	.. 1 tube	<input type="checkbox"/>
MATERIAL- COIL	<b>Coil - White 10'</b>	.. 1 unit	<input type="checkbox"/>
TRIM- CLEAR PINE	<b>#2 Pine 1x5 - 12</b>	.. 1 unit	<input type="checkbox"/>
TRIM- OAK	<b>Oak Threshold/no holes -12</b>	.. 1 unit	<input type="checkbox"/>
TRIM- PRIME PINE	<b>Primed 1x4 - 12</b>	..3 units	<input type="checkbox"/>

# Materials Checklist

**William & Cathy Hare**

507 State St. Unit 2

Portsmouth, NH 03801

H: (714)514-7795

CUSTOM	<b>J-Channel, color natural clay</b>	..5 PER UNIT	<input type="checkbox"/>
CUSTOM	<b>Jackson lumber, primed 3 1/2 Poplar casing, KW10210, 12ft</b>	..5 PER UNIT	<input type="checkbox"/>

---



# Product Order Form

dba: RENEWAL BY ANDERSEN OF BOSTON

Legal Name: Renewal by Andersen LLC | License # HIC# 170810  
 30 Forbes Road | Northborough, MA 01532  
 Phone: (508) 351-2200 | Fax: (508) 986-7072 |  
 rbabostonoperationsarchive@gmail.com  
 Measure Tech: Jesse Lawrence,

**William & Cathy Hare**  
 507 State St. Unit 2  
 Portsmouth, NH 03801  
 H: (714)514-7795

Sales	Steven Ramey
Tech	Jesse Lawrence

Windows	0
Specialty	0
Patio Doors	0
Entry Doors	0
Misc.	2

Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
100																									

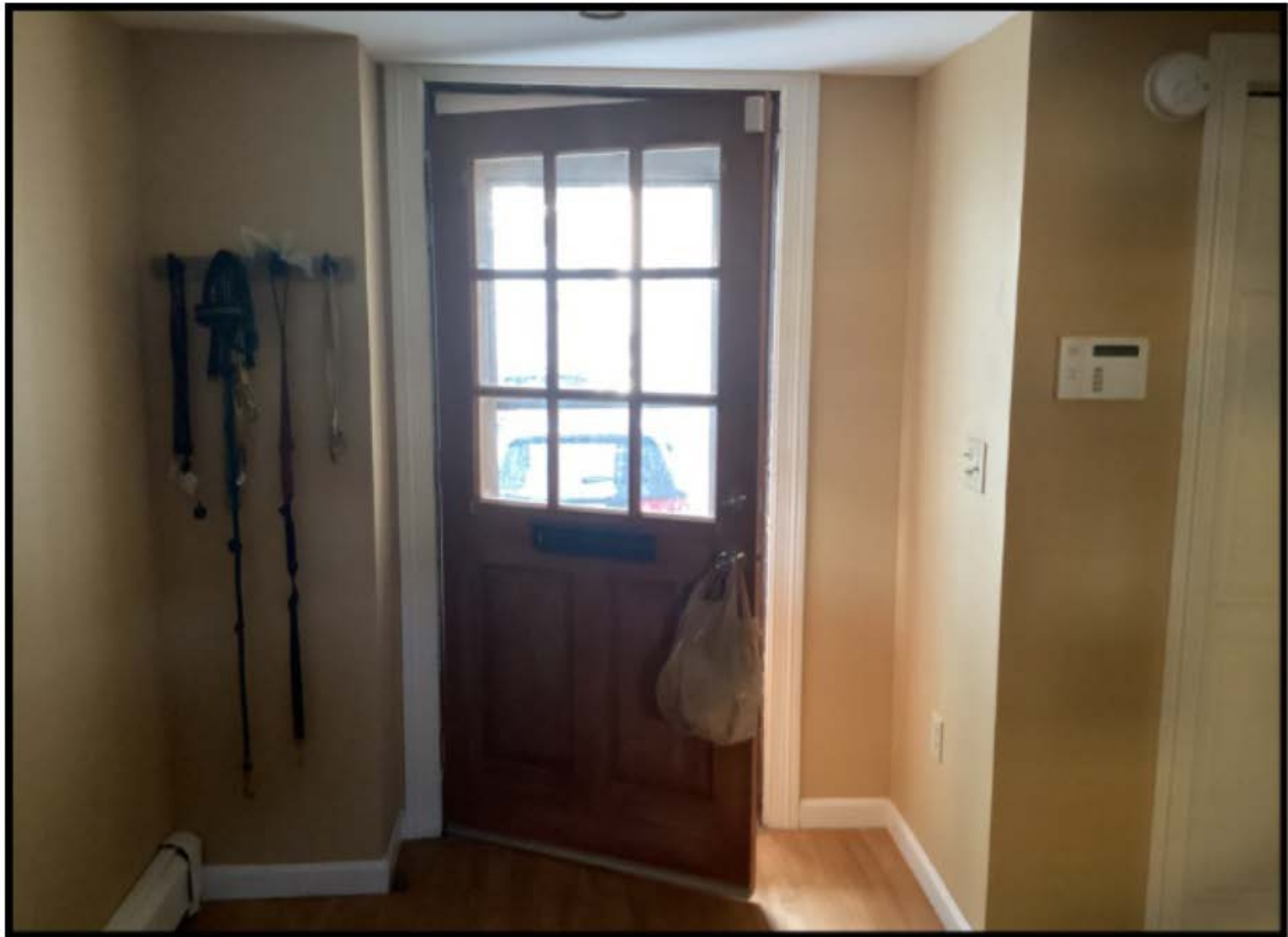
Floor Plan ID#	Product	Insert Frame	Ext. Jamb	Ext. Trim	Checkrail Style	Perf. Upgrade	Exact Order Width	Exact Order Height	Sill Angle	Sash Ratio	Ext. Color	Int. Color	Glazing S1	Glazing S2	Glazing S3	Lifts	Locks	Sash Oper.	Hardware	Hardware Style	Grill Pattern	Grille Type	Lites S1/S3	Lites S2	Screen Type
102																									





**Image 7**





**Image 1**

PROPOSED FRONT DOOR

# YOUR PROFESSIONAL-CLASS PRODUCT

Signet Oak Fiberglass Entry Door with Clear Glass



877.389.0835  
2150 State Route 39  
Sugarcreek, OH 44681

## QUOTE INFORMATION

Job: Hare  
Tag: Front Door  
Qty: 1



OUTSIDE VIEW



INSIDE VIEW

## DETAILS

### Signet Single Entry Door in FrameSaver Frame

36" x 80" Nominal Size  
Unit Size: 37 9/16" x 81 11/16"  
Frame Depth: 4 9/16"  
No Brickmold  
Right Hand Inswing - Inside Looking Out  
430 Style Signet Oak Fiberglass Door  
ComforTech DLA  
Colonial SDL Grid - 2V x 2H  
Caramel SDL Grids (Dusty Gray Shadow Grids)  
Caramel Inside and Outside

### Hardware

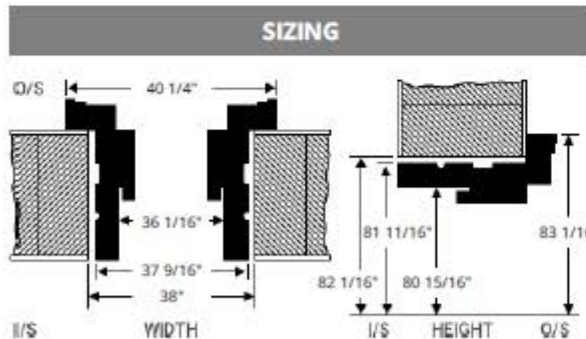
Antique Brass Addison Grip Entrance Handle Outside  
Flair Handle Inside  
Antique Brass Addison Thumbturn Deadbolt  
Lifetime Antique Brass Mail Slot (3" x 10")  
Antique Brass (5-Year) Kickplate - Outside Only

### Frame

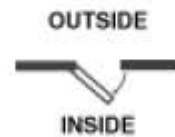
Textured Snow Mist White Aluminum Frame Cladding - In Separate Box  
Caramel Inside Frame  
Bronze ZAC Auto-Adjusting Threshold (5 5/8" Depth)  
Zinc Chromate Ball Bearing Hinges (Complements Bright and Antique Brass)  
Security Plate

## INFORMATION AND WARNINGS

Mail slot location may allow exterior access to interior handleset (potential security concern).



## HANDING



## ENERGY

Energy rating information is not available for this product.

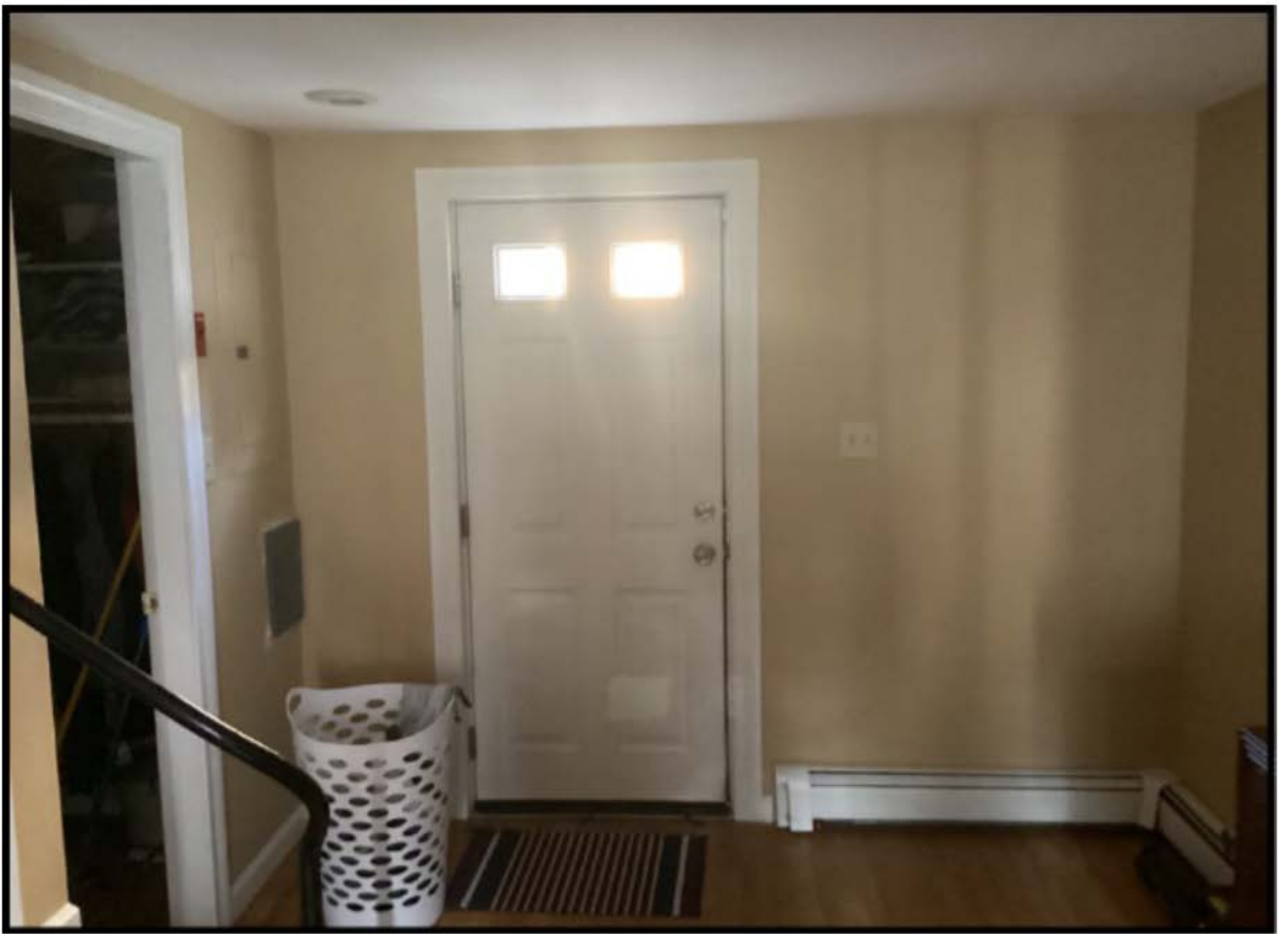
## Installation Instructions







**Image 5**



**Image 2**

# YOUR PROFESSIONAL-CLASS PRODUCT

Signet Oak Fiberglass Entry Door with Clear Glass



877.389.0835  
2150 State Route 39  
Sugarcreek, OH 44681



OUTSIDE VIEW



INSIDE VIEW

## QUOTE INFORMATION

Job: Hare

Tag: Back Door

Qty: 1

## DETAILS

### Signet Single Entry Door in FrameSaver Frame

32" Nominal Width

77" Custom Unit Height

Unit Size: 33 9/16" x 77"

Frame Depth: 4 9/16"

No Brickmold

Right Hand Inswing - Inside Looking Out

430 Style Signet Oak Fiberglass Door

ComforTech DLA

Colonial SDL Grid - 2V x 2H

Caramel SDL Grids (Dusty Gray Shadow Grids)

Caramel Inside and Outside

### Hardware

All Hardware in Antique Brass Finish

Flair Lockset (2 3/8" Backset)

Thumbturn Deadbolt (2 3/8" Backset)

### Frame

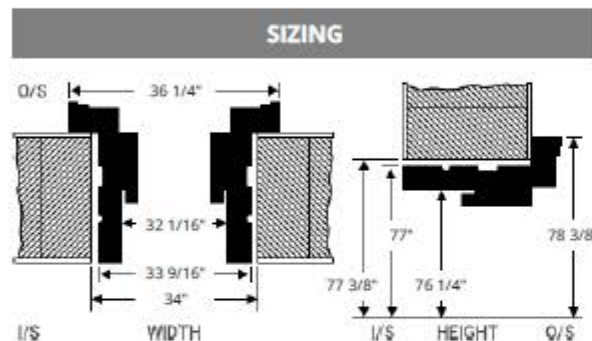
Textured Snow Mist White Aluminum Frame Cladding - In Separate Box

Caramel Inside Frame

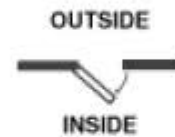
Bronze ZAC Auto-Adjusting Threshold (5 5/8" Depth)

Zinc Chromate Ball Bearing Hinges (Complements Bright and Antique Brass)

Security Plate



## HANDING



## Installation Instructions



## ENERGY

### ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P)      Solar Heat Gain Coefficient

0.23                              0.08

### ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance

0.14

Air Infiltration (cfm/ft<sup>2</sup>)

≤ 0.05



ENERGY STAR® Certified  
In All 50 States.

**7. 10 Ceres Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of an oil collection system and screening.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





### LUHD-701

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 11/1/2023

### Primary Location

10 CERES ST  
Portsmouth, NH 03801

### Owner

BLALOCK FAMILY LLC  
148 BRACKETT RD  
PORTSMOUTH, NH 03801

### Applicant

Peter Labrie  
 603-661-9090  
 peterlabrie@yahoo.com  
 PO Box 300  
Rye, New Hampshire  
03870

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Currently used cooking oil is removed from the fryolators by emptying them into a oil shuttle and rolled down the alleyway to the dumpster enclosure where a large grease dumpster stores the grease until it can be removed by a recycling company. This labor intensive process causes employee burns from dealing with hot grease, spills which attract pests, causes slip and falls and unsightly stains in the alley.

The Cooking Oil Mangement system we would like to install would eliminate all of the above. This is a two small tank sealed system which is piped directly to the fryolators to store and supply clean cooking oil and remove and store the used oil.

Two food grade polyethylene tanks would be installed under the current HVAC equipment, between its existing support structure and then fully screened will metal screening to hide it from view. Servicing the tanks is done simply by accessing a small stainless steel access door on one end of the tanks.

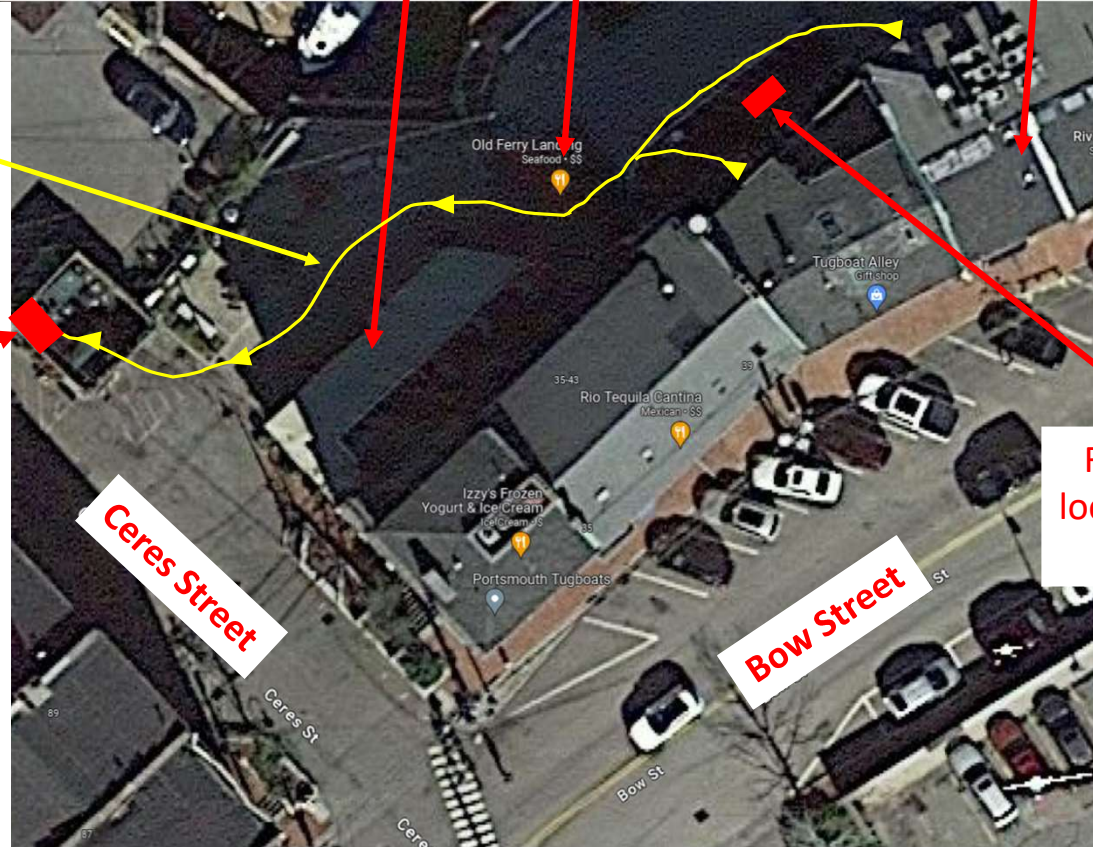
# Site Location

Travel lane of waste Oil from kitchens to waste oil recycling tank

Existing Location of waste oil tank

RIO & Old Ferry Landing

River House

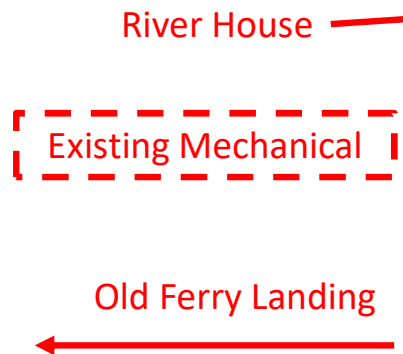


Requested location of RTI tanks



# Requested Tank Location

## RTI – Oil Management System



- Outdoor Tank – Standard Size (1,400 lbs. capacity)
- Dimensions – 88" Long x 48" Wide x 50" Tall
- Vessel Material = Food-Grade Polyethylene
- Enclosure Material = Polyethylene
- Hard wired, shut off switch, maximum draw = 25 amp
- Storage Capacity
  - Fresh oil tank = 1,426 lbs.
  - Waste oil tank = 1,351 lbs.
- Tank Weights
  - Fresh oil tank = 1,584 lbs gross weight
  - Waste oil tank = 1,584 lbs gross weight
- Overfill switch provided on both tanks.
- Enclosure 100% sealed to guarantee oil containment
- Heated enclosure (500W max draw). –
- Fresh oil tank certified by NSF to ANSI/NSF Standard 4

Existing View - East

## RTI Equipment Specifications – Outdoor Tank

- Dimensions– 88” Long x 48” Wide x 50” Tall
  - NOTE: Fill box door will stick up an additional 2” when open.
- Tank Material = Food-Grade Polyethylene
- Enclosure Material = Polyethylene
- 120 VAC power required (maximum draw = 25 amp)
- Net Storage Capacity, at overfill switch trip point
  - Fresh oil tank = 1,300 lbs. (169 gallons)
  - Waste oil tank = 1,300 lbs. (169 gallons)
- Weight
  - Empty = 883 lbs.
  - Full = 2,183 lbs. (typical max weight, fresh tank full and waste tank empty)
  - Max = 3,483 lbs. (both tanks full – unlikely scenario)
- Features:
  - Overfill protection provided on both tanks.
  - Heated enclosure (500W max enclosure heater draw).
  - Fresh oil tank provided with remote level gauge, located inside kitchen, that reads in “pounds of oil”.
  - Space inside enclosure for locating supporting equipment.
  - Enclosure 100% sealed, provides secondary containment.
  - Fresh oil tank certified by NSF to ANSI/NSF Standard 4.
  - Assembly listed to UL 499.



# Proposed Screening

East View down alley



River House

Proposed Mesh Metal screening

Old Ferry Landing

RIO

**8. 138 Gates Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval to change the rear entry landing and steps to granite with iron handrail and the installation of an HVAC condenser with screening.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



## LUHD-709

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 11/16/2023

### Primary Location

138 GATES ST  
Portsmouth, NH 03801

### Owner

WIESE FREDERICK &  
SANDRA RV TR & WIESE F K  
& SMITH WIESE S L TTEE  
138 GATES ST  
PORTSMOUTH, NH 03801

### Applicant

Anne Whitney  
 603-502-4387  
 archwhit@aol.com  
 801 Islington St, Suite 32  
Portsmouth, NH 03801

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## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

---

## Project Information

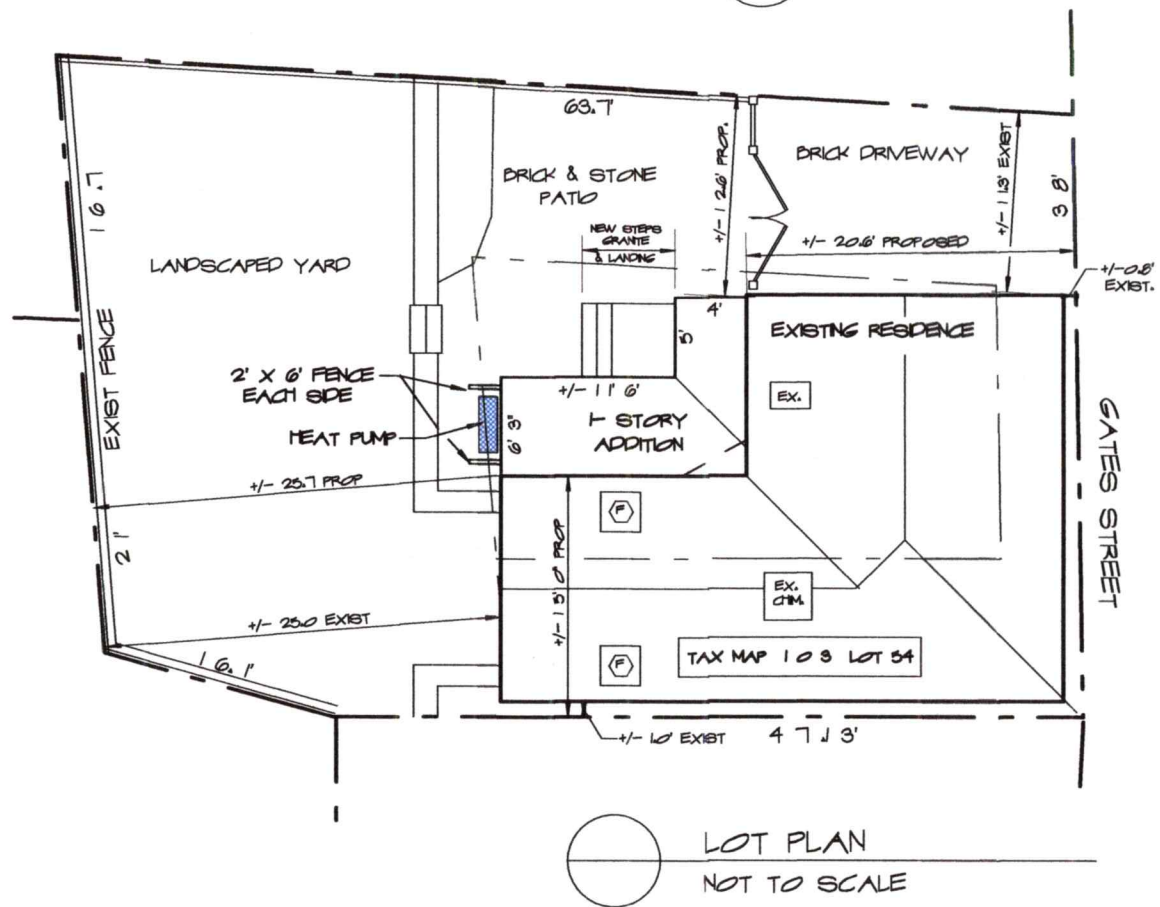
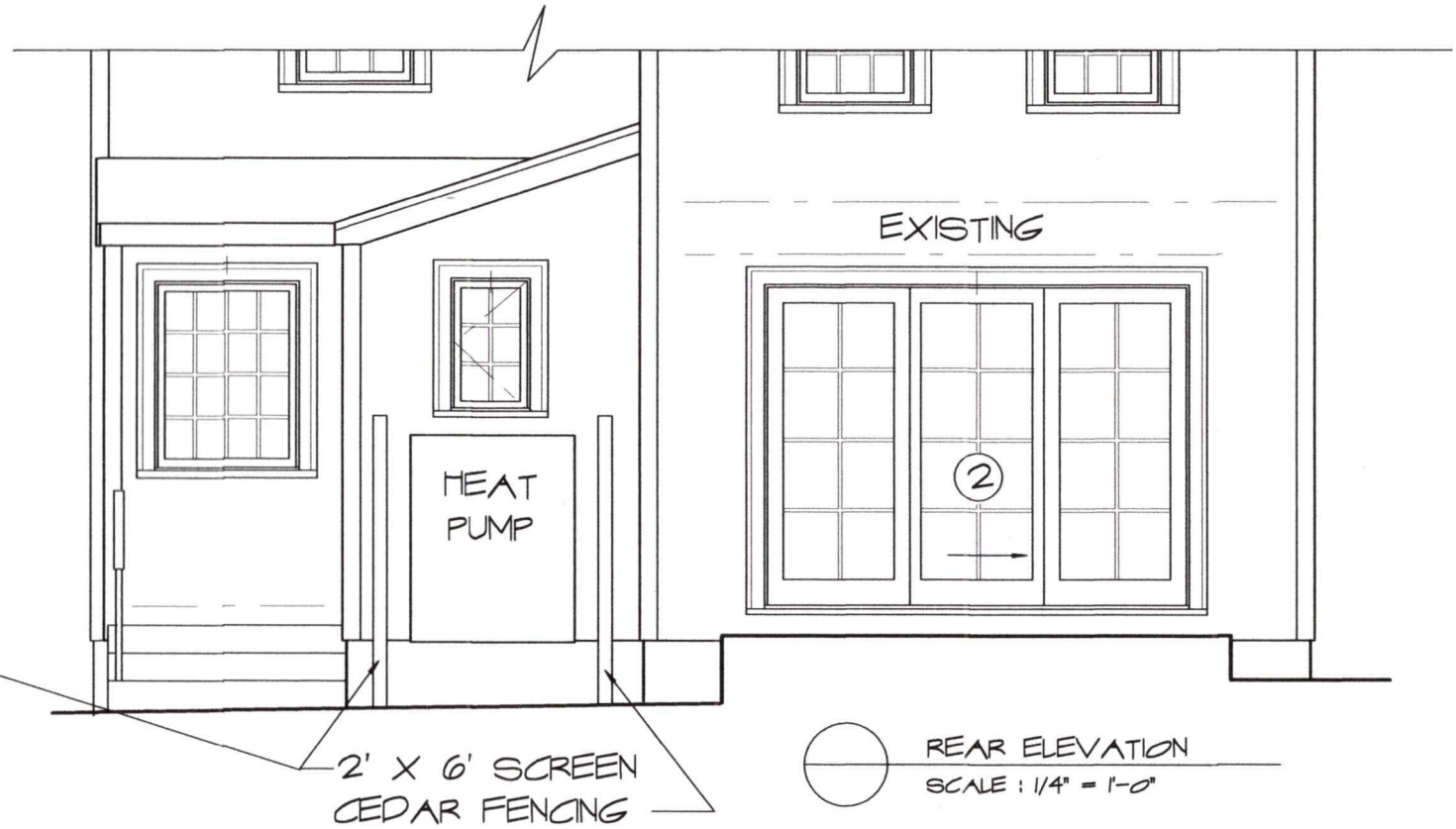
### Brief Description of Proposed Work\*

1. Change rear entry landing & steps to Granite with Iron Handrail.
2. Heat Pump location with fence screening

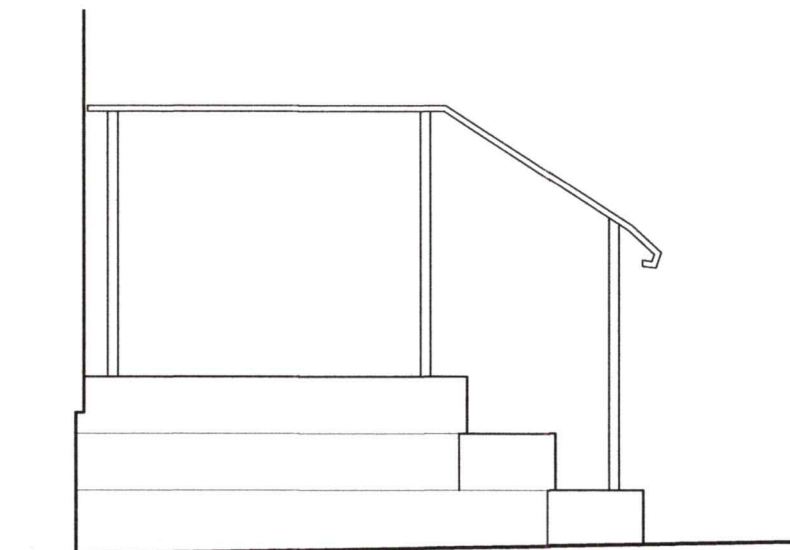
Description of Proposed Work (Planning Staff)

---





SIMILAR GRANITE STEPS



<b>HEAT PUMP &amp; GRANITE STEPS</b> ADDITIONS & RENOVATIONS, WIESE RESIDENCE 138 GATES STREET PORTSMOUTH, NH	 <b>ANNE WHITNEY ARCHITECT</b>	Project: 2109	Date: 11/16/23
		Revisions:	

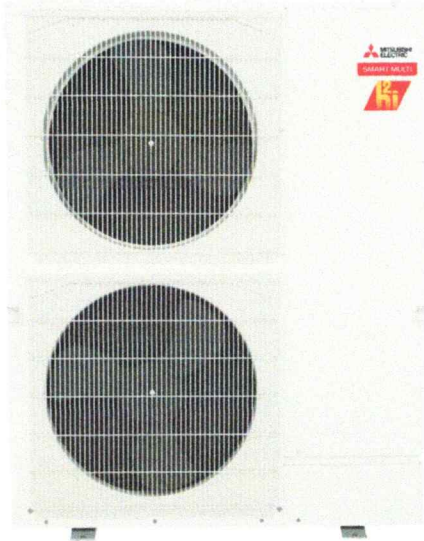
# MXZ-SM48NAMHZ2 4-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name:

System Reference:

Date:



## FEATURES

- Compatible with M- and P-Series and CITY MULTI® indoor units. Branch box required for connection with M- and P-Series
- Variable speed INVERTER-driven compressor
- Seacoast protection on heat exchanger and base panel (rated for 2,000 hrs in accordance with ASTM B117 testing)
- Thermal Differential 1°F (with PAC-MKA32/52BC only)
- Built-in base pan heater
- Quiet outdoor unit operation, rated sound pressure as low as 51 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 75% heating capacity at -13°F

ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.

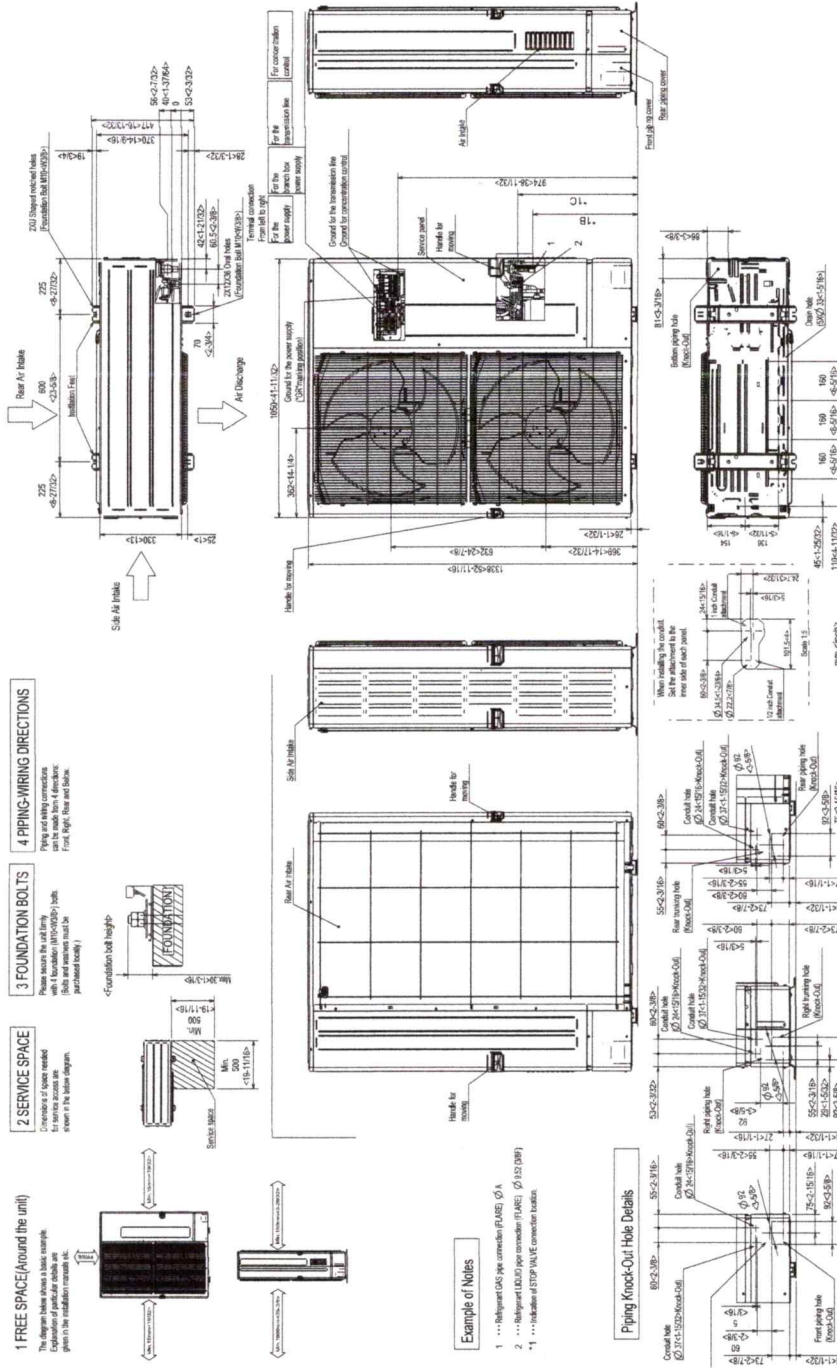
Specifications are subject to change without notice.

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# OUTDOOR UNIT DIMENSIONS: MXZ-SM48NAMHZ2

Unit: mm  
<inch>



MODEL NAME	DIMENSION A	DIMENSION B	DIMENSION C
MXZ-SM68NAMHZ	15.88 (58F)	428 <16-25(32)>	485 <19-3(24)>
MXZ-SM48NAMHZ	19.06 (74F)	393 <15-15(32)>	450 <17-23(32)>
MXZ-SM68NAM	15.88 (58F)	425 <16-25(32)>	485 <19-3(24)>



**9. 111 State Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-714

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 11/17/2023

### Primary Location

111 STATE ST  
Portsmouth, NH 03801

### Owner

COVENTRY REALTY LLC  
3 PLEASANT ST 4TH FLR  
PORTSMOUTH, NH 03801

### Applicant

Tracy Kozak  
 603-731-5187  
 tracyskozak@gmail.com  
 3 Congress Street, Suite 1  
Portsmouth, New  
Hampshire 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

raise sill height of proposed folding window; add exit door at rear porch

### Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.



# 111 STATE STREET ADDITION & RENOVATION

## DRAWING LIST

H0.1 COVER  
H2.1 STATE STREET ELEVATION  
H2.2 CHAPEL STREET ELEVATION  
H3.1 AXONOMETRIC  
H3.2 VIGNETTE, CHAPEL STREET  
H3.3 VIGNETTE, STATE STREET  
H4.3 MATERIALS  
H4.4 WINDOW DETAIL



## MINOR REVISIONS TO PREVIOUSLY APPROVED APPLICATION

Updates per Construction Document coordination:

- A. Raise the sill height of folding window on state st
- B. Add exit door at rear porch

**COVENTRY REALTY, LLC**

**HDC PUBLIC HEARING  
NOVEMBER 2023**

**H0.1**

**COVER**

**111 STATE STREET**

SCALE:  
11/17/23



COPYRIGHT © 2022



**H2.1 STATE STREET ELEVATION**  
**111 STATE STREET**

SCALE: 1/8" = 1'-0"  
11/17/23



COPYRIGHT © 2022



**H2.2** CHAPEL STREET ELEVATION  
 111 STATE STREET  
 SCALE: 1/8" = 1'-0"  
 11/17/23







**H3.1** **AXONOMETRIC**  
**111 STATE STREET**  
SCALE:  
11/17/23





**H3.2** VIGNETTE - CHAPEL STREET  
111 STATE STREET

SCALE:  
11/17/23

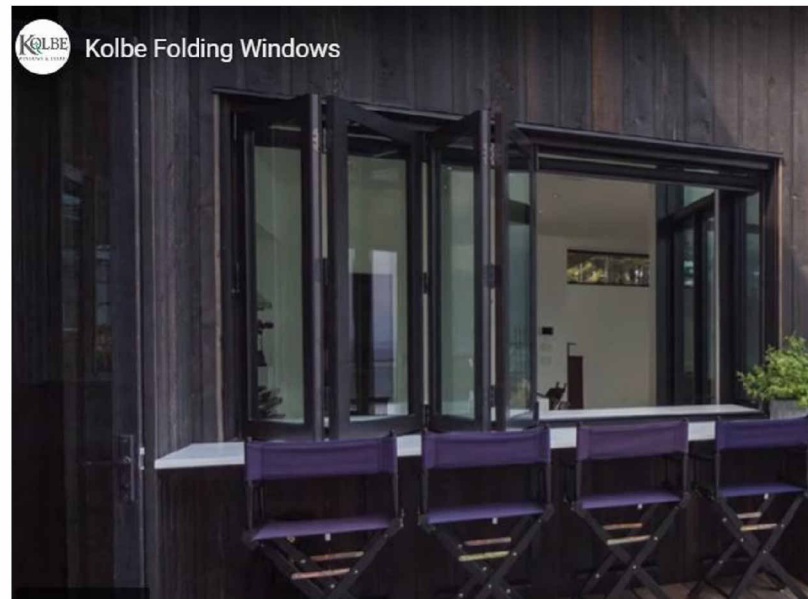




**H3.3** VIGNETTE - STATE STREET  
111 STATE STREET

SCALE:  
11/17/23

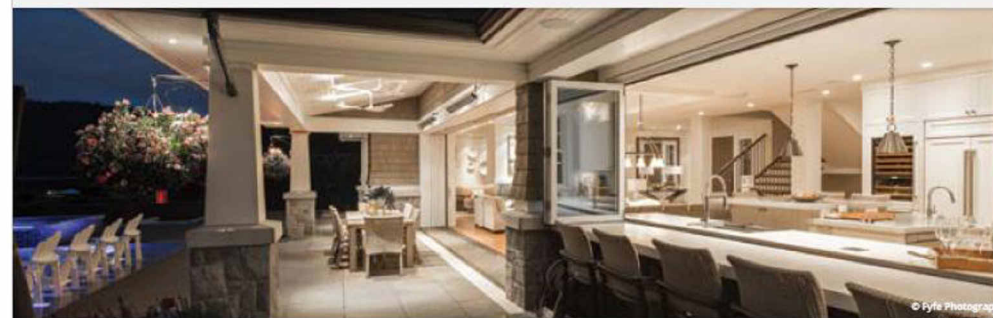




# KOLBE - ULTRA-FOLDING WINDOW PASS-THROUGH

## Folding Windows

Folding windows can infuse a room with a remarkable amount of fresh air by offering openings up to 52 feet wide. With up to 8 panels per side, folding windows are highly customizable with a number of different configurations available. These made-to-order windows open up rooms dramatically by extending the living space to the outdoors.



### Exterior Colors

Kolbe's Ultra Series products are finished with a 70% PVDF fluoropolymer coating, an ideal choice for durability and resistance to chemicals, abrasion, corrosion, and weathering. In addition to the standard palette, custom colors can be specified, as well as Anodized aluminum and Mica<sup>®</sup> fluoropolymer finishes.

	White	Cloud	Ultra Pure White
	Abalone	Alabaster	Camel
Mudpie	Nutmeg	Khaki	Sahara
	Beige	Natural Cotton	Spiced Vinegar
Gingersnap	Truffle	Bronze	Rustic
	Shadow	Shale	Smokestack
Corbeau	Eclipse	Tungsten	Steel Gray
	Slate	Castlerock	Timberwolf
Coal Black	Onyx	Midnight	Sapphire
	Coastal Storm	Lunar	Emerald Isle
Cider	Copper Canyon	Basil	Mystic Ivy
	Mediterranean	Green Tea Leaf	Hartford Green
Chutney	Roma	Maize	Custom Colors Available
	Anodized	Clear Anodized	Champagne Anodized
		Black Anodized	Dark Bronze Anodized
Galaxy Silver Mica <sup>®</sup>	Silverstorm Mica <sup>®</sup>	Cosmic Gray Mica <sup>®</sup>	Night Sky Mica <sup>®</sup>

\* Mica finishes are 70% PVDF fluoropolymer as standard. Fluoropolymer coatings meet performance requirements of AAMA 2605 and are recommended for coastal applications. Please see your Kolbe dealer for details.  
 Some options for our products may have limited color offerings or may incur a nominal charge. Check with your Kolbe dealer for further details on pricing and availability.  
 Printed images of exterior finishes may vary slightly from actual colors. Selections should be made based on actual color samples available from your Kolbe dealer.  
 There is a color range with anodized colors. That is, there is an acceptable "light to dark" color range that can be experienced on any job. According to AAMA 6111111 classification, Section 8.1, the range may be up to 3 Delta E's. We can provide from our anodized vendor color samples of this color range if requested. The color range is due to numerous variables which include but are not limited to the angle of the sun, lighting variations and color in the anodizing process. This could mean that a color seen in a sample may appear slightly different in color than a frame job. This will be acceptable. Even the samples that may be provided may vary from the final product due to the variables. You must be aware of this as this will be considered acceptable.

### Standard Features

- ▶ 1-3/4" thick sash
- ▶ 6-9/16" minimum jamb depth
- ▶ Stiles and rails are a nominal 3" wide
- ▶ Frame set up for units 177" wide x 77-1/8" tall; all others knocked down
- ▶ Constructed of pine, with pine interior stops
- ▶ Exterior wood parts are treated
- ▶ Extruded aluminum exterior finished with a 70% PVDF fluoropolymer coating (meets performance requirements of AAMA 2605)
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Multi-point mortise latch with Toronto handle set in Bright Brass finish on configurations with an access panel
- ▶ Hinge handles standard on most panels
- ▶ Face-mounted flush bolt locking hardware on folding panels
- ▶ Bronze anodized weep sill
- ▶ Grooved guide rollers with adjustable, ball-bearing wheels carry the folding panels
- ▶ Thick oak interior threshold
- ▶ Nailing fins with head drip caps\*

### Options (custom options are also available)

- ▶ Stile and top rail options: 4-5/8" or 6"
- ▶ Bottom rail options: 4-5/8", 6", 7-9/16" or 12-5/8"
- ▶ 2-1/4" thick panel
- ▶ Ovolo and square profile glazing beads and interior divided lite bars
- ▶ Extension jambs in a wide variety of sizes (shipped loose for field application if over 12")
- ▶ Galvanized steel installation clips
- ▶ Black pleated retractable insect screen
- ▶ Recessed floor track sill (interior), weep or non-weep in Bronze anodized; weep sill in Clear anodized

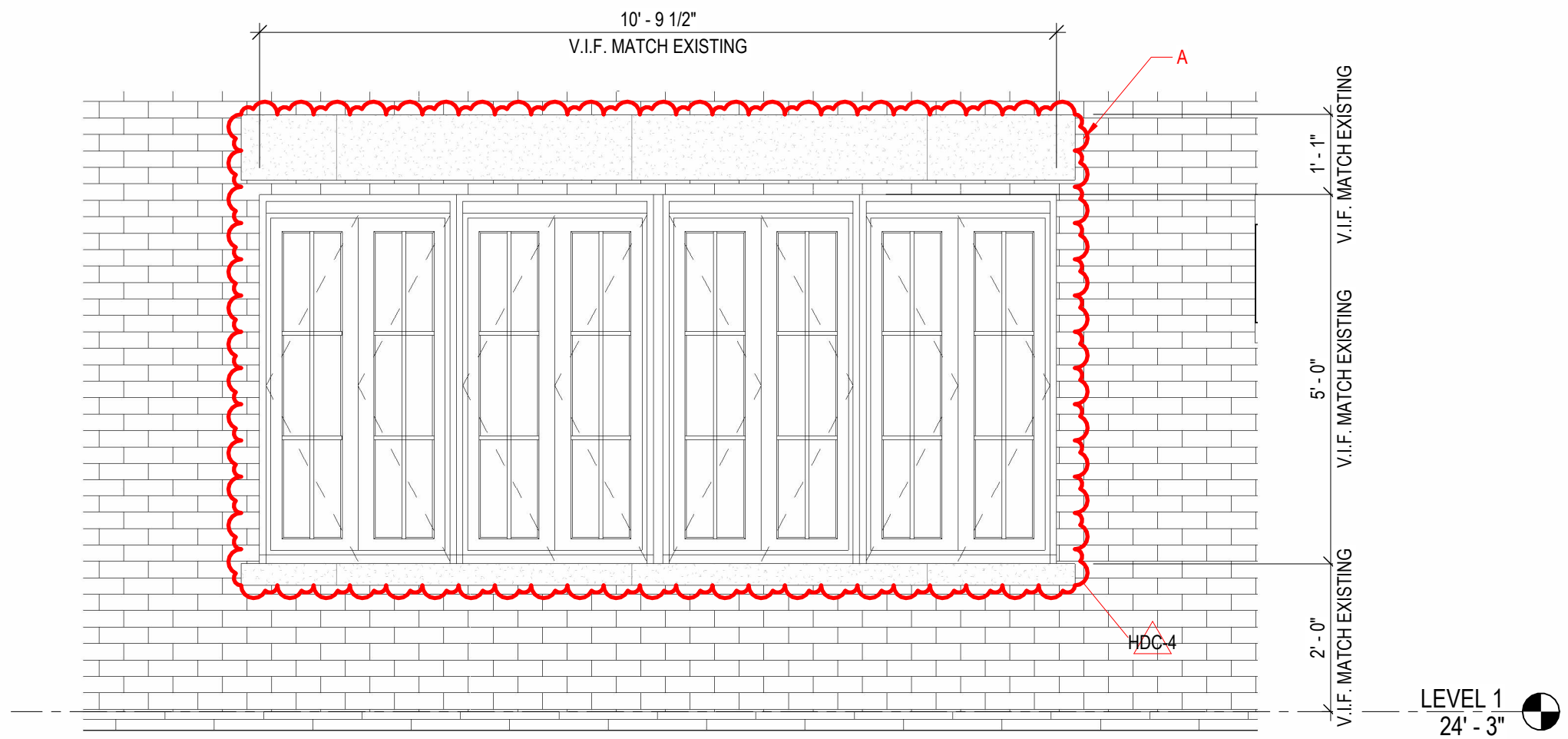
[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

NOTE: All measurements are nominal.  
 \* Standard only on units without brickmould.  
 Minimum panel height is 36", minimum panel width is 16", maximum panel height is 72" and maximum panel width is 39-3/8".

Ultra Series | 17

**H4.3 MATERIALS**  
**111 STATE STREET**  
 SCALE:  
 11/17/23



**H4.4** WINDOW DETAIL  
**111 STATE STREET**  
 SCALE: 1/2" = 1'-0"  
 11/17/23

**10. 20 Congress Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the removal of the existing black awning.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-710

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 11/16/2023

### Primary Location

20 CONGRESS ST  
Portsmouth, NH 03801

### Owner

tresdiana  
Congress 19 portsmouth,  
New Hampshire 03801

### Applicant

Diana Tran  
 603-305-6984  
 dianatranique@gmail.com  
 19 congress st  
unit C  
Portsmouth, New  
Hampshire 03801

## Application Type

Please select application type from the drop down menu below

Administrative Approval

### Alternative Project Address

Hi there, I would like to remove exterior awning next to Thirty moose

## Project Information

### Brief Description of Proposed Work\*

I would like to remove the exterior awning next to Thirthy moose

### Description of Proposed Work (Planning Staff)

## Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.\*



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction\*







**11. 242 State Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the rebuilding of (1) chimney and repairs to a second chimney.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-706

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 11/14/2023

### Primary Location

242 STATE ST  
Portsmouth, NH 03801

### Owner

242-250 STATE ST CONDOS  
242 STATE ST  
PORTSMOUTH, NH 01950

### Applicant

Southers Construction  
 603-617-4337  
amandan@southersconstruction.com  
 361 Calef Highway  
Epping, NH 03042

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Chimney repair like for like

### Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Constructor

Full Name (First and Last)

Ricky Southers

Business Name (if applicable)

Southers Construction















Rebuild to remove the bow

Reflash







# **Historic District Commission Applications**

## **Administrative Approvals:**

B. 111 Gates Street

1. 466 Marcy Street- **Request to Postpone**
2. 425 Islington Street- **Request to Postpone**
3. 295 Maplewood Avenue
4. 45 Market Street
5. 135 Market Street, Unit B
6. 507 State Street, Unit 2
7. 10 Ceres Street
8. 138 Gates Street
9. 111 State Street
10. 20 Congress Street
11. 242 State Street

## **Certificate of Approval Extensions:**

A. 361 Islington Street- First 1-year extension request

## **Public Hearings (New Business):**

1. 180 New Castle Avenue
2. 14 Market Square
3. 30 Gardner Street

## **Work Sessions (New Business):**

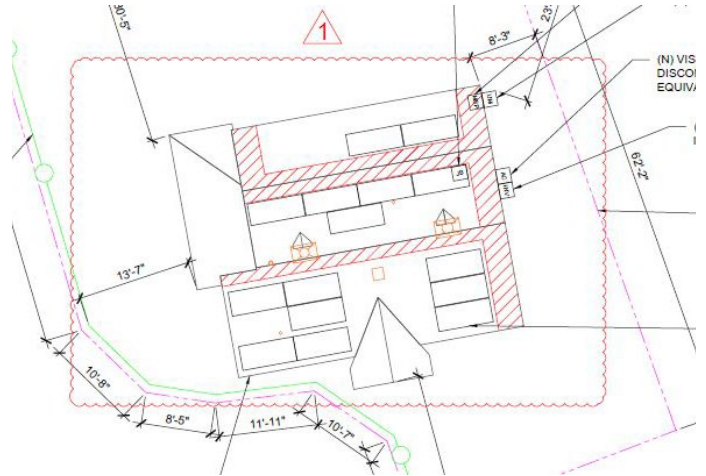
A. 95+99 Daniel Street

**Project Address:** 180 NEW CASTLE AVENUE  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Application:** PUBLIC HEARING 1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Single Residence B (SRB)
- Land Use: Residential
- Land Area: 4,260 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from New Castle Avenue and Ball Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** To add roof-mounted solar panels.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Install roof mounted solar panels



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District

5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

**Project Address:** 14 MARKET SQAURE

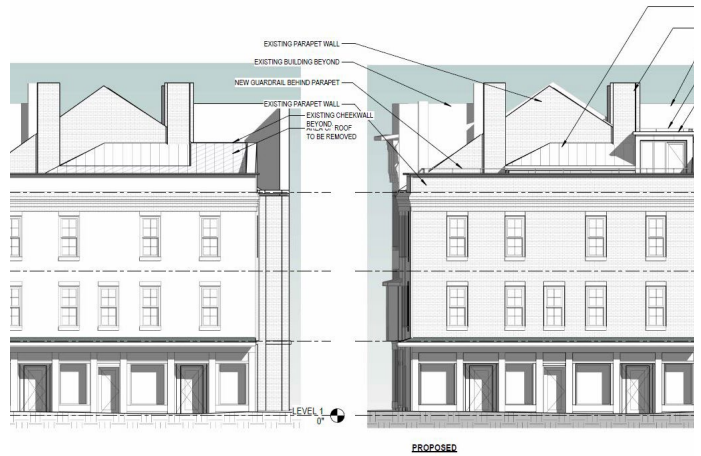
**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 2

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 5 (CD5),  
Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 3,136 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Commercial vernacular
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: View from Market Square
- Unique Features: NA
- Neighborhood Association: Downtown

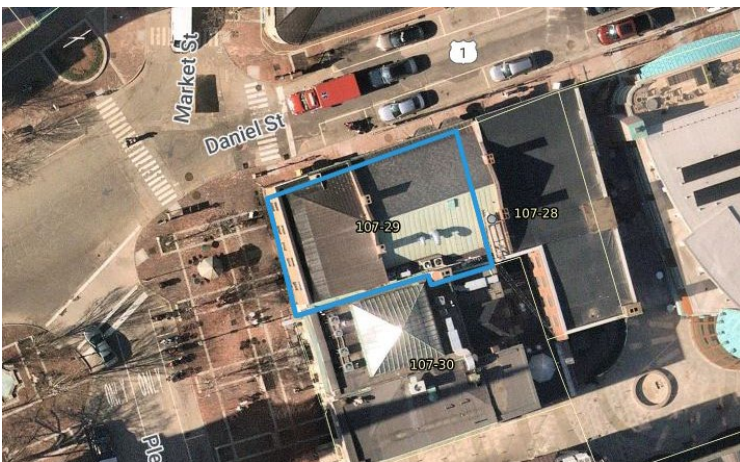


**B. Proposed Work:** To construct a roof top stairwell enclosure and penthouse addition.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Add a rooftop stairwell enclosure and penthouse addition.
- Add mechanical equipment to the rooftop.





**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

**Project Address:** 30 GARDNER STREET

**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 3

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Multi-Family
- Land Area: 9,743 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Queen Anne
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from Gardner Street
- Unique Features: Larger lot for the neighborhood
- Neighborhood Association: South End



**B. Proposed Work:** To construct (2) decks at the rear of the structure with spiral staircase.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct (2) decks on the rear of the property. No other approvals are required.



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

**Project Address:** 95 + 99 DANIEL STREET

**Permit Requested:** WORK SESSION

**Application:** WORK SESSION A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4 (CD4)
- Land Use: Mixed-Use
- Land Area: 2,614 SF +/-
- Estimated Age of Structure: c.1850 (95) & c. 1860 (99)
- Building Style: Gothic Revival (95) Greek Revival (99)
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: View from Daniel Street and Custom House Lane
- Unique Features: (2) remaining wood structures within the Historic District
- Neighborhood Association: Downtown



**B. Proposed Work:** Construct rear addition (95) and construct new rear deck and stairs (99), both structures to have various exterior features replaced or repaired as needed.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Rear addition (95)
- Rear stairs and deck (99)
- Exterior features to be replaced or repaired as needed on both structures



**HISTORIC  
SURVEY  
RATING  
C**



**D. Purpose and Intent:**

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties

**Project Address:** 111 GATES STREET

**Permit Requested:** WORK SESSION

**Application:** WORK SESSION B

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 5,208 SF +/-
- Estimated Age of Structure: c.1800
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gates Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** To remove the rear porch, construct a 2-story addition with walkout basement and re-configure existing side addition.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Remove rear porch
- Construct 2-story addition at the rear of the structure with a walkout basement
- Re-configure the existing side addition



**D. Purpose and Intent:**

13. Preserve the integrity of the District
14. Assessment of the Historical Significance
15. Conservation and enhancement of property values
16. Maintain the special character of the District
17. Complement and enhance the architectural and historic character
18. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

9. Consistent with special and defining character of surrounding properties
10. Compatibility of design with surrounding properties
11. Relation to historic and architectural value of existing structures
12. Compatibility of innovative technologies with surrounding properties

**Project Address:** 180 NEW CASTLE AVENUE

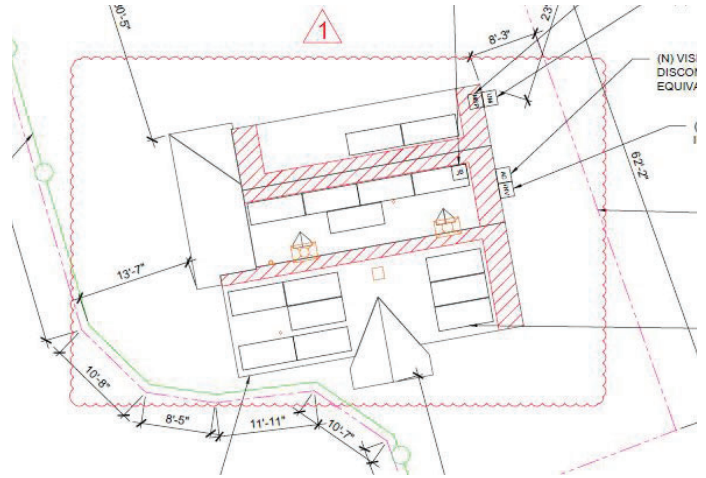
**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Single Residence B (SRB)
- Land Use: Residential
- Land Area: 4,260 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from New Castle Avenue and Ball Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** To add roof-mounted solar panels.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Install roof mounted solar panels



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District



5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



Freedom Forever  
Planset Revision Letter

11/13/2023  
REV #2

Attn. City of Portsmouth (NH):

The changes outlined in Revision Details have been applied to the plans corresponding to the following customer:

ANNE MOODEY  
180 NEW CASTLE AVE , PORTSMOUTH, NH 03801

**Revision Details:**

1.Elevation updated.

All corresponding changes are notated on the plans by revision clouds.

Thank you for your time in reviewing these plans. Please reach out if you have any additional questions or concerns.

Construction Engineering  
Freedom Forever  
[engineering@freedomforever.com](mailto:engineering@freedomforever.com)

# ROOF MOUNT PHOTOVOLTAIC SYSTEM

**CODES:**

THIS PROJECT COMPLIES WITH THE FOLLOWING:  
 2020 NH STATE BUILDING CODE  
 2020 NH STATE FIRE CODE  
 2018 INTERNATIONAL BUILDING CODE  
 2018 INTERNATIONAL RESIDENTIAL CODE  
 2018 INTERNATIONAL MECHANICAL CODE  
 2018 INTERNATIONAL PLUMBING CODE  
 2018 INTERNATIONAL FUEL GAS CODE  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 2018 INTERNATIONAL EXISTING BUILDING CODE  
 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE  
 "2018 NFPA 1, FIRE CODE AS AMENDED BY SAF-FMO 300"  
 2018 NFPA 101 LIFE SAFETY CODE AS AMENDED BY SAF-FMO 300  
 2023 NATIONAL ELECTRICAL CODE  
 AS ADOPTED BY CITY OF PORTSMOUTH (NH)

**CONSTRUCTION NOTES:**

CONDUIT AND CONDUCTOR SPECIFICATIONS ARE BASED ON MINIMUM CODE REQUIREMENTS AND ARE NOT MEANT TO LIMIT UP-SIZING AS REQUIRED BY FIELD CONDITIONS.

ALL SOLAR ENERGY SYSTEM EQUIPMENT SHALL BE SCREENED TO THE MAXIMUM EXTENT POSSIBLE AND SHALL BE PAINTED A COLOR SIMILAR TO THE SURFACE UPON WHICH THEY ARE MOUNTED.

MODULES SHALL BE TESTED , LISTED AND IDENTIFIED WITH FIRE CLASSIFICATION IN ACCORDANCE WITH UL 2703. SMOKE AND CARBON MONOXIDE ALARMS ARE REQUIRED PER SECTION R314 AND 315 TO BE VERIFIED AND INSPECTED BY INSPECTOR IN THE FIELD.

DIG ALERT (811) TO BE CONTACTED AND COMPLIANCE WITH EXCAVATION SAFETY PRIOR TO ANY EXCAVATION TAKING PLACE

PHOTOVOLTAIC SYSTEM GROUND WILL BE TIED INTO EXISTING GROUND AT MAIN SERVICE FROM DC DISCONNECT/INVERTER AS PER 2023 NEC SEC 250.166(A).

SOLAR PHOTOVOLTAIC SYSTEM EQUIPMENT WILL BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ART. 690 OF THE 2023 NEC

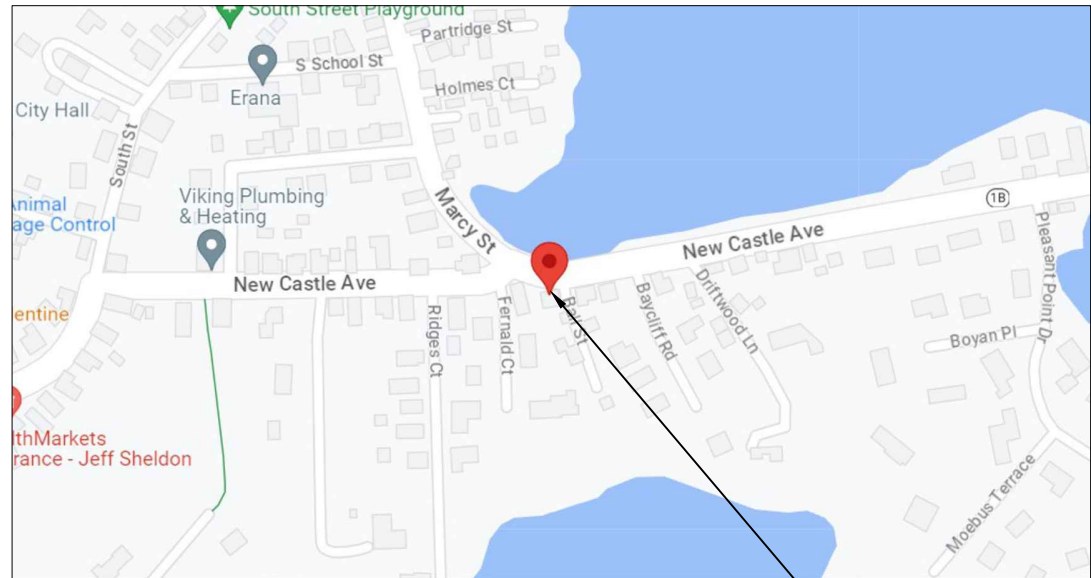
THE MAIN SERVICE PANEL WILL BE EQUIPPED WITH A GROUND ROD OR UFER

UTILITY COMPANY WILL BE NOTIFIED PRIOR TO ACTIVATION OF THE SOLAR PV SYSTEM

SOLAREGE OPTIMIZERS ARE LISTED TO IEC 62109-1 (CLASS II SAFETY) AND UL 1741 STANDARDS

INSTALL CREW TO VERIFY ROOF STRUCTURE PRIOR TO COMMENCING WORK. EMT CONDUIT ATTACHED TO THE ROOF USING CONDUIT MOUNT.

**VICINITY MAP:**



SITE LOCATION

THIS SYSTEM DESIGNED WITH:  
 WIND SPEED: 121  
 WIND EXPOSURE: B  
 SNOW LOAD: 50

**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
 UTILITY: EVERSOURCE ENERGY (EASTERN MA)  
 METER: 72329222  
 APN: PRSM-000101-000023  
 PHONE: (603) 361-7031  
 EMAIL: AMOODEY1@GMAIL.COM

**SYSTEM:**  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 kW  
 SYSTEM SIZE (AC): 5.000 kW @ 240V  
 MODULES: 15 X JINKO SOLAR: JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREGE P505  
 INVERTER: SOLAREGE SE5000H-USRGM [S11]

1

**TABLE OF CONTENTS:**











PV-1	SITE LOCATION
PV-2	SITE PLAN
PV-2A	ROOF PLAN WITH MODULES LAYOUT
PV-2B	ROOF AND STRUCTURAL TABLES
PV-3	MOUNTING DETAILS
PV-4	THREE LINE DIAGRAM
PV-5	CONDUCTOR CALCULATIONS
PV-5C	BUILDING ELEVATION
PV-6	EQUIPMENT & SERVICE LIST
PV-7	LABELS
PV-7A	SITE PLACARD
PV-8	OPTIMIZER CHART
PV-9	SAFETY PLAN
PV-10	SAFETY PLAN
APPENDIX	MANUFACTURER SPECIFICATION SHEETS

REVISIONS		
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1	S.K.	11/8/2023
2	S.G.	11/13/2023
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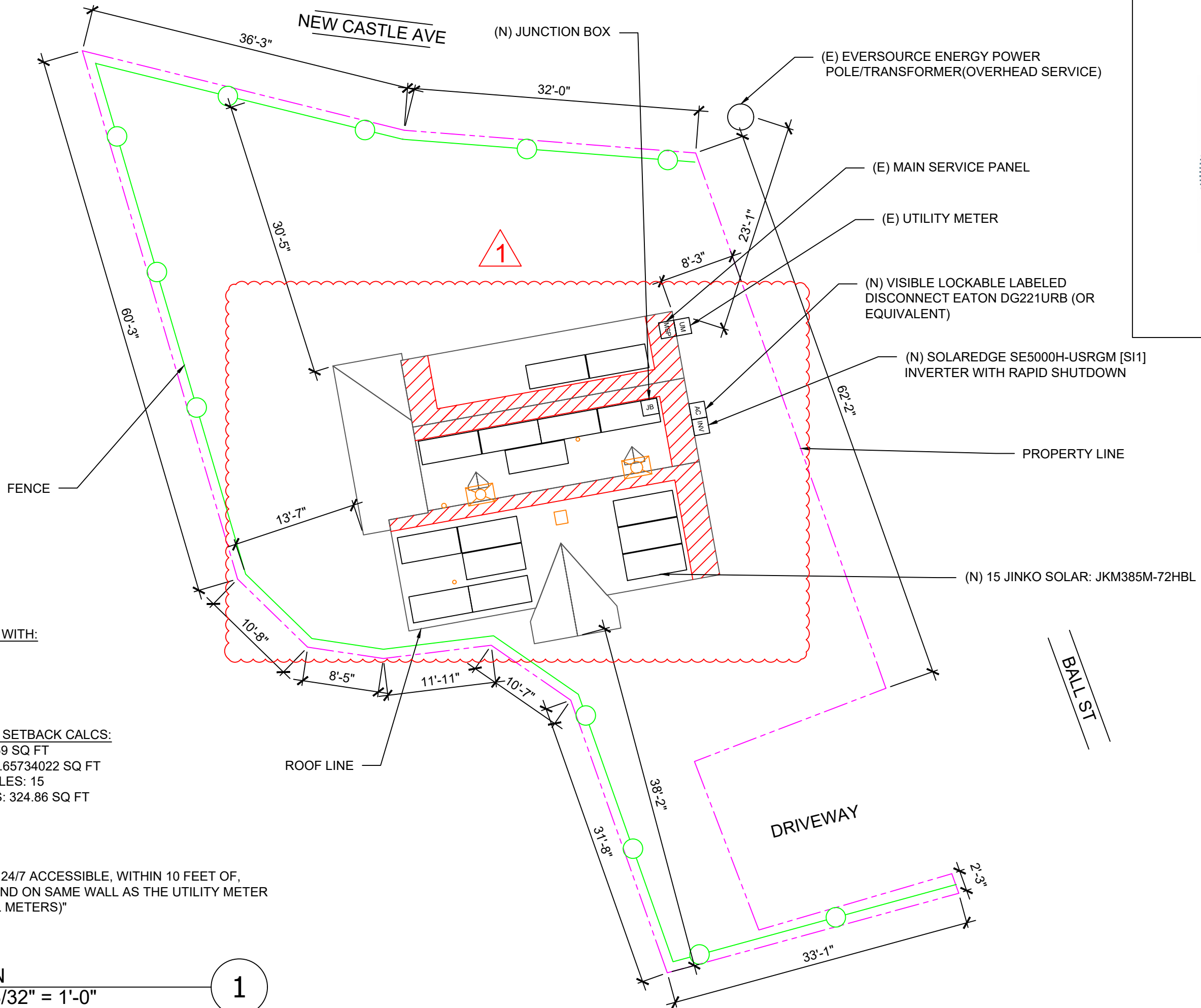
  
**freedom**  
FOREVER  
 FREEDOM FOREVER LLC  
 43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
 Tel: (800) 385-1075  
**GREG ALBRIGHT**  
  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

SITE LOCATION			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-1

**LEGEND:**

-  CHIMNEY
-  PIPE VENT
-  MODULES
-  CONDUIT
-  SETBACK
-  AC DISCONNECT
-  UTILITY METER
-  JUNCTION BOX
-  INVERTER
-  MAIN SERVICE PANEL

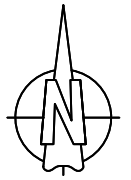
**PV SYSTEM**  
 5.775 KW-DC  
 5.000 KW-AC



**THIS SYSTEM DESIGNED WITH:**  
 WIND SPEED: 121  
 WIND EXPOSURE: B  
 SNOW LOAD: 50

**TOTAL ROOF AREA RIDGE SETBACK CALCS:**  
 TOTAL ROOF AREA: 1311.69 SQ FT  
 SINGLE MODULE AREA: 21.65734022 SQ FT  
 TOTAL NUMBER OF MODULES: 15  
 TOTAL AREA OF MODULES: 324.86 SQ FT  
 ROOF COVERAGE: 24.77%  
 FIRE SPRINKLERS : NO

"AC DISCONNECT SHALL BE 24/7 ACCESSIBLE, WITHIN 10 FEET OF, WITHIN VISIBLE SIGHT OF, AND ON SAME WALL AS THE UTILITY METER (EXCEPTION FOR PEDESTAL METERS)"



**SITE PLAN**  
 SCALE: 3/32" = 1'-0"

1



ROOF AREA: 1311.69 SQ FT

**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
**AHJ:** CITY OF PORTSMOUTH (NH)  
**UTILITY:** EVERSOURCE ENERGY (EASTERN MA)  
**METER:** 72329222  
**APN:** PRSM-000101-000023  
**PHONE:** (603) 361-7031  
**EMAIL:** AMOODEY1@GMAIL.COM

**SYSTEM:**  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 KW  
 SYSTEM SIZE (AC): 5.000 KW @ 240V  
 MODULES: 15 X JINKO SOLAR: JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREEDGE P505  
 INVERTER: SOLAREEDGE SE5000H-USRGM [S11]











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 FOREVER  
 FREEDOM FOREVER LLC  
 43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
 Tel: (800) 385-1075  
**GREG ALBRIGHT**  
  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

SITE PLAN			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-2



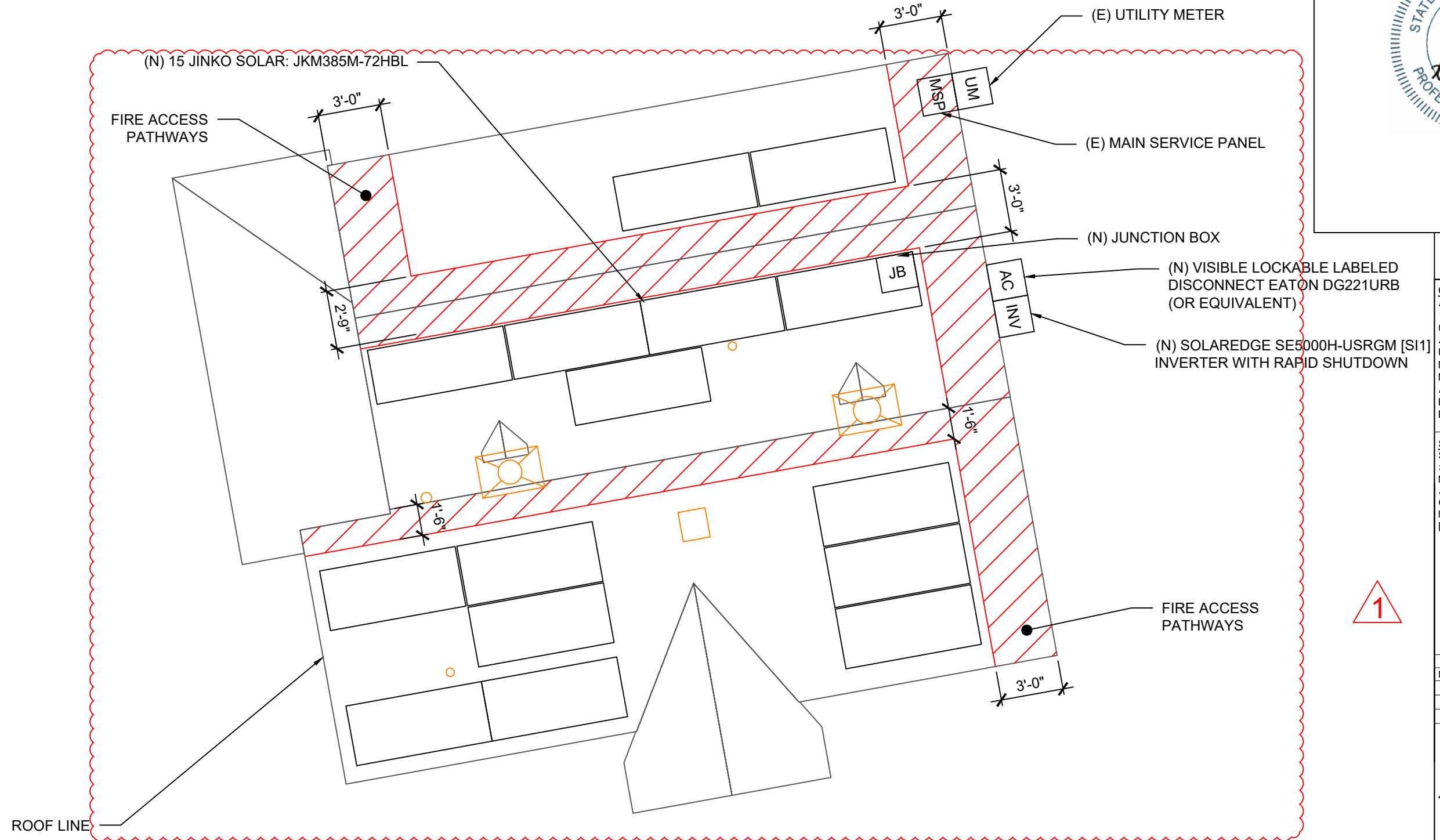
**LEGEND:**

-  CHIMNEY
-  PIPE VENT
-  MODULES
-  CONDUIT
-  SETBACK
-  AC DISCONNECT
-  UTILITY METER
-  JUNCTION BOX
-  INVERTER
-  MAIN SERVICE PANEL

**PV SYSTEM**  
**5.775 kW-DC**  
**5.000 kW-AC**

**THIS SYSTEM DESIGNED WITH:**  
 WIND SPEED: 121  
 WIND EXPOSURE: B  
 SNOW LOAD: 50

TOTAL ROOF AREA: 1311.69 SQ FT  
 TOTAL ARRAY AREA: 324.86 SQ FT  
 ARRAY COVERAGE: 24.77%  
 SYSTEM DISTRIBUTED WEIGHT: 2.29 LBS  
 UNIRAC: FLASHKIT PRO POINT-LOAD: 18.15 LBS



ROOF AREA: 1311.69 SQ FT

**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
 UTILITY: EVERSOURCE ENERGY (EASTERN MA)  
 METER: 72329222  
 APN: PRSM-000101-000023  
 PHONE: (603) 361-7031  
 EMAIL: AMOODEY1@GMAIL.COM

**SYSTEM:**  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 kW  
 SYSTEM SIZE (AC): 5.000 kW @ 240V  
 MODULES: 15 X JINKO SOLAR: JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREEDGE P505  
 INVERTER: SOLAREEDGE SE5000H-USRGM [S1]



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 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

ROOF PLAN WITH MODULES LAYOUT

JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-2A



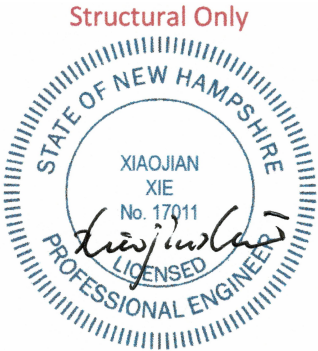
**ROOF PLAN**  
**SCALE: 3/16" = 1'-0"**

**1**

- NOTES:**
1. EMT CONDUIT ATTACHED TO THE ROOF USING CONDUIT MOUNTS
  2. ATTACHED CLAMPS AT 25% FROM THE EDGE AND 50% FROM THE CENTER OF THE MODULES
  3. JUNCTION BOX IS MOUNTED TO THE RAIL.

# ROOF DETAILS:

TOTAL ROOF AREA: 1311.69 SQ FT  
 TOTAL ARRAY AREA: 324.86 SQFT  
 ARRAY COVERAGE: 24.77%  
 SYSTEM DISTRIBUTED WEIGHT: 2.29 LBS  
 UNIRAC: FLASHKIT PRO POINT-LOAD: 18.15 LBS



ROOF AREA STATEMENT						
ROOF	MODULE QUANTITY	ROOF PITCH	ARRAY PITCH	AZIMUTH	ROOF AREA	ARRAY AREA
ROOF 1	8	28	28	170	462.46 SQ FT	173.26 SQ FT
ROOF 2	5	37	37	170	345.37 SQ FT	108.29 SQ FT
ROOF 3	2	37	37	350	280.45 SQ FT	43.31 SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT



**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH  
 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
 UTILITY: EVERSOURCE ENERGY (EASTERN  
 MA)  
 METER: 72329222  
 APN: PRSM-000101-000023  
 PHONE: (603) 361-7031  
 EMAIL: AMOODEY1@GMAIL.COM

**SYSTEM:**  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 kW  
 SYSTEM SIZE (AC): 5.000 kW @ 240V  
 MODULES: 15 X JINKO SOLAR:  
 JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREEDGE P505  
 INVERTER: SOLAREEDGE SE5000H-USRGM  
 [S11]

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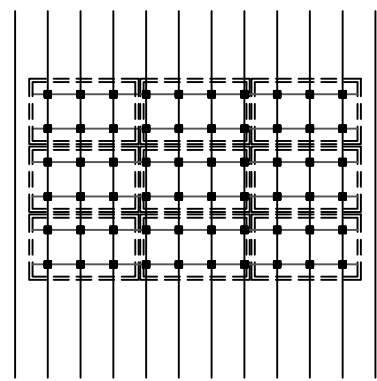
  
**FREEDOM FOREVER LLC**  
 43445 BUSINESS PARK DR #110, TEMECULA,  
 CA 92590  
 Tel: (800) 385-1075  
**GREG ALBRIGHT**  
  
**CONTRACTOR LICENSE:**  
 ELECTRICAL CONTRACTOR 0512C

ROOF DETAILS			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-2B

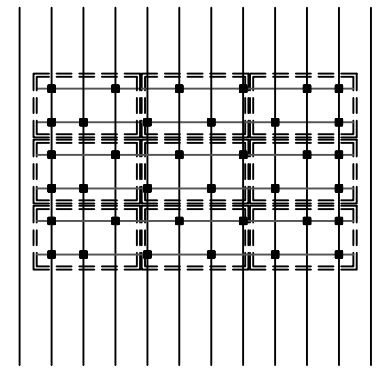
**TABLE 1 - ARRAY INSTALLATION**

	ROOF PITCH	ROOFING TYPE	ATTACHMENT TYPE	FRAMING TYPE	MAX UNBRACED LENGTH(FT.)	STRUCTURAL ANALYSIS RESULT	PENETRATION PATTERN	MAX ATTACHMENT SPACING (IN.)	MAX RAIL OVERHANG(IN.)
ROOF 1	28	Comp Shingle	Unirac Flashkit Pro	2x8 RAFTER @ 32" O.C.	7.1	PASS	STAGGERED	32	10.66667
ROOF 2	37	Comp Shingle	Unirac Flashkit Pro	2x8 RAFTER @ 32" O.C.	7.1	PASS	STAGGERED	32	10.66667
ROOF 3	37	Comp Shingle	Unirac Flashkit Pro	2x8 RAFTER @ 32" O.C.	7.1	PASS	STAGGERED	32	10.66667

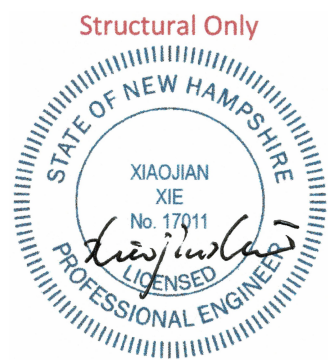
1. CONTRACTOR TO VERIFY FRAMING TYPE AND MAX UNBRACED LENGTH PRIOR TO INSTALLATION. IF THE ABOVE INFORMATION DOES NOT MATCH FIELD CONDITIONS, NOTIFY ENGINEER OF RECORD IMMEDIATELY.
2. WHERE COLLAR TIES OR RAFTER SUPPORTS EXIST, CONTRACTOR SHALL USE RAFTERS WITH COLLAR TIES AS ATTACHMENT POINTS.
3. MAX RAIL OVERHANG APPLICABLE FOR RAILED ATTACHMENT INSTALLATIONS.



**STACKED DETAIL**  
For Illustration purposes only



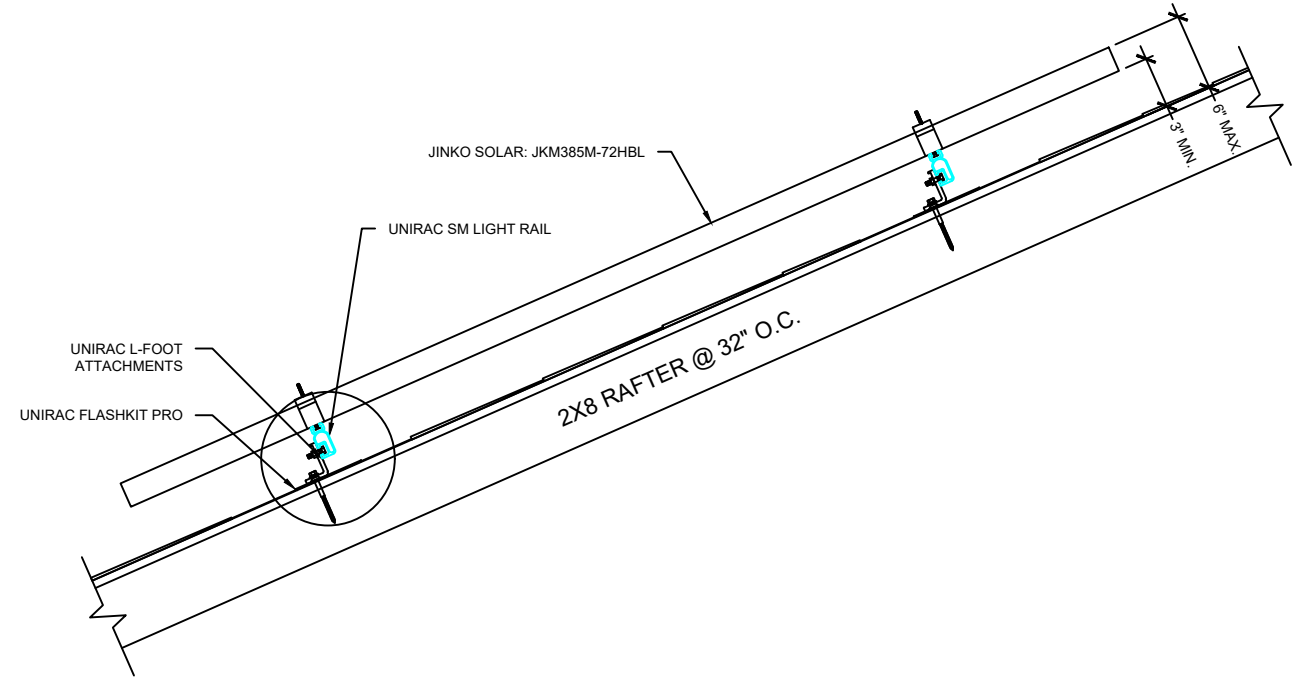
**STAGGERED DETAIL**  
For Illustration purposes only



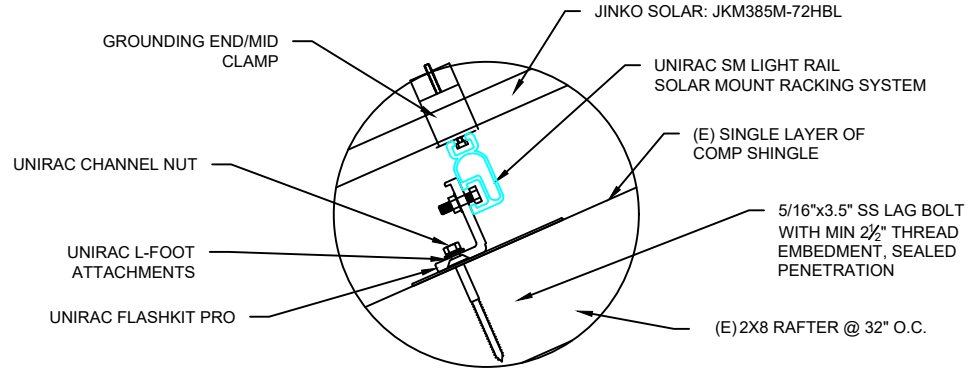
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 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
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 SYSTEM SIZE (DC): 15 X 385 = 5.775 kW  
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NO.	REVISED BY	DATE
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-	-	-



**SOLAR PV ARRAY SECTION VIEW**  
Scale: NTS



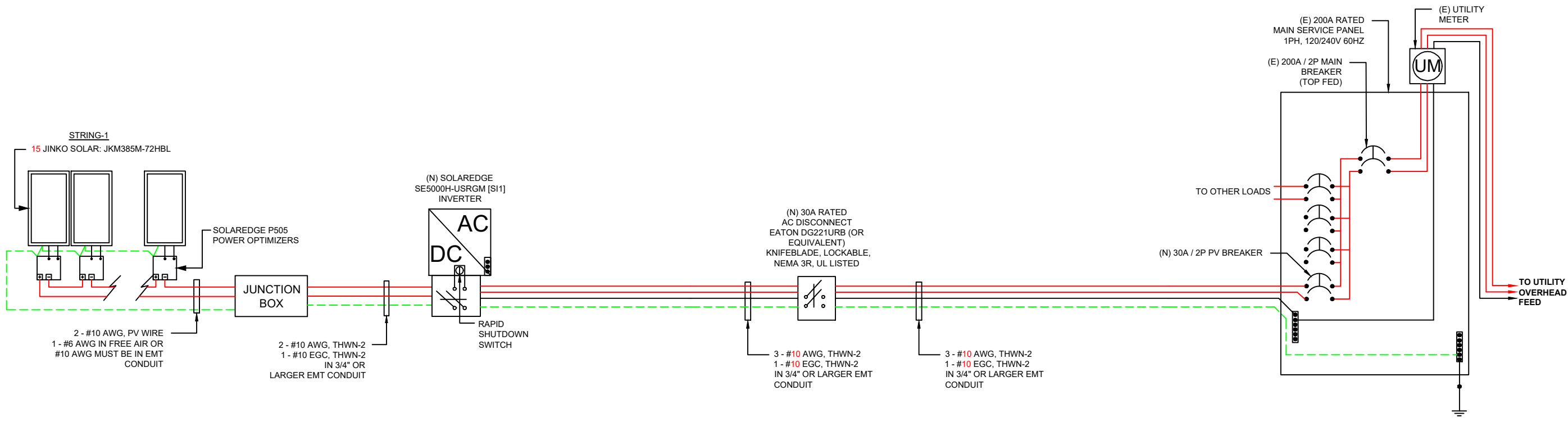
**ATTACHMENT DETAIL**  
Scale: NTS

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 Tel: (800) 385-1075  
**GREG ALBRIGHT**  
  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

MOUNTING DETAILS			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-3

BACKFEED BREAKER SIZING					
MAX. CONTINUOUS OUTPUT 21.00A @ 240V					
21.00	X	1.25	=	26.25AMPS	30A BREAKER - OK
SEE 705.12 OF 2023 NEC					
200	X	1.20	=	240	
240	-	200	=	40A ALLOWABLE BACKFEED	

**PV SYSTEM**  
**5.775 kW-DC**  
**5.000 kW-AC**



**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
 UTILITY: EVERSOURCE ENERGY (EASTERN MA)  
 METER: 72329222  
 APN: PRSM-000101-000023  
 PHONE: (603) 361-7031  
 EMAIL: AMOODEY1@GMAIL.COM

**SYSTEM:**  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 kW  
 SYSTEM SIZE (AC): 5.000 kW @ 240V  
 MODULES: 15 X JINKO SOLAR: JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREEDGE P505  
 INVERTER: SOLAREEDGE SE5000H-USRGM [SI1]

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1	S.K.	11/8/2023
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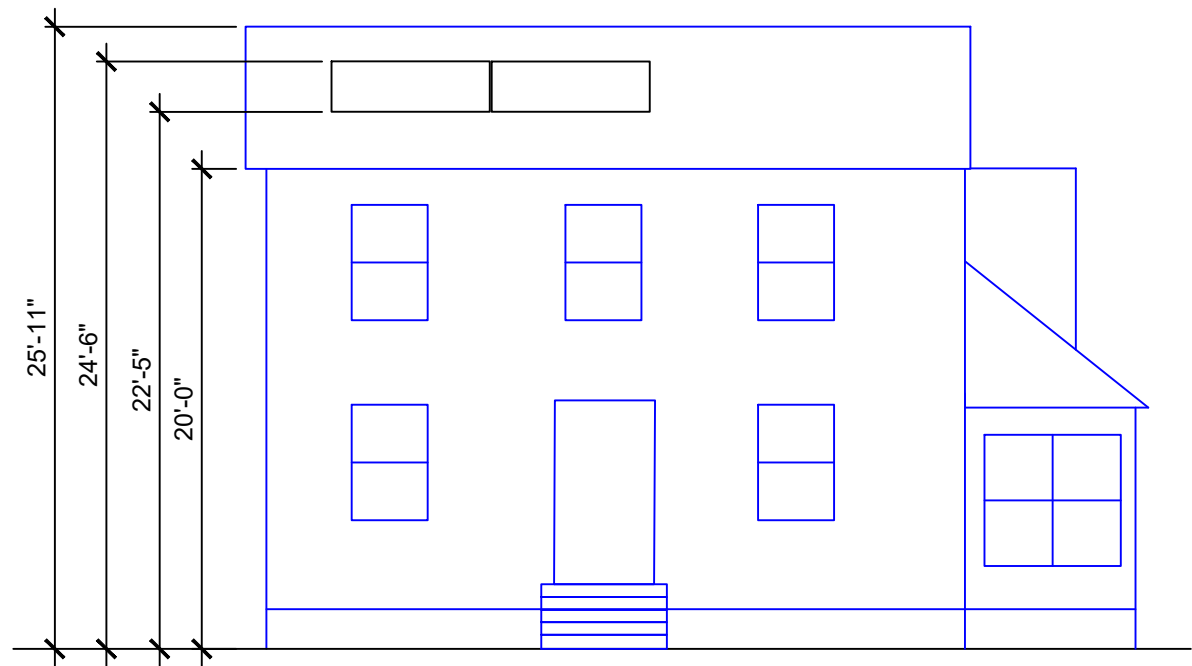
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**GREG ALBRIGHT**  
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NOTE:  
 CONDUIT AND CONDUCTORS SPECIFICATIONS ARE BASED ON MINIMUM CODE REQUIREMENTS AND ARE NOT MEANT TO LIMIT UP-SIZING AS REQUIRED BY FIELD CONDITIONS

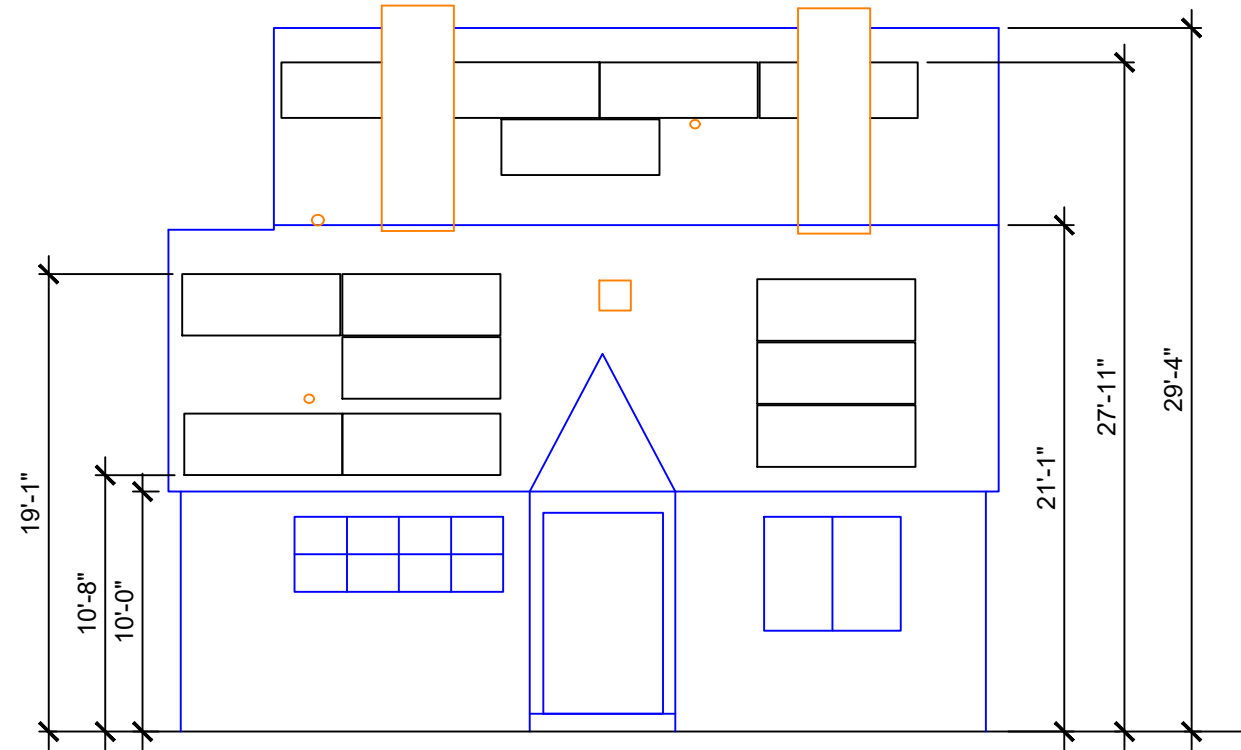
THREE LINE DIAGRAM			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
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FRONT OF HOUSE ELEVATION



BACK OF HOUSE ELEVATION

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 [S1]

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BUILDING ELEVATION			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
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**MAIN PHOTOVOLTAIC SYSTEM DISCONNECT**  
690.13(B)

**DO NOT DISCONNECT UNDER LOAD**  
NEC 690.15 (B) & NEC 690.33(D)(2)

**WARNING**  
SINGLE 120-VOLT SUPPLY  
DO NOT CONNECT  
MULTIWIRE BRANCH CIRCUITS  
NEC 710.15(C) & 692.9 (C)

**WARNING DUAL POWER SOURCE**  
SECOND SOURCE IS PHOTOVOLTAIC SYSTEM  
NEC 705.12(D) & NEC 690.59

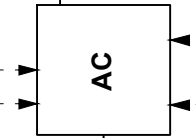
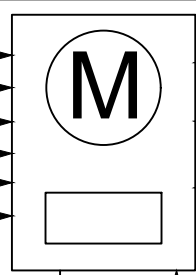
**WARNING**  
TURN OFF PHOTOVOLTAIC  
AC DISCONNECT PRIOR TO  
WORKING INSIDE PANEL  
NEC 110.27(C) & OSHA 1910.145(F)(7)

**WARNING**  
ELECTRICAL SHOCK HAZARD  
TERMINALS ON THE LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION  
706.15(C)(4) & 690.13(B)

**WARNING**  
THIS EQUIPMENT FED BY  
MULTIPLE SOURCES:  
TOTAL RATING OF ALL OVERCURRENT  
DEVICES EXCLUDING MAIN POWER  
SUPPLY SHALL NOT EXCEED  
AMPACITY OF BUSBAR  
NEC 705.12(B)(3)(3)

**WARNING**  
THE DISCONNECTION OF THE  
GROUNDED CONDUCTOR(S)  
MAY RESULT IN OVERVOLTAGE  
ON THE EQUIPMENT  
NEC 690.31(E)

**RAPID SHUTDOWN SWITCH FOR  
SOLAR PV SYSTEM**  
690.56(C)(3)



**SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN**

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY

**CAUTION**  
PHOTOVOLTAIC SYSTEM CIRCUIT IS BACKFED  
NEC 705.12(D) & NEC 690.59

**WARNING**  
POWER SOURCE OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE.  
NEC 705.12(C) & NEC 690.59

**WARNING**  
ARC FLASH AND SHOCK HAZARD  
APPROPRIATE PPE REQUIRED  
24 INCH FLASH HAZARD BOUNDARY  
3 CALCMF2 FLASH HAZARD AT 18 INCHES  
480 VAC SHOCK HAZARD WHEN COVER IS REMOVED  
42 INCH LIMITED APPROACH  
12 INCH RESTRICTED APPROACH - 500 V CLASS 00 GLOVES  
1 INCH PROHIBITED APPROACH - 500 V CLASS 00 GLOVES  
LOCATION: 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801

**PHOTOVOLTAIC AC DISCONNECT**  
NEC 690.13(B)

**PHOTOVOLTAIC AC DISCONNECT**  
RATED AC OUTPUT CURRENT: **21.00A**  
NOMINAL OPERATING AC VOLTAGE: **240V**  
NEC 690.54

**SOLAR PV DC CIRCUIT**  
EVERY 10' ON CONDUIT AND ENCLOSURES  
NEC 690.31

**PHOTOVOLTAIC POWER SOURCE**  
EVERY 10' ON CONDUIT AND ENCLOSURES  
NEC 690.31(D)(2)

MAXIMUM VOLTAGE **480** V  
MAXIMUM CIRCUIT CURRENT **13.5** A  
MAX DC-DC CONVERTER OUTPUT CURRENT **15** A

**NOTES:**

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- ALL MARKING SHALL CONSIST OF THE FOLLOWING:
  - UV RESISTANT SIGN MATERIAL WITH ENGRAVED OR MACHINE PRINTED LETTERS OR ELECTRO-PLATING.
  - RED BACKGROUND COLOR WHITE TEXT AND LINE WORK.
  - ARIAL FONT.
- ALL SIGNS SHALL BE SIZED APPROPRIATELY AND PLACED IN THE LOCATIONS SPECIFIED. SIGNAGE CANNOT BE HAND-WRITTEN.
- SIGNS SHALL BE ATTACHED TO THE SERVICE EQUIPMENT WITH POP-RIVETS OR SCREWS

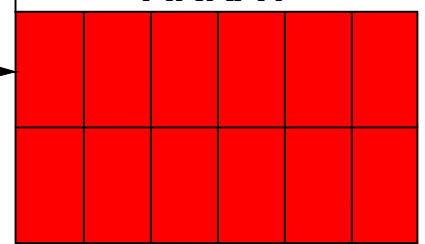
**PHOTOVOLTAIC DC DISCONNECT**  
NEC 690.13(B)

**MAXIMUM DC VOLTAGE OF PV SYSTEM**  
NEC 690.53

**WARNING**  
ELECTRICAL SHOCK HAZARD  
TERMINALS ON THE LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION  
DC VOLTAGE IS ALWAYS PRESENT  
WHEN SOLAR MODULES  
ARE EXPOSED TO SUNLIGHT  
706.15(C)(4) & 690.13(B)

**WARNING**  
ELECTRICAL SHOCK HAZARD  
TERMINALS ON THE LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION  
706.15(C)(4) & 690.13(B)

**WARNING**  
TURN OFF PHOTOVOLTAIC  
AC DISCONNECT PRIOR TO  
WORKING INSIDE PANEL  
NEC 110.27(C) & OSHA 1910.145(F)(7)



NEC 690.31(G)(3) & (4)

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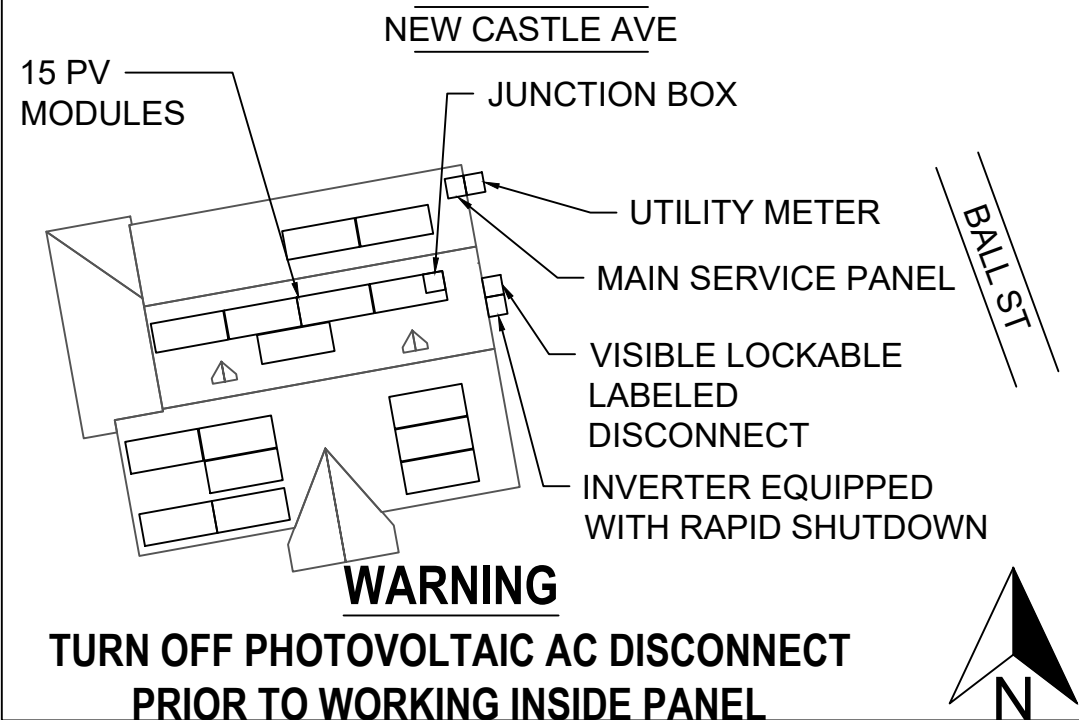
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GREG ALBRIGHT  
  
CONTRACTOR LICENSE:  
ELECTRICAL CONTRACTOR 0512C

LABELS			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-7



# CAUTION:

POWER TO THIS BUILDING IS ALSO SUPPLIED FROM THE FOLLOWING SOURCES WITH DISCONNECTS AS SHOWN



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SITE PLACARD			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-7A

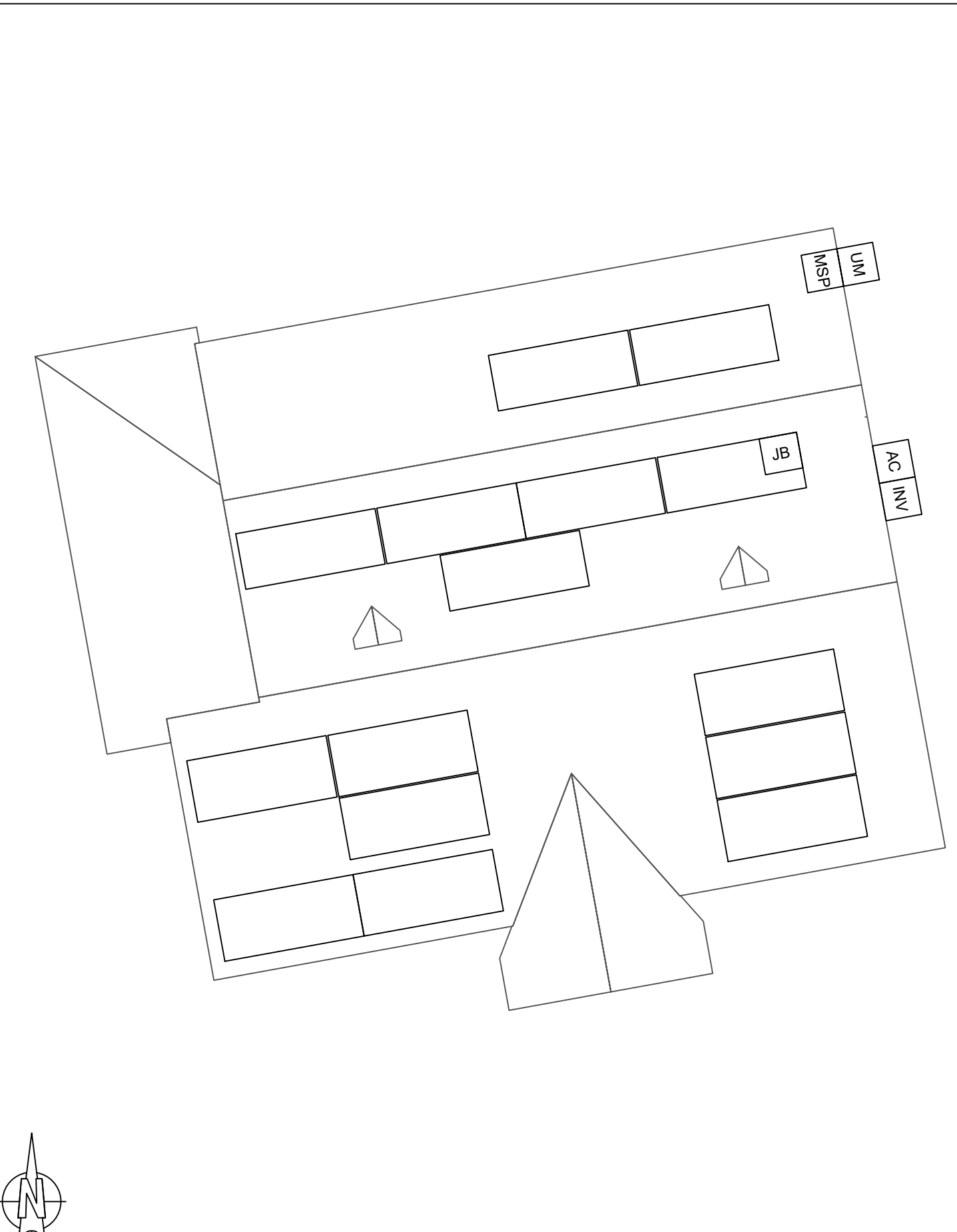
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  - B. RED BACKGROUND COLOR WHITE TEXT AND LINE WORK.
  - C. AERIAL FONT.
3. ALL SIGNS SHALL BE SIZED APPROPRIATELY AND PLACED IN THE LOCATIONS SPECIFIED. SIGNAGE CANNOT BE HAND-WRITTEN.
4. SIGNS SHALL BE ATTACHED TO THE SERVICE EQUIPMENT WITH POP-RIVETS OR SCREWS.

# SOLAREEDGE OPTIMIZER CHART

1-10    11-20    21-30    31-40    41-50    51-60

1  
2  
3  
4  
5  
6  
7  
8  
9  
10

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OPTIMIZER CHART			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-8

# SAFETY PLAN

# MARK UP KEY

### INSTRUCTIONS:

- USE SYMBOLS IN KEY TO MARK UP THIS SHEET.
- SAFETY PLAN MUST BE MARKED BEFORE JOB STARTS AS PART OF THE PRE-PLAN
- DOCUMENT ALL ADDITIONAL HAZARDS ON THIS PAGE & MAKE NOTES ON THE JHA SHEET

### INCIDENT REPORTING:

INJURIES - CALL INJURY HOTLINE

**(855) 400-7233**

*\*If injury is life threatening, call 911 first THEN the Injury Hotline*

NON-INJURIES - USE MOBILE INCIDENT REPORTING

(Auto, Property Damage, Near Miss)



### NEAREST OCCUPATIONAL/INDUSTRIAL CLINIC:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

### NEAREST HOSPITAL:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

### SAFETY COACH CONTACT INFORMATION:

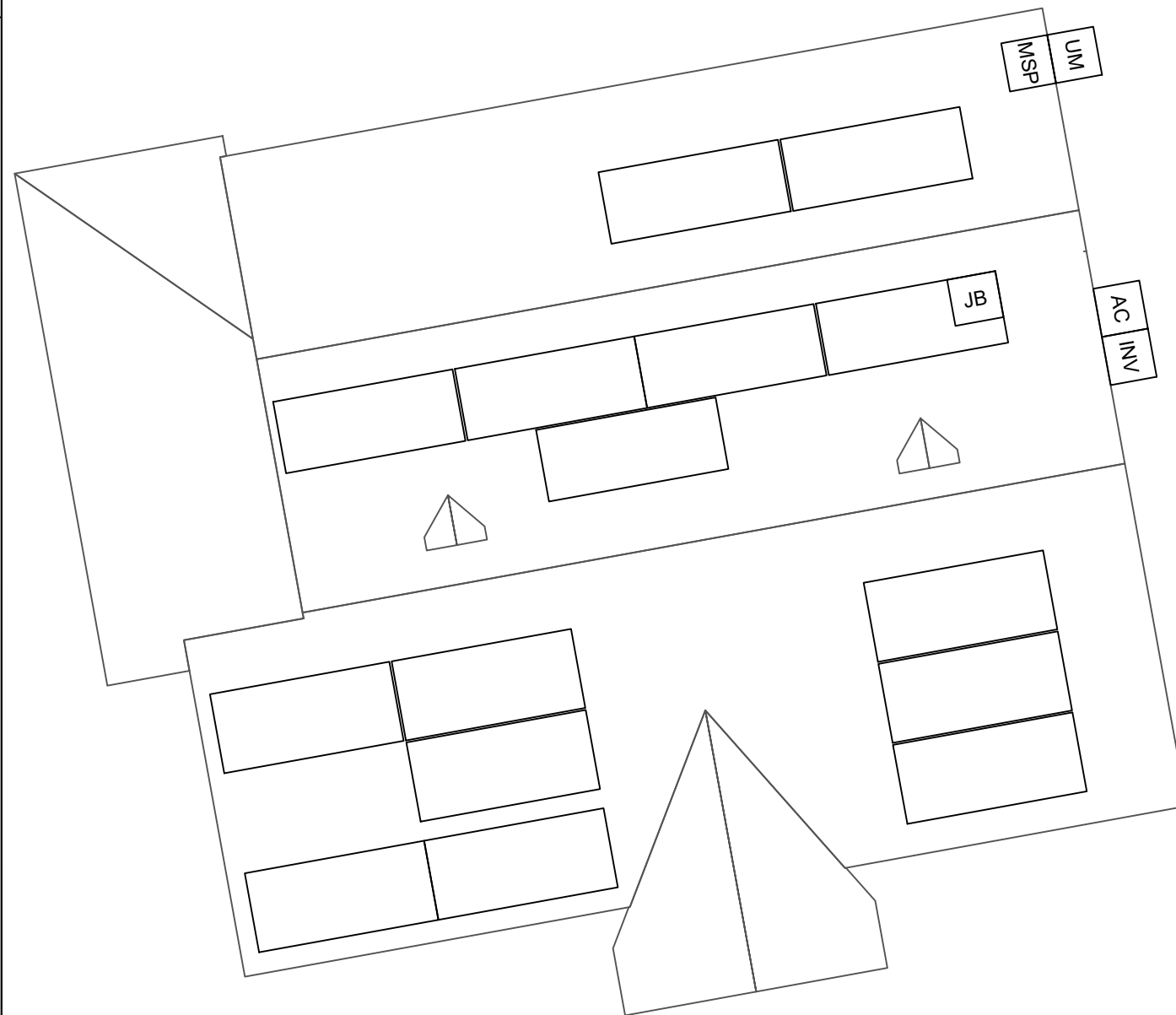
NAME: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

ALL EMPLOYEES ON SITE SHALL BE MADE AWARE OF THE SAFETY PLAN AND SIGN INDICATING THAT THEY ARE AWARE OF THE HAZARDS ON-SITE AND THE PLAN FOR WORKING SAFELY.

NAME	SIGNATURE
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_



- P PERMANENT ANCHOR
- T TEMPORARY ANCHOR
- IL INSTALLER LADDER
- B JUNCTION / COMBINER BOX
- S STUB-OUT
- SKYLIGHT
- NO LADDER ACCESS (STEEP GRADE OR GROUND LEVEL OBSTRUCTIONS)
- RESTRICTED ACCESS
- CONDUIT
- GAS GAS SHUT OFF
- H<sub>2</sub>O WATER SHUT OFF
- 7 SERVICE DROP
- Z POWER LINES

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# BREAK AND WATER LOG

THIS LOG IS TO BE FILLED OUT ANY TIME THE TEMP EXCEEDS **90** DEGREES. THE CREW LEAD AND ROOF LEAD ARE RESPONSIBLE FOR ENSURING THIS IS COMPLETED AND UPLOADED AT THE END OF EVERYDAY WHEN TEMPS EXCEED **90** DEGREES

NAME	0800HRS	0900HRS	1000HRS	1100HRS	1200HRS	1300HRS	1400HRS	1500HRS	1600HRS

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SAFETY PLAN			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-9

# JOB HAZARD ANALYSIS

Crew leader to fill out all sections below, hold a pre-job safety meeting with all personnel, and upload this completed document and the Safety Plan to Site Capture

## Ladder Access

- Ladders must be inspected before each use.
  - Extension ladders must be set up on a firm and level surface at a 4-to-1 rise to run angle (or 75 degrees) and the top must be secured to the structure. Extension style ladders placed on uneven, loose or slippery surfaces must additionally have the base firmly anchored or lashed so the base will not slip out.
  - Extension ladders must be used with walk-through devices or the ladder must extend 36" above the stepping off point.
  - A-frame ladders must only be climbed with the ladder spreader bars locked in the open position; A-frame ladders shall not be climbed while in the closed position (ex, closed and used while leaned against a structure).
- Additional notes:

## Mobile Equipment

- Only Qualified operators will operate equipment; operators must maintain a certification on their person for the equipment being operated.
- Type(s) of mobile equipment (Type/Make/Model):
- Qualified operator(s):

## Material Handling and Storage

- Materials will be staged/stored in a way that does not present a hazard to client, personnel or public. Materials stored on the roof will be physically protect from failing or sliding off.

## Fall Protection

- A site-specific plan for fall prevention and protection is required prior to starting work and must remain onsite at all times until work is complete; a fall rescue plan must be outlined and discussed among the crew prior to work start.
- First-person-Up (FPU) must install their anchor and connect before any other task, including installing other anchors. The Last-Person-Down (LPD) must be the only person on a roof uninstalling fall protection.

- FPCP (name and title):
- FPU and LPD (name and title):

## Electrical Safety

- The Electrical Qualified Person (EQP) is required onsite to perform electrical work.
  - All electrical work will be performed with equipment in an electrically safe condition (de-energized) unless approval has been granted prior to work.
  - Service drops and overhead electrical hazards will be identified and protected from contact, as neccessary.
- EQP (name and tile):

## Public Protection

- The safety of the Client and Public must be maintained at all times.
- The Client and the Public shall be prevented from entering the work zone through the use of barriers and/or signage, as required.
- Company, Client and Public property shall be protected from falling objects.
- Pets (including dogs) shall be secured by their owners prior to work start.
- The Client should not leave pets, family members, or others in charge or care of Employees, Contractors, or Temporary Workers.

- Crew leader responsible for communication with the client:
- Client and public is excluded from work area by barricades (N/A, Yes, No):

## Training and Pre-Job Safety Briefing

- All employees onsite shall be made aware of the specific hazards of this project and review this HJA during a pre-job briefing, and their signature indicates awareness of site conditions and the plan to eliminate any hazards identified prior to and during the project.

- Crew leader (name/title):
- Crew member (name/title):
- Crew member (name/title):
- Crew member (name/title):
- Crew member (name/title):
- Crew member (name/title):

## Airborne Contaminants:

- Asbestos-containing (Transite) piping (ACP) - Do not disturb (move, drill, cut fracture, etc.)
- Asbestos-containing thermal insulation (ACI) and Asbestos-containing duct wrapping (ACW) - do not disturb, no attic or crawlspace access is allowed if work to be performed could cause exposure to personnel, client or public.

- If yes, list specific tasks and protection in place:

## Weather and Environment

- The site supervisor shall forecast the weather conditions at the job site, prior to crew arrival, in order to mitigate any hazards associated with inclement weather (heat, cold, wind, rain, etc.)
- The site supervisor will utilized a portable wind meter (anemometer) to verify actual onsite wind conditions, by checking at the ground and on any elevated work surface (ex, rooftop) prior to work start, at midday and prior to solar panel staging on a roof.
- Elevated work involving the moving or maneuvering of solar panels shall cease at 25mph (sustained wind) until wind subsides.

- Forecasted weather maximum temp (degrees f):

## Heat Related Illness Prevention

- Employees shall have access to potable drinking water that is fresh, pure, and suitably cool. The water shall be located as close as practicable to the areas where employees are working. Water shall be supplied in sufficient quantity at the beginning of the work shift to provide at least one quart per employee per hour for drinking for the entire shift. Employees may begin the shift with smaller quantities of water if they identify the location and have effective means for replenishment during the shift to allow employees to drink on quart or more per hour. The frequent drinking of water shall be encouraged.
- Shade shall be present when temperature exceeds 80 degrees Fahrenheit. When the outdoor temperature in the work exceeds 80 degrees Fahrenheit, employees shall have and maintain one or more areas with shade at all times.
- New employees must be acclimatized. New employees will be monitored by their Crew Leader (site supervisor) for the first two (2) weeks of employment or longer when necessary.
- Employees will be allowed and encouraged to implement scheduled breaks during each shift. Employees must take cool-down breaks in the shade any time they feel the need to do so to protect them from overheating. Supervisors are REQUIRED to allow employees any break period they need during high heat conditions.
- Cool Vests are encouraged for all employees at all times during periods of high heat.
- Identify the location of the closet Occupational/Industrial Clinic or Hospital in case a crew member becomes ill.

What is the specific plan to provide and replenish sufficient water for all employees on site?

- If offsite replenish is necessary, where will you go to replenish water (location/address):
- Who will replenish the drinking water (name):

## Restroom facilities

- Employees shall have access to restroom facilities with hand-washing stations. Use of onsite restroom is at the client's discretion (location is annotated below). If client does not give permission, location of suitable restroom facilities with hand-washing stations offsite will be provided. The onsite supervisor will identify location and make arrangements to ensure all employees have access at any point.

- Restroom facilities will be (circle one): Onsite - Offsite
- If Offsite, add location name and address:

## Incident Reporting Procedure

- Contact your Site Supervisor
- Name:
- Phone:
- 
- Contact your Manager
- Name:
- Phone:
- 
- Contact your Site Supervisor
- Name:
- Phone:

With: Your full name, phone number, office location, brief description of what happen and when.

## NOTE ADDITIONAL HAZARDS NOT ADDRESSED ABOVE

(add as many as necessary by using additional sheets)

Define the Hazard:	Method/steps to prevent incident:

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SAFETY PLAN			
JOB NO: 369950	DATE: 11/13/2023	DESIGNED BY: S.G.	SHEET: PV-10



FOR INSTALLATION REFERENCE ONLY

SCAN QR CODE TO ACCESS REFERENCE LINK

**FREEDOM REFERENCES**



INSTALL HOTLINE

**PV INSTALLATION REFERENCES**



ENPHASE



SOLAREEDGE



TESLA

**BATTERY INSTALLATION REFERENCES**



Enphase Storage Systems



SOLAREEDGE Storage Systems



TESLA Storage Systems



NON-BACKUP Battery Systems



Misc. Quick Guide



**THE MOST  
DEPENDABLE  
SOLAR BRAND**



## EAGLE 72HM G2 Black

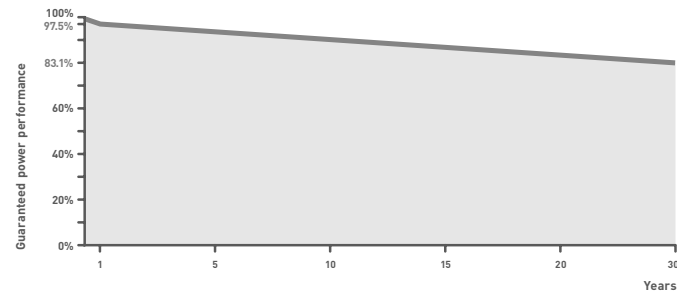
**380-400 WATT • HALF CELL MONO PERC MODULE**

Positive power tolerance of 0~+3%

- NYSE-listed since 2010, Bloomberg Tier 1 manufacturer
- Best-selling module globally for last 4 years
- Top performance in the strictest 3rd party labs
- 99.9% on-time delivery to the installer
- Automated manufacturing utilizing artificial intelligence
- Vertically integrated, tight controls on quality
- Premium solar panel factories in USA and Malaysia

### LINEAR PERFORMANCE WARRANTY

25-Year Performance Warranty



Nomenclature: JKM400M-72HBL

Code	Cell	Code	Backsheet	Code	Cell
mult	Full	mult	White	mult	Normal
H	Half	B	Black	L	Diamond

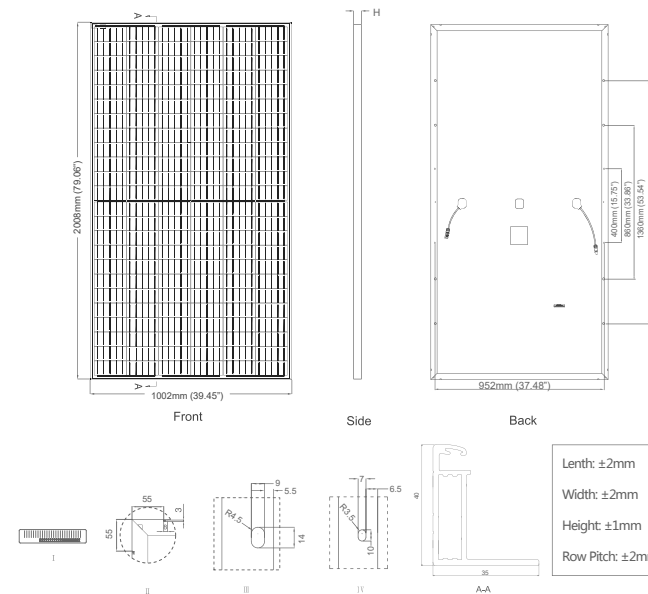


- ISO9001:2008 Quality Standards
- ISO14001:2004 Environmental Standards
- IEC61215, IEC61730 certified products
- OHSAS18001 Occupational Health & Safety Standards
- UL1703 certified products

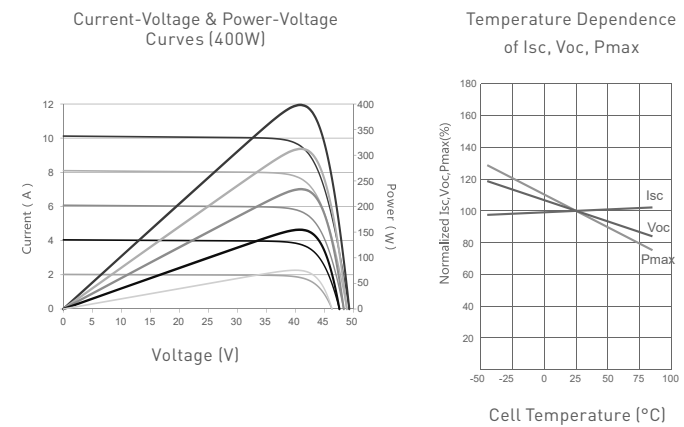
### KEY FEATURES

- Diamond Half Cell Technology**  
 World-record breaking efficient mono PERC half cut solar cells deliver high power in a small footprint.
- Designed for Long Life**  
 Uses the same DuPont protective film as the Space Station, Mars Lander, and jetliners. 25-year warranty.
- Shade Tolerant**  
 Twin array design allows continued performance even with shading by trees or debris.
- Power Boost in Cloudy Conditions**  
 A special film diffuses light, boosting performance even with shading by trees or debris.
- Protected Against All Environments**  
 Certified to withstand humidity, heat, rain, marine environments, wind, hailstorms, and packed snow.

### ENGINEERING DRAWINGS



### ELECTRICAL PERFORMANCE & TEMPERATURE DEPENDENCE



### ELECTRICAL CHARACTERISTICS

Module Type	JKM380M-72HBL		JKM385M-72HBL		JKM390M-72HBL		JKM395M-72HBL		JKM400M-72HBL	
	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT
Maximum Power (Pmax)	380Wp	286Wp	385Wp	290Wp	390Wp	294Wp	395Wp	298Wp	400Wp	302Wp
Maximum Power Voltage (Vmp)	40.5V	38.6V	40.8V	38.8V	41.1V	39.1V	41.4V	39.3V	41.7V	39.6V
Maximum Power Current (Imp)	9.39A	7.42A	9.44A	7.48A	9.49A	7.54A	9.55A	7.60A	9.60A	7.66A
Open-circuit Voltage (Voc)	48.9V	47.5V	49.1V	47.7V	49.3V	48.0V	49.5V	48.2V	49.8V	48.5V
Short-circuit Current (Isc)	9.75A	7.88A	9.92A	7.95A	10.12A	8.02A	10.23A	8.09A	10.36A	8.16A
Module Efficiency STC [%]	18.89%		19.14%		19.38%		19.63%		19.88%	

\*STC: ☀ Irradiance 1000W/m<sup>2</sup>    🌡 Cell Temperature 25°C    ☁ AM = 1.5  
 NOCT: ☀ Irradiance 800W/m<sup>2</sup>    🌡 Ambient Temperature 20°C    ☁ AM = 1.5    🌬 Wind Speed 1m/s

\*Power measurement tolerance: +/- 3%

CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.  
 © Jinko Solar Co., Ltd. All rights reserved. Specifications included in this datasheet are subject to change without notice.  
 JKM380-400M-72HBL-A3.1-US

### MECHANICAL CHARACTERISTICS

Cells	Mono PERC Diamond Cell (158.75x158.75mm)
No. of Cells	144 (6x24)
Dimensions	2008x1002x40mm (79.06x39.45x1.57in)
Weight	22.5kg (49.6lbs)
Front Glass	3.2mm, Anti-Reflection Coating High Transmission, Low Iron, Tempered Glass
Frame	Anodized Aluminum Alloy
Junction Box	IP67 Rated
Output Cables	12AWG, 2286mm (90in) or Customized Length
Fire Type	Type 1
Pressure Rating	5400Pa (Snow) & 2400Pa (Wind)
Connector	MC4

### TEMPERATURE CHARACTERISTICS

Temperature Coefficients of Pmax	-0.35%/°C
Temperature Coefficients of Voc	-0.29%/°C
Temperature Coefficients of Isc	0.048%/°C
Nominal Operating Cell Temperature (NOCT)	45±2°C

### MAXIMUM RATINGS

Operating Temperature (°C)	-40°C~+85°C
Maximum System Voltage	1000VDC (UL/IEC)
Maximum Series Fuse Rating	20A

### PACKAGING CONFIGURATION

[Two pallets = One stack]  
 27pcs/pallets, 54pcs/stack, 594pcs/40' HQ Container

# Power Optimizer

## For North America

S440, S500



# POWER OPTIMIZER

## PV power optimization at the module level

- Specifically designed to work with SolarEdge residential inverters
- Detects abnormal PV connector behavior, preventing potential safety issues\*
- Module-level voltage shutdown for installer and firefighter safety
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch loss, from manufacturing tolerance to partial shading
- Faster installations with simplified cable management and easy assembly using a single bolt
- Flexible system design for maximum space utilization
- Compatible with bifacial PV modules
- Meets NEC requirements for arc fault protection (AFCI) and Photovoltaic Rapid Shutdown System (PVRSS)

\* Expected availability in 2022

[solaredge.com](http://solaredge.com)



# / Power Optimizer

## For North America

S440, S500

	S440	S500	Unit
<b>INPUT</b>			
Rated Input DC Power <sup>(1)</sup>	440	500	W
Absolute Maximum Input Voltage (Voc)	60		Vdc
MPPT Operating Range	8 - 60		Vdc
Maximum Short Circuit Current (Isc) of Connected PV Module	14.5	15	Adc
Maximum Efficiency	99.5		%
Weighted Efficiency	98.6		%
Ovenvoltage Category	II		
<b>OUTPUT DURING OPERATION</b>			
Maximum Output Current	15		Adc
Maximum Output Voltage	60		Vdc
<b>OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM INVERTER OR INVERTER OFF)</b>			
Safety Output Voltage per Power Optimizer	1+/-0.1		Vdc
<b>STANDARD COMPLIANCE</b>			
Photovoltaic Rapid Shutdown System	NEC 2014, 2017 & 2020		
EMC	FCC Part 15 Class B, IEC61000-6-2, IEC61000-6-3		
Safety	IEC62109-1 (class II safety), UL1741		
Material	UL94 V-0, UV Resistant		
RoHS	Yes		
Fire Safety	VDE-AR-E 2100-712:2013-05		
<b>INSTALLATION SPECIFICATIONS</b>			
Maximum Allowed System Voltage	1000		Vdc
Dimensions (W x L x H)	129 x 153 x 30 / 5.07 x 6.02 x 1.18		mm / in
Weight (including cables)	655 / 1.5		gr / lb
Input Connector	MC4 <sup>(2)</sup>		
Input Wire Length	0.1 / 0.32		m / ft
Output Connector	MC4		
Output Wire Length	(+) 2.3, (-) 0.10 / (+) 7.54, (-) 0.32		m / ft
Operating Temperature Range <sup>(3)</sup>	-40 to +85		°C
Protection Rating	IP68 / Type6B		
Relative Humidity	0 - 100		%

(1) Rated power of the module at STC will not exceed the power optimizer Rated Input DC Power. Modules with up to +5% power tolerance are allowed

(2) For other connector types please contact SolarEdge

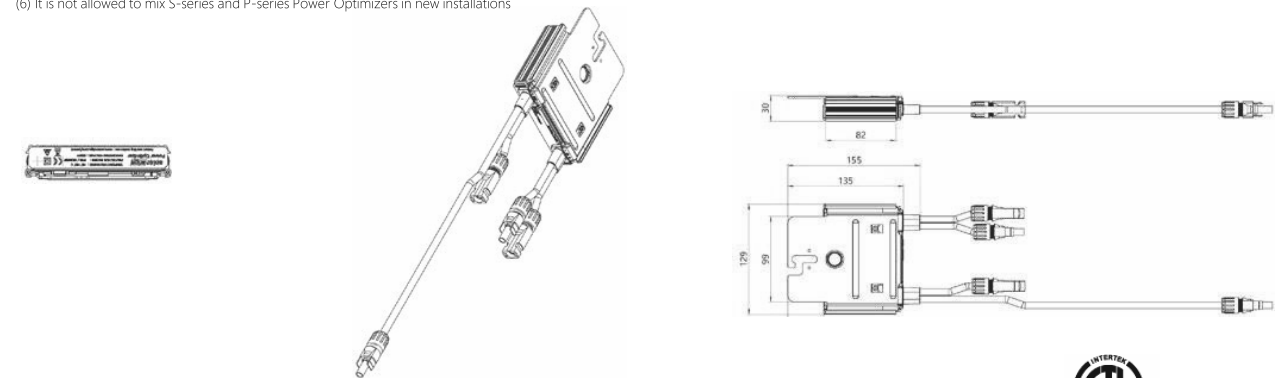
(3) For ambient temperature above +70°C / +158°F power de-rating is applied. Refer to Power Optimizers Temperature De-Rating Technical Note for more details

PV System Design Using a SolarEdge Inverter	Single Phase HD-Wave	Three Phase for 208V grid	Three Phase for 277/480V grid	
Minimum String Length (Power Optimizers)	S440, S500	8	14	18
Maximum String Length (Power Optimizers)	25		50 <sup>(4)</sup>	
Maximum Nominal Power per String	5700 (6000 with SE7600-US-SE11400-U)	6000	12750	W
Maximum Allowed Connected Power per String <sup>(5)</sup> (Permitted only when the difference in connected power between strings is 1,000W or less)	Refer to Footnote 5	One String 7200W Two strings or more 7800W	15,000W	
Parallel Strings of Different Lengths or Orientations	Y			

(4) A string with more than 30 optimizers does not meet NEC rapid shutdown requirements; safety voltage will be above the 30V requirement

(5) If the inverters rated AC power < maximum nominal power per string, then the maximum power per string will be able to reach up to the inverters maximum input DC power. Refer to: <https://www.solaredge.com/sites/default/files/se-power-optimizer-single-string-design-application-note.pdf>

(6) It is not allowed to mix S-series and P-series Power Optimizers in new installations



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# Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

12-25  
YEAR  
WARRANTY



INVERTERS

## Optimized installation with HD-Wave technology

- // Specifically designed to work with power optimizers
- // Record-breaking 99% weighted efficiency
- // Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- // Fixed voltage inverter for longer strings
- // Integrated arc fault protection and rapid shutdown for NEC 2014, NEC 2017 and NEC 2020 per article 690.11 and 690.12
- // UL1741 SA certified, for CPUC Rule 21 grid compliance
- // Small, lightweight, and easy to install both outdoors or indoors
- // Built-in module-level monitoring
- // Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)

## / Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
APPLICABLE TO INVERTERS WITH PART NUMBER	SEXXXXH-XXXXXBXX4							
<b>OUTPUT</b>								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	✓	Vac
AC Frequency (Nominal)	59.3 - 60 - 60.5 <sup>(1)</sup>							Hz
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5	A
Power Factor	1, Adjustable - 0.85 to 0.85							
GFDI Threshold	1							A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes							
<b>INPUT</b>								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750	-	-	15500	W
Transformer-less, Ungrounded	Yes							
Maximum Input Voltage	480							Vdc
Nominal DC Input Voltage	380							Vdc
Maximum Input Current @240V <sup>(2)</sup>	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Maximum Input Current @208V <sup>(2)</sup>	-	9	-	13.5	-	-	27	Adc
Max. Input Short Circuit Current	45							Adc
Reverse-Polarity Protection	Yes							
Ground-Fault Isolation Detection	600k $\Omega$ Sensitivity							
Maximum Inverter Efficiency	99	99.2						%
CEC Weighted Efficiency	99						99 @ 240V 98.5 @ 208V	%
Nighttime Power Consumption	< 2.5							W

(1) For other regional settings please contact SolarEdge support

(2) A higher current source may be used; the inverter will limit its input current to the values stated



# / Single Phase Inverter with HD-Wave Technology

## for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/  
SE7600H-US / SE10000H-US / SE11400H-US

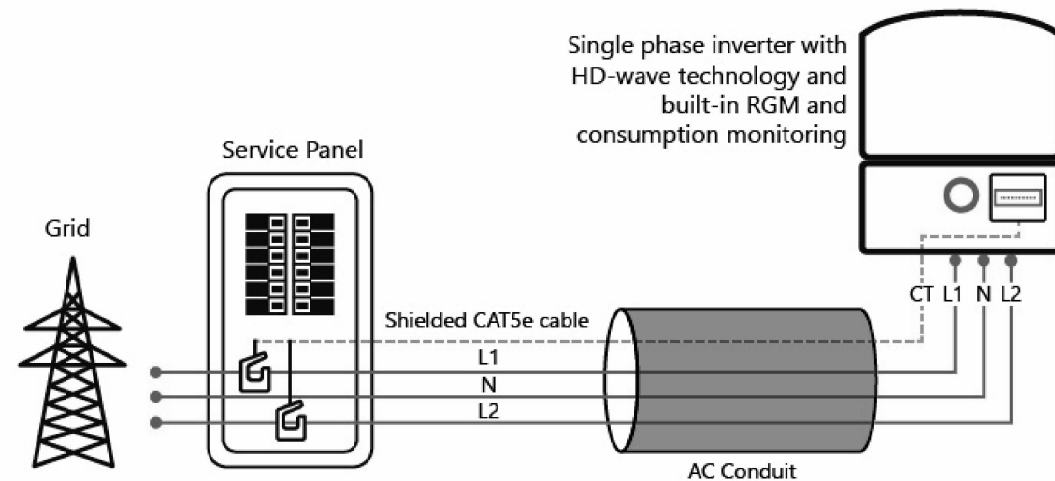
MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US
<b>ADDITIONAL FEATURES</b>							
Supported Communication Interfaces	RS485, Ethernet, ZigBee (optional), Cellular (optional)						
Revenue Grade Metering, ANSI C12.20	Optional <sup>(3)</sup>						
Consumption metering							
Inverter Commissioning	With the SetApp mobile application using Built-in Wi-Fi Access Point for Local Connection						
Rapid Shutdown - NEC 2014, NEC 2017 and NEC 2020, 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect						
<b>STANDARD COMPLIANCE</b>							
Safety	UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCI according to T.I.L. M-07						
Grid Connection Standards	IEEE1547, Rule 21, Rule 14 (HI)						
Emissions	FCC Part 15 Class B						
<b>INSTALLATION SPECIFICATIONS</b>							
AC Output Conduit Size / AWG Range	1" Maximum / 14-6 AWG			1" Maximum / 14-4 AWG			
DC Input Conduit Size / # of Strings / AWG Range	1" Maximum / 1-2 strings / 14-6 AWG			1" Maximum / 1-3 strings / 14-6 AWG			
Dimensions with Safety Switch (HxWxD)	17.7 x 14.6 x 6.8 / 450 x 370 x 174			21.3 x 14.6 x 7.3 / 540 x 370 x 185			
Weight with Safety Switch	22 / 10	25.1 / 11.4	26.2 / 11.9	38.8 / 17.6			
Noise	< 25			< 50			
Cooling	Natural Convection						
Operating Temperature Range	-40 to +140 / -40 to +60 <sup>(4)</sup>						
Protection Rating	NEMA 4X (Inverter with Safety Switch)						

(3) Inverter with Revenue Grade Meter P/N: SExxxxH-US000BNC4; Inverter with Revenue Grade Production and Consumption Meter P/N: SExxxxH-US000BNI4. For consumption metering, current transformers should be ordered separately: SEACT0750-200NA-20 or SEACT0750-400NA-20. 20 units per box

(4) Full power up to at least 50°C / 122°F; for power de-rating information refer to: <https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf>

## How to Enable Consumption Monitoring

By simply wiring current transformers through the inverter's existing AC conduits and connecting them to the service panel, homeowners will gain full insight into their household energy usage helping them to avoid high electricity bills



## Product specifications

# Eaton DG221URB

Catalog Number: DG221URB

Eaton General duty non-fusible safety switch, single-throw, 30 A, 240 V, NEMA 3R, Rainproof, Painted galvanized steel, Two-pole, Two-wire

## General specifications

Product Name	Catalog Number
Eaton general duty non-fusible safety switch	DG221URB
	UPC
	782113120232
Product Length/Depth	Product Height
6.88 in	10.81 in
Product Width	Product Weight
6.38 in	6 lb
Warranty	Certifications
Eaton Selling Policy 25-000, one (1) year from the date of installation of the Product or eighteen (18) months from the date of shipment of the Product, whichever occurs first.	UL Listed
	Catalog Notes
	WARNING! Switch is not approved for service entrance unless a neutral kit is installed.



## Product specifications

Product Category
General duty safety switch
Enclosure material
Painted galvanized steel
Type
Non-fusible, single-throw
Fuse configuration
Non-fusible
Number of wires
2
Enclosure
NEMA 3R
Voltage rating
240V
Amperage Rating
30A
Number Of Poles
Two-pole

## Resources

Catalogs
Eaton's Volume 2—Commercial Distribution
Multimedia
Double Up on Safety
Switching Devices Flex Center
Specifications and datasheets
Eaton Specification Sheet - DG221URB



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# FLASHKIT PRO



**FLASHKIT PRO** is the complete attachment solution for composition shingle roofs. Featuring Unirac's patented **SHED & SEAL** technology, a weather proof system which provides the ultimate protection against roof leaks. Kitted in 10 packs for maximum convenience, flashings and hardware are available in Mill or Dark finishes. With **FLASHKIT PRO**, you have everything you need for a quick, professional installation.



**TRUSTED WATER SEAL FLASHINGS**  
FEATURING **SHED & SEAL** TECHNOLOGY



**YOUR COMPLETE SOLUTION**  
Flashings, lags, continuous slot L-Feet and hardware



**CONVENIENT 10 PACKS**  
Packaged for speed and ease of handling

# FLASHKIT PRO

## INSTALLATION GUIDE



**FLASHKIT PRO** IS THE COMPLETE FLASHING AND ATTACHMENT SOLUTION FOR COMPOSITION ROOFS.



**STEP 1**  
INSTALL **FLASHKIT PRO** FLASHING



**STEP 2**  
INSTALL L-FOOT



**STEP 3**  
ATTACH L-FOOT TO RAIL

### PRE-INSTALL

- Locate roof rafters and snap chalk lines to mark the installation point for each roof attachment.
- Drill a 7/32" pilot hole at each roof attachment. Fill each pilot hole with sealant.

### STEP 1 INSTALL FLASHKIT PRO FLASHING

- Add a U-shaped bead of roof sealant to the underside of the flashing with the open side of the U pointing down the roof slope. Slide the aluminum flashing underneath the row of shingles directly up slope from the pilot hole as shown. Align the indicator marks on the lower end of the flashing with the chalk lines on the roof to center the raised hole in the flashing over the pilot hole in the roof. When installed correctly, the flashing will extend under the two courses of shingles above the pilot hole.

### STEP 2 INSTALL L-FOOT

- Fasten L-foot and Flashing into place by passing the included lag bolt and pre-installed stainless steel-backed EPDM washer through the L-foot EPDM grommet, and the raised hole in the flashing, into the pilot hole in the roof rafter.

- Drive the lag bolt down until the L-foot is held firmly in place. It is normal for the EPDM on the underside of the stainless steel backed EPDM washer to compress and expand beyond the outside edge of the steel washer when the proper torque is applied.

#### TIP:

- Use caution to avoid over-torquing the lag bolt if using an impact driver.
- Repeat Steps 1 and 2 at each roof attachment point.

### STEP 3 ATTACH L-FOOT TO RAIL

- Insert the included 3/8"-16 T-bolts into the lower slot on the Rail (sold separately), spacing the bolts to match the spacing between the roof attachments.
- Position the Rail against the L-Foot and insert the threaded end of the T-Bolt through the continuous slot in the L-Foot. Apply anti-seize to bolt threads to prevent galling of the T-bolt and included 3/8" serrated flange nut. Place the 3/8" flange nut on the T-bolt and finger tighten. Repeat STEP 3 until all L-Feet are secured to the Rail with a T-bolt. Adjust the level and height of the Rail and torque each bolt to 30ft-lbs.

## THE COMPLETE ROOF ATTACHMENT SOLUTION

FOR QUESTIONS OR CUSTOMER SERVICE VISIT [UNIRAC.COM](http://UNIRAC.COM) OR CALL (505) 248-2702

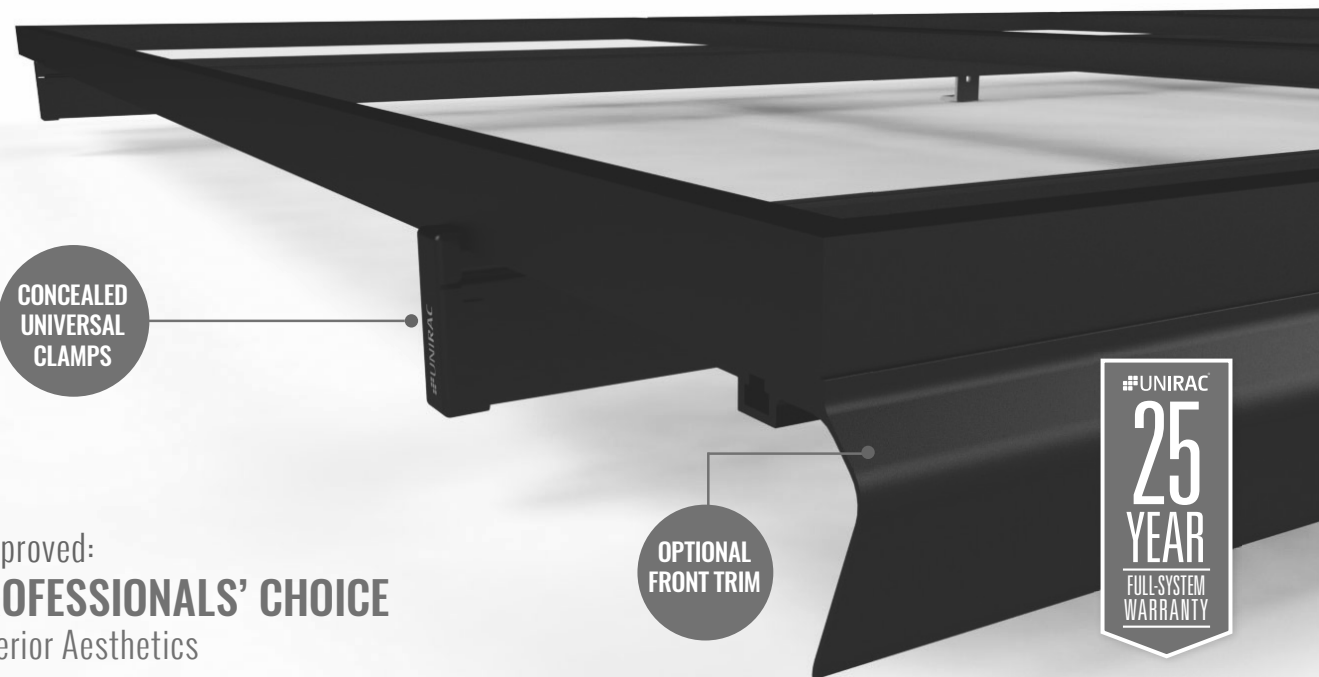
## FASTER INSTALLATION. 25-YEAR WARRANTY.

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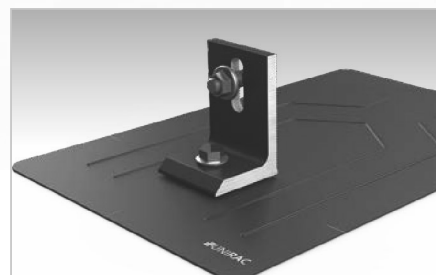
# SOLARMOUNT



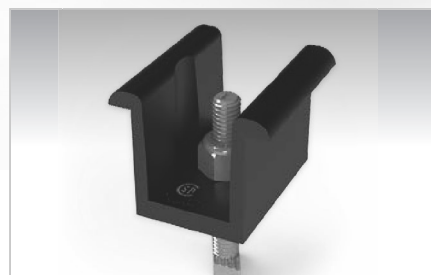
**SOLARMOUNT** is the professionals' choice for residential PV mounting applications. Every aspect of the system is designed for an easier, faster installation experience. **SOLARMOUNT** is a complete solution with revolutionary universal clamps, **FLASHKIT PRO**, full system UL 2703 certification and 25-year warranty. Not only is **SOLARMOUNT** easy to install, but best-in-class aesthetics make it the most attractive on any block!



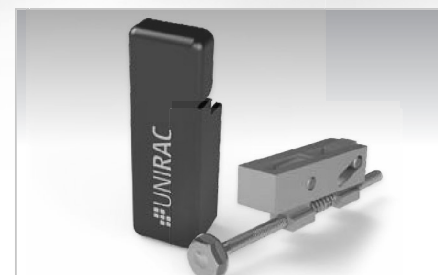
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**THE PROFESSIONALS' CHOICE**  
With Superior Aesthetics



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The Complete Roof Attachment Solution  
FEATURING **SHED & SEAL** TECHNOLOGY



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Accommodates 30mm-51mm module frames  
One tool, one-person installs are here!



**REVOLUTIONARY NEW ENDCLAMPS**  
Concealed design and included End Caps

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# SOLARMOUNT



## BETTER DESIGNS

### TRUST THE INDUSTRY'S BEST DESIGN TOOL

Start the design process for every project in our U-Builder on-line design tool. It's a great way to save time and money.

## BETTER SYSTEMS

### ONE SYSTEM - MANY APPLICATIONS

Quickly set modules flush to the roof on steep pitched roofs. Orient a large variety of modules in Portrait or Landscape. Tilt the system up on flat or low slow roofs. Components available in mill, clear, and dark finishes to optimize your design financials and aesthetics.

## BETTER RESULTS

### MAXIMIZE PROFITABILITY ON EVERY JOB

Trust Unirac to help you minimize both system and labor costs from the time the job is quoted to the time your teams get off the roof. Faster installs. Less Waste. More Profits.

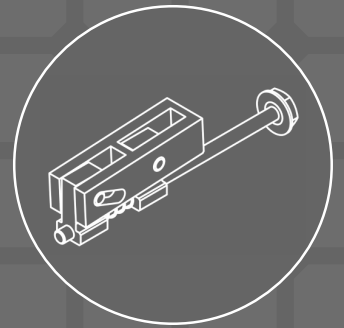
## BETTER SUPPORT

### WORK WITH THE INDUSTRIES MOST EXPERIENCED TEAM

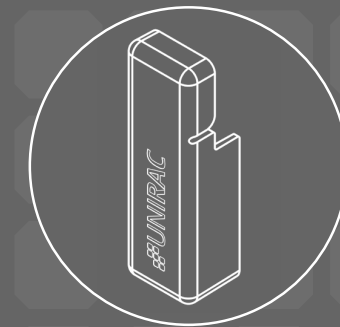
Professional support for professional installers and designers. You have access to our technical support and training groups. Whatever your support needs, we've got you covered. Visit [Unirac.com/solarmount](http://Unirac.com/solarmount) for more information.

**LISTED UL2703** BONDING & GROUNDING MECHANICAL LOADING SYSTEM FIRE CLASSIFICATION

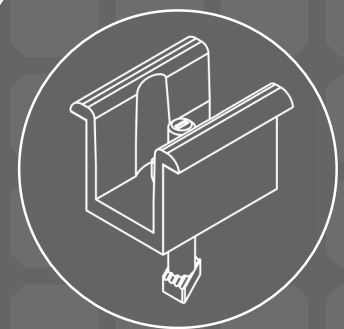
CONCEALED UNIVERSAL ENDCLAMPS



END CAPS INCLUDED WITH EVERY ENDCLAMP



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## UNIRAC CUSTOMER SERVICE MEANS THE HIGHEST LEVEL OF PRODUCT SUPPORT

UNMATCHED EXPERIENCE	CERTIFIED QUALITY	ENGINEERING EXCELLENCE	BANKABLE WARRANTY	DESIGN TOOLS	PERMIT DOCUMENTATION
----------------------	-------------------	------------------------	-------------------	--------------	----------------------

### TECHNICAL SUPPORT

Unirac's technical support team is dedicated to answering questions & addressing issues in real time. An online library of documents including engineering reports, stamped letters and technical data sheets greatly simplifies your permitting and project planning process.

### CERTIFIED QUALITY PROVIDER

Unirac is the only PV mounting vendor with ISO certifications for 9001:2008, 14001:2004 and OHSAS 18001:2007, which means we deliver the highest standards for fit, form, and function. These certifications demonstrate our excellence and commitment to first class business practices.

### BANKABLE WARRANTY

Don't leave your project to chance. Unirac has the financial strength to back our products and reduce your risk. Have peace of mind knowing you are providing products of exceptional quality. SOLARMOUNT is covered by a 25 year limited product warranty and a 5 year limited finish warranty.

ENHANCE YOUR REPUTATION WITH QUALITY RACKING SOLUTIONS BACKED BY ENGINEERING EXCELLENCE AND A SUPERIOR SUPPLY CHAIN

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Certificate: 70131735

Master Contract: 266909

Project: 80082031

Date Issued: 2021-06-02

Issued To: **Unirac**  
1411 Broadway NE  
Albuquerque, New Mexico, 87102  
United States

Attention: Klaus Nicolaedis

*The products listed below are eligible to bear the CSA Mark shown with adjacent indicators 'C' and 'US' for Canada and US or with adjacent indicator 'US' for US only or without either indicator for Canada only.*

Issued by: *Michael Hoffnagle*  
Michael Hoffnagle



## PRODUCTS

CLASS - C531302 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems  
CLASS - C531382 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems -  
Certified to US Standards

Models:	SM	-	SOLARMOUNT Flush-to-Roof is an extruded aluminum rail PV racking system that is installed parallel to the roof in landscape or portrait orientations.
	ULA	-	Unirac Large Array is a ground mount system using the SolarMount (SM) platform for the bonding and grounding of PV modules.

Solarmount



Certificate: 70131735  
Project: 80082031

Master Contract: 266909  
Date Issued: 2021-06-02

The system listed is designed to provide bonding/grounding, and mechanical stability for photovoltaic modules. The system is secured to the roof with the L-Foot components through the roofing material to building structure. Modules are secured to the racking system with stainless steel or aluminum mid clamps and Aluminum end clamps. The modules are bonded to the racking system with the stainless-steel bonding mid clamps with piercing points. The system is grounded with 10 AWG copper wire to bonding/grounding lugs. Fire ratings of Class A with Type 1, 2, 3, 10, 19, 22 or 25 for steep slope. Tested at 5" interstitial gap which allows installation at any stand-off height.

The grounding of the system is intended to comply with the latest edition of the National Electrical Code, to include NEC 250 & 690. Local codes compliance is required, in addition to national codes. All grounding/bonding connections are to be torqued in accordance with the Installation Manual and the settings used during the certification testing for the current edition of the project report.

The system may employ optimizers/micro-inverters and used for grounding when installed per installation instructions.

UL 2703 Mechanical Load ratings:

Downward Design Load (lb/ft <sup>2</sup> )	113.5
Upward Design Load (lb/ft <sup>2</sup> )	50.7
Down-Slope Load (lb/ft <sup>2</sup> )	16.13

Test Loads:

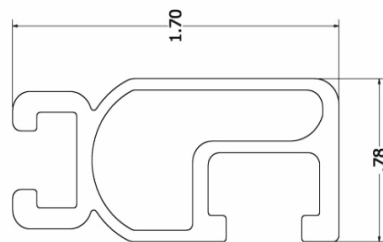
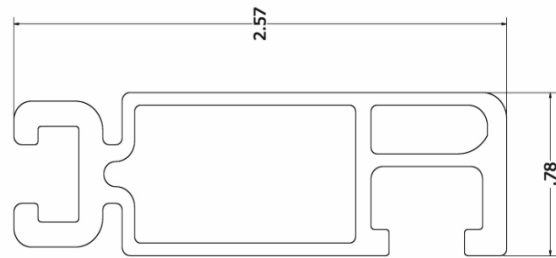
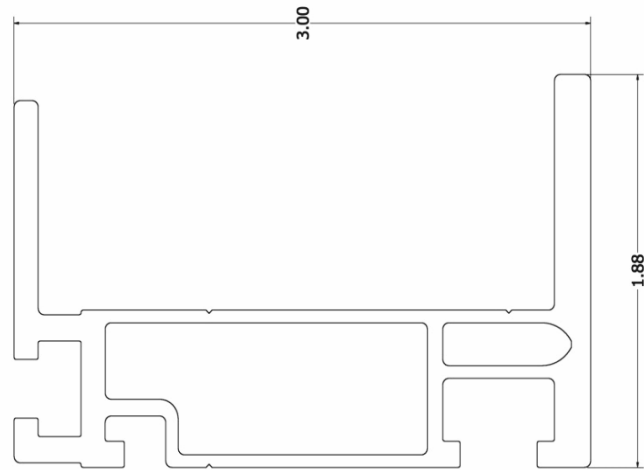
Downward Load (lb/ft <sup>2</sup> )	170.20
Upward Load (lb/ft <sup>2</sup> )	76.07
Down-Slope Load (lb/ft <sup>2</sup> )	24.2

## Unirac Large Array

ULA is a ground mount system using the SolarMount (SM) platform for the bonding and grounding of PV modules. ULA aluminum components merge with SM rails and installer-supplied steel pipe. The SM rail system is secured to the horizontal Pipe using the Rail Bracket components. The Rear and Front cap secures the horizontal Pipe to the vertical Pipe. The Front cap is also used to secure the Cross brace. A Slider is attached to the vertical Pipe to secure the Cross brace. The SM rails, caps, slider, rail brackets, and cross braces materials are 6105-T5 aluminum extrusion. Fasteners materials are 304 stainless steel. Horizontal and vertical pipe materials meet the minimum requirements of ASTM A53 for galvanized steel pipe in 2" and 3" diameter.

The mechanical load ratings from the SM test data will be applied to the ULA model.

Fire Testing is not applicable due to being a ground mount system.



Properties	SOLARMOUNT Light	SOLARMOUNT Rail Profile 2	SOLARMOUNT HD	Units
BEAM HEIGHT	1.70	2.57	3.00	in
APPROX WEIGHT	0.491	0.728	1.271	plf
CROSS SECTION AREA	0.409	0.625	1.059	in <sup>2</sup>
SECTION MODULUS (X-AXIS)	0.15	0.363	0.898	in <sup>3</sup>
SECTION MODULUS (Y-AXIS)	0.067	0.113	0.221	in <sup>3</sup>
MOMENT OF INERTIA (X-AXIS)	0.13	0.467	1.45	in <sup>4</sup>
MOMENT OF INERTIA (Y-AXIS)	0.026	0.045	0.267	in <sup>4</sup>
RADIUS OF GYRATION (X-AXIS)	0.564	0.865	1.17	in
RADIUS OF GYRATION (Y-AXIS)	0.254	0.269	0.502	in

PAGE H3

# Certificate



Certificate no. **US 82160015 01**

**License Holder:**  
Unirac Inc.  
1411 Broadway NE  
Albuquerque NM 87102  
USA

**Manufacturing Plant:**  
Unirac Inc.  
1411 Broadway NE  
Albuquerque NM 87102  
USA

Test report no.: USA- 31440029 005  
Tested to: UL 2703:2015

Client Reference: Tom Young

**Certified Product:** Module Rack Mounting System

**License Fee - Units**

Model Designation: SolarMount (SM)

7

Max System Voltage of PV Module: 1000 VDC  
Max Size of PV Module: 20.8 sq.ft. surface area  
Max Overcurrent Protection Rating of PV Module:  
30 A when using the qualified grounding lugs;  
20 A when using the Enphase micro inverter EGC.

Fire Rating: Class A when installed with  
Type 1, Type 2, Type3, or Type 10 fire rated modules.

(continued)

Appendix: 1,1-5

7

Licensed Test mark:



Date of Issue  
(day/mo/yr)  
27/07/2016



March 31, 2020

Unirac  
1411 Broadway Blvd. NE  
Albuquerque, NM 87102

Attn.: Unirac - Engineering Department

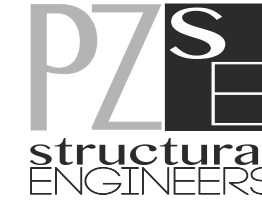
Re: Engineering Certification for the Unirac U-Builder 2.0 SOLARMOUNT Flush Rail

PZSE, Inc. - Structural Engineers has reviewed the Unirac SOLARMOUNT rails, proprietary mounting system constructed from modular parts which is intended for rooftop installation of solar photovoltaic (PV) panels; and has reviewed the U-builder Online tool. This U-Builder software includes analysis for the SOLARMOUNT LIGHT rail, SOLARMOUNT STANDARD rail, and SOLARMOUNT HEAVY DUTY rail with Standard and Pro Series hardware. All information, data and analysis contained within are based on, and comply with the following codes and typical specifications:

1. Minimum Design Loads for Buildings and other Structures, ASCE/SEI 7-05 and ASCE/SEI 7-10
2. 2006-2015 International Building Code, by International Code Council, Inc.
3. 2006-2015 International Residential Code, by International Code Council, Inc.
4. AC428, Acceptance Criteria for Modular Framing Systems Used to Support Photovoltaic (PV) Panels, November 1, 2012 by ICC-ES.
5. 2015 Aluminum Design Manual, by The Aluminum Association, 2015

Following are typical specifications to meet the above code requirements:

- Design Criteria:** Ground Snow Load = 0 - 100 (psf)  
Basic Wind Speed = 85 - 190 (mph)  
Roof Mean Height = 0 - 60 (ft)  
Roof Pitch = 0 - 45 (degrees)  
Exposure Category = B, C & D
- Attachment Spacing:** Per U-builder Engineering report.
- Cantilever:** Maximum cantilever length is  $L/3$ , where "L" is the span noted in the U-Builder online tool.
- Clearance:** 2" to 10" clear from top of roof to top of PV panel.
- Tolerance(s):** 1.0" tolerance for any specified dimension in this report is allowed for installation.
- Installation Orientation:** See SOLARMOUNT Rail Flush Installation Guide.  
Landscape - PV Panel long dimension is parallel to ridge/eave line of roof and the PV panel is mounted on the long side.  
Portrait - PV Panel short dimension is parallel to ridge/eave line of roof and the PV panel is mounted on the short side.



**Components and Cladding Roof Zones:**

The Components and Cladding Roof Zones shall be determined based on ASCE 7-05 and ASCE 7-10 Component and Cladding design.

- Notes:
- 1) U-builder Online tool analysis is only for Unirac SM SOLARMOUNT Rail Flush systems only and do not include roof capacity check.
  - 2) Risk Category II per ASCE 7-10.
  - 3) Topographic factor,  $k_{zt}$  is 1.0.
  - 4) Average parapet height is 0.0 ft.
  - 5) Wind speeds are LRFD values.
  - 6) Attachment spacing(s) apply to a seismic design category E or less.

**Design Responsibility:**

The U-Builder design software is intended to be used under the responsible charge of a registered design professional where required by the authority having jurisdiction. In all cases, this U-builder software should be used under the direction of a design professional with sufficient structural engineering knowledge and experience to be able to:

- Evaluate whether the U-Builder Software is applicable to the project, and
- Understand and determine the appropriate values for all input parameters of the U-Builder software.

This letter certifies that the Unirac SM SOLARMOUNT Rails Flush, when installed according to the U-Builder engineering report and the manufacture specifications, is in compliance with the above codes and loading criteria.

This certification excludes evaluation of the following components:

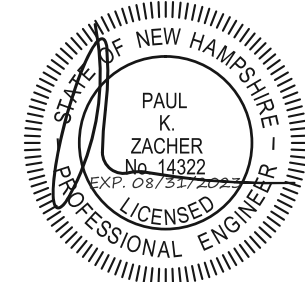
- 1) The structure to support the loads imposed on the building by the array; including, but not limited to: strength and deflection of structural framing members, fastening and/or strength of roofing materials, and/or the effects of snow accumulation on the structure.
- 2) The attachment of the SM SOLARMOUNT Rails to the existing structure.
- 3) The capacity of the solar module frame to resist the loads.

This requires additional knowledge of the building and is outside the scope of the certification of this racking system.

If you have any questions on the above, do not hesitate to call.

Prepared by:  
PZSE, Inc. – Structural Engineers  
Roseville, CA

**DIGITALLY SEALED**



**Project Address:** 14 MARKET SQAURE

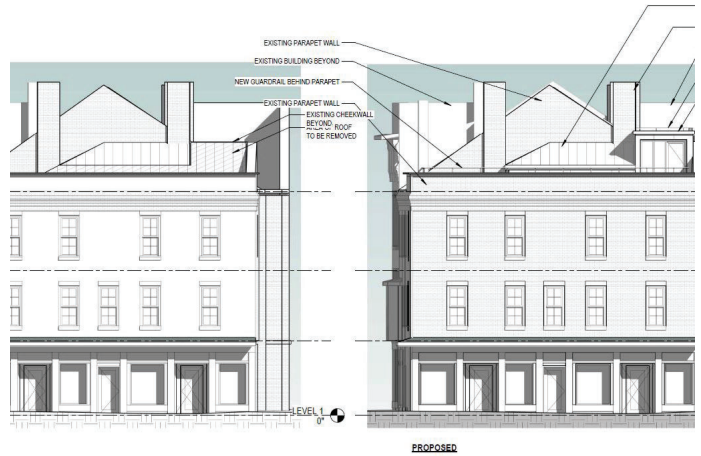
**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 2

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 5 (CD5),  
Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 3,136 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Commercial vernacular
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: View from Market Square
- Unique Features: NA
- Neighborhood Association: Downtown

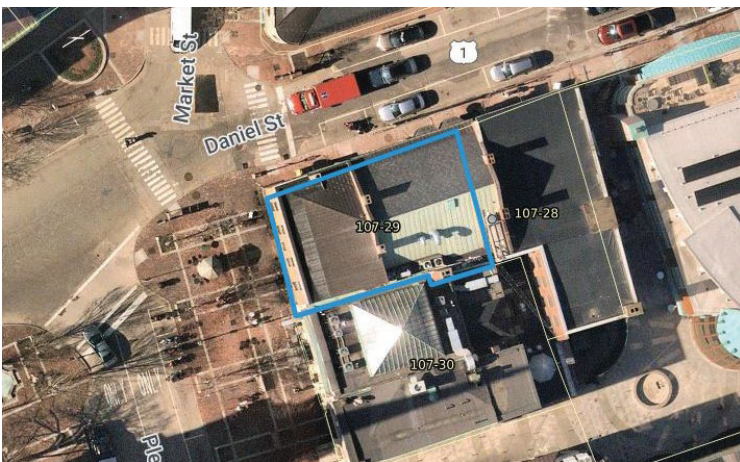


**B. Proposed Work:** To construct a roof top stairwell enclosure and penthouse addition.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Add a rooftop stairwell enclosure and penthouse addition.
- Add mechanical equipment to the rooftop.





**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

# 14 MARKET SQUARE



## DRAWING LIST

- H0.0 COVER
- H0.1 CONTEXT MAP
- H0.2 HISTORIC PHOTOS
- H0.3 EXISTING STREET VIEW PHOTOS
- H0.4 EXISTING BIRDSEYE ROOF PHOTOS
- H1.0 ROOF PLANS
- H2.1 FRONT ELEVATION
- H2.1 SIDE ELEVATION, EXISTING
- H2.2 SIDE ELEVATION, PROPOSED
- H3.1 3D VIEWS
- H4.1 MATERIALS - MECHANICAL PLATFORM, ROOF HATCH, & RAILINGS
- H4.2 MATERIALS - SIDING & GLAZING
- H4.3 ROOFTOP MECHANICAL UNITS - HEAT PUMPS

## 14 MARKET SQUARE - ROOFTOP MECHANICAL ADDITION

JOHN GALT, LLC

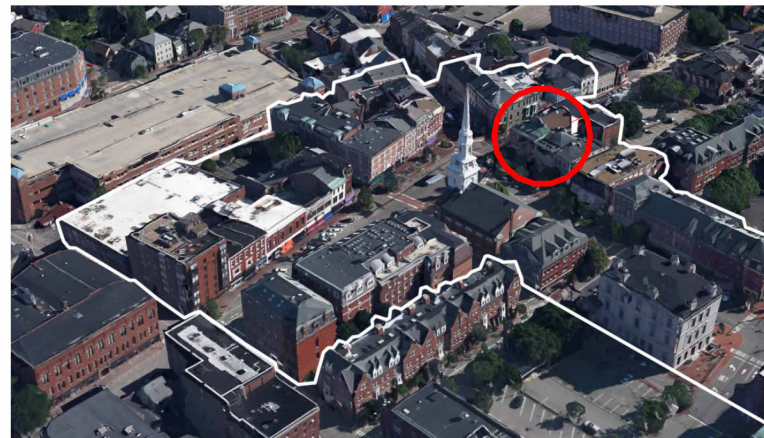
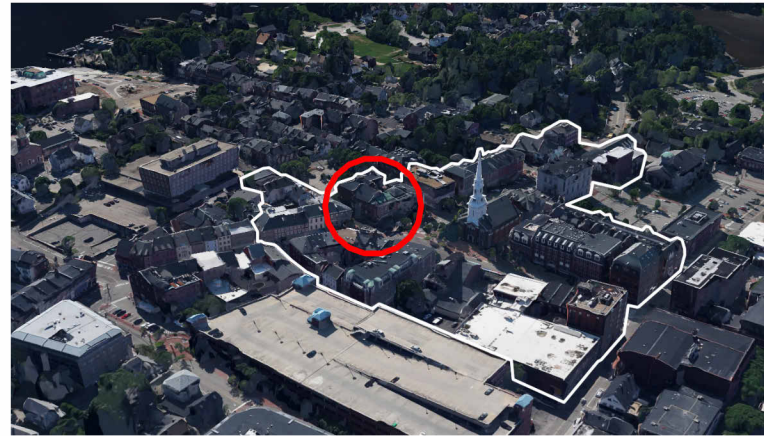
HDC  
NOVEMBER 2023







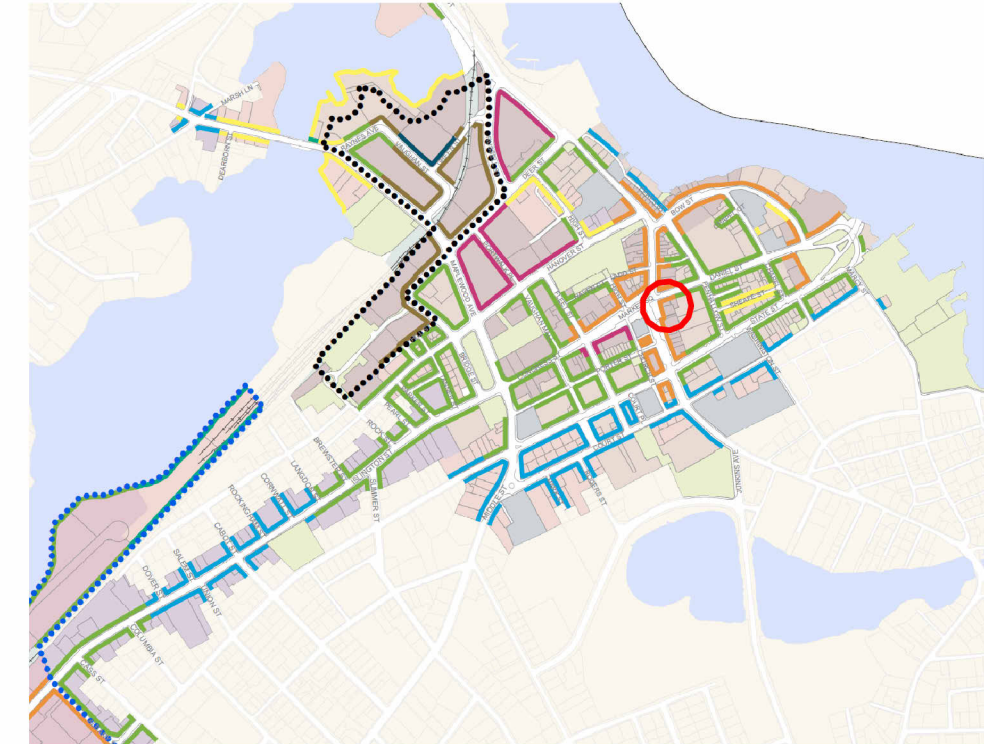
**300' RADIUS GIS MAP**



## PROJECT SUMMARY

### NEW ROOFTOP ADDITIONS:

1. FIRE STAIR PENTHOUSE FOR SAFE ROOF ACCESS
2. ROOF HATCH AND MECHANICAL PLATFORM FOR MECHANICAL EQUIPMENT
3. SAFETY GUARDRAIL BEHIND PARAPET



## ZONING SUMMARY

### Legend

#### CHARACTER DISTRICT CD-5

#### DOWNTOWN OVERLAY DISTRICT HEIGHT -

PLEASANT STREET: 2-3 STORIES (SHORT 4TH), 45'  
 DANIEL STREET: 2-3 STORIES (SHORT 4TH), 45'

CURRENT USE:  
 FIRST FLOOR - RESTAURANT  
 SECOND & THIRD FLOOR - OFFICE  
 ATTIC - STORAGE

PROPOSED USE:  
 FIRST FLOOR - RESTAURANT  
 SECOND, THIRD, & ATTIC - RESIDENTIAL

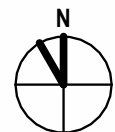
Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'

\*Penthouse Levels may exceed the building height by 2 feet.

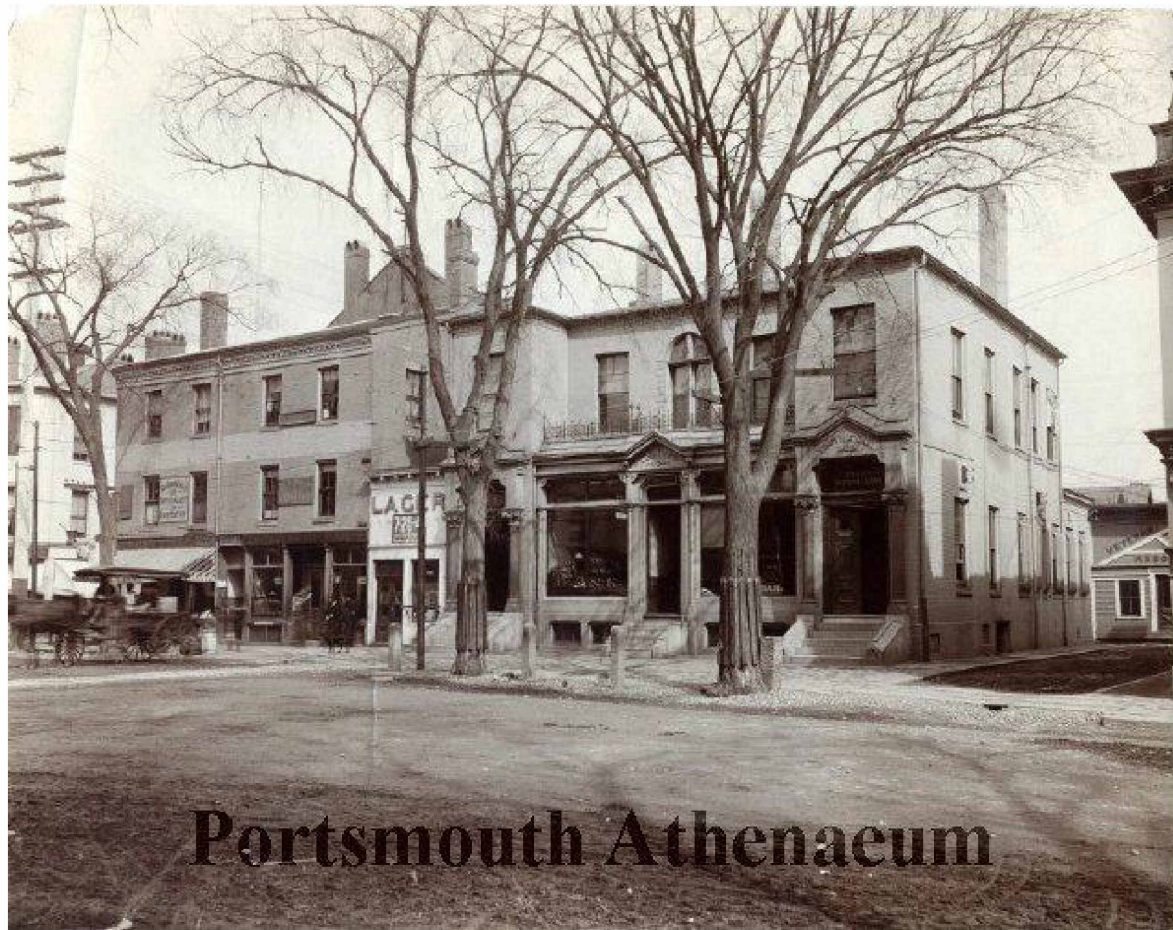
1. A short story includes either: 1) use of a top story below the cornice line of a sloped roof that is at least 20% shorter in height than the story below; or 2) a story within a mansard roof with a pitch no greater than 30:12.

2. When a lot is assigned to more than one height requirement standard refer to the requirements listed in Section 10.5A21.22.

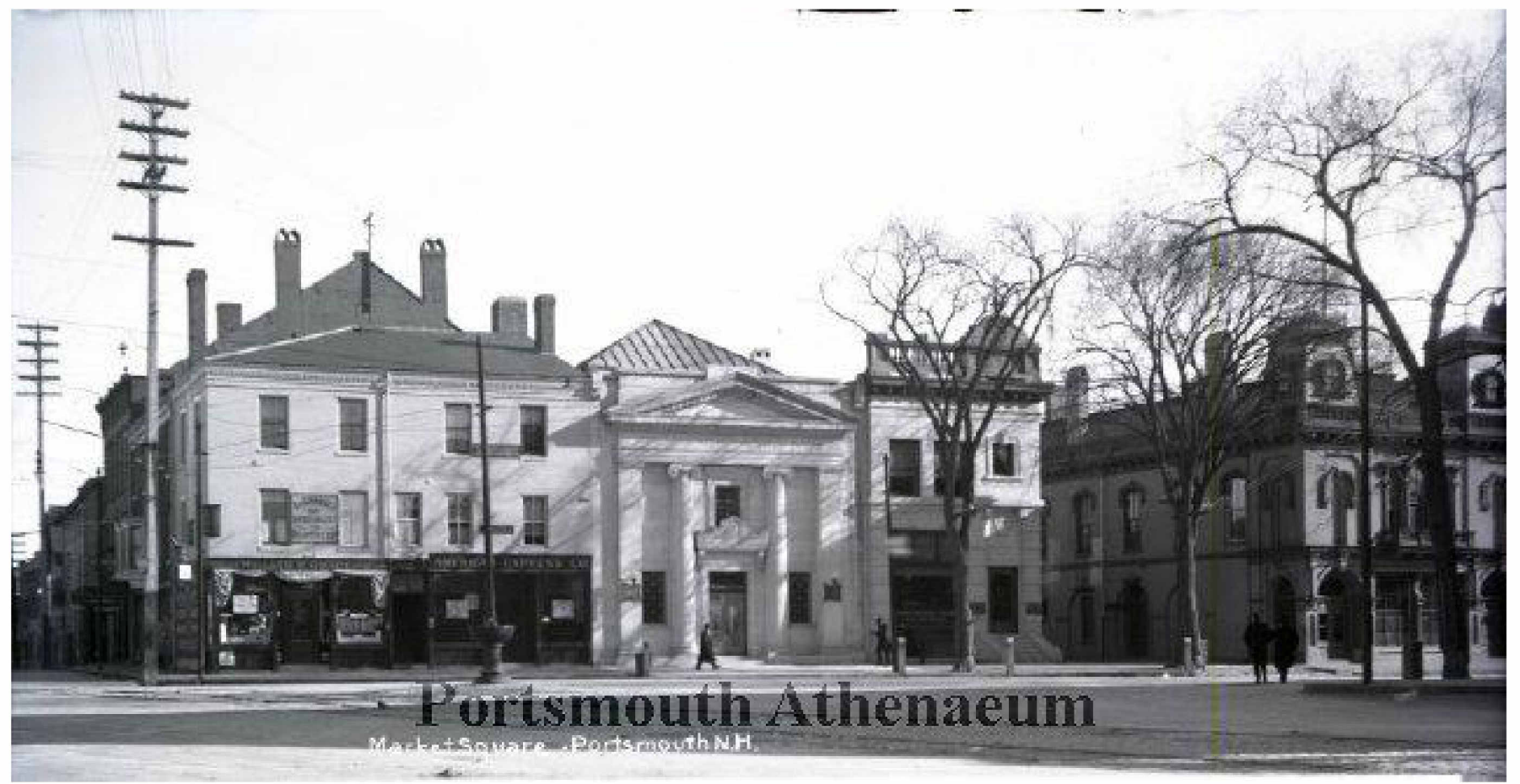
3. Attic space within either a gable, gambrel, hip or hip-top mansard roof or a penthouse level on a flat roof is not considered a story. Attic space is permitted above the top story provided the proposed building is no greater than the maximum building height.







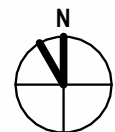
1890



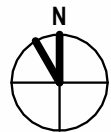
1904



1935

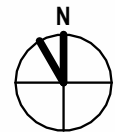






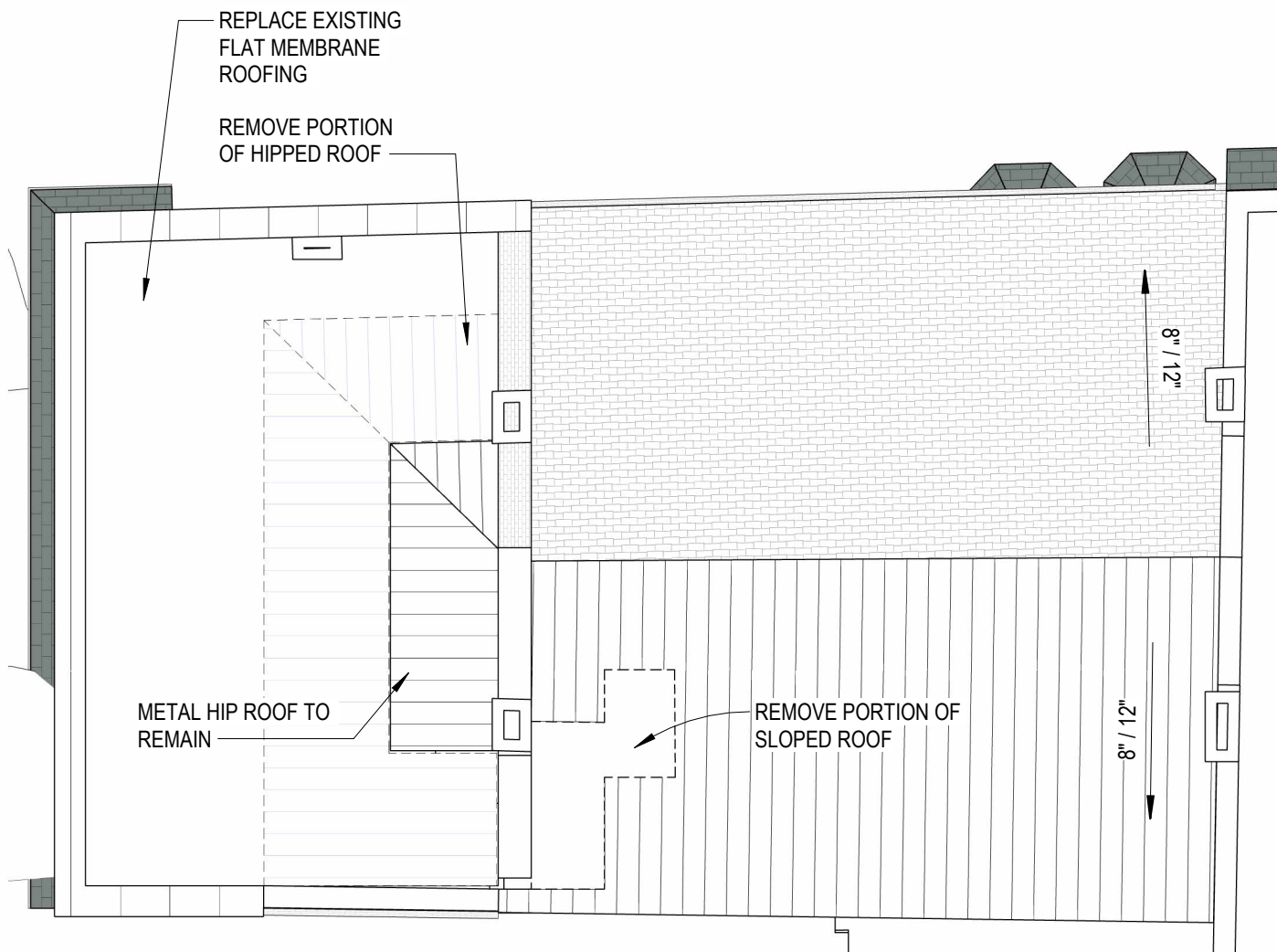
EXISTING STREET VIEW PHOTOS  
14 MARKET SQUARE



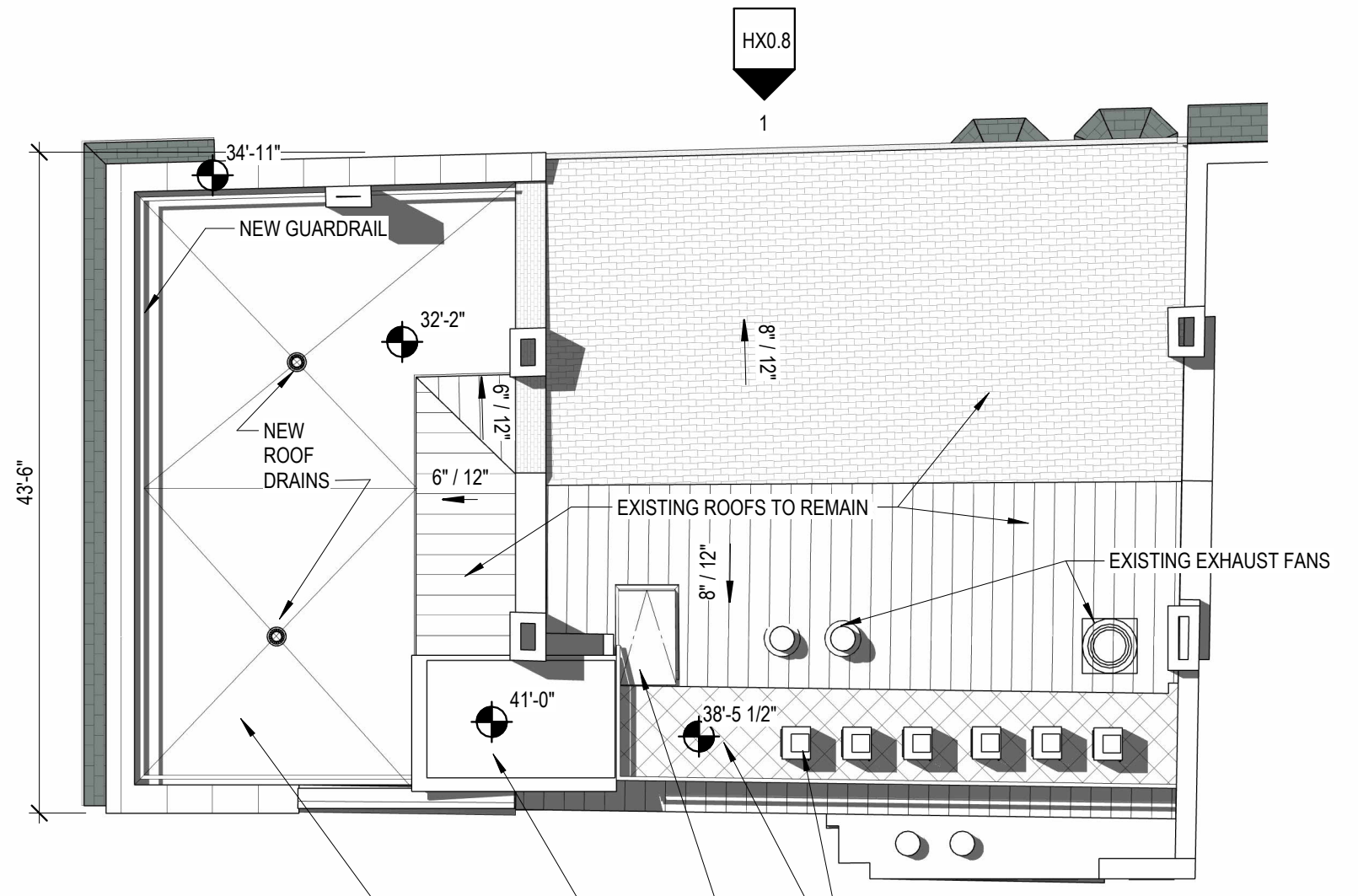


EXISTING BIRDSEYE ROOF PHOTOS  
14 MARKET SQUARE

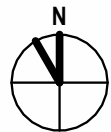




**EXISTING**



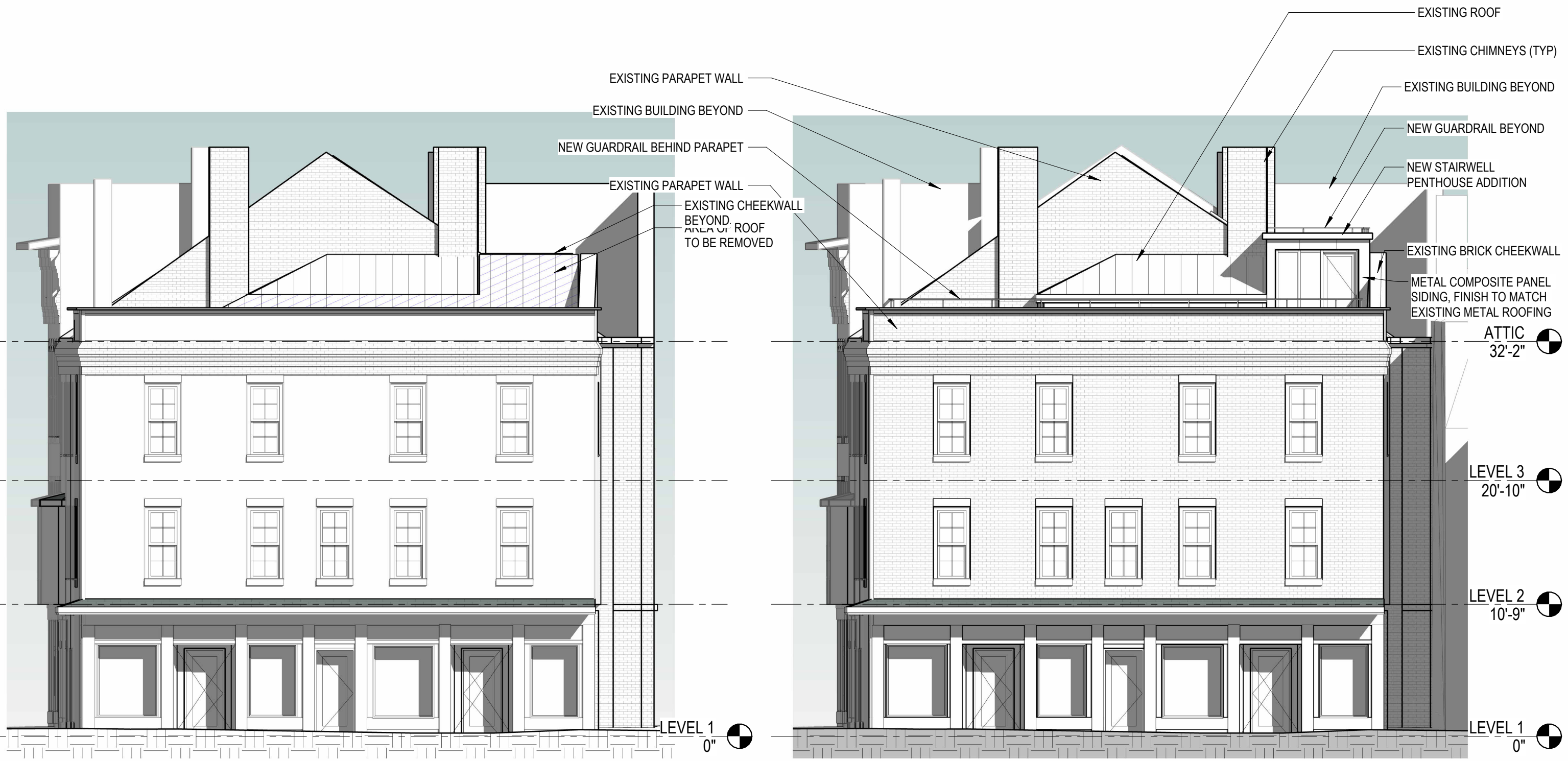
**PROPOSED**



ROOF PLAN  
14 MARKET SQUARE

H1.0

10/19/2023  
PROJECT NO:1014



**EXISTING**

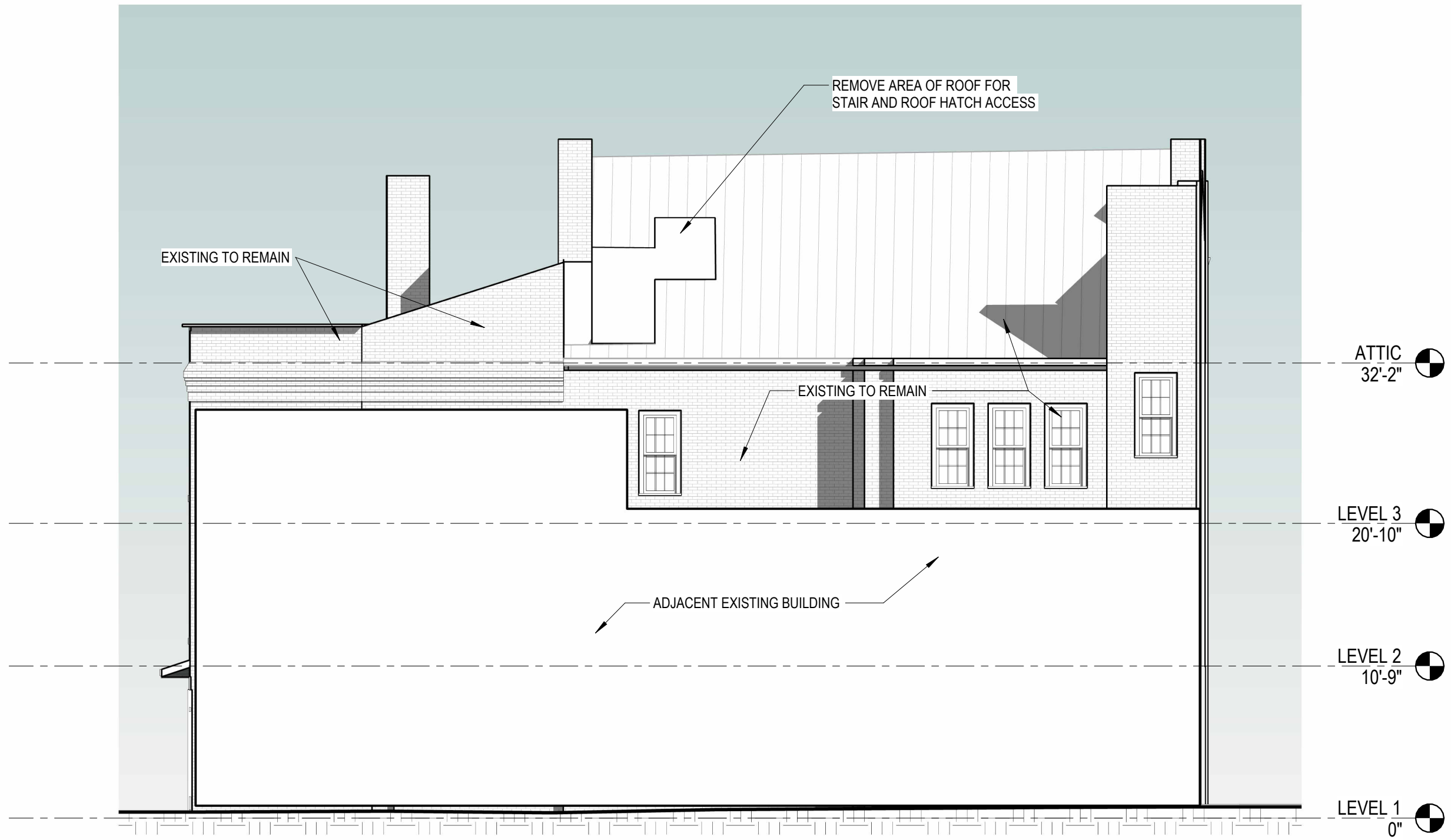
**PROPOSED**



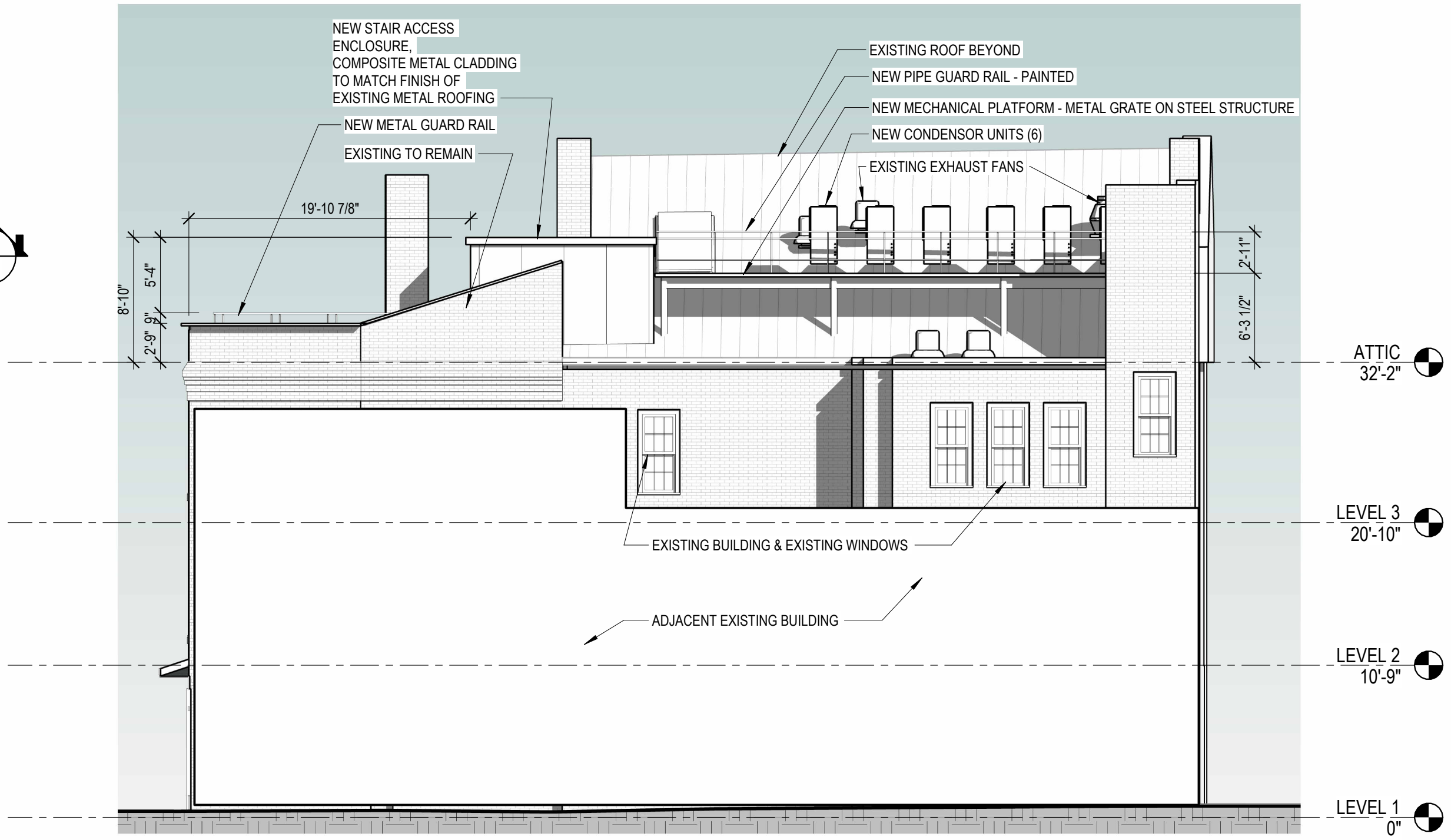
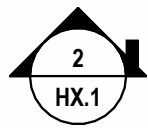
FRONT ELEVATION  
14 MARKET SQUARE

H2.1  
10/19/2023  
PROJECT NO:1014





SIDE ELEVATION - EXISTING  
14 MARKET SQUARE



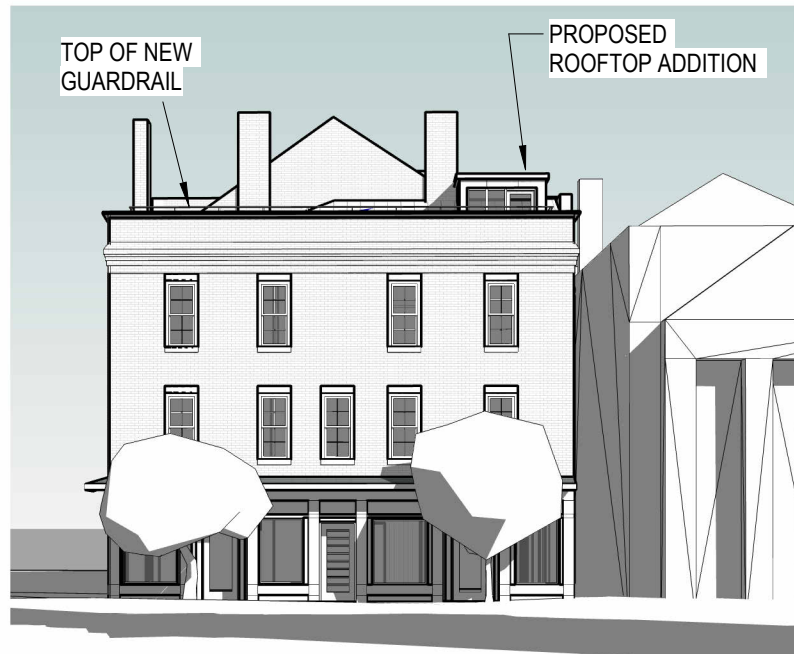
SIDE ELEVATION - PROPOSED  
14 MARKET SQUARE



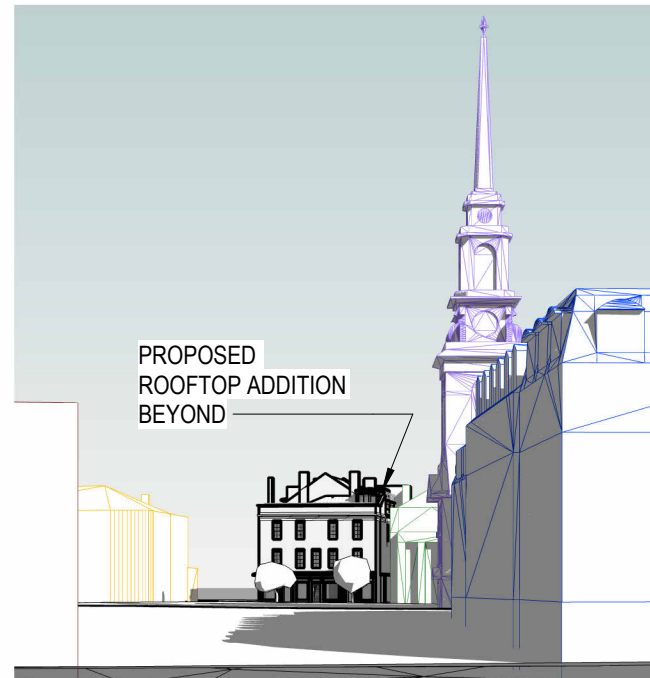
1 FROM PLEASANT STREET AT STONEWALL KITCHEN



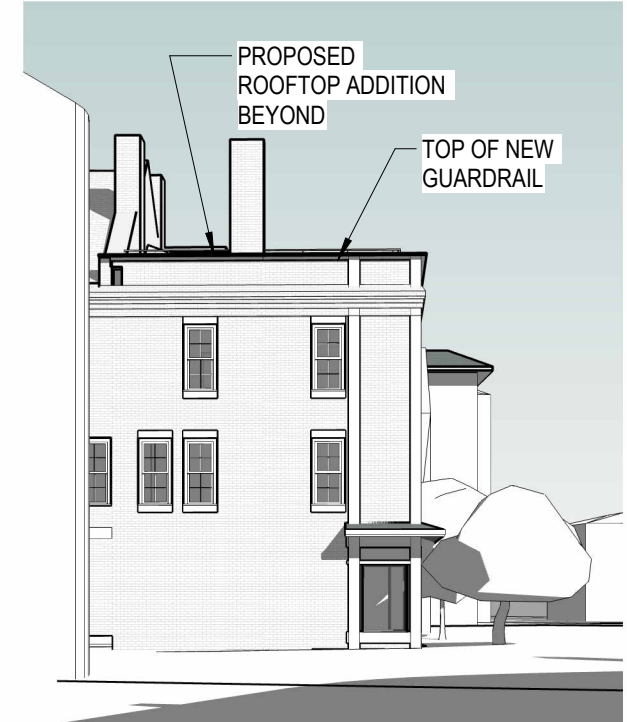
2 FROM CONGRESS STREET AT BUS STOP



3 FROM CONGRESS ST IN FRONT OF POPOVERS



4 FROM CONGRESS ST AT FLEET STREET



5 FROM DANIEL STREET LOOKING SOUTH

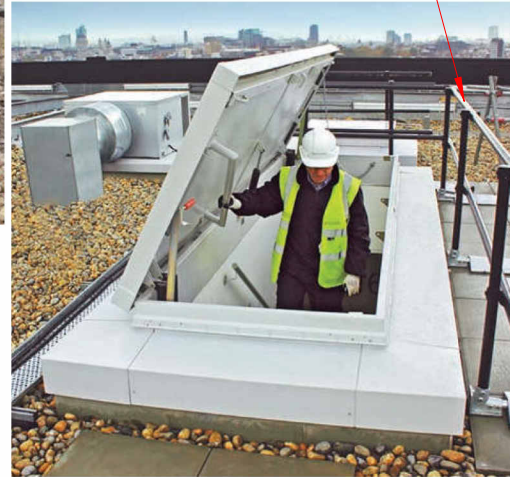




BILCO roof hatches provide safe and convenient access to roof areas by means of an interior ladder, ship stair or service stair. A variety of special sizes are also available to provide an accessible way to install or remove large pieces of equipment from a building. All products feature engineered lift assistance for easy one-hand operation.



TYPICAL SAFETY GUARDRAIL, PAINTED BLACK



### Benefits

- Easy, one-hand operation
- Weathertight performance
- Energy efficient
- Installs quickly and easily
- Convenient and secure access to roof areas
- Durable construction
- Custom sizes and options readily available

### Features

- Engineered lift assistance
- Heavy-gauge construction
- Positive slam latch with interior and exterior padlock hasps
- Fully insulated and gasketed
- Corrosion resistant hardware
- Bilclip® Flashing System for ease of installation on single-ply roofing
- Available with Miami-Dade County and Florida Product Approval
- Pre-punched capflashing to receive the Bil-Guard® 2.0 Hatch Safety Railing System (see page 17 for more information)

Contact us by phone: **800.366.6530** or email: [commercial@BILCO.com](mailto:commercial@BILCO.com)

4



# TECHNICAL INFORMATION



## Standard Decking Options

- **Advantech** - This is a high quality product superior to ordinary plywood and OSB options due to its enhanced strength, stiffness and moisture resistance.
- **ResinDek** - This is high density composite flooring, recommended for mezzanines requiring a solid floor subject to heavy loads from the use of pallet jacks, carts or dollies.
- **Diamond Plate** - This steel decking is considered to be our second most durable flooring.
- **Concrete Flooring** - The most durable type of mezzanine flooring by far is concrete.
- **Press-locked Grating** - Steel grating, commonly referred to as bar grating or press-locked grating, is a common choice in the waste management, mining, and food service industries.

## Standard Color Options

- |   |   |
|---|---|
|  |  |
| 39/40010<br>Royal Blue  | 39/80010<br>Gloss Black 80+   |
|  |  |
| 39/20020<br>Safety Yellow   | 39/30100<br>Fire Engine Red   |
|  |  |
| 39/10100<br>ASA-49  | 39/10100<br>Sky White   |

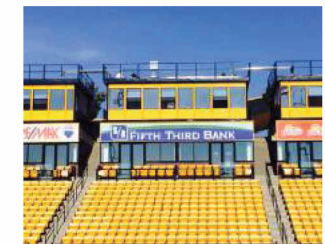
## Features

- Modular bolt-together systems
- Sturdy handrail with 4" kickplate
- Heavy-duty columns & baseplates
- Heavy-duty prefabricated stairs and accessories
- 4-MIL powder coated steel components provide a superior level of durability against abusive, corrosive applications

## Applications



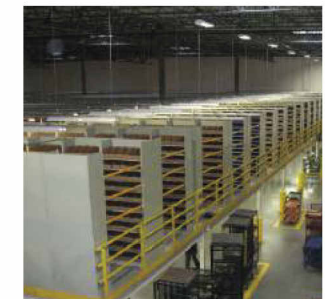
Catwalks



Sport Facilities



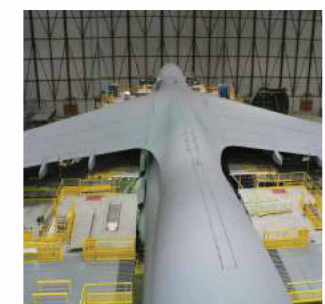
Observation Office



Storage



Range Towers



Aerospace Applications



## PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

### ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.



#### Product Properties

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft <sup>2</sup>
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"

\* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.  
\*\* Sheets will be fabricated to meet custom panel sizes within product range above.

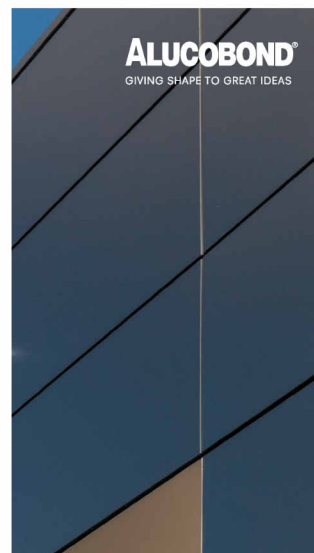
### ALUCOBOND® AXCENT™

A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.



#### Product Properties

Product thickness	0.040" (nominal)
Weight	0.56 lb/ft <sup>2</sup>
Standard width	48"
Standard length	120"



### ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

- ALUCOBOND EasyFix must be used with:
- ALUCOBOND PLUS
  - ALUCOBOND EasyFix: Clips or Rails



#### Product Properties

Weight	1.9 lb/ft <sup>2</sup>
Weight	1.56 lb/ft <sup>2</sup>
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12'

\*\* Sheets may be fabricated to meet custom panel sizes within maximum product range above.

ALUCOBONDUSA.COM / 800.626.3635

### ECONOMY

Trifab® VersaGlaze® 450/451/451T Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



Brighton Landing  
Cambridge, Massachusetts  
ARCHITECT  
ADD Inc., Cambridge, Massachusetts  
GLAZING CONTRACTOR  
Ipswich Bay Glass Company, Inc., Rowley, Massachusetts  
PHOTOGRAPHER  
© Gordon Schenck, Jr.

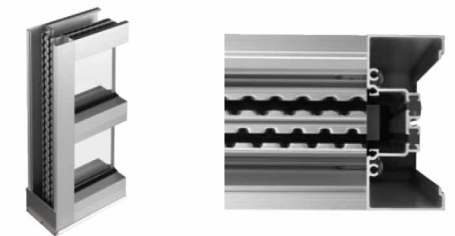
All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

### FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

### PERFORMANCE

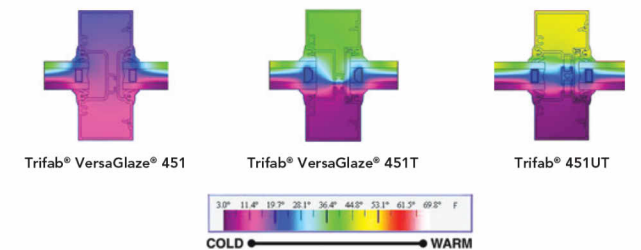
Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.



Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

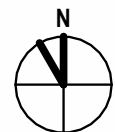
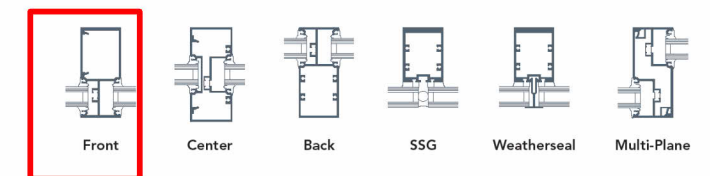
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



### PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425



**MXZ-SM36NAMHZ**  
3-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name: \_\_\_\_\_  
System Reference: \_\_\_\_\_ Date: \_\_\_\_\_

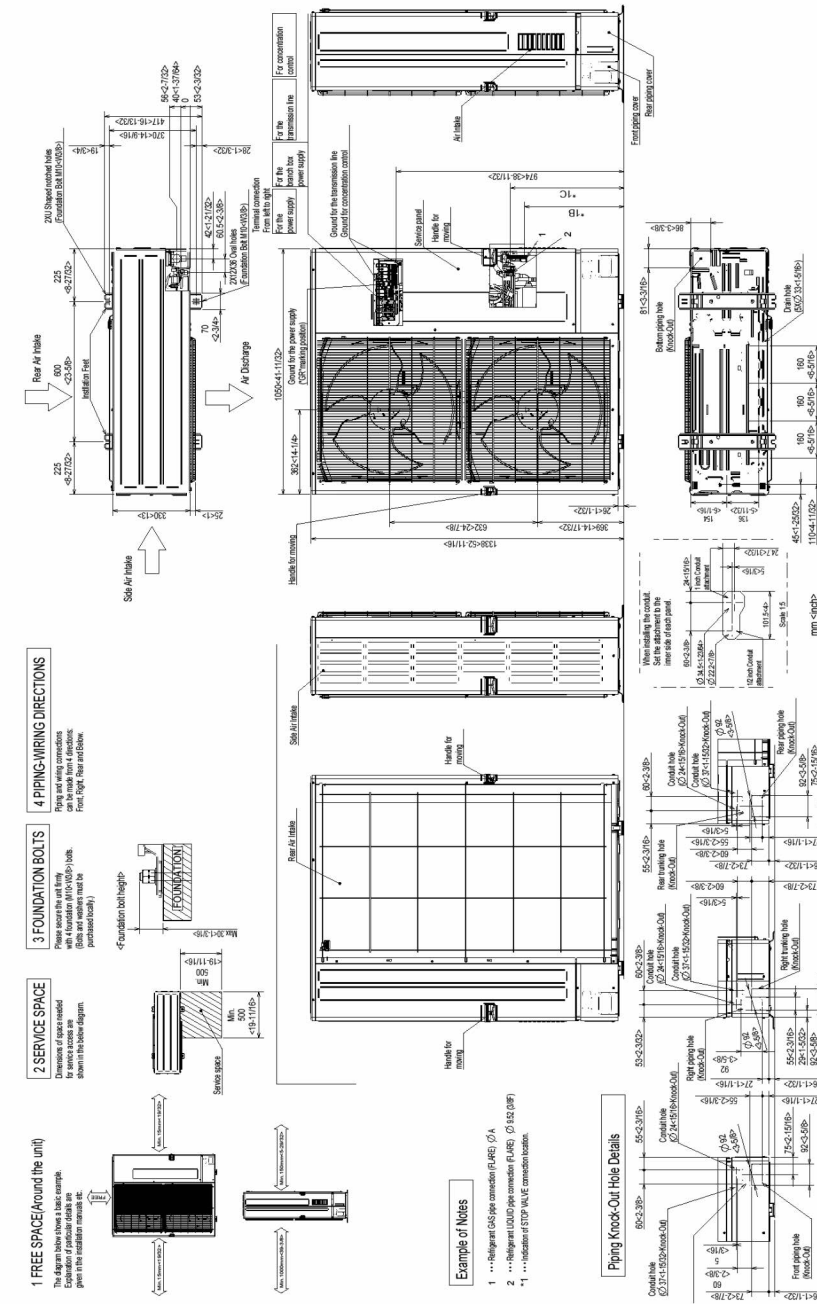


**FEATURES**

- Compatible with M- and P-Series and CITY MULTI® indoor units. Branch box required for connection with M- and P-Series
- Variable speed INVERTER-driven compressor
- Seacoast protection on heat exchanger and base panel (rated for 2,000 hrs in accordance with ASTM B117 testing)
- Thermal Differential 1°F (with PAC-MKA32/52BC only)
- Built-in base pan heater
- Quiet outdoor unit operation, rated sound pressure as low as 49 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 75% heating capacity at -13°F
- ENERGY STAR® certified (non-ducted, mixed & ducted)

**OUTDOOR UNIT DIMENSIONS: MXZ-SM36NAMHZ**

Unit: mm  
<inch>



MODEL NAME	DIMENSION A	DIMENSION B	DIMENSION C
MXZ-SM36NAMHZ	15.88 (58F)	428 <16-2532>	485 <19-302>
MXZ-SM42NAMHZ	19.05 (74F)	393 <15-1502>	460 <17-2932>
MXZ-SM60NAMHZ	15.88 (58F)	428 <16-2532>	485 <19-302>



ARCOVE ARCHITECTS products are third-party certified by an EPA-recognized Certification Body.

Specifications are subject to change without notice.



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FORM# MXZ-SM36NAMHZ - 202209

Specifications are subject to change without notice.



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# 14 MARKET SQUARE

**MINOR REVISIONS TO PREVIOUSLY  
APPROVED APPLICATION**

Revision 1- Add new skylight to rear roof.

Revision 2- Add new section of parapet to match existing along Daniel St.



**DRAWING LIST**

- H0.0 COVER
- H0.1 CONTEXT MAP
- H0.2 HISTORIC PHOTOS
- H0.3 EXISTING STREET VIEW PHOTOS
- H0.4 EXISTING BIRDSEYE ROOF PHOTOS
- H1.0 ROOF PLANS
- H2.1 FRONT ELEVATION
- H2.1 SIDE ELEVATION, EXISTING
- H2.2 SIDE ELEVATION, PROPOSED
- H3.1 3D VIEWS
- H4.1 MATERIALS - MECHANICAL PLATFORM, ROOF HATCH, & RAILINGS
- H4.2 MATERIALS - SIDING & GLAZING
- H4.3 ROOFTOP MECHANICAL UNITS - HEAT PUMPS

## 14 MARKET SQUARE - ROOFTOP MECHANICAL ADDITION

JOHN GALT, LLC

HDC - ADMINISTRATIVE APPROVAL,  
REVISIONS  
NOVEMBER 2023

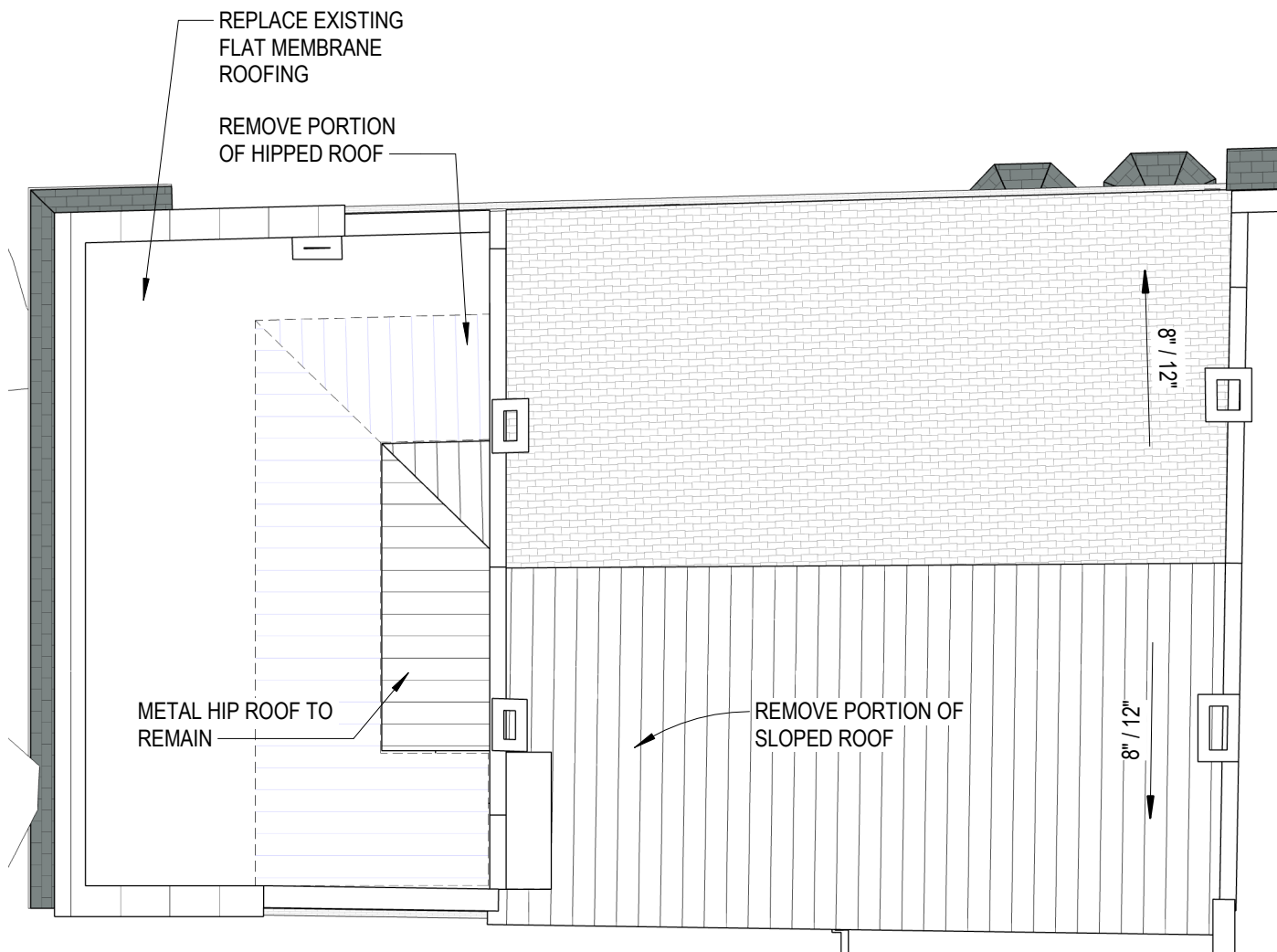


COVER

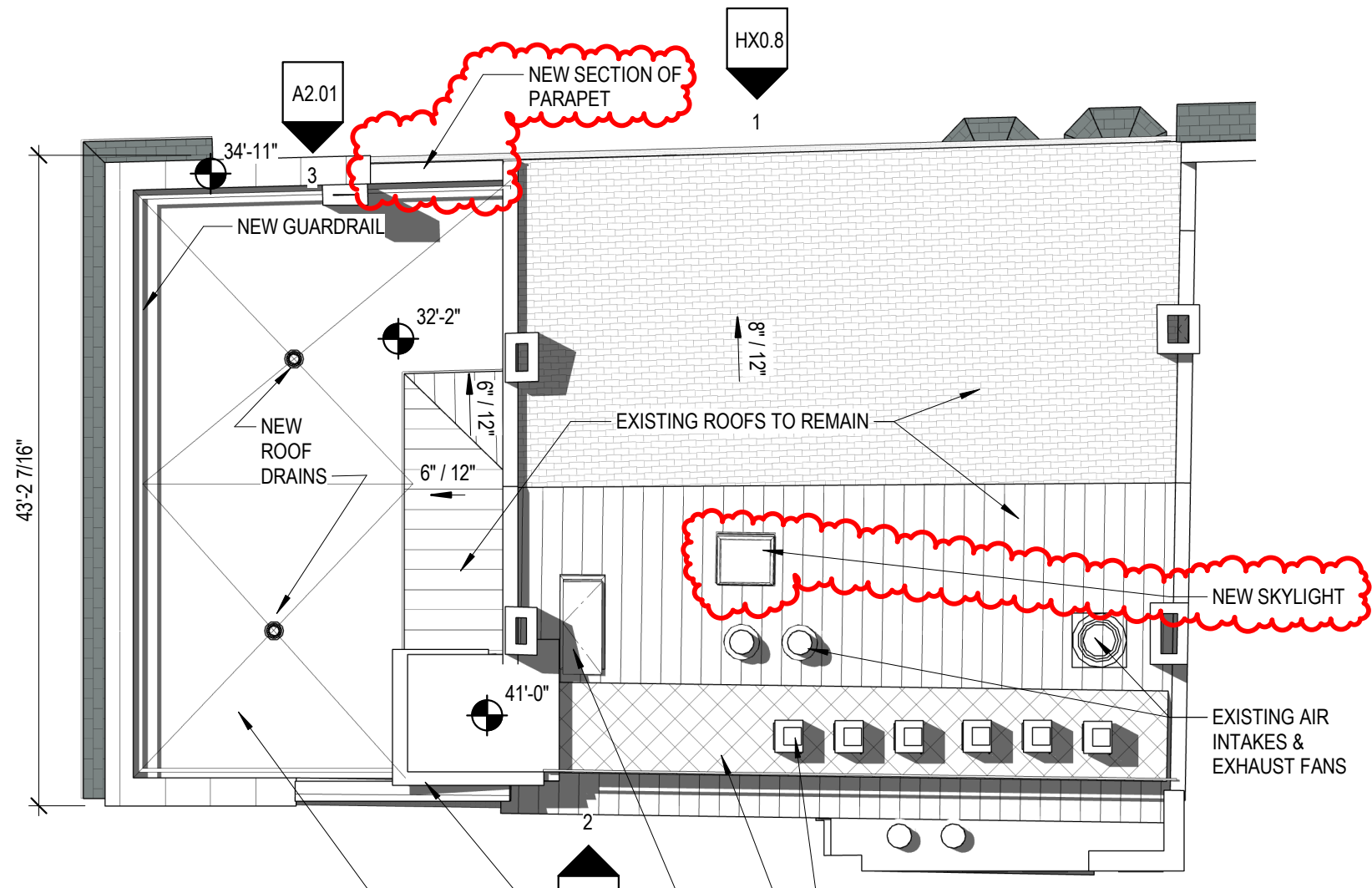
14 MARKET SQUARE

H0.0

11/17/2023  
PROJECT NO:1014

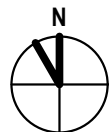


**EXISTING**



**PROPOSED**

- (6) NEW CONDENSOR UNITS
- NEW METAL GRATE MECHANICAL PLATFORM WITH GUARDRAIL
- NEW ROOF ACCESS HATCH
- NEW FLAT ROOF OVER STAIR ACCESS
- REPLACE FLAT MEMBRANE ROOFING

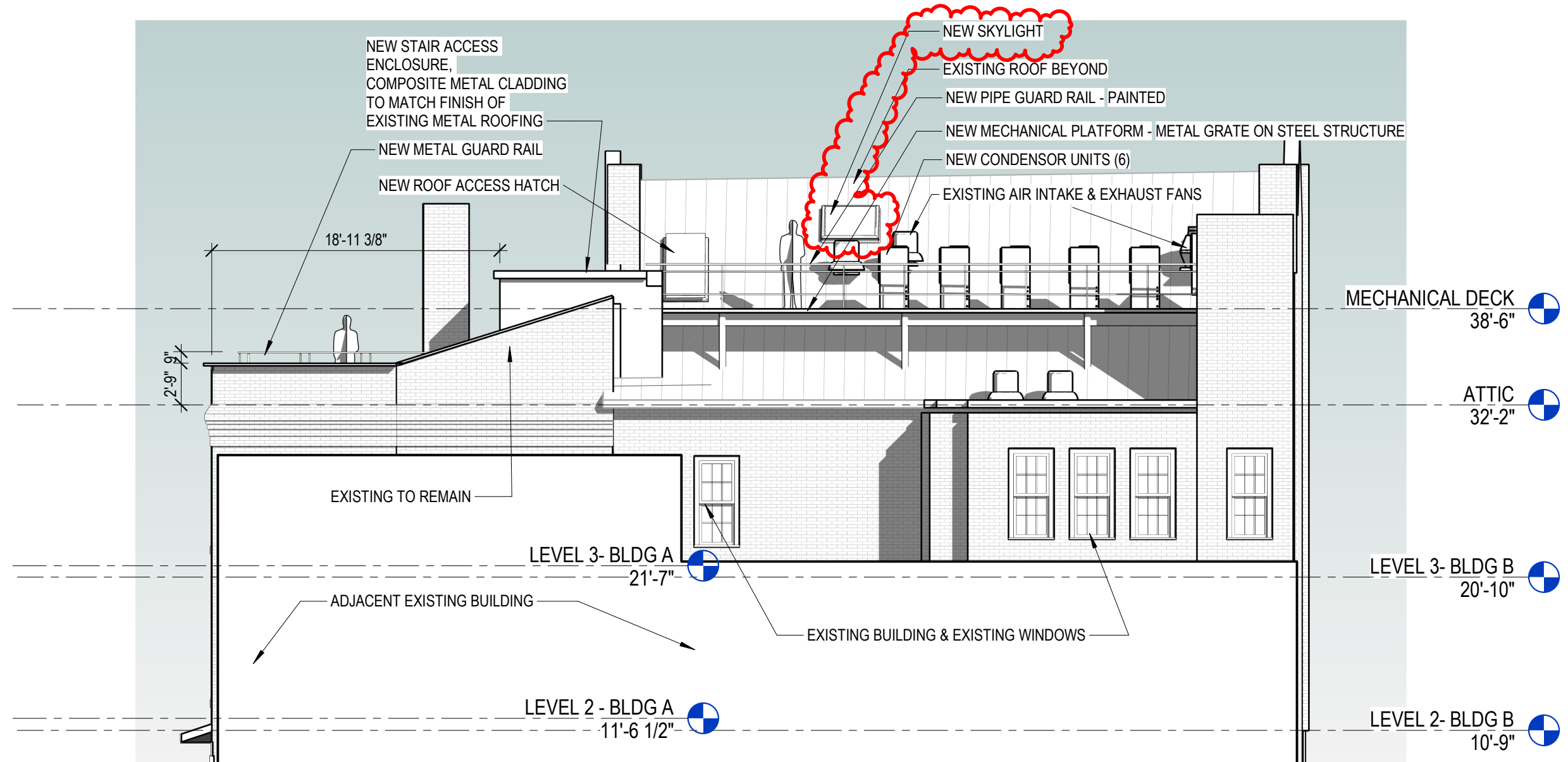


ROOF PLAN  
14 MARKET SQUARE

H1.0

11/17/2023  
PROJECT NO:1014

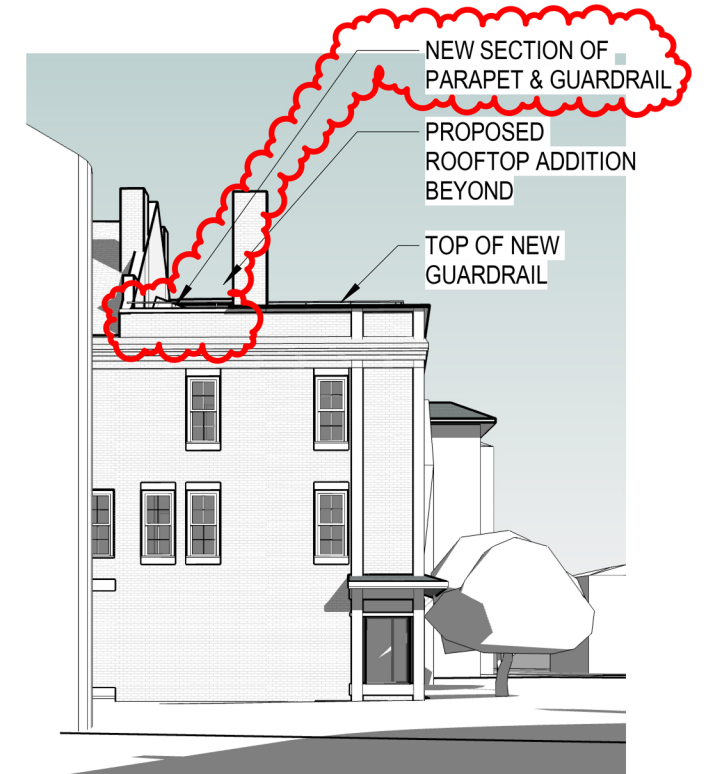




SIDE ELEVATION - PROPOSED  
14 MARKET SQUARE



2 FROM CONGRESS STREET AT BUS STOP



5 FROM DANIEL STREET LOOKING SOUTH



**Project Address:** 30 GARDNER STREET

**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 3

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Multi-Family
- Land Area: 9,743 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Queen Anne
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from Gardner Street
- Unique Features: Larger lot for the neighborhood
- Neighborhood Association: South End



**B. Proposed Work:** To construct (2) decks at the rear of the structure with spiral staircase.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct (2) decks on the rear of the property. No other approvals are required.



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties















1. THE DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON THE DRAWINGS OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.
2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE ARCHITECTURAL AND INTERIOR DESIGN DELINEATED HEREIN COMPLY WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION. HOWEVER, CODE COMPLIANCE IS THE RESPONSIBILITY OF THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL INTERIOR DESIGNER FOR RESOLUTION.
3. CONTRACTOR(S) SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS IN FIELD.
4. DO NOT SCALE DRAWINGS FROM PRINTS OR REPRODUCTIONS. SCALE INDICATED IS VALID ON ORIGINAL DRAWING WHICH IS 24" X 36" OVERALL.

**Progress Issues:**

11/17/23 THE BEAGENS, HDC

**Permit Issues:**

**Construction Issues:**

PROJECT:

**Renovations and Deck Additions for The Wendy & Michael Beagen Residence**

30 Gardner Street  
Portsmouth NH 03801

DATE:

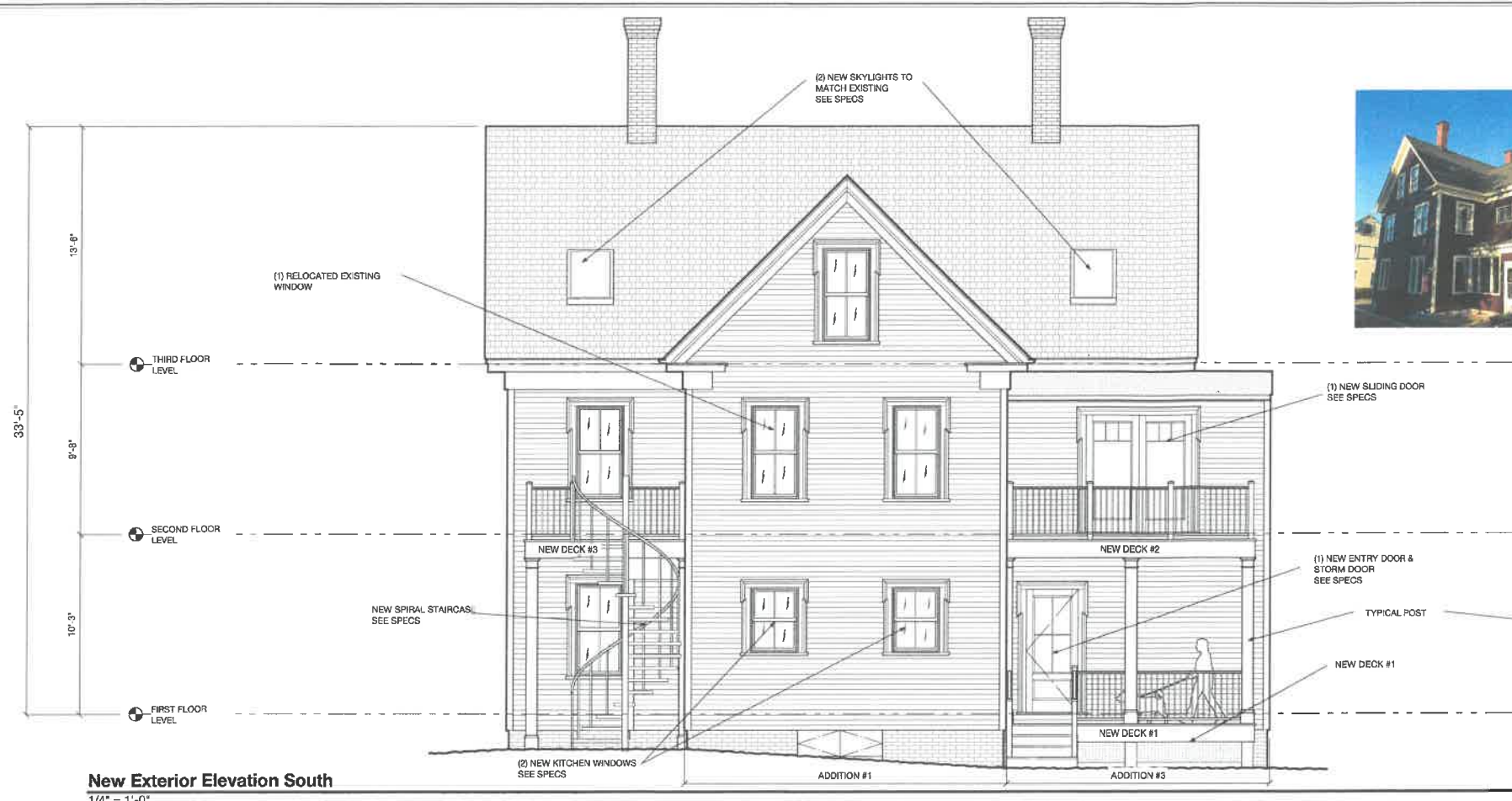
11/17/23

ISSUED AS:

**HISTORIC DISTRICT COMMISSION SUBMISSION**

**Proposed Elevation South & East**

**A-3.02**

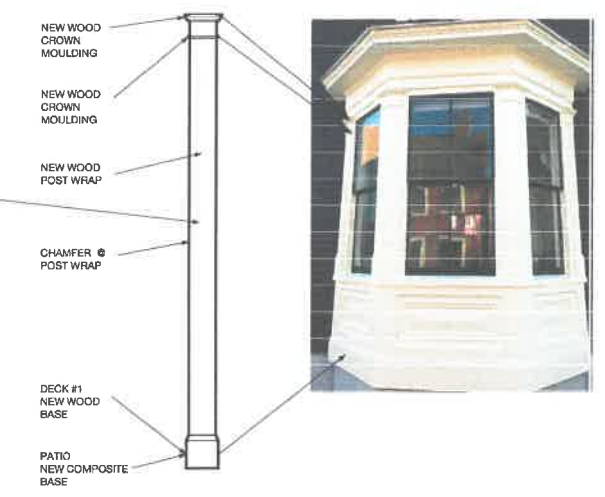


**New Exterior Elevation South**  
1/4" = 1'-0"



CHIMNEYS TO BE REMOVED

NEW BULKHEAD LOCATION



**New Exterior Elevation East**  
1/4" = 1'-0"

**Note**  
• ALL BEDROOMS ARE LOCATED IN ORIGINAL STRUCTURE  
• ALL EXISTING WINDOWS (20 TOTAL) @ BEDROOMS ARE NOT EGRESS COMPLIANT  
• RELIEF IS SOUGHT FROM HDC TO WAIVE EGRESS REQUIREMENT



CHIMNEYS TO BE REMOVED







**Project Address:** 95 + 99 DANIEL STREET

**Permit Requested:** WORK SESSION

**Application:** WORK SESSION A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4 (CD4)
- Land Use: Mixed-Use
- Land Area: 2,614 SF +/-
- Estimated Age of Structure: c.1850 (95) & c. 1860 (99)
- Building Style: Gothic Revival (95) Greek Revival (99)
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: View from Daniel Street and Custom House Lane
- Unique Features: (2) remaining wood structures within the Historic District
- Neighborhood Association: Downtown



**B. Proposed Work:** Construct rear addition (95) and construct new rear deck and stairs (99), both structures to have various exterior features replaced or repaired as needed.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Rear addition (95)
- Rear stairs and deck (99)
- Exterior features to be replaced or repaired as needed on both structures



**D. Purpose and Intent:**

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



# 99-95 DANIEL STREET

HISTORIC DISTRICT COMMISSION WORK SESSION - DECEMBER 2023, PORTSMOUTH, NEW HAMPSHIRE

**BUILDING HISTORY - 95 DANIEL STREET:**

- CARPENTER GOTHIC BUILDING ORIGINALLY BUILT IN APPROXIMATELY 1850. PURCHASED BY JOHN RUSSO IN 1965 WHERE HE OPENED JOHN'S BARBER SHOP SHORTLY AFTER, IT IS ASSUMED THAT AROUND THIS TIME IS WHEN THE BARBER SHOP STOREFRONT WAS ADDED TO THE BUILDING. PRIOR TO THE TRANSFORMATION TO A MIXED USE BUILDING, IT WAS A SINGLE FAMILY HOME.

**BUILDING HISTORY - 99 DANIEL STREET:**

- THERE IS CONFUSION ON THE YEAR THIS STRUCTURE WAS BUILT. ASSESSOR CARDS AND THE PORTSMOUTH ADVOCATES NOTE THIS BUILDING WAS BUILT IN 1850. BASED ON ANALYSIS OF HISTORICAL PHOTOGRAPHS AND SANBORN MAPS, IT IS MORE LIKELY IT WAS BUILT OR MOVED TO THE SITE BETWEEN 1910 AND 1920. BASED ON SANBORN MAP ANALYSIS THIS LOT WAS APART OF 105 DANIEL STREET(COLBY'S RESTAURANT BUILDING) UNTIL THE LATE 1900'S WHEN THE LARGE LOT WAS SUBDIVIDED. WHEN THIS LOT WAS SUBDIVIDED A PORTION OF 99 DANIEL STREET WAS STILL LOCATED ON THE PROPERTY OF 105 DANIEL STREET. SINCE IT'S CONSTRUCTION THIS BUILDING HAS SERVED AS A 2-UNIT APARTMENT BUILDING WITH RETAIL USE OUT OF THE FIRST FLOOR UNIT.

**GENERAL PROJECT DESCRIPTION:**

- RESTORE AND UPDATE BOTH 95 AND 99 DANIEL STREET. BOTH BUILDINGS WILL BE RESIDENTIAL WITH 2-UNITS IN EACH
- REMOVE EXISTING REAR ADDITION FROM 95 DANIEL STREET AND REBUILD ADDITION THAT IS MORE FUNCTIONAL AND COHESIVE WITH EXISTING BUILDING
- RE-OPEN COVERED FRONT PORCH TO 95 DANIEL STREET
- REMOVE STOREFRONT GLASS AND DOOR FROM 95 DANIEL STREET
- REPLACE REAR STAIR AND ADDITION OF DECK TO 99 DANIEL STREET
- ENCLOSING PORTION OF FRONT PORCH OF 99 DANIEL STREET



99-95 DANIEL STREET  
PORTSMOUTH, NH 03801

EXISTING PERSPECTIVES  
99(LEFT)-95(RIGHT) DANIEL STREET (ABOVE)

SHEET LIST	
Sheet Number	Sheet Name

**GENERAL INFORMATION**

C	COVER
---	-------

**ARCHITECTURAL DRAWINGS**

A1	EXISTING BUILDING PHOTOGRAPHS
A2	SANBORN MAP PROGRSSION
A3	SITE PLAN
A4	99 SCHEMATIC DESIGN
A5	95 SCHEMATIC DESIGN
A6	PROPOSED PERSPECTIVE
A7	MATERIALS AND SELECTIONS

DIMENSIONAL CRITERIA					
CHARACTER DISTRICT 4 (CD4), HISTORIC DISTRICT (HDC)					
	REQUIRED	EXISTING 95	EXISTING 99	PROPOSED 95	PROPOSED 99
BUILDING FOOTPRINT		854 SF	842 SF	888 SF	842 SF
LOT AREA		1,680 SF	1,692 SF	1,680 SF	1,692 SF
BUILDING PLACEMENT - PRINCIPAL BUILDING					
FRONT YARD (MAX PRIMARY)	10' - 0"	2' - 0" +/-	3' - 0" +/-	2' - 0" +/-	3' - 0" +/-
SIDE YARD SETBACK	N/R	0' - 0" +/-	0' - 0" +/-	0' - 0" +/-	0' - 0" +/-
REAR YARD SETBACK	5' - 0" MIN	16' - 6" +/-	20' - 0" +/-	16' - 3" +/-	18' - 0" +/-
BUILDING AND LOT OCCUPATION					
BUILDING COVERAGE	90% MAX	50%	49%	57%	62%
OPEN SPACE	10% MIN	16% +/-	11% +/-	23% +/-	24% +/-
BUILDING FORM - PRINCIPAL BUILDING					
BUILDING HEIGHT	40' - 0" MAX	19' - 7" +/-	24' - 9" +/-	19' - 7" +/-	24' - 9" +/-
BUILDING STORIES	2 - 3 STORIES	2	2	2	2
GROUND FLOOR ELEVATION	3' - 0" MAX	0' - 0" +/-	2' - 3" +/-	0' - 10" +/-	2' - 3" +/-
GROUND STORY HEIGHT	12' - 0" MIN	10' - 0" +/-	10' - 0" +/-	10' - 0" +/-	10' - 0" +/-
SECOND STORY HEIGHT	10' - 0" MIN	9' - 0" +/-	9' - 0" +/-	9' - 0" +/-	9' - 0" +/-
ROOF TYPE		GABLE	GABLE	GABLE	GABLE
ROOF PITCH - MAIN ROOF	6:12 - 12:12			EXISTING	EXISTING



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99/95 DANIEL STREET

PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION - WORK SESSION  
NOVEMBER 2023

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

C

11/17/2023

McHA: EKW/MG

NOT TO SCALE

Locus





PERSPECTIVE FROM DANIEL STREET

99 DANIEL STREET  
95 DANIEL STREET



SPACE BETWEEN 99  
AND 95 DANIEL  
STREET (LEFT)  
  
SPACE BETWEEN 99  
AND 105 DANIEL  
STREET (RIGHT)



PERSPECTIVE FROM CUSTOM HOUSE LANE

95 DANIEL STREET  
99 DANIEL STREET



REAR ADDITIONS OF 95  
DANIEL STREET (LEFT)  
  
SPACE BETWEEN 95  
AND 85 DANIEL  
STREET (RIGHT)



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99/95 DANIEL STREET

PORTSMOUTH, NH 03801

EXISTING BUILDING PHOTOGRAPHS

HISTORIC DISTRICT COMMISSION - WORK SESSION  
NOVEMBER 2023

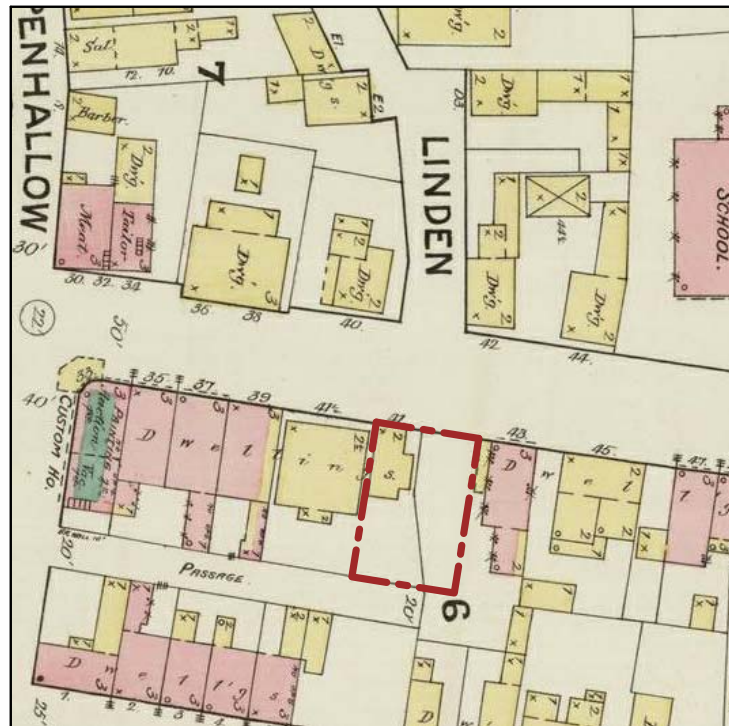
McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

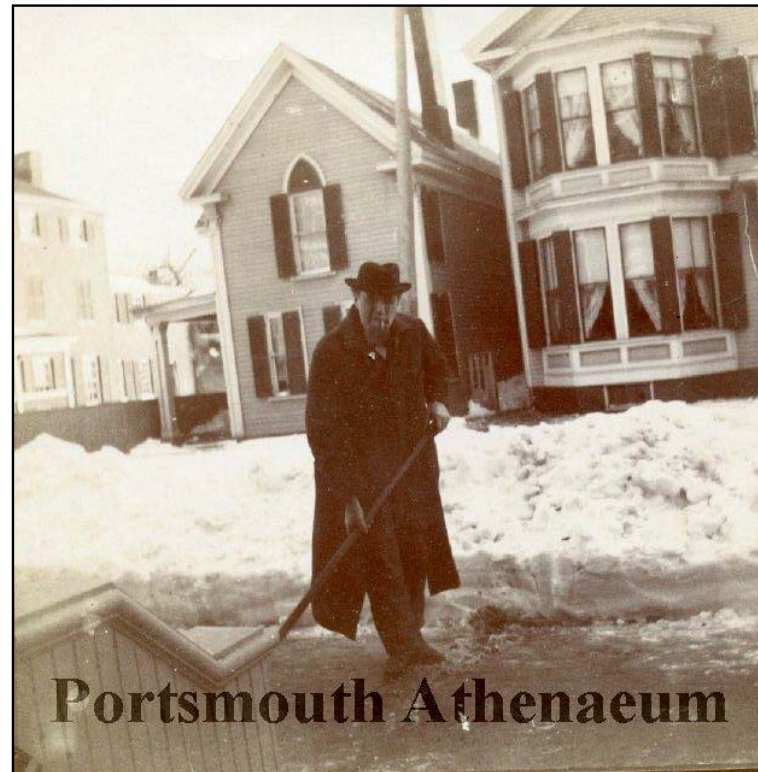
A1

11/17/2023  
McHA: EKW/MG  
NOT TO SCALE





1887



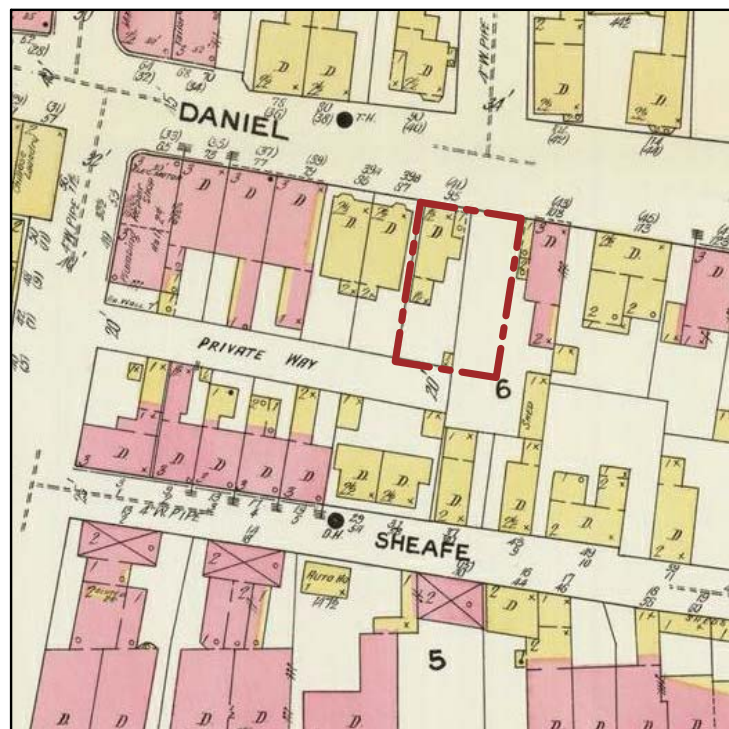
95 DANIEL STREET - 1890



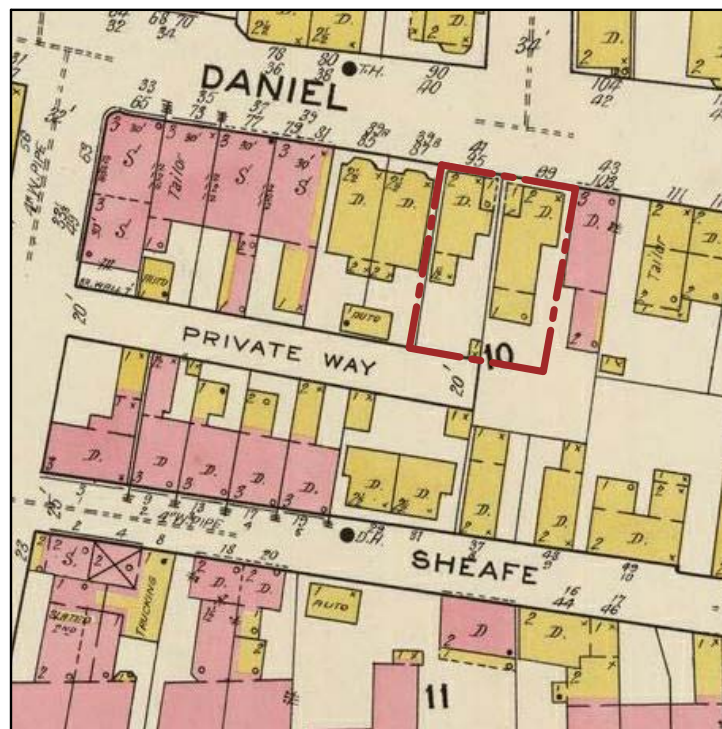
95 DANIEL STREET - 1982



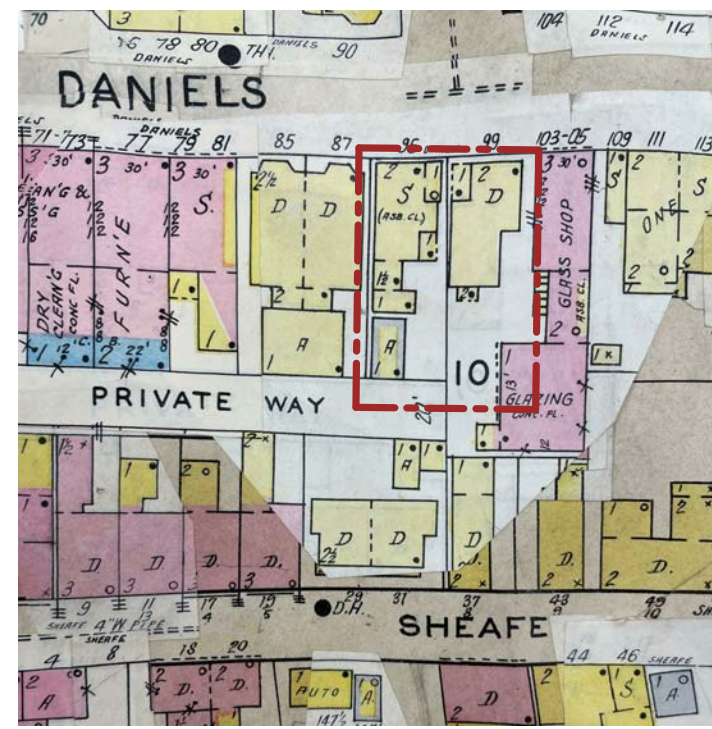
99 DANIEL STREET - 1982



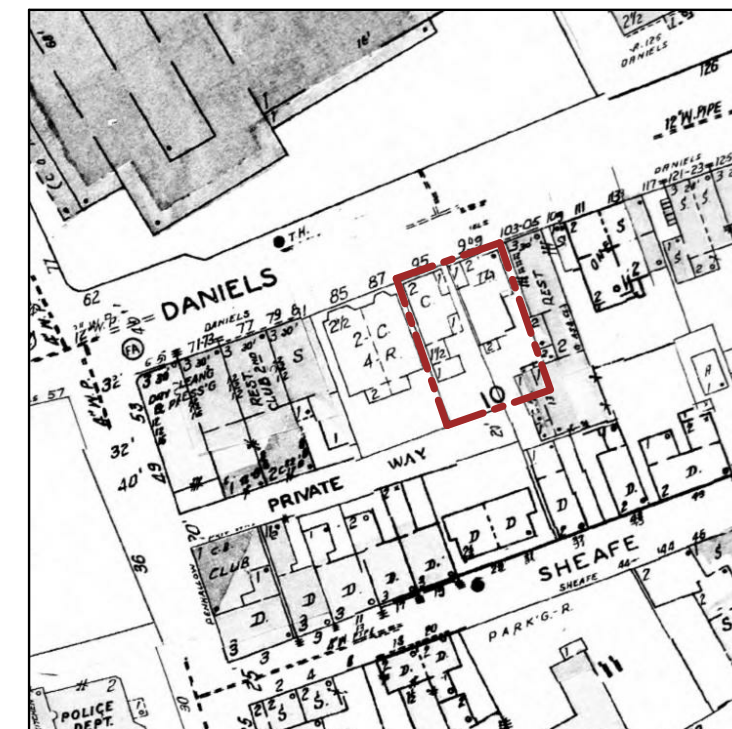
1910



1920



1947



1980

NOTE: CURRENT 95-99 DANIEL STREET LOT IS OUTLINED IN RED

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99/95 DANIEL STREET  
PORTSMOUTH, NH 03801

SANBORN MAP PROGRSSION  
HISTORIC DISTRICT COMMISSION · WORK SESSION  
NOVEMBER 2023

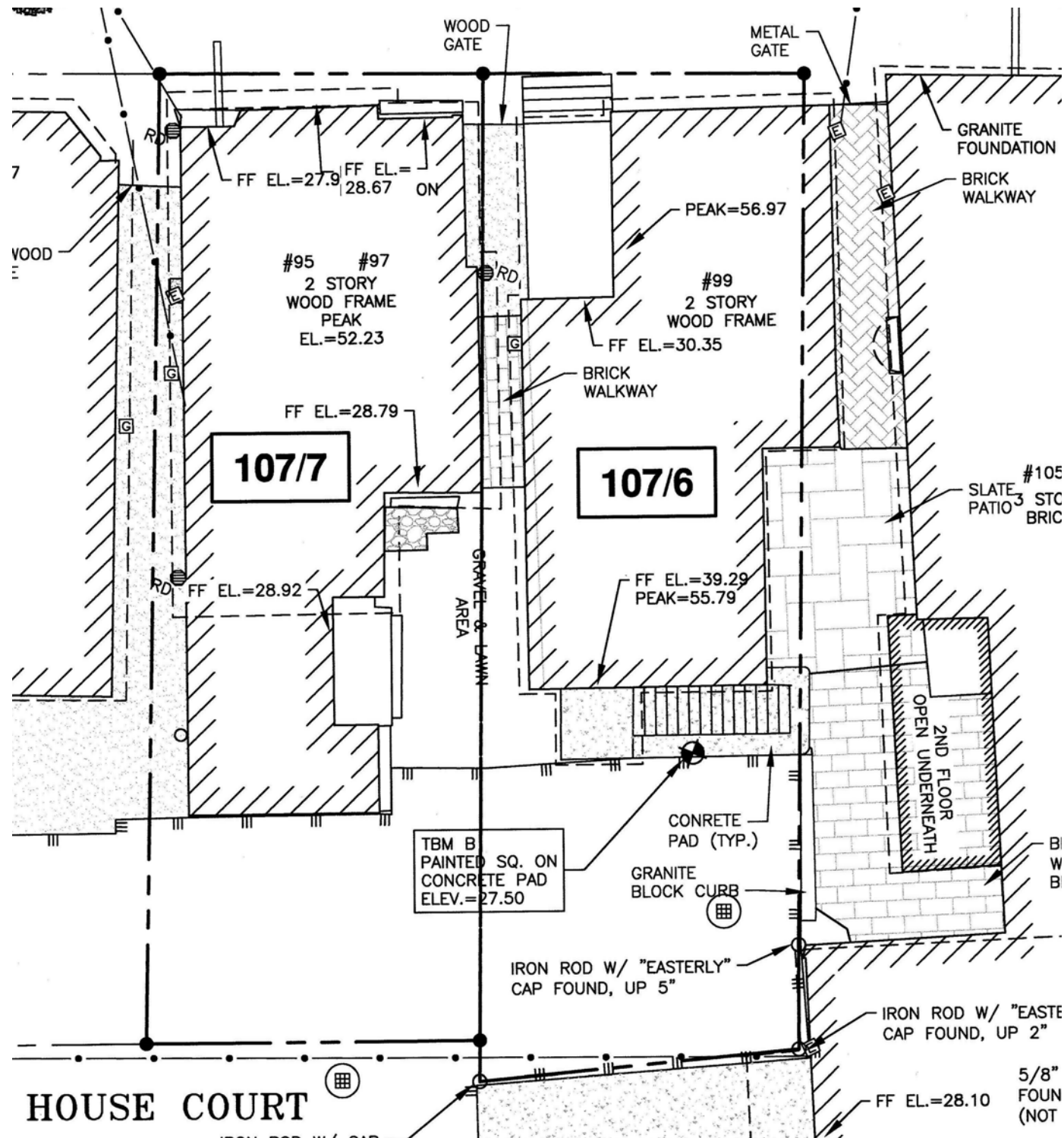
McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

A2

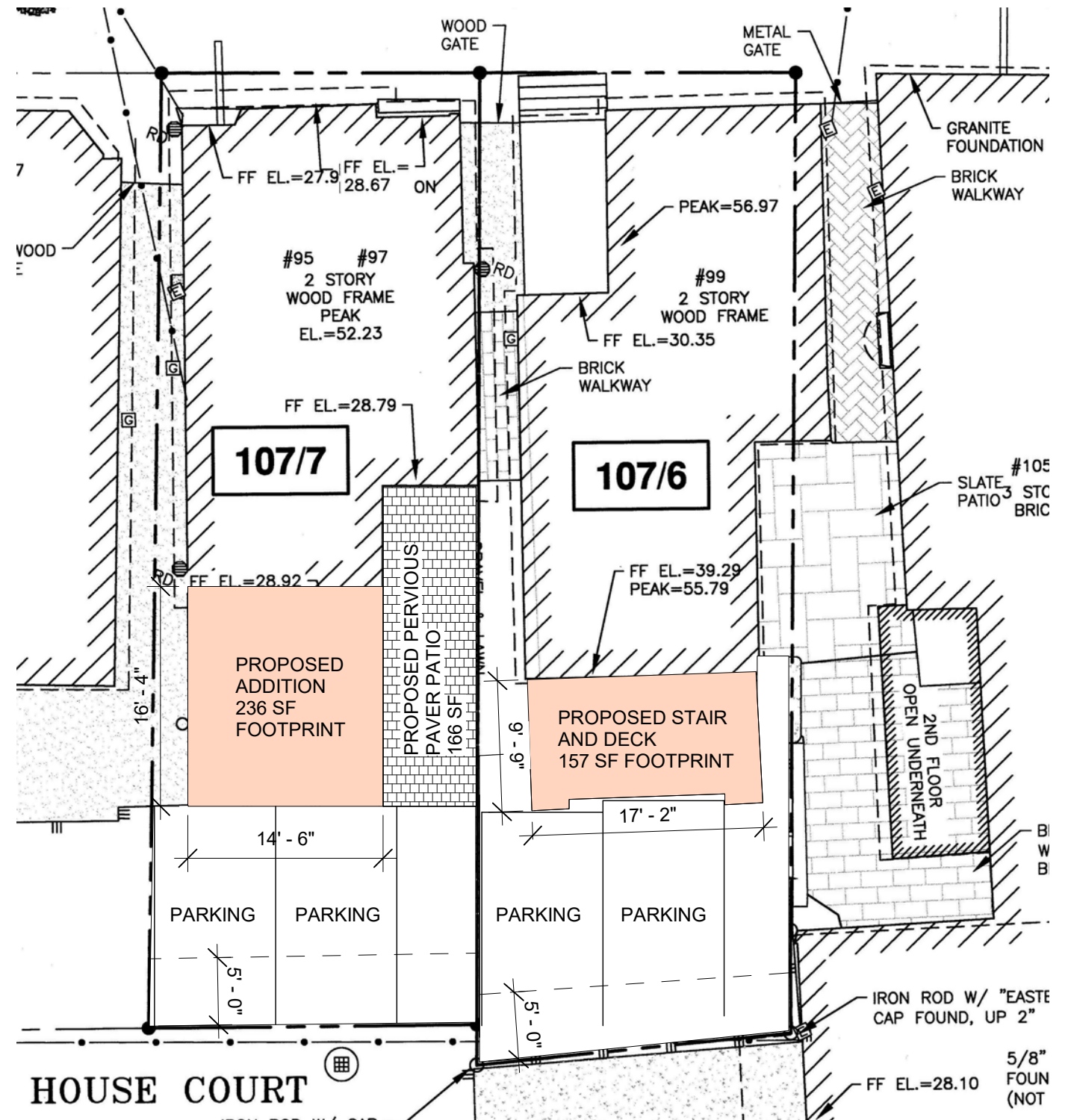
11/17/2023  
McHA: EKW/MG  
NOT TO SCALE



NOTE: PLAN FROM SITE SURVEY BY AMBIT ENGINEERING, DATED 08/11/2022



1 EXISTING SITE  
3/32" = 1'-0"



2 PROPOSED SITE  
3/32" = 1'-0"

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99/95 DANIEL STREET  
PORTSMOUTH, NH 03801

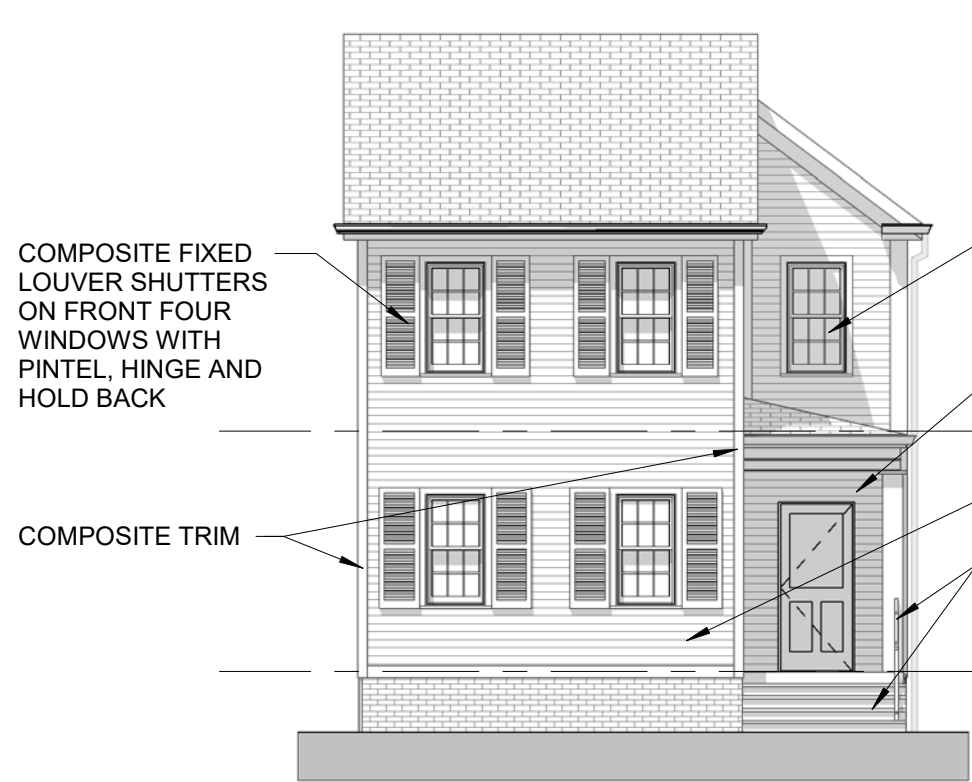
SITE PLAN  
HISTORIC DISTRICT COMMISSION - WORK SESSION  
NOVEMBER 2023

McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

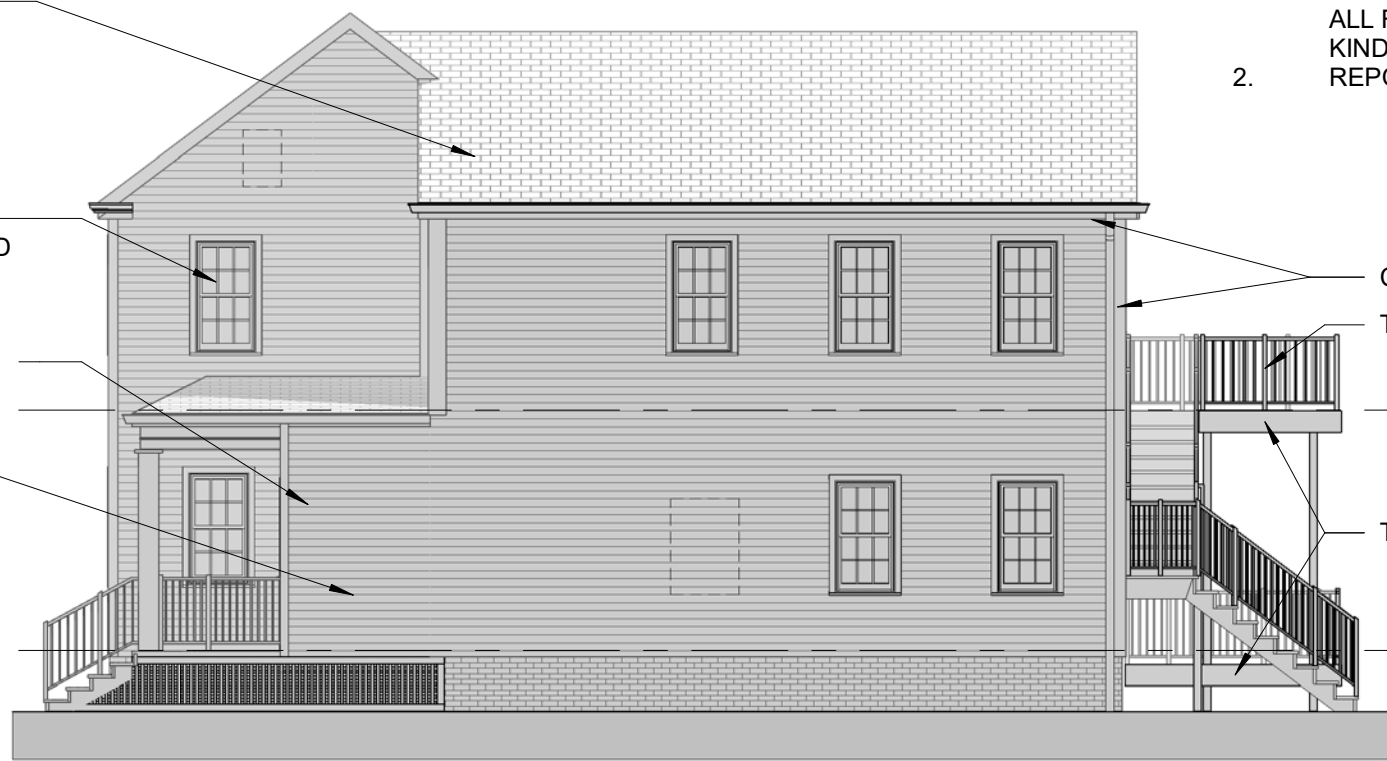
A3

11/17/2023  
McHA: EKW/MG  
AS INDICATED

- GENERAL NOTES:
1. PATCH, REPAIR AND REPLACE ALL FASCIA, SOFFIT AND TRIM IN KIND
  2. REPOINT BRICK FOUNDATION



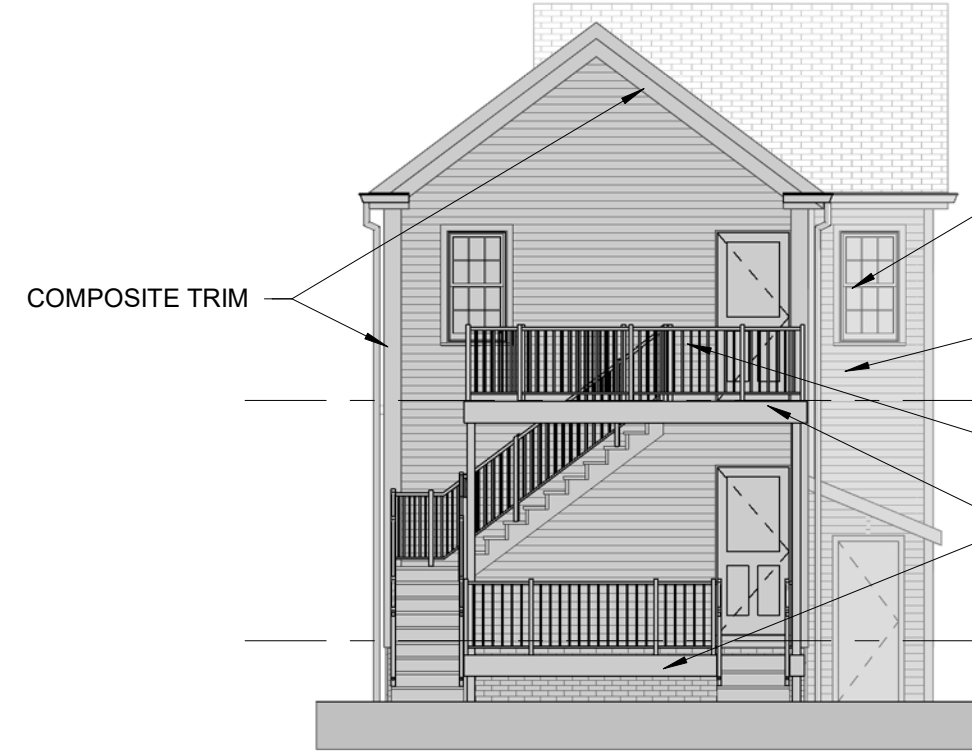
- REPLACE ASPHALT SHINGLES
- ALL DOUBLE HUNG WINDOWS TO BE REPLACED WITH MARVIN ELEVATE DOUBLE-HUNG WINDOWS
- EXPANSION OF ENTRYWAY ONTO EXISTING PORCH
- CLAPBOARD SIDING
- REPLACE STAIR AND RAIL



- COMPOSITE TRIM
- TIMBERTECH ALUMINUM RAIL
- Level 2 110' - 0"
- TIMBERTECH AZEK DECKING
- Level 1 100' - 0"

1 SOUTH ELEVATION  
1/8" = 1'-0"

2 EAST ELEVATION  
1/8" = 1'-0"



- ALL DOUBLE HUNG WINDOWS TO BE REPLACED WITH MARVIN ELEVATE DOUBLE-HUNG WINDOWS
- CLAPBOARD SIDING
- TIMBERTECH ALUMINUM RAIL
- TIMBERTECH AZEK DECK



- COMPOSITE TRIM
- Level 2 110' - 0"
- 24' - 9" +/-
- WINDOW INFILL
- Level 1 100' - 0"

3 NORTH ELEVATION  
1/8" = 1'-0"

4 WEST ELEVATION  
1/8" = 1'-0"

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99/95 DANIEL STREET  
PORTSMOUTH, NH 03801

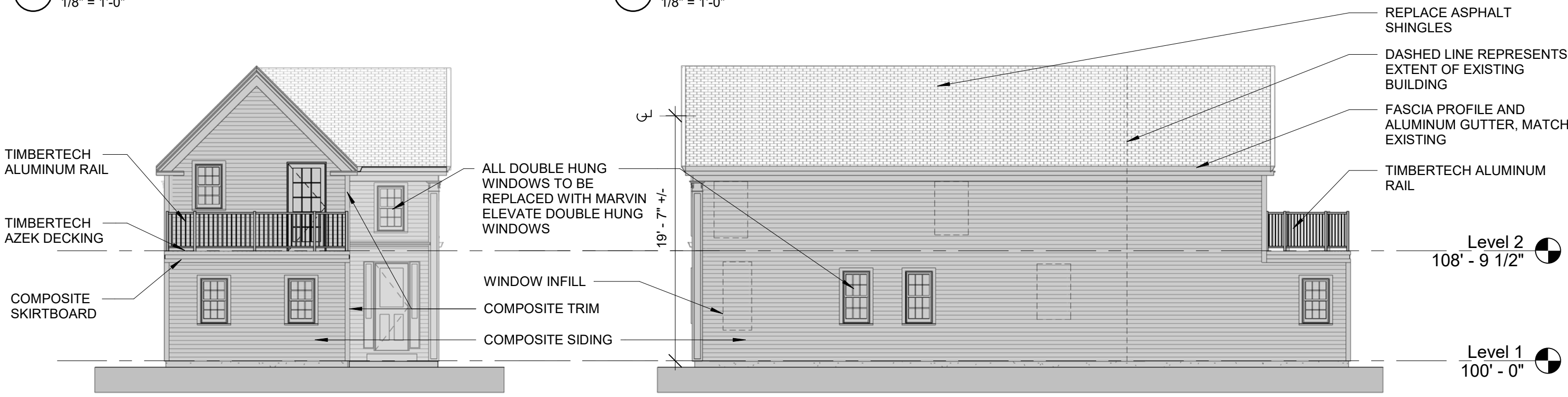
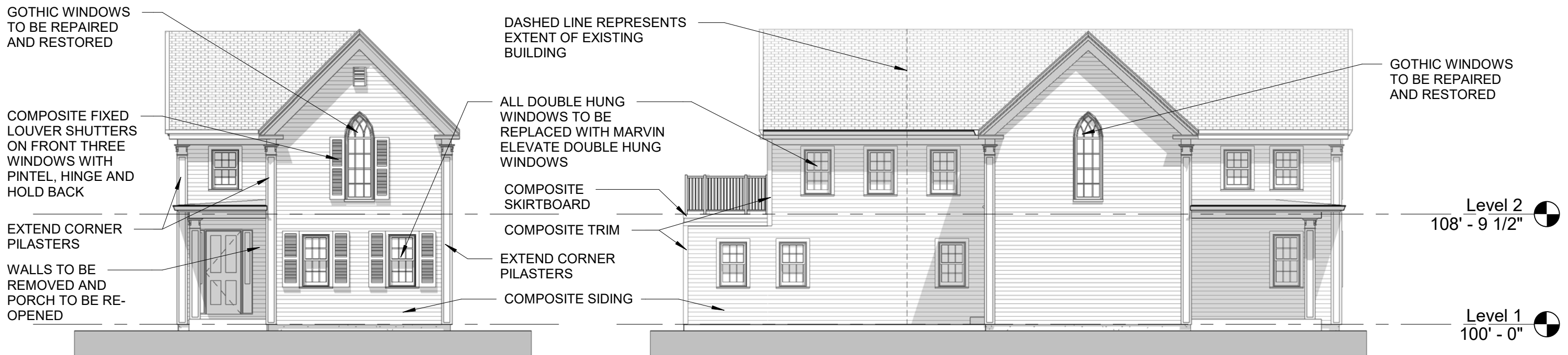
99 SCHEMATIC DESIGN  
HISTORIC DISTRICT COMMISSION - WORK SESSION  
NOVEMBER 2023

McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

A4

11/17/2023  
McHA: EKW/MG  
Scale: 1/8" = 1'-0"





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**99/95 DANIEL STREET**  
PORTSMOUTH, NH 03801

**95 SCHEMATIC DESIGN**  
HISTORIC DISTRICT COMMISSION · WORK SESSION  
NOVEMBER 2023

**McHENRY ARCHITECTURE**  
4 Market Street  
Portsmouth, New Hampshire

**A5**  
11/17/2023  
McHA: EKW/MG  
Scale: 1/8" = 1'-0"





PERSEPCTIVE FROM DANIEL STREET



PERSEPCTIVE FROM CUSTOM HOUSE LANE

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99/95 DANIEL STREET

PORTSMOUTH, NH 03801

PROPOSED PERSPECTIVE

HISTORIC DISTRICT COMMISSION - WORK SESSION  
NOVEMBER 2023

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A6

11/17/2023

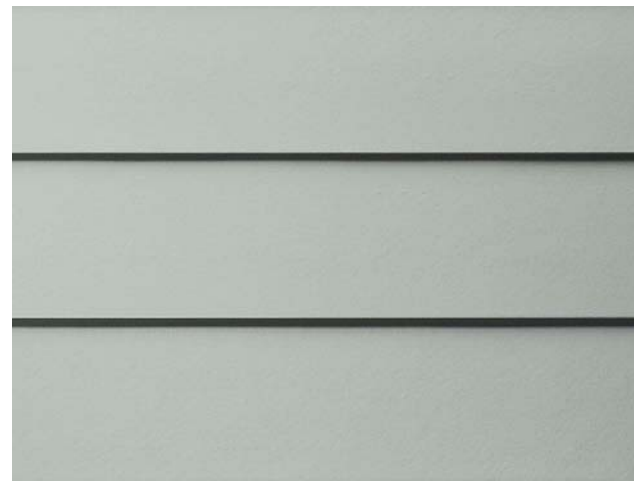
McHA: EKW/MG

NOT TO SCALE

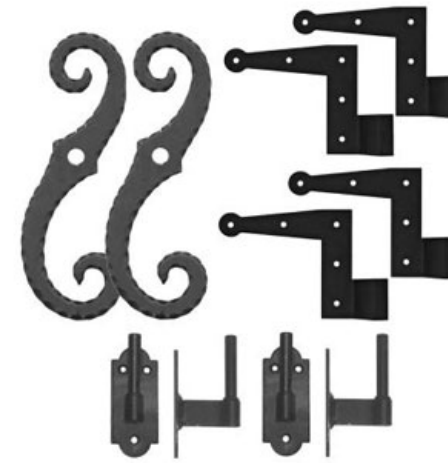




**ASPHALT SHINGLES**  
CERTAINTED LANDMARK SERIES OR EQUAL, COLOR TBD



**COMPOSITE SIDING**  
HARDIE PLANK CLAPBOARDS- SMOOTH



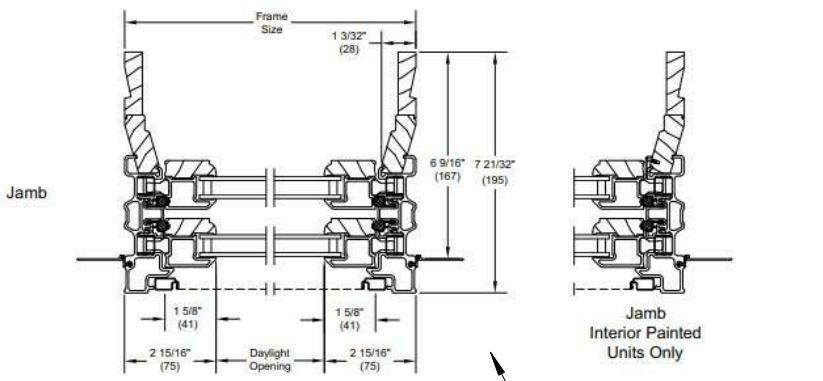
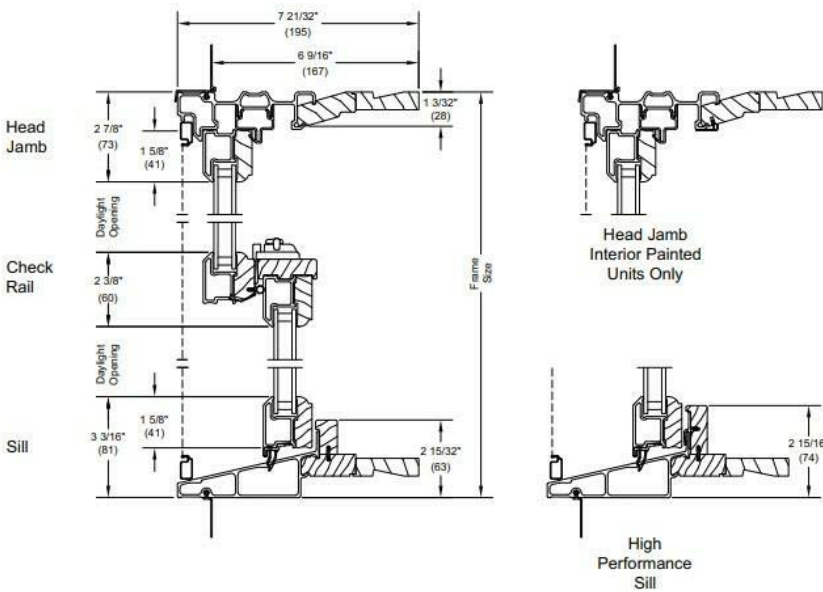
**SHUTTER HARDWARE**



**SHUTTERS**  
COMPOSITE FIXED LOUVER SHUTTERS



**REAR RAILING**  
TIMBERTECH IMPRESSIONS RAIL EXPRESS, MODERN TOP RAIL, ALUMINUM BALUSTERS WITH OPEN MID RAIL, 3"X3" POSTS WITH CAP AND SKIRT, BLACK



**WINDOWS**  
MARVIN ELEVATE DOUBLE HUNG



**COMPOSITE TRIM BOARD**  
BORAL TRUEX EXTERIOR COMPOSITE TRIM



**DECKING MATERIAL**  
TIMBERTECH AZEK VINTAGE COLLECTION - DARK HICKORY



© 2023 McHenry Architecture

99/95 DANIEL STREET  
PORTSMOUTH, NH 03801

MATERIALS AND SELECTIONS  
HISTORIC DISTRICT COMMISSION - WORK SESSION  
NOVEMBER 2023

McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

A7

11/17/2023  
McHA: EKW/MG  
NOT TO SCALE



**Project Address:** 111 GATES STREET

**Permit Requested:** WORK SESSION

**Application:** WORK SESSION B

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 5,208 SF +/-
- Estimated Age of Structure: c.1800
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gates Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** To remove the rear porch, construct a 2-story addition with walkout basement and re-configure existing side addition.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Remove rear porch
- Construct 2-story addition at the rear of the structure with a walkout basement
- Re-configure the existing side addition



**D. Purpose and Intent:**

13. Preserve the integrity of the District
14. Assessment of the Historical Significance
15. Conservation and enhancement of property values
16. Maintain the special character of the District
17. Complement and enhance the architectural and historic character
18. Promote the education, pleasure and welfare of the District and the city residents and visitors

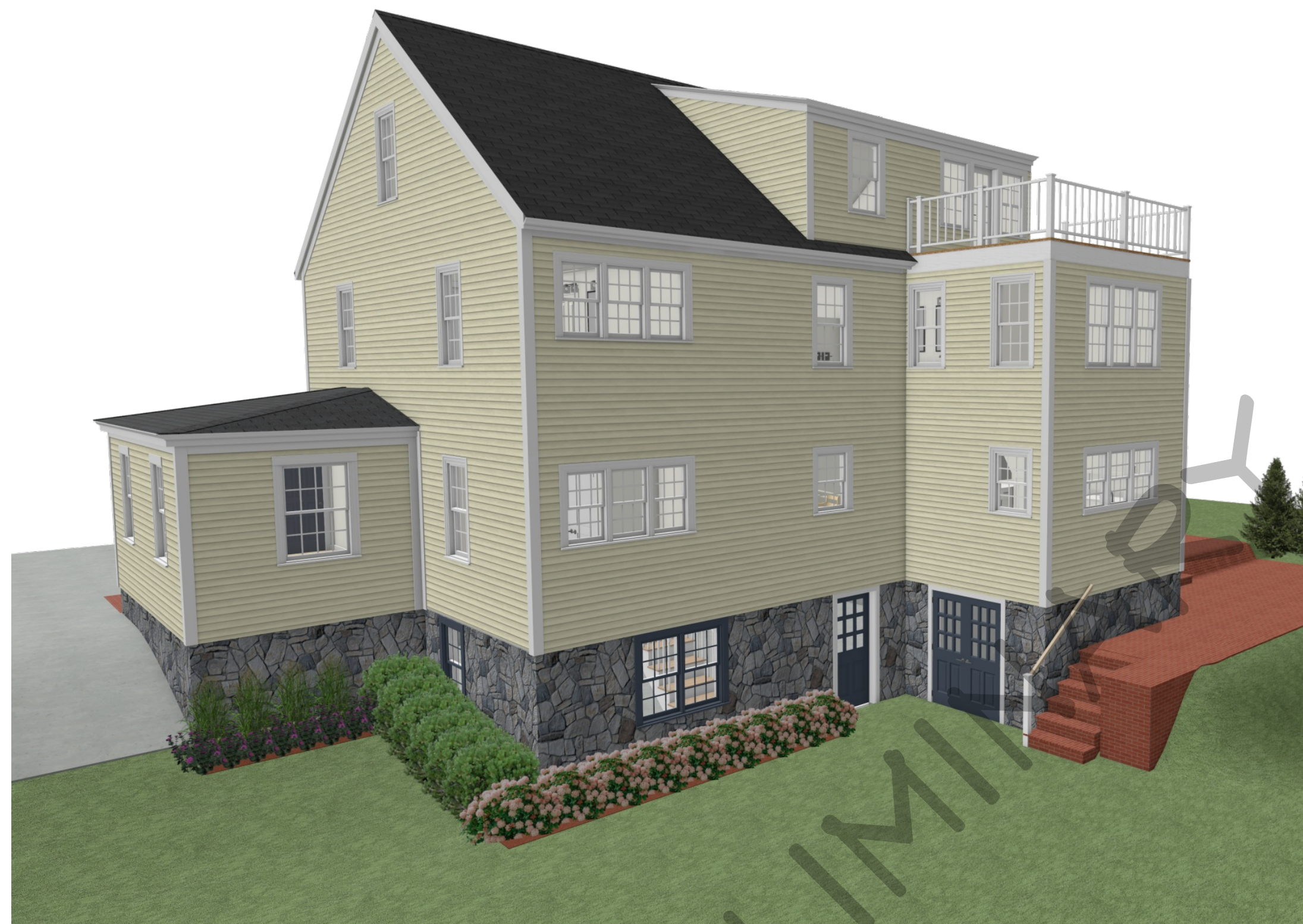
**E. Review Criteria/Findings of Fact:**

9. Consistent with special and defining character of surrounding properties
10. Compatibility of design with surrounding properties
11. Relation to historic and architectural value of existing structures
12. Compatibility of innovative technologies with surrounding properties





PROPOSED FRONT SIDE VIEW



PROPOSED REAR SIDE VIEW

EXISTING PROPERTY PHOTOS



FRONT LEFT SIDE VIEW



FRONT RIGHT SIDE VIEW



REAR VIEW



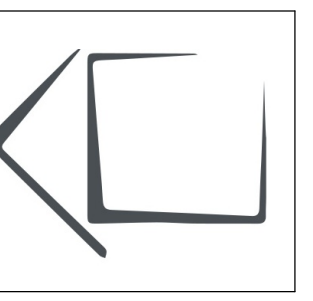
REAR SIDE VIEW



RIGHT SIDE PARKING AREA PROPERTY FENCE



LEFT SIDE REAR SCREEN PORCH & STORAGE AREA



Revision Table	
Number	Description

OVERVIEW

**CLIENT:**  
 BLACK DOMBRONSKI  
 111 Gates Street  
 Portsmouth, NH

**CONTACT:**  
 AMY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@amyduttonhome.com  
 207.397.2020

DATE:

11/13/2023

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SCALED FOR:  
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

0-2

PRELIMINARY - NOT FOR CONSTRUCTION



EXISTING SOUTH END NEIGHBORHOOD PHOTOS: EXAMPLES OF SHED ROOFS AND 2ND/3RD FL. DECKS



57 WALDEN STREET



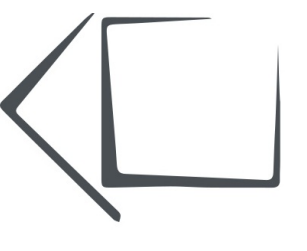
213 GATES STREET



126 STATE STREET



44 PICKERING STREET



Revision Table	
Number	Description

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207.357.2020

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11/13/2023

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SCALED FOR:  
24" X 36"

SCALE:

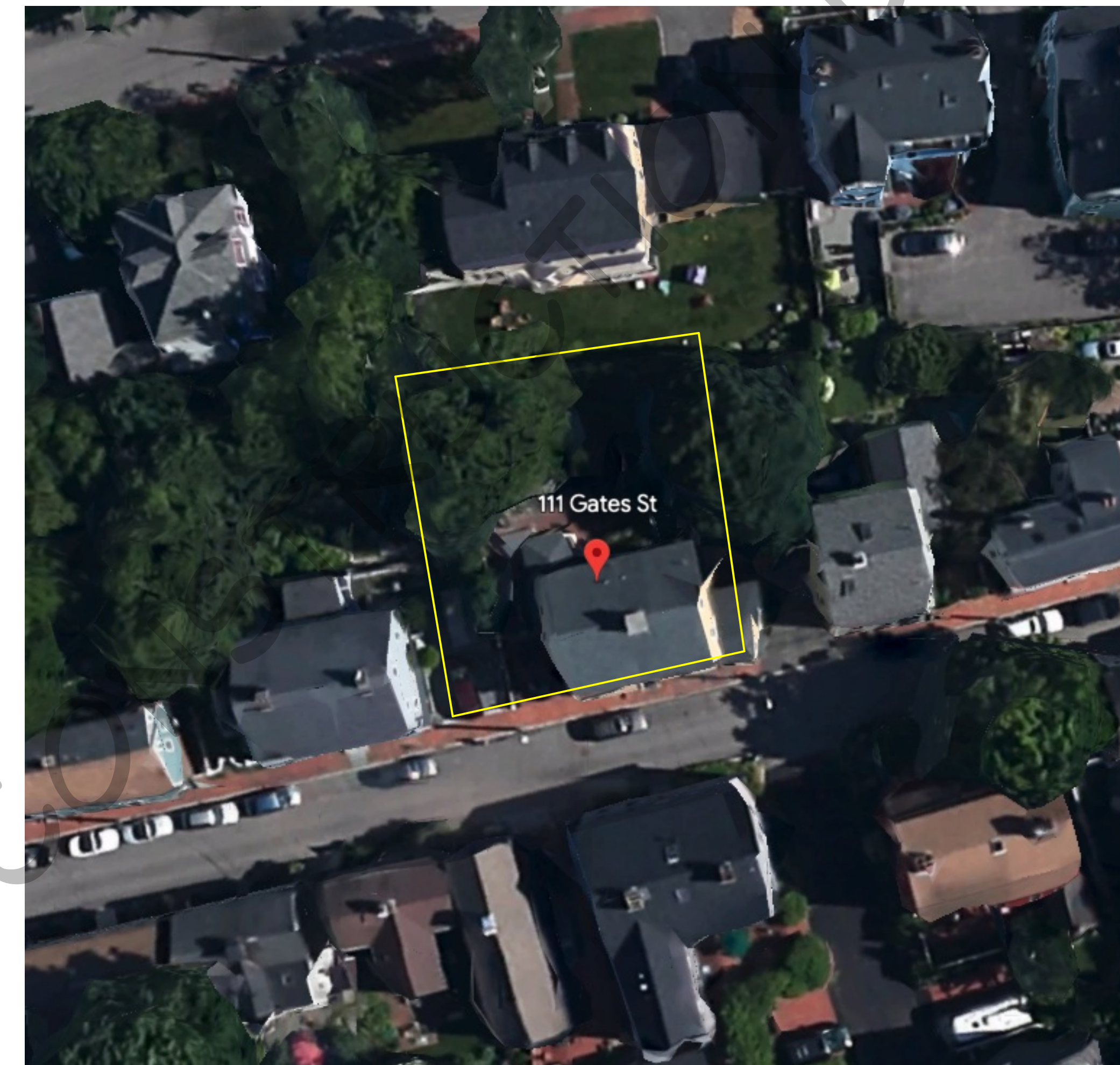
SEE SCALE ON DRAWINGS

SHEET:





CITY OF PORTSMOUTH - MAP GEO GIS

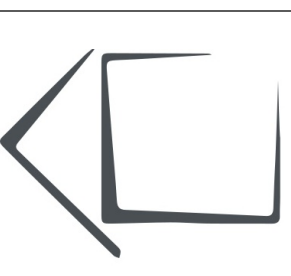


GOOGLE SATELITE SITE



GLASS HOUSE ELEVATION FROM NORTH

SCALE: 1/6" = 1'-0"



Revision Table	
Number	Date

PLOT PLAN

**CLIENT:**  
BLACK DOMBRONSKI  
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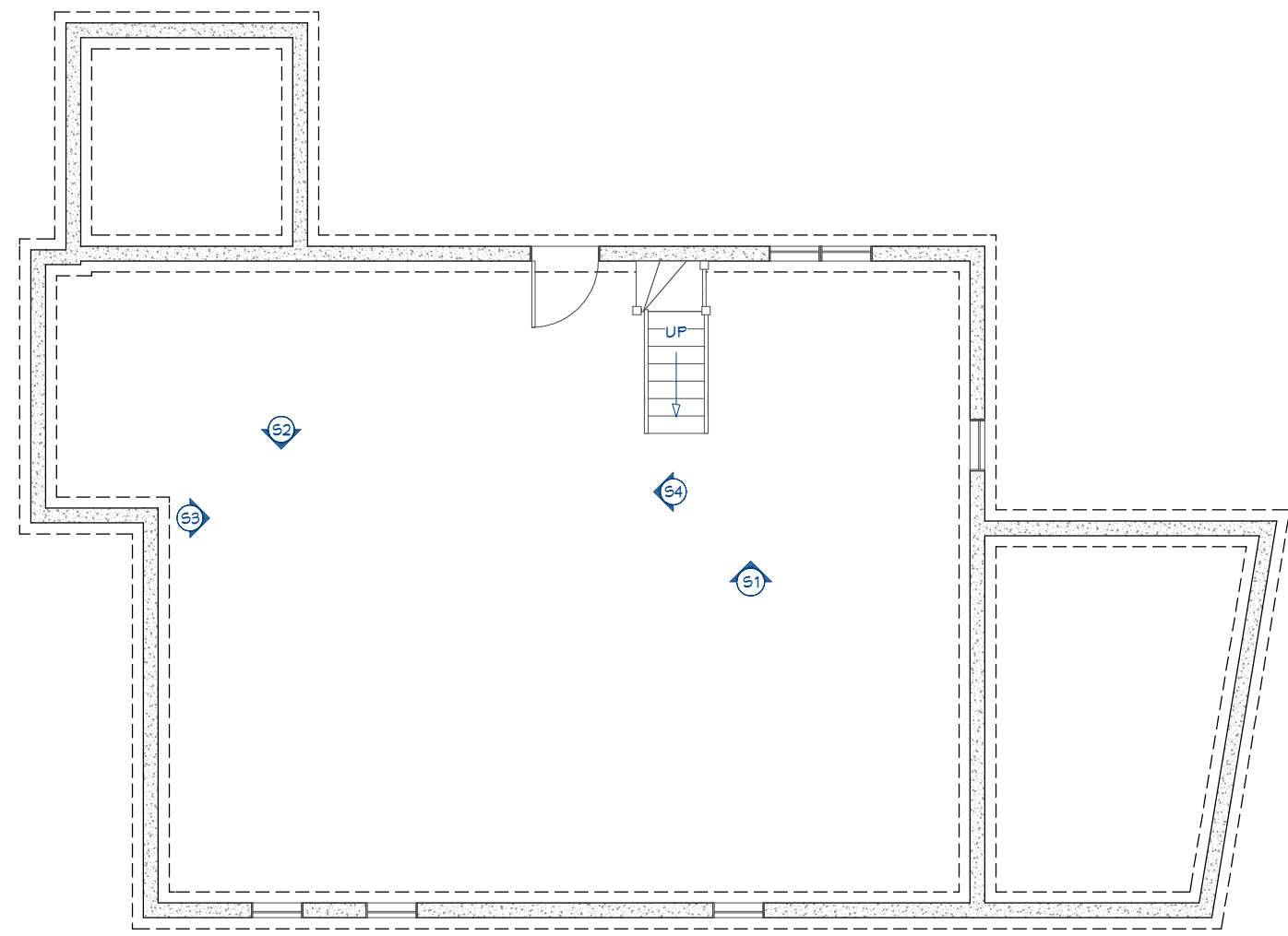
SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

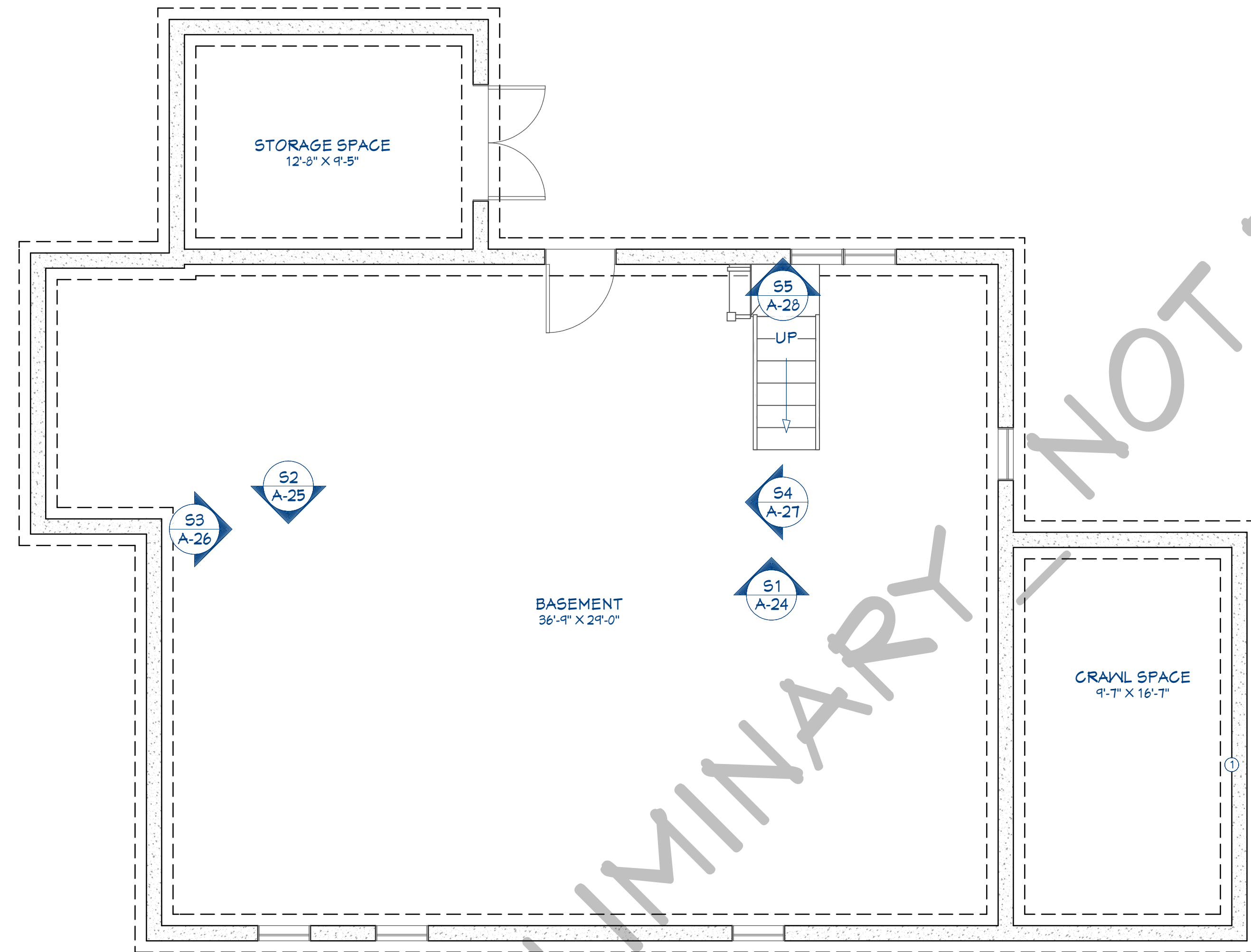
SHEET:





**EXISTING FOUNDATION PLAN**

SCALE: 1/8" = 1'-0"

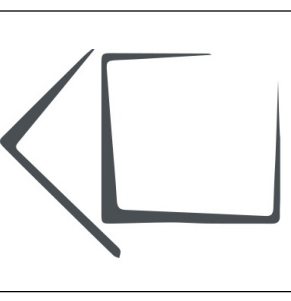


**PROPOSED FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	NEW FOUNDATION WALL
②	SLIDE IN RANGE
③	FIREPLACE
④	STAIRS TO GRADE
⑤	BRICK WALKWAY
⑥	SHED/ STORAGE AREA
⑦	6" CORNER BOARD, TYP.
⑧	RENOVATED ROOF
⑨	ALL 2ND FLR WINDOWS HUNG AT 86"
⑩	NEW ROOF PLANE
⑪	ROOF DECK

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

**FOUNDATION**

**CLIENT:**  
BLACK DOWBROMSKI  
111 Gates Street  
Portsmouth, NH

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SCALED FOR:  
24" X 36"

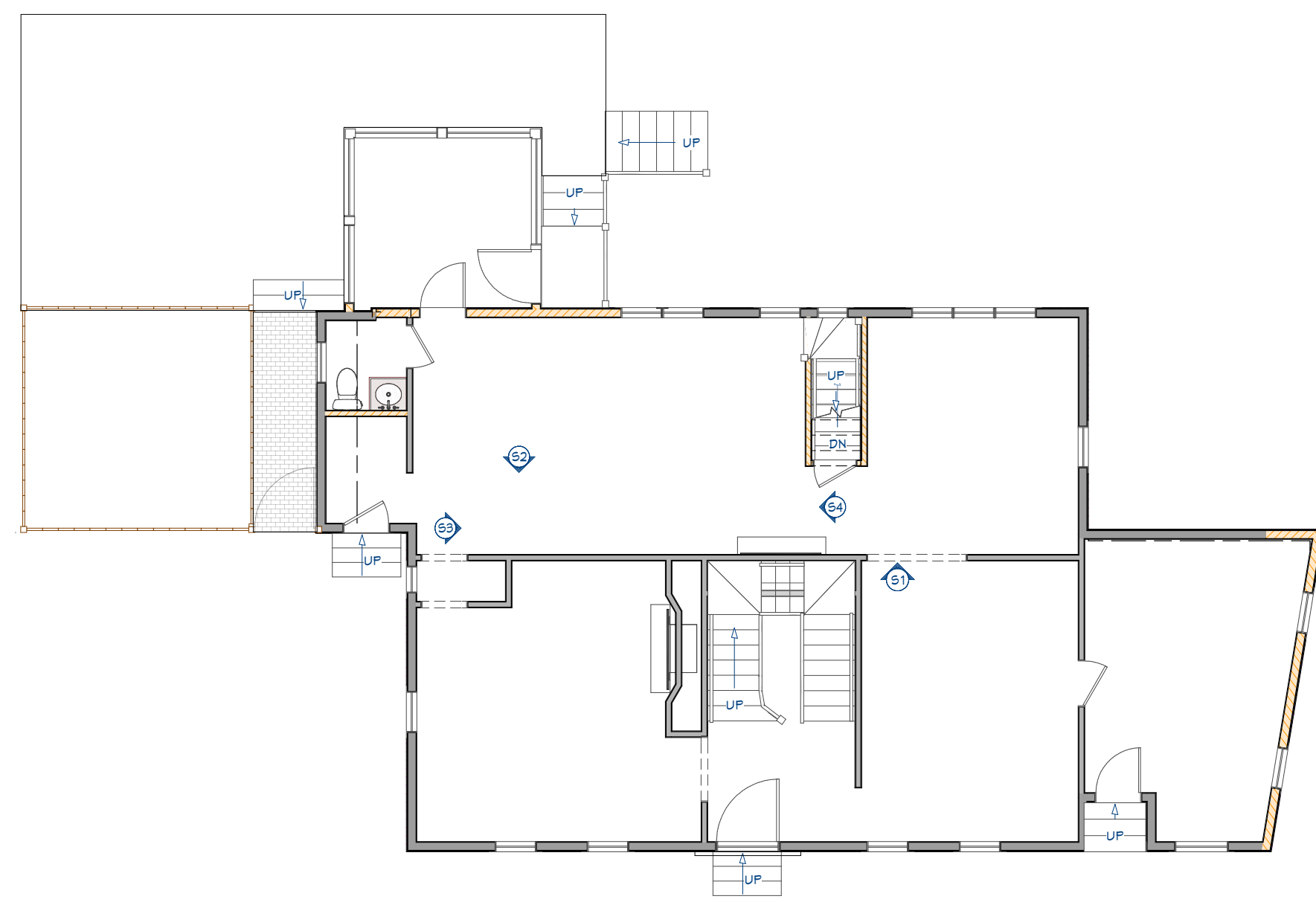
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SEE SCALE ON DRAWINGS

SHEET:

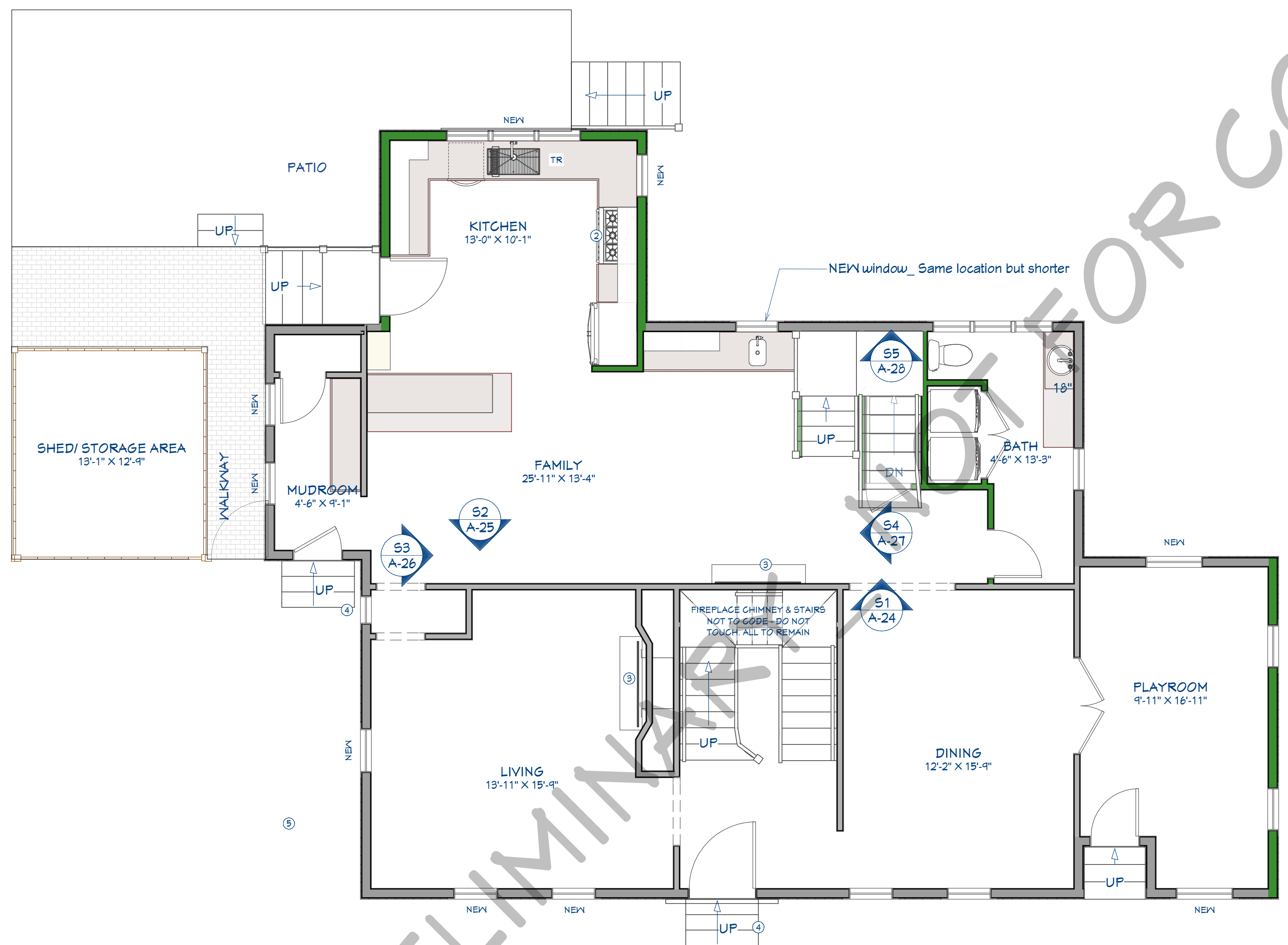
A-8





**EXISTING FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

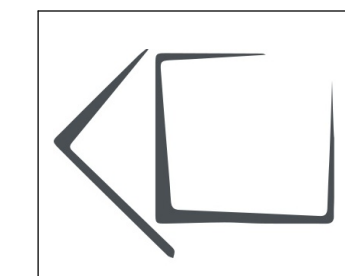


**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	NEW FOUNDATION WALL
②	SLIDE IN RANGE
③	FIREPLACE
④	STAIRS TO GRADE
⑤	BRICK WALKWAY
⑥	SHED/ STORAGE AREA
⑦	6" CORNER BOARD, TYP.
⑧	RENOVATED ROOF
⑨	ALL 2ND FLR WINDOWS HUNG AT 86"
⑩	NEW ROOF PLANE
⑪	ROOF DECK

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

**FIRST FLOOR**

**CLIENT:**  
BLACK DONBRONSKI  
111 Gates Street  
Fortsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

**DATE:**

11/13/2023

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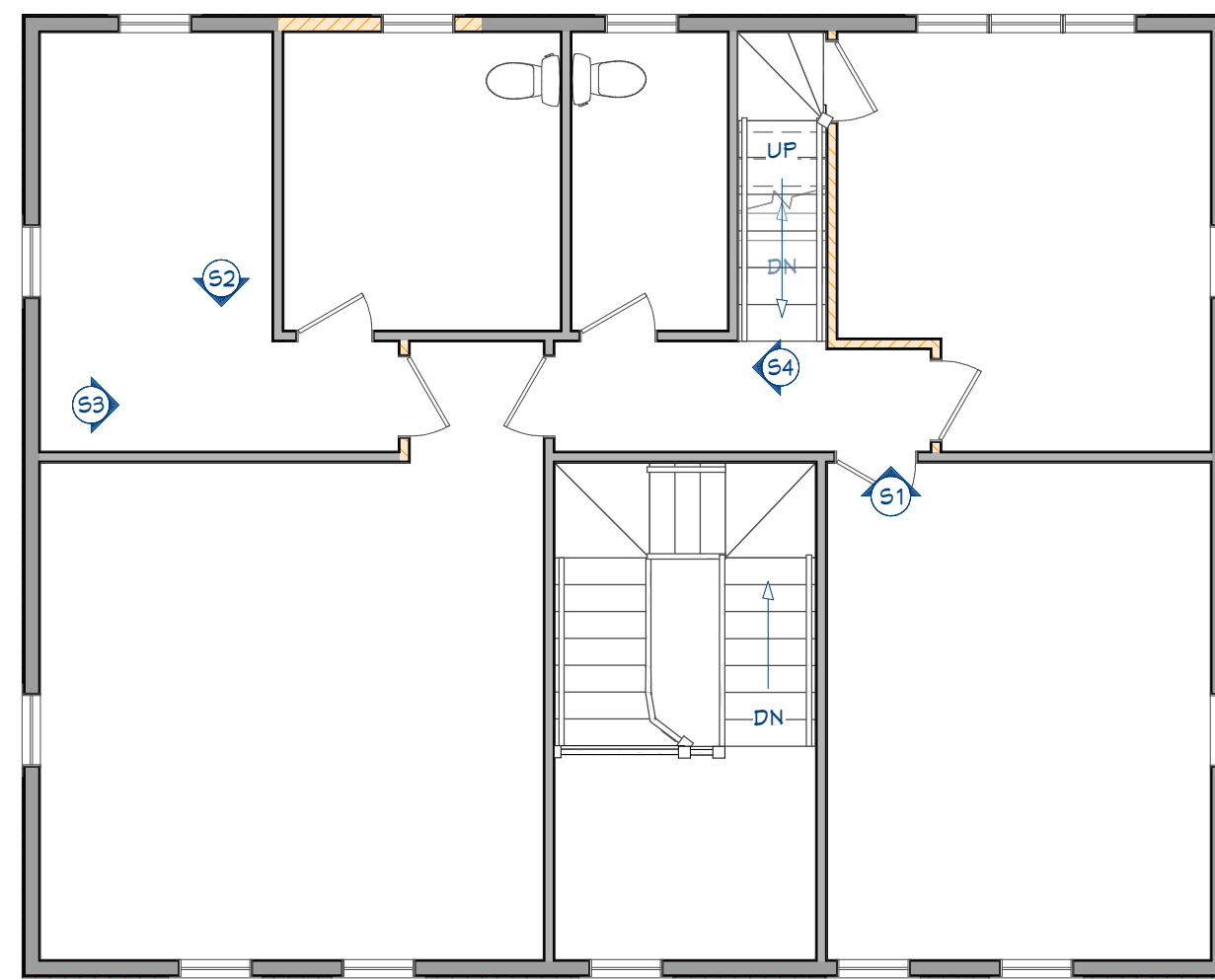
SCALED FOR:  
24" X 36"

**SCALE:**

SEE SCALE ON DRAWINGS

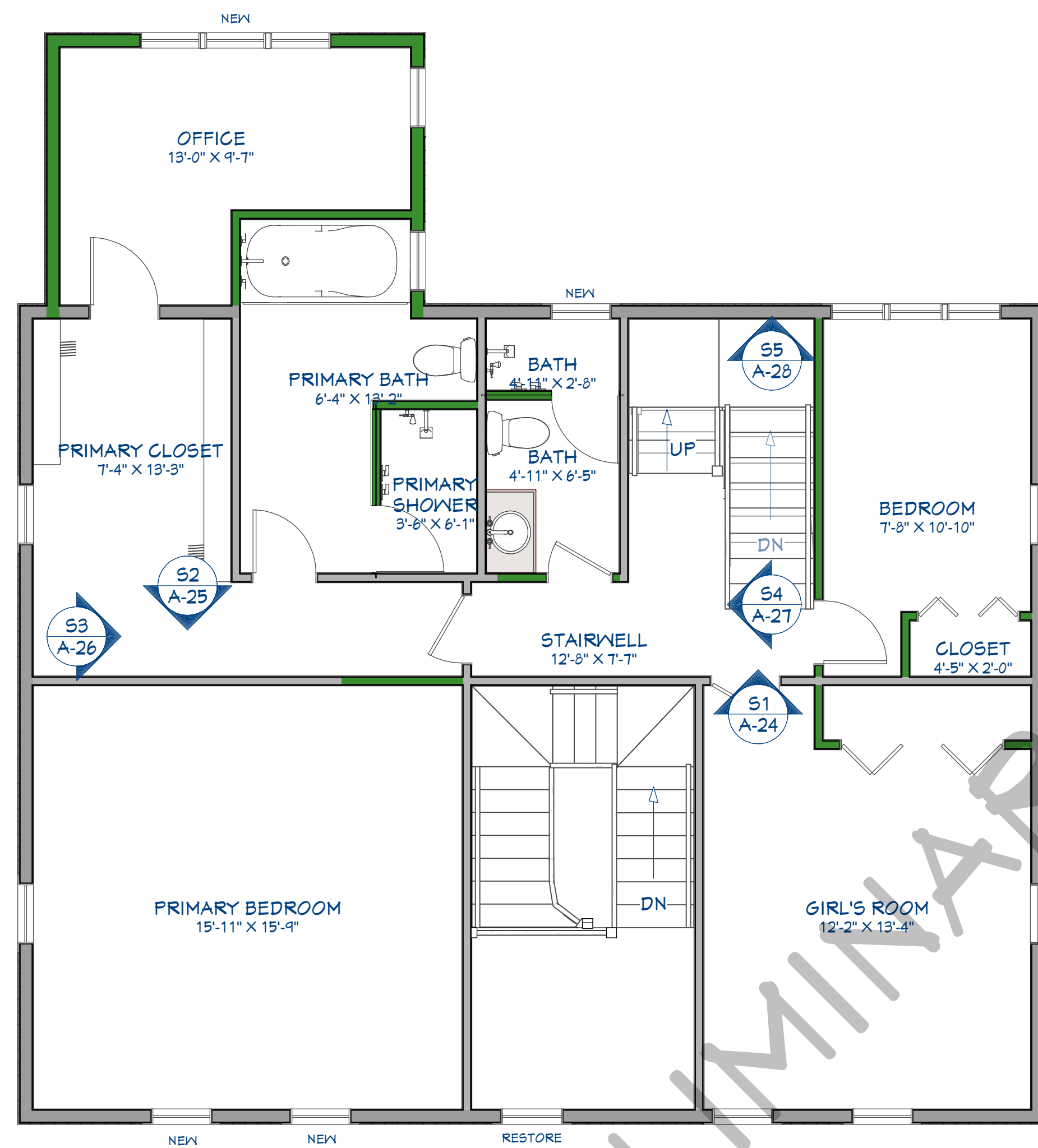
**SHEET:**

A-10



**EXISTING SECOND FLOOR PLAN**

SCALE: 1/16" = 1'-0"

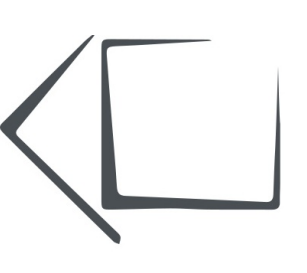


**PROPOSED SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	NEW FOUNDATION WALL
②	SLIDE IN RANGE
③	FIREPLACE
④	STAIRS TO GRADE
⑤	BRICK WALKWAY
⑥	SHED/ STORAGE AREA
⑦	6" CORNER BOARD, TYP.
⑧	RENOVATED ROOF
⑨	ALL 2ND FLR WINDOWS HUNG AT 86"
⑩	NEW ROOF PLANE
⑪	ROOF DECK

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

**SECOND FLOOR**

**CLIENT:**  
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111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:

11/13/2023

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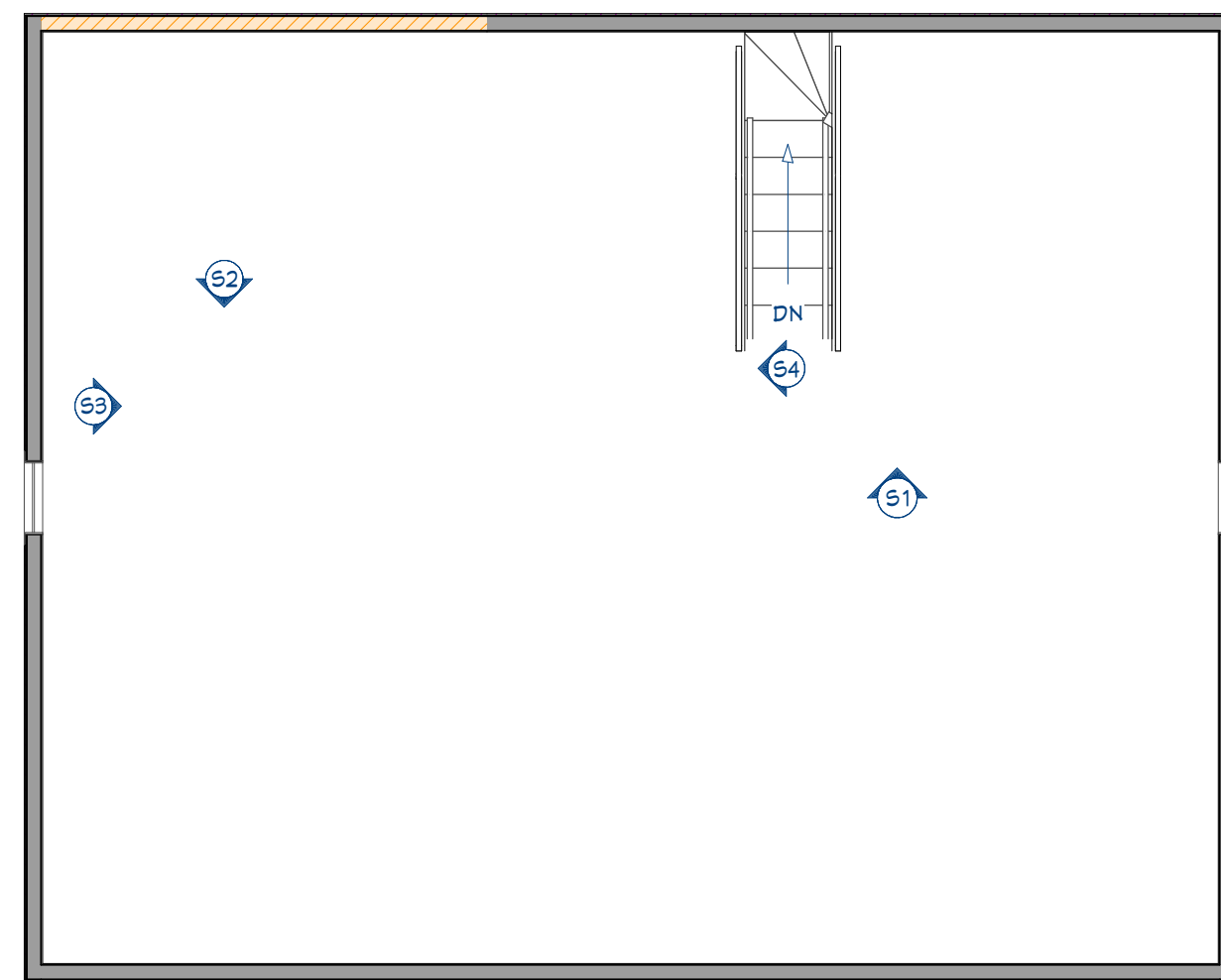
SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

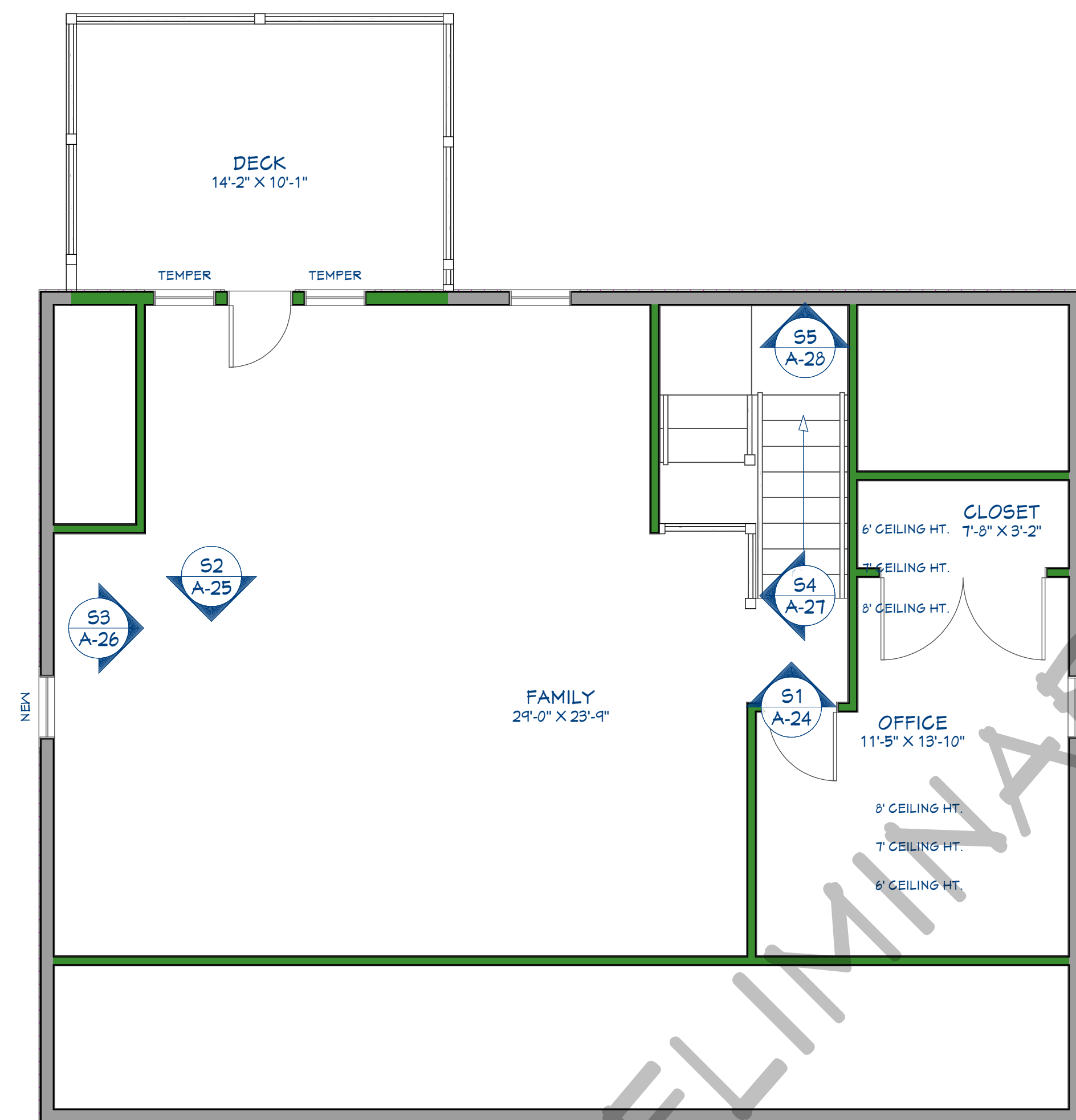
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A-12



**EXISTING THIRD FLOOR PLAN**

SCALE: 1/6" = 1'-0"

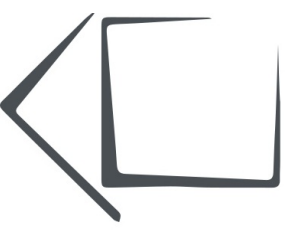


**PROPOSED THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	NEW FOUNDATION WALL
②	SLIDE IN RANGE
③	FIREPLACE
④	STAIRS TO GRADE
⑤	BRICK WALKWAY
⑥	SHED/ STORAGE AREA
⑦	6" CORNER BOARD, TYP.
⑧	RENOVATED ROOF
⑨	ALL 2ND FLR WINDOWS HUNG AT 86"
⑩	NEW ROOF PLANE
⑪	ROOF DECK

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

**THIRD FLOOR**

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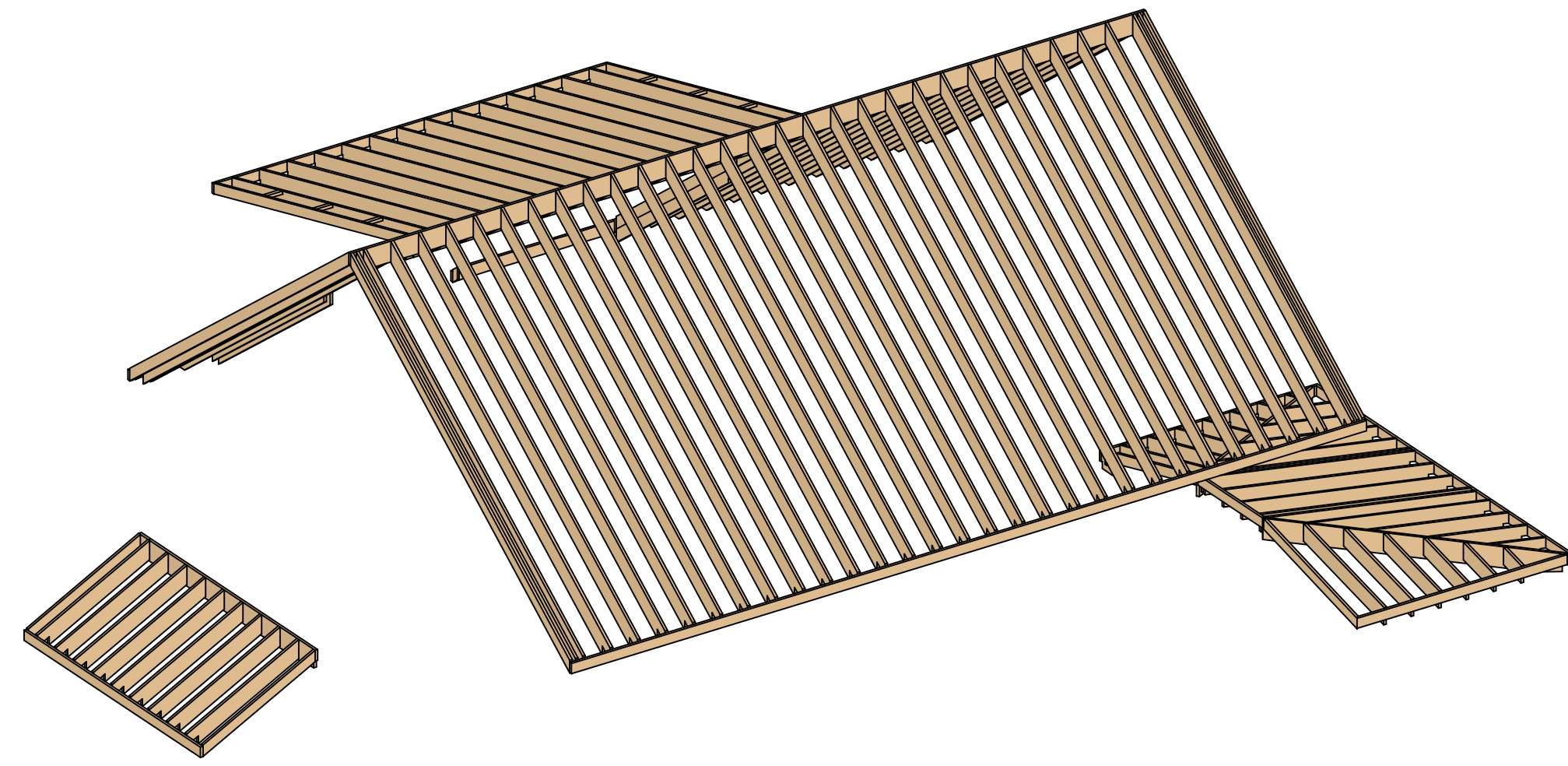
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A-14



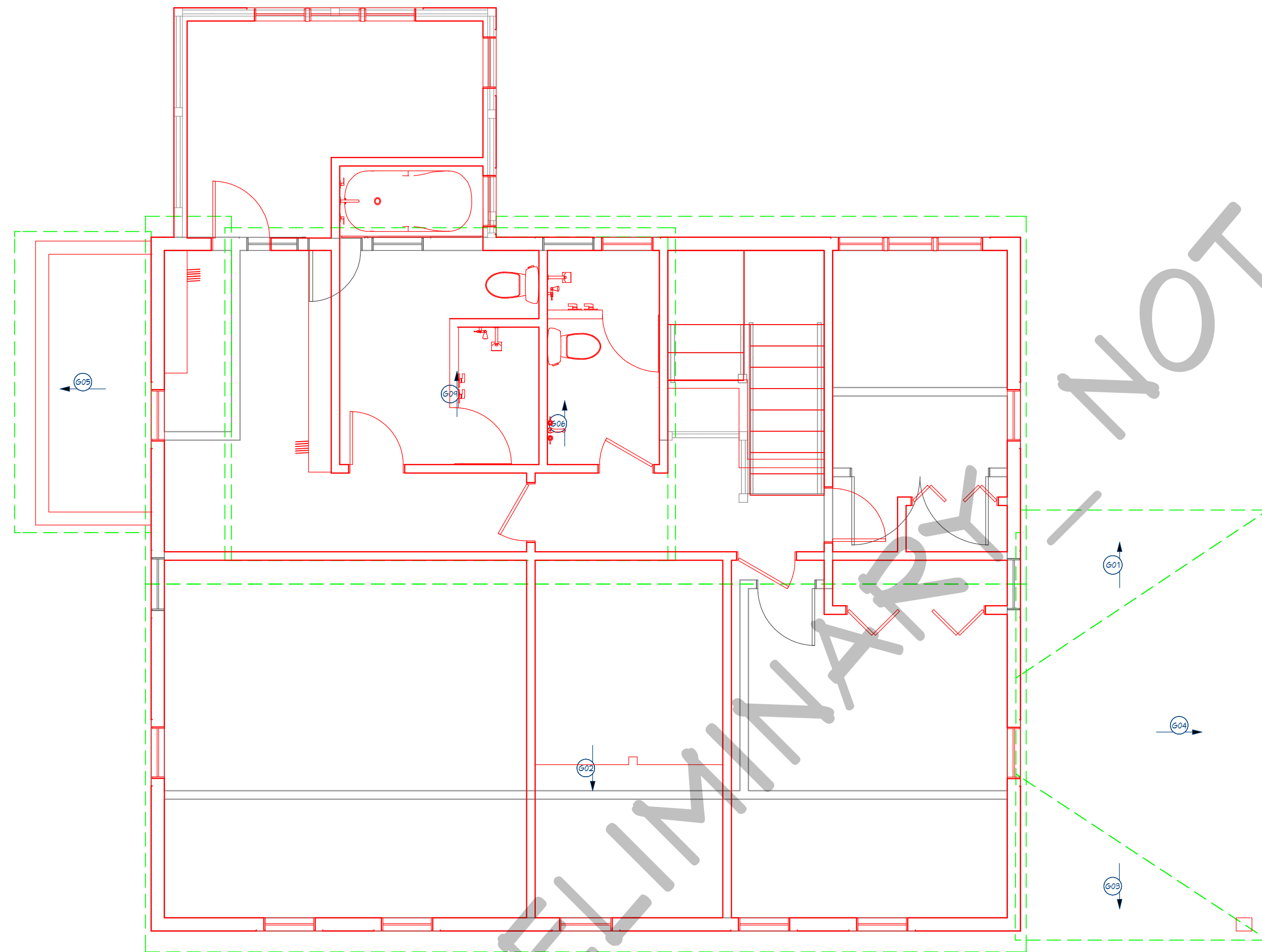
**NOTES:**

1. PROVIDE 2 X 10 FLOOR JOISTS AT 16" o.c. TYPICAL
2. INTERIOR NON-BEARING STUD WALLS ARE 2 X 4 AT 16" o.c.
3. INTERIOR BEARING WALLS ARE 2 X 6 AT 16" o.c. #5-2 OR BETTER
4. HEADERS FOR DOORS AND WINDOWS UP TO 6 FEET ARE (2) 2 X 10's
5. ENGINEERED FLOOR BEAM TO BE DESIGNED AND SUBMITTED PRIOR TO CONSTRUCTION BY STRUCTURAL ENGINEER.
6. CEILING JOISTS FOR THE SECOND FLOOR ARE 2X6.
7. ROOF PLANES ARE GREEN
8. SECOND FLOOR WALLS ARE RED
9. THIRD FLOOR WALLS ARE GREY



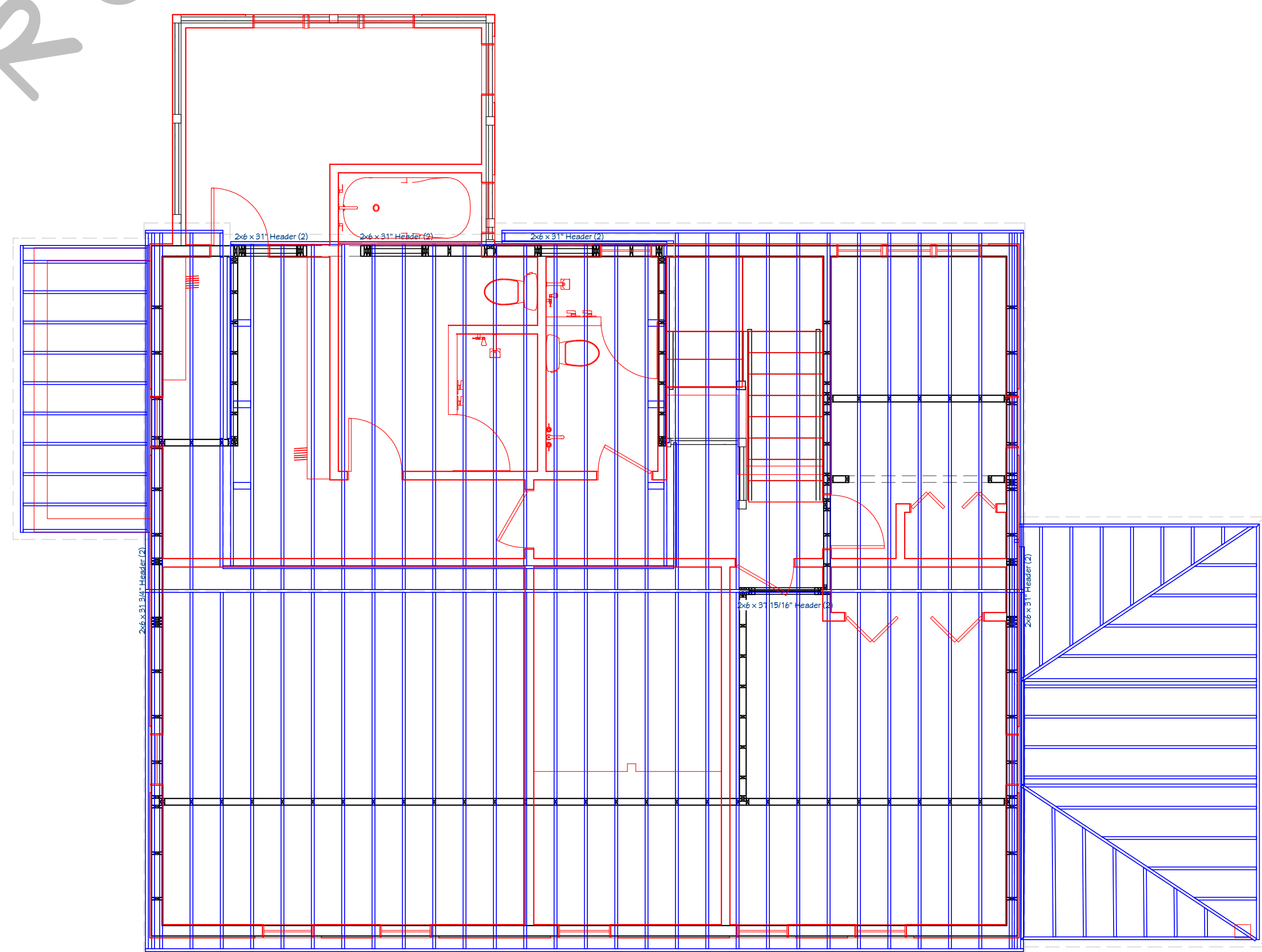
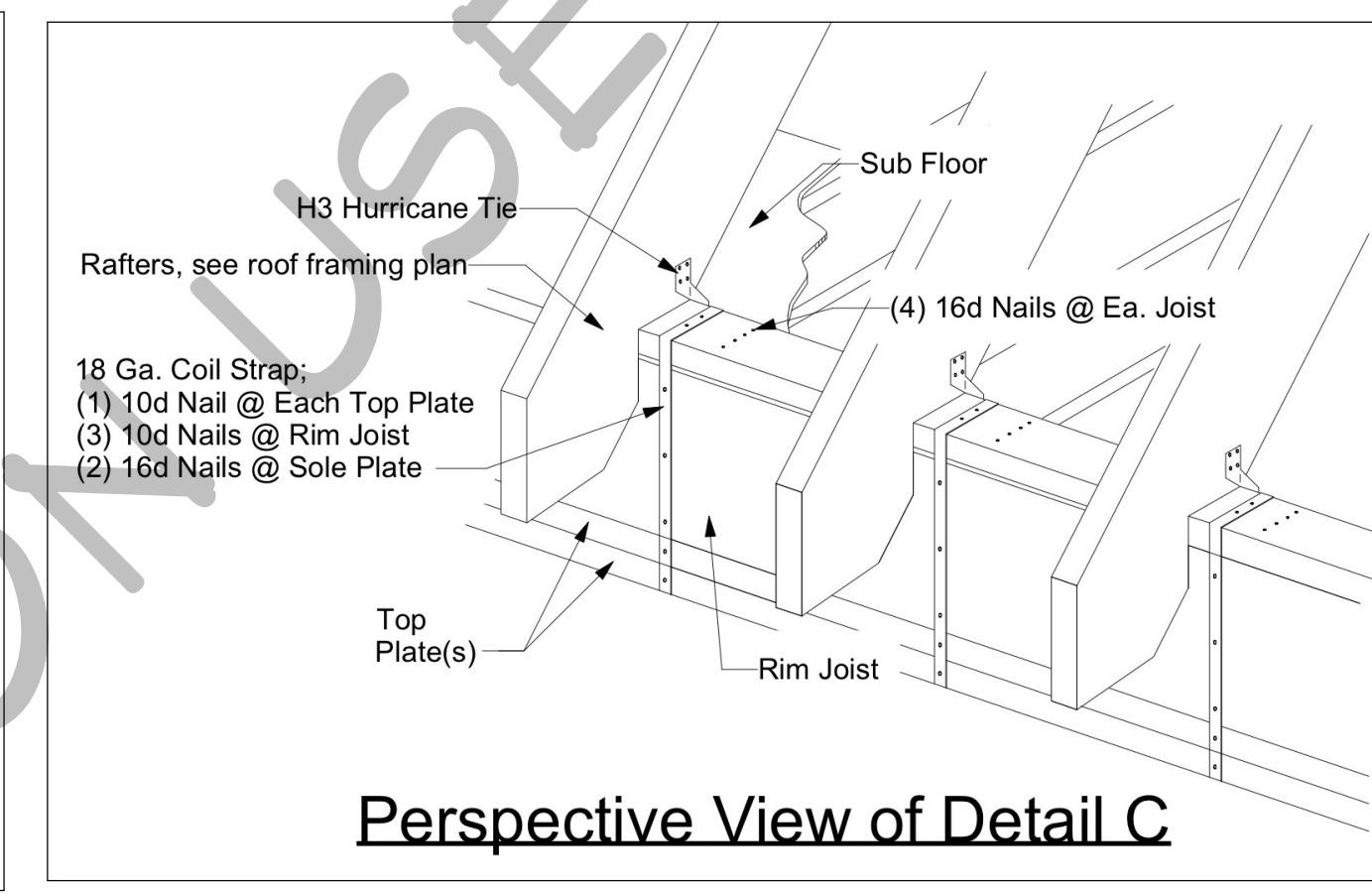
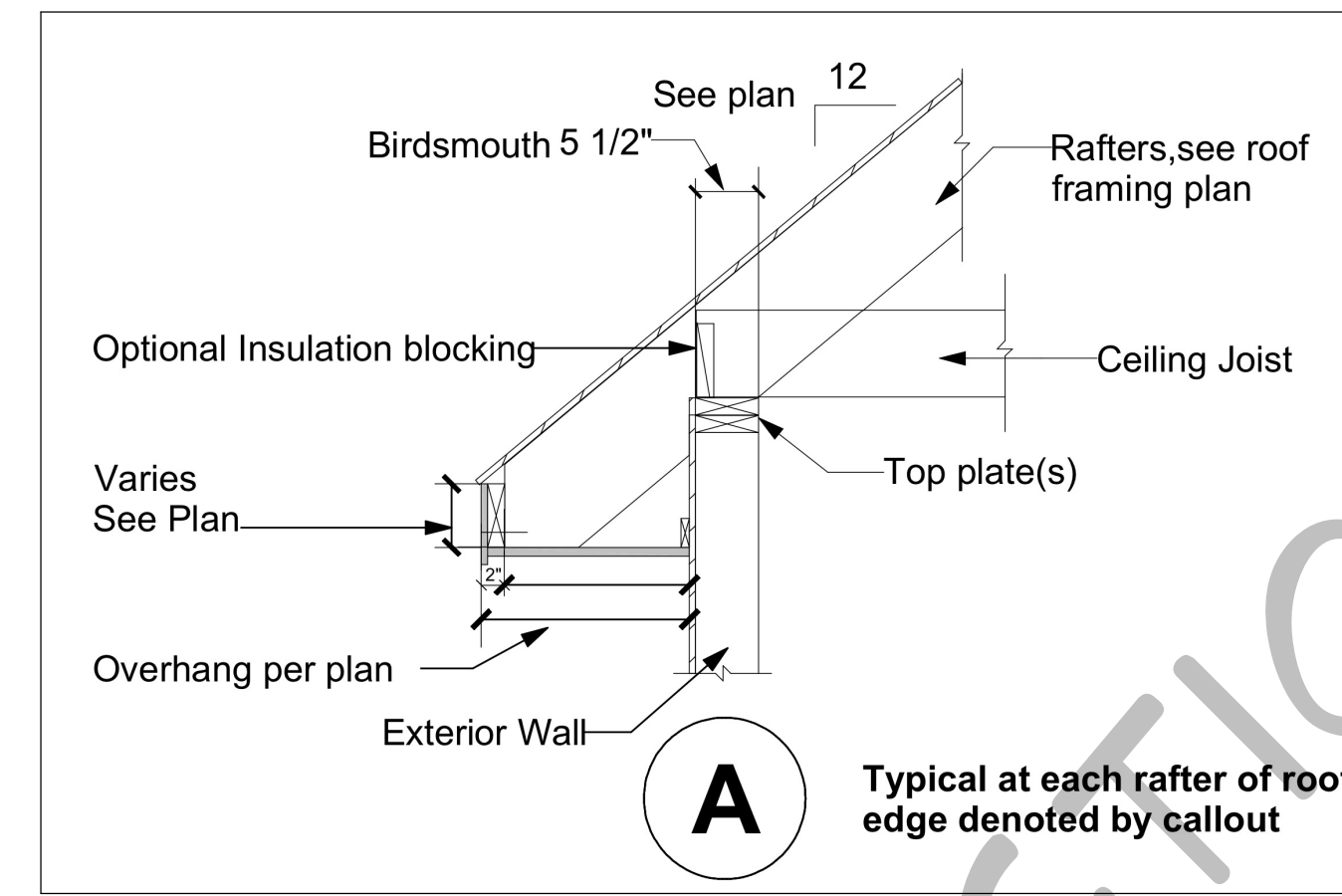
**ROOF PERSPECTIVE**

SCALE: NTS



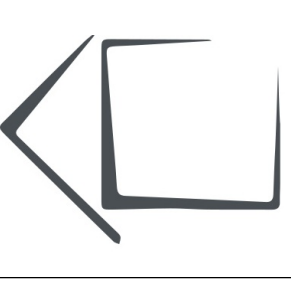
**ROOF PLAN**

SCALE: 1/4" = 1'-0"



**ROOF FRAMING**

SCALE: NTS



Revision Table	
Number	Description

**ROOFS**

**CLIENT:**  
BLACK DOWNBROSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:

11/13/2023

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

**A-15**



**WINDOW SCHEDULE:**  
MFG: MARVIN\_ELEVATE

**FIRST FLOOR**

WINDOW SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W04	3	28 3/4" X 57"	27 3/4"	56"	LIVING	SINGLE HUNG	1
	W05	2	28" X 49"	27"	48"	MUDROOM	SINGLE HUNG	1
	W06	4	28" X 40"	27"	39"	KITCHEN	SINGLE HUNG	1
	W07	1	28" X 40"	27"	39"	FAMILY	SINGLE HUNG	1
	W08	2	37" X 57"	36"	56"	PLAYROOM	SINGLE HUNG	1
	W09	2	28" X 57"	27"	56"	PLAYROOM	SINGLE HUNG	1

**THIRD FLOOR**

WINDOW SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W16	1	28 3/4" X 55"	27 3/4"	54"	FAMILY	SINGLE HUNG	3
	W17	2	28" X 49"	27"	48"	FAMILY/DECK	DOUBLE HUNG	3
	W18	1	28" X 49"	27"	48"	FAMILY	DOUBLE HUNG	3

**SECOND FLOOR**

WINDOW SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W11	2	28" X 55"	27"	54"	PRIMARY BEDROOM	SINGLE HUNG	2
	W12	4	28" X 55"	27"	54"	OFFICE	SINGLE HUNG	2
	W13	1	28" X 55"	27"	54"	PRIMARY BATH	SINGLE HUNG	2
	W14	1	28" X 55"	27"	54"	BATH	SINGLE HUNG - VINYL INTERIOR / WOOD EXTERIOR	2

**WINDOW NOTES:**

- 1 WOOD INTERIOR WITH WOOD EXTERIOR
- 2 FULL SCREENS ON ALL WINDOWS
- 3 INTERIOR WINDOW COLOR: WHITE
- 4 EXTERIOR WINDOW COLOR: WHITE
- 5 HARDWARE MATERIAL: WHITE
- 6 MANUFACTURER: MARVIN ELEVATE
- 7 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES
- 8 EGRESS: BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 5.7 SQFT WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" AS TO MEET EGRESS. SECOND FLOOR SILLS MIN. 24" A.F.F. PROVIDE MIN. ONE DOOR OR WINDOW MEETING EGRESS REQ. IN BASEMENT, IN EACH SLEEPING ROOM, IN EACH POTENTIAL SLEEPING ROOM, AND OTHER LOCATIONS REQUIRED BY LOCAL CODE, IN SIZES REQUIRED BY LOCAL CODE. NOTE THAT CASMENT WINDOWS CODED BY MANUFACTURER AS MEETING EGRESS REQUIREMENTS TYPICALLY NEED TO BE ORDERED WITH SPECIFIC HARDWARE.
- 9 WINDOW TEMPERING: PROVIDE TEMPERED WINDOWS WHERE REQUIRED BY LOCAL CODES OR LOCAL AUTHORITIES.
- 10 WINDOW RO'S: 1/4" or 1/2" on each OF THE (4) SIDES ALLOWED FOR WINDOW RO, TYPICAL. REVIEW FRAMING SIZE VS. RO SIZE. ADJUST PER MANUF. REQUIREMENT AND/ OR BUILDER PREFERENCE.
- 11 BASEMENT WINDOWS: ADD BASEMENT WINDOWS AS REQUIRED TO MEET STATE AND LOCAL CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO EGRESS AND LIGHT / VENTILATION.

**\*\*MULL WINDOWS TOGETHER WHEN APPROPRIATE**

**\*EGRESS = SIGNIFIES EGRESS (see window notes for specs)**

**MARVIN ELEVATE™ COLLECTION  
DOUBLE HUNG**

MO (mm)	1-10 (599)	2-2 (660)	2-6 (762)	2-8 (819)	2-10 (864)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)	2-8 1/2 (826)	2-10 1/2 (876)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (388)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)

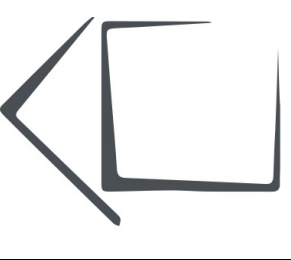
January 2020



MARVIN\_DOUBLE-HUNG 6/6 SDL

**Simulated Divided Lite (SDL)**

An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.



Revision Table	Description
Number	Date

**WINDOW SCHEDULE**

**CLIENT:**  
BLACK DOBROMSKI  
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amy@amjduttonhome.com  
207.357.2020

DATE:

11/13/2023

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-16



**DOOR SCHEDULE:**  
MFG: MANUFACTURER

**BASEMENT**

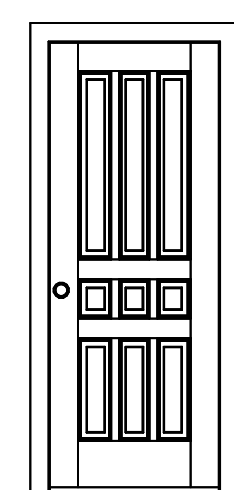
DOOR SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	SIZE	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	D01	1	3068 R EX	36"	80"	BASEMENT	EXT. HINGED-DOOR E06	0
	D02	1	5068 L/R EX	60"	80"	STORAGE SPACE	EXT. DOUBLE HINGED-DOOR E06	0

**FIRST FLOOR**

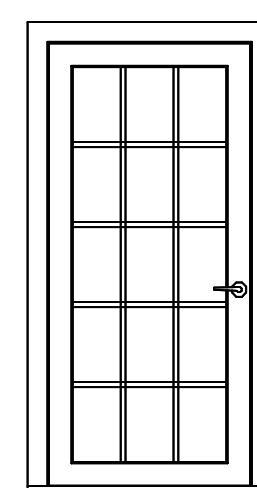
DOOR SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	SIZE	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	D04	1	2660 L EX	30"	72"	MUDROOM	EXT. HINGED-DOOR E06	1
	D05	1	2660 R IN	30"	80"	PLAYROOM/ UNSPECIFIED	HINGED-TS9000	1
	D06	1	3068 L EX	36"	80"	KITCHEN	EXT. HINGED-GLASS PANEL	1

**DOOR NOTES:**

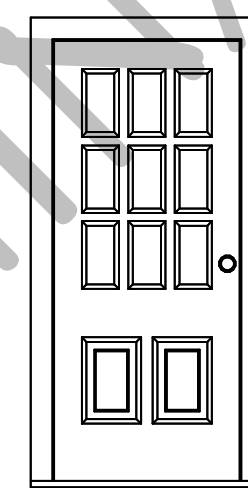
- DOORS SHALL BE 80"
- ALL DOORS SHALL BE SOLID CORE 1-3/4" THICK
- INTERIOR DOORS SHALL BE PTD. OR STAINED, VERIFY WITH DESIGNER
- DOORS BETWEEN GARAGE AND LIVING AREA SHOULD BE 1-3/4" TIGHT FITTING SOLID CORE DOORS
- EXTERIOR EXIT DOORS SHALL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPEN-ABLE FROM INSIDE
- GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- ALL GLAZING WITHIN 18IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR ARE TO HAVE SAFETY GLAZING
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- BARN DOORS, MEASURE TO FIT OPENING. ALL HARDWARE TO BE STAINLESS
- PROVIDE FIRE-RATED AND / OR SELF-CLOSING DOORS WHERE REQUIRED BY LOCAL CODES OR LOCAL AUTHORITIES.



**RIGHT FRONT DOOR**  
30" X 80"



**EXTERIOR DOOR**  
KITCHEN/DECK  
36" X 80"



**EXTERIOR HALF LIGHT DOOR**  
EXISTING MUDROOM, PROPOSED STORAGE & BASEMENT  
36" X 80"

**INSWING FRENCH DOOR**

MO (mm)	2-6 13/16 (175)	2-8 13/16 (204)	3-0 13/16 (233)
RO (mm)	2-7 5/16 (196)	2-9 5/16 (245)	3-1 5/16 (248)
FS (mm)	2-6 5/16 (177)	2-8 5/16 (221)	3-0 5/16 (223)
DLO (mm)	21 11/32 (546)	23 11/32 (593)	27 11/32 (699)

MO (mm): 6-7 1/2 (206), 6-8 1/2 (212), 6-9 1/2 (219), 6-10 1/2 (226), 6-11 1/2 (233), 6-12 1/2 (240), 6-13 1/2 (247), 6-14 1/2 (254), 6-15 1/2 (261), 6-16 1/2 (268), 6-17 1/2 (275), 6-18 1/2 (282), 6-19 1/2 (289), 6-20 1/2 (296), 6-21 1/2 (303), 6-22 1/2 (310), 6-23 1/2 (317), 6-24 1/2 (324), 6-25 1/2 (331), 6-26 1/2 (338), 6-27 1/2 (345), 6-28 1/2 (352), 6-29 1/2 (359), 6-30 1/2 (366), 6-31 1/2 (373), 6-32 1/2 (380), 6-33 1/2 (387), 6-34 1/2 (394), 6-35 1/2 (401), 6-36 1/2 (408), 6-37 1/2 (415), 6-38 1/2 (422), 6-39 1/2 (429), 6-40 1/2 (436), 6-41 1/2 (443), 6-42 1/2 (450), 6-43 1/2 (457), 6-44 1/2 (464), 6-45 1/2 (471), 6-46 1/2 (478), 6-47 1/2 (485), 6-48 1/2 (492), 6-49 1/2 (499), 6-50 1/2 (506), 6-51 1/2 (513), 6-52 1/2 (520), 6-53 1/2 (527), 6-54 1/2 (534), 6-55 1/2 (541), 6-56 1/2 (548), 6-57 1/2 (555), 6-58 1/2 (562), 6-59 1/2 (569), 6-60 1/2 (576), 6-61 1/2 (583), 6-62 1/2 (590), 6-63 1/2 (597), 6-64 1/2 (604), 6-65 1/2 (611), 6-66 1/2 (618), 6-67 1/2 (625), 6-68 1/2 (632), 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**PROPOSED SOUTH ELEVATION | REAR VIEW**  
SCALE: 1/8" = 1'-0"

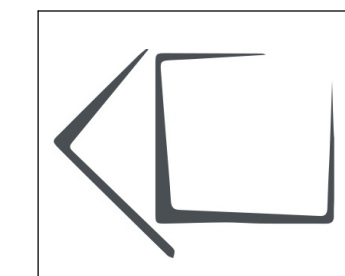
SCALE: 1/8" = 1'-0"

**LINE LEGEND**

- = EXISTING
- = PROPOSED

**NOTE SCHEDULE**

Number	Description
①	NEW FOUNDATION WALL
②	SLIDE IN RANGE
③	FIREPLACE
④	STAIRS TO GRADE
⑤	BRICK WALKWAY
⑥	SHED/ STORAGE AREA
⑦	6" CORNER BOARD, TYP.
⑧	RENOVATED ROOF
⑨	ALL 2ND FLR WINDOWS HUNG AT 86"
⑩	NEW ROOF PLANE
⑪	ROOF DECK



Revision Table	
Number	Description

**ELEVATIONS**

**CLIENT:**  
BLACK DOWBROMSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:

11/13/2023

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-18



EXISTING PHOTOS



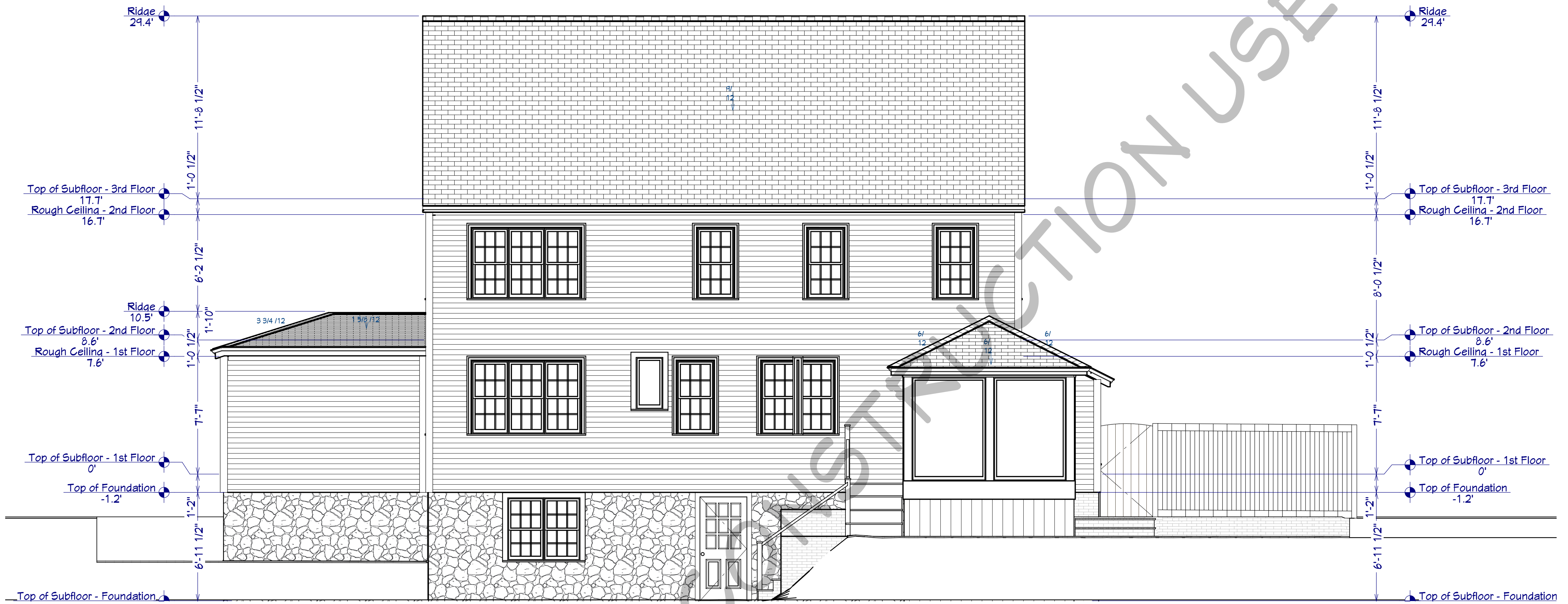
REAR VIEW



REAR SIDE VIEW



REAR BASEMENT DOOR



EXISTING SOUTH ELEVATION | REAR VIEW

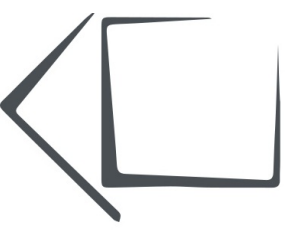
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.



Revision Table	
Number	Date

ELEVATIONS

CLIENT:  
BLACK DOWBROMSKI  
111 Gates Street  
Portsmouth, NH

CONTACT:  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:

11/13/2023

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-19

ELEVATIONS

SCALE: 1/4" = 1'-0"



**EXISTING PHOTOS**



FRONT LEFT SIDE VIEW



FRONT RIGHT SIDE VIEW



FRONT MAIN DOOR



**EXISTING NORTH ELEVATION | FRONT VIEW**

SCALE: 1/4" = 1'-0"



**PROPOSED NORTH ELEVATION | FRONT VIEW**

SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.



Revision Table  
Number | Date | Description

Number	Date	Description

**ELEVATIONS**

**CLIENT:**  
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207.357.2020

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11/13/2023

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-20

**ELEVATIONS**

SCALE: 1/4" = 1'-0"



**EXISTING PHOTOS**



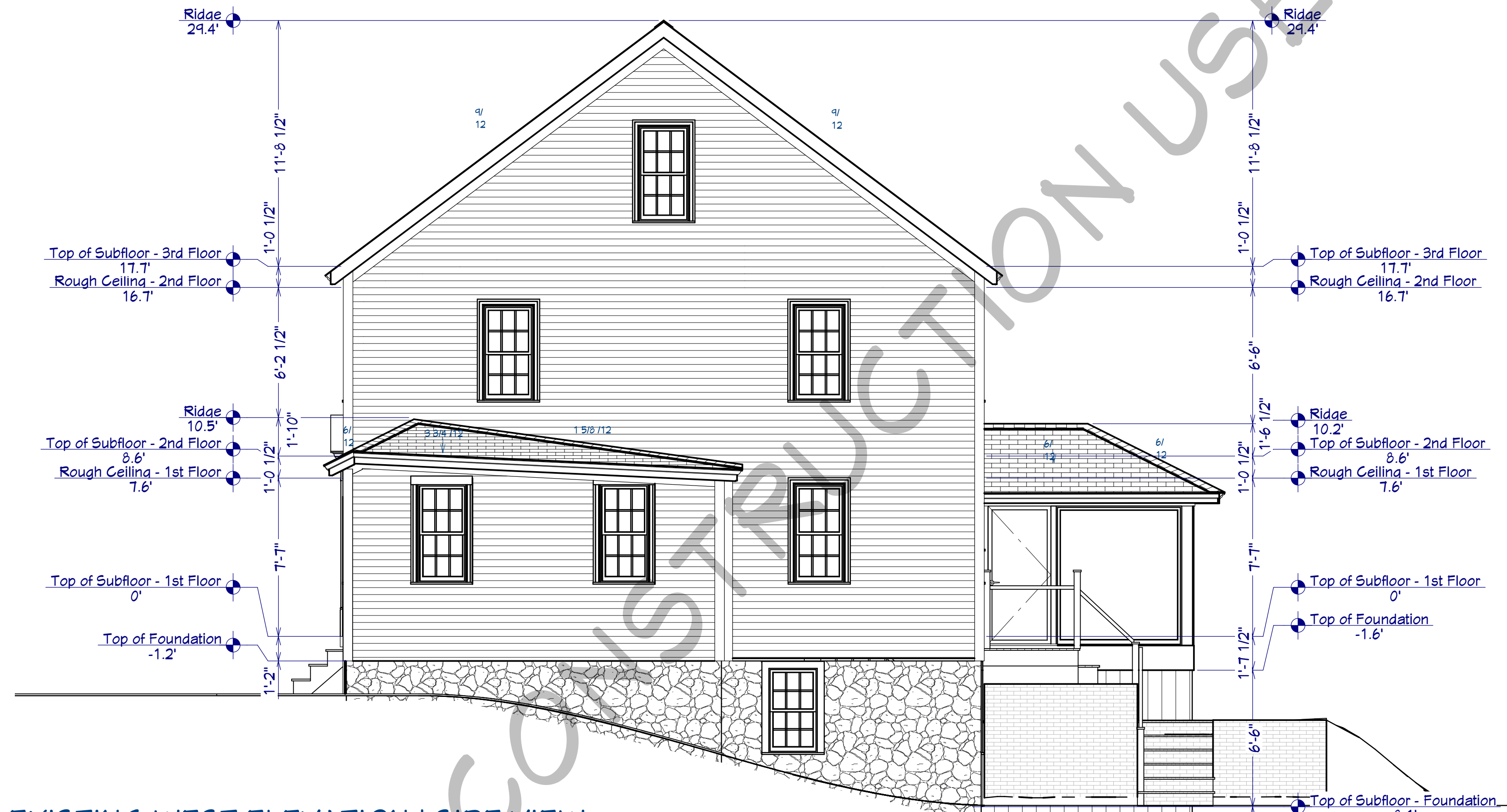
FRONT SIDE VIEW



BACK SIDE VIEW

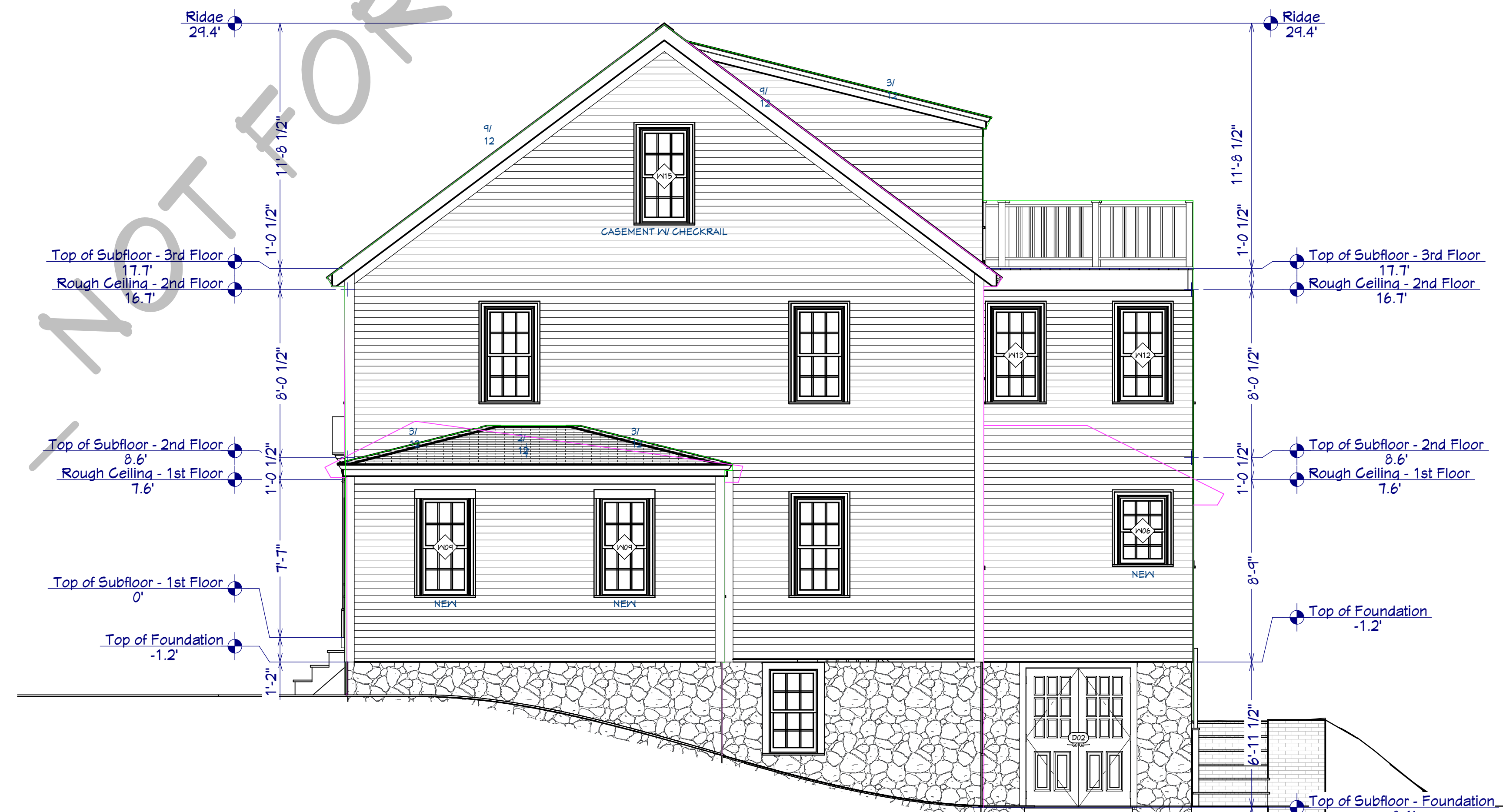
**LINE LEGEND**

- = EXISTING
- = PROPOSED



**EXISTING WEST ELEVATION | SIDE VIEW**

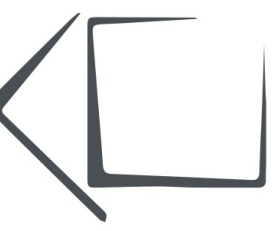
SCALE: 1/4" = 1'-0"



**PROPOSED WEST ELEVATION | SIDE VIEW**

SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.



Revision Table

Number	Date	Description

**ELEVATIONS**

**CLIENT:**  
BLACK DOWBROMSKI  
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**DATE:**

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-21

**ELEVATIONS**

SCALE: 1/4" = 1'-0"



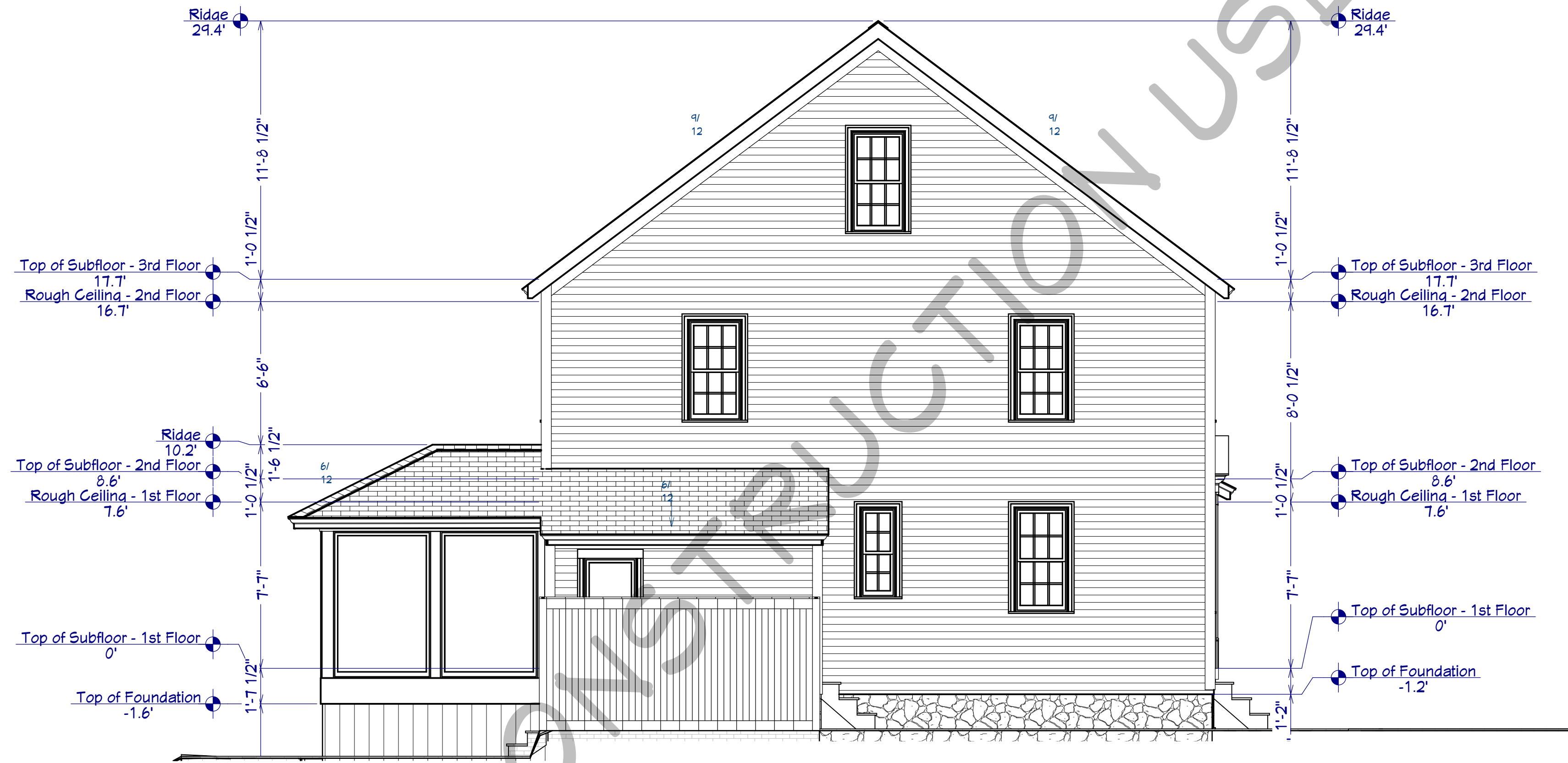
**EXISTING PHOTOS**



FRONT SIDE VIEW



BACK SIDE VIEW



**EXISTING EAST ELEVATION | SIDE VIEW**

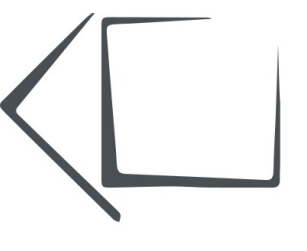
SCALE: 1/4" = 1'-0"



**PROPOSED EAST ELEVATION | SIDE VIEW**

SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.



Revision Table

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**ELEVATIONS**

**CLIENT:**  
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**SCALED FOR:**  
24" X 36"

**SCALE:**

SEE SCALE ON DRAWINGS

**SHEET:**

**A-22**

**ELEVATIONS**

SCALE: 1/4" = 1'-0"