

SITE LANDSCAPE PLAN

RAYNES AVE - PORTSMOUTH, NH
11/15/2021



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

**SITE LANDSCAPE PLAN
REFERENCE**

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023





RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD BRIDGE VIEW

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



1.0A



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD BRIDGE VIEW

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



1.0B



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE ENTRY VIEW
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



1.1A



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE ENTRY VIEW

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



1.1B



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VAUGHAN STREET VIEW

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



1.2A



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VAUGHAN STREET VIEW

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



1.2B



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



1.3A



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



1.3B



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NIGHT RENDERING

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



2.0



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVE VIEW

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



2.1



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW AT 3S ARTSPACE

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



2.2



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND
FROM MARKET STREET

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



2.3



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



2.4



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023



2.5

LEGEND

- HOTEL
- RESIDENTIAL
- RESTAURANT/OFFICE/RETAIL



1 LEVEL 1 - OVERALL W/ SITE
 SCALE: 3/32" = 1'-0" REF SHEET: 1 / A3.01



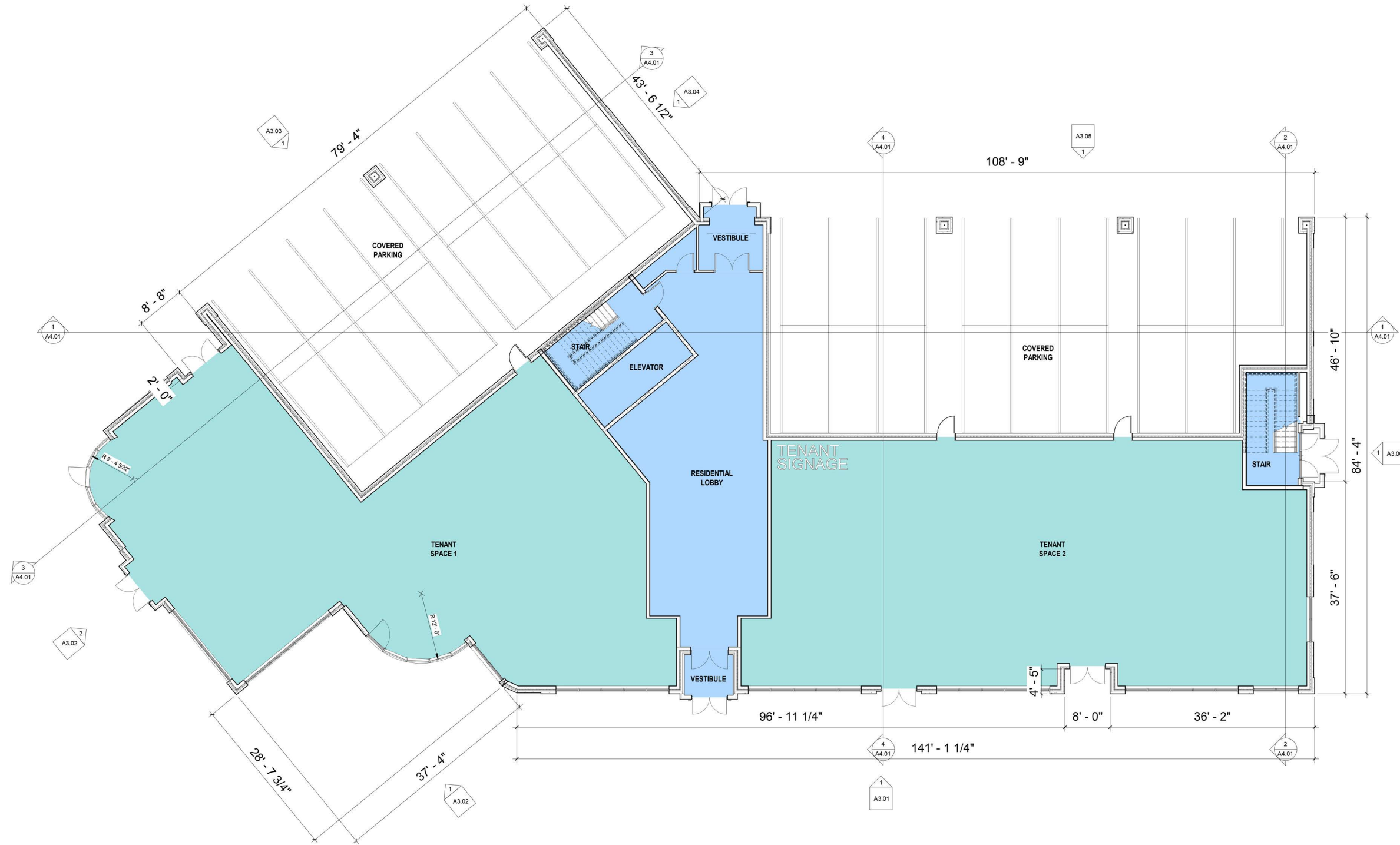
OVERALL SITE PLAN

RAYNES AVE. Project

Dwg. No. A1.00

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
 JANUARY 4, 2023

3.0
 NOT TO SCALE



OVERALL FIRST FLOOR PLAN

1/8" = 1'-0"

LEGEND

- RESIDENTIAL
- RESTAURANT/OFFICE/RETAIL



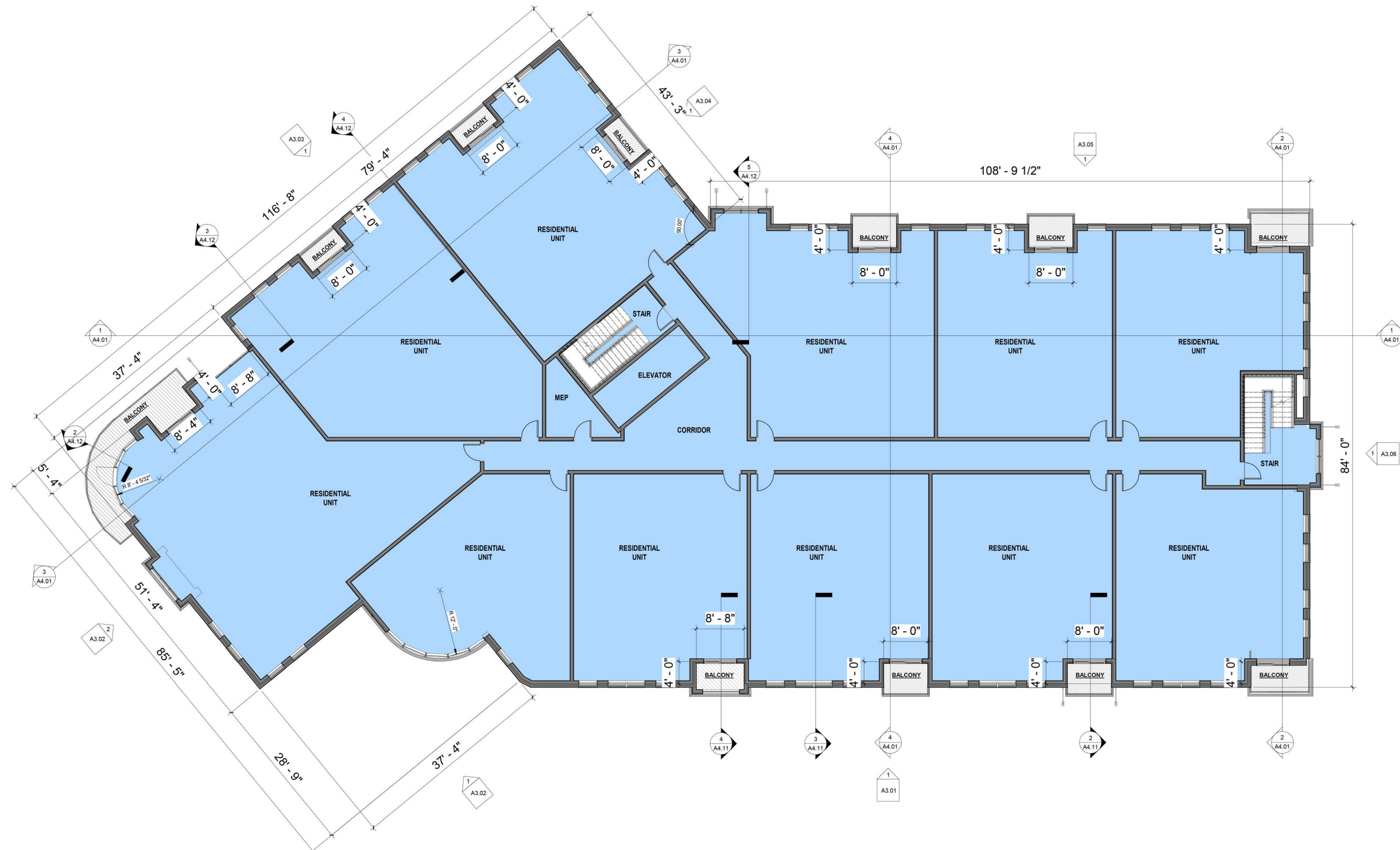
FIRST FLOOR PLAN

RAYNES AVE.
MIXED USE

Dwg. No.
A1.01

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

3.1
NOT TO SCALE



OVERALL SECOND FLOOR PLAN

1/8" = 1'-0"

LEGEND

RESIDENTIAL



SECOND FLOOR PLAN

RAYNES AVE.
MIXED USE

Dwg. No.
A1.02

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

3.2
NOT TO SCALE



OVERALL THIRD FLOOR PLAN

1/8" = 1'-0"

LEGEND

RESIDENTIAL



THIRD FLOOR PLAN

RAYNES AVE.
MIXED USE

Dwg. No.
A1.03

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

3.3
NOT TO SCALE



OVERALL FOURTH FLOOR PLAN

1/8" = 1'-0"

LEGEND

■ RESIDENTIAL



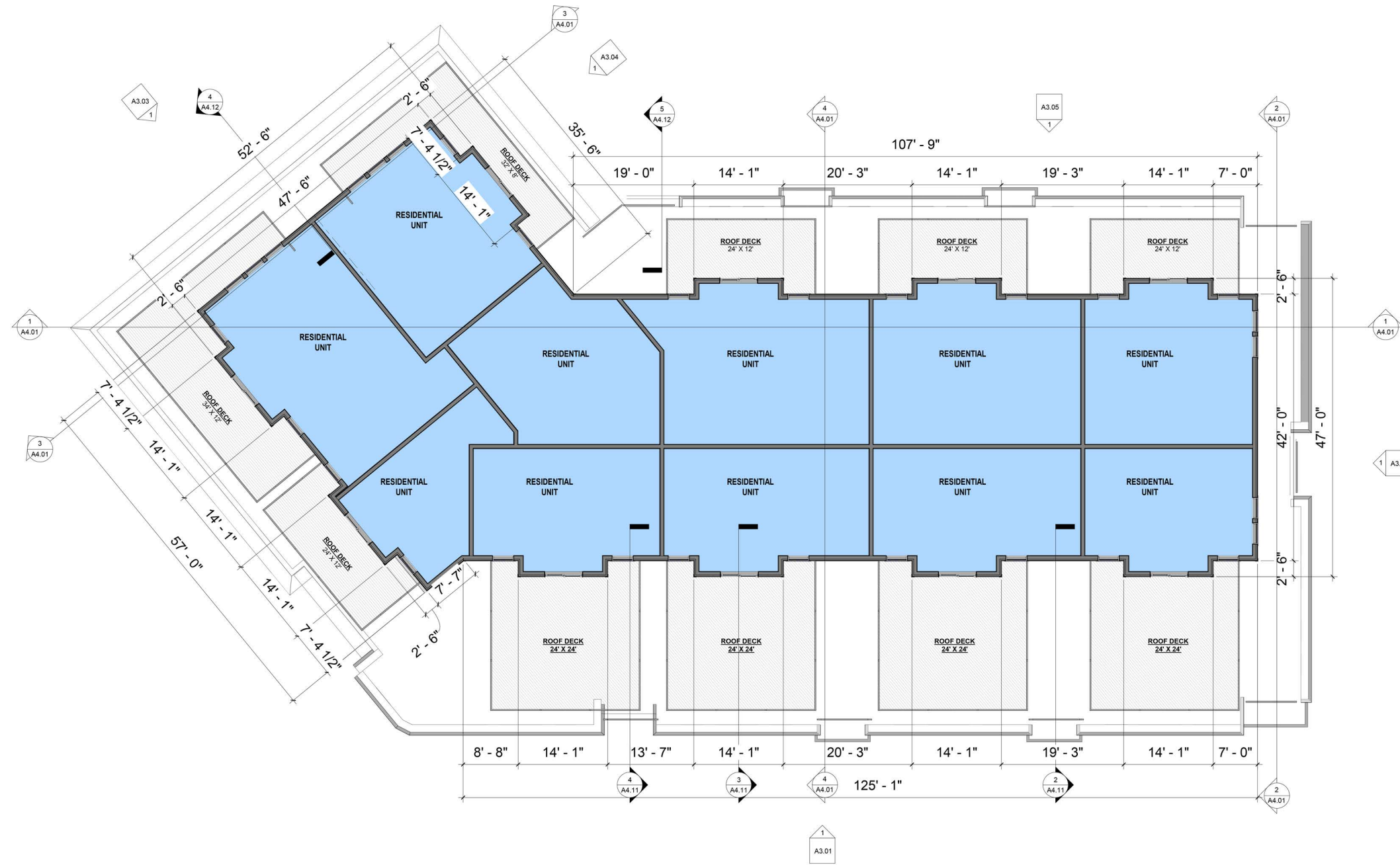
FOURTH FLOOR PLAN

RAYNES AVE.
MIXED USE

Dwg. No.
A1.04

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

3.4
NOT TO SCALE



OVERALL PENTHOUSE FLOOR PLAN

1/8" = 1'-0"

LEGEND

RESIDENTIAL



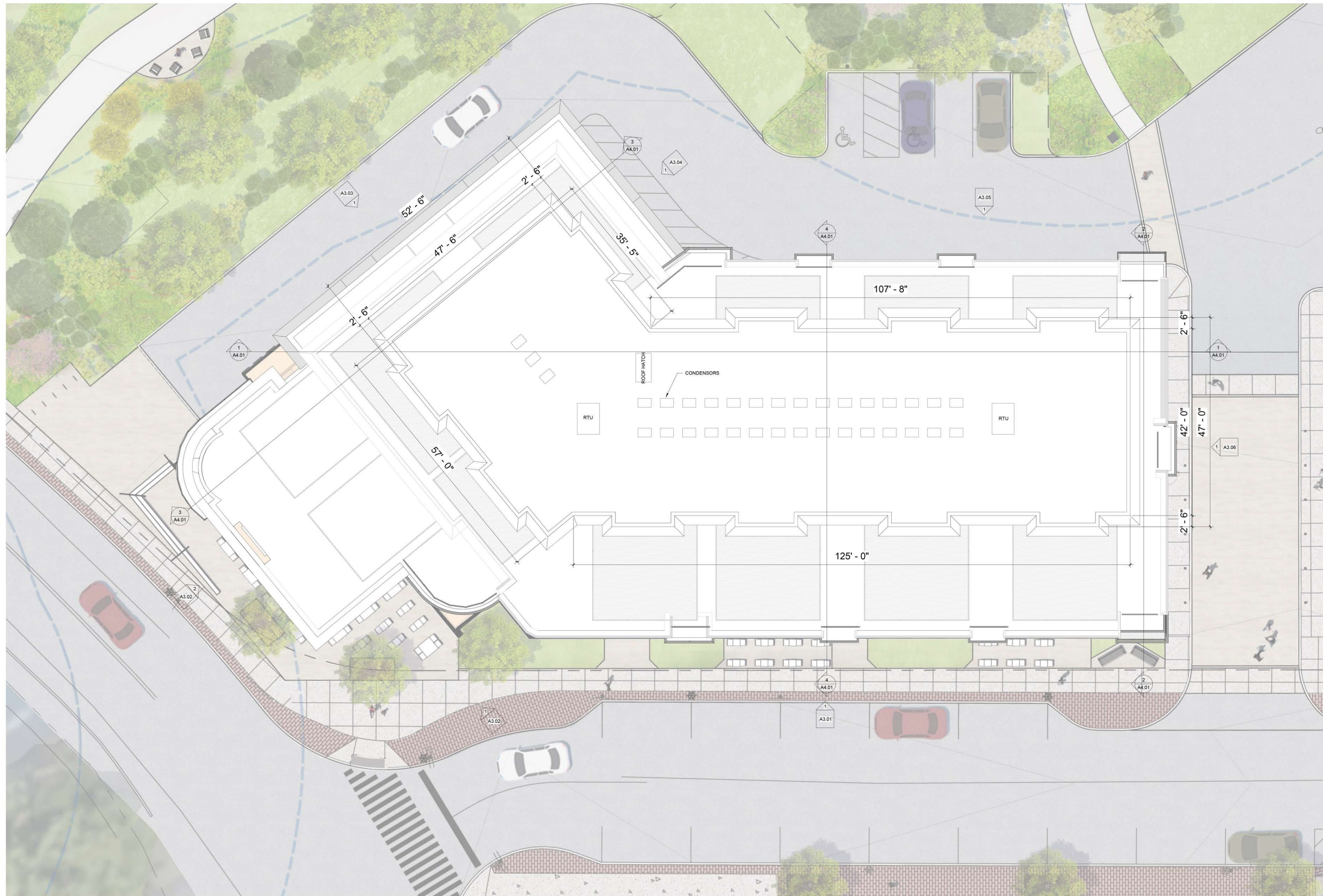
PENTHOUSE FLOOR PLAN

RAYNES AVE.
MIXED USE

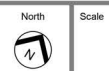
Dwg. No.
A1.05

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

3.5
NOT TO SCALE



ROOF PLAN
1/8" = 1'-0"



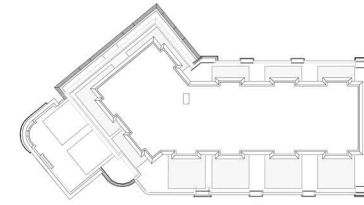
ROOF PLAN

RAYNES AVE. Project
MIXED USE

Dwg. No.
A1.06

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

3.6
NOT TO SCALE



KEYPLAN
1" = 40'-0"



1 EXTERIOR ELEVATION - SOUTH EAST
SCALE: 1/4" = 1'-0"
REF SHEET: 1 / A1.01



North Scale

ELEVATIONS

RAYNES AVE. Project
MIXED USE

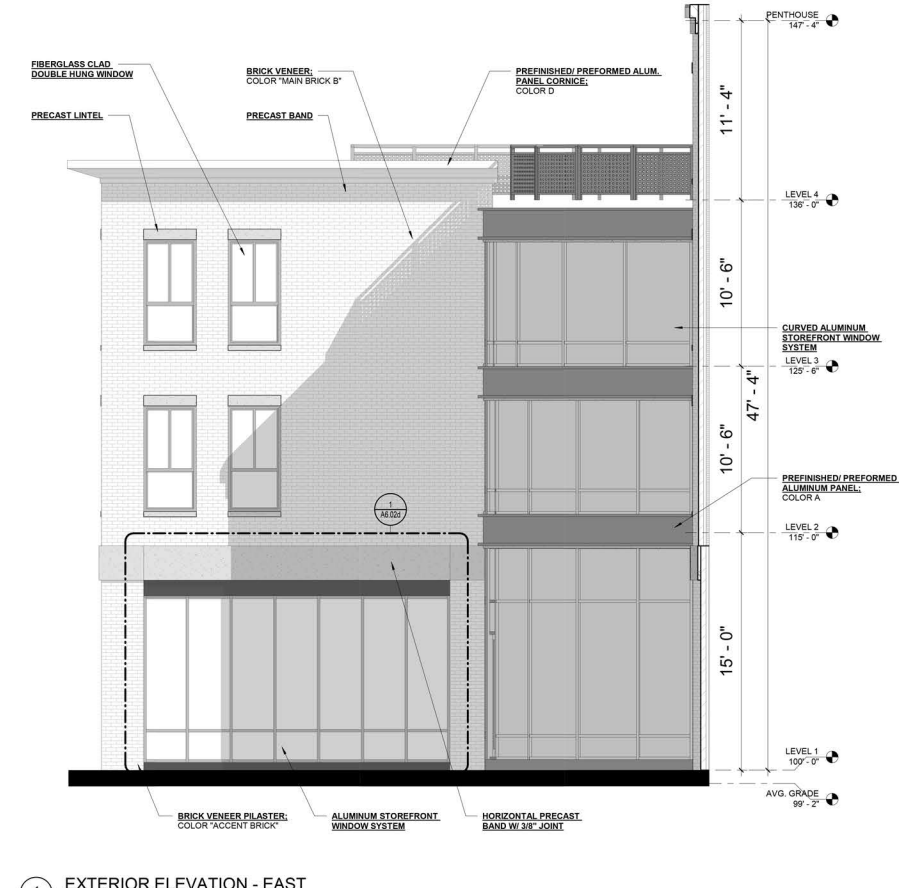
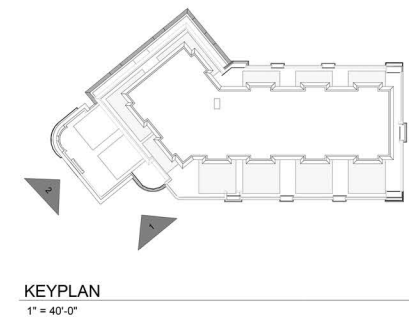
Dwg. No.
A3.01

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

3.7
NOT TO SCALE



2 EXTERIOR ELEVATION - SOUTH
 SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01



1 EXTERIOR ELEVATION - EAST
 SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01



North Scale

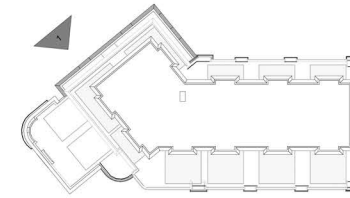
ELEVATIONS

RAYNES AVE. Project
 MIXED USE

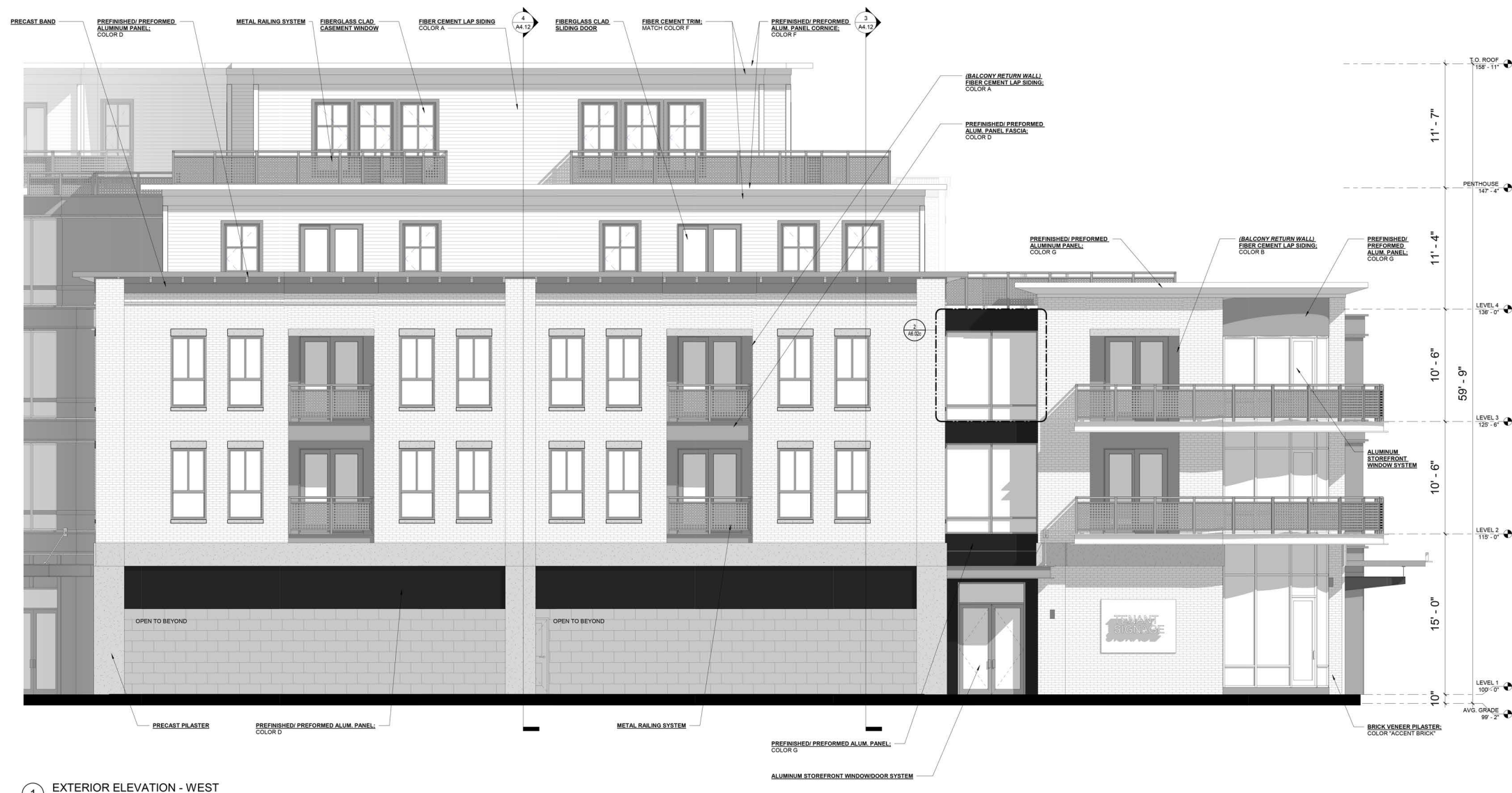
Dwg. No.
A3.02

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
 JANUARY 4, 2023

3.8
 NOT TO SCALE



KEYPLAN
1" = 40'-0"



1 EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01



North Scale

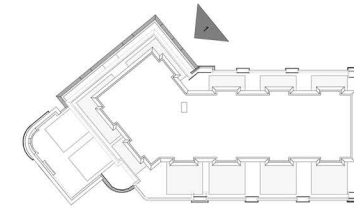
ELEVATIONS

RAYNES AVE. Project
MIXED USE

Dwg. No.
A3.03

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

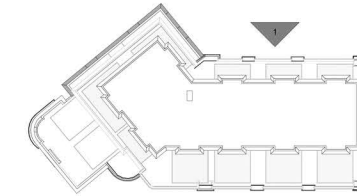
3.9
NOT TO SCALE



KEYPLAN
1" = 40'-0"



1 EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01



KEYPLAN
1" = 40'-0"



1 EXTERIOR ELEVATION - NORTH WEST
SCALE: 1/4" = 1'-0" REF SHEET: 1/A1.01



North Scale

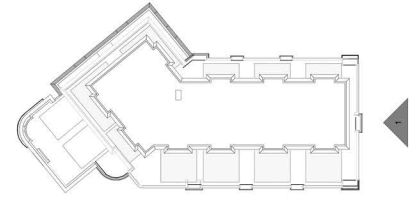
ELEVATIONS

RAYNES AVE. Project
MIXED USE

Dwg. No.
A3.05

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

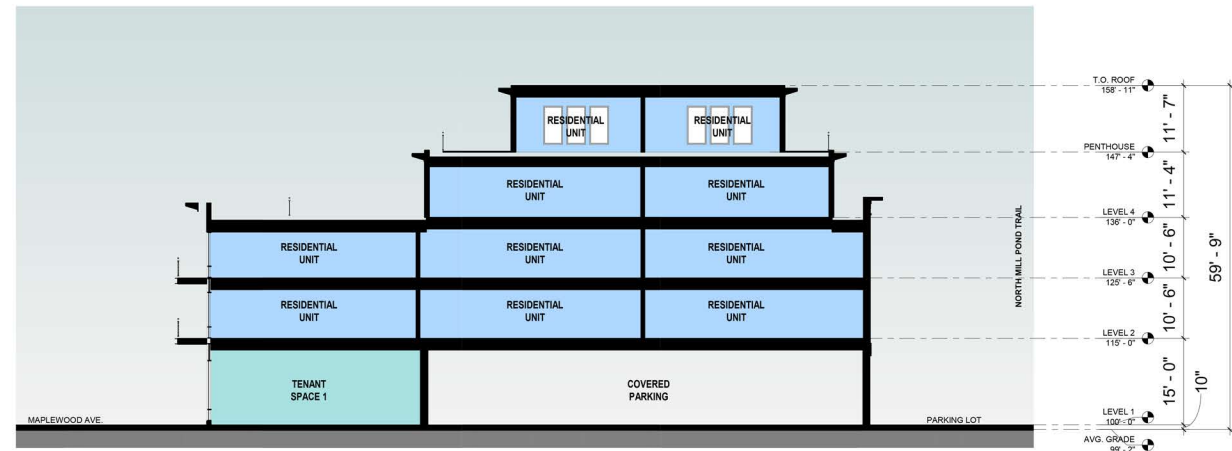
3.11
NOT TO SCALE



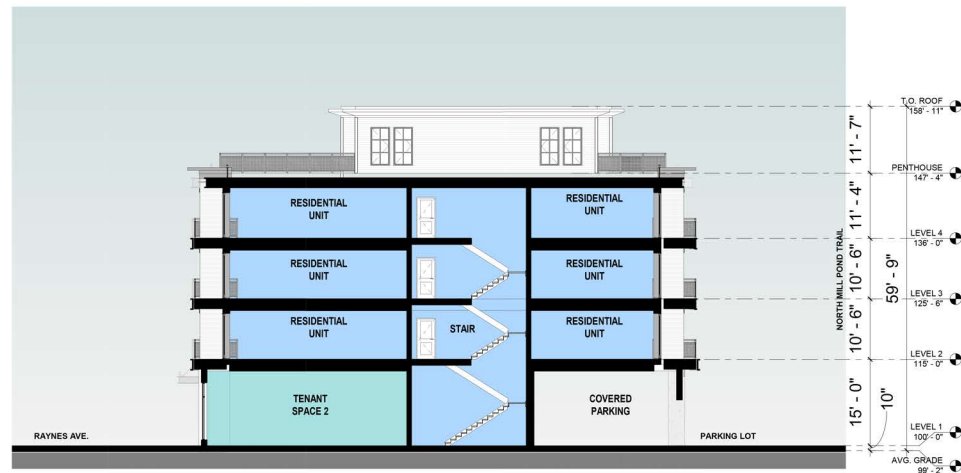
KEYPLAN
1" = 40'-0"



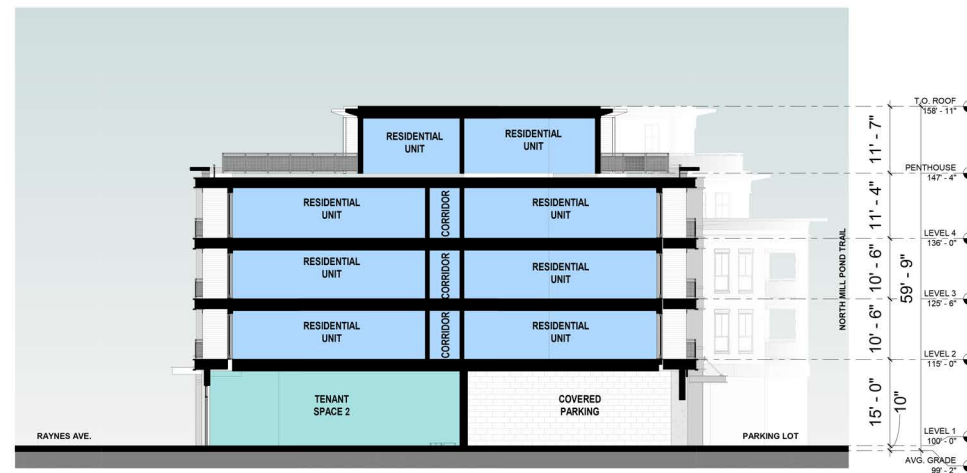
- LEGEND**
- RESIDENTIAL
 - RESTAURANT/OFFICE/RETAIL



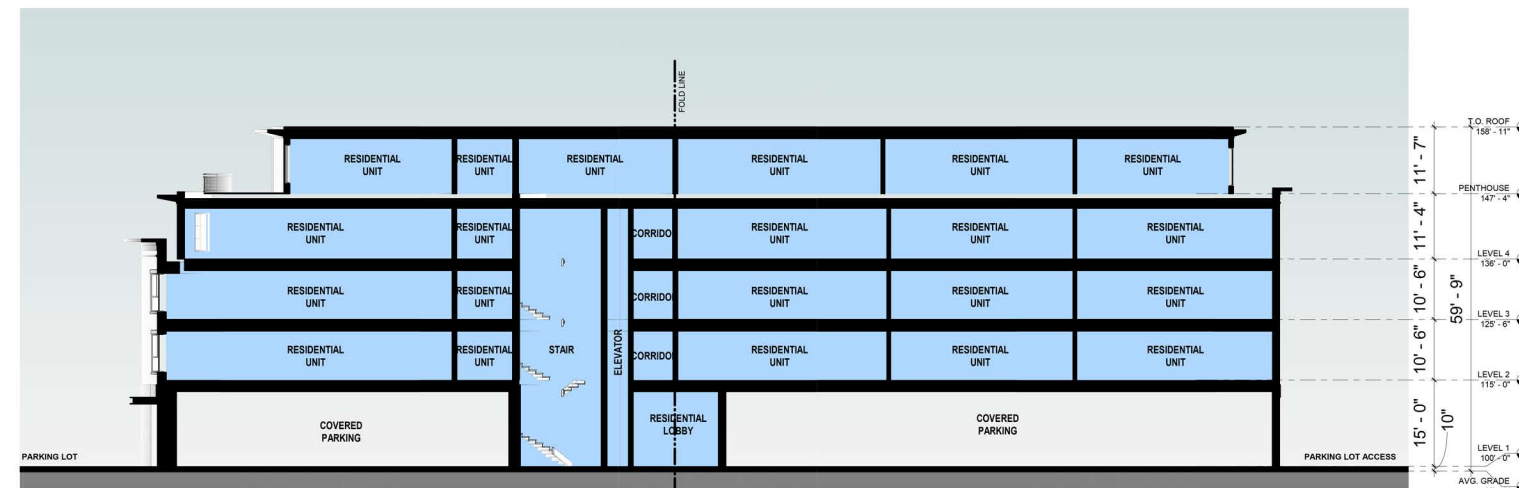
3 BUILDING SECTION - NORTH/SOUTH
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.01



2 BUILDING SECTION - NORTH WEST/ SOUTH EAST A
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.01



4 BUILDING SECTION - NORTH WEST/ SOUTH EAST B
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.01



1 BUILDING SECTION - NORTH EAST/SOUTH WEST
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.01

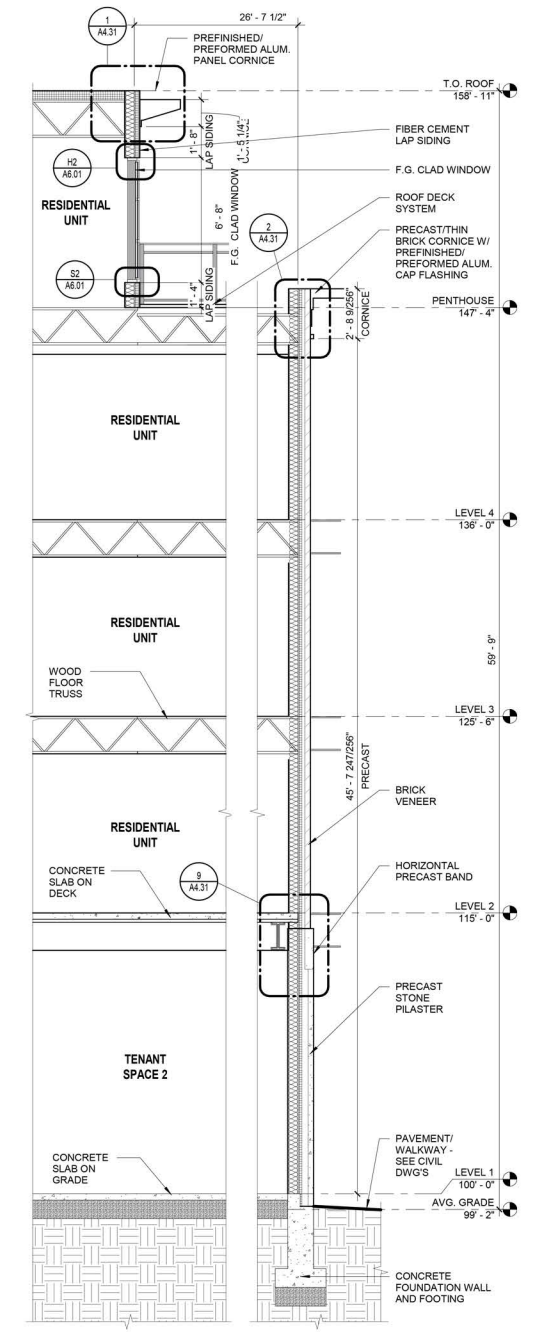
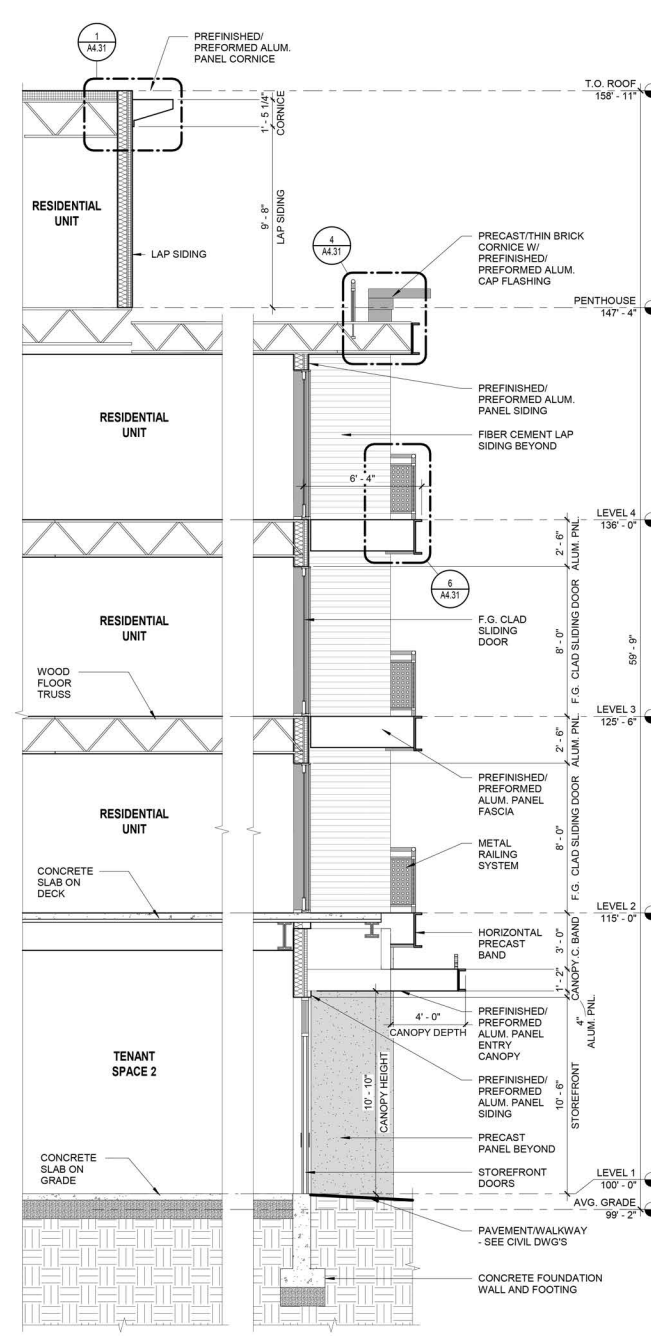
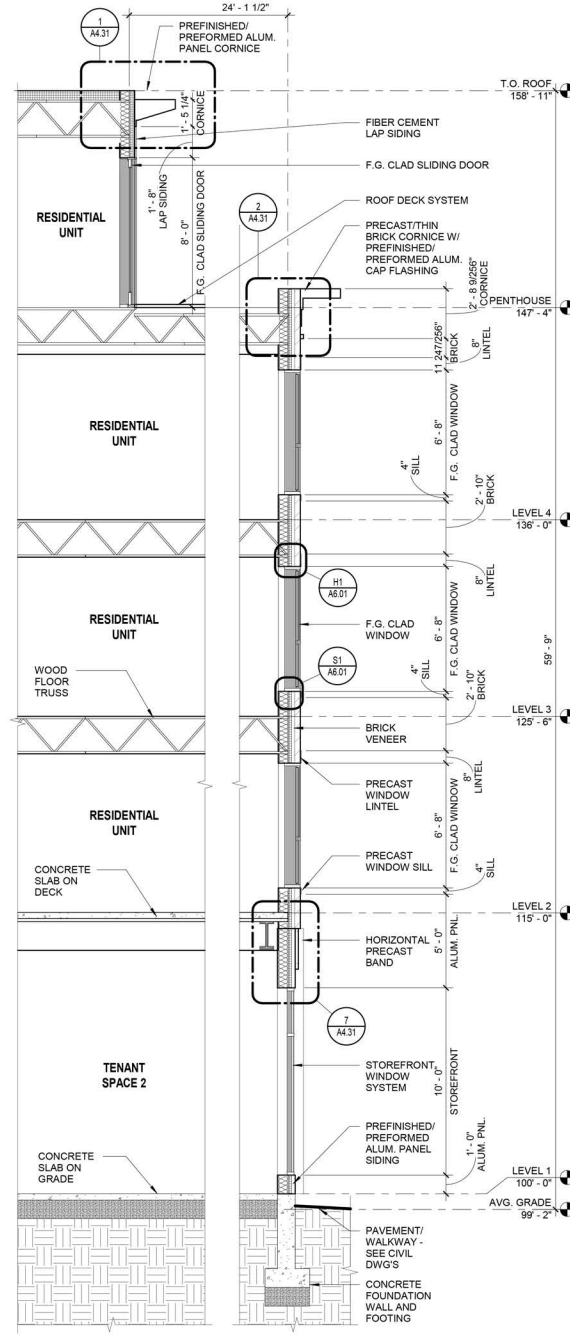
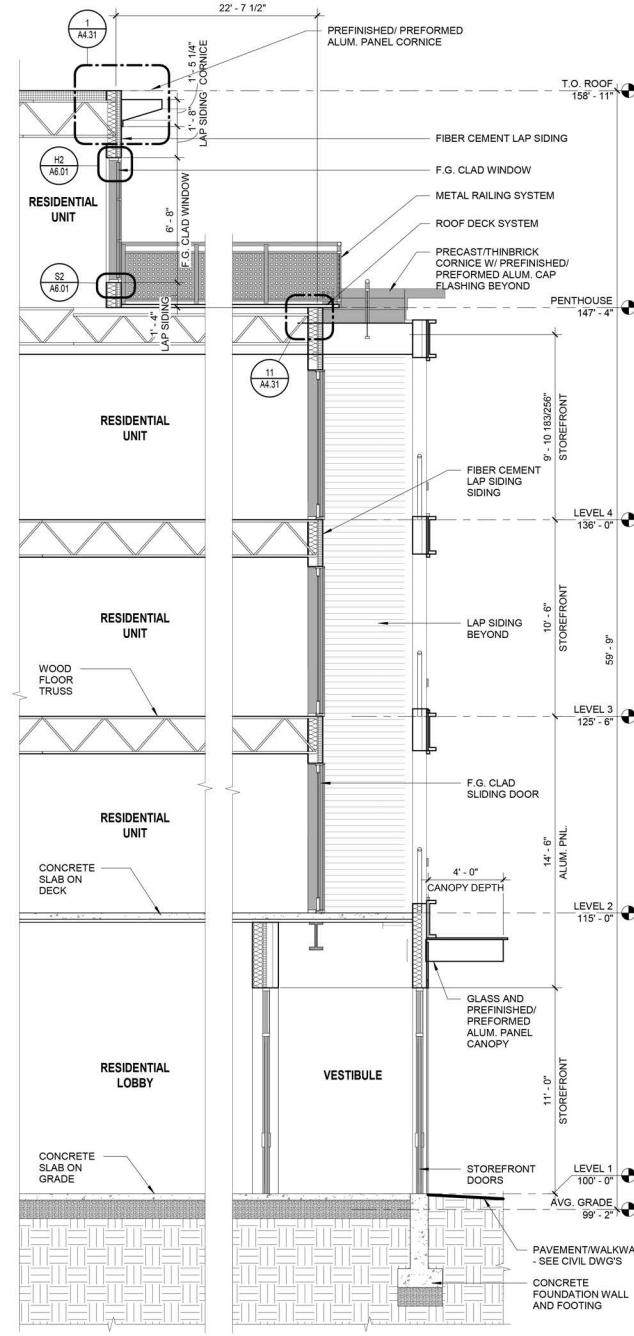
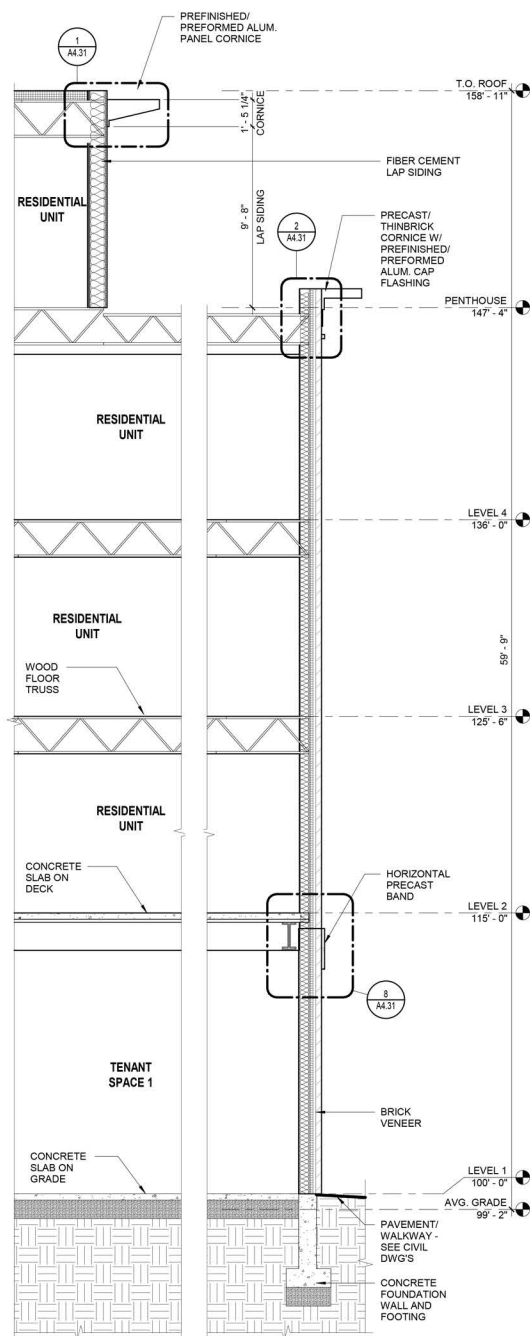


North Scale

BUILDING SECTIONS

RAYNES AVE. Project
MIXED USE

Dwg. No.
A3.10



5 WALL SECTION - AT LEVEL 2 PRECAST BAND
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

4 WALL SECTION - RESIDENTIAL ENTRANCE
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

3 WALL SECTION - TYPICAL WINDOWS
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

2 WALL SECTION - BALCONY
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

1 WALL SECTION - AT LEVEL 1 PILASTER
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

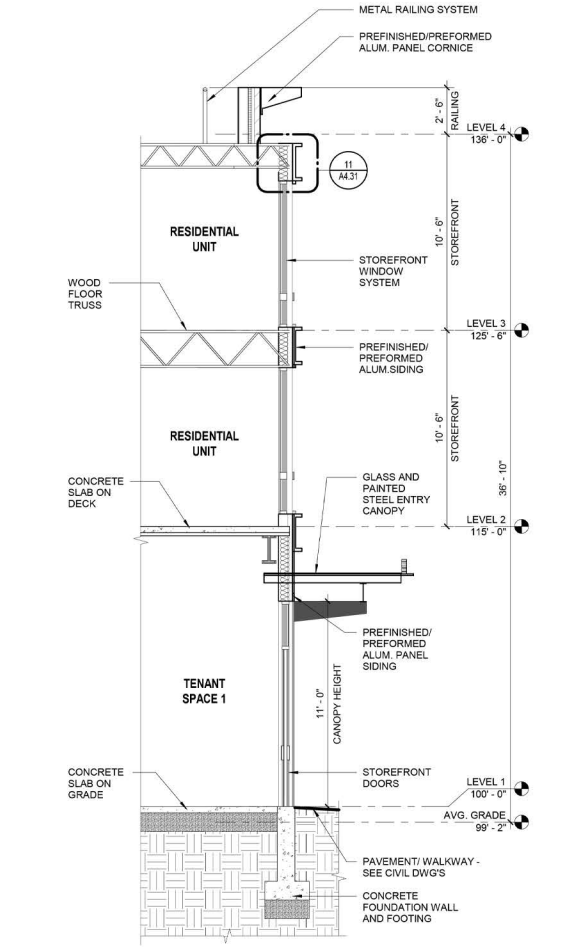
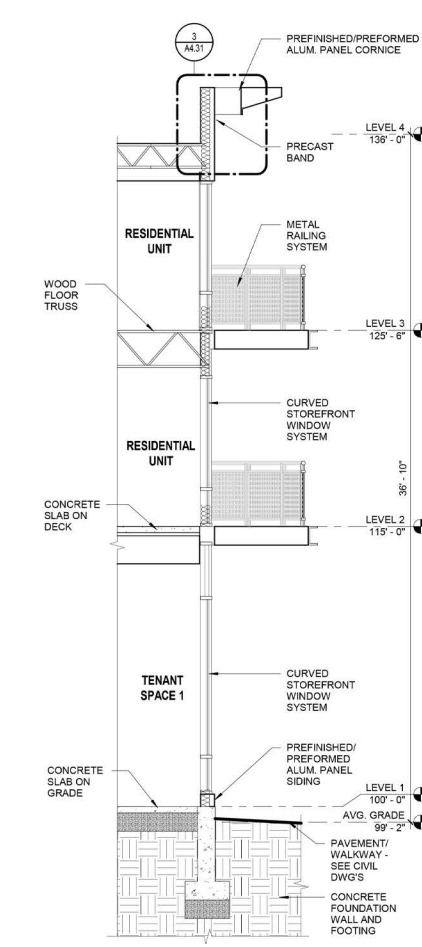
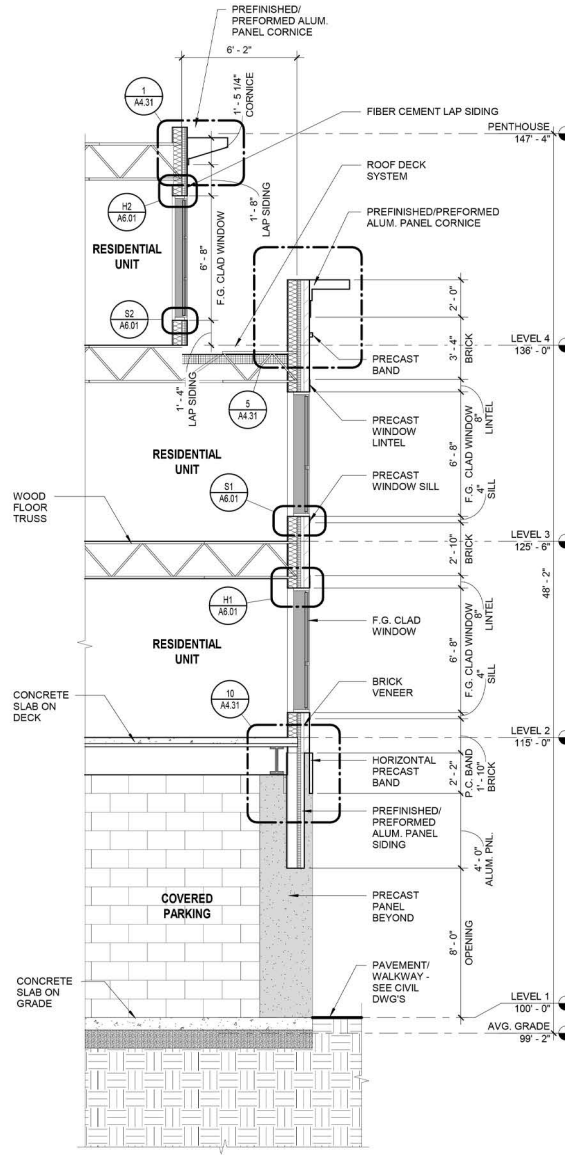
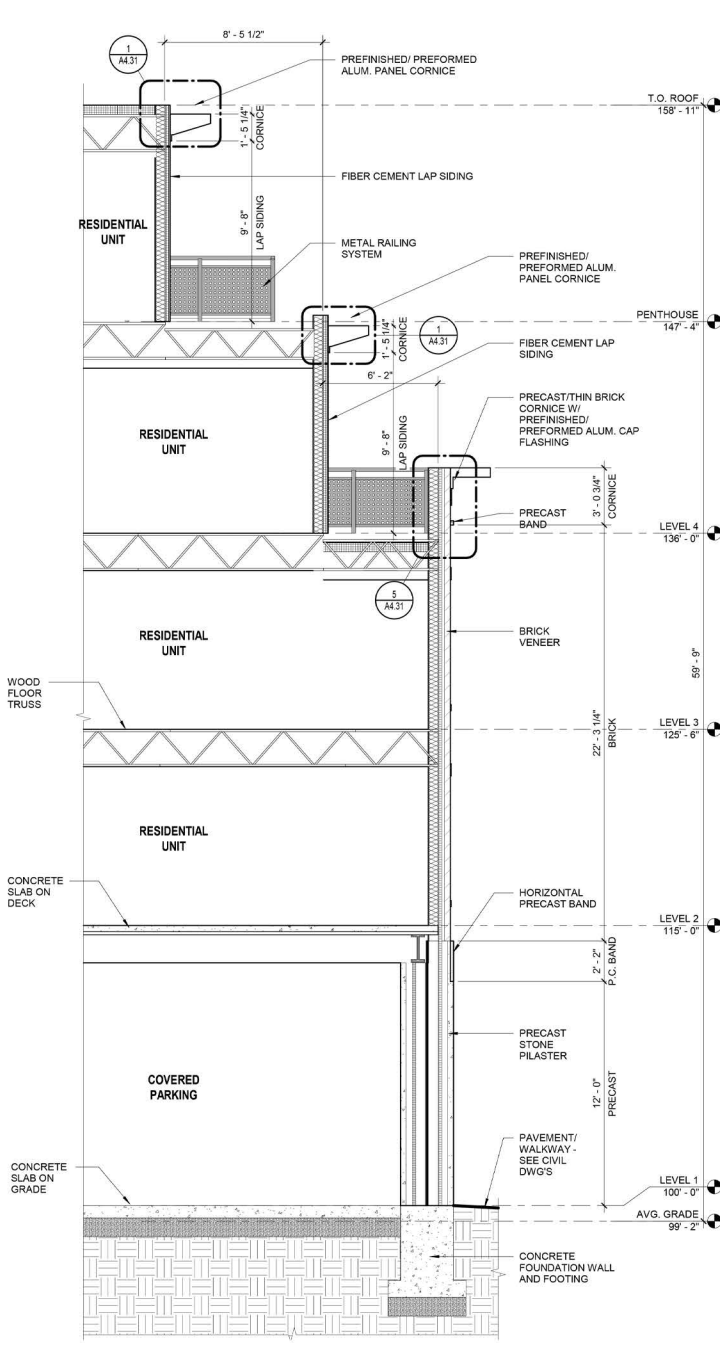
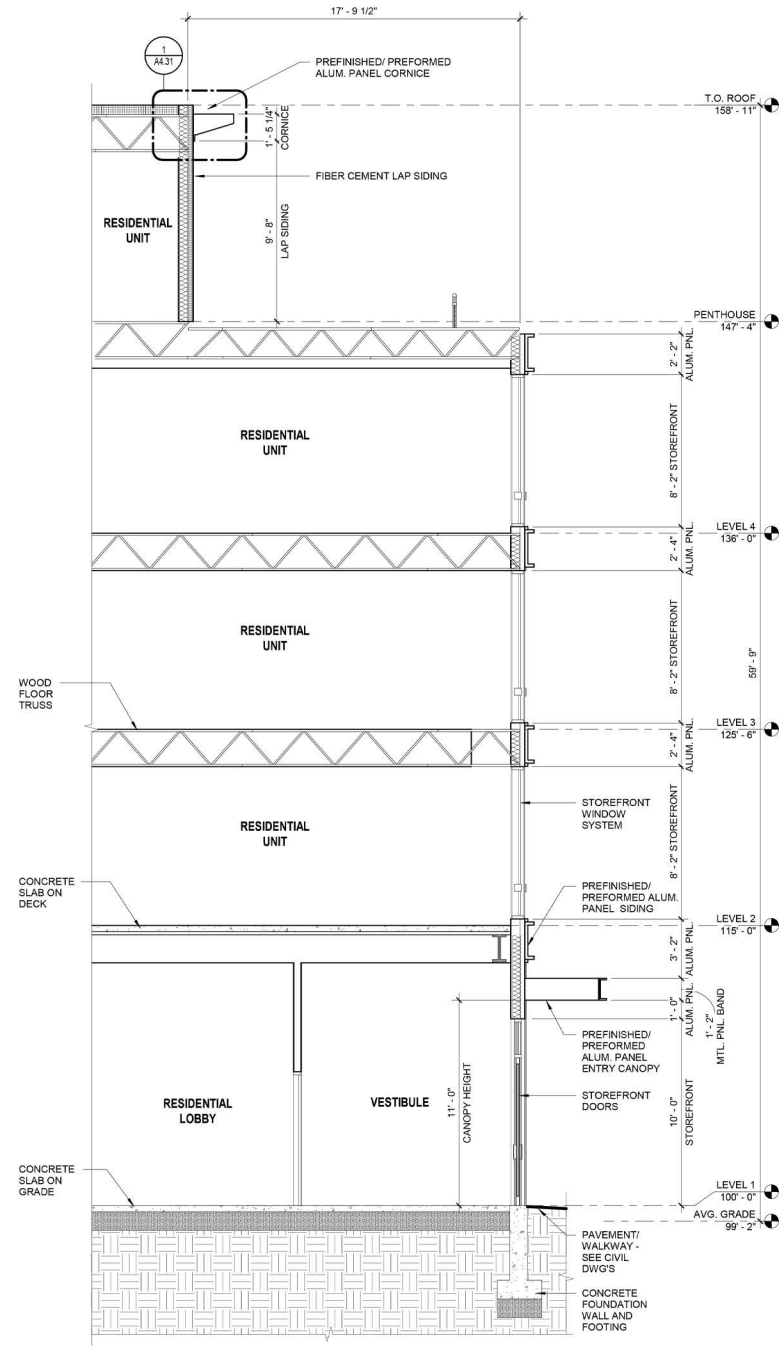


North Scale

WALL SECTIONS

RAYNES AVE. Project
MIXED USE

Dwg. No.
A4.11



5 WALL SECTION - REAR PARKING ENTRY
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

4 WALL SECTION - ROOF EDGE/PILASTER AT BUILDING STEP
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

3 WALL SECTION - COVERED PARKING
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

2 WALL SECTION - CURVED STOREFRONT
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

1 WALL SECTION - 2 STORY STOREFRONT
SCALE: 1/4" = 1'-0" REF SHEET: 2 / A3.02



North Scale

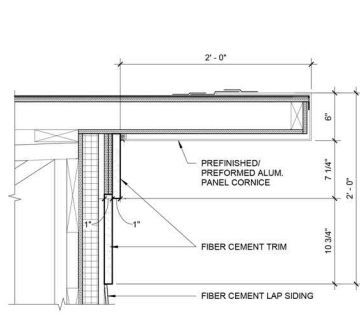
WALL SECTIONS

RAYNES AVE.
MIXED USE

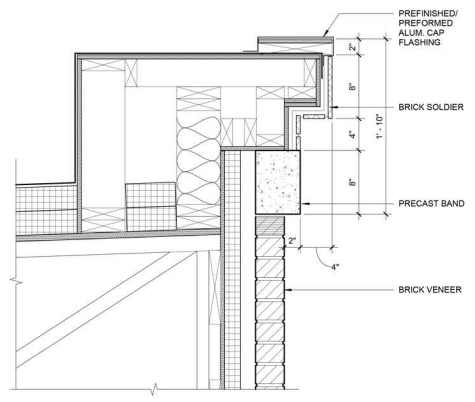
Dwg. No.
A4.12

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

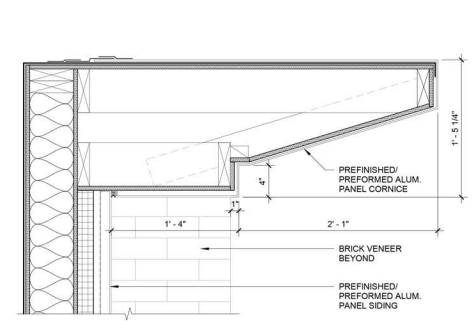
3.15
NOT TO SCALE



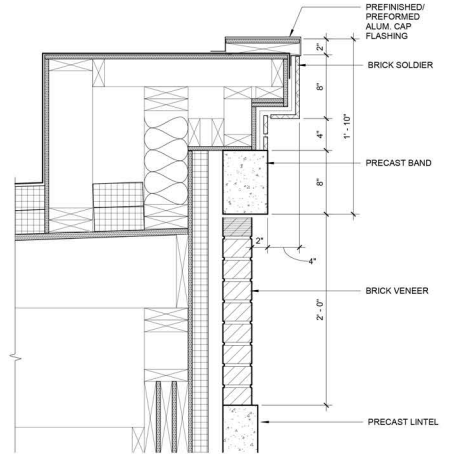
1 PREFORMED METAL CORNICE L4/PENTHOUSE
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.11



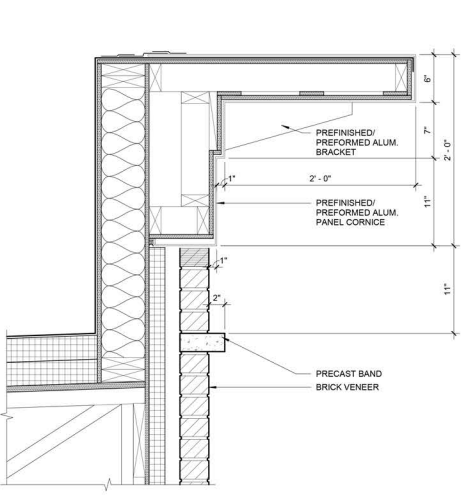
2 BRICK CORNICE W/ STONE FRIEZE (PENTHOUSE)
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.11



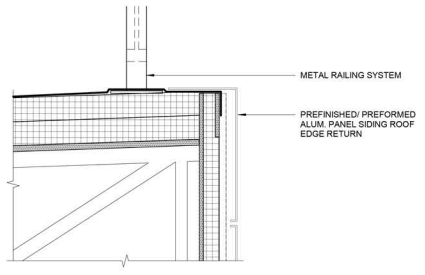
3 ALUMINUM CORNICE @ CURVED STOREFRONT
SCALE: 1 1/2" = 1'-0" REF SHEET: 2 / A4.12



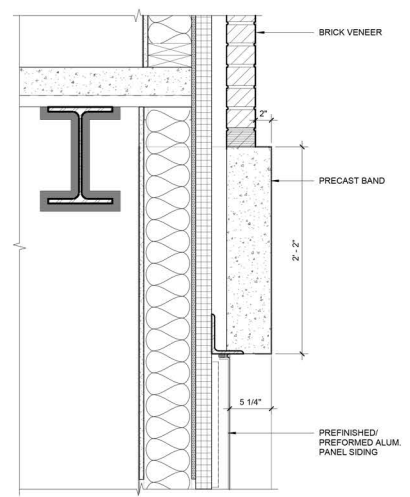
4 LINTEL AT BALCONY
SCALE: 1 1/2" = 1'-0" REF SHEET: 2 / A4.11



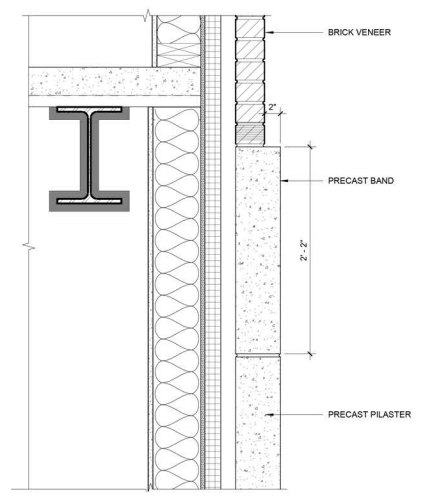
5 ALUMINUM CORNICE AND ACCENT L4
SCALE: 1 1/2" = 1'-0" REF SHEET: 3 / A4.12



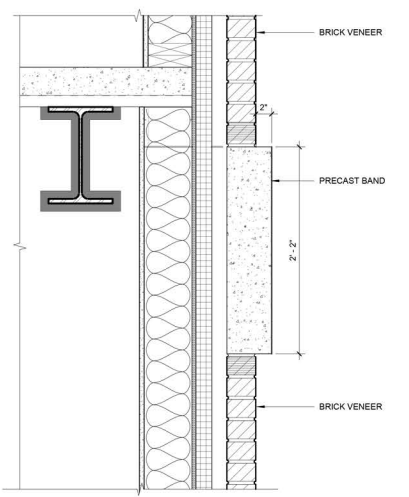
11 ROOF EDGE AT METAL PANEL
SCALE: 1 1/2" = 1'-0" REF SHEET: 4 / A4.11



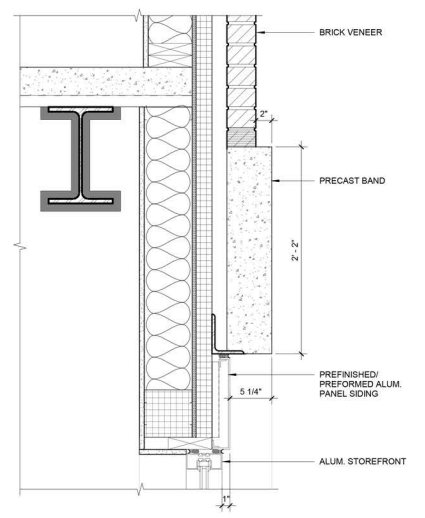
10 BAND AT METAL PANEL
SCALE: 1 1/2" = 1'-0" REF SHEET: 3 / A4.12



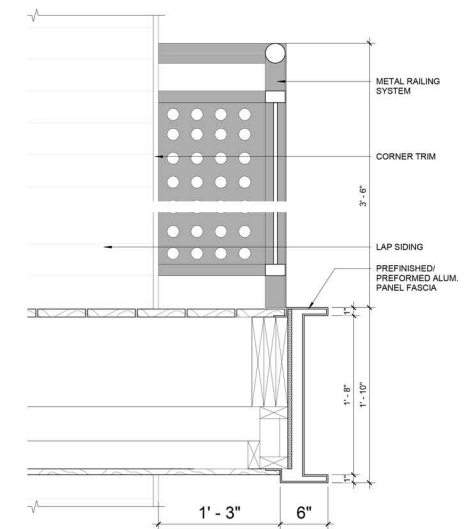
9 BAND AT COVERED PARKING
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.11



8 LEVEL 1 PRE CAST PILASTER
SCALE: 1 1/2" = 1'-0" REF SHEET: 5 / A4.11



7 L2 PRECAST BAND AT METAL PANEL/STOREFRONT
SCALE: 1 1/2" = 1'-0" REF SHEET: 3 / A4.11



6 BALCONY EDGE
SCALE: 1 1/2" = 1'-0" REF SHEET: 2 / A4.11

PROCON
CONNECT • CREATE • CONSTRUCT

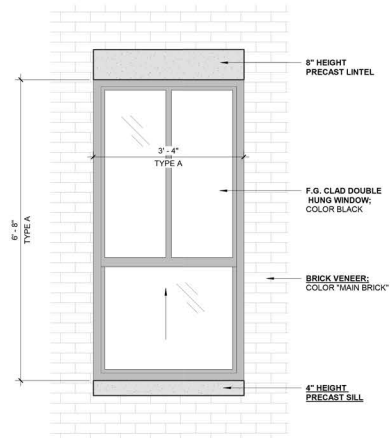
North Scale

PROPOSED DETAILS

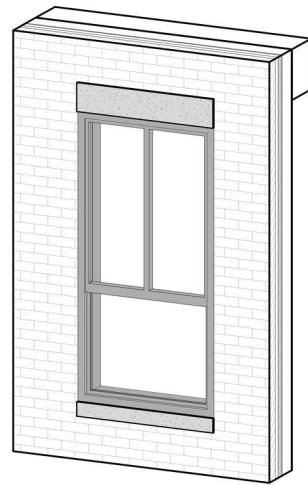
RAYNES AVE.
MIXED USE

Project

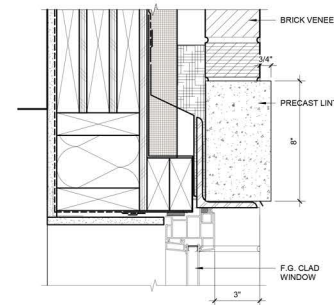
Dwg. No.
A4.31



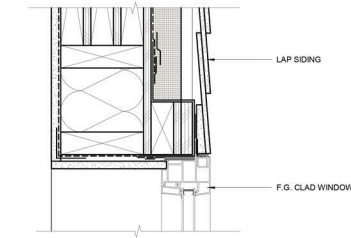
1 TYPICAL DOUBLE HUNG WINDOW IN BRICK LEVELS 2-4
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



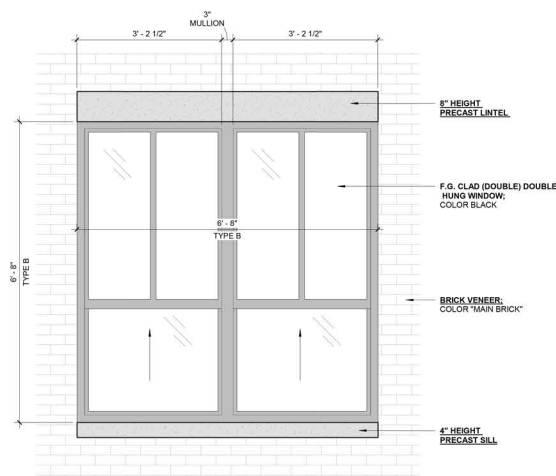
1A TYPICAL DOUBLE HUNG WINDOW IN BRICK LEVELS 2-4 3D



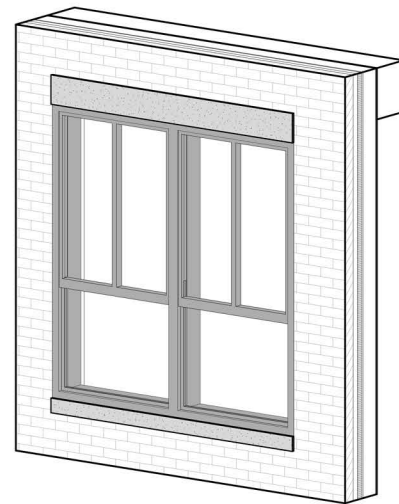
H1 FIBERGLASS CLAD WINDOW HEAD BRICK
SCALE: 3" = 1'-0" REF SHEET: 3 / A4.11



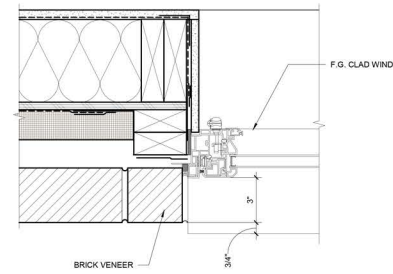
H2 FIBERGLASS CLAD WINDOW HEAD FIBER CEMENT LAP SIDING
SCALE: 3" = 1'-0" REF SHEET: 1 / A4.11



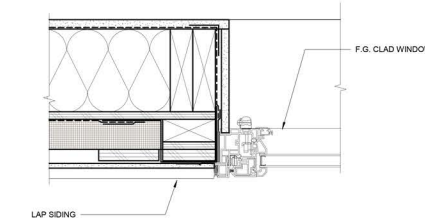
2 TYPICAL DOUBLE DOUBLE HUNG WINDOW IN BRICK LEVELS 2-4
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



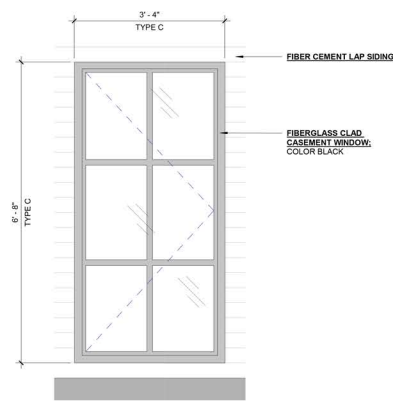
2A TYPICAL DOUBLE DOUBLE HUNG WINDOW IN BRICK LEVELS 2-4 3D



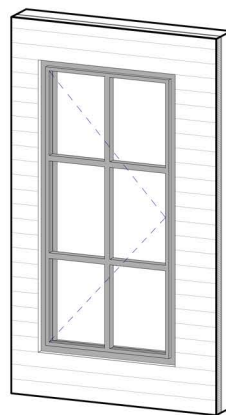
J1 FIBERGLASS CLAD WINDOW JAMB BRICK
SCALE: 3" = 1'-0"



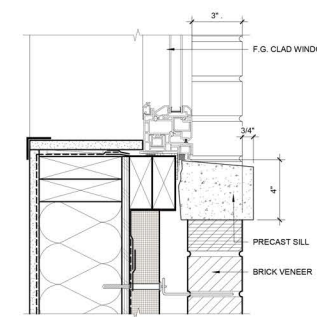
J2 FIBERGLASS CLAD WINDOW JAMB FIBER CEMENT LAP SIDING
SCALE: 3" = 1'-0"



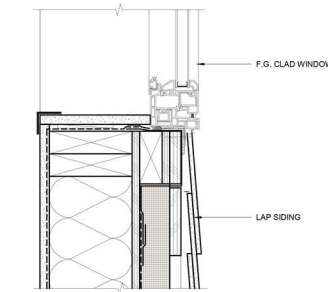
3 CASEMENT WINDOW IN FIBER CEMENT LAP SIDING LEVELS 4-PENTHOUSE
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.06



3A CASEMENT WINDOW IN FIBER CEMENT LAP SIDING LEVELS 4-PENTHOUSE 3D



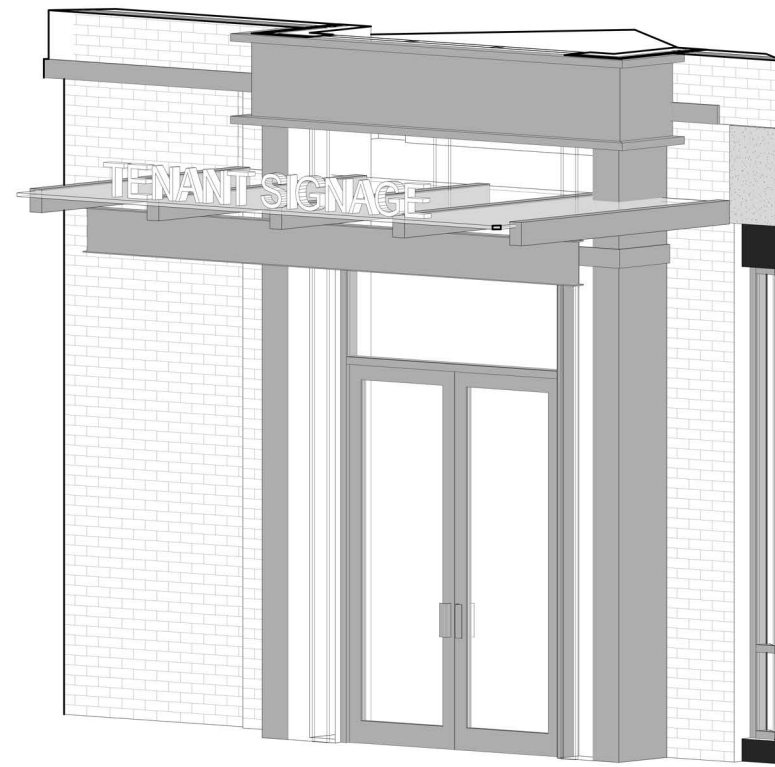
S1 FIBERGLASS CLAD WINDOW SILL BRICK
SCALE: 3" = 1'-0" REF SHEET: 3 / A4.11



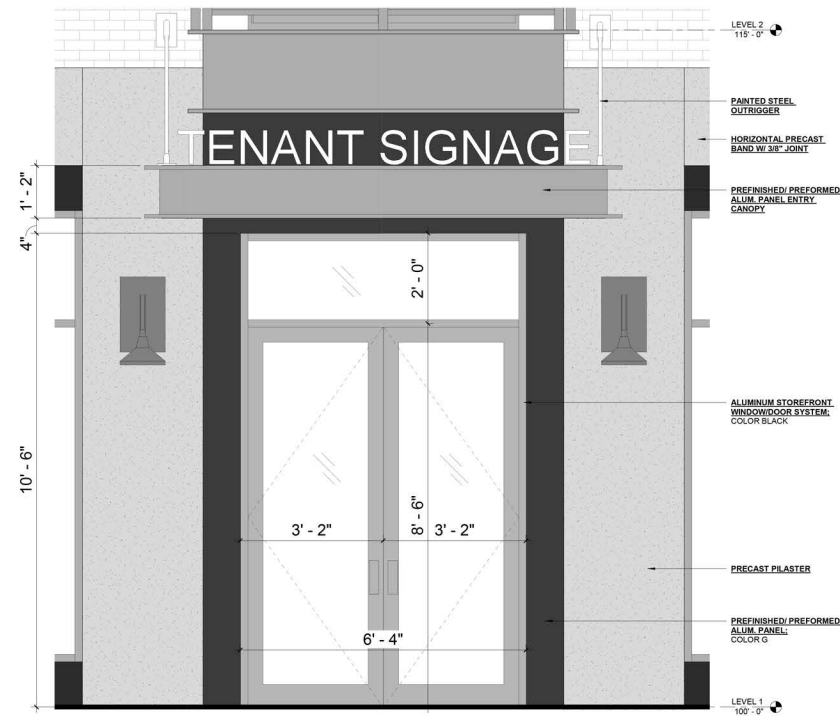
S2 FIBERGLASS CLAD WINDOW SILL FIBER CEMENT LAP SIDING
SCALE: 3" = 1'-0" REF SHEET: 1 / A4.11



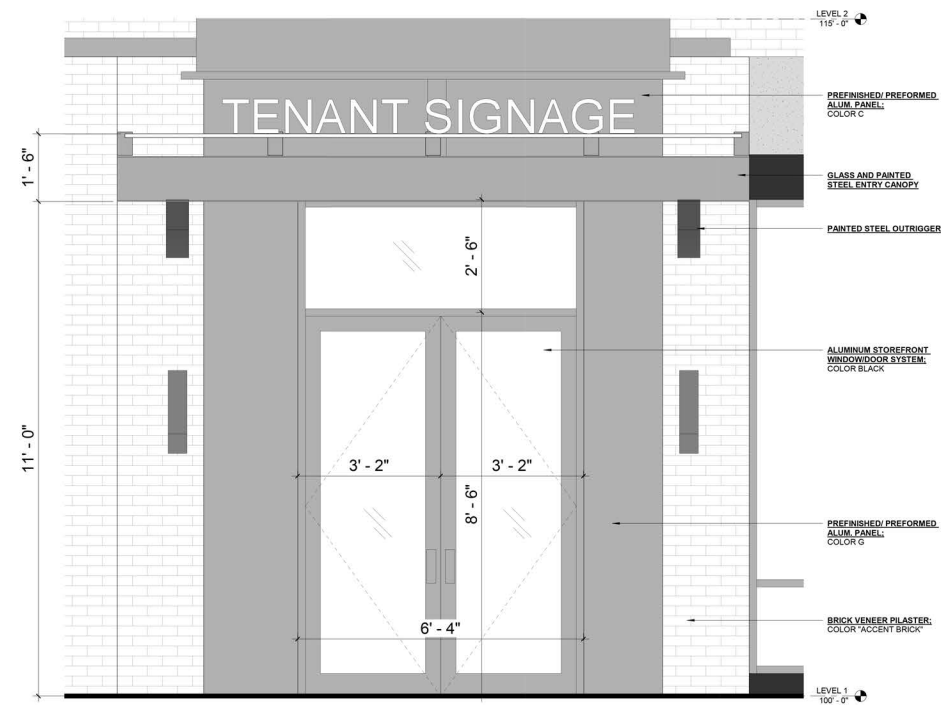
2A TENANT 2 MAIN ENTRANCE PERSPECTIVE



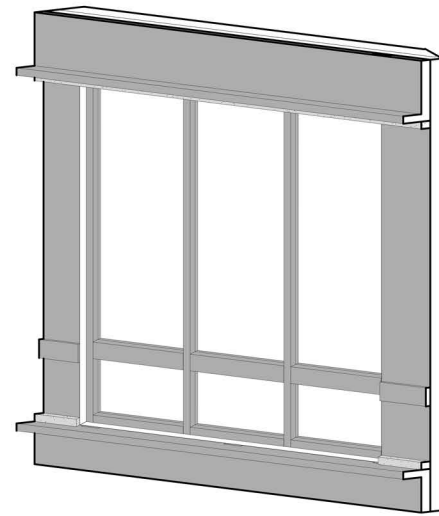
1A TENANT 1 MAIN ENTRANCE PERSPECTIVE



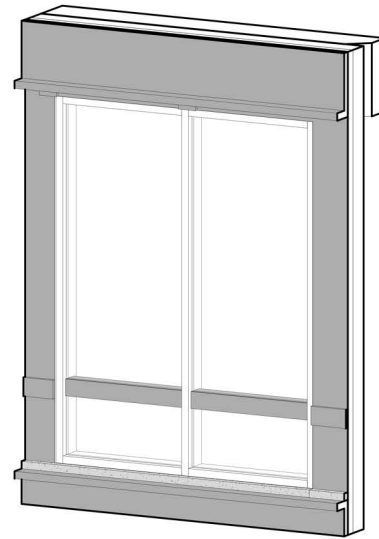
2 TENANT 2 MAIN ENTRANCE ELEVATION
SCALE: 3/4" = 1'-0"



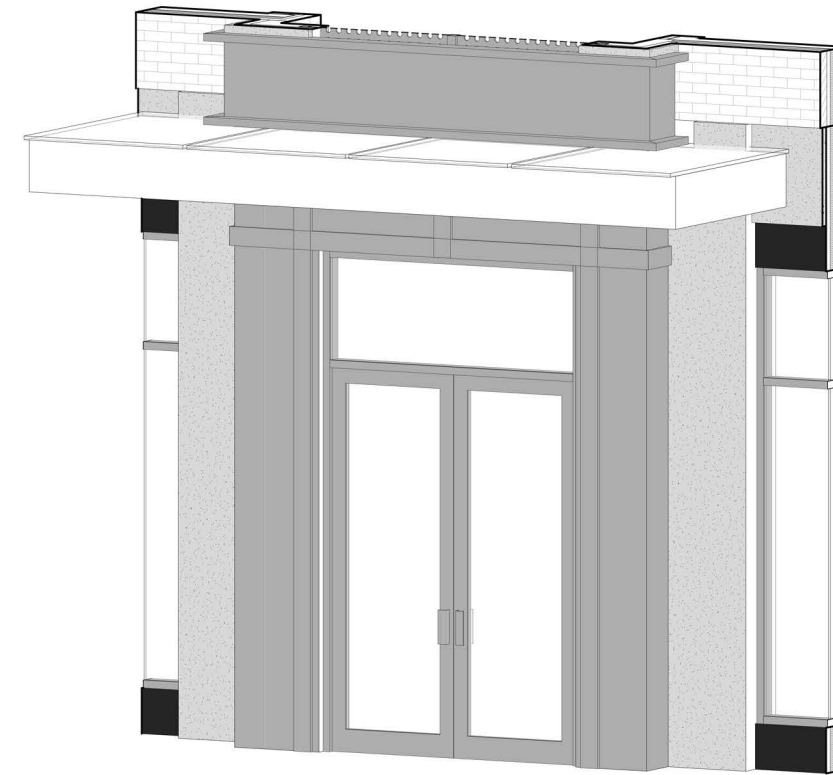
1 TENANT 1 MAIN ENTRANCE ELEVATION
SCALE: 3/4" = 1'-0"



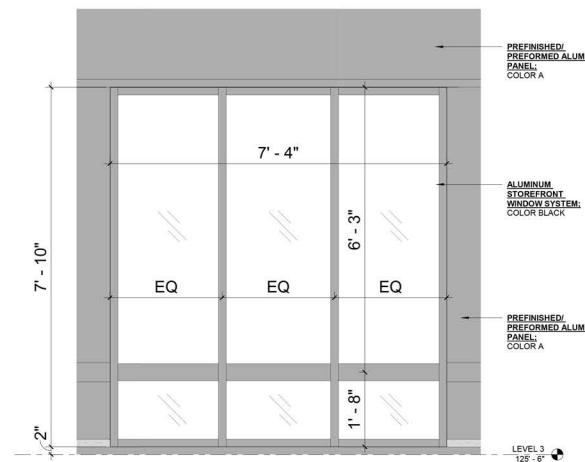
3A STOREFRONT WINDOW PERSPECTIVE



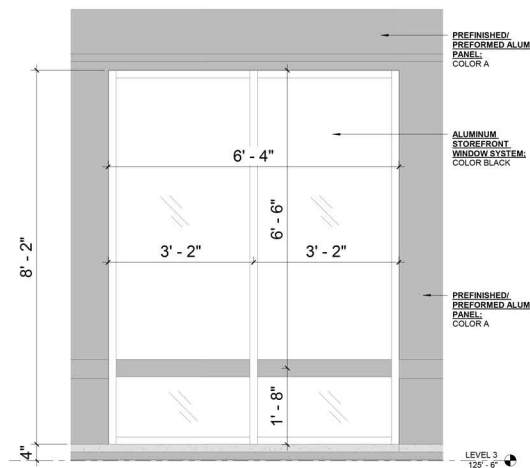
2A STOREFRONT WINDOW PERSPECTIVE



1A RESIDENTIAL ENTRY PERSPECTIVE



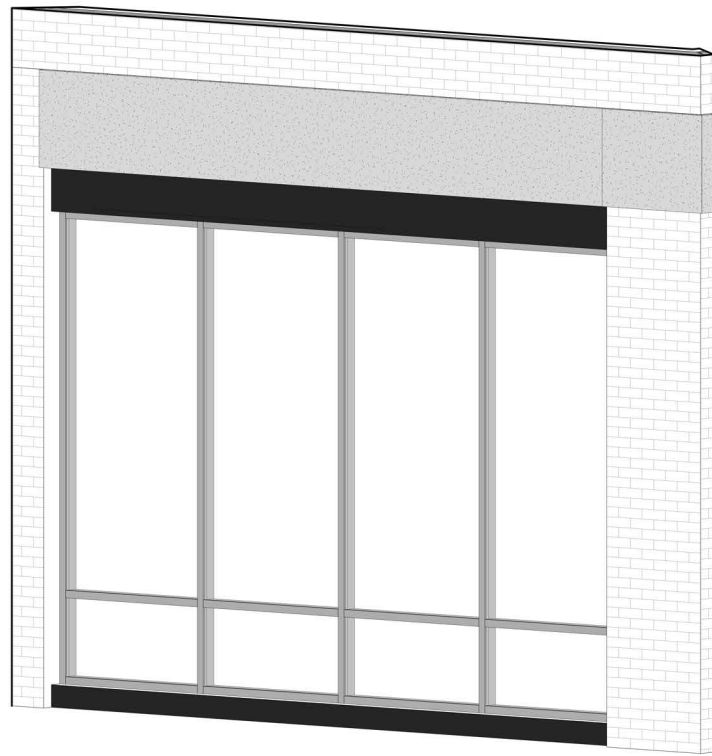
3 STOREFRONT WINDOW ELEVATION
SCALE: 3/4" = 1'-0"



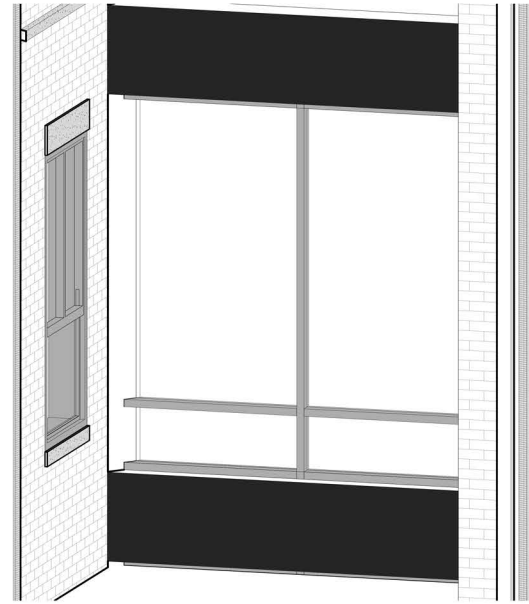
2 STOREFRONT WINDOW ELEVATION
SCALE: 3/4" = 1'-0"



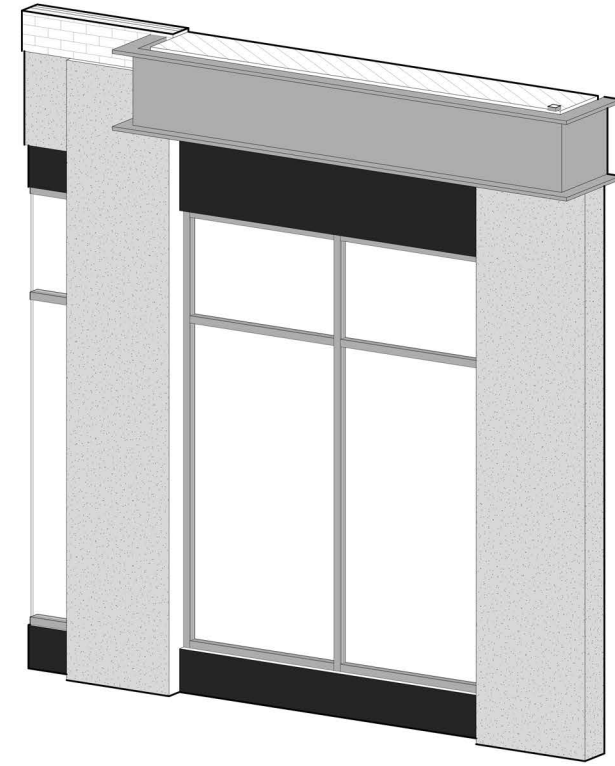
1 RESIDENTIAL ENTRY ELEVATION
SCALE: 3/4" = 1'-0"



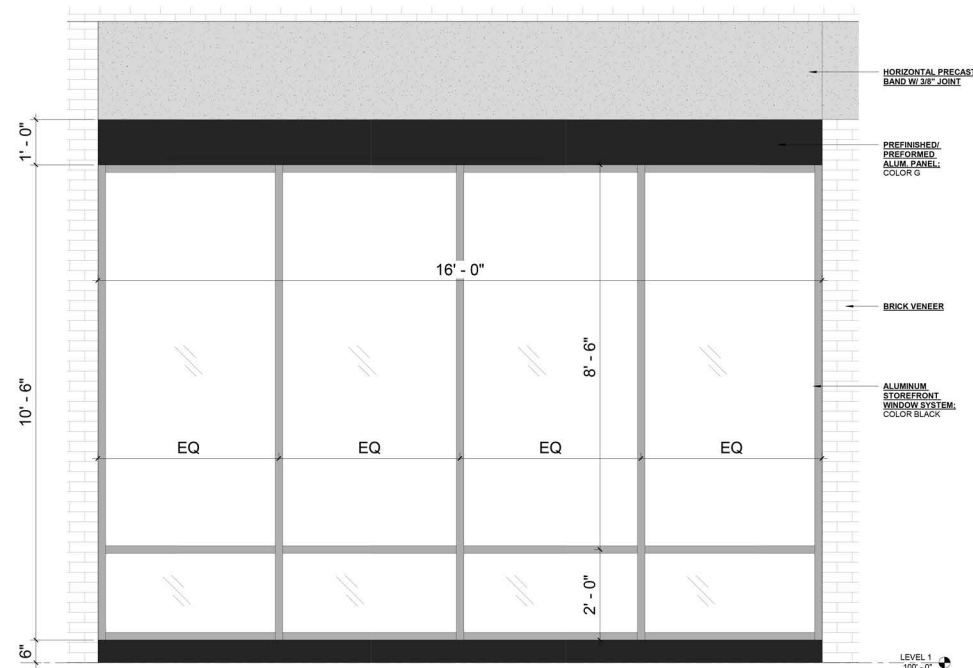
3A STOREFRONT WINDOW PERSPECTIVE



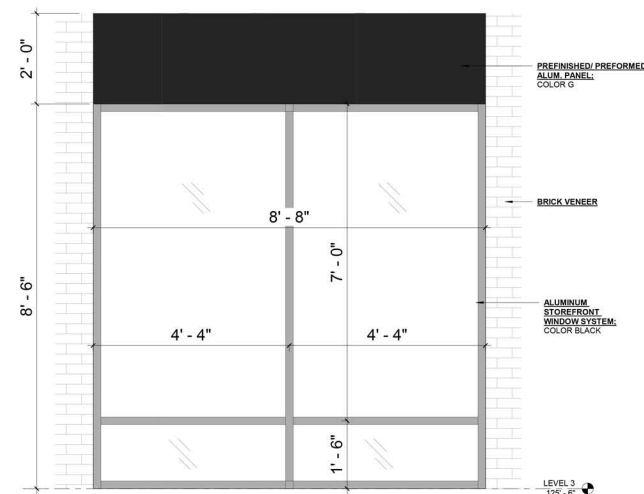
2A STOREFRONT WINDOW PERSPECTIVE



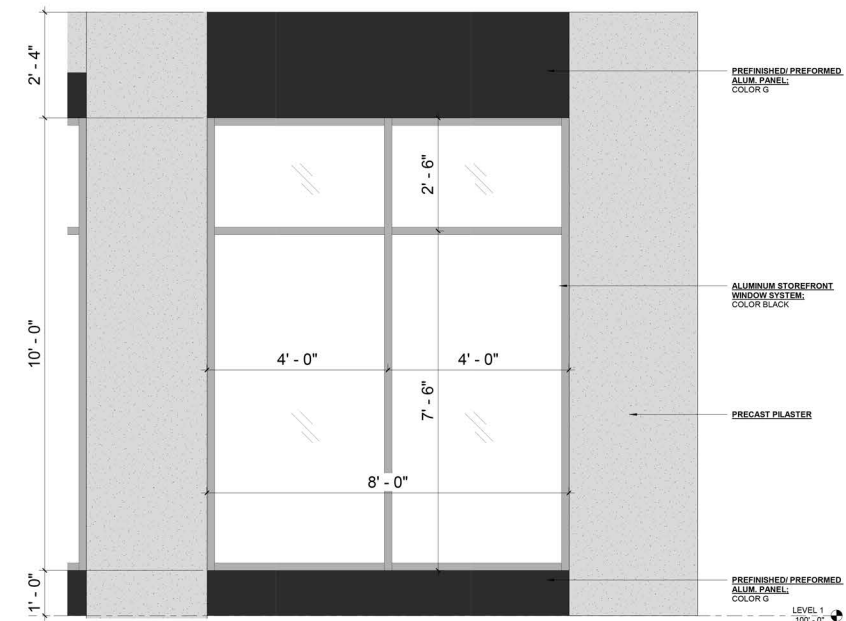
1A STOREFRONT WINDOW PERSPECTIVE



3 STOREFRONT WINDOW ELEVATION
SCALE: 3/4" = 1'-0"



2 STOREFRONT WINDOW ELEVATION
SCALE: 3/4" = 1'-0"



1 STOREFRONT WINDOW ELEVATION
SCALE: 3/4" = 1'-0"



North

Scale

ALUMINUM STOREFRONT ELEVATIONS

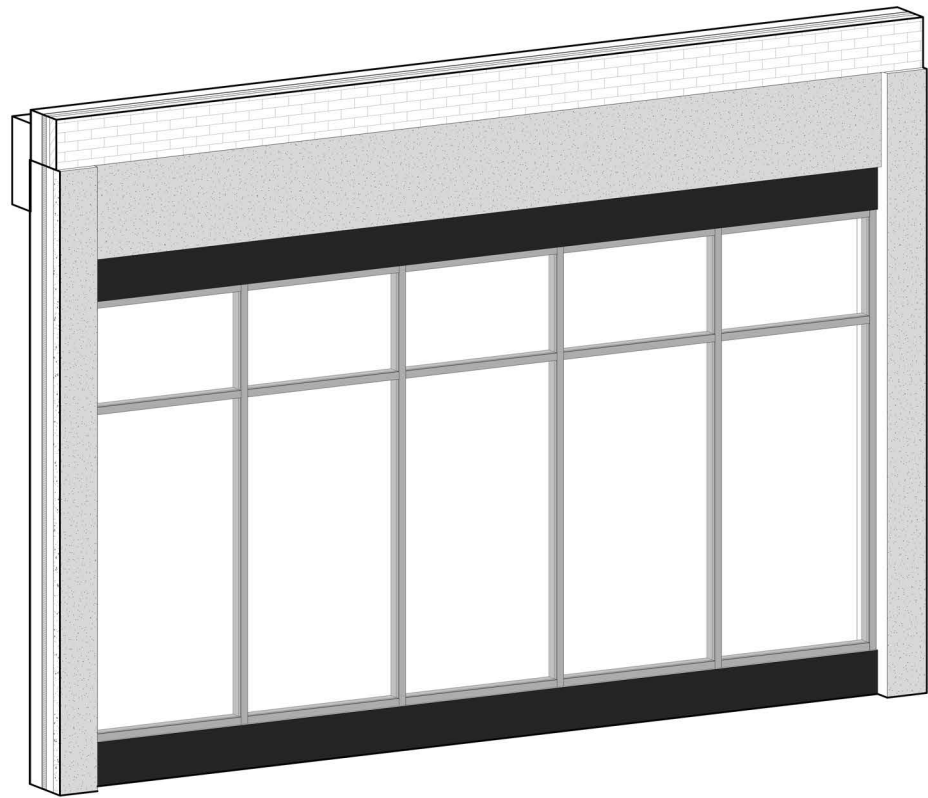
RAYNES AVE.
MIXED USE

Project

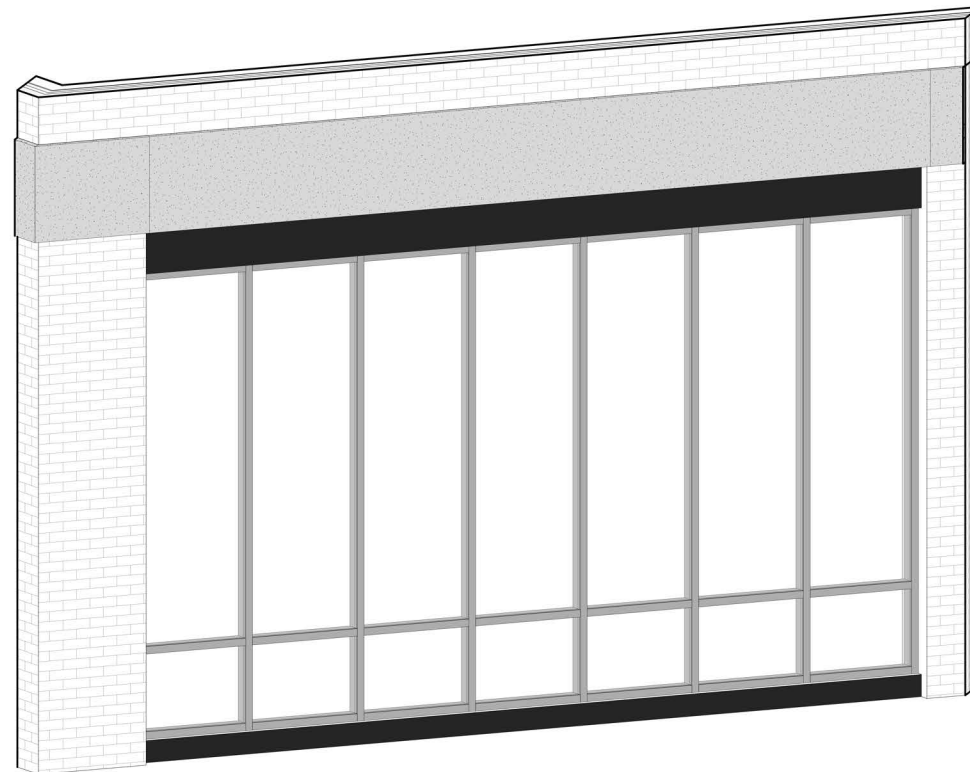
Dwg. No.
A6.02c

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

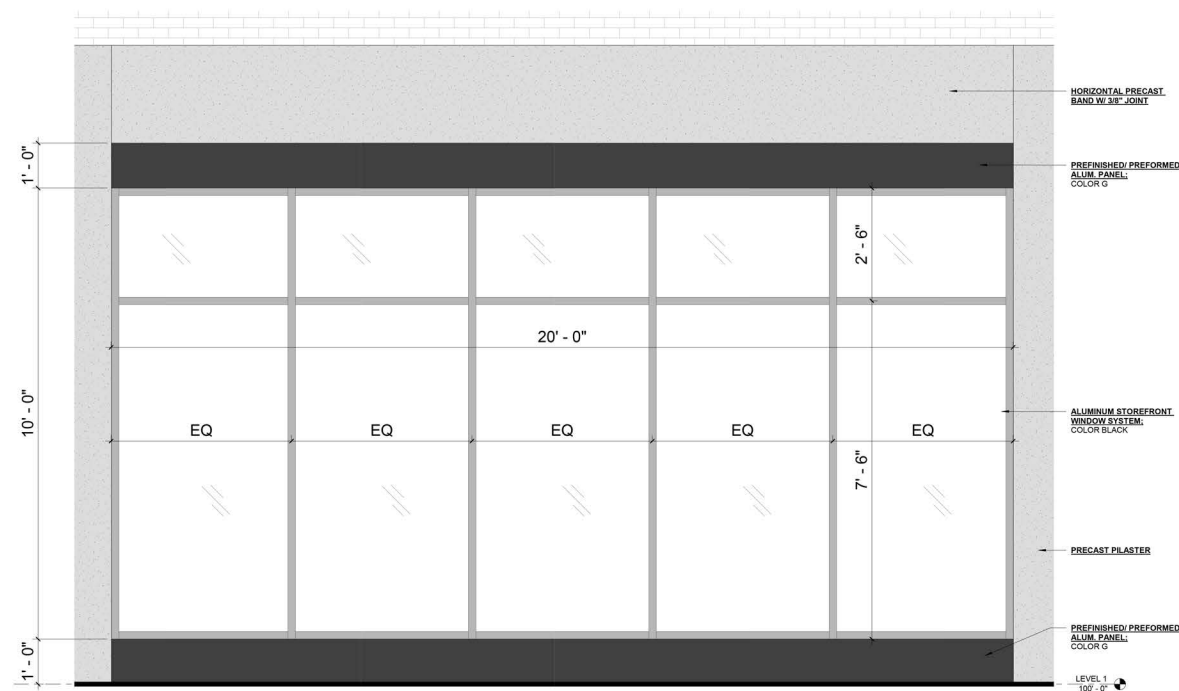
3.20
NOT TO SCALE



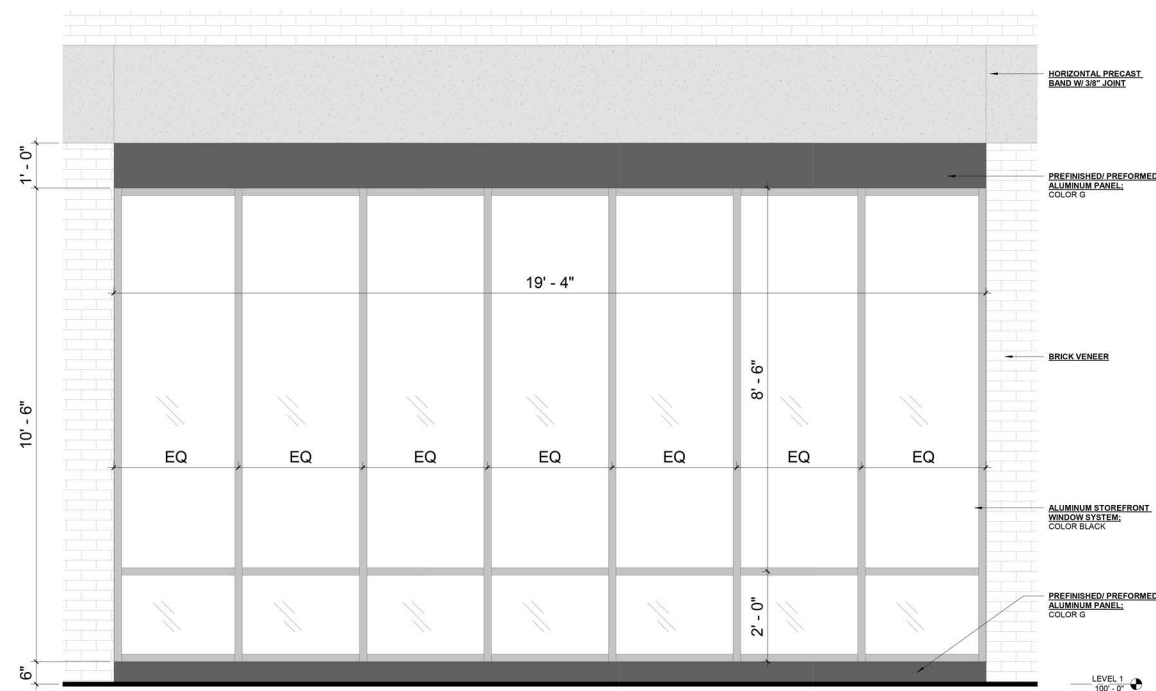
2A STOREFRONT WINDOW PERSPECTIVE



1A STOREFRONT WINDOW PERSPECTIVE



2 STOREFRONT WINDOW ELEVATION
SCALE: 3/4" = 1'-0"



1 STOREFRONT WINDOW ELEVATION
SCALE: 3/4" = 1'-0"



North Scale

ALUMINUM STOREFRONT ELEVATIONS

RAYNES AVE. Project
MIXED USE

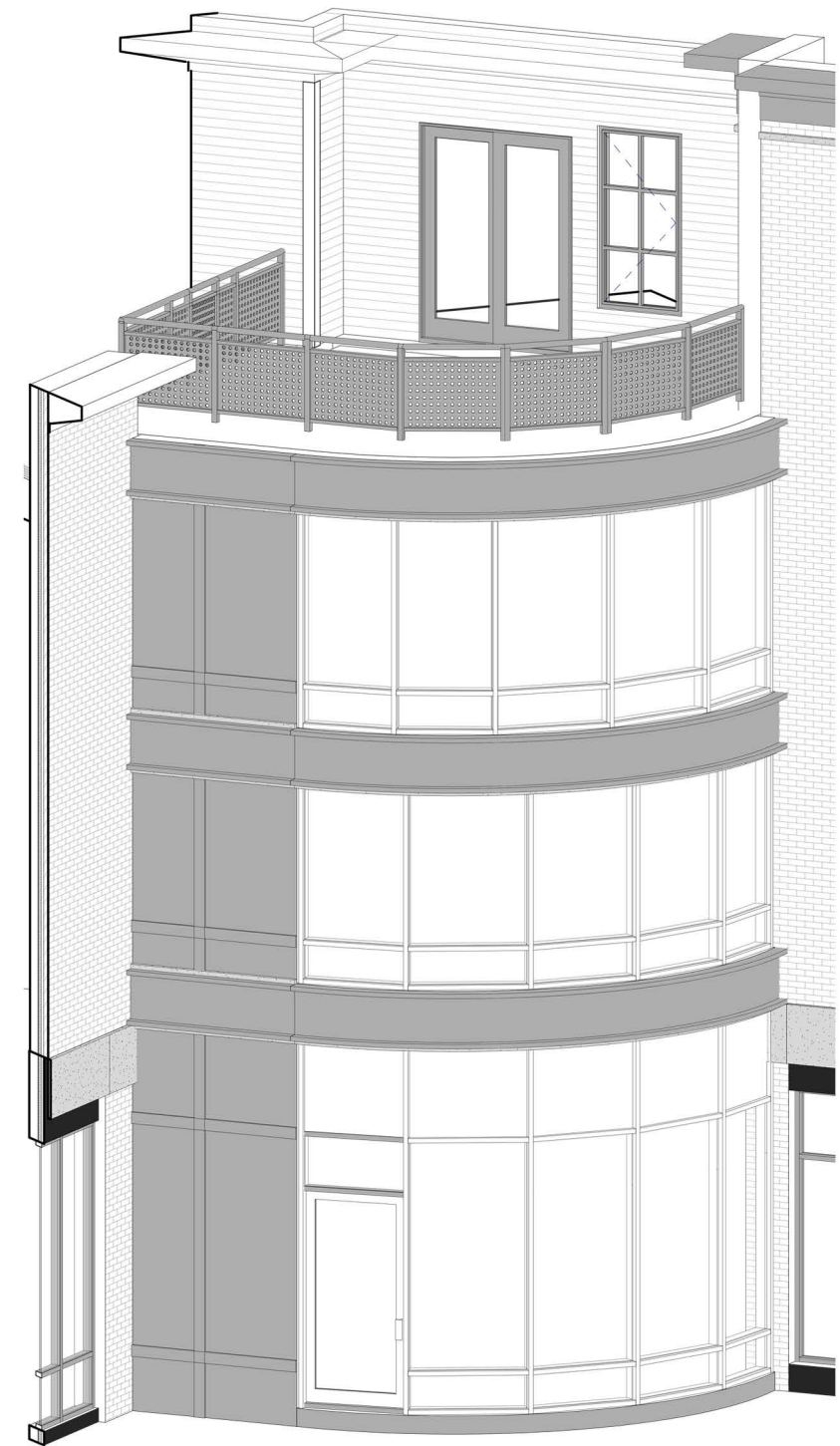
Dwg. No. **A6.02d**

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

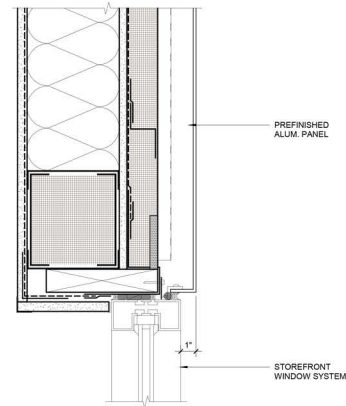
3.21
NOT TO SCALE



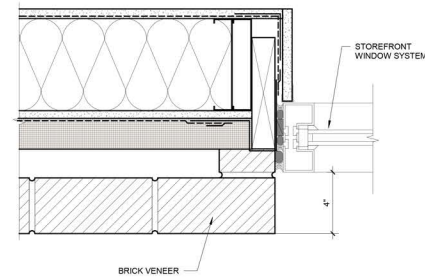
2 CURVED OUTSIDE CORNER STOREFRONT PERSPECTIVE



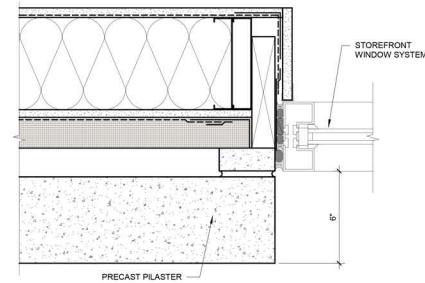
1 CURVED INSIDE CORNER STOREFRONT PERSPECTIVE



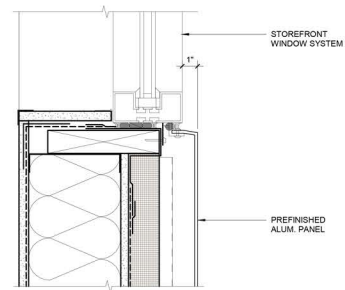
H1 STOREFRONT HEAD METAL PANEL
SCALE: 3" = 1'-0"



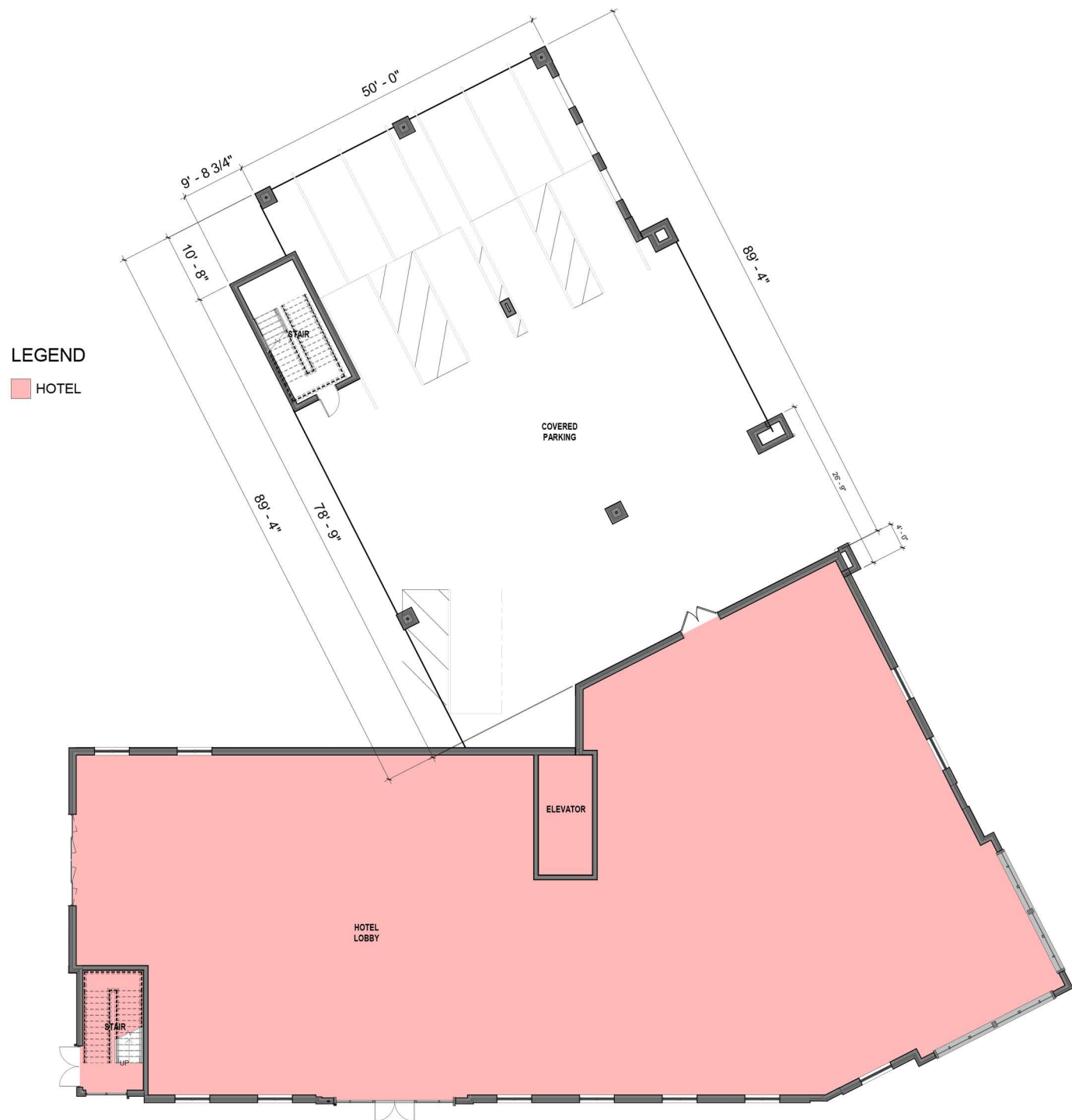
J1 STOREFRONT JAMB BRICK
SCALE: 3" = 1'-0"



J2 STOREFRONT JAMB PRECAST PILASTER
SCALE: 3" = 1'-0"



S1 STOREFRONT SILL METAL PANEL
SCALE: 3" = 1'-0"



LEGEND
■ HOTEL

1 OVERALL FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



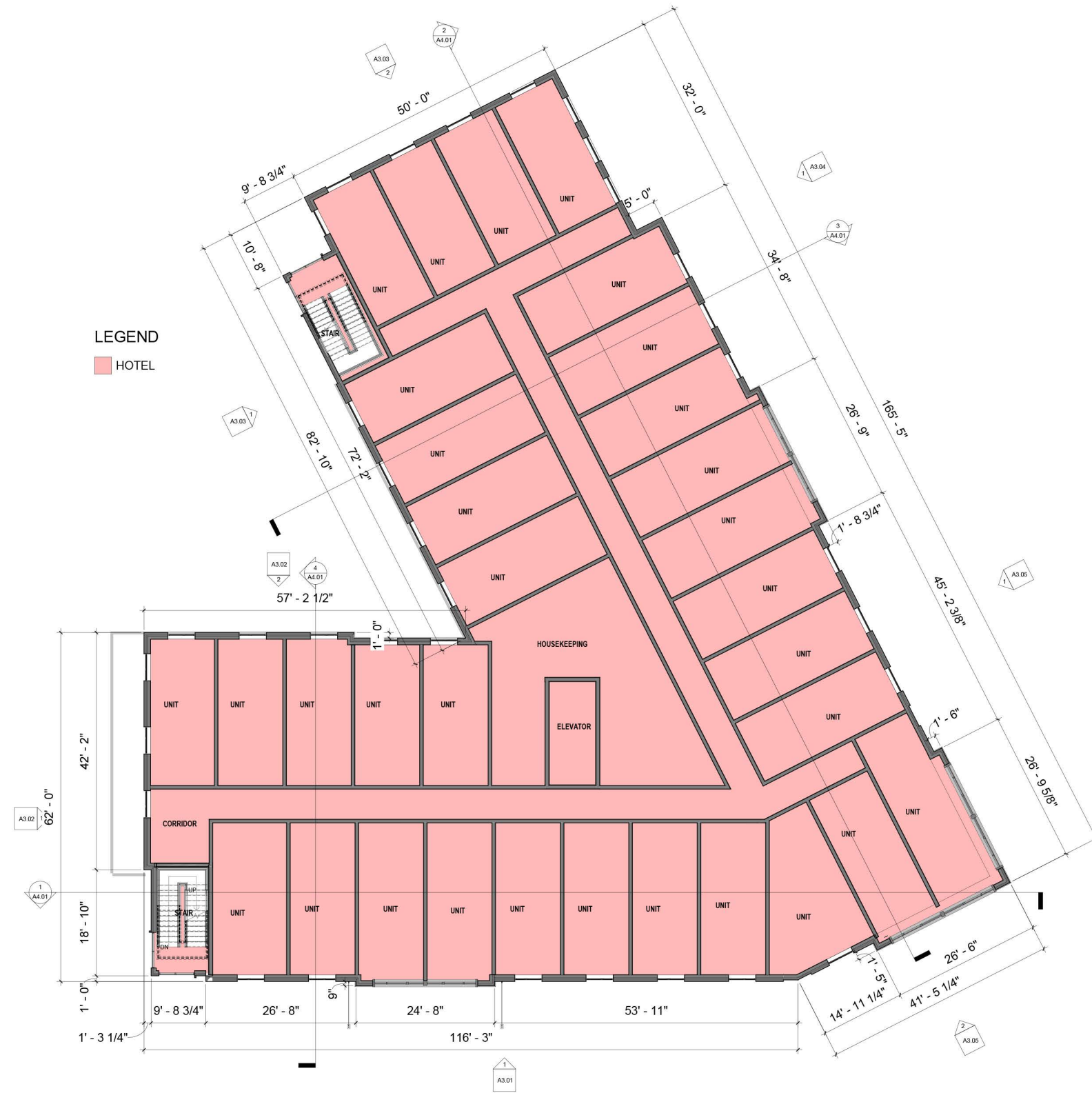
FIRST FLOOR PLAN

RAYNES AVE.
 HOTEL

Dwg. No.
A1.01

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
 JANUARY 4, 2023

4.0
 NOT TO SCALE



1 OVERALL SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

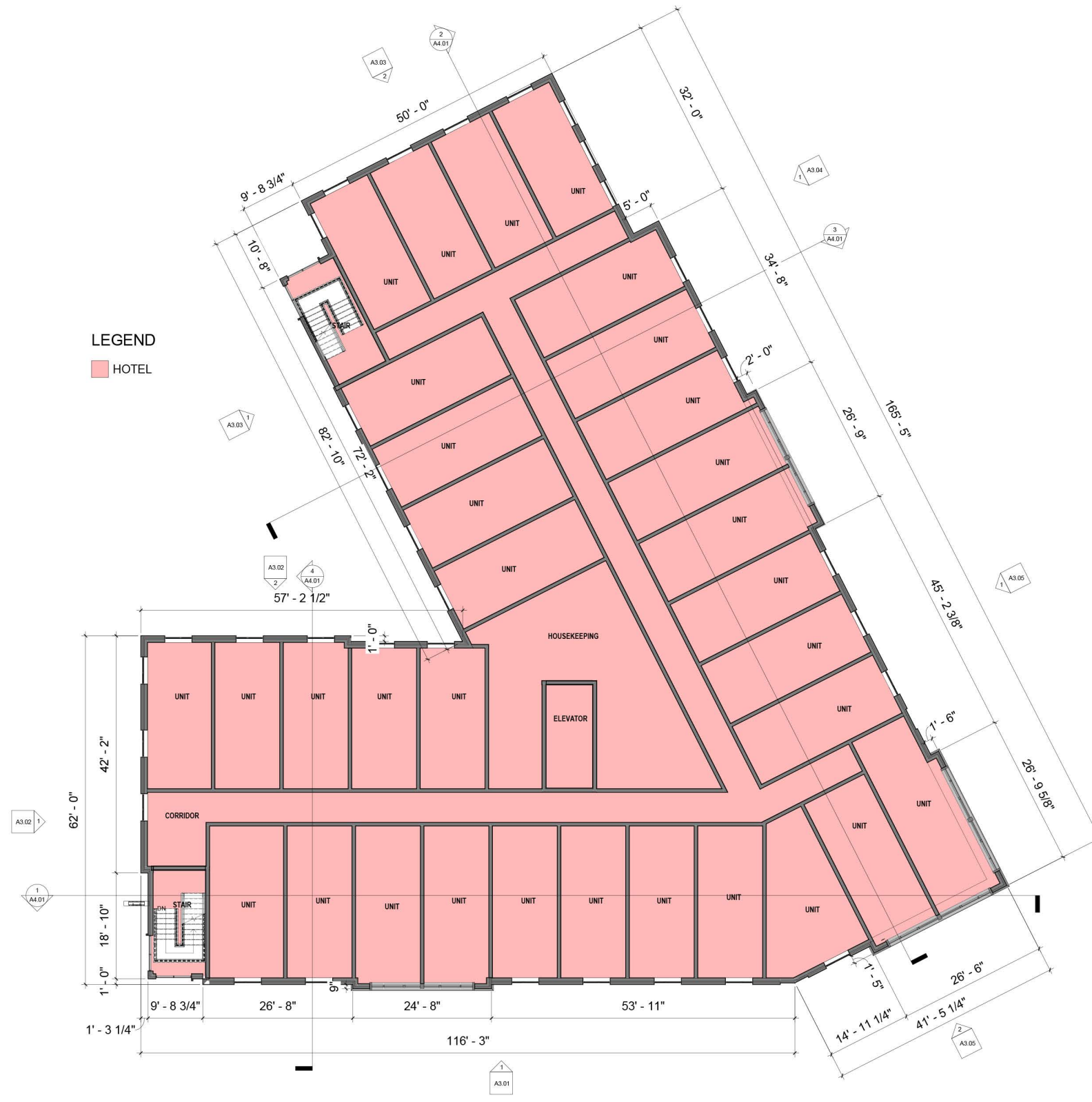
RAYNES AVE.
HOTEL

Project

Dwg. No.
A1.02

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

4.1
NOT TO SCALE

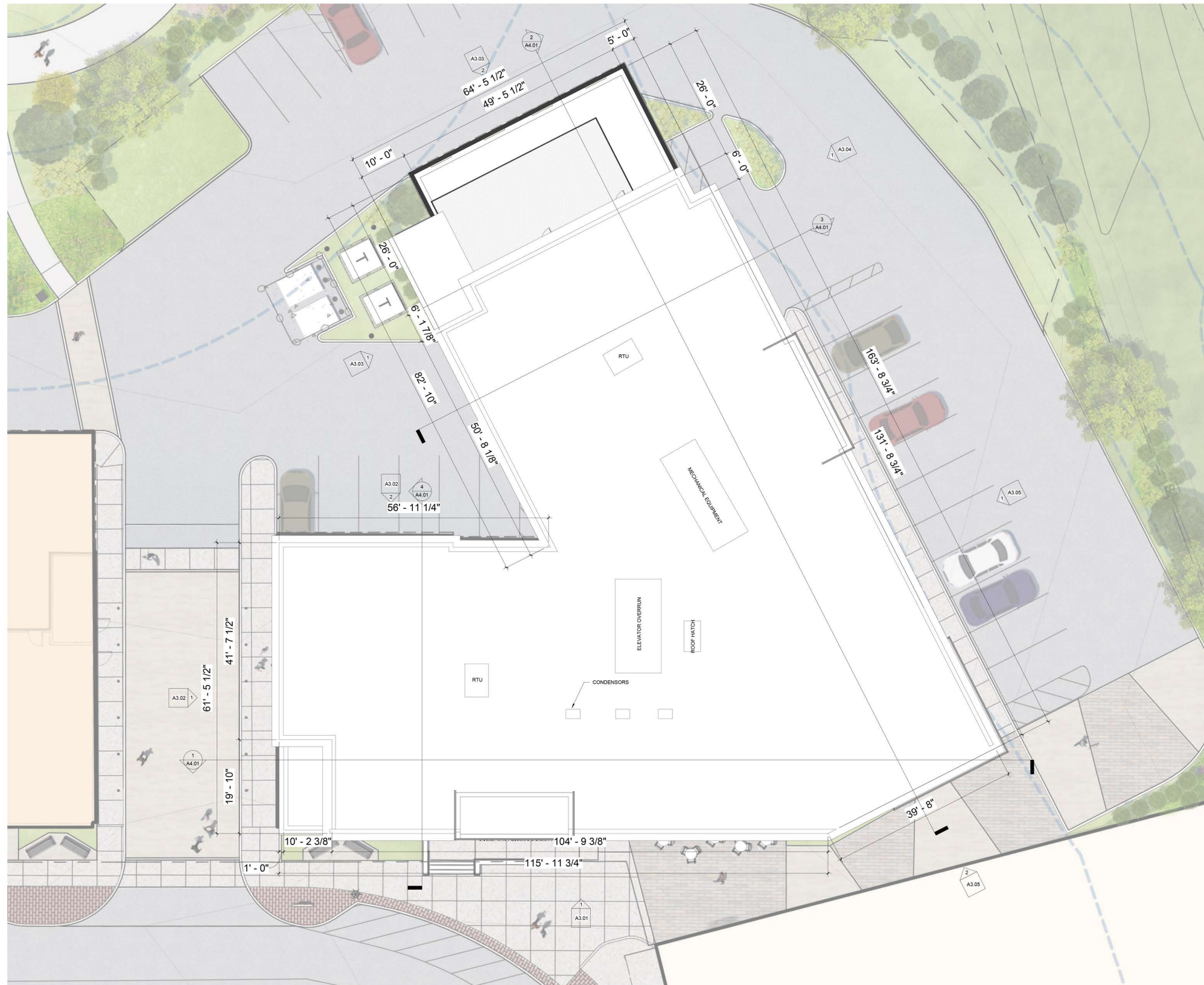


1 OVERALL THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

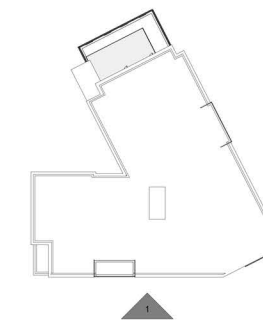


1 OVERALL FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"





1 OVERALL ROOF PLAN
SCALE: 1/8" = 1'-0"



KEYPLAN
1" = 40'-0"



1 SOUTH EAST ELEVATION
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



North	Scale

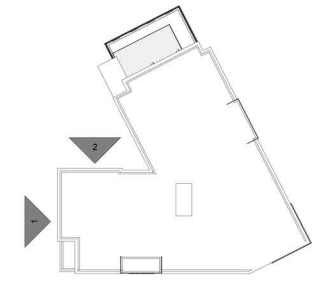
ELEVATIONS

RAYNES AVE. Project
HOTEL

Dwg. No.
A3.01

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

4.6
NOT TO SCALE



KEYPLAN
1" = 40'-0"



2 NORTH WEST ELEVATION A
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



1 SOUTH WEST ELEVATION A
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



North	Scale
-------	-------

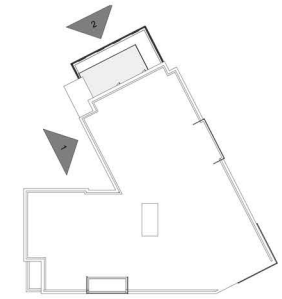
ELEVATIONS

RAYNES AVE.
HOTEL

Dwg. No.
A3.02

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

4.7
NOT TO SCALE



KEYPLAN
1" = 40'-0"



2 NORTH WEST ELEVATION B
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

1 SOUTH WEST ELEVATION B
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



North	Scale
-------	-------

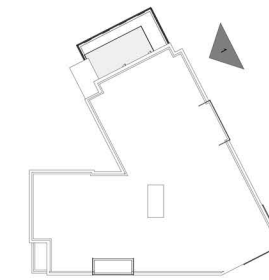
ELEVATIONS

RAYNES AVE.
HOTEL

Dwg. No.
A3.03

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

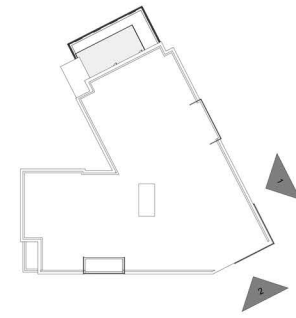
4.8
NOT TO SCALE



KEYPLAN
1" = 40'-0"



1 NORTH EAST ELEVATION A
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



KEYPLAN
1" = 40'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



1 NORTH EAST ELEVATION B
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



North	Scale

ELEVATIONS

RAYNES AVE. HOTEL Project

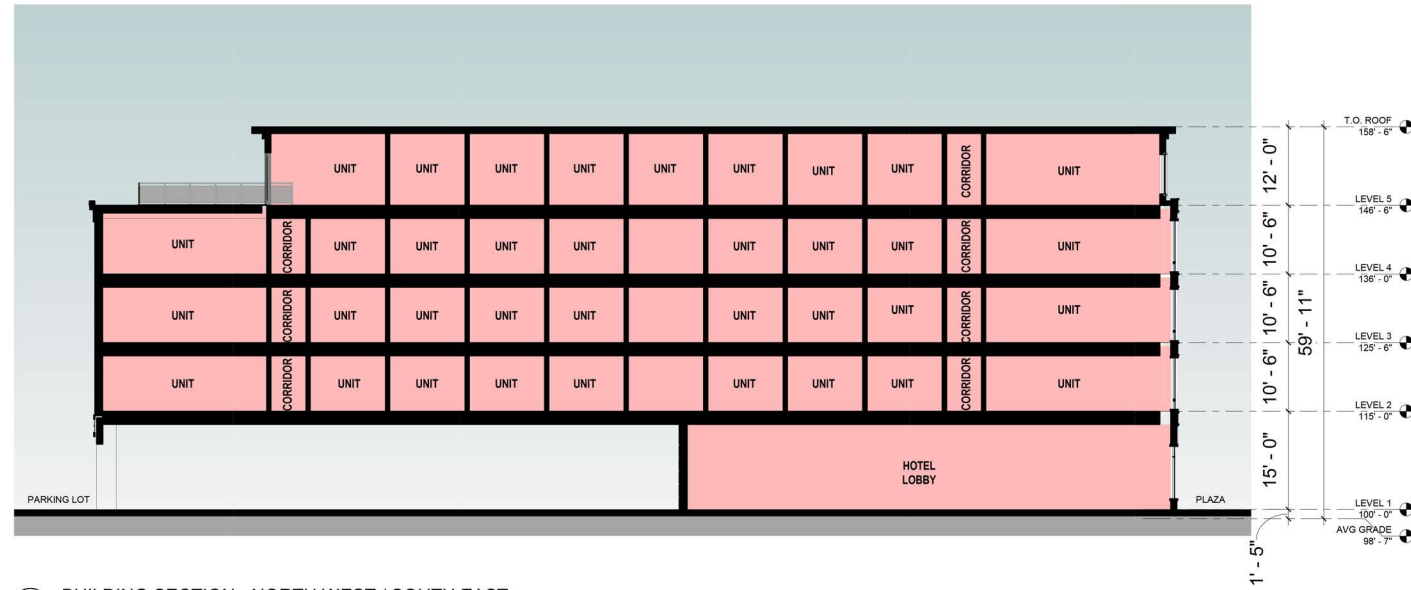
Dwg. No. **A3.05**

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

4.10
NOT TO SCALE

LEGEND

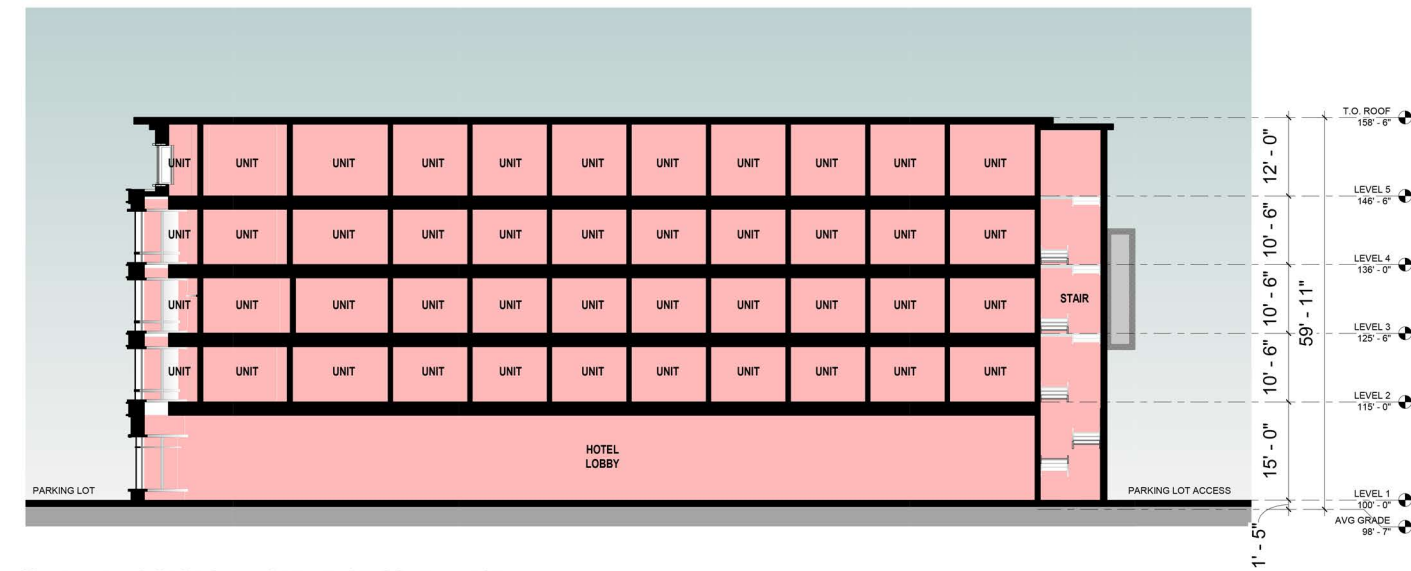
HOTEL



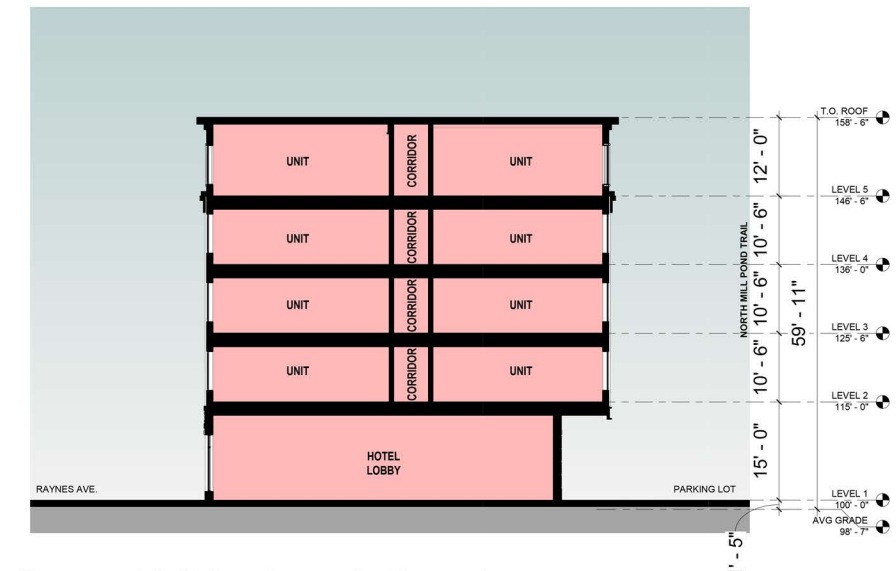
2 BUILDING SECTION - NORTH WEST / SOUTH EAST
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.02



3 BUILDING SECTION - NORTH EAST / SOUTH WEST
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.02



1 BUILDING SECTION - NORTH EAST / SOUTH WEST
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.02



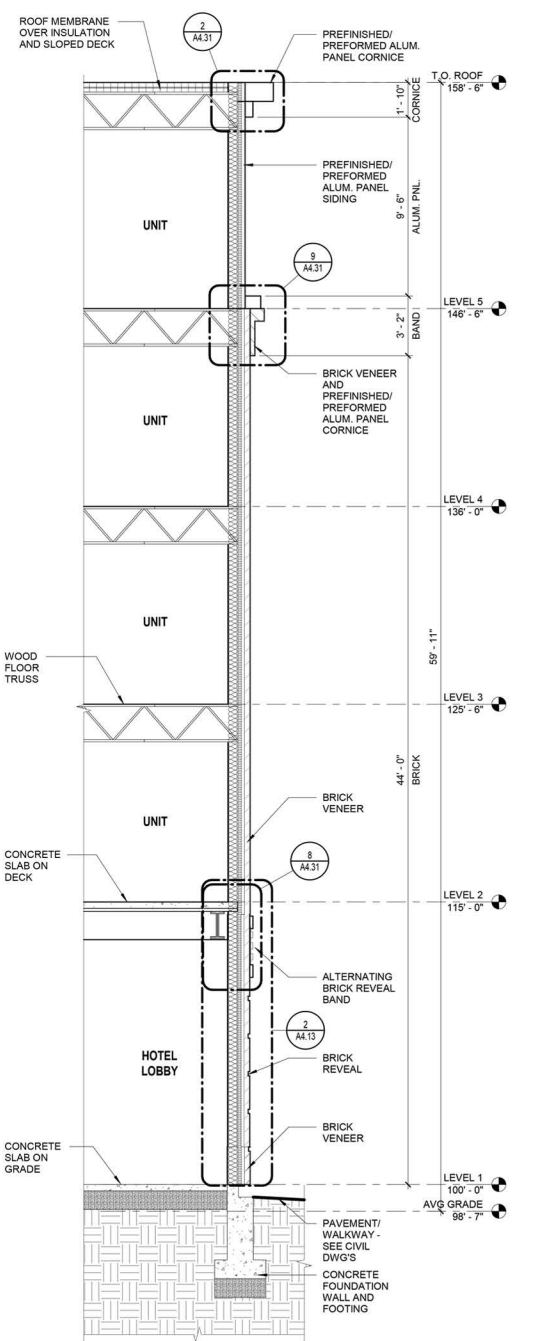
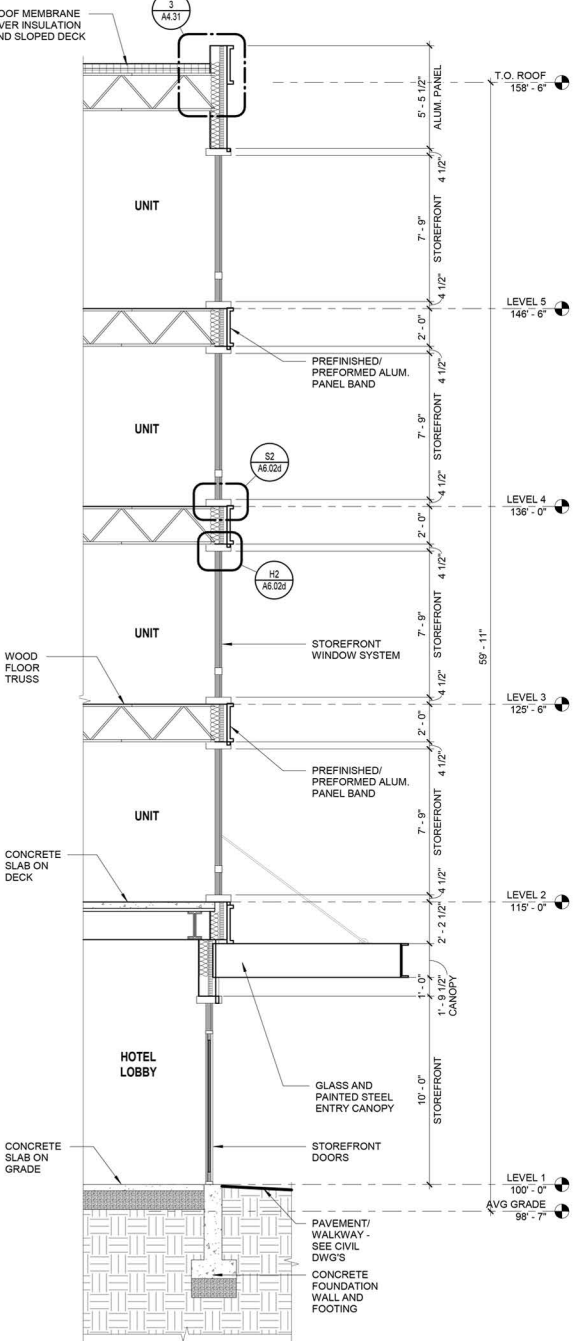
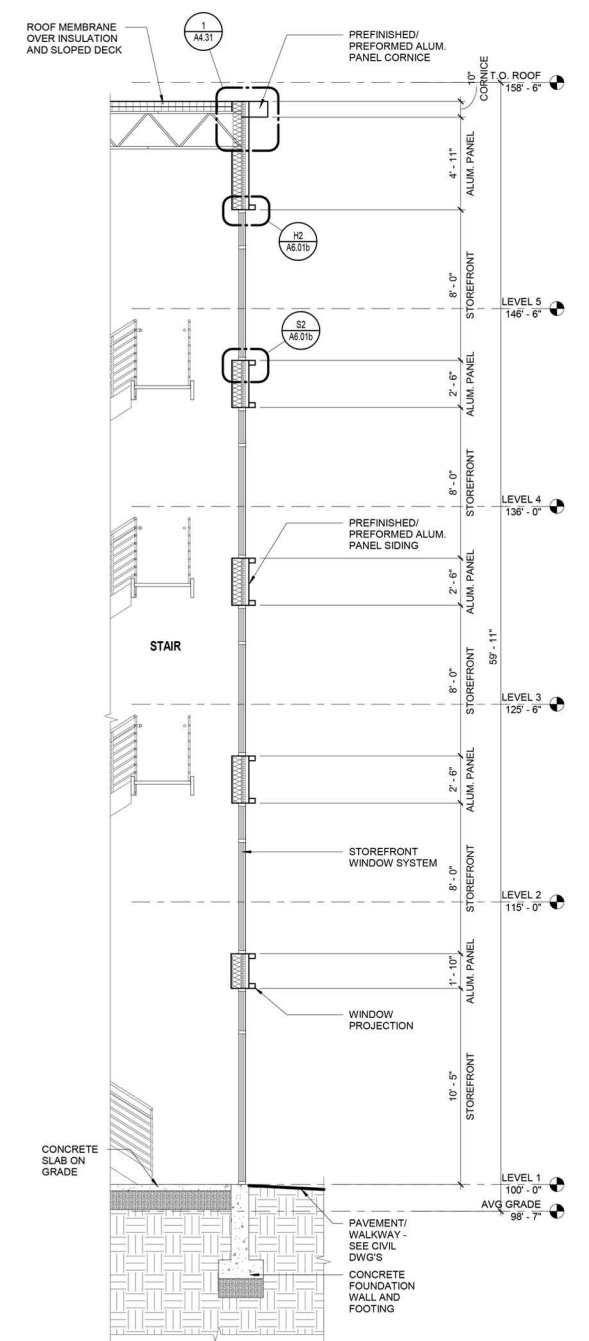
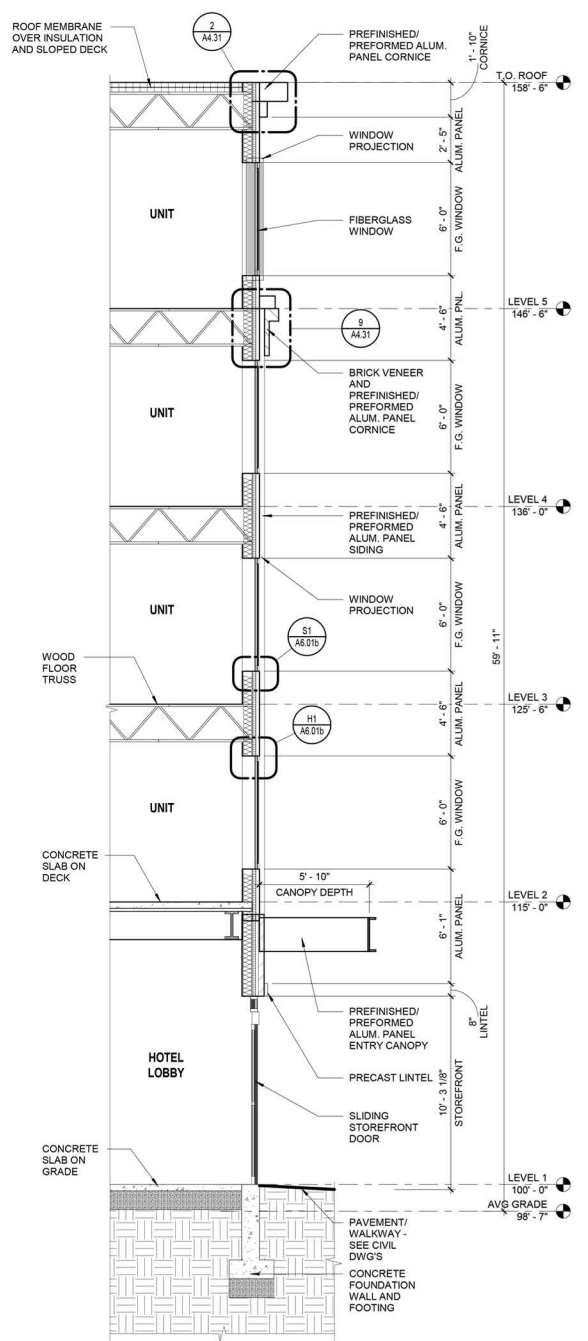
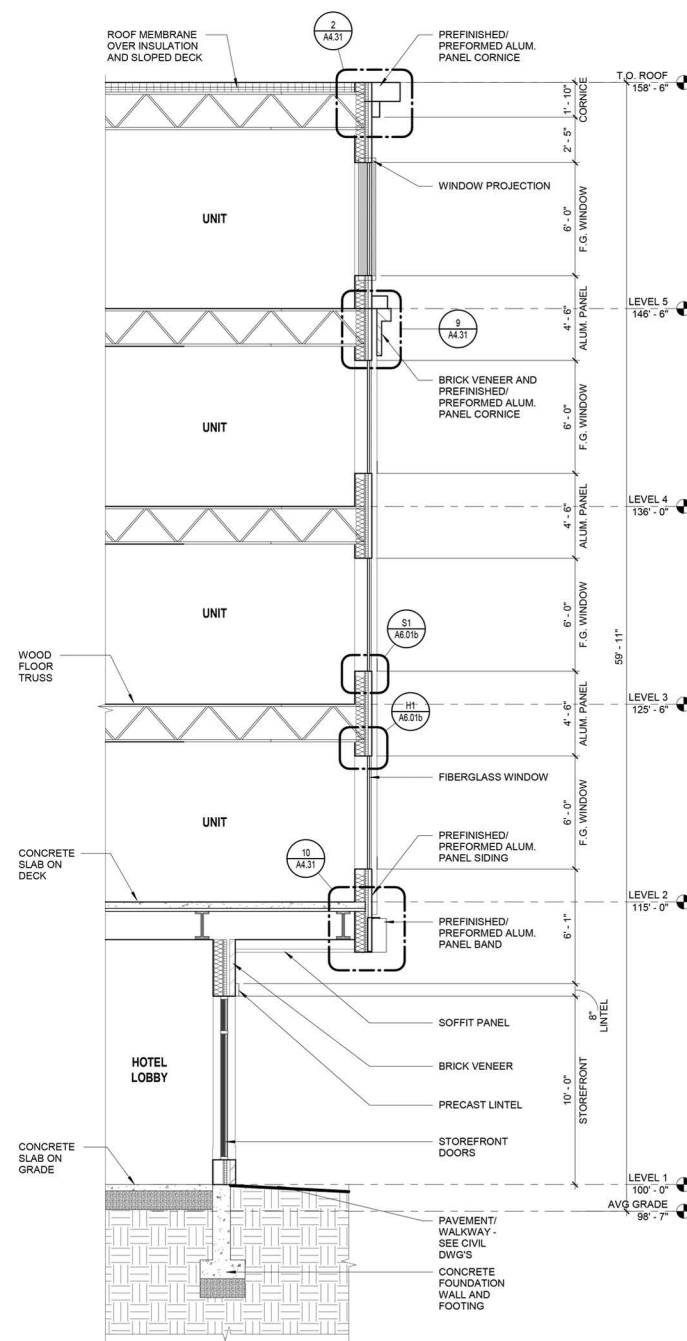
4 BUILDING SECTION - NORTH WEST / SOUTH EAST
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.02



BUILDING SECTIONS

RAYNES AVE. HOTEL

Dwg. No. A4.01



5 WALL SECTION - OVERHANG
SCALE: 1/4" = 1'-0" REF SHEET: 2 / A3.02

4 WALL SECTION - SOUTH WEST ENTRY
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.02

3 WALL SECTION - STAIR
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

2 WALL SECTION - RAYNES AVE ENTRY CANOPY
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

1 WALL SECTION - TYPICAL
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

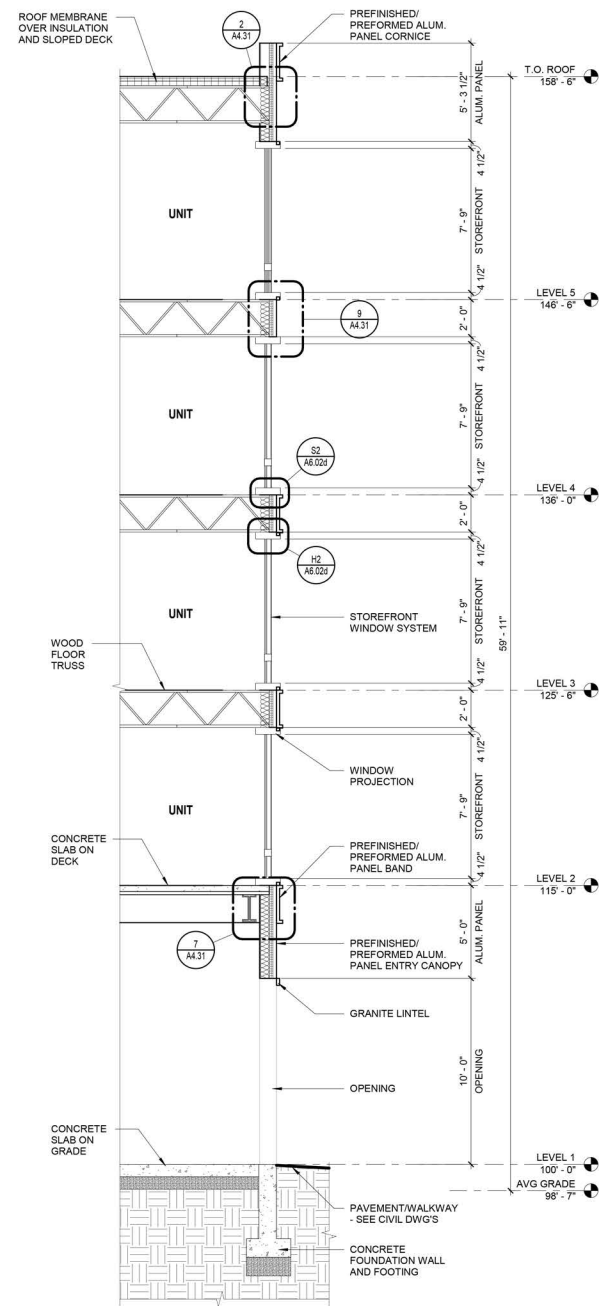


North Scale

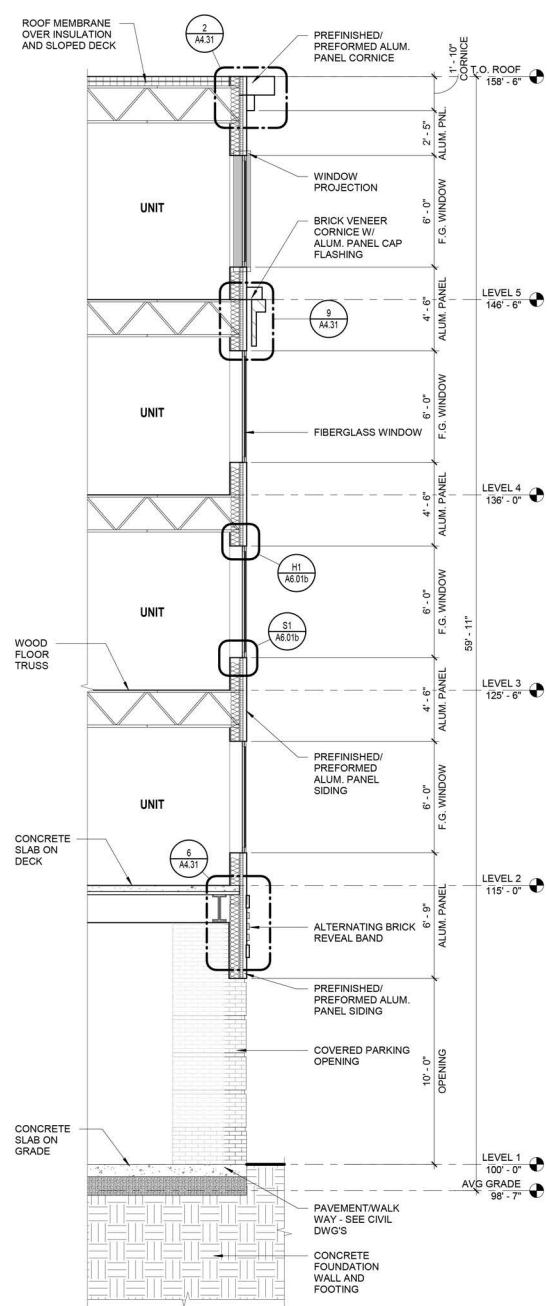
WALL SECTIONS

RAYNES AVE. HOTEL Project

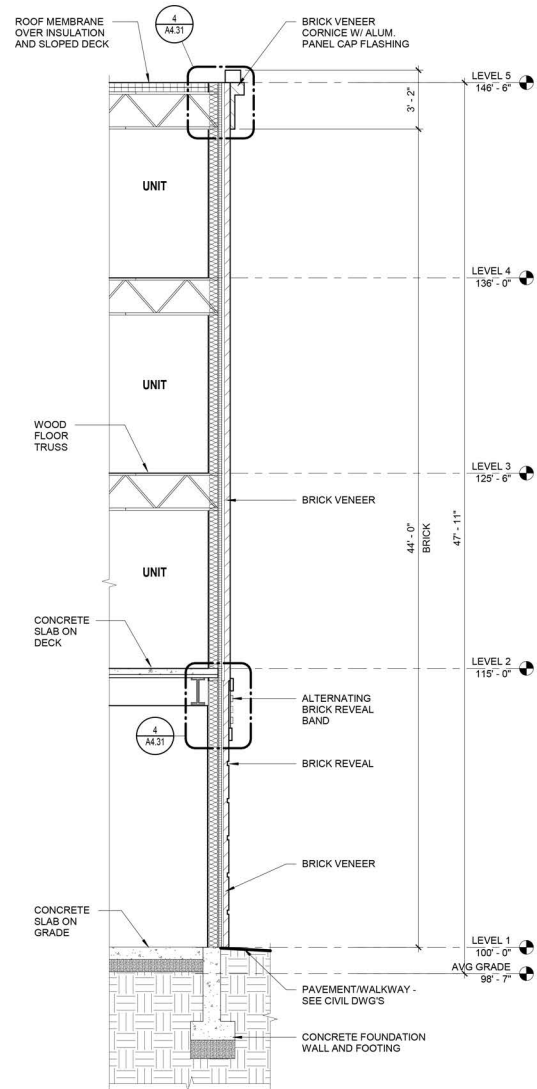
Dwg. No. A4.11



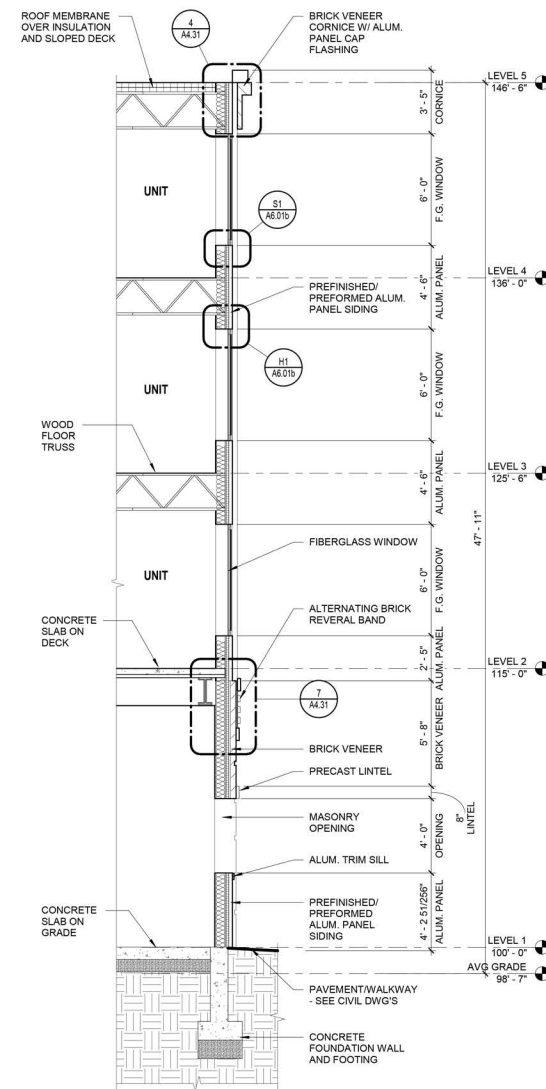
5 WALL SECTION - PARKING OPENING B
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.05



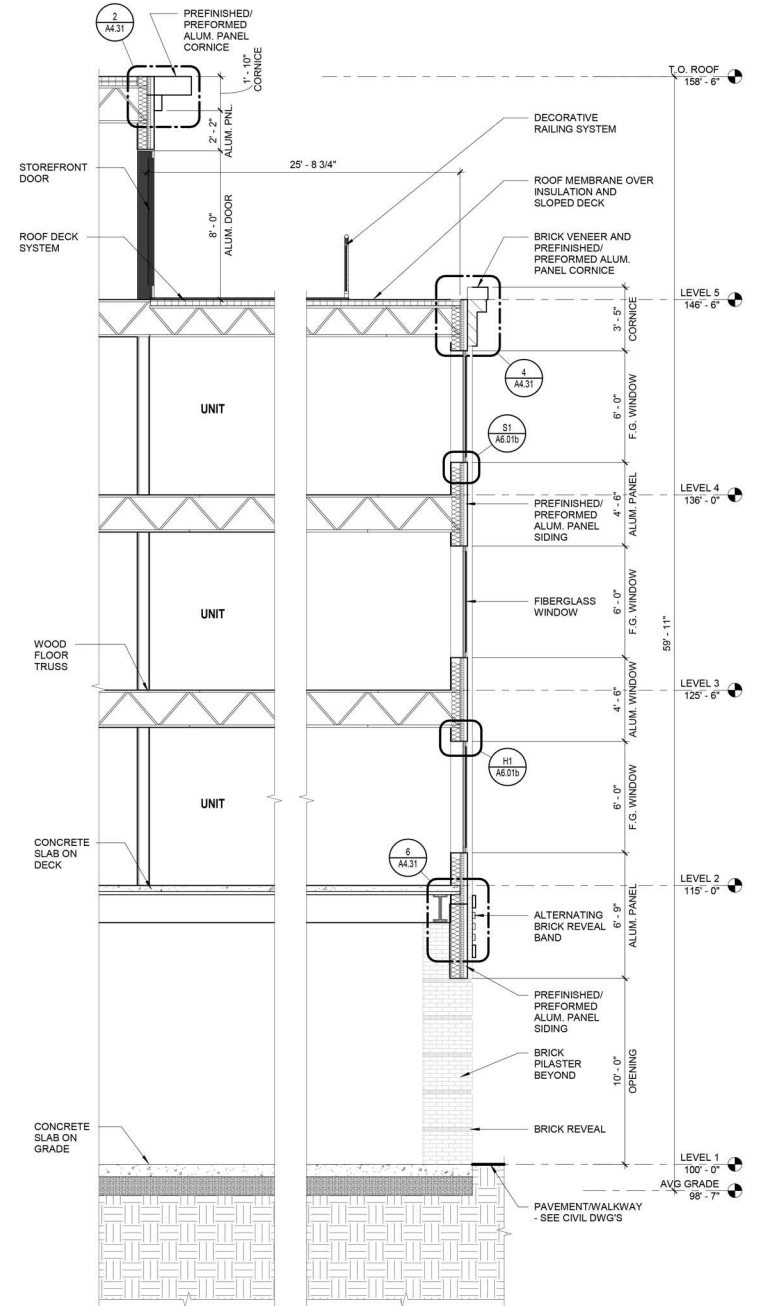
4 WALL SECTION - PARKING OPENING A
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.04



3 WALL SECTION - PILASTER
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.04



2 WALL SECTION - PARKING WINDOW OPENING A
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.04



1 WALL SECTION - ROOF DECK
SCALE: 1/4" = 1'-0" REF SHEET: 2 / A3.03

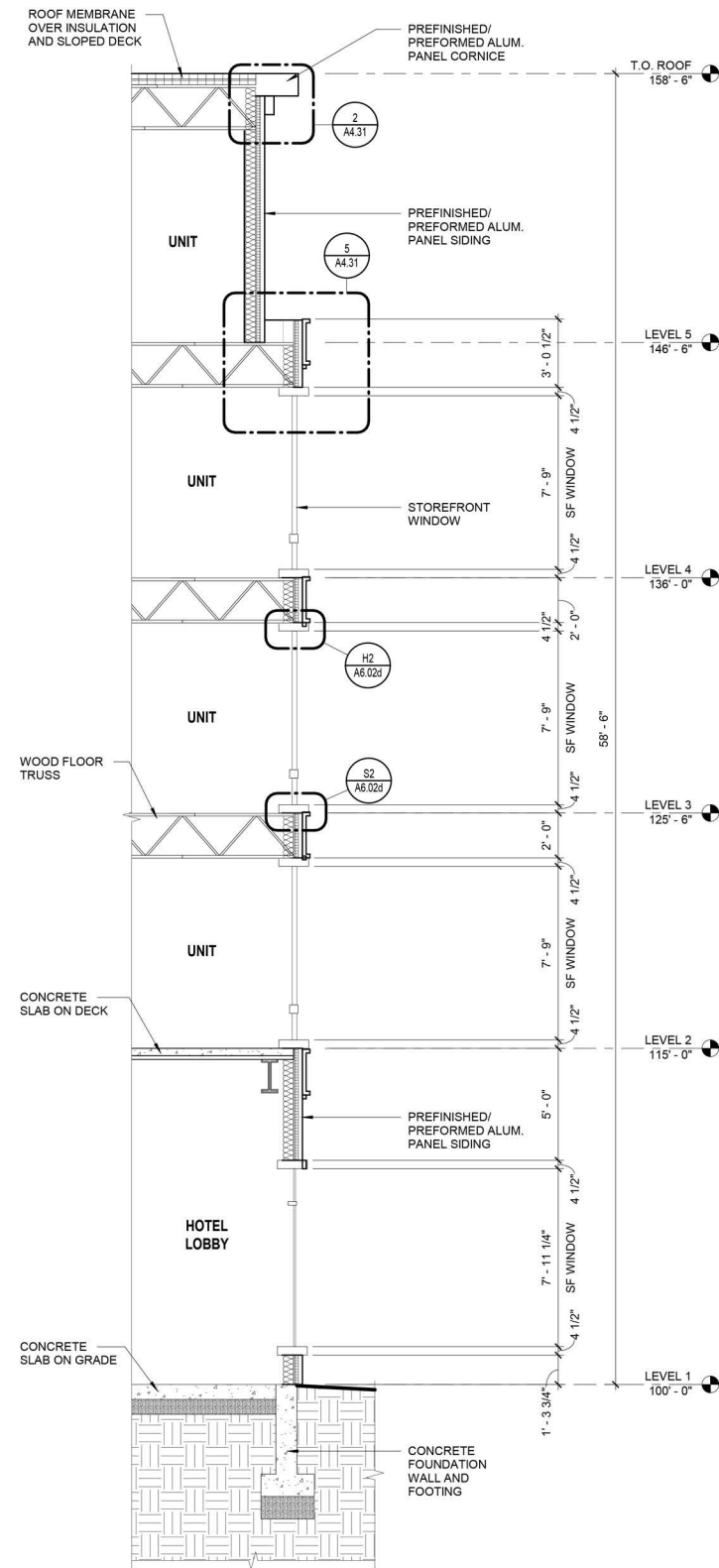


North Scale

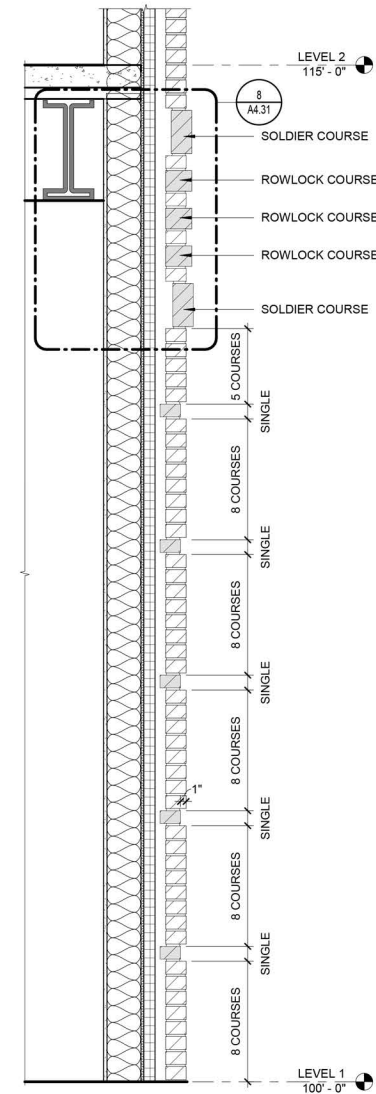
WALL SECTIONS

RAYNES AVE.
HOTEL

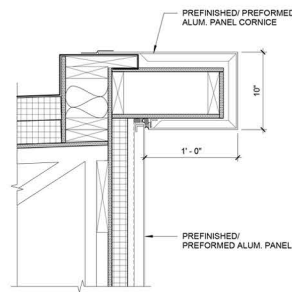
Dwg. No.
A4.12



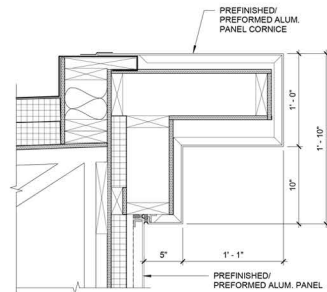
1 WALL SECTION - CORNER BUMP-OUT
SCALE: 1/4" = 1'-0" REF SHEET: 2 / A3.05



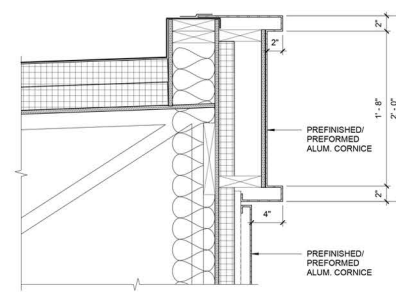
2 BRICK REVEAL DETAIL
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A4.11



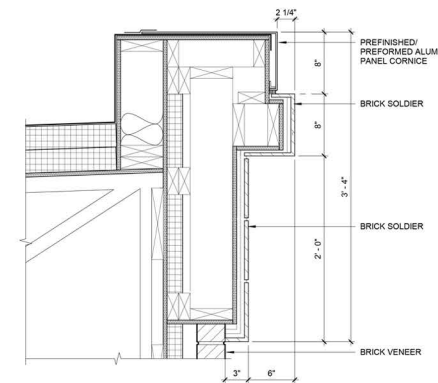
1 PREFORMED METAL CORNICE AT STAIR ROOF
SCALE: 1 1/2" = 1'-0" REF SHEET: 3 / A4.11



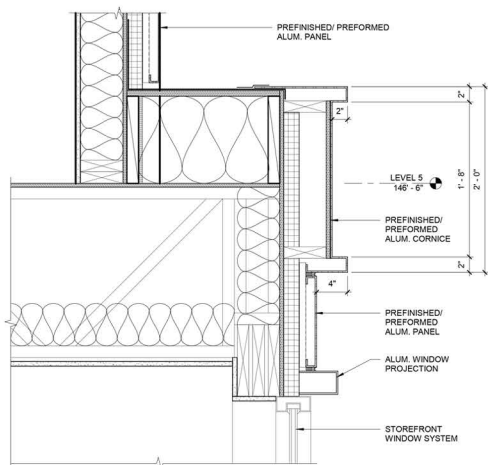
2 PREFORMED METAL CORNICE AT ROOF
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.11



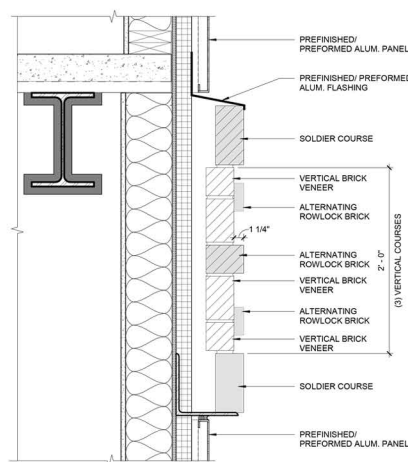
3 PREFORMED METAL CORNICE AT ENTRY ROOF
SCALE: 1 1/2" = 1'-0" REF SHEET: 2 / A4.11



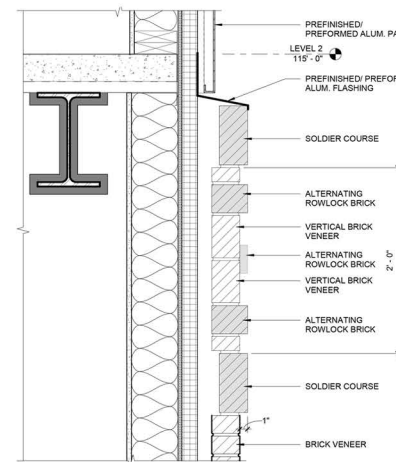
4 BRICK CORNICE AT L5
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.12



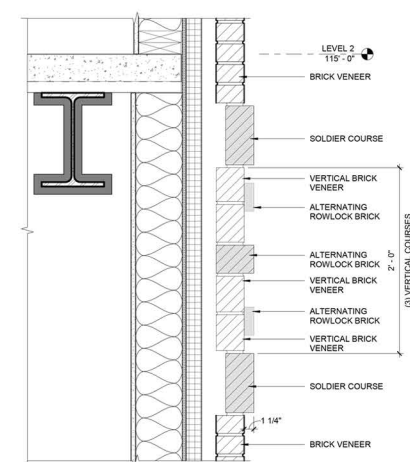
5 PREFORMED METAL CORNICE AT BUMP-OUT
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.13



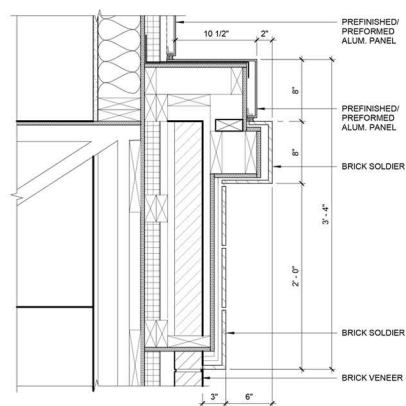
6 BRICK BAND DETAIL AT METAL PANEL/ METAL PANEL
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.12



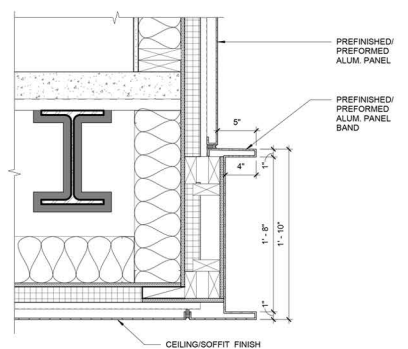
7 BRICK BAND DETAIL AT METAL PANEL/ BRICK
SCALE: 1 1/2" = 1'-0" REF SHEET: 2 / A4.12



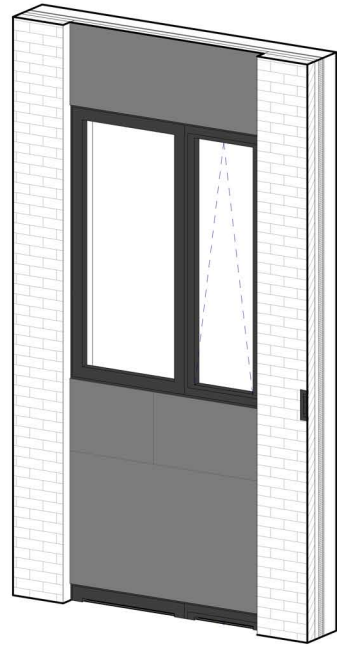
8 BRICK BAND DETAIL AT BRICK/ BRICK
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.11



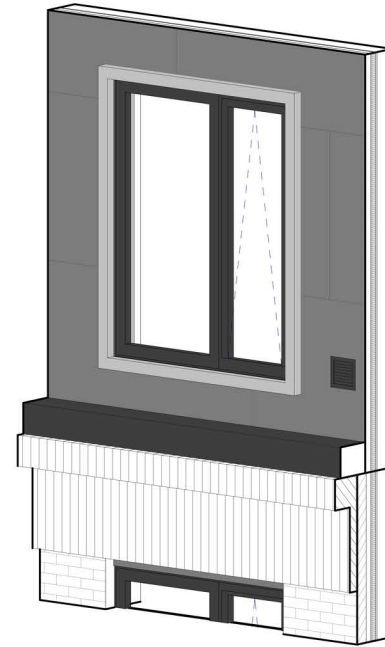
9 BRICK BAND AT L5
SCALE: 1 1/2" = 1'-0" REF SHEET: 1 / A4.11



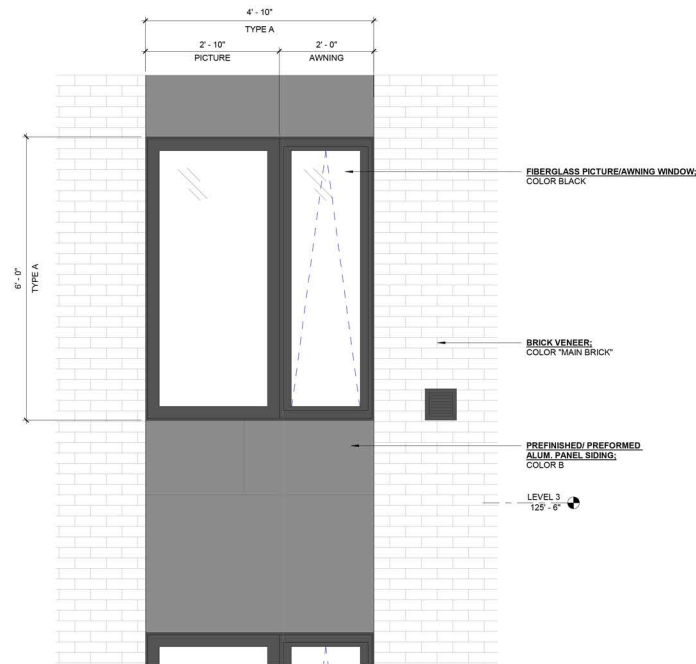
10 PREFORMED METAL BAND AT L2 OVERHANG
SCALE: 1 1/2" = 1'-0" REF SHEET: 5 / A4.11



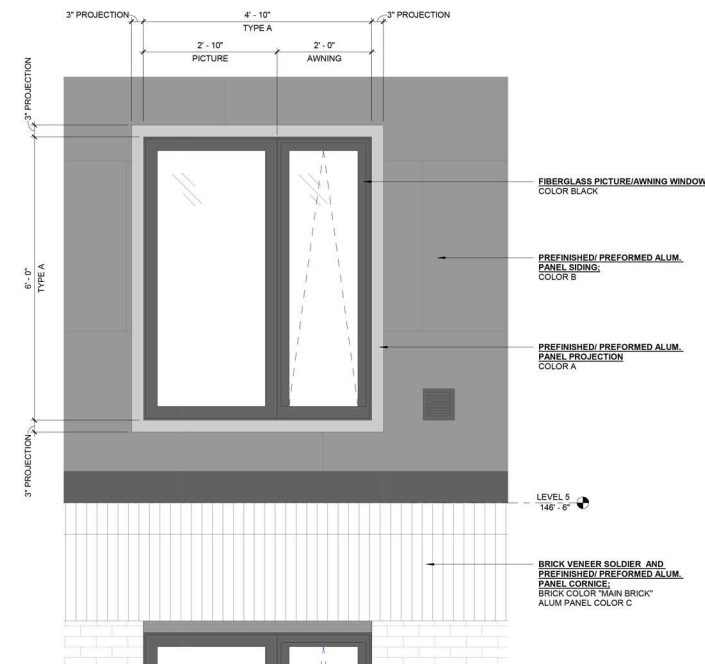
1A ENLARGED FIBERGLASS WINDOW IN METAL PANEL/BRICK VENEER LEVEL 2-4 3D



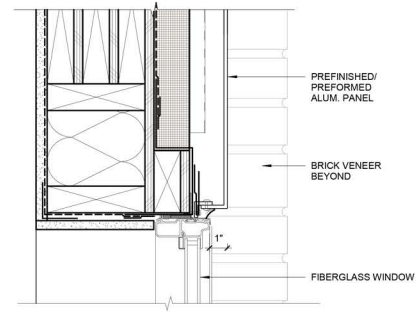
2A ENLARGED FIBERGLASS WINDOW IN METAL PANEL LEVEL 5 3D



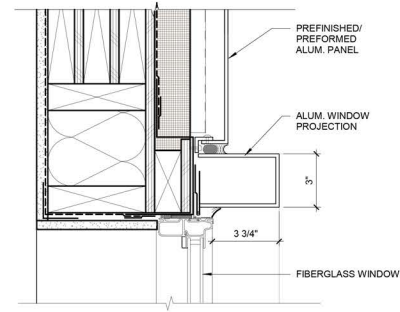
1 ENLARGED FIBERGLASS WINDOW IN METAL PANEL/BRICK VENEER LEVEL 2-4
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



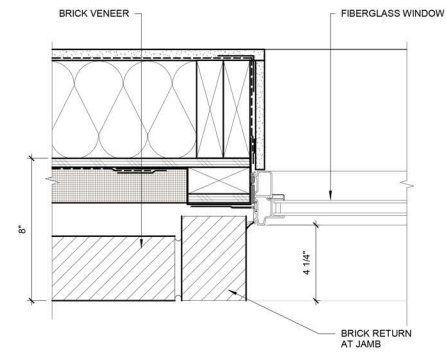
2 ENLARGED FIBERGLASS WINDOW IN METAL PANEL LEVEL 5
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



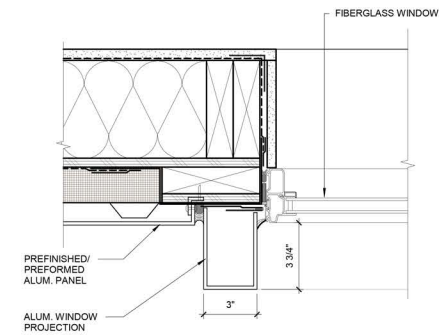
H1 FIBERGLASS WINDOW HEAD AT BRICK
SCALE: 3" = 1'-0"



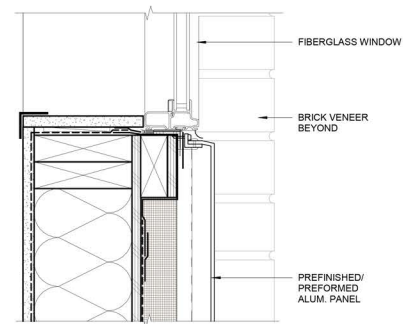
H2 FIBERGLASS WINDOW HEAD W/ PROJECTION
SCALE: 3" = 1'-0"



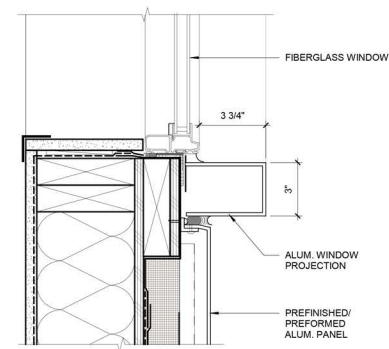
J1 FIBERGLASS WINDOW JAMB AT BRICK
SCALE: 3" = 1'-0"



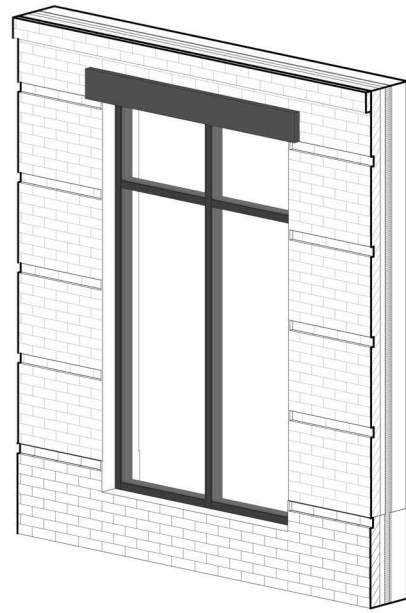
J2 FIBERGLASS WINDOW JAMB W/ PROJECTION
SCALE: 3" = 1'-0"



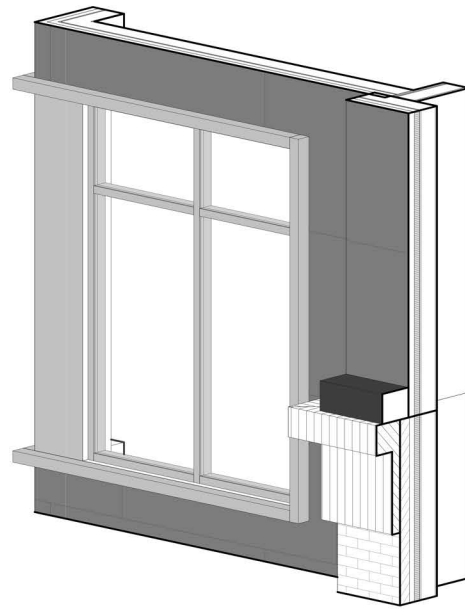
S1 FIBERGLASS WINDOW SILL AT BRICK
SCALE: 3" = 1'-0"



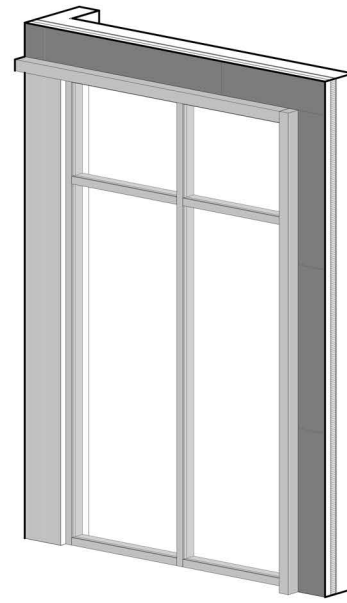
S2 FIBERGLASS WINDOW SILL W/ PROJECTION
SCALE: 3" = 1'-0"



1A ENLARGED STOREFRONT WINDOW ELEVATION IN BRICK VENEER LEVEL 1 3D



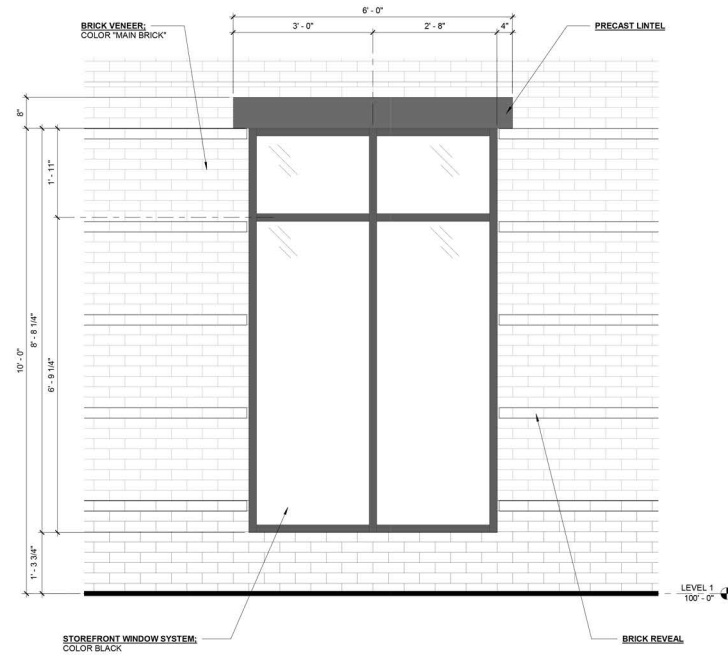
2A ENLARGED STOREFRONT WINDOW IN METAL PANEL AT STAIR LEVEL 2-5 3D



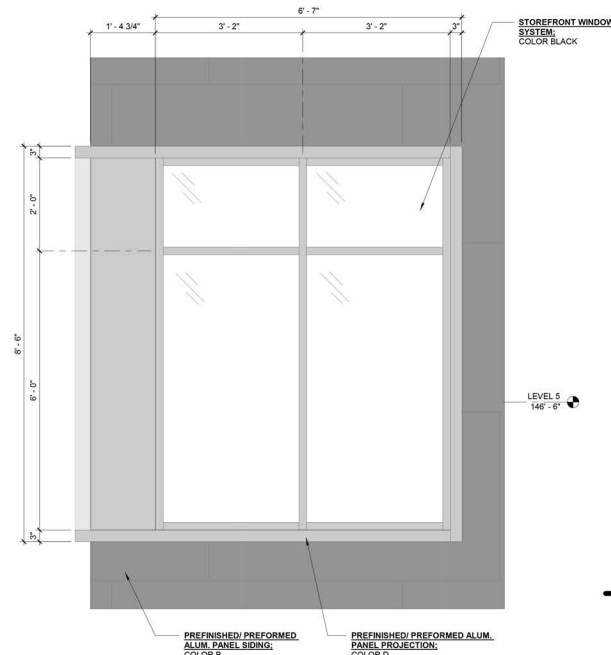
3A ENLARGED STOREFRONT WINDOW IN METAL PANEL AT STAIR LEVEL 1 3D



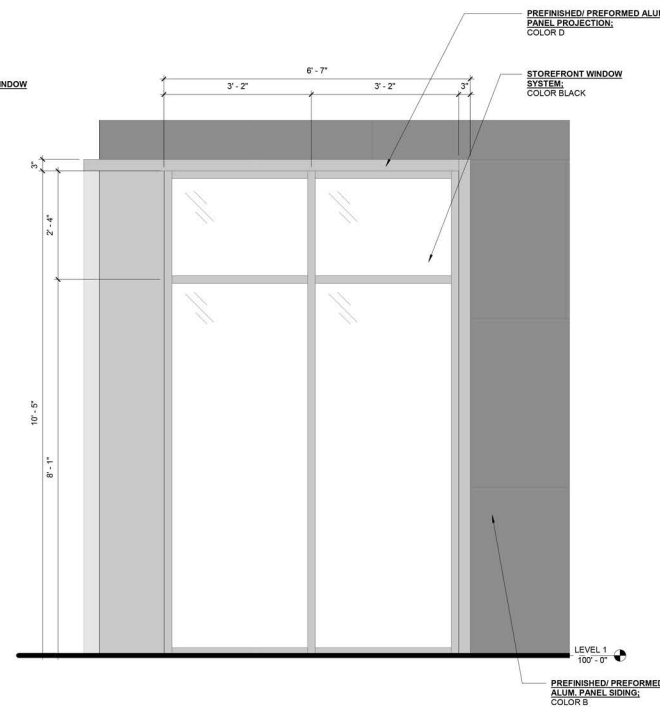
4A ENLARGED STOREFRONT WINDOW/DOOR IN METAL PANEL AT STAIR LEVEL 1 3D



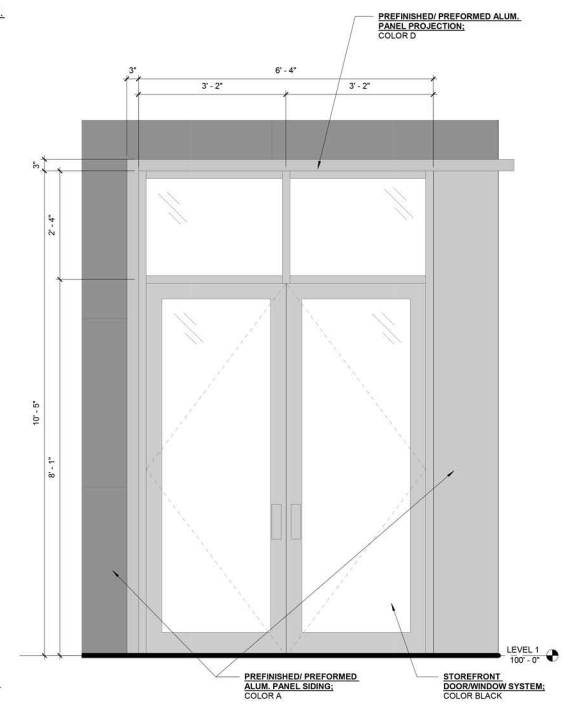
1 ENLARGED STOREFRONT WINDOW ELEVATION IN BRICK VENEER LEVEL 1
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



2 ENLARGED STOREFRONT WINDOW IN METAL PANEL AT STAIR LEVEL 2-5
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



3 ENLARGED STOREFRONT WINDOW IN METAL PANEL AT STAIR LEVEL 1
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



4 ENLARGED STOREFRONT WINDOW/DOOR IN METAL PANEL AT STAIR LEVEL 1
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.02



North Scale

ALUMINUM STOREFRONT ELEVATIONS

RAYNES AVE. HOTEL Project

Dwg. No. **A6.02a**

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

4.18
NOT TO SCALE



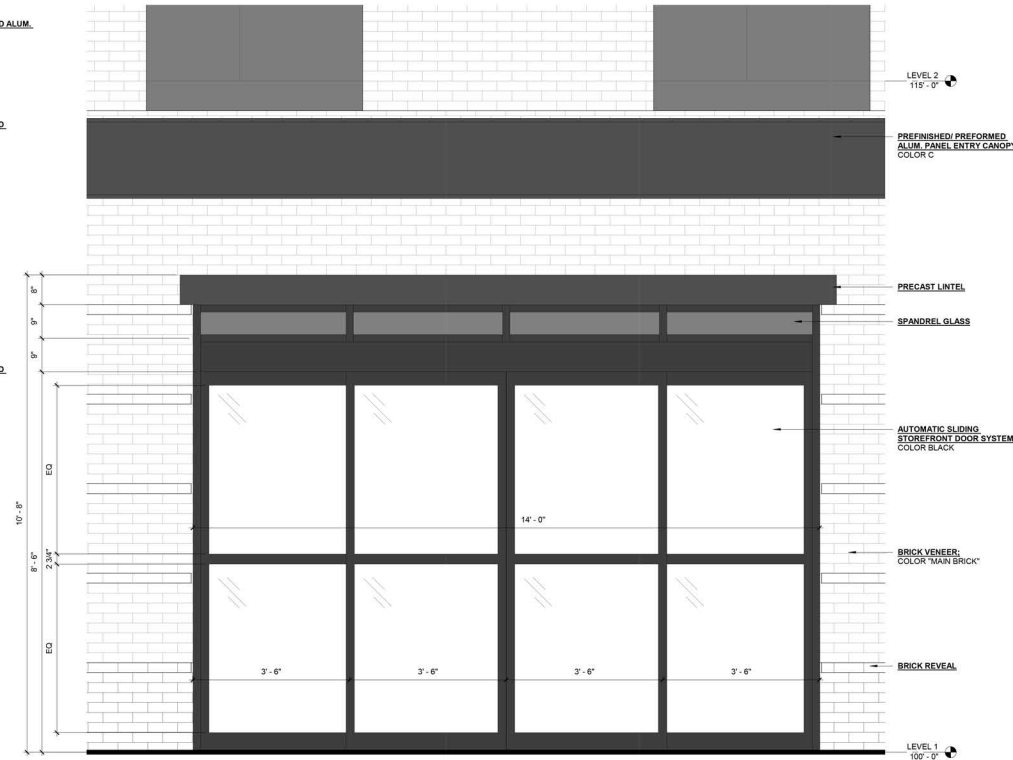
1 ENLARGED STOREFRONT ELEVATION AT HOTEL ENTRY 1 3D



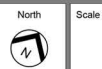
4 ENLARGED STOREFRONT ELEVATION AT HOTEL ENTRY 2 3D



3 ENLARGED STOREFRONT WINDOW AT HOTEL ENTRY 1
 SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



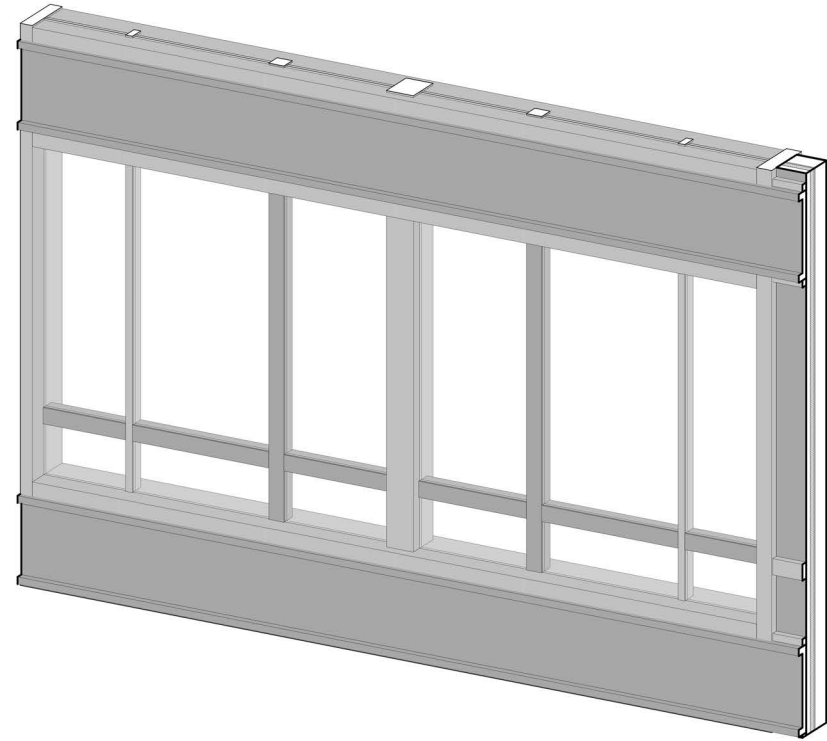
2 ENLARGED WINDOW ELEVATION AT HOTEL ENTRY 2
 SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.02



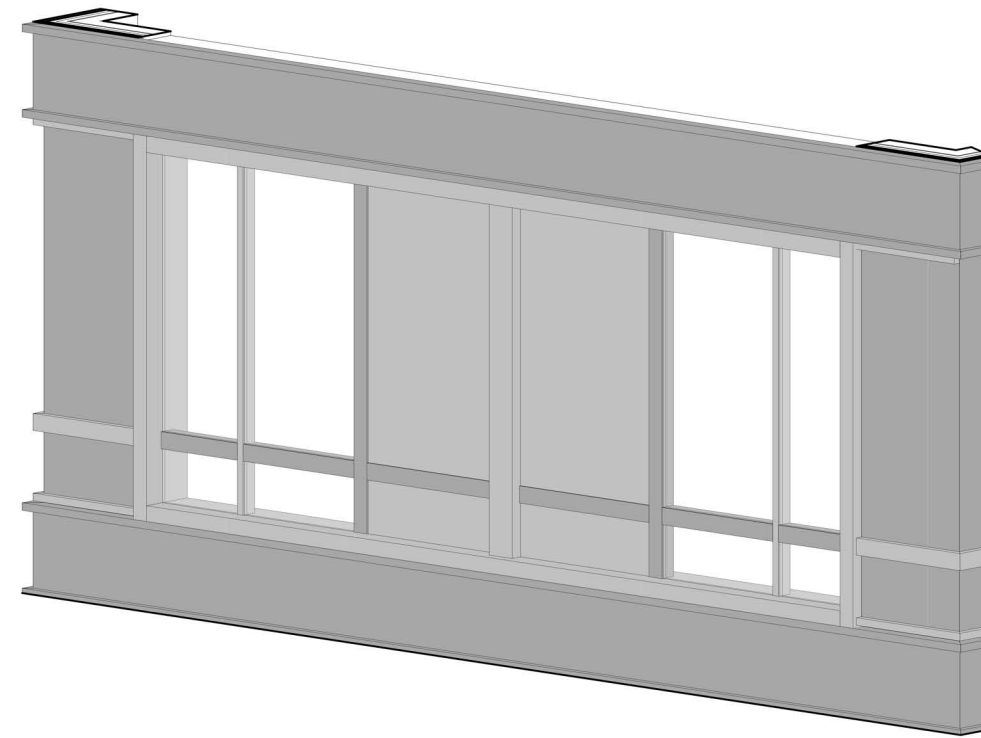
ALUMINUM STOREFRONT ELEVATIONS

RAYNES AVE. HOTEL

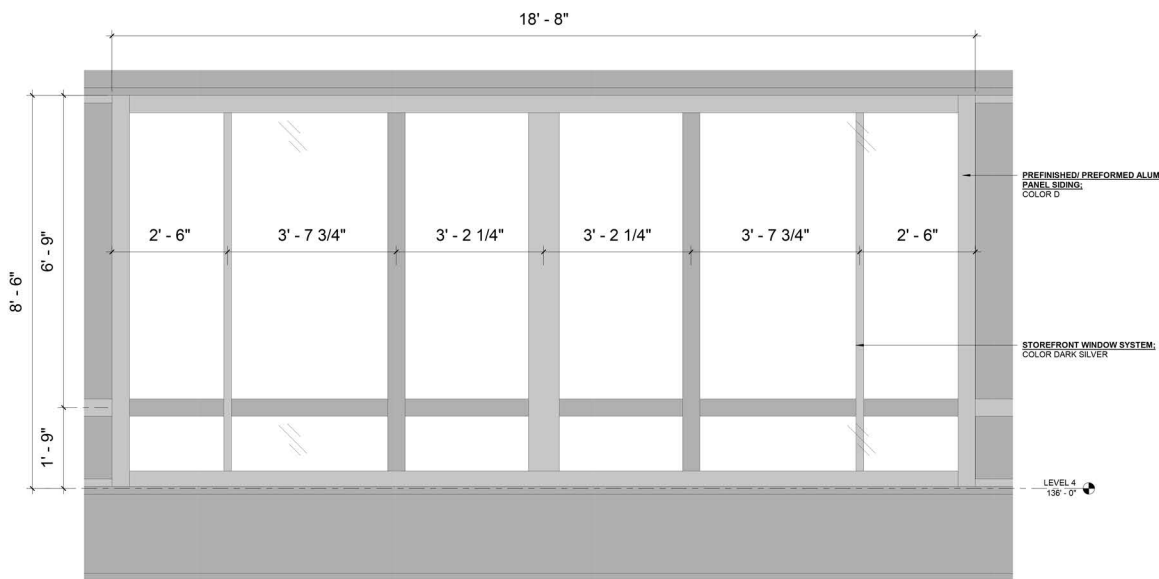
Dwg. No. A6.02b



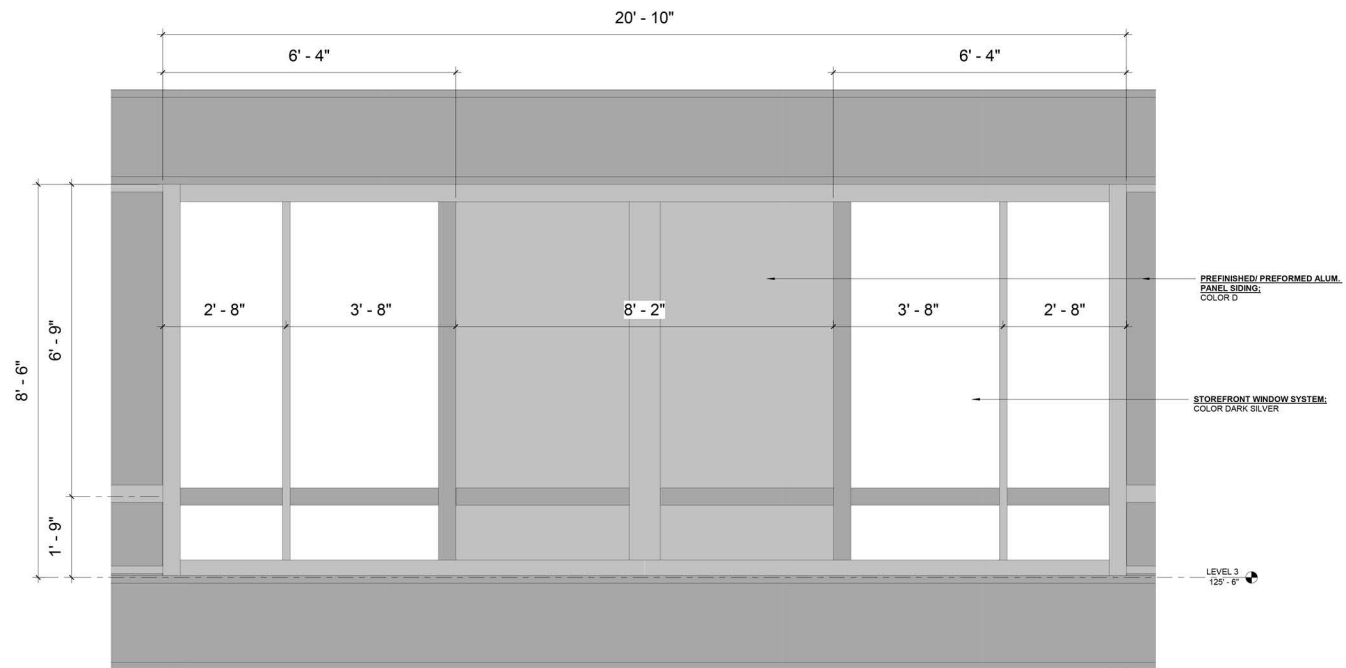
1A ENLARGED STOREFRONT ELEVATION AT ENTRY LEVEL 2-5 3D



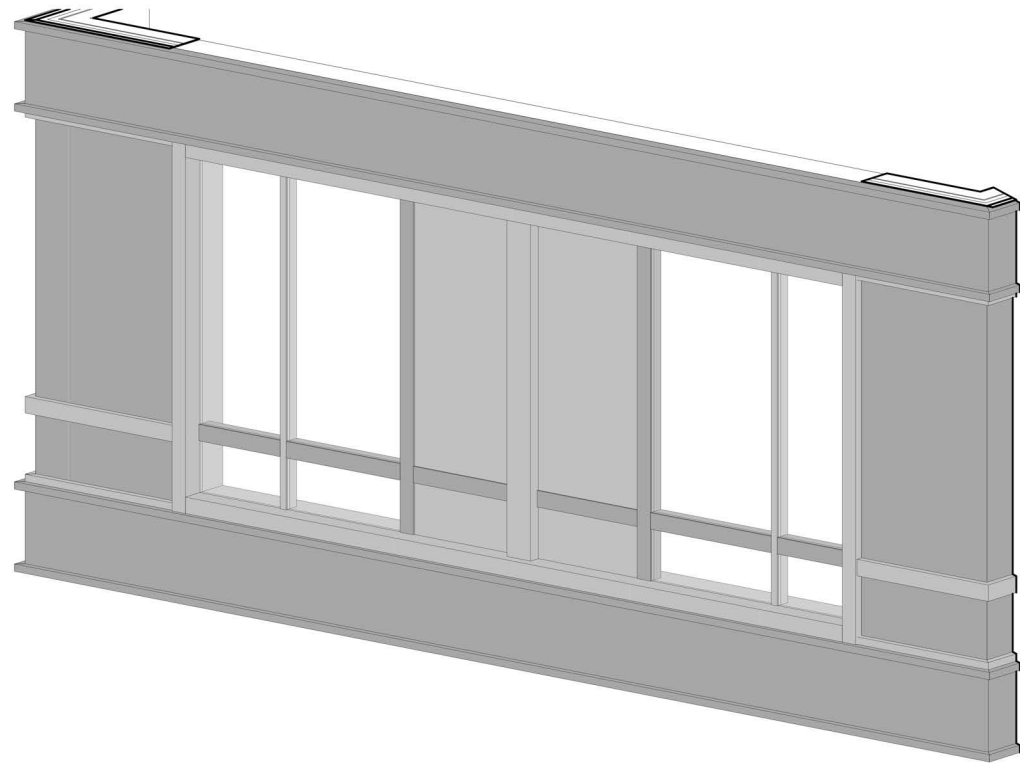
2A ENLARGED STOREFRONT WINDOW IN METAL PANEL AT FRONT LEVEL 1-4 3D



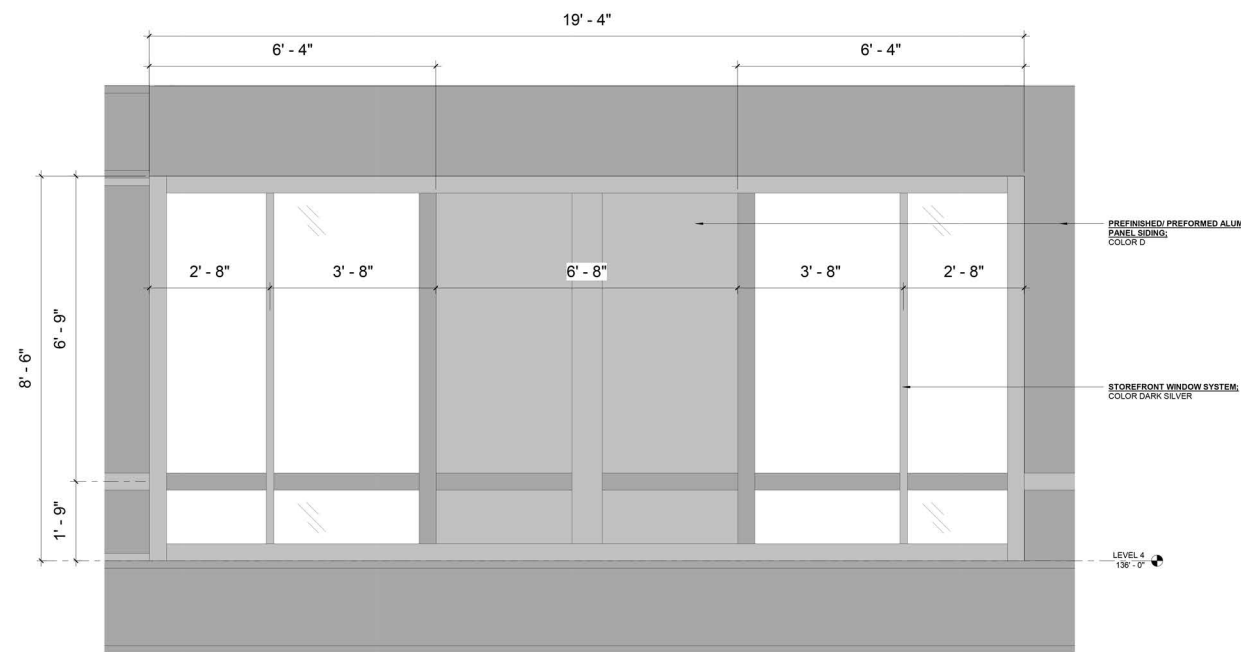
1 ENLARGED STOREFRONT WINDOW AT ENTRY LEVEL 2-5
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



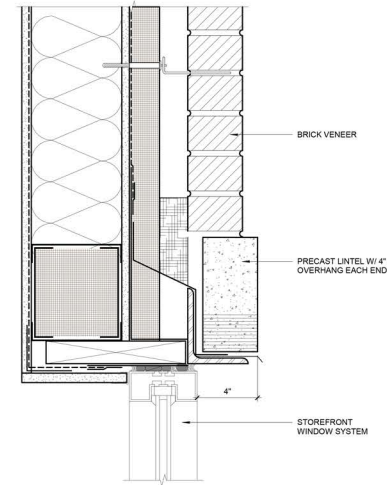
2 ENLARGED STOREFRONT WINDOW IN METAL PANEL AT FRONT LEVEL 1-4
SCALE: 3/4" = 1'-0" REF SHEET: 2 / A3.05



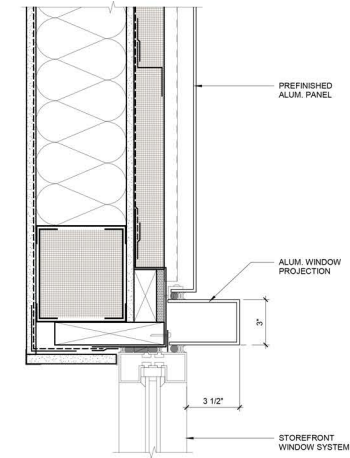
1A ENLARGED STOREFRONT WINDOW IN METAL PANEL AT SIDE
LEVEL 2-5 3D



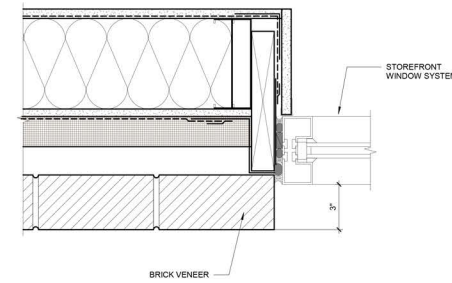
1 ENLARGED STOREFRONT WINDOW IN METAL PANEL AT SIDE
LEVEL 2-5
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.05



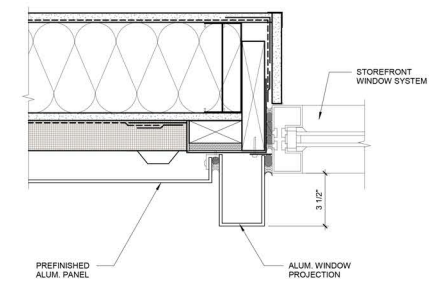
H1 STOREFRONT HEAD AT BRICK
SCALE: 3" = 1'-0"



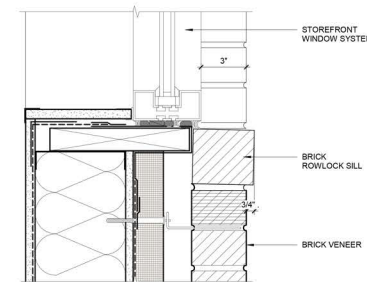
H2 STOREFRONT HEAD W/ PROJECTION
SCALE: 3" = 1'-0"



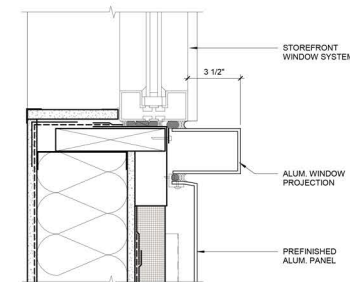
J1 STOREFRONT JAMB AT BRICK
SCALE: 3" = 1'-0"



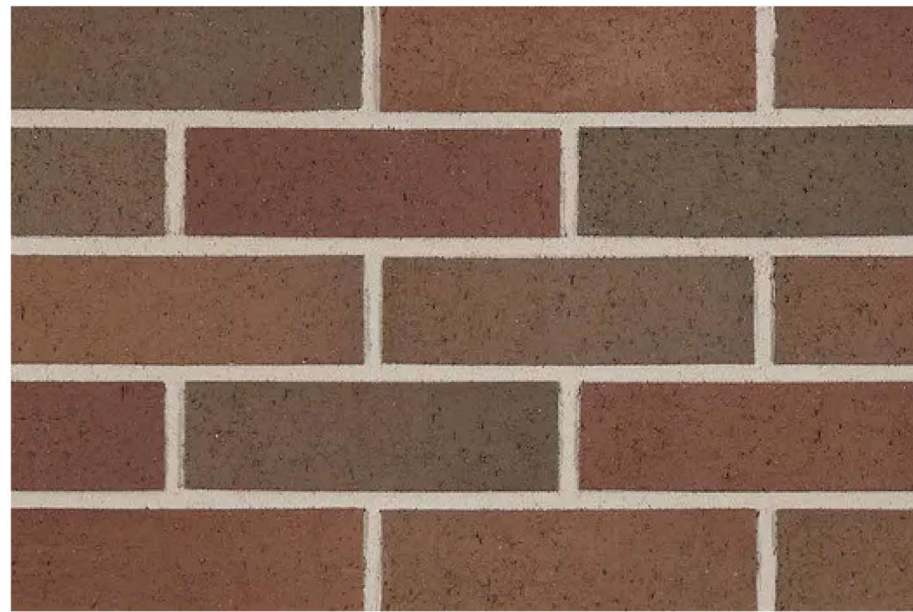
J2 STOREFRONT JAMB W/ PROJECTION
SCALE: 3" = 1'-0"



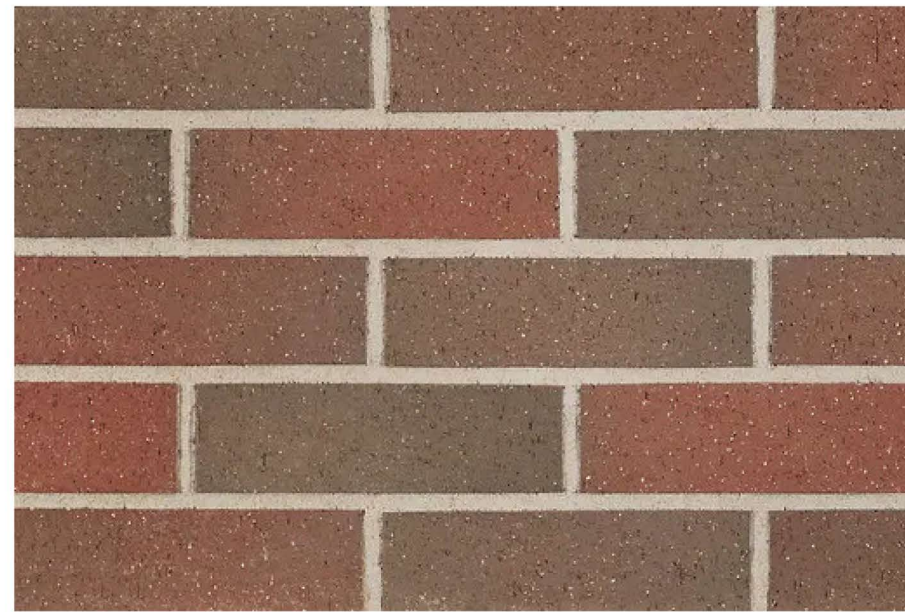
S1 STOREFRONT SILL AT BRICK
SCALE: 3" = 1'-0"



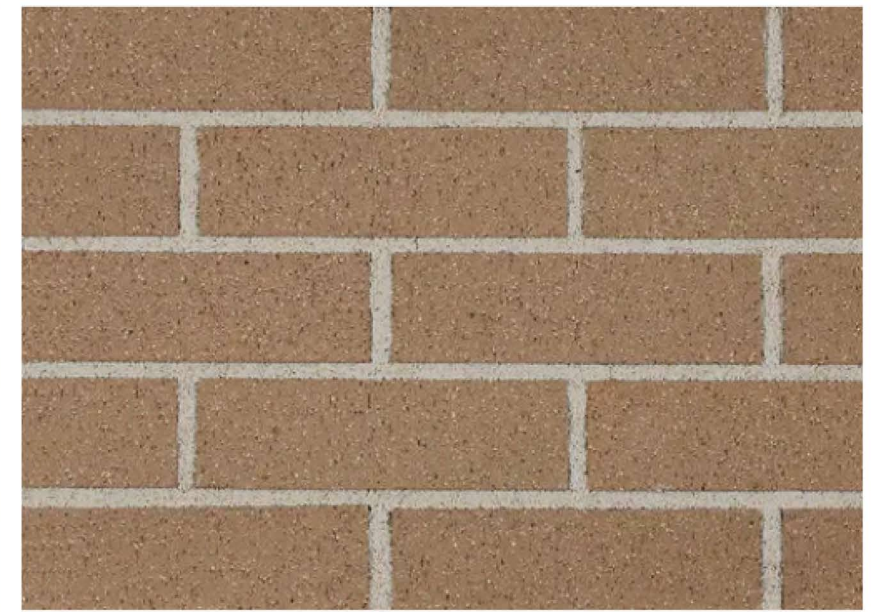
S2 STOREFRONT SILL W/ PROJECTION
SCALE: 3" = 1'-0"



HOTEL MAIN BRICK
MANUFACTURER: BELDEN
COLOR: CLARET FULL RANGE VELOUR
MORTAR: SGS 85X DARK CHOCOLATE
SPECIAL INSTRUCTIONS: RUNNING BOND



MIXED-USE MAIN BRICK A
MANUFACTURER: BELDEN
COLOR: ADMIRAL FULL RANGE VELOUR
MORTAR: NATURAL PORTLAND CEMENT
SPECIAL INSTRUCTIONS: RUNNING BOND



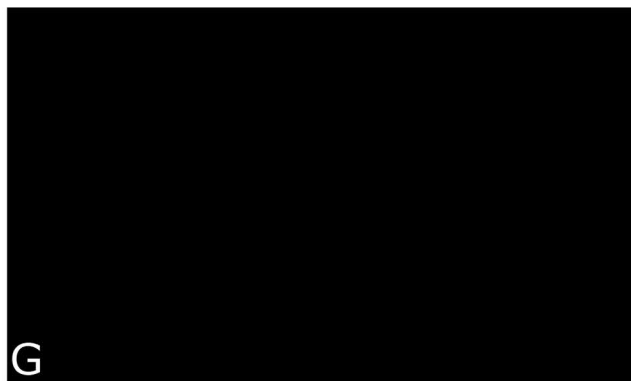
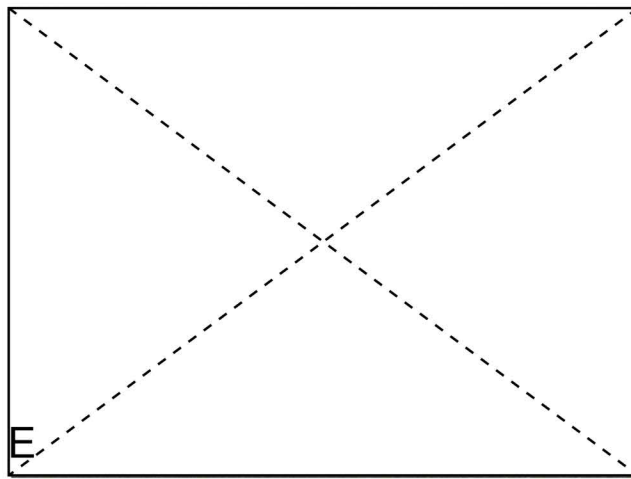
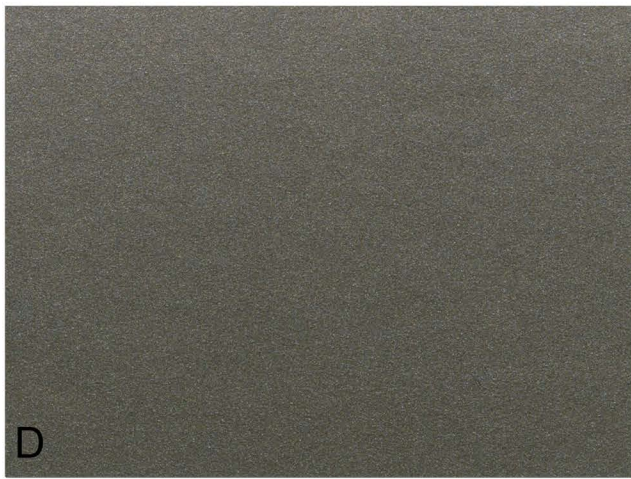
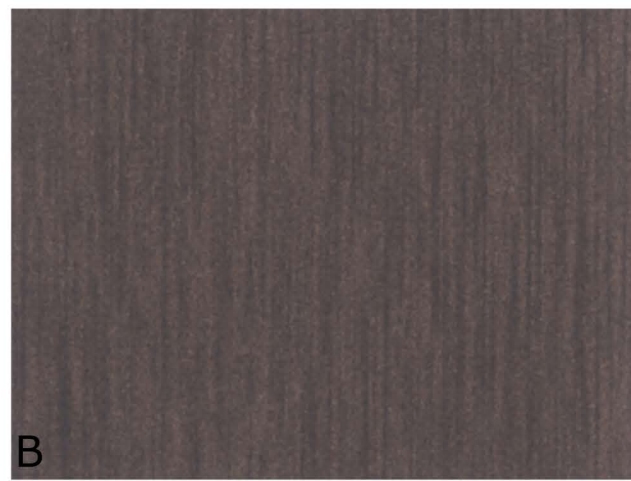
MIXED USE MAIN BRICK B
MANUFACTURER: BELDEN
COLOR: TUMBLEWEED VELOUR
MORTAR: SGS 10X LT BUFF
SPECIAL INSTRUCTIONS: RUNNING BOND



ACCENT BRICK
MANUFACTURER: ENDICOTT
COLOR: MANGANESE IRONSPOT - SMOOTH
MORTAR: SGS 94X IRON BLACK
SPECIAL INSTRUCTIONS: RUNNING BOND



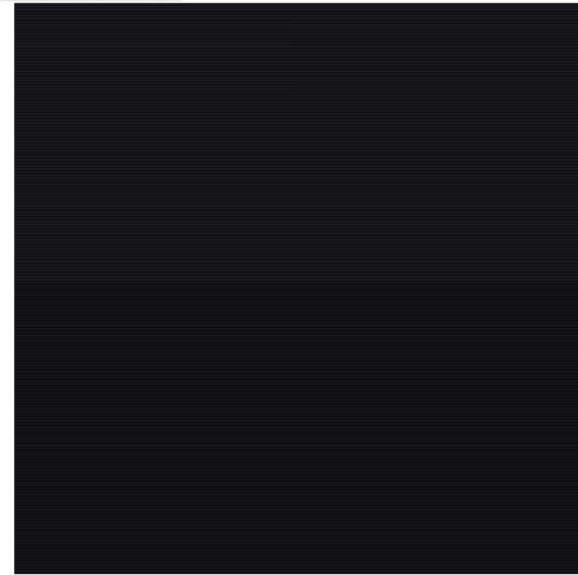
MIXED-USE ACCENT BRICK
MANUFACTURER: ENDICOTT
COLOR: MANGANESE IRONSPOT - SMOOTH
MORTAR: SGS 94X IRON BLACK
SPECIAL INSTRUCTIONS: RUNNING BOND



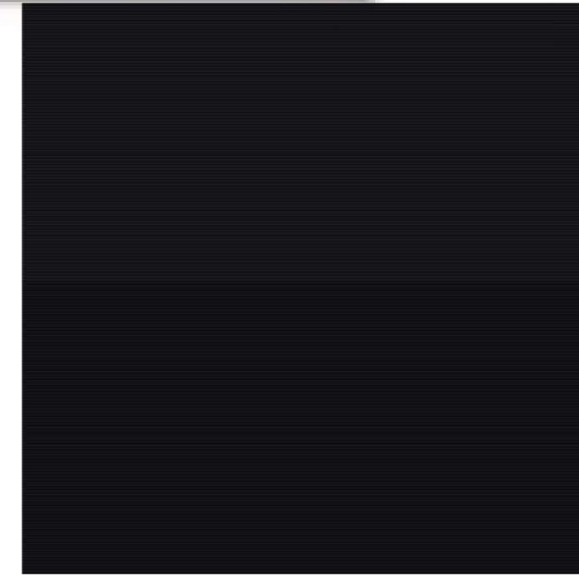
PREFORMED ALUMINUM PANEL
 MANUFACTURER: VITRABOND
 COLOR: A = FAUX ZINC LIGHT
 D = DARK GREY METTALIC
 G = BLACK

B = FAUX ZINC DARK
 E = NOT USED

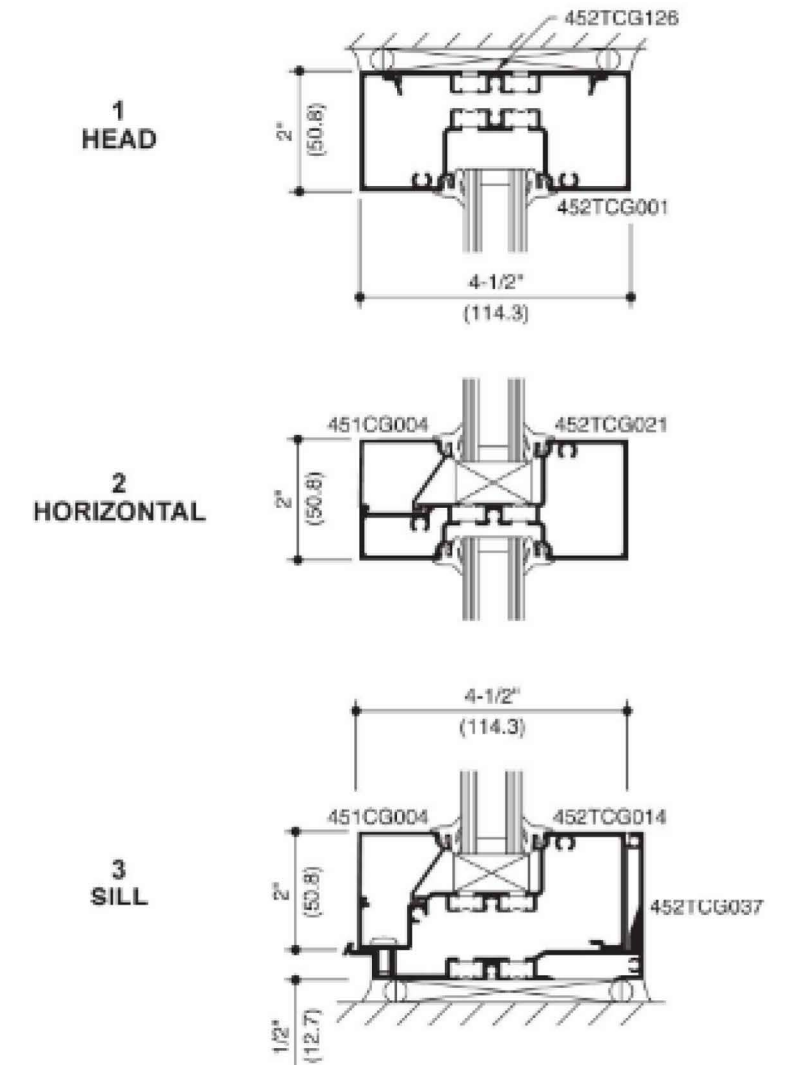
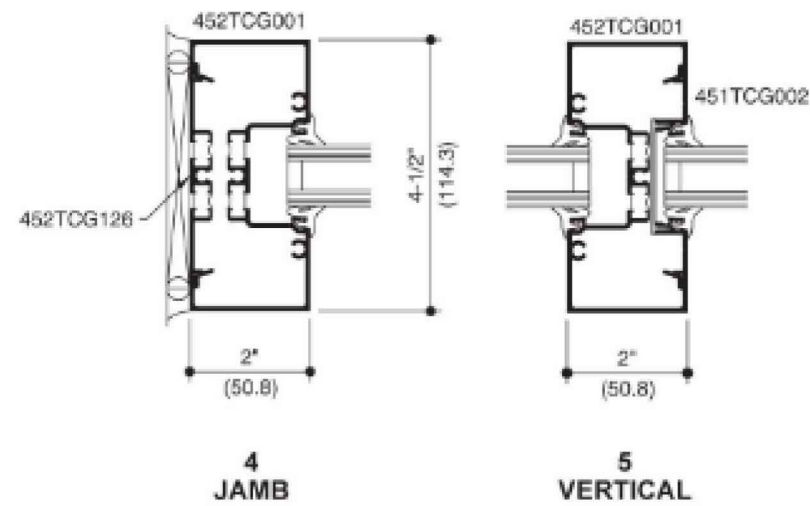
C = FAUX ZINC CHARCOAL
 F = CADET GREY



MIXED-USE
DOUBLE-HUNG WINDOWS
MANUFACTURER: MARVIN
SERIES: ESSENTIAL
COLOR: EBONY



MIXED-USE
PATIO DOORS
MANUFACTURER: MARVIN
SERIES: ESSENTIAL
COLOR: EBONY



HOTEL FIBERGLASS WINDOW
 MANUFACTURER: MARVIN - ESSENTIALS
 SERIES: ESSENTIAL PICTURE
 & AWNING WINDOWS
 COLOR: BLACK

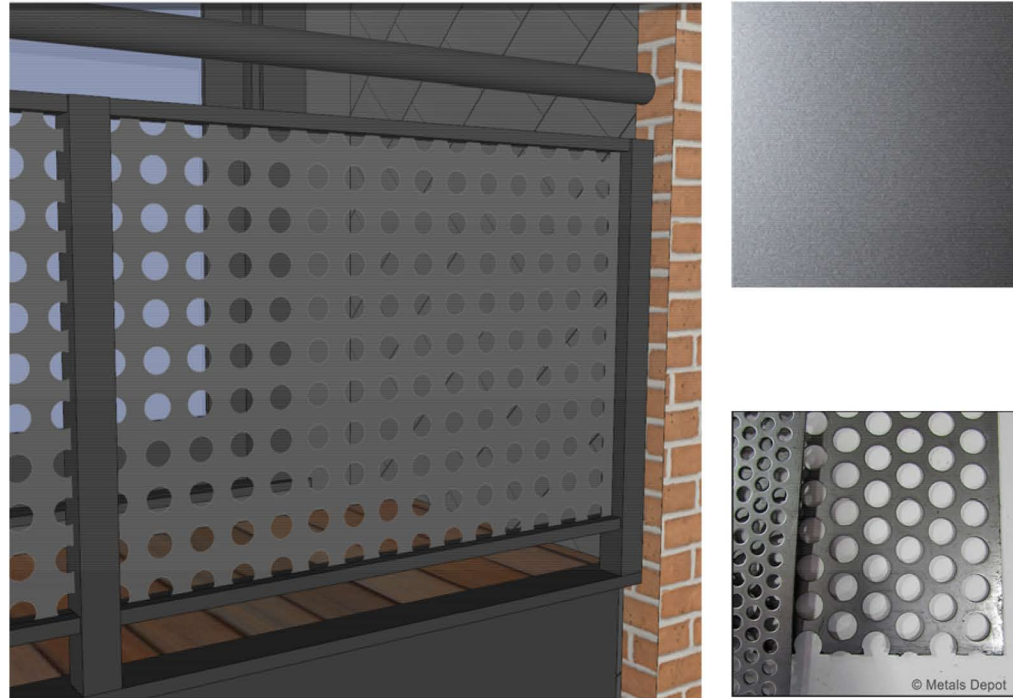
ALUMINUM STOREFRONT
 MANUFACTURER: KAWNEER
 SERIES: TRIFAB 451 UT
 COLOR: BLACK

RAYNES AVENUE
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MATERIALS

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
 JANUARY 4, 2023





MIXED-USE BALCONY RAILING
 MANUFACTURER: METALS DEPOT
 STYLE: 1" HOLE - PS111
 COLOR: KYNAR - PEWTER SILVER



CAST STONE
 MANUFACTURER: NORTHERN DESIGN ARCHITECTURAL
 FINISH: LIGHT ETCH
 COLOR: SLATE



LAP SIDING
 MANUFACTURER: JAMES HARDIE
 STYLE: PLANK SIDING - LAP
 FINISH: SMOOTH
 COLOR: SEE ABOVE



MIXED-USE ENTRY LIGHT
 MANUFACTURER: MODERN FORMS
 MODEL: SUSPENSE
 COLOR: BLACK

MIXED-USE ENTRY LIGHT
 MANUFACTURER: MODERN FORMS
 MODEL: MIDNIGHT
 COLOR: BLACK

MIXED-USE ENTRY LIGHT
 MANUFACTURER: MODERN FORMS
 MODEL: BLADE
 COLOR: BLACK

APPENDIX:

- PROJECT DATA
- PUZZLE PARKING SYSTEM
- 30"x42" (DUPLICATE) SCALE DRAWINGS FOR RECORD



RAYNES AVENUE

PLAN PORTSMOUTH 3D MODEL: AREA 7
CHARACTER DISTRICT: CD-4

BUILDING TOTALS:

RESIDENTIAL: 68,000 - 32 UNITS
HOTEL: 66,000 - 124 UNITS

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)
DOWNTOWN OVERLAY DISTRICT
NORTH END INCENTIVE OVERLAY DISTRICT
HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING
HOTEL
RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING):

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM PRINCIPAL FRONT YARD:	15 FT	±16 FT ⁽¹⁾	7.4 FT
MAXIMUM SECONDARY FRONT YARD:	12 FT	±5 FT	N/A
SIDE YARD:	NR	NR	NR
MINIMUM REAR YARD:	5 FT	N/A	N/A
MINIMUM FRONT LOT LINE BUILDOUT:	50%	78.4%	78.4%

(1) - INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12

BUILDING AND LOT OCCUPATION:

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM BUILDING BLOCK LENGTH:	200 FT	141 FT	116 FT
MAXIMUM FACADE MODULATION LENGTH:	80 FT	<80 FT	<80 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	90%	±47.0%	±47.0%
MAXIMUM BUILDING FOOTPRINT:	30,000 SF ⁽²⁾	17,850 SF	14,622 SF
MINIMUM LOT AREA:	NR		
MINIMUM LOT AREA PER DWELLING UNIT:	NR	35.4%	
MINIMUM OPEN SPACE:	10%	7,720 SF	8,911 SF
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF		

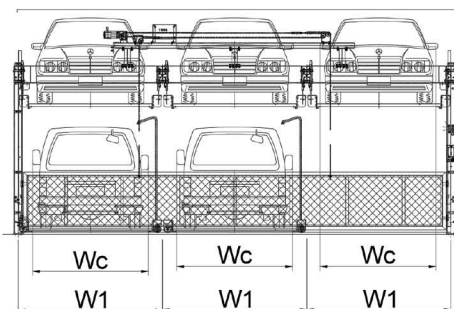
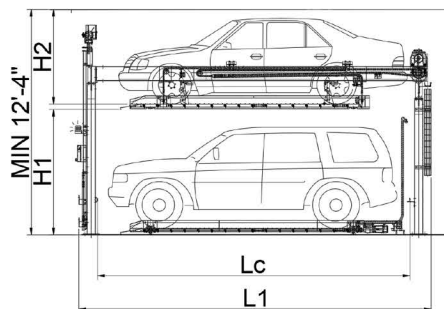
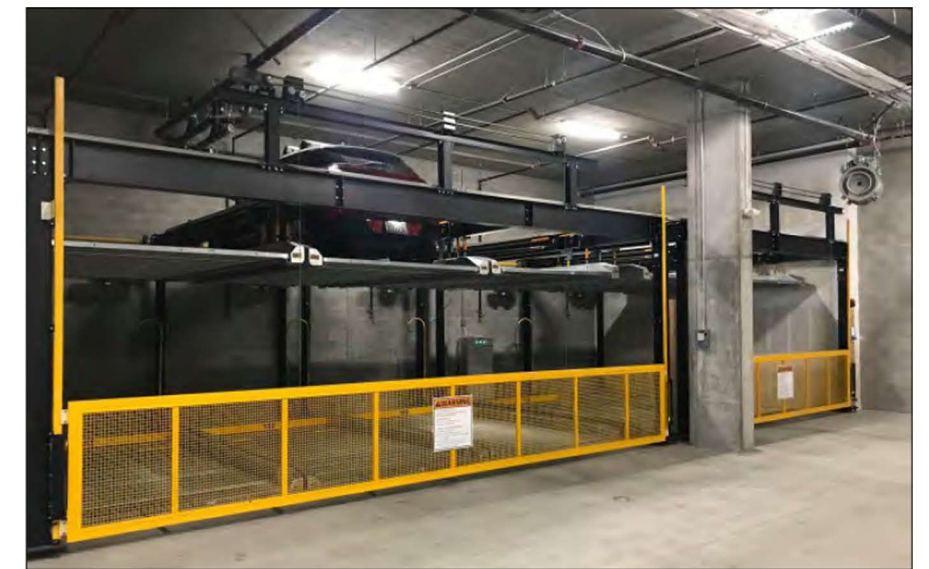
(2) - INCREASE ABOVE 15,000 SF ALLOWED PER 10.5A46.10

BUILDING FORM (PRINCIPAL BUILDING):

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
BUILDING HEIGHT:	5 STORY ⁽³⁾ 60 FT	5 STORY 59.77 FT	5 STORY 57.90 FT
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	15 FT	15 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10.5 FT	10.5 FT
FACADE GLAZING:			
SHOP FRONT FACADE TYPE	70%	70%	70%
ALLOWED ROOF TYPES			
FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT	



PROPOSED VIEW



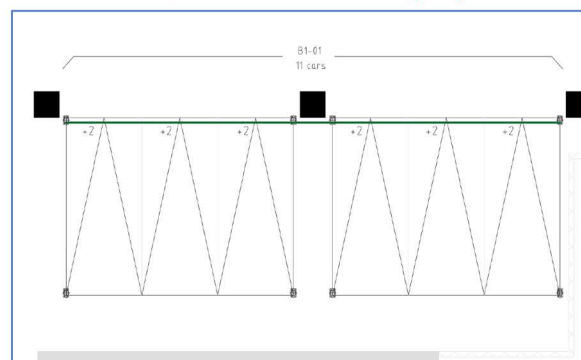
(B) Elevation Section View

Figure 6. 2-Level Puzzle (Typical)

Table 1. Typical 2-level Puzzle Dimensions
Equipment Dimension and Car Size

Equipment Length (L1)	Equipment Width (W1)
20'-0"	8' - 6"
Car Length (Lc)	Car Width (Wc)
17' - 0"	6' - 10"

TWO-LEVEL PUZZLE (+2)



(A) Design Plan View



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

CIYTLIFT - PUZZLE PARKING SYSTEM
REFERENCE

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL:
JANUARY 4, 2023

