

266, 270, 277 STATE STREET AND 84 PLEASANT STREET
 PORTSMOUTH, NEW HAMPSHIRE
 HISTORIC DISTRICT COMMISSION



Michael J. Keane
 Architects, PLLC

ARCHITECTURE
 PLANNING
 DESIGN

101 Kent Place
 Newmarket, NH
 03857

603-292-1400
 mjkaarchitects.com

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APPROVALS

HDC
 WORK SESSION
 JAN 6, 2021

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PROJECT

RESTORATION AND EXPANSION OF
 266, 270, 278 STATE STREET
 AND 84 PLEASANT ST,
 PORTSMOUTH, NH

PNF TRUST OF 2013
 282 MIDDLE STREET
 PORTSMOUTH, NH
 03801

TITLE

COVER

DRAWN BY:

CHECKED BY:

DATE: 12/18/20

SCALE: AS NOTED

DRAWING NO.

C01



DO NOT SCALE PRINTS



PLEASANT STREET ELEVATION
SCALE: 1/8" = 1'-0"



STATE STREET ELEVATION
SCALE: 1/8" = 1'-0"

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PORTSMOUTH, NH
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TITLE

PLEASANT STREET ELEVATION

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SCALE: AS NOTED

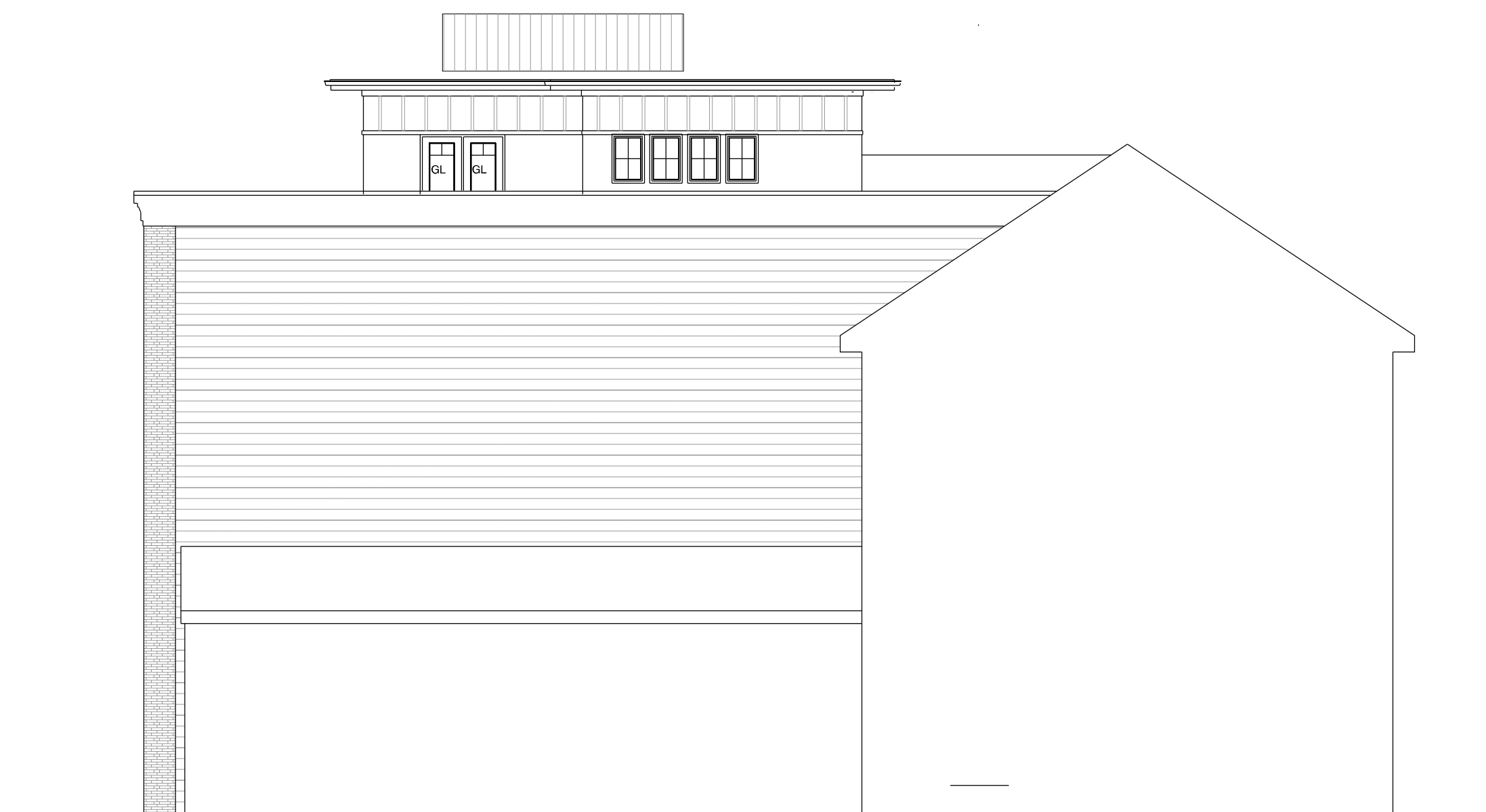
DRAWING NO.

EL-1

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CHURCH STREET ELEVATION
SCALE: 1/8" = 1'-0"



COURT STREET ELEVATION
SCALE: 1/8" = 1'-0"

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TITLE

CHURCH STREET ELEVATIONS

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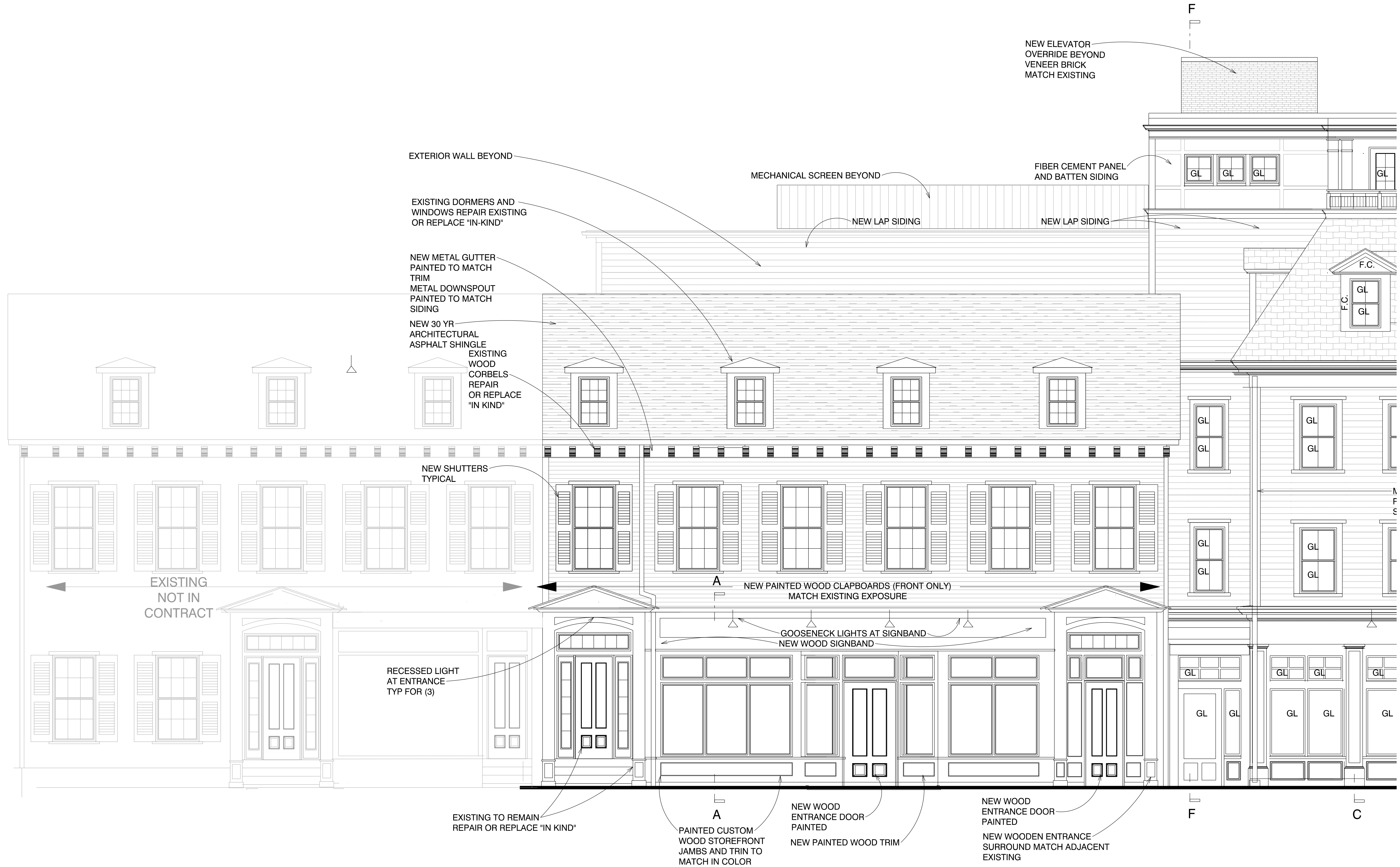
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DRAWING NO.

EL-2

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84 PLEASANT STREET ELEVATION
SCALE: 1/4" = 1'-0"

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TITLE

84 PLEASANT ST ELEV

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EL-3

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EXISTING BRICK
 WALL AND
 CORNICE
 TO REMAIN 12'
 FROM CORNER
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CONSULTANTS
 1/2" REVEAL
 AND CONTROL
 JOINT

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TITLE
 FLOROS PLEASANT ST ELEV

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EL-4

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TITLE

STATE ST ELEV

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DRAWING NO.

EL-5



STATE STREET ELEVATION
 SCALE: 1/4" = 1'-0"

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CHURCH ST ELEV

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EL-6



CHURCH STREET ELEVATION
SCALE: 3/16" = 1'-0"

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TITLE

84 PLEASANT ST NORTH ELEV

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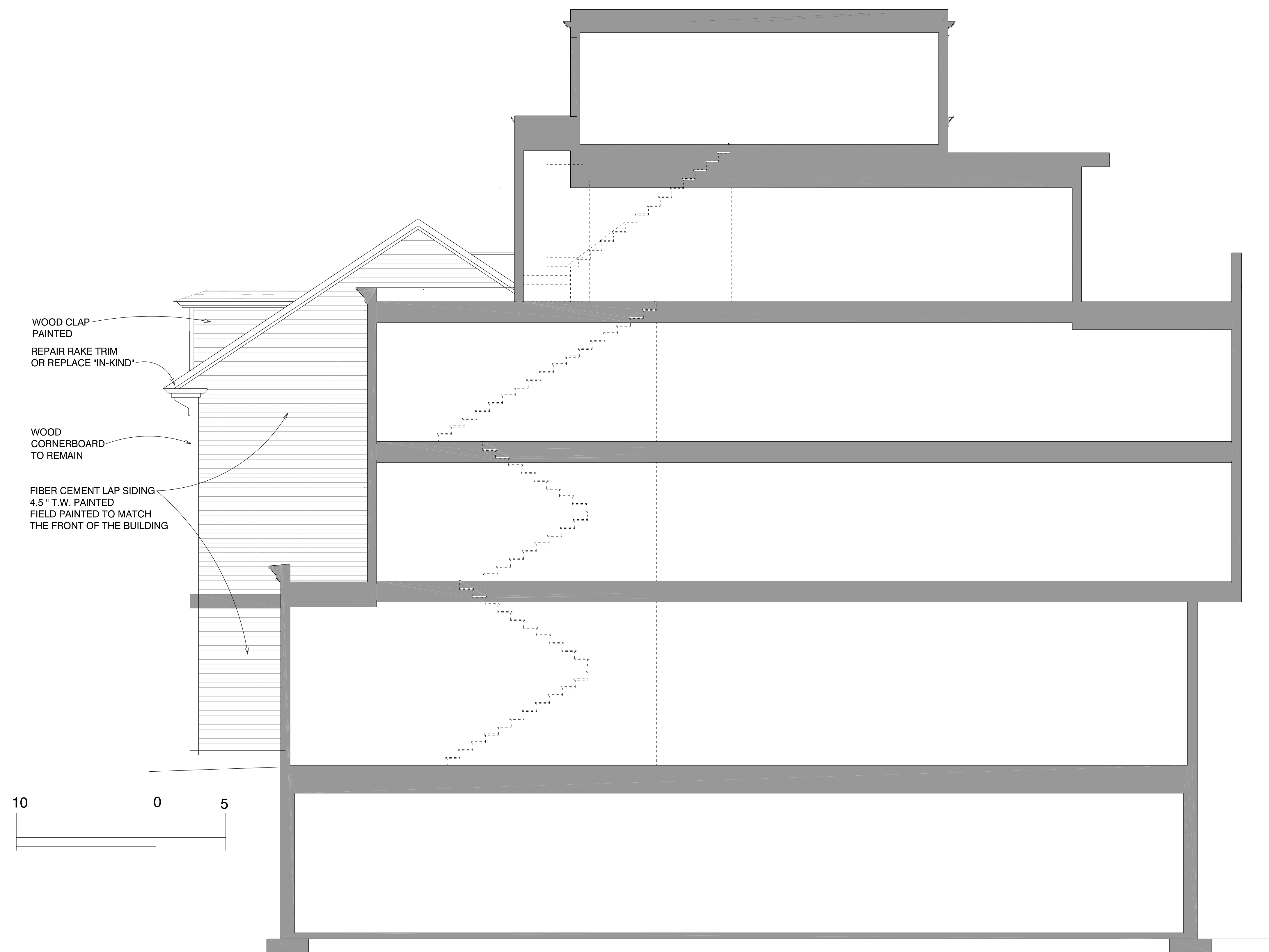
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DATE: 12/18/2020

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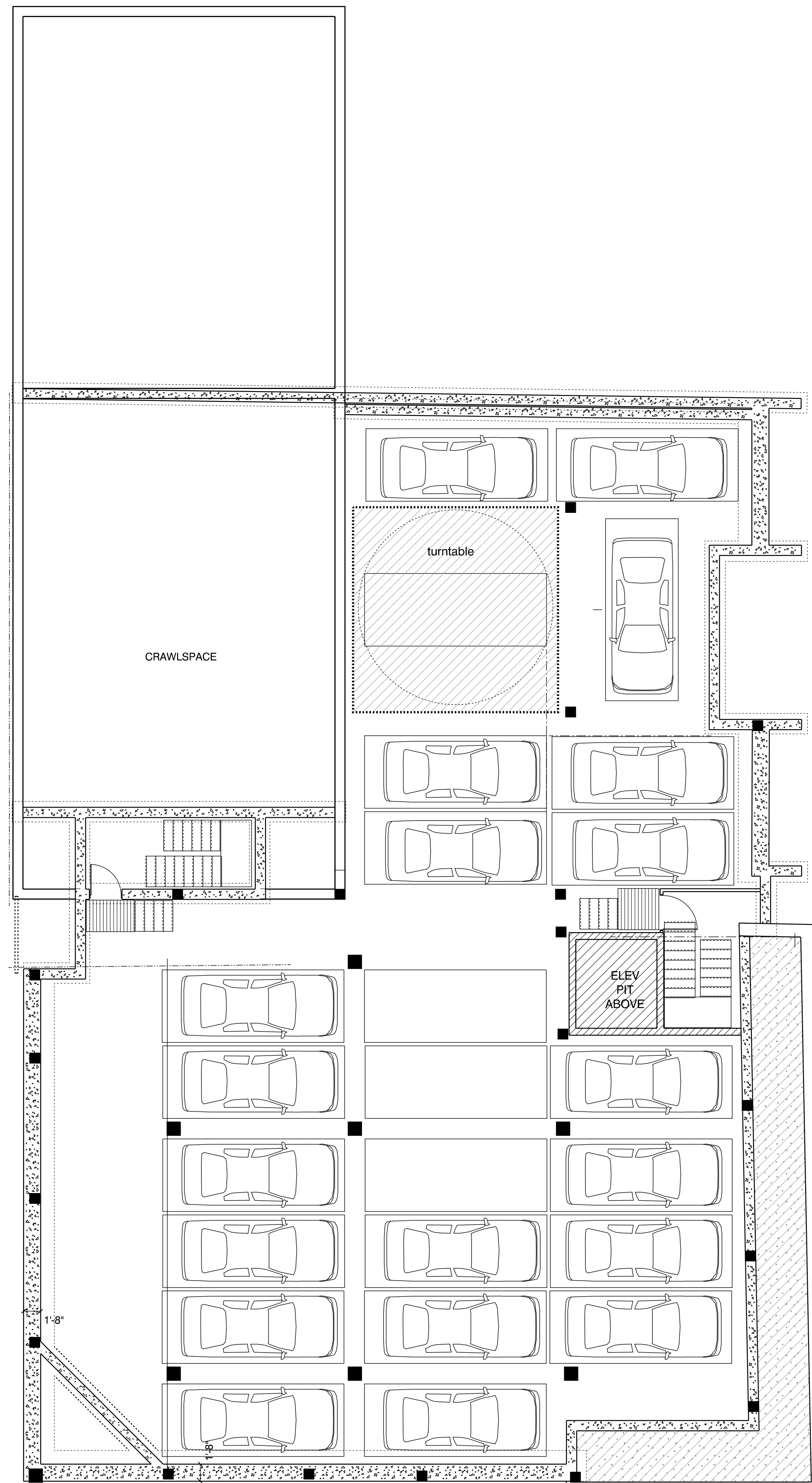
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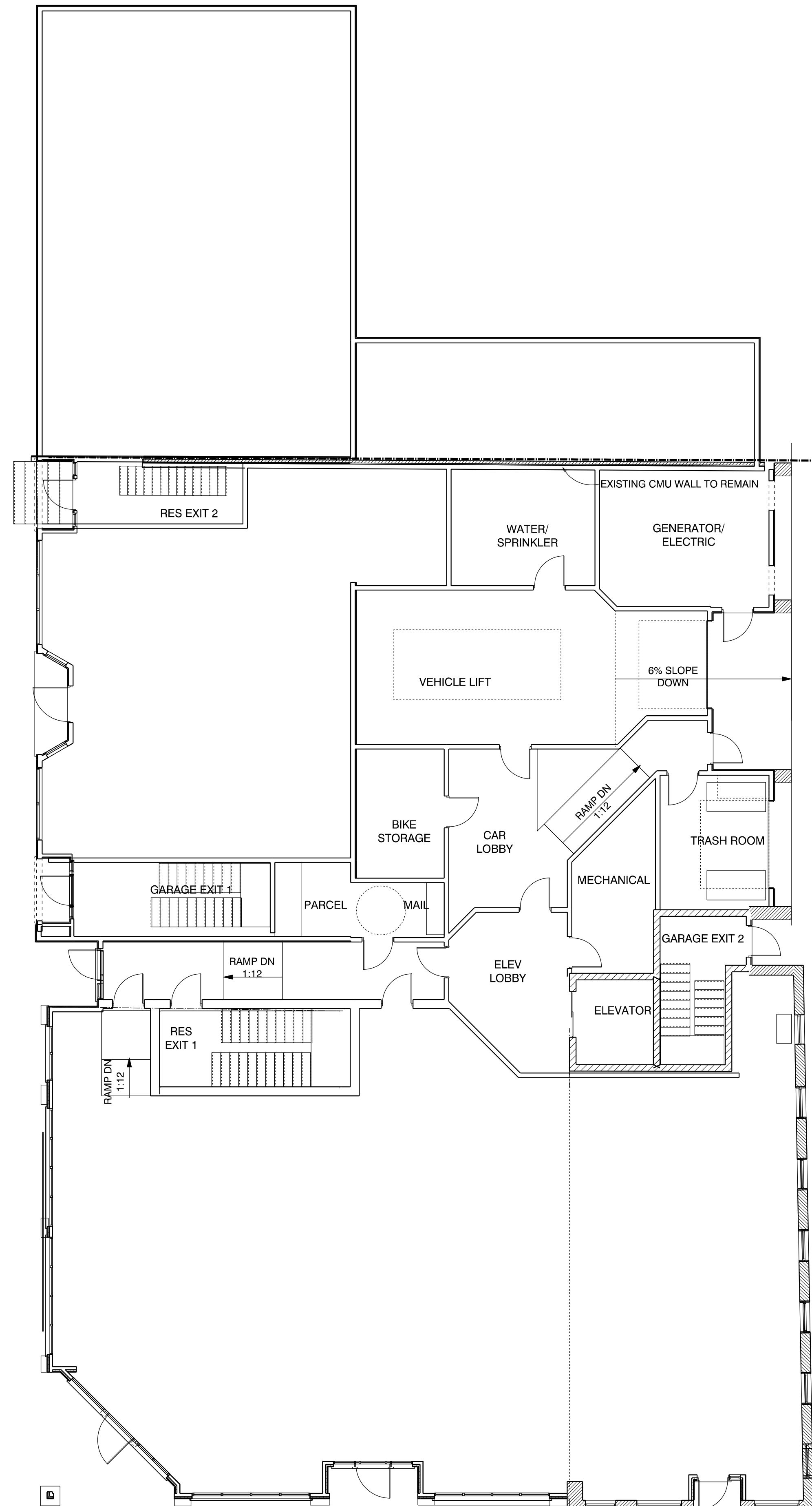


NORTH ELEV -84 PLEASANT ST
SCALE: 1/4" = 1'-0"

DO NOT SCALE PRINTS



PARKING LEVEL PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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FIRST FLOOR AND PARKING

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UPPER FLOOR PLANS

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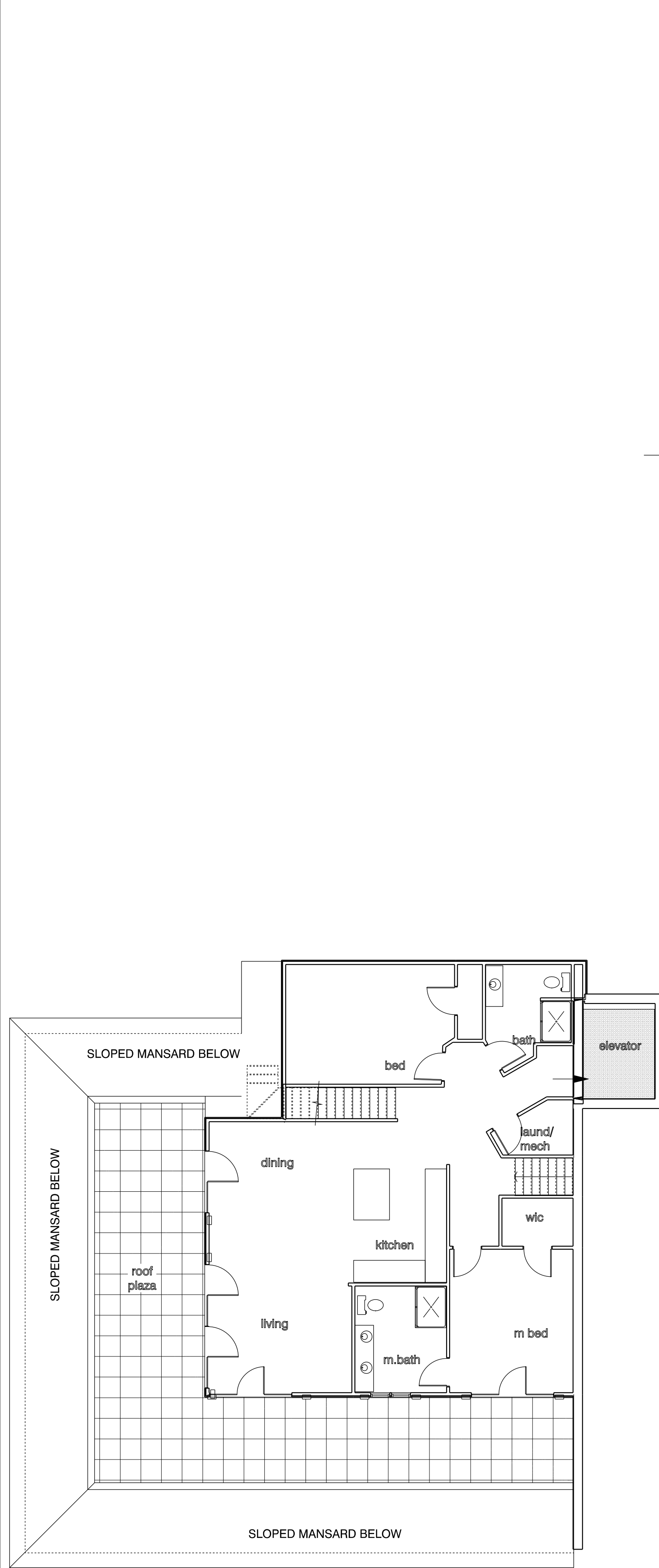
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DATE: 12/18/2020

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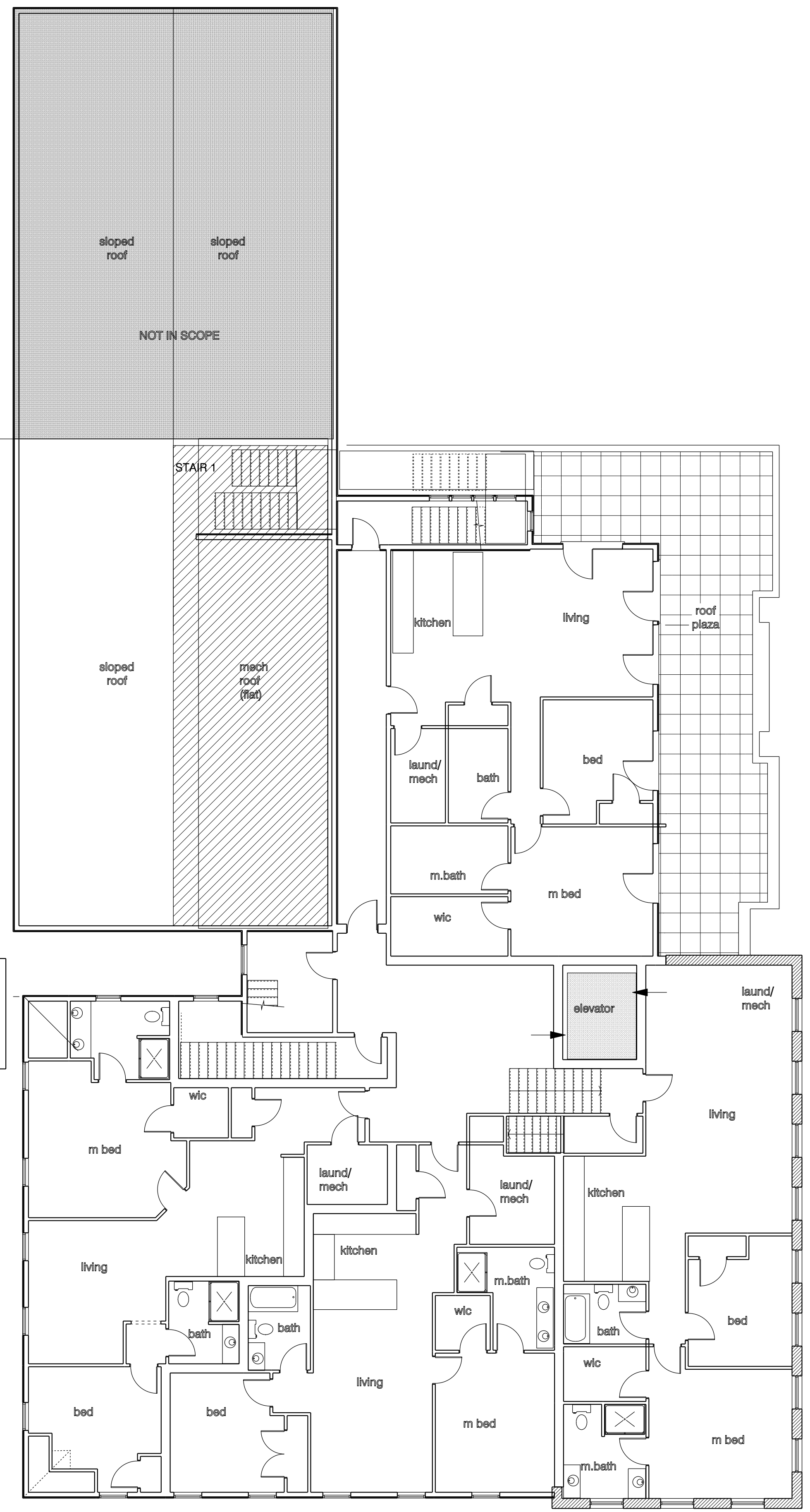
DRAWING NO.

PL-2

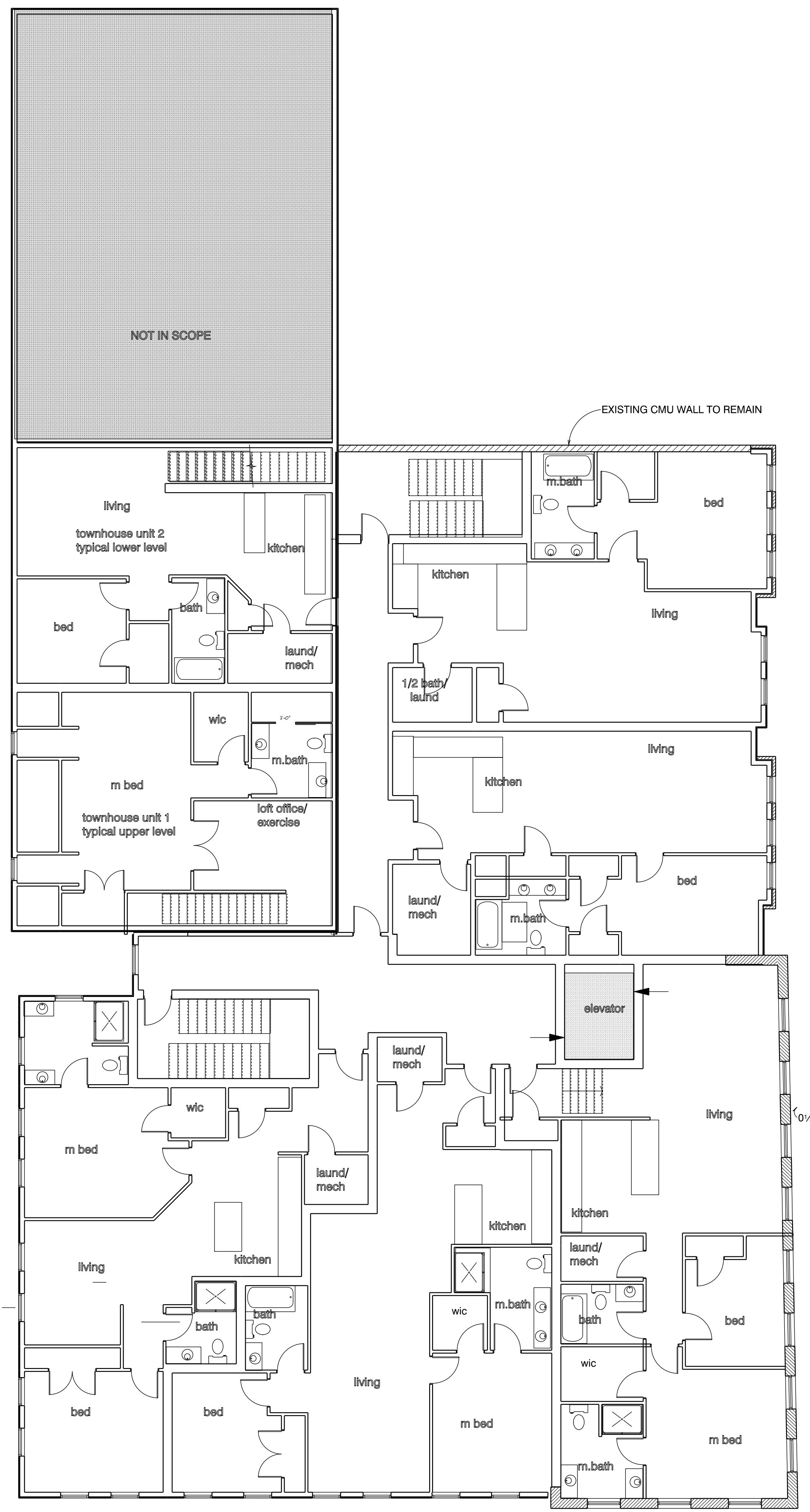


PROPOSED PENTHOUSE 1,400 S.F. +/-
GROSS FLOOR AREA OF ADDITION FOURTH FLOOR
(EXCLUDING "TIMES" BUILDING) 2,916 S.F. +/-
2,2916 S.F./2 = 1458 S.F. +/- ALLOWED PENTHOUSE
AREA ABOVE ADDITION
1,400 +/- PROPOSED

PENTHOUSE PLAN

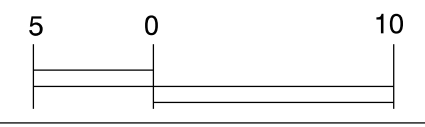


FLOOR 4 PLAN



UPPER FLOOR PLANS
SCALE: 1/8" = 1'-0"

TYPICAL FLOOR 2-3 PLAN



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PLEASANT STREET ELEVATION
SCALE: 1/8" = 1'-0"



STATE STREET ELEVATION
SCALE: 1/8" = 1'-0"



CHURCH STREET ELEVATION
SCALE: 1/8" = 1'-0"

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RENDERED ELEVATIONS

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R1

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PLEASANT AND COURT STREET VIEW



PLEASANT AND STATE STREET VIEW



STATE STREET VIEW



STATE AND CHURCH STREET VIEW

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TITLE

RENDERINGS 1

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SCALE: AS NOTED

DRAWING NO.

R2

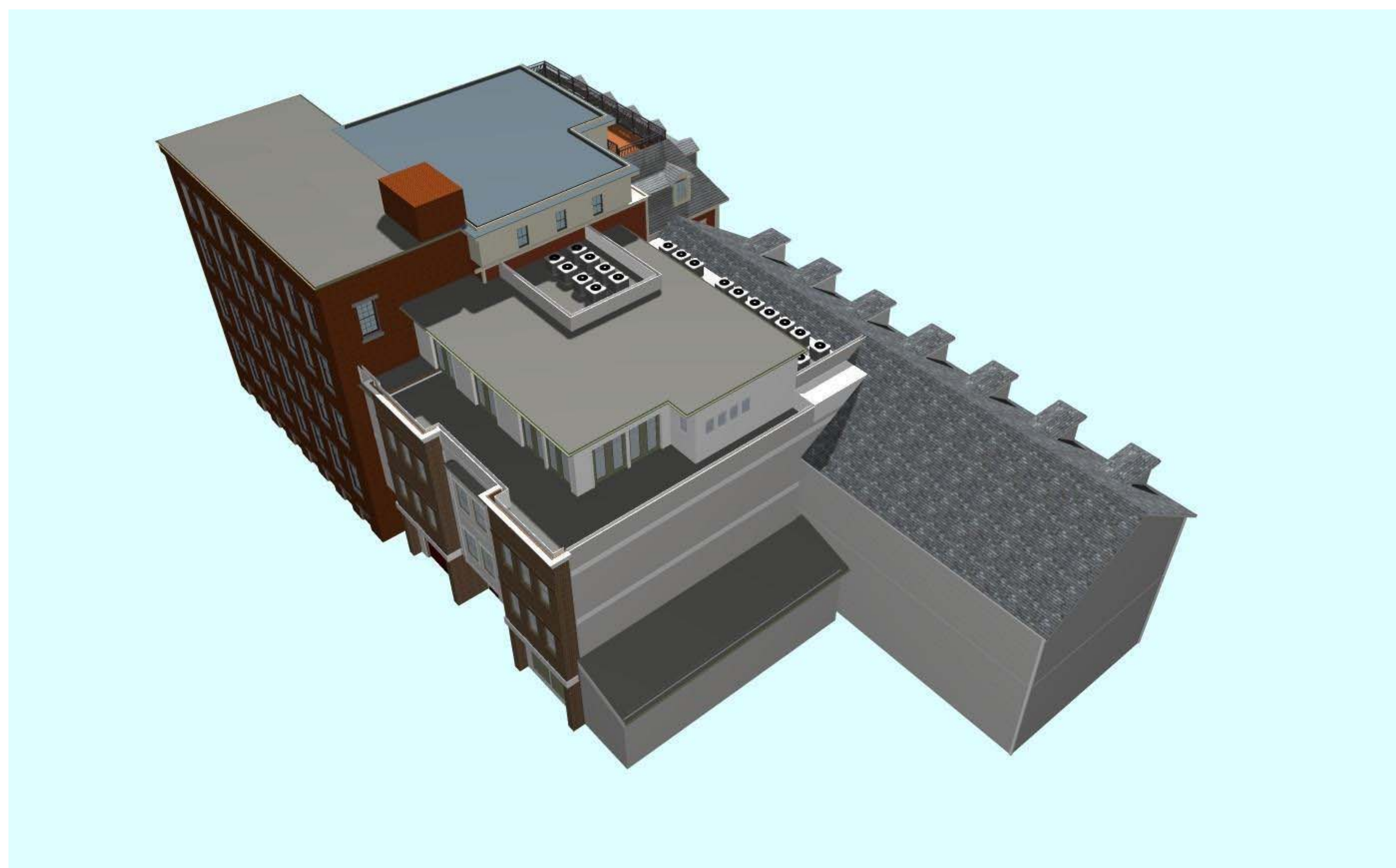
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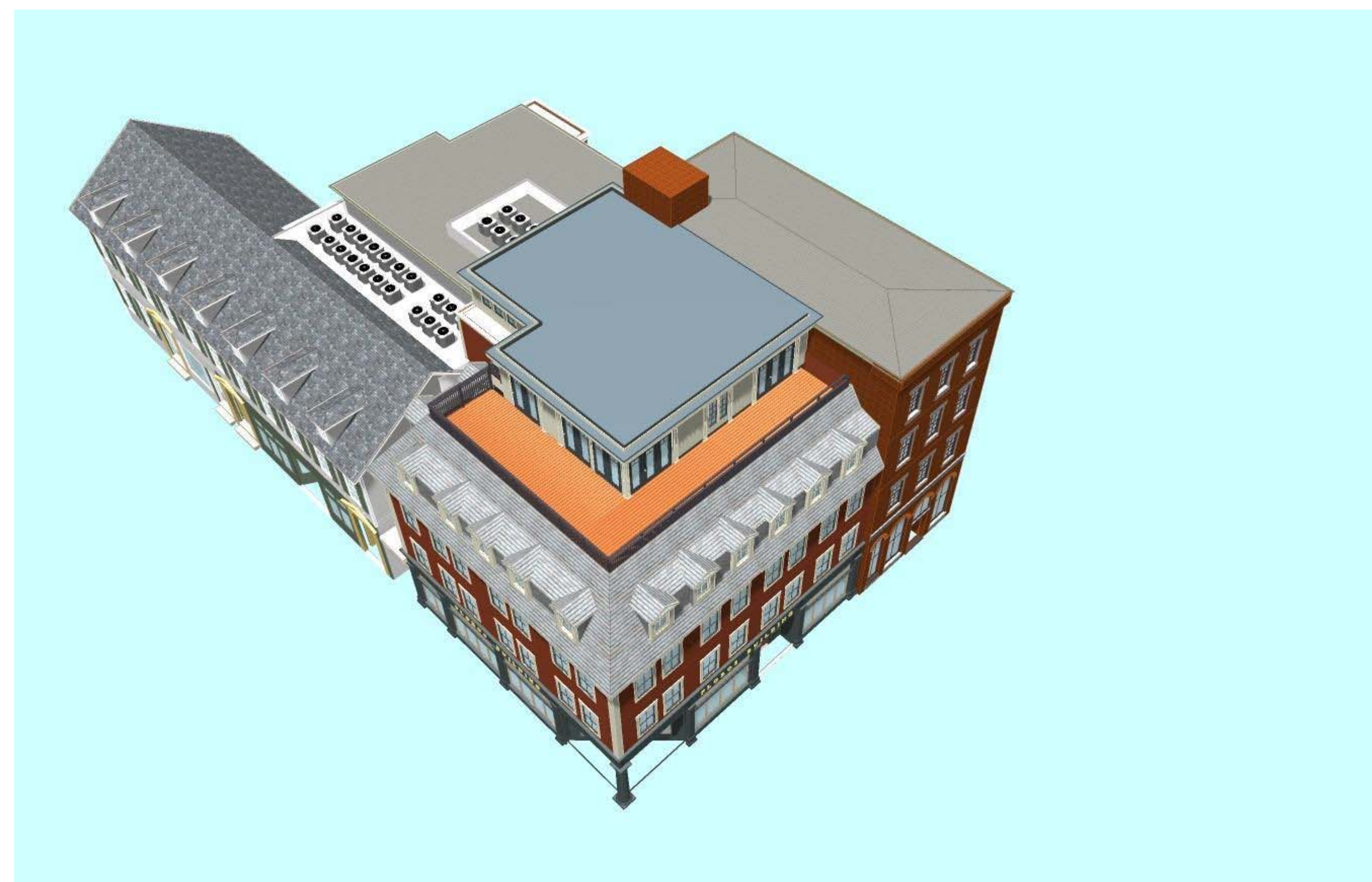
CHURCH AND COURT STREET VIEW



PLEASANT STREET BIRDSEYE VIEW



CHURCH STEET BIRDSEYE VIEW



STATE STREET BIRDSEYE VIEW

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TITLE

RENDERINGS 2

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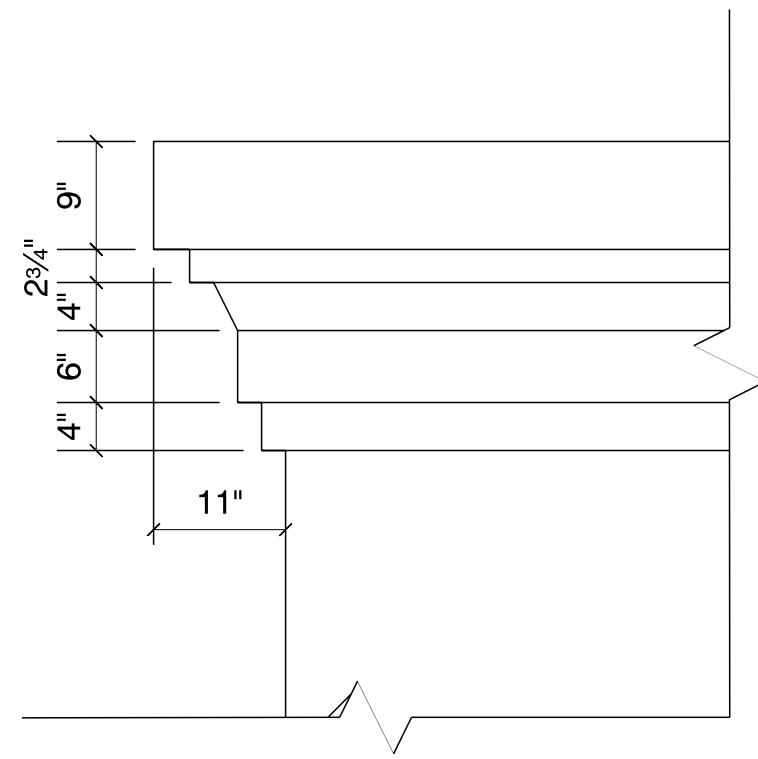
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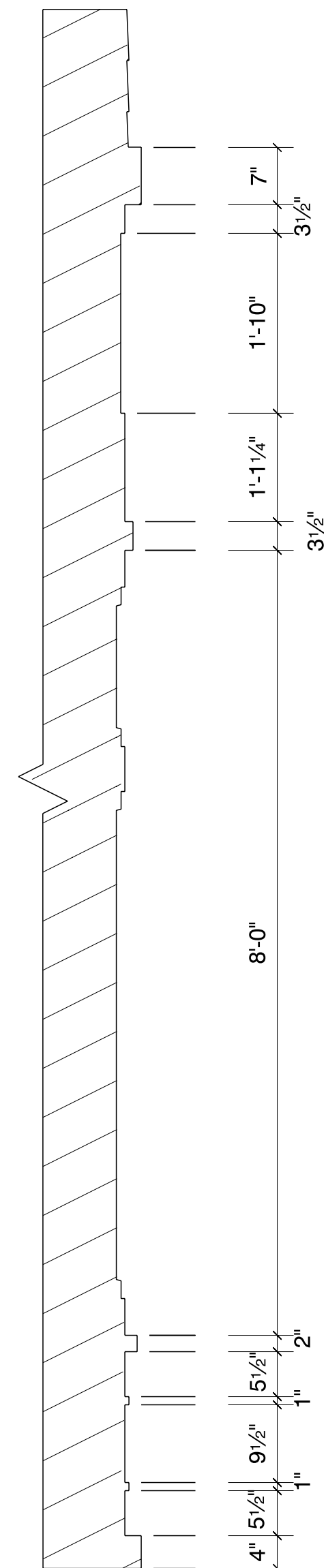
DRAWING NO.

R3

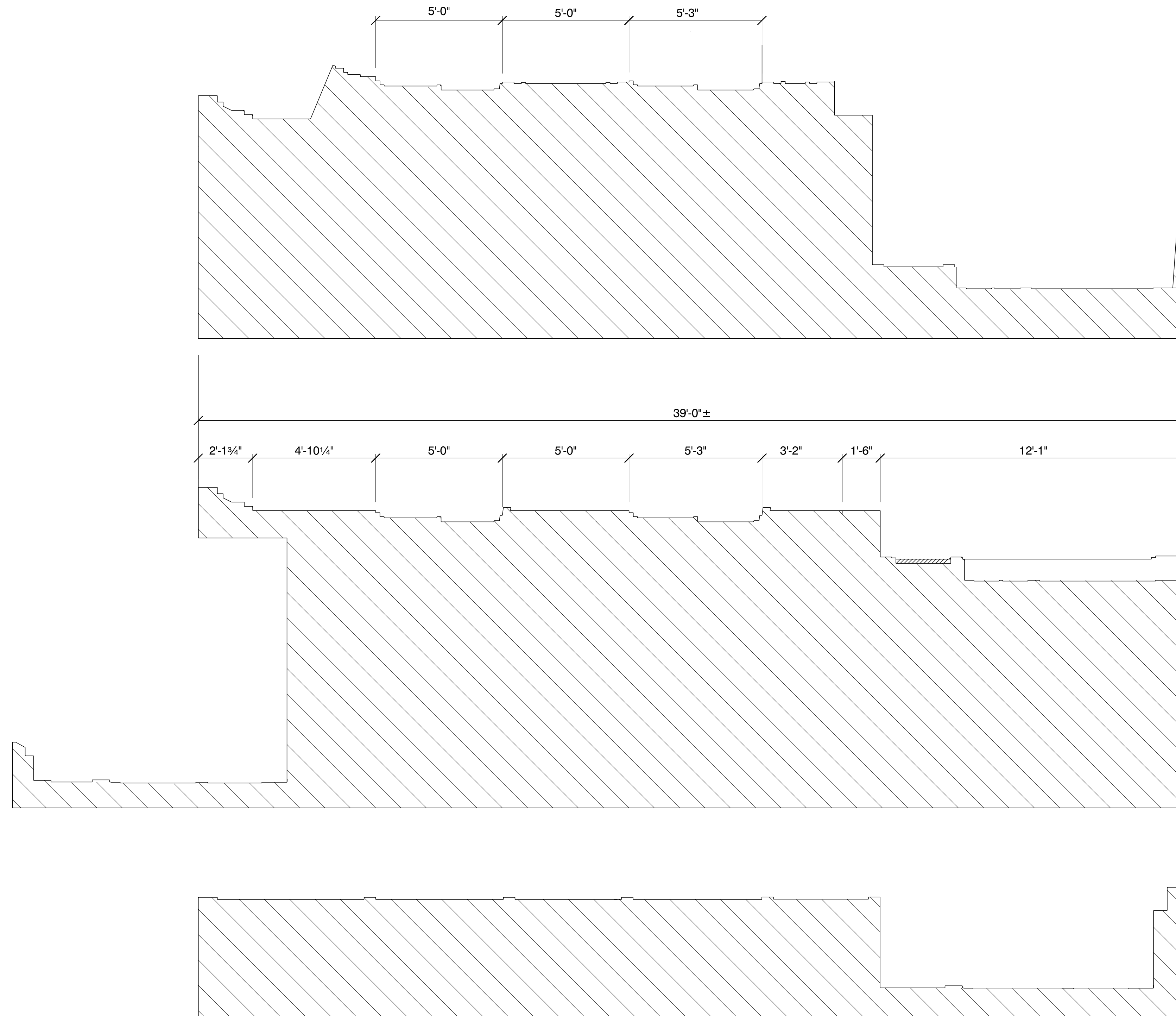
DO NOT SCALE PRINTS



E-E CHURCH STREET ROOF EDGE PROFILE
SCALE: 3/4" = 1'-0"



STOREFRONT PROFILE
SCALE: 3/4" = 1'-0"



CHURCH STREET PROFILES
SCALE: 3/8" = 1'-0"

C-C

B-B

A-A

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PORTSMOUTH, NH
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TITLE

PLEASANT AND CHURCH ST PROFILES

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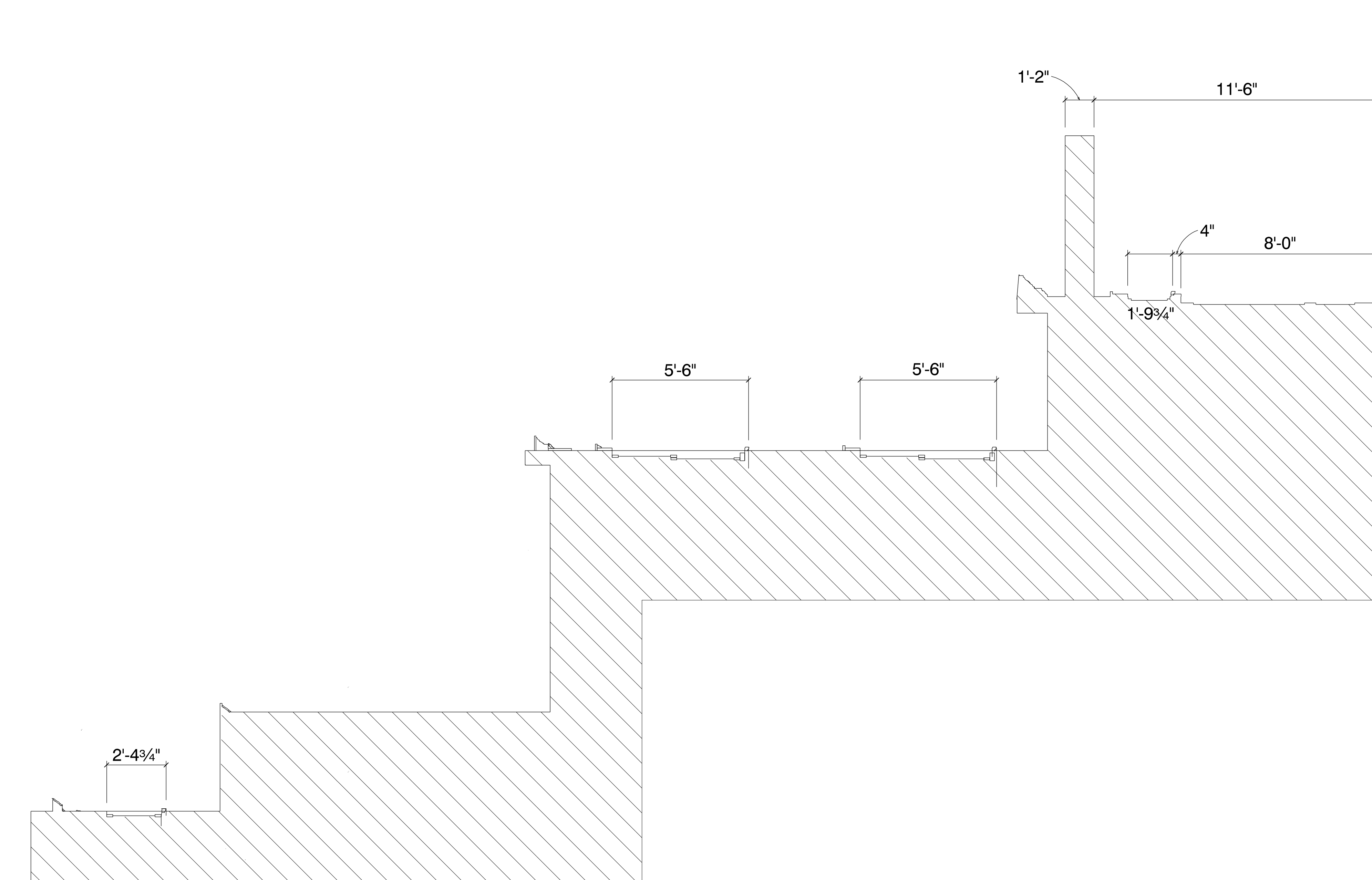
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PR1



F-F LINK ENTRANCE PROFILE
 SCALE: 3/8" = 1'-0"

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TITLE

PROFILES 2

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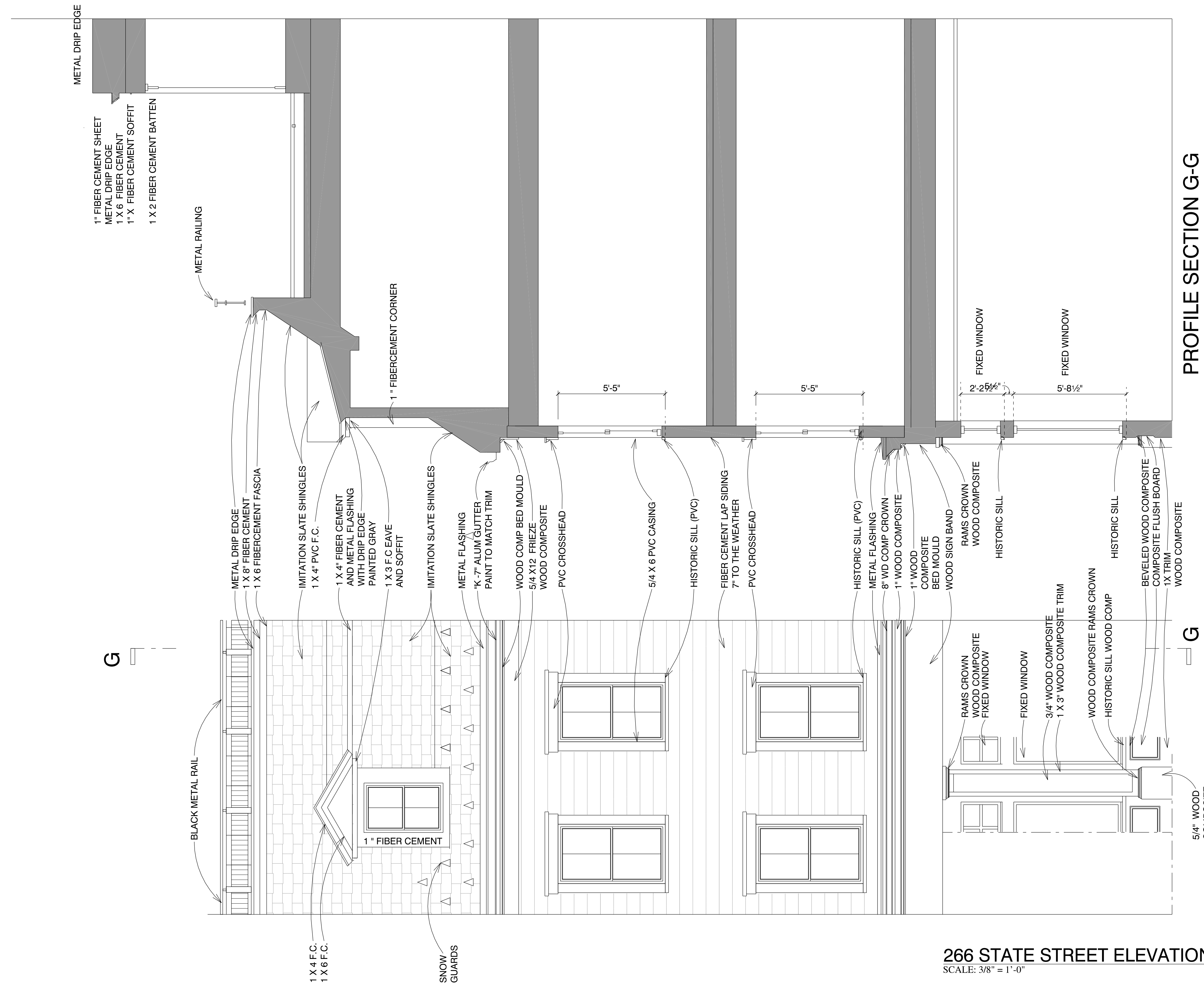
DATE: 12/18/2020

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DRAWING NO.

PR2

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PROFILE SECTION G-G

266 STATE STREET ELEVATION AND PROFILE
SCALE: 3/8" = 1'-0"

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TITLE
PROFILES 3

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PR3

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NEW ENTRANCE DOORS

266, 270 AND 277 STATE STREET ONLY
JELDWEN DESIGN PRO OR EQUAL
FIBERGLASS MAHOGANY FINISH

IMITATION SLATE ROOF

266 AND 270 STATE STREET LOTS ONLY
ECOSTAR EMPIRE SERIES
RANDOM WIDTH BLEND
ANCIENT QUARRY COLOR BLEND



EXTERIOR SHUTTER

FRONT ELEVATION OF 84 PLEASANT ONLY
COMPOSITE WOOD
EVEN LOUVER
BY CUSTOM SHUTTER COMPANY
OR EQUAL
TRUE PENTIL HARDWARE WITH HOLDBACKS
CUSTOM SIZES TO OPENING
HALF LOUVER STYLE
PRE-PAINTED



GOOSE NECK SIGN LIGHTING

BARNLIGHT COMPANY FIRE CHIEF SHADE OR EQUAL



ASPHALT ROOF SHINGLES

FRONT OF 84 PLEASANT STREET ONLY
IKO ARCHITECTURAL REINFORCED
FIBERGLASS SHINGLE OR EQUAL
CAMBRIDGE - HARVARD SLATE



LAP SIDING - FIBER CEMENT

266 AND 270 STATE STREET - 7" EXPOSURE
NORTH WALL 84 PLEASANT ST - 4.5" EXPOSURE
SMOOTH FINISH
HARDIPLANK OR EQUAL



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RESTORATION BRICK BLEND

"TIMES" BUILDING
STILES AND HEART BRICK COMPANY



GRANITE BAND AND BASE

MILFORD GREY
THERMAL FINISH
BEVELED TOP EDGE

NEW BRICK

CHURCH STREET ADDITION
MORIN BRICK
BRUSHED VELOUR NARROW FLASH
OR EQUAL



NEW STOREFRONT WINDOWS

266, 270 STATE AND "TIMES" BUILDING
PELLA RESERVE FIXED DIRECT SET
EDURACLAD ALUM EXTERIOR
WOOD INTERIOR

NEW WINDOWS

CHURCH STREET ADDITION
PELLAIMPERVIA DOUDLE HUNG
FIBERGLASS

CROSSHEAD WINDOW TRIM

266 AND 270 STATE STREET ONLY
AZEK PVC WITH 5 1/2" SIDE CASING
AND HISTORIC NOSING

NEW WINDOWS

266, 270 STATE AND "TIMES" BUILDING
PELLA RESERVE DOUDLE HUNG
EDURACLAD ALUM EXTERIOR
WOOD INTERIOR

EXTERIOR CASING

TIMES BUILDING ONLY
PELLA ENDURACLAD
BRICK MOULD

1 1/4" PUTTY GLAZE
SDL MUNTIN

7/8" PUTTY GLAZE
SDL MUNTIN

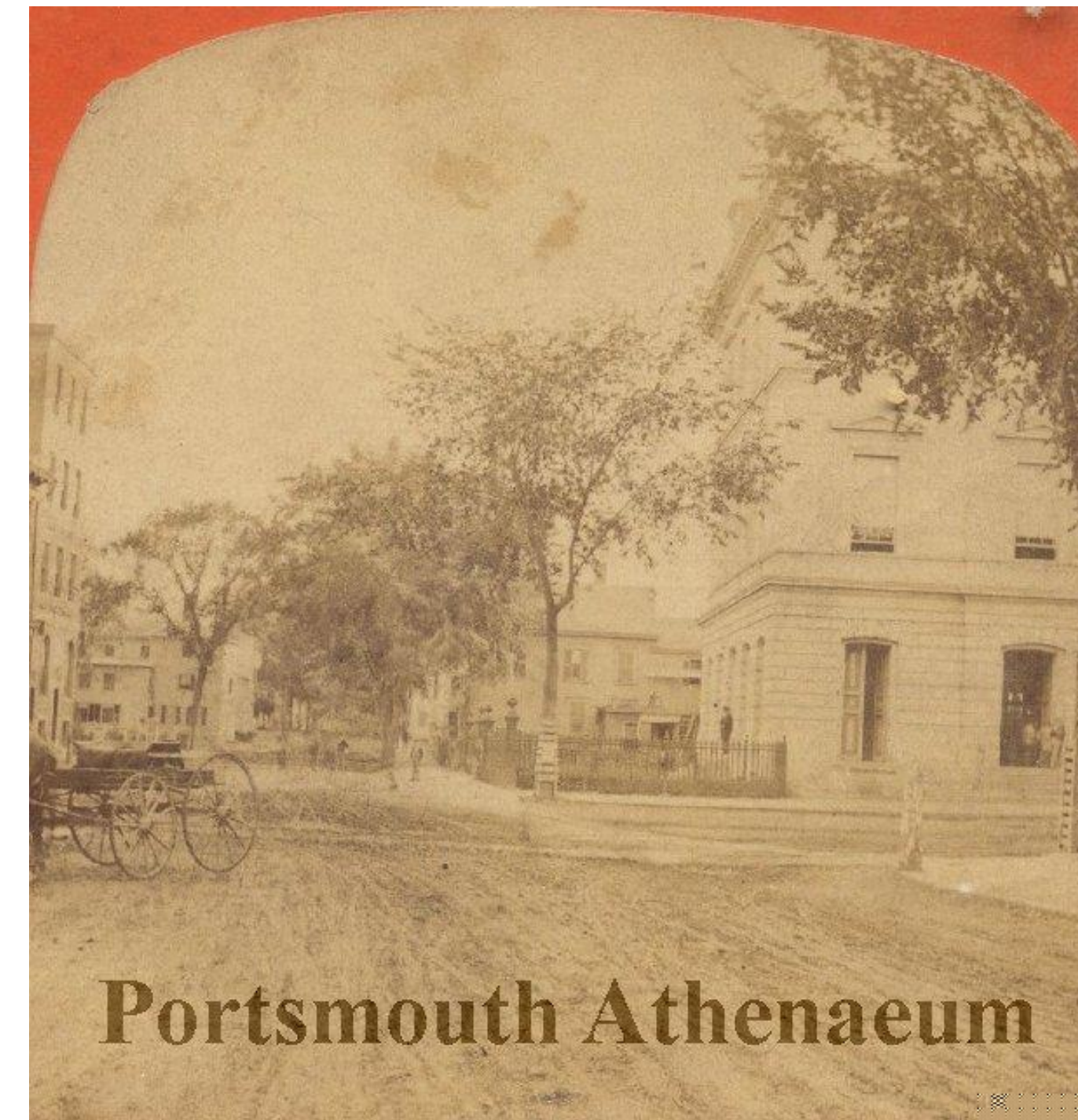
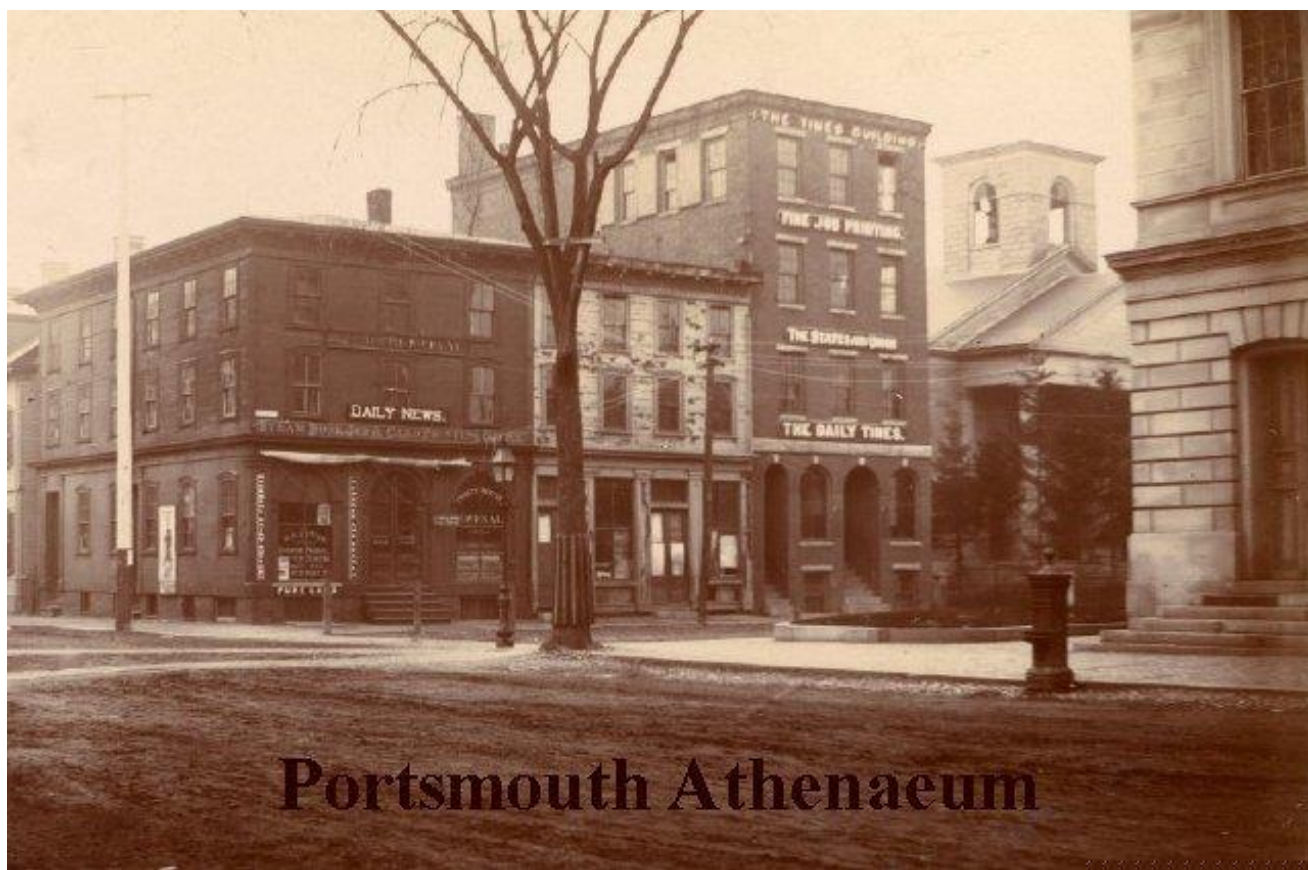
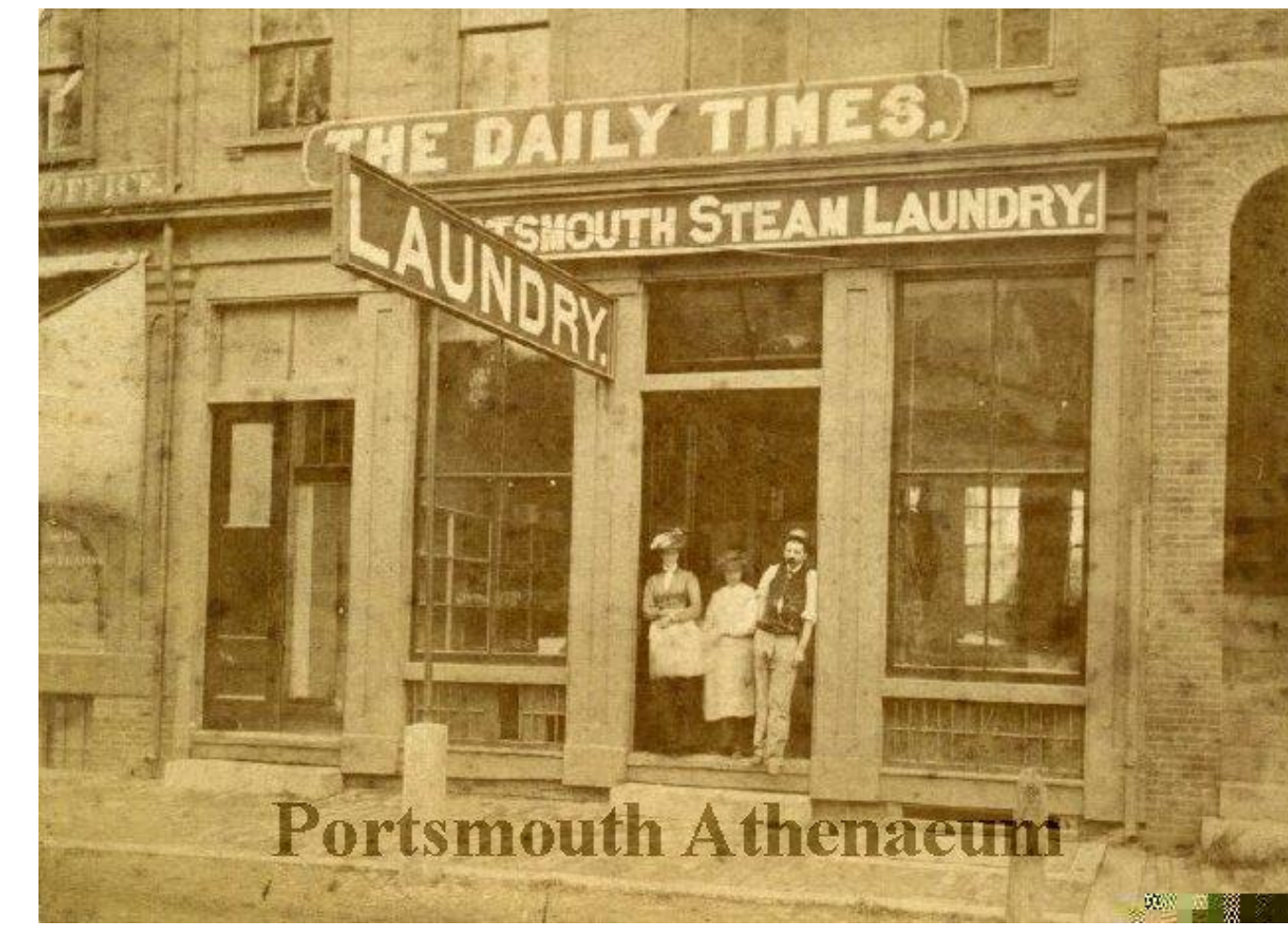
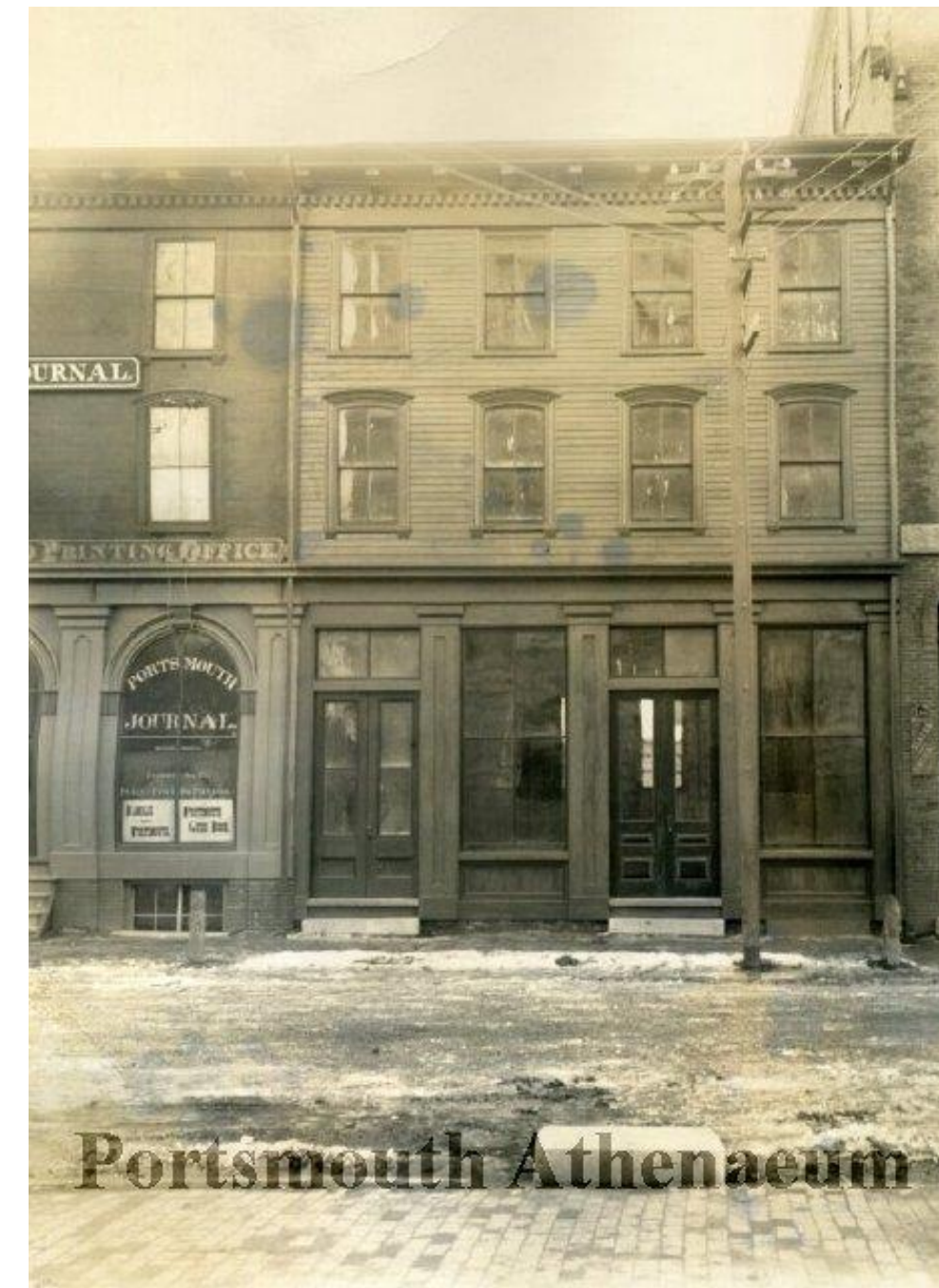
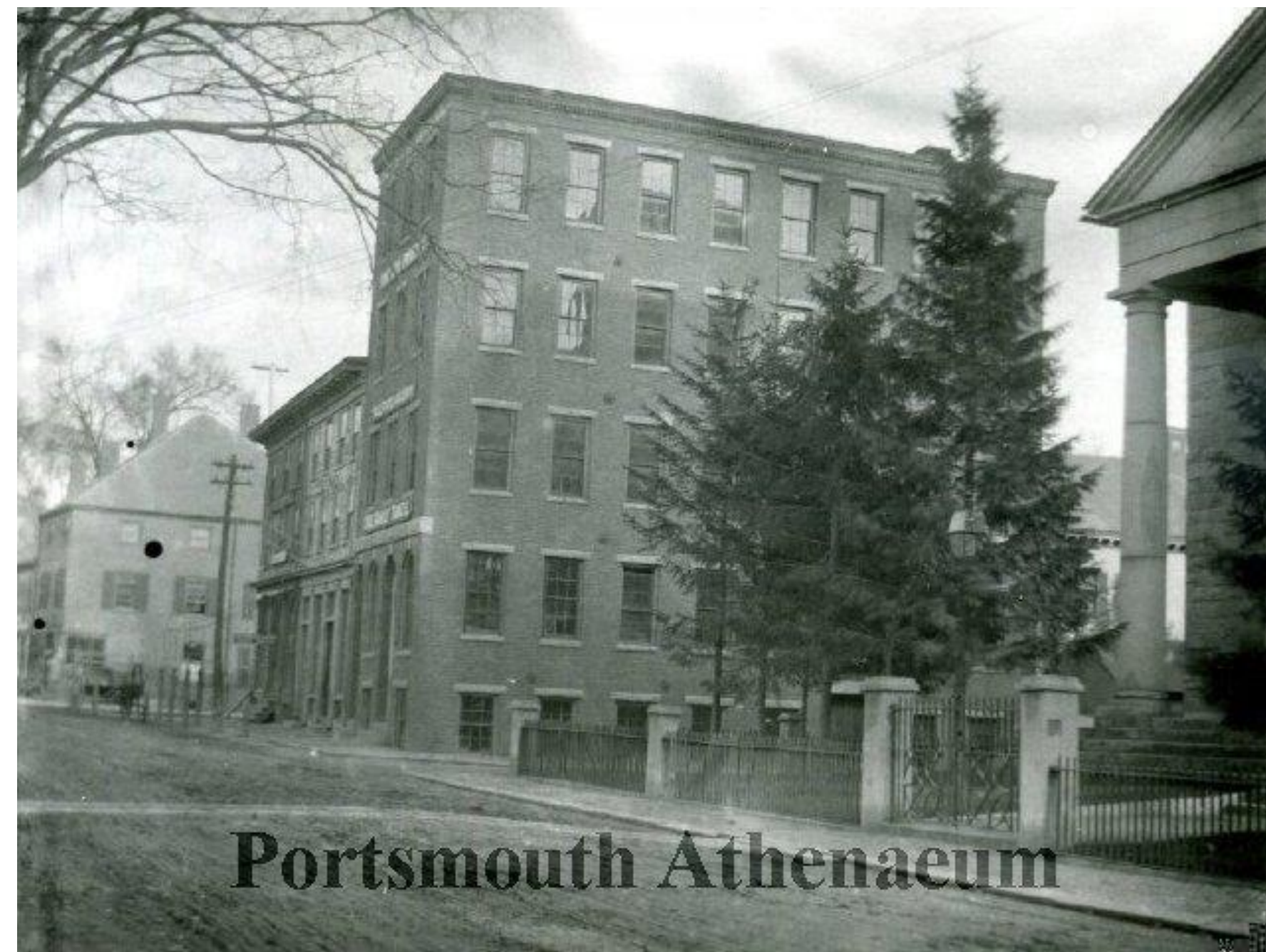
INSECT SCREEN

INTEGRATED ROLLSCREEN

AZEK BUILDING PRODUCTS, INC.
WWW.AZEK.COM
(877) AZEK

AZEK HISTORIC SILL
ALUM-4130
1-3/4"x2-1/2"x1/2"

PORTSMOUTH ATHENAEUM



mjk

Michael J. Keane
Architects, PLLC

ARCHITECTURE
PLANNING
DESIGN

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Newmarket, NH
03857

603-292-1400
mjkarchitects.com

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CONSULTANTS

REVISIONS

APPROVALS

HDC
WORK SESSION
JAN 6, 2021

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PROJECT

RESTORATION AND EXPANSION OF
266,270, 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH, NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

HISTORIC PHOTOS

DRAWN BY:

CHECKED BY:

DATE: 12/18/20

SCALE: AS NOTED

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SU2



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PORTSMOUTH, NH
03801

TITLE

PHOTOS

DRAWN BY:

CHECKED BY:

DATE: 12/18/20

SCALE: AS NOTED

DRAWING NO.

SU3

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RESTORATION AND EXPANSION OF
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PORTSMOUTH, NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

TIMES BUILDING -EXISTING

DRAWN BY:

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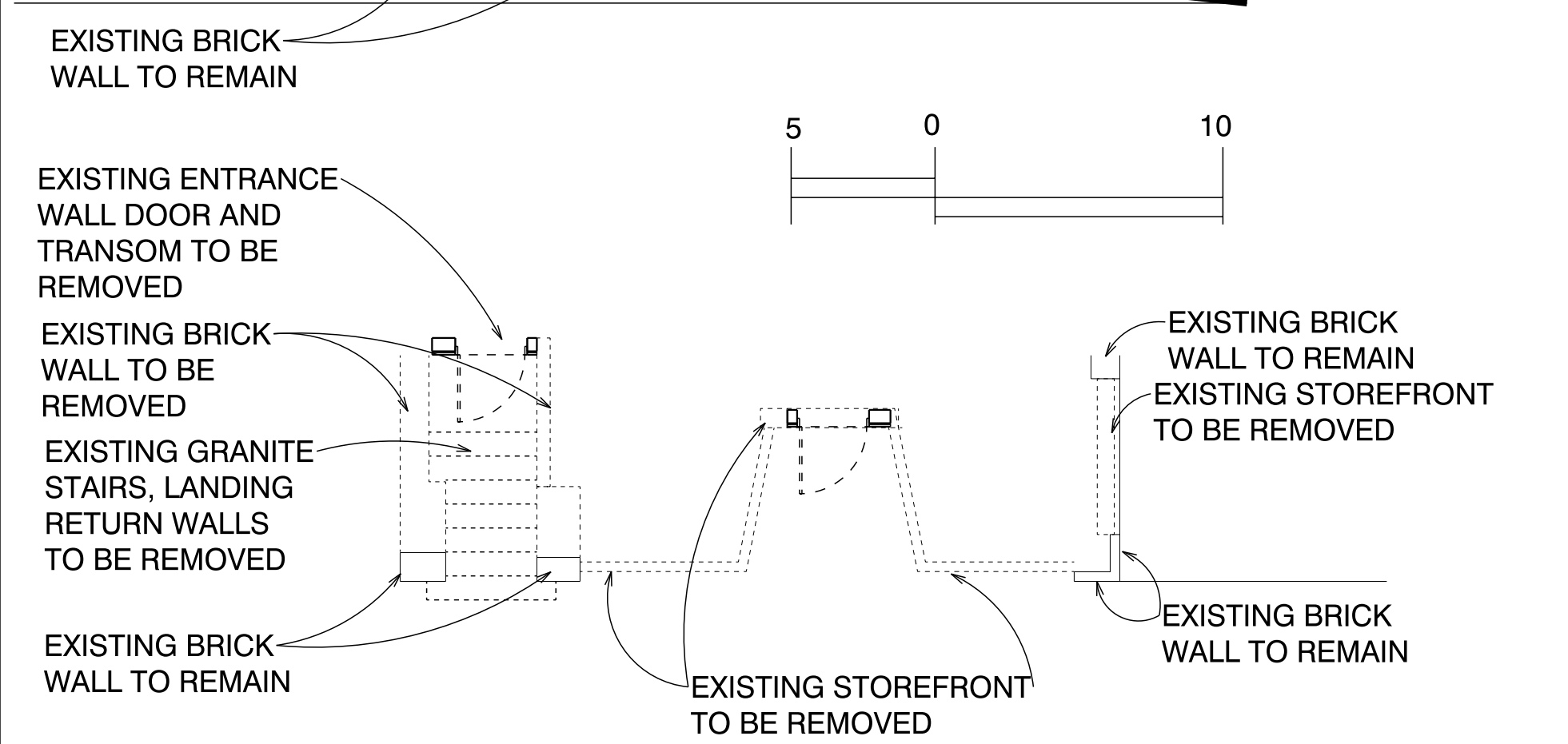
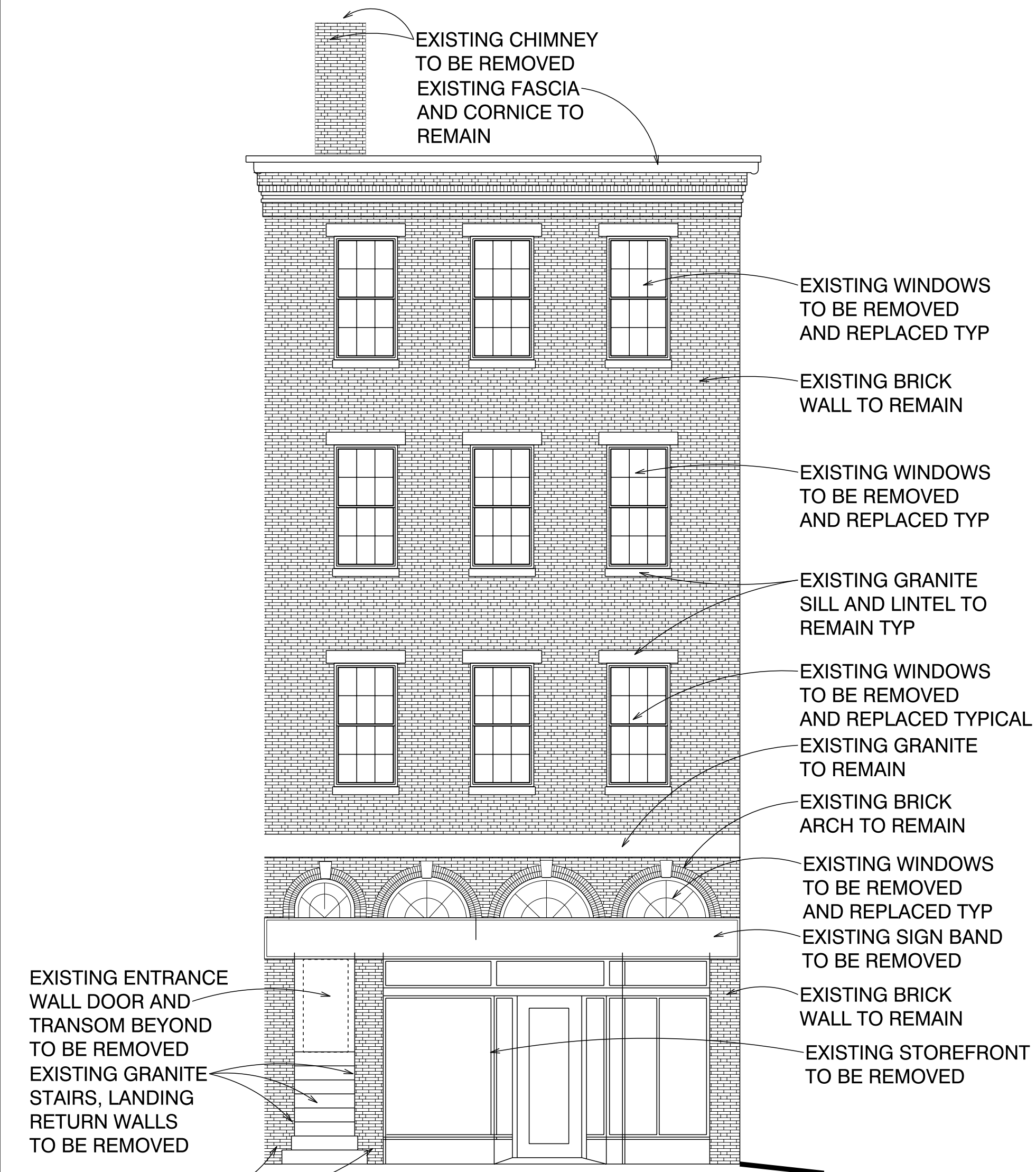
DATE: 12/18/20

SCALE: AS NOTED

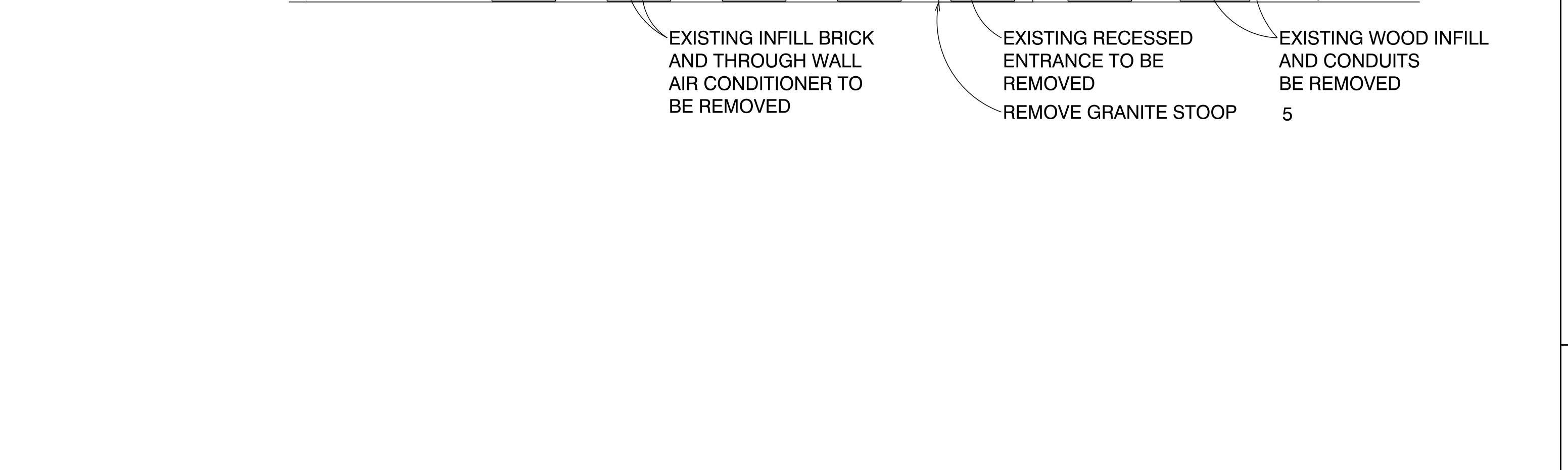
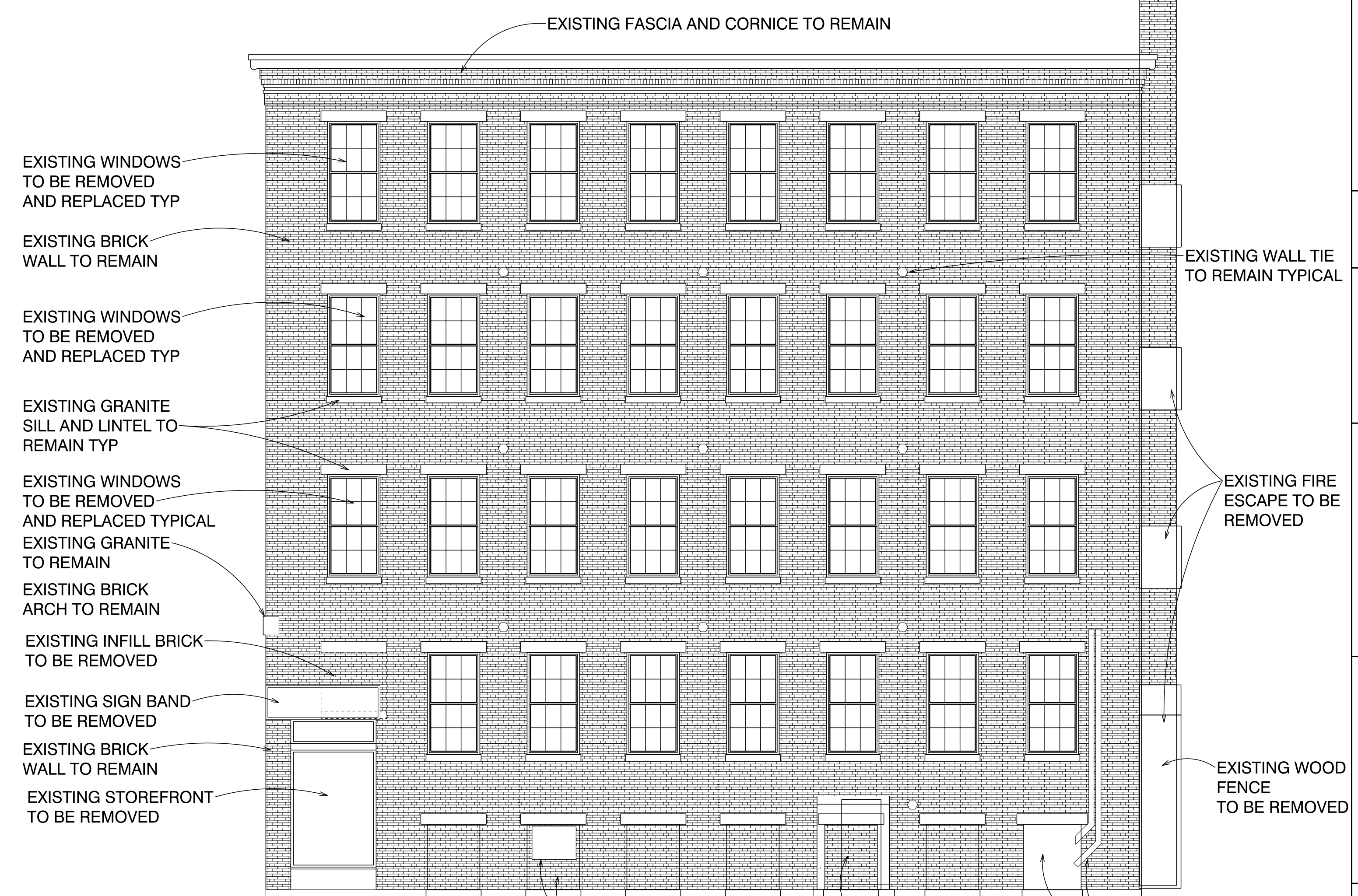
DRAWING NO.

DO NOT SCALE PRINTS

EX1



NORTH ELEVATION
SCALE: 3/16" = 1'-0"



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PROJECT

RESTORATION AND EXPANSION OF
266, 270, 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH, NH

PNF TRUST OF 2013
282 MIDDLE STREET
PORTSMOUTH, NH
03801

TITLE

TIMES BUILDING S&W - EXISTING

DRAWN BY:

CHECKED BY:

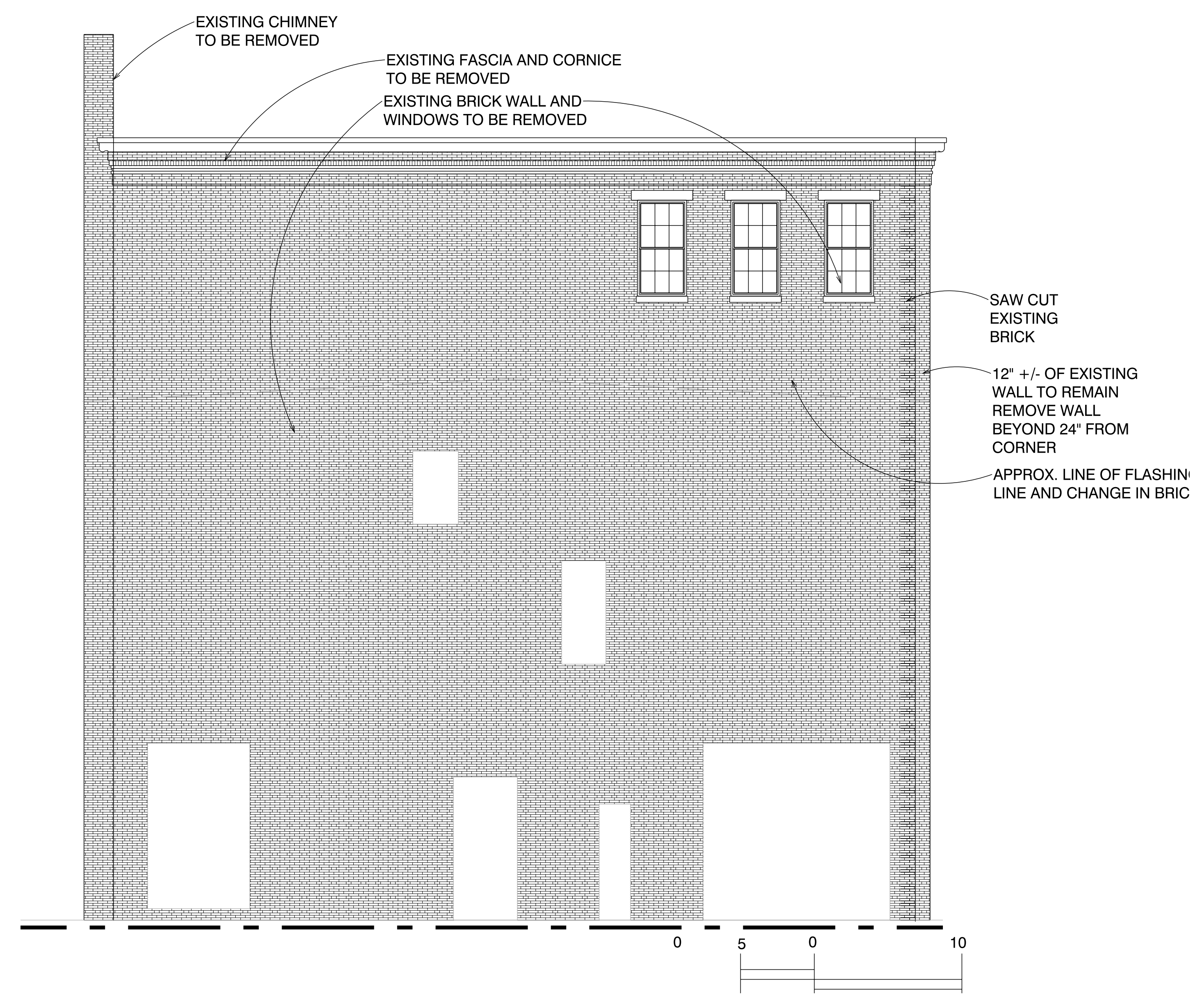
DATE: 12/18/20

SCALE: AS NOTED

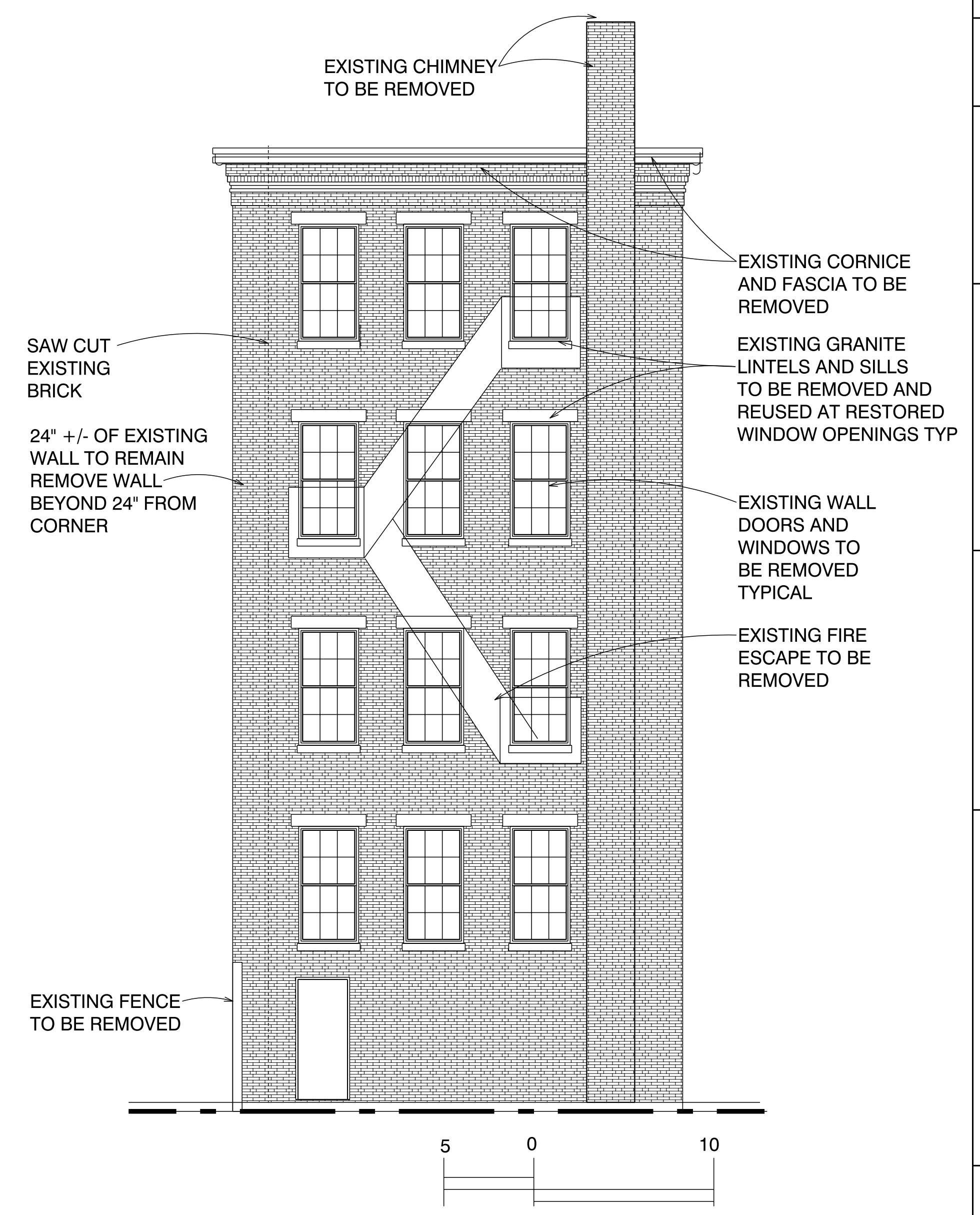
DRAWING NO.

DO NOT SCALE PRINTS

EX2



WEST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

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PORTSMOUTH, NH
03801

TITLE

84 PLEASANT FRONT

DRAWN BY:

CHECKED BY:

DATE: 12/18/20

SCALE: AS NOTED

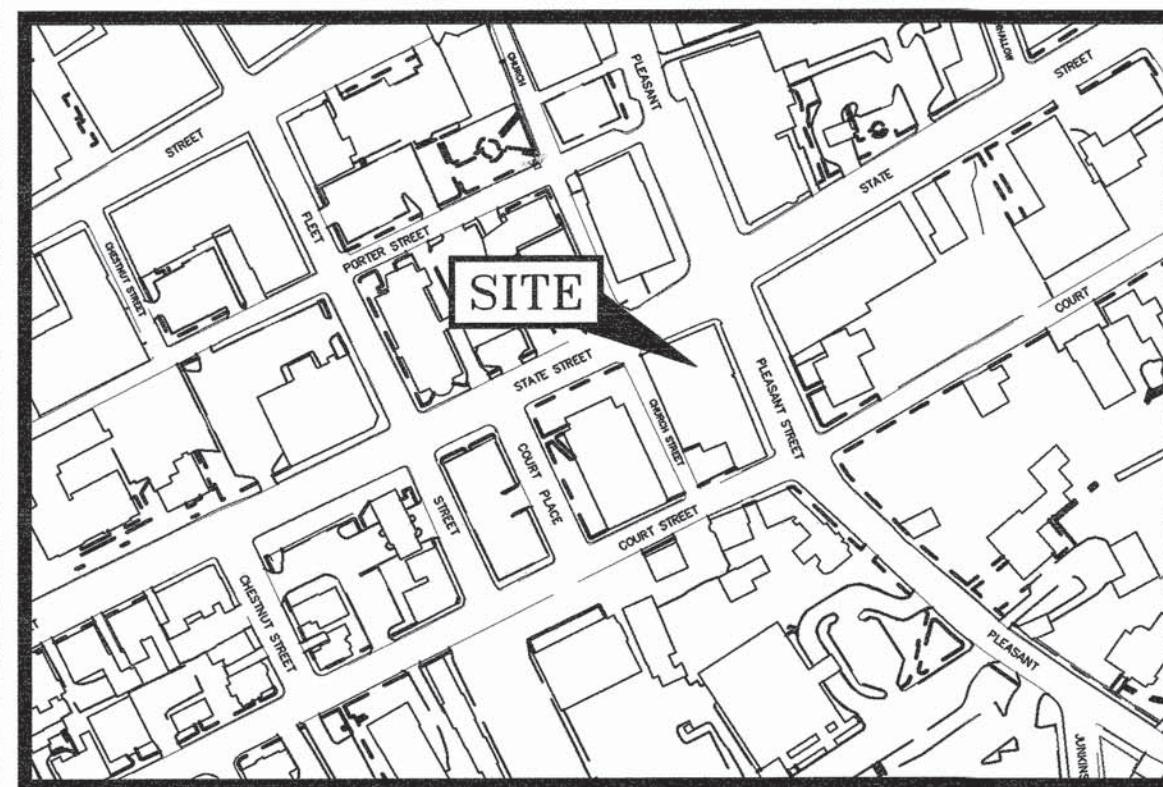
DRAWING NO.

DO NOT SCALE PRINTS

EX3



84 PLEASANT STREET EXISTING
SCALE: 0.3125" = 1'-0"



LOCATION MAP

SCALE: 1" = 200'

PLAN REFERENCES:

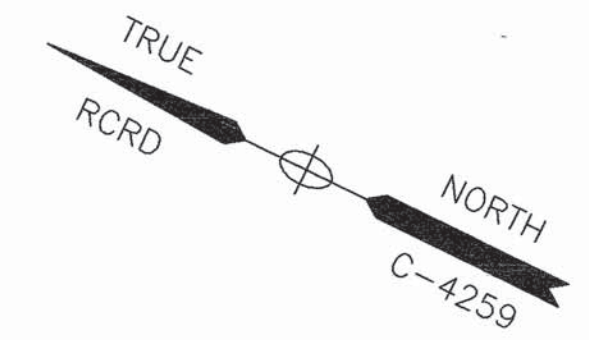
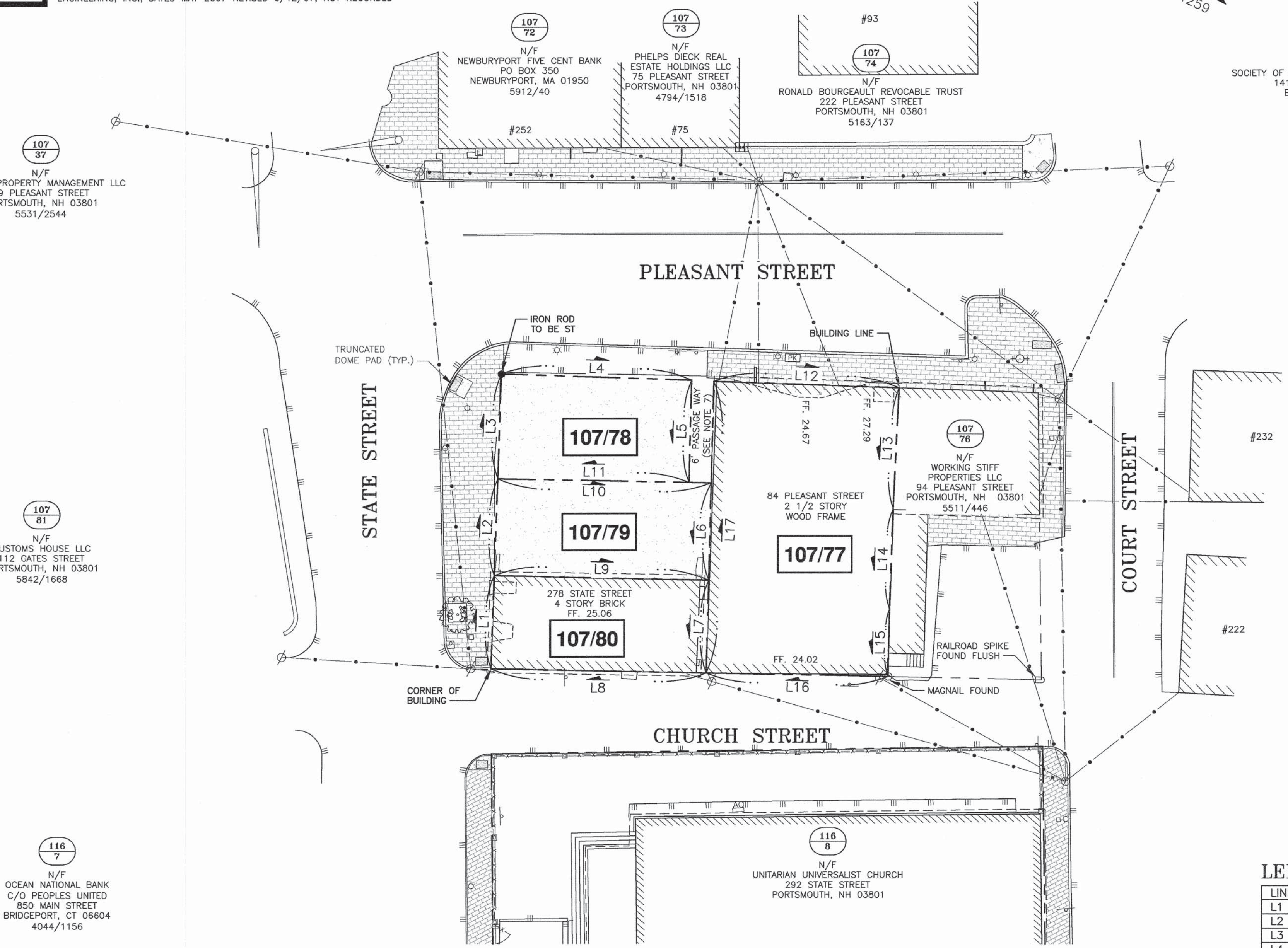
- 1) PLAN OF PROPERTIES ON STATE & PLEASANT STREETS, PORTSMOUTH, N.H., OWNED BY FREDERICK GARDNER AND PISCATAQUA BANK, 1" = 10', SEPT 10, 1919 BY WM. A. GROVER. RCRD FILE 0249.
- 2) PLAN OF LOTS, SMITH & TIMES BLDGS., STATE ST., PORTSMOUTH, N.H., 1IN. = 10FT., APRIL 1954 BY JOHN W. DURGIN CIVIL ENGINEERS. FILE 2806, PLAN 1-490.
- 3) PLAN OF LOTS NOS. 202, 206, & 222 COURT ST., 1IN. = 10FT., JAN 1974 BY JOHN W. DURGIN CIVIL ENGINEERS. FILE 682, PLAN 4318, C-4259.
- 4) SUBDIVISION OF LAND, PORTSMOUTH, N.H., TRADER'S BLOCK TRUST, JOSEPH G. SAWTELLE, JR., TR., 1 INCH = 10 FEET, DECEMBER 1977 BY JOHN W. DURGIN CIVIL ENGINEERS. RCRD C-7497.
- 5) BREWSTER INN PARTNERSHIP, SUBDIVISION OF LAND, 93 PLEASANT STREET, 1"=10'-0", 10-26-87 BY KIMBALL CHASE COMPANY, INC. RCRD 01752, D-17511.
- 6) LOT LINE ADJUSTMENT PLAN FOR DAVID L. BAKER, SR. IN PORTSMOUTH, N.H., 1" = 20', 23 MAR. 1990 BY SEACOAST ENGINEERING ASSOC., INC. RCRD 12203, D-20209.
- 7) STANDARD BOUNDARY SURVEY TAX MAP 107 - LOT 76 THE CLIP JOINT FOR DEBORAH PHILLIPS 92 PLEASANT STREET CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE, SCALE 1" = 10' PREPARED BY AMBIT ENGINEERING, INC., DATED MAY 2007 REVISED 6/12/07, NOT RECORDED

MERGER NOTE:

THE PASSAGE WAY AND THESE LOTS ARE INTENDED TO BE MERGED TO CREATE ONE DEVELOPMENT PARCEL.

LEGEND:

- | | |
|-----------|----------------------------|
| N/F | NOW OR FORMERLY |
| RP | RECORD OF PROBATE |
| RCRD | ROCKINGHAM COUNTY |
| | REGISTRY OF DEEDS |
| | MAP 11 / LOT 21 |
| BOUNDARY | |
| - - - - - | SETBACK |
| ○ | RAILROAD SPIKE FOUND |
| ○ | IRON ROD/PIPE FOUND |
| ○ | DRILL HOLE FOUND |
| □ | STONE/CONCRETE BOUND FOUND |
| ○ | RAILROAD SPIKE SET |
| ○ | IRON ROD SET |
| ○ | DRILL HOLE SET |
| □ | GRANITE BOUND SET |



#108
#14
N/F
SOCIETY OF ANTIQUES OF MASSACHUSETTS
141 CAMBRIDGE STREET
BOSTON, MA 02114

#107
#37
N/F
3 WEST PROPERTY MANAGEMENT LLC
49 PLEASANT STREET
PORTSMOUTH, NH 03801
5531/2544

#107
#81
N/F
CUSTOMS HOUSE LLC
112 GATES STREET
PORTSMOUTH, NH 03801
5842/1668

#116
#7
N/F
OCEAN NATIONAL BANK
C/O PEOPLES UNITED
850 MAIN STREET
BRIDGEPORT, CT 06604
4044/1156

CHURCH STREET

PLEASANT STREET

STATE STREET

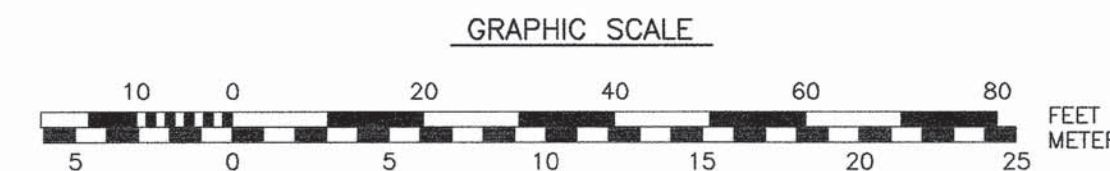
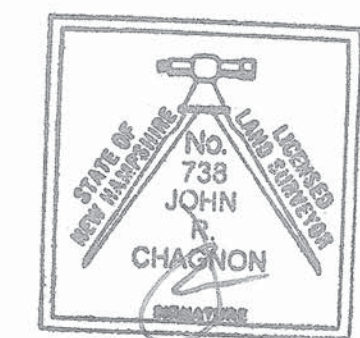
COURT STREET

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

Paul A. Dobberstein
PAUL A. DOBBERSTEIN, LLS #1000

3-4-20
DATE



LENGTH TABLE

LINE	BEARING	DISTANCE
L1	N 66°00'29" E	25.16'
L2	N 66°00'29" E	26.17'
L3	N 66°00'29" E	28.27'
L4	S 24°01'53" E	51.47'
L5	S 65°27'29" W	27.54'
L6	S 65°27'29" W	26.30'
L7	S 65°27'29" W	25.01'
L8	N 24°51'30" W	58.24'
L9	S 24°42'40" E	57.99'
L10	S 24°50'15" E	57.74'
L11	N 24°50'15" W	51.74'
L12	S 23°57'38" E	50.06'
L13	S 66°47'06" W	32.82'
L14	S 65°52'55" W	26.82'
L15	S 65°14'37" W	18.24'
L16	N 24°54'06" W	49.17'
L17	N 65°27'29" E	78.68'

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 77, 78, 79, AND 80.
- 2) OWNERS OF RECORD:
#107/77
KC REALTY TRUST
KEITH & KATHLEEN MALINOWSKI, TRUSTEES
1475 ELWYN RD, PORTSMOUTH, NH 03801
BK 3386, PG 2417

#107/78-80
PNF TRUST OF 2013
PETER N. FLOROS, TRUSTEE
282 MIDDLE ST, PORTSMOUTH, NH 03801
BK 5540, PG 0293 (78)
BK 5540, PG 0298 (80)

#107/79
282 MIDDLE STREET LLC
282 MIDDLE ST, PORTSMOUTH, NH 03801
BK 5877, PG 511
- 3) PARCELS 107/77-80 ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 3301SC0259E, EFFECTIVE 5/17/2005.
- 4) EXISTING LOT AREA:
LOT 107/ 77
EXISTING: 3,866 SF, 0.0887 ACRES

LOT 107/ 78
EXISTING: 1,440 SF, 0.0331 ACRES

LOT 107/ 79
EXISTING: 1,518 SF, 0.0348 ACRES

LOT 107/ 80
EXISTING: 1,458 SF, 0.0335 ACRES

6' PASSAGE WAY
EXISTING: 165 SF, 0.0038 ACRES

TOTAL COMBINED LOT AREA:
8,447 SF, 0.1939 ACRES
- 5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY OF TAX MAP 107 LOTS 77-80 IN THE CITY OF PORTSMOUTH.
- 7) PASSAGEWAY OWNERSHIP UNCLEAR; EITHER LOTS 78 & 79 MAY HAVE FEE OWNERSHIP.

0	ISSUED FOR COMMENT	3/4/20
NO.	DESCRIPTION	DATE
REVISIONS		

**STANDARD BOUNDARY SURVEY
TAX MAP 107 - LOTS 77-80**

PROPERTY LOCATED AT:
266, 270, 278 STATE STREET
& 84 PLEASANT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

ZONING DEVELOPMENT STANDARD

CD4: CHARACTER DISTRICT 4
 DOWNTOWN OVERLAY DISTRICT AND HISTORIC DISTRICT

BUILDING PLACEMENT (PRINCIPAL):

	REQUIRED	MAP 107 AS LOTS 77, 78, 79, AND 80.	
		EXISTING †	PROPOSED
MAX. PRINCIPAL FRONT YARD:	10 FEET	0	0
SECONDARY FRONT YARD	NR	15	0
MIN. SIDE YARD:	NR	N/A	N/A
MIN. REAR YARD:	5 FEET	0	0
FRONT LOT LINE BUILDOUT:	50% MIN	100%	100%
REAR SETBACK: 5' (REAR LINE) OR 10' (ALLEY CENTERLINE)			

BUILDING TYPES:
 BUILDING TYPES: OFFICE, FOOD SERVICE, COMMERCIAL, RESIDENTIAL, PARKING
 DOWNTOWN OVERLAY DISTRICT DOES NOT PERMIT RESIDENTIAL USES FOR GROUND FLOOR. ENTRY CAN NOT EXCEED 20% OF GROUND FLOOR AREA. PROPOSED 12%
 FACADE TYPE: SHOPFRONT, OFFICE FRONT

BUILDING FORM:

	REQUIRED	EXISTING	PROPOSED
MAX. STRUCTURE HEIGHT:	45 FEET	53 FT	55 FT*
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	2"	2"
MIN. GROUND STORY HEIGHT:	12 FEET	14-15 FT	13'-3"
MIN. SECOND STORY HEIGHT	10 FEET	11'-4"	10
FACADE GLAZING (WINDOW/PERIMETER):	70% SHOP 20-50% OTHER	DESTROYED	TO COMPLY

ROOF TYPE: FLAT, MANSARD, GABLE

LOT OCCUPATION:

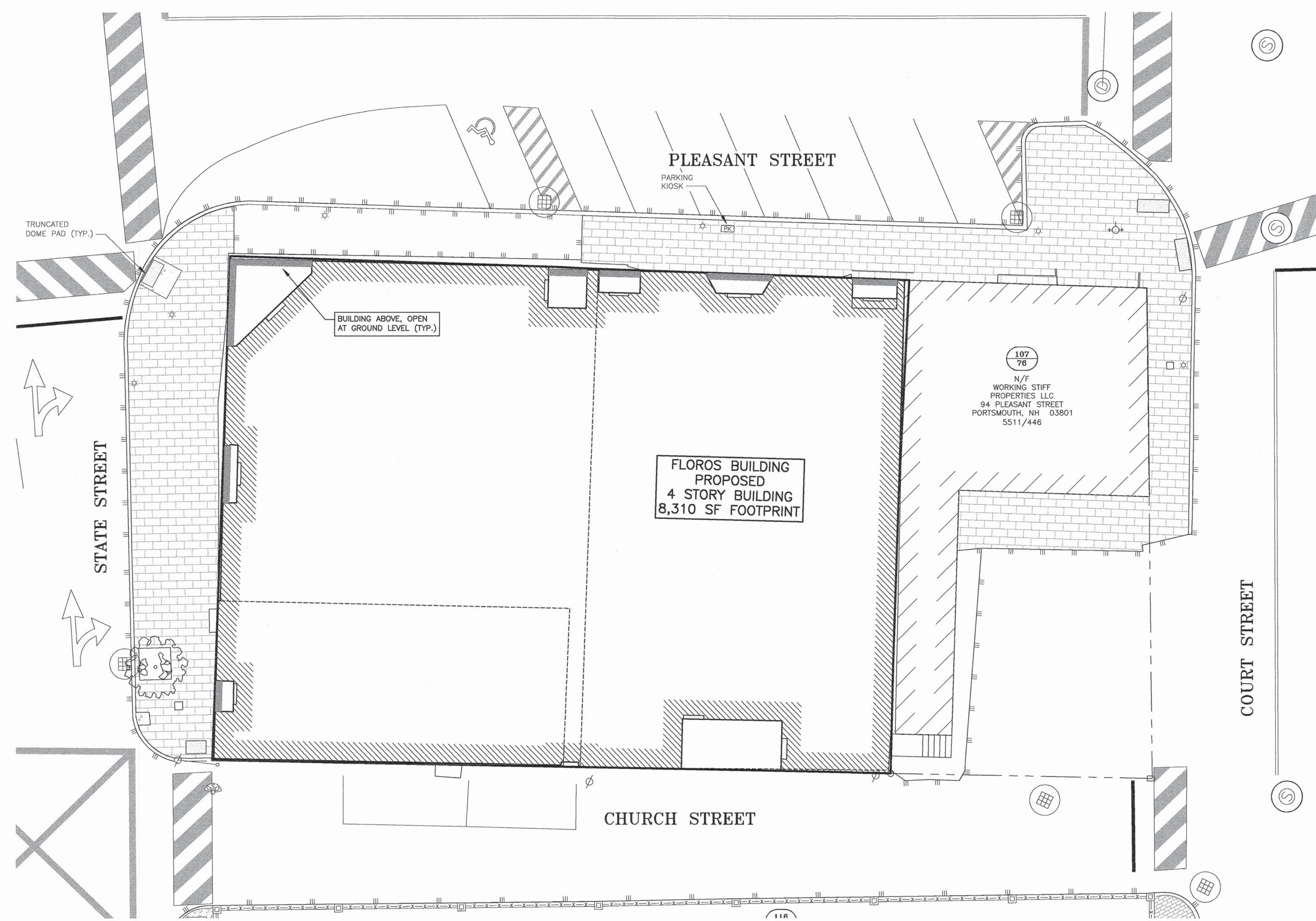
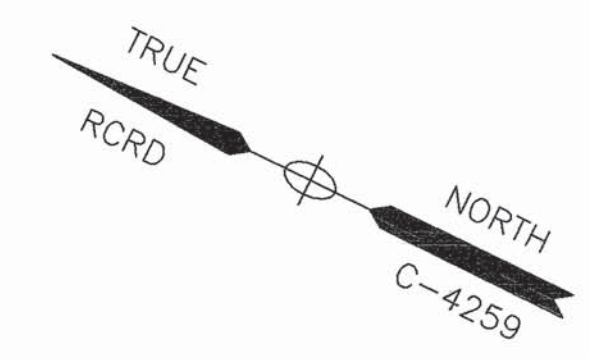
	REQUIRED	EXISTING	PROPOSED
MAX. BUILDING BLOCK:	200 FEET	146	146
MAX. FACADE MOD. LENGTH:	80 FEET	50	50
MAX. ENTRANCE SPACING:	50 FEET	58	50
MAX. BUILDING COVERAGE:	90%	DESTROYED	98.4%
MAX. BUILDING FOOTPRINT:	15,000 SF	DESTROYED	8,338
MIN. LOT AREA:	NR	8,447	8,447
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	NR	497	497
MIN. OPEN SPACE :	10%	2%	1%
MAX. GROUND FLOOR GFA PER USE	15,000 SF	N/A	8,061

* WITH VARIANCE
 † PRE- 2017 FIRE

IMPERVIOUS SURFACE AREAS
 (TOTAL PARCELS)(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	5,154	8,310
STAIRS/LANDING	87	0
ENTRANCE DRIVE	0	128
RETAINING WALL	15	0
CONCRETE	62	9
GRAVEL	3,129	0
TOTAL	8,447	8,447
LOT SIZE	8,447	8,447
% LOT COVERAGE	100.0%	100.0%

NOTE: FIRST FLOOR OPEN ENTRANCE AREAS: 405 S.F., 4.8%

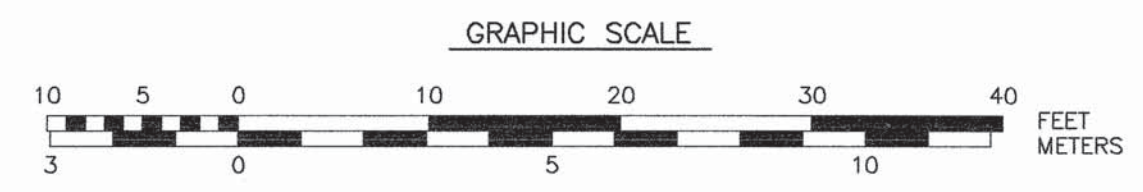


PORTSMOUTH APPROVAL CONDITIONS

- NOTES:**
- ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.
 - THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 - FOUNDATION EXCAVATION WILL REQUIRE SHORING TO PROTECT CITY STREETS AND INFRASTRUCTURE.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

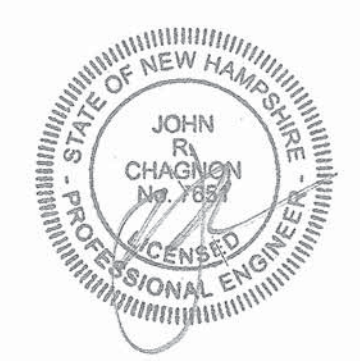


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 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 77, 78, 79, AND 80.
 - OWNERS OF RECORD:
SEE COVER SHEET
 - PARCELS 107/77-80 ARE NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 3301SC0259E. EFFECTIVE 5/17/2005.
 - EXISTING COMBINED AREA:
8,447 SF
0.1939 ACRES
 - THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT (DOD) AND THE HISTORIC DISTRICT (HDC).
 - PARKING SPECIFICATIONS: NO PARKING REQUIRED
SUBSURFACE PARKING PROVIDED:
 - THE PURPOSE OF THIS PLAN IS TO SHOW SITE LAYOUT FOR BUILDING ON THE PARCELS IN THE CITY OF PORTSMOUTH.
 - PROPOSED USE:
BASEMENT: STORAGE, PARKING, MECHANICAL
FIRST FLOOR: COMMERCIAL, OFFICE, FOOD SERVICE
FLOORS 2-4 AND PENTHOUSE: 17 RESIDENTIAL UNITS

FLOROS BUILDING
STATE AND PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	3/6/20
REVISIONS		



SCALE: 1" = 10' MARCH 2020

SITE LAYOUT PLAN **C3**