

HDC

ADMINISTRATIVE APPROVALS

July 05, 2023

1. 1 Walton Alley -Recommended Approval
2. 132-134 Middle Street -Recommended Approval
3. 303 Pleasant Street -Recommended Approval
4. 3 Walker Street -TBD
5. 111 Bridge Street, Unit 205 -Recommended Approval
6. 111 Bridge Street -Recommended Approval
7. 92 Pleasant Street -TBD
8. 70 Court Street -TBD
9. 37 Whidden Street -Recommended Approval
10. 138 Maplewood Avenue -TBD
11. 145 Maplewood Avenue -Recommended Approval
12. 161 Deer Street -Recommended Approval
13. 179 Pleasant Street -Recommended Approval
14. 112 Mechanic Street -Recommended Approval
15. 401 State Street -TBD
16. 189 Gates Street -Recommended Approval

1. 1 Walton Alley

- Recommended Approval

Background: The applicant is seeking approval for the replacement of windows to match already replaced windows on the structure.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-636

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/16/2023

Primary Location

1 WALTON ALY
Portsmouth, NH 03801

Owner

WOODS JAMES WILLIAM &
MEINARDI ANNA ROELINE
1 WALTON ALY
PORTSMOUTH, NH 03801

Applicant

Mark Gianniny
 603-431-0274
mark@mchenryarchitecture.com
 4 Market St
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Additional window replacment with previoully approved windows.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

June 15, 2023

Nick Cracknell, Principal Planner
Portsmouth City Hall
1 Junkin Ave
Portsmouth, NH 03801

Re: 1 Walton Alley – HDC
Administrative approval

Mr. Cracknell and Board Members:

On behalf of James Woods & Anneke Meirardi, we request administrative approval for modification to the windows previously approved by this board. At prior public hearings, the board has approved restoration of the existing windows along the facades facing Gate Street and Walton Alley with windows on the other two facades replaced with Green Mountain, wood double-hung windows that match in size and configuration.

At the onset of construction, the existing window sashes were removed and reviewed by window restorer Rob Lusignan from Hemlock Historic Co. Upon examination his recommendation to Aaron Henderson, general contractor, were that the sashes are not restorable. Pictures of some of the sashes and deterioration are included in the attached sheets.

Due to the condition of the existing windows, we request replacement of all windows with the previously approved Green Mountain units. This will also provide a uniform appearance of all windows from the outside. Exterior storm windows will be deleted from the scope and remove visible obstructions. This change will also be in keeping with other properties in the neighborhood such as the Tobias Langdon house, a few doors away.

Sincerely,



Mark Gianniny, AIA
Principal

Cc: James Woods and Anneke Meinardi
Aaron Henderson

Exhibit A



Image 1



Image 2



Image 3



Image 4

Exhibit A



Image 1



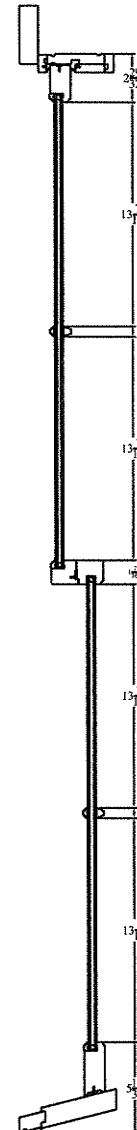
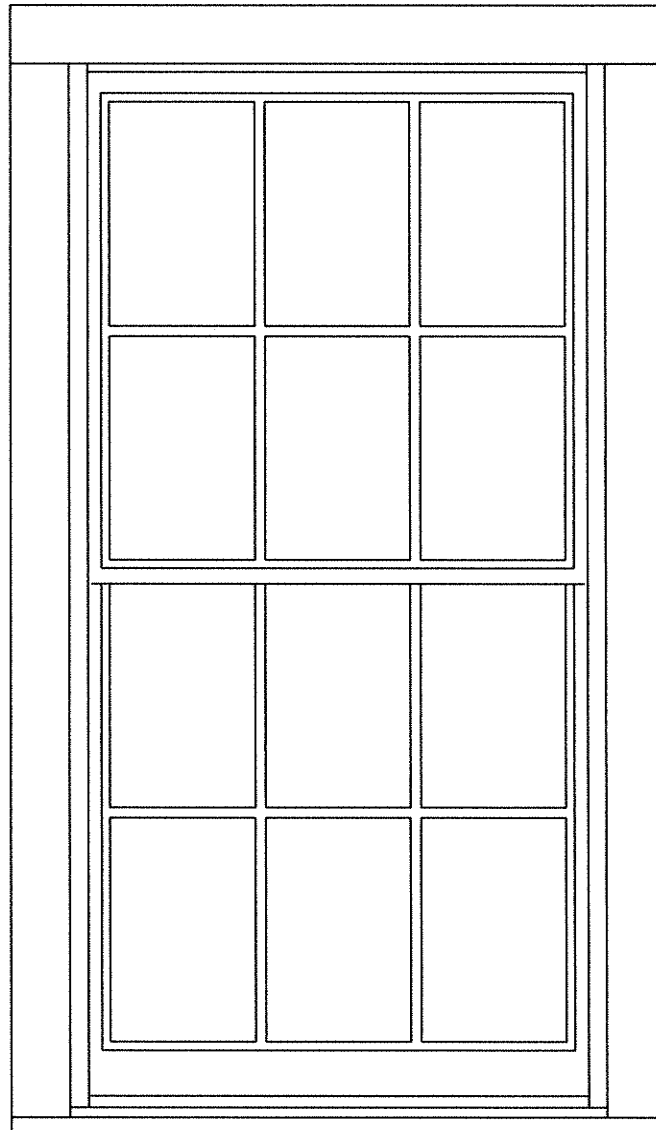
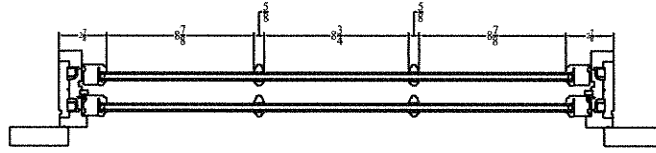
Image 2



Image 3



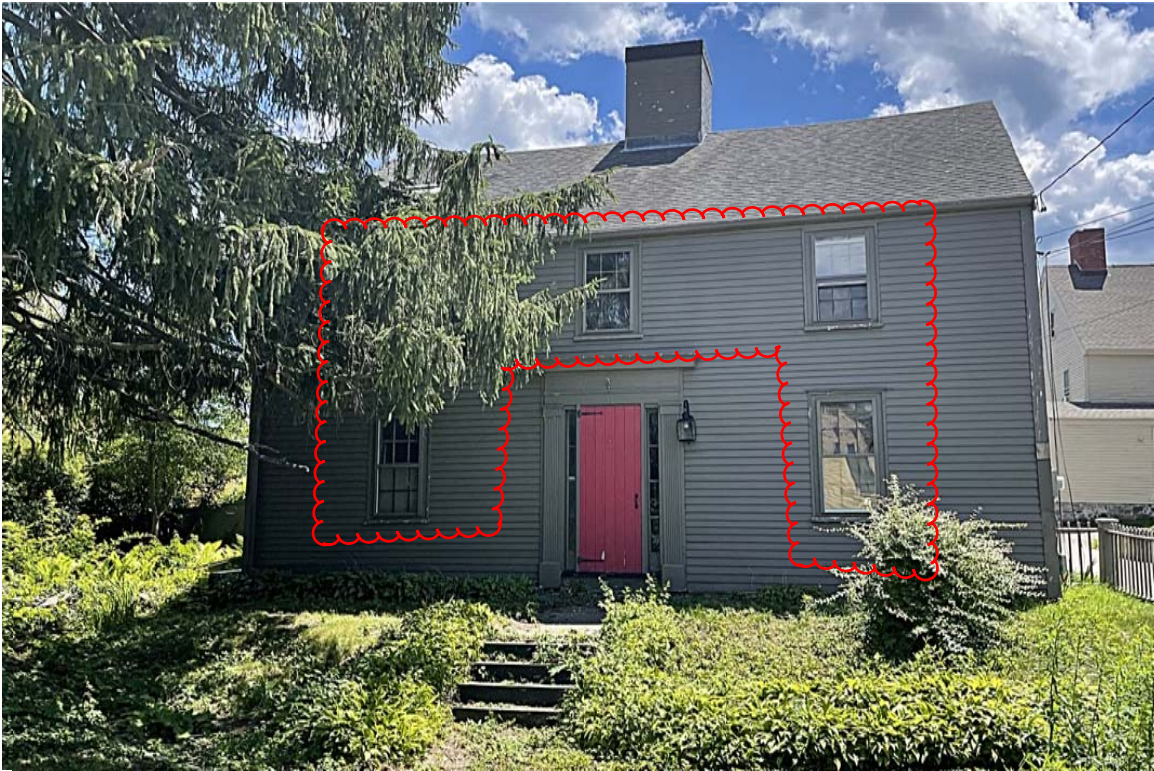
Image 4



MDH 2828

Note: the example above only applies to a 28 x 28 with 7/8" muntins in a 6/6 pattern.
 For all other sizes and configurations: determine the overall daylight opening of each sash (without lites) with the formulas on 1.5. Then multiply the number of bars by the bar width and deduct that number from that overall daylight. Divide this number by the number of lites for daylight of each lite.

$$\frac{\text{Overall DLO} - (\text{sum of all bar widths})}{\text{Number of Lites}} = 1.15$$



Walton Aly - Windows
HDC - Administration approval
July 5, 2023

2. 132-134 Middle Street

- Recommended Approval

Background: The applicant is seeking approval for the final roofing material and design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-635

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/16/2023

Primary Location

Owner
TORRINGTON BROWN LLC
(20.84 INT) & SINGLE
VENTURE LLC (52.05 INT)
60 K STREET SUITE 302
BOSTON, MA 02127

Applicant

Tracy Kozak
 603-731-5187
 tracyskozak@gmail.com
 3 Congress Street, Suite 1
Portsmouth, New
Hampshire 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

134 Middle Street

Project Information

Brief Description of Proposed Work*

Reroofing materials - supplemental information to prior approval, as previously stipulated

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

DRAWING INDEX	
Sheet Number	Sheet Name
H0.1	Cover Page
H1.1	ROOF PLAN
H2.1	EXISTING CONDITIONS PHOTOS
H2.4	EXISTING CONDITIONS PHOTOS
H3.1	SOUTHWEST ELEVATION
H3.2	NORTHEAST ELEVATION
H3.3	SOUTHEAST ELEVATION
H3.4	NORTHWEST ELEVATION
MATERIAL DATA SHEETS	

PROJECT NARRATIVE

Supplemental Reroofing Materials and Drawings,
as requested at June HDC Public Hearing as part of exterior rehabilitation.

Previous application included:
Renovation and restoration of multifamily buildings at middle street, (building 132-134). The buildings will be rehabilitated and restored in compliance with building and life safety codes.

The scope of work will include repointing the existing bricks, replacing deteriorated roofing, replacing the front entrance (steps and railing), repairing entrance doors, repair of windows and storms, replacement of downspouts and gutters. The work will include repairing the existing wood soffits and restoring brownstone masonry. The scope will also include cleaning existing masonry.



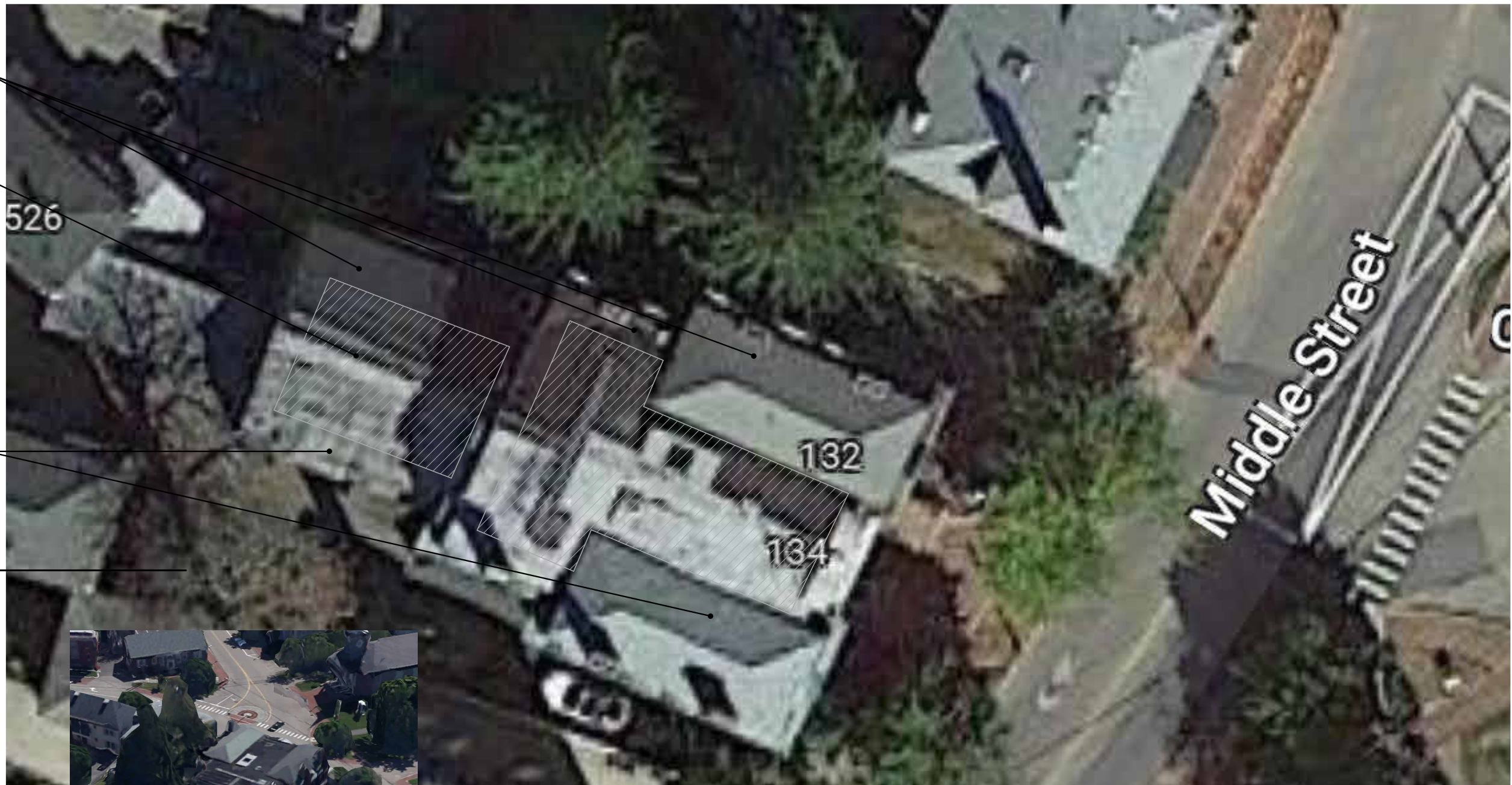
LOCATION OF WORK



132-134 MIDDLE STREET

RENOVATION + RESTORATION

HISTORIC DISTRICT COMMISSION
PUBLIC HEARING - CONTINUATION



28

9

8

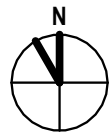
1 ROOF
1/16" = 1'-0"



2 3D Back View
1 1/2" = 1'-0"

RECOMMENDATIONS	
NOTES	

8	Replace existing asphalt shingles with new synthetic slate shingles to match existing slate shingles.
9	Replace existing EPDM roofing on the deck with new EPDM roofing with new copper edge metal/drip edge, etc.
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.



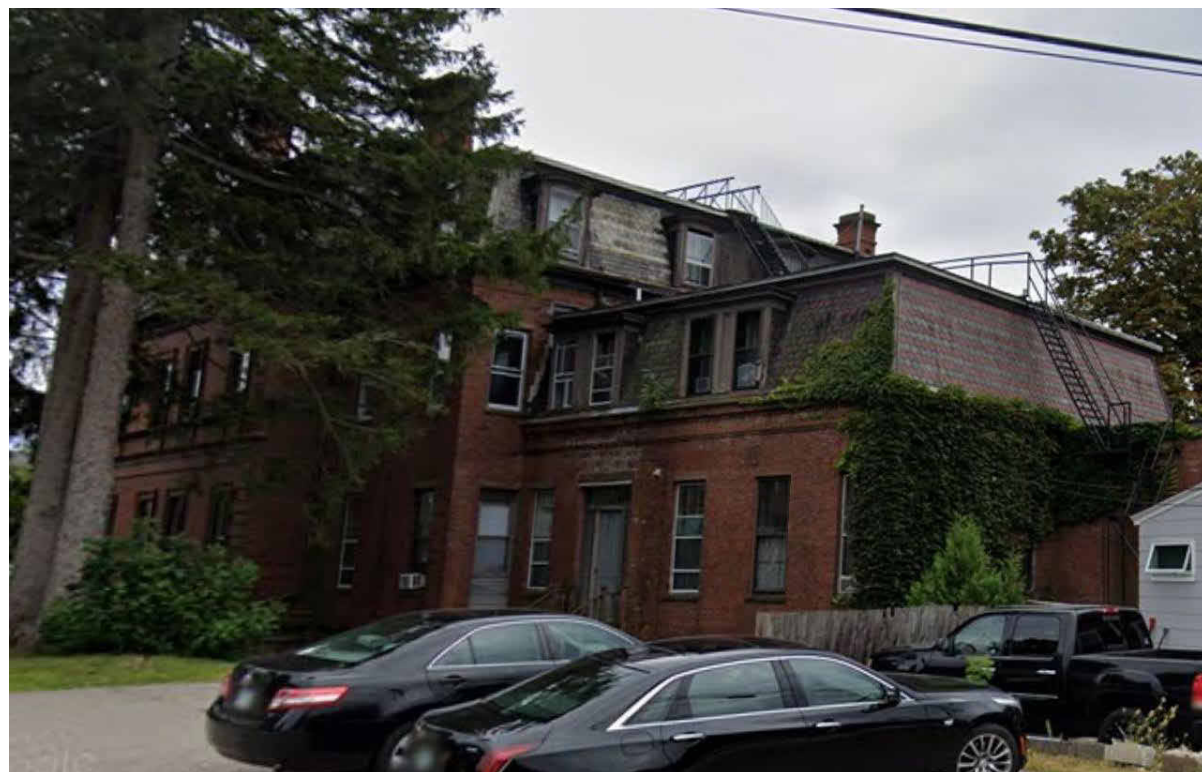
ROOF PLAN
132-134 MIDDLE ST HOUSING



FRONT, NORTH
& REAR SIDES



FRONT &
SOUTH SIDES



RECOMMENDATIONS	
NOTES	
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.



EXISTING SHINGLE_RED



EXISTING SHINGLE_BLACK

Ecostar Majestic, Custom shape and size to resemble the existing roof. The attached pictures for reference only.

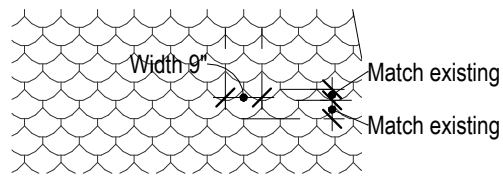


PROPOSED RED SLATE



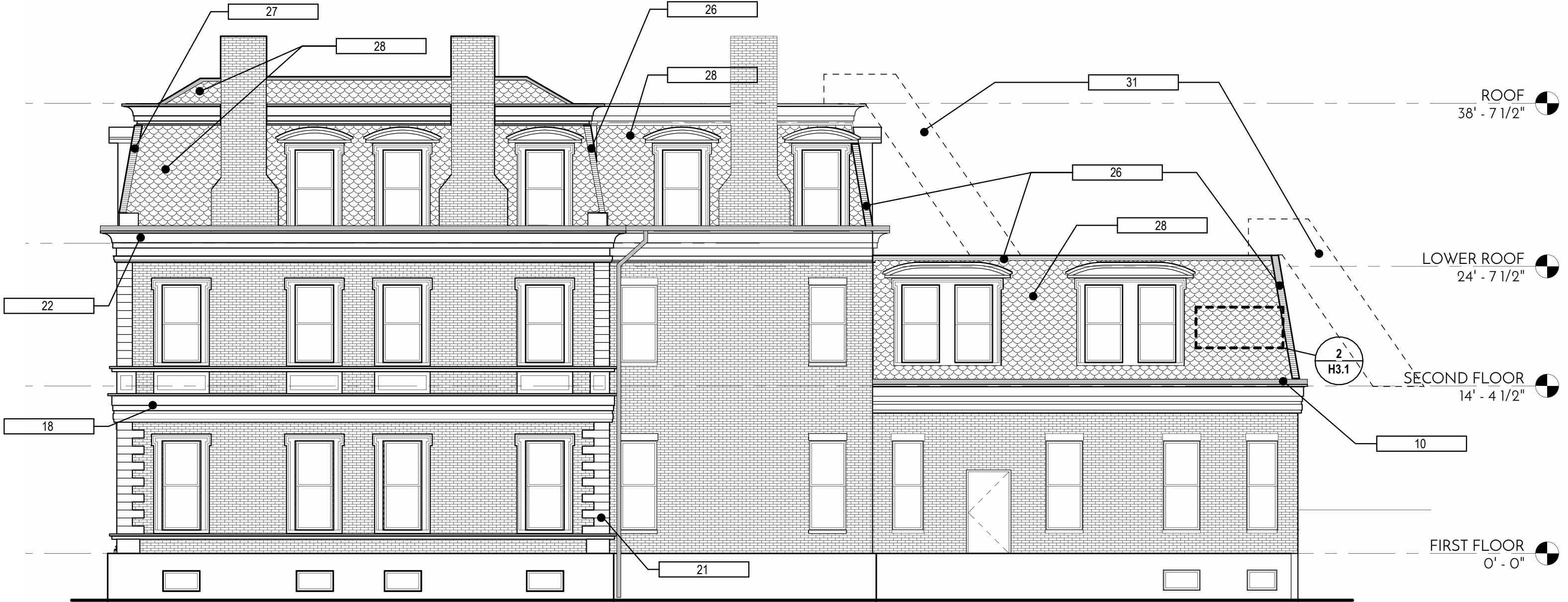
PROPOSED GRAY SLATE





General Note:
All fire escapes to be removed reference attached images

2 ENLARGE ROOF SLATE
1/4" = 1'-0"



1 SOUTHWEST ELEVATION Presentation
1/8" = 1'-0"



RECOMMENDATIONS	
	NOTES
10	Replace gutters and downspouts with new copper gutters and downspouts.
18	Repair brownstone, trims, and paints on the exterior.
21	Clean mold, moss and lichen.
22	Repair and repaint the existing soffit..
26	Copper hip flashing.
27	Repair or replace wood hip trim and plinth detail.
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.
31	Remove existing metal guardrails, stairs and fire escape from the upper roof to the lower roof and down to grade.

SOUTHWEST ELEVATION
132-134 MIDDLE ST HOUSING

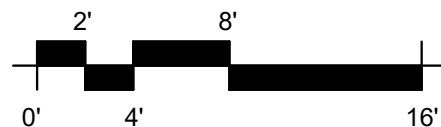
General Note:
All fire escapes to be removed reference attached images



RECOMMENDATIONS	
NOTES	

3	Repair rotting existing windows and storms.
8	Replace existing asphalt shingles with new synthetic slate shingles to match existing slate shingles.
10	Replace gutters and downspouts with new copper gutters and downspouts.
18	Repair brownstone, trims, and paints on the exterior.
22	Repair and repaint the existing soffit.
24	Repoint the infilled bricks with a mortar color matching the existing to blend with the existing bricks.
26	Copper hip flashing.
27	Repair or replace wood hip trim and plinth detail.
31	Remove existing metal guardrails, stairs and fire escape from the upper roof to the lower roof and down to grade.

1 **NORTHEAST ELEVATION Presentation**
1/8" = 1'-0"



NORTHEAST ELEVATION
132-134 MIDDLE ST HOUSING

H3.2

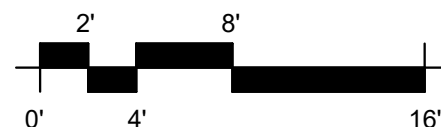
06/16/23
PROJECT NO:1020

General Note:
All fire escapes to be removed reference attached images



LOWER ROOF
24' - 7 1/2"

1 **SOUTHEAST ELEVATION Presentation**
1/8" = 1'-0"



SOUTHEAST ELEVATION
132-134 MIDDLE ST HOUSING

RECOMMENDATIONS	
	NOTES

3	Repair rotting existing windows and storms.
8	Replace existing asphalt shingles with new synthetic slate shingles to match existing slate shingles.
10	Replace gutters and downspouts with new copper gutters and downspouts.
18	Repair brownstone, trims, and paints on the exterior.
22	Repair and repaint the existing soffit.
26	Copper hip flashing.
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.
31	Remove existing metal guardrails, stairs and fire escape from the upper roof to the lower roof and down to grade.

General Note:
All fire escapes to be removed reference attached images



1 **NORTHWEST ELEVATION Presentation**
1/8" = 1'-0"



NORTHWEST ELEVATION
132-134 MIDDLE ST HOUSING

RECOMMENDATIONS	
	NOTES

3	Repair rotting existing windows and storms.
4	Clean, patch, and paint the front entry door front/back.
5	Replace front treads and risers with colored concrete to match existing brownstone. Existing brownstone to be repaired.
8	Replace existing asphalt shingles with new synthetic slate shingles to match existing slate shingles.
10	Replace gutters and downspouts with new copper gutters and downspouts.
11	Replace and install missing railings at front stoop with new wrought iron railings to match existing historic fencing.
18	Repair brownstone, trims, and paints on the exterior.
22	Repair and repaint the existing soffit.
27	Repair or replace wood hip trim and plinth detail.
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.

H3.4



Sustainable Roofing



Designer Series Slate

Beaver Tail | Beveled Edge | Chisel Point



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

Designer Series Slate



Many unique shapes and designs have been seen in slate roofing throughout history. Designer Series Slate tiles allow building owners the opportunity to continue that expression of individuality. EcoStar LLC, the leading manufacturer of premium synthetic steep-slope roofing products, offers three classic shapes as part of the Designer Series Slate collection. Made with the same formulas and offering the same benefits as Majestic Slate and Empire Slate, Designer Series Slate offers unlimited creative possibilities.

Custom shape and size to resemble the existing roof



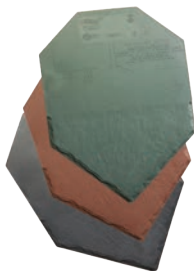
Beaver Tail

The rounded look makes this classic slate tile perfect for designing unique roof patterns or creating a true carriage house appeal.

Colors: Federal Gray & Stone Red

Beveled Edge

The look of scalloped edges in a hexagonal pattern makes beveled edge tiles a classic. This rare style can be intermixed with traditional slate tiles or used separately for historical applications.



Chisel Point

Chisel Point tiles form a beautiful diamond pattern on the roof, reminiscent of European roof designs.

Available Colors:

Majestic Slate: 11 standard colors

Empire Slate: 14 standard colors and unlimited custom colors

Note: Sample pieces, photographs or color samples may not accurately represent the true color level or variations of color blends that will appear on the roof. Before installation, ten tiles or so should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications are subject to change without notice. EcoStar is not liable for color variations or shading. Tiles must be randomly blended for best results. Limited warranties carry terms and conditions.

Advantages

- Weighs significantly less than natural slate
- Minimum 4" of headlap protection
- Easy application keeps installation costs down

Architectural Flexibility

- The various styles of Designer Series Slate can be blended together with Majestic Slate or Empire Slate traditional tiles to create unique designs
- Special shapes replicate those found in historical, carriage house and European architecture
- Available in a wide array of standard and custom colors
- Available in three different shapes: Beaver Tail, Beveled Edge and Chisel Point
- Natural appearance of real slate roofing

Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hail and wind-driven rain
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 110 mph Wind Warranty available



Environmental Sustainability

- Manufactured with up to 80% post-industrial recycled materials

Technical Information

- UL listed Class C/A fire resistance (UL 790)
- UL listed wind resistance to 110 mph (D3161)
- UL Class 4 impact resistance (UL 2218)
- Prolonged UV Exposure (ASTM G155)
- UL Evaluation Reports, AC07-ULER 18920-01 and 18920-02
- May contribute to LEED® points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



42 Edgewood Drive | Holland, NY 14080
800.211.7170 | www.ecostarllc.com

Innovative Design, Classic Slate Look

EcoStar Slate

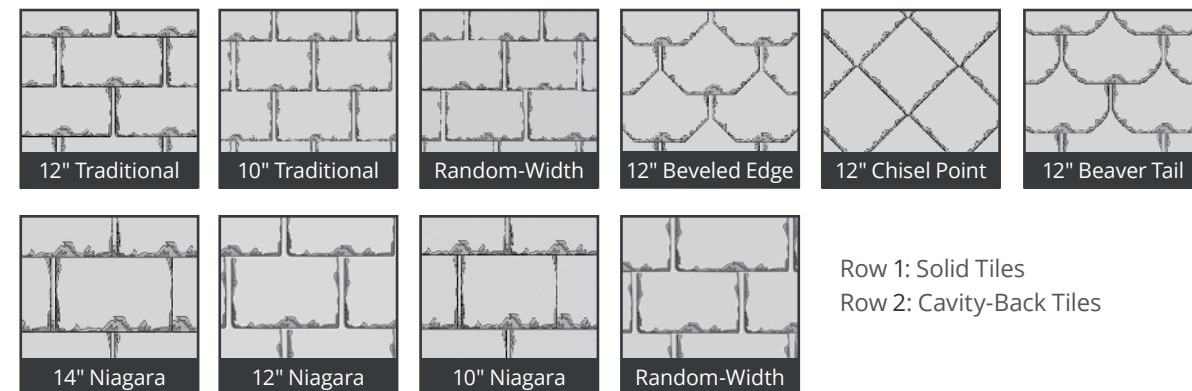
Post-industrial recycled compounds are utilized to create a lightweight and environmentally responsible alternative to natural slate. An EcoStar roof offers beautiful, yet proven protection for your most prized investment. It is an inspiration to homeowners looking for affordable style and uncompromised performance.

Significant advantages:

- Weighs significantly less than natural slate
- Protects against extreme weather conditions
- Reduces need for maintenance and repair
- Lessens environmental impact
- Exceeds industry performance standards
- 50-year warranty

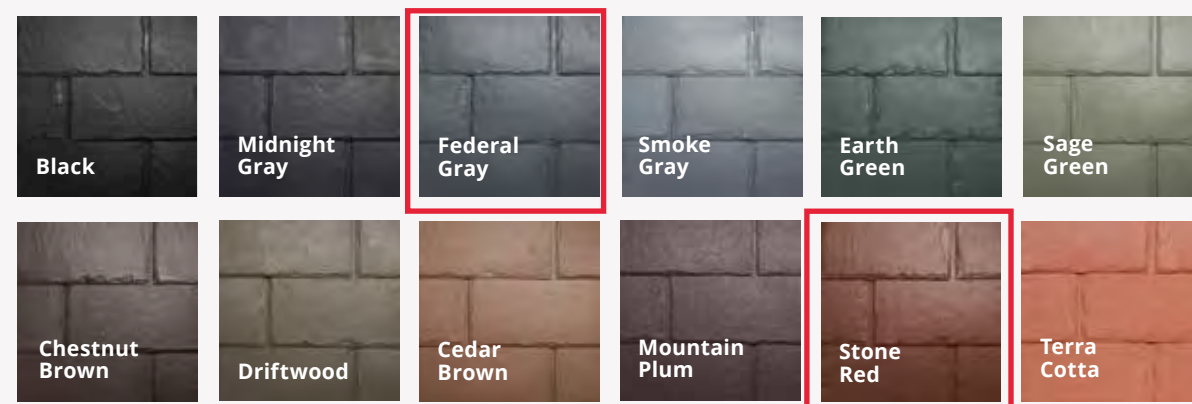
Profiles

Custom shape and size to resemble the existing roof



Row 1: Solid Tiles
Row 2: Cavity-Back Tiles

Majestic Standard Colors



The right tile for any property

Whether you are looking to elevate the look of a residential property, meet the performance needs of a commercial property, or preserve the look of a historical property, EcoStar offers the right tile.

Majestic Slate

EcoStar's original eco-friendly tile, made of 80% recycled materials, meeting the needs of most residential applications.

Niagara Slate

Niagara Slate is available in the Majestic and Empire formulas and offers an increased tile size and thickness for enhanced shadow lines and increased aesthetic appeal.

Empire Slate

The same classic slate look as Majestic Slate with additional energy-saving benefits, and design features that meet the needs of commercial and historical properties.

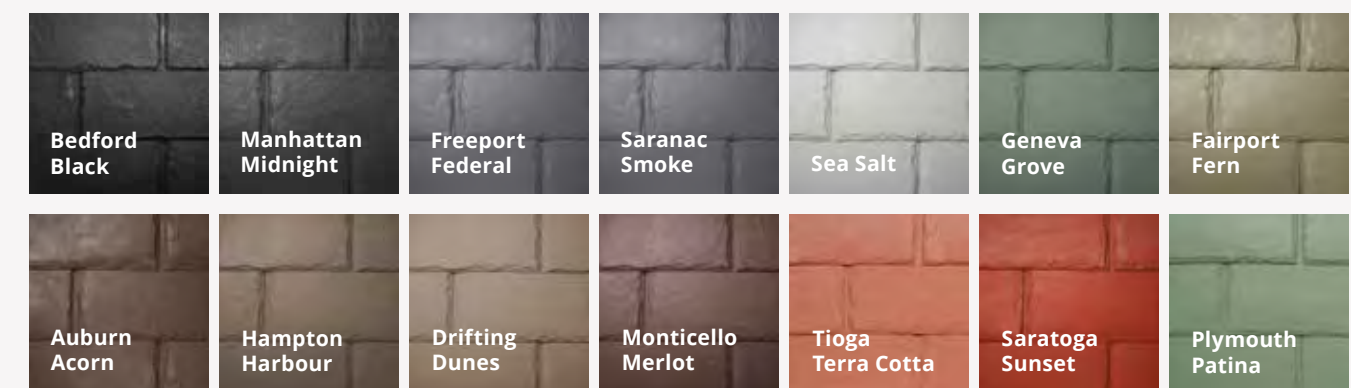
Our slates replicate real slate in so many ways - the beauty and durability, the slight sheen after installation, and the gentle patina of the surface over time.

Tile Features	Majestic Slate		Empire Slate	
	Traditional	Niagara	Traditional	Niagara
Recycled Material	80%	80%	25%	25%
Tile Widths	12", 10", 9", 6"	14", 12", 10"	12", 10", 9", 6"	14", 12", 10"
Profile	Solid	Cavity-back	Solid	Cavity-back
Tile Thickness	1/4"	5/8"	1/4"	5/8"
Reveal	7", 6"	10", 9"	8", 7", 6"	10", 9"
Weight per Square (at maximum reveal)	275 lbs. (12" tile)	250 lbs. (14" tile)	308 lbs. (12" tile)	290 lbs. (14" tile)
Fire Rating	Class C	Class C	Class C/A	Class C/A
Impact Rating	Class 4	Class 4	Class 4	Class 4
Miami-Dade	No	No	Yes	Yes
Standard Colors	12	12	14	14
Cool Roof Colors	No	No	11	11
Custom/Marbled Colors	No	No	Yes	Yes
Designer Tiles	Yes	No	Yes	No

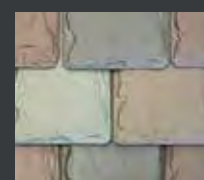
Cool Colors

Enjoy additional energy savings from our line of Cool Colors, available in all Empire colors. (excludes Bedford Black, Tioga Terra Cotta and Plymouth Patina)

Empire Standard & Cool Colors



Color samples may not accurately represent the true color level or variations of color blends that will appear on the roof. Colors and specifications subject to change without notice. EcoStar is not liable for color variations or shading.



Looking for a more unique look? Achieve a custom look by combining multiple profiles and/or colors. See page 20 to learn more.

All EcoStar products are factory pre-blended for both color and width.

"EcoStar synthetic slate was just what we were looking for. We were able to select the size, shape, and blend of colors required to give our home the look of a well-preserved nineteenth-century structure."

- Jay Panzer, Homeowner

EcoStar representatives are available for information about energy savings and homeowners insurance discounts. Visit our website to find your local representative.

3. 303 Pleasant Street

- Recommended Approval

Background: The applicant is seeking approval for the final railing design for an approved entry stair re-design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-640

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/19/2023

Primary Location

303 PLEASANT ST
Portsmouth, NH 03801

Owner

THOMAS GREGORY R &
THOMAS MARY D
303 PLEASANT ST
PORTSMOUTH, NH 03801

Applicant

Mary Thomas
 603-969-3583
 sarmcmatt@gmail.com
 303 Pleasant Street
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

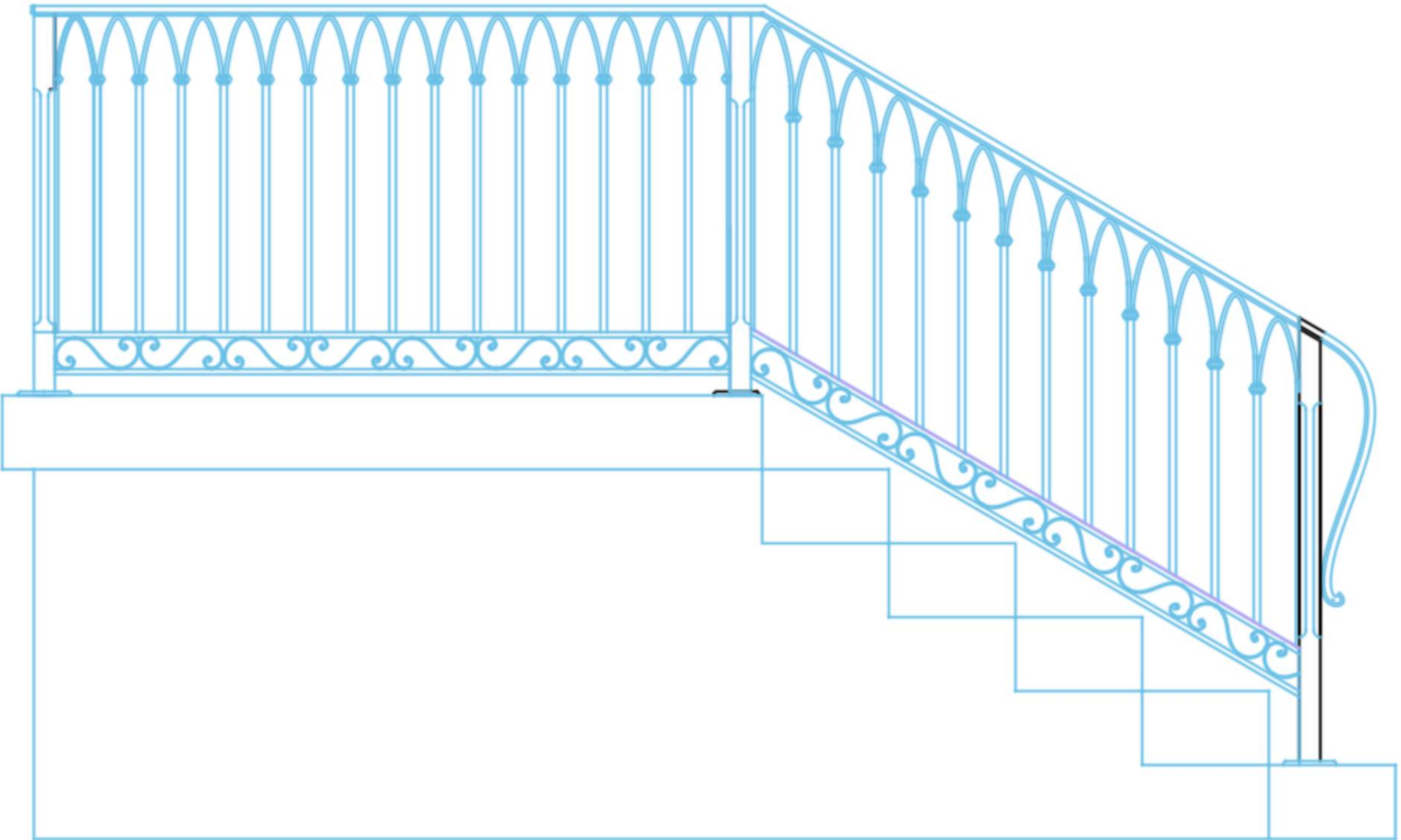
Project Information

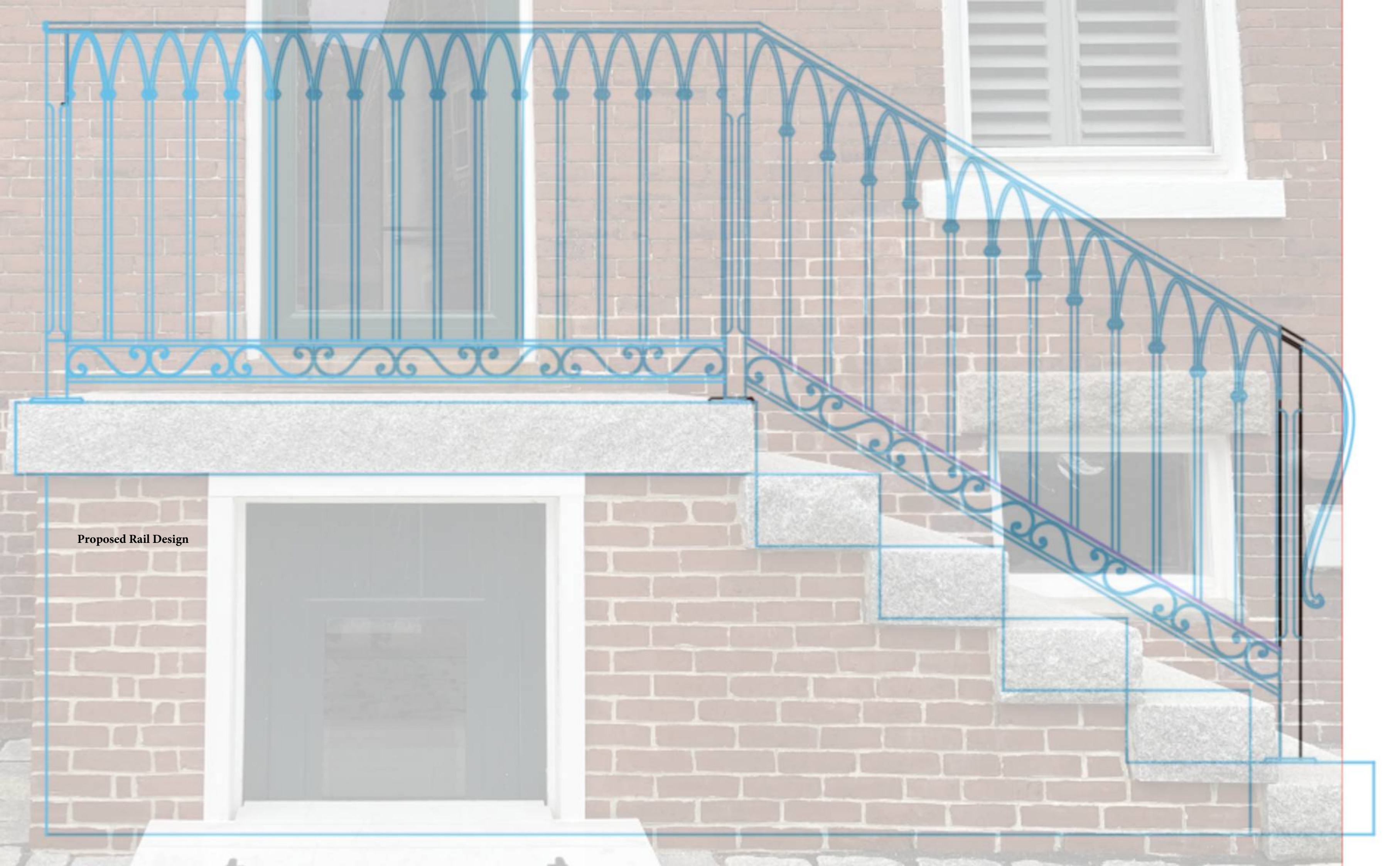
Brief Description of Proposed Work*

Wrought iron railing to be added to newly repaired back exterior stairs on Washington Street side of house. This work was permitted on April 27, 2023 under BLDG-23-113. We are adding more detail about the railing design specifically.

Railing to be 35-36" tall relative to the granite base, with picket spacing of 4" on center, for a total gap of 3-3/8" between pickets. There are no sections of the railing that will allow a 4" ball to pass through. The triangular gap under the step section will not allow a 6" ball to pass through, per code.

Railing will be constructed of forged solid steel with welded and mechanical fasteners. The support posts are 2" square steel with welded flanges at bottom for bolting to granite landing. These will be fastened to the granite with epoxied, threaded inserts and are sized to support a minimum 200 pound lateral force at the top of the railing. The fasteners are stainless steel and the entire railing assembly will be hot-dip galvanized and followed by a black powdercoat painted finish.



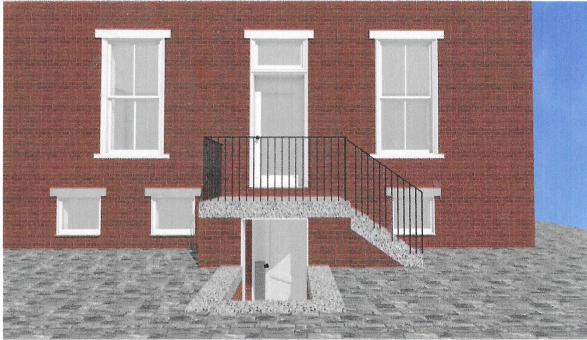


Proposed Rail Design

Approved Design



EXTERIOR 1



EXTERIOR 2



EXTERIOR 3



EXTERIOR 4

PROJECT TITLE: PROJECT NO:	
DRAWN BY:	CHECKED BY:
DATE:	SCALE:
SHEET:	A-100

Prepared by:
 Checked by:
 Approved by:

**Existing
Conditions**



4. 3 Walker Street

- TBD

Background: The applicant is seeking approval for the replacement of the front door and the replacement of the front decking and railings with composite material and cover posts with PVC wrap.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-631

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/14/2023

Primary Location

3 WALKER ST
Portsmouth, NH 03801

Owner

KIPPERMAN BRUCE S &
KIPPERMAN ALICE M
WALKER ST 3 PORTSMOUTH,
NH 03801

Applicant

John McCormack
 603-661-3755
john@greatislandbuilders.com
 PO Box 383
43 Piscataqua St
New Castle, NH 03854

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Replace front door, pressure treated decking and railings with composite material and cover posts with PVC post wrap.

Description of Proposed Work (Planning Staff)

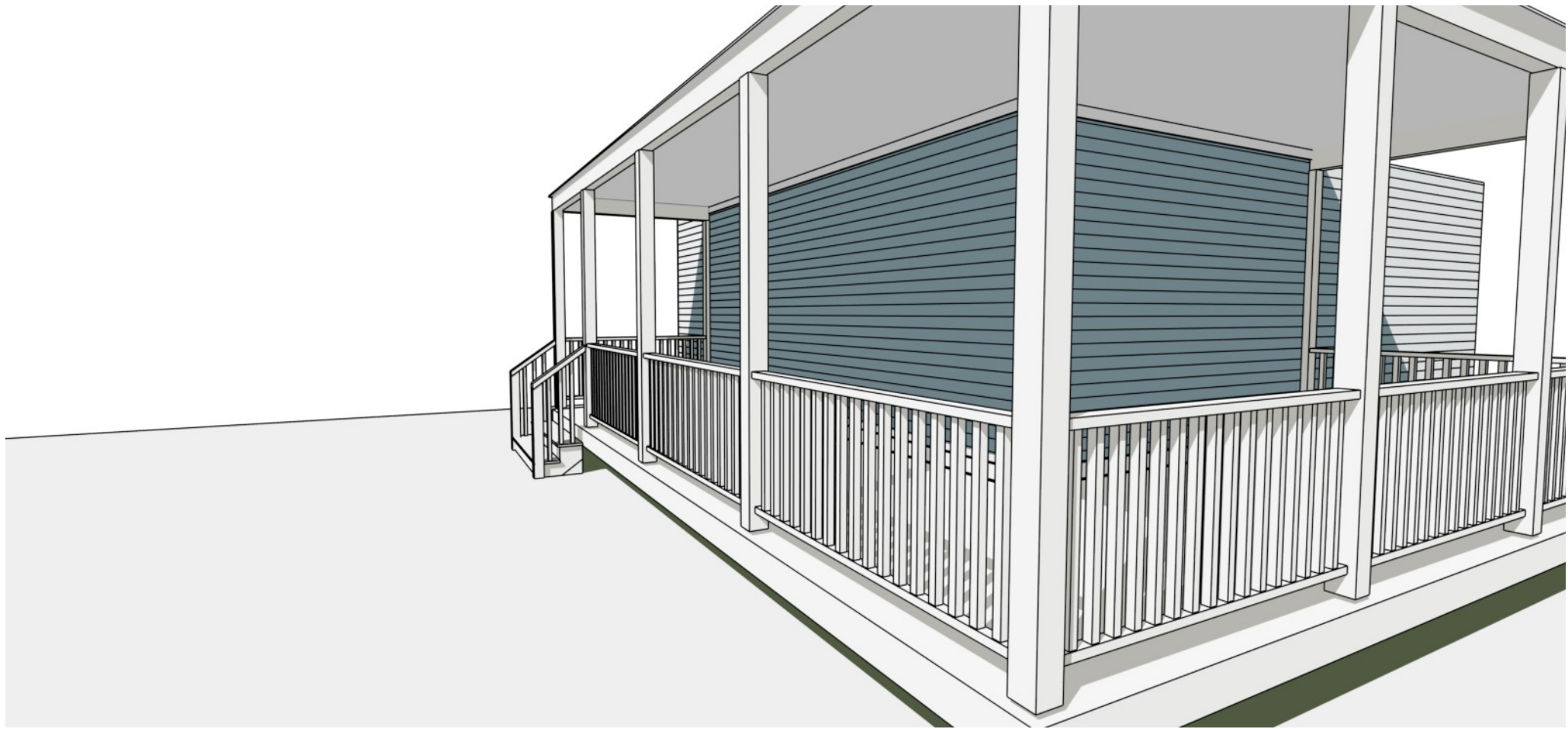
Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor

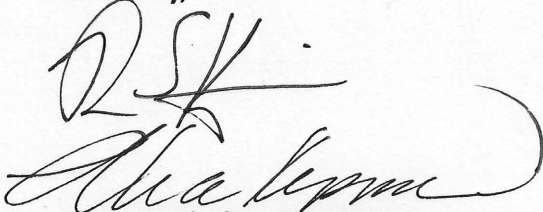


Tuesday, June 13, 2023

TO:
HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NH 03801

We authorize John McCormick to represent us before the Historic District Commission
And any meetings that are required. We have met with John and asked him to act on our
behalf during this process.

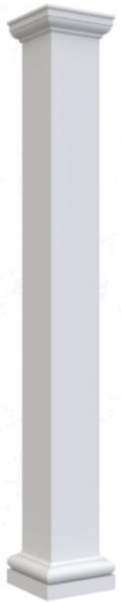
Sincerely,

A handwritten signature in black ink, appearing to read "Bruce and Alice Kipperman". The signature is written in a cursive style with a large, sweeping flourish at the end.

Bruce and Alice Kipperman
3 Walker St
Portsmouth, NH 03801

Kipperman
3 Walker St
Portsmouth NH



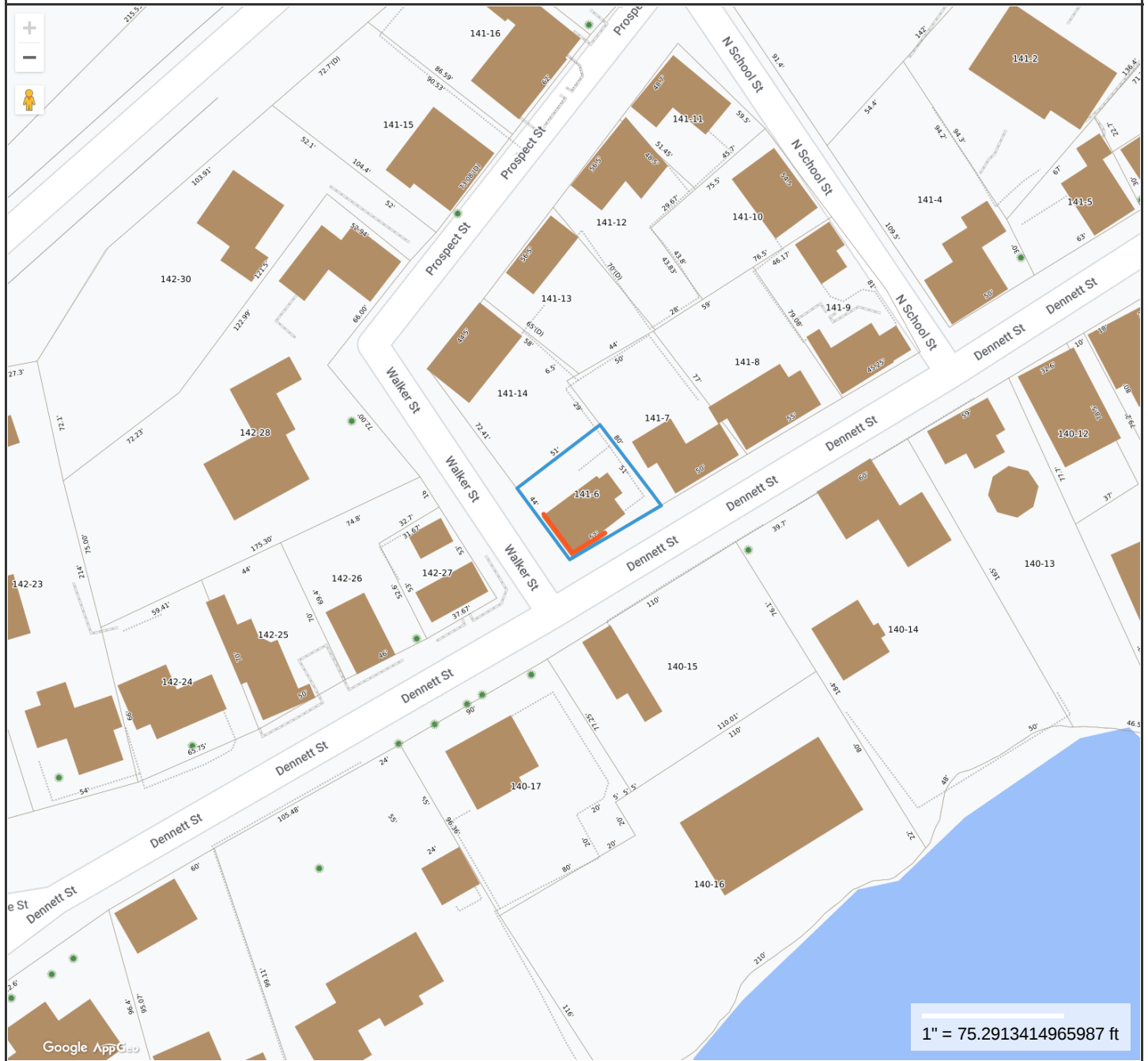


5" Square Porch Post available in 8',9', and 10'

10 Prospect St
Portsmouth, NH



3 Walker Street



Property Information

Property ID 0141-0006-0000
Location 3 WALKER ST
Owner KIPPERMAN BRUCE S



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 06/21/2023
Data updated 3/9/2022

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

5. 111 Bridge Street, Unit 205 - Recommended Approval

Background: The applicant is seeking approval for the installation of an awning system.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-637

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/16/2023

Primary Location

111 BRIDGE ST

Portsmouth, NH 03801

Owner

CRESTA JAMES & DEBRA

FAMILY REV TRUST &


CRESTA JAMES M AND


DEBRA R TRUSTEES

111 BRIDGE ST UNIT 205


PORTSMOUTH, NH 03801

Applicant

 Jennifer Ramsey

 603-766-3760 ext. 1

jramsey@sommastudios.com

 36 Maplewood Ave
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address 

Administrative Approval

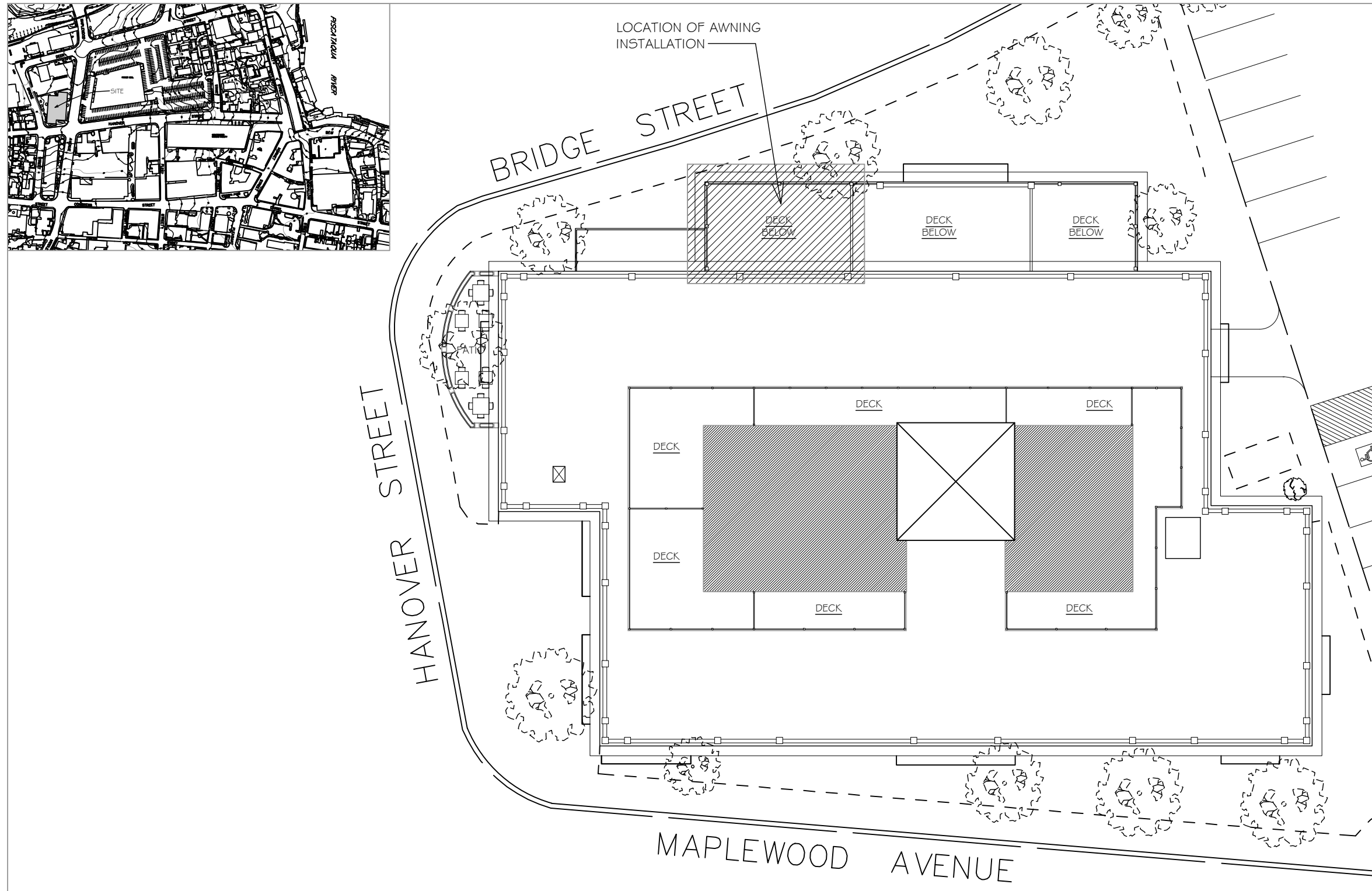
Project Information

Brief Description of Proposed Work*

Add awning at roof deck

 Description of Proposed Work (Planning Staff)

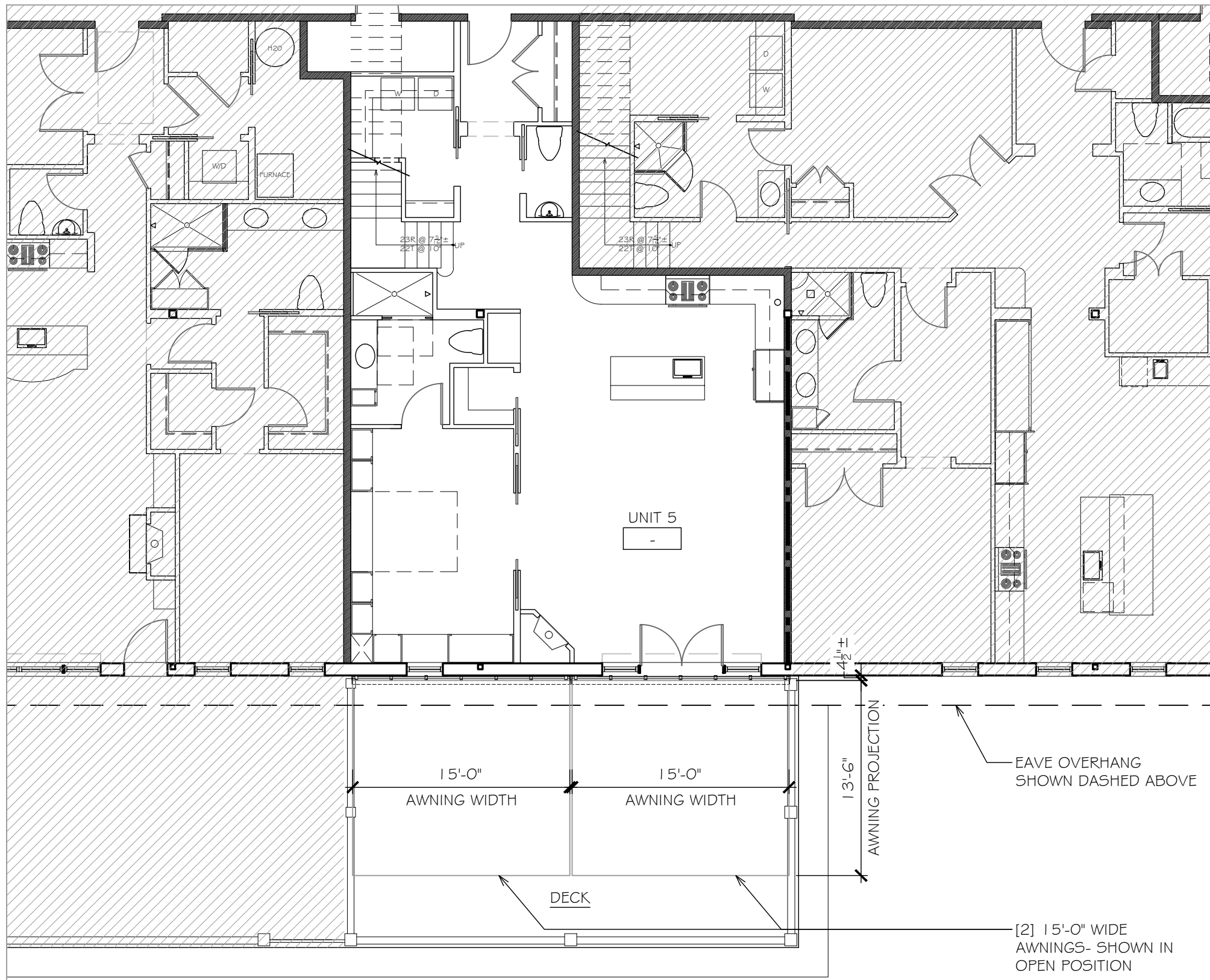
LOCUS MAP



SITE PLAN: Location of Installation

SCALE: N.T.S.





DECK PLAN: Awning Projection

SCALE: 1/8" = 1'-0"





PARTIAL BRIDGE ST. ELEVATION: Awning Projection

SCALE: 1/8" = 1'-0"

PARTIAL BRIDGE ST. RENDERING: Awning Projection

SCALE: 1/8" = 1'-0"

111 Bridge Street, Portsmouth, New Hampshire

UNIT 5

SCALE: AS NOTED

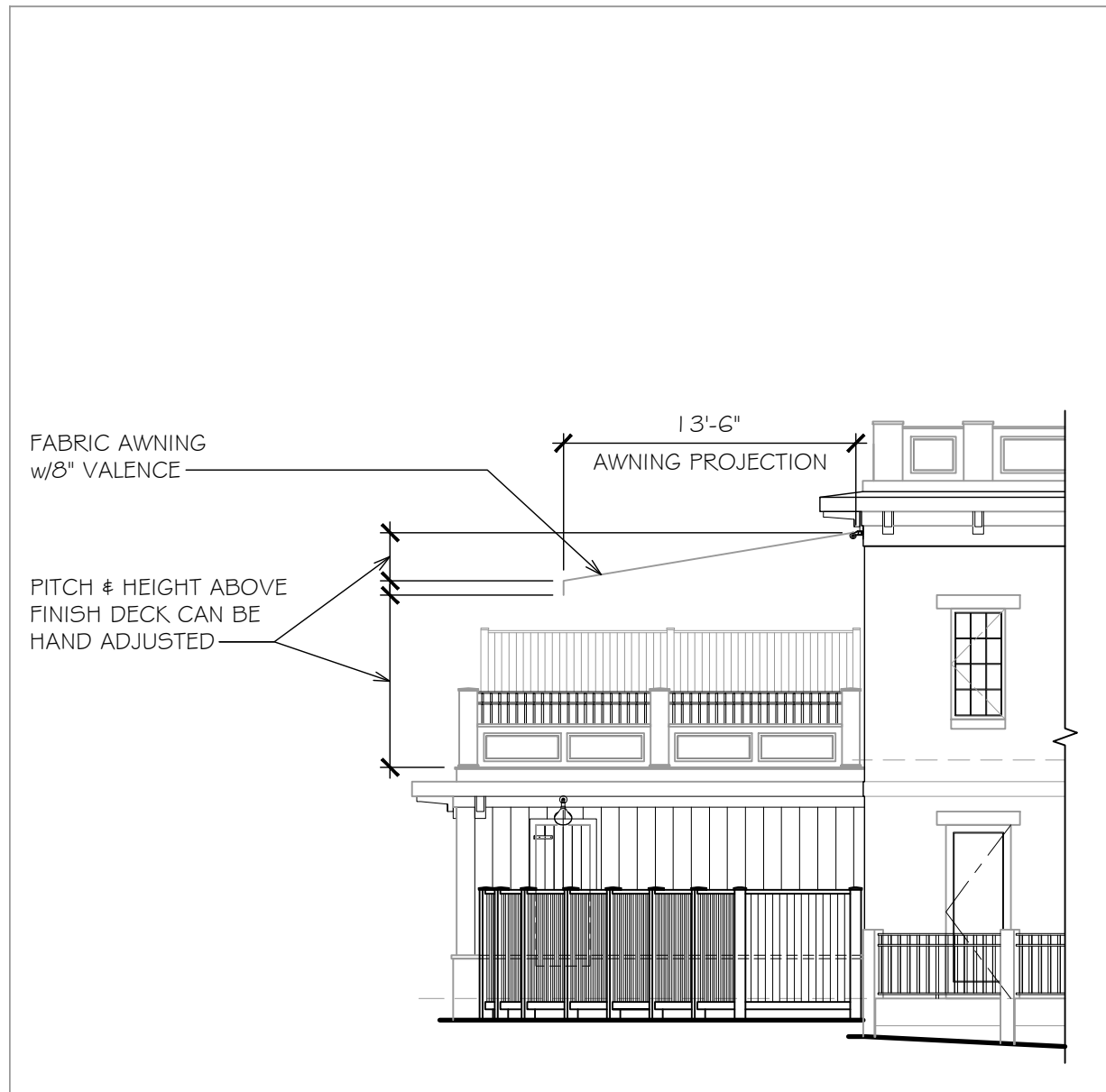
SOMMA Studios 603/766.3760

PH

7.05.23

ARCH. SHT. 3





PARTIAL HANOVER ST. ELEVATION: Awning Projection
 SCALE: 1/8" = 1'-0"

PARTIAL HANOVER ST. RENDERING: Awning Projection
 SCALE: 1/8" = 1'-0"



6. 111 Bridge Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of lighted signage.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-630

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/14/2023

Primary Location

111 BRIDGE ST
Portsmouth, NH 03801

Owner

30 Maplewood HOA
Bridge St 111 Portsmouth, NH
03801

Applicant

Charles Dye
 603-373-8145
 charles.s.dye@comcast.net
 111 Bridge St Unit 203
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

30 Maplewood Ave Portsmouth, NH

Project Information

Brief Description of Proposed Work*

Install lighted sign for residences at 111 Bridge St.

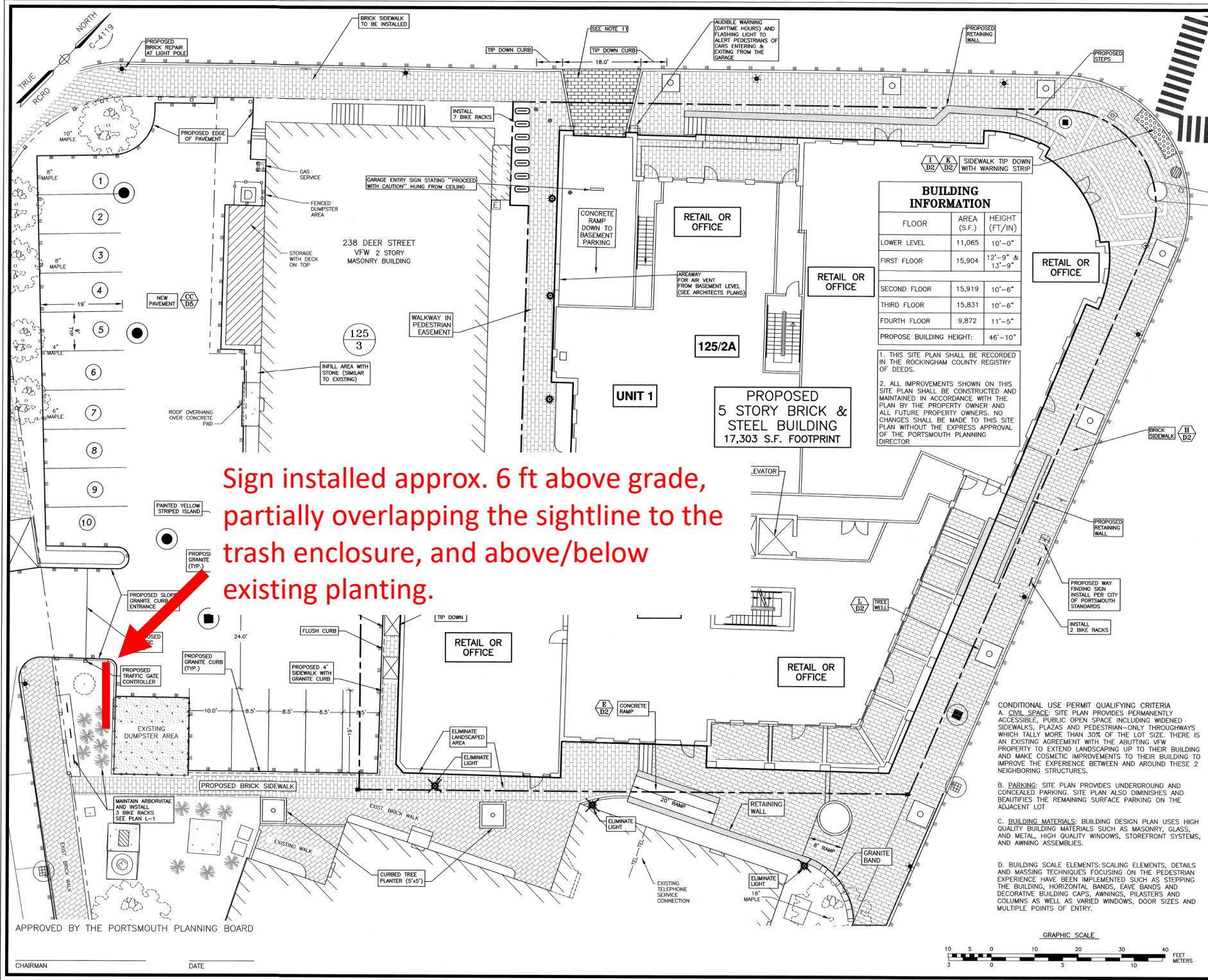
Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.



Sign installed approx. 6 ft above grade,
 partially overlapping the sightline to the
 trash enclosure, and above/below
 existing planting.

BUILDING INFORMATION

FLOOR	AREA (S.F.)	HEIGHT (FT./IN)
LOWER LEVEL	11,065	10'-0"
FIRST FLOOR	15,904	12'-9" & 13'-9"
SECOND FLOOR	15,919	10'-6"
THIRD FLOOR	15,831	10'-6"
FOURTH FLOOR	9,872	11'-5"
PROPOSED BUILDING HEIGHT:	46'-10"	

1. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors

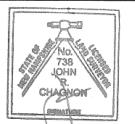
300 Griffin Road, Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

- NOTES:**
- PROPOSED BUILDING USES:**
 BASEMENT: PARKING, STORAGE, UTILITIES, CIRCULATION, TRASH
 1st FLOOR: RETAIL, OFFICE, PARKING
 2nd to PENTHOUSE FLOOR: RESIDENTIAL
 22 RESIDENTIAL UNITS AND 1 OFFICE SPACE
 - PARKING CALCULATIONS**
 REQUIRED PARKING:
 22 RESIDENTIAL UNITS x 1.5 SPACE/UNIT = 33 SPACES
 33 + 4 (ORDINANCE REDUCTION) = 29 SPACES REQUIRED
 SPACES PROVIDED: 30 SPACES (SEE ALSO SHEET C4)
 - EXISTING LOT AREA: 21,798 S.F.
 PROPOSED BUILDING: 17,303 S.F.
 TOTAL BUILDING COVERAGE: 17,303/21,798 x 100% = 79.4%
 OPEN SPACE:
 (21,798 - 17,303 S.F.)/21,798 S.F. x 100 = 20.6%
 - ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS. STATEMENT REQUIRED PER SECTION 2.13.3 OF THE SITE PLAN REGULATIONS SHALL BE INCLUDED ON THE SITE PLAN TO BE RECORDED.
 - DELETED
 - EXTERIOR LIGHTING SHALL CONFORM TO THE STANDARDS IN SEC. 10.1140 OF THE CITY OF PORTSMOUTH ZONING ORDINANCE AND ARTICLE 10 OF THE SITE PLAN REVIEW REGULATIONS, INCLUDING PREVENTION OF LIGHT TRESPASS AND GLARE.
 - DELETED
 - EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF OFF SITE. SNOW SHALL NOT BE STORED ON OR STORED ON CITY PROPERTY.
 - 46-64 MAPLEWOOD TRASH DISPOSAL IS FROM PRIVATE PICK UP.
 - SITE IS VESTED TO DECEMBER 2013 ZONING.
 - FOUNDATION TO BE DESIGNED TO BE WATER TIGHT AT THE BASEMENT LEVEL. FOUNDATION DESIGN/CONSTRUCTION SHALL MINIMIZE GROUNDWATER EFFECTS BY USING APPROPRIATE BACKFILL AND OTHER METHODS UNDER AND AROUND THE FOUNDATION AND, IF NECESSARY BY RAISING THE ELEVATION OF THE BASEMENT/ FOUNDATION. A QUALIFIED GEOTECHNICAL ENGINEER SHALL EVALUATE THE GROUND WATER CONDITION DURING EXCAVATION TO DETERMINE ANY RECOMMENDED ADJUSTMENTS. ANY PROPOSED PERMANENT DISCHARGES INTO THE CITY'S STORMWATER SYSTEM SHALL BE QUANTIFIED AND SHALL RESULT IN NO NET INCREASE IN RATE OF PEAK FLOW FROM EXISTING CONDITIONS AND SHALL REQUIRE REVIEW AND APPROVAL BY DPW AND A STORMWATER DISCHARGE PERMIT AS WELL AS A SITE PLAN AMENDMENT.
 - THE BRICK APRON SHALL BE CONSTRUCTED ON AN ASPHALT SUBSTRATE FOR RIGIDITY AND LONGEVITY. UPON NOTICE FROM DPW OR OTHER CITY ENTITY/AGENCY TO THE PROPERTY OWNER OF ANY DEFICIENCY IN THE SURFACE OF THE APRON IN THE FUTURE, THE OWNER WILL HAVE 30 DAYS TO REPAIR OR REPLACE THE APRON TO THE DPW'S SATISFACTION WITH LIKE OR OTHER ADA ACCEPTABLE MATERIALS. IF AFTER 30 DAYS, THE DEFICIENCY IS NOT CORRECTED BY THE PROPERTY OWNER, THE CITY AT ITS OPTION, WILL REMOVE THE BRICK APRON AND REPLACE WITH A NEW ADA APPROVED SURFACE OF ITS CHOOSING AND THE PROPERTY OWNER WILL BE CHARGED FOR THE WORK.

TAX MAP 125 LOT 2A
46-64 MAPLEWOOD AVENUE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
11	NOTES 4, 6, 8, 11, BIKE RACK CONFIGURATION	8/2/21
10	BIKE RACK CONFIGURATION, ENTRANCE PAVER	7/12/21
9	TREES	6/17/21
8	CURBING	5/12/21
7	RAMP, TREE WELL LOCATION	5/3/21
6	STEPS, CROSSWALK LOCATION	4/20/21
5	FIRST FLOOR PARKING BACK IN	1/5/21
4	COORDINATE W/LANDSCAPE PLAN	12/3/20

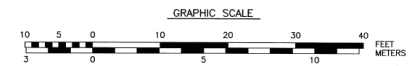
NO. DESCRIPTION REVISIONS DATE



SCALE: 1" = 10' APRIL 2020

AMENDED SITE PLAN
FIRST FLOOR LEVEL

C3



APPROVED BY THE PORTSMOUTH PLANNING BOARD

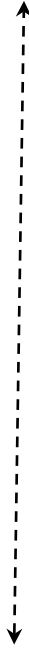
CHAIRMAN _____ DATE _____



THE RESIDENCES AT
111 BRIDGE STREET

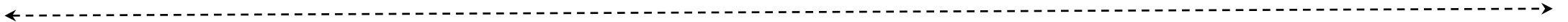


APPROX. 18"



THE RESIDENCES AT

111 BRIDGE STREET



48"

Specifications:

Material - Waterproof PVC composite

Finish - 2 coats of primer, followed by 3 coats of high quality 100% exterior acrylic paint

Mounting - 4"x4" pressure treated wood posts in 36" footings

Illumination - 2 x 60W LED shrouded/directed exterior lamps in oil rubbed bronze, max brightness 100nix total.



These commercial grade sign lights are great for adding illumination and accent lighting to business signs, entry ways, patios, etc. This fixture is hand spun and made in america. Using only a high grade 1100-O aluminum this fixture is made to last. Finished with a durable powder coat finish and ready to hang. Specifications:

- Number of bulbs: 1
- Bulb base: GU-5.3
- Bulb type: MR16
- Max wattage: 50w
- Bulb included: no
- Watts per bulb: 50
- Height: 4.25"
- Width: 3.5"
- UL Listed: yes
- UL Rating: wet location *
- Mounting: e32 arm extension *
- Canopy: 5" round

Model # (MPN)	K2/61/E32/61/MR16
Product ID	97495802
Manufactured By	Baselite
Sold By	Houzz
Size/Weight	W 3" / D 20" / H 6" / 9 lb.
Materials	Aluminum
Assembly Required	Yes
Category	Outdoor Wall Lights And Sconces
Style	Transitional
Commercial-grade	Yes

7. 92 Pleasant Street

- TBD

Background: The applicant is seeking approval for the installation of HVAC equipment and to replace the first and second floor windows with Green Mountain Windows as already approved on the third floor.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-629

Historic District

Commission Work

Session or Administrative
Approval Application

Status: Active

Submitted On: 6/13/2023

Primary Location

92 PLEASANT ST
Portsmouth, NH 03801

Owner

WORKING STIFF
PROPERTIES LLC
94 PLEASANT ST
PORTSMOUTH, NH 03801

Applicant

Matthew Beebe
 603-234-7398
matthewdbeebe@comcast.net
 81 Lincoln Ave
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Replace existing first and second floor windows with new historically accurate Green Mountain Window sash. There are already (8) new GMW sash at the third floor living area as the dormers and Court St gable end windows have been replaced (as specified) in a previous HDC approval. An administrative approval would guarantee an aesthetic "match" of all the windows in the building..

Description of Proposed Work (Planning Staff)

Tradition & Technology

Why Homeowners, Architects and Builders who appreciate traditional detail choose Green Mountain Window . . .

Residential

Historical Adaptive
Reuse

Resorts/Recreation

Education



View Portfolio

View Portfolio

View Portfolio

View Portfolio

Founded in 1993, the Green Mountain Window & Door Company integrates the latest technology with good old-fashioned Yankee craftsmanship. At our plant in Rutland, Vermont we tailor our product to your needs by controlling the entire manufacturing process. We manufacture our own high performance insulating glass. We apply primer and paint using the Cabot Factory Finish System in our paint department. And we hand assemble and sand each window in our production department.

Double Hung Windows : Classic and Milestone Series

When we say "Made in the Northeast for the Northeast" we mean that there is a Green Mountain window to suit the needs of everyone who wishes to increase their energy efficiency and look good doing it. To deliver on this promise Green Mountain Window and Door offers two quality product lines from which to choose.

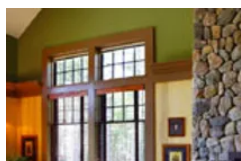
Milestone

Our high end Milestone line sets the standard for maximum thermal performance and adherence to traditional detail. Rated among or above the best in the industry for air infiltration, the Milestone window is second to none in preserving your interior climate and withstanding the outside elements. Defining aesthetic features such as a concealed block-and-tackle balance system and a hidden tilt-in latch system, authentic traditional details such as wide rails and narrow muntins, and a wide array of decorative options put this premium double hung window miles ahead of its competition.



Classic

Our original Classic line stands out as one of the best values in the industry. Available with either wood or vinyl clad framing, the Classic double hung window line offers a number of advantages over other manufacturers' products. Mortised, tenoned, and pinned corner joints contribute to superior structural integrity; block-and-tackle tilt-in balances provide added durability and smooth operation. Add to the list a variety of traditional colonial features and options and you've got the perfect fit for the fiscally prudent Northeasterner who refuses to compromise on quality.



Green Mountain Windows

Are manufactured using the finest materials and technologies available in the industry today. Our windows have been certified as thermally superior to most windows marketed in the Northeast. They will help lower heating and cooling costs, virtually eliminate moisture condensation, and protect furniture and carpeting from



damaging UV rays. Our windows afford the convenience of a modern tilt-in sash with the traditional look of New England.

Green Mountain Window & Door Co.

[Home](#) [Product Overview](#) [Specifications/Downloads](#) [Contact Us](#) [Our Company](#) [Press](#) [More](#)



Casement and Awning windows

Our casement and awning windows are built with the same craftsmanship and attention to detail that set Green Mountain double hung windows above the competition.

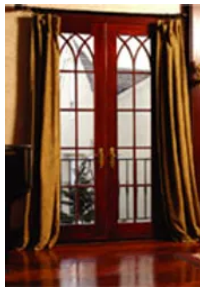
Milestone

All Green Mountain windows can be constructed with low-emissivity, argon or krypton gas filled, insulating glass. Add to that a warm edge spacer system and you have a thermal barrier that keeps the inner surface of your window closer to the inside room temperature, thus keeping your home warmer in winter, and cooler in summer.



Classic

Our Classic series is similar to casements and awnings more commonly found in the industry; it has an interior screen with an aluminum surround and a roto-crank operator. However, we still offer an array of options that help make the Classic series meet the aesthetic and budget requirement of any quality project.



Doors

While inspired by historic detail, what really sets these doors apart are the options. You simply won't find another door manufacturer focused enough on the Northeast to offer options like wood sills, 5/8" muntins, or sand-cast bronze hardware. Virtually any set up is possible, whether it is single swing, true French, patio or slider. We offer both full glass and glass with raised panel designs. And, most importantly, all of the casing, divided light and hardware finishes on your doors will match your Green Mountain windows.

Double Hung Style Egress Window

Having Trouble Finding Traditional Style Windows That Meet Egress Code? Problem Solved! This window meets egress with windows as small as 2' 0" x 3' 10" sash size (2' 2" x 4' 0" Frame Size), matches the glazing of a double hung with offset glass for top and bottom lites, and matches the dual sash appearance of a double hung with offset sash plane on exterior. Available as a new construction window or as an insert replacement unit. Any divided lite pattern available (2/2, 6/6, 12/12, etc) with glass sizes and stiles / rail dimensions that match traditional double hung windows. Optional meeting rail sash lock.

Available Species

Green Mountain Window can build windows and doors out virtually any species of wood. Some common choices are preservative treated pine, mahogany, cedar and oak. Additionally Green Mountain Window can manufacture windows and doors made of Accoya, a low maintenance type of wood that is warranted for 50 years. For more information click the logo:



Yesterday's Traditional Design / Tomorrow's Energy Performance

Green Mountain Window Co.

[\(802\) 747-6915](tel:8027476915)



92 Park St, Rutland, Vermont 05701

CONSULTANTS

EXTERIOR
RENOVATIONS TO

92-94 PLEASANT STREET
PORTSMOUTH, NH 03801

MARK	DATE	DESCRIPTION
	06/12/23	PROPOSED ELEVATIONS

PROJECT NO:
MODEL FILE:
DRAWN BY: MDB
CHK'D BY:
COPYRIGHT

SHEET TITLE
ELEVATIONS



8. 70 Court Street

- TBD

Background: The applicant is seeking approval for the installation of lighting and HVAC equipment.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-626

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/12/2023

Primary Location

70 COURT ST

Portsmouth, NH 03801

Owner

DAVENPORT INN LLC

266 MIDDLE ST

PORTSMOUTH, NH 03801

Applicant

Sarah Hourihane

603-553-6911

sarah@lasselarchitects.com

370 Main Street
South Berwick, ME 03908

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

70 Court Street

Project Information

Brief Description of Proposed Work*

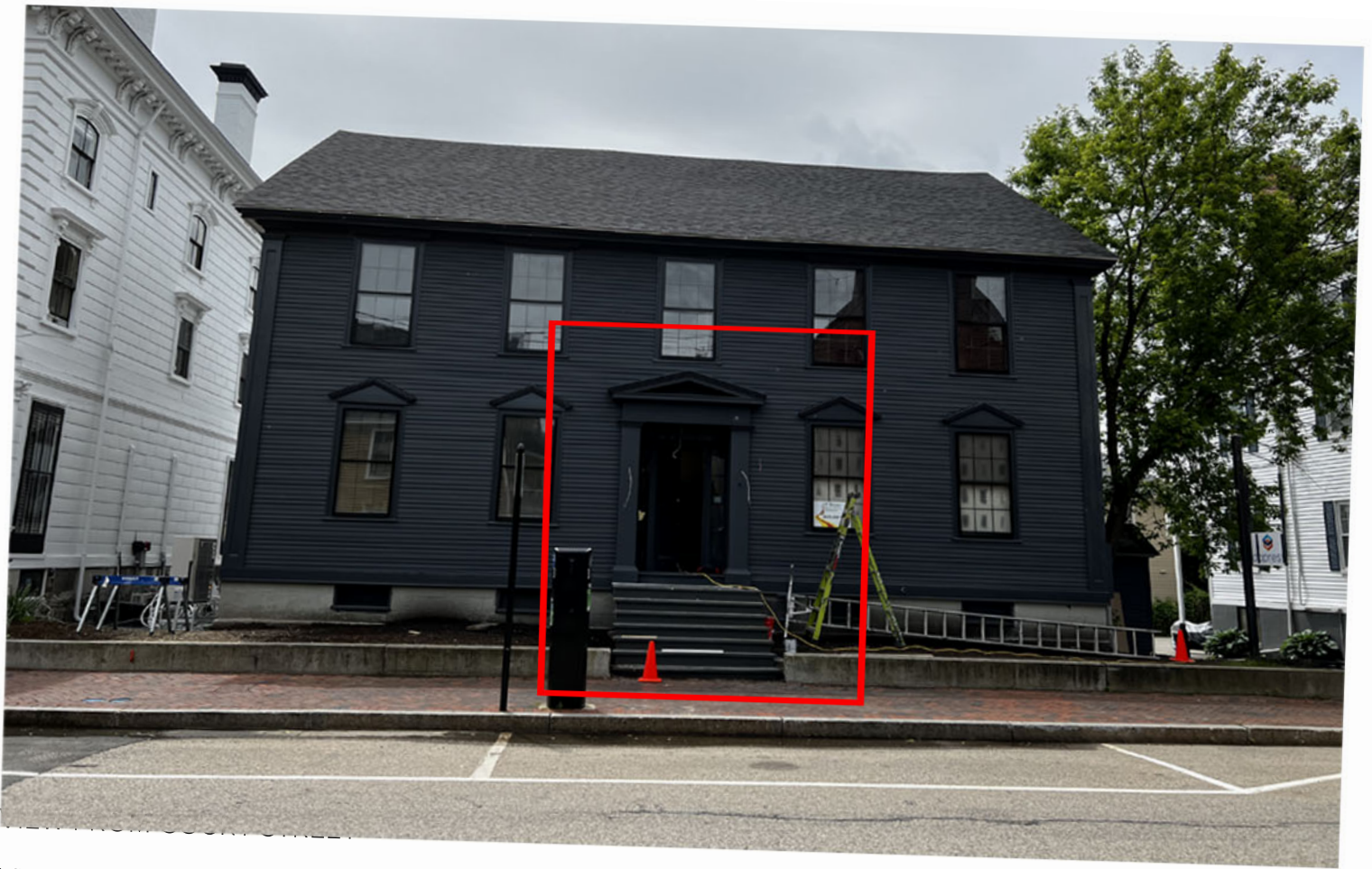
Light Fixture Replacement

Description of Proposed Work (Planning Staff)

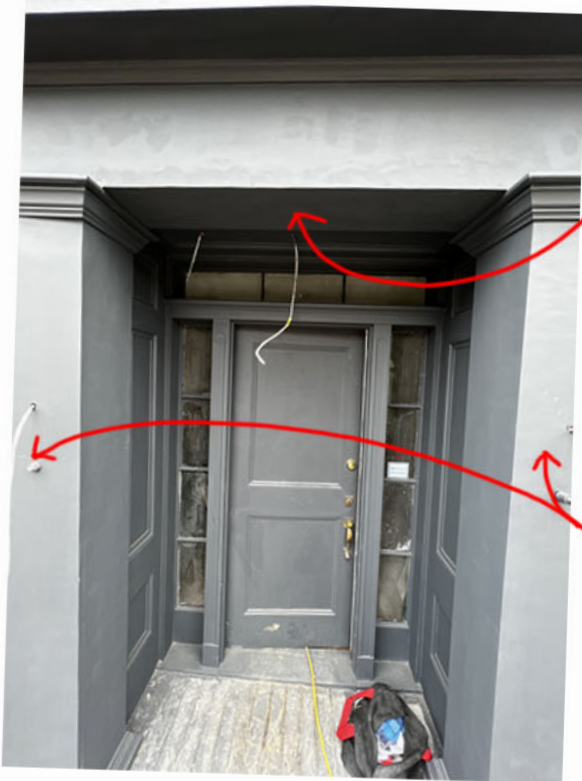
Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.*

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction*



VIEW FROM COURT STREET



LIGHT FIXTURE A
finish: oil rubbed bronze
locate: underside front entry



GAS LIGHT FIXTURE
previously approved by HDC May 2023

THE DAVENPORT
70 COURT STREET
JULY 2023





BACK PARKING LOT ENTRANCE



LIGHT FIXTURE B
finish: brass
locate: both sides of back entry stair
size: 8.5" diam, 18.25"h



MARK STREET ENTRANCE



LIGHT FIXTURE C
finish: black finish over aluminum
locate: above side entry door
size: 12" w x 10 1/2" h



VIEW FROM COURT STREET

CONDENSER:
HDC previously approved 6 condensers to be located on the side of the building. We would like to request 1 additional condenser to be located on the parking lot side of the approved stacks for a total of 7 condensers.

Condensers are located as far back from Court Street as possible.



Landscaping will be installed to buffer the condensers from Court Street.

VIEW BETWEEN BUILDINGS AT CONDENSER LOCATION

Item Number **6578400****Orwell**

11 in. 2-Light Flush Oil Rubbed Bronze Finish
with Highlights Clear Seeded Glass

Specifications

- Height: 4.50"
- Square: 11"
- Use (2) Medium (E26) Base Lamps,
60 Watt Maximum




Installation

Refer to instruction manual for installation and additional warnings.
Consult a qualified electrician if unsure how to proceed.

Warranty Information - 5 Year Limited Warranty

This Westinghouse Lighting Fixture is warranted against defects in material and workmanship for a period of Five Years from purchase date.

Specifications are subject to change without notice, please visit www.westinghouselighting.com for latest information.

 WESTINGHOUSE, and INNOVATION YOU CAN BE SURE OF are trademarks of Westinghouse Electric Corporation.
Used under license by Westinghouse Lighting. All Rights Reserved.

POTTERY BARN

Capron Outdoor Sconce



Overview

- Expertly crafted from cast aluminum with clear glass panels.
- Finished in Painted Distressed Brass, Antique Bronze or Painted Brushed Steel.
- Light bulb(s) are not included. Accommodates three or four 60W Type B Torpedo Bulbs or LED equivalent.
- Compatible with dimmer.
- Wet UL-listed.
- Hardwired; professional installation recommended.
- Offered in multiple sizes; each sold separately.
- Approved for contract use.
- Suitable for outdoor use.
- Imported.
- Dust with soft, dry cloth.
- We do not recommend using harsh household chemicals as they can damage the finish.
- Using Wet Rated Products Outdoor: Outdoor wet rated fixtures can only be used in fully exposed locations, even during storms.
- Do not exceed specified wattage.

Dimensions & Care

DIMENSIONS

Small

- Overall:
- 8.5" diam, 18.25" h
- Back Plate:
- 5" w x 8.5" h



Franklin Iron Works Arnett 10 1/2" High Black Outdoor Wall Light

\$139.99

ADD TO CART

Home / Outdoor Lighting / Wall Light / 10 in. high or less / Black / Style # 42F98

MOST POPULAR

Franklin Iron Works Arnett 10 1/2" High Black Outdoor Wall Light

14 Reviews

\$139.99

Comparable Value \$209.99

Pay in 4 interest-free payments of \$35.00 with [PayPal](#). [Learn more](#)

FREE SHIPPING & FREE RETURNS*

Ships Today if ordered in the next 1 Hr. 19 Min.



1

ADD TO CART

SAVE



DESIGN CHAT

VIEW IN YOUR ROOM

Product Details



Illuminate a dark outdoor space with this urban barn light from Franklin Iron Works.

Additional Info:

A careful balance of rusticity and elegance, this outdoor wall light is the perfect addition to your patio or balcony. In a classic urban barn style with a curving neck, it invokes a charmingly old-fashioned feel. A smooth black finish gives this fixture a clean, almost contemporary touch. Vertical installation only.



[Bulbs for Style #42F98](#)

- 12" wide x 10 1/2" high. Extends 14 1/2" from the wall. Backplate is 6 1/4" wide x 3/4" deep. Weighs 2.42 lbs.
- Uses one maximum 100 watt standard-medium base bulb (not included).
- Barn-style outdoor wall light from the Franklin Iron Works™ brand.
- Black finish over aluminum construction. Gooseneck arm.
- Vertical installation only. Distance from mounting point to top of fixture is 6".

Specifications

Product Attributes

Technical Specifications

9. 37 Whidden Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-625

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/8/2023

Primary Location

37 WHIDDEN ST

Portsmouth, NH 03801

Owner

GREEN JOHN F & ZAEDER

ALISON L

37 WHIDDEN STREET

PORTSMOUTH, NH 03801

Applicant

Heritage Home Service

800-977-4737

permits@justcallheritage.com

28 Commercial Ct.

Auburn, NH 03032

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Installation of a mini-split AC system - MITSUBISHI HEAT PUMP(5-ZONE/42K)

Description of Proposed Work (Planning Staff)

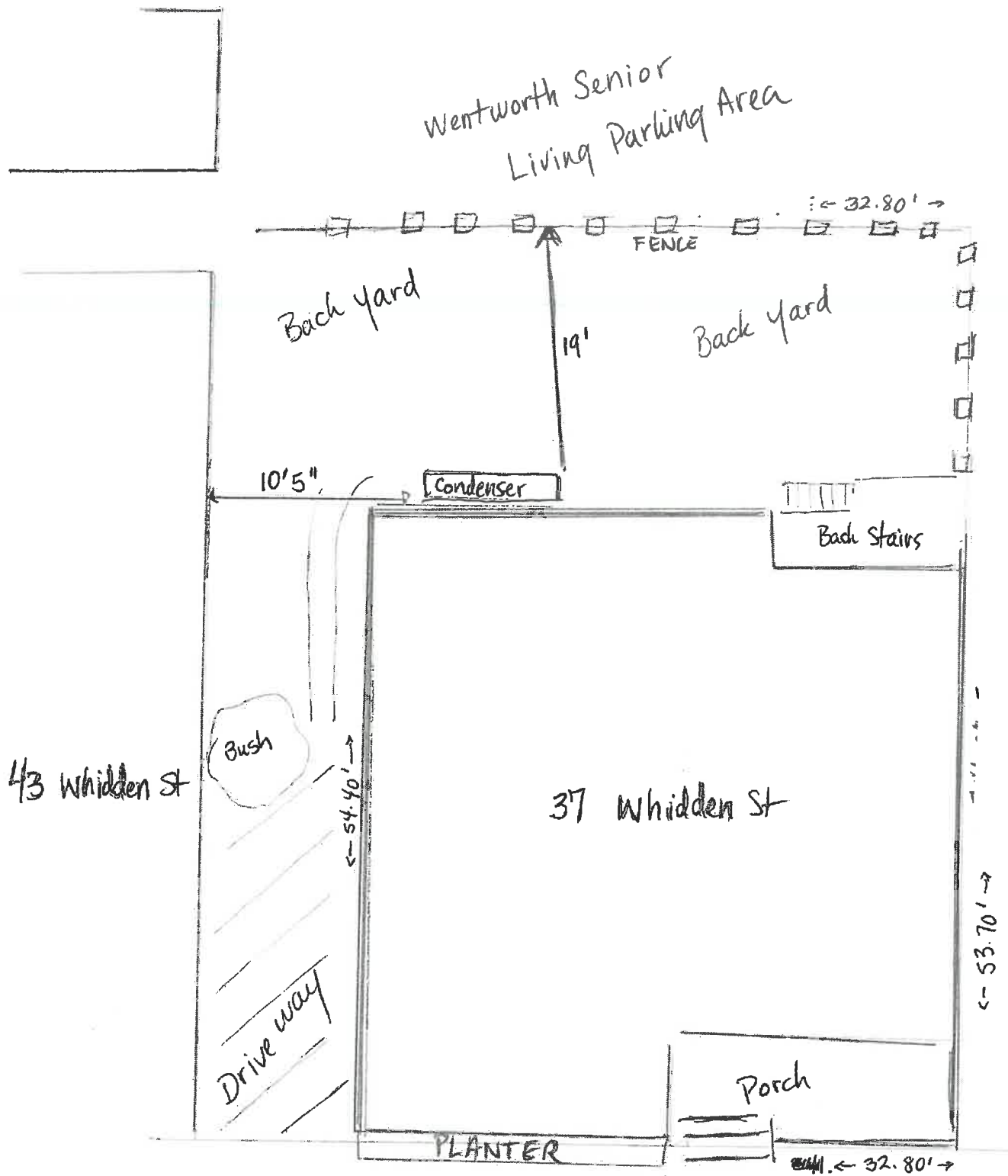
Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Project Manager



Wentworth Senior Living Parking Area

Back yard

Back yard

10'5"

Condenser

Back Stairs

43 Whidden St

Bush

37 Whidden St

Drive way

← 54.40' →

← 53.70' →

Porch

PLANTER

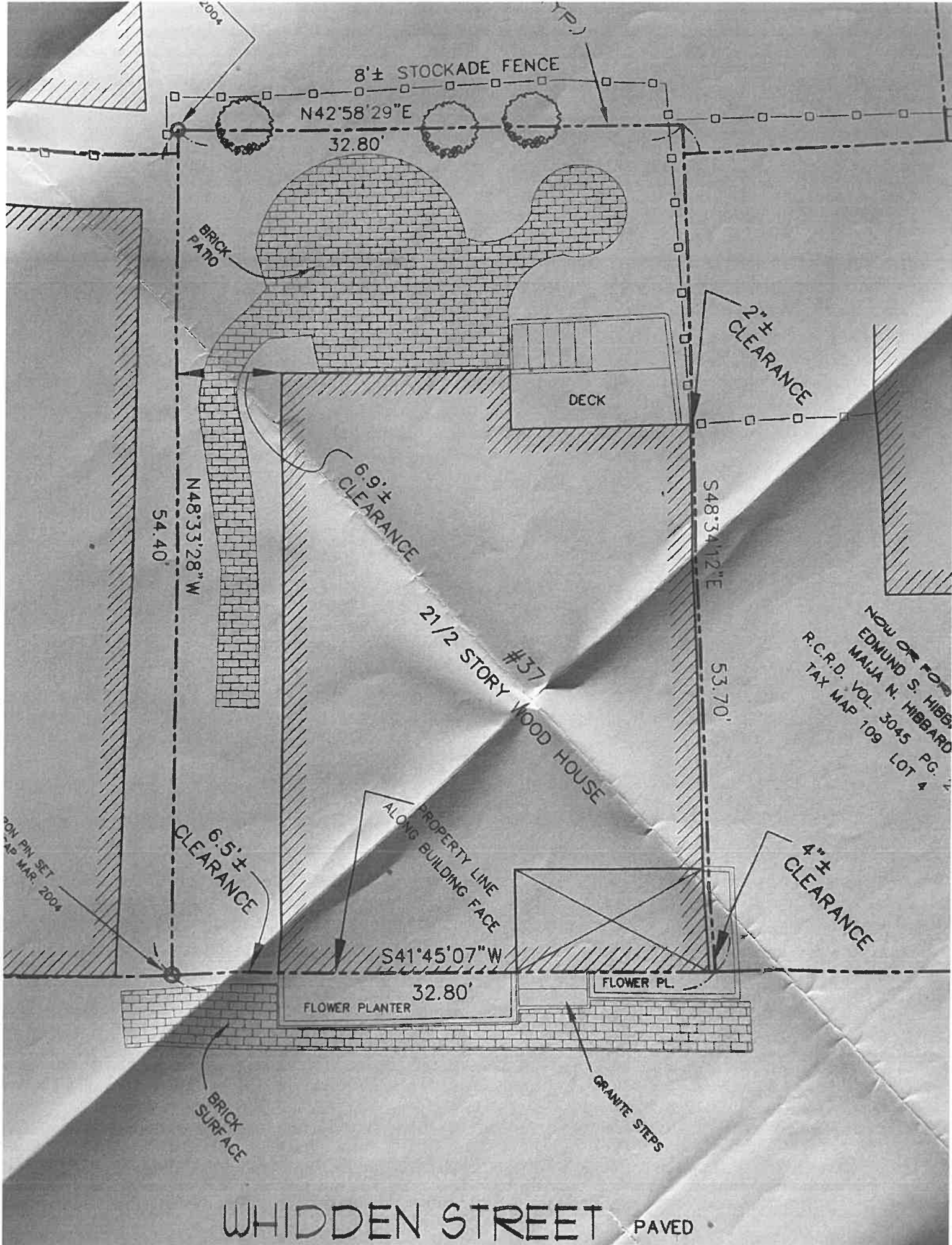
← 32.80' →

WHIDDEN STREET

Alison Zaeder
37 Whidden St

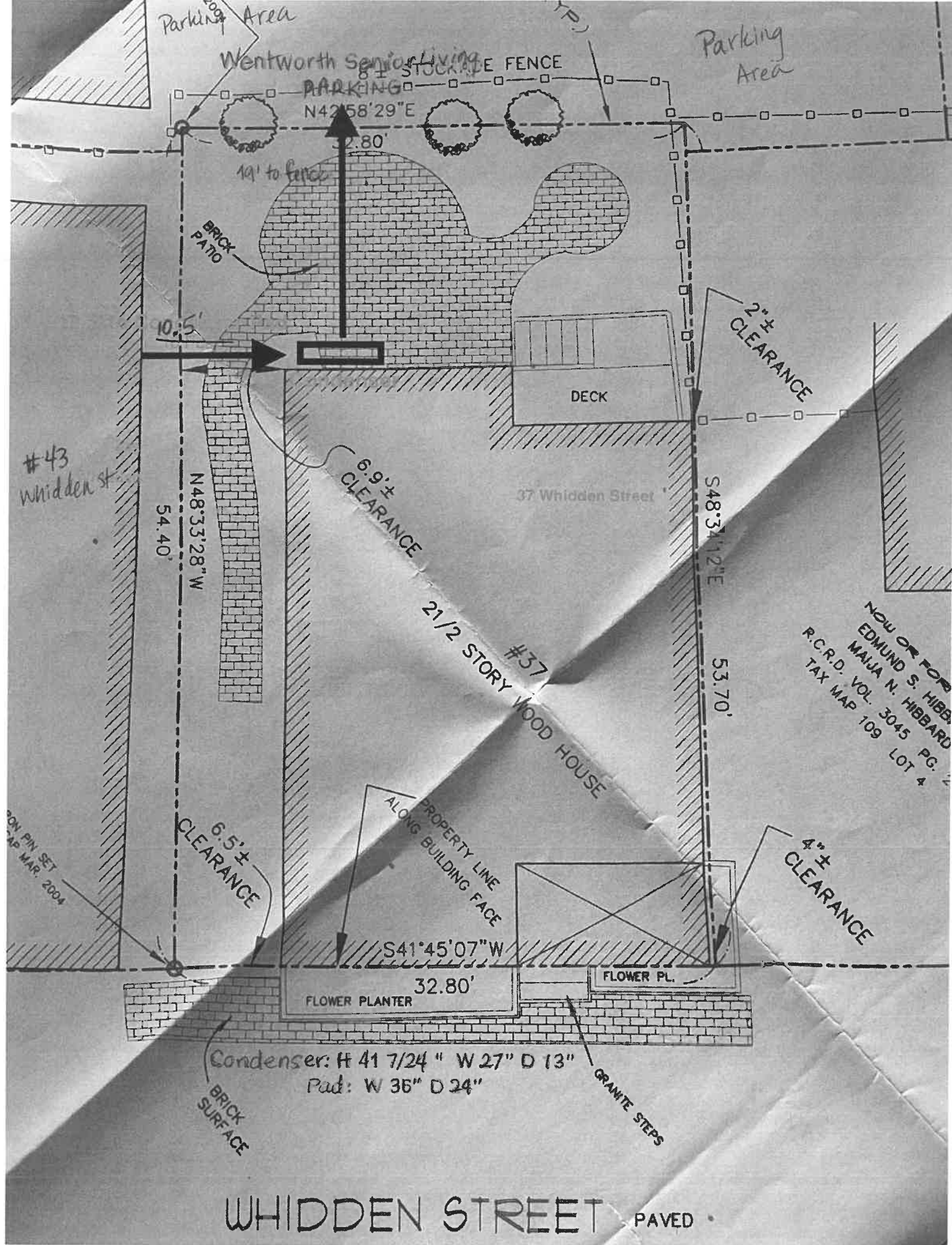
Specs *

Condenser # 41 7/24" W 27" D 13"
Pad : W 36" D 24"



NOW OF FOR
 EDMUND S. HIBBARD
 MAIJA N. HIBBARD
 R.C.R.D. VOL. 3045 PG. 4
 TAX MAP 109 LOT 4

WHIDDEN STREET PAVED



NOW OR FOR
 EDMUND S. HIBBARD
 MAJJA N. HIBBARD
 R.C.R.D. VOL. 3045 PG. 4
 TAX MAP 109 LOT 4

CON PIN SET
 MAR. 2004



Links to videos of the job

<https://visionshare.xoi.io/?id=ms599692cb-4245-i164-31ec4e89b75e-u02C-78e917e216de>

<https://visionshare.xoi.io/?id=msed93f788-4245-i164-861b462cbb1f-u02C-f402ee18035c>

*New Hampshire Office
28 Commercial Court
Auburn, NH 03032*

*Massachusetts Office
2550 Main Street
Tewksbury, MA 01876*



Project Report

General Project Information

Project Title: Zaeder
 Designed By: Dave Ayotte
 Project Date: Wednesday, April 12, 2023
 Company Name: Heritage Home Services
 Company Representative: Dave Ayotte
 Company Address: 28 Commercial Court
 Company City: Auburn NH 03032
 Company Phone: 603-668-4438
 Company E-Mail Address: dayotte@justcallheritage.com
 Company Website: www.justcallheritage.com
 Company Comment:

Design Data

Reference City: Manchester Grenier AFB, New Hampshire
 Building Orientation: Front door faces North
 Daily Temperature Range: Medium
 Latitude: 43 Degrees
 Elevation: 233 ft.
 Altitude Factor: 0.992

	Outdoor Dry Bulb	Outdoor Wet Bulb	Outdoor Rel.Hum	Indoor Rel.Hum	Indoor Dry Bulb	Grains Difference
Winter:	25	25	n/a	n/a	72	n/a
Summer:	95	75	40%	50%	75	34

Check Figures

Total Building Supply CFM: 1,161 CFM Per Square ft.: 1.040
 Square ft. of Room Area: 1,116 Square ft. Per Ton: 397
 Volume (ft³): 8,928

Building Loads

Total Heating Required Including Ventilation Air: 26,244 Btuh 26.244 MBH
 Total Sensible Gain: 25,331 Btuh 87 %
 Total Latent Gain: 3,899 Btuh 13 %
 Total Cooling Required Including Ventilation Air: 29,231 Btuh 2.81 Tons (Based On 75% Sensible Capacity)

Notes

Rhvac is an ACCA approved Manual J, D and S computer program.
 Calculations are performed per ACCA Manual J 8th Edition, Version 2, and ACCA Manual D.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads according to the manufacturer's performance data at your design conditions.



Manual S Performance Data - System 1 - Main Floor

Loads and Design Conditions

Cooling:

Outdoor Dry Bulb:	0	Sensible Gain:	25.331
Outdoor Wet Bulb:	75	Latent Gain:	3.899
Indoor Dry Bulb:	75	Total Gain:	29.231
Indoor RH:	50	Load SHR:	0.87
Supply Airflow:	0	Entering Dry Bulb:	0
		Entering Wet Bulb:	0

Heating:

Outdoor Dry Bulb:	25	Sensible Loss:	26.244
Indoor Dry Bulb:	72	Entering Dry Bulb:	72.0
Indoor RH:	45	Supply Airflow:	501

Equipment Performance Data at System Design Conditions

Cooling:

Model Type: Air Source Heat Pump, Model: MXZ-5C42NA
Nominal Capacity: 42.000, Manufacturer: MITSUBISHI

Interpolation Results:

		<u>Load</u>	<u>Percent of Load</u>
Sensible Capacity:	0.000	25.331	0%
Latent Capacity:	0.000	3.899	0%
Total Capacity:	0.000	29.231	0%

Heating:

Model Type: Electric Resistance, Model: , Manufacturer:

Results:

		<u>Load</u>	<u>Percent of Load</u>
Heating Capacity:	0.000	26.244	0%



System 1 Room Load Summary

No	Room Name	Area SF	Htg Sens Btuh	Min Htg CFM	Run Duct Size	Run Duct Vel	Clg Sens Btuh	Clg Lat Btuh	Min Clg CFM	Act Sys CFM
---Zone 1---										
1	Bedroom 2	168	3,637	69	2-6	408	3,496	735	160	160
2	Bedroom 1	252	4,998	95	3-6	439	5,635	812	258	258
3	Front Room	220	5,767	110	2-6	427	3,662	540	168	168
4	Living/kitchen	336	6,011	115	3-6	407	5,227	789	240	240
5	Porch	140	5,831	111	4-6	427	7,311	437	335	335
Duct Latent								586		
System 1 total		1,116	26,244	501			25,331	3,899	1,161	1,161

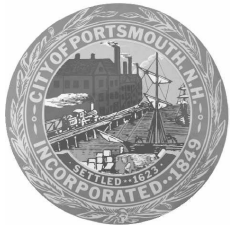
System 1 Main Trunk Size: 25x8 in.
Velocity: 836 ft./min
Loss per 100 ft.: 0.087 in.wg

Cooling System Summary

	Cooling Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Recommended:	2.81	75% / 25%	25,331	8,444	33,775
Actual:	3.50				42,000

Equipment Data

	Heating System	Cooling System
Type:	Electric Resistance	Air Source Heat Pump
Model:		
Indoor Model:		
Brand:		
Description:	0	0
Efficiency:	0%	0 SEER
Sound:	0	0
Capacity:	0 Btuh	42,000 Btuh
Sensible Capacity:	n/a	0 Btuh
Latent Capacity:	n/a	0 Btuh



City of Portsmouth Electrical Permit

Inspection Department
1 Junkins Avenue
Portsmouth, NH 03801
603-610-7243

Permit Number:
ER-23-195
Date of Issue:
April 19, 2023
Expires:
April 18, 2024
Const. Cost:
\$2,898

Owner: GREEN JOHN F & ZAEDER ALISON L
Applicant: Heritage Home Service
Electrician's Name: Chris Bolia
Company: Heritage Home Service
Phone #: 603-716-9228
Location: 37 WHIDDEN ST
Map/Lot: 0109--0003--0000-

Description of Work: Wiring for a mini-split AC system
AC ELECTRICAL CIRCUIT 15-50AMP
MITSUBISHI HEAT PUMP(5-ZONE/42K)

Remarks:

-
-

The PERMIT HOLDER has read this permit, the permit application, and the Building Official's marked-up plans and agrees to perform the work authorized including any conditions or requirements indicated thereon; and any stipulations imposed by a Land Use Board in conjunction with the project. The CONTRACTOR shall be responsible for notifying the Inspection Department 48 hours in advance, for FOUNDATION, FRAMING, and FINAL inspections. A Certificate of Occupancy is required for all Building Permits. Buildings shall not be occupied until ALL inspections (BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, and FIRE) are complete and Occupancy has been issued. By signing this permit, the owner or his/her representative (Permit Holder), authorizes property access by city officials to conduct interior and exterior inspections and property tax assessments during and/or after the construction process.

The Permit Card Shall Be Posted and Visible From the Street During Construction.

Code Official:

This is an e-permit. To learn more, scan this barcode or visit portsmouthnh.viewpointcloud.com/#!/records/72348





FORTRESS



CONDENSER



CONCRETE

19 YEARS FROM THE

10. 138 Maplewood Avenue - TBD

Background: The applicant is seeking approval for several changes to a previously approved design:

- 1. Entry door roof was reduced & simplified**
- 2. A Privacy Screen was added to the south side of the rear porch**
- 3. Eliminate or Replace Cupola**
- 4. Change gutters from Fiberglass to Aluminum**
- 5. Porch Columns were changed from Round Tapered to Square**
- 6. Change guard rail at north end of porch to black metal with horizontal balusters**
- 7. The garage side entry door was changed to a 6 lite, 2 panel for security**

- 8. The roof over that door was changed to a hip roof with brackets**

Staff Comment: TBD

Stipulations:

- 1. _____**
- 2. _____**
- 3. _____**



LUHD-643

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/27/2023

Primary Location

138 MAPLEWOOD AVE

Portsmouth, NH 03801

Owner

PANTELAKOS DONNA P REV

TRUST & PANTELAKOS G T &

D P TRUSTEES

138 MAPLEWOOD AVE

PORTSMOUTH, NH 03801

Applicant

Anne Whitney

603-502-4387

archwhit@aol.com

801 Islington St, Suite 32

Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Changes to previously approved plans including:

1. Entry door roof was reduced & simplified
2. A Privacy Screen was added to the south side of the rear porch
3. Eliminate or Replace Cupola
4. Change gutters from Fiberglass to Aluminum
5. Porch Columns were changed from Round Tapered to Square
6. Change guard rail at north end of porch to black metal with horizontal ballisters
7. The garage side entry door was changed to a 6 lite, 2 panel for security
8. The roof over that door was changed to a hip roof with brackets

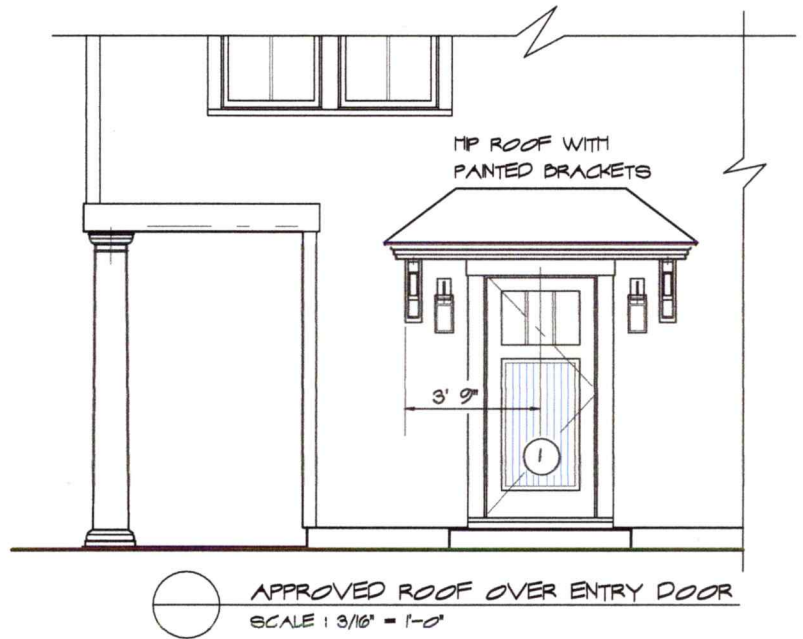
Description of Proposed Work (Planning Staff)

SOUTH ELEVATION

1. APPROVED ENTRY ROOF WAS REDUCED AND SIMPLIFIED, WITH NO CROWN MOLDING OR BRACKETS.
2. A SCREEN WAS ADDED AT THE REAR PORCH TO PROVIDE PRIVACY FROM THE SHARED DRIVEWAY & PARKING.
3. THE EXISTING CUPOLA, WHEN REMOVED COULD NOT BE REPAIRED. THE OWNERS WOULD LIKE TO ELIMINATE IT OR REPLACE IT WITH A CUPOLA SHOWN ON THE ATTACHED SHEETS (SEE SHEETS 2 & 3)
4. GUTTERS TO BE CHANGED FROM FIBERGLASS TO WHITE ALUMINUM.



AS BUILT ENTRY ROOF



AS BUILT PORCH SCREENING



HDC ADMINISTRATIVE APPROVAL JULY 2023

WEST & NORTH ELEVATION

5. THE PORCH COLUMNS WERE CHANGED TO SQUARE, SIMPLY TRIMED COLUMNS OF SIMILAR PROPORTIONS
6. THE GUARD RAIL AT THE RIGHT SIDE OF THE PORCH WILL CHANGE FROM A PAINTED WOOD RAIL TO A BLACK METAL RAIL, WITH HORIZONTAL BALLISTERS, SIMILAR TO RAIL SHOWN ON PHOTO.

EAST ELEVATION

7. THE GARAGE SIDE ENTRY DOOR WAS CHANGED FROM A 4 LITE, 1 PANEL DOOR TO A 6 LITE, 2 PANEL DOOR FOR SECURITY.
8. THE ROOF OVER THAT GARAGE DOOR WAS CHANGED FROM A SHED ROOF TO A HIP ROOF WITH BRACKETS AS SHOWN. BRACKETS WILL BE REINSTALLED OVER 4/5 TRIM



METAL PORCH RAIL DESIGN



AS BUILT PORCH WITH SQUARE COLUMNS



AS BUILT GARAGE SIDE DOOR & ROOF



SOUTH ELEVATION WITHOUT CUPOLA



30 in. x 30 in. x 70 in. Coventry Vinyl Cupola with Copper Eagle Weathervane

11. 145 Maplewood Avenue

- Recommended Approval

Background: The applicant is seeking approval for the installation of a sculpture in the pocket park.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-642

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/27/2023

Primary Location

145 MAPLEWOOD AVE

Portsmouth, NH 03801

Owner

145 MAPLEWOOD AVENUE

LLC

210 COMMERCE WAY SUITE

300 PORTSMOUTH, NH

03801

Applicant

Christopher Lizotte

603-518-2279

clizotte@proconinc.com

PO Box 4430
Manchester, NH 03108

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Pocket park sculpture

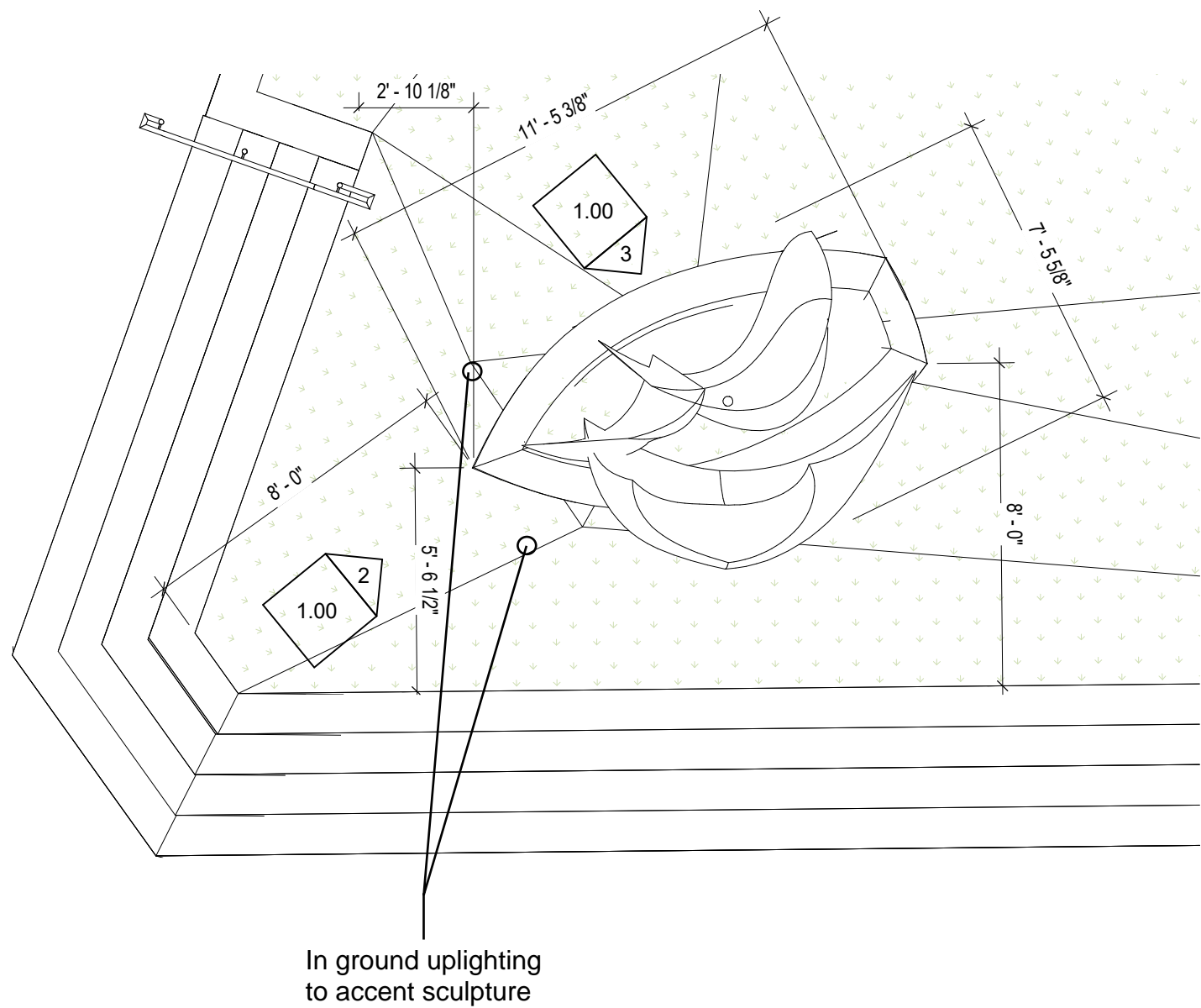
Description of Proposed Work (Planning Staff)

Project Representatives

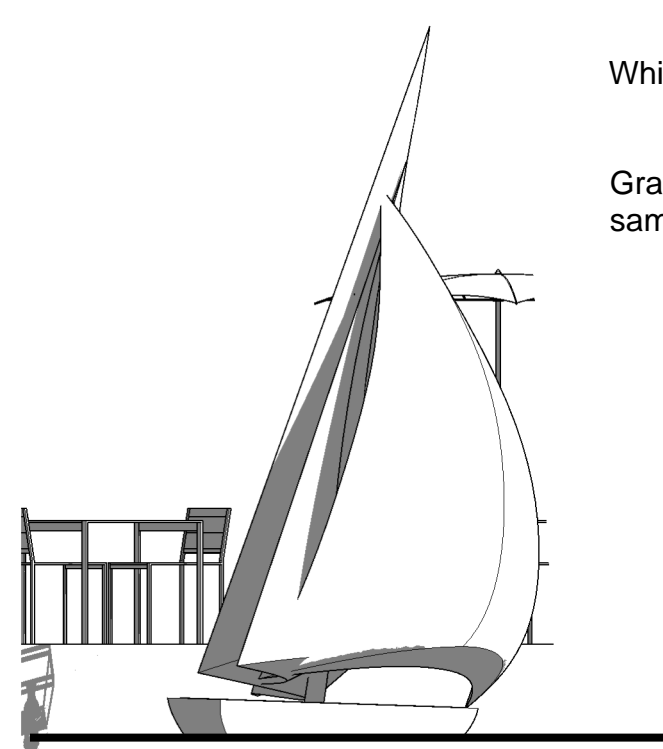
Relationship to Project

Architect

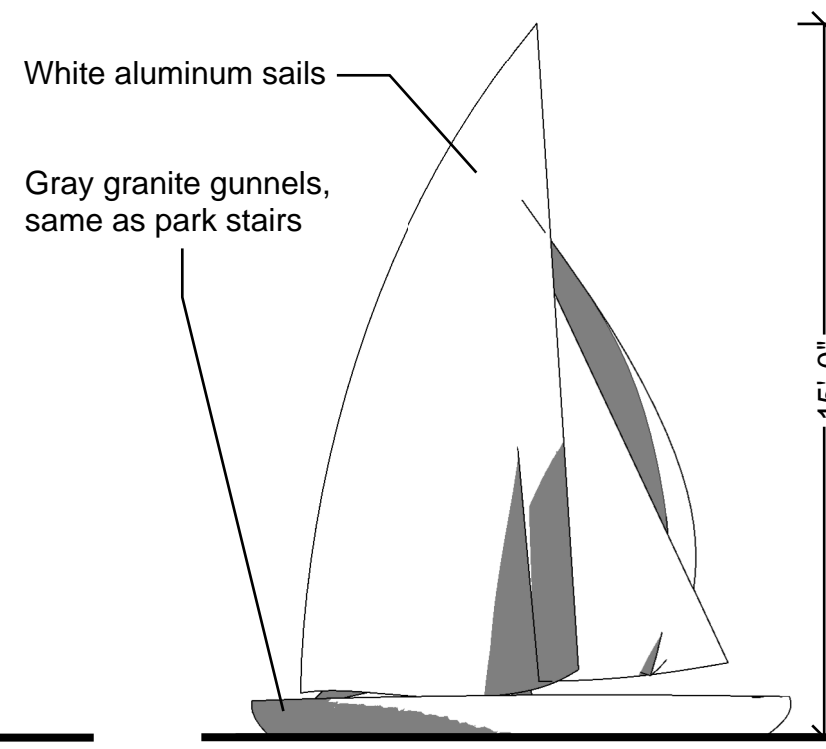
If you selected "Other", please state relationship to project.



VLO 12V LED In-Ground Accent **KICHLER**



2 SOUTH WEST ELEV.
1/4" = 1'-0"



3 NORTH WEST ELEV.
1/4" = 1'-0"

1 SCULPTURE - PLAN
1/4" = 1'-0"



12. 161 Deer Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of exterior lighting.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-644

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/27/2023

Primary Location

161 DEER ST
Portsmouth, NH 03801

Owner

EIGHTKPH LLC
233 VAUGHN ST UNIT 301
PORTSMOUTH, NH 03801

Applicant

Carla Goodknight
 603-431-2808
 carla@cjarchitects.net
 233 Vaughan Street
Suite 101
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

70 Maplewood

Project Information

Brief Description of Proposed Work*

This application is for administrative approval of a proposed exterior light fixture per stipulation 2.9 from the Planning Board 15/15/22 Approval Letter.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

City of Portsmouth
 Historic District Commission & Planning Department
 1 Junkins Avenue
 Portsmouth, NH 03801

July 5, 2023

70 MAPLEWOOD AVE - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

Dear Chairman Wyckoff,

This application is for administrative approval of a proposed exterior light fixture per stipulation 2.9 from the Planning Board 12/15/22 Approval Letter.

Stipulation:

2.9) Dark sky compliant lighting shall be installed along the entrance side of the building.

Thank you for your consideration.
 Sincerely,



Carla Goodknight, AIA
 Principal, CJ Architects LLC

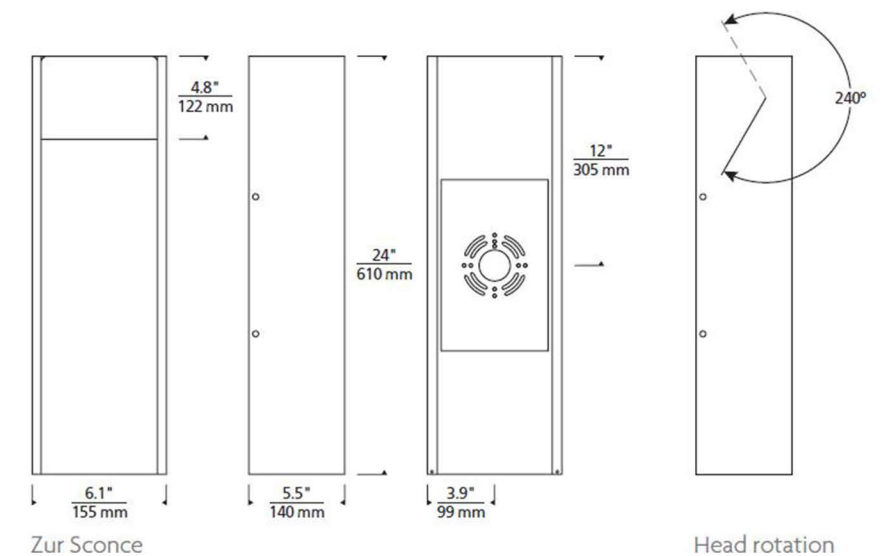


ZUR 24 WALL SCONCE
 COLOR: BLACK

SPECIFICATIONS

LUMENS	45°: 1613, 0°: 910
WATTS	20
VOLTAGE	Universal 120-277V, with integral transient 2.5kV surge protection (driver)
DIMMING	0-10, ELV
LIGHT DISTRIBUTION	Adjustable
OPTICS	40° (2)
MOUNTING OPTIONS	Wall
ADJUSTABILITY	Head pivots 240°
PERFORMANCE OPTIONS	Photocontrol / In-Line Fuse
CCT	2700K, 3000K or 4000K
CRI	90+
COLOR BINNING	3 Step
BUG RATING	45°: B0-U1-G1, 0°: B1-U0-Go
DARK SKY	Compliant (Aimed down)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Marine Grade Powder Coat
LED LIFETIME	L70; 70,000 Hours
WARRANTY*	5 Years
WEIGHT	20 lbs.

7000WZUR	CRI/CCT	LENGTH	FINISH	VOLTAGE	DISTRIBUTION	OPTIONS
	927 90 CRI, 2700K	24 24"	Z BRONZE	UNV 120V-277V	A ADJUSTABLE	NONE
	930 90 CRI, 3000K		B BLACK			PC BUTTON PHOTOCONTROL
	940 90 CRI, 4000K					LF IN-LINE FUSE



70 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED EXTERIOR LIGHT FIXTURE

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023



1.0



DEER STREET ELEVATION

TYPICAL LIGHT FIXTURE LOCATIONS



MAPLEWOOD AVENUE ELEVATION

TYPICAL LIGHT FIXTURE LOCATIONS



RAIL CORRIDOR ELEVATION

LIGHTS MOUNTED ON WALL BEHIND CANOPY, SEE PLAN



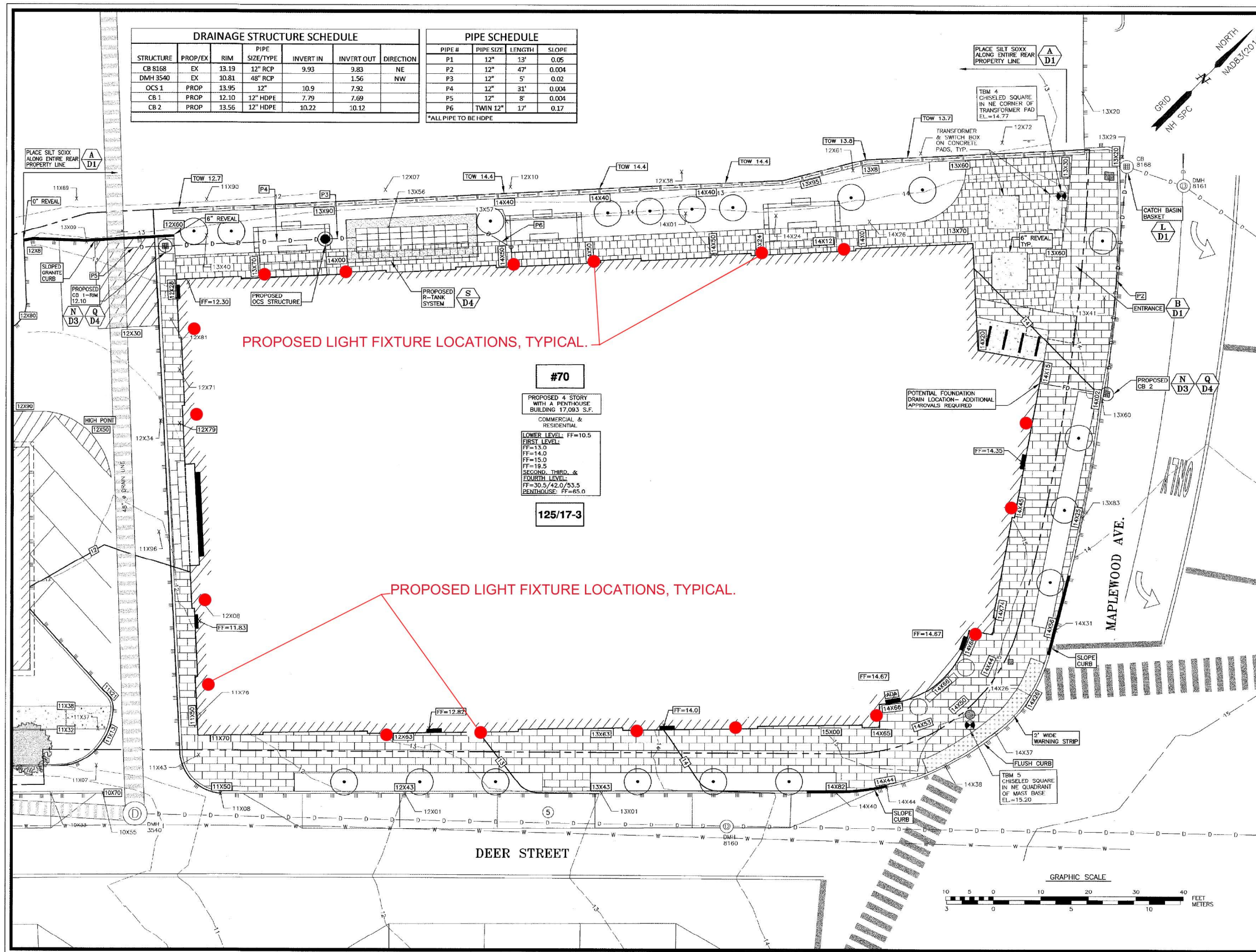
WEST ELEVATION

TYPICAL LIGHT FIXTURE LOCATIONS

DRAINAGE STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
CB 8168	EX	13.19	12" RCP	9.93	9.83	NE
DMH 3540	EX	10.81	48" RCP	1.56	1.56	NW
OCS 1	PROP	13.95	12"	10.9	7.92	
CB 1	PROP	12.10	12" HDPE	7.79	7.69	
CB 2	PROP	13.56	12" HDPE	10.22	10.12	

PIPE SCHEDULE			
PIPE #	PIPE SIZE	LENGTH	SLOPE
P1	12"	13'	0.05
P2	12"	47'	0.004
P3	12"	5'	0.02
P4	12"	31'	0.004
P5	12"	8'	0.004
P6	TWIN 12"	17'	0.17

*ALL PIPE TO BE HDPE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9229
Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7253) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

SITE DEVELOPMENT
EIGHTKPH, LLC
70 MAPLEWOOD AVENUE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
3	GRADING-REAR	11/17/22
2	BUILDING FOOTPRINT	10/20/22
1	DRAIN PIPE SIZE	9/6/22
0	ISSUED FOR COMMENT	8/23/22



SCALE: 1" = 10' AUGUST 2022
GRADING & DRAINAGE PLAN **C6**

70 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED EXTERIOR LIGHT FIXTURE
HDC APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023



1.2

13. 179 Pleasant Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design:

1. Raise transom windows and canopy height at back addition.
2. Add dormer to the addition behind the Carriage House and delete one window.
3. Relocate the door slightly to the right.
4. Remove one grade level window at Carriage House and one at Addition.
5. Raise transom windows to match all transom windows on back addition.
6. Remove one door and respace approved windows.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-645

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/28/2023

Primary Location

179 PLEASANT ST
Portsmouth, NH 03801

Owner

MILL POND VIEW LLC
PO BOX 399 NOTTINGHAM,
NH 03290

Applicant

Carla Goodknight
 603-431-2808
 carla@cjarchitects.net
 233 Vaughan Street
Suite 101
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

This application is for administrative approval of six changes to the approved design.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

July 5, 2023

179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

Dear Chairman Wyckoff,

This application is for administrative approval of six changes to the approved design. Please note: There are no changes proposed to the Historic Mansion approval. The brick mock-up required per the 3/2/2022 approval is illustrated on page 2.0. A mockup review visit on site may be coordinated at the discretion of the Planning Department.

1. Raise transom windows and canopy height at Back addition.

Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows, which in turn allowed for the canopy to be elevated fully above the doors below.

2. Add dormer to the addition behind the Carriage House and delete one window.

Floor plan developments require an egress window in this location. Replicating the approved Annex dormer size and details, this dormer in the new construction portion of the addition will contain Marvin clad ultimate UCA 2848E egress hardware windows. Marvin clad ultimate windows are currently approved on window "E" (now deleted) in this location.

3. Relocate door slightly to the right.

Floor plan developments require adjustment of the door in this location.

4. Remove one grade level window at Carriage House and one at Addition.

Finish grades in this location will cause snow and water to accumulate against the building due to the proximity of the stone wall on the adjacent property.

5. Raise transom windows to match all transom windows on Back Addition.

See item #1. Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows.

6. Remove one door and respace approved windows.

Floor plan developments require removal of the door in this location and adjustment of the window spacing to the right.

Thank you for your consideration.

Sincerely,



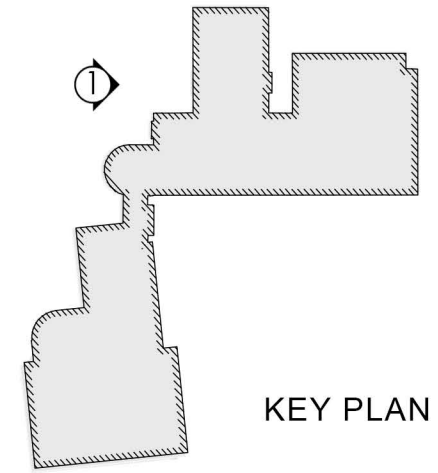
Carla Goodknight, AIA
Principal, CJ Architects LLC
Representing owners:
Mill Pond View, LLC.



APPROVED SIDE ELEVATION (3/1/23)



PROPOSED SIDE ELEVATION



KEY PLAN

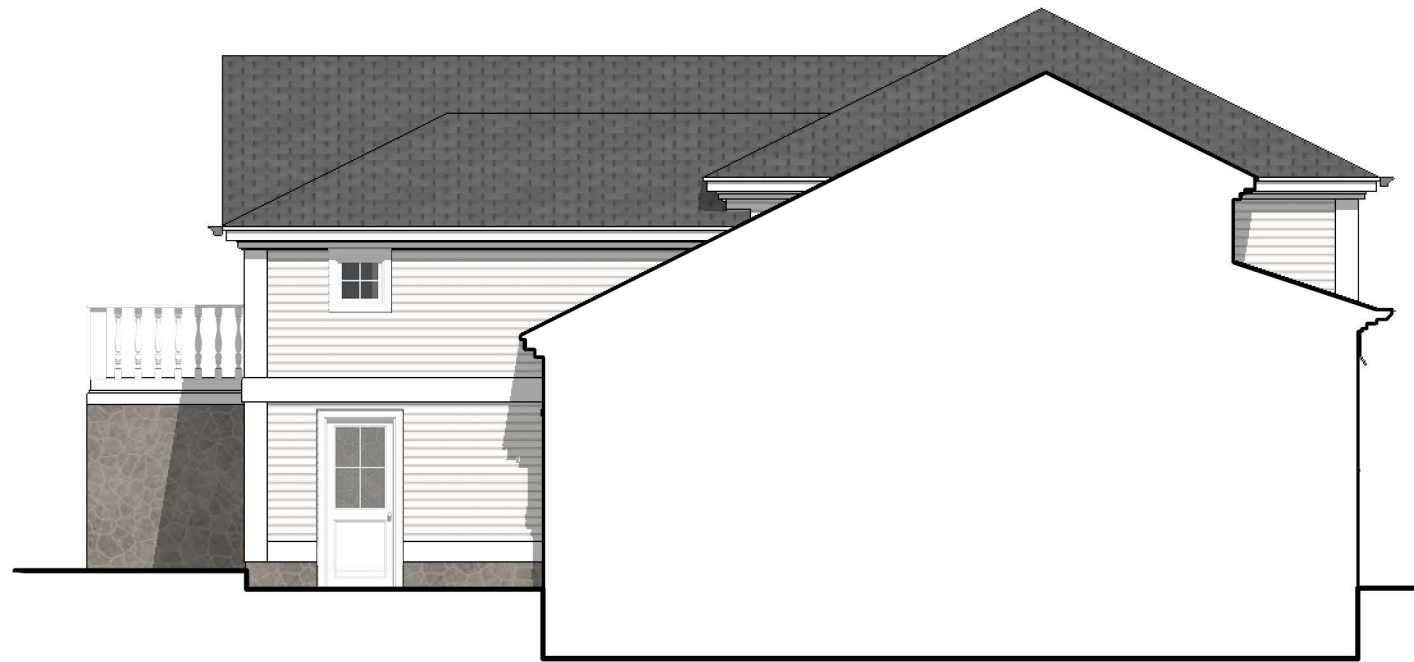
PROPOSED SIDE ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023

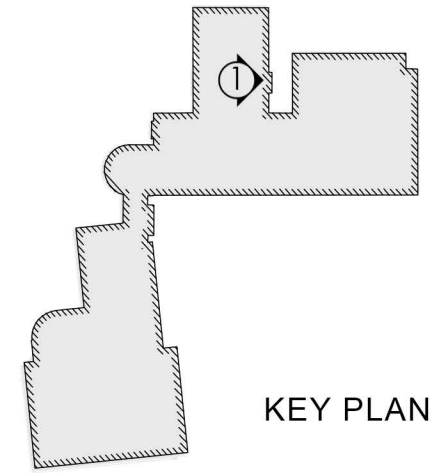
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE



1.0



APPROVED SIDE ELEVATION (9/7/22)



KEY PLAN

2. Add dormer to the addition behind the Carriage House and delete one window.
 Floor plan developments require an egress window in this location. Replicating the approved Annex dormer size and details, this dormer in the new construction portion of the addition will contain Marvin clad ultimate UCA 2848E egress hardware windows. Marvin clad ultimate windows are currently approved on window "E" (now deleted) in this location.



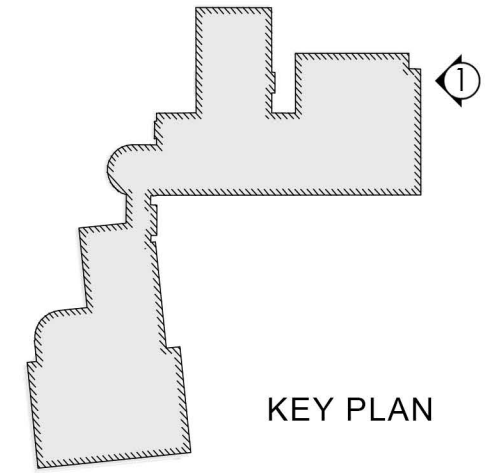
3. Relocate door slightly to the right.
 Floor plan developments require adjustment of the door in this location.

PROPOSED SIDE ELEVATION

PROPOSED SIDE ELEVATION



APPROVED SIDE ELEVATION (9/7/22)



KEY PLAN

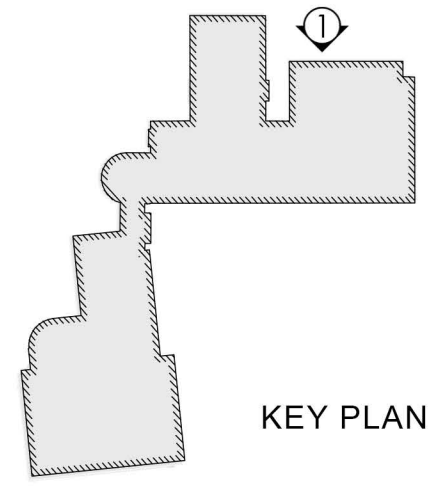


4. Remove one grade level window at Carriage House and one at Addition.
 Finish grades in this location will cause snow and water to accumulate against the building due to the proximity of the stone wall on the adjacent property.

PROPOSED SIDE ELEVATION

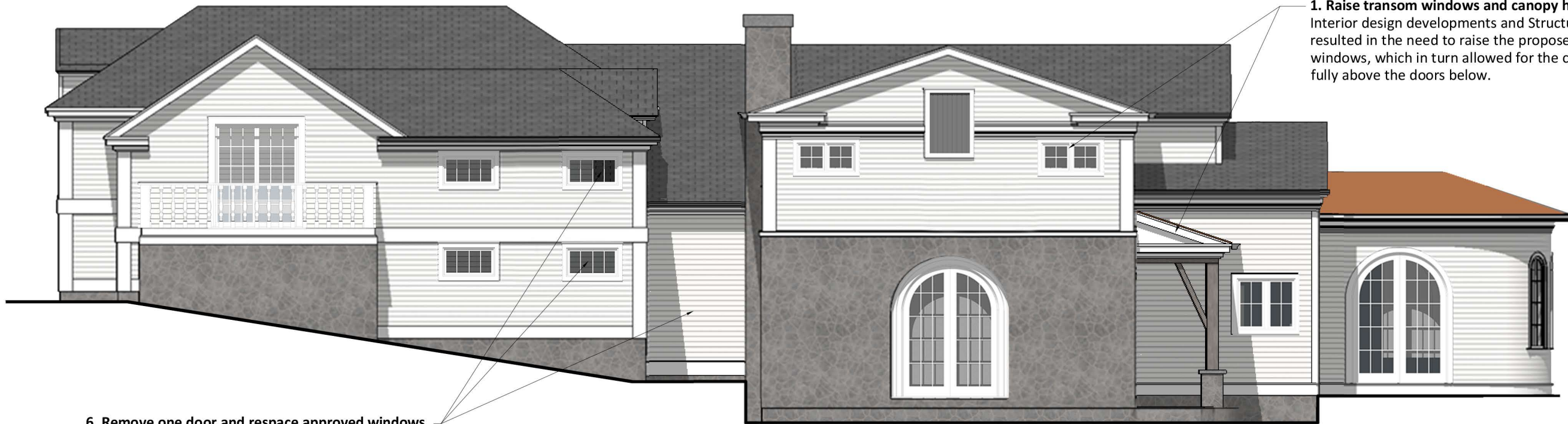
5. Raise transom windows to match all transom windows on Back Addition.
 See item #1. Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows.

PROPOSED SIDE ELEVATION



KEY PLAN

APPROVED REAR ELEVATION (3/1/23)



1. Raise transom windows and canopy height at Back addition.
 Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows, which in turn allowed for the canopy to be elevated fully above the doors below.

6. Remove one door and respace approved windows.
 Floor plan developments require removal of the door in this location and adjustment of the window spacing to the right.

PROPOSED REAR ELEVATION

PROPOSED REAR ELEVATION

179 PLEASANT STREET
 PORTSMOUTH, NEW HAMPSHIRE

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023





PROPOSED BRICK CHIMNEY MOCKUP



PROPOSED BRICK CHIMNEY MOCKUP



EXISTING BRICK CHIMNEY



EXISTING BRICK CHIMNEY

Date of HDC Approval: March 2, 2022

Stipulations:

- 1) The color of the Morin Brick shall match the existing and be submitted and approved prior to installation.
- 2) There shall be an on-site mockup of the brick work prior to installation.

The bricks that are being used for the reproduction of the annex chimney are all reclaimed waterstruck bricks and will originate from (2) properties. Some of the brick will come from 93 Pleasant Street here in Portsmouth and that building dates back to 1818. Some of the brick will come from one of the original mill buildings in Manchester NH on Elm Street and the building dates back to 1890.

All of the bricks were original to those two structures, and they are all waterstruck.

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

ANNEX BRICK CHIMNEY MOCKUP

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023



2.0

14. 113 Mechanic Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of mechanical equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

112 Mechanic St



1" = 40 ft

Property Information

Property ID Location Owner

0103-0025-0000
112 MECHANIC ST
GREGG ERIC J REV TRUST



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

City of Portsmouth, NH June 7, 2023

112 Mechanic



1" = 40 ft

Property Information

Property ID Location
Owner

0103-0025-0000
112 MECHANIC ST
GREGG ERIC J REV TRUST



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



Placement of the Congress
will be six feet from the back property line
Properties are separated by a six foot two
inch high fence.

May 31, 2023 (Updated June 9, 2023)

Written Statement / Scope of Proposed Work

Author: Eric Gregg owner of 112 Mechanic St. Portsmouth

112 Mechanic has an old, inefficient central heating unit and no air conditioning (which has become increasingly uncomfortable/intolerable during the height of Summer). I would like to install a dual zone split (heat pump) that would be much more energy efficient than the current central heat furnace and also provide air conditioning. Ideally it would be great to get this done before August if the various Portsmouth committees can see fit to approve this minor project.

This requires a dimensional variance because the compressor is expected to be placed to the right of the window on the southern side of the house (side of the house that faces the driveway and it will be placed six (6) feet from the lot line at the back of the lot that abuts 210 Gates Street. The solid wood fence that separates 112 Mechanic from 210 Gates Street at the back of the driveway is 6'2" high so this compressor should be non-visible to 210 Gates Street from all but the highest perches on that property. I have discussed this potential minor improvement to the property with Clay Emery (owner of 114 Mechanic) whose home is adjacent to 112 Mechanic and across the driveway and he has indicated that he is fine with this proposed, minor renovation. I have spoken with David Adams (210 Gates Street) and he has stated that he has "no issue" with this minor project. There's more than 14' between 114 Mechanic and 112 Mechanic so there should be ~13' between the outside envelope of the latticework that will camouflage the compressor and 114 Mechanic) so no dimensional variance should be needed in that direction). The compressor is only ~13 inches wide, ~37 inches high and ~40 inches long. The plan is to enclose the compressor in latticework that is painted the same color as the home (to camouflage it). The intent is to have it placed up against and underneath or just to the side of the window on the southern side of the house. The intent is to have it back as far as possible from Mechanic Street so that it has as little visibility from the Mechanic Street as possible even though it should be well camouflaged with the lattice work enclosure.

Lee Mechanical (to be used for this project) successfully did the same type installation of a lattice work enclosed heat pump about six years ago two houses over from 112 Mechanic at 199 Gates Street. I am including pictures of how that turned out.

I thank the various committees of the city of Portsmouth in advance for their consideration of this proposed minor renovation.

Zoning Ordinance to be met, as per City Ordinance 10.233.20:

10.233.21 The variance will not be contrary to the public interest:

The proposed condenser will be placed in the least noticeable place on the property and will be camouflaged by latticework that will be painted the same distinct color as the home. Per the above, the two immediate abutters (114 Mechanic and 210 Gates Street) have verbally indicated they are each ok with this proposed minor improvement to the

property. Further, as per Trane (one of the largest HVAC manufacturers in the world) "a heat pump can transfer 300 percent more energy than it consumes. In contrast, a high-efficiency gas furnace is about 95 percent efficient." And to be clear, what this heat pump will be replacing is a gas furnace that is not high efficiency, so the pick-up in energy efficiency is going to be dramatic (4x+) which should be very good for the environment / emissions / global warming. Therefore, the variance will not be contrary to the public interest.

10.233.22 The spirit of the Ordinance will be observed:

The property at 112 Mechanic Street is very unusual. The home is situated right on the property line with 210 Gates Street. There's very little space between the home and the road on Gates Street (four feet). We have no interest in putting anything Mechanical in front of the home due to curb appeal and HDC considerations. If a variance is granted to accommodate for this unusual situation and with respect for the abutters, the spirit of the ordinance will be observed.

10.233.23 Substantial justice will be done:

The property owner wants to place the condenser on the side of home in the driveway as far back as is reasonably possible from the road where it will disrupt the neighbors and the general neighborhood as little as possible on this unusual lot, with immediate abutter approval. Substantial justice will be done for the owner and the neighborhood and the community in general (much higher efficiency HVAC/lower emissions/etc) if this variance is granted.

10.233.24 The values of the surrounding properties will not be diminished:

Because the proposed generator is well hidden and camouflaged it will not diminish the surrounding property valued.

10.233.25 Literal enforcement of the provisions of the Ordinance would result in unnecessary hardship:

The proposed condenser constitutes a reasonable, minor improvement to this single family home. We have increasingly hot days during the summers and this home does not have adequate air conditioning. To try to address the need for air conditioning, window units are typically installed which are not attractive to look at for anyone in the neighborhood and are a real burden to install and uninstall every year. Further this homeowner does believe it to be the right thing (for the community, environment and their home) to be using a materially less efficient furnace than what can be achieved with the proposed heat pump installment. Given that this condenser will be put far back on the property, as far from sight as possible from the street and camouflaged with an appropriately painted latticework enclosure, this minor improvement should gain little to no attention from neighbors and passersby, but without it it would constitute an unnecessary hardship to the owner due to an insufficient HVAC situation that currently exists at the property.



199 Gates Street had a heat pump installed ~6 years ago by the same HVAC company (Stevens Mechanical) I would be using for this job. See in the right photo the latticework used to camouflage the compressor. We would be doing the same thing putting latticework around the compressor and painting it the same color as the house at 112 Mechanic.



112 Mechanic is on the right. Placement of the compressor would be near the end of the driveway either 6 feet from the fence on the lot line with 210 Gates Street and to the right of the window that can be seen (side view) to the right of the car on the South side of the house (not under the bay window on the far right of the photo above).

There's no suitable place to put the compressor in front of 112 Mechanic.

On the right side 112 Mechanic there's only four feet between the house and Gates Street and there's a row of hedges and lilacs.

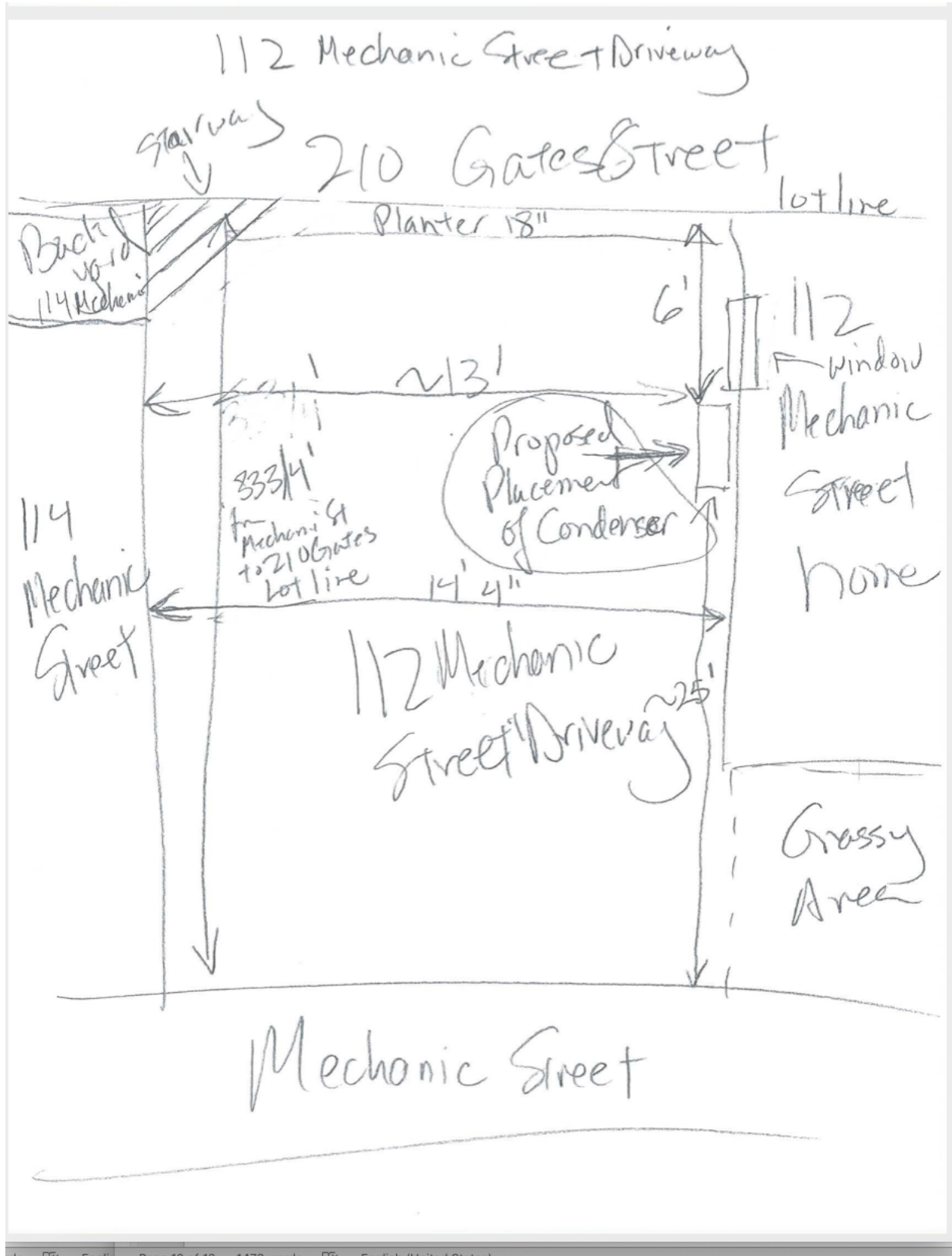
Note from Lee Stevens on need for placement where we are proposing placing it:

Jun 7, 2023,
9:11 PM (13
hours ago)

Evaluating the site left only one option for placement of the condenser. The front, back, and street (Gates) side of the property have little to no available area to meet the requirements due to property lines and street setbacks. The only location viable for the condensing unit is towards the rear of the driveway side of 112 Mechanic St up against home.

The condenser would be on a raised and level stand, surrounded by a paint matched lattice, and the refrigerant lines will be also paint matched as to blend in seamlessly.

Lee Stevens
STEVENS MECHANICAL
Rochester, NH
603-394-5151



STEVENS MECHANICAL, 24/7 HVAC Svc Co. LLC

151 Flagg Rd
Rochester, NH 03839 US
(603)394-5151
leestevens247@live.com
www.STEVENSMECHANICALNH.com

Estimate

ADDRESS

Eric Gregg
112 Mechanic St
Portsmouth, NH

SHIP TO

Eric Gregg
112 Mechanic St
Portsmouth, NH

ESTIMATE # 1017414

DATE 03/08/2023

ACTIVITY	QTY	RATE	AMOUNT
Air conditioning:Ductless unit Ductless unit includes condenser and evaporator head(s), line set and pad. 7K and 9K. With lattice covering and color matched to house	1	5,510.00	5,510.00
16 Electrical Sub contract electrical estimate	1	1,000.00	1,000.00
01 Plans and Permits Plans and Permits required by code and may vary on town or city.	2	100.00	200.00

Thank you for allowing us to quote your job.

TOTAL

\$6,710.00

Estimates are good for 15 days and are subject to change due to market fluctuations of equipment prices. This is only an **ESTIMATE** and job cost may change with additional parts or equipment needed to complete the job.

To confirm your estimate, please submit a 50% deposit to schedule your job and order materials, thank you.

Accepted By

Accepted Date



Search by keyword, part #, €

SIGN IN | REGISTER



[Plumbing](#) [Heating](#) [HVAC/R](#) [Industrial](#) [Propane](#) [More](#) | [About Us](#) [Promotions](#)

[Rewards](#)

HVAC/R / [Mini-Split Ductless Systems](#) / [Enhanced Capacity Systems](#)

Samsung JXH20S3B



Outdoor Unit 3-Port Heat Pump Max Heat FJM 20K BTU 208-230 Volt AJ020BXS3CH/AA

Account required to order

[Installation Manual](#)



Product Details

Brand	Samsung
Product Type	3-Port Heat Pump Max Heat FJM
Heating BTU	20KBTU
Voltage	208-230V
Phase	1PH
Refrigerant	R410A
Part Number	AJ020BXS3CH/AA
Finish	White
Length	13IN
Width	37IN
Height	39-5/16IN

Feedback

[About Us](#)
[Leadership](#)
[Careers](#)
[News](#)
[History](#)
[Privacy Policy](#)
[Terms of Use](#)

[Locations](#)
[Promotions](#)
[Events &
Training](#)
[Rebates](#)
[Preferred
Partner
Program](#)
[Webb
Rewards](#)

[Shipping &
Returns
Policy](#)
[Track Your
Order](#)
[Credit
Application](#)
[Warranty](#)
[Contact Us](#)

[Brands](#)
[Promotions](#)



F.W. Webb Company
160 Middlesex Tpke
Bedford, MA 01730



15. 401 State Street

- TBD

Background: The applicant is seeking approval for the replacement of an existing exhaust vent and the installation of new HVAC equipment.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-646

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/30/2023

Primary Location

401 STATE ST

Portsmouth, NH 03801

Owner

TRINITY WATER REALTY LLC

401 STATE ST M204

PORTSMOUTH, NH 03801

Applicant

Jeremiah Comeford

603-743-4822

jeremiah@prohvac1.com

PO Box 1173
Dover, NH 03821

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Install heated make up air unit and mini split for litchen

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor



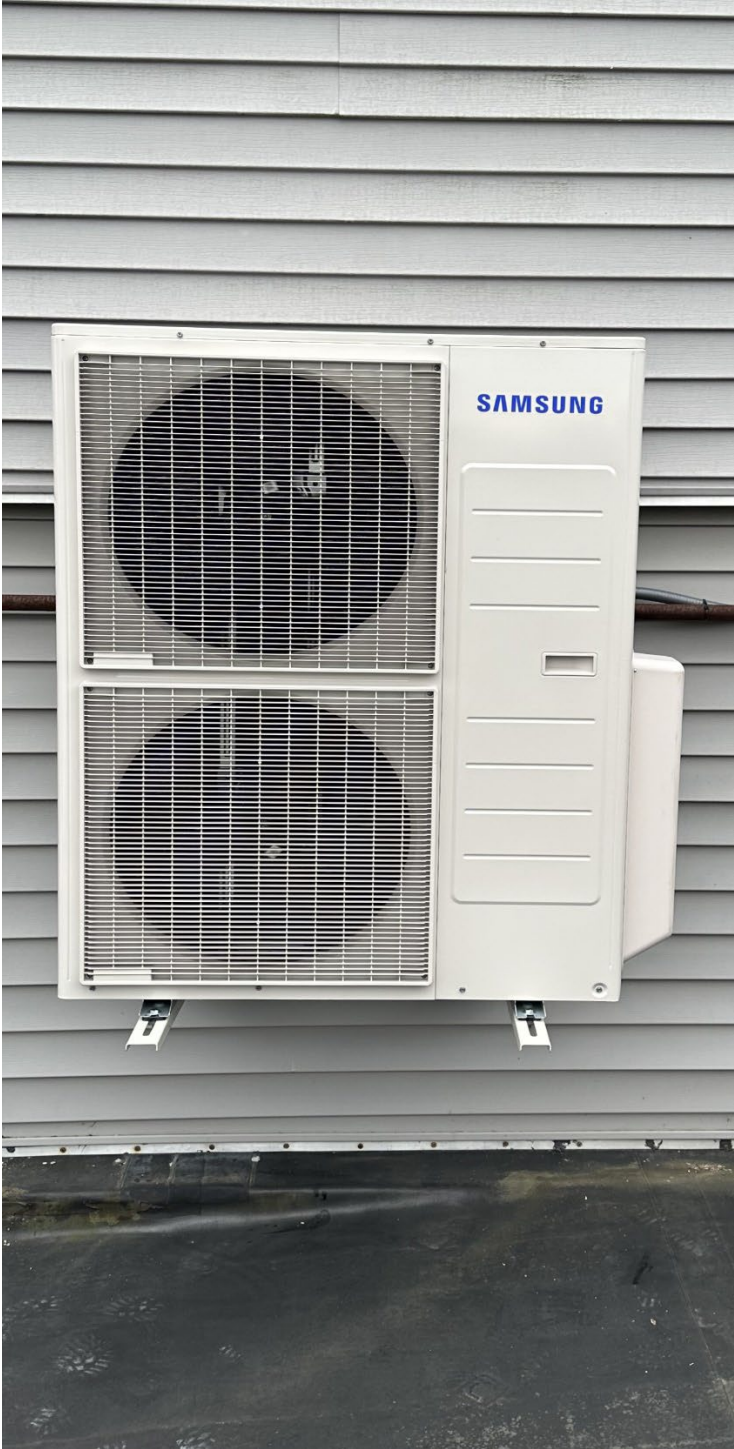
New Unit



Existing Unit



Existing Unit Location+ Location of new condenser.



New Condenser Style.

401 State Street



Property Information

Property ID 0116-03LL-0000
Location 401 STATE ST #P306
Owner L&J DARLING FAMILY REV TRUST



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 06/21/2023
Data updated 3/9/2022

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

16. 189 Gates Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of a fence.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

To: Portsmouth Historic District Commission
Portsmouth City Hall
1 Junkins Avenue
Portsmouth, NH 03801

Re: Fence Installation between 189 Gates and 199 Gates St.

Dear HDC Members,

We are applying for permission to construct a fence **on the easement line** between our backyard and the backyard at 199 Gates Street. This request is a stipulation requirement made by the Portsmouth Planning Board in order to be granted a conditional use permit for our Garden Cottage building project. The fence would be installed by Platinum Fence Company. They have installed similar fences in abutting backyards on lower Gates Street, so our design would match those of our backyard neighbors. It would be a cedar fence, six feet high and about 44' feet in length. It would extend from the back of our garage to the fence along the back of the Point of Graves at the end of our two properties. This fence would replace a shorter fence that sits in between the property line and easement line of the two properties. Again, we are requesting that the new fence be installed on the easement line so our neighbors at 199 Gates Street have access to that section of land in the easement. Our neighbors, Devan Quinn and James Butler, agree with the placement of the new fence and the proposed fence design.

Please see the following attached exhibits:

- A. Lot plan and survey plan with easement line highlighted in **YELLOW** and property line highlighted in **GREEN**
- B. Picture and description of the fence to be installed
- C. Letter from our neighbors, Devan Quinn and James Butler, and us stating our agreement with the fence placement and design

Judy and Pat Nerbonne
Nerbonne Family Revocable Trust
189 Gates Street
Portsmouth, NH 03801
(603) 475-4108

EXHIBIT A1: Proposed Lot Plan from Architect

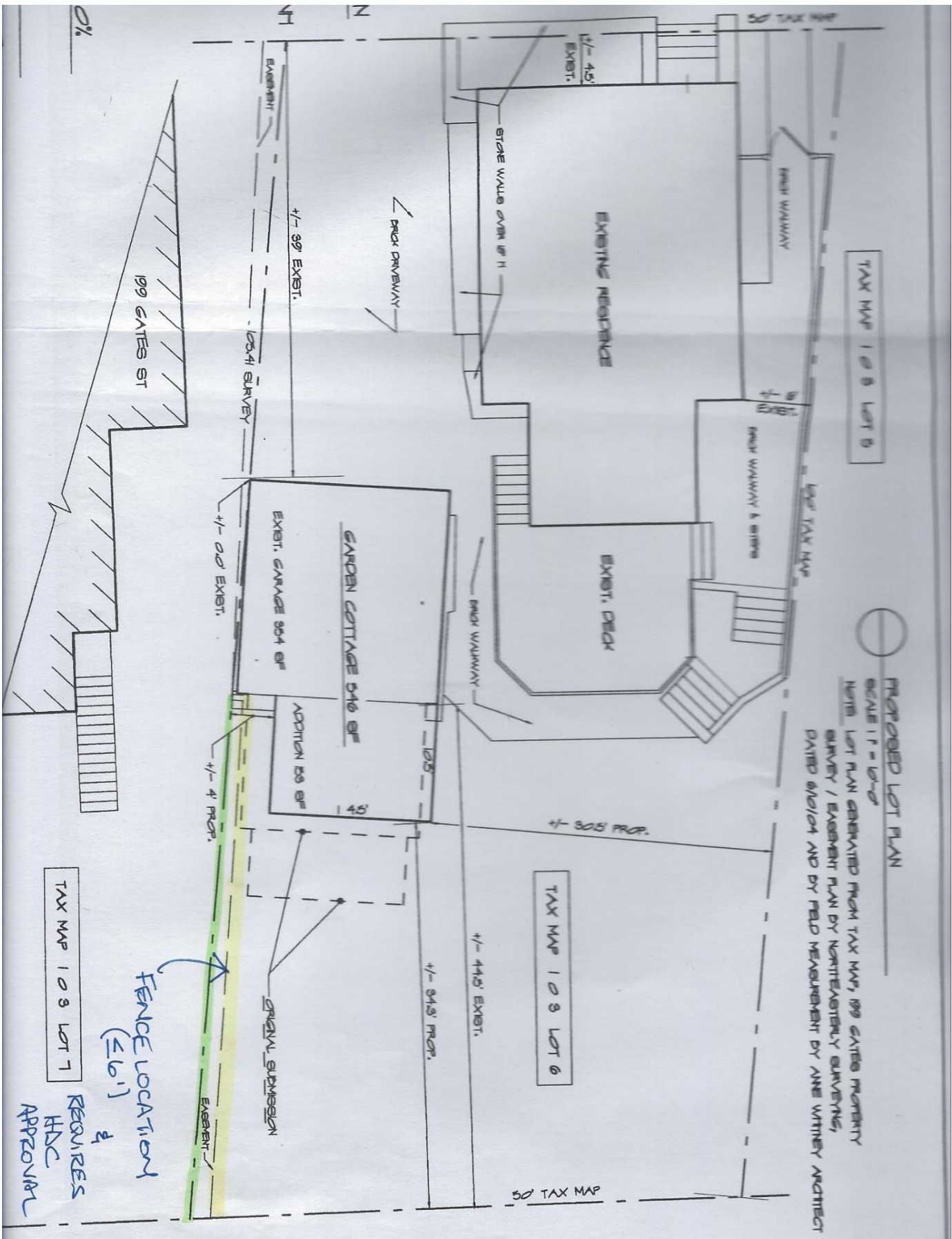


EXHIBIT A2: Survey map from Easterly Surveying Company showing location of property line, current fence, and easement line

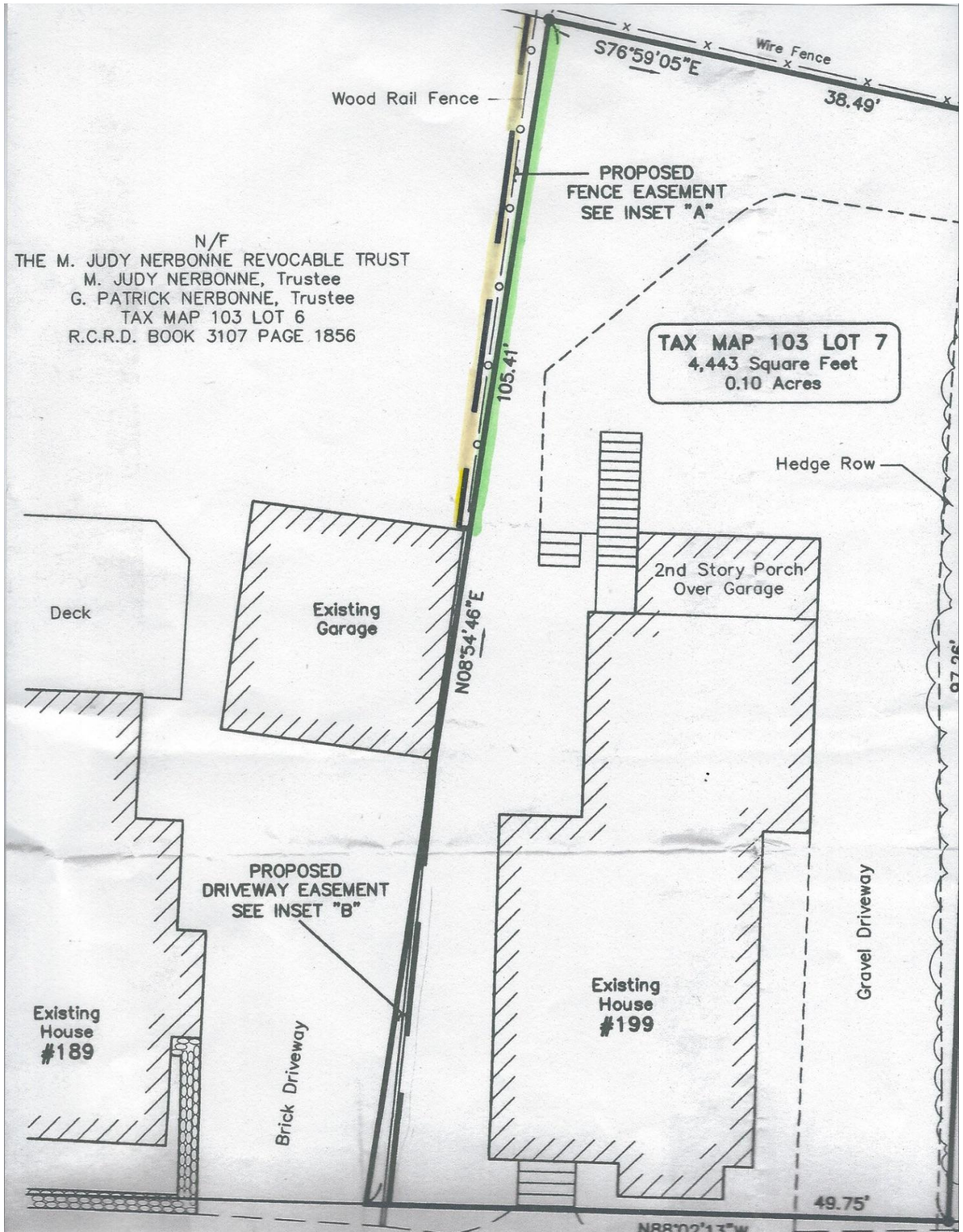


EXHIBIT B: Pictures and description of fence: The fence will be 44' long. It will be made of 6' #1 cedar tongue and groove with 2 x 4 rails, 1 x 2 section cap, 5" x 5" posts with New England Post Caps. The fence will have six even sized panels.

This photograph is of two identical fences, different ages in abutting backyards on Gates Street. The nearest fence is between the backyards of 183 and 175 Gates. The furthest fence, the newer one, is between 171 and 175 Gates Street. The newer one was just installed by Platinum Fence, the company we would hire to install this fence, and is the exact design of the fence we would like installed.



This photo shows what the fence would look like facing our neighbor's yard at 199 Gates.



June 30, 2023

To the Historic District Commission,

We, Devan Quinn and James Butler, residents of 199 Gates St., are writing about an application from The Nerbonne Family Revocable Trust at 189 Gates St.

The Planning Board has required 189 Gates St to erect a fence as a stipulation of a building permit on the property line between 189 Gates and 199 Gates St. Doing so would prevent us, residents of 199 Gates St, from accessing the easement which extends over the property line into the property of 189 Gates St. We have asked 189 Gates St to erect the fence on the easement line instead of the property line and they have agreed and we support their request to do so.

We attended a site walk with Nick Cracknell where we learned that the maximum height of the fence allowed is six feet. James Butler is 6'5" and a 6' fence is not quite a privacy fence in that respect. Nick said the HDC might be able to accommodate that issue. It would be appreciated if the height of the fence could be at least as high as the people on the other side of it.

The design of the fence in cedar is fine with us. Nick mentioned that the fence may have to slope (lose height) as it approaches the back of the property to meet the height of the perpendicular fence at the Point of Graves Burial Ground, in which case, we would request to avoid or minimize the slope, again for the purpose of privacy.

Thank you.

Respectfully,

Devan Quinn
James Butler
Residents of 199 Gates St.