

Date: 6/14/23

Profile Homes of NH
953 Islington St, Unit 22C
Portsmouth, NH 03801
603-433-2464

City of Portsmouth Historical District Commission

RE: 202 Court St Request for Administrative Approval

Dear Members of the Historical District Commission,

Please see the attached request for administrative approval dated 6/15/23

In response to requested changes from our purchaser, we are requesting 3 changes to the exterior of the building.

- 1- The owner has requested to add a *Nanawall Brand* sliding door to a rear deck where a no doorway was previously on the plan. This change impact is minimal to any area of the building seen at street level (Court St). The elevation direction of this addition is in the rear of the structure, overlooking the parking area dedicated to the Fire Station 1 employees and staff. This wall system has been used in many other multi-family penthouse locations throughout the city and, based on opinion, adds to a attractive exterior to the building.
- 2- The Application is also seeking to remove the door access and repurpose this location as a window previously on the plan. This impact appears minimal since, from ground level, the difference of the view for this opening to be a door vs a window is nearly unnoticed.
- 3- The application is requesting to add a gas fireplace to the rear of the building. This will require a vent out of rear of the building typical of those with direct vent fireplaces. (per photo). Our intention is to have this vent painted (if allowed by manufacturer) to the same color as the exterior of the building. This vent will be on the rear of the building, visible only from the Citizens Bank building.

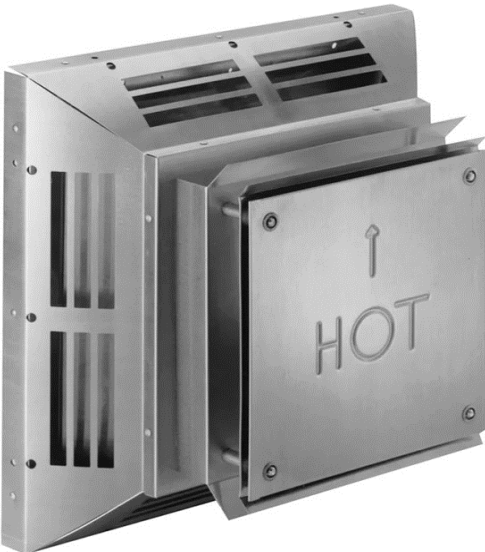
Please note that this application will be presented by the purchaser of the unit, Matt Rushton, on our behalf as our staff is away during this holiday time period.

Thank you,

Matt Silva
Profile Homes of NH



Nana Wall Door

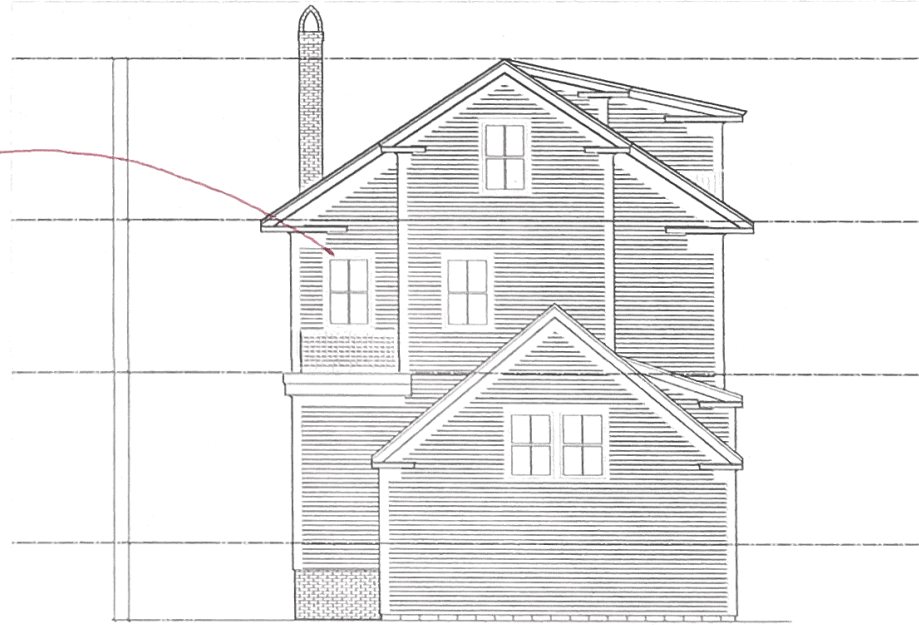


Vent example:





REPLACE DOOR
WITH WINDOW







PROFILE HOMES
 HIGH-END ENERGY BUILDING
 11111 W. 10th Ave., Suite 100
 Denver, CO 80202

FIREHOUSE CONDOS

ISSUED DATES & REVISIONS
 ISSUED FOR DESIGN #1
 MARCH 12, 2019
 ISSUED FOR DESIGN #2
 APRIL 10, 2019
 ISSUED FOR DESIGN #3
 APRIL 23, 2019
 ISSUED FOR DESIGN #4
 MAY 10, 2019
 ISSUED FOR CONSTR. REVIEW
 MARCH 10, 2020
 ISSUED FOR CONSTR. REVIEW #2
 MARCH 10, 2020
 ISSUED FOR CONSTRUCTION
 MAY 18, 2020

GENERAL NOTES:

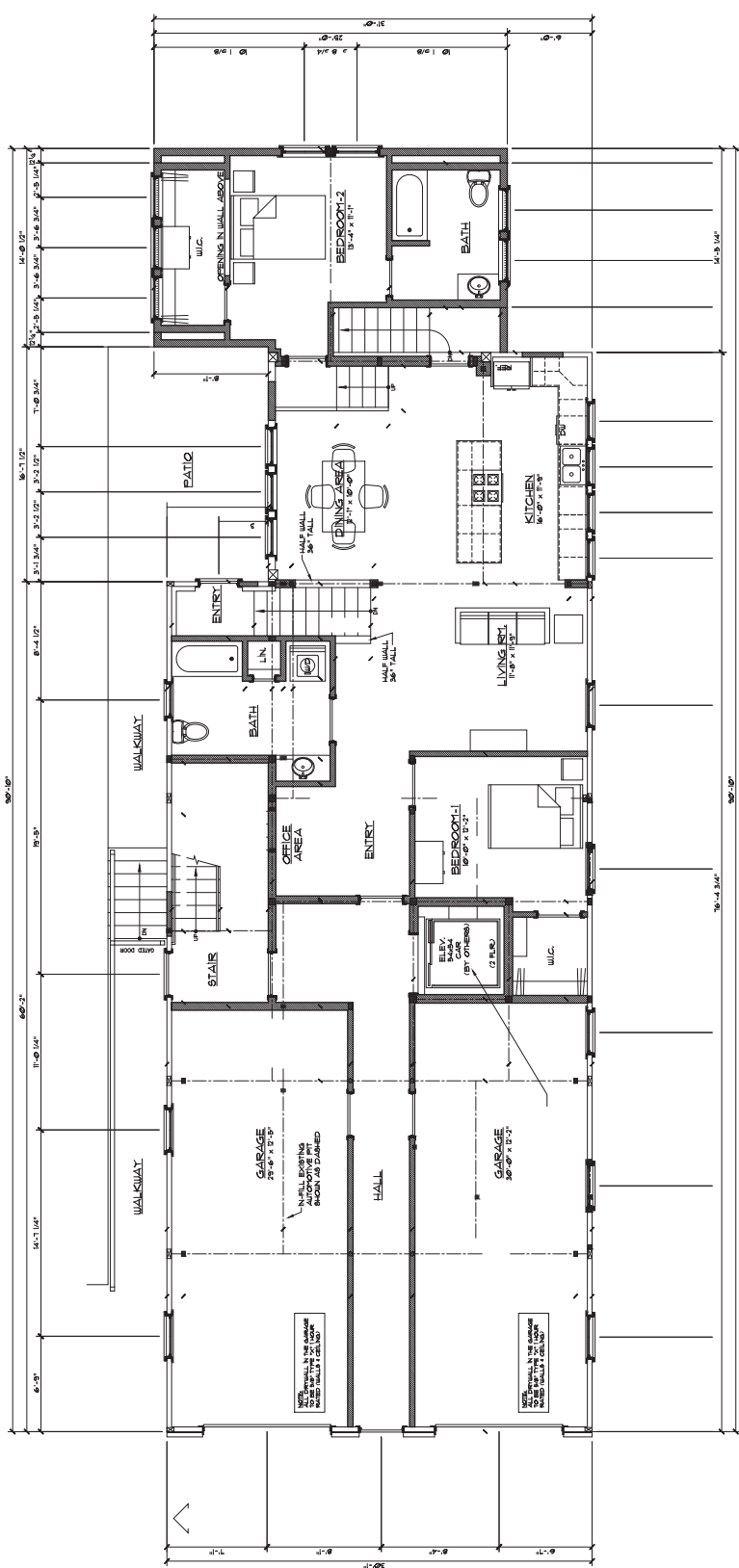
1. All work shall be performed in accordance with all applicable codes and standards of care.
 2. All work shall be performed in accordance with the City of Denver, Colorado Building Code, 2015 Edition, with all amendments through 2019.
 3. All work shall be performed in accordance with the International Residential Code, 2018 Edition, with all amendments through 2019.
 4. All work shall be performed in accordance with the International Energy Conservation Code, 2015 Edition, with all amendments through 2019.
 5. All work shall be performed in accordance with the International Mechanical Code, 2015 Edition, with all amendments through 2019.
 6. All work shall be performed in accordance with the International Plumbing Code, 2015 Edition, with all amendments through 2019.
 7. All work shall be performed in accordance with the International Fire Code, 2015 Edition, with all amendments through 2019.
 8. All work shall be performed in accordance with the International Building Code, 2015 Edition, with all amendments through 2019.
 9. All work shall be performed in accordance with the International Electrical Code, 2017 Edition, with all amendments through 2019.
 10. All work shall be performed in accordance with the International Fuel Gas Code, 2015 Edition, with all amendments through 2019.
 11. All work shall be performed in accordance with the International Fire and Code, 2015 Edition, with all amendments through 2019.
 12. All work shall be performed in accordance with the International Fire and Code, 2015 Edition, with all amendments through 2019.
 13. All work shall be performed in accordance with the International Fire and Code, 2015 Edition, with all amendments through 2019.
 14. All work shall be performed in accordance with the International Fire and Code, 2015 Edition, with all amendments through 2019.
 15. All work shall be performed in accordance with the International Fire and Code, 2015 Edition, with all amendments through 2019.



FIRST FLOOR PLAN

ISSUE DATE: 03/12/20
 JOB NUMBER: N/A
 DRAWN BY: Jeremy Sheaf
 CHECKED BY: Matt Sisk
 SCALE: AS SHOWN

A-1.0



NOTE:
 BATHING WALLS
 NEW WALLS TYP.
 BEING ABOVE

SQUARE FOOT NOTES:
 1. FIRST FLOOR = 2,569 SF
 2. SECOND FLOOR = 2,293 SF
 3. THIRD FLOOR = 1,654 SF
 TOTAL AREA = 6,516 SF

DRAWING SCALE: 1/4" = 1'-0"



PROFILE HOMES
 HIGH-END ENERGY BUILDING
 11111 W. 104th Ave., Suite 100
 Denver, CO 80231

FIREHOUSE CONDOS

ISSUED DATES & REVISIONS
 ISSUED FOR DESIGN #1
 MARCH 12, 2019
 ISSUED FOR DESIGN #2
 APRIL 10, 2019
 ISSUED FOR DESIGN #3
 APRIL 23, 2019
 ISSUED FOR DESIGN #4
 MAY 10, 2019
 ISSUED FOR STRUC. REVIEW
 MARCH 10, 2020
 ISSUED FOR STRUC. REVIEW #2
 MAY 14, 2020
 ISSUED FOR CONSTRUCTION
 MAY 18, 2020

GENERAL NOTES:

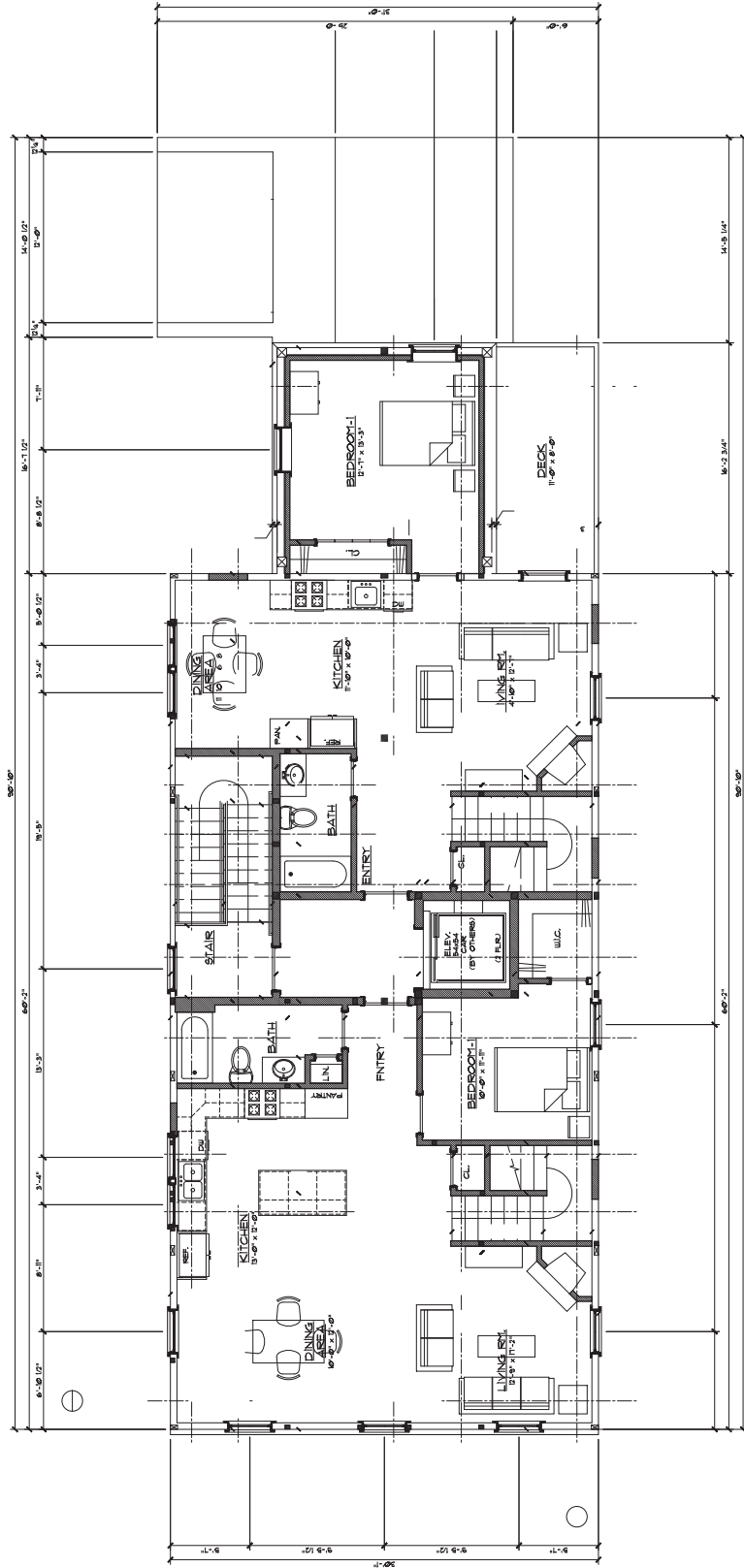
1. All work shall be performed in accordance with all applicable codes and regulations, including but not limited to the International Building Code, International Residential Code, and all applicable local, state, and federal laws and regulations.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for coordinating with all other trades and subcontractors to ensure proper sequencing and timing of the work.
 4. The contractor shall be responsible for maintaining the safety of the construction site at all times.
 5. The contractor shall be responsible for protecting all existing work and structures that are not to be removed.
 6. The contractor shall be responsible for providing a clean and safe work environment at all times.
 7. The contractor shall be responsible for providing a detailed schedule of work to the architect and owner.
 8. The contractor shall be responsible for providing a detailed list of materials and finishes to the architect and owner.
 9. The contractor shall be responsible for providing a detailed list of subcontractors to the architect and owner.
 10. The contractor shall be responsible for providing a detailed list of vendors to the architect and owner.



SECOND FLOOR PLAN

ISSUE DATE: 05/18/20
 JOB NUMBER: N/A
 DRAWN BY: Jeremy Shauld
 CHECKED BY: Matt Shaw
 SCALE: AS SHOWN

A-1.1



NOTES:
 EXISTING WALLS
 NEW WALLS TYP.
 BRIMS ABOVE



PROFILE HOMES
 HIGH-END LUXURY BUILDINGS
 1111 BROADWAY, SUITE 1000
 NEW YORK, NY 10018

FIREHOUSE CONDOS

ISSUED DATES & REVISIONS
 ISSUED FOR DESIGN #1
 MARCH 12, 2019
 ISSUED FOR DESIGN #2
 APRIL 10, 2019
 ISSUED FOR DESIGN #3
 APRIL 23, 2019
 ISSUED FOR DESIGN #4
 MAY 10, 2019
 ISSUED FOR STRUC. REVIEW
 MARCH 10, 2020
 ISSUED FOR STRUC. REVIEW #2
 MARCH 10, 2020
 ISSUED FOR CONSTRUCTION
 MAY 18, 2020

GENERAL NOTES:

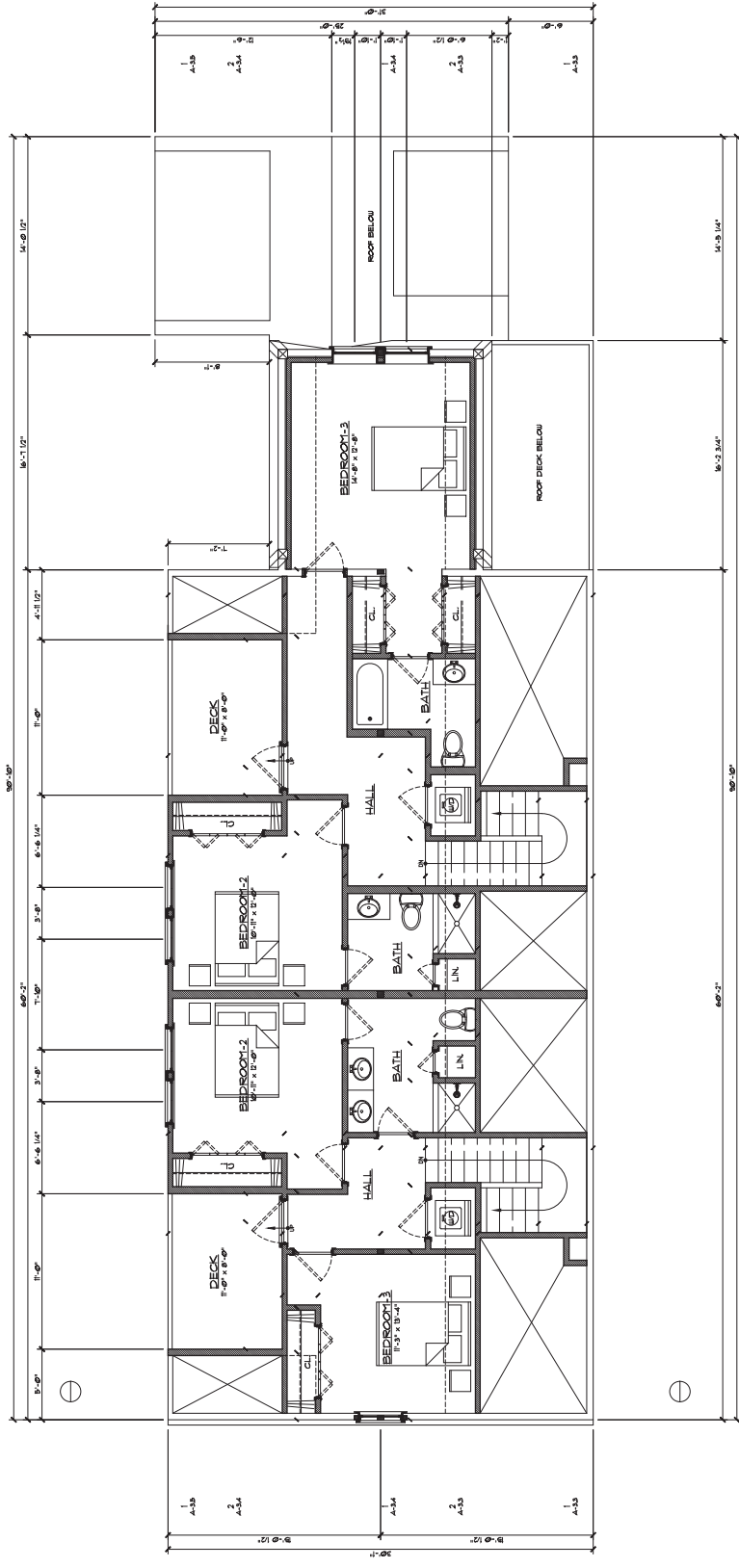
All work shall be performed in accordance with all applicable codes and regulations, including but not limited to, the International Building Code, International Residential Code, and all applicable local, state and federal laws, rules, regulations, codes, ordinances, and orders of the City of New York, State of New York, and the United States of America.
 All work shall be performed in accordance with the approved construction documents.
 The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 The contractor shall be responsible for coordinating with all other trades and subcontractors.
 The contractor shall be responsible for maintaining the safety of the construction site at all times.
 The contractor shall be responsible for protecting the existing structure and finishes.
 The contractor shall be responsible for the removal and disposal of all debris and materials.
 The contractor shall be responsible for the installation of all new materials and finishes.
 The contractor shall be responsible for the completion of all work in a timely and efficient manner.
 The contractor shall be responsible for the maintenance of all records and documents.
 The contractor shall be responsible for the payment of all bills and invoices.
 The contractor shall be responsible for the completion of all work in accordance with the approved construction documents.



THIRD FLOOR PLAN

ISSUE DATE: 05/18/20
 JOB NUMBER: N/A
 DRAWN BY: Jeremy Sheaf
 CHECKED BY: Matt Sica
 SCALE: As Noted

A-1.2



NOTE:
 BOILING WALLS
 NEW WALLS TYP.
 EXISTING ABOVE



PROFILE HOMES
INTERIOR ENERGY BUILDING
111101000000

FIREHOUSE CONDOS

ISSUED DATES & REVISIONS

ISSUED FOR DESIGN #1
MARCH 12, 2019

ISSUED FOR DESIGN #2
APRIL 10, 2019

ISSUED FOR DESIGN #3
APRIL 23, 2019

ISSUED FOR DESIGN #4
MAY 16, 2019

ISSUED FOR STRUC. REVIEW
MARCH 10, 2020

ISSUED FOR STRUC. REVIEW #2
MAY 14, 2020

ISSUED FOR CONSTRUCTION
MAY 14, 2020

GENERAL NOTES:

1. All work shall be performed in accordance with all applicable codes and regulations, including but not limited to the International Building Code, International Residential Code, and all applicable local, state and federal laws.

2. All work shall be performed in accordance with the approved construction documents.

3. All work shall be performed in accordance with the approved construction documents.

4. All work shall be performed in accordance with the approved construction documents.

5. All work shall be performed in accordance with the approved construction documents.

6. All work shall be performed in accordance with the approved construction documents.

7. All work shall be performed in accordance with the approved construction documents.

8. All work shall be performed in accordance with the approved construction documents.

9. All work shall be performed in accordance with the approved construction documents.

10. All work shall be performed in accordance with the approved construction documents.

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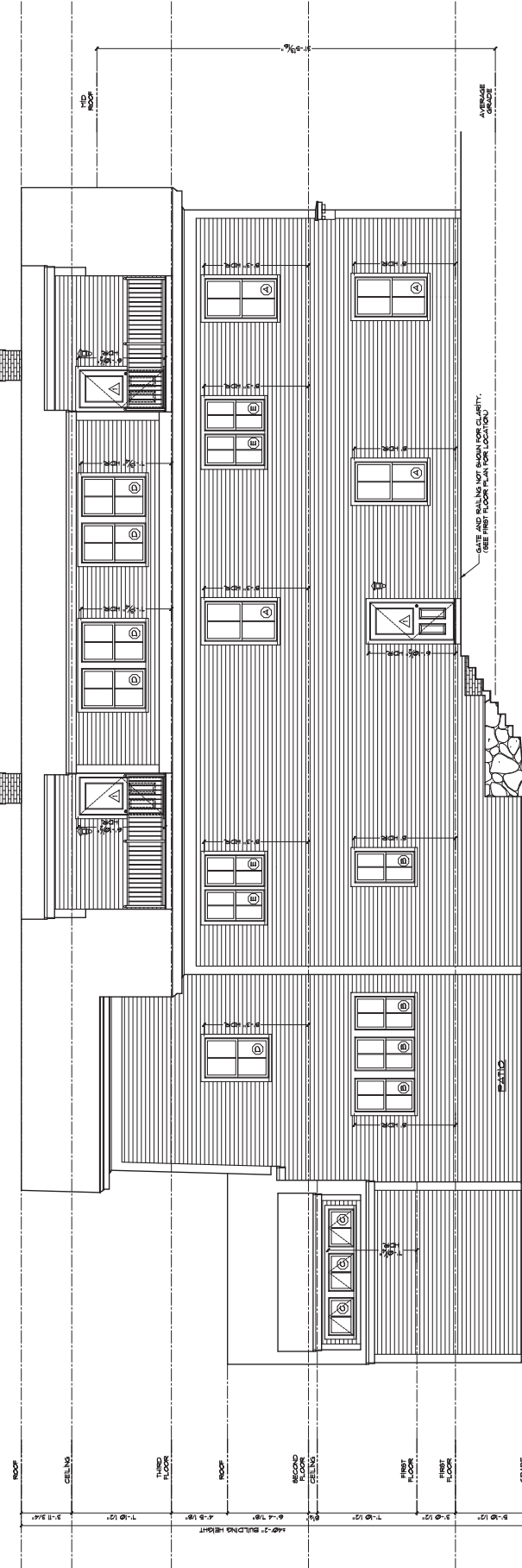
REGISTRATION:

ISSUE DATE: 03/12/2019
JOB NUMBER: N/A
DRAWN BY: Jimmy Sheaff
CHECKED BY: Mark Sica
SCALE: AS SHOWN

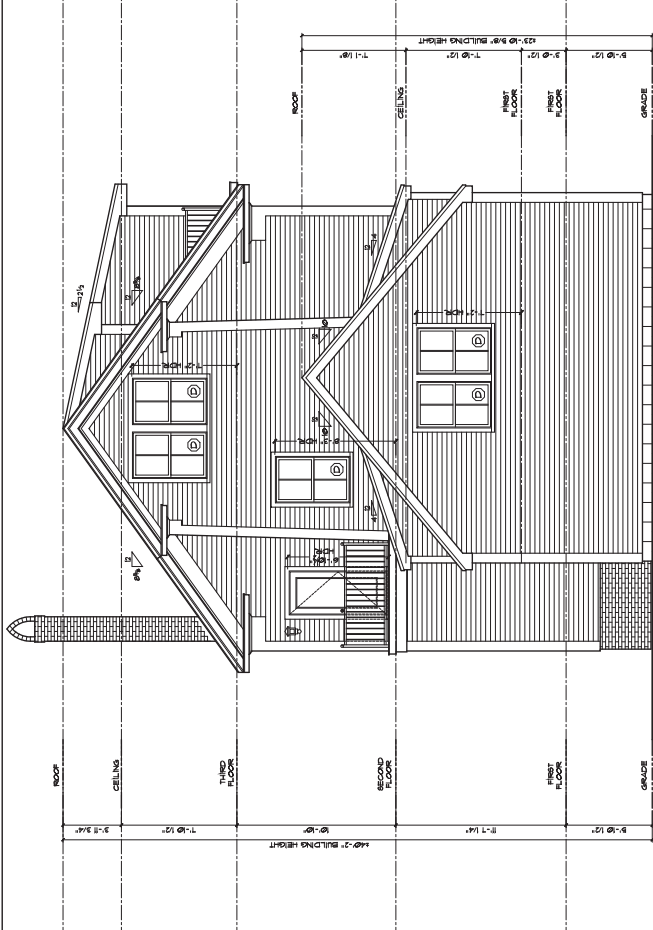
ELEVATIONS

ISSUE DATE: 03/12/2019
JOB NUMBER: N/A
DRAWN BY: Jimmy Sheaff
CHECKED BY: Mark Sica
SCALE: AS SHOWN

A-2.1



LEFT ELEVATION
DRAWING SCALE: 1/4" = 1'-0"



REAR ELEVATION
DRAWING SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE (MAIN HOUSE & GARAGE)

LOC.	SIZE / UNIT *	ROUGH OPNG.	COMMENTS
(A)	W204-202P	3'-0" x 3'-0"	DEL. LING - EXTERIOR
(B)	W204-202A	3'-0" x 3'-0"	DEL. LING
(C)	W204-202B	3'-0" x 3'-0"	DEL. LING - EXTERIOR

NOTES:
1. REFER TO FLOOR PLANS & ELEV. FOR CURRENT WINDOW OPERATION.
2. REFER TO ELEVATIONS FOR GRILLE PATTERNS & GLASS OPENINGS.
3. EXTERIOR WINDOW THAT TEST OR EXCEED CLEAR OPENING AREA OF 5.7 SF.
4. VERIFY DOORS W/ MANUFACTURER FOR SIZE & FINISH PATTERNS.
5. VERIFY APPROX. DOOR STYLE BEFORE ORDERING.

DOOR SCHEDULE

LOC.	UNIT * / SIZE	ROUGH OPNG.	MANUFACTURER
(A)	PS-204-LE GRN	3'-0" x 6'-0"	INTERIOR - 1/2" GLASS
(B)	CARTRIDGE DOOR	8'-0" x 7'-0"	CONCRETE - 1/2" GLASS
(C)	CARTRIDGE DOOR	8'-0" x 7'-0"	CONCRETE - 1/2" GLASS

NOTES:
1. REFER TO FLOOR PLANS & ELEV. FOR DOOR OPERATION.
2. REFER TO ELEVATIONS FOR GRILLE PATTERNS.
3. VERIFY APPROX. DOOR STYLE BEFORE ORDERING.

MATERIAL NOTES:

- SLIDING DETAIL
- CEDAR CLAPBOARD SIDING w/ #4 EXPOSURE
- ROOFING
- 1/2" ASPH/FLT SYNTHETIC ROOFING
- 1/2" TRIFLEX UNDERLAMENT.
- FASCIA DETAIL
- 1/2" x 1/2" MATCH EXISTING ON MAIN ROOF
- RAKE DETAIL
- 1/2" x 1/2" MATCH EXISTING ON MAIN ROOF
- FRIZE DETAIL
- 1/2" x 1/2" MATCH EXISTING ON MAIN ROOF
- SOFIT DETAIL
- (8' x 14' x 1/2" BOARD, V-JOINT (W/ VENT)
- RAKE SOFFIT DETAIL
- 1/2" x 1/2" MATCH EXISTING ON MAIN ROOF
- 1/2" x 1/2" MATCH EXISTING ON MAIN ROOF
- CONER DETAIL
- 1/2" x 1/2" MATCH EXISTING ON MAIN ROOF
- BASE HOLDING DETAIL
- WINDOW TRIM
- 1/2" x 1/2" HISTORIC BULL
- DOOR TRIM
- 1/2" x 1/2" x 1/2" FRONT DOOR, 1/2" x 1/2" x 1/2" FRONT GARAGE DOORS
- STONE VENEER
- 1" BRICK VENEER & NEW CHIMNEYS
- NOTE
- ALL TRIM TO BE BORAL BOARDS
- WINDOWS & DOORS
- SEE WINDOW & DOOR SCHEDULE
- EXTERIOR DECK
- COMPOSITE DECKING

WINDOW & DOOR SCHEDULE
MATERIAL NOTES



SAMPSON

KEARSARGE





Portsmouth Athenaeum