

14 MARKET SQUARE



14 MARKET SQUARE - ROOF ADDITION JOHN GALT, LLC

HDC WORK SESSION 1
JULY 2023

DRAWING LIST

H0.0 COVER
H0.1 CONTEXT MAP
H0.2 EXISTING BUILDING PHOTOS
H0.3 CONTEXT PHOTOS
H0.4 HISTORIC CONTEXT
H1.0 SITE PLAN, EXISTING
H1.1 SITE PLAN, PROPOSED
H2.1 MASSING STREET SECTIONS
H2.2 MASSING STREET SECTIONS



COVER

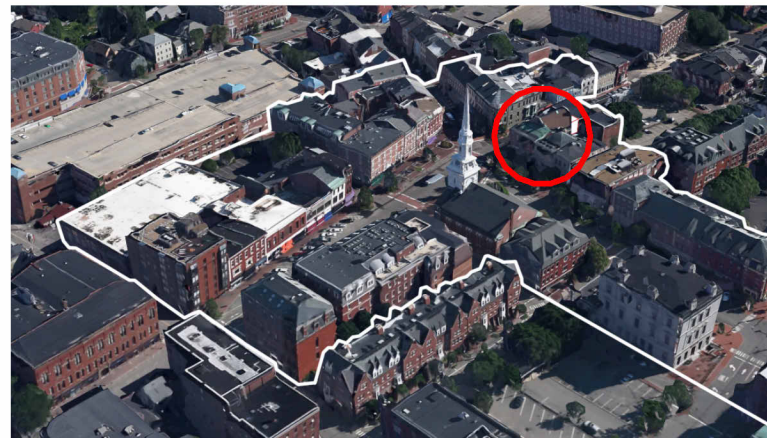
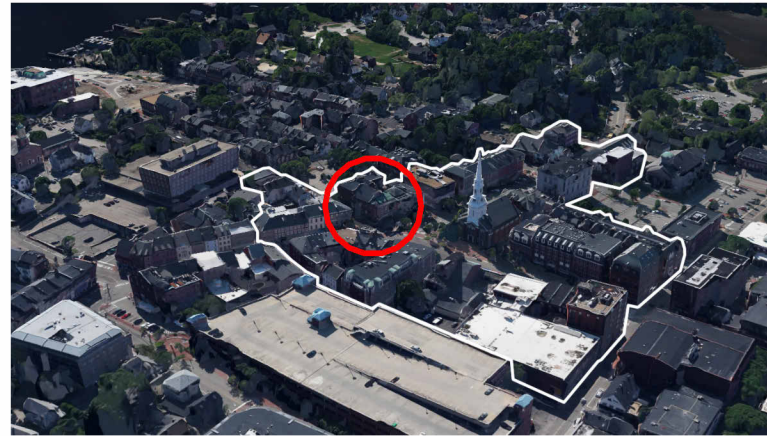
14 MARKET SQUARE

H0.0

6/16/2023
PROJECT NO:1014

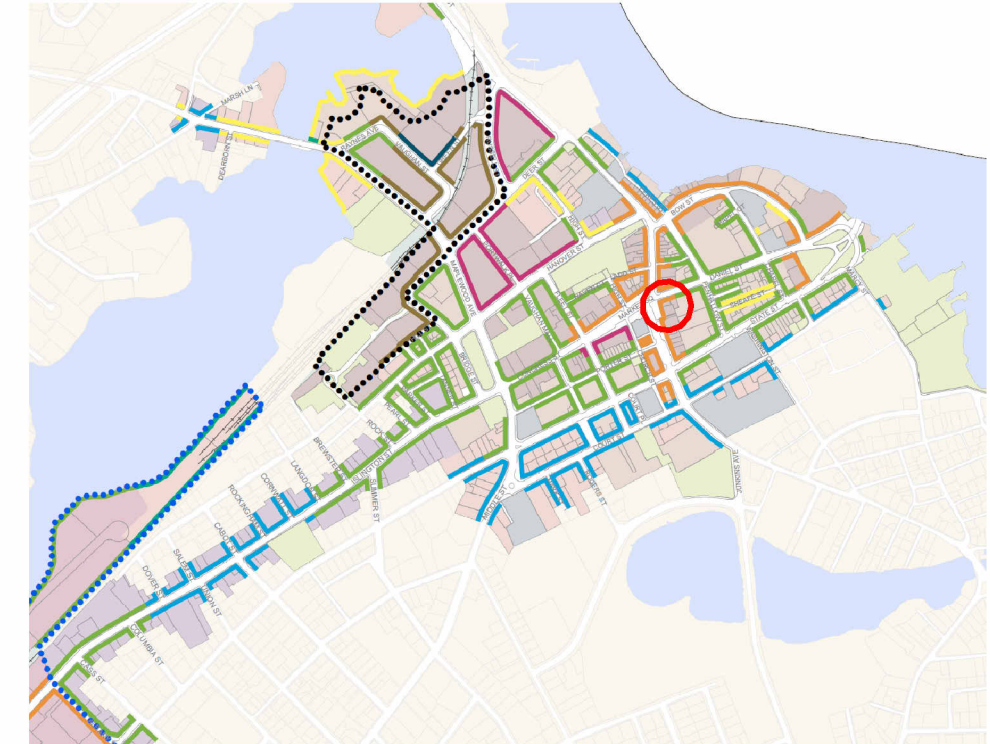


300' RADIUS GIS MAP



PROJECT SUMMARY

1. A NEW ROOF ADDITION AT PLEASANT ST ROOF DECK
2. TWO NEW SHED DORMERS AT REAR ROOF



ZONING SUMMARY Legend

CHARACTER DISTRICT CD-5

DOWNTOWN OVERLAY DISTRICT HEIGHT -

PLEASANT STREET: 2-3 STORIES (SHORT 4TH), 45'

DANIEL STREET: 2-3 STORIES (SHORT 4TH), 45'

Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'

*Penthouse Levels may exceed the building height by 2 feet.

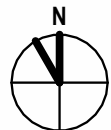
1. A short story includes either: 1) use of a top story below the cornice line of a sloped roof that is at least 20% shorter in height than the story below; or 2) a story within a mansard roof with a pitch no greater than 30:12.

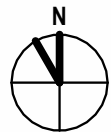
2. When a lot is assigned to more than one height requirement standard refer to the requirements listed in Section 10.5A21.22.

3. Attic space within either a gable, gambrel, hip or hip-top mansard roof or a penthouse level on a flat roof is not considered a story. Attic space is permitted above the top story provided the proposed building is no greater than the maximum building height.

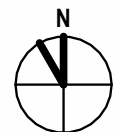
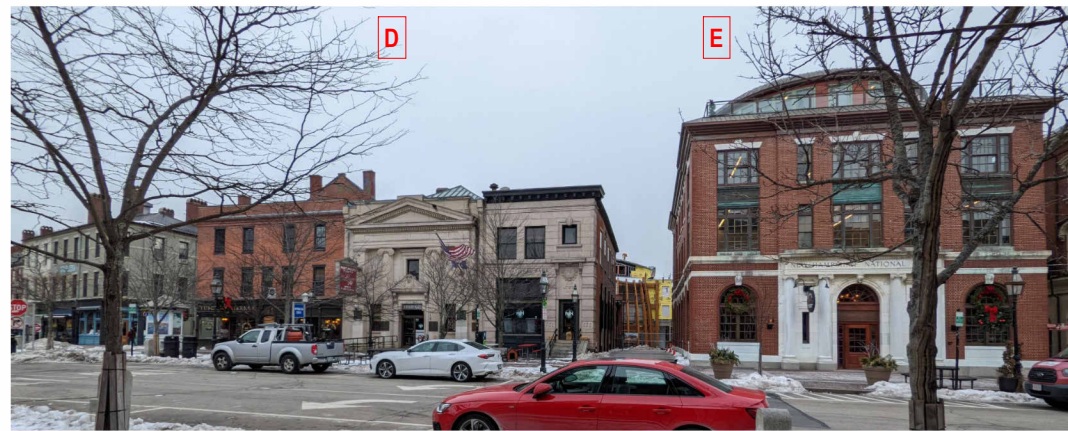
CURRENT USE:
FIRST FLOOR - RESTAURANT
SECOND & THIRD FLOOR - OFFICE
ATTIC - STORAGE

PROPOSED USE:
FIRST FLOOR - RESTAURANT
SECOND, THIRD, & ATTIC - RESIDENTIAL

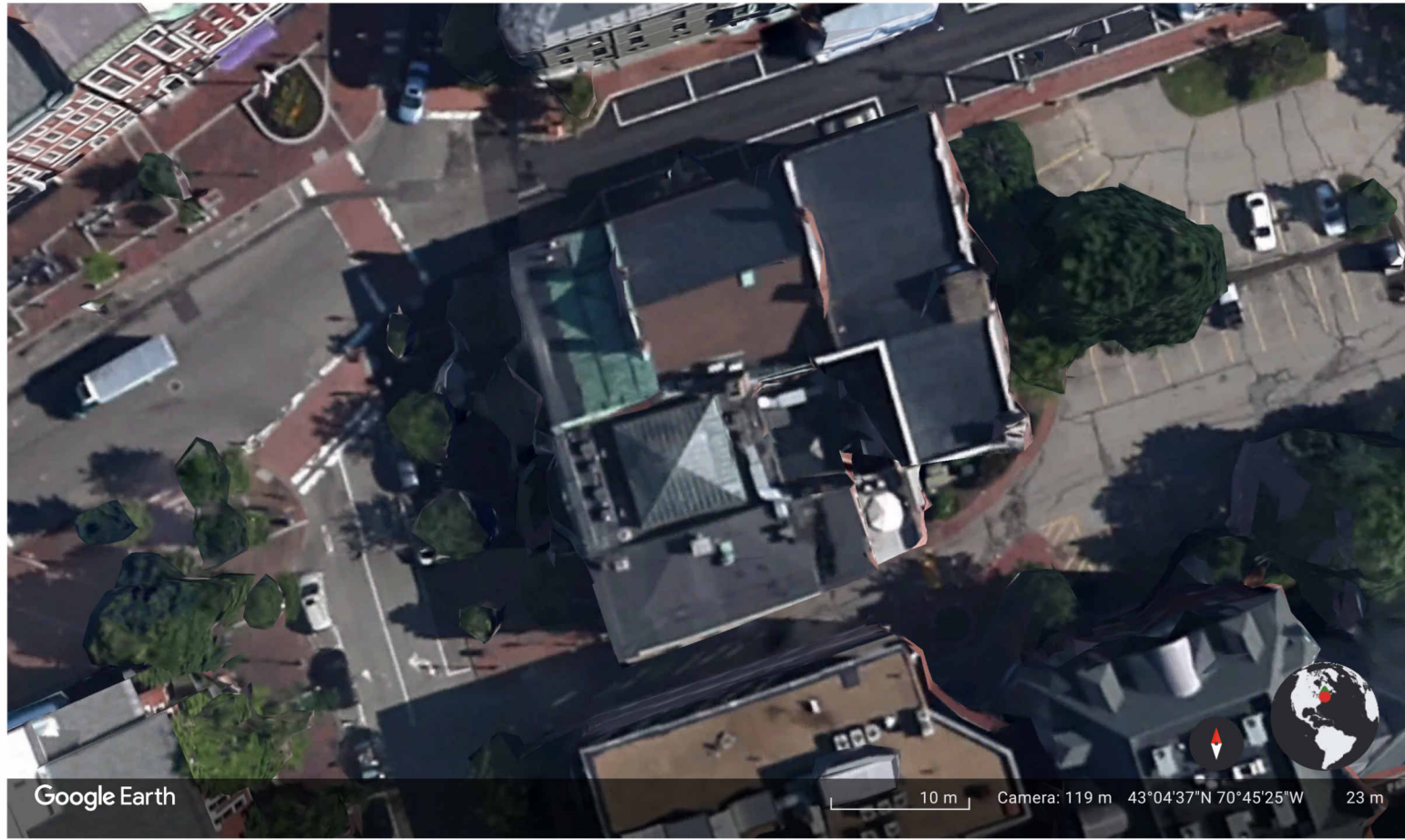




EXISTING BUILDING PHOTOS
14 MARKET SQUARE



EXISTING CONTEXT
14 MARKET SQUARE

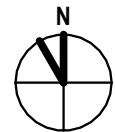
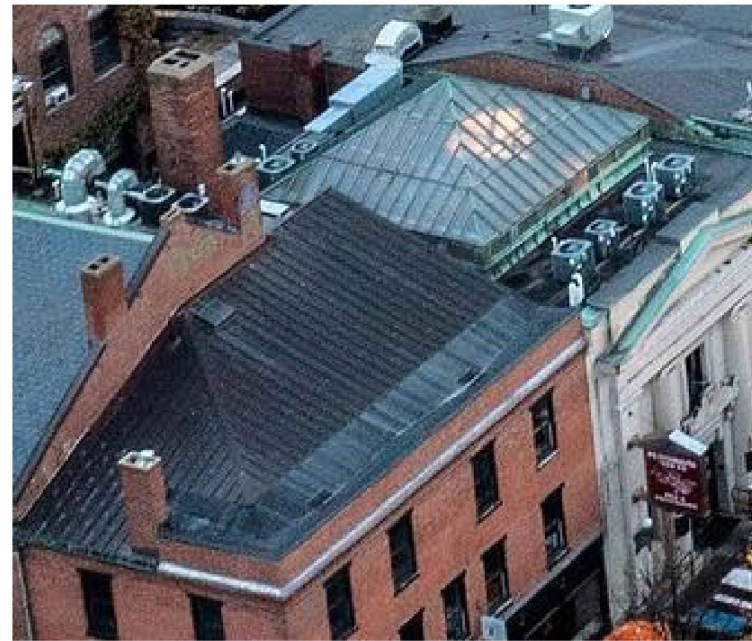
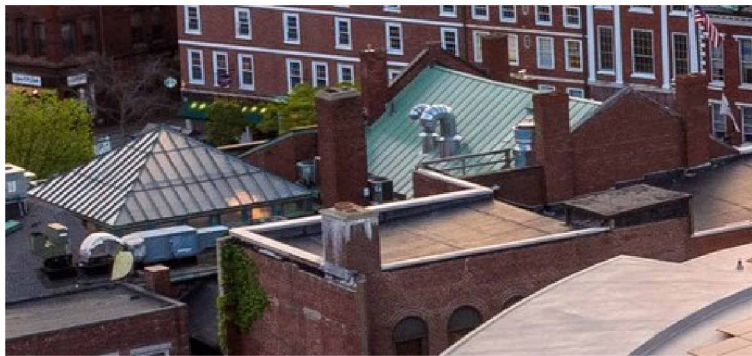


Google Earth

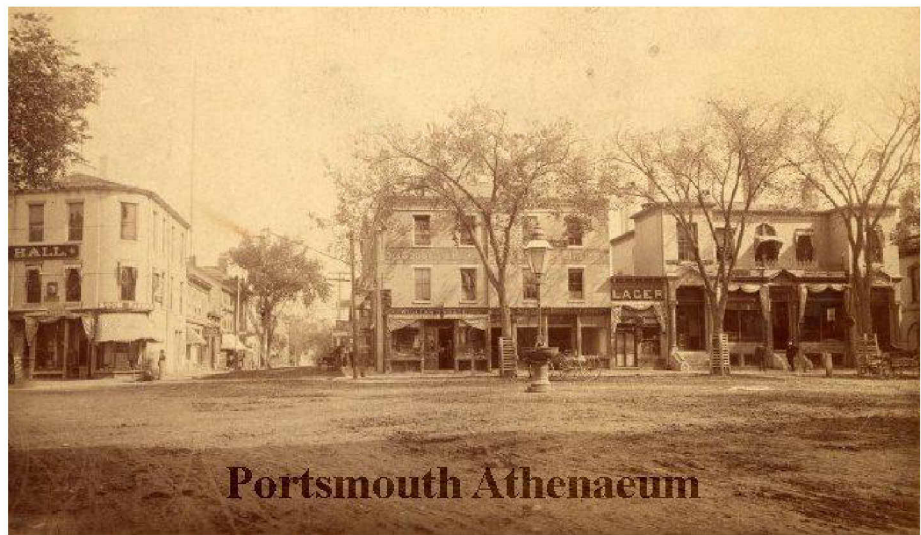
10 m Camera: 119 m 43°04'37"N 70°45'25"W 23 m

https://earth.google.com/web/search/14+Market+Square,+Portsmouth,+NH/@43.07695515,-70.75720122,89701188a,96.32512948d,35y,0h,0t,0r,data=CigUgokCbrINJy-fUVAEb_upxRsfUVAGYDmW6UvFHAIRTzCHrvFHA

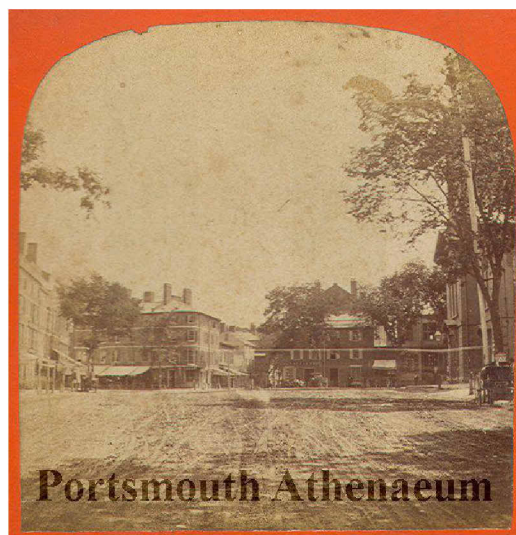
1/1



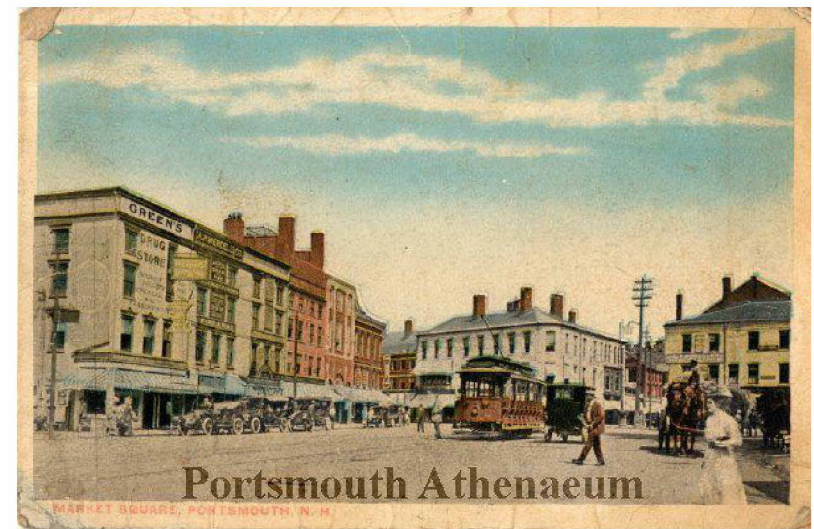
EXISTING CONTEXT DETAIL
14 MARKET SQUARE



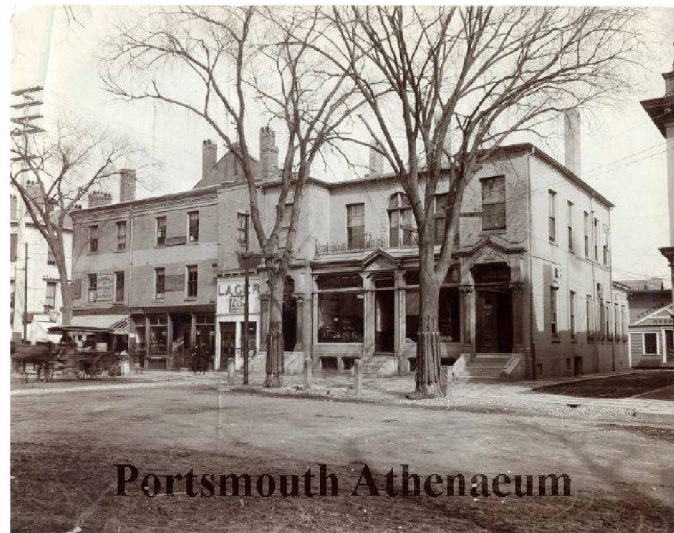
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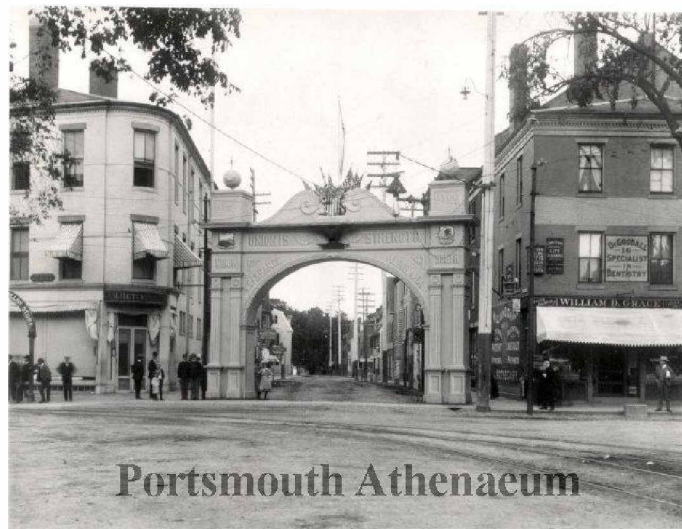
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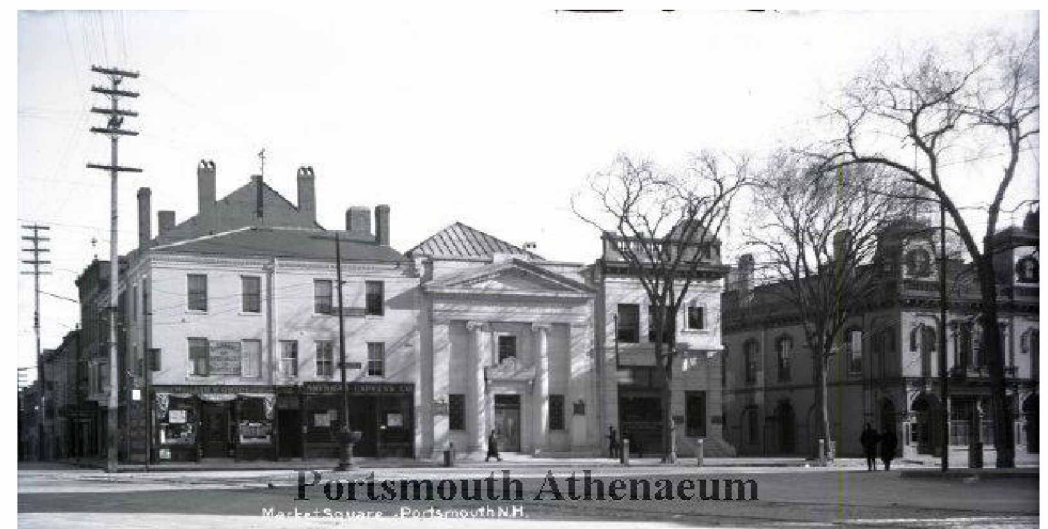
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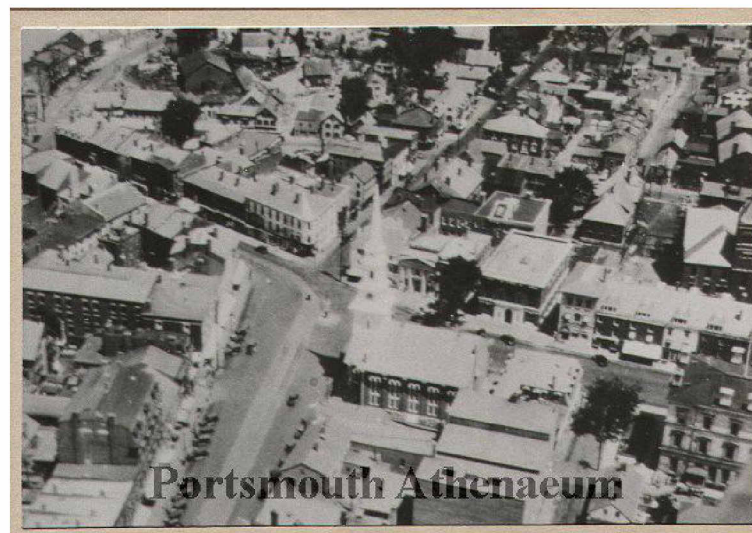
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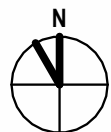
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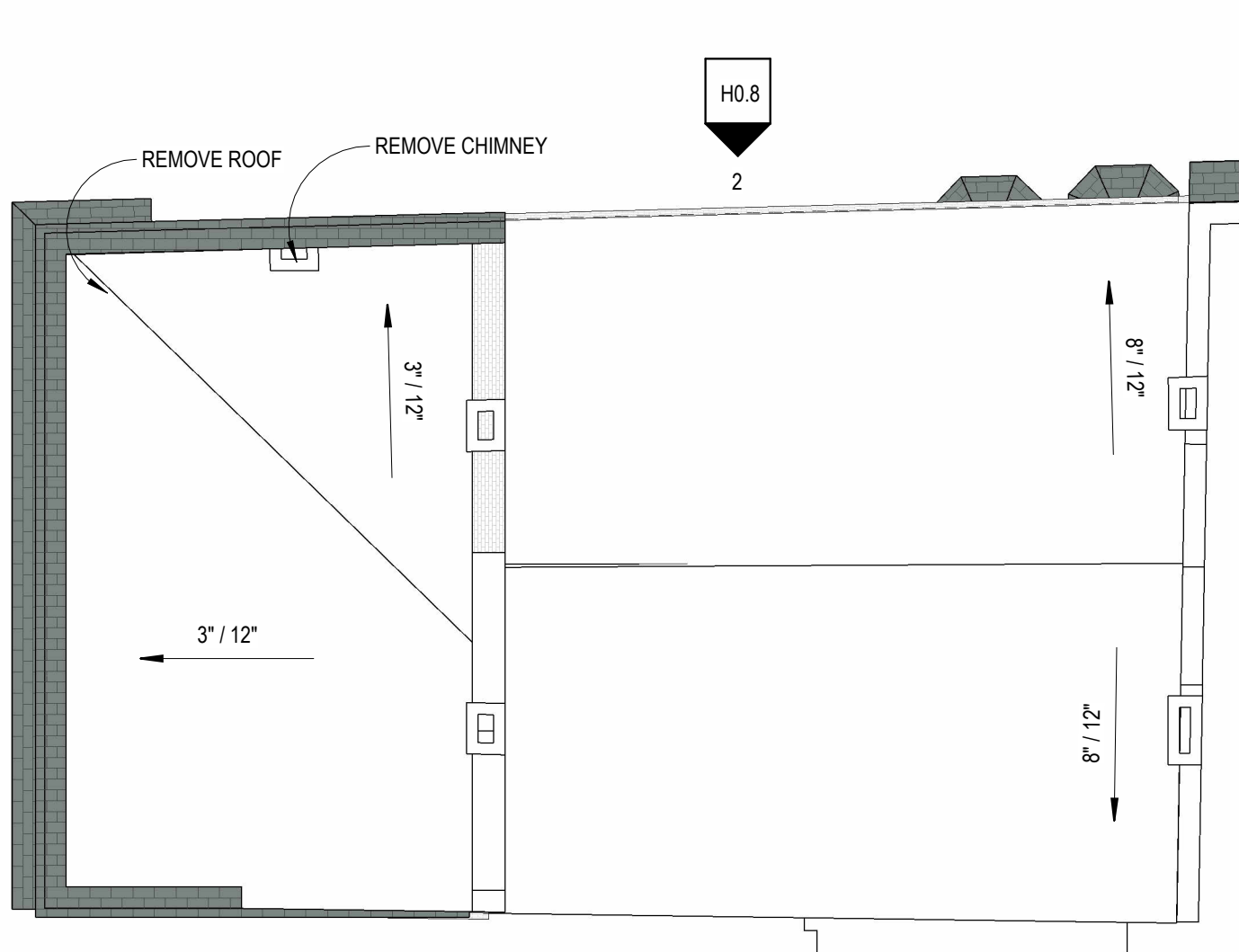


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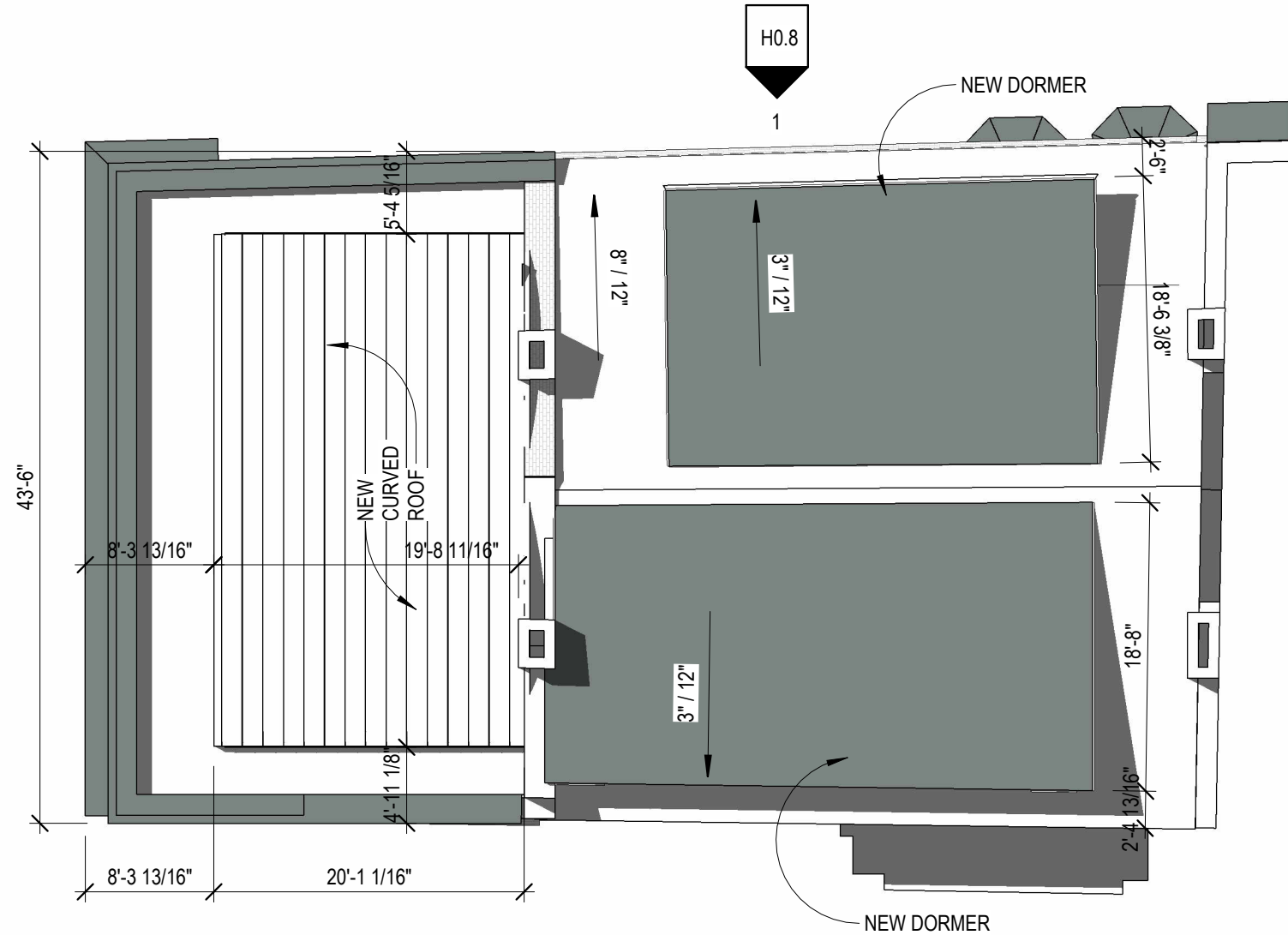


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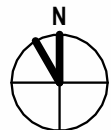


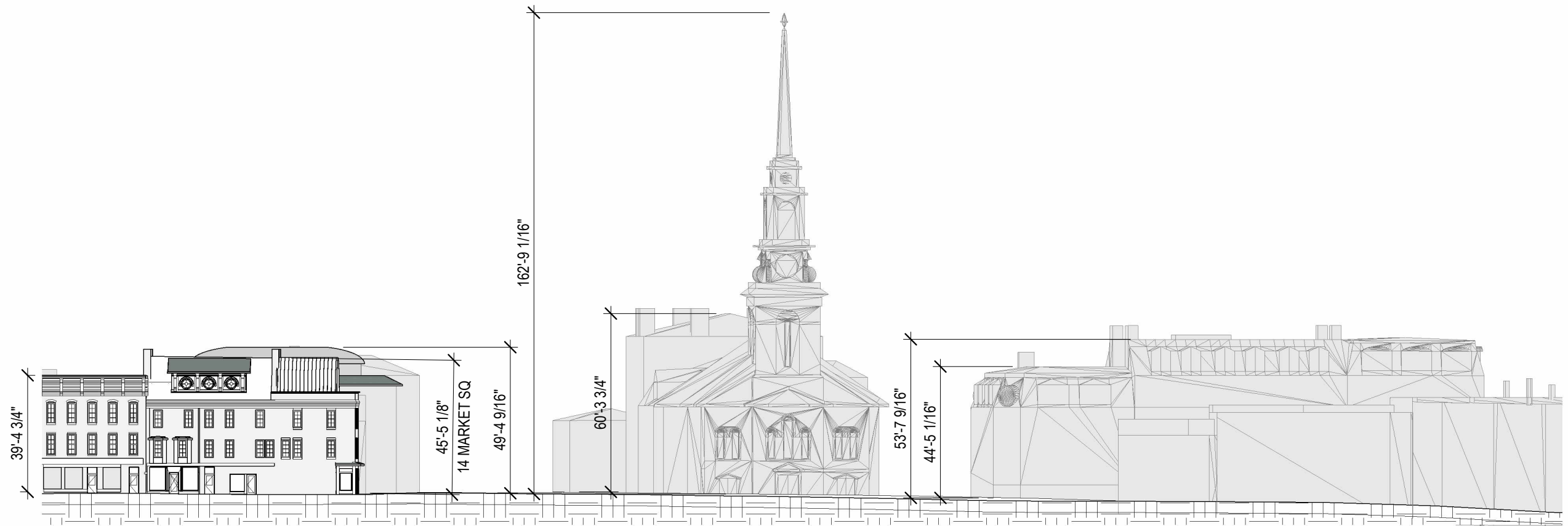


EXISTING

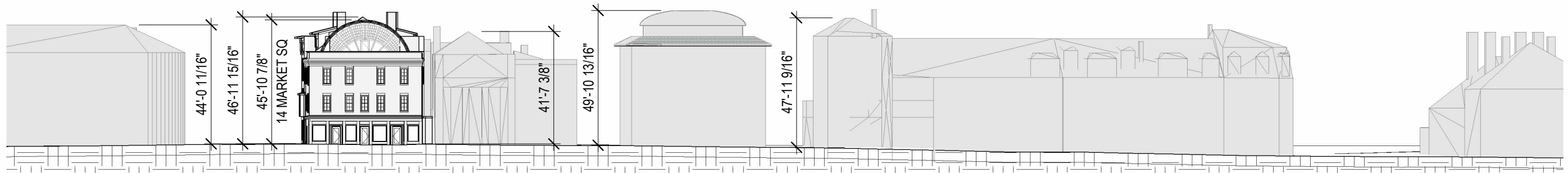


PROPOSED

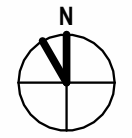


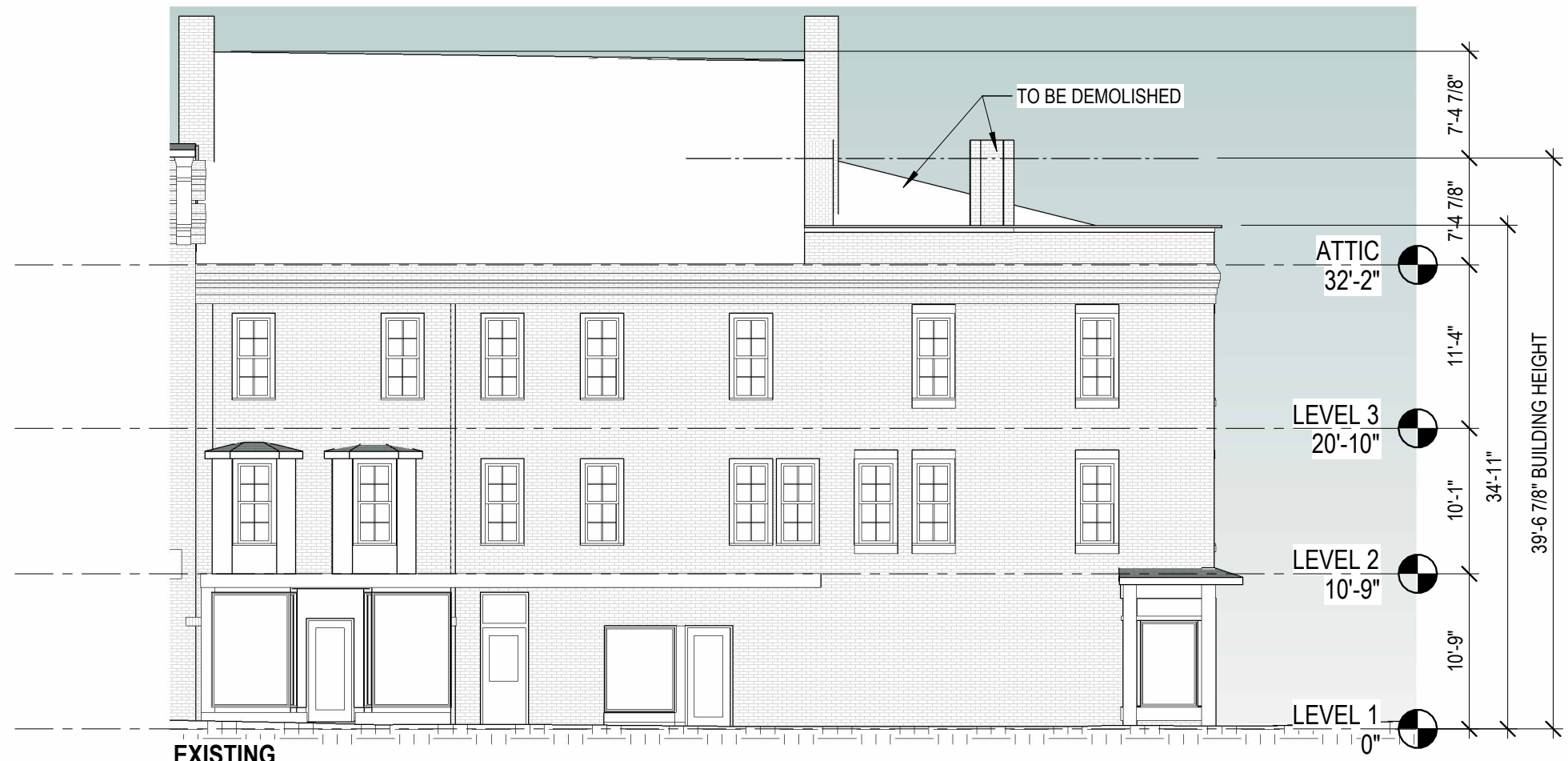


1 STREET SECTION - DANIEL STREET - CONGRESS STREET
1" = 40'-0"



2 STREET SECTION - MARKET STREET - PLEASANT STREET
1" = 40'-0"



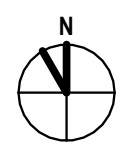


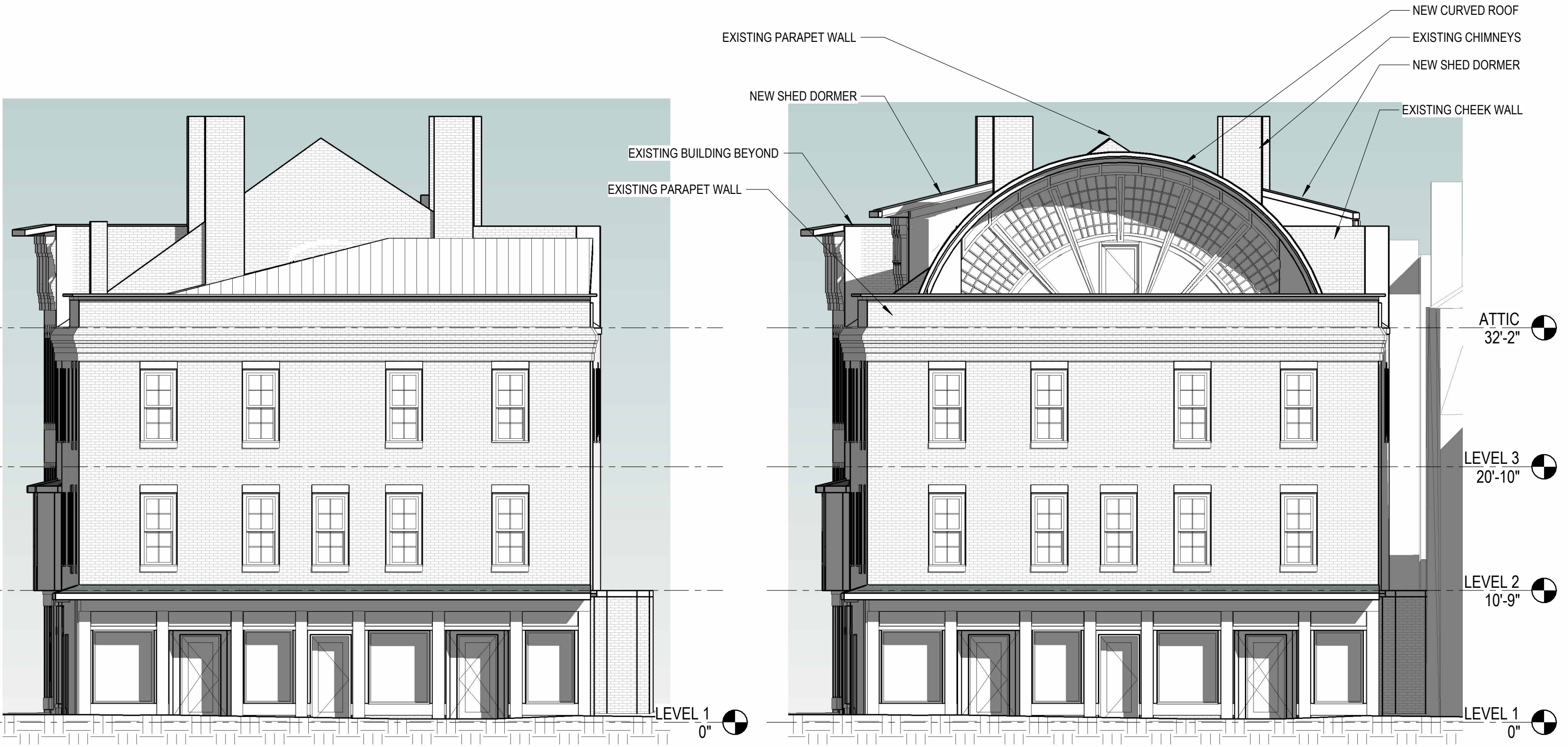
EXISTING



PROPOSED

WEST ELEVATION
14 MARKET SQUARE





EXISTING

PROPOSED



NORTH ELEVATION
14 MARKET SQUARE

H0.9

6/16/2023
PROJECT NO:1014



1 HDC 1 - MARKET ST LOOKING SOUTH



2 HDC 2 - PLEASANT ST LOOKING NORTH



3 HDC 3 - CONGRESS ST LOOKING EAST



4 HDC 4 - DANIEL ST LOOKING WEST





RENDERING
14 MARKET SQUARE