

NOTICE OF POSTPONEMENT

NOTICE IS HEREBY GIVEN that the Historic District Commission meeting scheduled for **Wednesday, July 5, 2023** is postponed at the request of the Chair to **Wednesday, July 12, 2023**. The meeting will begin at 6:30 and will be held in the Eileen Dondero Foley Council Chambers, Municipal Complex, 1 Junkins Avenue, Portsmouth, New Hampshire.

SITE WALK: 244 MARCY STREET JULY 12, 2023 AT 5:45PM

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

July 12, 2023

AGENDA (revised on July 3, 2023)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. June 07, 2023
2. June 14, 2023

II. ADMINISTRATIVE APPROVALS

1. 1 Walton Alley
2. 132-134 Middle Street
3. 303 Pleasant Street
4. 3 Walker Street
5. 111 Bridge Street, Unit 205
6. 111 Bridge Street
7. 92 Pleasant Street
8. 70 Court Street
9. 37 Whidden Street
10. 138 Maplewood Avenue
11. 145 Maplewood Avenue
12. 161 Deer Street
13. 179 Pleasant Street
14. 112 Mechanic Street
15. 401 State Street
16. 189 Gates Street

III. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE- Work Session** requested by **Christopher Daniel Freund, owner**, for property located at **37 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (add separate first and second floor additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 16 and lies within the General Residence A (GRA) and Historic Districts.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (modifications to windows, skylights, door, canopy and railing design, size and location) and add masonry parapet as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts.

2. Petition of **Charles J. Silva Jr. and Margaret M. Moran, owners**, for property located at **434 Marcy Street**, wherein permission is requested to allow new construction to an existing structure (create 2nd floor and attic addition over existing 1-story footprint with overhang, create a 1-story rear entry and bay addition with new landing and stairs, and remove and replace existing shed) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 41 and lies within the General Residence B (GRB) and Historic Districts.

3. Petition of **Northern Tier Real Estate Acq. & Dev., LLC, owner**, for property located at **172 Hanover Street**, wherein permission is requested to allow exterior renovations to an existing structure (remove existing doorway and replace it with new a window) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1A and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts.

4. Petition of **Coventry Realty, LLC, owner**, for property located at **111 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (at State Street façade replace existing left side door and window with a Nana window, reconstruct the right chimney at parapet wall and remove left chimney and replace with new dormer) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 50 and lies within the Character District 4 (CD4) and Historic Districts.

5. Petition of **202 Court Street Property Group, LLC, owner**, for property located at **202 Court Street**, wherein permission is requested to allow exterior renovations to an existing structure (install a Nana door where one currently does not exist) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 35 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **John Galt, owner**, for property located at **14 Market Square**, wherein permission is requested to allow new construction to an existing structure (add

curbed rooftop addition and dormers) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 29 and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts.

2. Work Session requested by **Allison Melanie Piper, owner**, for property located at **236 Union Street**, wherein permission is requested to allow new construction to an existing structure (add second floor addition over existing footprint) as per plans on file in the Planning Department. Said property is shown on Assessor Map 135 as Lot 22 and lies within the General Residence C (GRC) and Historic Districts.

VI. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_oyBv77C8R_y82-lMkf3Bsw

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

June 07, 2023

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Reagan Ruedig, Martin Ryan, David Adams, Dr. Dan Brown, Karen Bouffard

MEMBERS EXCUSED: Alternate Johanna Landis

ALSO PRESENT: Nicholas Cracknell, Principal Planner, Planning Department

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Chairman Wyckoff called the meeting to order at 6:35 p.m. City Council Representative Blalock had not arrived at the meeting at this time. Chairman Wyckoff asked for the May 3 and May 10 minutes to be approved.

April 05, 2023 Minutes

*The minutes were **approved** as amended by unanimous vote, 7-0. (Ms. Ruedig asked that it be noted that she was recused from the Portsmouth Housing Committee public hearing).*

May 03, 2023 Minutes

*The minutes were **approved** as presented by unanimous vote, 7-0.*

I. ADMINISTRATIVE APPROVALS

1. 333 New Castle Avenue (LUHD-610)

Ms. Ruedig recused herself. The item was addressed separately from the others. The request was to clad the rear of the house in HardiePlank in kind with the other sections of the building.

*Mr. Adams moved to **approve** the item, seconded by Vice-Chair Doering. The motion **passed** by unanimous vote, 6-0.*

2. 795 Middle Street (LUHD-613)

The request was to place a wood fence at the front of the yard. After further discussion, it was noted that the property was on a corner and that the fence would be on both fronts.

3. 49 Sheafe Street (LUHD-612)

The request was to put HardiePlank siding on one side of the building near the walkway between 49 and 43 Sheafe Street. Some issues were discussed, including the tight exposure and the reveal.

Stipulations:

1. The Hardie siding shall be installed with the smooth side out and with no running bonds.
2. The existing reveal shall be matched with no more than 4 inches of exposure.
3. The door shall be replaced in kind.

4. 394 Pleasant Street (LUHD-614)

The request was to place an aluminum gutter along the front façade and add a fence on the side of the property. The Commission had several questions, and the item was pulled for a separate vote for further discussion. The Commission said the fence was good but thought that the gutter should not be installed on any portions that had curved molding.

*Ms. Ruedig moved to **approve** the fence but not the gutter installation on any curved molding portions except on a flat fascia board. Vice-Chair Doering seconded. The motion **passed** by unanimous vote, 7-0.*

5. 18 Walden Street (LU-23-52)

The request was for an HVAC condenser. Mr. Cracknell said if the applicant was granted the variance, he proposed to put the condenser under the deck on the back of the house and paint the chase to match the siding or the trim. Mr. Cracknell said there were two options and that the applicant preferred Option 2, which was to put the condenser under the deck. He said the applicant would have to return for screening if he chose Option 1.

Stipulation: Option #2, placing the condenser under the deck, shall be used.

6. 177 State Street, Unit 1 (LUHD-616)

The request was approval for two lights on the bar holding a sign.

7. 135 Daniel Street, Unit A102 (LUHD-619)

There wasn't enough information in the packet presented to the Commission.

*The Commission decided to **continue** the item to the June 14 meeting.*

Note: A vote was taken at the end of the Administrative Approval Items.

8. 172 South Street (LUHD-620)

The request was to place a condenser under the stairs behind the lattice on the side of the house.

Stipulation: the condenser shall be screened by the same style lattice that exists on the stairs.

9. 11 Market Street, Unit 3 (LUHD-621)

The request was to place a condenser on the back of the building, with the conduit running up the brick in the alleyway.

Stipulation: The conduit shall be painted the color of the brick wall.

10. 28 New Castle Avenue (LUHD-622)

Mr. Cracknell said the petition was previously approved by the Commission but the applicant was seeking administrative approval for a few items. The applicant Suzanna Barber was present and said she wanted to bump out the stairs, use a fieldstone veneer for the basement skirting, and use a cedar shake on the top half of the house and a mahogany clapboard on the bottom half. She said the condensers were close to the gas line but a professional said they would not have to be relocated, and if there were problems, the vent liner could be moved.

Note: At this point, City Council Representative Blalock arrived at the meeting.

11. 50 Daniel Street (LUHD-617)

Mr. Cracknell said the item was previously before the Commission and the applicant responded to several stipulations. He said the applicant provided a cross-section of how the door would work and that he would also replace the standing seam, reinstall the lights, replace the trim, and cover up the brick with PVC paneling.

12. 60 Penhallow Street (LUHD-623)

The request was for sign lighting.

13. 111 State Street (LUHD-624)

The request was for sign lighting.

*Ms. Ruedig moved to **continue** Item 7, 135 Daniel Street, Unit A102, to the June 14 meeting. Councilor Blalock seconded. The motion **passed** by unanimous vote, 7-0.*

*Ms. Ruedig moved to **approve** Items 2, 3, 5, 6, 8, 9, 10, 11, 12 and 13 with their respective stipulations, seconded by Vice-Chair Doering. The motion **passed** by unanimous vote, 7-0.*

II. CERTIFICATE OF APPROVAL- EXTENSIONS

1. One year extension of the Certificate of Approval originally granted on May 04, 2022 requested by, **2082 IL 50 VZ, LLC, owner**, for property located at **404 Islington Street**, wherein permission was requested to allow exterior renovations to an existing structure (removal and infill of (1) door, installation of mechanical equipment and installation of an ADA compliant

ramp) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 33 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-74)

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the one-year extension, seconded by City Council Representative Blalock. The motion **passed** by unanimous vote, 7-0.*

III. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE- Work** Session requested by **Christopher Daniel Freund, owner**, for property located at **37 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (add separate first and second floor additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 16 and lies within the General Residence A (GRA) and Historic Districts. (LUHD-563)

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **postpone** the petition to the July 5 meeting, seconded by Vice-Chair Doering. The motion **passed** by unanimous vote, 7-0.*

IV. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (add masonry parapet) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-78)

SPEAKING TO THE PETITION

Shayne Forsley of Hampshire Development Corporation was present on behalf of the applicant, with the architect Howard Spivak and Steve Wilson. Mr. Forsley stated that they were before the Commission just for the installation of the masonry parapet and that they would return for a work session to present additional changes that would include window reconfigurations and elevations. Mr. Cracknell noted that the work session or a public hearing/work session would be advertised and the legal ad would be clear about all the other changes. Mr. Forsley reviewed the petition and said the parapet would extend from 129 State Street's existing wall up to the roof.

Ms. Ruedig asked how the wall next to the existing chimneys would be finished. Mr. Forsley said the chimneys on the Sheafe Street and State Street sides were integrated and the parapet would butt into each one. Mr. Ryan asked how the masonry cap would be constructed and held down. Mr. Spivak explained that it would come down more than what was shown on the plan and that they would revise the detail and submit it at the work session. He said a copper cap

would be more in keeping than a stone one. Chairman Wyckoff asked why the roof flashing was shown only on one side. Mr. Spivak said that would also be presented at the work session.

The Commission discussed whether the parapet should be approved without answers to questions like flashing and the masonry cap. Mr. Cracknell said there should be general agreement on the parapet that evening because it was a big change. He asked what kind of brick would be used. Mr. Forsley said they would match the existing brick after cleaning the existing masonry.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Mark Bodie of 121 State Street said he wasn't happy with the process because it had gone back and forth. He said there wasn't one faux parapet in the city and that the applicant had assured him that he would change the parapet so that it would only be on his property. He said the owner had two years to communicate with the condo association and the other neighbors about the deck and utilities plans but waited until the end. He said the plan was being simultaneously submitted while the back of the previous addition was being ripped down. He said the neighbors had the right to speak to those issues. Chairman Wyckoff said the presentation that evening was just about the parapet. It was further discussed. [Video timestamp 51:46]

Marie Bodie of 121 State Street said the building was demolished the day before and left a massive hole, with no fencing around it. She said they were wrangled at the last minute to sign an agreement that they would agree with the parapet but that there had been misrepresentations and the applicant was working on new plans. She said she was appalled that the applicant came to a public hearing that evening when it wasn't advertised.

No one else spoke, and Chairman Wyckoff closed the public hearing.

DISCUSSION AND DECISION OF THE COMMISSION

Chairman Wyckoff read the public notice and said it only concerned the parapet. He said any other details that might have been put into the packet were not advertised and were immediately removed and would be discussed at the July work session. Mr. Ryan said he saw no reason to decide on anything that evening, given that the parapet still had unresolved issues, and he suggested that it be postponed. Other Commissioners agreed. Mr. Cracknell said it made sense to defer the parapet but the applicant had to decide whether he would return for a work session or a public hearing that would include the parapet. He said it was meaningless to have two public hearings when the parapet was integral to the bigger picture and he suggested continuing the petition for the parapet approval.

*Mr. Ryan moved to **continue** the discussion of the brick parapet to the July 7 meeting, seconded by Vice-Chair Doering. The motion **passed** by unanimous vote, 7-0.*

V. PUBLIC HEARINGS (NEW BUSINESS)

Ms. Ruedig recused herself from Petitions 1 and 2.

1. Petition of **Portsmouth Housing Authority, owner**, for property located at **444 Pleasant Street**, wherein permission is requested to allow exterior renovations to existing structures (replace windows on both structures) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 54 and lies within the General Residence B (GRB) and Historic Districts. (LU-23-64)

SPEAKING TO THE PETITION

The applicant wasn't present.

DECISION OF THE COMMISSION

*Mr. Adams moved to **postpone** the petition to the end of the agenda, seconded by Mr. Ryan. The motion **passed** by unanimous vote, 7-0.*

Note: The petition was later voted on because the applicant did not arrive.

*Vice-Chair Doering moved to **continue** the petition to the July 7 meeting, seconded by Councilor Blalock. The motion **passed** by unanimous vote, 7-0.*

2. Petition of **Torrington Brown, LLC & Single Venture, LLC, owners**, for property located at **132-134 Middle Street**, wherein permission is requested to allow exterior renovations to an existing structure (repair rotted trim, repair roof, repoint bricks, replace gutters, etc.) as per plans on file in the Planning Department. Said property is shown on Assessor Map 127 as Lot 12 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts. (LU-23-70)

SPEAKING TO THE PETITION

Project architect Tracy Kozak was present on behalf of the applicant. She said it was a major deferred maintenance project that would replace and repair in kind. She said they would replace the roofing material and rebuild the front steps. She noted that wrought-iron railings were added to match what was originally there. She said the biggest issue was the steps and that they proposed to keep the side walls of the stoop but replace the tread and risers with a colored concrete to match the brownstone, a sample of which she showed the Commission.

Vice-Chair Doering said the Commission was previously concerned about the slate at the top. Ms. Kozak said the right side of the building had the original slate and wood boxes and wood hip coverings, and they proposed to repair and rebuild where they were missing. She said the ones on the back would have copper flashing. She said they would restore the existing wood trim on the front and replace it on the left side of the building where it was removed. She said they proposed Echo Star synthetic rounded slate and had two color options, one with red and gray stripes (Option 1) and one with all gray but that the applicant preferred Option 1. She showed samples to the Commission. Ms. Bouffard asked if the side walls on the front steps were concrete. Ms. Kozak said they were brownstone and in good shape and would not be changed.

The synthetic material was further discussed. Ms. Kozak said if they went with the square corners, it was available two inches narrower. She said the existing ones were 8-to inches wide. Chairman Wyckoff asked that Ms. Kozak return with more information on the slates. Mr. Ryan asked about the wrought iron. Ms. Kozak said it was custom wrought iron and that they would replicate the post detail, and she discussed the details. Vice-Chair Doering asked what would happen to the old aluminum rail on the modern cement side entrance. Ms. Kozak said it would be cleaned and painted if necessary. She noted that the gutters were being placed and she showed samples of them to the Commission. Vice-Chair Doering asked if they would follow the existing patterns. Ms. Kozak said some were missing and would be put back. Vice-Chair Doering said the two doorways were prominent and the way the gutters framed them was not symmetrical. She asked that they bend the same way or that the lines be a little cleaner, and Ms. Kozak agreed. Chairman Wyckoff asked how the foundation brownstone would be repaired Ms. Kozak said they would use a patch. Mr. Cracknell said all the shingles at the top were much narrower and more aligned than the bottom and asked if it was a photo shop error. It was further discussed. Mr. Ryan suggested showing a graphic projection of every slate.

Chairman Wyckoff suggested removing the roof from the application and voting on the other items. The Commissioners said they liked the multicolor option for the roof.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the application, with the following stipulation:*

- 1. The shingle design and roof details shall return for approval.*

*Vice-Chair Doering seconded. The motion **passed** by unanimous vote, 7-0.*

Mr. Ryan said the project would fit within the context of the surrounding architecture and would be in keeping with the character of the Historic District. Vice-Chair Doering said it would relate to the historic and architectural value of the existing structure.

Ms. Ruedig resumed her voting seat.

- 3. Petition of **Shawn and Michiyo Bardong, owners**, for property located at **39 Dearborn Street**, wherein permission is requested to allow exterior construction to an existing structure (replace existing roofing structure, add a new side and entry additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 140 as Lot 3 and lies within the General Residence A (GRA) and Historic Districts. (LU-23-5)**

SPEAKING TO THE PETITION

Project architect Amy Dutton was present on behalf of the applicants and reviewed the petition. She said the mudroom would be replaced by a glass breezeway that would connect it to a low Colonial and there would be a small bump out for the mudroom in the existing kitchen. She said they wanted to remove the chimney on the right and replace it with a gas fireplace. She said the size of the well egress was changed. She said they received BOA approval for the chimney and the windows. She said the materials would match those on the Cape, which currently had vinyl siding but would be replaced with HardiePlank, and the Cape's sills would be replicated. She discussed the windows and trim.

Ms. Ruedig said the 6/1 windows in the connector piece were narrow and could be 2/1 or 2/2 to break it up a bit. Ms. Dutton agreed that 2/1 windows would look better. Mr. Adams said shingles were placed under the threshold of the double doors and thought they should be replaced with Azek. Ms. Dutton agreed. Vice-Chair Doering said the windows seemed the same as shown at the previous work sessions. Ms. Dutton said she changed the windows so that they were about two inches smaller but didn't update them. Vice-Chair Doering said the Commission would need the new window schedule to sign off on. Mr. Ryan said the constructability of the flat spot in the existing house near the double door entrance should be improved but thought otherwise that it was a good project and was glad that the problematic chimney was removed.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*City Council Representative Blalock moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulation**:*

- 1. The final windows shall be submitted for administrative approval.*

Vice-Chair Doering seconded the motion.

Councilor Blalock said the project would conserve and enhance property values and would be compatible with the design of surrounding property values.

*The motion **passed** by unanimous vote, 7-0.*

Note: at this point in the meeting, the Commission addressed Public Hearings – New Business Petition 1 for the Portsmouth Housing Authority at 444 Pleasant Street because the applicant still had not arrived.

*Vice-Chair Doering moved to **continue** the petition to the July 7 meeting, seconded by Councilor Blalock. The motion **passed** by unanimous vote, 7-0.*

VI. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **JJCM Realty, LLC & Topnotch Properties, LLC**, owners, for property located at **232 South Street, wherein permission is requested to allow the new construction of a detached one car garage** as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 2 and lies within the Single Residence B (SRB) and Historic Districts. (LUHD-615)

WORK SESSION

The applicant Gary Beaulieu was present and said he was half owner of the property. He reviewed the petition and said he wanted to add a one-car detached garage measuring 12'x20' and set back 25 feet from the road. He said it would mimic some of the details of the main house and would have an electric rollup solid wood door.

Chairman Wyckoff asked about the materials. Mr. Beaulieu said it be all pine with similar asphalt roof shingles, with no windows on the side and a door on the right-hand side leading to the back porch of the first-floor unit. Mr. Adams said it fit well even though it was a little tight. Councilor Blalock said the garage was simple and mimicked the house. Chairman Wyckoff said he appreciated the trim around the garage door. Vice-Chair Doering said the scale and design of the garage were fine but was concerned about how tight it would be in that space. She said it wasn't the Commission's purview, however, and that there was a lot of space in the back that mitigated the garage in terms of lot coverage.

Public Comment

Khristina Logan and Michael Graf of 220 South Street and Laurie Kennedy of 244 South Street were present and joined the table. Ms. Logan asked if the applicant wanted to build the garage and then sell the property. Mr. Beaulieu said he just wanted to build the garage.

Mr. Graf said he and Ms. Logan were concerned with the proximity to the property line and wanted the building to be staked out and to see a detailed foundation to ensure that their arborvitae would survive the construction. Mr. Beaulieu said the arborvitae would be protected.

Ms. Kennedy said the garage's width would add more building to the structure. Chairman Wyckoff said the garage would be built on a slab and shouldn't affect the arborvitae. Other comments were about not having enough space to walk from the garage, the mass, the fact that there was still scaffolding and trash, and that nothing had been done in three months. Mr. Beaulieu said they couldn't start the project until a year and a half after he bought the property due to Covid and lack of contractors. Chairman Wyckoff said the applicant would have to build it exactly the way it was presented or he wouldn't get an occupancy permit. The driveway was discussed as to whether it should be cobblestone or concrete pavers. Mr. Cracknell said the lighting on the garage should be dark-sky compliant.

Mr. Beaulieu said he would like to return for a public hearing and would work with the neighbors in the meantime.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **close** the work session, seconded by City Council Representative Blalock. The motion **passed** by unanimous vote, 7-0.*

VII. ADJOURNMENT

The meeting was adjourned at 8:40 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

June 14, 2023

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Reagan Ruedig, Martin Ryan, David Adams, Dr. Dan Brown, and Karen Bouffard

MEMBERS EXCUSED: Alternate Johanna Landis

ALSO PRESENT: Nicholas Cracknell, Principal Planner, Planning Department

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Chairman Wyckoff announced that Mr. Cracknell was resigning to accept another position. The Commissioners, Mayor McEachern, former mayor Rick Becksted, former HDC Chairman Vince Lombardi, and other members of the public said why they thought Mr. Cracknell was such a valuable member of the City Staff and that they were sorry to see him go.

I. ADMINISTRATIVE APPROVALS

1. 135 Daniel Street, Unit A102

The request was for approval for a termination vent. There were questions about how far the vent would extend from the face of the building.. Cracknell said he would contact the applicant and if the vent didn't meet the standard, he would ask the applicant to return to the July meeting.

Stipulation: the vent location shall meet the standard or return for administrative approval at the July meeting.

2. 18 Walden Street

Mr. Cracknell said the applicant went before the Board of Adjustment and received approval for placing the condenser on the side of the building and screening it with a simple picket fence.

3. 46-64 Maplewood Avenue

Mr. Cracknell said the applicant submitted a screen for condensers situated in an alleyway.

4. 17 Pray Street

Mr. Cracknell said the application was previously approved for window replacement on the back addition of the old house. He said the applicant removed the aluminum siding but found

clapboards underneath and then removed those. He said the applicant wanted new clapboards as a replacement in kind.

*Mr. Ryan moved to **approve** the four administrative items, with the stipulation noted on Item 1. City Council Representative Blalock seconded. The motion **passed** by unanimous vote, 7-0.*

II. PUBLIC HEARINGS (OLD BUSINESS)

Ms. Ruedig recused herself from the following petition.

A. Petition of **Portsmouth Housing Authority, owner**, for property located at **444 Pleasant Street**, wherein permission is requested to allow exterior renovations to existing structures (replace windows on both structures) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 54 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

The applicant was not present. Mr. Cracknell said the Commission previously approved the doors and thought all the windows were being replaced with those shown on the cut sheet. Vice-Chair Doering said the window style seemed similar but she didn't know the material. Chairman Wyckoff said the windows looked like they were vinyl. Mr. Cracknell said the building was new and asked if it mattered whether the windows were vinyl or aluminum. Mr. Ryan said he didn't think so, and Vice-Chair Doering said it seemed like a replacement in kind.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the application as presented, seconded by Dr. Brown.*

Mr. Ryan said the project would conserve and enhance property values and would be compatible in design with surrounding properties.

*The motion **passed** by unanimous vote, 7-0, with Ms. Ruedig abstaining.*

III. WORK SESSIONS (NEW BUSINESS)

Ms. Ruedig resumed her voting seat. Mr. Adams recused himself from the work session.

1. Work Session requested by **Novocure, Inc., owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow the construction of a rooftop pavilion on the existing structure as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within Character District 5 (CD5), Downtown Overlay and Historic Districts.

WORK SESSION

The applicant Dean Smith, Associate Director of North American Facilities for Novocure, was present. He said there were two options for adding a roof pavilion to the existing structure: Option A, a sloped roof, and Option B, a roof with a flat top to it. He said the footprint would be the same and that they preferred Option B, the one with a flat top, because of the symmetry. He said the flat top would match the roof appurtenances already approved, and the slope of that roof would match the slope from that. He said the flat top would not be glass but a roof structure so that the mechanicals could be placed in it and that it would also provide some shade. He said the slope of the fully pitched roof would make the side walls almost a foot shorter. Dr. Brown asked for more explanation, and it was further discussed. [Video timestamp 43:12]

Ms. Ruedig said she would need to see renderings of the roof from the street view to see how visible it would be from a regular public way. Councilor Blalock agreed and it was further discussed. Mr. Smith said he would provide the rendering. Ms. Ruedig said the applicant was adding a large mass to the top of the building that originally had a flat roof. Mr. Ryan said he thought it was more of a historic gesture for the building by placing a cap on it than a flat roof; he said it was a positive element. He said the glass with the flat top had a sunroom language. Mr. Smith said the blacktop of the roof would be an all green roof system and almost look like a park. Mr. Ryan said it was an opportunity to put a beautiful top on the building instead of a flat top like all the other buildings in the north end. Councilor Blalock said he preferred Option A. Ms. Bouffard said she was concerned about the mass on the roof and what percentage of the roof would be taken over. Mr. Smith said it would still be under 30 percent of the total roof.

Mr. Cracknell said the applicant went before the Board of Adjustment (BOA) with a more contemporary design and was denied the variance, so he would have to go before the BOA again. He said either option would be virtually invisible from any street around the property. He said the roof setback was 26-28 feet and thought it was a great skyline element. He said he and the applicant worked with the neighbors on the second cut and thought it was a great way to tie the two awkward appurtenances, which were the stairwell and the clubhouse. He said the deck would be big and would be used as a cafeteria and meeting space.

Vice-Chair Doering said it was a big roof and asked how much of the whole building it would take up. She said she liked the idea of spanning between the two appurtenances because they seemed awkward. She said she didn't prefer either option at this time because there wasn't enough detail and that it came down to issues of fenestration and materials rather than mass and shape. She said she saw enough positive things to move the application to another iteration, however. Chairman Wyckoff said the roof looked lower on Option A, and it was further discussed. He said he preferred Option A. He asked if it would be a classic greenhouse look or a contemporary one. Mr. Smith said he had shown the Commission some ideas but wanted more

guidance. Chairman Wyckoff said he'd like to see classic Victorian details normally, but due to the building's location and massing, he thought the aluminum and glass might merge best. Mr. Ryan suggested that the applicant work with a mechanical engineer to capture the solar gain and use it throughout the building. Dr. Brown said he liked Option 1 because it was nice to see a peak for a change. Mr. Smith said the mechanicals would start from the apartment side and the building would be sealed except for one side that would open to a deck and a green area and get natural cross breezes. It was further discussed.

Public Comment

Dave Adams of 210 Gates Street said he walked the site and noticed that the roof seemed disjointed from the building because it was dramatically set back from the edges of the building, so he didn't believe there would be confusion as to what the structure was or what happened to the building. He said he also toured the parking garage and thought the roof might be the most interesting thing seen from it the garage. He encouraged the Commission to promote it.

Barry Heckler said he was the president of the 25 Maplewood Avenue Provident Bank Building Condominium Association and that the association had been included in the conversations. He said they thought the Novocure North American Headquarters should be able to use the deck year around. He said it could be enclosed, which would cut down on noise and lighting. He said they were partial to the glass roof with the hip instead of the shed type.

Elizabeth Bratter of 159 McDonough Street said she was concerned that the proposed structure looked much larger than what was previously proposed and denied. She said she was also concerned about the fact that some windows would open, which would allow the noise to be tunneled. She said originally the space was proposed as an outdoor community space but now it was filled in and all the public was getting was the top structure.

No one else spoke, and Chairman Wyckoff close the public comment session.

DISCUSSION AND DECISION OF THE COMMISSION

Vice-Chair Doering summarized the Commission's comments. She said there was general support for the roof structure, but the mass was a concern and clarification on some of the measurements was necessary; there might be support for something more greenhouse than pavilion and there was support for both options. Ms. Ruedig thought more people were in favor of the flat roof instead of the hip. Dr. Brown said the Commission would also need to see views from the parking lot. Mr. Smith said he was comfortable with the Commission's feedback.

*Ms. Ruedig moved to **close** the work session, seconded by Councilor Blalock. The motion **passed** by unanimous vote, 7-0.*

IV. HISTORIC DISTRICT SURVEYED PROPERTIES

Vice-Chair Doering said several Commissioners walked downtown and looked at 11 mostly commercial buildings that had major renovations in the past 18-20 years. She said they talked

about materials, mass, cornices, and history. She said collating the data would take a while and that they would be looking at aggregate data and the results would be anonymous. She asked for feedback from the Commissioners.

Ms. Ruedig said that some of the most interesting and productive things the Commissions could do were to understand what had happened in the past and discuss it together. She said if they could do it again, they could plan ahead and ensure that everyone could be there. Mr. Adams said the more time the Commissioners spent together, the more carefully they could adjust their individual opinions and communicate more easily with one another. He said he thought it had been very useful. Councilor Blalock agreed. Mr. Ryan said the Commission was quasi-judicial and that kicking around ideas outside of meetings could be a bad thing. He said he had a problem with some of the questions and the way the Commission went about it and was a bit worried about what someone could do with the report. Chairman Wyckoff agreed. He said all the Commission was doing was looking at big contemporary structures and asking if they had a historical context. Vice-Chair Doering said none of the projects were active ones and the reason she wanted to collate the data and put in numbers was because it wasn't about the Commissioners individually scoring anything. She said criticizing a building as it ended up being built wasn't necessarily criticizing the decision to make it, but she thought the Commissioners could learn from the details of buildings. She said it was also a good exercise for those who were not trained architecturally. It was further discussed. [Video timestamp 1:21:05]

V. ADJOURNMENT

The meeting was adjourned at 8:00 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

July 05, 2023

1. 1 Walton Alley -Recommended Approval
2. 132-134 Middle Street -Recommended Approval
3. 303 Pleasant Street -Recommended Approval
4. 3 Walker Street -TBD
5. 111 Bridge Street, Unit 205 -Recommended Approval
6. 111 Bridge Street -Recommended Approval
7. 92 Pleasant Street -TBD
8. 70 Court Street -TBD
9. 37 Whidden Street -Recommended Approval
10. 138 Maplewood Avenue -TBD
11. 145 Maplewood Avenue -Recommended Approval
12. 161 Deer Street -Recommended Approval
13. 179 Pleasant Street -Recommended Approval
14. 112 Mechanic Street -Recommended Approval
15. 401 State Street -TBD

1. 1 Walton Alley

- Recommended Approval

Background: The applicant is seeking approval for the replacement of windows to match already replaced windows on the structure.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-636

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/16/2023

Primary Location

1 WALTON ALY
Portsmouth, NH 03801

Owner

WOODS JAMES WILLIAM &
MEINARDI ANNA ROELINE
1 WALTON ALY
PORTSMOUTH, NH 03801

Applicant

Mark Gianniny
 603-431-0274
mark@mchenryarchitecture.com
 4 Market St
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Additional window replacment with previoully approved windows.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

June 15, 2023

Nick Cracknell, Principal Planner
Portsmouth City Hall
1 Junkin Ave
Portsmouth, NH 03801

Re: 1 Walton Alley – HDC
Administrative approval

Mr. Cracknell and Board Members:

On behalf of James Woods & Anneke Meirardi, we request administrative approval for modification to the windows previously approved by this board. At prior public hearings, the board has approved restoration of the existing windows along the facades facing Gate Street and Walton Alley with windows on the other two facades replaced with Green Mountain, wood double-hung windows that match in size and configuration.

At the onset of construction, the existing window sashes were removed and reviewed by window restorer Rob Lusignan from Hemlock Historic Co. Upon examination his recommendation to Aaron Henderson, general contractor, were that the sashes are not restorable. Pictures of some of the sashes and deterioration are included in the attached sheets.

Due to the condition of the existing windows, we request replacement of all windows with the previously approved Green Mountain units. This will also provide a uniform appearance of all windows from the outside. Exterior storm windows will be deleted from the scope and remove visible obstructions. This change will also be in keeping with other properties in the neighborhood such as the Tobias Langdon house, a few doors away.

Sincerely,



Mark Gianniny, AIA
Principal

Cc: James Woods and Anneke Meinardi
Aaron Henderson

Exhibit A



Image 1



Image 2



Image 3



Image 4

Exhibit A



Image 1



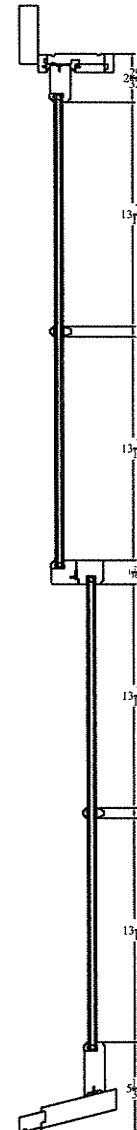
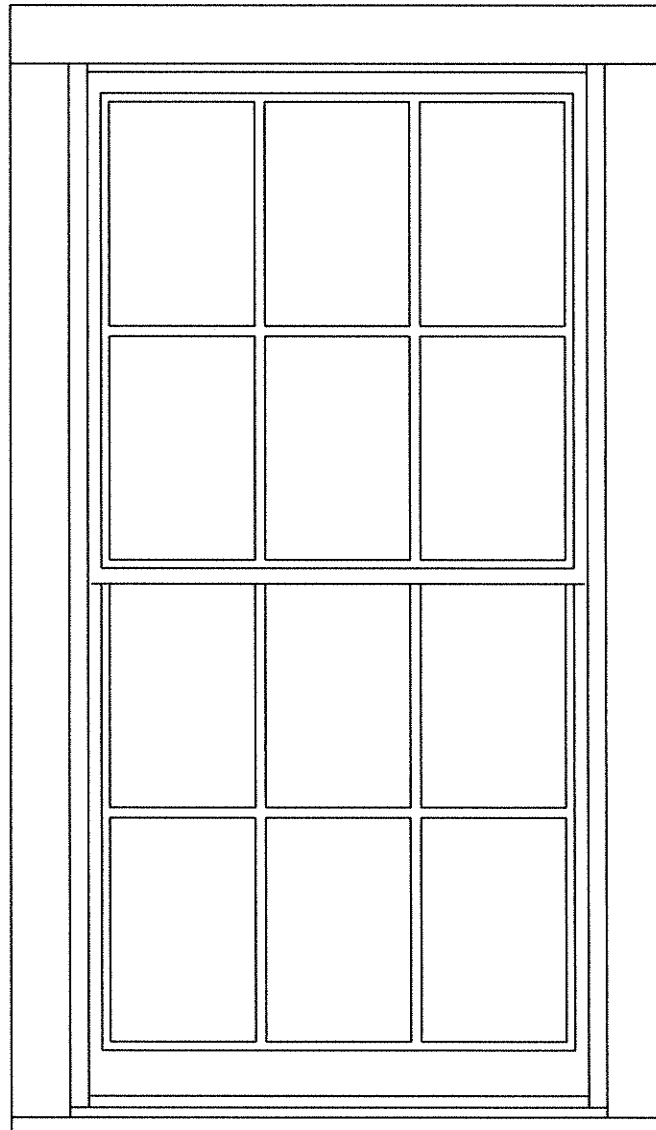
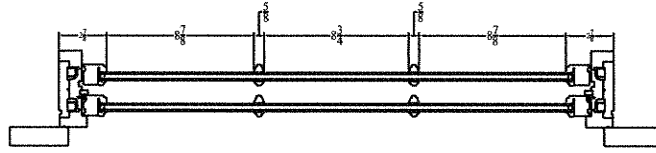
Image 2



Image 3



Image 4

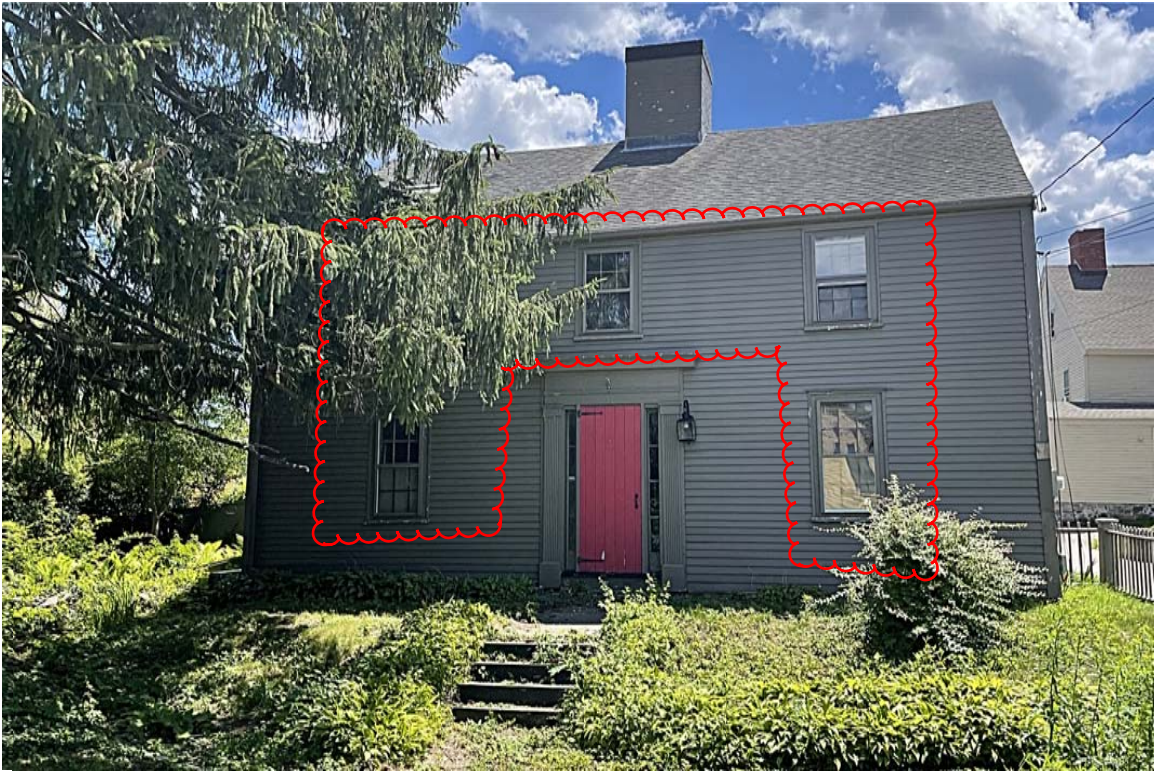


MDH 2828

Note: the example above only applies to a 28 x 28 with 7/8" muntins in a 6/6 pattern.
 For all other sizes and configurations: determine the overall daylight opening of each sash (without lites) with the formulas on 1.5. Then multiply the number of bars by the bar width and deduct that number from that overall daylight. Divide this number by the number of lites for daylight of each lite.

$$\frac{\text{Overall DLO} - (\text{sum of all bar widths})}{\text{Number of Lites}}$$

1.15



Walton Aly - Windows
HDC - Administration approval
July 5, 2023

2. 132-134 Middle Street

- Recommended Approval

Background: The applicant is seeking approval for the final roofing material and design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-635

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/16/2023

Primary Location

Owner
TORRINGTON BROWN LLC
(20.84 INT) & SINGLE
VENTURE LLC (52.05 INT)
60 K STREET SUITE 302
BOSTON, MA 02127

Applicant

Tracy Kozak
 603-731-5187
 tracyskozak@gmail.com
 3 Congress Street, Suite 1
Portsmouth, New
Hampshire 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

134 Middle Street

Project Information

Brief Description of Proposed Work*

Reroofing materials - supplemental information to prior approval, as previously stipulated

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

DRAWING INDEX	
Sheet Number	Sheet Name
H0.1	Cover Page
H1.1	ROOF PLAN
H2.1	EXISTING CONDITIONS PHOTOS
H2.4	EXISTING CONDITIONS PHOTOS
H3.1	SOUTHWEST ELEVATION
H3.2	NORTHEAST ELEVATION
H3.3	SOUTHEAST ELEVATION
H3.4	NORTHWEST ELEVATION
MATERIAL DATA SHEETS	

PROJECT NARRATIVE

Supplemental Reroofing Materials and Drawings,
as requested at June HDC Public Hearing as part of exterior rehabilitation.

Previous application included:
Renovation and restoration of multifamily buildings at middle street, (building 132-134). The buildings will be rehabilitated and restored in compliance with building and life safety codes.

The scope of work will include repointing the existing bricks, replacing deteriorated roofing, replacing the front entrance (steps and railing), repairing entrance doors, repair of windows and storms, replacement of downspouts and gutters. The work will include repairing the existing wood soffits and restoring brownstone masonry. The scope will also include cleaning existing masonry.



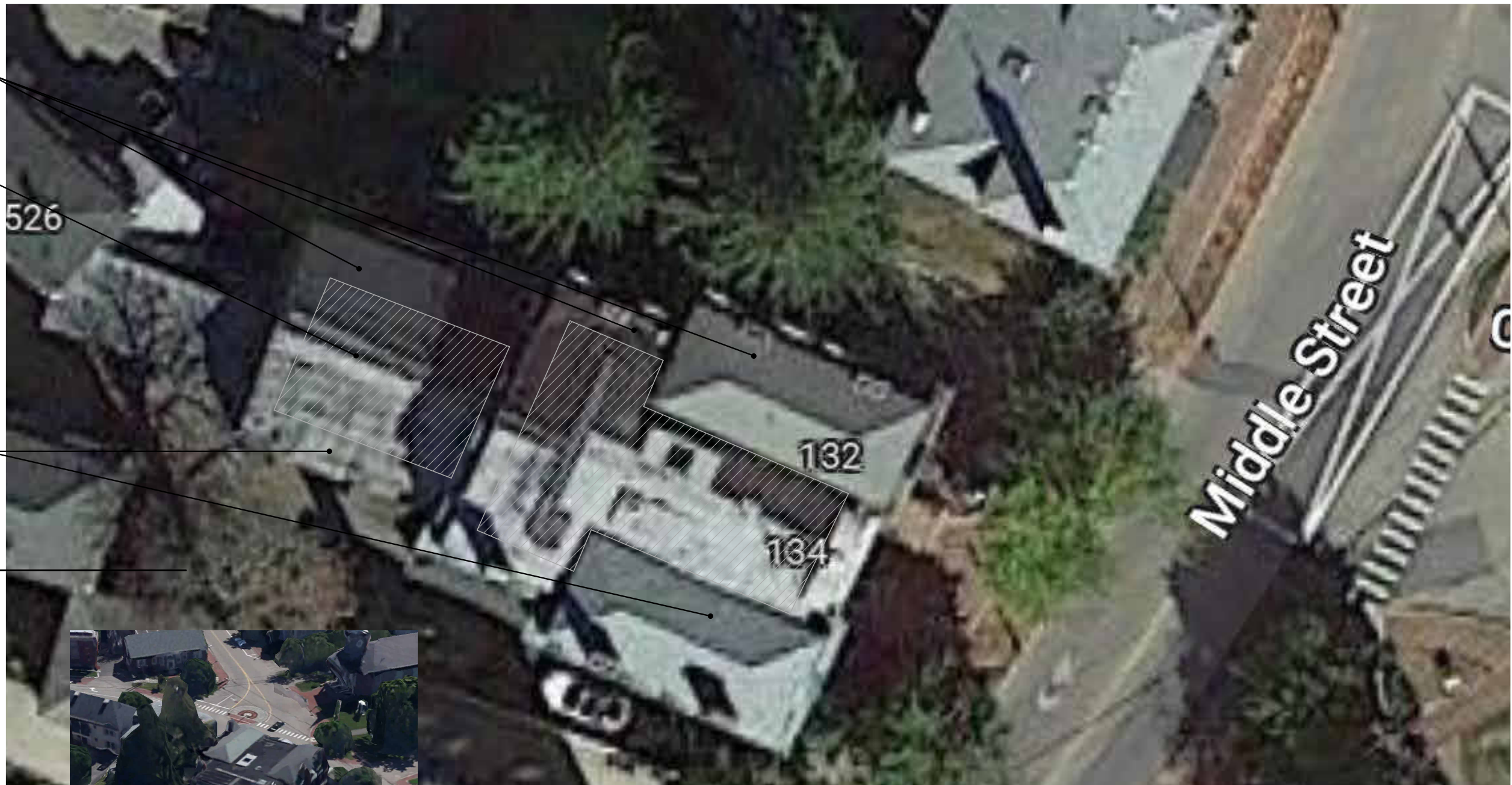
LOCATION OF WORK



132-134 MIDDLE STREET

RENOVATION + RESTORATION

HISTORIC DISTRICT COMMISSION
PUBLIC HEARING - CONTINUATION



28

9

8

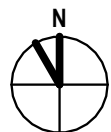
1 ROOF
1/16" = 1'-0"



2 3D Back View
1 1/2" = 1'-0"

RECOMMENDATIONS	
NOTES	

8	Replace existing asphalt shingles with new synthetic slate shingles to match existing slate shingles.
9	Replace existing EPDM roofing on the deck with new EPDM roofing with new copper edge metal/drip edge, etc.
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.



ROOF PLAN

132-134 MIDDLE ST HOUSING

H1.1

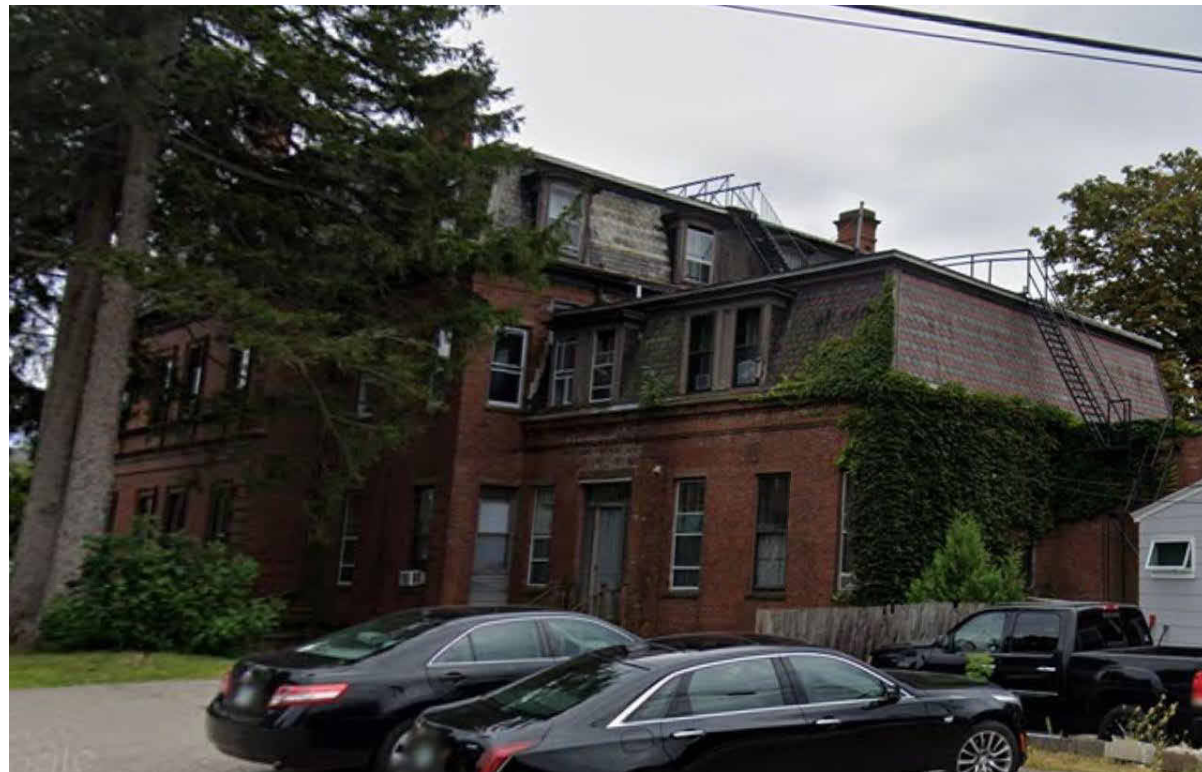
06/16/23
PROJECT NO:1020



FRONT, NORTH
& REAR SIDES



FRONT &
SOUTH SIDES



RECOMMENDATIONS	
NOTES	
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.



EXISTING SHINGLE_RED



EXISTING SHINGLE_BLACK

Ecostar Majestic, Custom shape and size to resemble the existing roof. The attached pictures for reference only.

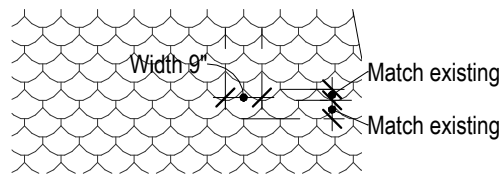


PROPOSED RED SLATE



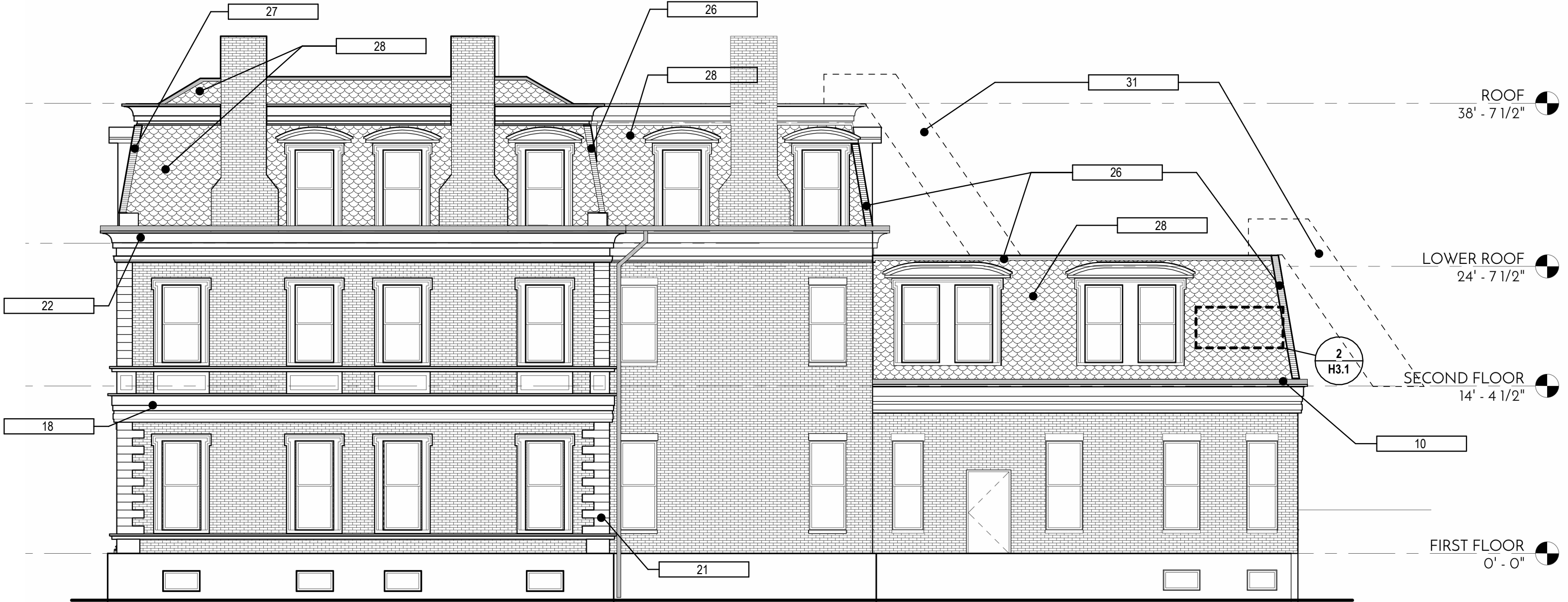
PROPOSED GRAY SLATE





General Note:
All fire escapes to be removed reference attached images

2 ENLARGE ROOF SLATE
1/4" = 1'-0"



1 SOUTHWEST ELEVATION Presentation
1/8" = 1'-0"



RECOMMENDATIONS	
	NOTES
10	Replace gutters and downspouts with new copper gutters and downspouts.
18	Repair brownstone, trims, and paints on the exterior.
21	Clean mold, moss and lichen.
22	Repair and repaint the existing soffit..
26	Copper hip flashing.
27	Repair or replace wood hip trim and plinth detail.
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.
31	Remove existing metal guardrails, stairs and fire escape from the upper roof to the lower roof and down to grade.

SOUTHWEST ELEVATION
132-134 MIDDLE ST HOUSING

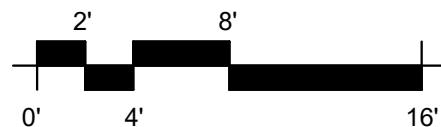
General Note:
All fire escapes to be removed reference attached images



RECOMMENDATIONS	
NOTES	

3	Repair rotting existing windows and storms.
8	Replace existing asphalt shingles with new synthetic slate shingles to match existing slate shingles.
10	Replace gutters and downspouts with new copper gutters and downspouts.
18	Repair brownstone, trims, and paints on the exterior.
22	Repair and repaint the existing soffit.
24	Repoint the infilled bricks with a mortar color matching the existing to blend with the existing bricks.
26	Copper hip flashing.
27	Repair or replace wood hip trim and plinth detail.
31	Remove existing metal guardrails, stairs and fire escape from the upper roof to the lower roof and down to grade.

1 **NORTHEAST ELEVATION Presentation**
1/8" = 1'-0"



NORTHEAST ELEVATION
132-134 MIDDLE ST HOUSING

H3.2

06/16/23
PROJECT NO:1020

General Note:
All fire escapes to be removed reference attached images



1 **SOUTHEAST ELEVATION Presentation**
1/8" = 1'-0"



SOUTHEAST ELEVATION
132-134 MIDDLE ST HOUSING

RECOMMENDATIONS	
	NOTES

3	Repair rotting existing windows and storms.
8	Replace existing asphalt shingles with new synthetic slate shingles to match existing slate shingles.
10	Replace gutters and downspouts with new copper gutters and downspouts.
18	Repair brownstone, trims, and paints on the exterior.
22	Repair and repaint the existing soffit.
26	Copper hip flashing.
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.
31	Remove existing metal guardrails, stairs and fire escape from the upper roof to the lower roof and down to grade.

General Note:
All fire escapes to be removed reference attached images



1 **NORTHWEST ELEVATION Presentation**
1/8" = 1'-0"



NORTHWEST ELEVATION
132-134 MIDDLE ST HOUSING

RECOMMENDATIONS	
	NOTES

3	Repair rotting existing windows and storms.
4	Clean, patch, and paint the front entry door front/back.
5	Replace front treads and risers with colored concrete to match existing brownstone. Existing brownstone to be repaired.
8	Replace existing asphalt shingles with new synthetic slate shingles to match existing slate shingles.
10	Replace gutters and downspouts with new copper gutters and downspouts.
11	Replace and install missing railings at front stoop with new wrought iron railings to match existing historic fencing.
18	Repair brownstone, trims, and paints on the exterior.
22	Repair and repaint the existing soffit.
27	Repair or replace wood hip trim and plinth detail.
28	Replace existing slate shingles with new synthetic slate shingles to match existing slate shingles.

H3.4



Sustainable Roofing



Designer Series Slate

Beaver Tail | Beveled Edge | Chisel Point



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

Designer Series Slate



Many unique shapes and designs have been seen in slate roofing throughout history. Designer Series Slate tiles allow building owners the opportunity to continue that expression of individuality. EcoStar LLC, the leading manufacturer of premium synthetic steep-slope roofing products, offers three classic shapes as part of the Designer Series Slate collection. Made with the same formulas and offering the same benefits as Majestic Slate and Empire Slate, Designer Series Slate offers unlimited creative possibilities.

Custom shape and size to resemble the existing roof



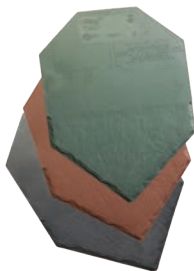
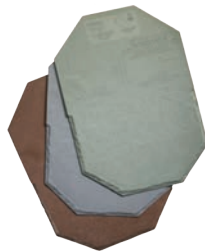
Beaver Tail

The rounded look makes this classic slate tile perfect for designing unique roof patterns or creating a true carriage house appeal.

Colors: Federal Gray & Stone Red

Beveled Edge

The look of scalloped edges in a hexagonal pattern makes beveled edge tiles a classic. This rare style can be intermixed with traditional slate tiles or used separately for historical applications.



Chisel Point

Chisel Point tiles form a beautiful diamond pattern on the roof, reminiscent of European roof designs.

Available Colors:

Majestic Slate: 11 standard colors

Empire Slate: 14 standard colors and unlimited custom colors

Note: Sample pieces, photographs or color samples may not accurately represent the true color level or variations of color blends that will appear on the roof. Before installation, ten tiles or so should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications are subject to change without notice. EcoStar is not liable for color variations or shading. Tiles must be randomly blended for best results. Limited warranties carry terms and conditions.

Advantages

- Weighs significantly less than natural slate
- Minimum 4" of headlap protection
- Easy application keeps installation costs down

Architectural Flexibility

- The various styles of Designer Series Slate can be blended together with Majestic Slate or Empire Slate traditional tiles to create unique designs
- Special shapes replicate those found in historical, carriage house and European architecture
- Available in a wide array of standard and custom colors
- Available in three different shapes: Beaver Tail, Beveled Edge and Chisel Point
- Natural appearance of real slate roofing

Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hail and wind-driven rain
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 110 mph Wind Warranty available



Environmental Sustainability

- Manufactured with up to 80% post-industrial recycled materials

Technical Information

- UL listed Class C/A fire resistance (UL 790)
- UL listed wind resistance to 110 mph (D3161)
- UL Class 4 impact resistance (UL 2218)
- Prolonged UV Exposure (ASTM G155)
- UL Evaluation Reports, AC07-ULER 18920-01 and 18920-02
- May contribute to LEED® points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



42 Edgewood Drive | Holland, NY 14080
800.211.7170 | www.ecostarllc.com

Innovative Design, Classic Slate Look

EcoStar Slate

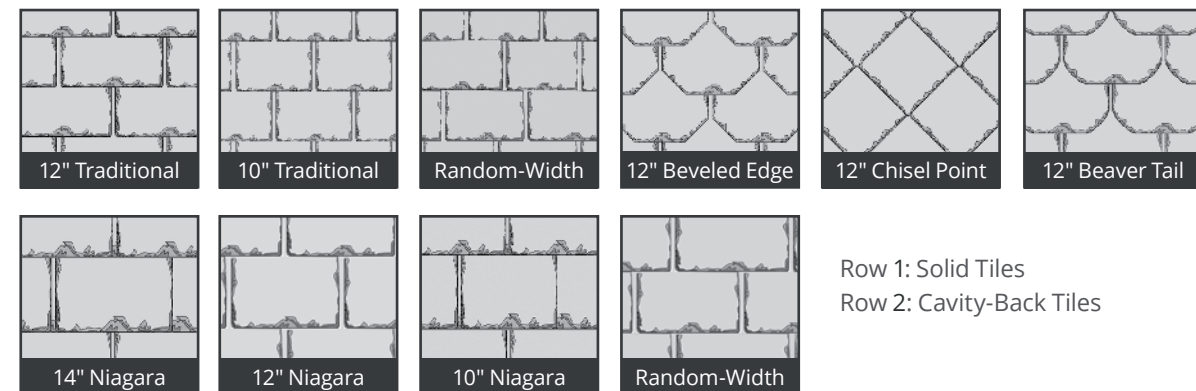
Post-industrial recycled compounds are utilized to create a lightweight and environmentally responsible alternative to natural slate. An EcoStar roof offers beautiful, yet proven protection for your most prized investment. It is an inspiration to homeowners looking for affordable style and uncompromised performance.

Significant advantages:

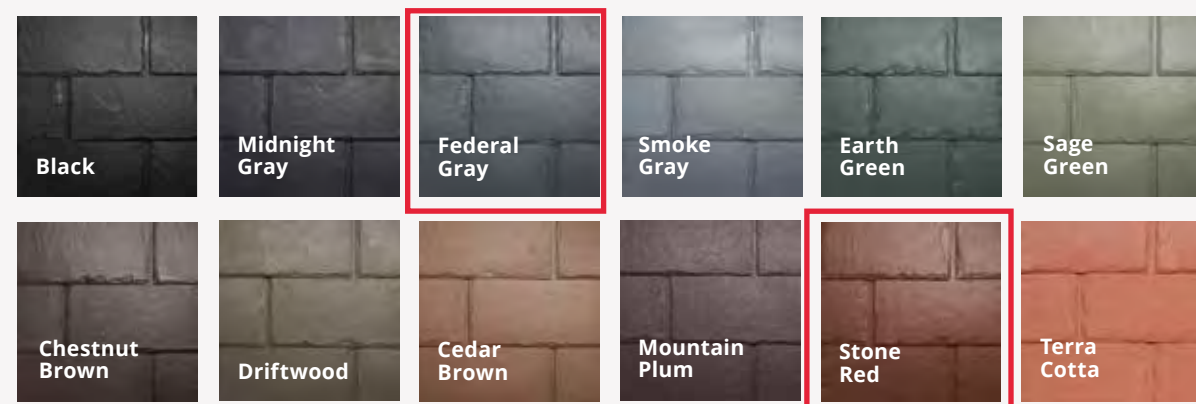
- Weighs significantly less than natural slate
- Protects against extreme weather conditions
- Reduces need for maintenance and repair
- Lessens environmental impact
- Exceeds industry performance standards
- 50-year warranty

Profiles

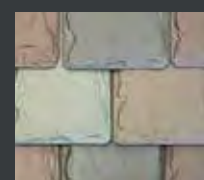
Custom shape and size to resemble the existing roof



Majestic Standard Colors



Color samples may not accurately represent the true color level or variations of color blends that will appear on the roof. Colors and specifications subject to change without notice. EcoStar is not liable for color variations or shading.



Looking for a more unique look? Achieve a custom look by combining multiple profiles and/or colors. See page 20 to learn more.

All EcoStar products are factory pre-blended for both color and width.

The right tile for any property

Whether you are looking to elevate the look of a residential property, meet the performance needs of a commercial property, or preserve the look of a historical property, EcoStar offers the right tile.

Majestic Slate

EcoStar's original eco-friendly tile, made of 80% recycled materials, meeting the needs of most residential applications.

Empire Slate

The same classic slate look as Majestic Slate with additional energy-saving benefits, and design features that meet the needs of commercial and historical properties.

Niagara Slate

Niagara Slate is available in the Majestic and Empire formulas and offers an increased tile size and thickness for enhanced shadow lines and increased aesthetic appeal.

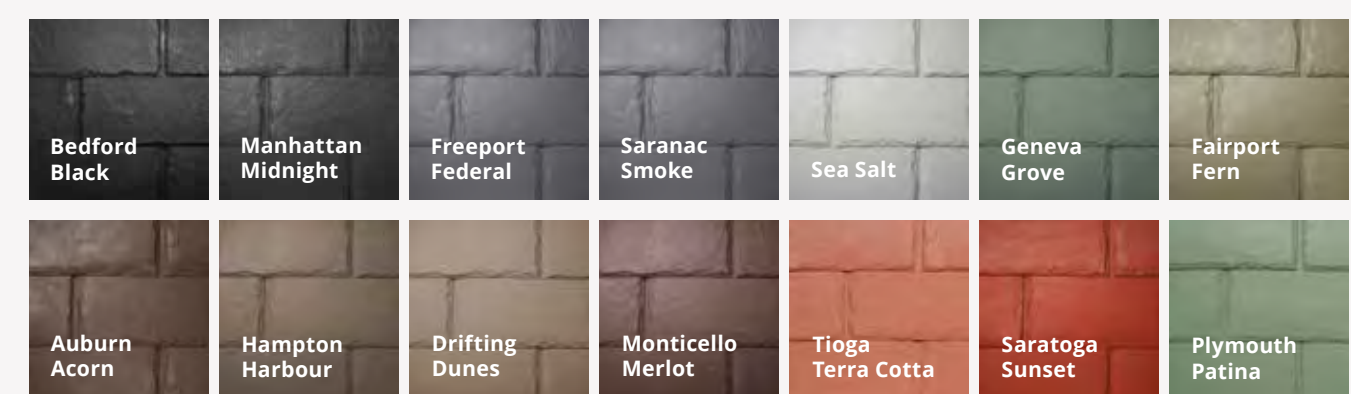
Our slates replicate real slate in so many ways - the beauty and durability, the slight sheen after installation, and the gentle patina of the surface over time.

Tile Features	Majestic Slate		Empire Slate	
	Traditional	Niagara	Traditional	Niagara
Recycled Material	80%	80%	25%	25%
Tile Widths	12", 10", 9", 6"	14", 12", 10"	12", 10", 9", 6"	14", 12", 10"
Profile	Solid	Cavity-back	Solid	Cavity-back
Tile Thickness	1/4"	5/8"	1/4"	5/8"
Reveal	7", 6"	10", 9"	8", 7", 6"	10", 9"
Weight per Square (at maximum reveal)	275 lbs. (12" tile)	250 lbs. (14" tile)	308 lbs. (12" tile)	290 lbs. (14" tile)
Fire Rating	Class C	Class C	Class C/A	Class C/A
Impact Rating	Class 4	Class 4	Class 4	Class 4
Miami-Dade	No	No	Yes	Yes
Standard Colors	12	12	14	14
Cool Roof Colors	No	No	11	11
Custom/Marbled Colors	No	No	Yes	Yes
Designer Tiles	Yes	No	Yes	No

Cool Colors

Enjoy additional energy savings from our line of Cool Colors, available in all Empire colors. (excludes Bedford Black, Tioga Terra Cotta and Plymouth Patina)

Empire Standard & Cool Colors



"EcoStar synthetic slate was just what we were looking for. We were able to select the size, shape, and blend of colors required to give our home the look of a well-preserved nineteenth-century structure."

- Jay Panzer, Homeowner

EcoStar representatives are available for information about energy savings and homeowners insurance discounts. Visit our website to find your local representative.

3. 303 Pleasant Street

- Recommended Approval

Background: The applicant is seeking approval for the final railing design for an approved entry stair re-design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-640

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/19/2023

Primary Location

303 PLEASANT ST
Portsmouth, NH 03801

Owner

THOMAS GREGORY R &
THOMAS MARY D
303 PLEASANT ST
PORTSMOUTH, NH 03801

Applicant

Mary Thomas
 603-969-3583
 sarmcmatt@gmail.com
 303 Pleasant Street
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

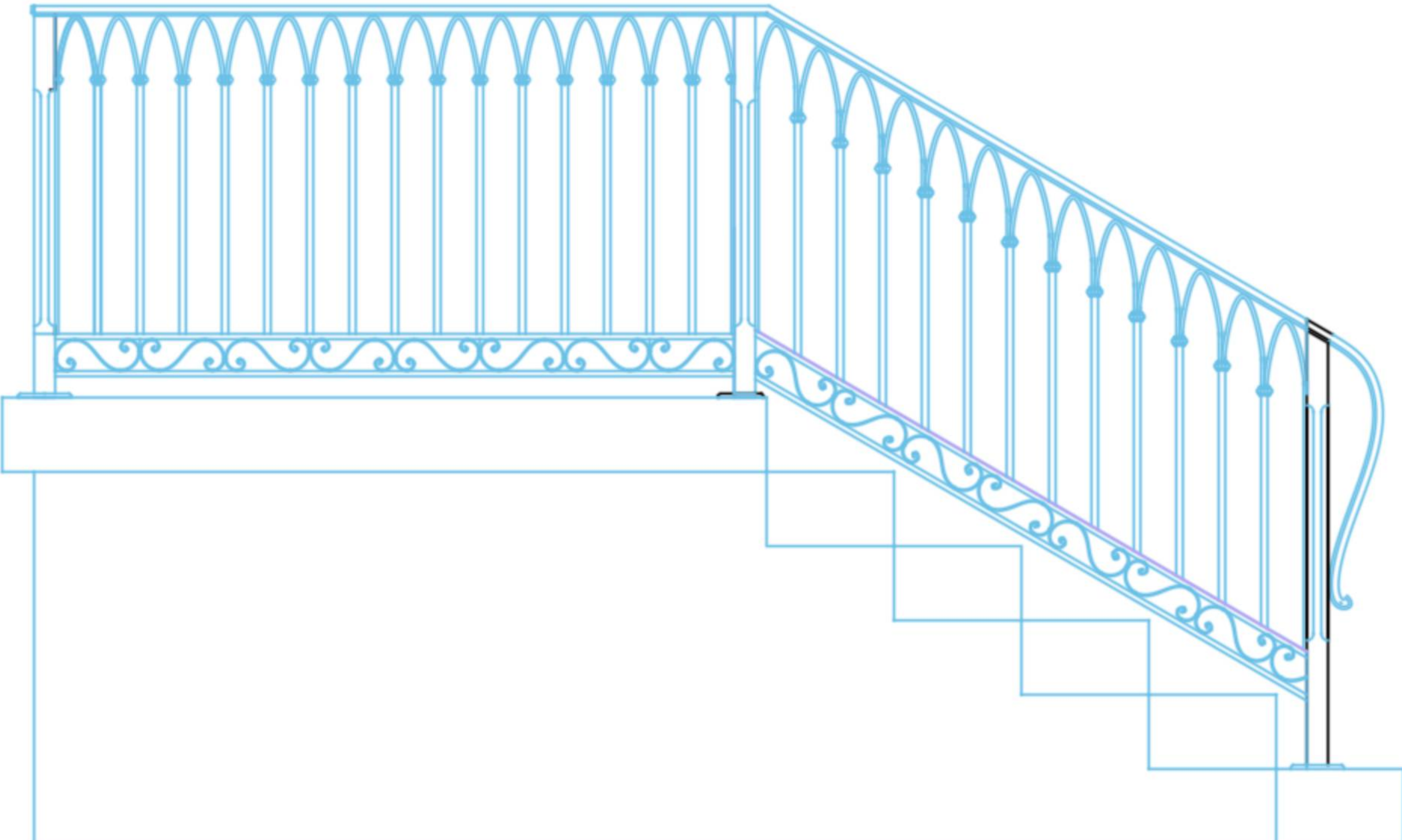
Project Information

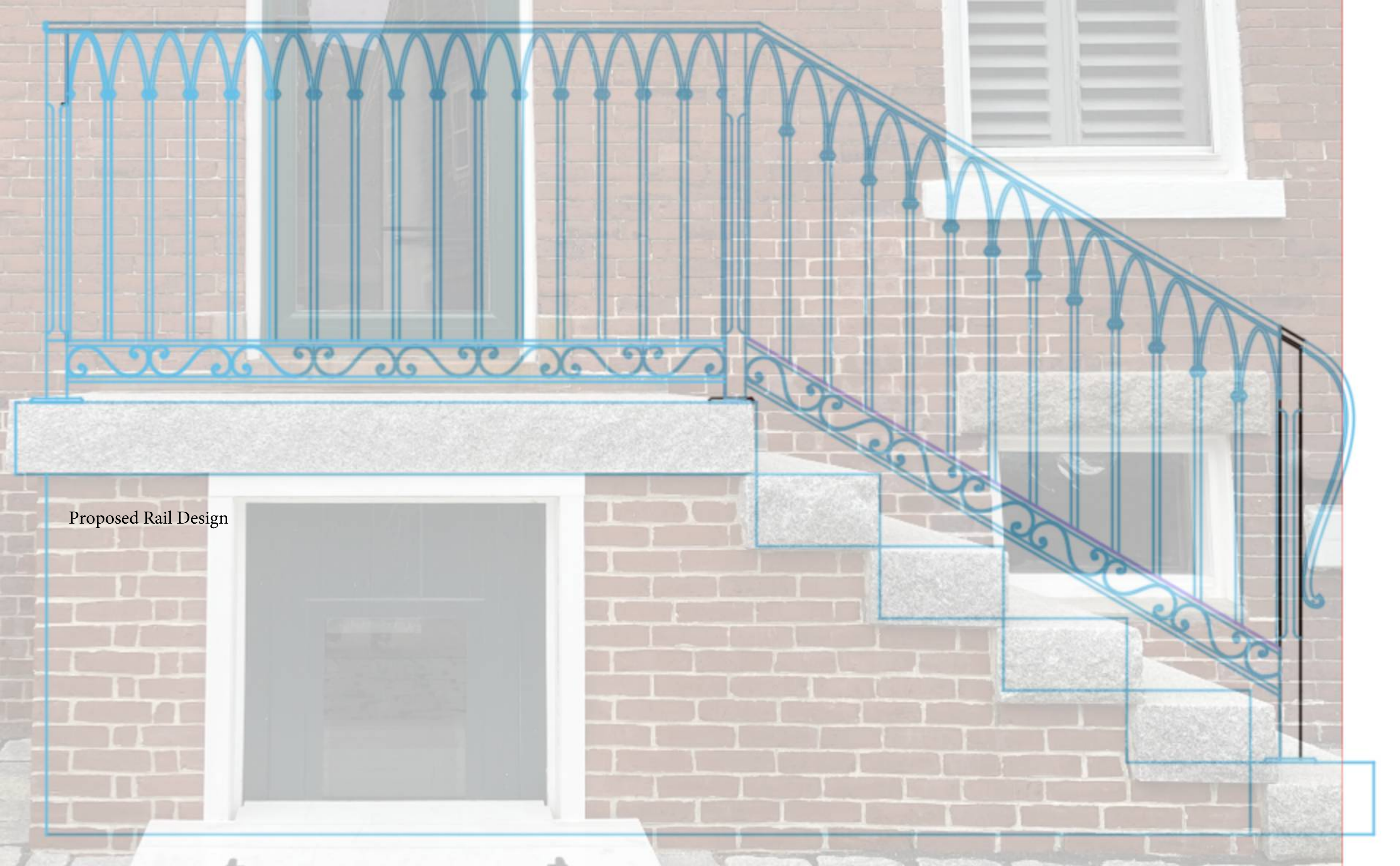
Brief Description of Proposed Work*

Wrought iron railing to be added to newly repaired back exterior stairs on Washington Street side of house. This work was permitted on April 27, 2023 under BLDG-23-113. We are adding more detail about the railing design specifically.

Railing to be 35-36" tall relative to the granite base, with picket spacing of 4" on center, for a total gap of 3-3/8" between pickets. There are no sections of the railing that will allow a 4" ball to pass through. The triangular gap under the step section will not allow a 6" ball to pass through, per code.

Railing will be constructed of forged solid steel with welded and mechanical fasteners. The support posts are 2" square steel with welded flanges at bottom for bolting to granite landing. These will be fastened to the granite with epoxied, threaded inserts and are sized to support a minimum 200 pound lateral force at the top of the railing. The fasteners are stainless steel and the entire railing assembly will be hot-dip galvanized and followed by a black powdercoat painted finish.





Proposed Rail Design

Existing Conditions



4. 3 Walker Street

- TBD

Background: The applicant is seeking approval for the replacement of the front door and the replacement of the front decking and railings with composite material and cover posts with PVC wrap.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-631

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/14/2023

Primary Location

3 WALKER ST
Portsmouth, NH 03801

Owner

KIPPERMAN BRUCE S &
KIPPERMAN ALICE M
WALKER ST 3 PORTSMOUTH,
NH 03801

Applicant

John McCormack
 603-661-3755
john@greatislandbuilders.com
 PO Box 383
43 Piscataqua St
New Castle, NH 03854

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Replace front door, pressure treated decking and railings with composite material and cover posts with PVC post wrap.

Description of Proposed Work (Planning Staff)

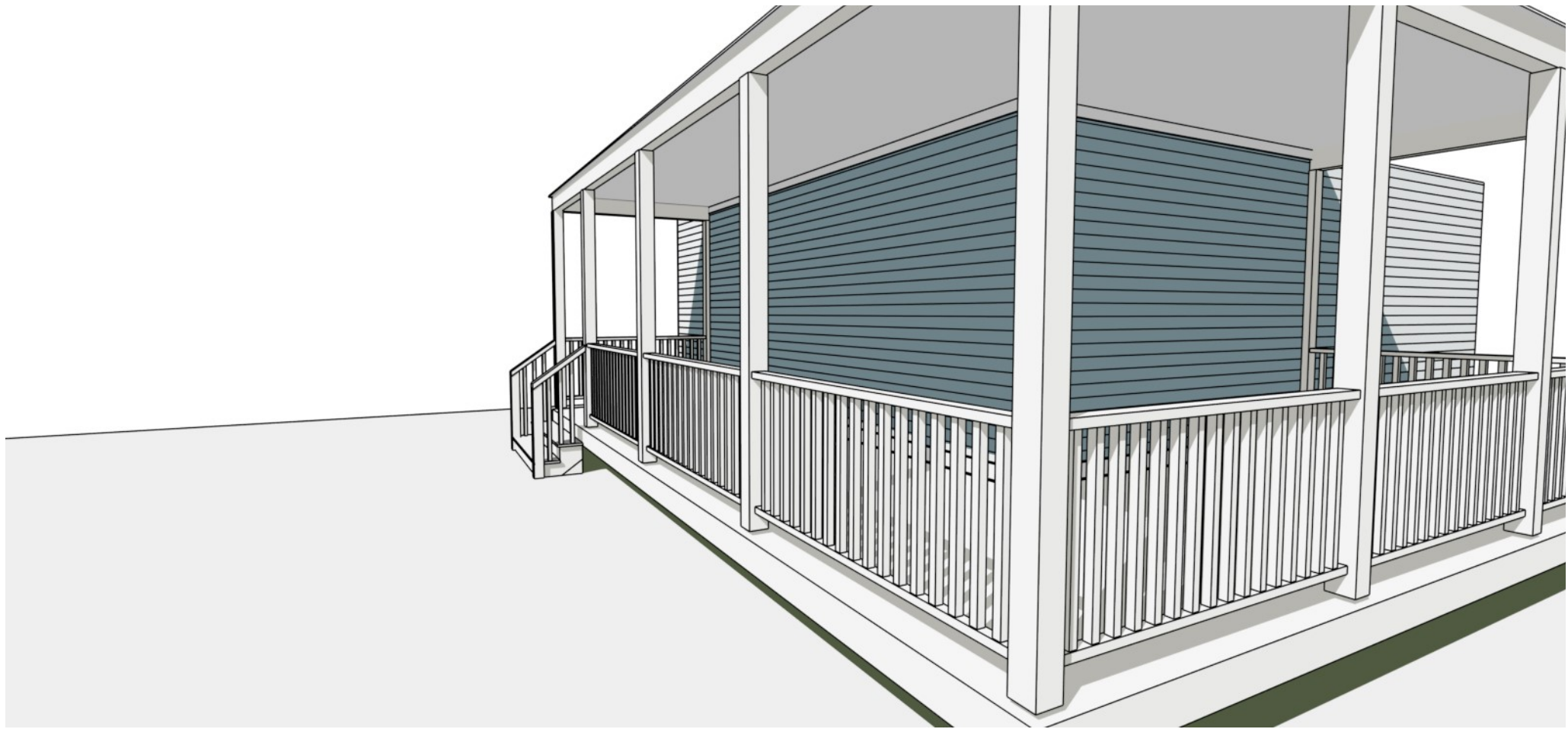
Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor

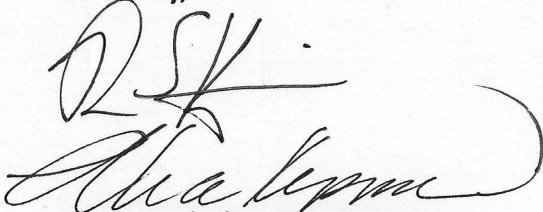


Tuesday, June 13, 2023

TO:
HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NH 03801

We authorize John McCormick to represent us before the Historic District Commission
And any meetings that are required. We have met with John and asked him to act on our
behalf during this process.

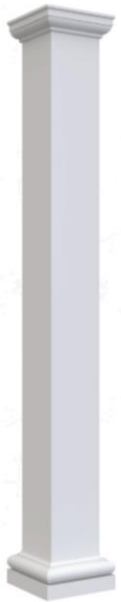
Sincerely,

A handwritten signature in black ink, appearing to read "Bruce and Alice Kipperman". The signature is written in a cursive style with a large, sweeping flourish at the end.

Bruce and Alice Kipperman
3 Walker St
Portsmouth, NH 03801

Kipperman
3 Walker St
Portsmouth NH



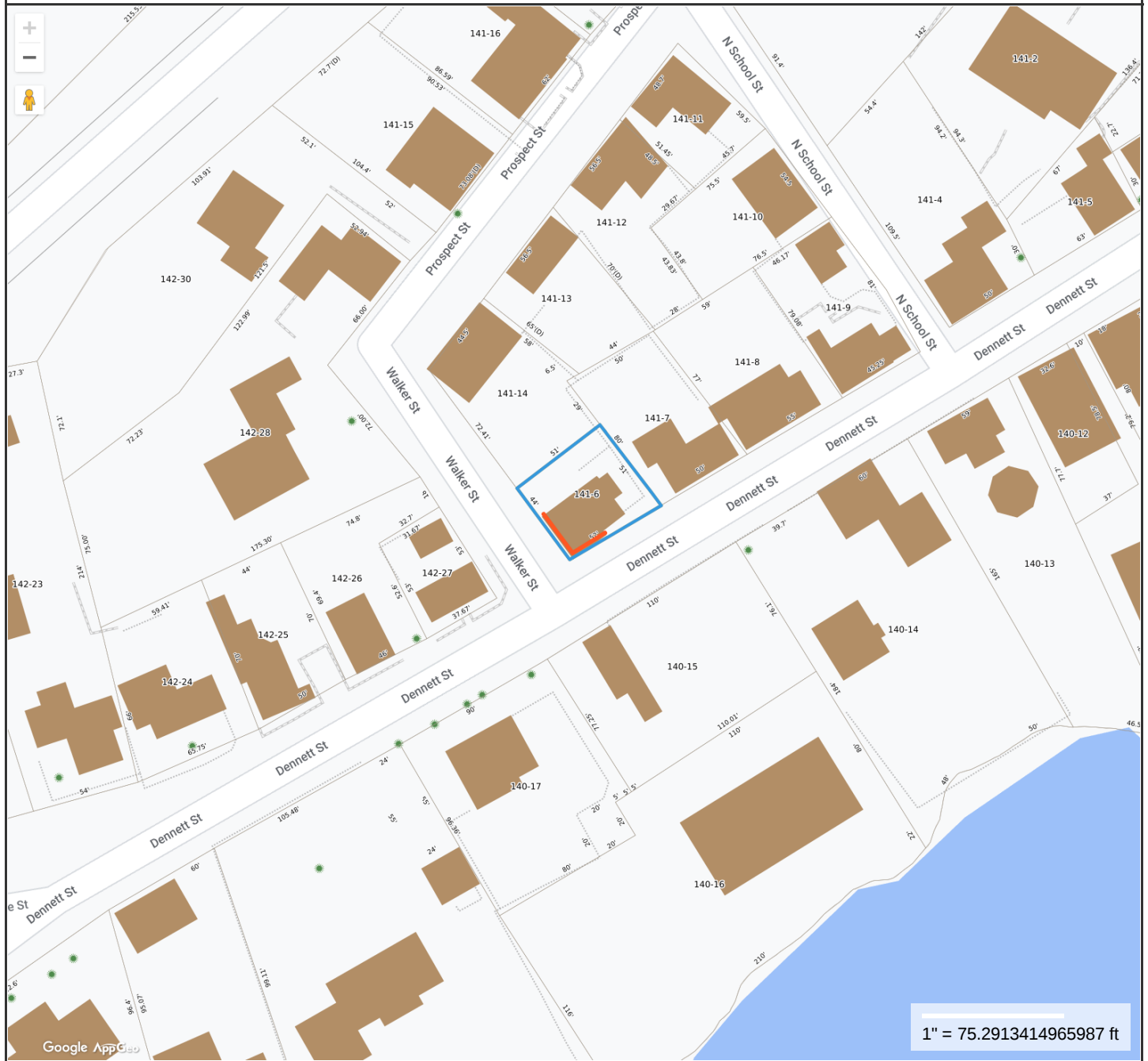


5" Square Porch Post available in 8',9', and 10'

10 Prospect St Portsmouth, NH



3 Walker Street



Property Information

Property ID 0141-0006-0000
Location 3 WALKER ST
Owner KIPPERMAN BRUCE S



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 06/21/2023
Data updated 3/9/2022

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

5. 111 Bridge Street, Unit 205 - Recommended Approval

Background: The applicant is seeking approval for the installation of an awning system.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-637

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/16/2023

Primary Location

111 BRIDGE ST

Portsmouth, NH 03801

Owner

CRESTA JAMES & DEBRA

FAMILY REV TRUST &

CRESTA JAMES M AND

DEBRA R TRUSTEES

111 BRIDGE ST UNIT 205

PORTSMOUTH, NH 03801

Applicant

Jennifer Ramsey

603-766-3760 ext. 1

jramsey@sommastudios.com

36 Maplewood Ave
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

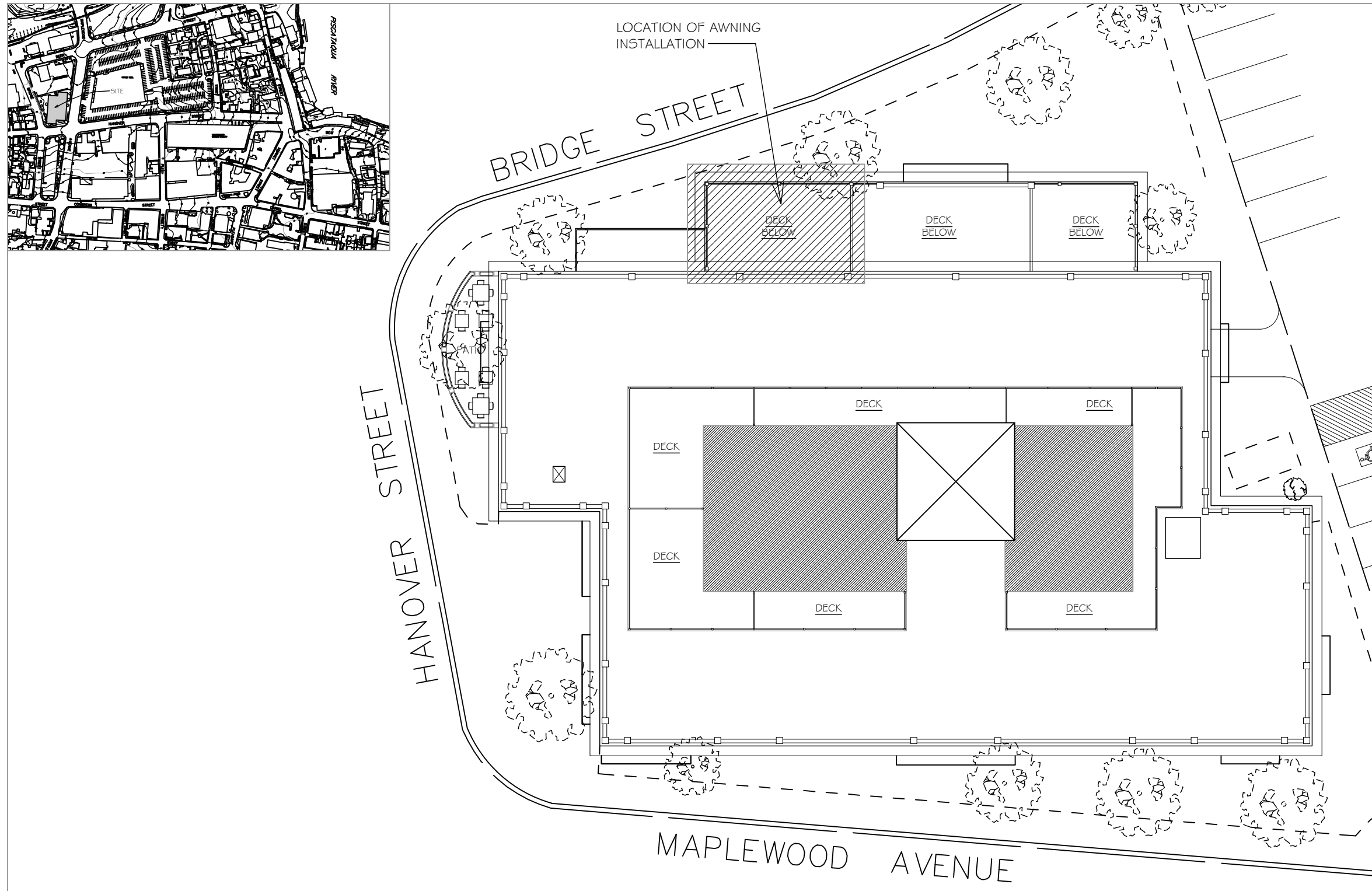
Project Information

Brief Description of Proposed Work*

Add awning at roof deck

Description of Proposed Work (Planning Staff)

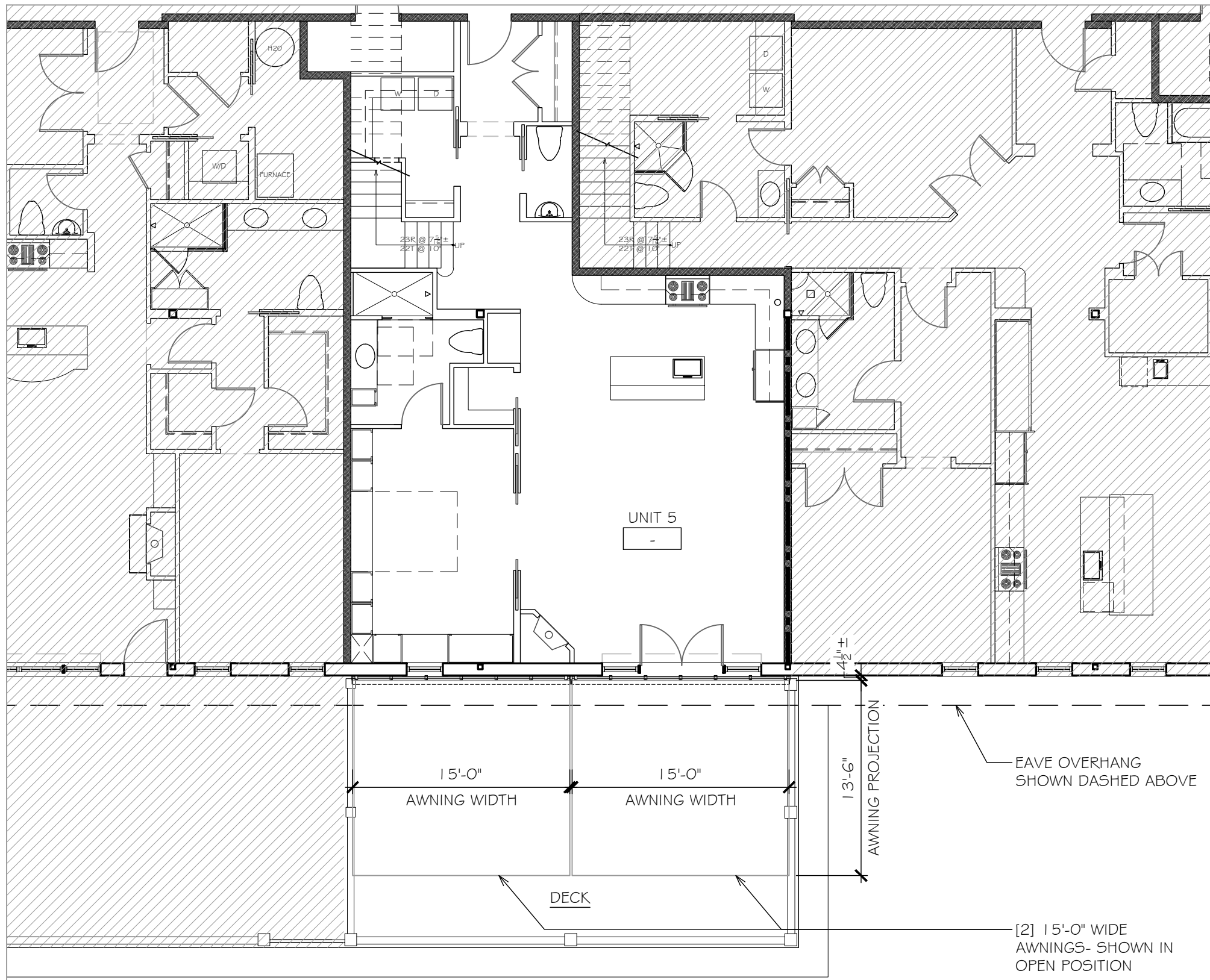
LOCUS MAP



SITE PLAN: Location of Installation

SCALE: N.T.S.





DECK PLAN: Awning Projection

SCALE: 1/8" = 1'-0"





PARTIAL BRIDGE ST. ELEVATION: Awning Projection

SCALE: 1/8" = 1'-0"

PARTIAL BRIDGE ST. RENDERING: Awning Projection

SCALE: 1/8" = 1'-0"

111 Bridge Street, Portsmouth, New Hampshire

UNIT 5

SCALE: AS NOTED

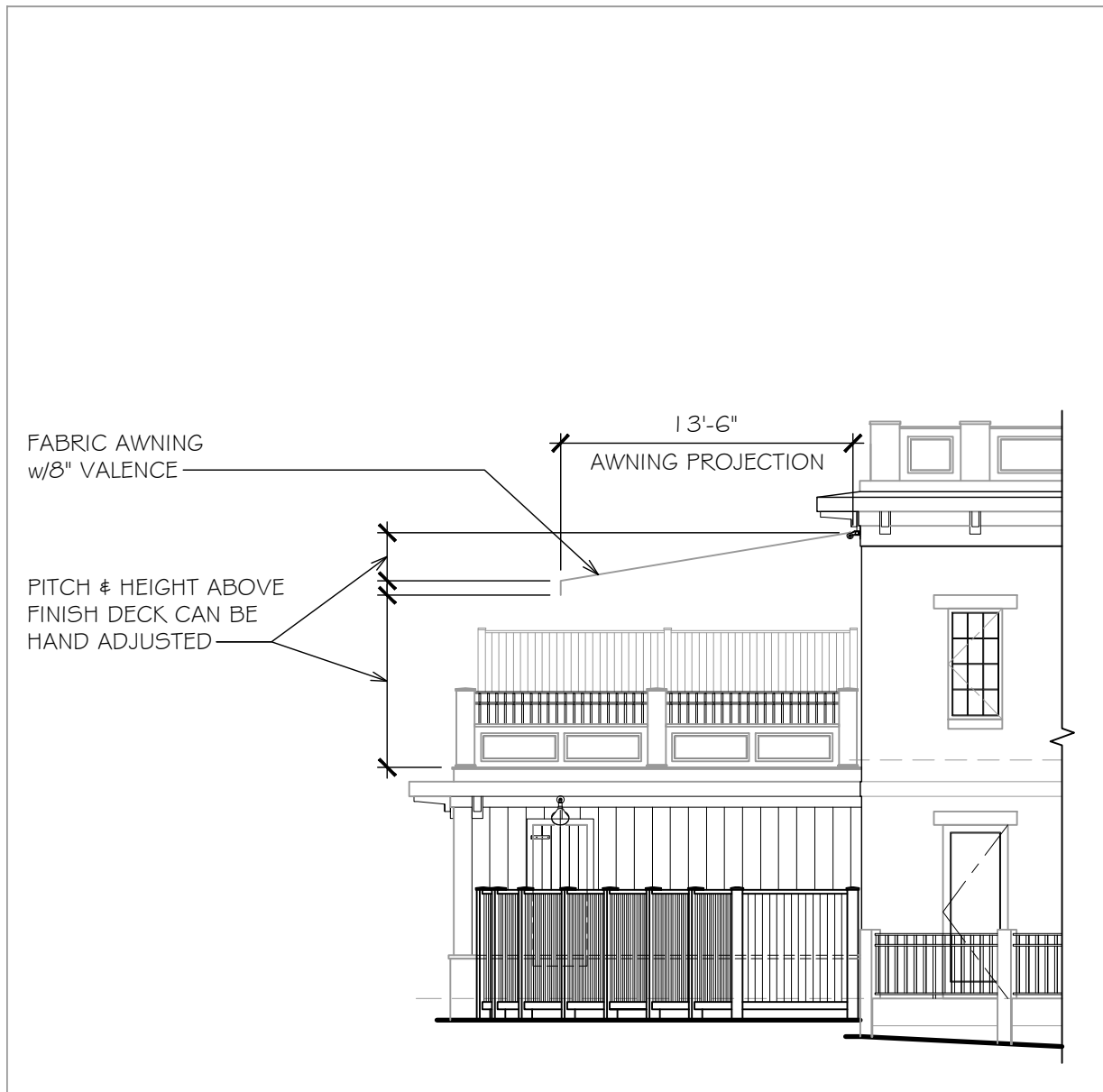
SOMMA Studios 603/766.3760

PH

7.05.23

ARCH. SHT. 3





PARTIAL HANOVER ST. ELEVATION: Awning Projection
 SCALE: 1/8" = 1'-0"

PARTIAL HANOVER ST. RENDERING: Awning Projection
 SCALE: 1/8" = 1'-0"



6. 111 Bridge Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of lighted signage.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-630

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/14/2023

Primary Location

111 BRIDGE ST
Portsmouth, NH 03801

Owner

30 Maplewood HOA
Bridge St 111 Portsmouth, NH
03801

Applicant

Charles Dye
 603-373-8145
 charles.s.dye@comcast.net
 111 Bridge St Unit 203
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

30 Maplewood Ave Portsmouth, NH

Project Information

Brief Description of Proposed Work*

Install lighted sign for residences at 111 Bridge St.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

300 Griffin Road, Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

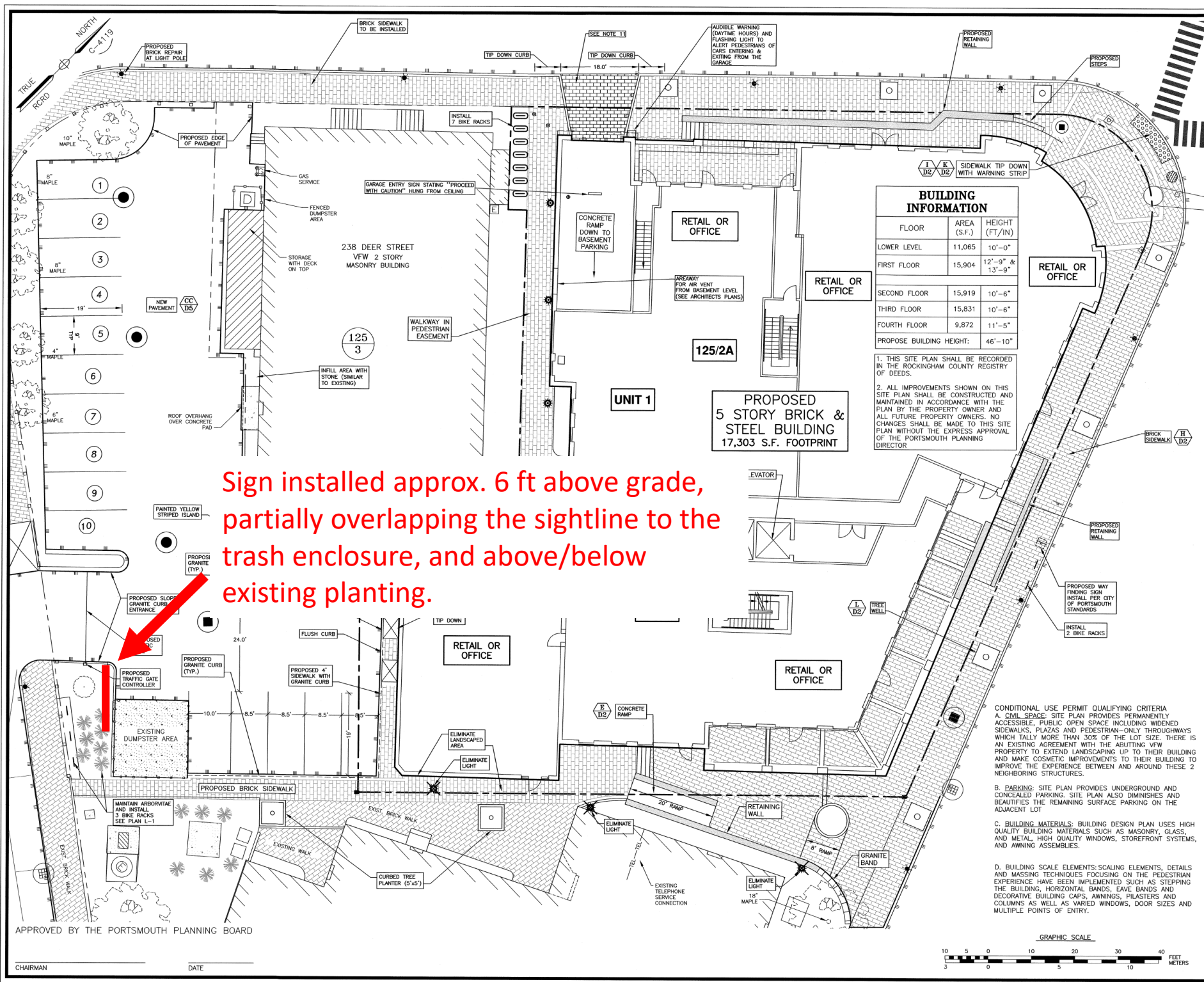
- PROPOSED BUILDING USES:
BASEMENT: PARKING, STORAGE, UTILITIES, CIRCULATION, TRASH
1st FLOOR: RETAIL, OFFICE, PARKING
2nd to PENTHOUSE FLOOR: RESIDENTIAL
22 RESIDENTIAL UNITS AND 1 OFFICE SPACE

PARKING CALCULATIONS
REQUIRED PARKING:
22 RESIDENTIAL UNITS x 1.5 SPACE/UNIT = 33 SPACES
33 x 4 (ORDINANCE REDUCTION) = 29 SPACES REQUIRED
SPACES PROVIDED: 30 SPACES (SEE ALSO SHEET C4)
- EXISTING LOT AREA: 21,798 S.F.
PROPOSED BUILDING: 17,303 S.F.
TOTAL BUILDING COVERAGE: 17,303/21,798 x 100% = 79.4%
OPEN SPACE:
(21,798 - 17,303 S.F.)/21,798 S.F. x 100 = 20.6%
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS. STATEMENT REQUIRED PER SECTION 2.13.3 OF THE SITE PLAN REGULATIONS SHALL BE INCLUDED ON THE SITE PLAN TO BE RECORDED.
- DELETED
- EXTERIOR LIGHTING SHALL CONFORM TO THE STANDARDS IN SEC. 10.1140 OF THE CITY OF PORTSMOUTH ZONING ORDINANCE AND ARTICLE 10 OF THE SITE PLAN REVIEW REGULATIONS, INCLUDING PREVENTION OF LIGHT TRESPASS AND GLARE.
- DELETED
- EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF OFF SITE. SNOW SHALL NOT BE DISPOSED OF OR STORED ON CITY PROPERTY.
- 46-64 MAPLEWOOD TRASH DISPOSAL IS FROM PRIVATE PICK UP.
- SITE IS VESTED TO DECEMBER 2013 ZONING.
- FOUNDATION TO BE DESIGNED TO BE WATER TIGHT AT THE BASEMENT LEVEL. FOUNDATION DESIGN/CONSTRUCTION SHALL MINIMIZE GROUNDWATER EFFECTS BY USING APPROPRIATE BACKFILL AND OTHER METHODS UNDER AND AROUND THE FOUNDATION AND, IF NECESSARY BY RAISING THE ELEVATION OF THE BASEMENT/ FOUNDATION. A QUALIFIED GEOTECHNICAL ENGINEER SHALL EVALUATE THE GROUND WATER CONDITION DURING EXCAVATION TO DETERMINE ANY RECOMMENDED ADJUSTMENTS. ANY PROPOSED PERMANENT DISCHARGES INTO THE CITY'S STORMWATER SYSTEM SHALL BE QUANTIFIED AND SHALL RESULT IN NO NET INCREASE IN RATE OF PEAK FLOW FROM EXISTING CONDITIONS AND SHALL REQUIRE REVIEW AND APPROVAL BY DPW AND A STORMWATER DISCHARGE PERMIT AS WELL AS A SITE PLAN AMENDMENT.
- THE BRICK APRON SHALL BE CONSTRUCTED ON AN ASPHALT SUBSTRATE FOR RIGIDITY AND LONGEVITY. UPON NOTICE FROM DPW OR OTHER CITY ENTITY/AGENCY TO THE PROPERTY OWNER OF ANY DEFICIENCY IN THE SURFACE OF THE APRON IN THE FUTURE, THE OWNER WILL HAVE 30 DAYS TO REPAIR OR REPLACE THE APRON TO THE DPW'S SATISFACTION WITH LIKE OR OTHER ADA ACCEPTABLE MATERIALS. IF AFTER 30 DAYS, THE DEFICIENCY IS NOT CORRECTED BY THE PROPERTY OWNER, THE CITY AT ITS OPTION, WILL REMOVE THE BRICK APRON AND REPLACE WITH A NEW ADA APPROVED SURFACE OF ITS CHOOSING AND THE PROPERTY OWNER WILL BE CHARGED FOR THE WORK.

BUILDING INFORMATION

FLOOR	AREA (S.F.)	HEIGHT (FT./IN)
LOWER LEVEL	11,065	10'-0"
FIRST FLOOR	15,904	12'-9" & 13'-9"
SECOND FLOOR	15,919	10'-6"
THIRD FLOOR	15,831	10'-6"
FOURTH FLOOR	9,872	11'-5"
PROPOSED BUILDING HEIGHT:		46'-10"

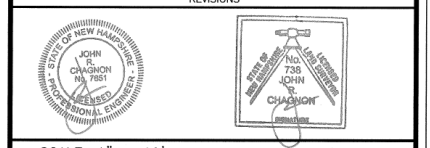
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.



Sign installed approx. 6 ft above grade, partially overlapping the sightline to the trash enclosure, and above/below existing planting.

TAX MAP 125 LOT 2A
46-64 MAPLEWOOD AVENUE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
11	NOTES 4, 6, 8, 11, BIKE RACK CONFIGURATION	8/2/21
10	BIKE RACK CONFIGURATION, ENTRANCE PAVER	7/12/21
9	TREES	6/17/21
8	CURBING	5/12/21
7	RAMP, TREE WELL LOCATION	5/3/21
6	STEPS, CROSSWALK LOCATION	4/20/21
5	FIRST FLOOR PARKING BACK IN	1/5/21
4	COORDINATE W/LANDSCAPE PLAN	12/3/20
NO.	DESCRIPTION	DATE



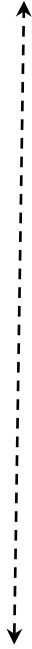
SCALE: 1" = 10' APRIL 2020
AMENDED SITE PLAN
FIRST FLOOR LEVEL
C3



THE RESIDENCES AT
111 BRIDGE STREET

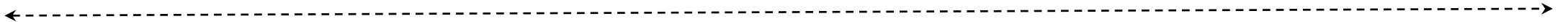


APPROX. 18"



THE RESIDENCES AT

111 BRIDGE STREET



48"

Specifications:

Material - Waterproof PVC composite

Finish - 2 coats of primer, followed by 3 coats of high quality 100% exterior acrylic paint

Mounting - 4"x4" pressure treated wood posts in 36" footings

Illumination - 2 x 60W LED shrouded/directed exterior lamps in oil rubbed bronze, max brightness 100nix total.



These commercial grade sign lights are great for adding illumination and accent lighting to business signs, entry ways, patios, etc. This fixture is hand spun and made in america. Using only a high grade 1100-O aluminum this fixture is made to last. Finished with a durable powder coat finish and ready to hang. Specifications:

- Number of bulbs: 1
- Bulb base: GU-5.3
- Bulb type: MR16
- Max wattage: 50w
- Bulb included: no
- Watts per bulb: 50
- Height: 4.25"
- Width: 3.5"
- UL Listed: yes
- UL Rating: wet location *
- Mounting: e32 arm extension *
- Canopy: 5" round

Model # (MPN)	K2/61/E32/61/MR16
Product ID	97495802
Manufactured By	Baselite
Sold By	Houzz
Size/Weight	W 3" / D 20" / H 6" / 9 lb.
Materials	Aluminum
Assembly Required	Yes
Category	Outdoor Wall Lights And Sconces
Style	Transitional
Commercial-grade	Yes

7. 92 Pleasant Street

- TBD

Background: The applicant is seeking approval for the installation of HVAC equipment and to replace the first and second floor windows with Green Mountain Windows as already approved on the third floor.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-629

Historic District

Commission Work

Session or Administrative
Approval Application

Status: Active

Submitted On: 6/13/2023

Primary Location

92 PLEASANT ST
Portsmouth, NH 03801

Owner

WORKING STIFF
PROPERTIES LLC
94 PLEASANT ST
PORTSMOUTH, NH 03801

Applicant

Matthew Beebe
 603-234-7398
matthewdbeebe@comcast.net
 81 Lincoln Ave
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Replace existing first and second floor windows with new historically accurate Green Mountain Window sash. There are already (8) new GMW sash at the third floor living area as the dormers and Court St gable end windows have been replaced (as specified) in a previous HDC approval. An administrative approval would guarantee an aesthetic "match" of all the windows in the building..

Description of Proposed Work (Planning Staff)

Tradition & Technology

Why Homeowners, Architects and Builders who appreciate traditional detail choose Green Mountain Window . . .

Residential

Historical Adaptive Reuse

Resorts/Recreation

Education



View Portfolio

View Portfolio

View Portfolio

View Portfolio

Founded in 1993, the Green Mountain Window & Door Company integrates the latest technology with good old-fashioned Yankee craftsmanship. At our plant in Rutland, Vermont we tailor our product to your needs by controlling the entire manufacturing process. We manufacture our own high performance insulating glass. We apply primer and paint using the Cabot Factory Finish System in our paint department. And we hand assemble and sand each window in our production department.

Double Hung Windows : Classic and Milestone Series

When we say "Made in the Northeast for the Northeast" we mean that there is a Green Mountain window to suit the needs of everyone who wishes to increase their energy efficiency and look good doing it. To deliver on this promise Green Mountain Window and Door offers two quality product lines from which to choose.

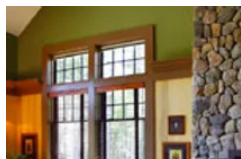
Milestone

Our high end Milestone line sets the standard for maximum thermal performance and adherence to traditional detail. Rated among or above the best in the industry for air infiltration, the Milestone window is second to none in preserving your interior climate and withstanding the outside elements. Defining aesthetic features such as a concealed block-and-tackle balance system and a hidden tilt-in latch system, authentic traditional details such as wide rails and narrow muntins, and a wide array of decorative options put this premium double hung window miles ahead of its competition.



Classic

Our original Classic line stands out as one of the best values in the industry. Available with either wood or vinyl clad framing, the Classic double hung window line offers a number of advantages over other manufacturers' products. Mortised, tenoned, and pinned corner joints contribute to superior structural integrity; block-and-tackle tilt-in balances provide added durability and smooth operation. Add to the list a variety of traditional colonial features and options and you've got the perfect fit for the fiscally prudent Northeasterner who refuses to compromise on quality.



Green Mountain Windows

Are manufactured using the finest materials and technologies available in the industry today. Our windows have been certified as thermally superior to most windows marketed in the Northeast. They will help lower heating and cooling costs, virtually eliminate moisture condensation, and protect furniture and carpeting from



damaging UV rays. Our windows afford the convenience of a modern tilt-in sash with the traditional look of New England.

Green Mountain Window & Door Co.

[Home](#) [Product Overview](#) [Specifications/Downloads](#) [Contact Us](#) [Our Company](#) [Press](#) [More](#)



Casement and Awning windows

Our casement and awning windows are built with the same craftsmanship and attention to detail that set Green Mountain double hung windows above the competition.

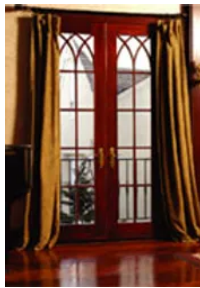
Milestone

All Green Mountain windows can be constructed with low-emissivity, argon or krypton gas filled, insulating glass. Add to that a warm edge spacer system and you have a thermal barrier that keeps the inner surface of your window closer to the inside room temperature, thus keeping your home warmer in winter, and cooler in summer.



Classic

Our Classic series is similar to casements and awnings more commonly found in the industry; it has an interior screen with an aluminum surround and a roto-crank operator. However, we still offer an array of options that help make the Classic series meet the aesthetic and budget requirement of any quality project.



Doors

While inspired by historic detail, what really sets these doors apart are the options. You simply won't find another door manufacturer focused enough on the Northeast to offer options like wood sills, 5/8" muntins, or sand-cast bronze hardware. Virtually any set up is possible, whether it is single swing, true French, patio or slider. We offer both full glass and glass with raised panel designs. And, most importantly, all of the casing, divided light and hardware finishes on your doors will match your Green Mountain windows.

Double Hung Style Egress Window

Having Trouble Finding Traditional Style Windows That Meet Egress Code? Problem Solved! This window meets egress with windows as small as 2' 0" x 3' 10" sash size (2' 2" x 4' 0" Frame Size), matches the glazing of a double hung with offset glass for top and bottom lites, and matches the dual sash appearance of a double hung with offset sash plane on exterior. Available as a new construction window or as an insert replacement unit. Any divided lite pattern available (2/2, 6/6, 12/12, etc) with glass sizes and stiles / rail dimensions that match traditional double hung windows. Optional meeting rail sash lock.

Available Species

Green Mountain Window can build windows and doors out virtually any species of wood. Some common choices are preservative treated pine, mahogany, cedar and oak. Additionally Green Mountain Window can manufacture windows and doors made of Accoya, a low maintenance type of wood that is warranted for 50 years. For more information click the logo:



Yesterday's Traditional Design / Tomorrow's Energy Performance

Green Mountain Window Co.

[\(802\) 747-6915](tel:8027476915)



92 Park St, Rutland, Vermont 05701

CONSULTANTS

EXTERIOR
RENOVATIONS TO

92-94 PLEASANT STREET
PORTSMOUTH, NH 03801

MARK	DATE	DESCRIPTION
	06/12/23	PROPOSED ELEVATIONS

PROJECT NO:
MODEL FILE:
DRAWN BY: MDB
CHK'D BY:
COPYRIGHT

SHEET TITLE
ELEVATIONS



8. 70 Court Street

- TBD

Background: The applicant is seeking approval for the installation of lighting and HVAC equipment.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-626

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/12/2023

Primary Location

70 COURT ST

Portsmouth, NH 03801

Owner

DAVENPORT INN LLC

266 MIDDLE ST

PORTSMOUTH, NH 03801

Applicant

Sarah Hourihane

603-553-6911

sarah@lasselarchitects.com

370 Main Street
South Berwick, ME 03908

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

70 Court Street

Project Information

Brief Description of Proposed Work*

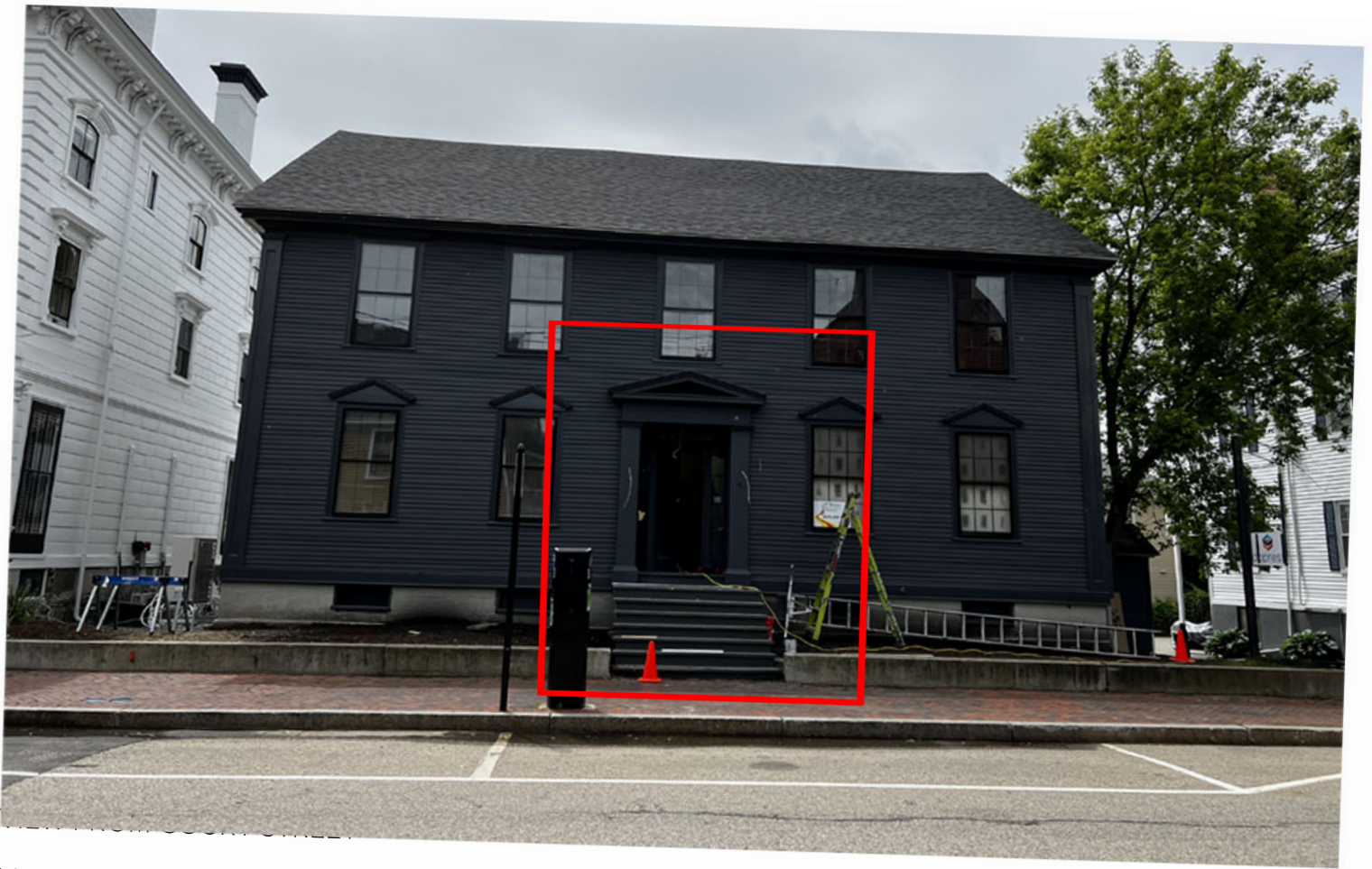
Light Fixture Replacement

Description of Proposed Work (Planning Staff)

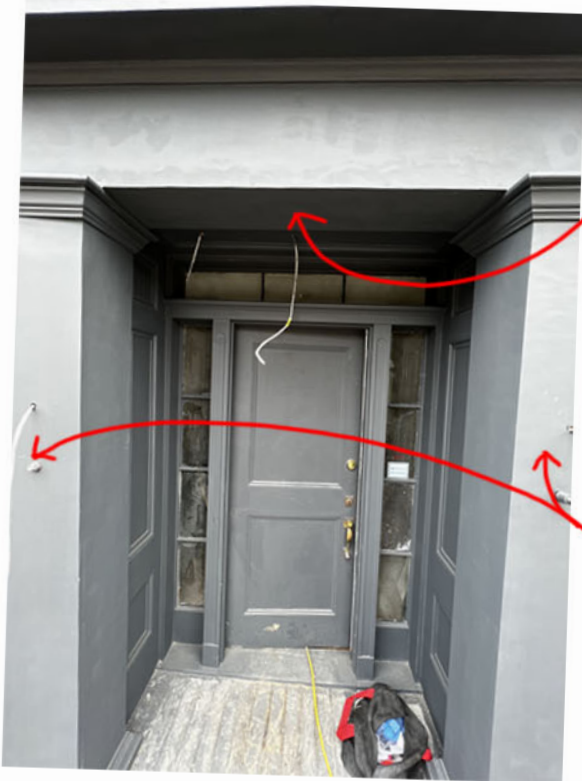
Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.*

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction*



VIEW FROM COURT STREET



LIGHT FIXTURE A
finish: oil rubbed bronze
locate: underside front entry



GAS LIGHT FIXTURE
previously approved by HDC May 2023

THE DAVENPORT
70 COURT STREET
JULY 2023





BACK PARKING LOT ENTRANCE



LIGHT FIXTURE B
finish: brass
locate: both sides of back entry stair
size: 8.5" diam, 18.25"h



MARK STREET ENTRANCE



LIGHT FIXTURE C
finish: black finish over aluminum
locate: above side entry door
size: 12" w x 10 1/2" h



VIEW FROM COURT STREET

CONDENSER:
HDC previously approved 6 condensers to be located on the side of the building. We would like to request 1 additional condenser to be located on the parking lot side of the approved stacks for a total of 7 condensers.

Condensers are located as far back from Court Street as possible.



VIEW BETWEEN BUILDINGS AT CONDENSER LOCATION

Landscaping will be installed to buffer the condensers from Court Street.

Item Number **6578400****Orwell**

11 in. 2-Light Flush Oil Rubbed Bronze Finish
with Highlights Clear Seeded Glass

Specifications

- Height: 4.50"
- Square: 11"
- Use (2) Medium (E26) Base Lamps,
60 Watt Maximum




Installation

Refer to instruction manual for installation and additional warnings.
Consult a qualified electrician if unsure how to proceed.

Warranty Information - 5 Year Limited Warranty

This Westinghouse Lighting Fixture is warranted against defects in material and workmanship for a period of Five Years from purchase date.

Specifications are subject to change without notice, please visit www.westinghouselighting.com for latest information.

 WESTINGHOUSE, and INNOVATION YOU CAN BE SURE OF are trademarks of Westinghouse Electric Corporation.
Used under license by Westinghouse Lighting. All Rights Reserved.

P O T T E R Y B A R N

Capron Outdoor Sconce



Overview

- Expertly crafted from cast aluminum with clear glass panels.
- Finished in Painted Distressed Brass, Antique Bronze or Painted Brushed Steel.
- Light bulb(s) are not included. Accommodates three or four 60W Type B Torpedo Bulbs or LED equivalent.
- Compatible with dimmer.
- Wet UL-listed.
- Hardwired; professional installation recommended.
- Offered in multiple sizes; each sold separately.
- Approved for contract use.
- Suitable for outdoor use.
- Imported.
- Dust with soft, dry cloth.
- We do not recommend using harsh household chemicals as they can damage the finish.
- Using Wet Rated Products Outdoor: Outdoor wet rated fixtures can only be used in fully exposed locations, even during storms.
- Do not exceed specified wattage.

Dimensions & Care

DIMENSIONS

Small

- Overall:
- 8.5" diam, 18.25" h
- Back Plate:
- 5" w x 8.5" h



Franklin Iron Works Arnett 10 1/2" High Black Outdoor Wall Light

\$139.99

ADD TO CART

Home / Outdoor Lighting / Wall Light / 10 in. high or less / Black / Style # 42F98

MOST POPULAR

Franklin Iron Works Arnett 10 1/2" High Black Outdoor Wall Light

14 Reviews

\$139.99

Comparable Value \$209.99

Pay in 4 interest-free payments of \$35.00 with [PayPal](#). [Learn more](#)

FREE SHIPPING & FREE RETURNS*

Ships Today if ordered in the next 1 Hr. 19 Min.



1

ADD TO CART

SAVE



DESIGN CHAT

VIEW IN YOUR ROOM

Product Details



Illuminate a dark outdoor space with this urban barn light from Franklin Iron Works.

Additional Info:

A careful balance of rusticity and elegance, this outdoor wall light is the perfect addition to your patio or balcony. In a classic urban barn style with a curving neck, it invokes a charmingly old-fashioned feel. A smooth black finish gives this fixture a clean, almost contemporary touch. Vertical installation only.



[Bulbs for Style #42F98](#)

- 12" wide x 10 1/2" high. Extends 14 1/2" from the wall. Backplate is 6 1/4" wide x 3/4" deep. Weighs 2.42 lbs.
- Uses one maximum 100 watt standard-medium base bulb (not included).
- Barn-style outdoor wall light from the Franklin Iron Works™ brand.
- Black finish over aluminum construction. Gooseneck arm.
- Vertical installation only. Distance from mounting point to top of fixture is 6".

Specifications

Product Attributes

Technical Specifications

9. 37 Whidden Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-625

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/8/2023

Primary Location

37 WHIDDEN ST

Portsmouth, NH 03801

Owner

GREEN JOHN F & ZAEDER

ALISON L

37 WHIDDEN STREET

PORTSMOUTH, NH 03801

Applicant

Heritage Home Service

800-977-4737

permits@justcallheritage.com

28 Commercial Ct.

Auburn, NH 03032

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Installation of a mini-split AC system - MITSUBISHI HEAT PUMP(5-ZONE/42K)

Description of Proposed Work (Planning Staff)

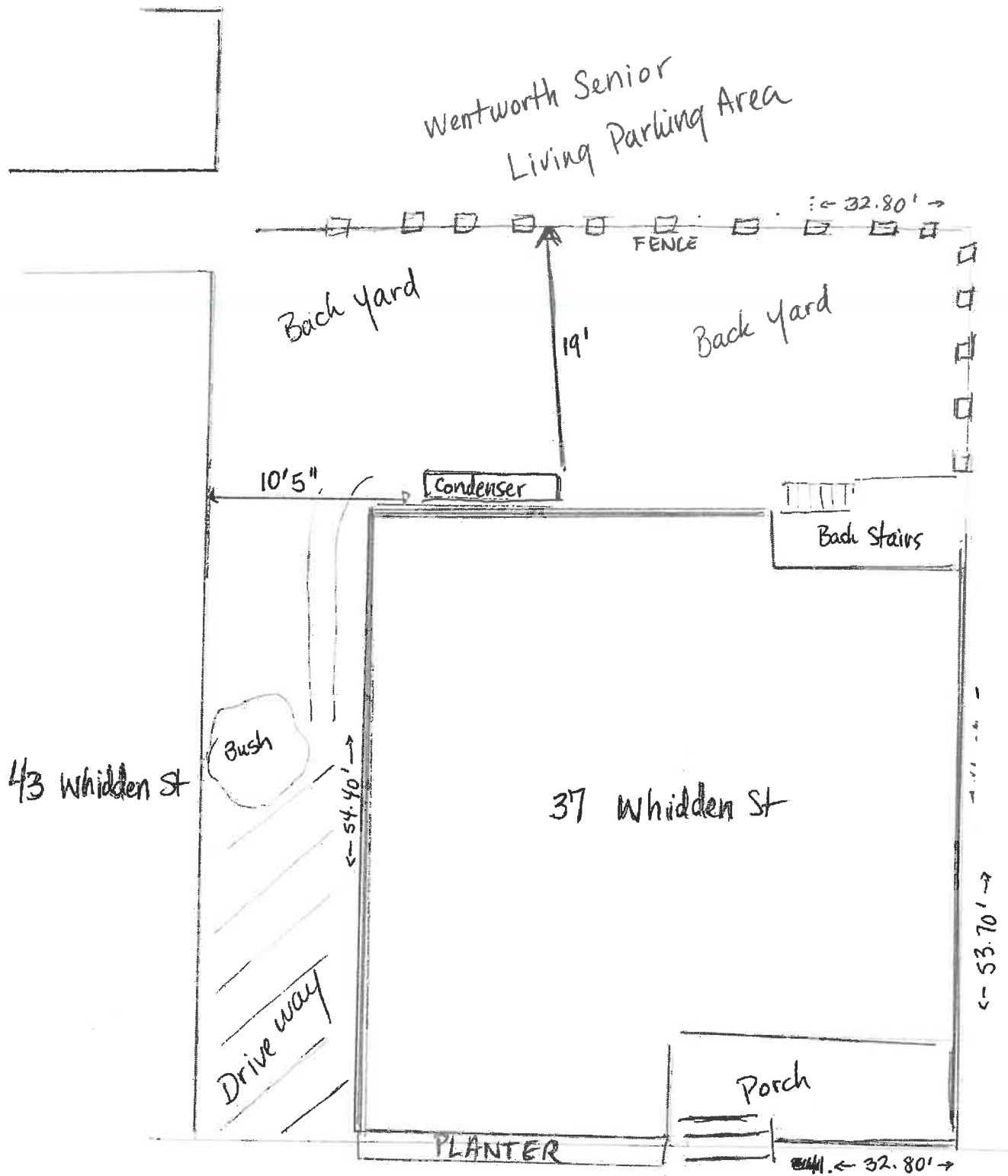
Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Project Manager

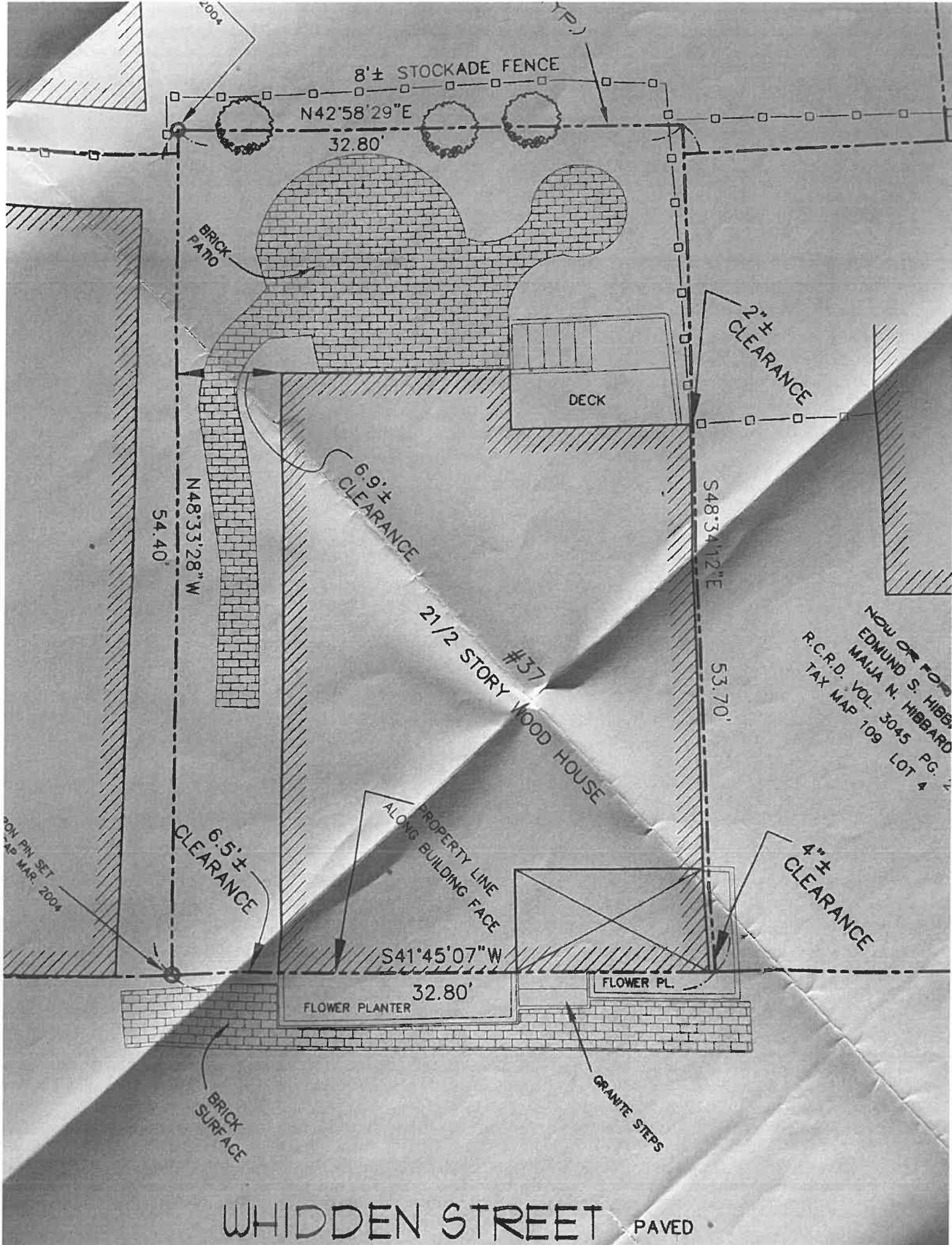


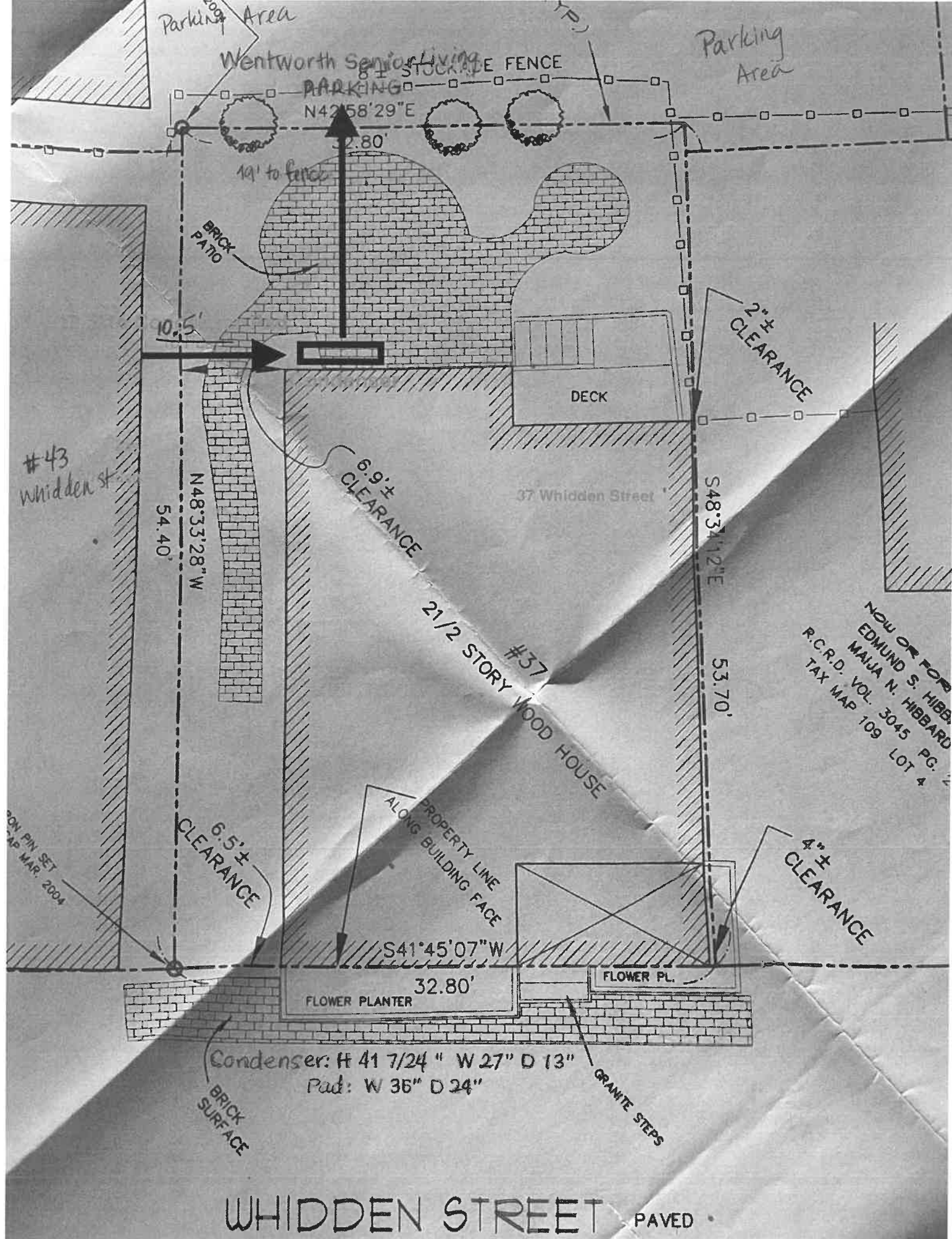
WHIDDEN STREET

Alison Zaeder
37 Whidden St

Specs *

Condenser # 41 7/24" W 27" D 13"
Pad : W 36" D 24"





WHIDDEN STREET PAVED

NOW OR FOR
 EDMUND S. HIBBARD
 MAIJA N. HIBBARD
 R.C.R.D. VOL. 3045 PG. 2
 TAX MAP 109 LOT 4

PIN SET
 MAR. 2004

Condenser: H 41 7/24" W 27" D 13"
 Pad: W 36" D 24"

BRICK SURFACE

GRANITE STEPS

FLOWER PLANTER

FLOWER PL.

PROPERTY LINE
 ALONG BUILDING FACE

S41°45'07"W

32.80'

4"± CLEARANCE

53.70'

S48°31'12"E

2"± CLEARANCE

DECK

37 Whidden Street

#37

2 1/2 STORY WOOD HOUSE

6.9'± CLEARANCE

N48°33'28"W

54.40'

10.5'

BRICK PATIO

19' to fence

2.80'

PARKING

N42°58'29"E

8"± STOCKADE FENCE

Wentworth Senior Living

Parking Area

Parking Area



Links to videos of the job

<https://visionshare.xoi.io/?id=ms599692cb-4245-i164-31ec4e89b75e-u02C-78e917e216de>

<https://visionshare.xoi.io/?id=msed93f788-4245-i164-861b462cbb1f-u02C-f402ee18035c>

*New Hampshire Office
28 Commercial Court
Auburn, NH 03032*

*Massachusetts Office
2550 Main Street
Tewksbury, MA 01876*



Project Report

General Project Information

Project Title: Zaeder
 Designed By: Dave Ayotte
 Project Date: Wednesday, April 12, 2023
 Company Name: Heritage Home Services
 Company Representative: Dave Ayotte
 Company Address: 28 Commercial Court
 Company City: Auburn NH 03032
 Company Phone: 603-668-4438
 Company E-Mail Address: dayotte@justcallheritage.com
 Company Website: www.justcallheritage.com
 Company Comment:

Design Data

Reference City: Manchester Grenier AFB, New Hampshire
 Building Orientation: Front door faces North
 Daily Temperature Range: Medium
 Latitude: 43 Degrees
 Elevation: 233 ft.
 Altitude Factor: 0.992

	Outdoor Dry Bulb	Outdoor Wet Bulb	Outdoor Rel.Hum	Indoor Rel.Hum	Indoor Dry Bulb	Grains Difference
Winter:	25	25	n/a	n/a	72	n/a
Summer:	95	75	40%	50%	75	34

Check Figures

Total Building Supply CFM: 1,161 CFM Per Square ft.: 1.040
 Square ft. of Room Area: 1,116 Square ft. Per Ton: 397
 Volume (ft³): 8,928

Building Loads

Total Heating Required Including Ventilation Air: 26,244 Btuh 26.244 MBH
 Total Sensible Gain: 25,331 Btuh 87 %
 Total Latent Gain: 3,899 Btuh 13 %
 Total Cooling Required Including Ventilation Air: 29,231 Btuh 2.81 Tons (Based On 75% Sensible Capacity)

Notes

Rhvac is an ACCA approved Manual J, D and S computer program.
 Calculations are performed per ACCA Manual J 8th Edition, Version 2, and ACCA Manual D.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads according to the manufacturer's performance data at your design conditions.



Manual S Performance Data - System 1 - Main Floor

Loads and Design Conditions

Cooling:

Outdoor Dry Bulb:	0	Sensible Gain:	25.331
Outdoor Wet Bulb:	75	Latent Gain:	3.899
Indoor Dry Bulb:	75	Total Gain:	29.231
Indoor RH:	50	Load SHR:	0.87
Supply Airflow:	0	Entering Dry Bulb:	0
		Entering Wet Bulb:	0

Heating:

Outdoor Dry Bulb:	25	Sensible Loss:	26.244
Indoor Dry Bulb:	72	Entering Dry Bulb:	72.0
Indoor RH:	45	Supply Airflow:	501

Equipment Performance Data at System Design Conditions

Cooling:

Model Type: Air Source Heat Pump, Model: MXZ-5C42NA
Nominal Capacity: 42.000, Manufacturer: MITSUBISHI

Interpolation Results:

		<u>Load</u>	<u>Percent of Load</u>
Sensible Capacity:	0.000	25.331	0%
Latent Capacity:	0.000	3.899	0%
Total Capacity:	0.000	29.231	0%

Heating:

Model Type: Electric Resistance, Model: , Manufacturer:

Results:

		<u>Load</u>	<u>Percent of Load</u>
Heating Capacity:	0.000	26.244	0%



System 1 Room Load Summary

No	Room Name	Area SF	Htg Sens Btuh	Min Htg CFM	Run Duct Size	Run Duct Vel	Clg Sens Btuh	Clg Lat Btuh	Min Clg CFM	Act Sys CFM
---Zone 1---										
1	Bedroom 2	168	3,637	69	2-6	408	3,496	735	160	160
2	Bedroom 1	252	4,998	95	3-6	439	5,635	812	258	258
3	Front Room	220	5,767	110	2-6	427	3,662	540	168	168
4	Living/kitchen	336	6,011	115	3-6	407	5,227	789	240	240
5	Porch	140	5,831	111	4-6	427	7,311	437	335	335
Duct Latent								586		
System 1 total		1,116	26,244	501			25,331	3,899	1,161	1,161

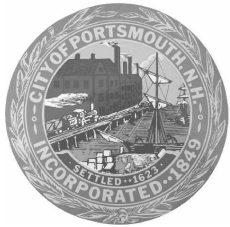
System 1 Main Trunk Size: 25x8 in.
 Velocity: 836 ft./min
 Loss per 100 ft.: 0.087 in.wg

Cooling System Summary

	Cooling Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Recommended:	2.81	75% / 25%	25,331	8,444	33,775
Actual:	3.50				42,000

Equipment Data

	Heating System	Cooling System
Type:	Electric Resistance	Air Source Heat Pump
Model:		
Indoor Model:		
Brand:		
Description:	0	0
Efficiency:	0%	0 SEER
Sound:	0	0
Capacity:	0 Btuh	42,000 Btuh
Sensible Capacity:	n/a	0 Btuh
Latent Capacity:	n/a	0 Btuh



City of Portsmouth Electrical Permit

Inspection Department
1 Junkins Avenue
Portsmouth, NH 03801
603-610-7243

Permit Number:
ER-23-195
Date of Issue:
April 19, 2023
Expires:
April 18, 2024
Const. Cost:
\$2,898

Owner: GREEN JOHN F & ZAEDER ALISON L
Applicant: Heritage Home Service
Electrician's Name: Chris Bolia
Company: Heritage Home Service
Phone #: 603-716-9228
Location: 37 WHIDDEN ST
Map/Lot: 0109--0003--0000-

Description of Work: Wiring for a mini-split AC system
AC ELECTRICAL CIRCUIT 15-50AMP
MITSUBISHI HEAT PUMP(5-ZONE/42K)

Remarks:

-
-

The PERMIT HOLDER has read this permit, the permit application, and the Building Official's marked-up plans and agrees to perform the work authorized including any conditions or requirements indicated thereon; and any stipulations imposed by a Land Use Board in conjunction with the project. The CONTRACTOR shall be responsible for notifying the Inspection Department 48 hours in advance, for FOUNDATION, FRAMING, and FINAL inspections. A Certificate of Occupancy is required for all Building Permits. Buildings shall not be occupied until ALL inspections (BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, and FIRE) are complete and Occupancy has been issued. By signing this permit, the owner or his/her representative (Permit Holder), authorizes property access by city officials to conduct interior and exterior inspections and property tax assessments during and/or after the construction process.

The Permit Card Shall Be Posted and Visible From the Street During Construction.

Code Official:

This is an e-permit. To learn more, scan this barcode or visit portsmouthnh.viewpointcloud.com/#!/records/72348





FORTRESS



CONDENSER



CONCRETE

19 YEARS FROM THE

10. 138 Maplewood Avenue - TBD

Background: The applicant is seeking approval for several changes to a previously approved design:

- 1. Entry door roof was reduced & simplified**
- 2. A Privacy Screen was added to the south side of the rear porch**
- 3. Eliminate or Replace Cupola**
- 4. Change gutters from Fiberglass to Aluminum**
- 5. Porch Columns were changed from Round Tapered to Square**
- 6. Change guard rail at north end of porch to black metal with horizontal balusters**
- 7. The garage side entry door was changed to a 6 lite, 2 panel for security**

- 8. The roof over that door was changed to a hip roof with brackets**

Staff Comment: TBD

Stipulations:

- 1. _____**
- 2. _____**
- 3. _____**



LUHD-643

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/27/2023

Primary Location

138 MAPLEWOOD AVE

Portsmouth, NH 03801

Owner

PANTELAKOS DONNA P REV

TRUST & PANTELAKOS G T &

D P TRUSTEES

138 MAPLEWOOD AVE

PORTSMOUTH, NH 03801

Applicant

Anne Whitney

603-502-4387

archwhit@aol.com

801 Islington St, Suite 32

Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Changes to previously approved plans including:

1. Entry door roof was reduced & simplified
2. A Privacy Screen was added to the south side of the rear porch
3. Eliminate or Replace Cupola
4. Change gutters from Fiberglass to Aluminum
5. Porch Columns were changed from Round Tapered to Square
6. Change guard rail at north end of porch to black metal with horizontal ballisters
7. The garage side entry door was changed to a 6 lite, 2 panel for security
8. The roof over that door was changed to a hip roof with brackets

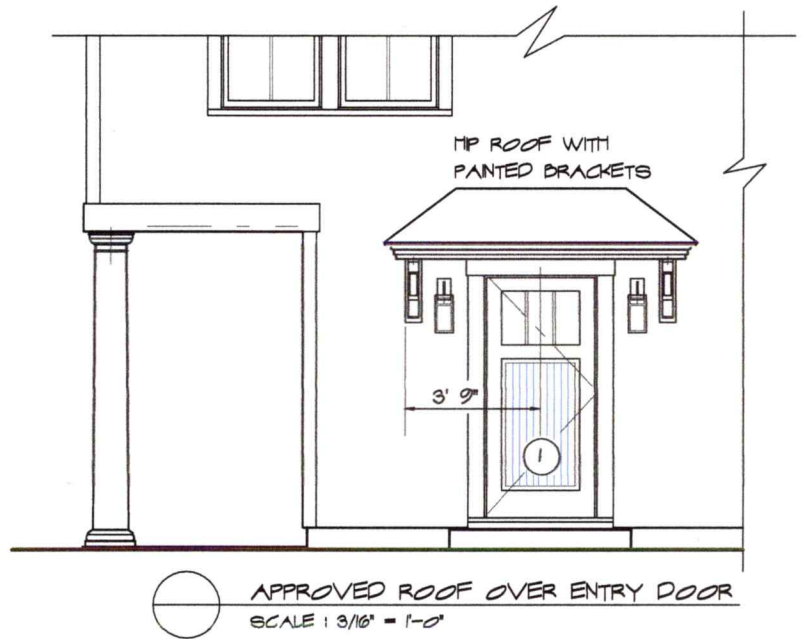
Description of Proposed Work (Planning Staff)

SOUTH ELEVATION

1. APPROVED ENTRY ROOF WAS REDUCED AND SIMPLIFIED, WITH NO CROWN MOLDING OR BRACKETS.
2. A SCREEN WAS ADDED AT THE REAR PORCH TO PROVIDE PRIVACY FROM THE SHARED DRIVEWAY & PARKING.
3. THE EXISTING CUPOLA, WHEN REMOVED COULD NOT BE REPAIRED. THE OWNERS WOULD LIKE TO ELIMINATE IT OR REPLACE IT WITH A CUPOLA SHOWN ON THE ATTACHED SHEETS (SEE SHEETS 2 & 3)
4. GUTTERS TO BE CHANGED FROM FIBERGLASS TO WHITE ALUMINUM.



AS BUILT ENTRY ROOF



APPROVED ROOF OVER ENTRY DOOR
SCALE : 3/16" = 1'-0"



AS BUILT PORCH SCREENING



AS BUILT WITH ADDED BRACKETS OVER 5/4 TRIM
SCALE : 3/16" = 1'-0"

HDC ADMINISTRATIVE APPROVAL JULY 2023

WEST & NORTH ELEVATION

5. THE PORCH COLUMNS WERE CHANGED TO SQUARE, SIMPLY TRIMED COLUMNS OF SIMILAR PROPORTIONS
6. THE GUARD RAIL AT THE RIGHT SIDE OF THE PORCH WILL CHANGE FROM A PAINTED WOOD RAIL TO A BLACK METAL RAIL, WITH HORIZONTAL BALLISTERS, SIMILAR TO RAIL SHOWN ON PHOTO.

EAST ELEVATION

7. THE GARAGE SIDE ENTRY DOOR WAS CHANGED FROM A 4 LITE, 1 PANEL DOOR TO A 6 LITE, 2 PANEL DOOR FOR SECURITY.
8. THE ROOF OVER THAT GARAGE DOOR WAS CHANGED FROM A SHED ROOF TO A HIP ROOF WITH BRACKETS AS SHOWN. BRACKETS WILL BE REINSTALLED OVER 4/5 TRIM



METAL PORCH RAIL DESIGN



AS BUILT PORCH WITH SQUARE COLUMNS



AS BUILT GARAGE SIDE DOOR & ROOF



SOUTH ELEVATION WITHOUT CUPOLA



30 in. x 30 in. x 70 in. Coventry Vinyl Cupola with Copper Eagle Weathervane

11. 145 Maplewood Avenue

- Recommended Approval

Background: The applicant is seeking approval for the installation of a sculpture in the pocket park.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-642

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/27/2023

Primary Location

145 MAPLEWOOD AVE

Portsmouth, NH 03801

Owner

145 MAPLEWOOD AVENUE

LLC

210 COMMERCE WAY SUITE

300 PORTSMOUTH, NH

03801

Applicant

Christopher Lizotte

603-518-2279

clizotte@proconinc.com

PO Box 4430
Manchester, NH 03108

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Pocket park sculpture

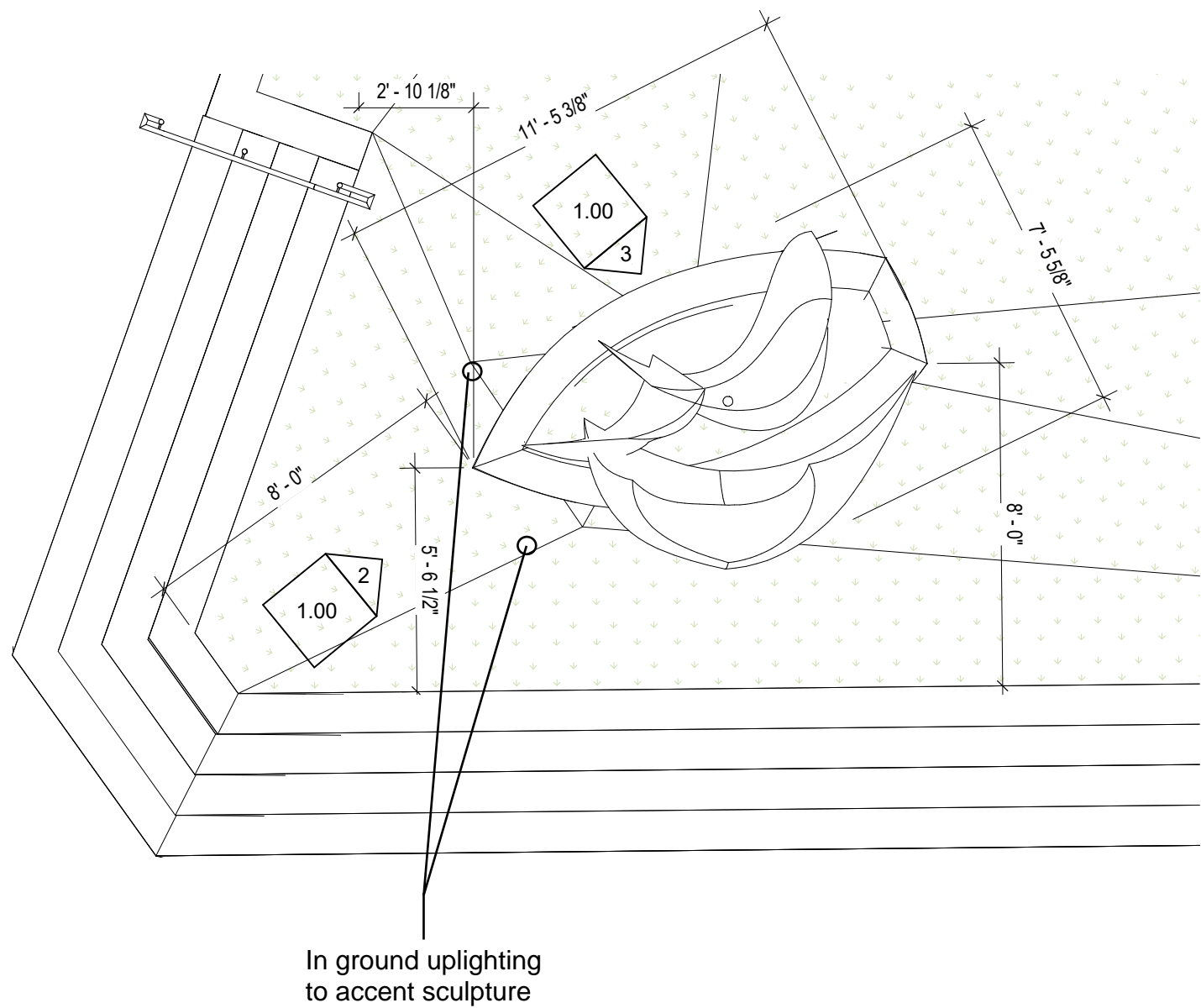
Description of Proposed Work (Planning Staff)

Project Representatives

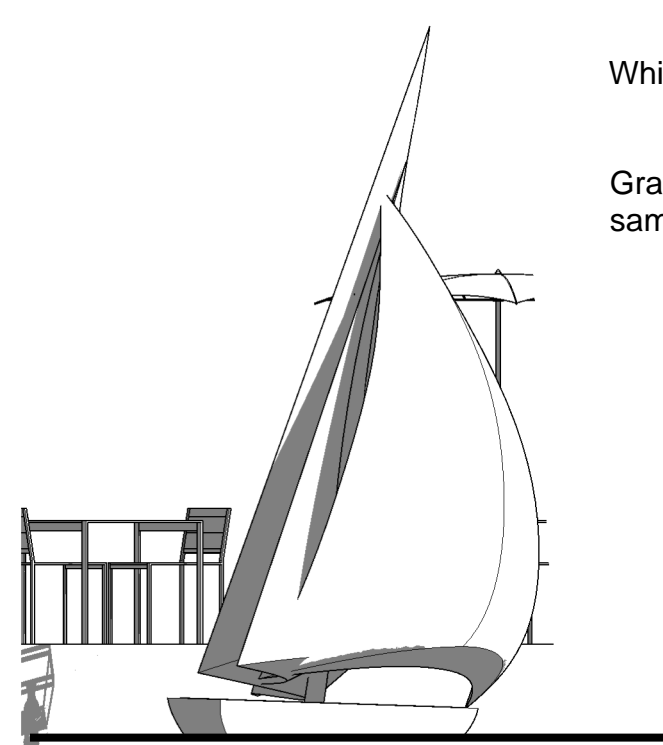
Relationship to Project

Architect

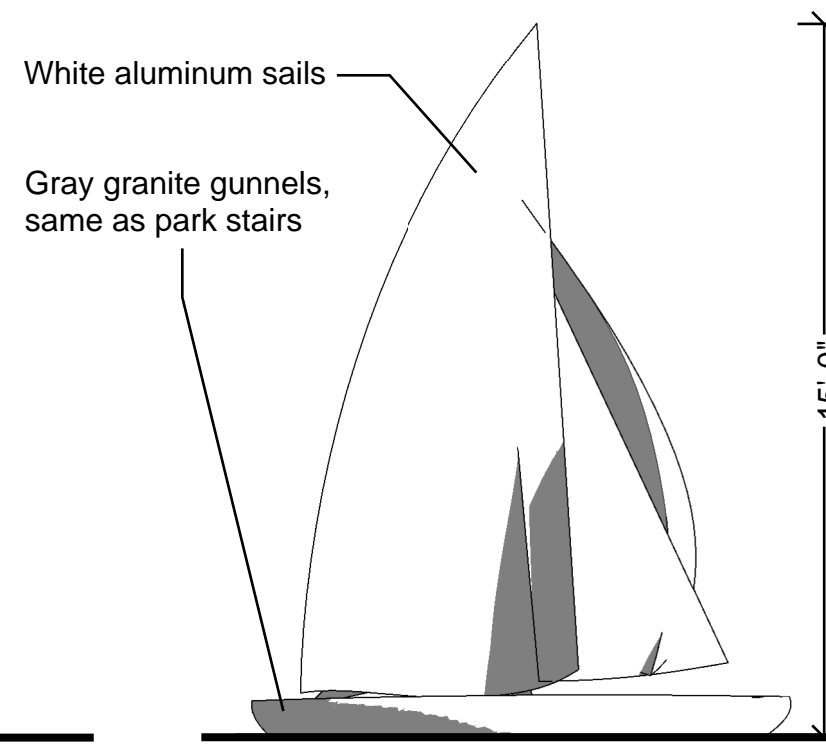
If you selected "Other", please state relationship to project.



VLO 12V LED In-Ground Accent **KICHLER**



2 SOUTH WEST ELEV.
1/4" = 1'-0"



3 NORTH WEST ELEV.
1/4" = 1'-0"

1 SCULPTURE - PLAN
1/4" = 1'-0"



12. 161 Deer Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of exterior lighting.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-644

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/27/2023

Primary Location

161 DEER ST
Portsmouth, NH 03801

Owner

EIGHTKPH LLC
233 VAUGHN ST UNIT 301
PORTSMOUTH, NH 03801

Applicant

Carla Goodknight
 603-431-2808
 carla@cjarchitects.net
 233 Vaughan Street
Suite 101
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

70 Maplewood

Project Information

Brief Description of Proposed Work*

This application is for administrative approval of a proposed exterior light fixture per stipulation 2.9 from the Planning Board 15/15/22 Approval Letter.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

City of Portsmouth
 Historic District Commission & Planning Department
 1 Junkins Avenue
 Portsmouth, NH 03801

July 5, 2023

70 MAPLEWOOD AVE - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

Dear Chairman Wyckoff,

This application is for administrative approval of a proposed exterior light fixture per stipulation 2.9 from the Planning Board 12/15/22 Approval Letter.

Stipulation:

2.9) Dark sky compliant lighting shall be installed along the entrance side of the building.

Thank you for your consideration.
 Sincerely,



Carla Goodknight, AIA
 Principal, CJ Architects LLC

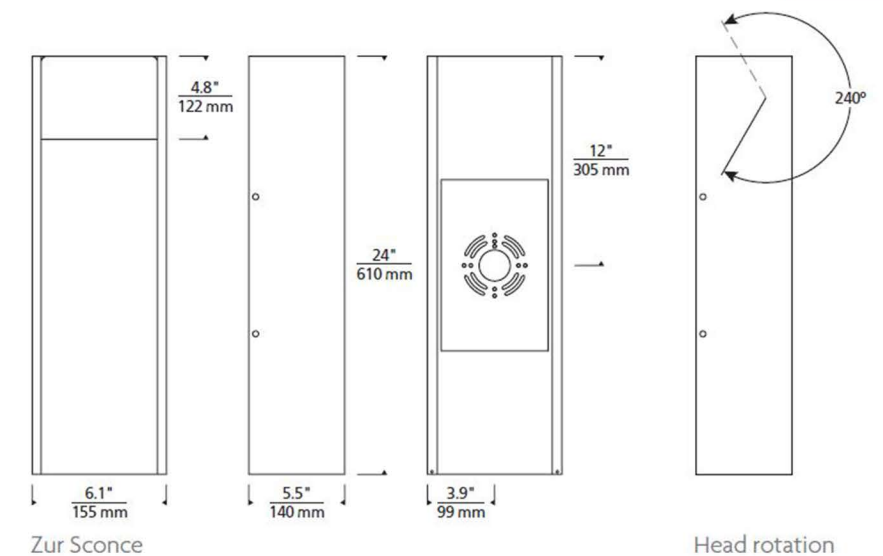


ZUR 24 WALL SCONCE
 COLOR: BLACK

SPECIFICATIONS

LUMENS	45°: 1613, 0°: 910
WATTS	20
VOLTAGE	Universal 120-277V, with integral transient 2.5kV surge protection (driver)
DIMMING	0-10, ELV
LIGHT DISTRIBUTION	Adjustable
OPTICS	40° (2)
MOUNTING OPTIONS	Wall
ADJUSTABILITY	Head pivots 240°
PERFORMANCE OPTIONS	Photocontrol / In-Line Fuse
CCT	2700K, 3000K or 4000K
CRI	90+
COLOR BINNING	3 Step
BUG RATING	45°: B0-U1-G1, 0°: B1-U0-Go
DARK SKY	Compliant (Aimed down)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Marine Grade Powder Coat
LED LIFETIME	L70; 70,000 Hours
WARRANTY*	5 Years
WEIGHT	20 lbs.

7000WZUR	CRI/CCT	LENGTH	FINISH	VOLTAGE	DISTRIBUTION	OPTIONS
	927 90 CRI, 2700K	24 24"	Z BRONZE	UNV 120V-277V	A ADJUSTABLE	NONE
	930 90 CRI, 3000K		B BLACK			PC BUTTON PHOTOCONTROL
	940 90 CRI, 4000K					LF IN-LINE FUSE



70 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED EXTERIOR LIGHT FIXTURE

HDC APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023



1.0



DEER STREET ELEVATION

TYPICAL LIGHT FIXTURE LOCATIONS



MAPLEWOOD AVENUE ELEVATION

TYPICAL LIGHT FIXTURE LOCATIONS



RAIL CORRIDOR ELEVATION

LIGHTS MOUNTED ON WALL BEHIND CANOPY, SEE PLAN



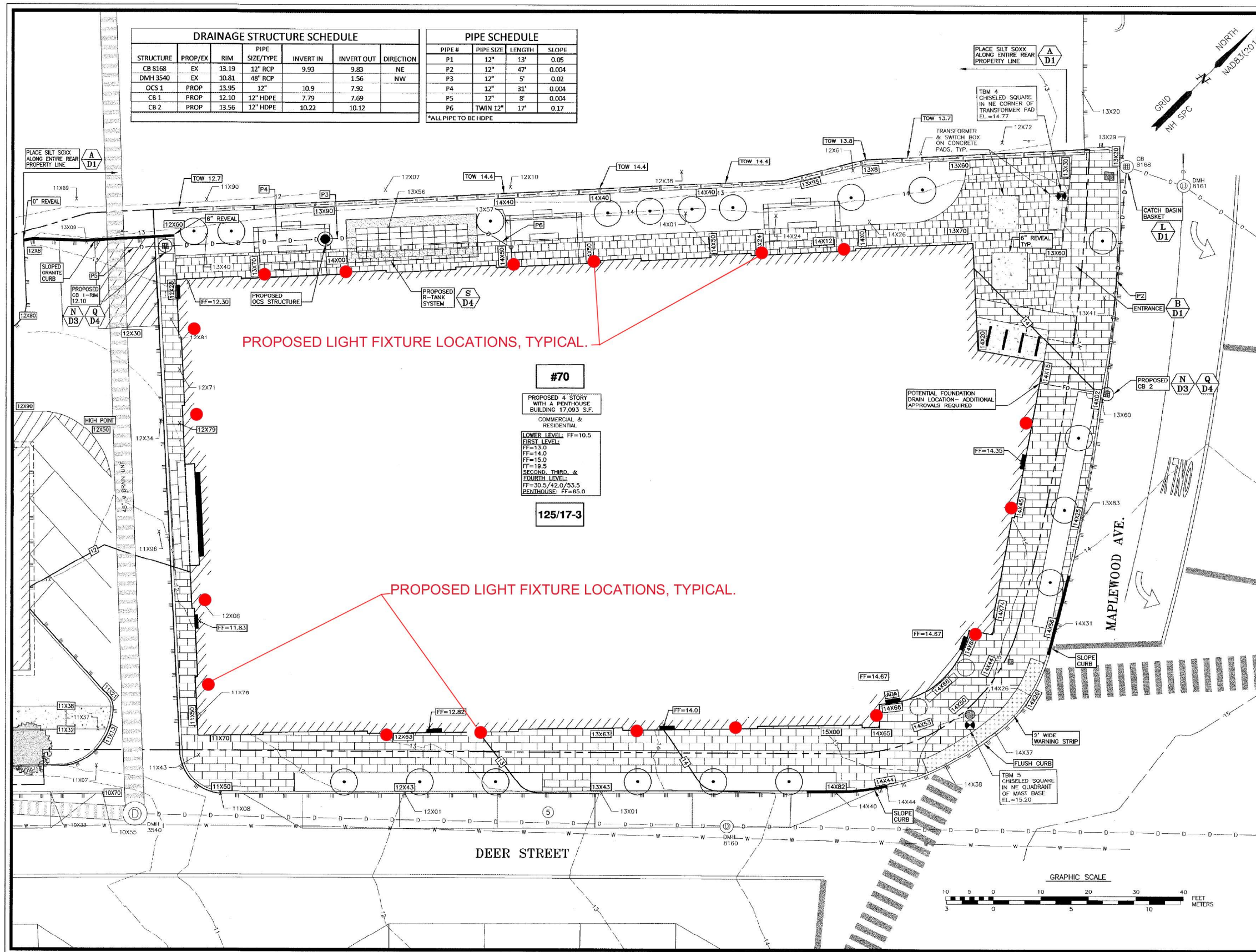
WEST ELEVATION

TYPICAL LIGHT FIXTURE LOCATIONS

DRAINAGE STRUCTURE SCHEDULE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
CB 8168	EX	13.19	12" RCP	9.93	9.83	NE
DMH 3540	EX	10.81	48" RCP	1.56	1.56	NW
OCS 1	PROP	13.95	12"	10.9	7.92	
CB 1	PROP	12.10	12" HDPE	7.79	7.69	
CB 2	PROP	13.56	12" HDPE	10.22	10.12	

PIPE SCHEDULE			
PIPE #	PIPE SIZE	LENGTH	SLOPE
P1	12"	13'	0.05
P2	12"	47'	0.004
P3	12"	5'	0.02
P4	12"	31'	0.004
P5	12"	8'	0.004
P6	TWIN 12"	17'	0.17

*ALL PIPE TO BE HDPE

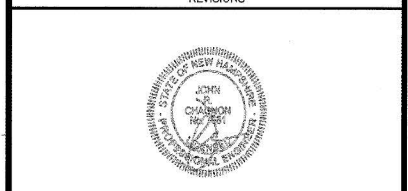


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9229
Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7253) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

SITE DEVELOPMENT
EIGHTKPH, LLC
70 MAPLEWOOD AVENUE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
3	GRADING-REAR	11/17/22
2	BUILDING FOOTPRINT	10/20/22
1	DRAIN PIPE SIZE	9/6/22
0	ISSUED FOR COMMENT	8/23/22



SCALE: 1" = 10' AUGUST 2022
GRADING & DRAINAGE PLAN **C6**

70 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED EXTERIOR LIGHT FIXTURE
HDC APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023



1.2

13. 179 Pleasant Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design:

1. Raise transom windows and canopy height at back addition.
2. Add dormer to the addition behind the Carriage House and delete one window.
3. Relocate the door slightly to the right.
4. Remove one grade level window at Carriage House and one at Addition.
5. Raise transom windows to match all transom windows on back addition.
6. Remove one door and respace approved windows.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-645

Historic District
Commission Work
Session or Administrative
Approval Application
Status: Active
Submitted On: 6/28/2023

Primary Location

179 PLEASANT ST
Portsmouth, NH 03801

Owner

MILL POND VIEW LLC
PO BOX 399 NOTTINGHAM,
NH 03290

Applicant

Carla Goodknight
 603-431-2808
 carla@cjarchitects.net
 233 Vaughan Street
Suite 101
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

This application is for administrative approval of six changes to the approved design.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

July 5, 2023

179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

Dear Chairman Wyckoff,

This application is for administrative approval of six changes to the approved design. Please note: There are no changes proposed to the Historic Mansion approval. The brick mock-up required per the 3/2/2022 approval is illustrated on page 2.0. A mockup review visit on site may be coordinated at the discretion of the Planning Department.

1. Raise transom windows and canopy height at Back addition.

Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows, which in turn allowed for the canopy to be elevated fully above the doors below.

2. Add dormer to the addition behind the Carriage House and delete one window.

Floor plan developments require an egress window in this location. Replicating the approved Annex dormer size and details, this dormer in the new construction portion of the addition will contain Marvin clad ultimate UCA 2848E egress hardware windows. Marvin clad ultimate windows are currently approved on window "E" (now deleted) in this location.

3. Relocate door slightly to the right.

Floor plan developments require adjustment of the door in this location.

4. Remove one grade level window at Carriage House and one at Addition.

Finish grades in this location will cause snow and water to accumulate against the building due to the proximity of the stone wall on the adjacent property.

5. Raise transom windows to match all transom windows on Back Addition.

See item #1. Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows.

6. Remove one door and respace approved windows.

Floor plan developments require removal of the door in this location and adjustment of the window spacing to the right.

Thank you for your consideration.

Sincerely,



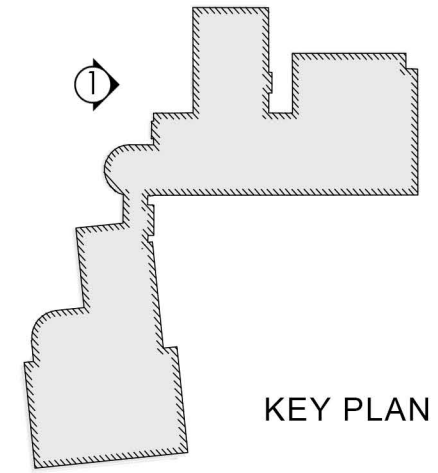
Carla Goodknight, AIA
Principal, CJ Architects LLC
Representing owners:
Mill Pond View, LLC.



APPROVED SIDE ELEVATION (3/1/23)



PROPOSED SIDE ELEVATION



KEY PLAN

1. Raise transom windows and canopy height at Back addition.
Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows, which in turn allowed for the canopy to be elevated fully above the doors below.

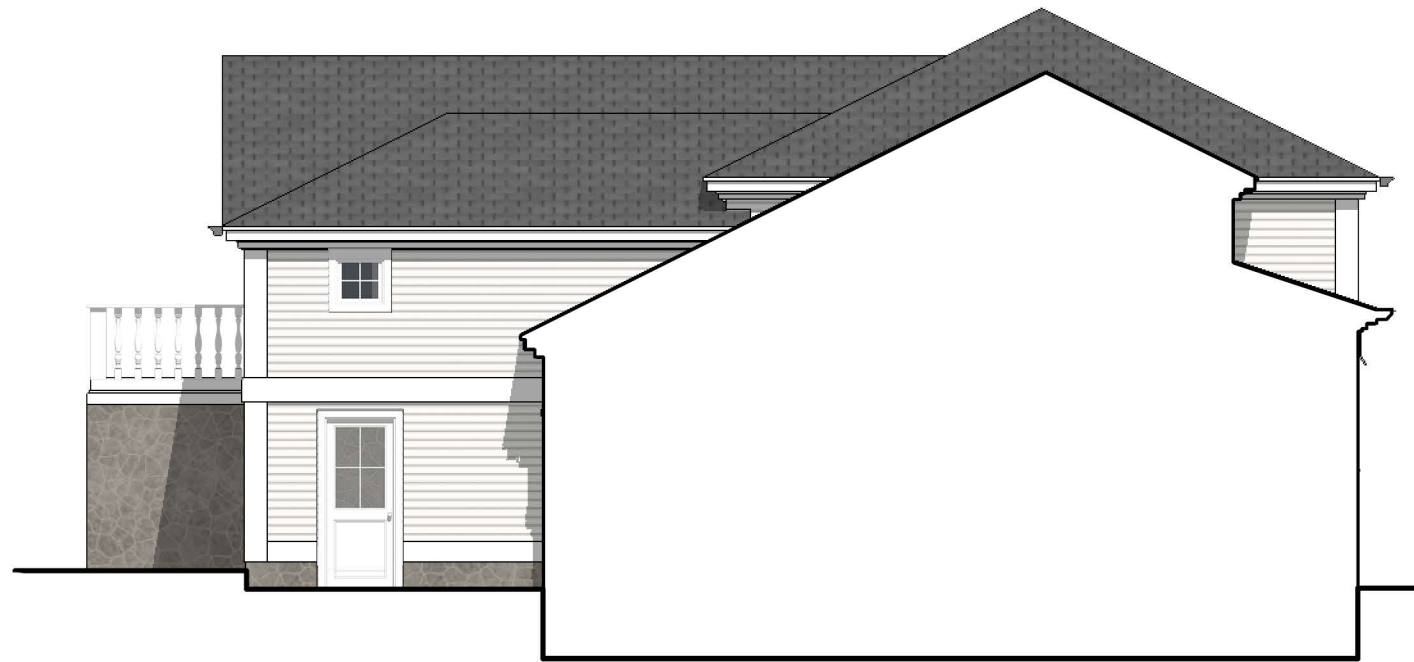
PROPOSED SIDE ELEVATION

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

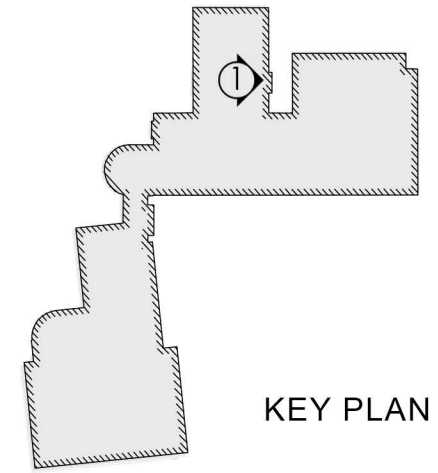
HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023



1.0



APPROVED SIDE ELEVATION (9/7/22)



KEY PLAN

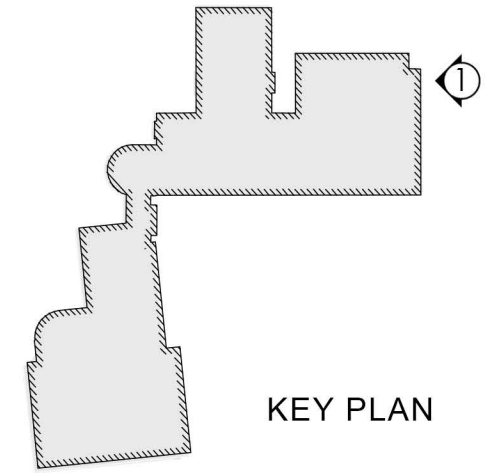
2. Add dormer to the addition behind the Carriage House and delete one window.
 Floor plan developments require an egress window in this location. Replicating the approved Annex dormer size and details, this dormer in the new construction portion of the addition will contain Marvin clad ultimate UCA 2848E egress hardware windows. Marvin clad ultimate windows are currently approved on window "E" (now deleted) in this location.



3. Relocate door slightly to the right.
 Floor plan developments require adjustment of the door in this location.

PROPOSED SIDE ELEVATION

PROPOSED SIDE ELEVATION



KEY PLAN

APPROVED SIDE ELEVATION (9/7/22)

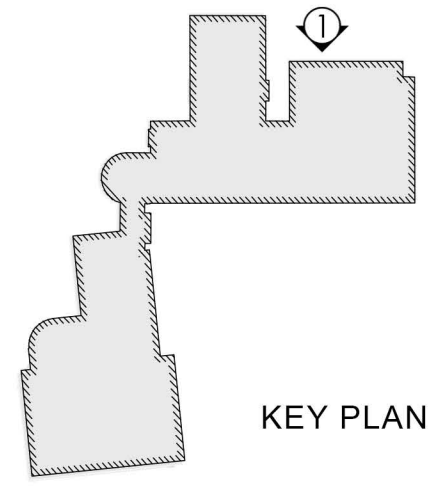


5. Raise transom windows to match all transom windows on Back Addition.
See item #1. Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows.

4. Remove one grade level window at Carriage House and one at Addition.
Finish grades in this location will cause snow and water to accumulate against the building due to the proximity of the stone wall on the adjacent property.

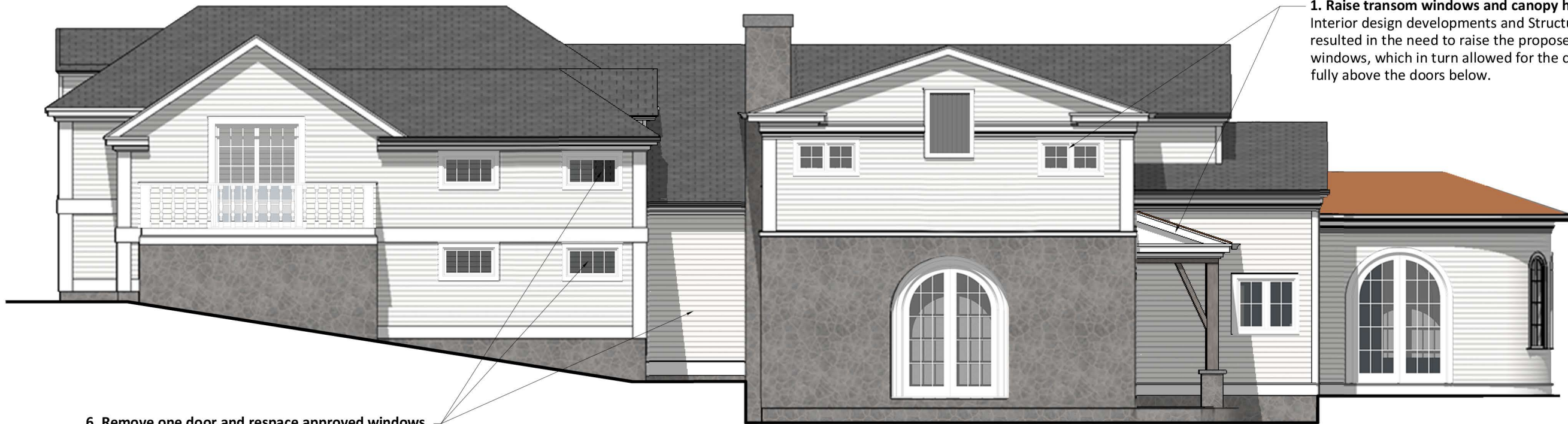
PROPOSED SIDE ELEVATION

PROPOSED SIDE ELEVATION



KEY PLAN

APPROVED REAR ELEVATION (3/1/23)



1. Raise transom windows and canopy height at Back addition.
Interior design developments and Structural considerations resulted in the need to raise the proposed bar of transom windows, which in turn allowed for the canopy to be elevated fully above the doors below.

6. Remove one door and respace approved windows.
Floor plan developments require removal of the door in this location and adjustment of the window spacing to the right.

PROPOSED REAR ELEVATION

PROPOSED REAR ELEVATION

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023





PROPOSED BRICK CHIMNEY MOCKUP



PROPOSED BRICK CHIMNEY MOCKUP



EXISTING BRICK CHIMNEY



EXISTING BRICK CHIMNEY

Date of HDC Approval: March 2, 2022

Stipulations:

- 1) The color of the Morin Brick shall match the existing and be submitted and approved prior to installation.
- 2) There shall be an on-site mockup of the brick work prior to installation.

The bricks that are being used for the reproduction of the annex chimney are all reclaimed waterstruck bricks and will originate from (2) properties. Some of the brick will come from 93 Pleasant Street here in Portsmouth and that building dates back to 1818. Some of the brick will come from one of the original mill buildings in Manchester NH on Elm Street and the building dates back to 1890.

All of the bricks were original to those two structures, and they are all waterstruck.

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

ANNEX BRICK CHIMNEY MOCKUP

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 5, 2023



2.0

14. 112 Mechanic Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of mechanical equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

112 Mechanic St



1" = 40 ft

Property Information

Property ID Location Owner

0103-0025-0000
112 MECHANIC ST
GREGG ERIC J REV TRUST



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

City of Portsmouth, NH June 7, 2023

112 Mechanic



1" = 40 ft

Property Information

Property ID Location
Owner

0103-0025-0000
112 MECHANIC ST
GREGG ERIC J REV TRUST



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Placement of the Congress
will be six feet from the back property line
Properties are separated by a six foot two
inch high fence.

May 31, 2023 (Updated June 9, 2023)

Written Statement / Scope of Proposed Work

Author: Eric Gregg owner of 112 Mechanic St. Portsmouth

112 Mechanic has an old, inefficient central heating unit and no air conditioning (which has become increasingly uncomfortable/intolerable during the height of Summer). I would like to install a dual zone split (heat pump) that would be much more energy efficient than the current central heat furnace and also provide air conditioning. Ideally it would be great to get this done before August if the various Portsmouth committees can see fit to approve this minor project.

This requires a dimensional variance because the compressor is expected to be placed to the right of the window on the southern side of the house (side of the house that faces the driveway and it will be placed six (6) feet from the lot line at the back of the lot that abuts 210 Gates Street. The solid wood fence that separates 112 Mechanic from 210 Gates Street at the back of the driveway is 6'2" high so this compressor should be non-visible to 210 Gates Street from all but the highest perches on that property. I have discussed this potential minor improvement to the property with Clay Emery (owner of 114 Mechanic) whose home is adjacent to 112 Mechanic and across the driveway and he has indicated that he is fine with this proposed, minor renovation. I have spoken with David Adams (210 Gates Street) and he has stated that he has "no issue" with this minor project. There's more than 14' between 114 Mechanic and 112 Mechanic so there should be ~13' between the outside envelope of the latticework that will camouflage the compressor and 114 Mechanic) so no dimensional variance should be needed in that direction). The compressor is only ~13 inches wide, ~37 inches high and ~40 inches long. The plan is to enclose the compressor in latticework that is painted the same color as the home (to camouflage it). The intent is to have it placed up against and underneath or just to the side of the window on the southern side of the house. The intent is to have it back as far as possible from Mechanic Street so that it has as little visibility from the Mechanic Street as possible even though it should be well camouflaged with the lattice work enclosure.

Lee Mechanical (to be used for this project) successfully did the same type installation of a lattice work enclosed heat pump about six years ago two houses over from 112 Mechanic at 199 Gates Street. I am including pictures of how that turned out.

I thank the various committees of the city of Portsmouth in advance for their consideration of this proposed minor renovation.

Zoning Ordinance to be met, as per City Ordinance 10.233.20:

10.233.21 The variance will not be contrary to the public interest:

The proposed condenser will be placed in the least noticeable place on the property and will be camouflaged by latticework that will be painted the same distinct color as the home. Per the above, the two immediate abutters (114 Mechanic and 210 Gates Street) have verbally indicated they are each ok with this proposed minor improvement to the

property. Further, as per Trane (one of the largest HVAC manufacturers in the world) "a heat pump can transfer 300 percent more energy than it consumes. In contrast, a high-efficiency gas furnace is about 95 percent efficient." And to be clear, what this heat pump will be replacing is a gas furnace that is not high efficiency, so the pick-up in energy efficiency is going to be dramatic (4x+) which should be very good for the environment / emissions / global warming. Therefore, the variance will not be contrary to the public interest.

10.233.22 The spirit of the Ordinance will be observed:

The property at 112 Mechanic Street is very unusual. The home is situated right on the property line with 210 Gates Street. There's very little space between the home and the road on Gates Street (four feet). We have no interest in putting anything Mechanical in front of the home due to curb appeal and HDC considerations. If a variance is granted to accommodate for this unusual situation and with respect for the abutters, the spirit of the ordinance will be observed.

10.233.23 Substantial justice will be done:

The property owner wants to place the condenser on the side of home in the driveway as far back as is reasonably possible from the road where it will disrupt the neighbors and the general neighborhood as little as possible on this unusual lot, with immediate abutter approval. Substantial justice will be done for the owner and the neighborhood and the community in general (much higher efficiency HVAC/lower emissions/etc) if this variance is granted.

10.233.24 The values of the surrounding properties will not be diminished:

Because the proposed generator is well hidden and camouflaged it will not diminish the surrounding property valued.

10.233.25 Literal enforcement of the provisions of the Ordinance would result in unnecessary hardship:

The proposed condenser constitutes a reasonable, minor improvement to this single family home. We have increasingly hot days during the summers and this home does not have adequate air conditioning. To try to address the need for air conditioning, window units are typically installed which are not attractive to look at for anyone in the neighborhood and are a real burden to install and uninstall every year. Further this homeowner does believe it to be the right thing (for the community, environment and their home) to be using a materially less efficient furnace than what can be achieved with the proposed heat pump installment. Given that this condenser will be put far back on the property, as far from sight as possible from the street and camouflaged with an appropriately painted latticework enclosure, this minor improvement should gain little to no attention from neighbors and passersby, but without it it would constitute an unnecessary hardship to the owner due to an insufficient HVAC situation that currently exists at the property.



199 Gates Street had a heat pump installed ~6 years ago by the same HVAC company (Stevens Mechanical) I would be using for this job. See in the right photo the latticework used to camouflage the compressor. We would be doing the same thing putting latticework around the compressor and painting it the same color as the house at 112 Mechanic.



112 Mechanic is on the right. Placement of the compressor would be near the end of the driveway either 6 feet from the fence on the lot line with 210 Gates Street and to the right of the window that can be seen (side view) to the right of the car on the South side of the house (not under the bay window on the far right of the photo above).

There's no suitable place to put the compressor in front of 112 Mechanic.

On the right side 112 Mechanic there's only four feet between the house and Gates Street and there's a row of hedges and lilacs.

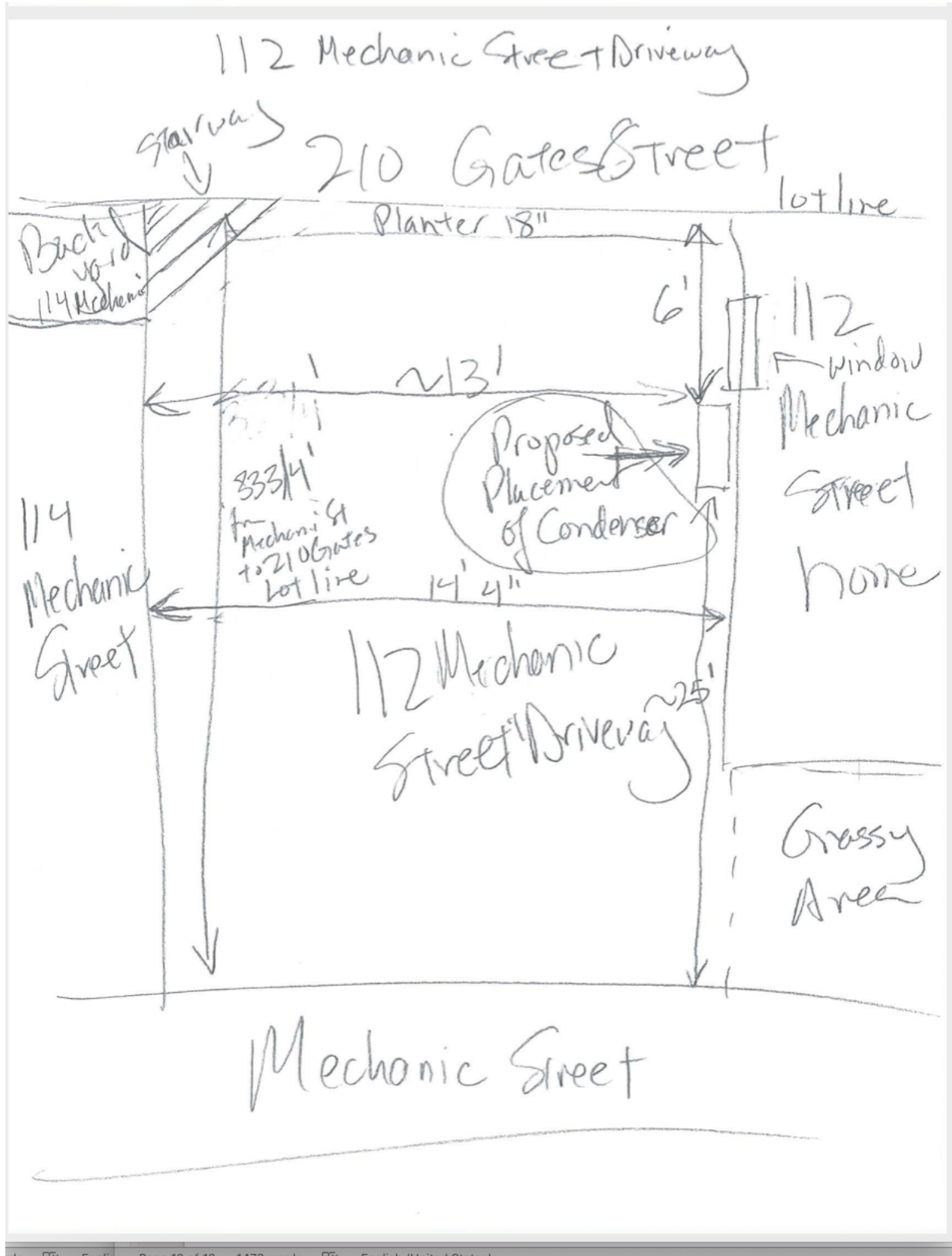
Note from Lee Stevens on need for placement where we are proposing placing it:

Jun 7, 2023,
9:11 PM (13
hours ago)

Evaluating the site left only one option for placement of the condenser. The front, back, and street (Gates) side of the property have little to no available area to meet the requirements due to property lines and street setbacks. The only location viable for the condensing unit is towards the rear of the driveway side of 112 Mechanic St up against home.

The condenser would be on a raised and level stand, surrounded by a paint matched lattice, and the refrigerant lines will be also paint matched as to blend in seamlessly.

Lee Stevens
STEVENS MECHANICAL
Rochester, NH
603-394-5151



STEVENS MECHANICAL, 24/7 HVAC Svc Co. LLC

151 Flagg Rd
Rochester, NH 03839 US
(603)394-5151
leestevens247@live.com
www.STEVENSMECHANICALNH.com

Estimate

ADDRESS

Eric Gregg
112 Mechanic St
Portsmouth, NH

SHIP TO

Eric Gregg
112 Mechanic St
Portsmouth, NH

ESTIMATE # 1017414

DATE 03/08/2023

ACTIVITY	QTY	RATE	AMOUNT
Air conditioning:Ductless unit Ductless unit includes condenser and evaporator head(s), line set and pad. 7K and 9K. With lattice covering and color matched to house	1	5,510.00	5,510.00
16 Electrical Sub contract electrical estimate	1	1,000.00	1,000.00
01 Plans and Permits Plans and Permits required by code and may vary on town or city.	2	100.00	200.00

Thank you for allowing us to quote your job.

TOTAL

\$6,710.00

Estimates are good for 15 days and are subject to change due to market fluctuations of equipment prices. This is only an **ESTIMATE** and job cost may change with additional parts or equipment needed to complete the job.

To confirm your estimate, please submit a 50% deposit to schedule your job and order materials, thank you.

Accepted By

Accepted Date



Search by keyword, part #, €

SIGN IN | REGISTER



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Rewards

HVAC/R / Mini-Split Ductless Systems / Enhanced Capacity Systems

Samsung JXH20S3B



Outdoor Unit 3-Port Heat Pump Max Heat FJM 20K BTU 208-230 Volt AJ020BXS3CH/AA

Account required to order

Installation Manual



Product Details

Brand	Samsung
Product Type	3-Port Heat Pump Max Heat FJM
Heating BTU	20KBTU
Voltage	208-230V
Phase	1PH
Refrigerant	R410A
Part Number	AJ020BXS3CH/AA
Finish	White
Length	13IN
Width	37IN
Height	39-5/16IN

Feedback

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F.W. Webb Company
160 Middlesex Tpke
Bedford, MA 01730



15. 401 State Street

- TBD

Background: The applicant is seeking approval for the replacement of an existing exhaust vent and the installation of new HVAC equipment.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-646

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 6/30/2023

Primary Location

401 STATE ST

Portsmouth, NH 03801

Owner

TRINITY WATER REALTY LLC

401 STATE ST M204

PORTSMOUTH, NH 03801

Applicant

Jeremiah Comeford

603-743-4822

jeremiah@prohvac1.com

PO Box 1173
Dover, NH 03821

Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

Project Information

Brief Description of Proposed Work*

Install heated make up air unit and mini split for litchen

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor



New Unit



Existing Unit



Existing Unit Location+ Location of new condenser.



New Condenser Style.

401 State Street



Property Information

Property ID 0116-03LL-0000
Location 401 STATE ST #P306
Owner L&J DARLING FAMILY REV TRUST



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 06/21/2023
Data updated 3/9/2022

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

16. 189 Gates Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of a fence.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

To: Portsmouth Historic District Commission
Portsmouth City Hall
1 Junkins Avenue
Portsmouth, NH 03801

Re: Fence Installation between 189 Gates and 199 Gates St.

Dear HDC Members,

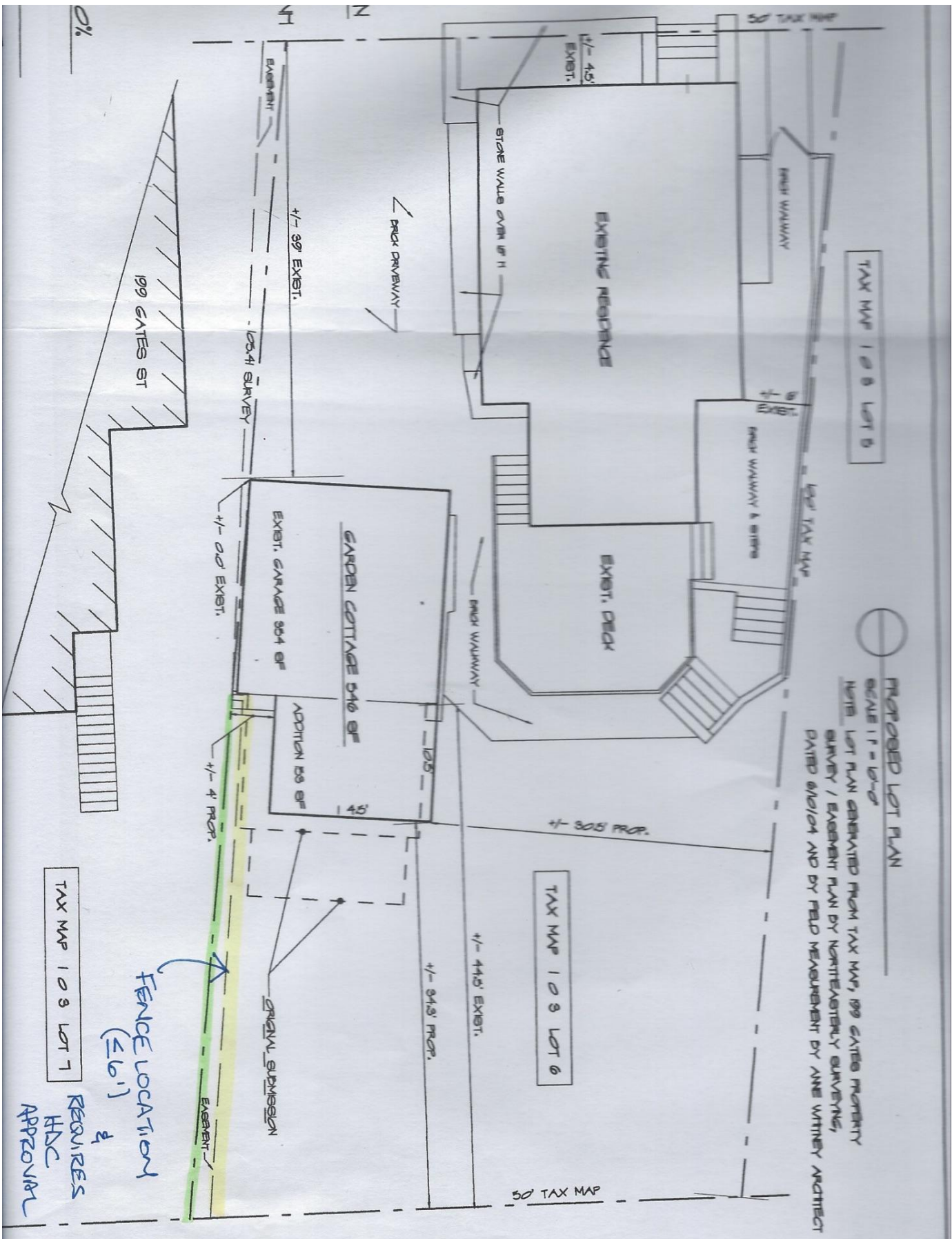
We are applying for permission to construct a fence **on the easement line** between our backyard and the backyard at 199 Gates Street. This request is a stipulation requirement made by the Portsmouth Planning Board in order to be granted a conditional use permit for our Garden Cottage building project. The fence would be installed by Platinum Fence Company. They have installed similar fences in abutting backyards on lower Gates Street, so our design would match those of our backyard neighbors. It would be a cedar fence, six feet high and about 44' feet in length. It would extend from the back of our garage to the fence along the back of the Point of Graves at the end of our two properties. This fence would replace a shorter fence that sits in between the property line and easement line of the two properties. Again, we are requesting that the new fence be installed on the easement line so our neighbors at 199 Gates Street have access to that section of land in the easement. Our neighbors, Devan Quinn and James Butler, agree with the placement of the new fence and the proposed fence design.

Please see the following attached exhibits:

- A. Lot plan and survey plan with easement line highlighted in **YELLOW** and property line highlighted in **GREEN**
- B. Picture and description of the fence to be installed
- C. Letter from our neighbors, Devan Quinn and James Butler, and us stating our agreement with the fence placement and design

Judy and Pat Nerbonne
Nerbonne Family Revocable Trust
189 Gates Street
Portsmouth, NH 03801
(603) 475-4108

EXHIBIT A1: Proposed Lot Plan from Architect



PROPOSED LOT PLAN
 SCALE 1" = 6'-0"
 NOTE: LOT PLAN GENERATED FROM TAX MAP, 199 GATES PROPERTY SURVEY / EASEMENT PLAN BY NORTHEASTERLY SURVEYING, DATED 6/10/04 AND BY FIELD MEASUREMENT BY ANE WITNEY ARCHITECT

TAX MAP 108 LOT 7
 REQUIRES
 HDC
 APPROVAL

EXHIBIT A2: Survey map from Easterly Surveying Company showing location of property line, current fence, and easement line

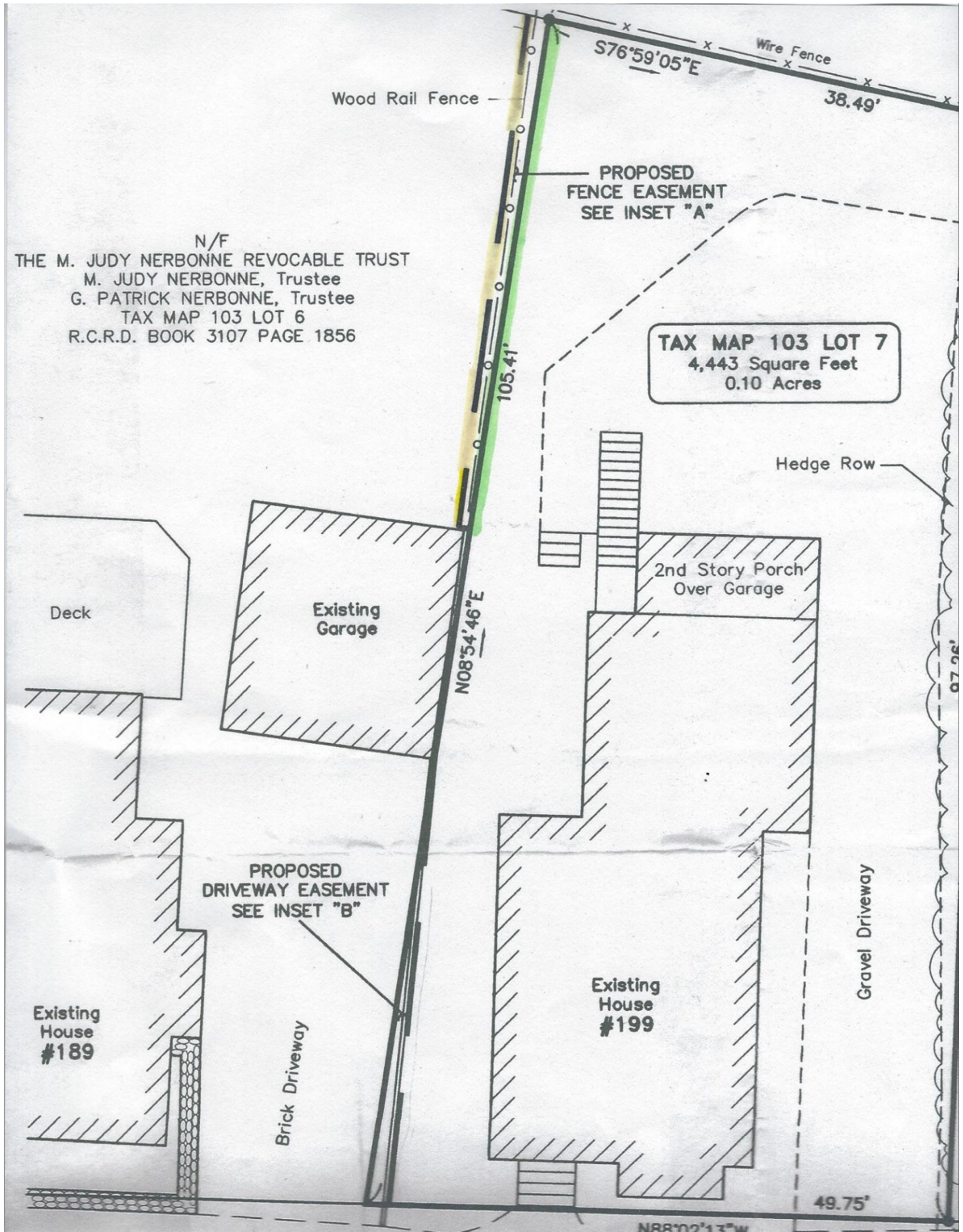


EXHIBIT B: Pictures and description of fence: The fence will be 44' long. It will be made of 6' #1 cedar tongue and groove with 2 x 4 rails, 1 x 2 section cap, 5" x 5" posts with New England Post Caps. The fence will have six even sized panels.

This photograph is of two identical fences, different ages in abutting backyards on Gates Street. The nearest fence is between the backyards of 183 and 175 Gates. The furthest fence, the newer one, is between 171 and 175 Gates Street. The newer one was just installed by Platinum Fence, the company we would hire to install this fence, and is the exact design of the fence we would like installed.



This photo shows what the fence would look like facing our neighbor's yard at 199 Gates.



June 30, 2023

To the Historic District Commission,

We, Devan Quinn and James Butler, residents of 199 Gates St., are writing about an application from The Nerbonne Family Revocable Trust at 189 Gates St.

The Planning Board has required 189 Gates St to erect a fence as a stipulation of a building permit on the property line between 189 Gates and 199 Gates St. Doing so would prevent us, residents of 199 Gates St, from accessing the easement which extends over the property line into the property of 189 Gates St. We have asked 189 Gates St to erect the fence on the easement line instead of the property line and they have agreed and we support their request to do so.

We attended a site walk with Nick Cracknell where we learned that the maximum height of the fence allowed is six feet. James Butler is 6'5" and a 6' fence is not quite a privacy fence in that respect. Nick said the HDC might be able to accommodate that issue. It would be appreciated if the height of the fence could be at least as high as the people on the other side of it.

The design of the fence in cedar is fine with us. Nick mentioned that the fence may have to slope (lose height) as it approaches the back of the property to meet the height of the perpendicular fence at the Point of Graves Burial Ground, in which case, we would request to avoid or minimize the slope, again for the purpose of privacy.

Thank you.

Respectfully,

Devan Quinn
James Butler
Residents of 199 Gates St.

Historic District Commission

Staff Report – July 5th, 2023

July 5th MEETING

Administrative Approvals:

- | | |
|---------------------------------|------------------------|
| 1. 1 Walton Alley | - Recommended Approval |
| 2. 132-134 Middle Street | - Recommended Approval |
| 3. 303 Pleasant Street | - Recommended Approval |
| 4. 3 Walker Street | - TBD |
| 5. 111 Bridge Street (unit 205) | - Recommended Approval |
| 6. 111 Bridge Street | - Recommended Approval |
| 7. 92 Pleasant Street | - TBD |
| 8. 70 Court Street | - TBD |
| 9. 37 Whidden Street | - Recommended Approval |
| 10. 138 Maplewood Ave. | - TBD |
| 11. 145 Maplewood Ave. | - Recommended Approval |
| 12. 161 Deer Street | - Recommended Approval |
| 13. 179 Pleasant Street | - Recommended Approval |
| 14. 112 Mechanic Street | - Recommended Approval |
| 15. 401 State Street | - TBD |

WORK SESSIONS – OLD BUSINESS:

- A. 37 Prospect Street (LUHD-563) (barn addition & connector)

PUBLIC HEARINGS – NEW BUSINESS:

1. 129 State St. (LU-22-78) (parapet wall)
2. 434 Marcy St. (LU-23-53) (2nd floor addition)
3. 172 Hanover St. (LU-23-96) (windows)
4. 111 State St. (LU-22-125) (Door, chimney, and dormer)
5. 202 Court St. (LUHD-623) (window and door)

WORK SESSIONS – NEW BUSINESS:

1. 14 Market St. (LUHD-639) (dormers)
2. 236 Union St. (LU-HD-628) (rear addition)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: July 5th

APPLICATIONS: 23

Historic District Commission

Project Address: 37 PROSPECT ST. (LUHD-563)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #A

A. Property Information - General:

Existing Conditions:

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 5,230 SF +/-
- Estimated Age of Structure: c.1790
- Building Style: Colonial
- Number of Stories: 2
- Historical Significance: Contributing
- Public View of Proposed Work: View from Prospect Street
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To construct an addition, connector and repurpose the barn.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

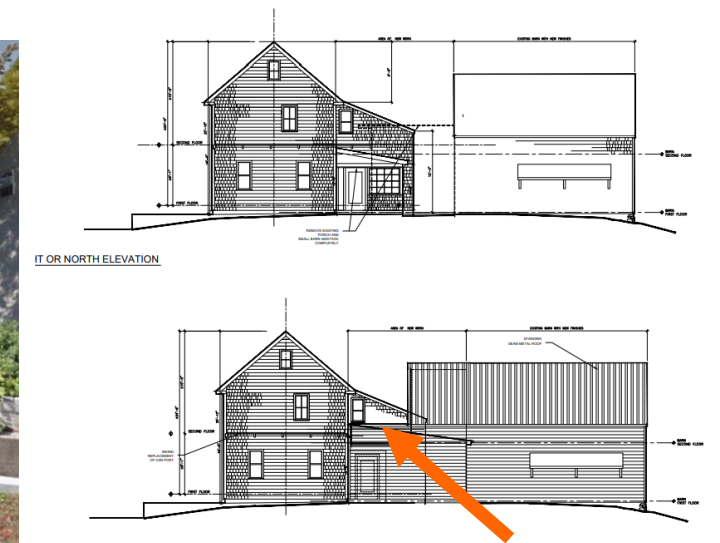
- The new building is located along Prospect Street in the Christian Shore neighborhood. It is surrounded with many contributing historic structures on a narrow street with buildings along the street with no front yard setbacks, shallow side yards and deeper rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

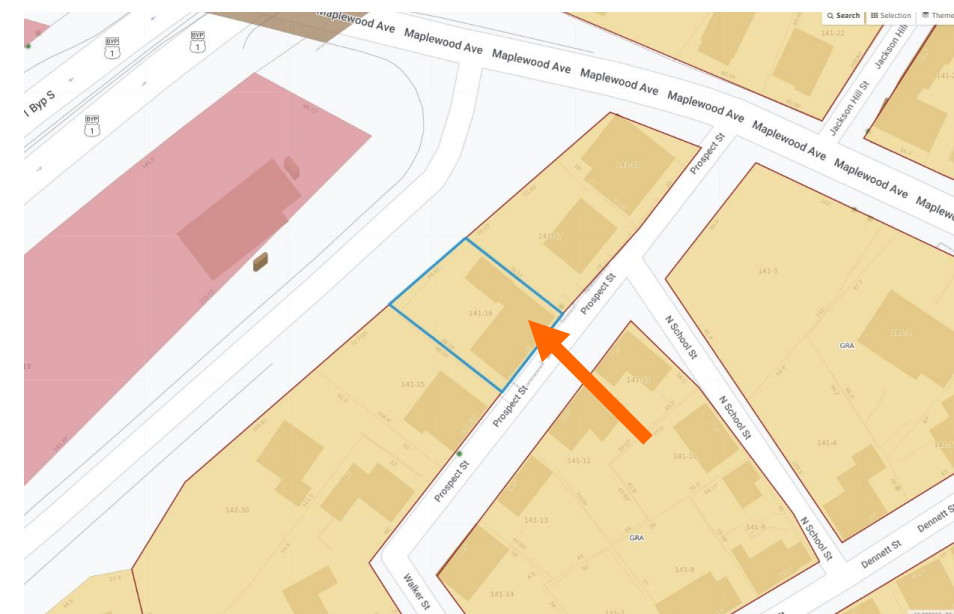
- The applicant is proposing to:
 - Add a 2-story rear addition with a connector and repurpose the barn.
 - **Note, the applicant has requested to postpone this item to the August meeting.**

• **Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, stoops and Decks (06) & Windows and Doors (08)**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

37 PROSPECT STREET (LUHD-563) – WORK SESSION #A (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<h3 style="margin: 0;">MODERATE PROJECT</h3> <h4 style="margin: 0;">- Barn Conversion, Connector and Addition -</h4>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
SITE DESIGN			30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 37 PROSPECT ST. Case No.: A Date: 7-5-23

Decision: Approved Approved with Stipulations Denied Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 129 STATE ST. (LU-22-78)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Single Family
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c1815
- Building Style: Federal
- Number of Stories: 3.0
- Historical Significance: NA
- Public View of Proposed Work: View from State and Sheafe Streets
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To modify the windows, door, skylights and roofline features.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

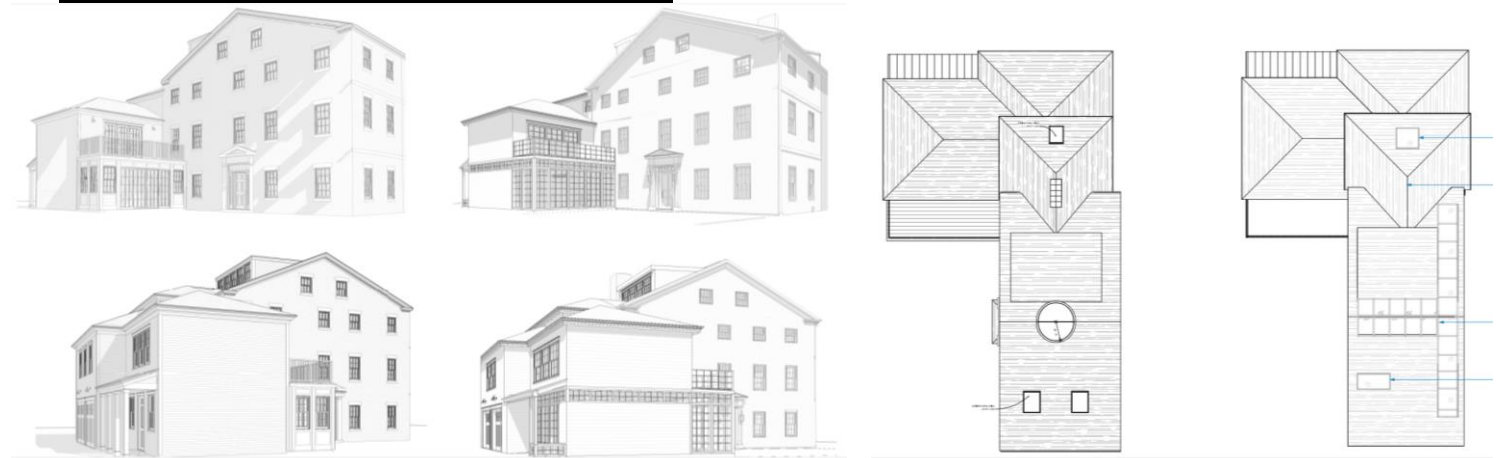
- The building is located along lower State Street and is surrounded with many contributing historic structures with uniform cornice heights and federal architectural design. The buildings are fronting directly along the street with no front yard setbacks and, where available, have shallow side or rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Address the stipulation for the roof parapet design
 - Modify the window, doors, skylights and oculus on the previously approved plan.

Design Guideline Reference – Guidelines for Roofing (04), Masonry & Stucco (07) & Windows and Doors (08)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

129 STATE ST. (LU-22-78) – PUBLIC HEARING #1 (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - Add a Masonry Parapet Wall & Change Windows, Doors and Skylight Design -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
27		Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
28		Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
29		Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
SITE DESIGN		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 129 STATE STREET Case No.: 1 Date: 7-5-23
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 434 MARCY STREET (LU-23-53)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 2,615 SF +/-
- Estimated Age of Structure: c. 1820
- Building Style: Federal
- Historical Significance: C
- Public View of Proposed Work: View from Marcy Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: Add a 2nd floor and attic addition.

C. Other Permits Required:

- Board of Adjustment
- Planning Board
- City Council
- Condo Association
- Abutting Property Owner

D. Lot Location:

- Terminal Vista
- Gateway
- Mid-Block
- Intersection / Corner Lot
- Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal
- Accessory
- Demolition

F. Sensitivity of Context:

- Highly Sensitive
- Sensitive
- Low Sensitivity
- "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Marcy Street near South Street. It's surrounded with many 2 - 2.5 story historic structures with shallow setbacks and an internal parking lot area.

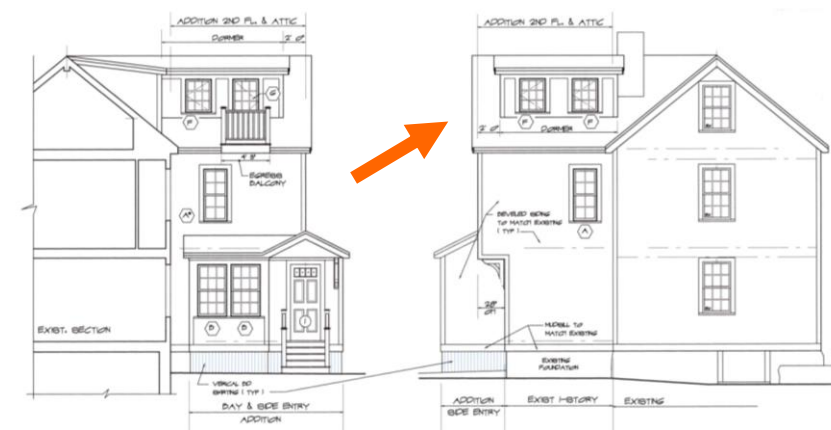
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

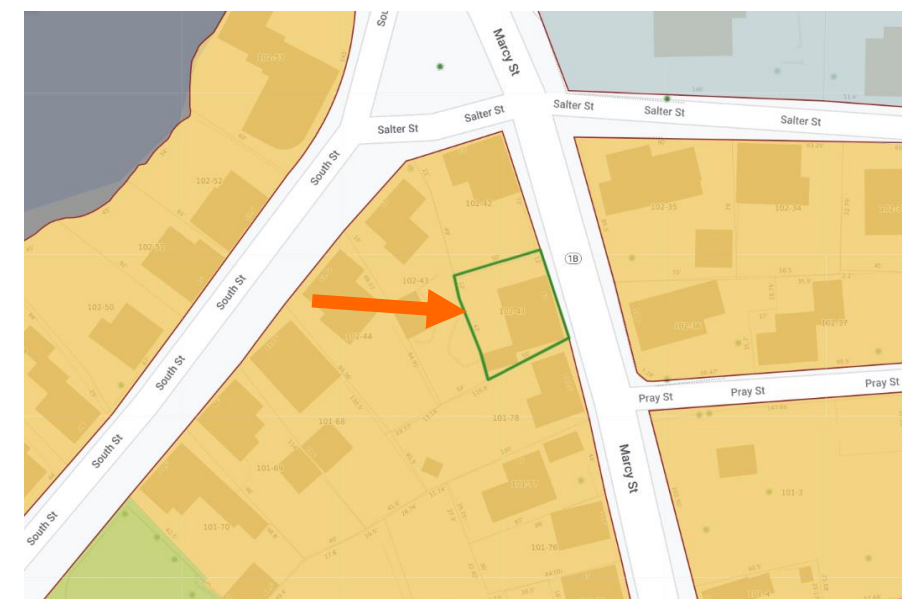
- Add a 2nd floor rear addition; and
- Add a 1-story rear entry and bay addition with landing and stairs.

• Design Guideline Reference: Guidelines for Porches, Stoops and Decks (06)

K. Aerial Image, Street View and Zoning Map:



Rear Decks and Aerial View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

434 MARCY STREET (LU-23-53) – PUBLIC HEARING #2 (MODERATE)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	<h3 style="margin: 0;">MINOR PROJECT</h3> <h4 style="margin: 0;">– 2ND FLOOR AND ATTIC ADDITION & REAR ENTRYWAY –</h4>						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
	7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 434 MARCY STREET Case No.: 2 Date: 7-5-23

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 172 HANOVER STREET (LU-23-96)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

Existing Conditions:

- Zoning District: CD4
- Land Use: Commercial
- Land Area: 3,204 SF +/-
- Estimated Age of Structure: c.1930
- Building Style: Colonial Revival
- Historical Significance: Contributing
- Public View of Proposed Work: View from Hanover and Vaughan Mall
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To replace 2 attic doors with windows.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Hanover Street. It is surrounded with many masonry and brick buildings that are 3-5 story structures with little to no setback from the street.

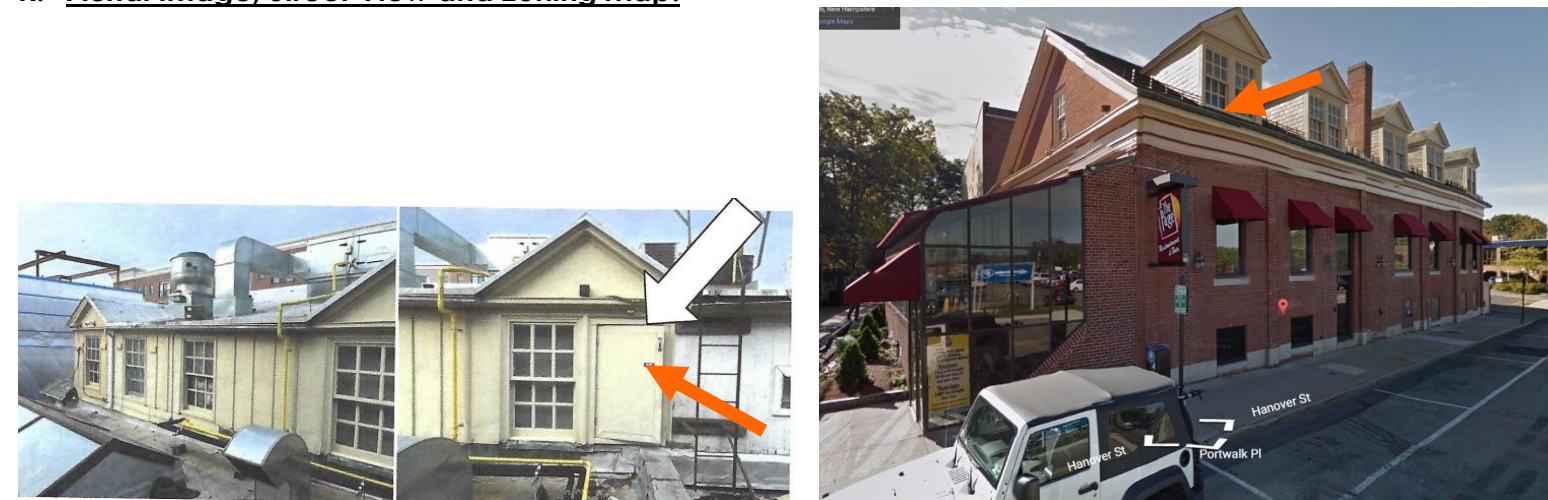
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- To replace the attic doors with windows.

• Design Guideline Reference – Guidelines for Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

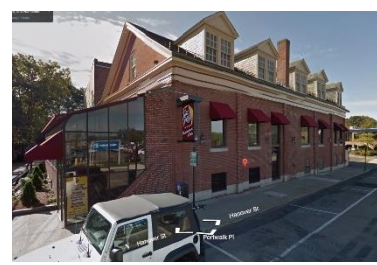
**HISTORIC
SURVEY
RATING**

C

172 HANOVER STREET (LU-23-96)– PUBLIC HEARING #3 (MINOR)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
1	Gross Floor Area (SF)		<p>MINOR PROJECT</p> <p>– REPLACE 2 ATTIC DOORS WITH WINDOWS ONLY –</p>			
2	Floor Area Ratio (GFA/ Lot Area)					
3	Building Height / Street-Width Ratio					
4	Building Height – Zoning (Feet)					
5	Building Height – Street Wall / Cornice (Feet)					
6	Number of Stories					
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
27		Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
28		Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
29		Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
30		Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 172 HANOVER STREET Case No.: 3 Date: 7-5-23
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 111 STATE STREET (LU-22-125)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #4

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Mixed-Use/ Commercial
- Land Area: 2,875 SF +/-
- Estimated Age of Structure: c.1825
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from State and Sheafe Street.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To replace door and windows, remove chimney & add dormer.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This historic structure fronts along State Street with a rear yard along Sheafe Street. It is surrounded with many other historically-significant structures.

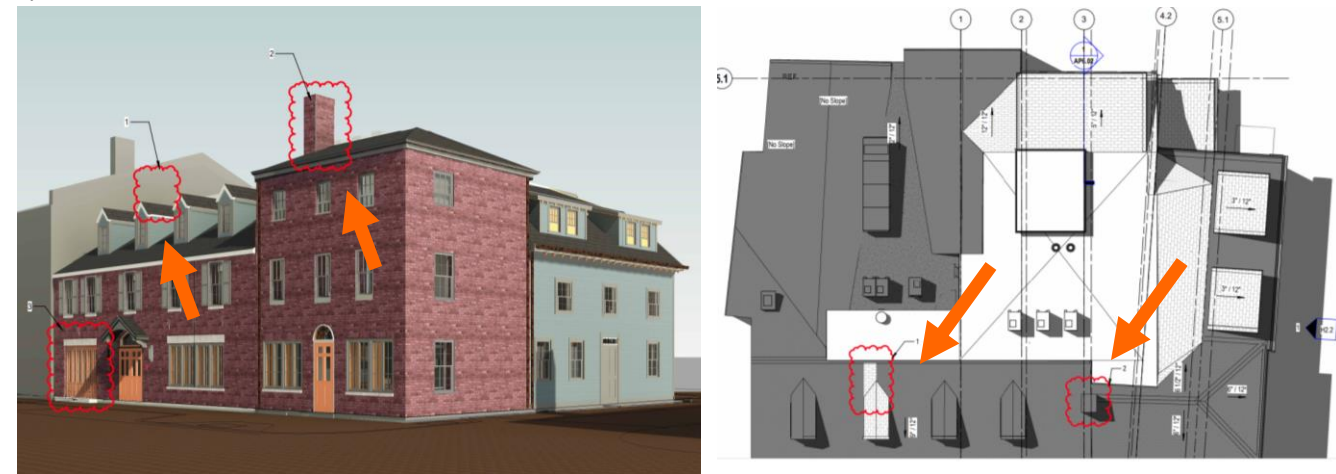
J. Staff Comments and/ or Suggestions for Consideration:

- The project proposal includes the following:
 - Replace the ground-floor window and left side door with nano windows;
 - Reconstruct the chimney at the parapet; and
 - Remove the left chimney and replace it with a dormer.

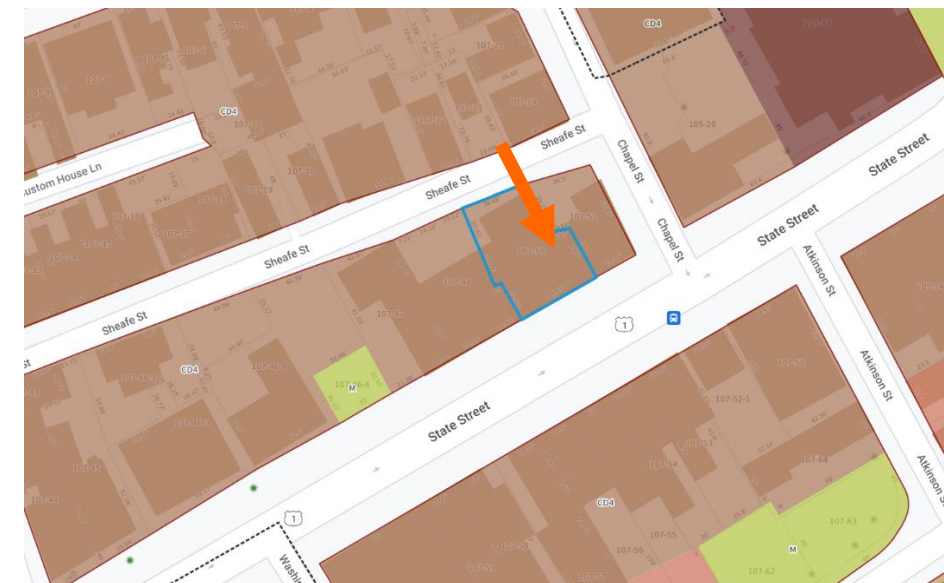
Design Guideline Reference – Guidelines for Roofing (04), Windows and Doors (08) & Commercial Developments and Storefronts (12).

L. Aerial Image, Street View and Zoning Map:

M.



Front and Rear Axonometric Drawings



Zoning Map

**HISTORIC
SURVEY
RATING**

C

111 STATE STREET (LU-22-125) – PUBLIC HEARING #4 (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<h3 style="margin: 0;">MODERATE PROJECT</h3> <p style="margin: 0;">- Add Folding Doors, Remove Chimney and Add Dormer -</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 111 STATE ST. Case No.: 4 Date: 7-5-23

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 202 COURT STREET (LUHD-633)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #5

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Commercial
- Land Area: 5,036 SF +/-
- Estimated Age of Structure: c.1860
- Building Style: Greek
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Court Street
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To add a new NANA door and a window on rear balcony.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This 2.5 story wood-sided structure is located on Court Street and is surrounded with many contributing and focal historic structures. The building was originally designed in a Greek Revival style and was a municipally owned fire station. In the 1940s the structure was sold and reused as an auto service repair shop until 2018.

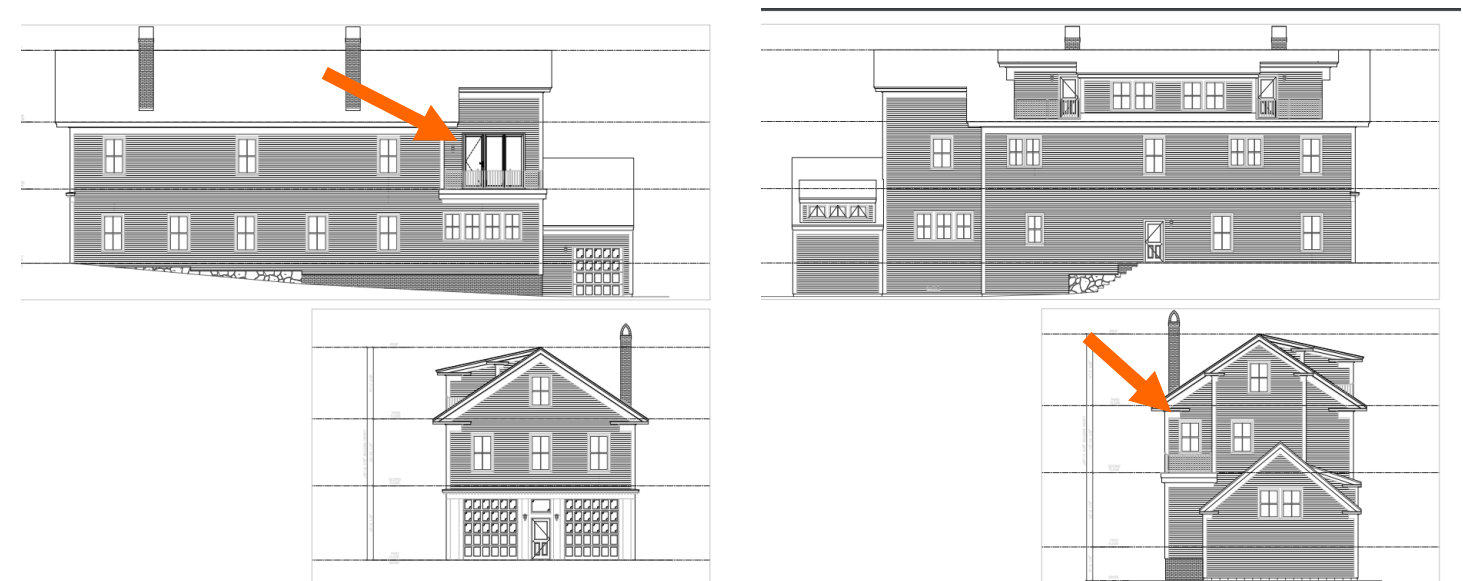
J. Staff Comments and Suggestions for Consideration:

The project revisions from the 11-4-19 meeting include:

- Nano doors are being added to the upper floor rear balcony.
- A window will be added where the previously-approved balcony door was located

• **Design Guideline Reference: Guidelines for Roofing (04), & Small-Scale New Construction & Additions (09)**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

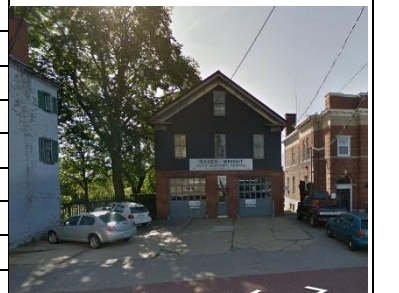
**HISTORIC
SURVEY
RATING**

C

202 COURT STREET (LUHD-633) – PUBLIC HEARING #5 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<p>MINOR PROJECT</p> <p>- Add a Folding Door and Replace Door with Window -</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 202 COURT STREET Case No.: 5 Date: 7-5-23
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 14 MARKET SQUARE (LUHD-639)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Mixed-Use
- Land Area: 3,136 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Commercial Vernacular
- Number of Stories: 3
- Historical Significance: Contributing
- Public View of Proposed Work: View from Market Square
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To add a barreled dormer and shed dormers to the roof.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The building is located at the intersection of Daniel and Congress Streets and fronts on Market Square. The property is surrounded with many historically significant brick and stone buildings ranging from 3 to 4 stories in height. There are no setbacks along the front- or side-yard and small to no rear yards.

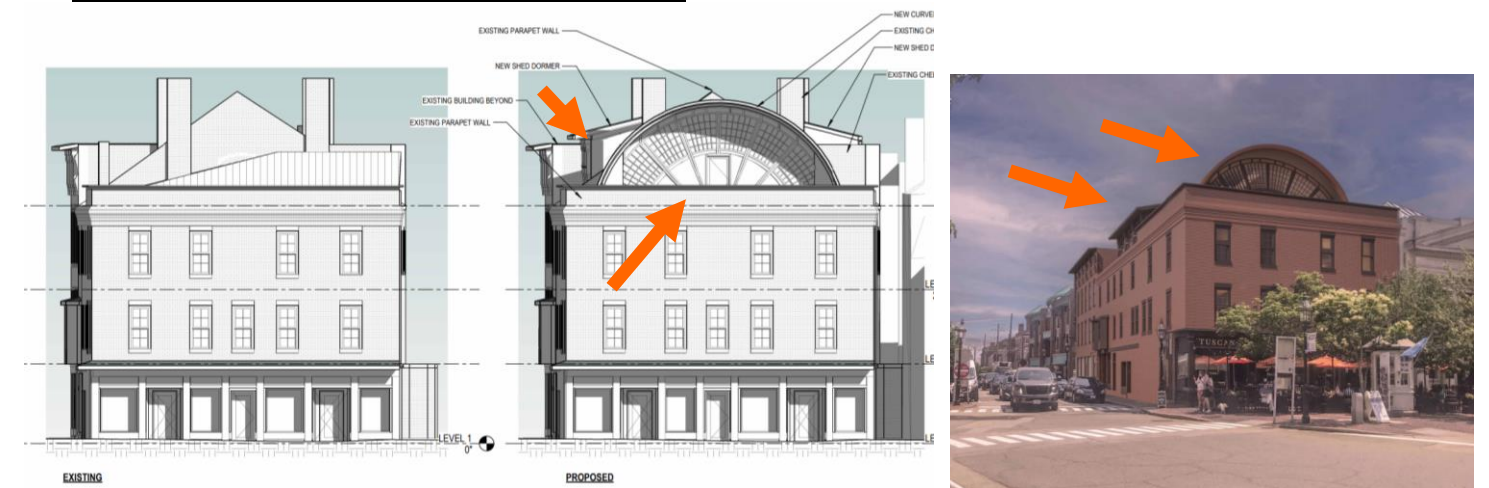
J. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

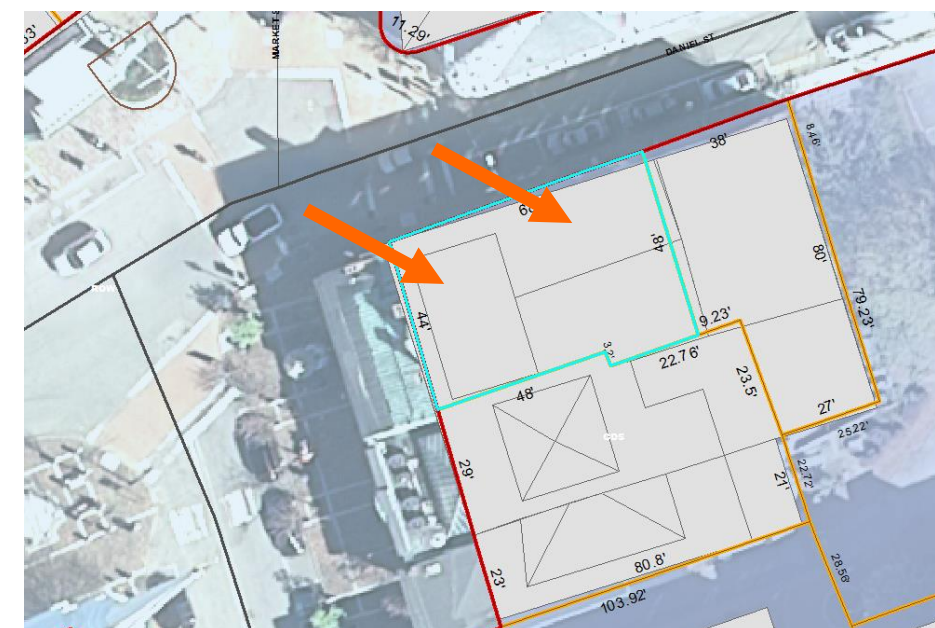
- Add a new roof addition – a barreled roof along the Market Square façade; and
- Add two new shed dormers on the rear roof.

Design Guideline Reference – Guidelines for Roofing (04), Windows & Doors (08), and Small Scale New Construction and Additions (10).

I. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

14 MARKET SQUARE (LUHD-639) – WORK SESSION #1 (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<h2 style="margin: 0;">MODERATE PROJECT</h2> <h3 style="margin: 0;">- DORMERS AND BARRELLED ROOF MODIFICATIONS TO ROOFLINE -</h3>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
SITE DESIGN			30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 14 MARKET SQUARE Case No.: 1 Date: 7-5-23

Decision: Approved Approved with Stipulations Denied Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 236 UNION STREET (LUHD-628)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #2

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residential District C (GRC)
- Land Use: Commercial
- Land Area: 5,064 SF +/-
- Estimated Age of Structure: NA
- Building Style: NA
- Number of Stories: 1
- Historical Significance: NA
- Public View of Proposed Work: View from Union Street
- Unique Features: NA
- Neighborhood Association: Cabot Street

B. Proposed Work: Add a 2nd Floor Addition

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave. and Deer and Hanover Streets. It is surrounded with many new and proposed infill buildings. The neighborhood is predominantly made up of 4-5 story brick structures on large lots with little to no setback from the sidewalk.

J. Staff Comments and/ or Suggestions for Consideration:

The proposed application seeks to:

- Add a 2nd Floor addition.

• **Design Guideline Reference: Guidelines for Roofing (04), & Small-Scale New Construction & Additions (09)**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image of the Mock-Up



Zoning Map

**HISTORIC
SURVEY
RATING**

NA

236 UNION STREET (LUHD-628) – WORK SESSION #2 (MODERATE)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	Project Information		Existing	Proposed	Abutting Structures	Surrounding Structures	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<h3 style="margin: 0;">MODERATE PROJECT</h3> <p style="margin: 0;">- ADD 2ND FLOOR ADDITION ONLY -</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 236 UNION STREET Case No.: 2 Date: 7-5-23

Decision: Approved Continued Postponed Withdrawn Approved with Stipulations Denied



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

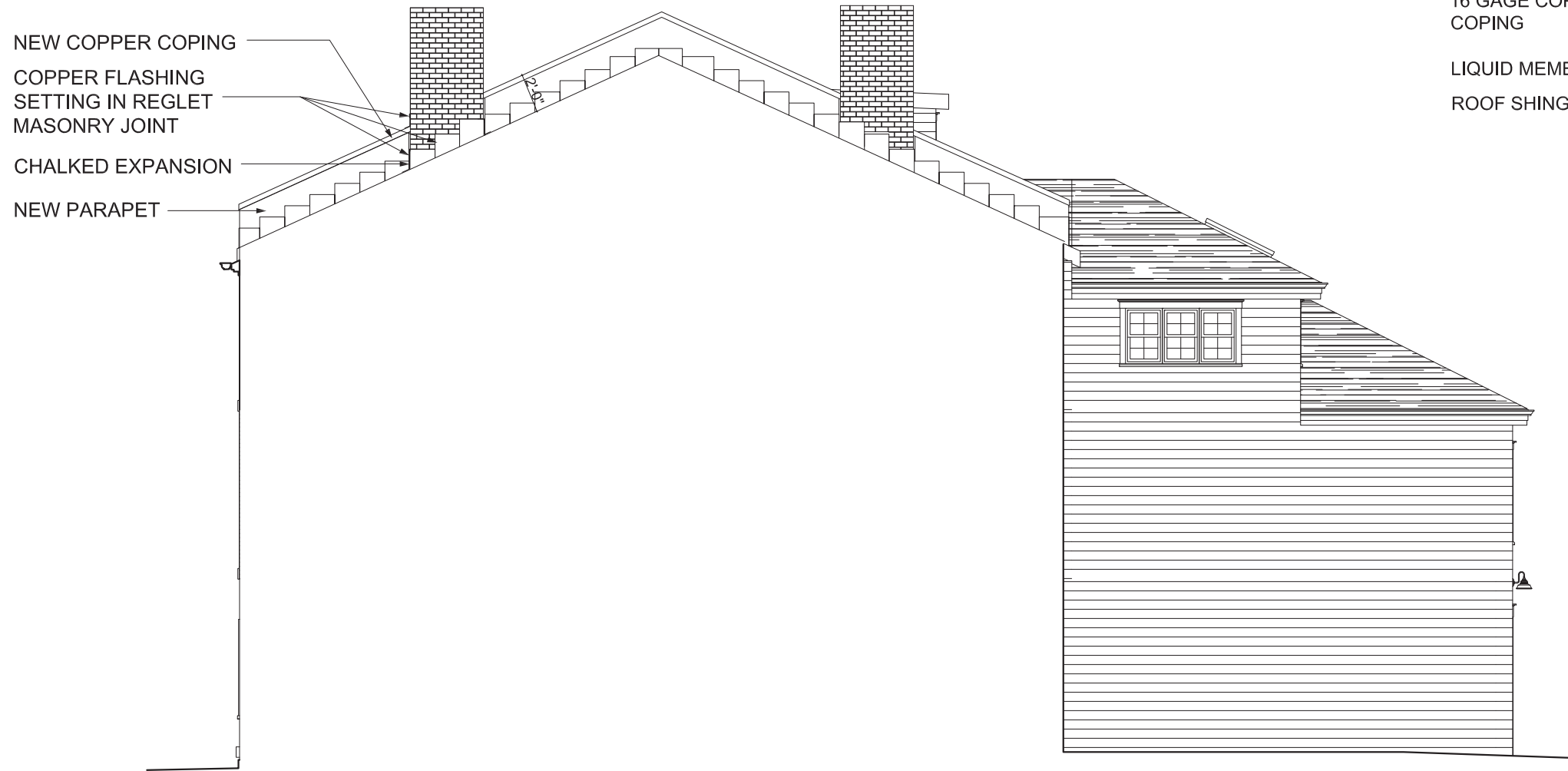
- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

DOYLE NAM RESIDENCE

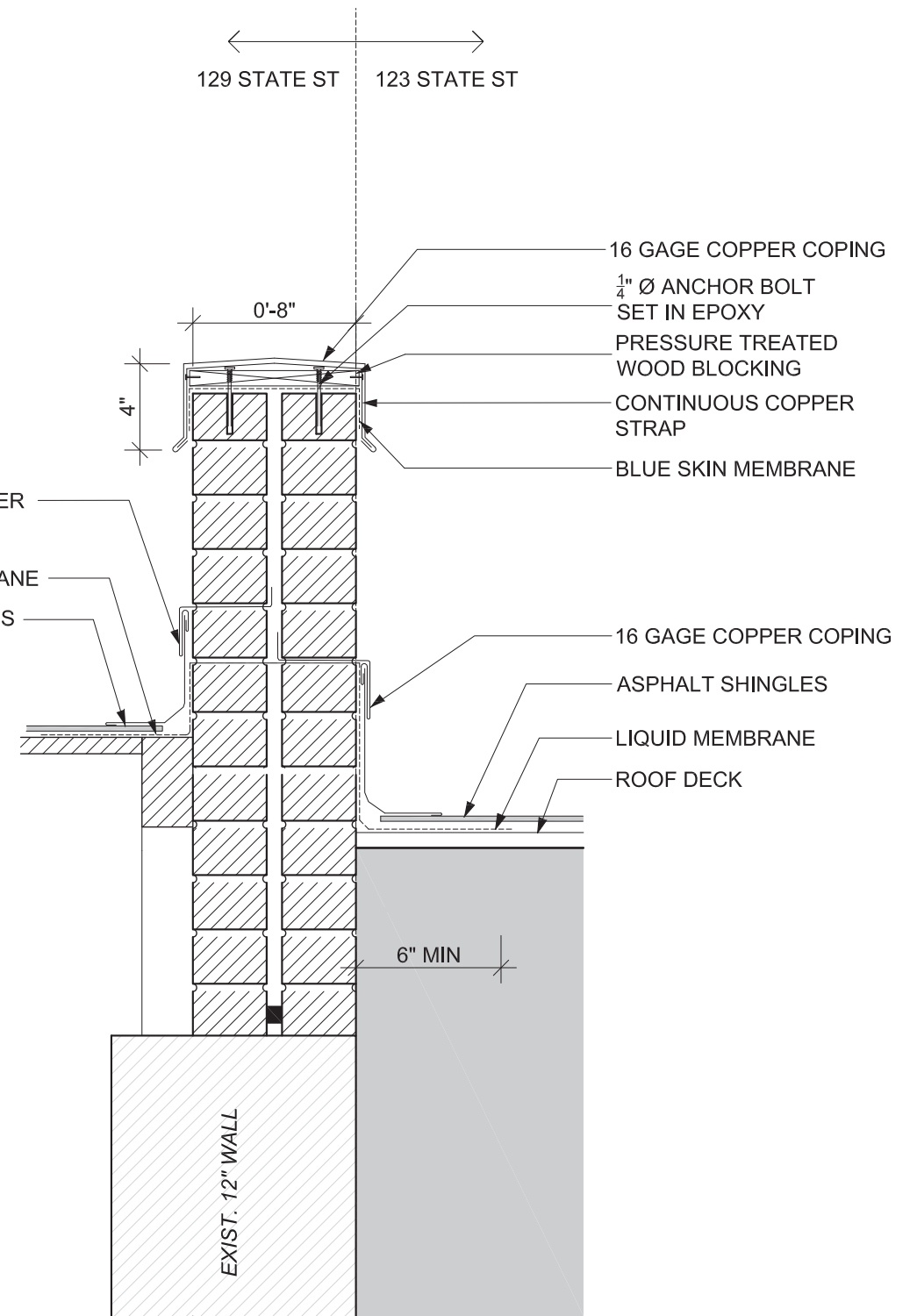
129 STATE STREET, PORTSMOUTH, NH

HISTORIC DISTRICT COMMISSION - ROOF/PARAPET DETAILS 06.15.2023

Spivak Architects



EAST ELEVATION - PROPOSED ELEVATION
SCALE: 1/8" = 1'-00"



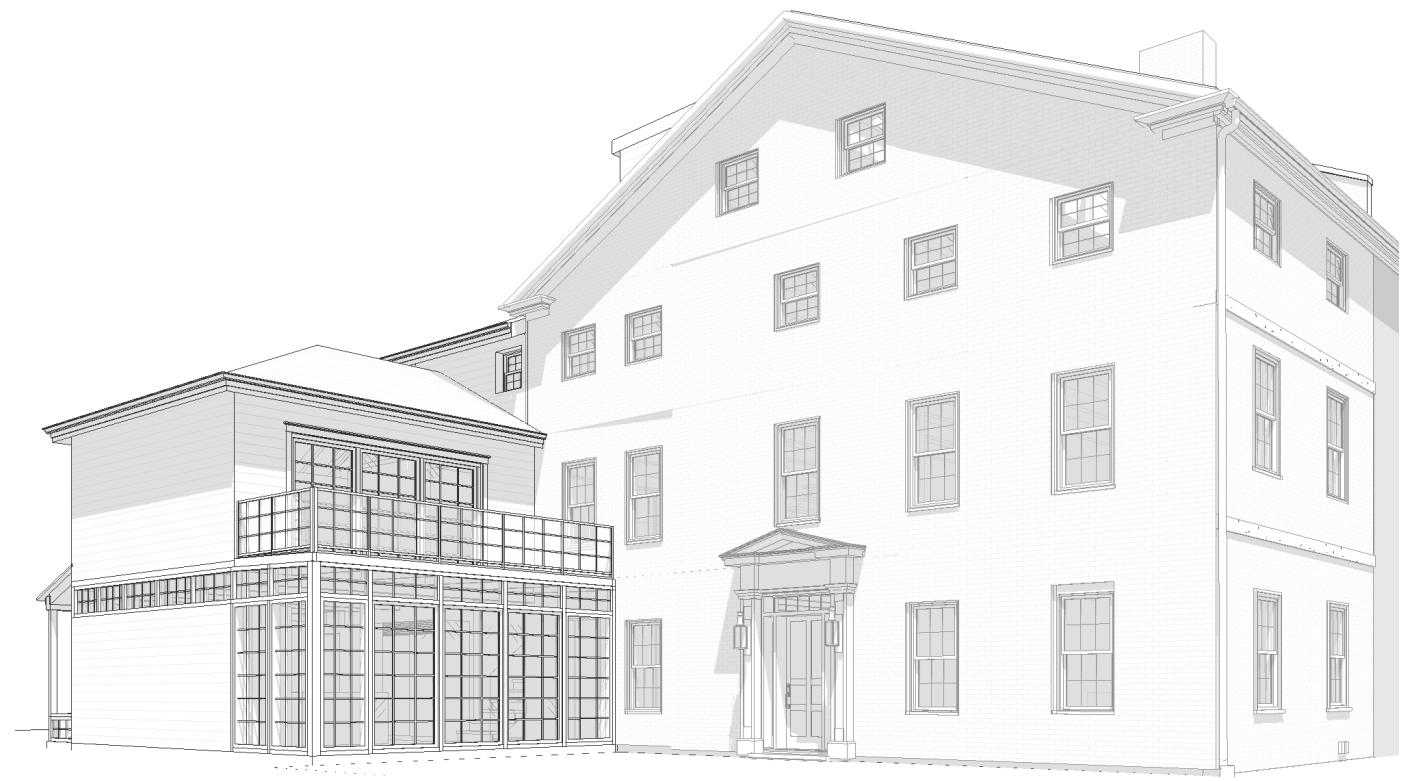
PARAPET DETAIL
SCALE: 1-1/2" = 1'-00"

DOYLE NAM RESIDENCE

129 STATE STREET, PORTSMOUTH

HISTORIC DISTRICT COMMISSION RENDERINGS OF

Spivak Architects



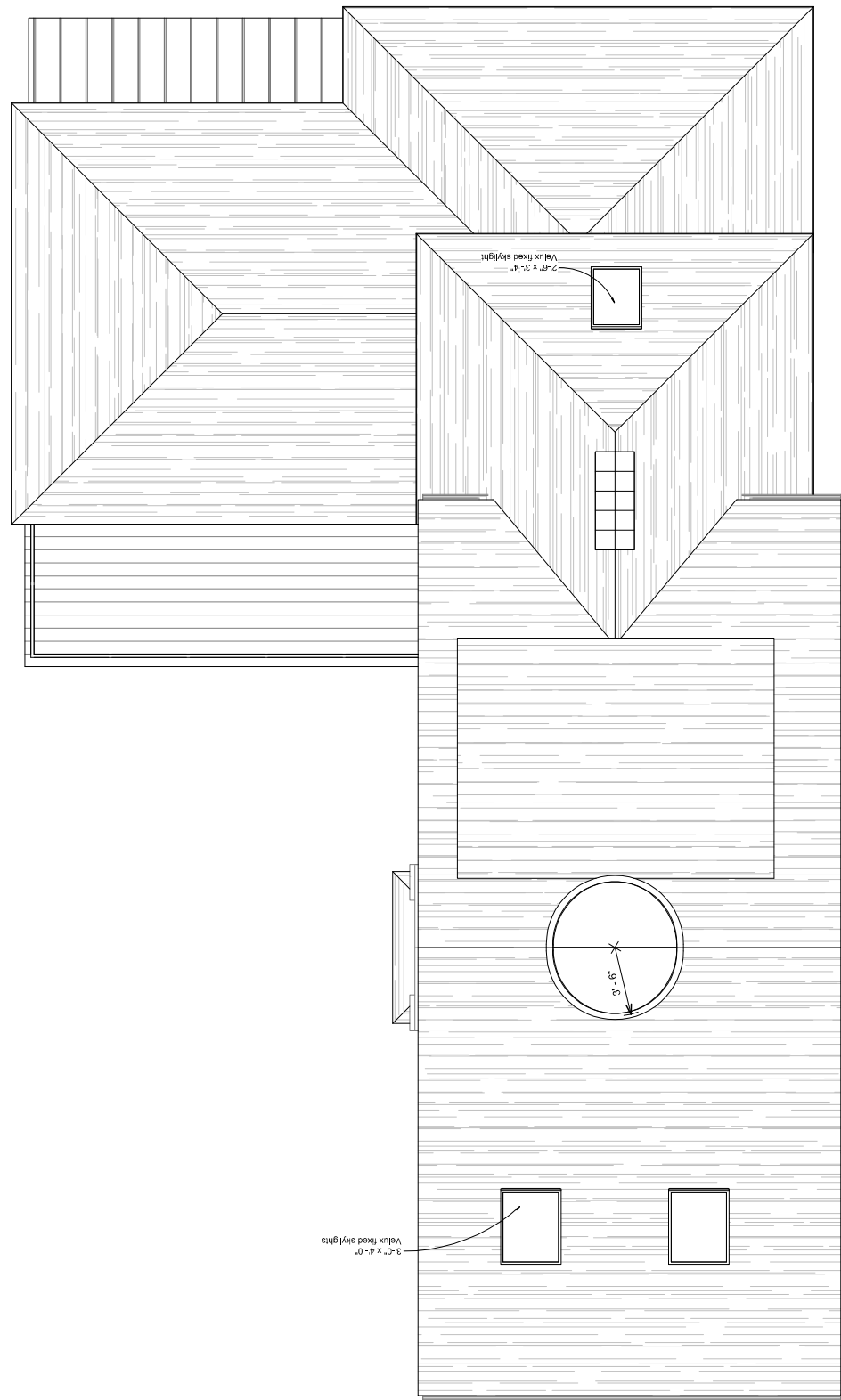
HDC APPROVED 05/04/2022

PROPOSED



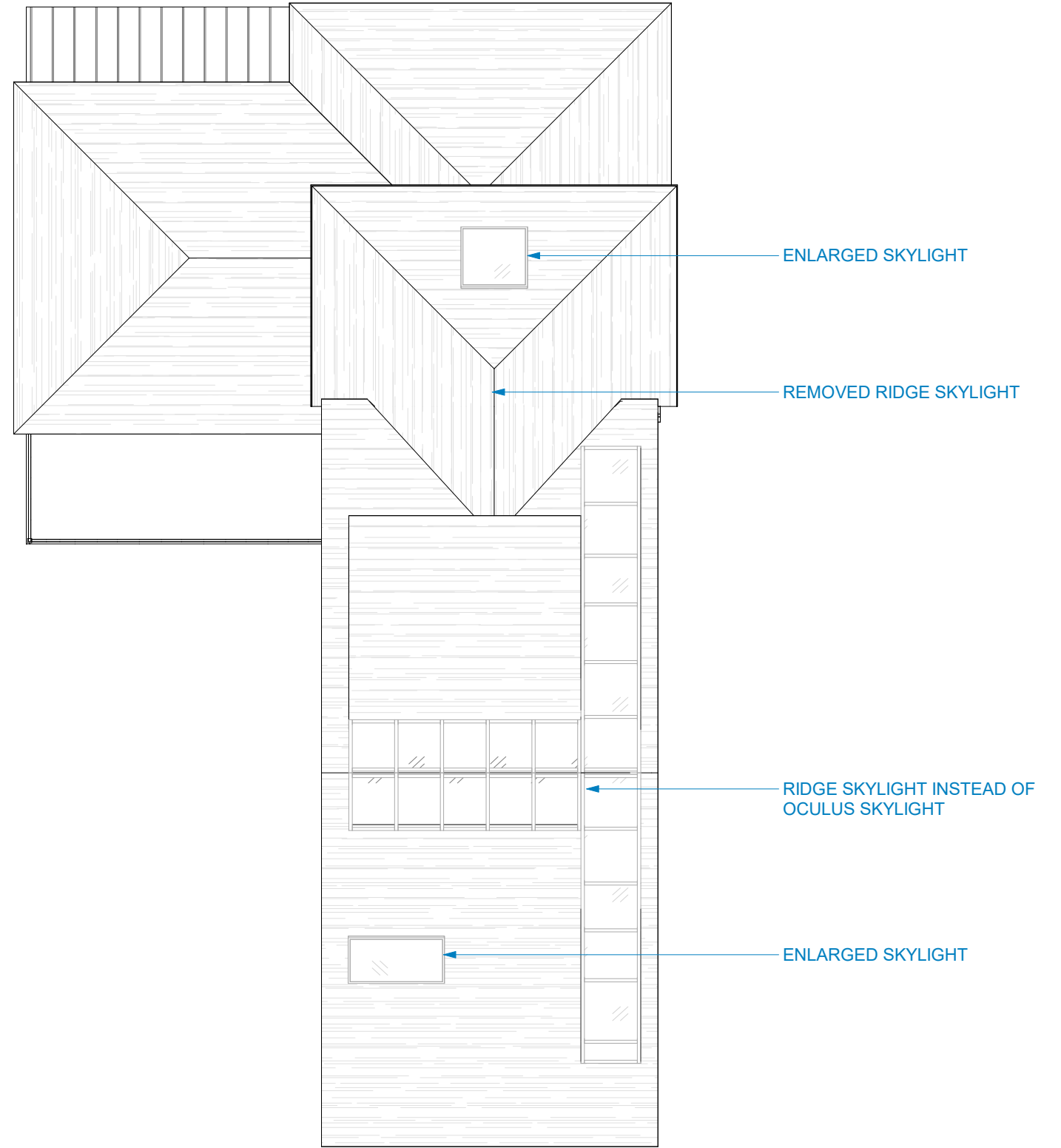
HDC APPROVED 05/04/2022

PROPOSED

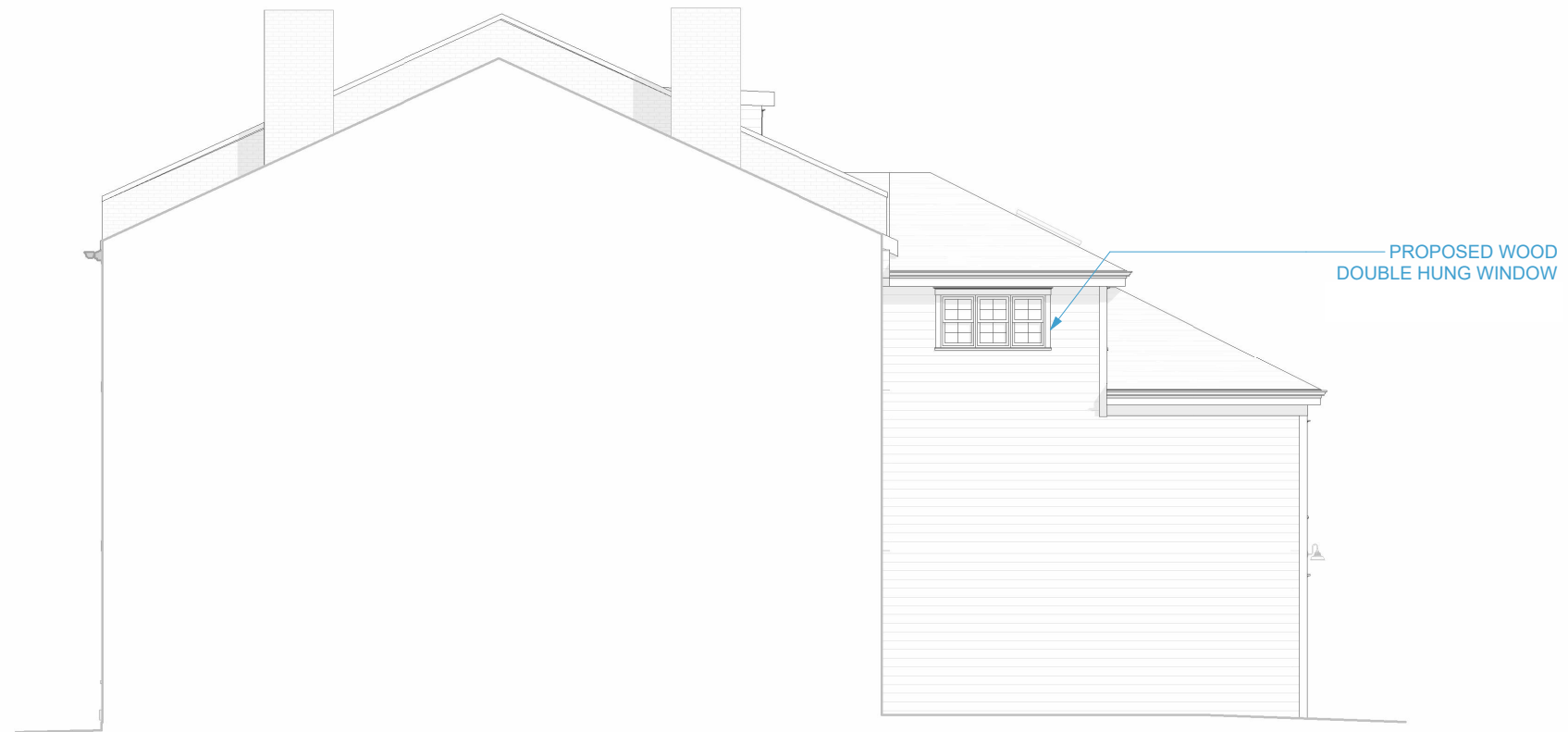


HDC APPROVED 05/04/2022

ROOF PLAN



PROPOSED

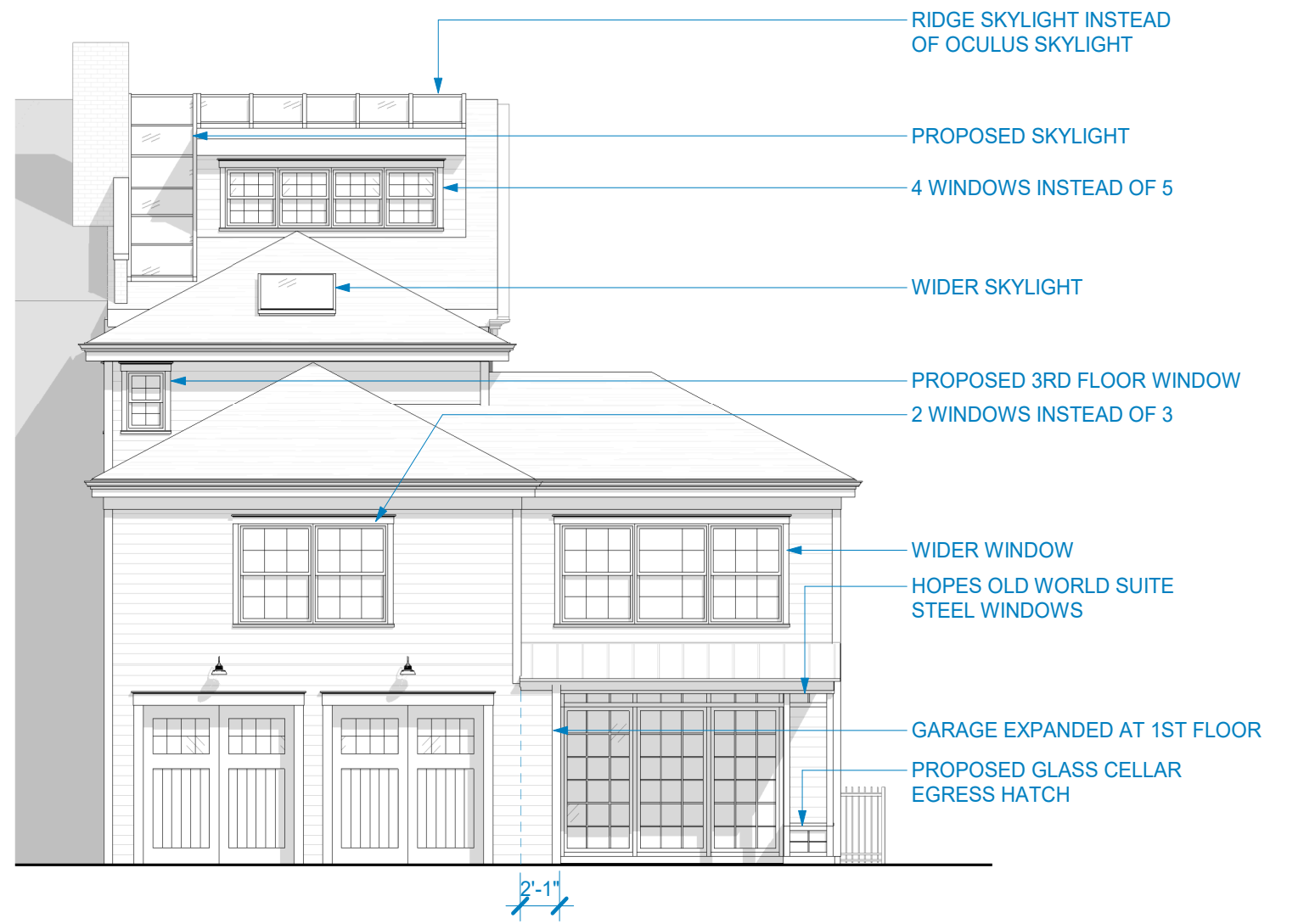


PROPOSED ELEVATION

EAST ELEVATION



HDC APPROVED 05/04/2022

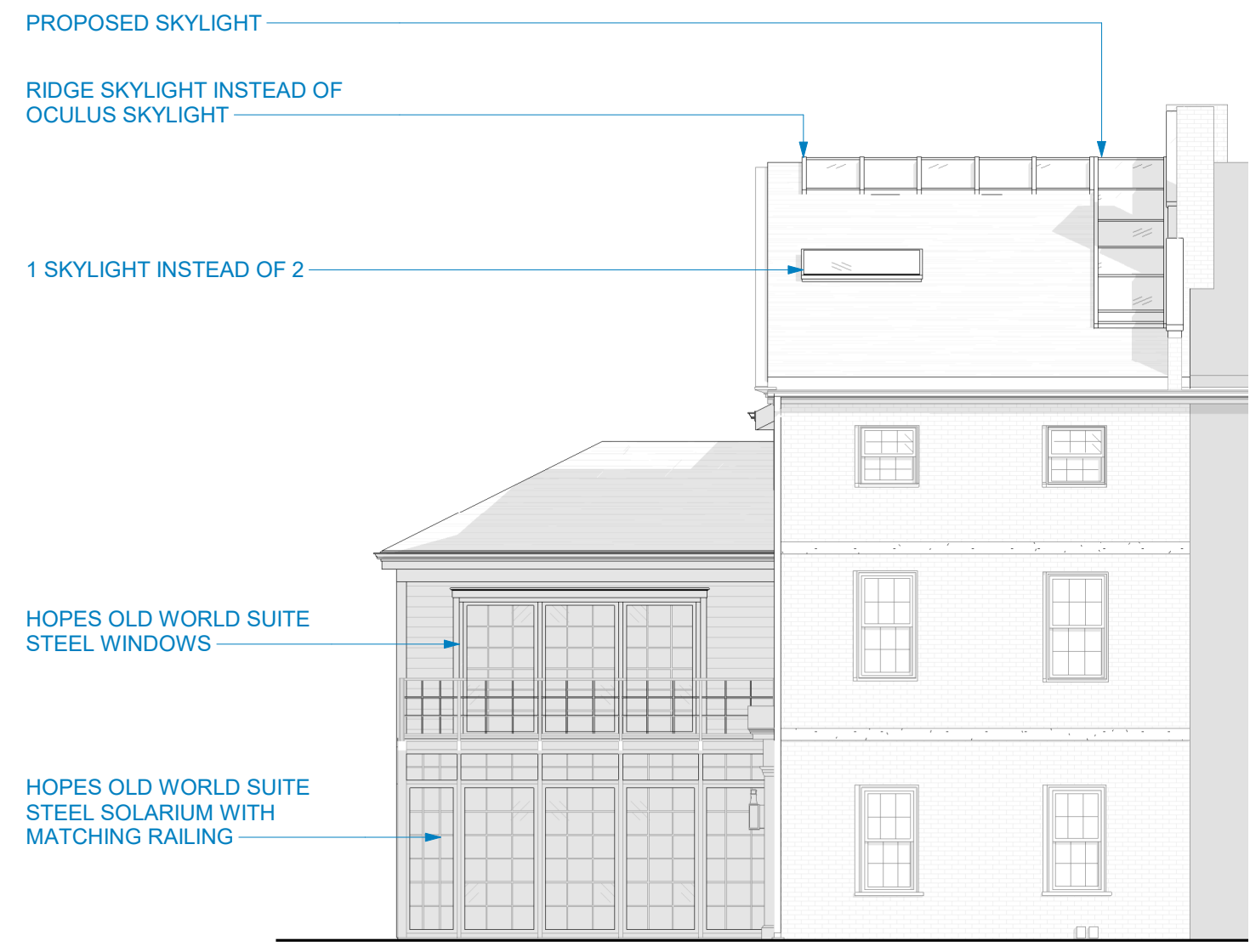


PROPOSED ELEVATION

NORTH ELEVATION



HDC APPROVED 05/04/2022

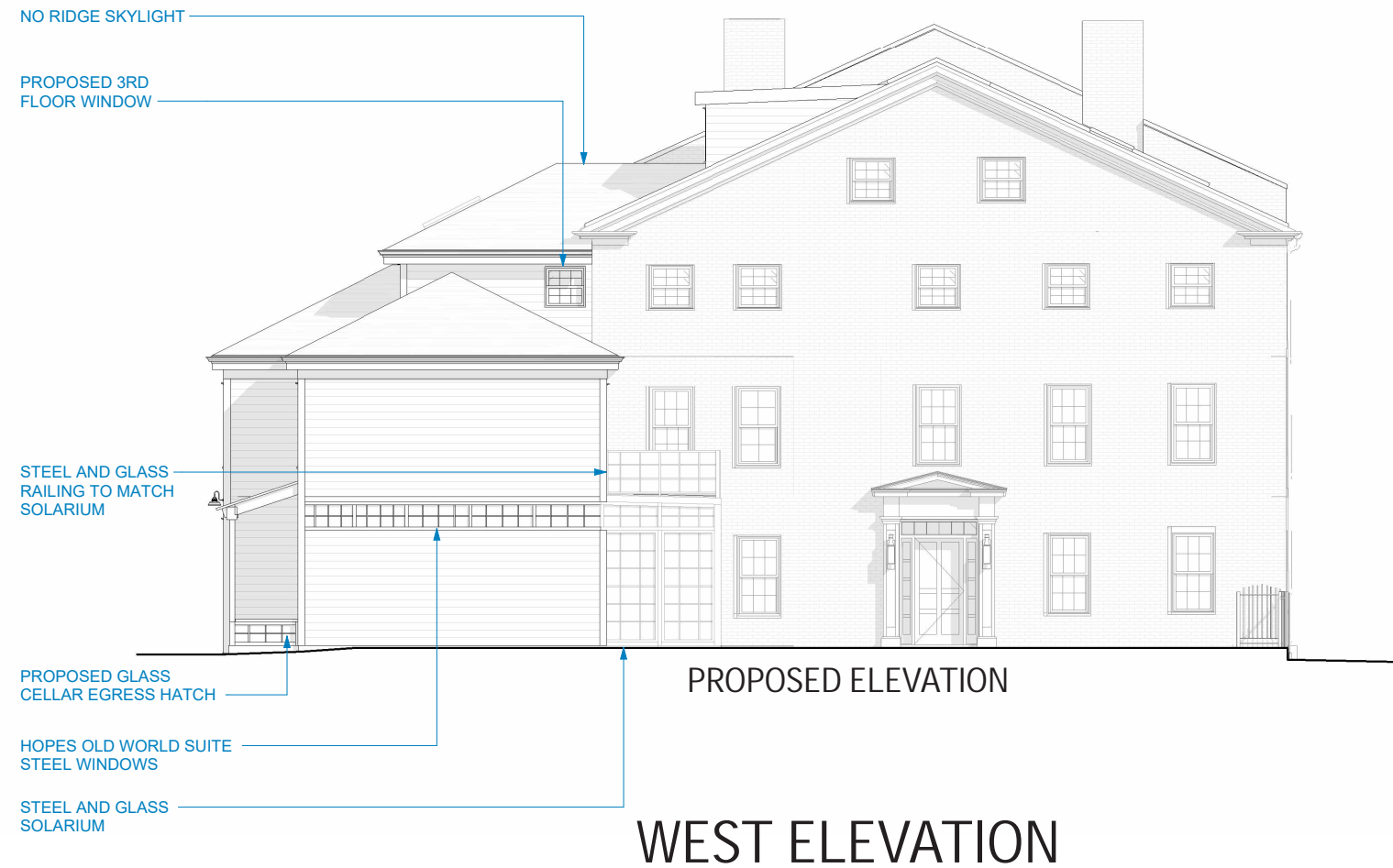


PROPOSED ELEVATION

SOUTH ELEVATION



HDC APPROVED 05/04/2022





Artistic Rendering - State Street Perspective

HDC APPROVED 05/04/2022



PROPOSED

VIEW FROM CORNER OF STATE STREET



EXISTING



PROPOSED

VIEW FROM ACROSS STATE STREET



HDC APPROVED 05/04/2022



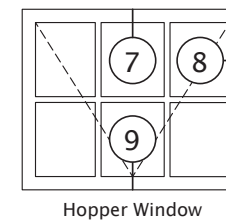
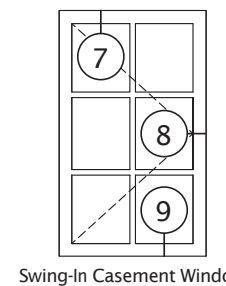
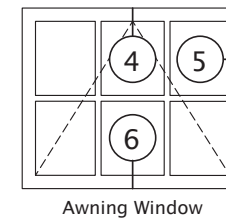
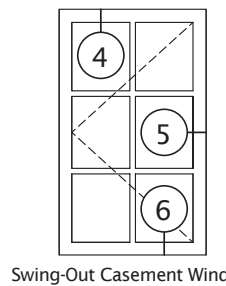
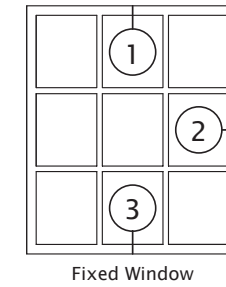
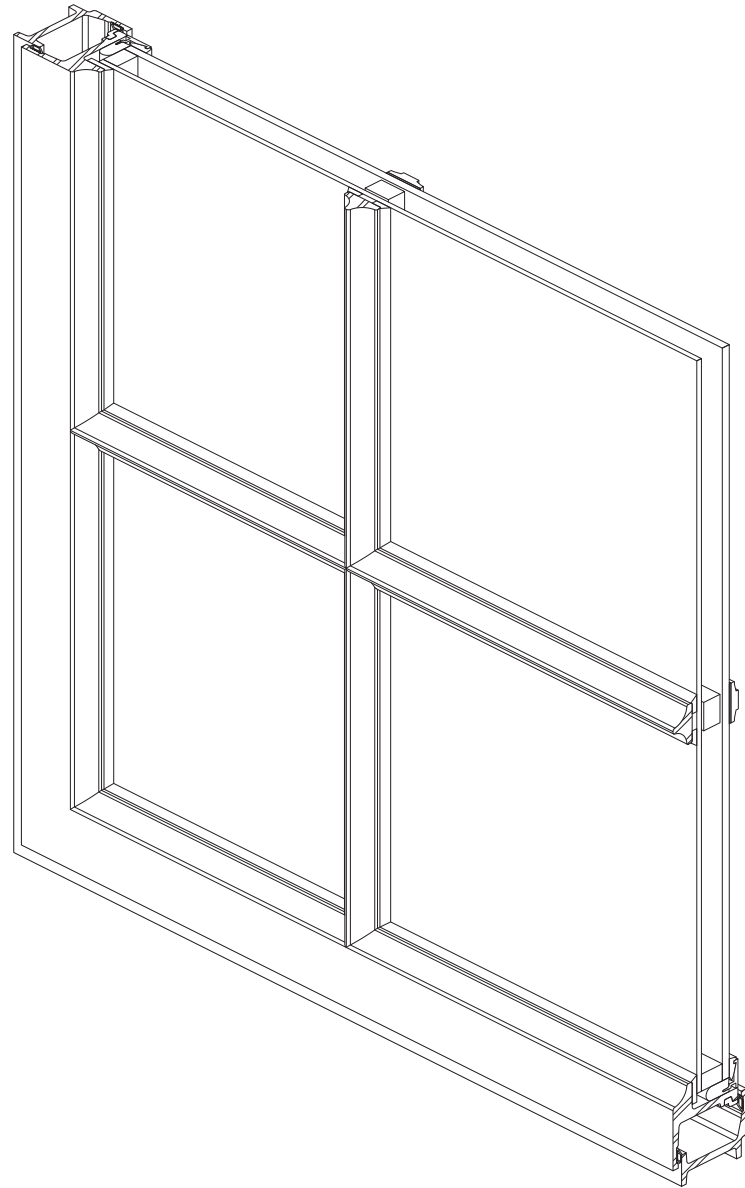
PROPOSED

VIEW FROM SHEAFE STREET

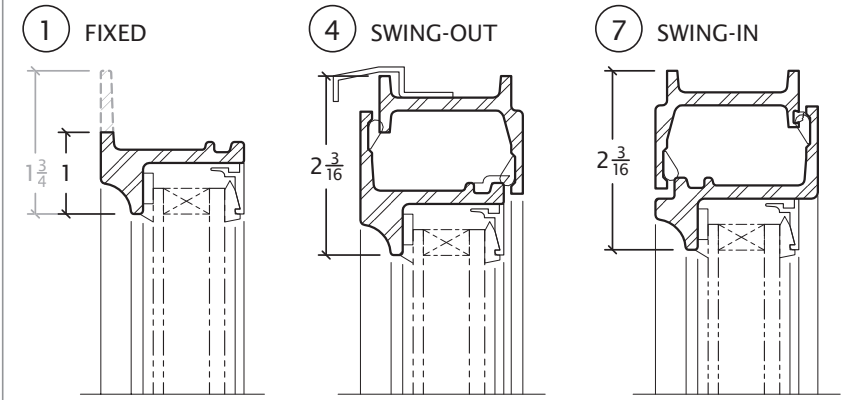
Hope's Old World Suite steel sections are specifically designed for projects calling for classical solid, hot-rolled steel windows with old world style three-point casement, or arrow-shaped, profiles. The fixed and operable configurations can be glazed with monolithic or insulated glass for energy efficiency. The unique window profiles and very narrow sightlines are ideal for new buildings as well as replacement projects.

PRODUCT FEATURES

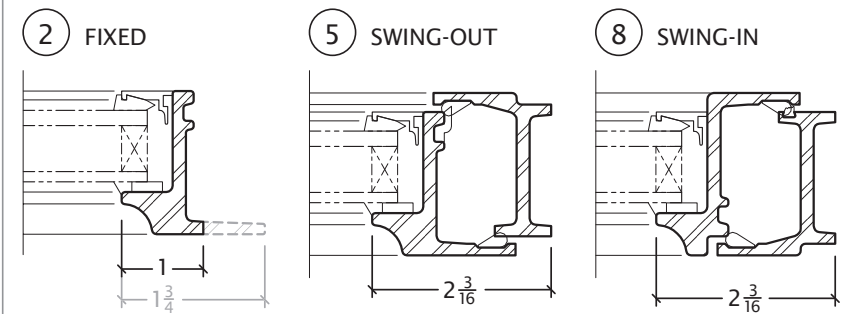
- Historically accurate sightlines and true divided lite or simulated divided lite muntins
- Unsurpassed strength of hot-rolled steel sections
- Accepts up to 7/8" thick insulating glass with simulated divided lites; up to 1/2" thick glass with true divided lites
- ASTM compliance for air infiltration and water penetration
- Hope's Power of 5 Finishing System with hot-dip galvanizing pretreatment
- Available with Hope's Thermal Evolution™ technology



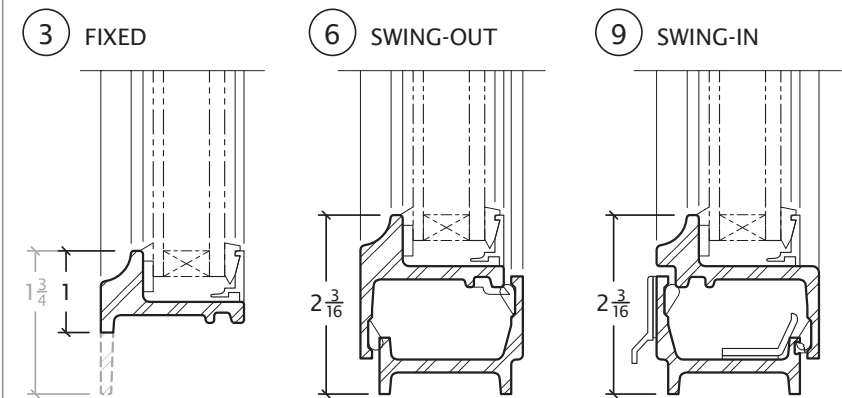
TYPICAL HEAD DETAILS




TYPICAL JAMB DETAILS



TYPICAL SILL DETAILS



Details are half scale and shown inside glazed with 7/8" thick glass.
Perimeter frame profiles are available in long leg or equal leg configurations.
All Hope's products are custom manufactured to your specific project requirements.

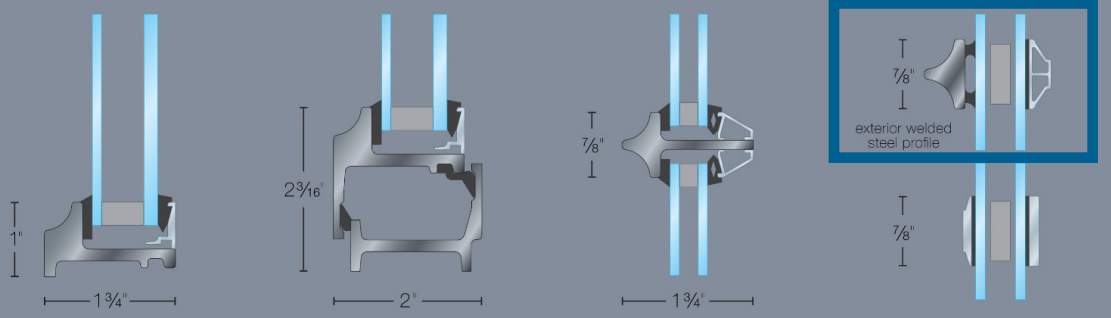



PRODUCT PERFORMANCE

- Meets or exceeds **air infiltration** test criteria in accordance with ASTM E283
- Meets or exceeds **water penetration** test criteria in accordance with ASTM E331
- Meets or exceeds **structural** test criteria in accordance with ASTM E330
- Meets or exceeds **forced entry** test criteria in accordance with ASTM F588
- Impact-rated product meets or exceeds **missile impact and cyclic pressure** test criteria in accordance with ASTM E1886
- Impact-rated product meets or exceeds **hurricane windborne debris** test criteria in accordance with ASTM E1996

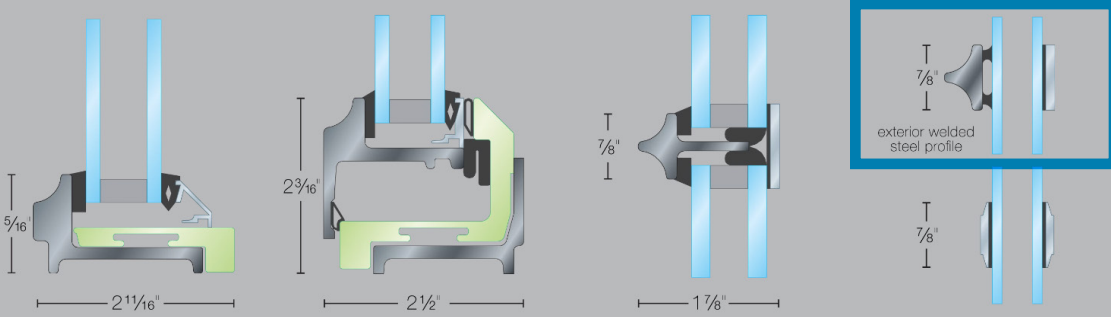
Consult Hope's to review applicable testing and design performance data for your specific project.

STANDARD PROFILES



FIXED **OPERABLE** **TRUE DIVIDED LITE** **SIMULATED DIVIDED LITE**

THERMAL PROFILES



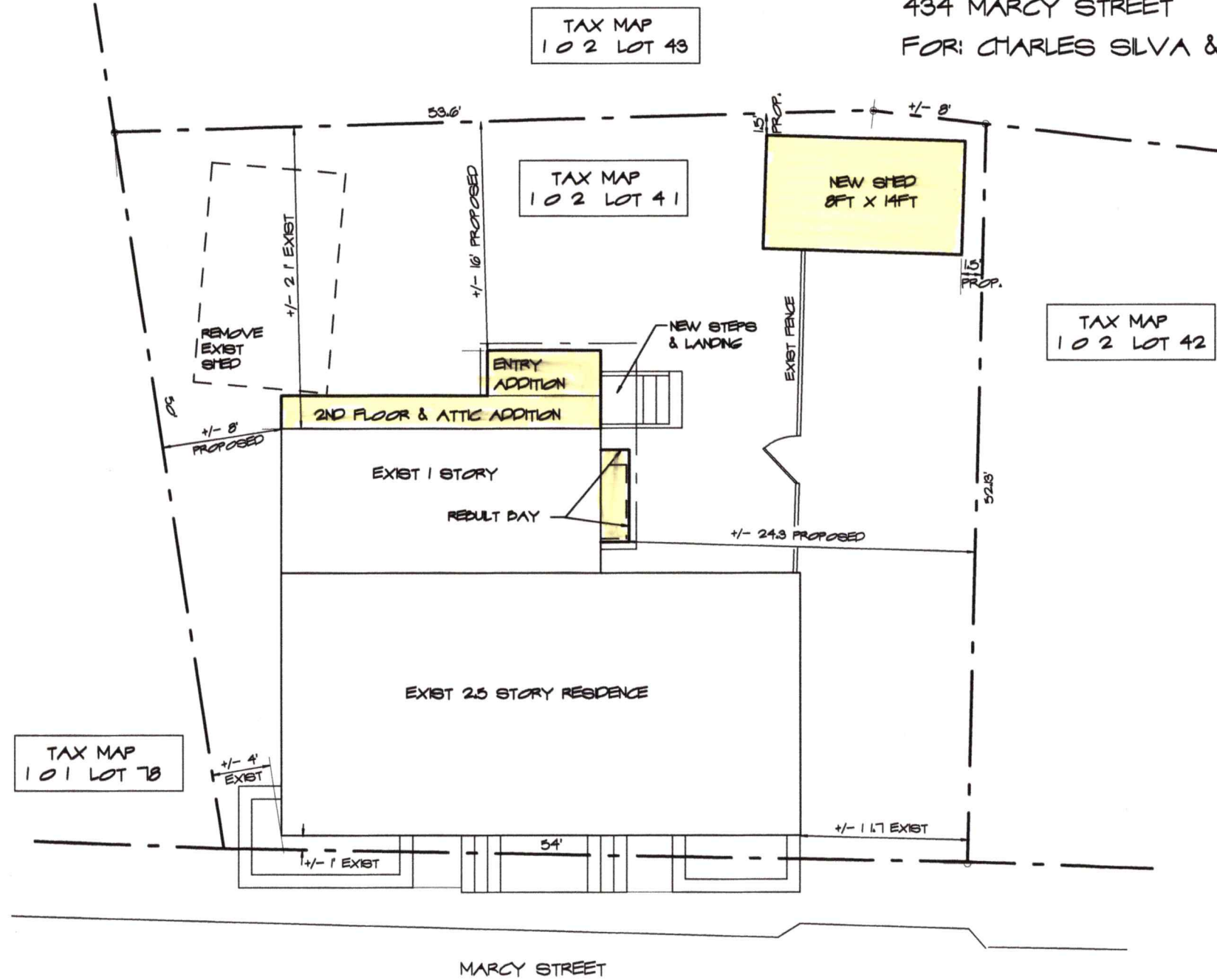
THERMAL FIXED **THERMAL OPERABLE** **THERMAL TRUE DIVIDED LITE** **THERMAL SIMULATED DIVIDED LITE**



Photo: Connie Zhou

ADDITIONS & RENOVATIONS

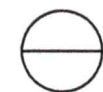
434 MARCY STREET PORTSMOUTH, NH
FOR: CHARLES SILVA & MARGARET MORAN



VIEW OF LEFT SIDE YARD



VIEW OF FRONT ELEVATION



PROPOSED LOT PLAN

SCALE: 1" = 10'-0"

NOTE: LOT PLAN GENERATED FROM TAX MAP, 12 & 28 SOUTH STREET PROPERTY SURVEYS BY ANDIT ENGINEERING AND BY FIELD MEASUREMENTS BY ANNE WHITNEY ARCHITECT



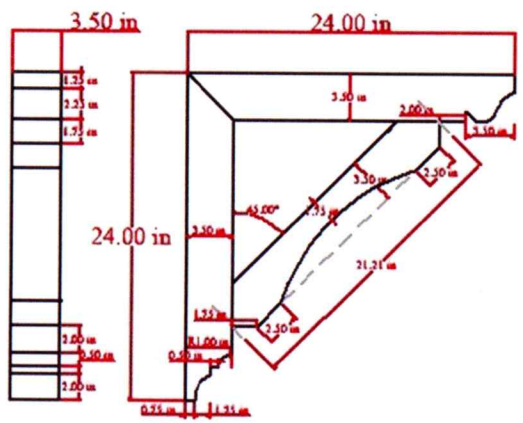
<p>PROPOSED LOT PLAN</p> <p>SILVA MORAN RESIDENCE</p> <p>434 MARCY STREET</p>	<p>901 Islington St, Suite 32 Portsmouth, NH 03801 603-502-4387 archwhit@aol.com</p> <p>AW</p> <p>ANNE WHITNEY ARCHITECT</p>	<p>Project: 2209</p>	<p>Date: 6/12/23</p>
		<p>Revisions:</p>	<p>1 OF 4</p>



VIEW OF EXIST REAR 1-STORY & BAY

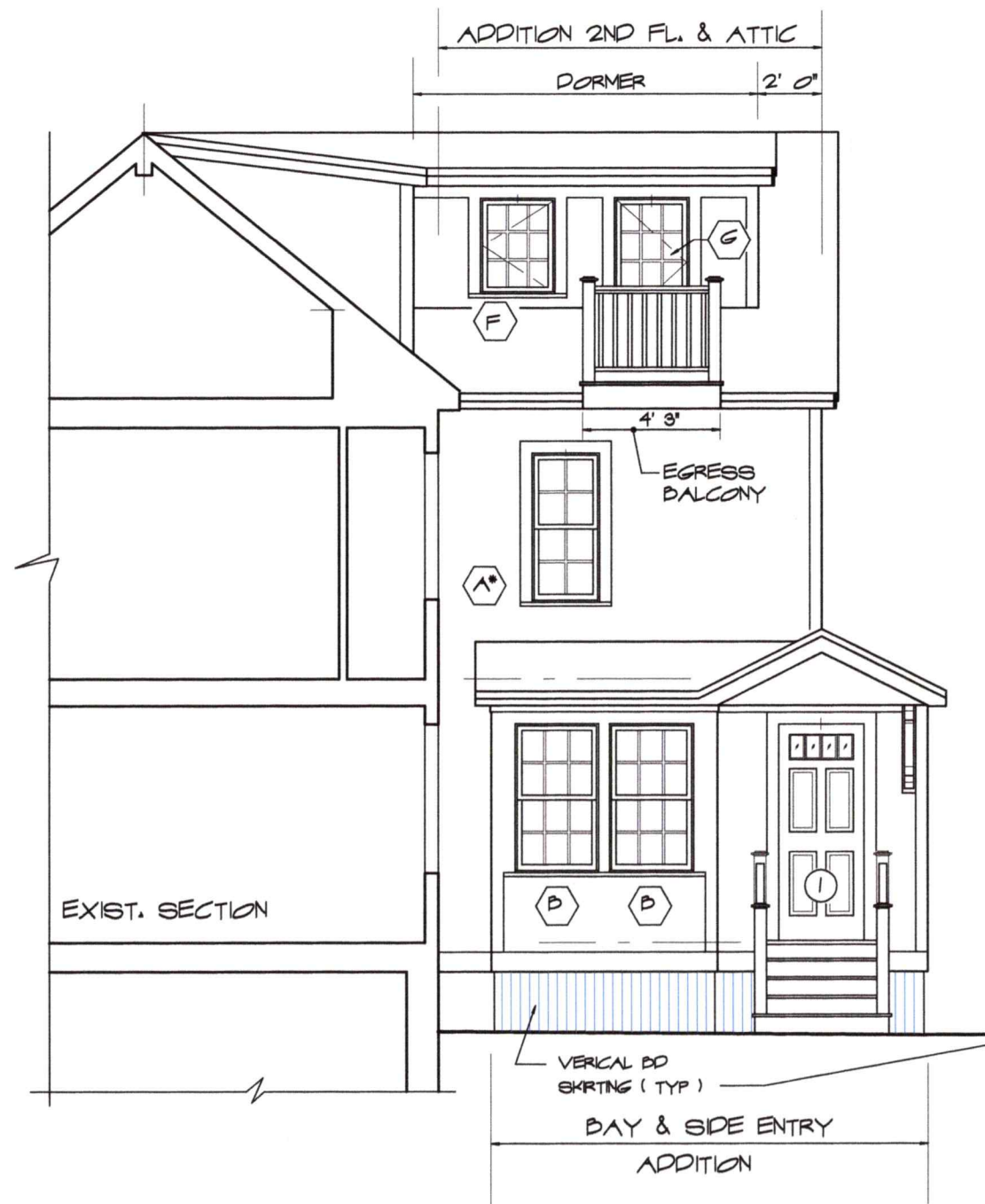


VIEW FROM DRIVEWAY OF 28 SOUTH STREET

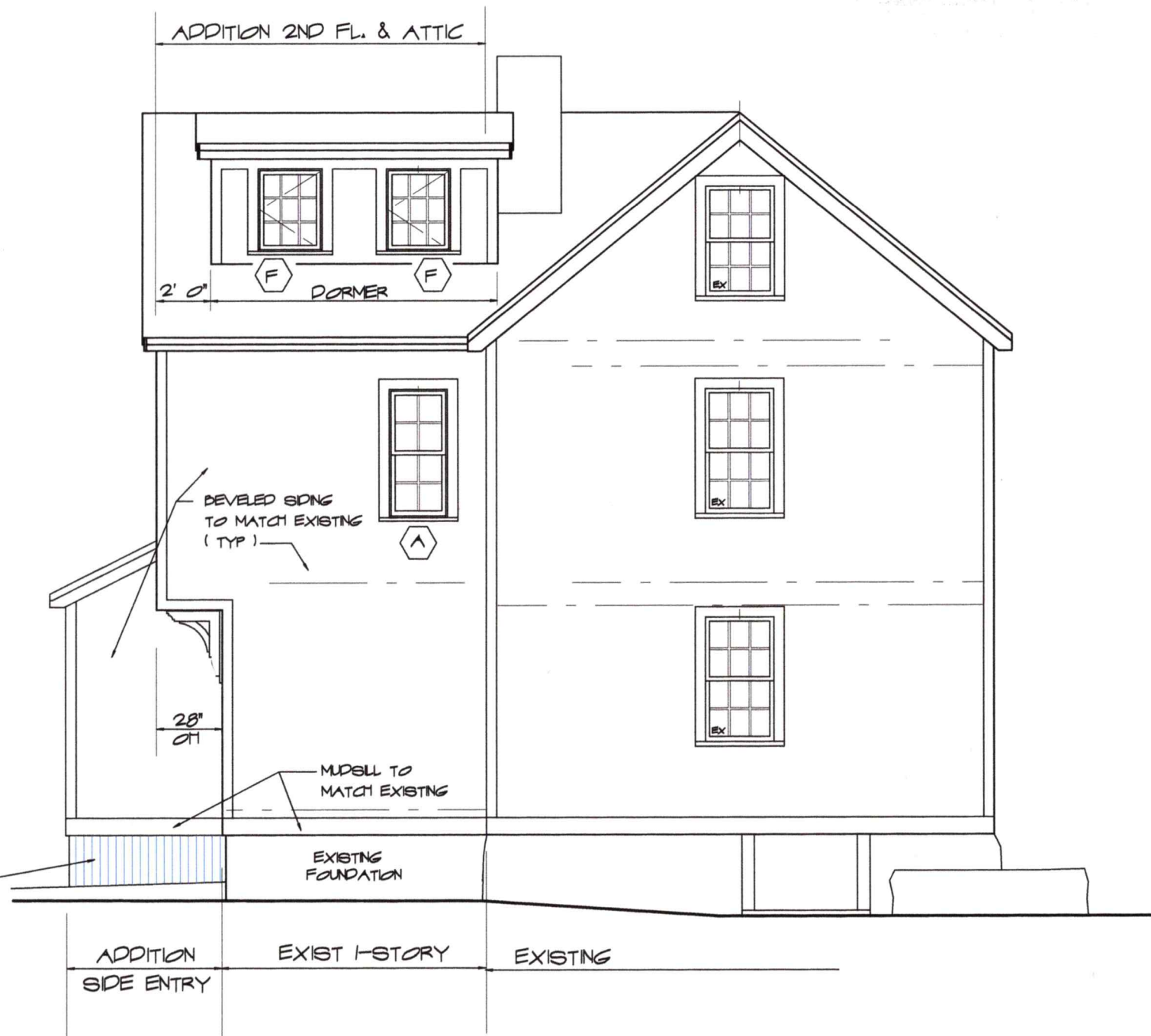


BRACKET DETAIL

SCHEMATIC DESIGN ADDITIONS & RENOVATIONS, SILVA-MORAN RESIDENCE 434 MARCY STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2209 Revisions:	Date: 6/12/23
	ANNE WHITNEY ARCHITECT		2 OF 4



RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

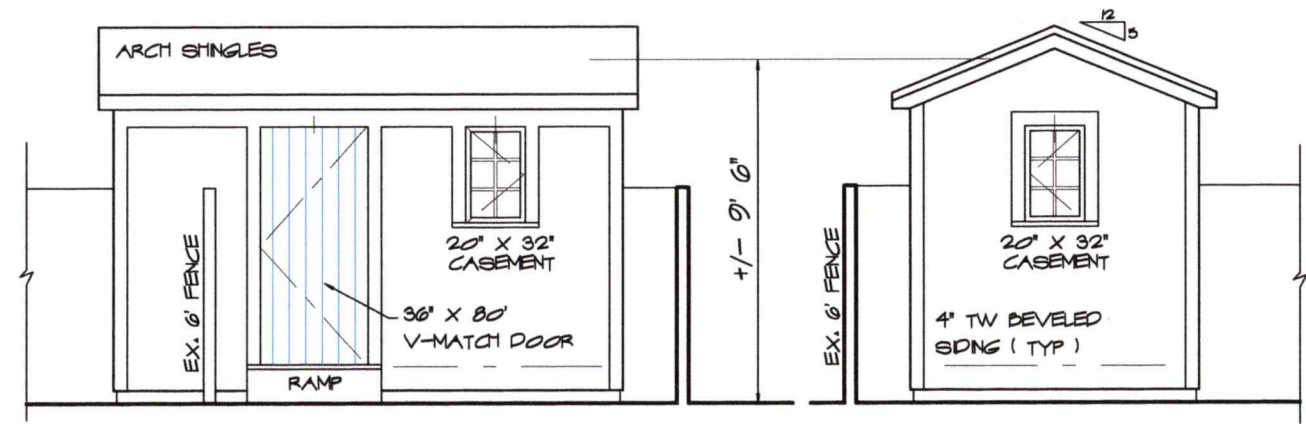
SCHMATIC DESIGN ADDITIONS & RENOVATIONS, SILVA-MORAN RESIDENCE 434 MARCY STREET PORTSMOUTH, NH	 ANNE WHITNEY ARCHITECT 801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2209	Date: 6/12/23
		Revisions:	3 OF 4

WINDOW & EXTERIOR DOOR SCHEDULES

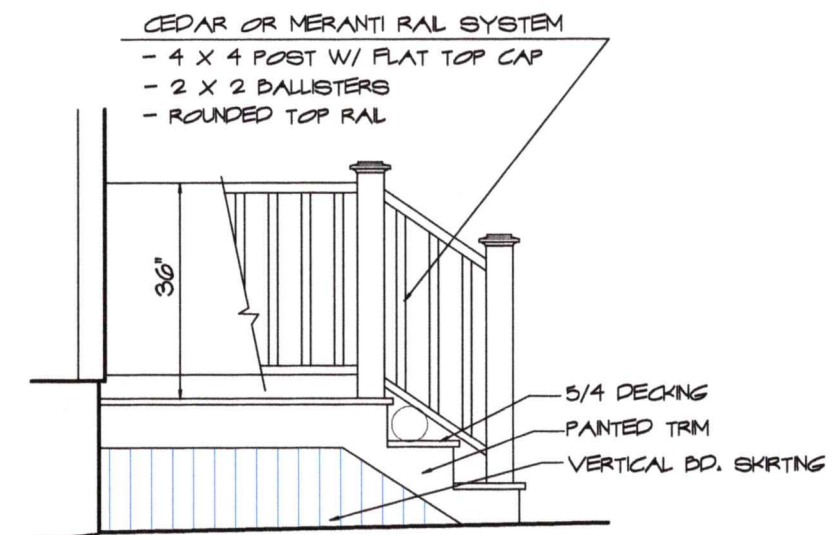
SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
WINDOWS					
A	ELDH 2656	4/4	2' 2 1/2" X 4' 8 1/4"	MARVIN INC., ELEVATE, Doublehung, 7/8" SDL w/ Low E Glazing, Cladding "Stone White" Hardware to be chosen by Owner, 1/2 Screens.	2
A*					1 tempered
B	ELDH 3256	6/6	2' 8 1/2" X 4' 8 1/4"	DITTO	3
C	ELDH 3044	6/6	2' 6 1/2" X 3' 8 1/4"	DITTO	1
C*					1 tempered
D	ELCA 2135	6	1' 9" X 2' 11 5/8"	MARVIN INC., ELEVATE, Casement, 7/8" SDL with Low E Glazing, Cladding "Stone White" Hardware to be chosen by Owner. In exist. wall.	1 L
E	ELCA 3335 3 wide	9	8' 1" X 2' 11 5/8"	DITTO, 3 wide & Center Unit fixed	1
F	ELCA 2935	9	2' 5" X 2' 11 5/8"	DITTO	2 L 1 R
G	ELCA 2947E	12	2' 5" X 3' 11 5/8"	DITTO, Egress	1 R
H	ELCA 2935	6/6 with M-Rail	2' 8 1/2" X 4' 8 5/8"	Casement to match ELDH 3256, with SDL meeting rail	1 R
I	Direct Glaze 1' 2" x 4' 7 3/4"	1/1 with M-Rail	1' 3" X 4' 8 5/8"	MARVIN INC., ELEVATE, Direct Glaze, 7/8" SDL with SDL Meeting Rail, Low E Glazing, Cladding "Stone White" Hardware to be chosen by Owner.	2
EXTERIOR DOOR					
J	7134 Traditional 32" x 80"	4	34" x 82 1/2"	SIMPSON DOOR CO, Model 7134 Traditional, 4 Upper Lites single pane, oak sill. Hardware to be chosen by Owner. in 2X6 wall.	1

WINDOW - EXT. DOOR NOTES

1. VERIFY WINDOW SIZING IN EXISTING OPENINGS, ADJUST AS REQUIRED.
2. SUBMIT FINAL WINDOW/DOOR ORDER & SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE ORDERING



PROPOSED 8' X 14' SHED
SCALE: 3/16" = 1'-0"



TYPICAL LANDING & STEPS
SCALE: 1/2" = 1'-0"

SCHEMATIC DESIGN ADDITIONS & RENOVATIONS, SLIVA-MORAN RESIDENCE 434 MARCY STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: # 2209 Revisions:	Date: 6/12/23 4 OF 4
	ANNE WHITNEY ARCHITECT		

MARVIN ELEVATE™ COLLECTION
DOUBLE HUNG

MO (mm)	1-10 (559)	2-2 (660)	2-6 (762)	2-8 (813)	2-10 (864)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)	2-8 1/2 (826)	2-10 1/2 (876)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)
3-0 (914)	ELDH2236	ELDH2636	ELDH3036	ELDH3236	ELDH3436
3-4 (1016)	ELDH2240	ELDH2640	ELDH3040	ELDH3240	ELDH3440
3-8 (1176)	ELDH2244	ELDH2644	ELDH3044	ELDH3244	ELDH3444
4-0 (1219)	ELDH2248	ELDH2648	ELDH3048	ELDH3248	ELDH3448
4-4 (1321)	ELDH2252	ELDH2652	ELDH3052	ELDH3252	ELDH3452
4-8 (1422)	ELDH2256	ELDH2656	ELDH3056	ELDH3256	ELDH3456

Simpson®
 Door Company



T

7134 TRADITIONAL

DOOR SPECIFICATIONS

Wood Species: Fir

Glass: Clear

Profile: Ovolo Sticking

Panel Type: 1-7/16" Innerbond DHRP

MARVIN ELEVATE™ COLLECTION
CASEMENT

MO (mm)	1-4 1/2 (419)	1-8 1/2 (521)	2-0 1/2 (622)	2-4 1/2 (724)	2-8 1/2 (826)
RO (mm)	1-5 (432)	1-9 (533)	2-1 (635)	2-5 (737)	2-9 (838)
FS (mm)	1-4 (406)	1-8 (508)	2-0 (610)	2-4 (711)	2-8 (813)
DLO (mm)	0-10 25/32 (274)	1-2 25/32 (376)	1-6 25/32 (477)	1-10 25/32 (579)	2-2 25/32 (680)
2-7 3/8 (797)	ELCA1731	ELCA2131	ELCA2531	ELCA2931	ELCA3331
2-11 3/8 (898)	ELCA1735	ELCA2135	ELCA2535	ELCA2935	ELCA3335
3-3 3/8 (1000)	ELCA1739	ELCA2139	ELCA2539	ELCA2939	ELCA3339
3-7 1/2 (1105)	ELCA1743	ELCA2143	ELCA2543	ELCA2943 E	ELCA3343 E
3-11 3/8 (1203)	ELCA1747	ELCA2147	ELCA2547	ELCA2947 E	ELCA3347 E

*CASEMENT
 TO MATCH*

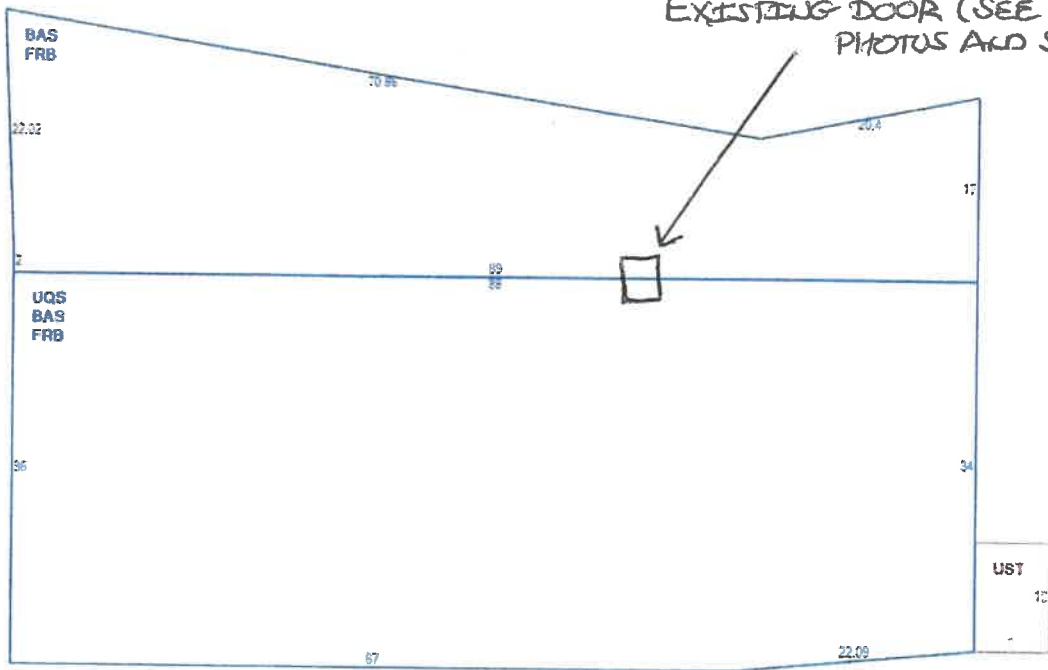
D

F

E

G

WINDOW REPLACES
EXISTING DOOR (SEE ATTACHED
PHOTOS AND SPECS)



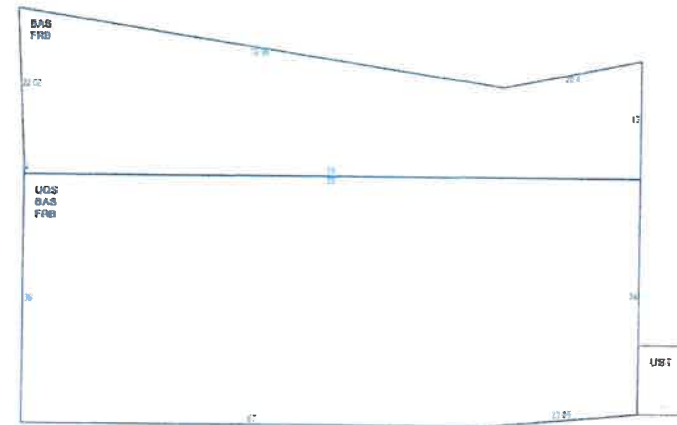
Occupancy	1.00
Residential Units	
Exterior Wall 1	Brick/Masonry
Exterior Wall 2	
Roof Structure	Gable/Hip
Roof Cover	Slate
Interior Wall 1	Drywall/Sheet
Interior Wall 2	Minim/Masonry
Interior Floor 1	Hardwood
Interior Floor 2	Ceram Clay Til
Heating Fuel	Gas
Heating Type	Forced Air-Duc
AC Type	Central
Bldg Use	REST/CLUBS
Total Rooms	
Total Bedrms	
Total Baths	
Kitchen Grd	
Heat/AC	HEAT/AC PKGS
Frame Type	WOOD FRAME
Baths/Plumbing	AVERAGE
Ceiling/Wall	CEIL & WALLS
Rooms/Prtns	AVERAGE
Wall Height	9.00
% Conn Wall	

Building Photo



(<https://images.vgsi.com/photos2/PortsmouthNHPhotos/A00\02\15\66.jpg>)

Building Layout



(ParcelSketch.ashx?pid=37496&bid=37496)

Building Sub-Areas (sq ft)

Legend



27 June 2023

RE: 172 HANOVER STREET WINDOW REPLACEMENT FOR DOOR



View of building from Hanover Street

Arrow points to location of rear dormer of building where proposed window will replace existing door



Close up view of end of building and metal fire escape to be removed



View of roof dormer. Arrow points to door to be replaced by new window to match adjacent original windows.

BRIAN M. RODONETS, Architect, NCARB, BEP
JAN LAMONT, Interiors
Office: 207.439.2110 email: coastalarchitects@gmail.com

27 Goose Point Kittery Point ME 03905
website: www.coastalarchitects.net

BR cell: 603.828.6122
JL cell: 603.828.6123

27 June 2023

RE: 172 HANOVER STREET WINDOW REPLACEMENT FOR DOOR, page 2



View of continuation of dormer looking east



View of adjacent building wall opposite the dormer on south side



Interior view of door to be replaced with new window of identical size and layout of original windows

400 SERIES PRODUCT PERFORMANCE



PERFORMANCE STANDARDS

The Window and Door Manufacturers Association (WDMA), the American Architectural Manufacturers Association (AAMA) and the Canadian Standards Association (CSA) jointly release the North American Fenestration Standard/Specification for Windows, Doors and Skylights (NAFS-11) where “-11” refers to the most recent publication year of 2011. NAFS is also referred to as AAMA/WDMA/CSA 101/1.S.2/A440, which is how the International Code Council (ICC) lists this standard in the 2012, 2015 and 2018 International Residential Code (IRC) and International Building Code (IBC) as the means to indicate the window, door or skylights design pressure rating used to determine compliance to the jobsite design pressure requirements.

A product only achieves a “Performance Grade” or “PG” rating when it complies with all of the NAFS performance requirements such as ease of operation, air infiltration resistance, resistance to water penetration and resistance to forced entry, etc. A “Design Pressure Rating” or “DP” rating only depicts the design and structural load performance.

Performance Classes

The NAFS Standard/Specification defines requirements for four performance classes. Performance classes are designated R, LC, CW and AW. This classification system provides for several levels of performance. Product selection is always based on the performance and building code requirements of the particular project.

Elements of Performance Grade (PG) Designations

In order to qualify for a given performance grade (PG), test specimens need to pass all required performance tests for the following, in addition to all required auxiliary (durability) and applicable material/component tests (not shown here) for the applicable product type and desired performance class:

- (a) **Operating force (if applicable):** Maximum operating force varies by product type and performance class.
- (b) **Air leakage resistance:** Tested in accordance with ASTM E283 at a test pressure of 1.57 psf. Allowable air infiltration for R, LC and CW class designations is 0.3 cubic feet per minute per square foot of frame (cfm/ft²).
- (c) **Water penetration resistance:** Tested in accordance with ASTM E547 with the specified test pressure applied per NAFS-11. Test consists of four cycles. Each cycle consists of five minutes with pressure applied and one minute with the pressure released, during which the water spray is continuously applied. Water spray shall be uniformly applied at a constant rate of 5 U.S. gal/ft² · hr.
- (d) **Uniform load deflection test:** Tested in accordance with ASTM E330 for both positive and negative pressure (pressure defined by NAFS-11) with the load maintained for a period of 10 seconds. The test specimen shall be evaluated for deflection during each load for permanent damage after each load and for any effects on the normal operation of the specimen. *Starting with the 2008 version of NAFS, design pressure (DP) will only represent the “uniform load deflection test.”*
- (e) **Uniform load structural test:** Tested in accordance with ASTM E330 for both positive and negative pressure (pressure defined by NAFS-11) with the load maintained for a period of 10 seconds. After loads are removed, there shall be no permanent deformation in excess of 0.4% of its span and no damage to the unit, which would make it inoperable.
- (f) **Forced-entry resistance (if applicable):** Tested in accordance with ASTM F588 (windows), F476 (swinging doors) and F842 (sliding doors) at a performance level 10 rating.

Performance Grades (PG) and Corresponding Test Pressures (psf)

Performance Class/ Performance Grade	Air Infiltration Test Pressure	Maximum Allowable Air Infiltration/Exfiltration Rate		Water Penetration Resistance Test Pressure		Design Pressure		Structural Test Pressure		
		Pa	psf	Pa	psf	Pa	psf	Pa	psf	
15	75	1.57	1.5	0.30	140	2.92	720	15.04	1080	22.66
20	75	1.57	1.5	0.30	150	3.13	960	20.05	1440	30.08
25	75	1.57	1.5	0.30	180	3.78	1200	25.08	1800	37.59
30	75	1.57	1.5	0.30	220	4.59	1440	30.08	2160	45.11
35	75	1.57	1.5	0.30	260	5.43	1680	35.09	2520	52.63
40	75	1.57	1.5	0.30	290	6.08	1920	40.10	2880	60.15
45	75	1.57	1.5	0.30	330	6.88	2160	45.11	3240	67.67
50	75	1.57	1.5	0.30	360	7.52	2400	50.13	3600	75.19
55	75	1.57	1.5	0.30	400	8.38	2640	55.14	3960	82.71
60	75	1.57	1.5	0.30	440	9.19	2880	60.15	4320	90.23
65	75	1.57	1.5	0.30	470	9.82	3120	65.16	4680	97.74
70	75	1.57	1.5	0.30	510	10.65	3360	70.18	5040	105.26
75	75	1.57	1.5	0.30	540	11.28	3600	75.19	5400	112.78
80	75	1.57	1.5	0.30	580	12.11	3840	80.20	5760	120.30
85	75	1.57	1.5	0.30	580	12.11	4080	85.21	6120	127.82
90	75	1.57	1.5	0.30	580	12.11	4320	90.23	6480	135.34
95	75	1.57	1.5	0.30	580	12.11	4560	95.24	6840	142.86
100	75	1.57	1.5	0.30	580	12.11	4800	100.25	7200	150.38

HALLMARK CERTIFICATION

The Window and Door Manufacturers Association (WDMA)-sponsored Hallmark Certification Program provides manufacturers with certification to the AAMA/WDMA/CSA 101/1.S.2/A440-11 Standard and is designed to provide builders, architects, specifiers and consumers with an easily recognizable means of identifying products that have been manufactured and tested in accordance with NAFS (AAMA/WDMA/CSA 101/1.S.2/A440) industry standards and other applicable performance standards. Conformance is determined by periodic in-plant inspections by a third-party administrator. Inspections include auditing licensee quality control procedures and processes, and a review to confirm products are manufactured in accordance with the appropriate performance standards. Periodic testing of representative product constructions and components by an independent testing laboratory is also required. When all of the program requirements are met, the licensee is authorized to use the WDMA Hallmark registered logo on their certification label as a means of identifying products and their performance ratings.

Products successfully obtaining Hallmark Certification will be labeled with a three-part code, which includes performance class, performance grade and size tested. In addition to this mandatory requirement, you are allowed to list the design pressure on a separate line.

	Andersen Corporation 400 SERIES CASEMENT WINDOW Manufacturer stipulates certification as indicated below.					
	<table border="1"> <thead> <tr> <th>STANDARD</th> <th>RATING</th> </tr> </thead> <tbody> <tr> <td>AAMA/WDMA/CSA 101/1.S.2/A440-11</td> <td>Class LC⁽¹⁾ - PG50⁽²⁾ - Size Tested 56 x 71.8 in.⁽³⁾ DP+50/-50⁽⁴⁾</td> </tr> <tr> <td>AAMA/WDMA/CSA 101/1.S.2/A440-08</td> <td>Class LC⁽¹⁾ - PG50⁽²⁾ - Size Tested 56 x 71.8 in.⁽³⁾ DP+50/-50⁽⁴⁾</td> </tr> </tbody> </table>	STANDARD	RATING	AAMA/WDMA/CSA 101/1.S.2/A440-11	Class LC ⁽¹⁾ - PG50 ⁽²⁾ - Size Tested 56 x 71.8 in. ⁽³⁾ DP+50/-50 ⁽⁴⁾	AAMA/WDMA/CSA 101/1.S.2/A440-08
STANDARD	RATING					
AAMA/WDMA/CSA 101/1.S.2/A440-11	Class LC ⁽¹⁾ - PG50 ⁽²⁾ - Size Tested 56 x 71.8 in. ⁽³⁾ DP+50/-50 ⁽⁴⁾					
AAMA/WDMA/CSA 101/1.S.2/A440-08	Class LC ⁽¹⁾ - PG50 ⁽²⁾ - Size Tested 56 x 71.8 in. ⁽³⁾ DP+50/-50 ⁽⁴⁾					

- (1) - Performance Class
- (2) - Performance Grade
- (3) - Size Tested
- (4) - Design Pressure

In the example above, the performance class is LC, the performance grade (PG) is 50 pounds per square foot (psf) and the size tested is 56" x 71.8". What this means to the specifier is, based on the performance grade chart, the laboratory-tested air infiltration was less than 0.3 cfm/ft² (test pressure is always 1.57 psf and the allowable airflow is 0.3 cfm/ft²), the product tested successfully resisted a laboratory water penetration test at a test pressure of 7.5 psf, the product tested successfully withstood a laboratory positive test pressure of 75 psf and a laboratory negative test pressure of 75 psf, and the product tested passed the laboratory requirements for operational force and forced-entry resistance. Based on this test, all products of the same design that are smaller than the tested size can be labeled with this product performance rating.

IMPORTANT

Building codes prescribe design pressure based on a variety of criteria (i.e., windspeed zone, building height, building type, jobsite exposure, etc.). Design pressures derived from Performance Grade (PG) test requirements should be used to determine compliance to building code required design pressures. **Structural test pressures, which are tested at 1.5 times the design pressure, should not be used for determining design pressure code compliance.** In the example above, a PG 50 performance grade rating, which passes a 50 psf design pressure, should be used for determining code compliance, not the structural test pressure of 75 psf.

If you need further details about how Andersen® products perform to this standard, contact your Andersen supplier.

If you need further information about the AAMA/WDMA/CSA 101/1.S.2/A440-11 standard or the Hallmark Certification Program, please contact: WDMA, 330 N. Wabash Avenue, Suite 2000, Chicago, IL 60611. Phone: 312-321-6802 Website: wdma.com

Where designated, Andersen products are tested, certified and labeled to the requirements of the Hallmark Certification Program. Actual performance may vary based on variations in manufacturing, shipping, installation, environmental conditions and conditions of use.

400 SERIES PRODUCT PERFORMANCE



Performance Grade and Air Infiltration Ratings — 400 Series Windows

For current performance information, please visit andersenwindows.com.

Andersen® Product	AAMA/WDMA/CSA 101/L.S.2/A440 Performance Grade (PG)	+/- Corresponding Design Pressure (DP)	Air Infiltration CFM/FT²
Casement Windows			
Single Stationary (CXW16)	Class LC-PG50 Size Tested 35" x 71"	50/50	< 0.2
Single Venting (CXW16-155, CX16-155)	Class LC-PG40 Size Tested 35" x 71"	40/40	< 0.2
Single Venting (CXW15)	Class LC-PG45 Size Tested 71" x 60"	45/45	< 0.2
Single Venting (CW16 and smaller)	Class LC-PG50 Size Tested 60" x 71"	50/50	< 0.2
Single Venting (CXW145 and smaller)	Class LC-PG50 Size Tested 71" x 52"	50/50	< 0.2
Single Venting (CX15 and smaller)	Class LC-PG50 Size Tested 62" x 59"	50/50	< 0.2
Twin Stationary (CXW245, CX25, CW26 and smaller)	Class LC-PG50 Size Tested 56" x 71"	50/50	< 0.2
Twin Venting (CXW25)	Class LC-PG45 Size Tested 71" x 60"	45/45	< 0.2
Twin Venting (CXW245 and smaller)	Class LC-PG50 Size Tested 71" x 52"	50/50	< 0.2
Twin Venting (CX25 and smaller)	Class LC-PG50 Size Tested 62" x 59"	50/50	< 0.2
Twin Venting (CW26 and smaller)	Class LC-PG50 Size Tested 60" x 71"	50/50	< 0.2
Triple Venting (CW35 and smaller)	Class LC-PG40 Size Tested 84" x 80"	40/40	< 0.2
Triple Venting (C35 and smaller)	Class LC-PG50 Size Tested 71" x 60"	50/50	< 0.2
Casement/Awning Picture Windows (P5060 and smaller)	Class LC-PG70 Size Tested 59" x 71"	70/70	< 0.2
Casement/Awning Transom Windows (TR32410 and smaller)	Class LC-PG70 Size Tested 84" x 12"	70/70	< 0.2
Casement Windows, PG Upgrade			
Single Stationary (tempered glass, CXW16)	Class LC-PG70 Size Tested 35" x 71"	70/70	< 0.2
Single Venting (CXW145 and smaller)	Class LC-PG70 Size Tested 35" x 52"	70/70	< 0.2
Single Venting (CX16 and smaller)	Class LC-PG70 Size Tested 31" x 71"	70/70	< 0.2
Twin Venting (CW26 and smaller)	Class LC-PG70 Size Tested 56" x 71"	70/70	< 0.2
Triple Venting (C35 and smaller)	Class LC-PG70 Size Tested 71" x 59"	70/70	< 0.2
Complementary Casement Windows			
Casement Venting	Class LC-PG50 Size Tested 35" x 84"	50/50	< 0.2
Casement Stationary	Class LC-PG60 Size Tested 120" x 78"	60/60	< 0.2
French Casement Venting	Class LC-PG30 Size Tested 56" x 72"	30/30	< 0.2
Awning Windows			
Single Stationary (AXW61)	Class LC-PG50 Size Tested 35" x 71"	50/50	< 0.2
Single Venting (AXW51 and smaller)	Class LC-PG35 Size Tested 59" x 35"	35/35	< 0.2
Single Venting (AX61 and smaller)	Class LC-PG35 Size Tested 72" x 31"	35/35	< 0.2
Twin Venting (AXW231 and smaller)	Class LC-PG35 Size Tested 71" x 36"	35/35	< 0.2
Triple Venting (AX3251 and smaller)	Class LC-PG35 Size Tested 84" x 31"	35/35	< 0.2
Triple Venting (A313 and smaller)	Class LC-PG35 Size Tested 35" x 71"	35/35	< 0.2
Picture Venting (PA4060 and smaller)	Class LC-PG35 Size Tested 48" x 71"	35/35	< 0.2
Awning Windows, PG Upgrade			
Single Stationary (tempered glass, AXW61)	Class LC-PG70 Size Tested 35" x 71"	70/70	< 0.2
Single, Twin and Triple Venting (AX3251 and smaller)	Class LC-PG60 Size Tested 84" x 31"	60/60	< 0.2
Triple Venting (A313 and smaller)	Class LC-PG60 Size Tested 35" x 71"	60/60	< 0.2

*Performance Grade (PG) ratings may vary from tested performance rating for larger or smaller units of a particular type. continued on next page
 *This data is accurate as of May 2021. Due to ongoing product changes, updated test results or new industry standards, this data may change over time.
 *Where designated, Andersen products are certified and labeled to the requirements of the Hallmark Certification Program. Actual performance may vary based on variations in manufacturing, shipping, installation, environmental conditions and conditions of use.
 *Contact your Andersen supplier for more information.
 *Window size tested is an integral twin or triple window, and qualifies the window listed under the same test.

400 SERIES PRODUCT PERFORMANCE



Performance Grade and Air Infiltration Ratings – 400 Series Windows *(continued)*

For current performance information, please visit andersenwindows.com.

Andersen® Product	AAMA/WDMA/CSA 101/1.S.2/M440 Performance Grade (PG)	+/- Corresponding Design Pressure (DP)	Air Infiltration CFM/FT ²
Woodwright® Full-Frame Windows			
Double-Hung (3862 and smaller)	Class LC-PG30 Size Tested 45" x 76"	30/30	< 0.2
Double-Hung (cottage sash, 3862 and smaller)	Class R-20 Size Tested 45" x 76"	20/20	< 0.2
Arch Double-Hung (3862 and smaller)	Class LC-PG30 Size Tested 45" x 76"	30/30	< 0.2
Springline® Single-Hung (3872 and smaller)	Class LC-PG30 Size Tested 45" x 86"	30/30	< 0.2
Picture (5862 and smaller)	Class LC-PG65 Size Tested 67" x 78"	65/65	< 0.2
Transom (6231 and smaller)	Class LC-PG70 Size Tested 75" x 39"	70/70	< 0.2
Woodwright Full-Frame Windows, PG Upgrade			
Double-Hung (3052 and smaller)	Class LC-PG50 Size Tested 37" x 64"	50/50	< 0.2
Arch Double-Hung (3054)	Class LC-PG50 Size Tested 37" x 64"	50/50	< 0.2
Springline Single-Hung (3057)	Class LC-PG50 Size Tested 37" x 87"	50/50	< 0.2
Woodwright Inset Windows			
Double-Hung (3862 and smaller)	Class R-PG25 Size Tested 45" x 77"	25/25	< 0.2
Double-Hung (cottage sash, 3862 and smaller)	Class R-PG20 Size Tested 45" x 68"	20/20	< 0.2
Picture (5862 and smaller)	Class LC-PG30 Size Tested 68" x 78"	30/30	< 0.2
Transom (6878 and smaller)	Class LC-PG30 Size Tested 68" x 78"	30/35	< 0.2
Tilt-Wash Full-Frame Windows			
Double-Hung (3862 and smaller)	Class LC-PG40 Size Tested 45" x 76"	40/40	< 0.2
Double-Hung (cottage sash, 3856 and smaller)	Class LC-PG40 Size Tested 45" x 68"	40/40	< 0.2
Double-Hung** (3876 and smaller)	Class LC-PG30 Size Tested 45" x 82"	30/35	< 0.2
Picture (5862 and smaller)	Class LC-PG50 Size Tested 67" x 78"	50/65	< 0.2
Transom (6231 and smaller)	Class LC-PG50 Size Tested 75" x 39"	50/50	< 0.2
Tilt-Wash Windows, PG Upgrade			
Double-Hung	Class LC-PG50 Size Tested 45" x 76"	50/50	< 0.2
Tilt-Wash Inset Windows			
Double-Hung (double lock)	Class R-PG20 Size Tested 45" x 92"	20/20	< 0.2
Double-Hung (single lock)	Class R-PG20 Size Tested 35" x 92"	20/20	< 0.2
Double-Hung	Class LC-PG30 Size Tested 45" x 76"	30/30	< 0.2
Sliding Windows (G65 and smaller)	Class LC-PG30 Size Tested 71" x 59"	30/30	< 0.2
Specialty Windows			
Arch (AFFW6080 and smaller)	Class LC-PG50 Size Tested 71" x 105"	50/50	< 0.2
Flexframe® (12050 and smaller)	Class LC-PG50 Size Tested 144" x 60"	50/50	< 0.2
Springline (SP802 and smaller)	Class LC-PG50 Size Tested 96" x 72"	50/50	< 0.2
Specialty Windows, PG Upgrade			
Arch (tempered glass, AFFW6080 and smaller)	Class LC-PG70 Size Tested 71" x 105"	70/70	< 0.2
Flexframe (tempered glass, 12050 and smaller)	Class LC-PG70 Size Tested 144" x 60"	70/70	< 0.2
Springline (tempered glass, SP802 and smaller)	Class LC-PG70 Size Tested 96" x 72"	70/70	< 0.2
Complimentary Specialty Windows (direct-set, fixed)	Class LC-PG50 Size Tested 125" x 84"	50/50	< 0.2

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 **This data is accurate as of May 2021. Due to ongoing product changes, updated test results or new industry standards, this data may change over time.
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 *Contact your Andersen supplier for more information.
 **Window heights equal to or greater than 7'-4 1/4" (2250) and 7'-8 1/4" (2359) have interior and exterior brackets. Interior brackets, located on each side of the meeting rail, must be flipped up for proper product performance.

400 SERIES PRODUCT PERFORMANCE



Performance Grade and Air Infiltration Ratings – 400 Series Patio Doors

For current performance information, please visit andersenwindows.com.

Andersen® Product	AAMA/WDMA/CSA 101/1.3.2/A440 Performance Grade (PG)	+/- Corresponding Design Pressure (DP)	Air Infiltration CFM/FT ²
Frenchwood® Gliding Patio Doors			
Single Stationary	Class LC-PG40 Size Tested 60" x 95"	40/40	< 0.2
Two-Panel	Class LC-PG40 Size Tested 96" x 95"	40/40	< 0.2
Four-Panel (8')	Class LC-PG35 Size Tested 188" x 95"	35/35	< 0.2
Four-Panel (6'-11", 6'-8")	Class LC-PG25 Size Tested 189" x 82"	25/25	< 0.2
Frenchwood Hinged Inswing Patio Doors			
Single Active	Class LC-PG40 Size Tested 107" x 95"	40/40	< 0.2
Two-Panel	Class LC-PG40 Size Tested 71" x 95"	40/40	< 0.2
Three-Panel	Class LC-PG40 Size Tested 107" x 95"	40/40	< 0.2
Frenchwood Patio Door Sidelights	Class LC-PG40 Size Tested 18" x 95"	40/40	< 0.2
Frenchwood Patio Door Transoms	Class LC-PG40 Size Tested 71" x 21"	40/40	< 0.2
Complementary Springline™ and Arch Hinged Inswing Patio Doors			
Single Stationary	Class LC-PG45 Size Tested 37" x 95"	45/45	< 0.2
Single Active†	Class LC-PG45 Size Tested 37" x 95"	45/45	< 0.2
Two-Panel Stationary	Class LC-PG45 Size Tested 75" x 95"	45/45	< 0.2
Two-Panel Active†	Class LC-PG45 Size Tested 75" x 95"	45/45	< 0.2
Complementary Springline and Arch Hinged Outswing Patio Doors			
Single Stationary	Class LC-PG45 Size Tested 37" x 95"	45/45	< 0.2
Single Active†	Class LC-PG45 Size Tested 37" x 95"	45/45	< 0.2
Two-Panel Stationary	Class LC-PG45 Size Tested 75" x 95"	45/45	< 0.2
Two-Panel Active†	Class LC-PG45 Size Tested 75" x 95"	45/45	< 0.2

*Performance Grade (PG)† ratings may vary from tested performance rating for larger or smaller units of a particular type.

†This data is accurate as of

May 2021. Due to ongoing product changes, updated test results or new industry standards, this data may change over time.

*Where designated, Andersen products are certified and labeled to the requirements of the Hallmark Certification Program. Actual performance may vary based on variations in manufacturing, shipping, installation, environmental conditions and conditions of use.

†Contact your Andersen supplier for more information.

†Tested with standard multi-point hardware.

400 SERIES PRODUCT PERFORMANCE



Sound Transmission Ratings for 400 Series Windows and Patio Doors

For current performance information, please visit andersenwindows.com.

Andersen® Product	Test Size	Sound Transmission Class (STC)	Outdoor/Indoor Transmission Class (OITC)
Casement Windows	36" x 72"	26	22
Awning Windows	30" x 60"	26	21
Casement/Awning Picture Windows	60" x 72"	29	25
Woodwright® Double-Hung Windows			
Double-Hung Full-Frame	46" x 77"	28	23
Picture Full-Frame	48" x 48"	28	23
Transom Full-Frame	40" x 46"	28	22
Double-Hung Insert	20" x 60"	26	21
Picture Insert	53" x 78"	30	26
Transom Insert	53" x 78"	30	26
Tilt-Wash Double-Hung Windows			
Double-Hung Full-Frame	46" x 78"	29	24
Picture Full-Frame	66" x 77"	30	25
Transom Full-Frame	-	-	-
Double-Hung Insert	32" x 76"	27	24
Picture Insert	-	-	-
Transom Insert	-	-	-
Gliding Windows	72" x 60"	26	22
Specialty Windows	72" x 60"	30	25
Complementary Specialty Windows	72" x 60"	30	25
Frenchwood® Sliding Patio Doors			
Single Stationary	50" x 80"	31	26
Two-Panel	72" x 80"	31	26
Four-Panel	-	-	-
Frenchwood Hinged Inswing Patio Doors			
Single Active	36" x 60"	30	26
Two-Panel	72" x 80"	30	26
Three-Panel	-	-	-
Frenchwood Patio Door Sidelights & Transoms			
Sidelight	18" x 82"	32	26
Transom	72" x 22"	29	25
Complementary Springline® & Arch Hinged Inswing Patio Doors			
Single Active	38" x 90"	30	25
Two-Panel	75" x 90"	30	25
Complementary Springline & Arch Hinged Outswing Patio Doors			
Single-Panel	38" x 90"	31	25
Two-Panel	75" x 90"	31	25

*Sound Transmission Class (STC) and "Outdoor/Indoor Transmission Class (OITC)" ratings are for individual units based on independent tests and represent entire unit.

*This data is accurate as of May 2021. Due to ongoing product changes, updated test results or new industry standards, this data may change over time.

*Contact your Andersen supplier for more information.

400 SERIES TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS



Table of Tilt-Wash Double-Hung Window Sizes
Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
Minimum Rough Opening	1'-10 1/8" (562)	2'-2 1/8" (664)	2'-6 1/8" (765)	2'-8 1/8" (816)	2'-10 1/8" (867)	3'-0 1/8" (917)	3'-2 1/8" (968)	3'-6 1/8" (1070)	3'-10 1/8" (1172)
Unobstructed Glass (lower sash only)	15" (381)	19" (483)	23" (584)	25" (635)	27" (686)	29" (737)	31" (787)	35" (889)	39" (991)

CUSTOM WIDTHS – 21 5/8" to 45 5/8"									
Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
3'-0 7/8" (937)	TW18210	TW20210	TW24210	TW26210	TW28210	TW210210	TW30210	TW34210	TW38210
3'-4 7/8" (1038)	TW1832	TW2032	TW2432	TW2632	TW2832	TW21032	TW3032	TW3432	TW3832
3'-8 7/8" (1140)	TW1836	TW2036	TW2436	TW2636	TW2836	TW21036	TW3036	TW3436	TW3836
4'-0 7/8" (1241)	TW18310	TW20310	TW24310	TW26310	TW28310	TW210310	TW30310	TW34310	TW38310
4'-4 7/8" (1343)	TW1842	TW2042	TW2442	TW2642	TW2842	TW21042	TW3042	TW3442	TW3842
4'-8 7/8" (1445)	TW1846	TW2046	TW2446	TW2646	TW2846	TW21046	TW3046 ^o	TW3446 ^o	TW3846 ^o
5'-0 7/8" (1546)	TW18410	TW20410	TW24410	TW26410	TW28410	TW210410 ^o	TW30410 ^o	TW34410 ^o	TW38410 ^o
5'-4 7/8" (1648)	TW1852	TW2052	TW2452	TW2652	TW2852 ^o	TW21052 ^o	TW3052 ^o	TW3452 ^o	TW3852 ^o
5'-8 7/8" (1749)	TW1856	TW2056	TW2456	TW2656 ^o	TW2856 ^o	TW21056 ^o	TW3056 ^o	TW3456 ^o	TW3856 ^o
6'-0 7/8" (1851)	TW18510	TW20510	TW24510 ^o	TW26510 ^o	TW28510 ^o	TW210510 ^o	TW30510 ^o	TW34510 ^o	TW38510 ^o
6'-4 7/8" (1953)	TW1862	TW2062	TW2462 ^o	TW2662 ^o	TW2862 ^o	TW21062 ^o	TW3062 ^o	TW3462 ^o	TW3862 ^o

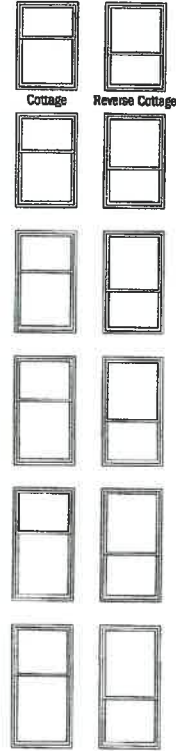


Custom-size windows are available in 1/8" (3) increments.

Cottage or reverse cottage sash ratio available for heights shown below in all widths.

CUSTOM WIDTHS – 21 5/8" to 45 5/8"

CUSTOM HEIGHTS – 48 7/8" to 76 1/4"



Size tables for windows with cottage or reverse cottage sash are available at andersenwindows.com/sizing.

*"Window Dimension" always refers to outside frame-to-frame dimension.
 *"Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
 *Dimensions in parentheses are in millimeters.
 o Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m², clear opening width of 20" (508) and clear opening height of 24" (610).

400 SERIES TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS



Table of Tilt-Wash Double-Hung Window Sizes (continued)
Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
	(549)	(651)	(752)	(803)	(854)	(905)	(956)	(1057)	(1159)
Minimum Rough Opening	1'-10 1/8"	2'-2 1/8"	2'-6 1/8"	2'-8 1/8"	2'-10 1/8"	3'-0 1/8"	3'-2 1/8"	3'-6 1/8"	3'-10 1/8"
	(562)	(664)	(765)	(816)	(867)	(917)	(968)	(1070)	(1172)
Unobstructed Glass (lower sash only)	15"	19"	23"	25"	27"	29"	31"	35"	39"
	(381)	(483)	(584)	(635)	(686)	(737)	(787)	(889)	(991)

CUSTOM WIDTHS – 21 5/8" to 46 5/8"

Window Dimension	7'-4 1/8"	7'-4 7/8"	7'-8 1/8"	7'-8 7/8"	7'-11 1/8"	7'-11 5/8"	7'-11 7/8"	7'-11 3/4"
	(2257)	(2257)	(2359)	(2359)	(2461)	(2461)	(2461)	(2461)
Minimum Rough Opening	7'-4 7/8"	7'-4 7/8"	7'-8 7/8"	7'-8 7/8"	7'-11 7/8"	7'-11 7/8"	7'-11 7/8"	7'-11 7/8"
	(2257)	(2257)	(2359)	(2359)	(2461)	(2461)	(2461)	(2461)
Unobstructed Glass (lower sash only)	39 15/16"	39 15/16"	41 15/16"	41 15/16"	43 1/8"	43 1/8"	43 1/8"	43 1/8"
	(1014)	(1014)	(1065)	(1065)	(1116)	(1116)	(1116)	(1116)

CUSTOM HEIGHTS – 36 7/8" to 92 7/8"

Window Model	TW1872	TW2072 ^o	TW2472 ^o	TW2672 ^o	TW2872 ^o	TW21072 ^o	TW3072 ^o	TW3472 ^o	TW3872 ^o
Window Dimension	7'-4 1/8"	7'-4 7/8"	7'-8 1/8"	7'-8 7/8"	7'-11 1/8"	7'-11 5/8"	7'-11 7/8"	7'-11 3/4"	7'-11 3/4"
Minimum Rough Opening	7'-4 7/8"	7'-4 7/8"	7'-8 7/8"	7'-8 7/8"	7'-11 7/8"	7'-11 7/8"	7'-11 7/8"	7'-11 7/8"	7'-11 7/8"
Unobstructed Glass (lower sash only)	39 15/16"	39 15/16"	41 15/16"	41 15/16"	43 1/8"	43 1/8"	43 1/8"	43 1/8"	43 1/8"
	(1014)	(1014)	(1065)	(1065)	(1116)	(1116)	(1116)	(1116)	(1116)

* "Window Dimension" always refers to outside frame-to-frame dimension.
 * "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
 * Dimensions in parentheses are in millimeters.
^o Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m², clear opening width of 20" (508) and clear opening height of 24" (610).



Custom-size windows are available in 1/8" (3) increments.

Windows 7'-4 7/8" (2257) and 7'-8 7/8" (2359) high have interior and exterior brackets. Interior brackets, located on both sides of the meeting rail, must be flipped up for proper product performance. Andersen[®] reinforced joining materials must be used when vertically joining 7'-4 7/8" (2257) and 7'-8 7/8" (2359) height windows.

400 SERIES TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

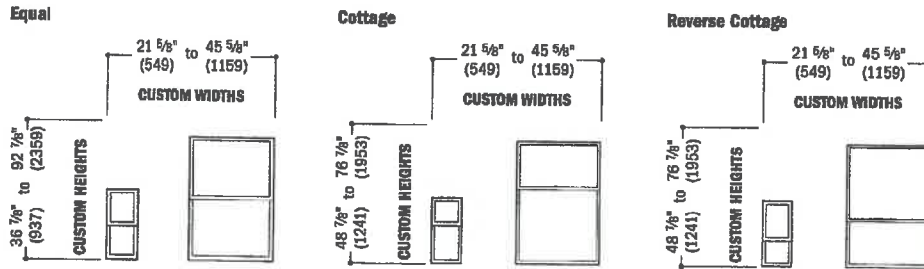


Custom Sizes and Specification Formulas



Available in 1/8" (3) increments between minimum and maximum widths and heights. Some restrictions apply; contact your Andersen supplier. For minimum rough opening dimensions for joined windows, see specific joining instruction guides. Measurement guide for custom-size windows can be found at andersewindows.com/measure.

Tilt-Wash Double-Hung Windows



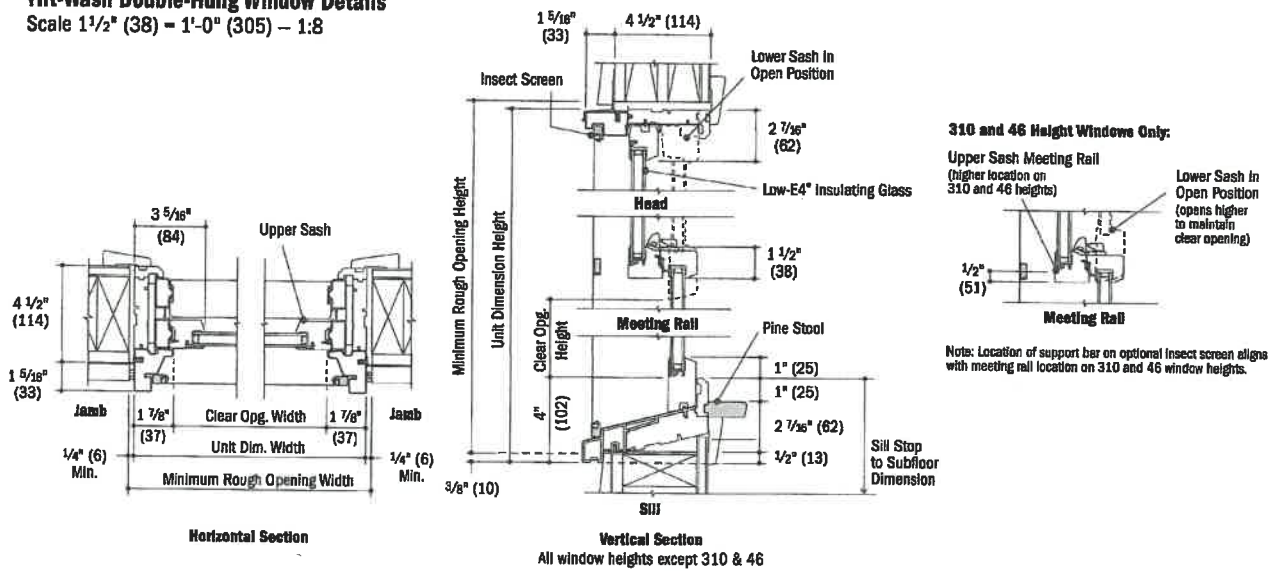
<p>Clear Opening</p>	<p>Width = window width - 1.852" (47) x 2</p> <p>Contact your Andersen supplier for clear opening height.</p>	<p>Minimum R.O.</p>	<p>Width = window width + 1/2" (51)</p> <p>Height = window height + 0"</p>
<p>Vent Opening</p>	<p>Vent opening formulas are dependent on window size; contact your Andersen supplier.</p>	<p>Unobst. Glass</p>	<p>Width = window width - 3.376" (86)</p> <p>Height:</p> <p>Upper Sash = upper sash height - 3.035" (77)</p> <p>Lower Sash = lower sash height - 3.831" (97)</p>

* Dimensions in parentheses are in millimeters.
 • Clear Opening formulas provide dimensions for determining area available for egress. Vent Opening formulas provide dimensions for determining area available for passage of air. Minimum R.O. (minimum rough opening) formulas provide minimum rough opening width and height dimensions. Unobst. Glass (unobstructed glass) formulas provide dimensions for determining area available for passage of light.

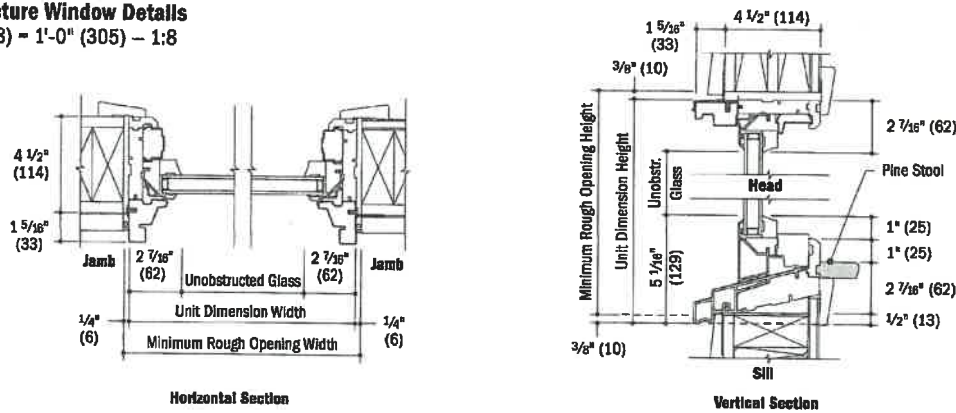
400 SERIES TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS



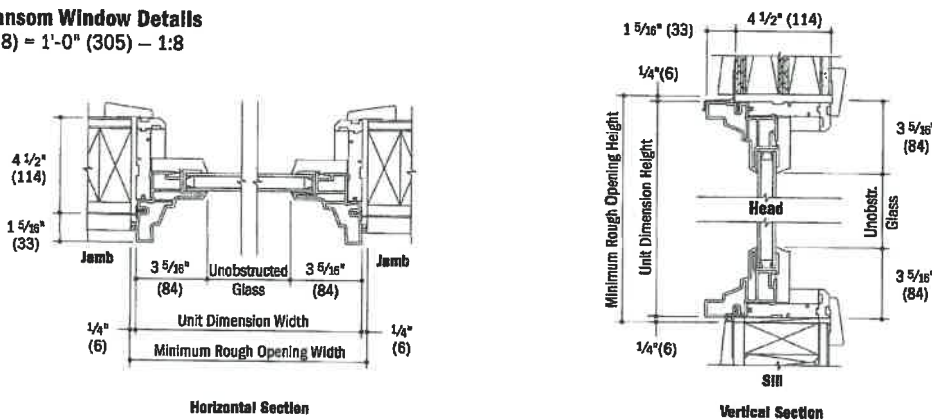
Tilt-Wash Double-Hung Window Details Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Tilt-Wash Picture Window Details Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Tilt-Wash Transom Window Details Scale 1 1/2" (38) = 1'-0" (305) – 1:8



- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Dimensions in parentheses are in millimeters.

111 STATE STREET ADDITION & RENOVATION

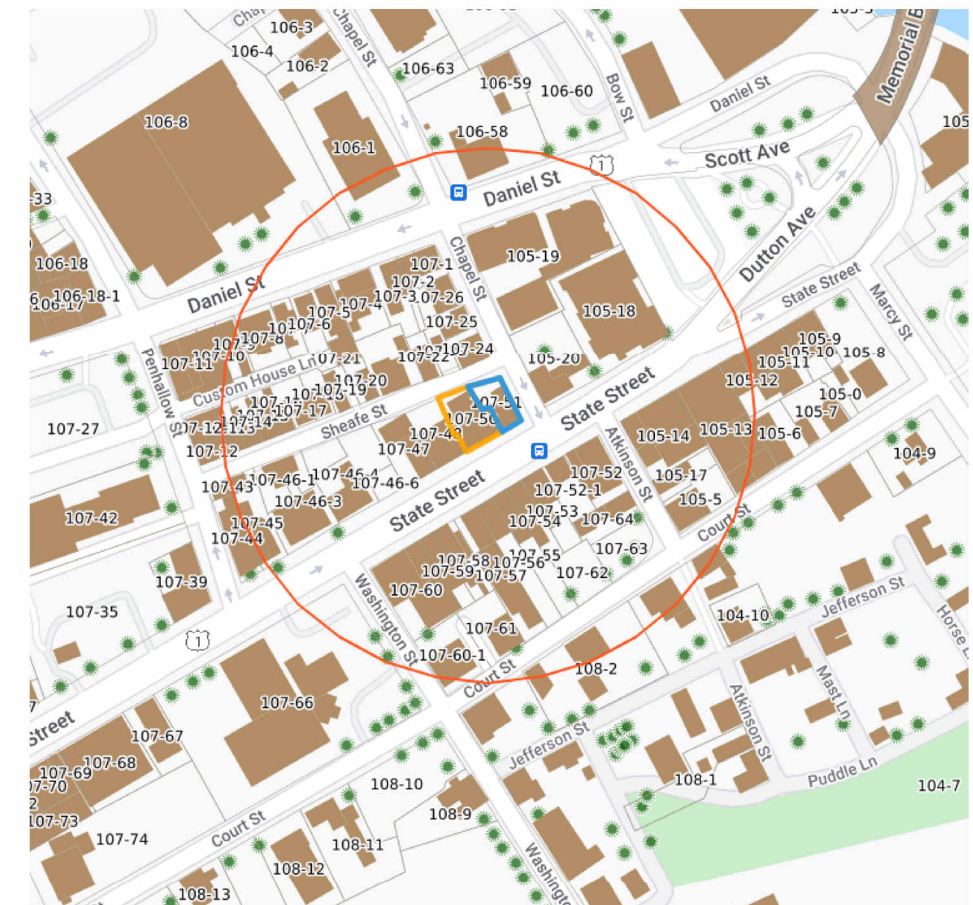
MINOR REVISIONS TO PREVIOUSLY APPROVED APPLICATION

Changes pertaining to change of use at second floor from Restaurant to Apartment.

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

DRAWING LIST

- HR0.1 COVER
- HR0.4 EXISTING CONDITIONS
- HR1.3B ROOF PLAN
- HR2.1 STATE STREET ELEVATION
- HR3.1 AXONOMETRIC
- HR3.3 VIGNETTE, STATE STREET



COVENTRY REALTY, LLC

**HDC PUBLIC HEARING
JULY 2023**

HR0.1 COVER
111 STATE STREET
SCALE:
06/14/23



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Overlay Districts

- OLOD Osprey Landing Overlay District
- Downtown Overlay District
- Historic District

Attribution
City of Portsmouth

Height requirement area

Transparency

Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'

*Penthouse Levels may exceed the building height by 2 feet.

ZONING SUMMARY
CHARACTER DISTRICT CD-4

HEIGHT ALLOWED -
STATE STREET: 2-3 STORIES, 40'
SHEAFE STREET: 2 STORIES, 35'

CURRENT USE:
3rd FLOOR: RESIDENTIAL & RESTAURANT-OFFICE
2nd, 1st & BASEMENT: RESTAURANT

PROPOSED USE:
3rd FLOOR: RESIDENTIAL
2nd FLOOR: RESIDENTIAL
1st FLOOR: RESTAURANT
BASEMENT: RESTAURANT FOOD PREP, STORAGE, MEP, & SUPPORT

HR0.2 LOCUS MAP & SUMMARY
111 STATE STREET

SCALE:
06/14/23

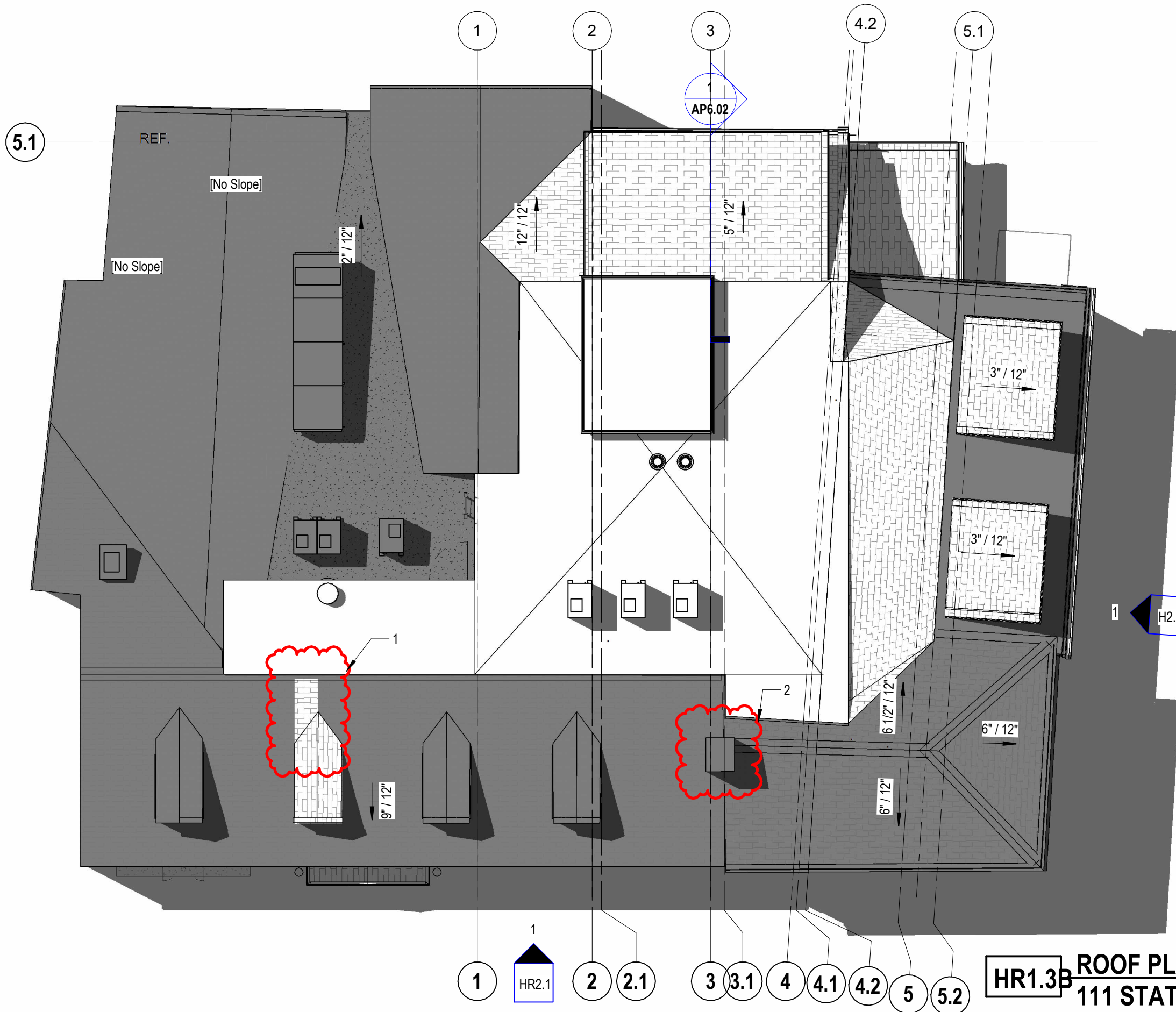


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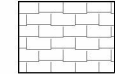


HR0.4 EXISTING CONDITIONS
111 STATE STREET

SCALE:
06/14/23



LEGEND

-  EXISTING ROOF - SHALLOW SLOPE, MEMBRANE
-  EXISTING ROOF - STEEP SLOPED, SHINGLES
-  NEW ROOF - FLAT, MEMBRANE
-  NEW ROOF - SLOPED, SHINGLES

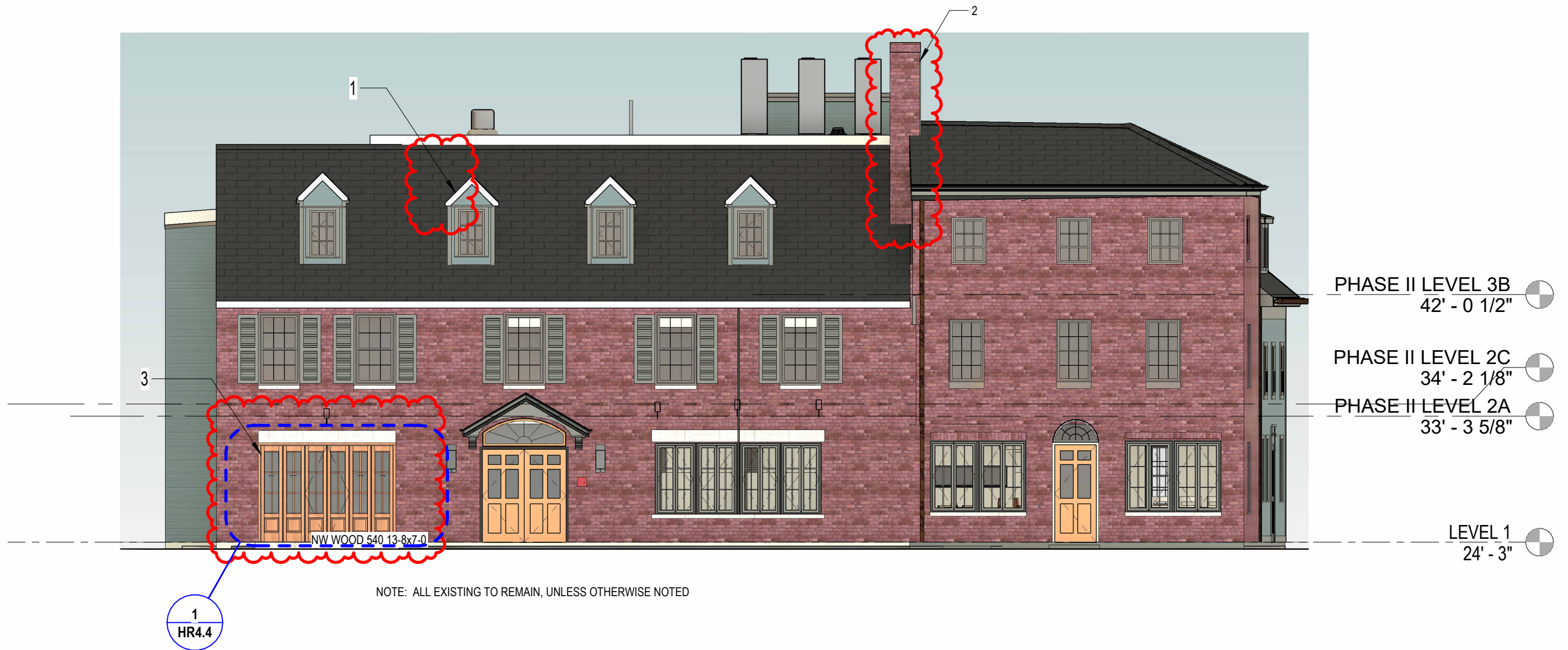
Key Notes

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

**HR1.3B ROOF PLAN
111 STATE STREET**

SCALE: 1/8" = 1'-0"
06/14/23





Key Notes

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

HR2.1 STATE STREET ELEVATION 111 STATE STREET

SCALE: 1/8" = 1'-0"
06/14/23



Key Notes

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

HR3.1 **AXONOMETRIC**
111 STATE STREET

SCALE:
06/14/23

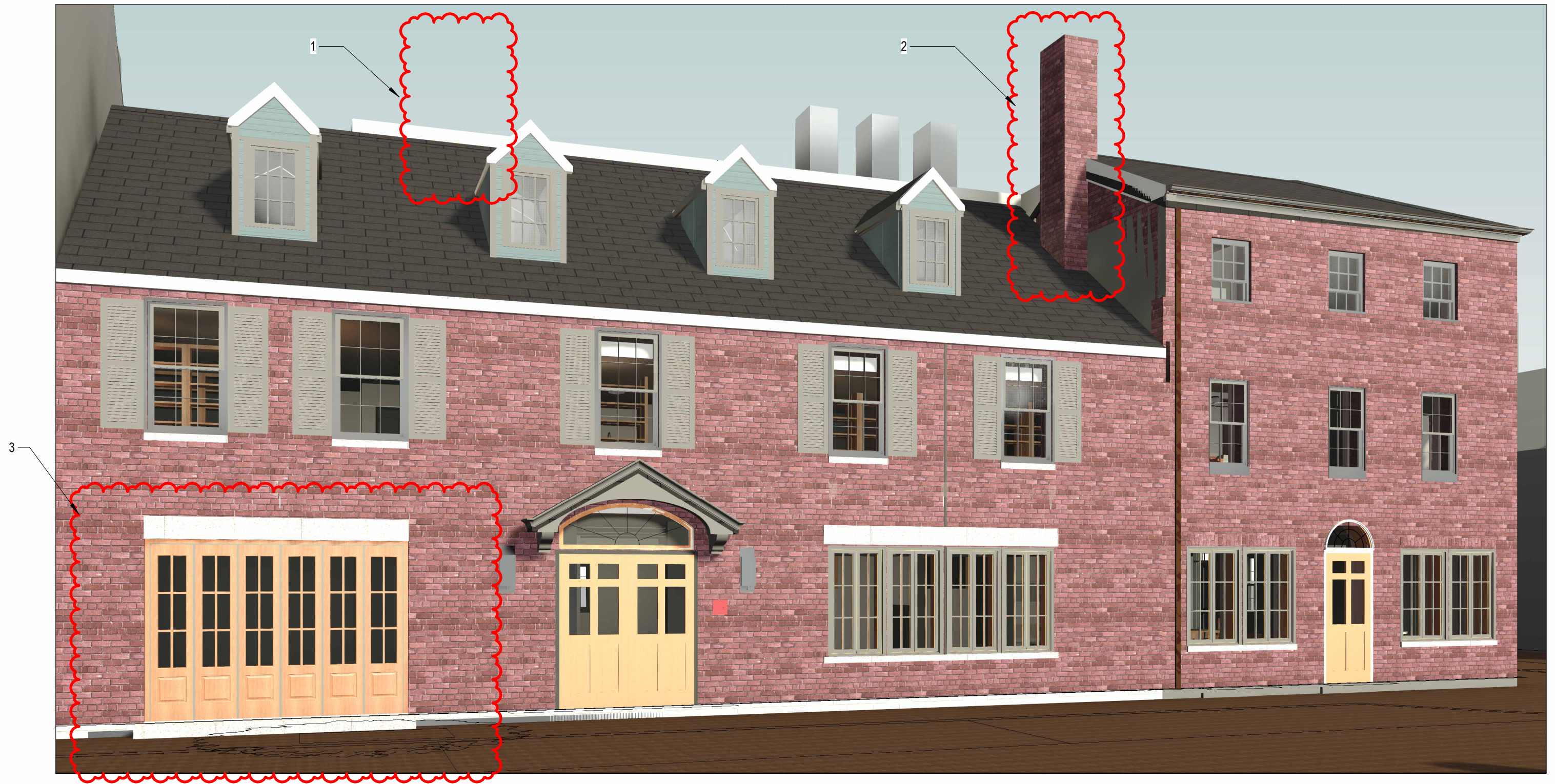


Key Notes

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

HR3.3 **VIGNETTE - STATE STREET EAST**
111 STATE STREET

SCALE:
06/14/23



Key Notes

1. Remove left chimney at proposed new dormer
2. Reconstruct right chimney at parapet wall
3. At State Street facade street level, replace existing left side door and window with folding Nana-windows to match approved Nana-windows at right side.

HR3.5 **VIGNETTE - STATE STREET WEST**
111 STATE STREET

SCALE:
06/14/23



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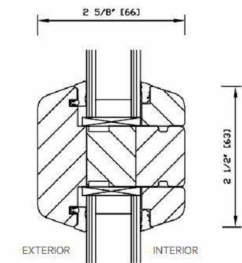


Nanawall - NW Wood 540 Slimmest Wood Framed Folding Glass Wall

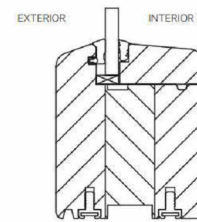
OTHER SECTION DETAILS | WD65

All Cross Sectional Views Are Half Size

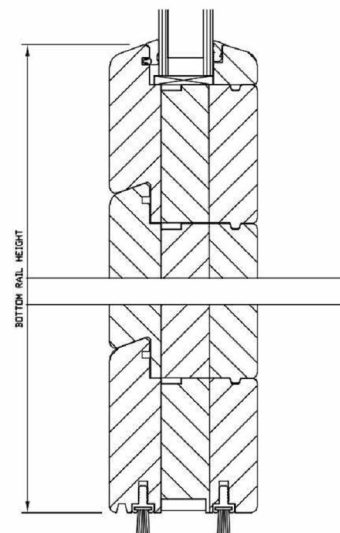
Typical Mullion Profile (Note that different mullion widths are available)



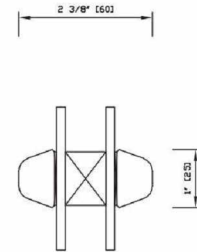
Typical Stile and Rail with Single 1/4\"/>



Typical Higher Bottom Rail

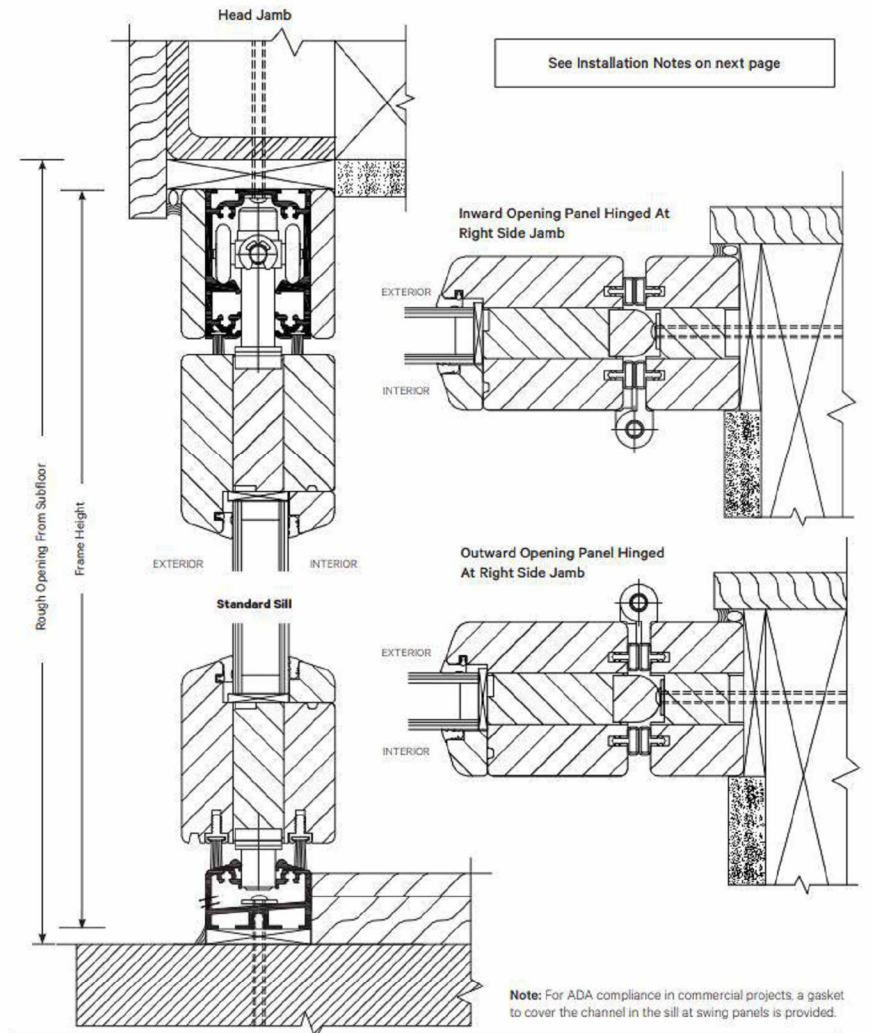


Typical Simulated Divided Lites Muntins with Spacers Between Insulated Glass (SDL)



SUGGESTED TYPICAL INSTALLATION FOR BOTH INWARD AND OUTWARD OPENING | WD65

Shown are 3 1/8\"/>



NanaWall
Engineering the Exceptional

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www.nanawall.com

22

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Engineering the Exceptional

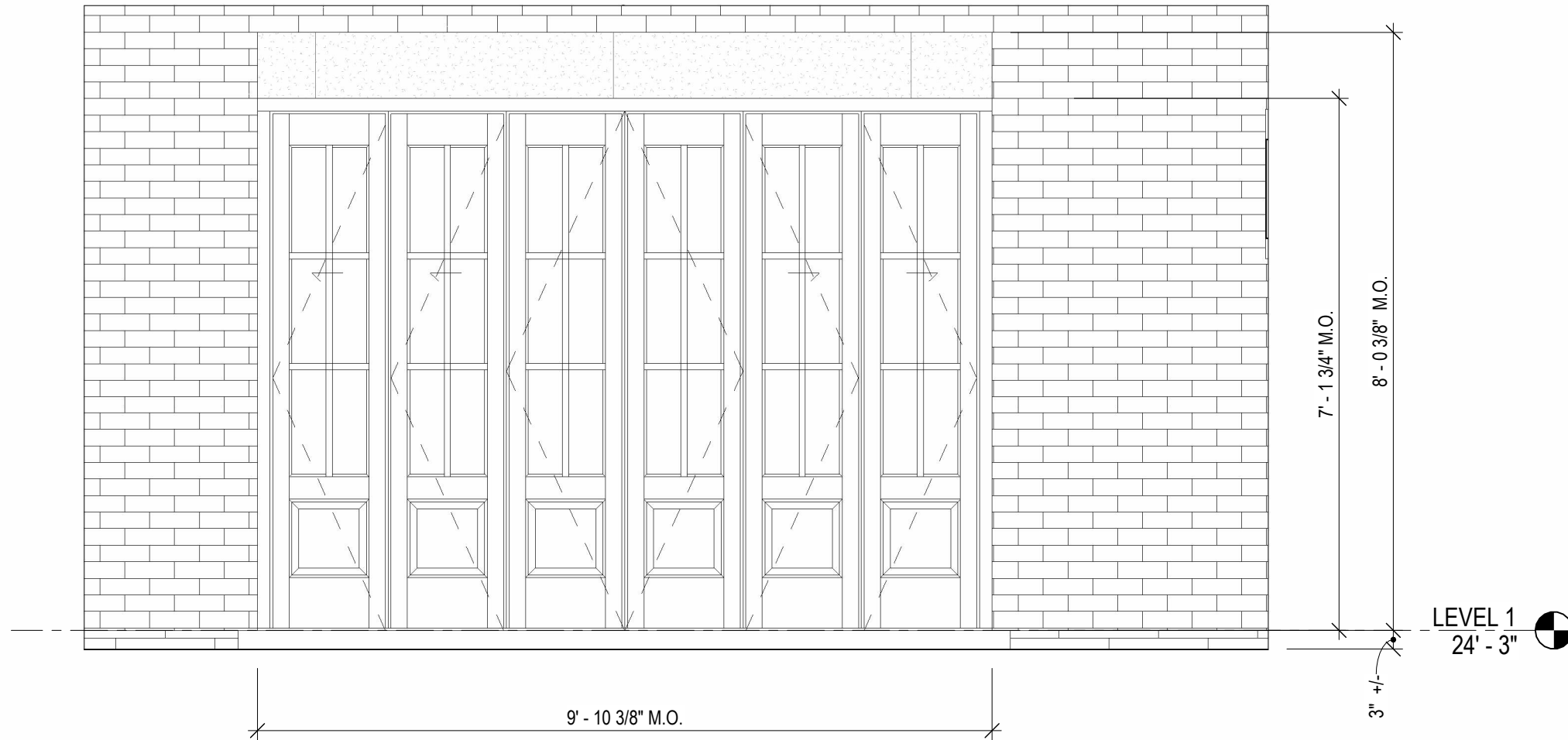
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HR4.3 MATERIALS
111 STATE STREET
SCALE:
06/14/23



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HR4.4 DOOR DETAIL
111 STATE STREET

SCALE: 1/2" = 1'-0"
 06/14/23



Date: 6/14/23

Profile Homes of NH
953 Islington St, Unit 22C
Portsmouth, NH 03801
603-433-2464

City of Portsmouth Historical District Commission

RE: 202 Court St Request for Administrative Approval

Dear Members of the Historical District Commission,

Please see the attached request for administrative approval dated 6/15/23

In response to requested changes from our purchaser, we are requesting 3 changes to the exterior of the building.

- 1- The owner has requested to add a *Nanawall Brand* sliding door to a rear deck where a no doorway was previously on the plan. This change impact is minimal to any area of the building seen at street level (Court St). The elevation direction of this addition is in the rear of the structure, overlooking the parking area dedicated to the Fire Station 1 employees and staff. This wall system has been used in many other multi-family penthouse locations throughout the city and, based on opinion, adds to a attractive exterior to the building.
- 2- The Application is also seeking to remove the door access and repurpose this location as a window previously on the plan. This impact appears minimal since, from ground level, the difference of the view for this opening to be a door vs a window is nearly unnoticed.
- 3- The application is requesting to add a gas fireplace to the rear of the building. This will require a vent out of rear of the building typical of those with direct vent fireplaces. (per photo). Our intention is to have this vent painted (if allowed by manufacturer) to the same color as the exterior of the building. This vent will be on the rear of the building, visible only from the Citizens Bank building.

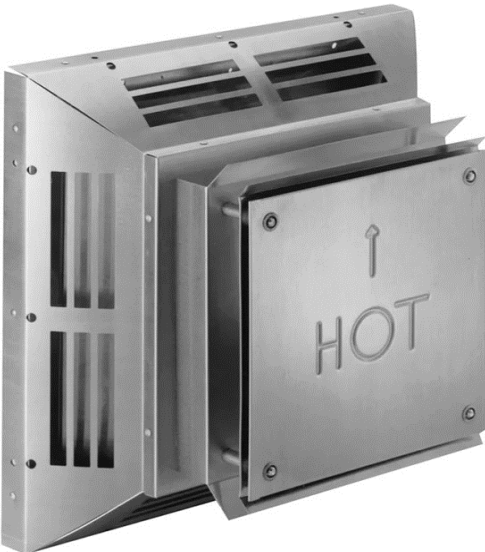
Please note that this application will be presented by the purchaser of the unit, Matt Rushton, on our behalf as our staff is away during this holiday time period.

Thank you,

Matt Silva
Profile Homes of NH



Nana Wall Door

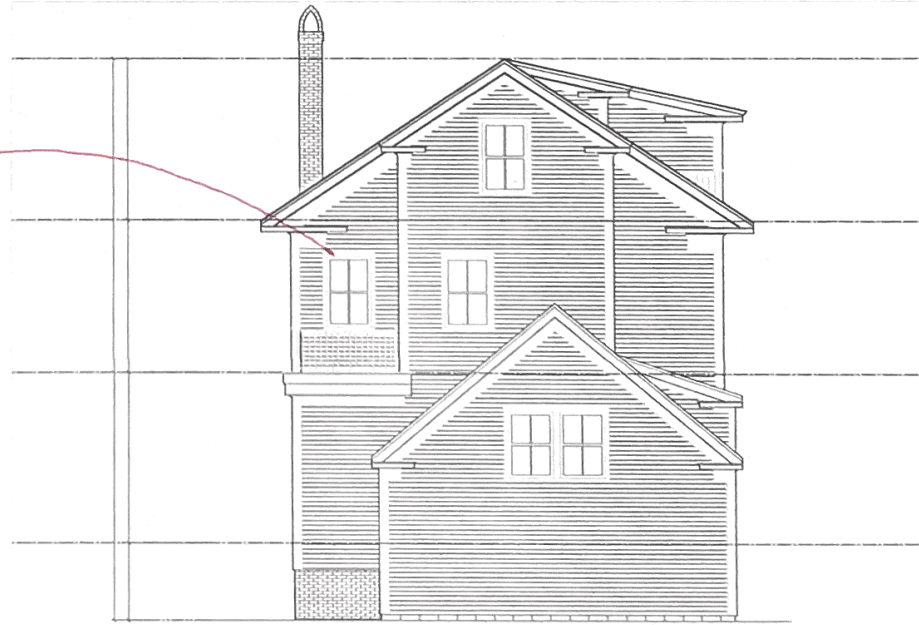


Vent example:





REPLACE DOOR
WITH WINDOW







PROFILE HOMES
 HIGH-END ENERGY EFFICIENT HOMES
 11111 W. 10th Ave., Suite 100
 Denver, CO 80231

FIREHOUSE CONDOS

ISSUED DATES & REVISIONS
 ISSUED FOR DESIGN #1
 MARCH 12, 2019
 ISSUED FOR DESIGN #2
 APRIL 10, 2019
 ISSUED FOR DESIGN #3
 APRIL 23, 2019
 ISSUED FOR DESIGN #4
 MAY 10, 2019
 ISSUED FOR STRUC. REVIEW
 MARCH 10, 2020
 ISSUED FOR STRUC. REVIEW #2
 MAY 14, 2020
 ISSUED FOR CONSTRUCTION
 MAY 18, 2020

GENERAL NOTES:

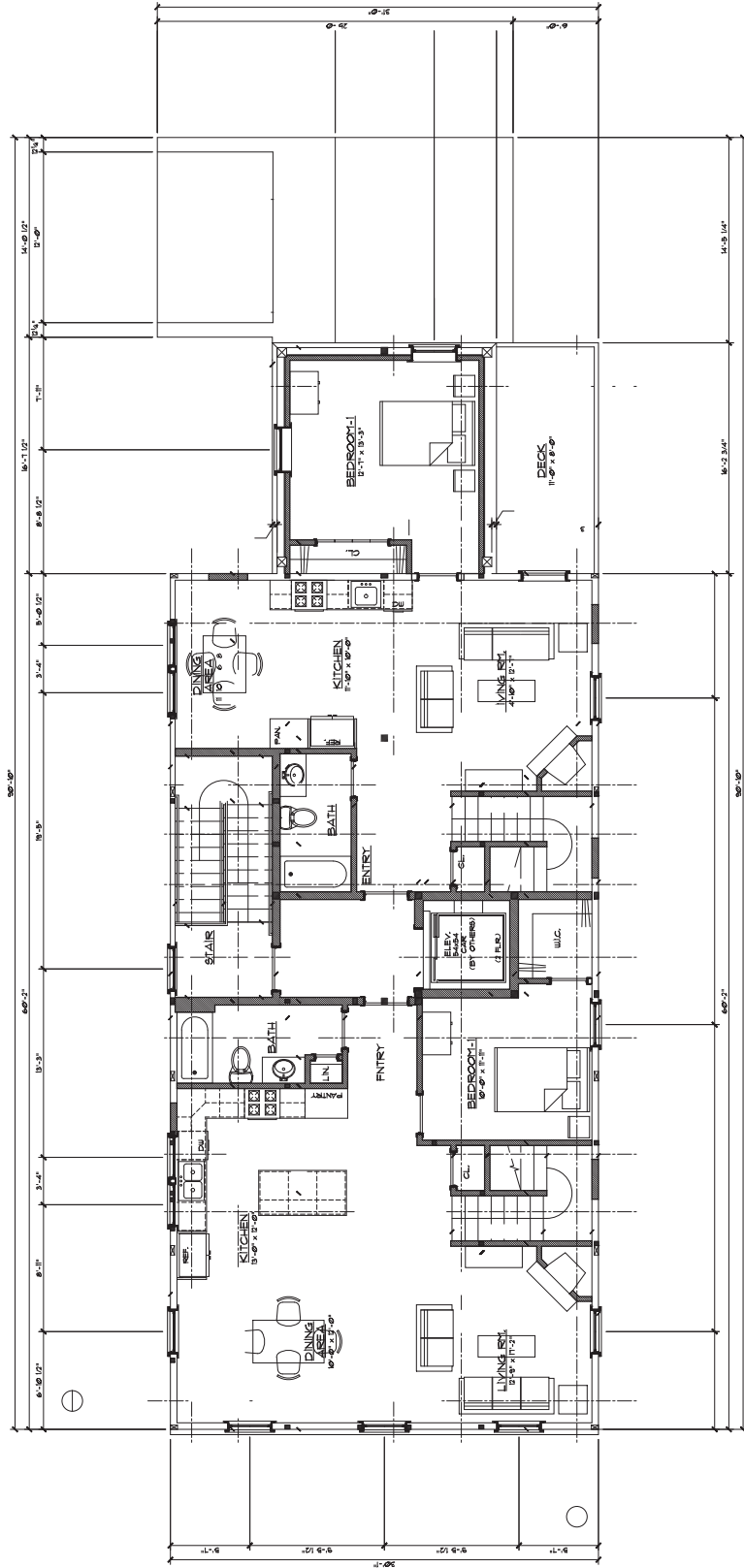
1. All work shall be performed in accordance with all applicable codes and regulations, including but not limited to the International Building Code, International Residential Code, and all applicable local, state and federal laws and regulations.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for coordinating with all other trades and subcontractors to ensure proper sequencing and timing of the work.
 4. The contractor shall be responsible for maintaining the safety of the construction site at all times.
 5. The contractor shall be responsible for protecting all existing work and materials on the site.
 6. The contractor shall be responsible for providing a clean and safe work environment at all times.
 7. The contractor shall be responsible for providing a detailed schedule of work to the architect and owner.
 8. The contractor shall be responsible for providing a detailed list of materials and finishes to the architect and owner.
 9. The contractor shall be responsible for providing a detailed list of subcontractors to the architect and owner.
 10. The contractor shall be responsible for providing a detailed list of vendors to the architect and owner.



SECOND FLOOR PLAN

ISSUE DATE: 5/18/20
 JOB NUMBER: N/A
 DRAWN BY: Jeremy Shauld
 CHECKED BY: Matt Shaw
 SCALE: AS SHOWN

A-1.1



NOTES:
 EXISTING WALLS
 NEW WALLS TYP.
 SWINGS ABOVE



PROFILE HOMES
INTERIOR ENERGY BUILDING
111101000000

FIREHOUSE CONDOS

ISSUED DATES & REVISIONS
 ISSUED FOR DESIGN #1
 MARCH 13, 2019
 ISSUED FOR DESIGN #2
 APRIL 10, 2019
 ISSUED FOR DESIGN #3
 APRIL 23, 2019
 ISSUED FOR DESIGN #4
 MAY 16, 2019
 ISSUED FOR STRUC. REVIEW
 MARCH 13, 2020
 ISSUED FOR STRUC. REVIEW #2
 MARCH 13, 2020
 ISSUED FOR CONSTRUCTION
 MAY 16, 2020

GENERAL NOTES:

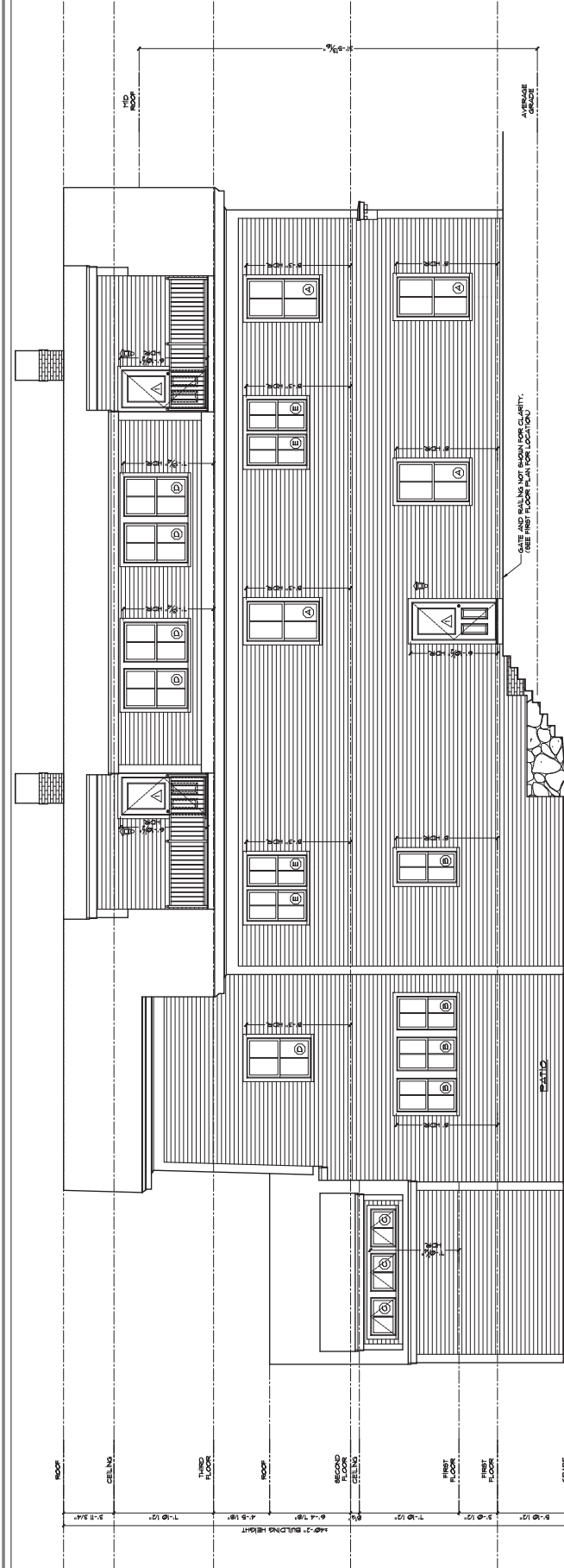
1. All work shall be performed in accordance with all applicable codes and regulations, including but not limited to the International Building Code, International Residential Code, and all applicable local, state and federal laws, rules and regulations.
 2. All work shall be performed in accordance with the approved construction documents.
 3. All work shall be performed in accordance with the approved construction documents.
 4. All work shall be performed in accordance with the approved construction documents.
 5. All work shall be performed in accordance with the approved construction documents.
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 9. All work shall be performed in accordance with the approved construction documents.
 10. All work shall be performed in accordance with the approved construction documents.

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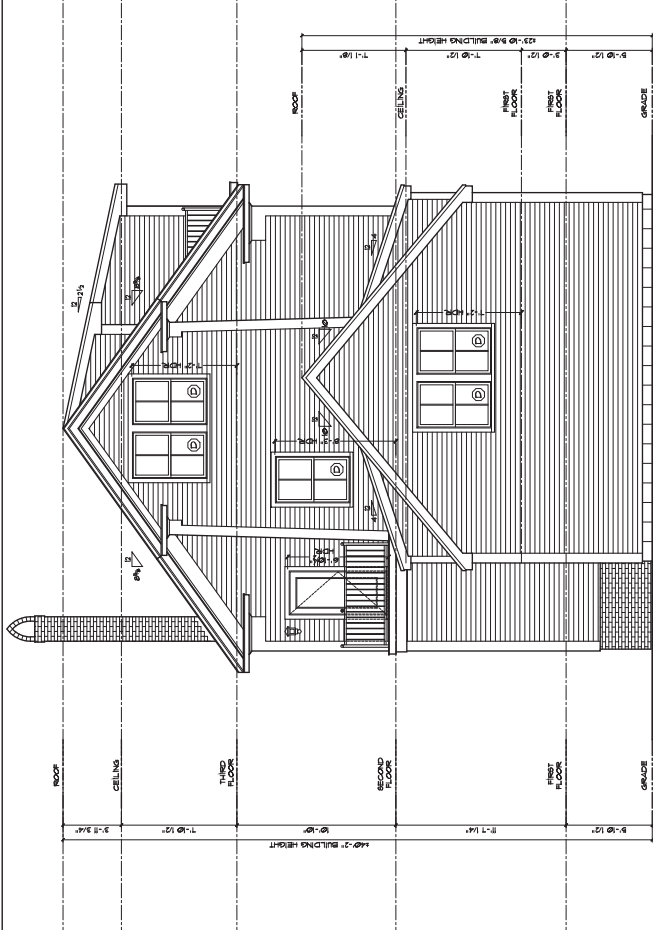
REGISTRATION:

ISSUE DATE: 03/13/2019
 JOB NUMBER: N/A
 DRAWN BY: Jimmy Sheaff
 CHECKED BY: Mark Sica
 SCALE: AS SHOWN

ELEVATIONS



LEFT ELEVATION
 DRAWING SCALE: 1/4" = 1'-0"



REAR ELEVATION
 DRAWING SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE (MAIN HOUSE & GARAGE)

LOC.	SIZE / UNIT *	ROUGH OPNG.	COMMENTS
(A)	W204-203P	3'-0" x 9'-0"	DEL. LING - EXTERIOR
(B)	W204-203A	3'-0" x 9'-0"	DEL. LING
(C)	W204-203B	3'-0" x 9'-0"	DEL. LING - EXTERIOR

NOTES:
 1. REFER TO FLOOR PLANS & ELEV. FOR CURRENT WINDOW OPERATION.
 2. REFER TO ELEVATIONS FOR GRILLE PATTERNS & GLASS OPERATIONS.
 3. EXISTING WINDOW THAT TEST OR EXCEED CLEAR OPENING AREA OF 5.7 SF.
 4. EXISTING WINDOW THAT TEST OR EXCEED CLEAR OPENING AREA OF 5.7 SF.
 5. EXISTING WINDOW THAT TEST OR EXCEED CLEAR OPENING AREA OF 5.7 SF.
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 9. EXISTING WINDOW THAT TEST OR EXCEED CLEAR OPENING AREA OF 5.7 SF.
 10. EXISTING WINDOW THAT TEST OR EXCEED CLEAR OPENING AREA OF 5.7 SF.

DOOR SCHEDULE

LOC.	UNIT / SIZE	ROUGH OPNG.	MANUFACTURER
(A)	PS-362-LE GRN.	3'-0" x 6'-0"	INTERIOR
(B)	CARTRIDGE DOOR	8'-0" x 7'-0"	EXTERIOR
(C)	CARTRIDGE DOOR	8'-0" x 7'-0"	EXTERIOR

NOTES:
 1. REFER TO FLOOR PLANS & ELEV. FOR DOOR OPERATION.
 2. REFER TO ELEVATIONS FOR GRILLE PATTERNS.
 3. VERIFY DOORS W/ MANUFACTURER FOR SIZE & FINISH PATTERNS.
 4. VERIFY APPROX. DOOR STYLE BEFORE ORDERING.

MATERIAL NOTES:
 SIDING DETAIL
 CEDAR CLAPBOARD SIDING w/ #4 EXPOSURE
 ROOFING
 1/2" ASPH/FLT SHINGLES ON 1/2" OSB
 1/2" TRIFLEX UNDERLAMENT.
 FASCIA DETAIL
 1/2" x 4" MATCH EXISTING ON MAIN ROOF
 RAKE DETAIL
 1/2" x 4" MATCH EXISTING ON MAIN ROOF
 ERIEZE DETAIL
 1/2" x 4" MATCH EXISTING ON MAIN ROOF
 SOFFIT DETAIL
 (1/2" x 4" BOARD, V-JOINT (W/ VENT))
 RAKE SOFFIT DETAIL
 1/2" x 4" MATCH EXISTING ON MAIN ROOF
 CORNER DETAIL
 1/2" x 4" MATCH EXISTING ON MAIN ROOF
 BE ELEVATIONS
 1/2" x 4" MATCH EXISTING ON MAIN ROOF
 PASS HOLDING DETAIL
 WINDOW TRIM
 1/2" x 4" HISTORIC BULL
 DOOR TRIM
 1/2" x 4" MATCH EXISTING ON MAIN ROOF
 STONE VENEER
 1" BRICK VENEER & NEW CHIPMOTS
 NOTE
 ALL TRIM TO BE BORAL BOARDS
 WINDOWS & DOORS
 SEE WINDOW & DOOR SCHEDULE
 EXTERIOR DECK
 COMPOSITE DECKING

WINDOW & DOOR SCHEDULE

MATERIAL NOTES



SAMPSON

KEARSARGE





Portsmouth Athenaeum

14 MARKET SQUARE



14 MARKET SQUARE - ROOF ADDITION JOHN GALT, LLC

HDC WORK SESSION 1
JULY 2023

DRAWING LIST

H0.0 COVER
H0.1 CONTEXT MAP
H0.2 EXISTING BUILDING PHOTOS
H0.3 CONTEXT PHOTOS
H0.4 HISTORIC CONTEXT
H1.0 SITE PLAN, EXISTING
H1.1 SITE PLAN, PROPOSED
H2.1 MASSING STREET SECTIONS
H2.2 MASSING STREET SECTIONS



COVER

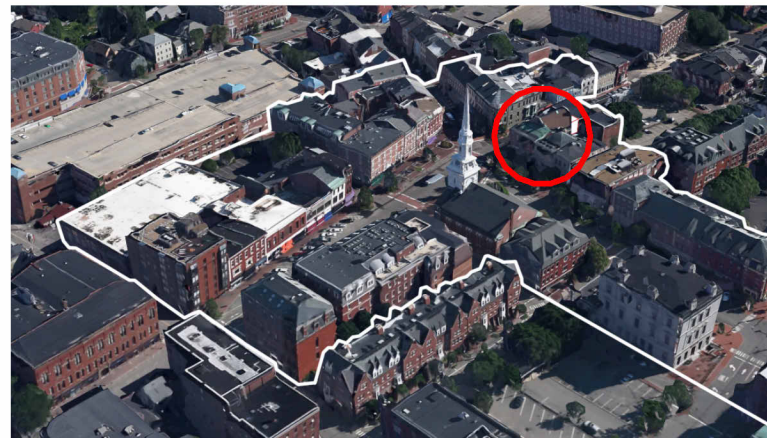
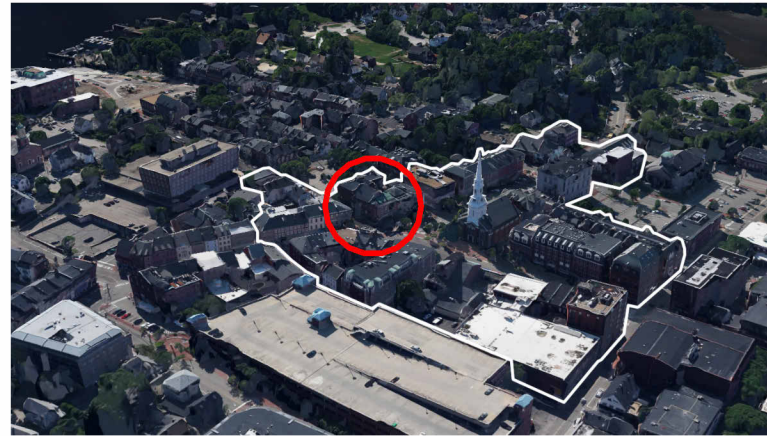
14 MARKET SQUARE

H0.0

6/16/2023
PROJECT NO:1014

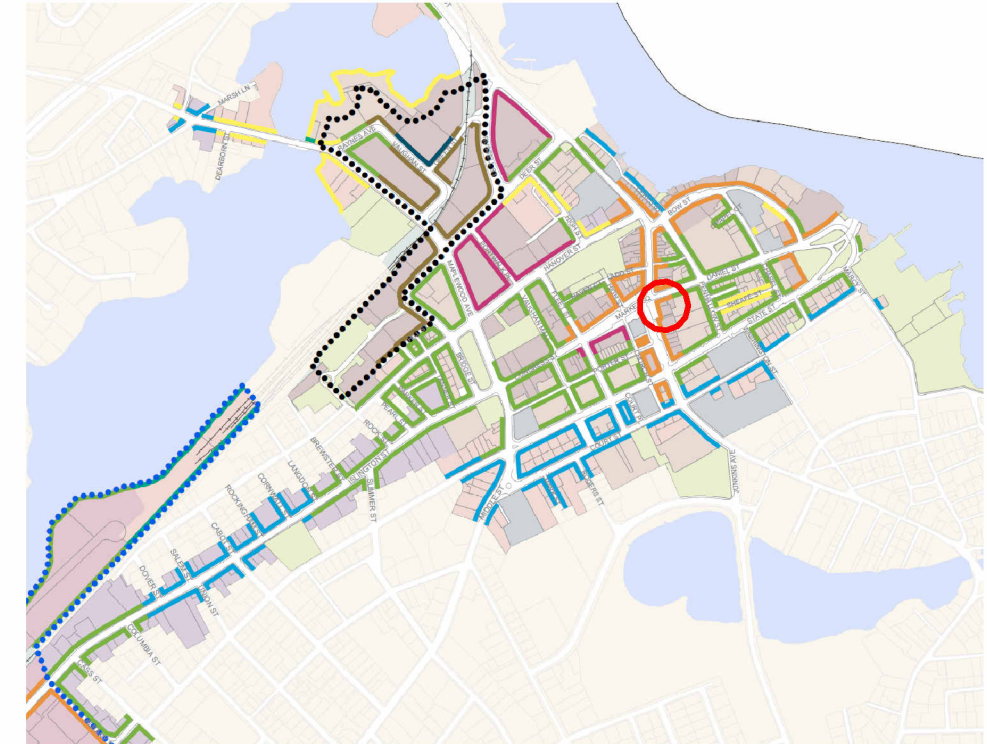


300' RADIUS GIS MAP



PROJECT SUMMARY

1. A NEW ROOF ADDITION AT PLEASANT ST ROOF DECK
2. TWO NEW SHED DORMERS AT REAR ROOF



ZONING SUMMARY

Legend

CHARACTER DISTRICT CD-5

DOWNTOWN OVERLAY DISTRICT HEIGHT -

PLEASANT STREET: 2-3 STORIES (SHORT 4TH), 45'

DANIEL STREET: 2-3 STORIES (SHORT 4TH), 45'

Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'

CURRENT USE:
FIRST FLOOR - RESTAURANT
SECOND & THIRD FLOOR - OFFICE
ATTIC - STORAGE

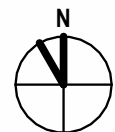
PROPOSED USE:
FIRST FLOOR - RESTAURANT
SECOND, THIRD, & ATTIC - RESIDENTIAL

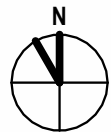
*Penthouse Levels may exceed the building height by 2 feet.

1. A short story includes either: 1) use of a top story below the cornice line of a sloped roof that is at least 20% shorter in height than the story below; or 2) a story within a mansard roof with a pitch no greater than 30:12.

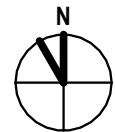
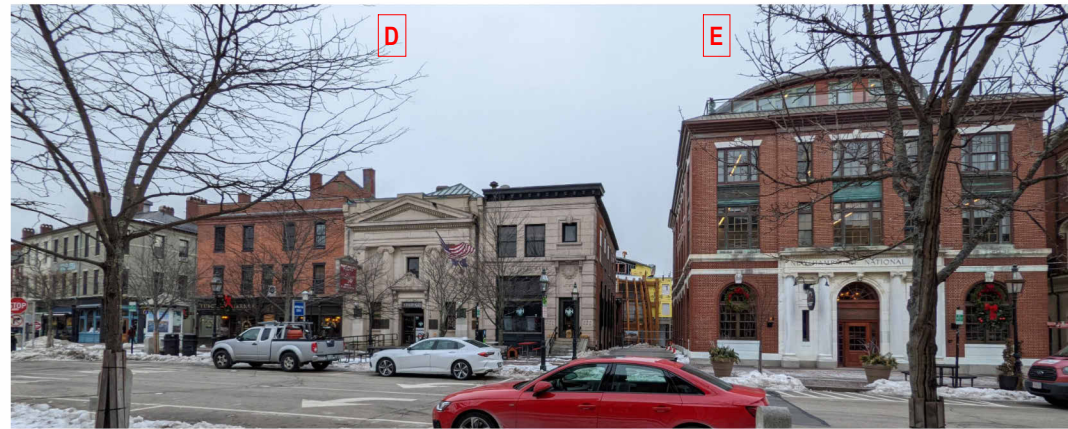
2. When a lot is assigned to more than one height requirement standard refer to the requirements listed in Section 10.5A21.22.

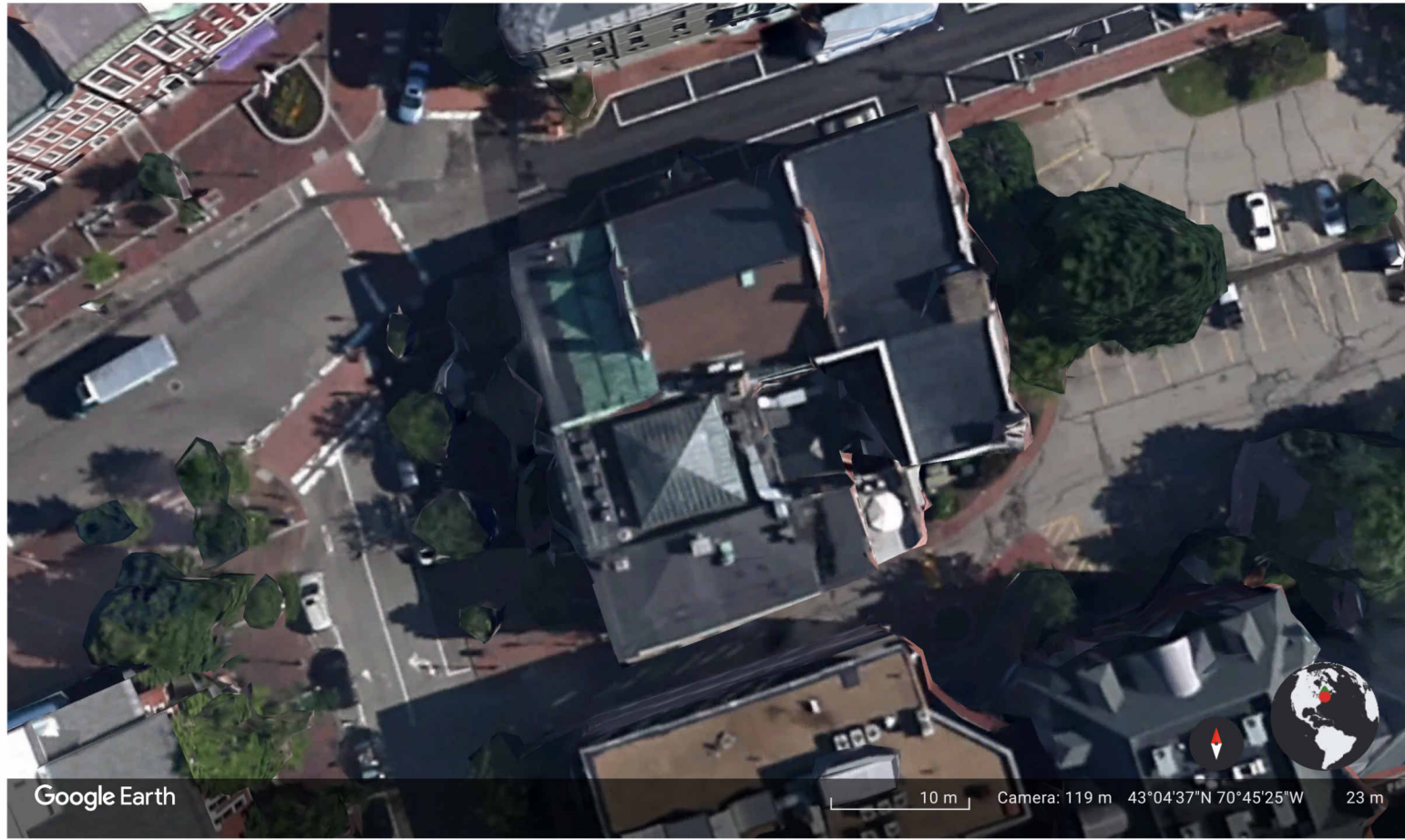
3. Attic space within either a gable, gambrel, hip or hip-top mansard roof or a penthouse level on a flat roof is not considered a story. Attic space is permitted above the top story provided the proposed building is no greater than the maximum building height.





EXISTING BUILDING PHOTOS
14 MARKET SQUARE



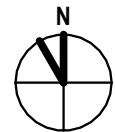
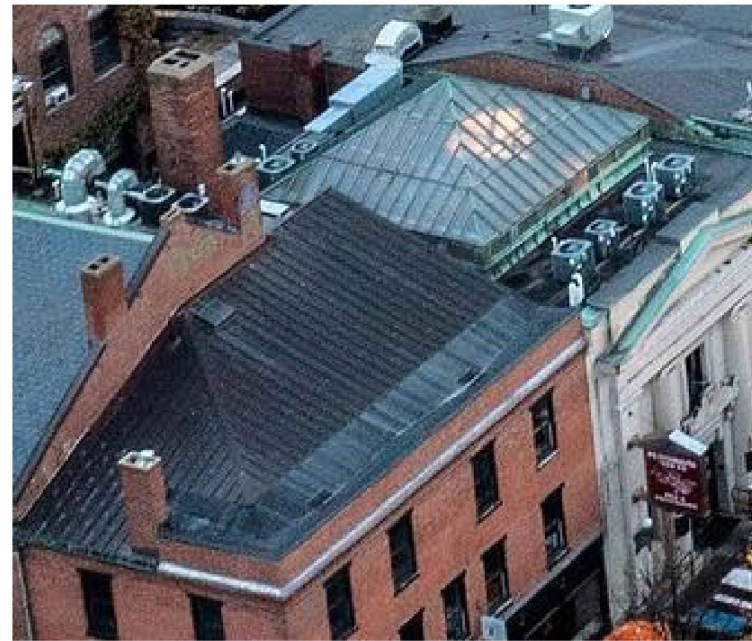
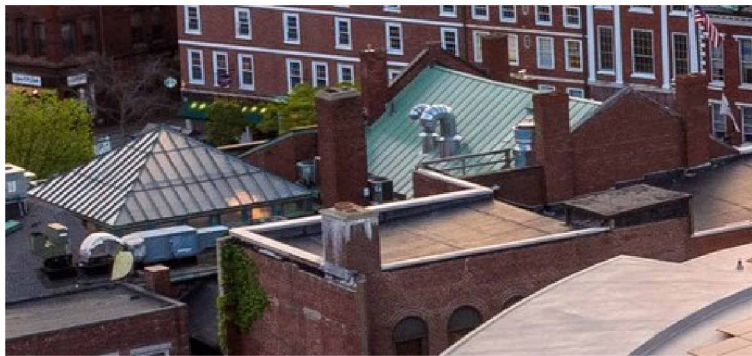


Google Earth

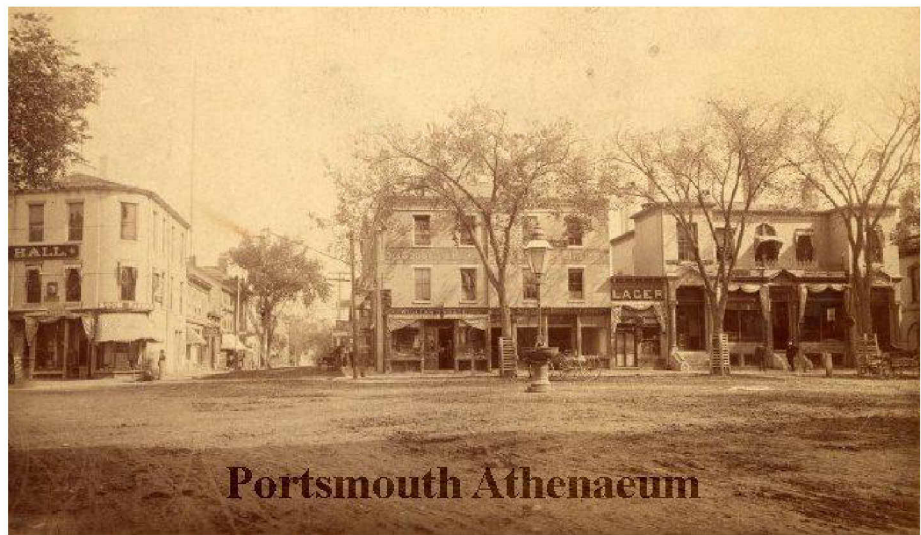
10 m Camera: 119 m 43°04'37"N 70°45'25"W 23 m

https://earth.google.com/web/search/14+Market+Square,+Portsmouth,+NH/@43.07695515,-70.75720122,89701188a,96.32512948d,35y,0h,0t,0r,data=CigUgokCbrINJy-fUVAEb_upxRsfUVAGYDmW6UvFHAIRTzCHrvFHA

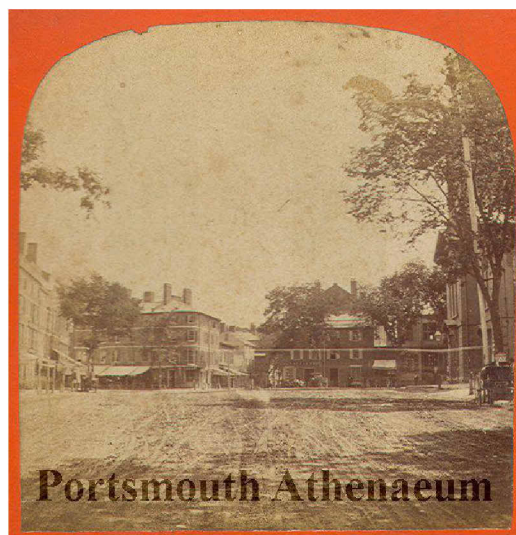
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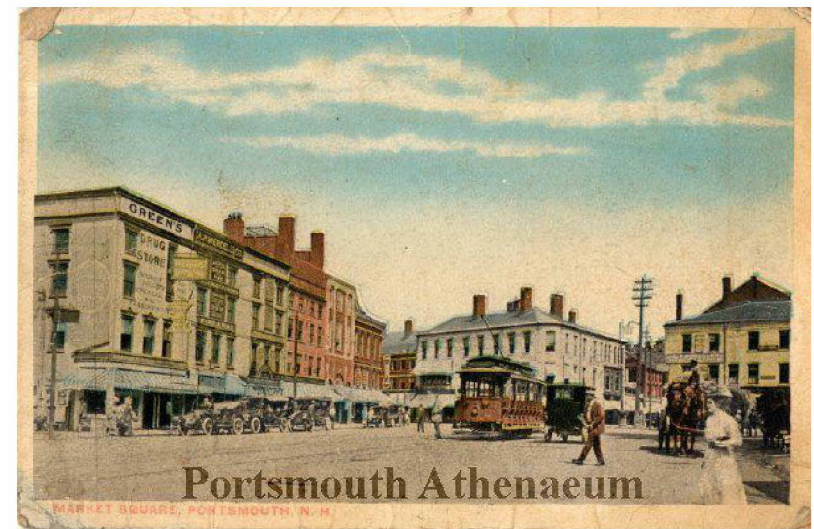
EXISTING CONTEXT DETAIL
14 MARKET SQUARE



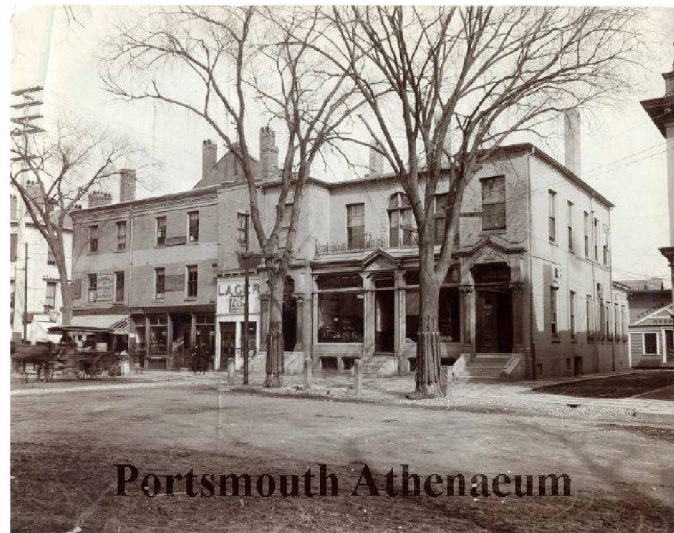
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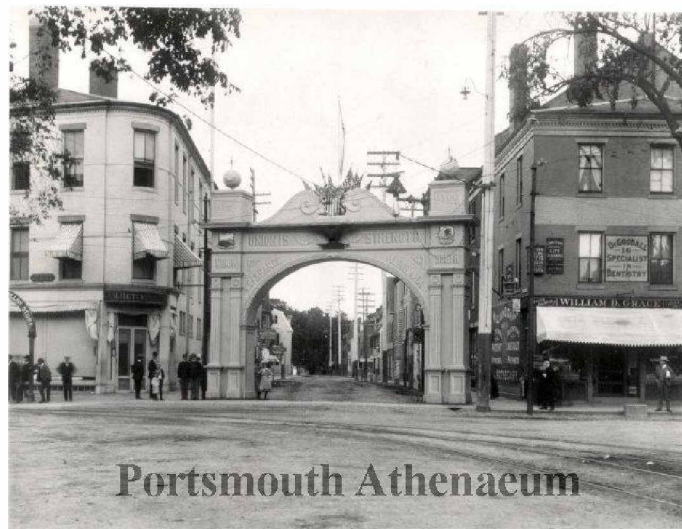
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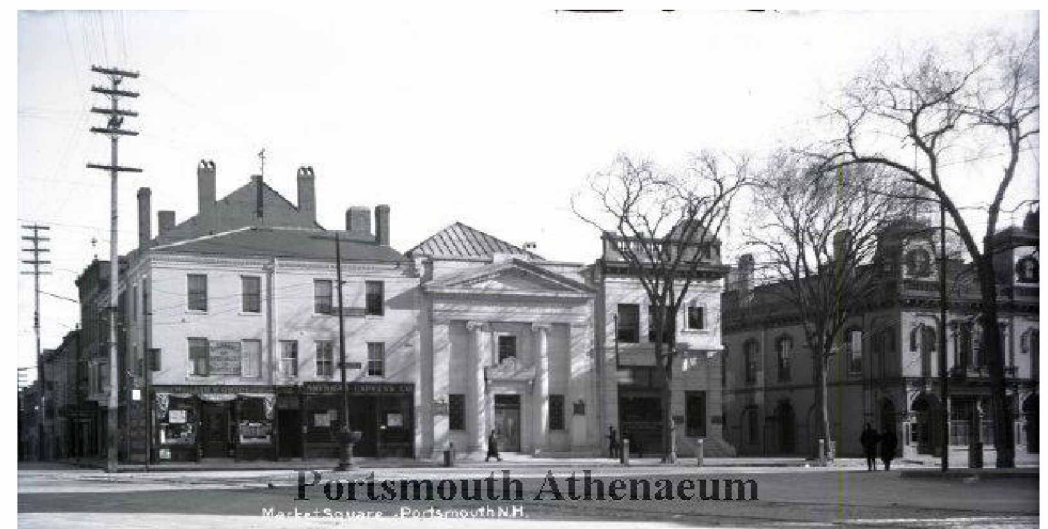
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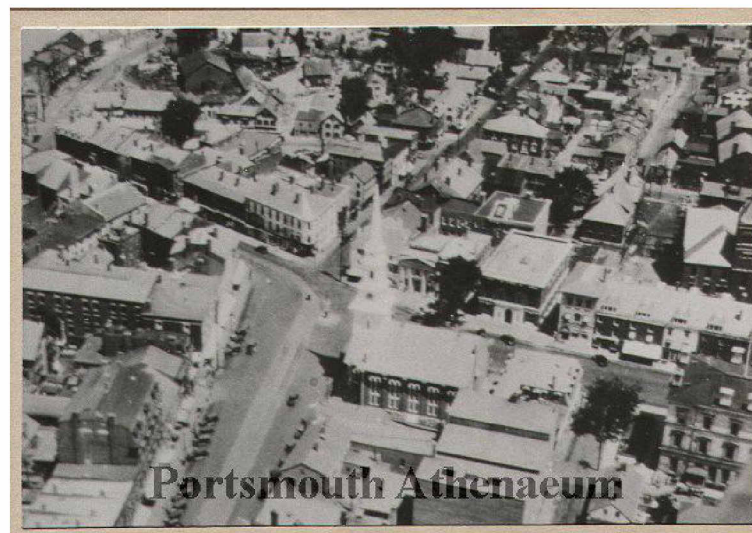
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1904



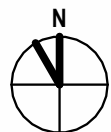
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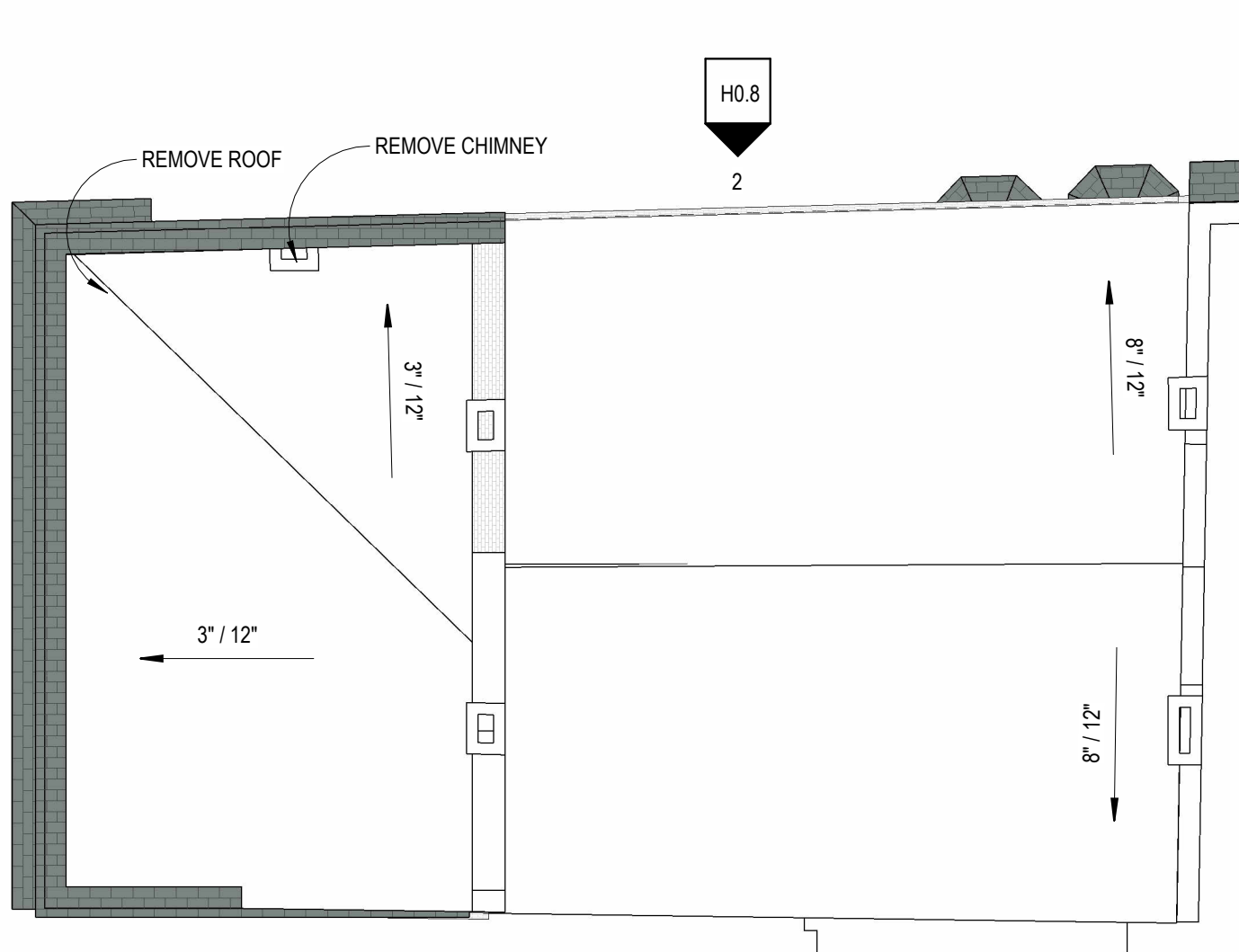


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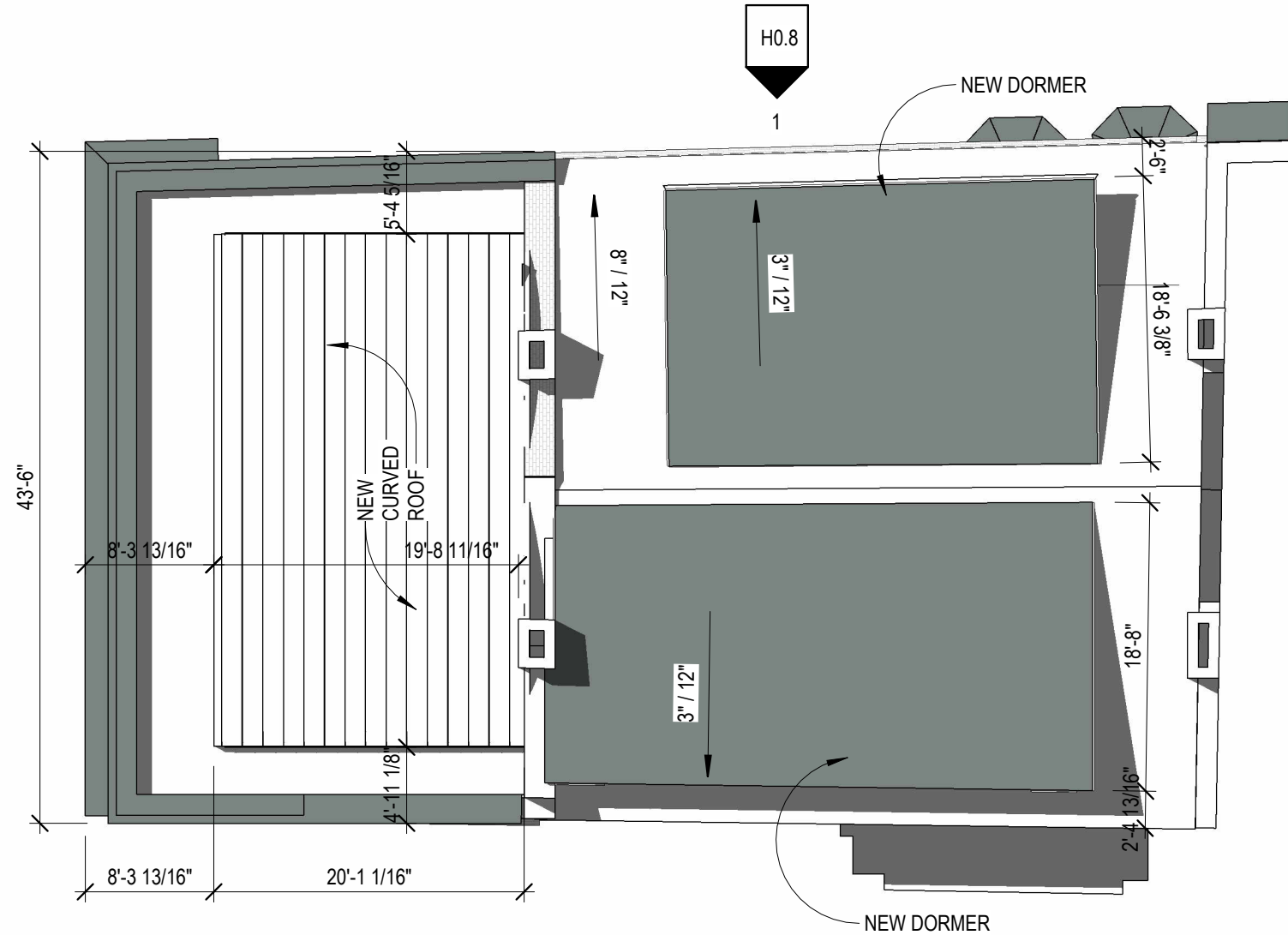


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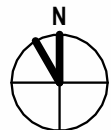


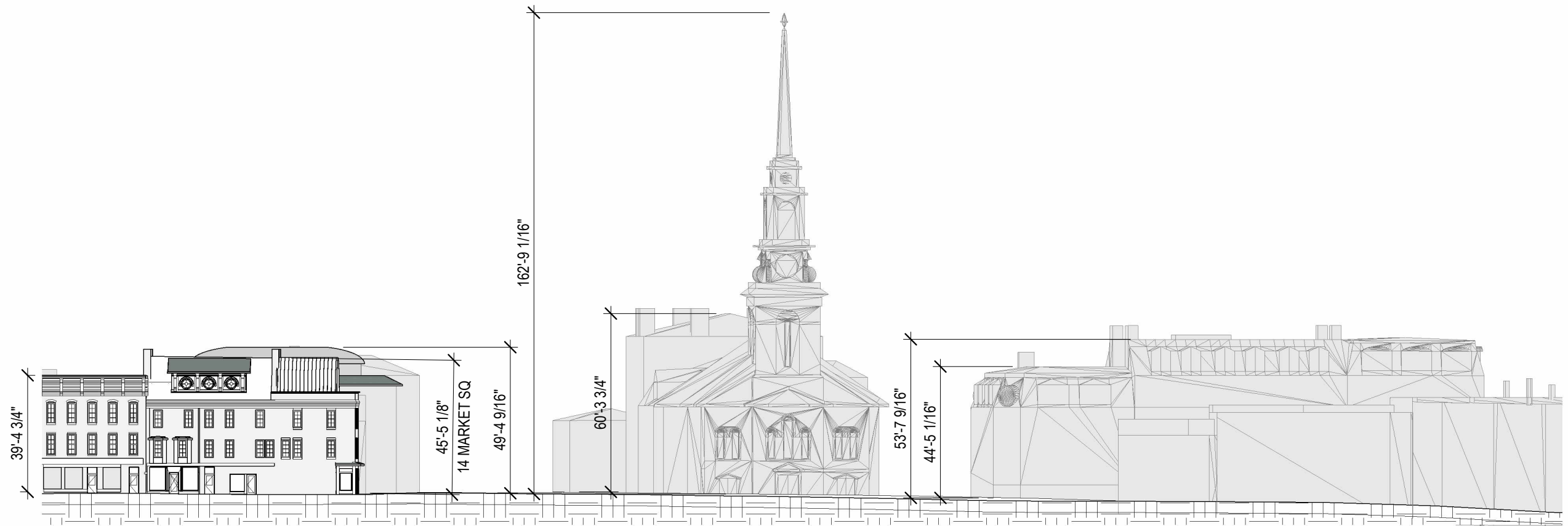


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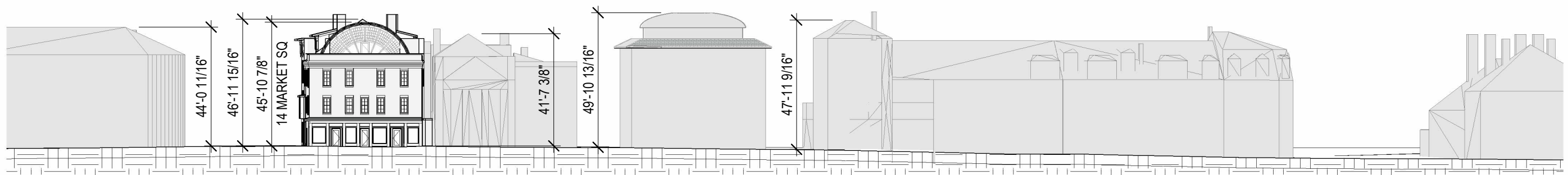


PROPOSED

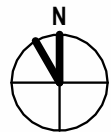


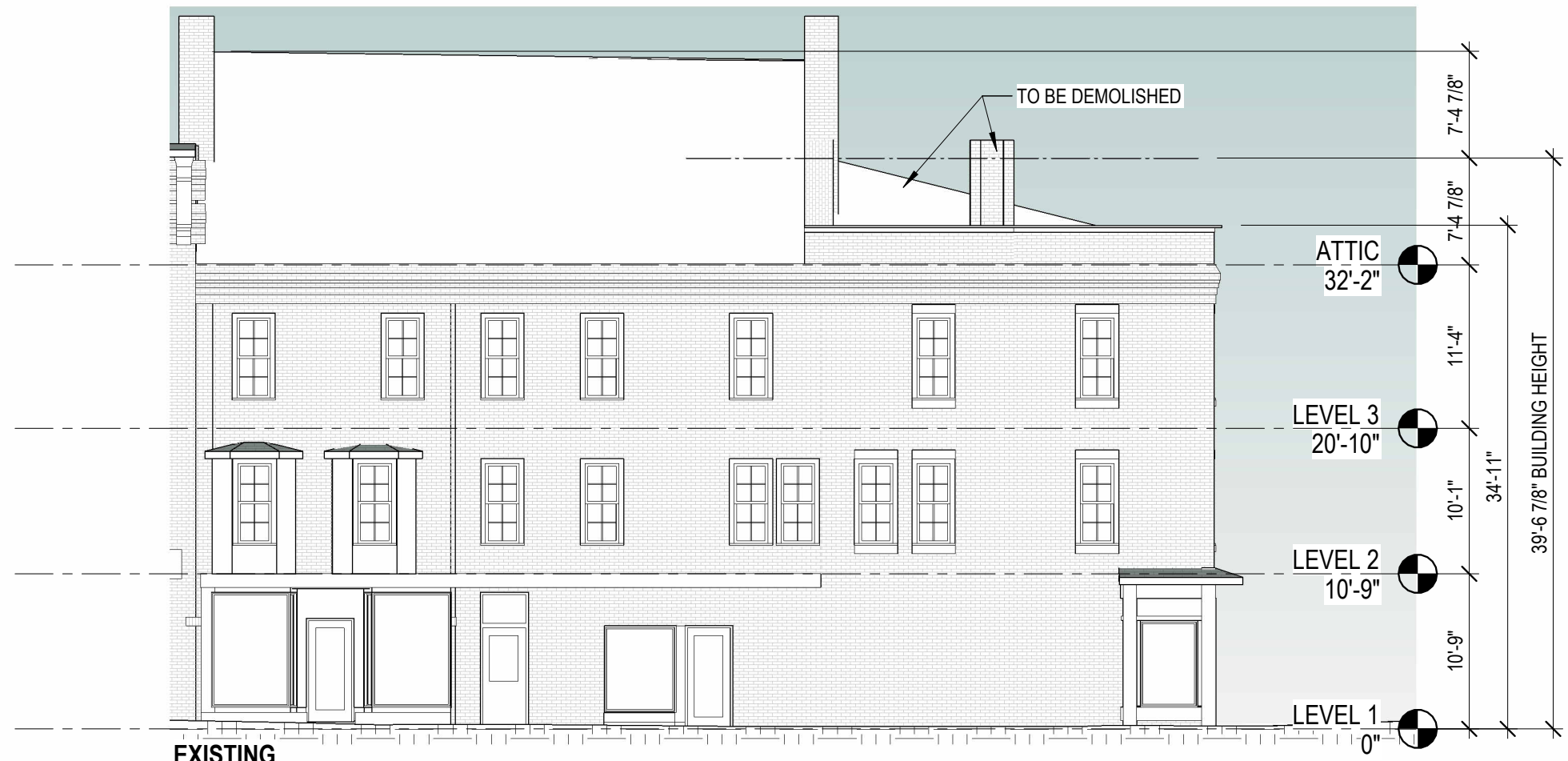


1 STREET SECTION - DANIEL STREET - CONGRESS STREET
 1" = 40'-0"



2 STREET SECTION - MARKET STREET - PLEASANT STREET
 1" = 40'-0"



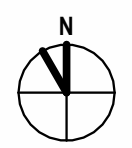


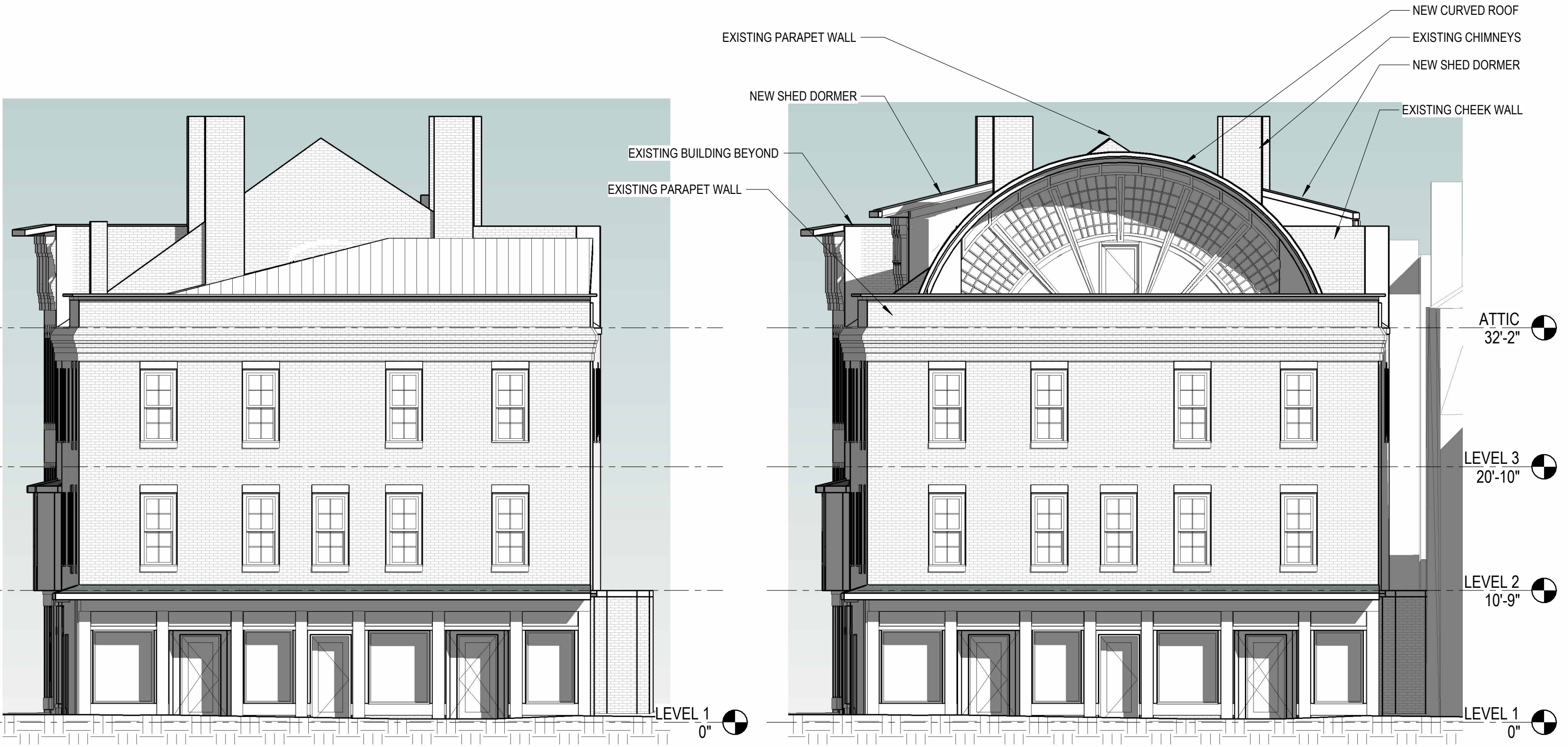
EXISTING



PROPOSED

WEST ELEVATION
14 MARKET SQUARE





EXISTING

PROPOSED



NORTH ELEVATION
14 MARKET SQUARE

H0.9

6/16/2023
PROJECT NO:1014



1 HDC 1 - MARKET ST LOOKING SOUTH



2 HDC 2 - PLEASANT ST LOOKING NORTH



3 HDC 3 - CONGRESS ST LOOKING EAST



4 HDC 4 - DANIEL ST LOOKING WEST

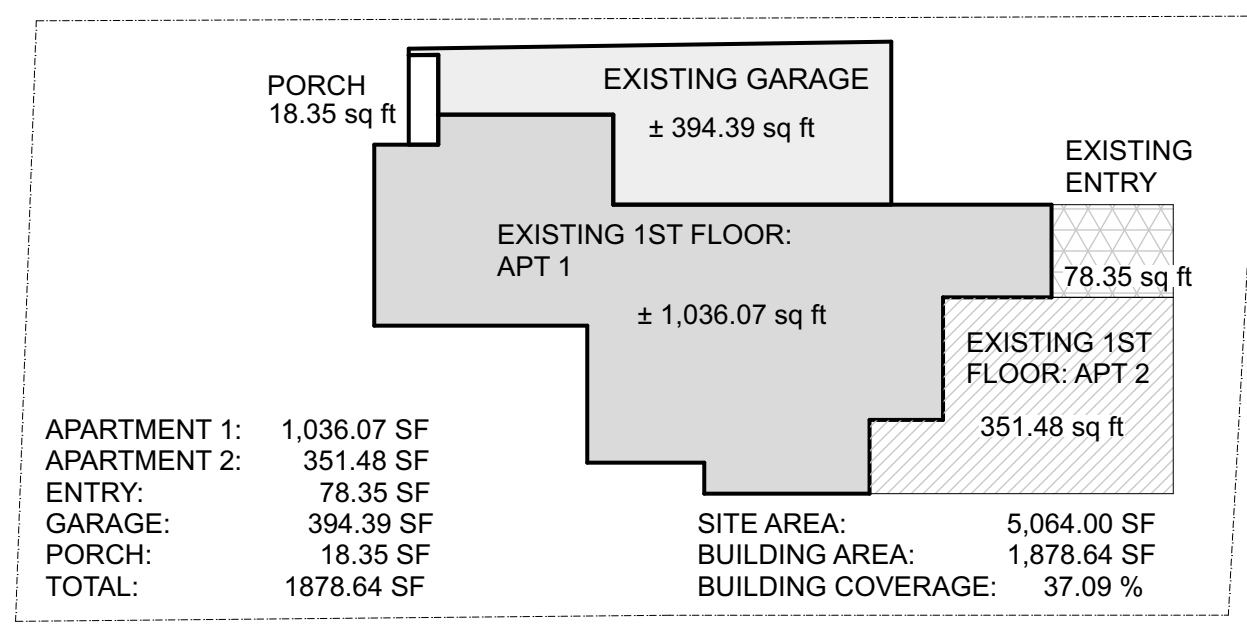




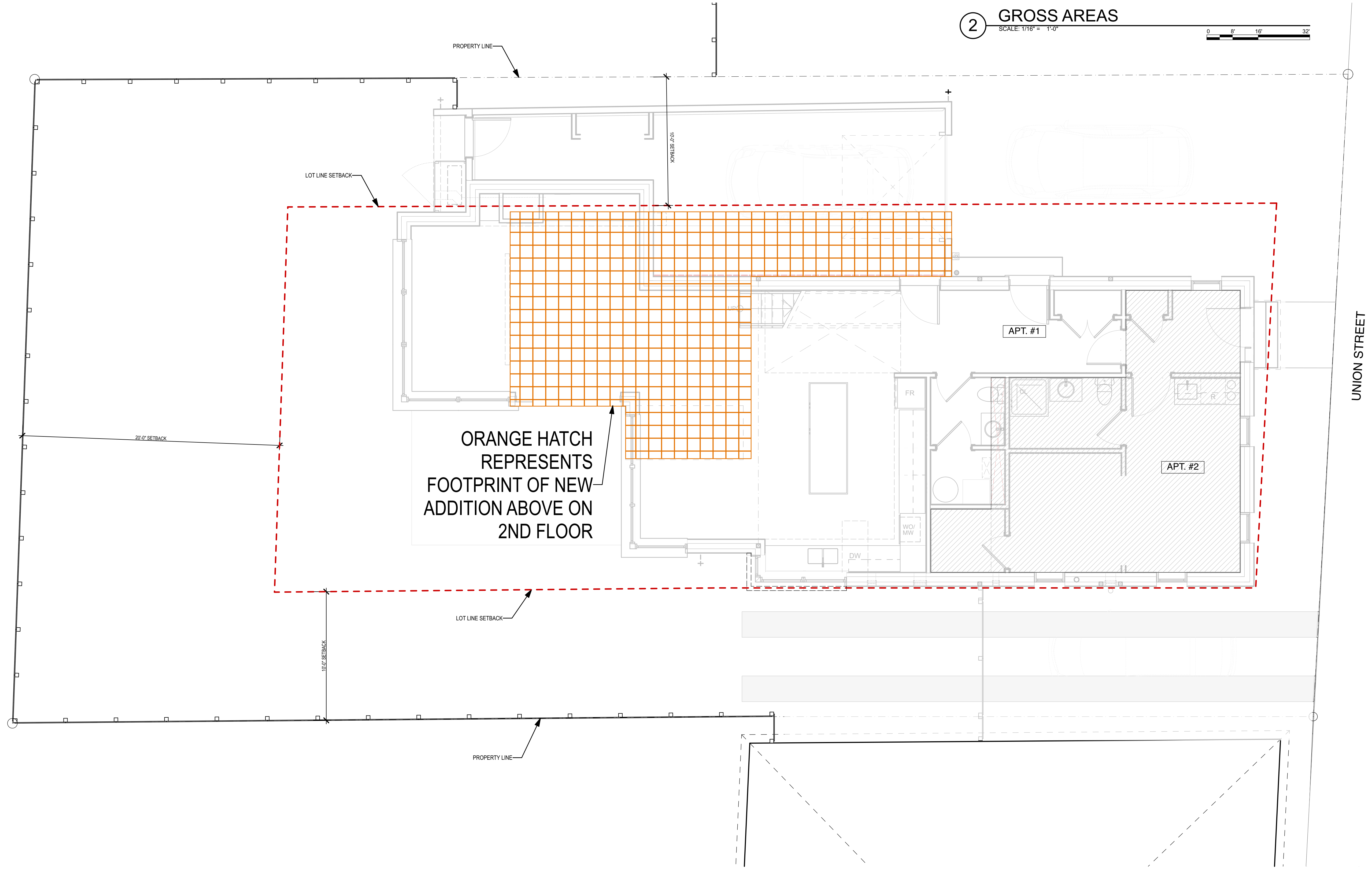
RENDERING
14 MARKET SQUARE

NOT FOR CONSTRUCTION

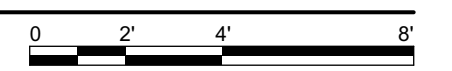
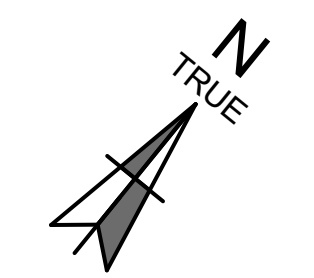
PROJECT	ALL2
DATE	06/13/2023
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PHASE	For HDC Review

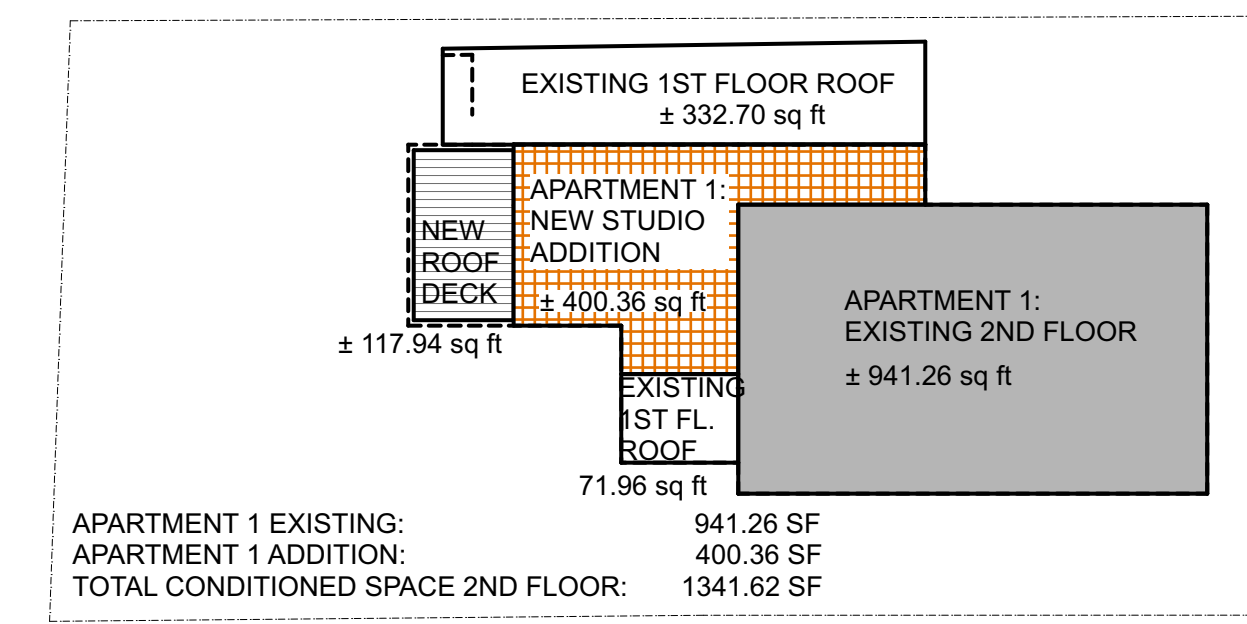


2 GROSS AREAS
SCALE: 1/16" = 1'-0"

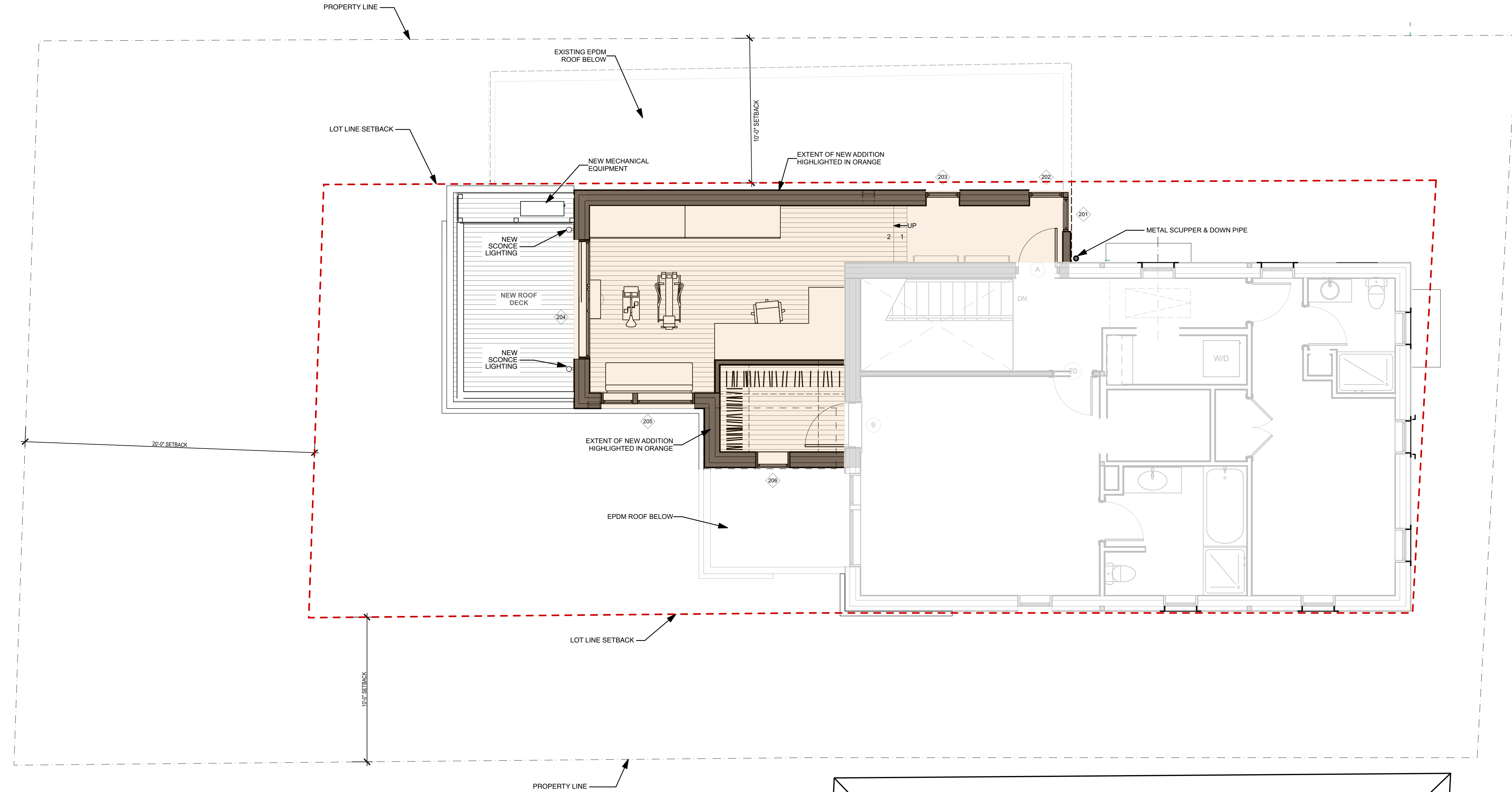


1 1ST. FLOOR
SCALE: 1/4" = 1'-0"

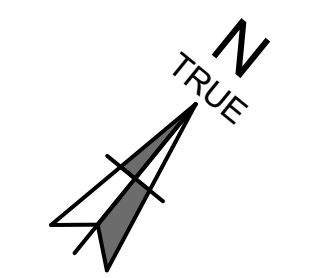
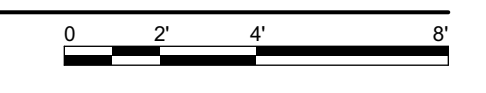




3 GROSS AREAS: SECOND FLOOR
SCALE: 1/16" = 1'-0"
0 8' 16' 32'



2 2nd FLOOR
SCALE: 1/4" = 1'-0"

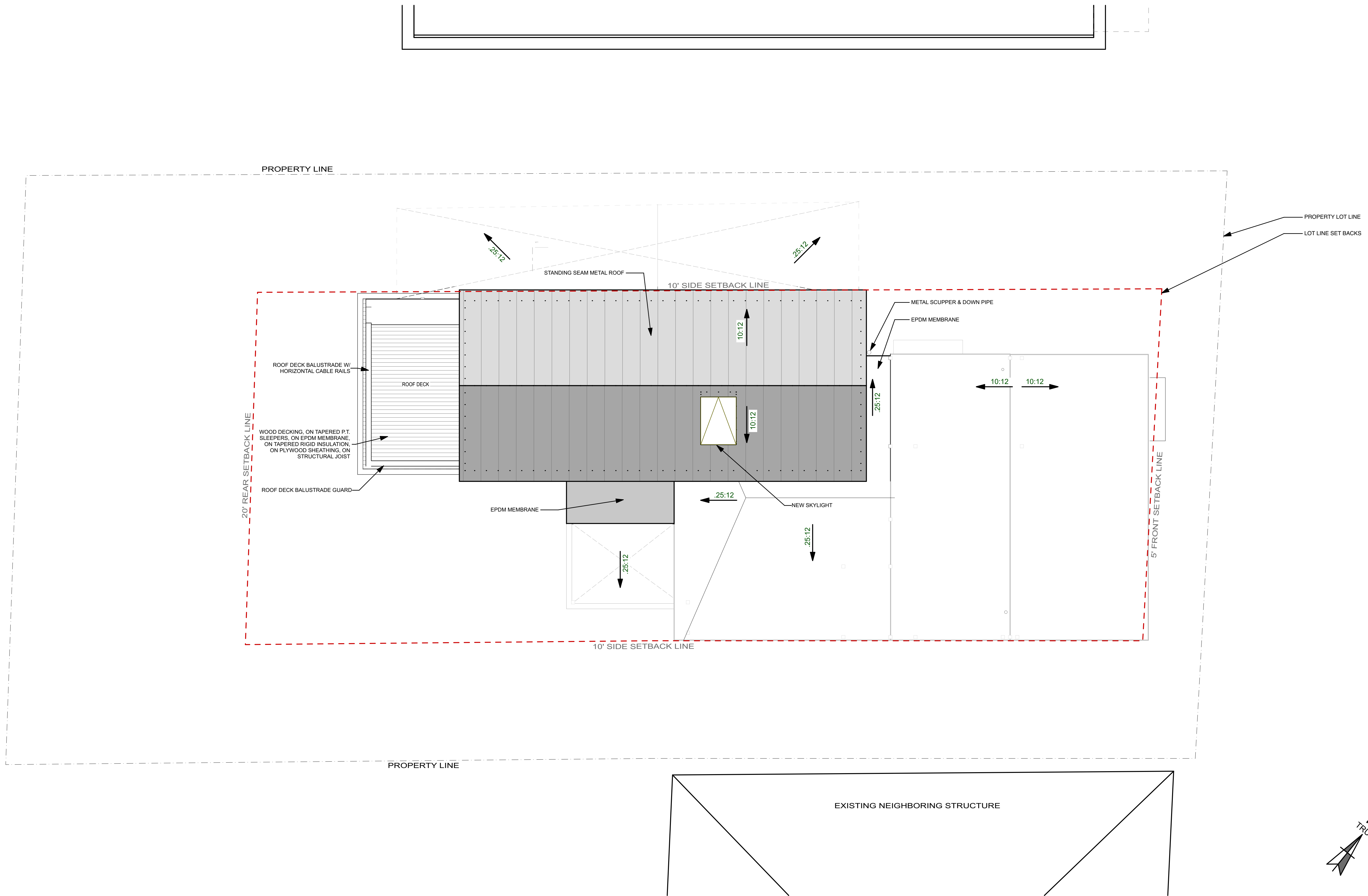


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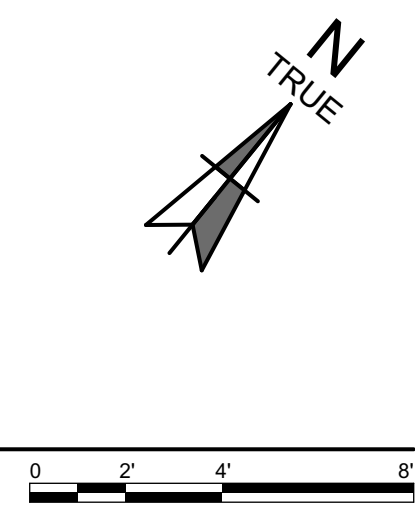
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PROJECT
**ALLISON
STUDIO
ADDITION**

236 Union Street,
Portsmouth, NH 03801



1 ROOF
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

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PROPOSED ROOF
PLAN
A-1.3

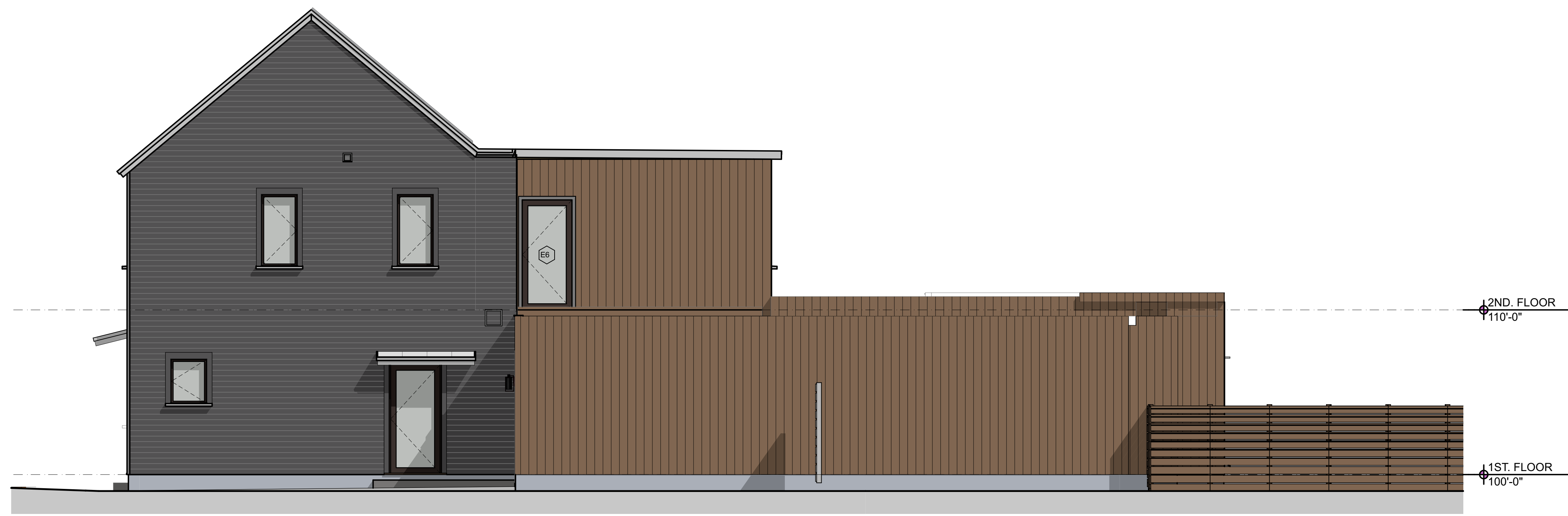
PROJECT
**ALLISON
STUDIO
ADDITION**

236 Union Street,
Portsmouth, NH 03801



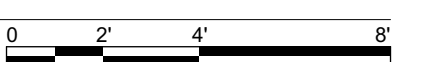
2 EXISTING CONDITIONS UNION STREET ELEVATION - NORTH-EAST

SCALE: 1/4" = 1'-0"



1 EXISTING CONDITIONS SIDE ELEVATION-NORTH-WEST

SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

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EXISTING
CONDITIONS
ELEVATIONS

A-2.1



2 EXISTING BACK ELEVATION - SOUTHWEST
SCALE: 1/4" = 1'-0"



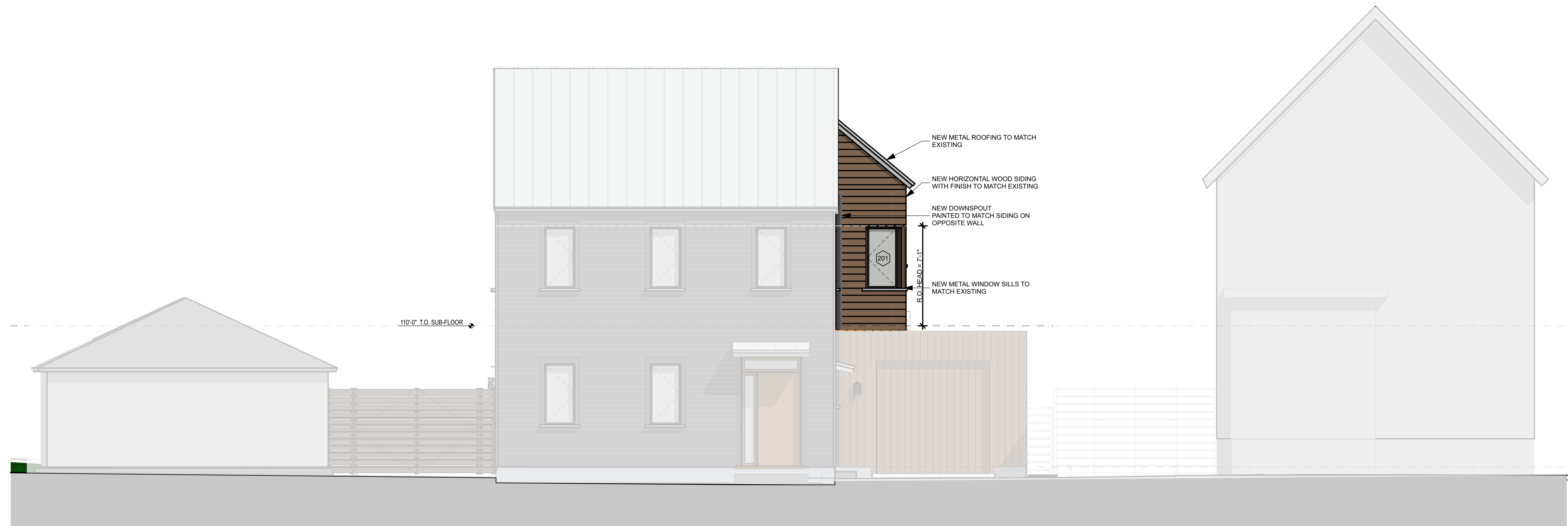
1 EXISTING SIDE ELEVATION - SOUTHEAST
SCALE: 1/4" = 1'-0"

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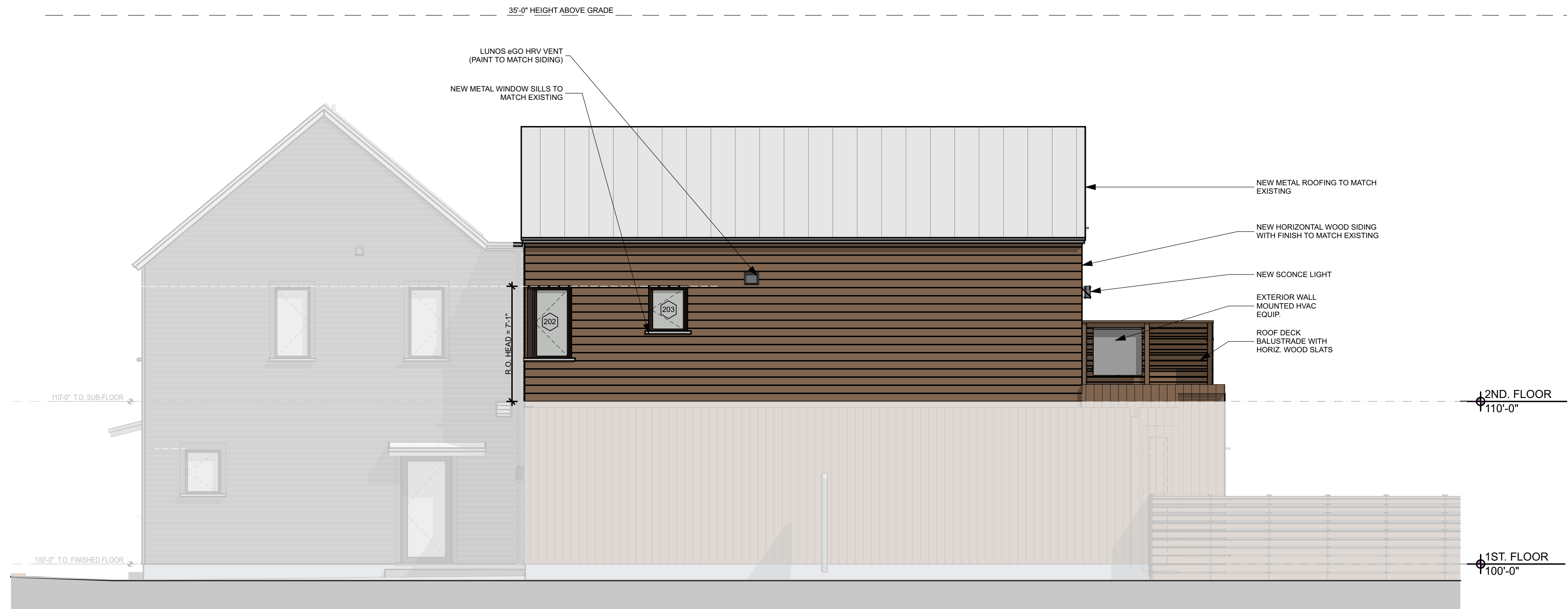
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PROJECT
**ALLISON
STUDIO
ADDITION**

236 Union Street,
Portsmouth, NH 03801



2 PROPOSED UNION STREET ELEVATION - NORTHEAST
SCALE: 1/4" = 1'-0"



1 PROPOSED SIDE ELEVATION - NORTHWEST
SCALE: 1/4" = 1'-0"

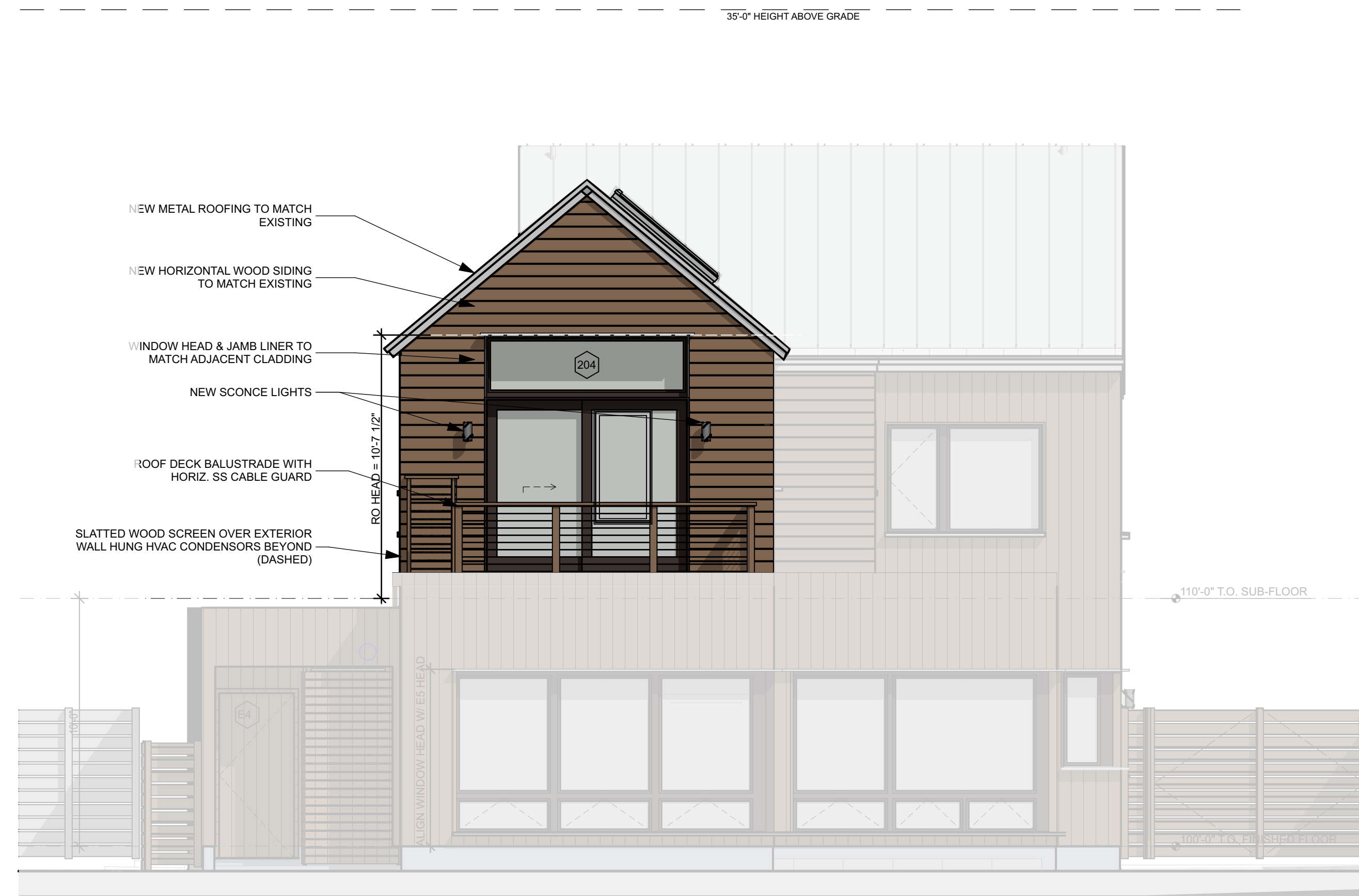
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STUDIO ADDITION
ELEVATIONS
A-2.3

PROJECT
**ALLISON
STUDIO
ADDITION**

236 Union Street,
Portsmouth, NH 03801



2 PROPOSED BACK ELEVATION - SOUTHWEST
SCALE: 1/4" = 1'-0"



1 PROPOSED SIDE ELEVATION - SOUTHEAST
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

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EXISTING VIEW FROM ACROSS THE STREET



EXISTING VIEW FROM ACROSS THE STREET



PROPOSED VIEW FROM ACROSS THE STREET WITH STUDIO ADDITION



PROPOSED VIEW FROM ACROSS THE STREET WITH STUDIO ADDITION

PROJECT
**ALLISON
STUDIO
ADDITION**

236 Union Street,
Portsmouth, NH 03801

NOT FOR CONSTRUCTION

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EXISTING CONDITIONS - AERIAL VIEW FROM NORTH



EXISTING CONDITIONS - AERIAL VIEW FROM SOUTH



PROPOSED STUDIO ADDITION - AERIAL VIEW FROM NORTH



PROPOSED STUDIO ADDITION - AERIAL VIEW FROM SOUTH

NOT FOR CONSTRUCTION

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