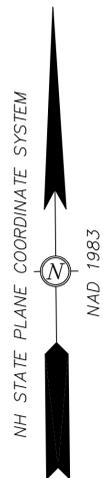


LOCUS
(N.T.S.)



RIM AND INVERT DATA

CB #1026 RIM = 22.71	SMH #5714 RIM = 21.55
(1) INV (6"HDPE)=18.51±	(1) INV (18"PVC)=14.05
(2) INV (6"PVC)=19.52	(2) INV (18"PVC)=13.93
(3) (WATER LEVEL)=18.41	
CB #1008 RIM = 28.82	SMH #5715 RIM = 29.00
(1) INV (12"PVC)=25.17	(1) INV CL=17.52
(2) INV (15"PVC)=17.89	
DMH #1010 RIM = 28.82	
INACCESSIBLE(LATCHED)	
CB #1030 RIM = 21.72	
(1) INV (6"HDPE)=18.92	
(2) INV (12"HDPE)=18.42	
(3) INV (12"HDPE)=18.32(WATER LEVEL)	

MISC. ELEVATION TABLE

LOCATION	DESCRIPTION	ELEVATION
"A"	WOOD THRESHOLD	31.31
"B"	TOP CONCRETE	24.68
"C"	WOOD THRESHOLD	31.30
"D"	WOOD THRESHOLD	26.37
"E"	TOP CONCRETE	25.42
"F"	TOP CONCRETE	25.84

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	S 75°27'47" W	187.45
L2	N 05°38'52" E	78.07
L3	N 15°28'02" E	80.69
L4	N 76°23'57" E	111.18
L5	S 14°46'51" E	70.80
L6	S 21°33'57" E	71.07
L7	S 21°33'57" E	0.18(TIE)
L8	N 76°29'48" E	151.84

148-23
ELTON L. SHAFFER
PAULA M. RAIS
748 MIDDLE STREET
PORTSMOUTH, NH 03801
2693/2930

153-09
MIDDLE STREET
TOWNHOUSE CONDOMINIUMS

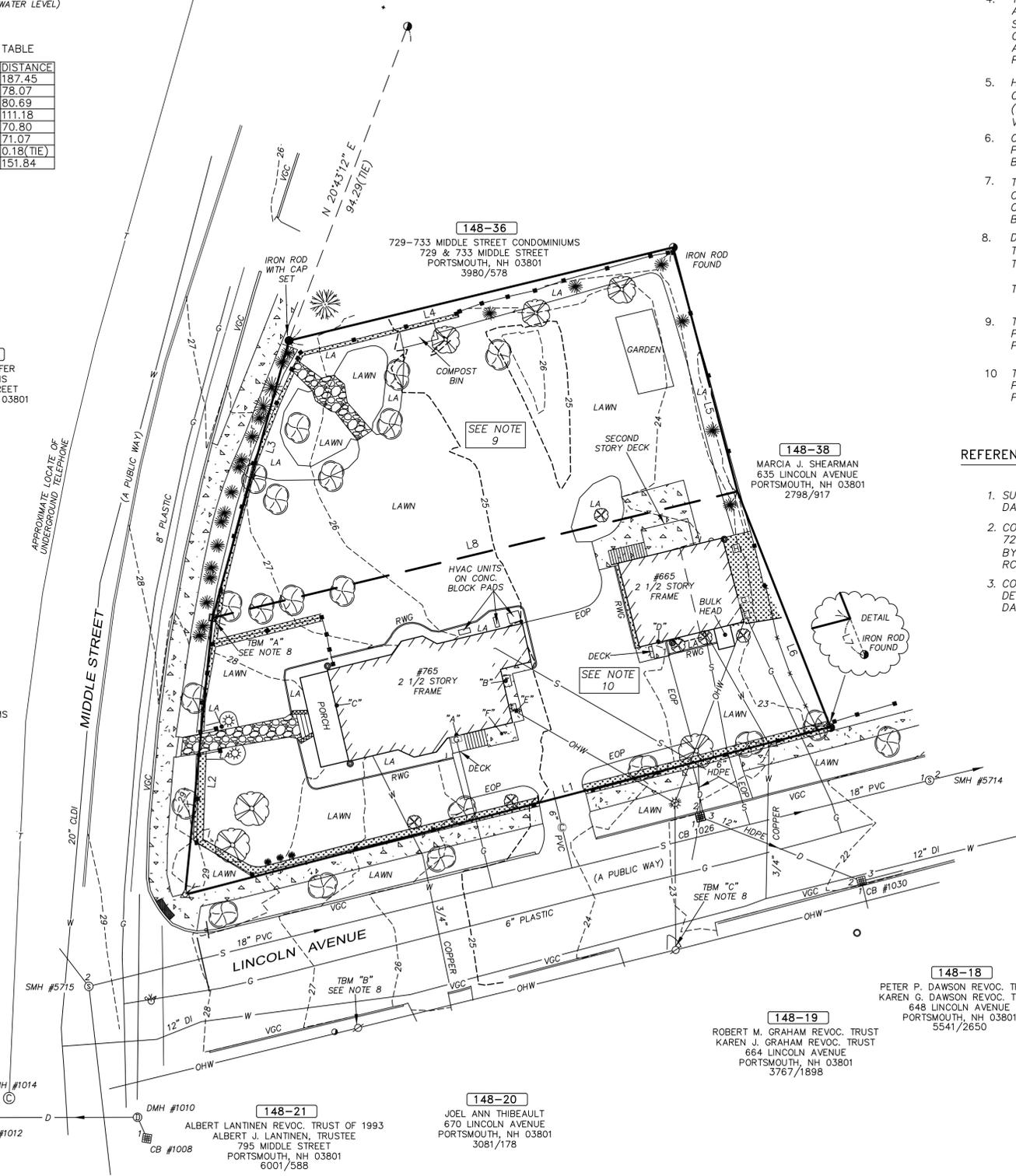
148-21
ALBERT LANTINEN REVOC. TRUST OF 1993
ALBERT J. LANTINEN, TRUSTEE
795 MIDDLE STREET
PORTSMOUTH, NH 03801
6001/588

148-20
JOEL ANN THIBEAULT
670 LINCOLN AVENUE
PORTSMOUTH, NH 03801
3081/178

148-19
ROBERT M. GRAHAM REVOC. TRUST
KAREN J. GRAHAM REVOC. TRUST
684 LINCOLN AVENUE
PORTSMOUTH, NH 03801
3767/1898

148-38
MARCIA J. SHEARMAN
635 LINCOLN AVENUE
PORTSMOUTH, NH 03801
2798/917

148-36
729-733 MIDDLE STREET CONDOMINIUMS
729 & 733 MIDDLE STREET
PORTSMOUTH, NH 03801
3980/578



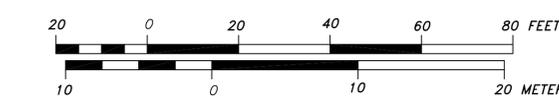
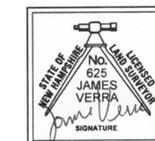
NOTES:

- OWNER OF RECORD.....DAVID A. SINCLAIR & NICOLE J. GIUSTO
ADDRESS.....765 MIDDLE STREET, PORTSMOUTH, NH 03801
DEED REFERENCE.....5543/442
TAX SHEET / LOT.....148-37
- ZONED.....GENERAL RESIDENCE A
MINIMUM LOT AREA...7,500 S.F. FRONT YARD SETBACK.....15'
FRONTAGE.....100' SIDE YARD SETBACK.....10'
PARCEL AREA.....21,504 S.F. 0.49 ACRES REAR YARD SETBACK.....20'
HISTORIC OVERLAY DISTRICT
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ROBE"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC..
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0259E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- DESCRIPTIONS OF THE SITE BENCHMARKS:
TBM "A": MARKED SE CORNER GRANITE BOUND ELEVATION=27.83
TBM "B": SURVEY NAIL FOUND IN UTILITY POLE #PSNH 84/28 0.20' ABOVE GRADE ELEV.=27.63
TBM "C": SURVEY NAIL SET IN UTILITY POLE #NETT 5 1.0' ABOVE GRADE ELEV.=24.52
- THIS PARCEL IS SHOWN AS LOT PLAN 40, LOT 7 ON THE PORTSMOUTH TAX MAPS PREPARED BY JOHN W. DURGIN PRIOR TO 1979 & AS RCRD BK. 5543, PG. 442, PARCEL 2.
- THIS PARCEL IS SHOWN AS LOT PLAN 40, LOT 1 ON THE PORTSMOUTH TAX MAPS PREPARED BY JOHN W. DURGIN PRIOR TO 1979 & AS RCRD BK. 5543, PG. 442, PARCEL 1.

REFERENCE PLANS:

- SUBDIVISION OF LAND, PORTSMOUTH, NH. FOR EDWARD H. & EMMA L. PATERSON DATED MAY 1982 RCRD PLAN #C-11243
- CONDOMINIUM SITE PLAN, 729-733 MIDDLE STREET CONDOMINIUM FOR PROPERTY AT 729&733 MIDDLE STREET, PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE OWNED BY SHAWN O. GORMAN & CARIANN M. GOODRICH-GORMAN DATED 12/17/02 RCRD PLAN #D-30540
- CONDOMINIUM SITE PLAN FOR 605 LINCOLN AVENUE, A CONDOMINIUM, MARK MCNALLY DECLARANT, TAX MAP 148, LOT 41, PORTSMOUTH, NH DATED 11-8-2008 RCRD PLAN #D-35685.

- LEGEND:**
- GRANITE BOUND FOUND
 - IRON ROD (AS NOTED)
 - ▲ SURVEY NAIL SET
 - × WOVEN VINYL FENCE
 - WOOD FENCE
 - CEMENT CONCRETE PAD
 - CRUSHED STONE
 - FLAG STONE
 - STONE RETAINING WALL
 - UTILITY POLE
 - ⊕ UTILITY POLE W/TRANSFORMER
 - GUY
 - OHW- OVERHEAD WIRES
 - OHE- OVERHEAD ELECTRIC
 - OHC- OVERHEAD COMMUNICATION WIRES
 - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - 137-01 TAX SHEET / LOT NO.
 - EOP EDGE OF PAVEMENT
 - LA LANDSCAPED AREA
 - CATCH BASIN
 - DRAIN MANHOLE
 - ROOF DOWNSPOUT
 - SEWER CLEAN OUT
 - SEWER MANHOLE
 - SEWER CLEAN OUT
 - W- WATER LINE
 - S- SEWER LINE
 - D- DRAIN LINE
 - G- GAS LINE
 - WATER GATE VALVE
 - WATER SHUT OFF VALVE
 - HYDRANT
 - VGC VERTICAL FACED GRANITE CURB
 - GRANITE COBBLESTONE BORDER WALL
 - PSNH PUBLIC SERVICE CO. OF NH
 - EVS EVERSOURCE
 - PP/PL PLASTIC GAS LINE
 - GAS METER
 - NETT NEW ENGLAND TELEPHONE AND TELEGRAPH CO.
 - PSNH PUBLIC SERVICE CO. OF NH
 - ELECTRIC METER



ALTUS
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

James Verra & Associates, Inc.
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801-7876
603-436-3557

JOB NO: 23826

ISSUED FOR: CLIENT REVIEW

ISSUE DATE: 3-2-2020

REVISIONS

NO.	DESCRIPTION	BY	DATE

DRAWN BY: GTD

APPROVED BY: JV

DRAWING FILE: 23826.DWG

SCALE:

22" x 34" - 1" = 20'

11" x 17" - 1" = 40'

APPLICANT:

DAVID A. SINCLAIR
NICOLE J. GIUSTO
765 MIDDLE STREET
PORTSMOUTH, NH 03801

OWNER:

DAVID A. SINCLAIR &
NICOLE J. GIUSTO
765 MIDDLE STREET
PORTSMOUTH, NH 03801

PROJECT:

EXISTING CONDITIONS
PLAN
TAX MAP 148,
LOT 37
765 MIDDLE STREET
PORTSMOUTH, NH

TITLE:

EXISTING
CONDITIONS PLAN
765 MIDDLE STREET
PORTSMOUTH, NH

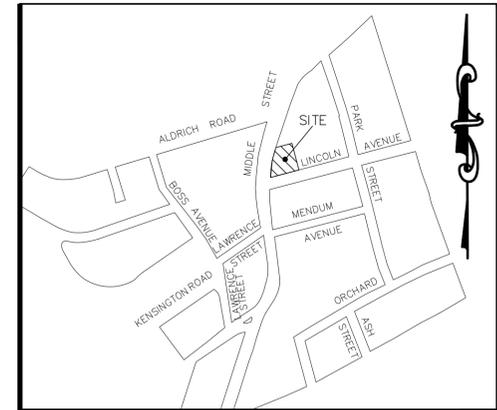
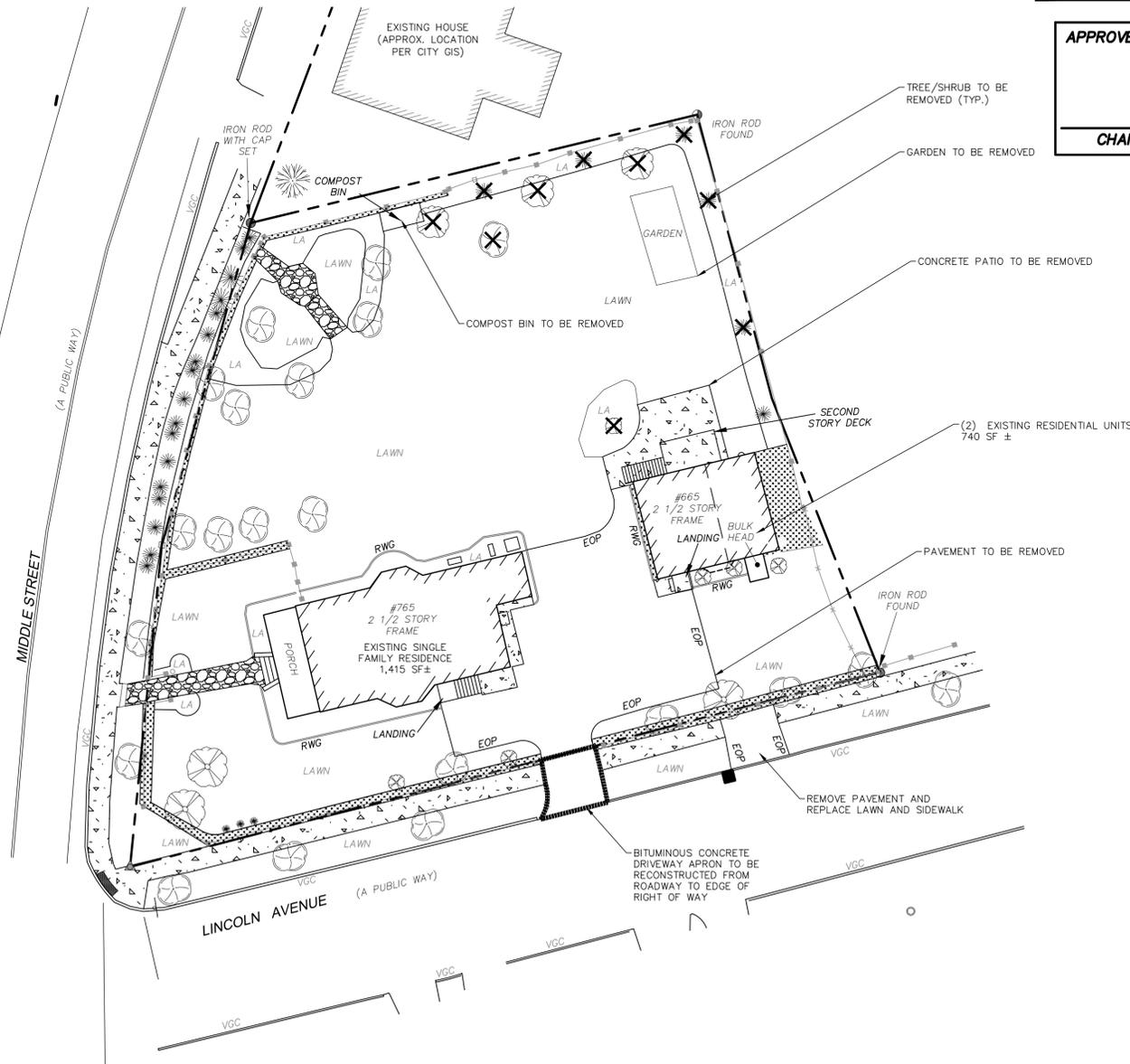
SHEET NUMBER:

EX-1

P5021

DEMOLITION NOTES

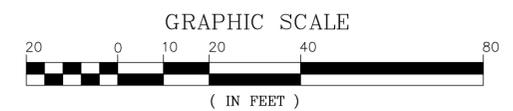
1. THE CONTRACTOR SHALL BRING ANY AND ALL DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS TO THE ATTENTION OF THE OWNER AND ENGINEER IMMEDIATELY FOR RESOLUTION.
2. THIS DEMOLITION PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES AND TO SHOW THE MAJOR ITEMS OF WORK REQUIRED FOR PREPARING THE SITE FOR THE CONSTRUCTION OF THE PROPOSED PROJECT. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES, AS NECESSARY TO FULLY CONSTRUCT THE PROJECT. THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO BIDDING AND BE RESPONSIBLE FOR PREPARING THE SITE FOR CONSTRUCTION AS NEEDED TO COMPLETE THE PROPOSED IMPROVEMENTS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND VERIFY ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR ANY DAMAGE DONE TO EXISTING UTILITIES AT NO EXTRA COST TO THE OWNER. UTILITY CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, OWNER, AND APPROPRIATE UTILITY COMPANIES.
4. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
6. ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
7. ALL BUILDINGS, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED LANDSCAPE AREAS TO A MINIMUM DEPTH OF 12" BELOW FINISH GRADE AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPE PURPOSES AND MEETING THE PROJECT SPECIFICATIONS.
8. NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
9. HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
10. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG THE PROPERTY LINE IN ALL AREAS WHERE SILT FENCING IS NOT OTHERWISE REQUIRED.
11. SEE EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO; SEDIMENT BARRIERS, STABILIZED CONSTRUCTION SITE EXIT, AND STORM DRAIN INLET PROTECTION.
12. ALL DEMOLISHED MATERIAL OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
13. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE & FEDERAL REGULATIONS AND CODES.
14. INSTALL STABILIZED CONSTRUCTION EXIT; MAINTAIN AND RELOCATE DURING CONSTRUCTION, AS NEEDED BASED ON ACTIVE CONSTRUCTION STAGES.



LOCUS NOT TO SCALE

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR: APPROVAL

ISSUE DATE: JANUARY 30, 2023

REVISIONS		
NO.	DESCRIPTION	BY DATE
0	INITIAL SUBMISSION	EDW 12/16/22
1	BLDG. MINOR REVISION	EDW 1/30/23

DRAWN BY: MBS/RLH
APPROVED BY: EDW
DRAWING FILE: 5021-SITE.dwg

SCALE:
(22"x34") 1" = 20'
(11"x17") 1" = 40'

OWNER/APPLICANT:

NICOLE J. GIUSTO &
DAVID A. SINCLAIR

765 MIDDLE STREET
PORTSMOUTH, NH 03801
TAX MAP 148 PARCEL 37

PROJECT:
RESIDENTIAL DEVELOPMENT EXPANSION
TAX MAP 148, LOT 37

765 MIDDLE STREET
PORTSMOUTH, NH

TITLE:
SITE PREPARATION PLAN

SHEET NUMBER:
C-1

P5021

SITE NOTES

- DESIGN INTENT – THIS PLAN SET IS INTENDED TO DEPICT A CONSTRUCTION OF A DETACHED GARAGE WITH A DWELLING UNIT ON THE SECOND FLOOR.
- APPROXIMATE LOT AREA: 21,504 SF
- ZONE: GRA
- ON OCTOBER 18, 2022, THE ZONING BOARD OF ADJUSTMENT APPROVED THE FOLLOWING VARIANCES:
 Section 10.513 TO ALLOW 3 PRINCIPAL DWELLINGS ON A LOT WHERE ONLY 1 IS ALLOWED.
 Section 10.521 TO ALLOW A LOT AREA OF 5,376 SF WHERE 7,500 SF IS REQUIRED PER DWELLING UNIT AND A REAR YARD WHERE 20- FEET IS REQUIRED.
- PARKING REQUIREMENTS:**
 RESIDENTIAL 1.3 SPACE PER DWELLING UNIT GFA OVER 750 SF
 4 DWELLING UNITS = 5.2 SPACES REQUIRED
 6 SPACES PROVIDED (UNSTRIPED)
- ONSITE WETLANDS BUFFER ANALYSIS – NO WETLANDS ON THE PROPERTY OR WITHIN 75- FEET OF THE SITE
- AREA OF DISTURBANCE UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN HEREON, AND/OR TRUCKED OFF SITE AS APPROPRIATE.
- PAVEMENT MARKINGS – RESIDENTIAL USE – STRIPING NOT PROPOSED.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINES WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW PAVER SURFACE.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- BUILDING AREA SHOWN IS BASED ON FOOTPRINT MEASURED TO THE EDGE OF FOUNDATIONS AND/OR SLABS. ACTUAL INTERIOR SPACE WILL DIFFER.
- NO CHANGES TO THE DRIVEWAY WITHIN THE CITY RIGHT-OF-WAY IS PROPOSED.
- TRASH AND RECYCLING TO BE STORED INSIDE BUILDINGS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS

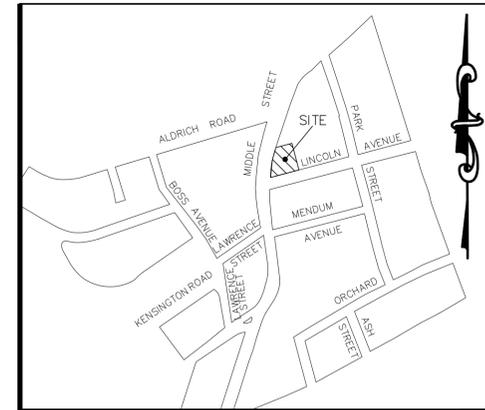
ZONING SUMMARY

ZONE: GRA (GENERAL RESIDENCE A)
 EXISTING LOT AREA: 0.49 AC±

DIMENSIONAL REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	7,500 S.F.	21,504 S.F.	21,504 S.F.
MIN. LOT AREA PER DWELLING UNIT:	7,500 S.F.	7,168 S.F.±	5,376 S.F.± **
DWELLING UNITS:	—	3	4 ***
MIN. STREET FRONTAGE:	100'	158' (MIDDLE ST.)	158'±
MIN. LOT DEPTH:	70'	111'±	111'±
FRONT SETBACK: *	15'	26.1'±(EX.)(MIDDLE ST.)	26.1'±
		19.5'±(EX.)(LINCOLN ST.)	19.5'±
SIDE SETBACK:	10'	74'±(EX.)	10.0' (NEW)**
REAR SETBACK:	20'	8.7'±(EX)	8.7'± (EX.)
			10.0' (NEW)
MAX. HEIGHT:	35'	<35' (EX.)	<35' (PROP.)
MAX. BUILDING COVERAGE:	25%	12.1%±(INCL. DECKS)	22.2%± (INCL. DECKS)
MIN. OPEN SPACE:	30%	70.6%±	59.8%±

* FRONT SETBACK IS FROM BOTH STREET ADDRESS STREET AND ACCESS STREET
 ** VARIANCES FROM SECTION 10.521 TO ALLOW 1) A LOT AREA PER DWELLING OF 5,376 S.F. WHERE 7,500 IS REQUIRED PER UNIT AND 2) A 10 FOOT REAR YARD WHERE 20 FEET IS REQUIRED
 *** VARIANCE FROM SECTION 10.513 TO ALLOW 3 PRINCIPAL DWELLINGS ON A LOT WHERE ONLY 1 IS ALLOWED PER LOT



LOCUS NOT TO SCALE

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



133 Court Street Portsmouth, NH 03801
 (603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR: PLANNING BOARD

ISSUE DATE: JANUARY 30, 2023

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	12/16/22
1	BLDG. MINOR REVISION	EDW	1/30/23

DRAWN BY: MBS/RLH

APPROVED BY: EDW

DRAWING FILE: 5021-SITE.dwg

SCALE:
 (22"x34") 1" = 20'
 (11"x17") 1" = 40'

OWNER/APPLICANT:

NICOLE J. GIUSTO &
 DAVID A. SINCLAIR
 765 MIDDLE STREET
 PORTSMOUTH, NH 03801
 TAX MAP 148 PARCEL 37

PROJECT:

RESIDENTIAL
 DEVELOPMENT
 EXPANSION
 TAX MAP 148, LOT 37

765 MIDDLE STREET
 PORTSMOUTH, NH

TITLE:

SITE PLAN

SHEET NUMBER:

C-2

148-23
 ELTON L. SHAFFER
 PAULA M. RAIS
 748 MIDDLE STREET
 PORTSMOUTH, NH 03801
 2693/2930

148-38
 MARCIA J. SHEARMAN REVOC. TRUST
 JOHN SHEARMAN REVOC. TRUST
 635 LINCOLN AVENUE
 PORTSMOUTH, NH 03801
 6400/2444

153-09
 MIDDLE STREET
 TOWNHOUSE CONDOMINIUMS
 UNIT 1
 JORGENSEN FAMILY TRUST
 NATHAN H. & KRISTIE L. JORGENSEN, TRUSTEES
 774 MIDDLE STREET UNIT 1
 PORTSMOUTH, NH 03801
 5684/1841

UNIT 2
 STACEY CARLA SIMONOFF
 774 MIDDLE STREET UNIT 2
 PORTSMOUTH, NH 03801
 6155/990

UNIT 3
 BRIAN T. &
 MELLISSA J. MAGUIRE
 774 MIDDLE STREET UNIT 3
 PORTSMOUTH, NH 03801
 5662/2283

UNIT 4
 ALISON L. PYOTT &
 CHRISTOPHER J. PYOTT
 774 MIDDLE STREET UNIT 4
 PORTSMOUTH, NH 03801
 3295/1018

148-21
 COREY T. &
 SHELLY A. VESSELS
 795 MIDDLE STREET
 PORTSMOUTH, NH 03801
 6443/784

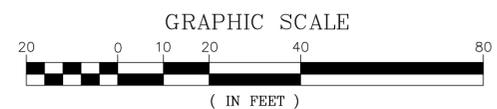
148-20
 JOEL ANN THIBEAULT
 670 LINCOLN AVENUE
 PORTSMOUTH, NH 03801
 3081/178

148-19
 ROBERT M. GRAHAM REVOC. TRUST
 KAREN J. GRAHAM REVOC. TRUST
 664 LINCOLN AVENUE
 PORTSMOUTH, NH 03801
 3767/1898

148-18
 PETER P. DAWSON REVOC. TRUST
 KAREN G. DAWSON REVOC. TRUST
 648 LINCOLN AVENUE
 PORTSMOUTH, NH 03801
 5541/2650

LEGEND

- PROPERTY LINE
- - - - BUILDING SETBACK
- VGC SGC EXISTING PAVEMENT/CURB
- ▨ PROPOSED PAVEMENT
- ▨ PROPOSED SAWCUT
- ▨ EXISTING STONE WALKWAY
- ▨ EXISTING STONE WALL
- ▨ PROPOSED DRIPEDGE



P5021

NOT FOR CONSTRUCTION

ISSUED FOR:
PLANNING BOARD

ISSUE DATE:
JANUARY 30, 2023

REVISIONS		
NO.	DESCRIPTION	BY DATE
0	INITIAL SUBMISSION	EDW 12/16/22
1	BLDG. MINOR REVISION	EDW 1/30/23

DRAWN BY: _____ MBS/RLH
APPROVED BY: _____ EDW
DRAWING FILE: _____ 5021-SITE.dwg

SCALE:
(22"x34") 1" = 10'
(11"x17") 1" = 20'

OWNER/APPLICANT:

NICOLE J. GIUSTO &
DAVID A. SINCLAIR

765 MIDDLE STREET
PORTSMOUTH, NH 03801
TAX MAP 148 PARCEL 37

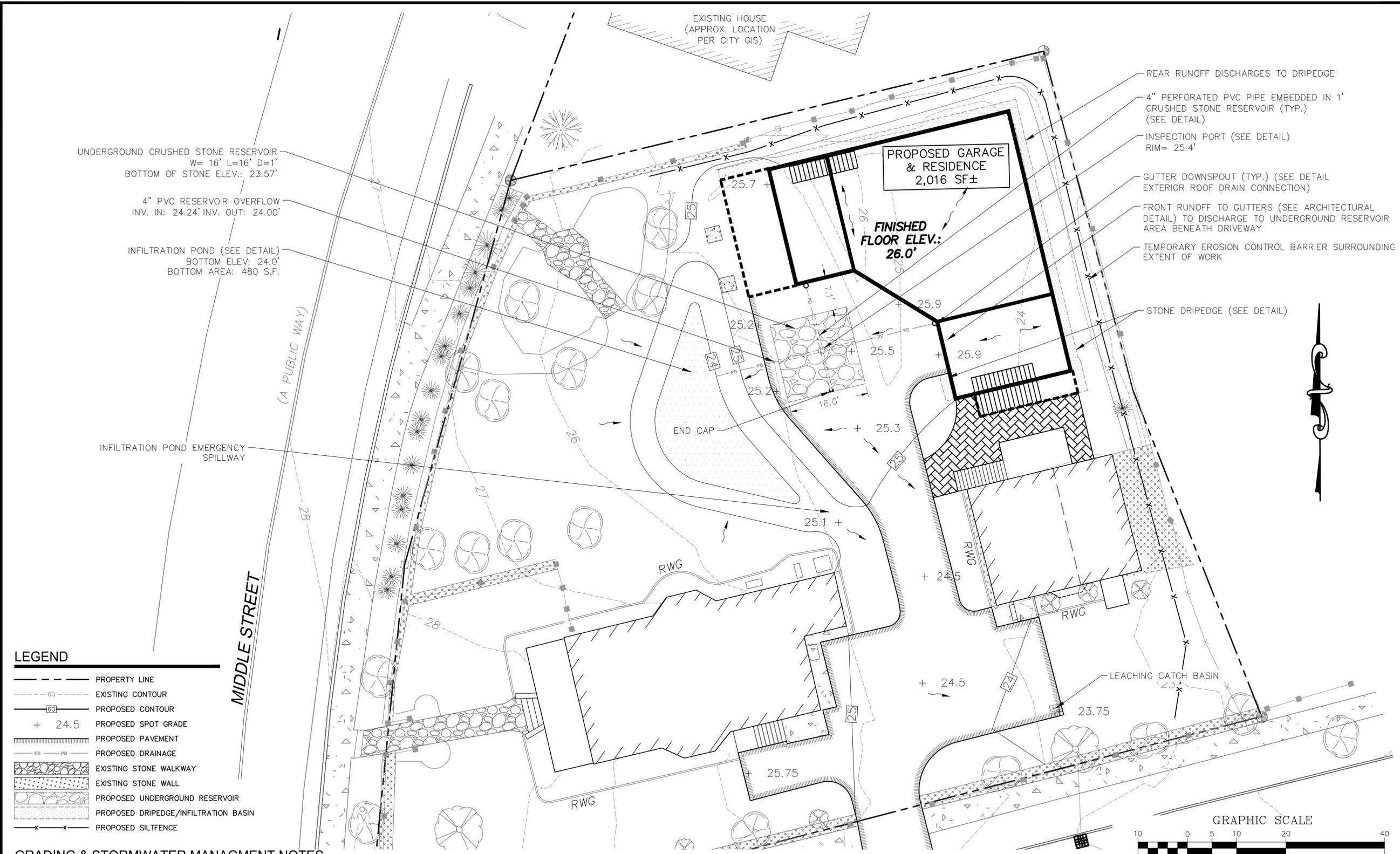
PROJECT:
**RESIDENTIAL
DEVELOPMENT
EXPANSION**
TAX MAP 148, LOT 37

765 MIDDLE STREET
PORTSMOUTH, NH

TITLE:
**GRADING &
STORMWATER PLAN**

SHEET NUMBER:
C-3

P-5021



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED DRAINAGE
	EXISTING STONE WALKWAY
	EXISTING STONE WALL
	PROPOSED UNDERGROUND RESERVOIR
	PROPOSED DRIPEDGE/INFILTRATION BASIN
	PROPOSED SILTFENCE

GRADING & STORMWATER MANAGEMENT NOTES

- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
- UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBMS) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
- PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
- NO EARTHWORK SHALL COMMENCE UNTIL ALL APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN GOOD WORKING ORDER FOR THE DURATION OF CONSTRUCTION AND THE SITE IS STABILIZED.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL. IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES, PROVIDING TEMPORARY VEGETATION, AND/OR MULCHING EXPOSED AREAS AND STOCKPILES.
- ALL ROOF DRAIN RISERS SHALL BE LOCATED IN COORDINATION WITH THE ARCHITECTURAL PLANS TO MATCH GUTTER DOWNSPOUTS. RISERS SHALL BE SET TO FINISH GRADE PLUS 1" (MIN.).
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6") INCHES OF LOAM, LIMESTONE, FERTILIZER, SEED, AND MULCH USING APPROPRIATE SOIL STABILIZATION TECHNIQUES. SEE DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- ALL SPOT GRADES ARE AT FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
- IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAWN TO SCALE. SYMBOLS MAY NOT BE INDICATIVE OF THE CENTER OF A STRUCTURE, PARTICULARLY WHEN SHOWN ADJACENT TO A CURB LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- UPON COMPLETION OF CONSTRUCTION, ALL DRAINAGE INFRASTRUCTURE SHALL BE CLEANED OF ALL DEBRIS AND SEDIMENT.
- UPON COMPLETION OF CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED AND ANY AREAS DISTURBED BY THE REMOVAL SMOOTHED AND REVEGETATED.

LEGEND

- PROPERTY LINE
- PS --- PROPOSED SEWER SERVICE
- PW --- PROPOSED WATER SERVICE
- + 24.5 PROPOSED SPOT GRADE
- PD --- PROPOSED PAVEMENT
- PD --- PROPOSED DRAINAGE
- [Pattern] EXISTING STONE WALKWAY
- [Pattern] EXISTING STONE WALL
- [Pattern] PROPOSED CONCRETE PAD
- [Pattern] PROPOSED DRIPEDGE/INFILTRATION BASIN

PROPOSED MECH & HVAC PADS (TYP.) FINAL SIZE, LOCATION, AND QUANTITY BY OTHERS

APPROXIMATE LOCATE OF UNDERGROUND TELEPHONE
(A PUBLIC WAY)
8" PLASTIC

REPLACE EXISTING SEWER MATCH TO EXISTING INVERT AT FOUNDATION WALL

PROPOSED CLEANOUT (SEE DETAIL)

CAP EXISTING SEWER SERVICE FROM HOUSE

CONNECT TO EXISTING SEWER STUB

REPLACE EXISTING 3/4" WATER SERVICE WITH NEW 1" DOMESTIC WATER LINE TO FEED MAIN HOUSE

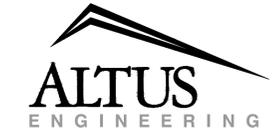
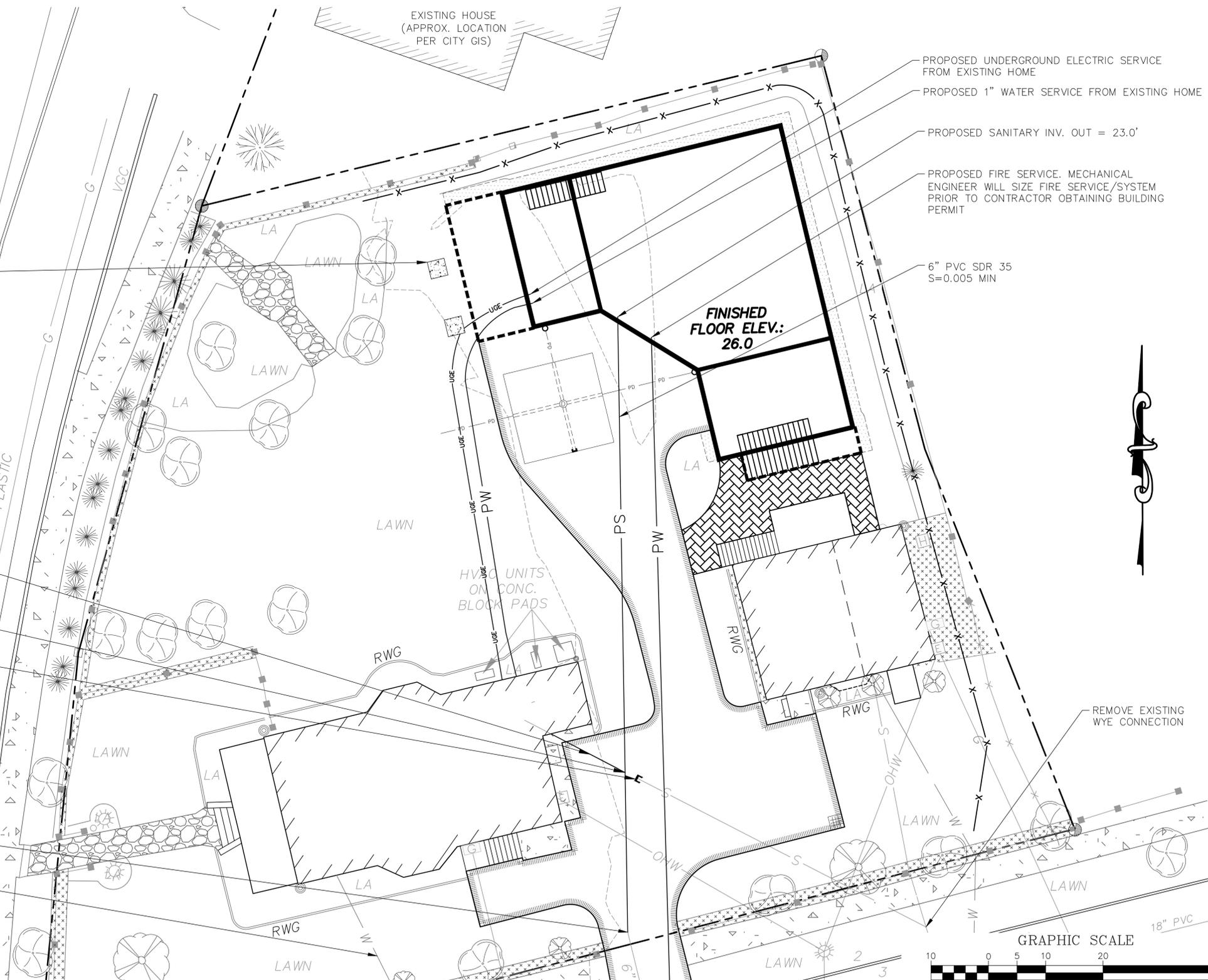
UTILITY NOTES

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY PROVIDERS AND GOVERNMENTAL AGENCIES. AS SUCH, THEY ARE NOT INCLUSIVE AS OTHER UTILITIES AND UNDERGROUND STRUCTURES THAT ARE NOT SHOWN ON THE PLANS MAY EXIST. THE ENGINEER, SURVEYOR AND OWNER ACCEPT NO RESPONSIBILITY FOR POTENTIAL INACCURACIES IN THE PLAN AND/OR UNFORESEEN CONDITIONS. THE CONTRACTOR SHALL NOTIFY, IN WRITING, SAID AGENCIES, UTILITY PROVIDERS, CITY OF PORTSMOUTH DPW AND OWNER'S AUTHORIZED REPRESENTATIVE AND CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WORK.
2. PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING AND PROPOSED STORMWATER AND UTILITY LINES. CONFLICTS SHALL BE ANTICIPATED AND ALL EXISTING LINES TO BE RETAINED SHALL BE PROTECTED. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED AND, IF NECESSARY, EXISTING UTILITIES SHALL BE RELOCATED AT NO EXTRA COST TO THE OWNER. ALL CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DPW AND APPROPRIATE UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.

4. ALL ROAD/LANE CLOSURES OR OTHER TRAFFIC INTERRUPTIONS SHALL BE COORDINATED WITH NHDOT, THE PORTSMOUTH POLICE DEPARTMENT AND DPW AT LEAST TWO WEEKS PRIOR TO COMMENCING RELATED CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL & COMPACTION FOR ALL UTILITY TRENCHING IN ADDITION TO ALL CONDUIT INSTALLATION AND COORDINATION OF ALL REQUIRED INSPECTIONS.
6. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
7. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
8. DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
9. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDING. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND

- DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
10. FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE ARCHITECT, CONTRACTOR, APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DPW.
 11. UTILITY PROVIDERS AND CONTACTS:
 - WATER & SEWER: PORTSMOUTH DPW, JIM TOW, (603) 427-1530.
 - GAS: UNTIL: DAVID BEAULIEU, (603) 294-5144.
 - TELECOMMUNICATIONS: CONSOLIDATED, JOE CONSIDINE, (603) 427-5525.
 - CABLE: COMCAST, MIKE COLLINS, (603) 679-5695, EXT. 1037.
 - ELECTRICAL: EVERSOURCE, MICHAEL BUSBY, (603) 332-4227, EXT. 5555334. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
 12. CONTRACTOR TO PROVIDE BOLLARDS AT SERVICE ENTRANCES PER THE SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.
 13. ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL BE CONSTRUCTED AND TESTED PER PORTSMOUTH DPW STANDARDS AND SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE TO THE STANDARDS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.

14. WHERE WATER LINES CROSS, RUN ADJACENT TO OR ARE WITHIN 5' OF STORM DRAINAGE PIPES OR STRUCTURES, 2"-THICK CLOSED CELL RIGID BOARD INSULATION SHALL BE INSTALLED FOR FROST PROTECTION.
15. WATER AND SANITARY SEWER LINES SHALL BE LOCATED AT LEAST 10' HORIZONTALLY FROM EACH OTHER. WHERE CROSSING, 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED WITH WATER INSTALLED OVER SEWER.
16. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDINGS. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO COMMENCING RELATED WORK.
17. ALL MEANS, METHODS, MATERIALS AND INSTALLATION OF NEW SEWER LATERALS SHALL BE APPROVED AND WITNESSED BY PORTSMOUTH DPW PRIOR TO BACKFILLING.
18. THE CONTRACTOR SHALL CONFIRM ALL WATERLINE SIZES WITH THE MEP PLANS PRIOR TO INSTALLATION. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR: PLANNING BOARD

ISSUE DATE: JANUARY 30, 2023

REVISIONS		
NO.	DESCRIPTION	BY DATE
0	INITIAL SUBMISSION	EDW 12/16/22
1	BLDG. MINOR REVISION	EDW 1/30/23

DRAWN BY: MBS/RLH
APPROVED BY: EDW
DRAWING FILE: 5021-SITE.dwg

SCALE:
(22"x34") 1" = 10'
(11"x17") 1" = 20'

OWNER/APPLICANT:

NICOLE J. GIUSTO &
DAVID A. SINCLAIR

765 MIDDLE STREET
PORTSMOUTH, NH 03801
TAX MAP 148 PARCEL 37

PROJECT:
RESIDENTIAL DEVELOPMENT EXPANSION
TAX MAP 148, LOT 37
765 MIDDLE STREET
PORTSMOUTH, NH

TITLE:
UTILITY PLAN

SHEET NUMBER:
C-4

P5021

SEDIMENT AND EROSION CONTROL NOTES

PROJECT NAME AND LOCATION

RESIDENTIAL DEVELOPMENT EXPANSION
NICOLE J. GIUSTO & DAVID A. SINCLAIR
765 MIDDLE STREET
PORTSMOUTH, NEW HAMPSHIRE
TAX MAP 418, LOT 37

LONGITUDE: 70°46'00" W
LATITUDE: 43°04'01" N

OWNER / APPLICANT:

NICOLE J. GIUSTO & DAVID A. SINCLAIR
765 MIDDLE STREET
PORTSMOUTH, NH 03801

DESCRIPTION

The project consists of the development of the lot for the construction of a three-bay garage with a second story apartment along with associated site improvements.

DISTURBED AREA

The total area to be disturbed for the redevelopment improvements is approximately 8,000 S.F. (±0.18 acres).

PROJECT PHASING

The proposed project will be completed in one phase.

NAME OF RECEIVING WATER

The site drains overlain onto adjacent properties.

SEQUENCE OF MAJOR ACTIVITIES

1. Install temporary erosion control measures including silt fences, stabilized construction entrance and inlet sediment filters as noted on the plan. All temporary erosion control measures shall be maintained in good working condition for the duration of the project.
2. Strip loam and stockpile.
3. Site features as shown on plan.
4. Rough grade site including placement of borrow materials.
5. Construct drainage structures, culverts, utilities, swales & pavement base course materials.
6. Loom (6" min) and seed all disturbed areas not paved or otherwise stabilized.
7. Install pavement.
8. When all construction activity is complete and site is stabilized, remove all temporary erosion control measures and any sediment that has been trapped by these devices.

TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "New Hampshire Stormwater Manual, Volumes 1 - 3", issued December 2008, as amended. As indicated in the sequence of Major Activities, the silt fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area, silt fences and any earth/dikes will be removed once permanent measures are established.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site shall be filtered through hay bale barriers, stone check dams, and silt fences. All storm drain inlets shall be provided with hay bale filters or stone check dams. Stone rip rap shall be provided at the outlets of drain pipes and culverts where shown on the drawings.

Stabilize all ditches, swales, & level spreaders prior to directing flow to them.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion and sediment control measures shall be maintained until permanent vegetation is established.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

1. The smallest practical portion of the site shall be denuded at one time.
2. All control measures shall be inspected at least once each week and following any storm event of 0.25 inches or greater.
3. All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
4. Built-up sediment shall be removed from silt fence or other barriers when it has reached one-third the height of the fence or bale, or when "bulges" occur.
5. All diversion dikes shall be inspected and any breaches promptly repaired.
6. Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
7. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
8. An area shall be considered stable if one of the following has occurred:
 - a. Base course gravels have been installed in areas to be paved;
 - b. A minimum of 85% vegetated growth has been established;
 - c. A minimum of 3 inches of non-erosive material such as stone or riprap has been installed; - or -
9. Erosion control blankets have been properly installed.
10. The length of time of exposure of area disturbed during construction shall not exceed 45 days.

B. MULCHING

Mulch shall be used on highly erodible soils, on critically eroding areas, on areas where conservation of moisture will facilitate plant establishment, and where shown on the plans.

1. Timing - In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this:
 - a. Apply mulch prior to any storm event. This is applicable when working within 100 feet of wetlands. It will be necessary to closely monitor weather predictions, usually by contacting the National Weather Service in Concord, to have adequate warning of significant storms.
 - b. Required Mulching within a specified time period. The time period can range from 21 to 28 days of inactivity on an area, the length of time varying with site conditions. Professional judgment shall be used to evaluate the interaction of site conditions (soil erodibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erosion on adjacent areas to choose an appropriate time restriction.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CON'T)

2. Guidelines for Winter Mulch Application -

Type	Rate per 1,000 s.f.	Use and Comments
Hay or Straw	70 to 90 lbs.	Must be dry and free from mold. May be used with plantings.
Wood Chips or Bark Mulch	460 to 920 lbs.	Used mostly with trees and shrub plantings.
Jute and Fibrous Matting (Erosion Blanket)	As per manufacturer Specifications	Used in slope areas, water courses and other Control areas.
Crushed Stone 1/4" to 1-1/2" dia.	Spread more than 1/2" thick	Effective in controlling wind and water erosion.
Erosion Control Mix	2" thick (min)	<ul style="list-style-type: none"> * The organic matter content is between 80 and 100% dry weight basis. * Particle size by weight is 100% passing a 6" screen and a minimum of 70 % maximum of 85% passing a 0.75 screen. * The organic portion needs to be fibrous and elongated. * Large portions of silts, clays or fine sands are not acceptable in the mix. * Soluble salts content is less than 4.0 mmhos/cm. * The pH should fall between 5.0 and 8.0.

3. Maintenance - All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied.

C. TEMPORARY GRASS COVER

1. Seedbed Preparation - Apply fertilizer at the rate of 600 pounds per acre of 10-10-10. Apply limestone (equivalent to 50 percent calcium plus magnesium oxide) at a rate of three (3) tons per acre.
2. Seeding -
 - a. Utilize annual rye grass at a rate of 40 lbs/acre.
 - b. Where the soil has been compacted by construction operations, loosen soil to a depth of two (2) inches before applying fertilizer, lime and seed.
 - c. Apply seed uniformly by hand, cyclone seeder, or hydroseeder (slurry including seed and fertilizer). Hydroseedings, which include mulch, may be left on soil surface. Seeding rates must be increased 10% when hydroseeding.
3. Maintenance - Temporary seedings shall be periodically inspected. At a minimum, 95% of the soil surface should be covered by vegetation. If any evidence of erosion or sedimentation is apparent, repairs shall be made and other temporary measures used in the interim (mulch, filter barriers, check dams, etc.).

D. FILTERS

1. Sequence of Installation - Sediment barriers shall be installed prior to any soil disturbance of the contributing upslope drainage area.
2. Maintenance -
 - a. Silt fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired if there are any signs of erosion or sedimentation below them. Any required repairs shall be made immediately. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water, the sediment barriers shall be replaced with a temporary stone check dam.
 - b. Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be replaced promptly.
 - c. Sediment deposits must be removed when deposits reach approximately one-third (1/3) the height of the barrier.
 - d. Any sediment deposits remaining in place after the silt fence or other barrier is no longer required shall be removed. The area shall be prepared and seeded.
 - e. Additional stone may have to be added to the construction entrance, rock barrier and riprap lined swales, etc., periodically to maintain proper function of the erosion control structure.
3. PERMANENT SEEDING -
 1. Bedding - stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 5" to prepare a seedbed and mix fertilizer into the soil.
 2. Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:

Agricultural Limestone @ 100 lbs. per 1,000 s.f.	10-20-20 fertilizer @ 12 lbs. per 1,000 s.f.
--------------------------------------------------	----------------------------------------------
 3. Seed Mixture (recommended):

Type	Lbs. / Acre	Lbs. / 1,000 sf
Tall Fescue	24	0.55
Creeping Red Fescue	24	0.55
Total	48	1.10

Type	Min. Purity (%)	Min. Germination (%)	Kg./Hectare (Lbs./Acre)
Creeping Red Fescue (c)	96	85	45 (40)
Perennial Rye Grass (a)	98	90	35 (30)
Redtop	95	80	5 (5)
Alsike Clover	97	90(e)	5 (5)
			Total 90 (80)

Type	Lbs. / Acre	Lbs. / 1,000 sf
Tall Fescue	24	0.55
Creeping Red Fescue	24	0.55
Total	48	1.10

Seed Mixture (For slope embankments):
Grass Seed: Provide fresh, clean, new-crop seed complying with tolerance for purity and germination established by Official Seed Analysts of North America. Provide seed mixture composed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified:

Type	Min. Purity (%)	Min. Germination (%)	Kg./Hectare (Lbs./Acre)
Creeping Red Fescue (c)	96	85	45 (40)
Perennial Rye Grass (a)	98	90	35 (30)
Redtop	95	80	5 (5)
Alsike Clover	97	90(e)	5 (5)
			Total 90 (80)

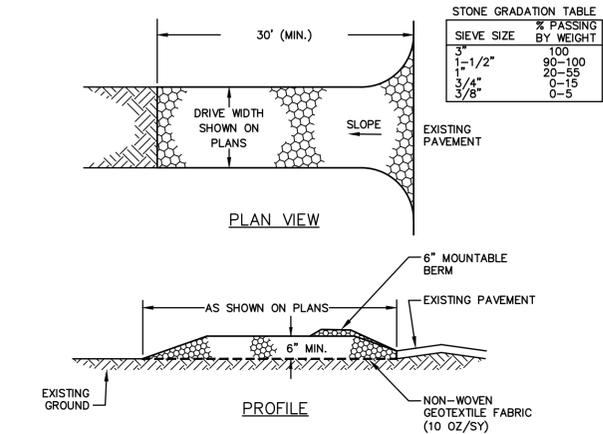
- a. Ryegrass shall be a certified fine-textured variety such as Pennfine, Fiesta, Yorktown, Diplomat, or equal.
- b. Fescue varieties shall include - Creeping Red and/or Hard Reliant, Scaldis, Koket, or Jamestown.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CON'T)

4. Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt), etc.

WINTER CONSTRUCTION NOTES

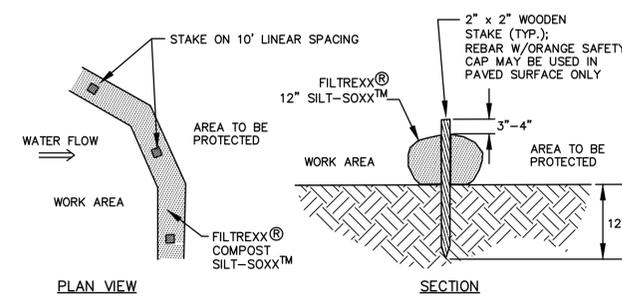
1. All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
2. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
3. After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3.



CONSTRUCTION SPECIFICATIONS

1. **STONE SIZE** - NHDOT STANDARD STONE SIZE #4 - SECTION 703 OF NHDOT STANDARD.
2. **LENGTH** - DETAILED ON PLANS (50 FOOT MINIMUM).
3. **THICKNESS** - SIX (6) INCHES (MINIMUM).
4. **WIDTH** - FULL DRIVE WIDTH UNLESS OTHERWISE SPECIFIED.
5. **FILTER FABRIC** - MIRAFI 600X OR EQUAL APPROVED BY ENGINEER.
6. **SURFACE WATER CONTROL** - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. **MAINTENANCE** - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. **WHEELS** SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. **STABILIZED CONSTRUCTION EXITS** SHALL BE INSTALLED AT ALL ENTRANCES TO PUBLIC RIGHTS-OF-WAY, AT LOCATIONS SHOWN ON THE PLANS, AND/OR WHERE AS DIRECTED BY THE ENGINEER.

STABILIZED CONSTRUCTION EXIT NOT TO SCALE

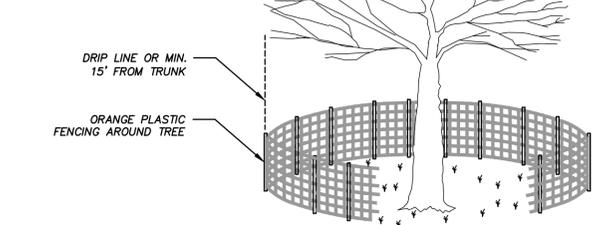


- NOTES:
1. SILT-SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
 2. ALL MATERIAL TO MEET FILTERREX SPECIFICATIONS.
 3. SILT-SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 4. ALL SEDIMENT TRAPPED BY SILT-SOXX SHALL BE DISPOSED OF PROPERLY.

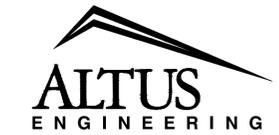
TUBULAR SEDIMENT BARRIER NOT TO SCALE

NOTE:
IF SOIL BECOMES COMPACTED OVER THE ROOT ZONE OF ANY TREE, THE GROUND SHOULD BE AERATED BY PUNCHING SMALL HOLES IN IT WITH SUITABLE AERATING EQUIPMENT.

ANY DAMAGE TO THE CROWN, TRUNK OR ROOT SYSTEM OF ANY TREE RETAINED ON SITE SHOULD BE REPAIRED IMMEDIATELY. CONSULT A FORESTER OR TREE SPECIALIST FOR MORE SERIOUS DAMAGE OF TREES.



TREE PROTECTION DETAIL NOT TO SCALE



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR: TECHNICAL ADVISORY COMMITTEE

ISSUE DATE: DECEMBER 16, 2022

REVISIONS
NO. DESCRIPTION BY DATE
0 INITIAL SUBMISSION EDW 12/16/22

DRAWN BY: MBS
APPROVED BY: EDW
DRAWING FILE: 5021-SITE.dwg

SCALE: NOT TO SCALE

OWNER/APPLICANT:

NICOLE J. GIUSTO & DAVID A. SINCLAIR
765 MIDDLE STREET
PORTSMOUTH, NH 03801
TAX MAP 148 PARCEL 37

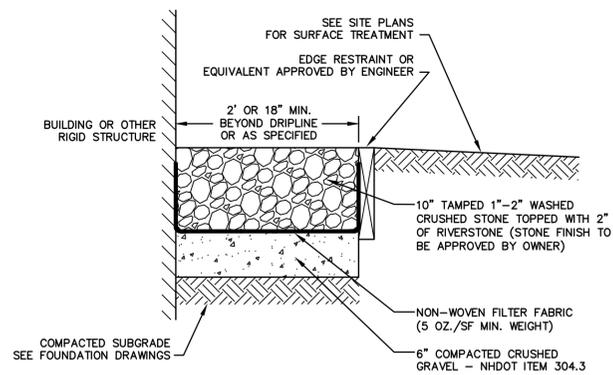
PROJECT: RESIDENTIAL DEVELOPMENT EXPANSION
TAX MAP 148, LOT 37
765 MIDDLE STREET
PORTSMOUTH, NH

TITLE:

NOTES SHEET

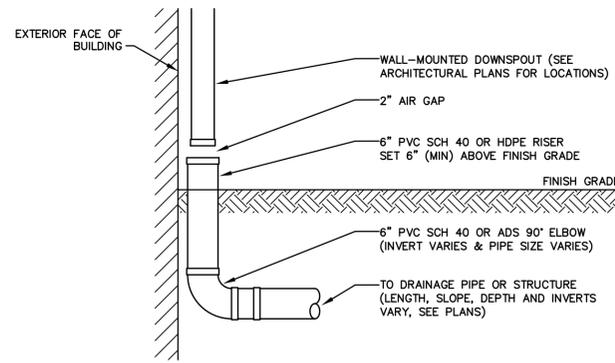
SHEET NUMBER:

D-1



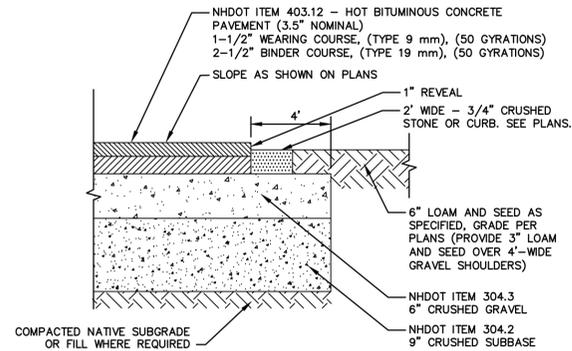
STONE DRIP EDGE

NOT TO SCALE



EXTERIOR ROOF DRAIN CONNECTION

NOT TO SCALE

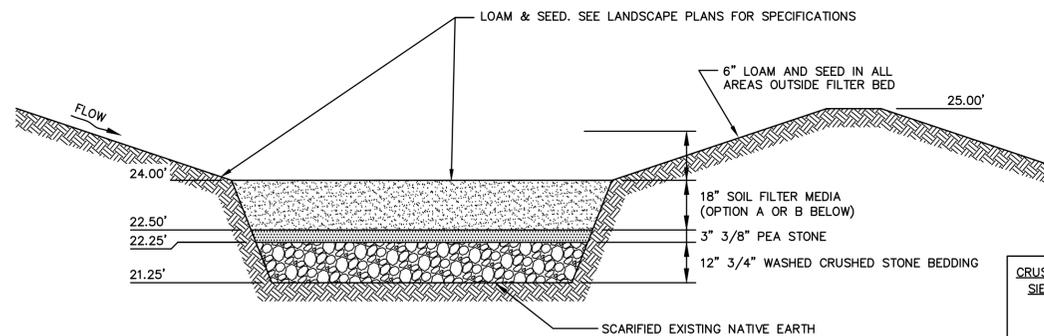


NOTES:

1. INSTALL TACK COAT TO BINDER COURSE PAVEMENT PRIOR TO INSTALLING WEARING COURSE.
2. REMOVE LEDGE WITHIN 30° OF SURFACE.
3. ALL LOAM, CLAY, MUCK, ORGANIC AND/OR YIELDING MATERIAL SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 18.5" BELOW FINISH GRADE. INSTALL COMPACTED SAND OR GRAVEL BORROW TO SUBGRADE, AS NECESSARY.
4. SUBGRADE SHALL BE FREE OF VOIDS THAT ALLOW MOVEMENT/SETTLEMENT OF MATERIALS.
5. SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED DUMP TRUCK PRIOR TO PLACEMENT OF GRAVEL. PROOF ROLLING TO BE VIEWED AND APPROVED BY ENGINEER.

PAVEMENT CROSS SECTION

NOT TO SCALE



NOTES:

1. WHEN CONTRACTOR EXCAVATES INFILTRATION POND AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
2. SOIL FILTER MEDIA SHALL EITHER OPTION A OR OPTION B AT CONTRACTOR'S DISCRETION.
3. DO NOT PLACE INFILTRATION POND INTO SERVICE UNTIL IT HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS STABILIZED.
4. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES TO THE INFILTRATION POND DURING ANY STAGE OF CONSTRUCTION.
5. DO NOT TRAFFIC EXPOSED SURFACES OF INFILTRATION POND WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION ACTIVITIES WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE BASIN.

MAINTENANCE REQUIREMENTS

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRE-TREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

- UNH STORMWATER CENTER
- EPA (1999A)
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

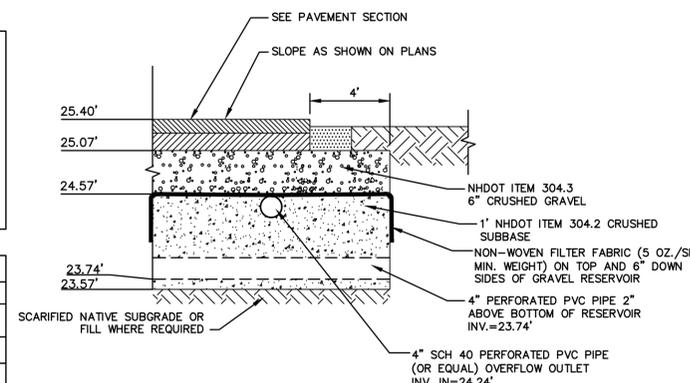
INFILTRATION POND

NOT TO SCALE

CRUSHED STONE BEDDING *	
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 - 10
# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT NHDOT STANDARD SPECIFICATIONS

FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Filter Media Option B			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Loamy coarse sand	70 to 80	10	85 to 100
		20	70 to 100
		60	15 to 40
		200	8 to 15

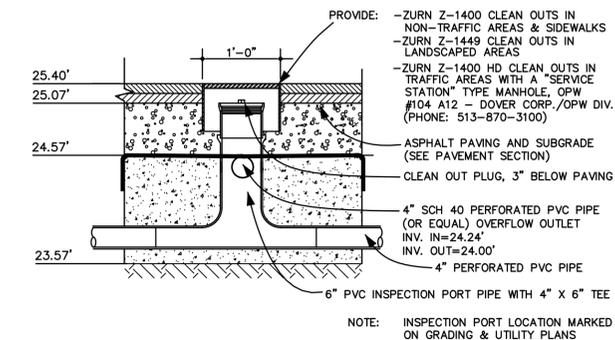


NOTES:

1. INSTALL TACK COAT TO BINDER COURSE PAVEMENT PRIOR TO INSTALLING WEARING COURSE.
2. REMOVE LEDGE WITHIN 30° OF SURFACE.
3. ALL LOAM, CLAY, MUCK, ORGANIC AND/OR YIELDING MATERIAL SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 18.5" BELOW FINISH GRADE. INSTALL COMPACTED SAND OR GRAVEL BORROW TO SUBGRADE, AS NECESSARY.
4. SUBGRADE SHALL BE FREE OF VOIDS THAT ALLOW MOVEMENT/SETTLEMENT OF MATERIALS.
5. SUBGRADE SHALL BE SCARIFIED TO PROMOTE RUNOFF. MECHANICAL SHALL NOT BE PLACED WITHIN BASIN AREA.

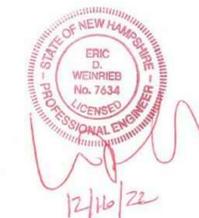
UNDERGROUND RESERVOIR

NOT TO SCALE



INSPECTION PORT

NOT TO SCALE



NOT FOR CONSTRUCTION

ISSUED FOR: **TECHNICAL ADVISORY COMMITTEE**

ISSUE DATE: **DECEMBER 16, 2022**

REVISIONS		NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION			EDW	12/16/22

DRAWN BY: _____ MBS
APPROVED BY: _____ EDW
DRAWING FILE: _____ 5021-SITE.dwg

SCALE:
(22"x34") 1" = 10'
(11"x17") 1" = 20'

OWNER/APPLICANT:
NICOLE J. GIUSTO & DAVID A. SINCLAIR
765 MIDDLE STREET PORTSMOUTH, NH 03801 TAX MAP 148 PARCEL 37

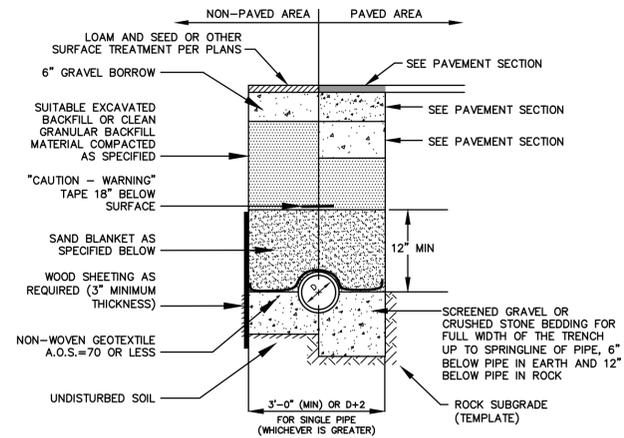
PROJECT:
RESIDENTIAL DEVELOPMENT EXPANSION
TAX MAP 148, LOT 37
765 MIDDLE STREET PORTSMOUTH, NH

TITLE:

DETAIL SHEET

SHEET NUMBER:

D-2



NOTES

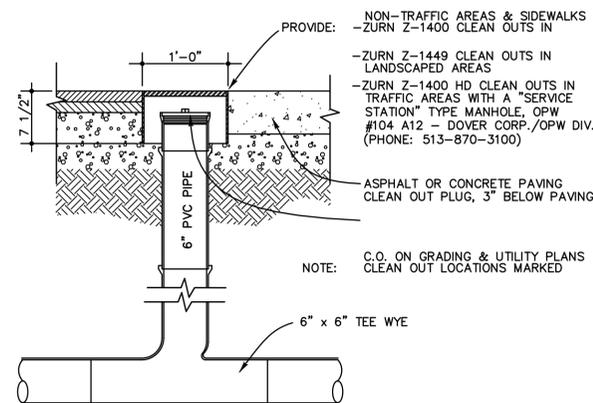
- BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
- INSULATE GRAVITY SEWER AND FORCEMAINS WHERE THERE IS LESS THAN 5'-0" OF COVER WITH 2" THICK CLOSED CELL RIGID BOARD INSULATION, 18" ON EACH SIDE OF PIPE.
- MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION AND WIDEN TRENCH ACCORDINGLY IF MULTIPLE PIPES ARE IN TRENCH.

SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING*	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

DRAINAGE, SEWER & FORCEMAIN TRENCH

NOT TO SCALE

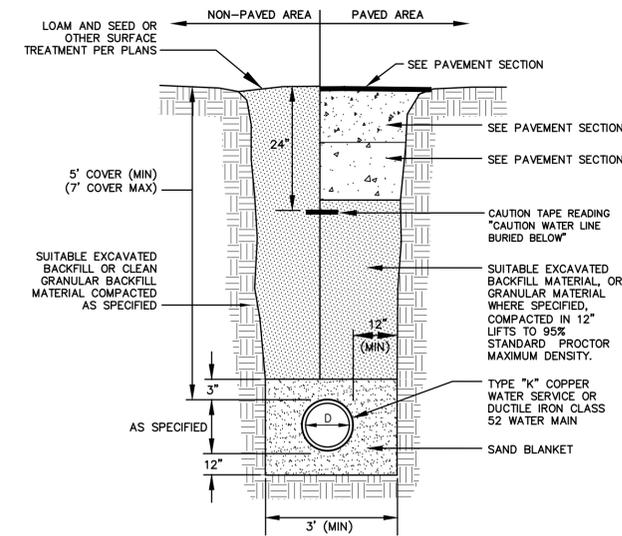


SEWER CLEANOUT

NOT TO SCALE

STANDARD TRENCH NOTES

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWING.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING THE GRADATION SHOWN IN THE TRENCH DETAIL. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 INCH TO 1/2 INCH SHALL BE USED.
- SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER MEETING THE GRADATION SHOWN IN THE TRENCH DETAIL. BLANKET MAY BE REPLACED WITH BEDDING MATERIAL FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE AND THE GEOTEXTILE IS RELOCATED ACCORDINGLY.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT, OR CLAY, ALL EXCAVATED LEDGE MATERIAL, ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION, AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK, OR PEAT, IF SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLE RECONSTRUCTION WILL BE PRESERVED.
- BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
- SHEETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAT 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL, FILL AND/OR LOAM SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS:
CEMENT: 6.0 BAGS PER CUBIC YARD
WATER: 5.75 GALLONS PER BAG
CEMENT MAXIMUM SIZE OF AGGREGATE: 1 INCH
CONCRETE ENCASEMENT IS NOT ALLOWED FOR PVC PIPE.
- CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO TOWN'S STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.



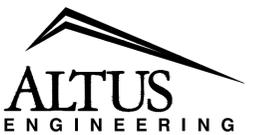
SAND BLANKET/BARRIER	
SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 - 100
200	0 - 15

NOTES

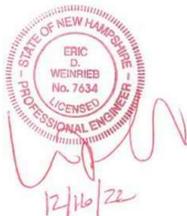
- BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
- ALL WATER MAIN INSTALLATIONS SHALL BE ENCASED IN 8 MIL POLYETHYLENE.

WATER MAIN TRENCH

NOT TO SCALE



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR: TECHNICAL ADVISORY COMMITTEE

ISSUE DATE: DECEMBER 16, 2022

REVISIONS	BY	DATE
0 INITIAL SUBMISSION	EDW	12/16/22

DRAWN BY: MBS
APPROVED BY: EDW
DRAWING FILE: 5021-SITE.dwg

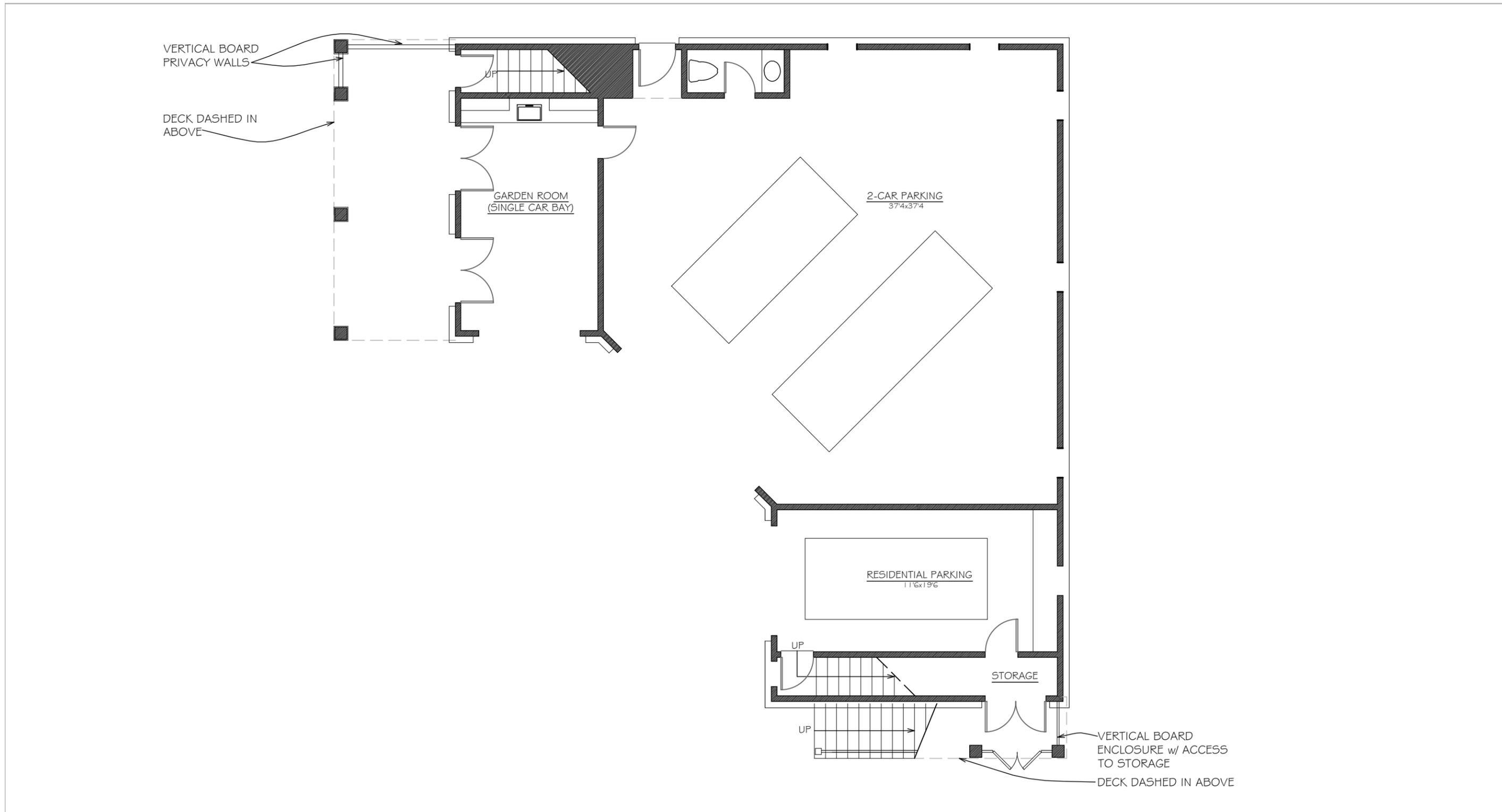
SCALE:
(22"x34") 1" = 10'
(11"x17") 1" = 20'

OWNER/APPLICANT:
NICOLE J. GIUSTO & DAVID A. SINCLAIR
765 MIDDLE STREET
PORTSMOUTH, NH 03801
TAX MAP 148 PARCEL 37

PROJECT:
RESIDENTIAL DEVELOPMENT EXPANSION
TAX MAP 148, LOT 37
765 MIDDLE STREET
PORTSMOUTH, NH

TITLE:
DETAIL SHEET

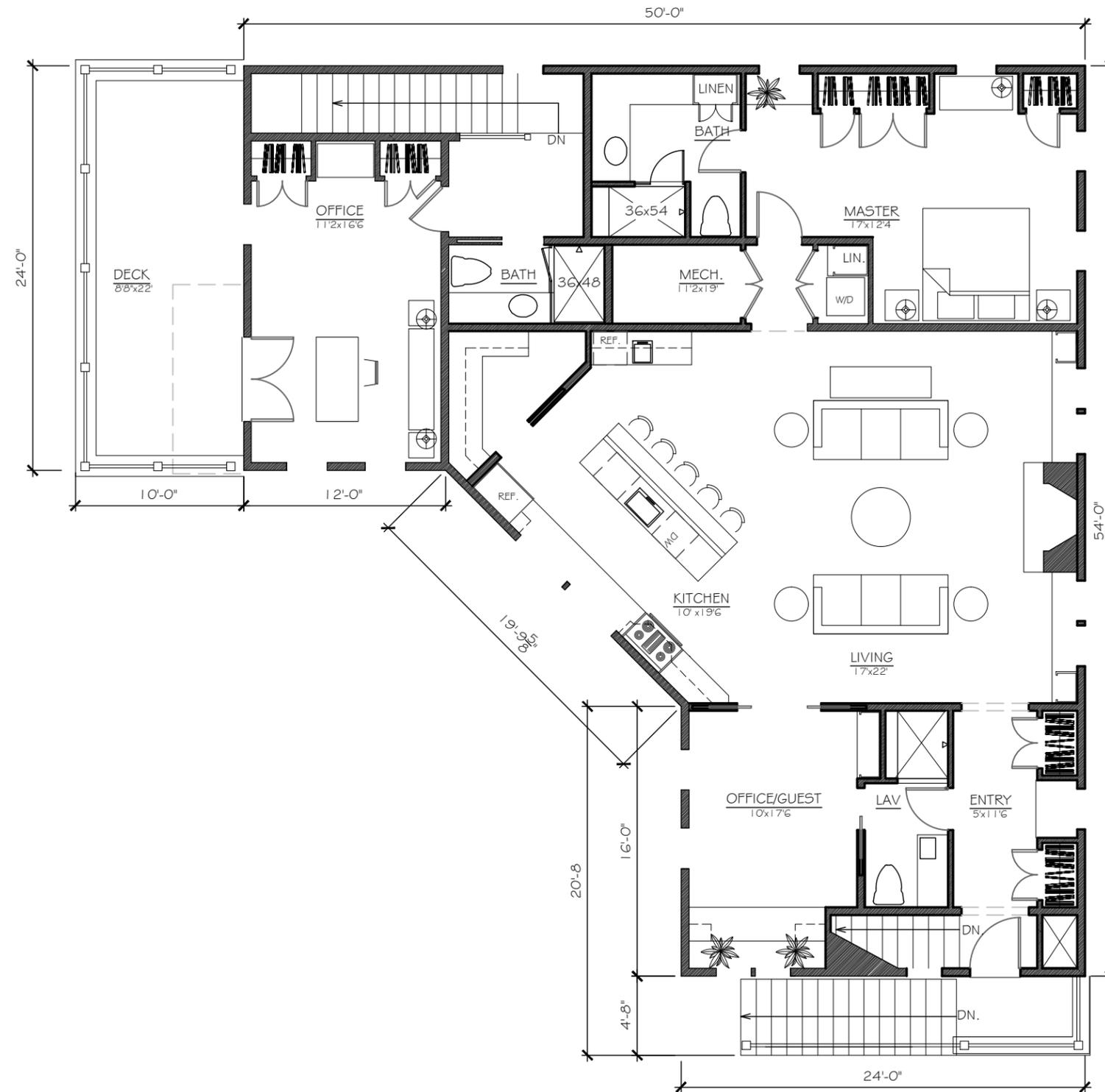
SHEET NUMBER:
D-3



GARAGE: Proposed First Floor

SCALE: 1/8" = 1'-0"

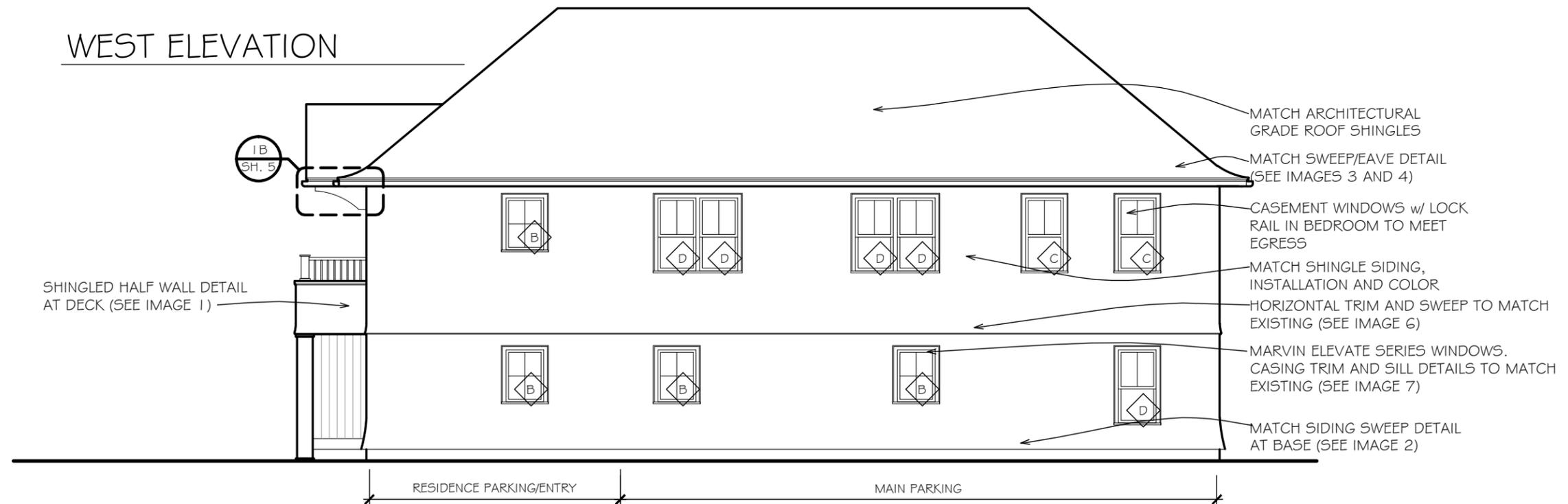
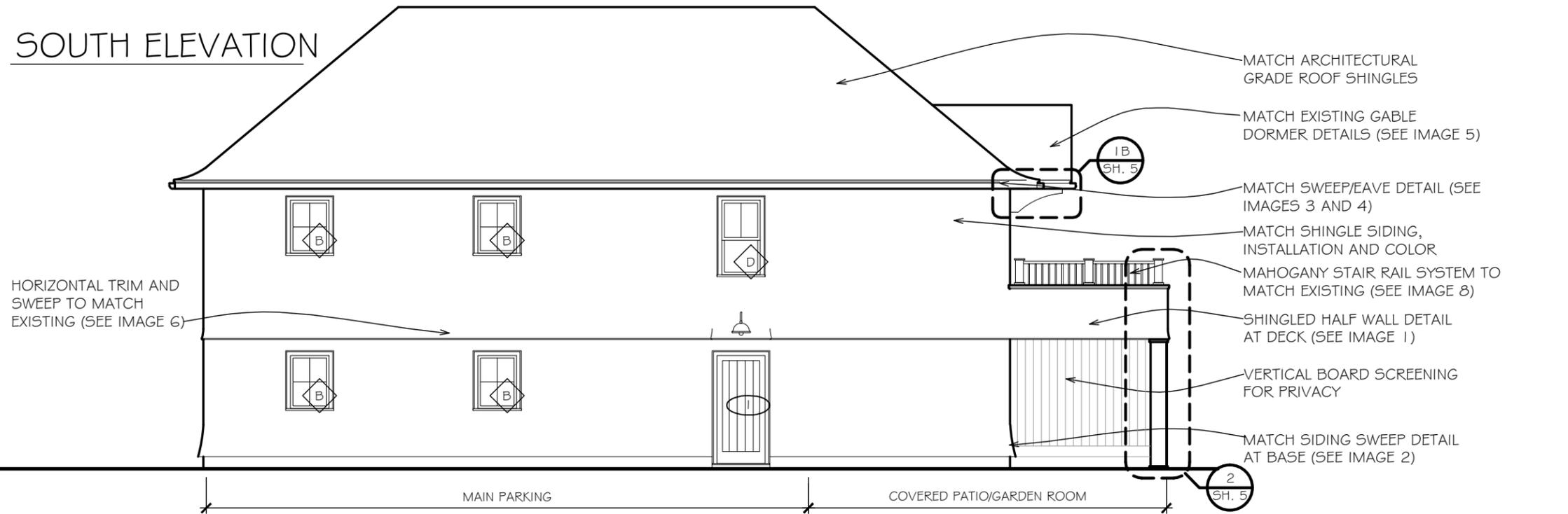




GARAGE: Proposed Second Floor

SCALE: 1/8" = 1'-0"





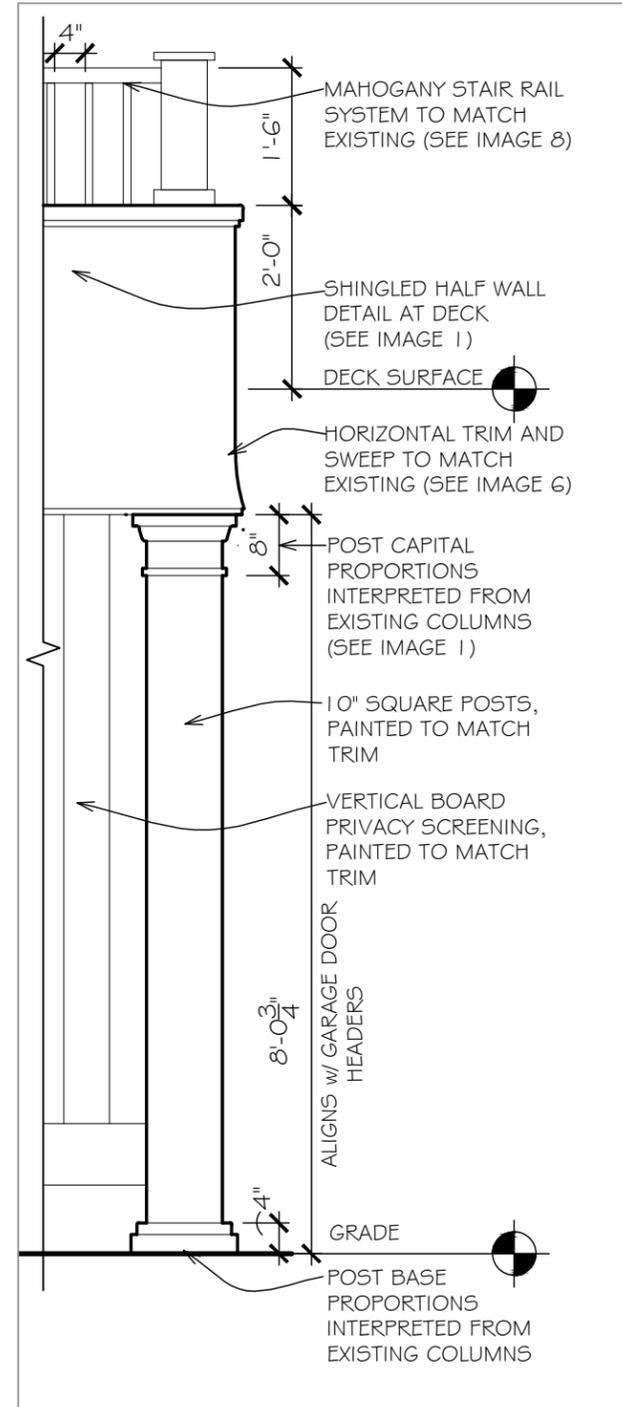
GARAGE: Proposed Elevations

SCALE: 1/8" = 1'-0"



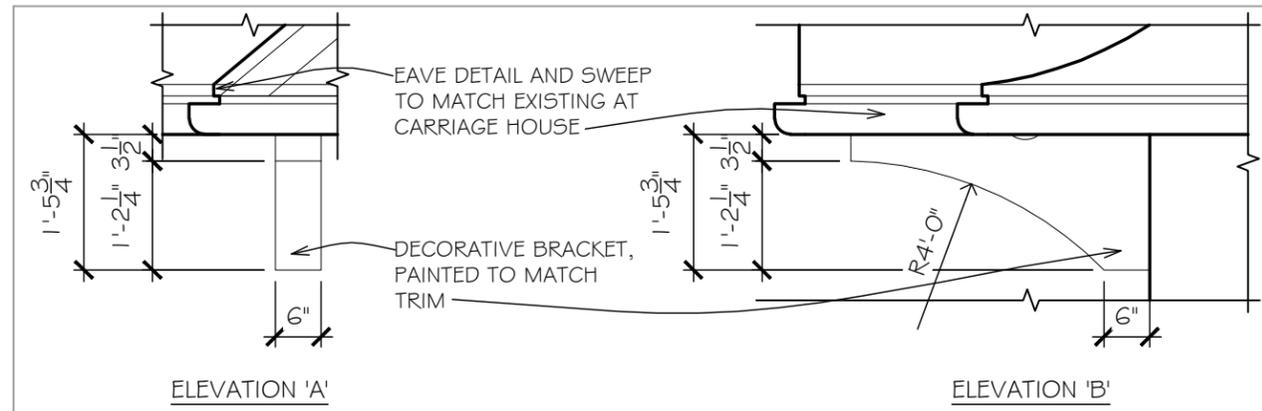
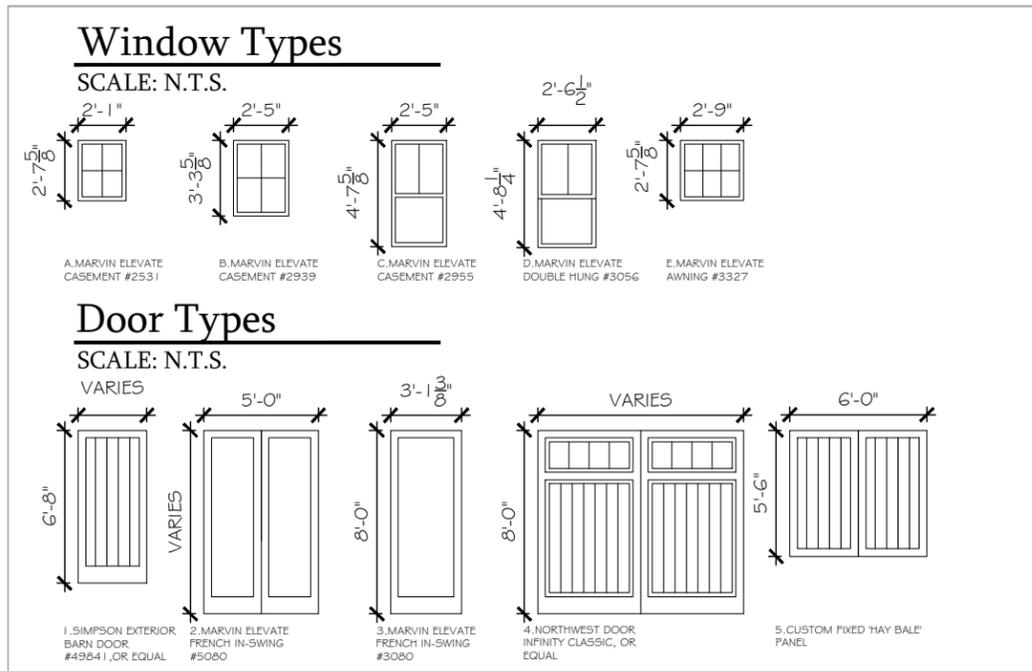
NORTHEAST ELEVATION

(DOES NOT SHOW DECKS)



GARAGE: Proposed Elevations

SCALE: 1/8" = 1'-0"



1 Bracket Detail

SCALE: 1/2" = 1'-0"

2 Sweep & Rail @ Deck

SCALE: 1/2" = 1'-0"













Marvin Elevate® collection

THE PERFECT BALANCE OF BEAUTY AND STRENGTH

Balancing beautiful design with superior strength, the Marvin Elevate collection delivers style in any climate. Elevate features warm wood interiors that can blend in or stand out with Ultrex® fiberglass exteriors for lasting durability. The collection offers a range of carefully selected features and options, making it as versatile as it is elegant.

About Us

At Marvin, we're driven to imagine and create better ways of living, helping people feel happier and healthier inside their homes. We believe that our work isn't just about designing better windows and doors—it's about opening new possibilities for the people who use them.

Casement windows with Simulated Checkrails and Grills-between-the-Glass in Designer Black with Matte Black hardware

CASEMENT + AWNING



Casement windows with
Matte Black hardware



Casement windows in White

CASEMENT + AWNING

- Multi-point sequential locking system provides superior PG50 performance rating with single lever operation.
- Interior screen features an aluminum surround and concealed pressure mounting points for ease of operation and enhanced aesthetics.
- Operating, transom, and picture units available.
- Folding handle neatly stows out of the way. Stainless steel coastal hardware available.
- Casement available in standard and special sizes up to 3 feet wide by 6 feet high.
- Awning available in standard and special sizes up to 4 feet wide by 4 feet high.
- Coordinating Picture and Transom windows also available.
- Narrow frame option with 3 ¼ inch insert replacement frame, flat sill, and through jamb installation.



CASEMENT + AWNING



CASEMENT NARROW FRAME + AWNING NARROW FRAME



Available with IZ3
(Excludes Narrow Frame option)

DOUBLE HUNG



Double Hung windows in Designer Black with Matte Black hardware



Double Hung window in White with White hardware

DOUBLE HUNG

- Equipped with a standard full screen; optional half screen is available.
- Tilt latches are ergonomically designed and easy to operate, making tilting and cleaning effortless.
- Sash lock provides a positive detent, reassuring the user that the window is either locked or unlocked.
- Up to PG50 performance rating.
- Equal, Cottage, and Reverse Cottage sash provide a variety of looks and checkrail heights.
- Available in standard and special sizes up to 4 feet 6 inches wide by 7 feet high.
- Coordinating Picture and Transom windows also available.
- Double Hung Insert option features 3/4 inch insert replacement frame with through jamb installation and up to PG40 performance rating.



DOUBLE HUNG



DOUBLE HUNG INSERT



 Available with IZ3
(Excludes Insert option)

INSWING FRENCH DOOR



Inswing French door with Northfield hardware in Matte Black



Inswing French doors in White with custom hardware

INSWING FRENCH DOOR

- Secure and stable stainless steel multi-point locking system.
- Precision built in 1/4 inch increments.
- Available in 1-, 2-, or 3-panel configurations.*
- Multiple configurations up to 6 feet wide by 8 feet high.
- Bronze or Beige sill available.
- PG30 performance rating standard.
- PG50 performance rating optional on 1- and 2-panel configurations.



INTERIOR



EXTERIOR



DOOR HINGE SHOWN IN SATIN NICKEL



INFINITY CLASSIC™

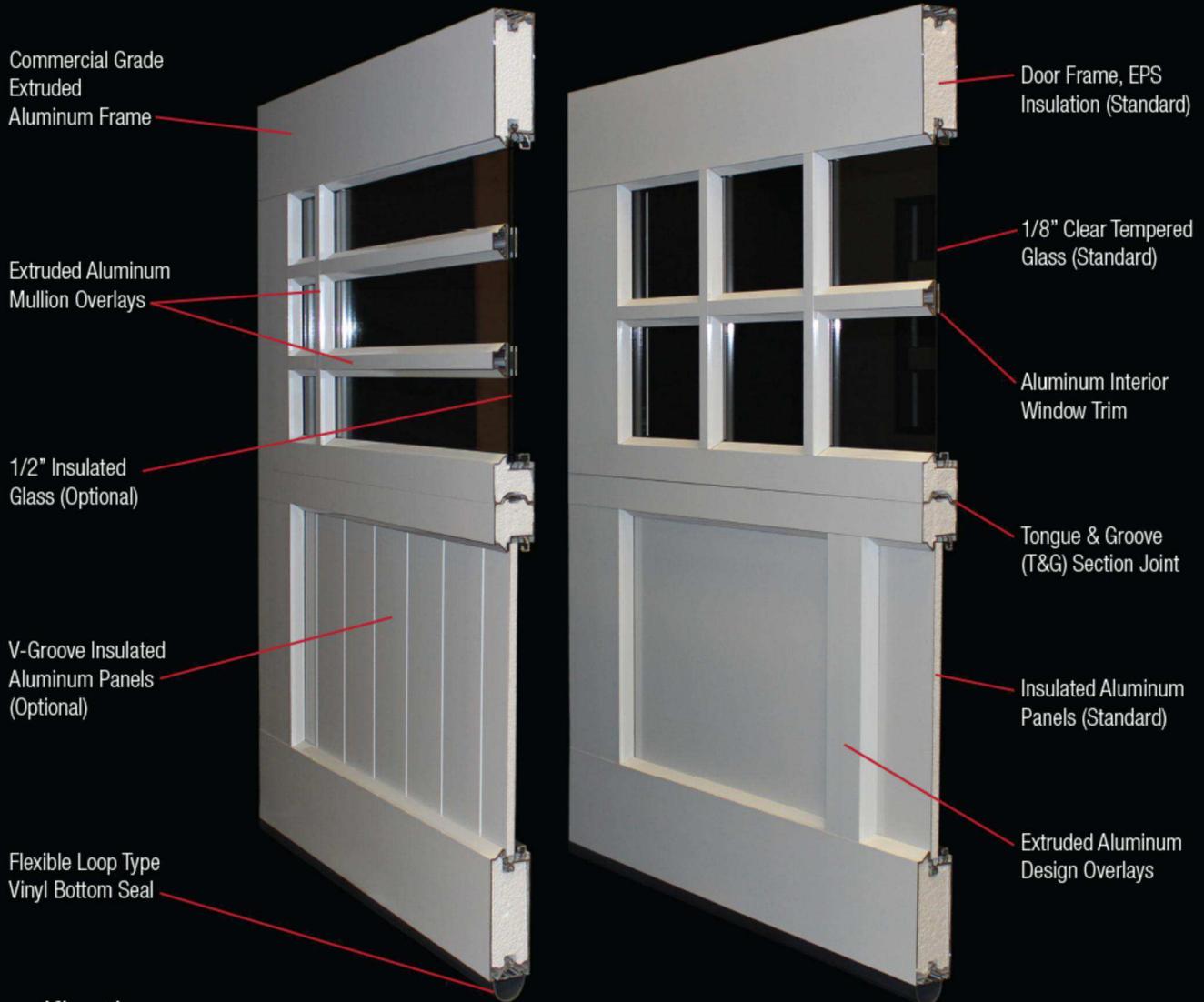
All Aluminum Carriage Style Garage Doors

HÖRMANN NORTHWEST DOOR

Infinity Classic Corrosion-Proof Construction

The Infinity Classic is virtually maintenance free and built to last as long as you own your home! It is constructed using heavy duty commercial grade extruded aluminum stiles and rails. Framing members are mechanically fastened at joints creating an exceptionally high strength door frame. A precisely engineered Tongue and Groove (T&G) joint with a compressible gasket is incorporated at meeting rails. Framing members and aluminum panels have a (EPS) polystyrene core for thermal and acoustic advantages. Single pane clear tempered glass is standard. Several other glass types are available.

The Infinity Classic comes with a standard white Polycron III finish. Optional wood grain and solid color powder coat finishes are available. Northwest Door offers a vast selection of designs including arched windows and custom designs.



Specifications

- Frame: 2" thick, extruded commercial grade aluminum with EPS polystyrene core. *(Average insulation value R 5.6 with insulated thermo pane windows)*
- Panels: .050" thick aluminum each side of a 1/2" EPS polystyrene core, sandwiched. *(Optional "VG" v-groove insulated panels available)*
- Windows: Simulated true divided lites, straight or arched. *(Optional custom arched windows can be made to match your door opening)*
- Glass: 1/8" single pane clear tempered glass. *(Optional thermo pane insulated, tinted and obscure glass - page 11)*
- Sections Joints: Tongue and Groove type with compressible gasket.
- Bottom Seal: Flexible loop type vinyl.
- Finish: White Polycron III. *(Optional "WG" wood grain powder coat and solid color painted finishes - page 4)*
- Hardware: Galvanized standard lift torsion hardware, 15" radius, 2" bracket mounted track, 10,000 cycle springs, 14 gauge hinges, 2" nylon ball bearing rollers. Doors over 12' wide or 156 sq. ft. receive double end hinges and long stem rollers, doors exceeding 575 lbs. receive 3" angle mounted track, doors exceeding 750 lbs. receive solid keyed shaft. *(Optional high lift, low clearance and high cycle options - page 11, solid color powder coat finishes - page 4)*
- Warranty: Limited Lifetime Warranty on door, One Year Warranty on hardware. *(When used on residential applications)*

Designs

Infinity Classic doors are available in one inch increments up to *24 ft. wide and 16 ft. high, with a maximum total door size of 336 sq. ft. Doors up to 8 ft. in height are made using only three sections, which provides an authentic replication of original carriage house style doors. 33 1/4 in. is our maximum section height. *Note: (24 ft. wide available in white only, other colors available to 22 ft. wide)

Extruded aluminum designs and mullion overlays are adhered to the door. They can be configured to create many carriage style designs. We offer seven base designs, seven standard window patterns, and six arched window patterns. Our standard arch is 15'-0" radius on both single car and double car doors. A 58'-0" radius arch is also available on double car doors. Optional custom arches can be made to match your exact door opening arch or angles when a template is provided. Aluminum trim is applied to the inside surface of the glass to match the pattern on the exterior. Please contact your Northwest Door Dealer for more information about custom arches.

Standard Windows:



2-Panel
Up to 10'-0" Wide



3-Panel
10'-1" to 13'-0" Wide



4-Panel
13'1" to 20'-0" Wide

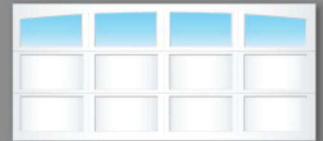
Arched Windows:



Single Car
15'-0" Radius



Double Car, 15'-0" Radius
2-Arches (Standard)



Double Car, 58'-0" Radius
1-Arch (Optional)

Base Designs:



I001S



I101S



I201S



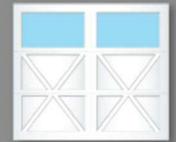
I301S



IA01S



I001S



IX01S

Standard Windows:



01S



02S



03S



04S



06S



08S

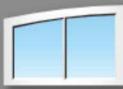


09S

Arched Windows:



01A



02A



03A



04A



06A



08A

Custom Designs



I116C VG Custom

Our all aluminum Infinity Classic garage doors can be created with your home or structure's architecture in mind. Custom designs can be created, including custom section heights and windows in both the intermediate and top sections.

The door at right has 4 sections. Each section was made a different height to achieve the desired proportions. The two upper sections contain customized 8-lite windows with the top window section having a custom arch. The lower sections contain v-groove panels. This I116C custom door has a Walnut wood grain powder coat finish.

Scaled dimensioned drawings are available upon request for all custom and standard Infinity Classic designs.



Optional Wood Grain Powder Coat Finishes



Infinity Classic is available in a high performance state-of-the-art wood grain finish. Our doors look so realistic and natural that they are mistaken for real wood doors. The wood finish is a powder coat process, an excellent performer in coastal regions and where corrosion is present. All door surfaces are finished so the door is as beautiful on the inside as the outside.

Powder Coated Hardware

To further enhance the beauty of your door's interior, we offer optional powder coated track and operational hardware in five solid colors: Black, Red, Grey, White and Brown.

Interior of doors shown at right, Dark Walnut wood grain finish with black powder coated track and hardware.



Note: Stock wood grain colors have shorter lead times and are offered at a lower price.

*Note: Wood grains and solid colors will vary due to the printing process, these representations are not an exact match with actual product.



1-800-Simpson



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Search



49841 BARN DOOR

DOOR SPECIFICATIONS (AS SHOWN):

Wood Species: Fir

Profile: Shaker

Panel Type: 3/4" FP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

STANDARD OPTIONS

Quantity

Change Quantity

Change Door Shape

Stain or Paint?

[view more](#)

Stain Paint

Wood Species

Feet

Inches

Fraction

Slab Width

[view more](#)

Slab Height

[view more](#)

Thickness 

[view more](#)

Sticking Profile **Shaker**

Panel Type 

Groove Type 

Grooving 

Stile Width 

[view more](#)

UltraBlock **Yes**

[view more](#)

DESIGN AND CONSTRUCTION ALTERATIONS

Two-Piece Laminated Stiles Yes No

and Rails

[view more](#)

Engineered Stiles and Rails Yes No

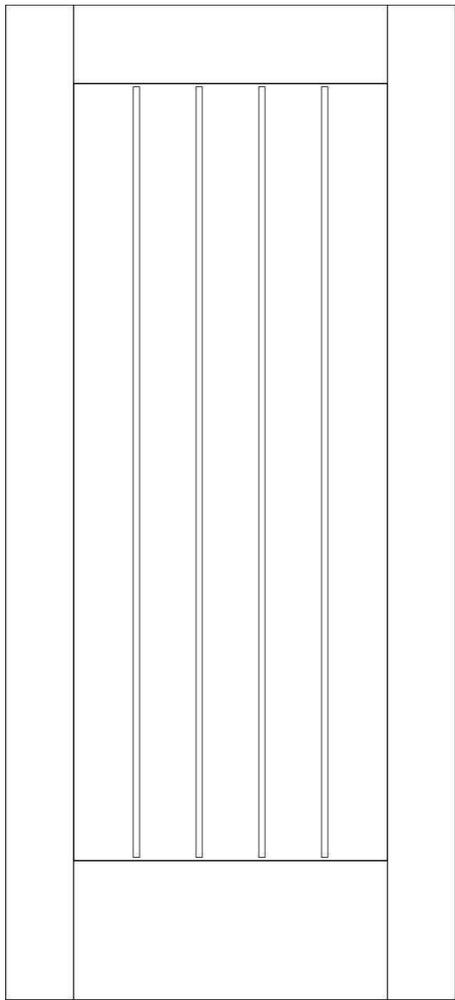
with 1/4" Veneer

[view more](#)

FINISHING TOUCHES

Priming Yes No

[view more](#)



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INSPIRATION
at your door[®]



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DUSTON LEDDY
— REAL ESTATE —

Dear Commission Members,

I am the broker/owner of Duston Leddy Real Estate. I have been selling real estate here in the Seacoast and Portsmouth NH for 17 years. I am writing in support of the garage/dwelling addition project for David Sinclair and Nicole Giusto at 765 Middle Street.

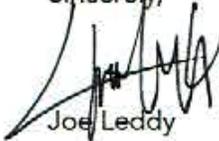
Middle Street is a major artery into historic downtown Portsmouth where virtually all of the homes are of an historic nature consisting of several different styles from classic New Englanders, Colonial Farmhouses, Tudors and Georgian to Queen Anne Victorians.

Our analysis covered a 300 ft radius around the subject property and revealed that more than 30% are multi-family dwellings. The virtue of adding an additional 4th unit to an existing 3 family property will not diminish values of the already dense neighborhood.

765 Middle Street's main Victorian house and complimenting Carriage House are of exquisite architectural detail and craftsmanship. The level of corresponding detail the owners are willing to bring to the new structure will only increase the number of elegant homes in the surrounding area. This new addition with its courtyard design will be an enhancement to the neighborhood and help increase surrounding property values.

It is my professional opinion that this new structure will not be a detriment to any neighbors, nor diminish surrounding property values.

Sincerely,



Joe Leddy

Broker/Owner

Duston Leddy Real Estate

Broker Opinion of Value

For

765 Middle Street, Portsmouth NH 03801

I, Terri Golter, a real estate agent from RE/MAX Shoreline, and 38 yr. veteran of the Seacoast and Portsmouth NH real estate, give my professional opinion that the garage addition project for David Sinclair and Nicole Giusto is in keeping with the neighborhood and will certainly not diminish any surrounding property values. In fact, adding this new addition with the courtyard design, will be an enhancement to the neighborhood, and this will only increase property values. It will showcase the current neighborhood!

I sold this property in its original condition to the current owners and they have done an exemplary job of updating the structure and retaining the old historic design and charm, in keeping with the neighborhood. They have also added a vast amount of landscaping, enhancing the property on this large corner lot. In fact, they have tastefully brought out more of the original architectural character than could be seen in the past and have made it a show piece with historic preservation in mind.

The way the new garage placement in the corner will be shaped in a courtyard design, will allow the neighbors privacy as well as more light and will be appealing to the eye. David and Nicole have carefully planned this out so as not to diminish the neighboring home values. Again, the entire project including the new garage addition will only increase neighboring property values by having a higher end, quality, well cared for home in their immediate vicinity, as well as paying attention to the historic detail.

It is my professional opinion that the garage placement will not be a detriment to any neighbors, nor diminish the surrounding property values and I feel the variance should be granted.

Terri Golter

RE/MAX SHORELINE

875 Greenland Rd, Suite 9, Portsmouth NH

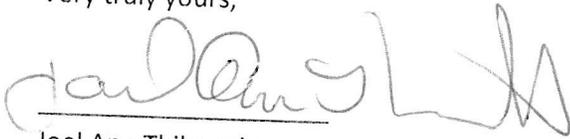
603-396-0407

September 9th, 2022

To Whom it May Concern:

I Joel Ann Thibeault, own a property at 670 Lincoln Ave, Portsmouth, New Hampshire. I am abutter to/ neighbor of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that I have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Joel Ann Thibeault", written over a horizontal line.

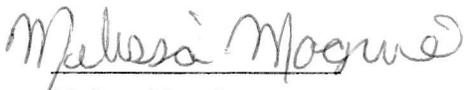
Joel Ann Thibeault

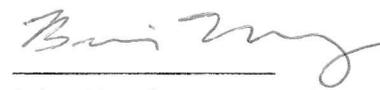
September 8th, 2022

To Whom it May Concern:

We Melissa & Brian Maguire, own a property at 774 Middle St #3, Portsmouth, New Hampshire. I am abutter to/ neighbor of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that I have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,


Melissa Maguire

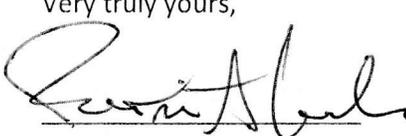

Brian Maguire

September 9th, 2022

To Whom it May Concern:

We Patricia and Charles Corlin, own a property at 736 Middle St, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,


Patricia Corlin

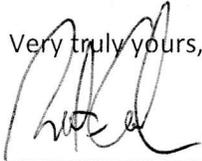

Charles Corlin

September 8th, 2022

To Whom it May Concern:

We Robert Graham and Karen Graham, own a property at 664 Lincoln Avenue, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,



Robert Graham



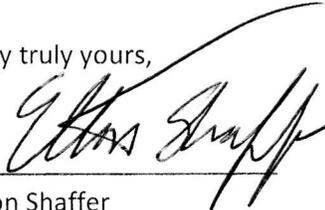
Karen Graham

May 27th, 2022

To Whom it May Concern:

We Elton Shaffer and Paula Rais, own a property at 748 Middle St, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,


Elton Shaffer


Paula Rais

Sept 8th, 2022

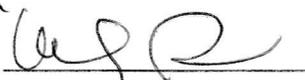
To Whom it May Concern:

We Peter Dawson and Karen Dawson, own a property at 648 Lincoln Ave, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,



Peter Dawson



Karen Dawson

Follow up re variance 765 Middle Street

Kristie Jorgensen <knejorg@gmail.com>
From: sleddiver@gmail.com
To: "Nathan H. Jorgensen" <njhjorgensen@mac.com>

Tue, Sep 20, 2022 at 10:22 AM

Dear David and Nicole,

We received your packet in our mailbox last week after returning from our trip traveling abroad. It was addressed to a "Carla" but we are the current owners across the street, located at 774 Middle Street, Unit 1, Portsmouth, NH.

My apologies for a delayed response but I am still ill with a Covid infection from our trip back home. I hope we are not too late in offering our support for your variance request. I just wanted to let you know that we, as abutters to the subject property at 765 Middle Street, Portsmouth, NH support your variance request and feel that it will be a very pleasant addition to the neighborhood. It does not impact parking or impact abutting structures and conforms nicely with the area and for the historic district.

Please feel free to reach out to us in the near future if you need further support in any way. As abutters and good neighbors, we are here to help.

All the best to you and your plans.

Kristie and Nathan Jorgensen
774 Middle Street, Unit 1
Portsmouth, NH 03801
Kristie's Cell: 603-767-7182
Email: knejorg@gmail.com

KRISTIE JORGENSEN
Vice President, Associate Broker, Realtor
Licensed in ME & NH
Legacy Properties Sotheby's International Realty
141 Maine Street, Brunswick, ME 04011
c 603-767-7182 | ME 207-200-5082
kjorgensen@legacysir.com
MyProfile | LegacySIR | SothebysRealty

January 9th, 2023

To Whom it May Concern:

We Shelley Vessels and Corey Vessels, own a property at ^{795 Middle St}~~635 Lincoln Ave~~, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,

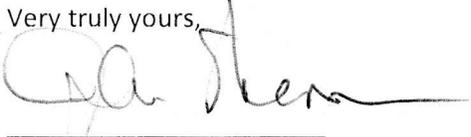

Corey & Shelly Vessels

January 9th, 2023

To Whom it May Concern:

We Marcia ~~Shearman~~^{Shearman} and John ~~Shearman~~^{Shearman}, own a property at 635 Lincoln Ave, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,



John & Marcia Shearman