

# HDC

## ADMINISTRATIVE APPROVALS

May 03, 2023

- |    |                                     |                       |
|----|-------------------------------------|-----------------------|
| 1. | 285 Union Street (LUHD-598)         | -TBD                  |
| 2. | 260 Marcy Street (LUHD-600)         | -TBD                  |
| 3. | 70 Court Street (LUHD-602)          | -TBD                  |
| 4. | 333 New Castle Avenue (LUHD-609)    | -Recommended Approval |
| 5. | 170 Mechanic Street (LU-23-35)      | -TBD                  |
| 6. | 9 Sheafe Street (LUHD-604)          | -TBD                  |
| 7. | 123 State Street, Unit 1 (LUHD-605) | -Recommended Approval |
| 8. | 161 Deer Street (LUHD-583)          | -Recommended Approval |
| 9. | 179 Pleasant Street (LUHD-608)      | -Recommended Approval |

1. 285 Union Street

- TBD

Background: The applicant is seeking approval for the construction of a new side deck.

Staff Comment: TBD

**Stipulations:**




- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-598**

Submitted On: Mar 28, 2023

**Applicant**

 Jeff White  
 6032752300  
 @ djeffreywhite@gmail.com

**Primary Location**

285 UNION ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

**Project Information**

**Brief Description of Proposed Work**

When we remodeled our kitchen recently a section of floor was raised slightly causing the steps into the kitchen to not be in code. In order to bring the stairs into code a landing is needed and the stairs would jut out significantly into our yard.

We are proposing to build a small 6ft wide deck with stairs going off the sides. This will also match similar decks in the neighborhood. The deck would be wood, the railings and balusters will be painted white to match the rest of the house and the deck boards will be cedar with a brown stain.

**Project Representatives**

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

HDC Certificate of Approval Granted

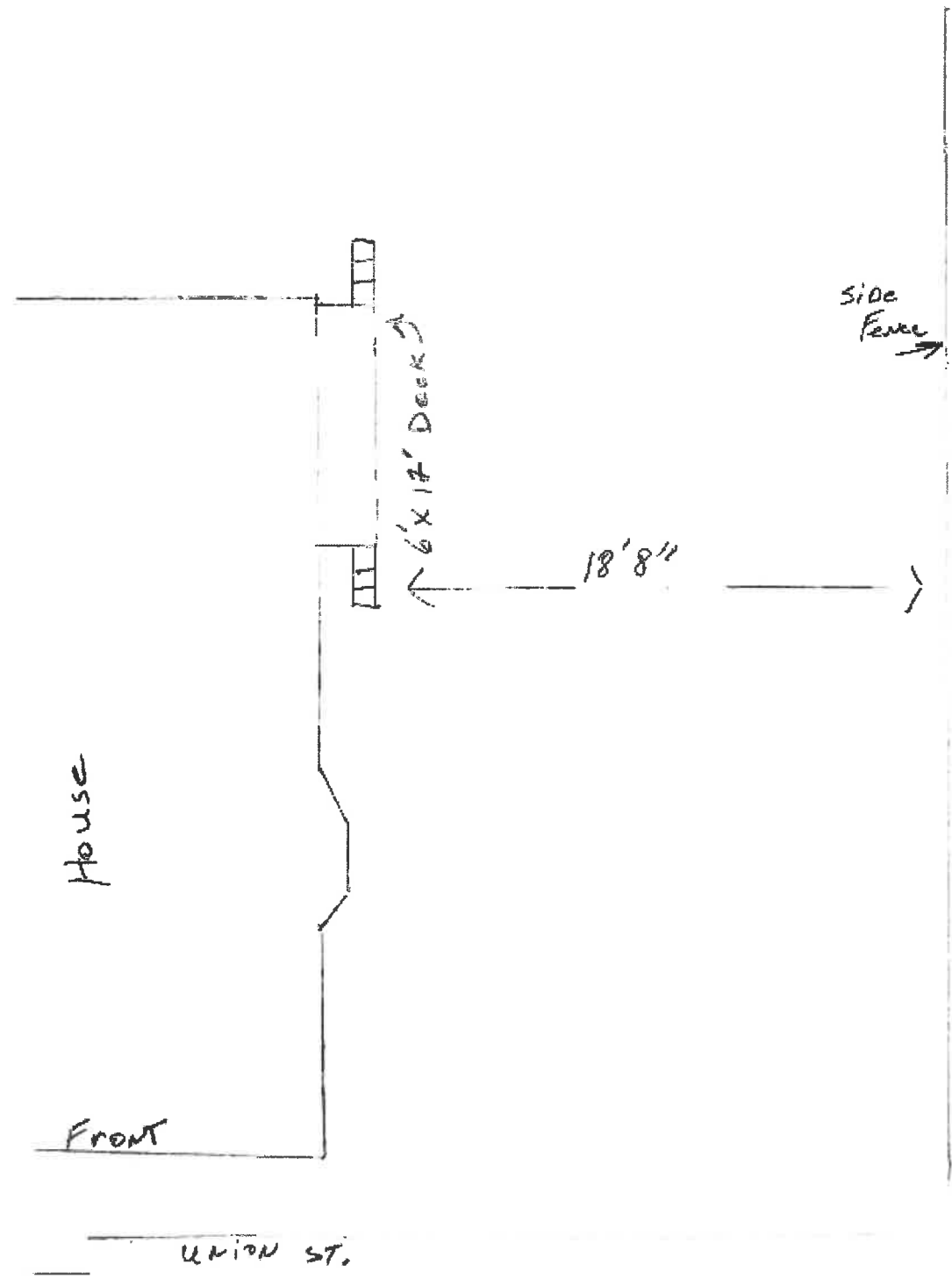
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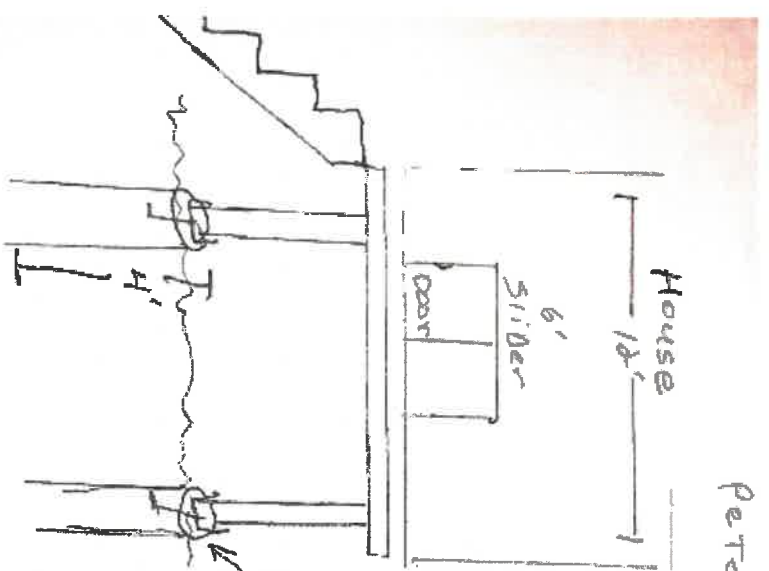
HDC Approval Date

--

Planning Staff Comments

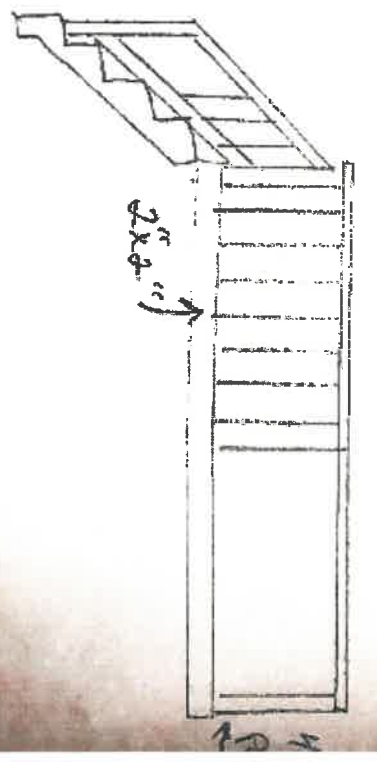
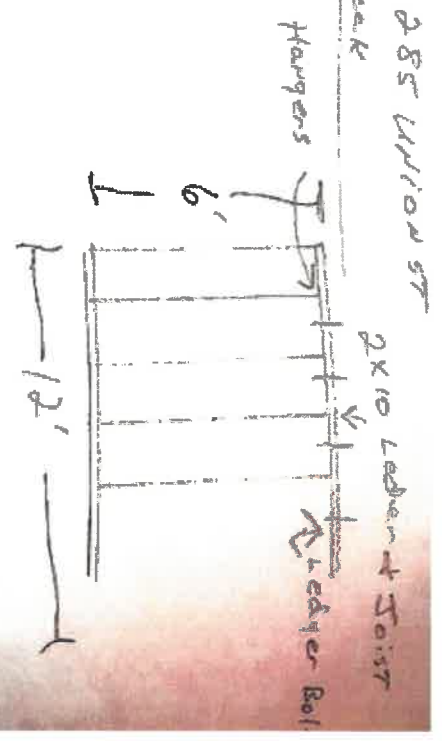
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Peters White 285 Union St  
Proposed Deck

J Bolt + Bracket  
10" Solid Tubes

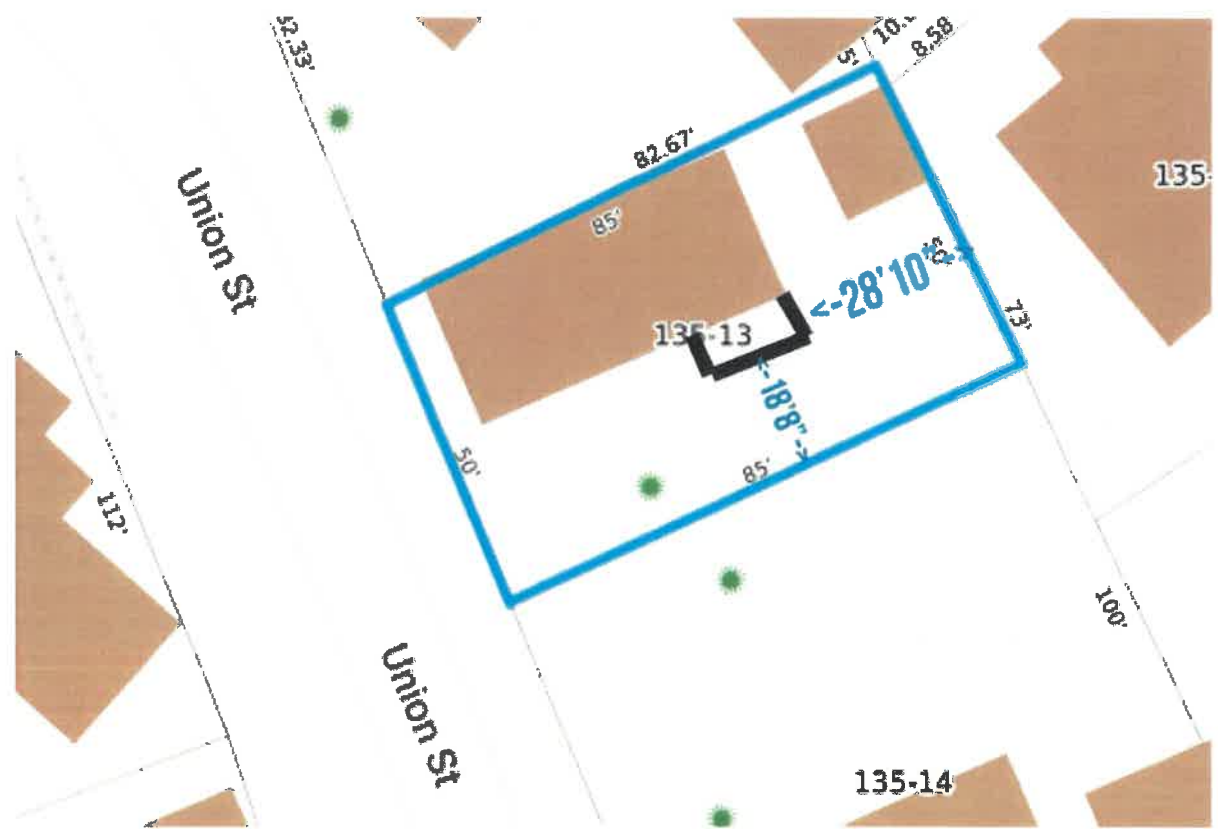














2. 260 Marcy Street

- TBD

Background: The applicant is seeking approval for the replacement of the existing front corner fence.

Staff Comment: TBD

**Stipulations:**




- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-600**

Submitted On: Apr 6, 2023

**Applicant**

 Laureen Dorow  
 6034937686  
 @dorow6@comcast.net

**Primary Location**

260 MARCY ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

**Project Information**

**Brief Description of Proposed Work**

Replace current four foot wood picket fence along yard on Marcy St and Meeting House Hill Rd. Would like to use vinyl and different design for posts. See attached pictures

**Project Representatives**

<b>Relationship to Project</b>	<b>If you selected "Other", please state relationship to project.</b>
Owner	--
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Jeff Dorow	--
<b>Mailing Address (Street)</b>	<b>City/Town</b>
260 Marcy St	Portsmouth
<b>State</b>	<b>Zip Code</b>
NH	03801
<b>Phone</b>	<b>Email Address</b>
6034901240	jeff@whitebirchedu.com

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

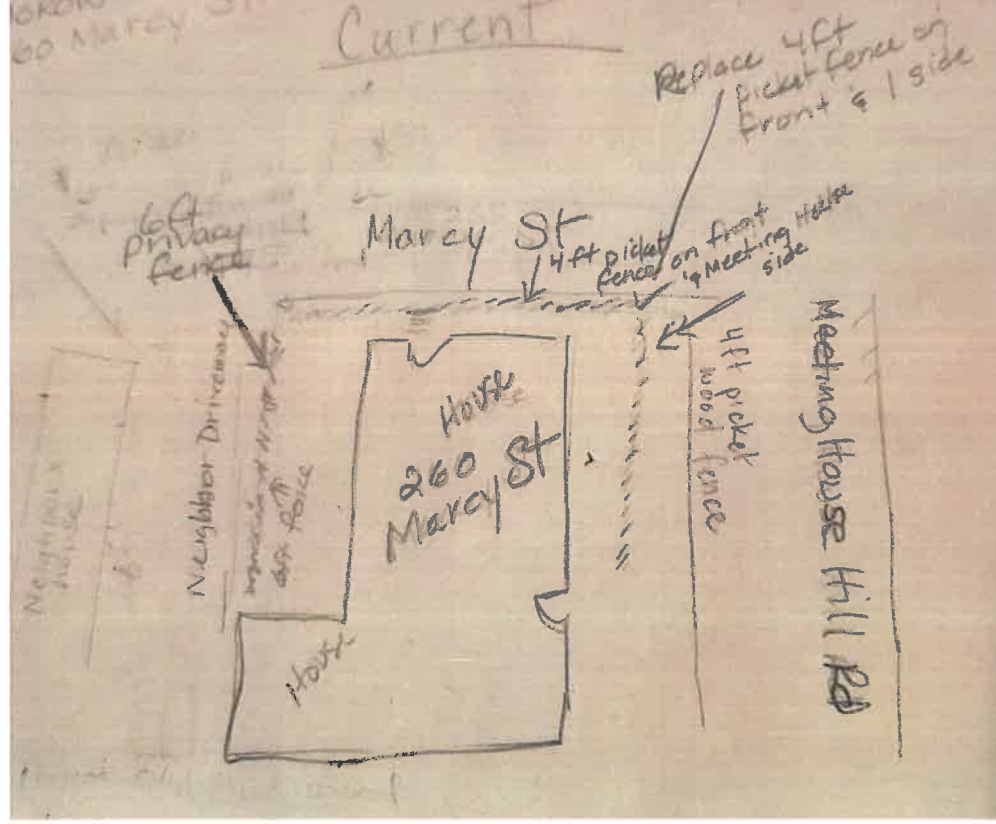
If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

rather  
② Picket on front of Meeting Hill house,  
replace with similar fence but in white vinyl  
instead of white painted wood

OROW  
60 Marcy St.

Current

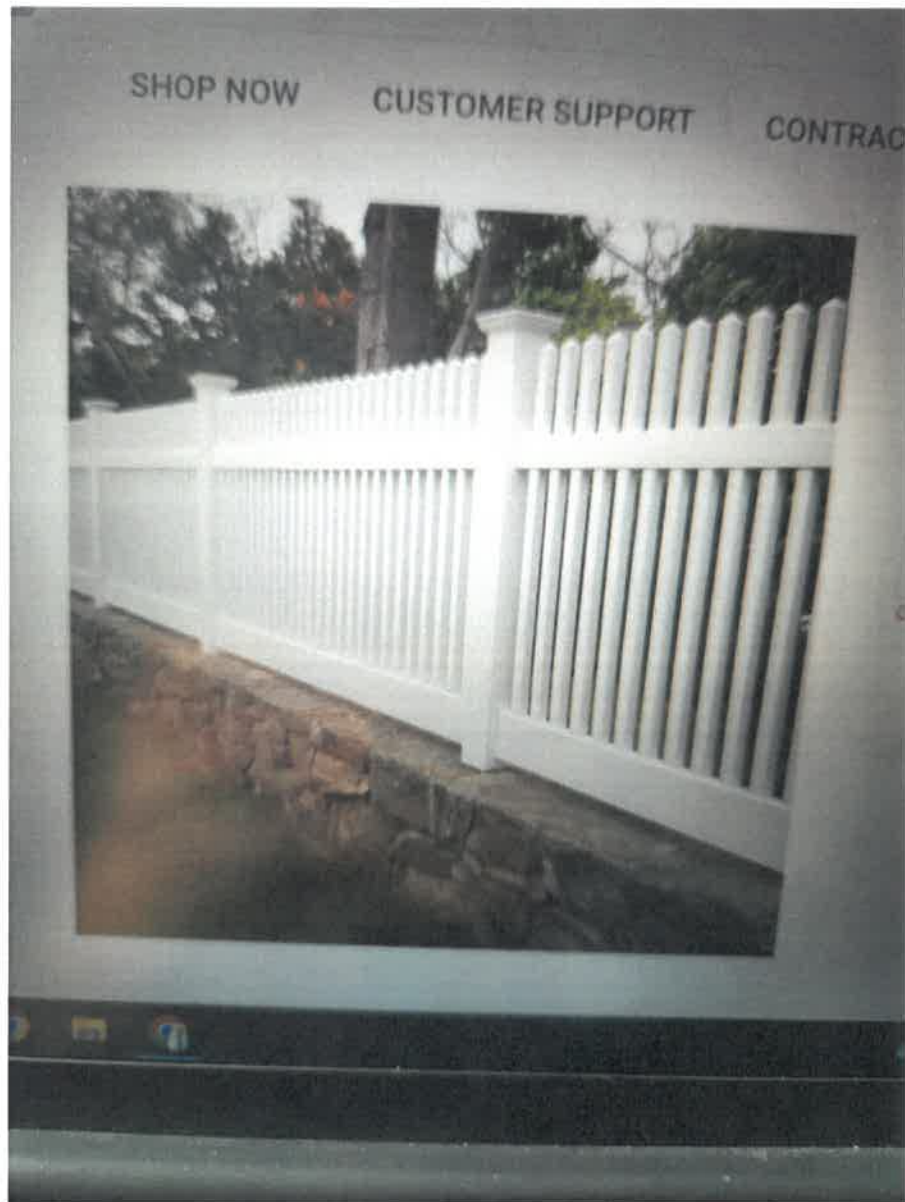












Proposed vinyl fencing.

**3. 70 Court Street - TBD**

**Background:** The applicant is seeking approval for lighting and signage on the building.

**Staff Comment:** TBT

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-602**

Submitted On: Apr 24, 2023

**Applicant**

 Andrew Samonas  
 6039887824  
 andrew@samonasgroup.com

**Primary Location**

70 COURT ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

**Alternative Project Address**

Administrative Approval

--

**Project Information**

**Brief Description of Proposed Work**

Adding exterior lighting to 70 Court Street, exterior lighting plan, signage approval

**Project Representatives**

<b>Relationship to Project</b>	<b>If you selected "Other", please state relationship to project.</b>
Owner	--
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Andrew Samonas	Davenport Inn LLC
<b>Mailing Address (Street)</b>	<b>City/Town</b>
111 Bow St	Portsmouth
<b>State</b>	<b>Zip Code</b>
NH	03801
<b>Phone</b>	<b>Email Address</b>
603987824	andrew@samonasgroup.com

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

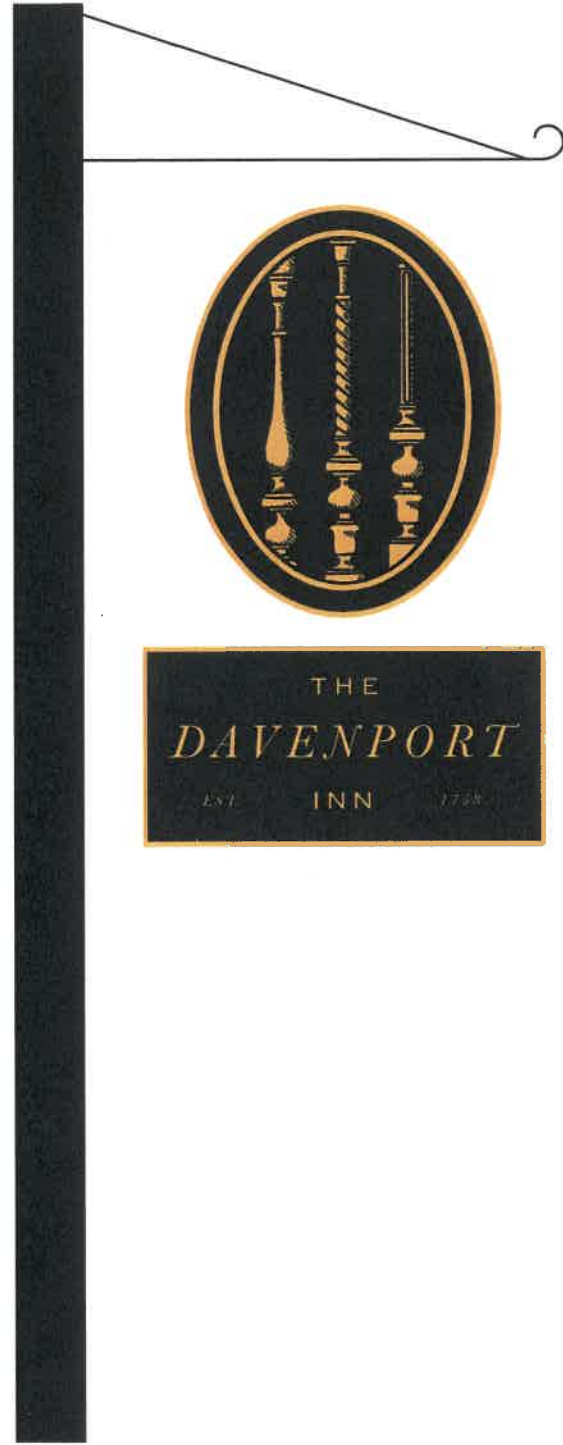
true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

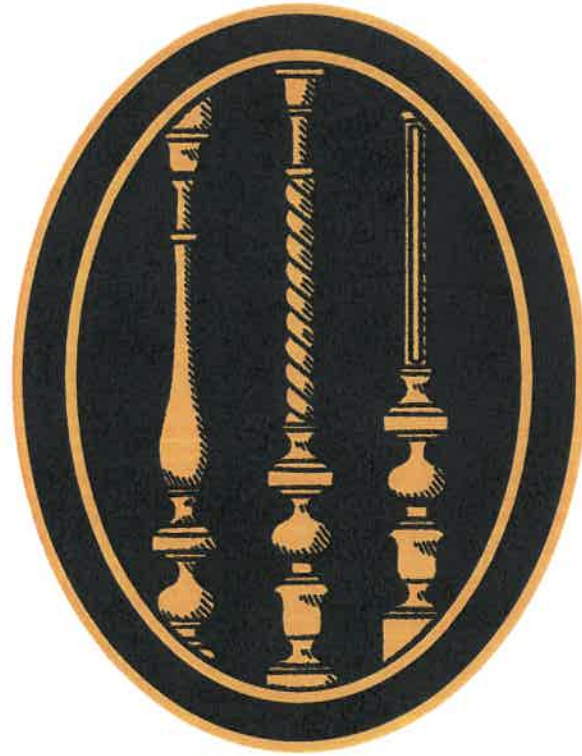
--



26.75"w x 34.5"h

33"w x 16.25"h

2.65"  
Letter Height "Davenport"



THE  
*DAVENPORT*  
EST. INN 1758

- Rich black background
- Gold leaf engraved text
- Gold leaf embossed style artwork
- .5" gold raised trim around all



Sign mockup



Sign style







**4. 333 New Castle Avenue - Recommended Approval**

**Background:** The applicant is seeking approval for the removal and replacement of an existing fence.

**Staff Comment:** Recommended Approval

**Stipulations:**




- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-609**

Submitted On: Apr 27, 2023

**Applicant**

 Thomas Lyng  
 603-978-5175  
 trlyng@comcast.net

**Primary Location**

333 NEW CASTLE AVE  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

--

**Project Information**

**Brief Description of Proposed Work**

Replace fence

**Project Representatives**

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

**HDC Certificate of Approval Granted**

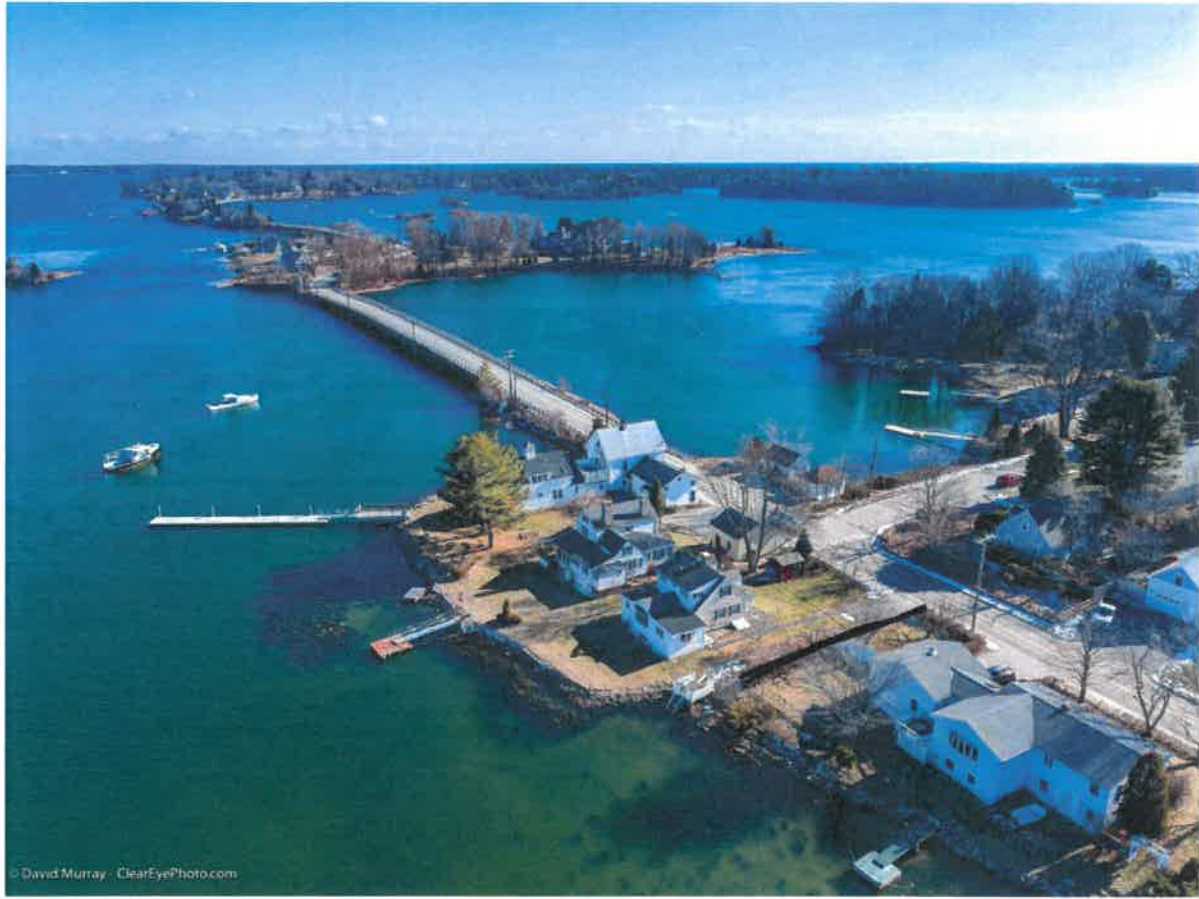
false

**HDC Approval Date**

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**Planning Staff Comments**

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© David Murray - ClearEyePhoto.com













**5. 170 Mechanic Street - TBT**

Background: The applicant is seeking approval for the installation of mechanical equipment.

Staff Comment: TBT

**Stipulations:**

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_

**Land Use Application**

**LU-23-35**

Submitted On: Mar 16, 2023

**Applicant**

 Arilda Densch  
 2076046848  
 @ densch@comcast.net

**Primary Location**

170 MECHANIC ST  
Portsmouth, NH 03801

**Applicant Information**

Please indicate your relationship to this project

B. Property Owner's Representative

**Alternative Project Address**

Alternative Project Address

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

--

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure  
false

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

--

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

**Appeal of an Administrative Decision or Request for Equitable Waiver**

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**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

--

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

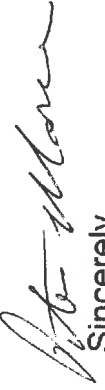
true

**Request for Extension of Previously Granted Land Use Approval**

--

To whom it may concern,

I, Peter Morin property owner of 170 Mechanic Street Portsmouth, NH hereby give permission for Arilda Densch of Arilda Design to be the primary point of contact for the application and the project at 170 Mechanic St.



Sincerely,  
Peter Morin  
170 Mechanic Street  
Portsmouth, NH 03801

HDC Meeting May 3, 2023

PETER MORIN  
Generator & Pad at 170 MECHANIC ST  
PORTSMOUTH, NH 03801

ARILDA DESIGN  
densch@comcast.net / www.arilda.com  
9 Adams Lane, Unit 2  
Kittery, Maine 03904  
207-604-6848

New Generator & Pad  
Letter of Authorization

date: 4-19-2023

NO SCALE

A4



VIEW FROM REAR DECK OF HOME



VIEW FROM REAR CORNER OF HOME



VIEW FROM PICKERING STREET

HDC Meeting May 3, 2023

**PETER MORIN**  
Generator & Pad - 170 MECHANIC ST  
PORTSMOUTH, NH 03801

ARILDA DESIGN  
densch@comcast.net / www.arilda.com  
9 Adams Lane, Unit 2  
Kittery, Maine 03904  
207-604-6848

**New Generator & Pad**  
Site Photographs

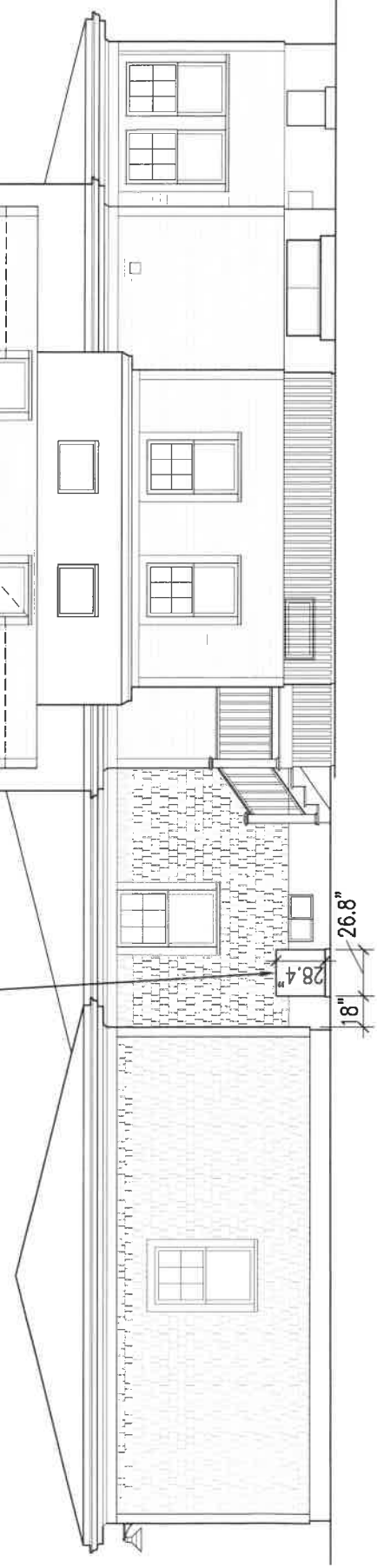
date: 4-19-2023

NO SCALE

**A1**

# REAR ELEVATION

NEW PAD AS REQUIRED WITH 46.5"W x 26.8" DEEP x 28.4" HIGH GENERATOR



# LEFT SIDE ELEVATION

NEW PAD AS REQUIRED WITH 46.5"W x 26.8" DEEP x 28.4" HIGH GENERATOR



HDC Meeting May 3, 2023

**PETER MORIN**  
Generator & Pad at 170 MECHANIC ST  
PORTSMOUTH, NH 03801

ARILDA DESIGN  
densch@comcast.net / www.arilda.com  
9 Adams Lane, Unit 2  
Kittery, Maine 03904  
207-604-6848

**New Generator & Pad**  
Elevation Drawings

date: 4-19-2023

NO SCALE

**A2**

20  
kW

**POWERPROTECT. DX**  
Standby Generators

BRIGGS & STRATTON

YOU. POWERED.

## RESIDENTIAL Standby Generators



### SPECIFICATIONS

20  
kW

**POWERPROTECT. DX**  
Standby Generators  
RESIDENTIAL STANDBY GENERATORS SPECIFICATIONS

BRIGGS & STRATTON

#### Weights & Dimensions

Assembled Dimensions  
(Length x Width x Height) (in / mm)

Assembled Weight (lbs / kg)

Packaged Dimensions  
(Length x Width x Height) (in / mm)

Packaged Weight (lbs / kg)

Outline and Pad Layout Drawing

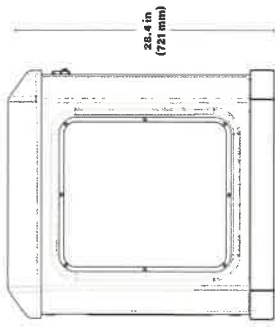
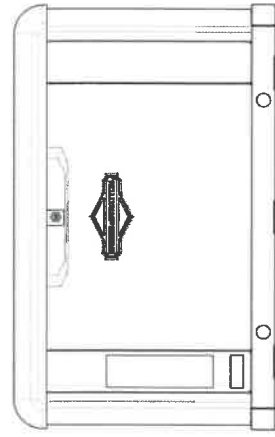
46.5 x 26.6 x 26.4 / 1181 x 681 x 721

435 / 200

48.8 x 30.5 x 50.5 / 1240 x 775 x 1283

520 / 240

80104086



#### Sound Rating\*

Low Idle Mode Sound dB(A)

Normal Operating Sound\* dB(A)

65

68

## Yale University

### Decibel Level Comparison Chart

Environmental Noise	dBA
Jet engine at 100'	140
<b>Pain Begins</b>	125
Pneumatic chipper at ear	120
Chain saw at 3'	110
Power mower	107
Subway train at 200'	95
Walkman on 5/10	94
<i>Level at which sustained exposure may result in hearing loss</i>	80-90
City Traffic	85
Telephone dial tone	80
Chamber music, in a small auditorium	75-85
Vacuum cleaner	75
Normal conversation	60-70
Business Office	60-65
Household refrigerator	55
Suburban area at night	40
Whisper	25
Quiet natural area with no wind	20
Threshold of hearing	0

Note: dBA = Decibels, A weighted

HDC Meeting May 3, 2023

PETER MORIN  
Generator & Pad at 170 MECHANIC ST  
PORTSMOUTH, NH 03801

ARILDA DESIGN  
densh@comcast.net / www.arilda.com  
9 Adams Lane, Unit 2  
Kittery, Maine 03904  
207-604-6848

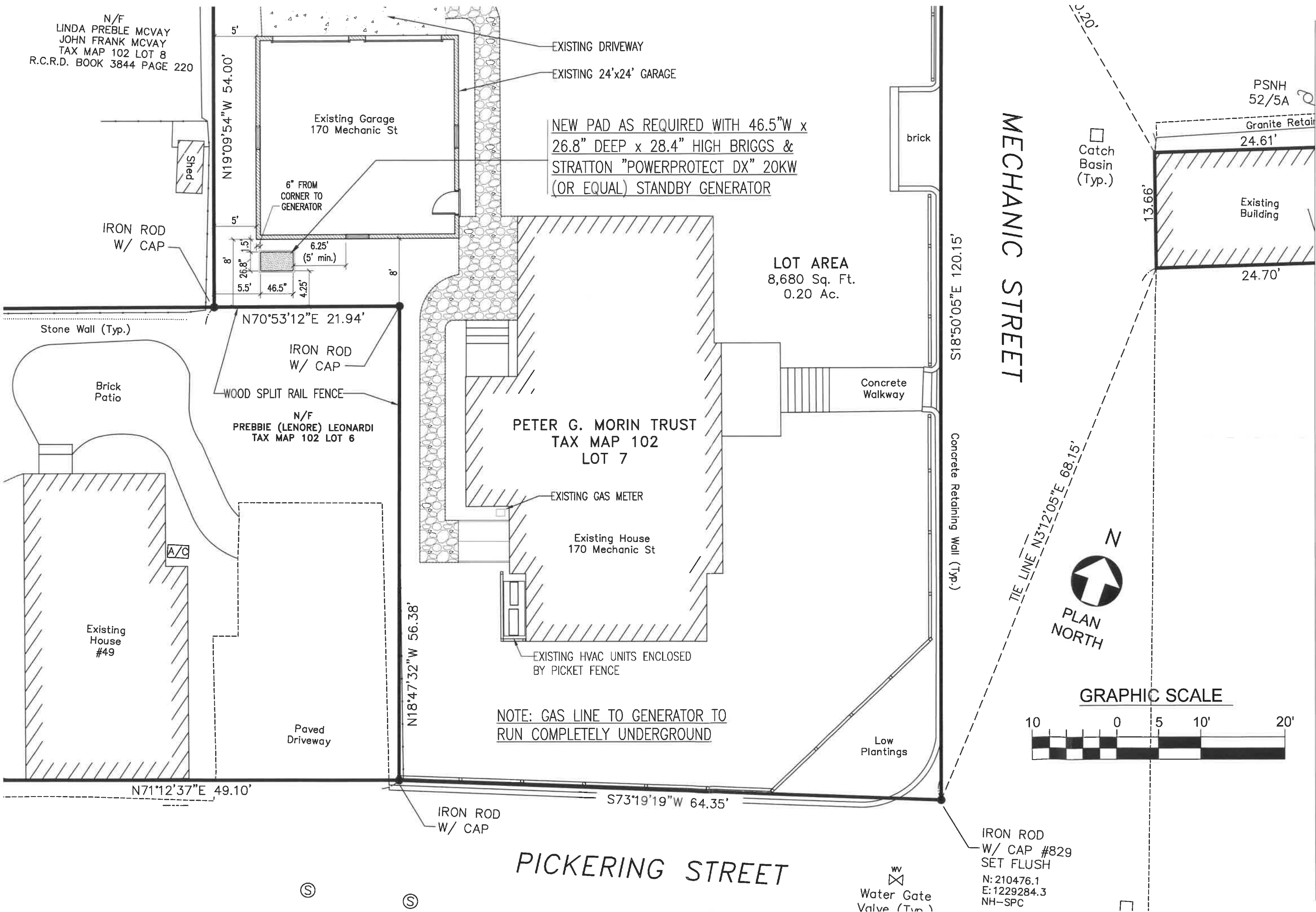
New Generator & Pad  
Specification Sheet

date: 4-19-2023

NO SCALE

A3

N/F  
LINDA PREBLE MCVAY  
JOHN FRANK MCVAY  
TAX MAP 102 LOT 8  
R.C.R.D. BOOK 3844 PAGE 220



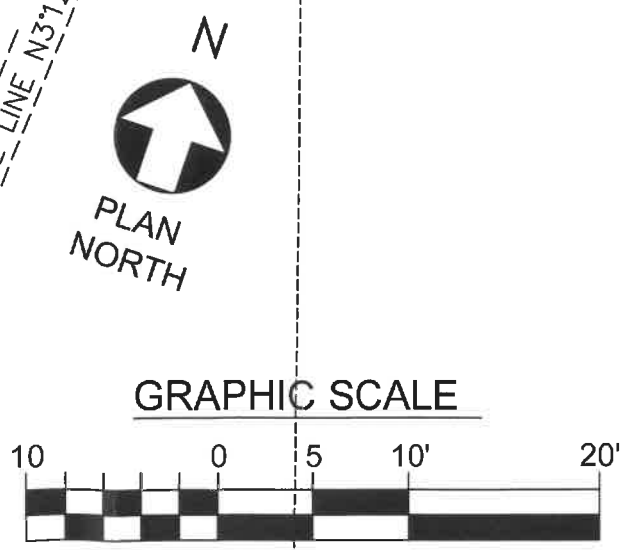
NEW PAD AS REQUIRED WITH 46.5"W x 26.8" DEEP x 28.4" HIGH BRIGGS & STRATTON "POWERPROTECT DX" 20KW (OR EQUAL) STANDBY GENERATOR

LOT AREA  
8,680 Sq. Ft.  
0.20 Ac.

NOTE: GAS LINE TO GENERATOR TO RUN COMPLETELY UNDERGROUND

MECHANIC STREET

PICKERING STREET



**PETER MORIN**  
170 MECHANIC STREET  
PORTSMOUTH, NH 03801

**ARILDA DESIGN**  
densch@comcast.net / www.arilda.com  
9 Adams Lane, Unit 2  
Kittery, Maine 03904  
207-604-6848

Revisions:

HDC Meeting May 3, 2023  
New Generator & Pad  
Detail - Site Plan

date: 4-19-2023

scale: 1" = 10'-0"

**S1**

**6. 9 Sheafe Street - Recommended Approval**

**Background:** The applicant is seeking approval for skylight, condenser, and garage door locations/designs.

**Staff Comment:** TBT

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_




**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-604**

Submitted On: Apr 26, 2023

**Applicant**

 stephanie febonio  
 6039218987  
 sfebonio@gmail.com

**Primary Location**

9 SHEAFE ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

**Project Information**

**Brief Description of Proposed Work**

Skylights, heat compressor and garage door

**Project Representatives**

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

HDC Certificate of Approval Granted

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HDC Approval Date

--

Planning Staff Comments

--

# Historic District Committee Administrative Approval May 03, 2023

## Topics:

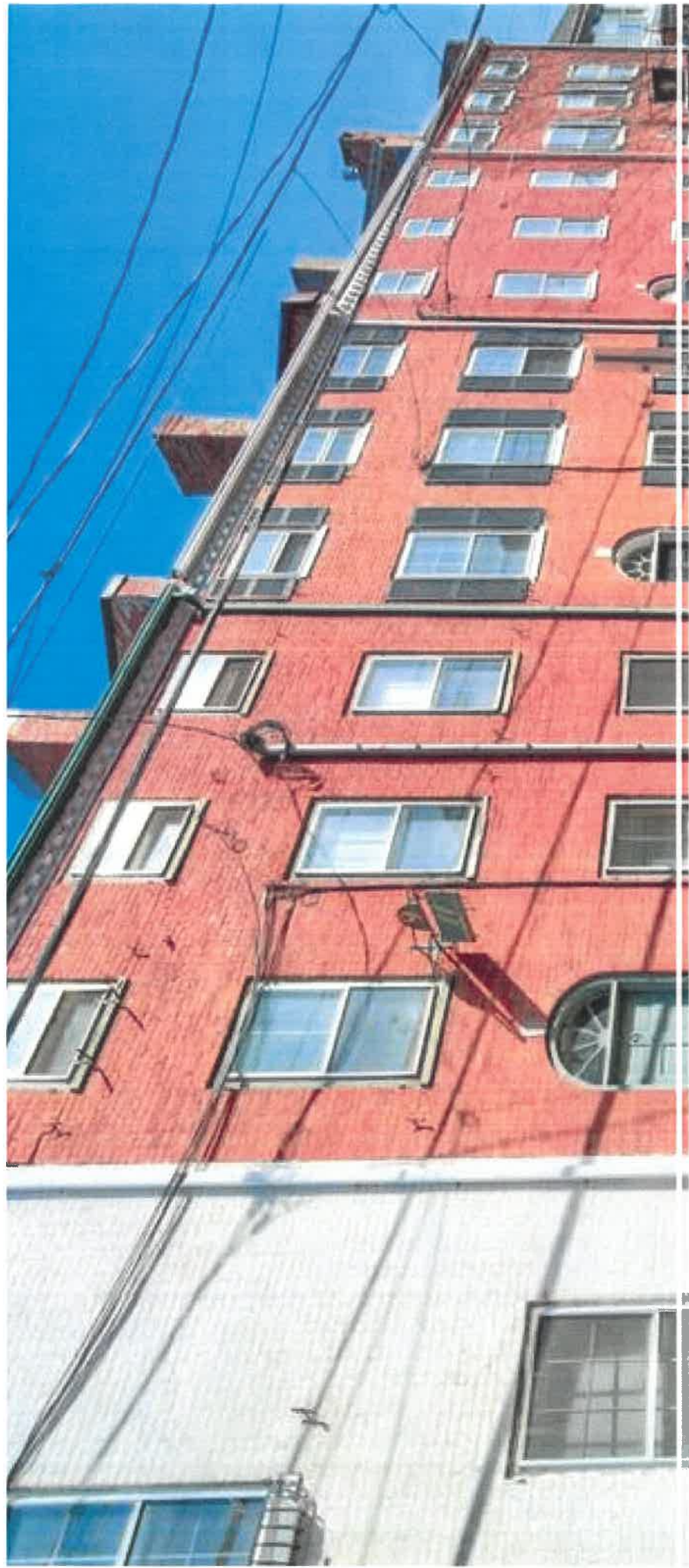
- Skylights, location diagrams
- Condenser Location, screen options
- Garage entrance Engineering

Address: 9 Sheafe Street

Owners: Michael & Stephanie Febonio

Date of Submission: 03/26/2023



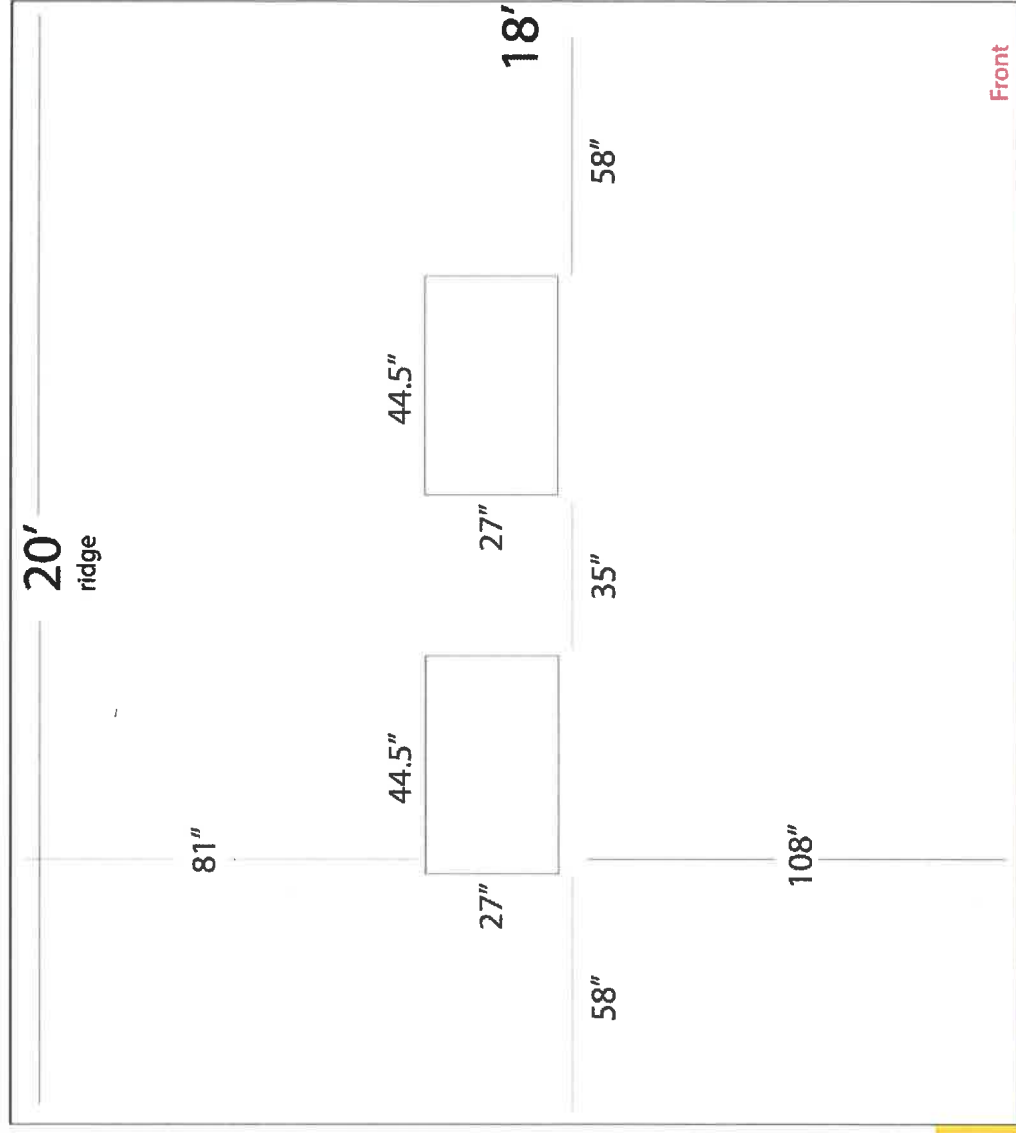


Street view of roof



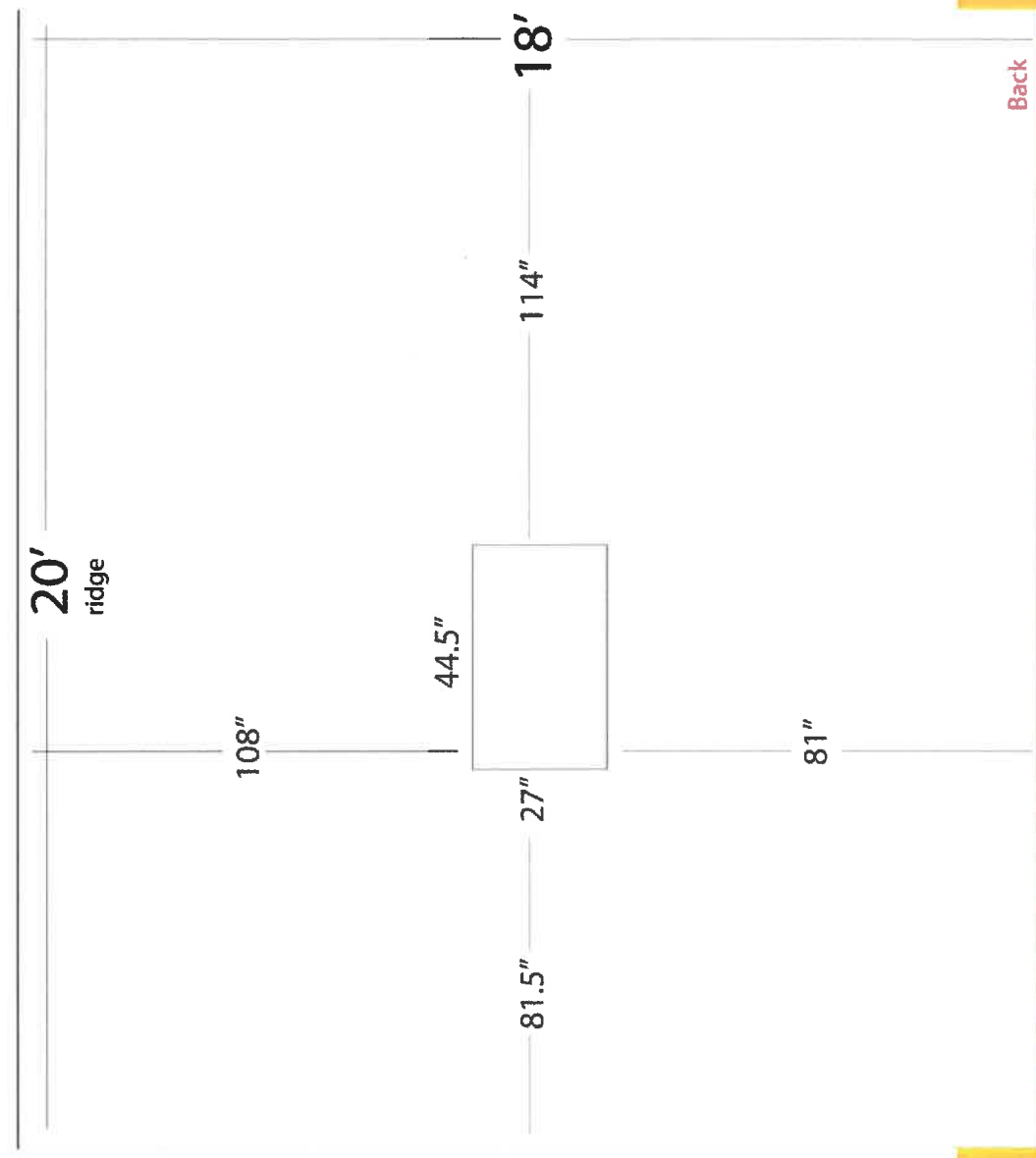
## 9 Sheafe Street Roof Renovation

- Skylights Addition
  - 2 – 44" wide x 27" high front roof
  - Replace the roof in kind
  - black asphalt shingles

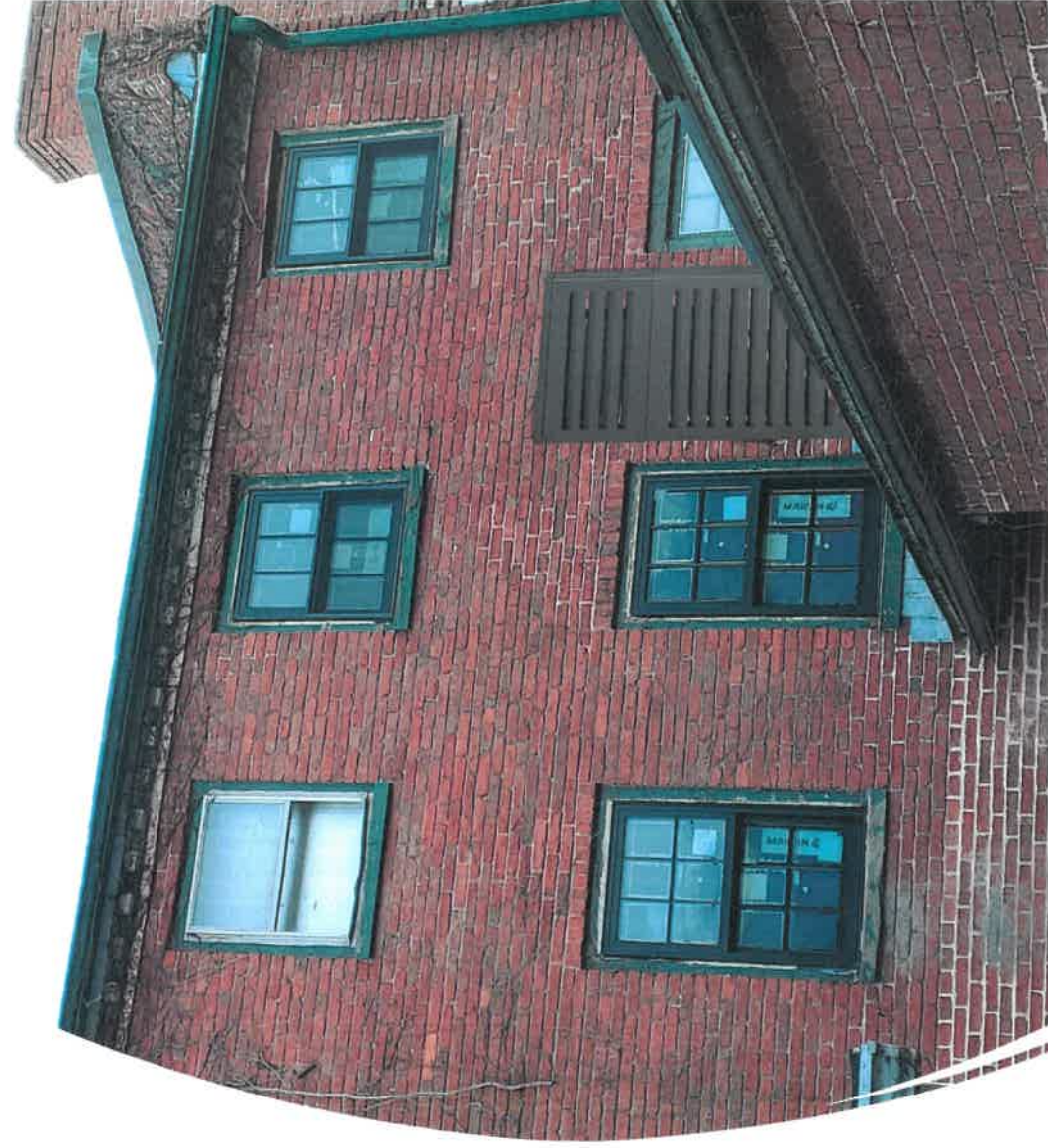


## 9 Sheafe Street Back of House Roof

- Install a single 27" x 44" skylight



Condenser  
mounted to rear  
wall with Screen



Condenser  
Screen view  
from  
Penhallow,  
black in color

---



Alternative  
Wood Screen  
in black to  
match trim

---



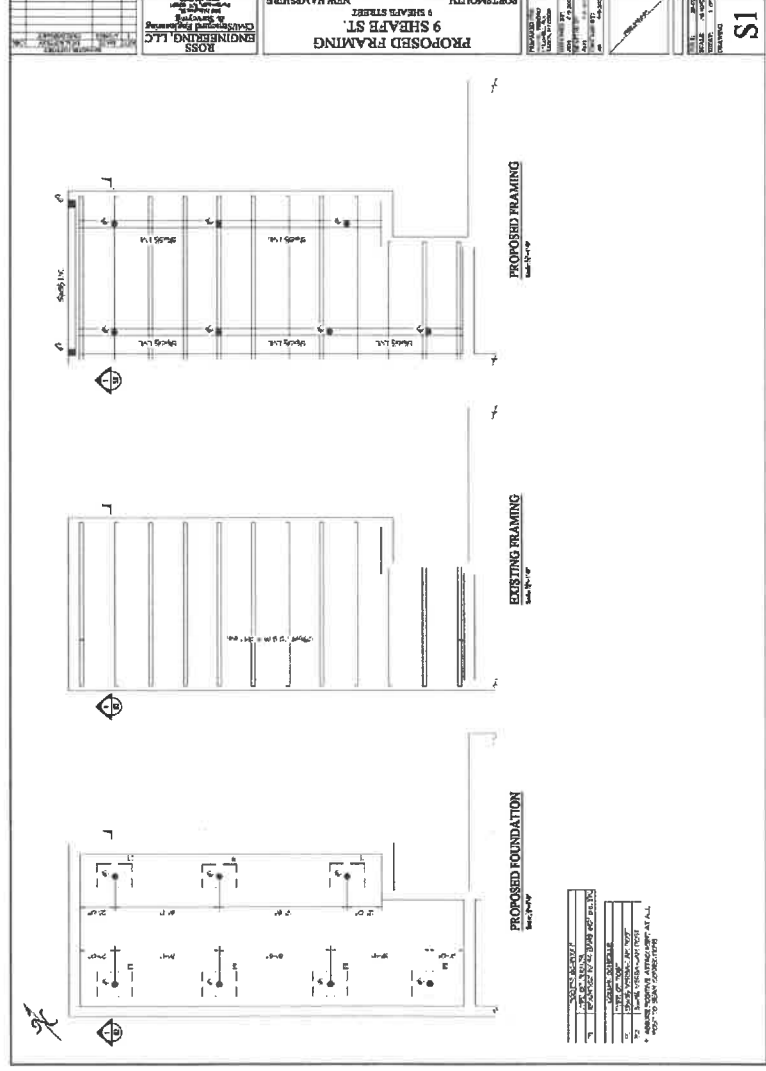


## 9 Sheafe Street *Rear Garage Door*

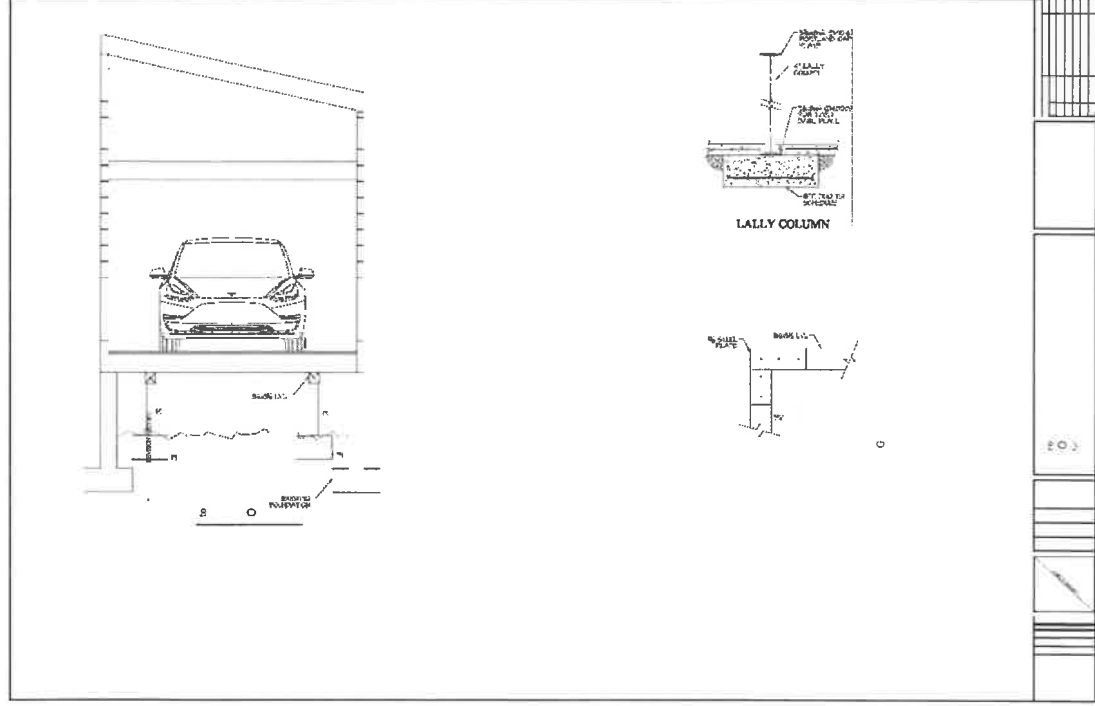
- **Top window remains**
- Remove bottom window
- Add carriage house style garage
- Door Dimensions 7'0" x 8'6"



# Engineered garage floor top view



# Front View



SECTIONS & DETAILS 9 SIEVAE ST.

N

10/20/2021

10/20/2021

Northeast  
View of  
Custom  
Lane





SW view garage  
17 Sheafe St

NO.	DATE	DESCRIPTION	BY
1	4/7/2023	PRELIMINARY	CH

ROSS  
ENGINEERING, LLC  
CIVIL/STRUCTURAL Engineering & Surveying  
Portsmouth, NH 03801  
(603) 433-3560

PROPOSED FRAMING  
9 SHEAFFE ST.  
NEW HAMPSHIRE  
PORTSMOUTH

PREPARED BY:  
MICHAEL HUBBARD  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 05008

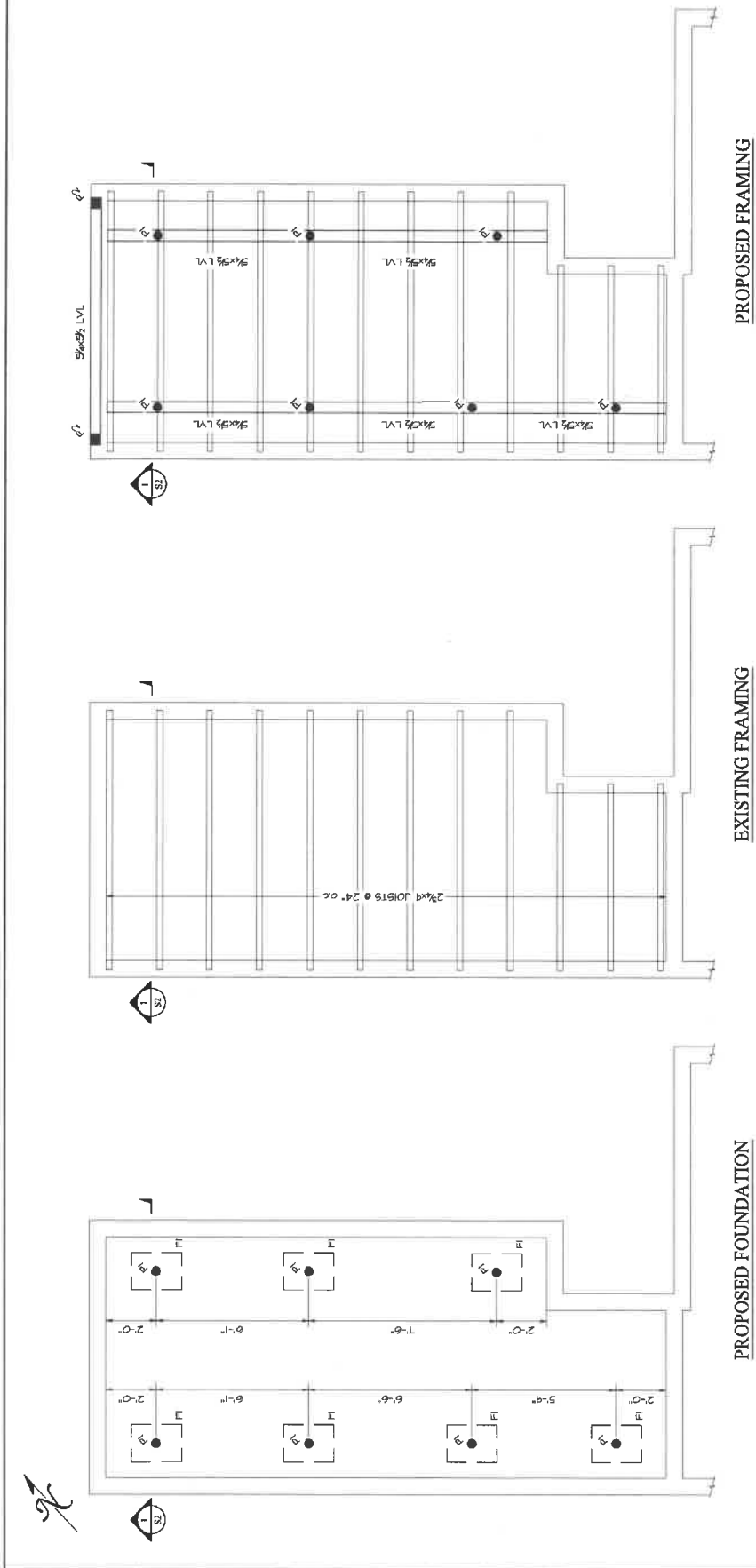
DESIGNED BY:  
ASH  
4-5-2023

DRAWN BY:  
ASH  
4-5-2023

CHECKED BY:  
ASH  
4-5-2023

TITLE	23-022
SCALE	AS NOTED
SHEET	1 OF 5
DRAWING	

**S1**



FOOTER SCHEDULE

FT	TYPE OF FOOTERS
F1	18"x24"x12" 14" M4 BARS #12" o.c. EN

COLUMN SCHEDULE

PI	TYPE OF POST
P1	36"x36" VERSA-LAM POST
P2	36"x36" VERSA-LAM POST

\* ALL POSTS TO BE CONNECTED TO BEAM AT ALL POST TO BEAM CONNECTIONS

REVISION HISTORY	
NO.	DESCRIPTION
1	PRELIMINARY
2	DATE: 4/7/2023

**ROSS ENGINEERING, LLC**  
 CIVIL/Structural Engineering & Surveying  
 500 College St  
 Portsmouth, NH 03801  
 (603) 433-7566

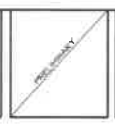
**SECTIONS & DETAILS**  
 9 SHEAFE STREET  
 NEW HAMPSHIRE  
 PORTSMOUTH

PREPARED FOR:  
 MICHAEL PERINO  
 JACKSON, NH 03091

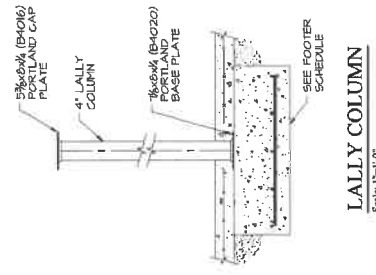
DESIGNED BY:  
 ADH 4-9-2022

DRAFTED BY:  
 ADH 4-9-2022

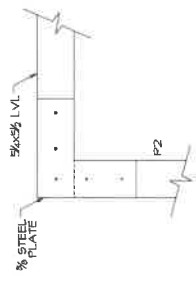
CHECKED BY:  
 ADH 4-9-2022



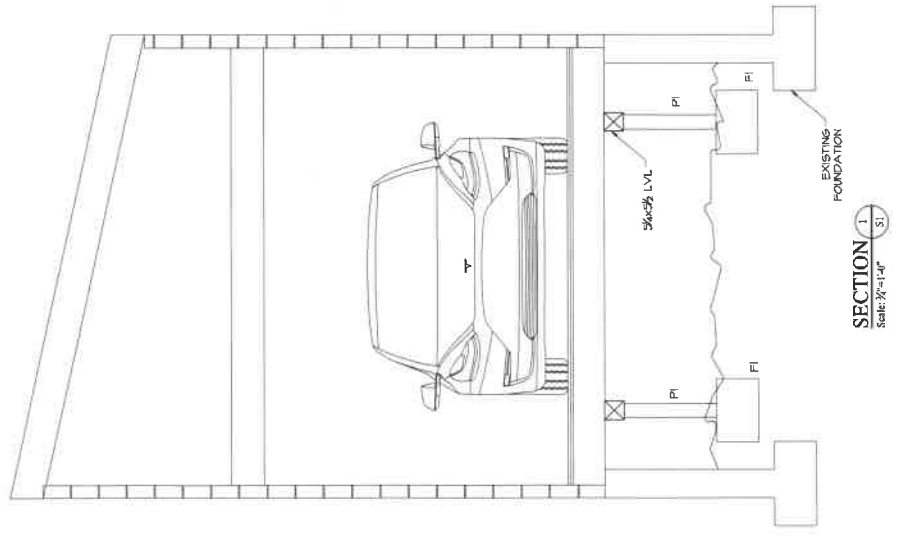
DATE: 4/7/2023  
 SCALE: AS NOTED  
 SHEET: 2 OF 9  
 DRAWING: S2



**LALLY COLUMN**  
 Scale: 1/4"=1'-0"



**LATERAL FRAME SUPPORT**  
 Scale: 1/2"=1'-0"



**SECTION 1-1**  
 Scale: 1/2"=1'-0"





**7. 123 State Street, Unit 1 - Recommended Approval**

**Background:** The applicant is seeking approval for the installation of a new deck support post.

**Staff Comment:** Recommended Approval

**Stipulations:**




1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-605**

Submitted On: Apr 26, 2023

**Applicant**

 Jim Keane  
 603 502 0729  
 jimkeane@comcast.net

**Primary Location**

123 STATE ST  
Unit 1  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

**Alternative Project Address**

Administrative Approval

--

**Project Information**

**Brief Description of Proposed Work**

Add a post at the corner of our deck. The deck is currently attached to the abutting property, however, the wall that the deck is attached to is being removed and replaced. The plan will be to not re-attach the deck after the new wall on the abutting property is rebuilt. The intent is to have the deck free from being supported by the abutting structure.

**Project Representatives**

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

**HDC Certificate of Approval Granted**

--

**HDC Approval Date**

--

**Planning Staff Comments**

--

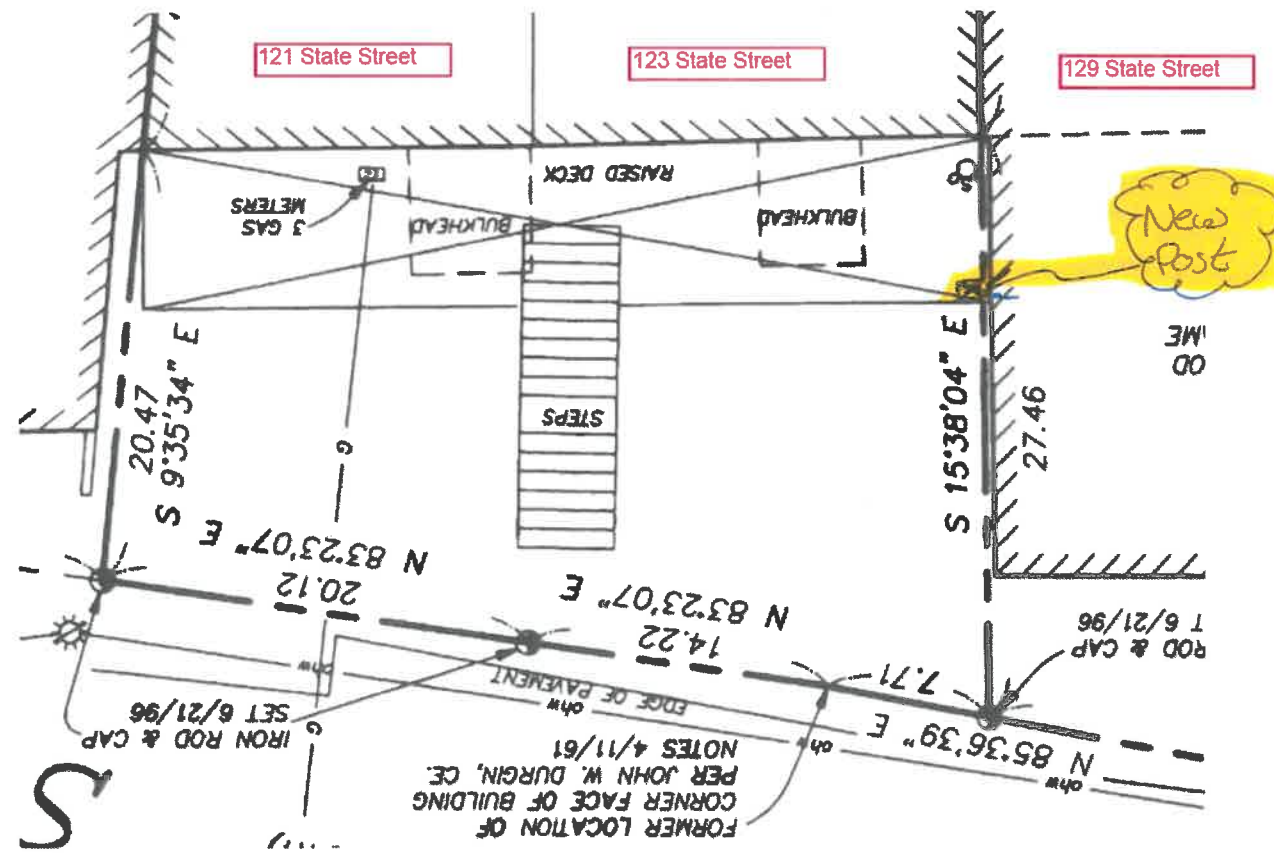
123 State Street

Addition of Post to Support Deck

Narrative:

Our deck is attached to the neighbor's house at 129 State Street. They are planning to demolish and rebuild the structure. Because of this, we plan to add a post to the corner of our deck to support the structure and allow it be detached from 129 State Street. We do not plan to reattach the deck after 129 State Street rebuild their structure. The post will be a pressure treated 4x4 that will be wrapped in pine and painted similar to the existing post that supports the other corner of our deck.

Plan showing property and new post location:



Similar post on other end of deck:



Note of Approval from the other Condominium Owner, Mark Bodi:

**From:** [Mark Bodi](#)  
**To:** [Jim Keane](#)  
**Subject:** My approval for deck detachment  
**Date:** Thursday, April 13, 2023 3:48:11 PM

---

Jim,  
This follows our informal association meeting on the deck detachment. You have my “vote” as an association member and with it my approval to submit whatever applications are necessary to the city to detach the deck from Mr. Doyle’s property.  
Thanks  
Mark

**Mark M. Bodi**  
**[mbodi@icloud.com](mailto:mbodi@icloud.com)**

Sent from my iPad

**8. 161 Deer Street**

**- Recommended Approval**

Background: The applicant is seeking approval for mechanical screening.

Staff Comment: Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-603**

Submitted On: Apr 25, 2023

**Applicant**

 Terrence Parker  
 6035319109  
 terrence@terrafirmalandarch.com

**Primary Location**

161 DEER ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

70 Maplewood Avenue

**Project Information**

**Brief Description of Proposed Work**

The proposed work is a screen fence for the exiting electrical utility boxes. Teh fence has a historic them that celebrates the history of the Norht End.

**Project Representatives**

<b>Relationship to Project</b>	<b>If you selected "Other", please state relationship to project.</b>
Architect	--
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Terrence Parker	terraform landscape architecture
<b>Mailing Address (Street)</b>	<b>City/Town</b>
163a Court Street	Portsmouth
<b>State</b>	<b>Zip Code</b>
NH	03801
<b>Phone</b>	<b>Email Address</b>
603.531.9109	terrence@terrafirmalandarch.com

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Project designer

## 70 Maplewood Avenue:

### HDC Application for a Fence Approval

The site plan for the construction of the new building on this site was approved by the Planning Board on December 15th, 2022, and approved by the HDC on October 5th, 2022.

This application is for approval of a fence on the north west corner of the lot from view.

The screen fence will be built with the following goals and objectives:

- The fence is designed to screen the view of the utility boxes owned by Eversource.
- The screen fence will consist of imagery to honor the evolving history of the North End and the people involved in that history, such as the historic rope walk near this site and the contributions of community activist, Rose Fiandaca.
- The screen fence will promote the concept of *History Through Art*.
- The screen fence will call attention to the many women in Portsmouth's history who contributed to the quality of life in Portsmouth throughout the centuries.
- Proposed Fence will be "consistent with special and defining characters of surrounding properties."

## 8 KPH

70 MAPLEWOOD AVENUE  
PORTSMOUTH, NH

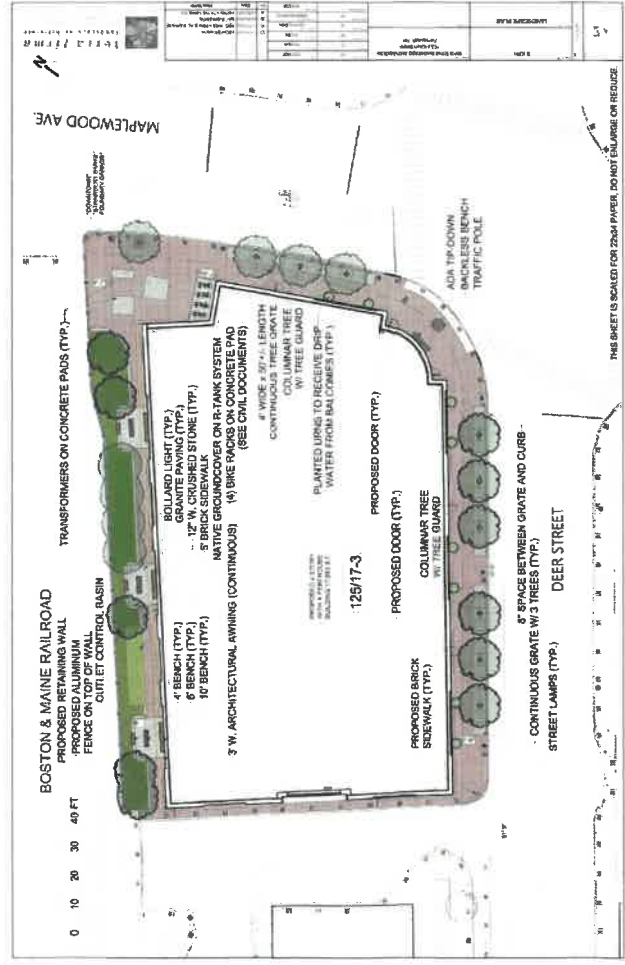


AERIAL VIEW



terra firma  
landscape architecture  
45-a court street - portsmouth, nh 03801  
603.430.8186 | terrafirmalandarch.com





APPROVED LANDSCAPE PLAN

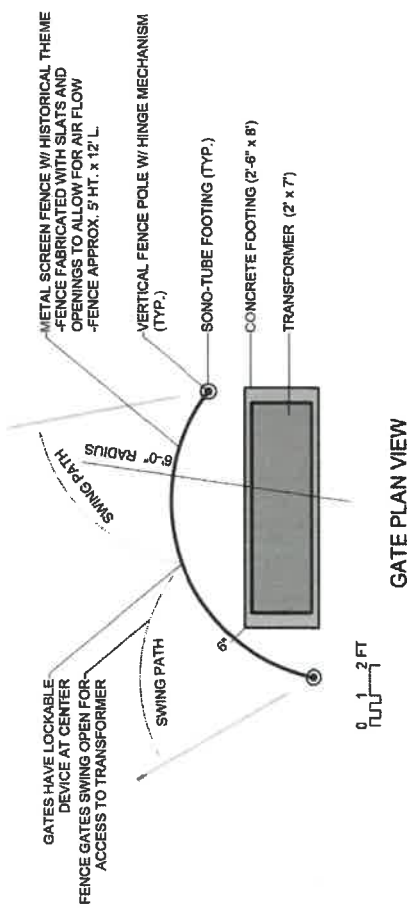
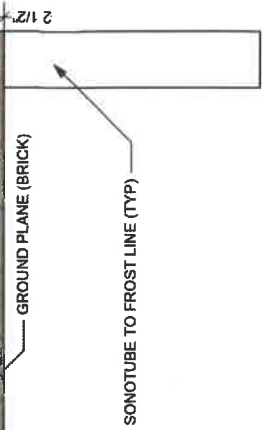
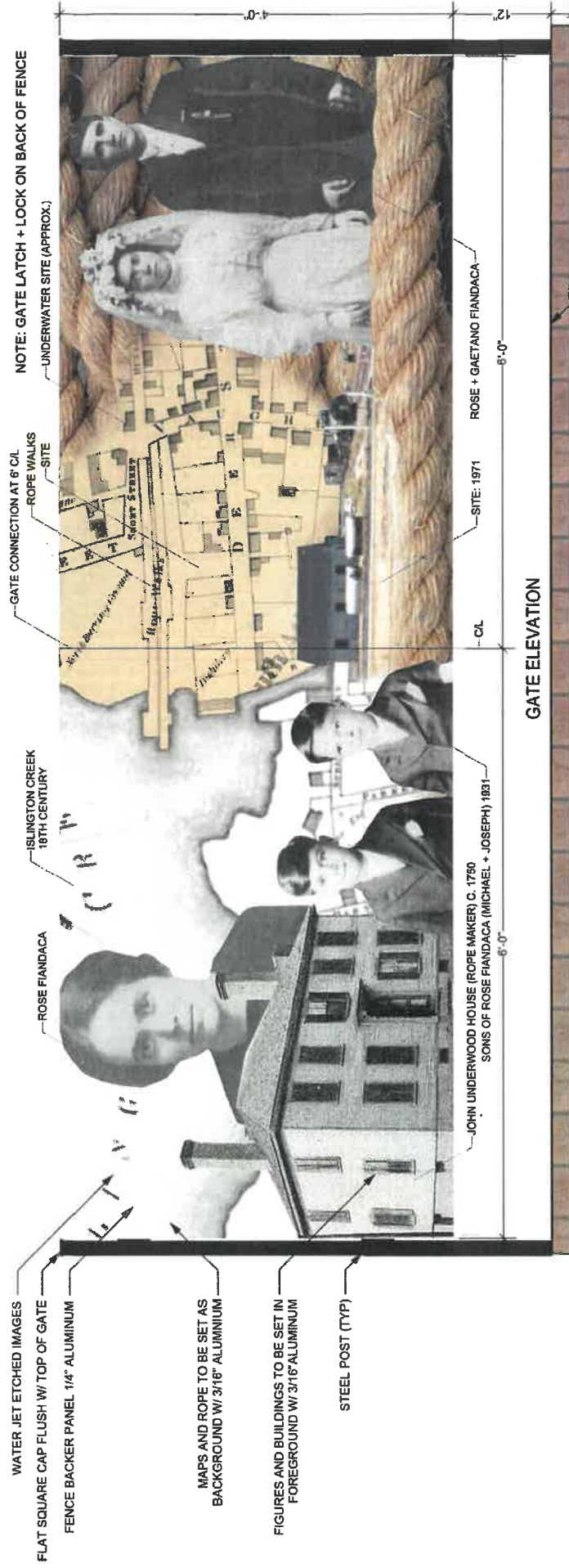


8 KPH

70 MAPLEWOOD AVENUE  
 PORTSMOUTH, NH



terra firma  
 landscape architecture  
 15-a court street - portsmouth, nh 03801  
 603.470.8188 - terrace - terrafirmalandscape.com



8 KPH

70 MAPLEWOOD AVENUE  
 PORTSMOUTH, NH



terra firma  
 landscape architecture  
 451 a court street · portsmouth, nh 03801  
 603.430.8362 · terrace · terrafrimainarch.com



The Evolving History of the North End:

Near this site, illustrated in 1813, was John Underwood's ropewalk, a long, covered lane of a building where hemp and yarn were spindled and twined into cordage and rigging for Portsmouth's shipyards. This important part of Portsmouth's history was long lost when the ropewalk was later displaced by the railroad. Passenger rail has also faded from use as Portsmouth continues to evolve.

A Century after, Rose Fiandaca, 1893-1980, a Sicilian immigrant, pictured with her husband and sons, was a midwife as well as a community leader in Portsmouth's vibrant Italian North End. The North End was demolished in 1969 as part of an Urban Renewal project, much to the dismay of many residents. She lived on Russell Street near the railroad station, learned English by going to the house at the many theaters in Portsmouth and her husband's first job was as a telephone repairman. Her family immigrated to Portsmouth as a result of the strength of compassion in her family, immortalized here.

**The Evolving History of the North End:**

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A Century after, Rose Fiandaca, 1893-1980, a Sicilian immigrant, pictured with her husband and sons, was a midwife as well as a community leader in Portsmouth's vibrant Italian North End. The North End was demolished in 1969 as part of an Urban Renewal project, much to the dismay of many residents. She lived on Russell Street near the railroad station, learned English by going to the movies at the many theaters in Portsmouth and her household was one of the first to have a telephone. Her many descendants remember Rose as a bastion of strength and compassion in her family, neighborhood, and city.

**8 KPH**

**70 MAPLEWOOD AVENUE  
PORTSMOUTH, NH**



**tetra firma**  
landscape architecture  
163 a court street | portsmouth, nh 03801  
603.470.8188 | terrace | terrafirmalandarch.com

**9. 179 Pleasant Street - Recommended Approval**

Background: The applicant is seeking approval for changes to a previously approved design.

Staff Comment: Recommended Approval

**Stipulations:**

- 4. \_\_\_\_\_
- 1. \_\_\_\_\_
- 2. \_\_\_\_\_

**Historic District Commission Work Session or Administrative Approval Application**

**LUHD-608**

Submitted On: Apr 27, 2023

**Applicant**

 Carla Goodknight  
 6034312808  
 carla@cjarchitects.net

**Primary Location**

179 PLEASANT ST  
Portsmouth, NH 03801

**Application Type**

Please select application type from the drop down menu below

Administrative Approval

**Alternative Project Address**

--

**Project Information**

**Brief Description of Proposed Work**

This application is for administrative approval of six changes to the approved design.

**Project Representatives**

<b>Relationship to Project</b>	<b>If you selected "Other", please state relationship to project.</b>
Other	Architect
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Carla Goodknight	CJ Architects
<b>Mailing Address (Street)</b>	<b>City/Town</b>
233 Vaughan Street	Portsmouth
<b>State</b>	<b>Zip Code</b>
NH	03801
<b>Phone</b>	<b>Email Address</b>
6034312808	carla@cjarchitects.net

**Acknowledgement**

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

**INTERNAL USE ONLY -- Historic District Commission Review and Approval**

City of Portsmouth  
Historic District Commission & Planning Department  
1. Junkins Avenue  
Portsmouth, NH 03801

May 3, 2023

### 179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

Dear Chairman Wycikoff,

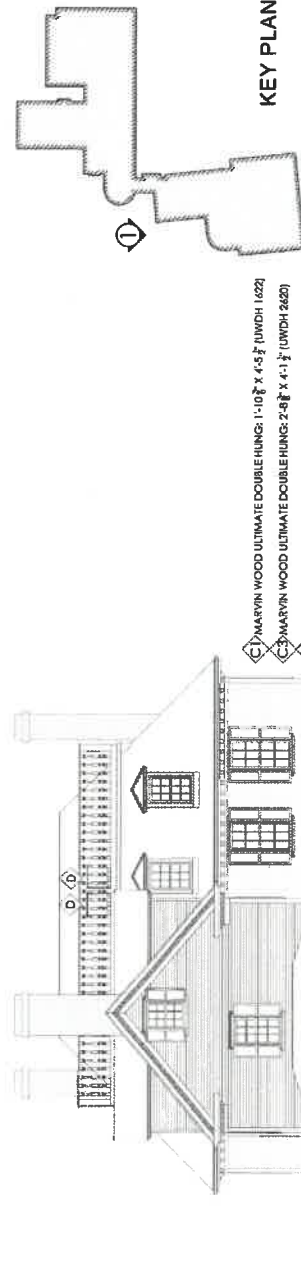
This application is for administrative approval of six changes to the approved design. Please note: There are no changes proposed to the Historic Mansion approval, with the exception of removal of existing skylights noted in item #1.

- 1. Reduction of the number of skylights approved.**  
There were seven existing skylights on the building, and they were all approved to be replaced in kind. The owner has chosen to only replace three of them.
- 2. Revision of the Annex dormer window proportion.**  
The existing dormer windows pictured on the Annex were vinyl replacement windows with grills between the glass and a very wide center mull. Upon further study, the dimensions of the panes of the proposed dormer windows have been adjusted slightly to more closely resemble the historic windows that are remaining on the house, and to reduce the oversized mull width. The windows will still be Marvin Wood Ultimate as approved.
- 3. Revision of the back and side kitchen windows.**  
Two windows in the kitchen that were originally mullied together have been separated, and two windows in the kitchen that were originally separated have been mullied together to accommodate kitchen design developments. The windows will still be Marvin Wood Ultimate as approved.
- 4. Radial window layout in the dining room.**  
The radial windows have been reduced in width to accommodate the structure and radius, and as a result one additional window has been added.
- 5. Window size reduction in entry connector.**  
The windows in the entry connector facing the back/side yard have been reduced in size to accommodate design development.
- 6. Basement Windows**  
One basement window has been added below the kitchen, and one basement window has been deleted from the back of the entry connector in the Annex.

Thank you for your consideration.  
Sincerely,

Caria Goodnight, AIA  
Principal, CJ Architects LLC  
Representing owners:  
Mill Pond View, LLC.

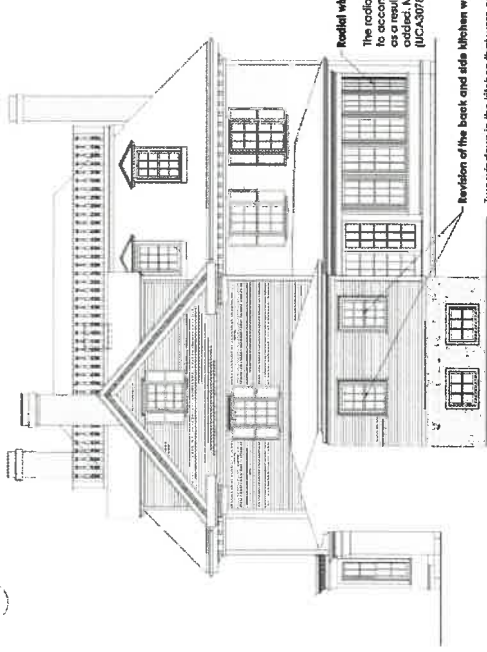
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE



KEY PLAN

- 1. MARVIN WOOD ULTIMATE DOUBLE HUNG: 1'-10" X 4'-4" (UNDH 1622)
- 2. MARVIN WOOD ULTIMATE DOUBLE HUNG: 2'-8" X 4'-1" (UNDH 2620)
- 3. MARVIN CLAD ULTIMATE CASSEMENT: 3'-1" X 6'-5" (ICA 3678 ET)
- 4. MARVIN WOOD ULTIMATE DOUBLE HUNG: 2'-8" X 5'-1" (UNDH 2606)
- 5. VELUX SKYLIGHTS TO MATCH EXISTING SIES
- 6. BASEMENT WINDOWS: MARVIN ELEVATE A WINGS: 3'-5" X 2'-7" 3/8"

1 AMENDED (3/1/2023) EAST ELEVATION



2 PROPOSED EAST ELEVATION

**Radial window layout in the dining room:**  
The radial windows have been reduced in width to accommodate the structure and radius, and as a result one additional window has been added. Marvin Clad Ultimate 2'-4" X 6'-5" 1/8" (ICA3678 ET)

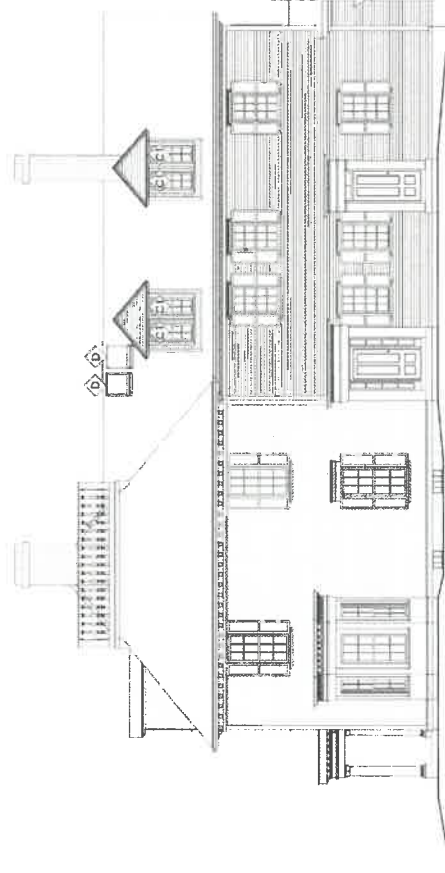
**Revision of the back and side kitchen windows:**  
Two windows in the kitchen that were originally mullied together have been separated to accommodate kitchen design developments. The windows will still be Marvin Wood Ultimate as approved.



1.0

### PROPOSED EAST ELEVATION

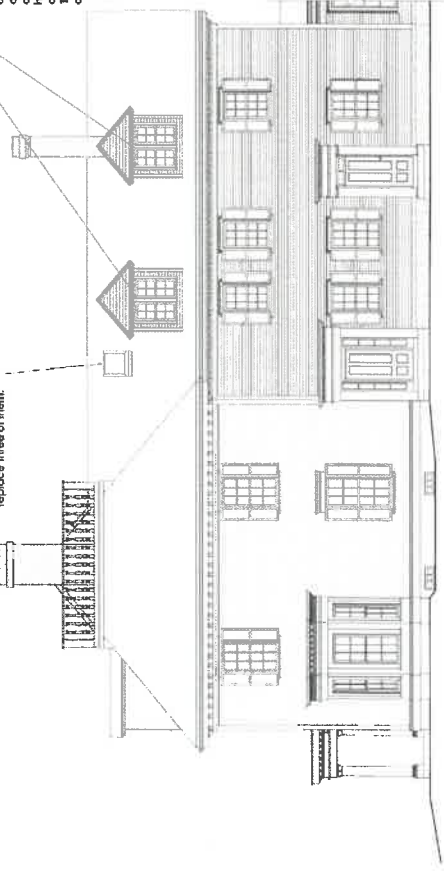
HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 3, 2023



1 APPROVED SOUTH ELEVATION

Reduction of the number of skylight approved:  
 There were seven existing skylight on the building, and they were all approved to be replaced in kind. The owner has chosen to only replace three of them.

Revisions of the Annex dormer window proportion:  
 The existing dormer windows pictured on the Annex were vinyl replacement windows with grids between the glass and a very wide center mull. The proposed dormer windows have been adjusted slightly to more closely resemble the historic windows that are remaining on the house. The windows will be Marvin Wood Ultimate as approved.

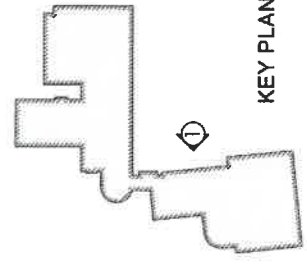


2 PROPOSED SOUTH ELEVATION

179 PLEASANT STREET  
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED SOUTH ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 3, 2023



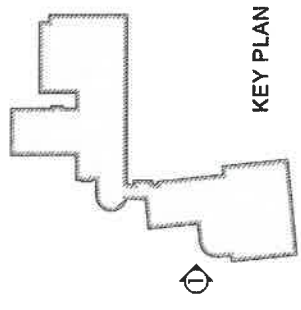
KEY PLAN



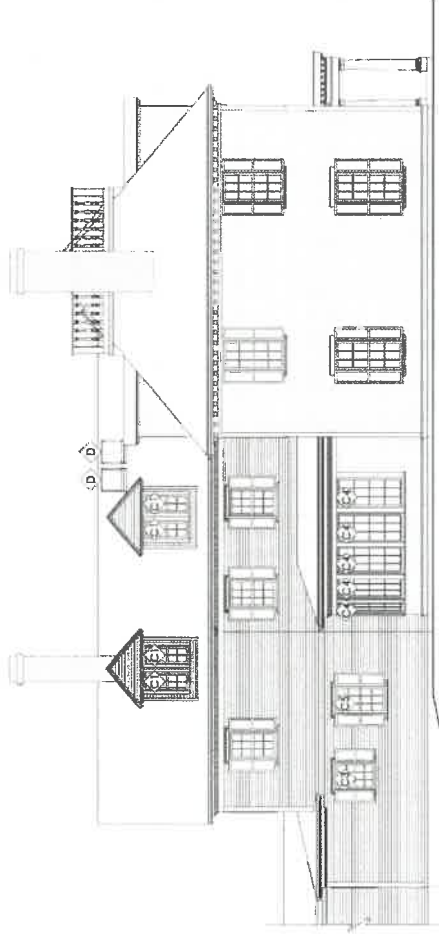
VIEW OF EXISTING SOUTH ELEVATION



2.0



KEY PLAN



1 APPROVED NORTH ELEVATION

**Reduction of the number of skylights approved:**  
 There were seven existing skylights on the building and they were approved to be replaced in kind. The proposed changes will replace three of them.

**Revision of the Annex dormer window proportion:**

The existing dormer windows pictured on the Annex were vinyl replacement windows with grills between the glass and a very wide center mull. Upon further study, the dimensions of the panels adjusted slightly to more closely resemble the historic windows that are remaining on the house, and to reduce the oversized mull width. The windows will still be Marvin Wood Ultimate as approved.

**Revision of the back and side kitchen windows:**

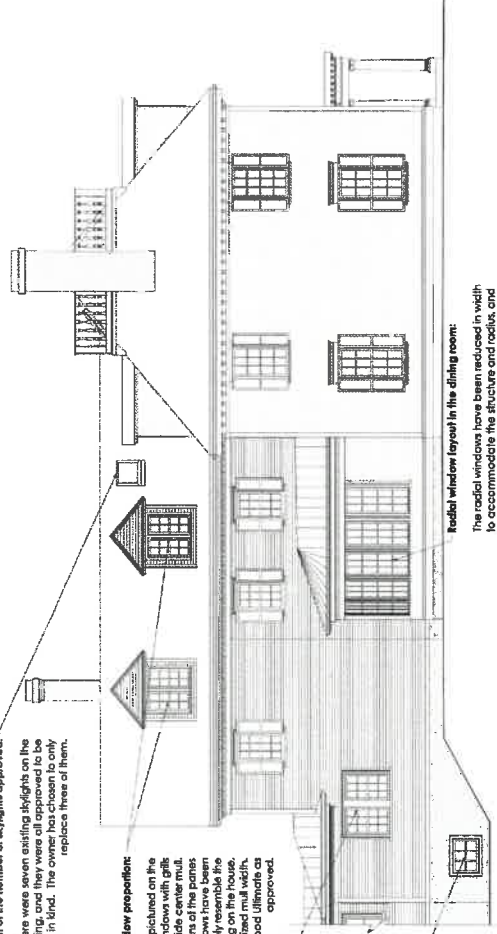
Two windows in the kitchen that were originally aluminum frames were replaced with vinyl to accommodate kitchen design developments. The windows will still be Marvin Wood Ultimate as approved.

**Basement Windows:**

One basement window has been added below the kitchen.

**Radial window layout in the dining room:**

The radial windows have been reduced in width and height, and a new window has been added. Marvin Wood Ultimate 24" X 6'-3 1/2" (ICC-33079 EI)



2 PROPOSED NORTH ELEVATION

179 PLEASANT STREET  
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED NORTH ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 3, 2023

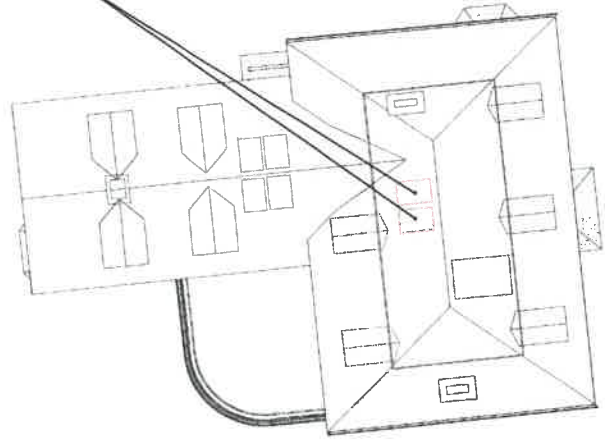


3.0



**Reduction of the number of skylights approved:**

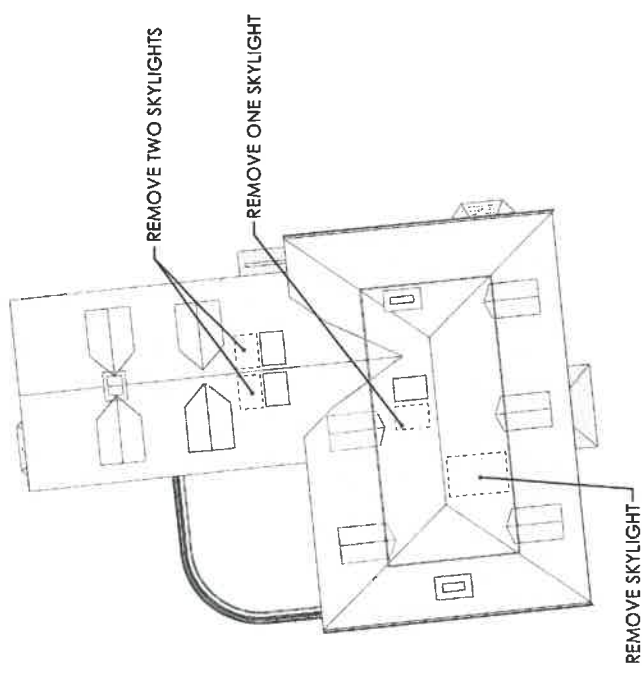
There were seven existing skylights on the building, and they were all approved to be replaced in kind. The owner has chosen to only replace three of them.



APPROVED ROOF PLAN WITH 2 ADDITIONAL  
EXISTING SKYLIGHTS SHOWN IN RED



EXISTING PHOTO



PROPOSED ROOF PLAN

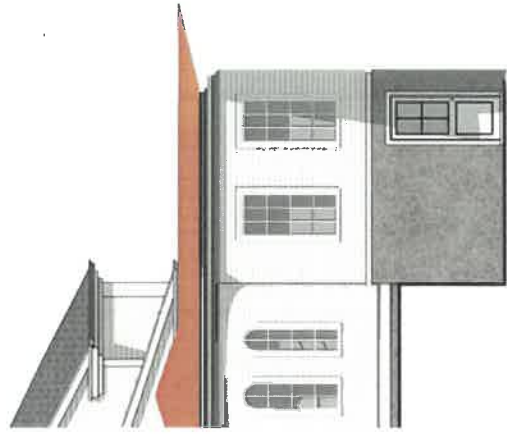
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

ROOF PLAN

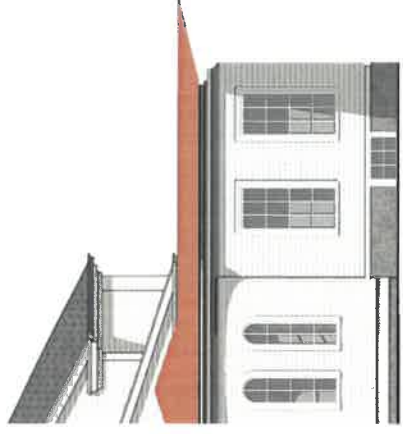
HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 3, 2023



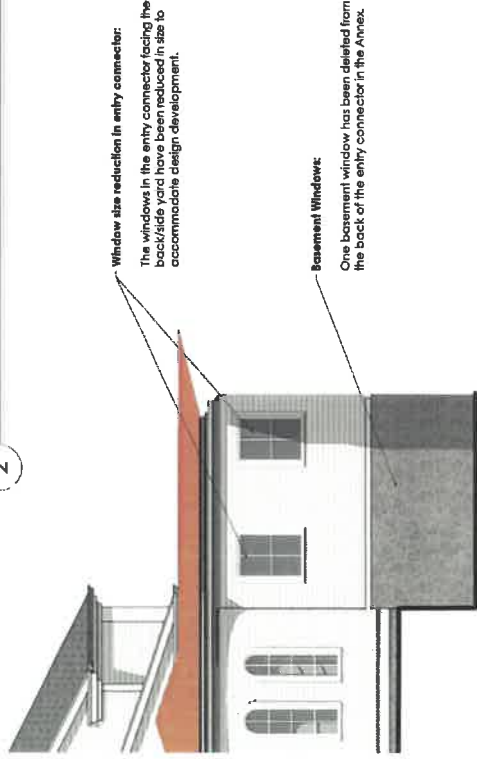
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1 ORIGINAL (9/7/2022) SIDE ELEVATION



2 AMENDED (3/1/2023) SIDE ELEVATION



3 PROPOSED SIDE ELEVATION

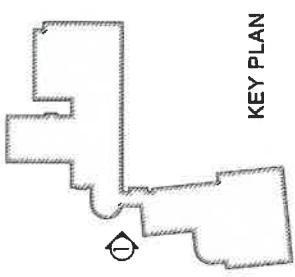
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED SIDE ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 3, 2023



5.0



KEY PLAN