

# HDC

## ADMINISTRATIVE APPROVALS

September 06, 2023

1. 3 Walker Street -Recommended Approval
2. 333 State Street -Recommended Approval
3. 621 Islington Street, Units A-C -Recommended Approval
4. 147 Congress Street -Recommended Approval
5. 28 South Street -Recommended Approval
6. 60 Penhallow Street -Recommended Approval
7. 4 Rock Street, Unit 3 -Recommended Approval
8. 320 Union Street -Recommended Approval
9. 459 Islington Street -Recommended Approval
10. 138 Maplewood Avenue -Recommended Approval
11. 3 Pleasant Street -Recommended Approval
12. 30 Penhallow Street -Recommended Approval
13. 361 Islington Street -Recommended Approval
14. 179 Pleasant Street -Recommended Approval

**1. 3 Walker Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of the front door on the structure.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



## LUHD-631

Historic District

Commission Work

Session or Administrative  
Approval Application

Status: Active

Submitted On: 6/14/2023

### Primary Location

3 WALKER ST

Portsmouth, NH 03801

### Owner

KIPPERMAN BRUCE S &


KIPPERMAN ALICE M

WALKER ST 3 PORTSMOUTH,

NH 03801

### Applicant

 John McCormack

 603-661-3755

john@greatislandbuilders.com

 PO Box 383

43 Piscataqua St

New Castle, NH 03854

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## Application Type

Please select application type from the drop down menu below

Alternative Project Address 

Administrative Approval

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## Project Information

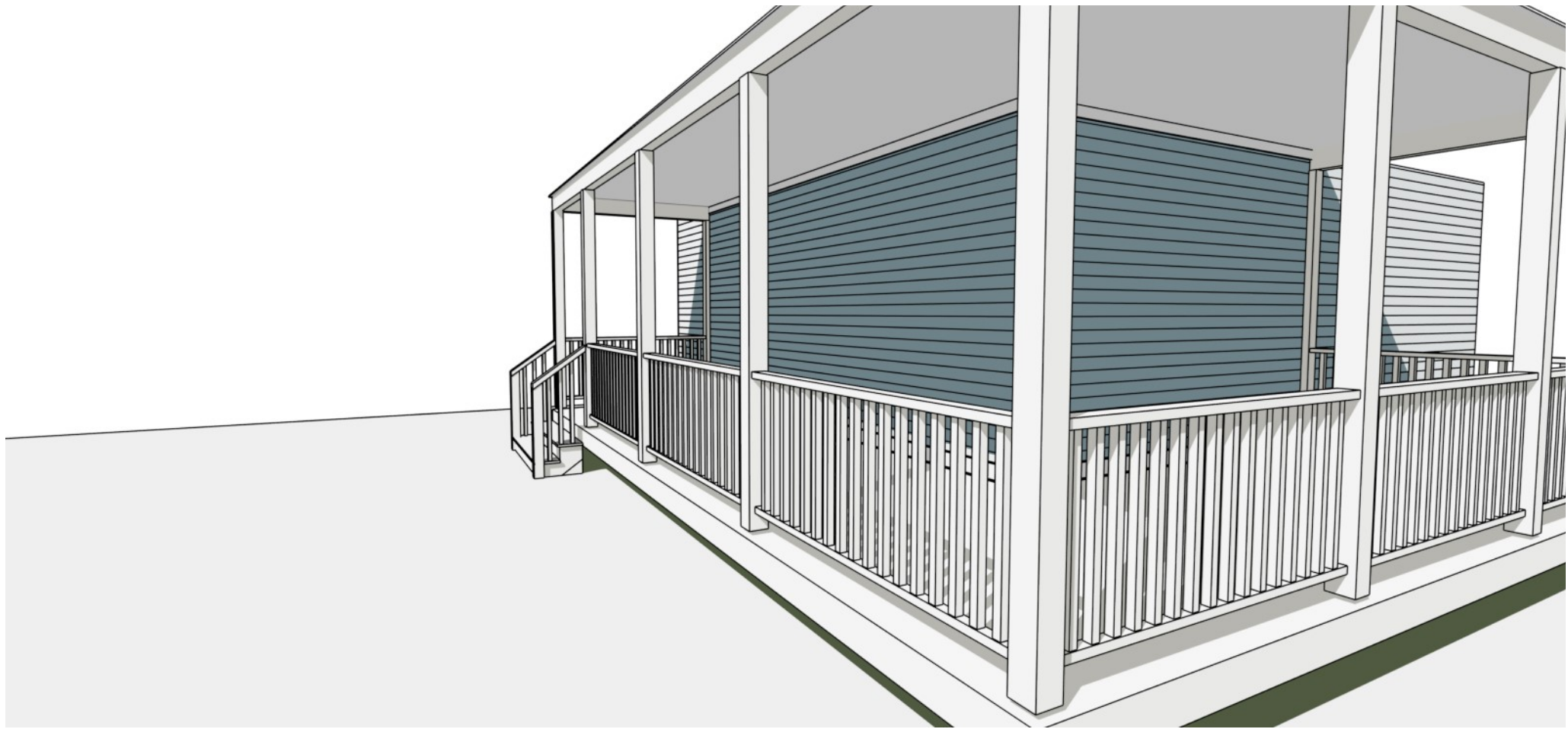
### Brief Description of Proposed Work\*

Replace front door, pressure treated decking and railings with composite material and cover posts with PVC post wrap.

### Description of Proposed Work (Planning Staff)

to replace the front door of the home and replace the existing decking and railing and replace with a composite material and remove and replace the posts with a PVC wrap

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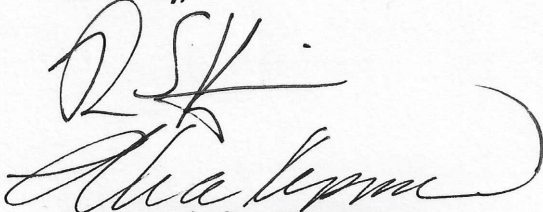


Tuesday, June 13, 2023

TO:  
HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NH 03801

We authorize John McCormick to represent us before the Historic District Commission  
And any meetings that are required. We have met with John and asked him to act on our  
behalf during this process.

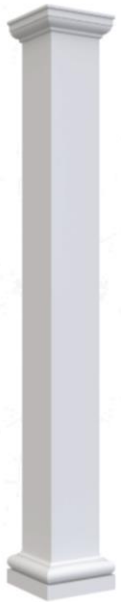
Sincerely,

A handwritten signature in black ink, appearing to read "Bruce and Alice Kipperman". The signature is written in a cursive style with a large, sweeping flourish at the end.

Bruce and Alice Kipperman  
3 Walker St  
Portsmouth, NH 03801

Kipperman  
3 Walker St  
Portsmouth NH





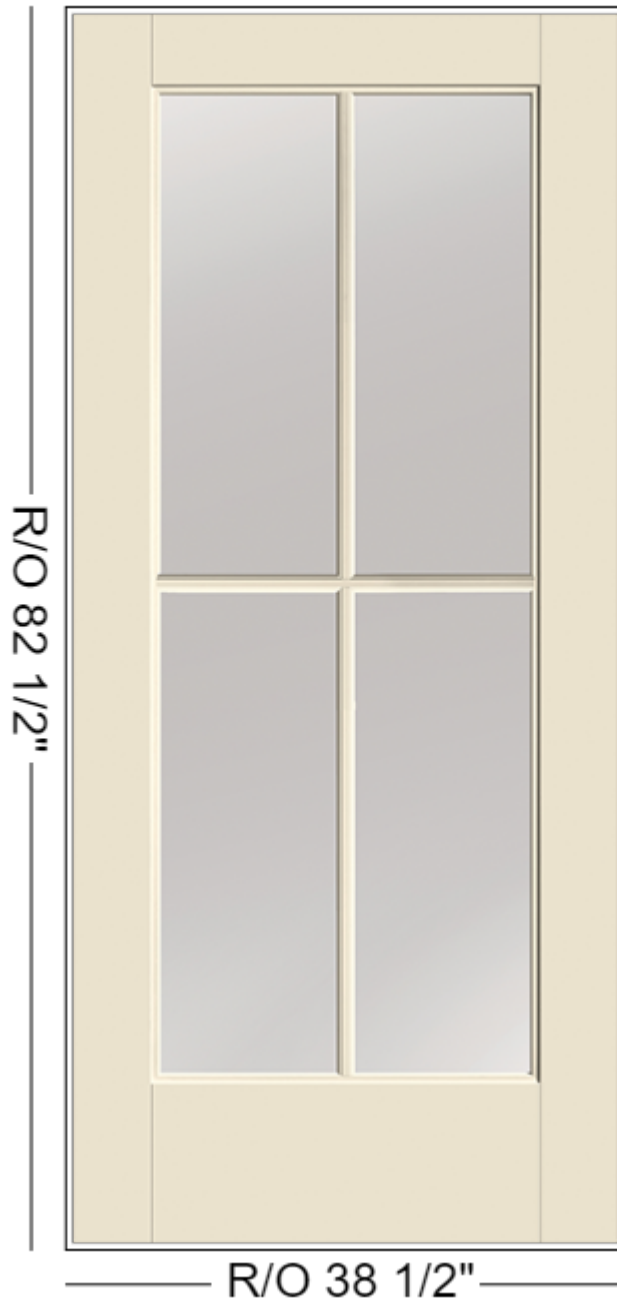
5" Square Porch Post available in 8',9', and 10'











**2. 333 State Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of new awnings.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-659

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 7/31/2023

### Primary Location

333 STATE ST

Portsmouth, NH 03801

### Owner

TD Bank, N.A.

Church Rd 4140 Mount

Laurel, NJ 08054

### Applicant

Bryan Giroux

267-464-8058

bgiroux@core-states.com

201 S. Maple Ave

Suite 300

Ambler, PA 19002

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Replacement of existing awnings, painting of existing brand color banding trim to neutral building trim color, and painting of existing doors for maintenance.

### Description of Proposed Work (Planning Staff)

the replacement of the existing canvas awnings with a new design and material

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.



**TD BANK**  
**PORTSMOUTH**  
 333 STATE STREET  
 PORTSMOUTH, NH 03801

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**CORE STATES**

GROUP

201 S. MAPLE AVENUE  
 SUITE 300  
 ANNELETT, PA 17022  
 717-869-2125  
 CORE-STATES.COM

CDMP 53212

SEAL

**JAMES LALLI**  
PROFESSIONAL CERTIFICATION NUMBER THIS PROFESSIONAL ENGINEER WAS PREPARED OR APPROVED BY THE PAID PARTY AND IS A VALID LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF PENNSYLVANIA.  
 LICENSE NUMBER  
 EXPIRES/ISSUE DATE

ISSUE	DATE	DESCRIPTION
	06/16/2023	HISTORICAL REVIEW

**PROJECT INFORMATION**

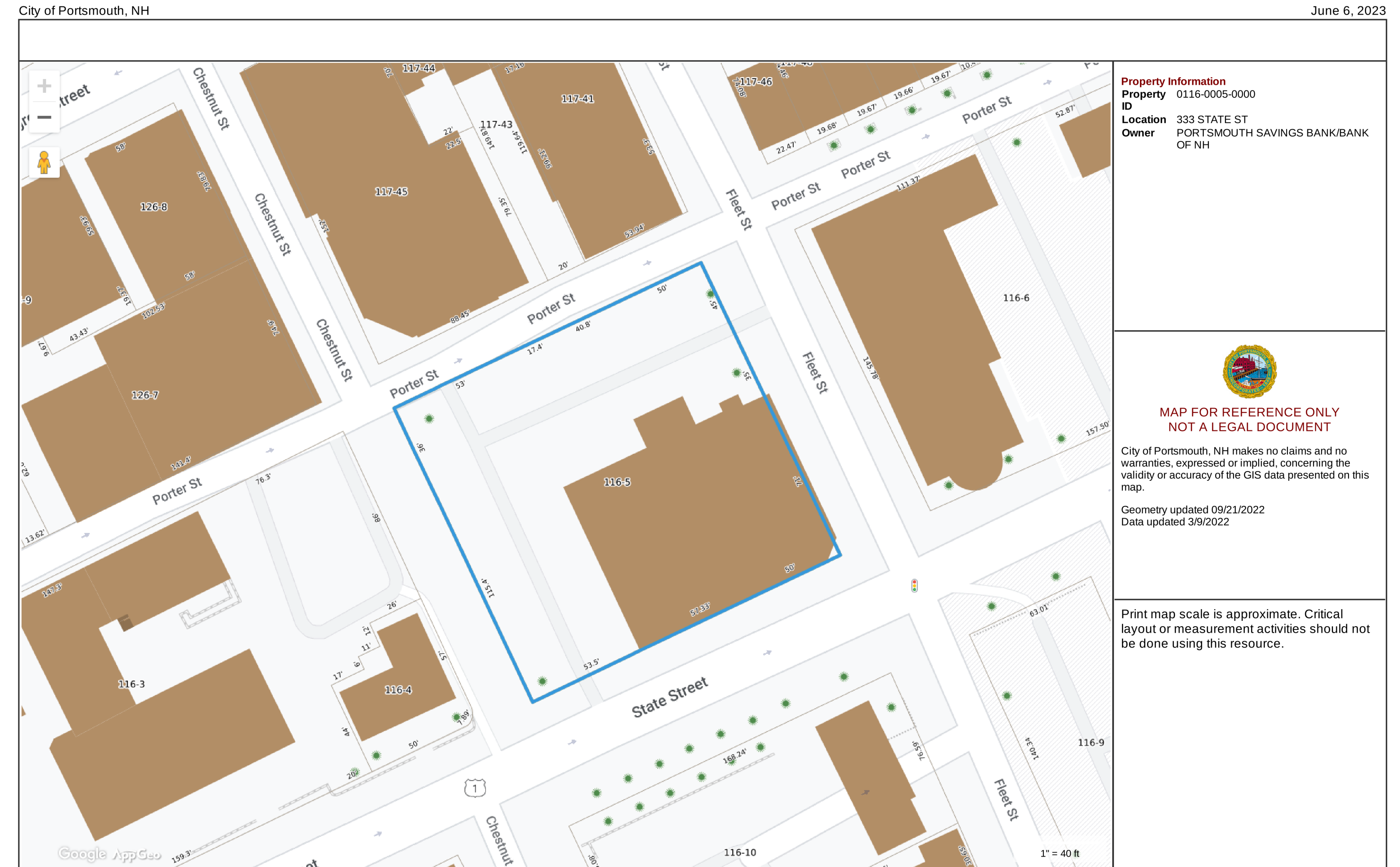
PROJECT NO:	TD8.35878
DATE:	06/16/2023
SCALE:	AS NOTED
DRAWN BY:	D. WHITEHOUSE
CHECKED BY:	B. GIROUX

SHEET TITLE

PHOTOGRAPHS

SHEET NUMBER

HRB-100



**TD BANK**  
**PORTSMOUTH**  
 333 STATE STREET  
 PORTSMOUTH, NH 03801

**CORE STATES**  
 GROUP

201 S. MAPLE AVENUE  
 SUITE 300  
 ANHERS, PA 17022  
 215-489-2125  
 CORE-STATES.COM

SEAL

JAMES LALLI  
 PROFESSIONAL CERTIFICATION NUMBER: 11883  
 EXPIRES: 06/30/2024

ISSUE | DATE | DESCRIPTION

06/16/2023 | HISTORICAL REVIEW

**PROJECT INFORMATION**  
 PROJECT NO: TDB-35878  
 DATE: 06/16/2023  
 SCALE: AS NOTED  
 DRAWN BY: D.WHITHOUSE  
 CHECKED BY: B.GIROUX

SHEET TITLE

SITE PLAN

SHEET NUMBER

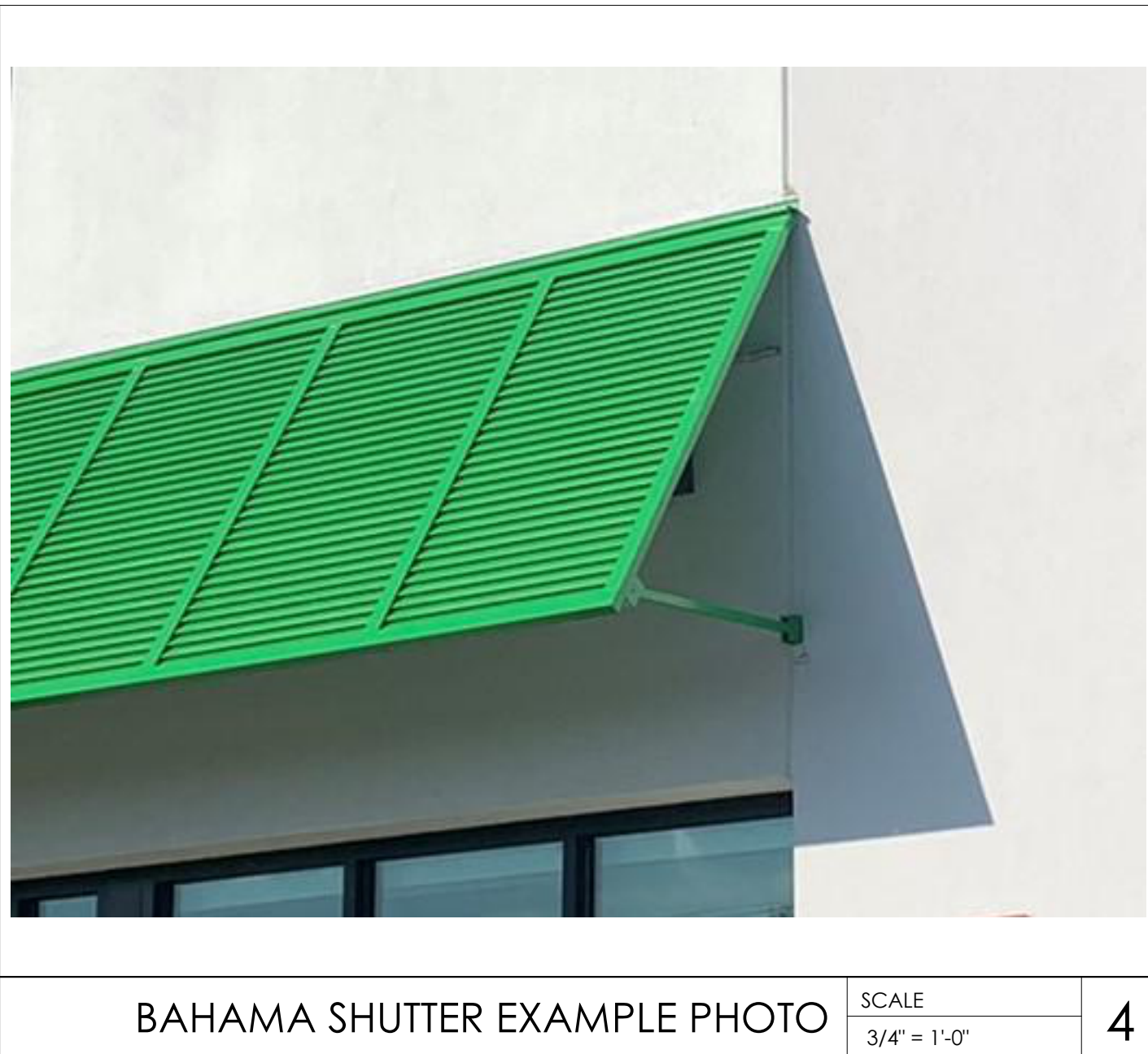
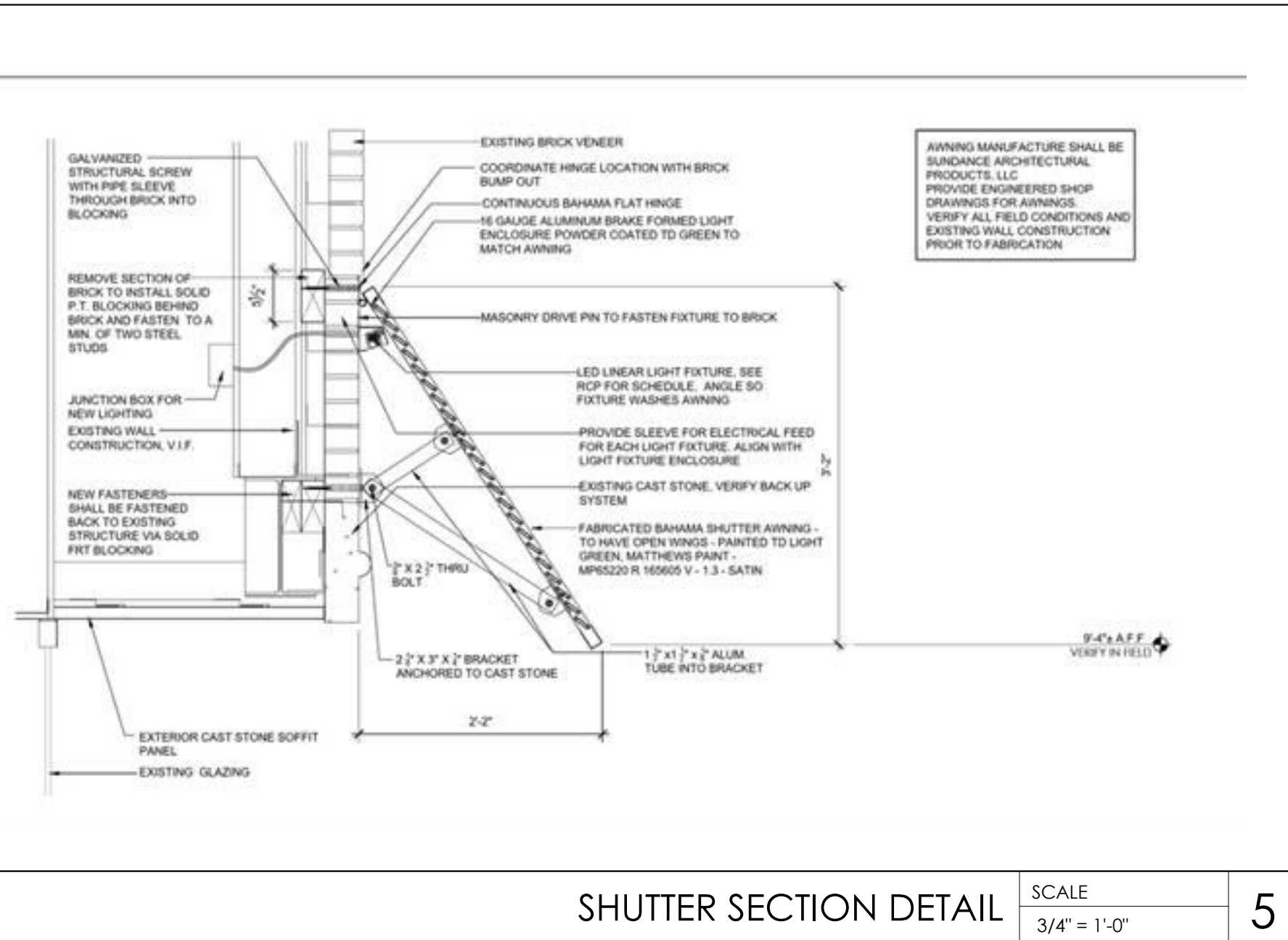
HRB-110










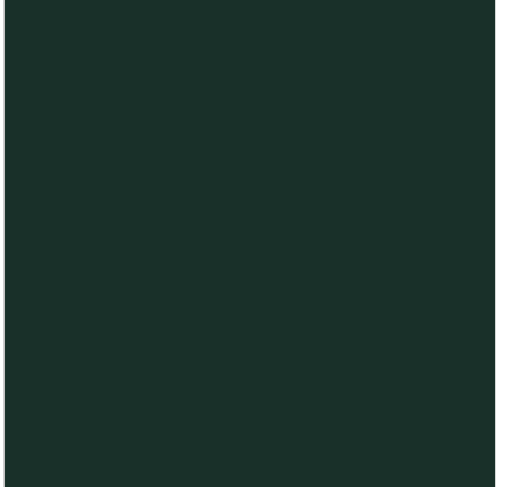


**PROPOSED COLORS**  
SCALE: 1/4" = 1'-0" 3



**PANTONE 361 C**

MATTHEWS PAINT  
MP65220 - R165605 V-1.3  
SATIN FINISH

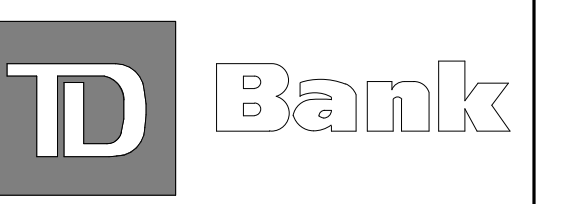


**PANTONE 5535 C**

MATTHEWS PAINT  
MP62874 V-1.1  
SEMI-GLOSS FINISH

**EXTERIOR ELEVATIONS KEYNOTES**

KEYNOTE	DESCRIPTION
1	PAINT EXISTING BANDING TO MATCH EXISTING BANDING ABOVE.
2	PAINT EXISTING DOORS TO MATCH PANTONE COLOR 5535. TRIM TO BE PAINTED TO MATCH EXISTING BANDING ABOVE.
3	NEW SIGNAGE BY SIGN VENDOR UNDER SEPARATE APPROVALS AND PERMIT.
4	NEW BAHAMA SHUTTERS BY SUNDAECE ARCHITECTURAL PRODUCTS, PROCURED AND INSTALLED BY GC. COLOR TO MATCH PANTONE 361.

**TD BANK**  
PORTSMOUTH  
333 STATE STREET  
PORTSMOUTH, NH 03801

CONSTRUCTION SERVICES BY: SUNDAECE ARCHITECTURAL PRODUCTS, INC. HAS BEEN REVIEWED BY THE ARCHITECTURAL BOARD OF THE STATE OF NEW HAMPSHIRE. ANY EXTENSION OF USE OF ANY OTHER PRODUCTS IS UNDESIRABLE. THE ARCHITECT ASSURES THAT THE ARCHITECTURAL BOARD HAS REVIEWED THE SUBMITTED DRAWINGS AND APPROVED THEM FOR CONSTRUCTION. THE ARCHITECT ASSURES THAT THE ARCHITECTURAL BOARD HAS REVIEWED THE SUBMITTED DRAWINGS AND APPROVED THEM FOR CONSTRUCTION.

**CORE STATES**  
GROUP

201 S. MAPLE AVENUE  
SUITE 300  
ANNISTON, PA 15002  
215-869-2125  
CORESTATES.COM

CDMP 53212

SEAL

JAMES LALLI  
PROFESSIONAL CERTIFICATION NUMBER: 11880  
LICENSE NUMBER: EX-12800-00002024

ISSUE | DATE | DESCRIPTION

06/16/2023 | HISTORICAL REVIEW

**PROJECT INFORMATION**

PROJECT NO.: TDB.35878  
DATE: 06/16/2023  
SCALE: AS NOTED  
DRAWN BY: D. WHITEHOUSE  
CHECKED BY: B. GIROUX

**PROPOSED EXTERIOR ELEVATIONS**

**HRB-220**

EXTERIOR ELEVATIONS KEYNOTES

KEYNOTE	DESCRIPTION
1	PAINT EXISTING BANDING TO MATCH EXISTING BANDING ABOVE.
2	PAINT EXISTING DOORS TO MATCH PANTONE COLOR 5535. TRIM TO BE PAINTED TO MATCH EXISTING BANDING ABOVE.
3	NEW SIGNAGE BY SIGN VENDOR UNDER SEPARATE APPROVALS AND PERMIT.
4	NEW BAHAMA SHUTTERS BY SUNDANCE ARCHITECTURAL PRODUCTS. PROCURED AND INSTALLED BY GC. COLOR TO MATCH PANTONE 361.

**PANTONE 361 C**  
MATTHEWS PAINT  
MP65220 - R165605 V-1.3  
SATIN FINISH

**PANTONE 5535 C**  
MATTHEWS PAINT  
MP62874 V-1.1  
SEMI-GLOSS FINISH

SCALE 1/4" = 1'-0" 3

BAHAMA SHUTTER EXAMPLE PHOTO SCALE 3/4" = 1'-0" 4

SHUTTER SECTION DETAIL SCALE 3/4" = 1'-0" 5

EXISTING BRICK VENER  
COORDINATE HINGE LOCATION WITH BRICK BUMP OUT  
CONTINUOUS BAHAMA FLAT HINGE  
1/8" GALV ALUMINUM FRAME FORMED LIGHT ENCLOSURE POWDER COATED TO GREEN TO MATCH JAMING  
MASONRY DRIVE PIN TO FASTEN FEATURE TO BRICK  
LED LINEAR LIGHT FEATURE SEE TOP FOR SCHEDULE. ANGLE 80° FEATURE WASHED JAMING  
PROVIDE SLEEVE FOR ELECTRICAL FEED FOR EACH LIGHT FEATURE. ALIGN WITH LIGHT FEATURE ENCLOSURE  
EXISTING CAST STONE. VERIFY BACK-UP SYSTEM  
FABRICATED BAHAMA SHUTTER ANNING. TO HAVE OPEN WINGS. PAINTED TO LIGHT GREEN. SEE FINISH SCHEDULE  
MIRROR R 1800S V-1.3 SATIN

JAMING MANUFACTURE SHALL BE SUNDANCE ARCHITECTURAL PRODUCTS LLC  
PROVIDE ENGINEERED SHOP DRAWINGS FOR ANNINGS  
VERIFY ALL FIELD CONDITIONS AND EXISTING WALL CONSTRUCTION PRIOR TO FABRICATION

REMOVE SECTION OF BRICK TO METAL BOLD #11 BOLTING BRING BRICK AND FASTEN TO A NEW 2" X 2" STEEL STUD  
JUNCTION BOX FOR NEW LIGHTING  
EXISTING WALL CONSTRUCTION V.I.F.  
NEW FASTENERS SHALL BE FASTENED BACK TO EXISTING STRUCTURE VIA SOLID PINE BLOCKING  
2" X 2" THRU BOLT  
2" X 8" X 7" BRACKET ANCHORED TO CAST STONE  
1" X 1/2" TUBE INTO BRACKET  
EXTERIOR CAST STONE SOFFIT PANEL  
EXISTING GLAZING  
P.O. OFF. VISIT IN FIELD

ELEVATION - WEST COLOR SCALE 1/4" = 1'-0" 2

T.O. EXIST. ROOF (+/-) 27' - 5"

T.O. EXIST. LOWER ROOF (+/-) 12' - 11"

T.O. FINISHED FLOOR 0' - 0"

Keynotes 1, 2, 3, 4, 6 are indicated on the drawing.

ELEVATION - NORTH COLOR SCALE 1/4" = 1'-0" 1

T.O. EXIST. ROOF (+/-) 27' - 5"

T.O. EXIST. LOWER ROOF (+/-) 12' - 11"

T.O. FINISHED FLOOR 0' - 0"

Keynote 3 is indicated on the drawing.

### 3. 621 Islington Street, Units A-C - Recommended Approval

Background: The applicant is seeking approval for the installation of (3) a/c condensers.

Staff Comment: Recommended Approval

#### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-669

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 8/18/2023

### Primary Location

621 ISLINGTON ST  
Portsmouth, NH 03801

### Owner

NED AND BILL PROPERTIES  
LLC & ATTN: WILLIAM  
SAVOIE  
PO BOX 822 SOUTHERN  
PINES, NC 28388

### Applicant

Mihai Popescu  
 603-501-9454  
 install@mcphvac.com  
 86 Lafayette Rd, Unit 4  
North Hampton, NH  
03862

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Installation of a condenser on the back of the building facing the White Heron parking lot. There is already a York condenser in place. The York condenser will be removed and 3 Mitsubishi condensers will be installed. One for unit A , one for B and the last one for unit C. There is already fortress on the side of the building which will be removed and replaced with a new one. It can be painted the collar of the building if needed.

Description of Proposed Work (Planning Staff)

PROJECT CONTACTS:

ARCHITECT

CJ ARCHITECTS  
233 VAUGHAN STREET  
PORTSMOUTH, NH 03801  
603-431-2808

SHEET INDEX:

ARCHITECTURAL  
A0.0 COVER SHEET & CODE STUDY  
A1.0 OVERALL BUILDING PLANS  
A1.1 DEMOLITION FLOOR PLANS  
A1.2 NEW FLOOR PLANS

REVISIONS:

REV 3: 09/22/2020  
REV 4: 06/23/2022

# 621 ISLINGTON STREET PORTSMOUTH, NH

PREPARED FOR

## NED & BILL PROPERTIES, LLC PORTSMOUTH, NH 03801

NED & BILL PROPERTIES, LLC

621 ISLINGTON STREET  
PORTSMOUTH, NH

Basic Code and Fire Rating information per IBC 2015, IEBC 2015, and NFPA 101 2015  
Per New Hampshire law, the more restrictive of NFPA 101 and IBC Means of Egress is to be used.  
Energy Code information per IECC 2015.

**GENERAL PROJECT DESCRIPTION**

This project consists of a change of occupancy and renovation to three units within an existing building in Portsmouth, NH. The three units within the work area will change occupancy from office space to residential apartments, and the spaces will be reconfigured for the new occupancy. The building also contains four existing apartments which are to remain, and are not included in the scope of work.

The work area of the renovations will be separated from the remainder of the building with fire barriers per IEBC section 1012.1.1.2, and therefore the partial change of occupancy will not require additional work in existing areas of the building that are outside of the work area unless specifically noted.

The existing building is protected throughout by an NFPA-13 automatic sprinkler system, to remain.

<b>BUILDING DATA</b>	(Existing building)
Occupancies:	R2 (residential)
Building height:	Approximately 25 feet
Number stories above grade:	Two
Number of Residential Units:	4 existing + 3 new = 7 total residential units
Footprint area:	4,255 SF (total existing footprint)
Construction type (assumed):	Type V-B (combustible, unprotected) IBC section 602
Sprinkler system:	Existing NFPA-13 system to remain (note 1) IBC section 903.2.8
Fire alarm system:	Existing to remain (note 2)

<b>HEIGHT AND AREA LIMITATIONS</b>	(Reviewed as Type V-B new construction worst case)
Height limitation:	60 feet (with S existing sprinkler) IBC table 504.3
Story limitation:	3 stories (with S existing sprinkler) IBC table 504.4
Adjusted height limitation:	60 feet / 3 stories
Area limitation:	21,000 SF (with SM existing sprinkler) IBC table 506.2
Street frontage increase:	Not used IBC section 506.3
Adjusted area limitation:	21,000 SF

<b>MEANS OF EGRESS</b>	(New dwelling units only, existing dwelling units with individual exits to remain)
<b>Occupant load:</b>	
First floor (new residential):	1,435 SF / 1 person per 200 SF gross = 8 persons NFPA 101 table 7.3.1.2
Second floor (new residential):	1,425 SF / 1 person per 200 SF gross = 8 persons NFPA 101 table 7.3.1.2
Total occupant load:	16 persons

<b>Egress Capacity:</b>	
Minimum total egress width at stairs for number served:	Worst case at combined Unit A + B: = 884 SF + 886 SF = 1,770 SF / 200 = 9 persons NFPA 101 table 7.3.1.2 9 persons x 0.3" per person = 2.7" NFPA 101 section 7.3.3.1
Min. stair width per occupancy type:	36" at existing stairs (this dimension controls) NFPA 101 table 7.2.2.2.1.1(b)
Minimum total egress width at doors and corridors for number served:	Worst case 9 persons x 0.2" per person = 1.8" NFPA 101 section 7.3.3.1
Min. corridor width per occupancy type:	36" where serving occupant load < 50 NFPA 101 section 7.3.4.1

Minimum number of required exits:	1 from each dwelling unit NFPA 101 section 30.2.4.6
Minimum exit access remoteness:	Not applicable NFPA 101 section 7.5.1.3.3
Maximum common path of travel limit:	50 feet from unit entry door / 125 feet total (note 8) NFPA 101 A7.6 / IBC 1006.2.1
Maximum dead end limit:	50 feet NFPA 101 A7.6 / IBC 1020.4
Maximum exit access travel distance:	250 feet (note 9) NFPA 101 A7.6 / IBC 1017.2

**FIRE RATINGS (IBC Type V-B construction)**

Note: some structural members in otherwise unrated assemblies may require fire protection when supporting fire rated assemblies above. Requirements are subject to local building officials.

<b>Basic building elements:</b>	<b>Fire rating:</b>	<b>Code reference:</b>
Structural frame:	0 hours	IBC table 601
Exterior bearing walls:	0 hours	IBC table 601 / table 602
Interior bearing walls (not acting as fire separation):	0 hours	IBC table 601
Interior non-bearing walls (not acting as fire separation):	0 hours	IBC table 601
Floor construction:		
First Floor:	1 hour separation	see fire separations
Second Floor:	1 hour separation	see fire separations
Roof construction:	0 hours	IBC table 601

<b>Interior fire separations:</b>		
Stair (vertical enclosure) walls:	1 hour fire barrier (note 3 & 10)(UL# U305)	IBC section 1023.2
Exit access corridor walls:	Not applicable (see stair enclosure)	IBC table 1020.1
Dwelling unit separations (walls):	1 hour fire barrier (note 3 & 4)(UL# U327)	IBC 708.3, IEBC 1012.1.1.2
Dwelling unit separations (floor/ceilings):	1 hour fire separation (UL# L502)	IBC 711.2.4.3, IEBC 1012.1.1.2
Dwelling unit/corridor separations:	Not applicable (see stair enclosure)	IBC section 708.3 ex. 1

<b>Opening protectives:</b>		
Exit access (stairway) doors:	1 hour (60 minute)	IBC table 716.5
Dwelling unit/corridor doors:	Not applicable (see stair enclosure)	IBC table 716.5

<b>Interior finishes:</b>	(At new elements within work area only, per IEBC section 1012.3)
Stairway walls and ceilings:	Class B NFPA 101 table A.10.2.2 (6)
Exit access corridor walls and ceilings:	Class C IBC table 803.11
Room walls and ceilings:	Class C IBC table 803.11
Stairway and corridor floors:	DOC FF-1 "pill test" IBC section 804.4.2 ex.
Room floors:	DOC FF-1 "pill test" IBC section 804.4.2 ex.

**ACCESSIBILITY REQUIREMENTS**

- No Type A accessible dwelling units are required because the building contains less than 20 dwelling units. IBC section 1107.6.2.2.1
- No Type B accessible dwelling units are required because the work area of the partial change of occupancy does not exceed 50% of the existing building area, and thus does not exceed Alteration Level 2 per IEBC section 505.1. IEBC section 1012.8

**BUILDING ENVELOPE (per IECC 2015)**

Climate zone:	Zone 5	IECC table C301.1
Fenestration U Factor:	U Factor 0.45 operable, 0.38 fixed	IECC table C402.4
Wood frame wall R Value / U Factor:	R-20+R3.8 continuous or U Factor 0.064	IECC table C402.1.3/C402.1.4
Floor R Value / U Factor:	R-30 or U Factor 0.033	IECC table C402.1.3/C402.1.4
Roof R Value:	R-49 or U Factor 0.021	IECC table C402.1.3/C402.1.4
Basement wall R Value / U Factor:	Not applicable (not within work area)	IECC table C402.1.3/C402.1.4
Slab R Value / U Factor and depth:	Not applicable (not within work area)	IECC table C402.1.3/C402.1.4

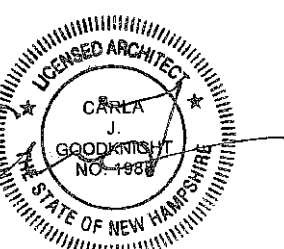
**MINIMUM REQUIRED PLUMBING FIXTURES**

Water closets:	R2 = 1 per dwelling unit	IBC table 2902.1
Lavatories:	R2 = 1 per dwelling unit	IBC table 2902.1
Bathrooms/Showers:	R2 = 1 per dwelling unit	IBC table 2902.1
Drinking fountain:	Not required for R2 occupancy	IBC table 2902.1
Kitchen sink:	R2 = 1 per dwelling unit	IBC table 2902.1
Automatic clothes washer connection:	R2 = 1 per 20 dwelling units	IBC table 2902.1
Service sink:	Not required for R2 occupancy	IBC table 2902.1

**NOTES**

- The existing building is protected throughout with an NFPA-13 automatic sprinkler system, which will be modified for the new residential occupancy within the work area per IEBC section 1012.2.1 and NFPA 101 section 43.7.2.1. Assessment and design of these modifications will be provided by others.
- The existing building is equipped throughout with a fire alarm system, which will be modified for the new residential occupancy within the work area per IEBC section 1012.2.2 and NFPA 101 section 43.7.2.1. Assessment and design of these modifications will be provided by others.
- Walls denoted as fire barriers must be continuous from the top of slab below to the underside of roof deck above.
- Per IBC 708.3 ex.2 and IBC 711.2.4.3 ex. the required fire rating at dwelling unit separations is permitted to be reduced to 1/2 hour for Type V-B construction. A 1 hour fire barrier is still proposed at these dwelling unit demising walls as a limit to the work area per section IEBC section 1012.1.1.2.
- Portable fire extinguishers must be sized and located per NFPA 10.
- Civil, Structural, Mechanical, Electrical, Plumbing, and Fire Protection design and code review by others. See fire protection drawings by Bob Cummings FPE, and Plumbing drawings by CSI Engineering. Other drawings to be provided by Owner as required.
- Provide smoke alarms, carbon monoxide detectors, and radon control in accordance with applicable code.
- Per IBC 1006.2.1, when a dwelling unit is less than 2,000 SF in a sprinklered building the total common path limit is 125 feet from the most remote point in the dwelling unit to the exit. Per NFPA 101 the distance from the dwelling unit entry door to the exit may not exceed the common path limit of 50 feet.
- The more restrictive exit access travel distances have been used per IBC Table 1017.2 and NFPA 101 Table A7.6.
- Per IEBC section 1012.4.1 ex 1, existing stairways shall be enclosed per section 903.1, which stipulates that existing stairways that are part of a means of egress shall be enclosed per the provisions of section 803.2.1. IEBC section 803.2.1 ex 11 states that this enclosure is not required in R-2 occupancies where the building is protected by an automatic sprinkler system.
- In summary, the Existing Building Code does not require enclosure at the existing stair shared by Units A and B in the proposed renovations, and allows the existing stair and handrails to remain per section 1012.4.1 ex 2, subject to the approval of the code official. A 1 hour fire rated assembly is still proposed at this stair enclosure as a limit to the work area per section IEBC section 1012.1.1.2.

ISSUED FOR PERMIT

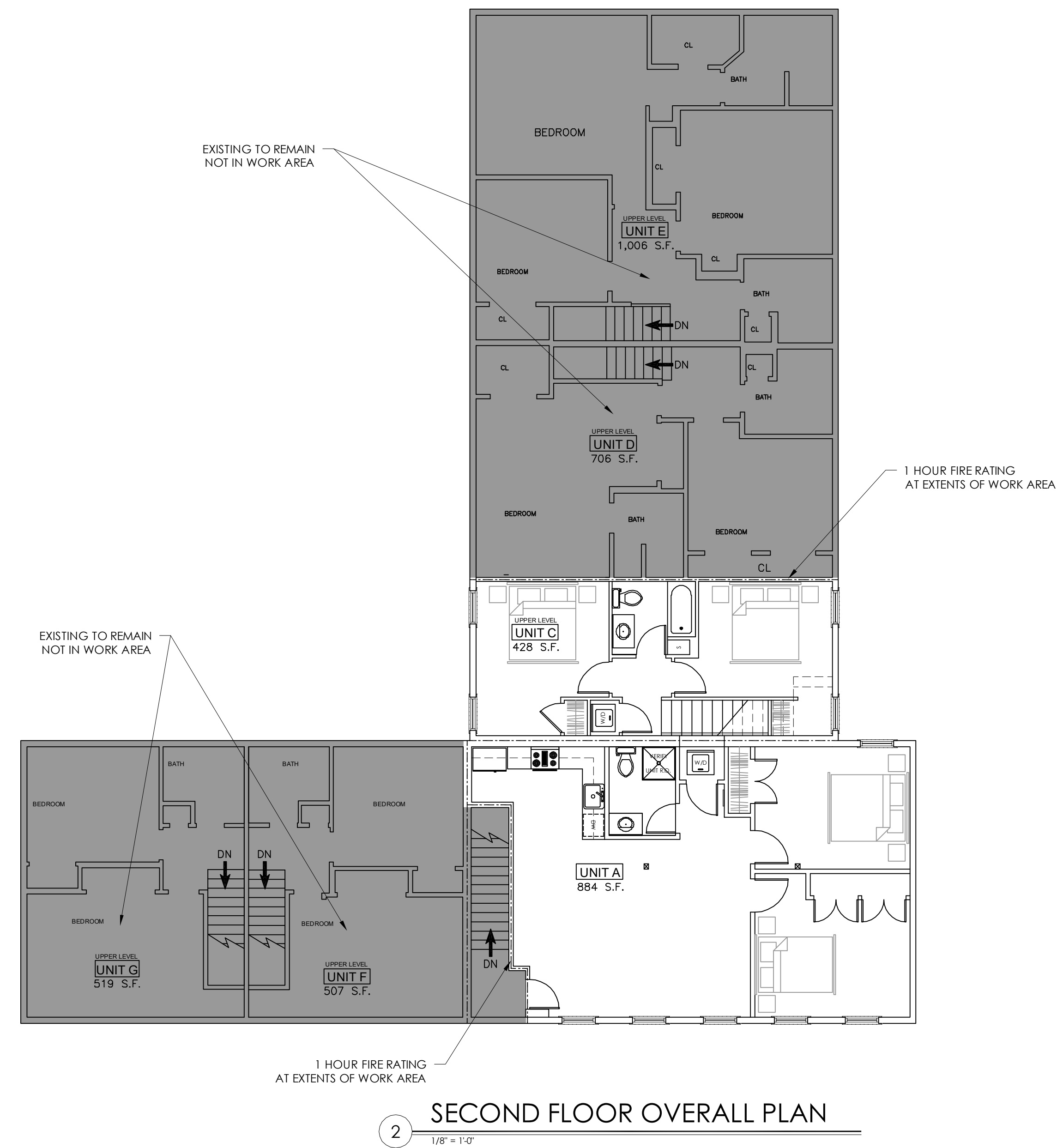
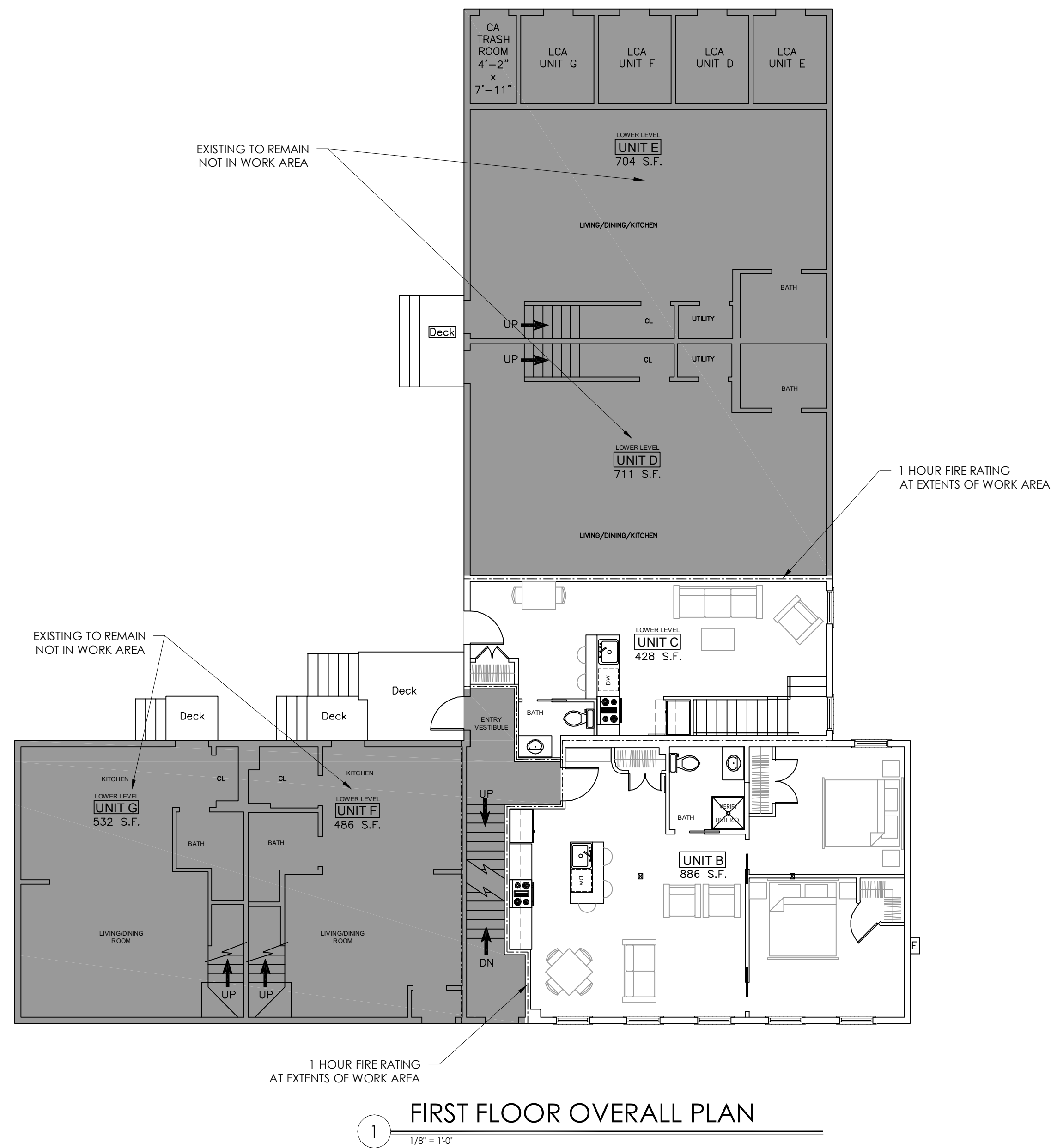


COVER SHEET  
&  
CODE STUDY

DATE: 8/30/2019  
DRAWN BY: JAW  
APPROVED BY: CJG  
SCALE: N/A  
JOB NUMBER: 21722

A0.0

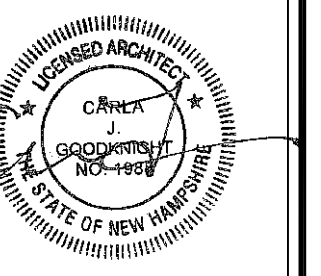
REVISIONS:  
 REV 1: 08/30/2019  
 REV 2: 09/06/2019  
 REV 3: 09/22/20



**GENERAL NOTES:**

- 1) PROVIDE TEMPORARY SUPPORT/BRACING AS REQUIRED DURING DEMOLITION. STRUCTURAL ENGINEERING BY OWNER, AS REQUIRED.
- 2) G.C. TO COORDINATE DESIGN AND INSTALLATION OF FIRE PROTECTION, MECHANICAL, ELECTRICAL, & PLUMBING SYSTEMS.
- 3) G.C. TO CONTACT ARCHITECT AND ENGINEERS TO REPORT ANY UNFORESEEN CONDITIONS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.
- 4) ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5) G.C. TO VERIFY ALL EXISTING DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND CUTTING OR FABRICATION OF FRAMING MEMBERS.
- 6) MAINTAIN ALL EXISTING FIRE SEPARATION ASSEMBLIES FROM ADJACENT UNITS, TYP.
- 7) INSULATE PIPES WITHIN DEMISING WALL AND CEILINGS.

NED & BILL PROPERTIES, LLC  
 621 ISLINGTON STREET  
 PORTSMOUTH, NH



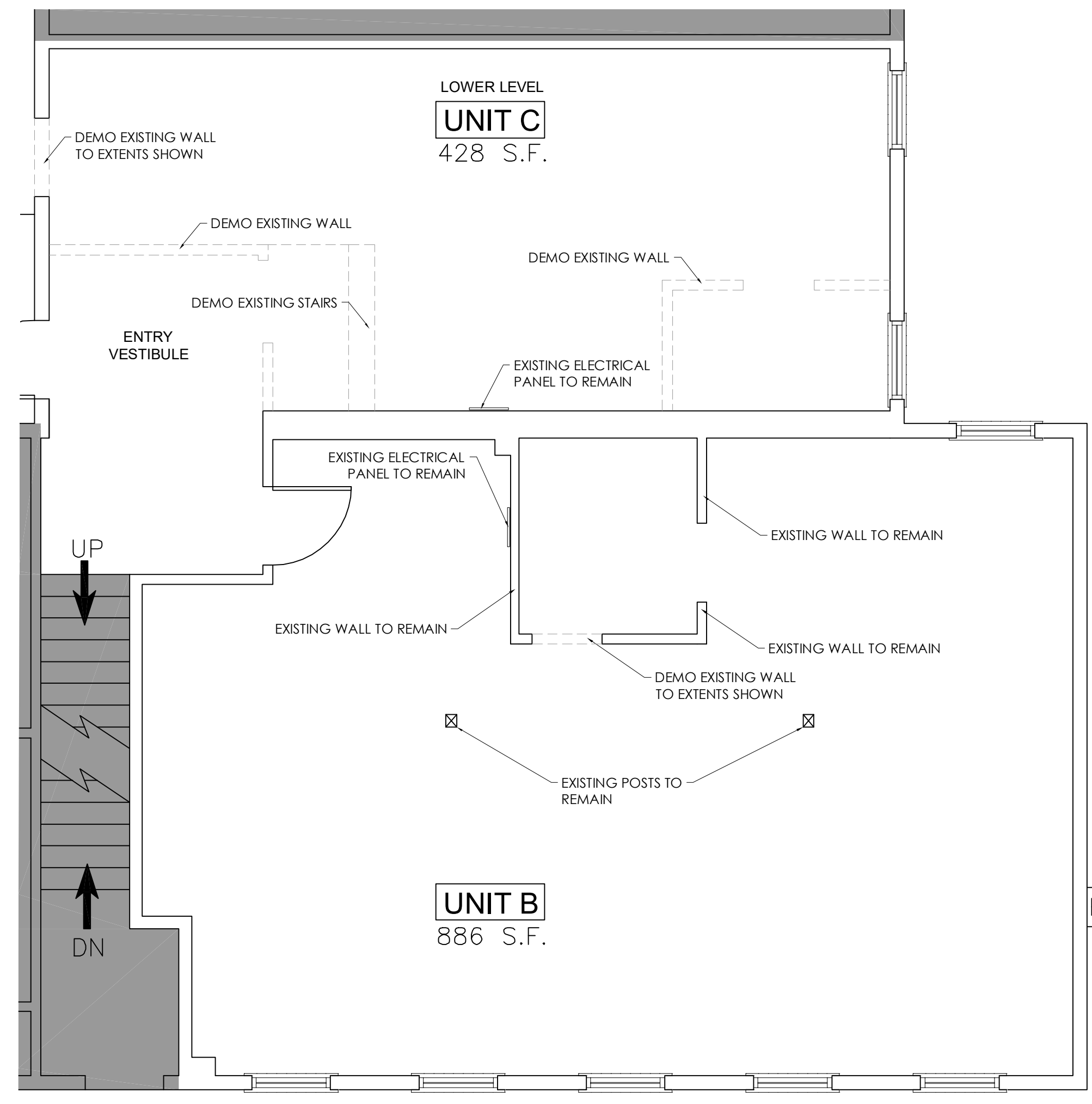
OVERALL  
 BUILDING  
 PLANS

DATE: 8/30/2019  
 DRAWN BY: JAW  
 APPROVED BY: CJG  
 SCALE: 1/8" = 1'-0"  
 JOB NUMBER: 21722

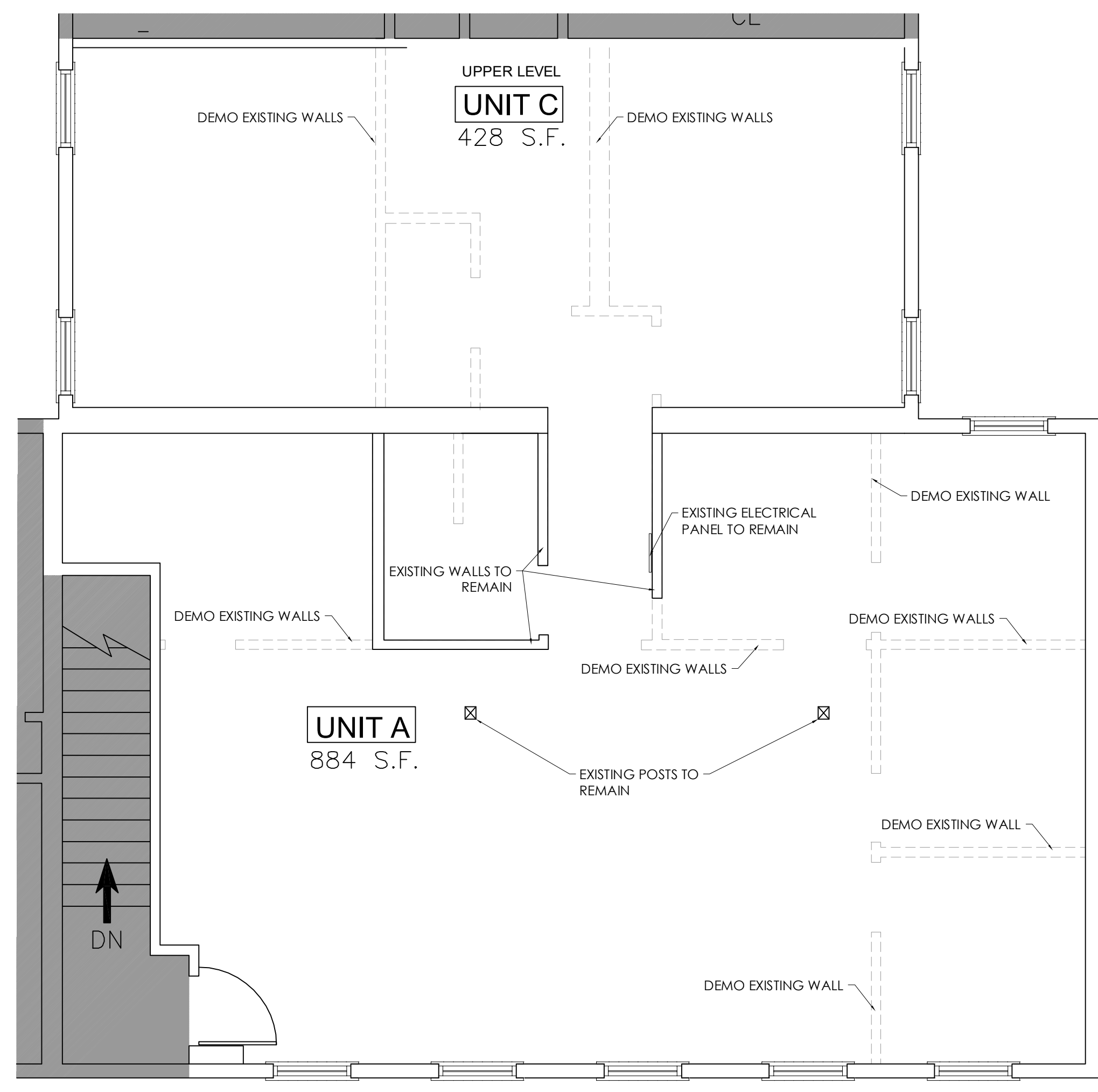
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ISSUED FOR PERMIT

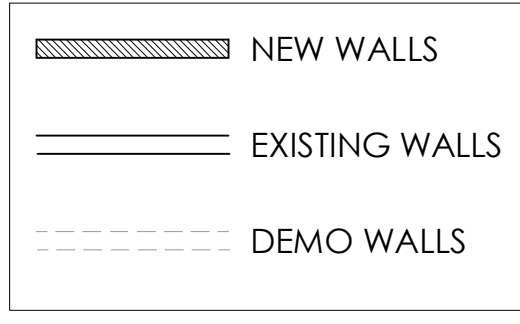
REVISIONS:
REV 1: 08/30/2019
REV 2: 09/06/2019
REV 3: 09/22/20



1 FIRST FLOOR DEMO PLAN  
1/4" = 1'-0"



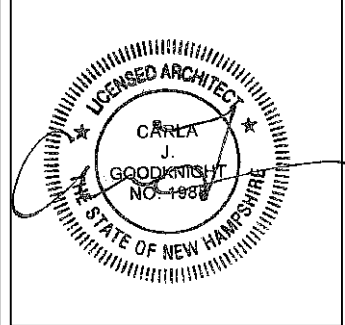
2 SECOND FLOOR DEMO PLAN  
1/4" = 1'-0"



**DEMO NOTES:**

- 1) REMOVE AND REPLACE ALL DRYWALL. INSTALL NEW G/WB AS REQUIRED BY FIRE SEPARATION ASSEMBLIES. USE MOISTURE RESISTANT DRYWALL AT ALL BATHROOMS; TYP.
- 2) REMOVE AND REPLACE ALL INSULATION. USE R-21 INSULATION AT ALL EXTERIOR WALLS, AND INSTALL SOUND BATT INSULATION AT ALL INTERIOR WALLS. INSTALL R-49 INSULATION AT ROOF.
- 3) SEE INTERIOR SCHEDULE FOR ALL FINISH PRODUCTS.
- 4) INSTALL FLOOR SOUND MAT PER DETAIL SPECIFICATION FOR STC/IIC 50 MINIMUM PER CODE REQUIREMENTS.
- 5) PROVIDE TEMPORARY SUPPORT/BRACING AS REQUIRED DURING DEMOLITION, STRUCTURAL ENGINEERING BY OWNER, AS REQUIRED.

NED & BILL PROPERTIES, LLC  
621 ISLINGTON STREET  
PORTSMOUTH, NH



DEMOLITION  
FLOOR  
PLANS

DATE:	8/30/2019
DRAWN BY:	JAW
APPROVED BY:	CJG
SCALE:	1/4" = 1'-0"
JOB NUMBER:	21722

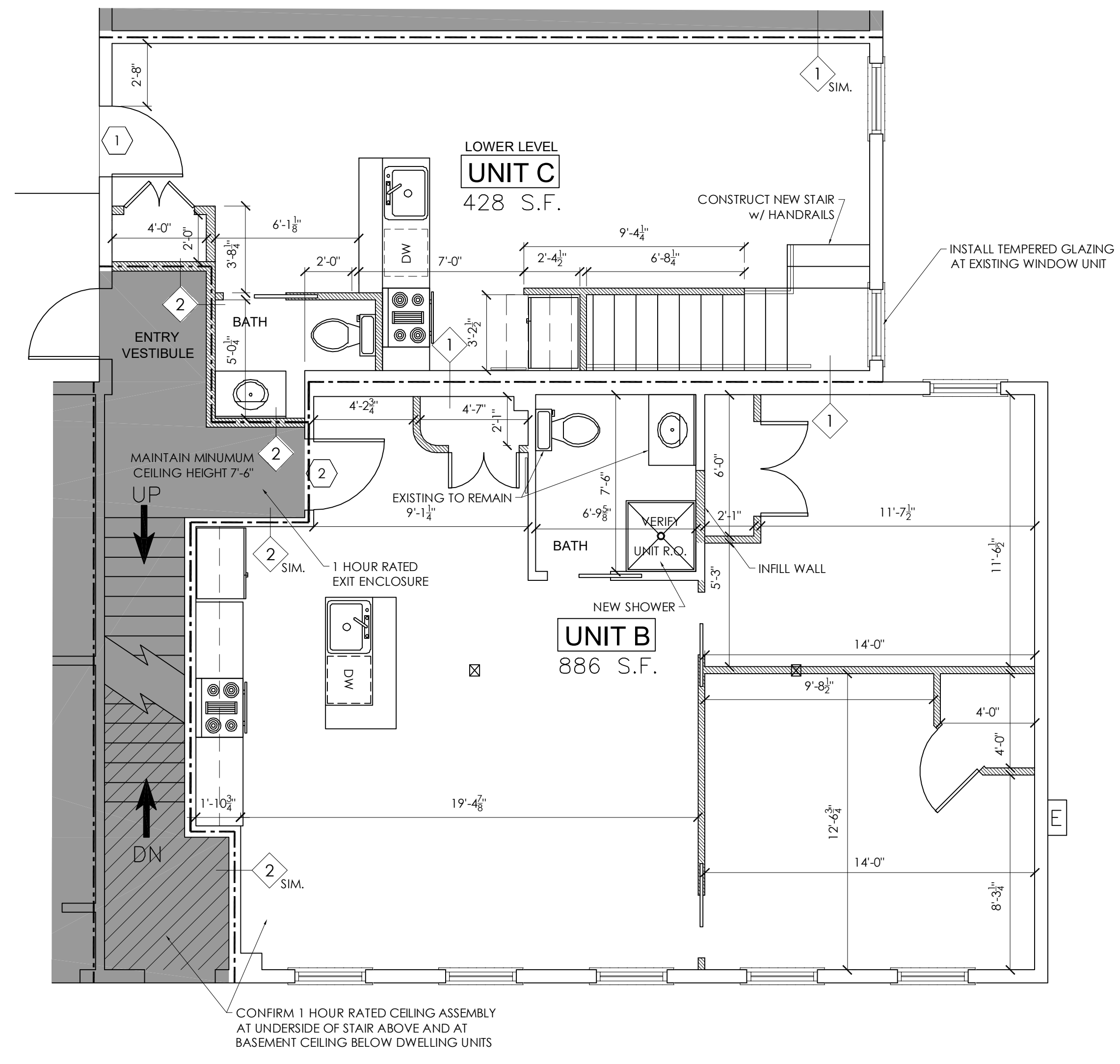
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ISSUED FOR PERMIT

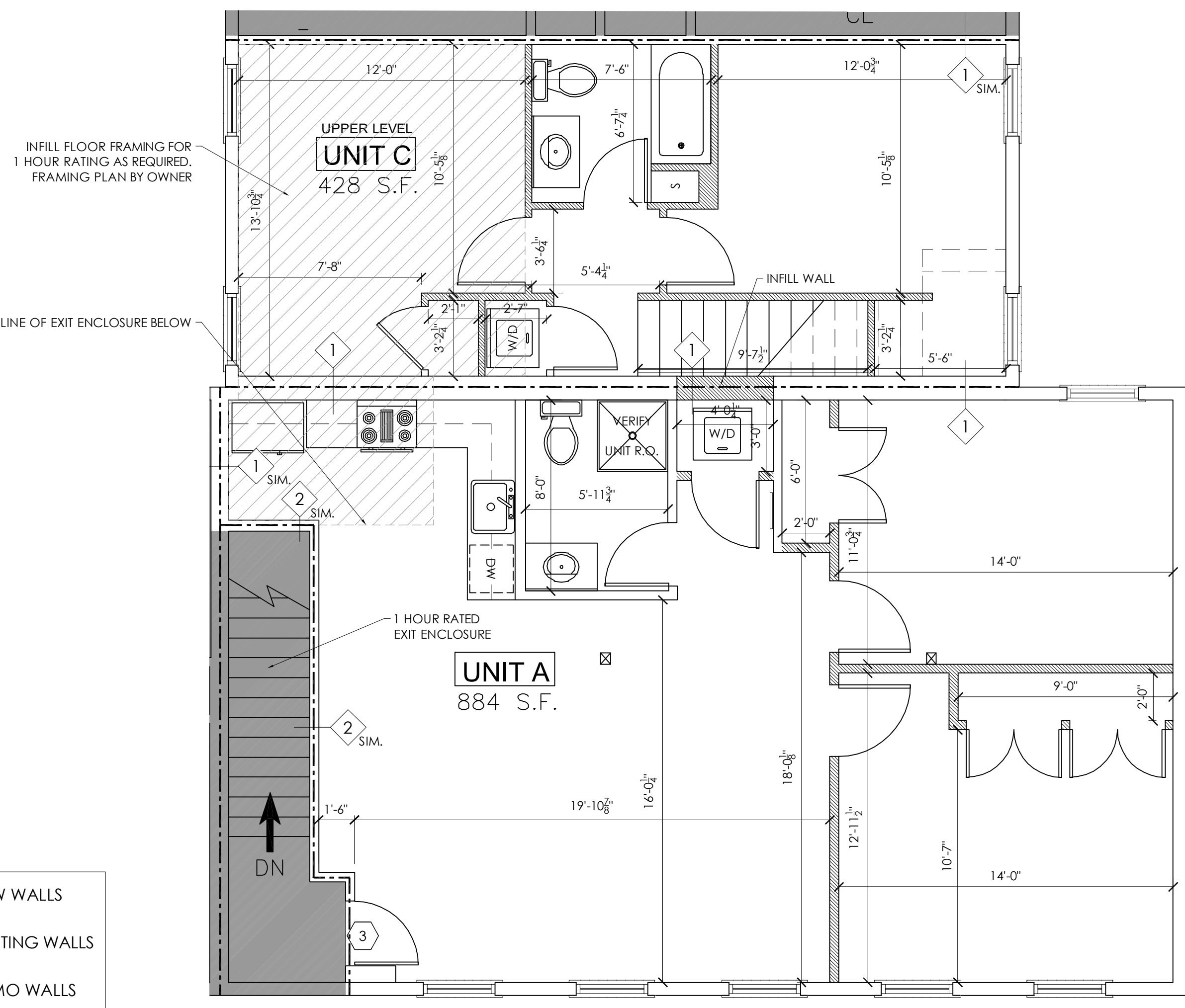
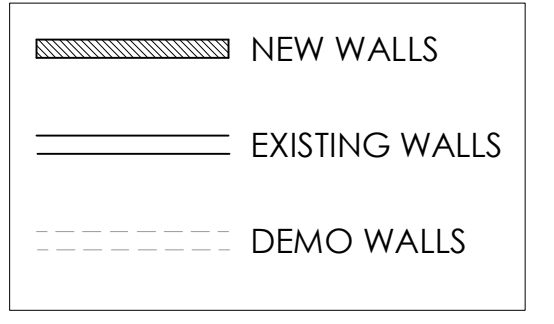


DOOR SCHEDULE						
DOOR NO.	DOOR UNIT SIZE (W x H)	FRAME TYPE	RATING	DOOR R.O. (W x H)	CLOSER	REMARKS
1	3'-0" x 6'-8"	WOOD	-	3'-5" X 6'-10 1/2"	YES	SEE NOTE 1
2	3'-0" x 6'-8"	WOOD	1 HR	3'-5" X 6'-10 1/2"	YES	SEE NOTE 2
3	3'-0" x 6'-8"	WOOD	1 HR	3'-5" X 6'-10 1/2"	YES	SEE NOTE 2

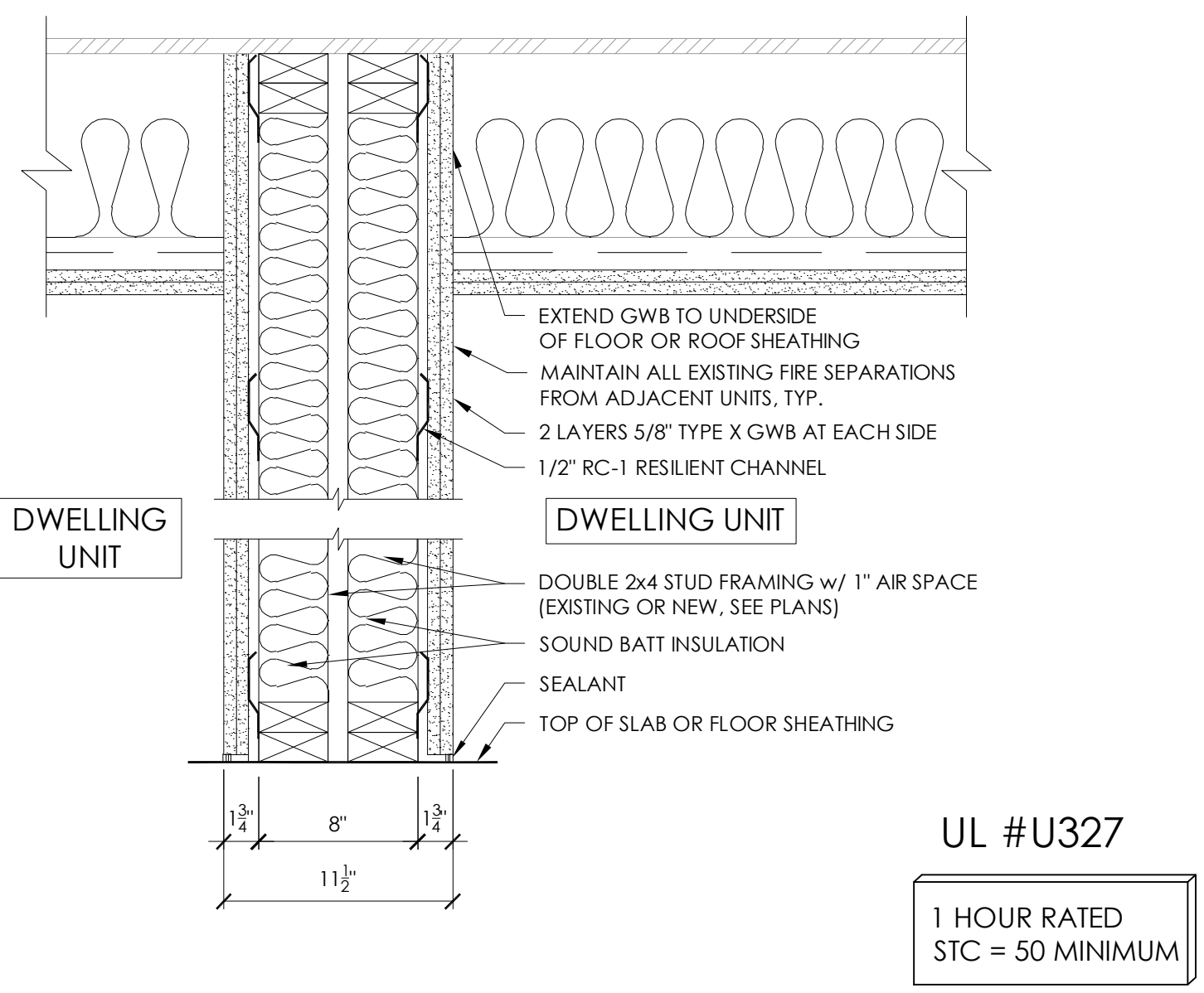
NOTES:  
 1) JELDWEN- EXTERIOR FIBERGLASS 2 PANEL DOOR  
 2) INTERIOR RATED DOORS BY OWNER



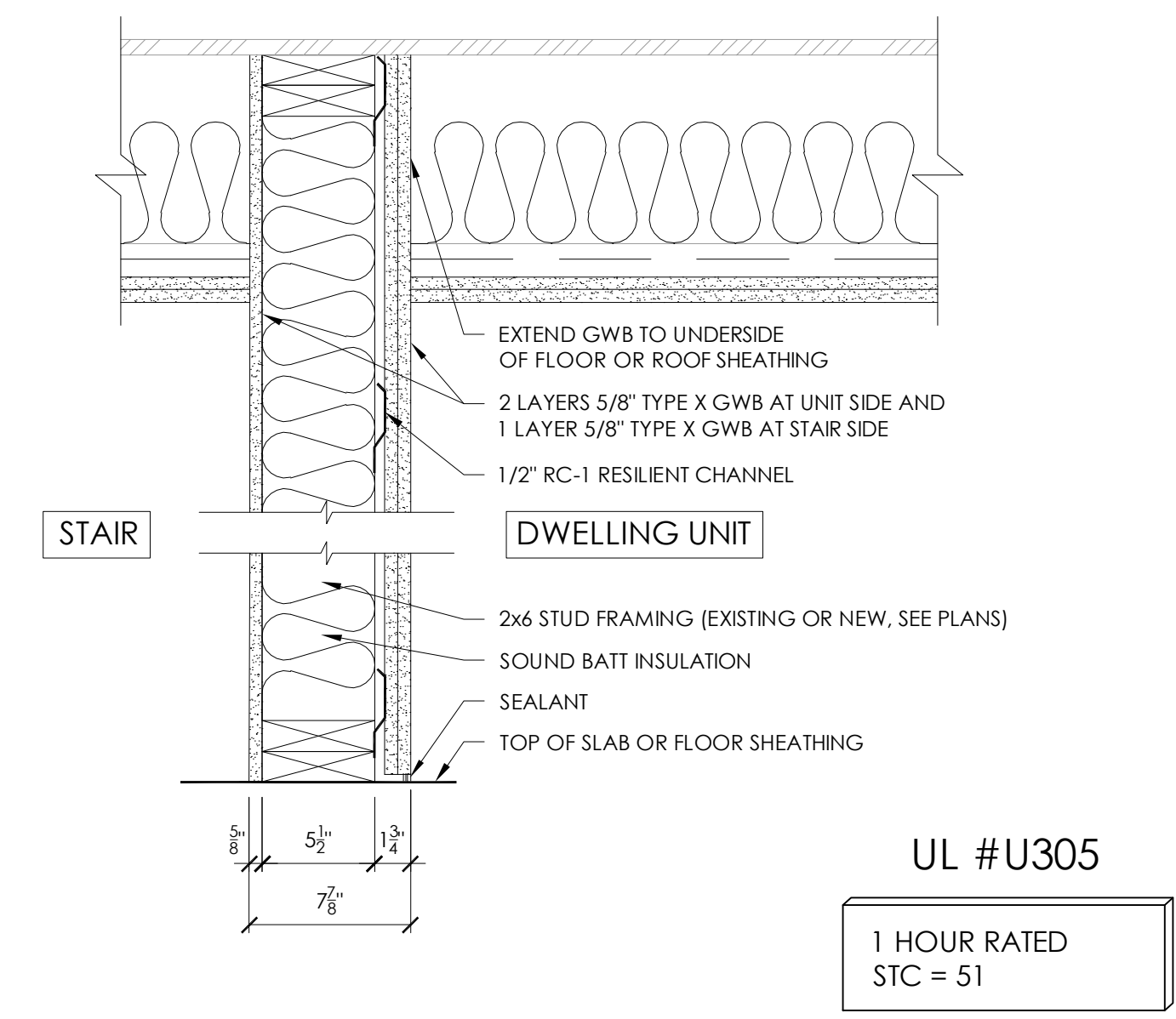
1 FIRST FLOOR PLAN  
1/4" = 1'-0"



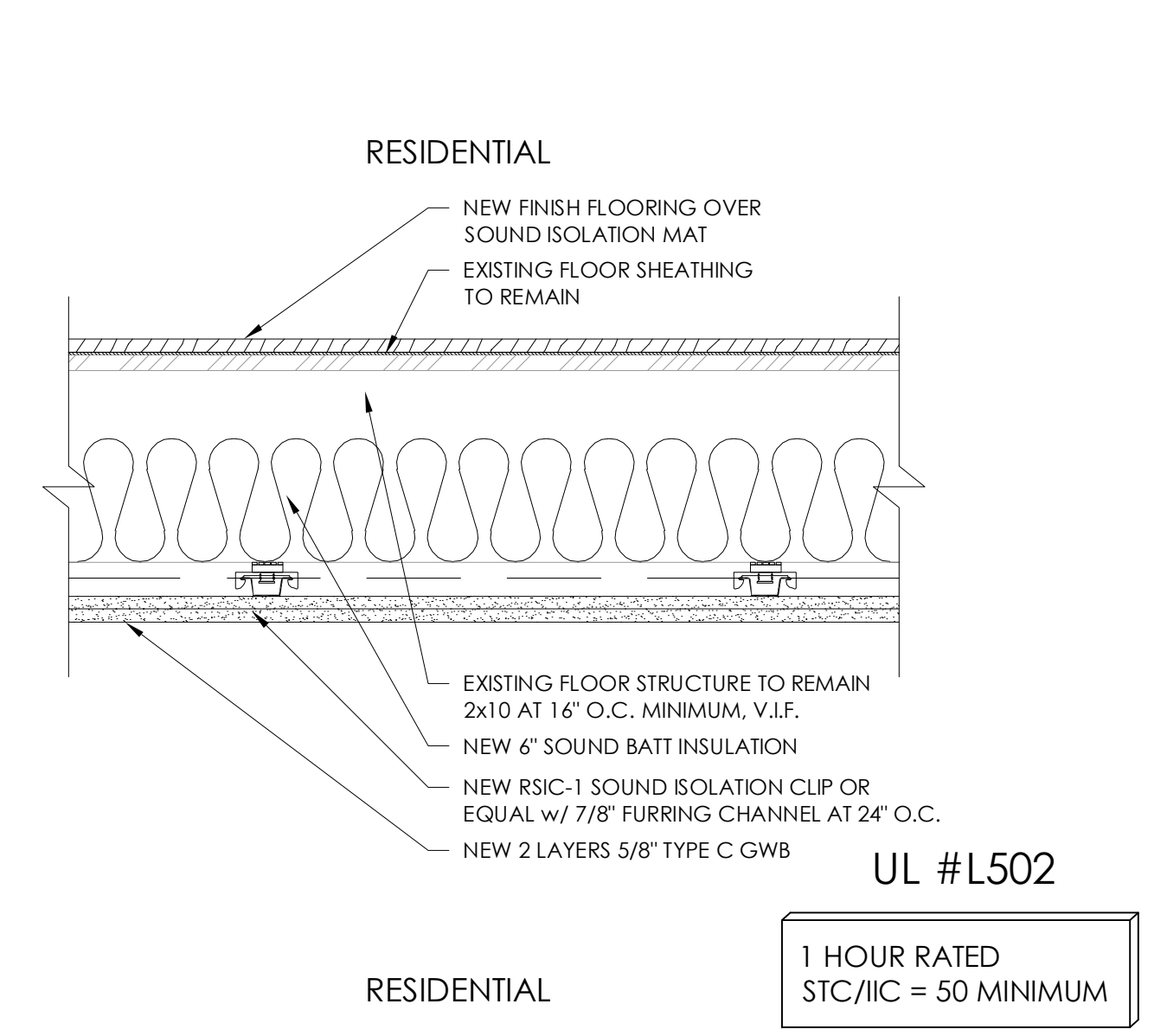
2 SECOND FLOOR PLAN  
1/4" = 1'-0"



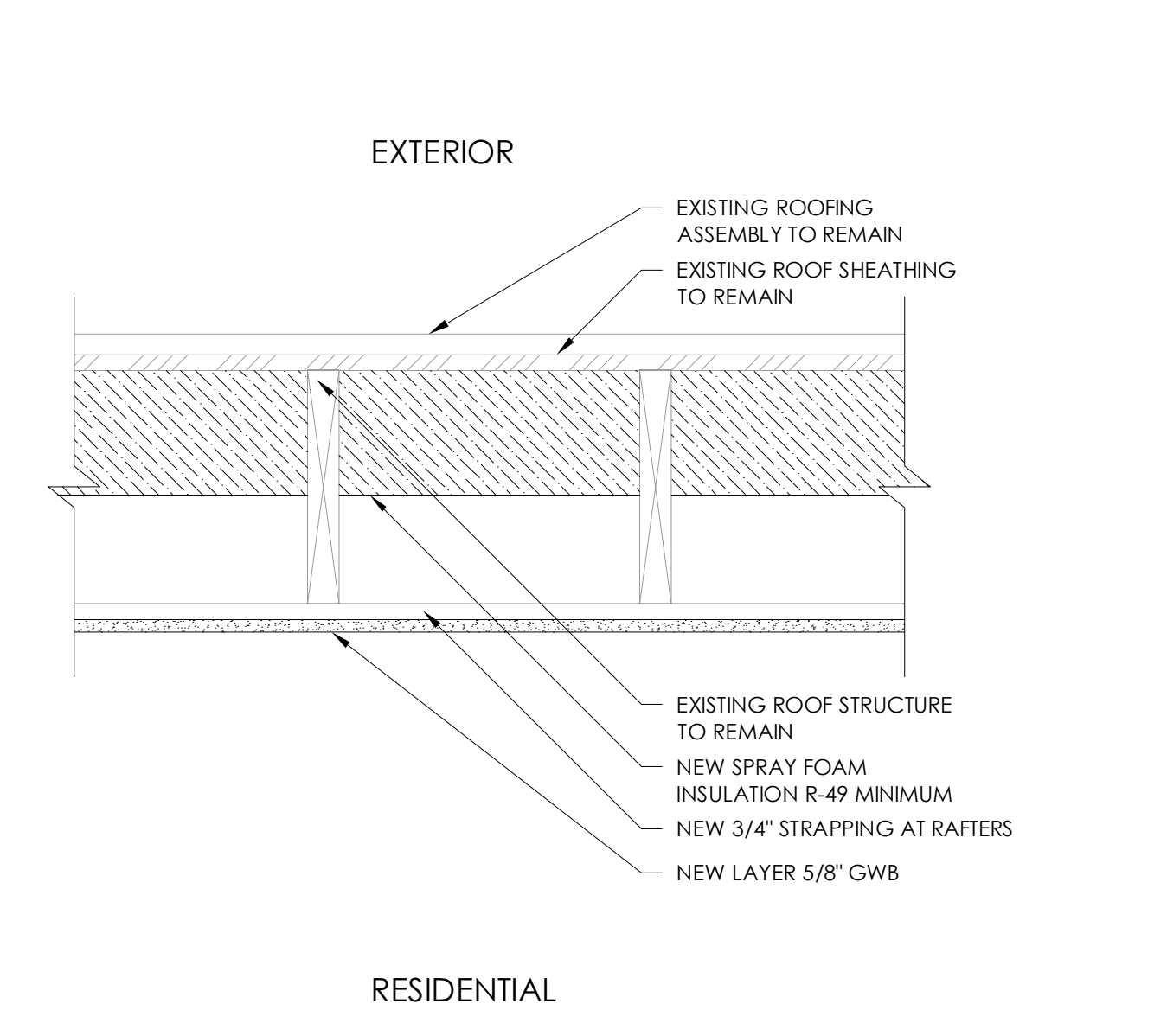
1 WALL TYPE 1 (UNIT DEMISING WALL)



2 WALL TYPE 2 (STAIR ENCLOSURE WALL)



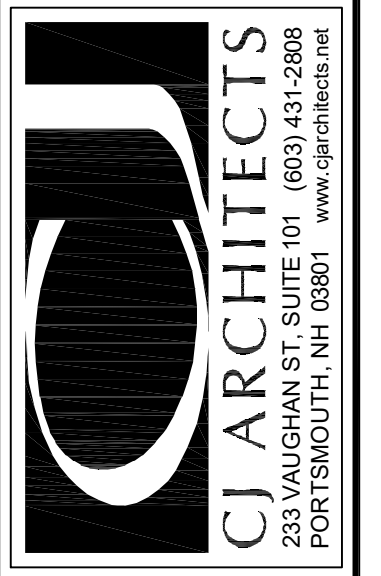
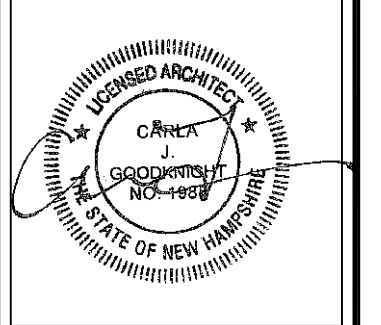
TYPICAL FLOOR/CEILING ASSEMBLY



TYPICAL ROOF/CEILING ASSEMBLY

REVISIONS:  
 REV 1: 08/30/2019  
 REV 2: 09/16/2019  
 REV 3: 09/22/20

NED & BILL PROPERTIES, LLC  
 621 ISLINGTON STREET  
 PORTSMOUTH, NH



NEW FLOOR PLANS

DATE: 8/30/2019  
 DRAWN BY: JAW  
 APPROVED BY: CJG  
 SCALE: 1/8" = 1'-0"  
 JOB NUMBER: 21722

A1.2

ISSUED FOR PERMIT



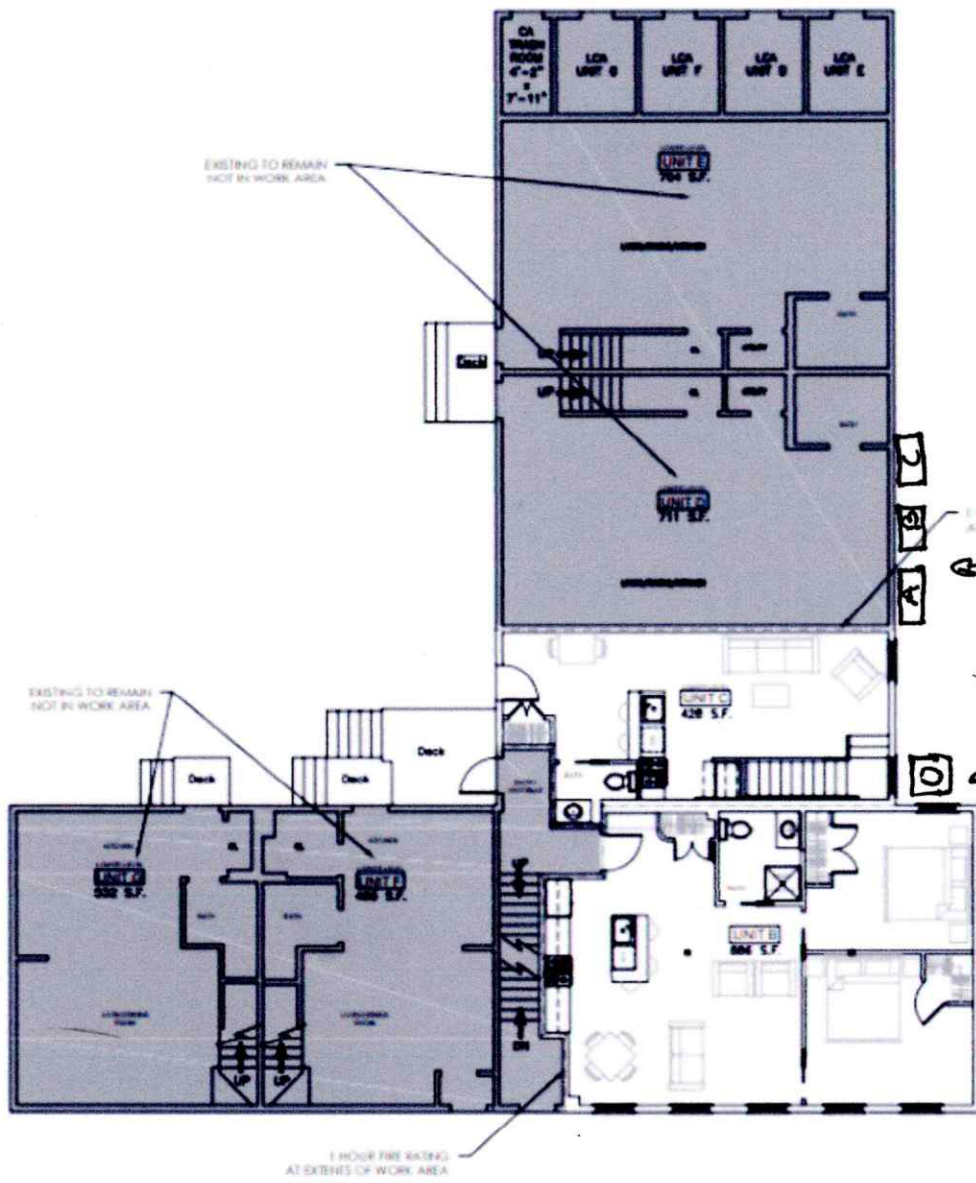
## Owners' authorization

I, Edmund Savoie, owner of the building authorize the mechanical contractor MCP Heating, Cooling and Air Quality LLC , located at 86 Lafayette road, North Hampton, New Hampshire, 03862 to represent me on the process of approvals in which the desired result is to get permission from the Historic District Commission to place 3 new condensers on the side of the building facing White heron's parking lot.

Print name: Edmund Savoie, Member, Ned and Bill Properties, LLC

A handwritten signature in black ink, appearing to read 'E Savoie', written in a cursive style.

Date and signature: \_August 18, 2023

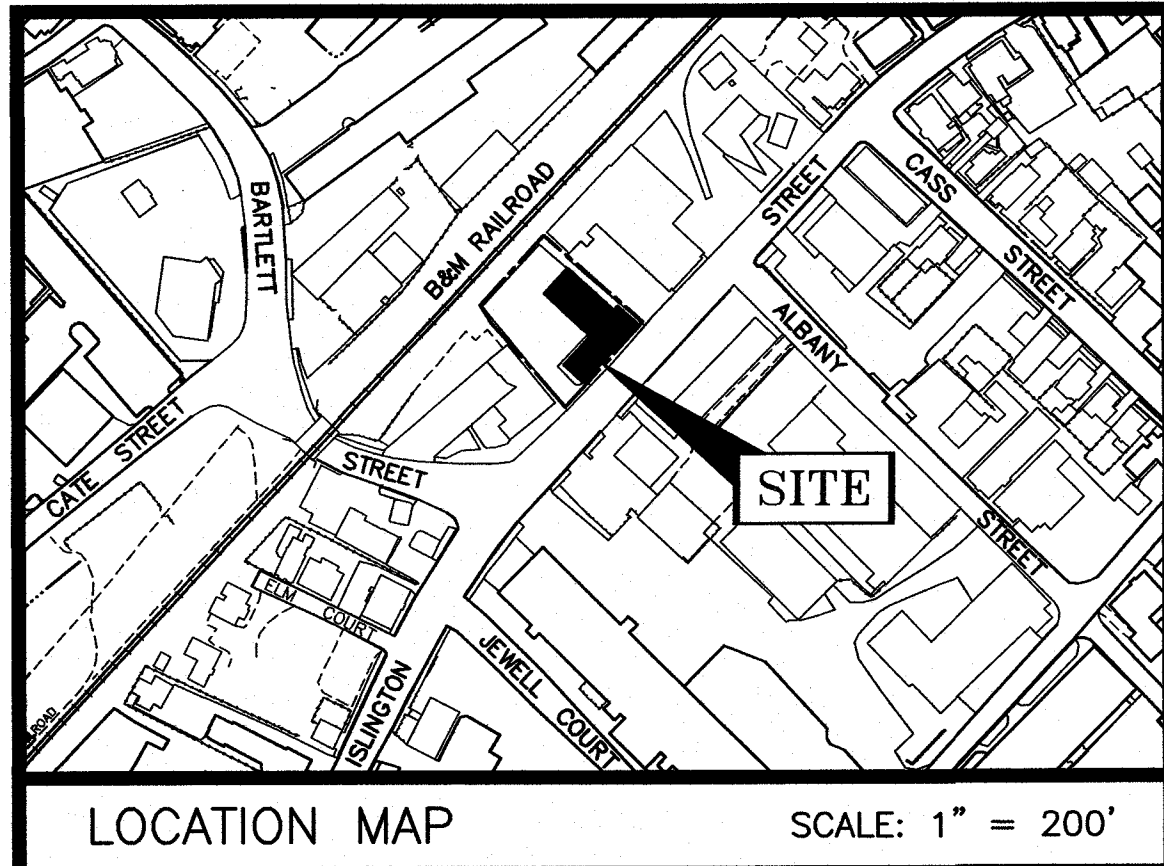


1 FIRST FLOOR OVERALL PLAN  
15-110

NEW MITSUBISHI  
CONDENSERS TO  
BE INSTALLED FOR  
UNITS A, B AND C.

EXISTING YORK  
CONDENSER TO  
BE REMOVED





LOCATION MAP SCALE: 1" = 200'

**LEGEND:**

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- RR SPK RAILROAD SPIKE
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- LCA (A) LCA PARKING/UNIT A

**VARIANCES: GRANTED 21, NOVEMBER 2017**

1. A VARIANCE FROM SECTION 10.5A41.10B TO ALLOW THE FOLLOWING : (A) A LOT AREA PER DWELLING UNIT OF 2,074 S.F. WHERE 2,500 S.F IS REQUIRED; (B) 9.7% OPEN SPACE WHERE 15% IS THE MINIMUM REQUIRED; (C) A GROUND STORY HEIGHT OF 7'7" TO 8'1" WHERE 12' IS THE MINIMUM REQUIRED; (D) A FACADE MODULATION LENGTH IN EXCESS OF 80' WHERE 80' IS THE MAXIMUM ALLOWED; (E) FACADE GLAZING IN EXCESS OF 50%; AND (F) A GROUND FLOOR SURFACE ABOVE SIDEWALK GRADE IN EXCESS OF 36" WHERE 36" IS THE MAXIMUM ALLOWED.

**LENGTH TABLE**

No.	Bearing	Distance
L1	N40°59'03"W	20.61'

I, JOHN R. CHAGNON, LICENSED LAND SURVEYOR, HEREBY CERTIFY:

- A) THAT THIS SITE PLAN ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS SHOWN HEREON, SPECIFICALLY UNITS A-G, AND
- B) THAT SAID UNITS A-C ARE NOT YET COMPLETED, AND
- C) THAT SAID UNITS D-G HAVE BEEN SUBSTANTIALLY COMPLETED, AND
- D) THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 356-B : 20.

*[Signature]* 7-29-18  
 JOHN R. CHAGNON, LLS #738 DATE

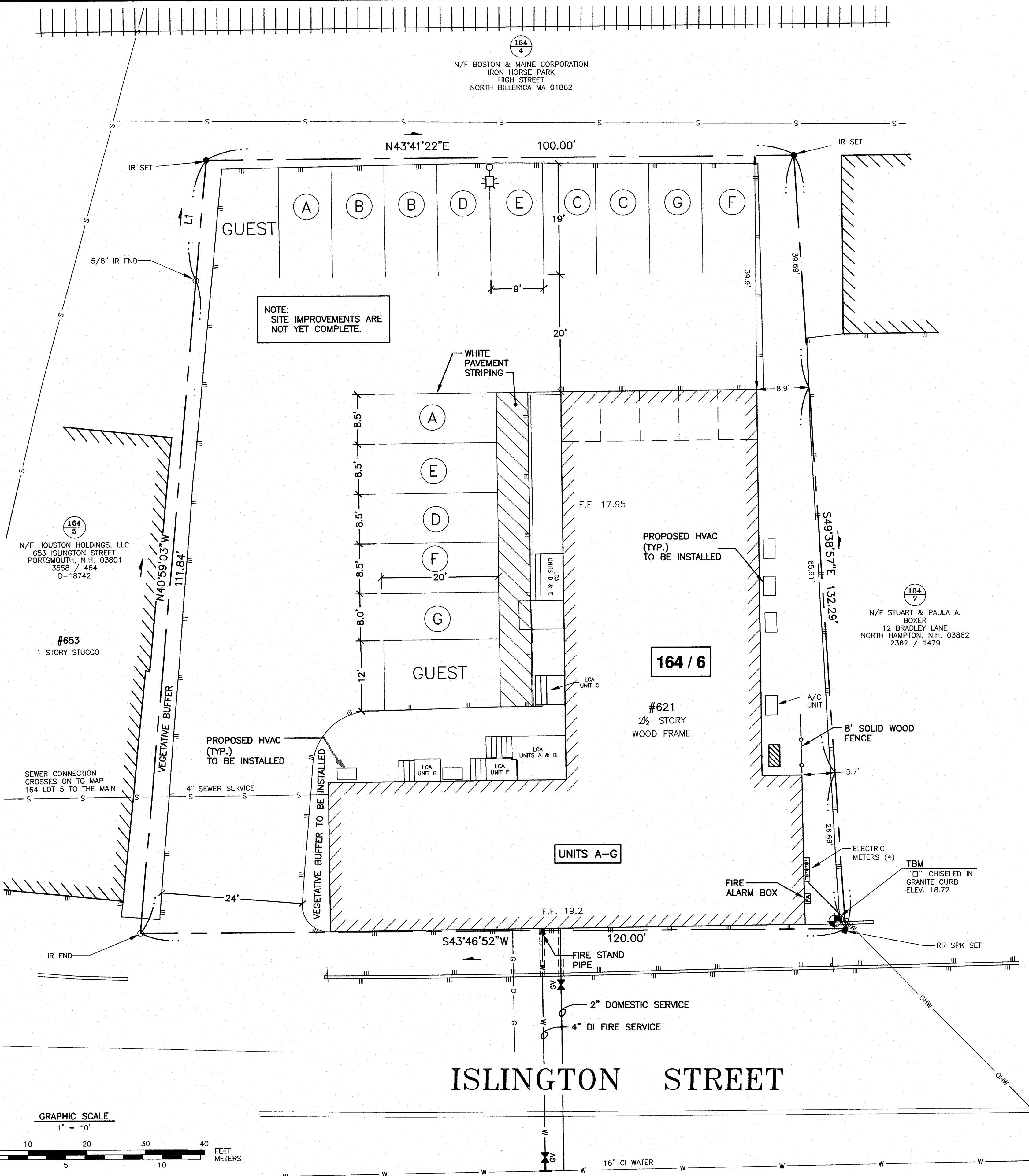
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

*[Signature]* 7-29-18  
 JOHN R. CHAGNON, LLS #738 DATE

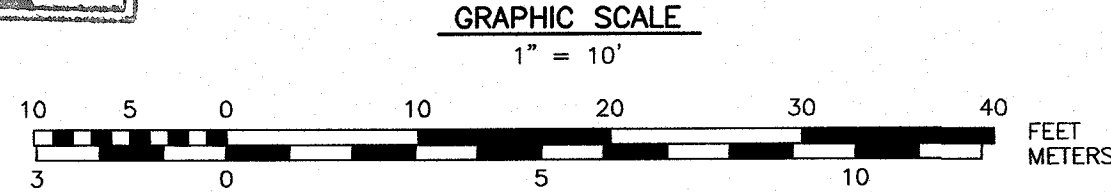
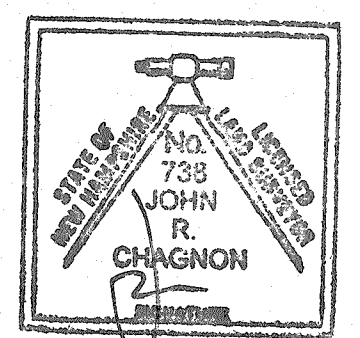
**ABUTTERS ON SOUTH SIDE OF ISLINGTON STREET**

155/2  
 N/F LIBERTY TRUST  
 F. M. GORDON, TRUSTEE  
 c/o STORE 24 EST DEPARTMENT  
 14 HOWARD STREET  
 ROCKLAND, MA 02370  
 2650 / 1633

155/1  
 N/F PAUL E. HARVEY, SR.  
 REVOCABLE TRUST OF '91  
 97 MIDDLE ROAD  
 PORTSMOUTH, N.H. 03801  
 2903 / 2100



NOTE: SITE IMPROVEMENTS ARE NOT YET COMPLETE.



**AMBIT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 200 Griffin Road - Unit 3  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 164 AS LOT 6.
  - 2) OWNERS OF RECORD: NED & BILL PROPERTIES, LLC  
 40 BRIDGE STREET  
 PORTSMOUTH, N.H. 03801  
 4586/2511
  - 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E, EFFECTIVE MAY 17, 2005.
  - 4) LOT AREA/SUBMITTED LAND: 14,517 S.F. 0.3333 ACRES
  - 5) THE PURPOSE OF THIS PLAN IS TO DECLARE A 7 UNIT CONDOMINIUM ON THE SITE AS PROVIDED IN RSA 356-B.
  - 6) DATUM: V28 1942 DISC (NGVD 1929)  
 BENCHMARK: SQUARE CHISELED IN END OF GRANITE CURB AT BACK OF SIDEWALK AT EASTERLY FRONT CORNER OF LOCUS BUILDING.  
 ELEVATION = 18.72
  - 7) OFFSETS ARE TO BUILDING FACE AND ARE PERPENDICULAR TO PROPERTY LINES

NO.	DESCRIPTION	DATE
4	LCA ASSIGNMENTS	7/29/18
3	ISSUED FOR COMMENT	7/23/18
2	ISSUED FOR RECORDING	4/26/07
1	ISSUED FOR COMMENT	4/19/07
0	ISSUED FOR COMMENT	1/26/07

**CONDOMINIUM SITE PLAN**  
 TAX MAP 164 - LOT 6  
 621 ISLINGTON STREET CONDOMINIUM  
 FOR  
 NED & BILL PROPERTIES, LLC  
 621 ISLINGTON STREET  
 CITY OF PORTSMOUTH  
 COUNTY OF ROCKINGHAM  
 STATE OF NEW HAMPSHIRE

# MXZ-3C30NAHZ4 2.5-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM

Job Name:

System Reference:

Date:



## FEATURES

- Variable speed INVERTER-driven compressor
- Built-in base pan heater
- Quiet outdoor unit operation as low as 54 dB(A)
- High-pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 88% heating capacity at -13°F
- Blue Fin anti-corrosion treatment applied to the outdoor unit heat exchanger for increased coil protection and longer life
  - Rated for 2,000 hours spraying time per ASTM B117 Standard

ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.

Specifications are subject to change without notice.

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# SPECIFICATIONS: MXZ-3C30NAHZ4

Cooling <sup>1</sup> (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	30,000 // 28,700 // 27,400	
	Rated Capacity	BTU/H	28,400 // 27,900 // 27,400	
	Minimum Capacity	BTU/H	12,600 // 12,600 // 12,600	
	Maximum Power Input	W	4,200 // 3,985 // 3,770	
	Rated Power Input	W	2,272 // 2,467 // 2,661	
	Power Factor (208V, 230V)	%	99.0, 99.0 // 99.0, 99.0 // 99.0, 99.0	
Heating at 47°F <sup>2</sup> (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	36,000 // 35,500 // 35,000	
	Rated Capacity	BTU/H	28,600 // 28,100 // 27,600	
	Minimum Capacity	BTU/H	11,400 // 11,400 // 11,400	
	Maximum Power Input	W	5,400 // 4,970 // 4,540	
	Rated Power Input	W	2,096 // 2,142 // 2,187	
	Power Factor (208V, 230V)	%	99.0, 99.0 // 99.0, 99.0 // 99.0, 99.0	
Heating at 17°F <sup>3</sup> (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	28,600 // 28,100 // 27,600	
	Rated Capacity	BTU/H	18,000 // 17,250 // 16,500	
	Maximum Power Input	W	4,192 // 4,225 // 4,258	
	Rated Power Input	W	1,990 // 1,992 // 1,993	
Heating at 5°F <sup>4</sup> (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	28,600 // 28,100 // 27,600	
	Maximum Power Input	W	4,290 // 4,495 // 4,700	
Efficiency (Non-Ducted // Mix // Ducted)	SEER2		18.0 // 17.0 // 16.0	
	EER2 <sup>1</sup>		12.5 // 11.4 // 10.3	
	HSPF2 (IV)		10.0 // 9.25 // 8.5	
	COP at 47°F <sup>2</sup>		4.0 // 3.84 // 3.7	
	COP at 17°F at Maximum Capacity <sup>3</sup>		2.0 // 1.94 // 1.9	
	COP at 5°F at Maximum Capacity <sup>4</sup>		1.95 // 1.83 // 1.75	
	ENERGY STAR <sup>®</sup> Certified		Yes // No // No	
Electrical	Electrical Power Requirements	Voltage, Phase, Frequency	208/230, 1, 60	
	Guaranteed Voltage Range	V AC	187-253	
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230	
	Voltage: Indoor - Outdoor, S2-S3	V DC	24	
	Short-circuit Current Rating (SCCR)	kA	5	
	Recommended Fuse/Breaker Size	A	40	
	Recommended Wire Size (Indoor - Outdoor)	AWG	14	
	Minimum Circuit Ampacity	A	31.5	
	Maximum Overcurrent Protection	A	40	
	Fan Motor Full Load Amperage	A	2.43	
Outdoor unit	Airflow Rate (Cooling / Heating)	CFM	2,224 / 2,550	
	Refrigerant Control		LEV	
	Defrost Method		Reverse Cycle	
	Heat Exchanger Type		Plate Fin Coil	
	Heat Exchanger Coating		Blue Fin Coating	
	Sound Pressure Level, Cooling <sup>1</sup>	dB(A)	54	
	Sound Pressure Level, Heating <sup>2</sup>	dB(A)	58	
	Compressor Type		DC INVERTER-driven Twin Rotary	
	Compressor Model		MNB33FBTMC	
	Compressor Rated Load Amps	A	19.2	
	Compressor Locked Rotor Amps	A	28.8	
	Compressor Oil Type // Charge	oz.	FV50S // 37.2	
	Base Pan Heater		Optional	
	Unit Dimensions	W: In. [mm]		37-13/32 [950]
		D: In. [mm]		13 [330]
		H: In. [mm]		41-17/64 [1,048]
	Package Dimensions	W: In. [mm]		41-3/8 [1,050]
		D: In. [mm]		17-3/8 [440]
		H: In. [mm]		48-7/16 [1,230]
	Unit Weight	Lbs.[kg]		189 [86]
Package Weight	Lbs.[kg]		218 [99]	
Outdoor unit operating temperature range	Cooling Intake Air Temp (Maximum / Minimum <sup>5</sup> )	°FDB	115 / 14	
	Cooling Thermal Lock-out / Re-start Temperatures	°FDB	10.4 / 14	
	Heating Intake Air Temp (Maximum / Minimum)	°FWB	65 / -13	
	Heating Thermal Lock-out / Re-start Temperatures	°FDB	-18 / -14	
Refrigerant	Pre-Charged Refrigerant Amount	Lbs, oz	8.0, 13.0	
	Maximum Pre-Charged Piping Length	Ft. [m]	98.0 [30.0]	
	Additional Refrigerant Charge Per Additional Piping Length	oz./Ft. [g/m]	0.216 [20]	

**NOTES:**

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

<sup>1</sup>Cooling (Indoor // Outdoor)

<sup>2</sup>Heating at 47°F (Indoor // Outdoor)

<sup>3</sup>Heating at 17°F (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

°F 70 DB, 60 WB // 47 DB, 43 WB

°F 70 DB, 60 WB // 17 DB, 15 WB

Conditions

<sup>4</sup>Heating at 5°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 5 DB, 4 WB

\*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

<sup>5</sup> 5°F DB - 115°F DB when optional wind baffles are installed

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

## SPECIFICATIONS: MXZ-3C30NAHZ4

Indoor unit connection	Maximum Number of Connected IDU		3
	Minimum Number of Connected IDU		2
	Minimum connected capacity	BTU/H	12,000
	Maximum connected capacity	BTU/H	36,000
Piping	Liquid Pipe Size O.D. (Flared)	In.[mm]	A,B,C: 1/4 [A,B,C: 6.35]
	Gas Pipe Size O.D. (Flared)	In.[mm]	A: 1/2; B,C: 3/8 [A: 12.72; B,C: 9.52]
	Total Piping Length	Ft. [m]	230 [70]
	Maximum Height Difference, ODU above IDU	Ft. [m]	49 [15]
	Maximum Height Difference, ODU below IDU	Ft. [m]	49 [15]
	Farthest Piping Length from ODU to IDU	Ft. [m]	82 [25]
	Maximum Number of Bends for IDU		70

**NOTES:**

AHRI Rated Conditions (Rated data is determined at a fixed compressor speed)	<sup>1</sup> Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
	<sup>2</sup> Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB
	<sup>3</sup> Heating at 17°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 17 DB, 15 WB

Conditions	<sup>4</sup> Heating at 5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 5 DB, 4 WB
------------	---	----	----------------------------

\*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

<sup>A</sup> 5°F DB - 115°F DB when optional wind baffles are installed

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance. Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.



## OUTDOOR UNIT ACCESSORIES: MXZ-3C30NAHZ4

Air Outlet Guide	Air Outlet Guide (1 Piece)	PAC-SH96SG-E
Ball Valve	Refrigeration Ball Valve - 1/2"	BV12FFSI2
	Refrigeration Ball Valve - 1/4"	BV14FFSI2
	Refrigeration Ball Valve - 3/8"	BV38FFSI2
	Refrigeration Ball Valve - 5/8"	BV58FFSI2
Drain Socket	Drain Socket	PAC-SG60DS-E
Hail Guards	Hail Guard	HG-A1
M-NET Converter	M-NET Converter	PAC-IF01MNT-E
Mini-Split Wire	14 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S144-250
	14 Gauge, 4 wire MiniSplit Cable—250 ft. roll	SW144-250
	14 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S144-50
	14 Gauge, 4 wire MiniSplit Cable—50 ft. roll	SW144-50
	16 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S164-250
	16 Gauge, 4 wire MiniSplit Cable—250 ft. roll	SW164-250
	16 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S164-50
	16 Gauge, 4 wire MiniSplit Cable—50 ft. roll	SW164-50
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Port Adaptor	Adaptor: 1/2" x 3/8"	MAC-A455JP-E
	Adaptor: 1/2" x 5/8"	MAC-A456JP-E
	Adaptor: 3/8" x 1/2"	MAC-A454JP-E
	Adaptor: 3/8" x 5/8"	PAC-SG76RJ-E
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M



**4. 147 Congress Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design (adjustment to west elevation, alterations to windows and canopies, the addition of roof drains and leaders and the removal of the brick reveal and recessed lighting.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-668

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 8/18/2023

**Primary Location**  
147 CONGRESS ST  
Portsmouth, NH 03801  
**Owner**  
LUCKY THIRTEEN  
PROPERTIES LLC  
PO BOX 300 RYE, NH 03870-  
0300

**Applicant**  
 Danielle Cain  
 603-501-0202  
dcain@marketsquarearchitects.com  
 104 Congress St  
Suite 203  
Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below **Alternative Project Address ?**

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

- ADJUSTMENT TO WEST ELEVATION
- MINOR ALTERATIONS TO WINDOWS AND CANOPIES DUE TO STRUCTURAL REQUIREMENTS
- INCLUSION OF ROOF DRAINS AND RAIN LEADERS
- REMOVAL OF BRICK REVEAL AND RECESSED LIGHT

### Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

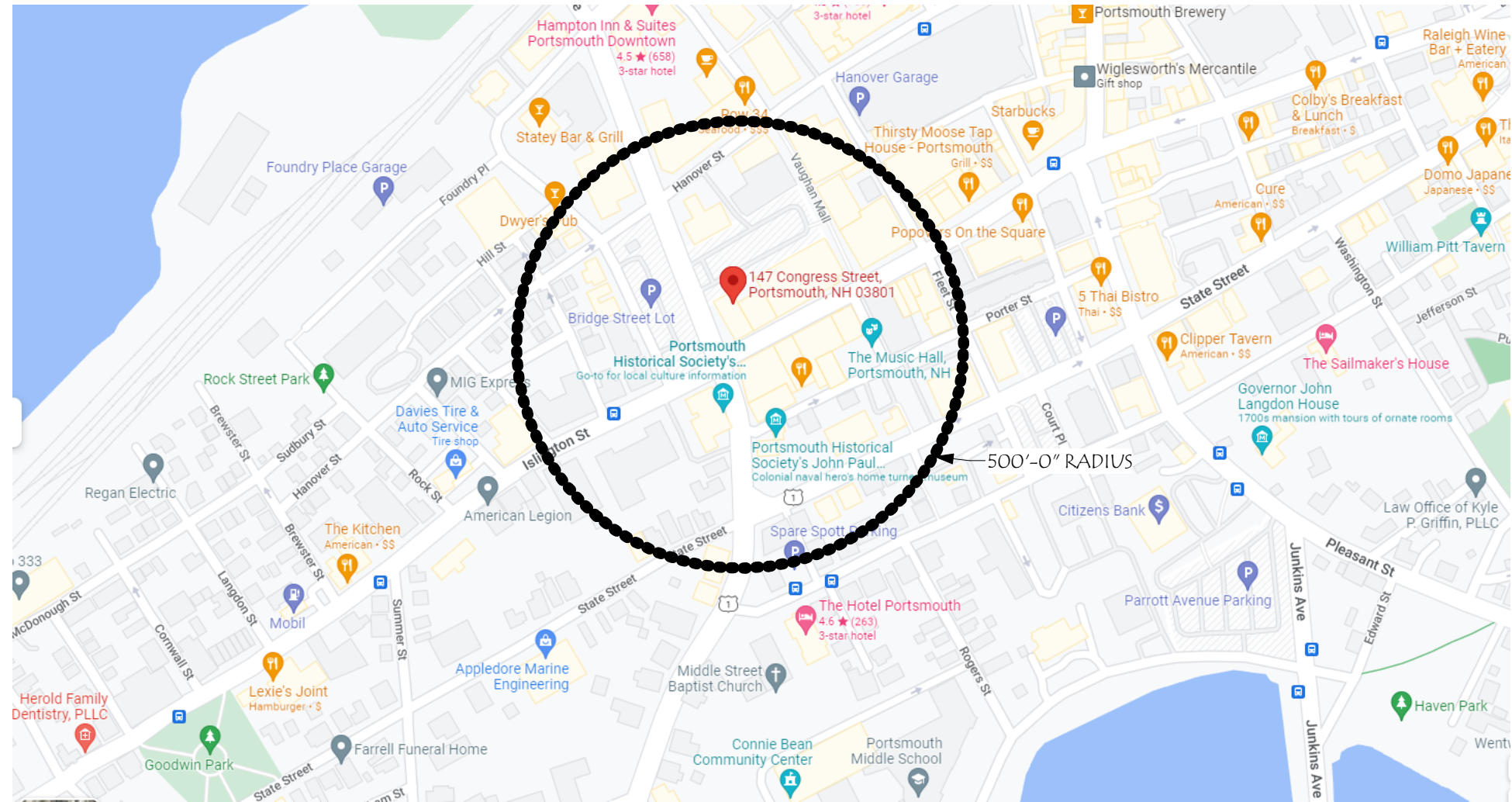
# 147 CONGRESS STREET

GENERAL PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE ADDITION OF A NEW GROUND UP SINGLE STORY STRUCTURE TO AN EXISTING BUILDING

NEW SCOPE:

- ◇ ADJUSTMENT TO WEST ELEVATION
- ◇ MINOR ALTERATIONS TO WINDOWS AND CANOPIES DUE TO STRUCTURAL REQUIREMENTS
- ◇ INCLUSION OF ROOF DRAINS AND RAIN LEADERS
- ◇ REMOVAL OF BRICK REVEAL AND RECESSED LIGHT



ZONING SUMMARY:

ZONING DISTRICT: HISTORIC DISTRICT CD5,  
 DOWNTOWN OVERLAY DISTRICT  
 LOT SIZE: ~6,282 SF  
 MIN OPEN SPACE: 5%  
 BUILDING HEIGHT: 2-3 STORIES, 40'-0" ALLOWED  
 MIN GROUND STORY HEIGHT : 12'-0" MIN REQUIRED  
 MIN GROUND STORY HEIGHT: ~11'-0" EXISTING  
 REQUIRED FACADE TYPE: SHOPFRONT

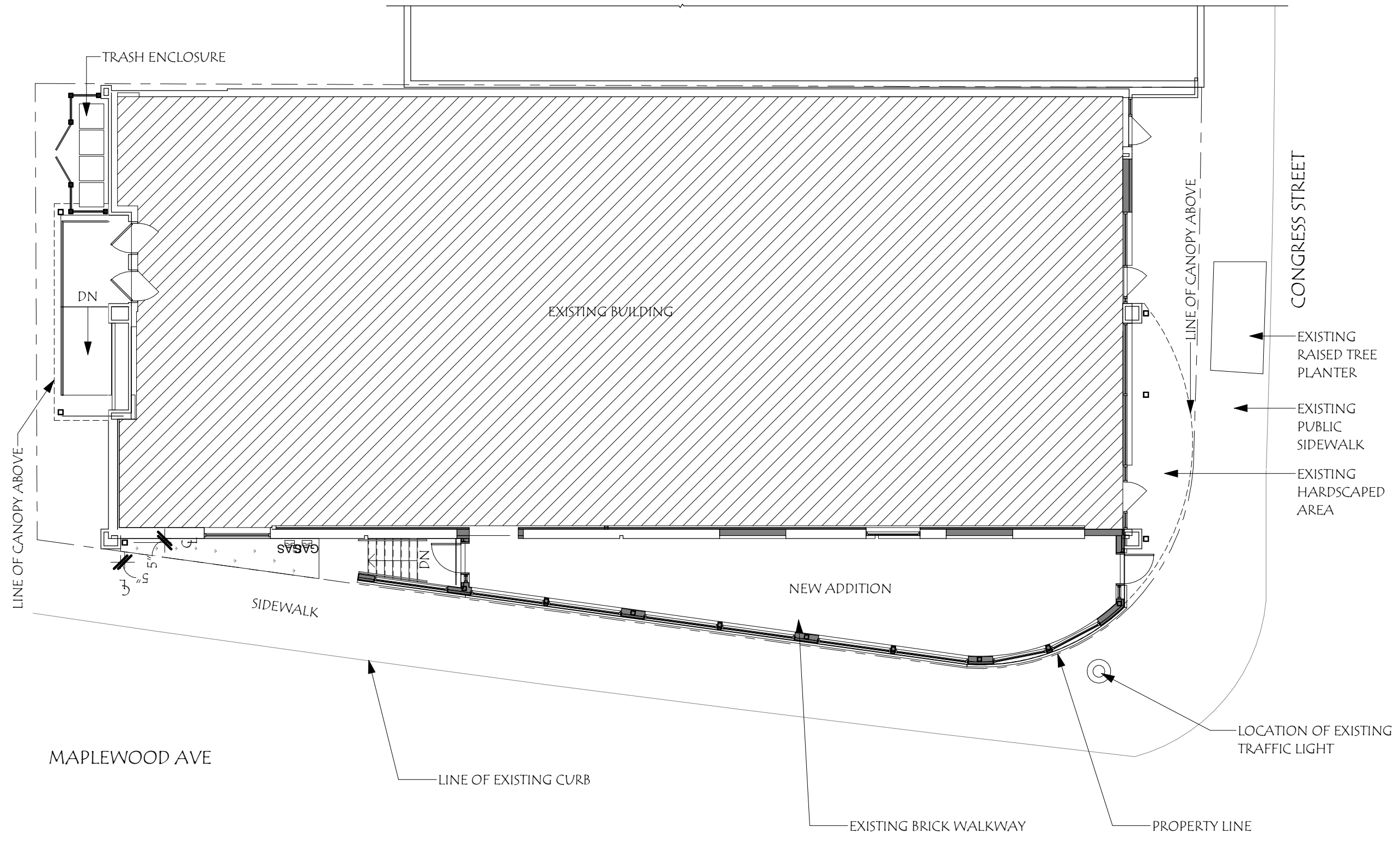
## 147 CONGRESS

147 Congress St  
 Portsmouth, NH 03801

Revisions #	Description	Date

SCALE:	SNH
DRAWN BY:	RJH
CHECKED BY:	202209
PROJECT NO.:	11/18/22
DATE:	8/18/2023 10:25:56 AM

TITLE:	COVER SHEET
	1

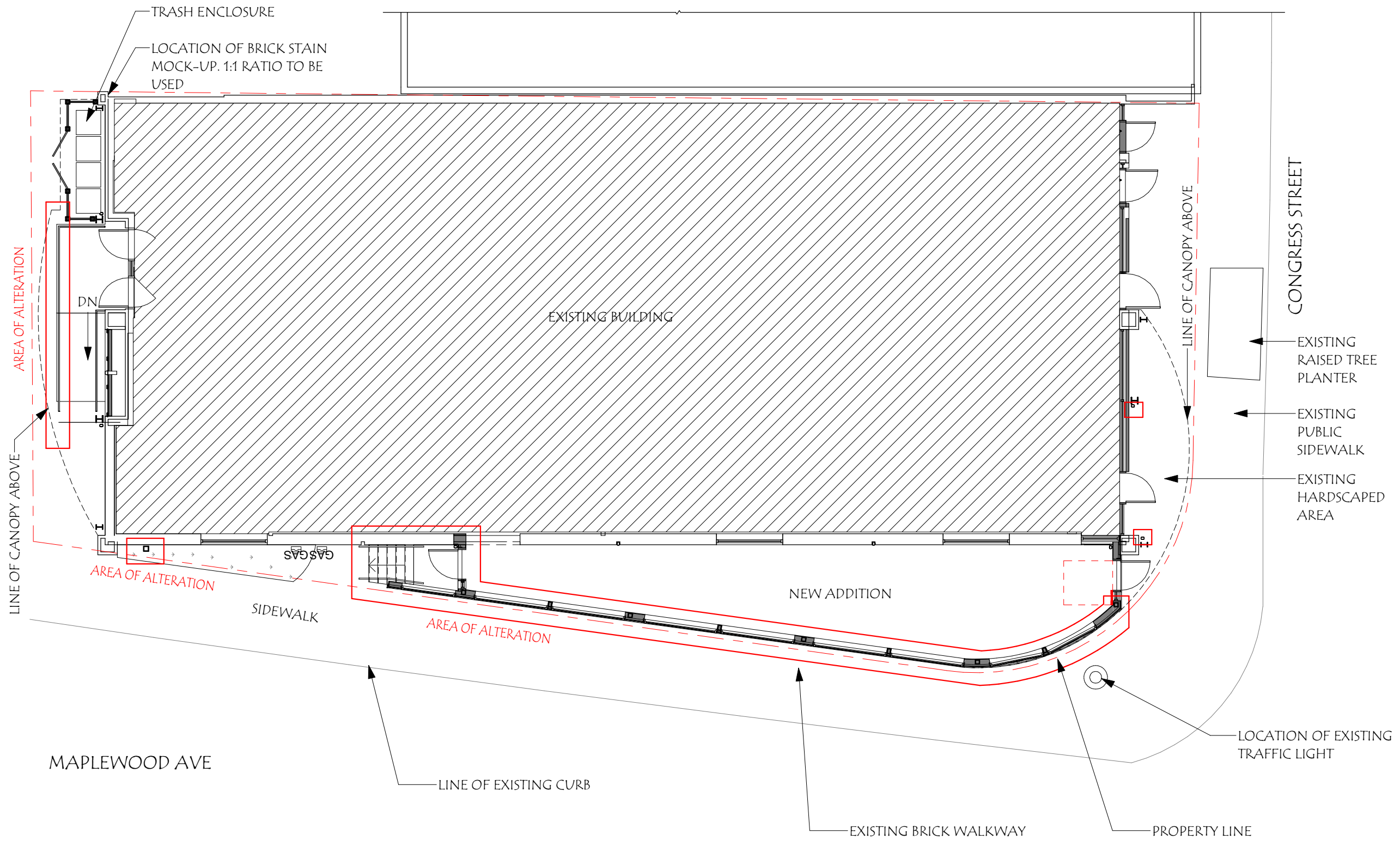


**FLOOR PLAN**  
**PREVIOUSLY APPROVED**

Revisions #	Description	Date

SCALE:	3/32" = 1'-0"
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	10/05/22

TITLE:	PROPOSED PLAN
	8



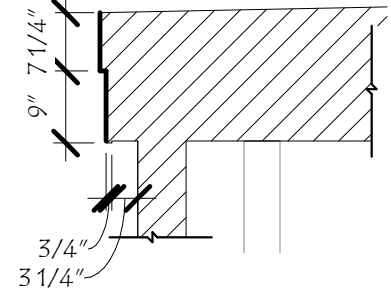
FLOOR PLAN

PROPOSED

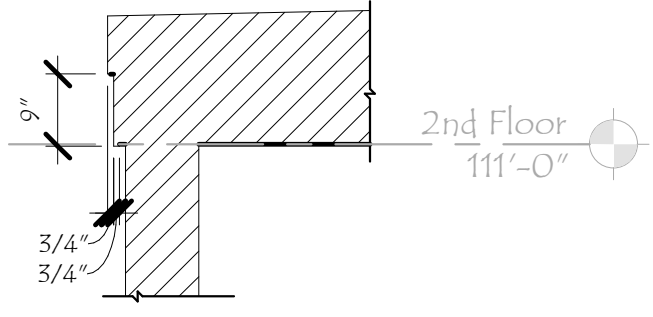
Revisions #	Description	Date

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CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	11/18/22

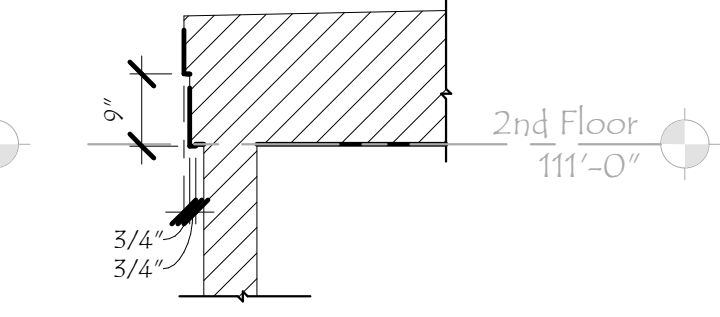
TITLE:	PROPOSED PLAN
	12



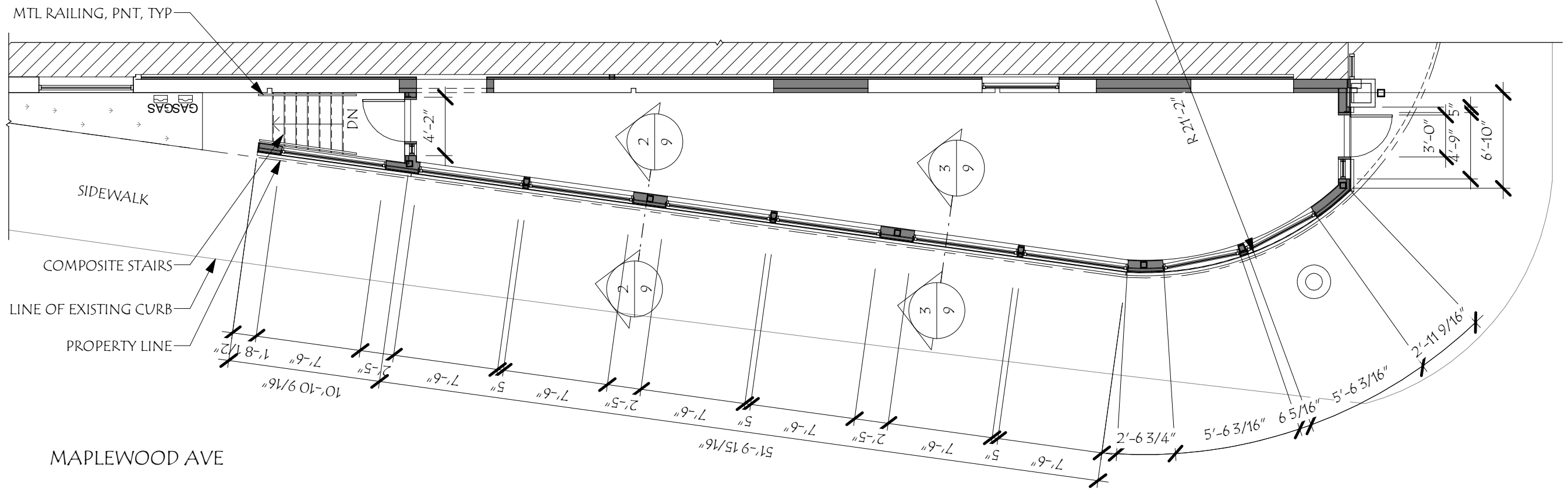
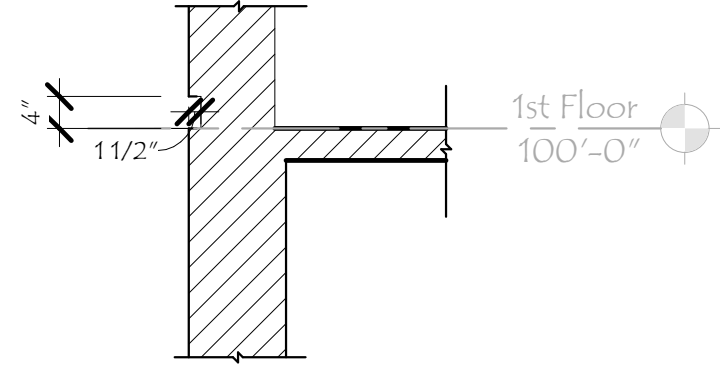
DETAIL 3



DETAIL 2



DETAIL 1



**PREVIOUSLY APPROVED**  
ENLARGED WEST ADDITION PLAN



HISTORIC DISTRICT COMMISSION WORKSESSION/ PUBLIC HEARING OCTOBER 2022

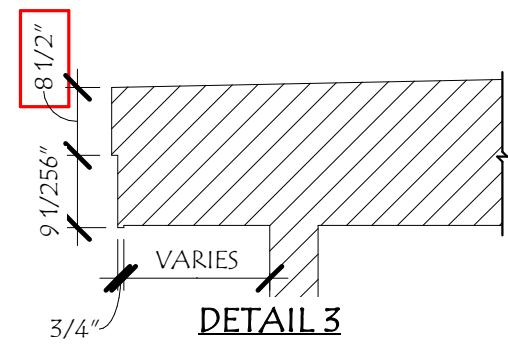
**147 CONGRESS**  
 147 Congress St  
 Portsmouth, NH 03801

Revisions #	Description	Date

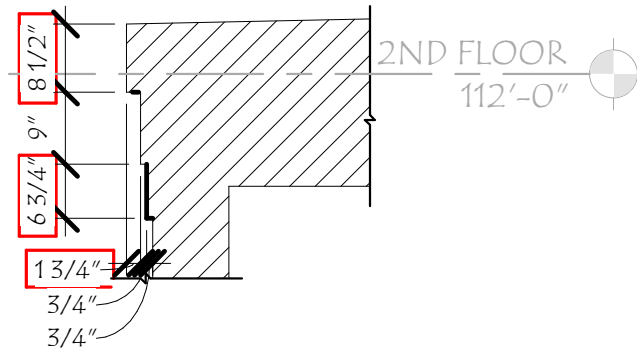
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DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	10/05/22

TITLE:	ENLARGED PLAN
	9

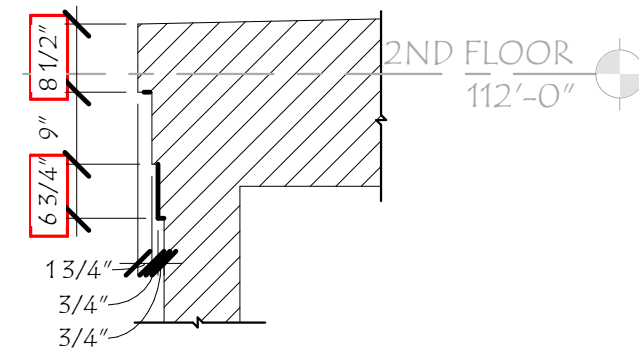




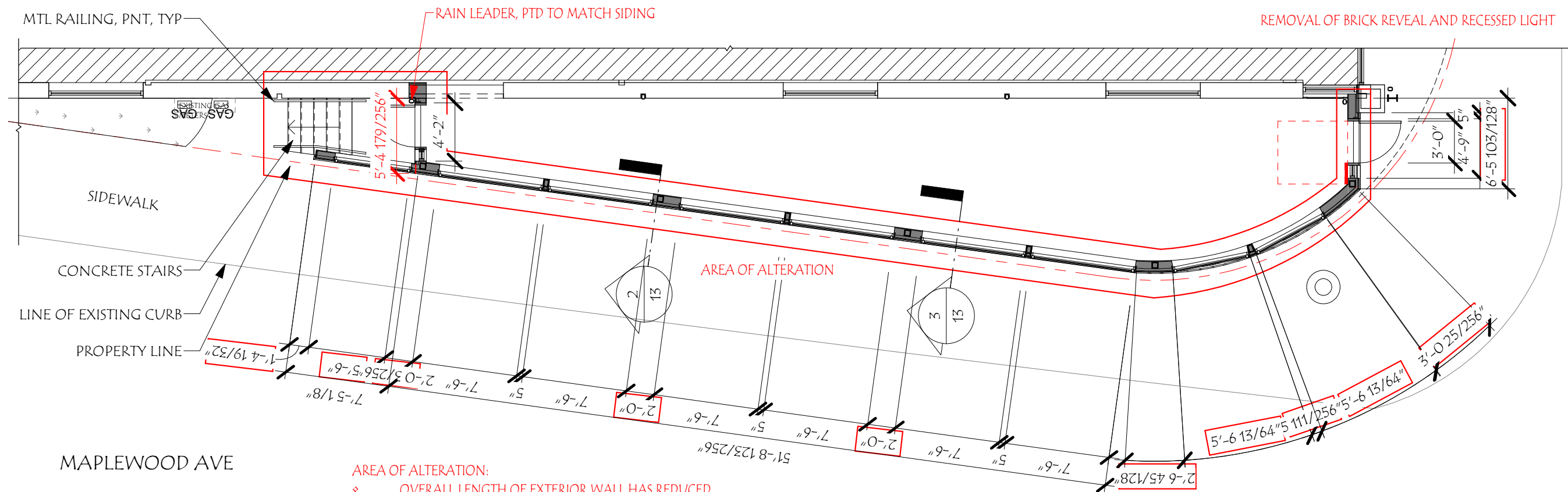
DIMENSIONAL ALTERATION DUE TO HDC BOARD REQUESTS AND STRUCTURAL REQUIREMENTS



DIMENSIONAL ALTERATION DUE TO STRUCTURAL REQUIREMENTS



DIMENSIONAL ALTERATION DUE TO STRUCTURAL REQUIREMENTS  
 REMOVAL OF BRICK REVEAL AND RECESSED LIGHT



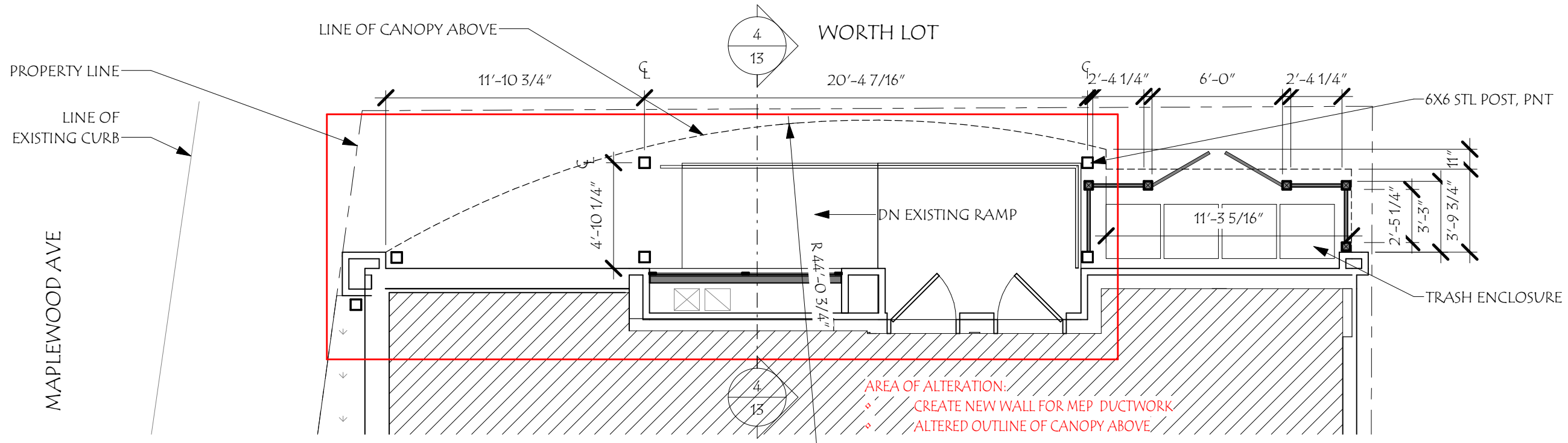
- AREA OF ALTERATION:
- ◇ OVERALL LENGTH OF EXTERIOR WALL HAS REDUCED
  - ◇ LAST BAY OF WINDOWS HAS SHORTENED TO MATCH WINDOWS AT CURVE
  - ◇ ADJUSTED LOCATION OF NEW ADDITION WALL DUE TO UPDATED CIVIL/PROPERTY LINE

ENLARGED WEST ADDITION **PROPOSED**

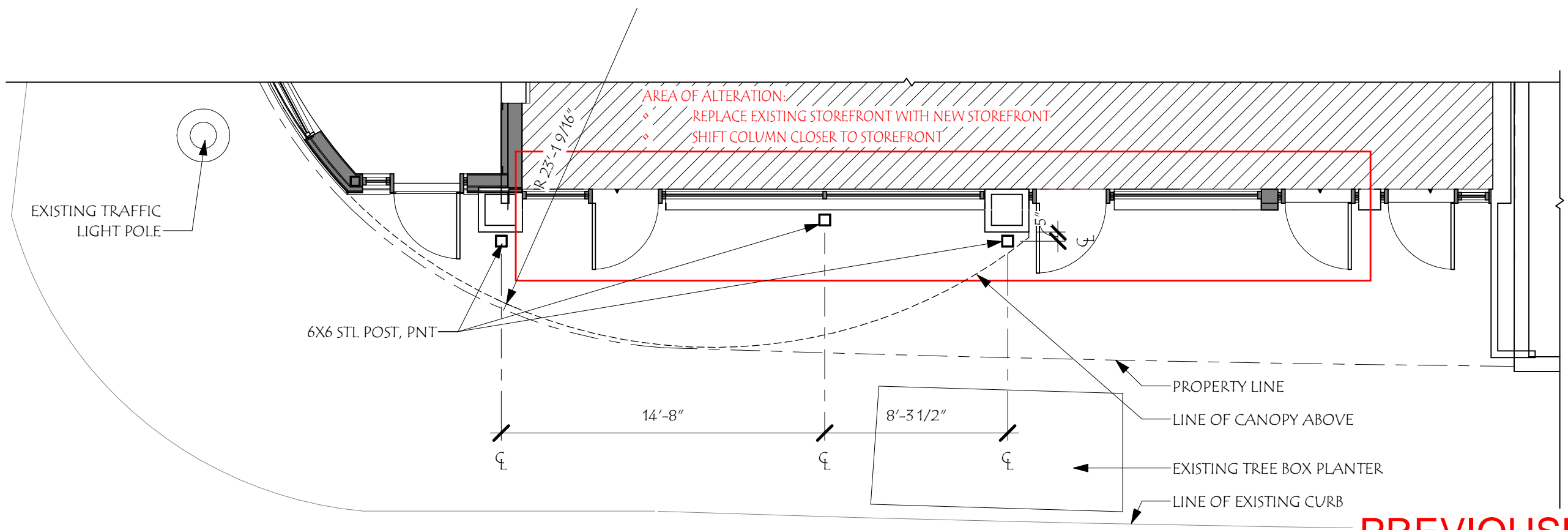
Revisions #	Description	Date

SCALE:	As Indicated	SNH	RJH	202209	11/18/22
DRAWN BY:					
CHECKED BY:					
PROJECT NO.:					
DATE:					

TITLE:	ENLARGED PLAN
	13



ENLARGED NORTH CANOPY PLAN



ENLARGED SOUTH CANOPY PLAN

CONGRESS STR

**PREVIOUSLY APPROVED**



HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL DECEMBER 2022

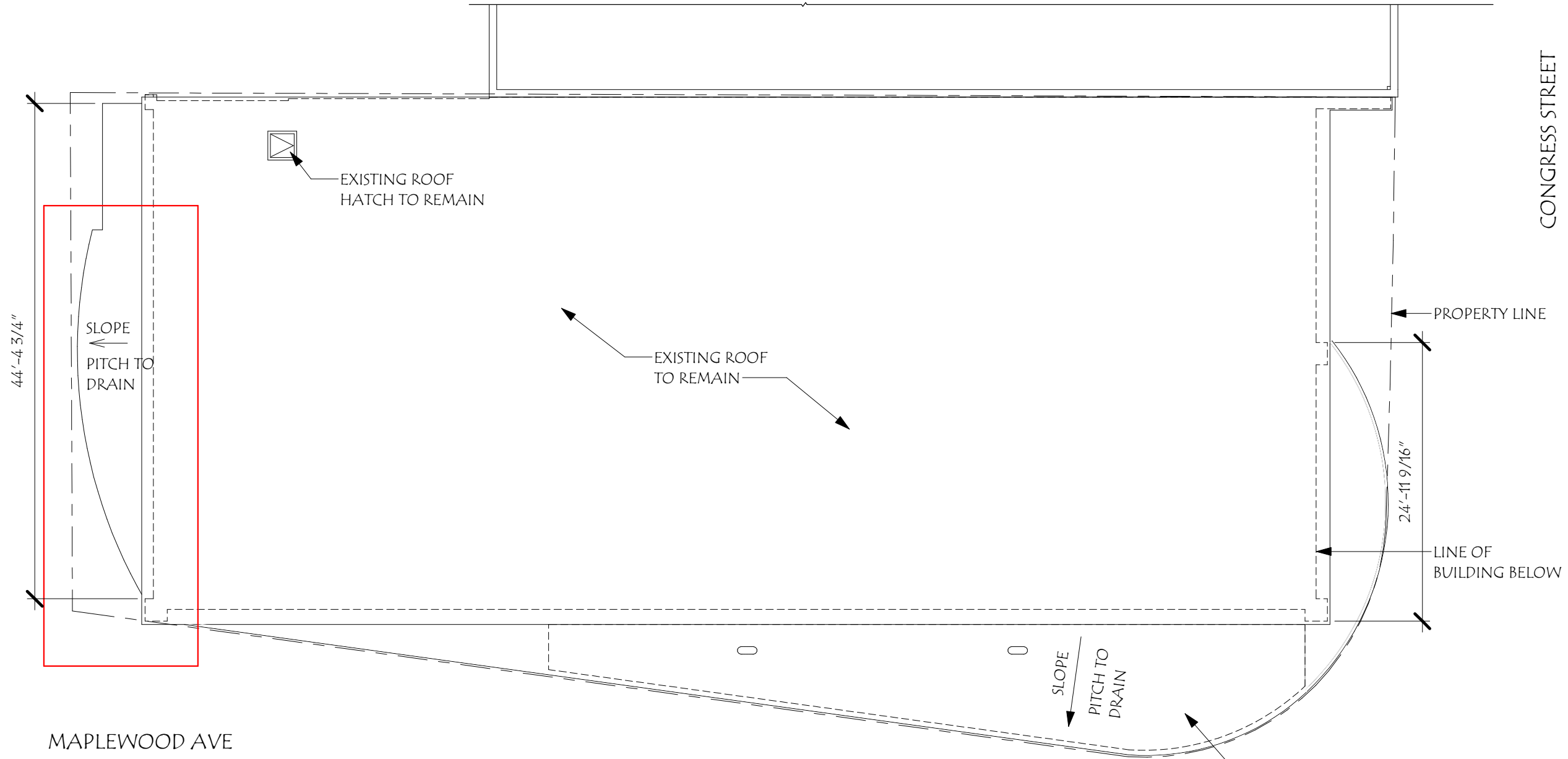
147 CONGRESS  
147 Congress St  
Portsmouth, NH 03801

Revisions #	Description	Date

SCALE:	3/16" = 1'-0"
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	11/18/22

TITLE:	ENLARGED PLAN
	14





MAPLEWOOD AVE

AREA OF ALTERATION:  
 ♦ ALTERED OUTLINE OF CANOPY BELOW

ROOF PLAN

**PREVIOUSLY APPROVED**



HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL  
 DECEMBER 2022

**147 CONGRESS**  
 147 Congress St  
 Portsmouth, NH 03801

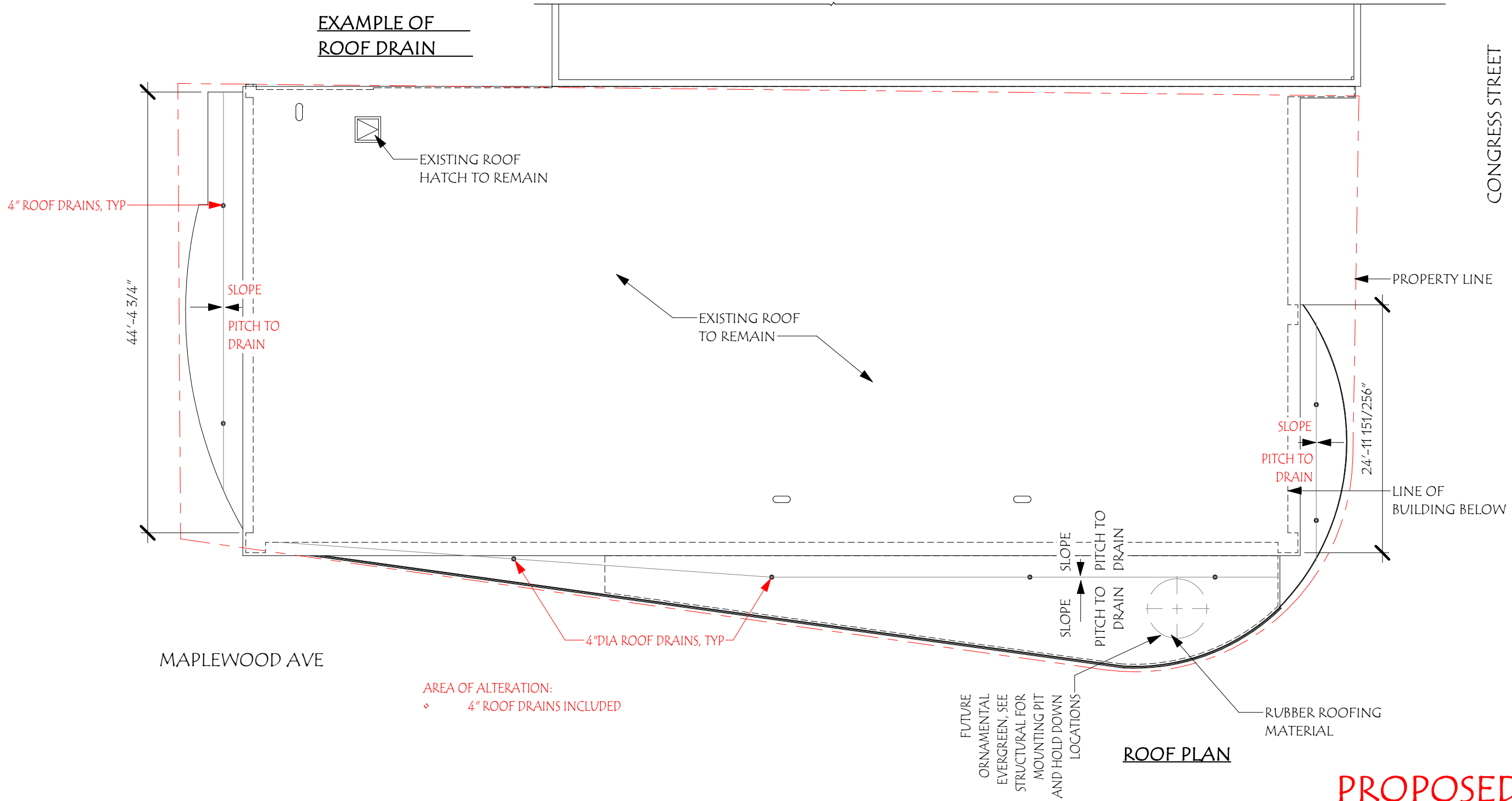
Revisions #	Description	Date

SCALE: 3/32" = 1'-0"  
 DRAWN BY: SNH  
 CHECKED BY: RJH  
 PROJECT NO.: 202209  
 DATE: 11/18/22

TITLE: ROOF PLAN  
 15



EXAMPLE OF ROOF DRAIN



AREA OF ALTERATION:  
 ♦ 4" ROOF DRAINS INCLUDED

ROOF PLAN

PROPOSED

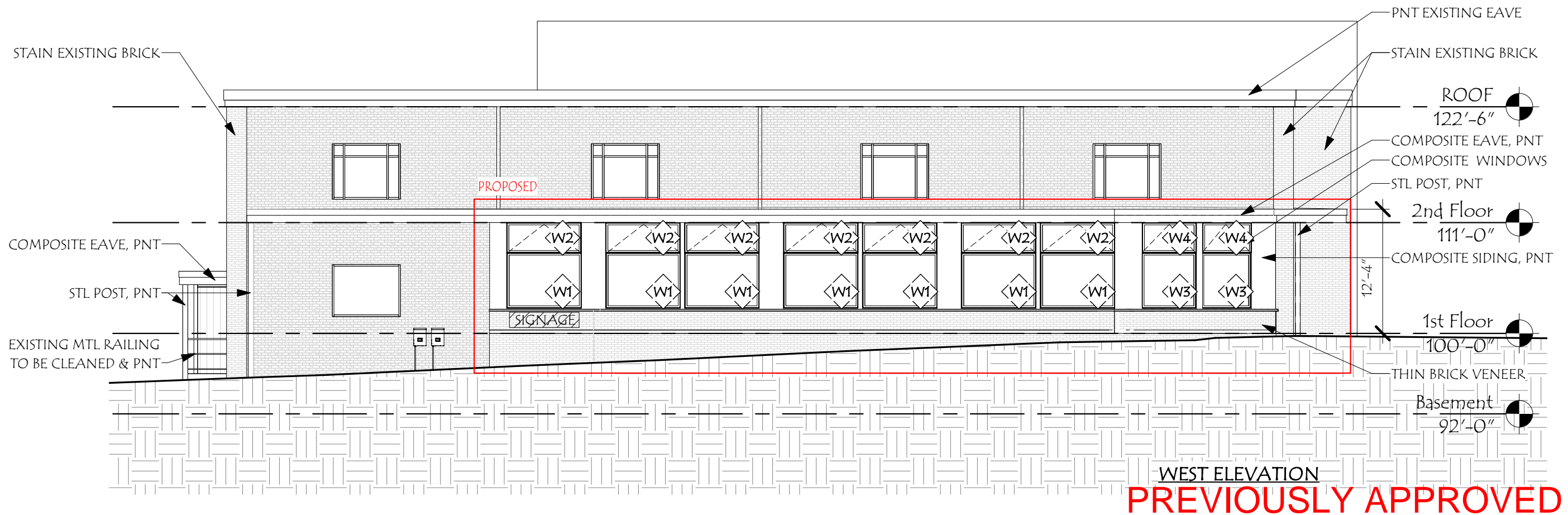
Revisions #	Description	Date

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DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	11/18/22

TITLE:	ROOF PLAN
	15



INSPIRATION IMAGES AND MATERIALS



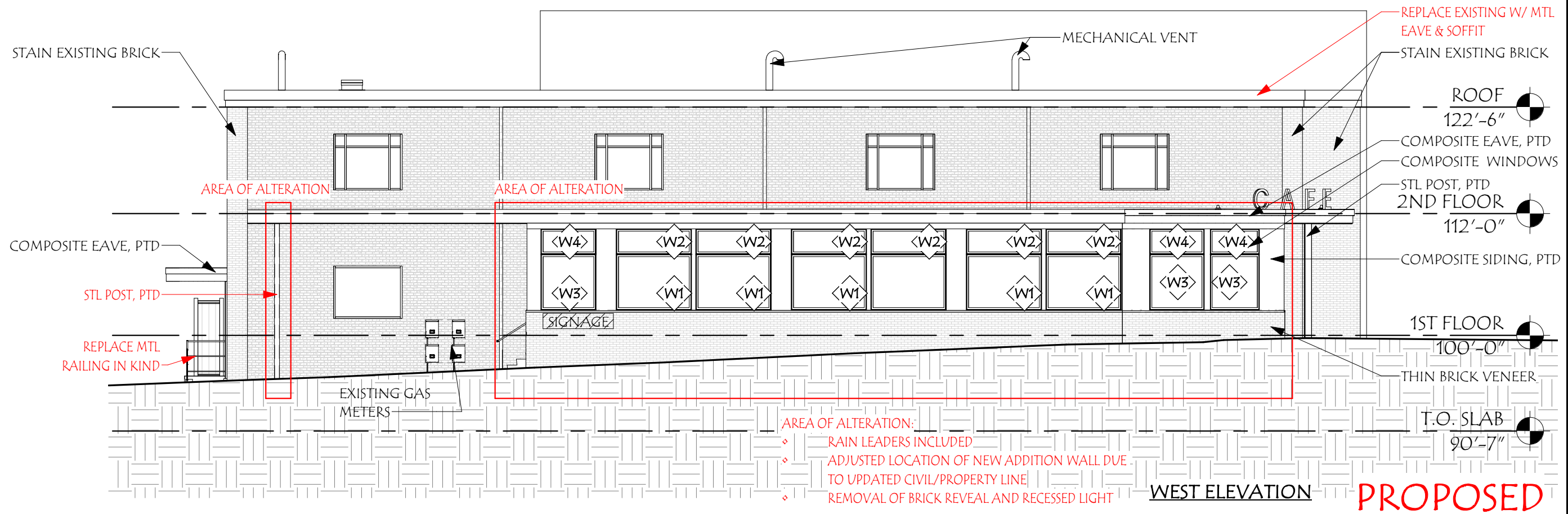
Revisions #	Description	Date

SCALE: 3/32" = 1'-0"	DRAWN BY: SNH	CHECKED BY: RJH	PROJECT NO.: 202209	DATE: 10/05/22
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TITLE: PROPOSED ELEVATIONS	12
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INSPIRATION IMAGES AND MATERIALS



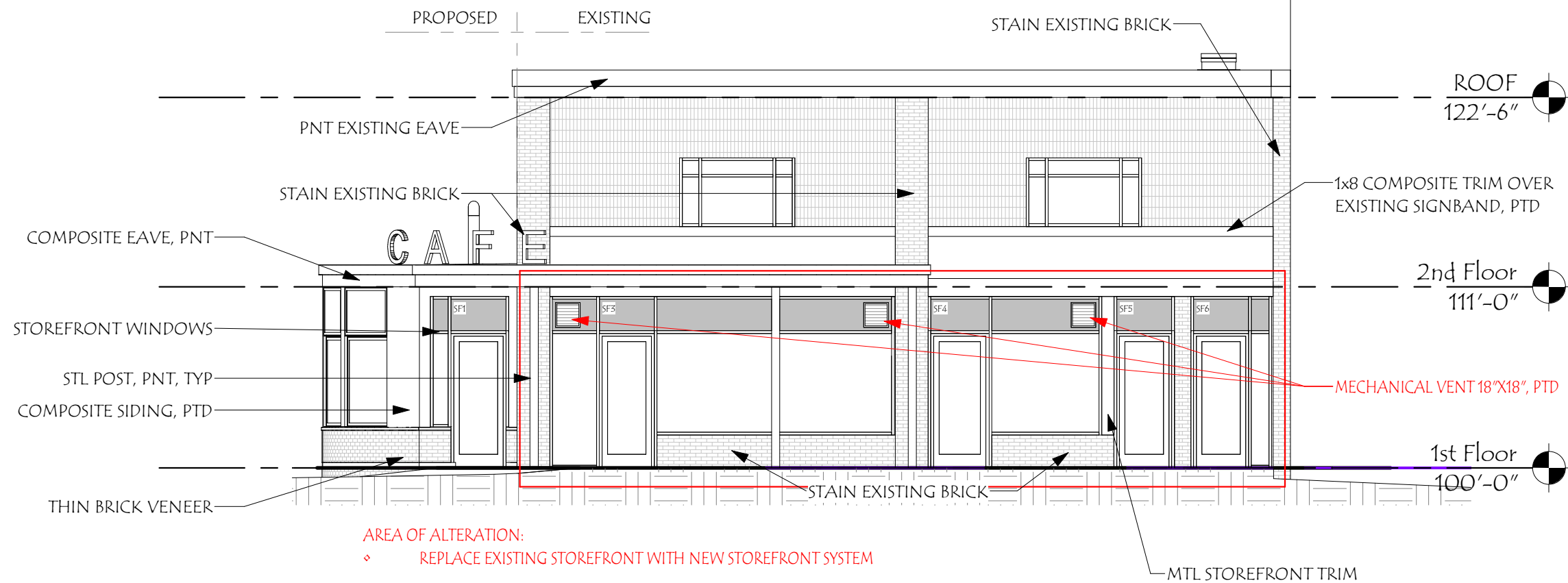
147 CONGRESS

147 Congress St  
Portsmouth, NH 03801

Revisions:	Date
# Description	

SCALE: 3/32" = 1'-0"	SNH	RJH	202209	11/18/22
DRAWN BY:	CHECKED BY:	PROJECT NO.:	DATE:	

TITLE: PROPOSED ELEVATIONS	16
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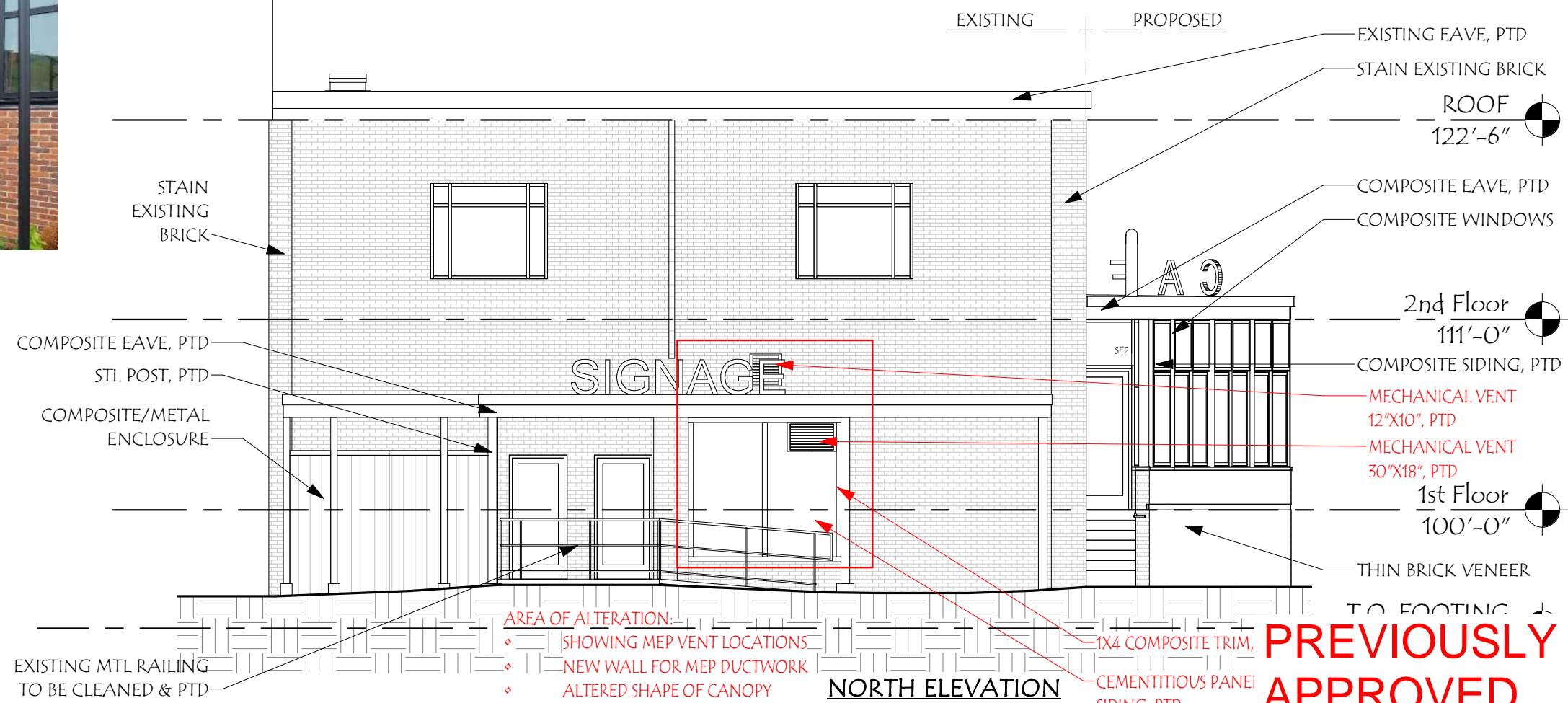


**AREA OF ALTERATION:**  
 ♦ REPLACE EXISTING STOREFRONT WITH NEW STOREFRONT SYSTEM

**SOUTH ELEVATION**



**ENCLOSURE INSPIRATION**



**AREA OF ALTERATION:**  
 ♦ SHOWING MEP VENT LOCATIONS  
 ♦ NEW WALL FOR MEP DUCTWORK  
 ♦ ALTERED SHAPE OF CANOPY

**NORTH ELEVATION**

**PREVIOUSLY APPROVED**

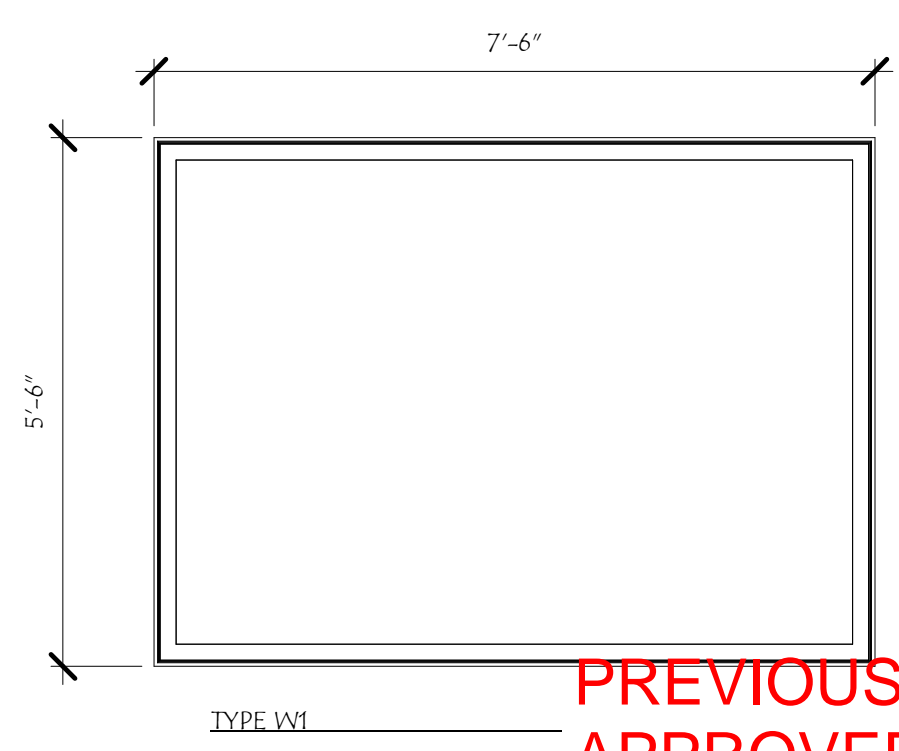
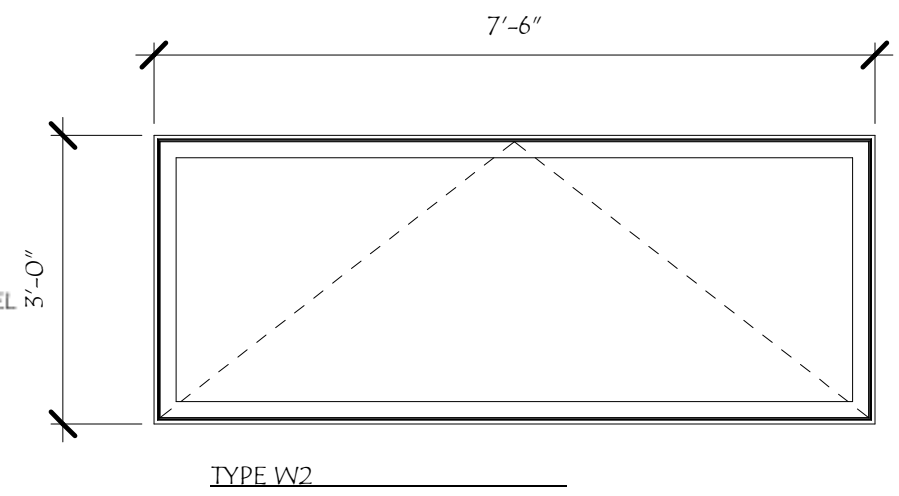
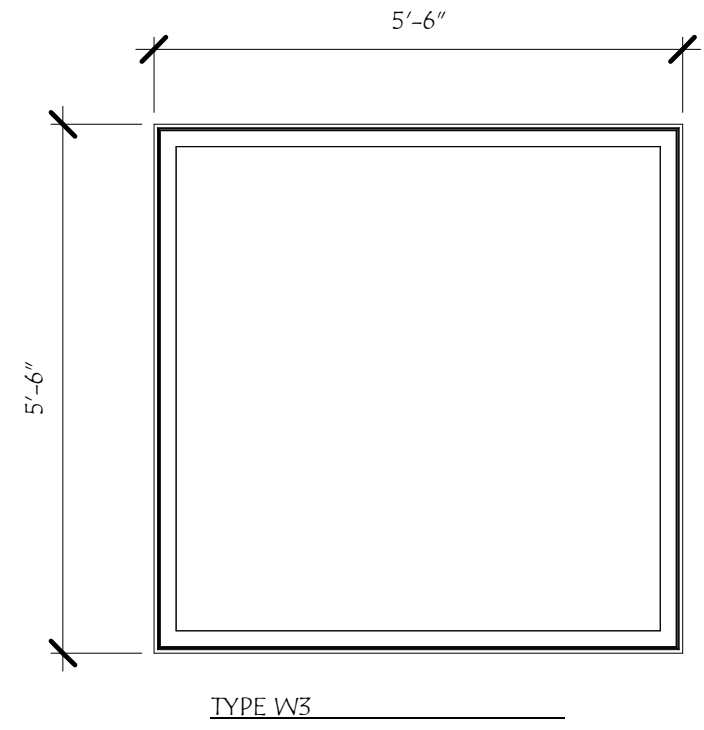
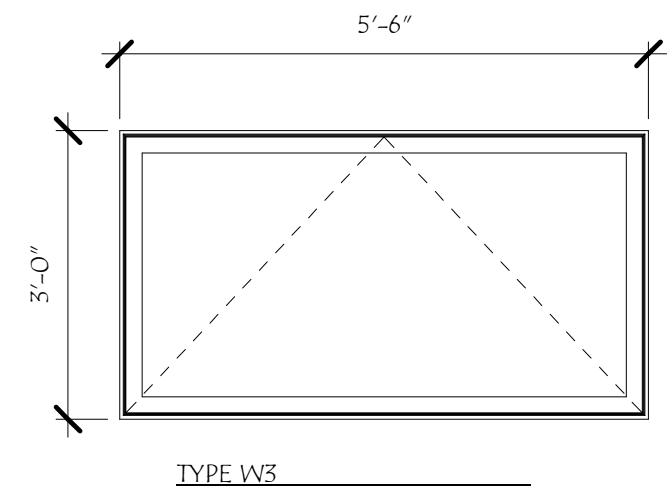
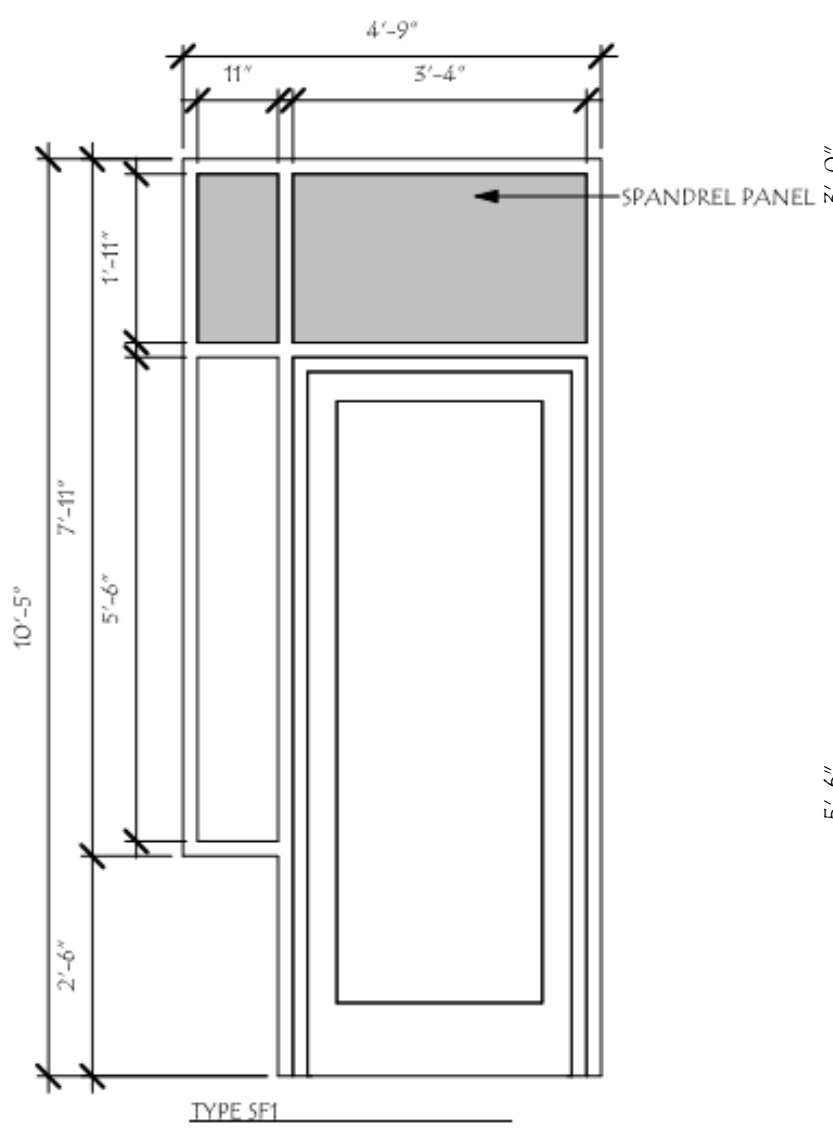
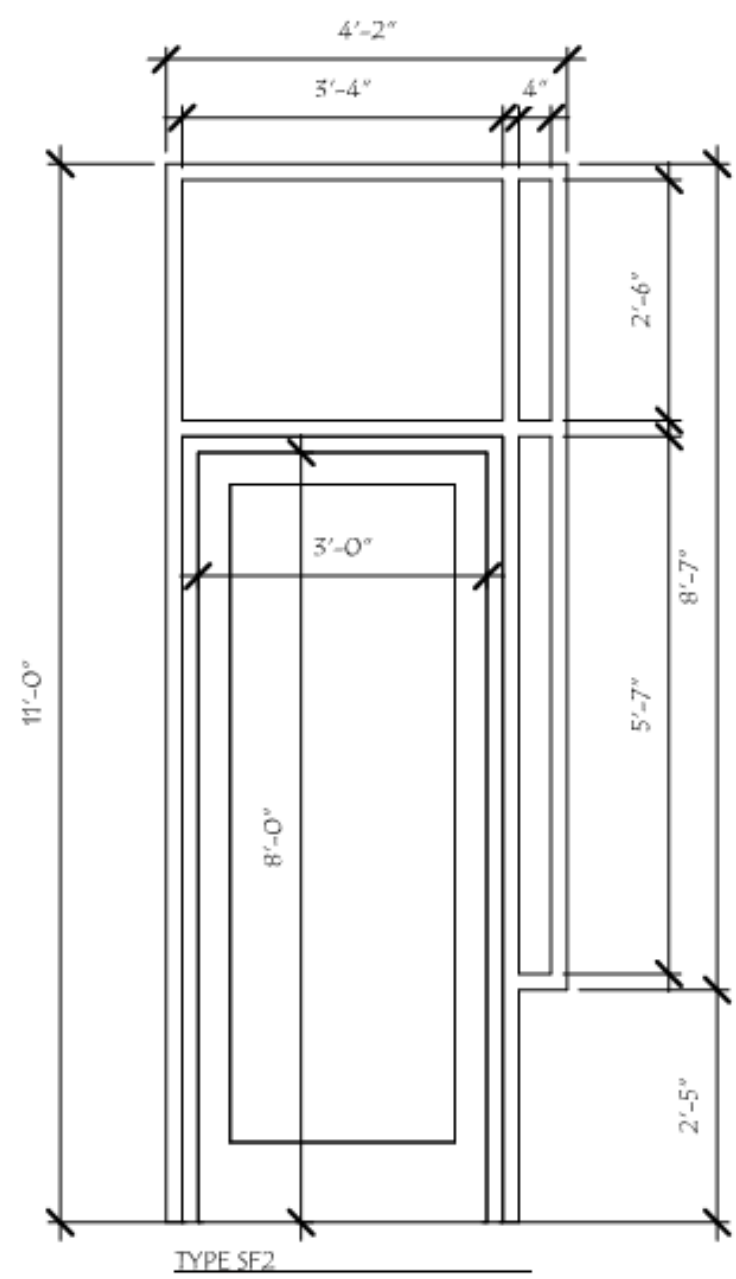
Revisions:	#	Description	Date

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DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	11/18/22

TITLE:	PROPOSED ELEVATIONS
	17







**PREVIOUSLY APPROVED**



HISTORIC DISTRICT COMMISSION WORKSESSION/ PUBLIC HEARING OCTOBER 2022

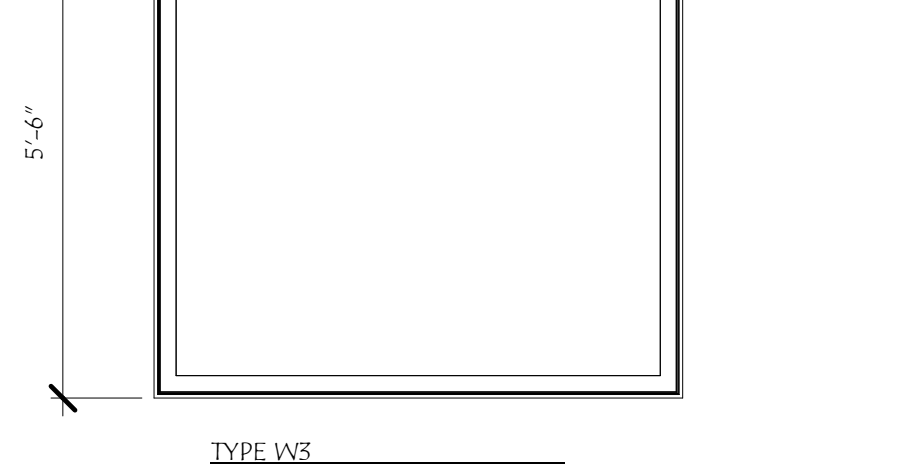
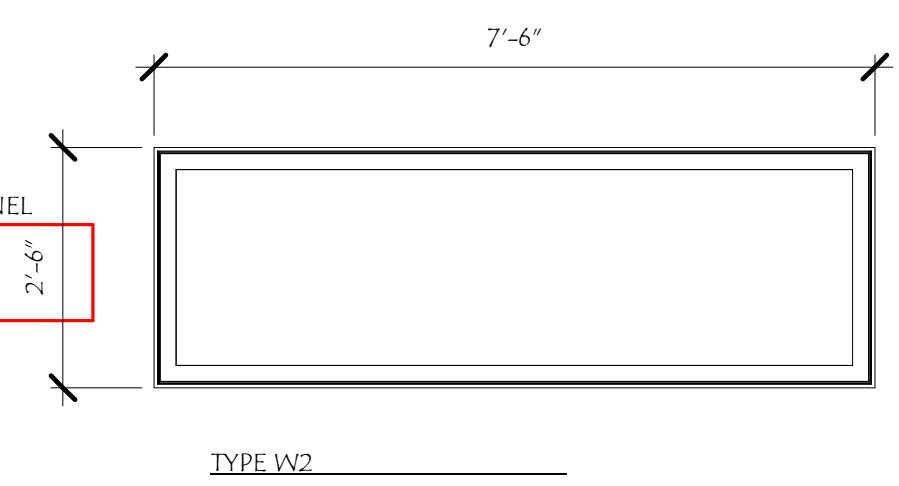
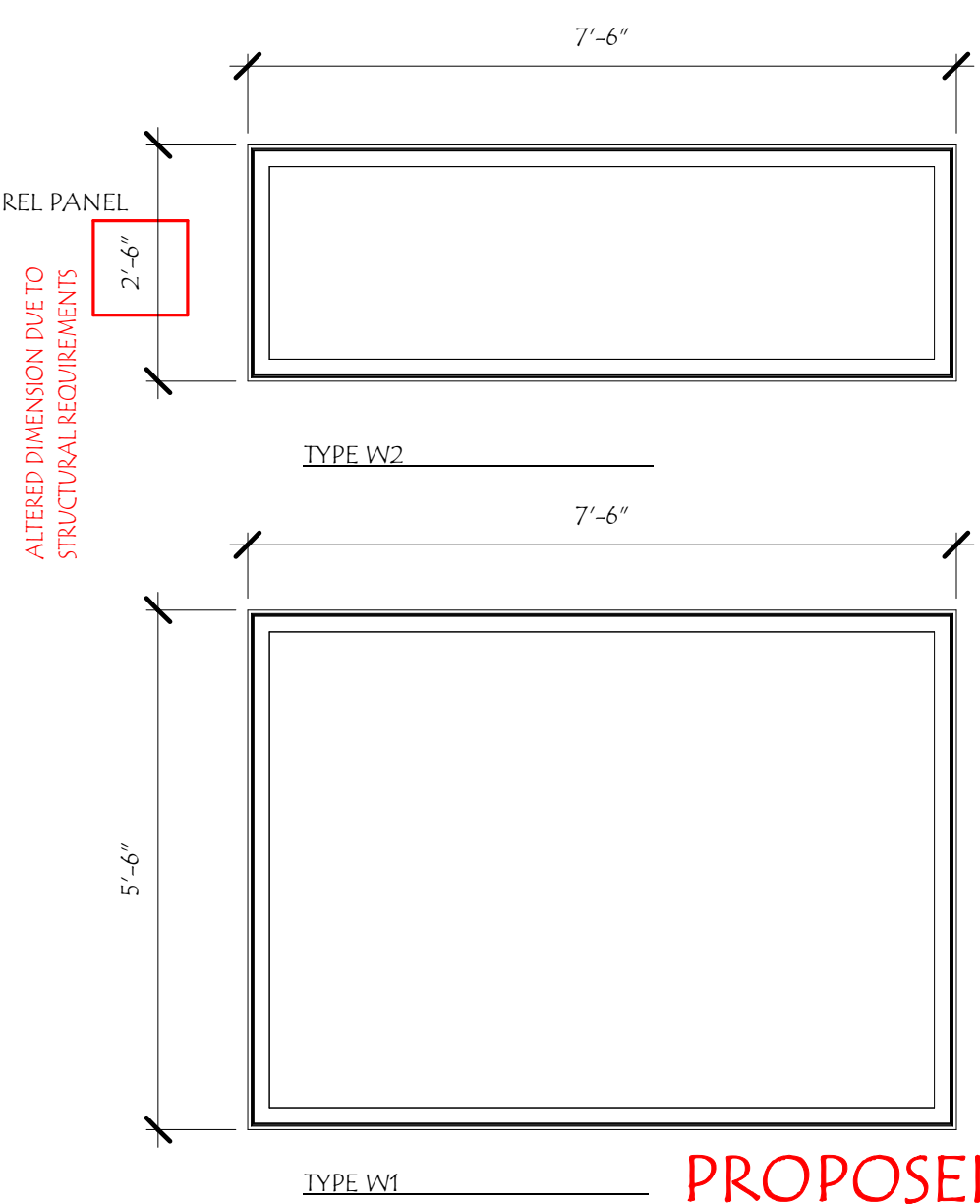
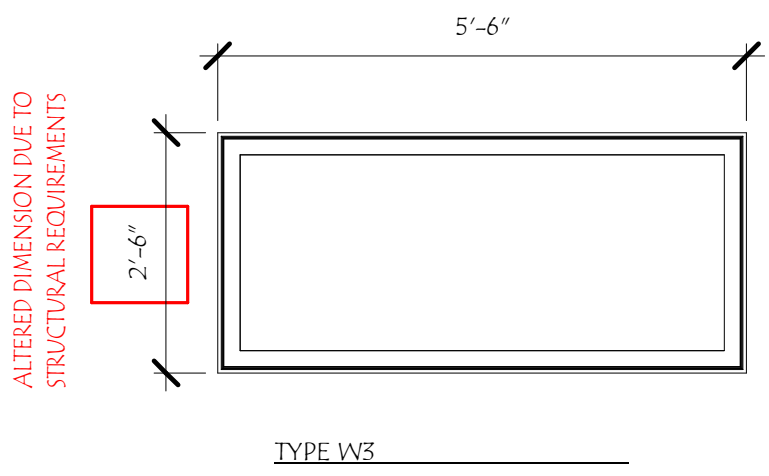
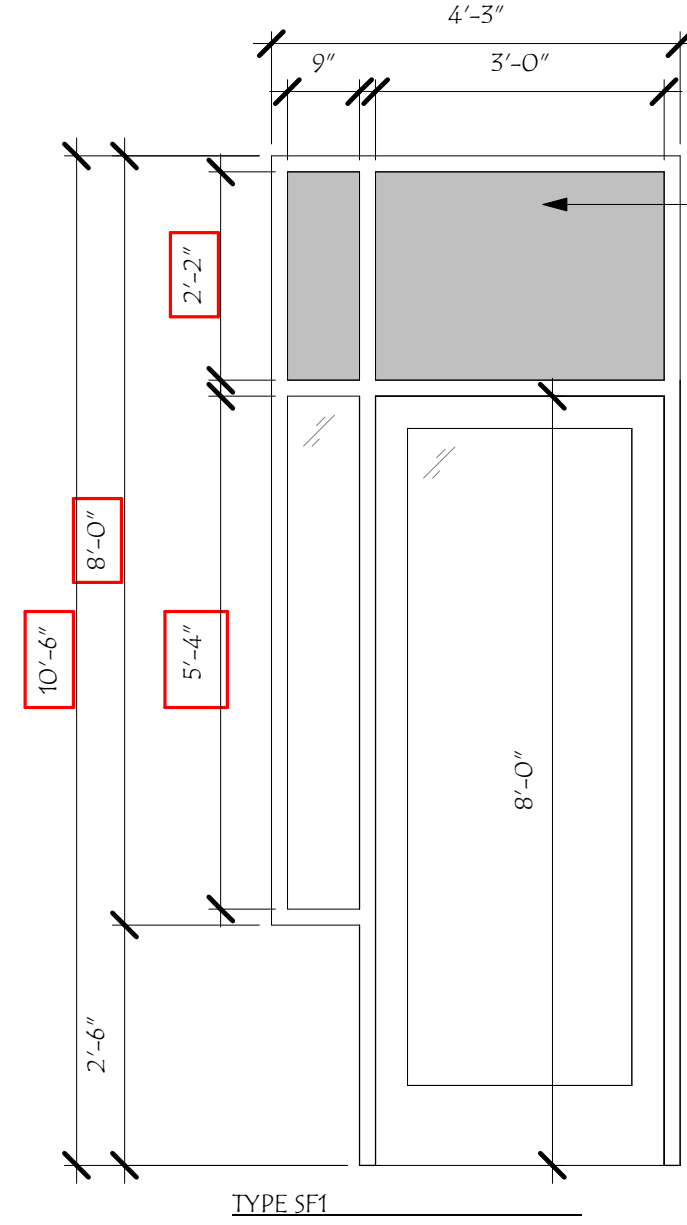
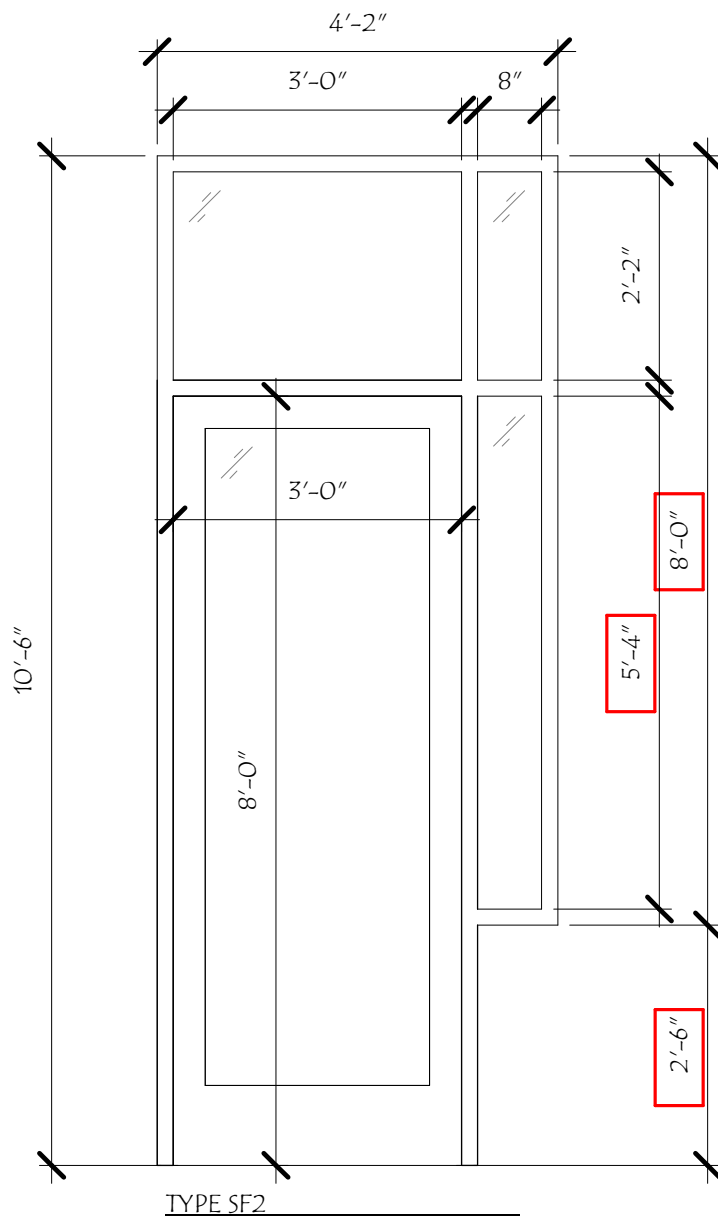
# 147 CONGRESS

147 Congress St  
Portsmouth, NH 03801

Revisions #	Description	Date

SCALE: 1/2" = 1'-0"  
DRAWN BY: SNH  
CHECKED BY: RJH  
PROJECT NO.: 202209  
DATE: 10/05/22

TITLE: FENESTRATION  
14



ALTERED DIMENSION DUE TO STRUCTURAL REQUIREMENTS

ALTERED DIMENSION DUE TO STRUCTURAL REQUIREMENTS

TITLE:  
FENESTRATION

18

SCALE:	1/2" = 1'-0"
DRAWN BY:	SNH
CHECKED BY:	RJH
PROJECT NO.:	202209
DATE:	11/18/22

Revisions #	Description	Date

147 CONGRESS  
147 Congress St  
Portsmouth, NH 03801

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL AUGUST 2023



**MARVIN**



MARVIN  
ESSENTIAL™

Marvin is the leader in fiberglass, which outlasts vinyl windows by 38%. Our pultruded fiberglass remains stable in extreme temperatures and expands at nearly the same rate as glass, so Essential windows stay strong and true, even in harsh conditions.

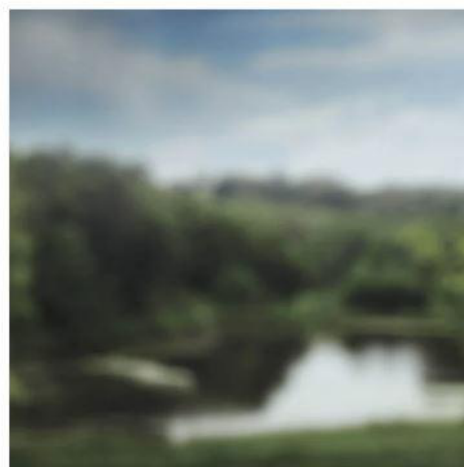


Ebony

A strong alternative to vinyl, our Ultrex® pultruded fiberglass exterior finish is applied through a patented process to provide a superior, consistent finish. The American Architectural Manufacturers Association (AAMA) awards certifications to materials that pass numerous, rigorous tests. These tests simulate the harsh conditions that a finish will encounter throughout the life of the window or door. Passing these specification tests and achieving AAMA 624 verification gives independent verification that the Ultrex finish is best in class among fiberglass products.

Built for durability and low-maintenance, our Ultrex finish is 3x thicker than competitive finishes, with a smooth consistency and strong finish that resists fading, chalking, peeling and cracking, even in the darkest colors. If a design change calls for a new color down the road, our material can be painted without voiding our warranty. Six colors are available in neutral and dark tones.

Selected: Ebony



Gray Tint

GLASS: LOW E3 WITH GRAY TINT

Selected: Gray Tint



EXTERIOR COLOR

Selected: Ebony



**KAWNEER**

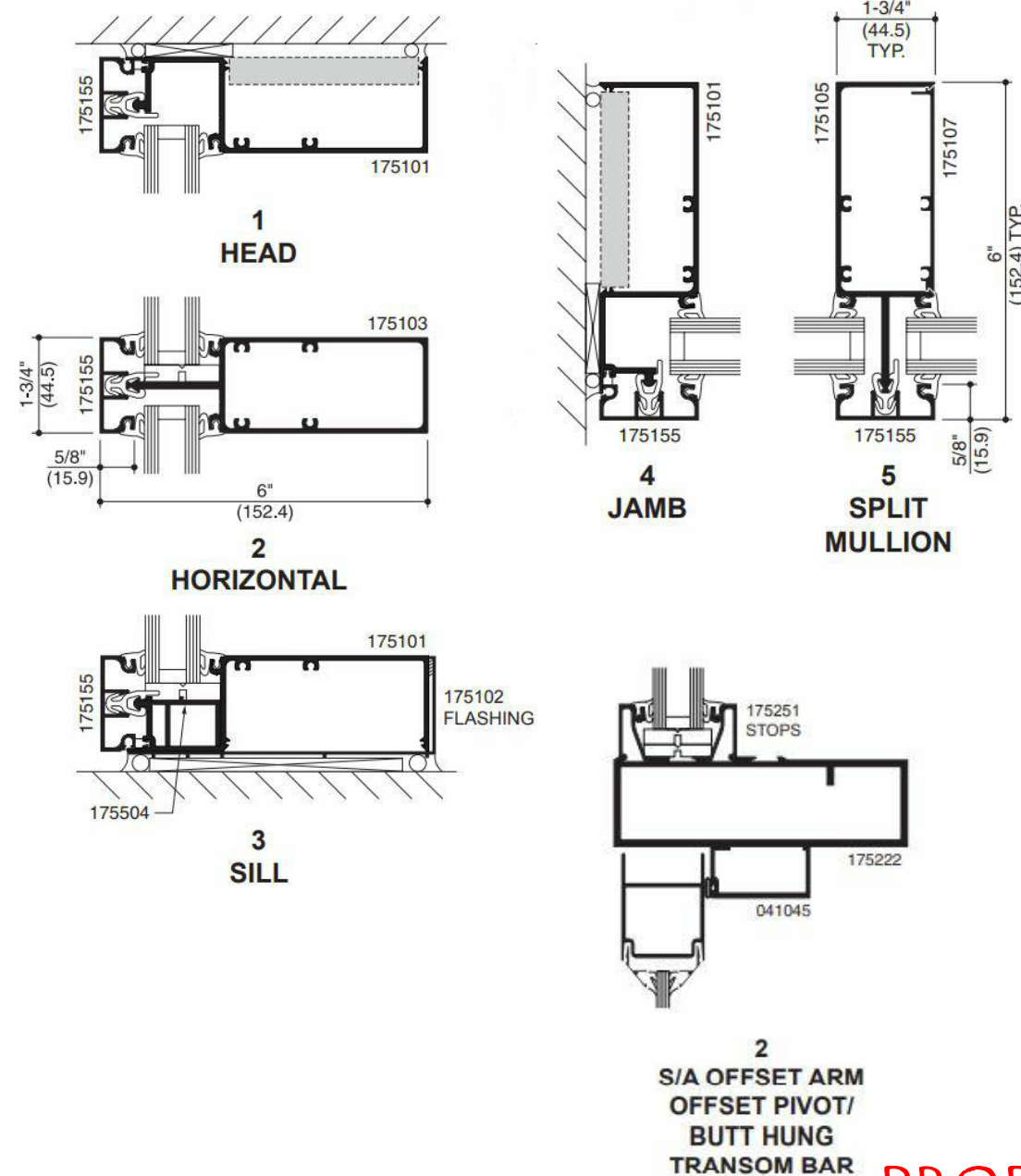
OR ARCHITECT APPROVED EQUAL

Taking center stage in Kawneer's lineup, the EnCORE™ Framing System is a two-piece face-and-gutter system that offers thermal economy, a structural silicone glazed (SSG) option and numerous design choices. Engineered for easy installation and lower costs, features include the unique QuickSeal™ self-sealing system, a broad selection of system depths and a 1-3/4" (44.5 mm) minimal sightline. The EnCORE™ Framing System readily adapts to remodel projects and new construction, whether traditional or modern architecture.

**ECONOMY**

EnCORE™ is a QuickSeal™ dry-glazed self-sealing framing system and is the first to eliminate joint sealant at horizontal joints, making it more cost effective. The vertical gasket runs through, and when "pinched" by the head, sill and intermediate horizontals, a watertight seal is created, eliminating the need for sealant.

By using the same extrusions for horizontal and vertical mullions, metal utilization is maximized. In addition, the tongue on the extrusions eliminates the need for a secondary, continuous water deflector, thus economizing on installation costs and time.



ADJUSTMENT TO WINDOW LINE FROM SIGNATURE TO ESSENTIAL.  
BOTH HAVE A FIBERGLASS EXTERIOR

**PROPOSED**

MARKET SQUARE ARCHITECTS  
104 Congress St., STE 203  
PORTSMOUTH, NH 03801  
PH: 603.901.0202

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL  
AUGUST 2023

147 CONGRESS

147 Congress St  
Portsmouth, NH 03801

Revisions #	Description	Date

SCALE:	Author
DRAWN BY:	Checker
CHECKED BY:	202209
PROJECT NO.:	11/18/22
DATE:	8/18/2023 10:26:04 AM

TITLE: PRODUCT SHEET	21
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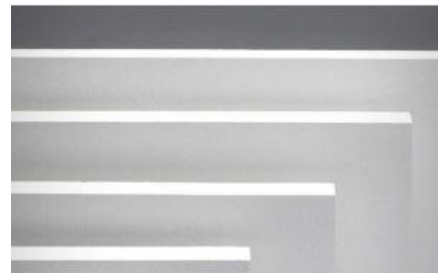


**HARDIE® PANEL VERTICAL SIDING  
SMOOTH**

You can't go wrong with this sleek, modern siding. Find the perfect color in our Statement Collection products or Dream Collection products. Or get it primed for paint.

**AVAILABLE SIZES**

<b>THICKNESS:</b> 0.312"	<b>LENGTH:</b> 120"
	<b>WIDTHS:</b> 48"



**HARDIE® TRIM BOARDS  
4/4 SMOOTH**

This trim's simplicity never goes out of style. In a color from our Statement Collection products or Dream Collection products, it has even more staying power. Also available primed for paint.

**AVAILABLE SIZES**

<b>THICKNESS:</b>	0.75"
<b>LENGTH:</b>	144" boards
<b>WIDTHS:</b>	3.5"    5.5"
	7.25"   9.25"
	11.25"



**SPAULDING BRICK COMPANY, INC.**  
an employee owned company

OR ARCHITECT APPROVED EQUAL



**BRICK MATERIAL- FINAL SELECTION TO MATCH STAINED EXISTING BRICK**

THIN BRICK TO MATCH EXISTING BUILDING'S EXISTING BRICK AND THEN STAINED TO BE COHESIVE



**TECHNICAL DATA SHEET**

**KEIM RESTAURO® STAIN** OR ARCHITECT APPROVED EQUAL  
SOL-SILICATE PIGMENTED MINERAL STAIN AND GLAZE

PRODUCT DESCRIPTION

Sol-silicate based, non-film forming mineral stain provides a penetrating, low pigment or translucent finish when diluted with RESTAURO Dilution/Thinner. The original look and feel of natural or precast stone and masonry or brick are not filled-in or altered by RESTAURO, except for color tone. It may be used as a solid-color finish (undiluted) or as a transparent stain/glaze when mixed with dilution/thinner. Pigment and opacity level is the result of how much dilution (clear) is added. Stains ranging from mostly opaque to almost clear are possible. It has water repellent properties and fulfills the requirements of DIN 18363 sect. 2.4.1.

FIELD OF APPLICATION

RESTAURO Pigmented Mineral Stain is uniquely formulated for use on interior or exterior new or bare, aged brick, mortar, mortar repairs and natural and precast stone. It should not be applied to existing latex or acrylic painted surfaces. It is used to decorate or add color or to visually conceal color variations in new or old masonry and for blending and minimizing the appearance of repairs. It may also be used to provide a stained appearance on entire stone or brick facades.

RESTAURO Stain can also be applied as an opaque thin-layer finish retaining the natural surface texture and providing a protective water and weather resistant finishes.

Water proofing may be further enhanced by a pretreatment with SILAN-100 Silane Penetrating Water Repellent. The application of DESIGN Stain together with SILAN-100 complies with water protection requirements as per DIN EN 1504-2/2.2.

RESTAURO Stain is less weather resistant on horizontal and slightly inclined surfaces.

PRODUCT PROPERTIES

RESTAURO Stain protects masonry from the action of weather and prevents the penetration of atmospheric pollutants. Surface textures are fully retained and never "filled-in". It provides a natural mineral matte finish.

- Sol-silicate penetrates and forms permanent chemical bonds—won't peel or lose adhesion
- Light fast, color will not fade
- Extremely vapor permeable—masonry remains dryer
- Weather and moisture resistant
- Not affected by pollution or acid rain
- Darkens when wet—repairs blend into natural masonry wet or dry

Technical data

Density	1.1—1.3 g/cm³
Weight	10.1 lbs/gal
VOC by ASTM D6886	< 1 g/liter
Vapor Diffusion	sd (H2O) = <0.02 m
Water Absorption Coefficient (DIN EN 1504)	W=0.20 kg/m² h 0.5
Lightfastness of color pigment (Fb-Code acc. to BFS technical bulletin No. 26)	A1 Best in class rating No color change after 4 years
Vapor Permeability (ASTM E96)	75—85 Perms
Flashpoint	Non-Flammable
Alkali Resistance ASTM D1308	Passes
Mildew Resistance ASTM D3273/D3274	Passes
Thermal Expansion	Comparable to the concrete substrate
Gloss at 85°	2.0 Mineral Matte Flat
All test results performed on 2 coats Restauro Stain applied at 425—475 sf/gallon	



**PROPOSED**



**HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL**  
AUGUST 2023

**147 CONGRESS**

147 Congress St  
Portsmouth, NH 03801

Revisions #	Description	Date

SCALE:	Author
DRAWN BY:	Checker
CHECKED BY:	202209
PROJECT NO.:	11/18/22
DATE:	

TITLE: PRODUCT SHEET	22
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MECHANICAL GOOSENECK VENTS, PAINTED TO MATCH BUILDING SURFACE



### 8-Inch Intake & Exhaust Roof Vent – RG8-IE

Our 8-inch flat roof vent for exhaust and intake terminations are designed for use on flat and low slope roofs. View product videos, CAD files, and install instructions below to learn more about our superior flat roof vents. For quantities greater than 25 units please contact us for bulk discounts.

#### Items Included

- 8 Inch GooseNeck With Built-In Removable Damper Door
- 8 Inch Removable Bug Cap With Stainless Steel Screen
- 8 Inch RoofGoose Sleeve 27 Inches Tall
- 8 Inch RoofGoose Rain Collar
- 8 Inch RoofGoose Vertical Riser Clamp
- 8 Inch Stainless Steel Hose Clamp Pre Laced on Sleeve Base



2-SRF 2" Flanged Frame Louver

MECHANICAL LOUVER VENTS, VARIOUS SIZES, PAINTED TO MATCH INSTALLATION SURFACE



6X6 EXHAUST VENT CAP, PAINTED TO MATCH INSTALLATION SURFACE

**PREVIOUSLY APPROVED-FOR REFERENCE ONLY**

Revisions #	Description	Date

SCALE:	Author
DRAWN BY:	Checker
CHECKED BY:	202209
PROJECT NO.:	11/18/22
DATE:	

TITLE:	PRODUCT SHEET
	23

**5. 28 South Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of an A/C condenser at the rear of the property.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-665

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 8/17/2023

### Primary Location

28 SOUTH ST  
Portsmouth, NH 03801

### Owner

STILES THEODORE M &  
BOYD JOAN  
28 SOUTH ST PORTSMOUTH,  
NH 03801

### Applicant

Dana Joy  
 603-755-4900  
 joyshvac@msn.com  
 6 NH Route 11  
Farmington , NH 03835

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Installation of Mitsubishi outdoor unit and line hide

Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor





**6. 60 Penhallow Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design (roof design and color and change windowsill nosing profile)

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# 60 PENHALLOW STREET AT BRICK MARKET

HDC REVISION 9 - AUGUST 18, 2023

HDC - REV 9 SHEET LIST	
Sheet Number	Sheet Name
H9.1	COVER
H9.2	ROOF PLAN - PROPOSED
H9.3	ROOF PHOTOS
H9.4	SUNSHADE INSTALLED PHOTOS
H9.5	SUNSHADE PREVIOUSLY APPROVED
H9.6	WINDOW SILLS



## SUMMARY OF REVISIONS

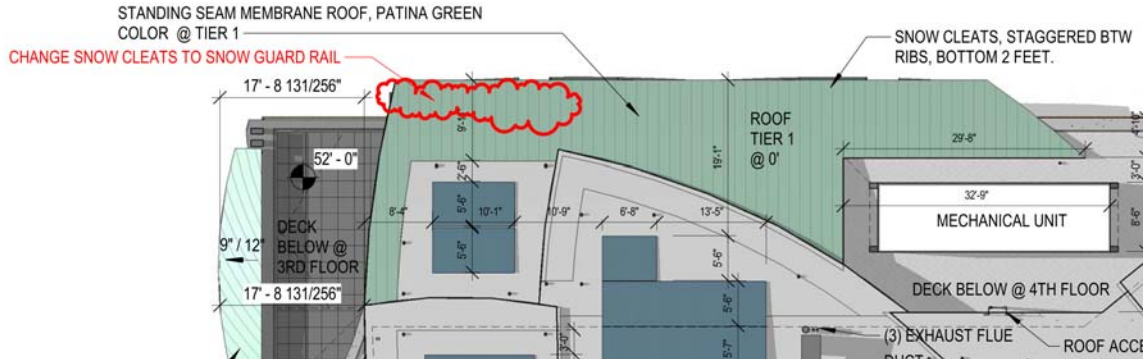
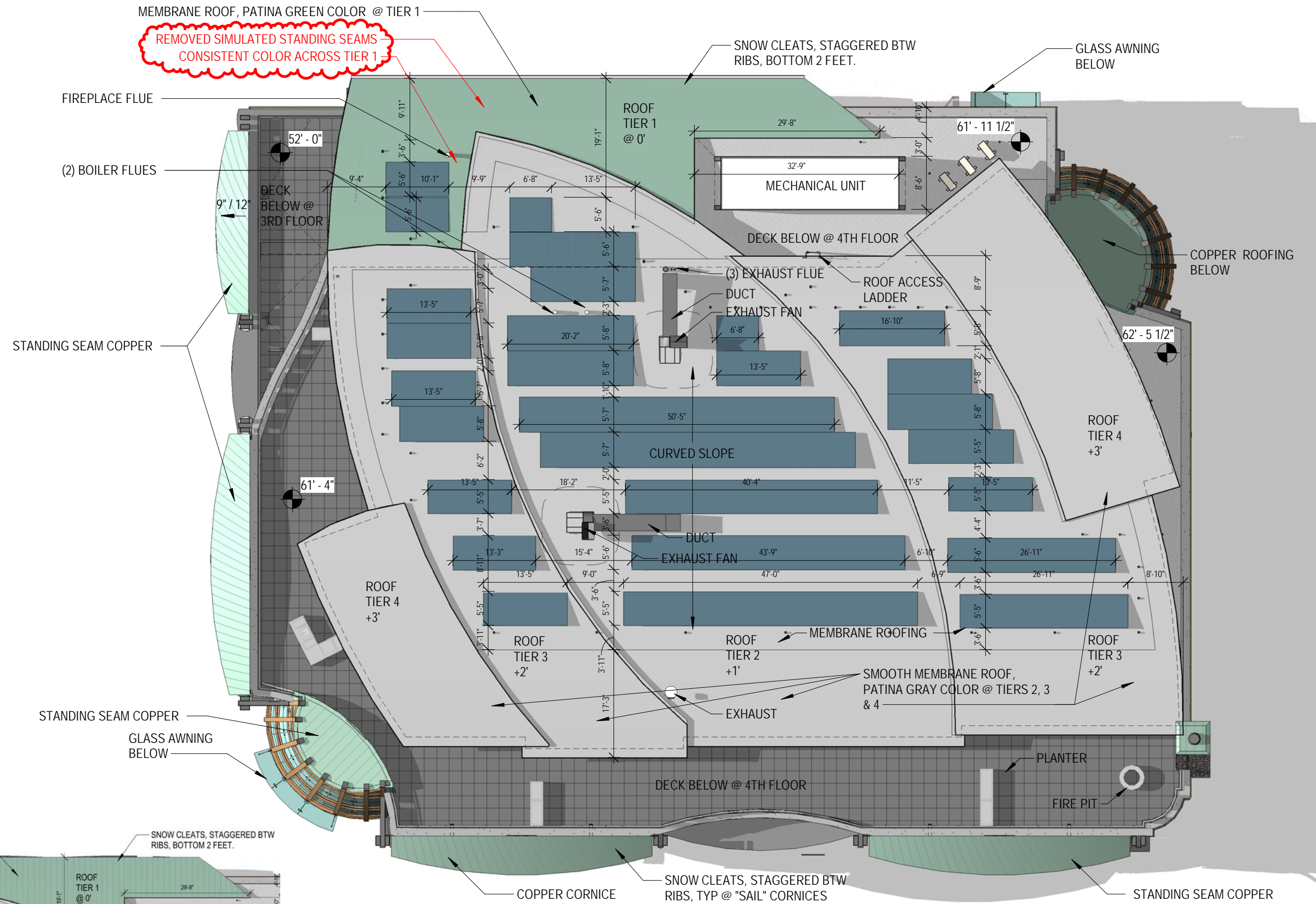
- 1. Omit Previously approved standing seams at tier 1 Membrane Roofing**
  - A. Description:** Color and material is same as previously approved. Material change was approved per Revision 2 on 6/18/21. Color change was approved per Revision 3 on 8/25/21. However the approved adhered standing seam "ribs" were not installed at the lowest, rear Tier 1 green roof. Grey was omitted from tier 1
  - B. Reason:** solar panels in this area prohibited installation of glued-on pvc ribs under panels and make it less safe for walking when maintaining the solar panels. Tier 1 was made one consistent color to use only one type of EPDM. Gray on others tiers are PVC.
- 2. Change Pre-Patina'd copper to natural mill finish copper at South Alley Solar Shades**
  - A. Description:** Solar shade frame construction was previously approved per original application, detail on page D1.26 November 2019. Perforated copper infill panel material was approved per Revision 1, 10/07/2020 Index and Page 48. However the perforated copper was installed as mill finish, instead of the approved pre-patina'd copper finish
  - B. Reason:** this product was not available as pre-patina'd. Real copper mill finish copper was installed, and so will turn green naturally, slowly over time. This could be field patina'd with a spray applied ammonia-based solution if HDC prefers a faster process
- 3. Change Window sill nosing profile from 3 1/2" to 3/4" at South and West Alleys, second and third floor windows**
  - A. Description:** These window sills were originally approved as 1x4's on the vertical. However they were installed as 1x4's on the flat, to match the other window trim changes approved on North and East facades.
  - B. Reason:** This change was not identified when HDC approved the removal of similar 1x4 horizontal wood banding below windows at north and east facades, per Revision 7 on 10/14/2022. This shallower sill profile is consistent with the approved change at other facades.

H9.1

**COVER**

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 9, 8/18/2023

MEMBRANE ROOF, PATINA GREEN COLOR @ TIER 1  
 REMOVED SIMULATED STANDING SEAMS  
 CONSISTENT COLOR ACROSS TIER 1



1 ROOF OVERALL PLAN  
 1/16" = 1'-0"

H9.2

ROOF PLAN - PROPOSED

60 PENHALLOW STREET at BRICK MARKET  
 HDC Revision 9, 8/18/2023

PREVIOUSLY APPROVED ROOF PLAN AT TIER 1 (REV 3 - AUGUST 2021)



INSTALLED PHOTO

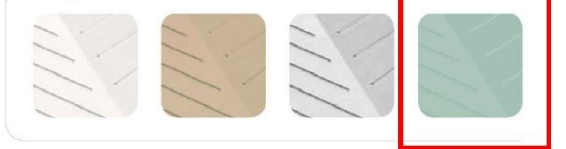


MEMBRANE ROOF WITH SIMULATED STANDING SEAM



Décor is available in seven standard colors: White, Tan, Light Gray, Patina Green, Lead Gray, Copper Brown, Evergreen, or a nearly unlimited number of custom colors.

EnergySmart Roof COLORS ON TOP ROW.



Because of printing process variations, colors shown in this brochure may vary slightly from actual membrane colors. Call Sika Corporation—Roofing at (800) 576-2358 to request membrane samples.

**PREVIOUSLY APPROVED PRODUCT BY HDC**

AT TIME OF PROCUREMENT MANF WAS NOT MAKING THIS COLOR OR ANY OF THIS PVC ROOFING LINE DUE TO PANDEMIC SUPPLY CHAIN ISSUES. NEITHER WERE OTHER MANF'S CONTACTED BY BIDDERS



**INSTALLED PRODUCT**

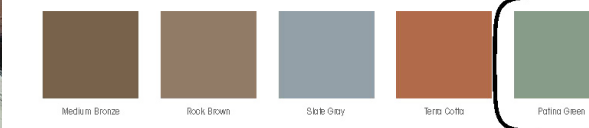
ALTERNATE MANF WAS ABLE TO PROVIDE A PATINA GREEN IN EPDM MATERIAL

**VERSIWEID HS TPO**

Special Color Program



Turn your roof into a canvas with VersiColor's TPO Special Color Program. The leader in single-ply technology offers more pre-formulated colors than any other manufacturer in the marketplace with reinforced membrane available in 10' x 100' sheets, non-reinforced flashing available in 24" x 50' rolls, TPO Rib Profiles, custom accessories and flashings, and TPO-coated metal available in 4' x 10' sheets.



H9.3

**ROOF PHOTOS**

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 9, 8/18/2023





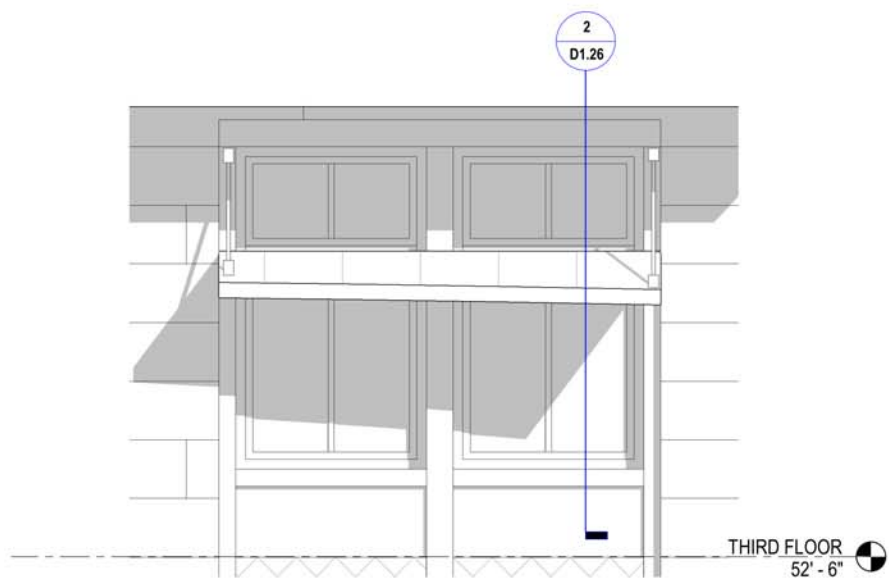
H9.4

### SUNSHADE INSTALLED PHOTOS

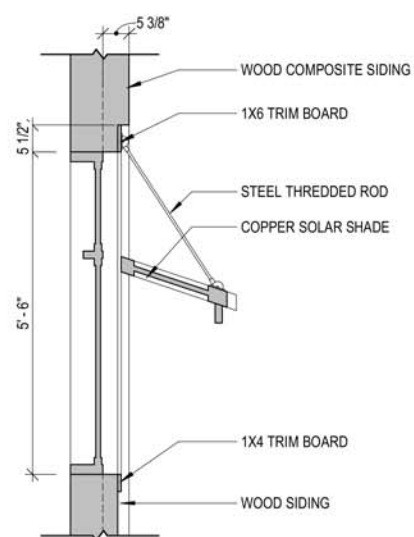
60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 9, 8/18/2023



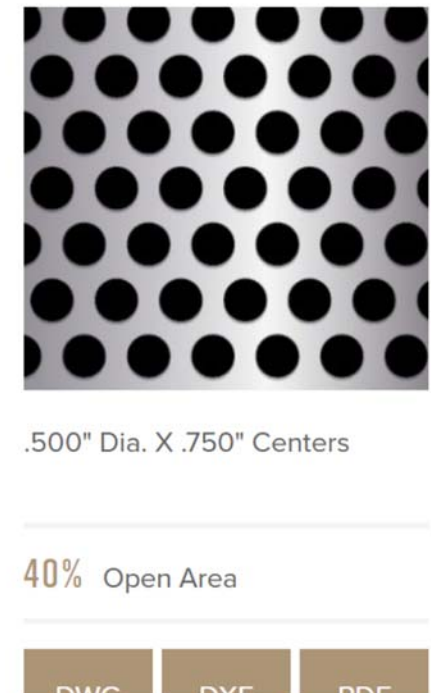
ARCHITECTS  
INTERIORS  
PLANNERS



1 HDC TYPICAL SOLAR SHADE ELEVATION  
1/2" = 1'-0"



2 HDC TYPICAL SOLAR SHADE  
1/2" = 1'-0"



**D1.26** ELEVATION DETAILS  
60 PENHALLOW STREET at BRICK MARKET  
HDC PUBLIC HEARING - NOVEMBER 2019



PREVIOUSLY APPROVED ELEVATION AND DETAIL (PUBLIC HEARING - NOV 2019)

PREVIOUSLY APPROVED MATERIAL (REV 1 - OCT 2020)

**H9.5**

**SUNSHADE PREVIOUSLY APPROVED**

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 9, 8/18/2023





WINDOW TRIM ON NORTH FACADE



AS-BUILT TRIM ON SOUTH AND WEST FACADES



H9.6

### WINDOW SILLS

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 9, 8/18/2023



**7. 4 Rock Street, Unit 3**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to previously approved windows.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-664

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 8/16/2023

### Primary Location

4 ROCK ST  
Portsmouth, NH 03801

### Owner

COYLE KATE & COYLE KEVIN  
660 MIDDLE ST  
PORTSMOUTH, NH 03801

### Applicant

Kathryn Coyle  
 617-413-0325  
 polizzotto@gmail.com  
 660 Middle Street  
Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Modification of three windows from initial approval.

### Description of Proposed Work (Planning Staff)

## Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.\*

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction\*

Kevin and Kathryn Coyle  
4 Rock Street Apt 3

REQUEST FOR ADMINISTRATIVE APPROVAL

SUMMARY: The HDC approved a full application for a combination of new windows, in conjunction with restoring windows. The approved new windows are from Green Mountain Window and Door Company. Our initial focus has been on Unit 3, as we have gutted and renovated the interior unit. We have stayed consistent with our proposal, with the exception of three windows. We are requesting administrative approval for the changes to these windows due to the condition of one window and limitations on what Green Mountain manufactures.

## Our Initial Proposed Windows #23 & 24



(Back Alley as viewed from Islington St.)

Windows #23-24 are 1960's vinyl windows. Our proposal is to replace the sashes only with double hung style 6 over 6. There will be NO light loss with this replacement. The approximate size of these windows are 25" x 46".

## Administrative Approval Request

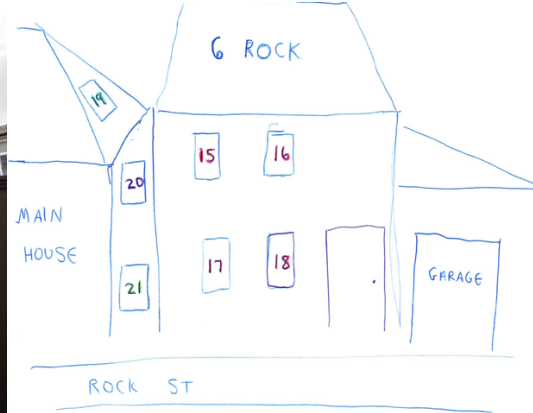
Green Mountain does not make a 6 over 6 grid-pattern in this small sized window. As such, we replaced the window with a Green Mountain 1 over 1 style, consistent with what was previously existing and what we believe would be least distinctive. We request approval for these two windows, pictured below.



## Our Initial Proposal- Window #19



(View from Rock Street)



Window #19- We proposed restoring this window.

## Administrative Approval Request

As we were doing demolition work and attempting to restore the window, we encountered significant rot, such that we could not restore the window. We replaced the window with a Green Mountain casement window to look like a 6 over 6 original window. We chose this style to offer secondary egress for fire safety. We request approval for the window pictured below:



**8. 320 Union Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval to repair an existing retaining wall and create new retaining wall to match the existing.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-663

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 8/15/2023

### Primary Location

320 UNION ST  
Portsmouth, NH 03801

### Owner

320 UNION REALTY LLC  
45 MILLER AVE  
PORTSMOUTH, NH 03801

### Applicant

Shannon Alther  
 603-436-4274  
 pod1@tms-architects.com  
 1 Cate Street  
Portsmouth , NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Repair in-kind the existing 2' tall retaining wall. Replacing brick with new veneer stone and granite cap. Create new retaining wall 2' tall to mimic repaired wall design. New retaining wall is 2.5'+ away from property line. Project scope is only exterior retaining wall / landscape work.

Description of Proposed Work (Planning Staff)

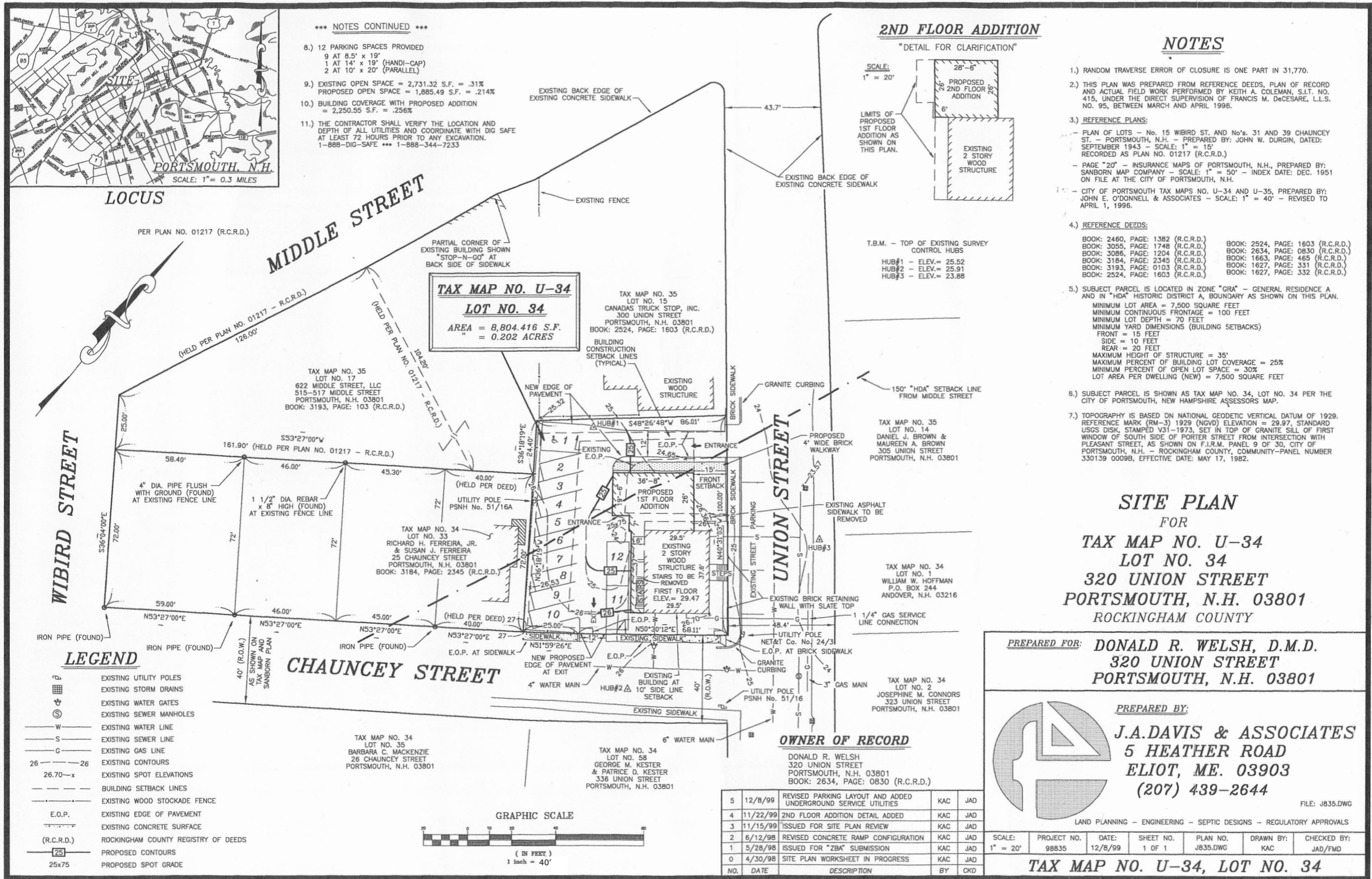
## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

# 320 Union Street Portsmouth NH





Existing Conditions Site Plan

6-8-2023

TMS  
architects  
interiors



# 320 Union Street Portsmouth NH

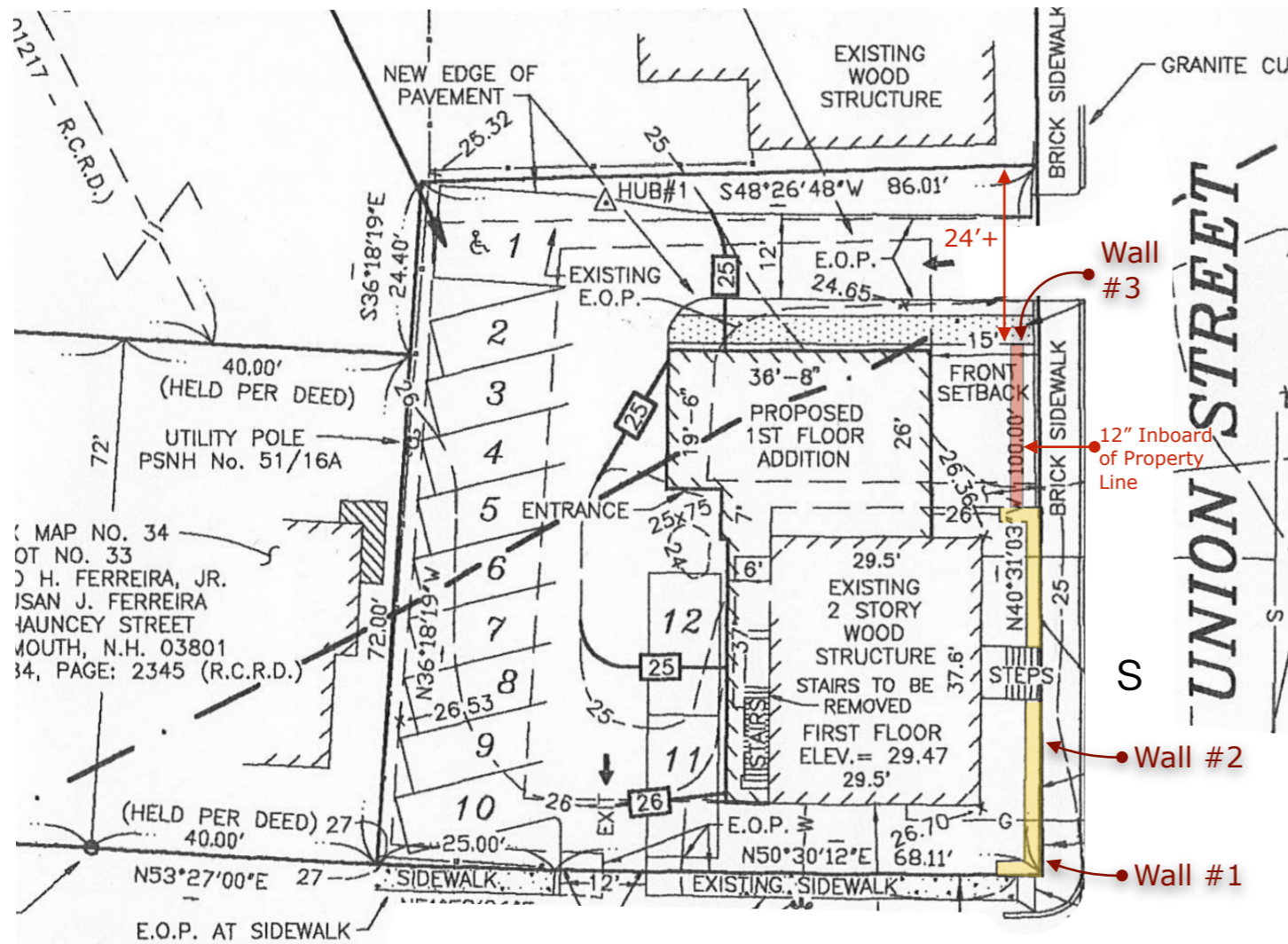
-  Replace Existing In-Kind (Size, Width & Height)
-  **New Wall** to Match Existing (In-Kind = Size, Width & Height)

### Material to be Revised:

Existing walls are made of brick with concrete top.

Proposed Re-surfaced walls #1 & #2 to be granite top with veneer stone facing. New material to adhere to existing concrete base

Proposed new wall #3 to be granite top with veneer stone facing. New material to adhere to new concrete base retaining wall



### Site Data:

- Zone GRA
- Setbacks:
  - Front: 0'
  - Side: 5'
- Existing & Proposed meet requirements

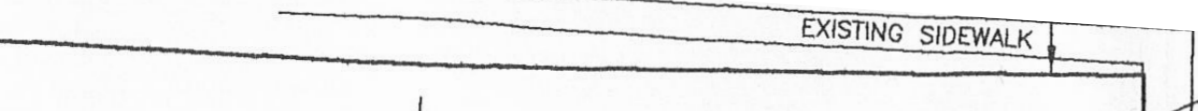
	SRA, SRB		GRA	
	Front Yard	Side or Rear Yard	Front Yard	Side or Rear Yard
<b>Building Elements</b>	Maximum Projection Into Requ			
Terraces, decks, steps and stoops that are uncovered and unenclosed and are less than 3 feet in height and less than 100 square feet in area	5'	5'	0'	5'

### Retaining Walls:

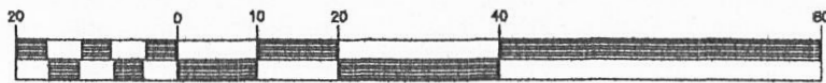
- Wall #1 = 61 SF+/- (Existing)
- Wall #2 = 44 SF+/- (Existing)
- Wall #3 = 40 SF+/- (Proposed)

STREET

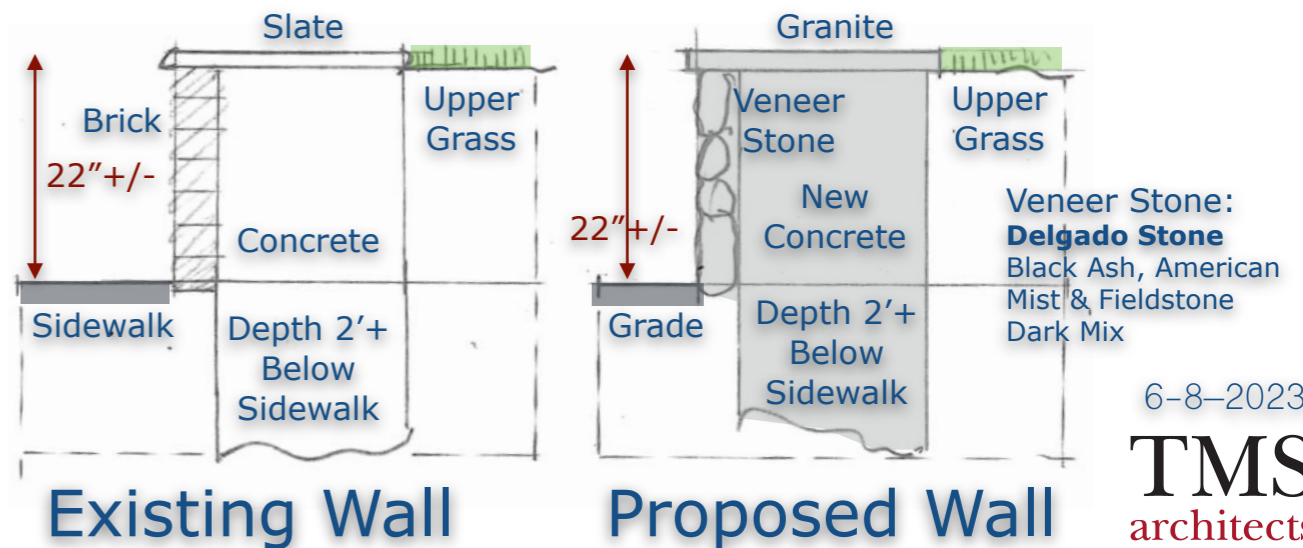
Site Plan Text Removed For Clarity



GRAPHIC SCALE



( IN FEET )  
1 inch = 40'



## Proposed Site Plan Diagram

6-8-2023

**TMS**  
architects  
interiors

# 320 Union Street Portsmouth NH



Photo #1:

### Photos #1 & #2:

- Replace existing brick with veneer stone
- Replace existing slate top with granite top pieces
- Mortar new material to existing concrete retaining wall
- No change in retaining wall size



Photo #2:



Photo #3:

### Photos #3:

- View of entire existing wall where anticipated work is to occur



Photo #4:

### Photos #4:

- Close-up of existing wall



Photo #5:

### Photos #5:

- Highlight of **New Wall** to mimic existing size (and located **12" inboard** from property line)



Photo #6:

### Photos #6:

- Highlight of **New Wall** to mimic existing size (and located **12" inboard** from property line)

## Existing Site Photos

6-8-2023

**TMS**  
architects  
interiors

**9. 459 Islington Street - Recommended Approval**

**Background:** The applicant is seeking approval for the installation of a mural on the western wall of the building.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



## LUHD-662

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 8/15/2023

### Primary Location

459 ISLINGTON ST

Portsmouth, NH 03801

### Owner

J & J'S DROP AND DRIVE LLC

Middle Street 1

PORTSMOUTH, NH 03801

### Applicant

Terrence Parker

603-531-9109

terrence@terrafirmalandarch.com

163a Court Street

Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Occupant and owner propose to mount an art mural on the western wall of building.

Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Terrence Parker

Business Name (if applicable)

terrafirma landscape architected

## Liars Bench Brewery at 459 Islington Street Application for Mural Approval

This application is for the approval of 6'x 9' mural to be mounted on a portion the west side of the brewery. The building wall faces the parking lot and the access drive of the abutting bank.

The building is a concrete block building with blue vinyl siding. The Mural will be a polyvinyl graphic adhered to a thin sheet of ¼" metal with a pipe frame and mounted through the vinyl siding and secured to the concrete block. It will be nearly out of street view as it will 100' from Islington Street.

This mural has the following benefits to the community:

- This mural will enhance the entrance experience of the site users.
- This mural will provide an education opportunity for the public.
- The mural honors author Sara Orne Jewett, a person of literary distinction in the history to the Seacoast community.
- This mural promotes the concept of *History Through Art*.
- This mural will call attention to the many women in the history of the Seacoast who contributed to the quality of life of the area.
- The mural will be "consistent with the special and defining character of the surrounding properties."



# LIARS BENCH BREWERY

459 ISLINGTON STREET  
PORTSMOUTH, NH

AERIAL VIEW



*terra firma*  
landscape architecture

163.a court street · portsmouth, nh 03801  
office 603.430.8388 | [terrence@terrafirmalandarch.com](mailto:terrence@terrafirmalandarch.com)



EXISTING SITE

# LIARS BENCH BREWERY

459 ISLINGTON STREET  
PORTSMOUTH, NH



*terra firma*  
landscape architecture

163.a court street · portsmouth, nh 03801  
office 603.430.8388 | [terrence@terrafirmalandarch.com](mailto:terrence@terrafirmalandarch.com)



**NEOKRAFT SIGNS**

Neokraft Signs, Inc.  
647 Pleasant St | 70 Commercial St  
Lewiston, Maine 04240  
207.782.9654 | neokraft.com

Custom Sign Fabrication

These plans are the exclusive property of Neokraft Signs, Inc. and are the result of the original work of its employees. They are submitted to Neokraft's client for the sole purpose of consideration of whether to purchase these plans or to purchase from Neokraft a sign manufactured according to these plans.

Distribution or exhibition of these plans to anyone other than employees of said client, or use of these plans to construct a sign similar to the one embodied herein, is expressly forbidden. In the event that such exhibition or construction occurs, Neokraft expects to be reimbursed \$1500 in compensation for time and effort entailed in creating these plans.

**PRESENTATION**

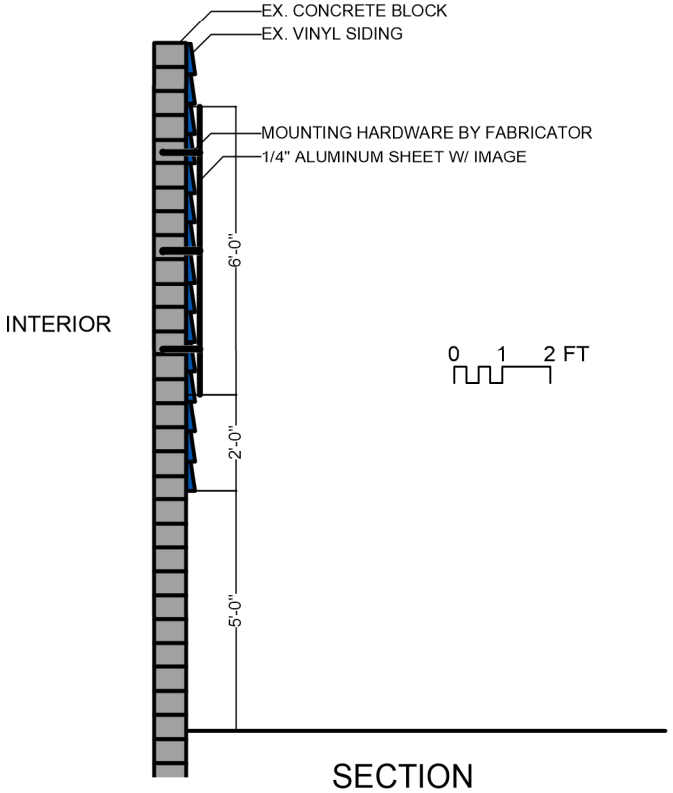
**LIAR'S BENCH**  
@12479

ACCT ID:	013447
LOCATION:	459 ISLINGTON STREET PORTSMOUTH, NH
DRAWING NO:	1 OF
DRAWN BY:	AB REP: AB
DATE:	08.08.2023
QUOTE:	@12479
GEN REF:	



MURAL

.100 ALUMINUM PANEL WITH FULL COLOR PRINTED VINYL  
2" LEG OUT ANGLES FOR WALL MOUNT  
**NOT-LIT WALL MURAL PANEL**  
(1) REQUIRED



**LIARS BENCH BREWERY**  
459 ISLINGTON STREET  
PORTSMOUTH, NH

**Sarah Orne Jewett (1849 1909)**  
*Prolific Writer of Short Stories, Novels, Children's Books & Poetry*  
Sarah Orne Jewett was born in South Berwick, Maine where she attended Berwick Academy. Her first story was published by *The Atlantic* when she was 19. An abiding love of the natural world, so evident in her writings, was nurtured by her physician father, who is featured in her short story, *A Country Doctor* (1884).  
A noted Realist and Regional writer, Sarah placed her stories on the southern coast of Maine. Her stories presented distinct, often kindly characters, that included natural surroundings. The most popular of her many published works include the short story collection *A White Heron* (1886), *The Country of the Pointed Firs* (1896) and the historic novel, *The Tory Lover* (1901).  
She was a mentor to a host of younger writers, including Willa Cather, and an associate of contemporary writers Celia Thaxter, Thomas Bailey Aldrich, and John Greenleaf Whittier. Sarah's writing career ended in 1902 after a debilitating carriage accident. Sarah was the partner of Annie Adams Fields of Boston for more than two decades, who was with her when she died at age 59. Her South Berwick home is a museum, open to the public. Her papers are kept at Harvard Library.

**terra firma**  
landscape architecture  
163-a court street · portsmouth, nh 03801  
office 603.430.8388 | terrence@terrafirmalandarch.com

**10. 138 Maplewood Avenue**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the revised as-built drawings of the columns.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





### LUHD-661

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 8/15/2023

### Primary Location

138 MAPLEWOOD AVE  
Portsmouth, NH 03801

### Owner

PANTELAKOS DONNA P REV  
TRUST & PANTELAKOS G T &  
D P TRUSTEES  
138 MAPLEWOOD AVE  
PORTSMOUTH, NH 03801

### Applicant

Anne Whitney  
 603-502-4387  
 archwhit@aol.com  
 801 Islington St, Suite 32  
Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Add Molding Details to As-Built Square Columns. This project is under LU-20-71 & BLDG-22-567.

Description of Proposed Work (Planning Staff)

HDC Chair Mr. Wycoff and Board Members:

Donna Pantelakos 138 Maplewood Ave

I am presenting this letter as a homeowner and a lifelong resident of Portsmouth, having lived at 138 Maplewood Ave. since urban renewal took our home on Russell St. in the North end. My parents were fortunate to purchase the Maplewood Ave property which they loved as does our family. We feel very blessed we were able to purchase and renovate the entire property, the front house about 8 years ago and most recently the 4-car garage, a structure approximately 30 years old.

There are statements and comments from the meeting on July 12<sup>th</sup>, which I need to address.

First and most importantly, none of the changes were made with malice intent, or with any disrespect for Anne or anyone on this board. We have the utmost respect for her and her ability as an architect and a consummate professional. We have been before the HDC within the last several years. We have always been respectful of your position and your function.

This played out the way it did because of our naivete and total excitement for the completion of our beautiful home, yes, our beautiful home, despite your individual opinions. Much of what takes place with the HDC is subjective, especially when you are evaluating non-historical structures in a historic district. I recognize how difficult that may be. I invite you to do a site walk of our property, giving you a first-hand look at our lovely home.

We have received wonderful compliments regarding our now new home. Many of our neighbors and visitors remember seeing a rundown four car garage. The transformation is remarkable. I cannot imagine anyone saying, "what the heck happened here, or what were they

thinking.” I imagine them saying “wow, look what they have done, it looks fabulous.” Again, subjective. Beauty is in the eyes of the beholder. There is nothing “cheap on this Ferrari.”

One thing is undeniable, the square columns did not replace the round columns, because we decided the round columns were too costly. I asked Eldredge lumber to price out the difference between the cost of the round columns versus the square. The cost for material for the round columns is \$2356 dollars as opposed to the material cost for the square, which is \$1880.39 dollars (labor cost to install the square was \$2780), the difference for material being \$485.00 dollars. Cost should always be a consideration. Anyone in the building trades knows how expensive building materials are. They are at least double what they were a few years ago.

The changes were made because of how beautiful the square columns look and because we did not realize the significance of changing from round columns to square.

Throughout the entire framing process Warren our GC was in contact with Anne. I can assure you, as Anne can attest to, he is a phenomenal builder. He is guilty of not knowing the complete rules of the Portsmouth HDC. We have all learned a lot through this process. Many people walked through our building during the various stages of the framing process, they all raved about Warren’s workmanship. He is an incredibly talented builder.

And despite what you may think of our home, my husband and I think our 30-year-old, very tired four car garage, with the help and expertise of Anne and Warren has turned into a magnificent home.

We are happy with the simple detail of the square columns. But to address your concerns, we are proposing to add crown and base molding as per the attached sketch by Anne Whitney.

Thank you for your consideration,

*George Pantelakos*  
*Donna Pantelakos*  
George and Donna Pantelakos

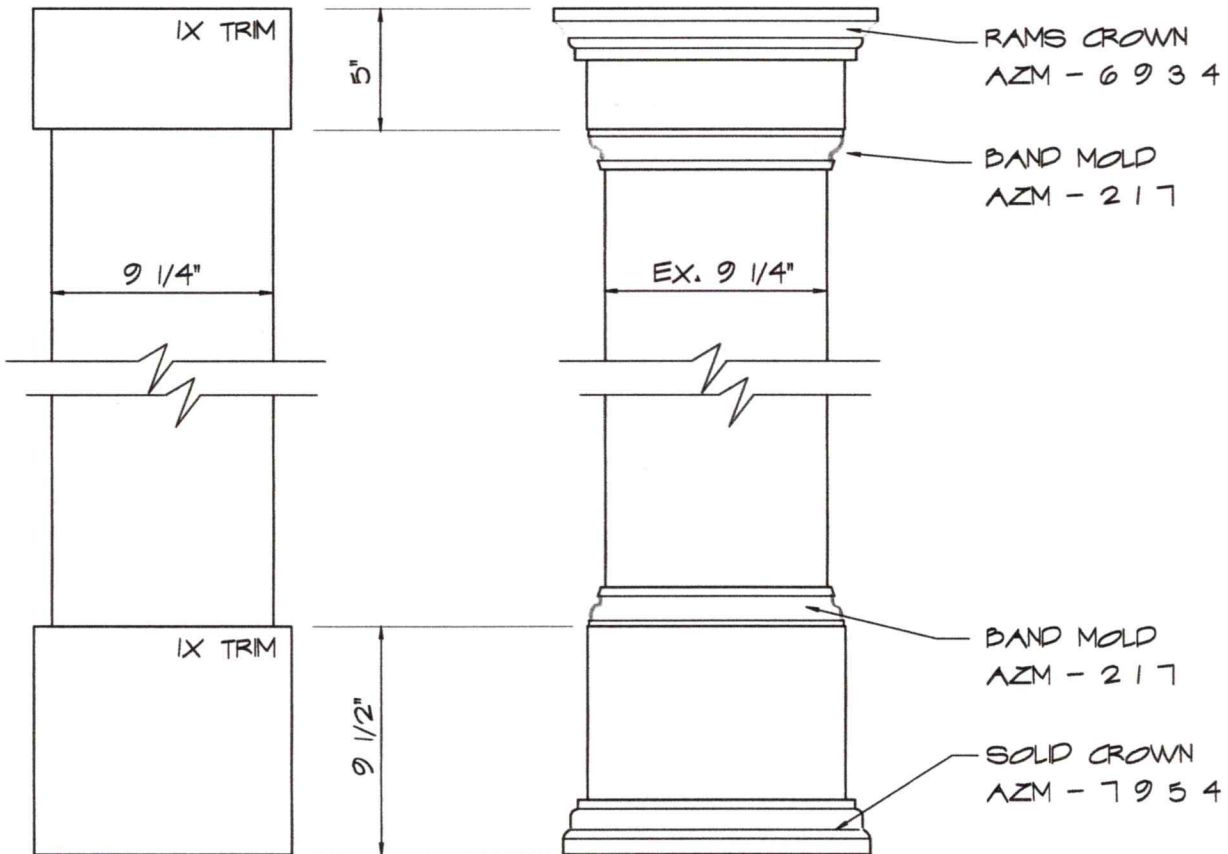
August 14, 2023

UNIT A 138 MAPLEWOOD AVE.  
MDC ADMINISTRATIVE APPROVAL

ADDED DETAIL TO RECTANGULAR COLUMNS



○ PORCH ELEVATIONS, REAR & LEFT SIDE  
SCALE : 3/16" = 1'-0"



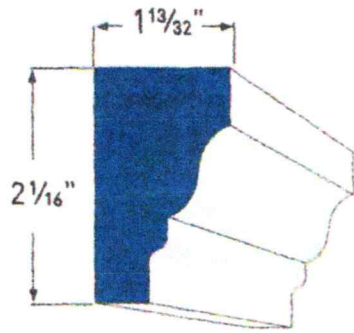
○ AS BUILT & PROPOSED ADDED COLUMN DETAILS  
SCALE : 1 1/2" = 1'-0"



AS-BUILT COLUMN & SCREENING

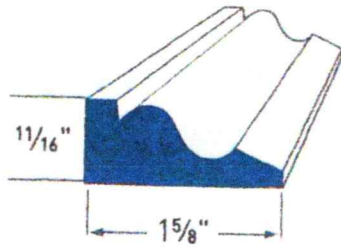


AS-BUILT PORCH



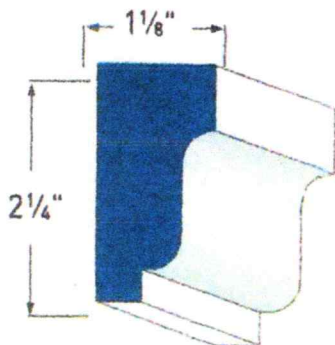
RAMS CROWN  
AZM-6934  
LENGTH: 16'

COLUMN CAP MOLD



BAND MOULDING AZM-217  
LENGTH: 16'

BAND MOLD AT TOP & BASE IX TRIM



SOLID CROWN  
AZM-7954  
LENGTH: 16'

COLUMN BASE MOLD

**11. 3 Pleasant Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of an awning system.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





### LUHD-676

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 8/31/2023

### Primary Location

3 PLEASANT ST  
Portsmouth, NH 03801

### Owner

DAGNY TAGGART LLC  
3 PLEASANT ST 4TH FLR  
PORTSMOUTH, NH 03801

### Applicant

Tracy Kozak  
 603-731-5187  
 tracyskozak@gmail.com  
 3 Congress Street, Suite 1  
Portsmouth, New  
Hampshire 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

awning over dumpster

### Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

DRAWING INDEX	
Sheet Number	Sheet Name
H0.1	COVER
H1.1	3 PLEASANT ST. PLANS, ELEVATIONS, & PHOTOS
H1.2	3 PLEASANT ST. BRACKET DETAIL



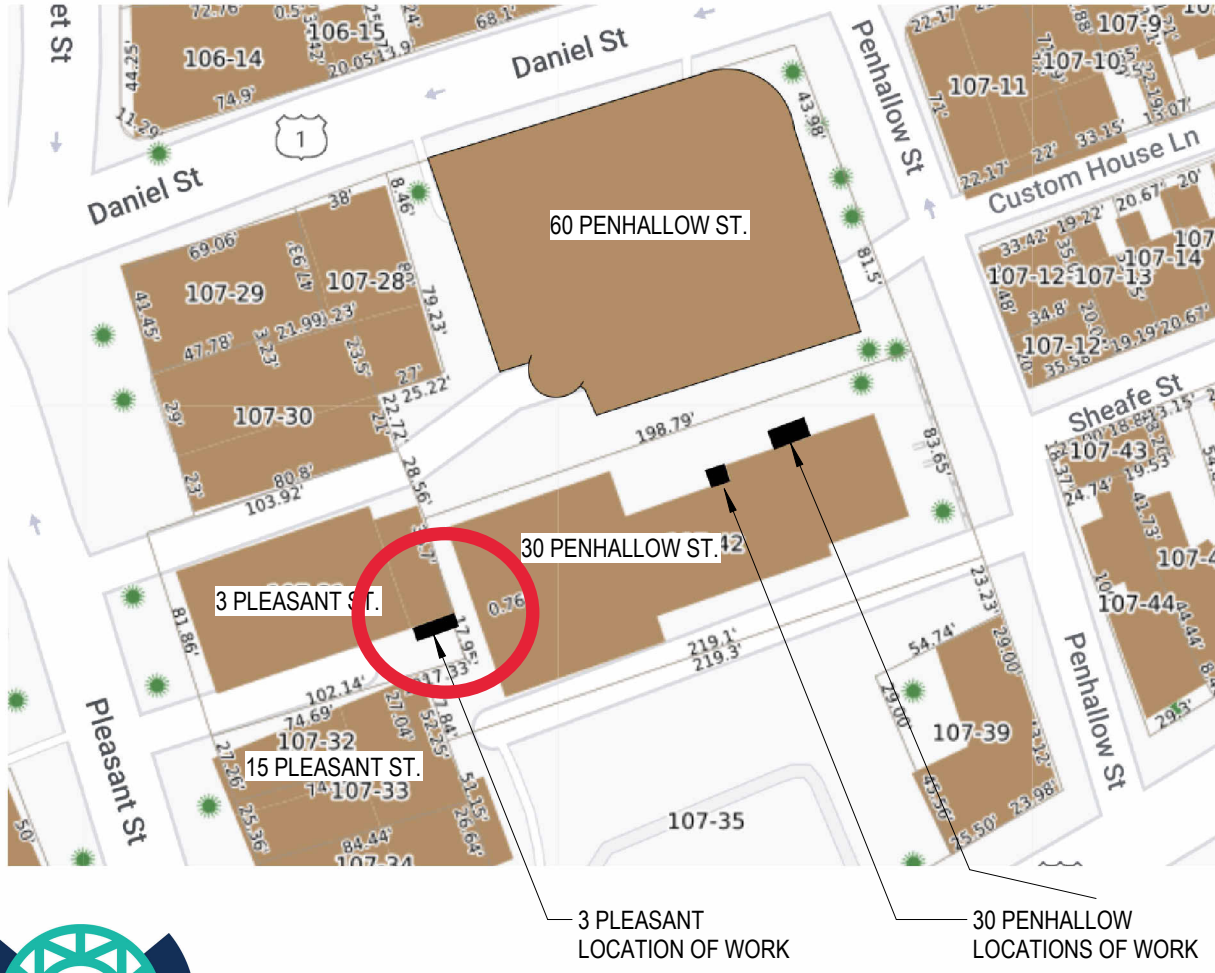
3 PLEASANT STREET



COVER  
3 PLEASANT ST

# PROJECT NARRATIVE

The scope of the work will include 1 utility awning addition to rear of existing building over the existing dumpster enclosure. This awning at 3 Pleasant Street will be used to provide precipitation shelter for the trash area, along the Brick Market pedestrian alleyway.



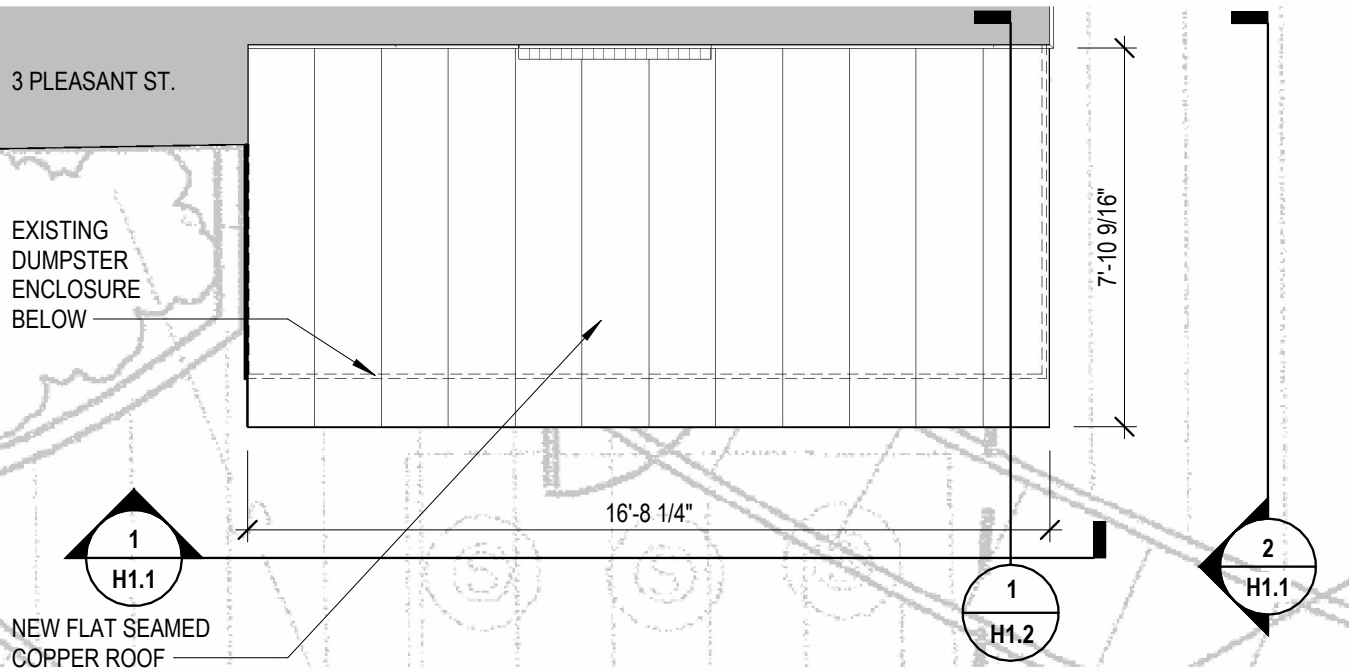
# 3 PLEASANT ST

## UTILITY AWNING ADDITION

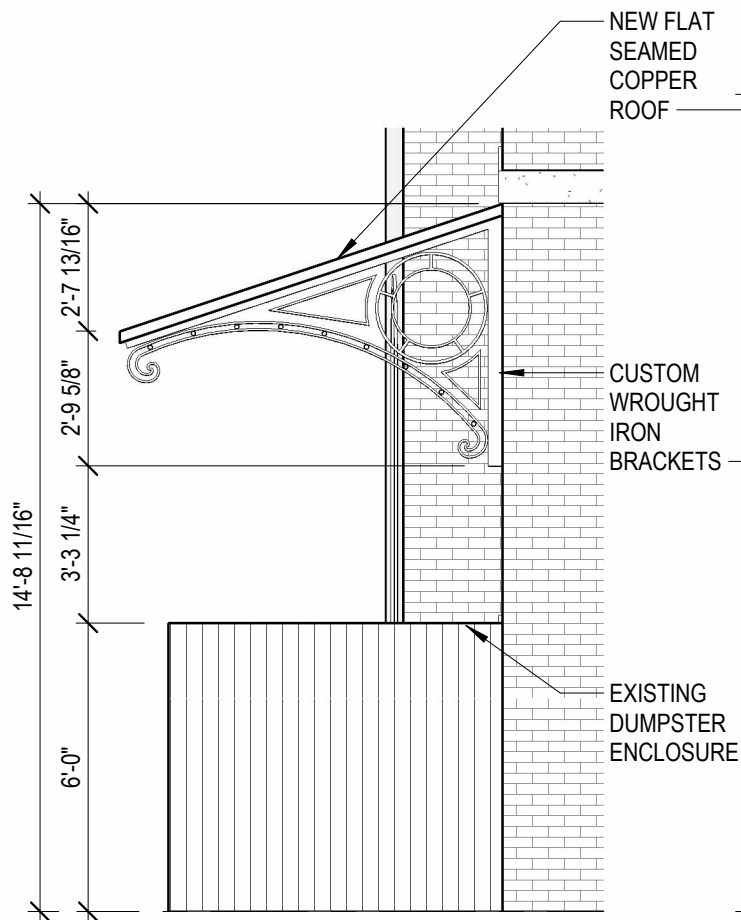
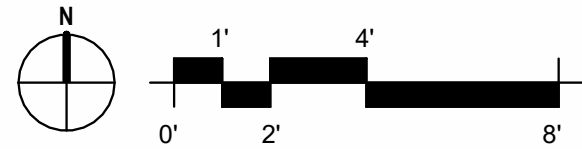
HISTORIC DISTRICT COMMISSION  
PUBLIC HEARING



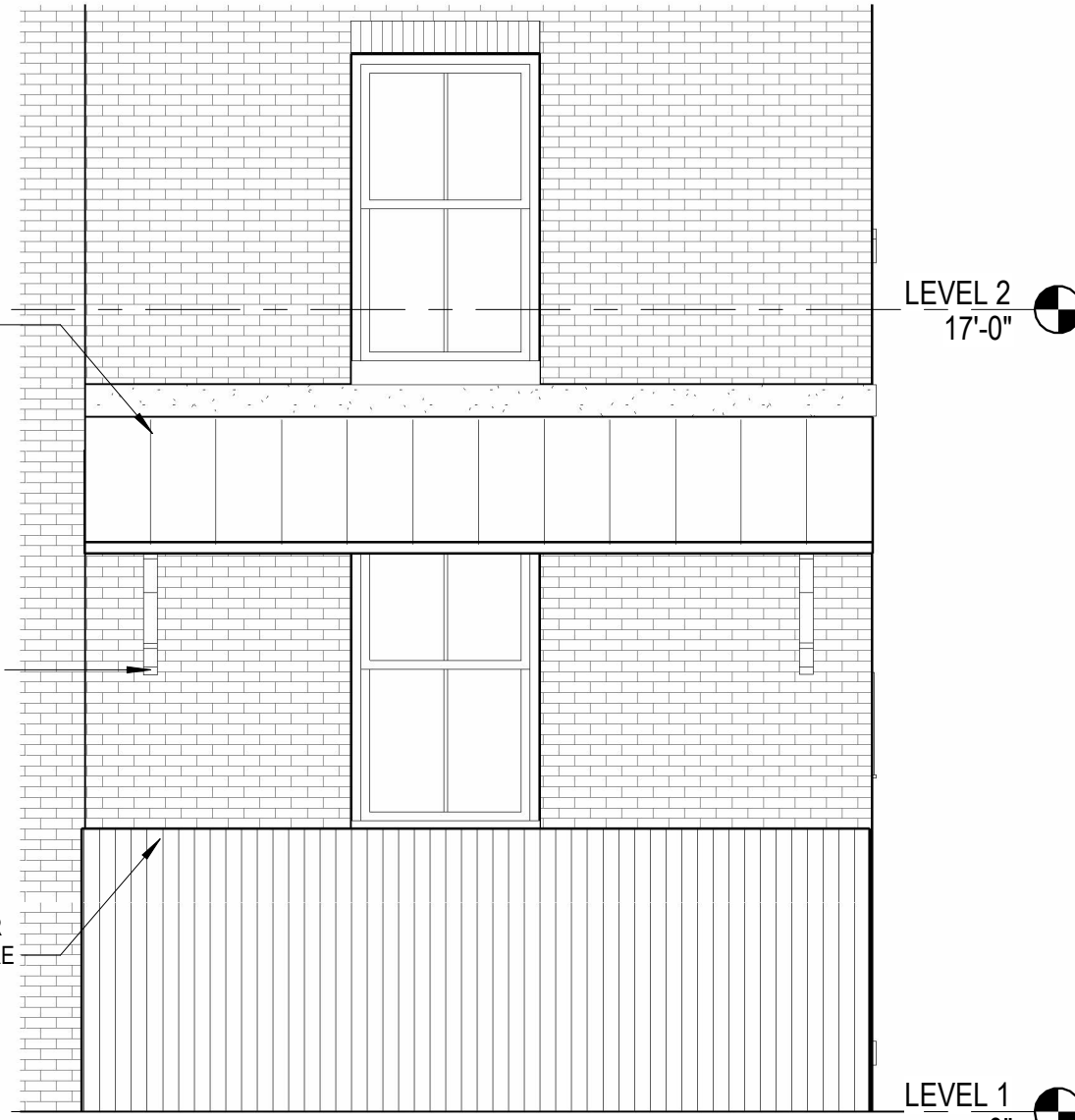
4 3D VIEW



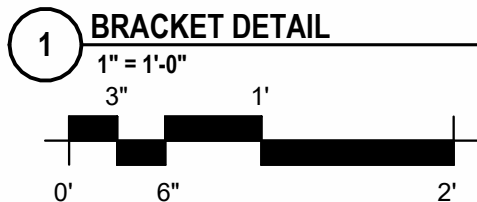
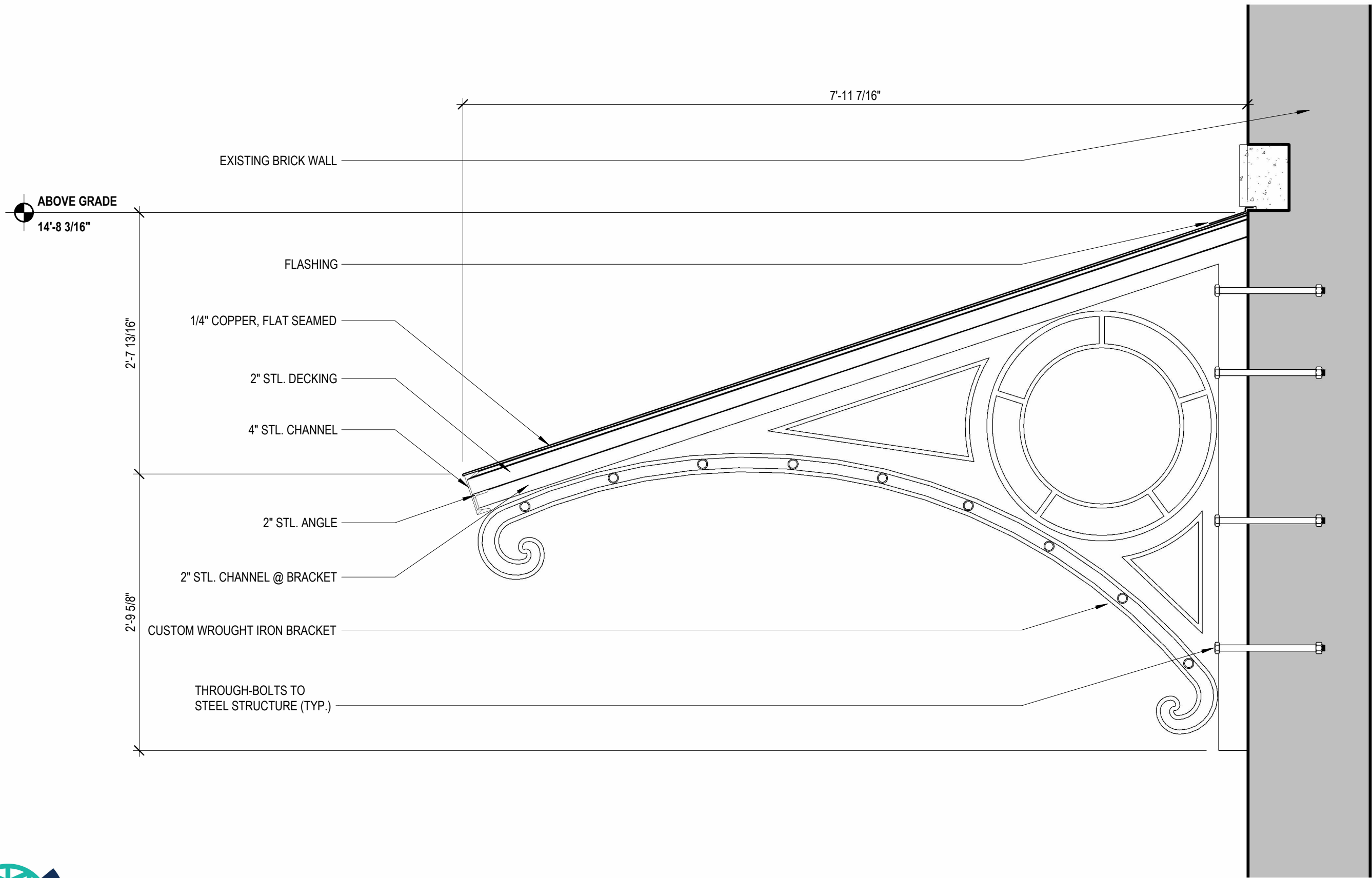
3 ROOF PLAN  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"



3 PLEASANT ST. BRACKET DETAIL  
 3 PLEASANT ST

**12. 30 Penhallow Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of an awning system.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-677

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 8/31/2023

### Primary Location

30 PENHALLOW ST

Portsmouth, NH 03801

### Owner

COVENTRY ASSETS LTD

3 PLEASANT ST 4TH FLR

PORTSMOUTH, NH 03801

### Applicant

Tracy Kozak

603-731-5187

tracyskozak@gmail.com

3 Congress Street, Suite 1  
Portsmouth, New  
Hampshire 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

awning overbasement stair & condenser

### Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

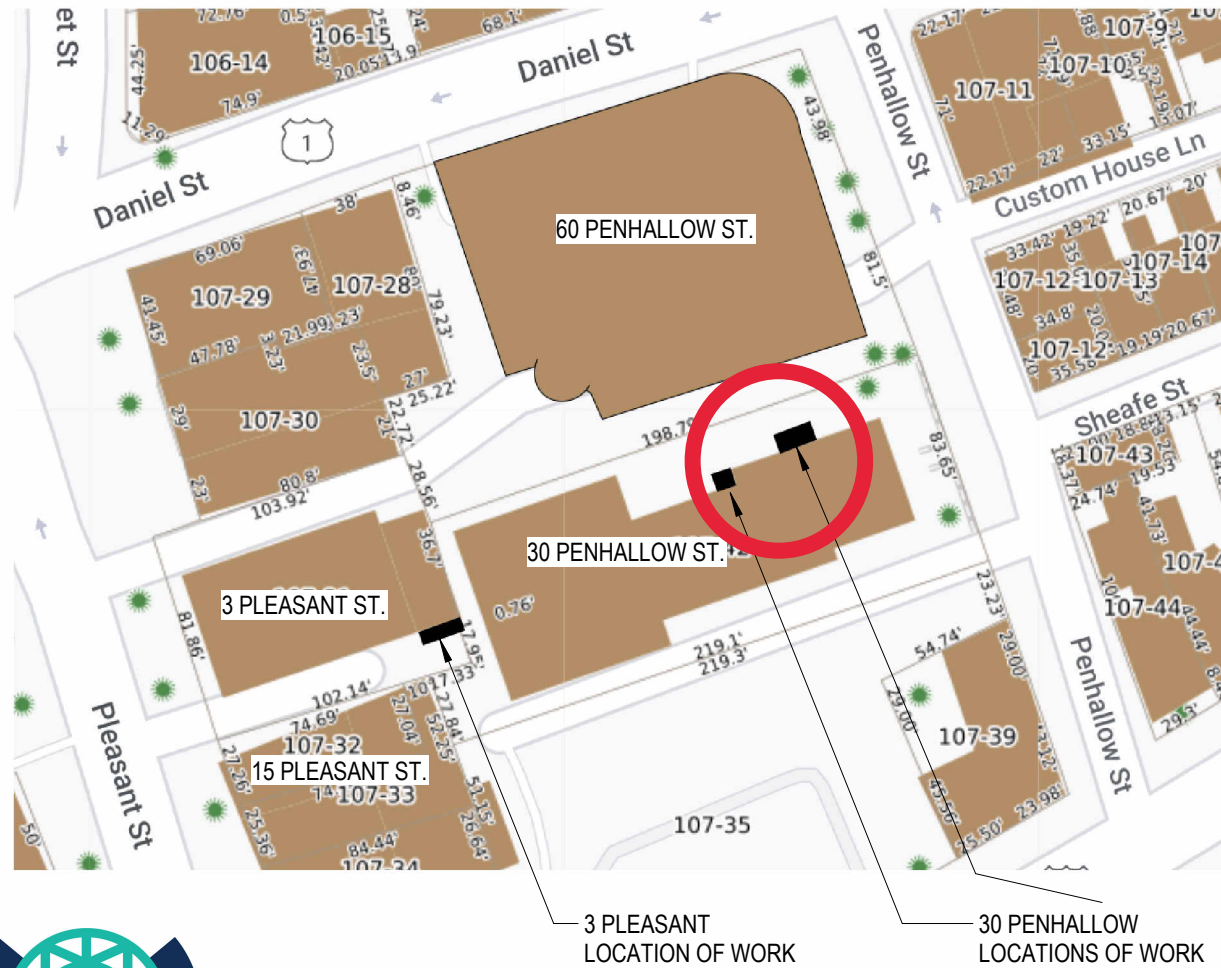
If you selected "Other", please state relationship to project.

DRAWING INDEX

Sheet Number	Sheet Name
H0.1	COVER
H2.1	30 PENHALLOW ST. PLANS & ELEVATIONS
H2.2	30 PENHALLOW ST. PHOTOS & 3D VIEWS
H2.3	30 PENHALLOW ST. GLASS ROOF DETAIL
H2.4	30 PENHALLOW ST. GLASS ROOF RENDER

# PROJECT NARRATIVE

The scope of the work will include 2 utility awning additions to the side of existing building. The awnings at 30 Penhallow will be used to provide precipitation shelter for the basement steps and over the condenser along the Brick Market pedestrian alleyway.

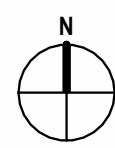
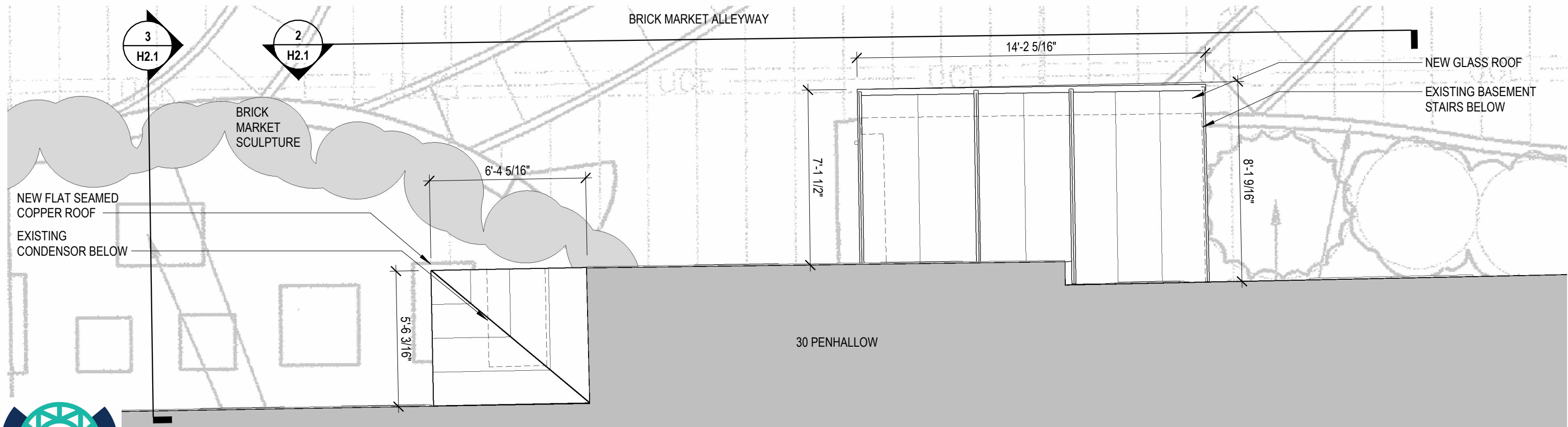
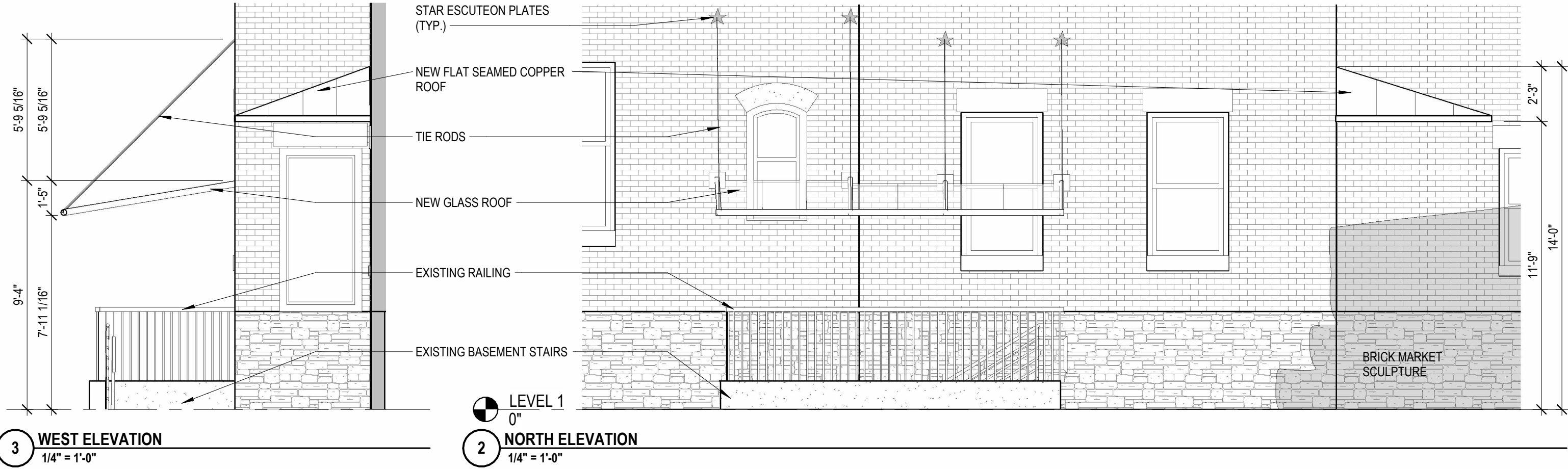


30 PENHALLOW STREET

## 30 PENHALLOW ST UTILITY AWNINGS ADDITIONS

HISTORIC DISTRICT COMMISSION  
PUBLIC HEARING





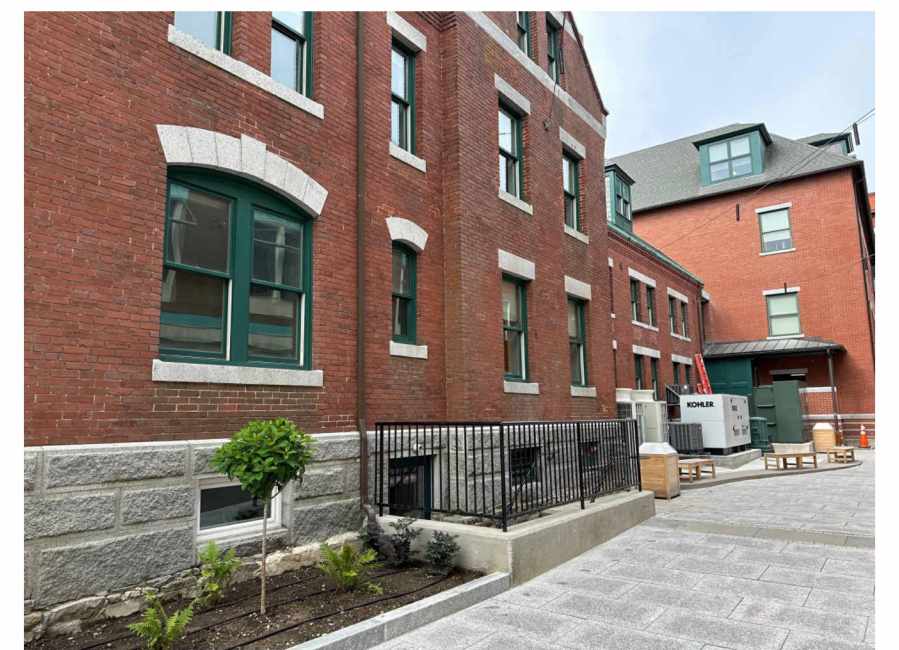




BRICK MARKET ALLEY LOOKING TOWARDS PENHALLOW ST.



EXISTING AWNINGS ACROSS ALLEY



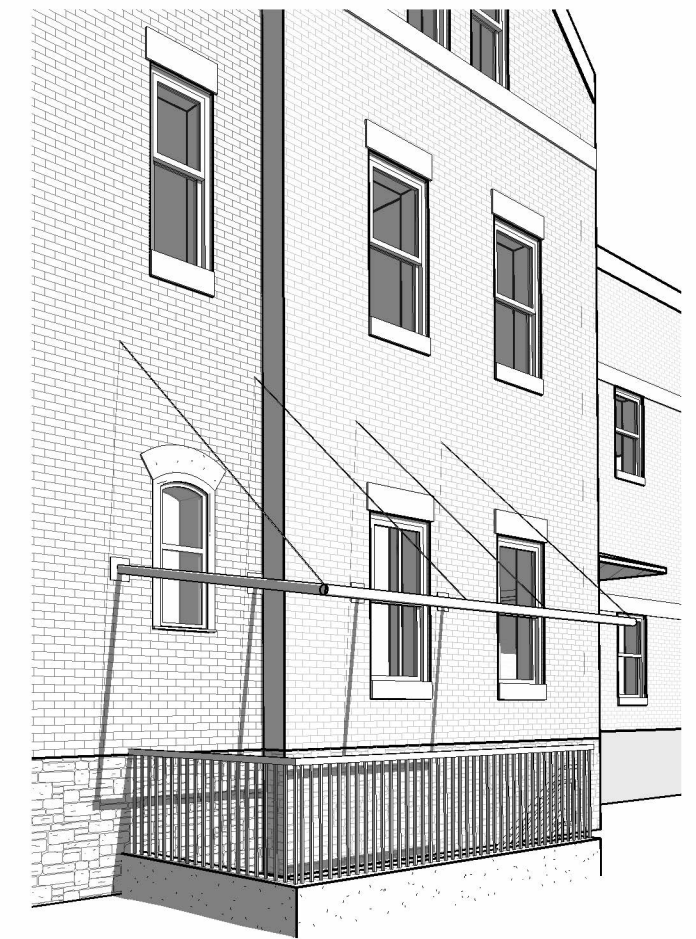
BRICK MARKET ALLEY LOOKING FROM PENHALLOW ST.



EXISTING COMPRESSOR TO BE COVERED

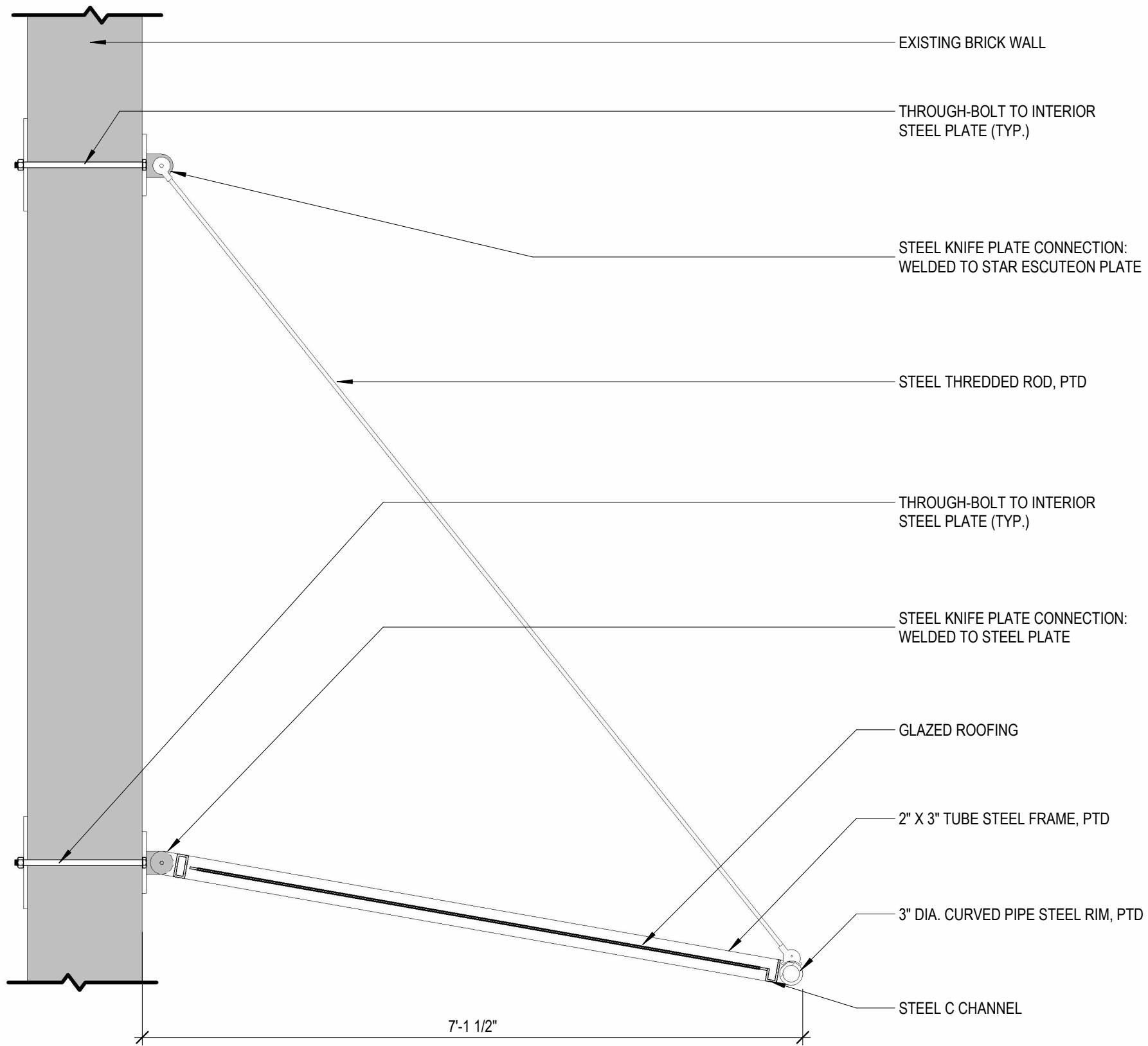


3D VIEW FROM BRICK MARKET ALLEY TOWARDS PENHALLOW ST.



3D VIEW FROM BRICK MARKET ALLEY





1 **GLASS ROOF DETAIL**  
3/4" = 1'-0"



30 PENHALLOW ST. GLASS ROOF DETAIL  
30 PENHALLOW ST





30 PENHALLOW ST. GLASS ROOF RENDERING  
30 PENHALLOW ST

**13. 361 Islington Street - Recommended Approval**

**Background:** The applicant is seeking approval for the final siding material.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



## LUHD-678

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 8/31/2023

### Primary Location

361 ISLINGTON ST  
Portsmouth, NH 03801

### Owner

ITS GOOD TO BE KNEADED  
LLC  
337 RICHARDS AVE  
PORTSMOUTH, NH 03801

### Applicant

Jeffrey Dyer  
 603-988-3528  
 jeffreyndyer@gmail.com  
 140 Sherburne Ave  
Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Rehab of old gas station administrative approval for the materials being used on the siding and Roof screening.

Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

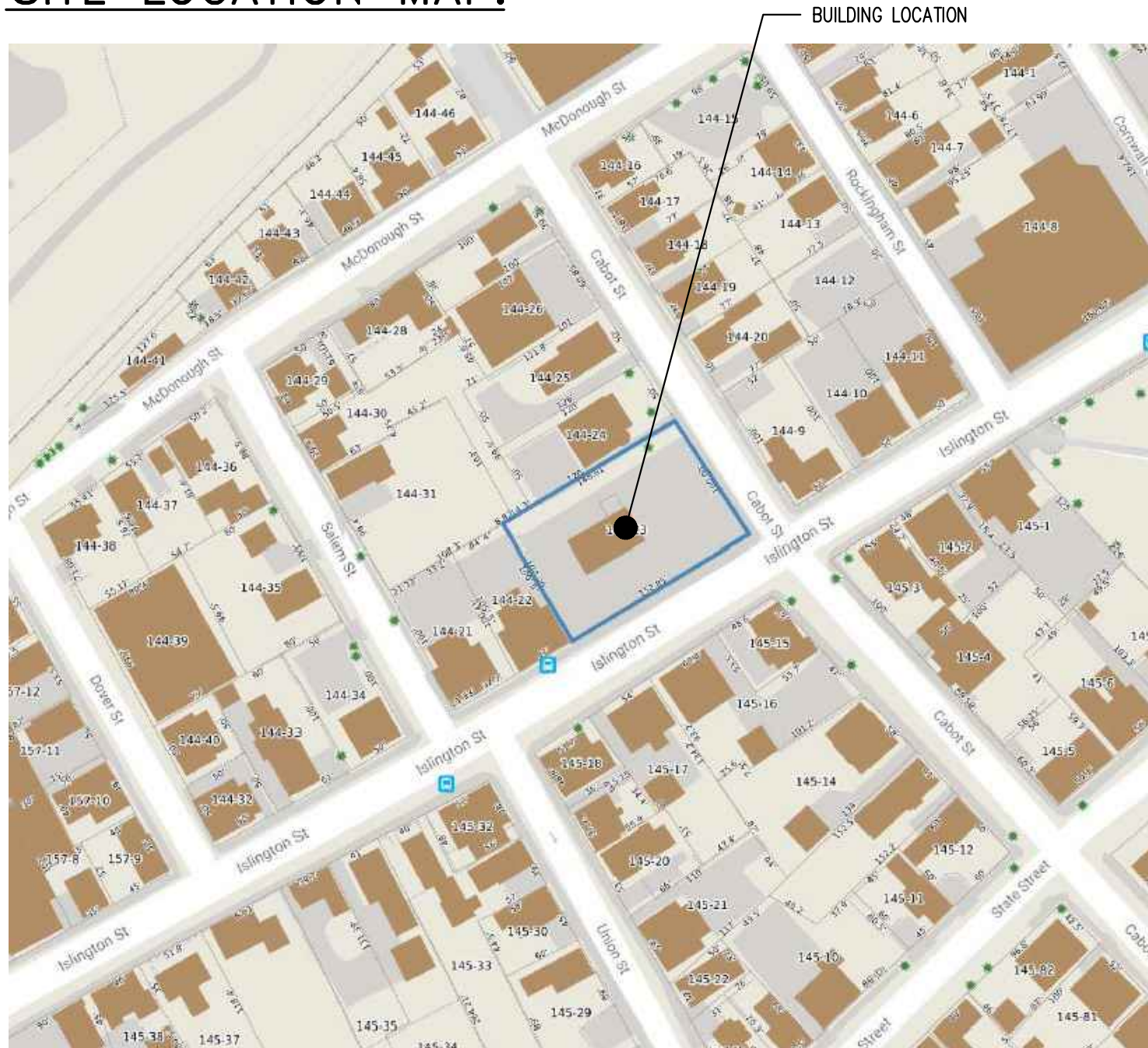
# THE GETTY

361 ISLINGTON STREET  
 HISTORIC DISTRICT COMMISSION SUBMISSION  
 ADMINISTRATIVE APPROVAL - 09/06/2023

PREVIOUS SUBMISSIONS:

PLANNING BOARD APPROVAL - 03/16/2023  
 TAC APPROVAL - 02/07/2023  
 TAC WORK SESSION - 01/23/2023  
 BOARD OF ADJUSTMENT - 10/18/2022  
 HDC PUBLIC HEARING - 11/02/2022  
 HDC WORK SESSION - 09/07/2022

SITE LOCATION MAP:



DESIGN INTENT:

- TRANSFORM THE FORMER GAS STATION / FORMER OUTDOOR FOOD TRUCK COURT INTO A FULL SERVICE RESTAURANT WITH INDOOR AND OUTDOOR SEATING.
- ADD TO THE VITALITY OF ISLINGTON STREET WITH THE ADDITION OF A PUBLIC GATHERING SPACE.
- CONSTRUCT A SMALL ADDITION TO THE WEST OF THE EXISTING STRUCTURE TO REPLACE A LARGE GLAZED GARAGE DOOR TO CREATE A BUFFER TO THE NEIGHBORING PROPERTY.
- CONSTRUCT AN ADDITION TO THE NORTH OF THE EXISTING STRUCTURE TO PROVIDE SPACE FOR KITCHEN, COOLING EQUIPMENT, AND NEW RESTROOMS FOR THE RESTAURANT.
- ALTER THE EXISTING CANOPY TO CREATE OUTDOOR SEATING AREAS THAT ARE BOTH FULLY COVERED AND PARTIALLY COVERED.
- LANDSCAPING AND PLANTERS WILL BE CONSTRUCTED TO CREATE A BUFFER BETWEEN THE SEATING AND STREETScape AREAS.
- EXISTING WINDOWS AND DOORS WILL BE REPAIRED AND/OR REPLACED. NEW WOOD AND METAL CLADDING WILL BE INSTALLED OVER PORTIONS OF THE EXISTING CONCRETE BLOCK. OTHER AREAS OF CONCRETE BLOCK SHALL BE PAINTED.
- A FENCE WILL BE PROVIDED ALONG THE NORTH RETAINING WALL AS A BUFFER BETWEEN THE PARKING AND THE NEIGHBORING PROPERTY.

DRAWING INDEX:

GENERAL

- TO.1 TITLE SHEET
- T1.0 EXISTING SITE PHOTOS

■ SHEETS FOR HDC ADMIN APPROVAL SUBMISSION SHOWN SHADED

EXISTING DRAWINGS

- AE1.0 EXISTING SITE PLAN
- AE1.1 EXISTING FLOOR PLAN
- AE2.0 EXISTING ELEVATIONS
- AE2.1 EXISTING ELEVATIONS

ARCHITECTURAL DRAWINGS

- A1.0 PROPOSED SITE PLAN
- A1.1 PROPOSED FLOOR PLAN
- A1.2 PROPOSED REFLECTED CEILING PLAN
- A2.0 PROPOSED ELEVATIONS
- A2.1 PROPOSED ELEVATIONS
- A5.0 SECTIONS AND DETAILS
- A5.1 SECTIONS AND DETAILS
- A7.0 DOOR AND WINDOW TYPES
- A8.0 PERSPECTIVE IMAGES
- A8.1 BEFORE/AFTER IMAGES
- A9.0 MATERIAL INSPIRATION
- A9.1 PRODUCT DATA

THE GETTY  
 361 ISLINGTON STREET  
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:  
 KEY:

**WINTER HOLBEN**  
 architecture + design

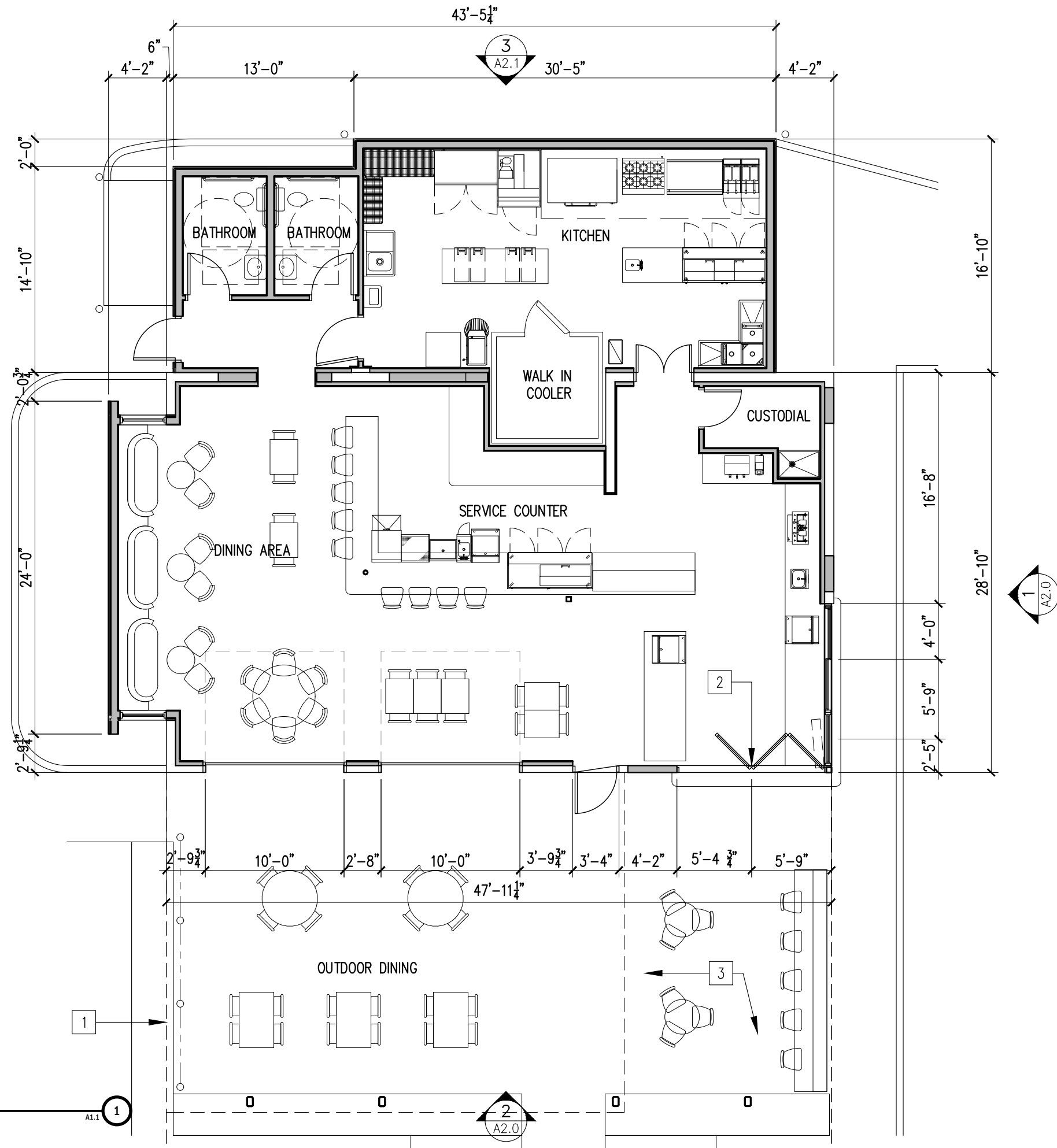
7 WALLINGFORD SQ  
 UNIT 209-9  
 KITTERY, MAINE 03904  
 207.994.3104

REVISIONS:

PROJECT NAME: THE GETTY  
 361 ISLINGTON ST.  
 PORTSMOUTH, NH 03801  
 PROJECT NO.: 22063  
 DRAWN BY: BH, RW  
 APPROVED BY: BH  
 ISSUE DATE: 2023/08/29  
 DRAWING NAME: Cover

SCALE:  
 DRAWING NO.:

T0.1



**PROPOSED FLOOR PLAN**  
SCALE: 1/8"=1'-0"

PLAN KEY NOTES:	
1	LINE OF EXISTING CANOPY ABOVE
2	FOLDING WINDOW TO EXTERIOR SEATING
3	AREA OF EXISTING CANOPY TO BE OPENED TO CREATE A TRELLIS ABOVE

**THE GETTY**  
361 ISLINGTON STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

**WINTER HOLBEN**  
architecture + design

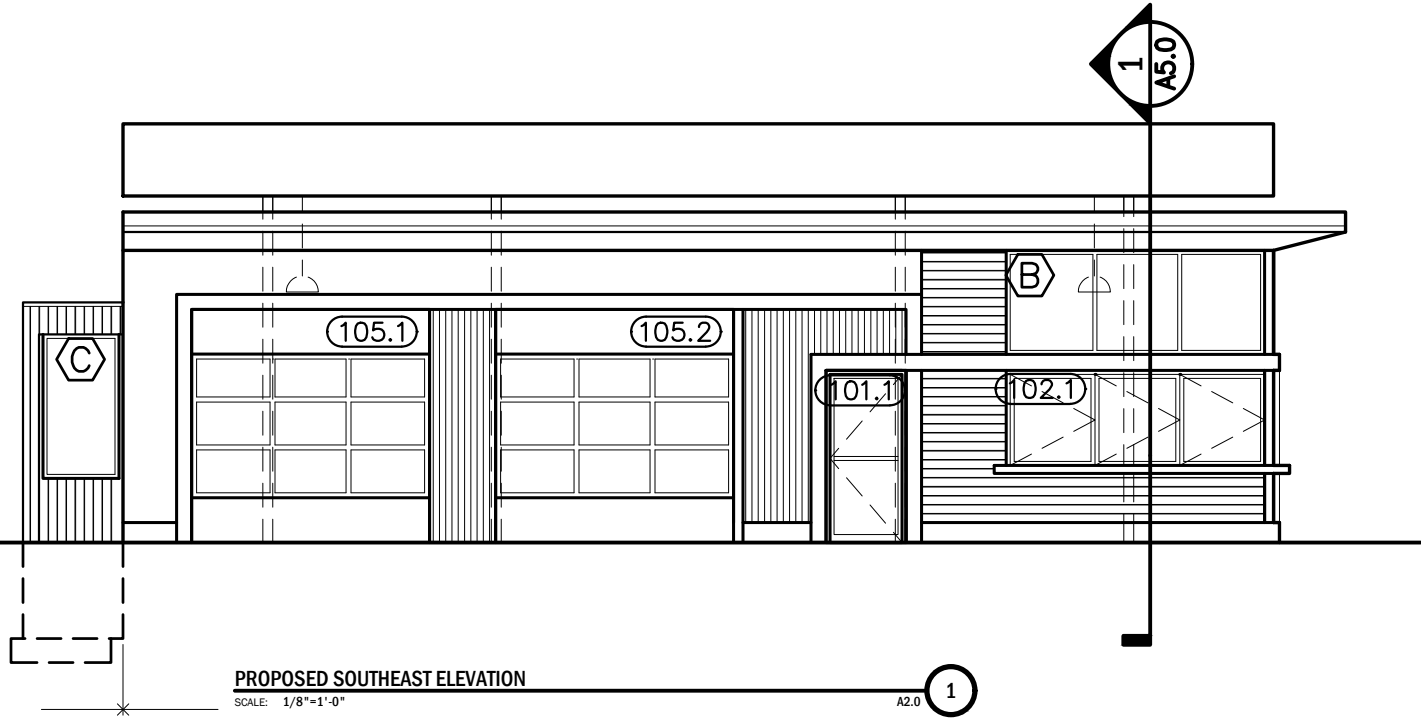
7 WALLINGFORD SQ  
UNIT 209-9  
KITTERY, MAINE 03904  
207.994.3104

PROJECT NAME: THE GETTY  
361 ISLINGTON ST.  
PORTSMOUTH, NH 03801  
PROJECT NO.: 22063  
DRAWN BY: BH, RW  
APPROVED BY: BH  
ISSUE DATE: 2023/08/29  
DRAWING NAME: PROPOSED FLOOR PLAN

SCALE:  
DRAWING NO.:

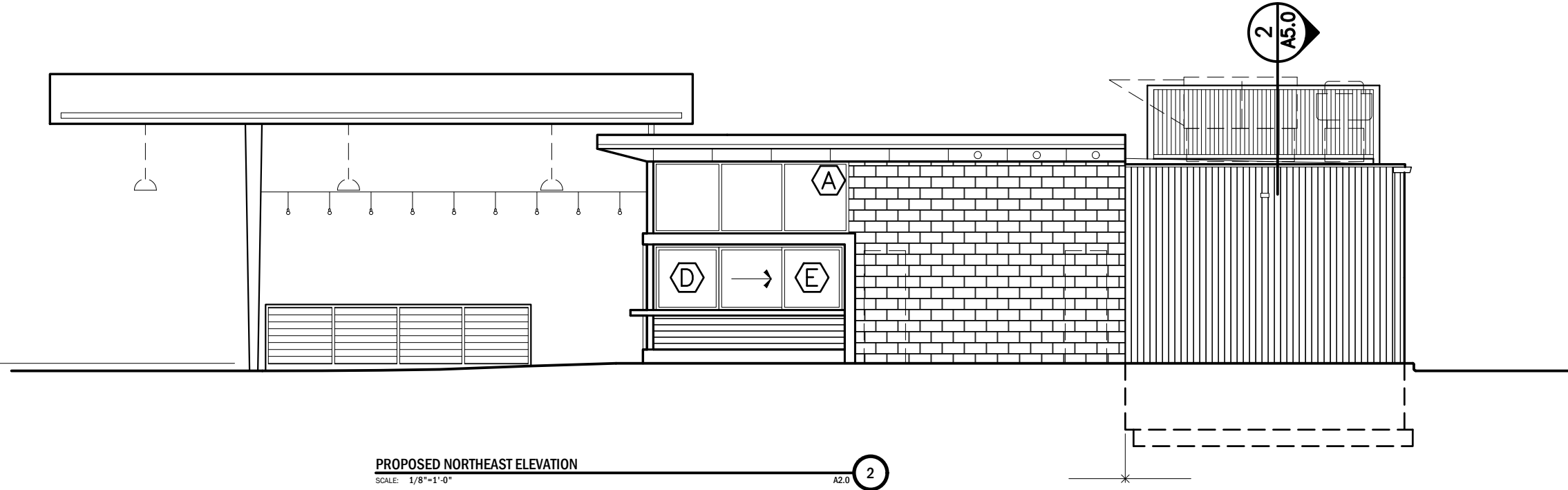
**A1.1**

- ⊕ TOP OF CANOPY  
ELEV = +17'-5"
- ⊕ TOP OF SCREENING  
ELEV = +17'-0"
- ⊕ TOP OF ROOF (EXISTING)  
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF  
ELEV = +10'-0"
- ⊕ FIRST FLOOR  
ELEV = +0'-0"



**PROPOSED SOUTHEAST ELEVATION**  
SCALE: 1/8"=1'-0"  
A2.0 1

- ⊕ TOP OF CANOPY  
ELEV = +17'-5"
- ⊕ TOP OF SCREENING  
ELEV = +16'-9"
- ⊕ TOP OF ROOF (EXISTING)  
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF  
ELEV = +12'-0"
- ⊕ FIRST FLOOR  
ELEV = +0'-0"



**PROPOSED NORTHEAST ELEVATION**  
SCALE: 1/8"=1'-0"  
A2.0 2

**THE GETTY**  
361 ISLINGTON STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:  
KEY:

**WINTER  
HOLBEN**  
architecture + design

7 WALLINGFORD SQ  
UNIT 209-9  
KITTEERY, MAINE 03904  
207.994.3104

REVISIONS:

PROJECT NAME:  
THE GETTY  
361 ISLINGTON ST.  
PORTSMOUTH, NH 03801  
PROJECT NO.: 22063  
DRAWN BY: BH, RW  
APPROVED BY: BH  
ISSUE DATE: 2023/08/29  
DRAWING NAME:

**PROPOSED  
ELEVATIONS**

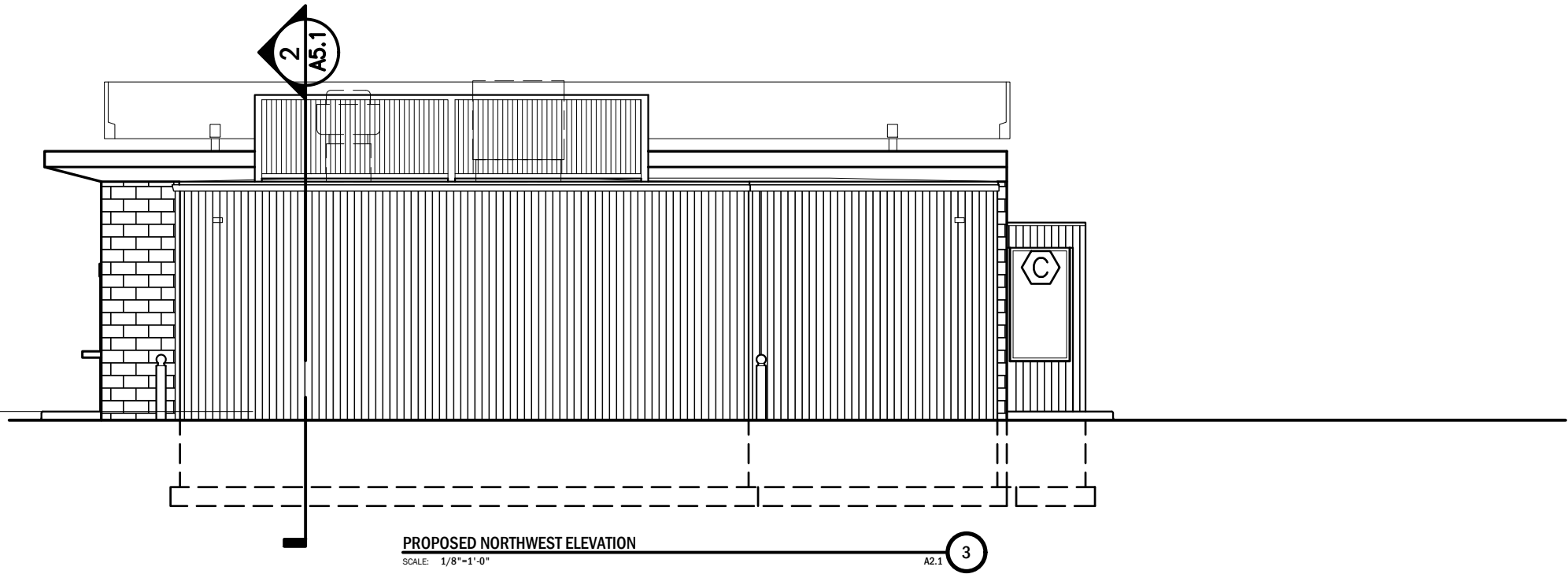
SCALE:  
DRAWING NO.:

**A2.0**



- ⊕ TOP OF CANOPY  
ELEV = +17'-5"
- ⊕ TOP OF SCREENING  
ELEV = +16'-9"
- ⊕ TOP OF ROOF (EXISTING)  
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF  
ELEV = +12'-0"

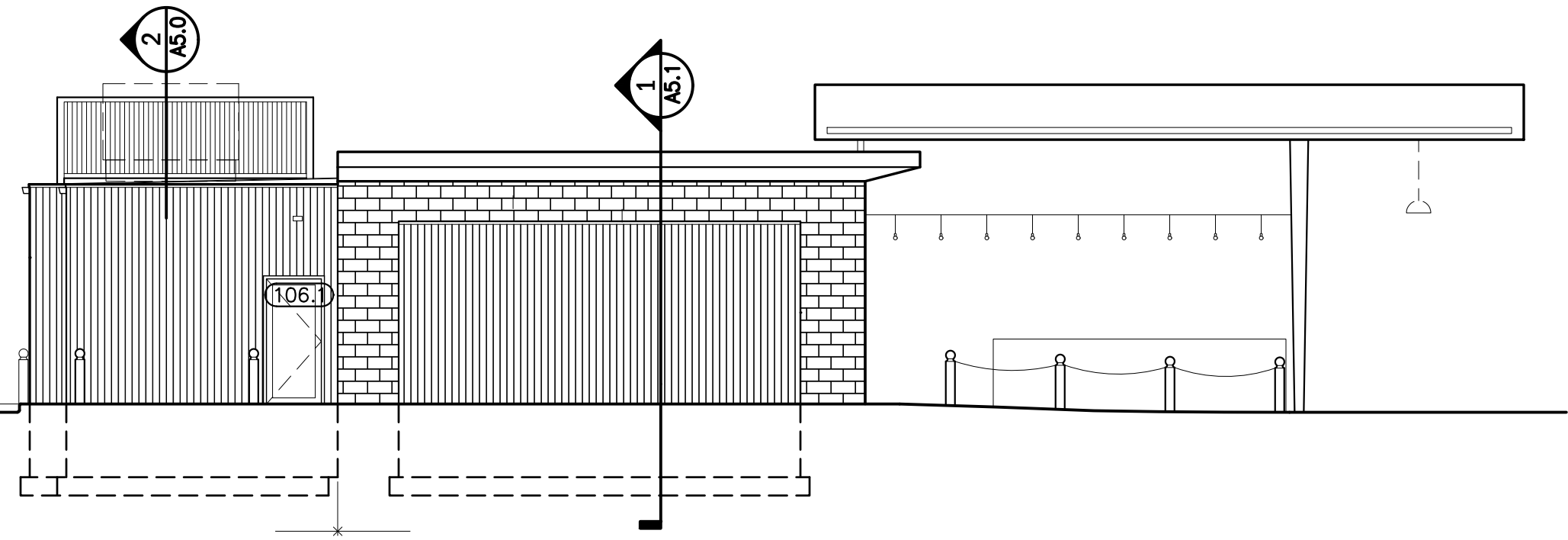
⊕ FIRST FLOOR  
ELEV = +0'-0"



PROPOSED NORTHWEST ELEVATION  
SCALE: 1/8"=1'-0" A2.1 3

- ⊕ TOP OF CANOPY  
ELEV = +17'-5"
- ⊕ TOP OF SCREENING  
ELEV = +16'-9"
- ⊕ TOP OF ROOF (EXISTING)  
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF  
ELEV = +12'-0"
- ⊕ TOP OF ADDITION ROOF  
ELEV = +10'-0"

⊕ FIRST FLOOR  
ELEV = +0'-0"



PROPOSED SOUTHWEST ELEVATION  
SCALE: 1/8"=1'-0" A2.1 4

**THE GETTY**  
 361 ISLINGTON STREET  
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:  
KEY:

**WINTER  
HOLBEN**  
architecture + design

7 WALLINGFORD SQ  
UNIT 209-9  
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207.994.3104

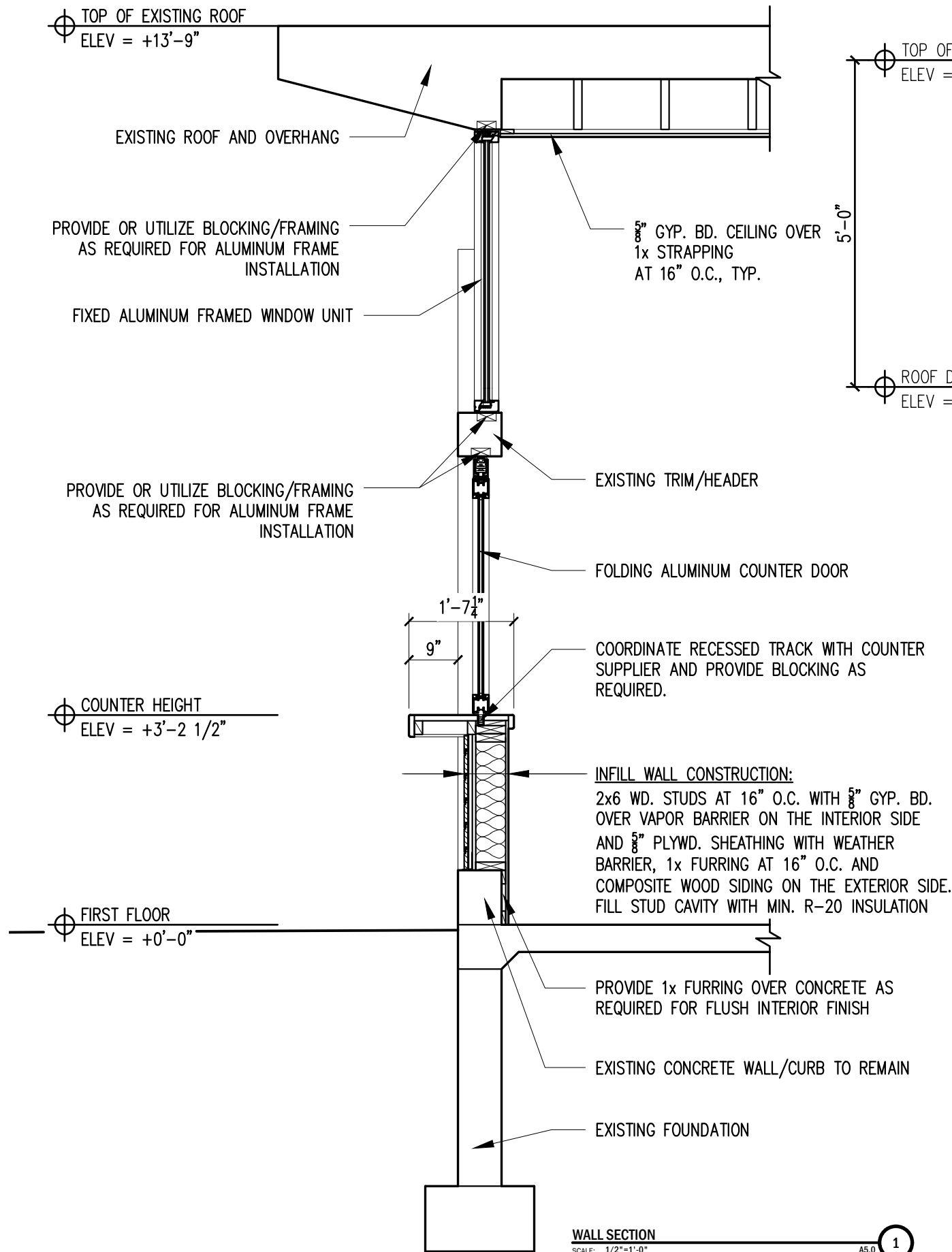
REVISIONS:

PROJECT NAME:  
THE GETTY  
361 ISLINGTON ST.  
PORTSMOUTH, NH 03801  
PROJECT NO.: 22063  
DRAWN BY: BH, RW  
APPROVED BY: BH  
ISSUE DATE: 2023/08/29  
DRAWING NAME:

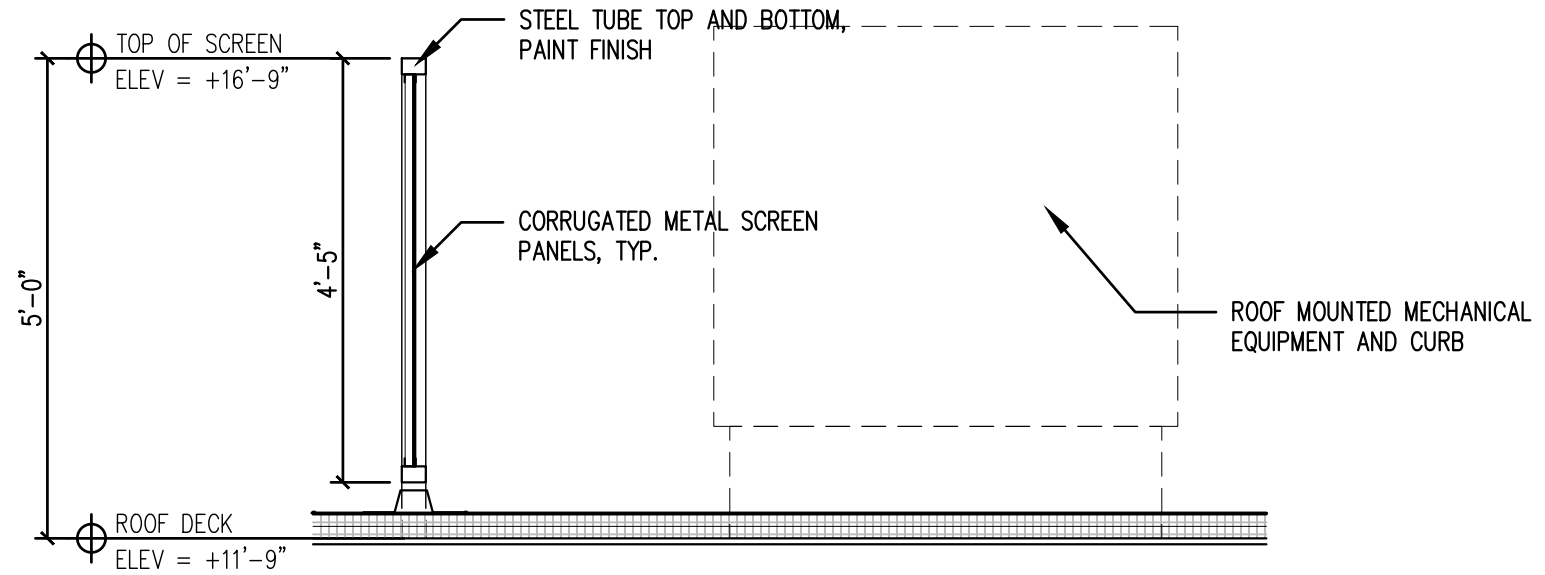
PROPOSED  
ELEVATIONS

SCALE:  
DRAWING NO.:

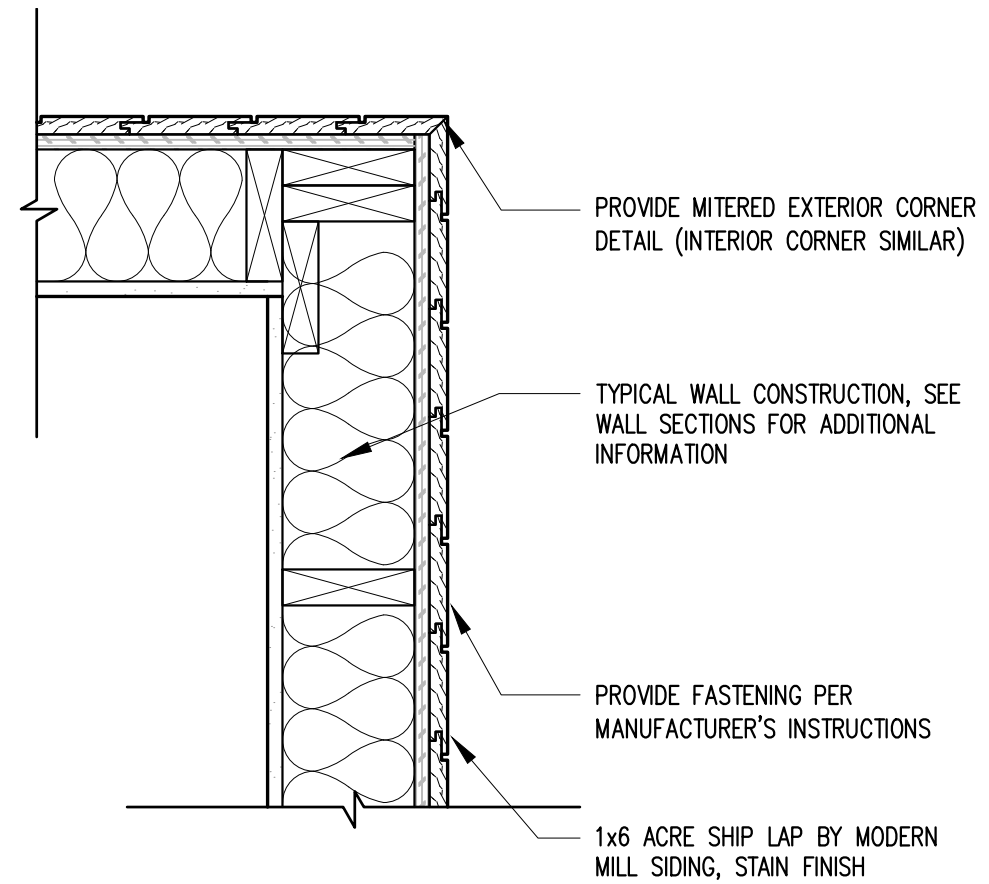
A2.1



**WALL SECTION**  
SCALE: 1/2"=1'-0" A5.0 1



**ROOF SCREEN DETAIL**  
SCALE: 1/2"=1'-0" A5.0 2



**SIDING CORNER DETAIL**  
SCALE: 1 1/2"=1'-0" A5.0 3

**THE GETTY**  
361 ISLINGTON STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:  
KEY:

**WINTER HOLBEN**  
architecture + design

7 WALLINGFORD SQ  
UNIT 209-9  
KITTERY, MAINE 03904  
207.994.3104

REVISIONS:

PROJECT NAME:  
THE GETTY  
361 ISLINGTON ST.  
PORTSMOUTH, NH 03801  
PROJECT NO.: 22063  
DRAWN BY: BH, RW  
APPROVED BY: BH  
ISSUE DATE: 2023/08/29

DRAWING NAME:  
SECTIONS AND DETAILS

SCALE:  
DRAWING NO.:

A5.0

PROJECT:  
 KEY:

**WINTER HOLBEN**  
 architecture + design

7 WALLINGFORD SQ  
 UNIT 209-9  
 KITTERY, MAINE 03904  
 207.994.3104

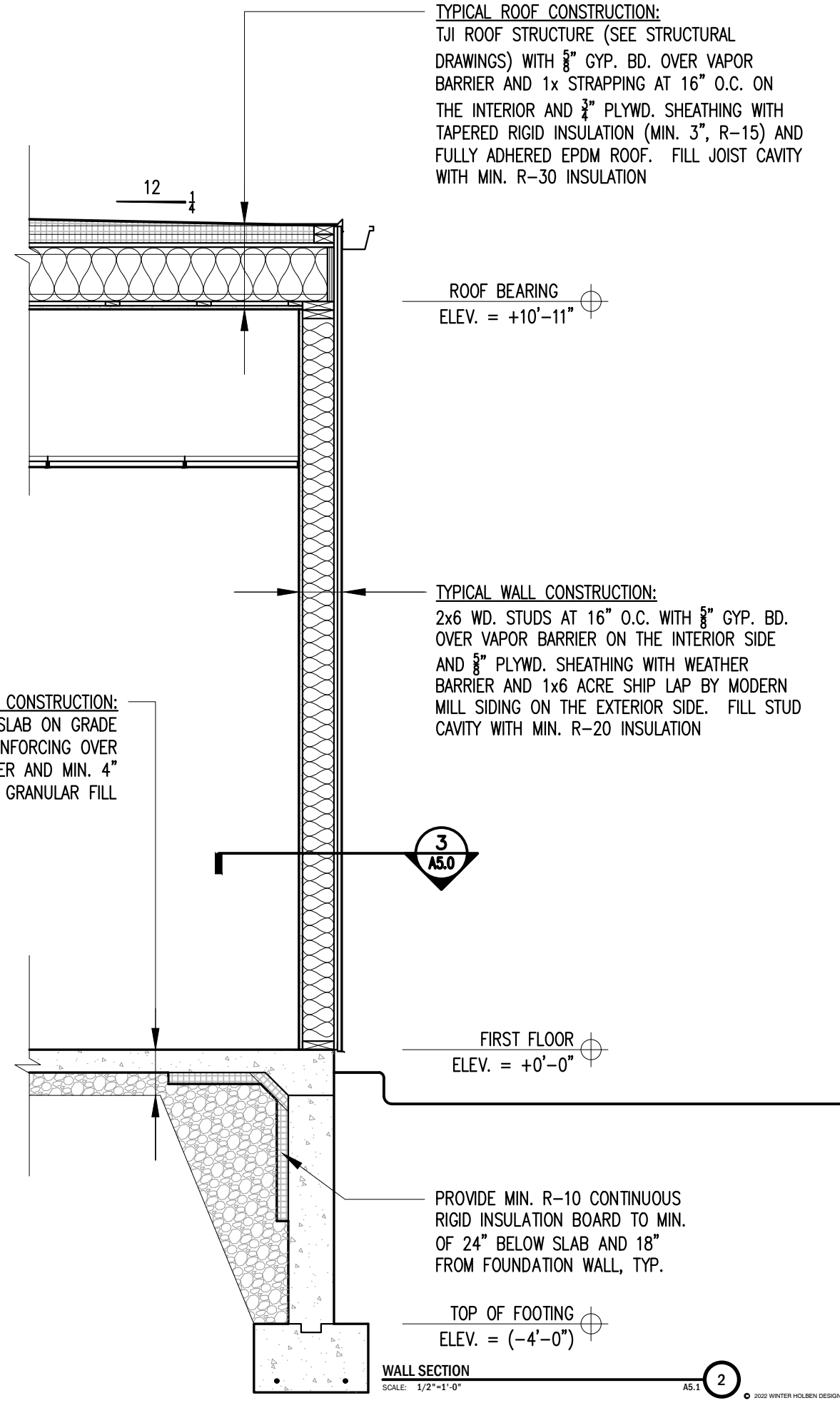
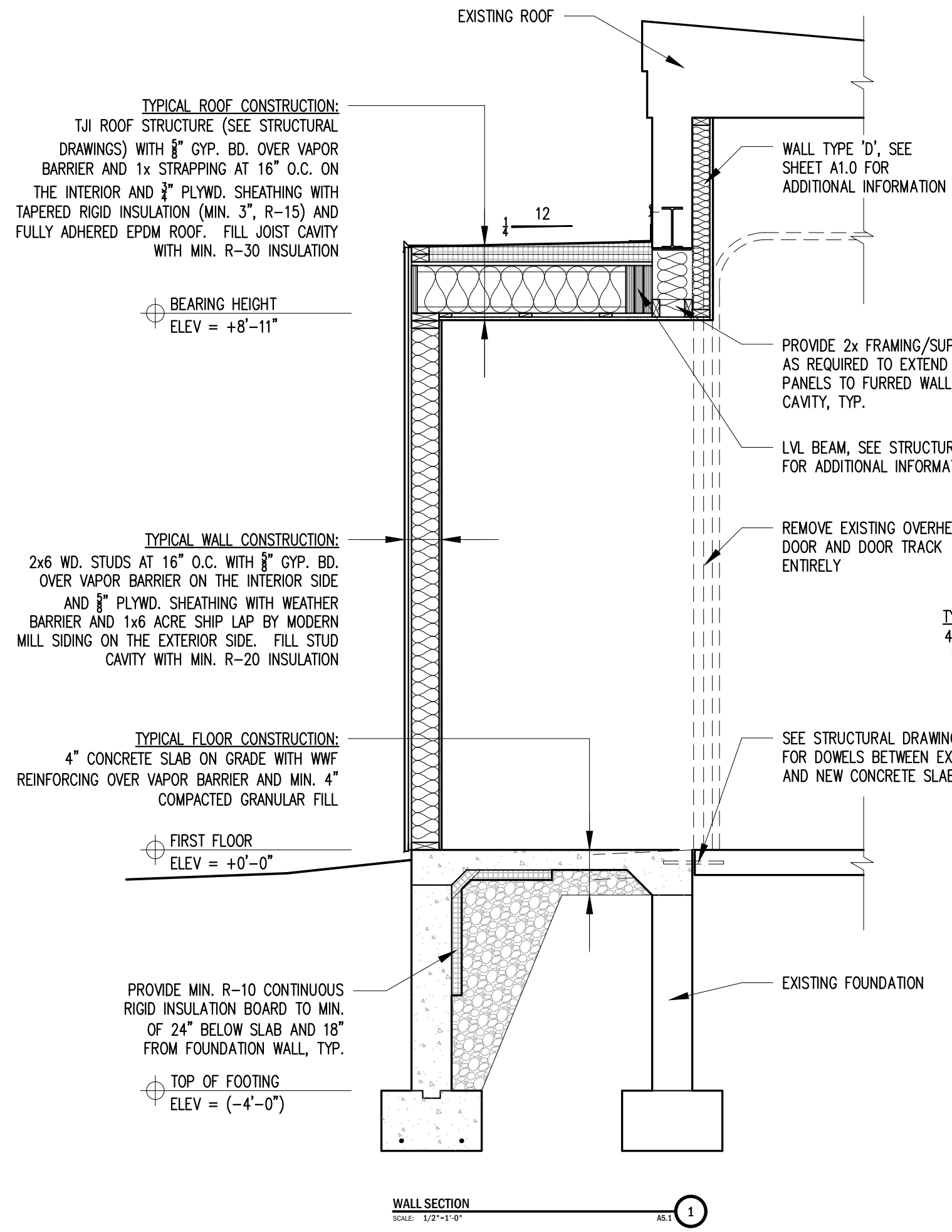
REVISIONS:

PROJECT NAME:  
 THE GETTY  
 361 ISLINGTON ST.  
 PORTSMOUTH, NH 03801  
 PROJECT NO.: 22063  
 DRAWN BY: BH, RW  
 APPROVED BY: BH  
 ISSUE DATE: 2023/08/29  
 DRAWING NAME:

SECTIONS AND  
 DETAILS

SCALE:  
 DRAWING NO.:

**A5.1**





PROPOSED SOUTH EAST PERSPECTIVE



PROPOSED AERIAL PERSPECTIVE



PROPOSED EAST PERSPECTIVE



PROPOSED NORTH EAST PERSPECTIVE

**THE GETTY**  
 361 ISLINGTON STREET  
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:  
 KEY:

**WINTER  
 HOLBEN**  
 architecture + design

7 WALLINGFORD SQ  
 UNIT 209-9  
 KITTERY, MAINE 03904  
 207.994.3104

REVISIONS:

PROJECT NAME: THE GETTY  
 361 ISLINGTON ST.  
 PORTSMOUTH, NH 03801  
 PROJECT NO.: 22063  
 DRAWN BY: BH, RW  
 APPROVED BY: BH  
 ISSUE DATE: 2023/08/29

DRAWING NAME:  
 PERSPECTIVE  
 IMAGES

SCALE:  
 DRAWING NO.:

**A8.0**

BEFORE (EXISTING):



EXISTING VIEW FROM SOUTH EAST



EXISTING VIEW FROM SOUTH WEST



EXISTING VIEW FROM EAST

AFTER (PROPOSED):



PROPOSED VIEW FROM SOUTH EAST



PROPOSED VIEW FROM SOUTH WEST



PROPOSED VIEW FROM EAST

THE GETTY  
361 ISLINGTON STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:

KEY:

**WINTER  
HOLBEN**  
architecture + design

7 WALLINGFORD SQ  
UNIT 209-9  
KITTERY, MAINE 03904  
207.994.3104

REVISIONS:

PROJECT NAME:  
THE GETTY  
361 ISLINGTON ST.  
PORTSMOUTH, NH 03801  
PROJECT NO.: 22063  
DRAWN BY: BH, RW  
APPROVED BY: BH  
ISSUE DATE: 2023/08/29  
DRAWING NAME:  
BEFORE AND AFTER  
IMAGES

SCALE:

DRAWING NO.:

A8.1

## SERIES 402 STOREFRONT FRAMING

Shear Block • Screw Spline • Can Receptor  
This economical 2" X 4-1/2" flush glaze system is available in both shear block and screw spline fabrication methods. Series 402 Storefront can accommodate all standard 1 3/4" entrances as well as WV410 vents. Vertical mullions will accept steel reinforcement to enhance structural performance.

<b>STRUCTURAL LOAD</b> (ASTM E289) VISIT EFCORP.COM	<b>WATER RESISTANCE</b> (ASTM E330 & E331) 12 PSF
<b>AIR INFILTRATION</b> (ASTM E283) <0.06 CFM/FT <sup>2</sup>	<b>CRF</b> (AAMA 1503) N/A
<b>U-FACTOR*</b> (ANSI/NFRC 100-200) N/A	<b>OITC*</b> (ASTM E90 & E413) SCREW SPLINE: 26 - 29
<b>STC*</b> (ASTM E90 & E413) SCREW SPLINE: 30-34	

**STANDARD FEATURES**

- Open back and shear block door frames with transom bars and bulb type weather stripping
- Accommodates up to 1-1/16" glazing
- Uniform glazing gasket is used for exterior and interior
- The optional Roto-Vent ventilator
- 2-way corner mullions (90° and 135°)
- 3-way corner mullions (T-mullions)
- 0" - 15" and 15" - 30" variable mullions
- Various height intermediate horizontals and sills
- Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.
- Anodized or painted finished available

\* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.

1000 COUNTY RD • MONETT, MO 65708 • 800.221.4169 • efcocorp.com    Disclaimer: Info subject to change at any time    Updated: 4/2020

### ALUMINUM WINDOW

## CLOPAY COMMERCIAL - MODELS 904U, 904 architectural series

**ALUMINUM FULL-VIEW DOORS**  
Clopay's Model 904 showcases a sleek design with fewer lines and angles to its appearance. With equal stile spacing, rail and stile profiles are more proportional to each other. This design provides an aesthetically pleasing appearance making it ideal in applications such as restaurants, auto dealerships and fire stations. In addition to these features, Model 904U features Intelicore® polyurethane insulated rails and stiles.

**STANDARD SPECIFICATIONS**

Max Width	24'2"
Max Height	20'0"
Exterior/Interior Panel Thickness	2-1/8"
Insulation	Intelicore® polyurethane (Model 904U)
R-Value*	2.5 (Model 904U with clear insulated glass)
U-Factor*	0.86 (Model 904U with clear insulated glass)
Air Infiltration Rate	0.15 cfm/ft <sup>2</sup>
End Stile Thickness	4.5" stile depth up to 14'2" 6.5" stile depth over 14'2"
Endless	Recessed panel with smooth surface
Panel Style	Full view or solid aluminum panel
Section Construction	6063-T5 extruded aluminum alloy

For more information on these and other Clopay products, visit [clopaycommercial.com](http://clopaycommercial.com). Architects and specifiers, visit [architectdoorhelp.com](http://architectdoorhelp.com).

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### ALUMINUM OVERHEAD DOOR

## G2 FOLDING GLASS WALLS

**G2 Thermal System**  
G2 Aluminum Folding Glass Wall Systems are a great way to open your environment to the outdoors. The frame uses a thermal strut system that separates the interior metal from the exterior metal. By including a thermal break, the temperature transfer between the outdoors and indoors is minimized.

**G2 Nonthermal System**  
G2 Nonthermal Aluminum Folding Glass Wall Systems are ideal for mild climates and indoor uses. This system is popular for conference rooms, interior commercial entryways, and classrooms, as well as residential and commercial room dividers. Frames are available in two vertical stile widths: narrow and standard. These can be combined over multiple units for a unique style or kept consistent throughout.

The frames are available in two vertical stile widths: narrow and standard. The widths can be combined over multiple units for a unique style or kept consistent throughout. This flexibility allows multiple sightline and bottom rail configurations that can be retrofitted to match an existing opening or accommodate specific structural requirements.

<b>Panels</b>	<b>Glazing</b>	<b>Performance</b>
<ul style="list-style-type: none"> <li>Minimum panel size: 18" wide; smaller panels may be available upon request</li> <li>Panel size up to 3' x 10'; larger panel options may be available depending on application</li> </ul>	<ul style="list-style-type: none"> <li>Designed to accommodate almost any monolithic, insulated, laminated, decorative, polycarbonate, or solid panel infill from 3/8" to 1 1/4"</li> </ul>	<ul style="list-style-type: none"> <li>Water performance up to 12psf, depending on sill choice and configuration</li> <li>Structurally tested up to a design pressure of 80psf</li> <li>Higher design pressure ratings available with engineering approval</li> <li>Test results available upon request</li> </ul>

sales@modernmill.com | 800-888-0869 | 31 Roberts Road, Pine Grove, PA 17963 | Rev 8/17/22

### ALUMINUM FOLDING WINDOW

## JAMB DETAILS

**Standard G2 Jamb & Frame**

**Narrow G2 Jamb & Standard G2 Frame**

**Narrow G2 Jamb & Frame**

Top and bottom horizontals unable to utilize narrow framing. Options dependent upon desired size and engineering requirements.

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## OPTIONS

**PANEL OPTIONS**

Aluminum Full-View    Solid Aluminum

**FRAME/SOLID PANEL COLOR OPTIONS**

Clear Aluminum (Frosted)    Standard White (Painted)    Bronze (Painted)    Chocolate (Painted)

Black (Frosted)    Dark Bronze (Frosted)

**CUSTOM PAINT OPTIONS**

Color Blast® finish paint system or RAL Powder Coating give thousands of color options for window upgrades. Use your Clopay Dealer for details.

**GLASS/PANEL OPTIONS**

Clear Glass    Gray Tinted Glass    Bronze Tinted Glass    Mirrored Glass\*    Obscure Glass    White Laminated Glass\*\*    Black Laminated Glass\*\*    Frosted Glass or Acrylic

Clear Acrylic    Gray Acrylic    White Acrylic    Polycarbonate    Polycarbonate    Aluminum Panel (Color-matched)

**PERFORMANCE OPTIONS**

**HEAVY-DUTY HARDWARE**

Double and Hinge    3" Track    High Performance Hardware

**SPECIALTY PRODUCTS**

Center Mullion    Exhaust Port

**OPTIONAL WARRANTY**

Extended 8-year hardware warranty includes upgraded industrial hardware. Upgraded hardware includes 3" track and rollers, 11 gauge hinges, heavy duty brackets, solid shaft and more...

**WINDCODE®**

Design pressure (DP) up to 22 PSF depending on configuration. Models listed 50% greater than DP.

**STANDARD SPECIFICATIONS**

Max Width	24'2"
Max Height	20'0"
Exterior/Interior Panel Thickness	2-1/8"
Insulation	Intelicore® polyurethane (Model 904U)
R-Value*	2.5 (Model 904U with clear insulated glass)
U-Factor*	0.86 (Model 904U with clear insulated glass)
Air Infiltration Rate	0.15 cfm/ft <sup>2</sup>
End Stile Thickness	4.5" stile depth up to 14'2" 6.5" stile depth over 14'2"
Endless	Recessed panel with smooth surface
Panel Style	Full view or solid aluminum panel
Section Construction	6063-T5 extruded aluminum alloy

For more information on these and other Clopay products, visit [clopaycommercial.com](http://clopaycommercial.com). Architects and specifiers, visit [architectdoorhelp.com](http://architectdoorhelp.com).

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## SERIES SX45 HORIZONTAL SLIDER

4-1/2" HIGH PERFORMANCE THERMAL, ARCHITECTURAL GRADE WINDOW

The SX45 is loaded with options to fit many applications while providing an industry leading U-Factor. The energy efficient design provides a substantial improvement in the interior frame temperatures as well. Designed to meet the increasing demand for thermally superior products needed in schools, government buildings and green construction, EFCO's SX45 horizontal sliding window sets a new standard. The outstanding U-Factor provides demonstrable energy savings when used in conjunction with building envelope performance software.

<b>AAMA RATING</b> (A440) AW-PG45-HS	<b>STRUCTURAL LOAD</b> (ASTM E330) 150.4 PSF
<b>AIR INFILTRATION</b> (ASTM E283) <0.30 CFM/FT <sup>2</sup>	<b>WATER RESISTANCE</b> (ASTM E331) 15 PSF
<b>U-FACTOR*</b> (ANSI/NFRC 100-200) 0.31 - 0.54	<b>CRF</b> (AAMA 1503) 67
<b>STC*</b> (ASTM E90 & E413) 33 - 37	<b>OITC*</b> (ASTM E90 & E413) 27 - 33
<b>FORCED ENTRY</b> (ASTM F588 OR F842) TYPE: A - GRADE 40	<b>ACCESSIBILITY</b> (AAMA 513) N/A

**STANDARD FEATURES**

- 4-1/2" frame depth
- XO, CX, OXO, XOX configurations
- 15 lb water
- AW55 standard rating
- AW80 optional rating
- Fully strutted, 2-color availability
- 1-1/2" glass pocket
- U-Factor with EFCO stock glass .34
- Fixed mate, series FX45
- U-Factor: .31

\* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.

1000 COUNTY RD • MONETT, MO 65708 • 800.221.4169 • efcocorp.com    Disclaimer: Info subject to change at any time    Updated: 12/2020

### ALUMINUM SLIDING WINDOW (PICK UP WINDOW)

## ACRE SIDING BY MODERN-MILL

ACRE Shiplap Siding is a sustainable, durable alternative with the genuine look and feel of real wood. ACRE is lightweight, strong, water-resistant and guaranteed not to rot or splinter.

ACRE is easy to cut, fasten without pre-drilling, rout, thermoform and accepts paint or stain without primer.

Best of all, ACRE is made without harming a single tree, in a zero-waste environment in the U.S.A. ACRE helps protect your home and our world.

**SHIPLAP SIDING PROFILE DETAILS**

Nominal Size	Actual Thickness (A)	Actual Width (B)	Bevel (C)	Tongue (D)	Gap (E)	Length
1 1/2"	3/4"	5 7/8"	4 1/2"	1 3/8"	1/4"	12, 14, 20'
1 1/8"	3/4"	7 3/8"	6 1/4"	1 3/8"	1/4"	12, 14, 20'
1 1/4"	3/4"	8 3/8"	6 1/4"	1 3/8"	1/4"	12, 14, 20'

• Leading tongue and groove application for a flat and smooth install  
• Allow for 1/16" tolerances with no need for filling holes or extra finishing steps  
• Match the finish on your shiplap siding with complementary ACRE wire, handrails and porch posts

**WORKS LIKE WOOD - BUT BETTER**

Paintable and stainable. No primer necessary

Easy to route, cut and sand in the field with regular wood working tools

Easy on tools. Minimal melting or static-charged dust

No harmful dust or residue

Pre-drilling not required. Screws and nails will not mushroom.

Uniform texture throughout and finish-ready, no need to seal or treat ends

**NATURAL BEAUTY**

Genuine warm look and feel of wood

**Natural-locking grain**

Exceeds finish options with water-based paints or stains. See Coatings Guide for important information

Thermoform for folded corners, curves and creative shapes

Digitally print directly on ACRE's surface

### ACRE SIDING BY MODERN-MILL

**UNMATCHED DURABILITY**

- 100% resistant to water, weather, rot and pests - even termites!
- Guaranteed not to splinter or crack
- Smooth screw application close to edges, and into sides without splitting
- Suitable for ground and water contact
- Shardy, resists beavering and job site damage
- Debris from cutting will fall and brush off surfaces and clothing (less static cling than traditional PVC)
- Easy on tools when routing, cutting and screwing
- Strong screw and nail retention. Superior bond with a wide range of glues and construction adhesives
- No special maintenance or cleaning methods needed
- Virtually no moisture absorption so paint lasts longer than on wood
- Less expansion and contraction than competitive PVC products
- Lightweight, yet strong and straight

**SUSTAINABLE INNOVATION**

- Made in the U.S.A.
- 100% tree-free
- Upcycled natural fibers from discarded rice hulls, a rapidly renewable resource
- Free of phenol, formaldehyde and adhesives
- Zero-waste manufacturing
- 100% recyclable

**FIRST TIME USING ACRE PRODUCTS?**

Visit our website for important Tech & Training Resources including our Coatings Guide.

ACRE contains PVC and requires coatings with a light reflective value (LRV) greater than 30% to avoid heat build up or changes to physical properties.

Consult with Modern Mill for more information.

**MODERN-MILL**

[www.modern-mill.com](http://www.modern-mill.com)  
601-869-5050

2022.09

Be aware of excess heat on ACRE surfaces such as but not limited to fire, direct or reflected sunlight, reflective sunlight from energy efficient window products. Low-emissivity (Low-E) glass can trap ACRE products because Low-E glass products are designed to prevent possible heat gain within a structure and can cause several heat build up on exterior surfaces from multiple reflections. The extreme rise of surface temperatures can create an environment which exceeds normal appearance and may create scenarios which may cause ACRE products to melt, sag, warp, discolor, separate and contract beyond acceptable tolerances or excessive warpage.

THE GETTY  
361 ISLINGTON STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:  
KEY:

## WINTER HOLBEN

architecture + design

7 WALLINGFORD SQ  
UNIT 209-9  
KITTEERY, MAINE 03904  
207.994.3104

REVISIONS:

PROJECT NAME:  
THE GETTY  
361 ISLINGTON ST.  
PORTSMOUTH, NH 03801

PROJECT NO.: 22063  
DRAWN BY: BH, RW  
APPROVED BY: BH  
ISSUE DATE: 2023/08/29

### PRODUCT DATA

SCALE:  
DRAWING NO.:

## A9.1

**14. 179 Pleasant Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design (slight change in the slate roofing, the chimney at the rear of the structure was shifted and the stone patio was shifted away from the property line).

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-674

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 8/30/2023

### Primary Location

179 PLEASANT ST  
Portsmouth, NH 03801

### Owner

MILL POND VIEW LLC  
PO BOX 399 NOTTINGHAM,  
NH 03290

### Applicant

Carla Goodknight  
 603-431-2808  
 carla@cjarchitects.net  
 233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Two changes to the approved design.

Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.



September 6, 2023

**179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL**

Dear Chairman Wyckoff,

This application is for administrative approval of two changes to the approved design. Please note: There are no changes proposed to the Historic Mansion approval.

**1. Slate Roofing alternate.**

The approved roofing material is natural stone/slate.  
The new material proposed is also natural stone/slate.  
No faux material is proposed.  
The original manufacturer and color have become difficult to obtain.  
The new manufacturer and color are very similar to the approved with improved availability.

**2. Two slight footprint modifications.**

All shifts occur in the back yard.

**Chimney:**

- The fireplace mass shifted four feet toward the back yard, and walls were thickened at the mason's request, and to remain centered on the room interior during plan design development.

**Stone Patio:**

- The walls of the stone patio increased in thickness for foundation stone shelves and veneer during structural development.  
- All slightly increased dimensions move the patio away from the adjacent property line.  
- The final stone patio footprint was moved away from the side yard due to excavation needs and is now 11" farther away from the property line than the original distance approved.

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA  
Principal, CJ Architects LLC  
Representing owners:  
Mill Pond View, LLC.



PREVIOUSLY APPROVED ON 9/7/22

APPROVED SLATE ROOFING

MANUFACTURER: CAMARA SLATE

SIZE: 12x18

COLOR: SPANISH BLACK

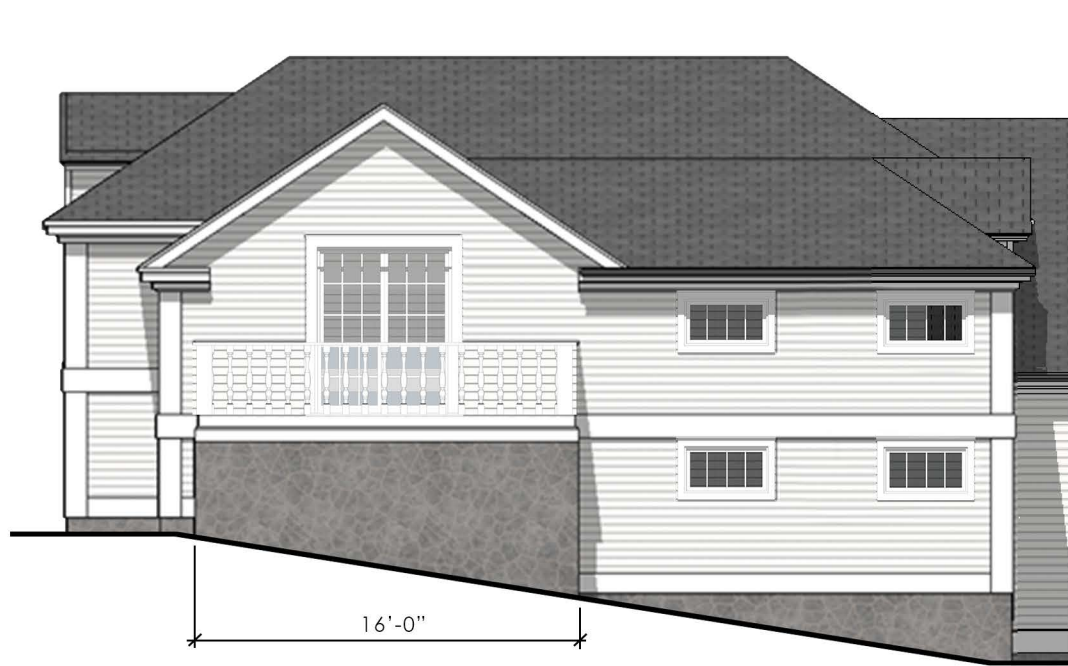


PROPOSED SLATE ROOFING

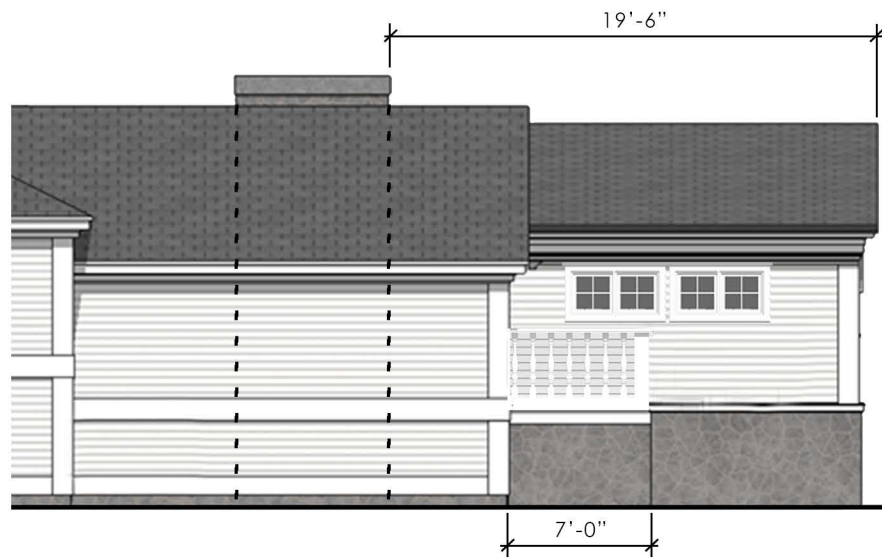
MANUFACTURER: VERMONT SLATE

SIZE: 12x18

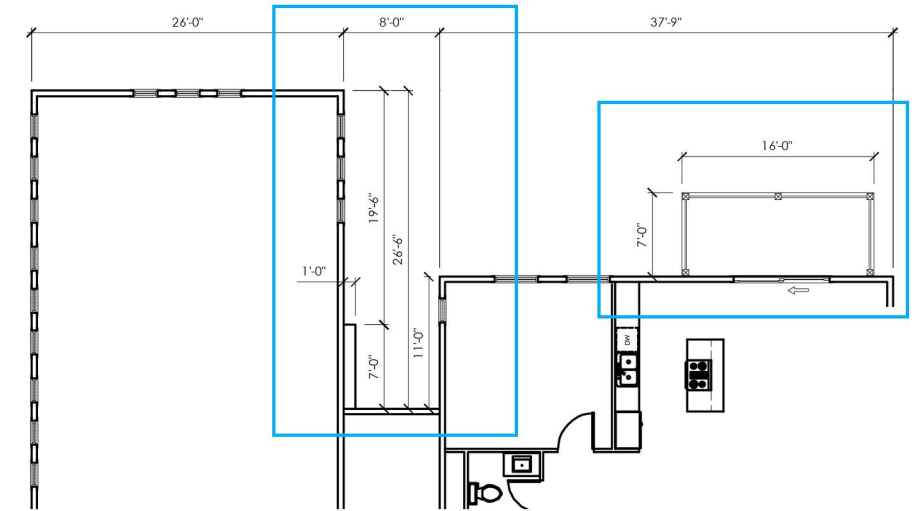
COLOR: NORTH COUNTRY BLACK



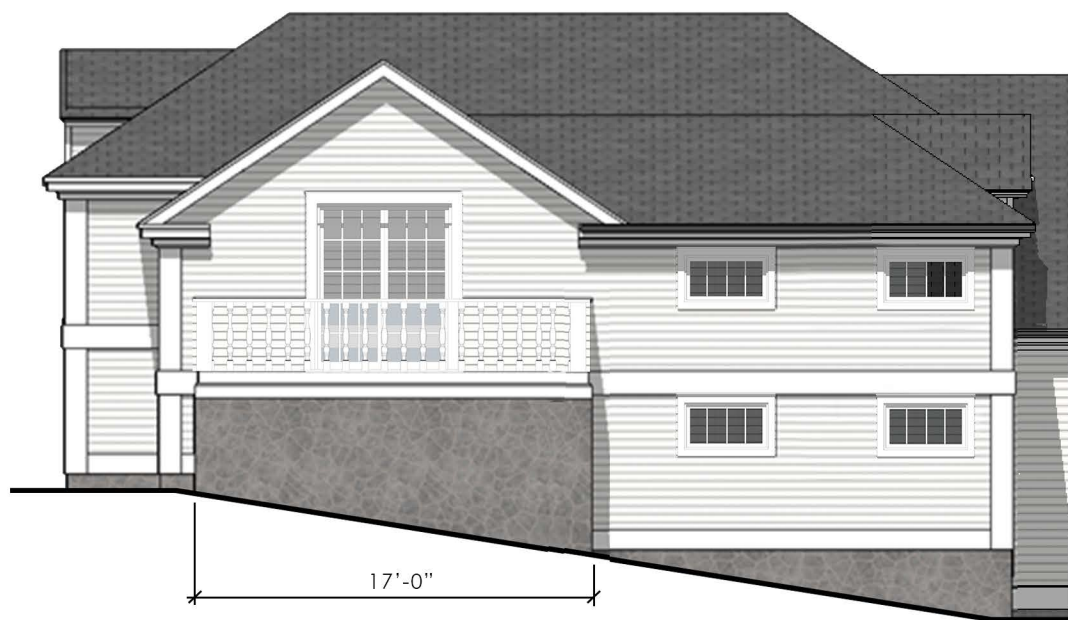
1 APPROVED REAR ELEVATION  
1/8" = 1'-0"



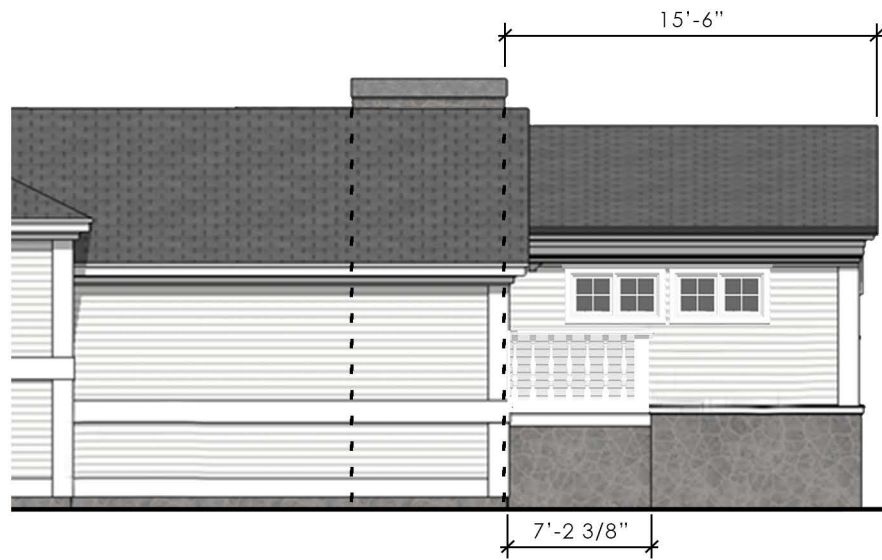
2 APPROVED RIGHT ELEVATION  
1/8" = 1'-0"



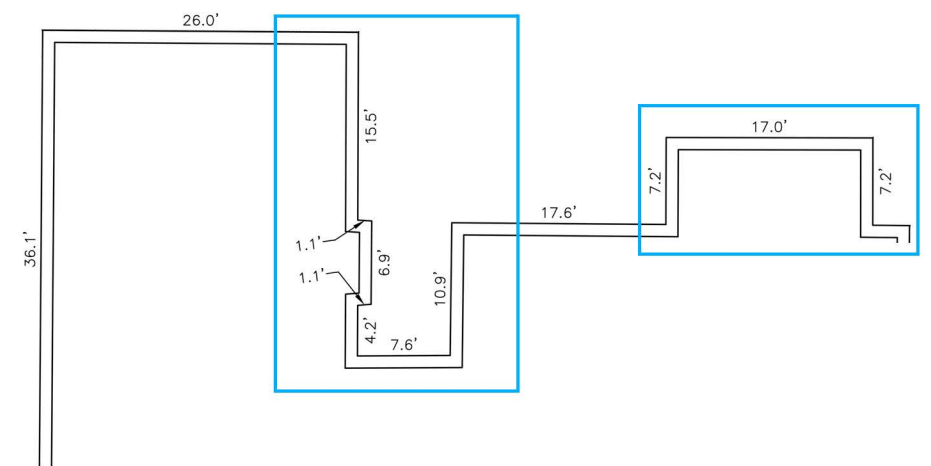
3 (9/7/22) APPROVED PLAN  
1/16" = 1'-0"



4 PROPOSED REAR ELEVATION  
1/8" = 1'-0"



5 PROPOSED RIGHT ELEVATION  
1/8" = 1'-0"



6 CERTIFIED FOUNDATION PLAN  
1/16" = 1'-0"

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FOOTPRINT CHANGE

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: SEPTEMBER 6, 2023



2.0