

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE  
PORTSMOUTH, NEW HAMPSHIRE**

**WORK SESSION**

**Conference Room A  
City Hall, Municipal Complex, 1 Junkins Avenue**

**2:00 PM**

**October 10, 2023**

**AGENDA**

**2:00 PM**

822 US Route 1 Bypass  
Rigz Enterprises LLC, Owner  
Ross Engineering LLC, Engineer  
(LUTW-23-11)

**Site Plan Review**

**2:30 PM**

686 Maplewood Avenue  
Islamic Society of the Seacoast Area, Owner  
Ambit Engineering, Engineer  
(LUTW-23-12)

**Site Plan Review**

[https://us06web.zoom.us/webinar/register/WN\\_OvGokm4vTX6f2T4LtB2MHQ](https://us06web.zoom.us/webinar/register/WN_OvGokm4vTX6f2T4LtB2MHQ)

**Ross Engineering, LLC  
Civil / Structural Engineering**

909 Islington Street  
Portsmouth, NH 03801

603-433-7560  
alexross@comcast.net

**822 US Route 1 Bypass  
Project Description**

October 3, 2022

This site review application is for improvements to an existing fully developed site. The existing lot includes a vacant gas station building. Gas pumps and tanks were removed during this past summer. This vacant building is proposed to be removed. A new 6,010 sf retail building is proposed. A new 6' wide sidewalk will be installed at the front of the building. Adequate parking will be provided on site. A portion of the existing asphalt driveway will be replaced with landscaping. As a result, there is a decrease in impervious surface.

The current drainage lines on site are unknown. A utility plan shall be coordinated with DPW to ensure that proper drainage, sewer, water, and electrical connections are put in place.

**Improvements include:**

- Installing a new retail building
- Installing a new 6' wide sidewalk
- Installing landscaping beds
- Utility work

Sincerely,

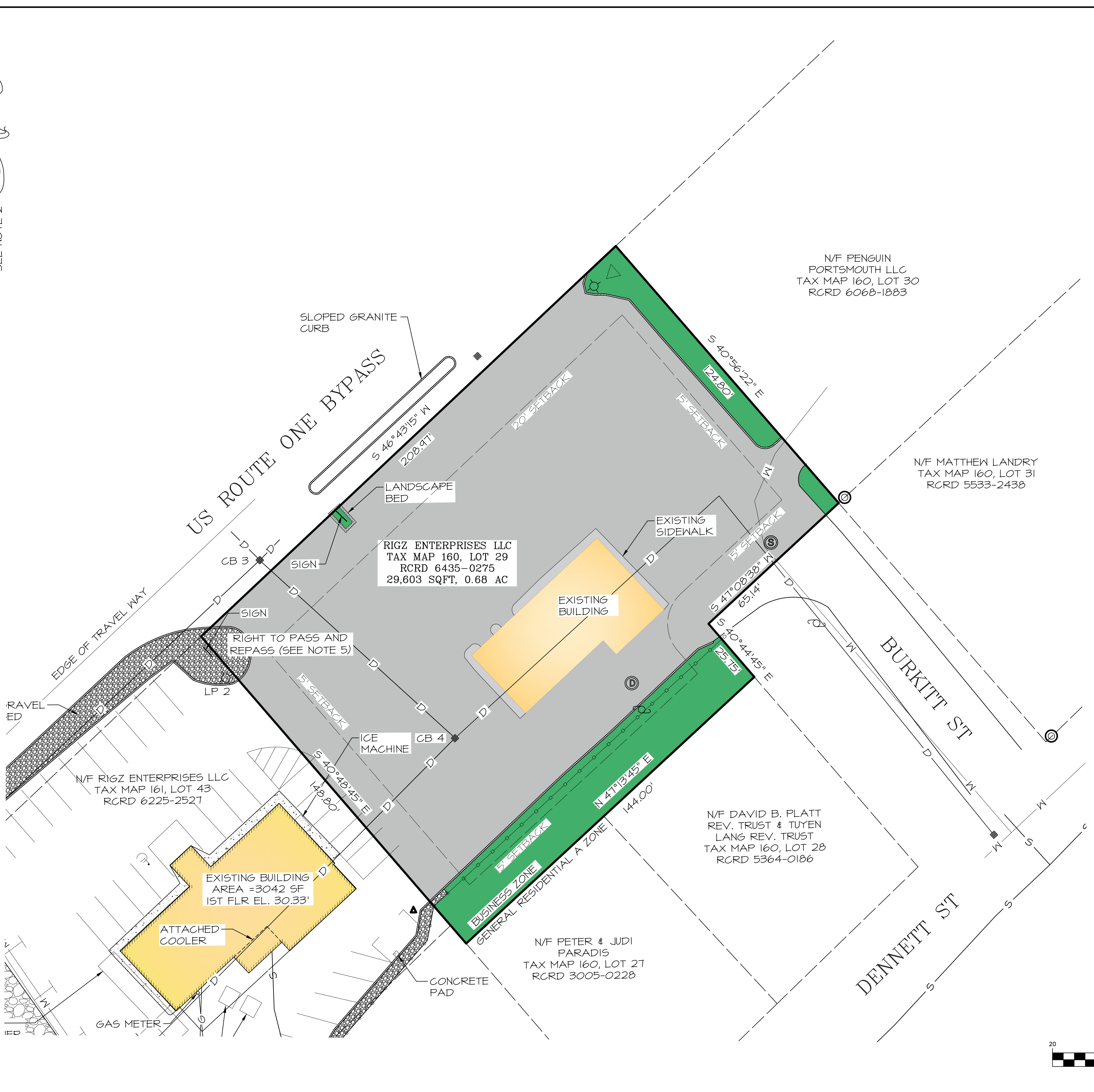
Alex Ross, P.E.





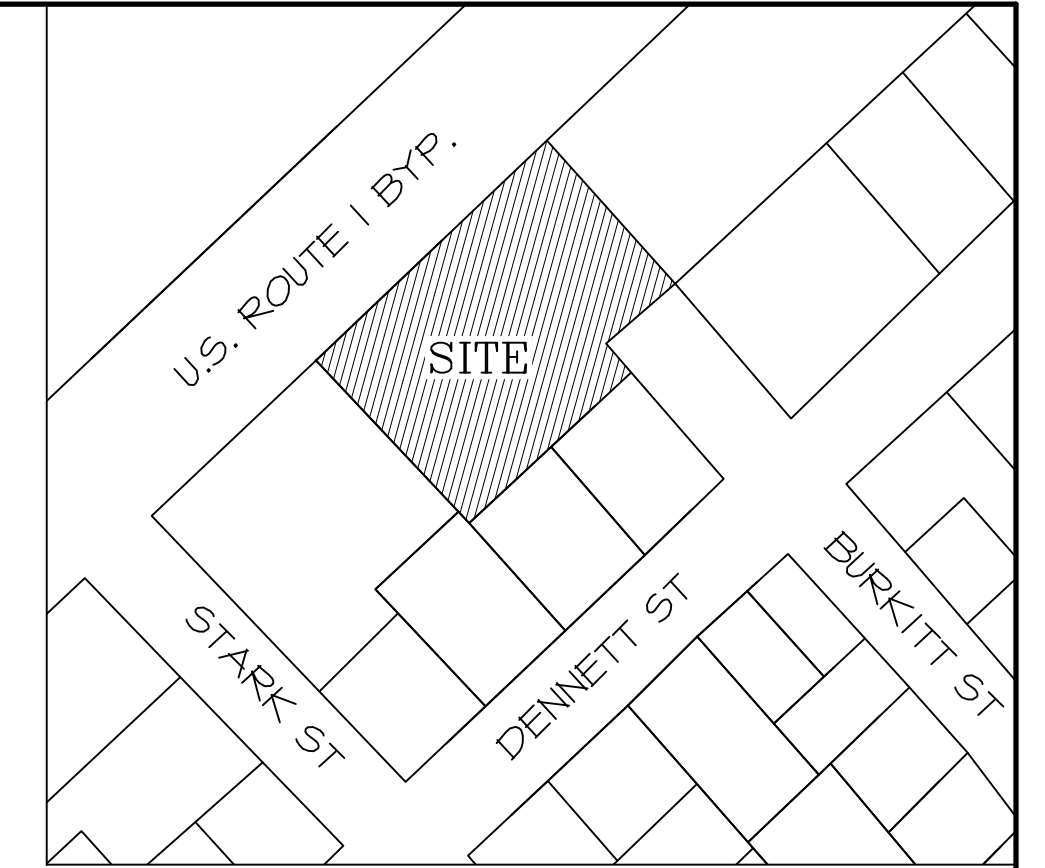


SEE NOTE 2



**LEGEND**

- ⊕ MONUMENT TO BE SET
- ⊙ MONUMENT FOUND
- ⊕ UTILITY POLE
- 6' STOCKADE FENCE
- GRANITE CURB
- ⊕ LIGHT POLE
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- W — WATER LINE
- G — GAS LINE
- S — SEWER LINE
- D — DRAIN LINE



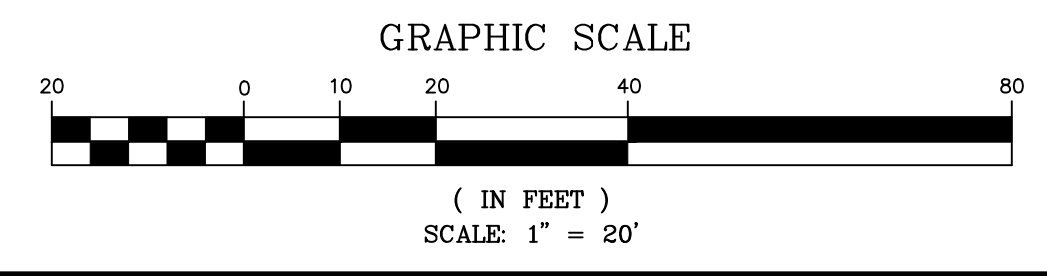
**LOCUS PLAN  
N.T.S.**

**NOTES**

- 1) OWNER OF RECORD:  
RIGZ ENTERPRISES  
18 DIXON LANE  
DERRY, NH 03038  
  
TAX MAP 160, LOT 29  
822 US ROUTE 1 BYPASS  
PORTSMOUTH, NH 03801  
RCRD: 6435-0275  
AREA: 5F, ACRES
- 2) BASIS OF BEARING HELD FROM PLAN REFERENCE #1.
- 3) PARCEL IS IN BUSINESS ZONE (B):  
MINIMUM LOT AREA.....20,000 SF  
MIN. LOT AREA PER DWELLING UNIT.....2,500 SF  
MINIMUM FRONTAGE.....100 FT  
MINIMUM DEPTH.....80 FT  
SETBACKS:  
FRONT.....20 FT  
SIDE.....15 FT  
REAR.....15 FT  
MAXIMUM BUILDING HEIGHT.....50 FT  
MAXIMUM BUILDING COVERAGE.....35%  
MINIMUM OPEN SPACE.....15%
- 4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE,  
AS PER FLOOD INSURANCE RATE MAP  
#33015C0259F, PANEL 259 OF 681, DATED  
JANUARY 29, 2021. VERTICAL DATUM IS NAVD 1988.
- 5) A RIGHT TO PASS AND REPASS FROM THE  
INTERSTATE HIGHWAY USING THE EXITS IN COMMON  
WITH OTHERS LOCATED ON LAND FORMERLY OF D.  
RICHARD ZOFFOLI FOR PURPOSES OF PASSING  
AND REPASSING TO THE INTERSTATE HIGHWAY  
EXISTS TO THE BENEFIT OF LOT 43 OVER LAND OF  
LOT 29. SEE RCRD 2781-1490.

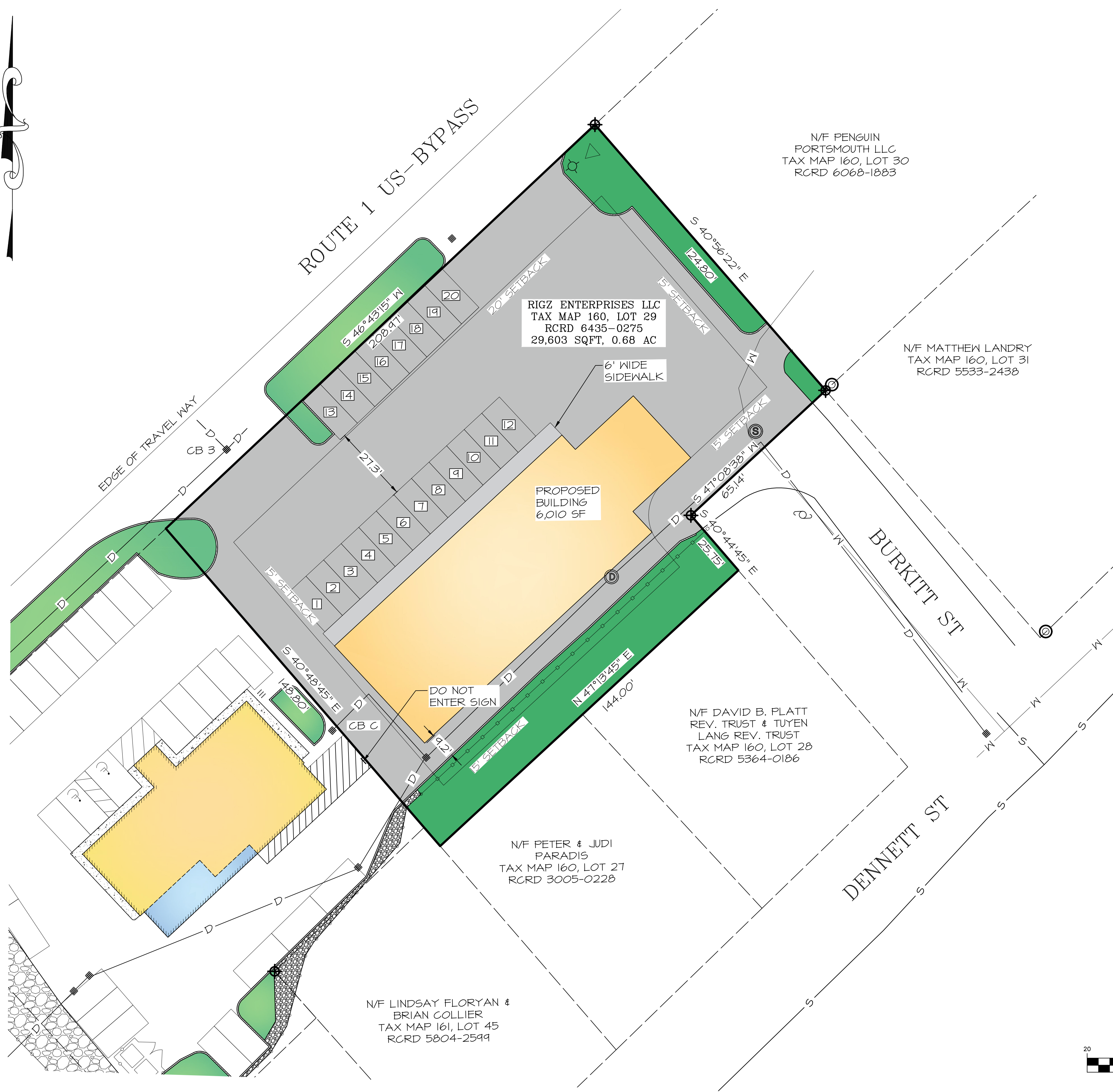
**REFERENCE PLANS**

- 1) "MAINE-NEW HAMPSHIRE INTERSTATE  
BRIDGE AUTHORITY PISCATAQUA RIVER  
BRIDGE" BY MOULTON ENGINEERING CO.  
DATED AUGUST 1954.
- 2) "SITE PLAN FOR HENRY S. DUTKOWSKI  
MOMMA D'S CASA DI PASTA, 806 US  
ROUTE 1 BYPASS & STARK STREET" BY  
MILLETTE, SPRAGUE & COLWELL, INC.  
DATED JULY 15, 2004.
- 3) "CONDOMINIUM SITE PLAN PREPARED FOR  
SOLANO GROUP LLC DENNETT STREET  
CORNER CONDOMINIUMS" BY ATLANTIC  
SURVEY CO, INC. DATED APRIL, 2014.  
RCRD D-38341



1	10/3/2023	PRELIMINARY
ISS.	DATE	DESCRIPTION OF ISSUE
SCALE	1" = 20'	
CHECKED	A.ROSS	
DRAWN	D.D.D.	
CHECKED		
<b>ROSS ENGINEERING, LLC</b> Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560		
CLIENT RIGZ ENTERPRISES LLC 18 DIXON LANE DERRY, NH 03038		
TITLE <b>EXISTING CONDITIONS PLAN</b>		
822 US ROUTE 1 BYPASS PORTSMOUTH, NH 03801 TAX MAP 160, LOT 29		
JOB NUMBER	DWG. NO.	ISSUE
23-010	1 OF 2	1





RIGZ ENTERPRISES LLC  
TAX MAP 160, LOT 29  
RCRD 6435-0275  
29,603 SQFT, 0.68 AC

PROPOSED BUILDING  
6,010 SF

N/F PENGUIN  
PORTSMOUTH LLC  
TAX MAP 160, LOT 30  
RCRD 6068-1883

N/F MATTHEW LANDRY  
TAX MAP 160, LOT 31  
RCRD 5533-2438

N/F DAVID B. PLATT  
REV. TRUST & TUYEN  
LANG REV. TRUST  
TAX MAP 160, LOT 28  
RCRD 5364-0186

N/F PETER & JUDI  
PARADIS  
TAX MAP 160, LOT 27  
RCRD 3005-0228

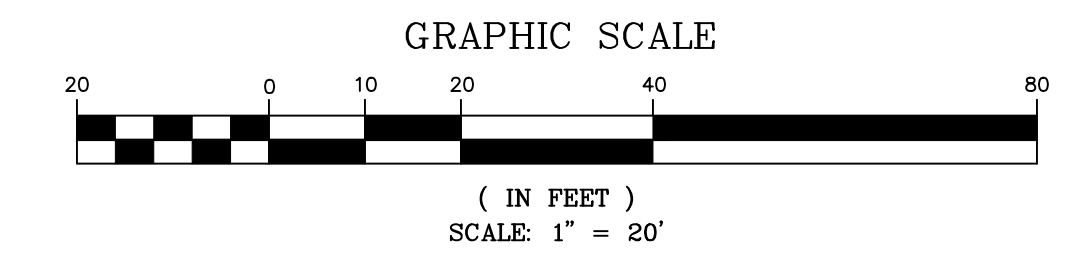
N/F LINDSAY FLORYAN &  
BRIAN COLLIER  
TAX MAP 161, LOT 45  
RCRD 5804-2599

**NOTES**

- OWNER OF RECORD:  
RIGZ ENTERPRISES  
18 DIXON LANE  
DERRY, NH 03038  
TAX MAP 160, LOT 29  
RCRD: 6435-0275  
822 US ROUTE 1 BYPASS  
AREA: 29,603 SF, 0.68 ACRES
- PARCEL 15 IN BUSINESS ZONE (B):  
MINIMUM LOT AREA.....20,000 SF  
MIN. LOT AREA PER DWELLING UNIT.....2,500 SF  
MINIMUM FRONTAGE.....100 FT  
MINIMUM DEPTH.....80 FT  
SETBACKS:  
FRONT.....20 FT  
SIDE.....15 FT  
REAR.....15 FT  
MAXIMUM BUILDING HEIGHT.....50 FT  
MAXIMUM BUILDING COVERAGE.....35%  
MINIMUM OPEN SPACE.....15%
- COVERAGES:  
BUILDING COVERAGE  
EXISTING BUILDING COVERAGE  
BUILDING.....1,995 SF  
EXISTING STRUCTURE.....1,995 SF  
BUILDING COVERAGE 1,995 / 29,603 = 6.7%  
  
PROPOSED BUILDING COVERAGE  
BUILDING.....6,010 SF  
PROPOSED STRUCTURE.....6,010 SF  
BUILDING COVERAGE 6,010/29,603 = 20.3%  
  
OPEN SPACE  
EXISTING OPEN SPACE  
BUILDING COVERAGE.....1,995 SF  
ASPHALT.....22,877 SF  
SIDEWALK.....331 SF  
RETAINING WALL.....26 SF  
GRANITE CURB.....127 SF  
TOTAL LOT COVERAGE.....25,356 SF  
EXISTING OPEN SPACE = 29,603-25,356 = 4,247 SF  
EXISTING OPEN SPACE = 4,247 / 29,603 = 14.3%  
  
PROPOSED OPEN SPACE  
BUILDING COVERAGE.....6,010 SF  
ASPHALT DRIVEWAY.....18,257 SF  
SIDEWALK.....660 SF  
GRANITE CURB.....178 SF  
TOTAL LOT COVERAGE.....25,105 SF  
PROPOSED OPEN SPACE = 29,603-25,105 = 4,498 SF  
PROPOSED OPEN SPACE = 4,498 / 29,603 = 15.2%
- PARKING REQUIREMENTS  
AS PER PORTSMOUTH ZONING ORDINANCE 10.1112.321,  
PARKING SPACES FOR RETAIL USE SHALL BE 1 SPACE  
PER 300 SF OF GROSS FLOOR AREA.  
  
6,000 SF GFA x 1 SPACE/300 GFA = 20 SPACES
- THIS SITE PLAN SHALL BE RECORDED IN THE  
ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL  
BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE  
WITH THE PLAN BY THE PROPERTY OWNER AND ALL  
FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE  
MADE TO THIS SITE PLAN WITHOUT THE EXPRESS  
APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

**LEGEND**

- MONUMENT SET
- MONUMENT FOUND
- UTILITY POLE
- 6' STOCKADE FENCE
- GRANITE CURB
- LIGHT POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- CATCH BASIN
- WATER LINE
- GAS LINE
- SEWER LINE



1	10/3/2023	PRELIMINARY
ISS.	DATE	DESCRIPTION OF ISSUE
SCALE 1" = 20'		
CHECKED	A. ROSS	
DRAWN	D.D.D.	
CHECKED		

**ROSS ENGINEERING, LLC**  
Civil/Structural Engineering  
& Surveying  
909 Islington St.  
Portsmouth, NH 03801  
(603) 433-7560

CLIENT  
RIGZ ENTERPRISES LLC  
18 DIXON LANE  
DERRY, NH 03038

TITLE

**SITE PLAN**  
  
822 US ROUTE 1 BYPASS  
PORTSMOUTH, NH 03801  
TAX MAP 160, LOT 29

JOB NUMBER	DWG. NO.	ISSUE
23-010	2 OF 2	1





200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

3 October 2023

Peter Stith, Chair, City of Portsmouth TAC  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for TAC Workshop Review at 686 Maplewood Avenue, Condominium Development**

Dear Mr. Stith and TAC Members:

On behalf of Chinburg Development, we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **October 10, 2023**, Meeting. The project is the proposed new construction of a six (6) unit residential condominium with the associated and required site improvements.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Existing Conditions Plan C1 – This plan shows the existing site conditions.
- Site Plan C2 – This plan shows the site development with impervious surface calculations and the circulation and layout with setbacks. The project received Variances from the Board of Adjustment, which are noted on the plan.
- Landscape Plan L-1 – This plan shows the proposed landscaping.
- Grading and Erosion Control Plan C3 – This plan shows preliminary site grading and building floor elevations. The erosion control and drainage mitigation details will be added. The proposal is to direct runoff to a proposed R-Tank detention system.
- Utility Plan C4 – This plan shows proposed site utilities. The project will connect utilities brought to the property line in the Maplewood Avenue reconstruction project.
- Erosion Control Notes and Details D1 and D2 to D4 – These plans shows site details.
- Floor Plans and Elevations A1 – This plan shows the Architectural design for the buildings.

Also included are Site Photographs and a Trip Generation analysis. We look forward to TAC review of this submission and the Committees feedback on the proposed design.

Sincerely,

John R. Chagnon, PE



Site Photograph #1

February 2023



Site Photograph #2

February 2023





Site Photograph #3

February 2023



Site Photograph #4

February 2023





Site Photograph #5

February 2023



Site Photograph #6

February 2023





Site Photograph #7

February 2023



Site Photograph #8

February 2023







200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

2 October, 2023

**Trip Generation  
Proposed Residential Development  
686 Maplewood Avenue  
Portsmouth, NH**

On behalf of Chinburg Development, LLC, we hereby submit this Trip Generation in support of the applicant's filing with the Portsmouth Technical Advisory Committee for Site Plan approval. The Applicant / Developer seeks to construct 6 residential dwelling units at the site, which is currently vacant, but was used as a staging area for recent construction on Maplewood Avenue. The site has been vacant for some time but previously approvals were granted to construct a Mosque, which had a proposed peak trip generation of 76 trips in the PM peak hour.

The base trip generation for the proposed 6-unit development is based on a review of the Institute of Transportation Engineers (ITE), *Trip Generation Manual*, 11<sup>th</sup> Edition. The land use code (LUC) that best resembles the proposed use is LUC 270 – Planned Unit Development. Using that description, the proposed use the site generates the following peak hour trips:

Weekday Morning Peak Hour: 4 Trips (23% entering; 77% exiting)  
Weekday Evening Peak Hour: 5 Trips (64% entering; 36% exiting)

The applicant believes that the added trip generation from the site is not excessive, will not impact the adjacent street networks, and represents a significant decrease from the previous approval.

Please feel free to call if you have any questions or comments about this application.

Sincerely,

John R. Chagnon, PE  
Ambit Engineering, Inc. – Haley Ward



# Land Use: 270

## Residential Planned Unit Development

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### Description

A residential planned unit development (PUD), for the purposes of trip generation, is defined as containing any combination of residential land uses. These developments might also contain supporting services such as limited retail and recreational facilities.

### Additional Data

***Caution—The description of a PUD is general in nature because these developments vary by density and type of dwelling. It is therefore recommended that when information on the number and type of dwellings is known, trip generation should be calculated on the basis of the known type of dwellings rather than on the basis of Land Use 270. Data for this land use are provided as general information and would be applicable only when the number of dwellings is known.***

The sites were surveyed in the 1980s, and the 1990s, and the 2000s in Minnesota, South Dakota, and Virginia.

### Source Numbers

111, 119, 165, 169, 357



# Residential Planned Unit Development (270)

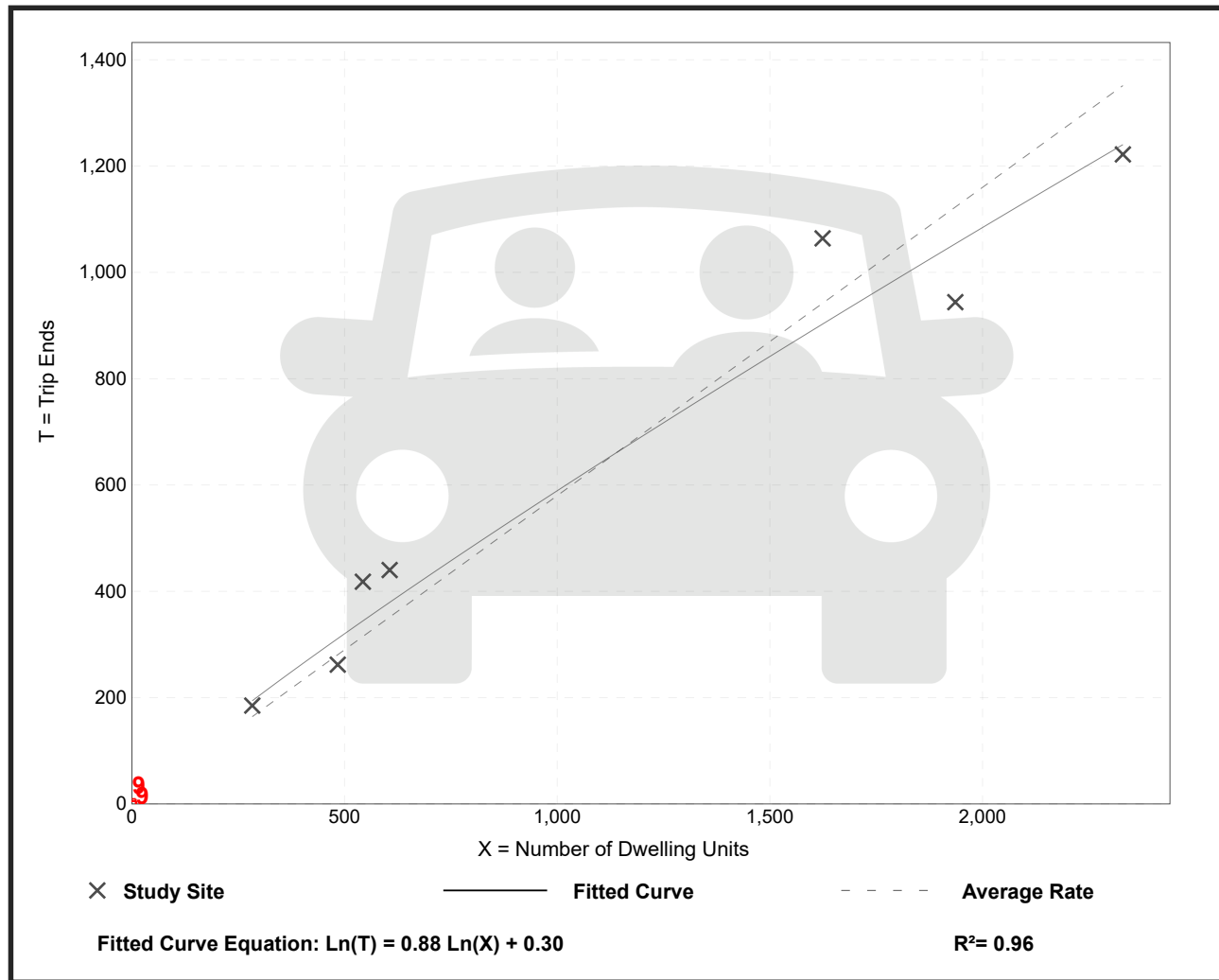
**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**AM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 7  
 Avg. Num. of Dwelling Units: 1115  
 Directional Distribution: 23% entering, 77% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.58	0.49 - 0.77	0.10

## Data Plot and Equation





# Residential Planned Unit Development (270)

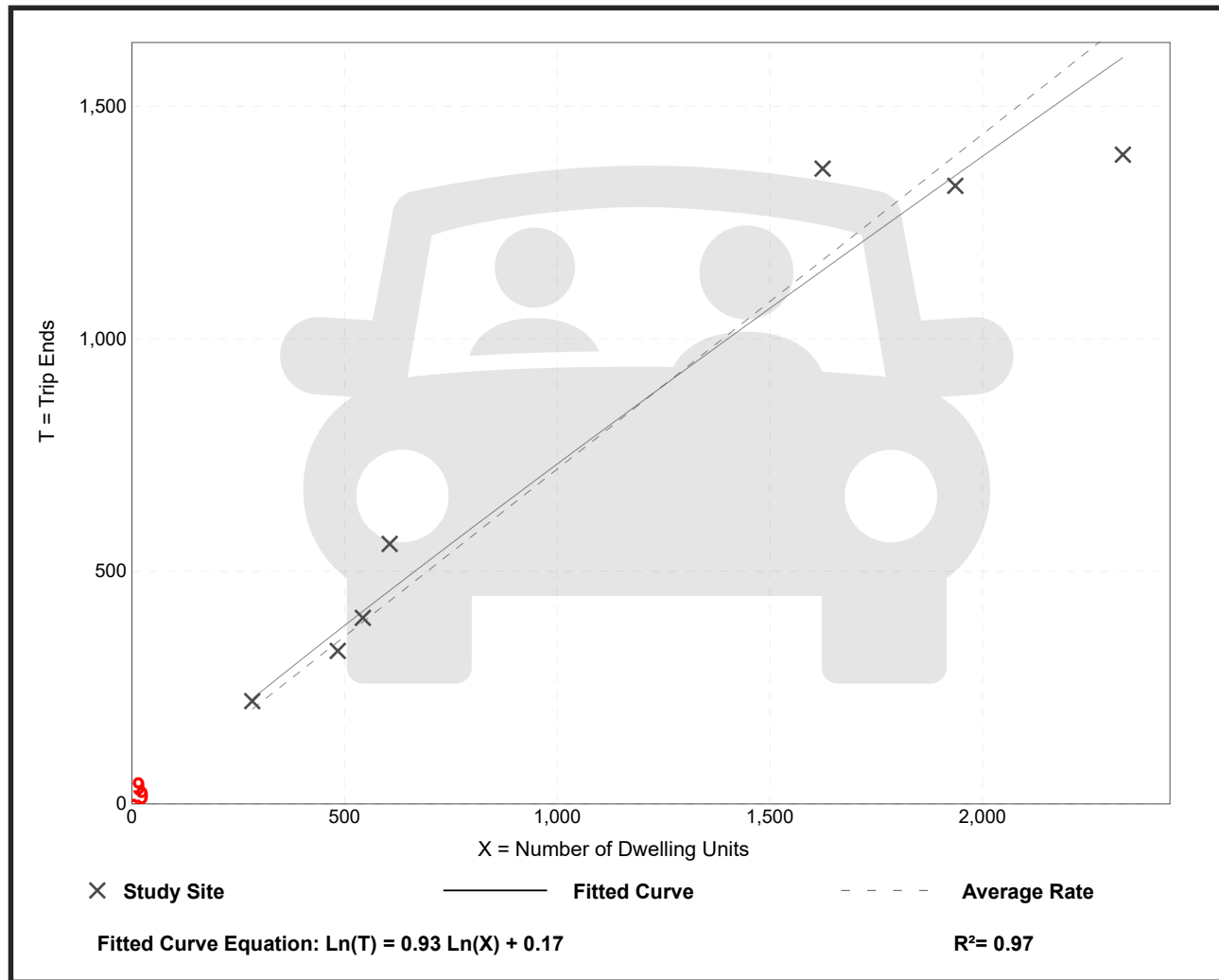
**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**PM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 7  
 Avg. Num. of Dwelling Units: 1115  
 Directional Distribution: 64% entering, 36% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.72	0.60 - 0.92	0.11

## Data Plot and Equation





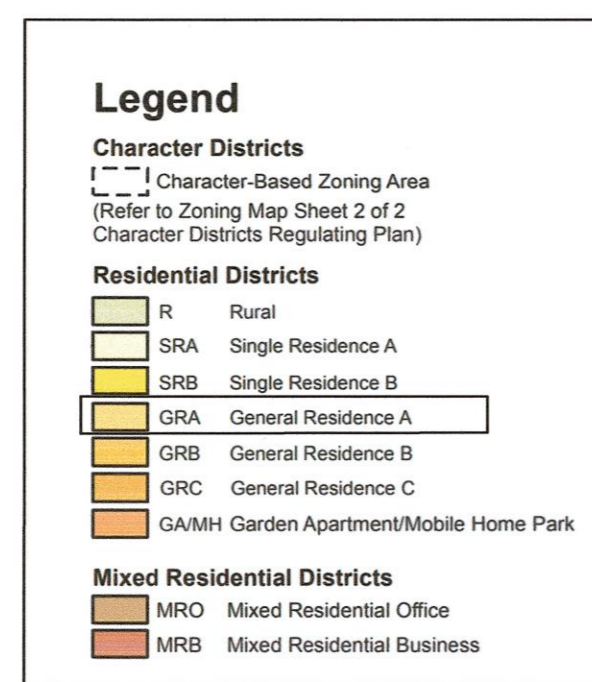
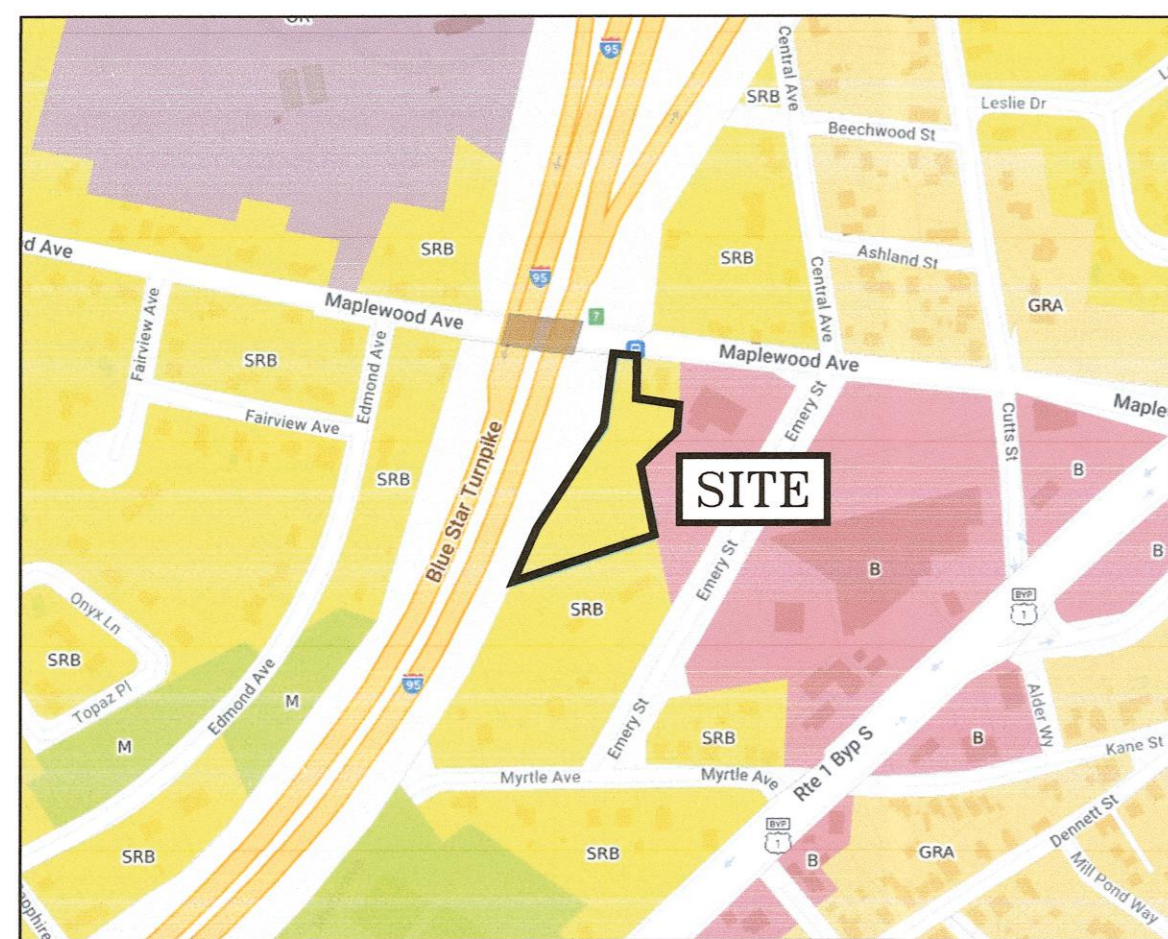
**APPLICANT:**  
**CHINBURG DEVELOPMENT, LLC**  
 3 PENSTOCK WAY  
 NEWMARKET, NH 03857  
 Tel. (603) 868-5995

**OWNER:**  
**ISLAMIC SOCIETY OF  
 THE SEACOAST AREA**  
 42N DOVER POINT ROAD  
 DOVER, NH 03820

**CIVIL ENGINEER & LAND SURVEYOR:**  
**AMBIT ENGINEERING, INC.**  
**A DIVISION OF HALEY WARD, INC.**  
 200 GRIFFIN ROAD, UNIT 3  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 430-9282  
 Fax (603) 436-2315

**ARCHITECT:**  
**CJ ARCHITECTS**  
 233 VAUGHAN STREET, SUITE 101  
 PORTSMOUTH, NH, 03801  
 Tel. (603) 431-2808

**LEGAL REPRESENTATION:**  
**DONAHUE, TUCKER & CIANDELLA, PLLC**  
 111 MAPLEWOOD AVE., SUITE D  
 PORTSMOUTH, NH, 03801  
 Tel. (603) 766-1686

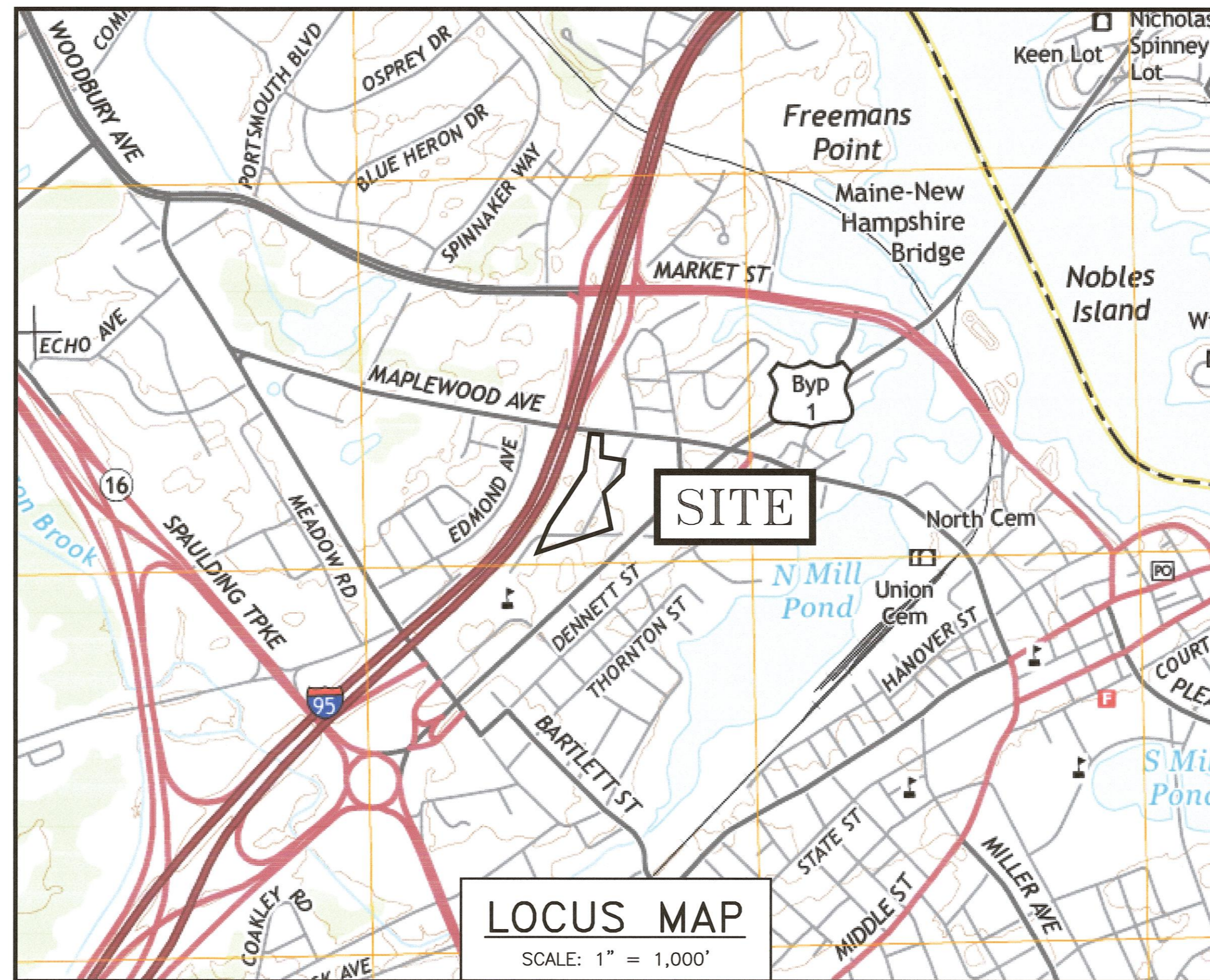


# PROPOSED SITE PLAN RESIDENTIAL DEVELOPMENT 686 MAPLEWOOD AVENUE PORTSMOUTH, NEW HAMPSHIRE PERMIT PLANS

**REQUIRED PERMITS:**  
 PORTSMOUTH BOA: PENDING

**LEGEND:**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	UD	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
⊙	⊙	UTILITY POLE
☀	☀	WALL MOUNTED EXTERIOR LIGHTS
⊠	⊠	TRANSFORMER ON CONCRETE PAD
⊠	⊠	ELECTRIC HANDHOLD
⊠	⊠	SHUT OFFS (WATER/GAS)
⊠	⊠	GATE VALVE
⊠	⊠	HYDRANT
⊠	⊠	CATCH BASIN
⊠	⊠	SEWER MANHOLE
⊠	⊠	DRAIN MANHOLE
⊠	⊠	TELEPHONE MANHOLE
⊠	⊠	PARKING SPACE COUNT
⊠	⊠	PARKING METER
LSA	LSA	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	-	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S	S	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



**LOCUS MAP**  
 SCALE: 1" = 1,000'



**INDEX OF SHEETS**

DWG No.	Description
-	BOUNDARY PLAN
C1	EXISTING CONDITIONS PLAN
C2	SITE PLAN
L1	LANDSCAPE PLAN
C3	GRADING & EROSION CONTROL
C4	UTILITY PLAN
D1-D3	DETAILS

**UTILITY CONTACTS**

**ELECTRIC:**  
 EVERSOURCE  
 1700 LAFAYETTE ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 436-7708, Ext. 555.5678  
 ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
 UNITIL  
 325 WEST ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 294-5144  
 ATTN: DAVE BEAULIEU

**CABLE:**  
 COMCAST  
 155 COMMERCE WAY  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 679-5695 (X1037)  
 ATTN: MIKE COLLINS

**SEWER & WATER:**  
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
 680 PEVERLY HILL ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 766-1438 ATTN: JIM TOW

**COMMUNICATIONS:**  
 FAIRPOINT COMMUNICATIONS  
 JOE CONSIDINE  
 1575 GREENLAND ROAD  
 GREENLAND, N.H. 03840  
 Tel. (603) 427-5525

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH ZONING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**PROPOSED SITE PLAN  
 RESIDENTIAL DEVELOPMENT  
 686 MAPLEWOOD AVENUE  
 PORTSMOUTH, N.H.**

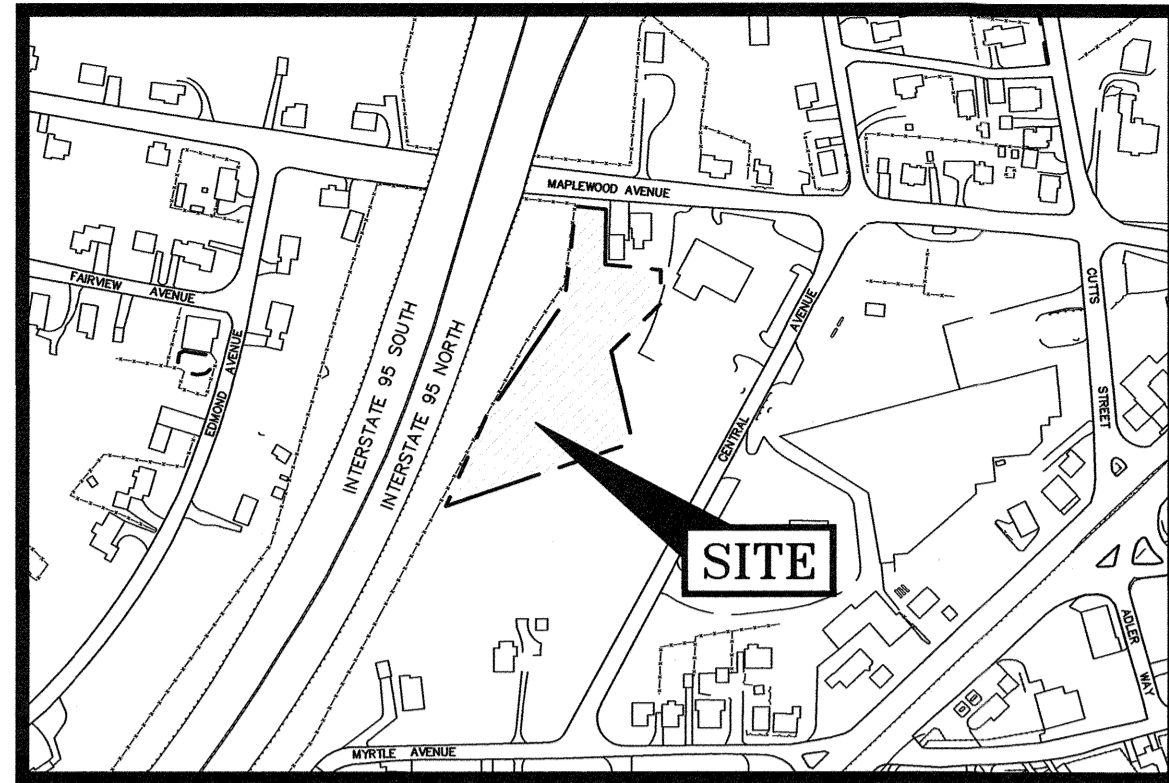


WWW.HALEYWARD.COM

PLAN SET SUBMITTAL DATE: 3 OCTOBER 2023

200 Griffin Road, Unit 3  
 Portsmouth, NH 03801  
 603.430.9282





LOCATION MAP SCALE 1"=300'

LEGEND: SEE COVER SHEET

TEST PIT 1, ELEV. 60.1

Date: 8/18/17  
 Logged by: DOUG LAROSA  
 ESHWT: NONE  
 Observed Water: NONE  
 Restrictive layer: NONE  
 REFUSAL: LEDGE AT 24"

DEPTH	DESCRIPTION
0" - 6"	10YR 3/3 FINE SANDY LOAM, MASSIVE, FRIABLE
6" - 24"	10YR 5/6 FINE SANDY LOAM, GRANULAR, FRIABLE

TEST PIT 2, ELEV. 50.1

Date: 8/18/17  
 Logged by: DOUG LAROSA  
 ESHWT: NONE  
 Observed Water: NONE  
 Restrictive layer: NONE  
 REFUSAL: LEDGE AT 28"

DEPTH	DESCRIPTION
0" - 5"	10YR 3/3 FINE SANDY LOAM, MASSIVE, FRIABLE
5" - 28"	10YR 5/6 FINE SANDY LOAM, GRANULAR, FRIABLE

TEST PIT 3, ELEV. 52.1

Date: 8/18/17  
 Logged by: DOUG LAROSA  
 ESHWT: NONE  
 Observed Water: NONE  
 Restrictive layer: NONE  
 REFUSAL: LEDGE AT 27"

DEPTH	DESCRIPTION
0" - 6"	10YR 3/3 FINE SANDY LOAM, MASSIVE, FRIABLE
6" - 27"	10YR 5/6 FINE SANDY LOAM, GRANULAR, FRIABLE

TEST PIT 4, ELEV. 44.5

Date: 8/18/17  
 Logged by: DOUG LAROSA  
 ESHWT: NONE  
 Observed Water: NONE  
 Restrictive layer: NONE  
 REFUSAL: LEDGE AT 30"

DEPTH	DESCRIPTION
0" - 8"	10YR 4/3 FINE SANDY LOAM, MASSIVE, FRIABLE
8" - 30"	10YR 4/6 FINE SANDY LOAM, GRANULAR, FRIABLE

TEST PIT 5, ELEV. 43.5

Date: 8/18/17  
 Logged by: DOUG LAROSA  
 ESHWT: NONE  
 Observed Water: NONE  
 Restrictive layer: NONE  
 REFUSAL: LEDGE AT 25"

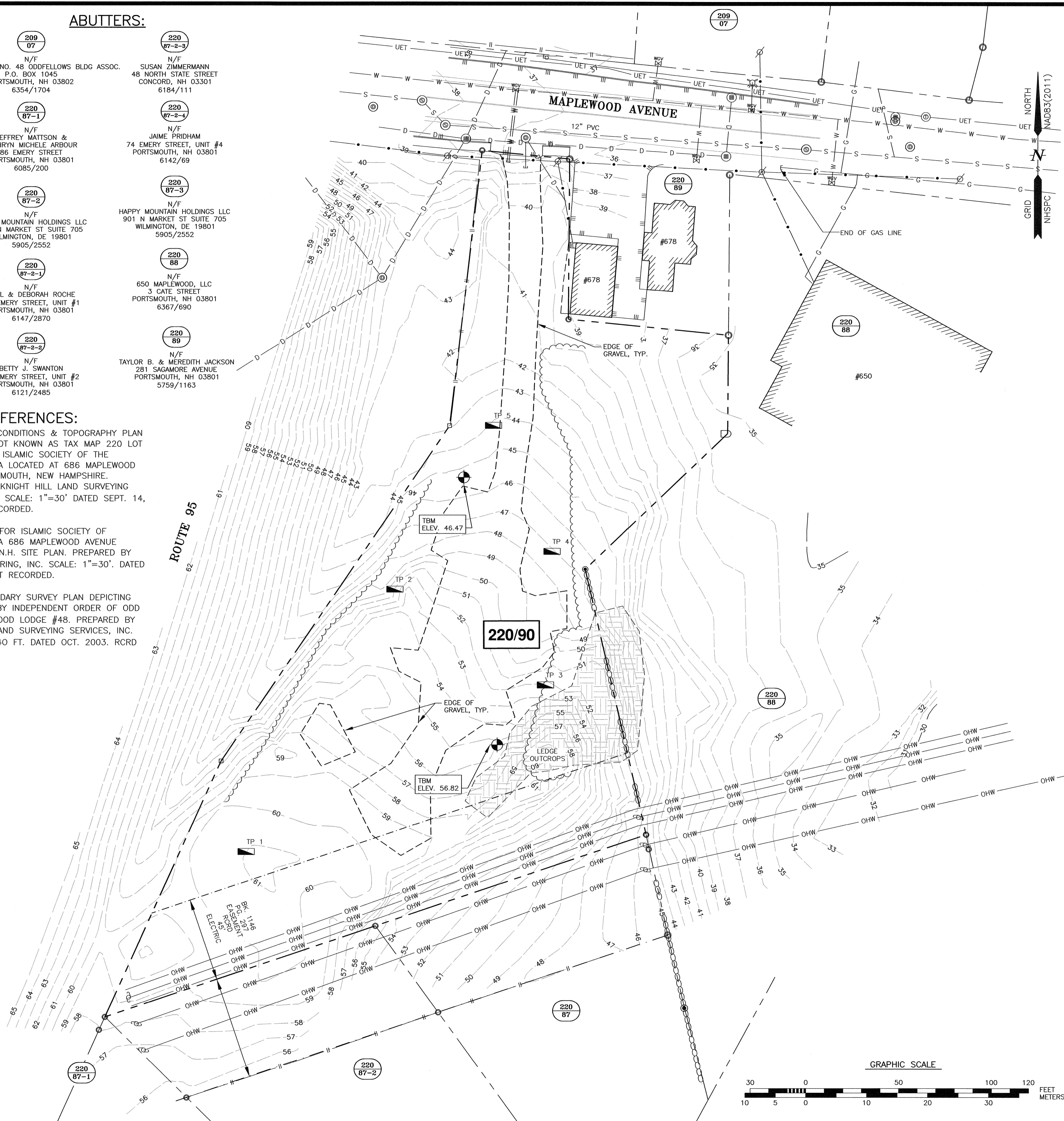
DEPTH	DESCRIPTION
0" - 5"	10YR 4/3 FINE SANDY LOAM, MASSIVE, FRIABLE
5" - 25"	10YR 5/6 FINE SANDY LOAM, GRANULAR, FRIABLE

PLAN REFERENCES:

- EXISTING CONDITIONS & TOPOGRAPHY PLAN FOR VACANT LOT KNOWN AS TAX MAP 220 90 OWNED BY ISLAMIC SOCIETY OF THE SEACOAST AREA LOCATED AT 686 MAPLEWOOD AVENUE PORTSMOUTH, NEW HAMPSHIRE. PREPARED BY KNIGHT HILL LAND SURVEYING SERVICES, INC. SCALE: 1"=30' DATED SEPT. 14, 2017. NOT RECORDED.
- SITE PLAN FOR ISLAMIC SOCIETY OF SEACOAST AREA 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H. SITE PLAN. PREPARED BY AMBIT ENGINEERING, INC. SCALE: 1"=30'. DATED MAY 2019. NOT RECORDED.
- LAND BOUNDARY SURVEY PLAN DEPICTING LAND OWNED BY INDEPENDENT ORDER OF ODD FELLOWS, OSGOOD LODGE #48. PREPARED BY KNIGHT HILL LAND SURVEYING SERVICES, INC. SCALE: 1" = 40 FT. DATED OCT. 2003. RCRD D-31278.

ABUTTERS:

- |  |   |
|--|---|
| <p>209 07<br/>N/F<br/>OSGOOD LODGE NO. 48 ODDFELLOWS BLDG ASSOC.<br/>P.O. BOX 1045<br/>PORTSMOUTH, NH 03802<br/>6354/1704</p> <p>220 87-1<br/>N/F<br/>JEFFREY MATSON &amp; KATHRYN MICHELE ARBOUR<br/>86 EMERY STREET<br/>PORTSMOUTH, NH 03801<br/>6085/200</p> <p>220 87-2<br/>N/F<br/>HAPPY MOUNTAIN HOLDINGS LLC<br/>901 N MARKET ST SUITE 705<br/>WILMINGTON, DE 19801<br/>5905/2552</p> <p>220 87-2-1<br/>N/F<br/>CARL &amp; DEBORAH ROCHE<br/>64 EMERY STREET, UNIT #1<br/>PORTSMOUTH, NH 03801<br/>6147/2870</p> <p>220 87-2-2<br/>N/F<br/>BETTY J. SWANTON<br/>64 EMERY STREET, UNIT #2<br/>PORTSMOUTH, NH 03801<br/>6121/2485</p> | <p>220 87-2-3<br/>N/F<br/>SUSAN ZIMMERMANN<br/>48 NORTH STATE STREET<br/>CONCORD, NH 03301<br/>6184/111</p> <p>220 87-2-4<br/>N/F<br/>JAIME PRIDHAM<br/>74 EMERY STREET, UNIT #4<br/>PORTSMOUTH, NH 03801<br/>6142/69</p> <p>220 87-3<br/>N/F<br/>HAPPY MOUNTAIN HOLDINGS LLC<br/>901 N MARKET ST SUITE 705<br/>WILMINGTON, DE 19801<br/>5905/2552</p> <p>220 88<br/>N/F<br/>650 MAPLEWOOD, LLC<br/>3 CATE STREET<br/>PORTSMOUTH, NH 03801<br/>6367/690</p> <p>220 89<br/>N/F<br/>TAYLOR B. &amp; MEREDITH JACKSON<br/>281 SAGAMORE AVENUE<br/>PORTSMOUTH, NH 03801<br/>5759/1163</p> |
|--|---|



**AMBIT ENGINEERING, INC.**  
 A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
 Portsmouth, NH 03801  
 603.430.9282

WWW.HALEYWARD.COM

- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 220 AS LOT 90.
  - OWNERS OF RECORD:  
 ISLAMIC SOCIETY OF THE SEACOAST AREA  
 42N DOVER POINT ROAD  
 DOVER, NH 03820  
 5806/2816
  - APPLICANT:  
 CHINBURG DEVELOPMENT, LLC  
 3 PENSTOCK WAY  
 NEWMARKET, NH 03857
  - PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
  - EXISTING LOT AREA:  
 62,776 S.F.  
 1.4411 ACRES
  - PARCEL IS LOCATED IN SINGLE RESIDENCE B (SRB) DISTRICT.
- DIMENSIONAL REQUIREMENTS:**
- |                            |               |
|----------------------------|---------------|
| MIN. LOT AREA:             | 15,000 S.F.   |
| FRONTAGE:                  | 100 FEET      |
| SETBACKS:                  | FRONT 30 FEET |
|                            | SIDE 10 FEET  |
|                            | REAR 30 FEET  |
| MAXIMUM STRUCTURE HEIGHT:  | 35 FEET       |
| MAXIMUM BUILDING COVERAGE: | 20%           |
| MINIMUM OPEN SPACE:        | 40%           |
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 220 LOT 90 IN THE CITY OF PORTSMOUTH.
  - RCRD 5759/1160 PLACED A BURDEN ON TAX MAP 220 LOT 90. THE EASEMENT DESCRIBED IN RCRD 5759/1160 HAS BEEN EXTINGUISHED DUE TO THE REMOVAL OF THE DECKS AND THE NON-REPLACEMENT WITHIN THE SIX (6) MONTHS ALLOWED BY THE EASEMENT DEED.

**RESIDENTIAL DEVELOPMENT  
 CHINBURG DEVELOPMENT  
 686 MAPLEWOOD AVE.  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	4/20/23
0	ISSUED FOR COMMENT	4/13/23

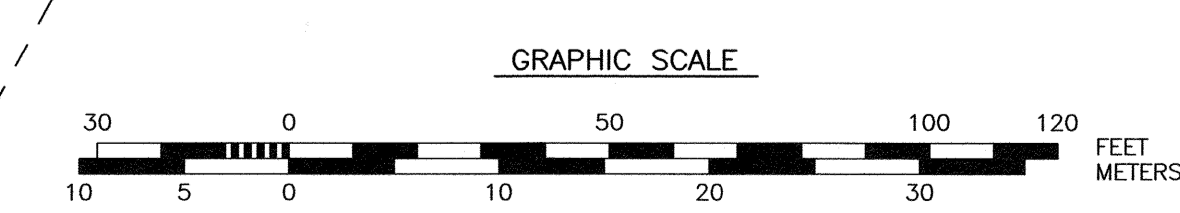
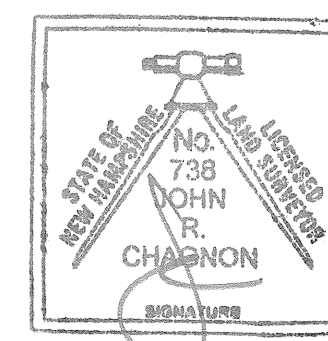
REVISIONS	

SCALE: 1"=30' FEBRUARY 2023

EXISTING CONDITIONS PLAN **C1**

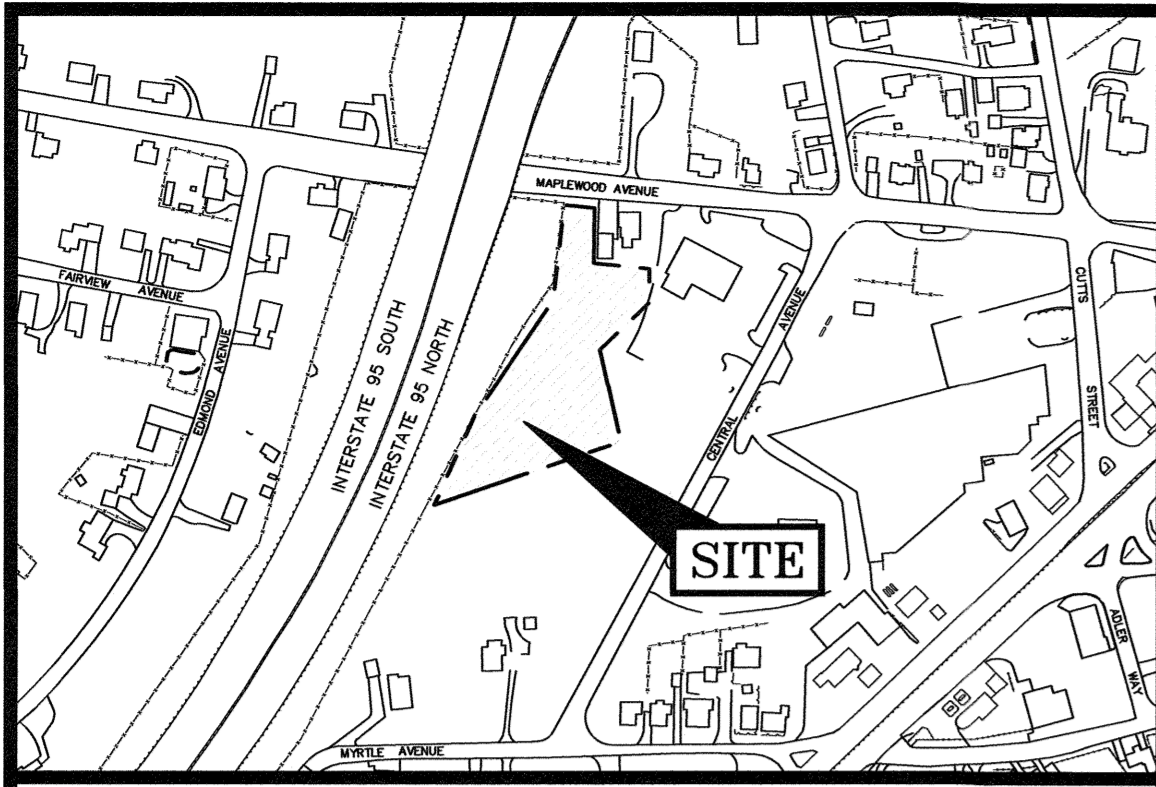
"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

*[Signature]* 10.3.23  
 JOHN R. CHAGNON, LLS DATE



P:\NH\510226-Chinburg, Builders\2301-01-686 Maplewood Ave., Portsmouth-RCR\2023 Site Plan\Plans & Specs\Site\2366 Site.dwg, 10/2/2023, 10:42:27 PM, Portsmouth Plotter Color T33000.ctb





LOCATION MAP SCALE 1"=300'

LEGEND: SEE COVER SHEET

**IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)**

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURES	0	5,856
DECKS	0	606
COVERED PORCHES	0	270
PATIOS	0	642
PAVEMENT	0	11,577
SIDEWALKS	0	2,392
GRAVEL	12,999	0
CURBING	0	255
RETAINING WALL	0	477
TOTAL	12,999	22,075
LOT SIZE	62,776	62,776
% LOT COVERAGE	20.7%	35.2%

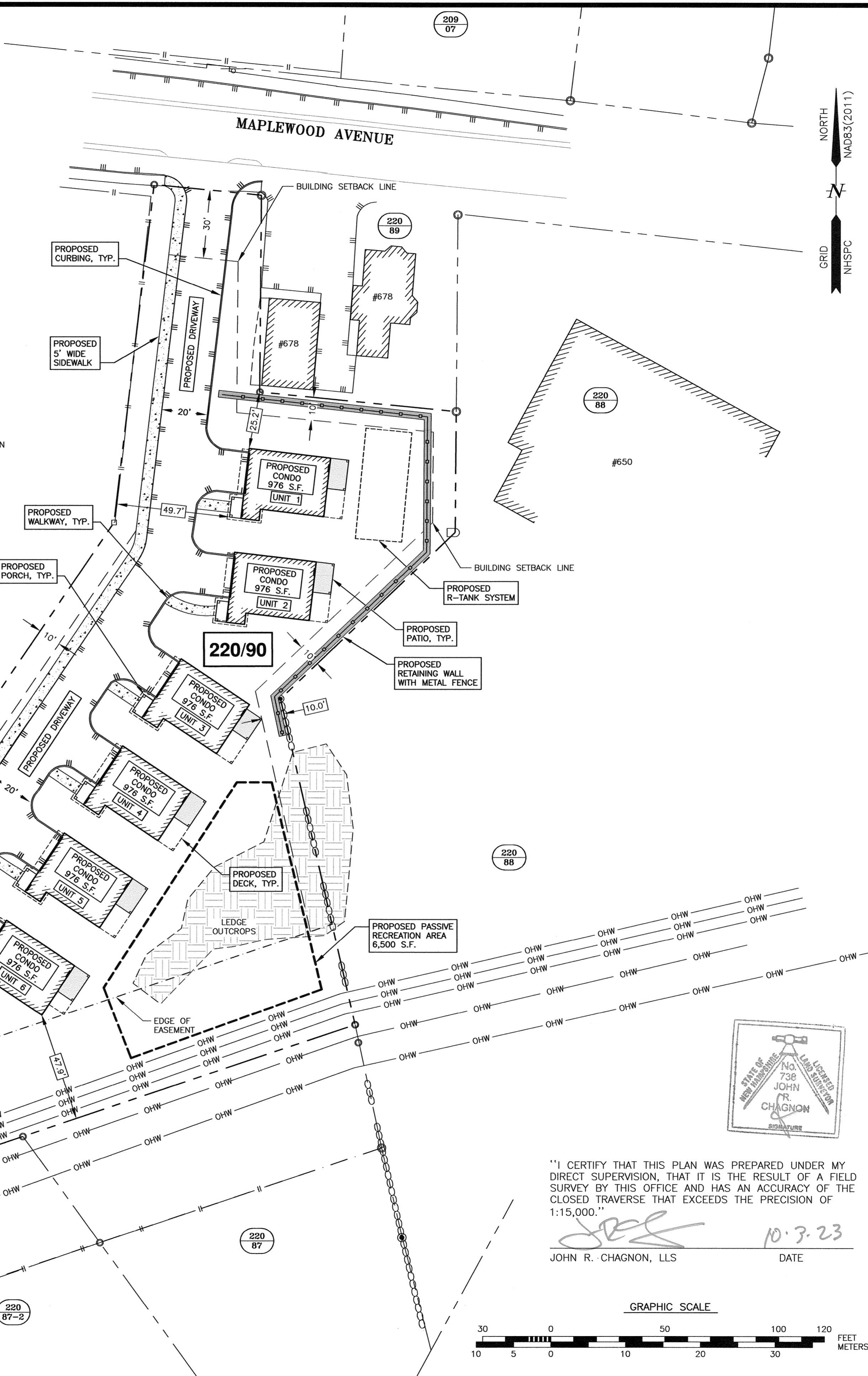
PROPOSED BUILDING COVERAGE: 6,732 S.F./62,776 S.F. = 10.7%  
 PROPOSED OPEN SPACE: 40,997 S.F./62,776 S.F. = 65.3%  
 BUILDING HEIGHT TO CONFORM TO ORDINANCE.

**VARIANCES GRANTED:**

- ARTICLE #5, SECTION 10.520 TO PERMIT FRONTAGE OF 47.31 FEET WHERE 100 FEET IS REQUIRED. GRANTED 6/21/23.
- ARTICLE #5, SECTION 10.520 TO PERMIT 10,462 S.F. OF LOT AREA PER DWELLING UNIT WHERE 15,000 S.F. OF LOT AREA PER DWELLING UNIT IS REQUIRED. GRANTED 8/22/23.
- ARTICLE #5, SECTION 10.513 TO PERMIT 6 FREE STANDING BUILDINGS WITH DWELLINGS WHERE NO MORE THAN ONE FREE STANDING DWELLING IS PERMITTED. GRANTED 8/22/23.

**ABUTTERS:**

- |   |  |
|---|--|
| <p>209<br/>07<br/>N/F<br/>OSGODD LODGE NO. 48 ODDFELLOWS BLDG ASSOC.<br/>P.O. BOX 1045<br/>PORTSMOUTH, NH 03802<br/>6354/1704</p>     | <p>220<br/>87-2-3<br/>N/F<br/>SUSAN ZIMMERMANN<br/>48 NORTH STATE STREET<br/>CONCORD, NH 03301<br/>6184/1111</p>                 |
| <p>220<br/>87-1<br/>N/F<br/>JEFFREY MATSON &amp; KATHRYN MICHELE ARBOUR<br/>86 EMERY STREET<br/>PORTSMOUTH, NH 03801<br/>6085/200</p> | <p>220<br/>87-2-4<br/>N/F<br/>JAIME PRIDHAM<br/>74 EMERY STREET, UNIT #4<br/>PORTSMOUTH, NH 03801<br/>6142/69</p>                |
| <p>220<br/>87-2<br/>N/F<br/>HAPPY MOUNTAIN HOLDINGS LLC<br/>901 N MARKET ST SUITE 705<br/>WILMINGTON, DE 19801<br/>5905/2552</p>      | <p>220<br/>87-3<br/>N/F<br/>HAPPY MOUNTAIN HOLDINGS LLC<br/>901 N MARKET ST SUITE 705<br/>WILMINGTON, DE 19801<br/>5905/2552</p> |
| <p>220<br/>87-2-1<br/>N/F<br/>CARL &amp; DEBORAH ROCHE<br/>64 EMERY STREET, UNIT #1<br/>PORTSMOUTH, NH 03801<br/>6147/2870</p>        | <p>220<br/>88<br/>N/F<br/>650 MAPLEWOOD, LLC<br/>3 CATE STREET<br/>PORTSMOUTH, NH 03801<br/>6367/690</p>                         |
| <p>220<br/>87-2-2<br/>N/F<br/>BETTY J. SWANTON<br/>64 EMERY STREET, UNIT #2<br/>PORTSMOUTH, NH 03801<br/>6121/2485</p>                | <p>220<br/>89<br/>N/F<br/>TAYLOR B. &amp; MEREDITH JACKSON<br/>281 SAGAMORE AVENUE<br/>PORTSMOUTH, NH 03801<br/>5759/1163</p>    |

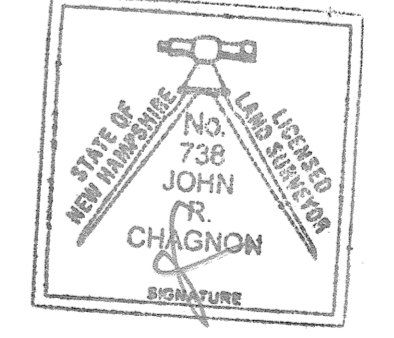


**NOTES:**

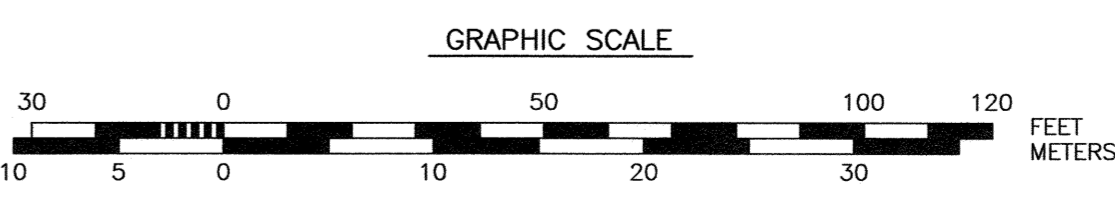
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- OWNERS OF RECORD:  
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42N DOVER POINT ROAD  
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62,776 S.F.  
1.4411 ACRES
- PARCEL IS LOCATED IN SINGLE RESIDENCE B (SRB) DISTRICT.  
  
DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 15,000 S.F.  
FRONTAGE: 100 FEET  
SETBACKS: FRONT 30 FEET  
SIDE REAR 10 FEET 30 FEET  
  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 20%  
MINIMUM OPEN SPACE: 40%
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT ON ASSESSOR'S MAP 220 LOT 90 IN THE CITY OF PORTSMOUTH.
- VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS.
- BUILDINGS FROM PLANS BY CJ ARCHITECTS DATED 7-24-23.
- PARKING CALCULATION:  
REQUIRED: 1.3 PER UNIT  
6 UNITS X 1.3 = 8 SPACES  
GUEST REQUIRED: 1 PER 5 UNITS = 1 SPACE  
TOTAL SPACES REQUIRED = 9  
PROVIDED PARKING: 16 SPACES
- UNIT NUMBERING TO BE COORDINATED WITH 911.
- THE PLAN FOR SOLID WASTE REMOVAL IS TO PROVIDE PRIVATE WEEKLY PICKUP.
- STORMWATER MANAGEMENT INSTALLATIONS SHALL BE INSPECTED BY DPW DURING CONSTRUCTION AND AN ANNUAL REPORT SHALL BE SUBMITTED TO THE DPW DEPARTMENT REGARDING THE FUNCTION OF THE DESIGN.

**RESIDENTIAL DEVELOPMENT  
CHINBURG DEVELOPMENT  
686 MAPLEWOOD AVE.  
PORTSMOUTH, N.H.**

NO.	ISSUED FOR COMMENT	DATE
0	ISSUED FOR COMMENT	10/3/23
REVISIONS		



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."  
 JOHN R. CHAGNON, LLS  
 DATE 10.3.23



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SCALE: 1"=30' JULY 2023

SITE PLAN **C2**





THUNDERHEAD BLACK PINE  
HEIGHT: 10'-12'  
WIDTH: 10'-12'



### PLANT LEGEND

Qty	Botanical Name	Common Name	Remarks
Trees			
39	<i>Pinus thunbergiana</i> 'Thunderhead'	Pine, Thunderhead Japanese Black	36" - 42"
7	<i>Platanus x acerifolia</i> 'Bloodgood'	BLOODGOOD LONDON PLANETREE	2" - 2.5" cal.
2	<i>Prunus cerasifera</i> 'Thundercloud'	THUNDERCLOUD CHERRY PLUM	2" - 2.5" cal.
Shrubs			
16	<i>Spiraea japonica</i> 'Shiroband'	SHIROBANA JAPANESE SPIREA	#3
Perennials			
28	<i>Echinacea purpurea</i> 'Kim's Knee High'	KIM'S KNEE HIGH PURPLE CONEFLOWER	#1

1" = 30'



No.	Date	Description
1	07.25.23	COMMENTS
2	10.03.23	COMMENTS

## 686 MAPLEWOOD CONCEPT PLAN LANDSCAPE



SCALE: 1" = 30'	PROJECT NO.
DRAWN BY: MIC	SHEET NO.
CHECKED BY: ES	L-1
DATE: 10.03.23	
DATE OF PRINT:	

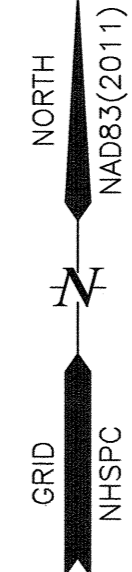
CALL BEFORE YOU DIG





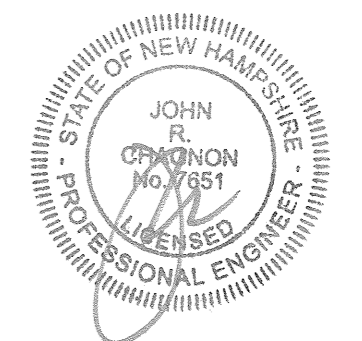
**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.



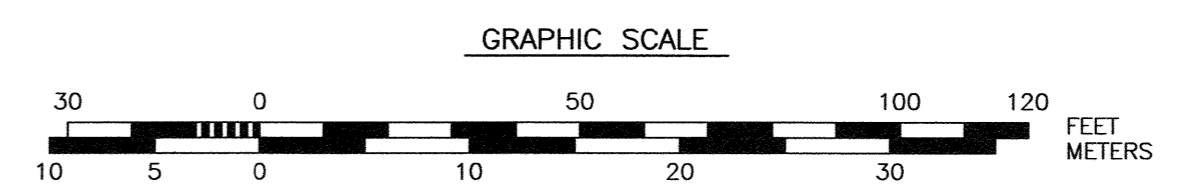
**RESIDENTIAL DEVELOPMENT  
CHINBURG DEVELOPMENT  
686 MAPLEWOOD AVE.  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	10/3/23
REVISIONS		



SCALE: 1"=30'      OCTOBER 2023

**GRADING & EROSION CONTROL PLAN**      **C3**



APPROVED BY THE PORTSMOUTH PLANNING BOARD

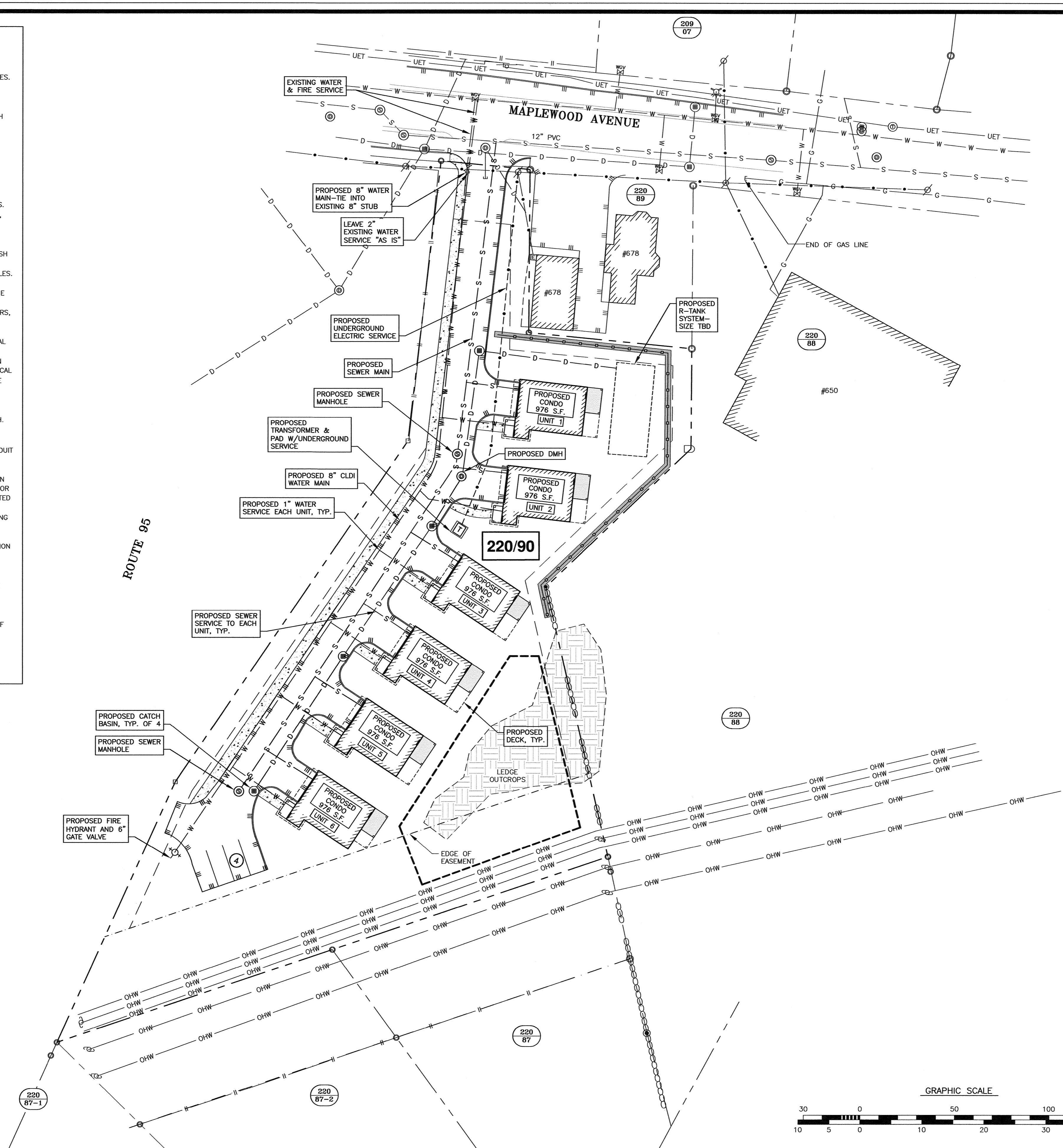
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

P:\NH\151\0220-Chinburg, Building\2360.01-686 Maplewood Ave., Portsmouth-RIC\2023 Site Plans\Plans & Specs\Site\2360 Site 2023.dwg, 10/9/2023 12:41:52 PM, Peterouin Plotter Color TX8000.pc3



**UTILITY NOTES:**

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6" COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH UTILITY COMPANY AND AFFECTED ADJUTER.
- 25) SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER IN COORDINATION WITH THE SITE CIVIL ENGINEER.
- 26) CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.
- 27) THE CONTRACTOR SHALL INSTALL THE SEWER LINE AND MANHOLE IN CONSULTATION AND COORDINATION WITH DEPARTMENT OF PUBLIC WORKS.
- 28) BRASS WEDGES FOR CONTINUITY OF SIGNAL MUST BE INSTALLED ON WATER MAINS PER THE PORTSMOUTH WATER DEPARTMENT
- 29) FINAL REVIEW OF ALL UTILITIES SHALL BE MADE DURING THE REQUIRED SEWER CONNECTION PERMIT PROCESS IN COORDINATION WITH DEPARTMENT OF PUBLIC WORKS.
- 30) ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT TO DEPARTMENT OF PUBLIC WATER WORKS STANDARDS.
- 31) THIRD PARTY UTILITY INSTALLATION INSPECTIONS SHALL BE REQUIRED ON WATER MAIN, SEWER, AND DRAINAGE SYSTEM CONSTRUCTION, AS WELL AS CONSTRUCTION AND REPAIRS TO CITY STREETS.



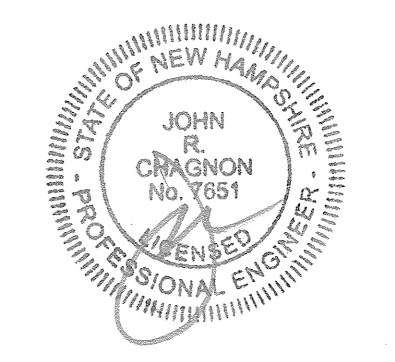
NORTH  
 GRID  
 NAD83(2011)  
 NHSPC

**NOTES:**

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- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.

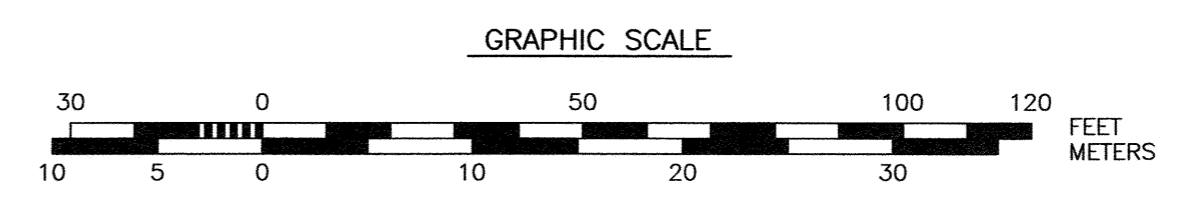
**RESIDENTIAL DEVELOPMENT  
 CHINBURG DEVELOPMENT  
 686 MAPLEWOOD AVE.  
 PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	10/3/23
NO.	DESCRIPTION	DATE
REVISIONS		



SCALE: 1"=30'      OCTOBER 2023

UTILITY PLAN      **C4**



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

P:\NH\01\0220\Chinburg\_Building\2360.01-686 Maplewood Ave., Portsmouth-RIC\2023 Site Plan\Plans & Specs\Site\2360 Site 2023.dwg, 10/3/2023 12:50:09 PM, Portsmouth Plotter Color TX3000.plt



# EROSION CONTROL NOTES

## CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

- OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER.
- AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR.
- A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES.
- IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

INSTALL PERIMETER CONTROLS, I.E., SILT/SOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. REMOVE WALL AND STORE.

CONSTRUCT TEMPORARY FILTRATION BASINS AND OUTLET.

ROUGH GRADE SITE.

CONSTRUCT ROADWAY AND DRAINAGE SYSTEM.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING FOUNDATIONS - BEGIN CONSTRUCTION.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT SIDEWALKS AND ASPHALT WEARING COURSE.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

## PROJECT DESCRIPTION

THE PROJECT CONSISTS OF SIX SINGLE FAMILY HOUSES WITH ASSOCIATED PARKING AND UTILITIES.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 1.050 ACRES.

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND-CANTON COMPLEX, 3-15% SLOPES WHICH IS WELL DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF A.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE NORTH MILL POND THEN TO THE PISCATAQUA RIVER.

## GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.

DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.  
IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING;
- MULCHING.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THESE AREAS, SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

## MAINTENANCE AND PROTECTION

THE SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT/SOXX SHALL BE REMOVED ONCE SITE IS STABILIZED, AND DISTURBED AREAS RESULTING FROM SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDDED.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

## WINTER NOTES

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

## STOCKPILES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

## CONCRETE WASHOUT AREA

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:

- THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
- IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
- INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

## ALLOWABLE NON-STORMWATER DISCHARGES

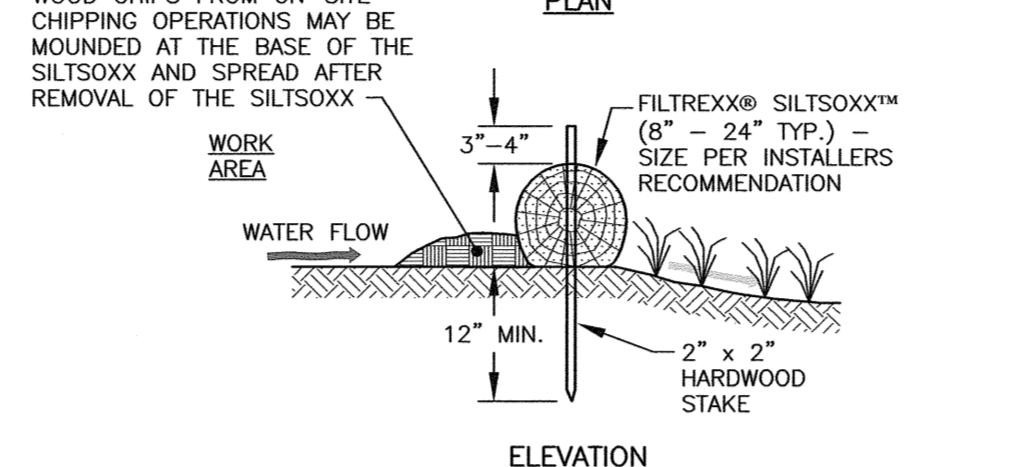
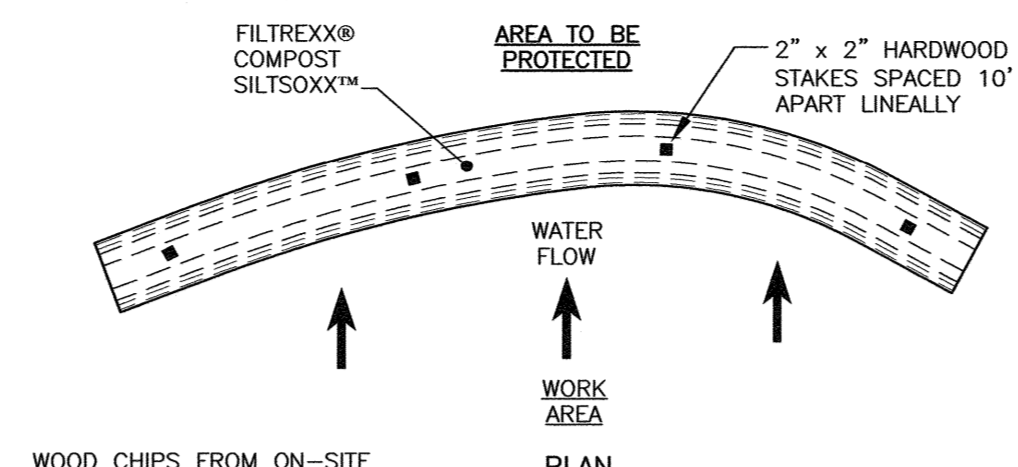
- FIRE-FIGHTING ACTIVITIES;
- FIRE HYDRANT FLUSHING;
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER;
- FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- UNCONTAMINATED EXCAVATION DEWATERING;
- LANDSCAPE IRRIGATION.

## WASTE DISPOSAL

- WASTE MATERIAL**
  - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
  - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
  - ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE**
  - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
  - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE**
  - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

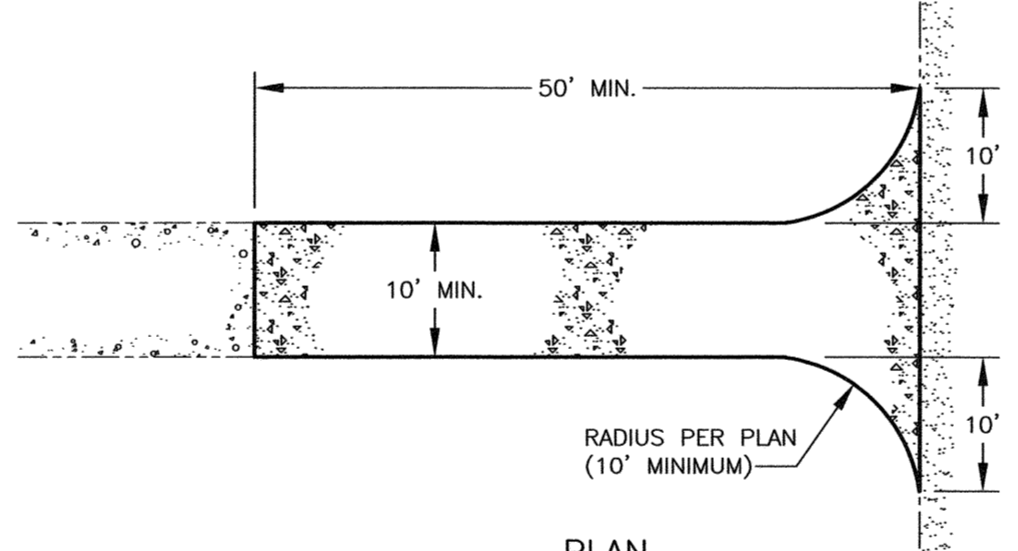
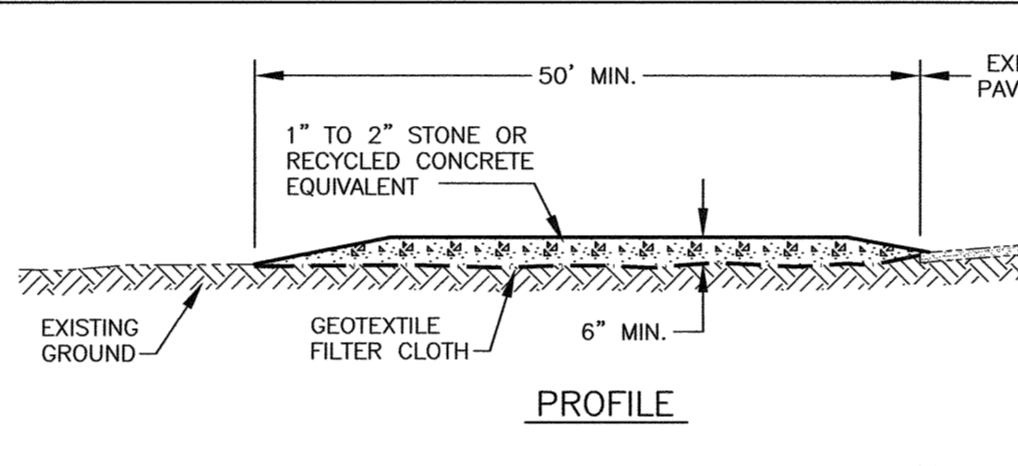
## BLASTING NOTES

- CONTRACTOR SHALL CONTACT THE NHDES AND/OR LOCAL JURISDICTION PRIOR TO COMMENCING ANY BLASTING ACTIVITIES.
- FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT A BLASTING PLAN THAT IDENTIFIES:
  - WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;
  - THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND
  - SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.



- NOTES:
- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
  - FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
  - THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
  - SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
  - THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

## A FILTREXX® SILT/SOXX™ FILTRATION SYSTEM NTS



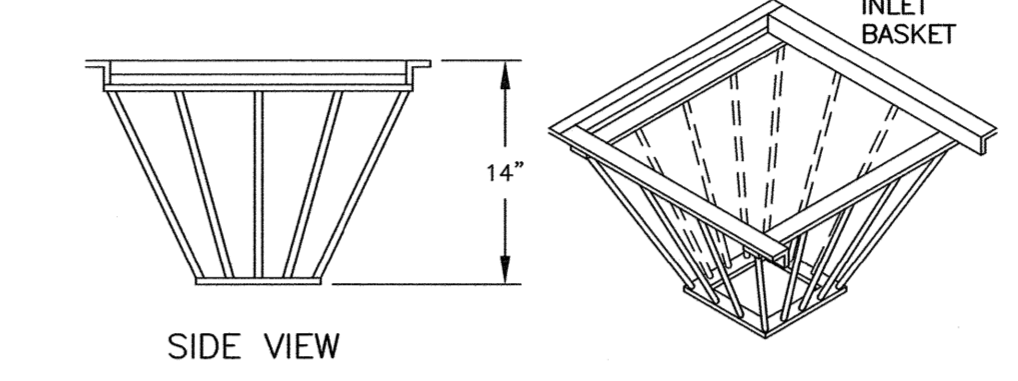
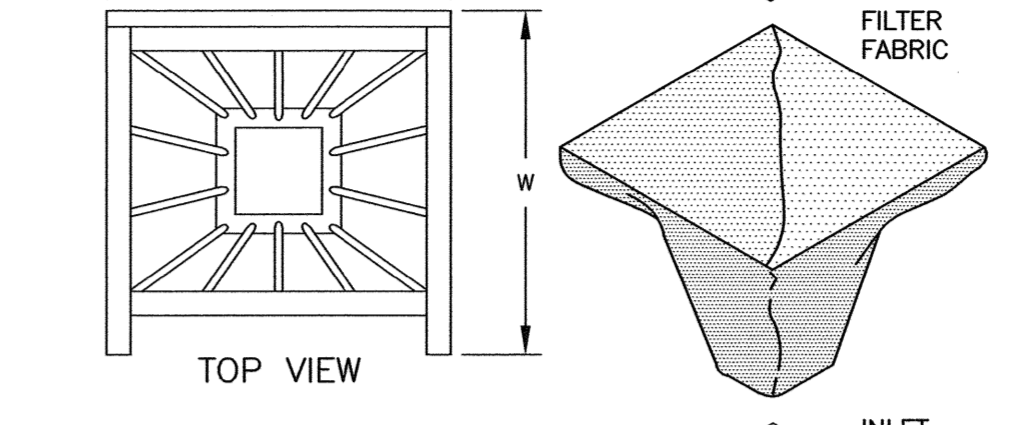
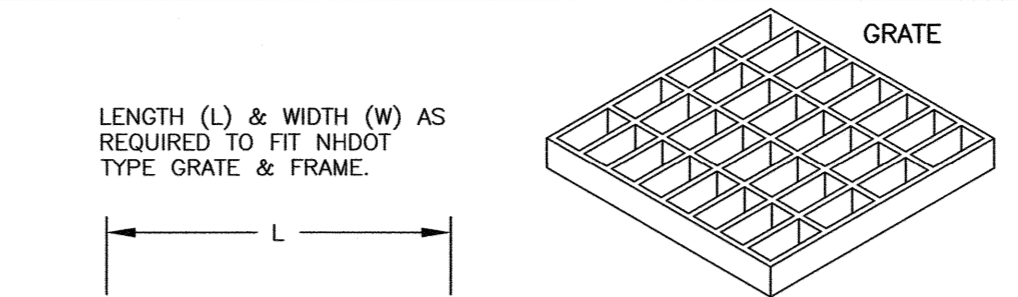
## MAINTENANCE

- MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
- IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

## CONSTRUCTION SPECIFICATIONS

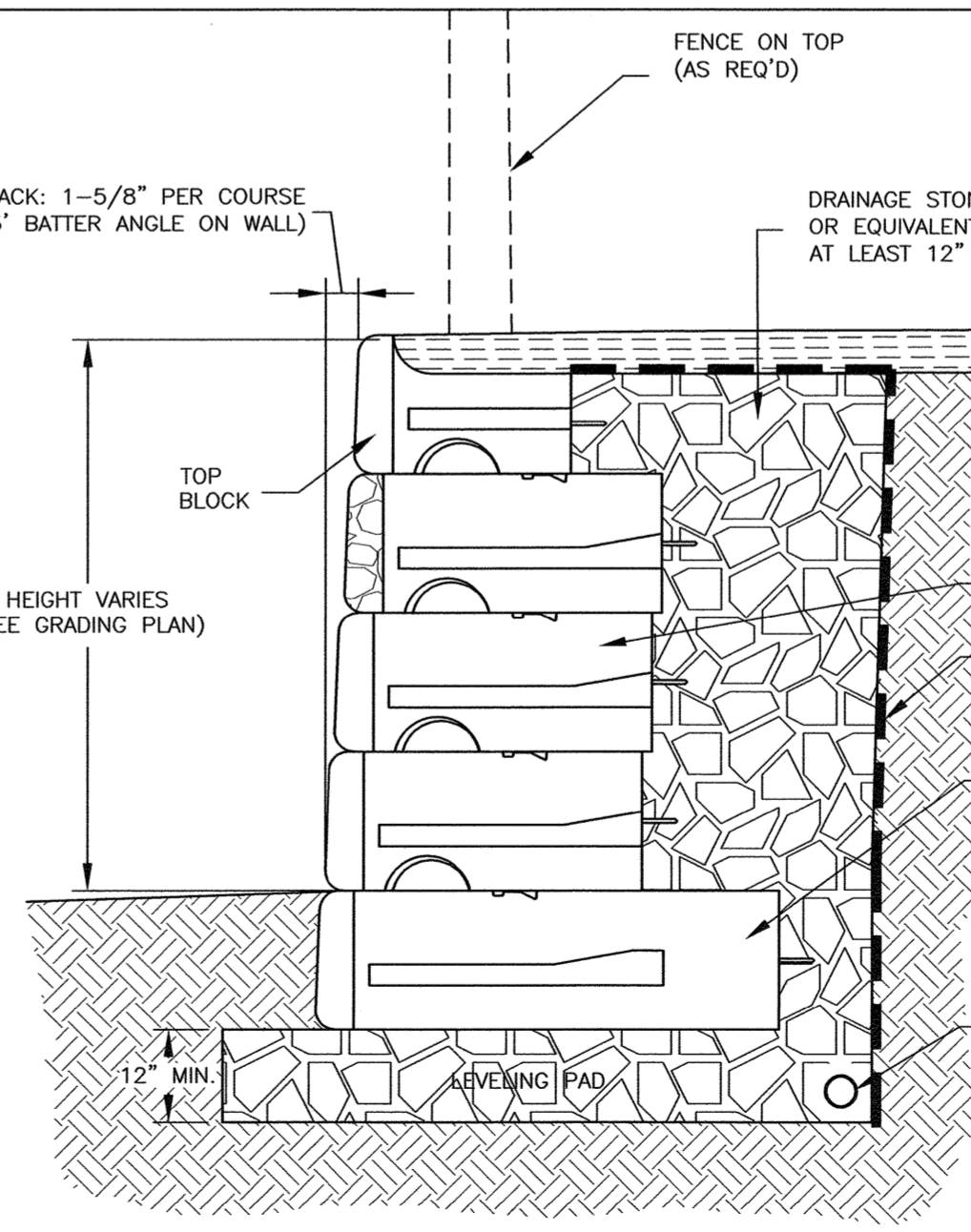
- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

## B STABILIZED CONSTRUCTION ENTRANCE NTS



- INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
- THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
  - RAI STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1882)
  - MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)
- THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)
- THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

## C CATCH BASIN INLET BASKET NTS



NOTE: FINAL STAMPED WALL DESIGN PLANS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL BEFORE CONSTRUCTION THE DESIGN SHALL ACCOUNT FOR HYDROSTATIC WALL PRESSURE.

## D BLOCK GRAVITY WALL DETAIL NTS

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

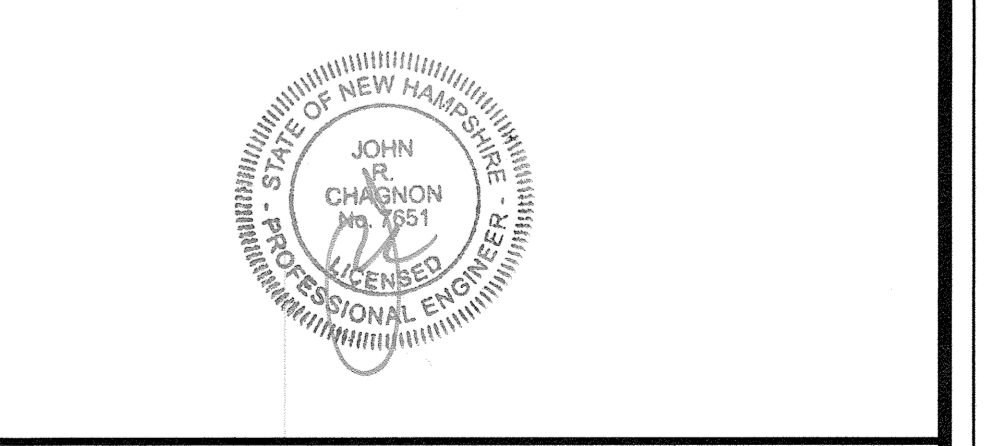
200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

WWW.HALEYWARD.COM

- NOTES:
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

# RESIDENTIAL DEVELOPMENT CHINBURG DEVELOPMENT 686 MAPLEWOOD AVE. PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	10/3/23
REVISIONS		



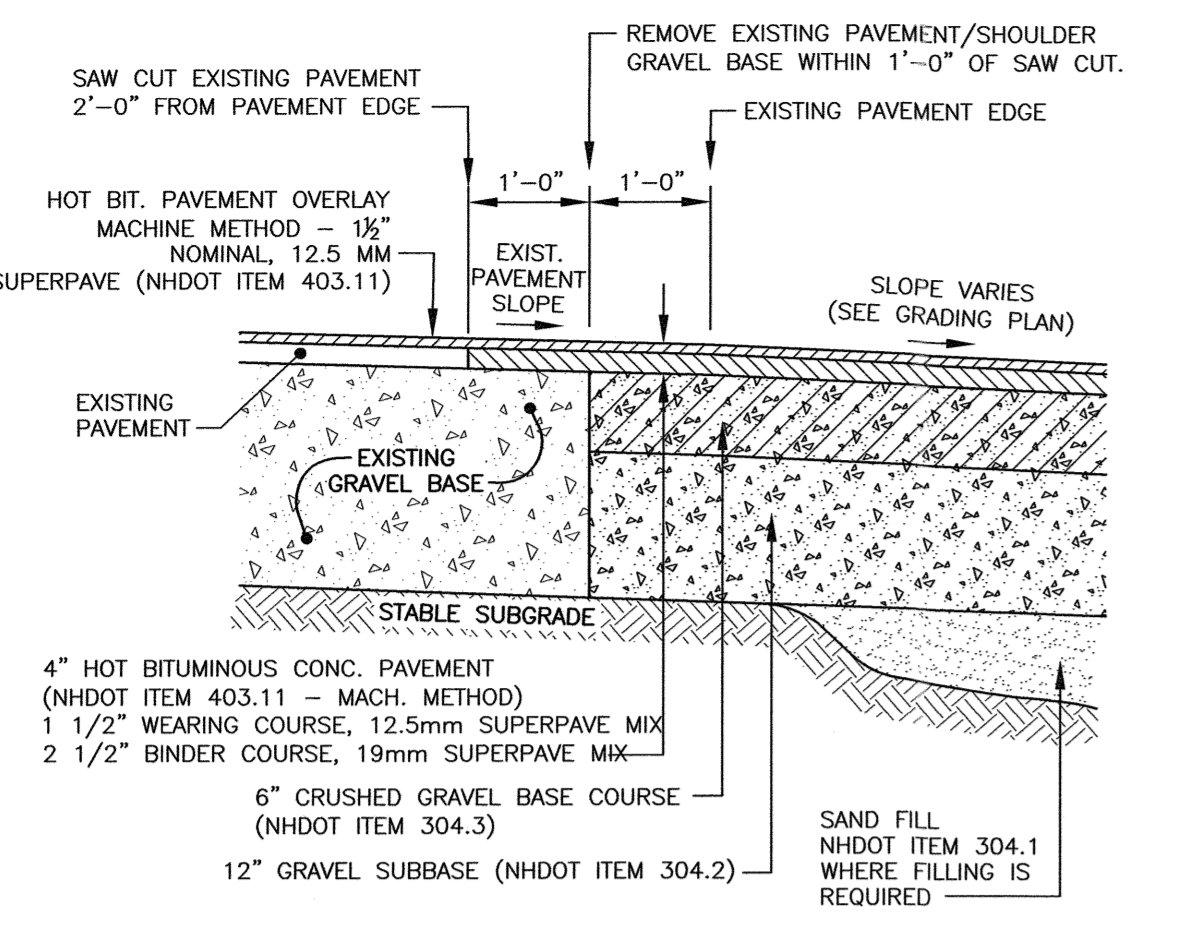
SCALE AS NOTED      OCTOBER 2023

## EROSION CONTROL NOTES & DETAILS      D1

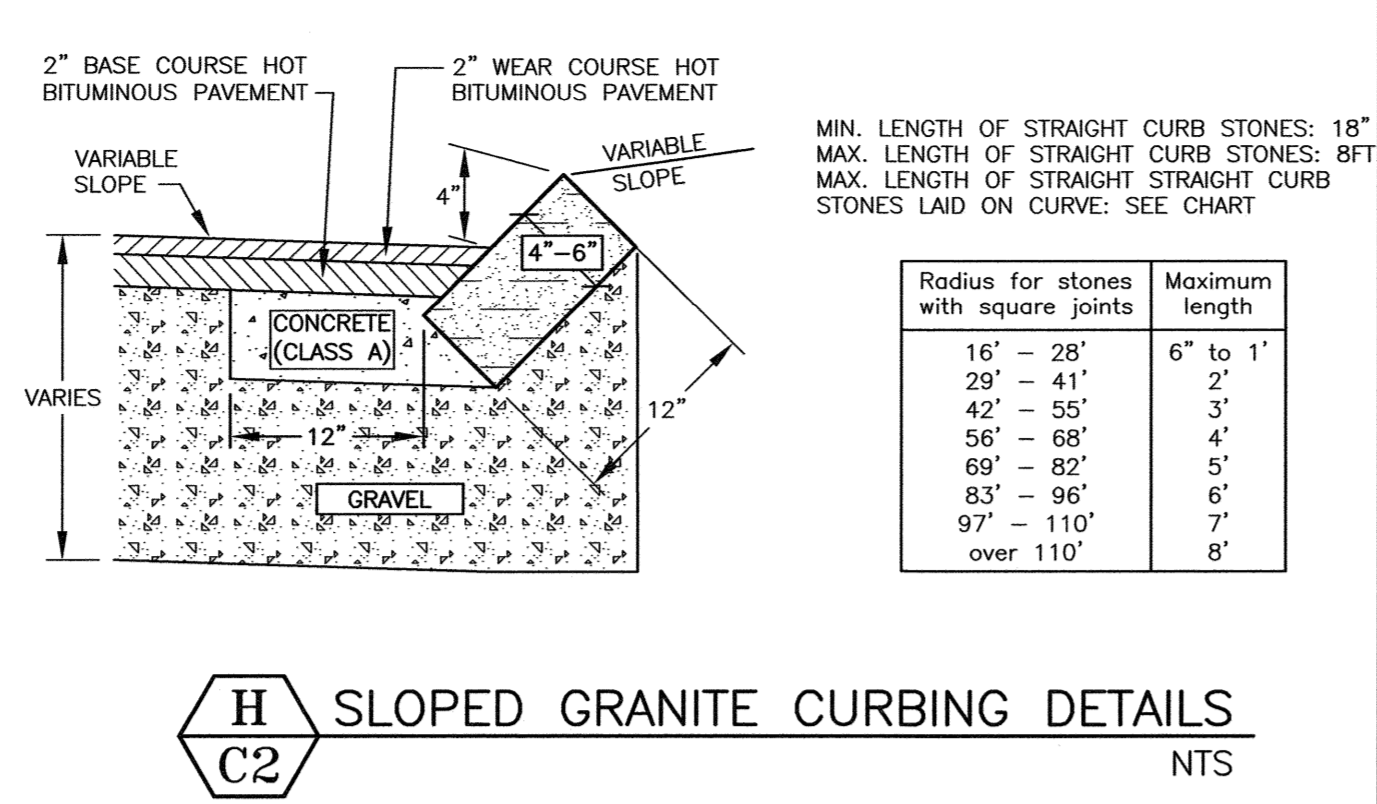


**NOTES:**

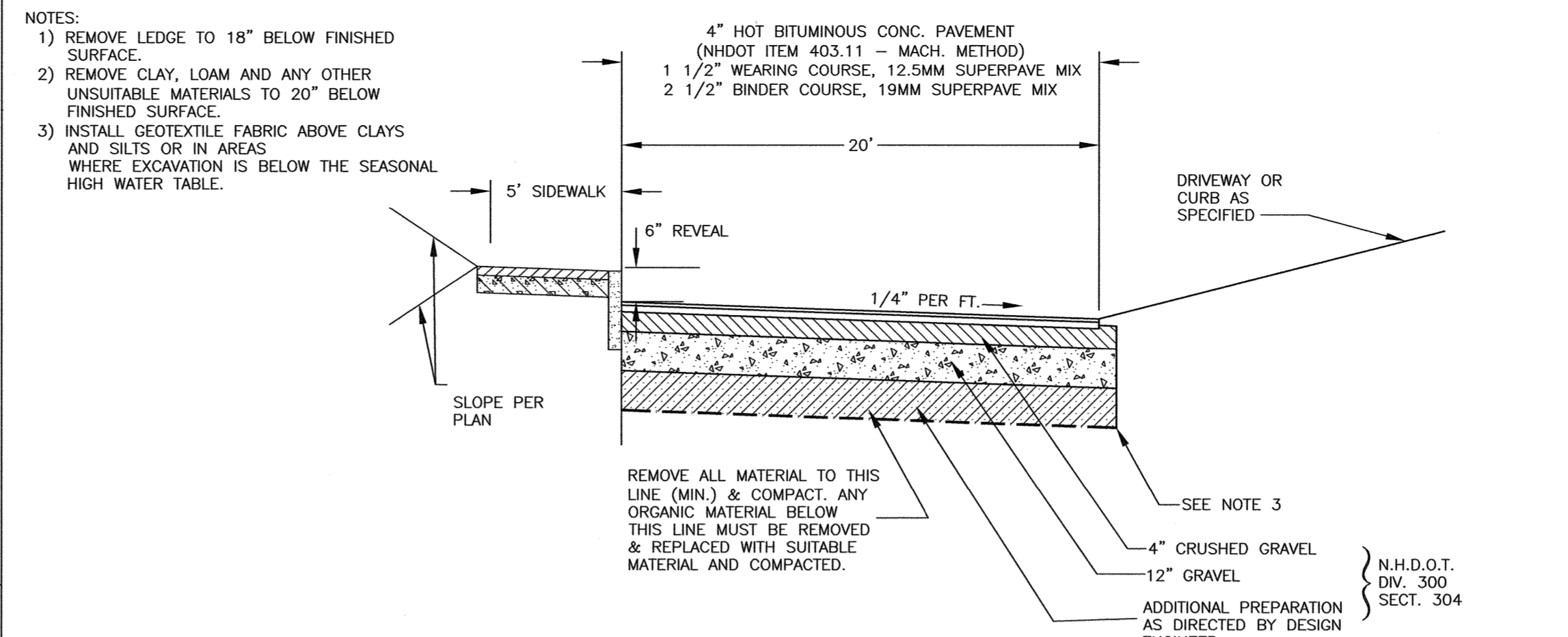
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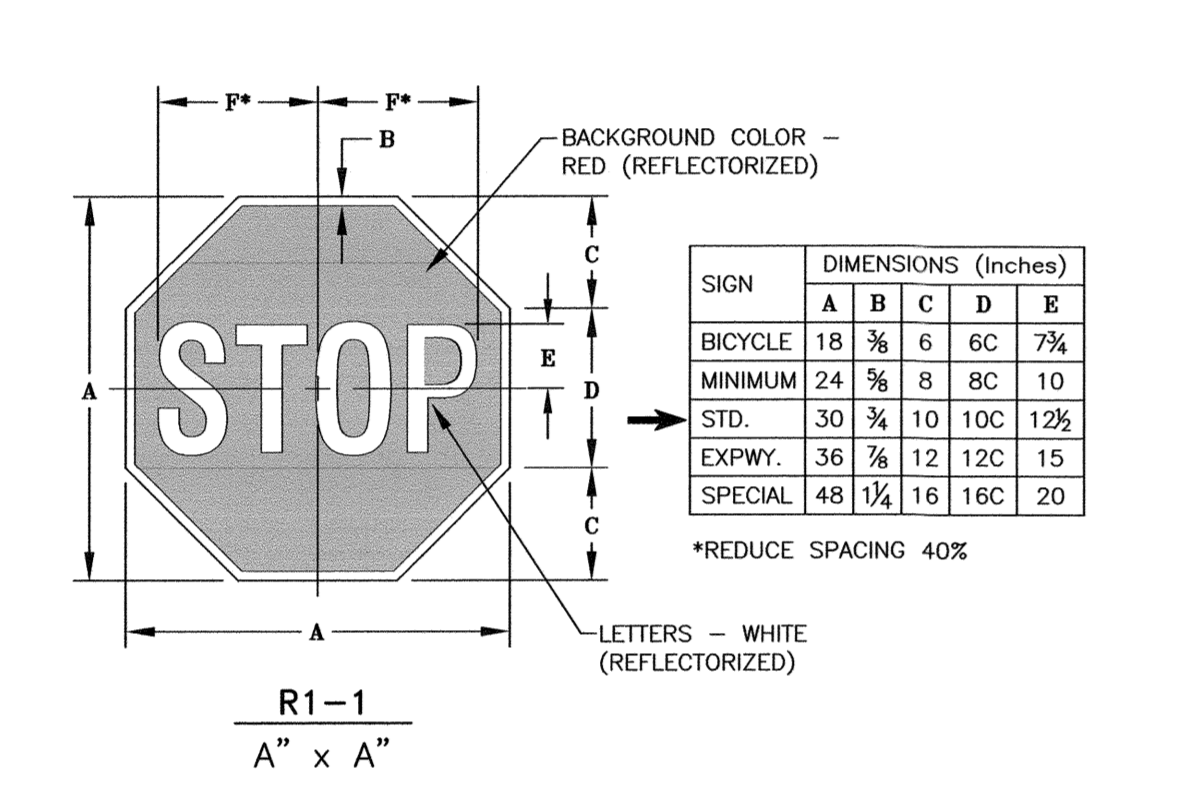
**E** FULL DEPTH PAVEMENT SECTION AND PAVEMENT JOINT DETAIL  
C2 NTS



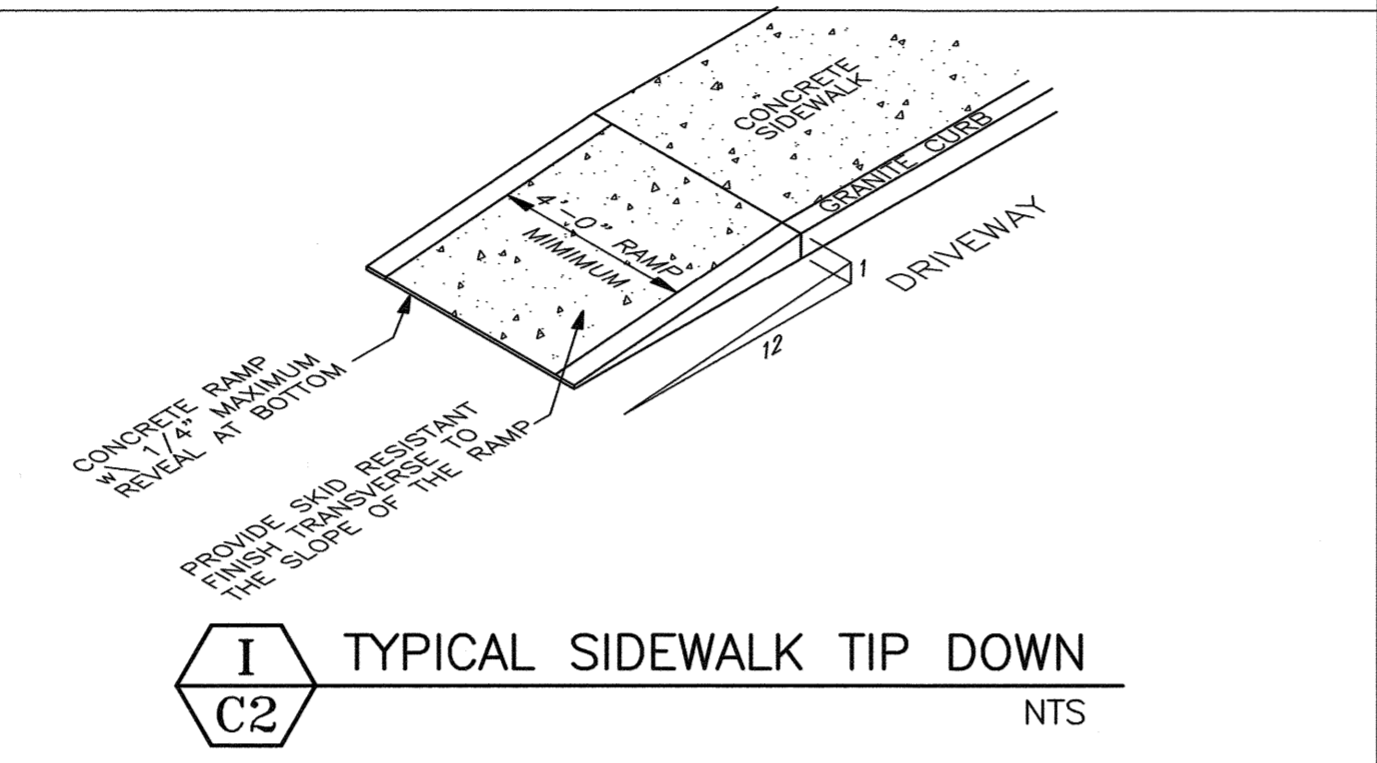
**H** SLOPED GRANITE CURBING DETAILS  
C2 NTS



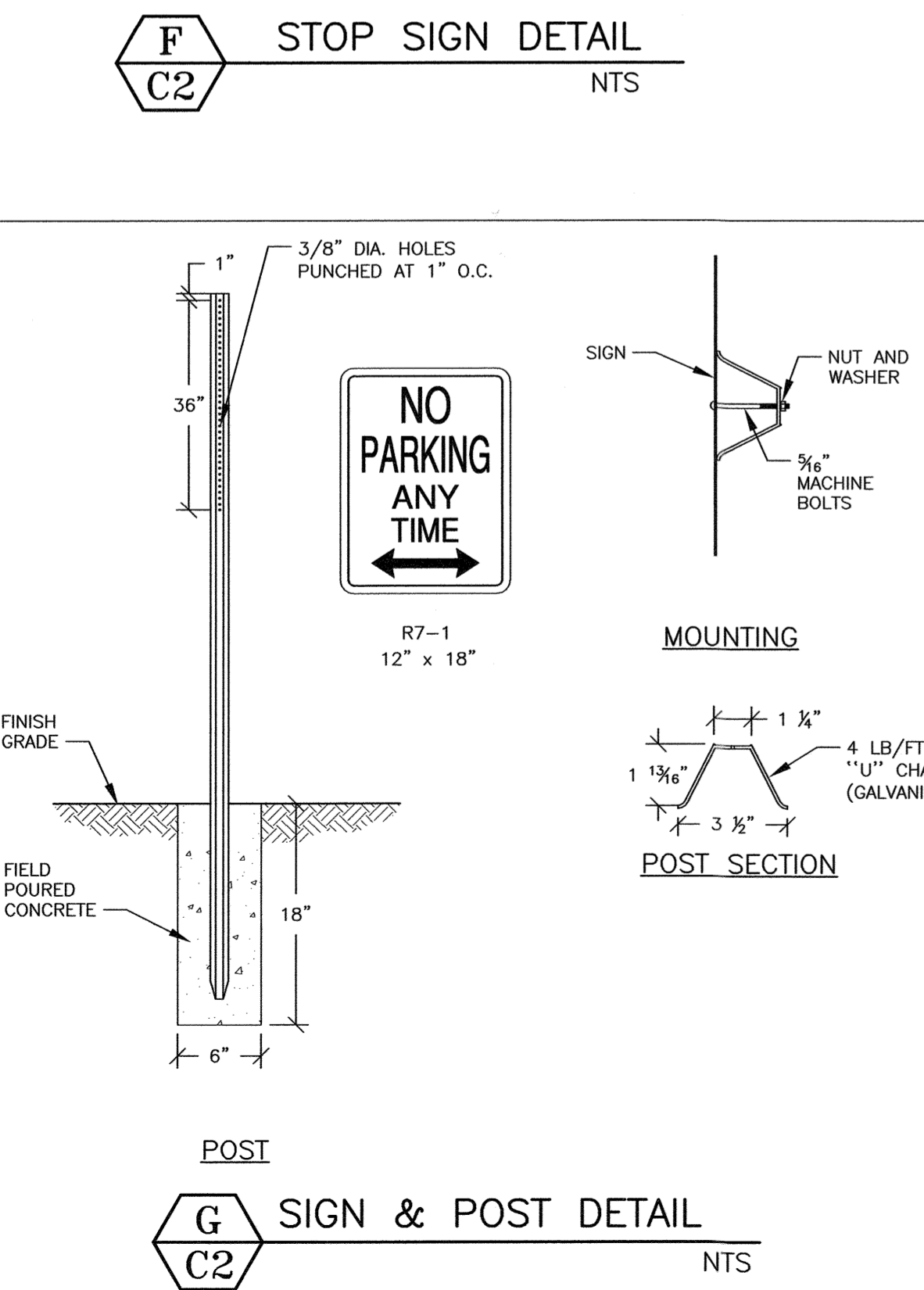
**K** TYPICAL DRIVEWAY SECTION  
C2 NTS



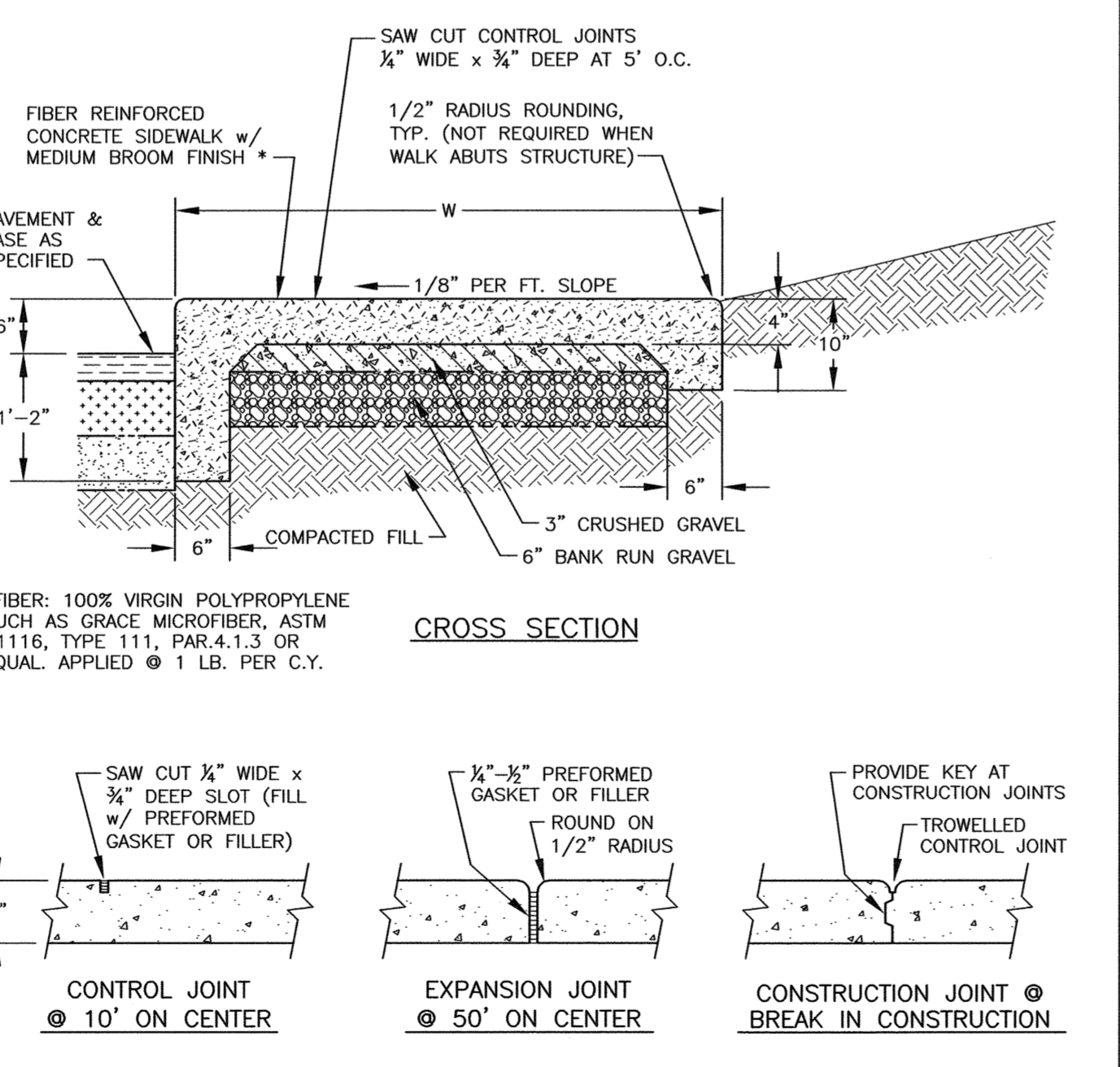
**F** STOP SIGN DETAIL  
C2 NTS



**I** TYPICAL SIDEWALK TIP DOWN  
C2 NTS



**G** SIGN & POST DETAIL  
C2 NTS



**J** CONCRETE WALK w/ CONCRETE CURB  
C2 NTS

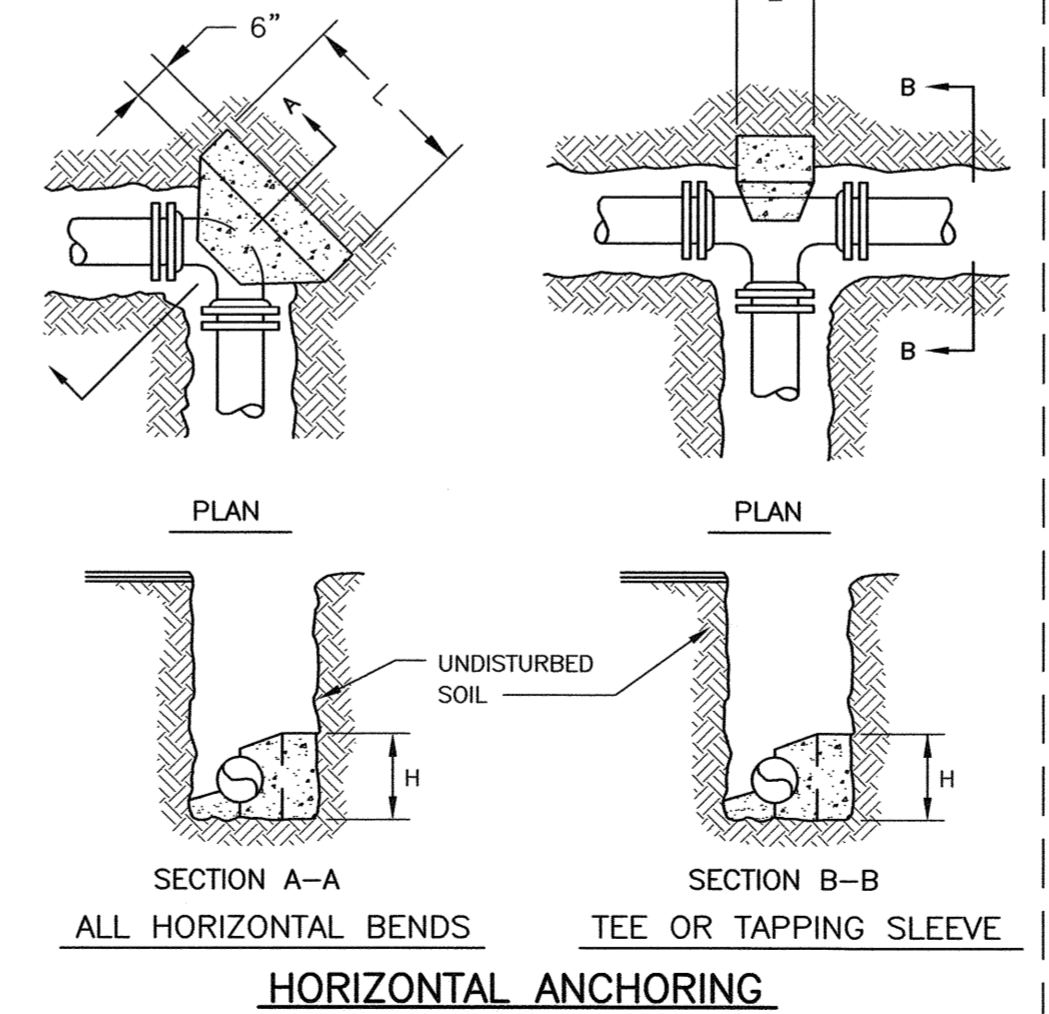
**HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK**  
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
	4"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"
6"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
8"	1'-2"	1'-2"	1'-2"	1'-2"	1'-0"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
10"	1'-4"	1'-4"	1'-4"	1'-4"	1'-0"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
12"	1'-8"	1'-8"	1'-8"	1'-8"	1'-3"	1'-3"	1'-0"	1'-0"	0'-9"	1'-0"

**HORIZONTAL ANCHOR DIMENSIONS FOR AVERAGE SOIL CONDITIONS**  
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
	4"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"
6"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"
8"	1'-4"	2'-8"	1'-4"	2'-8"	1'-4"	1'-6"	1'-0"	1'-0"	0'-9"	1'-0"
10"	1'-8"	3'-4"	1'-8"	3'-4"	1'-8"	2'-0"	1'-3"	1'-3"	1'-0"	1'-0"
12"	2'-0"	4'-0"	2'-0"	4'-0"	2'-0"	2'-2"	1'-6"	1'-6"	1'-3"	1'-3"

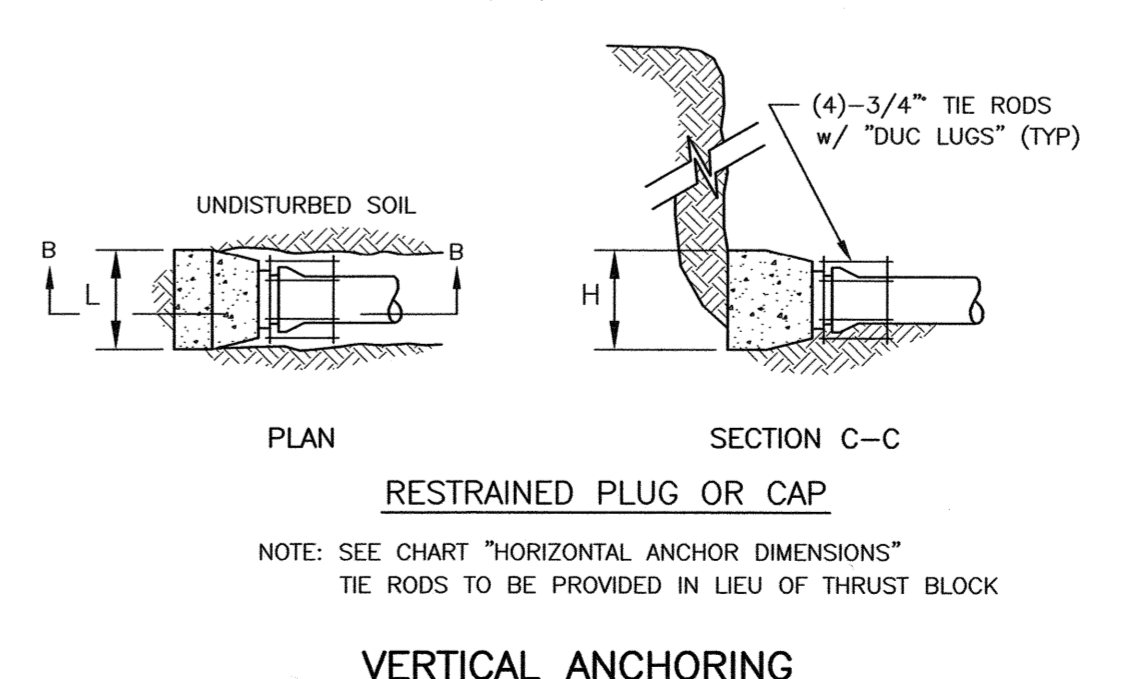
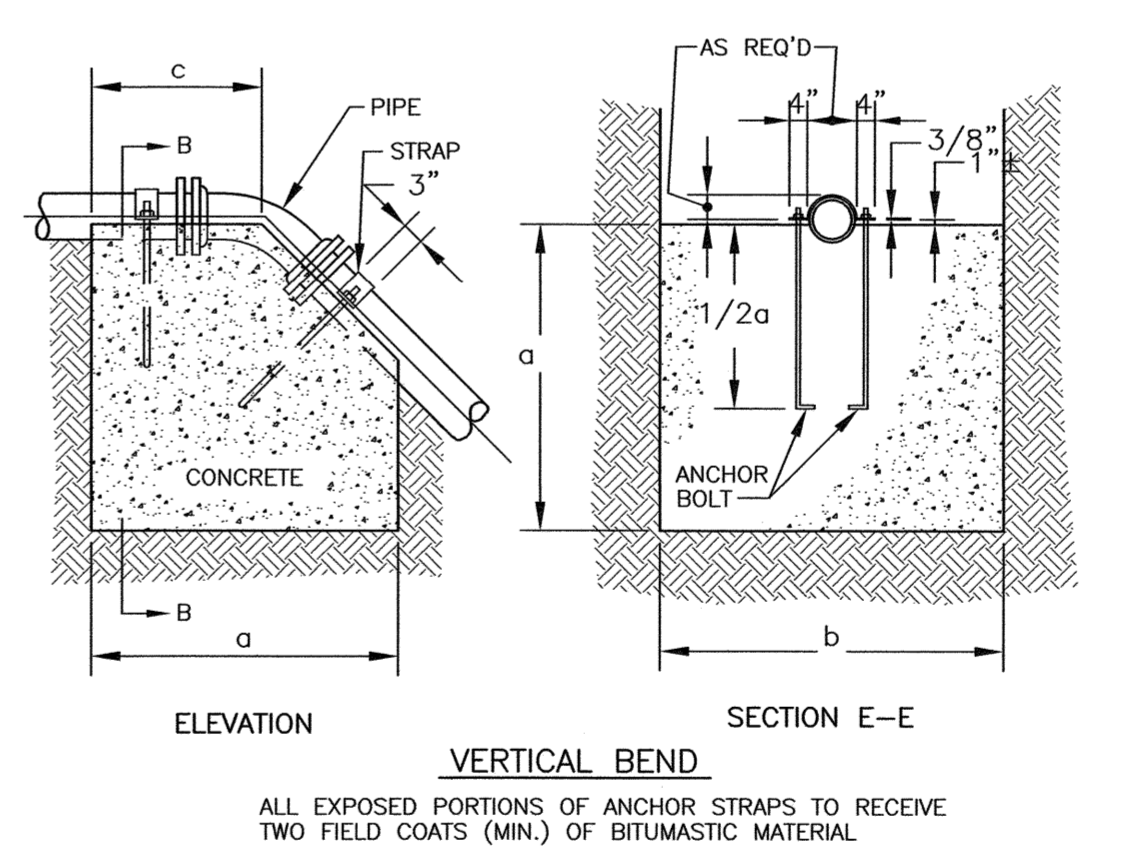
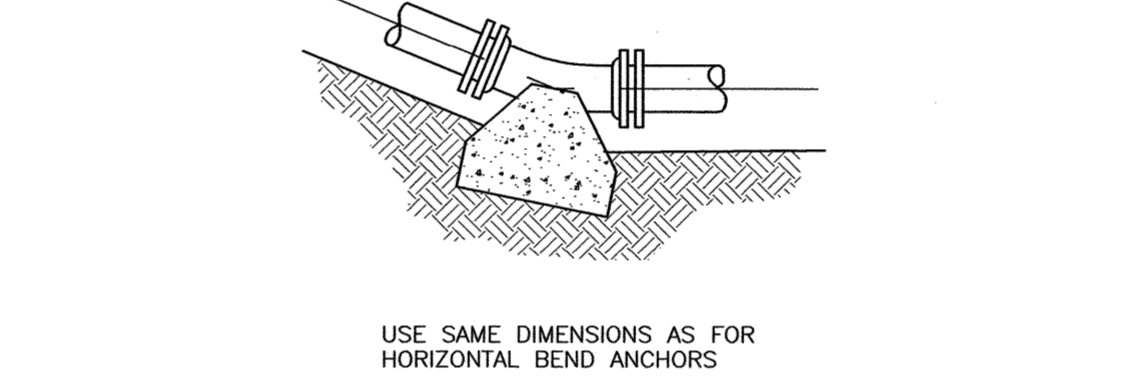
NOTES:  
1) TABLES ARE BASED ON AN ALLOWABLE SOIL PRESSURE OF 3000 PSF ON UNDISTURBED EARTH BEHIND THE ANCHOR BLOCK. WHERE SOIL HAS BEEN DISTURBED BY ADJACENT EXCAVATIONS OR WHERE SOIL CANNOT WITHSTAND SUCH A PRESSURE, THE TABLE DOES NOT APPLY.  
2) WHERE ENTIRE DEPTH OF PIPE IS BELOW THE TOP SURFACE OF SOUND ROCK, USE "HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK" TABLE.



**L** PRESSURE PIPE ANCHORING DETAILS  
C4 NTS

**VERTICAL ANCHOR DIMENSIONS**  
UP TO 150 P.S.I. WORKING PRESSURE

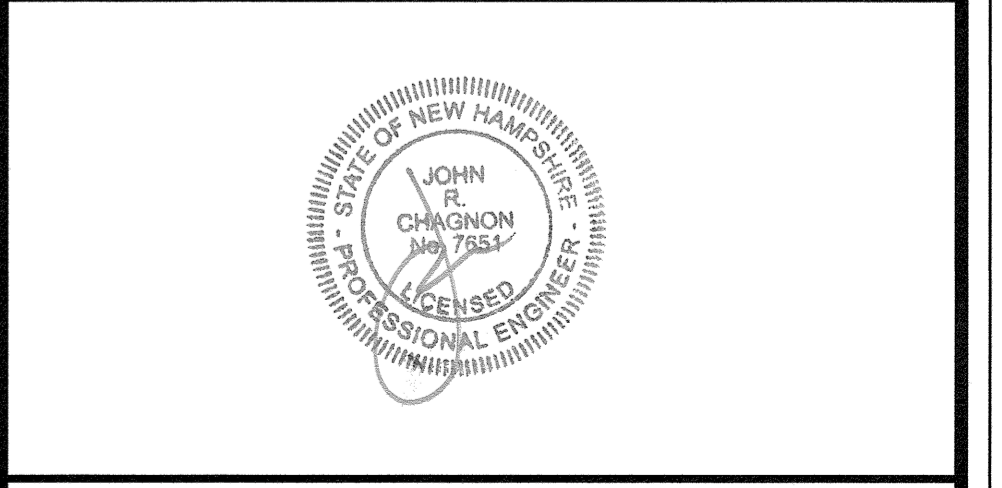
PIPE SIZE	45° BEND			ROD DIA.	22 1/2° BEND			ROD DIA.	11 1/4° BEND			ROD DIA.
	a	b	c		a	b	c		a	b	c	
	4"	3'-0"	3'-0"		2'-0"	3/4"	2'-6"		2'-3"	1'-6"	3/4"	
6"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"	1'-6"	3/4"
8"	3'-6"	3'-6"	2'-6"	3/4"	3'-0"	3'-0"	1'-9"	3/4"	2'-6"	2'-6"	1'-3"	3/4"
10"	4'-3"	4'-0"	3'-0"	3/4"	3'-6"	3'-3"	2'-0"	3/4"	2'-9"	2'-9"	1'-6"	3/4"
12"	4'-9"	4'-6"	3'-3"	3/4"	4'-0"	3'-9"	2'-6"	3/4"	3'-3"	3'-3"	1'-9"	3/4"



**O** VERTICAL ANCHORING  
C2 NTS

**RESIDENTIAL DEVELOPMENT**  
**CHINBURG DEVELOPMENT**  
**686 MAPLEWOOD AVE.**  
**PORTSMOUTH, N.H.**

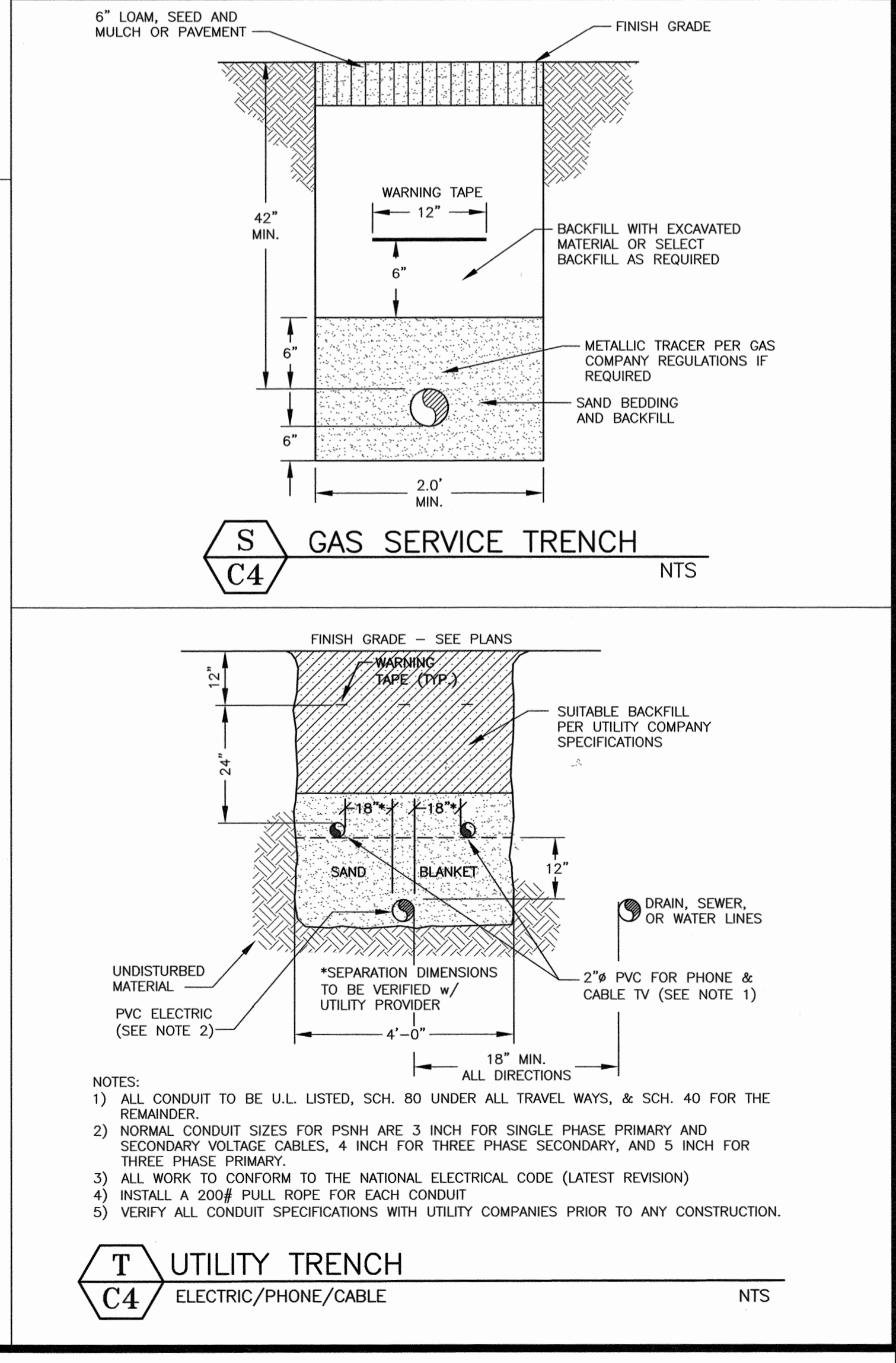
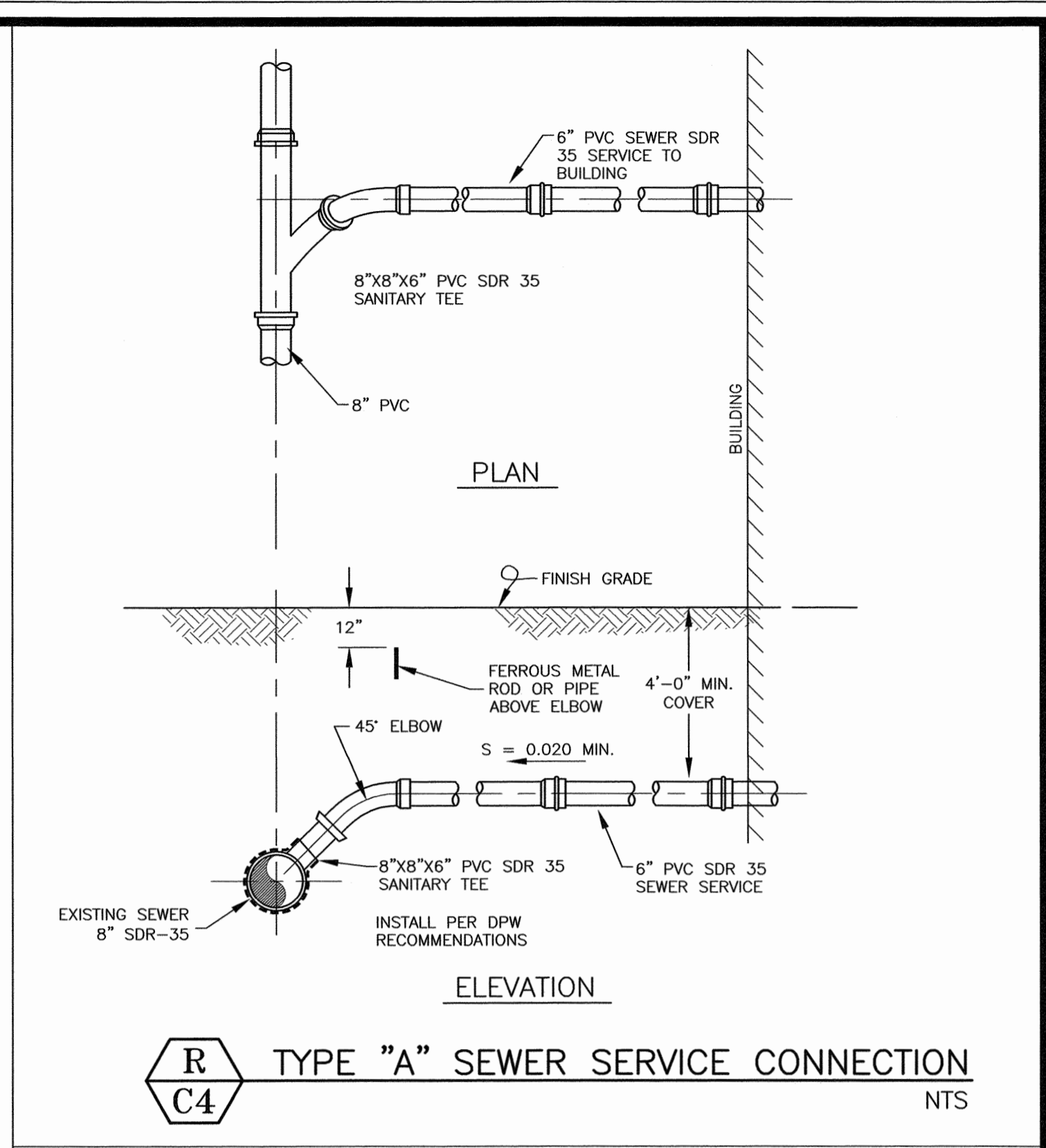
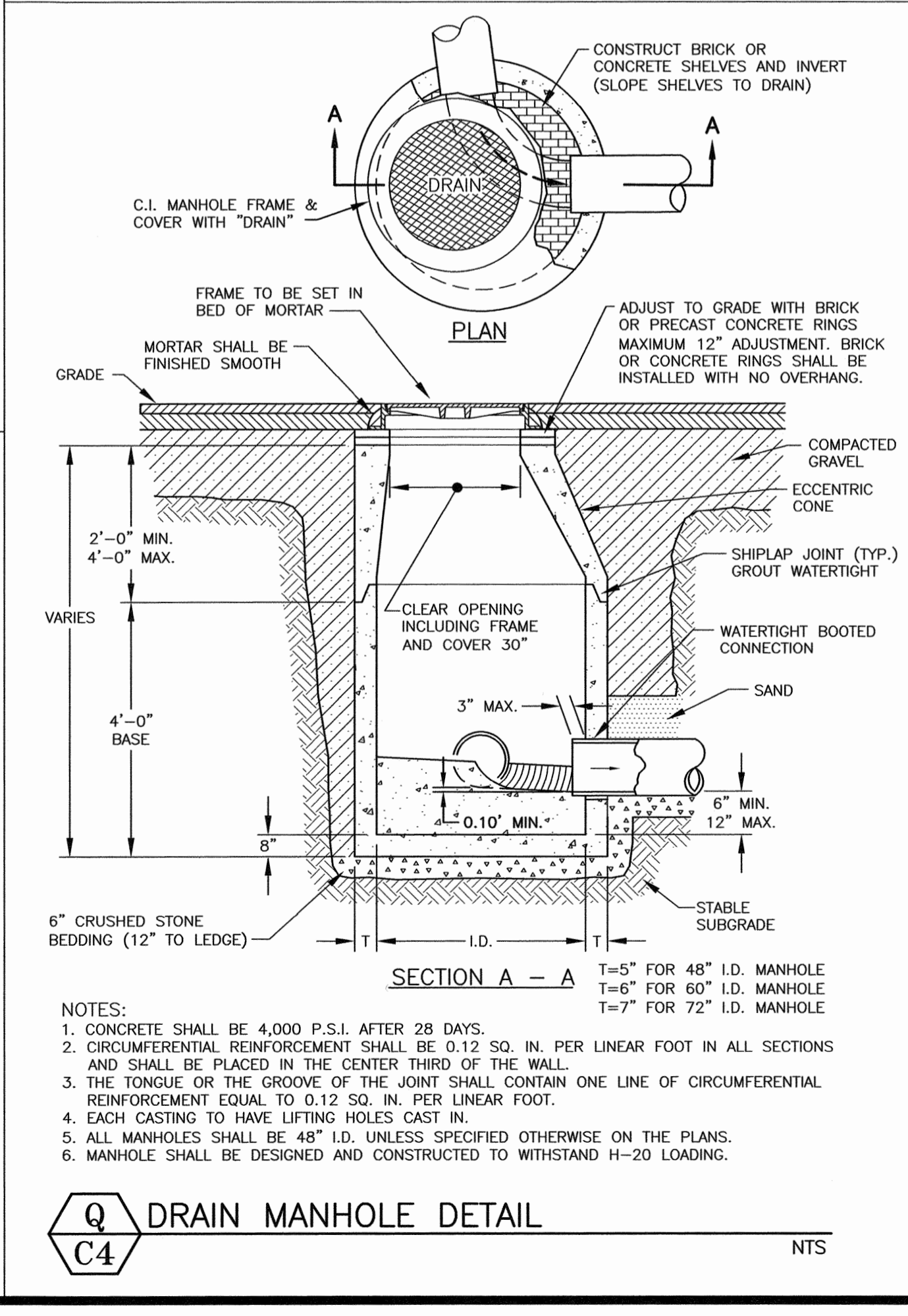
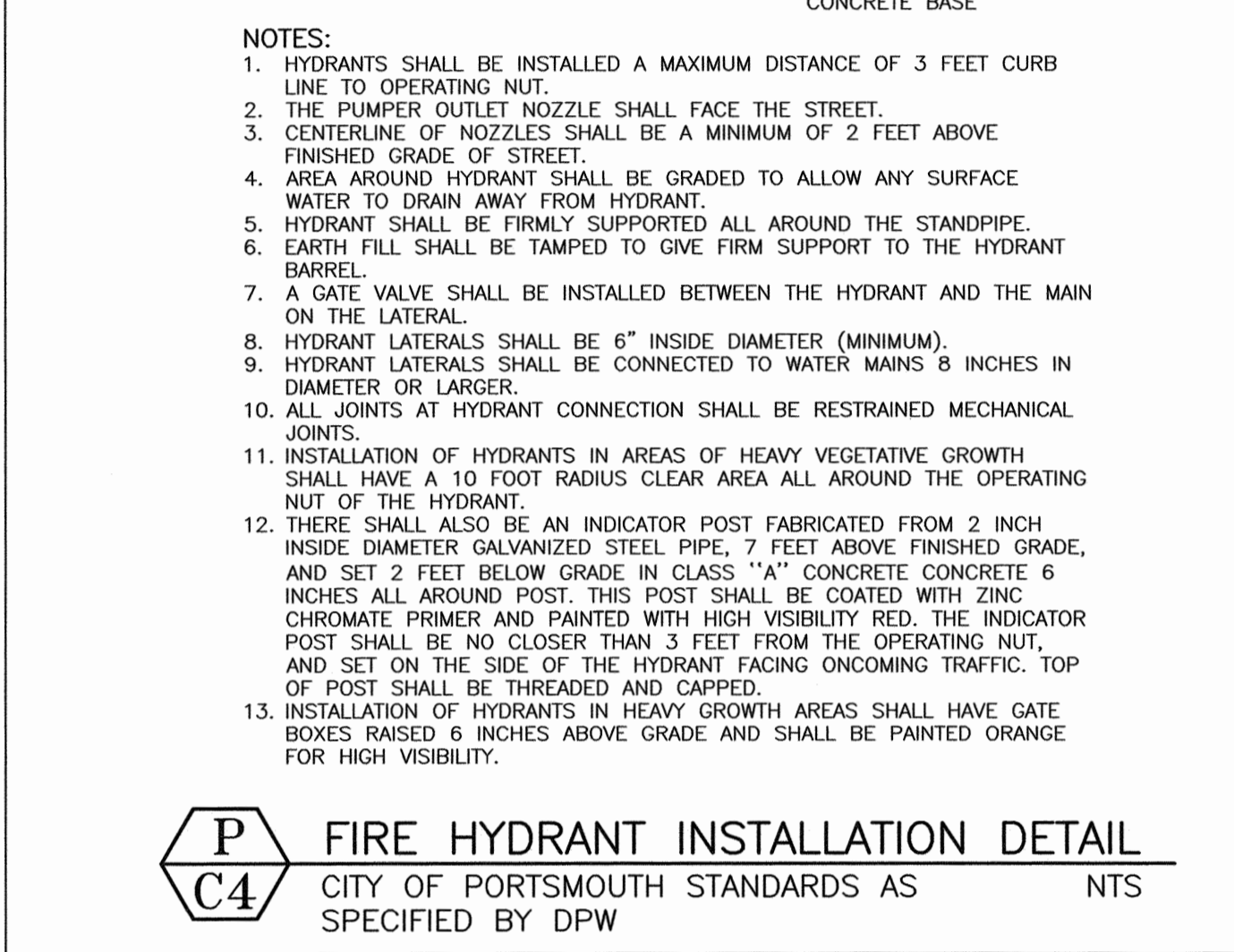
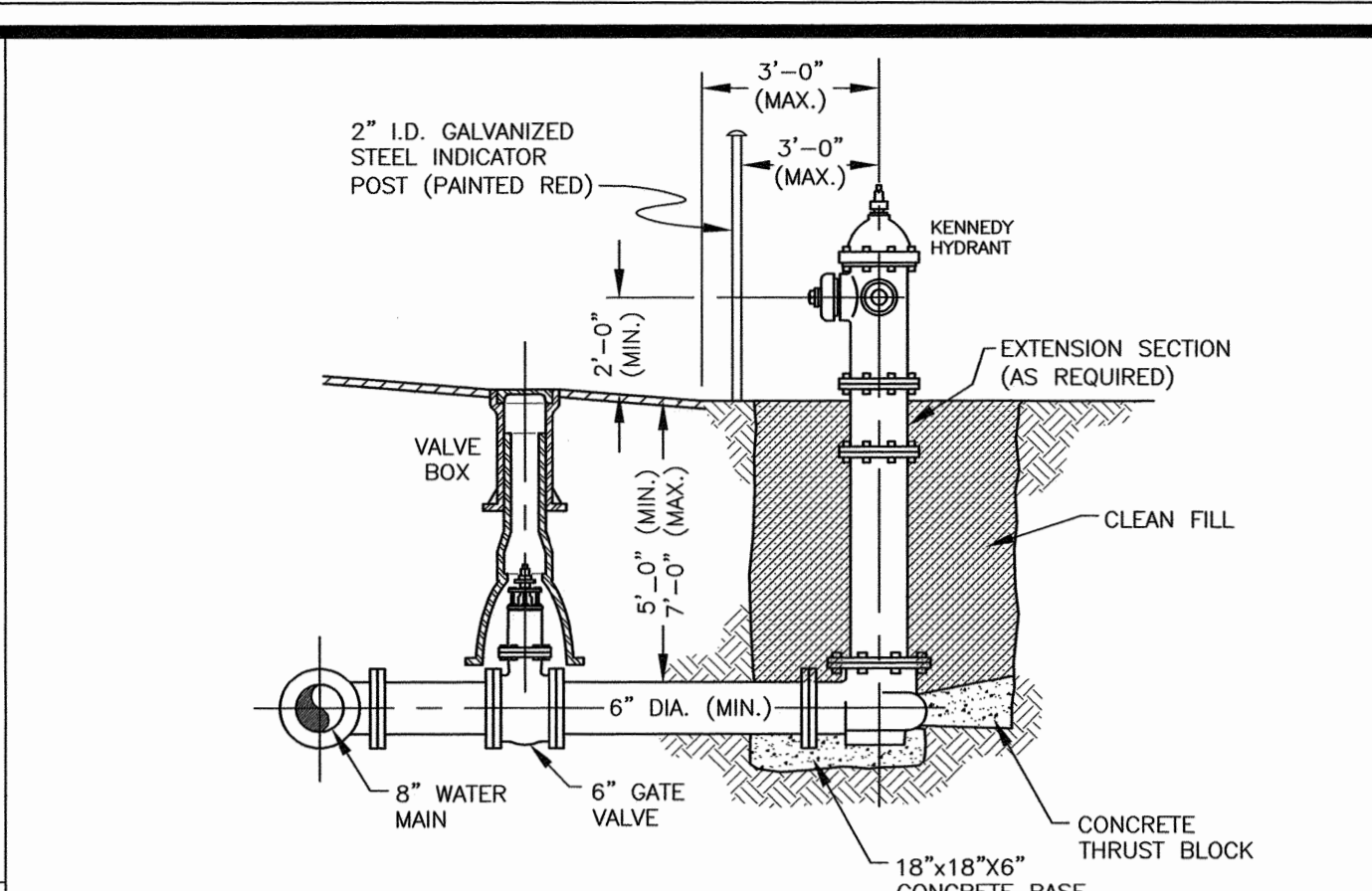
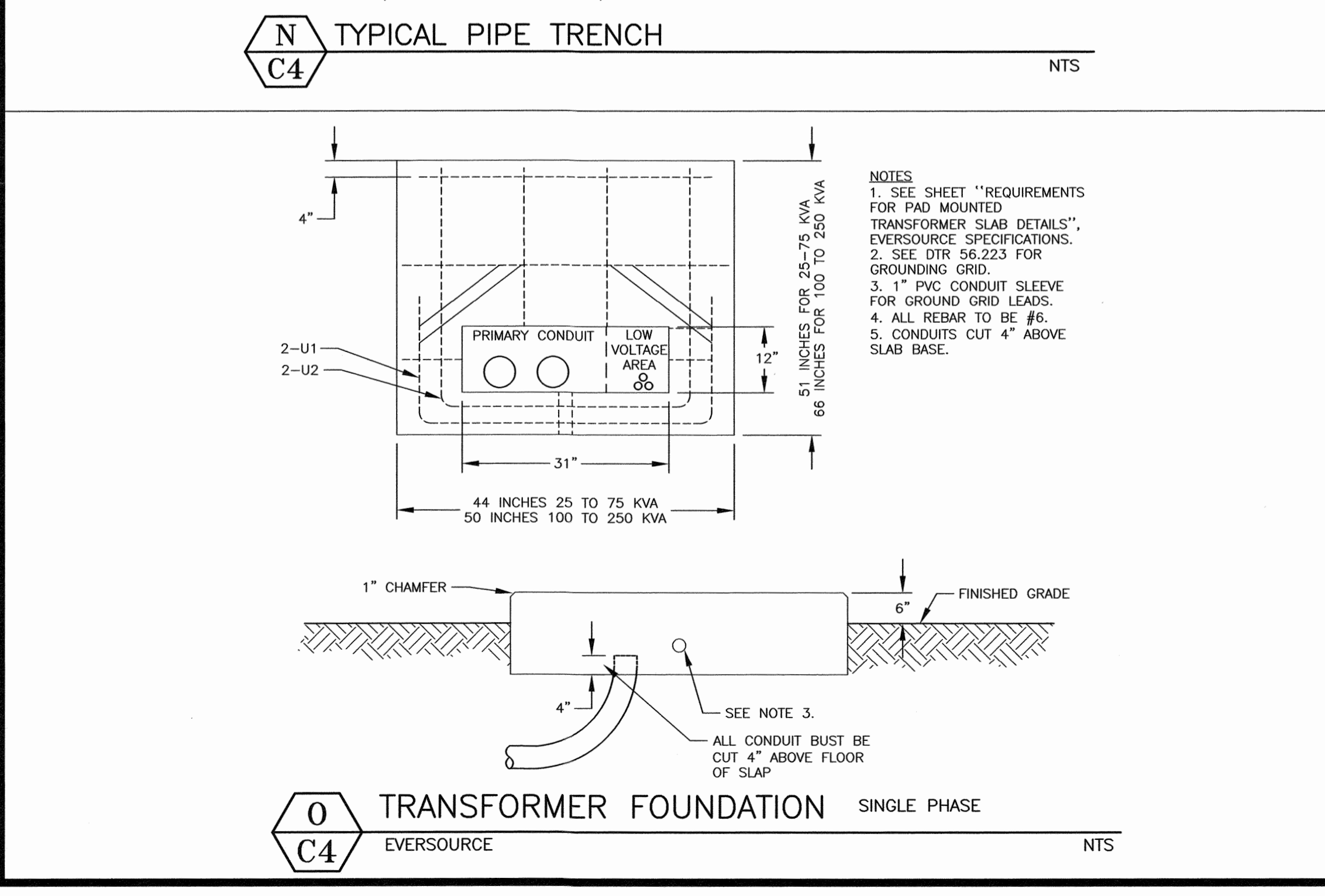
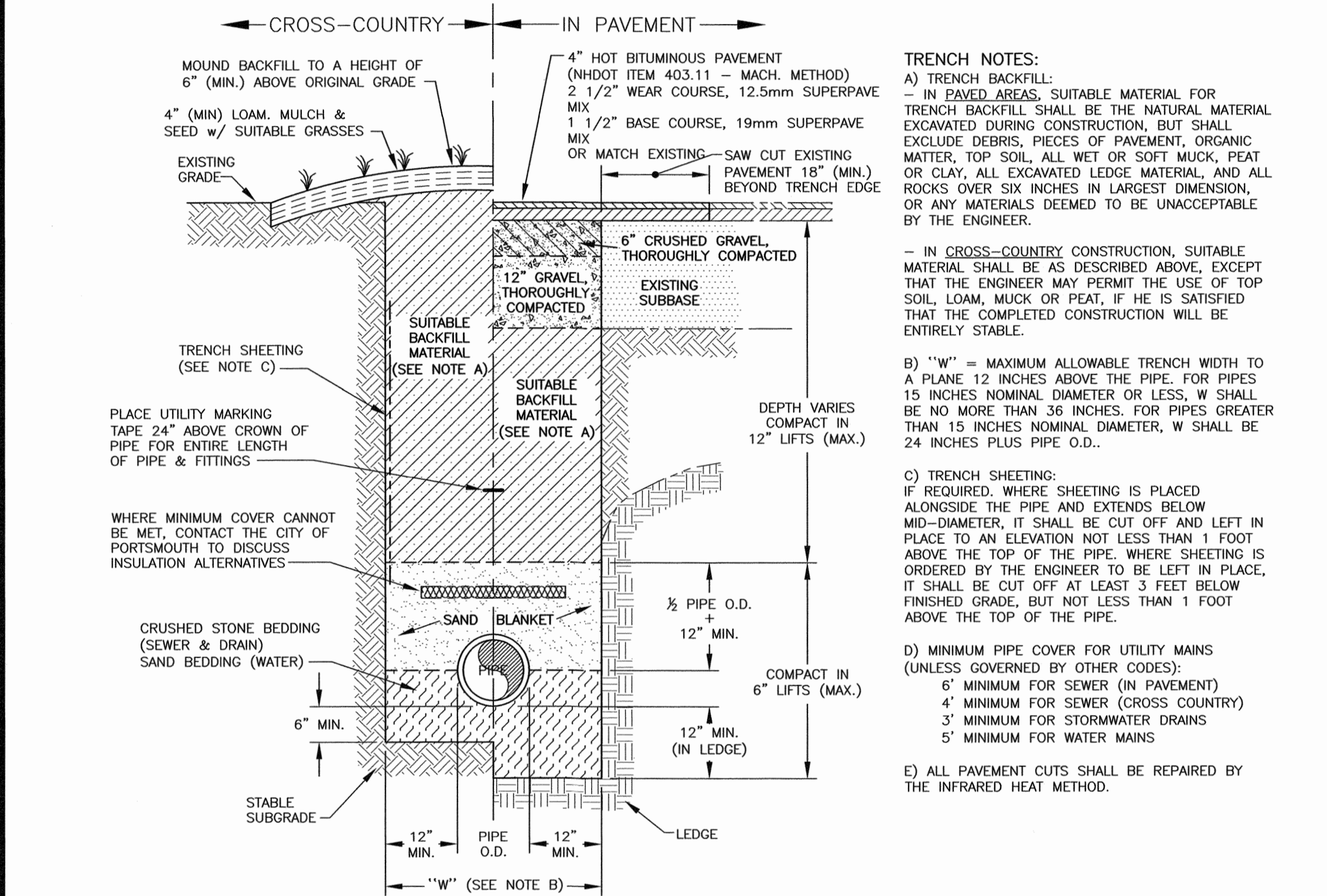
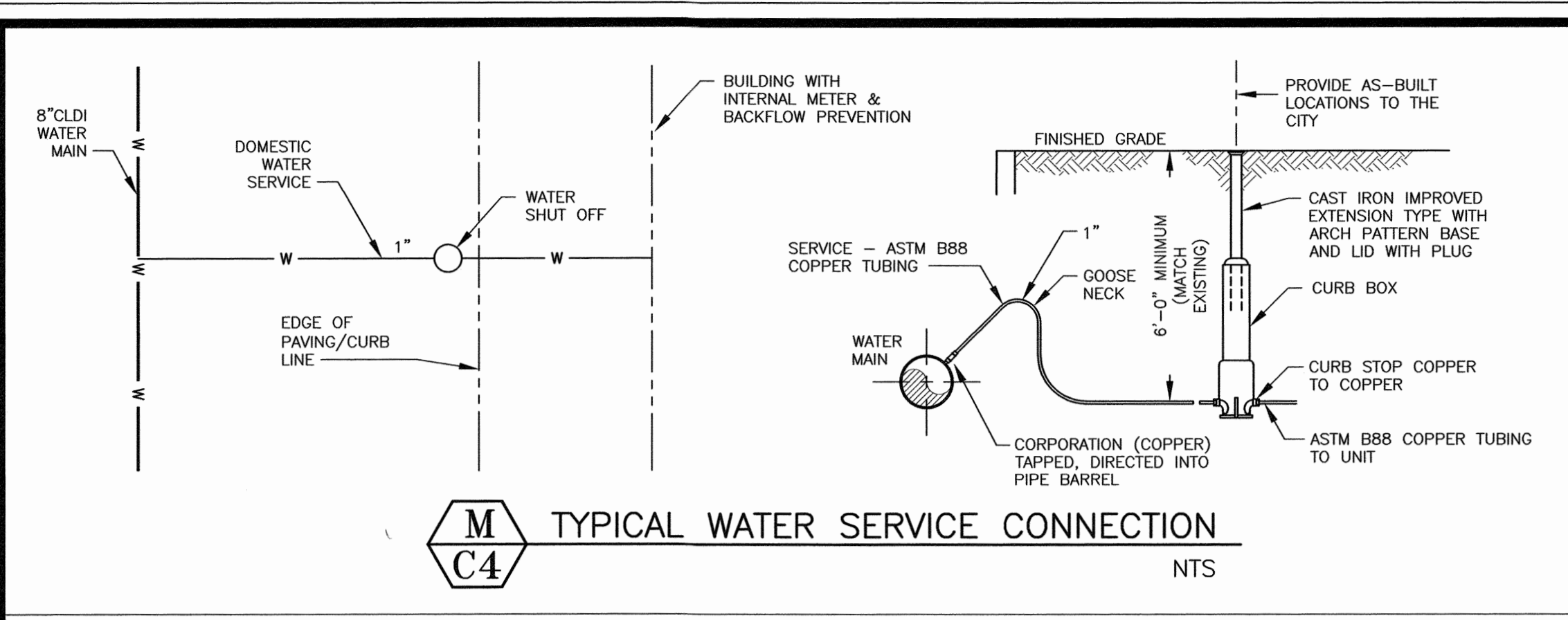
NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	10/3/23
REVISIONS		



SCALE AS NOTED      OCTOBER 2023

**DETAILS**      **D2**





**NOTES:**

- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) ALL WATER LINE INSTALLATION WORK SHALL BE TO CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS. DETAILS MAY OR MAY NOT BE UP-TO-DATE.

**RESIDENTIAL DEVELOPMENT  
CHINBURG DEVELOPMENT  
686 MAPLEWOOD AVE.  
PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	10/3/23
NO.	DESCRIPTION	DATE
REVISIONS		

SCALE AS NOTED      OCTOBER 2023

DETAILS      **D3**

2360

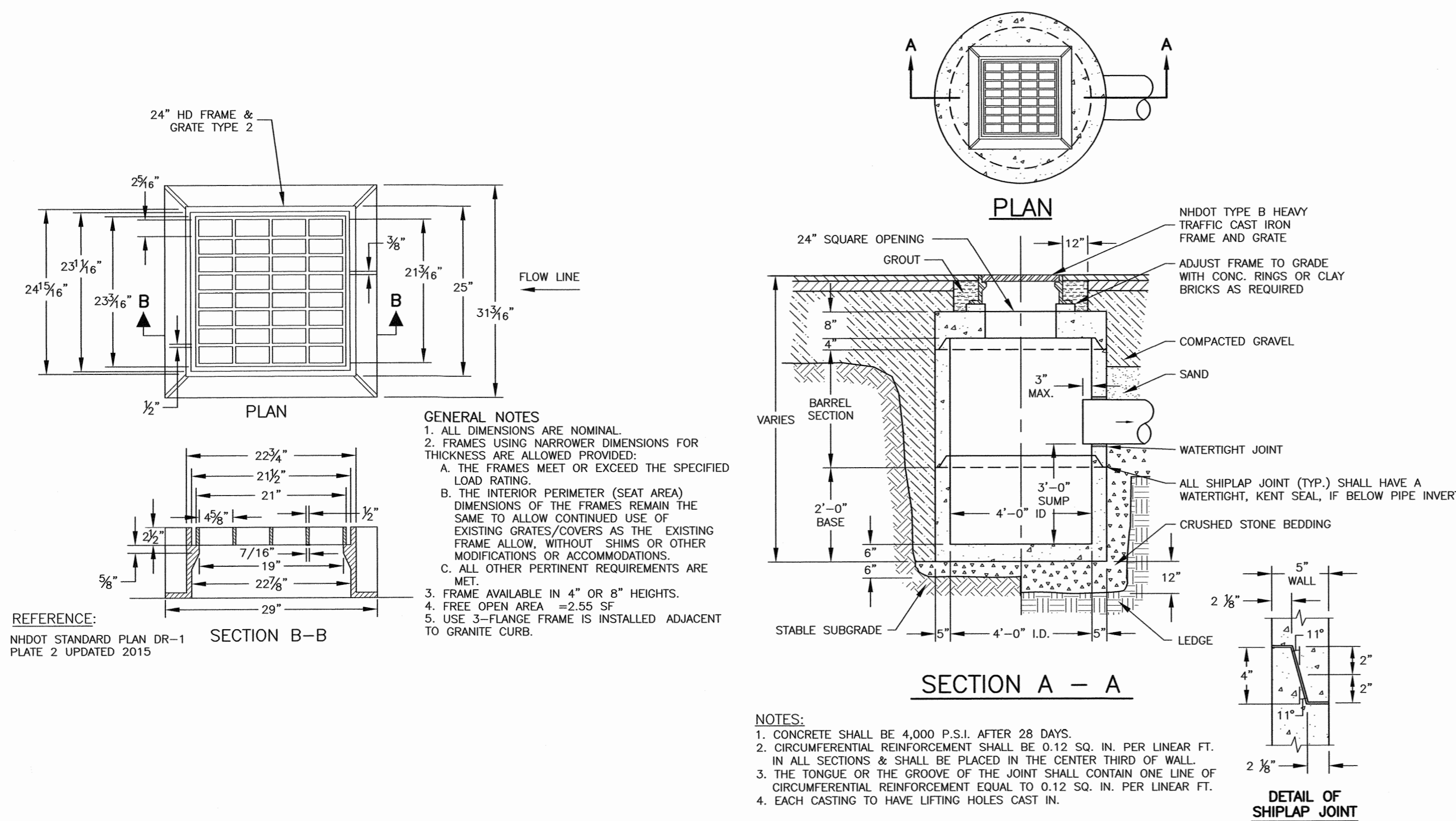


**NOTES:**

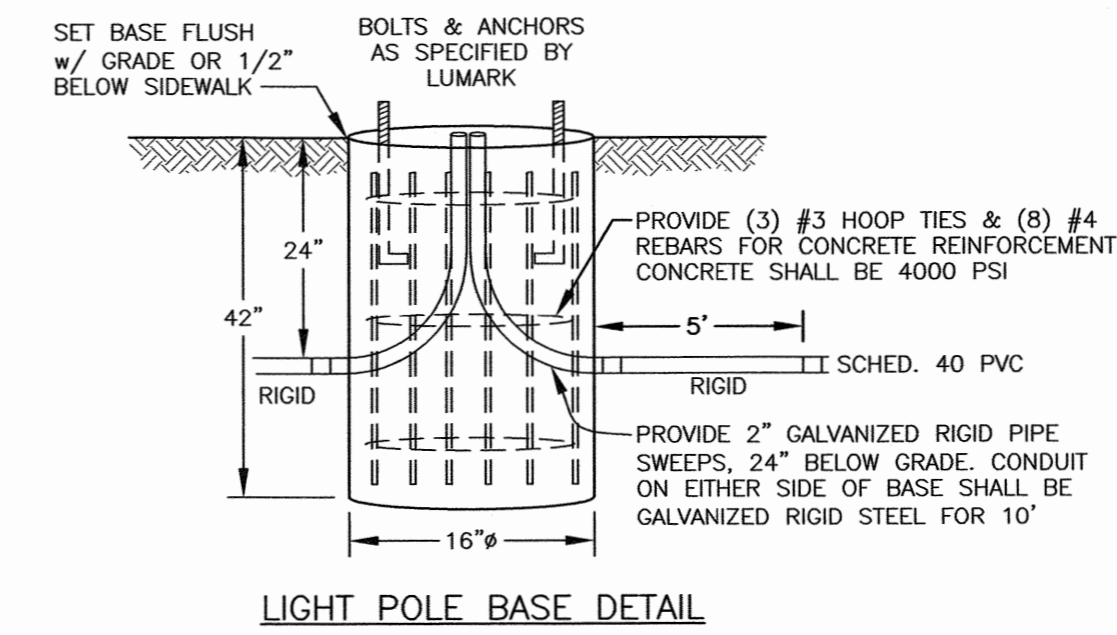
1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

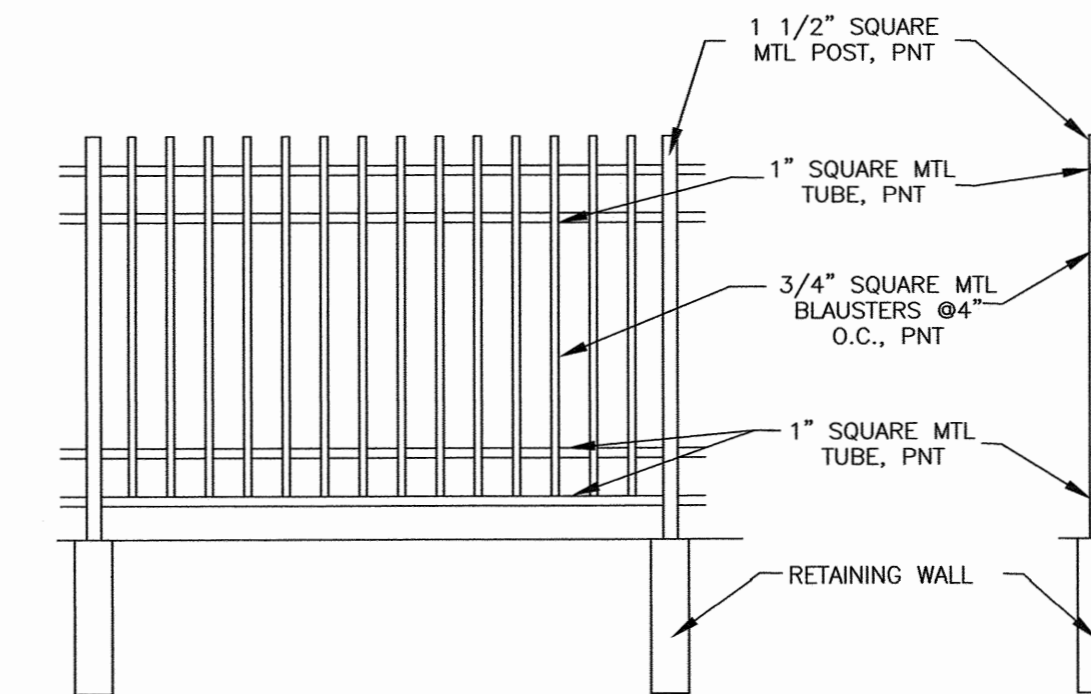
3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



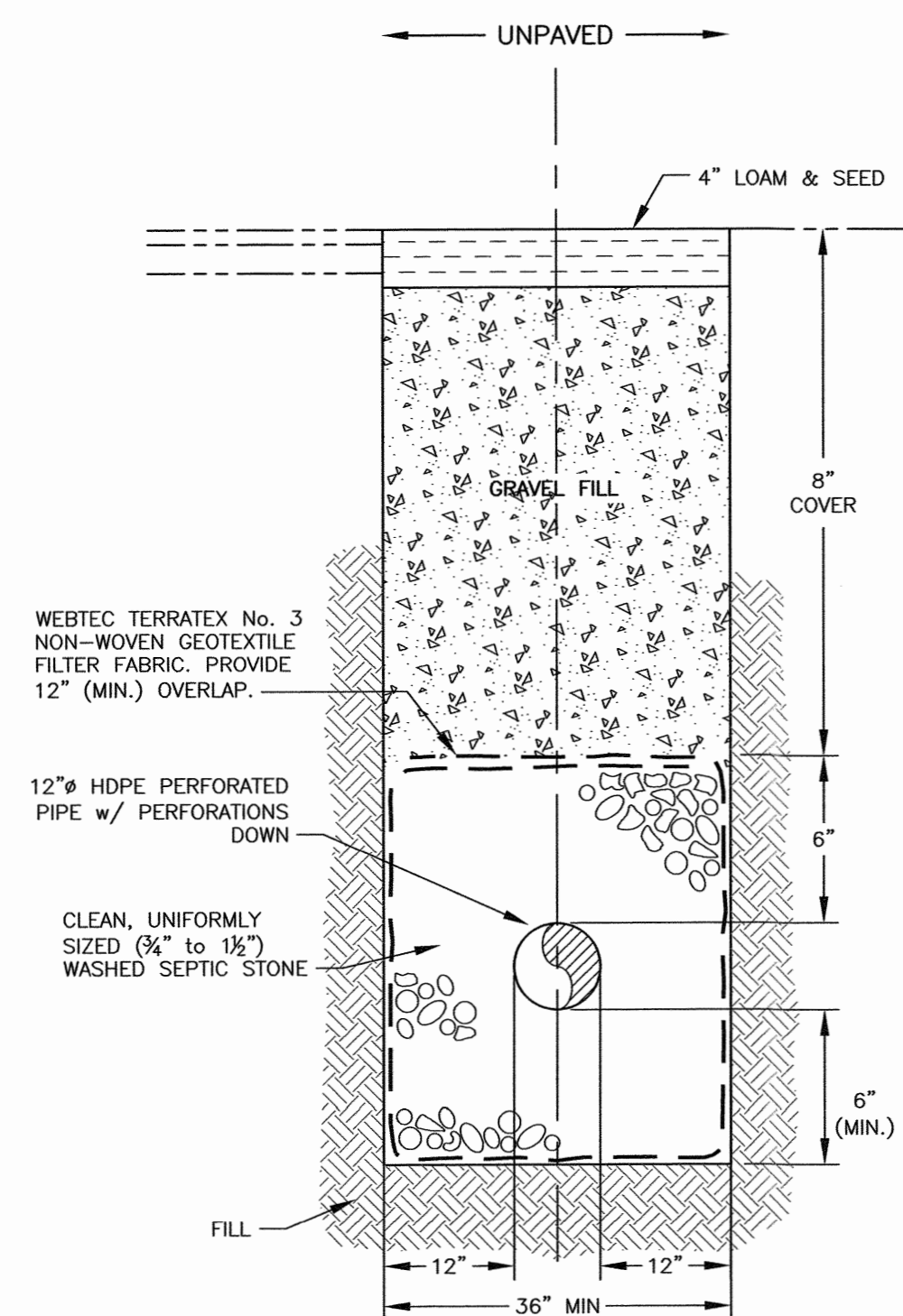
**U** NHDOT GRATE TYPE B & CATCH BASIN  
EJPRESKOTT, INC. NTS



**V** LIGHT POLE BASE DETAILS  
C2 NTS



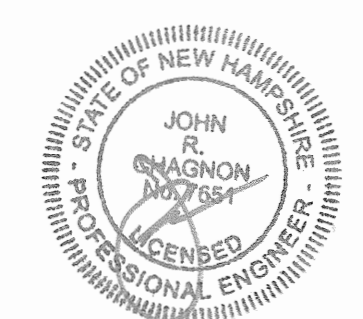
**W** METAL FENCE DETAILS  
C2 TOP OF RETAINING WALL NTS



**X** INFILTRATION PIPE DETAIL  
C3 NTS

RESIDENTIAL DEVELOPMENT  
CHINBURG DEVELOPMENT  
686 MAPLEWOOD AVE.  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	10/3/23
REVISIONS		



AS NOTED OCTOBER 2023

DETAILS

D4



REVISIONS:

**CHINBURG PROPERTIES, INC.**  
 686 MAPLEWOOD AVENUE  
 PORTSMOUTH, NH

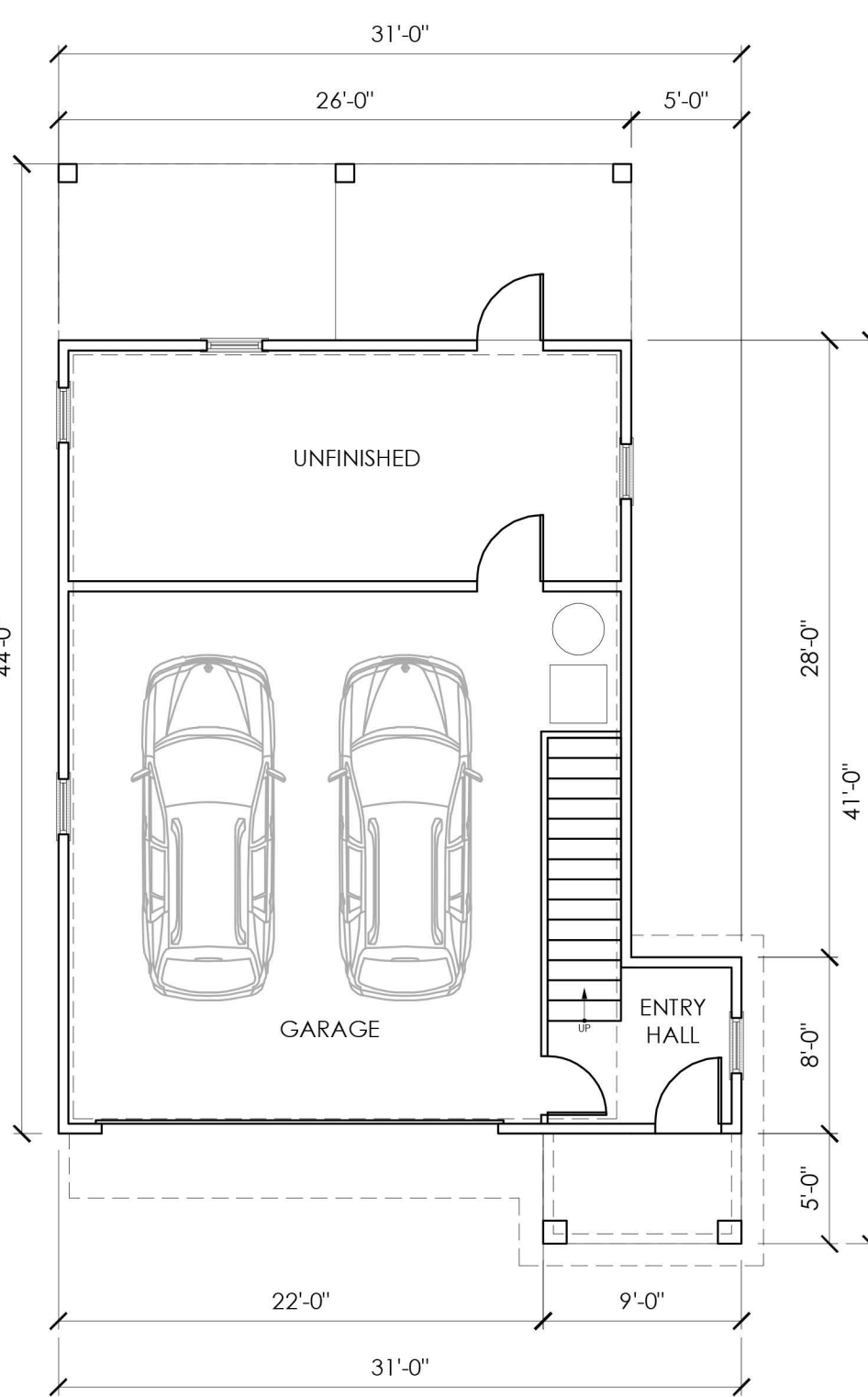


**CJ ARCHITECTS**  
 233 VAUGHAN STREET  
 SUITE 101  
 PORTSMOUTH, NH 03801  
 (603) 431-2808  
 www.cjarchitects.net

FLOOR  
 PLANS  
 &  
 ELEVATIONS

DATE:	10/3/23
DRAWN BY:	RDL
APPROVED BY:	CJG
SCALE:	1/8" = 1'-0"
JOB NUMBER:	22303

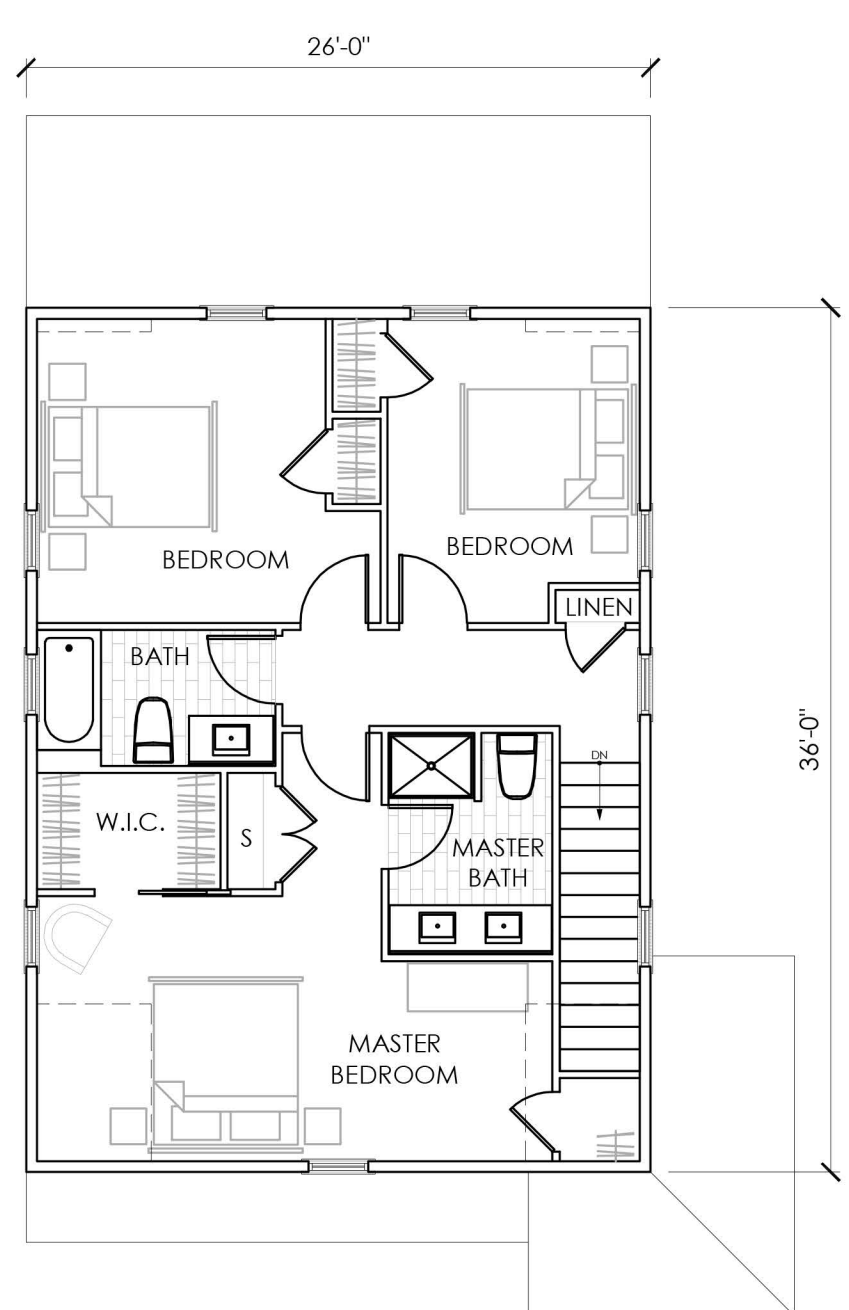
**A1**



**LOWER LEVEL PLAN**  
 1/8" = 1'-0"



**FIRST FLOOR PLAN**  
 1/8" = 1'-0"



**SECOND FLOOR PLAN**  
 1/8" = 1'-0"



**FRONT ELEVATION**  
 1/8" = 1'-0"



**RIGHT ELEVATION**  
 1/8" = 1'-0"



**BACK ELEVATION**  
 1/8" = 1'-0"



**LEFT ELEVATION**  
 1/8" = 1'-0"

NOT FOR CONSTRUCTION