SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE PORTSMOUTH, NEW HAMPSHIRE

WORK SESSION

Conference Room A City Hall, Municipal Complex, 1 Junkins Avenue

2:00 PM August 8, 2023

AGENDA

2:00 PM 360 Corporate Drive

Site Plan Approval

Pease Development Authority, Owner Allen & Major Associates Inc, Engineer

(LUTW-23-5)

2:30 PM 0 Shearwater Drive

Site Plan & Subdivision Approval

Bantry Bay Associates, Owner Tighe & Bond Engineer

(LUTW-23-6)

https://us06web.zoom.us/webinar/register/WN jdbc5f 2TA- bUGYZcm-hQ

DR. ALEX SLOCUM

360 CORPORATE DR. PORTSMOUTH . NH 03801

| The continue of the continue | | Olvico III, IV | | | |
|--|--|--|--|--|--|
| SCOPE OF WORK - Control Contr | NOTES B 1. ALL FIXTURES AND ACCESSORIES SHALL BE MOUNTED IN INTERIOR | BUILDING CODES LICABLE BUILDING CODES RNATIONAL BUILDING CODE 2018 (IBC) SHEET N GO-0 | IO. DRAWING NAME | | DESIGN > BUILD 9550 W.Higgins Rd. 170 |
| DRAFTING SYMBOLS LOCATION MAP PROJECT RENDERING | ACCORDACE WITH ALL CITY / VILLAGE ADDPTED ACCESSIBILITY REGULATIONS. 2. ALL THRESHOLDS MUST COMPLY WITH CITY/VILLAGE ADOPTED ACCESSIBILITY REGULATIONS. 1. EIR CODE OF WORK SCOPE OF WORK 1. ARCHITECTURAL SCOPE - 3-STORY TYPE II-B SLAB ON GRADE MEDICAL OFFICE BUILDING WITH NEW SITE WORK AND LANDSCAPING TO ACCOMODATE NEW BUILDING SITEMATOR AND LANDSCAPING TO ACCOMODATE NEW BUILDING NET TO SHAPE AND LANDSCAPING TO ACCOMODATE NEW BUILDING INTER COURT INTER CITY OF THE STAB ON GRADE MEDICAL OFFICE BUILDING WITH NEW SITE WORK AND LANDSCAPING TO ACCOMODATE NEW BUILDING INTER CITY OF THE STAB ON GRADE MEDICAL OFFICE BUILDING WITH NEW SITE WORK AND LANDSCAPING TO ACCOMODATE NEW BUILDING SECOPE OF WORK AND LANDSCAPING TO ACCOMODATE NEW BUILDING INTER CITY OF THE STAB ON GRADE MEDICAL OFFICE BUILDING WITH NEW SITE WORK AND LANDSCAPING TO ACCOMODATE NEW BUILDING SECOPE OF WORK AND LANDSCAPING TO ACCOMODATE NEW BUILDING SECOPE OF WORK AND LANDSCAPING TO ACCOMODATE NEW BUILDING SECOPE OF WORK AND LANDSCAPING TO ACCOMODATE NEW BUILDING | RNATIONAL ENERGY CONSERVATION CODE (IECC) RNATIONAL MECHANICAL CODE 2018 (IMC) RNATIONAL RESIDENTIAL CODE 2018 (IPC) RNATIONAL RESIDENTIAL CODE 2018 (IRC) A 70 TM — NATIONAL ELECTRICAL CODE® 2020 NDMENTS TE FIRE CODE" AS DEFINED IN NH RSA I VI-A, WHICH INCLUDES THE ADOPTION BY ERENCE OF THE LIFE SAFETY E NFPA 101 AND THE UNIFORM FIRE CODE A 1, 2018 EDITIONS. CONTRACTOR SHALL PROVIDE A COMPLETE IRE SUPPRESSION SYSTEM CONTRACTOR SHALL PROVIDE A COMPLETE IRE SUPPRESSION SYSTEM FROM THE 4" MAIN O BE THROUGHOUT THE TENANT SPACE. ALL IPRINKLER LINES TO BE IN COMPLIANCE WITH IFPA LOAD FIRE CODES. ALL SPRINKLERS TO IAVE CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE SHOP INAWINGS UNDER SEPARATE SUBMITTAL TO IAVE CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE SHOP INAWINGS UNDER SEPARATE SUBMITTAL TO IAVE CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE SHOP INAWINGS UNDER SEPARATE SUBMITTAL TO IAVE CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE SHOP INAWINGS UNDER SEPARATE SUBMITTAL TO IAVE CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE SHOP INAWINGS UNDER SEPARATE SUBMITTAL TO IAVE CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE SHOP INAWINGS UNDER SEPARATE SUBMITTAL TO IAVE CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE SHOP INAWINGS UNDER SEPARATE SUBMITTAL TO IAVE CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE SHOP INDEX CONCEALED COVER PLATE HEADS CONTRACTOR TO SUBMIT COMPLETE INTO AND | EXTERIOR RENDERINGS EXTERIOR RENDERINGS SITE DEVELOPMENT PLANS FOR SURGICAL CENTER EXISTING CONDITIONS PLAN SITE PREPARATION PLAN LAYOUT & MATERIALS PLAN GRADING & DRAINAGE PLAN UTILITIES PLAN & SEWER PROFILE TRUCK TURNING PLAN DETAILS DETAILS DETAILS DETAILS DETAILS LANDSCAPE PLAN LANDSCAPE DETAILS PHOTOMETRICS EXTERIOR SCHEDULES OVERALL EXTERIOR ELEVATIONS | 9550 W.HIGGINS RD. 170 ROSEMONT, IL 60018 OWNER: PEASE DEVELOPMENT AUTHORITY 360 CORPORATE DRIVE PORTSMOUTH, NH 03801 ARCHITECT: CIVIL ENGINEER / LANDSCAPE ARCHITECT: ALLEN & MAJOR ASSOCIATES, INC. 400 HARVEY ROAD MANCHESTER, NH 03103 (603) 627-5500 SURVEYOR: DOUCET SURVEY LLC 102 KENT PLACE NEWMARKET, NH 03857 UTILITY PROVIDERS: NATURAL GAS: UNITIL CORP. ELECTRIC: EVERSOURCE TELEPHONE: CONSOLIDATED | DISCLAIMER: All drawings are proprietary and the exclusive property of our company. This/These print(s) shall not be shared, copied or reproduced without expressed permission of our company. This print is loaned in confidence and subject to return upon request by our company. |
| | DRAFTING SYMBOLS | | LOCATION MAP | PROJECT RENDERING | |

DETAIL TITLE DESIGNATION SECTION CUT DETAIL DESIGNATION SHEET NUMBER. WHERE DRAWING IS LOCATED **ELEVATION DETAIL DESIGNATION** - SHEET NUMBER. WHERE DRAWING IS LOCATED CALLOUT DETAIL DESIGNATION

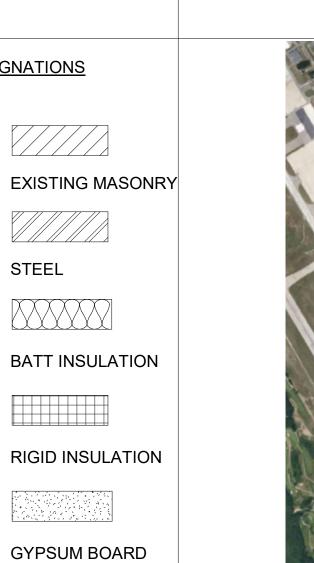
SHEET NUMBER. WHERE DRAWING IS LOCATED

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NORTH ARROW SPOT ELEVATION MARK WALL TYPE DESIGNATION GRANULAR FILL WINDOW TYPE DESIGNATION KEY NOTE TAG XX FINISH TAG **REVISION TAG** (DENOTATES SOMETHING LOCATED BELOW OR BEHIND)

(DENOTATES SOMETHING

LOCATED ABOVE OR IN FRONT)



MATERIAL DESIGNATIONS

C.M.U.





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COVER PAGE

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DR. ALEX SLOCUM

360 CORPORATE DR. PORTSMOUTH , NH 03801

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EXTERIOR RENDERINGS

Project number

GA0-1.0

Scale







9550 W.Higgins Rd. 170 Rosemont, IL 60018

DR. ALEX SLOCUM

360 CORPORATE DR. PORTSMOUTH , NH 03801

CLIENT APPROVAL

□ APPROVED AS SHOWN□ APPROVED WITH CHANGES

I UNDERSTAND ANY CHANGES HEREIN WILL RESULT IN ADDITIONAL COSTS AND TIME EXTENSIONS

SIGNATURE:

DA

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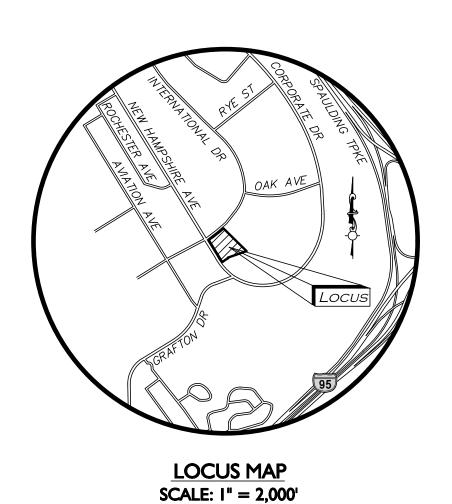
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EXTERIOR RENDERINGS

Project number

GA0-1.1

Scale



APPLICANT:
APEX DESIGN BUILD
9550 W. HIGGINS ROAD. SUITE 170
ROSEMONT, IL 60018

OWNER:
PEASE DEVELOPMENT AUTHORITY
360 CORPORATE DRIVE
PORTSMOUTH, NH 03801

ARCHITECT:

CIVIL ENGINEER / LANDSCAPE ARCHITECT ALLEN & MAJOR ASSOCIATES, INC. 400 HARVEY ROAD MANCHESTER, NH 03103 (603) 627-5500

SURVEYOR: DOUCET SURVEY LLC 102 KENT PLACE NEWMARKET, NH 03857

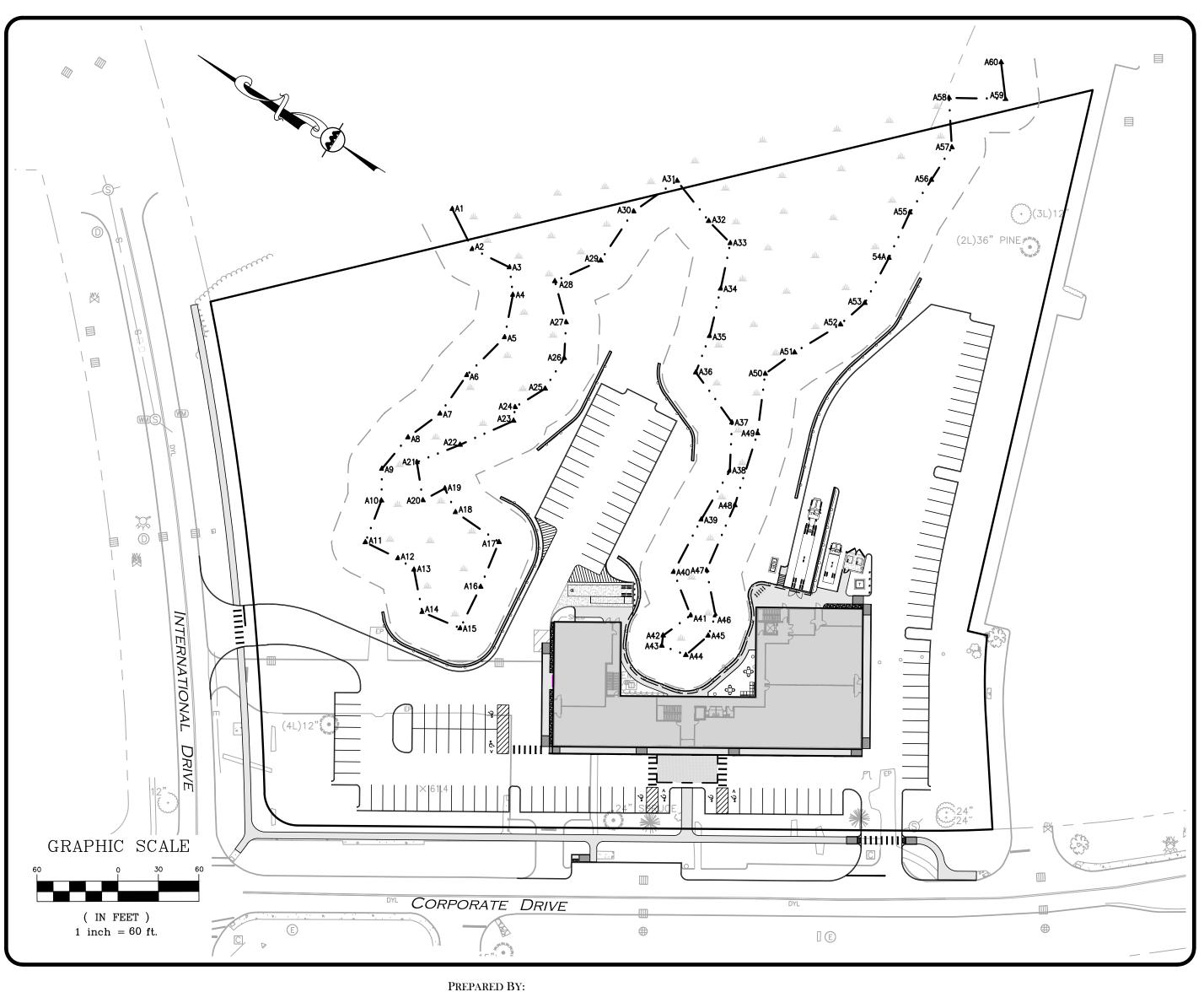
UTILITY PROVIDERS:

NATURAL GAS: UNITIL CORP. ELECTRIC: EVERSOURCE

TELEPHONE: CONSOLIDATED COMMUNICATIONS

SITE DEVELOPMENT PLANS FOR SURGICAL CENTER

360 CORPORATE DRIVE
TAX MAP 315, LOT 5
PORTSMOUTH, NH 03801



| LIST OF [| PRAWING | iS | |
|--------------------------------|----------------|--------|-------|
| DRAWING TITLE | SHEET NO. | ISSUED | REV 1 |
| EXISTING CONDITIONS PLAN | 1 OF 1 | TBD | - |
| SITE SPECIFIC SOIL MAPPING | C-100 | TBD | ı |
| SITE PREPARATION PLAN | C-101 | TBD | • |
| LAYOUT & MATERIALS PLAN | C-102 | TBD | - |
| GRADING & DRAINAGE PLAN | C-103 | TBD | • |
| UTILITIES PLAN & SEWER PROFILE | C-104 | TBD | - |
| TRUCK TURNING PLAN | C-105 | TBD | • |
| DETAILS | C-501 | TBD | • |
| DETAILS | C-502 | TBD | • |
| DETAILS | C-503 | TBD | • |
| DETAILS | C-504 | TBD | • |
| DETAILS | C-505 | TBD | • |
| LANDSCAPE PLAN | L-101 | TBD | - |
| LANDSCAPE NOTES | L-102 | TBD | - |
| LANDSCAPE DETAILS | L-501 | TBD | - |
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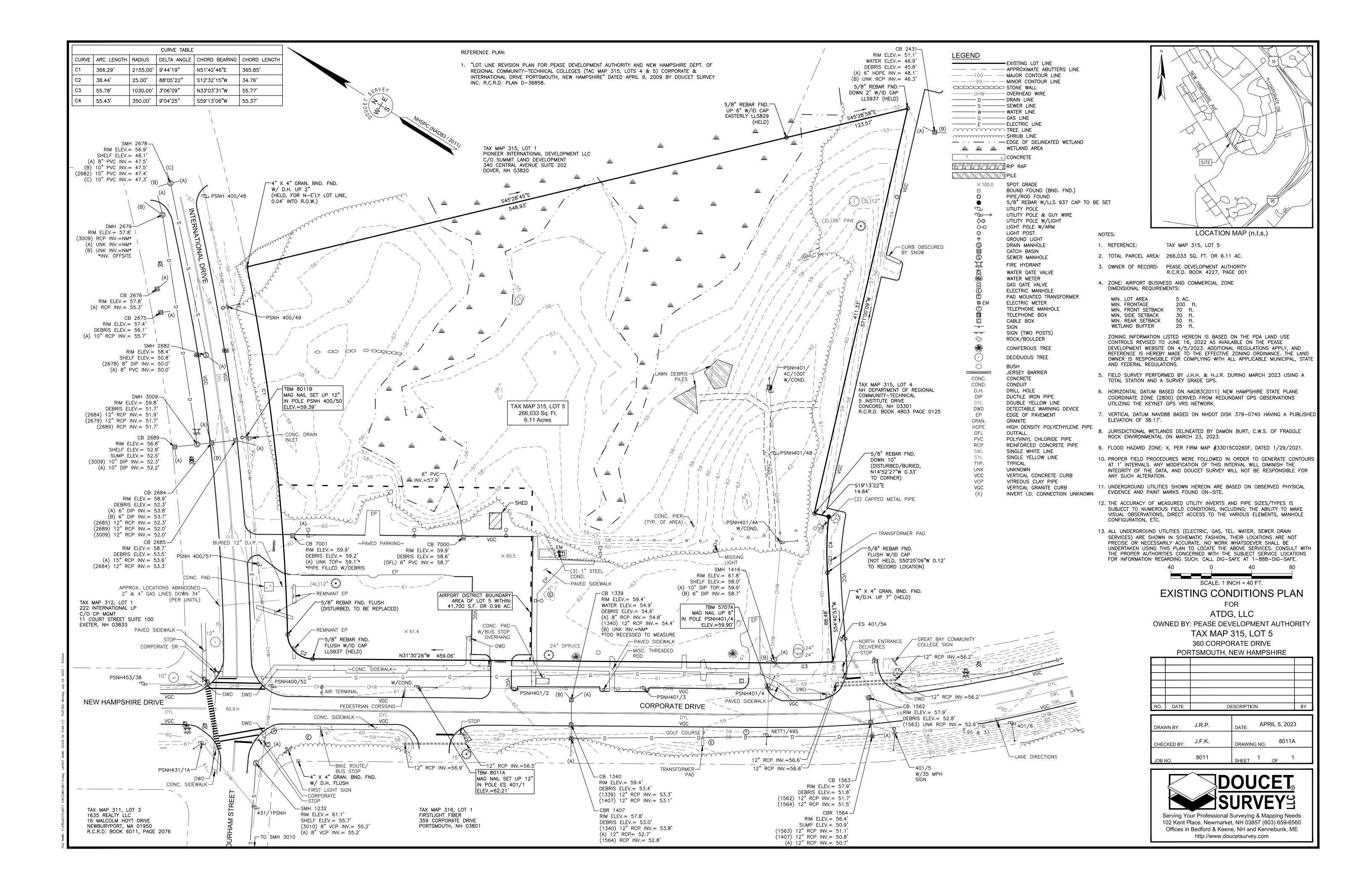
FOR MORE INFORMATION ABOUT THIS PLAN SET, CONTACT: BRIAN D. JONES AT ALLEN & MAJOR ASSC., INC. 603-627-5500



TEL: (603) 627-5500 FAX: (603) 627-5501 WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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REV DATE DESCRIPTION

APPICANT:

APEX DESIGN BUILD 9550 W. HIGGINS ROAD. SUITE 170 ROSEMONT, IL 60018

PROJECT

SURGICAL CENTER
360 CORPORATE DRIVE
TAX MAP 315, LOT 5
PORTSMOUTH, NH 03801

PROJECT NO. 3250-01 DATE: 07-24-23

SCALE: 1" = 30' DWG. NAME: C-3250-01.dwg

DESIGNED BY: BDJ CHECKED BY: RPC



ASSOCIATES, INC.

civil engineering ◆ land surveying
nvironmental consulting ◆ landscape architecture
w w w . a l l e n m a j o r . c o m
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

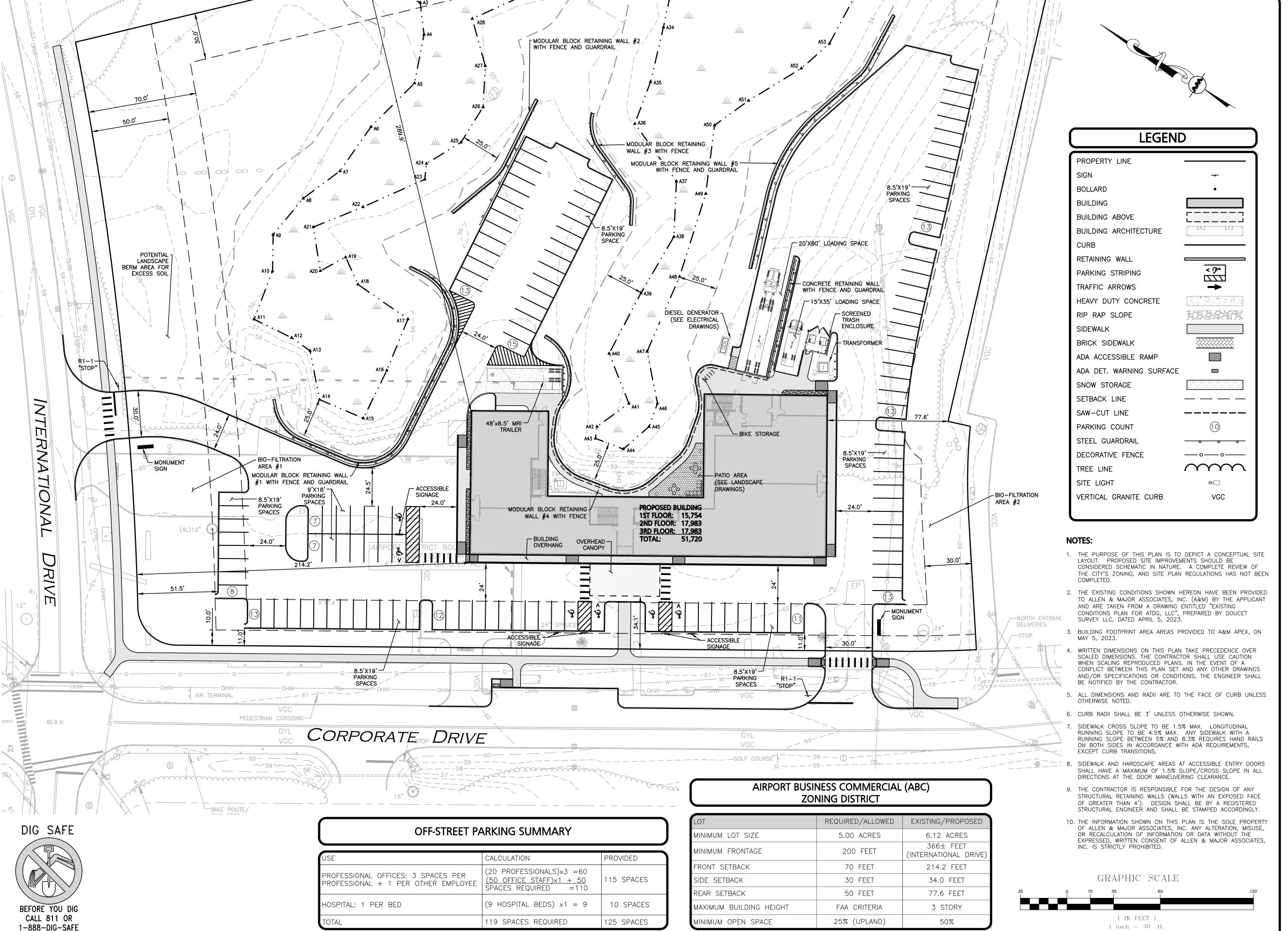
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SITE PREPARATION PLAN C-101

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APEX DESIGN BUILD 9550 W. HIGGINS ROAD. SUITE 170 **ROSEMONT, IL 60018**

SURGICAL CENTER 360 CORPORATE DRIVE **TAX MAP 315, LOT 5** PORTSMOUTH, NH 03801

PROJECT NO. 3250-01 DATE: 07-24-23 1" = 30' DWG. NAME: C-3250-01.dwg

DESIGNED BY: BDJ CHECKED BY:



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nvironmental consulting + landscape architecture www.allenmajor.com 400 HARVEY ROAD MANCHESTER, NH 03103

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DRAWING TITLE:

LAYOUT & MATERIALS PLAN

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C-102

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DATE DESCRIPTION

APPICANT:

APEX DESIGN BUILD 9550 W. HIGGINS ROAD. SUITE 170 ROSEMONT, IL 60018

SURGICAL CENTER 360 CORPORATE DRIVE **TAX MAP 315, LOT 5** PORTSMOUTH, NH 03801

PROJECT NO. 3250-01 DATE: 07-24-23 1" = 30' DWG. NAME: C-3250-01.dwg

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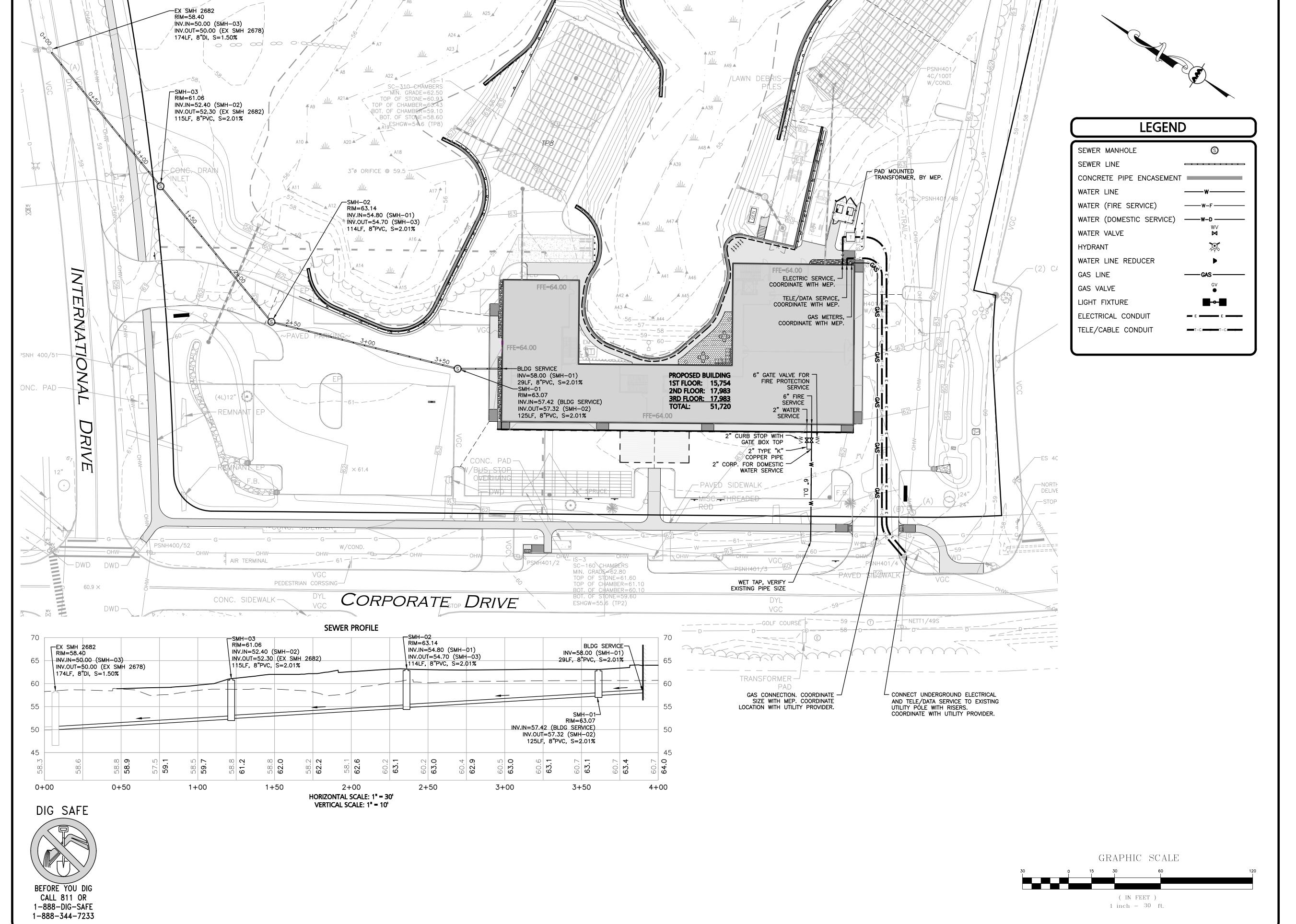
DRAWING TITLE:

GRADING & DRAINAGE PLAN

SHEET No.

C-103

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DEL DESCRIPTION

REV DATE DESCRIPTION
APPICANT:

APEX DESIGN BUILD 9550 W. HIGGINS ROAD. SUITE 170 ROSEMONT, IL 60018

PROJE

SURGICAL CENTER
360 CORPORATE DRIVE
TAX MAP 315, LOT 5
PORTSMOUTH, NH 03801

PROJECT NO. 3250-01 DATE: 07-24-23

SCALE: 1" = 30' DWG. NAME: C-3250-01.dwg

DESIGNED BY:

DE



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MANCHESTER, NH 03103

TEL: (603) 627-5500 FAX: (603) 627-5501

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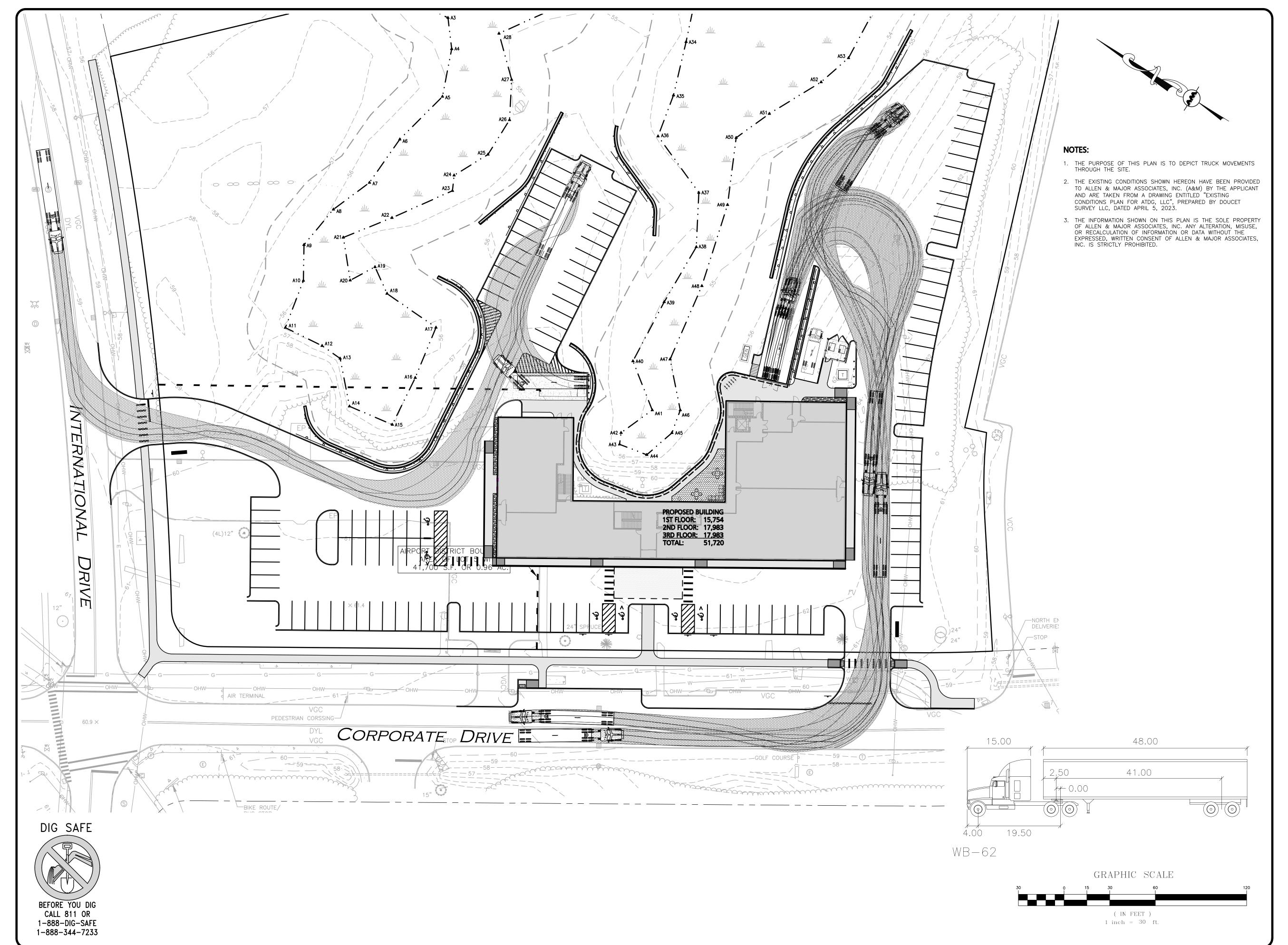
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UTILITIES PLAN &

SEWER PROFILE





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APEX DESIGN BUILD 9550 W. HIGGINS ROAD. SUITE 170 ROSEMONT, IL 60018

SURGICAL CENTER 360 CORPORATE DRIVE **TAX MAP 315, LOT 5** PORTSMOUTH, NH 03801

3250-01 DATE: 07-24-23 PROJECT NO.

1" = 30' DWG. NAME: C-3250-01.dwg

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TEL: (603) 627-5500 FAX: (603) 627-5501

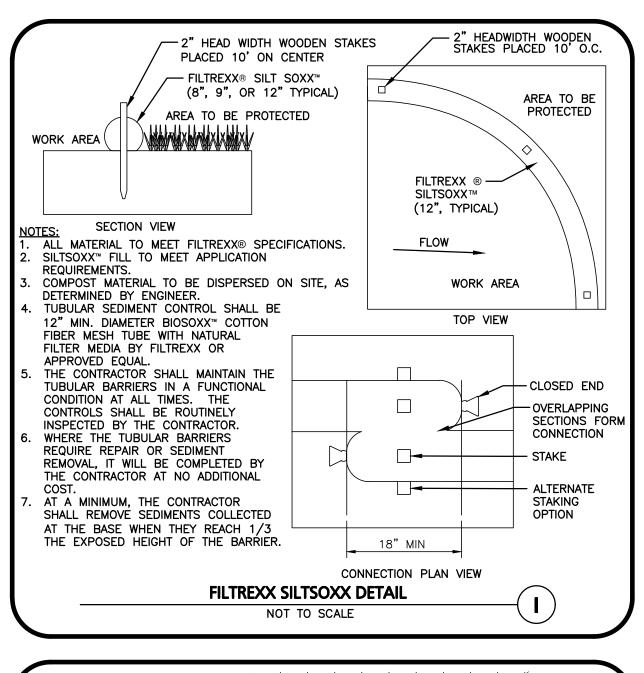
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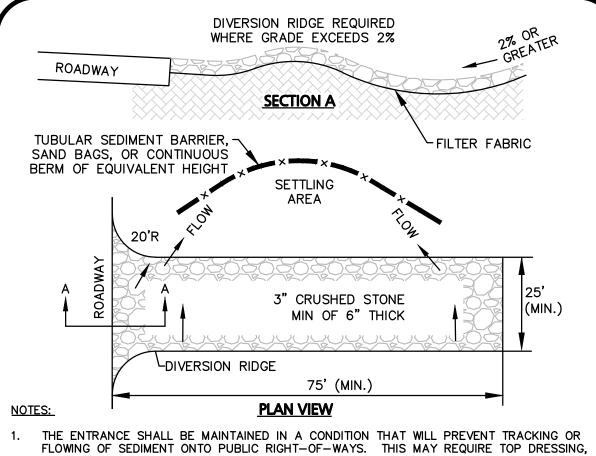
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SHEET No. TRUCK TURNING PLAN C-105

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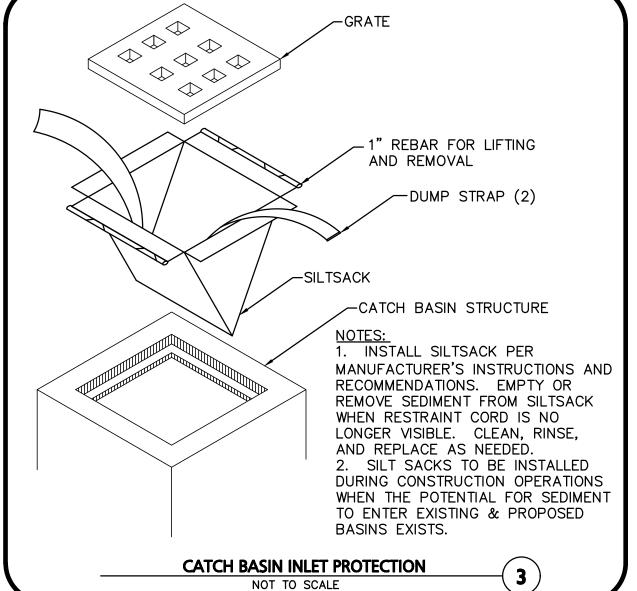


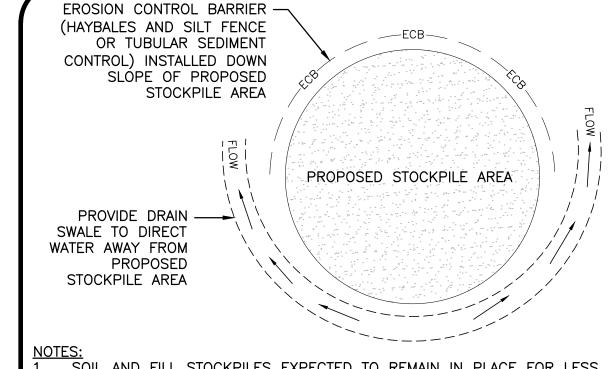
REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

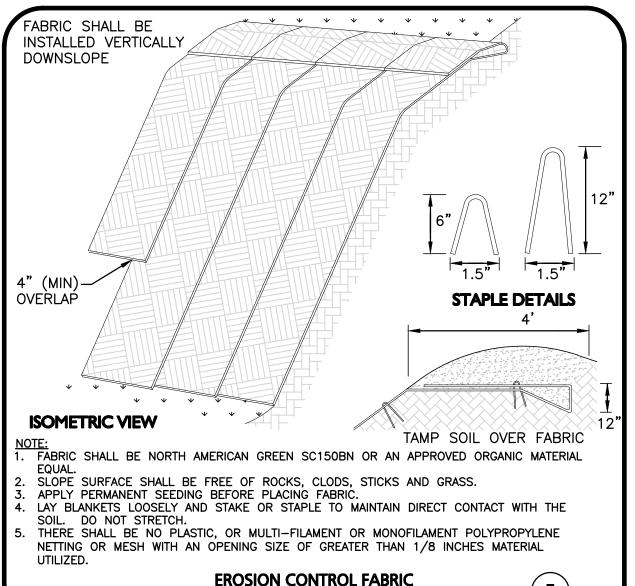




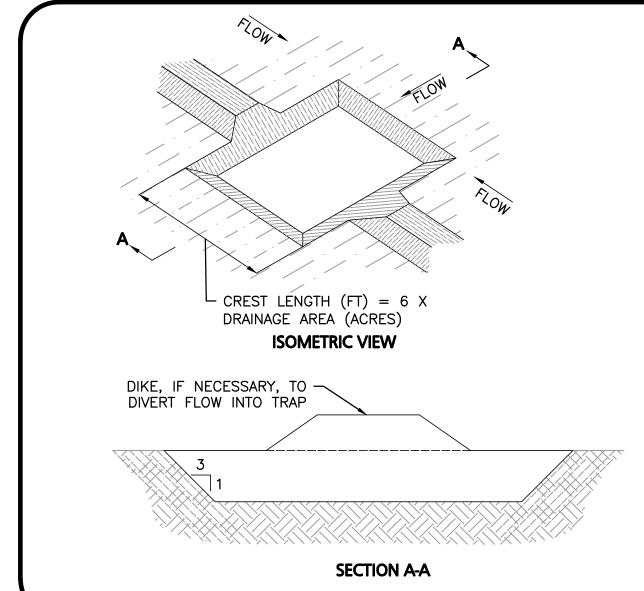
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

> STOCKPILE PROTECTION NOT TO SCALE



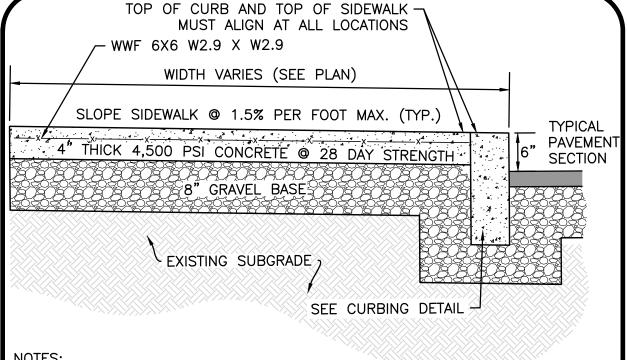
NOT TO SCALE



1. THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.

- 2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
- 3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- 4. THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR
- 5. THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
- 6. THE TRAP SHALL BE CLEANED WHEN 50% OF THE ORIGINAL VOLUME IS FILLED.
- 7. THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AN STABILIZED.

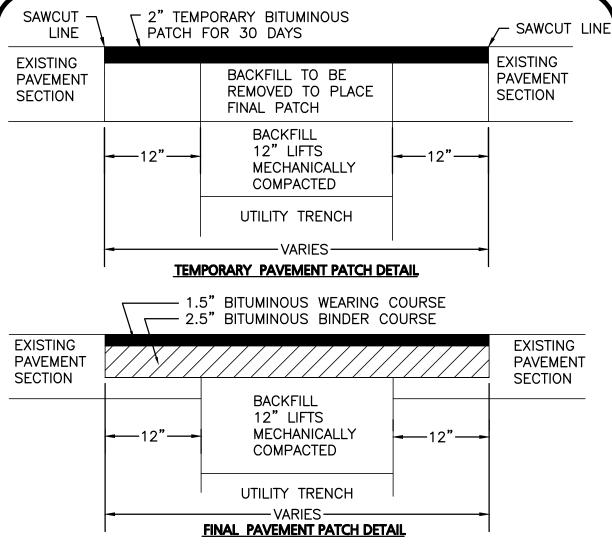
TEMPORARY EARTH OUTLET SEDIMENT TRAP NOT TO SCALE



NOTES:

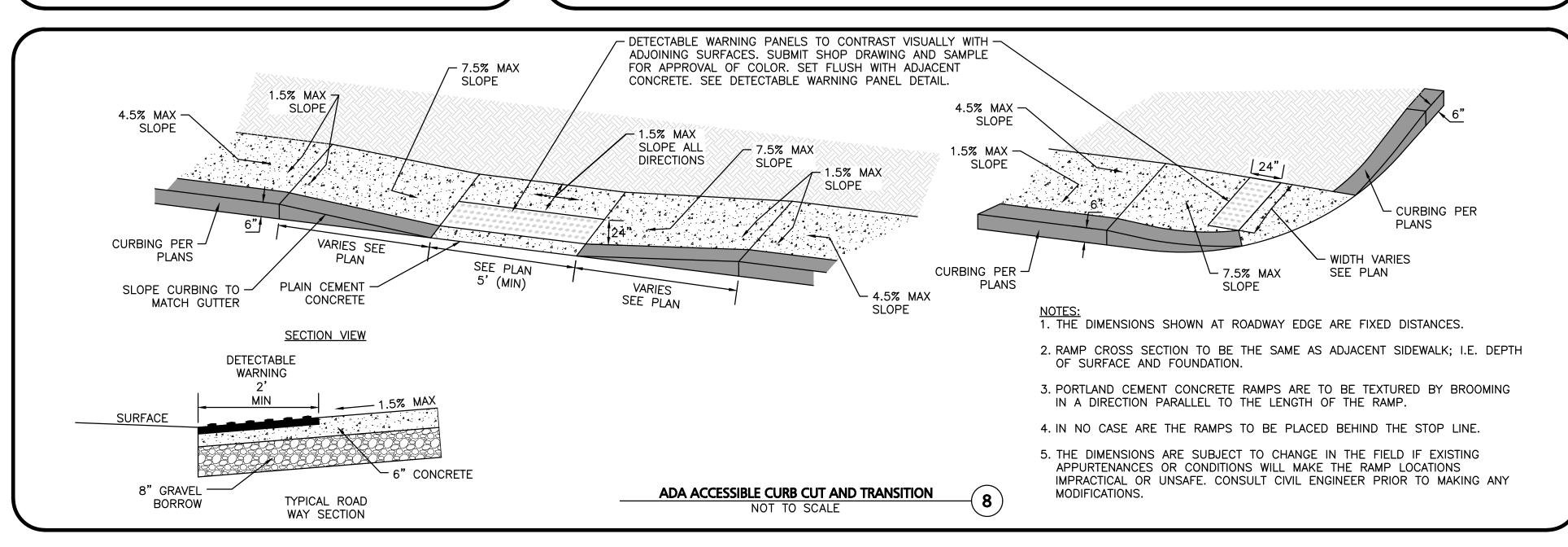
- SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER
- 2. TOOLED JOINT 6" FROM FACE OF CURB
- 3. SEE PLAN FOR ELEVATIONS AT CURB
- SIDEWALK CROSS SLOPE TO BE 1.5% MAX & SIDEWALK LONGITUDINAL SLOPE TO BE 4.5% MAX, TYP.

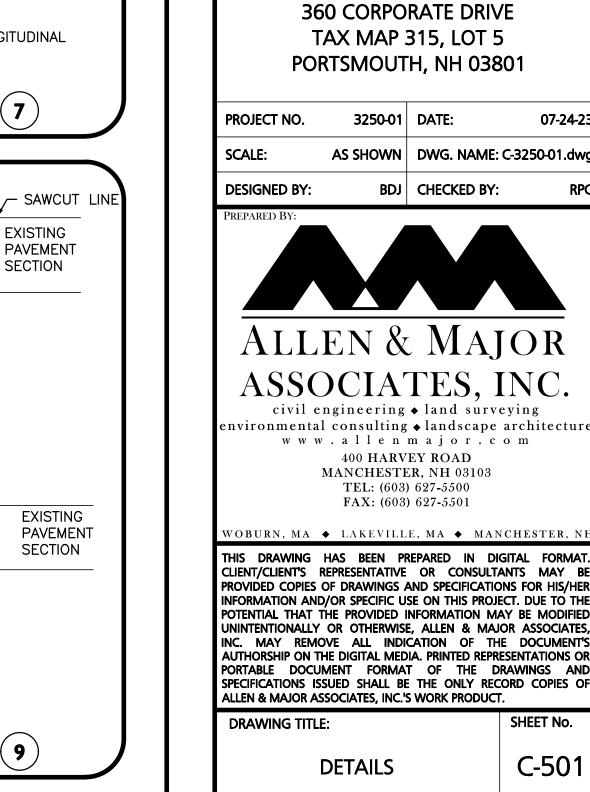
CONCRETE SIDEWALK WITH CURB NOT TO SCALE



PAVEMENT TRENCH PATCH

NOT TO SCALE





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PROFESSIONAL ENGINEER FOR

ALLEN & MAJOR ASSOCIATES, INC.

DATE DESCRIPTION

9550 W. HIGGINS ROAD. SUITE 170

SURGICAL CENTER

360 CORPORATE DRIVE

TAX MAP 315, LOT 5

PORTSMOUTH, NH 03801

3250-01 DATE:

ALLEN & MAJOR

ASSOCIATES, INC.

civil engineering • land surveying

nvironmental consulting + landscape architecture

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400 HARVEY ROAD

MANCHESTER, NH 03103

TEL: (603) 627-5500

FAX: (603) 627-5501

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AS SHOWN DWG. NAME: C-3250-01.dwg

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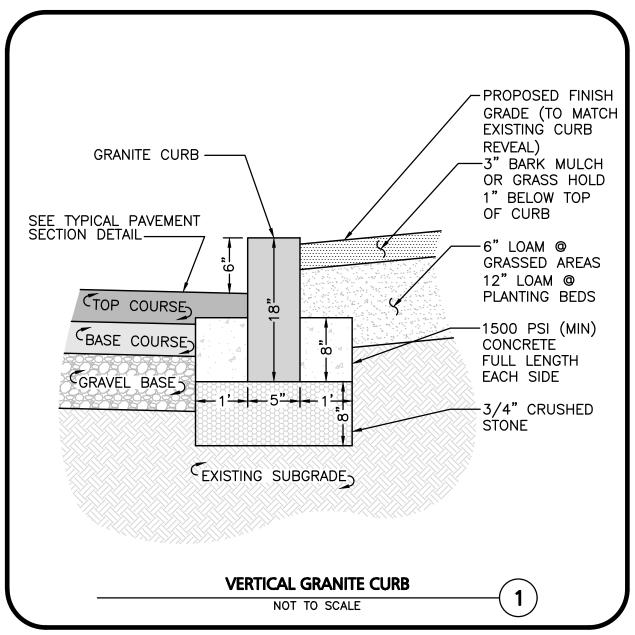
APEX DESIGN BUILD

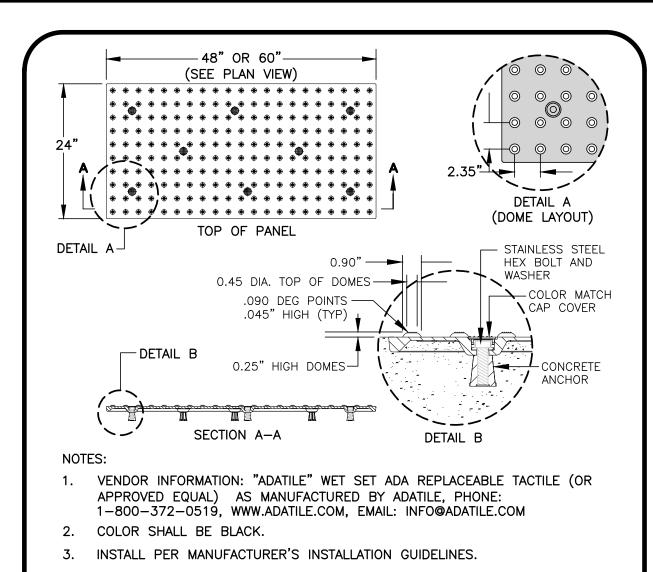
ROSEMONT, IL 60018

APPICANT:

PROJECT NO.

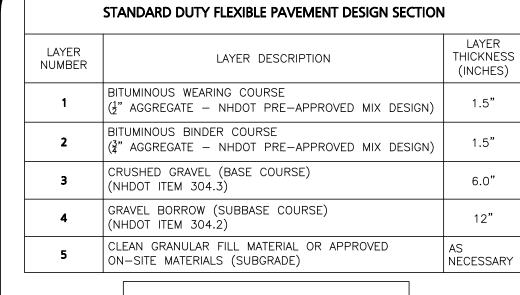
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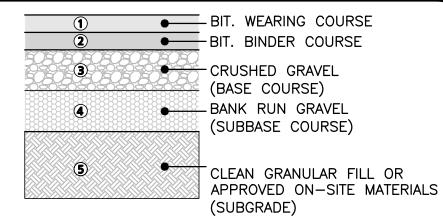


WET SET ADA REPLACEABLE TACTILE PANEL

NOT TO SCALE



| NHDOT GRADATION SPECIFICATION | | | | |
|-------------------------------|---------------------------|----------------|----------------------------|--|
| | PERCENT | PASSING B | Y WEIGHT | |
| SIEVE SIZE | CLEAN GRANULAR FILL | BASE COURSE | SELECT GRANULAR FILL | |
| 8" | 100 | 100 | 100 | |
| 3" | 70-100 | 100 | 70-100 | |
| <u>1</u> " | 40-100 | 40-80 | 40-90 | |
| No. 4 | 25-100 | 30-70 | 25-80 | |
| No. 10 | 15-95 | 20-60 | 15-70 | |
| No. 40 | 10-70 | 10-30 | 5-40 | |
| No. 200 | 0-15 | 3-10 | 0-12 | |

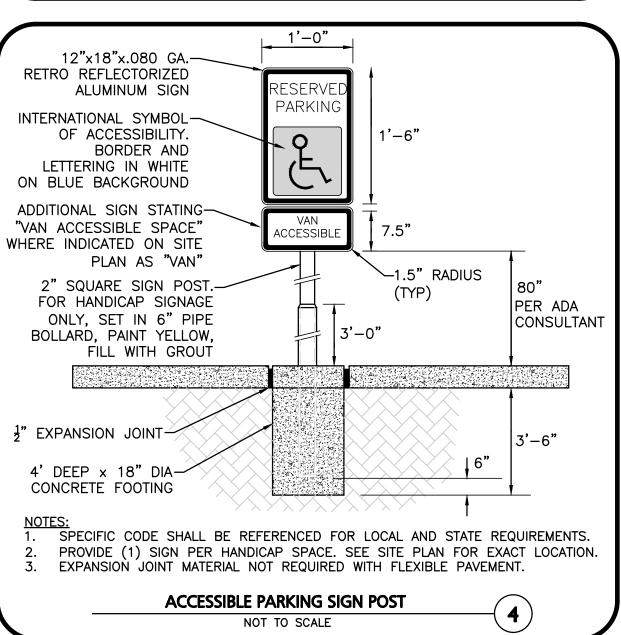


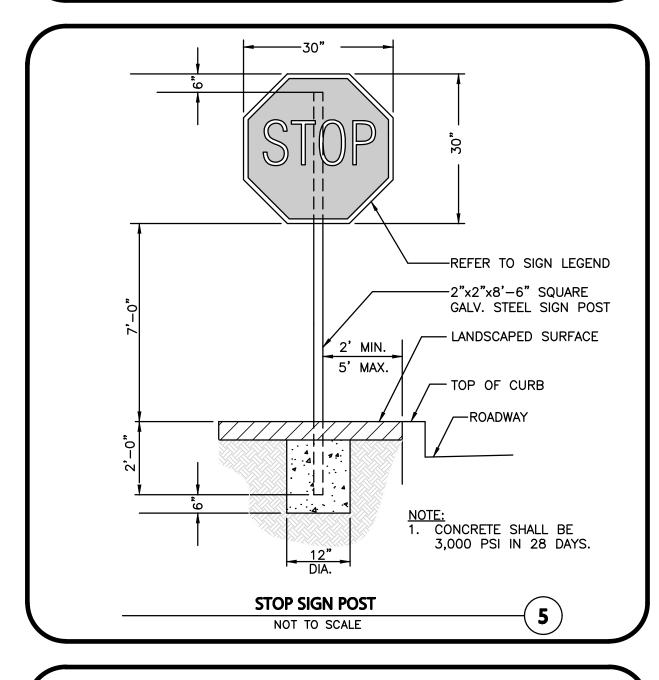
IF A GEOTECHNICAL REPORT IS PREPARED THE RECOMMENDATIONS WITHIN THAT REPORT SHALL SUPERCEDE RECOMMENDATIONS HEREIN. THE CONTRACTOR SHALL HAVE AND REVIEW A COPY OF THE GEOTECHNICAL REPORT AND COMPLY WITH THE RECOMMENDATIONS THEREIN.

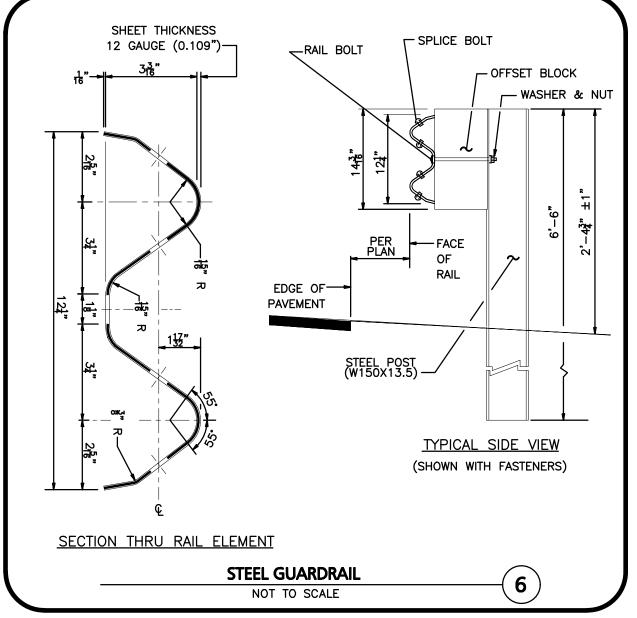
- TOPSOIL SHALL BE REMOVED BENEATH ALL PAVEMENT AREAS TO EXPOSE THE NATURALLY—OCCURRING SOILS OR ACCEPTABLE ON—SITE FILL MATERIALS.
- 2. THE SUBGRADE SHOULD BE PROOFROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER USING AT LEAST 4 PASSES OF A 10—TON VIBRATORY ROLLER. AREAS OF THE SUBGRADE THAT "WEAVE" OR "ROLL" EXCESSIVELY SHOULD BE OVEREXCAVATED AND REPLACED WITH DRIER CLEAN GRANULAR FILL MATERIAL.
- 3. THE PAVEMENT SUBGRADE CONSISTING OF THE SPECIFIED CLEAN GRANULAR FILL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1557.
- 4. PAVEMENT AND GRAVEL SPECIFICATIONS WITHIN THE CITY RIGHT-OF-WAY ARE TO BE DESIGNATED BY THE CITY'S DESIGN CONSULTANT FOR THE ROUNDABOUT PROJECT.

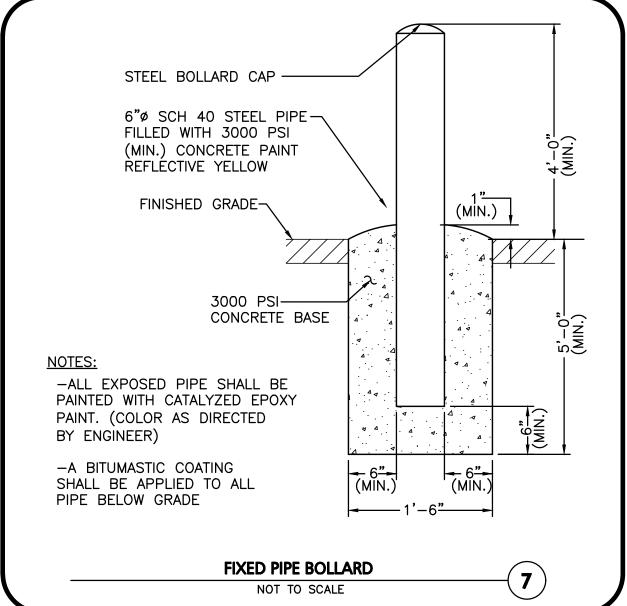
PAVEMENT SECTIONS

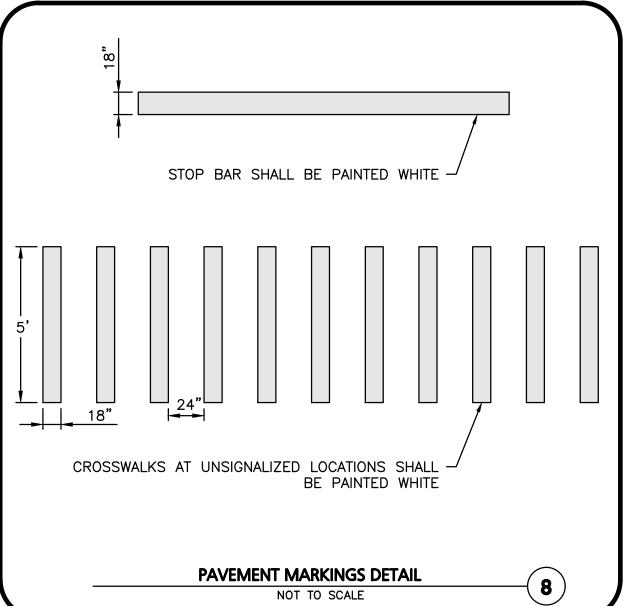
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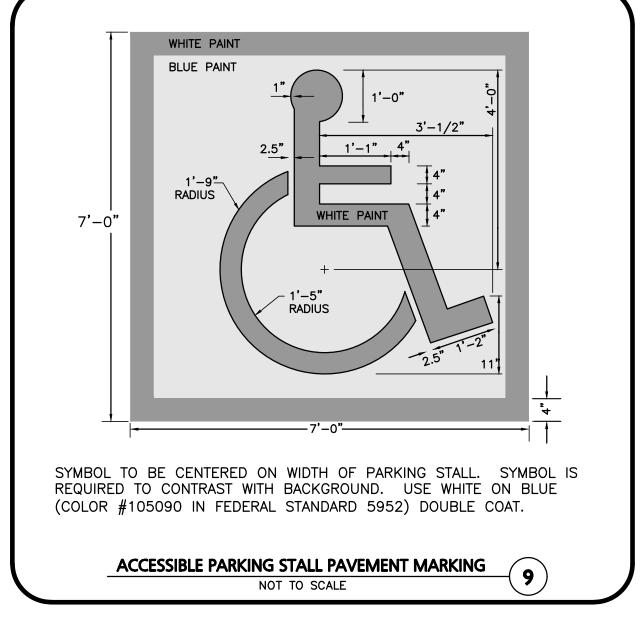


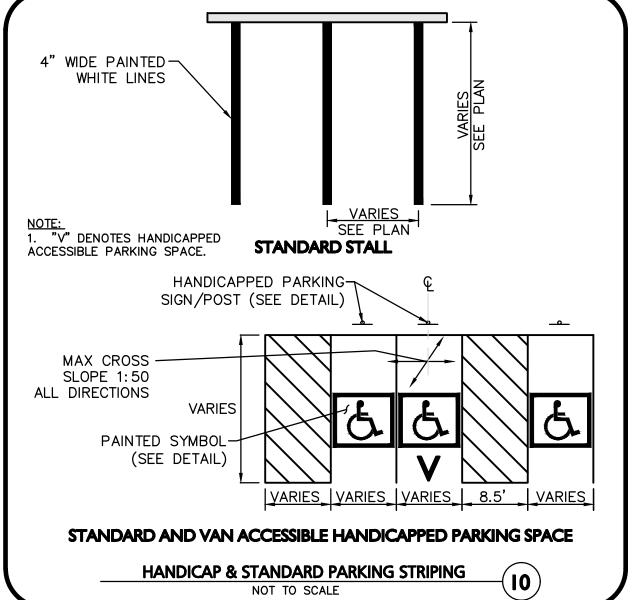


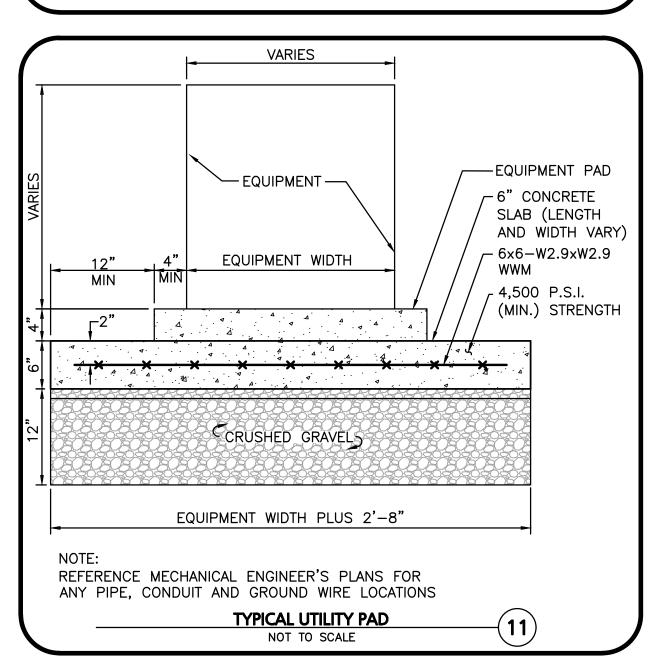


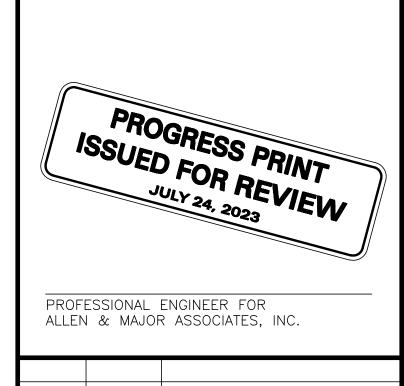












REV DATE DESCRIPTION

APPICANT:

APEX DESIGN BUILD

9550 W. HIGGINS ROAD. SUITE 170

ROSEMONT, IL 60018

PROJEC

SURGICAL CENTER
360 CORPORATE DRIVE
TAX MAP 315, LOT 5
PORTSMOUTH, NH 03801

PROJECT NO. 3250-01 DATE: 07-24-23

SCALE: AS SHOWN DWG. NAME: C-3250-01.dwg

DESIGNED BY: BDJ CHECKED BY: RPC

PREPARED BY:



civil engineering • land surveying
nvironmental consulting • landscape architecture
w w w . a l l e n m a j o r . c o m
400 HARVEY ROAD

400 HARVEY ROAD MANCHESTER, NH 03103 TEL: (603) 627-5500 FAX: (603) 627-5501

WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NE

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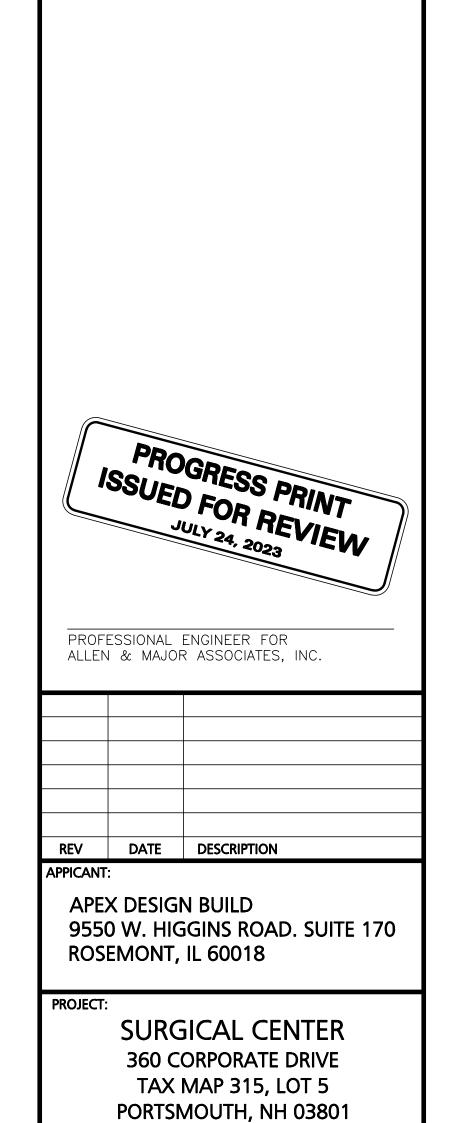
DRAWING TITLE:

SHEET No.

DETAILS

C-502

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PROJECT NO. 3250-01 DATE: 07-24-23

BDJ CHECKED BY:

SCALE: AS SHOWN DWG. NAME: C-3250-01.dwg

DESIGNED BY:

EPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

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environmental consulting • landscape architecture
w w w . a l l e n m a j o r . c o m

400 HARVEY ROAD
MANCHESTER, NH 03103

TEL: (603) 627-5500 FAX: (603) 627-5501

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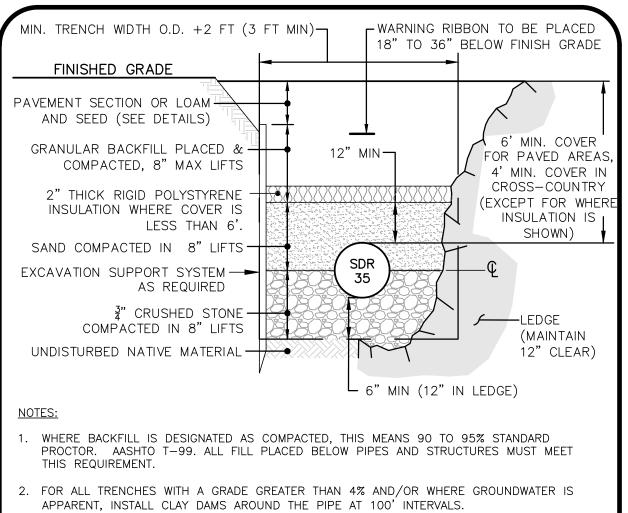
DRAWING TITLE:

SHEET No.

DETAILS

C-503

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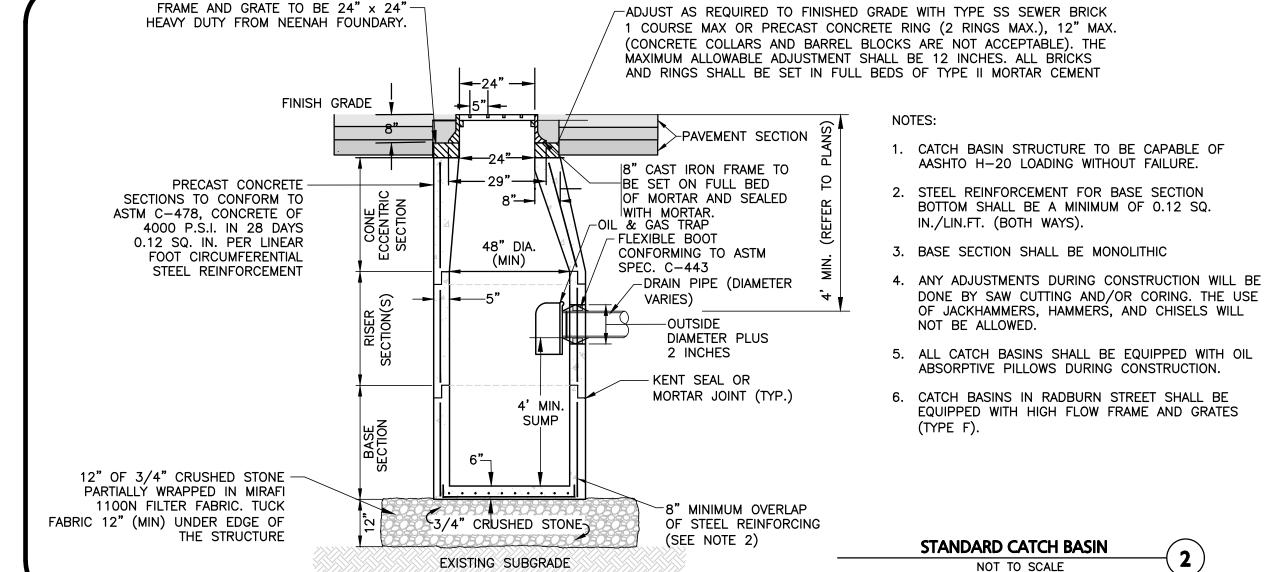
CRUSHED STONE SHALL BE CLEAN, HARD, FREE FROM COATINGS AND THOROUGHLY WASHED

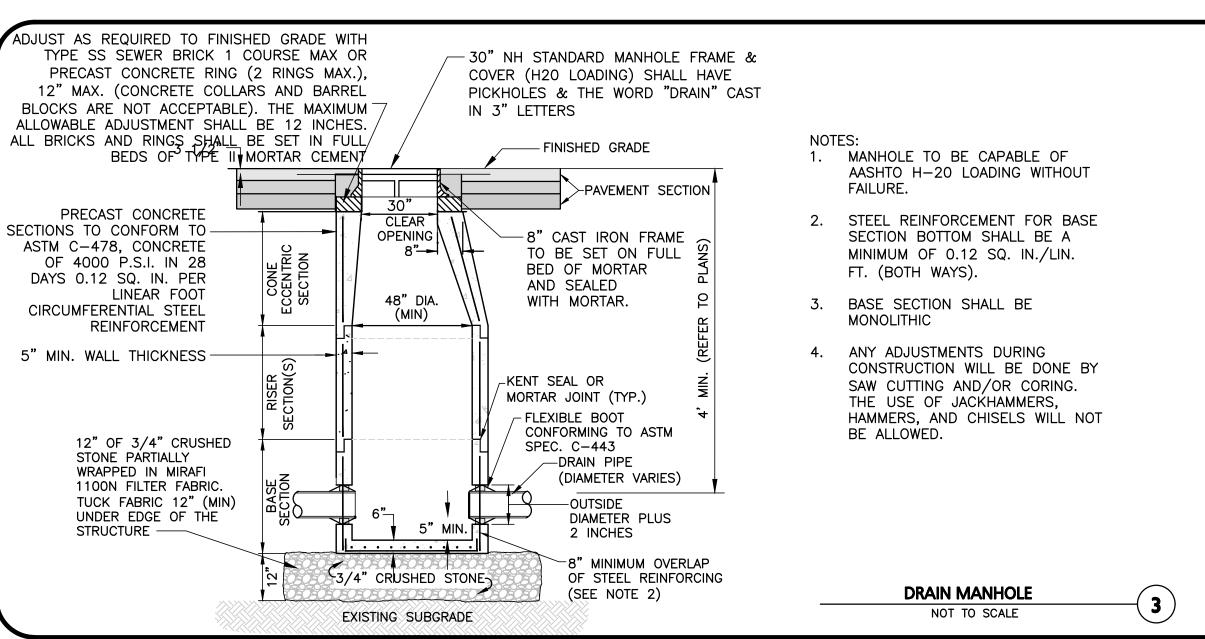
WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5%

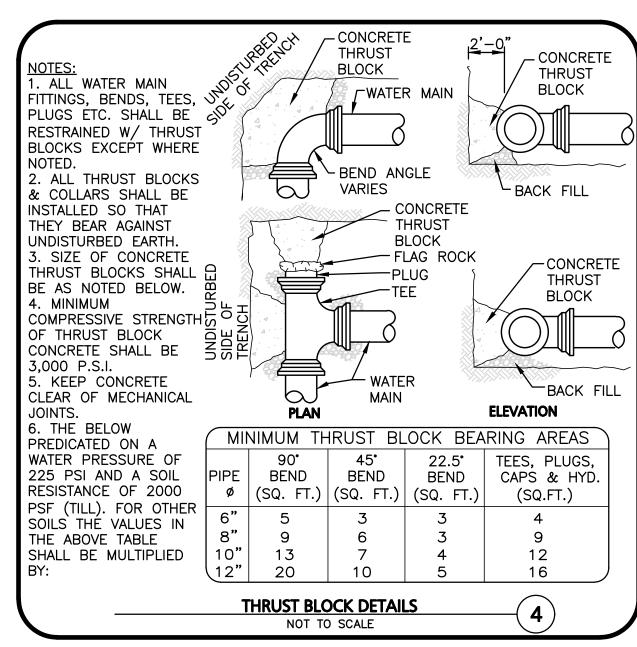
SEWER TRENCH DETAIL

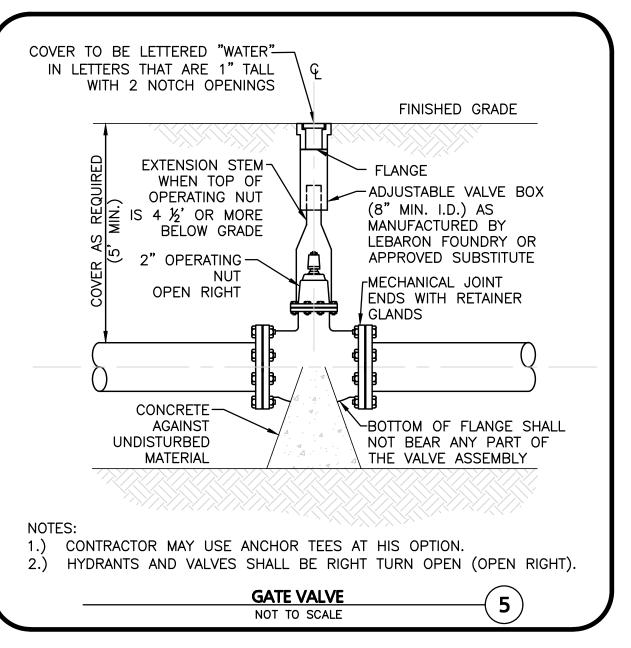
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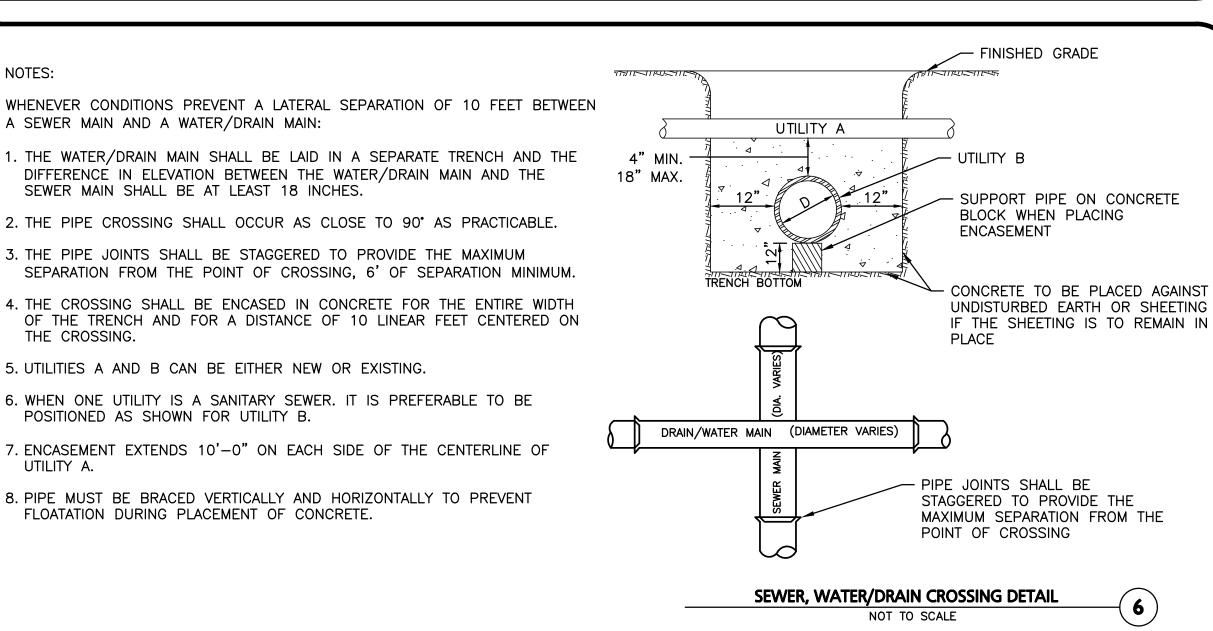
PASSING A 1 SQUARE OPENING.

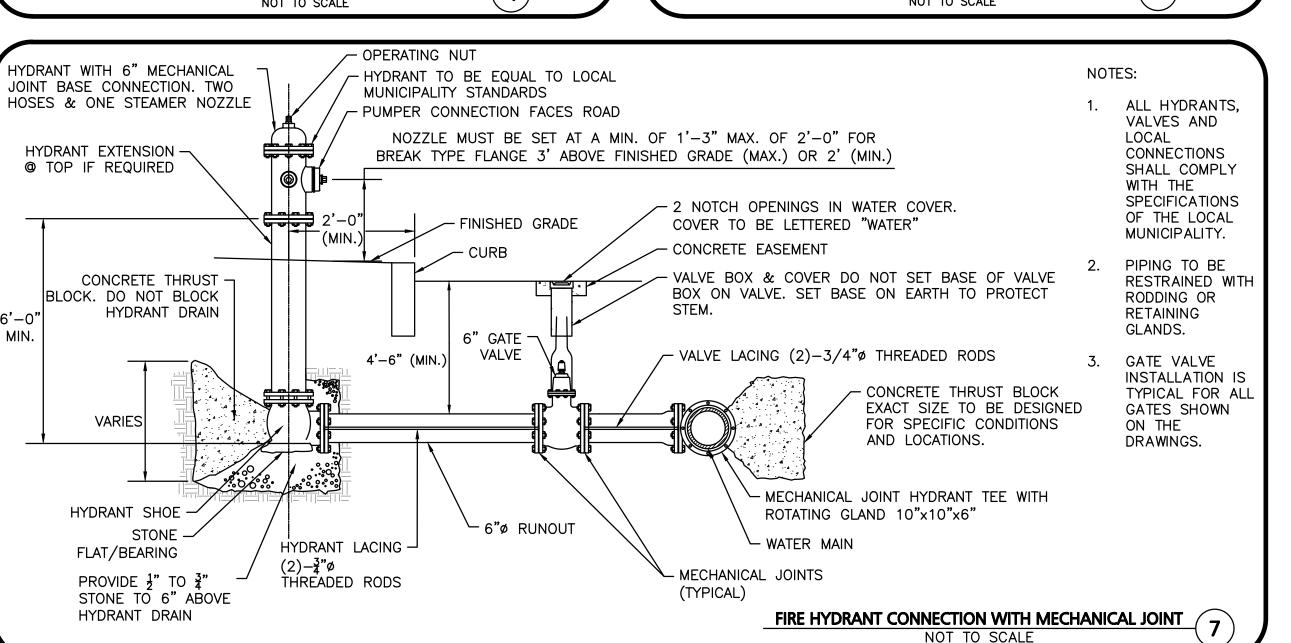


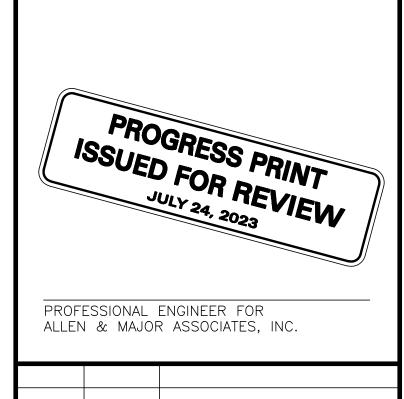












APPICANT: APEX DESIGN BUILD 9550 W. HIGGINS ROAD. SUITE 170

DATE DESCRIPTION

ROSEMONT, IL 60018

SURGICAL CENTER 360 CORPORATE DRIVE TAX MAP 315, LOT 5 PORTSMOUTH, NH 03801

PROJECT NO. 3250-01 DATE: 07-24-23 **SCALE:** AS SHOWN DWG. NAME: C-3250-01.dwg **DESIGNED BY:** BDJ CHECKED BY:

ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com 400 HARVEY ROAD

MANCHESTER, NH 03103 TEL: (603) 627-5500 FAX: (603) 627-5501

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NE

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SHEET No.

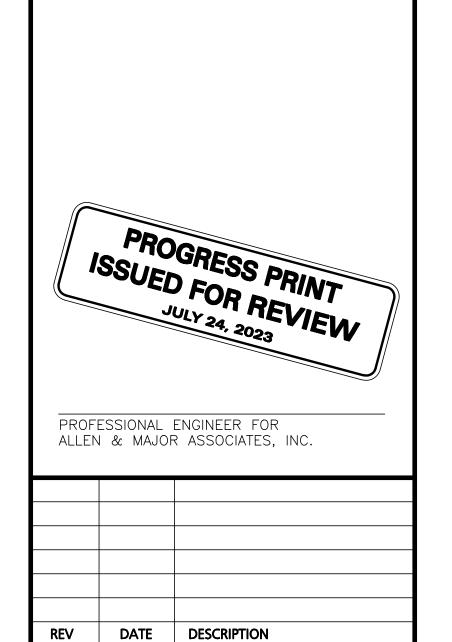
C-504

DRAWING TITLE:

DETAILS

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THE CROSSING.



SURGICAL CENTER 360 CORPORATE DRIVE TAX MAP 315, LOT 5 PORTSMOUTH, NH 03801

9550 W. HIGGINS ROAD. SUITE 170

PROJECT NO. 3250-01 DATE: 07-24-23

SCALE: 1" = 30' DWG NAME: C-3250.01 dwg

SCALE: 1" = 30' DWG. NAME: C-3250-01.dwg
DESIGNED BY: BDJ CHECKED BY: RPC

ALLEN & MAJOR ASSOCIATES, INC.

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w w w . a l l e n m a j o r . c o m
400 HARVEY ROAD
MANCHESTER, NH 03103

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DRAWING TITLE:

APPICANT:

APEX DESIGN BUILD

ROSEMONT, IL 60018

SHEET No.

L-101

LANDSCAPE PLAN

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1-888-344-7233

- (a) LANDSCAPING
- (1) APPROPRIATE LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH AN APPROVED LANDSCAPING PLAN.
- (2) LANDSCAPING TREATMENT SHALL CONSIST OF NATURAL VEGETATION OR FEATURES, GROUND COVER,

SHRUBS AND TREES AS APPROPRIATE.

- (3) LANDSCAPING PLANS SHALL MEET THE REQUIREMENTS OF SECTION 405.03 OF THE PEASE DEVELOPMENT AUTHORITY SITE PLAN REGULATIONS.
- (b) SCREENING
- (1) APPROPRIATE BUFFERS SHALL BE PROVIDED AND MAINTAINED TO SCREEN THE FOLLOWING USES
- FROM ADJOINING PROPERTIES:

 a) ANY OFF-STREET PARKING OR LOADING AREA.
- b) ALL OUTDOOR AREAS OR FACILITIES FOR THE STORAGE OF FUEL, SOLID WASTE, MATERIALS OR
- PRODUCTS.
- c) ANY COMMERCIAL PARKING LOT.
- d) ANY PRINCIPAL USE NOT CONDUCTED WHOLLY WITHIN A BUILDING.
- 1. E) AS OTHERWISE REQUIRED BY THE BOARD.

PEASE DEVELOPMENT SITE PLAN REGULATIONS:

405.03

SCREENING AND LANDSCAPING

(a) LANDSCAPING PLAN

(1) A LANDSCAPING PLAN SHALL BE SUBMITTED AS PART OF THE SITE PLAN APPLICATION.

PLAN SHALL IDENTIFY EXISTING AND PROPOSED LANDSCAPING ELEMENTS AND SHOW LOCATION AND PLANTING AND/OR CONSTRUCTION DETAILS. WHERE EXISTING PLANTINGS ARE TO BE RETAINED, PROPOSED METHODS OF PROTECTING SUCH PLANTINGS DURING CONSTRUCTION SHALL BE INCLUDED WHERE APPLICABLE.

- (2) LANDSCAPING SHALL BE CONCEIVED IN A TOTAL PATTERN THROUGHOUT THE SITE, INTEGRATING THE VARIOUS ELEMENTS OF SITE DESIGN, PRESERVING AND ENHANCING THE PARTICULAR IDENTITY OF THE SITE, AND CREATING A PLEASING SITE CHARACTER.
- (3) LANDSCAPING MAY INCLUDE PLANT MATERIALS SUCH AS TREES, SHRUBS, GROUND COVERS, PERENNIALS, AND ANNUALS, AND OTHER MATERIALS SUCH AS ROCKS, WATER, SCULPTURE, ART, WALLS, FENCES, PAVING MATERIALS AND STREET FURNITURE.
- (4) ALL PARKING LOTS CONSTRUCTED OR REDEVELOPED AT PEASE SHALL MEET THE FOLLOWING REQUIREMENTS:
- a) SCREENING: ALL PARKING LOTS CONTAINING MORE THAN 25 PARKING SPACES SHALL BE APPROPRIATELY SCREENED FROM ADJACENT PROPERTIES AND ROADWAYS WITH LANDSCAPE BERMS AND/OR PLANTINGS IN ORDER TO MINIMIZE THE AESTHETIC IMPACT OF THE PARKING LOT.
- b) LANDSCAPED ISLANDS: ALL PARKING ROWS CONTAINING MORE THAN 10 SPACES SHALL HAVE LANDSCAPED ISLANDS THE SIZE OF A PARKING SPACE AT BOTH ENDS OF THE ROW.
- c) LENGTH OF ROWS: NO PARKING LOT SHALL CONTAIN MORE THAN 18 PARKING SPACES IN A ROW WITHOUT THE INCLUSION OF A LANDSCAPED ISLAND OF THE SAME SIZE AS THE PARKING SPACES IN THAT ROW.
- d) MULTIPLE PARKING AISLES: THERE MUST BE A 12' WIDE LANDSCAPED STRIP BETWEEN EVERY SECOND ROW OF DOUBLE STACKED PARKING.
- e)LANDSCAPE ISLANDS EXCEPT THAT THE CURBING MAY BE INTERRUPTED TO ALLOW FOR INFILTRATION OF STORMWATER.
- (B) SCREENING
- (1) SCREENING SHALL BE PROVIDED FOR ALL DEVELOPMENT OF LAND IN ORDER TO MINIMIZE ADVERSE VISUAL IMPACTS.
- (2) STRUCTURES VISIBLE FROM A PUBLIC STREET SHALL BE PARTIALLY SCREENED WITH FLOWERING OR EVERGREEN SHRUBS.
- (3) SOLID WASTE COLLECTION EQUIPMENT, PUMP STATIONS, OUTDOOR STORAGE AND OTHER OUTDOOR USES VISIBLE FROM A PUBLIC STREET SHALL BE SCREENED WITH A SOLID FENCE AND/OR EVERGREEN SHRUBS.

PLANTING SCHEDULE -TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

| 1 | DECIL | DUOUS TRE | EES | | | Γ | |
|-----|---------|---------------|--|--|--------------|----------|----------------|
| | KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | MIN. SIZE | SPACING | COMMENTS |
| | AR | 8 | ACER RUBRUM 'RED SUNSET' | RED SUNSET MAPLE | 2"-2.5" CAL. | AS SHOWN | В&В |
| | AC | 3 | AMELANCHIER CANADENSIS | SERVICEBERRY | 6-7' HT. | AS SHOWN | B&B, MULTISTE |
| | BP | 4 | BETULA PAPYRIFERA | PAPER BIRCH | 12-14' HT. | AS SHOWN | B&B, MULTISTEI |
| | CK | 5 | CORNUS KOUSA | KOUSA DOGWOOD | 2"-2.5" CAL. | AS SHOWN | B&B |
| | CKW | 1 | CORNUS KOUSA 'WOLF EYES' | WOLF EYES KOUSA DOGWOOD | 2"-2.5" CAL. | AS SHOWN | B&B-SPECIMEN |
| | CV | 4 | CHIONANTHUS VIRGINICUS | WHITE FRINGE TREE | 2"-2.5" CAL. | AS SHOWN | B&B |
| | FA | 3 | FRANKLINIA ALATAMAHA | FRANKLIN TREE | 6-7' HT. | AS SHOWN | B&B |
| I | FS | 1 | FAGUS SYLVATICA 'RIVERSII' | RIVER'S PURPLE BEECH | 2"-2.5" CAL. | AS SHOWN | B&B |
| I | МВ | 2 | MAGNOLIA 'BUTTERFLY' | BUTTERFLY MAGNOLIA | 6-7' HT. | AS SHOWN | B&B |
| I | QA | 2 | QUERCUS ALBA | WHITE OAK | 2"-2.5" CAL. | AS SHOWN | B&B |
|) [| QC | 4 | QUERCUS COCCINEA | SCARLET OAK | 2"-2.5" CAL. | AS SHOWN | B&B |
| ı | NS | 5 | NYSSA SYLVATICA 'GREEN GABLE' | GREEN GABLE TUPELO | 2"-2.5" CAL. | AS SHOWN | B&B |
| I | TC | 9 | TILIA CORDATA 'GREENSPIRE' | GREENSPIRE LINDEN | 2"-2.5" CAL. | AS SHOWN | B&B |
| I | EVER | GREEN TRE | EES | | | | |
| | PG | 6 | PICEA GLAUCA | WHITE SPRUCE | 7–8' HT. | AS SHOWN | B&B |
| l | то | 7 | THUJA OCCIDENTALIS 'NORTH POLE' | NORTH POLE ARBORVITAE | 5-6' HT. | AS SHOWN | B&B |
| l | SHRU | JBS | POLE | | | | |
| ŀ | AZ | 34 | AZALEA 'DELAWARE WHITE' | DELAWARE WHITE AZALEA | # 5 | AS SHOWN | POT |
| l | BG | 8 | BUXUS 'GREEN GEM' | GREEN GEM BOXWOOD | #5 | AS SHOWN | B&B |
| ŀ | CA | 25 | CLETHRA ALNIFOLIA | HUMMINGBIRD SUMMERSWEET | #7 | AS SHOWN | POT |
| ŀ | CI | 22 | 'HUMMINGBIRD' CORNUS ALBA 'IVORY HALO' | IVORY HALO DOGWOOD | #7 | AS SHOWN | POT |
| ŀ | FG | 15 | FOTHERGILLA GARDENII | DWARF FOTHEREGILLA | 2–2.5' | AS SHOWN | B&B |
| ŀ | HY | 40 | HYDRANGEA ARBORESCENS | INCREDIBALL HYDRANGEA | #5 | AS SHOWN | B&B |
| ŀ | IG | 54 | 'INCREDIBALL' ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY | #5 | AS SHOWN | B&B |
| ŀ | MP | 30 | MYRICA PENSYLVANICA | BAYBERRY | 2.5'-3' HT. | AS SHOWN | B&B |
| ŀ | RA | | RHODODENDRON 'APRIL ROSE' | APRIL ROSE | 2.5'-3' HT. | AS SHOWN | B&B |
| ŀ | RK | | PINK DOUBLE KNOCK OUT | RHODODENDRON PINK DOUBLE KNOCK OUT | #3 | AS SHOWN | POT |
| ŀ | TM | 88 | TAXUS MEDIA 'GREENWAVE' | ROSE GREENWAVE YEW | | | |
| ŀ | VD | 22 | VIBURNUM DENTATUM 'BLUE | | 18-24" | AS SHOWN | B&B |
| ŀ | | NNIALS/GR | MUFFIN' | BLUE MUFFIN VIBURNUM | 3–4'HT. | AS SHOWN | B&B |
| ŀ | AB | · | | BLUE ICE BLUESTAR | // 0 | 0.4" 0.0 | OT4 005D5D |
| ŀ | | | AMSONIA 'BLUE ICE' | FLOWER | #2 | 24" O.C. | STAGGERED |
| F | AH D) (| | AMSONIA HUBRICHTII PANICUM VIRGATUM | THREAD—LEAFED BLUESTAR SHENANDOAH SWITCH | #2 | 24" O.C. | STAGGERED |
| ŀ | PV | 27 | 'SHENANDOAH' | GRASS | #3 | 30" O.C. | STAGGERED |
| ŀ | DP | | DENSTEADTIA PUNCTILOBA | HAYSCENTED FERN | #2 | 24" O.C. | STAGGERED |
| L | DS | | SPOROBOLUS HETEROLEPIS | PRAIRIE DROPSEED | #2 | 24" O.C. | STAGGERED |
| | НО | 68 | HOSTA 'GUACAMOLE' HEMEROCALLIS 'BIG TIME | GUACAMOLE HOSTA | #2 | 24" O.C. | STAGGERED |
| | HS | 58 | HAPPY' | BIG TIME HAPPY DAYLILLY | #2 | 24" O.C. | STAGGERED |
| | NP | 6 | NEPETA 'PURRSIAN BLUE' | PURRSIAN BLUE CATMINT | #2 | 24" O.C. | STAGGERED |
| 1 | RF | 29 | RUDBECKIA FULGIDA FULGIDA | BLACK EYED SUSAN | #2 | 24" O.C. | STAGGERED |

*ANNUALS / SEASONAL COLOR TO BE NORTH SHORE MIX BY PROVEN WINNERS OR EQUAL.

CONSERVATION WILDLIFE SEED MIX:

NEW ENGLAND CONSERVATION / WILDLIFE MIX
(BY NEW ENGLAND WETLAND PLANTS INC. — NEWP.COM)
APPLICATION RATE: 25 LBS/ACRE | 1750 SQ FT/LB

| APPL | LICATION RATE: 25 LBS/ACRE 1/50 SQ F | I/LB | |
|-------------|--|---------------------------|-----------|
| ITEM | BOTANICAL NAME | COMMON NAME | INDICATOR |
| 1. | ELYMUS VIRGINICUS | VIRGINIA WILD RYE | FACW |
| 2. | CHAMAECRISTA FASCICULATA | PARTRIDGE PEA | FACU |
| 3. | FESTUCA RUBRA | RED FESCUE | FACU |
| | SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM | FACU |
| 5. | ANDROPOGON GERARDII | BIG BLUESTEM | FACU |
| 6. | PANICUM VIRGATUM | SWITCH GRASS | FAC |
| 7. | DESMODIUM PANICULATUM | PANICLEDLEAF TICK TREFOIL | FACU |
| 8. | SORGHASTRUM NUTANS | INDIAN GRASS | FACU |
| | VERBENA HASTATA | BLUE VERVAIN | FACW |
| 10. | ASCLEPIAS TUBEROSA | BUTTERFLY MILKWEED | |
| 11. | RUDBECKIA HIRTA | BLACK EYED SUSAN | FACU |
| 12. | HELENIUM AUTUMNALE | FALL SNEEZEWEED | FACW |
| 13. | ASTERPILOSUS/SYMPHYOTRICHUM PILOSUM | HEATH ASTER | FACU |
| 14. | | EARLY GOLDENROD | |
| 15. | AGROSTIS PERENNANS | UPLAND BENTGRASS | FACU |
| | | | |

THE NEW ENGLAND CONSERVATION/WILDLIFE MIX PROVIDES A PERMANENT COVER OF GRASSES, WILDFLOWERS, AND LEGUMES. FOR BOTH GOOD EROSION CONTROL AND WILDLIFE HABITAT VALUE. THE MIX IS DESIGNED TO BE A NO MAINTENANCE SEEDING, AND IS APPROPRIATE FOR CUT AND FILL SLOPES, DETENTION BASIN SIDE SLOPES, AND DISTURBED AREAS ADJACENT TO COMMERCIAL AND RESIDENTIAL PROJECTS.

LANDSCAPE NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/TOWN OF PORTSMOUTH, NH. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF NAY CONFLICTS IN WRITING.
- 3. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- 4. ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- 6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (LATEST EDITION).
- O. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH DIE WITHIN THE ONE YEAR PLANT GUARANTEE PERIOD WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR. OWNERS TO COORDINATE DIRECTLY WITH THE LANDSCAPE CONTRACTOR FOR REPLACEMENT PLANTINGS.
- 10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM &
- 11. LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL
- 12. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- 13. TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- 14. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUNDCOVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- 15. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- 16. ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- 17. CONTRACTOR RESPONSIBLE FOR WATERING AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- 18. ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE SLOPED TO SIX INCHES (6") ABOVE THE TOP OF CURB.
- 19. SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- 20. SLOPES AT 2:1 SHOULD HAVE 6" LOAM & SEED. SEEDING OF 2:1 SLOPES SHALL OCCUR IN THE DRY & AFTER SLOPES ARE COMPACTED.
- 21. ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 2 FEET MINIMUM DEPTH OF TOPSOIL. TWO FEET OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL, DEMOLITION, AND LANDSCAPE CONTRACTORS TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 2 FEET MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET. SEE TOPSOIL DETAIL.
- 22. PRIOR TO LAYING TOPSOIL, ALL SUBSOIL (BELOW PROPOSED TOPSOIL) TO BE TILLED TO A DEPTH OF AT LEAST 18" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
- 23. ALL SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS. AT ALL SLOPED AREAS CONTRACTOR TO INSTALL COCONUT FIBER JUTE MESH NETTING ON ALL SLOPES 3:1 AND GREATER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLEXTERRA HP-FGM" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE). CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS & UNTIL SLOPES ARE FULLY STABLE. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING.
- 24. AFTER SEEDING, ALL AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTINUALLY WATERED EVERY DAY SO THAT SEED IS KEPT MOIST UNTIL SEED IS ESTABLISHED & APPROVED BY A&M LANDSCAPE ARCHITECT (USE NO HAY).
- 25. IF THERE IS NO PROPOSED IRRIGATION SYSTEM AFTER PLANTINGS & LAWNS & SEEDED AREAS HAVE BEEN INSTALLED, LANDSCAPE CONTRACTOR RESPONSIBLE TO TEMPORARILY WATER ALL INSTALLED PLANTINGS, SEEDED AREAS, & LAWN AREAS MIN. 4 TIMES A WEEK DURING INITIAL ESTABLISHMENT PERIOD OF 6 MONTHS AFTER ALL LANDSCAPING IS INSTALLED.
- 26. ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD—TO—HEAD COVERAGE, A CENTRAL SHUT—OFF VALVE, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.
- 27. SEEDING OF BIORETENTION & DETENTION AREAS & OTHER SLOPE AREAS SHALL OCCUR IN THE DRY & AFTER SLOPES ARE COMPACTED. IT IS IMPORTANT, THAT THE BIORETENTION AREAS/ DETENTION BASIN BE SEEDED AT THE BEGINNING OF THE PROJECT & PRIOR TO ANY DRAINAGE BEING DIRECTED TOWARDS THE BASIN. THE SEED AT DETENTION AREAS & OTHER SLOPED AREAS WILL NEED A MINIMUM OF 6 MONTHS TO INITIALLY ESTABLISH PRIOR TO THE DETENTION BASIN BEING UTILIZED SO THAT THERE IS NOT EROSION & SLOPE FAILURE. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED—TO—SOIL CONTACT. SEE SEED MIX DETAIL NOTES.
- 28. FOR SPREADING OF THE SEED WITH DRY DETENTION BASINS, WATER LEVELS MAY BE LOWERED IN THE DETENTION AREAS BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ANY DEWATERING METHODS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|

APPICANT:

APEX DESIGN BUILD 9550 W. HIGGINS ROAD. SUITE 170 ROSEMONT, IL 60018

PROJECT

PREPARED BY:

SURGICAL CENTER
360 CORPORATE DRIVE
TAX MAP 315, LOT 5
PORTSMOUTH, NH 03801

| PROJECT NO. | 3250-01 | DATE: | 07-24- |
|--------------|----------|---------------|------------|
| SCALE: | AS SHOWN | DWG. NAME: C- | 3250-01.dv |
| DESIGNED BY: | BDJ | CHECKED BY: | R |

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civil engineering • land surveying
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www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500

FAX: (603) 627-5501

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DRAWING TITLE:

SHEET No.

LANDSCAPE NOTES

L-401

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10'-0" FOR TREES > 3"

CAL. 8'0" FOR TREES 3" CAL

NEW OR EXISTING —

MIN.

X DIA. OF

ROOTBALL WITH SLOPED

SIDES

3 X | DIA.

ROOTBALL

WITH SLOPED SIDES

WOOD POSTS FOR

TREES UNDER 3"

6" MIN. TOPSOIL,

UNDISTURBED SOIL-

CALIPER

AND UNDER

PLANTING MIX

NOTE 2 &3.

BACK FILL SEE

ROOTBALL—

<u>NOTES</u>

- 1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
- 2. INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
- 3. ATTACH GUYS AT 2/3 HEIGHT OF TREE.
- 4. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL. 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- 5. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

EVERGREEN TREE DETAIL NOT TO SCALE

NOTES:

-ARBOR TIES BY DEEP ROOTS

-REMOVE STAKES AFTER ONE

—4" EARTH SAUCER WITH

AND WIRE BASKET ENTIRELY.

-REINFORCED RUBBER HOSE

-3 POSTS FOR ALL TREES

3" CALIPER & OVER

TREE PIT

OR APPROVED EQUAL

GROWING SEASON

∕-3" BARK MULCH

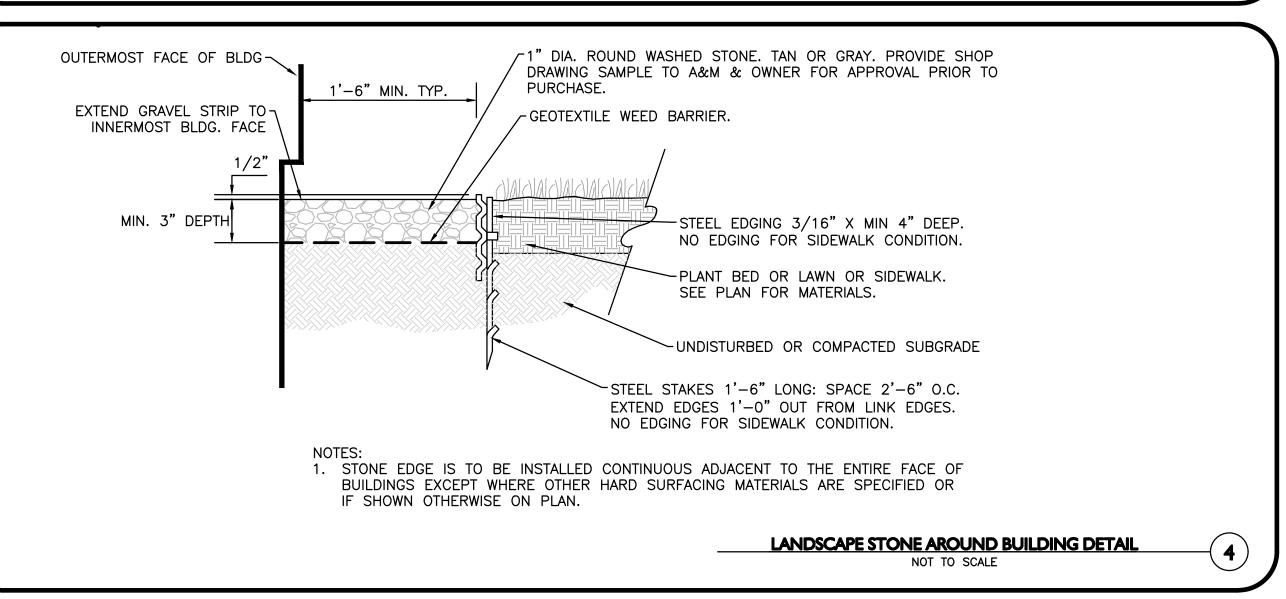
BARK MULCH

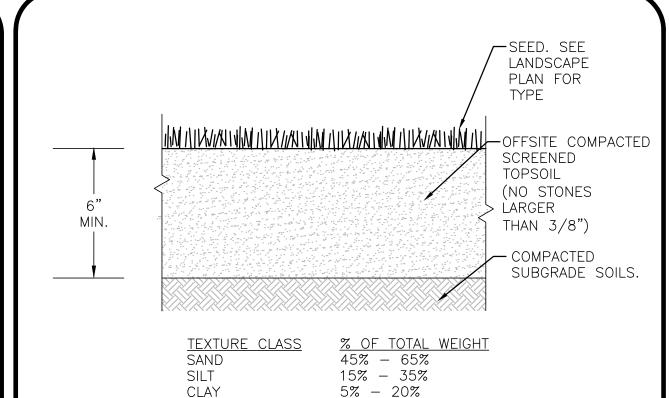
CUT & REMOVE BURLAP

- 1. ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
- 2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- 3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
- 4. SEE MATERIALS PLAN AND DETAILS PLANS FOR STREET TREE PLANTING IN WITH TREE GRATES DETAIL.

DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE

(3)





% PASSING 3/8" 85-100 NO. 4 NO. 40 60-85 38-60 NO. 100 10 - 35NO. 200 LESS THAN 5% 20 um

1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.

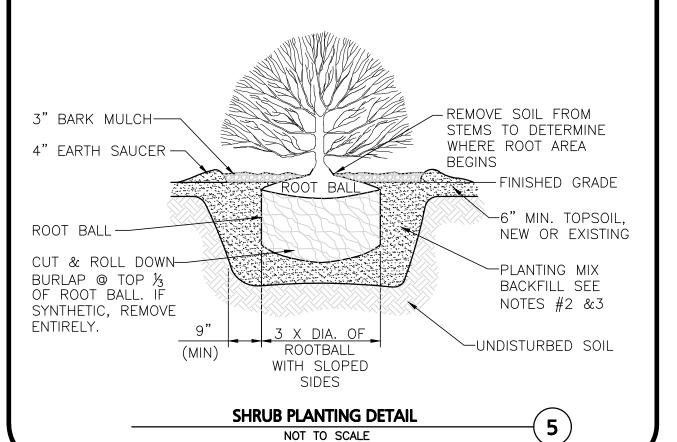
- 2. ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
- 3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
- 4. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS NOT TO SCALE

. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.

2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS,

3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION. 4. SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.



LOAM AND SEEDING NOTES:

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

| SCIENTIFIC NA | ME COMMON NAM | E PROPORTION | PERCENT | PERCENT |
|----------------------------|-------------------------------|--------------|---------------|-------------|
| | | BY WEIGHT | <u>PURITY</u> | GERMINATION |
| FESTUCA RUB "RUBRA" | RA CREEPING REI FESCUE | 37% | 95% | 90% |
| PAO PRAENTE "BARON" | NSIS BARON KENTU BLUEGRASS | JCKY 40% | 85% | 90% |
| LOLIUM PEREN "PALMER" | INE PALMER PERE RYEGRASS | INNIAL 15% | 95% | 90% |
| FESTUCA RUB COMMUTATA N | | NGS 8% | 95% | 80% |

1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT. 2. SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.

3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.

4.LAWN AREAS TO BE SEEDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE

5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

PROGRESS PRINT ISSUED FOR REVIEW

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

DATE DESCRIPTION

APPICANT:

APEX DESIGN BUILD 9550 W. HIGGINS ROAD. SUITE 170 ROSEMONT, IL 60018

SURGICAL CENTER 360 CORPORATE DRIVE TAX MAP 315, LOT 5 PORTSMOUTH, NH 03801

PROJECT NO. 3250-01 DATE: 07-24-23 AS SHOWN DWG. NAME: C-3250-01.dwg

> **DESIGNED BY:** BOI CHECKED BY:



ASSOCIATES, INC. civil engineering • land surveying nvironmental consulting + landscape architecture www.allenmajor.com 400 HARVEY ROAD

MANCHESTER, NH 03103 TEL: (603) 627-5500 FAX: (603) 627-5501

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DRAWING TITLE:

SHEET No.

L-501 LANDSCAPE DETAILS

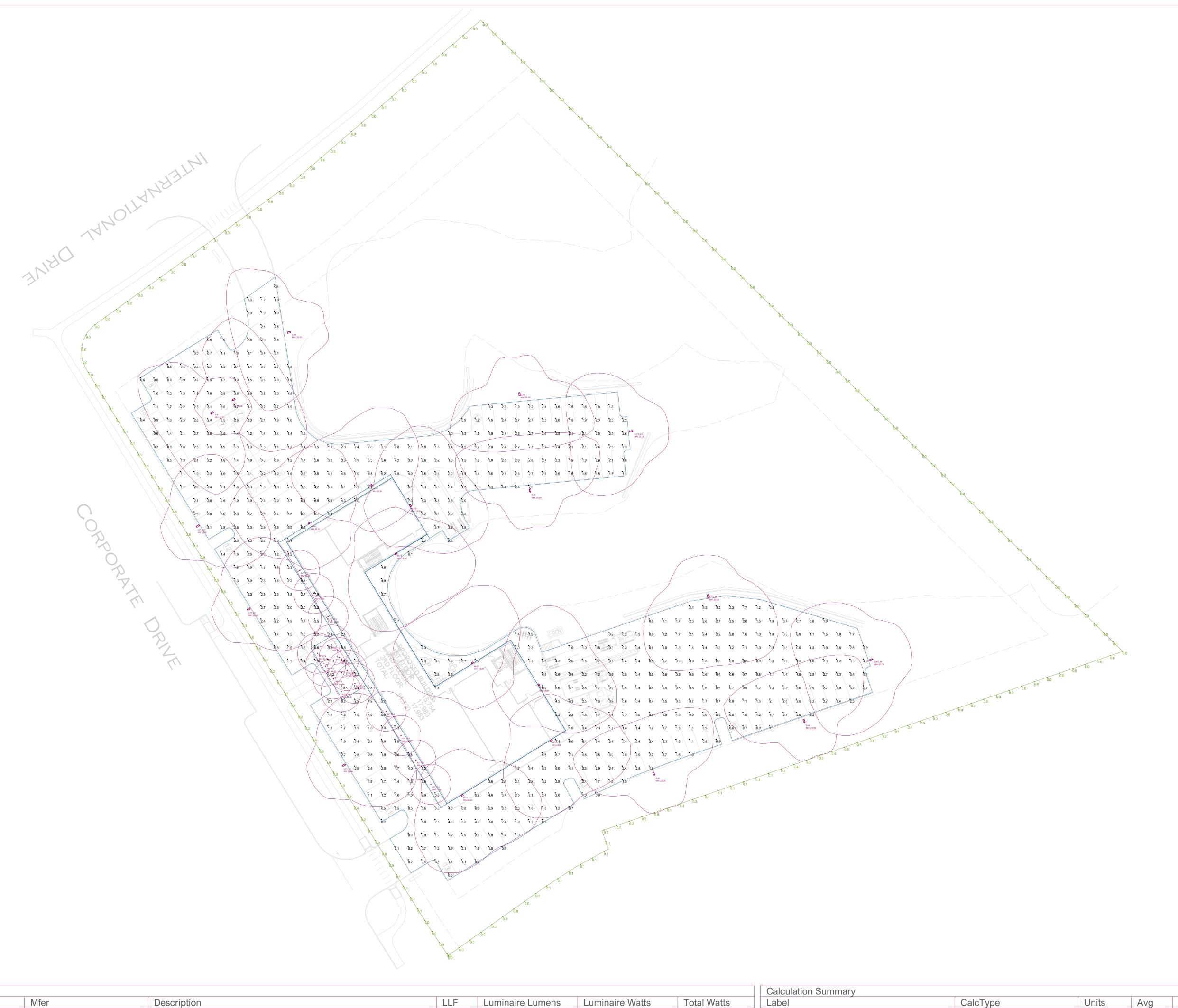
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27.8

85

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0.900 2042

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0.900 17920

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Luminaire Schedule

15

Tag

S-III

W-FT

EXT LT-2

S-FT HI

S-FT_LO

WILLIAMS

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4DR-TL-L30-840-DIM-UNV-LW-OF-WH-WETCC

MRM-LED-12L-SIL-FT-40-70CRI

MRM-LED-09L-SIL-FT-40-70CRI

MRM-LED-09L-SIL-3-40-70CRI

XWM-FT-LED-18L-40

Symbol



Photometric calculations are being provided to the recipient per the following disclaimers. This light level analysis is an estimate only, and is based on standard interior reflectance values of 0.8 ceilings, 0.5 walls, and 0.2 floors, unless otherwise specified. Any variance from reflectance values, obstructions, light loss factors or dimensional data will affect the actual light levels obtained. This analysis is a mathematical model and can only be as accurate as is permitted by the third party software and the IES files provided by our manufacturers.

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k Design Build

Calculation For

e:6/19/2023

Date:6/19/2023
Scale: NTS Page 1 of 1

Calculation SummaryLabelCalcTypeUnitsAvgMaxMinMax/MinPARKING_SURFACEIlluminanceFc2.3511.40.1114.00PROPERTY LINEIlluminanceFc0.182.80.0N.A.

SUBCONTRACTOR NOTES

- A. PROVIDE WEATHER BARRIER OVER ALL EXTERIOR SHEATHING PRIOR TO THE INSTALLATION OF ANY EXTERIOR FINISH MATERIAL.
- B. INSTALL PER MANUFACTURER'S SPECIFICATIONS
 AND PROVIDE ALL MANUFACTURER'S
 ACCESSORIES TO FULLY FLASH AND COUNTERFLASH AT ALL WINDOWS, DOORS, AND EXTERIOR
 PENETRATIONS.
- C. PROVIDE A WEATHER TIGHT BARRIER AT ALL SURFACES.
- D. COORDINATE FLASHING WITH WINDOW, DOOR, VENT, ETC. MANUFACTURER'S FOR A WEATHER TIGHT SEAL AT ALL OPENINGS.
- E. TAPE FLASH AROUND ALL OPENINGS AND ON WALL JOINTS PER MANUFACTURER REQUIREMENTS.

EXTERIOR FINISH SCHEDULE

1. EQUAL PRODUCTS ARE ACCPETABLE AFTER IT HAS BEEN SUBMITTED & APPROVED BY ARCHITECT.

2. ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS

| TAG | MATERIAL | MFG. | SPECIFICATION / DESCRIPTION | LOCATION | REMARKS |
|-----------|-----------------------------|-----------------|---|----------------|-------------------------------|
| EXT. AP-1 | ACM PANEL | STACBOND | ACM PANEL, SEE ELEVATIONS FOR DIMENSOINS, FINISH: DUSTY GREY | PER ELEVATIONS | SEE ELEVATIONS FOR DIMENISONS |
| EXT. AP-2 | ACM PANEL | STACBOND | ACM PANEL, SEE ELEVATIONS FOR DIMENSOINS, FINISH: ANTHRACITE GREY | PER ELEVATIONS | SEE ELEVATIONS FOR DIMENISONS |
| EXT. BR-1 | FACE BRICK | SPAULDING BRICK | STAINED BRICK, COLOR: TBD | PER ELEVATIONS | |
| EXT. CP-1 | METAL COPING | PACCLAD | PACCLAD PAC-TITE COPING:FLAT, FINISH: MUSKET GRAY, 4' O.C. | PER ELEVATIONS | SEE ELEVATIONS FOR DIMENISONS |
| EXT. CS-1 | STONE SILL | ROCKCAST | BY ROCKCAST, SL-7315, FINISH: | PER ELEVATIONS | |
| EXT. MP-1 | EXPOSED FASTNER METAL PANEL | PACCLAD | PACCLAD PETERSON M-36 WITH TRIMS, FINISH: MUSKET GREY | PER ELEVATIONS | |



9550 W.Higgins Rd. 170 Rosemont, IL 60018

DR. ALEX SLOCUM

360 CORPORATE DR. PORTSMOUTH , NH 03801

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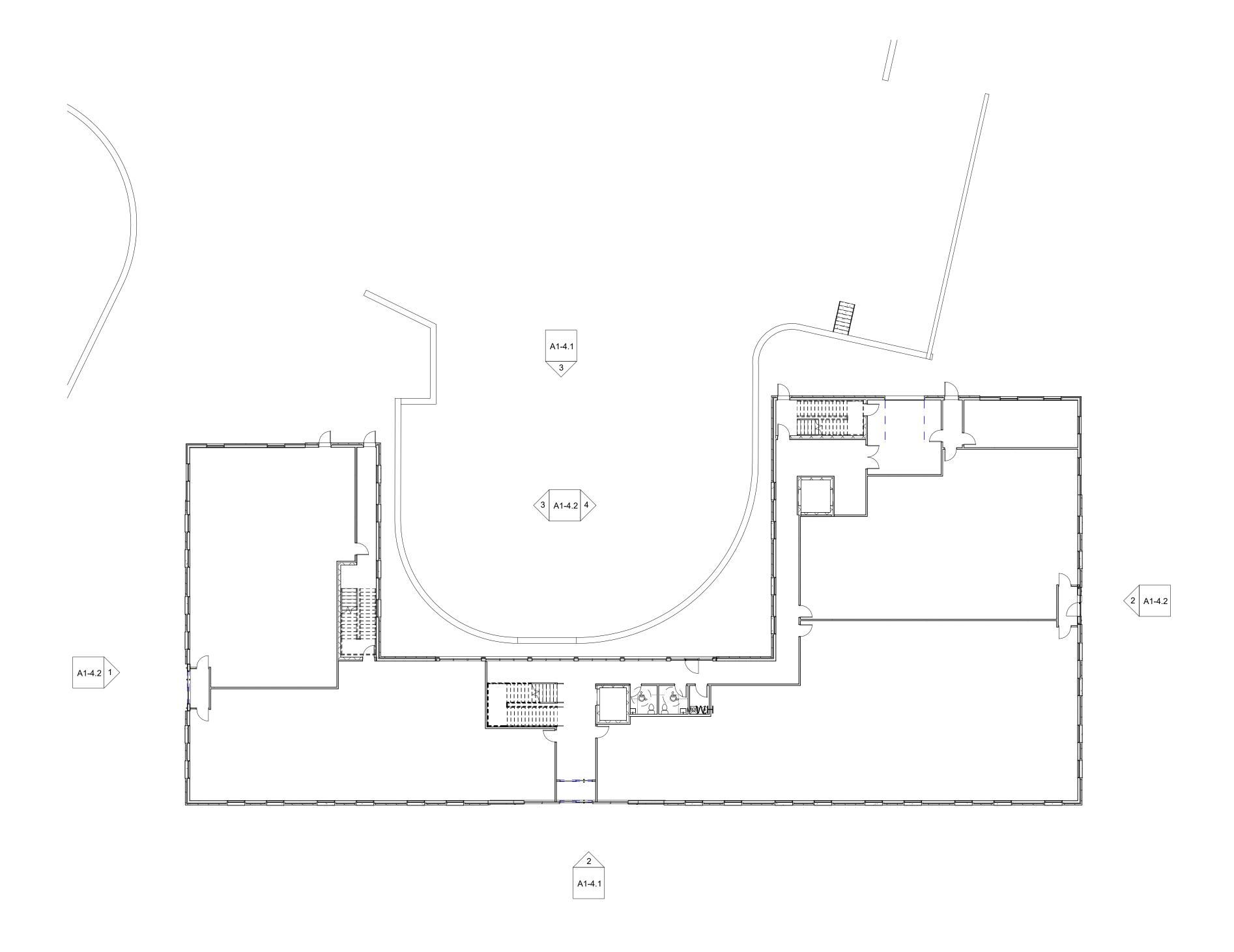
EXTERIOR SCHEDULES

Project number

A1-2

Scale

12" = 1'-0"



OVERALL FLOOR PLAN - KEY PLAN

1/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



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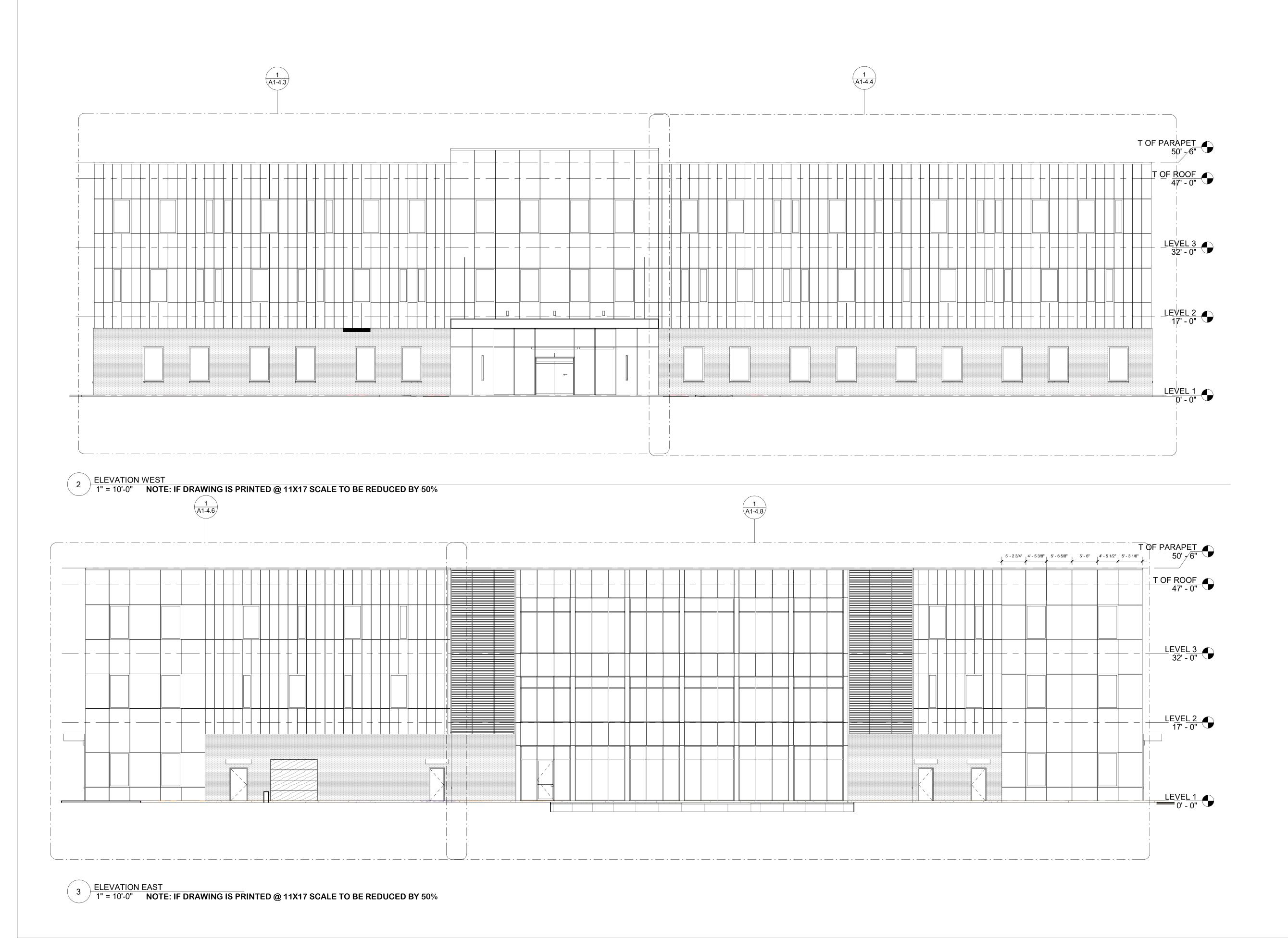
| EXTER | IOR |
|-------|-----|
| VIEWS | KEY |

Project number

A1-3

Scale





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360 CORPORATE DR. PORTSMOUTH , NH 03801

CLIENT APPROVAL

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I UNDERSTAND ANY CHANGES HEREIN WILL RESULT IN ADDITIONAL COSTS AND TIME EXTENSIONS

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DATE

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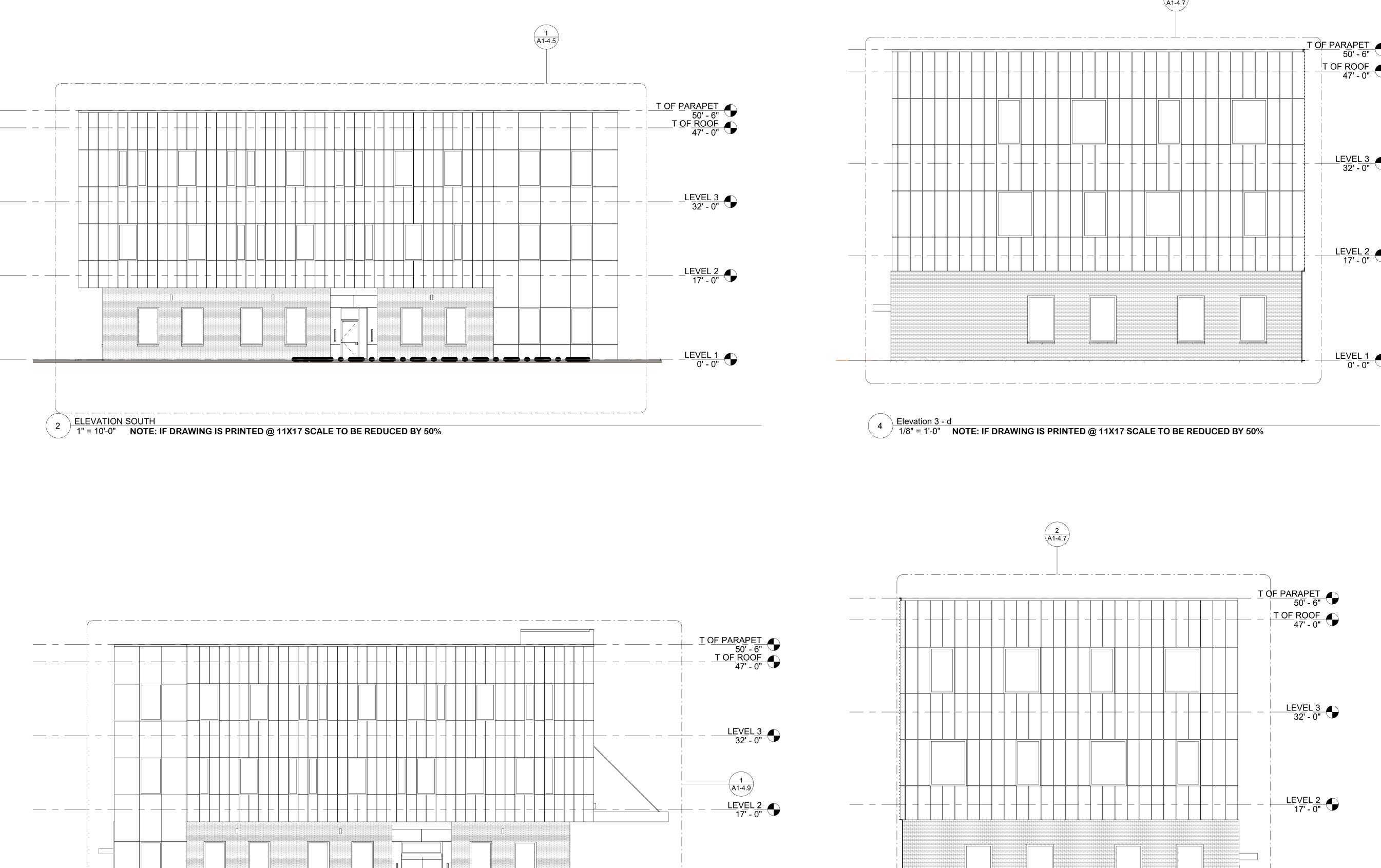
OVERALL EXTERIOR ELEVATIONS

Project number

A1-4.1

Scale

1" = 10'-0"



LEVEL 1 0' - 0"

ELEVATION NORTH

1" = 10'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

 $\begin{pmatrix} 1 \\ A1-4.7 \end{pmatrix}$ T OF PARAPET 50' - 6" T OF ROOF 47' - 0" LEVEL 3 32' - 0" 9550 W.Higgins Rd. 170 Rosemont, IL 60018 LEVEL 2 17' - 0" DR. ALEX SLOCUM 360 CORPORATE DR. PORTSMOUTH , NH 03801 **CLIENT APPROVAL** APPROVED AS SHOWN LEVEL 1 0' - 0" ☐ APPROVED WITH CHANGES I UNDERSTAND ANY CHANGES HEREIN WILL RESULT IN ADDITIONAL COSTS AND TIME EXTENSIONS SIGNATURE: DATE:_ SEAL: DISCLAIMER: All drawings are proprietary and the exclusive property of our company. This/These print(s) shall not be shared,

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OVERALL **EXTERIOR ELEVATIONS**

Project number

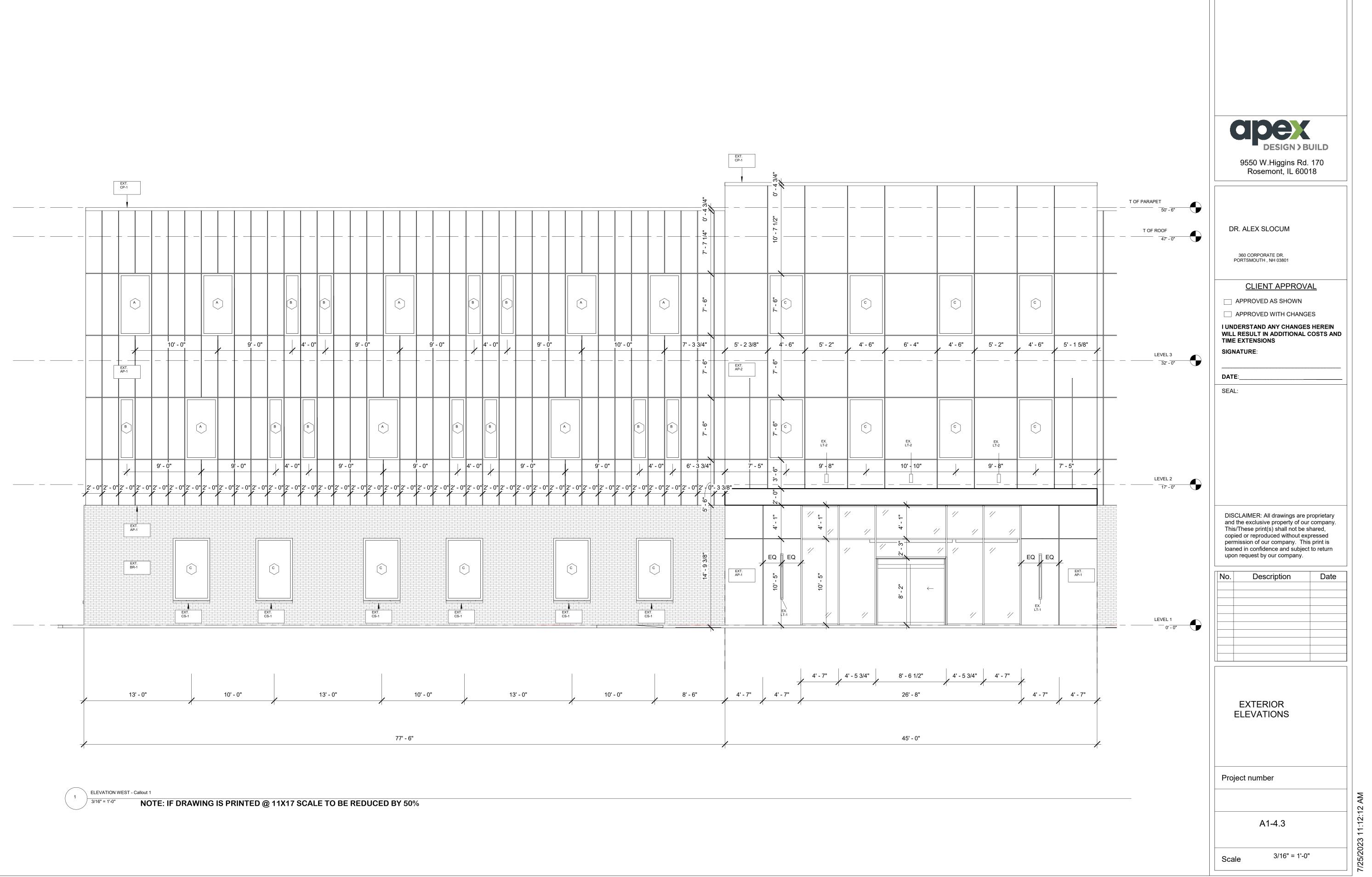
LEVEL 1 0' - 0"

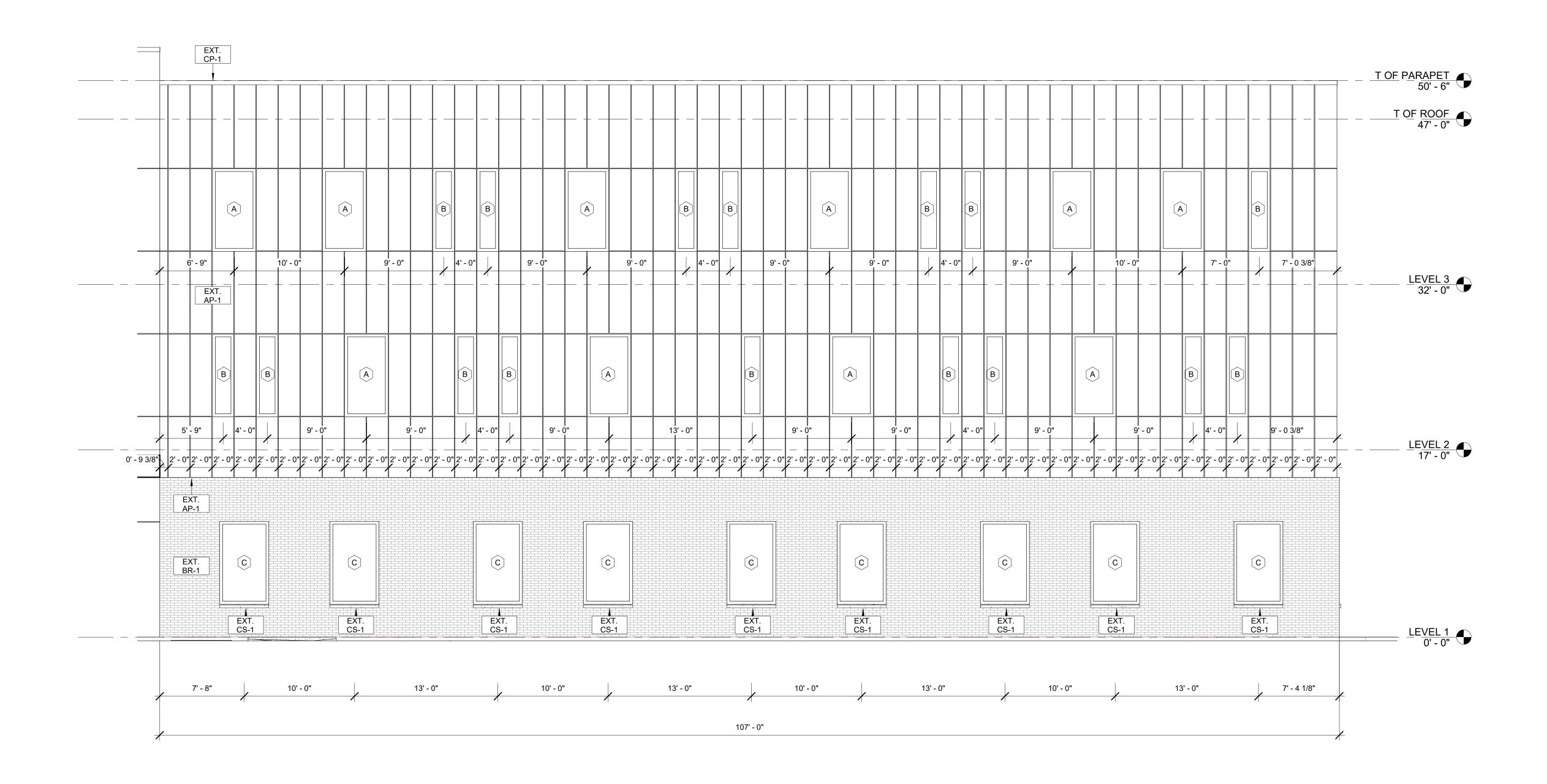
Elevation 3 - b

1/8" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

A1-4.2

As indicated





ELEVATION WEST - Callout 2
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%

CIPEX DESIGN > BUILL

9550 W.Higgins Rd. 170 Rosemont, IL 60018

DR. ALEX SLOCUM

360 CORPORATE DR. PORTSMOUTH , NH 03801

CLIENT APPROVAL

___ APPROVED AS SHOWN

☐ APPROVED WITH CHANGES

I UNDERSTAND ANY CHANGES HEREIN WILL RESULT IN ADDITIONAL COSTS AND TIME EXTENSIONS

SIGNATURE:

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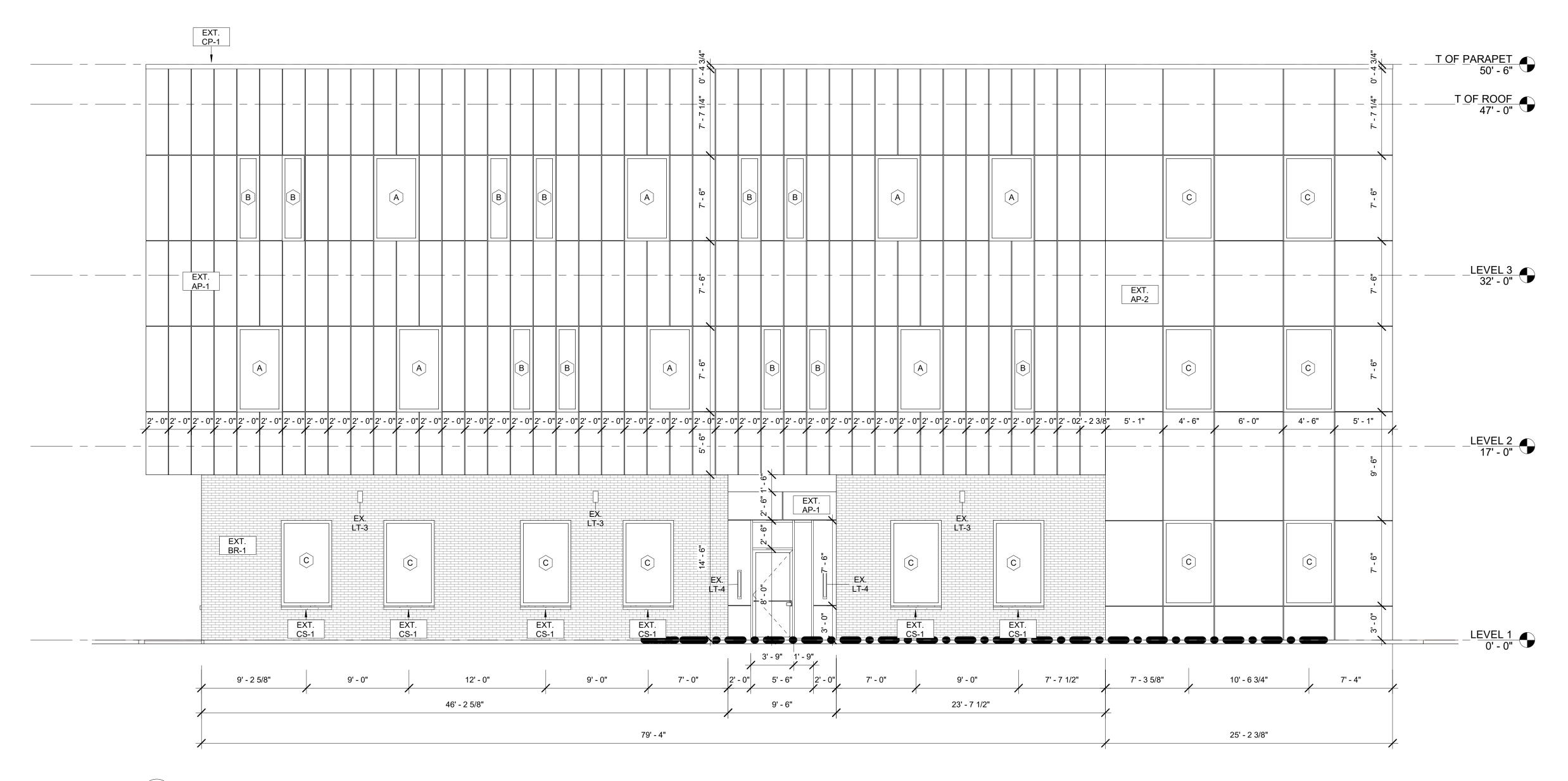
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EXTERIOR ELEVATIONS

Project number

A1-4.4

Scale



1 ELEVATION SOUTH - Callout 1
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



DR. ALEX SLOCUM

360 CORPORATE DR. PORTSMOUTH , NH 03801

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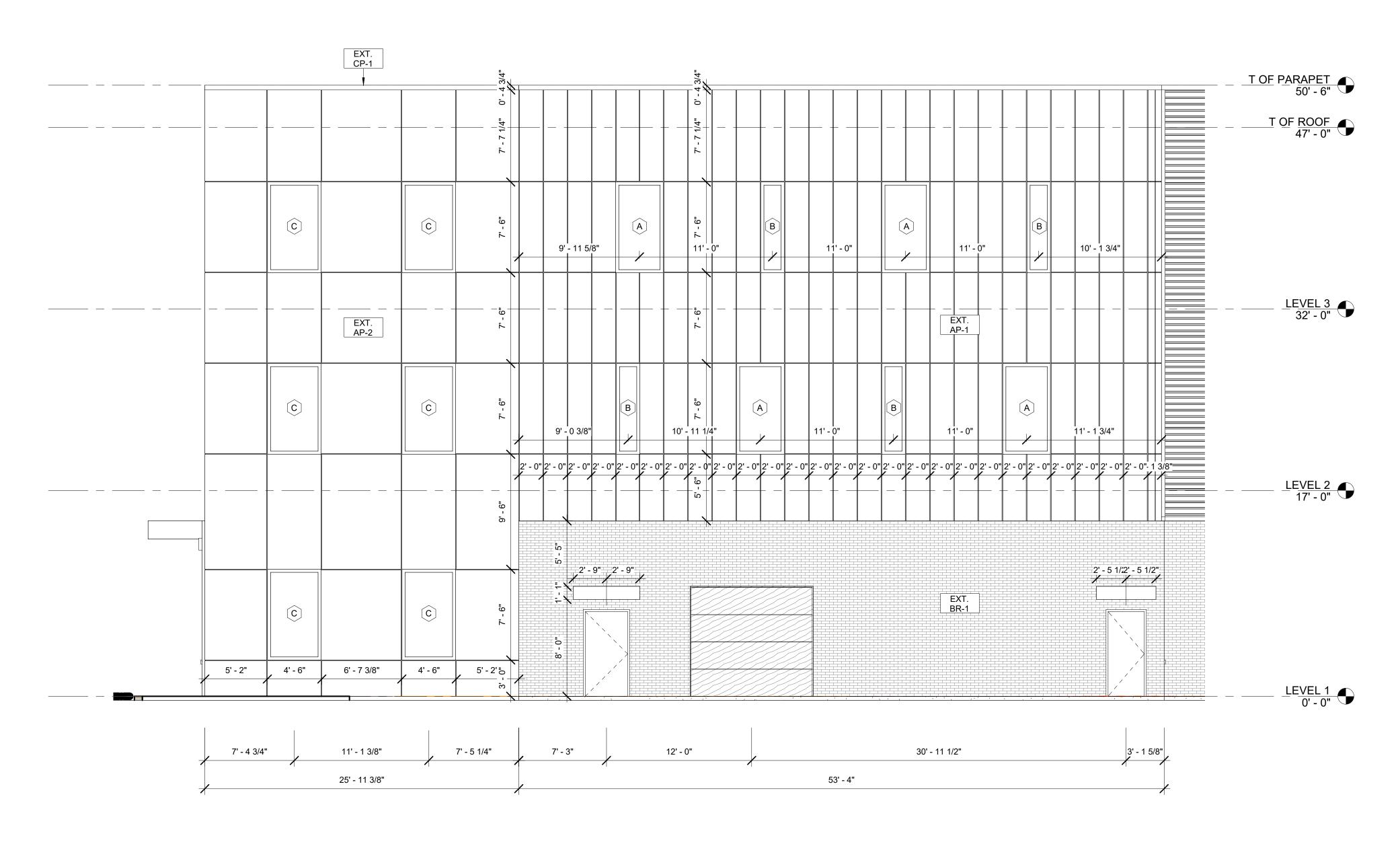
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Project number

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Scale



1 ELEVATION EAST - Callout 1
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



DR. ALEX SLOCUM

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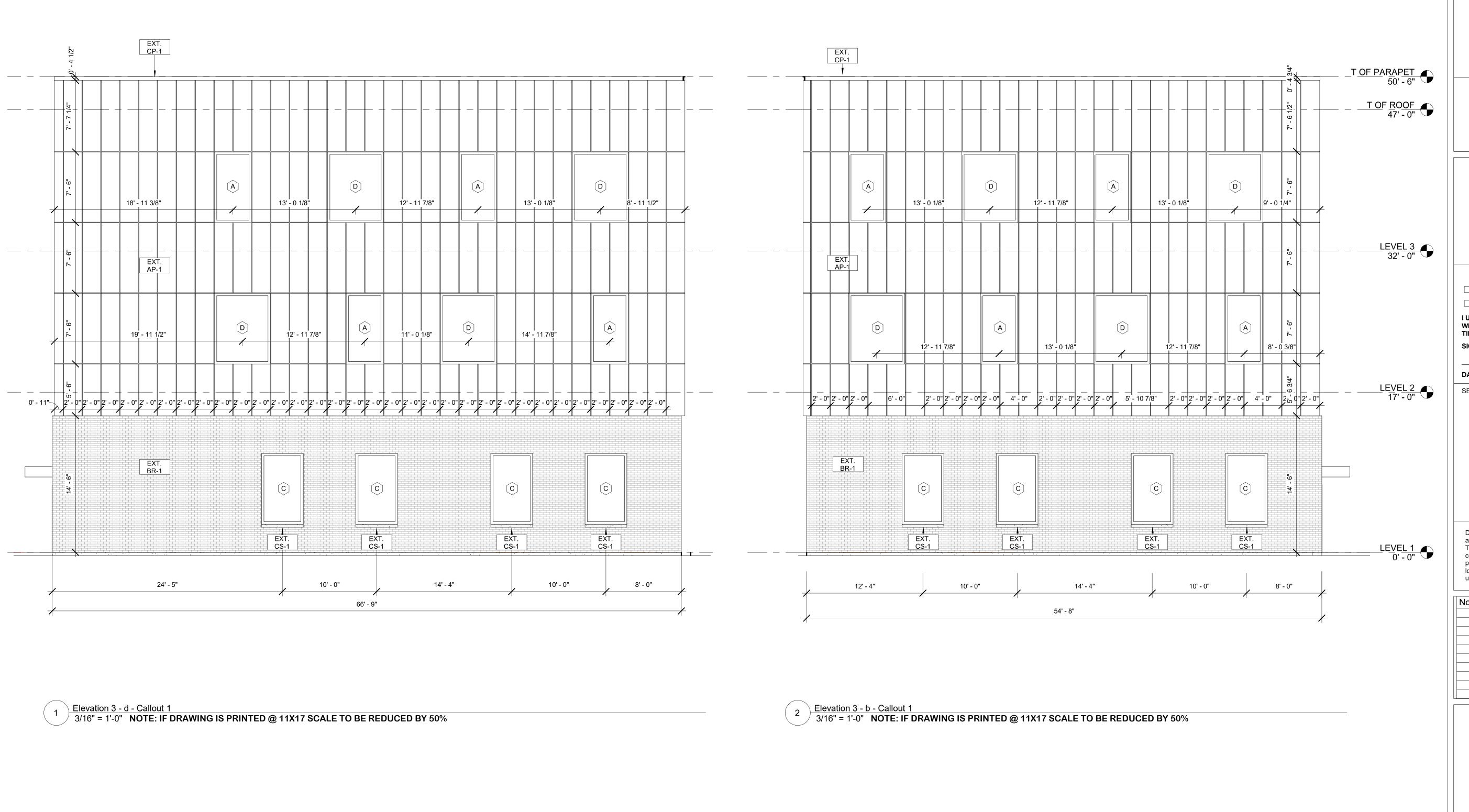
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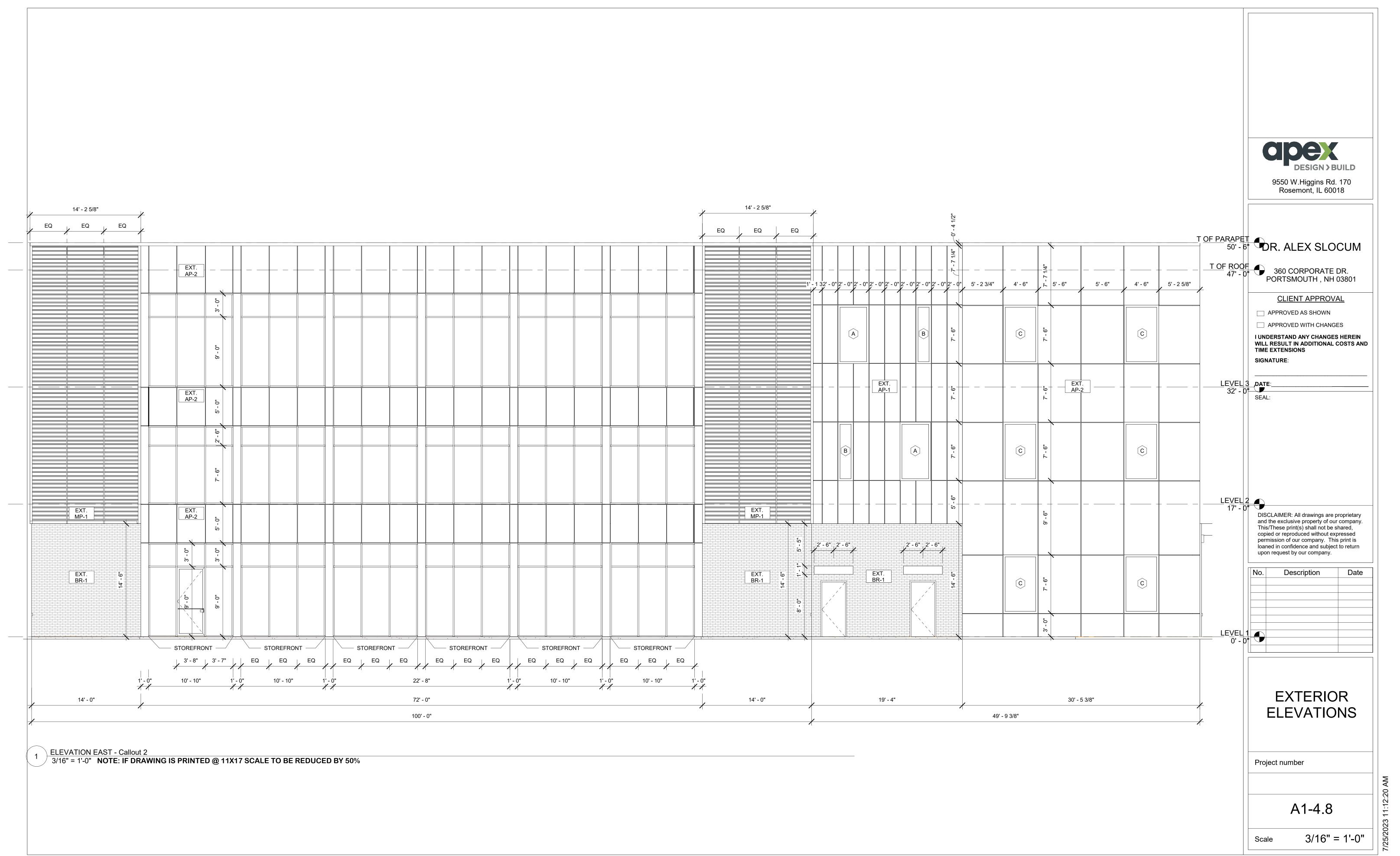


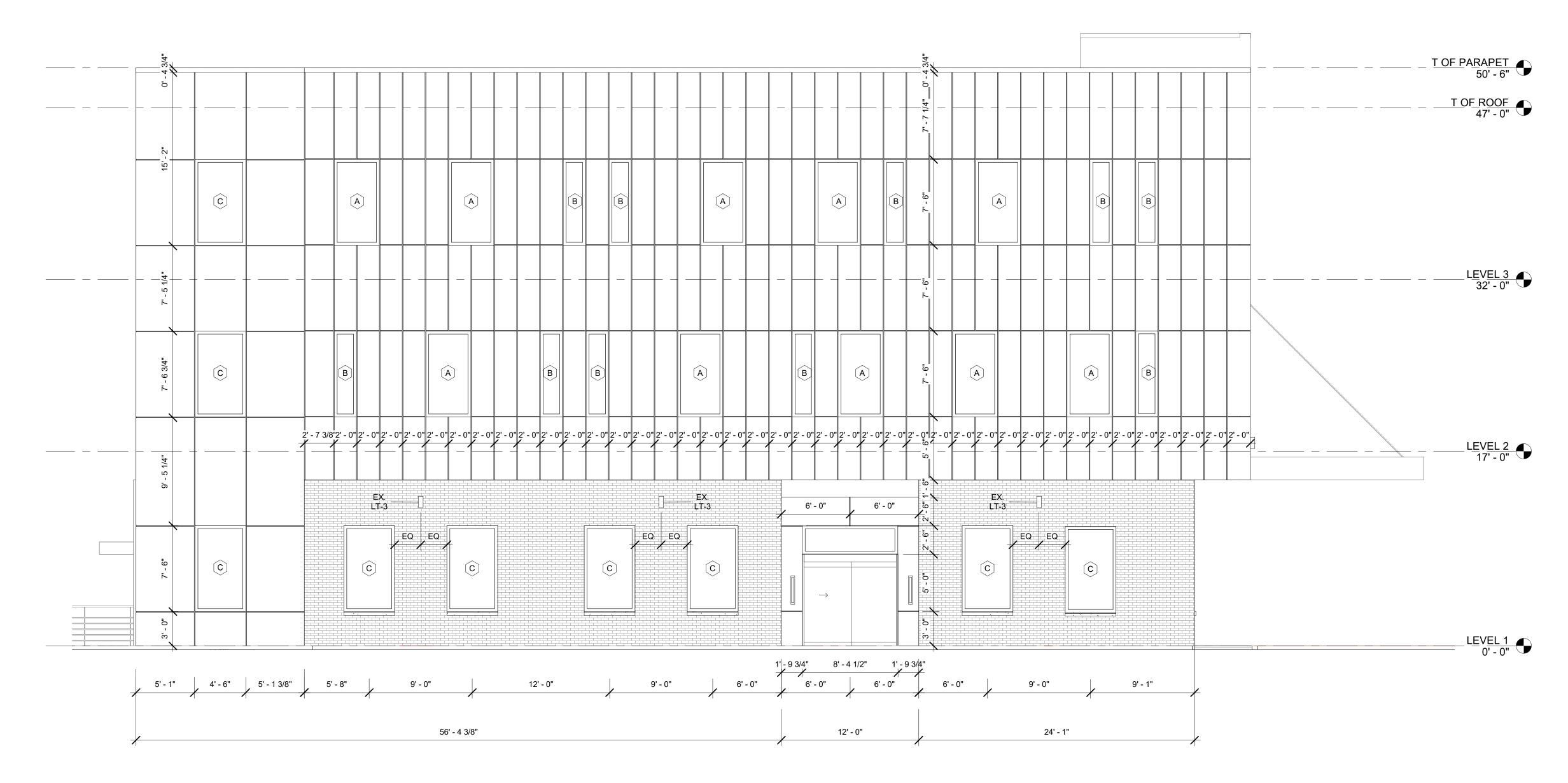
9550 W.Higgins Rd. 170 Rosemont, IL 60018 DR. ALEX SLOCUM 360 CORPORATE DR. PORTSMOUTH , NH 03801 **CLIENT APPROVAL** APPROVED AS SHOWN ☐ APPROVED WITH CHANGES I UNDERSTAND ANY CHANGES HEREIN WILL RESULT IN ADDITIONAL COSTS AND TIME EXTENSIONS SIGNATURE: DATE:__ SEAL: DISCLAIMER: All drawings are proprietary and the exclusive property of our company. This/These print(s) shall not be shared, copied or reproduced without expressed permission of our company. This print is loaned in confidence and subject to return upon request by our company. Description Date

> EXTERIOR ELEVATIONS

Project number

A1-4.7





1 ELEVATION NORTH - Callout 1
3/16" = 1'-0" NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%



9550 W.Higgins Rd. 170 Rosemont, IL 60018

DR. ALEX SLOCUM

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EXTERIOR ELEVATIONS

Project number

A1-4.9

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C5194-001 August 1, 2023

Mr. Peter Britz, Director of Planning & Sustainability City of Portsmouth Planning & Sustainability Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

Request for TAC Work Session Re: Proposed Single-Family Subdivision, Shearwater Drive, Portsmouth, NH

Dear Peter,

On behalf of Chinburg Properties (applicant), we are pleased to submit the following information to support a request to meet with the Technical Advisory Committee (TAC) at their next scheduled Work Session for the above referenced project:

- One (1) full size & one (1) half size copy of the Site Plan Set, dated August 1, 2023;
- One (1) copy of the Owner Authorization Letter, dated August 1, 2023;
- One (1) copy of the Applicant Authorization Letter, dated August 1, 2023:
- One (1) copy of the Prototypical Architectural Plans, dated August 1, 2023:

The proposed project is located along Shearwater Drive on a parcel of land identified as Map 217 Block 2 Lot 1900 on the City of Portsmouth Tax Maps. The existing parcel had seven (7) existing buildings consisting of (5) duplexes, (1) 4-unit, and (1) 6-unit buildings that were previously demolished earlier this year. The project includes the subdivision of the 2.23 acre lot into nine (9) Single-Family lots and the construction of the associated residential buildings, stormwater management, landscaping, and utilities.

The proposed project will require Site Plan Review Permit and Subdivision Permit approvals from the Planning Board. The applicant would like to solicit feedback from City staff on the project prior to submitting the formal applications for those permits. Thus, the applicant respectfully requests to meet with TAC at their next scheduled Work Session on August 8, 2023. If you have any questions or need any additional information, please contact Neil Hansen by phone at (603) 433-8818 or by email at nahansen@tighebond.com.

Sincerely,

TIGHE & BOND, INC.

Patrick M. Crimmins, PE

Vice President

Copy: Chinburg Properties (via email)

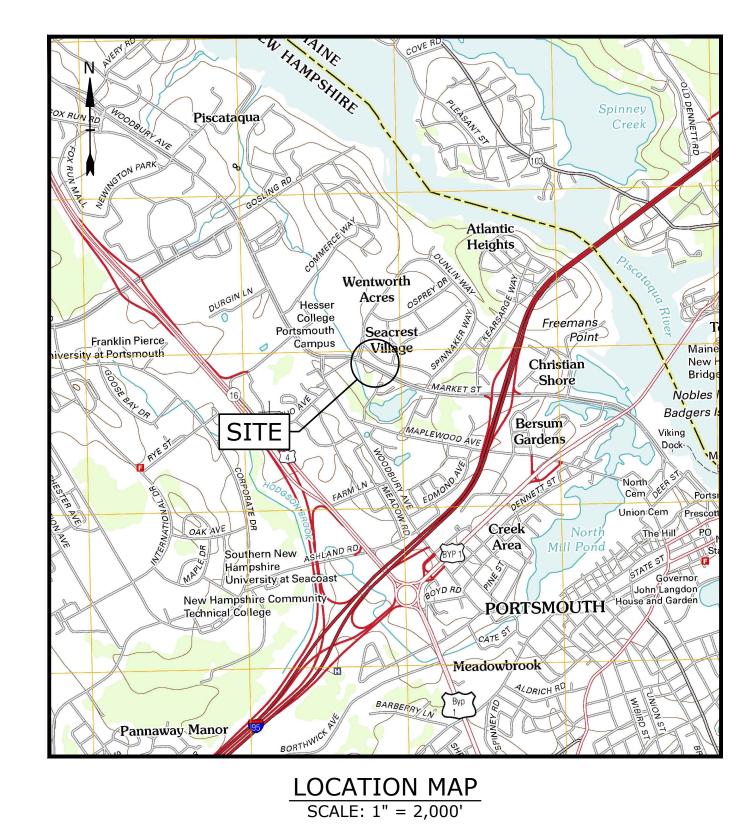
Neil A. Hansen, PE Project Manager

PROPOSED SINGLE-FAMILY SUBDIVISION

SHEARWATER DRIVE PORTSMOUTH, NEW HAMPSHIRE AUGUST 1, 2023

DRAFT

| LIST OF DRAWINGS | | | |
|---------------------|---|--------------|--|
| SHEET NO. | SHEET TITLE | LAST REVISED | |
| | COVER SHEET | 8/1/2023 | |
| 1 OF 1 | EXISTING CONDITIONS PLAN | 7/19/2023 | |
| G-100 | GENERAL NOTES AND LEGEND | 8/1/2023 | |
| C-101 | EXISTING CONDITIONS & DEMOLITION PLAN 8 | | |
| C-102 | SITE PLAN | 8/1/2023 | |
| C-103 | GRADING & DRAINAGE PLAN 8/1/2 | | |
| C-104 | UTILITIES PLAN 8/ | | |
| C-501 | EROSION CONTROL NOTES AND DETAILS SHEET | | |
| C-502 | DETAILS SHEET | 8/1/2023 | |
| C-503 | C-503 DETAILS SHEET 8/1/2023 | | |
| C-504 DETAILS SHEET | | 8/1/2023 | |



PREPARED BY:

Tighe&Bond

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

OWNER:

BANTRY BAY ASSOCIATION LLC

540 NORTH COMMERCIAL ST MANCHESTER, NH 03101

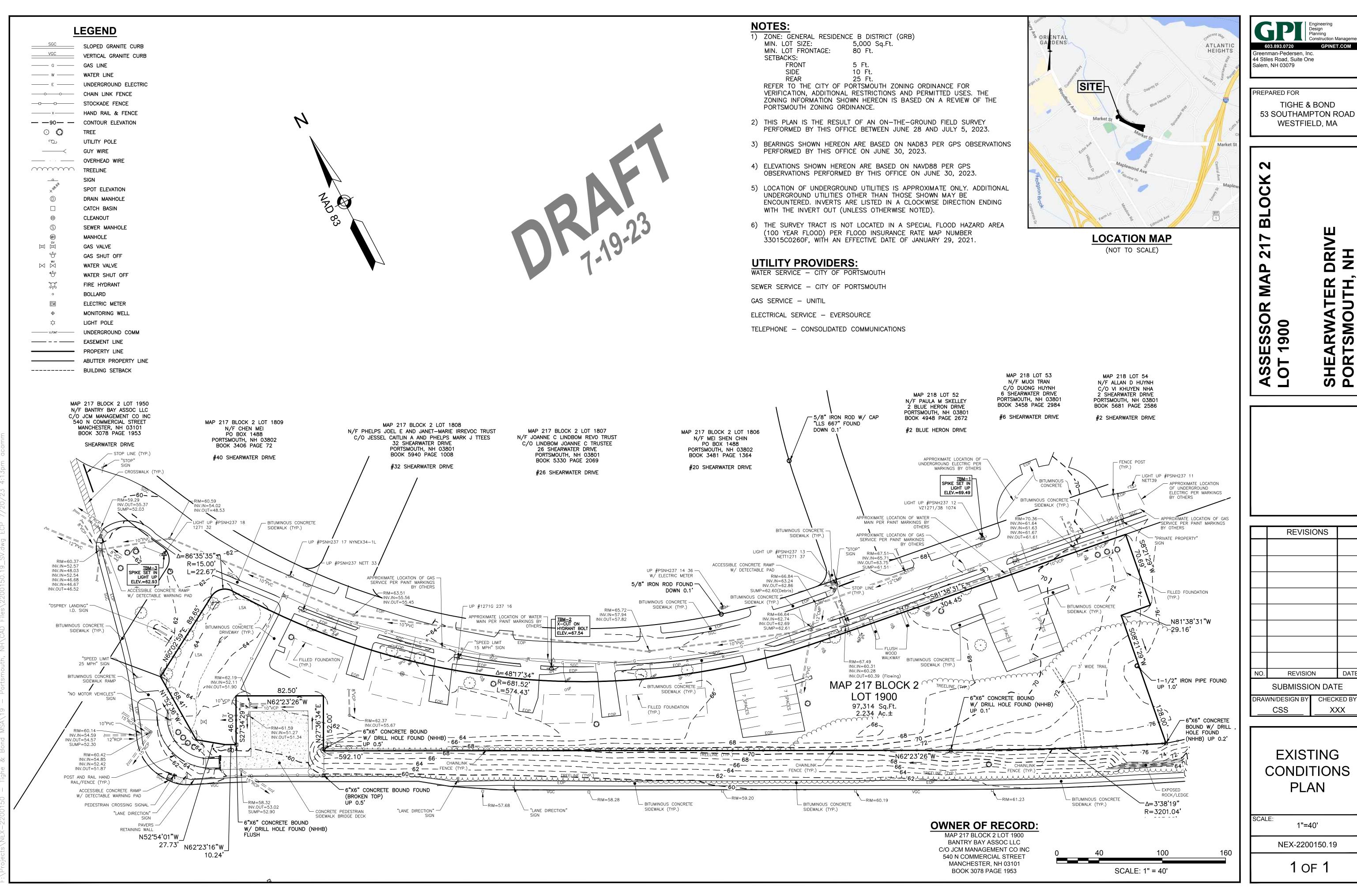
APPLICANT:

CHINBURG PROPERTIES

3 PENSTOCK WAY NEWMARKET, NH 03857

| LIST OF PERMITS | | | |
|-------------------------|---------------|------|--|
| LOCAL | STATUS | DATE | |
| SITE PLAN REVIEW PERMIT | NOT SUBMITTED | | |
| SUBDIVISION PERMIT | NOT SUBMITTED | | |
| FEDERAL | | | |
| EPA - NPDES CGP (SWPPP) | NOT SUBMITTED | | |

TAC WORK SESSION SUBMISSION
COMPLETE SET 11 SHEETS



53 SOUTHAMPTON ROAD

DATE CHECKED BY XXX

CONDITIONS

GENERAL NOTES:

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 2. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 3. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES. 4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE
- COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT
- 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING
- 7. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL
- COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER. 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
- 9. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND
- 11. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT
- IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. 12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
- 13. APPLICANT SHALL SUBMIT, AS PART OF THE FINAL POST APPROVAL PROCEDURES, RELEVANT PTAP INFORMATION USING THE MOST RECENT ONLINE DATA PORTAL CURRENTLY MANAGED BY THE UNH STORMWATER CENTER. THE PLANNING DEPARTMENT SHALL BE NOTIFIED AND COPIED OF THE PTAP DATA SUBMITTAL.

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES. 2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL
- 3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY. 4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR
- REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. 5. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE
- PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE
- THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS. 7. ALL UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
- 8. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- 9. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID. 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED
- TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING. 11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN
- LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS. 12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED
- 13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN
- DEPTH OF THE BARRIER 14. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- 15. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 16. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- 3. SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.

SURVEYOR TO REPLACE DISTURBED MONUMENTS.

- 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- 6. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS. 7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 8. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- 9. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- 10. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- 11. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- 12. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 13. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN
- REVIEW REGULATIONS. 14. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND
- RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER FITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
- 15. ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.

GRADING AND DRAINAGE NOTES:

- 1. COMPACTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIAL AND
- SAND BLANKET BACKFILL 95% BELOW LOAM AND SEED AREAS
- * ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) UNLESS OTHERWISE SPECIFIED.
- 3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- 5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH. 6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND
- BRIDGES, LATEST EDITION. 7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.

EROSION CONTROL NOTES

1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

 COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY. • NATURAL GAS - UNITIL

- WATER/SEWER CITY OF PORTSMOUTH • ELECTRIC - EVERSOURCE
- COMMUNICATIONS COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT
- 2. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE. 3. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT. 4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 5. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 6. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
- 7. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 8. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL
- APPLICABLE STATE AND LOCAL CODES. 9. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND
- THE APPLICABLE UTILITY COMPANIES. 10. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 11. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND
- OPERATIONAL. 12. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 13. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS
- 14. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- 15. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 16. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 17. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.

18. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER

EXISTING CONDITIONS PLAN NOTES:

1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY GPI, SEE REFERENCE PLAN #1.

REFERENCE PLANS:

1. "EXISTING CONDITIONS PLAN - MAP 217 BLOCK 2 LOT 1900" PREPARED BY GPI, DATED JULY 19, 2023.

ABBREVIATIONS

TO BE REMOVED BLDG BUILDING TYPICAL **GROSS FOOT PRINT** COORD COORDINATE 30'R CURB RADIUS VERTICAL GRANITE CURB SLOPED GRANITE CURB TOP OF CURB BOTTOM OF CURB HIGH-DENSITY POLYETHYLENE HDPE FINISH FLOOR VIF VERIFY IN FIELD

<u>LEGEND</u>

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14.50 —____

(14.50)

---OHW-----

PROPOSED SAWCUT LIMIT OF WORK PROPOSED SILT SOCK

APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED

PROPOSED CONSTRUCTION EXIT

EXISTING PROPERTY LINE PROPOSED PROPERTY LINE PROPOSED EDGE OF PAVEMENT PROPOSED CURB

PROPOSED BUILDING

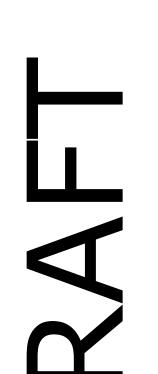
PROPOSED BITUMINOUS PAVEMENT SECTION

PROPOSED BITUMINOUS SIDEWALK SECTION

PROPOSED MILL AND OVERLAY SECTION

PROPOSED DRIP EDGE

PROPOSED MAJOR CONTOUR LINE PROPOSED MINOR CONTOUR LINE PROPOSED DRAIN LINE (TYP) INLET PROTECTION SILT SACK PROPOSED CATCHBASIN PROPOSED DRAIN MANHOLE PROPOSED YARD DRAIN EXISTING STORM DRAIN EXISTING SANITARY SEWER EXISTING WATER EXISTING GAS EXISTING UNDERGROUND ELECTRIC EXISTING OVERHEAD UTILITY PROPOSED SANITARY SEWER PROPOSED WATER PROPOSED GAS APPROXIMATE SANITARY SEWER APPROXIMATE WATER APPROXIMATE STORM DRAIN EXISTING CATCHBASIN EXISTING DRAIN MANHOLE EXISTING SEWER MANHOLE EXISTING WATER VALVE EXISTING HYDRANT EXISTING ELECTRIC MANHOLE EXISTING TELEPHONE MANHOLE PROPOSED SEWER MANHOLE PROPOSED WATER VALVE PROPOSED HYDRANT PROPOSED LIGHT POLE BASE PROPOSED SPOT GRADES EXISTING SPOT GRADES



PROPOSED |SINGLE-FAMILY **SUBDIVISION**

CHINBURG **PROPERTIES**

SHEARWATER DRIVE, PORTSMOUTH, NH

| IARK | DATE | DESCRIPTION |
|------------|------|--------------------|
| ROJECT NO: | | C5194-001 |
| ATE: | | 08/01/2023 |
| ILE: C5 | | 194-001_C-DSGN.dwg |

GENERAL NOTES

NHW/C1K

NAH

PMC

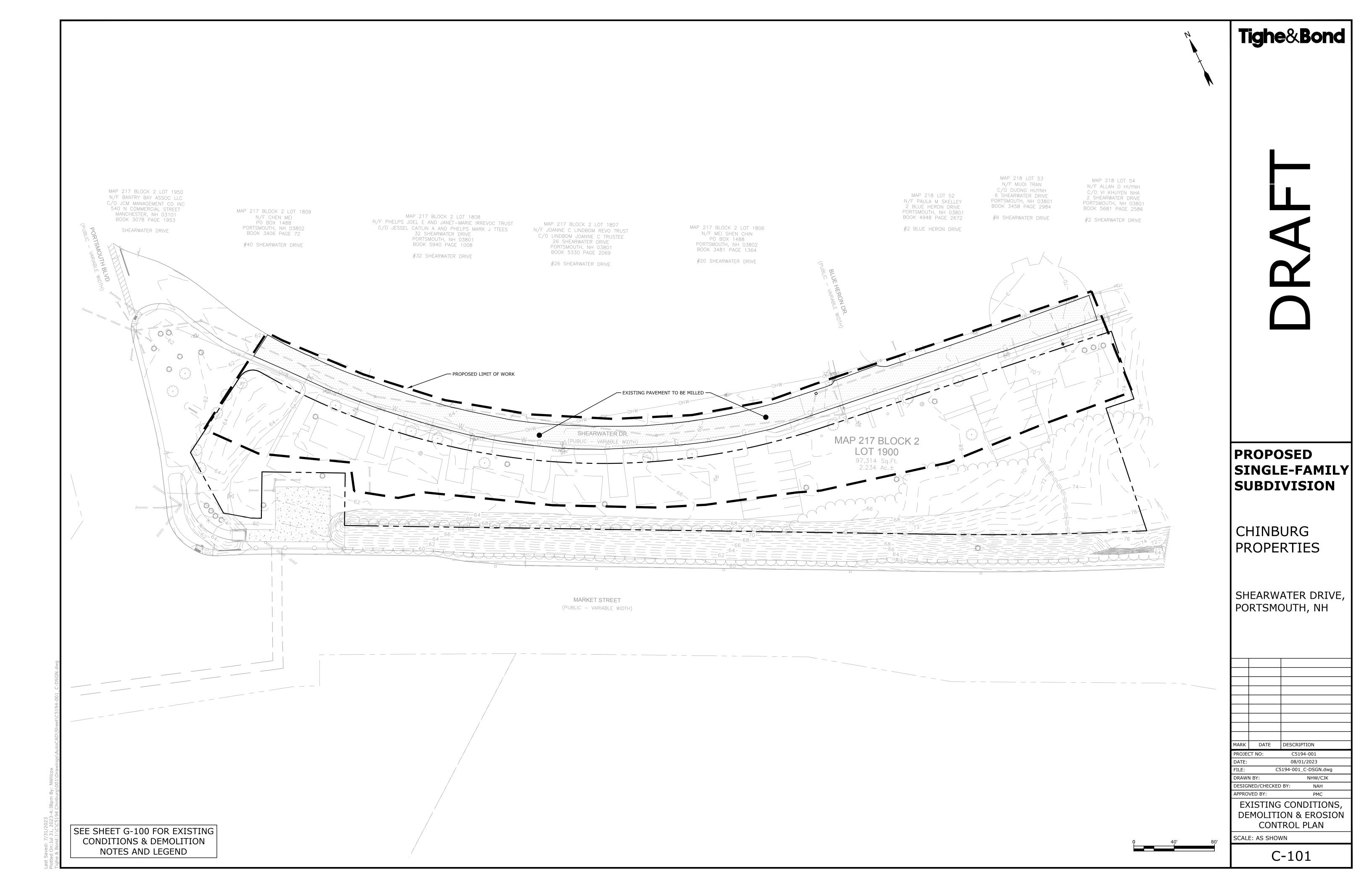
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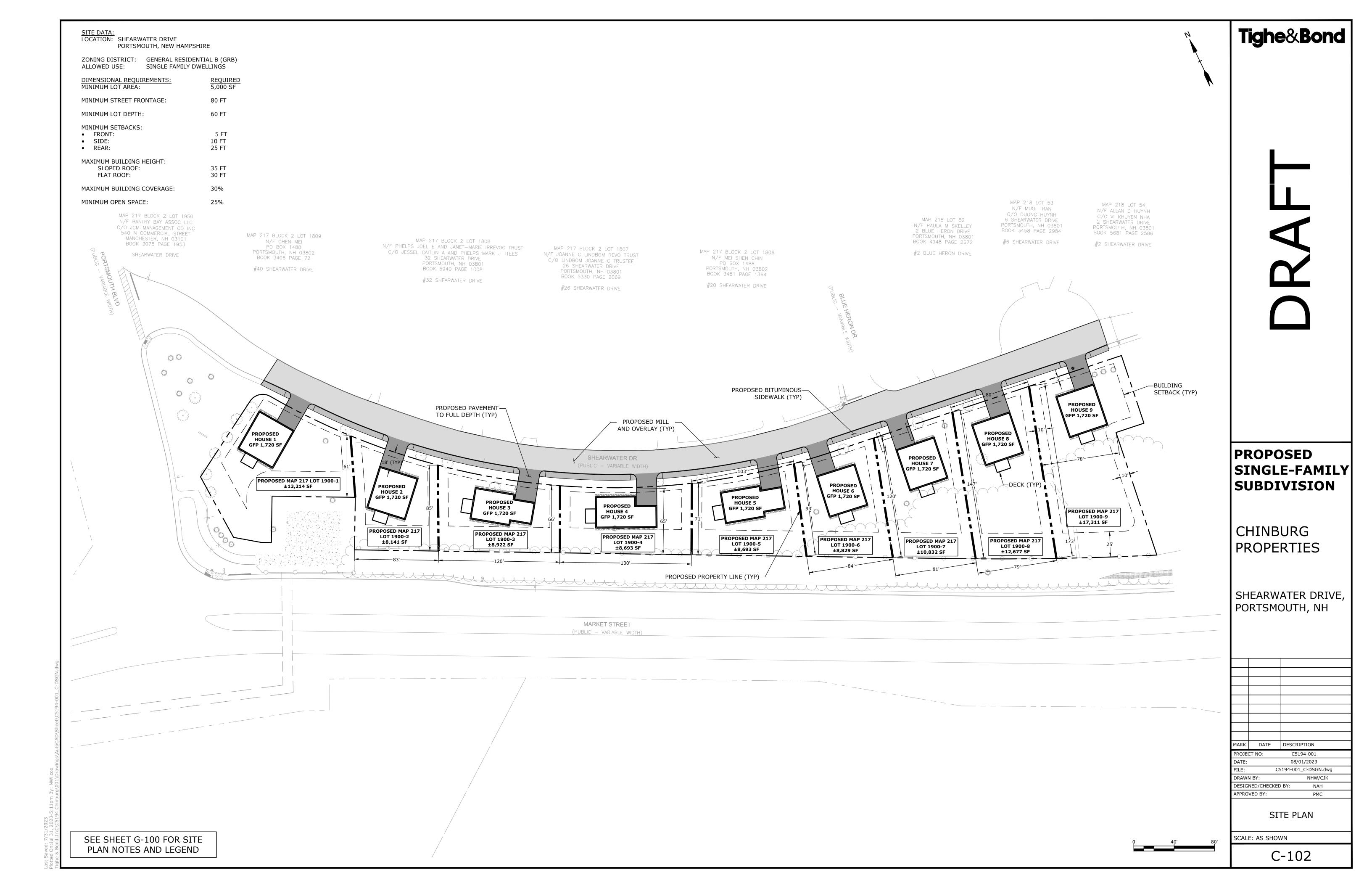
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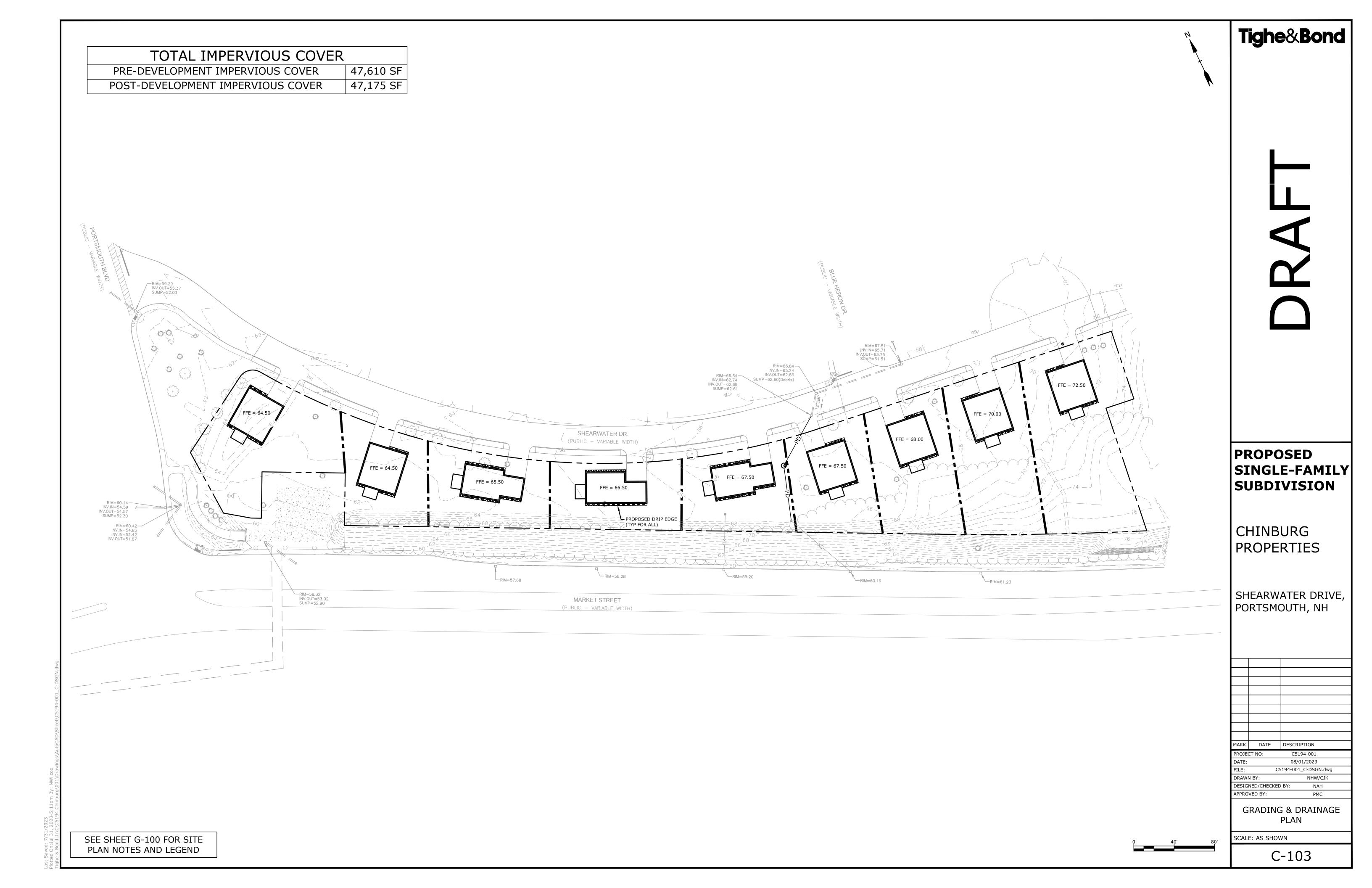
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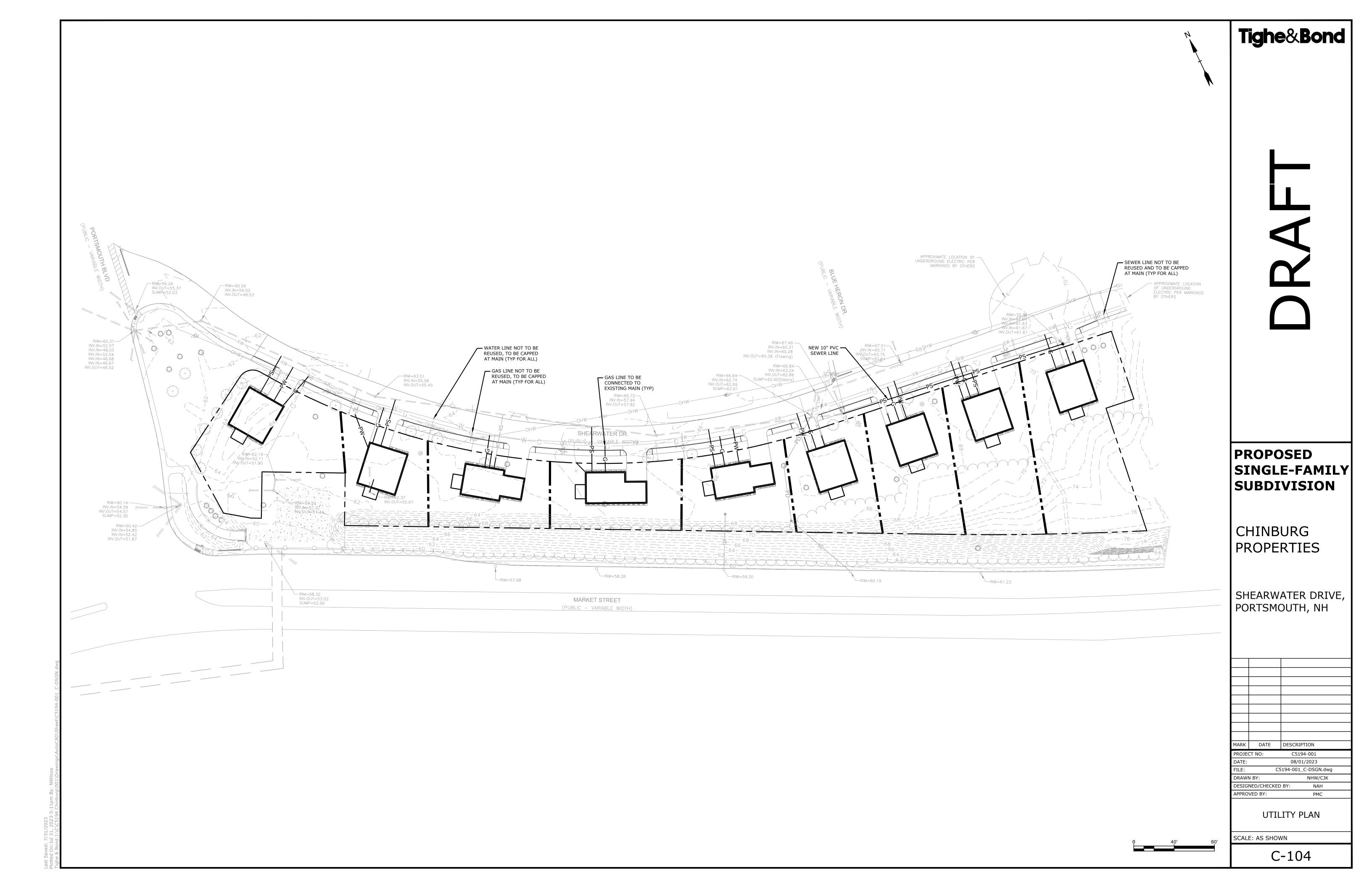
APPROVED BY:

G-100









PROJECT APPLICANT: CHINBURG PROPERTIES 3 PENSTOCK WAY

NEWMARKET, NH 03857 PROJECT NAME: PROPOSED SINGLE-FAMILY SUBDIVISION

PROJECT MAP / LOT: MAP 217 BLOCK 2 / LOT 1900 PROJECT ADDRESS: SHEARWATER DRIVE

PORTSMOUTH, NH 03801 PROJECT LATITUDE: 43°-05'-10" N

PROJECT LONGITUDE: 70°-46'-59" W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF SUBDIVIDING THE EXISTING LOT INTO NINE (9) INDIVIDUAL PARCELS, THEN CONSTRUCTING A SINGLE-FAMILY HOME ON EACH. THE PROJECT ALSO CONSISTS OF IMPROVEMENTS TO SHEARWATER DRIVE.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 2.1 ACRES.

SOIL CHARACTERISTICS

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH IS EXCESSIVELY DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF X.

NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH'S CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO NORTH MILL POND THEN TO THE PISCATAQUA RIVER OR DIRECTLY TO THE PISQUATAQUA

CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

CUT AND CLEAR TREES.

- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
- NEW CONSTRUCTION
- CONTROL OF DUST
- CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES
- SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED. SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL
- SOILS ARE STABILIZED.
- 0. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 13. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

SPECIAL CONSTRUCTION NOTES: THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT

OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE <u>STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING</u> CONSTRUCTION" PREPARED BY THE NHDES.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH
- BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND
- INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.

CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED: C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.
- WINTER STABILIZATION PRACTICES:
- A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES 1. FIRE-FIGHTING ACTIVITIES; OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE **USED INCLUDE:**
- A. TEMPORARY SEEDING; B. MULCHING.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES

PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED. 6. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES,

PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
- 2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
- 3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND
- 2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- 3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE

INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.

4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES

OFF SITE VEHICLE TRACKING:

. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

TEMPORARY GRASS COVER: A. SEEDBED PREPARATION

- a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
- a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
- b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN
- SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED; APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;

C. MAINTENANCE:

TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK

VEGETATIVE PRACTICE

- A. FOR PERMANENT MEASURES AND PLANTINGS:
- a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
- b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
- c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
- d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
- HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE; THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REOUIRED. WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY

AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED,

- AND ALL NOXIOUS WEEDS REMOVED; g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL
- ACCEPTED; h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:
 - APPLICATION RATE CREEPING RED FESCUE 20 LBS/ACRE
 - TALL FESCUE 20 LBS/ACRE 2 LBS/ACRE REDTOP
- IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
- 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
- A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
- A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
- B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS; D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES:

2. FIRE HYDRANT FLUSHING;

- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED; WATER USED TO CONTROL DUST;
- 5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED; 7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- 9. UNCONTAMINATED GROUND WATER OR SPRING WATER; FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- 11. UNCONTAMINATED EXCAVATION DEWATERING; 12. LANDSCAPE IRRIGATION.

WASTE DISPOSAL: WASTE MATERIAL:

A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE

- DEPOSITED IN A DUMPSTER;
- B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE; C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR
- WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE: A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED
- BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT
- A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF
- ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL,

- STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW. 2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND
 - SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE
 - FOLLOWED ON SITE DURING CONSTRUCTION: a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON
 - b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE,
 - UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE; c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
 - d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND
 - DISPOSAL OF MATERIALS; e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY
 - THE MANUFACTURER; f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF
 - THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF
 - REGULATED SUBSTANCES. B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
 - a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
 - b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION; c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING
 - TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
 - a. PETROLEUM PRODUCTS: i. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR
 - PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
 - ii. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. iii. SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
 - v. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM

iv. INSPECT FUEL STORAGE AREAS WEEKLY;

USE;

FOR THIS PURPOSE;

E. VEHICLE FUELING AND MAINTENANCE PRACTICE:

- PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS; vi. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS vii. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS,
- OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED. viii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE: (1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED
 - SUBSTANCES CLOSED AND SEALED;
 - (2) PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS; (3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN
 - (4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED
- (5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE. ix. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER
- CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.
- HTTPS://WWW.DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIP/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF b. FERTILIZERS: i. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY
- THE SPECIFICATIONS ii. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO
- STORMWATER; iii. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- c. PAINTS: i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR
- EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
- D. SPILL CONTROL PRACTICES IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP: a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY
- LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES; b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY

POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE

ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;

e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE

- d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
- APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED; f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
- a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY; b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS
- CLEAN AND DRY; c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED; d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
- e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE; f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

- **EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES**
- THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.
- 2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT
- SHALL BE FOLLOWED AS PART OF THIS PROJECT: A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25
- INCHES OR GREATER; AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED
- TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
- C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
- D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

(12" TYPICAL) AREA TO BE **WORK AREA** PROTECTED SOCK -STAKE ON 10' LINEAL SPACING FLOW / AREA TO BE **WORK AREA** PROTECTED **SIDE VIEW**

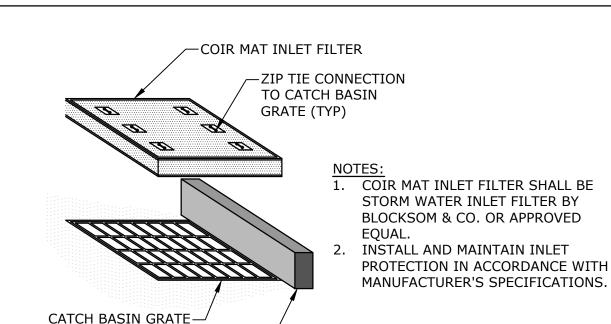
SILT SOCK-

PLAN VIEW

(DIMENSIONS VARY)

SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL. 2. INSTALL SILT SOCK IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

SILT SOCK



75' (MIN) (W/O BERM) 50' (MIN) WITH 3"-6" DIVERSION BERM PROVIDED FULL DRIVE WIDTH (10' MIN) PA VEMENT **PLAN VIEW** DIVERSION BERM-(OPTIONAL) 75' (MIN) (W/O BERM) 50' (MIN) WITH 3"-6" 3" CRUSHED DIVERSION BERM PROVIDED Ī"(MIN) PAVEMENT

INLET PROTECTION

NO SCALE

- MIRAFI FW-700

OR EQUAL 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT FROM THE SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS

SIDE VIEW

STABILIZED CONSTRUCTION EXIT NO SCALE

PROPOSED SINGLE-FAMILY **SUBDIVISION**

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

MARK DATE DESCRIPTION ROJECT NO: C5194-001 08/01/2023 C5194-001_C-DTLS.dwg DRAWN BY NHW/CJK

EROSION CONTROL NOTES AND DETAILS SHEET

NAH

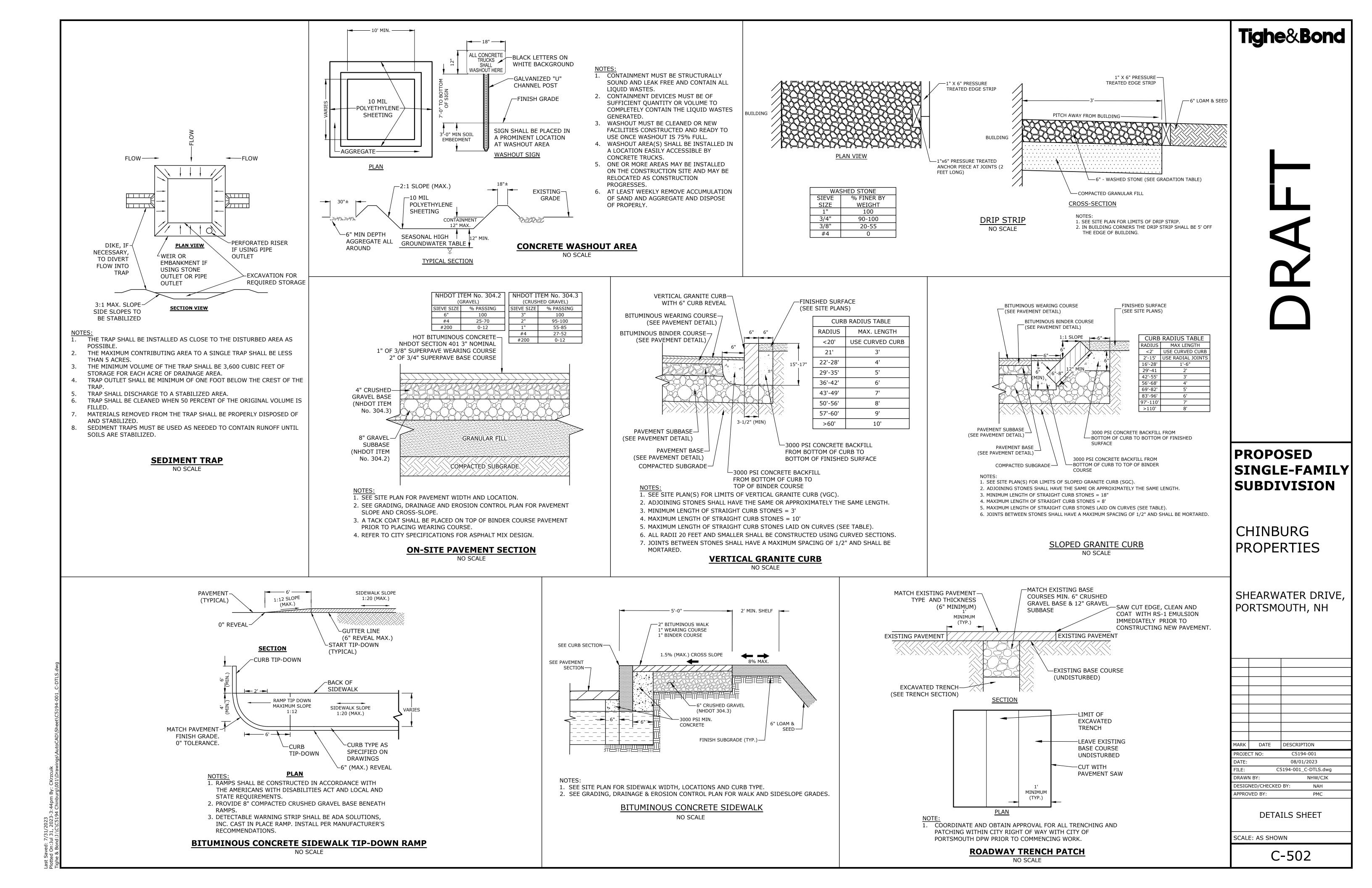
PMC

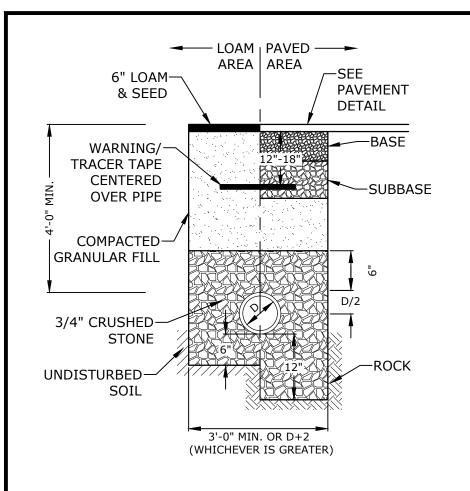
DESIGNED/CHECKED BY:

SCALE: AS SHOWN

APPROVED BY:

C-501

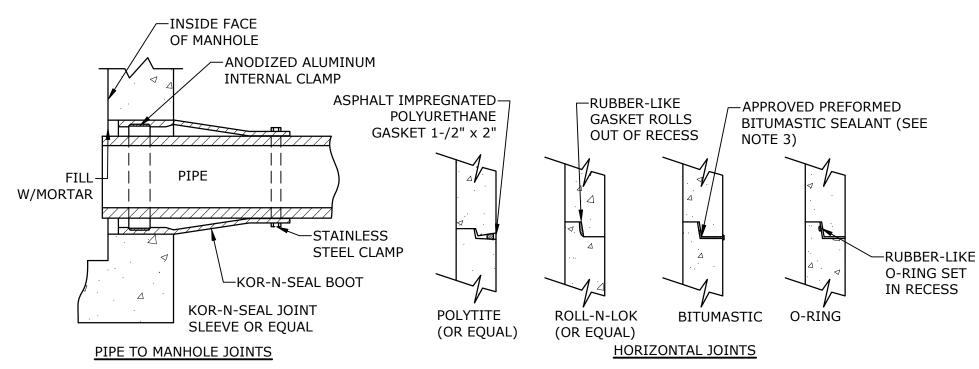




- CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
- ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

STORM DRAIN TRENCH

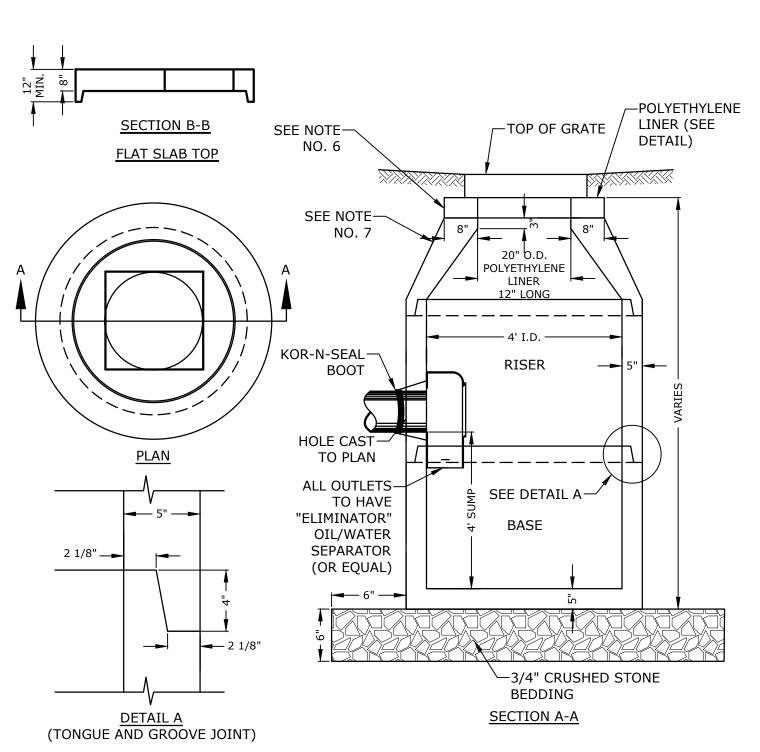
NO SCALE



- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS
- USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET. 2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
- 3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
- 4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH

MANUFACTURERS' WRITTEN INSTRUCTIONS.

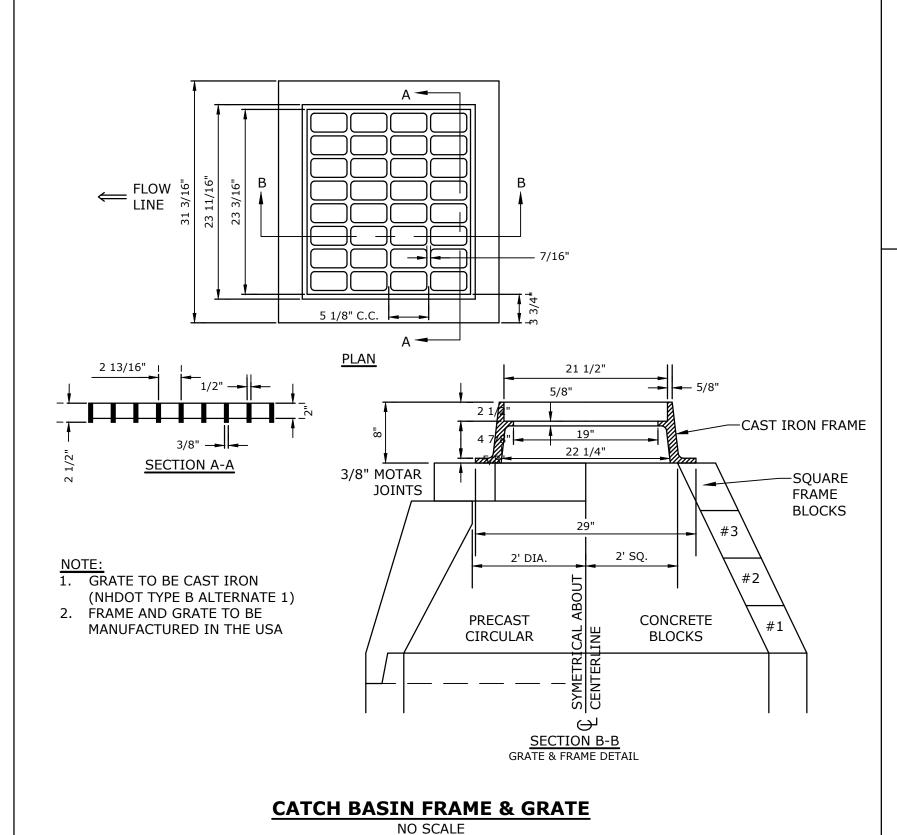
MANHOLE JOINTS NO SCALE



- 1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE
- PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL
- REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
- RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH. 5. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
- FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2
- COURSES MAX.). CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE
- PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING
- OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE. 10. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN
- THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS. 11. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
- 12. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

4' DIAMETER CATCHBASIN

NO SCALE



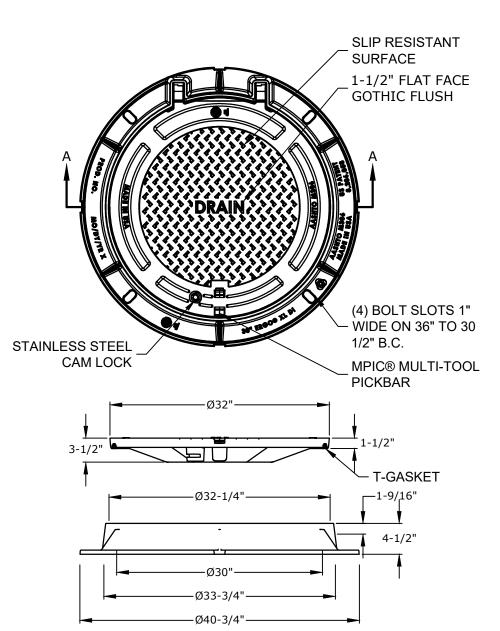
NHDOT ITEM No. 304.4 (CRUSHED STONE - FINE) -MANHOLE FRAMES AND COVERS SHALL BE % PASSING SIEVE SIZE OF HEAVY DUTY DESIGN AND PROVIDE A 2" 100 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "DRAIN" SHALL 1-1/2" 85-100 BE PLAINLY CAST INTO THE CENTER OF 3/4" 45-75 EACH COVER. #4 10-45 -ADJUST TO GRADE WITH CONCRETE #200 0-5 GRADE RINGS OR CLAY BRICKS, FRAME 8" MIN. TO BE SET IN FULL BED OF MORTAR. (2 COURSES MAX). -SEE STRUCTURE JOINTS DETAIL 30" ---(TYP.) ←MORTAR ALL JOINTS 5" MIN ECCENTRIC TOP -MIN. 0.12 sq. in. STEEL PER VERTICAL FOOT, PLACED ACCORDING TO AASHTO DESIGNATION M199 HEIGHT OF RISER VARY FROM 1' TO 4' **→** 48" ± 1" DIA. → -PIPE OPENING TO BE PRECAST IN RISER SECTION —1 - #3 BAR AROUND OPENING FOR PIPES 18" DIAMETER AND OVER, 1" COVER -INVERT OF STRUCTURE TO BE CONCRETE CLASS "B" DIA. PIPE √3/4" CRUSHED STONE BEDDING KOR-N-SEAL BOOT 6" MIN. OR EQUAL PROVIDE "V" OPENING FINISH-CONST. BRICK SHELF-SUBGRADE

- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
- 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS

6" TYP.

- AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
- 4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
- THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
- PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE
- PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZNTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

4' DIAMETER DRAIN MANHOLE



SECTION A-A

- 1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL
- BY EJ CO. ALL DIMENSIONS ARE NOMINAL.
- FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
- A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING. B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES

ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR

- ACCOMMODATIONS. C. ALL OTHER PERTINENT REQUIREMENTS OF THE
- SPECIFICATIONS ARE MET.
- 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER.

DRAIN MANHOLE FRAME & COVER

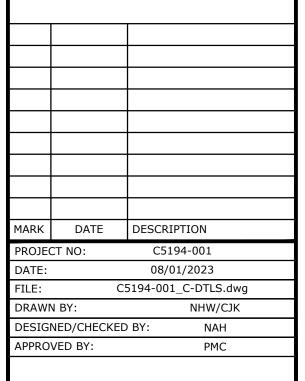
NO SCALE

Tighe&Bond

PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG PROPERTIES

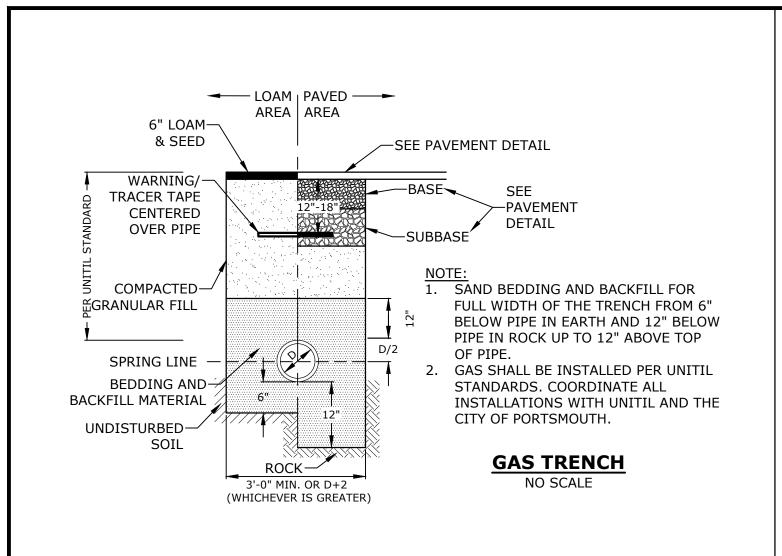
SHEARWATER DRIVE, PORTSMOUTH, NH

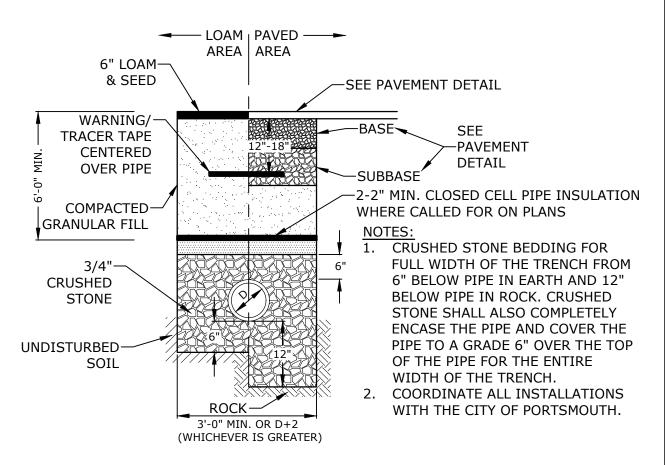


DETAILS SHEET

SCALE: AS SHOWN

C-503





SEWER SERVICE TRENCH

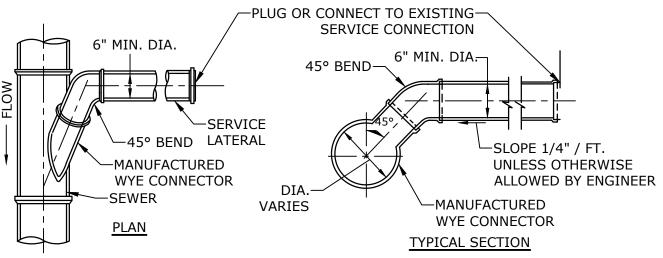
$\frac{1}{4}$ " POLYETHYLENE SHEET-(SEE Notes 1 & 5) -20" O.D. POLYETHYLENE DOWNSPOUT 3'-1"± ── <u>PLAN</u> —— 4' SQUARE (MIN.) —— -WEARING COURSE -FRAME & GRATE -SAWCUT (SUBSIDIARY SILICONE SEALANT TO DRAINAGE ITEM) (SEE NOTE 2) EMULSIFIED ASPHALT FOR TACK COAT (SUBSIDIARY TO DRAINAGE STRUCTURE) POLYETHYLENE SHEET-(SEE NOTES 1 & 5) -ADJUST GRATE ELEVATION WITH CONCRETE ADJUSTING RING OR CLAY BRICK (SEE SPEC. 604.2.4) 20" O.D. POLYETHYLENE— DOWNSPOUT 12" LONG **SECTION A-A**

- 1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET
- WELDED TO THE POLYETHYLENE SHEET. 2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME
- AND POLYETHYLENE SHEET. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
- USE ON DRAINAGE STRUCTURES 4' MIN. DIAMETER ONLY. 5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
- 6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
- PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT. SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS", FOR ADDITIONAL
- INFORMATION. 9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER

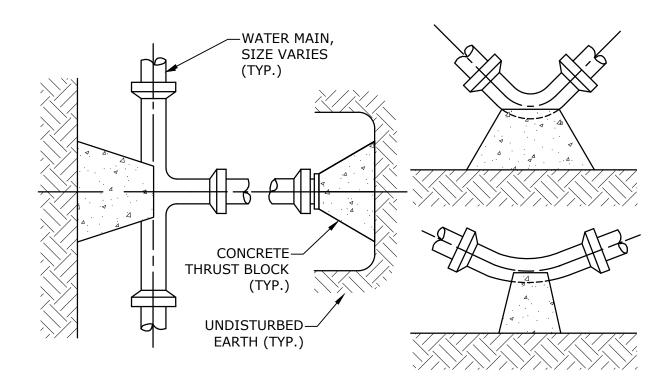
POLYETHYLENE LINER

NO SCALE

Tighe&Bond



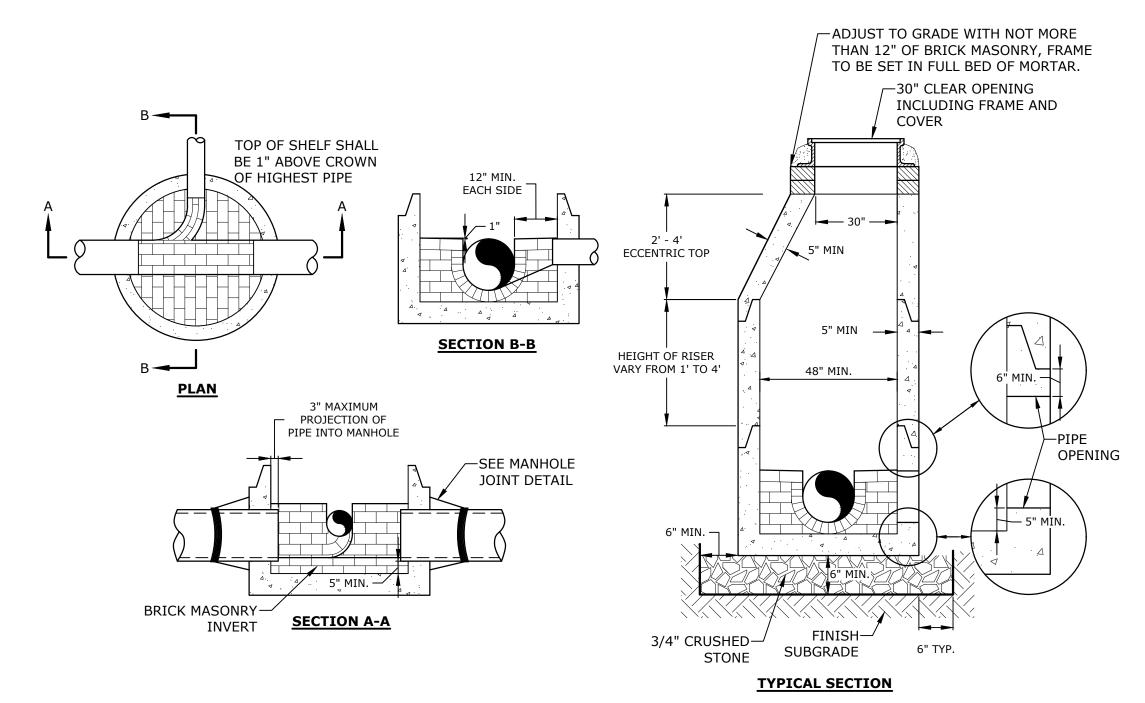
STANDARD SERVICE LATERAL CONNECTION NO SCALE



| 00psi | SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL | | | | | | | |
|-------|---|--------------------|------|------|-------|-------|--|--|
| 7 | REACTION | REACTION PIPE SIZE | | | | | | |
| (F = | TYPE | 4" | 6" | 8" | 10" | 12" | | |
| SURE | A 90° | 0.89 | 2.19 | 3.82 | 11.14 | 17.24 | | |
| PRES | B 180° | 0.65 | 1.55 | 2.78 | 8.38 | 12.00 | | |
| 1. 1 | C 45° | 0.48 | 1.19 | 2.12 | 6.02 | 9.32 | | |
| TEST | D 22-1/2° | 0.25 | 0.60 | 1.06 | 3.08 | 4.74 | | |
| | E 11-1/4° | 0.13 | 0.30 | 0.54 | 1.54 | 2.38 | | |

- 1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- 2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF
- 3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST
- BLOCKS. 4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
- 5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

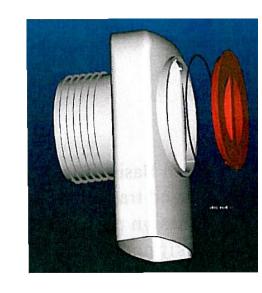
THRUST BLOCKING DETAIL NO SCALE



- . INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
- 2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. 3. INVERT BRICKS SHALL BE LAID ON EDGE.
- 4. TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
- 5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- 6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
- 7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.

SEWER MANHOLE

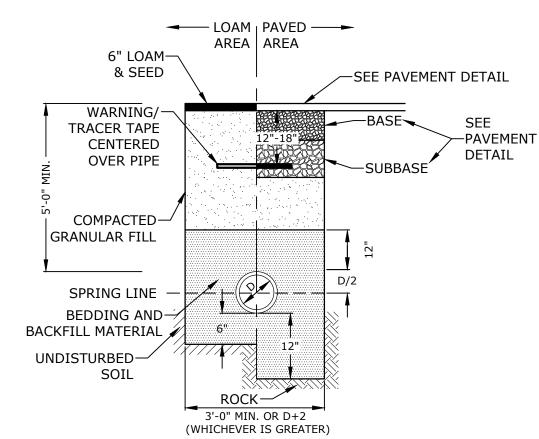
NO SCALE



1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP

- MANUFACTURED BY KLEANSTREAM (NO EQUAL) 2. INSTALL DEBRIS TRAP TIGHT TO
- INSIDE OF STRUCTURE 3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL **FLOATING DEBRIS TRAP**



- SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
- 2. WATER MAIN SHALL BE INSTALLED PER CITY OF PORTSMOUTH STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

WATER TRENCH

NO SCALE

PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG **PROPERTIES**

SHEARWATER DRIVE, PORTSMOUTH, NH

| | | | _ |
|------|-------------|---------------------|---|
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| RAWI | N BY: | NHW/CJK | |
| ESIG | NED/CHECKED | BY: NAH | |
| PPRO | VED BY: | PMC | |
| | | | |

DETAILS SHEET

SCALE: AS SHOWN

C-504

Owner's Letter of Authorization

This letter is to authorize <u>Chinburg Properties</u> (Applicant) to represent the interest of <u>Bantry Bay Assoc LLC</u> (owner) in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

| John C Madden | dotloop verified 07/31/23 8:53 PM ADT T3Q8-ENTB-I9XF-SIFG | John C. Madden | |
|---------------|---|----------------|------|
| Sign | ature | Print Name | Date |
| Colton Gove | dotloop verified 07/31/23 8:02 PM EDT PRVL-UPND-TPFR-4TAW | Colton Gove | |
| Witr | 1855 | Print Name | Date |

(C5194-001_Owner Authorization Form.docx)

Agent Letter of Authorization

| the proposed subdivision Portsmouth, New Hamps | nission to bon and don and don and donate do | pe my agent in all site desig evelopment project locate arcel of land identified as Ta | nt) hereby give <u>Tighe & Bond</u> n and permitting matters for d at Shearwater Drive in x Map 217 Block 2 Lot 1900. cal, state and federal permit |
|---|--|--|---|
| Eric J Chinburg dottoop verifie 07/29/23 10:06 AUQB-4CWG-4 | AM EDT | Eric Chinburg | |
| Signature | | Print Name | Date |
| | | | ٦ |
| Colton Gove dotloop verifi 07/29/23 10:0 52J9-58AD-W | 8 AM EDT | Colton Gove | |
| Witness | | Print Name | Date |



CARBONARA CLASSIC W WING 1027.127 GL

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

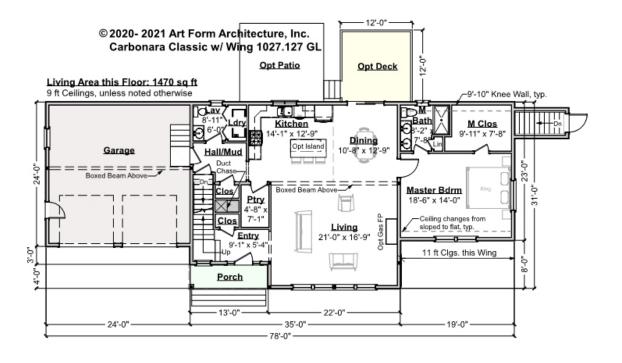


| | | 20ptil 9 | · · · · · · · | | |
|----------------------|--------------------|----------------------|---------------|----------------------|-----|
| LIVING AREA | 2885 ^{FT} | BEDROOMS | 5 | BATHROOMS | 3.5 |
| Main | 2885 ^{FT} | Main | 3 | Main | 3.5 |
| Future | 0 FT | Future | 2 | Future | 0 |
| 2 nd Unit | 0 FT | 2 nd Unit | 0 | 2 nd Unit | 0 |



CARBONARA CLASSIC W WING - 1ST FLOOR 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



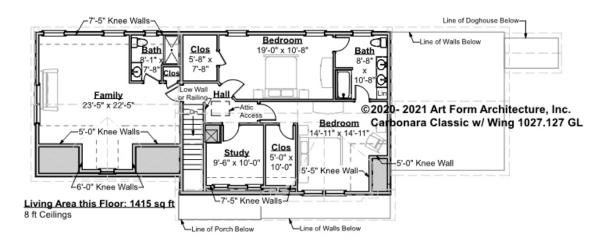
CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

| F1 LIVING AREA | 1470 ^{FT} | F1 BEDROOMS | 1 | F1 BATHROOMS | 1.5 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 1470.00 FT | Main | 1.00 | Main | 1.50 |
| Future | 0.00 FT | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



CARBONARA CLASSIC W WING - 2ND FLOOR 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



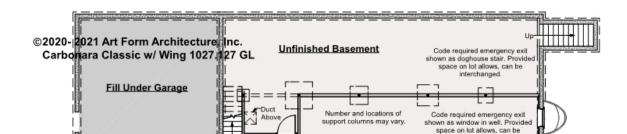
CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

| F1 LIVING AREA | 1415 ^{FT} | F1 BEDROOMS | 4 | F1 BATHROOMS | 2 |
|----------------------|-----------------------|----------------------|------|----------------------|------|
| Main | 1415.00 ^{FT} | Main | 2.00 | Main | 2.00 |
| Future | 0.00 FT | Future | 2.00 | Future | 0.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



CARBONARA CLASSIC W WING -BASEMENT 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

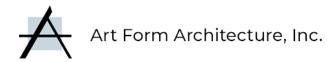


Unfinished Basement

Unfin Basement interchanged.

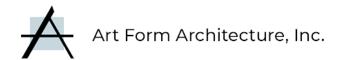
CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

| F1 LIVING AREA | 0 ^{FT} | F1 BEDROOMS | 0 | F1 BATHROOMS | 0 |
|----------------------|-----------------|----------------------|------|----------------------|------|
| Main | 0.00 FT | Main | 0.00 | Main | 0.00 |
| Future | 0.00 FT | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



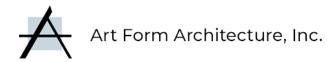
CARBONARA CLASSIC W WING -FRONT ELEVATION 1027.127 GL





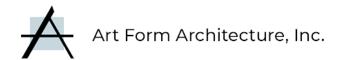
CARBONARA CLASSIC W WING -RIGHT ELEVATION 1027.127 GL





CARBONARA CLASSIC W WING -REAR ELEVATION 1027.127 GL





CARBONARA CLASSIC W WING - LEFT ELEVATION 1027.127 GL





DAMARA 861.124 GR

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

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Width 60.00 FT

Depth 27.33 FT

Height 25.08 FT

| LIVING AREA | 2029 FT |
|----------------------|---------|
| Main | 2029 FT |
| Future | 0 FT |
| 2 nd Unit | 0 FT |

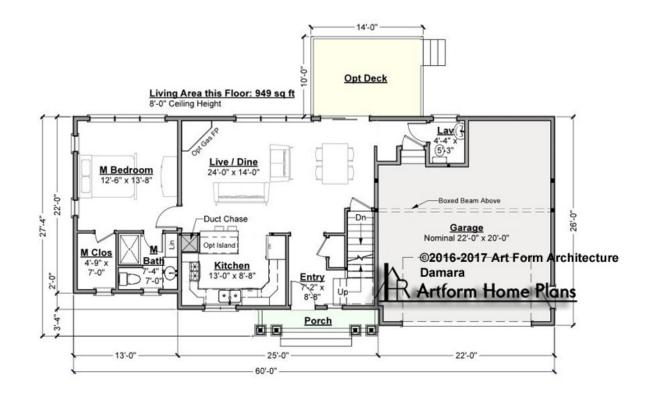
| BEDROOMS | 4 |
|----------------------|---|
| Main | 4 |
| Future | 0 |
| 2 nd Unit | 0 |

| BATHROOMS | 3.5 |
|----------------------|-----|
| Main | 3.5 |
| Future | 0 |
| 2 nd Unit | 0 |



DAMARA - 1ST FLOOR 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

| F1 LIVING AREA | 949 ^{FT} | F1 BEDROOMS | 1 | F1 BATHROOMS | 1.5 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 949.00 FT | Main | 1.00 | Main | 1.50 |
| Future | 0.00 ^{FT} | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 ^{FT} | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



DAMARA - 2ND FLOOR 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



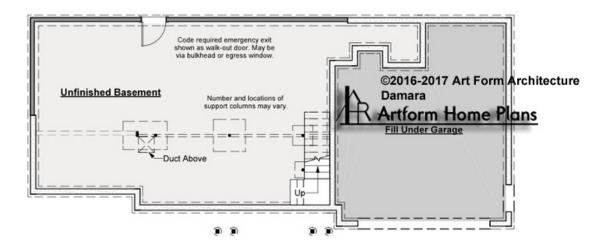
CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

| F1 LIVING AREA | 1080 ^{FT} | F1 BEDROOMS | 3 | F1 BATHROOMS | 2 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 1080.00 FT | Main | 3.00 | Main | 2.00 |
| Future | 0.00 ^{FT} | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



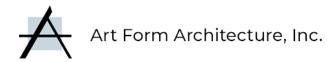
DAMARA - BASEMENT 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

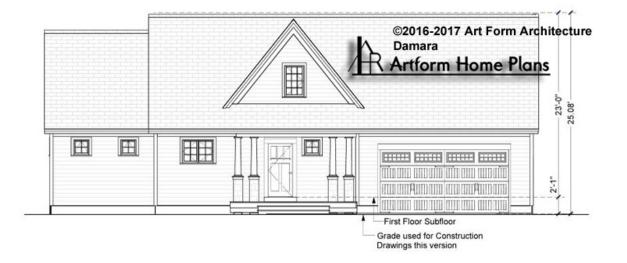


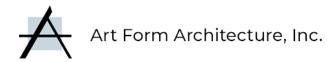
CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

| F1 LIVING AREA | 0 ^{FT} | F1 BEDROOMS | 0 | F1 BATHROOMS | 0 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 0.00 ^{FT} | Main | 0.00 | Main | 0.00 |
| Future | 0.00 ^{FT} | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 ^{FT} | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



DAMARA - FRONT ELEVATION 861.124 GR





DAMARA - RIGHT ELEVATION 861.124 GR

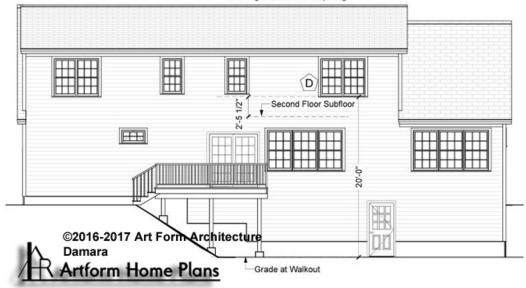


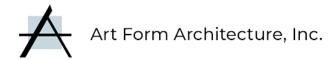


DAMARA - REAR ELEVATION 861.124 GR

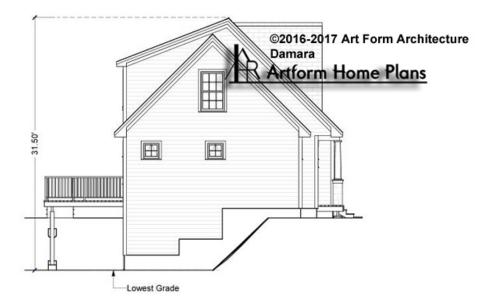
Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

D Second floor windows over 8 ft first floors over walkout basements DO qualify as egress without lowering window. If first floor is raised to 9 ft, window will need to be lowered, which triggers other requirements, such as window guards and/or tempering





DAMARA - LEFT ELEVATION 861.124 GR





Art Form Architecture, Inc.

FIONA 395.124.v5 GR

We have this in reverse as well (Garage on the Left), at no additional charge.

Reverse plan available.

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Depth 32.00 FT

3

0

Width 68.00 FT

| LIVING AREA | 2804 ^{FT} | BEDROOMS |
|----------------------|--------------------|----------------------|
| Main | 2804 ^{FT} | Main |
| Future | 0 FT | Future |
| 2 nd Unit | 0 FT | 2 nd Unit |

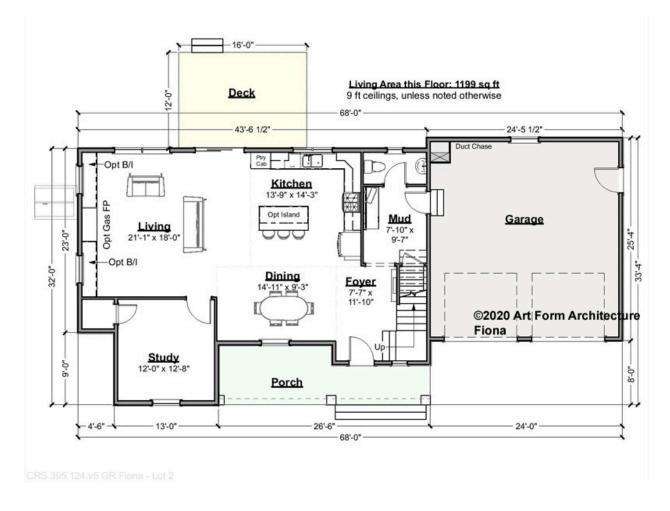
Height 26.16 FT

| BATHROOMS | 2.5 |
|----------------------|-----|
| Main | 2.5 |
| Future | 0 |
| 2 nd Unit | 0 |



FIONA - 1ST FLOOR 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



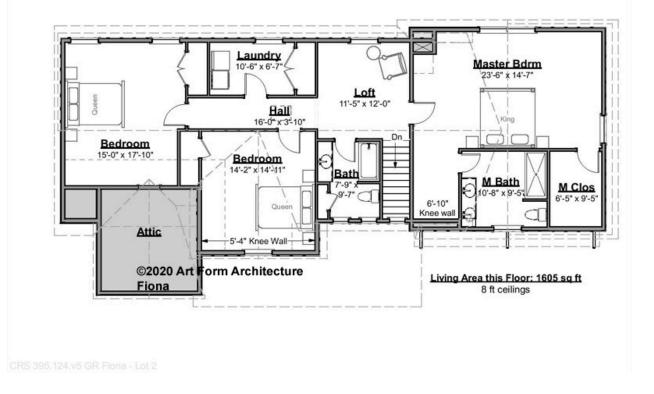
CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

| F1 LIVING AREA | 1199 ^{FT} | F1 BEDROOMS | 1 | F1 BATHROOMS | 0.5 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 1199.00 FT | Main | 0.00 | Main | 0.50 |
| Future | 0.00 FT | Future | 1.00 | Future | 0.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



FIONA - 2ND FLOOR 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



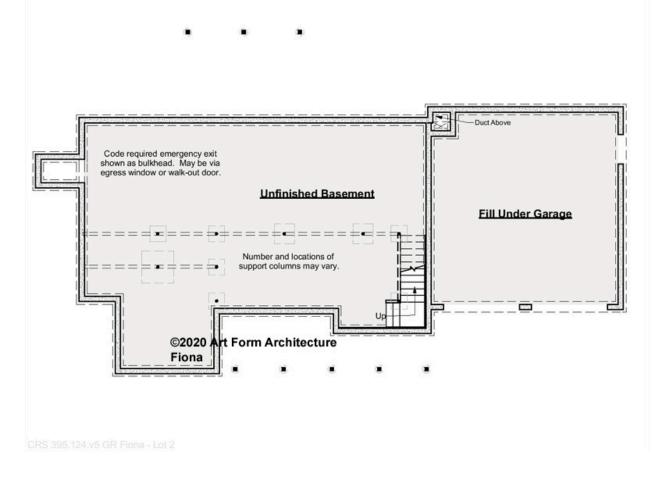
CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

| F1 LIVING AREA | 1605 ^{FT} | F1 BEDROOMS | 3 | F1 BATHROOMS | 2 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 1605.00 FT | Main | 3.00 | Main | 2.00 |
| Future | 0.00 ^{FT} | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 ^{FT} | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



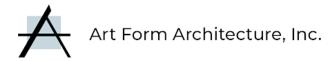
FIONA - BASEMENT 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

| F1 LIVING AREA | 0 FT | F1 BEDROOMS | 0 | F1 BATHROOMS | 0 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 0.00 ^{FT} | Main | 0.00 | Main | 0.00 |
| Future | 0.00 ^{FT} | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 ^{FT} | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



FIONA - FRONT ELEVATION 395.124.v5 GR



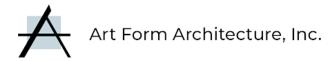


FIONA - RIGHT ELEVATION 395.124.v5 GR

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CRS 395,124.v5 GR Fiona - Lot



FIONA - REAR ELEVATION 395.124.v5 GR

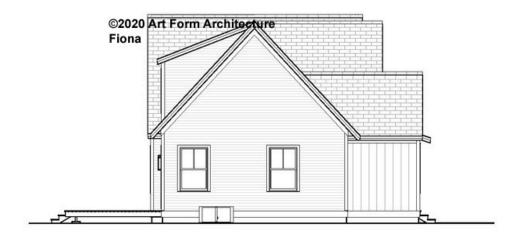




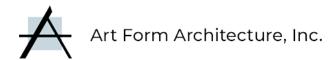
FIONA - LEFT ELEVATION 395.124.v5 GR

_

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CRS 395,124.v5 GR Fiona - Lot



FIONA - REAR RENDER 395.124.v5 GR



Garnet Premier

384.129.v27 GR (5/5/2022)

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603-431-9559



Dear Builders and Home Buyers,

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

This design may not yet have Construction Drawings (as defined in the Terms), and is, therefore, only available as a Design Drawing (as defined in the Terms and together with Construction Drawings, "Drawings'). It is possible that during the conversion of a Design Drawing to a final Construction Drawing, changes may be necessary including, but not limited to, dimensional changes. Please see Plan Data Explained on www.artform.us to understand room sizes, dimensions and other data provided. We are not responsible for typographical errors.

Art Form Architecture ("Art Form") requires that our Drawings be built substantially as designed. Art Form will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Art Form. It is recommended that you have your Drawing updated by Art Form prior to attaching any Drawing to any builder agreement. Art Form shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

Facade Changes:

- To maintain design integrity, we pay particular attention to features on the front facade, including but not limited to door surrounds, window casings, finished porch column sizes, and roof friezes. While we may allow builders to add their own flare to aesthetic elements, we don't allow our designs to be stripped of critical details. Any such alterations require the express written consent of Art Form.
- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

Floor plan layout and/or Structural Changes:

- Structural changes always require the express written consent of Art Form
- If you wish to move or remove walls or structural elements (such as removal of posts, increases in house size, ceiling height changes, addition of dormers, etc), please do not assume it can be done without other additional changes (even if the builder or lumber yard says you can).

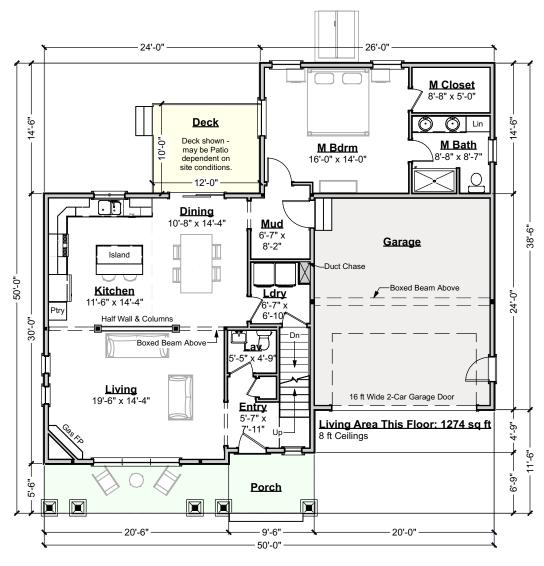
384.129.v27 GR (5/5/2022)

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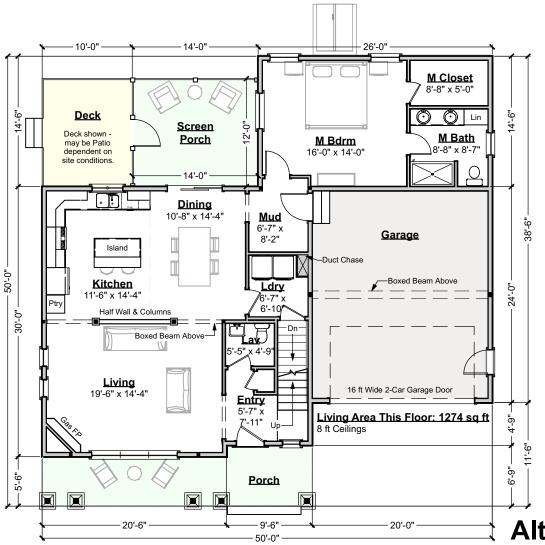


First Floor Plan

554.126.v64 GR (5/5/2022)

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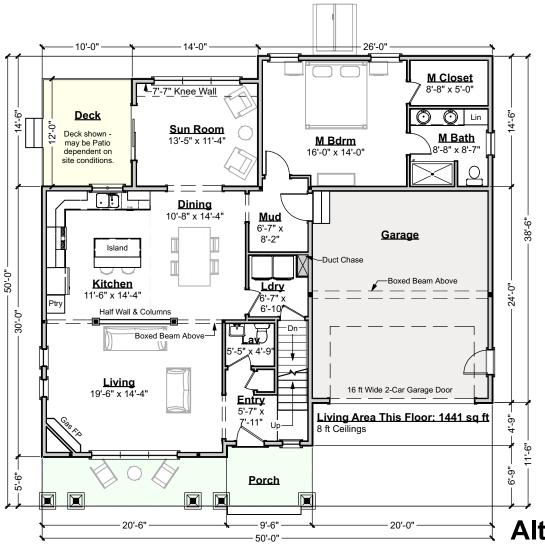


Alternate First Floor Plan - Screen Porch

554.126.v65 GR (5/5/2022)

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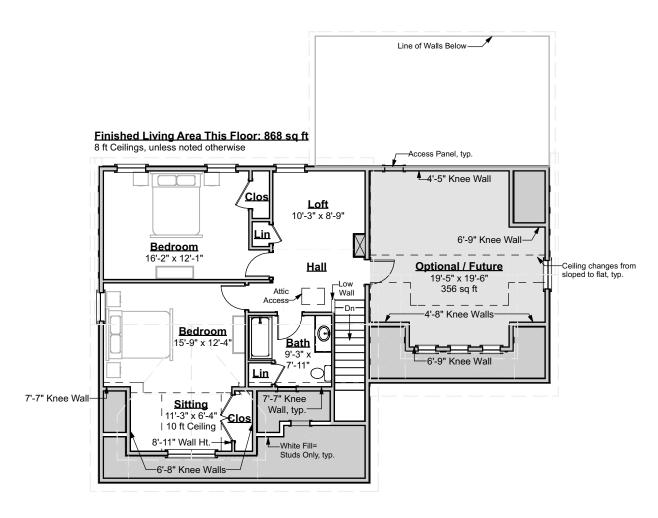




Alternate First Floor Plan - Sun Room

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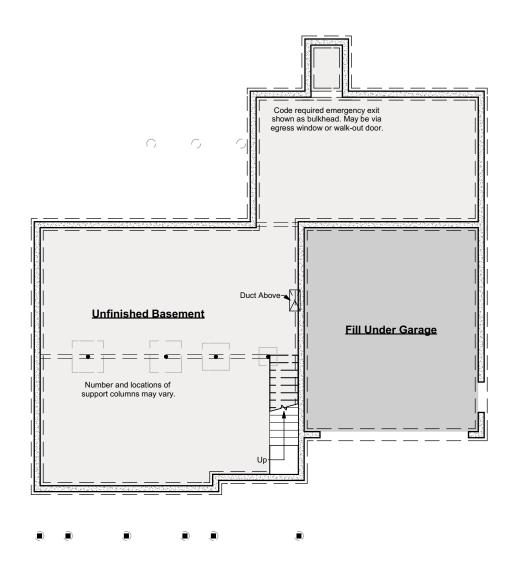


Second Floor Plan



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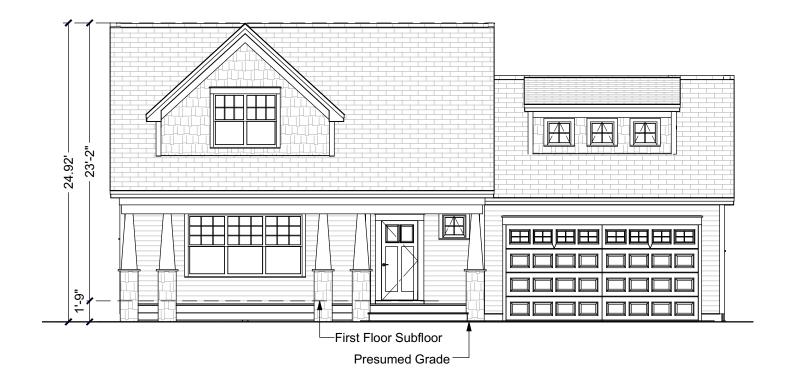


Foundation Plan

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Front Elevation

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Right Elevation Scale: 1/8" = 1'-0"

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Rear Elevation

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Left Elevation



OPAL MARQUISE CLASSIC, 30X28 370.124.v19 GL

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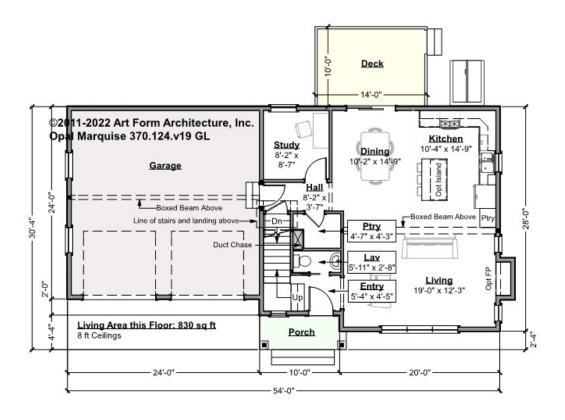


| LIVING AREA | 2104 ^{FT} | BEDROOMS | 5 | BATHROOMS | 3.5 |
|----------------------|--------------------|----------------------|---|----------------------|-----|
| Main | 2104 ^{FT} | Main | 3 | Main | 2.5 |
| Future | 0 FT | Future | 2 | Future | 1 |
| 2 nd Unit | 0 FT | 2 nd Unit | 0 | 2 nd Unit | 0 |



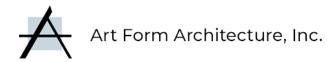
OPAL MARQUISE CLASSIC, 30X28 - 1ST FLOOR 370.124.v19 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

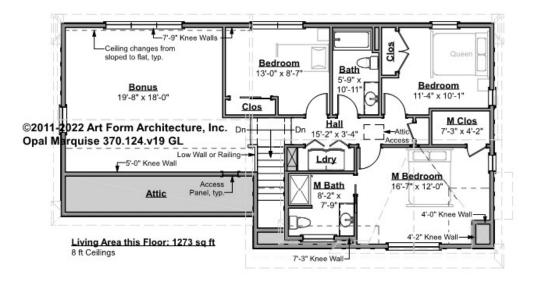
| F1 LIVING AREA | 830 ^{FT} | F1 BEDROOMS | 1 | F1 BATHROOMS | 0.5 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 830.00 FT | Main | 0.00 | Main | 0.50 |
| Future | 0.00 ^{FT} | Future | 1.00 | Future | 0.00 |
| 2 nd Unit | 0.00 ^{FT} | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



OPAL MARQUISE CLASSIC, 30X28 - 2ND FLOOR 370.124.v19 GL

We're listing a future bath for this floor because there's enough head height and floor space in the "bonus" to add one.

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



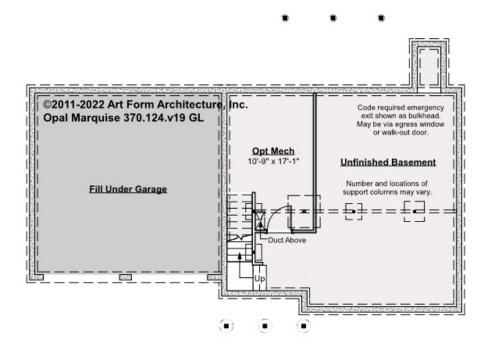
CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

| F1 LIVING AREA | 1274 ^{FT} | F1 BEDROOMS | 4 | F1 BATHROOMS | 3 |
|----------------------|-----------------------|----------------------|------|----------------------|------|
| Main | 1274.00 ^{FT} | Main | 3.00 | Main | 2.00 |
| Future | 0.00 FT | Future | 1.00 | Future | 1.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



OPAL MARQUISE CLASSIC, 30X28 - BASEMENT 370.124.v19 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

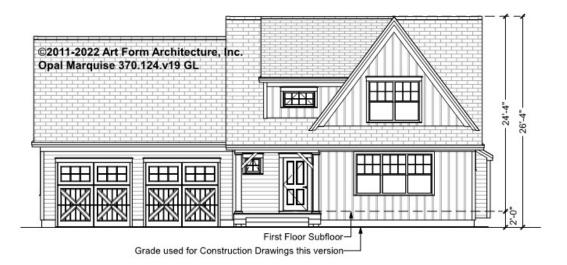


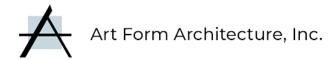
CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

| F1 LIVING AREA | 0 FT | F1 BEDROOMS | 0 | F1 BATHROOMS | 0 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 0.00 ^{FT} | Main | 0.00 | Main | 0.00 |
| Future | 0.00 FT | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



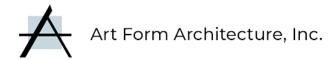
OPAL MARQUISE CLASSIC, 30X28 - FRONT ELEVATION 370.124.v19 GL





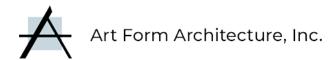
OPAL MARQUISE CLASSIC, 30X28 - RIGHT ELEVATION 370.124.v19 GL



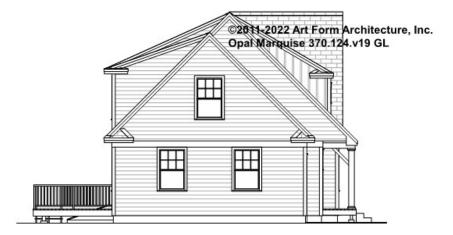


OPAL MARQUISE CLASSIC, 30X28 - REAR ELEVATION 370.124.v19 GL





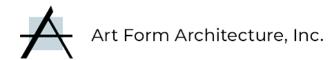
OPAL MARQUISE CLASSIC, 30X28 - LEFT ELEVATION 370.124.v19 GL





OPAL MARQUISE CLASSIC, 30X28 - REAR RENDER 370.124.v19 GL





PEPPERCORN CLASSIC WITH WING 975.127.v3 GL

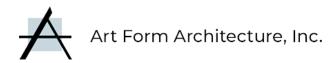
This plan is Tier 2 because original was for Portland Maine that doesn't allow us to give you the choices we normally give. Tier 2 gives us the time to add that back in.

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

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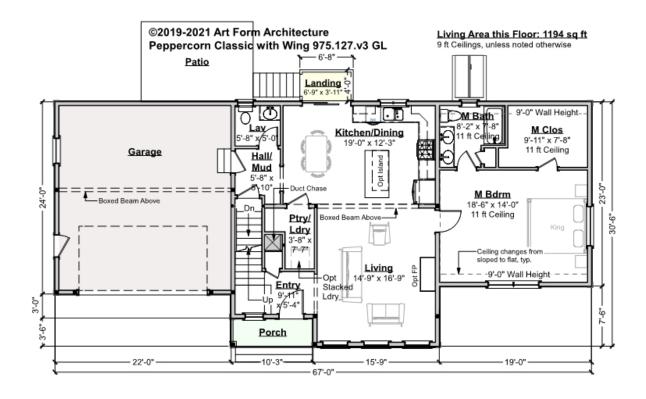


| Width 67.00 ⁻¹ | | Depth 30.60 「 | | Height 25.66 ⁻¹ | |
|----------------------------------|--------------------|----------------------|---|-----------------------------------|-----|
| LIVING AREA | 2294 ^{FT} | BEDROOMS | 3 | BATHROOMS | 2.5 |
| Main | 2294 ^{FT} | Main | 3 | Main | 2.5 |
| Future | 0 FT | Future | 0 | Future | 0 |
| 2 nd Unit | 0 FT | 2 nd Unit | 0 | 2 nd Unit | 0 |



PEPPERCORN CLASSIC WITH WING - 1ST FLOOR 975.127.v3 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 9'-0" CLG HT POSSIBLE 9'-0"

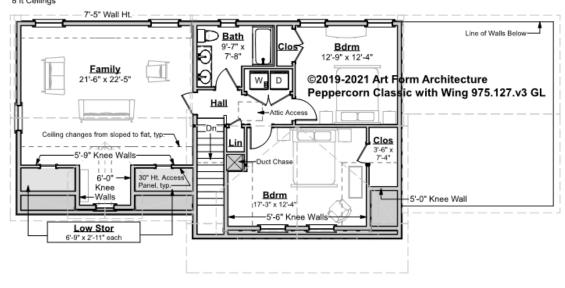
| F1 LIVING AREA | 1194 ^{FT} | F1 BEDROOMS | 1 | F1 BATHROOMS | 1.5 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 1194.00 FT | Main | 1.00 | Main | 1.50 |
| Future | 0.00 ^{FT} | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 ^{FT} | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



PEPPERCORN CLASSIC WITH WING - 2ND FLOOR 975.127.v3 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

Living Area this Floor: 1100 sq ft



CLG HT SHOWN 8'-0" CLG HT POSSIBLE 9'-0"

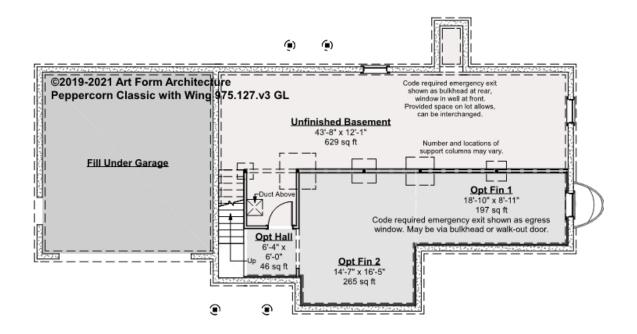
| F1 LIVING AREA | 1100 ^{FT} | F1 BEDROOMS | 2 | F1 BATHROOMS | 1 |
|----------------------|--------------------|----------------------|------|----------------------|------|
| Main | 1100.00 FT | Main | 2.00 | Main | 1.00 |
| Future | 0.00 FT | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |



PEPPERCORN CLASSIC WITH WING -BASEMENT 975.127.v3 GL

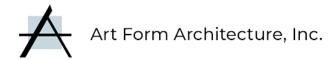
The construction drawings show this lower level as finished. We don't include that in our data chart so Search isn't misleading. Everybody knows you can finish a basement!

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



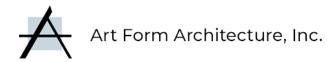
CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

| F1 LIVING AREA | 0 ^{FT} | F1 BEDROOMS | 0 | F1 BATHROOMS | 0 |
|----------------------|-----------------|----------------------|------|----------------------|------|
| Main | 0.00 FT | Main | 0.00 | Main | 0.00 |
| Future | FT | Future | 0.00 | Future | 0.00 |
| 2 nd Unit | 0.00 FT | 2 nd Unit | 0.00 | 2 nd Unit | 0.00 |

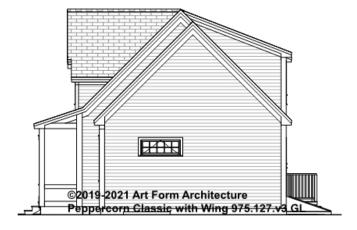


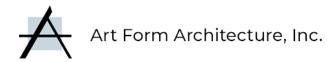
PEPPERCORN CLASSIC WITH WING -FRONT ELEVATION 975.127.v3 GL





PEPPERCORN CLASSIC WITH WING -RIGHT ELEVATION 975.127.v3 GL





PEPPERCORN CLASSIC WITH WING -REAR ELEVATION 975.127.v3 GL





PEPPERCORN CLASSIC WITH WING -LEFT ELEVATION 975.127.v3 GL



Shelley with Sun

874.125.v3 GR (6/7/2023)

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603-431-9559



In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

This design may not yet have Construction Drawings (as defined in the Terms), and is, therefore, only available as a Design Drawing (as defined in the Terms and together with Construction Drawings, "Drawings'). It is possible that during the conversion of a Design Drawing to a final Construction Drawing, changes may be necessary including, but not limited to, dimensional changes. Please see Plan Data Explained on www.artform.us to understand room sizes, dimensions and other data provided. We are not responsible for typographical errors.

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Facade Changes:

- To maintain design integrity, we pay particular attention to features on the front facade, including but not limited to door surrounds, window casings, finished porch column sizes, and roof friezes. While we may allow builders to add their own flare to aesthetic elements, we don't allow our designs to be stripped of critical details. Any such alterations require the express written consent of Art Form.
- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

Floor plan layout and/or Structural Changes:

- Structural changes always require the express written consent of Art Form
- If you wish to move or remove walls or structural elements (such as removal of posts, increases in house size, ceiling height changes, addition of dormers, etc), please do not assume it can be done without other additional changes (even if the builder or lumber yard says you can).

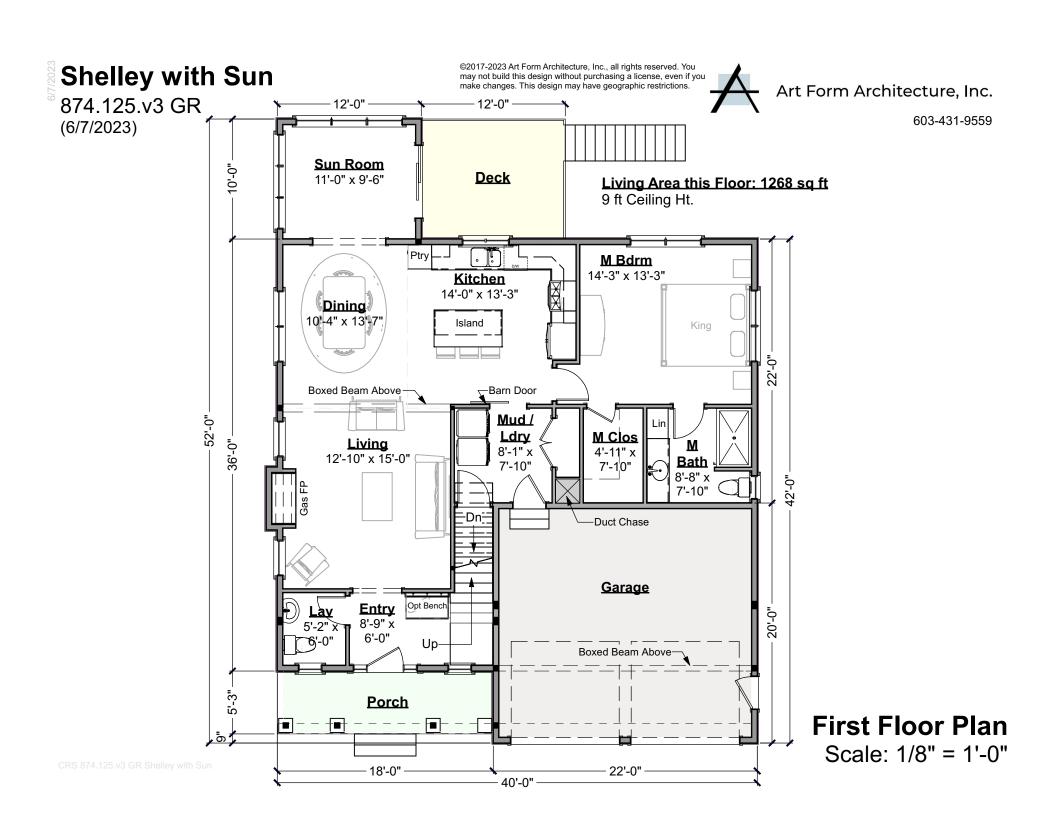




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Shelley with Sun

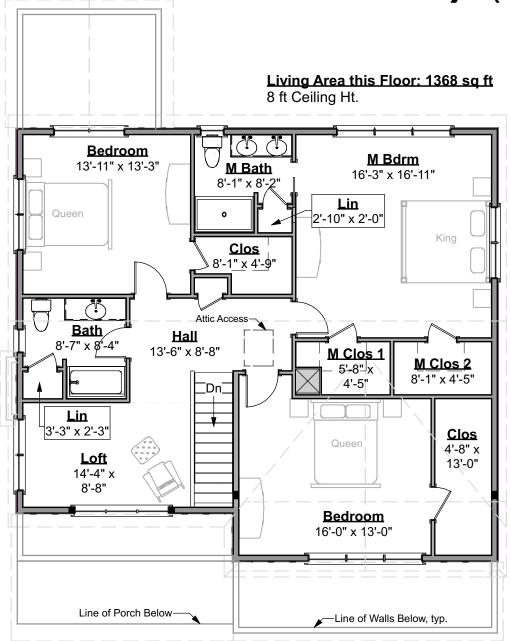
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Second Floor Plan

Shelley with Sun

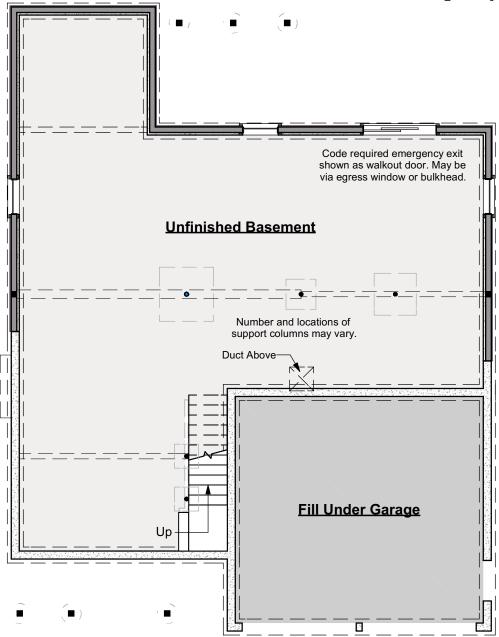
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Foundation Plan



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Front Elevation

Shelley with Sun

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Right Elevation Scale: 1/8" = 1'-0"

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Rear Elevation

Shelley with Sun

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Left Elevation

Sweet Cherry Peekaboo

1020.124.v2 GR (7/25/2022)

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Dear Builders and Home Buyers,

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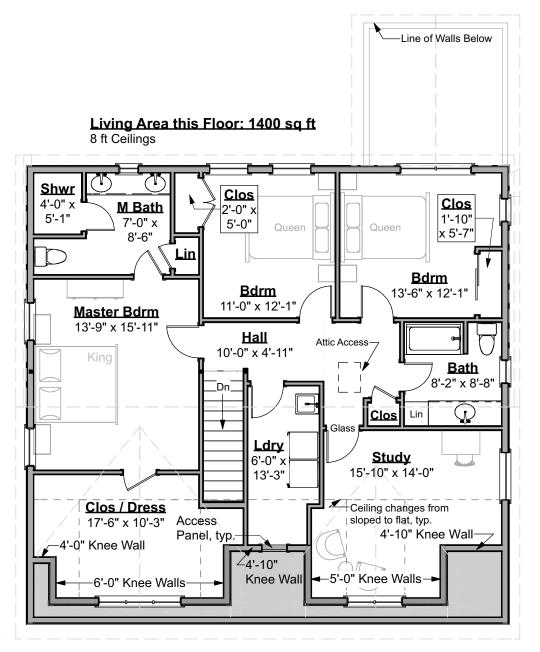


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Second Floor Plan

Sweet Cherry Peekaboo

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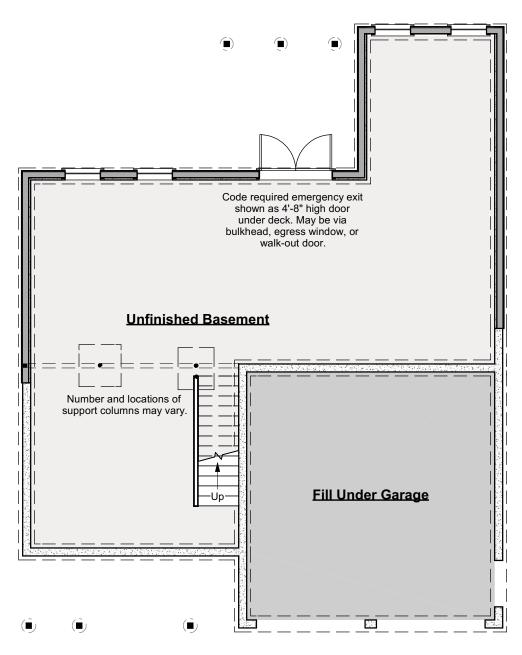


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IMPORTANT BASEMENT NOTES:

- Unless an area is specifically designed as "no posts", additional posts may be required.
- Unless specifically noted otherwise, basement beams will be framed below the floor joists.
- Basement spaces accommodate utilities, mechanical equipment and the horizontal movement of plumbing pipes, electrical wires and heating ducts. Both as part of any Construction Drawings produced based on this design and as future decisions made by the builder, changes to accommodate these items must be expected.
- Basement window locations are dependent on site conditions and utility locations. Clarify number and location with your builder.



Foundation Plan Scale: 1/8" = 1'-0"



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Front Elevation



603-431-9559



Right Elevation Scale: 1/8" = 1'-0"



603-431-9559



Rear Elevation



603-431-9559



Left Elevation