

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

September 12, 2023

AGENDA

- | | | |
|----------------|---|-----------------------------|
| 2:00 PM | 1155 Sagamore Avenue
Michael Valinski & Maureen Oakman, Owners
Ambit Engineering INC, Engineer
(LUTW-23-7) | Site Plan Review |
| 2:30 PM | 635 Sagamore Avenue
635 Sagamore Development LLC, Owner
Jones & Beach Engineers INC, Engineer
(LUTW-23-8) | Site Plan Review |
| 3:00 PM | 815 Lafayette Road
Prospect North 815 LLC, Owner
Ambit Engineering INC, Engineer
(LUTW-23-9) | Site Plan Review |
| 3:30 PM | 581 Lafayette Road
Atlas Commons LLC, Owner
Ambit Engineering INC, Engineer
(LUTW-23-10) | Site Plan Review/CUP |



200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

1 September 2023

Peter Stith, Chair, City of Portsmouth TAC
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for TAC Workshop Review at 1155 Sagamore Road, Site Development

Dear Mr. Stith and TAC Members:

On behalf of Build America, we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **September 12, 2023**, Meeting. The project is the demolition of the existing building and proposed new construction of a 4-unit residential condominium with the associated and required site improvements.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Existing Conditions & Demolition Plan C1 – This plan shows the existing property boundaries and existing site conditions and notes the demolition.
- Site Plan C2 – This plan shows the site development in detail with the associated zoning development standards and circulation / layout.
- Grading Plan C3 – This plan shows proposed site grading. The site primarily flow to the west. Runoff will flow to a proposed rain garden.
- Utility Plan C4 – This plan shows proposed site utilities. The project will connect to the e-one system low pressure sewer in an existing connection constructed for the purpose and brought to the property line.
- Erosion Control Notes and Details D1 and D2 – These plans shows site details.

We look forward to TAC review of this submission and the Committees feedback on the proposed design.

Sincerely,

John R. Chagnon, PE

PROPOSED BUILDING REPLACEMENT BUILD AMERICA 1155 SAGAMORE AVENUE PORTSMOUTH NEW HAMPSHIRE SITE PERMIT PLANS

PROJECT PERMITS:
PORTSMOUTH SITE PLAN: PENDING

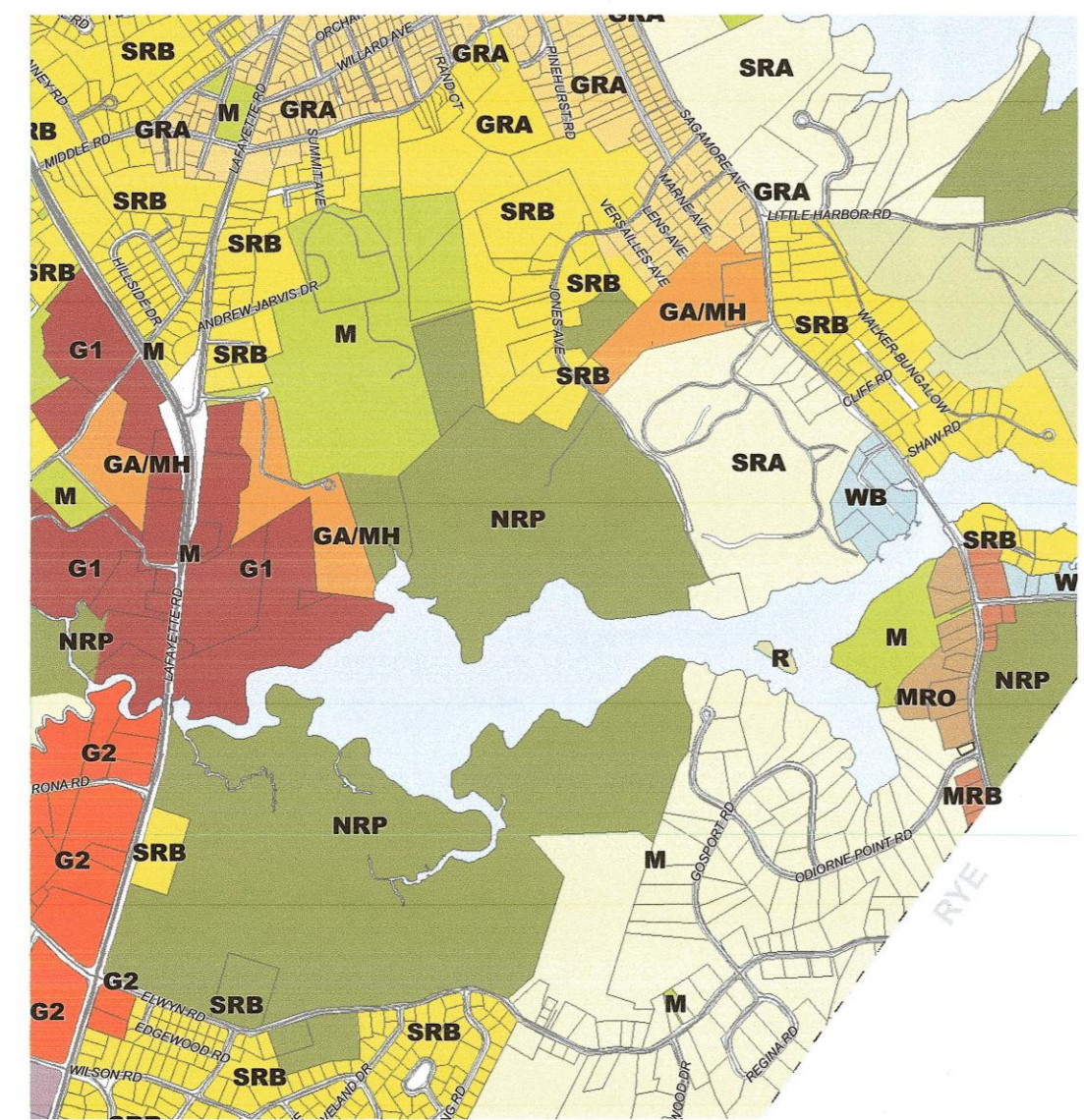
OWNER:
MICHAEL A. VALINSKI &
MAUREEN OAKMAN
1155 SAGAMORE AVENUE
PORTSMOUTH, NH 03802
TEL. (617) 877-6711

APPLICANT:
BUILD AMERICA
PO BOX 1664
PORTSMOUTH, NH 03802
TEL. (617) 877-6711

CIVIL ENGINEER & LAND SURVEYOR:
AMBIT ENGINEERING, INC.
A DIVISION OF HALEY WARD, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, NH 03801
TEL. (603) 430-9282

ARCHITECT/DESIGNER:
BUILD AMERICA
PO BOX 1664
PORTSMOUTH, NH 03802
TEL. (617) 877-6711

PORTSMOUTH ZONING MAP



Legend

Character Districts
Character-Based Zoning Area
(Refer to Zoning Map Sheet 2 of 2
Character Districts Regulating Plan)

Residential Districts

- R Rural
- SRA Single Residence A
- SRB Single Residence B
- GRA General Residence A
- GRB General Residence B
- GRC General Residence C
- GA/MH Garden Apartment/Mobile Home Park

Mixed Residential Districts

- MRO Mixed Residential Office
- MRB Mixed Residential Business
- G1 Gateway Corridor
- G2 Gateway Center

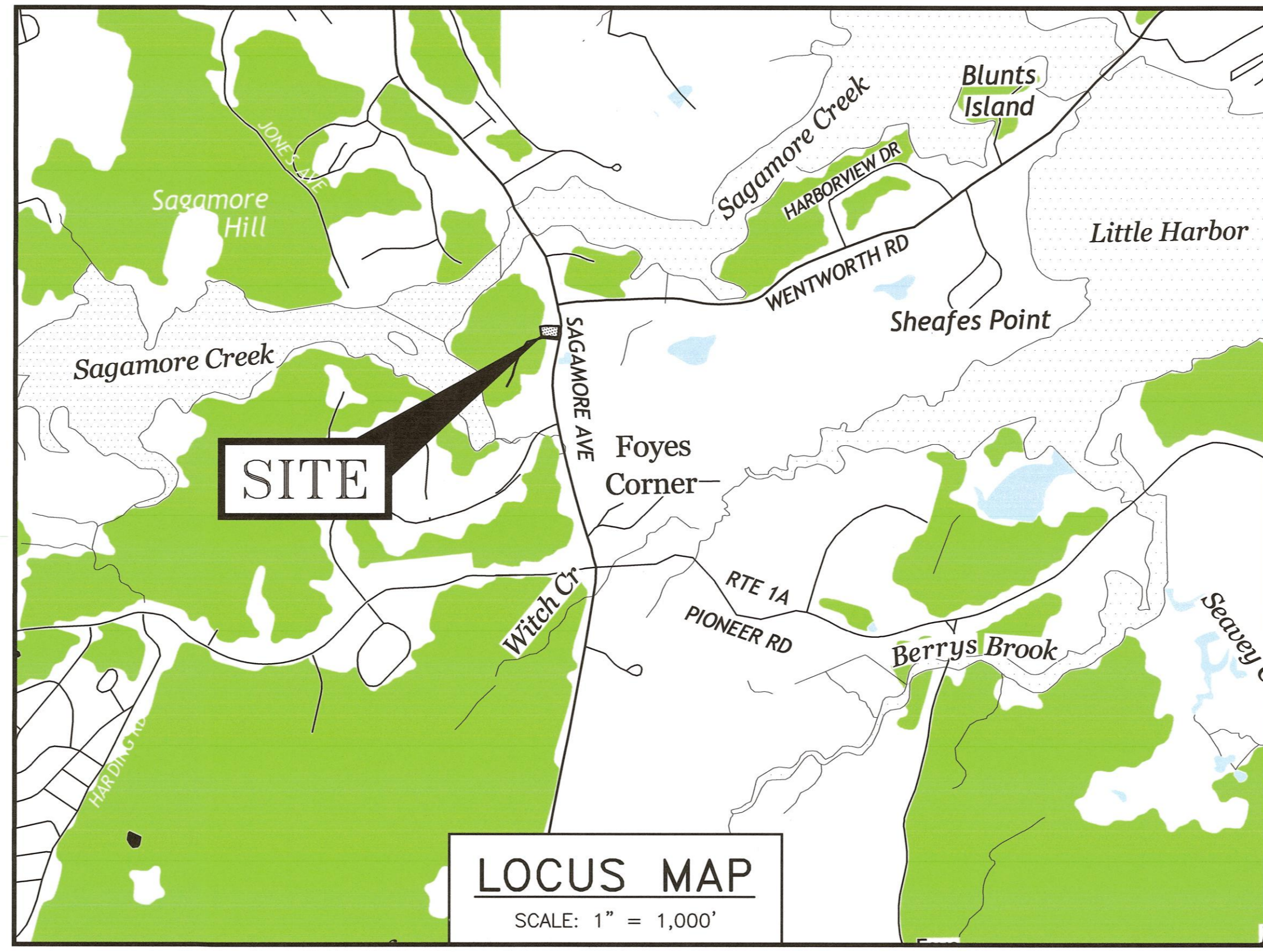
Business Districts

- GB General Business
- B Business
- WB Waterfront Business

Industrial Districts

- OR Office Research
- I Industrial
- WI Waterfront Industrial

PROJECT SITE:
TAX MAP 224, LOT 18



LOCUS MAP
SCALE: 1" = 1,000'

LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC/WIRES
FD	FD	FOUNDATION DRAIN
FM	FM	FORCED SEWER MAIN
---	---	EDGE OF PAVEMENT (EP)
---	---	WOODS / TREE LINE
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
○	○	UTILITY POLE
○	○	SIGNS
○	○	WALL MOUNTED EXTERIOR LIGHTS
○	○	METER (GAS, WATER, ELECTRIC)
○	○	TRANSFORMER ON CONCRETE PAD
○	○	ELECTRIC HANDHOLD
○	○	SHUT OFFS (WATER/GAS)
○	○	GATE VALVE
○	○	HYDRANT
○	○	CATCH BASIN
○	○	SEWER MANHOLE
○	○	DRAIN MANHOLE
○	○	TELEPHONE MANHOLE
○	○	PARKING SPACE COUNT
○	○	PARKING METER
○	○	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TO BE REMOVED
W.W.	W.W.	TYPICAL WINDOW WELL
		PHOTO LOCATION



UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
CONSOLIDATED COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

INDEX OF SHEETS

DWG No.	Description
C1	EXISTING CONDITIONS & DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
D1-D2	DETAILS & EROSION CONTROL

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

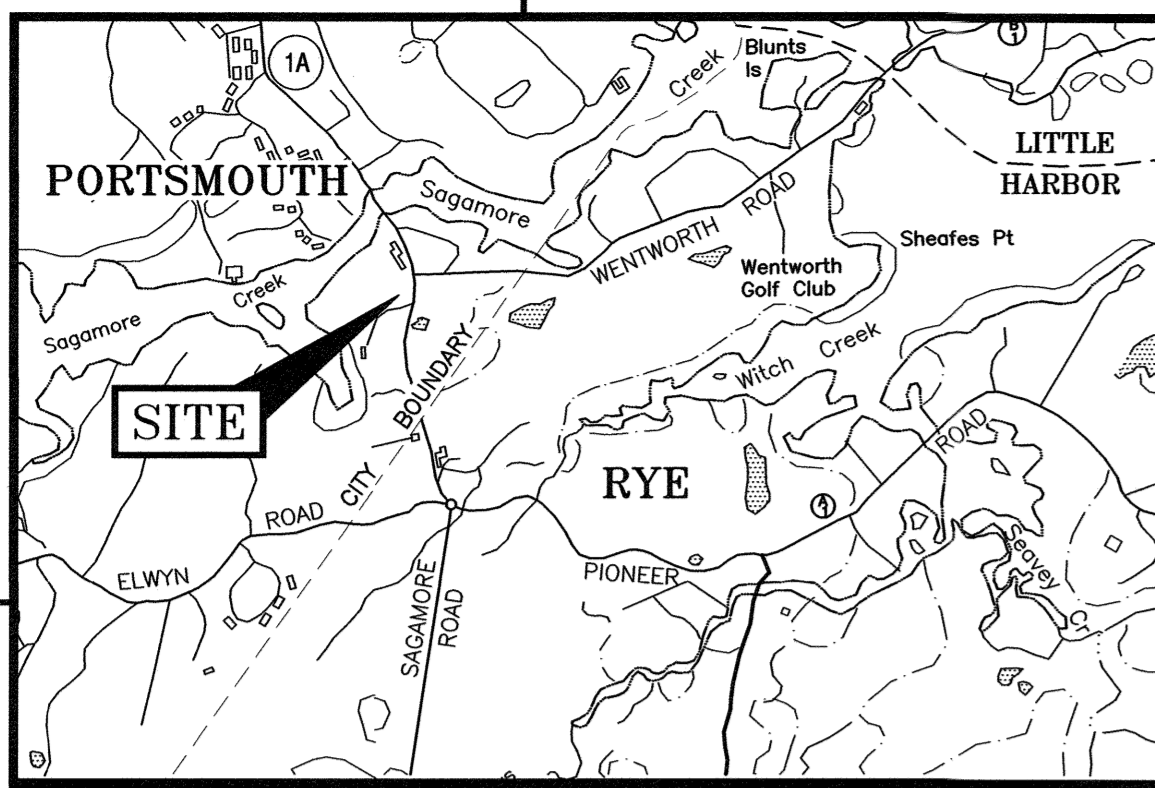
**PROPOSED BUILDING REPLACEMENT
BUILD AMERICA
1155 SAGAMORE AVENUE
PORTSMOUTH, NH**



200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

WWW.HALEYWARD.COM

PLAN SET SUBMITTAL DATE: 5 SEPTEMBER 2023



LOCATION MAP SCALE: 1" = 2000'

LEGEND: SEE COVER SHEET

ABUTTERS:

- 201 22
N/F
WENTWORTH-SAGAMORE LLC
1150 SAGAMORE AVENUE
PORTSMOUTH, NH 03801
5629/0040
- 201 23
N/F
WENTWORTH-SAGAMORE LLC
1150 SAGAMORE AVENUE
PORTSMOUTH, NH 03801
5689/0881
- 201 24
N/F
WENTWORTH-SAGAMORE LLC
1150 SAGAMORE AVENUE
PORTSMOUTH, NH 03801
5689/0877

LENGTH TABLE

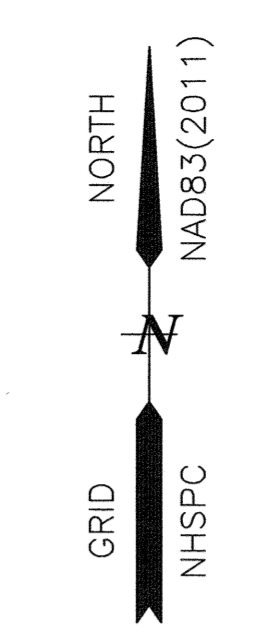
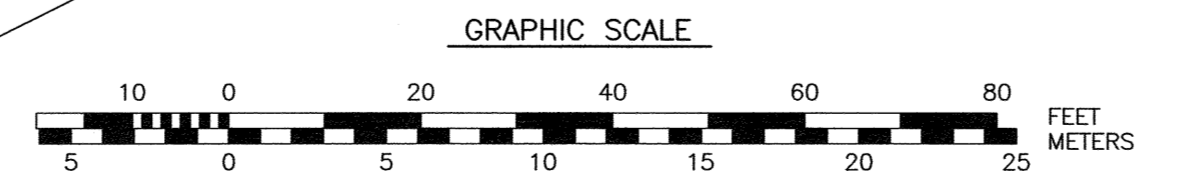
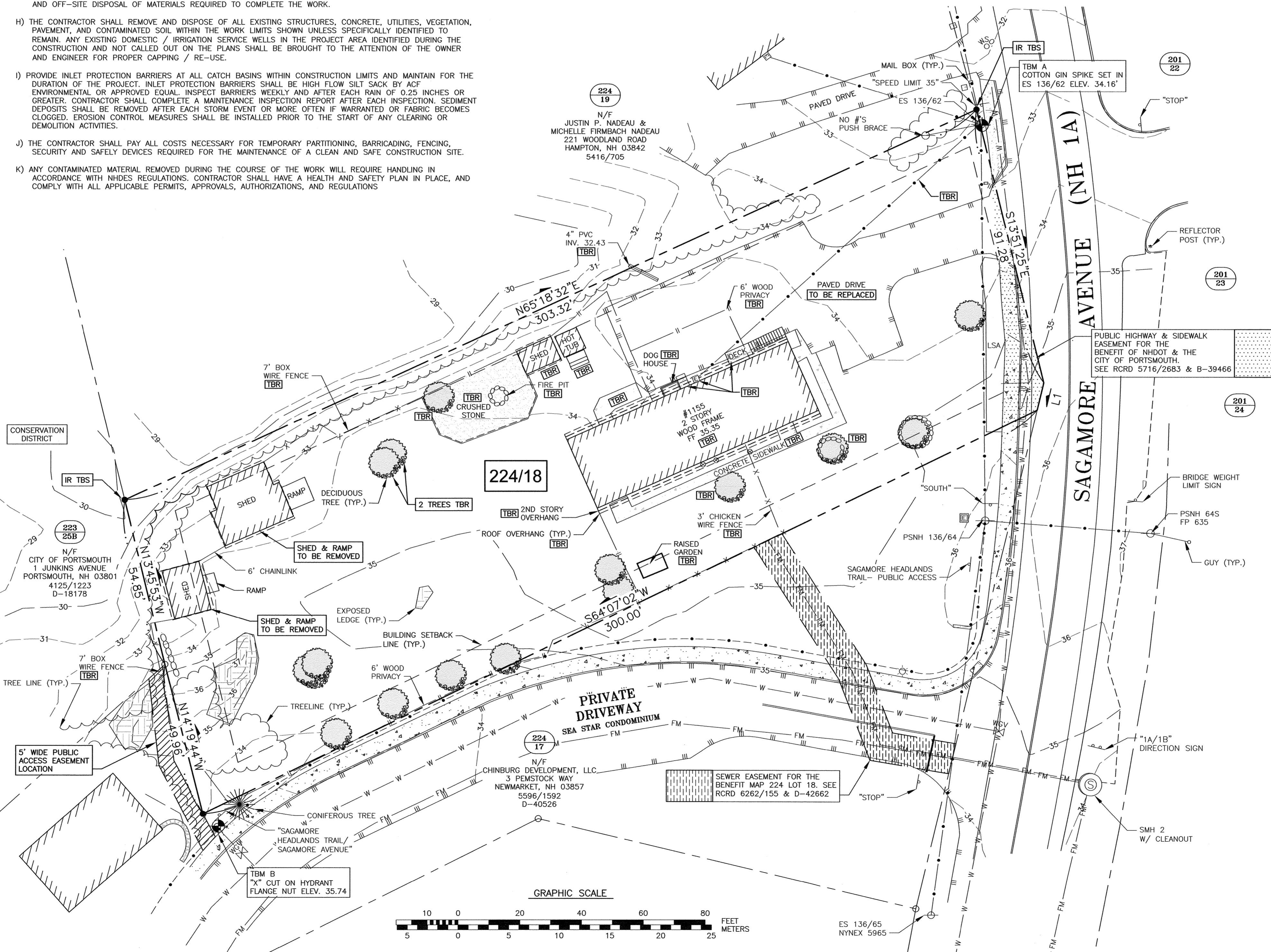
LINE	BEARING	DISTANCE
L1	S13°36'10"W	9.05'

PLAN REFERENCES:

- 1) PLAN OF LAND ON SAGAMORE CREEK, PORTSMOUTH, N.H. OWNED BY JOSIAH F. ADAMS, SURVEYED BY E.M.HUNT, JUN. ENGR., SCALE: 1"=1000', DATED: MARCH 1908, RCRD PLAN# 00254.
- 2) PLAN OF LAND PORTSMOUTH, N.H. FOR NORMAN J. & JANET S. SMITH, SCALE: 1" = 100FT., DATED: NOV. 1964, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD PLAN# 1549.
- 3) BOUNDARY LINE CHANGE LODGE 444 LOYAL ORDER OF MOOSE AND ROBERT & STUART SHAINES, SAGAMORE AVENUE, PORTSMOUTH, NEW HAMPSHIRE, SCALE: 1" = 50', DATED MAY 1984, PREPARED BY K.E.MOORE & B.G.STAPLES LAND SURVEYORS, RCRD D-13349.
- 4) SUBDIVISION OF LAND PORTSMOUTH & RYE, N.H. FOR R & S TRUST, SCALE: 1" = 100', DATED: DEC. 13, 1984, PREPARED BY JOHN W. DURGIN ASSOCIATES, INC., RCRD D-13415.
- 5) SUBDIVISION OF LAND PORTSMOUTH, N.H. FOR STUART SHAINES & ROBERT SHAINES, SCALE: 1" = 40', DATED JAN. 15, 1988, PREPARED BY DURGIN SCHOFIELD ASSOCIATES, RCRD D-18178.
- 6) STANDARD BOUNDARY SURVEY & PROPOSED EASEMENT PLAN TAX MAP 224 LOT 17, OWNER: CHINBURG DEVELOPMENT, LLC, LAND LOCATED AT: 1163 SAGAMORE AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: 1" = 50', DATED: JANUARY 2015, RCRD D-39476
- 7) STATE HIGHWAY EASEMENT PLAN TAX MAP 224 LOT 18, OWNERS: MICHAEL A. VALINSKI & MAUREEN OAKMAN, 1155 SAGAMORE AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: 1" = 20', DATED JANUARY 2016, RCRD B-39466.
- 8) SEA STAR COVE CONDOMINIUM SITE PLAN TAX MAP 224 LOT 17, OWNER: CHINBURG DEVELOPMENT, LLC, LAND LOCATED AT 1163 SAGAMORE AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: 1" = 50', DATED: APRIL 2016, RCRD D-40526
- 9) SEWER EASEMENT PLAN SEA STAR COVE CONDOMINIUM TAX MAP 224 LOT 17, OWNER OF RECORD / DECLARANT: CHINBURG DEVELOPMENT, LLC, TO BENEFIT MICHAEL A. VALINSKI & MAUREEN OAKMAN, LAND LOCATED AT 1163 SAGAMORE AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: AS SHOWN, DATED: MARCH 2021, RCRD D-42662.

DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- J) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- K) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 224 AS LOT 18.
- 2) OWNERS OF RECORD:
MICHAEL A. VALINSKI &
MAUREEN OAKMAN
1155 SAGAMORE AVENUE
PORTSMOUTH, NH 03801
3991/781

APPLICANT:
BUILD AMERICA
PO BOX 1664
PORTSMOUTH, NH 03802
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0286F. EFFECTIVE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:
30,264 S.F.
0.6948 ACRES
- 5) PARCEL IS LOCATED IN MIXED RESIDENTIAL OFFICE (MRO) ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 7,500 S.F.
FRONTAGE: 100 FEET
SETBACKS: FRONT 5 FEET
REAR 10 FEET
SIDE 15 FEET

MAXIMUM STRUCTURE HEIGHT: 40 FEET
SLOPED ROOF 30 FEET
FLAT ROOF
MAXIMUM BUILDING COVERAGE: 40%
MINIMUM OPEN SPACE: 25%
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITION ON ASSESSOR'S MAP 224 LOT 18 IN THE CITY OF PORTSMOUTH.
- 8) VERTICAL DATUM IS NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

0	9/05/23	ISSUED FOR APPROVAL	CSA	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS

NOT FOR CONSTRUCTION

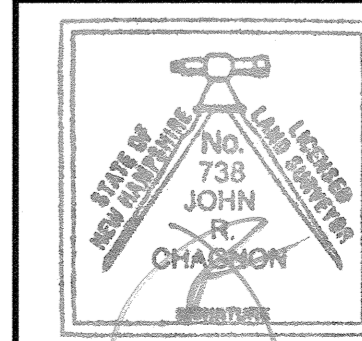


WWW.HALEYWARD.COM
200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

PROJECT
BUILD AMERICA
1155 SAGAMORE AVENUE, PORTSMOUTH, NH 03801

TITLE
EXISTING CONDITIONS & DEMOLITION PLAN

DATE	JULY 2023	SCALE	1" = 20'
DRAWN BY	CSA	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT NO.	5010314.417.01
FIELD BOOK & PAGE	FB 450 PG 1	SHEET	C1

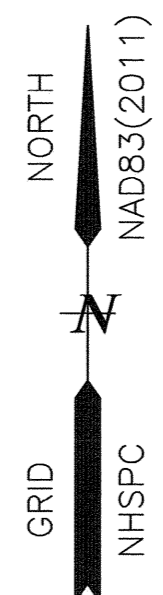


"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."
[Signature] 1.5.23
JOHN R. CHAGNON, LLS #738 DATE

LEGEND: SEE COVER SHEET

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	1,926	4,365
PORCHES	0	152
SHEDS	742	0
DECKS, STAIRS & RAMPS	193	0
PRIVACY WALL	0	24
HOT TUB	56	0
CONCRETE/WALKWAYS	510	0
PAVEMENT	3,736	7,549
CURB	0	98
CRUSHED STONE	637	0
TOTAL	7800	12188
LOT SIZE	30,264	30,264
% LOT COVERAGE	25.8%	40.3%

ZONING DATA DIMENSIONAL REQUIREMENTS		
	REQUIRED	PROPOSED
MIN. LOT AREA	7,500 S.F.	30,264 S.F.
FRONTAGE	100 FEET	100.33 FEET
SETBACKS	FRONT 5 FEET	67 FEET
	SIDE 10 FEET	21 FEET
	REAR 15 FEET	96 FEET
MAXIMUM STRUCTURE HEIGHT	40 FEET- SLOPED ROOF	TO CONFORM
	30 FEET- FLAT ROOF	TO CONFORM
MAXIMUM BUILDING COVERAGE	40%	15%
MINIMUM OPEN SPACE	25%	60%
LOT AREA PER DWELLING UNIT	7,500 S.F.	7,566 S.F.

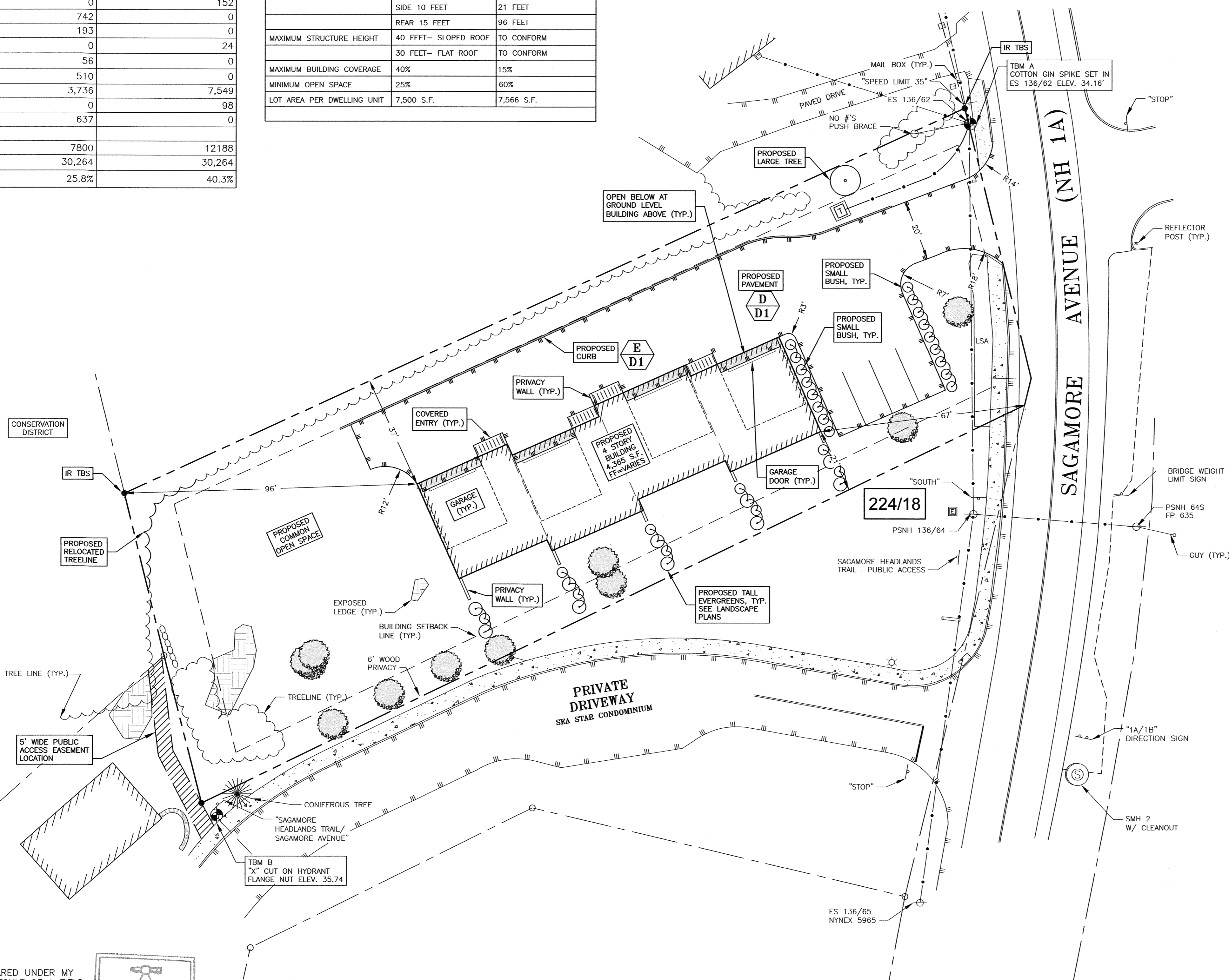


- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 224 AS LOT 18.
 - 2) OWNERS OF RECORD:
MICHAEL A. VALINSKI &
MAUREEN OAKMAN
1155 SAGAMORE AVENUE
PORTSMOUTH, NH 03801
3991/781

APPLICANT:
BUILD AMERICA
PO BOX 1664
PORTSMOUTH, NH 03802
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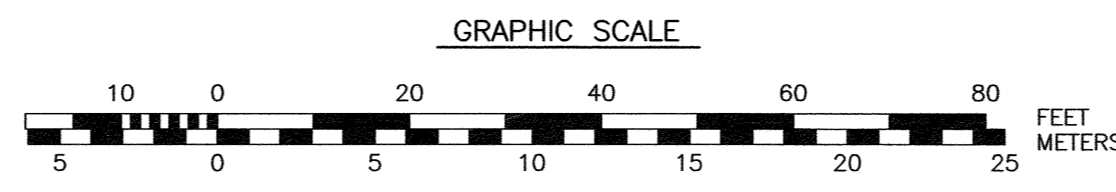
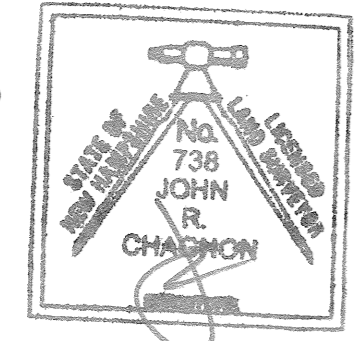
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MINIMUM OPEN SPACE: 25%
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE STRUCTURE REPLACEMENT ON ASSESSOR'S MAP 224 LOT 18 IN THE CITY OF PORTSMOUTH.
 - 8) VERTICAL DATUM IS NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 9) TRASH PICKUP TO BE CURBSIDE.
 - 10) REQUIRED PARKING:
1.3 PER UNIT X 4 = 5
PROVIDED: 12
 - 11) PROPOSAL IS TO CREATE A 4 UNIT RESIDENTIAL CONDOMINIUM ON THE PROPERTY.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

John R. Chagnon
9-5-23
DATE



0	9/5/23	ISSUED FOR APPROVAL	CSA	JRC
No.	DATE	DESCRIPTION	BY	CHK.

NOT FOR CONSTRUCTION

AMBIT ENGINEERING, INC.
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3
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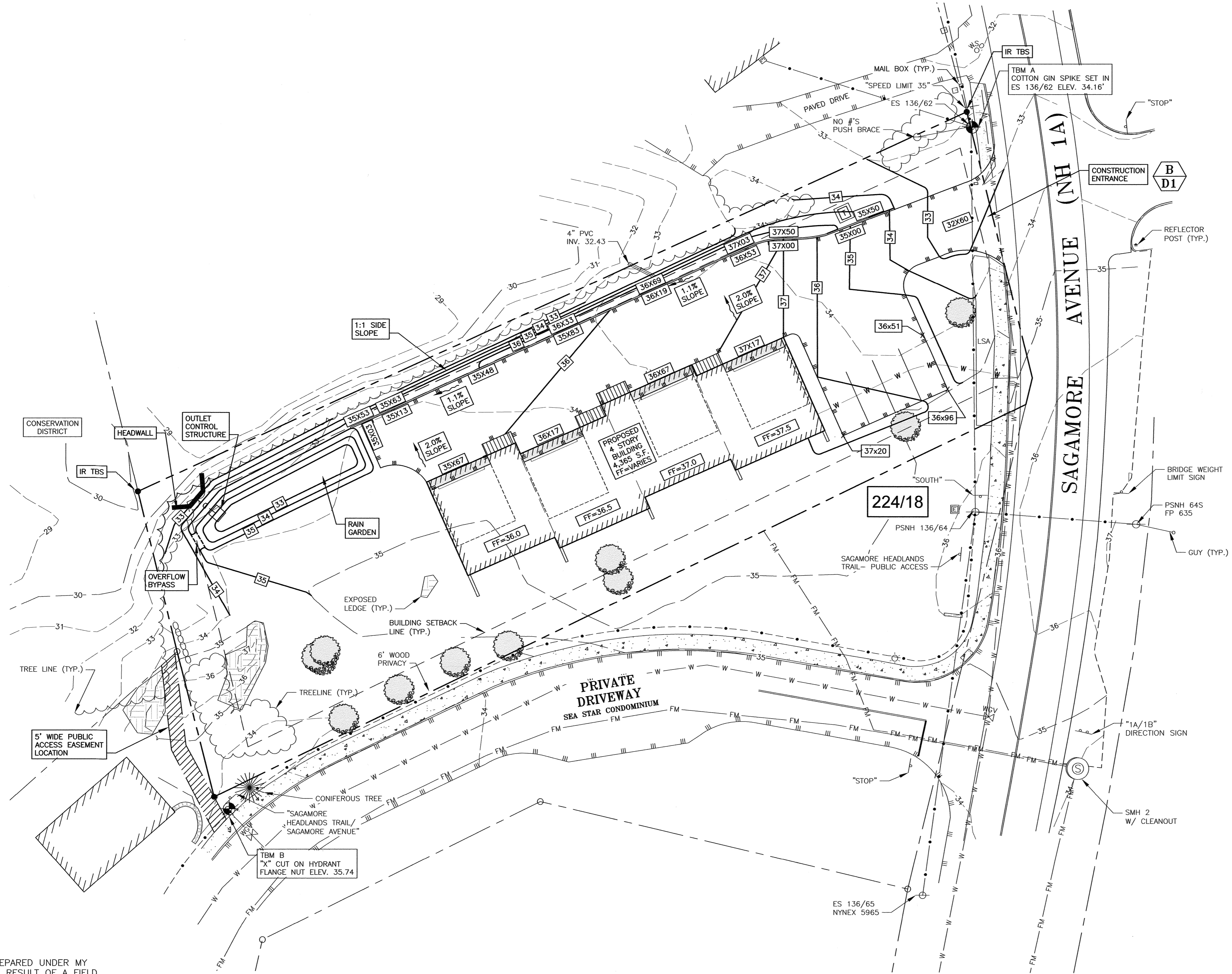
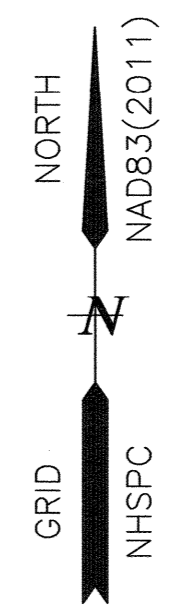
WWW.HALEYWARD.COM

BUILD AMERICA
1155 SAGAMORE AVENUE, PORTSMOUTH, NH 03801

SITE PLAN

DATE	AUGUST 2023	SCALE	1" = 20'
DRAWN BY	OMS	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT No.	5010314.417.01
FIELD BOOK & PAGE	FB 450 PG 1	SHEET	
SHEET 2		C2	

LEGEND: SEE COVER SHEET



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PORTSMOUTH, NH 03801
3991/781
- APPLICANT:
BUILD AMERICA
PO BOX 1664
PORTSMOUTH, NH 03802
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE SITE GRADING ON ASSESSOR'S MAP 224 LOT 18 IN THE CITY OF PORTSMOUTH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 10) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 11) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 12) GARAGE SLAB SHALL BE 4" BELOW FLOOR ELEVATION LISTED.

0	9/5/23	ISSUED FOR APPROVAL	OMS	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS
NOT FOR CONSTRUCTION



200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

WWW.HALEYWARD.COM

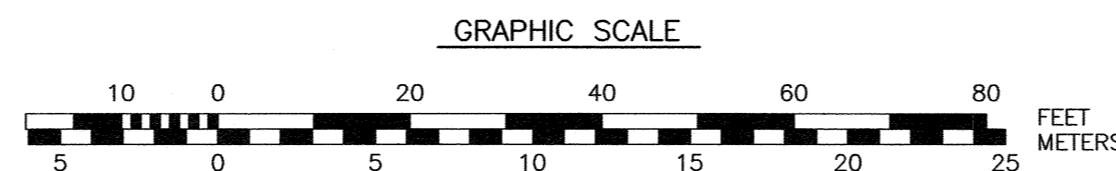
BUILD AMERICA
1155 SAGAMORE AVENUE, PORTSMOUTH, NH 03801

GRADING PLAN

DATE	AUGUST 2023	SCALE	1" = 20'
DRAWN BY	OMS	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT No.	5010314.417.01
FIELD BOOK & PAGE	FB 450 PG 1	SHEET	
SHEET 3		C3	

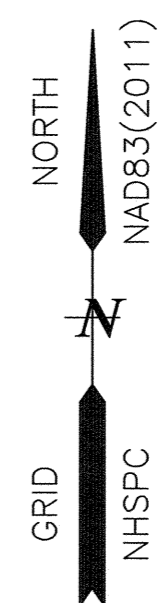
"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

[Signature]
JOHN R. CHAGNON, LLS #738
DATE 9-5-23



P:\Work\10114-Build_America\10114-1155_Sagamore_Ave_Plan\Plan & Specs\10114-1155_Sagamore_Ave_Plan.dwg, 9/5/23, JRC, 1:15,000, 10/11/2023 10:11:11 AM

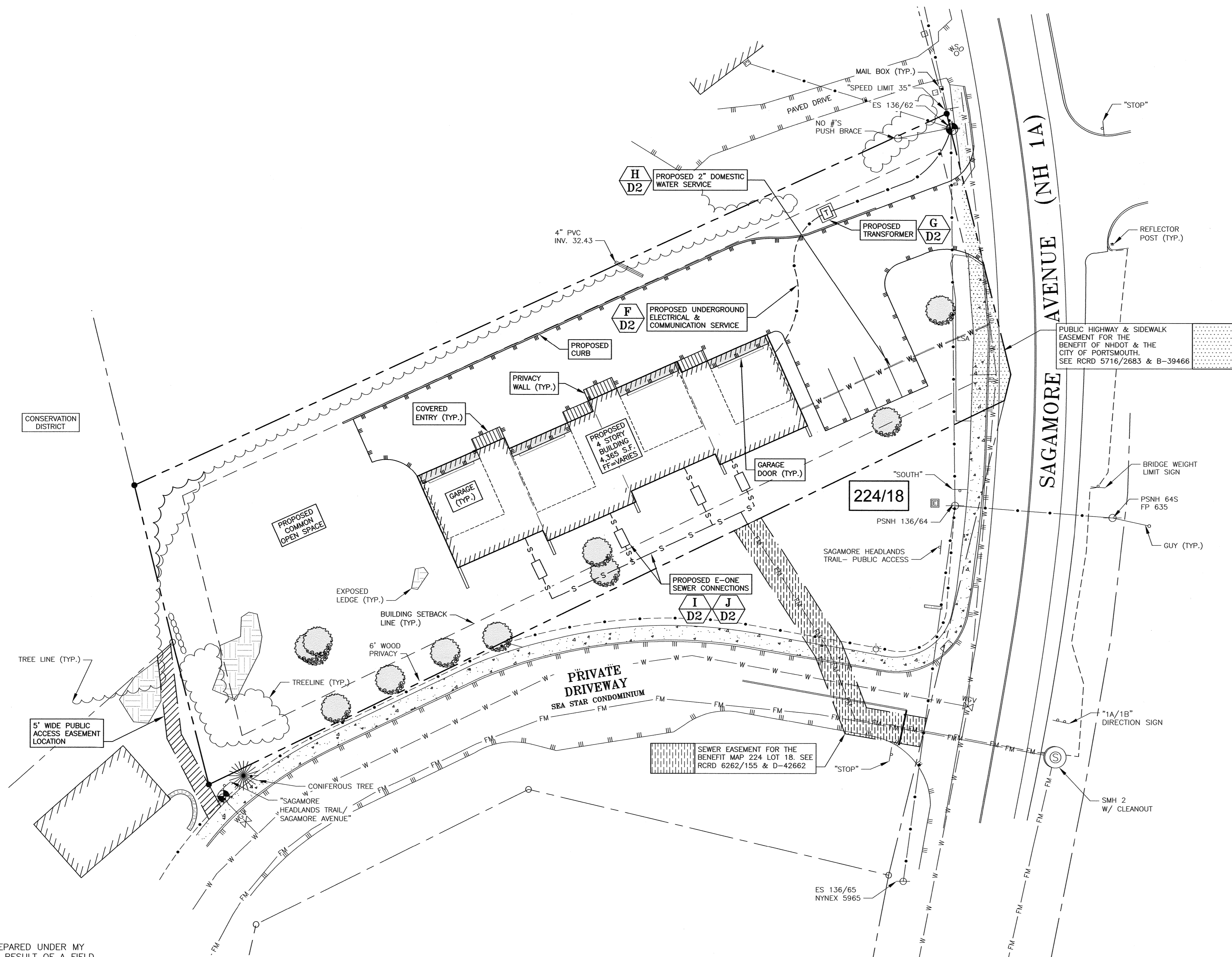
LEGEND: SEE COVER SHEET



NOTES:

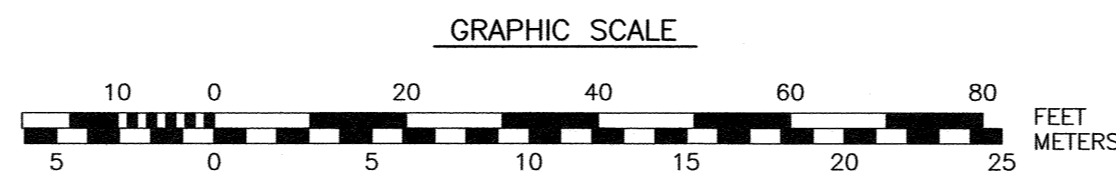
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 224 AS LOT 18.
- 2) OWNERS OF RECORD:
MICHAEL A. VALINSKI &
MAUREEN OAKMAN
1155 SAGAMORE AVENUE
PORTSMOUTH, NH 03801
3991/781

APPLICANT:
BUILD AMERICA
PO BOX 1664
PORTSMOUTH, NH 03802
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE SITE IMPROVEMENTS ON ASSESSOR'S MAP 224 LOT 18 IN THE CITY OF PORTSMOUTH.
- 4) VERTICAL DATUM IS NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 5) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 6) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 7) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 8) IRRIGATION WILL BE PROVIDED.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS #738 DATE



0	9/05/23	ISSUED FOR APPROVAL	OMS	JRC
No.	DATE	DESCRIPTION	BY	CHK

NOT FOR CONSTRUCTION

AMBIT ENGINEERING, INC.
A DIVISION OF HALEY WARD, INC.

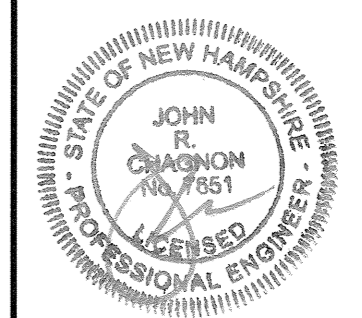
200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

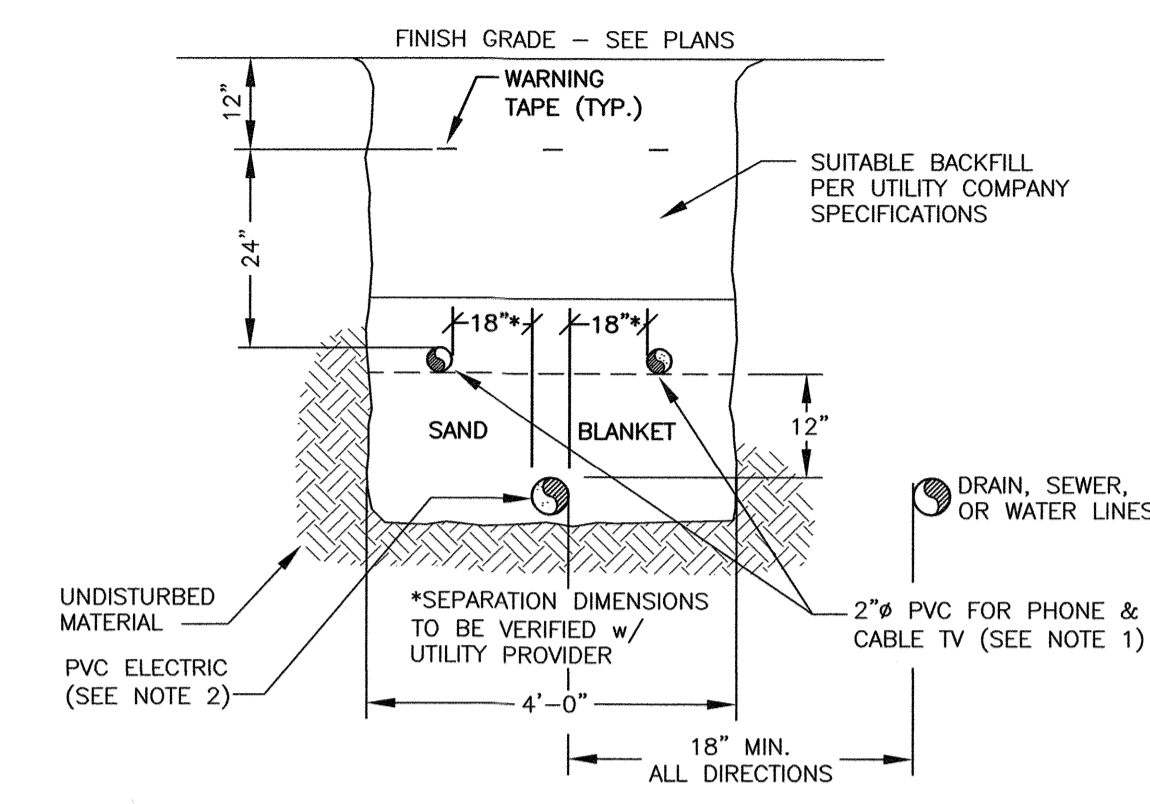
WWW.HALEYWARD.COM

BUILD AMERICA
1155 SAGAMORE AVENUE, PORTSMOUTH, NH 03801

UTILITY PLAN

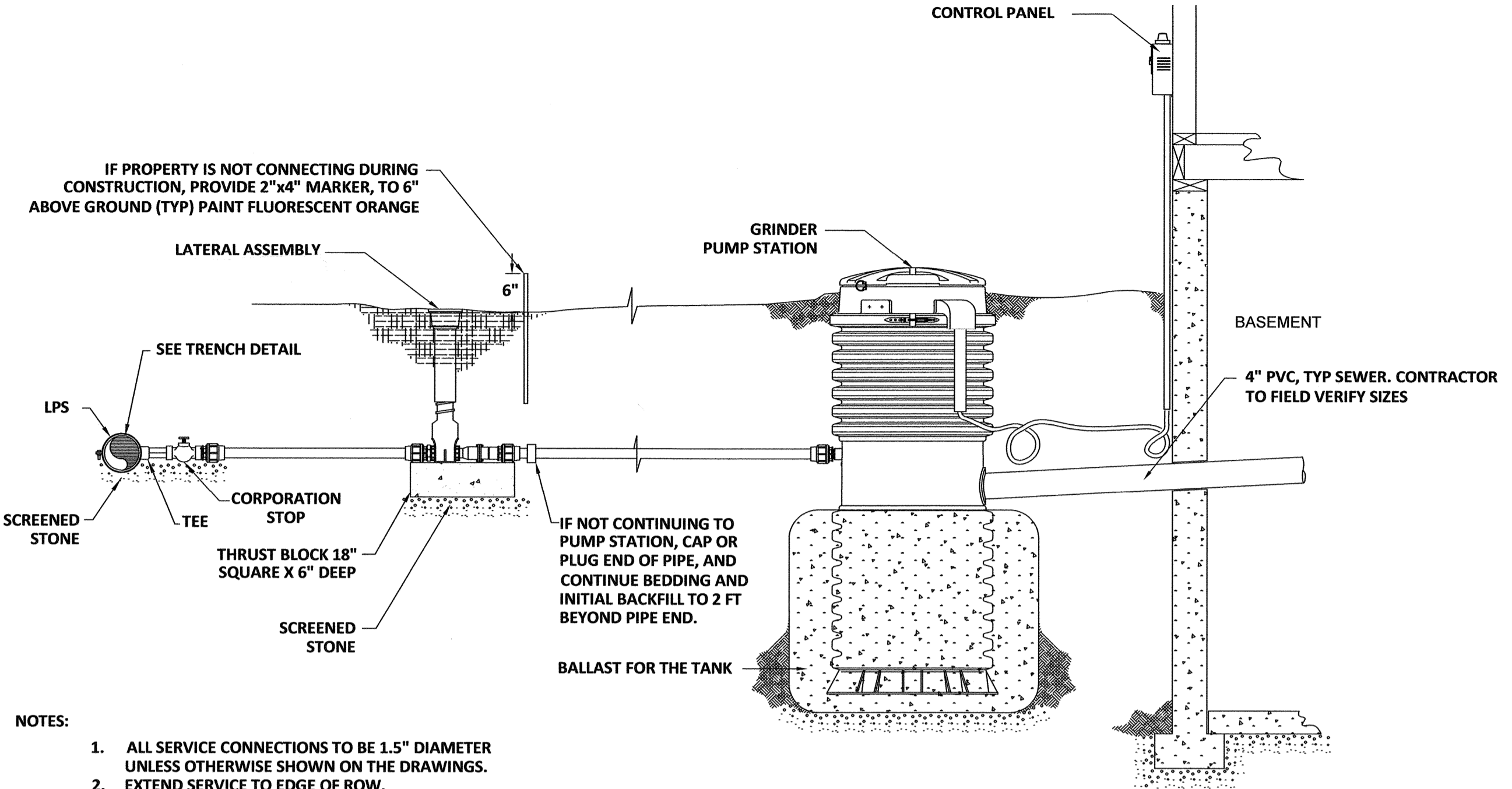
DATE	AUGUST 2023	SCALE	1" = 20'
DRAWN BY	OMS	DESIGNED BY	JRC
CHECKED BY	JRC		
PROJECT No.	5010314.417.01	FIELD BOOK & PAGE	FB 450 PG 1
SHEET	SHEET 4		
	C4		





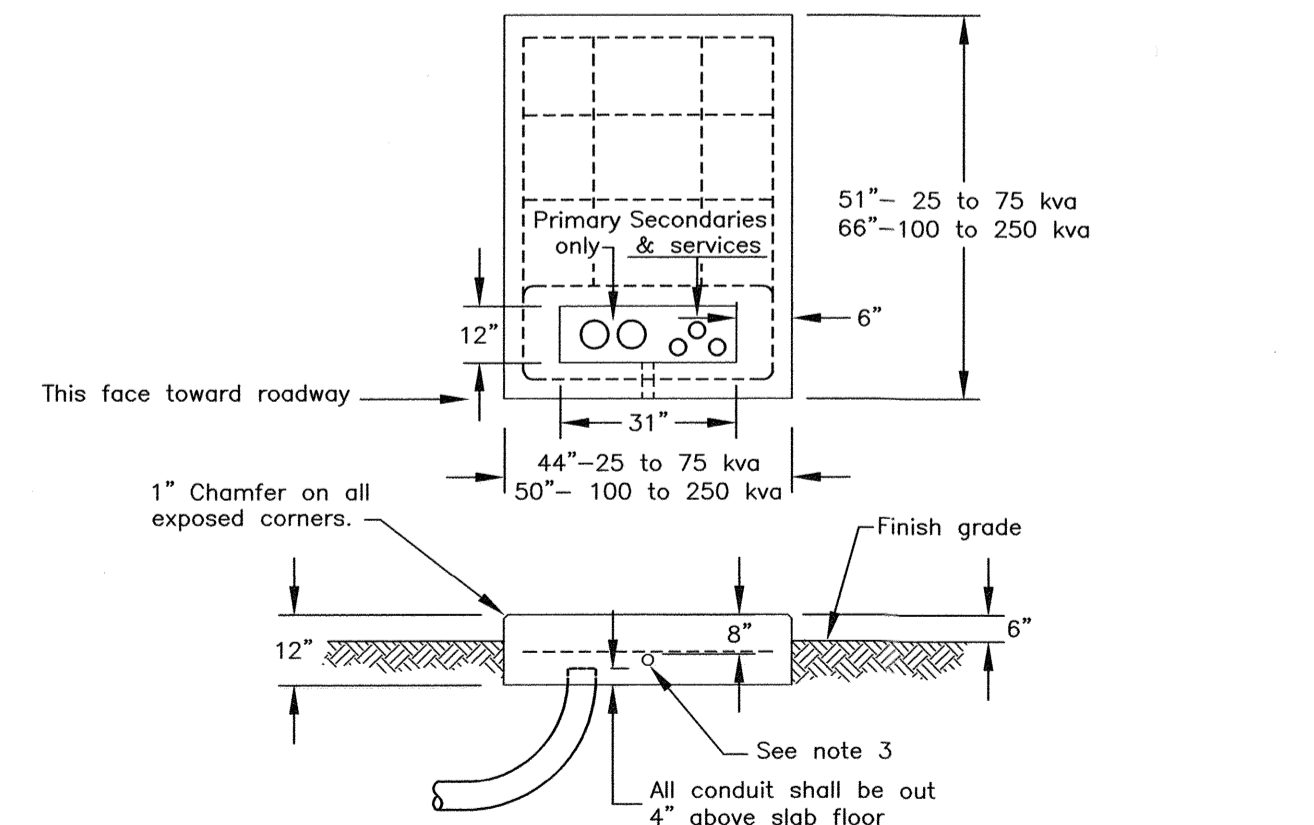
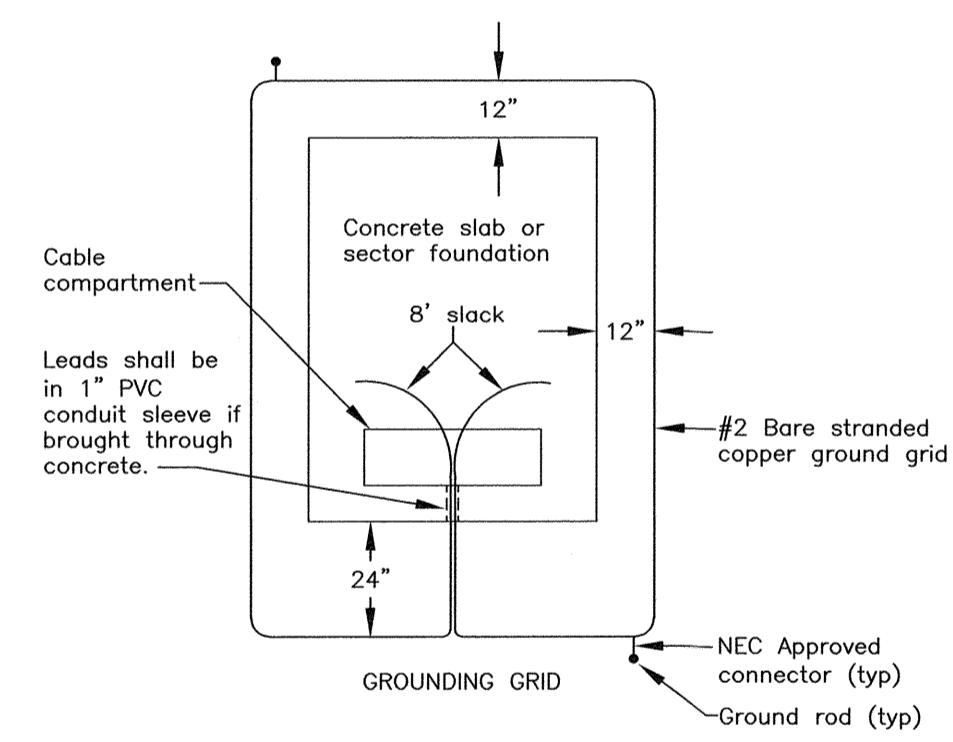
- NOTES:
- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCH. 40 FOR THE REMAINDER.
 - 2) NORMAL CONDUIT SIZES FOR CMP ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
 - 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
 - 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
 - 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION.

F UTILITY TRENCH
C4 ELECTRIC/PHONE/CABLE NTS



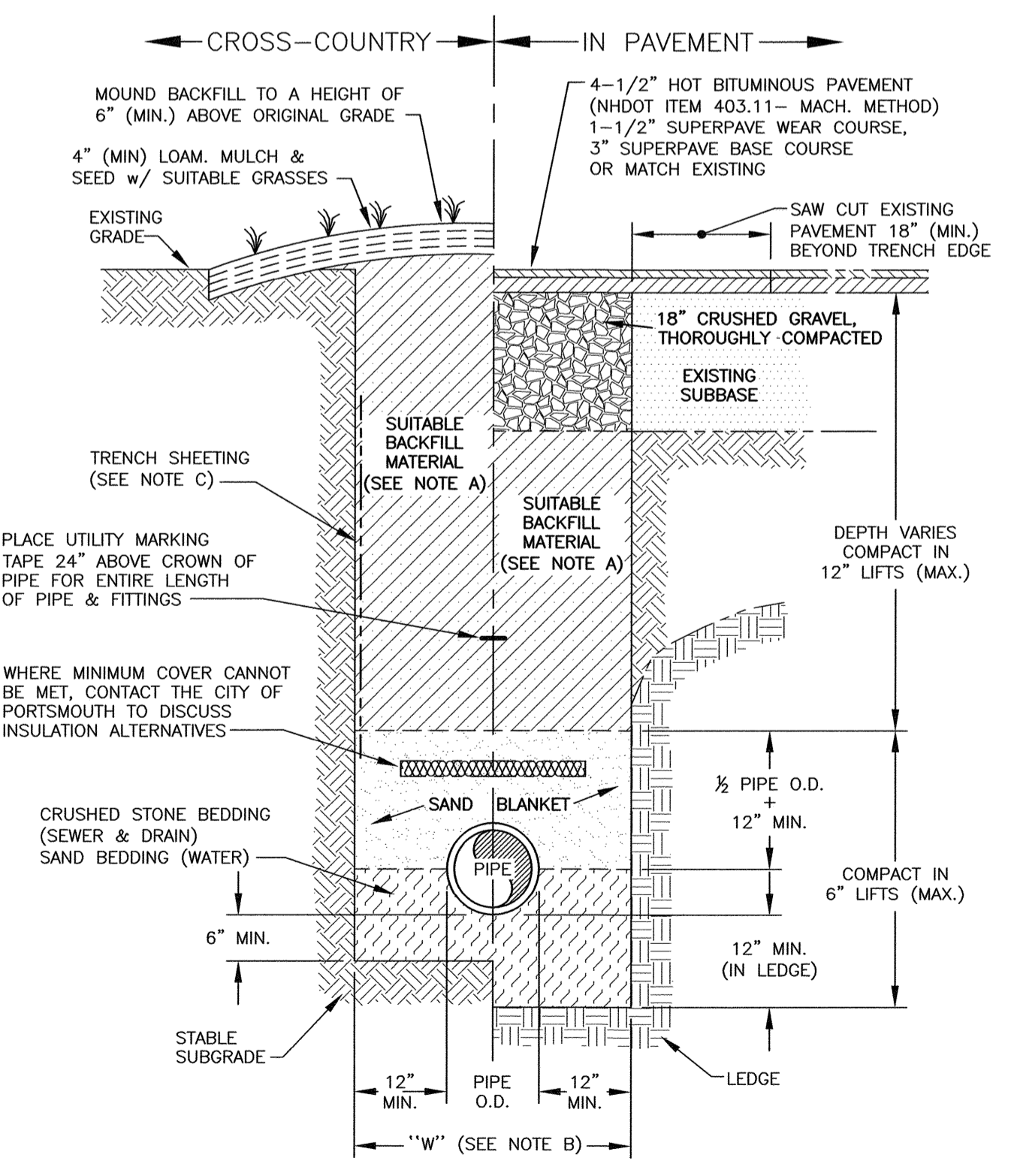
- NOTES:
1. ALL SERVICE CONNECTIONS TO BE 1.5" DIAMETER UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
 2. EXTEND SERVICE TO EDGE OF ROW.

I LPS SERVICE CONNECTION DETAIL
C4 COORDINATE WITH CITY OF PORTSMOUTH DPW NTS



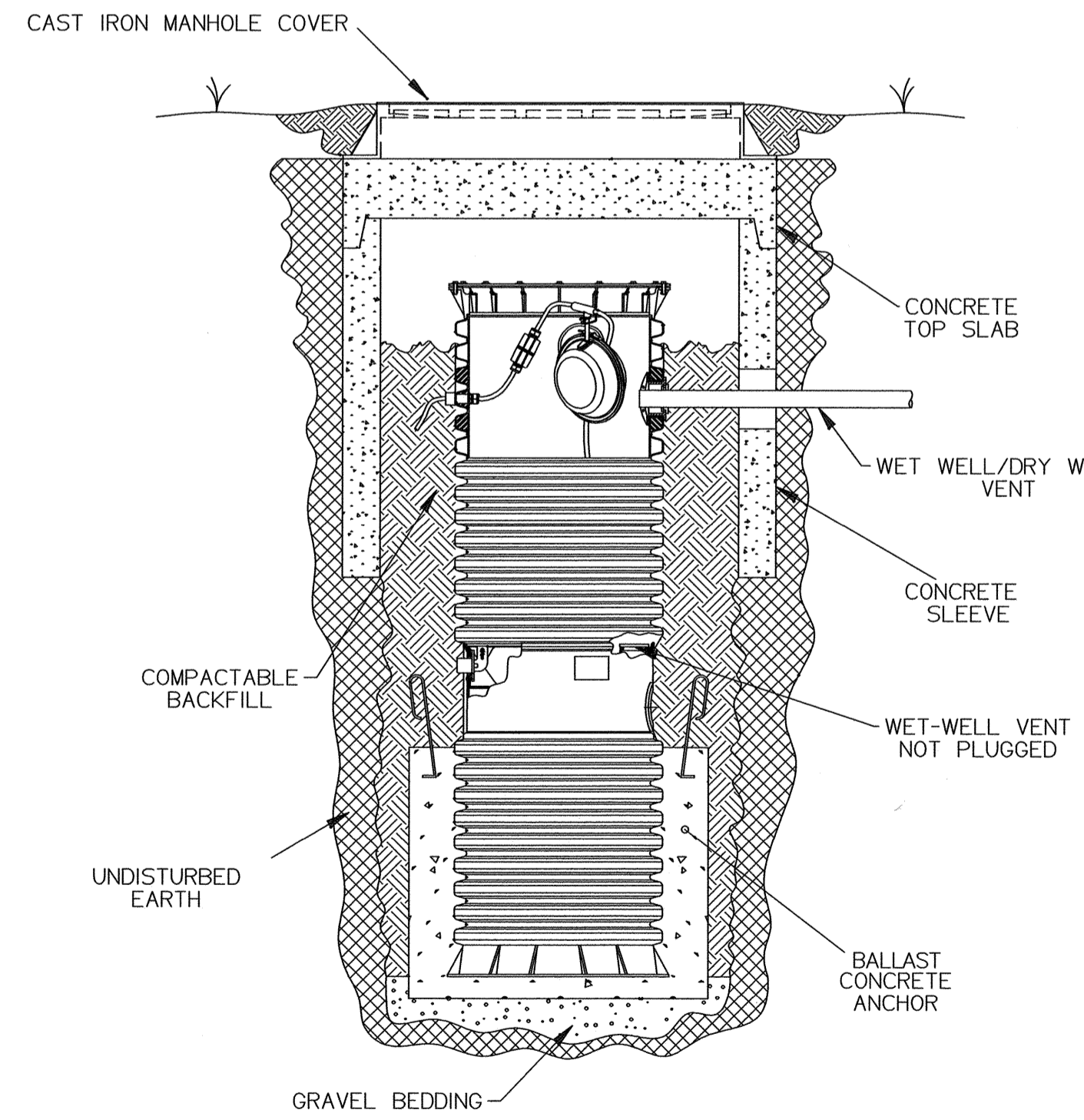
- NOTES:
1. See sheet "Requirements for Padmounted Transformer Slab Details".
 2. All reinforcing to be #6 bars.
 3. 1" PVC conduit sleeve for ground grid leads.
 4. The ground grid shall be supplied and installed by the customer and is to be buried at least 12" below grade. Eight feet of extra wire for each ground grid leg shall be left exposed in the cable compartment to allow for the connection to the transformer. The two 8' ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

G TRANSFORMER PAD
C4 NTS



- TRENCH NOTES:
- A) TRENCH BACKFILL:
- IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY. ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
- IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.
- B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..
- C) TRENCH SHEETING:
IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
6" MINIMUM FOR SEWER (IN PAVEMENT)
4" MINIMUM FOR SEWER (CROSS COUNTRY)
3" MINIMUM FOR STORMWATER DRAINS
5" MINIMUM FOR WATER MAINS
- E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

H TYPICAL PIPE TRENCH
C4 NTS



NOTE:
1. THIS SKETCH IS FOR CONCEPTUAL PURPOSES ONLY

J OPTIONAL MANHOLE INSTALLATION
C4 NTS

- NOTES:
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008)".

0	09.05.2023	ISSUED FOR COMMENT	DT	JC
No.	DATE	DESCRIPTION	BY	CHK

NOT FOR CONSTRUCTION



PROJECT: BUILDING EXPANSION PLAN
PORTSMOUTH AUTO BODY CENTER
700 PEVERLY HILL ROAD, PORTSMOUTH, NH

TITLE: DETAILS

DATE	SEPTEMBER 2023	SCALE	NTS
DRAWN BY	DT	DESIGNED BY	JC
CHECKED BY	JC	PROJECT No.	5010314.417.01
FIELD BOOK & PAGE	FB 450 PG 1	DRAWING No.	

SHEET 6 **D2**

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

September 5, 2023

Portsmouth Technical Review Advisory Committee
Attn: Board Members
1 Junkins Avenue, Suite 3rd Floor
Portsmouth, NH 03801

RE: TAC Work Session Application
635 Sagamore Avenue, Portsmouth, NH
Tax Map 222, Lot 19
JBE Project No. 18134.1

Dear Board Members,

Jones & Beach Engineers, Inc., respectfully submits a TAC Work Session Application on behalf of the applicant & owner, 635 Sagamore Development, LLC. The intent of this application is to discuss some important items with the Technical Advisory Committee in order to get clear direction prior to moving forward with the complete design. We will be back with a detailed plan for a full TAC review.

The plan is to remove the 2 pre-existing non-conforming structures known as the Luster King. Then four new single-family homes will be constructed with access via a private common driveway from Sagamore Avenue. We have received our variances for this proposed development recently. The existing wide curb cut that currently exists for Luster King will be narrowed for just the one driveway. The new development will be tied into the new sewer line installed for this area.

Given all the changes that are happening in this area. We wanted to have a conversation about the sight distance for this development as this property is located near an existing high point on Sagamore. We also wanted to review whether this small 4-unit project would require a hydrant and therefore require an 8" water line to be extended from the existing 12" line. If no hydrant is required, then we could go with a smaller line to provide just domestic water service. The sewer service for this lot has already been installed and we will be tying into that line. I understand the sidewalk contract for Sagamore will be happening in the spring and we will want to get the limits of the new sidewalk determined and coordinated with our driveway location.

The following items are provided in support of this Application:

1. Completed TAC Work Session Application (submitted online).
2. Letter of Authorization.
3. Current Deed.
4. Example Building Plans (11"x17")
5. One (1) Full Size Plan Set Folded.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

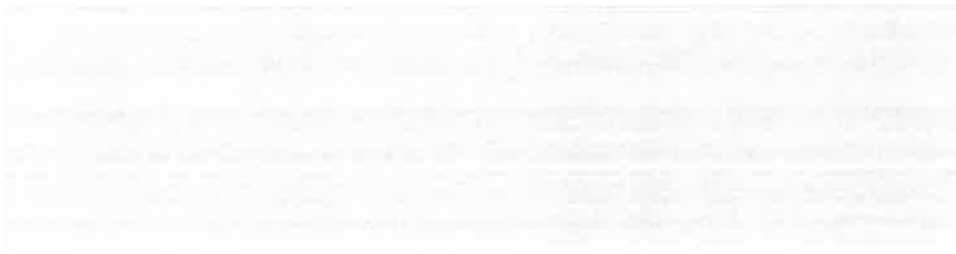
Very truly yours,
JONES & BEACH ENGINEERS, INC.



Joseph A. Coronati
Vice President

cc: Michael Garrepy (via email)
Chris Ward (via email)
Stephen Pernaw, Traffic Consultant (via email)

JONES & BEACH
ENGINEERS INC.

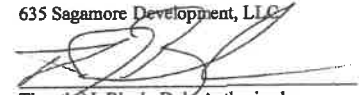


Letter of Authorization

635 Sagamore Development, LLC, owner of property located at 635 Sagamore Avenue in Portsmouth, NH, known as Tax Map 222, Lot 19, do hereby authorize Jones & Beach Engineers, Inc. ("JBE"), Garrepy Planning Consultants, LLC ("GPC"), and Hoefle, Phoenix, Gormley & Roberts, PLLC ("HPGR") to act on its behalf concerning the previously mentioned property.

I hereby appoint JBE, GPC and HPGR as agents to act on behalf of 635 Sagamore Development, LLC in the Planning Board and Zoning Board application process, to include any required signatures.

635 Sagamore Development, LLC



Timothy J. Black, Duly Authorized

January 5, 2022
Date



Return to:



LCHIP	ROA585829	25.00
TRANSFER TAX	RO109828	5,807.00
RECORDING		14.00
SURCHARGE		2.00

WARRANTY DEED

KNOW ALL BY THESE PRESENTS, that I, **WILLIAM A. HINES**, married person, **TRUSTEE OF THE WILLIAM A. HINES FAMILY REVOCABLE TRUST** a/k/a The Hines Family Revocable Trust of 2006, of 635 Sagamore Avenue, Portsmouth, New Hampshire 03801, for consideration paid, hereby grant to **635 SAGAMORE DEVELOPMENT, LLC**, a New Hampshire limited liability company with a mailing address of 3612 Lafayette Road, Dept. 4, Portsmouth, New Hampshire 03801 with **WARRANTY COVENANTS**, the following described premises:

A certain tract of land with the buildings thereon, situate on Sagamore Avenue in said Portsmouth, more particularly described as follows:

Beginning at a point on Sagamore Avenue at land now or formerly of Arnold, thence running Westerly by said Arnold land three hundred (300) feet, more or less, to land now or formerly of W.W. and D.M. Johnston; thence turning and running Northwesterly by said Johnston land one hundred and twenty-four (124) feet; thence turning and running Northerly also by said Johnston land one hundred sixty-two (162) feet to land now or formerly of C.W. Walker; thence turning and running Easterly by said Walker land four hundred nineteen (419) feet to Sagamore Avenue; thence turning and running Easterly one hundred forty (140) feet; thence turning and running along said Sagamore Avenue thirty (30) feet to land of one Smith; thence turning and running Westerly one hundred forty (140) feet; thence turning and running Southerly ninety (90) feet; thence turning and running Easterly one hundred forty (140) feet to Sagamore Avenue; the last three bounds being land of Smith; thence turning running Southerly by said Sagamore Avenue one hundred sixty (160) feet to the point of beginning.

EXCEPTING AND RESERVING to the said William A. Hines and his wife Bonnie Hines a life estate in the above-described property permitting them to reside in the existing residential apartment on the property for the remainder of William A. Hines natural life, plus one year unless Bonne Hines shall have predeceased.

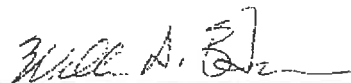
Meaning and intending to convey the same premises conveyed to the Grantor by deed of William A. Hines dated February 11, 2008 and recorded in the Rockingham County Registry of Deeds at Book 4885, Page 1538.

BY SIGNING BELOW, William A. Hines and Bonnie Hines release all homestead rights to the Premises.

TRUSTEE CERTIFICATE

I, William A. Hines, Trustee of the William A. Hines Family Revocable Trust A/K/A The Hines Family Revocable Trust of 2006, hereby covenant that said Trust is duly organized under the laws of the State of New Hampshire; that I am the sole trustee pursuant to said Declaration of Trust; that said Trust is still in full force and effect; that I have the power thereunder to convey as aforesaid; and that, in making this conveyance, I have, in all respects, acted pursuant to the authority vested in and granted to me therein and no purchaser or third party shall be bound to inquire whether the Trustee has said power or are properly exercising said power or to see to the application of any trust assets paid to the Trustee for a conveyance thereof.

Signed this 3rd day of September, 2021.



William A. Hines, Trustee of the William A. Hines Family Revocable Trust A/K/A The Hines Family Revocable Trust of 2006



Bonnie Hines

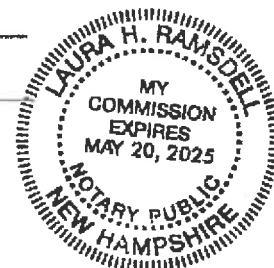
STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

On this, the 3rd day of September, 2021, before me, the undersigned Officer, personally appeared William A. Hines, Trustee of the William A. Hines Family Revocable Trust A/K/A The Hines Family Revocable Trust of 2006, known to me, or satisfactorily proven, to be the person whose name is subscribed to the foregoing instrument, and acknowledged that he executed the same for the purposes set forth therein.



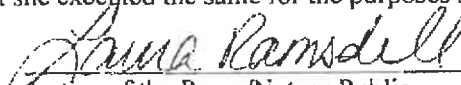
Justice of the Peace/Notary Public

My commission expires: _____



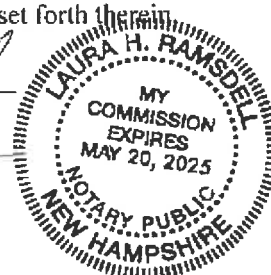
STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

On this, the 3rd day of September, 2021, before me, the undersigned Officer, personally appeared Bonnie Hines, known to me, or satisfactorily proven, to be the person whose name is subscribed to the foregoing instrument, and acknowledged that she executed the same for the purposes set forth therein.



Justice of the Peace/Notary Public

My commission expires: _____



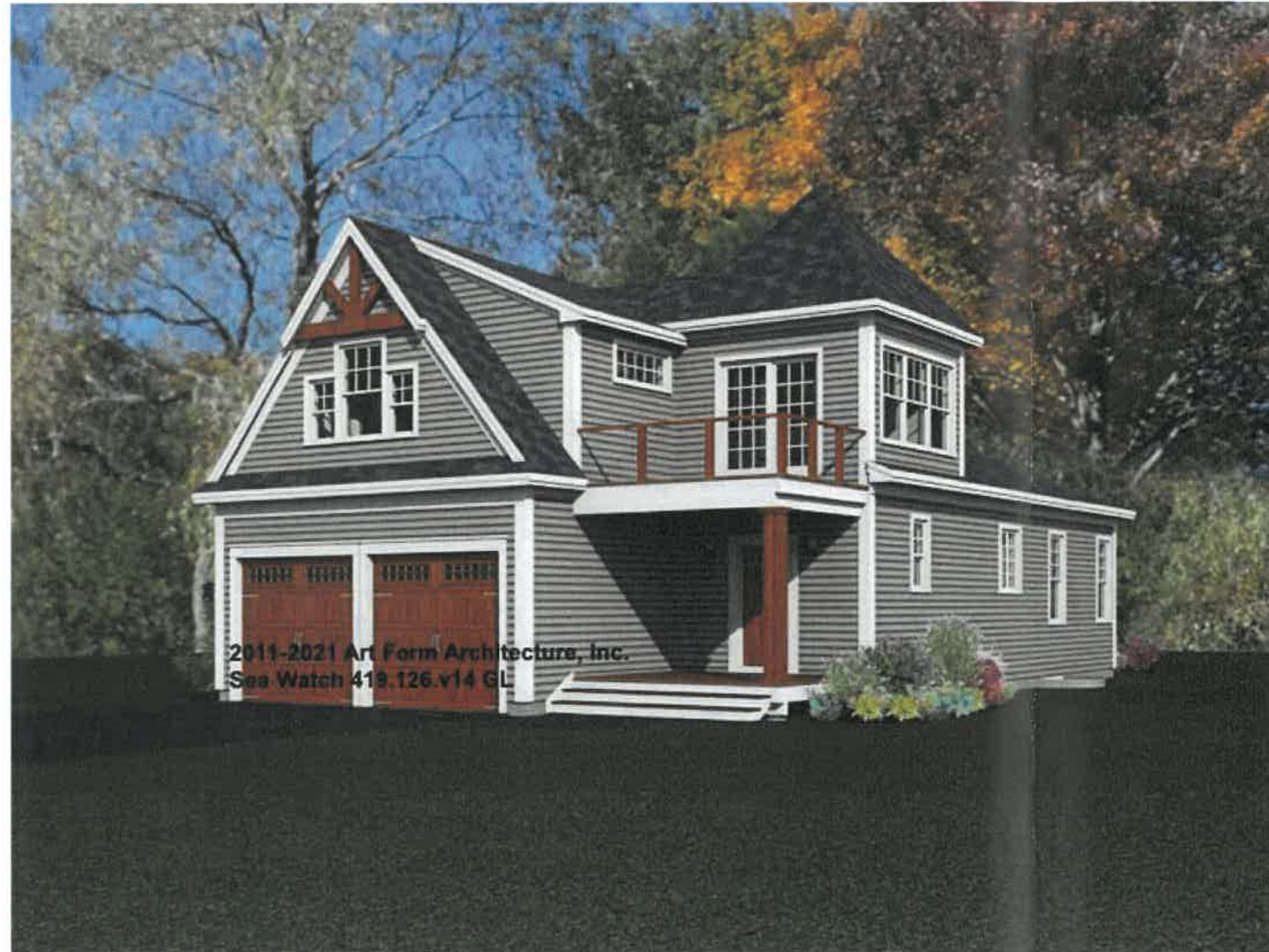
Sea Watch

419.126.v14 GL (1/27/2022)

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603-431-9559



Dear Builders and Home Buyers,

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

This design may not yet have Construction Drawings (as defined in the Terms), and is, therefore, only available as a Design Drawing (as defined in the Terms and together with Construction Drawings, "Drawings"). It is possible that during the conversion of a Design Drawing to a final Construction Drawing, changes may be necessary including, but not limited to, dimensional changes. Please see Plan Data Explained on www.ArtformHomePlans.com to understand room sizes, dimensions and other data provided. We are not responsible for typographical errors.

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

Facade Changes:

- To maintain design integrity, we pay particular attention to features on the front facade, including but not limited to door surrounds, window casings, finished porch column sizes, and roof friezes. While we may allow builders to add their own flare to aesthetic elements, we don't allow our designs to be stripped of critical details. Any such alterations require the express written consent of Artform.
- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

Floor plan layout and/or Structural Changes:

- Structural changes always require the express written consent of Artform
- If you wish to move or remove walls or structural elements (such as removal of posts, increases in house size, ceiling height changes, addition of dormers, etc), please do not assume it can be done without other additional changes (even if the builder or lumber yard says you can).

EXHIBIT B

Sea Watch

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 **Artform Home Plans**

603-431-9559



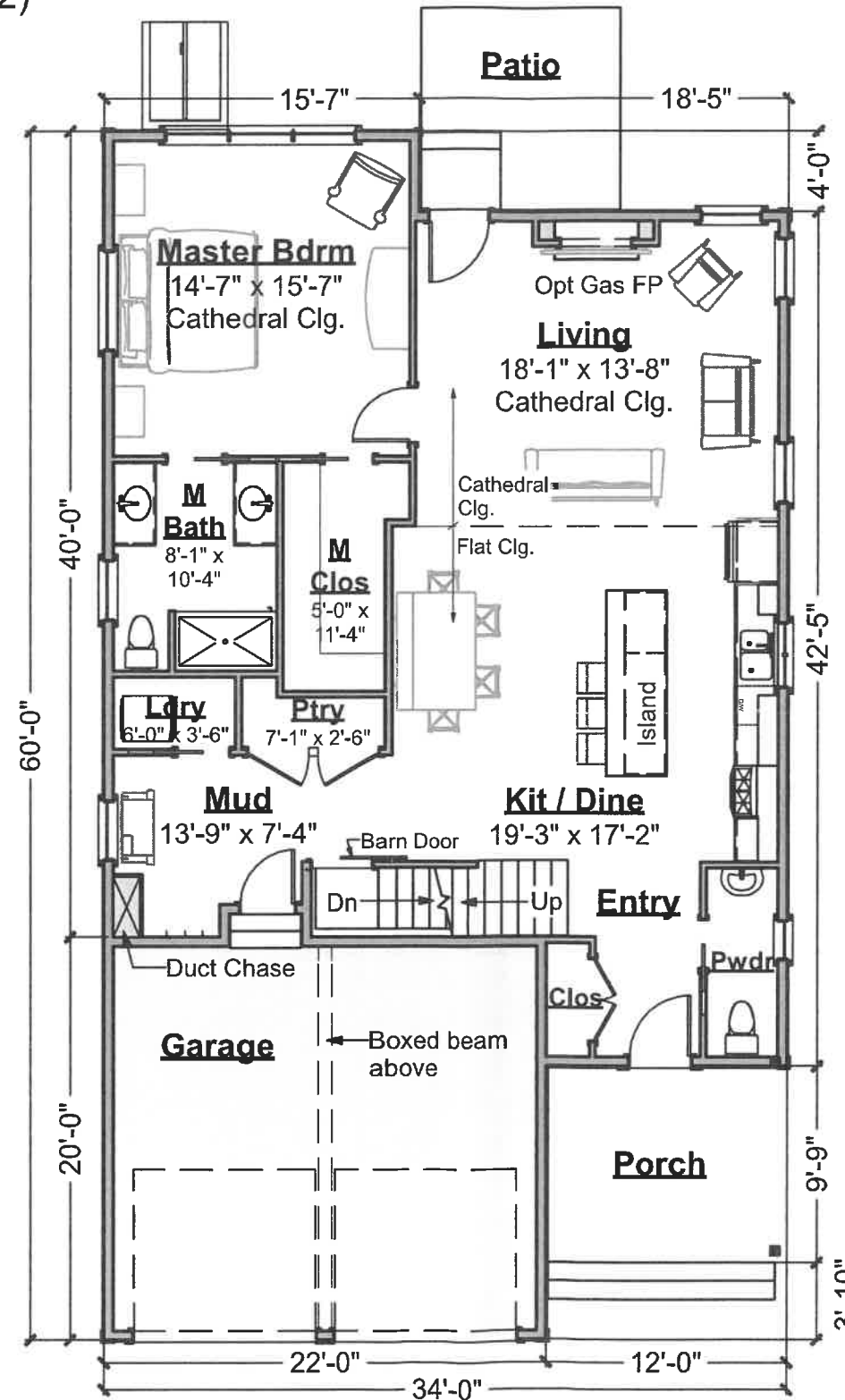
Sea Watch

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603-431-9559



Living Area This Floor: 1370 sq ft
9 ft Ceilings, unless noted otherwise

First Floor Plan

Scale: 3/32" = 1'-0"

Sea Watch

419.126.v14 GL (1/27/2022)

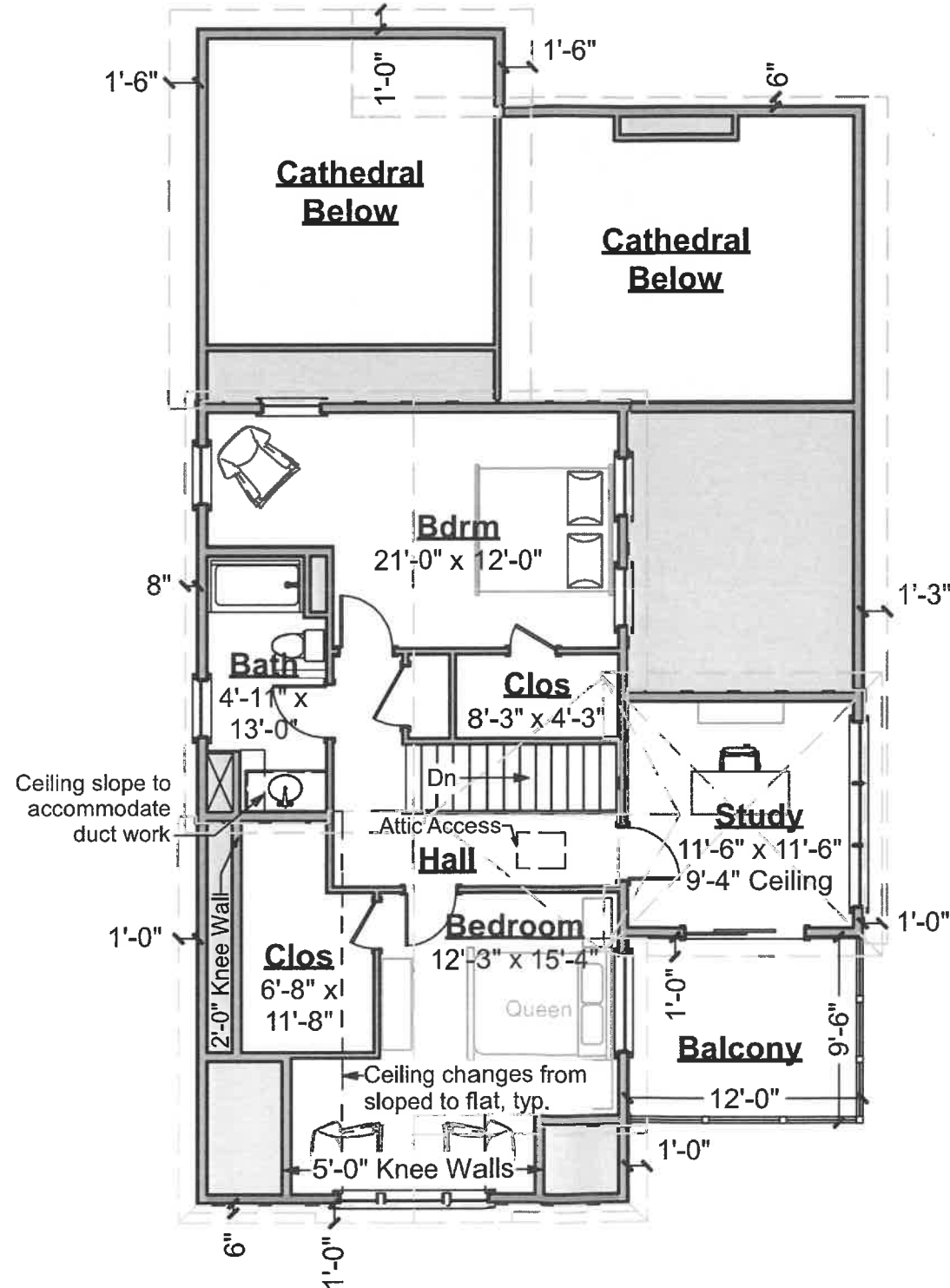
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603-431-9559

Living Area This Floor: 979 sq ft

8 ft Ceilings, unless noted otherwise



Second Floor Plan

Scale: 3/32" = 1'-0"

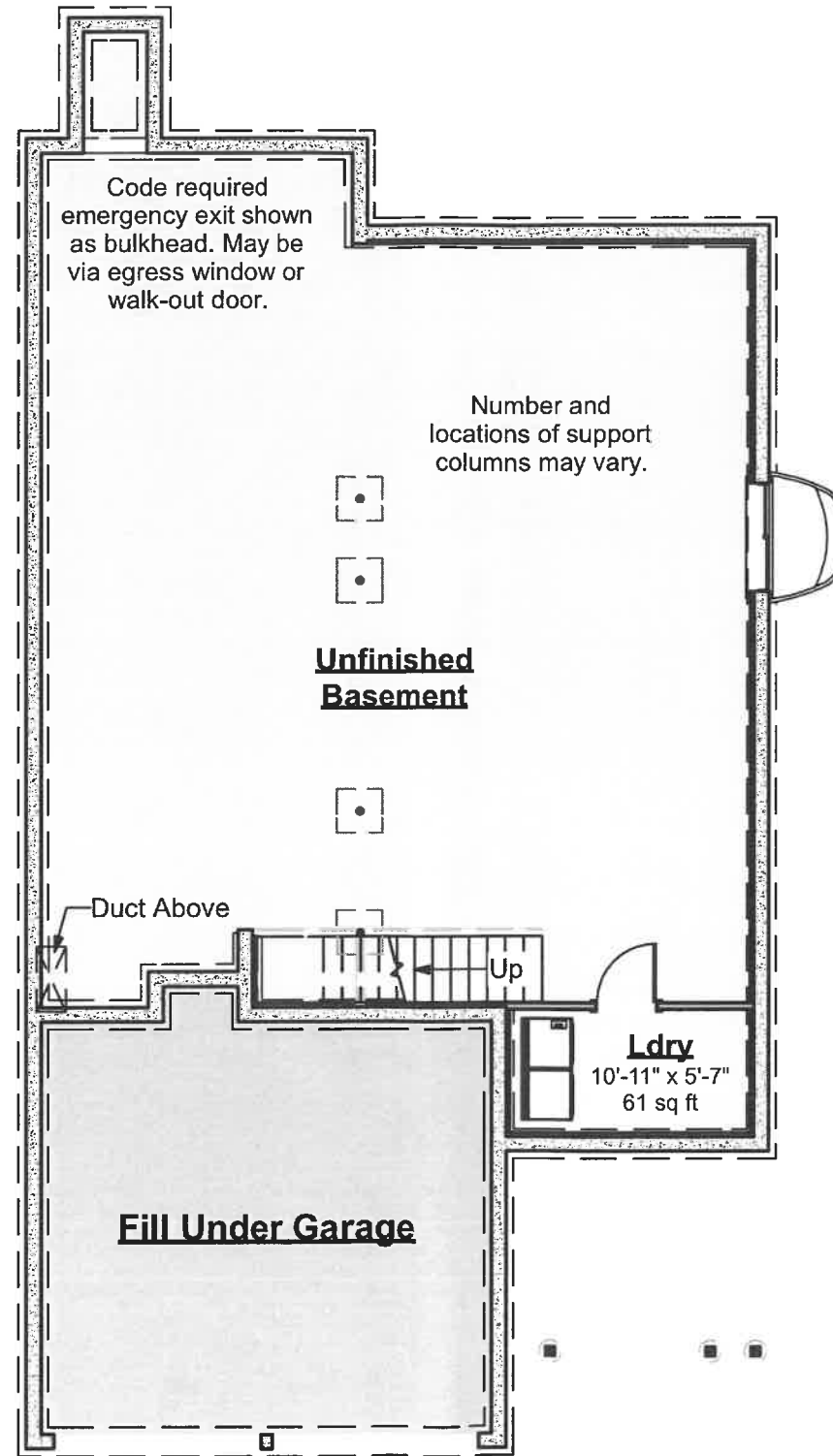
Sea Watch

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603-431-9559



Foundation Plan

Scale: 3/32" = 1'-0"

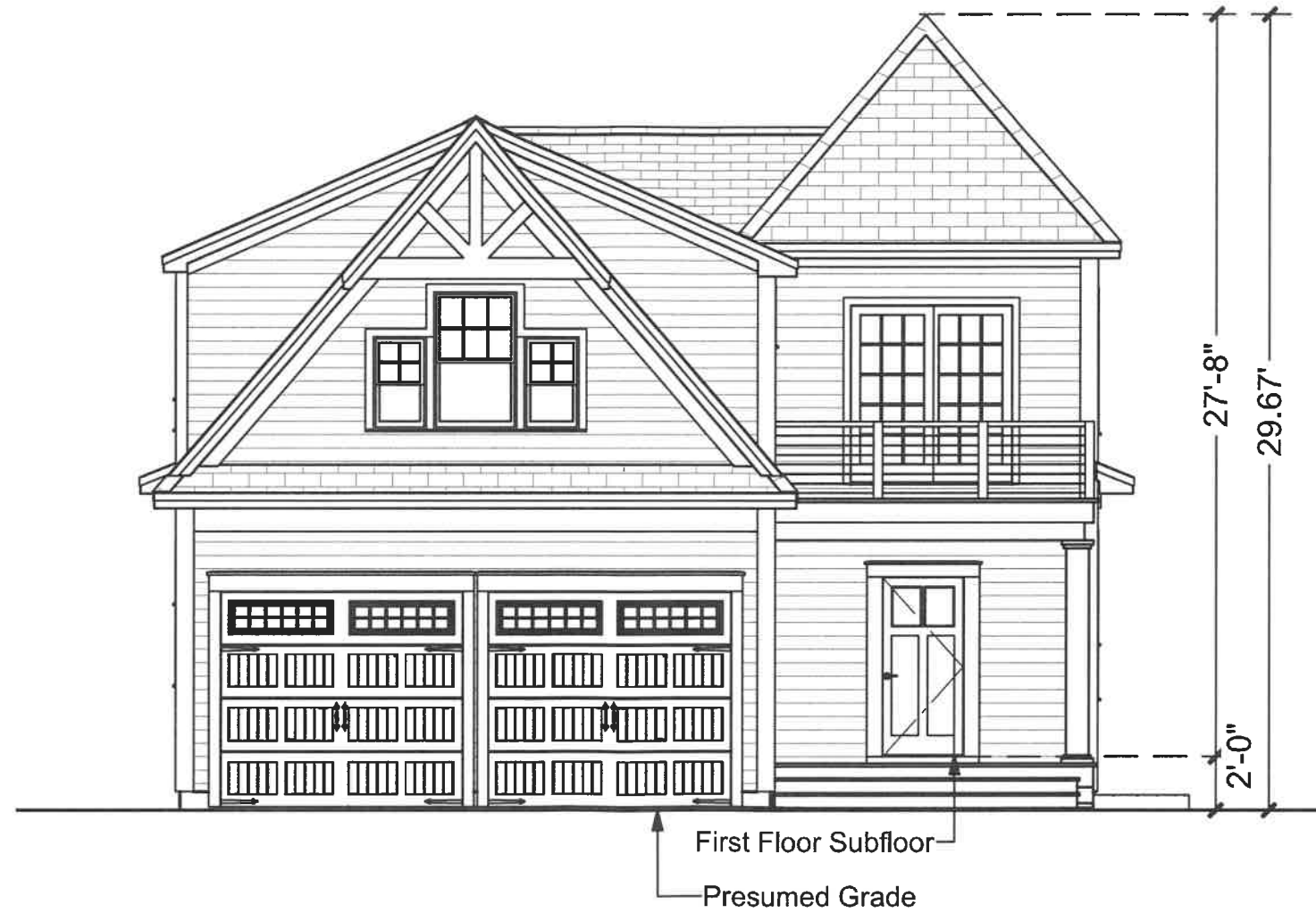
Sea Watch

419.126.v14 GL (1/27/2022)

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603-431-9559



Front Elevation

Scale: 1/8" = 1'-0"

Sea Watch

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 **Artform Home Plans**

603-431-9559



Right Elevation

Scale: 1/8" = 1'-0"

Sea Watch

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603-431-9559



Rear Elevation

Scale: 1/8" = 1'-0"

Sea Watch

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603-431-9559



Left Elevation
Scale: 1/8" = 1'-0"

Sea Watch

419.126.v14 GL (1/27/2022)

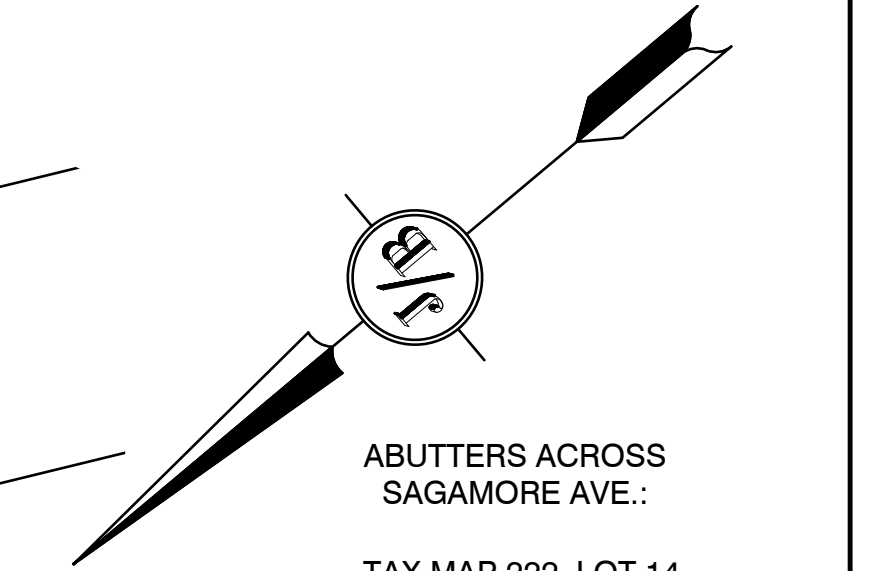
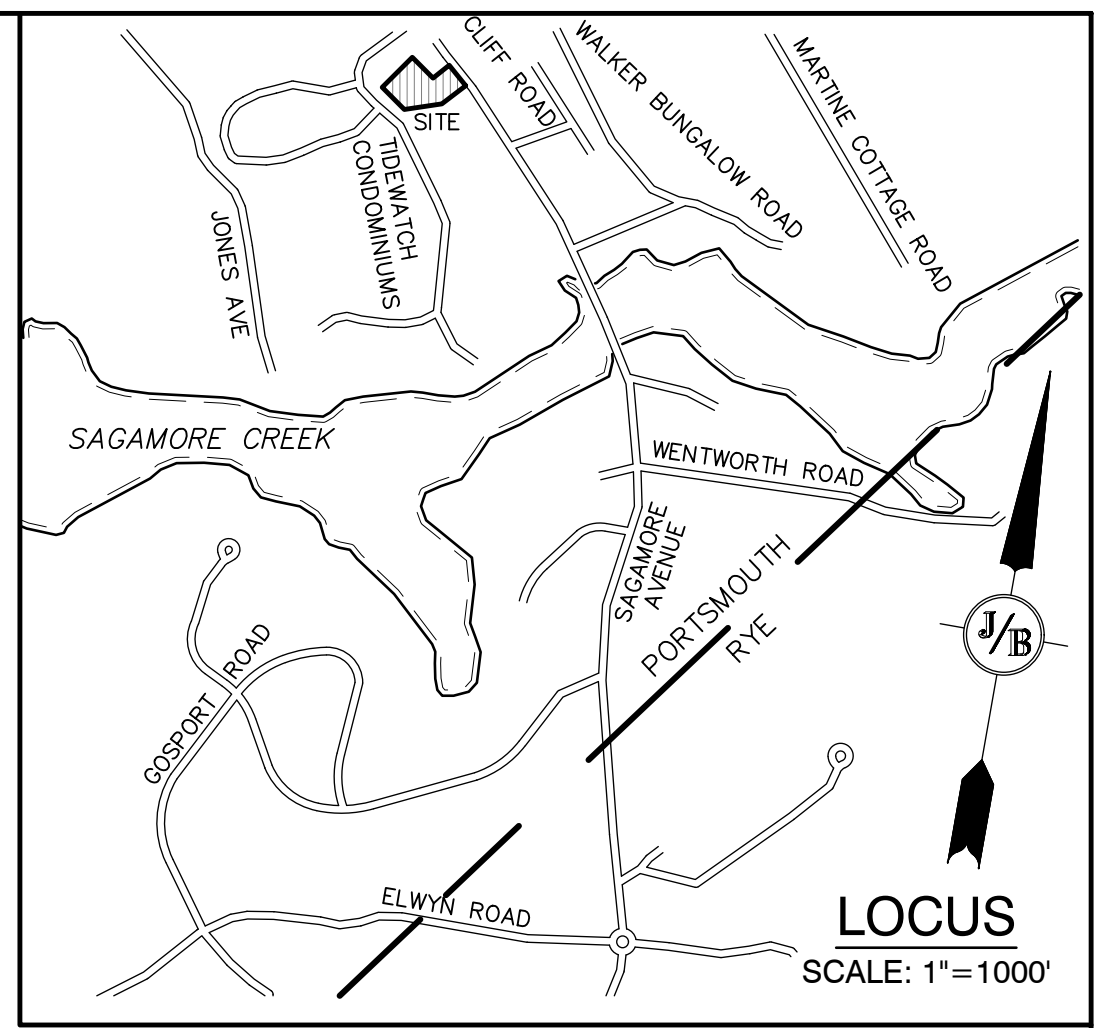
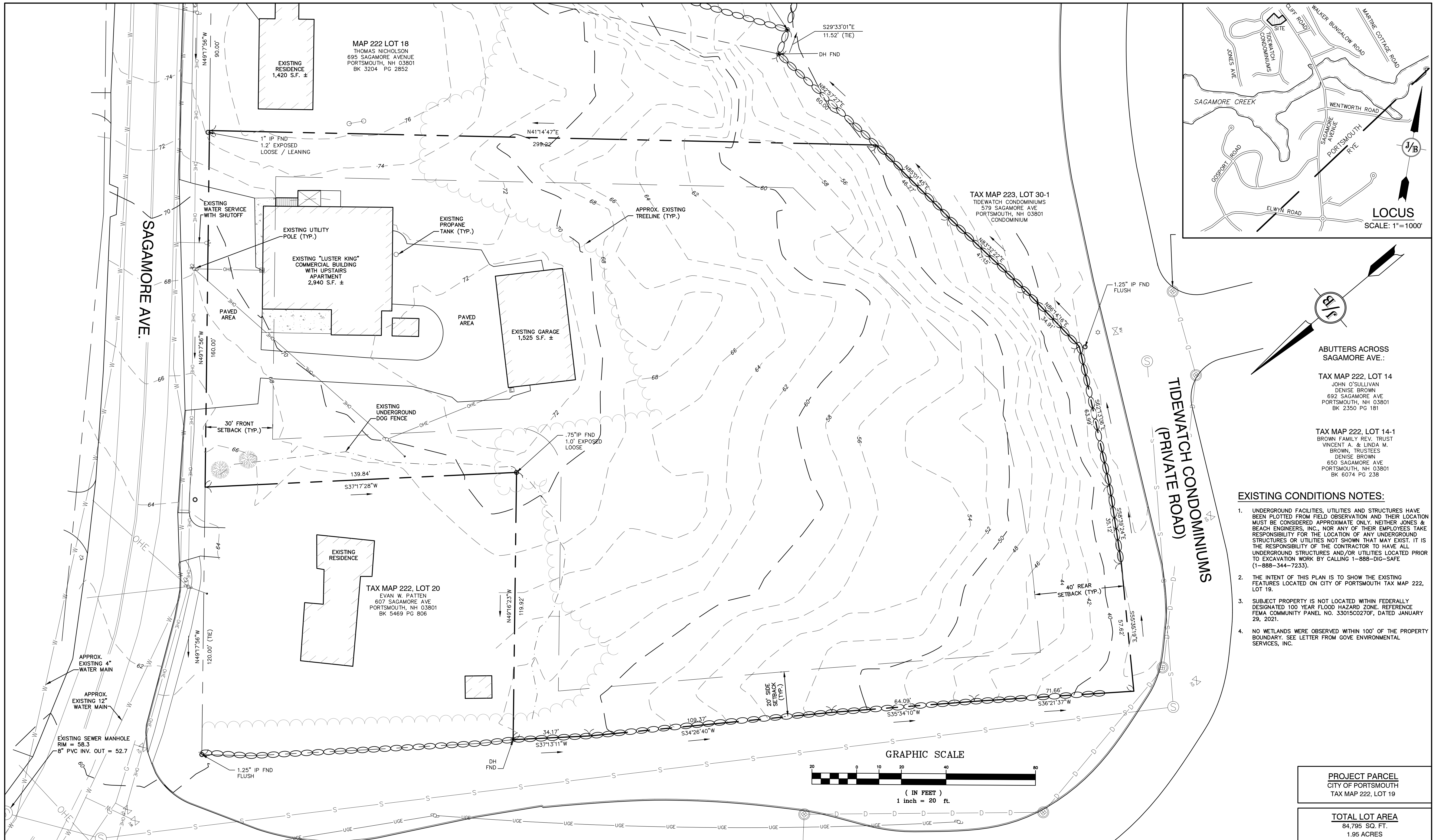
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603-431-9559



Interior Views



ABUTTERS ACROSS SAGAMORE AVE.:

TAX MAP 222, LOT 14
 JOHN O'SULLIVAN
 DENISE BROWN
 692 SAGAMORE AVE
 PORTSMOUTH, NH 03801
 BK 2350 PG 181

TAX MAP 222, LOT 14-1
 BROWN FAMILY REV. TRUST
 VINCENT A. & LINDA M.
 BROWN, TRUSTEES
 DENISE BROWN
 650 SAGAMORE AVE
 PORTSMOUTH, NH 03801
 BK 6074 PG 238

- EXISTING CONDITIONS NOTES:**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING FEATURES LOCATED ON CITY OF PORTSMOUTH TAX MAP 222, LOT 19.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270F, DATED JANUARY 29, 2021.
 - NO WETLANDS WERE OBSERVED WITHIN 100' OF THE PROPERTY BOUNDARY. SEE LETTER FROM GOVE ENVIRONMENTAL SERVICES, INC.

PROJECT PARCEL
 CITY OF PORTSMOUTH
 TAX MAP 222, LOT 19

TOTAL LOT AREA
 84,795 SQ. FT.
 1.95 ACRES

Design: JAC Draft: DJM Date: 12/07/2021
 Checked: JAC Scale: AS NOTED Project No.: 18134.1
 Drawing Name: 18134-CONCEPT-8.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

REV.	DATE	REVISION	BY
7	9/5/23	ISSUED TO TAC	DJM
6	10/25/22	REVISED PLAN NAME	DJM
5	6/23/22	REVISED CONCEPTUAL LAYOUT	DJM
4	6/2/22	ADDED UTILITY INFORMATION	DJM
3	3/21/22	REVISED CONCEPTUAL LAYOUT	DJM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**

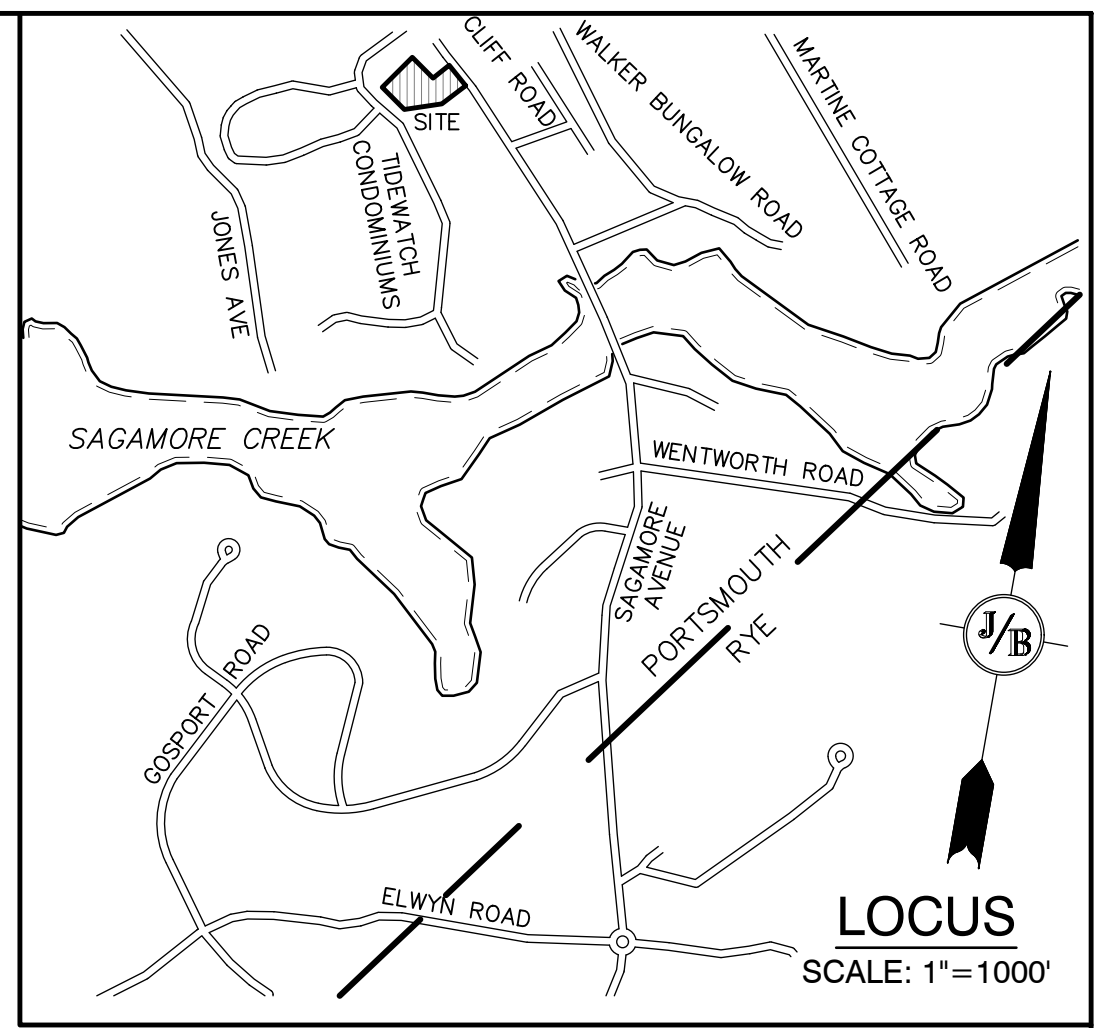
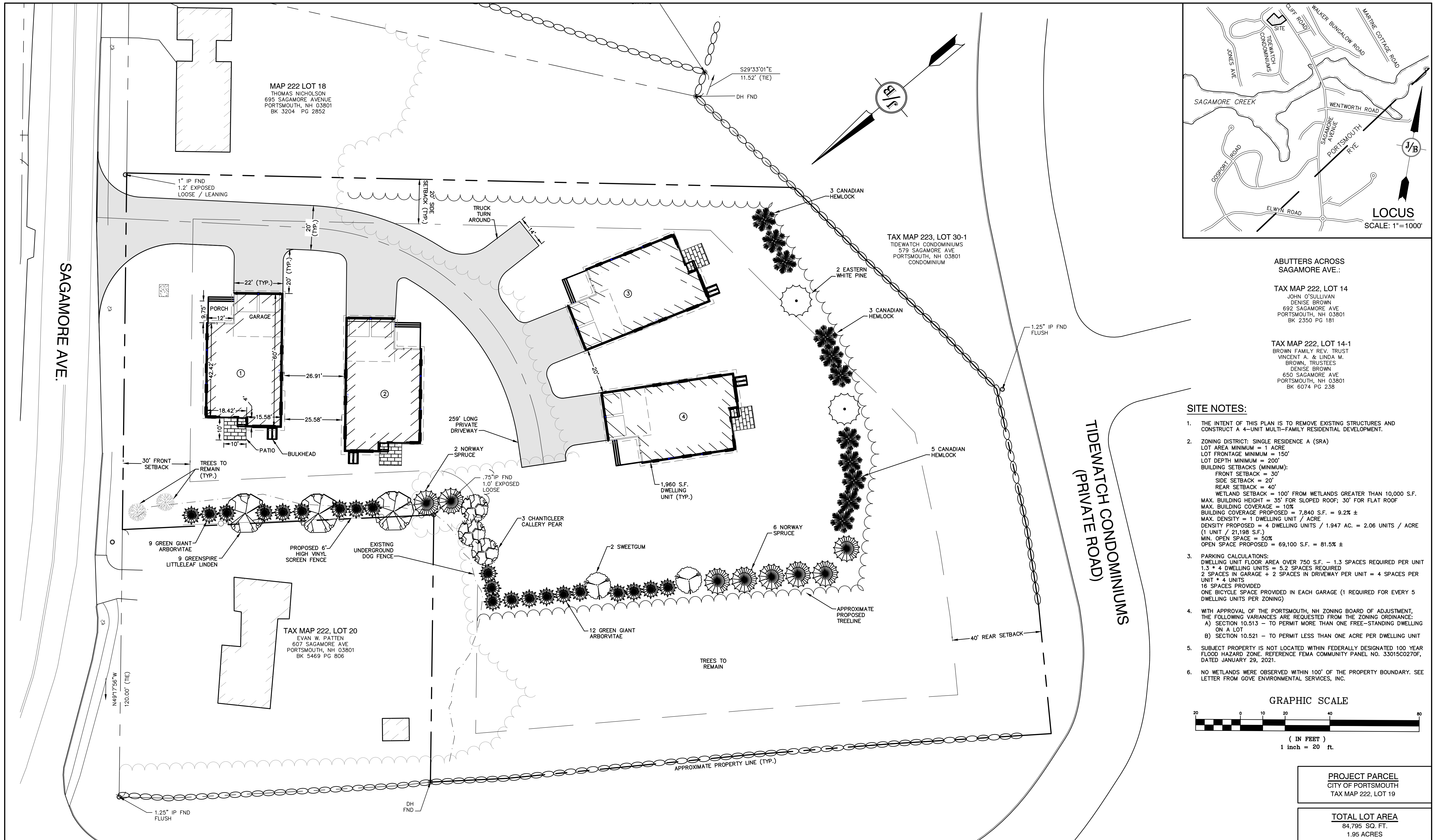
Project: **4-UNIT RESIDENTIAL SITE
 635 SAGAMORE AVE., PORTSMOUTH, NH**

Owner of Record: 3612 LAFAYETTE RD., DEPT 4, PORTSMOUTH, NH 03801 BK 6332 PG 1158

DRAWING No.

C1

SHEET 1 OF 5
 JBE PROJECT NO. 18134.1



ABUTTERS ACROSS SAGAMORE AVE.:

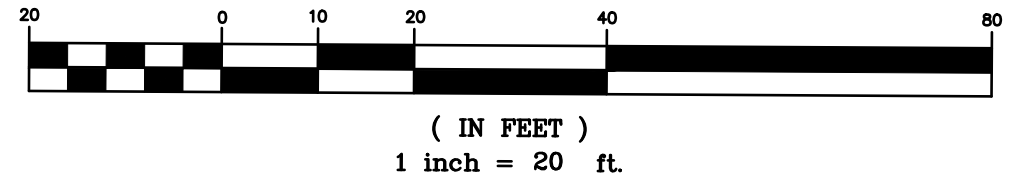
TAX MAP 222, LOT 14
JOHN O'SULLIVAN
DENISE BROWN
692 SAGAMORE AVE
PORTSMOUTH, NH 03801
BK 2350 PG 181

TAX MAP 222, LOT 14-1
BROWN FAMILY REV. TRUST
VINCENT A. & LINDA M.
BROWN, TRUSTEES
DENISE BROWN
650 SAGAMORE AVE
PORTSMOUTH, NH 03801
BK 6074 PG 238

SITE NOTES:

- THE INTENT OF THIS PLAN IS TO REMOVE EXISTING STRUCTURES AND CONSTRUCT A 4-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT.
- ZONING DISTRICT: SINGLE RESIDENCE A (SRA)
LOT AREA MINIMUM = 1 ACRE
LOT FRONTAGE MINIMUM = 150'
LOT DEPTH MINIMUM = 200'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 30'
SIDE SETBACK = 20'
REAR SETBACK = 40'
WETLAND SETBACK = 100' FROM WETLANDS GREATER THAN 10,000 S.F.
MAX. BUILDING HEIGHT = 35' FOR SLOPED ROOF; 30' FOR FLAT ROOF
MAX. BUILDING COVERAGE = 10%
BUILDING COVERAGE PROPOSED = 7,840 S.F. = 9.2% ±
MAX. DENSITY = 1 DWELLING UNIT / ACRE
DENSITY PROPOSED = 4 DWELLING UNITS / 1.947 AC. = 2.06 UNITS / ACRE (1 UNIT / 21,198 S.F.)
MIN. OPEN SPACE = 50%
OPEN SPACE PROPOSED = 69,100 S.F. = 81.5% ±
- PARKING CALCULATIONS:
DWELLING UNIT FLOOR AREA OVER 750 S.F. - 1.3 SPACES REQUIRED PER UNIT
1.3 * 4 DWELLING UNITS = 5.2 SPACES REQUIRED
2 SPACES IN GARAGE + 2 SPACES IN DRIVEWAY PER UNIT = 4 SPACES PER UNIT * 4 UNITS
16 SPACES PROVIDED
ONE BICYCLE SPACE PROVIDED IN EACH GARAGE (1 REQUIRED FOR EVERY 5 DWELLING UNITS PER ZONING)
- WITH APPROVAL OF THE PORTSMOUTH, NH ZONING BOARD OF ADJUSTMENT, THE FOLLOWING VARIANCES ARE REQUESTED FROM THE ZONING ORDINANCE:
A) SECTION 10.513 - TO PERMIT MORE THAN ONE FREE-STANDING DWELLING ON A LOT
B) SECTION 10.521 - TO PERMIT LESS THAN ONE ACRE PER DWELLING UNIT
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270F, DATED JANUARY 29, 2021.
- NO WETLANDS WERE OBSERVED WITHIN 100' OF THE PROPERTY BOUNDARY. SEE LETTER FROM GOVE ENVIRONMENTAL SERVICES, INC.

GRAPHIC SCALE



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 222, LOT 19

TOTAL LOT AREA
84,795 SQ. FT.
1.95 ACRES

Design: JAC	Draft: DJM	Date: 12/07/2021
Checked: JAC	Scale: AS NOTED	Project No.: 18134.1
Drawing Name: 18134-CONCEPT-8.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

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3	3/21/22	REVISED CONCEPTUAL LAYOUT	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

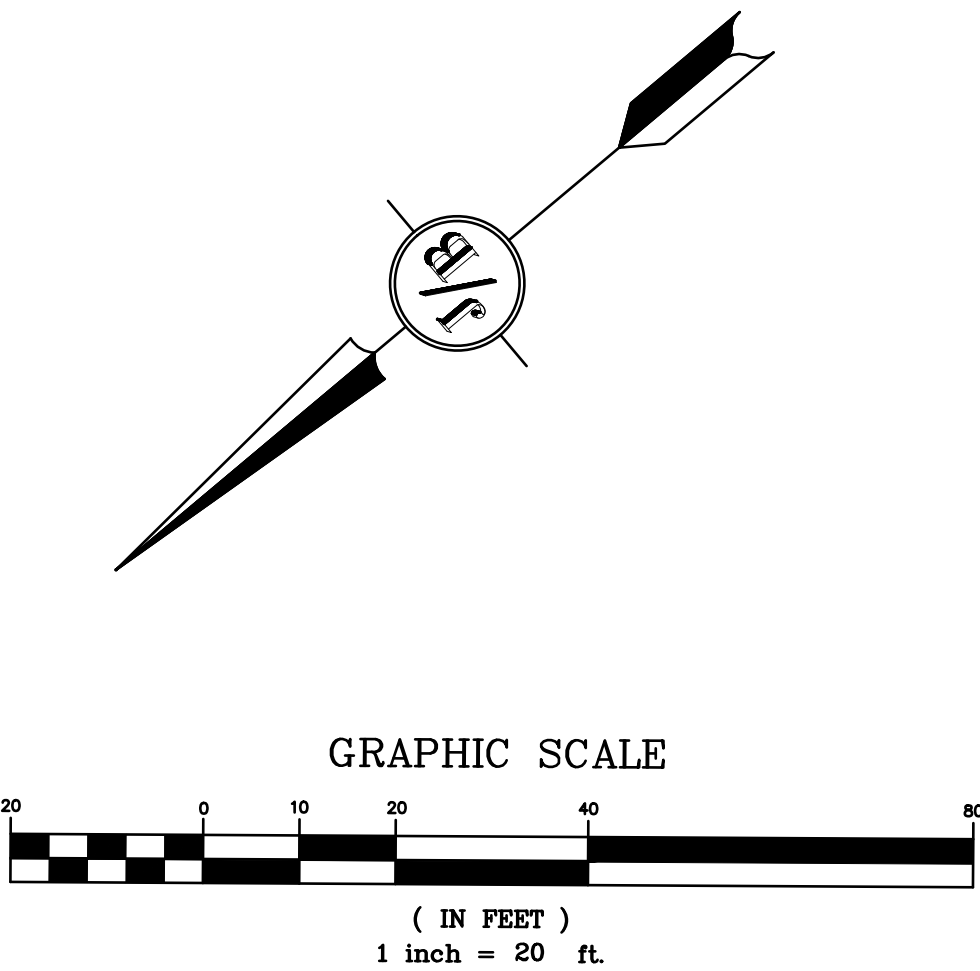
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	CONCEPTUAL SITE PLAN
Project:	4-UNIT RESIDENTIAL SITE 635 SAGAMORE AVE., PORTSMOUTH, NH
Owner of Record:	3612 LAFAYETTE RD., DEPT 4, PORTSMOUTH, NH 03801 BK 6332 PG 1158

DRAWING No.

C2

SHEET 2 OF 5
JBE PROJECT NO. 18134.1



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 222, LOT 19

TOTAL LOT AREA
84,795 SQ. FT.
1.95 ACRES

Design: JAC Draft: DJM Date: 12/07/2021
 Checked: JAC Scale: AS NOTED Project No.: 18134.1
 Drawing Name: 18134-CONCEPT-8.dwg

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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
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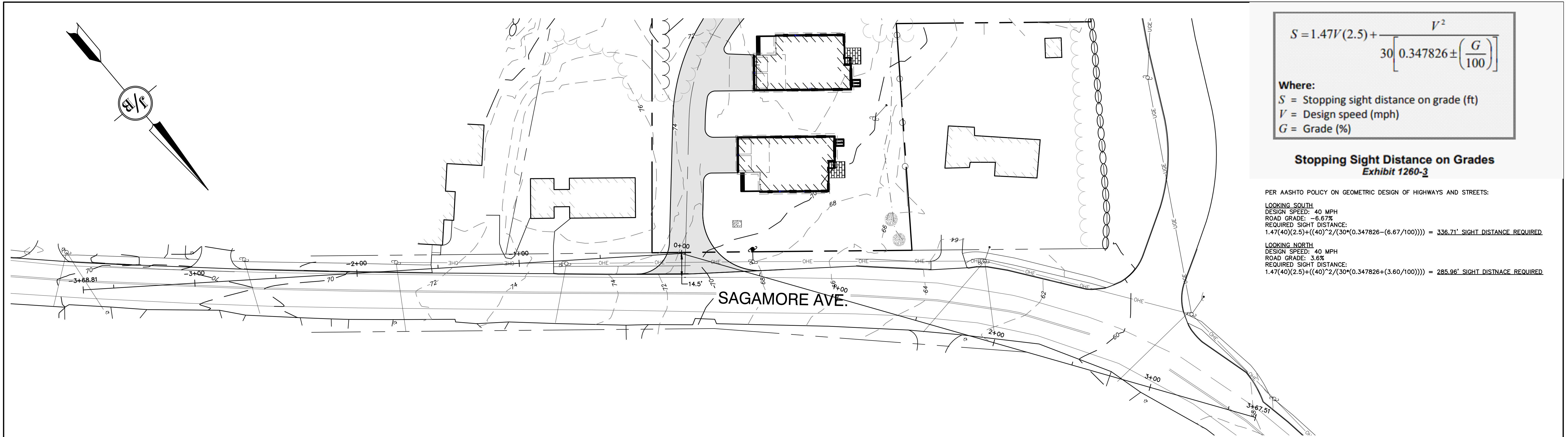
Plan Name: **CONCEPTUAL UTILITY PLAN**

Project: **4-UNIT RESIDENTIAL SITE
635 SAGAMORE AVE., PORTSMOUTH, NH**

Owner of Record: **3612 LAFAYETTE RD., DEPT 4, PORTSMOUTH, NH 03801 BK 6332 PG 1158**

DRAWING No. **C3**

SHEET 3 OF 5
JBE PROJECT NO. 18134.1

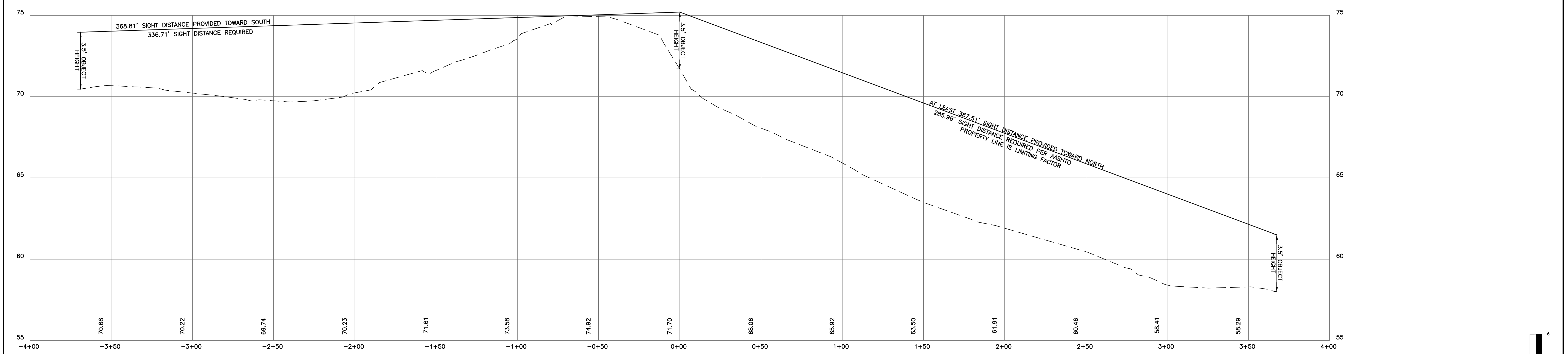


$$S = 1.47V(2.5) + \frac{V^2}{30 \left[0.347826 \pm \left(\frac{G}{100} \right) \right]}$$

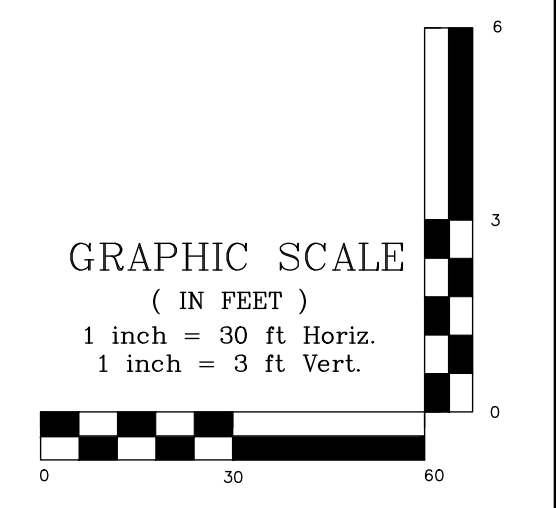
Where:
 S = Stopping sight distance on grade (ft)
 V = Design speed (mph)
 G = Grade (%)

Stopping Sight Distance on Grades
 Exhibit 1260-3

PER AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS:
 LOOKING SOUTH
 DESIGN SPEED: 40 MPH
 ROAD GRADE: -6.67%
 REQUIRED SIGHT DISTANCE:
 $1.47(40)(2.5) + ((40)^2 / (30 * (0.347826 - (6.67/100)))) = 336.71'$ SIGHT DISTANCE REQUIRED
 LOOKING NORTH
 DESIGN SPEED: 40 MPH
 ROAD GRADE: 3.6%
 REQUIRED SIGHT DISTANCE:
 $1.47(40)(2.5) + ((40)^2 / (30 * (0.347826 + (3.60/100)))) = 285.96'$ SIGHT DISTANCE REQUIRED



SIGHT DISTANCE PLAN AND PROFILE



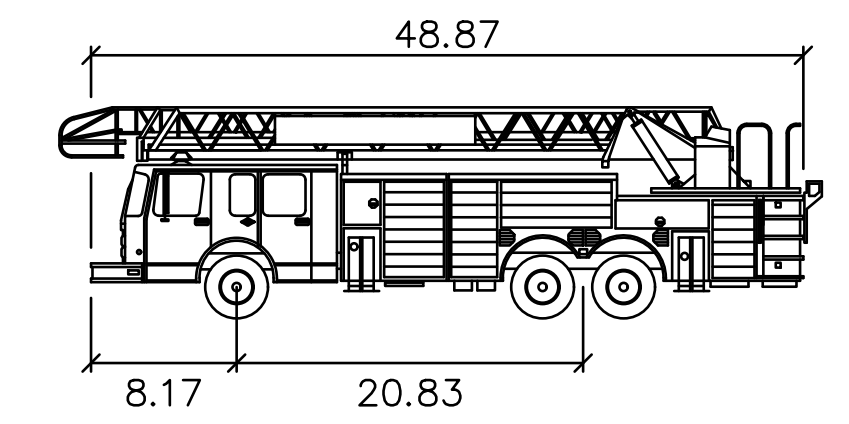
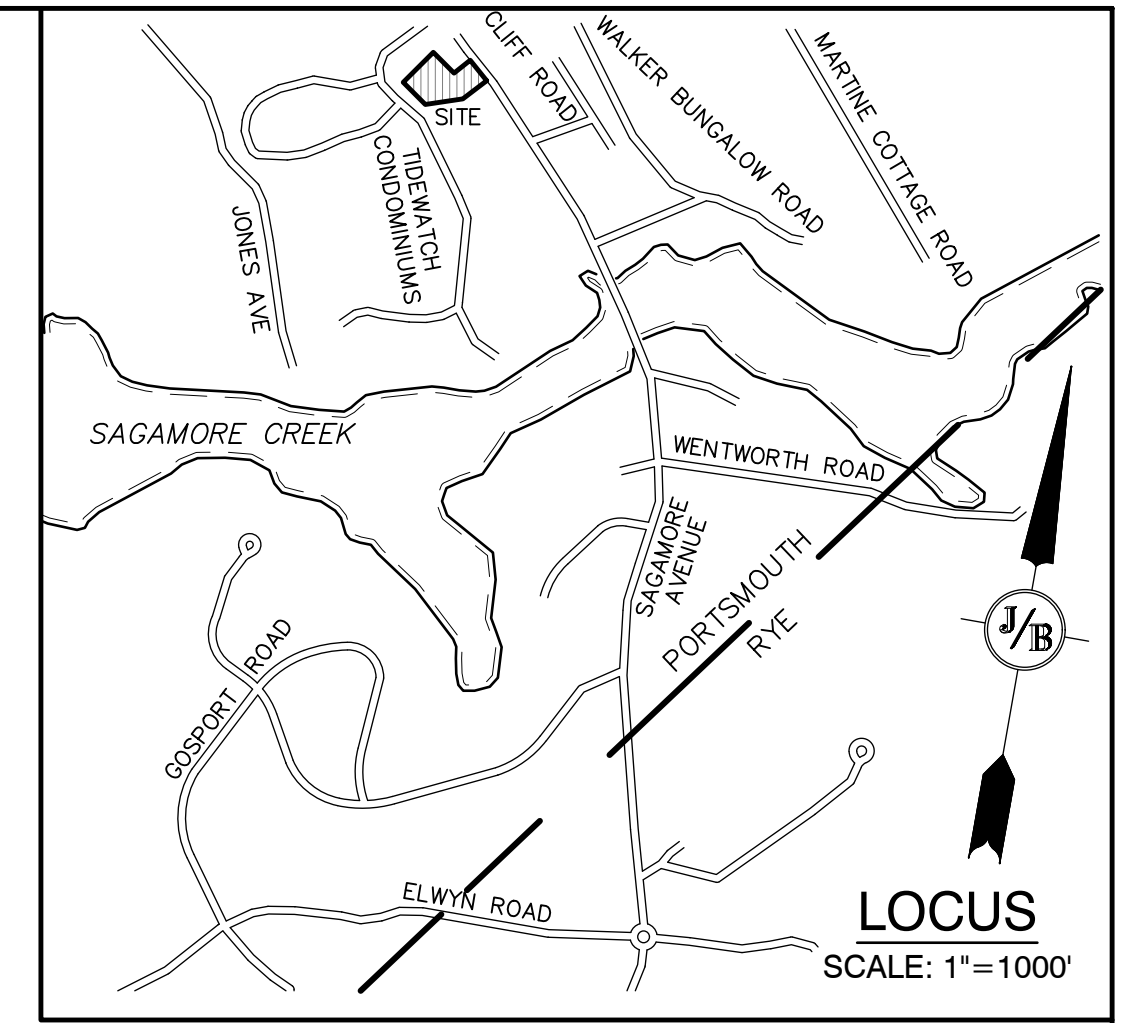
Design: JAC Draft: DJM Date: 12/07/2021
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Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

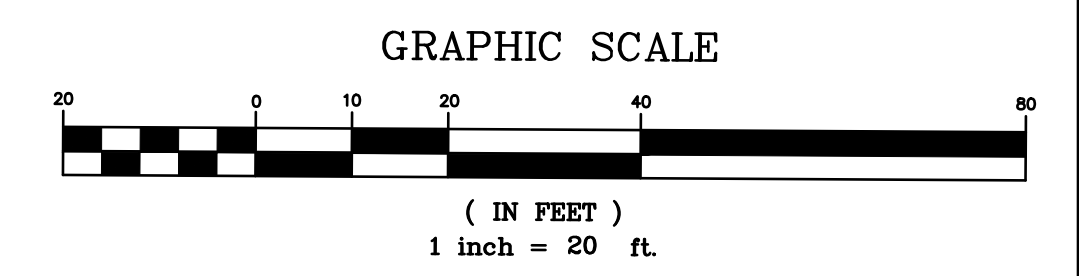
Plan Name:	HIGHWAY ACCESS PLAN - OPTION 1
Project:	4-UNIT RESIDENTIAL SITE 635 SAGAMORE AVE., PORTSMOUTH, NH
Owner of Record:	635 SAGAMORE DEVELOPMENT, LLC 3612 LAFAYETTE RD., DEPT 4, PORTSMOUTH, NH 03801 BK 6332 PG 1158

DRAWING No.
H1
 SHEET 4 OF 5
 JBE PROJECT NO. 18134.1



Portsmouth Fire Truck

	feet
Width	: 8.50
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 38.7



PROJECT PARCEL CITY OF PORTSMOUTH TAX MAP 222, LOT 19
TOTAL LOT AREA 84,795 SQ. FT. 1.95 ACRES

Design: JAC Draft: DJM Date: 12/07/2021
 Checked: JAC Scale: AS NOTED Project No.: 18134.1
 Drawing Name: 18134-CONCEPT-8.dwg
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3	3/21/22	REVISED CONCEPTUAL LAYOUT	DJM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	TRUCK TURNING PLAN
Project:	4-UNIT RESIDENTIAL SITE 635 SAGAMORE AVE., PORTSMOUTH, NH
Owner of Record:	3612 LAFAYETTE RD., DEPT 4, PORTSMOUTH, NH 03801 BK 6332 PG 1158

DRAWING No.
T1
 SHEET 5 OF 5
 JBE PROJECT NO. 18134.1

M-5131-001
September 5, 2023

Mr. Peter Britz, Director of Planning & Sustainability
City of Portsmouth Planning & Sustainability Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: **Request for TAC Work Session**
815 Lafayette Road – Proposed Development

Dear Peter,

On behalf of Prospect North 815, LLC (owner/applicant) we are pleased to submit one (1) set of hard copies and one electronic file (.pdf) of the following information to support a request to meet with the Technical Advisory Committee (TAC) at their next scheduled Work Session for the above referenced project:

- Site Plan Set, dated September 5, 2023;
- Community Space Exhibit, dated September 5, 2023;
- Owners Authorization, dated June 1, 2023

The proposed project is located at 815 Lafayette Road (US Route 1) which is identified as Map 245 Lot 3 on the City of Portsmouth Tax Maps. The site was previously home to the WHEB radio station which no longer operates at this location. The property is a 19.6-acre parcel of land that is located in the Gateway District (G1). The property is bound to the west by Route 1 and the abutting Lafayette Plaza shopping center property, to the north and east by the Winchester Place property and to the south by Sagamore Creek.

The proposed project consists of the demolition of the existing building along Sagamore Creek and the construction of three 4-story, 24-unit multi-family buildings (72 total units) with first floor parking. The project will include associated site improvements such as parking, pedestrian access, utilities, stormwater management, lighting, and landscaping. The site will be accessed via the existing driveway on Route 1.

As currently designed, the project will require relief from the Zoning Board of Adjustment (ZBA) for efforts to develop the front lot line within the limits of the usable front yard. In addition, this project would require a Conditional Use Permit (CUP) for improvements within the 100-foot wetland buffer. The proposed project will be an environmental improvement from the existing condition and eliminates approximately 9,600 SF of existing impervious surface that is located in the 100-foot wetland buffer by removing the existing building and pavement located along Sagamore Creek. These previously disturbed areas will be re-established with vegetation to provide buffer enhancement. In addition, the project will enhance the quality of runoff discharged to Sagamore Creek with the addition of stormwater treatment practices that do not currently exist on the site.



The applicant respectfully requests to meet with TAC at their next scheduled Work Session on September 12, 2023. If you have any questions or need any additional information, please contact me by phone at (603) 433-8818 or by email at NAHansen@tighebond.com.

Sincerely,

TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Vice President

Copy: Prospect North 815, LLC



Neil A. Hansen, PE
Project Manager

815 LAFAYETTE ROAD PROPOSED DEVELOPMENT

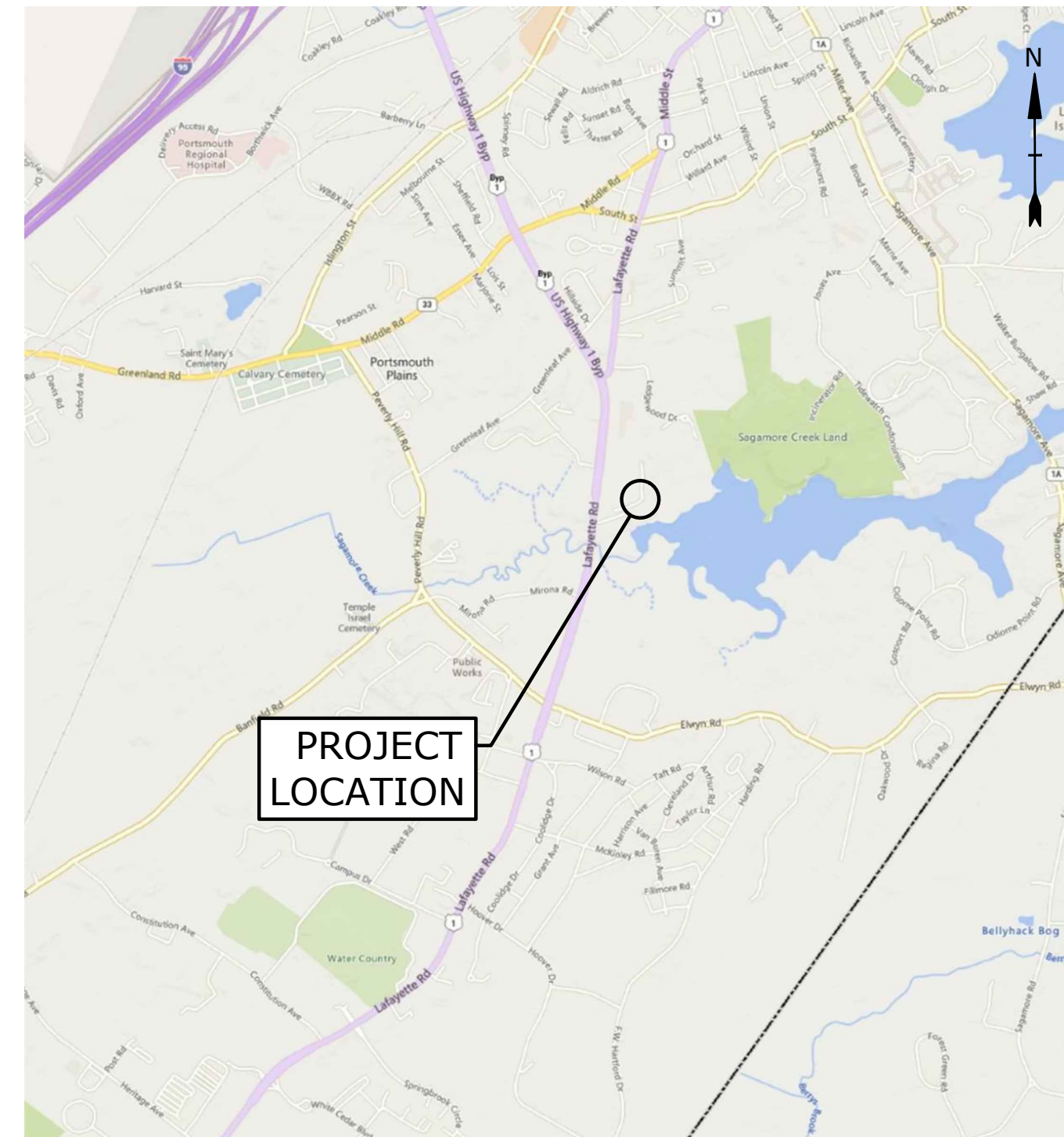
PORTSMOUTH, NEW HAMPSHIRE

DATE SEPTEMBER 5, 2023

PROGRESS PRINT

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	9/5/2023
C1	EXISTING CONDITIONS PLAN	2/2/2023
C2	EXISTING CONDITIONS PLAN	2/2/2023
C3	EXISTING CONDITIONS PLAN	2/2/2023
C4	EXISTING CONDITIONS PLAN	2/2/2023
C5	EXISTING CONDITIONS PLAN	2/2/2023
G-100	GENERAL NOTES AND LEGEND	9/5/2023
C-101	DEMOLITION PLAN	9/5/2023
C-102	SITE PLAN	9/5/2023
C-103	GRADING, DRAINAGE, AND EROSION CONTROL PLAN	9/5/2023
C-104	UTILITY PLAN	9/5/2023
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	9/5/2023
C-502	DETAILS SHEET	9/5/2023
C-503	DETAILS SHEET	9/5/2023
C-504	DETAILS SHEET	9/5/2023
C-505	DETAILS SHEET	9/5/2023
1 OF 2	BUILDING ELEVATIONS	8/29/2023
2 OF 2	TYPICAL FLOOR PLANS	8/29/2023

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT	PENDING	
CONDITIONAL USE PERMIT - WETLAND BUFFER	PENDING	
ZONING BOARD OF ADJUSTMENTS	PENDING	
STATE		
NHDES - SEWER CONNECTION PERMIT	NOT SUBMITTED	
NHDES - ALTERATION OF TERRAIN PERMIT	NOT SUBMITTED	



LOCATION MAP
SCALE: 1" = 2000'

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFIXED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.
3. TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE & BOND.

PREPARED BY:

Tighe & Bond

177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603-433-8818

APPLICANT:

PROSPECT NORTH 815, LLC
PO Box 372
Greenland, NH 04840

ARCHITECT:

MICHAEL J. KEANE ARCHITECTS, PLLC
101 Kent Place
Newmarket, NH 03857

SURVEYOR:

AMBIT ENGINEERING, INC.
200 Griffin Road - Unit 3
Portsmouth, NH 03801



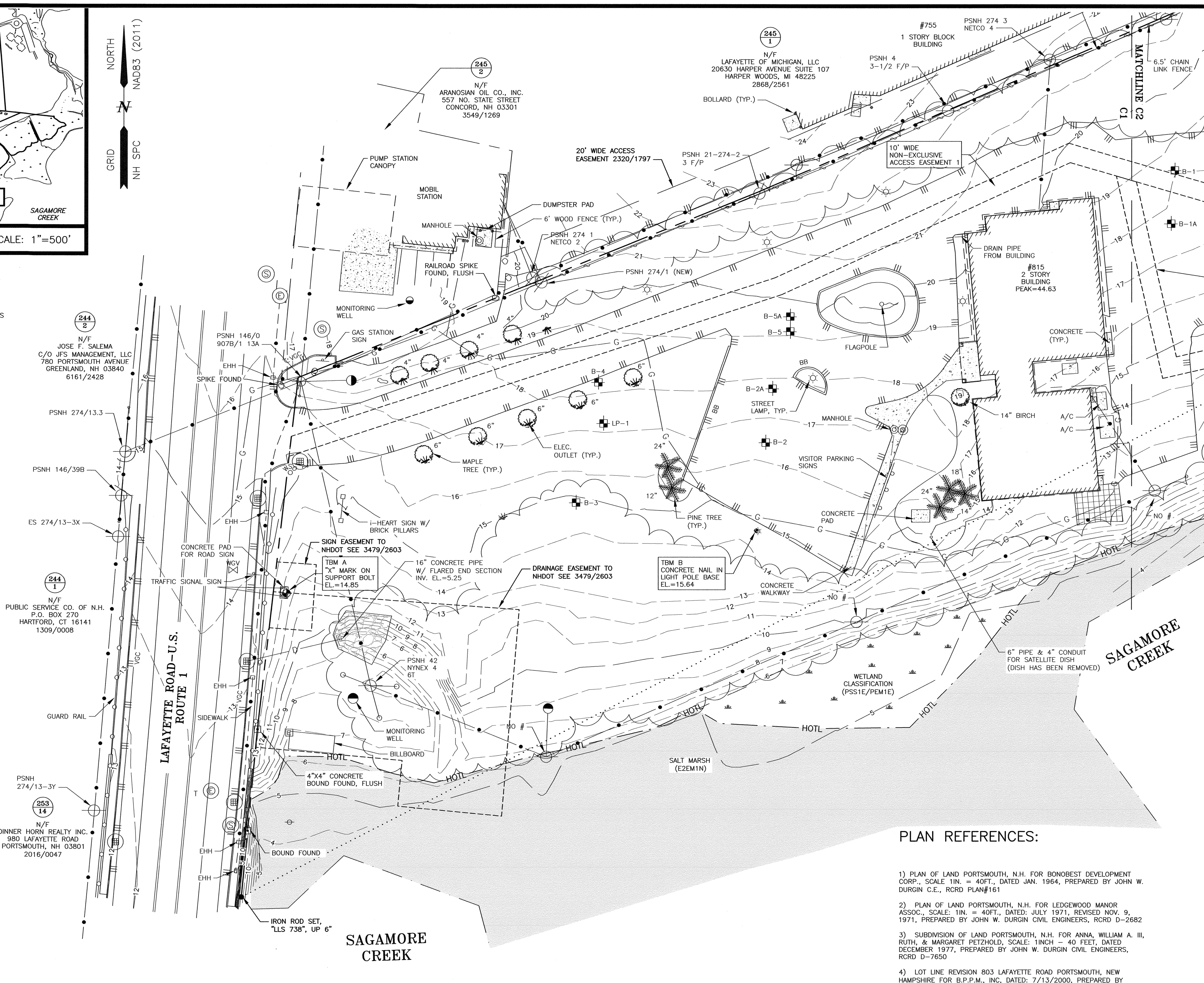
**TAC WORK SESSION SUBMISSION
COMPLETE SET 18 SHEETS**



LOCATION MAP SCALE: 1"=500'

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- (17/21) MAP 11 / LOT 21
- BOUNDARY
- - - SETBACK
- HOTL HIGHEST OBSERVABLE TIDE LINE
- RAILROAD SPIKE FOUND
- IRON ROD/PIPE FOUND
- ⊙ DRILL HOLE FOUND
- ⊙ STONE/CONCRETE BOUND FOUND
- ⊙ RAILROAD SPIKE SET
- ⊙ IRON ROD SET
- ⊙ DRILL HOLE SET
- ⊙ GRANITE BOUND SET
- EDGE OF PAVEMENT (EP)
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC/WIRES
- CONTOUR
- WOODS / TREE LINE
- ⊙ WATER SHUT OFF/CURB STOP
- ⊙ GAS SHUT OFF/CURB STOP
- ⊙ WGV WATER GATE VALVE
- ⊙ GCY GAS GATE VALVE
- ⊙ UTY UTILITY POLE (w/ GUY)
- ⊙ METER (GAS, WATER, ELECTRIC)
- ⊙ CATCH BASIN
- ⊙ ELECTRIC MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ TELEPHONE/COMMUNICATIONS MANHOLE
- ⊙ LIGHTPOLE
- ⊙ SIGNS
- TYP. TYPICAL
- LSA LANDSCAPED AREA
- EHH ELECTRIC HANDHOLE
- MW MONITORING WELL
- TH THRESHOLD
- EL. ELEVATION
- TBM TEMPORARY BENCHMARK
- VGC VERTICAL GRANITE CURB
- BC BITUMINOUS CURB
- INV. INVERT
- .ORN ORNAMENTAL TREE



- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 245 AS LOTS 3 AND 4.
 - 2) OWNER OF RECORD:
PROSPECT NORTH 815 LLC
PO BOX 372
GREENLAND, NH 03840
6443/665
 - 3) PARCEL IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA (ZONE AE) AS SHOWN ON FIRM PANEL 33015C0270F. EFFECTIVE DATE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
MAP 245 LOT 3 855,562 S.F ± (TO MHW) 19.6410 AC ± (TO MHW)
MAP 245 LOT 4 19,948 S.F. 0.4579 ACRES
 - 5) PARCELS ARE LOCATED IN THE GATEWAY CORRIDOR (G1) ZONING DISTRICT.
 - 6) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF EXISTING CONDITIONS SURVEY OF ASSESSOR'S MAP 245 LOTS 3 & 4 IN THE CITY OF PORTSMOUTH.
 - 8) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 10) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

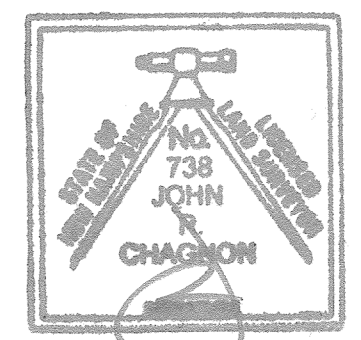
PLAN REFERENCES:

- 1) PLAN OF LAND PORTSMOUTH, N.H. FOR BONOBEST DEVELOPMENT CORP., SCALE 1/4" = 40FT., DATED JAN. 1964, PREPARED BY JOHN W. DURGIN C.E., RCRD PLAN#161
- 2) PLAN OF LAND PORTSMOUTH, N.H. FOR LEDGEWOOD MANOR ASSOC., SCALE: 1/4" = 40FT., DATED: JULY 1971, REVISED NOV. 9, 1971, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD D-2682
- 3) SUBDIVISION OF LAND PORTSMOUTH, N.H. FOR ANNA, WILLIAM A. III, RUTH, & MARGARET PETZOLD, SCALE: 1/4" = 40 FEET, DATED DECEMBER 1977, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD D-7650
- 4) LOT LINE REVISION 803 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE FOR B.P.P.M., INC. DATED: 7/13/2000, PREPARED BY JAMES VERRA AND ASSOCIATED, INC., RCRD D-28325
- 5) ALTA/ACSM LAND TITLE SURVEY (URBAN), MAP 245, LOTS 3 & 4, KNIGHT BROADCASTING, 815 LAFAYETTE ROAD, PORTSMOUTH, NEW HAMPSHIRE, SCALE: 1"=50', DATED: SEPTEMBER 19, 2000, PREPARED BY CUCCO & CORMIER ENGINEERING ASSOCIATES, INC., RCRD D-28739. **PLAN NOT HELD**
- 6) REVISED ACCESS EASEMENT PLAN & TAX ASSESSMENT/PRORATION PLAN TAX MAP 245 - LOTS 3 & 4 OVER LAND OF: IHEARTMEDIA & ENTERTAINMENT, INC. 815 LAFAYETTE ROAD CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE PREPARED BY AMBIT ENGINEERING, INC. DATED MAY 2022. R.C.R.D. D-43541

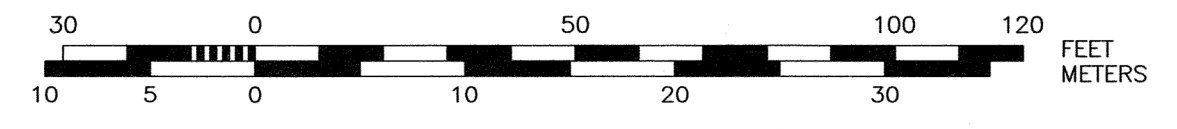
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, WHICH HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

John R. Chagnon
JOHN R. CHAGNON, LLS 738

2.17.23
DATE

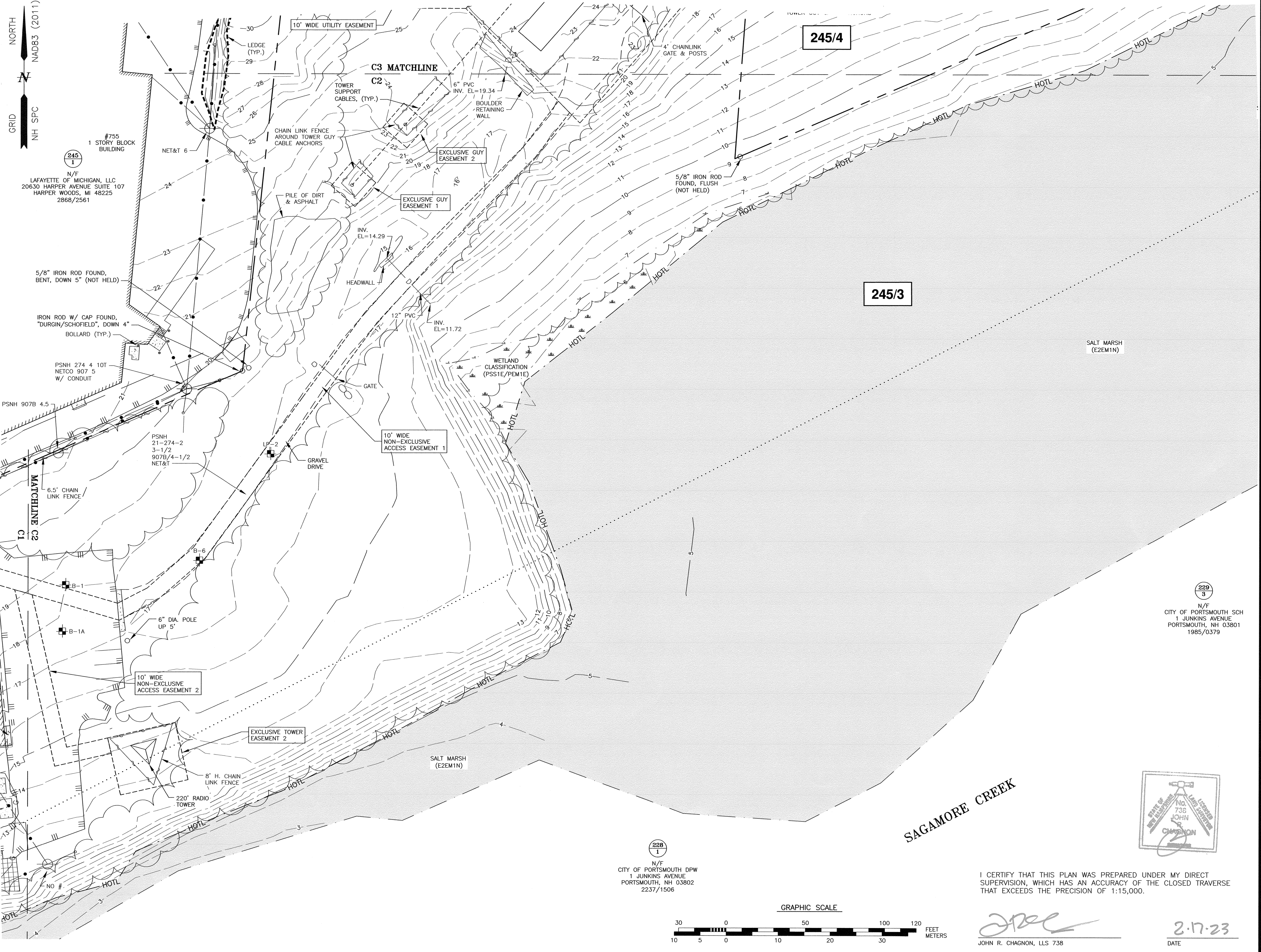


GRAPHIC SCALE



SCALE: 1" = 30' JANUARY 2023

EXISTING CONDITIONS PLAN **C1**



NORTH
NAD83 (2011)

GRID
NH SPC

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
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#755
1 STORY BLOCK
BUILDING

245
1

N/F
LAFAYETTE OF MICHIGAN, LLC
20630 HARPER AVENUE SUITE 107
HARPER WOODS, MI 48225
2868/2561

5/8" IRON ROD FOUND,
BENT, DOWN 5" (NOT HELD)

IRON ROD W/ CAP FOUND,
"DURGIN/SCHOFIELD", DOWN 4"
BOLLARD (TYP.)

PSNH 274 4 10T
NETCO 907 5
W/ CONDUIT

PSNH 907B 4.5

PSNH
21-274-2
3-1/2
907B/4-1/2
NET&T

6.5' CHAIN
LINK FENCE

MATCHLINE
C1
C2

B-1

B-1A

6" DIA. POLE
UP 5"

10' WIDE
NON-EXCLUSIVE
ACCESS EASEMENT 2

EXCLUSIVE TOWER
EASEMENT 2

8' H. CHAIN
LINK FENCE

220' RADIO
TOWER

NO #

HOTL

10' WIDE UTILITY EASEMENT

C3 MATCHLINE

C2

TOWER
SUPPORT
CABLES, (TYP.)

CHAIN LINK FENCE
AROUND TOWER GUY
CABLE ANCHORS

PILE OF DIRT
& ASPHALT

INV. EL=14.29

HEADWALL

GATE

10' WIDE
NON-EXCLUSIVE
ACCESS EASEMENT 1

CRAGEL
DRIVE

WETLAND
CLASSIFICATION
(PSS1E/PEM1E)

SALT MARSH
(E2EM1N)

12" PVC

INV. EL=11.72

HOTL

HOTL

HOTL

HOTL

HOTL

HOTL

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245/4

245/3

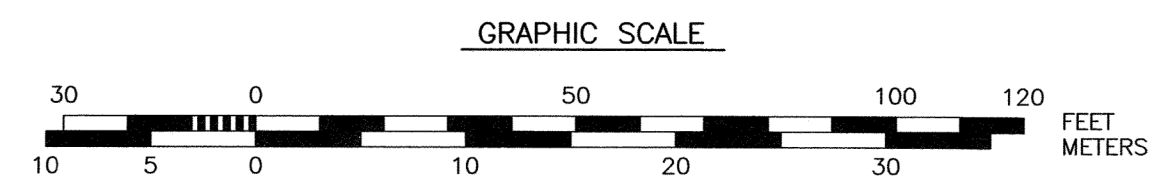
SALT MARSH
(E2EM1N)

220
3

N/F
CITY OF PORTSMOUTH SCH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
1985/0379

228
1

N/F
CITY OF PORTSMOUTH DPW
1 JUNKINS AVENUE
PORTSMOUTH, NH 03802
2237/1506



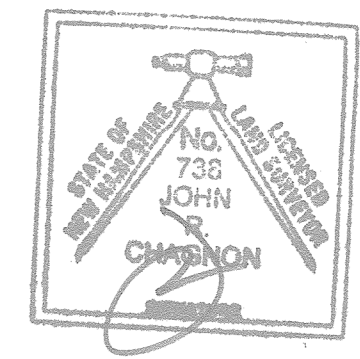
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, WHICH HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JRC

JOHN R. CHAGNON, LLS 738

2-17-23

DATE



**SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	2/2/23
REVISIONS		

SCALE: 1" = 30' JANUARY 2023

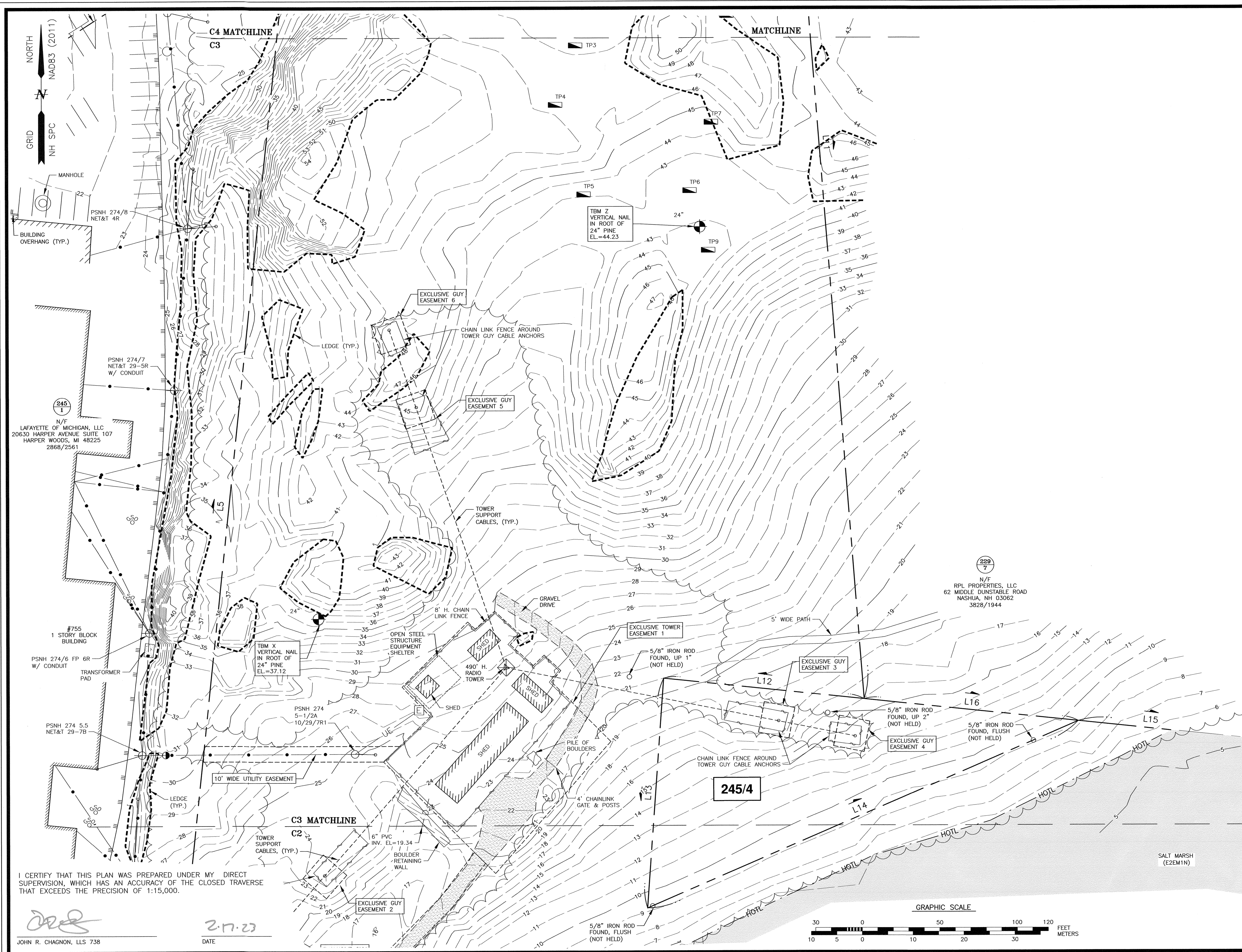
EXISTING CONDITIONS
PLAN

C2

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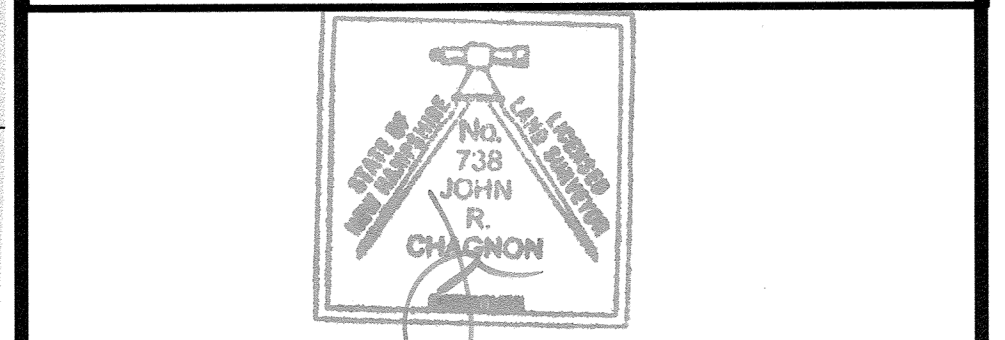


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[Signature]
JOHN R. CHAGNON, LLS 738
DATE 2.17.23

**SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
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REVISIONS		



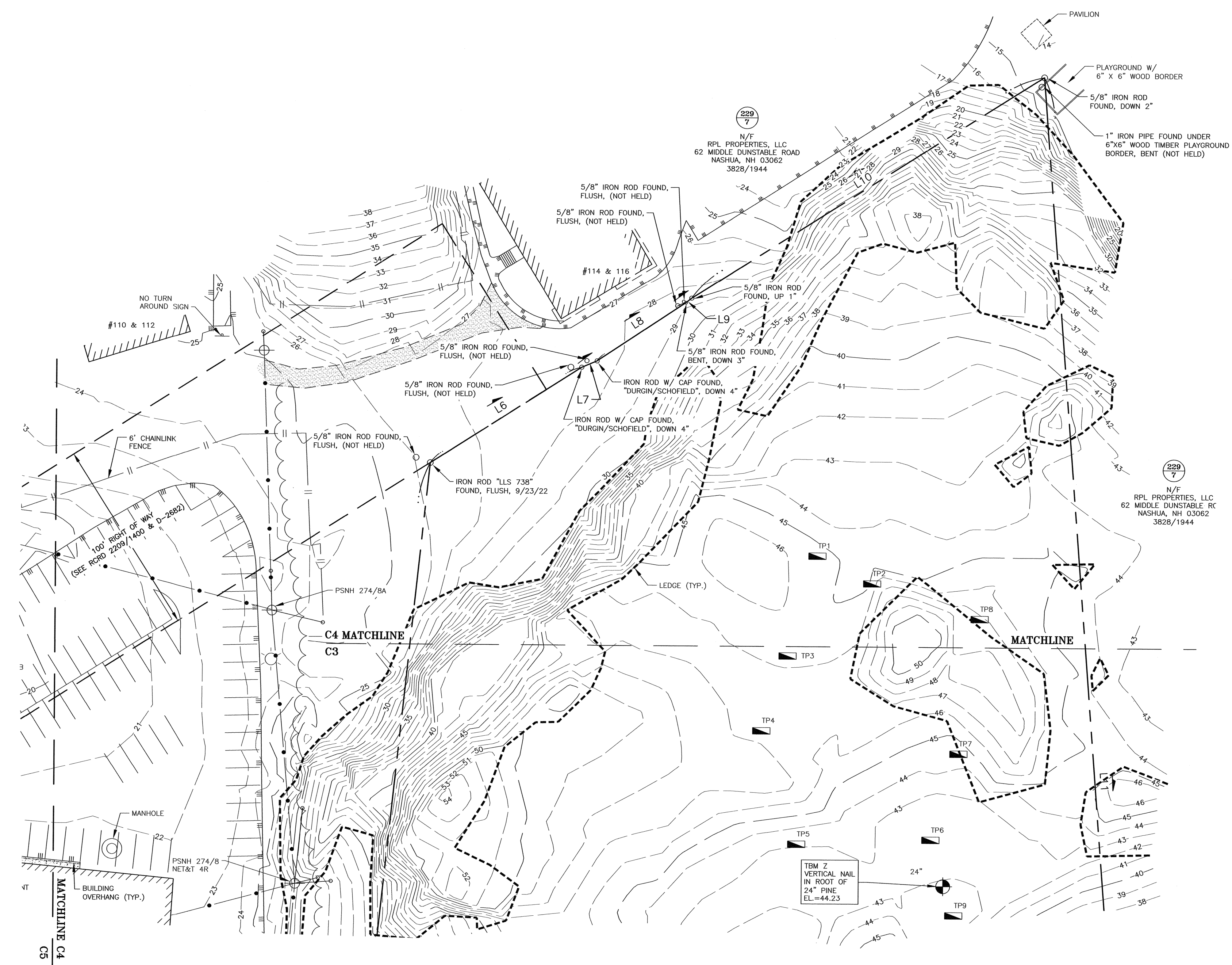
SCALE: 1" = 30' JANUARY 2023

**EXISTING CONDITIONS
PLAN**

C3

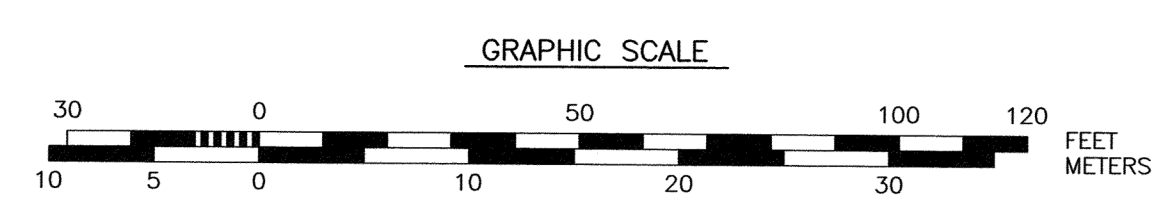
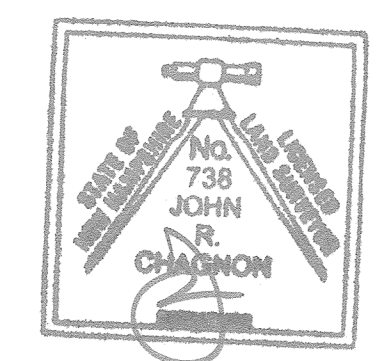
NORTH
NAD83 (2011)
GRID
NH SPC

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John R. Chagnon
JOHN R. CHAGNON, LLS 738
DATE: 2.17.23



**SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	2/2/23

REVISIONS	

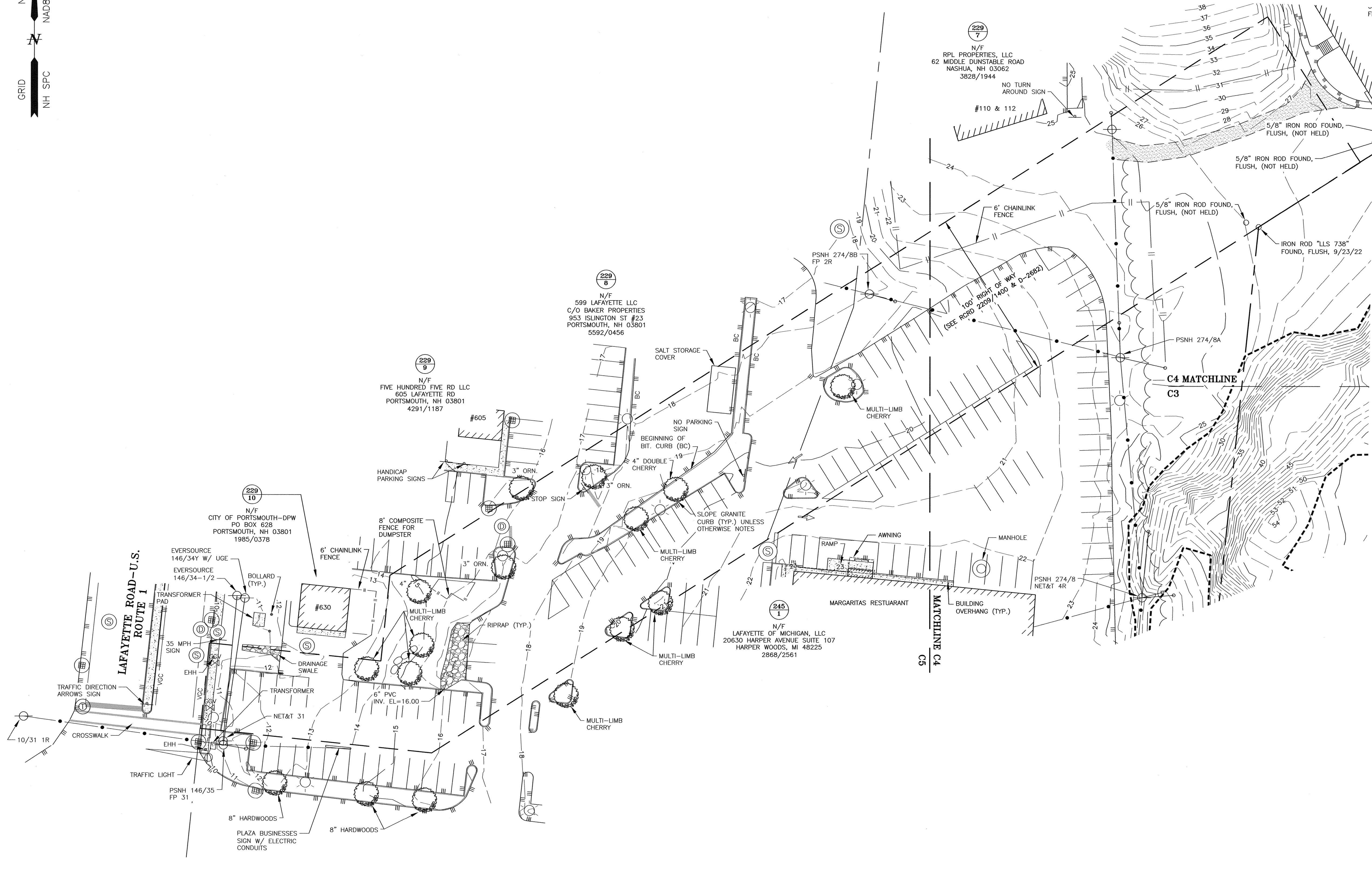
SCALE: 1" = 30' JANUARY 2023

EXISTING CONDITIONS
PLAN

C4

NORTH
NAD83 (2011)
GRID
NH SPC

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**SITE DEVELOPMENT
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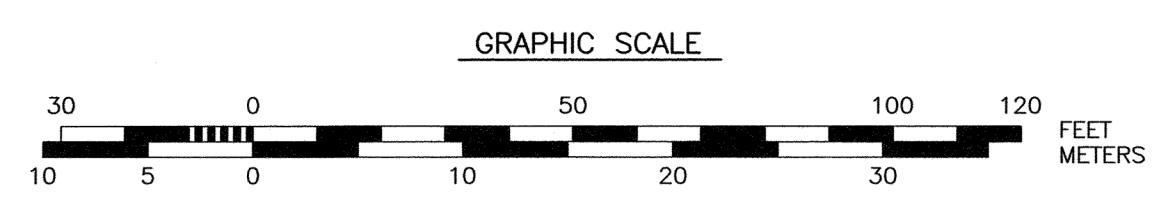
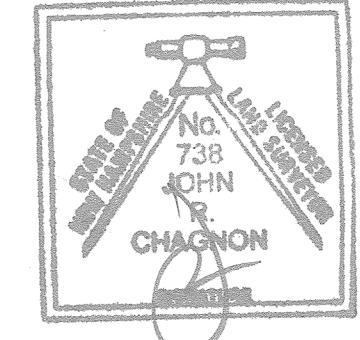
EXISTING CONDITIONS PLAN

C5

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, WHICH HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHAGNON, LLS 738

2.17.23
DATE



PROGRESS PRINT

PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE

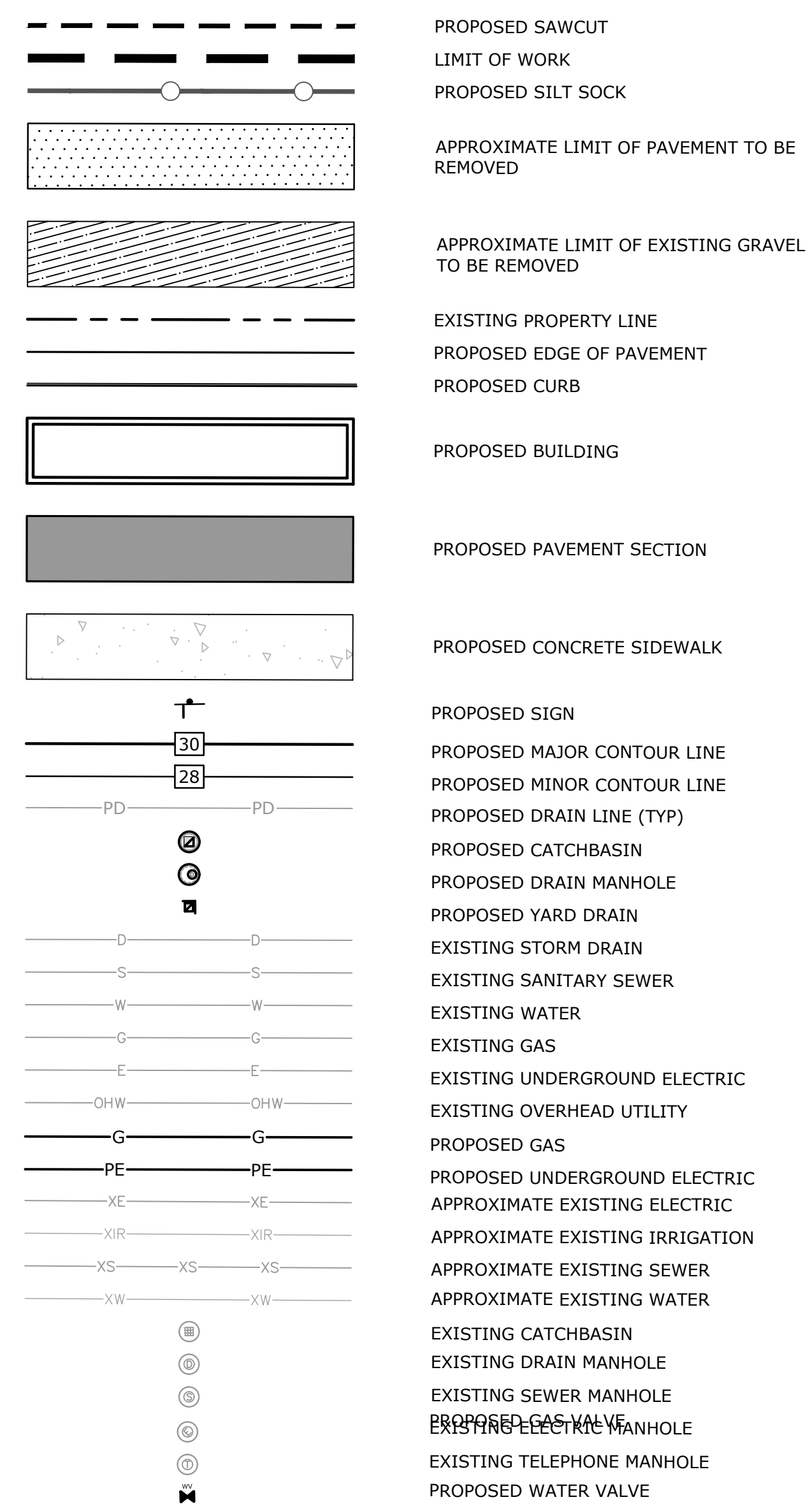
Table with 3 columns: MARK, DATE, DESCRIPTION

Table with 2 columns: FIELD, VALUE

GENERAL NOTES

SCALE: AS SHOWN

LEGEND



- 6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED.
9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS.
10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST.
14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION.
15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION.
19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION.
21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

EXISTING CONDITIONS PLAN NOTES:

- 1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY BY AMBIT ENGINEERING, INC. DATED 01/26/2023.

ABBREVIATIONS

Table with 2 columns: ABBREVIATION, DESCRIPTION

GRADING AND DRAINAGE NOTES:

- 1. COMPACTION REQUIREMENTS:
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS.
5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.

EROSION CONTROL NOTES:

- 1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

UTILITY NOTES:

- 1. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
• NATURAL GAS - UNITIL
• WATER - CITY OF PORTSMOUTH
• SEWER - CITY OF PORTSMOUTH
• ELECTRIC - EVERSOURCE
• COMMUNICATIONS - CONSOLIDATED COMM/FAIRPOINT/COMCAST
2. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
3. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM.
4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
5. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO STANDARDS.
6. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
7. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
8. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
9. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
11. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
12. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES.
13. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
14. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
15. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
16. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
17. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
18. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
19. CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.

LANDSCAPE NOTES:

- 1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP.
4. PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY.

GENERAL NOTES:

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER.
2. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
3. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
7. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD.
8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
9. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT.
11. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES.
12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

DEMOLITION NOTES:

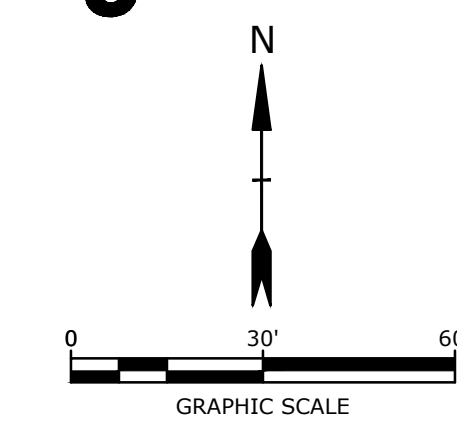
- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
7. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND TOWN OF PORTSMOUTH STANDARDS.
8. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN.
9. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.
11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK.
12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS.
13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES.
14. SEE ROADWAY IMPROVEMENT PLANS FOR OFF-SITE DEMOLITION.
15. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
16. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
17. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

SITE NOTES:

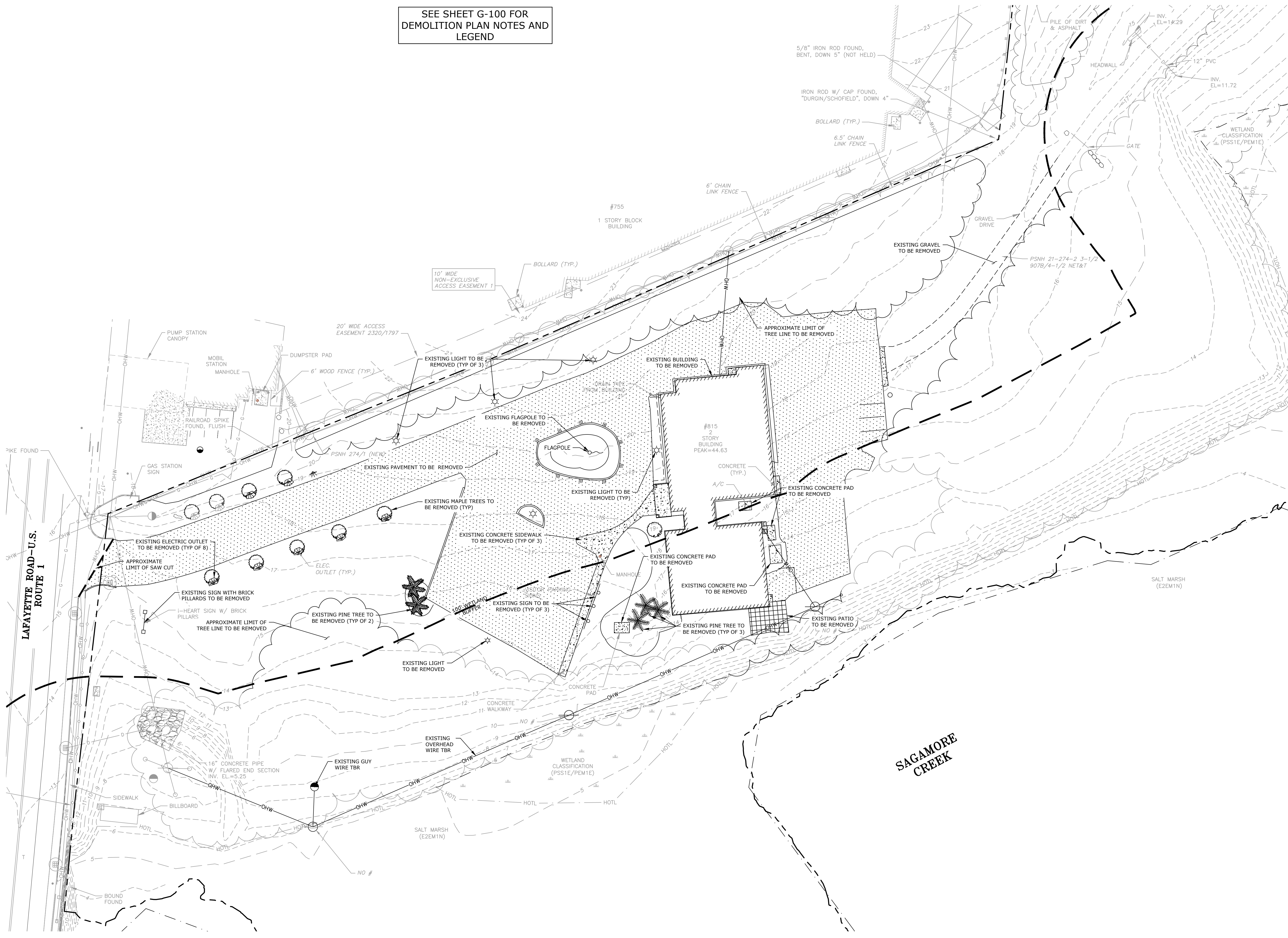
- 1. PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES.
2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
3. SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.

SEE SHEET G-100 FOR
DEMOLITION PLAN NOTES AND
LEGEND

Tighe & Bond



PROGRESS PRINT



PROPOSED DEVELOPMENT

PROSPECT
NORTH 815,
LLC

815 LAFAYETTE
ROAD
PORTSMOUTH,
NEW HAMPSHIRE

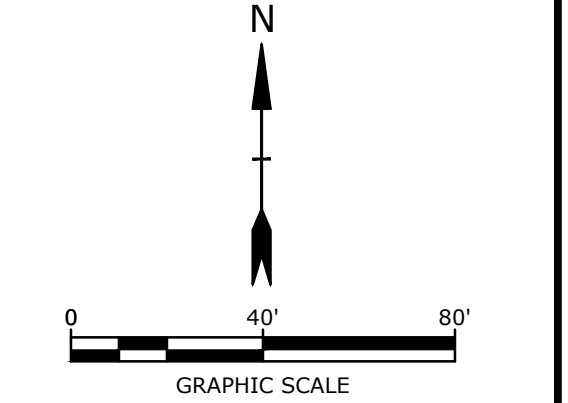
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DATE:	9/5/2023	
FILE:	M5131-001-D5GN.dwg	
DRAWN BY:	NHW/CJK	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

EXISTING CONDITIONS
AND DEMOLITION PLAN

SCALE: AS SHOWN

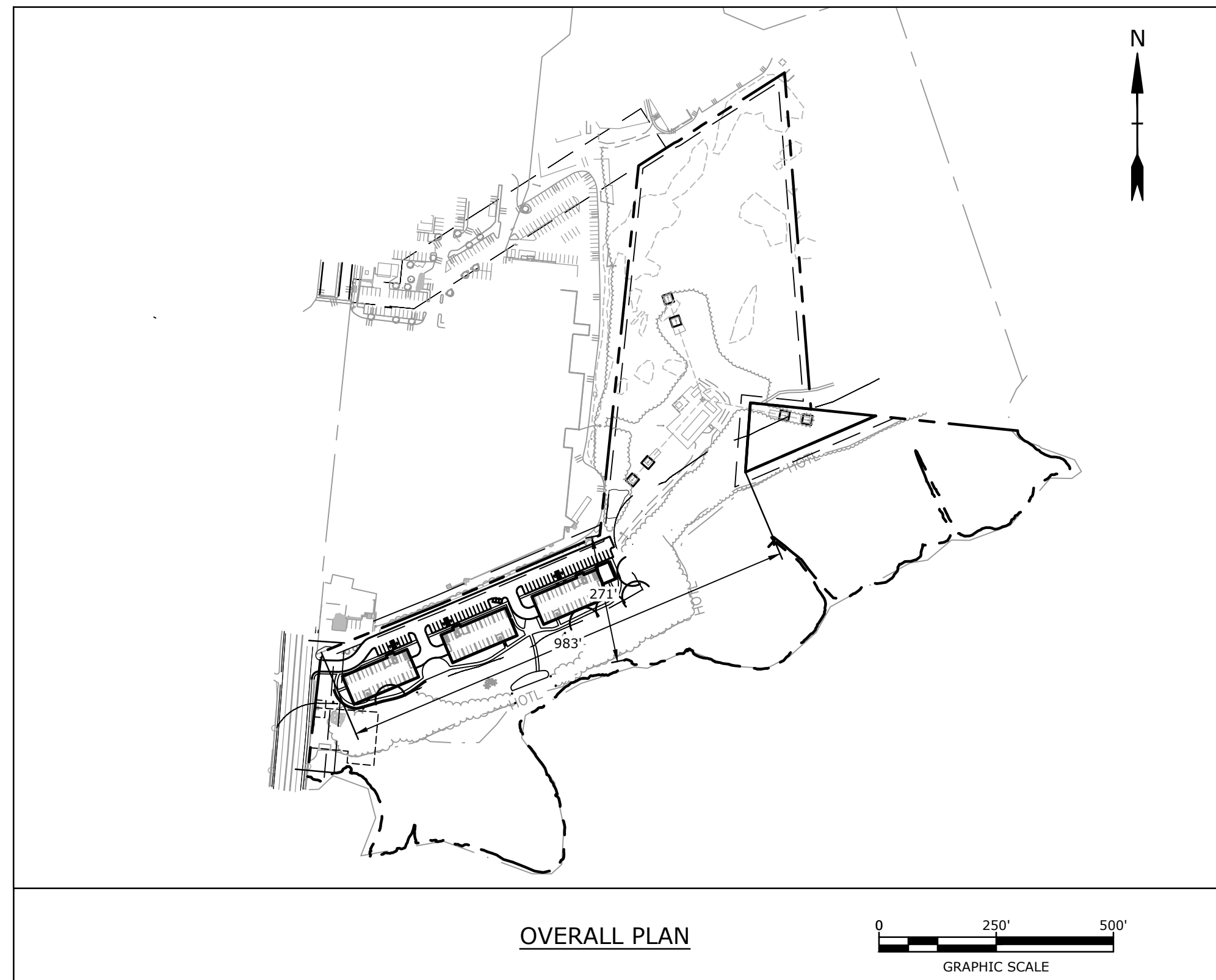
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 Project: 815 Lafayette Road Development, LLC 001 815 Lafayette Road
 Drawing: M5131-001-D5GN.dwg

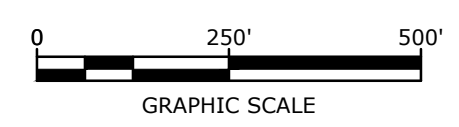


PROGRESS PRINT

SEE SHEET G-100 FOR SITE PLAN NOTES AND LEGEND



OVERALL PLAN



SITE DATA:
 LOCATION: TAX MAP 245, LOT 3
 815 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE

ZONING DISTRICT: GATEWAY DISTRICT (G1)

PROPOSED USE: MULTIFAMILY

DIMENSIONAL REQUIREMENTS:	REQUIRED	PROPOSED
MINIMUM LOT AREA:	10,000 SF	±855,567 SF

MINIMUM SITE WIDTH:	75 FT	±271 FT
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MINIMUM SITE LENGTH:	100 FT	±971 FT
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MINIMUM COMMUNITY SPACE:	10%	
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MINIMUM STREET FRONTAGE:	REQUIRED	PROPOSED
APARTMENT BUILDING:	100 FT	±288 FT

FRONT YARD SETBACK: LAFAYETTE ROAD SETBACK	70-90 FT	90 FT
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MIN. SIDE YARD SETBACK: APARTMENT BUILDING:	15 FT	±56 FT
--	-------	--------

MIN. REAR YARD SETBACK: APARTMENT BUILDING:	20 FT	±349 FT
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MAXIMUM BUILDING HEIGHT: APARTMENT BUILDING:	50 FT	<50 FT
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MAXIMUM BUILDING COVERAGE:	50%	±3.6%
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FRONT LOT LINE BUILD OUT:	50%	±0% ⁽¹⁾
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MINIMUM OPEN SPACE:	20%	±91%
---------------------	-----	------

PARKING REQUIREMENTS:	REQUIRED	PROPOSED
PARKING STALL LAYOUT:		
• STANDARD 90°	WIDTH: 8.5' MIN LENGTH: 19' MIN	8.5' MIN 19' MIN

DRIVE AISLE WIDTH:		
• 90° (2-WAY TRAFFIC)	24 FT	24 FT (MIN)

PARKING SPACE REQUIREMENTS:

MINIMUM APARTMENT PARKING
 1.3 SPACES PER UNIT x 72 UNITS = 94 SPACES
 +1 VISITOR PER 5 UNITS = 15 SPACES

TOTAL APARTMENT PARKING REQUIRED = 109 SPACES

ADA PARKING REQUIREMENTS:
 1 / 25 STANDARD PARKING STALLS

ADA SPACES REQUIRED = 5 SPACES
 ADA SPACES PROVIDED = 6 SPACES

PARKING REQUIRED	109 SPACES
PARKING PROVIDED	118 SPACES

NOTES:

(1) - ZONING VARIANCE REQUESTED FROM SECTION 10.5B33.20, 50% FRONT LOT LINE BUILD OUT, AND SECTION 10.5b33.30, PRIMARY FACADE BUILT PARALLEL TO A FRONT LOT LINE.

PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE

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APPROVED BY:	PMC	

SITE PLAN

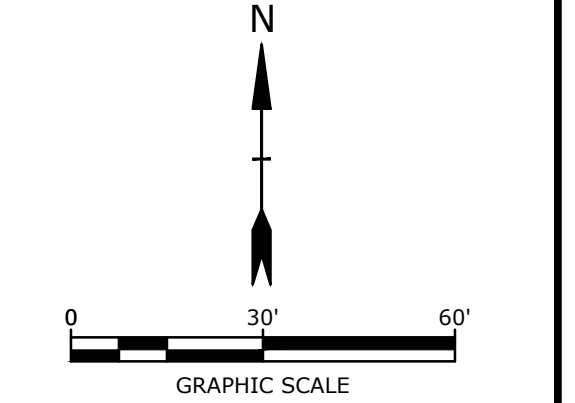
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C-102

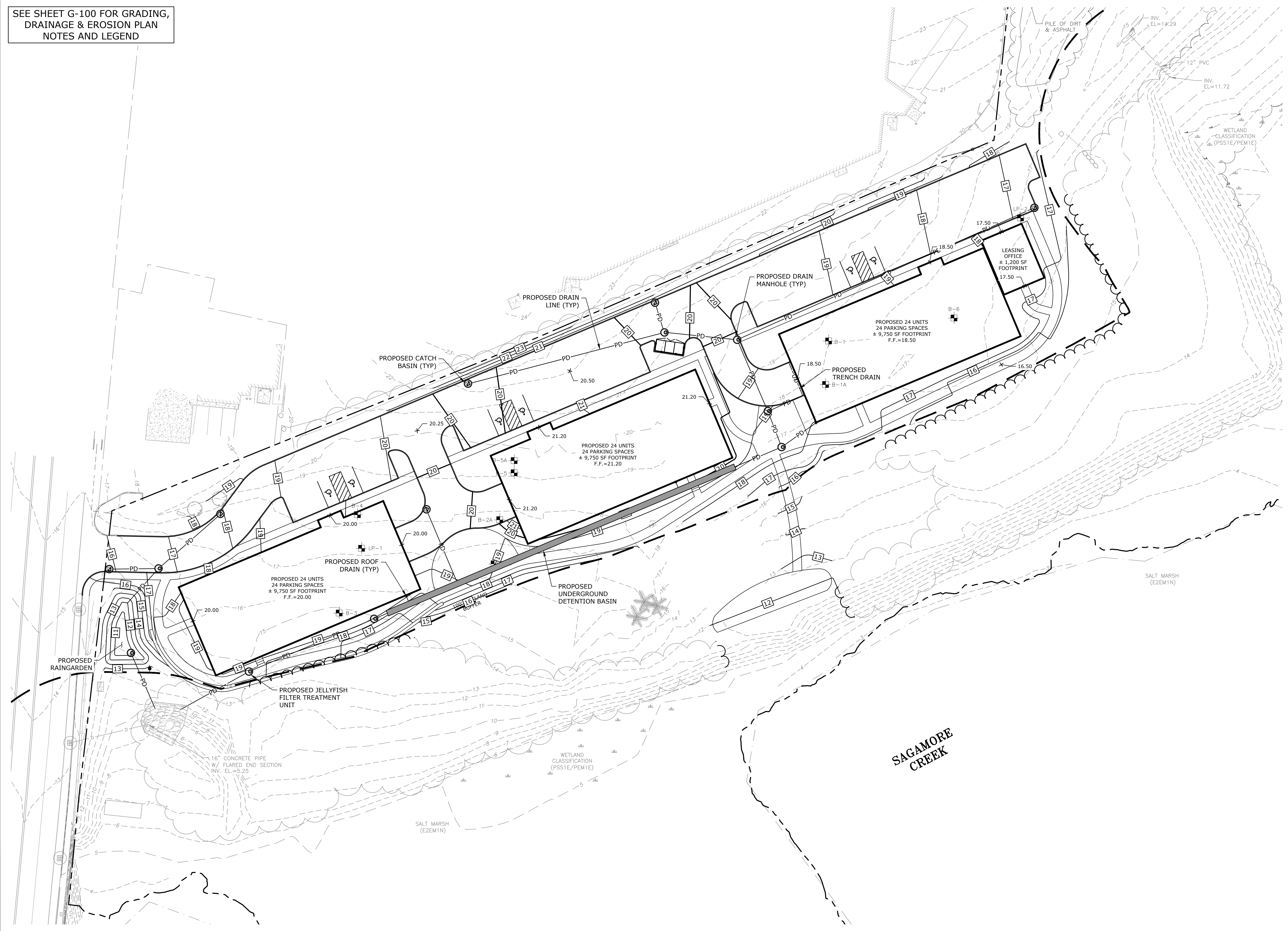
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 Tighe & Bond\3\1193\31193\Development, LLC\001_815 Lafayette Road\Drawings\AutoCAD\M5131_001_DSGN.dwg

SEE SHEET G-100 FOR GRADING,
DRAINAGE & EROSION PLAN
NOTES AND LEGEND

Tighe & Bond



PROGRESS PRINT



PROPOSED DEVELOPMENT

PROSPECT
NORTH 815,
LLC

815 LAFAYETTE
ROAD
PORTSMOUTH,
NEW HAMPSHIRE

MARK	DATE	DESCRIPTION

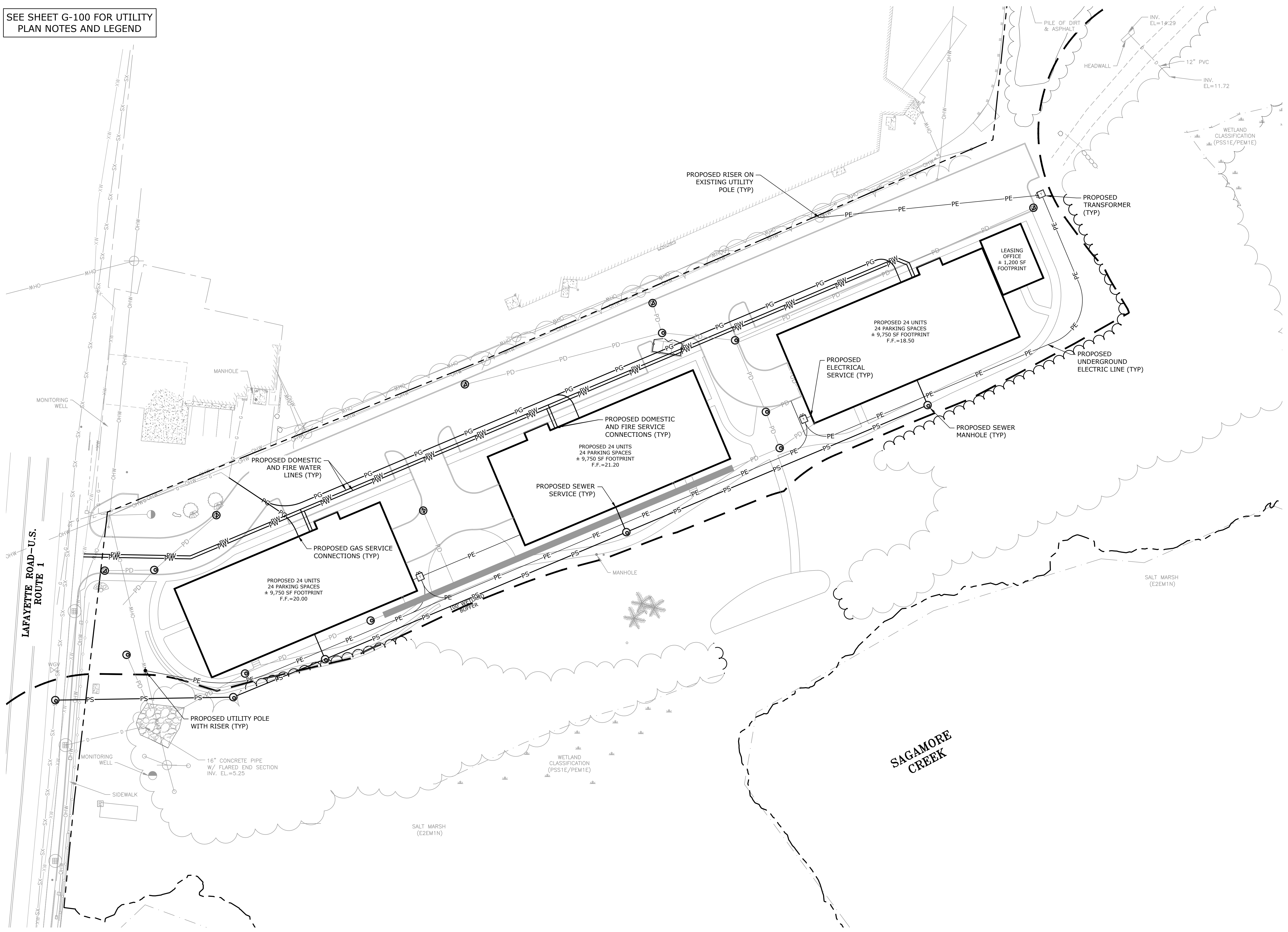
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GRADING, DRAINAGE &
EROSION CONTROL
PLAN

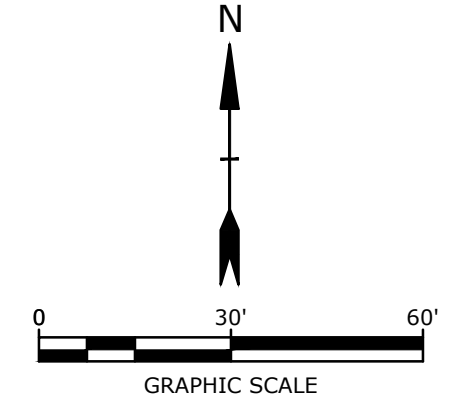
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 Tighe & Bond 815 Lafayette Road Portsmouth, NH 03801
 M5131-001-DSGN.dwg

SEE SHEET G-100 FOR UTILITY
PLAN NOTES AND LEGEND



Tighe & Bond



PROGRESS PRINT

PROPOSED DEVELOPMENT

PROSPECT NORTH 815,
LLC

815 LAFAYETTE
ROAD
PORTSMOUTH,
NEW HAMPSHIRE

MARK	DATE	DESCRIPTION

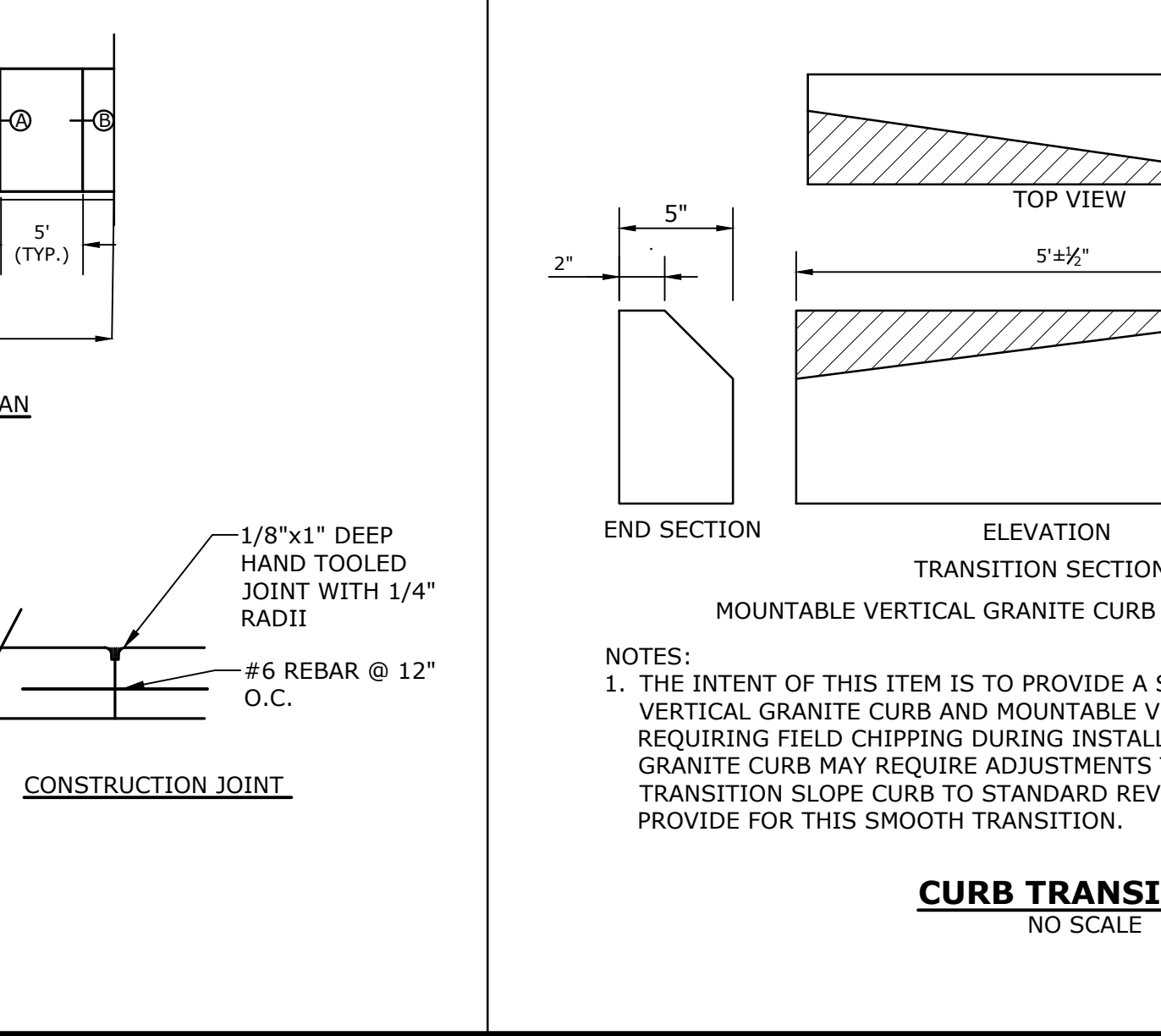
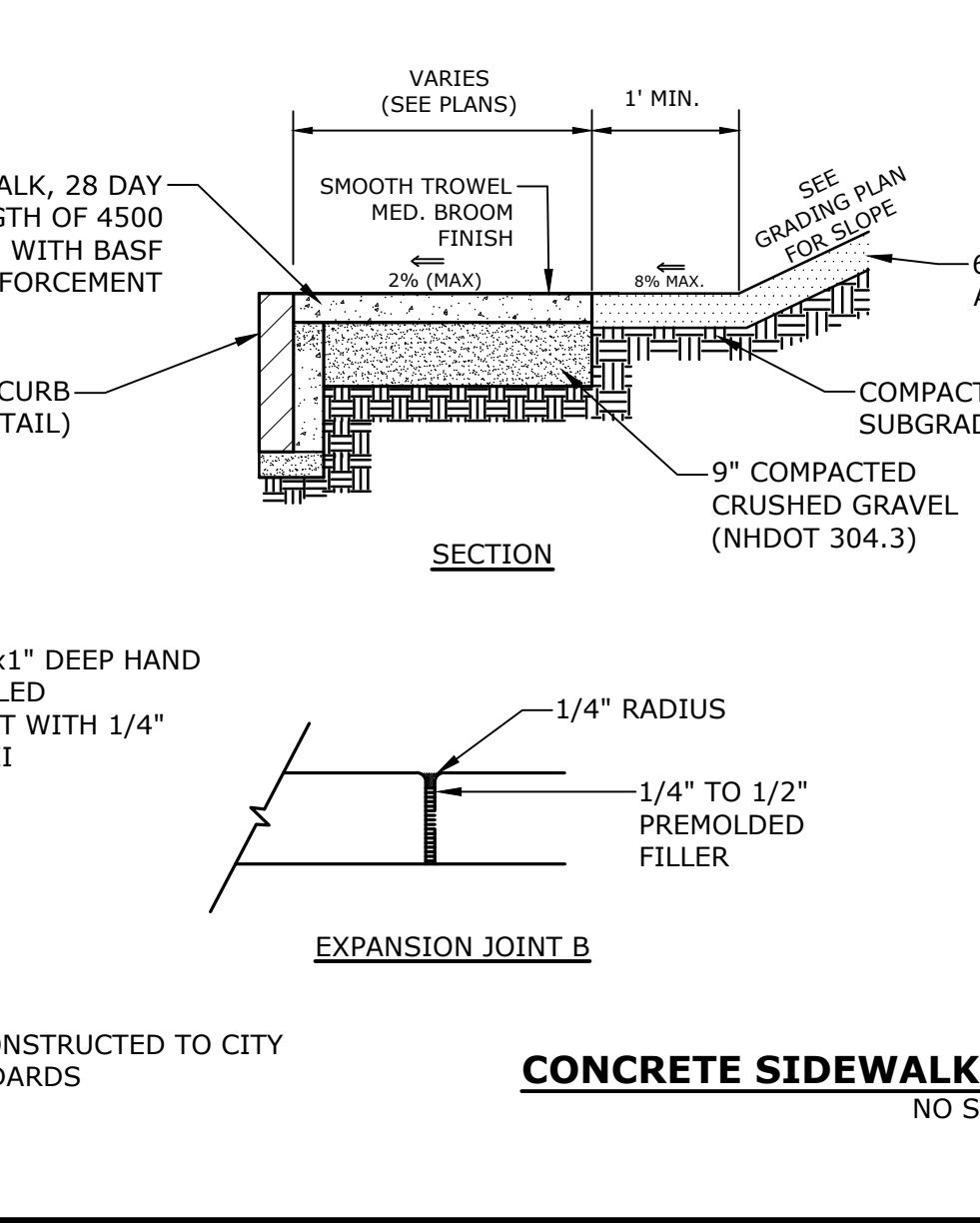
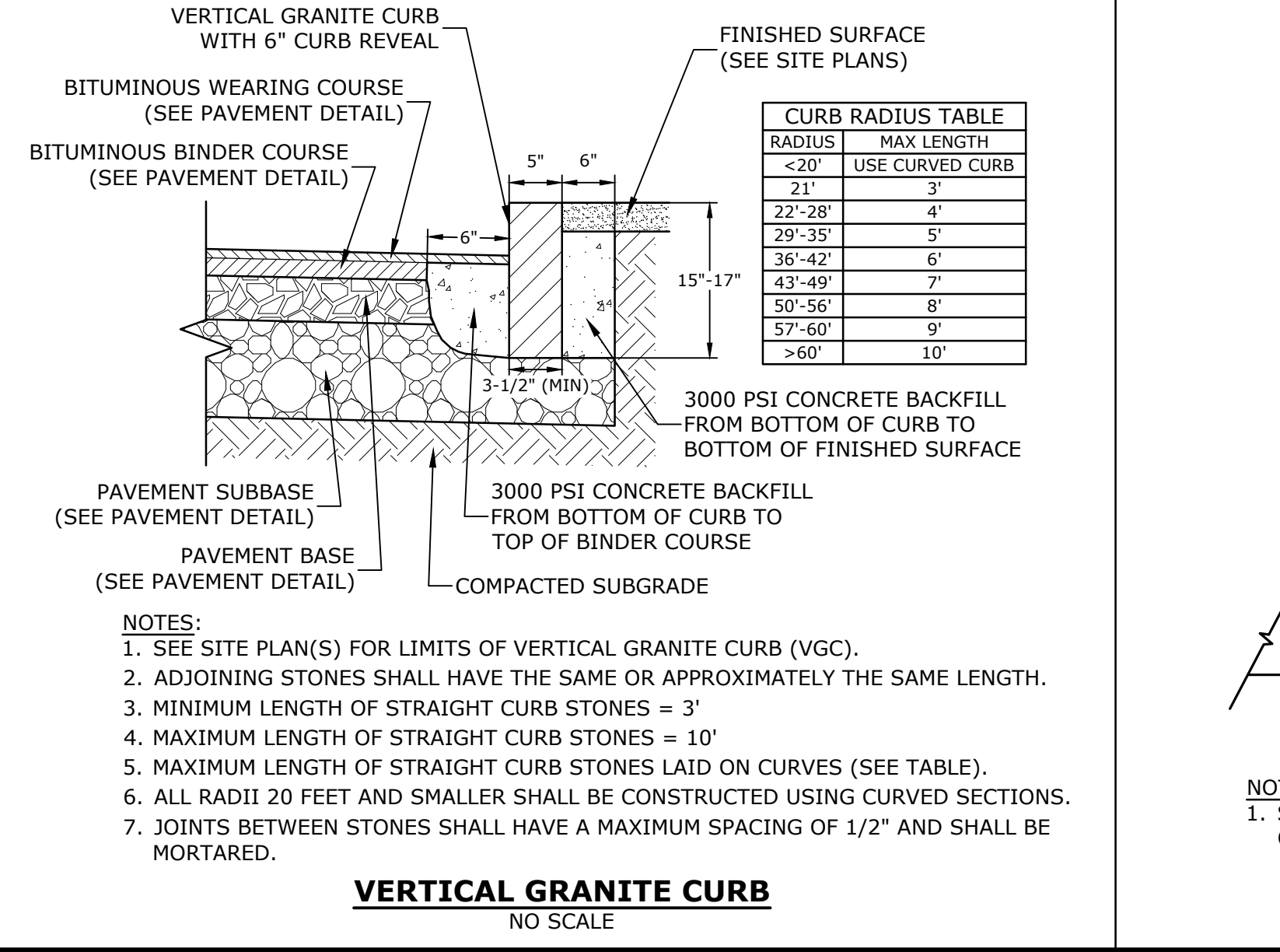
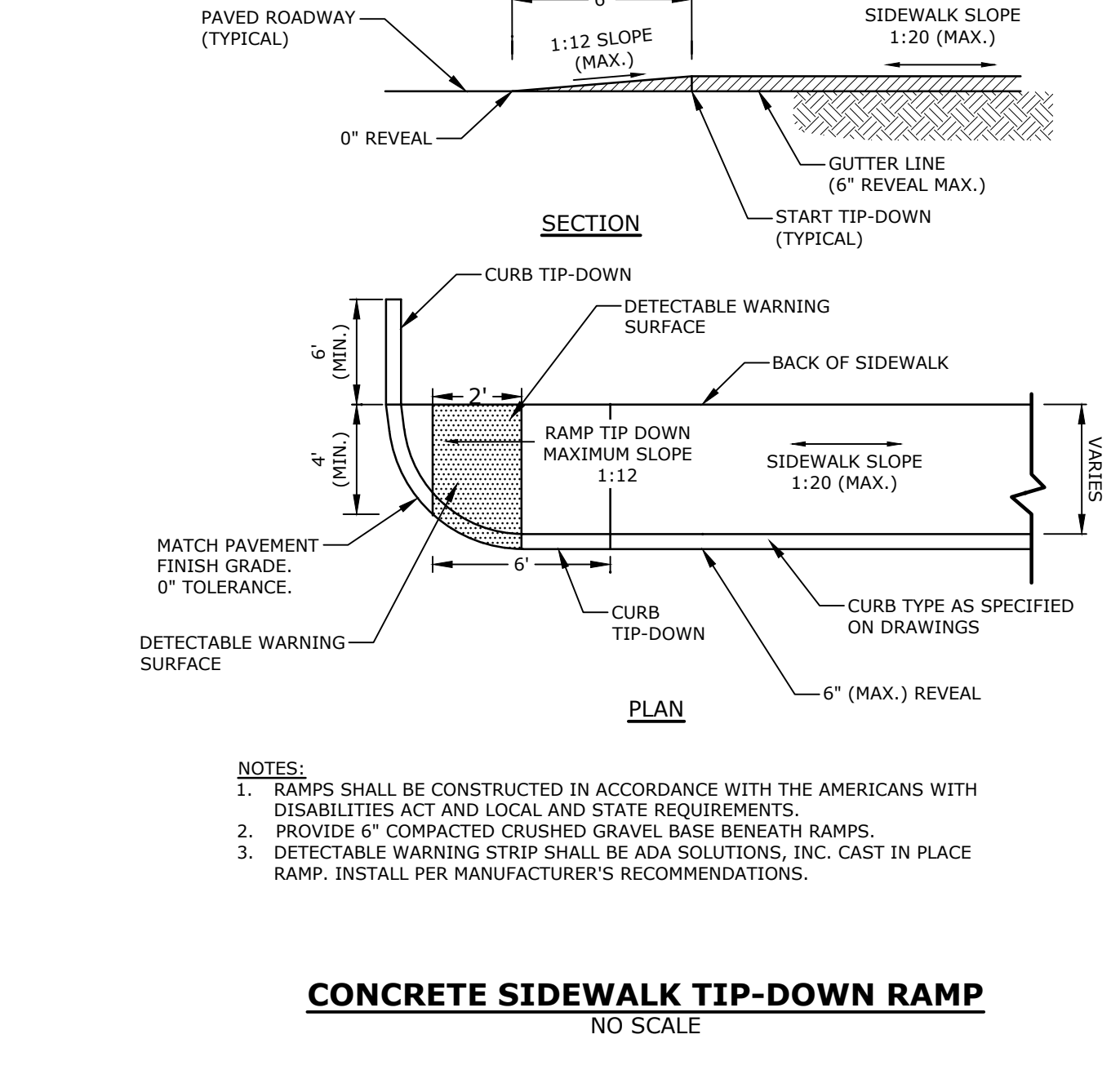
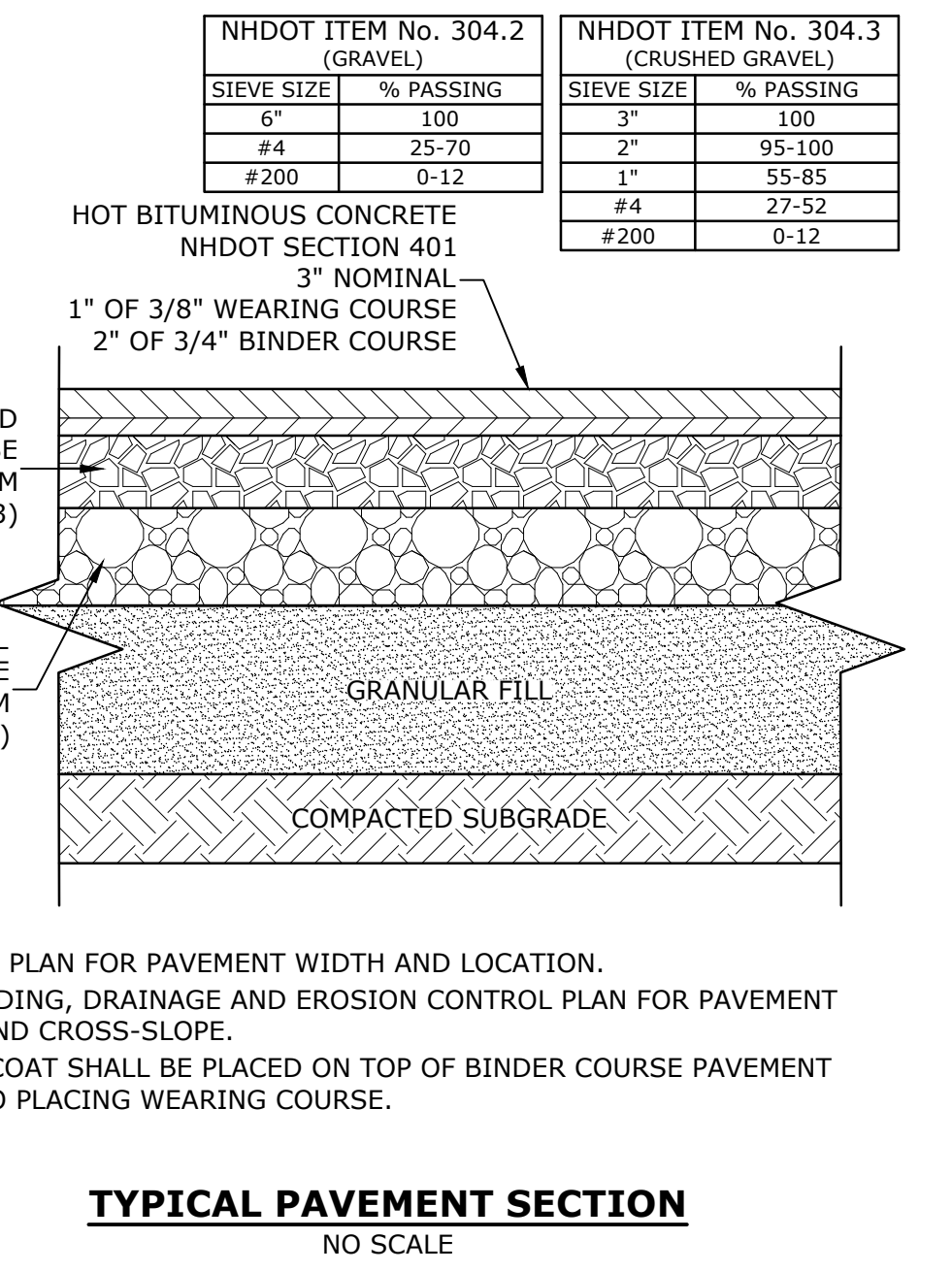
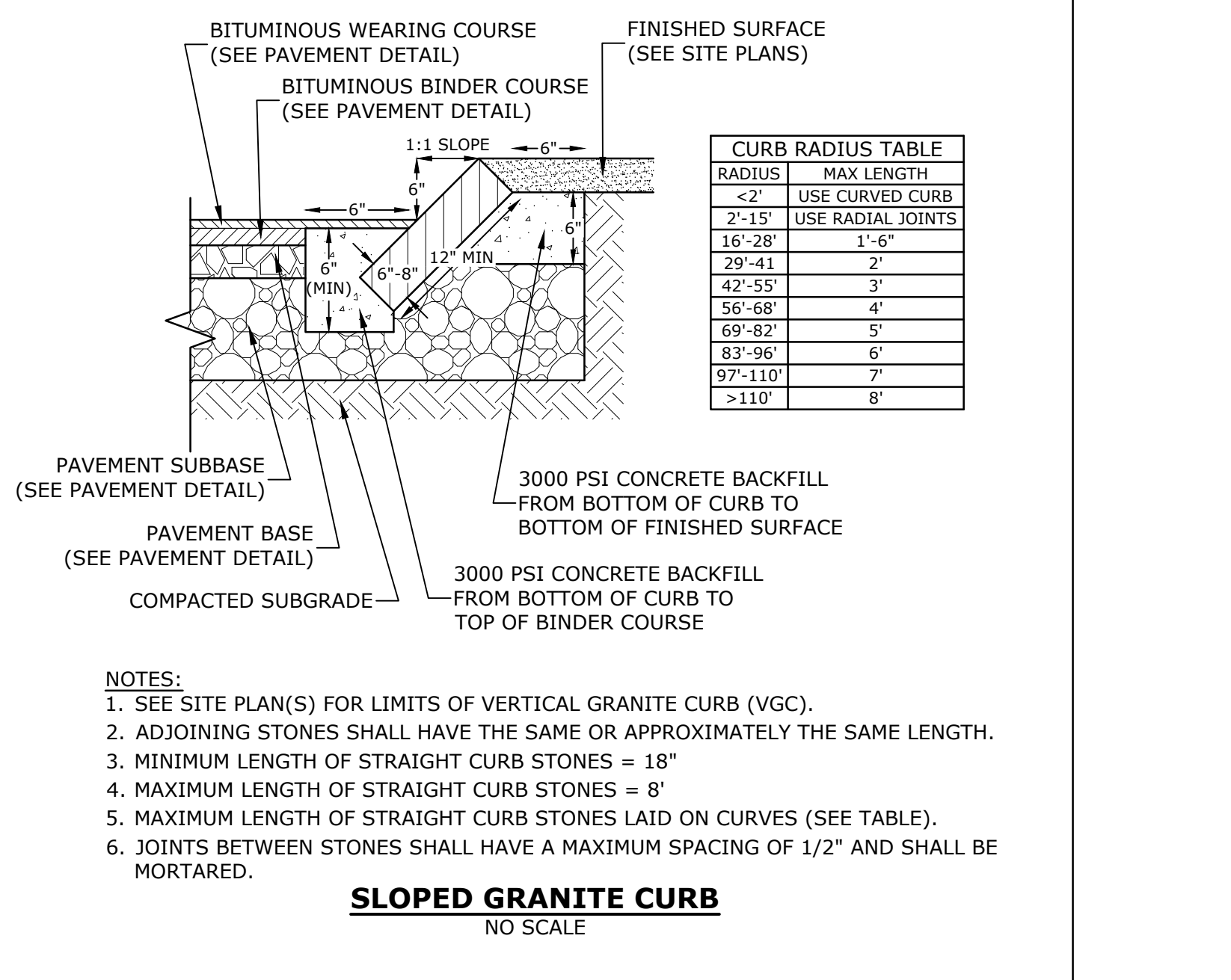
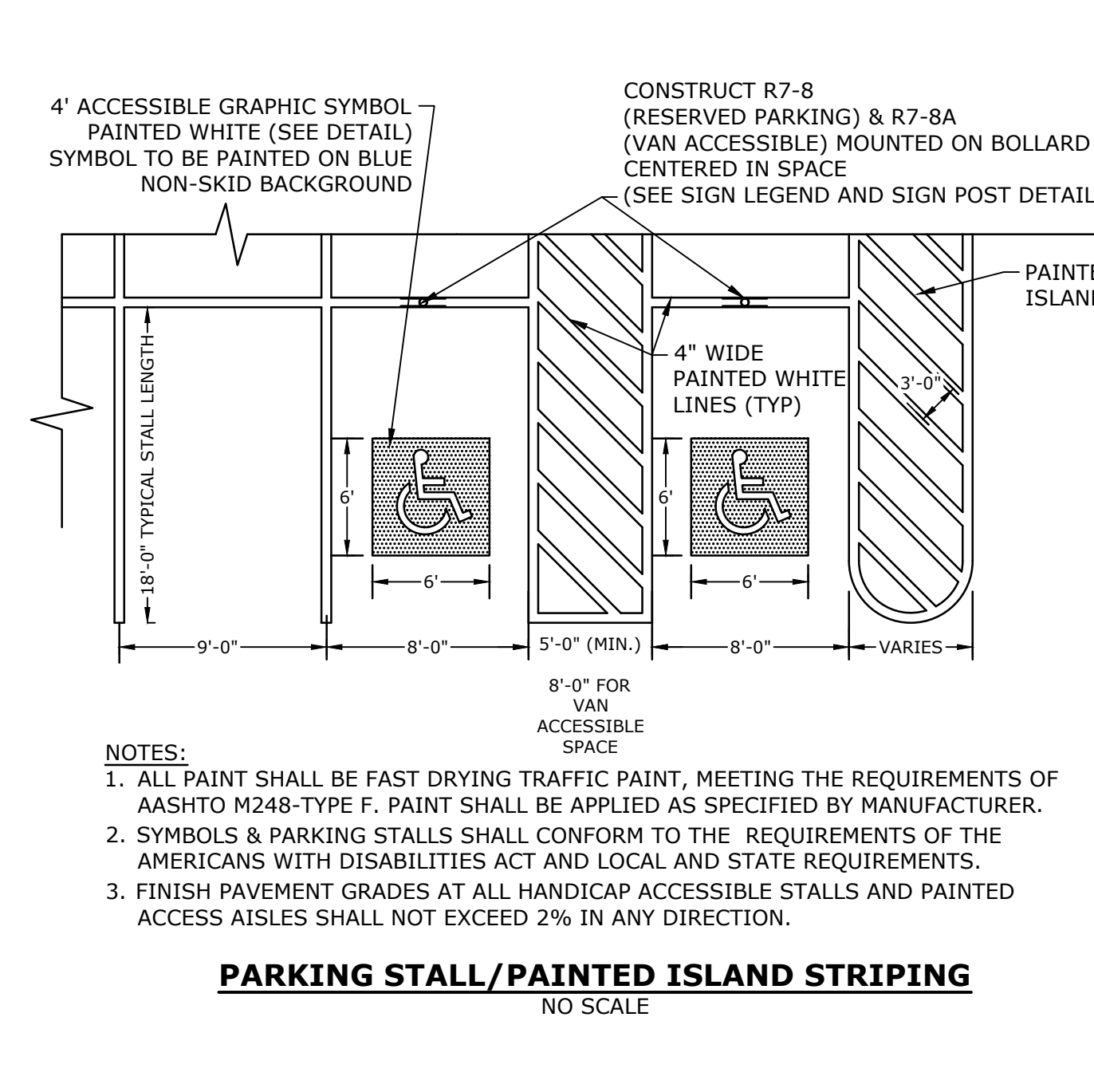
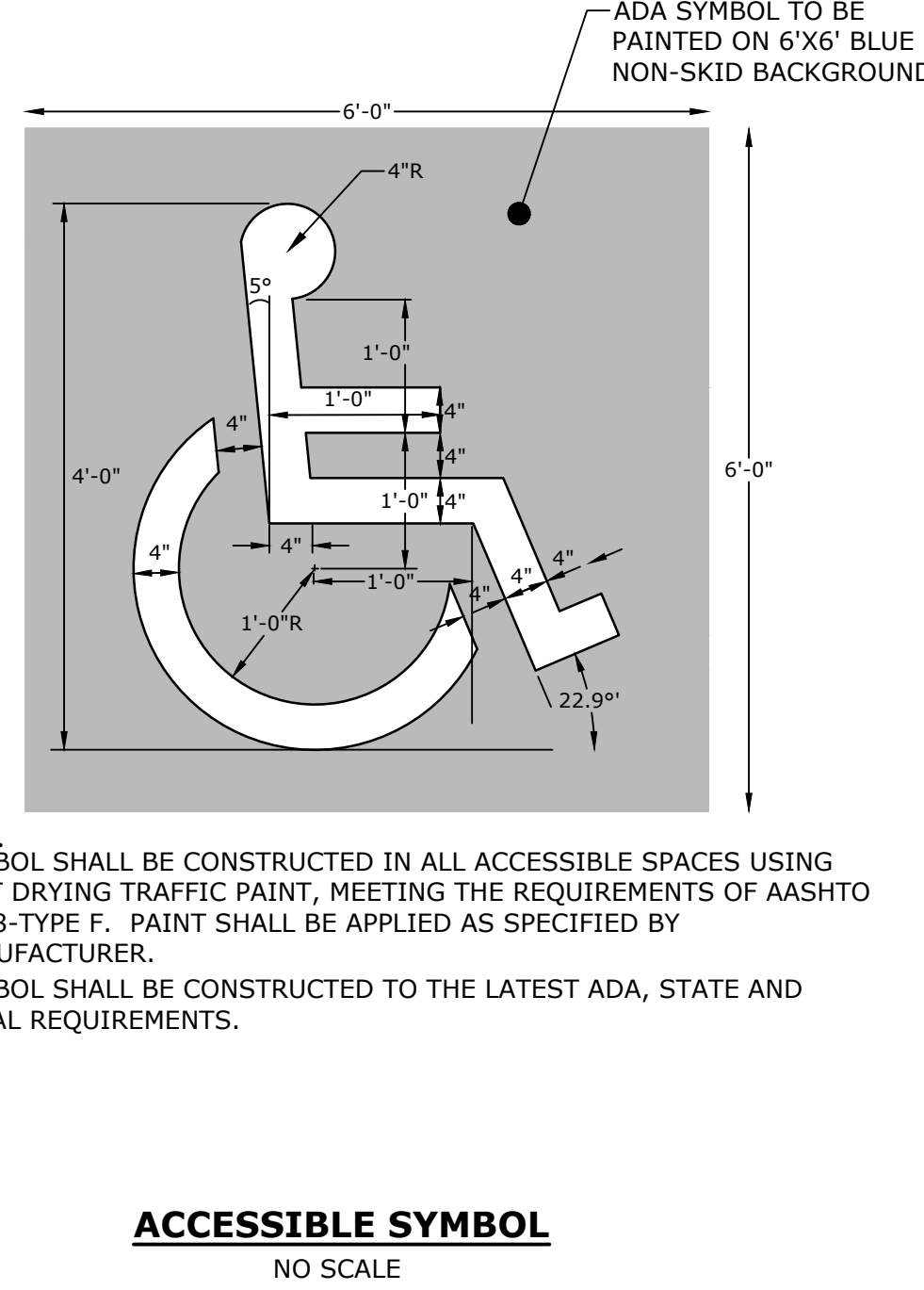
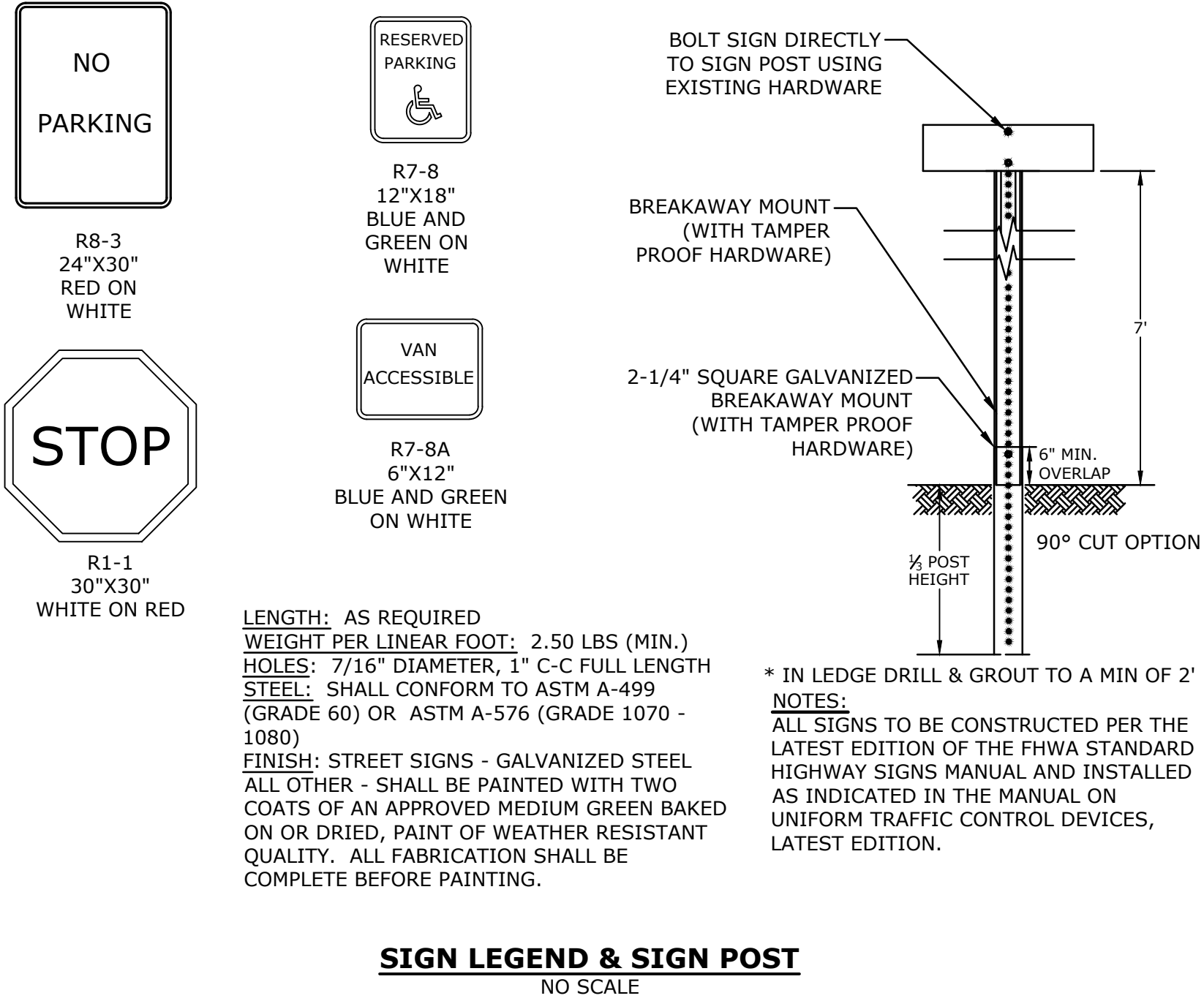
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DATE:	9/5/2023
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APPROVED BY:	PMC

UTILITY PLAN

SCALE: AS SHOWN

C-104

Last Saved: 9/5/2023 11:15am By: Chriscull
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 Tighe & Bond \3\109\511 MBZ Development, LLC\001_815 Lafayette Road\Drawings\AutoCAD\M5131_001_DSGN.dwg



PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

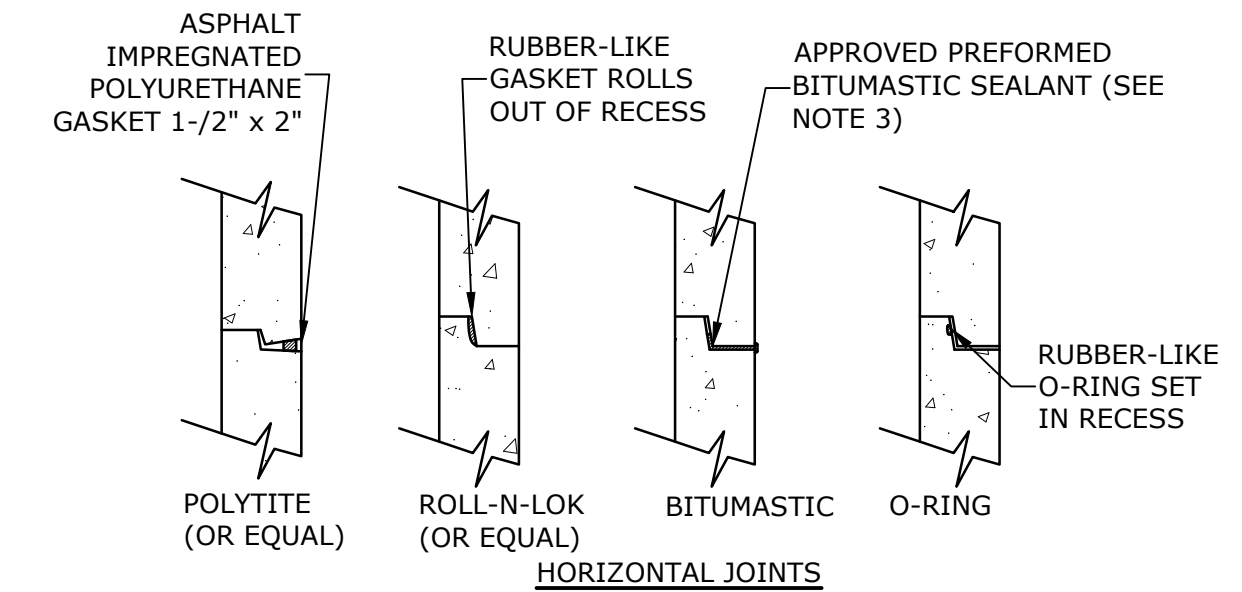
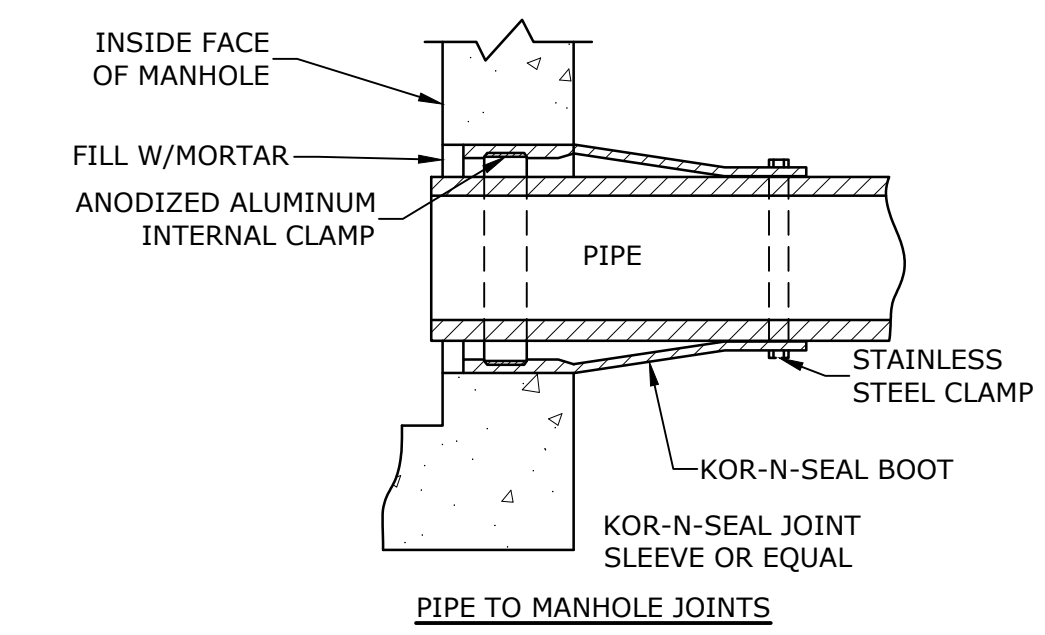
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APPROVED BY:	PMC	

DETAILS

SCALE: AS SHOWN

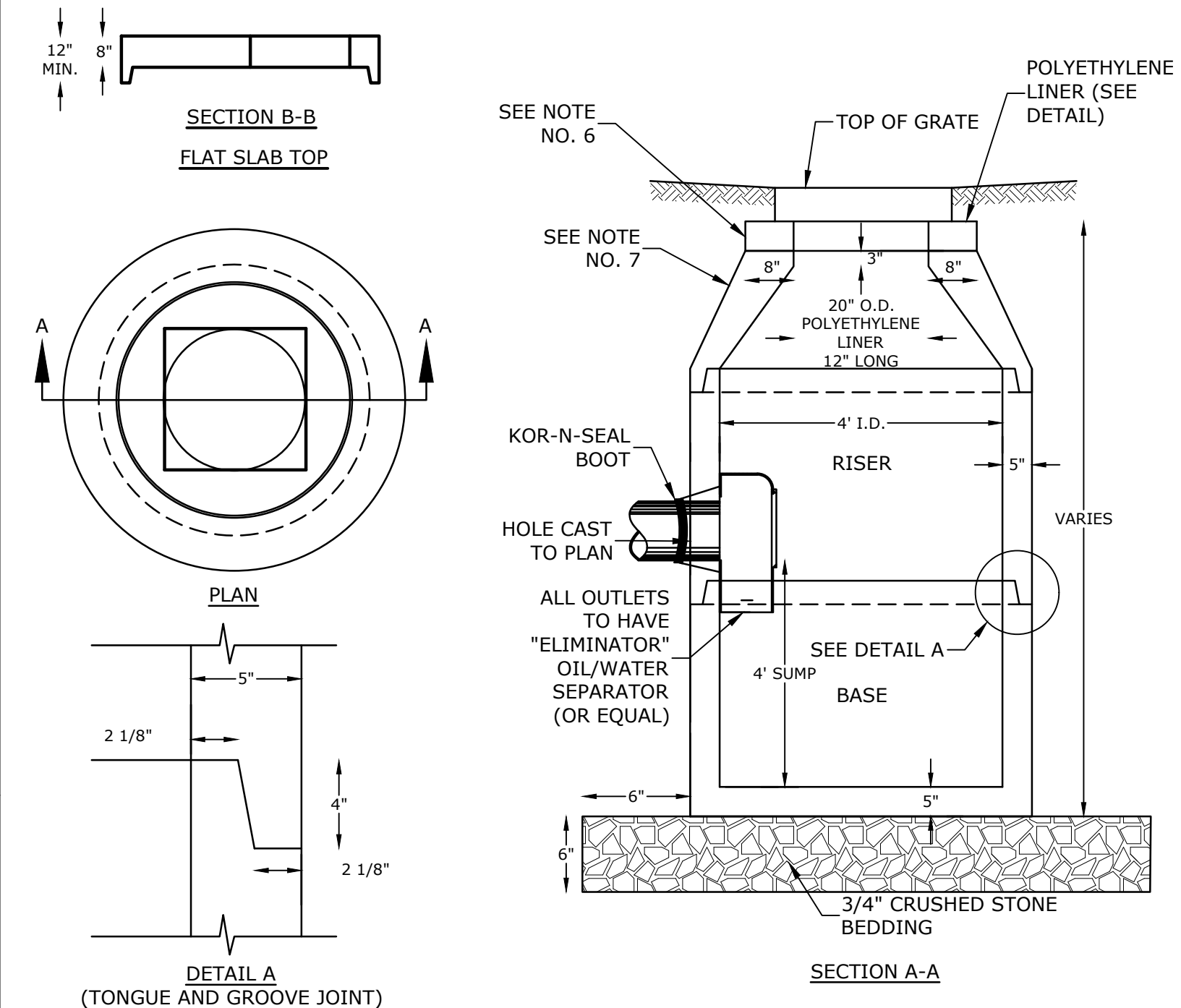
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APPROVED BY:	PMC	



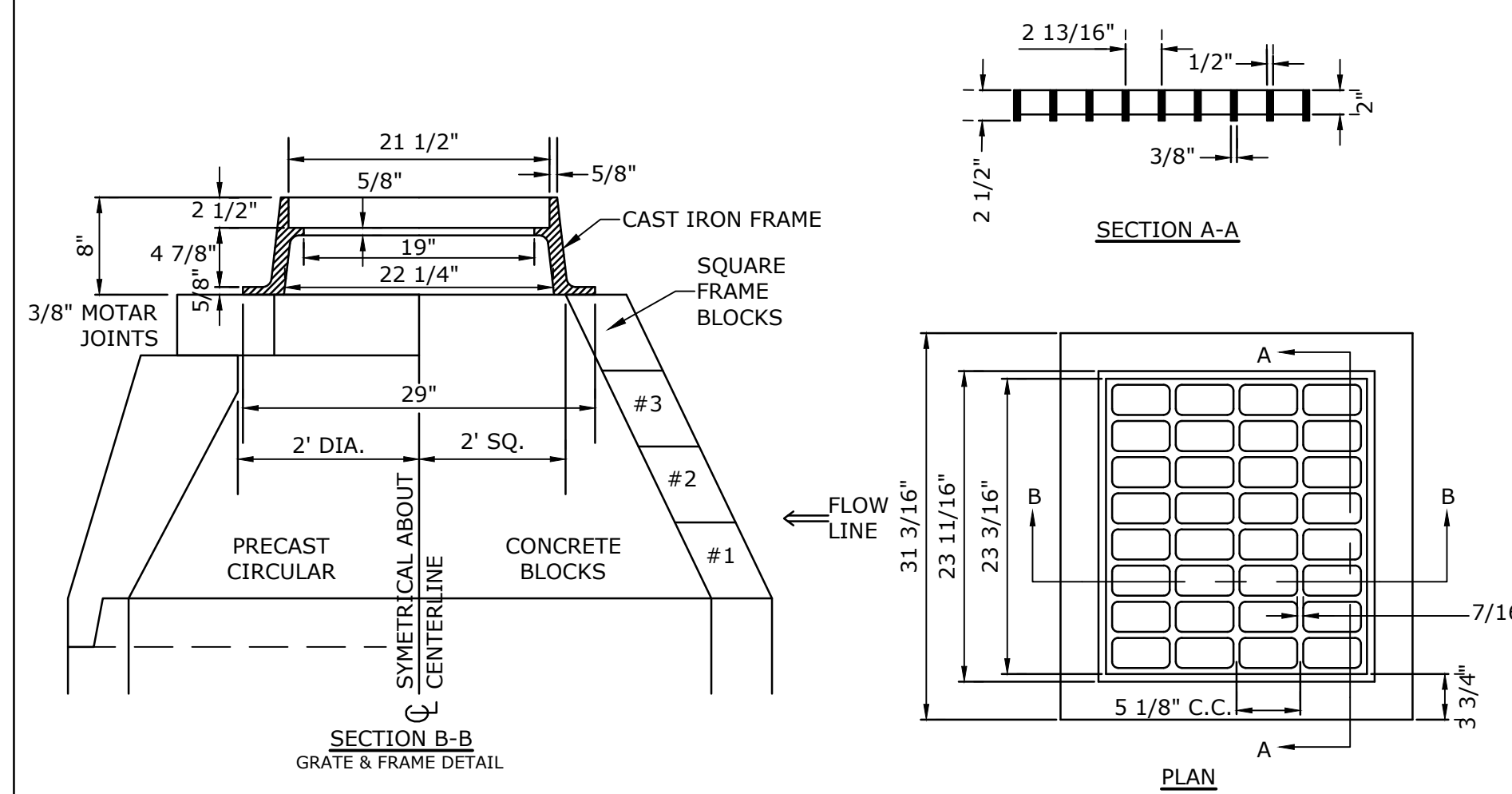
- NOTES:
- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF DOVER COMMUNITY DEVELOPMENT DEPARTMENT STANDARDS AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF DOVER STANDARDS.
 - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

MANHOLE JOINTS
NO SCALE



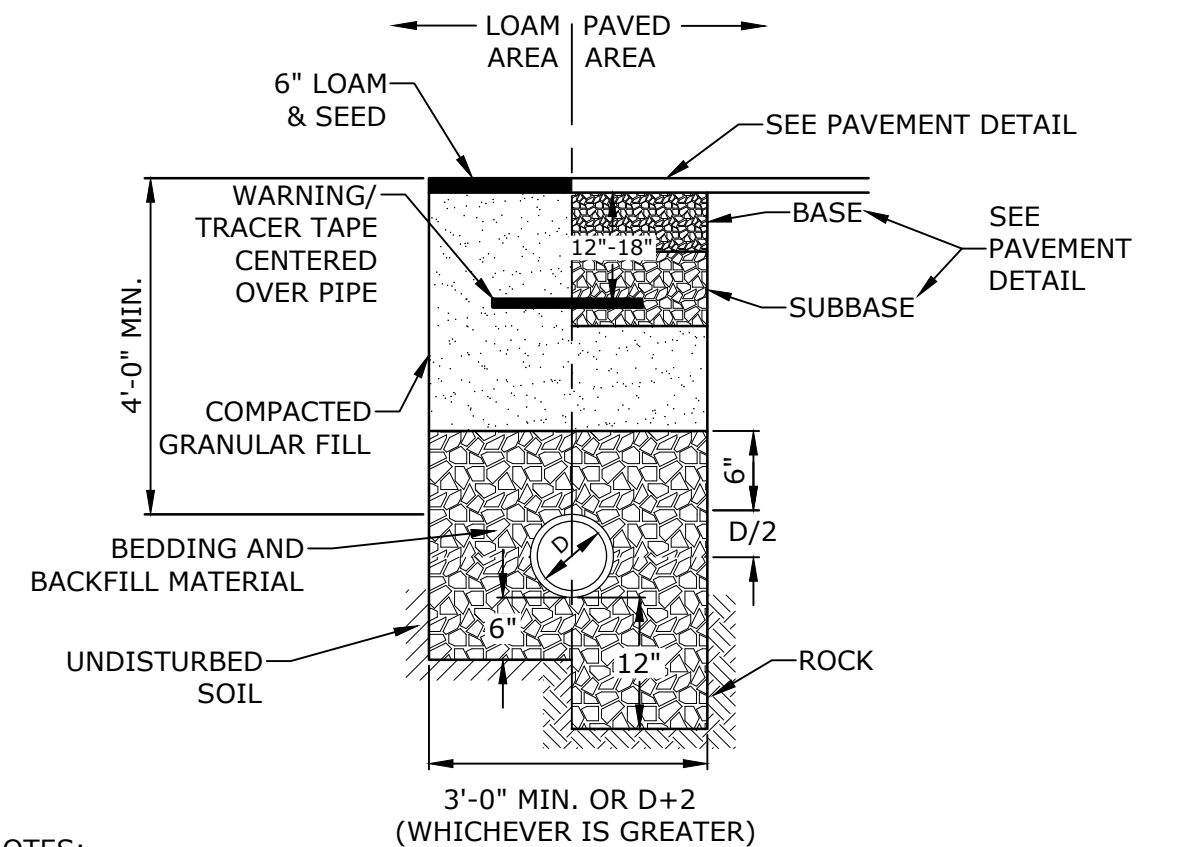
- NOTES:
- ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi).
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 - THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
 - RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
 - THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
 - FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX.).
 - CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC. OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.
 - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 - PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 - THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 - "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

4' DIAMETER CATCHBASIN
NO SCALE



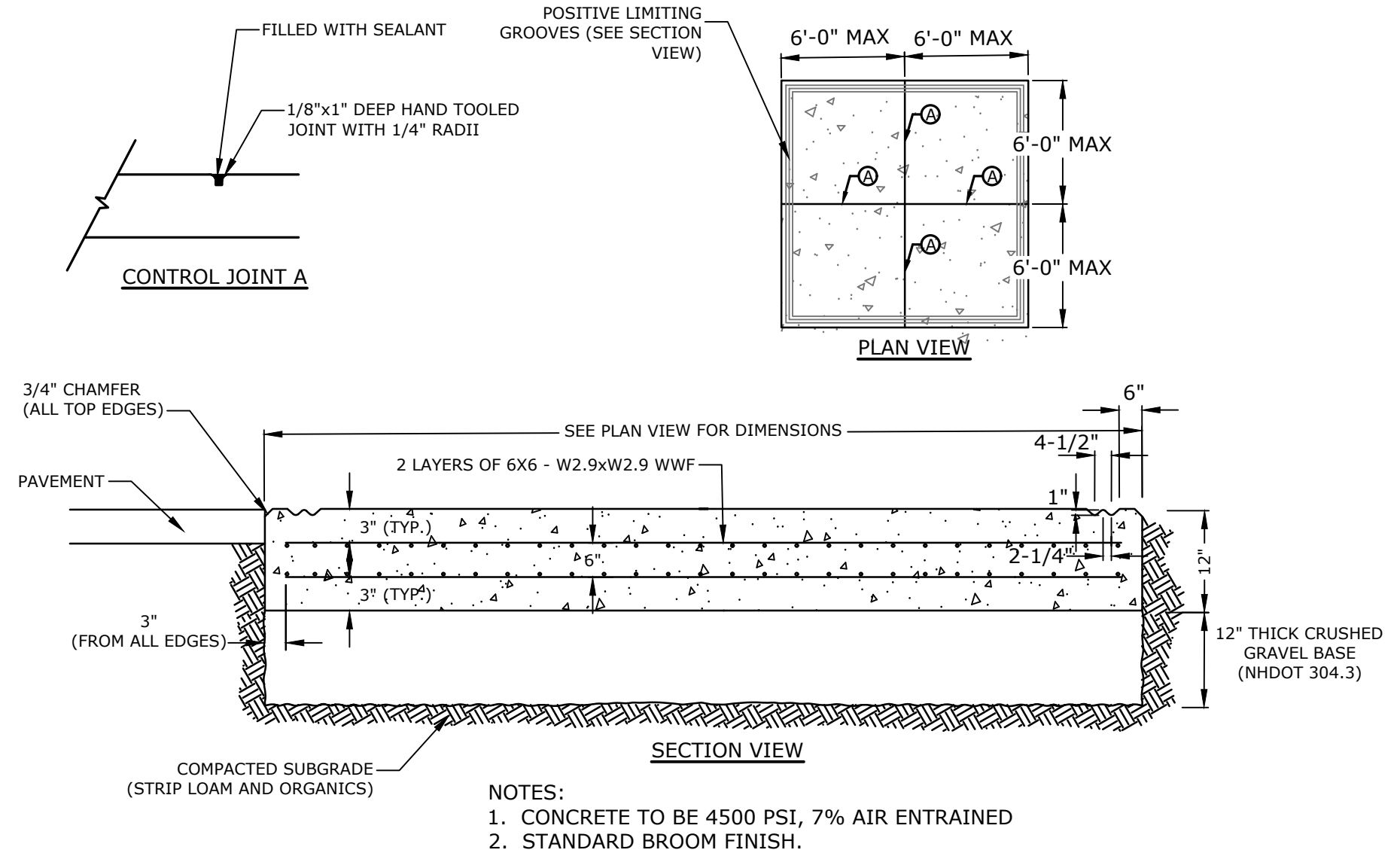
- NOTES:
- GRATE TO BE CAST IRON (NHDOT TYPE B ALTERNATE 1)
 - FRAME AND GRATE TO BE MANUFACTURED IN THE USA

CATCH BASIN FRAME & GRATE
NO SCALE



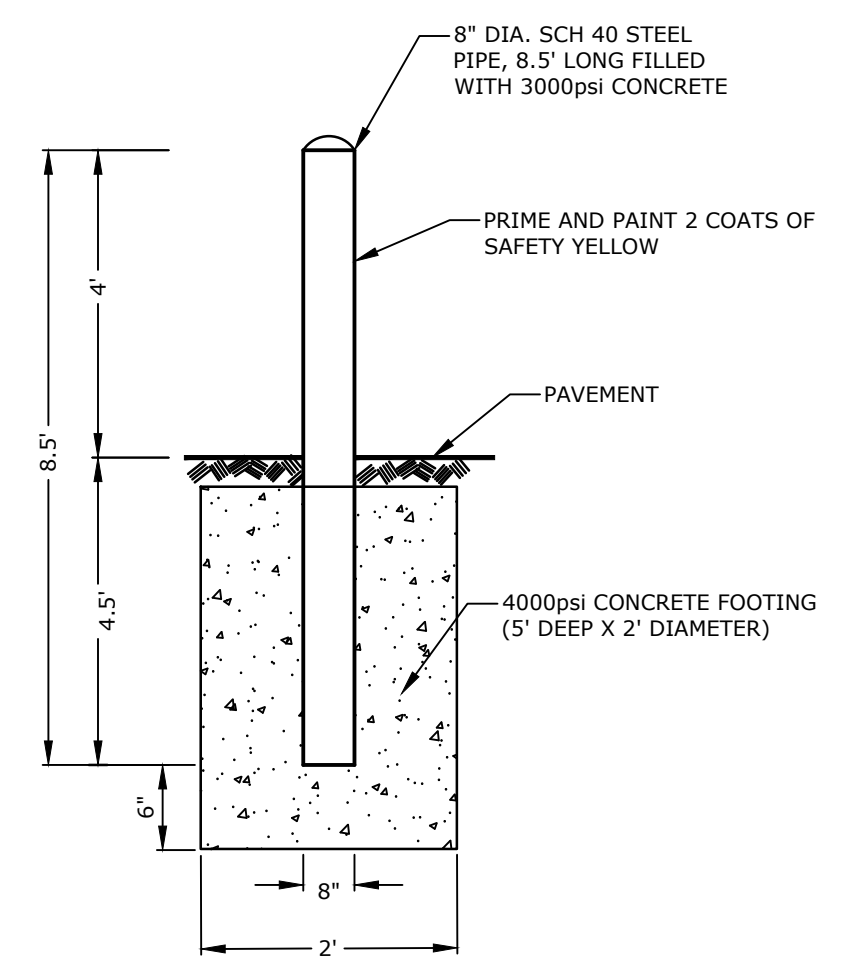
- NOTES:
- CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
 - ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.
 - DRAIN LINE SHALL BE INSULATED WHERE THERE IS LESS THAN 6' OF COVER IN PAVED AREAS AND LESS THAN 4' OF COVER IN NON-PAVED AREAS.

STORM DRAIN TRENCH
NO SCALE

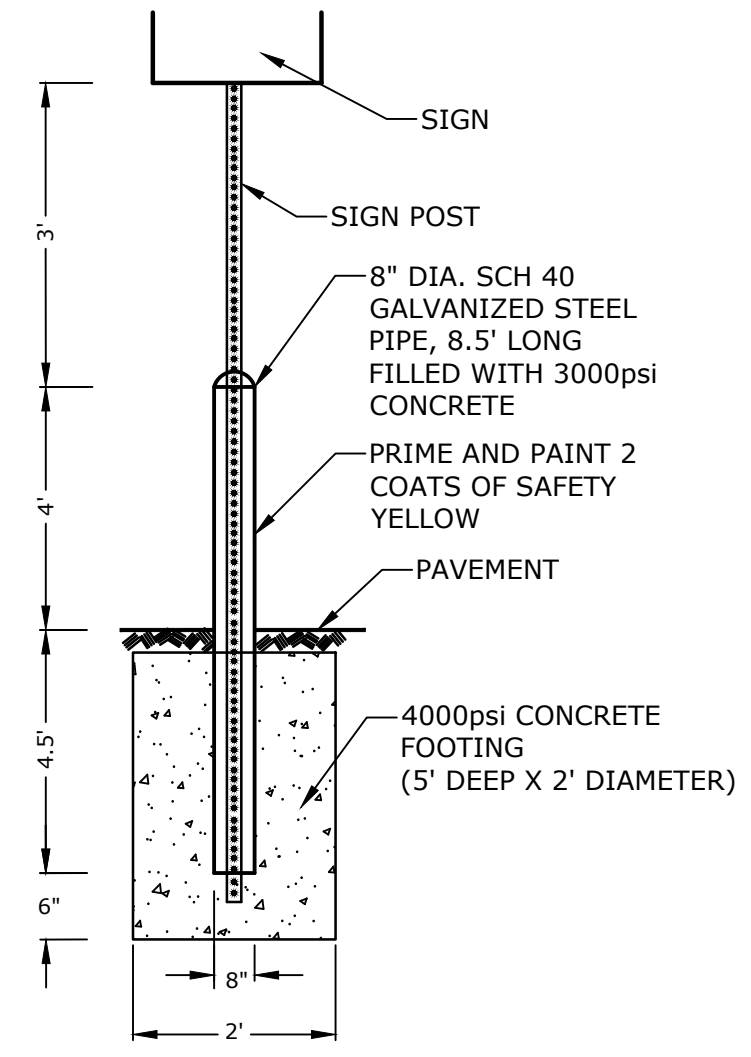


- NOTES:
- CONCRETE TO BE 4500 PSI, 7% AIR ENTRAINED
 - STANDARD BROOM FINISH.

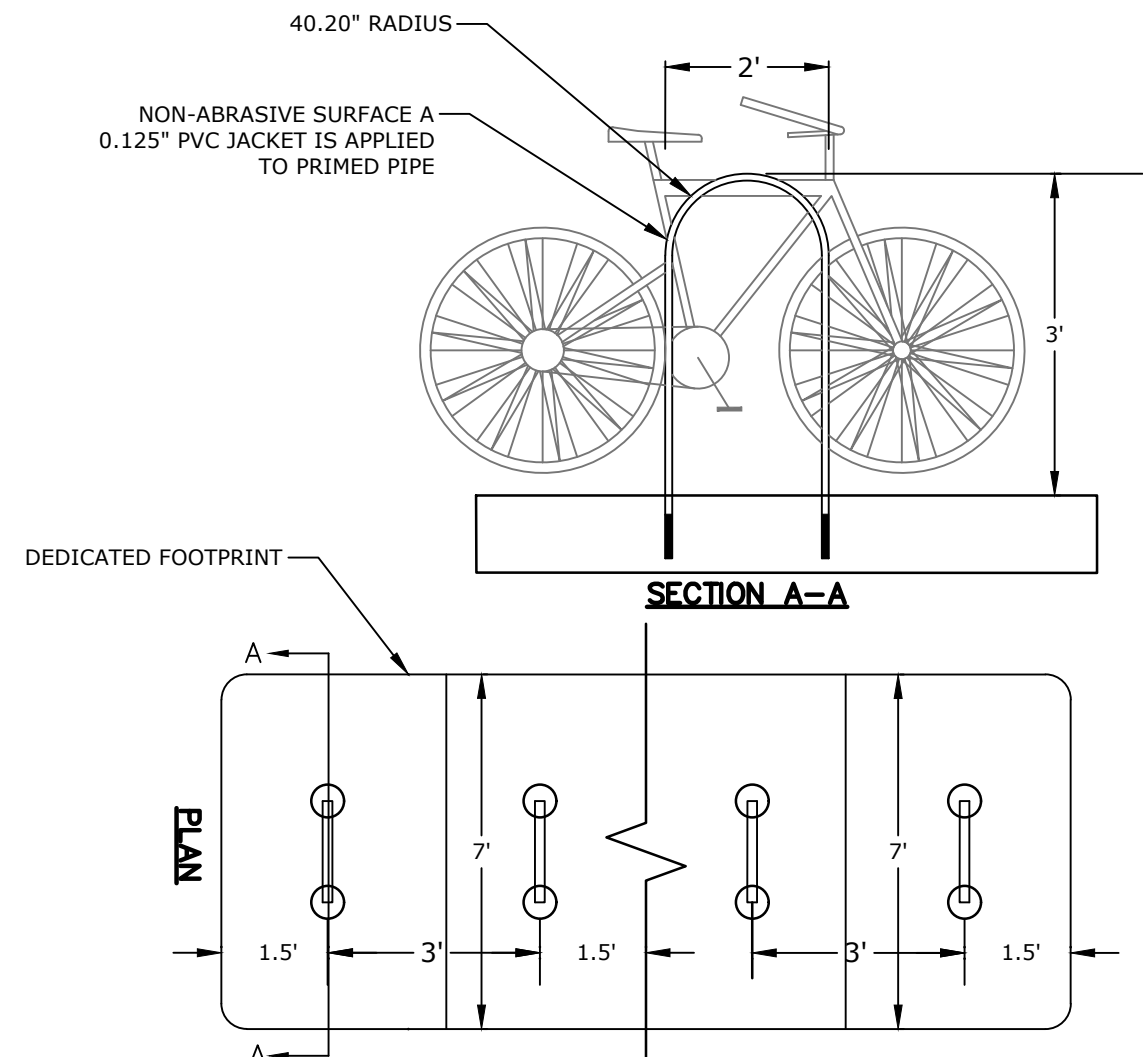
DUMPSTER PAD
NO SCALE



BOLLARD DETAIL
NO SCALE



BOLLARD MOUNTED SIGN DETAIL
NO SCALE



BIKE RACK
NO SCALE

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 Tighe & Bond 815 Lafayette Road Portsmouth, NH 03801
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PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

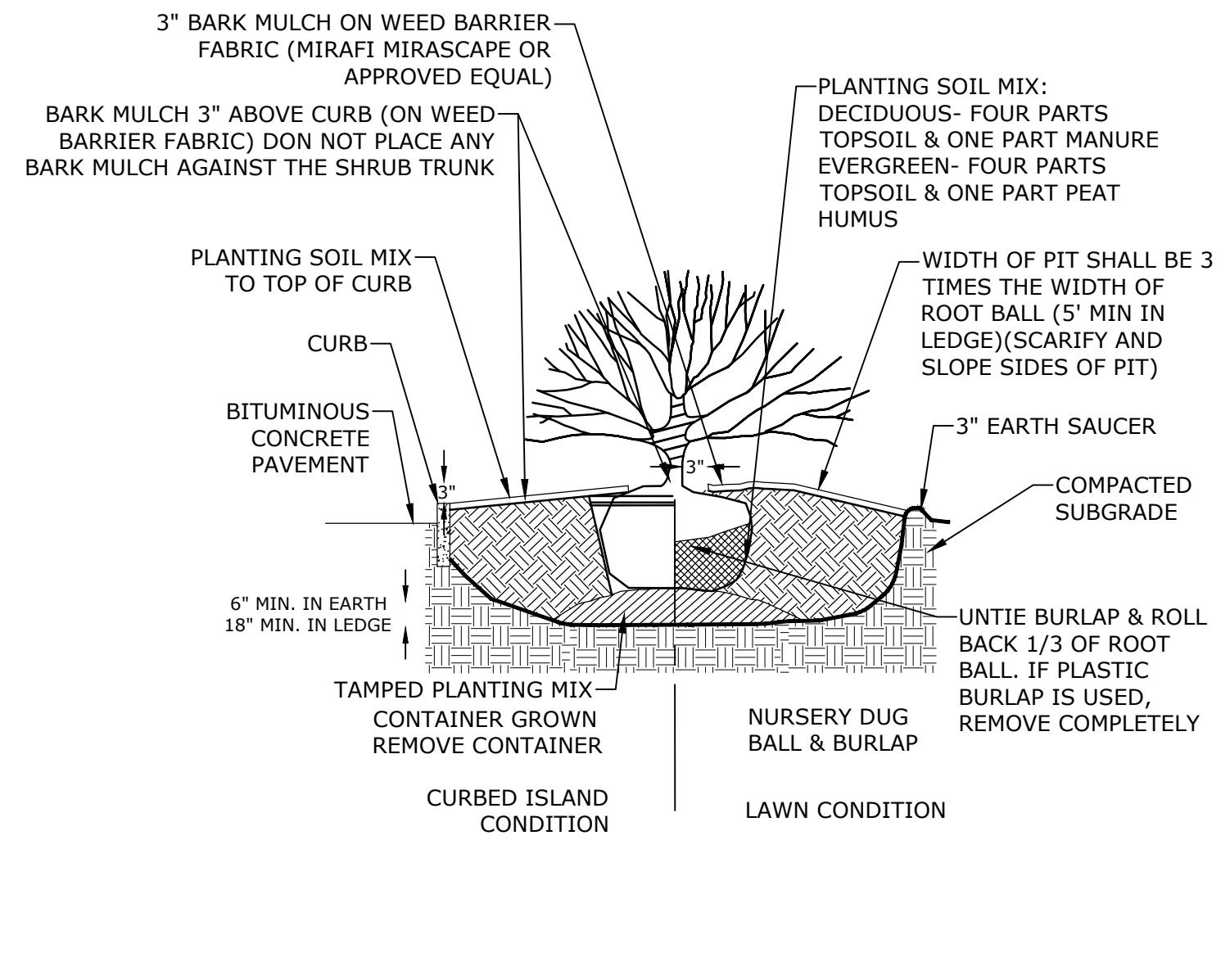
815 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

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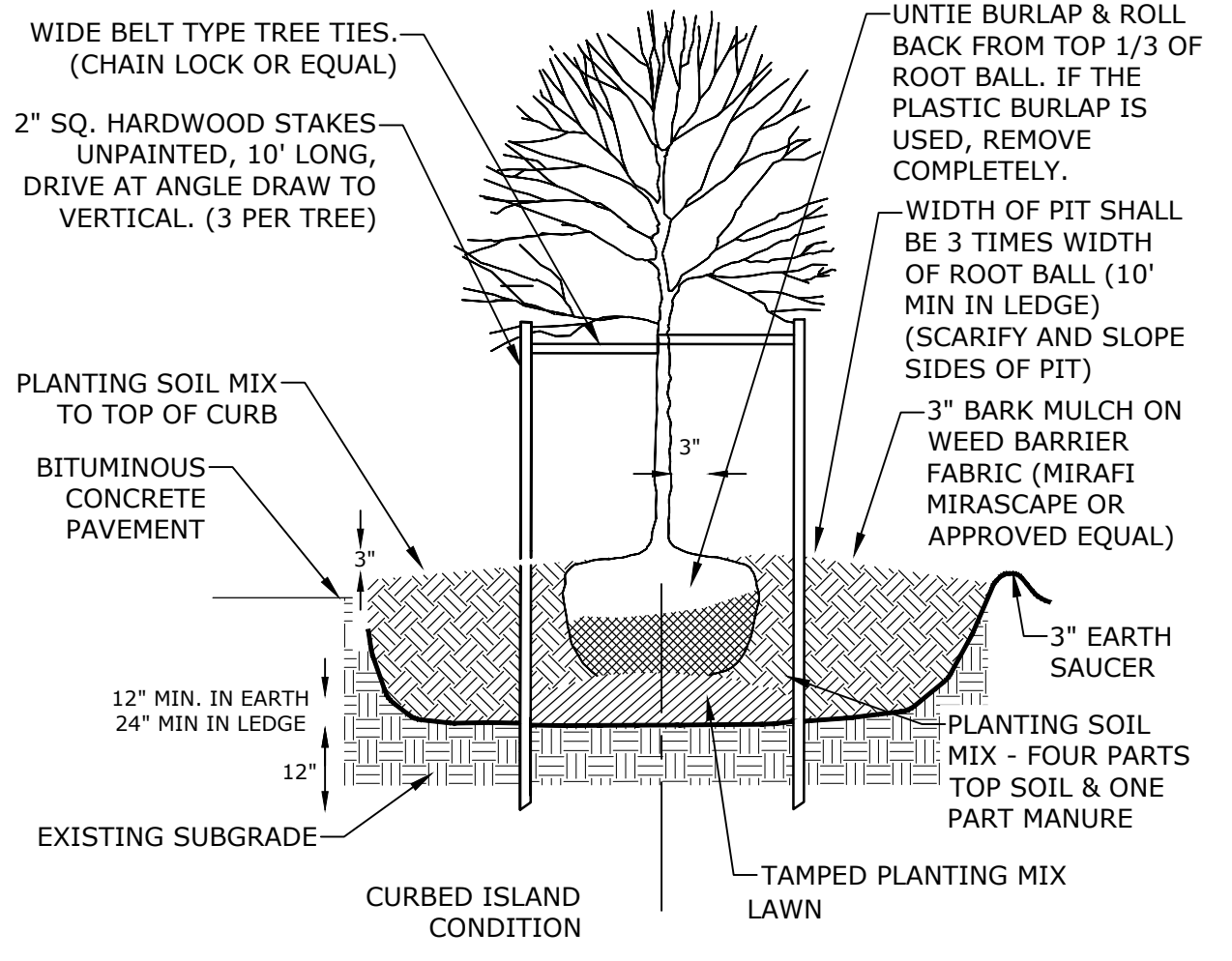
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C-504



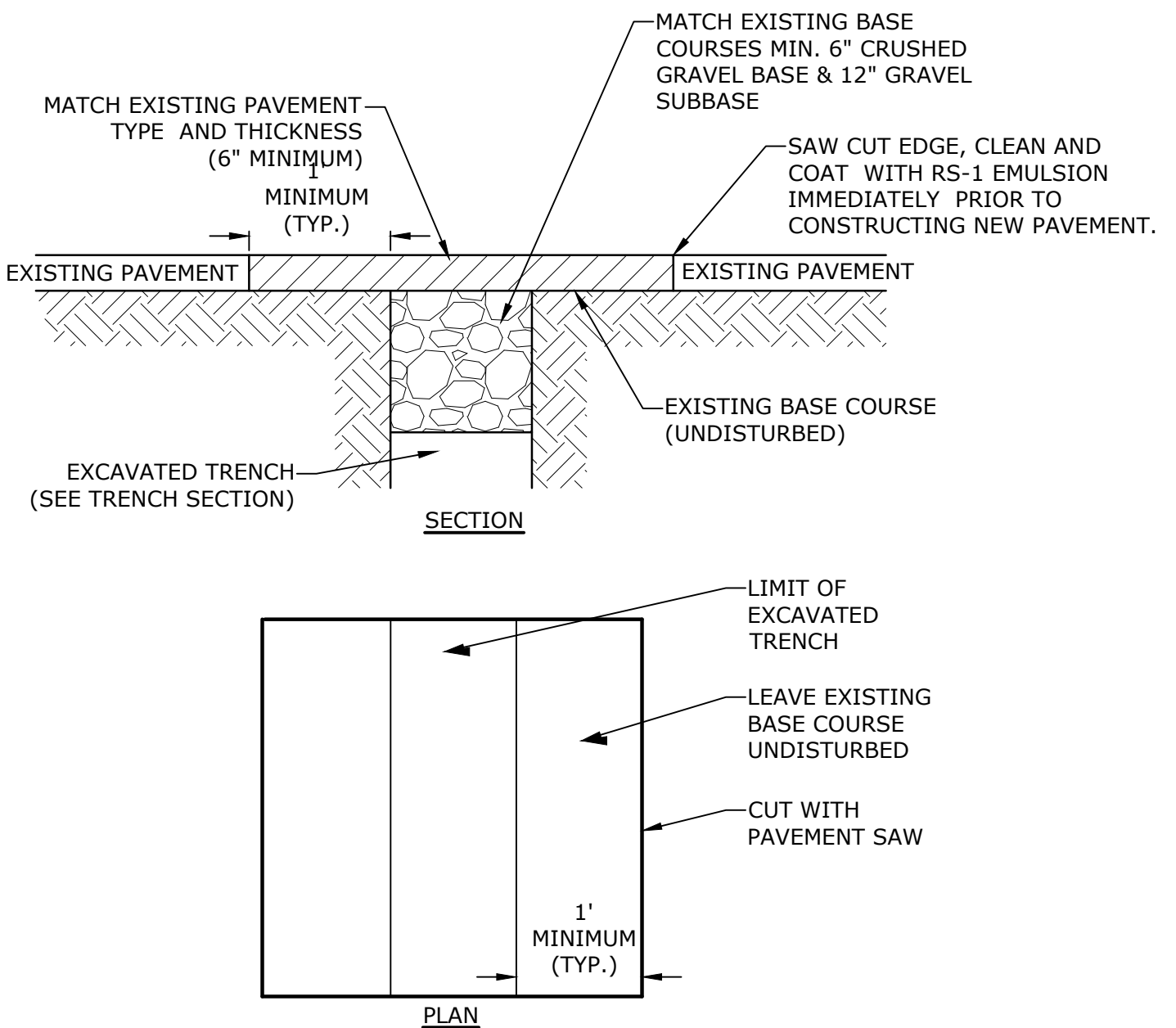
NOTE:
1. PLANT AT SAME DEPTH AS PREVIOUSLY PLANTED, OR WITHIN 2\"/>

SHRUB PLANTING
NO SCALE



NOTES:
1. PLANT AT SAME DEPTH AS PREVIOUSLY PLANTED OR WITHIN 2\"/>

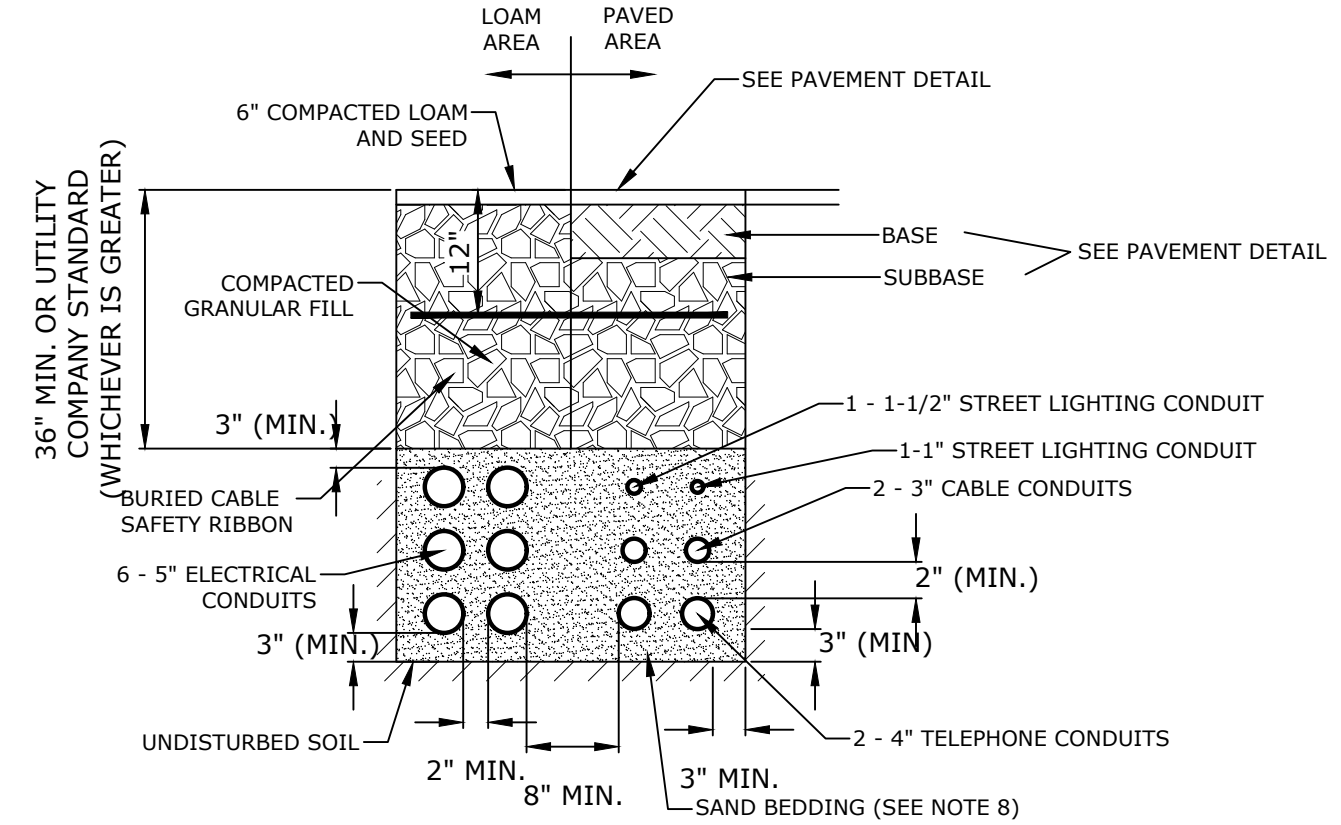
DECIDUOUS TREE PLANTING
NO SCALE



NOTE:
1. COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT OF WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

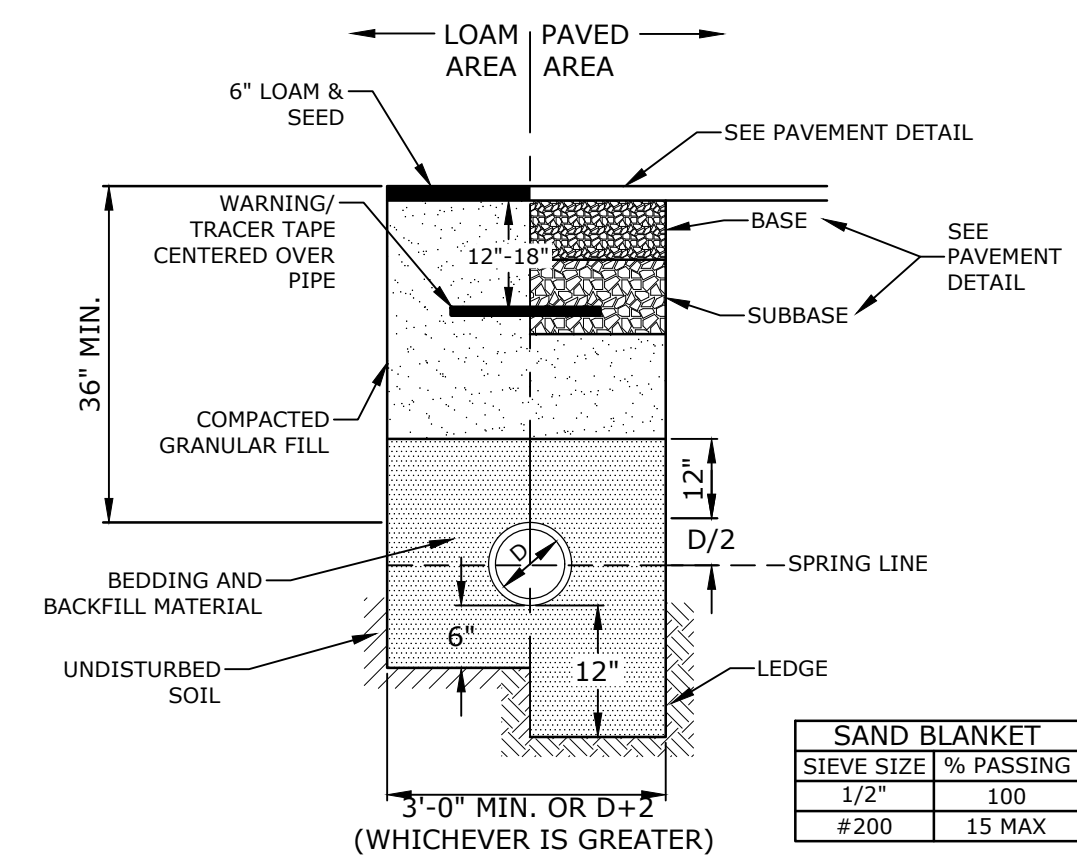
ROADWAY TRENCH PATCH
NO SCALE

GRANULAR FILL (GRAVEL)		SAND BLANKET	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
3"	95-100	1/2"	100
#4	25-70	#200	15 MAX



NOTE:
1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL SWEEPS WITH A 36 TO 48 INCH RADIUS.
8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT
NO SCALE

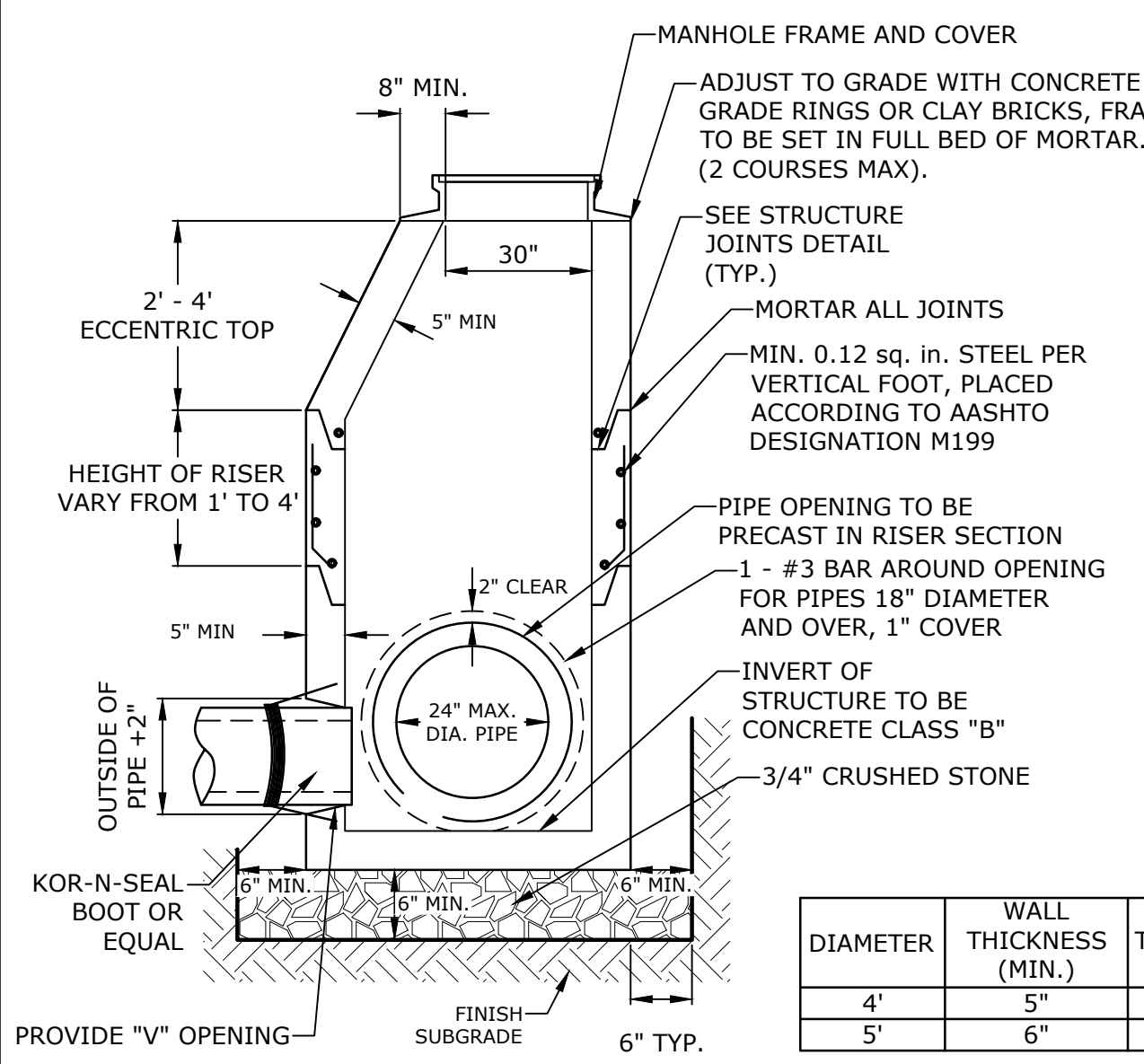


NOTE:
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6\"/>

GAS TRENCH
NO SCALE

NOTES:
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6\"/>

PIPE SIZE	CORE HOLE SIZE	
	RCP CORE HOLE DIA.	PLASTIC CORE HOLE DIA.
6	7	0.6
12	18	1.5
15	22	1.8
18	26	2.2
24	34	2.8
30	42	3.5



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Tighe & Bond 31 Lafayette Road Portsmouth, NH 03801
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PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

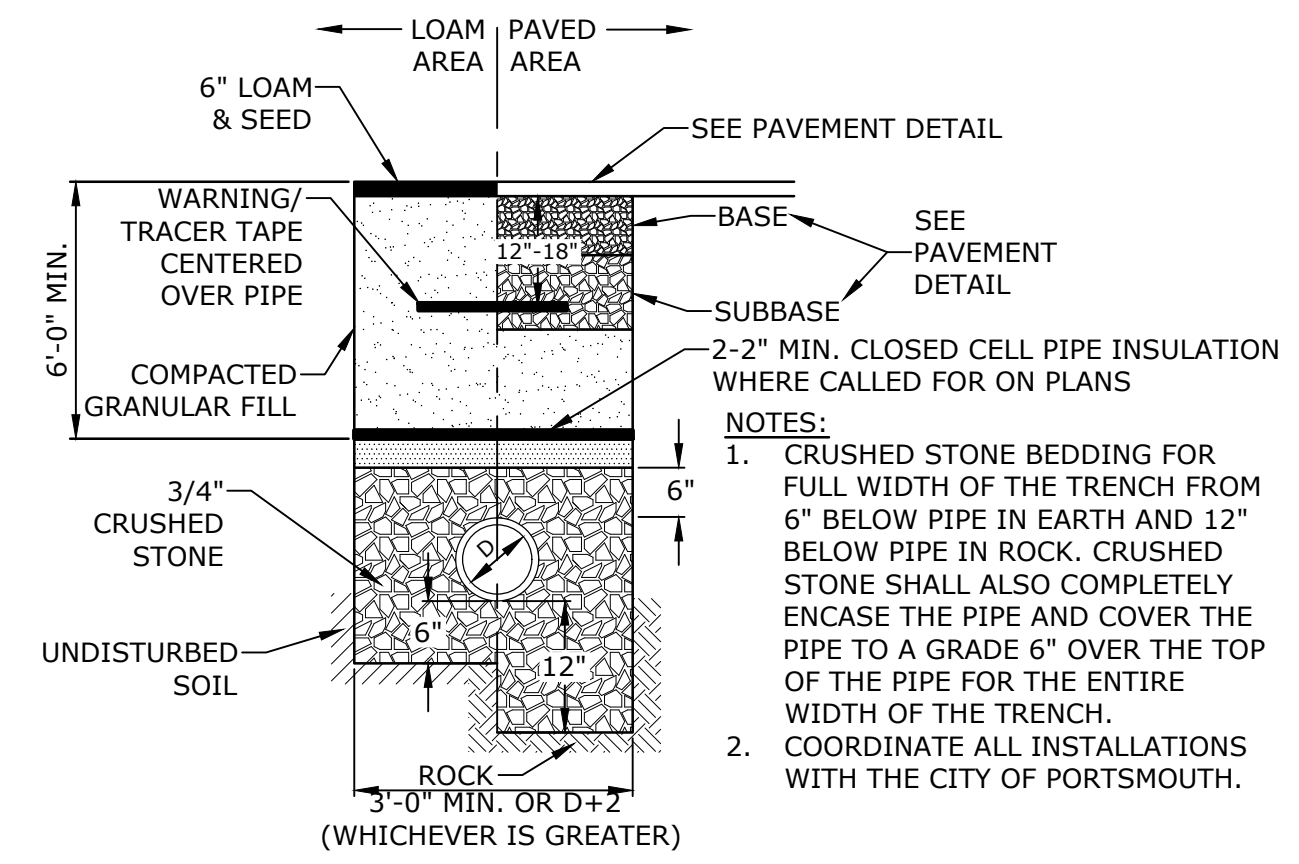
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DRAWN BY:	NHW/CJK	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

DETAILS

SCALE: AS SHOWN

C-505



SEWER SERVICE TRENCH
NO SCALE

JELLYFISH DESIGN NOTES

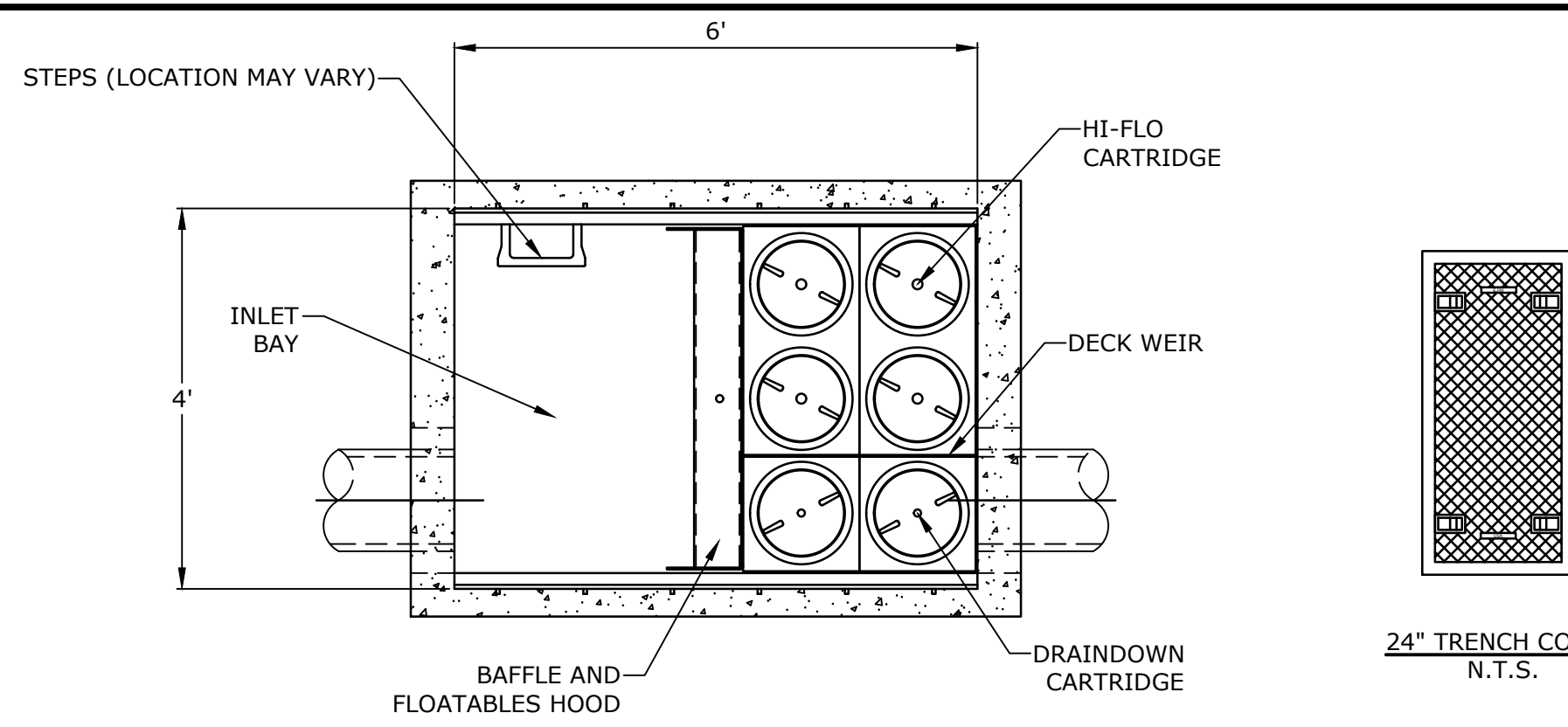
JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD SURFACE INLET STYLE WITH TRENCH GRATE AND COVER IS SHOWN. ALTERNATE CURB INLET OR PIPE INLET OPTIONS ARE AVAILABLE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

CARTRIDGE SELECTION	54"	40"	27"	15"
CARTRIDGE LENGTH	54"	40"	27"	15"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-6"	5'-4"	4'-3"	3'-3"
FLOW RATE HIGH-FLO / DRAINDOWN (CFS) (PER CART)	0.178 / 0.089	0.133 / 0.067	0.089 / 0.045	0.049 / 0.025
MAX TREATMENT (CFS)	0.89	0.67	0.45	0.25
OUTLET INVERT TO RIM (MIN) (B)	3'-4"	3'-4"	3'-4"	3'-4"

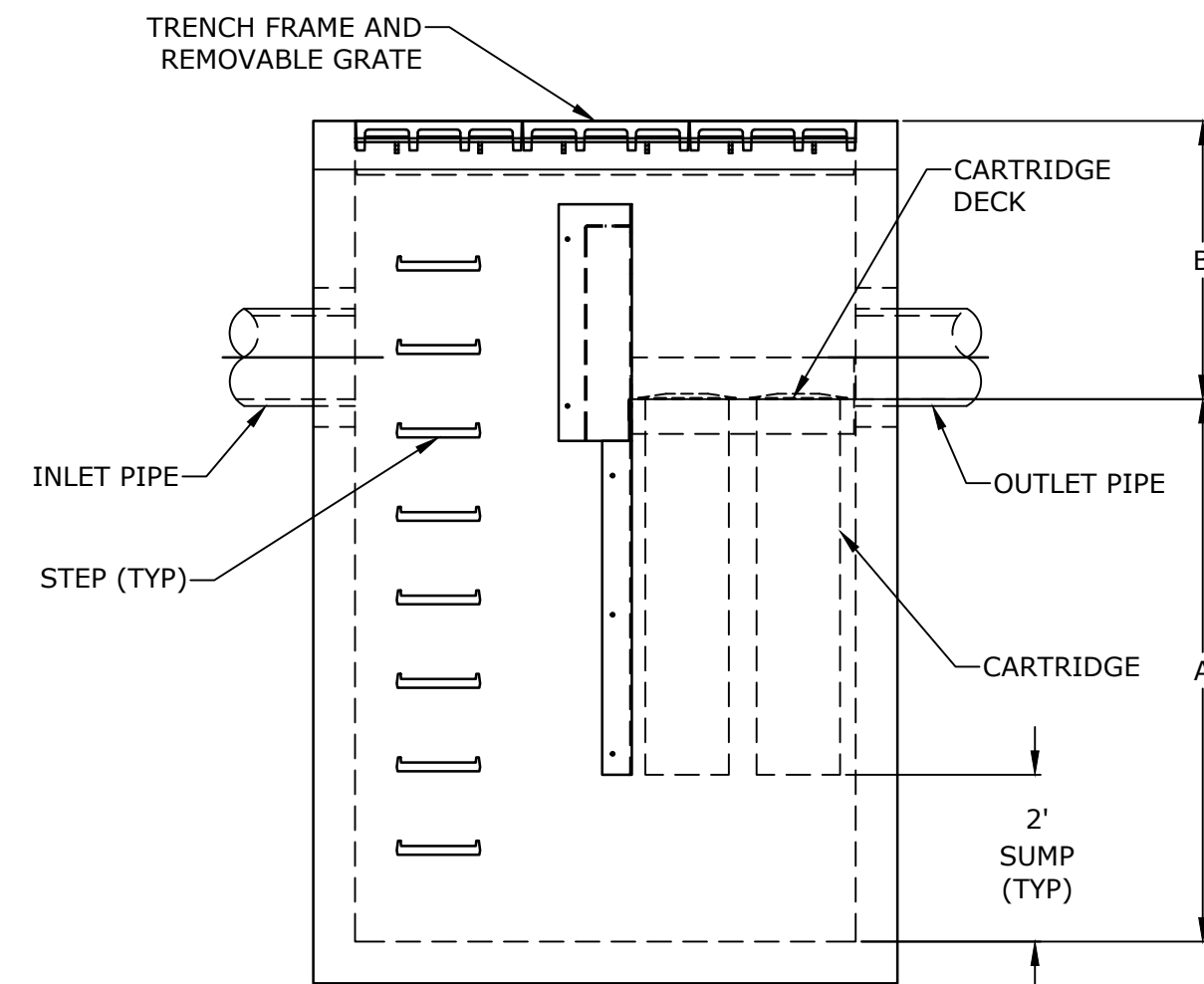
STRUCTURE ID	01
WATER QUALITY FLOW RATE (cfs)	0.44
PEAK FLOW RATE (cfs)	3.57
RETURN PERIOD OF PEAK FLOW (yrs)	25
# OF CARTRIDGES REQUIRED (HF / DD)	2-1
CARTRIDGE LENGTH	54"

- GENERAL NOTES:**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.ContechES.com
 - JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 7' AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
 - STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-918, AND AASHTO LOAD FACTOR DESIGN METHOD.
 - OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
 - THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS RECOMMENDED TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE (WHERE APPLICABLE) AT EQUAL OR GREATER SLOPE.
 - NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

- INSTALLATION NOTES:**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE.
 - CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
 - CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION.

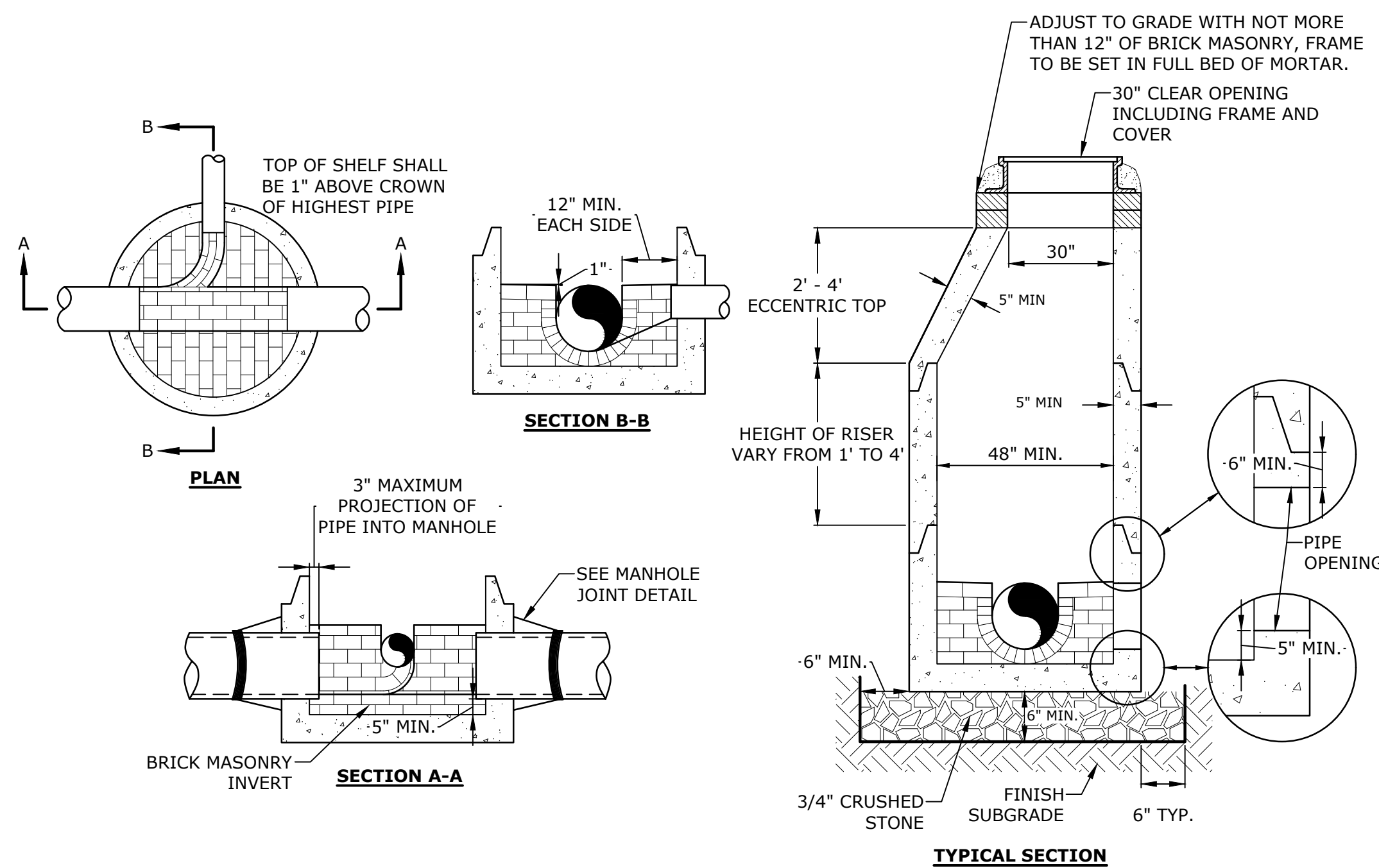


PLAN VIEW
(TOP SLAB SHOW FOR CLARITY)



ELEVATION VIEW

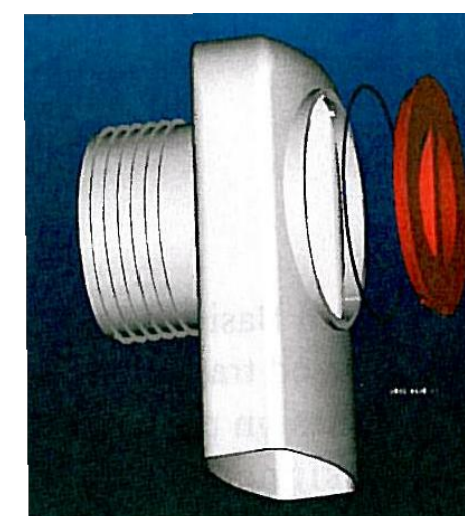
JF0406 DETAIL
NO SCALE



TYPICAL SECTION

- NOTES:**
- INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
 - CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
 - INVERT BRICKS SHALL BE LAID ON EDGE.
 - TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
 - FRAMES AND COVERS:** MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
 - BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.

SEWER MANHOLE
NO SCALE



"ELIMINATOR" OIL FLOATING DEBRIS TRAP
NO SCALE

- NOTES:**
- ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL).
 - INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
 - 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP



SOUTH ELEVATION
SCALE: 1" = 10'-0"



WEST ELEVATION
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"



EAST ELEVATION
SCALE: 1" = 10'-0"



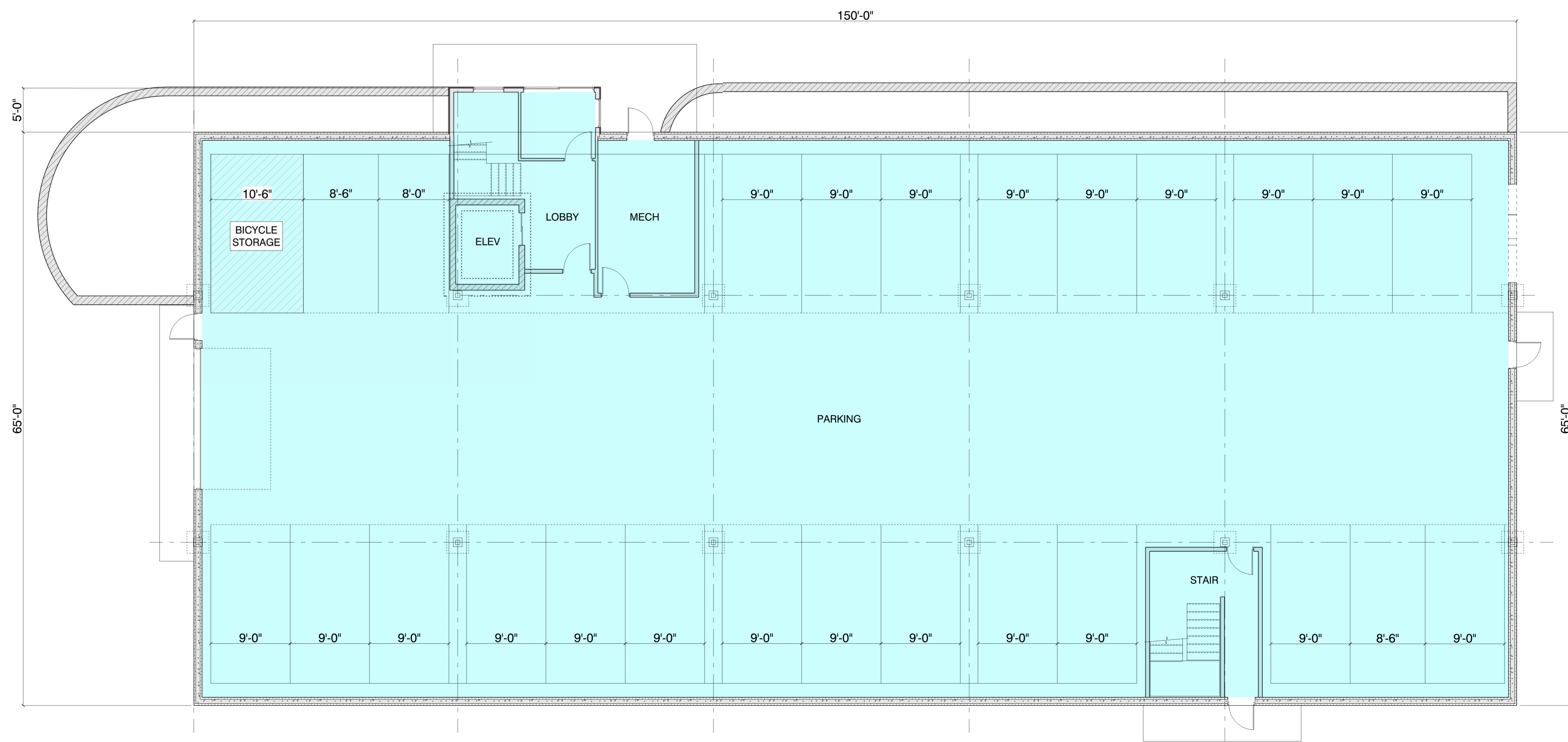
PROPOSED APARTMENT BUILDING - 815 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

BOA SUBMISSION

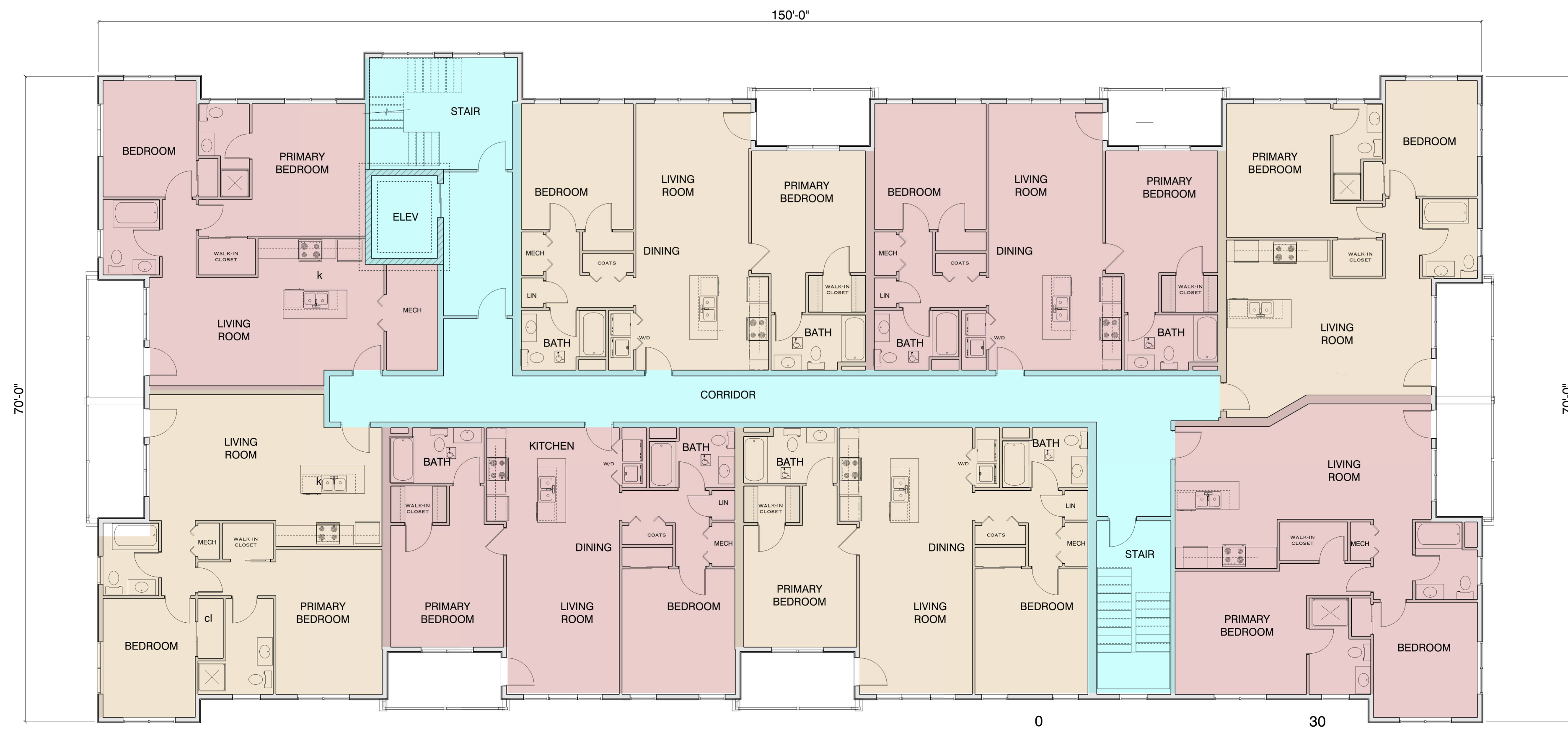
8/29/2023

mjk MICHAEL J. KEANE
ARCHITECTS, PLLC

101 KENT PLACE NEWMARKET, NH 03857 603.292.1400



GARAGE LEVEL PLAN
SCALE: 1/8" = 1'-0"



TYPICAL FLOOR PLAN 2-4
SCALE: 1/8" = 1'-0"

PROPOSED APARTMENT BUILDING - 815 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

BOA SUBMISSION

8/29/2023

mjk MICHAEL J. KEANE
ARCHITECTS, PLLC

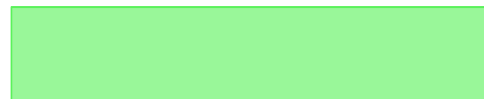
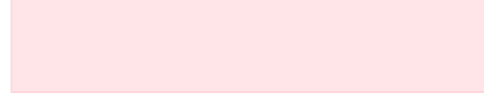


101 KENT PLACE NEWMARKET, NH 03857 603.292.1400

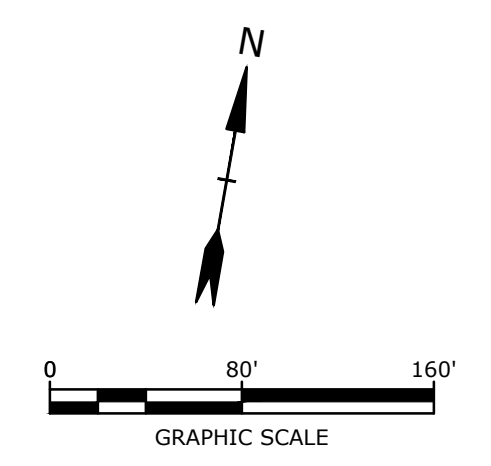
2

PROPOSED MULTI-FAMILY DEVELOPMENT
815 LAFAYETTE RD
PORTSMOUTH, NEW HAMPSHIRE

COMMUNITY SPACE EXHIBIT



PROPOSED COMMUNITY SPACE:		REQUIRED	PROVIDED
	GREENWAY COMMUNITY SPACE		16,113 SF
	POCKET PARK COMMUNITY SPACE		2,523 SF
	PARK COMMUNITY SPACE		349,164 SF
	TOTAL DEVELOPMENT LOT	85,556 SF (10%)	855,562 SF
TOTAL COMMUNITY SPACE AREA		85,556 SF	367,800 SF



Last Save Date: September 5, 2023 9:38 AM By: CKRZCUIK
 Plot Date: Tuesday, September 05, 2023 Plotted By: Colter Kzcuik
 TSS File Location: J:\M5131-MB2-Development-LLC\001 815 Lafayette Road\Drawings\AutoCAD\M5131-001-DSGN.dwg Layout Tab: COMM

Owner/Agent Letter of Authorization

This letter is to authorize Tighe & Bond, Inc. (Civil Engineer), to represent and submit on behalf of Prospect North 815, LLC (Owner/Applicant), applications and materials in all site design and permitting matters for the proposed development project located at 815 Lafayette Road in Portsmouth, New Hampshire on parcel of land identified as Map 245 Lot 3. This project includes the construction of multifamily buildings, an office building, and associated on-site improvements. This authorization shall relate to those activities that are required for local, state and federal permitting for the above project and include any required signatures for those applications.



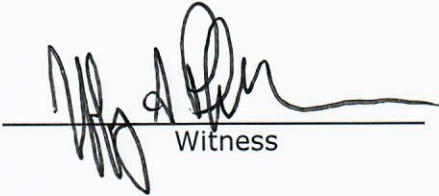
Signature

Michael Brown

Print Name

6-1-23

Date



Witness

Jeffrey A. Philbrick

Print Name

6/1/23

Date



200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

5 September, 2023

Peter Stith, TAC Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

**RE: Request for TAC Workshop Review at 581 Lafayette Road
Tax Map 229 Lot 8B**

Dear Mr. Stith and TAC Members:

On behalf of Atlas Common, LLC (Owner) we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **September 12, 2023**, Technical Advisory Committee Meeting. The project consists of the addition of residential units (including 20% Workforce) at 581 Lafayette Road with two new building additions with the associated and required site improvements. The site is currently developed with two restaurants. The re-development will include creating additional parking below first floor building level.

The project is located at 581 Lafayette Road and is a proposed addition to an existing building. The building was renovated when the site was changed from a Cinema to the Tuscan Restaurant – Tuscan Marketplace in 2016. The site is at the corner of Lafayette Road and Ledgewood Drive, and is known as Tax Map 229, Lot 8B. The lot is a 98,124 square foot parcel with frontage on both streets. The existing conditions plan shows the current site features. The Tuscan Market moved to downtown Portsmouth, and that portion of the site was re-purposed to a restaurant with golf simulators, known as Tour. The Tuscan Marketplace closed, but recently the Tuscan Marketplace was converted to another restaurant with some outside seating.

The property is located in the Gateway Neighborhood Mixed-Use District - G1. The purpose of the district is to support the goals of the cities Master Plan and Housing Policy. The aim of the policy is to encourage walkable, mixed-use development, and continued economic vitality in the cities primary gateway areas. The district seeks to ensure that new developments complement and enhance the surroundings and provide housing stock that is suitable for changing demographics, and accommodate the housing needs of the city's current and future workforce. This plan works towards that standard by adding to the existing structure and creating 72 new dwelling units. The proposed uses; being restaurant use and dwelling units (multi-family residential) are both allowed uses in the district.

The project proposes additions that are set back 33 feet from Ledgewood Drive, 47 feet from Lafayette Road, 24 feet from the southerly abutting property line, and 39 feet from the easterly abutting property line. The proposed building additions maintain the ability for the free flow of traffic around the proposed additions, as required by deed restrictions and easements on the property. First floor parking spaces are accessed from driveways to the parking areas at first floor level, as shown on the site plan. Underground parking is accessed from a driveway ramp on the north side of the proposed structure off Ledgewood Drive. The total parking provided is within 28 spaces of meeting the ordinance requirements of the city of Portsmouth, however in this particular case this property has deeded agreements with the abutting properties along Lafayette Road, wherein shared is a deeded right among the properties. Therefore, in this case the parking provided meets the ordinance.

The submitted site plan shows the impervious surface calculations for the proposed development. When the site was redeveloped to the Tuscan Marketplace, the impervious surface coverage (increase) was allowed under a Variance, up to coverage which maintained 16.5% open space. The submitted site plan proposes coverage of 82%, leaving an open space of 18%, which is less than 20%, but more than the allowable as granted by the ZBA decision of 2015. The building height is intended to comply with section 10.5 B 22.10 as allowed under the section. Regarding the special setback requirements on Lafayette Road, the project is in a location where there is a significant open space in front of the subject parcel. This open space was created when the Lafayette Road, Route 1 Bypass intersection was restructured around 2011. That relocation of the intersection created this large open space area in front of the lot, which in effect meets this special set back requirements inherent in the section regarding properties on Lafayette Road.

The presence of the parking in front of the building is as it has been for many years, when this property was used as a cinema, and additionally when it was repurposed to Tuscan Marketplace. A variance for front of building parking was granted. The proposal has gone to the Portsmouth Planning Board for Conceptual Review. During the review it was noted that some of the parking spaces in front of the building are partially located off the lot in the state highway right of way. Those spaces existed when the work was done to relocate the intersection, and they existed when the property was redeveloped into the Tuscan Marketplace and allowed to stay.

The existing drainage consists of some roof drain connections as well as some parking lot connections to the drainage network, which flow off-site. The property drainage is divided into two watersheds, one that flows to the south along the front of the adjacent mall and the other flows to the south along the back of the adjacent mall. The intent of this design is to maintain those flow directions and re-purpose the drainage in accordance with the proposed site addition roof drains that will replace some catch basins to direct the water in this manner.

It is our understanding that this development would most likely fall under Section 10.05 B 42.20, Mixed-Use Development, and the development standards of that section. The process for development in the Gateway Neighborhood Mixed-Use District requires application to the Planning Board for a Conditional Use Permit where development deviates from the strict standards, and proof that the development proposed meets, and is consistent with, the Portsmouth Master Plan. In the density section of the ordinance this development would be allowed up to 24 units per structure. This project proposes a Conditional Use Permit for a

density bonus as allowed in section 10.5 B 72 for two buildings with 36 units in each building. This increased housing density is allowed with an incentive. In order to be eligible for the bonus incentive the development shall include workforce housing. The intent of this development is to provide 20% of the dwelling units, or 15 units, as workforce units, as defined by the Portsmouth Ordinance In addition to the workforce housing units, the developer plans to provide for two community rooms within the structures, providing community space for the development. We believe that under section 10.5 B 74.30 the Planning Board is authorized to grant modifications to the standards of the section since, and as a result of, the developer providing workforce housing. We believe that the modifications to the strict ordinance interpretations are consistent with the purpose and intent set forth in the Gateway Neighborhood Mixed-Use District section. We therefore request that review of this project at the Technical Advisory Committee level proceed not only to look at the technical aspects of the proposal, but to review our proposed development and provide feedback regarding compliance with the intent of the ordinance.

The development plan is summarized as follows and as shown on the Proposed Site Plans:

- Sheet C1 – Existing Conditions Plan: The plan shows current site conditions.
- Sheet C2 – Demolition Plan: The plan shows required site demolition.
- Sheet C3 –Site Plan: This sheet shows the location of the proposed building additions, outdoor seating area, and associated site improvements.
- Sheet C4 – Parking Plan: The plan shows the underground parking.
- Sheet C5 – Utility Plan: The plan shows proposed utility connections.
- Sheet C6 – Grading, Drainage, Erosion Control Plan: The plan shows the proposed drainage connections for the site.
- Renderings – Elevations – Floor Plans – these are the Architectural site designs.

We look forward to an in-person presentation at the September 12th meeting.

Sincerely,



John Chagnon, PE; Ambit Engineering – Haley Ward
Submitted Online

P:\NH\5010156-McNabb_Properties\1397.03-Lafayette Rd., Portsmouth-JRC\2023 Site Plan 1397.03\Applications\Portsmouth TAC Workshop\581 Lafayette TAC Worksop Application 2-7-23.doc



CITY OF PORTSMOUTH

Community Development Department
(603) 610-7232

Planning Department
(603) 610-7216

PLANNING DEPARTMENT

September 25, 2015

DiLorenzo Lafayette Ledgewood RE LLC
549 U.S. Hiway 1 By-Pass
Portsmouth, NH 03801

Re: Property at 581 Lafayette Road, Permit 15-1037
Assessor Plan 229, Lot 8B

Dear Applicant:

The Board of Adjustment at its reconvened meeting on September 22, 2015 completed its consideration of your application described as follows:

Application:

9) Case # 9-10

Petitioner: DiLorenzo Lafayette Ledgewood RE LLC

Property: 581 Lafayette Road

Assessor Plan 229, Lot 8B

Zoning District: Gateway

Description: Allow a restaurant and market with associated parking.

Requests: The Variances necessary to grant the required relief from the Zoning Ordinance, including the following:

1. A Special Exception under Section 10.440, Use #9.52 to allow a restaurant with 492 seats where 250 to 500 seats are allowed by Special Exception.
2. A Variance from 10.593.10 to allow a restaurant to be located 92.1' from a residential district where 200' is required.
3. A Variance from 10.531 to allow 16.5% open space where 11% exists and 20% is required.
4. A Variance from Section 10.1112.50 to allow 154 off-street parking spaces where 184 exist and 132 are the maximum allowed.
5. A Variance from Section 10.1113.20 to allow parking in the front yard or between a building and a street for 34 spaces where 38 exist and 0 spaces are permitted.

6. A Variance from 10.1113.10 to allow 28 existing and 30 proposed off-street parking spaces to be partially located on a lot separate from that of the principal use.
7. A Variance from Section 10.1114.21 to allow 10 off-street parking spaces to be 17.5' in length where 19' is required.
8. A Variance from 10.1124.20 to allow off-street loading or maneuvering areas to be 87.7' from an adjoining Residential or Mixed Residential District where 100' is required.

Action:

The Board voted to **grant** the petition as presented and advertised.

Stipulations:

None.

Review Criteria:

The Special Exception was granted for the following reasons:

- The standards as provided by the Ordinance for this particular use permitted by Special Exception are met.
- There will be no hazard to the public or adjacent property from fire explosion or release of toxic materials from the proposed uses.
- There will be no detriment to property values in the vicinity or change in the essential characteristics of the area on account of the location or scale of buildings, odors, smoke, or other pollutants or irritants, or unsightly outdoor storage of equipment, vehicles or other materials. This is primarily a business district with the property containing essentially the same characteristics as it has had in the past. The scale of buildings will not change appreciably and there is nothing in the proposed uses to generate noxious odors, smoke or pollutants.
- There will be no creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity. Concerns with traffic congestion and the general traffic flow will be addressed by the Technical Advisory Committee and the Planning Board.
- There will be no excessive demand on municipal services. There is nothing in the restaurant use that would create an unusual demand.
- There will be no significant increase in storm water runoff onto adjacent property or streets. There are existing buildings on the property and it is proposed to add additional green space which will help to mitigate any runoff.

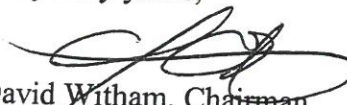
The Variances were granted for the following reasons:

- Granting the variances will not be contrary to the public interest. The restaurant will be located in what has been a commercial corridor so that the essential characteristics of the neighborhood will not be altered and no threat will be presented to the public health, safety or welfare. Any traffic generated will tend to be variable throughout the day and week and not create an undue burden. Any impact on traffic will be further addressed by the Technical Advisory Committee and the Planning Board.
- The spirit of the Ordinance will be observed. The retail and restaurant use will be more compatible in its proximity to a residential area than many uses with similar setbacks. Only minor relief is required with the proposed setback for the off-street loading and maneuvering area. The proposed parking is part of a larger shopping complex with interchanging use of the parking areas from different entities. The spirit of the Ordinance is also served as the proposal will move closer to what is required for open space.
- Substantial justice will be done by allowing the property owner to make full and practical use of what has been a deteriorated property which will also benefit the general public.
- The value of surrounding properties will not be diminished as there will not be a major change in use in terms of activity related to the conduct of business.
- The hardship with particular reference to the parking variances includes the existing structure and existing parking layout that the property owners must adapt to their needs. With specific regard to the distances from a residential area, there have been long standing business uses on the property and a hardship would be created in imposing the current Ordinance requirements. The applicant's request is a reasonable one.

Prior to the issuance of a building permit, the Building Inspector will need to review and approve construction drawings/sketches. Contact the Inspector at 603-610-7243 between the hours of 8:00 and 10:00 a.m. Applicants should note that approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Very truly yours,


David Witham, Chairman
Board of Adjustment

mek
c: Robert Marsilia, Chief Building Inspector
Roseann Maurice-Lentz, City Assessor
R. Timothy Phoenix, Esq.
John Chagnon



LCHIP	ROA646155	25.00
RECORDING		22.00
SURCHARGE		2.00

WARRANTY DEED

JOHN GALT, LLC, a New Hampshire limited liability company with a mailing address of 3 Pleasant Street, Suite 400, Portsmouth, New Hampshire 03801 ("Grantor") for consideration paid grants to **ATLAS COMMONS, LLC**, a New Hampshire limited liability company with a mailing address of 3 Pleasant Street, Suite 400, Portsmouth, New Hampshire 03801 ("Grantee") **WITH WARRANTY COVENANTS**

THE FOLLOWING DESCRIBED PREMISES:

1. A certain tract or parcel of land, together with any buildings or improvements thereon, situate in Portsmouth, County of Rockingham and State of New Hampshire, bounded and described as follows:

Beginning at a point in the Easterly sideline of Lafayette Road at the Northwesterly corner of the parcel herein described and at land of the City of Portsmouth; thence running North 81°43 East by City of Portsmouth land, two hundred eighty-one and seven tenths (281.7) feet to a corner at land of Ledgewood Manor Associates; thence turning and running South 5°56' West two hundred forty-six and thirty-one hundredths (246.31) feet, South 15°05'30" West fourteen and twenty-one hundredths (14.21) feet, South 07°12' West seventy-two and no hundredths (72.00) feet, South 48°45' East thirty-three and thirty-two hundredths (33.32) feet and South 39°04' East seventy-five and seven hundredths (75.07) feet, all by land of Ledgewood Manor Associates to a corner of land now or formerly of William N. Genimatas; thence turning and running North 84°04' West three hundred thirty and forty hundredths (330.40) feet by land of said Genimatas to Lafayette Road; thence turning and running North 05°56' East two hundred thirty-nine and thirty-nine hundredths (239.39) feet and North 05°31' West ninety-six and two tenths (96.2) feet by said Lafayette Road to the point of beginning. Containing 2.25 acres, more or less.

2. Together with the perpetual right to use in common with DLR, Inc., and William N. Genimatas, their heirs, devisees, successors and assigns, the Lafayette Road entrance-exit way as developed by DLR, Inc., (formerly MDL, Inc.) near the southwest corner of the land retained by Genimatas, together with the perpetual right hereby granted to grantees,

their heirs, devisees and assigns, to use in common with said DLR, Inc., and Genimatas, their heirs, devisees, successors and assigns, the other Lafayette Road entrance-exit ways on the DLR, Inc. and the Bowl-O-Rama lots adjoining the premises hereby conveyed.

3. Subject to, and with the benefit of mutual parking rights in common with said DLR, Inc., and said Genimatas respecting this lot and the adjoining Bowl-O-Rama and DLR, Inc., lots, namely and respectively, that said DLR, Inc., Genimatas and Robbins shall have free parking as may be necessarily available on any of these three parcels of land, and such parking rights for each of them in each other's adjacent land shall be mutually interchangeable, for said Genimatas, DLR, Inc., and said Robbins, their respective heirs, devisees, successors and assigns, such mutual parking rights and benefits to extend to any other persons or corporations and any other lands and premises, which said Genimatas, said Robbins, MGR Realty and/or MGR Realty, Inc., may have heretofore conveyed and reserved such rights, benefits or privileges. The foregoing parking rights shall not limit or restricts the rights of the owners of the said lots to construct buildings or additions to same, upon the said lots, provided no unreasonable imposition of owner's parking is caused the abutters by such buildings or additions thereto.
4. Also being conveyed with the benefit of, a certain right of way in common with others, including Petzold, et al, and Ledgewood Manor Associates on the Southerly part of the DLR, Inc., Lot #3, second lot south of this lot, said right of way being also subject to a restriction against the erection of a barrier, fence or other obstruction on either side of said right of way as it runs to Lafayette Road, all as per agreement acknowledged on July 23, 1973, recorded in Rockingham Registry of Deeds, Book 2209, Page 1400.
5. The foregoing premises are further conveyed subject to, and with the benefit of, a perpetual easement for a roadway thirty (30) feet in width extending from Lafayette Road on the South, adjacent to land of Petzold, running thence along the southerly and easterly boundary of the DLR (former Tower Restaurant) Lot of 1.92 acres, the easterly boundary of the Genimatas (Bowl-O-Rama) Lot of 2.82 acres, and the easterly boundary of the Robbins (Jerry Lewis Cinema) Lot of 2.25 acres, as shown on plan of "Subdivision of Land, Portsmouth, N.H., for Genimatas and Robbins" dated November 1978, Revised June 7, 1979 which roadway easement is reserved for use in common of, and the benefit in common of, William N. Genimatas, Henry J. Robbins, Joan M. Robbins, and DLR, Inc., and their respective heirs, devisees, successors and assigns. Owners of Lots #1, 2, and 3 in said Subdivision agree that they will equally contribute to development and maintenance of such thirty (30) foot right-of-right as a passable gravel way, excluding winter maintenance such as snow plowing and clearing way of snow, ice, slush or water.
6. The premises hereby conveyed (the "Premises") shall be SUBJECT TO the restriction (this "Use Restriction") that the business of a movie theater shall not be conducted or maintained upon the Premises or any portion thereof for a period of twenty (20) years from October 10, 2007, the date of the recording of the deed from Canavan Properties, LLC, to MANI Properties, LLC recorded in the Rockingham County Registry of Deeds at Book 4851, Page 526 (the "Restriction Term"). By the acceptance of this Deed, the within grantee agrees to be bound by this Use Restriction. This Use Restriction shall run with the land and be binding upon the within grantee, the within grantee's successor and

assigns, and the Premises and every part thereof for the duration of the Restriction Term; and in each and every Deed to the Premises or any portion thereof given during the Restriction Term, the then grantor shall undertake to insert a clause referring to this Use Restriction. This Use Restriction is for the benefit of Hoyts Cinemas Corporation, a Delaware Corporation, and its subsidiaries, and their respective successors and assigns (collectively, "Hoyts"), and Hoyts, as a former tenant of the Premises and for consideration paid to the within grantor, shall have the right to enforce this Use Restriction.

7. A portion of the above premises, more particularly bounded and described as set forth below, is subject to a perpetual easement for the installation and maintenance of utility lines:

A certain tract or parcel of land situate on the Easterly side of Lafayette Road, Portsmouth, Rockingham County, New Hampshire, described as follows:

Beginning at a point in the Easterly sideline of Lafayette Road at the Northwest corner of the parcel herein described and the Southwest corner of land of the City of Portsmouth; thence running North $81^{\circ}43'$ East two hundred eighty-one and seven tenths (281.7) feet to an iron pipe at land now or formerly of Ledgewood Manor Associates; thence turning and running South $05^{\circ}56'$ West by said Ledgewood Manor Associates land ten and thirty-two hundredths (10.32) feet to a corner at other land now or formerly of MGR Realty; thence turning and running South $81^{\circ}43'$ West sixty-seven and fifty-six hundredths (67.56) feet; South $59^{\circ}00'$ West ten and eighty-eight hundredths (10.88) feet and South $66^{\circ}12'$ West one hundred seventy-eight and ten hundredths (178.10) feet to a point; thence continuing on the arc of a curve to the left having a radius of 50 feet an arc distance of fifty-two and fifty-nine hundredths (52.59) feet to a point in the easterly sideline of Lafayette Road, said previous four courses being along land now or formerly of MGR Realty; thence turning and running North $05^{\circ}56'$ East one and sixty-nine hundredths (1.69) feet and North $05^{\circ}31'$ West ninety-six and two tenths (96.2) feet by the Easterly sideline of Lafayette Road to the point of beginning.

The said easement rights are preserved and more fully described in a certain Partial Termination of Easement granted by RPL Properties, LLC to DiLorenzo Lafayette Ledgewood Real Estate, LLC, dated November 3, 2015 and recorded in the Rockingham County Registry of Deeds as of the date hereof, and as set forth therein consist of the rights of RPL Properties, LLC, its successors and assigns ("RPL") to install, lay, maintain, replace and repair and use utility lines of all types including, without limitation, water mains, gas mains, electric wires (above and below grade) and telephone lines (above and below grade), storm and sanitary sewer drains and catch basins, together with all facilities related to the use, operations and maintenance of such utility lines, and the right to pass and re-pass over said premises for the foregoing purposes. Any such work performed by RPL shall be undertaken so as to minimize disruption, disturbance or damage to the premises herein conveyed, and once commenced, such work shall be diligently

pursued to completion. Any damage or disturbance to the premises herein conveyed shall be repaired or restored in a prompt and workmanlike manner as nearly as practicable to the condition that existed immediately prior to such damage or destruction.

Meaning and intending to convey Lot #1, as shown on plan entitled "Subdivision of Land, Portsmouth, N.H., for Genimatas and Robbins" dated November 1978, Revised June 7, 1979, being Durgin Plan #5558, File #689, drawn by John W. Durgin Civil Engineers, which Plan is recorded in the Rockingham County Registry of Deeds as Plan D-8806. See also Warranty Deed of DiLorenzo Lafayette Ledgewood Real Estate, LLC to Grantor dated November 9, 2015 and recorded in the Rockingham County Registry of Deeds at Book 5669, Page 667.

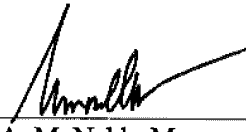
Meaning and intending to describe and convey the same premises conveyed to the Grantor by deed of OMJ Realty dated October 20, 2022 and recorded in the Rockingham County Registry of Deeds at Book 6448, Page 1309 on October 25, 2022.

Transfer Tax: This transfer is exempt from transfer tax pursuant to RSA 78-B:2, XXII.

Homestead: This is not homestead property.

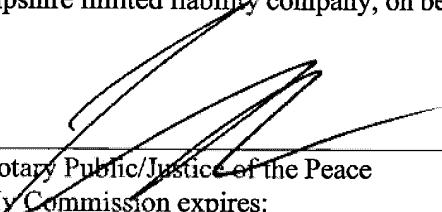
March 30, 2023

John Galt, LLC

By: 
Mark A. McNabb, Manager

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

The foregoing instrument was acknowledged before me this 30 day of March, 2023 by Mark A. McNabb, Manager of John Galt, LLC a New Hampshire limited liability company, on behalf of the company.


Notary Public/Justice of the Peace
My Commission expires:



Water Quality Units



Water Quality Units

Standards for storm water quality will vary by location and land use. The most targeted sources of runoff pollution are paved areas in urban and industrial sites. These are generally areas with high traffic loads, such as parking lots and gas stations, that generate significant concentrations of contaminant particles and hydrocarbons.

Because of land constraints, ADS underground Water Quality Units have become an increasingly efficient solution for treating storm water. These durable, lightweight structures have been specifically designed for fast installation and easy maintenance.

Benefits

- Independent testing shows the following:
 - 80% TSS removal
 - 80% oil and grease removal
 - 74% heavy metals removal
 - Greater than 40% TP removal
- Removes floatable debris, such as oils and greases
- Available in 36"-60" (900-1500 mm) diameters
- Lightweight High-Density Polyethylene (HDPE) unit installs easily with a minimum of manpower. Heavy cranes are not necessary to install the unit
- Each unit is fitted with access risers for easy inspection and maintenance of the sediment and oil chambers
- The unit is inexpensive because the design is simple and there are no moving parts
- The bypass system prevents re-suspension of captured solids by diverting water flows greater than the first flush
- HDPE resists abrasion and chemicals found in storm water and in the surrounding soil

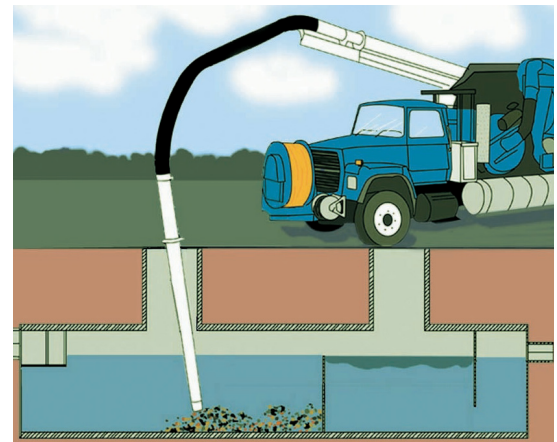
Design and Installation

Available in 36"-60" (900-1500 mm) diameters, ADS Water Quality Units (WQU) are modified sections of N-12[®] pipe with weir plates at specific locations and heights to remove high percentages of sediment and oils from the first flush of a storm event. They can be installed at any point in the sub-surface drainage system and are ideally suited to treat "hot spots" in existing storm water lines.

The unit is designed using the fundamental principles of Stoke's Law and a standard orifice outlet control. The settling velocity of a particle is calculated based on the smallest particle to be removed. Standard units offer a choice of 140 or 200 sieve size removal (106 and 75 μm) particle sizes, respectively.

The outlet orifice is sized to release a typical first flush discharge and to redirect any excess flow to a bypass piping system installed with the unit.

Water Quality Units are designed and manufactured to meet ASTM F27737 - Standard Specification for Corrugated HDPE Water Quality Units.



Installation of WQUs follows the same accepted practices as for the installation of large diameter flexible pipe. Specific installation instructions, along with details on specifying the proper size of a WQU, are available in Technical Note 1.03 and Installation Guide 2.01. You can also find more information on the ADS website adspipe.com.

The heart of the treatment train

For many drainage sites, the Water Quality Unit by itself can provide the required degree of pollutant removal. However, certain sites with higher concentrations of hydrocarbons or sediment runoff will need further treatment upstream and/or downstream of the unit. This multi-tiered approach to storm water quality is known as the *treatment train*.

Upstream measures include sediment prevention (vegetated swales, etc.) and inlet protection devices such as screens, filters and silt fences. These techniques are designed to prevent a large percentage of pollutants from ever entering the storm drain system. For impervious surfaces such as paved parking areas, catch basin insert filters are most commonly used for early stage treatment.

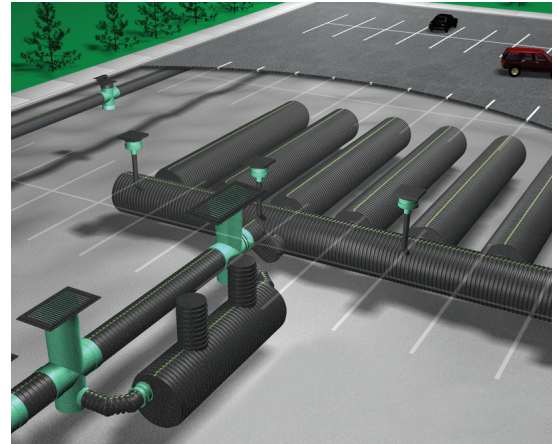
Retention/Detention

Treatment downstream from the WQU generally involves some form of retention or detention system. Retention allows accumulated storm water to gradually percolate into the surrounding soil, while detention meters the water through an outlet to a ditch, stream or other receiving area.

Inlet designs to such underground storage vessels can also enhance pollutant removal. The “eccentric header system” consists of a large diameter manifold pipe with an invert positioned lower than those of the smaller inlet pipes to the storage vessels. The large header pipe thus acts as a sump into which suspended particles may settle. Manholes and/or risers may be installed to facilitate inspection and cleaning.

Designers can choose between two methods of constructing the retention or detention system. The first is the use of ADS N-12 large diameter corrugated HDPE pipe, known for its economy and ease of installation. The second option is StormTech®, specially engineered to meet the demands of subsurface storm water management applications.

ADS supplies a complete line of pipe, fittings and fabricated manifolds, along with detailed sizing, design and installation instructions on our website at adspipe.com.



ADS Storm Water Quality Unit Specification

Scope

This specification describes 36- through 60-inch (900 to 1500 mm) storm Water Quality Unit for use in onsite point source storm water treatment applications.

Requirements

Water Quality Units shall have a smooth interior and annular exterior corrugations meeting the requirements of ASTM F2737.

The unit shall have at least three containment zones, each zone separated from the next by use of a weir or baffle plate.

Weir and baffle plates shall be welded at all interfaces between the plate and Water Quality Unit. First weir plate shall incorporate a saw tooth design and shall be reinforced with stiffeners positioned horizontally on the downstream side of the plate to be retained.

Water Quality units shall provide adequate clean-out and inspection areas.

Joint Performance

Connections for the bypass line and the unit shall utilize the same joint quality as specified for the main storm sewer pipe. Couplers for the bypass line may be either split couplers, in-line bell couplers, snap couplers, bell-bell couplers, or welded bell couplers.

Material Properties

Material for pipe and fittings used to produce Water Quality Units shall be high-density polyethylene conforming with the minimum requirements of cell classification 424420C for 4- through 10-inch (100 to 250 mm) diameters, and 435400C for 12- through 60-inch (300 to 1500 mm) diameters, as defined and described in the latest version of ASTM D3350. The pipe material shall be evaluated using the notched constant ligament-stress (NCLS) test as specified in Sections 9.5 and 5.1 of AASHTO M294 and ASTM F2306, respectively. All smooth baffle and weir plates shall be high density polyethylene.

Build America, Buy America (BABA)

ADS Storm Water Quality Unit, manufactured in accordance with AASHTO M294 or ASTM F2306, complies with the requirements in the Build America, Buy America (BABA) Act.

Installation

Installation shall be in accordance with the ADS recommended installation guidelines, utilizing a Class I (ASTM D2321) structural backfill material or flowable fill (CLSM - Controlled Low Strength Material). Contact your local ADS representative or visit adspipe.com for the latest installation guidelines.

Performance

Water Quality Units shall remove a minimum of 80% of the first flush total suspended solids (TSS) based on flow rates and corresponding sieve sizes shown in Table 1. Water Quality Units shall be installed "offline" to prevent re-suspension of solids in high flow situations. Offline installation shall be constructed utilizing an ADS bypass structure. Flow through the unit shall be controlled by an orifice fabricated on the outlet end of the structure.

COMMERCIAL DEVELOPMENT

581 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

OWNER:

ATLAS COMMONS, LLC
3 PLEASANT STREET
SUITE #400
PORTSMOUTH, NH 03801

LANDSCAPE ARCHITECT:

TERRA FIRMA LANDSCAPE
ARCHITECTURE
163A COURT STREET
PORTSMOUTH, NH 03801
TEL. (603) 430-8388

LAND SURVEYOR & CIVIL ENGINEER:

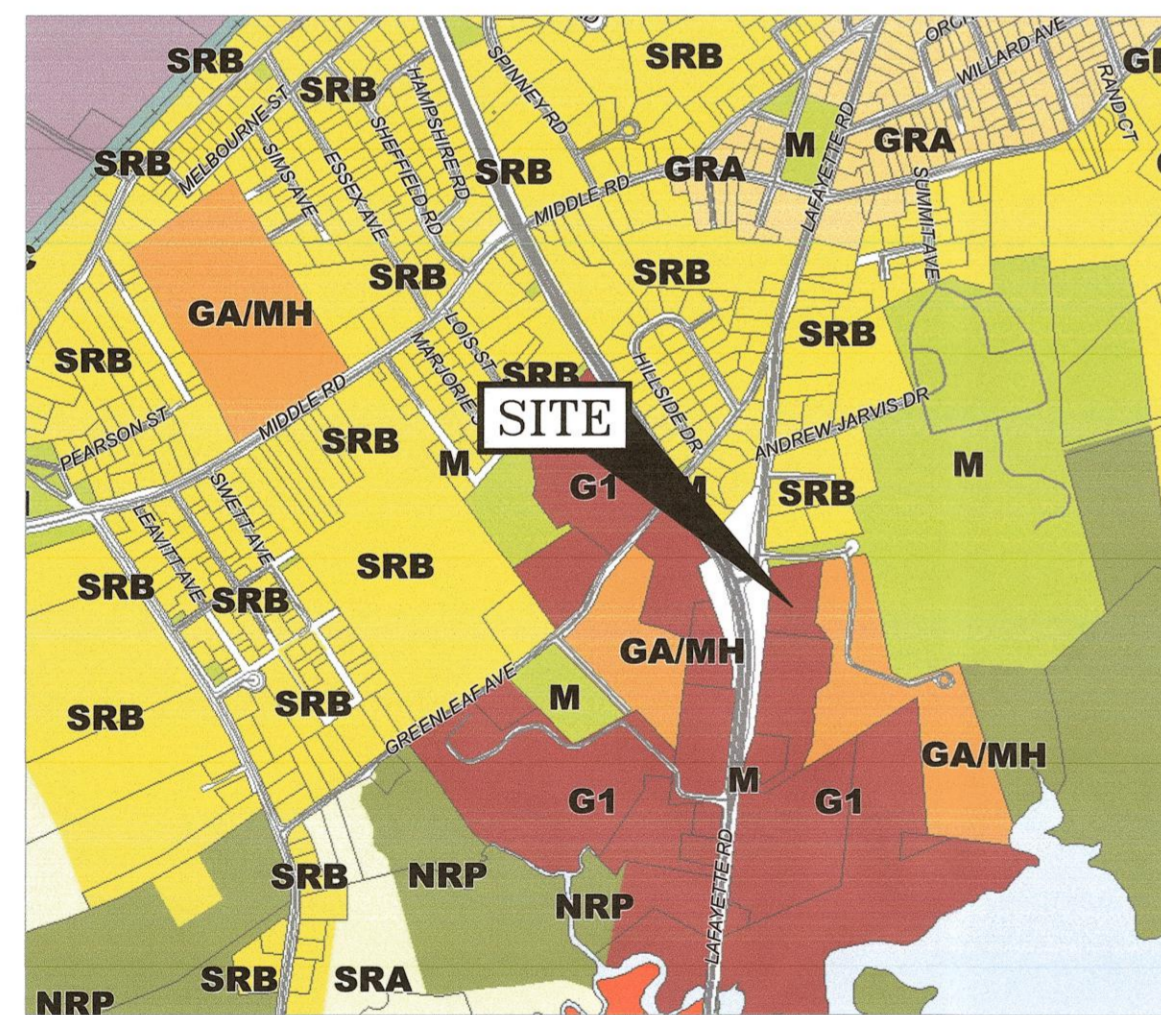
AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

ARCHITECT:

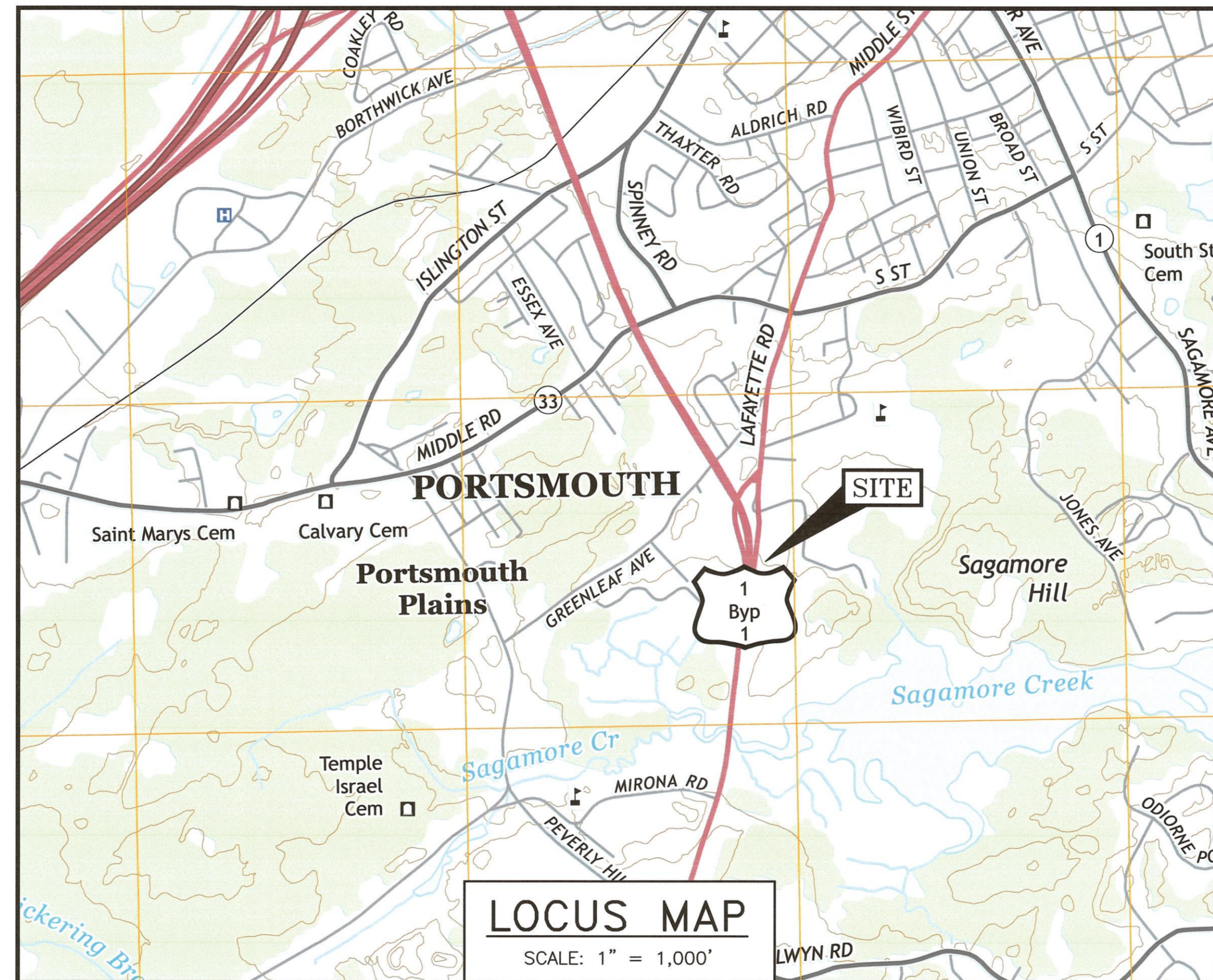
ARCOVE ARCHITECTS
3 CONGRESS STREET, SUITE 1
PORTSMOUTH, NH 03801
TEL. (603) 988-0042

PERMIT LIST:

NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED
PORTSMOUTH SITE PLAN APPROVAL: PENDING



Mixed Residential Districts
 MRO Mixed Residential Office
 MRB Mixed Residential Business
 G1 Gateway Corridor
 G2 Gateway Center



LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
○	○	UTILITY POLE
☀	☀	WALL MOUNTED EXTERIOR LIGHTS
☒	☒	TRANSFORMER ON CONCRETE PAD
⊕	⊕	ELECTRIC HANDHOLD
⊕	⊕	SHUT OFFS (WATER/GAS)
⊕	⊕	GATE VALVE
⊕	⊕	HYDRANT
⊕	⊕	CATCH BASIN
⊕	⊕	SEWER MANHOLE
⊕	⊕	DRAIN MANHOLE
⊕	⊕	TELEPHONE MANHOLE
⊕	⊕	PARKING SPACE COUNT
⊕	⊕	PARKING METER
LSA	LSA	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



INDEX OF SHEETS

DWG No.	Description
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	SITE PLAN
C4	PARKING PLAN
C5	UTILITY PLAN
C6	GRADING, DRAINAGE, EROSION CONTROL PLAN
-	RENDERINGS
-	ELEVATIONS
-	FLOOR PLANS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

**SITE PLANS
COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.**



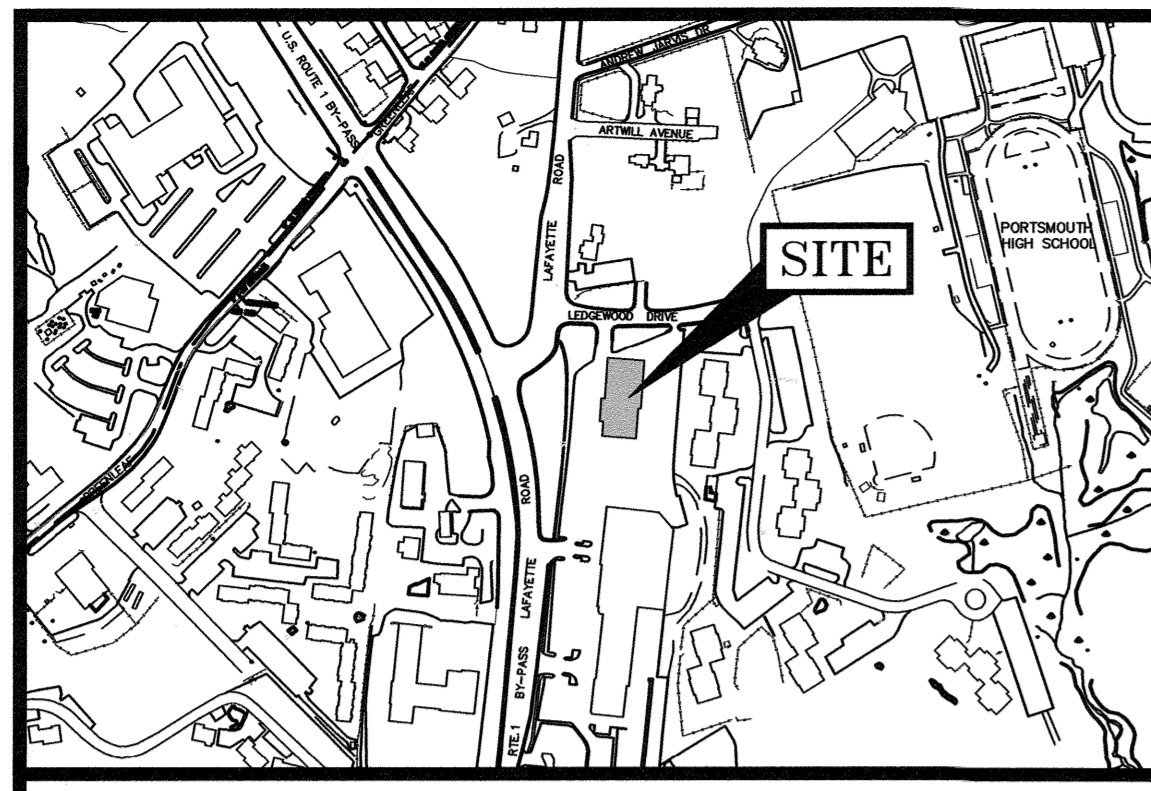
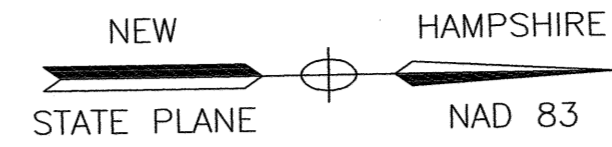
WWW.HALEYWARD.COM

200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

PLAN SET SUBMITTAL DATE: 5 SEPTEMBER 2023

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S15°17'27"W	14.20'
L2	S48°43'16"E	33.26'



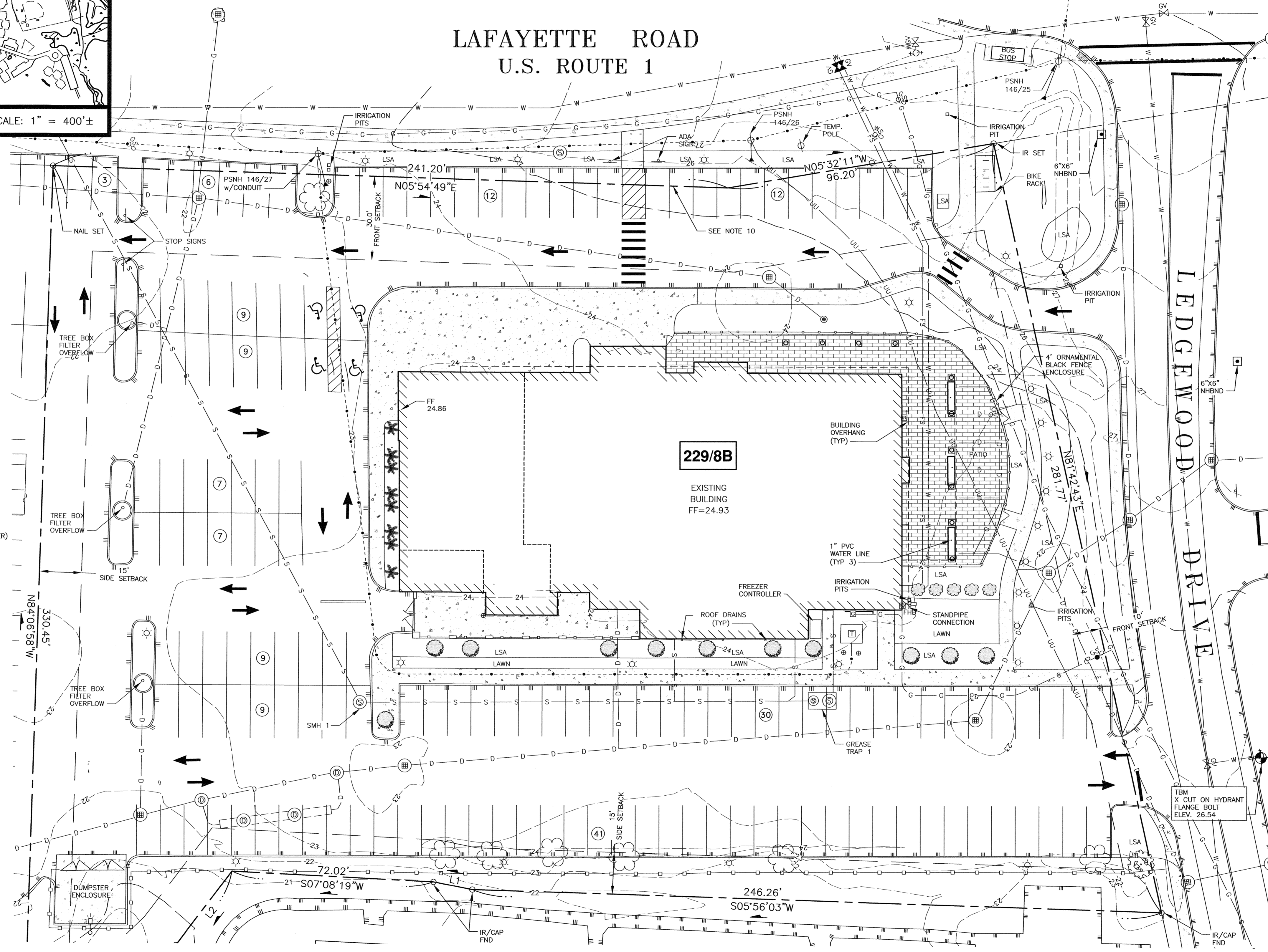
LOCATION MAP

SCALE: 1" = 400'±

**LAFAYETTE ROAD
U.S. ROUTE 1**

LEGEND

EXISTING	DESCRIPTION
124/21	MAP 124 / LOT 21
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
	BOUNDARY LINE
	SETBACK LINE
RR SPK FND	RAILROAD SPIKE FOUND
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
DH FND	DRILL HOLE FOUND
BND w/ DH	BOUND w/ DRILL HOLE
FM	FORCE MAIN
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	POTABLE WATER LINE
	UNDERGROUND ELECTRIC
	OVERHEAD WIRES
100	CONTOUR LINE
97x3	SPOT ELEVATION
	EDGE OF PAVEMENT
	WOODS / TREE LINE
	UTILITY POLE (w/ GUY) (w/ LIGHT)
	LIGHT POLE
	SHUTOFF/CURB STOP (WATER, GAS, SEWER)
	GATE VALVE
	HYDRANT
CB	CATCH BASIN
TMH	TELEPHONE MANHOLE
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
FF	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL



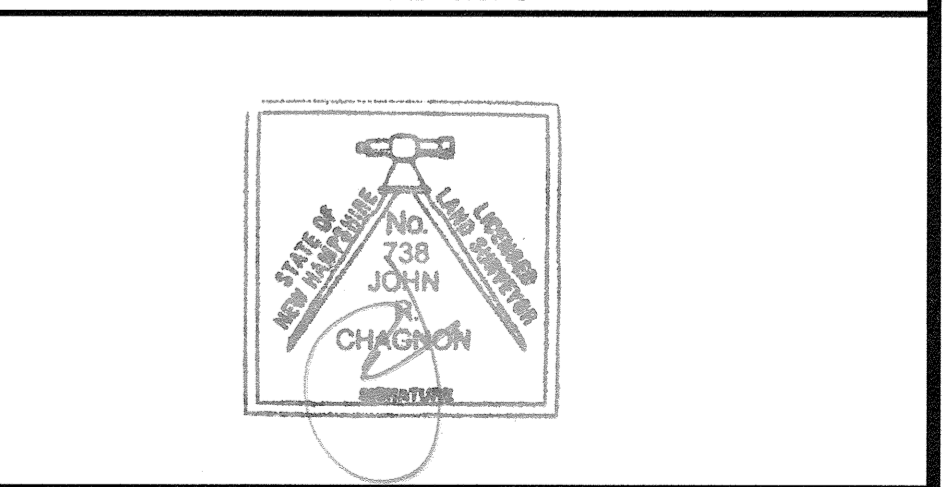
229/8B

EXISTING BUILDING
FF=24.93

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
 - 2) OWNERS OF RECORD:
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
 - 3) THE PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0270F, EFFECTIVE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
98,124 S.F.
2.2526 AC
 - 5) PARCEL IS LOCATED IN THE GATEWAY (GW) DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 43,560 S.F.
FRONTAGE: 200 FT.
DEPTH: 100 FT.
SETBACKS:
FRONT: 30 FT.
SIDE: 30 FT.
REAR: 50 FT.
MAXIMUM STRUCTURE HEIGHT: 40 FT.
MAXIMUM ROOF APPURTENANCE HEIGHT: 10 FT.
MAXIMUM BUILDING COVERAGE: 30%
MINIMUM OPEN SPACE: 20%
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 229 LOT 8B.
 - 8) EASEMENTS & RESTRICTIONS:
A) ROAD/UTILITY EASEMENT AREA: SEE C-3316 AND RCRD 2110/428 AND 2184/184. THIS EASEMENT WAS PARTIALLY TERMINATED ON 11/9/15; SEE RCRD 5669/0645.
B) 30' RIGHT OF WAY: SEE D-8806 AND 5446/2589.
C) MUTUAL PARKING AND ACCESS RIGHTS FOR LOTS 1-3 ON PLAN D-8806 ARE OF RECORD. RCRD 2343/128 AND 5446/2588.
 - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 10) THE 2011 NHDOT LAFAYETTE ROAD PROJECT IDENTIFIED THIS ENCROACHMENT.

**COMMERCIAL
DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

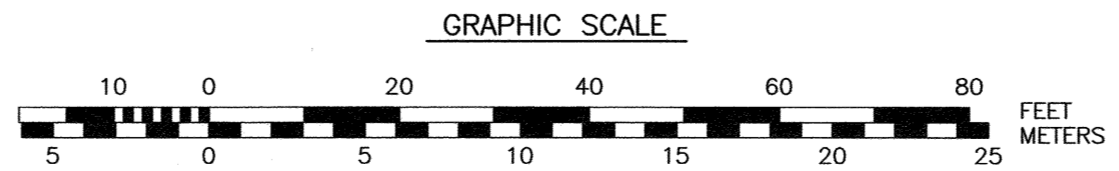
NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	7/5/23



SCALE: 1"=20' JULY 2023

**EXISTING CONDITIONS
PLAN**

C1

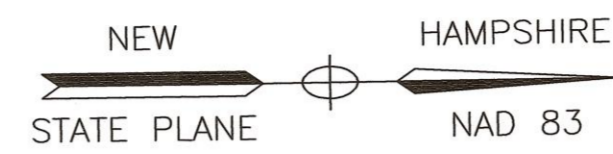


ZONING TABLE

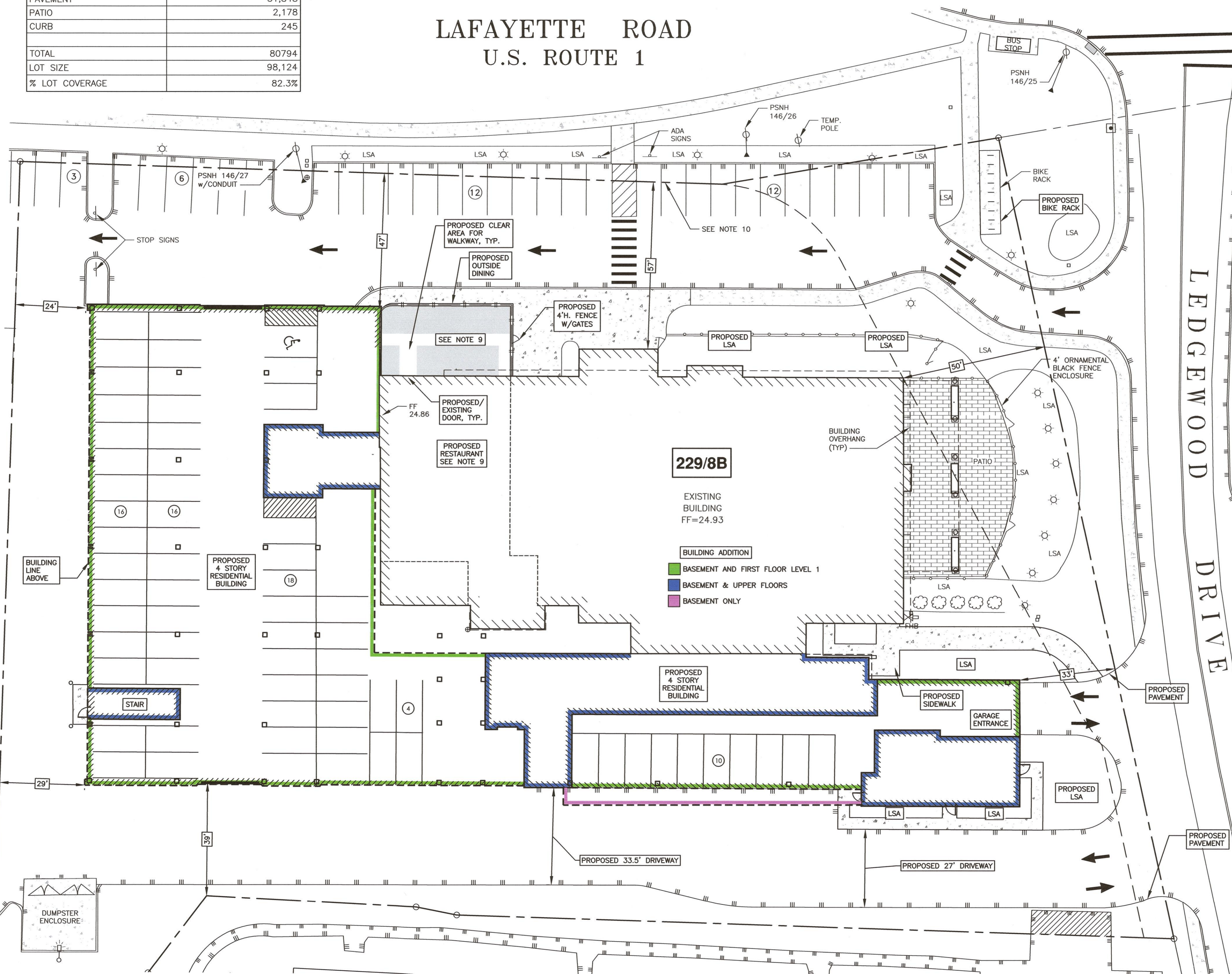
Zone	Existing	Proposed
Height	5 stories or 60 ft. per Density Bonus 10.5B72.30; G1 apartments: 4 stories or 50 ft. (+ density bonus 1 story or 10') 10.5B.22.20, at streets <60' row: 35' max <25' setback 45' max <50' setback 60' max >50' setback.	35/3 stories at street fronts 45/4 stories beyond 60/5 stories at center
Penthouses	10' above allowed building height	<10'
Roof appurtenance	Roof decks, roof gardens, and related structures and appurtenances shall not be counted in the building height limits.	<10'
Facade Types	forecourt, recessed entry, dooryard, steps, porch	recessed entry
Building Types	Dwelling units	Workforce Housing: 4 stories Podium parking at street level and one level below grade
Setbacks (ft) *		
Front (principle)	70'-90' from cl of Lafayette Rd	setback is within public way
Front (secondary)	min 10' & max 30' from Lot Line at Ledgewood	19'
Side	Minimum side setback: 15 ft. Where a development site includes a more than one building type, the minimum building setback to interior lot lines shall be 0 feet	40'
Rear	N/A. Minimum rear setback 20 ft. (& 25 ROW easement)	24'
Front lot line buildout residential	30%	85%
Front lot line buildout commercial/mixed-use	75%	85%
Frontage, Lafayette	100 ft min	337.4'
Lot area (sf)	NR	
area per dwelling	Workforce Housing units for rent: min 120 or 2 units, min. 800 sq. ft. or average unit size (larger of two)	1,363
Coverage, maximum	50%	82%
Footprint, max	NR for apartment buildings	
Offstreet parking	For developments located on public transit with year-round, 5-days-per-week, fixed-route service and where at least 50% of the building(s) are within 1/4 mile of a transit stop, the minimum offstreet parking shall be reduced by 20%.	170
ground floor area per use, max	NR	parking 15%
Open space, minimum permitted uses (G1)	multifamily, restaurant	multifamily
building length, max (ft)	200	236
facade modulation length, max (ft)	A) Symmetrical and vertically articulated bays >6' & <50' wide, minimum 3. B) Buildings greater than one hundred (100) feet in width shall read as a series of smaller buildings with varied architectural design and facade glazing patterns; or include a change in vertical plane of the facade of at least four (4) feet (in depth or projection) for at least one (1) bay in width for every one hundred (100) feet of total facade width. This change in plane applies to the entire height of the facade.	modulations < 100 ft
entrance spacing, max (ft)		entries facing street fronts
floor height above sidewalk, max	36"	8"
ground floor height, min		12'
second floor height, min		11'
glazing, shopfront, min		Streetfront Glazing at lobby entrances 100%. Sides & rear podium parking at first floor, some open and some screening
glazing, other	20%	
roof types(pitch)	NR	Flat & Sloped
Parking, off-street	All (flat roofs must have "parapet wall that acts as a structural expression of the building facade and its materials) 1 bicycle space for each 5 dwellings units or portion thereof. Off-site parking: Less than 500 sq. ft. 0.5 spaces per unit 500-700 sq. ft. 1.0 space per unit Over 750 sq. ft. 1.3 space per unit 10.1112.312 In addition to the off-street parking spaces provided in accordance with Sec. 10.1112.311, any dwelling unit shall provide one visitor parking space for every 5 dwelling units or portion thereof.	170
Units density	24 units per building, 36 units exception for workforce housing Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72.10.5B72	36 units per building * 2 buildings = 72 units

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)

STRUCTURE	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	43567
CONCRETE/SIDEWALK	2,956
PAVEMENT	31,848
PATIO	2,178
CURB	245
TOTAL	80794
LOT SIZE	98,124
% LOT COVERAGE	82.3%



LAFAYETTE ROAD
U.S. ROUTE 1



PORTSMOUTH APPROVAL CONDITIONS NOTES:

- 1) ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.
- 2) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 3) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
- 2) OWNERS OF RECORD:
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
- 3) THE PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0270E, EFFECTIVE MAY 17, 2005
- 4) EXISTING LOT AREA:
98,124 S.F.
2.2526 AC
- 5) PARCEL IS LOCATED IN THE GATEWAY CORRIDOR (G1) DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE SECTION 10.5B22.10
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED BUILDING ADDITION ON TAX MAP 229 LOT 8B.
- 8) DESIGN BASED ON ARCHITECTURAL PLAN BY ARCOVE ARCHITECTS DATED 8/22/23.
- 9) CONVERSION OF TUSCAN MARKETPLACE TO RESTAURANT (NORTHEASTERN THAI, LLC) APPROVED UNDER PERMIT: LU-22-254

COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	8/31/23

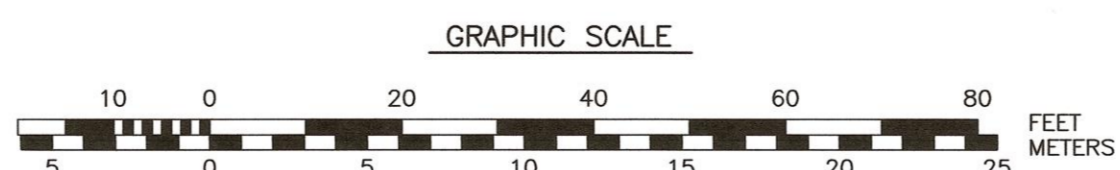


SCALE: 1"=20' JULY 2023

SITE PLAN C3

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



P:\NH\010\56\McNabb\Projects\197759-Lafayette Rd., Portsmouth-HC\2023 Site Plan 197759\Plan & Specs\SitePlan197759.DWG, The Sep. 5, 15:48:13 2023, Plotter: Foster, Color: AutoCAD

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
- 2) OWNERS OF RECORD:
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBSURFACE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 229 LOT 8B IN THE CITY OF PORTSMOUTH.
- 4) REQUIRED PARKING: (SEE TABLE)

COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	7/5/23

REVISIONS		

SCALE: 1"=20' JULY 2023

LOWER LEVEL PARKING PLAN

C4

REQUIRED PARKING:

581 Lafayette Road			
Unit/Parking Analysis			
September 5, 2023			

1 bedroom units 500-900 sf			
Level	Room No.	Area (sf)	spaces/unit
LEVEL 2	A201	3,028	1.30
LEVEL 2	A202	963	1.30
LEVEL 2	A203	1,682	1.30
LEVEL 2	A204	963	1.30
LEVEL 2	A205	968	1.30
LEVEL 2	A206	1,066	1.30
LEVEL 2	A207	615	1.00
LEVEL 2	A208	1,553	1.30
LEVEL 2	B201	597	1.00
LEVEL 2	B202	536	1.00
LEVEL 2	B203	741	1.00
LEVEL 2	B204	1,219	1.30
LEVEL 2	B205	1,382	1.30
LEVEL 2	B206	1,565	1.30
LEVEL 2	B207	660	1.00
LEVEL 2	B208	648	1.00
LEVEL 3	A301	3,028	1.30
LEVEL 3	A302	970	1.30
LEVEL 3	A303	1,120	1.30
LEVEL 3	A304	970	1.30
LEVEL 3	A305	518	1.30
LEVEL 3	A306	498	0.50
LEVEL 3	A307	1,069	1.30
LEVEL 3	A308	440	0.50
LEVEL 3	A309	617	1.00
LEVEL 3	A310	1,549	1.30
LEVEL 3	B301	750	1.00
LEVEL 3	B302	996	1.30
LEVEL 3	B303	595	1.00
LEVEL 3	B304	465	0.50
LEVEL 3	B305	686	1.00
LEVEL 3	B306	479	0.50
LEVEL 3	B307	481	0.50
LEVEL 3	B308	605	1.00
LEVEL 3	B309	493	0.50
LEVEL 3	B310	1,437	1.30

LEVEL 4	A401	2,579	1.30
LEVEL 4	A402	846	1.30
LEVEL 4	A403	489	0.50
LEVEL 4	A404	846	1.30
LEVEL 4	A405	912	1.30
LEVEL 4	A406	409	0.50
LEVEL 4	A407	923	1.30
LEVEL 4	A408	406	0.50
LEVEL 4	A409	553	1.00
LEVEL 4	A410	1,415	1.30
LEVEL 4	B401	750	1.00
LEVEL 4	B402	1,001	1.30
LEVEL 4	B403	599	1.00
LEVEL 4	B404	354	0.50
LEVEL 4	B405	405	0.50
LEVEL 4	B406	422	0.50
LEVEL 4	B407	386	0.50
LEVEL 4	B408	609	1.00
LEVEL 4	B409	636	1.00
LEVEL 4	B410	1,377	1.30
LEVEL 5	A501	856	1.30
LEVEL 5	A503	855	1.00
LEVEL 5	A504	488	0.50
LEVEL 5	A505	438	0.50
LEVEL 5	A506	895	1.30
LEVEL 5	A507	395	1.30
LEVEL 5	A508	564	1.00
LEVEL 5	A509	900	1.30
LEVEL 5	B501	587	1.00
LEVEL 5	B502	624	1.00
LEVEL 5	B503	600	1.00
LEVEL 5	B504	416	0.50
LEVEL 5	B505	681	1.00
LEVEL 5	B506	474	0.50
LEVEL 5	B507	446	0.50
LEVEL 5	B508	442	0.50

Total Units:	72	71.80
Visitor Parking - 1 space per every 5 dwellings		14.36
Bicycle parking deduction - 1 space for 6 bikes max 5% =	3.59	(3.59)
TOTAL residential automobile parking		82.57

Car Parking Spaces Required per Unit Size		
0-500	0.5	
500-750	1	
750-1900	1.3	

Bicycle Parking Required		
use	spaces required per use	total required
multifamily	1 bicycle for every 5 dwelling units	15
restaurant/rec	1 bicycle for each 10 car parking spaces	12
TOTAL		27



PARKING ANALYSIS
Zoning Ordinance 10.1112
September 5, 2023

Apartment Parking Required	with gateway deduct -20%	66.1
subtotal parking spaces required		66.1
Gateway deduct -20%		-16.5
Apartment Parking Required		49.6

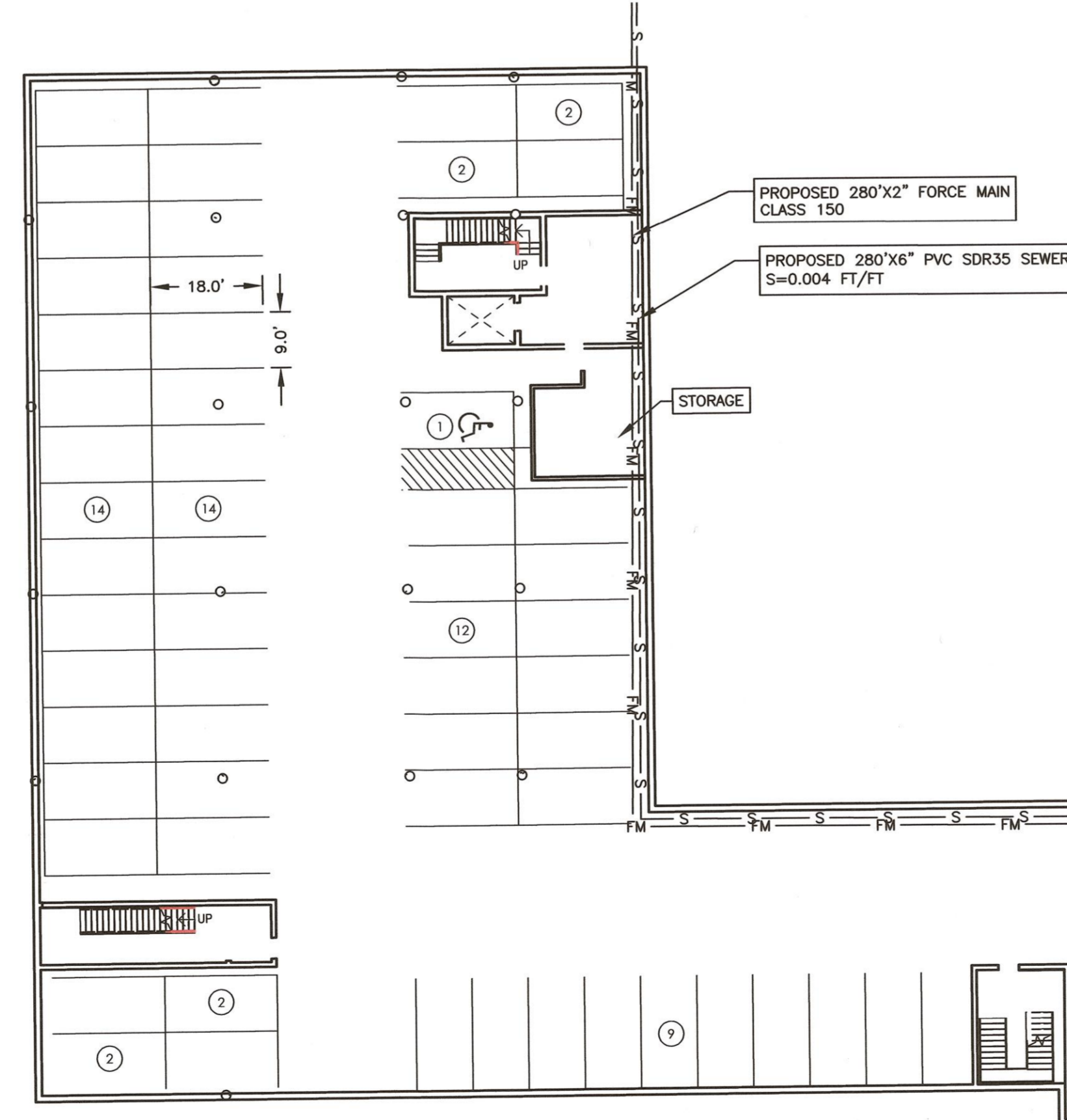
Restaurant/Recreation Parking Required	spaces/gfa	gfa or occ	spaces	subtotal w/20% gateway deduct
restaurant	1/100	13,982.00	139.82	111.9
recreation (golf)	1/250	1,060.00	3.0	2.4
recreation (golf)	1/250	20.00	0.0	0.0
subtotal			142.8	114.3
Gateway deduct -20%			-29.6	
Total restaurant/recreation parking required			113.2	

Shared Parking 10.1112.60

Land Use	Weekday		Weekend		evening (6-midnight)	spaces required	(midnight-6am)	spaces required	Maximum TOTAL Required
	daytime (8am-5pm)	spaces required	evening (6-12pm)	spaces required					
Apartment	60%	39.6	100%	66.1	100%	66.1	100%	66.1	66.1
Restaurant	70%	78.3	100%	111.9	80%	89.5	100%	111.9	112
Office	100%	2.4	20%	0.5	10%	0.2	5%	0.1	0.1
Entertainment (golf)	40%	1.8	100%	182.40	100%	3.2	100%	4.0	4.0
Total Required		122.0		182.40		145.8		182.0	182

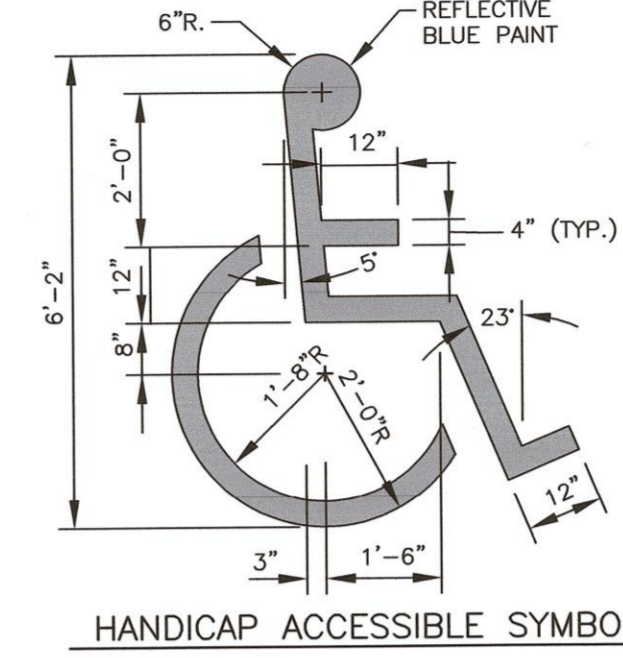
Total Parking Proposed

In-building, level 1 - basement	136
Open air, on site	33
Off-site parking per deed/easement	182
Total parking proposed	351
Excess (Deficit)	0
Existing total available-today	28
Proposed Net Increase (reduction) in parking	323



R7-8a
12" x 18"
SIGN ON POST
EACH SPACE SHALL HAVE THIS SIGN DISPLAYED PER ADA CODE
SIGNAGE

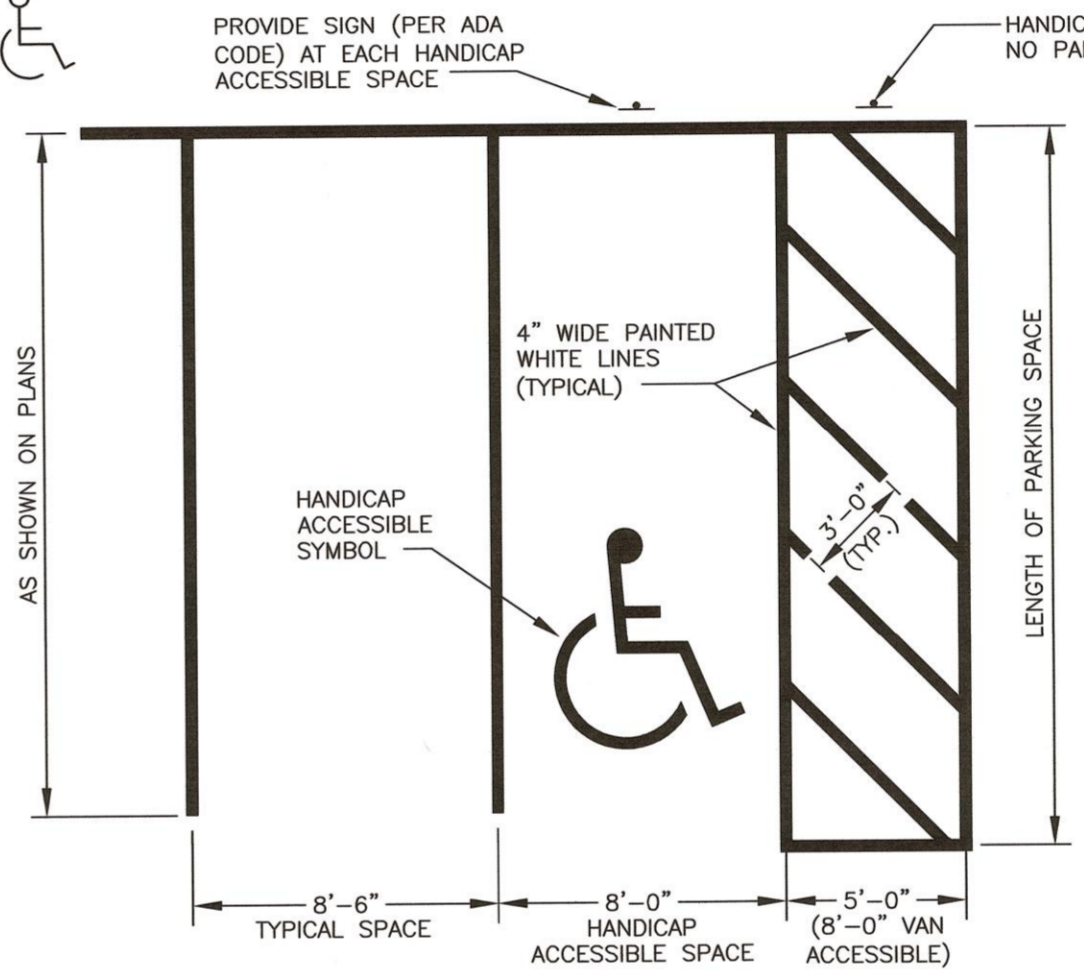
LEGEND SYMBOL



HANDICAP ACCESSIBLE SYMBOL

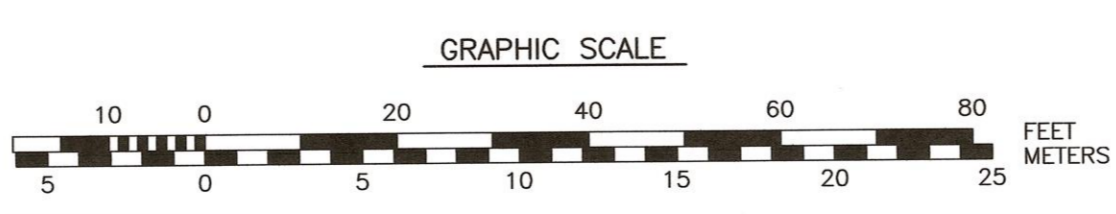


K-4438
12" x 18"
SIGN ON POST
SIGNAGE

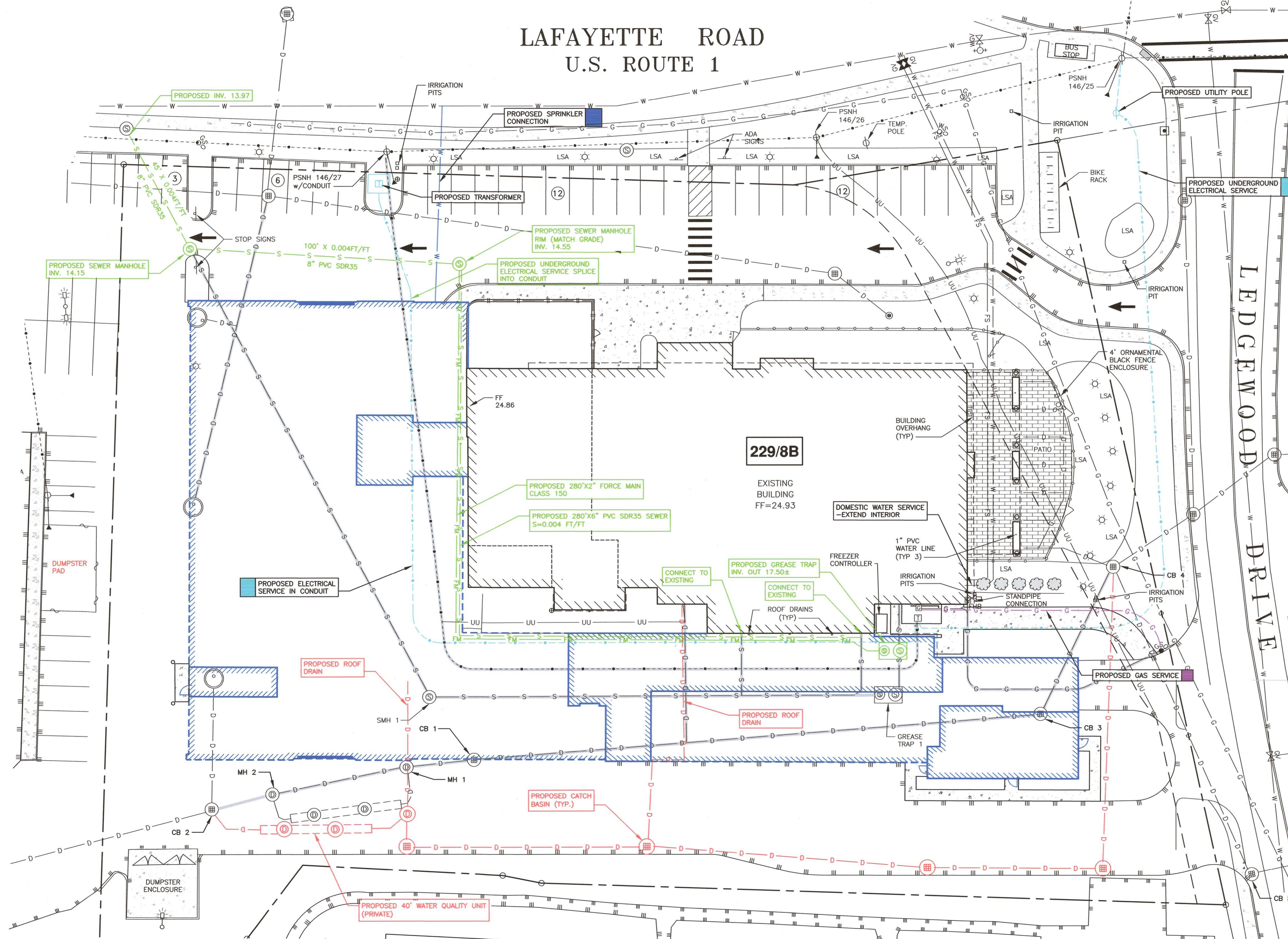


1 HANDICAP PARKING DETAIL
C4 NTS

- NOTES:**
- 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
 - 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
 - 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.



**LAFAYETTE ROAD
U.S. ROUTE 1**



NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**COMMERCIAL
DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	5/8/23

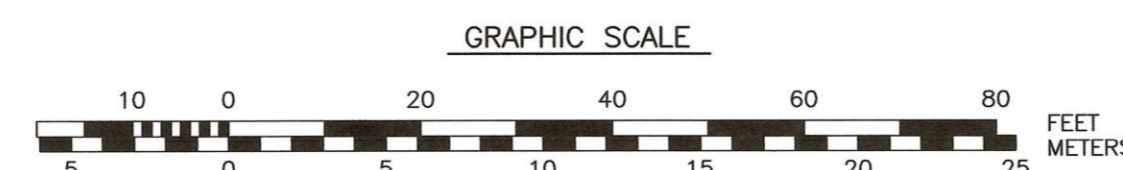
REVISIONS



SCALE: 1"=20' FEBRUARY 2023

UTILITY
PLAN

C5





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581 Lafayette Road Apartments

581 LAFAYETTE RD
PORTSMOUTH, NH, 03801

PROJECT NO: 1013

OWNER
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
603.427.0725

CIVIL ENGINEERING
AMBIT ENGINEERING, A DIVISION OF
HALEY WARD
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, NH 03801
603.430.9282
<https://www.ambitengineering.com/>

SITE PLAN REVIEW

REVISIONS

NO.	DATE	DESCRIPTION

BASEMENT PLAN

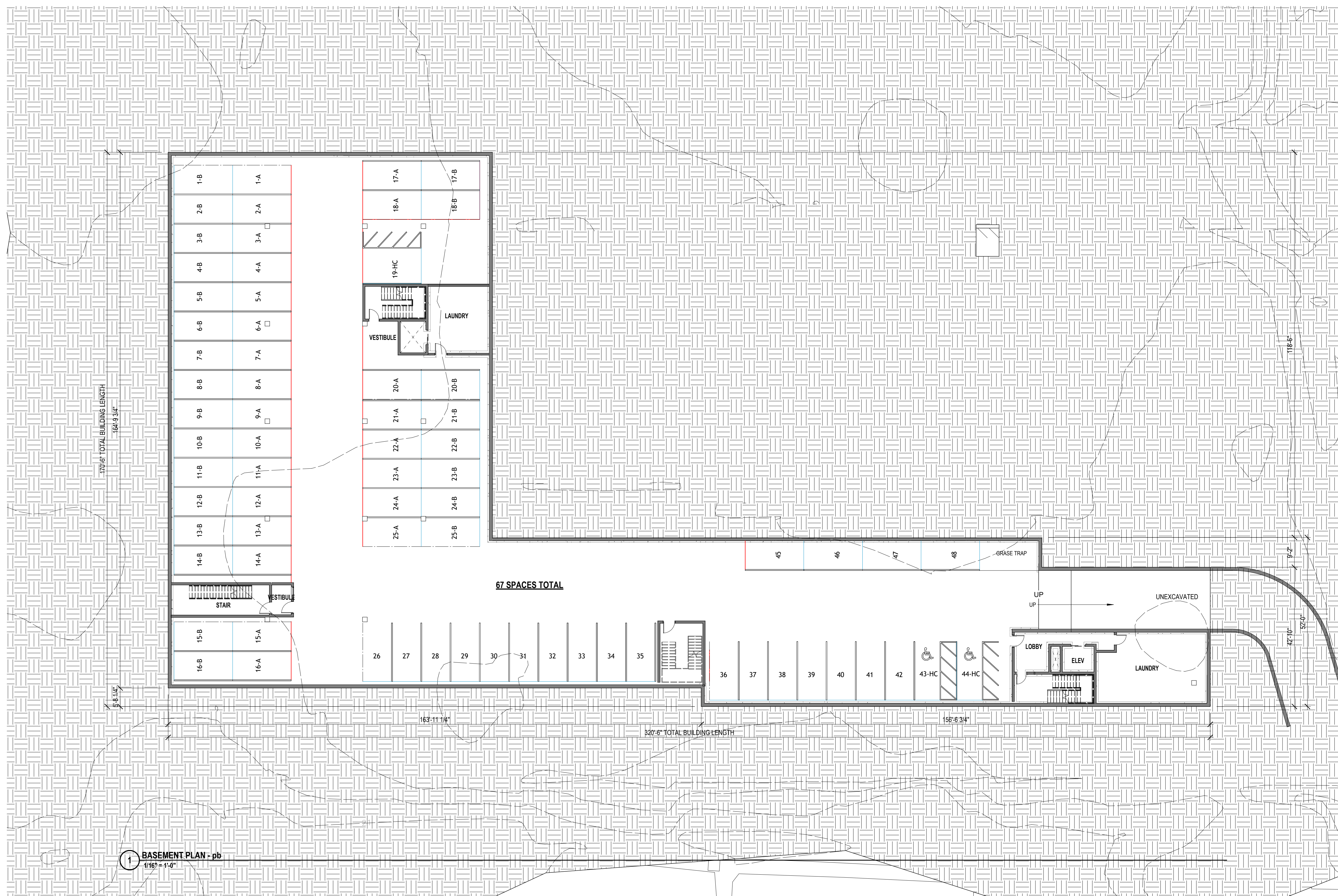
SCALE: 1/16" = 1'-0"

DATE: 09/05/2023

DRAWN: Author

CHECKED: Checker

PB1.01



1 BASEMENT PLAN - pb
1/16" = 1'-0"

U.S. ROUTE 1



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SITE PLAN REVIEW

REVISIONS

NO.	DATE	DESCRIPTION

LEVEL 1 FLOOR PLAN

SCALE: 1/16" = 1'-0"

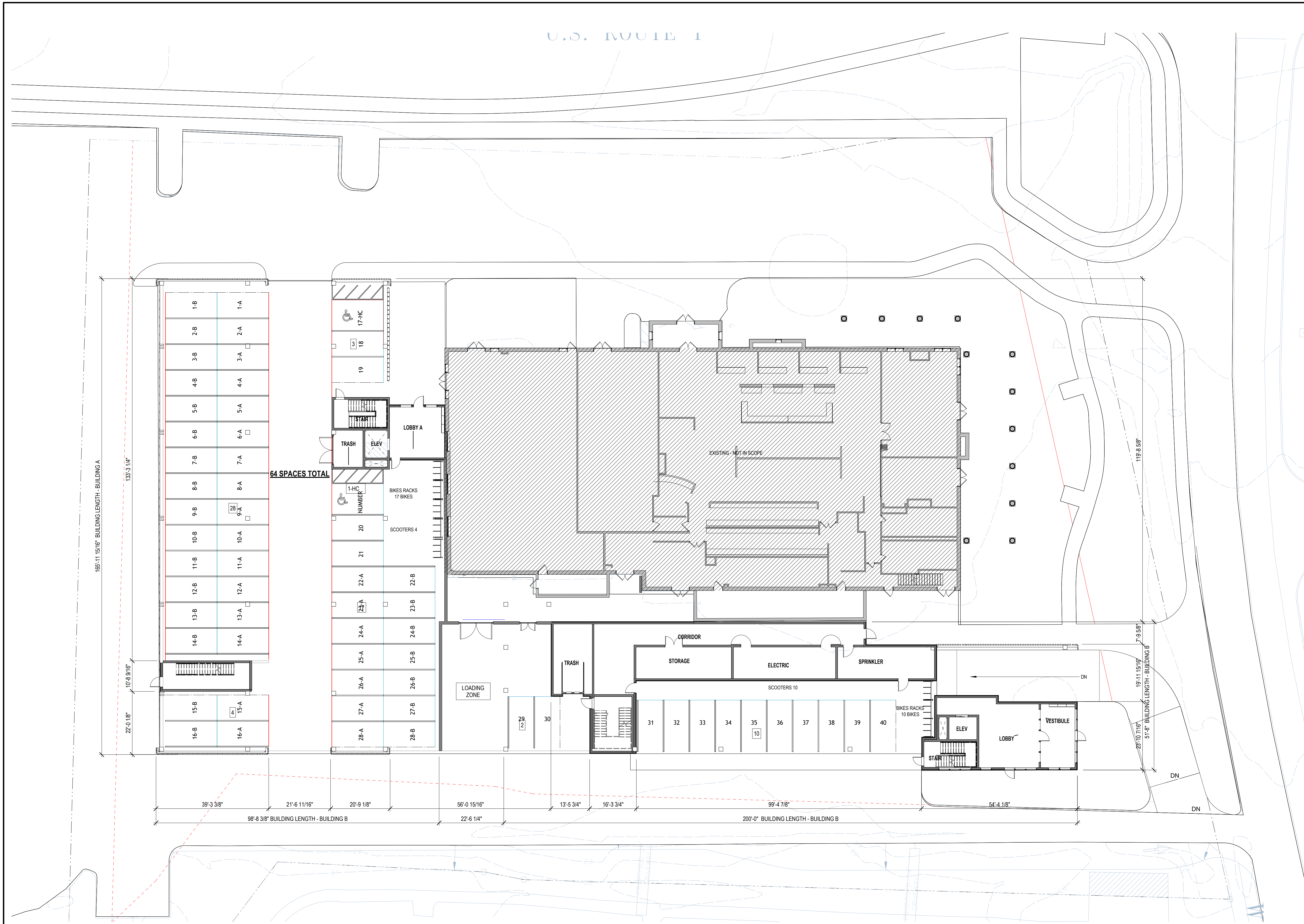
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PB1.02

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1 LEVEL 1 PLAN - pb
1/16" = 1'-0"



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SITE PLAN REVIEW

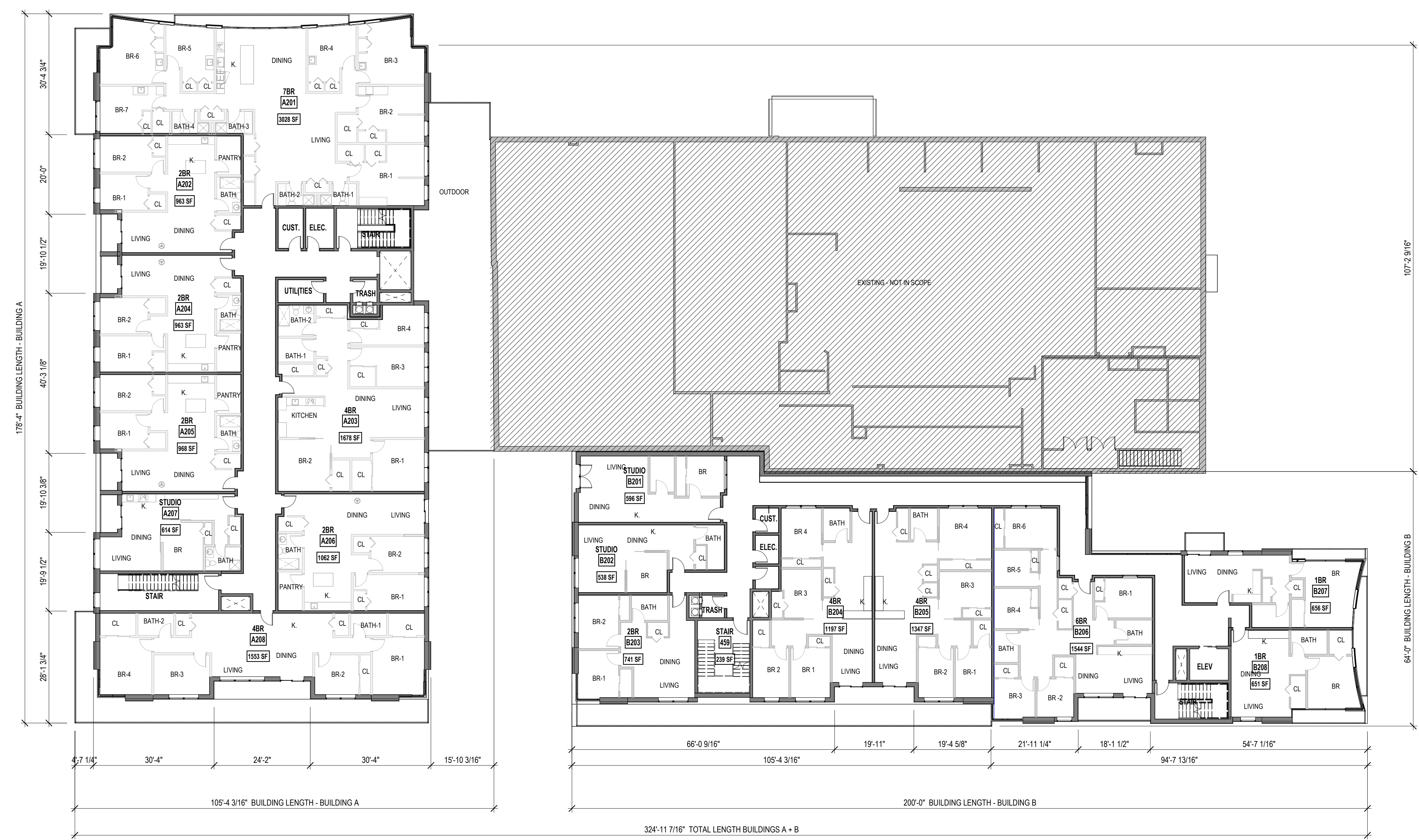
REVISIONS

NO.	DATE	DESCRIPTION

LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
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 CHECKED: Checker

PB1.03



1 LEVEL 2 PLAN - pb
 1/16" = 1'-0"



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SITE PLAN REVIEW

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NO.	DATE	DESCRIPTION

LEVEL 3 FLOOR PLAN

SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
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PB1.04



1 LEVEL 3 PLAN - pb
 1/16" = 1'-0"



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SITE PLAN REVIEW

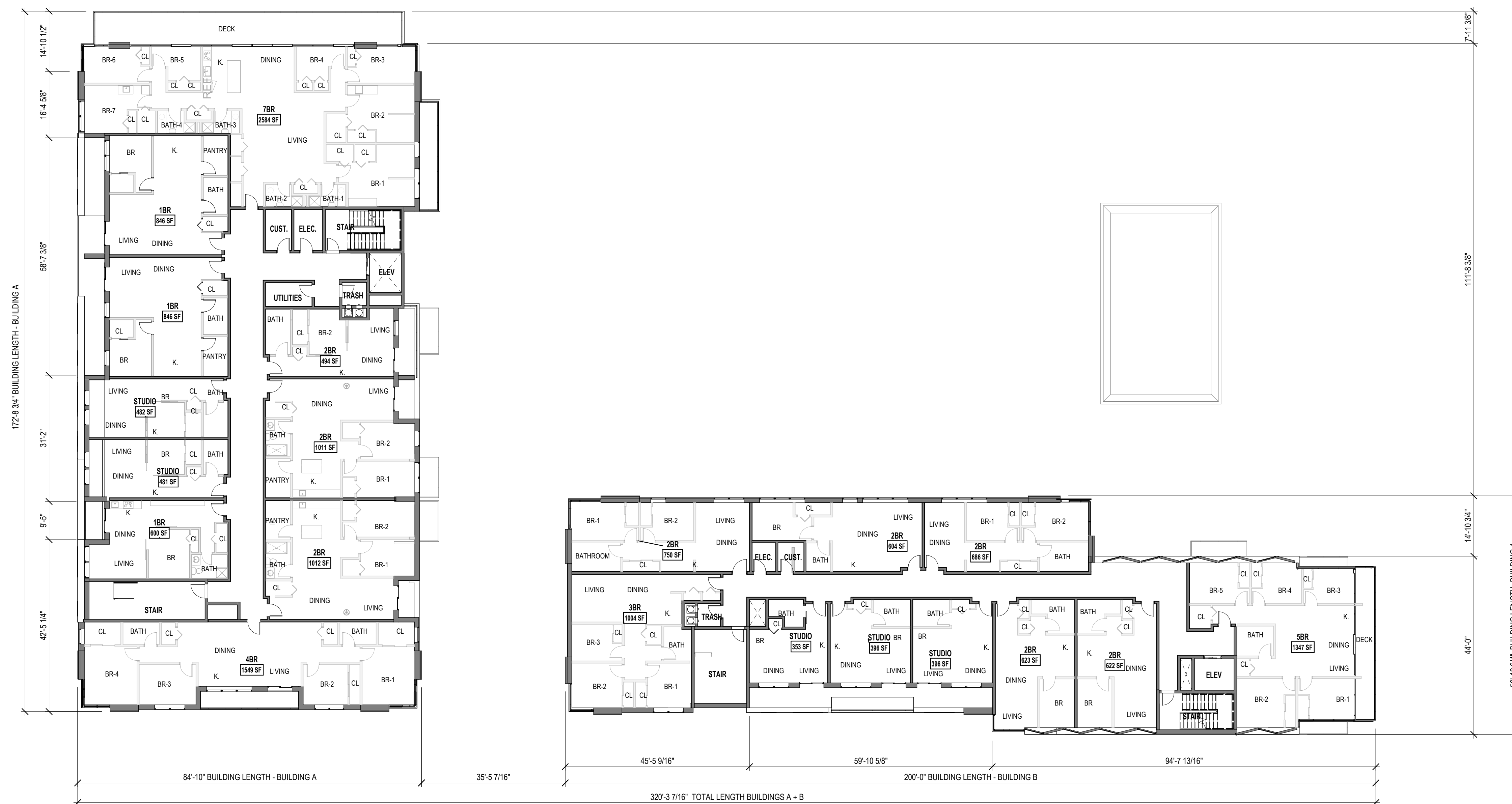
REVISIONS

NO.	DATE	DESCRIPTION

LEVEL 4 FLOOR PLAN

SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
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PB1.05



1 LEVEL 4 PLAN - pb
 1/16" = 1'-0"



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SITE PLAN REVIEW

REVISIONS

NO.	DATE	DESCRIPTION

LEVEL 5 FLOOR PLAN

SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
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PB1.06



1 LEVEL 5 PLAN - pb
 1/16" = 1'-0"



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581 Lafayette Road Apartments

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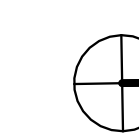
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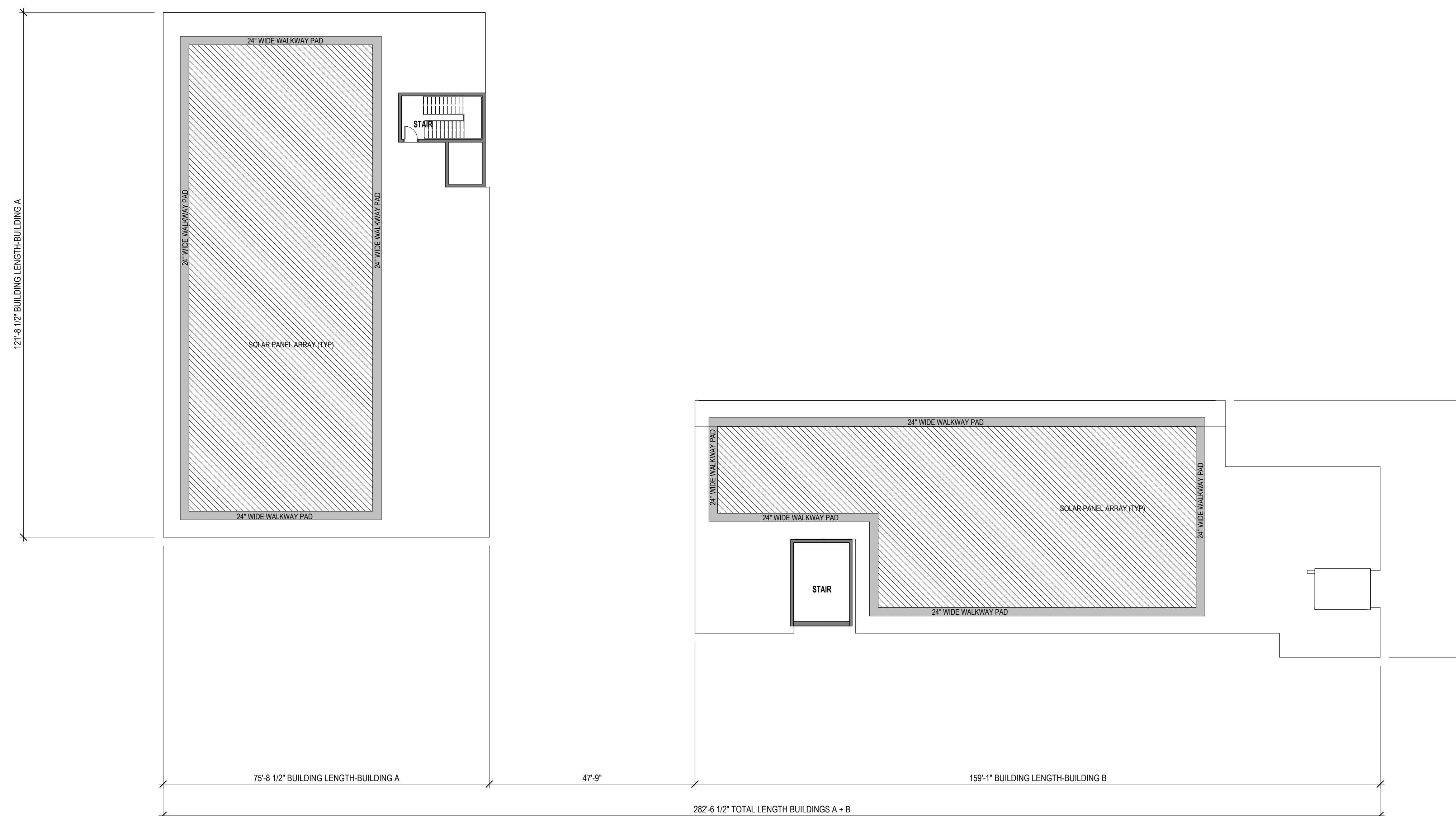
NO.	DATE	DESCRIPTION

ROOF FLOOR PLAN



SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
 DRAWN: Author
 CHECKED: Checker

PB1.07



1 ROOF - pb
 1/16" = 1'-0"



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SITE PLAN REVIEW

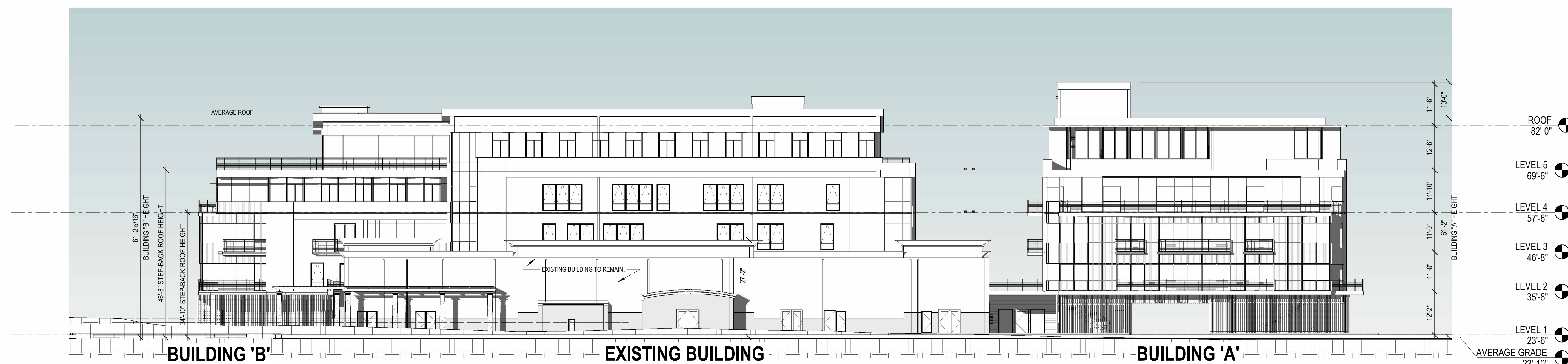
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NO.	DATE	DESCRIPTION

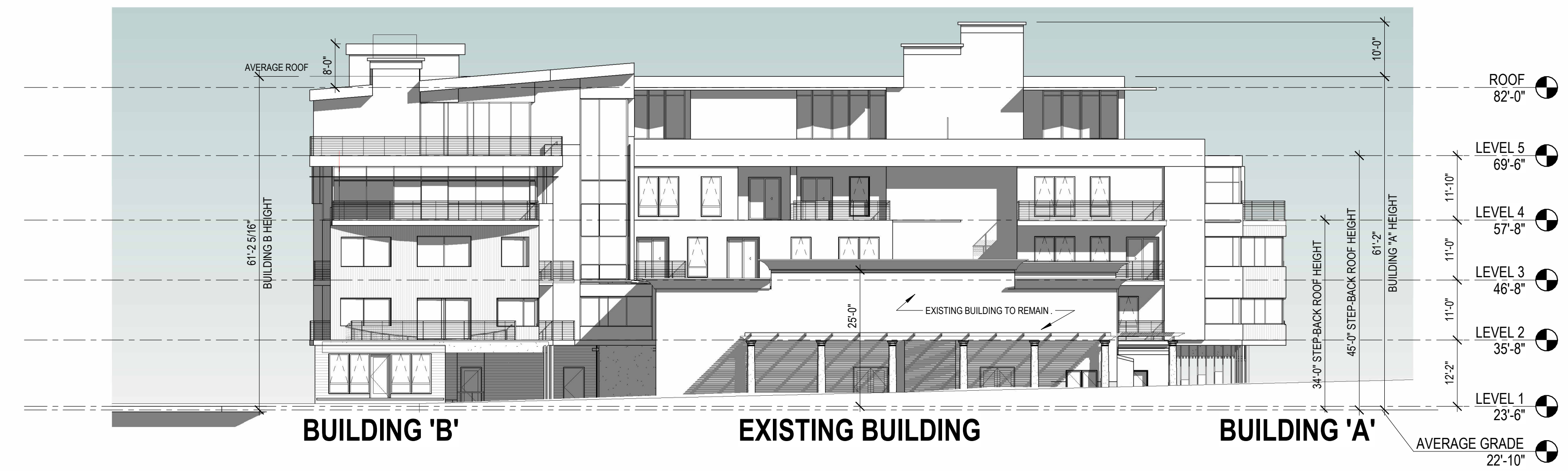
ELEVATIONS

SCALE: 1/16" = 1'-0"
DATE: 09/05/2023
DRAWN: HA
CHECKED: TK

PB1.08



2 WEST ELEVATION PB
1/16" = 1'-0"



1 NORTH ELEVATION PB
1/16" = 1'-0"



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581 Lafayette Road Apartments

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SITE PLAN REVIEW

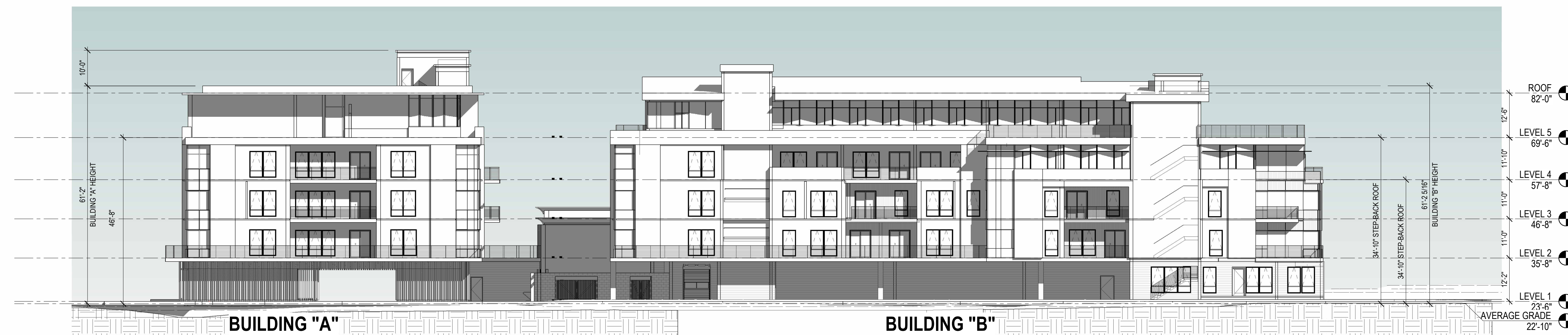
REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS

SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
 DRAWN: Author
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PB1.09



2 EAST ELEVATION PB
 1/16" = 1'-0"



1 SOUTH ELEVATION PB
 1/16" = 1'-0"



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**581 Lafayette Road
 Apartments**

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 PORTSMOUTH, NH, 03801

PROJECT NO: 1013

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SITE PLAN REVIEW

REVISIONS

NO.	DATE	DESCRIPTION

RENDERINGS

SCALE:
 DATE: 09/05/2023
 DRAWN: Author
 CHECKED: Checker

PB1.11



NORTH-WEST CORNER



SOUTH-WEST CORNER



EAST VIEW



EAST CLOSE-UP VIEW



NORTH VIEW - BASEMENT ENTRANCE



NORTH-WEST VIEW



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**581 Lafayette Road
 Apartments**

581 LAFAYETTE RD
 PORTSMOUTH, NH, 03801

PROJECT NO: 1013

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SITE PLAN REVIEW

REVISIONS

NO.	DATE	DESCRIPTION

RENDERINGS

SCALE:
 DATE: 09/05/2023
 DRAWN: Author
 CHECKED: Checker

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