

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details) \**

**6:30 p.m.**

**January 03, 2024**

**AGENDA (revised December 29, 2023)**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. APPROVAL OF MINUTES**

1. December 06, 2023
2. December 13, 2023

**II. ADMINISTRATIVE APPROVALS**

1. 466 Marcy Street- **Request to Postpone**
2. 425 Islington Street- **Request to Postpone**
3. 95 Court Street- **Request to Postpone**
4. 182 Market Street- **Request to Postpone**
5. 140 Court Street
6. 179 Pleasant Street
7. 385 Islington Street, Unit #3
8. 72 Islington Street, Unit #1
9. 28 New Castle Avenue

**III. REQUEST FOR REHEARING**

1. Request for Rehearing of **Michael B. Myers and Stephanie G. Taylor, owners**, for property located at **700 Middle Street**, wherein permission is requested to allow the installation of rooftop mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 and Lot 29 and lies within the General Residence A (GRA) and Historic Districts.

**IV. PUBLIC HEARINGS (OLD BUSINESS)**

- A. **REQUEST TO POSTPONE-** Petition of **Joseph Cunningham, owner, and Jane Myers Vanni, perspective buyer**, for property located at **195 Washington Street**, wherein permission is requested to allow renovations to an existing structure (repair rot on the front entryway, siding and trim, remove and replace stairs, replace roofing, and install gutters) as per



plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 78 and lies within the General Residence B (GRB) and Historic Districts.

B. Petition of **Anne F. Moody Living Trust, Anne F. Moody Trustee, owner**, for property located at **180 New Castle Avenue**, wherein permission is requested to allow the installation mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 23 and lies within the Single Residence B (SRB) and Historic Districts.

## V. PUBLIC HEARINGS (NEW BUSINESS)

1. (Work Session/Public Hearing) requested by **Zachary Dombrowski & Meghan Black, owners**, for property located at **111 Gates Street**, wherein permission is requested to allow new construction to an existing structure (remove rear porch, add new rear 2-story addition with walkout basement and reconfigure existing side addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot and lies within the General Residence B (GRB) and Historic Districts.

2. Petition of **Novocure, Inc., owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow the installation of animated direct illumination signage as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 and Lot 1 and lies within the Downtown Overlay, Character District 5 (CD5), and Historic Districts.

3. Petition of **95 Daniel Street, LLC, owner**, for properties located at **95 & 99 Daniel Street**, wherein permission is requested to allow exterior renovations and construction to both structures (replace or repair exterior features and construct new rear addition at 95 Daniel Street) and (replace or repair exterior features and construct new rear deck and stairs at 99 Daniel Street) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 107 as Lots 6 & 7 and lie within the Character District 4 (CD4) and Historic Districts.

## VI. WORK SESSIONS (NEW BUSINESS)

A. Work Session requested by **Debra Patsky & Cynthia Woods, owners**, for property located at **37 South School Street**, wherein permission is requested to allow new construction to an existing structure (construct single story addition to the right of the property and a new rear porch as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 72 and lies within the General Residence B (GRB) and Historic Districts.

## VII. ELECTION OF OFFICERS

1. Chair
2. Vice-Chair

## VIII. ADJOURNMENT

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_\\_aw5JgDBQa6KReL-5\\_NTA](https://us06web.zoom.us/webinar/register/WN__aw5JgDBQa6KReL-5_NTA)

**MINUTES OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**December 06, 2023**

**MEMBERS PRESENT:** Chair Jon Wyckoff; Vice-Chair Margot Doering; Members Martin Ryan, David Adams, Dr. Dan Brown, and Alternates Karen Bouffard and Larry Booz

**MEMBERS EXCUSED:** Reagan Ruedig, City Council Representative Rich Blalock

**ALSO PRESENT:** Izak Gilbo, Associate Planner, Planning Department

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Chair Wyckoff called the meeting to order at 6:30 p.m. Ms. Ruedig and City Council Representative Blalock were excused, and Alternates Ms. Bouffard and Mr. Booz took voting seats for the evening.

**I. APPROVAL OF MINUTES**

1. October 04, 2023

*Dr. Brown moved to **approve** the October 4 minutes as amended, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

**Note:** The change was to add the name of the third commissioner (Vice-Chair Doering) who voted in opposition to the 147 Congress Street administrative approval item.

2. November 01, 2023

*Vice-Chair Doering moved to **approve** the November 1 minutes as presented, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

**II. ADMINISTRATIVE APPROVALS**

**Note:** The items were not reviewed in sequence.

**1. 466 Marcy Street - Request to Postpone**

*Mr. Adams moved to **postpone** the item to the January 3 meeting, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

**2. 425 Islington Street - Request to Postpone**

*Mr. Adams moved to **postpone** the item to the December 13 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

**3. 295 Maplewood Avenue**

The request was to replace the boarded-up piece left from a removed wall-mounted AC condenser with a window. Mr. Adams said the image showed something metal-looking inside the window that made it look like it was divided into four lights, which he thought wasn't necessary. Mr. Ryan agreed. Mr. Gilbo suggested stipulating that the simulated dividers not be included. Mr. Adams said the 3" trim didn't detract from the rest of the building and wouldn't draw attention.

**Stipulation:** The applicant shall get rid of the simulated dividers in the window.

**4. 45 Market Street - Request to Postpone**

*Mr. Adams moved to **postpone** the petition to the December 13 meeting, seconded by Vice-Chair Doering. The motion **passed** by unanimously, 7-0.*

**5. 135 Market Street, Unit B**

Mr. Booz recused himself from the item. The request was to relocate the condenser from the side of the building to the rooftop. Mr. Gilbo said a roof hatch access had to be installed due to code, and the hatch and skylights would not be visible from the street.

*Mr. Ryan moved to **approve** the item, seconded by Vice-Chair Doering. The motion **passed** unanimously, 6-0.*

**6. 507 State Street, Unit 2**

The request was to replace two entry doors with solid fiberglass ones.

**7. 10 Ceres Street**

The request was to install a new oil management system and to relocate and screen the existing mechanical equipment with a silver/gray mesh metal screen. The Commission discussed the screening choice and thought a darker screen would be more appropriate.

**Stipulation:** A black or bronze colored mesh screen shall be used.

**8. 138 Gates Street**

The request was for an HVAC condenser with cedar screening and to place granite steps with an iron rail at the rear of the house.

**9. 111 State Street**

Mr. Gilbo said the applicant wanted to raise the sill height of the folding window on the State Street façade and to add an exit door at the rear porch.

**10. 20 Congress Street**

The request was to remove the awning from the storefront to allow more light.

**Stipulation:** The applicant shall return for an administrative approval if any damage caused by the awning's removal cannot be repaired in kind or if a different awning is desired.

**11. 242 State Street**

The request was to rebuild the chimney on the left side of the home and to repoint the right-side chimney. Mr. Gilbo said the rebuilt chimney would be the same height and have the same type of cap. Mr. Adams asked the applicant to submit a sample of the brick and mortar for approval.

**Stipulation:** The applicant shall submit a mockup of the proposed brick and mortar for the rebuilt chimney to Chair Wyckoff for approval.

*Dr. Brown moved to **approve** Items 3, 6, 7, 8, 9, 10 and 11 with their respective stipulations, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

**III. CERTIFICATE OF APPROVAL EXTENSIONS**

1. Petition of **Lucky Thirteen Properties, LLC, owner**, for property located at **361 Islington Street**, wherein permission is requested to allow a 1-year extension of the Certificate of Approval originally granted on November 2, 2023 for new construction to an existing structure (add side and rear additions) and renovations to an existing structure (new siding, windows and mechanical screening) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

*Vice-Chair Doering moved to **grant** the request for a 1-year extension, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

**IV. PUBLIC HEARINGS (NEW BUSINESS)**

1. **REQUEST TO POSTPONE-** Petition of **Anne F. Moody Living Trust, Anne F. Moody Trustee, owner**, for property located at **180 New Castle Avenue**, wherein permission is requested to allow the installation mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 23 and lies within the Single Residence B (SRB) and Historic Districts.

**DECISION OF THE COMMISSION**

*Mr. Adams moved to **postpone** the petition, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

2. Petition of **John Galt, LLC, owner**, for property located at **14 Market Square**, wherein permission is requested to allow new construction to an existing structure (add a rooftop addition and a new skylight) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 29 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

### **SPEAKING TO THE PETITION**

Architect Tracy Kozak was present on behalf of the applicant. She said they wanted to add a skylight and a small section of parapet roof and add a metal grate mechanical platform to support the six condenser units. [Recording timestamp 30:33]

Mr. Adams said matching brick and mortar would be important. Ms. Kozak said the intent was to match the existing brick color. Mr. Adams said the Commission received a letter from an abutter who had concerns about the applicant's ability to stay on his side. Ms. Kozak said all the work would be done within the applicant's property line. Vice-Chair Doering said another concern was that the added mechanicals would cast shadows on the dome so that the stained glass would not be seen, or shadows would be seen behind the stained glass. Ms. Kozak said the building was due north of the dome, so it wouldn't be possible for a shadow to be cast. Vice-Chair Doering asked if there were plans for safety netting to prevent potential damage to the stained glass. Ms. Kozak said the utmost care would be taken to ensure that the work would cause no impact to the adjacent abutting property. Mr. Ryan asked if the railing would be painted, and Ms. Kozak said it would be painted black. Chair Wyckoff asked if the new flat roof would be used as a patio. Ms. Kozak said it could be someday but there were no current plans for one. Mr. Booz asked if the doorway and roof access was for mechanical maintenance or personal/commercial purposes. Ms. Kozak said the building was a commercial one and only the office floors and maintenance would have access. The potential patio space was further discussed.

Chair Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, seconded by Dr. Brown.*

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining character of the surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

3. Petition of **Beagan Family Trust of 2021, Michael & Wendy Beagen Trustees, owners**, for property located at **30 Gardner Street**, wherein permission is requested to allow new construction to an existing structure (construct rear decks with spiral staircase) and renovations to an existing structure (relocate windows, remove chimneys, relocate bulkhead, and add (2) skylights) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 43 and lies within the General Residence B (GRB) and Historic Districts.

Mr. Adams recused himself from the petition.

### **SPEAKING TO THE PETITION**

[Timestamp 45:55] The applicant and homeowner Wendy Beagen was present to speak to the petition, along with the designer Hubert Krah and the contractor Tim Hron. Ms. Beagen said they wanted to bring the 1896 house back to its original glory. Mr. Krah said the vinyl siding was removed and the moldings were reproduced in kind. He said they wanted to add two decks on the rear of the house. He said they were replacing and not adding existing skylights. He said they wanted to remove the two chimneys on the south side of the house because they were in disrepair and had no function.

The issue of needing relief from the code requirement for egress windows was discussed. Mr. Gilbo said it would be up to the City's Inspection Department. Mr. Hron said the windows would be a fiberglass component with a wood interior and an SDL with a spacer bar and would be painted to match the rest of the house, and the existing trim work would be replicated on all the windows. The Commission said half screens were preferred, and it was further discussed. Mr. Ryan asked why the columns couldn't match the ones on the other side of the house. Mr. Krah said there was an existing deck in the 1950s addition, and they wanted to make it level with the parking lot so that it would make access to the house easier if a ramp was needed. The chimney on the ell was discussed. Dr. Brown said it might no longer function but was still historically part of the house. Mr. Krah said the chimney was in front of the proposed left-hand windows and would impact the elevation. Vice-Chair Doering suggested creating a faux chimney to replicate the existing one so that it replicated what was seen on the outside.

Chair Wyckoff opened the public hearing.

### **SPEAKING IN FAVOR OF THE PETITION**

Dave Adams (speaking as a citizen) said he was a near abutter and agreed with everything the applicant proposed. He said the applicant would put the building's exterior back to the condition that it was originally built.

### **SPEAKING IN OPPOSITION TO THE PETITION OR SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one else spoke, and Chair Wyckoff closed the public hearing.

## DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulation**:*

- 1. The chimney in the ell can be removed but must be rebuilt from the roofline up, with appropriate materials. If any questions arise or a mockup needs to be done, the applicant will return for an administrative approval.*

*Dr. Brown seconded the motion.*

Vice-Chair Doering said the project maintains the special character of the District and is in relation to the historic and architectural value of historic structures.

*The motion **passed** by a unanimous vote of 6-0, with Mr. Adams recused.*

## V. WORK SESSIONS (NEW BUSINESS)

A. Work Session requested by **95 Daniel Street, LLC, owner**, for properties located at **95 & 99 Daniel Street**, wherein permission is requested to allow exterior renovations and construction to both structures (replace or repair exterior features and construct new rear addition at 95 Daniel Street) and (replace or repair exterior features and construct new rear deck and stairs at 99 Daniel Street) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 107 as Lots 6 & 7 and lie within the Character District 4 (CD4) and Historic Districts.

[Timestamp 1:18:20] Architect Mark Gianniny and the applicant John Pierce were present. Mr. Gianniny reviewed the petition and said they wanted to maintain most of the existing structure and restore the rest. Mr. Adams asked what the plan was for the cottage building. Mr. Gianniny said they would do structural repairs and could excavate and reinforce the foundation beneath that section. He said it was almost like an addition and not part of the original foundation. Mr. Adams said there should be a Plan B, otherwise it could end up like the old fire station that was torn down a few years later. He said the previously proposed brick townhouse was lovely, but the Commission hadn't thought it was appropriate to lose the two buildings. He asked if an engineer had looked at it. Mr. Pierce said a contractor researched jacking up the building. Mr. Adams said the addition blended in with the architecture of the cottage so well that it was a shame to lose either part. Mr. Pierce said the basement was under the main rectangle of the building and didn't include the section that bumped out of the porch.

Vice-Chair Doering said the historic photo of the original storefront windows showed them as taller and more in proportion with the second story. She asked why the proposed two new windows were smaller. Mr. Gianniny said they wanted to match the windows on the side of the house. Vice-Chair Doering said the composite siding on the front and sides of 95 Daniel Street was so much on the street and the front of 99 Daniel Street was clapboard. Mr. Gianniny said all four sides of both buildings would have replacement composite siding. Vice-Chair Doering said it was important that the front of the buildings be wood and that she preferred to see it extend



around on the original structures. The window proportions were further discussed. Mr. Ryan said he was okay with the composite siding because it would be tastefully done. He asked if the column on 99 Daniel would be replaced. Mr. Gianniny said they would replace it with a square one and would keep the column on 95 Daniel. Mr. Adams asked if both chimneys would be removed. Mr. Gianniny said they proposed removing them because they were at the rear of the building. Chair Wyckoff said the front of both buildings should be wood clapboard and trim. He said the composite shutters were authentic looking but thought the hardware and hinges were overdone. Mr. Ryan said the old fire engine house was a commercial building and a different situation and that he saw no reason why the applicant's building couldn't be restored to what it used to be. It was further discussed.

There was no public comment.

## DECISION

The applicant said he would return for a public hearing in the future.

*Mr. Adams moved to **end** the work session, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

B. Work Session requested by **Zachary Dombrowski & Meghan Black, owners**, for property located at **111 Gates Street**, wherein permission is requested to allow new construction to an existing structure (remove rear porch, add new rear 2-story addition with walkout basement and reconfigure existing side addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot and lies within the General Residence B (GRB) and Historic Districts.

[Timestamp 1:47:10] Project designer Amy Dutton was present on behalf of the applicant. She reviewed the petition and said they wanted to remove the rear porch and add a 2-story addition and reconfigure the existing side addition because it was poorly built.

Vice-Chair Doering asked if the choice of the rectangular addition was an aesthetic or structural one. Ms. Dutton said it was not a structural reason. She said she originally drew it with a gable roof, but the applicant didn't think it would be used and preferred a deck. She said the existing kitchen wasn't functional for a family of five, so the design began with function from the interior to the exterior. Dr. Brown said he had concerns about the dormer because it would destroy the classic roofline. Ms. Dutton said she tried to do a gable dormer instead of a shed dormer, but it created a narrow hallway to the deck. Vice-Chair Doering asked if the addition lined up with the right-hand edge of the house or if it was set back in. Ms. Dutton said it was set in two feet. Vice-Chair Doering said if the dormer were gable shaped and came all the way out to the front edge of the structure and turned the tower into an ell, it would look more appropriate to the addition. The knee walls were discussed. Ms. Dutton said there would be columns and a rail system, like a sun porch. Vice-Chair Doering said she'd like to see what it would look like. Mr. Adams said he thought it was a mistake to have the dormer on the roof larger than the tower below it. Chair Wyckoff said he couldn't support it the way it was drawn and thought it would make more sense for it to have columns. He said he didn't think the one-story addition should be touched. Mr. Adams said the building still bore most of its original front door materials, water tables, and so

on and represented itself well as a substantial house. He said the frames on the front façade and two sides seemed to be original and didn't seem to have anything wrong with them other than being old. He asked if the chimney would be torn out. Ms. Dutton said it would stay, along with the fireplaces and center staircase.

Mr. Ryan said the floor plan didn't reflect the fireplace and chimney. He said the existing foundation in the back was being used and was the reason that the tower was in the footprint. Ms. Dutton said they wanted to expand it three feet and put in a new foundation. Mr. Ryan suggested sliding it to the center of the building a bit so that it didn't look like a separate entity slapped onto the back of the house. Mr. Adams agreed. Ms. Dutton said she was trying to preserve the backyard, and it was further discussed. Mr. Ryan said the details on the back addition gave it an awkward feeling and thought better detailing would help. The applicant said they would return for a work session/public hearing in January.

## **DECISION**

*Vice-Chair Doering moved that the applicant **return for a work session/public hearing** at the January 3 meeting, seconded by Dr. Brown. The motion **passed unanimously, 7-0.***

Other issues were discussed. Mr. Adams said he went by the River House Restaurant's oil system and thought it would be a good opportunity to ask the State for CLD (Communities Leading Development) funds to do a better design for some of the utilities on the back sides of those buildings because there were garbage spills and so on. Mr. Gilbo said someone in the Planning Department could research it. Mr. Adams asked if the Commission received their CLD status. Mr. Gilbo said the Planning Department was working on it and then the Commission could review and adopt it and present it to the City Council.

The City's sustainable energy policy was discussed. Chair Wyckoff said the guidelines about solar panels were written in 2016 and that the City passed the sustainable energy procedure in 2018, so technically it superseded the HDC's guidelines. He said it was a policy that the City had voted on and was supposed to follow and thought it should be looked at seriously. Mr. Ryan asked how the City's energy policy applied to the HDC's guidelines. Chair Wyckoff said it was a more liberal interpretation of them and that there were a lot of recommendations. It was further discussed. [Timestamp 2:19:10]

## **VI. ADJOURNMENT**

The meeting was adjourned at 9:00 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

**MINUTES OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**December 13, 2023**

**MEMBERS PRESENT:** Chair Jon Wyckoff; Vice-Chair Margot Doering; Members Reagan Ruedig, Martin Ryan, Dr. Dan Brown, and Alternate Karen Bouffard

**MEMBERS EXCUSED:** David Adams, City Council Representative Rich Blalock, Alternate Larry Booz

**ALSO PRESENT:** Izak Gilbo, Planner 1, Planning Department

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Chair Wyckoff called the meeting to order at 6:35 p.m. He noted that three members were excused and stated which items were postponed.

*Ms. Ruedig moved to **postpone** Administrative Approval Item 5, 495 Islington Street; Request for Rehearing Item III.A, 700 Middle Street; and Public Hearing Old Business Item IV.A, 195 Washington Street to the January 3, 2024 meeting. Mr. Ryan seconded. The motion passed unanimously, 6-0.*

**I. ADMINISTRATIVE APPROVALS**

**Note:** Ms. Bouffard recused herself from Items 1 and 2, and those two items were voted on separately from the other items.

**1. 95 Court Street**

The request was to replace all the windows on the building. Mr. Gilbo showed photos and said the windows were in poor condition and several were inoperable. He said he was told that they were replaced in the 1950s and that the applicant wanted Harvey Majesty windows.

Ms. Ruedig said the photos of the 6/6 windows didn't show the jambs and she couldn't tell if they were a mid-20<sup>th</sup> century replacement, and the third-floor windows looked historic because they had no weights. She wondered what the new Harvey windows would look like on the exterior and said she was torn on whether some of the windows needed to be restored. Dr. Brown said he wasn't sure which window features the applicant wanted. Mr. Gilbo suggested that the applicant return in January after taking an inventory of the windows so that the Commission could determine which windows should be restored or replaced. Chair Wyckoff said he or Mr. Adams could do a site walk in the next few weeks, and Dr. Brown said he'd like to join them. Mr. Gilbo said he would schedule the site walk.

*Ms. Ruedig moved to **continue** the item to the January 3, meeting, seconded by Dr. Brown. The motion passed by a unanimous vote of 5-0, with Ms. Bouffard recused.*

## **2. 85 Daniel Street**

The request was to install four condensers on either side of the garage. Mr. Gilbo said there would also be mechanical equipment and vents on the side of the building and the condensers would have wooden slat screening. Ms. Ruedig said she would like to see what the screened condensers would look like on the building. Vice-Chair Doering said she was concerned about the aesthetics and asked if the condensers would be hung on the wall because of something on the ground that was in the way. Mr. Gilbo said the stairs were in the way and the proposed location was the most out-of-view one.

*Ms. Ruedig moved to **approve** the item as presented, seconded by Mr. Ryan. The motion passed by a unanimous vote of 5-0, with Ms. Bouffard recused.*

## **3. 45 Market Street**

The request was for a few changes to the previously-approved project: 1) approval for the east chimney to not be built; 2) full or half screening options for windows; and 3) some changes to the storefront.

The applicant's representative Shannon Alther of TMS Architects was present [recording timestamp 19:37]. He said the chimney wasn't really needed and they changed to a window brand that had full screens but said he was willing to put half screens on the Market St façade. He explained some small changes being made to the storefront and said the storefront's sign board was in the permitting process and would be similar to what was originally proposed.

Ms. Ruedig said her only concern was with the full screens and asked if the applicant had considered FlexScreens for all other building's facades except for the rear of the building, which could have full screens. Mr. Alther said he wanted to ensure that the FlexScreens wouldn't fall out. Ms. Ruedig said the Commission would be fine with either half screens or FlexScreens.

**Stipulation:** The applicant shall use half screens or FlexScreens on the facades of the building except for the rear.

## **4. 66 South Street, Unit 2**

The request was to remove the existing entry door and replace the two windows to the right of it, and to remove the picture windows and replace them with a single 36" French door that would lead down to a 36'x36' granite landing with stairs. Mr. Gilbo said the applicant wanted either Andersen or Mathew Brothers windows and an Andersen or Therma-tru French door, and he showed samples to the Commission.

Vice-Chair Doering asked how the French door would sit in the overall wall. The applicants Peter and Lisa Amarosa were present and said the door would be smaller than the window and

would be filled in with siding. Ms. Ruedig asked if the stairway would be similar to the existing one. Ms. Amarosa said the stairway would be removed and replaced by the new granite landing and two stairs. Vice-Chair Doering asked if there would be railing. Ms. Amarosa said there would not but that she would have one installed if it was required. Vice-Chair Doering said it was not required due to the rise but that it could be hazardous in the winter and the applicant could return for a railing if desired. Dr. Brown asked if clapboard would replace the existing door and if so, where. Ms. Amarosa said clapboard would be on both sides of the house and would not be visible from the street. Ms. Ruedig advised the applicant to make sure they chose windows and a door that had simulated divided lights. It was agreed that the applicants would meet with Mr. Gilbo regarding their choices for the new windows and French door.

**Stipulations:** 1) Half screens shall be used on the window replacements, and 2) the applicants shall speak with Mr. Gilbo about their final choice for the new windows and French door.

**5. 425 Islington Street - REQUEST TO POSTPONE**

*The item was **postponed** to the January 3 meeting.*

**6. 182 Market Street**

The request was to replace two vinyl windows with double hung vinyl windows and to replace the trim. Ms. Ruedig said the window would be visible and she would prefer a simple 1/1 clad Fibrex window, noting that it was more attractive than vinyl and vinyl windows eventually had to be replaced because they didn't last long. Chair Wyckoff said he would prefer to see 6/6 muntins on the existing windows. Vice-Chair Doering said the windows should be replaced with something more durable than vinyl, whether they were 6/6 or 1/1. Mr. Gilbo suggested that the item be continued to the January meeting so that he could discuss a better window option with the applicant. Mr. Ryan asked that the applicant return with a window cut sheet.

*Vice-Chair Doering moved to **continue** the item to the January 3 meeting, seconded by Dr. Brown. The motion passed unanimously, 6-0.*

**II. CERTIFICATE OF APPROVAL - EXTENSIONS**

1. Petition of **Robin & Cyrus Noble, owners**, for property located at **15 Mt. Vernon Street**, wherein permission is requested to allow a 1-year extension of the Certificate of Approval originally granted on November 02, 2022 for new construction to an existing structure (extend roofline of the existing house over the attached garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 33 and lies within the General Residence B (GRB) and Historic Districts.

**DECISION OF THE COMMISSION**

Ms. Bouffard recused herself from the vote.

*Ms. Ruedig moved to **grant** the one-year extension, seconded by Vice-Chair Doering. The motion passed unanimously, 5-0.*

### **III. REQUEST FOR REHEARING**

A. **REQUEST TO POSTPONE** - Request for Rehearing of **Michael B. Myers and Stephanie G. Taylor, owners**, for property located at **700 Middle Street**, wherein permission is requested to allow the installation of rooftop mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 and Lot 29 and lies within the General Residence A (GRA) and Historic Districts.

### **DECISION OF THE COMMISSION**

*The request for rehearing was **postponed** to the January 3 meeting.*

### **IV. PUBLIC HEARINGS (OLD BUSINESS)**

A. **REQUEST TO POSTPONE** - Petition of **Joseph Cunningham, owner, and Jane Myers Vanni, perspective buyer**, for property located at **195 Washington Street**, wherein permission is requested to allow renovations to an existing structure (repair rot on the front entryway, siding and trim, remove and replace stairs, replace roofing, and install gutters) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 78 and lies within the General Residence B (GRB) and Historic Districts.

### **DECISION OF THE COMMISSION**

*The petition was **postponed** to the January 3 meeting.*

### **V. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **Point of View Condominium Association, owner**, for property located at **57 Salter Street, Unit #1**, wherein permission is requested to raise and relocate the Boat House further inland and allow exterior renovations to an existing structure (add new stairs and railings to the Boat House and new siding and installation of electrical equipment on the Play House) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 32-2 and lies within the Waterfront Business (WB) and Historic Districts.

### **SPEAKING TO THE PETITION**

[Timestamp 45:10] Attorney James Steinkrauss was present on behalf of the applicant, joined by project designer Jennifer Ramsey, landscape architect Terence Parker, and project engineer Stephen McNally. Attorney Steinkrauss reviewed the petition. He noted that no further permits were required from the New Hampshire Department of Environmental Services (NHDES) because all the work would be authorized by an NHDES restoration approval. He said they received zoning relief from the Board of Adjustment in July 2023 and that the building was being raised two feet to meet the City's resiliency requirements. He said there was no planned

expansion of the building or any parking. Ms. Ramsey said landscape elements had to be added to get from the side stair down to the grade and the entry stoop. She said the back deck had also been raised. She showed before-and-after views and the new pier system and said the railings would match the ones that were previously approved.

Vice-Chair Doering asked if the back deck was deeper because it still lined up with the dock. Ms. Ramsey said the back deck was the same size and was only perceived as a smaller space and that the square footage had not changed. Dr. Brown asked what the foundation would be. Mr. McNally said they designed a concrete foundation with cantilevered walls to support the building. He said they had to be four feet below the sediment level and that, based on the bearing capacity of the sediments being about 1500 pounds per square foot, they were using a mat slab foundation and cantilevering the walls up with reinforcing to form the walls from the side. Dr. Brown asked if the foundation would handle flooding and was told that it would. Ms. Ruedig asked what the visible part of the foundation would look like. Ms. Ramsey said a standard smooth concrete foundation would be seen on the south elevation.

Chair Wyckoff opened the public hearing.

### **SPEAKING IN FAVOR OF THE PETITION**

Glenn Normandeau of 15 Pickering Avenue said he owned the South End Yacht Club and was in strong support of the application.

### **SPEAKING IN OPPOSITION TO THE PETITION OR SPEAKING TO, FOR, OR AGAINST THE PETITION**

Marcia MacCormack of 53 Salter Street said she had no problem with the application but had been upset about the whole process of moving the building forward and wasn't sure if it was now a waterfront business or residential. She said she heard that it could be used as a venue or office, which would generate more traffic on the dead-end street and would imply that it could be a waterfront business. She said if the structure was moved back, it would be residential.

Mr. Gilbo said the zone wouldn't change whether the building was moved forward or back because it was all the Waterfront Business District and moving the structure wouldn't change its use. He said he would further research the regulation. Ms. MacCormack said the dock was a commercial one and thought the applicant could have short-term rentals and so on. Mr. Gilbo said he would meet with Ms. MacCormack and would also get some other planners involved who had more expertise with different land boards.

Attorney Steinkrauss said the district was zoned the Waterfront Business District in 2018 and the Thompsons applied for relief to change the building's use to residential, but under the Wetlands ordinance a residential building couldn't be cantilevered over the water, so the intent was to seek approval so that the building could be relocated back and used as a residential property. Mr. Ryan said moving the building five feet back did not eliminate it from being a commercial property but just made it a residential use. Attorney Steinkrauss said it was changed to a

residential use in 2018 and that the applicant would have to seek another variance if they wanted to make it a commercial use.

No one else spoke, and Chair Wyckoff closed the public hearing.

## **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **grant** the Certificate of Approval for the application as presented, seconded by Mr. Ryan.*

Ms. Ruedig said the Commission had seen the project many times and thought that type of issue would come before them more frequently. She said the project was sensitively done and that moving the building back would not impact the building's character. She said the project would have conservation and enhancement of property values by the building's use as a residence and it would have relation to historic and architectural value of the existing structure being moved.

*The motion passed unanimously, 6-0.*

## **VI. OTHER BUSINESS**

The Commissioners' end of terms were discussed. Several were scheduled for the same time, and it was suggested that renewals be staggered more so that it wouldn't be hard to replace a group of people if they all decided to leave at once. The nominations for Chair and Vice-Chair were discussed. Mr. Ryan said Robert's Rules called for the nomination of multiple members instead of one or two and that it would have to be voted on at that point. Vice-Chair Doering said there should be more discussion on what a person who might be interested in the position of Chair or Vice-Chair felt they brought to the position, and Mr. Ryan agreed. Vice-Chair Doering suggested that the Chair and Vice-Chair elections be held at the end of the meeting instead of the beginning so that the public didn't have to wait, and others agreed. [Timestamp 1:09:28]

The Renewable Energy Policy Recommendation 54 was discussed, including car chargers and solar panels. [Timestamp 1:16:54]

## **VII. ADJOURNMENT**

The meeting was adjourned at 8:00 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary



# HDC

## ADMINISTRATIVE APPROVALS

January 03, 2024

- |    |                               |                       |
|----|-------------------------------|-----------------------|
| 1. | 466 Marcy Street              | -Request to Postpone  |
| 2. | 425 Islington Street          | - Request to Postpone |
| 3. | 95 Court Street               | - Request to Postpone |
| 4. | 182 market Street             | - Request to Postpone |
| 5. | 140 Court Street              | -Recommended Approval |
| 6. | 179 Pleasant Street           | -Recommended Approval |
| 7. | 385 Islington Street, Unit #3 | -Recommended Approval |
| 8. | 72 Islington Street, Unit #1  | -TBD                  |
| 9. | 28 New Castle Avenue          | -Recommended Approval |

**5. 140 Court Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of HVAC equipment (several roof mounted units and (1) ground unit.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-718

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 12/14/2023

### Primary Location

140 COURT ST  
Portsmouth, NH 03801

### Owner

PORTSMOUTH HOUSING  
AUTHORITY  
245 MIDDLE ST  
PORTSMOUTH, NH 03801

### Applicant

Carla Goodknight  
 603-431-2808  
 carla@cjarchitects.net  
 233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Installation of Mechanical Units

Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

## LETTER OF AGENDA

We respectfully submit this Application for Administrative Approval for the installation of **Mechanical Units** at the Feaster Apartments project located at 140 Court Street.

This project represents a significant opportunity to improve the viability of this affordable housing by way of modernizing the HVAC systems. If approved, it will be funded through the **NHSaves Home Energy Assistance (HEA) Program**. The HEA Program serves New Hampshire's income-eligible homeowners and renters to help reduce their energy costs, optimize their homes' energy performance and make their homes safer, healthier and more comfortable.

The Air Source Heat Pump project at the Feaster Apartment building will achieve these goals. It will result in significant energy and cost savings for the building's residents, as well as improve the thermal comfort and air quality in each of the apartments.

Project requirements include:

1 – Installation of 8 Rooftop units at four locations on the roof.

2 – Installation of 1 Unit on the Ground.

3 – Vertical line sets will need to be installed from the exterior Mechanical equipment to each Residential Unit. These will be covered with vertical aluminum enclosures with a bronze finish to conceal the lines.

4 – The roof is post-tensioned precast with horizontal metal rods at various intervals throughout. This may restrict the penetration opportunities for the line sets at the eaves. Gutter style flares have been added to accommodate these potential offsets.

5 – If the line sets were run internally these rods would need to be avoided at each floor, using radar imaging at each penetration location on every floor, thereby jeopardizing the viability of the project.

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA, NCARB  
Principal, CJ Architects

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

## AGENDA & AERIAL

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 3, 2024



PORTSMOUTH  
HOUSING







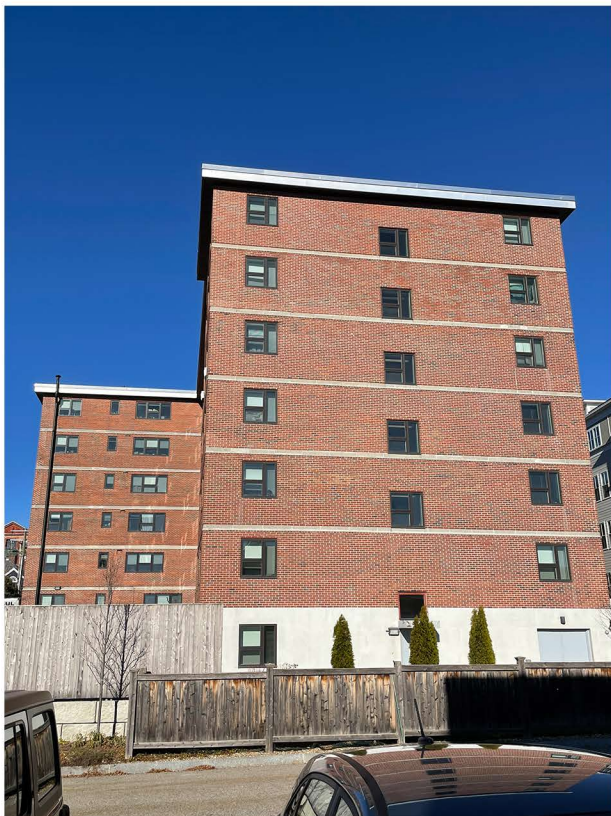
A) VIEW OF EXISTING NORTH & EAST ELEVATIONS



B) VIEW OF EXISTING NORTH & WEST ELEVATIONS



C) VIEW OF EXISTING SOUTH & WEST ELEVATIONS



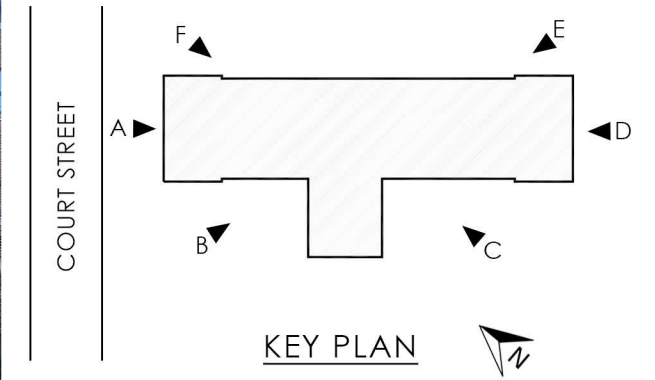
D) VIEW OF EXISTING SOUTH ELEVATIONS



E) VIEW OF EXISTING SOUTH & EAST ELEVATIONS



F) VIEW OF EXISTING NORTH & EAST ELEVATIONS



FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

EXISTING PHOTOS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 3, 2024



1.0

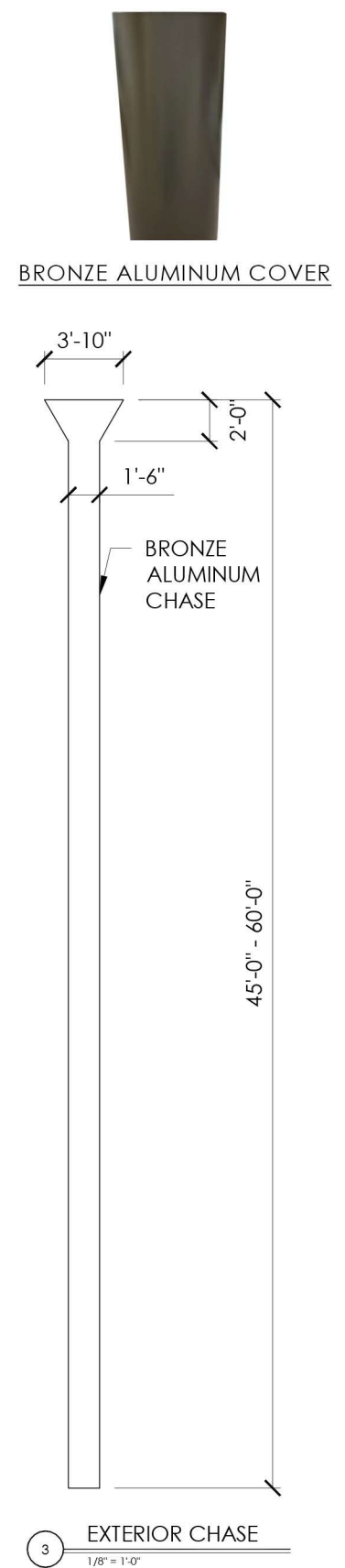




1 EAST ELEVATION - EXISTING  
1/16" = 1'-0"



2 EAST ELEVATION - PROPOSED  
1/16" = 1'-0"



3 EXTERIOR CHASE  
1/8" = 1'-0"

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

EAST ELEVATIONS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 3, 2024

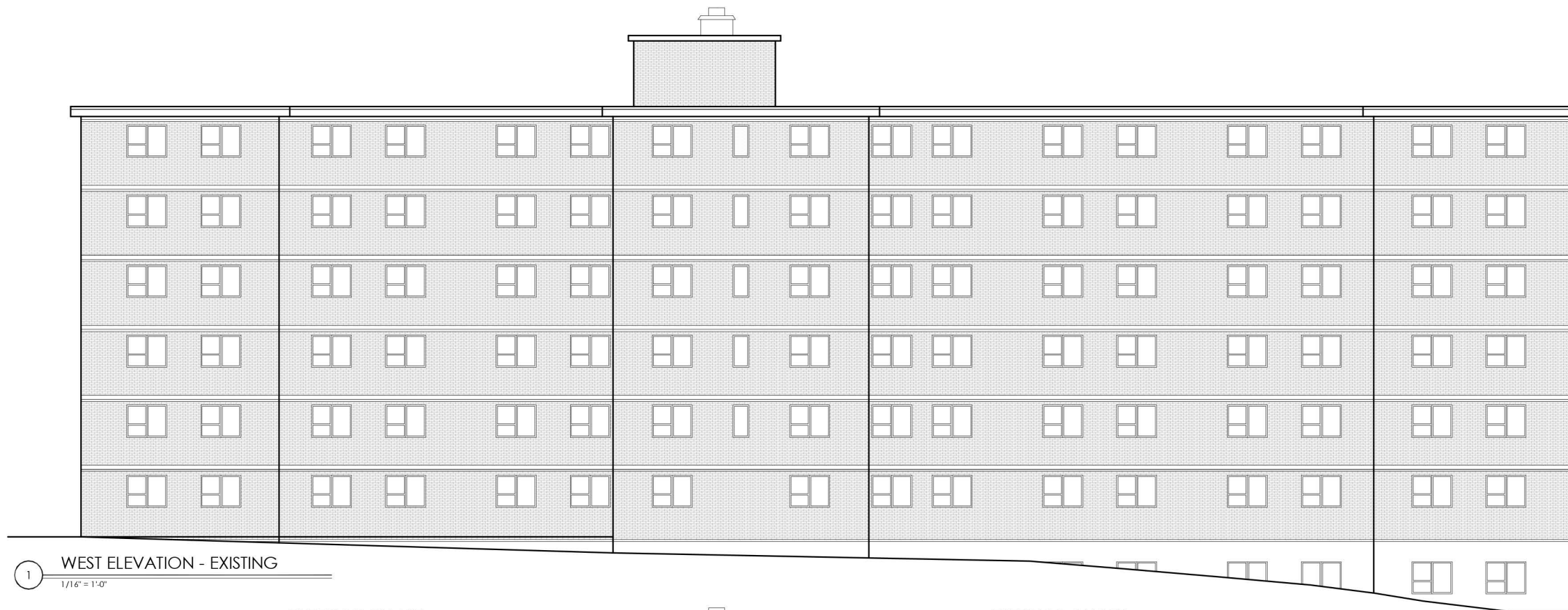


PORTSMOUTH  
HOUSING

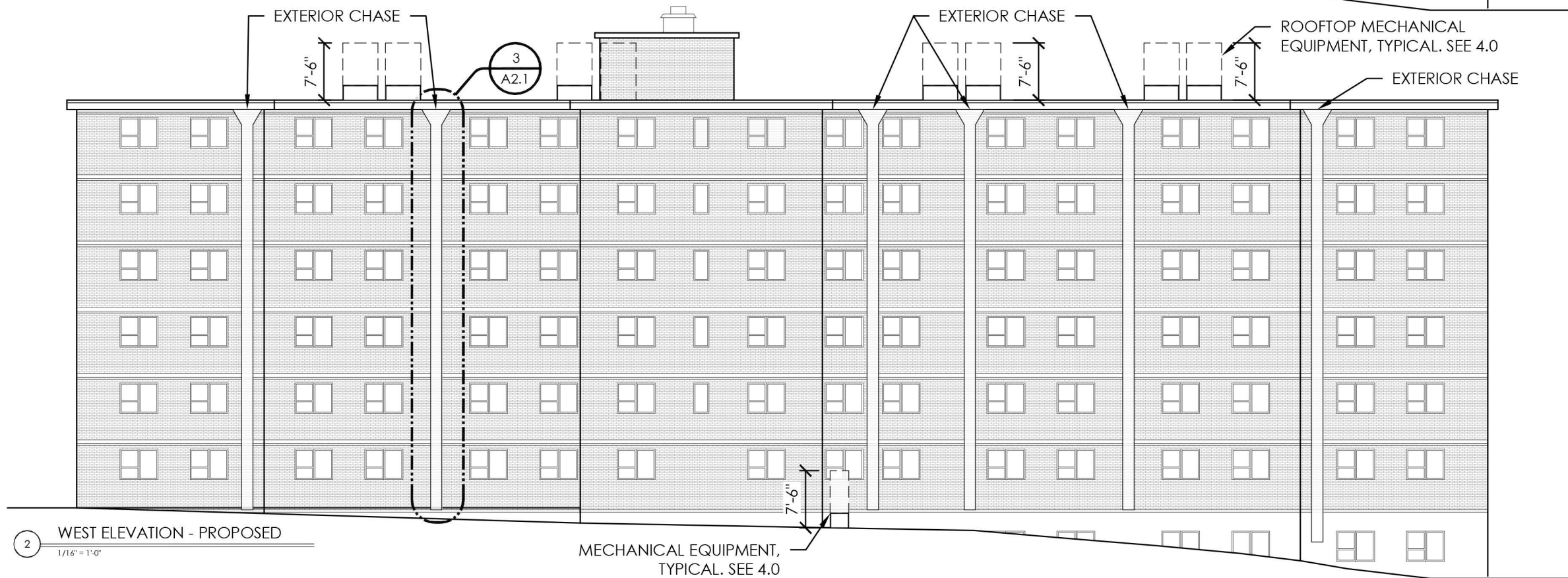


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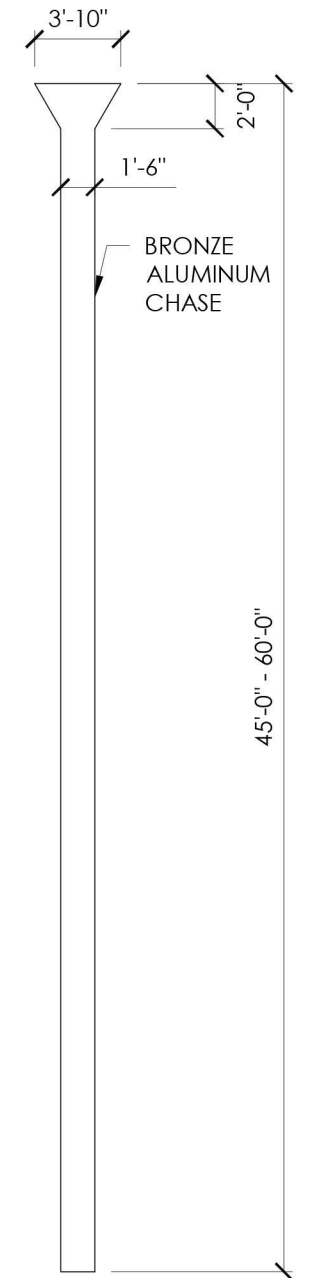
1 WEST ELEVATION - EXISTING  
1/16" = 1'-0"



2 WEST ELEVATION - PROPOSED  
1/16" = 1'-0"



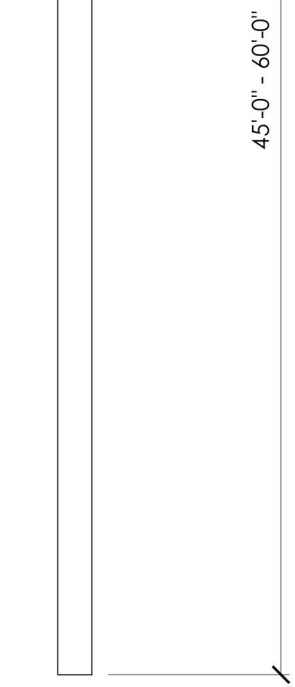
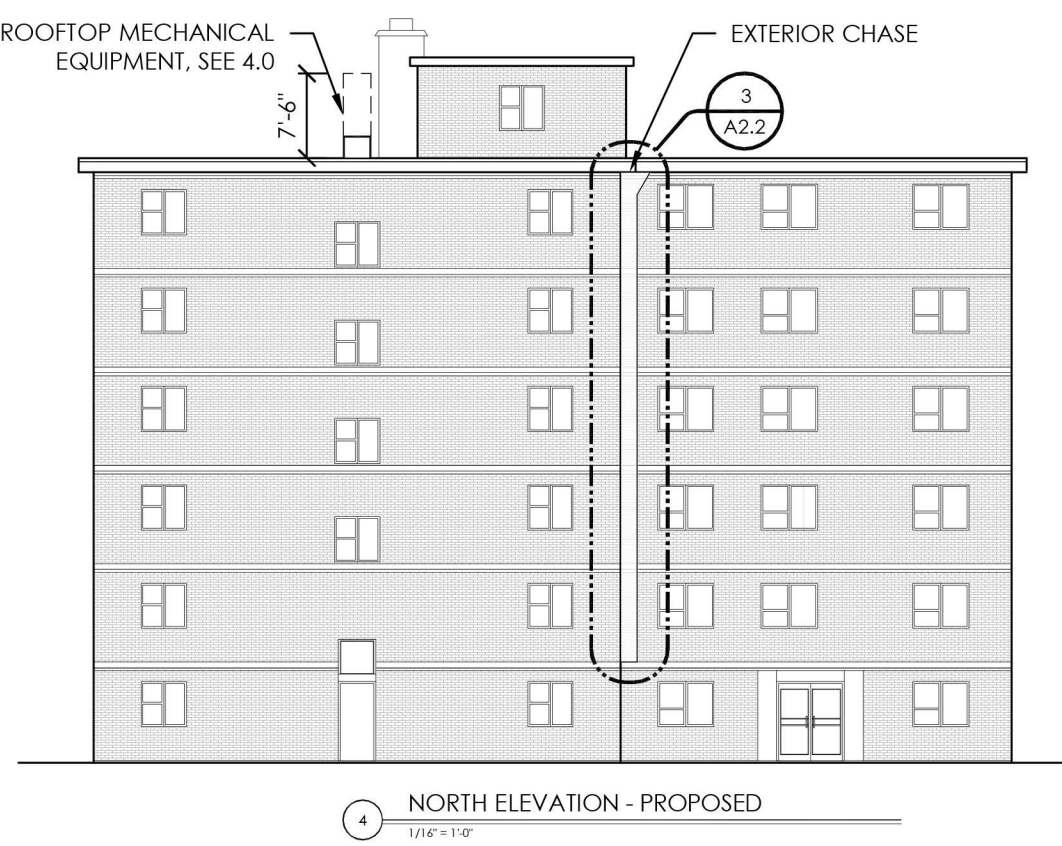
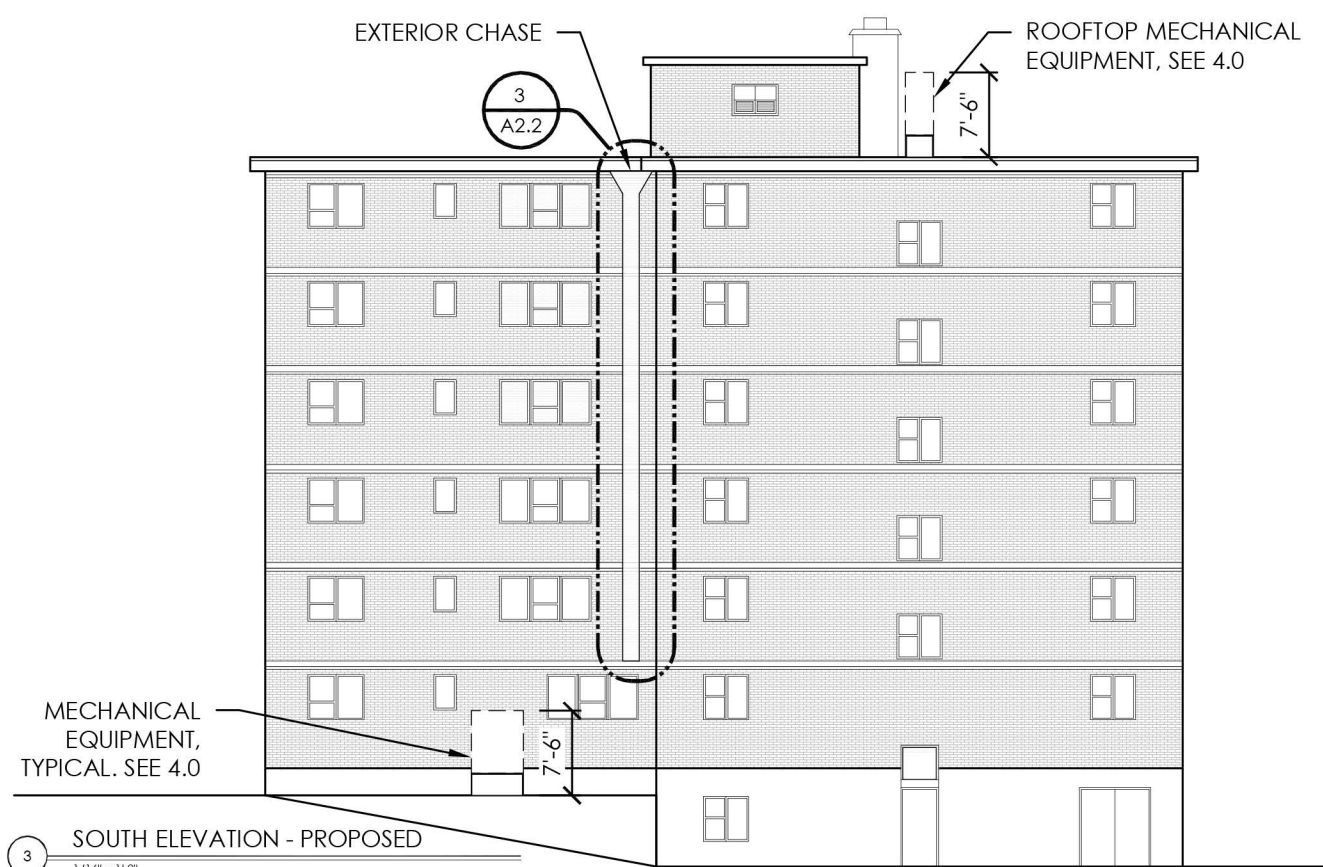
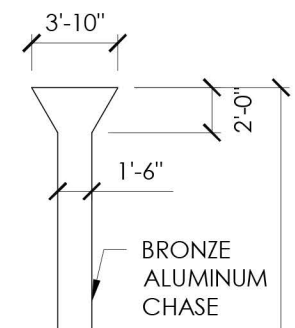
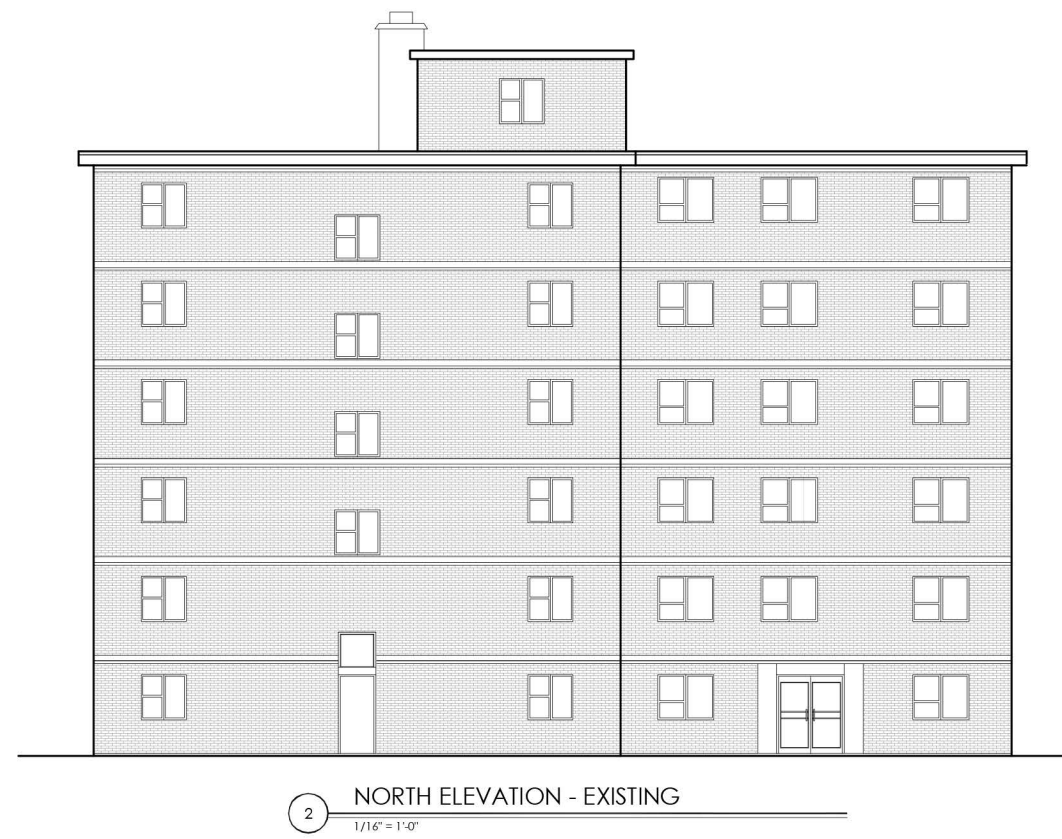
BRONZE ALUMINUM COVER



3 EXTERIOR CHASE  
1/8" = 1'-0"







3 SOUTH ELEVATION - PROPOSED  
1/16" = 1'-0"

4 NORTH ELEVATION - PROPOSED  
1/16" = 1'-0"

3 EXTERIOR CHASE  
1/8" = 1'-0"

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

NORTH & SOUTH ELEVATIONS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 3, 2024

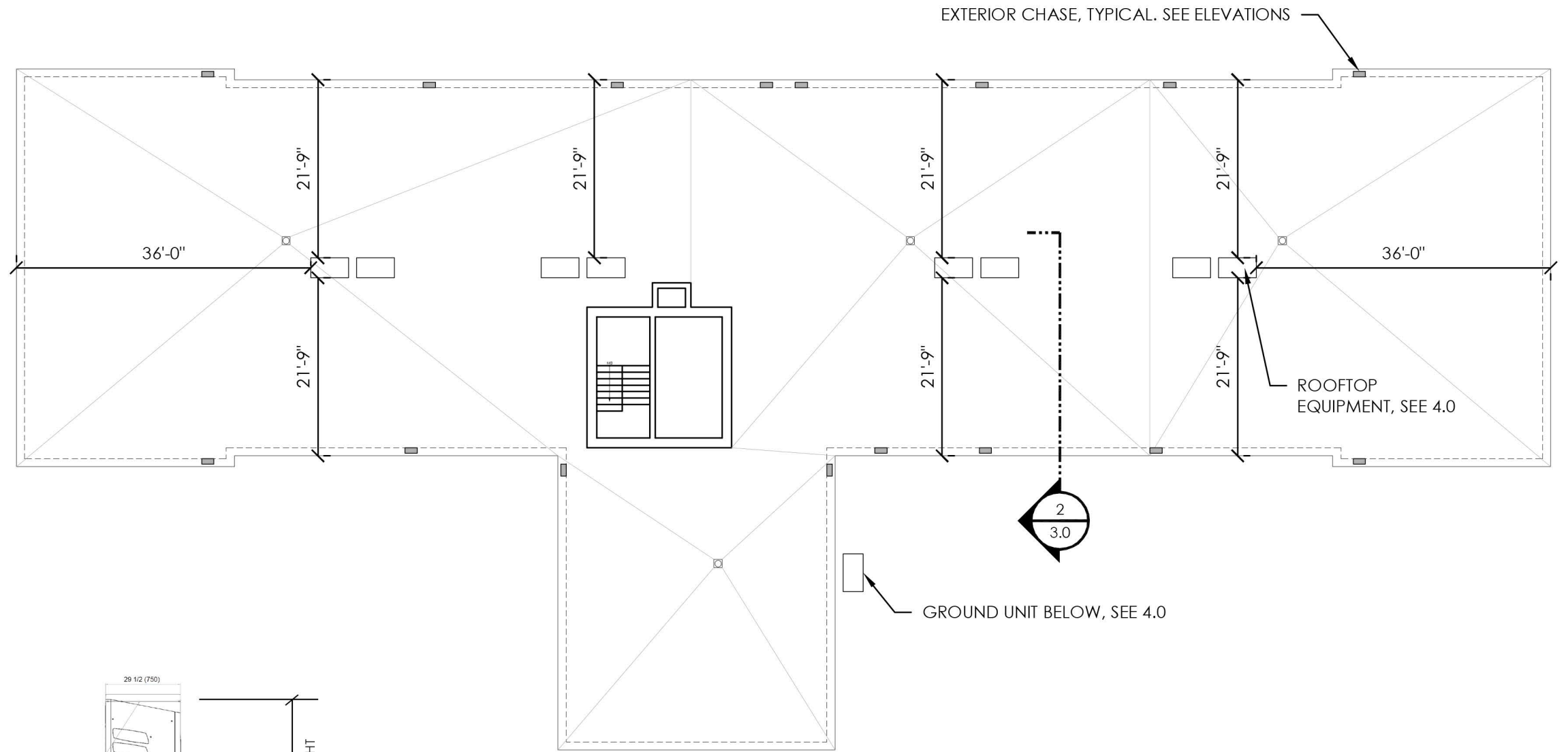


PORTSMOUTH  
HOUSING

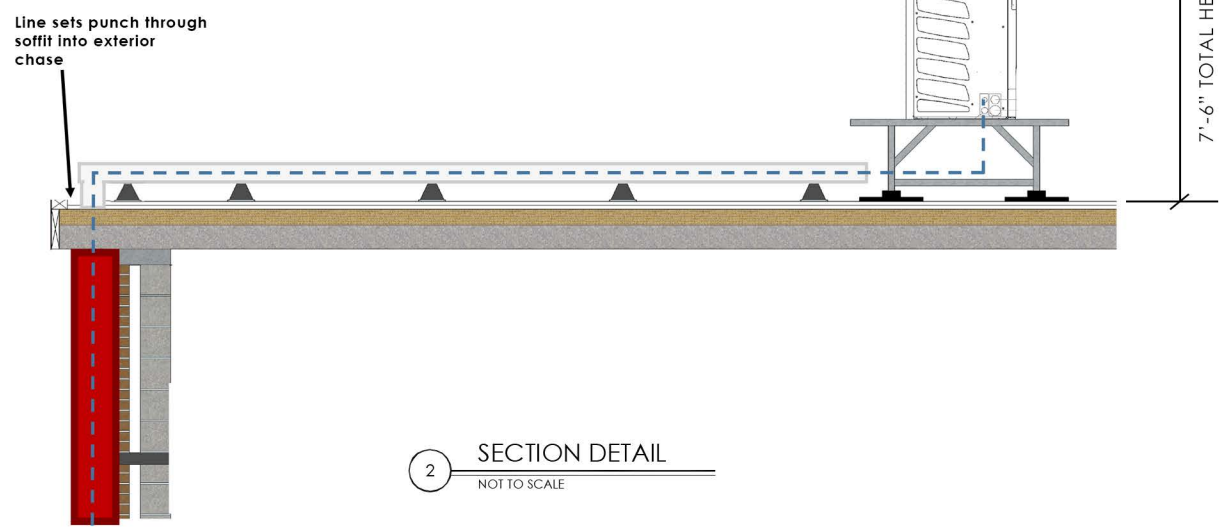


2.2





1 ROOF PLAN - PROPOSED  
1/16" = 1'-0"



2 SECTION DETAIL  
NOT TO SCALE



Similar Project—Nutfield Heights, Derry NH  
Exterior chases shown extending up to roof



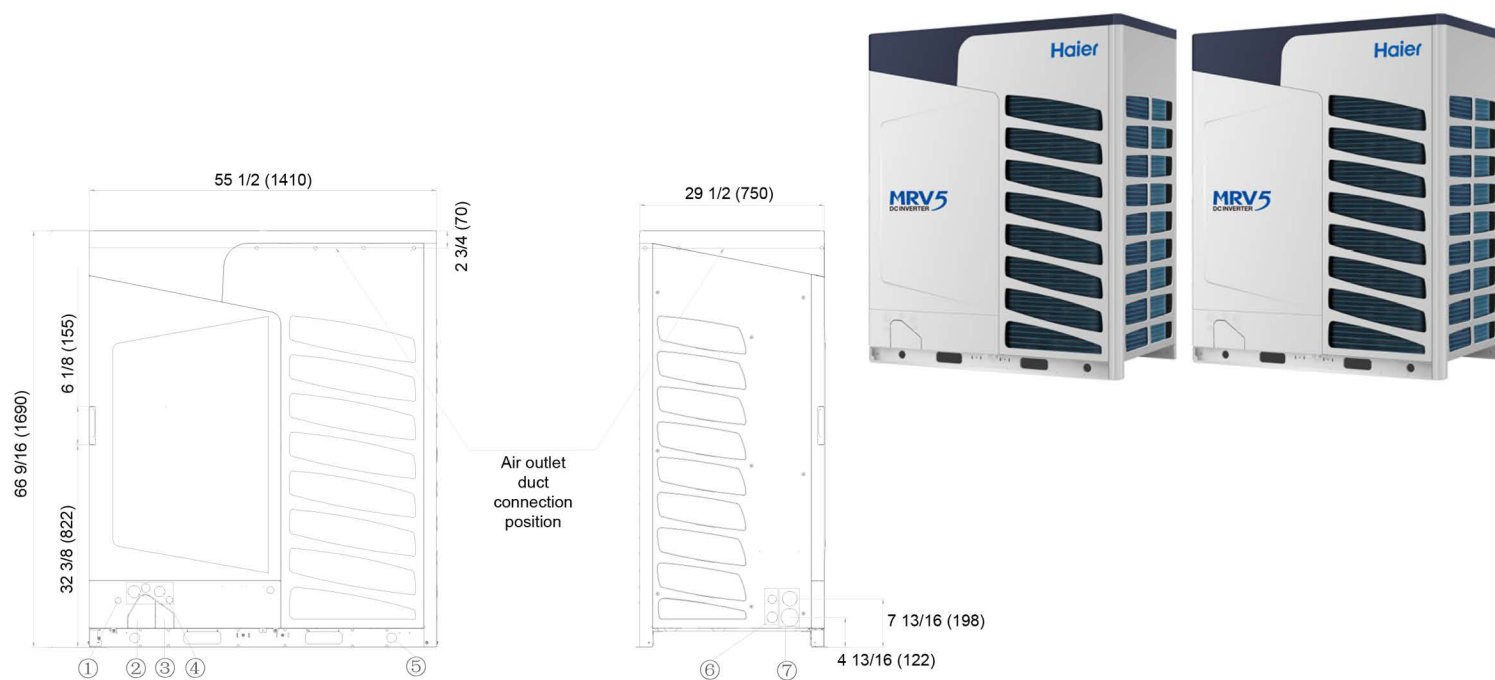
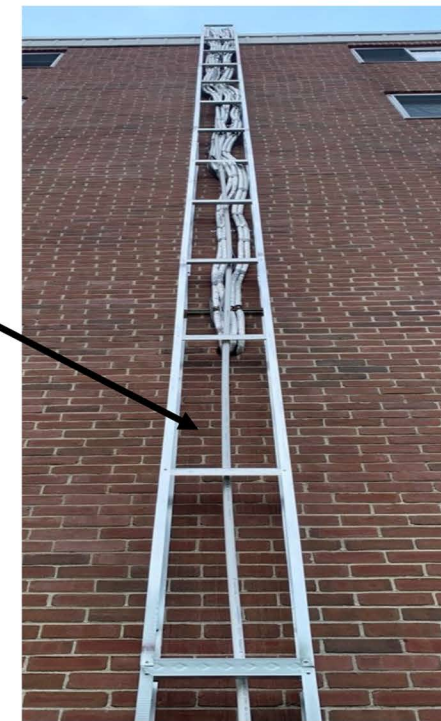
**EXAMPLES FROM A SIMILAR PROJECT  
IN DERRY NH**

Similar Project—Nutfield Heights, Derry NH  
Exterior chases shown extending up to roof

Common drain line serving each indoor unit.

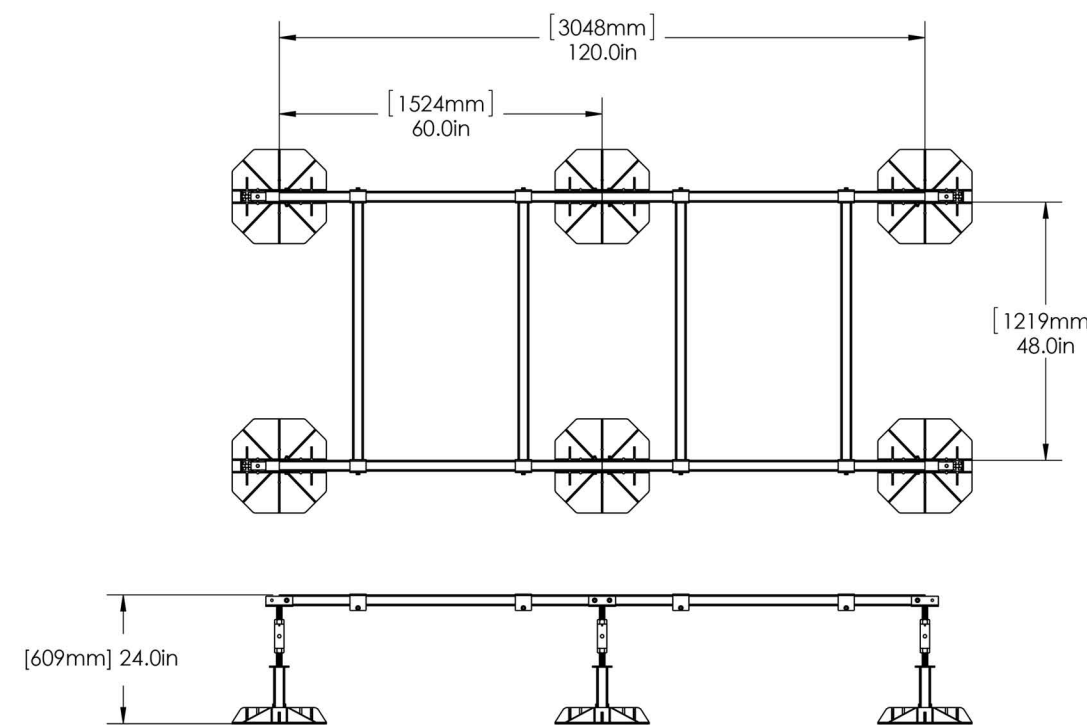
Framing covered with color matched metal panels.

Exterior chases accommodate refrigerant lin-sets, common drains, and electrical



**MECHANICAL EQUIPMENT**

**MANUFACTURER:** HAIER  
**COLOR:** -  
**SPECIFICATION:** MRV 5 SERIES HEAT PUMP (MVHP192ME2CA)



**MECHANICAL STAND**

**MANUFACTURER:** ECOFOOT  
**COLOR:** -  
**SPECIFICATION:** EFMD10-PB5CB484

**6. 179 pleasant Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for landscape improvements (angled stair, cured stair, serpentine wall, straight stair, and hillside retaining wall).

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-719

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 12/15/2023

### Primary Location

179 PLEASANT ST  
Portsmouth, NH 03801

### Owner

MILL POND VIEW LLC  
PO BOX 399 NOTTINGHAM,  
NH 03290

### Applicant

Carla Goodknight  
 603-431-2808  
 carla@cjarchitects.net  
 233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

Landscape Improvements

### Description of Proposed Work (Planning Staff)

## Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.



December 15, 2023

### 179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

Dear Chairman Wyckoff,

This application is for administrative approval of **Landscape Improvements** to the approved design. Please note: There are no changes proposed to the Historic Mansion and Annex building approvals at this time.

There is a significant **30'-0" wide Sewer Easement** along the West property line that will limit backfill opportunities within the easement area. The need for various landscape transitions and steps is further driven by a 6 to 10 foot grade change across the width of the site.

Various strategies have been developed by Terraforma Landscape Architects, in conjunction with staff at DPW, to mitigate these transitions, respect the sewer easement, and still maintain pedestrian access to the majority of the property.

#### EXEMPTIONS FOR REFERENCE:

##### 10.633.20 Exemptions from Certificate of Approval

The following activities shall not require a Certificate from the Commission but require review and certification by the Code Official:

(21) Placement or replacement of terraces, walks, **driveways**, and **sidewalks** and inground swimming pools provided that any such element is substantially at the existing grade plane of the property;

#### POOL:

- **Per Zoning Ordinance:** "Placement or replacement of terraces, walks, driveways, and sidewalks and inground swimming pools provided that any such element is substantially at the existing grade plane of the property;" is exempt from a Certificate of Approval.
- **Compliance:** The pool is located at elevation 13'-6" and the existing grade at the center line of the pool is 13'-0".

#### LANDSCAPE STAIR:

- **Per Zoning Ordinance:** "Placement or replacement of terraces, walks, driveways, and sidewalks and inground swimming pools provided that any such element is substantially at the existing grade plane of the property;" is exempt from a Certificate of Approval.
- **Compliance:** The landscape stair is located between elevations ten and twelve, and existing grade at center of the landscape stair is 9'-6".



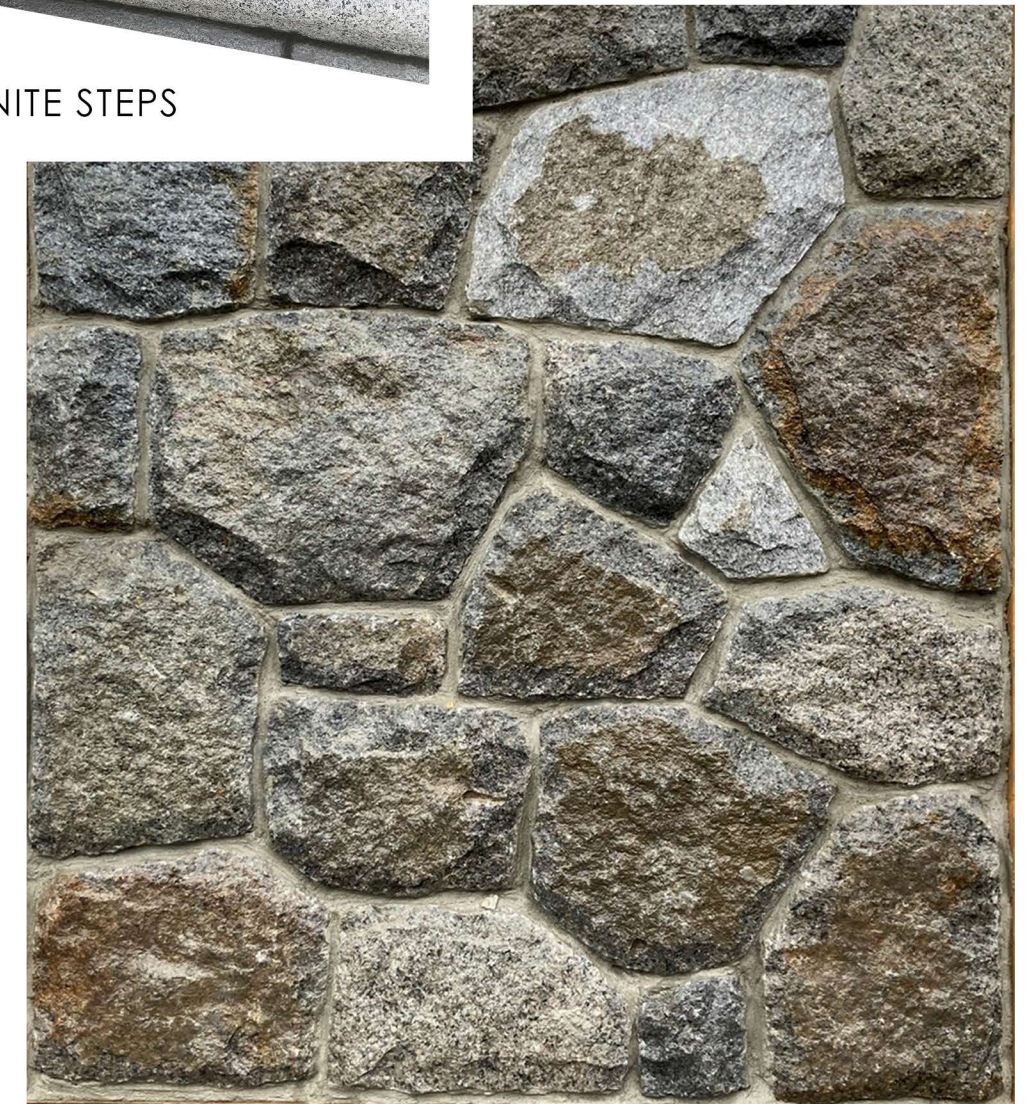
GRANITE TERRACE



GRANITE STEPS



GRANITE WALL CAP



STONE VENEER WALL MOCKUP



# 1 ANGLED STAIR

- Construction: Stone Veneer wall, Solid Granite steps, Granite capstone, granite pavers
- Dimensional Notes: The retaining wall is approximately 30" high and slopes down along the stairs. Overall length is approximately 19'-0".

# 2 CURVED STAIR

- Construction: Stone Veneer wall, Solid Granite steps, Granite capstone, granite pavers, with an iron rail.
- Dimensional Notes: The retaining wall is approximately 6'-7" high and slopes down along the stairs. Overall length is approximately 15'-6".

# 3 SERPENTINE WALL

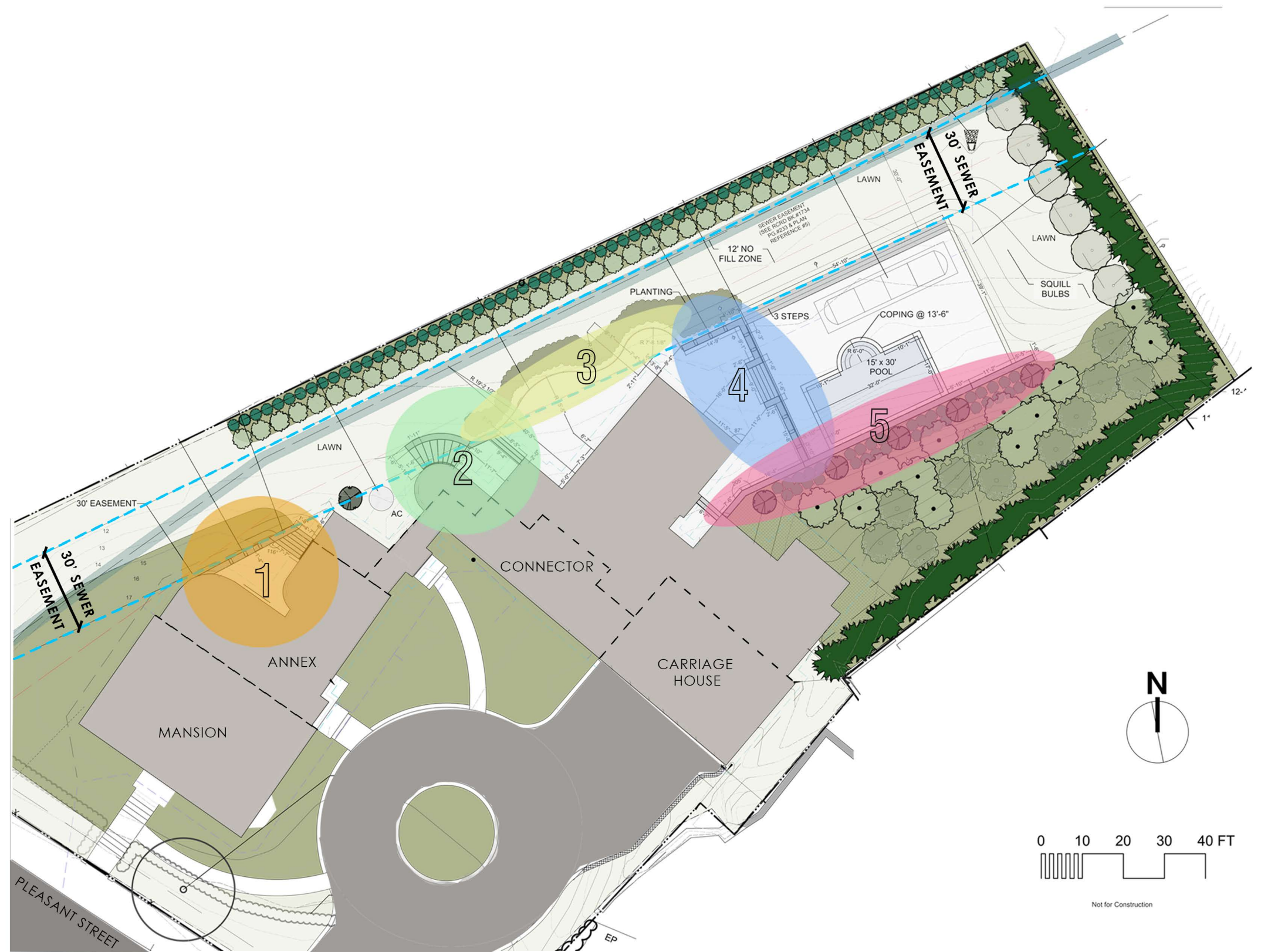
- Construction: Stone Veneer wall, Granite capstone, granite pavers, with an iron rail.
- Dimensional Notes: The retaining wall is between five and six feet high. Overall length is approximately 50'.

# 4 STRAIGHT STAIR

- Construction: Stone Veneer wall, Solid Granite steps, Granite capstone, and granite pavers.
- Dimensional Notes: The retaining wall is approximately 29" high. Overall length of each section of wall is approximately 38' and 16' respectively.

# 5 HILLSIDE RETAINING WALL

- Construction: Stone Veneer wall, Granite capstone.
- Dimensional Notes: The retaining wall is between 3'-6" and 5'-6" high along the hillside. Overall length is approximately 86'.



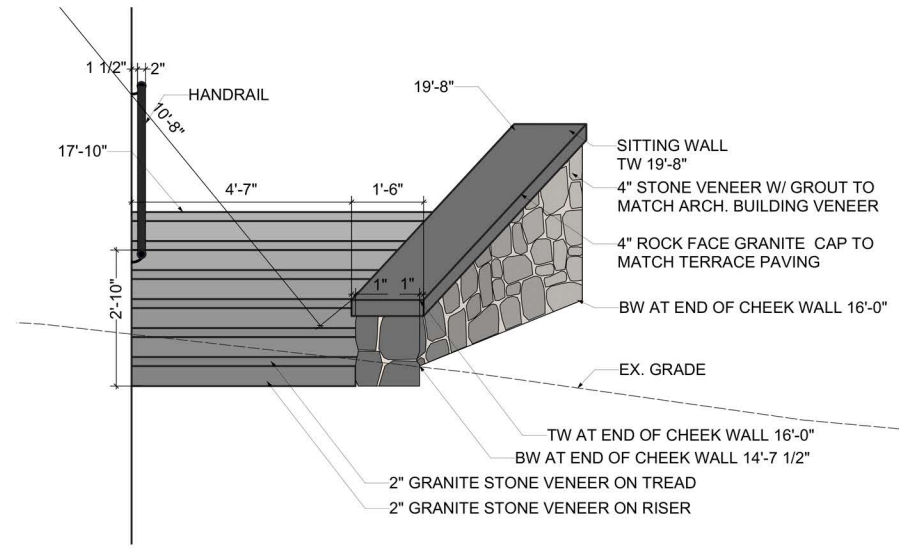
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

## SUMMARY & LANDSCAPE PLAN

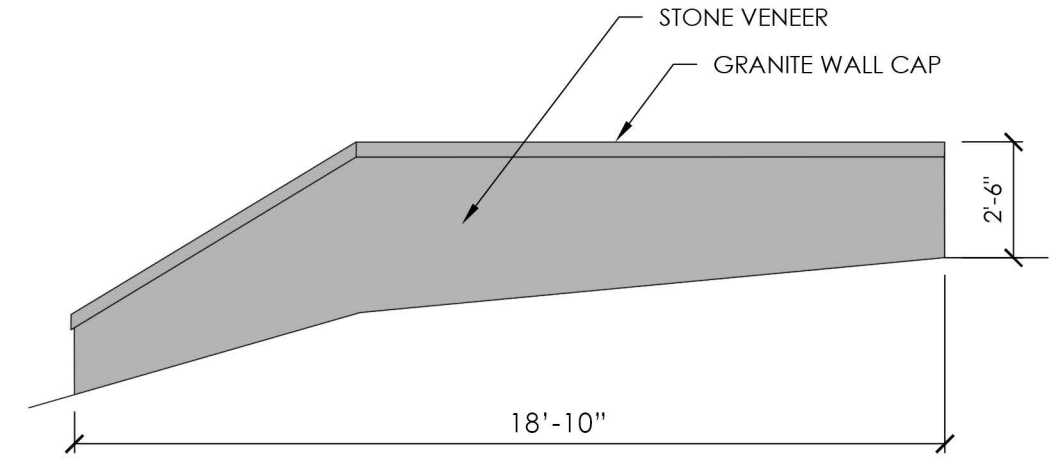
HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 3, 2024



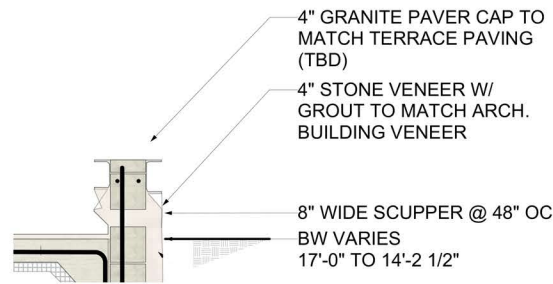




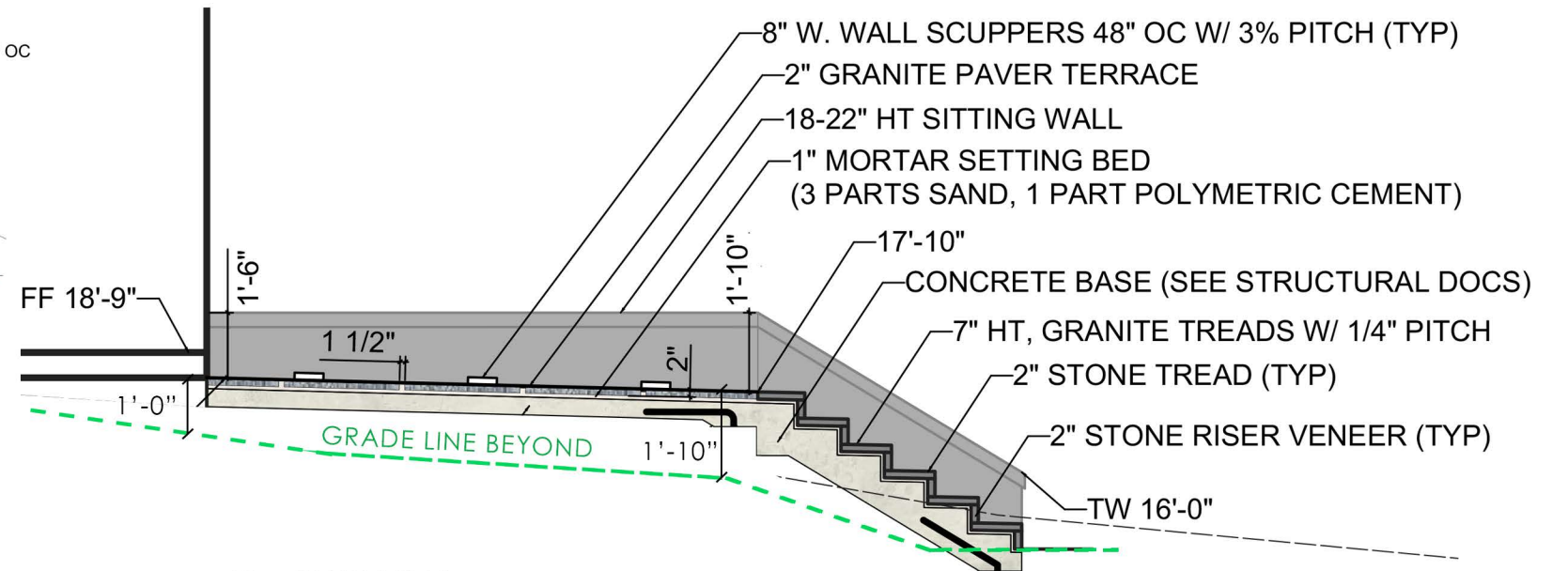
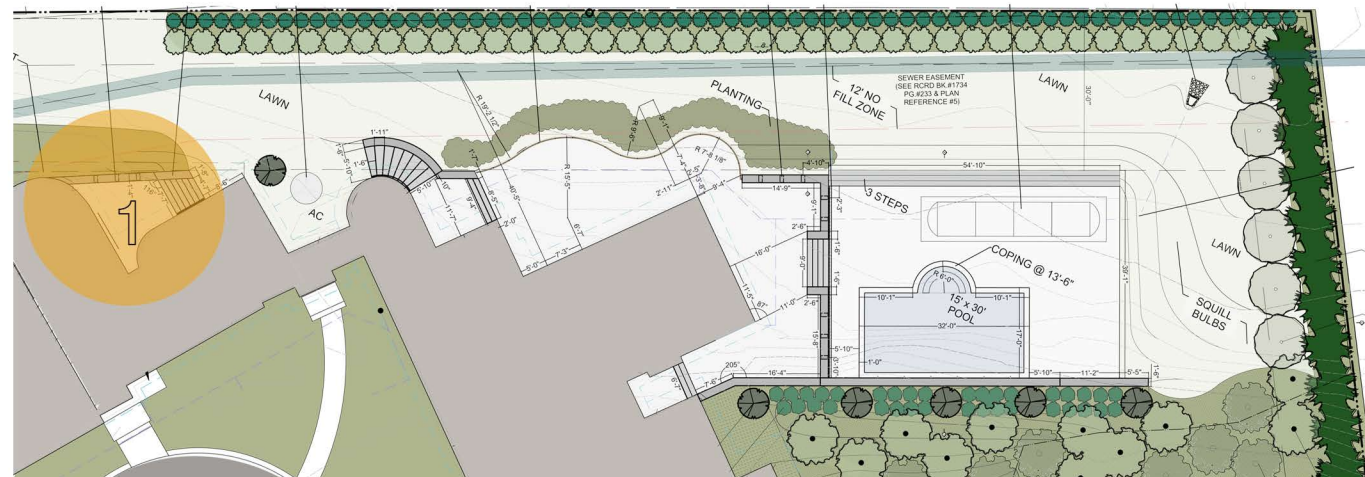
ELEVATION



ELEVATION



CAP DETAIL



A SECTION

1 ANGLED STAIR

LOCATION & DIMENSIONAL INFORMATION

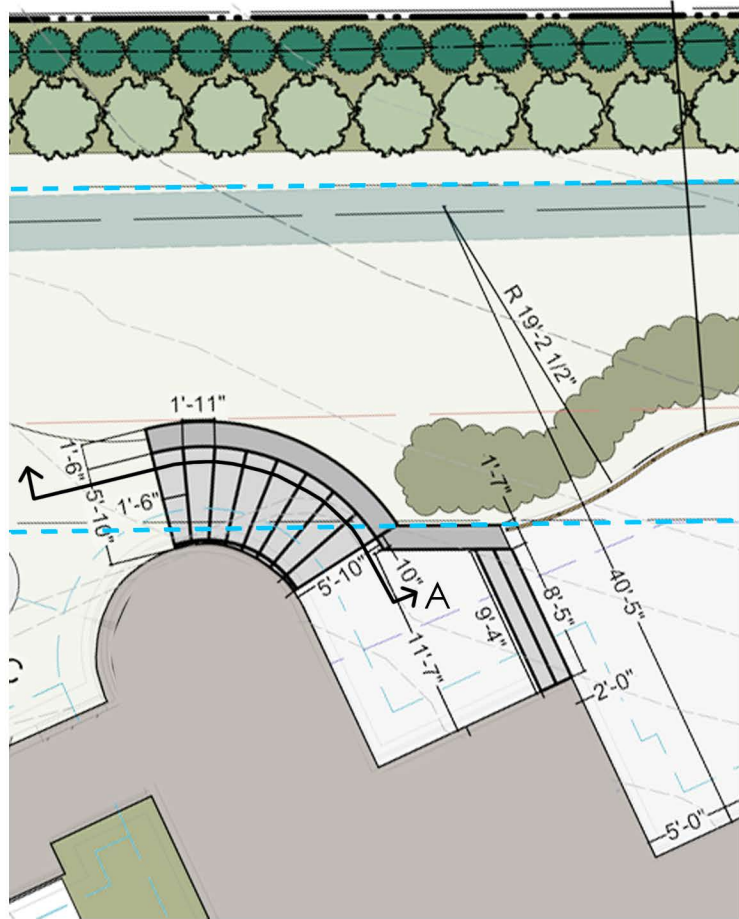
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE WALLS

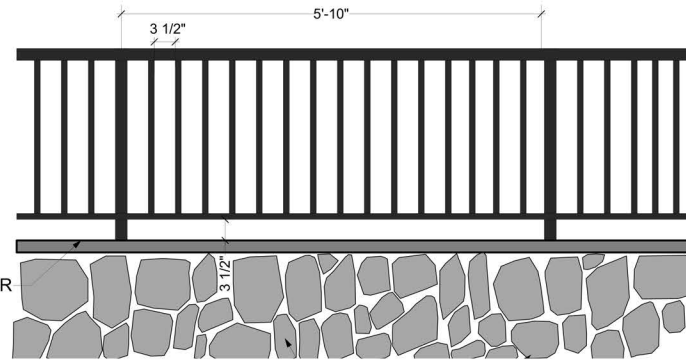
HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 3, 2024



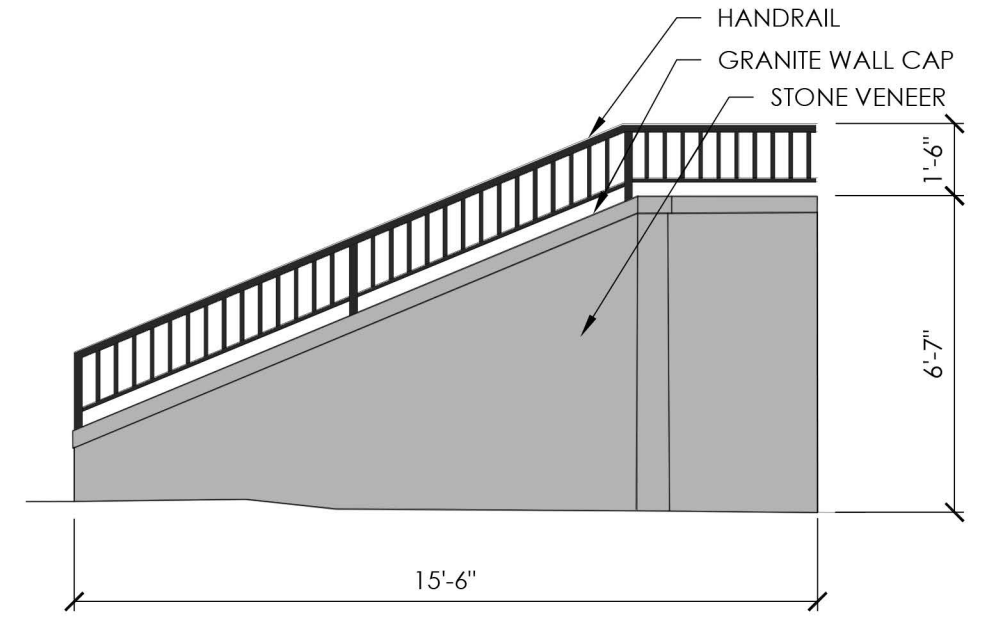
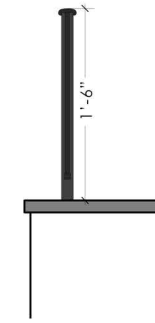
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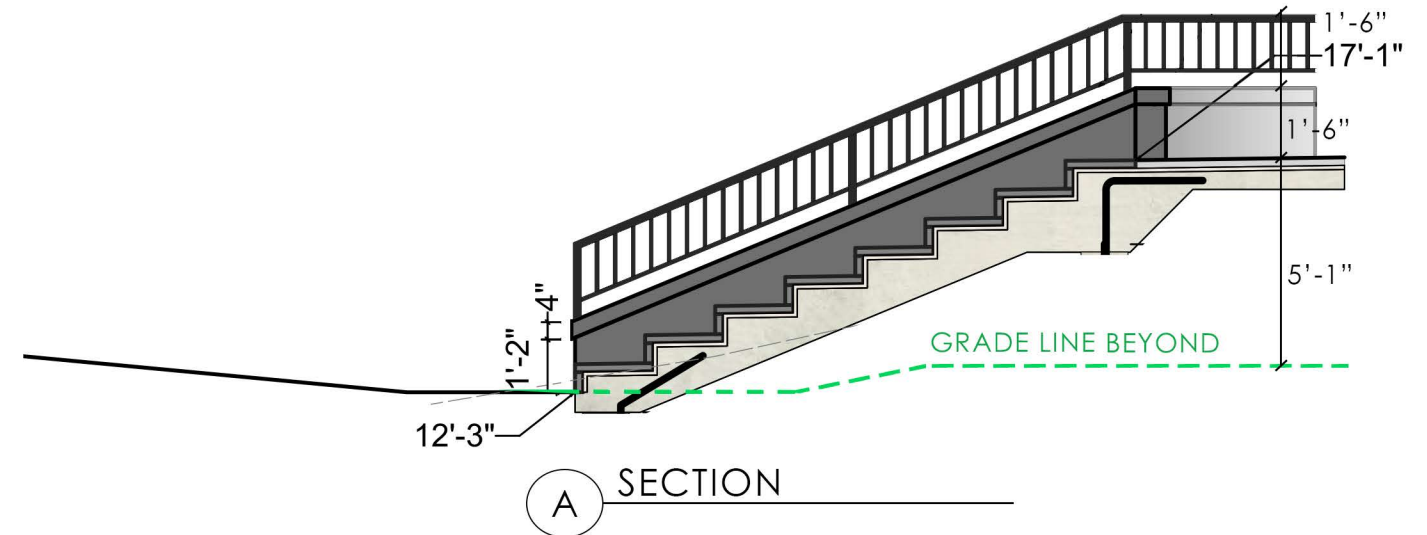
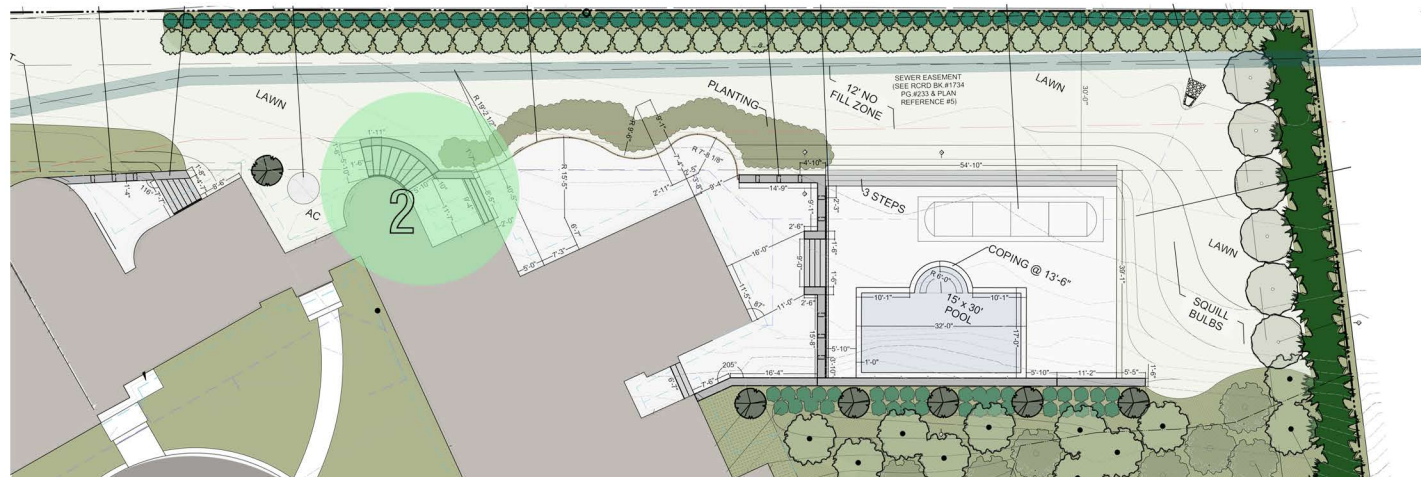
GRANITE PAVER



RAILING DETAIL



ELEVATION



A SECTION

2 CURVED STAIR

LOCATION & DIMENSIONAL INFORMATION

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

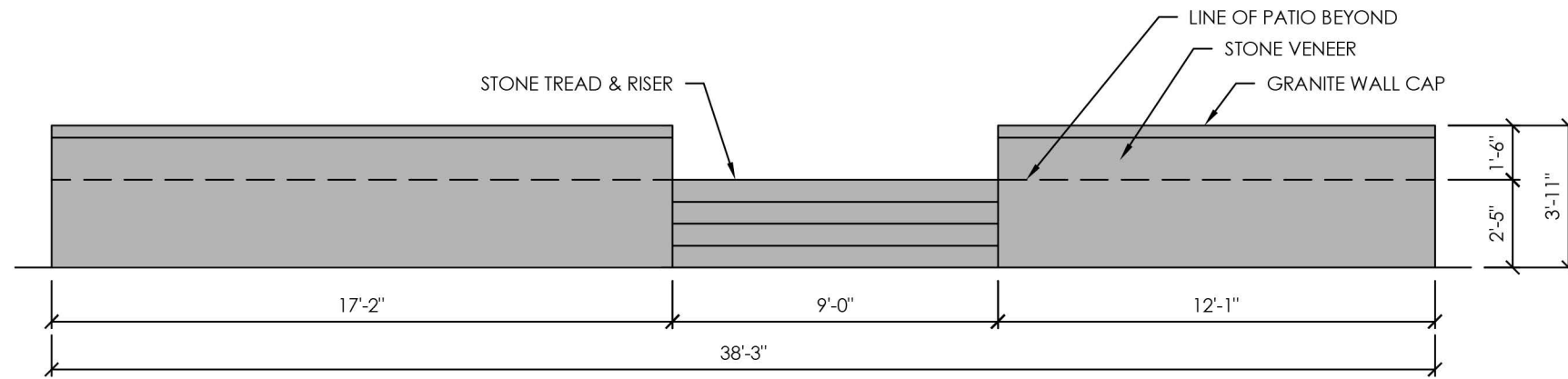
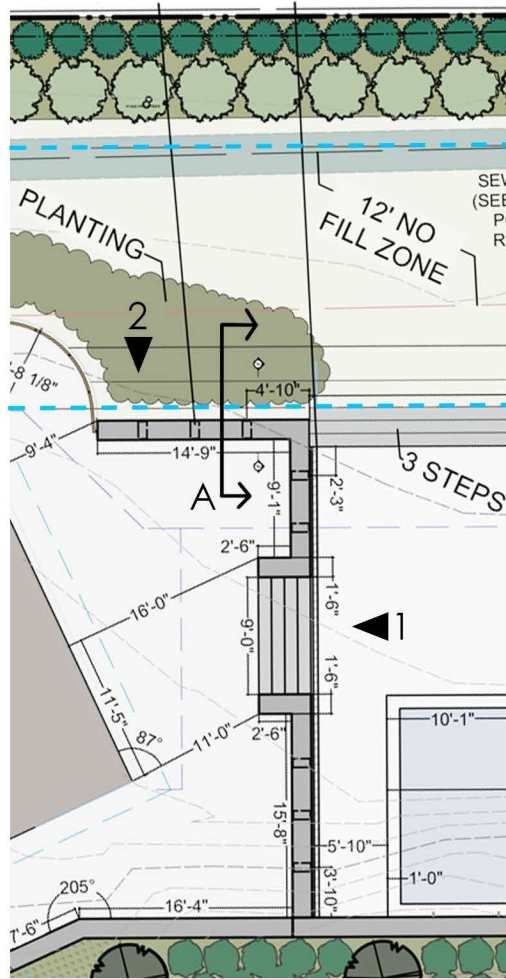
PROPOSED LANDSCAPE WALLS

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 3, 2024

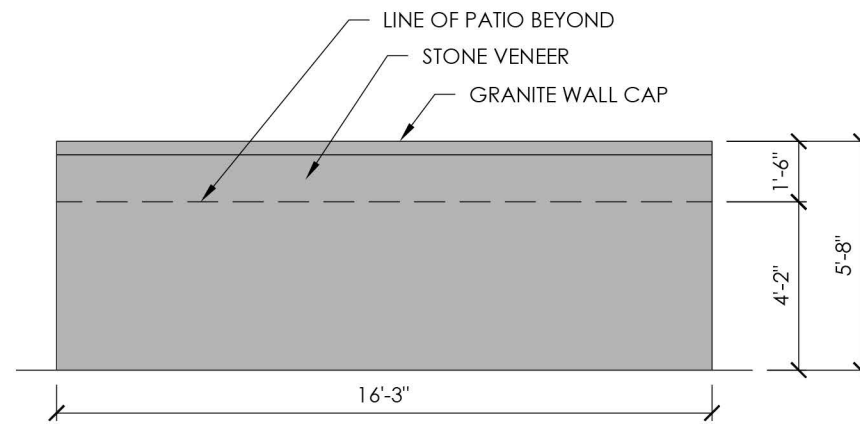




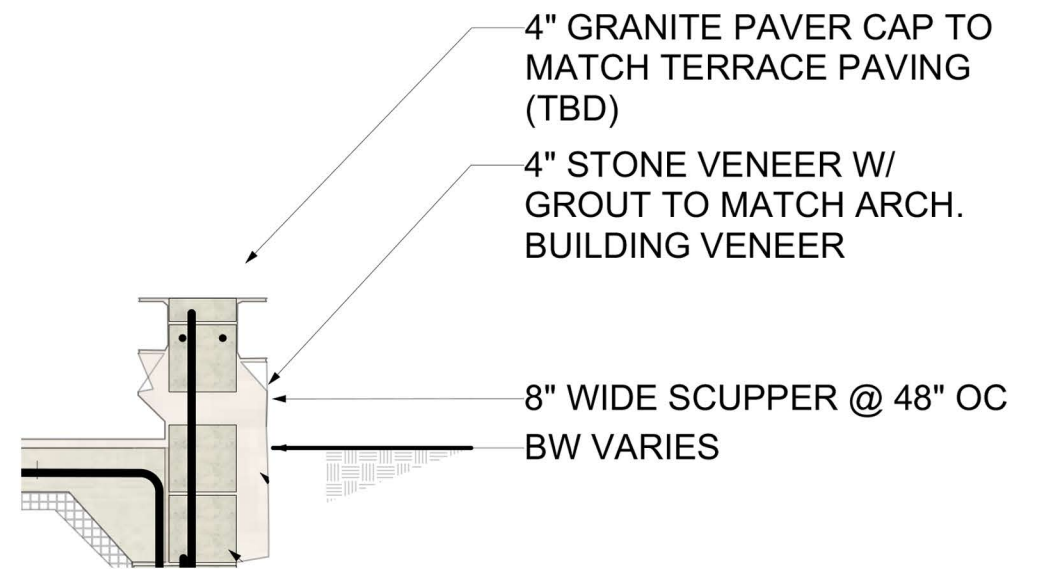




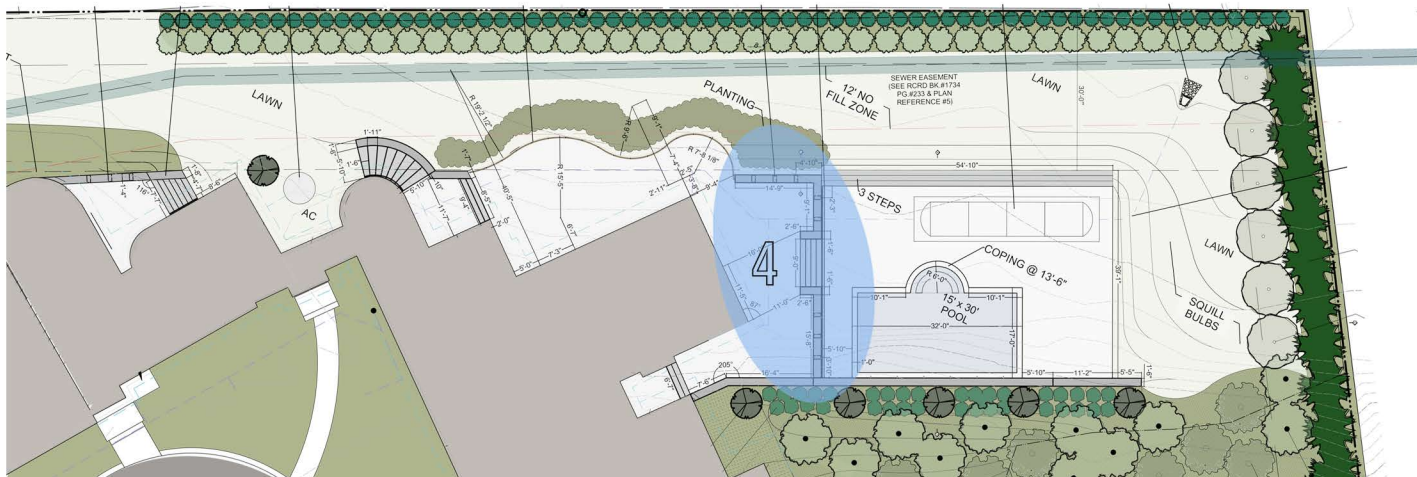
ELEVATION 1



ELEVATION 2



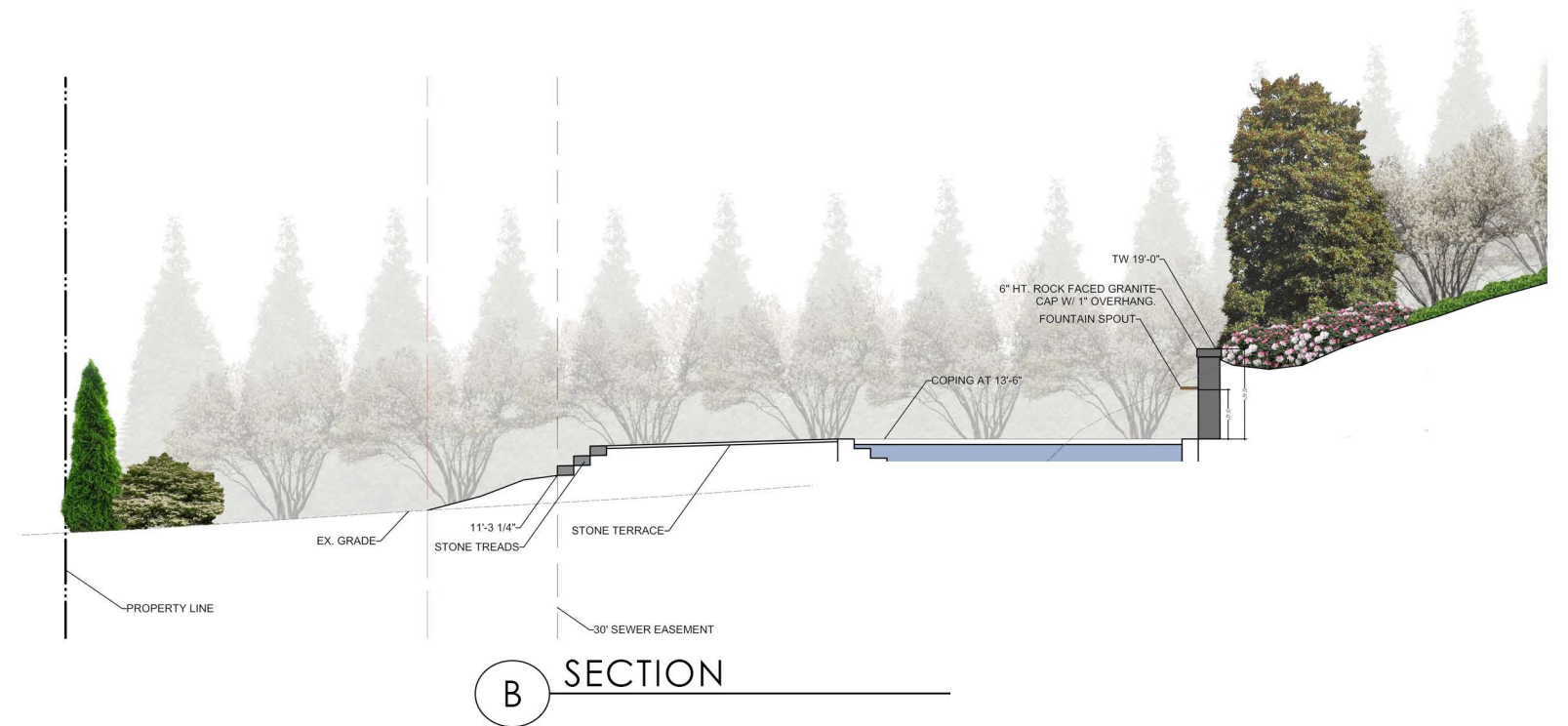
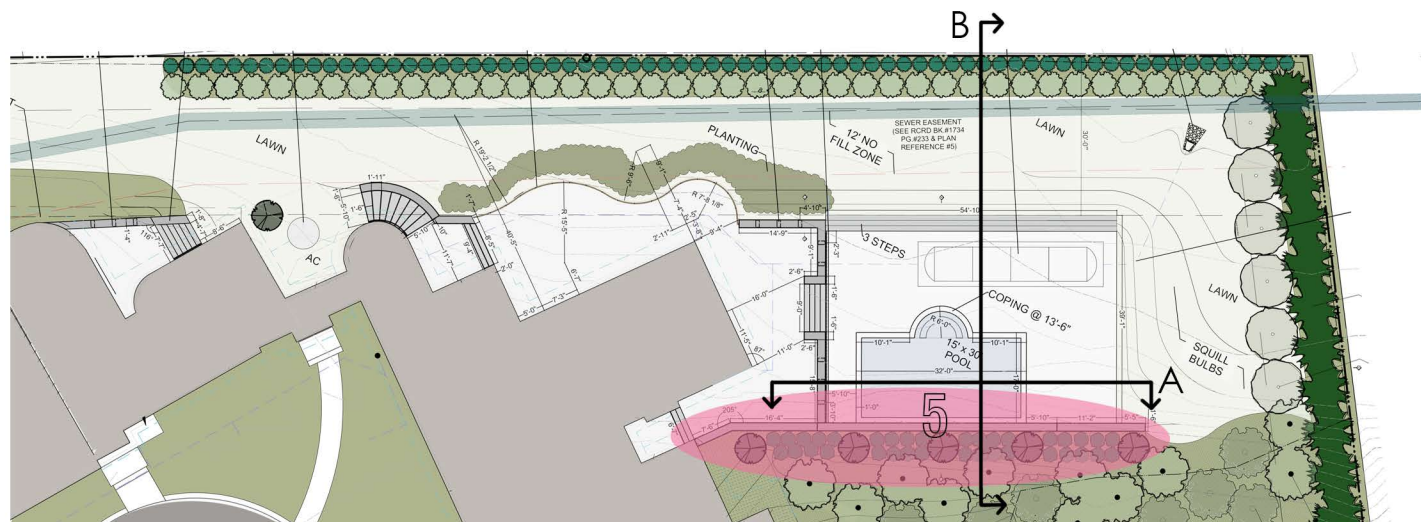
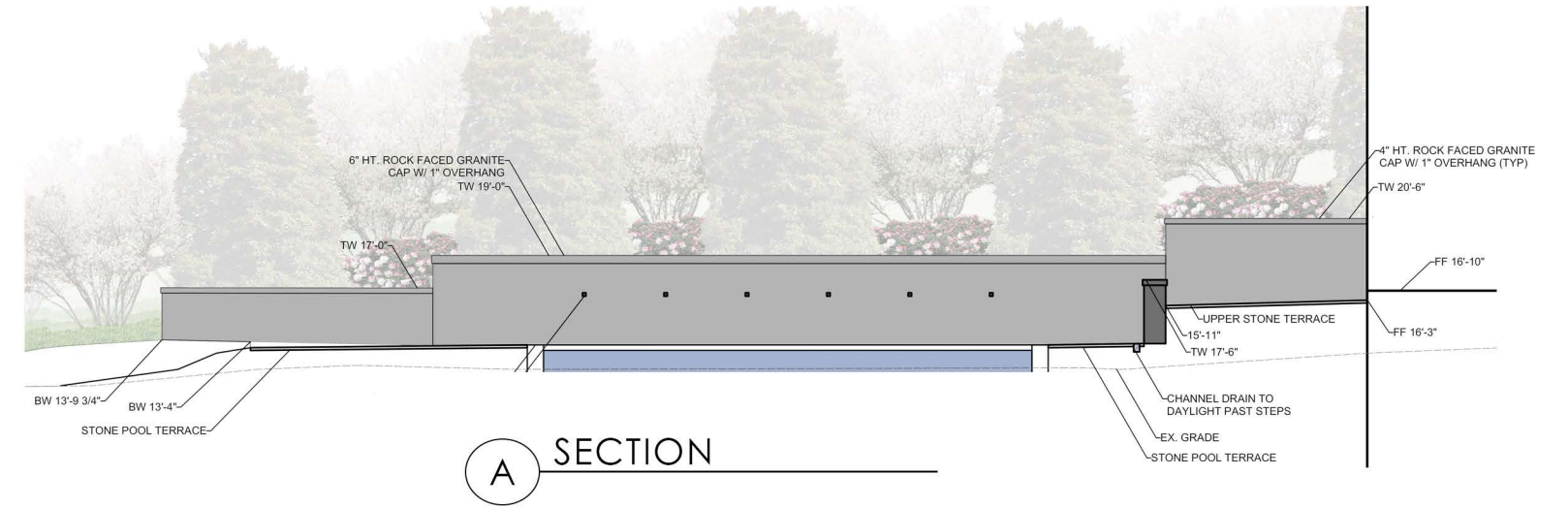
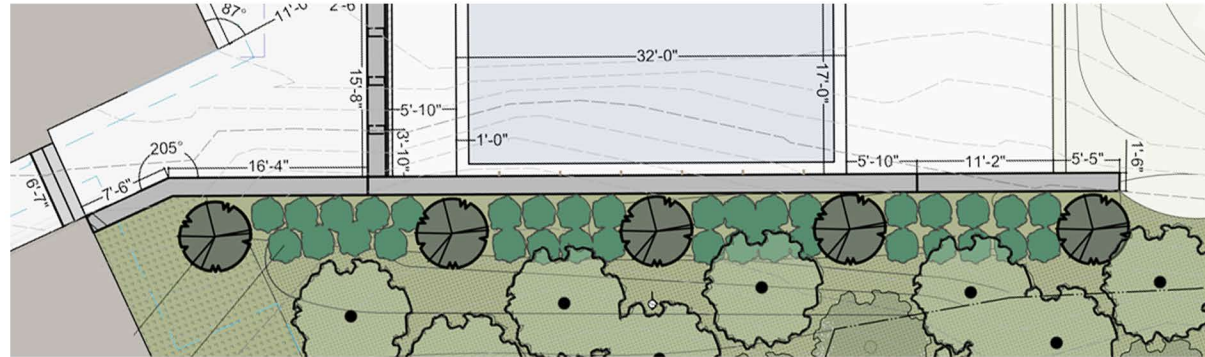
A SECTION



4 STRAIGHT STAIR

LOCATION & DIMENSIONAL INFORMATION





5 HILLSIDE RETAINING WALL

LOCATION & DIMENSIONAL INFORMATION

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE WALLS

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 3, 2024



2.4

**7. 385 Islington Street, Unit #3 -Recommended Approval**

**Background:** The applicant is seeking approval for the installation of a Tesla EV charger.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



## LUHD-720

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 12/18/2023

### Primary Location

385 ISLINGTON ST  
Portsmouth, NH 03801

### Owner

PUZZO JOSEPH G  
ISLINGTON 385  
PORTSMOUTH, NEW  
HAMPSHIRE (NH) 03801

### Applicant

Joseph Puzzo  
 603-630-9814  
 jgpuzzo2@gmail.com  
 385 Islington st Unit 2  
Portsmouth, NEW  
HAMPSHIRE (NH) 03801

## Application Type

Please select application type from the drop down menu below

Alternative Project Address

Administrative Approval

## Project Information

### Brief Description of Proposed Work\*

The owner of the second unit at 385 Islington Street Portsmouth NH, Joe Puzzo, is requesting approval to install a Tesla Charging Pedestal at the back right of the driveway. This is a standard Tesla Pedestal and can be found here <https://shop.tesla.com/product/wall-connector-pedestal>. Conduit has already been installed in the ground by contractor when City Sewer work was requested as the ground was already dug up. The 383-385 Islington st Condo association has already taken a vote and is in unanimous agreement. The Vehicle will be parked such that it is backed into the parking space and the pedestal will align with the charge port perfectly. The position is in the back right of the parking lot as this location is out of the way.

Description of Proposed Work (Planning Staff)

# **385 Islington St - HDC Application**

## **Tesla Charging Pedestal**

Joseph G Puzzo

Email: [jgpuzzo2@gmail.com](mailto:jgpuzzo2@gmail.com)

Phone: (603)-630-9814

December 18, 2023



**Proposal:**

The owner of the second unit at 385 Islington Street Portsmouth NH, Joe Puzzo, is requesting approval to install a Tesla Charging Pedestal at the back right of the driveway ( see figure 1 ). This pedestal can be found at this url: <https://shop.tesla.com/product/wall-connector-pedestal> and an image has been included in this document ( see figure 2 ). Conduit ( yellow ) has already been installed in the ground by contractor when City Sewer work was requested as the ground was already dug up. The 383-385 Islington st Condo association has already taken a vote and is in unanimous agreement to allow.

Figure 1:

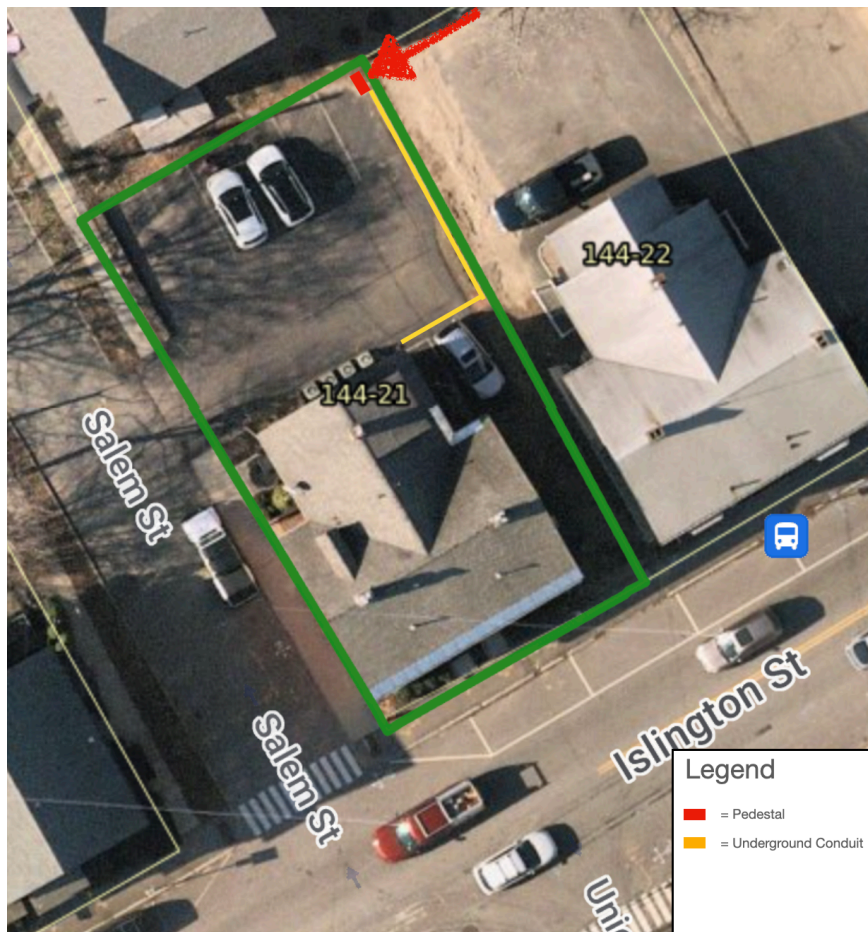


Figure 2:



Note this pedestal and all work done since the owner, Joe Puzzo, has acquired the property has and will continue to improve the appearance of the property on Islington st. See the before and after photos where ugly fence and un-groomed landscaping was previously removed ( see figure 3 )

Figure 3: “Before → After”





The following picture has been photoshopped to show where the pedestal will be located on the property ( Figure 4 ). Note this will be located at the far back corner of the property installed next to existing shrubbery.



Included in the following Figures are the views from public roadways. Figure 5 depicts the view of this parking lot from Islington St, Figure 6 shows it from Salem Street. Red arrow indicates location of pedestal.



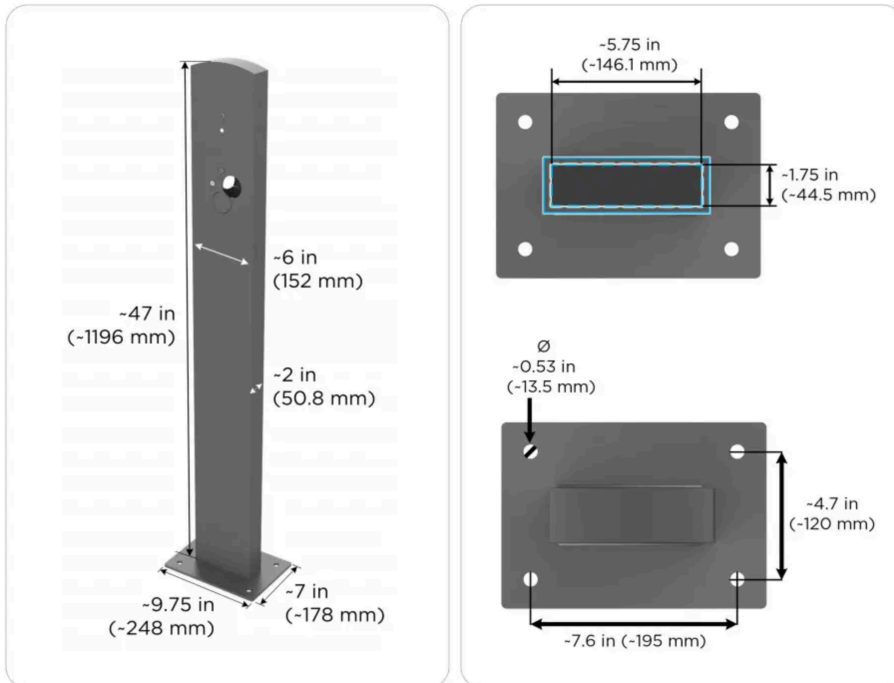
Figure6:



Figure5:



Below are the dimensions of the pedestal to be installed:



If any additional information is required please feel free to call or email Me via contact informations included in the cover page of this document.

**8. 72 Islington Street, Unit #1 -TBD**

**Background:** The applicant is seeking approval for a change in roofing material (from tin to rubber) and trim material (from wood to a composite material).

**Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



### LUHD-721

Historic District  
Commission Work  
Session or Administrative  
Approval Application  
Status: Active  
Submitted On: 12/27/2023

### Primary Location

72 ISLINGTON ST  
Portsmouth, NH 03801

### Owner

ISLINGTON STREET  
HOLDINGS LLC  
27 GROVE ST GREENLAND,  
NH 03840

### Applicant

GEORGE Baryames  
 603-502-5915  
 gbaryames@gmail.com  
 27 Grove St  
Greenland, NH 03840-2342

## Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

72 Islington St

## Project Information

### Brief Description of Proposed Work\*

Restore/Repair main building portico. The roofing material failed resulting in rot to fascia, soffit and structural components of the the root.

### Description of Proposed Work (Planning Staff)

## Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.\*

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction\*



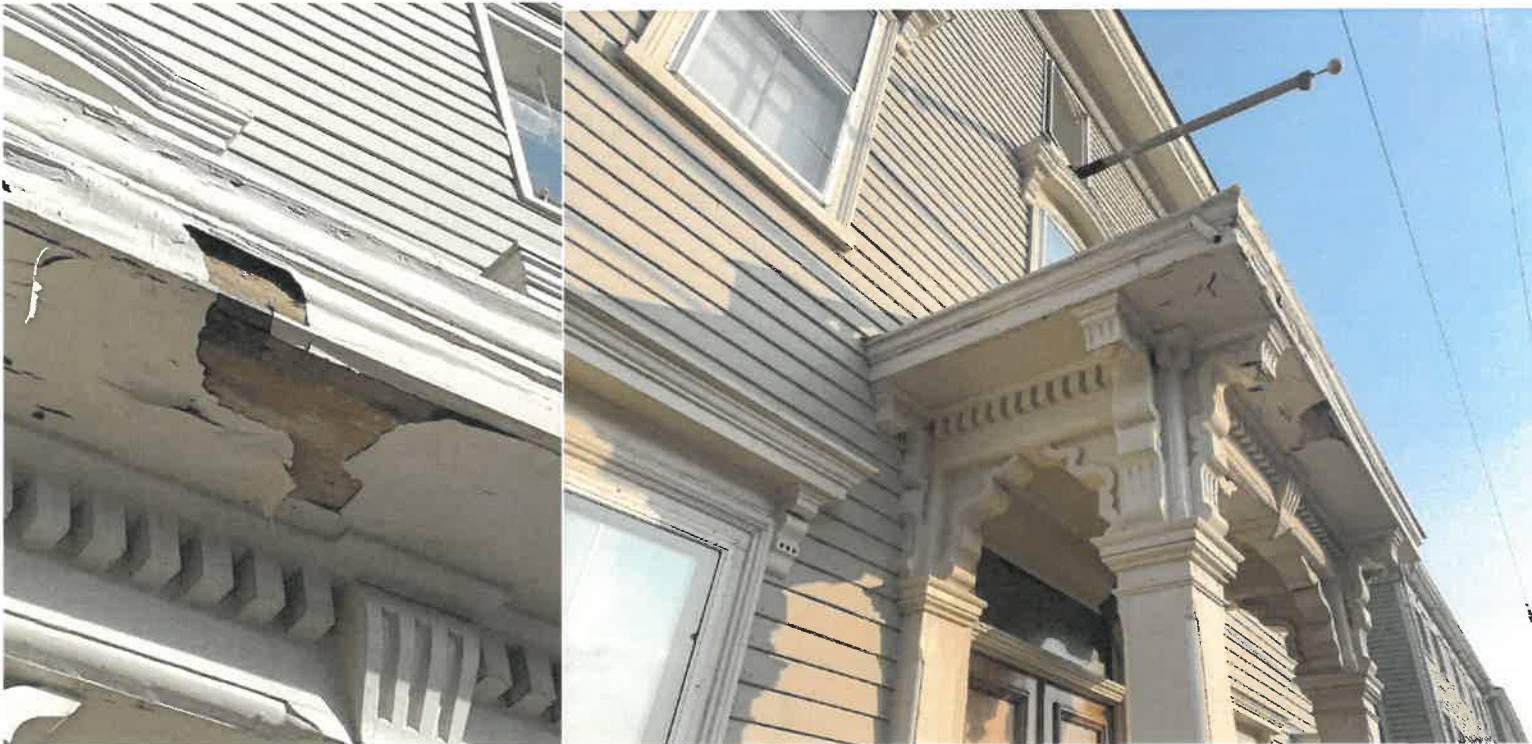
To whom this may concern,

The portico located at 72 Islington Street is in need of repair. The existing metal/tin roof has failed resulting in extensive rot to the portico. Over the years we have attempted to repair the existing roof by apply various coating to stop the leaking. Unfortunately the coating have failed. As the pictures show below, the fascia, soffit and modelling are rotten and are in need of replacement.

We would like to replace the rotten fascia and soffit with smooth Azek material(spec shee provided below) that has the same demension as the the existing wood material. From the photo you can the fascia is smooth and soffit it smooth painted wood. Replacing it with Azek will provide the same look and feel.

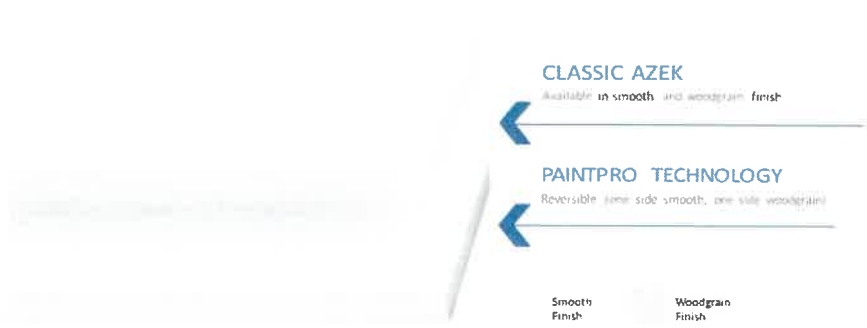
The detrotive trim will be replaced with either a PVS material or wood depending on which one has the matching profile.

The roof will be replaced with a rubber roof, the roof work will be completed by Carnes and Sons. I have attached the estimate that describes the materials that will be installed.





We would like to use the following Classic smooth AZEK materials to replace the fascia and soffit.



**CLASSIC AZEK**

Available in smooth and woodgrain finish

**PAINTPRO TECHNOLOGY**

Reversible (one side smooth, one side woodgrain)

Smooth Finish

Woodgrain Finish

**AZEK TRIM**

SHEET					
ACTUAL	8'	10'	12'	18'	20'
1/2" x 4"	SW	SW	S	S	
3/4" x 4"	SW/P	SW/P	SP	S	
1" x 4"	S	S	S	S	
1 1/4" x 4"	SW/P	SW/P	S	S	
1 1/2" x 4"	S	S	S	S	S

3/4" X THICKNESS			
NOMINAL	ACTUAL	18'	
3/4" x 4"	1 1/8" x 3 1/2"	S	
3/4" x 6"	1 1/8" x 5 1/2"	S	
3/4" x 8"	1 1/8" x 7 1/2"	S	
3/4" x 10"	1 1/8" x 9 1/2"	S	
3/4" x 12"	1 1/8" x 11 1/2"	S	

1/2" X THICKNESS			
NOMINAL	ACTUAL	20'	
1/2" x 4"	1 1/8" x 3 1/2"	W	
1/2" x 6"	1 1/8" x 5 1/2"	W	
1/2" x 8"	1 1/8" x 7 1/2"	W	
1/2" x 10"	1 1/8" x 9 1/2"	W	
1/2" x 12"	1 1/8" x 11 1/2"	W	

8/4" X THICKNESS					
NOMINAL	ACTUAL	12'	16'	18'	20'
5/8" x 4"	1 1/4" x 3 1/2"	SW	P	SW	SW
5/8" x 5"	1 1/4" x 5 1/2"	SW		SW	SW
5/8" x 6"	1 1/4" x 7 1/2"	SW	P	SW	SW
5/8" x 8"	1 1/4" x 9 1/2"	SW	P	SW	SW
5/8" x 10"	1 1/4" x 11 1/2"	SW	P	SW	SW
5/8" x 12"	1 1/4" x 13 1/2"	SW	P	SW	SW
5/8" x 14"	1 1/4" x 15 1/2"	SW	P	SW	SW

4/4" X THICKNESS				
NOMINAL	ACTUAL	12'	16'	18'
1 x 2	1 3/4" x 1 1/2"		P	SW
1 x 3	1 3/4" x 2 1/2"		P	
1 x 4	1 3/4" x 3 1/2"	SW	P	SW
1 x 5	1 3/4" x 4 1/2"	SW		SW
1 x 6	1 3/4" x 5 1/2"	SW	P	SW
1 x 8	1 3/4" x 7 1/2"	SW	P	SW
1 x 10	1 3/4" x 9 1/2"	SW	P	SW
1 x 12	1 3/4" x 11 1/2"	SW	P	SW
1 x 14	1 3/4" x 13 1/2"	SW	P	SW

5/8" X THICKNESS		
ACTUAL	12'	18'
5/8" x 3 1/2"	SW	SW
5/8" x 5 1/2"	SW	SW
5/8" x 7 1/2"	SW	SW
5/8" x 9 1/2"	SW	SW
5/8" x 11 1/2"	SW	SW
5/8" x 13 1/2"	SW	SW

Smooth Finish (S) Woodgrain Finish (W) PaintPro Technology (P)



PaintPro Sheet Sheet ATM Sheet AZEK

**SHEET**

AZEK TO MILL					
ACTUAL	8'	10'	12'	18'	20'
1 1/4" x 3 1/2"				S	
1 1/4" x 5 1/2"				S	
1 1/4" x 7 1/2"				S	
1 1/4" x 9 1/2"				S	
1 1/4" x 11 1/2"				S	
1 1/4" x 13 1/2"	S				
1 1/4" x 48" Sheet	S	S	S	S	S

Applications over 16" wide are easy with AZEK Sheet. Use Sheet for bay windows, dormers, and raised panels.

**AZEK-TO-MILL (ATM)**

ATM's thick profile makes it an ideal material for fabrication. Its consistent density offers a superior product for milling operations.



[www.azek.com](http://www.azek.com)





**J. Carnes & Son Roofing**

153 Lafayette Rd #7  
Hampton Falls, NH 03844 Phone:  
603-772-1209

**Company**

Jason Lewis Phone: (603) 772-1209 [jasonlewis@jcarnesroofing.com](mailto:jasonlewis@jcarnesroofing.com)

**George Baryames**  
72 Islington Street  
Portsmouth, NH 03801  
(603) 502-5915

Job: George Baryames

**Rubber EPDM Roofing Section**

**EPDM ROOF**

**ESTIMATE**

06/12/2023

**Representative**

#### Install EPDM .060 Rubber Roof System

The following scope is for installing a CARLISLE / MULE-HIDE Single-Ply Fully Adhered EPDM Rubber Roof system.

THE FOLLOWING SCOPE INCLUDES FRONT PORCH ROOF ONLY.

Install a new EPDM .060 rubber roof system. Since each application is unique the following materials may or may not be required to complete the project: New substrate, fastening system, .060 rubber membrane, adhesives, seam tape, cover tape, flashing tape and edge metals.

Remove existing roof down to structural deck. Cost includes removal of ONE existing roof system. Remove wall flashings to a workable surface. Remove existing perimeter drip edging.

Roof Deck will be inspected for damage. Any structural roof deck damage that is not capable of supporting the new roof system or its fasteners will be replaced at an additional cost.

Dispose of and haul away all work related debris.

Furnish and install a layer of 1/2" layer of fiberboard.

Furnish and install CARLISLE / Mule-Hide brand .60 mil EPDM membrane. Membrane will be adhered to prepared substrate using bonding adhesive.

EPDM Roof flashing is used to prevent the passage of water into a structure at termination and tie in points. Flashing is used at all penetrations such as chimneys, vent pipes, and walls to make homes/buildings more durable and to reduce water and moisture infiltration which could result in mold problems.

Areas where there is siding will require the removal and re installation of siding. Existing siding will be re used unless otherwise noted.

Chimneys and brick and or concrete will require a termination bar and/or lead counter flashing to seal and fasten the EPDM rubber membrane.

Install edge metal around the perimeter of the roof. Metal will be tied in using a cured cover flashing tape.

Pipes less than 6" in diameter, furnish and install new prefabricated rubber pipe boot secured at the top with a stainless steel screw type clamp adhered to the field sheet.


Pipes greater than 6" in diameter, furnish and install 60 mil EPDM uncured flashing.

J. Carnes & Son Roofing provides a 10 year workmanship warranty against leaks for all complete roof system installations covering the entire roof deck all newly installed areas.

<b>Sub Total</b>	<b>\$2,505.80</b>
Discount: 5% Cash or Check Payment Discount	(\$125.29)

TOTAL

\$2,380.51

Starting at \$51/month with  • 

**THIS AGREEMENT** made by and between J. Carnes & Son LLC., DBA. J. Carnes & Son Roofing, hereinafter called Contractor and the party listed on the contract hereinafter called the Owner.

**WITNESSETH**, that Contractor and the Owner for the considerations named agree as follows:

**Article 1. Right to Cancel** The Owner may cancel this transaction without penalty within 3 business days of the signed date. To Cancel this transaction mail, email or deliver a signed and dated letter post marked within the time allowed. Send all mailed notices to: J. Carnes & Son LLC. 153 Lafayette Rd Hampton Falls, NH. 03844. Email to: jcarnes@jcarnesroofing.com. If you cancel, any deposits or payments will be returned to you within 10 business days following the receipt of the cancellation notice.

**Article 2. Scope of the Work** Contractor shall furnish all of the materials and perform all of the work shown as described in the description of the attached estimate, as annexed hereto as it pertains to work to be performed on property at the Job Site Address.

**Article 3. The Contract Price** The Owner shall pay Contractor for the work performed under the contract sum listed on the reverse side of this agreement. This amount is subject to additions and deductions pursuant to authorized or required change orders. Payments can be made in the form of personal check, certified check, money order, traveler's checks or credit card. \*Cash or Check discounts are not valid when credit cards or financing are used to fund project.

**Article 4. Progress Payments** Payments of the contract price shall be paid in the following manner: An immediate good faith deposit of \$300 is needed to secure your project on our calendar, this amount will be deducted from the total price. A 50% deposit is required prior to ordering materials. Final payment including any change orders or additions thereto shall be due immediately upon completion of this contract. Statutory interest on the balance due will be applied to all payments not made within three days of completion of this contract. All parties agree that disputes hereunder will be settled through binding arbitration with rules of the American Arbitration Association. \*All financing options are subject to approval through the third party financing company.

**Article 5. General Provisions** Any alteration or deviation from the above specifications, including but not limited to any such alteration or deviation involving additional material and/or labor costs, will be executed only upon a written order for same, signed by Owner and Contractor, and if there is any charge for such alteration or deviation, the additional charge shall be added to the contract price of this contract. If the Owner is not available and it is determined that necessary additional work is required we will make our best judgment with making the necessary repairs according to our pricing policy at that time. Additional layers of roofing materials above and beyond what is specified on this contract will occur an additional charge of \$65 per square per additional layer for removal, clean-up and disposal.

In addition the following general provisions apply:

1. All work shall be completed in a workman-like manner and in compliance with all building codes and other applicable laws.
2. Contractor will furnish a description of the work to be done and a description of the materials to be used and the equipment to be used or installed, in agreed consideration for the work.
3. Contractor may at its discretion engage subcontractors to perform work hereunder, provided Contractor shall fully pay said subcontractor and in all instances remain responsible for the proper completion of this contract.
4. Contractor agrees to remove all debris and leave the premises in broom clean condition.
5. Contractor shall not be liable for any delay due to circumstances beyond its control including weather or general unavailability of materials.
6. Great care will be used to protect the structure and landscape. However, some marring and or minor damage could occur which the contractor is not liable. Customer is responsible for removing any valuables surrounding the perimeter of the home or building that is at risk for damage. Customer is also responsible for removing any window or door screens that risk damage.
7. Tearing off a roof can create amounts of uncontrollable dust in the attic. It is the Customers responsibility to cover or remove any items in the attic that they would not want to expose to these elements. Customer is responsible for the clean-up of the attic if any.
8. Warranty on workmanship only covers the installation of the products according to the manufactures specifications. Product performance is covered by the manufacturer's warranty. Please read manufacturer's warranty carefully.
9. The contractor is not liable for Interior and exterior damage due to acts of God which includes but is not limited to, Hail Storms, Ice and water dams, ponding water, lightning storms, high winds not covered specifically under manufacturer's warranty and wind driven rain.
10. Existing skylights that are not replaced with new skylights when installing a new roof system are not covered against leaks under any warranty provided by the contractor or manufacturer.

**Article 6. Entire Agreement** This is the entire agreement between the parties and cannot be changed or modified orally. This agreement may be supplemented, amended, or revised only by a writing that is signed by each of the parties, except in the event of emergency or unforeseen repairs as described hereinabove.

\*All financing options are subject to approval through the third party financing company.

\*Cash or Check discounts are not valid when credit cards or financing are used to fund project.

---

Company Authorized Signature

---

Date

Customer Signature

Date

**9. 28 New Castle Avenue**

**-Recommended Approval**

**Background:** The applicant is seeking approval for a change in window sizes, to omit infilling the original basement door and for vegetative screening of HVAC equipment.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





## LUHD-722

Historic District

Commission Work

Session or Administrative

Approval Application

Status: Active

Submitted On: 12/28/2023

### Primary Location

28 NEW CASTLE AVE

Portsmouth, NH 03801

### Owner

BARBER SUZANNA ERIN &


POLDRACK KIMERY G


28 New Castle Avenue


PORTSMOUTH, NH 03801

### Applicant

 Kimery Poldrack

 512-789-7119

 kimery28@gmail.com

 28 New Castle Avenue  
Portsmouth, NH 03801

---

## Application Type

Please select application type from the drop down menu below

Alternative Project Address 

Administrative Approval

---

## Project Information

### Brief Description of Proposed Work\*

Item 1: Asking for approval of a change to two windows which were slated to be 6" taller in the plans. As the project progressed, we made the decision to match these new windows to the other new windows in the same room. We thought it would look odd to have just these two windows a different size.

Item 2: Asking for approval to retain the side entry door that was original to the 1913 home. When we initially planned the renovations, it was unknown if we would be able to meet code with the stairs that attached to that original door (from the 1st floor down into the basement). When the stairs worked out for code, we thought the right decision would be to retain the historic original side entry door.

Item 3: We have placed landscaping plantings to cover the outside HVAC equipment locations as requested.















# Historic District Commission Staff Report

Wednesday, January 03, 2024

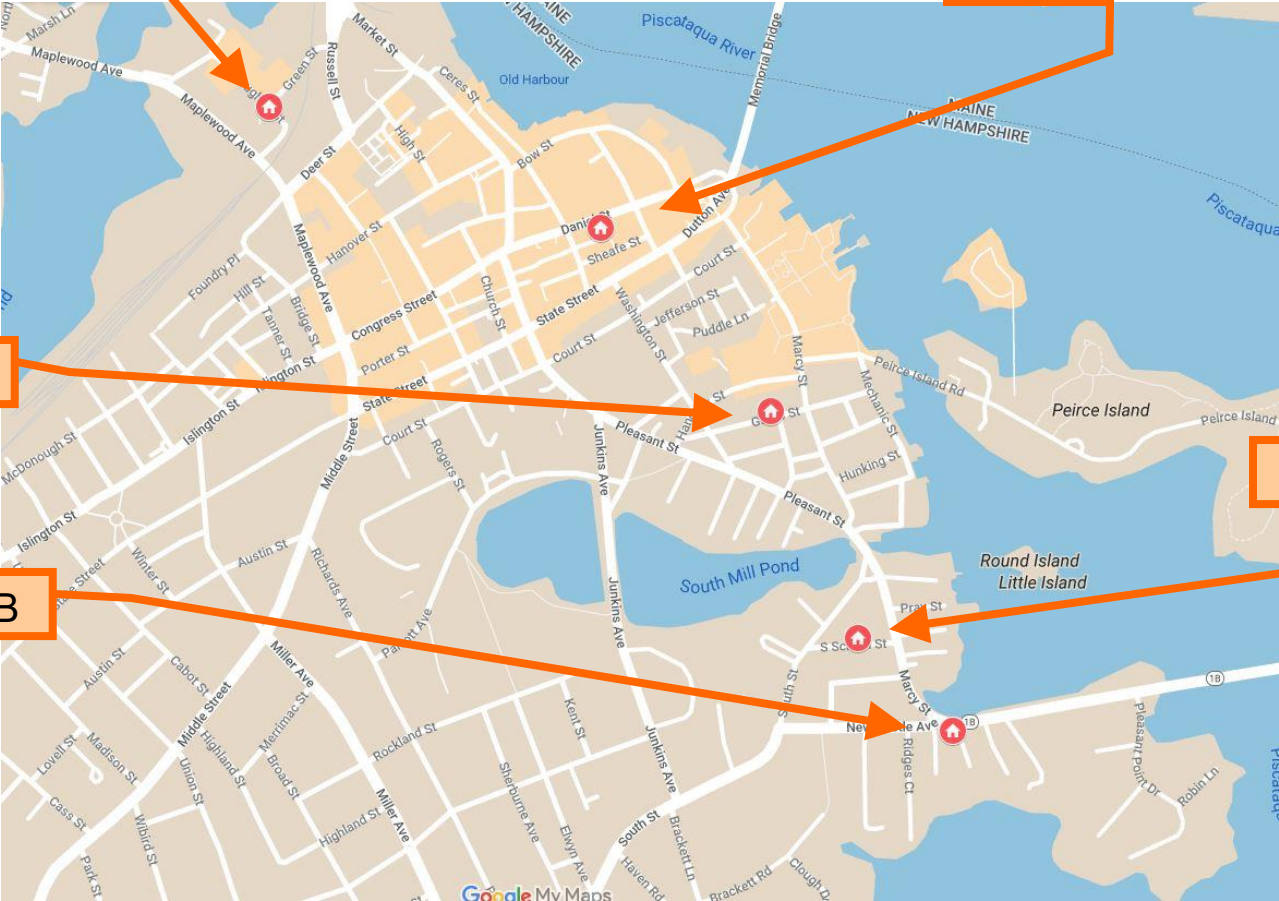
PH-2

PH-3

PH-1

WS-A

PH-B



**Project Address:** 180 NEW CASTLE AVENUE

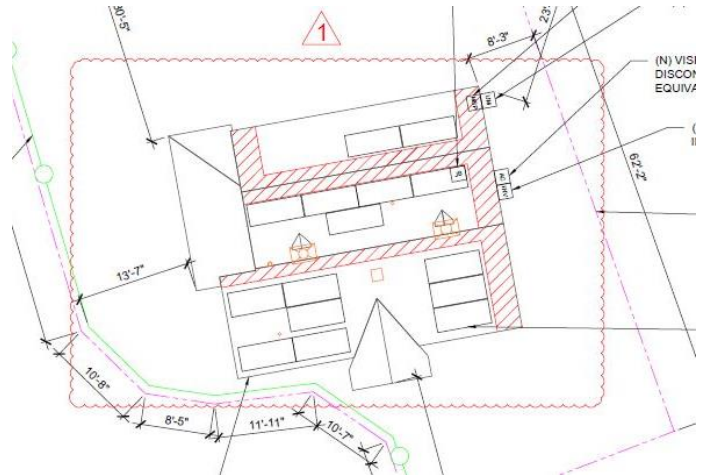
**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING B

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Single Residence B (SRB)
- Land Use: Residential
- Land Area: 4,260 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from New Castle Avenue and Ball Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** To add roof-mounted solar panels.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Install roof mounted solar panels





**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



Freedom Forever  
Planset Revision Letter

11/13/2023  
REV #2

Attn. City of Portsmouth (NH):

The changes outlined in Revision Details have been applied to the plans corresponding to the following customer:

ANNE MOODEY  
180 NEW CASTLE AVE , PORTSMOUTH, NH 03801

**Revision Details:**

1.Elevation updated.

All corresponding changes are notated on the plans by revision clouds.

Thank you for your time in reviewing these plans. Please reach out if you have any additional questions or concerns.

Construction Engineering  
Freedom Forever  
[engineering@freedomforever.com](mailto:engineering@freedomforever.com)

# ROOF MOUNT PHOTOVOLTAIC SYSTEM

## CODES:

THIS PROJECT COMPLIES WITH THE FOLLOWING:  
 2020 NH STATE BUILDING CODE  
 2020 NH STATE FIRE CODE  
 2018 INTERNATIONAL BUILDING CODE  
 2018 INTERNATIONAL RESIDENTIAL CODE  
 2018 INTERNATIONAL MECHANICAL CODE  
 2018 INTERNATIONAL PLUMBING CODE  
 2018 INTERNATIONAL FUEL GAS CODE  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 2018 INTERNATIONAL EXISTING BUILDING CODE  
 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE  
 "2018 NFPA 1, FIRE CODE AS AMENDED BY SAF-FMO 300"  
 2018 NFPA 101 LIFE SAFETY CODE AS AMENDED BY SAF-FMO 300  
 2023 NATIONAL ELECTRICAL CODE  
 AS ADOPTED BY CITY OF PORTSMOUTH (NH)

## CONSTRUCTION NOTES:

CONDUIT AND CONDUCTOR SPECIFICATIONS ARE BASED ON MINIMUM CODE REQUIREMENTS AND ARE NOT MEANT TO LIMIT UP-SIZING AS REQUIRED BY FIELD CONDITIONS.

ALL SOLAR ENERGY SYSTEM EQUIPMENT SHALL BE SCREENED TO THE MAXIMUM EXTENT POSSIBLE AND SHALL BE PAINTED A COLOR SIMILAR TO THE SURFACE UPON WHICH THEY ARE MOUNTED.

MODULES SHALL BE TESTED, LISTED AND IDENTIFIED WITH FIRE CLASSIFICATION IN ACCORDANCE WITH UL 2703. SMOKE AND CARBON MONOXIDE ALARMS ARE REQUIRED PER SECTION R314 AND 315 TO BE VERIFIED AND INSPECTED BY INSPECTOR IN THE FIELD.

DIG ALERT (811) TO BE CONTACTED AND COMPLIANCE WITH EXCAVATION SAFETY PRIOR TO ANY EXCAVATION TAKING PLACE

PHOTOVOLTAIC SYSTEM GROUND WILL BE TIED INTO EXISTING GROUND AT MAIN SERVICE FROM DC DISCONNECT/INVERTER AS PER 2023 NEC SEC 250.166(A).

SOLAR PHOTOVOLTAIC SYSTEM EQUIPMENT WILL BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ART. 690 OF THE 2023 NEC

THE MAIN SERVICE PANEL WILL BE EQUIPPED WITH A GROUND ROD OR UFER

UTILITY COMPANY WILL BE NOTIFIED PRIOR TO ACTIVATION OF THE SOLAR PV SYSTEM

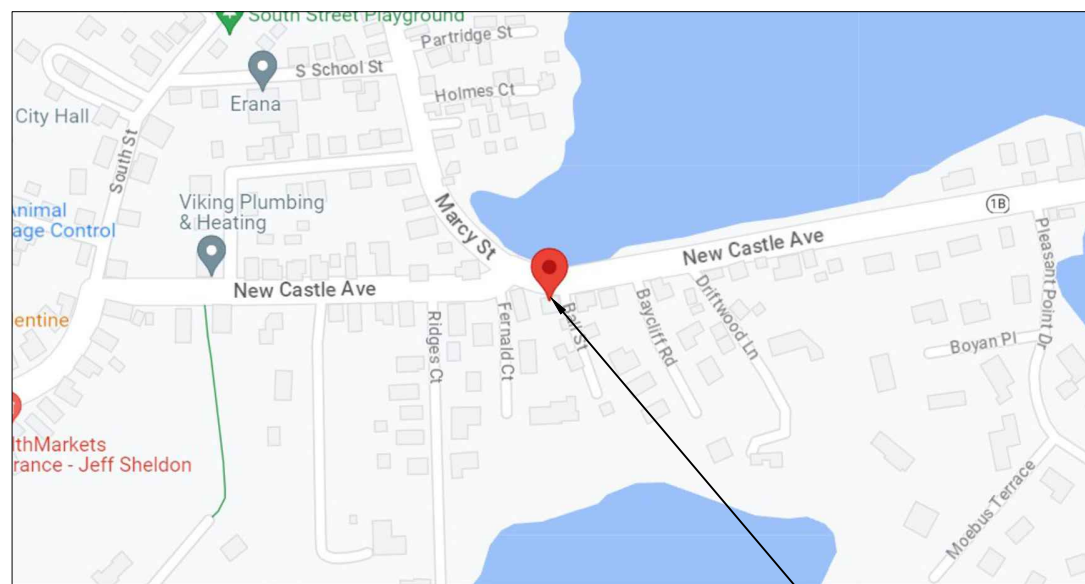
SOLAREGE OPTIMIZERS ARE LISTED TO IEC 62109-1 (CLASS II SAFETY) AND UL 1741 STANDARDS

INSTALL CREW TO VERIFY ROOF STRUCTURE PRIOR TO COMMENCING WORK. EMT CONDUIT ATTACHED TO THE ROOF USING CONDUIT MOUNT.

### THIS SYSTEM DESIGNED WITH:

WIND SPEED: 121  
 WIND EXPOSURE: B  
 SNOW LOAD: 50

## VICINITY MAP:



SITE LOCATION

## TABLE OF CONTENTS:

PV-1	SITE LOCATION
PV-2	SITE PLAN
PV-2A	ROOF PLAN WITH MODULES LAYOUT
PV-2B	ROOF AND STRUCTURAL TABLES
PV-3	MOUNTING DETAILS
PV-4	THREE LINE DIAGRAM
PV-5	CONDUCTOR CALCULATIONS
PV-5C	BUILDING ELEVATION
PV-6	EQUIPMENT & SERVICE LIST
PV-7	LABELS
PV-7A	SITE PLACARD
PV-8	OPTIMIZER CHART
PV-9	SAFETY PLAN
PV-10	SAFETY PLAN
APPENDIX	MANUFACTURER SPECIFICATION SHEETS

CLIENT:  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
 UTILITY: EVERSOURCE ENERGY (EASTERN MA)  
 METER: 72329222  
 APN: PRSM-000101-000023  
 PHONE: (603) 361-7031  
 EMAIL: AMOODEY1@GMAIL.COM

SYSTEM:  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 kW  
 SYSTEM SIZE (AC): 5.000 kW @ 240V  
 MODULES: 15 X JINKO SOLAR: JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREGE P505  
 INVERTER: SOLAREGE SE5000H-USRGM [S11]

1











REVISIONS		
NO.	REVISED BY	DATE
1	S.K.	11/8/2023
2	S.G.	11/13/2023
-	-	-

  
**FREEDOM FOREVER LLC**  
 43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
 Tel: (800) 385-1075  
**GREG ALBRIGHT**  
  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

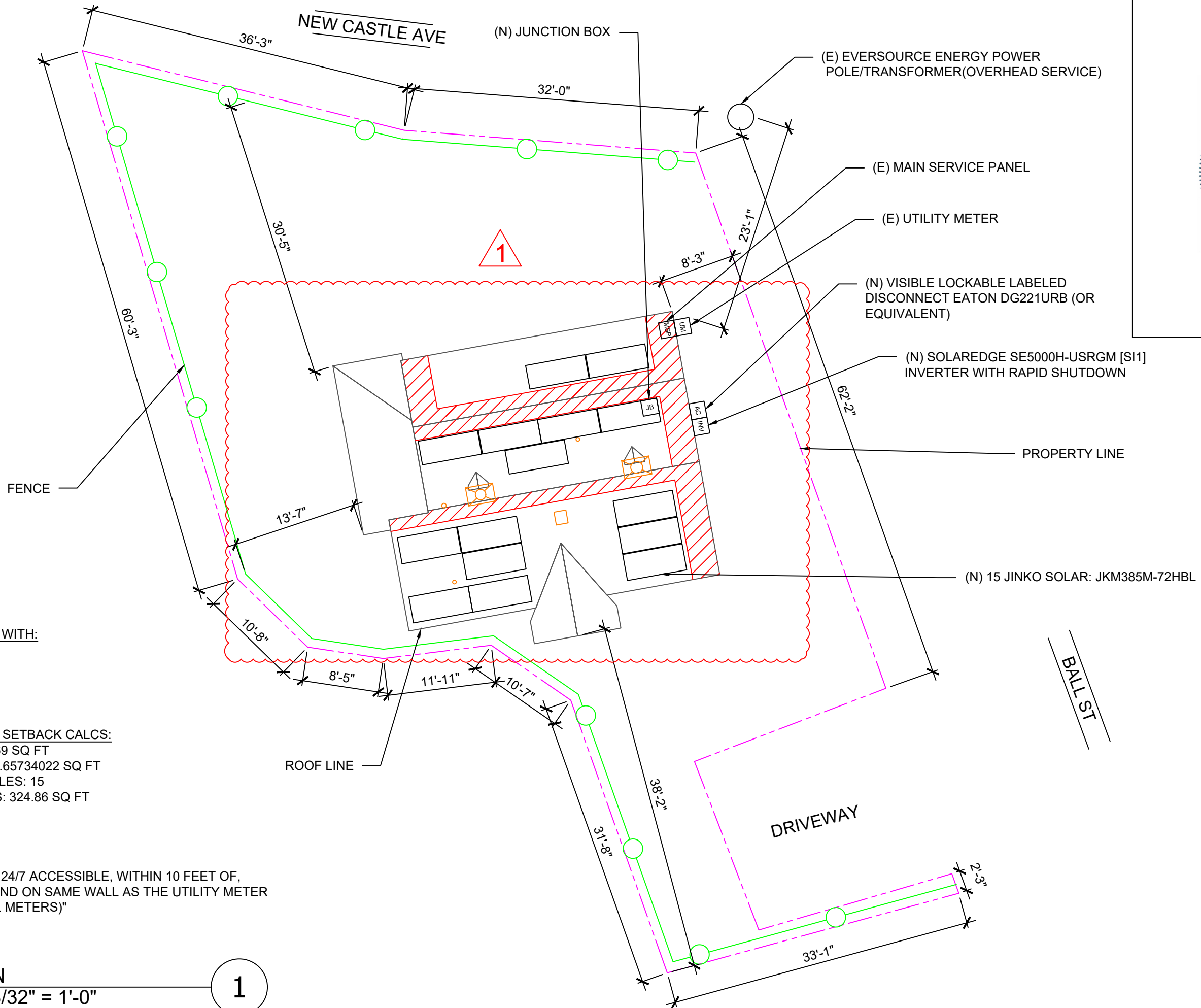
SITE LOCATION			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-1



**LEGEND:**

-  CHIMNEY
-  PIPE VENT
-  MODULES
-  CONDUIT
-  SETBACK
-  AC DISCONNECT
-  UTILITY METER
-  JUNCTION BOX
-  INVERTER
-  MAIN SERVICE PANEL

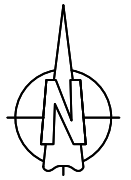
**PV SYSTEM**  
 5.775 kW-DC  
 5.000 kW-AC



**THIS SYSTEM DESIGNED WITH:**  
 WIND SPEED: 121  
 WIND EXPOSURE: B  
 SNOW LOAD: 50

**TOTAL ROOF AREA RIDGE SETBACK CALCS:**  
 TOTAL ROOF AREA: 1311.69 SQ FT  
 SINGLE MODULE AREA: 21.65734022 SQ FT  
 TOTAL NUMBER OF MODULES: 15  
 TOTAL AREA OF MODULES: 324.86 SQ FT  
 ROOF COVERAGE: 24.77%  
 FIRE SPRINKLERS : NO

"AC DISCONNECT SHALL BE 24/7 ACCESSIBLE, WITHIN 10 FEET OF, WITHIN VISIBLE SIGHT OF, AND ON SAME WALL AS THE UTILITY METER (EXCEPTION FOR PEDESTAL METERS)"



**SITE PLAN**  
 SCALE: 3/32" = 1'-0"

1



ROOF AREA: 1311.69 SQ FT

**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
**AHJ:** CITY OF PORTSMOUTH (NH)  
**UTILITY:** EVERSOURCE ENERGY (EASTERN MA)  
**METER:** 72329222  
**APN:** PRSM-000101-000023  
**PHONE:** (603) 361-7031  
**EMAIL:** AMOODEY1@GMAIL.COM











**SYSTEM:**  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 kW  
 SYSTEM SIZE (AC): 5.000 kW @ 240V  
 MODULES: 15 X JINKO SOLAR: JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREEDGE P505  
 INVERTER: SOLAREEDGE SE5000H-USRGM [S11]

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 FOREVER  
 FREEDOM FOREVER LLC  
 43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
 Tel: (800) 385-1075  
**GREG ALBRIGHT**  
  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

SITE PLAN			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-2

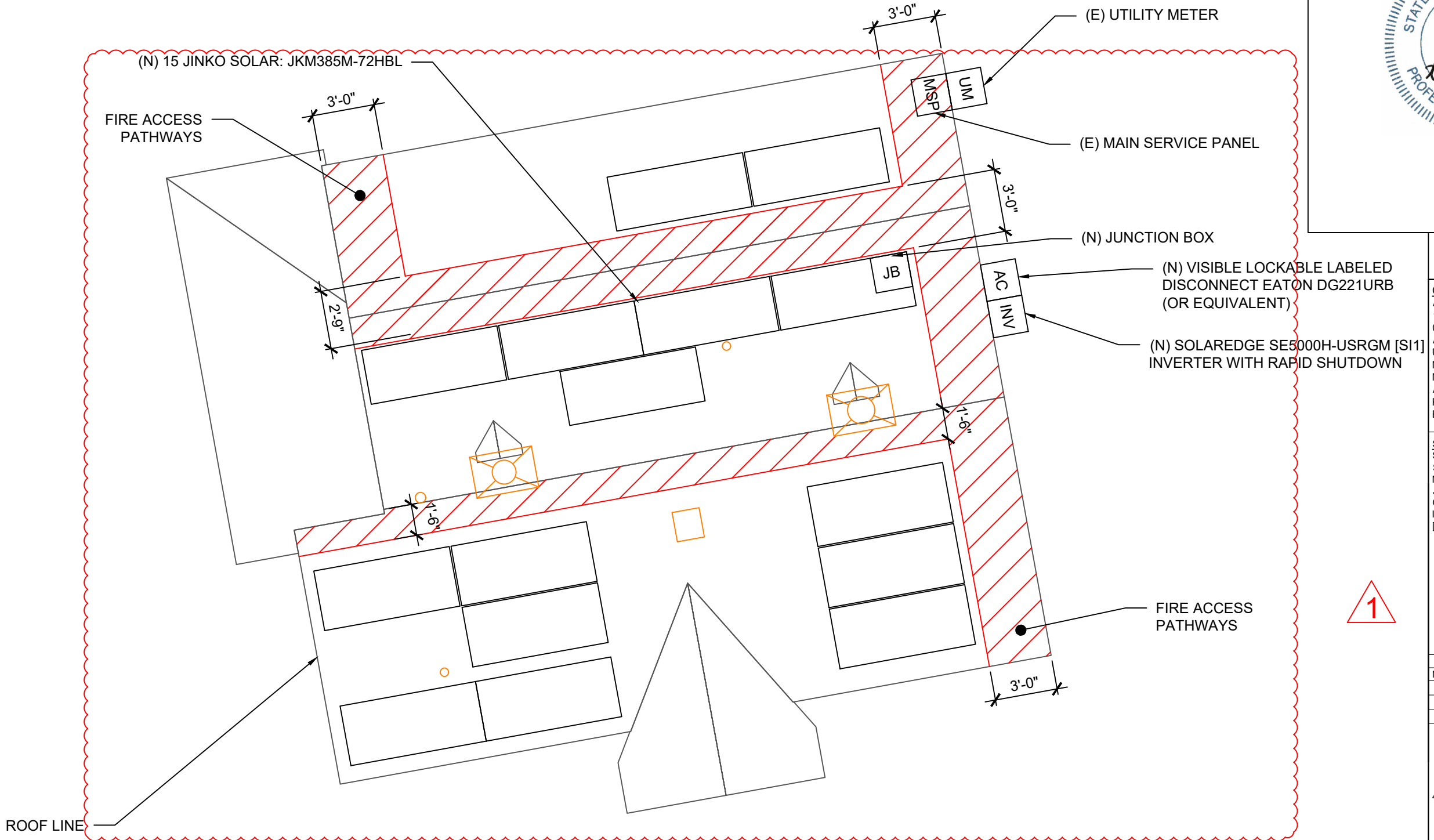
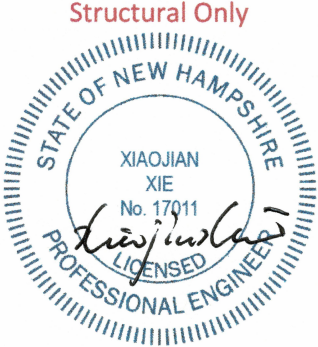
**LEGEND:**

-  CHIMNEY
-  PIPE VENT
-  MODULES
-  CONDUIT
-  SETBACK
-  AC DISCONNECT
-  UTILITY METER
-  JUNCTION BOX
-  INVERTER
-  MAIN SERVICE PANEL

**PV SYSTEM**  
**5.775 kW-DC**  
**5.000 kW-AC**

**THIS SYSTEM DESIGNED WITH:**  
 WIND SPEED: 121  
 WIND EXPOSURE: B  
 SNOW LOAD: 50

TOTAL ROOF AREA: 1311.69 SQ FT  
 TOTAL ARRAY AREA: 324.86 SQ FT  
 ARRAY COVERAGE: 24.77%  
 SYSTEM DISTRIBUTED WEIGHT: 2.29 LBS  
 UNIRAC: FLASHKIT PRO POINT-LOAD: 18.15 LBS



ROOF AREA: 1311.69 SQ FT

**CLIENT:**  
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 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
 UTILITY: EVERSOURCE ENERGY (EASTERN MA)  
 METER: 72329222  
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 PHONE: (603) 361-7031  
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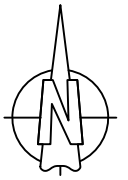
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 43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
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**GREG ALBRIGHT**

*Greg Albright*

CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

ROOF PLAN WITH MODULES LAYOUT

JOB NO: 369950	DATE: 11/13/2023	DESIGNED BY: S.G.	SHEET: PV-2A
-------------------	---------------------	----------------------	-----------------



**ROOF PLAN**  
**SCALE: 3/16" = 1'-0"**

1

- NOTES:**
- EMT CONDUIT ATTACHED TO THE ROOF USING CONDUIT MOUNTS
  - ATTACHED CLAMPS AT 25% FROM THE EDGE AND 50% FROM THE CENTER OF THE MODULES
  - JUNCTION BOX IS MOUNTED TO THE RAIL.

# ROOF DETAILS:

TOTAL ROOF AREA: 1311.69 SQ FT  
 TOTAL ARRAY AREA: 324.86 SQFT  
 ARRAY COVERAGE: 24.77%  
 SYSTEM DISTRIBUTED WEIGHT: 2.29 LBS  
 UNIRAC: FLASHKIT PRO POINT-LOAD: 18.15 LBS



ROOF AREA STATEMENT

ROOF	MODULE QUANTITY	ROOF PITCH	ARRAY PITCH	AZIMUTH	ROOF AREA	ARRAY AREA
ROOF 1	8	28	28	170	462.46 SQ FT	173.26 SQ FT
ROOF 2	5	37	37	170	345.37 SQ FT	108.29 SQ FT
ROOF 3	2	37	37	350	280.45 SQ FT	43.31 SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT
----	----	----	----	----	SQ FT	SQ FT



**CLIENT:**  
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 UTILITY: EVERSOURCE ENERGY (EASTERN  
 MA)  
 METER: 72329222  
 APN: PRSM-000101-000023  
 PHONE: (603) 361-7031  
 EMAIL: AMOODEY1@GMAIL.COM

**SYSTEM:**  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 KW  
 SYSTEM SIZE (AC): 5.000 kW @ 240V  
 MODULES: 15 X JINKO SOLAR:  
 JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREEDGE P505  
 INVERTER: SOLAREEDGE SE5000H-USRGM  
 [S11]

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**CONTRACTOR LICENSE:**  
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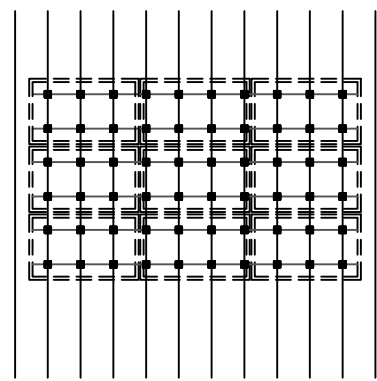
ROOF DETAILS			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-2B



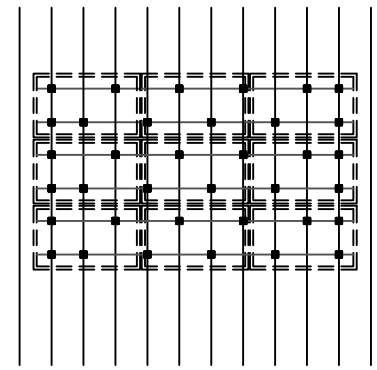
**TABLE 1 - ARRAY INSTALLATION**

	ROOF PITCH	ROOFING TYPE	ATTACHMENT TYPE	FRAMING TYPE	MAX UNBRACED LENGTH(FT.)	STRUCTURAL ANALYSIS RESULT	PENETRATION PATTERN	MAX ATTACHMENT SPACING (IN.)	MAX RAIL OVERHANG(IN.)
ROOF 1	28	Comp Shingle	Unirac Flashkit Pro	2x8 RAFTER @ 32" O.C.	7.1	PASS	STAGGERED	32	10.66667
ROOF 2	37	Comp Shingle	Unirac Flashkit Pro	2x8 RAFTER @ 32" O.C.	7.1	PASS	STAGGERED	32	10.66667
ROOF 3	37	Comp Shingle	Unirac Flashkit Pro	2x8 RAFTER @ 32" O.C.	7.1	PASS	STAGGERED	32	10.66667

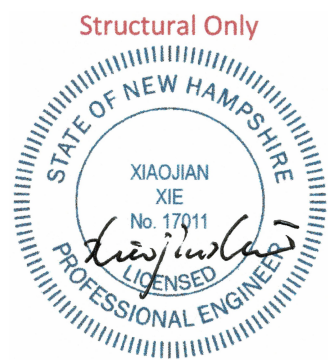
1. CONTRACTOR TO VERIFY FRAMING TYPE AND MAX UNBRACED LENGTH PRIOR TO INSTALLATION. IF THE ABOVE INFORMATION DOES NOT MATCH FIELD CONDITIONS, NOTIFY ENGINEER OF RECORD IMMEDIATELY.
2. WHERE COLLAR TIES OR RAFTER SUPPORTS EXIST, CONTRACTOR SHALL USE RAFTERS WITH COLLAR TIES AS ATTACHMENT POINTS.
3. MAX RAIL OVERHANG APPLICABLE FOR RAILED ATTACHMENT INSTALLATIONS.



**STACKED DETAIL**  
For Illustration purposes only



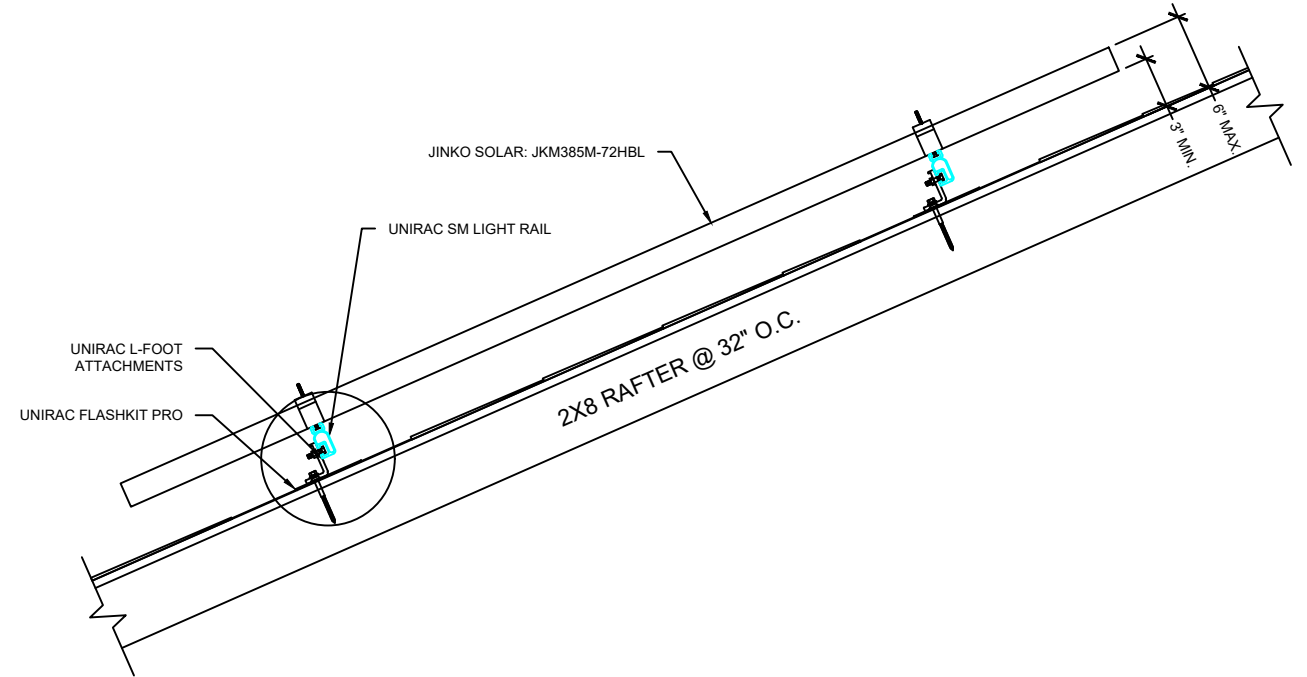
**STAGGERED DETAIL**  
For Illustration purposes only



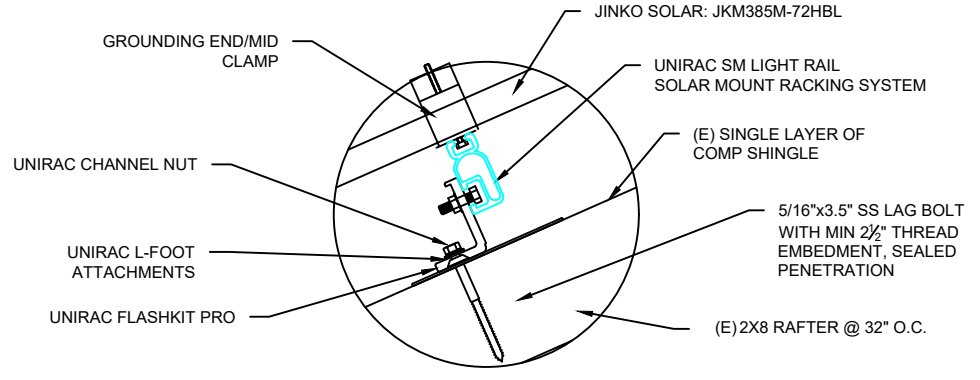
**CLIENT:**  
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 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
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**SOLAR PV ARRAY SECTION VIEW**  
Scale: NTS



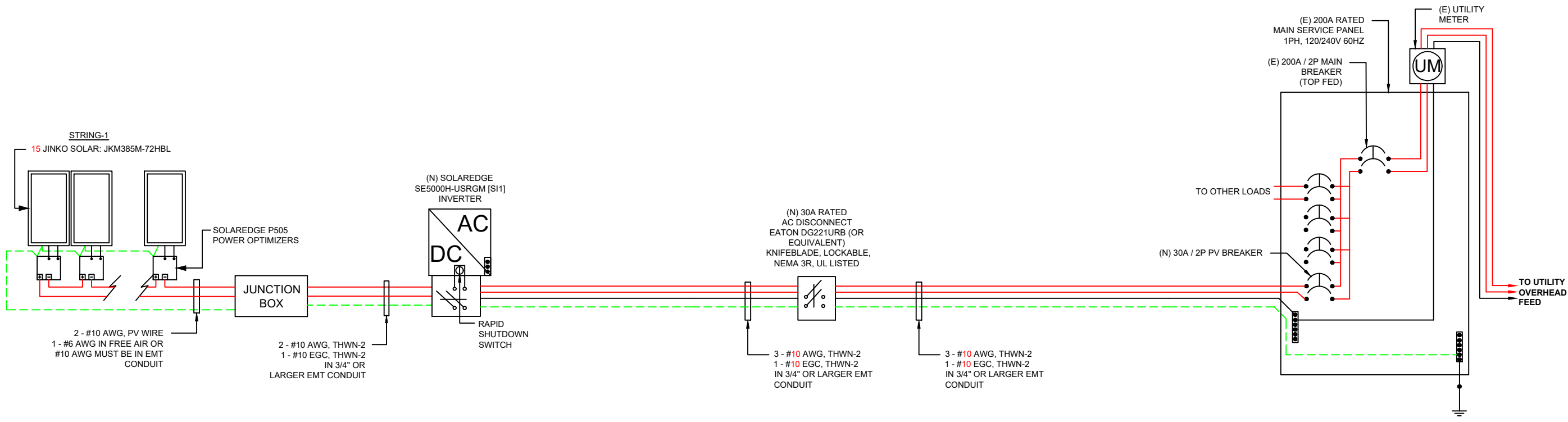
**ATTACHMENT DETAIL**  
Scale: NTS

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**GREG ALBRIGHT**  
  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

MOUNTING DETAILS			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-3

BACKFEED BREAKER SIZING					
MAX. CONTINUOUS OUTPUT 21.00A @ 240V					
21.00	X	1.25	=	26.25AMPS	30A BREAKER - OK
SEE 705.12 OF 2023 NEC					
200	X	1.20	=	240	
240	-	200	=	40A ALLOWABLE BACKFEED	

**PV SYSTEM**  
**5.775 kW-DC**  
**5.000 kW-AC**



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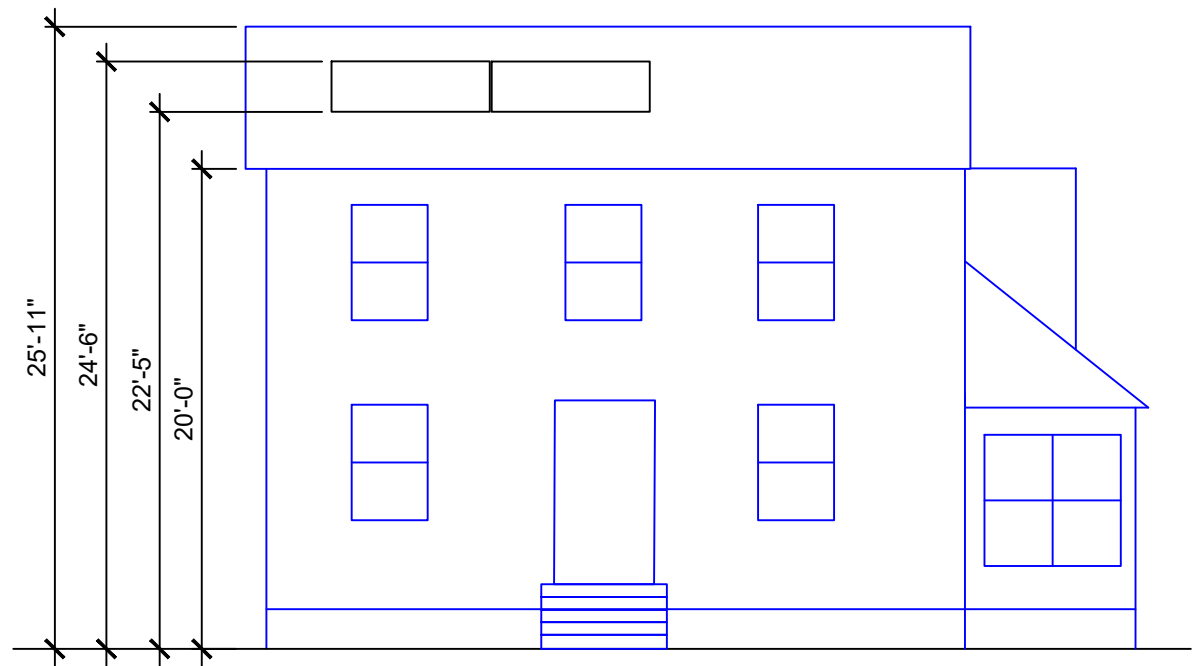
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 43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
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**GREG ALBRIGHT**  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

**NOTE:**  
 CONDUIT AND CONDUCTORS SPECIFICATIONS ARE BASED ON MINIMUM CODE REQUIREMENTS AND ARE NOT MEANT TO LIMIT UP-SIZING AS REQUIRED BY FIELD CONDITIONS

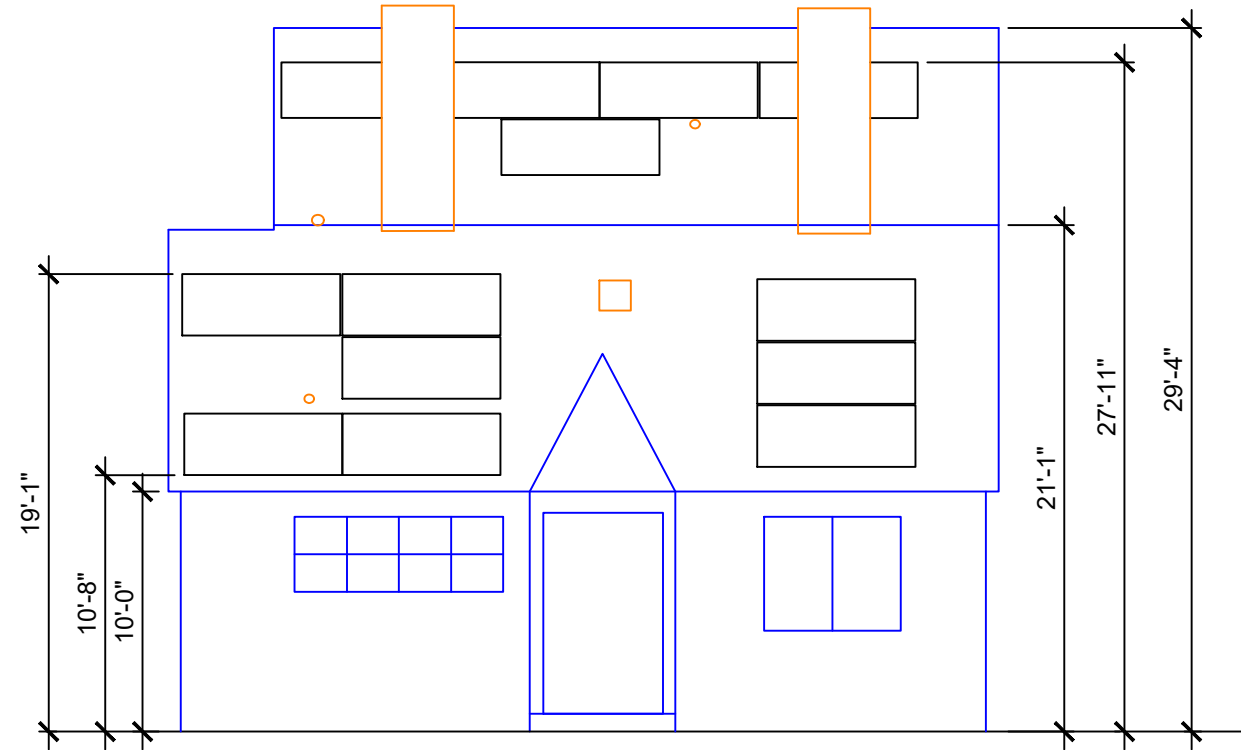
THREE LINE DIAGRAM			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-4







FRONT OF HOUSE ELEVATION



BACK OF HOUSE ELEVATION

**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH  
 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
 UTILITY: EVERSOURCE ENERGY (EASTERN  
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 MODULES: 15 X JINKO SOLAR:  
 JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREEDGE P505  
 INVERTER: SOLAREEDGE SE5000H-USRGM  
 [S1]

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 43445 BUSINESS PARK DR #110, TEMECULA,  
 CA 92590  
 Tel: (800) 385-1075  
**GREG ALBRIGHT**  
  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

BUILDING ELEVATION			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-5C





**MAIN PHOTOVOLTAIC SYSTEM DISCONNECT**  
690.13(B)

**DO NOT DISCONNECT UNDER LOAD**  
NEC 690.15 (B) & NEC 690.33(D)(2)

**WARNING**  
SINGLE 120-VOLT SUPPLY  
DO NOT CONNECT  
MULTIWIRE BRANCH CIRCUITS  
NEC 710.15(C) & 692.9 (C)

**WARNING** DUAL POWER SOURCE  
SECOND SOURCE IS PHOTOVOLTAIC SYSTEM  
NEC 705.12(D) & NEC 690.59

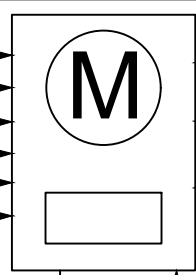
**WARNING**  
TURN OFF PHOTOVOLTAIC  
AC DISCONNECT PRIOR TO  
WORKING INSIDE PANEL  
NEC 110.27(C) & OSHA 1910.145(F)(7)

**WARNING**  
ELECTRICAL SHOCK HAZARD  
TERMINALS ON THE LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION  
706.15(C)(4) & 690.13(B)

**WARNING**  
THIS EQUIPMENT FED BY  
MULTIPLE SOURCES:  
TOTAL RATING OF ALL OVERCURRENT  
DEVICES EXCLUDING MAIN POWER  
SUPPLY SHALL NOT EXCEED  
AMPACITY OF BUSBAR  
NEC 705.12(B)(3)(3)

**WARNING**  
THE DISCONNECTION OF THE  
GROUNDED CONDUCTOR(S)  
MAY RESULT IN OVERTVOLTAGE  
ON THE EQUIPMENT  
NEC 690.31(E)

**RAPID SHUTDOWN SWITCH FOR  
SOLAR PV SYSTEM**  
690.56(C)(3)



**SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN**

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY

IFC 605.11.3.1(1) & 690.56(C)

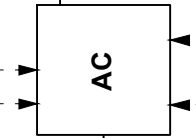
**CAUTION**  
PHOTOVOLTAIC SYSTEM CIRCUIT IS BACKFED  
NEC 705.12(D) & NEC 690.59

**WARNING**  
POWER SOURCE OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE.  
NEC 705.12(C) & NEC 690.59

**WARNING**  
ARC FLASH AND SHOCK HAZARD  
APPROPRIATE PPE REQUIRED  
24 INCH FLASH HAZARD BOUNDARY  
3 CALCMF2 FLASH HAZARD AT 18 INCHES  
480 VAC SHOCK HAZARD WHEN COVER IS REMOVED  
42 INCH LIMITED APPROACH  
12 INCH RESTRICTED APPROACH - 500 V CLASS 00 GLOVES  
1 INCH PROHIBITED APPROACH - 500 V CLASS 00 GLOVES  
LOCATION: 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801

**PHOTOVOLTAIC AC DISCONNECT**  
NEC 690.13(B)

**PHOTOVOLTAIC AC DISCONNECT**  
RATED AC OUTPUT CURRENT: **21.00A**  
NOMINAL OPERATING AC VOLTAGE: **240V**  
NEC 690.54



**SOLAR PV DC CIRCUIT**  
EVERY 10' ON CONDUIT AND ENCLOSURES  
NEC 690.31

**PHOTOVOLTAIC POWER SOURCE**  
EVERY 10' ON CONDUIT AND ENCLOSURES  
NEC 690.31(D)(2)

MAXIMUM VOLTAGE **480** V  
MAXIMUM CIRCUIT CURRENT **13.5** A  
MAX DC-DC CONVERTER OUTPUT CURRENT **15** A

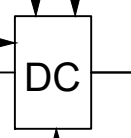
**NOTES:**

- NEC ARTICLES 690 AND 705 AND IRC SECTION R324 MARKINGS SHOWN HEREON.
- ALL MARKING SHALL CONSIST OF THE FOLLOWING:
  - UV RESISTANT SIGN MATERIAL WITH ENGRAVED OR MACHINE PRINTED LETTERS OR ELECTRO-PLATING.
  - RED BACKGROUND COLOR WHITE TEXT AND LINE WORK.
  - ARIAL FONT.
- ALL SIGNS SHALL BE SIZED APPROPRIATELY AND PLACED IN THE LOCATIONS SPECIFIED. SIGNAGE CANNOT BE HAND-WRITTEN.
- SIGNS SHALL BE ATTACHED TO THE SERVICE EQUIPMENT WITH POP-RIVETS OR SCREWS

**PHOTOVOLTAIC DC DISCONNECT**  
NEC 690.13(B)

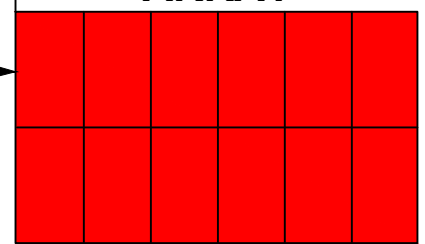
**MAXIMUM DC VOLTAGE OF PV SYSTEM**  
NEC 690.53

**WARNING**  
ELECTRICAL SHOCK HAZARD  
TERMINALS ON THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION  
DC VOLTAGE IS ALWAYS PRESENT WHEN SOLAR MODULES ARE EXPOSED TO SUNLIGHT  
706.15(C)(4) & 690.13(B)



**WARNING**  
ELECTRICAL SHOCK HAZARD  
TERMINALS ON THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION  
706.15(C)(4) & 690.13(B)

**WARNING**  
TURN OFF PHOTOVOLTAIC AC DISCONNECT PRIOR TO WORKING INSIDE PANEL  
NEC 110.27(C) & OSHA 1910.145(F)(7)



NEC 690.31(G)(3) & (4)

CLIENT:  
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OPTIMIZERS: 15 X SOLAREEDGE P505  
INVERTER: SOLAREEDGE SE5000H-USRGM [S11]

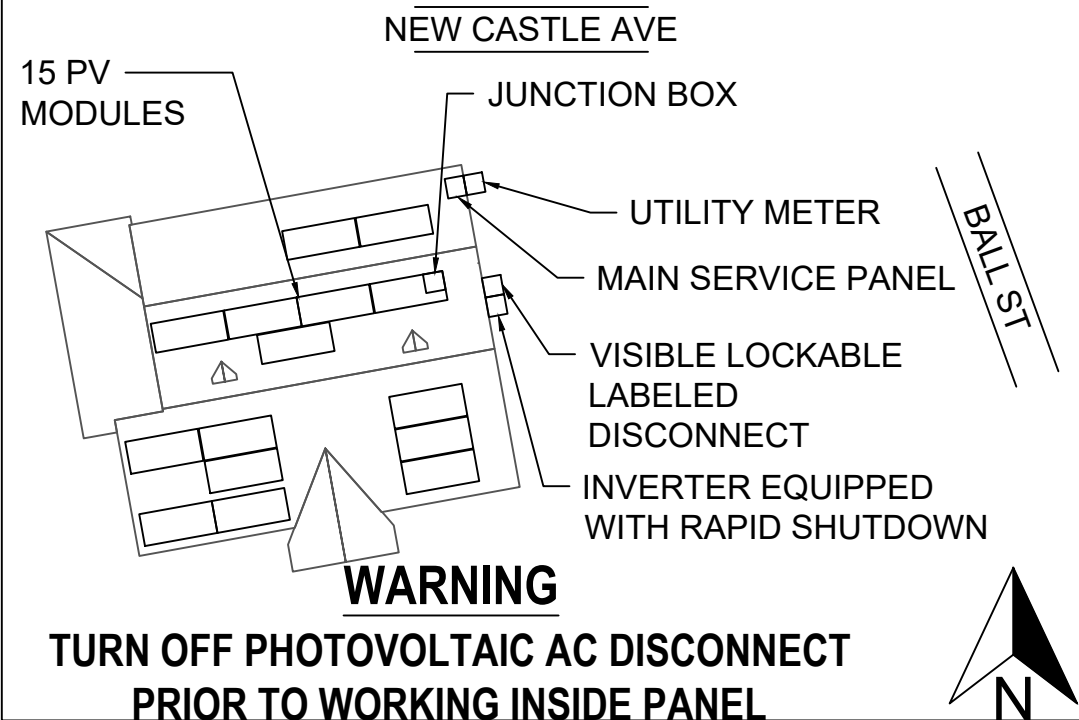
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**GREG ALBRIGHT**  
CONTRACTOR LICENSE:  
ELECTRICAL CONTRACTOR 0512C

LABELS			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-7

# CAUTION:

POWER TO THIS BUILDING IS ALSO SUPPLIED FROM THE FOLLOWING SOURCES WITH DISCONNECTS AS SHOWN



CLIENT:  
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**GREG ALBRIGHT**

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SITE PLACARD			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-7A

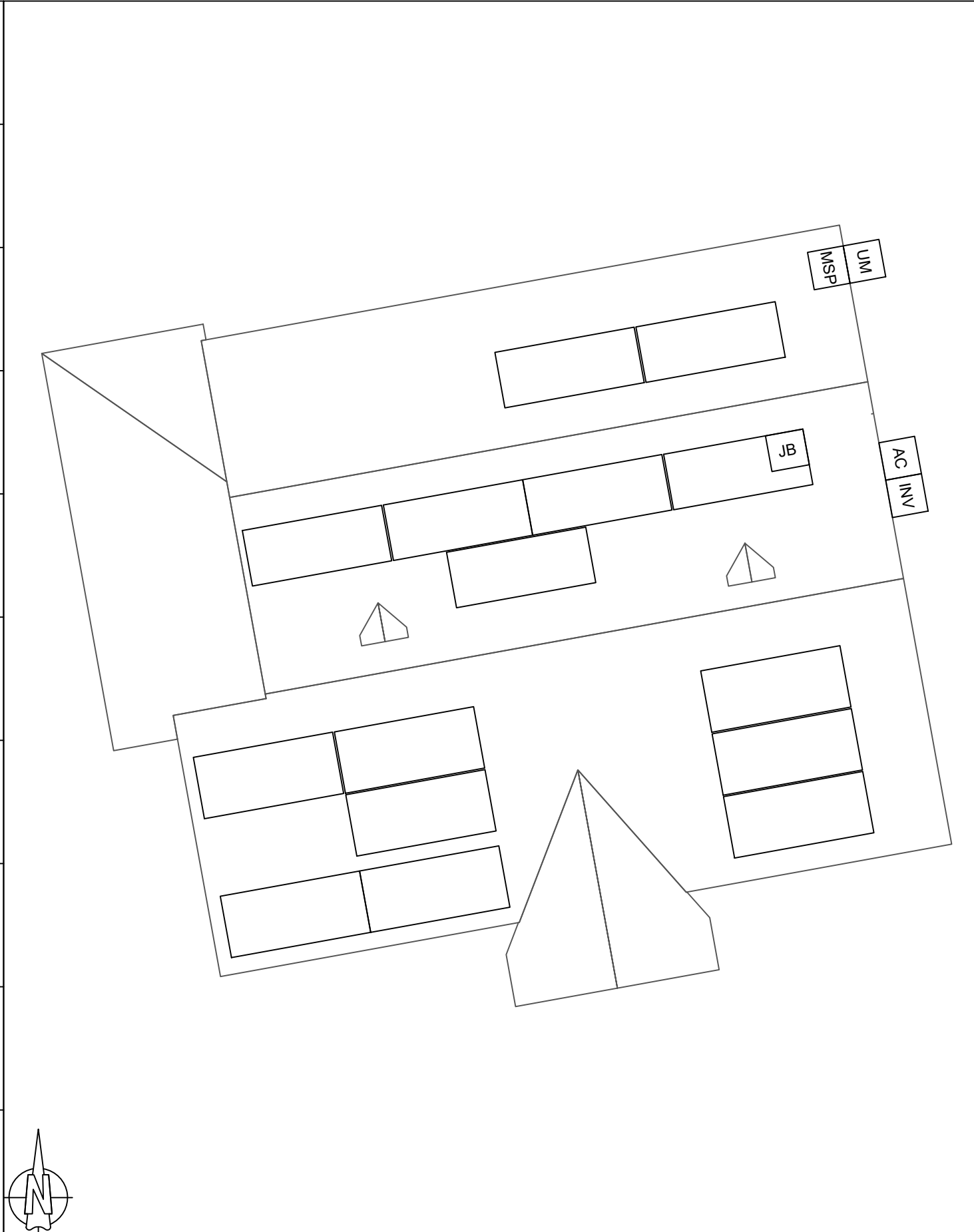
**NOTES:**

1. NEC ARTICLES 690 AND 705 AND IRC SECTION R324 MARKINGS SHOWN HEREON.
2. ALL MARKING SHALL CONSIST OF THE FOLLOWING:
  - A. UV RESISTANT SIGN MATERIAL WITH ENGRAVED OR MACHINE PRINTED LETTERS OR ELECTRO-PLATING.
  - B. RED BACKGROUND COLOR WHITE TEXT AND LINE WORK.
  - C. AERIAL FONT.
3. ALL SIGNS SHALL BE SIZED APPROPRIATELY AND PLACED IN THE LOCATIONS SPECIFIED. SIGNAGE CANNOT BE HAND-WRITTEN.
4. SIGNS SHALL BE ATTACHED TO THE SERVICE EQUIPMENT WITH POP-RIVETS OR SCREWS.

# SOLAREEDGE OPTIMIZER CHART

1-10    11-20    21-30    31-40    41-50    51-60

1  
2  
3  
4  
5  
6  
7  
8  
9  
10

**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH  
 03801  
**AHJ:** CITY OF PORTSMOUTH (NH)  
**UTILITY:** EVERSOURCE ENERGY (EASTERN  
 MA)  
**METER:** 72329222  
**APN:** PRSM-000101-000023  
**PHONE:** (603) 361-7031  
**EMAIL:** AMOODEY1@GMAIL.COM

**SYSTEM:**  
 SYSTEM SIZE (DC): 15 X 385 = 5.775 kW  
 SYSTEM SIZE (AC): 5.000 kW @ 240V  
 MODULES: 15 X JINKO SOLAR:  
 JKM385M-72HBL  
 OPTIMIZERS: 15 X SOLAREEDGE P505  
 INVERTER: SOLAREEDGE SE5000H-USRGM  
 [S1]

REVISIONS		
NO.	REVISED BY	DATE
1	S.K.	11/8/2023
2	S.G.	11/13/2023
-	-	-

  
**FREEDOM FOREVER LLC**  
 43445 BUSINESS PARK DR #110, TEMECULA,  
 CA 92590  
 Tel: (800) 385-1075  
GREG ALBRIGHT  
  
**CONTRACTOR LICENSE:**  
 ELECTRICAL CONTRACTOR 0512C

OPTIMIZER CHART			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-8



# SAFETY PLAN

# MARK UP KEY

### INSTRUCTIONS:

- USE SYMBOLS IN KEY TO MARK UP THIS SHEET.
- SAFETY PLAN MUST BE MARKED BEFORE JOB STARTS AS PART OF THE PRE-PLAN
- DOCUMENT ALL ADDITIONAL HAZARDS ON THIS PAGE & MAKE NOTES ON THE JHA SHEET

### INCIDENT REPORTING:

INJURIES - CALL INJURY HOTLINE

**(855) 400-7233**

*\*If injury is life threatening, call 911 first THEN the Injury Hotline*

NON-INJURIES - USE MOBILE INCIDENT REPORTING

(Auto, Property Damage, Near Miss)



### NEAREST OCCUPATIONAL/INDUSTRIAL CLINIC:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

### NEAREST HOSPITAL:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

### SAFETY COACH CONTACT INFORMATION:

NAME: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

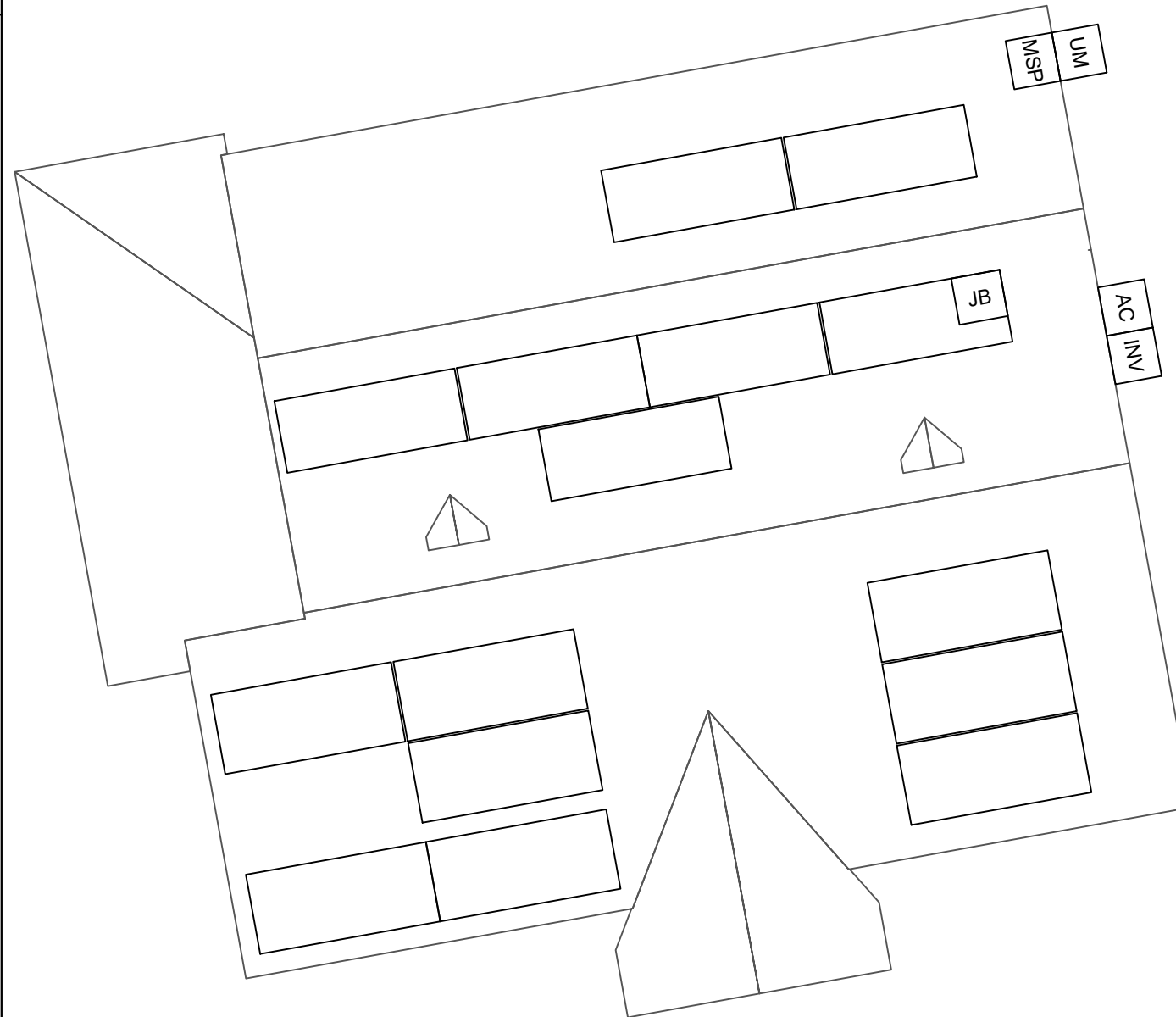
ALL EMPLOYEES ON SITE SHALL BE MADE AWARE OF THE SAFETY PLAN AND SIGN INDICATING THAT THEY ARE AWARE OF THE HAZARDS ON-SITE AND THE PLAN FOR WORKING SAFELY.

NAME

SIGNATURE

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_



- (P)** PERMANENT ANCHOR
- (T)** TEMPORARY ANCHOR
- IL** INSTALLER LADDER
- B** JUNCTION / COMBINER BOX
- S** STUB-OUT
- SKYLIGHT
- NO LADDER ACCESS (STEEP GRADE OR GROUND LEVEL OBSTRUCTIONS)
- RESTRICTED ACCESS
- CONDUIT
- (GAS)** GAS SHUT OFF
- (H<sub>2</sub>O)** WATER SHUT OFF
- (7)** SERVICE DROP
- (Z)** POWER LINES

**CLIENT:**  
 ANNE MOODEY  
 180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
 AHJ: CITY OF PORTSMOUTH (NH)  
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REVISIONS		
NO.	REVISED BY	DATE
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2	S.G.	11/13/2023
-	-	-

## BREAK AND WATER LOG

THIS LOG IS TO BE FILLED OUT ANY TIME THE TEMP EXCEEDS **90** DEGREES. THE CREW LEAD AND ROOF LEAD ARE RESPONSIBLE FOR ENSURING THIS IS COMPLETED AND UPLOADED AT THE END OF EVERYDAY WHEN TEMPS EXCEED **90** DEGREES

NAME	0800HRS	0900HRS	1000HRS	1100HRS	1200HRS	1300HRS	1400HRS	1500HRS	1600HRS

**freedom**  
 FOREVER  
 FREEDOM FOREVER LLC  
 43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
 Tel: (800) 385-1075  
**GREG ALBRIGHT**  
  
 CONTRACTOR LICENSE:  
 ELECTRICAL CONTRACTOR 0512C

SAFETY PLAN			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-9

# JOB HAZARD ANALYSIS

Crew leader to fill out all sections below, hold a pre-job safety meeting with all personnel, and upload this completed document and the Safety Plan to Site Capture

## Ladder Access

- Ladders must be inspected before each use.
- Extension ladders must be set up on a firm and level surface at a 4-to-1 rise to run angle (or 75 degrees) and the top must be secured to the structure. Extension style ladders placed on uneven, loose or slippery surfaces must additionally have the base firmly anchored or lashed so the base will not slip out.
- Extension ladders must be used with walk-through devices or the ladder must extend 36" above the stepping off point.
- A-frame ladders must only be climbed with the ladder spreader bars locked in the open position; A-frame ladders shall not be climbed while in the closed position (ex, closed and used while leaned against a structure).

Additional notes:

## Mobile Equipment

- Only Qualified operators will operate equipment; operators must maintain a certification on their person for the equipment being operated.
- Type(s) of mobile equipment (Type/Make/Model):
- Qualified operator(s):

## Material Handling and Storage

- Materials will be staged/stored in a way that does not present a hazard to client, personnel or public. Materials stored on the roof will be physically protect from failing or sliding off.

## Fall Protection

- A site-specific plan for fall prevention and protection is required prior to starting work and must remain onsite at all times until work is complete; a fall rescue plan must be outlined and discussed among the crew prior to work start.
- First-person-Up (FPU) must install their anchor and connect before any other task, including installing other anchors. The Last-Person-Down (LPD) must be the only person on a roof uninstalling fall protection.

FPCP (name and title):

FPU and LPD (name and title):

## Electrical Safety

- The Electrical Qualified Person (EQP) is required onsite to perform electrical work.
- All electrical work will be performed with equipment in an electrically safe condition (de-energized) unless approval has been granted prior to work.
- Service drops and overhead electrical hazards will be identified and protected from contact, as neccessary.

EQP (name and tile):

## Public Protection

- The safety of the Client and Public must be maintained at all times.
- The Client and the Public shall be prevented from entering the work zone through the use of barriers and/or signage, as required.
- Company, Client and Public property shall be protected from falling objects.
- Pets (including dogs) shall be secured by their owners prior to work start.
- The Client should not leave pets, family members, or others in charge or care of Employees, Contractors, or Temporary Workers.

Crew leader responsible for communication with the client:

Client and public is excluded from work area by barricades (N/A, Yes, No):

## Training and Pre-Job Safety Briefing

- All employees onsite shall be made aware of the specific hazards of this project and review this HJA during a pre-job briefing, and their signature indicates awareness of site conditions and the plan to eliminate any hazards identified prior to and during the project.

Crew leader (name/title):

Crew member (name/title):

Crew member (name/title):

Crew member (name/title):

Crew member (name/title):

Crew member (name/title):

## Airborne Contaminants:

- Asbestos-containing (Transite) piping (ACP) - Do not disturb (move, drill, cut fracture, etc.)
- Asbestos-containing thermal insulation (ACI) and Asbestos-containing duct wrapping (ACW) - do not disturb, no attic or crawlspace access is allowed if work to be performed could cause exposure to personnel, client or public.

If yes, list specific tasks and protection in place:

## Weather and Environment

- The site supervisor shall forecast the weather conditions at the job site, prior to crew arrival, in order to mitigate any hazards associated with inclement weather (heat, cold, wind, rain, etc.)
- The site supervisor will utilized a portable wind meter (anemometer) to verify actual onsite wind conditions, by checking at the ground and on any elevated work surface (ex, rooftop) prior to work start, at midday and prior to solar panel staging on a roof.
- Elevated work involving the moving or maneuvering of solar panels shall cease at 25mph (sustained wind) until wind subsides.

Forecasted weather maximum temp (degrees f):

## Heat Related Illness Prevention

- Employees shall have access to potable drinking water that is fresh, pure, and suitably cool. The water shall be located as close as practicable to the areas where employees are working. Water shall be supplied in sufficient quantity at the beginning of the work shift to provide at least one quart per employee per hour for drinking for the entire shift. Employees may begin the shift with smaller quantities of water if they identify the location and have effective means for replenishment during the shift to allow employees to drink on quart or more per hour. The frequent drinking of water shall be encouraged.
- Shade shall be present when temperature exceeds 80 degrees Fahrenheit. When the outdoor temperature in the work exceeds 80 degrees Fahrenheit, employees shall have and maintain one or more areas with shade at all times.
- New employees must be acclimatized. New employees will be monitored by their Crew Leader (site supervisor) for the first two (2) weeks of employment or longer when necessary.
- Employees will be allowed and encouraged to implement scheduled breaks during each shift. Employees must take cool-down breaks in the shade any time they feel the need to do so to protect them from overheating. Supervisors are REQUIRED to allow employees any break period they need during high heat conditions.
- Cool Vests are encouraged for all employees at all times during periods of high heat.
- Identify the location of the closet Occupational/Industrial Clinic or Hospital in case a crew member becomes ill.

What is the specific plan to provide and replenish sufficient water for all employees on site?

If offsite replenish is necessary, where will you go to replenish water (location/address):

Who will replenish the drinking water (name):

## Restroom facilities

- Employees shall have access to restroom facilities with hand-washing stations. Use of onsite restroom is at the client's discretion (location is annotated below). If client does not give permission, location of suitable restroom facilities with hand-washing stations offsite will be provided. The onsite supervisor will identify location and make arrangements to ensure all employees have access at any point.

Restroom facilities will be (circle one): Onsite - Offsite

If Offsite, add location name and address:

## Incident Reporting Procedure

Contact your Site Supervisor  
Name:

Phone:

Contact your Manager  
Name:

Phone:

Contact your Site Supervisor  
Name:

Phone:

With: Your full name, phone number, office location, brief description of what happen and when.

## NOTE ADDITIONAL HAZARDS NOT ADDRESSED ABOVE

(add as many as necessary by using additional sheets)

Define the Hazard:	Method/steps to prevent incident:
Define the Hazard:	Method/steps to prevent incident:
Define the Hazard:	Method/steps to prevent incident:
Define the Hazard:	Method/steps to prevent incident:

**CLIENT:**  
ANNE MOODEY  
180 NEW CASTLE AVE, PORTSMOUTH, NH 03801  
AHJ: CITY OF PORTSMOUTH (NH)  
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**FREEDOM FOREVER LLC**  
43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
Tel: (800) 385-1075  
**GREG ALBRIGHT**  
*Greg Albright*  
CONTRACTOR LICENSE:  
ELECTRICAL CONTRACTOR 0512C

## SAFETY PLAN

JOB NO:	DATE:	DESIGNED BY:	SHEET:
369950	11/13/2023	S.G.	PV-10

FOR INSTALLATION REFERENCE ONLY

SCAN QR CODE TO ACCESS REFERENCE LINK

**FREEDOM REFERENCES**



INSTALL HOTLINE

**PV INSTALLATION REFERENCES**



ENPHASE



SOLAREEDGE



TESLA

**BATTERY INSTALLATION REFERENCES**



Enphase Storage Systems



SOLAREEDGE Storage Systems



TESLA Storage Systems



NON-BACKUP Battery Systems



Misc. Quick Guide





**THE MOST  
DEPENDABLE  
SOLAR BRAND**



# EAGLE 72HM G2 Black

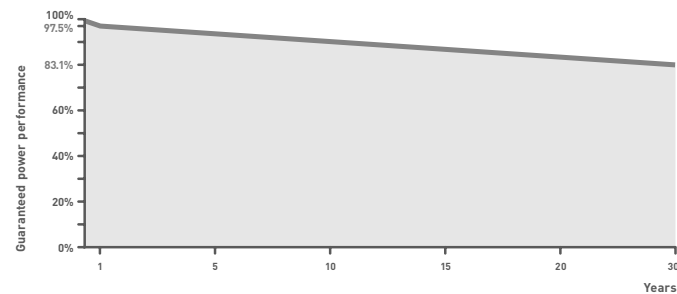
**380-400 WATT • HALF CELL MONO PERC MODULE**

Positive power tolerance of 0~+3%

- NYSE-listed since 2010, Bloomberg Tier 1 manufacturer
- Best-selling module globally for last 4 years
- Top performance in the strictest 3rd party labs
- 99.9% on-time delivery to the installer
- Automated manufacturing utilizing artificial intelligence
- Vertically integrated, tight controls on quality
- Premium solar panel factories in USA and Malaysia

## LINEAR PERFORMANCE WARRANTY

25-Year Performance Warranty



Nomenclature: JKM400M-72HBL

Code	Cell	Code	Backsheet	Code	Cell
mult	Full	mult	White	mult	Normal
H	Half	B	Black	L	Diamond

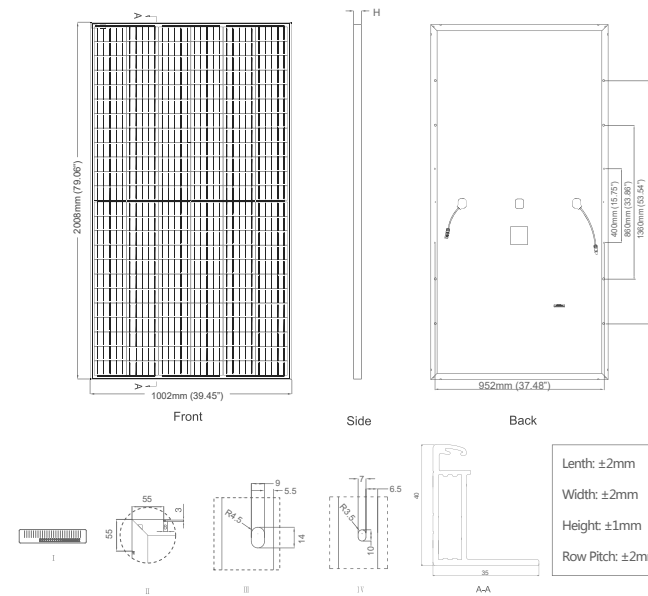


- ISO9001:2008 Quality Standards
- ISO14001:2004 Environmental Standards
- IEC61215, IEC61730 certified products
- OHSAS18001 Occupational Health & Safety Standards
- UL1703 certified products

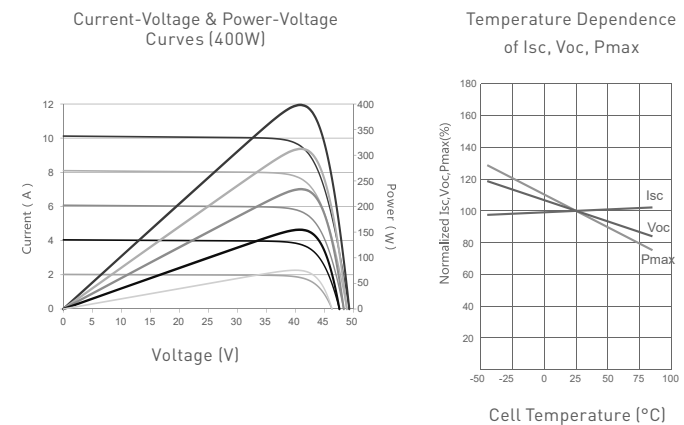
## KEY FEATURES

- Diamond Half Cell Technology**  
 World-record breaking efficient mono PERC half cut solar cells deliver high power in a small footprint.
- Designed for Long Life**  
 Uses the same DuPont protective film as the Space Station, Mars Lander, and jetliners. 25-year warranty.
- Shade Tolerant**  
 Twin array design allows continued performance even with shading by trees or debris.
- Power Boost in Cloudy Conditions**  
 A special film diffuses light, boosting performance even with shading by trees or debris.
- Protected Against All Environments**  
 Certified to withstand humidity, heat, rain, marine environments, wind, hailstorms, and packed snow.

## ENGINEERING DRAWINGS



## ELECTRICAL PERFORMANCE & TEMPERATURE DEPENDENCE



## ELECTRICAL CHARACTERISTICS

Module Type	JKM380M-72HBL		JKM385M-72HBL		JKM390M-72HBL		JKM395M-72HBL		JKM400M-72HBL	
	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT
Maximum Power (Pmax)	380Wp	286Wp	385Wp	290Wp	390Wp	294Wp	395Wp	298Wp	400Wp	302Wp
Maximum Power Voltage (Vmp)	40.5V	38.6V	40.8V	38.8V	41.1V	39.1V	41.4V	39.3V	41.7V	39.6V
Maximum Power Current (Imp)	9.39A	7.42A	9.44A	7.48A	9.49A	7.54A	9.55A	7.60A	9.60A	7.66A
Open-circuit Voltage (Voc)	48.9V	47.5V	49.1V	47.7V	49.3V	48.0V	49.5V	48.2V	49.8V	48.5V
Short-circuit Current (Isc)	9.75A	7.88A	9.92A	7.95A	10.12A	8.02A	10.23A	8.09A	10.36A	8.16A
Module Efficiency STC [%]	18.89%		19.14%		19.38%		19.63%		19.88%	

**\*STC:** ☀ Irradiance 1000W/m<sup>2</sup>    🌡 Cell Temperature 25°C    ☁ AM = 1.5  
**NOCT:** ☀ Irradiance 800W/m<sup>2</sup>    🌡 Ambient Temperature 20°C    ☁ AM = 1.5    🌬 Wind Speed 1m/s

\*Power measurement tolerance: +/- 3%

CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.  
 © Jinko Solar Co., Ltd. All rights reserved. Specifications included in this datasheet are subject to change without notice.  
 JKM380-400M-72HBL-A3.1-US

## MECHANICAL CHARACTERISTICS

Cells	Mono PERC Diamond Cell (158.75x158.75mm)
No. of Cells	144 (6x24)
Dimensions	2008x1002x40mm (79.06x39.45x1.57in)
Weight	22.5kg (49.6lbs)
Front Glass	3.2mm, Anti-Reflection Coating High Transmission, Low Iron, Tempered Glass
Frame	Anodized Aluminum Alloy
Junction Box	IP67 Rated
Output Cables	12AWG, 2286mm (90in) or Customized Length
Fire Type	Type 1
Pressure Rating	5400Pa (Snow) & 2400Pa (Wind)
Connector	MC4

## TEMPERATURE CHARACTERISTICS

Temperature Coefficients of Pmax	-0.35%/°C
Temperature Coefficients of Voc	-0.29%/°C
Temperature Coefficients of Isc	0.048%/°C
Nominal Operating Cell Temperature (NOCT)	45±2°C

## MAXIMUM RATINGS

Operating Temperature (°C)	-40°C~+85°C
Maximum System Voltage	1000VDC (UL/IEC)
Maximum Series Fuse Rating	20A

## PACKAGING CONFIGURATION

[Two pallets = One stack]  
 27pcs/pallets, 54pcs/stack, 594pcs/40' HQ Container

# Power Optimizer For North America

S440, S500



POWER OPTIMIZER

## PV power optimization at the module level

- Specifically designed to work with SolarEdge residential inverters
- Faster installations with simplified cable management and easy assembly using a single bolt
- Detects abnormal PV connector behavior, preventing potential safety issues\*
- Flexible system design for maximum space utilization
- Module-level voltage shutdown for installer and firefighter safety
- Compatible with bifacial PV modules
- Superior efficiency (99.5%)
- Meets NEC requirements for arc fault protection (AFCI) and Photovoltaic Rapid Shutdown System (PVRSS)
- Mitigates all types of module mismatch loss, from manufacturing tolerance to partial shading

\* Expected availability in 2022

[solaredge.com](http://solaredge.com)

**solaredge**

# / Power Optimizer For North America S440, S500

	S440	S500	Unit
<b>INPUT</b>			
Rated Input DC Power <sup>(1)</sup>	440	500	W
Absolute Maximum Input Voltage (Voc)	60		Vdc
MPPT Operating Range	8 - 60		Vdc
Maximum Short Circuit Current (Isc) of Connected PV Module	14.5	15	Adc
Maximum Efficiency	99.5		%
Weighted Efficiency	98.6		%
Ovenvoltage Category	II		
<b>OUTPUT DURING OPERATION</b>			
Maximum Output Current	15		Adc
Maximum Output Voltage	60		Vdc
<b>OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM INVERTER OR INVERTER OFF)</b>			
Safety Output Voltage per Power Optimizer	1+/-0.1		Vdc
<b>STANDARD COMPLIANCE</b>			
Photovoltaic Rapid Shutdown System	NEC 2014, 2017 & 2020		
EMC	FCC Part 15 Class B, IEC61000-6-2, IEC61000-6-3		
Safety	IEC62109-1 (class II safety), UL1741		
Material	UL94 V-0, UV Resistant		
RoHS	Yes		
Fire Safety	VDE-AR-E 2100-712:2013-05		
<b>INSTALLATION SPECIFICATIONS</b>			
Maximum Allowed System Voltage	1000		Vdc
Dimensions (W x L x H)	129 x 153 x 30 / 5.07 x 6.02 x 1.18		mm / in
Weight (including cables)	655 / 1.5		gr / lb
Input Connector	MC4 <sup>(2)</sup>		
Input Wire Length	0.1 / 0.32		m / ft
Output Connector	MC4		
Output Wire Length	(+) 2.3, (-) 0.10 / (+) 7.54, (-) 0.32		m / ft
Operating Temperature Range <sup>(3)</sup>	-40 to +85		°C
Protection Rating	IP68 / Type6B		
Relative Humidity	0 - 100		%

(1) Rated power of the module at STC will not exceed the power optimizer Rated Input DC Power. Modules with up to +5% power tolerance are allowed

(2) For other connector types please contact SolarEdge

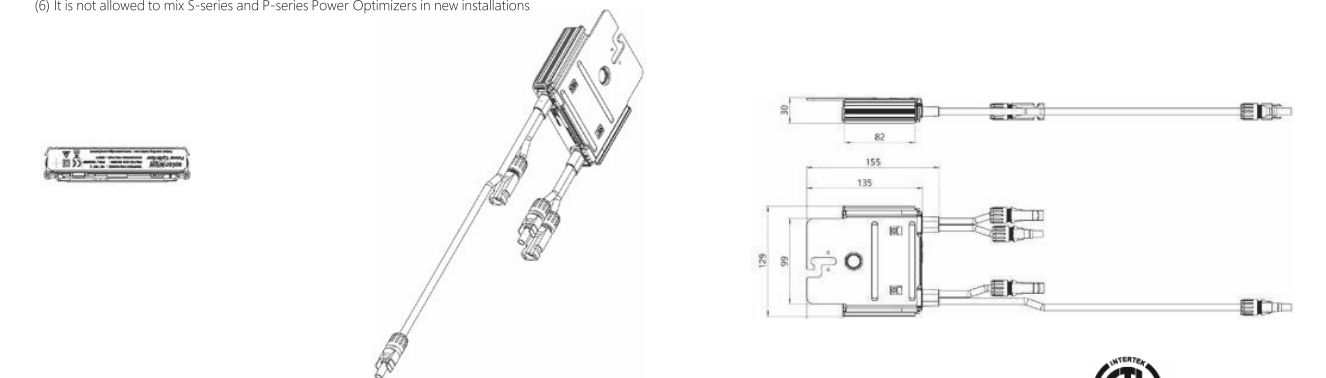
(3) For ambient temperature above +70°C / +158°F power de-rating is applied. Refer to Power Optimizers Temperature De-Rating Technical Note for more details

PV System Design Using a SolarEdge Inverter	Single Phase HD-Wave	Three Phase for 208V grid	Three Phase for 277/480V grid	
Minimum String Length (Power Optimizers)	S440, S500	8	14	18
Maximum String Length (Power Optimizers)	25		50 <sup>(4)</sup>	
Maximum Nominal Power per String	5700 (6000 with SE7600-US-SE11400-U)	6000	12750	W
Maximum Allowed Connected Power per String <sup>(5)</sup> (Permitted only when the difference in connected power between strings is 1,000W or less)	Refer to Footnote 5	One String 7200W Two strings or more 7800W	15,000W	
Parallel Strings of Different Lengths or Orientations	Y			

(4) A string with more than 30 optimizers does not meet NEC rapid shutdown requirements; safety voltage will be above the 30V requirement

(5) If the inverters rated AC power < maximum nominal power per string, then the maximum power per string will be able to reach up to the inverters maximum input DC power. Refer to: <https://www.solaredge.com/sites/default/files/se-power-optimizer-single-string-design-application-note.pdf>

(6) It is not allowed to mix S-series and P-series Power Optimizers in new installations



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# Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US



INVERTERS

## Optimized installation with HD-Wave technology

- // Specifically designed to work with power optimizers
- // Record-breaking 99% weighted efficiency
- // Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- // Fixed voltage inverter for longer strings
- // Integrated arc fault protection and rapid shutdown for NEC 2014, NEC 2017 and NEC 2020 per article 690.11 and 690.12
- // UL1741 SA certified, for CPUC Rule 21 grid compliance
- // Small, lightweight, and easy to install both outdoors or indoors
- // Built-in module-level monitoring
- // Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)

## / Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
APPLICABLE TO INVERTERS WITH PART NUMBER	SEXXXXH-XXXXXBXX4							
<b>OUTPUT</b>								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	✓	Vac
AC Frequency (Nominal)	59.3 - 60 - 60.5 <sup>(1)</sup>							Hz
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5	A
Power Factor	1, Adjustable - 0.85 to 0.85							
GFDI Threshold	1							A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes							
<b>INPUT</b>								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750	-	-	15500	W
Transformer-less, Ungrounded	Yes							
Maximum Input Voltage	480							Vdc
Nominal DC Input Voltage	380							Vdc
Maximum Input Current @240V <sup>(2)</sup>	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Maximum Input Current @208V <sup>(2)</sup>	-	9	-	13.5	-	-	27	Adc
Max. Input Short Circuit Current	45							Adc
Reverse-Polarity Protection	Yes							
Ground-Fault Isolation Detection	600k $\Omega$ Sensitivity							
Maximum Inverter Efficiency	99	99.2						%
CEC Weighted Efficiency	99						99 @ 240V 98.5 @ 208V	%
Nighttime Power Consumption	< 2.5							W

(1) For other regional settings please contact SolarEdge support

(2) A higher current source may be used; the inverter will limit its input current to the values stated



# / Single Phase Inverter with HD-Wave Technology

## for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/  
SE7600H-US / SE10000H-US / SE11400H-US

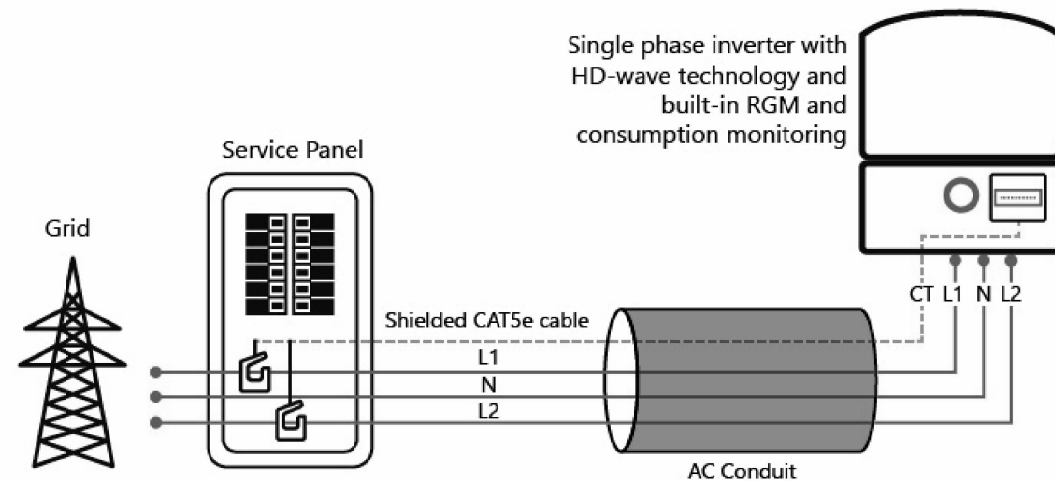
MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US
<b>ADDITIONAL FEATURES</b>							
Supported Communication Interfaces	RS485, Ethernet, ZigBee (optional), Cellular (optional)						
Revenue Grade Metering, ANSI C12.20	Optional <sup>(3)</sup>						
Consumption metering							
Inverter Commissioning	With the SetApp mobile application using Built-in Wi-Fi Access Point for Local Connection						
Rapid Shutdown - NEC 2014, NEC 2017 and NEC 2020, 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect						
<b>STANDARD COMPLIANCE</b>							
Safety	UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCI according to T.I.L. M-07						
Grid Connection Standards	IEEE1547, Rule 21, Rule 14 (HI)						
Emissions	FCC Part 15 Class B						
<b>INSTALLATION SPECIFICATIONS</b>							
AC Output Conduit Size / AWG Range	1" Maximum / 14-6 AWG			1" Maximum / 14-4 AWG			
DC Input Conduit Size / # of Strings / AWG Range	1" Maximum / 1-2 strings / 14-6 AWG			1" Maximum / 1-3 strings / 14-6 AWG			
Dimensions with Safety Switch (HxWxD)	17.7 x 14.6 x 6.8 / 450 x 370 x 174			21.3 x 14.6 x 7.3 / 540 x 370 x 185			
Weight with Safety Switch	22 / 10	25.1 / 11.4	26.2 / 11.9	38.8 / 17.6			
Noise	< 25			< 50			
Cooling	Natural Convection						
Operating Temperature Range	-40 to +140 / -40 to +60 <sup>(4)</sup>						
Protection Rating	NEMA 4X (Inverter with Safety Switch)						

(3) Inverter with Revenue Grade Meter P/N: SExxxxH-US000BNC4; Inverter with Revenue Grade Production and Consumption Meter P/N: SExxxxH-US000BNI4. For consumption metering, current transformers should be ordered separately: SEACT0750-200NA-20 or SEACT0750-400NA-20. 20 units per box

(4) Full power up to at least 50°C / 122°F; for power de-rating information refer to: <https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf>

## How to Enable Consumption Monitoring

By simply wiring current transformers through the inverter's existing AC conduits and connecting them to the service panel, homeowners will gain full insight into their household energy usage helping them to avoid high electricity bills



## Product specifications

# Eaton DG221URB

Catalog Number: DG221URB

Eaton General duty non-fusible safety switch, single-throw, 30 A, 240 V, NEMA 3R, Rainproof, Painted galvanized steel, Two-pole, Two-wire

## General specifications

Product Name	Catalog Number
Eaton general duty non-fusible safety switch	DG221URB
	UPC
	782113120232
Product Length/Depth	Product Height
6.88 in	10.81 in
Product Width	Product Weight
6.38 in	6 lb
Warranty	Certifications
Eaton Selling Policy 25-000, one (1) year from the date of installation of the Product or eighteen (18) months from the date of shipment of the Product, whichever occurs first.	UL Listed
	Catalog Notes
	WARNING! Switch is not approved for service entrance unless a neutral kit is installed.



## Product specifications

Product Category
General duty safety switch
Enclosure material
Painted galvanized steel
Type
Non-fusible, single-throw
Fuse configuration
Non-fusible
Number of wires
2
Enclosure
NEMA 3R
Voltage rating
240V
Amperage Rating
30A
Number Of Poles
Two-pole

## Resources

Catalogs
Eaton's Volume 2—Commercial Distribution
Multimedia
Double Up on Safety
Switching Devices Flex Center
Specifications and datasheets
Eaton Specification Sheet - DG221URB



Eaton Corporation plc  
Eaton House  
30 Pembroke Road  
Dublin 4, Ireland  
Eaton.com  
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Eaton.com/socialmedia

# FLASHKIT PRO



**FLASHKIT PRO** is the complete attachment solution for composition shingle roofs. Featuring Unirac's patented **SHED & SEAL** technology, a weather proof system which provides the ultimate protection against roof leaks. Kitted in 10 packs for maximum convenience, flashings and hardware are available in Mill or Dark finishes. With **FLASHKIT PRO**, you have everything you need for a quick, professional installation.



**TRUSTED WATER SEAL FLASHINGS**  
FEATURING **SHED & SEAL** TECHNOLOGY



**YOUR COMPLETE SOLUTION**  
Flashings, lags, continuous slot L-Feet and hardware



**CONVENIENT 10 PACKS**  
Packaged for speed and ease of handling

# FLASHKIT PRO

## INSTALLATION GUIDE



**FLASHKIT PRO** IS THE COMPLETE FLASHING AND ATTACHMENT SOLUTION FOR COMPOSITION ROOFS.



**STEP 1**  
INSTALL **FLASHKIT PRO** FLASHING



**STEP 2**  
INSTALL L-FOOT



**STEP 3**  
ATTACH L-FOOT TO RAIL

## PRE-INSTALL

- Locate roof rafters and snap chalk lines to mark the installation point for each roof attachment.
- Drill a 7/32" pilot hole at each roof attachment. Fill each pilot hole with sealant.

## STEP 1 INSTALL FLASHKIT PRO FLASHING

- Add a U-shaped bead of roof sealant to the underside of the flashing with the open side of the U pointing down the roof slope. Slide the aluminum flashing underneath the row of shingles directly up slope from the pilot hole as shown. Align the indicator marks on the lower end of the flashing with the chalk lines on the roof to center the raised hole in the flashing over the pilot hole in the roof. When installed correctly, the flashing will extend under the two courses of shingles above the pilot hole.

## STEP 2 INSTALL L-FOOT

- Fasten L-foot and Flashing into place by passing the included lag bolt and pre-installed stainless steel-backed EPDM washer through the L-foot EPDM grommet, and the raised hole in the flashing, into the pilot hole in the roof rafter.

- Drive the lag bolt down until the L-foot is held firmly in place. It is normal for the EPDM on the underside of the stainless steel backed EPDM washer to compress and expand beyond the outside edge of the steel washer when the proper torque is applied.

### TIP:

- Use caution to avoid over-torquing the lag bolt if using an impact driver.
- Repeat Steps 1 and 2 at each roof attachment point.

## STEP 3 ATTACH L-FOOT TO RAIL

- Insert the included 3/8"-16 T-bolts into the lower slot on the Rail (sold separately), spacing the bolts to match the spacing between the roof attachments.
- Position the Rail against the L-Foot and insert the threaded end of the T-Bolt through the continuous slot in the L-Foot. Apply anti-seize to bolt threads to prevent galling of the T-bolt and included 3/8" serrated flange nut. Place the 3/8" flange nut on the T-bolt and finger tighten. Repeat STEP 3 until all L-Feet are secured to the Rail with a T-bolt. Adjust the level and height of the Rail and torque each bolt to 30ft-lbs.

## THE COMPLETE ROOF ATTACHMENT SOLUTION

FOR QUESTIONS OR CUSTOMER SERVICE VISIT [UNIRAC.COM](http://UNIRAC.COM) OR CALL (505) 248-2702

## FASTER INSTALLATION. 25-YEAR WARRANTY.

FOR QUESTIONS OR CUSTOMER SERVICE VISIT [UNIRAC.COM](http://UNIRAC.COM) OR CALL (505) 248-2702



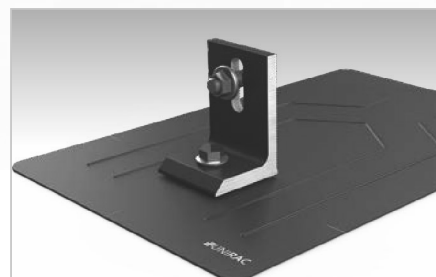
# SOLARMOUNT



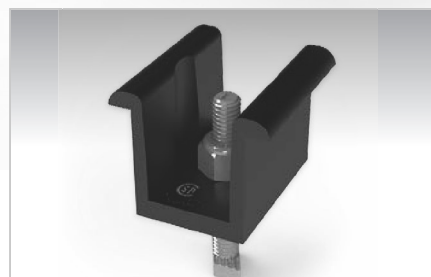
**SOLARMOUNT** is the professionals' choice for residential PV mounting applications. Every aspect of the system is designed for an easier, faster installation experience. **SOLARMOUNT** is a complete solution with revolutionary universal clamps, **FLASHKIT PRO**, full system UL 2703 certification and 25-year warranty. Not only is **SOLARMOUNT** easy to install, but best-in-class aesthetics make it the most attractive on any block!



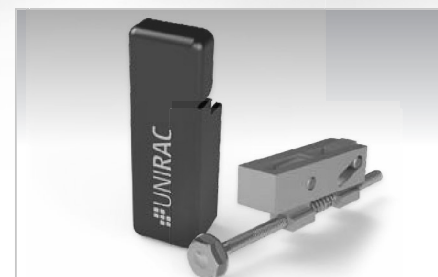
New & Improved:  
**THE PROFESSIONALS' CHOICE**  
With Superior Aesthetics



**NOW FEATURING FLASHKIT PRO**  
The Complete Roof Attachment Solution  
FEATURING **SHED & SEAL** TECHNOLOGY



**NOW WITH UNIVERSAL MIDCLAMPS**  
Accommodates 30mm-51mm module frames  
One tool, one-person installs are here!



**REVOLUTIONARY NEW ENDCLAMPS**  
Concealed design and included End Caps

## THE PROFESSIONALS' CHOICE FOR RESIDENTIAL RACKING

**BEST INSTALLATION EXPERIENCE • CURB APPEAL • COMPLETE SOLUTION • UNIRAC SUPPORT**

FOR QUESTIONS OR CUSTOMER SERVICE VISIT [UNIRAC.COM](http://UNIRAC.COM) OR CALL (505) 248-2702

# SOLARMOUNT



## BETTER DESIGNS

### TRUST THE INDUSTRY'S BEST DESIGN TOOL

Start the design process for every project in our U-Builder on-line design tool. It's a great way to save time and money.

## BETTER SYSTEMS

### ONE SYSTEM - MANY APPLICATIONS

Quickly set modules flush to the roof on steep pitched roofs. Orient a large variety of modules in Portrait or Landscape. Tilt the system up on flat or low slope roofs. Components available in mill, clear, and dark finishes to optimize your design financials and aesthetics.

## BETTER RESULTS

### MAXIMIZE PROFITABILITY ON EVERY JOB

Trust Unirac to help you minimize both system and labor costs from the time the job is quoted to the time your teams get off the roof. Faster installs. Less Waste. More Profits.

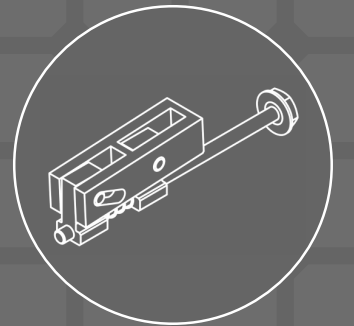
## BETTER SUPPORT

### WORK WITH THE INDUSTRIES MOST EXPERIENCED TEAM

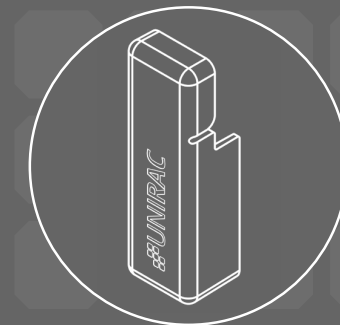
Professional support for professional installers and designers. You have access to our technical support and training groups. Whatever your support needs, we've got you covered. Visit [Unirac.com/solarmount](http://Unirac.com/solarmount) for more information.

**LISTED UL2703** BONDING & GROUNDING MECHANICAL LOADING SYSTEM FIRE CLASSIFICATION

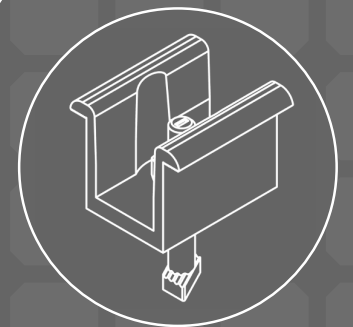
CONCEALED UNIVERSAL ENDCLAMPS



END CAPS INCLUDED WITH EVERY ENDCLAMP

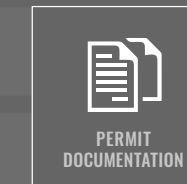
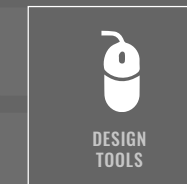
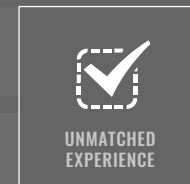


UNIVERSAL SELF-STANDING MIDCLAMPS



U-BUILDER ONLINE DESIGN TOOL SAVES TIME & MONEY  
Visit [design.unirac.com](http://design.unirac.com)

## UNIRAC CUSTOMER SERVICE MEANS THE HIGHEST LEVEL OF PRODUCT SUPPORT



### TECHNICAL SUPPORT

Unirac's technical support team is dedicated to answering questions & addressing issues in real time. An online library of documents including engineering reports, stamped letters and technical data sheets greatly simplifies your permitting and project planning process.

### CERTIFIED QUALITY PROVIDER

Unirac is the only PV mounting vendor with ISO certifications for 9001:2008, 14001:2004 and OHSAS 18001:2007, which means we deliver the highest standards for fit, form, and function. These certifications demonstrate our excellence and commitment to first class business practices.

### BANKABLE WARRANTY

Don't leave your project to chance. Unirac has the financial strength to back our products and reduce your risk. Have peace of mind knowing you are providing products of exceptional quality. SOLARMOUNT is covered by a 25 year limited product warranty and a 5 year limited finish warranty.

ENHANCE YOUR REPUTATION WITH QUALITY RACKING SOLUTIONS BACKED BY ENGINEERING EXCELLENCE AND A SUPERIOR SUPPLY CHAIN

PUB2018AUG31 - PRINTED UPDATE FOR QUESTIONS OR CUSTOMER SERVICE VISIT [UNIRAC.COM](http://UNIRAC.COM) OR CALL (505) 248-2702



# Certificate of Compliance

Certificate: 70131735

Master Contract: 266909

Project: 80082031

Date Issued: 2021-06-02

Issued To: **Unirac**  
1411 Broadway NE  
Albuquerque, New Mexico, 87102  
United States

Attention: Klaus Nicolaedis

*The products listed below are eligible to bear the CSA Mark shown with adjacent indicators 'C' and 'US' for Canada and US or with adjacent indicator 'US' for US only or without either indicator for Canada only.*

Issued by: *Michael Hoffnagle*  
Michael Hoffnagle



## PRODUCTS

CLASS - C531302 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems  
CLASS - C531382 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems -  
Certified to US Standards

Models:	SM	-	SOLARMOUNT Flush-to-Roof is an extruded aluminum rail PV racking system that is installed parallel to the roof in landscape or portrait orientations.
	ULA	-	Unirac Large Array is a ground mount system using the SolarMount (SM) platform for the bonding and grounding of PV modules.

Solarmount



Certificate: 70131735  
Project: 80082031

Master Contract: 266909  
Date Issued: 2021-06-02

The system listed is designed to provide bonding/grounding, and mechanical stability for photovoltaic modules. The system is secured to the roof with the L-Foot components through the roofing material to building structure. Modules are secured to the racking system with stainless steel or aluminum mid clamps and Aluminum end clamps. The modules are bonded to the racking system with the stainless-steel bonding mid clamps with piercing points. The system is grounded with 10 AWG copper wire to bonding/grounding lugs. Fire ratings of Class A with Type 1, 2, 3, 10, 19, 22 or 25 for steep slope. Tested at 5" interstitial gap which allows installation at any stand-off height.

The grounding of the system is intended to comply with the latest edition of the National Electrical Code, to include NEC 250 & 690. Local codes compliance is required, in addition to national codes. All grounding/bonding connections are to be torqued in accordance with the Installation Manual and the settings used during the certification testing for the current edition of the project report.

The system may employ optimizers/micro-inverters and used for grounding when installed per installation instructions.

UL 2703 Mechanical Load ratings:

Downward Design Load (lb/ft <sup>2</sup> )	113.5
Upward Design Load (lb/ft <sup>2</sup> )	50.7
Down-Slope Load (lb/ft <sup>2</sup> )	16.13

Test Loads:

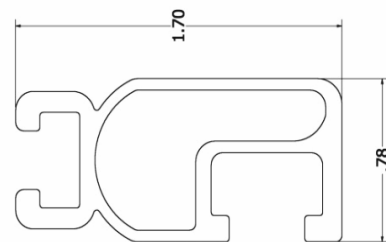
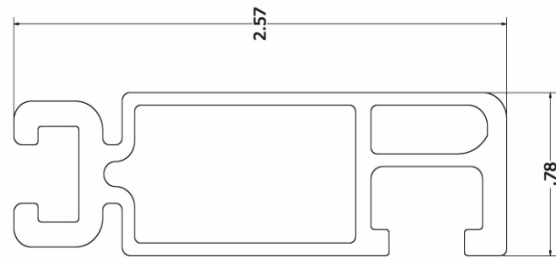
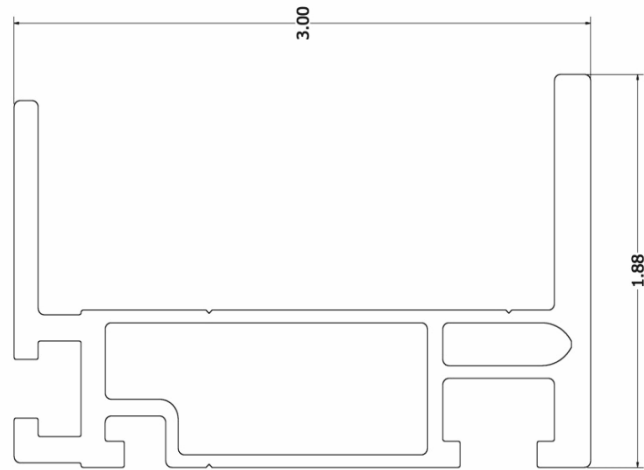
Downward Load (lb/ft <sup>2</sup> )	170.20
Upward Load (lb/ft <sup>2</sup> )	76.07
Down-Slope Load (lb/ft <sup>2</sup> )	24.2

## Unirac Large Array

ULA is a ground mount system using the SolarMount (SM) platform for the bonding and grounding of PV modules. ULA aluminum components merge with SM rails and installer-supplied steel pipe. The SM rail system is secured to the horizontal Pipe using the Rail Bracket components. The Rear and Front cap secures the horizontal Pipe to the vertical Pipe. The Front cap is also used to secure the Cross brace. A Slider is attached to the vertical Pipe to secure the Cross brace. The SM rails, caps, slider, rail brackets, and cross braces materials are 6105-T5 aluminum extrusion. Fasteners materials are 304 stainless steel. Horizontal and vertical pipe materials meet the minimum requirements of ASTM A53 for galvanized steel pipe in 2" and 3" diameter.

The mechanical load ratings from the SM test data will be applied to the ULA model.

Fire Testing is not applicable due to being a ground mount system.



Properties	SOLARMOUNT Light	SOLARMOUNT Rail Profile 2	SOLARMOUNT HD	Units
BEAM HEIGHT	1.70	2.57	3.00	in
APPROX WEIGHT	0.491	0.728	1.271	plf
CROSS SECTION AREA	0.409	0.625	1.059	in <sup>2</sup>
SECTION MODULUS (X-AXIS)	0.15	0.363	0.898	in <sup>3</sup>
SECTION MODULUS (Y-AXIS)	0.067	0.113	0.221	in <sup>3</sup>
MOMENT OF INERTIA (X-AXIS)	0.13	0.467	1.45	in <sup>4</sup>
MOMENT OF INERTIA (Y-AXIS)	0.026	0.045	0.267	in <sup>4</sup>
RADIUS OF GYRATION (X-AXIS)	0.564	0.865	1.17	in
RADIUS OF GYRATION (Y-AXIS)	0.254	0.269	0.502	in

# Certificate



Certificate no. **US 82160015 01**

**License Holder:**  
Unirac Inc.  
1411 Broadway NE  
Albuquerque NM 87102  
USA

**Manufacturing Plant:**  
Unirac Inc.  
1411 Broadway NE  
Albuquerque NM 87102  
USA

Test report no.: USA- 31440029 005  
Tested to: UL 2703:2015

Client Reference: Tom Young

**Certified Product:** Module Rack Mounting System

**License Fee - Units**

Model Designation: SolarMount (SM)

7

Max System Voltage of PV Module: 1000 VDC  
Max Size of PV Module: 20.8 sq.ft. surface area  
Max Overcurrent Protection Rating of PV Module:  
30 A when using the qualified grounding lugs;  
20 A when using the Enphase micro inverter EGC.

Fire Rating: Class A when installed with  
Type 1, Type 2, Type3, or Type 10 fire rated modules.

(continued)

Appendix: 1,1-5

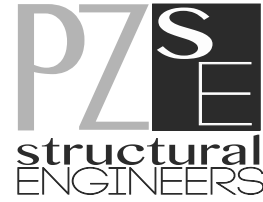
7

Licensed Test mark:



**Date of Issue**  
(day/mo/yr)  
27/07/2016





March 31, 2020

Unirac  
1411 Broadway Blvd. NE  
Albuquerque, NM 87102

Attn.: Unirac - Engineering Department

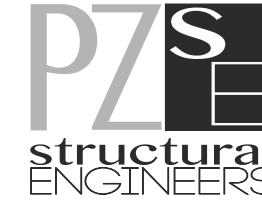
Re: Engineering Certification for the Unirac U-Builder 2.0 SOLARMOUNT Flush Rail

PZSE, Inc. - Structural Engineers has reviewed the Unirac SOLARMOUNT rails, proprietary mounting system constructed from modular parts which is intended for rooftop installation of solar photovoltaic (PV) panels; and has reviewed the U-builder Online tool. This U-Builder software includes analysis for the SOLARMOUNT LIGHT rail, SOLARMOUNT STANDARD rail, and SOLARMOUNT HEAVY DUTY rail with Standard and Pro Series hardware. All information, data and analysis contained within are based on, and comply with the following codes and typical specifications:

1. Minimum Design Loads for Buildings and other Structures, ASCE/SEI 7-05 and ASCE/SEI 7-10
2. 2006-2015 International Building Code, by International Code Council, Inc.
3. 2006-2015 International Residential Code, by International Code Council, Inc.
4. AC428, Acceptance Criteria for Modular Framing Systems Used to Support Photovoltaic (PV) Panels, November 1, 2012 by ICC-ES.
5. 2015 Aluminum Design Manual, by The Aluminum Association, 2015

Following are typical specifications to meet the above code requirements:

- Design Criteria:** Ground Snow Load = 0 - 100 (psf)  
Basic Wind Speed = 85 - 190 (mph)  
Roof Mean Height = 0 - 60 (ft)  
Roof Pitch = 0 - 45 (degrees)  
Exposure Category = B, C & D
- Attachment Spacing:** Per U-builder Engineering report.
- Cantilever:** Maximum cantilever length is  $L/3$ , where "L" is the span noted in the U-Builder online tool.
- Clearance:** 2" to 10" clear from top of roof to top of PV panel.
- Tolerance(s):** 1.0" tolerance for any specified dimension in this report is allowed for installation.
- Installation Orientation:** See SOLARMOUNT Rail Flush Installation Guide.  
Landscape - PV Panel long dimension is parallel to ridge/eave line of roof and the PV panel is mounted on the long side.  
Portrait - PV Panel short dimension is parallel to ridge/eave line of roof and the PV panel is mounted on the short side.



**Components and Cladding Roof Zones:**

The Components and Cladding Roof Zones shall be determined based on ASCE 7-05 and ASCE 7-10 Component and Cladding design.

- Notes:
- 1) U-builder Online tool analysis is only for Unirac SM SOLARMOUNT Rail Flush systems only and do not include roof capacity check.
  - 2) Risk Category II per ASCE 7-10.
  - 3) Topographic factor,  $k_{zt}$  is 1.0.
  - 4) Average parapet height is 0.0 ft.
  - 5) Wind speeds are LRFD values.
  - 6) Attachment spacing(s) apply to a seismic design category E or less.

**Design Responsibility:**

The U-Builder design software is intended to be used under the responsible charge of a registered design professional where required by the authority having jurisdiction. In all cases, this U-builder software should be used under the direction of a design professional with sufficient structural engineering knowledge and experience to be able to:

- Evaluate whether the U-Builder Software is applicable to the project, and
- Understand and determine the appropriate values for all input parameters of the U-Builder software.

This letter certifies that the Unirac SM SOLARMOUNT Rails Flush, when installed according to the U-Builder engineering report and the manufacture specifications, is in compliance with the above codes and loading criteria.

This certification excludes evaluation of the following components:

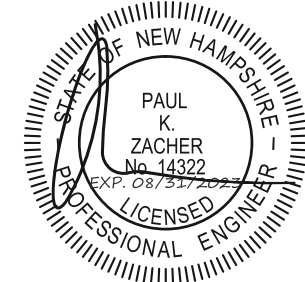
- 1) The structure to support the loads imposed on the building by the array; including, but not limited to: strength and deflection of structural framing members, fastening and/or strength of roofing materials, and/or the effects of snow accumulation on the structure.
- 2) The attachment of the SM SOLARMOUNT Rails to the existing structure.
- 3) The capacity of the solar module frame to resist the loads.

This requires additional knowledge of the building and is outside the scope of the certification of this racking system.

If you have any questions on the above, do not hesitate to call.

Prepared by:  
PZSE, Inc. – Structural Engineers  
Roseville, CA

**DIGITALLY SEALED**



**Project Address:** 111 GATES STREET

**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 5,208 SF +/-
- Estimated Age of Structure: c.1800
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gates Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** To remove the rear porch, construct a 2-story addition with walkout basement and re-configure existing side addition.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Remove rear porch
- Construct 2-story addition at the rear of the structure with a walkout basement
- Re-configure the existing side addition



**D. Purpose and Intent:**

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties





PROPOSED FRONT LEFT SIDE VIEW



PROPOSED FRONT RIGHT SIDE VIEW



PROPOSED REAR SIDE VIEW

EXISTING PROPERTY PHOTOS



FRONT LEFT SIDE VIEW



FRONT RIGHT SIDE VIEW



REAR VIEW



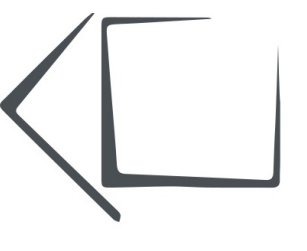
REAR SIDE VIEW



RIGHT SIDE PARKING AREA PROPERTY FENCE



LEFT SIDE REAR SCREEN PORCH & STORAGE AREA



Revision Table	
Number	Description

OVERVIEW

**CLIENT:**  
BLACK DOMBRONSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:

12/15/2023

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

0-2



EXISTING SOUTH END NEIGHBORHOOD PHOTOS: EXAMPLES OF SHED ROOFS AND 2ND/3RD FL. DECKS



152 SOUTH STREET



337 PLEASANT STREET



36 STATE STREET



77 SOUTH STREET



57 WALDEN STREET



213 GATES STREET



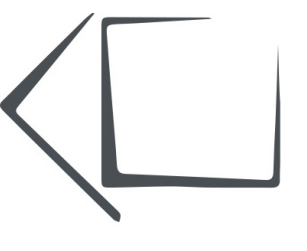
14 MECHANIC STREET



126 STATE STREET



44 PICKERING STREET



Revision Table	
Number	Description

**CLIENT:**  
BLACK DOMBRONSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:

12/15/2023

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SCALED FOR:  
24" X 36"

SCALE:

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SHEET:

P-1



EXISTING SOUTH END NEIGHBORHOOD PHOTOS: EXAMPLES OF SHED ROOFS AND 2ND/3RD FL. DECKS



41 SOUTH MILL STREET\_SIDE VIEW W/ DORMER



49 HUNKIN STREET\_SHED DORMER FACING SIDE



57 SOUTH STREET\_SHED DORMER TO THE LEFT OF A GABLE ADDITION



213 SOUTH STREET\_SHED DORMER COMING OFF THE BACK



434 MARCY STREET\_SHED DORMER STUCK BETWEEN TWO CHIMNEYS



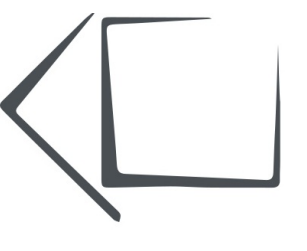
490 MARCY STREET\_TWO SHED WINDOWS, ONE OFF GARAGE AND ONE OFF ADDITION



NEW CASTLE AVENUE FRONT SIDE VIEW



NEW CASTLE AVENUE VIEW FROM MARCY\_ TWO SHED DORMERS WITH BALCONY



Revision Table	
Number	Description

**CLIENT:**  
BLACK DOWBROMSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
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amy@amyduttonhome.com  
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PRELIMINARY

NOT FOR CONSTRUCTION

USE





CITY OF PORTSMOUTH - MAP GEO GIS



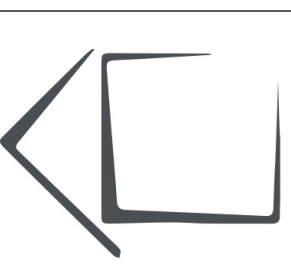
GOOGLE SATELITE SITE



GLASS HOUSE ELEVATION FROM FRONT

SCALE: 1/16" = 1'-0"

SITE PLAN



Revision Table		
Number	Date	Description

PLOT PLAN

**CLIENT:**  
BLACK DOMBRONSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
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amy@amyduttonhome.com  
207.357.2020

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SCALED FOR:  
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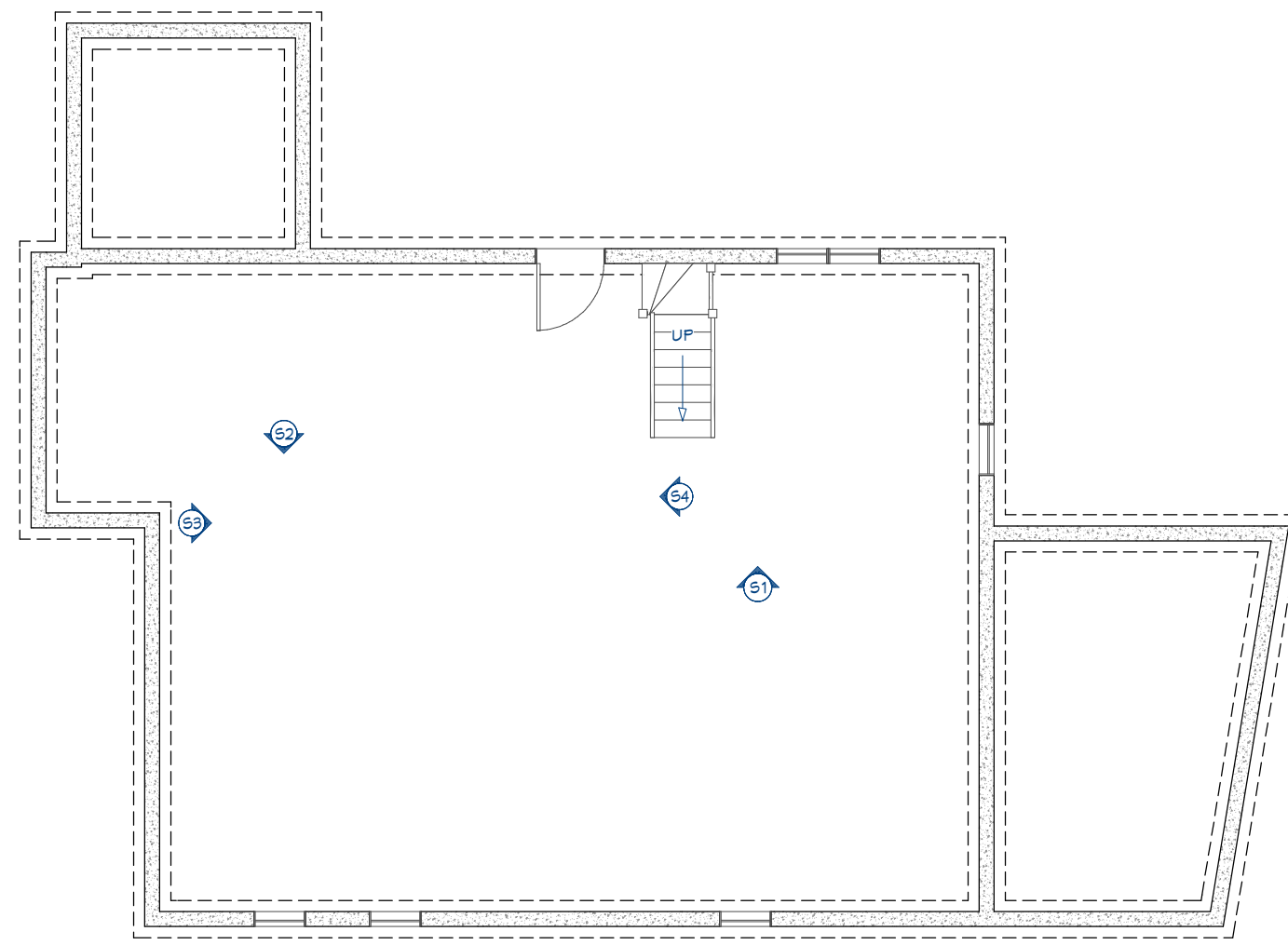
SCALE:

SEE SCALE ON DRAWINGS

SHEET:

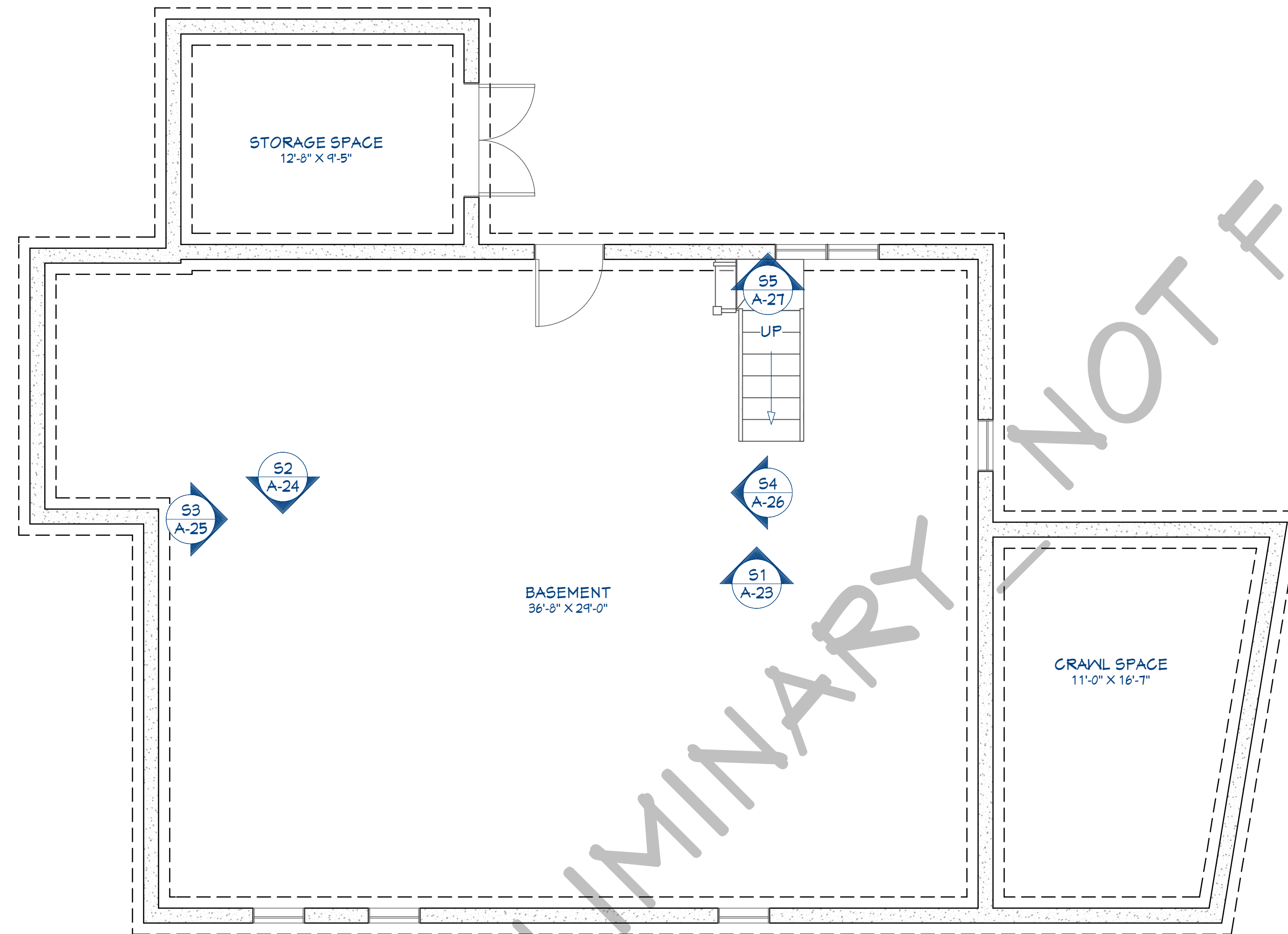
A-1





**EXISTING FOUNDATION PLAN**

SCALE: 1/8" = 1'-0"

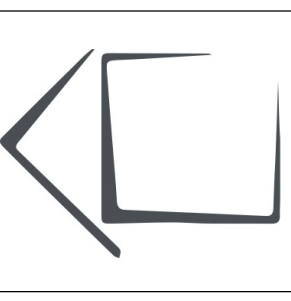


**PROPOSED FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	SLIDE IN RANGE
②	FIREPLACE
③	STAIRS TO GRADE
④	BRICK WALKWAY
⑤	SHED/ STORAGE AREA
⑥	6" CORNER BOARD, TYP.
⑦	RENOVATED ROOF
⑧	ALL 2ND FLR WINDOWS HUNG AT 86"
⑨	NEW ROOF PLANE
⑩	ROOF DECK

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

**FOUNDATION**

**CLIENT:**  
 BLACK DOWBROMSKI  
 111 Gates Street  
 Portsmouth, NH

**CONTACT:**  
 AMY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@amyduttonhome.com  
 207.357.2020

DATE:

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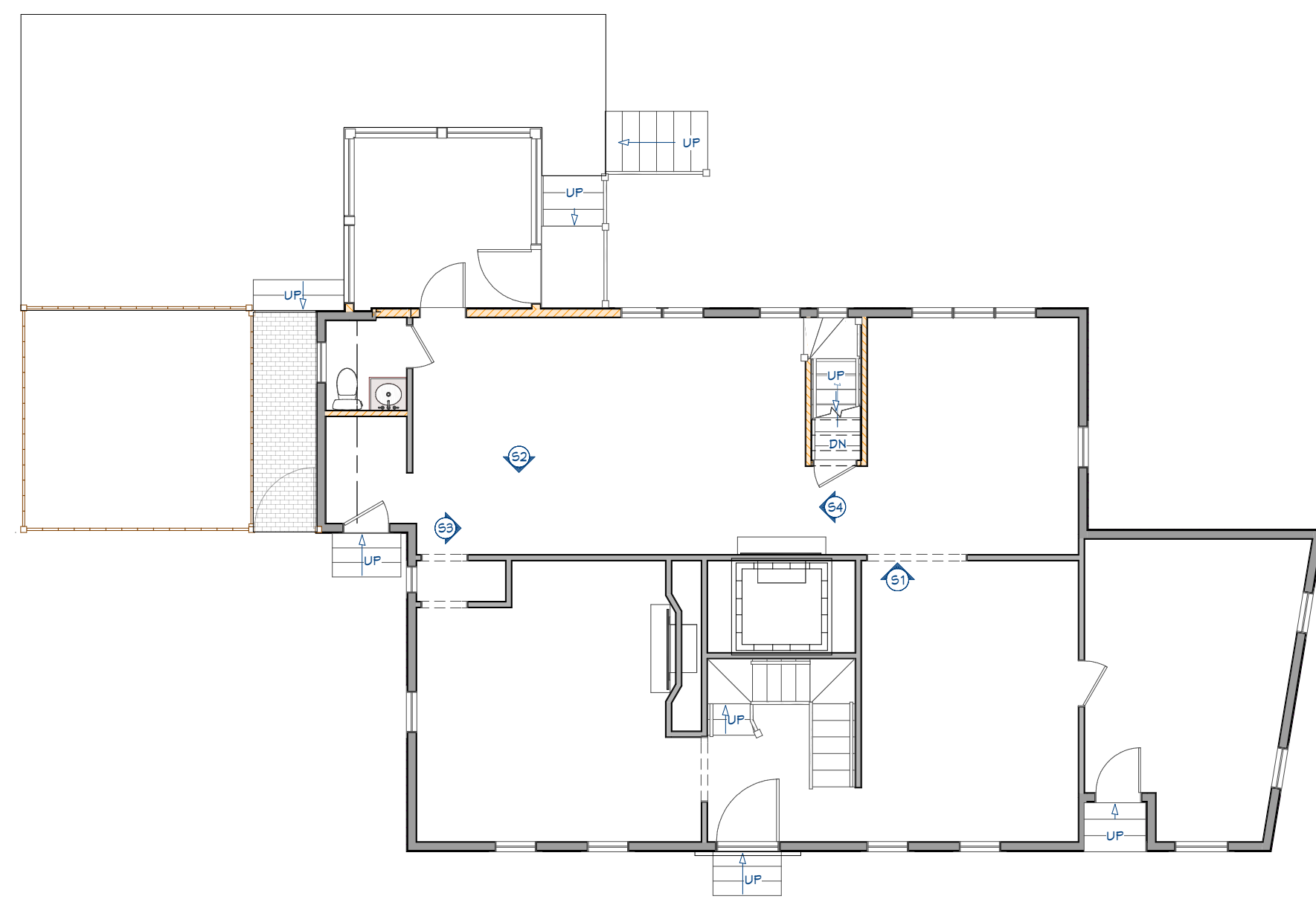
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SCALED FOR:  
24" X 36"

SCALE:  
SEE SCALE ON DRAWINGS

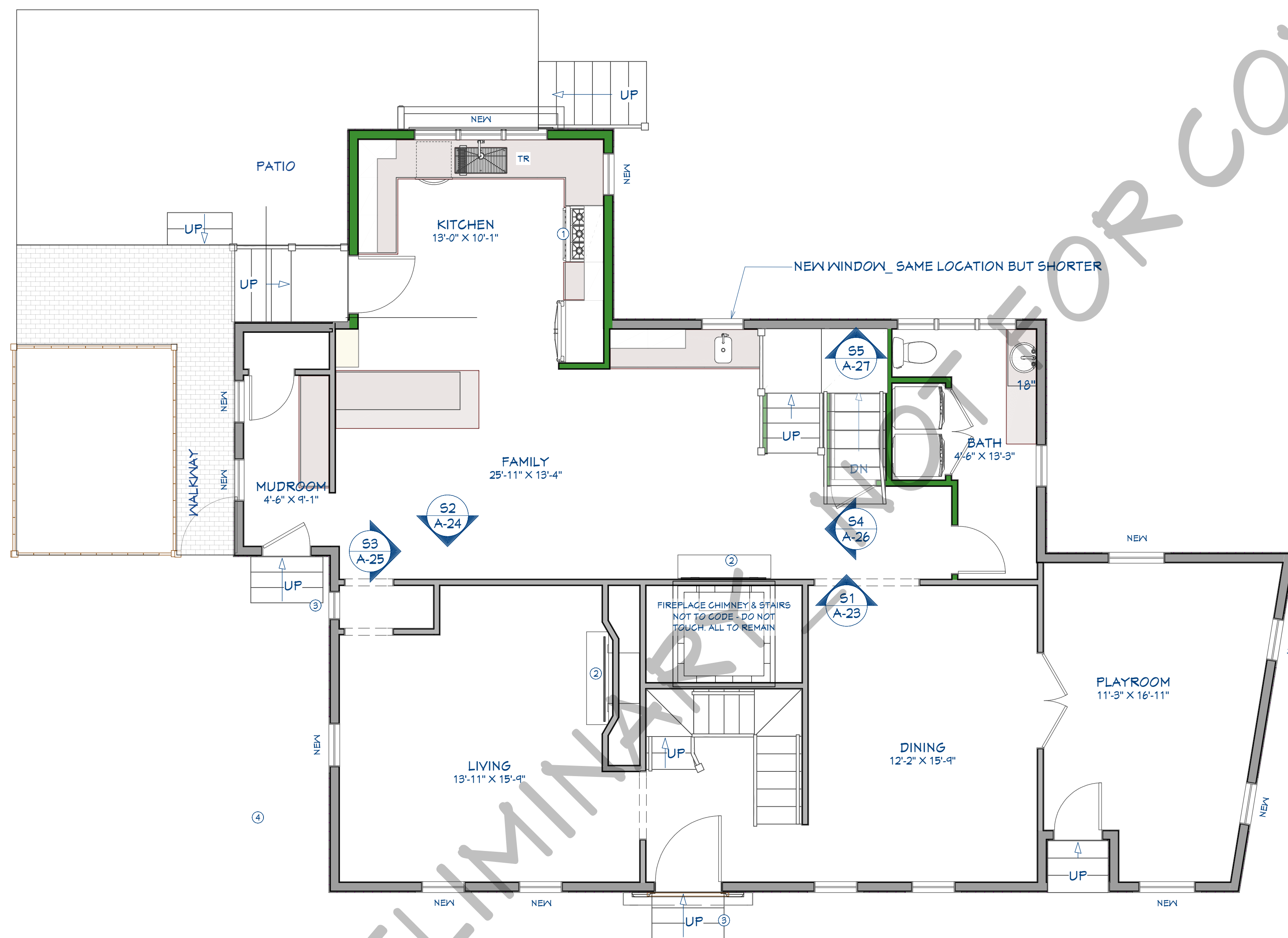
SHEET:

A-8



**EXISTING FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

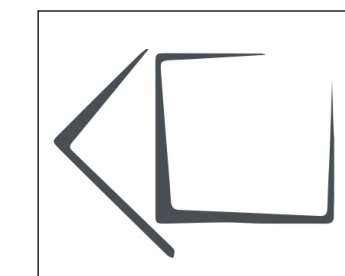


**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	SLIDE IN RANGE
②	FIREPLACE
③	STAIRS TO GRADE
④	BRICK WALKWAY
⑤	SHED/ STORAGE AREA
⑥	6" CORNER BOARD, TYP.
⑦	RENOVATED ROOF
⑧	ALL 2ND FLR WINDOWS HUNG AT 86"
⑨	NEW ROOF PLANE
⑩	ROOF DECK

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

**FIRST FLOOR**

**CLIENT:**  
BLACK DOWBROMSKI  
111 Gates Street  
Fortsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
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SCALED FOR:  
24" X 36"

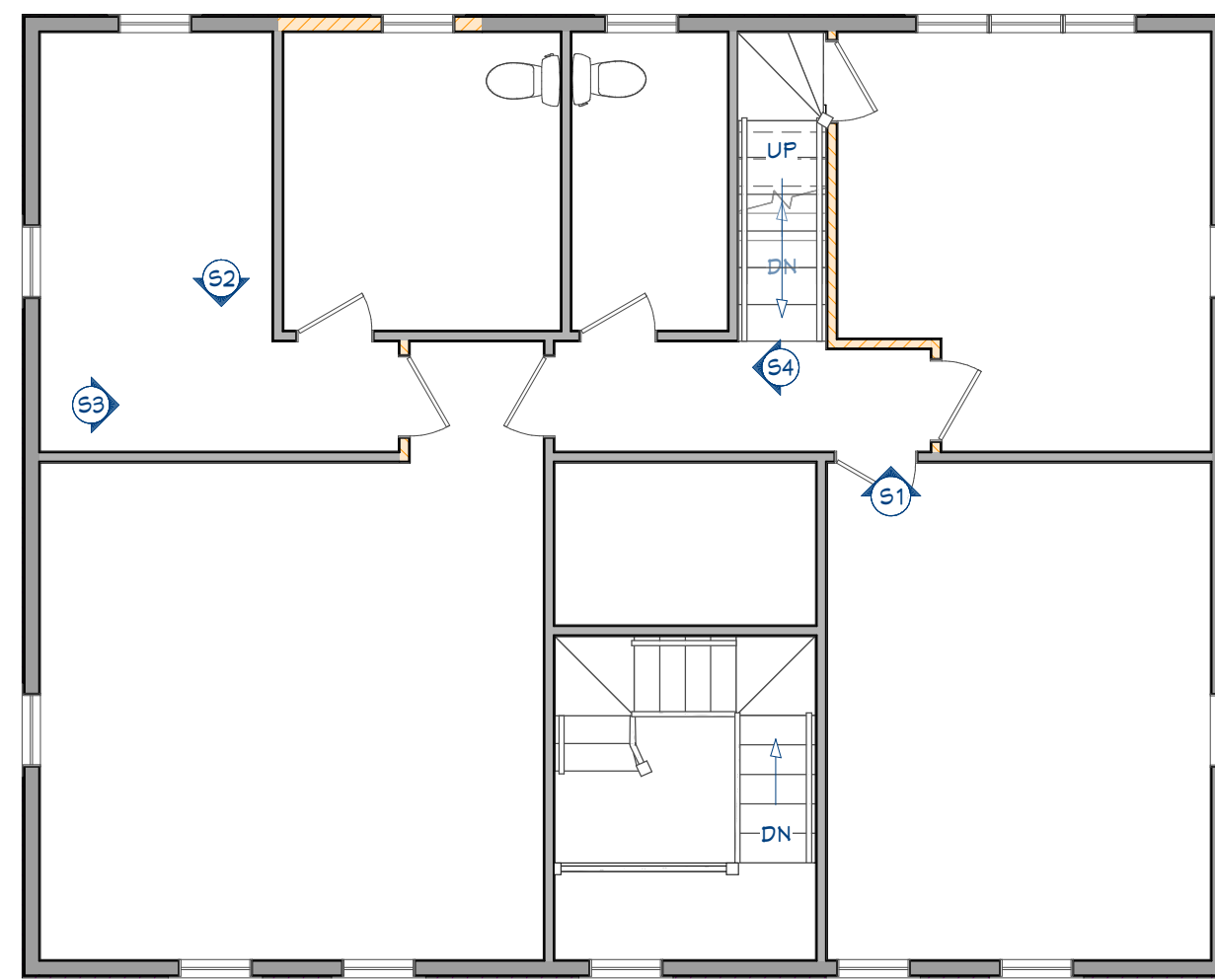
**SCALE:**

SEE SCALE ON DRAWINGS

**SHEET:**

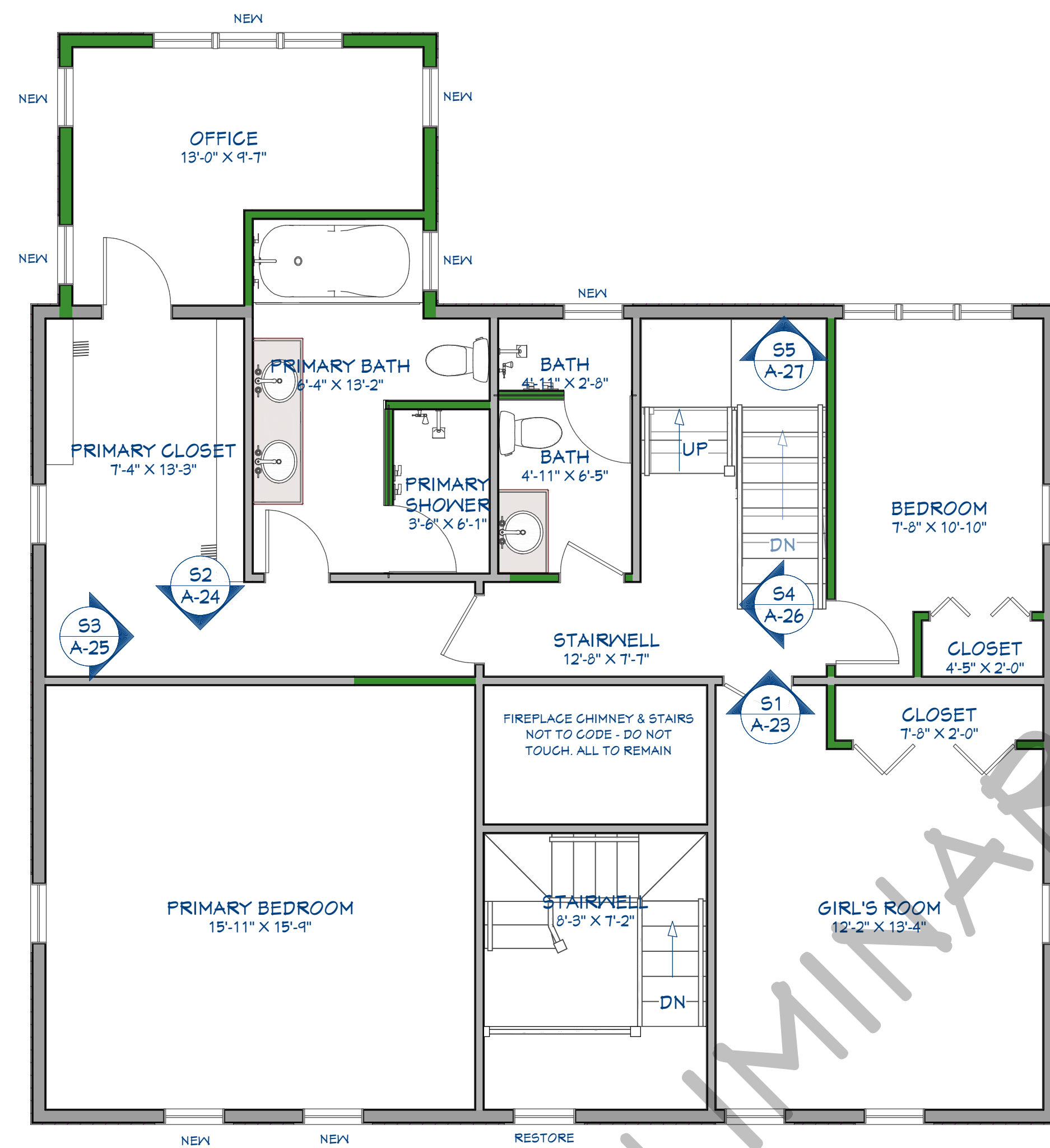
A-10





**EXISTING SECOND FLOOR PLAN**

SCALE: 1/16" = 1'-0"

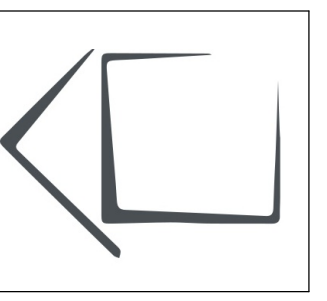


**PROPOSED SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	SLIDE IN RANGE
②	FIREPLACE
③	STAIRS TO GRADE
④	BRICK WALKWAY
⑤	SHED/ STORAGE AREA
⑥	6" CORNER BOARD, TYP.
⑦	RENOVATED ROOF
⑧	ALL 2ND FLR WINDOWS HUNG AT 86"
⑨	NEW ROOF PLANE
⑩	ROOF DECK

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table		
Number	Date	Description

**SECOND FLOOR**

**CLIENT:**  
BLACK DOWBROMSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:

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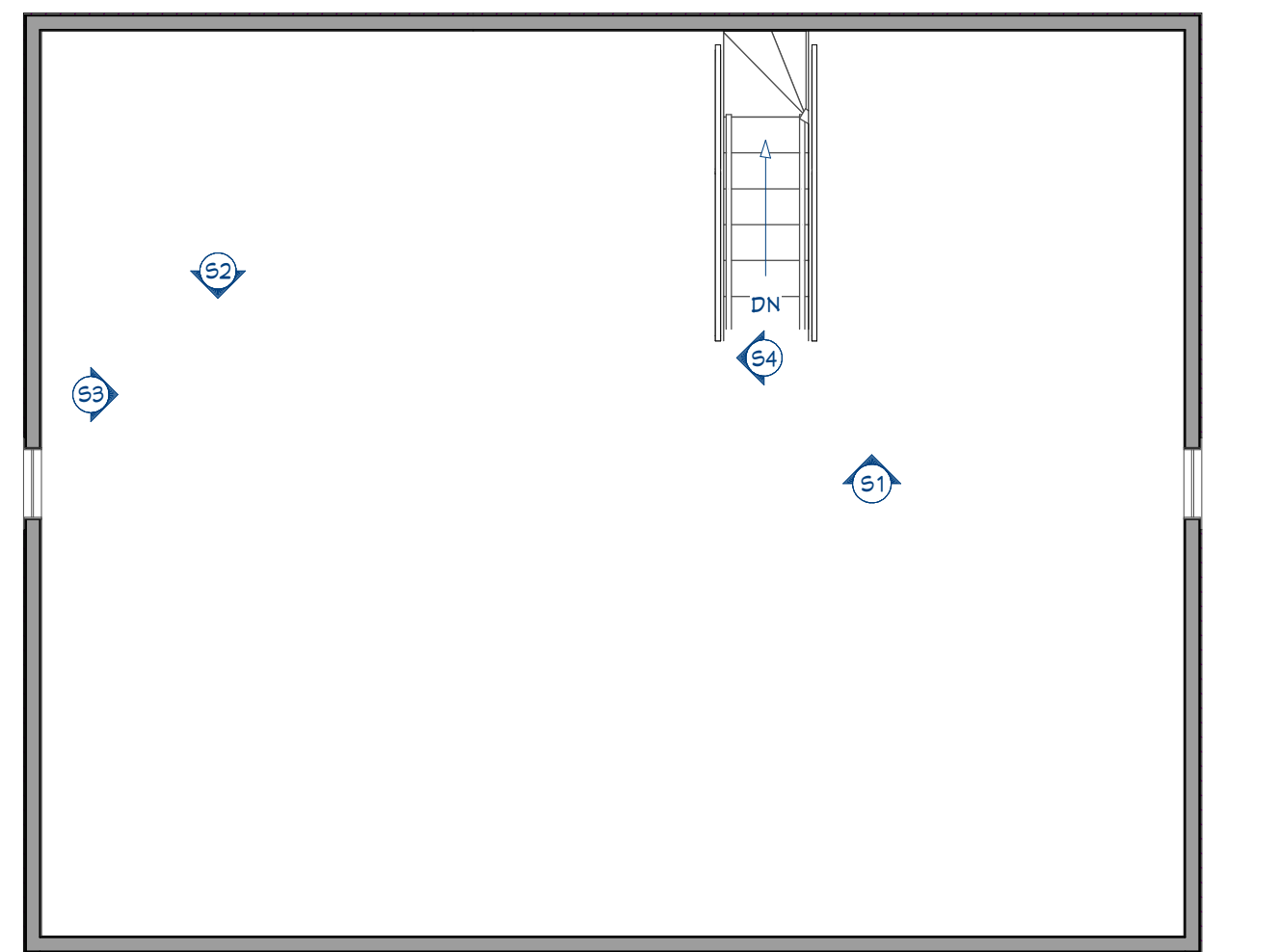
SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

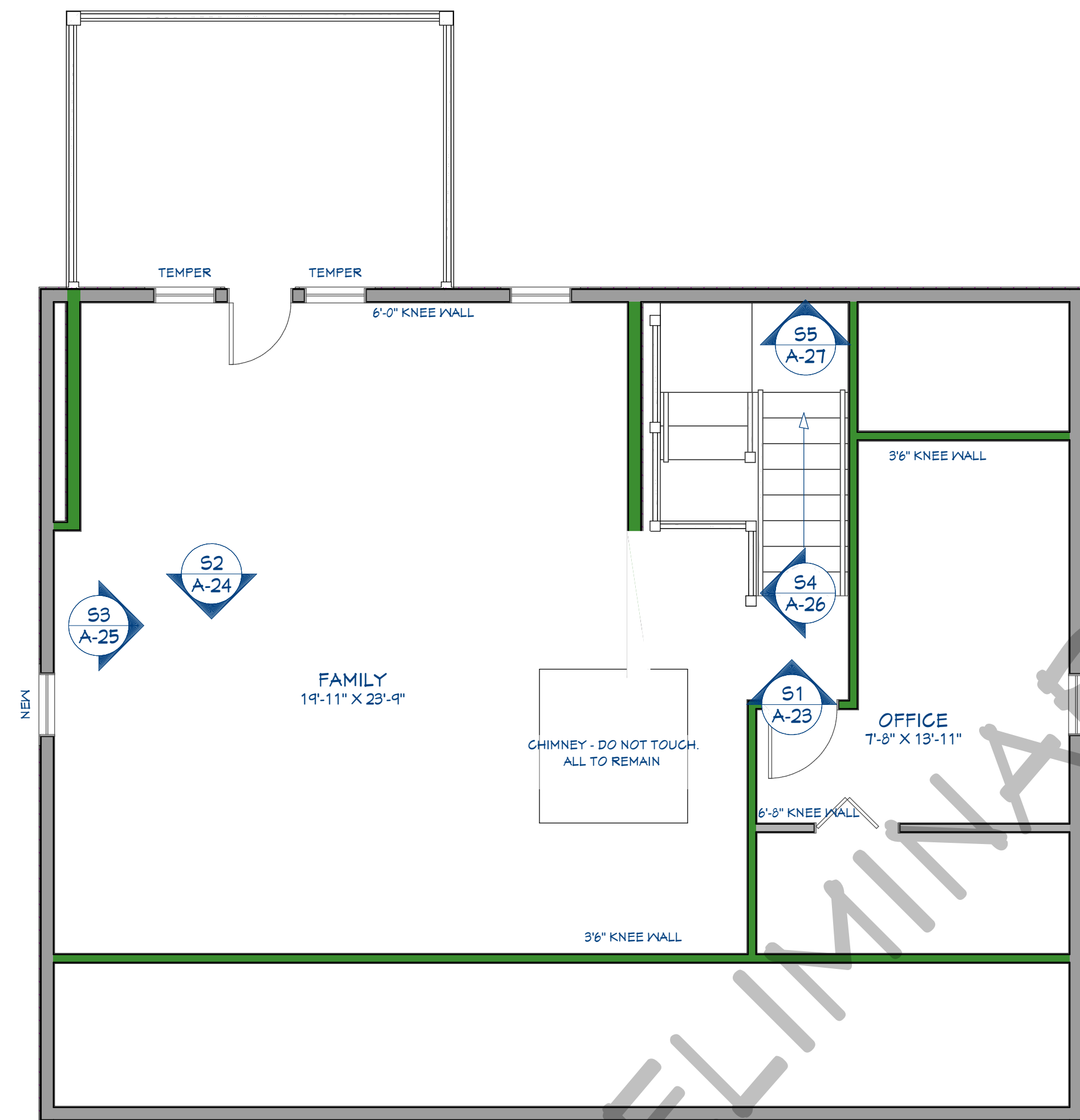
SHEET:

A-12



**EXISTING THIRD FLOOR PLAN**

SCALE: 1/16" = 1'-0"

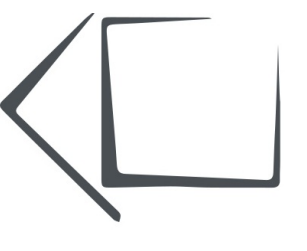


**PROPOSED THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	SLIDE IN RANGE
②	FIREPLACE
③	STAIRS TO GRADE
④	BRICK WALKWAY
⑤	SHED/ STORAGE AREA
⑥	6" CORNER BOARD, TYP.
⑦	RENOVATED ROOF
⑧	ALL 2ND FLR WINDOWS HUNG AT 86"
⑨	NEW ROOF PLANE
⑩	ROOF DECK

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table	
Number	Date

**THIRD FLOOR**

**CLIENT:**  
BLACK DOWBROMSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
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amy@amyduttonhome.com  
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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-14



**WINDOW SCHEDULE:**  
MFG: MARVIN\_ELEVATE

**FIRST FLOOR**

WINDOW SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W01	3	28 3/4"x57"	27 3/4"	56"	LIVING	SINGLE HUNG	1
	W02	2	28"x49"	27"	48"	MUDROOM	SINGLE HUNG	1
	W03	4	28"x40"	27"	39"	KITCHEN	SINGLE HUNG	1
	W04	1	28"x40"	27"	39"	FAMILY	SINGLE HUNG	1
	W05	2	37"x57"	36"	56"	PLAYROOM	SINGLE HUNG	1
	W06	2	28"x57"	27"	56"	PLAYROOM	SINGLE HUNG	1

**WINDOW NOTES:**

- 1 WOOD INTERIOR WITH WOOD EXTERIOR
- 2 HALF SCREENS ON ALL WINDOWS
- 3 INTERIOR WINDOW COLOR: WHITE
- 4 EXTERIOR WINDOW COLOR: PAINTED TO MATCH EXISTING
- 5 TRIM: REUSE EXISTING TRIM
- 6 MANUFACTURER: MARVIN ELEVATE
- 7 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES
- 8 EGRESS: BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 5.7 SQFT WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" AS TO MEET EGRESS. SECOND FLOOR SILLS MIN. 24" A.F.F. PROVIDE MIN. ONE DOOR OR WINDOW MEETING EGRESS REQ. IN BASEMENT, IN EACH SLEEPING ROOM, IN EACH POTENTIAL SLEEPING ROOM, AND OTHER LOCATIONS REQUIRED BY LOCAL CODE, IN SIZES REQUIRED BY LOCAL CODE. NOTE THAT CASMENT WINDOWS CODED BY MANUFACTURER AS MEETING EGRESS REQUIREMENTS TYPICALLY NEED TO BE ORDERED WITH SPECIFIC HARDWARE.
- 9 WINDOW TEMPERING: PROVIDE TEMPERED WINDOWS WHERE REQUIRED BY LOCAL CODES OR LOCAL AUTHORITIES.
- 10 WINDOW RO'S: 1/4" or 1/2" on each OF THE (4) SIDES ALLOWED FOR WINDOW RO, TYPICAL. REVIEW FRAMING SIZE VS. RO SIZE. ADJUST PER MANUF. REQUIREMENT AND/OR BUILDER PREFERENCE.
- 11 BASEMENT WINDOWS: ADD BASEMENT WINDOWS AS REQUIRED TO MEET STATE AND LOCAL CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO EGRESS AND LIGHT / VENTILATION.

**\*\*MULL WINDOWS TOGETHER WHEN APPROPRIATE**

**\*EGRESS = SIGNIFIES EGRESS (see window notes for specs)**

**SECOND FLOOR**

WINDOW SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W07	2	28"x55"	27"	54"	PRIMARY BEDROOM	SINGLE HUNG	2
	W08	6	28"x55"	27"	54"	OFFICE	SINGLE HUNG	2
	W09	1	28"x55"	27"	54"	PRIMARY BATH	SINGLE HUNG	2
	W10	1	28"x55"	27"	54"	BATH	SINGLE HUNG - VINYL INTERIOR / WOOD EXTERIOR	2

**THIRD FLOOR**

WINDOW SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	W11	1	28"x55"	27"	54"	OFFICE	CASMENT W/ CHECKRAIL - EGRESS	3
	W12	1	28 3/4"x55"	27 3/4"	54"	FAMILY	SINGLE HUNG	3
	W13	2	28"x49"	27"	48"	FAMILY/DECK	DOUBLE HUNG	3
	W14	1	28"x37 7/16"	27"	36 7/16"	FAMILY	DOUBLE HUNG	3

MARVIN ELEVATE™ COLLECTION  
**DOUBLE HUNG**

MO (mm)	1-10 (599)	2-2 (690)	2-6 (762)	2-8 (813)	2-10 (864)
RO (mm)	1-10 (599)	2-2 (690)	2-6 (762)	2-8 (813)	2-10 (864)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)

January 2020



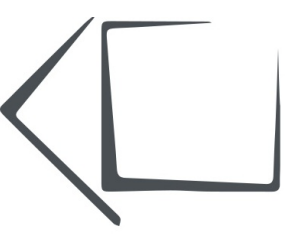
**Simulated Divided Lite (SDL)**



An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

MARVIN\_DOUBLE-HUNG 6/6 SDL

**WINDOW SCHEDULE**



Revision Table	Description
Number	Date

**WINDOW SCHEDULE**

**CLIENT:**  
BLACK DOWNSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:

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24" X 36"

SCALE:

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SHEET:

A-16



**DOOR SCHEDULE:**  
MFG: BROSCO / MARVIN

**BASEMENT**

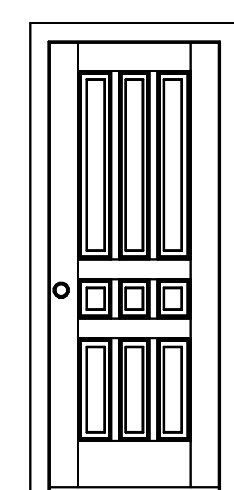
DOOR SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	SIZE	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	D01	1	3068 R EX	36"	80"	BASEMENT	EXT. HINGED-DOOR E06	0
	D02	1	5068 L/R EX	60"	80"	STORAGE SPACE	EXT. DOUBLE HINGED-DOOR E06	0

**FIRST FLOOR**

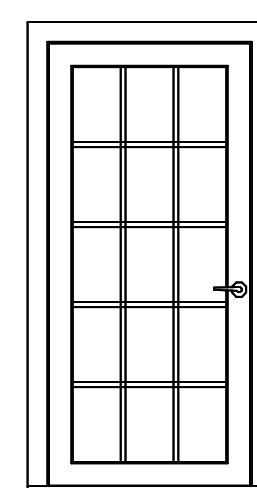
DOOR SCHEDULE								
3D EXTERIOR ELEVATION	NUMBER	QTY	SIZE	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION	FLOOR
	D04	1	2660 L EX	30"	72"	MUDROOM	EXT. HINGED-DOOR E06	1
	D05	1	2668 R IN	30"	80"	PLAYROOM/ UNSPECIFIED	HINGED-TS9000	1
	D06	1	3068 L EX	36"	80"	KITCHEN	EXT. HINGED-GLASS PANEL	1

**DOOR NOTES:**

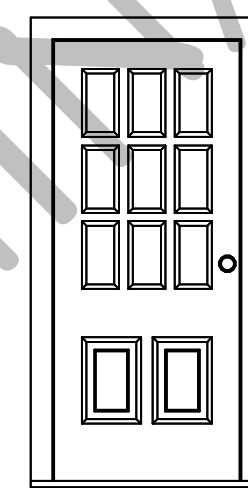
- DOORS SHALL BE 80"
- ALL DOORS SHALL BE SOLID CORE 1-3/4" THICK
- INTERIOR DOORS SHALL BE PTD. OR STAINED, VERIFY WITH DESIGNER
- DOORS BETWEEN GARAGE AND LIVING AREA SHOULD BE 1-3/4" TIGHT FITTING SOLID CORE DOORS
- EXTERIOR EXIT DOORS SHALL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPEN-ABLE FROM INSIDE
- GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- ALL GLAZING WITHIN 18IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR ARE TO HAVE SAFETY GLAZING
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- BARN DOORS, MEASURE TO FIT OPENING. ALL HARDWARE TO BE STAINLESS
- PROVIDE FIRE-RATED AND / OR SELF-CLOSING DOORS WHERE REQUIRED BY LOCAL CODES OR LOCAL AUTHORITIES.



**RIGHT FRONT DOOR**  
30" X 80"



**EXTERIOR DOOR**  
KITCHEN/DECK  
36" X 80"



**EXTERIOR HALF LIGHT DOOR**  
EXISTING MUDROOM, PROPOSED STORAGE & BASEMENT  
36" X 80"

**INSWING FRENCH DOOR**

MO (mm)	2-6 13/16 (175)	2-8 13/16 (204)	3-0 13/16 (233)
RO (mm)	2-7 5/16 (196)	2-9 5/16 (245)	3-1 5/16 (248)
FS (mm)	2-6 5/16 (177)	2-8 5/16 (221)	3-0 5/16 (223)
DLO (mm)	21 11/32 (346)	23 11/32 (350)	27 11/32 (399)

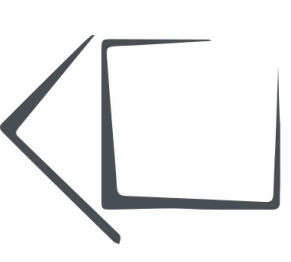
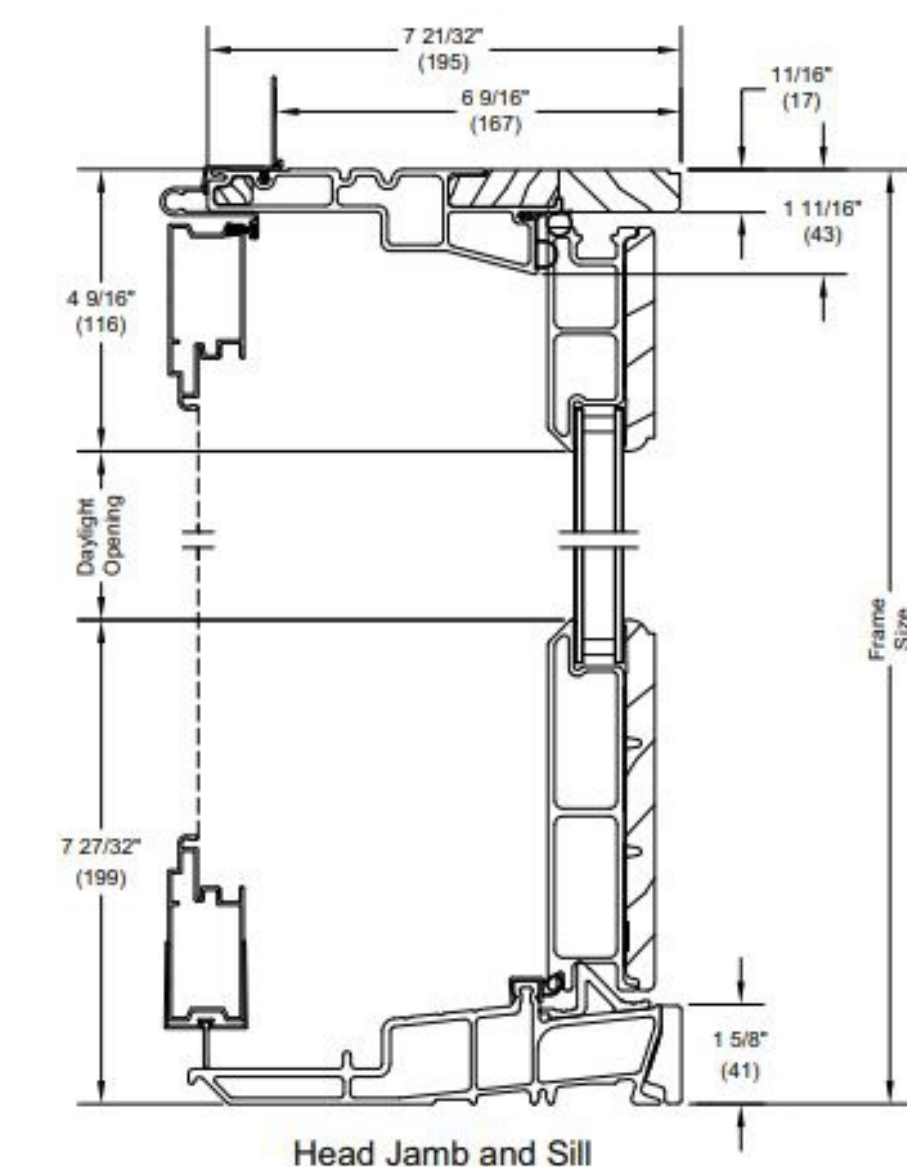
**Inswing Door Operation**  
X signifies an operating door panel, O means stationary.  
Listing the panels in a door starts from the left to the right, looking from the exterior.

**Details and Elevations not to scale.**  
When ordering 6 9/16" jamba, add 1/4" to width and 1/8" to height of Frame Size (FS), Rough Opening (RO), or Masonry Opening (MO).  
O = Stationary X = Operator

**Elevate Inswing French Door**

**Section Details: Single Panel with 6 9/16" Jamba**

Scale: 3" = 1' 0"



Revision Table

Number	Date	Description

**DOOR SCHEDULE**

**CLIENT:**  
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111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@duttonhome.com  
207.357.2020

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12/15/2023

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SCALED FOR:  
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SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-17



EXISTING PHOTOS



FRONT LEFT SIDE VIEW



FRONT RIGHT SIDE VIEW



FRONT MAIN DOOR



EXISTING NORTH ELEVATION | FRONT VIEW

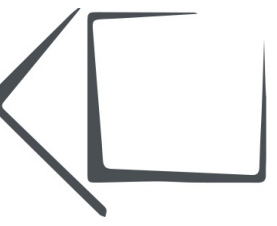
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.



Revision Table

Number	Date	Description

ELEVATIONS

CLIENT:  
BLACK DOBROMSKI  
111 Gates Street  
Portsmouth, NH

CONTACT:  
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amy@amyduttonhome.com  
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12/15/2023

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SCALED FOR:  
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SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-20

ELEVATIONS

SCALE: 1/4" = 1'-0"



EXISTING PHOTOS



REAR VIEW



REAR SIDE VIEW



REAR BASEMENT DOOR

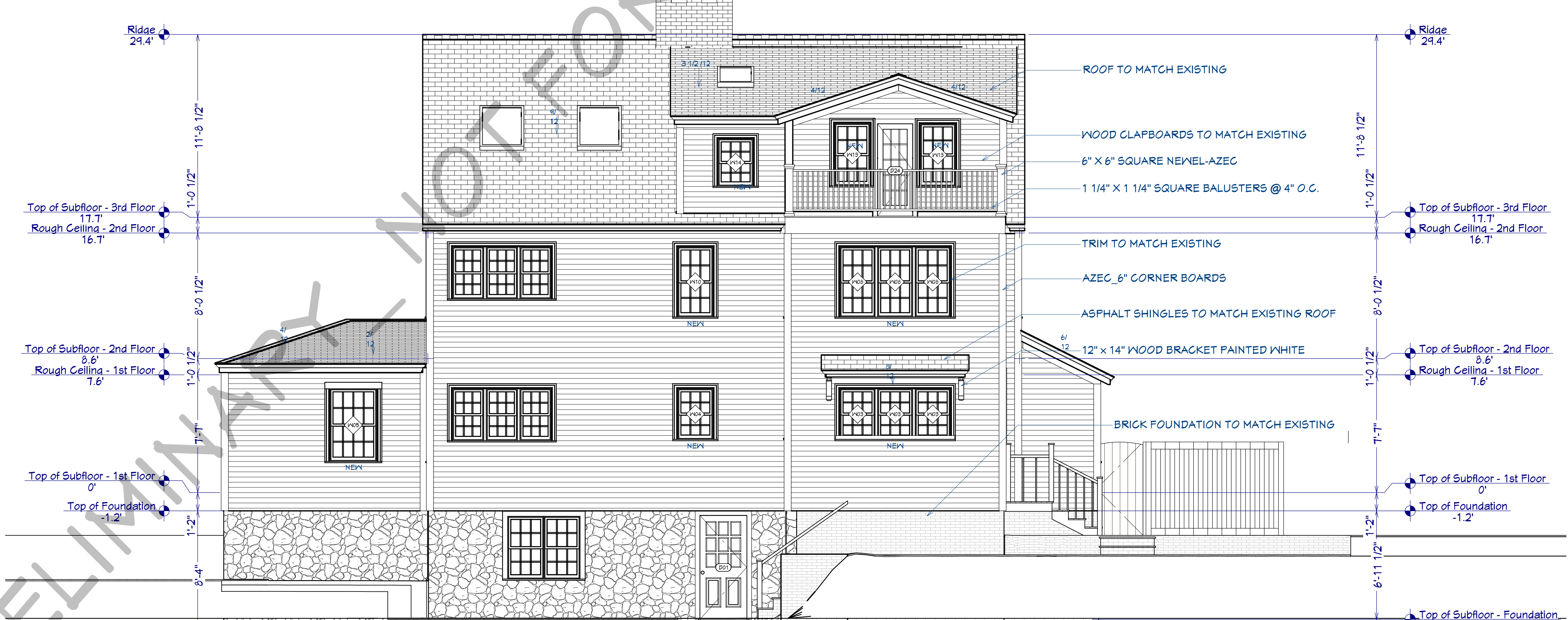


CUSTOM WOOD BRACKET W/ CHAMFER  
PAINTED WHITE  
12" X 14"



EXISTING SOUTH ELEVATION | REAR VIEW

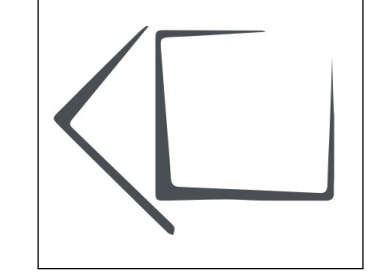
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.



Revision Table	
Number	Date

ELEVATIONS

**CLIENT:**  
BLACK DOVBRONSKI  
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12/15/2023

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SCALED FOR:  
24" X 36"

SCALE:  
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SHEET:  
A-19



**EXISTING PHOTOS**



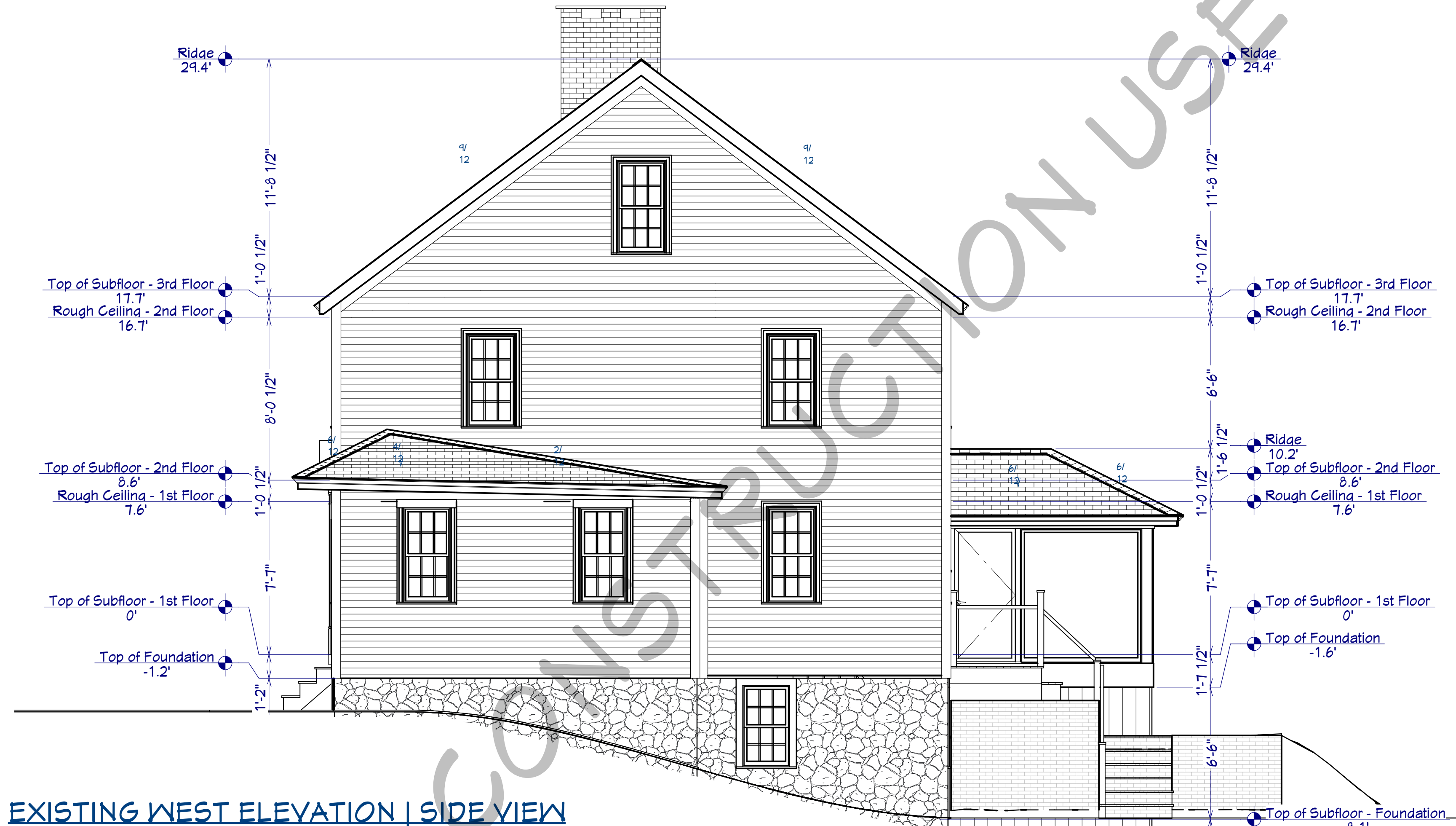
**FRONT SIDE VIEW**



**BACK SIDE VIEW**

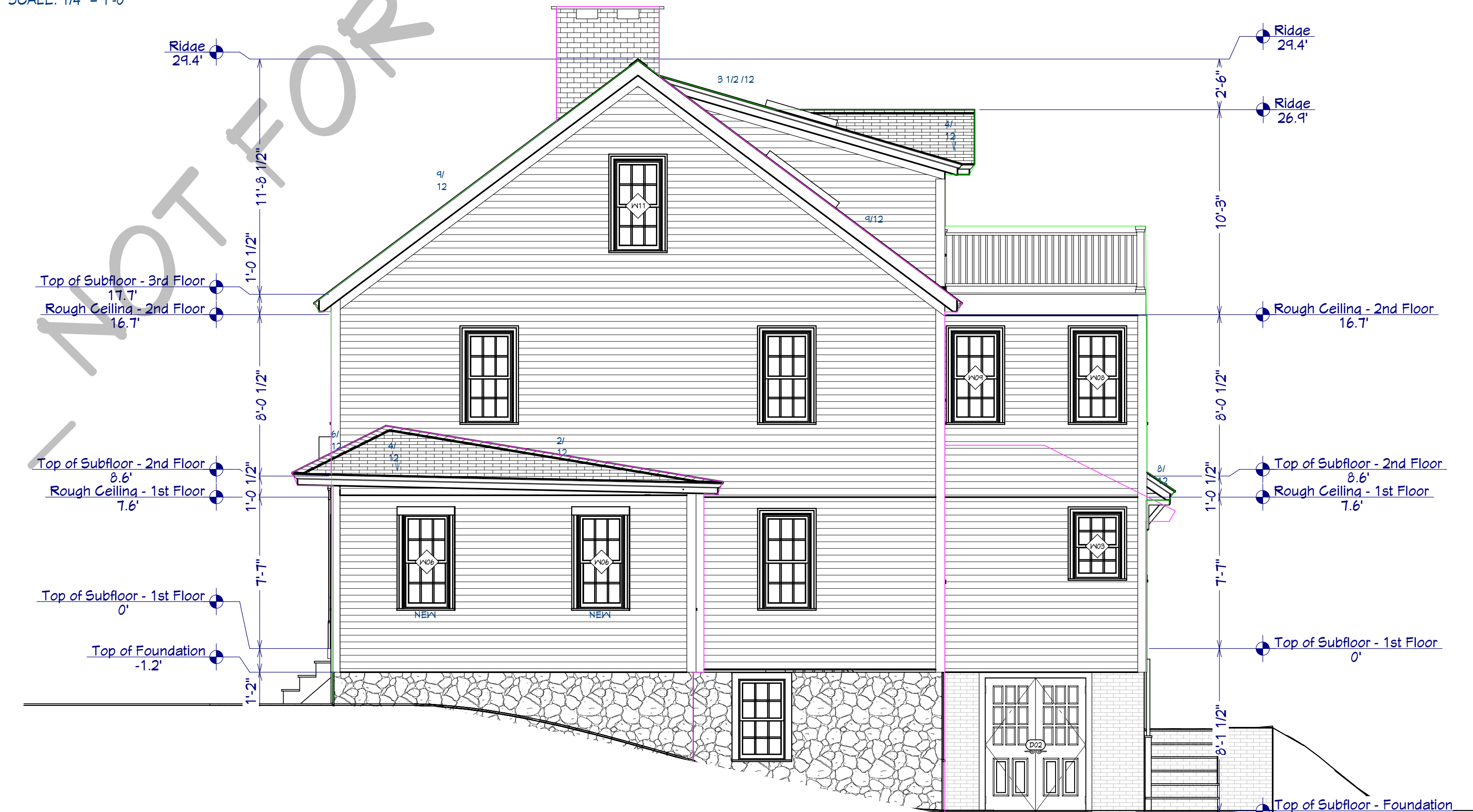
**LINE LEGEND**

- = EXISTING
- = PROPOSED



**EXISTING WEST ELEVATION | SIDE VIEW**

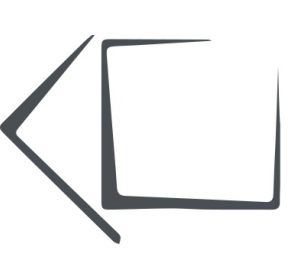
SCALE: 1/4" = 1'-0"



**PROPOSED WEST ELEVATION | SIDE VIEW**

SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.



Revision Table

Number	Date	Description

**ELEVATIONS**

**CLIENT:**  
BLACK DOWBROMSKI  
111 Gates Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

**DATE:**

12/15/2023

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-21

**ELEVATIONS**

SCALE: 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION USE



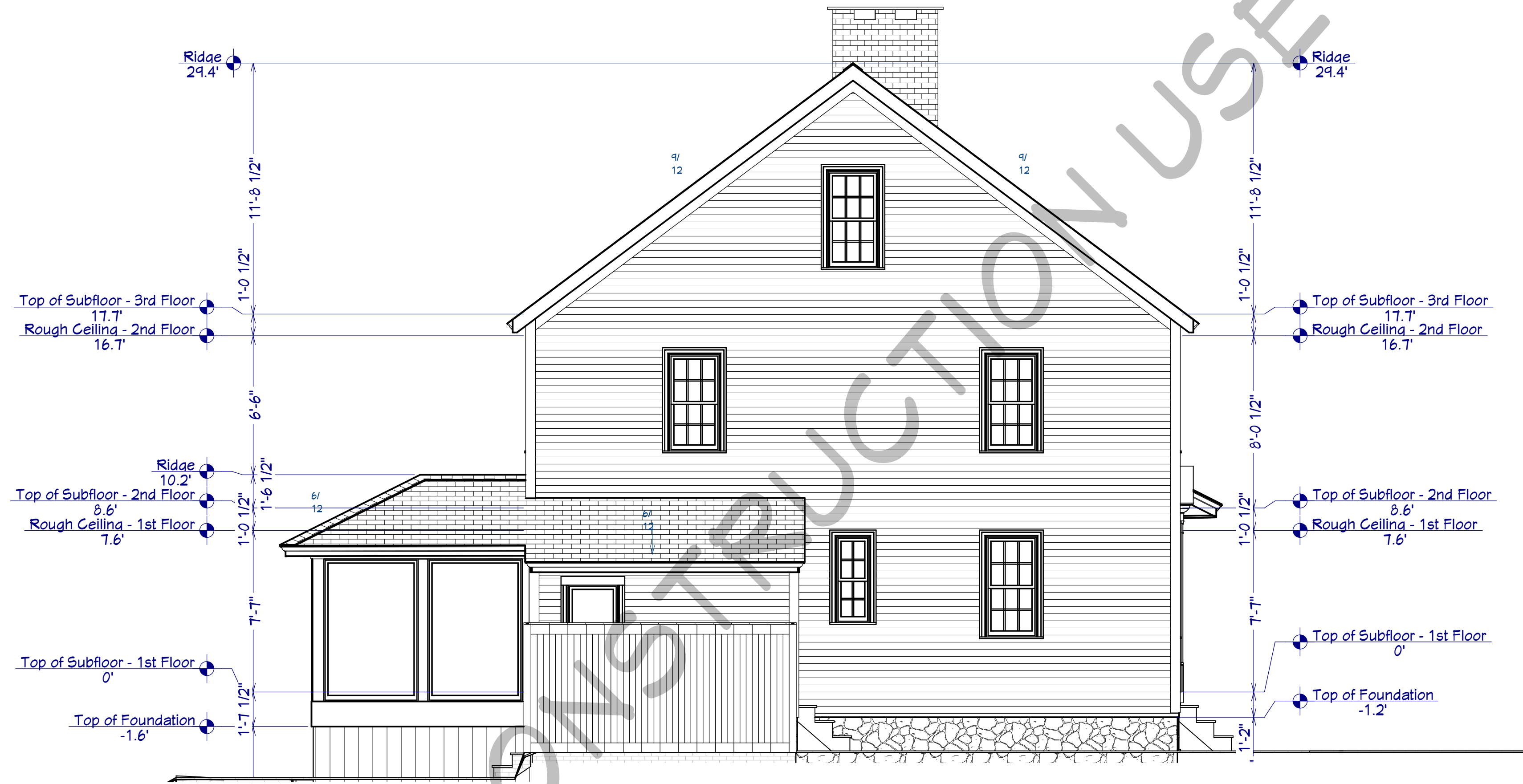
EXISTING PHOTOS



FRONT SIDE VIEW

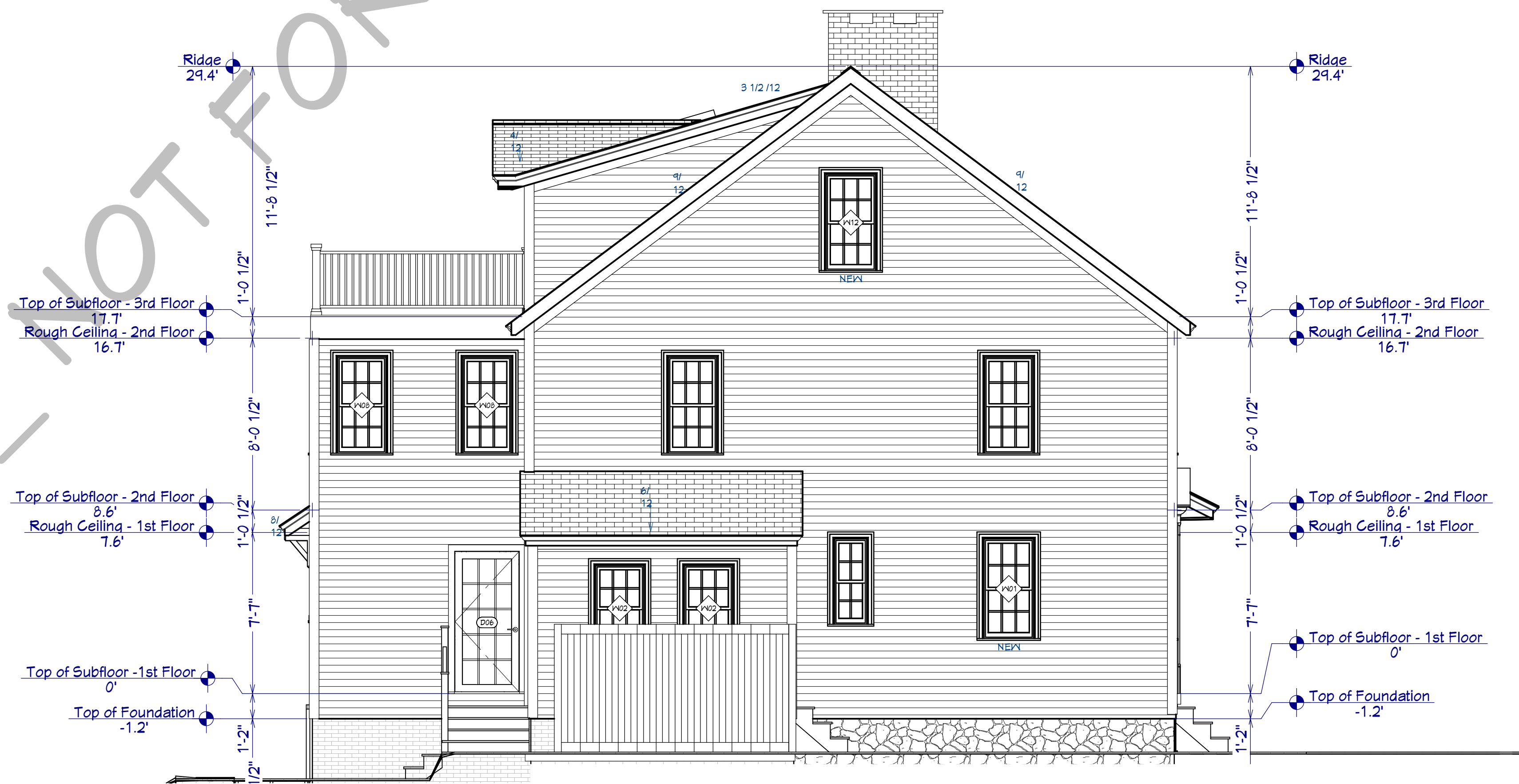


BACK SIDE VIEW



EXISTING EAST ELEVATION | SIDE VIEW

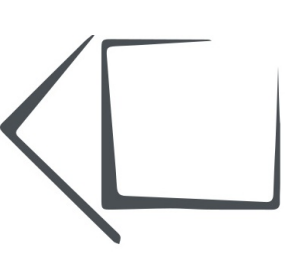
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY. WHERE ZONING HEIGHT RESTRICTIONS APPLY, BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.



Revision Table

Number	Date	Description

ELEVATIONS

CLIENT:  
BLACK DOYBROMSKI  
111 Gates Street  
Portsmouth, NH

CONTACT:  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.357.2020

DATE:  
12/15/2023

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SCALED FOR:  
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-22

ELEVATIONS

SCALE: 1/4" = 1'-0"



**Project Address:** 64 VAUGHAN STREET

**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 2

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 15,242 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Vernacular Commercial
- Historical Significance: C
- Public View of Proposed Work: View from Vaughan Mall and Hanover Streets
- Unique Features: NA
- Neighborhood Association: Downtown

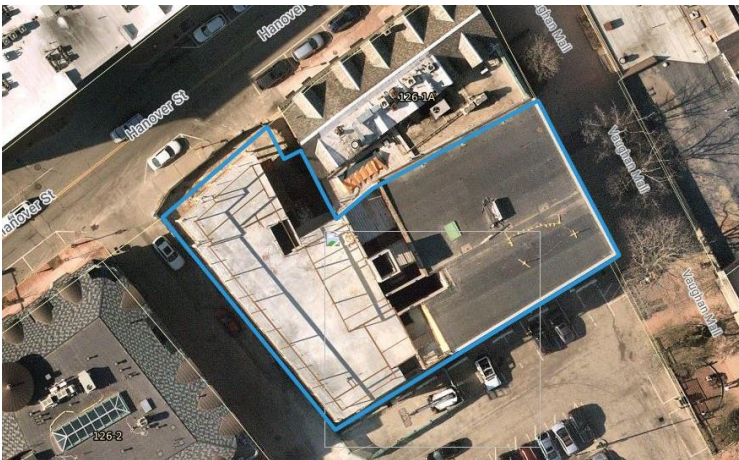


**B. Proposed Work:** To add a roof top pavilion.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- To add a rooftop pavilion



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties





December 15, 2023

City of Portsmouth  
Planning Department  
1 Junkins Avenue  
Portsmouth, NH 03801

Attn: Historic District Commission  
Re: 64 Vaughan mall (LU-20-214)

The applicant (Novocure) for the renovation/addition to 64 Vaughan Mall is requesting a work session/public hearing at the January 3, 2024 HDC meeting to review the proposed penthouse addition. The Penthouse is noted on the attached drawings dated 12/15/23.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Mark K. Moeller', followed by a long horizontal line extending to the right.

Mark K. Moeller, AIA LEED AP  
Principal

cc: Dean Smith, Novocure





HDC-1

Aerial Perspective  
Novocure Flagship at 64 Vaughan Mall

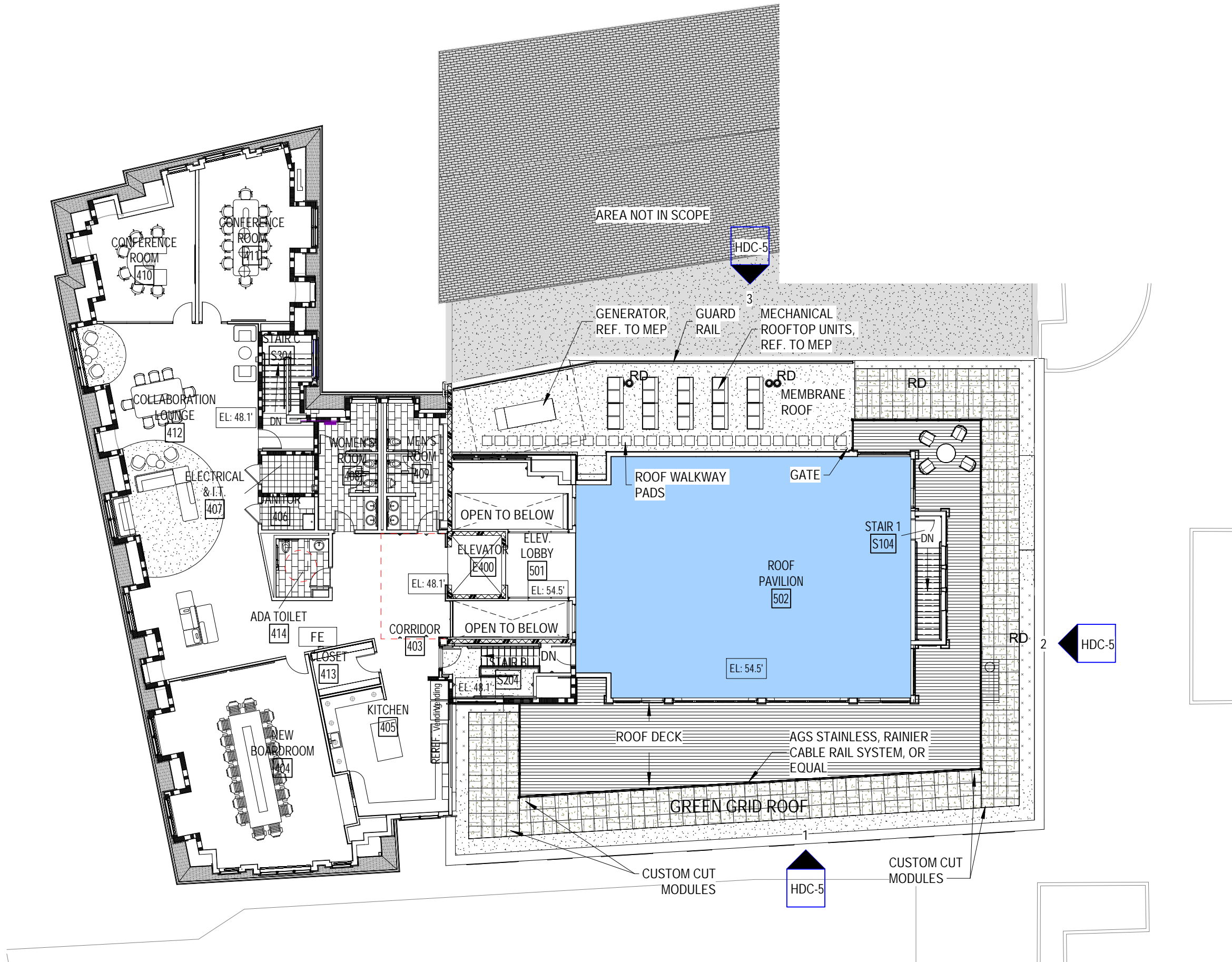
12/15/2023  
SCALE:



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INTERIORS  
PLANNERS

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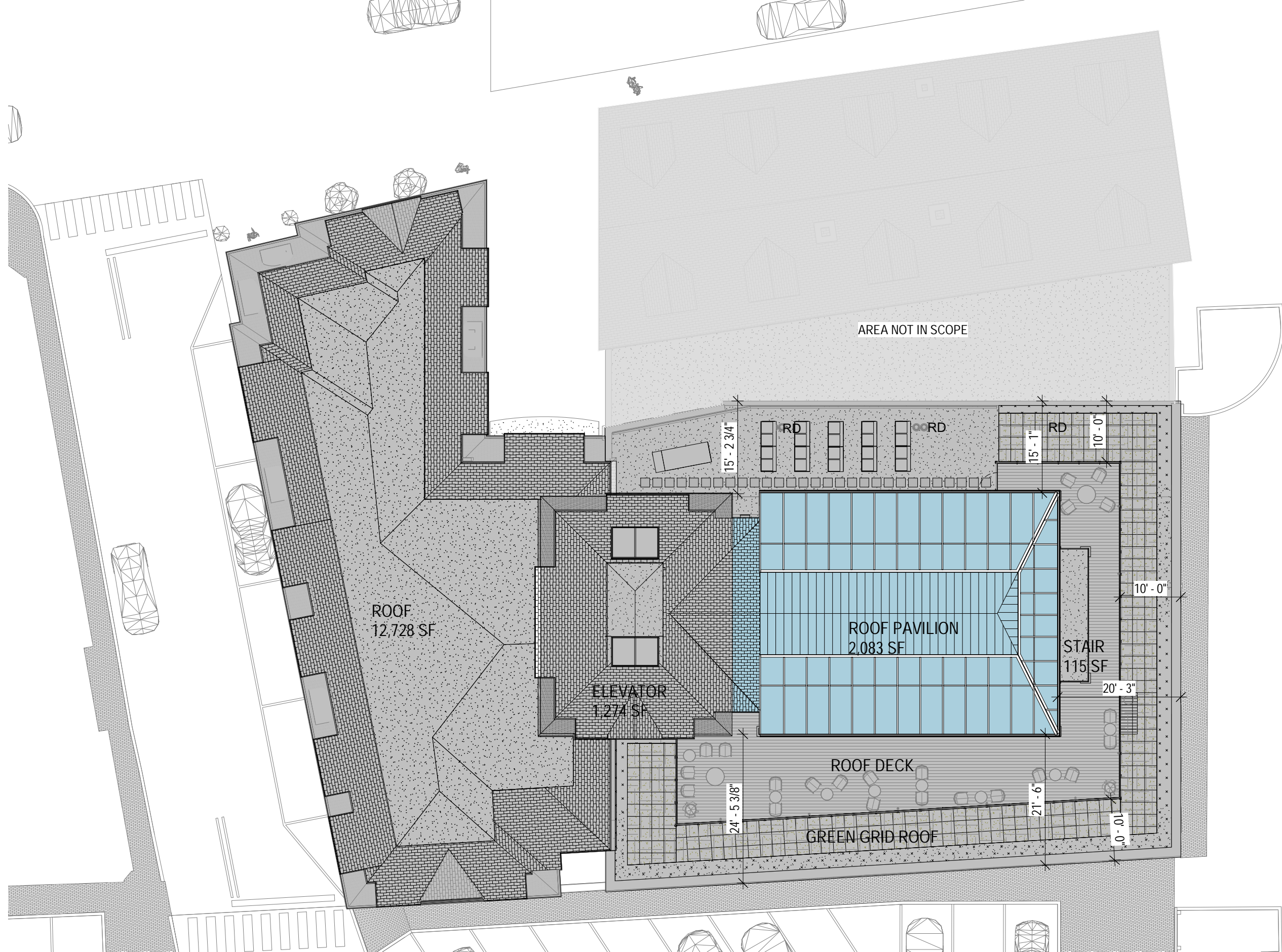




HDC-2

**FOURTH FLOOR PLAN**  
 Novocure Flagship at 64 Vaughan Mall

12/15/2023  
 SCALE: 1/16" = 1'-0"

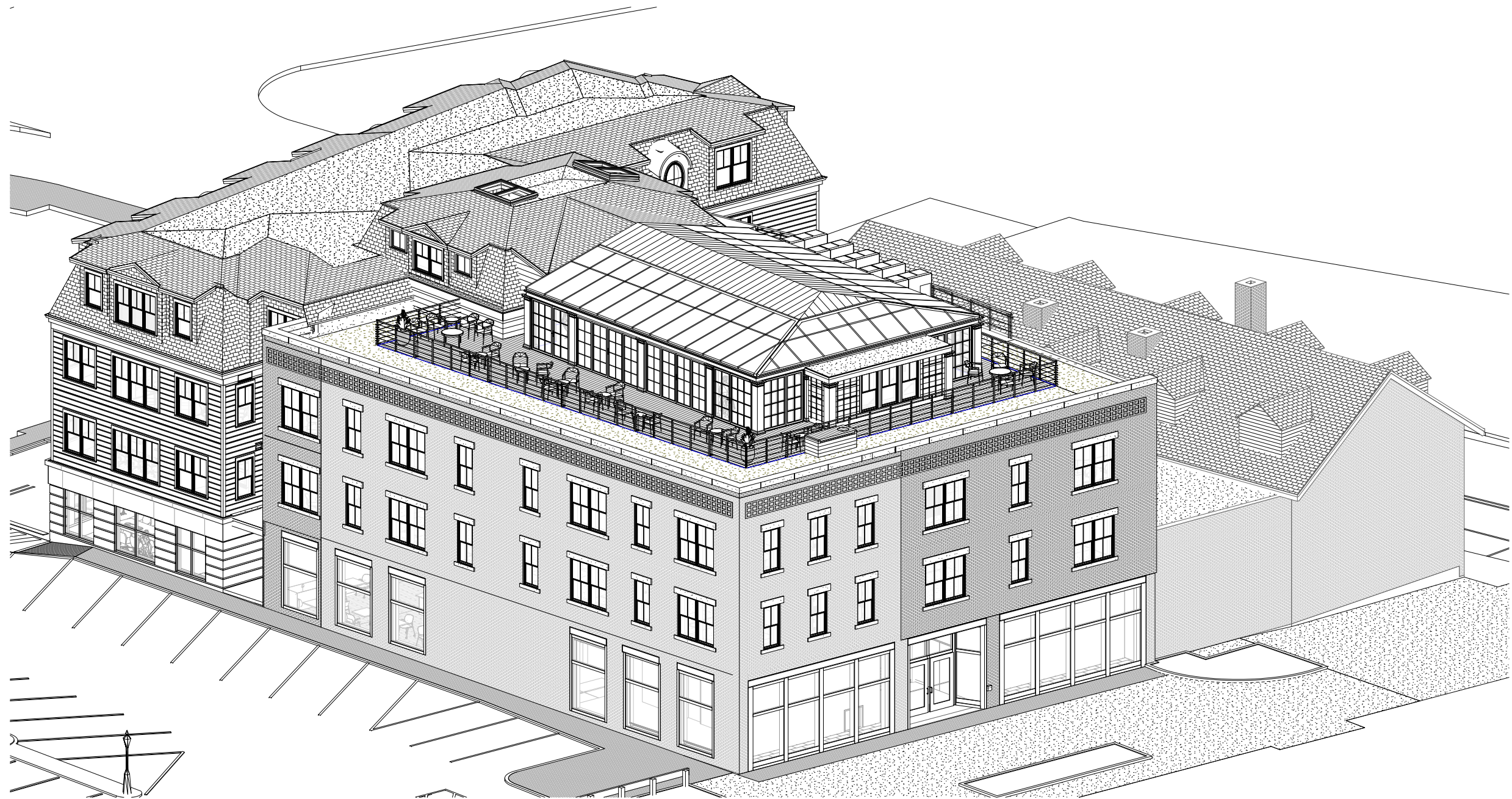


HDC-3

**ROOF AREA- PAVILION**  
 Novocure Flagship at 64 Vaughan Mall

12/15/2023  
 SCALE: 1/16" = 1'-0"





HDC-4

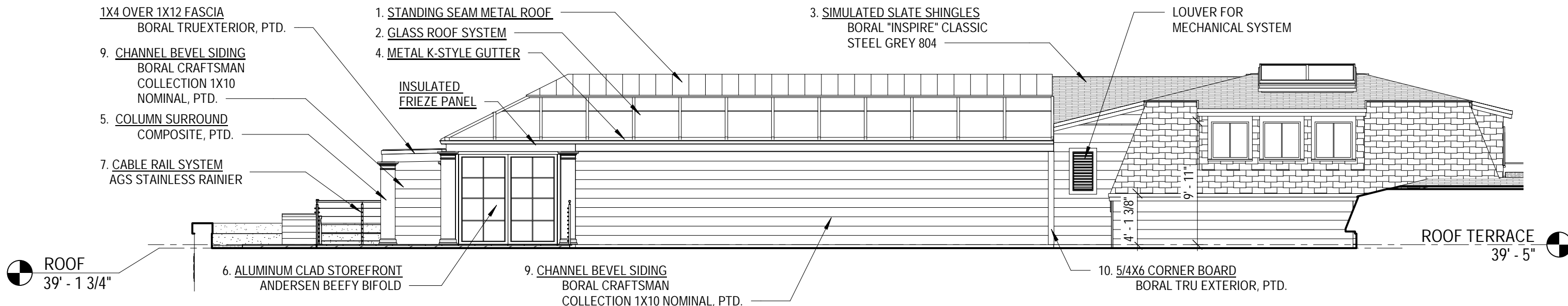
SOUTHEAST AXONOMETRIC - PROPOSED PAVILLION  
Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:

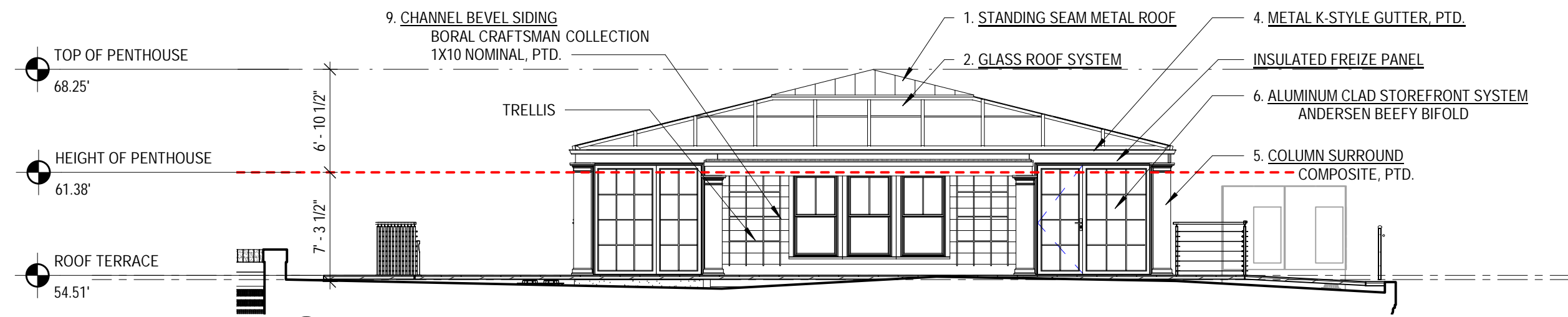


ARCHITECTS  
INTERIORS  
PLANNERS  
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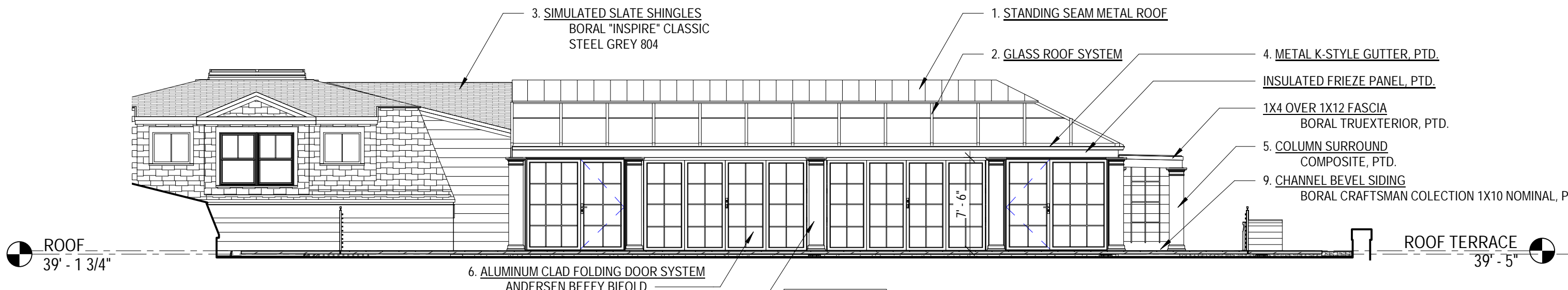




**3 NORTH EXTERIOR ELEVATION PAVILLION**  
1/8" = 1'-0"



**2 EAST EXTERIOR ELEVATION PAVILLION**  
1/8" = 1'-0"



**1 SOUTH EXTERIOR ELEVATION PAVILLION**  
1/8" = 1'-0"

**HDC-5**

**PAVILLION ELEVATIONS**  
Novocure Flagship at 64 Vaughan Mall  
12/15/2023  
SCALE: 1/8" = 1'-0"





1 NORTH EXTERIOR ELEVATION PAVILLION - COLOR  
1/8" = 1'-0"



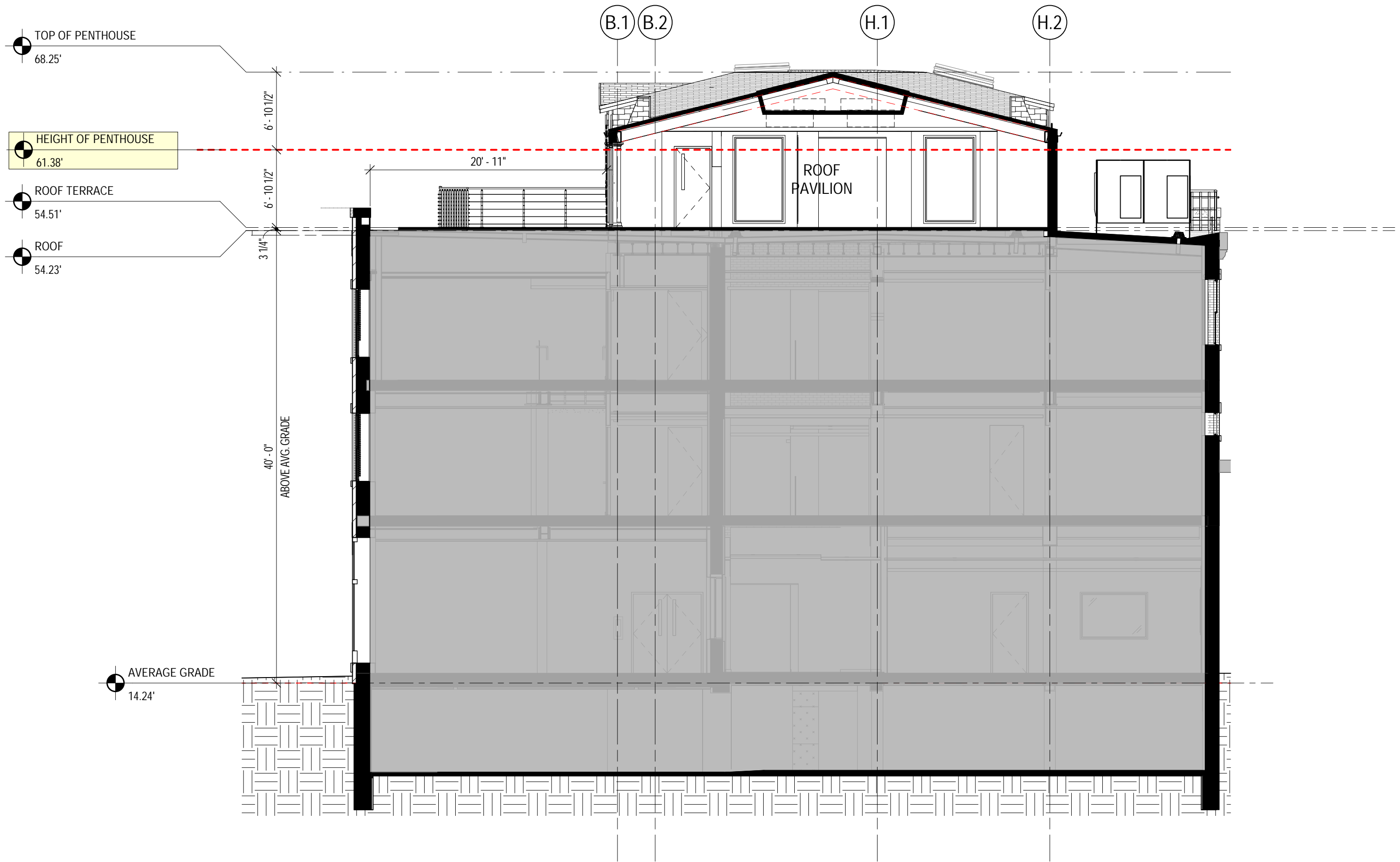
2 EAST EXTERIOR ELEVATION PAVILLION - COLOR  
1/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION PAVILLION - COLOR  
1/8" = 1'-0"

HDC-5.5 PAVILION COLOR ELEVATIONS  
Novocure Flagship at 64 Vaughan Mall  
12/15/2023  
SCALE: 1/8" = 1'-0"



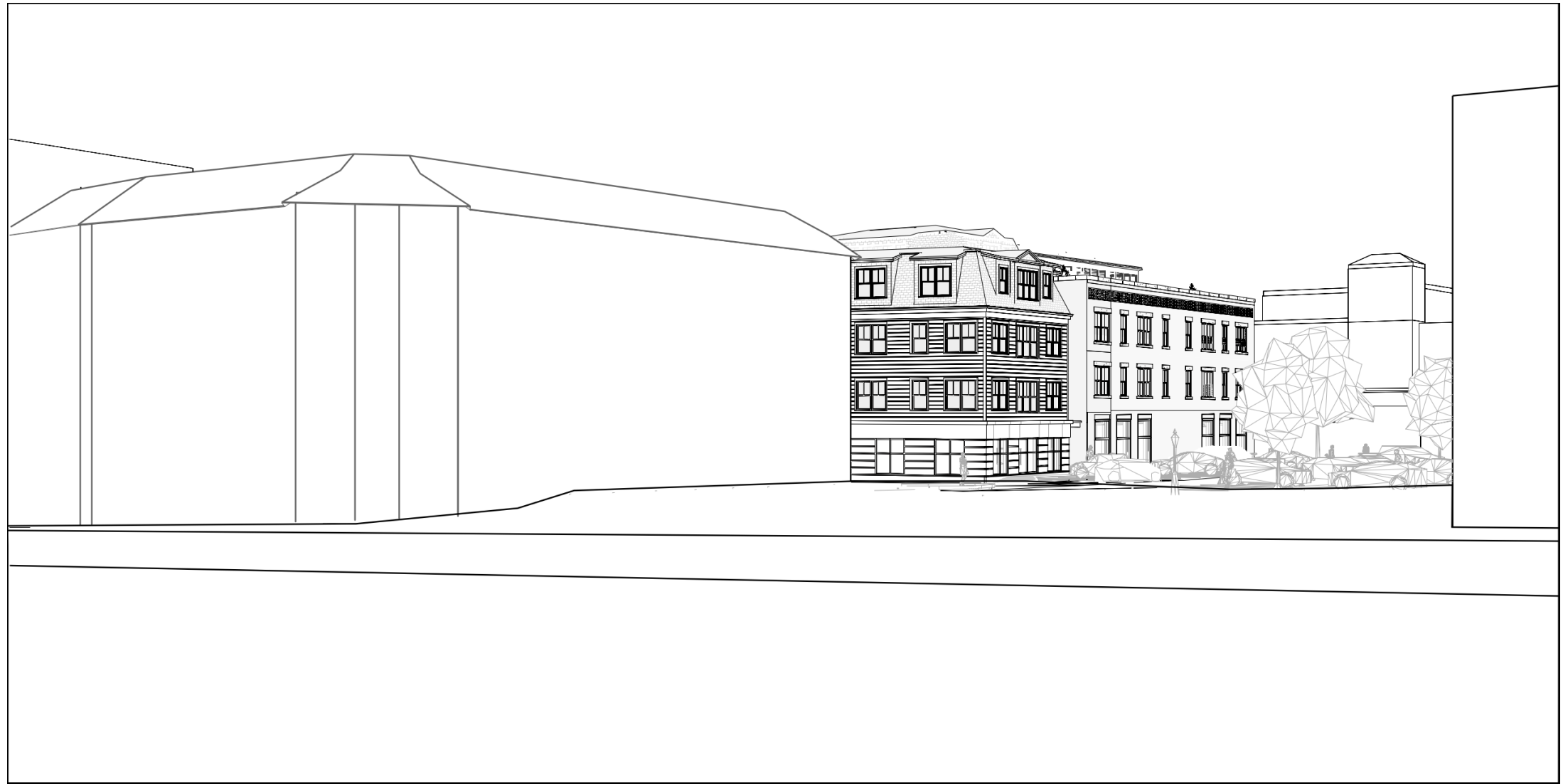


HDC-6

ENLARGED BUILDING SECTION  
 Novocure Flagship at 64 Vaughan Mall

12/15/2023  
 SCALE: 1/8" = 1'-0"





HDC-7

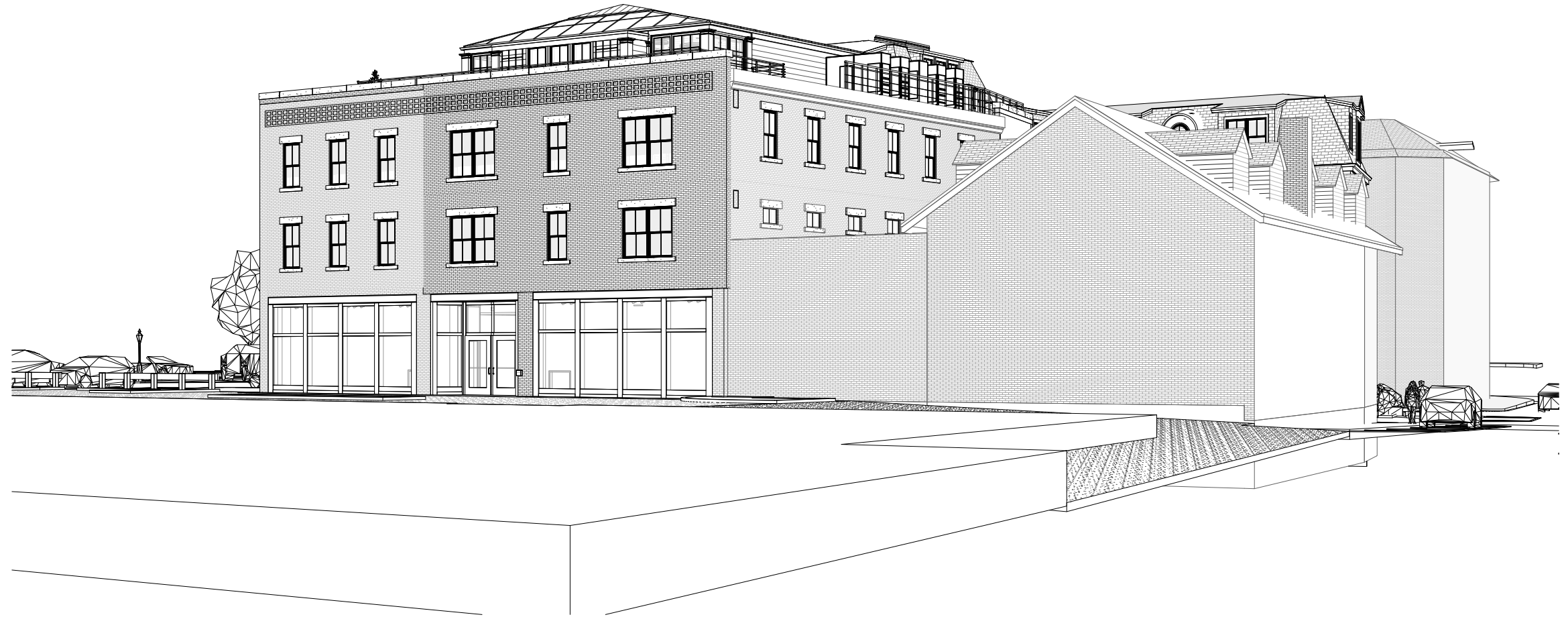
BRIDGE STREET PARKING LOT  
Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:



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INTERIORS  
PLANNERS

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HDC-8

HANOVER AND FLEET STREET  
Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:



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PLANNERS

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HDC-9

WORTH LOT VIEW 01  
Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:



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INTERIORS  
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HDC-10

WORTH LOT VIEW 02  
Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:



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INTERIORS  
PLANNERS

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ROOF GLAZING SYSTEM  
U-FACTOR 0.27, SHGC 0.24

STEEL BEAM WITH  
INTUMESCENT PAINT

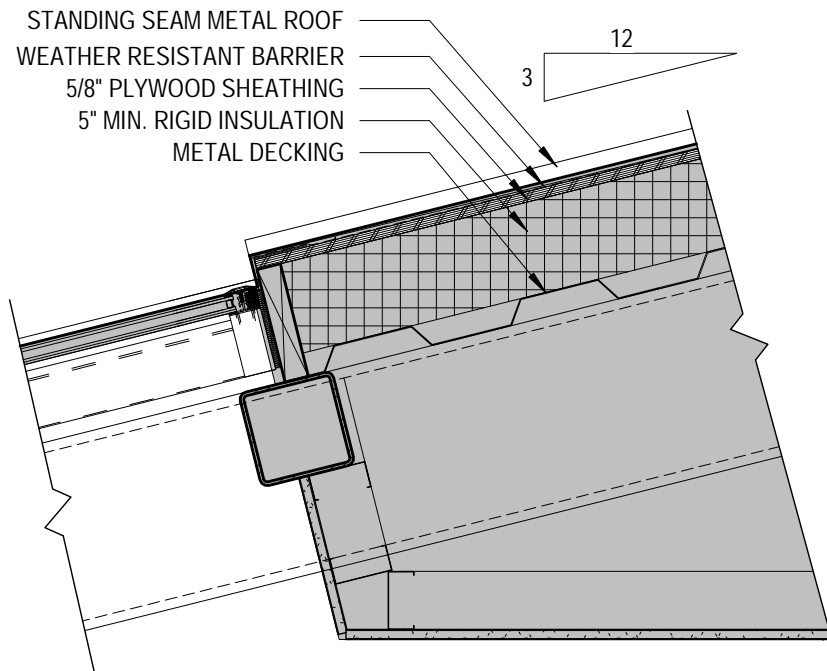
STEEL TUBE WITH  
INTUMESCENT PAINT,  
SEE STRUCT. DWGS.

METAL K-STYLE  
GUTTER, PTD.

INSULATED  
FRIEZE

COMPOSITE  
PILASTER,  
BEYOND, PTD

FOLDING GLASS DOOR SYSTEM  
ANDERSEN BEEFY BIFOLD, OR  
EQUAL, U-FACTOR 0.25



SIMULATED SLATE  
SHINGLES  
ICE AND WATER SHIELD  
WRAP OVER CURB  
PLYWOOD SHEATHING  
2" SPRAYFOAM  
INSULATON  
6" BATT INSULATION

METAL ROOFING  
ICE AND WATER SHIELD  
2X WOOD CURB  
GLASS ROOF SYSTEM

WOOD BLOCKING  
CAULKING

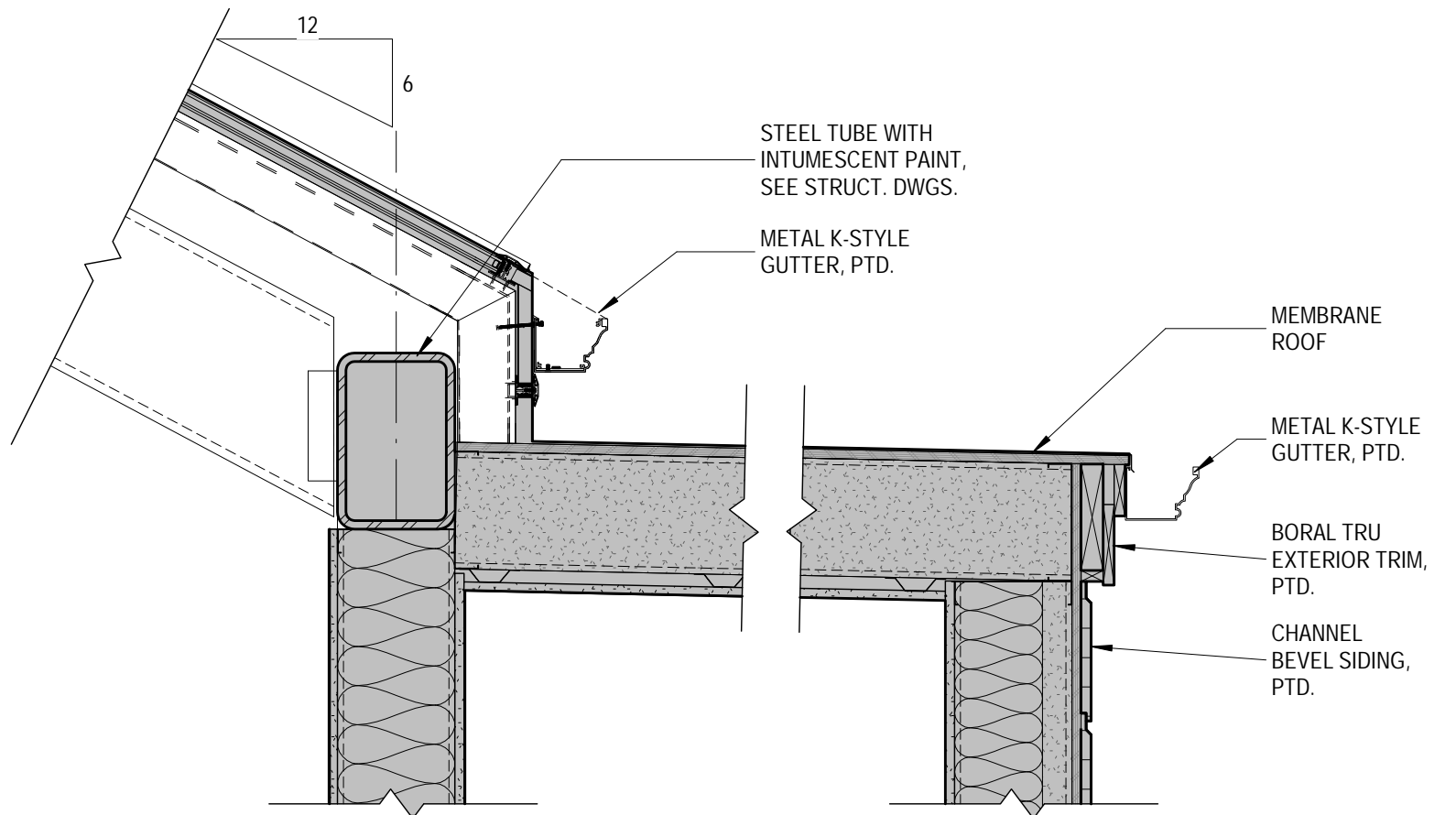
4 PAVILION ROOF GABLE END DETAIL- HDC  
1" = 1'-0"

1 ROOF DETAIL -TYPICAL EAVE-Andersen  
1" = 1'-0"

SIMULATED SLATE  
SHINGLES  
ICE AND WATER SHIELD  
WRAP OVER CURB  
PLYWOOD SHEATHING  
2" SPRAYFOAM  
INSULATON  
6" BATT INSULATION

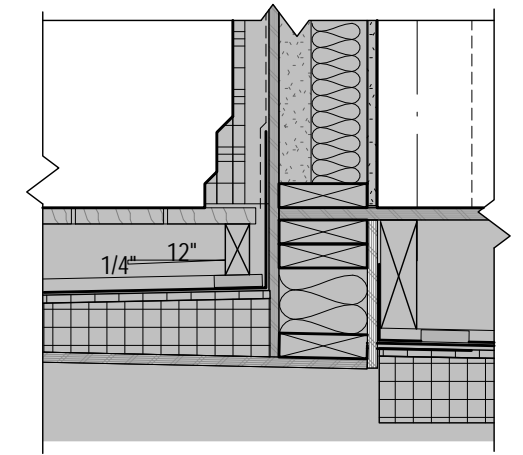
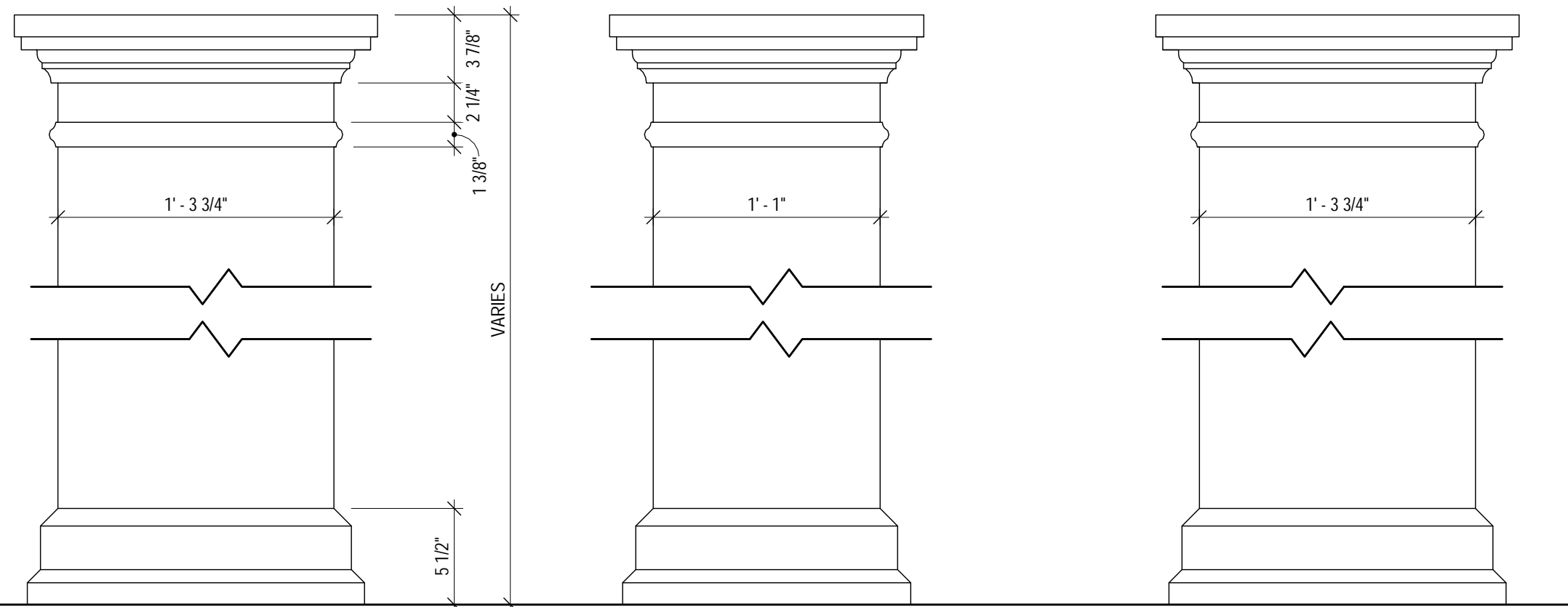
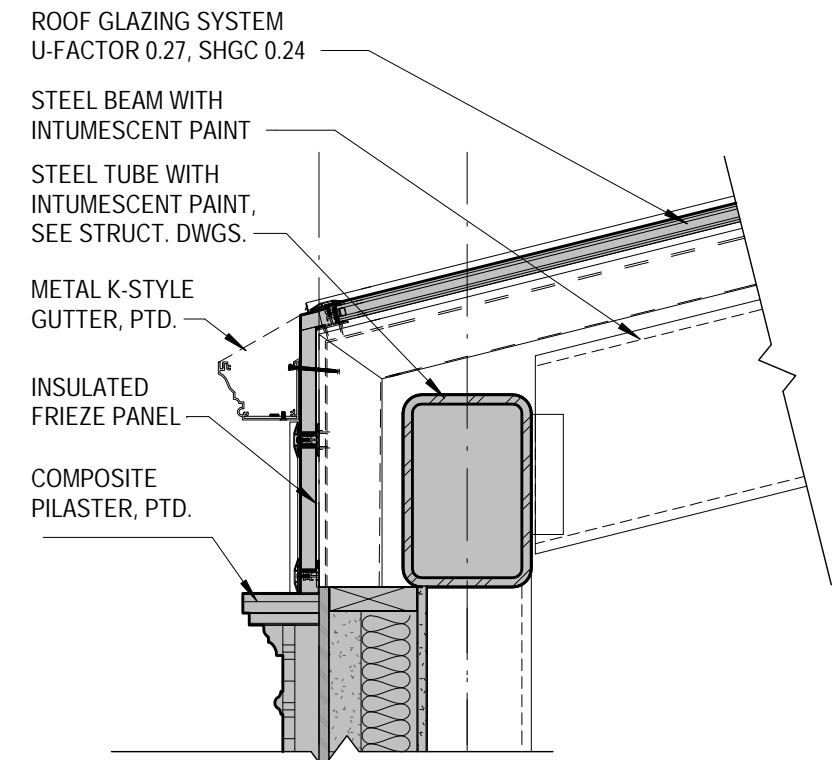
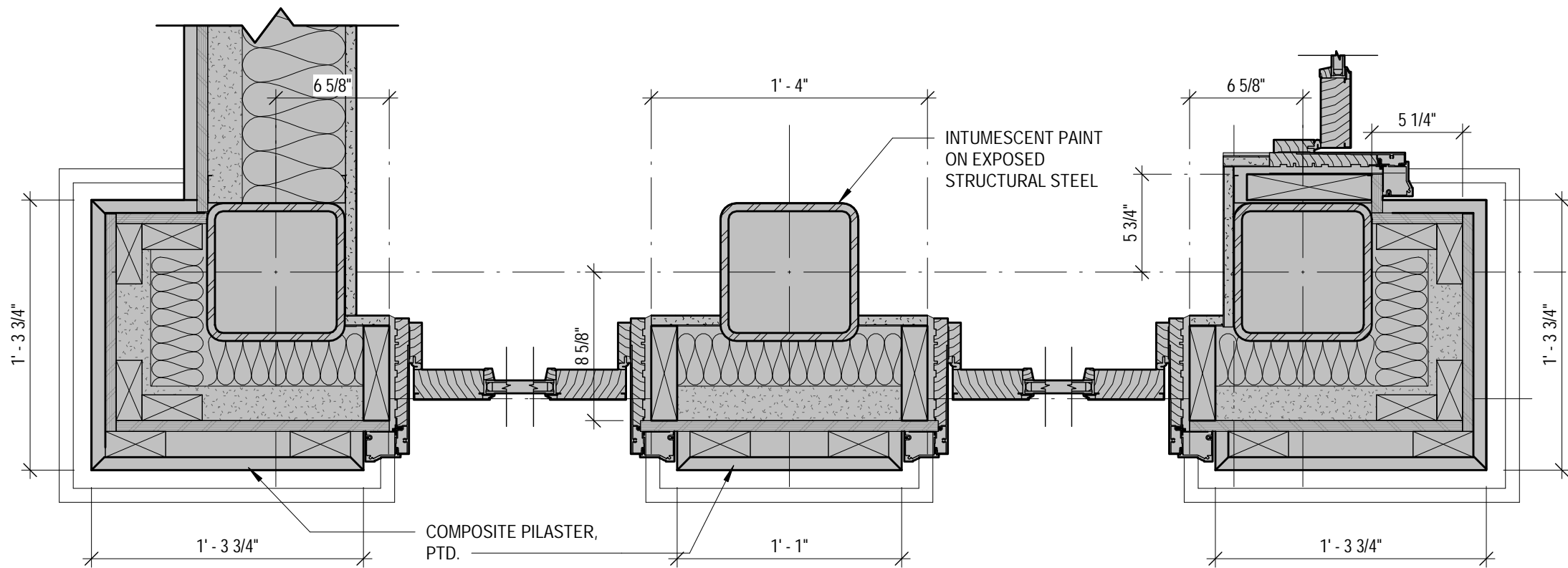
METAL ROOFING  
ICE AND WATER SHIELD  
2X WOOD CURB  
PLYWOOD SHEATHING

WOOD BLOCKING  
CAULKING



2 ROOF DETAIL -Eave over Stair 1  
1" = 1'-0"

3 PAVILION ROOF GABLE END DETAIL- Standing Seam- HDC  
1" = 1'-0"



2 ROOF DETAIL - TYPICAL EAVE @ COLUMN  
1" = 1'-0"

1 PAVILION DOOR JAMB AND PILASTER DETAIL - Andersen  
1 1/2" = 1'-0"

**HDC-12** DOOR JAMB AND PILASTER DETAIL  
Novocure Flagship at 64 Vaughan Mall  
12/15/2023  
SCALE: As indicated





1. STANDING SEAM METAL ROOFING



2. ALUMINUM/GLASS STRUCTURE

HDC-13

MATERIALS

Novocure Flagship at 64 Vaughan Mall

12/15/2023

SCALE:



ARCHITECTS  
INTERIORS  
PLANNERS

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Steel Grey



Specifications

CLASSIC SLATE - Single Body										
Class A - Item #84722	Class C - Item #84718	Exposure	Width	Height	Finish	Grade	Spans	Panel	Trunk	
		Max 7.5" / Min 6.0" / W/F 6.1" / W/F 6.1" / W/F 6.1"	12"	36"	Weight	1.8 lbs	30 lbs	240 sq	2,400 sq	42,000 sq
					Pieces	1	20	360	1,440	28,800
					Roofs	—	—	9.4	44	1,000
					Downs	—	—	—	—	—
					Public	—	—	—	—	—

CLASSIC SLATE - STARTER						CLASSIC SLATE - HIP AND RIDGE					
Class B - Item #84723	Class C - Item #84719	Width	Height	Weight / Pack	Pieces / Bundle	Class B - Item #84723	Class C - Item #84719	Width	Length	Exposure	Preferred Pkgs
		12"	12.5"	4 lbs	20 lbs			12"	36"	12.5"	360 / 1,440
		Pieces / Lower Pack				Pieces / Lower Pack		Weight / Pack	Weight / Bundle	Pieces / Lower Pack	Pieces / Lower Pack
		1			20			1.8 lbs	30 lbs	20	1.8

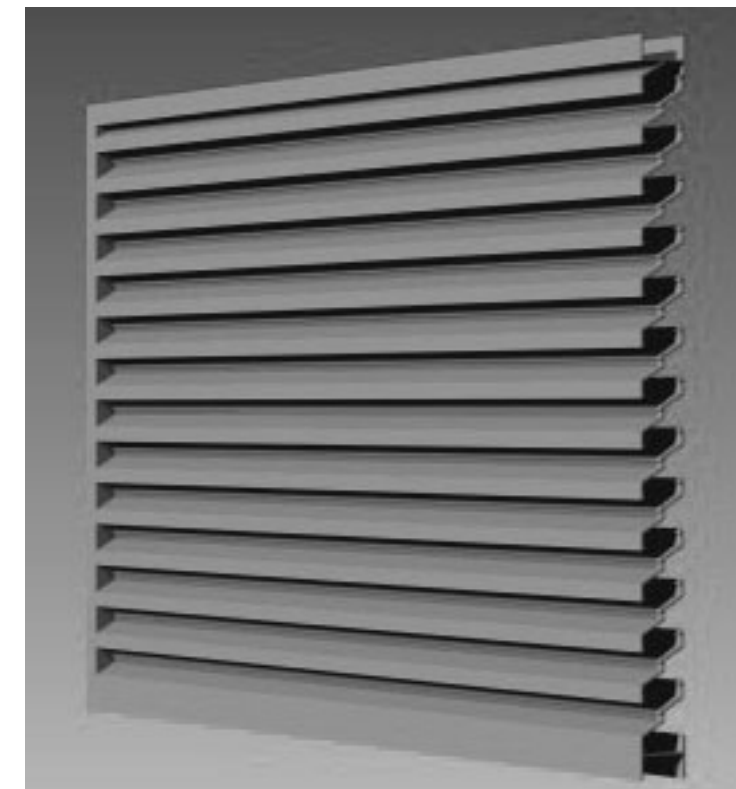
TEST	TESTING PERFORMED	RESULTS FOR
Fire Rating	In accordance with UL 790 / ASTM E 136	Class F or Class C Fire Rated System (depending on system)
Wind Rating	In accordance with UL 2218	Class 4
Impact Resistance (Hail)	In accordance with ASTM D 7554 / UL 2218 Class 4	100% withstanding impact at 1.25" and 1.5" with no cracking, splitting or delamination
Wind Uplift Resistance (Wind Load)	In accordance with UL 189 / ASCE 7-16	UL 189 / ASCE 7-16 (UL 189 / ASCE 7-16)
Impact - Freeze Cycle	In accordance with ASTM D 2875	No signs of damage or cracking after 200+ cycles
Water Absorption	In accordance with ASTM D 570	At approximately weight gain
Water Penetration	In accordance with ASTM D 2446	No water to be absorbed per ASTM test method

Please refer to our website for installation guides.  
 \*Contact required. Products for specific application requirements for US, Class F Fire Rated Systems.  
 \*\* Includes Underlayment.

3. SIMULATED SLATE SHINGLE  
 BORAL INSPIRE CLASSIC SLATE  
 STEEL GREY 804



4. PAINTED METAL K STYLE GUTTER



LOUVER FOR MECHNANICAL SYSTEM





**5. CORNER POST COLUMN SURROUND**  
INSULATED ALUMINUM PANEL-BLACK



**BEEFY BIFOLD DOORS**  
Architectural Collection



**BRING THE OUTDOORS IN**

Maximize large openings with Beefy Bifold doors from Andersen. With a robust design, their heavy-duty hardware system supports larger door panels without sacrificing ease of operation, opening a space to the outdoors effortlessly.

**KEY FEATURES**

- Up to 40' wide and 13' 6" tall, with panels up to 5' wide
- Wood, aluminum or aluminum wood-clad construction
  - All aluminum and aluminum wood-clad panels have rails and stiles that are 3 1/4" wide and a thickness of 3 3/4"
  - All wood panels up to 10' tall have stiles that are 3 1/4" wide with a bottom rail height of 7 1/4" and a thickness of 2 1/4"
- Center-pivoting design with internal shoot-bolt locking hardware
- Panels stack perpendicular to the wall to maximize the size of the opening
- Door jamb is less than 4" wide and can fit into almost all existing wall conditions
- Variety of glass options
- High-quality AAMA 2605 finish

**FLUSH SILL**

Flush sill with a built-in drainage system allows for a seamless transition while offering protection from the weather. The track is a corrosion-resistant stainless steel U-channel that only sits 1/4" above the finished floor.



**CONFIGURATIONS**

- Vary the number of panels to fit any opening
- Use as a pass-through window for a kitchen or bar area
- Corner bifold without a meeting post creates a dramatic design
- Individually-operable doors can be built into most door configurations for more exit options. Operable doors are great for frequent entries and exits, without needing to unlock the entire system.



**6. FOLDING DOORS**

ANDERSEN- ALUMINUM CLAD WOOD

HDC-15

**MATERIALS**

Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:





# RAINIER

## Cable Railing




- Choose from an array of fitting options
- Factory prepared cable/fitting assemblies available for quick installation


### 7. CABLE RAILING

POWDER COATED ALUMINUM- BLACK



**dassoXTR Fused Bamboo®** is manufactured using dasso's patented process, creating an extremely dense, durable solid product for several different types of exterior applications. dassoXTR Fused Bamboo® has a Class A Fire Rating and zero VOCs. It's the sustainable, natural alternative to traditional wood.

 **END MATCHED** – Tongue & Grooved Ends  
Allows installation on or off the joists

 **REVERSIBLE FACES** – unlimited design possibilities  
Install smooth or reeded face up

- » Dimensionally stable (no expand & contract)
- » No VOCs
- » Class A Fire Rated
- » Installs 35% faster
- » Over 100 million SqFt installed worldwide

2 COLORS AVAILABLE



### 8. DECKING

FUSED BAMBOO- CLASSIC ESPRESSO COLOR

HDC-16

## MATERIALS

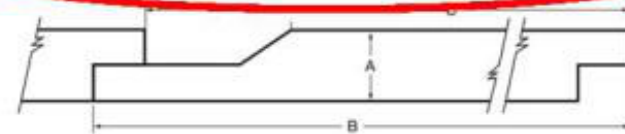
Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:





Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/2"	6-31/32"
1 x 10	11/16"	9-1/2"	8-31/32"



5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

**9. HORIZONTAL SIDING AND TRIM- PAINTED BORAL TRU EXTERIOR CRAFTSMANS COLLECTION CHANNEL BEVEL 1X10**

TruExterior® Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

\*Please see TruExterior® Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com.

**10. BORAL TRU EXTERIOR TRIM**

HDC-17

**MATERIALS**

Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:



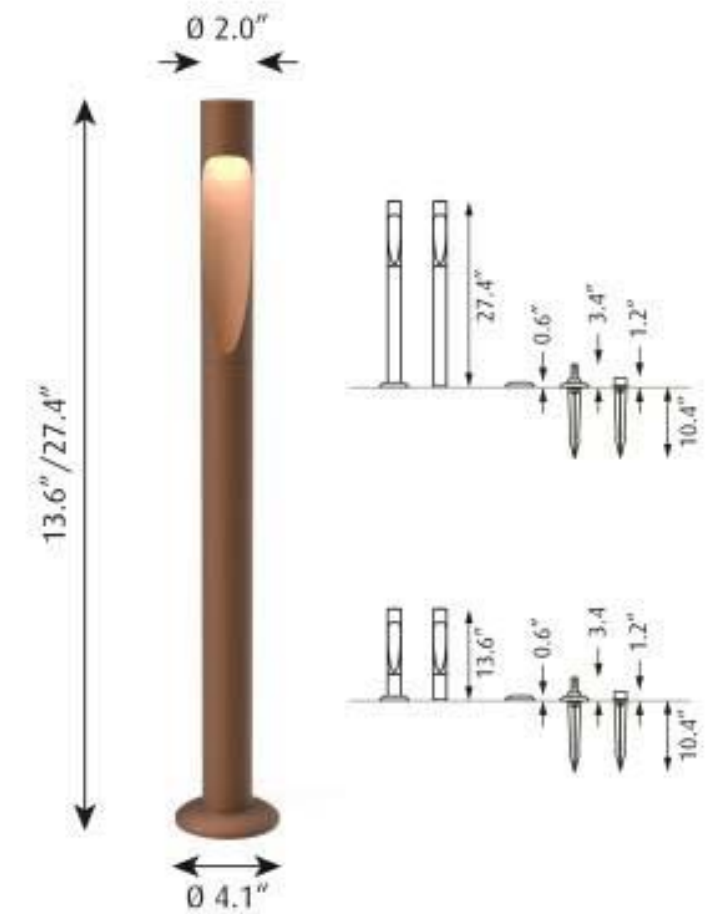
COPYRIGHT © 2023

## Product description

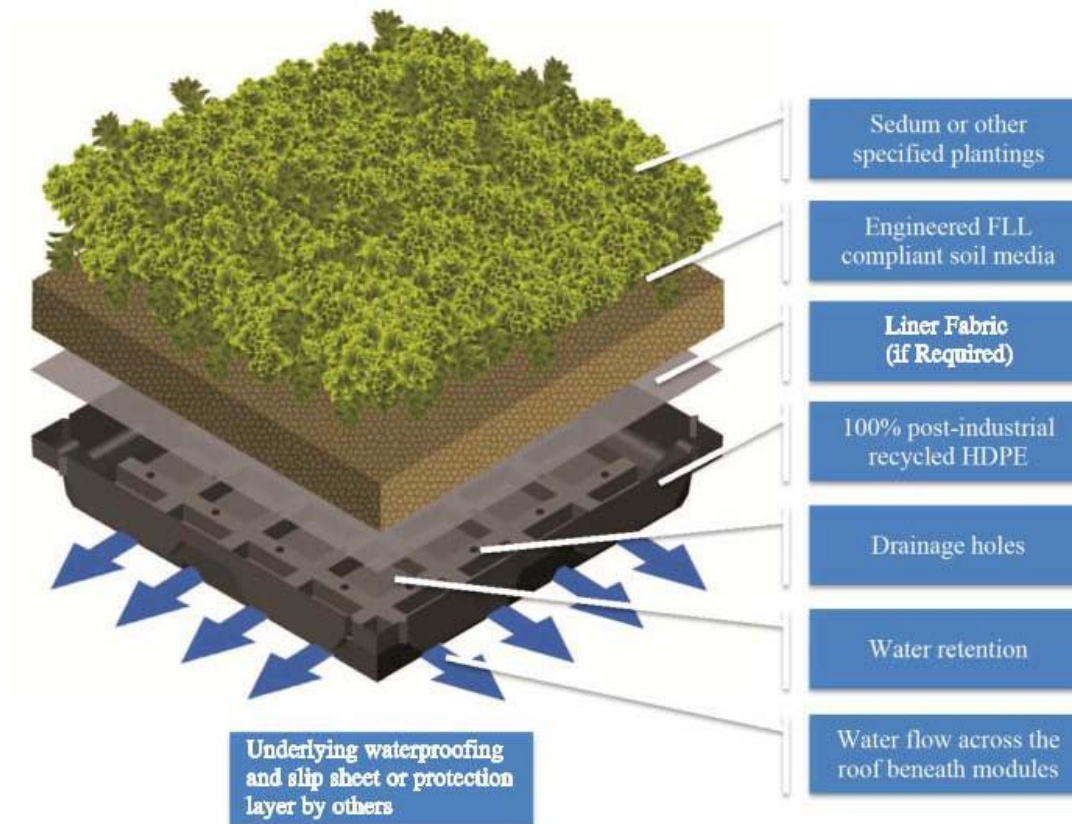
Beautifully crafted slender post with a carved surface that is gently illuminated. Top section conceals downward facing LED. A horizontal connection line underline the two parts of the bollard. Available in two heights, 13.6 IN and 27.4 IN. Available in three different mounting methods: with a base plate for anchoring onto decks; an anchor for casting in new concrete pad; or a spike for placing in soil or gravel. Part of a family.

## Variant options

Dimension	Color	Mounting	Light source	Lumen	Voltage frequency	Class
LONG	● Black texture	Anchor w/o power supply	LED 2700K	-	24V	-
SHORT	● Corten color	Base w/o power supply	LED 3000K	215		III
	● Natural paint aluminum	Spike w/o power supply	LED 4000K	248		
				252		
				291		



## 12. DECK LIGHTING BOLLARD



## 11. GREEN GRID VEGETATIVE ROOF SYSTEM

HDC-18

### MATERIALS

Novocure Flagship at 64 Vaughan Mall

12/15/2023  
SCALE:



**Project Address:** 95 + 99 DANIEL STREET

**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 3

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4 (CD4)
- Land Use: Mixed-Use
- Land Area: 2,614 SF +/-
- Estimated Age of Structure: c.1850 (95) & c. 1860 (99)
- Building Style: Gothic Revival (95) Greek Revival (99)
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: View from Daniel Street and Custom House Lane
- Unique Features: (2) remaining wood structures within the Historic District
- Neighborhood Association: Downtown



**B. Proposed Work:** Construct rear addition (95) and construct new rear deck and stairs (99), both structures to have various exterior features replaced or repaired as needed.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Rear addition (95)
- Rear stairs and deck (99)
- Exterior features to be replaced or repaired as needed on both structures



**D. Purpose and Intent:**

13. Preserve the integrity of the District
14. Assessment of the Historical Significance
15. Conservation and enhancement of property values
16. Maintain the special character of the District
17. Complement and enhance the architectural and historic character
18. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

9. Consistent with special and defining character of surrounding properties
10. Compatibility of design with surrounding properties
11. Relation to historic and architectural value of existing structures
12. Compatibility of innovative technologies with surrounding properties



# 99-95 DANIEL STREET

HISTORIC DISTRICT COMMISSION PUBLIC HEARING - JANUARY 2024, PORTSMOUTH, NEW HAMPSHIRE

**BUILDING HISTORY - 95 DANIEL STREET:**

- CARPENTER GOTHIC BUILDING ORIGINALLY BUILT IN APPROXIMATELY 1850. PURCHASED BY JOHN RUSSO IN 1965 WHERE HE OPENED JOHN'S BARBER SHOP SHORTLY AFTER, IT IS ASSUMED THAT AROUND THIS TIME IS WHEN THE BARBER SHOP STOREFRONT WAS ADDED TO THE BUILDING. PRIOR TO THE TRANSFORMATION TO A MIXED USE BUILDING, IT WAS A SINGLE FAMILY HOME.

**BUILDING HISTORY - 99 DANIEL STREET:**

- THERE IS CONFUSION ON THE YEAR THIS STRUCTURE WAS BUILT. ASSESSOR CARDS AND THE PORTSMOUTH ADVOCATES NOTE THIS BUILDING WAS BUILT IN 1850. BASED ON ANALYSIS OF HISTORICAL PHOTOGRAPHS AND SANBORN MAPS, IT IS MORE LIKELY IT WAS BUILT OR MOVED TO THE SITE BETWEEN 1910 AND 1920. BASED ON SANBORN MAP ANALYSIS THIS LOT WAS APART OF 105 DANIEL STREET(COLBY'S RESTAURANT BUILDING) UNTIL THE LATE 1900'S WHEN THE LARGE LOT WAS SUBDIVIDED. WHEN THIS LOT WAS SUBDIVIDED A PORTION OF 99 DANIEL STREET WAS STILL LOCATED ON THE PROPERTY OF 105 DANIEL STREET. SINCE IT'S CONSTRUCTION THIS BUILDING HAS SERVED AS A 2-UNIT APARTMENT BUILDING WITH RETAIL USE OUT OF THE FIRST FLOOR UNIT.

**GENERAL PROJECT DESCRIPTION:**

- RESTORE AND UPDATE BOTH 95 AND 99 DANIEL STREET. BOTH BUILDINGS WILL BE RESIDENTIAL WITH 2-UNITS IN EACH
- REMOVE EXISTING REAR ADDITION FROM 95 DANIEL STREET AND REBUILD ADDITION THAT IS MORE FUNCTIONAL AND COHESIVE WITH EXISTING BUILDING
- RE-OPEN COVERED FRONT PORCH TO 95 DANIEL STREET
- REMOVE STOREFRONT GLASS AND DOOR FROM 95 DANIEL STREET
- REPLACE REAR STAIR AND ADDITION OF DECK TO 99 DANIEL STREET
- ENCLOSING PORTION OF FRONT PORCH OF 99 DANIEL STREET



99-95 DANIEL STREET  
PORTSMOUTH, NH 03801

EXISTING PERSPECTIVES  
99(LEFT)-95(RIGHT) DANIEL STREET (ABOVE)

SHEET LIST	
Sheet Number	Sheet Name

**GENERAL INFORMATION**

C	COVER
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**ARCHITECTURAL DRAWINGS**

A1	EXISTING BUILDING PHOTOGRAPHS
A2	SANBORN MAP PROGRSSION
A3	SITE PLAN
A4	99 SCHEMATIC DESIGN
A5	95 SCHEMATIC DESIGN
A6	PROPOSED PERSPECTIVE
A7	95 SCHEDULES
A8	99 SCHEDULES
A9	MATERIALS AND SELECTIONS

DIMENSIONAL CRITERIA					
CHARACTER DISTRICT 4 (CD4), HISTORIC DISTRICT (HDC)					
	REQUIRED	EXISTING 95	EXISTING 99	PROPOSED 95	PROPOSED 99
BUILDING FOOTPRINT		854 SF	842 SF	888 SF	842 SF
LOT AREA		1,680 SF	1,692 SF	1,680 SF	1,692 SF
BUILDING PLACEMENT - PRINCIPAL BUILDING					
FRONT YARD (MAX PRIMARY)	10' - 0"	2' - 0" +/-	3' - 0" +/-	2' - 0" +/-	3' - 0" +/-
SIDE YARD SETBACK	N/R	0' - 0" +/-	0' - 0" +/-	0' - 0" +/-	0' - 0" +/-
REAR YARD SETBACK	5' - 0" MIN	16' - 6" +/-	20' - 0" +/-	16' - 3" +/-	18' - 0" +/-
BUILDING AND LOT OCCUPATION					
BUILDING COVERAGE	90% MAX	50%	49%	57%	62%
OPEN SPACE	10% MIN	16% +/-	11% +/-	23% +/-	24% +/-
BUILDING FORM - PRINCIPAL BUILDING					
BUILDING HEIGHT	40' - 0" MAX	19' - 7" +/-	24' - 9" +/-	19' - 7" +/-	24' - 9" +/-
BUILDING STORIES	2 - 3 STORIES	2	2	2	2
GROUND FLOOR ELEVATION	3' - 0" MAX	0' - 0" +/-	2' - 3" +/-	0' - 10" +/-	2' - 3" +/-
GROUND STORY HEIGHT	12' - 0" MIN	10' - 0" +/-	10' - 0" +/-	10' - 0" +/-	10' - 0" +/-
SECOND STORY HEIGHT	10' - 0" MIN	9' - 0" +/-	9' - 0" +/-	9' - 0" +/-	9' - 0" +/-
ROOF TYPE		GABLE	GABLE	GABLE	GABLE
ROOF PITCH - MAIN ROOF	6:12 - 12:12			EXISTING	EXISTING



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99/95 DANIEL STREET

PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION - PUBLIC HEARING  
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4 Market Street  
Portsmouth, New Hampshire

C

12/14/2023

McHA: EKW/MG

NOT TO SCALE

Locus





PERSPECTIVE FROM DANIEL STREET

99 DANIEL STREET  
95 DANIEL STREET



SPACE BETWEEN 99  
AND 95 DANIEL  
STREET (LEFT)  
  
SPACE BETWEEN 99  
AND 105 DANIEL  
STREET (RIGHT)



PERSPECTIVE FROM CUSTOM HOUSE LANE

95 DANIEL STREET  
99 DANIEL STREET



REAR ADDITIONS OF 95  
DANIEL STREET (LEFT)  
  
SPACE BETWEEN 95  
AND 85 DANIEL  
STREET (RIGHT)



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99/95 DANIEL STREET

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EXISTING BUILDING PHOTOGRAPHS

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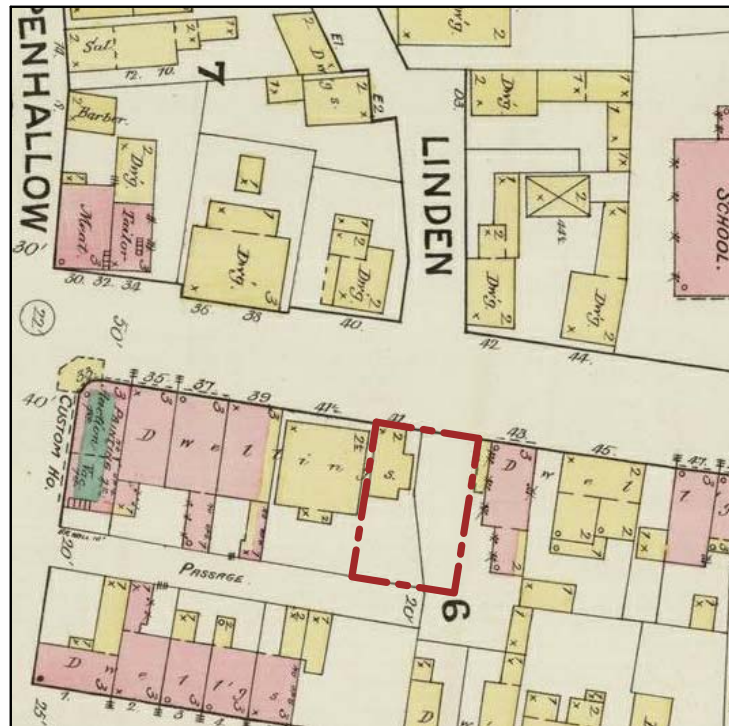
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12/14/2023

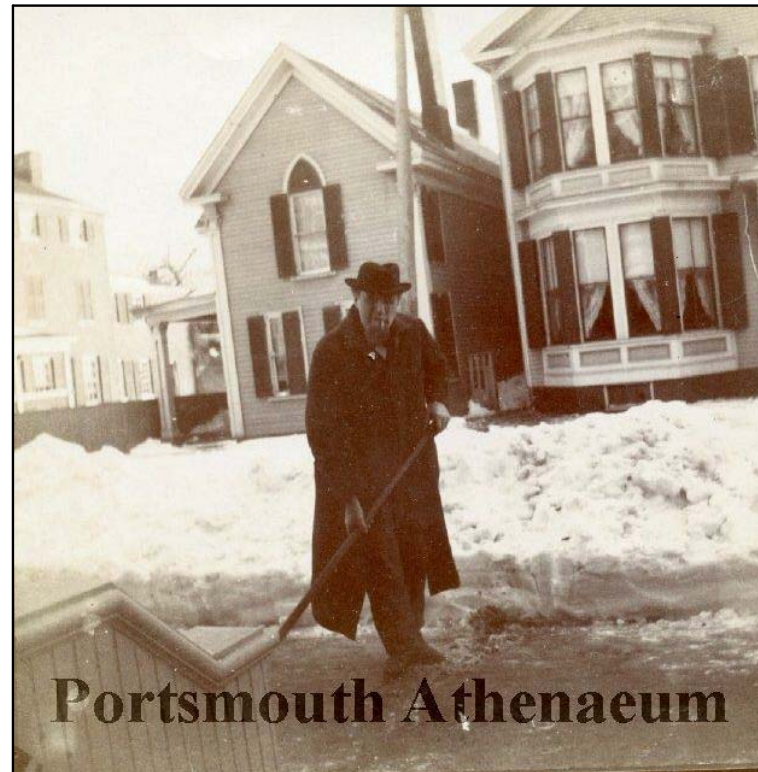
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NOT TO SCALE





1887



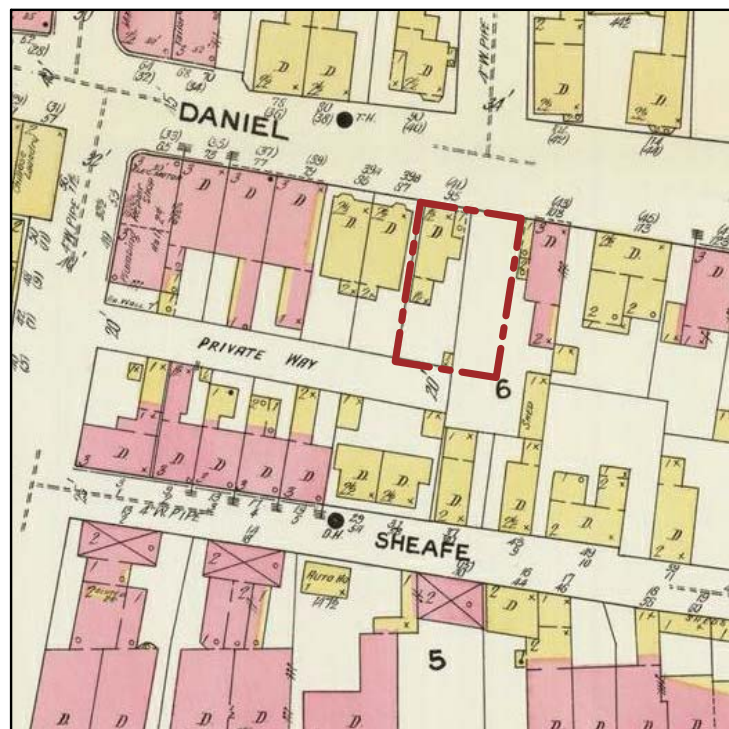
95 DANIEL STREET - 1890



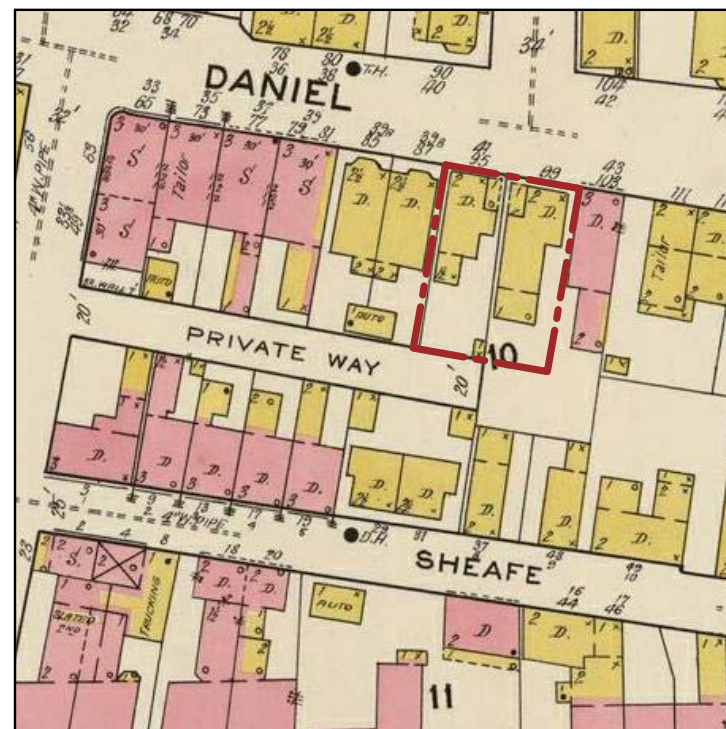
95 DANIEL STREET - 1982



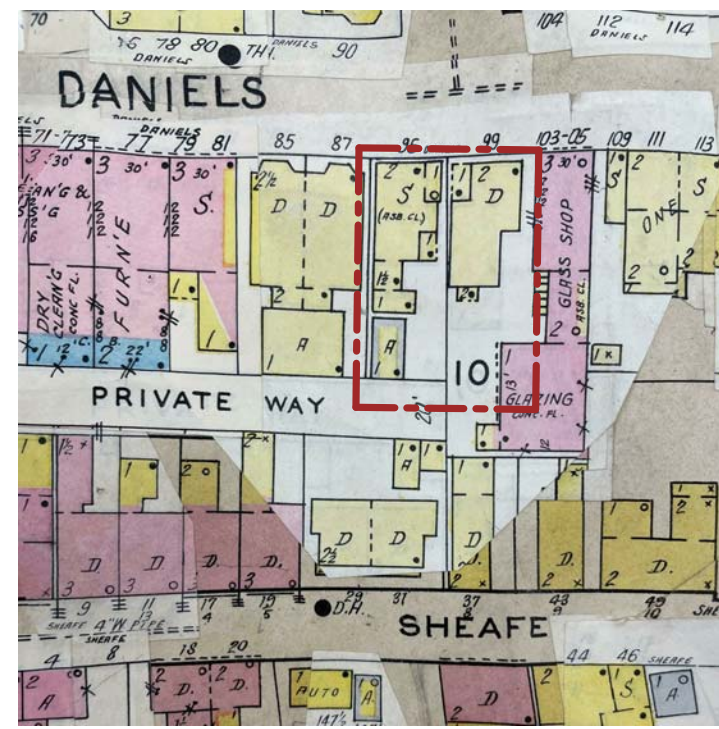
99 DANIEL STREET - 1982



1910



1920



1947



1980

NOTE: CURRENT 95-99 DANIEL STREET LOT IS OUTLINED IN RED

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99/95 DANIEL STREET

PORTSMOUTH, NH 03801

SANBORN MAP PROGRSSION

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McHENRY ARCHITECTURE

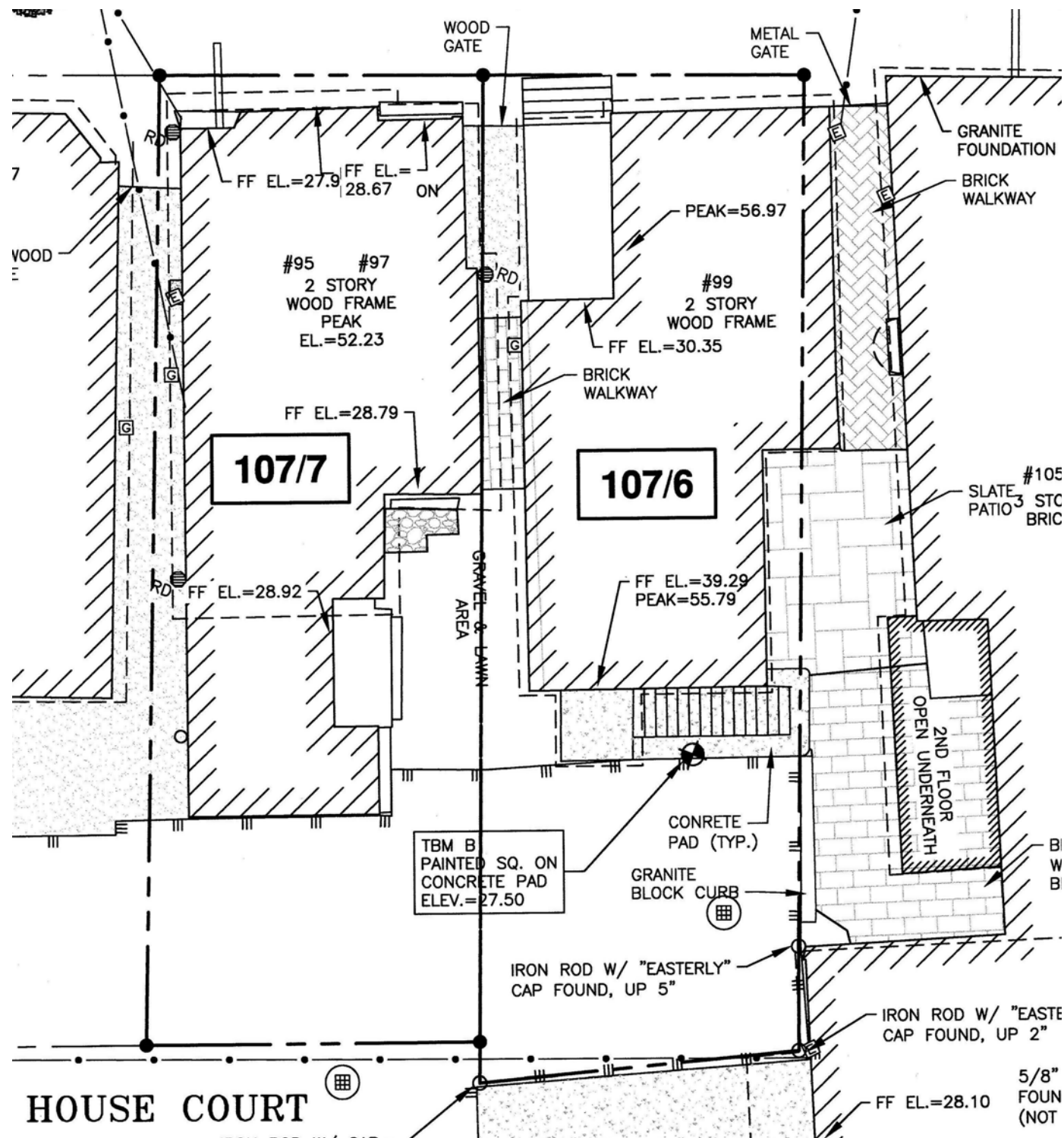
4 Market Street  
Portsmouth, New Hampshire

A2

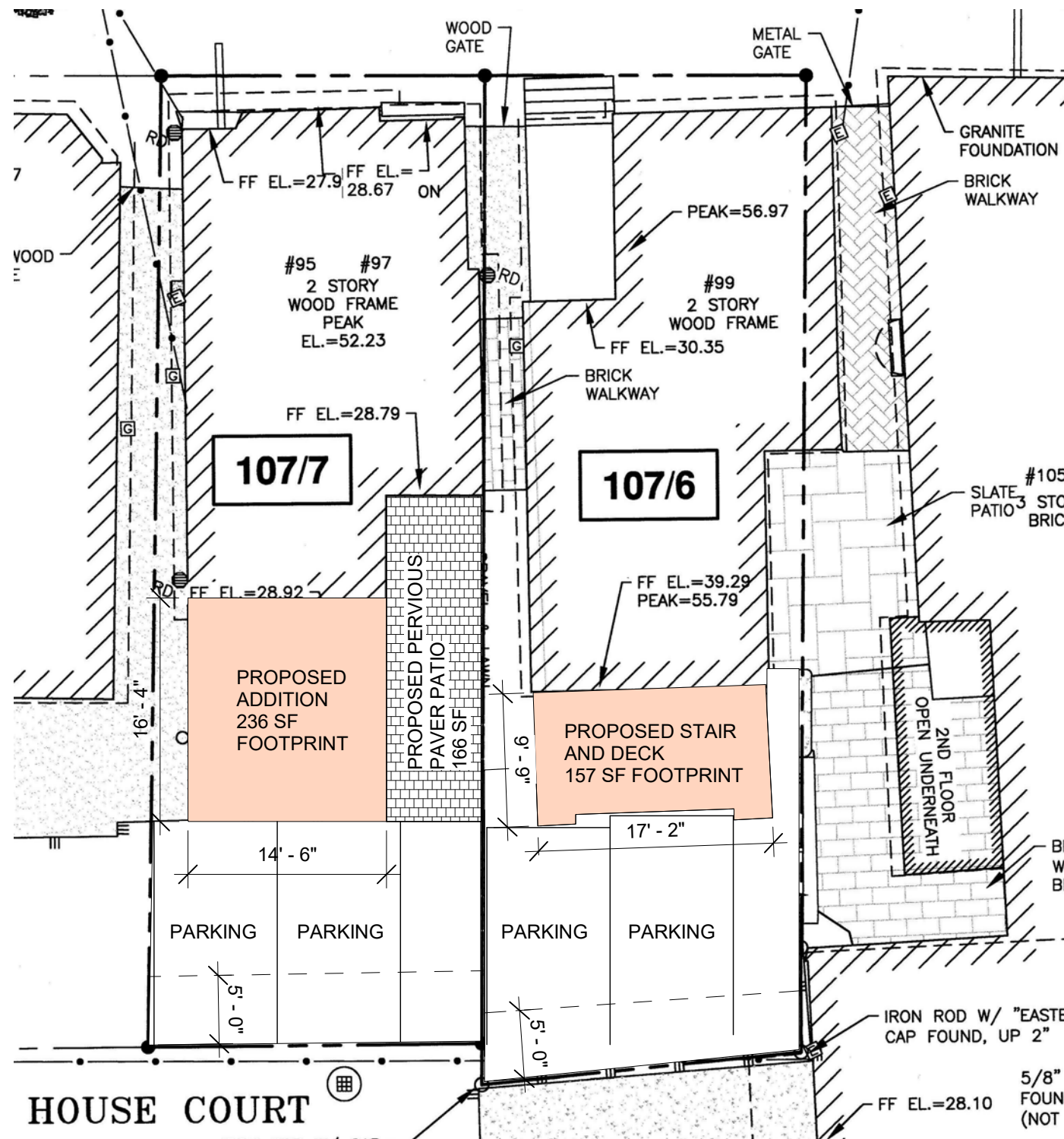
12/14/2023  
McHA: EKW/MG  
NOT TO SCALE



NOTE: PLAN FROM SITE SURVEY BY AMBIT ENGINEERING, DATED 08/11/2022



1 EXISTING SITE  
3/32" = 1'-0"



2 PROPOSED SITE  
3/32" = 1'-0"

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99/95 DANIEL STREET  
PORTSMOUTH, NH 03801

SITE PLAN  
HISTORIC DISTRICT COMMISSION · PUBLIC HEARING  
JANUARY 2024

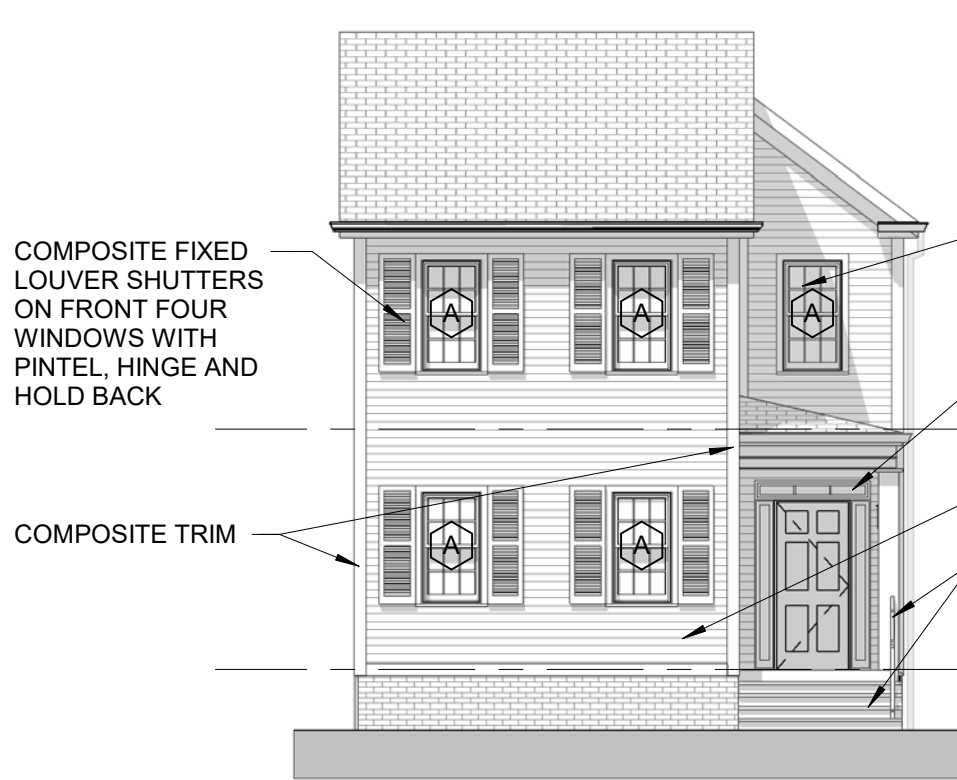
McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

A3

12/14/2023  
McHA: EKW/MG  
AS INDICATED



- GENERAL NOTES:
1. PATCH, REPAIR AND REPLACE ALL FASCIA, SOFFIT AND TRIM WITH COMPOSITE
  2. REPOINT BRICK FOUNDATION AS NEEDED

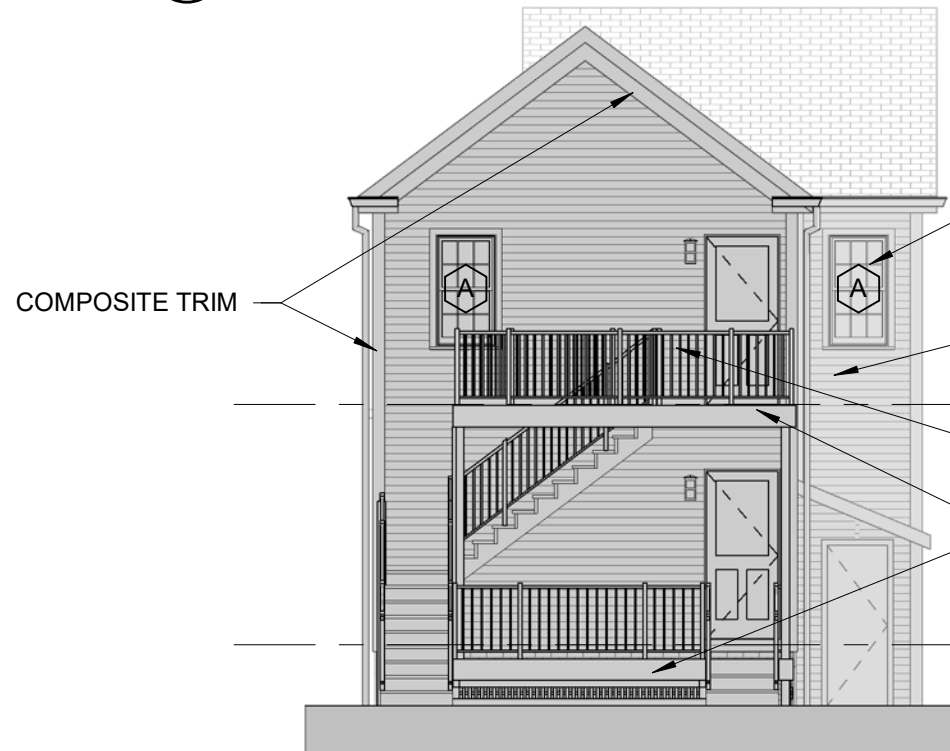


1 SOUTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

- COMPOSITE TRIM
- TIMBERTECH ALUMINUM RAIL
- Level 2 110' - 0"
- TIMBERTECH AZEK DECKING
- CASEMENT EGRESS WINDOW
- CONDENSER BEHIND SCREENING
- Level 1 100' - 0"



3 NORTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

- LOUVERS FOR VENTILATION
- COMPOSITE TRIM
- Level 2 110' - 0"
- 24' - 9" +/-
- WINDOW INFILL
- Level 1 100' - 0"

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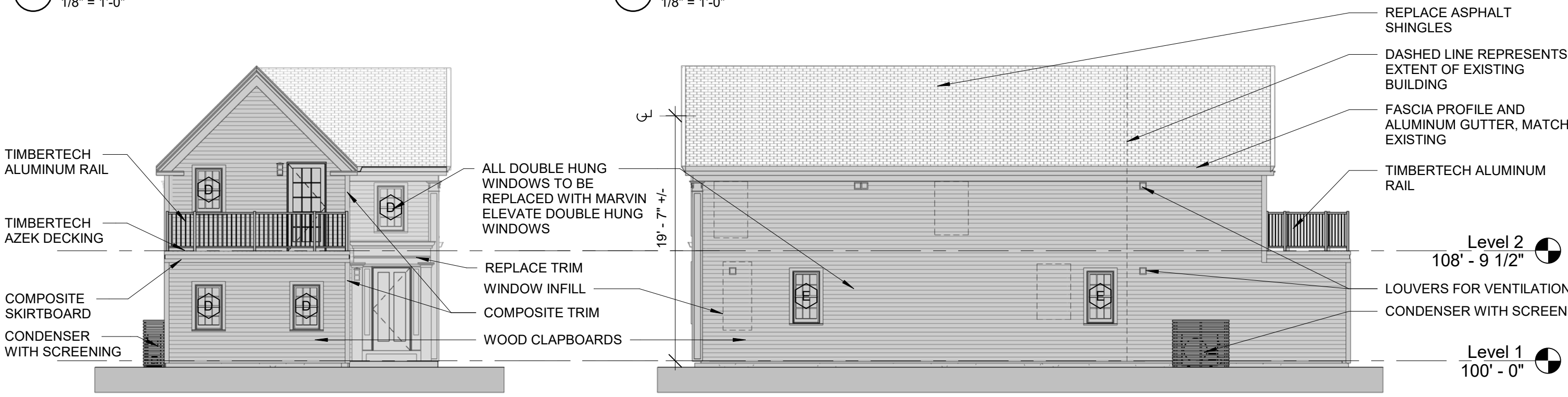
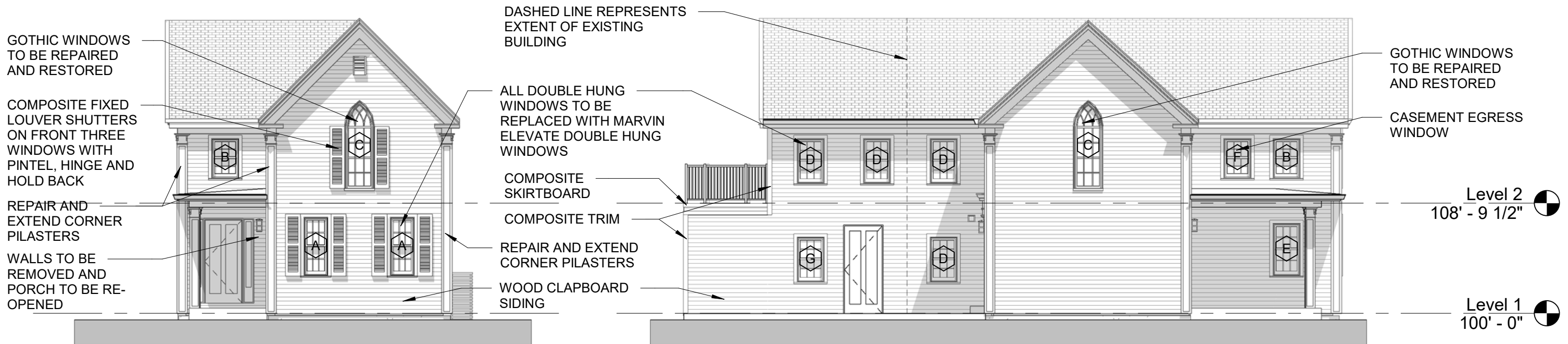
99/95 DANIEL STREET  
PORTSMOUTH, NH 03801

99 SCHEMATIC DESIGN  
HISTORIC DISTRICT COMMISSION · PUBLIC HEARING  
JANUARY 2024

McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

A4

12/14/2023  
McHA: EKW/MG  
Scale: 1/8" = 1'-0"



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**99/95 DANIEL STREET**  
PORTSMOUTH, NH 03801

**95 SCHEMATIC DESIGN**  
HISTORIC DISTRICT COMMISSION · PUBLIC HEARING  
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**McHENRY ARCHITECTURE**  
4 Market Street  
Portsmouth, New Hampshire

**A5**  
12/14/2023  
McHA: EKW/MG  
Scale: 1/8" = 1'-0"





PERSEPCTIVE FROM DANIEL STREET



PERSEPCTIVE FROM CUSTOM HOUSE LANE

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99/95 DANIEL STREET

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PROPOSED PERSPECTIVE

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JANUARY 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

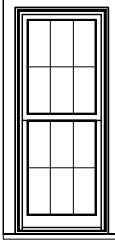
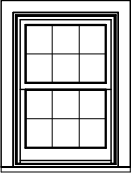
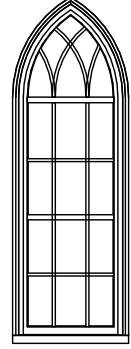
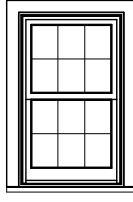
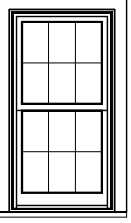
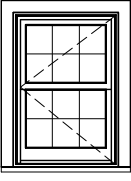
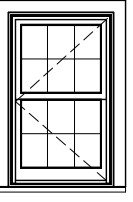
A6

12/14/2023

McHA: EKW/MG

NOT TO SCALE

WINDOW SCHEDULE			
Type Mark	Nominal Width	Nominal Height	Comments
A	2' - 0"	4' - 9"	
B	2' - 3"	3' - 3"	
C	3' - 0"	7' - 0"	EXISTING TO REMAIN, REPAIR AS NEEDED
D	2' - 3"	3' - 8"	
E	2' - 3"	4' - 3"	
F	2' - 3"	3' - 3"	CASEMENT EGRESS
G	2' - 3"	3' - 8"	CASEMENT EGRESS

WINDOW TYPES						
						
<b>TYPE A:</b>	<b>TYPE B:</b>	<b>TYPE C:</b>	<b>TYPE D:</b>	<b>TYPE E:</b>	<b>TYPE F:</b>	<b>TYPE G:</b>
DOUBLE HUNG WINDOW, 6 OVER 6	DOUBLE HUNG WINDOW, 6 OVER 6	GOTHIC DOUBLE HUNG WINDOW, 6 OVER 6	DOUBLE HUNG WINDOW, 6 OVER 6	DOUBLE HUNG WINDOW, 6 OVER 6	CASEMENT EGRESS WINDOW, 6 OVER 6	CASEMENT EGRESS WINDOW, 6 OVER 6

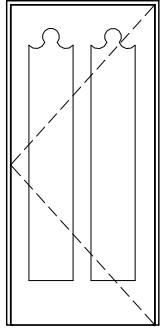
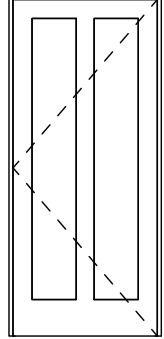
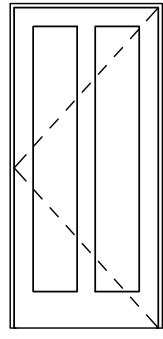
DOOR SCHEDULE					
Mark	Size		Door		Comments
	Height	Width	Type Mark	Material	
1	6' - 8"	3' - 0"	A	WD	EXISTING DOOR TO BE REPAIRED
2	7' - 0"	3' - 0"	B	FIBERGLASS	
3	6' - 8"	3' - 0"	C	FIBERGLASS	

**WINDOW NOTES**

1. ALL NEW WINDOWS TO BE MARVIN ELEVATE
2. PROVIDE HALF INSECT SCREENS AT ALL WINDOWS.
3. BEDROOM EGRESS SIZE WINDOWS TO MEET MINIMUM 5.7 SF CLEARANCE. 20" MIN WIDE BY 24" MIN HIGH, SILL HEIGHT TO BE LESS THAN 44".



**2 PANEL VERTICAL FIBERGLASS DOOR**

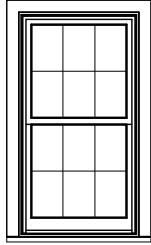
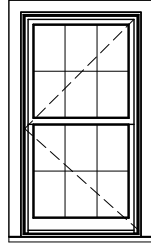
DOOR TYPES		
		
<b>TYPE A:</b>	<b>TYPE B:</b>	<b>TYPE C:</b>
2-PANEL WOOD DOOR	2-PANEL FIBERGLASS DOOR	2-PANEL FIBERGLASS DOOR

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<p><b>99/95 DANIEL STREET</b></p> <p>PORTSMOUTH, NH 03801</p>	<p><b>95 SCHEDULES</b></p> <p>HISTORIC DISTRICT COMMISSION · PUBLIC HEARING JANUARY 2024</p>	<p><b>McHENRY ARCHITECTURE</b></p> <p>4 Market Street Portsmouth, New Hampshire</p>	<p><b>A7</b></p>	12/14/2023
				McHA: EKW/MG
				<b>NOT TO SCALE</b>



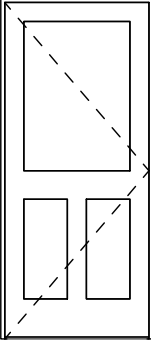
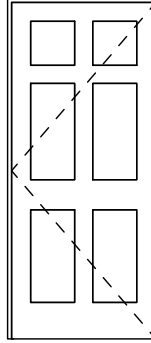
WINDOW SCHEDULE			
Type Mark	Nominal Width	Nominal Height	Comments
A	2' - 6"	4' - 8"	
B	2' - 6"	4' - 8"	CASEMENT EGRESS

WINDOW TYPES	
	
<b>TYPE A:</b> DOUBLE HUNG WINDOW, 6 OVER 6	<b>TYPE B:</b> CASEMENT EGRESS WINDOW, 6 OVER 6

### WINDOW NOTES

1. ALL NEW WINDOWS TO BE MARVIN ELEVATE
2. PROVIDE HALF INSECT SCREENS AT ALL WINDOWS.
3. BEDROOM EGRESS SIZE WINDOWS TO MEET MINIMUM 5.7 SF CLEARANCE. 20" MIN WIDE BY 24" MIN HIGH, SILL HEIGHT TO BE LESS THAN 44".

DOOR SCHEDULE					
Mark	Size		Door		Comments
	Height	Width	Type Mark	Material	
100	7' - 0"	3' - 0"	A	FIBERGLASS	
200	7' - 0"	3' - 0"	A	FIBERGLASS	
300	7' - 0"	3' - 0"	B	WD	

DOOR TYPES	
	
<b>TYPE A:</b> HALF-LITE FIBERGLASS DOOR	<b>TYPE B:</b> 6 PANEL WOOD DOOR



**6-PANEL SOLID WOOD FRONT DOOR**



**HALF LITE FIBERGLASS DOOR**

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**99/95 DANIEL STREET**

PORTSMOUTH, NH 03801

**99 SCHEDULES**

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JANUARY 2024

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4 Market Street  
Portsmouth, New Hampshire

**A8**

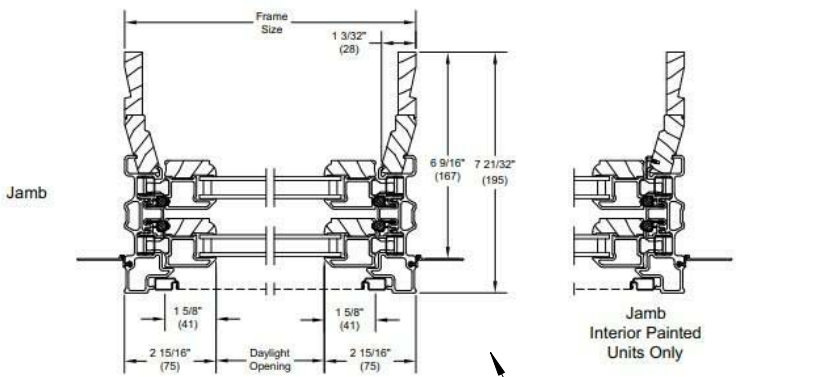
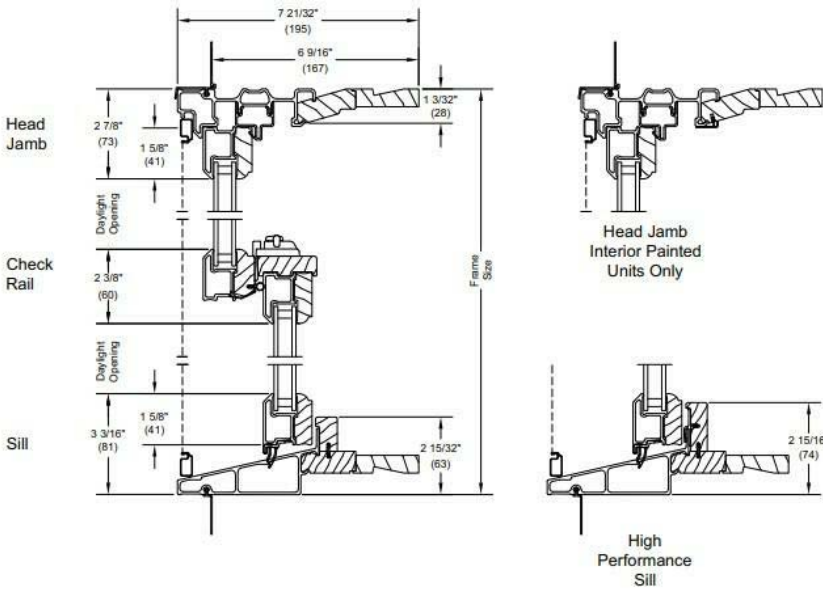
12/14/2023

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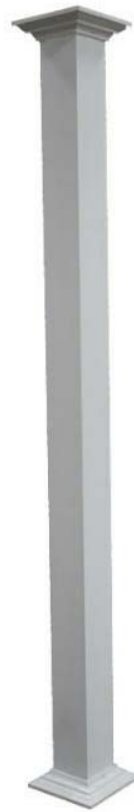


**ASPHALT SHINGLES**  
CERTAINTEED LANDMARK SERIES OR EQUAL, COLOR TBD



**WINDOWS**  
MARVIN ELEVATE DOUBLE HUNG

**COMPOSITE COLUMN WRAP**



**WALL SCONCE**



**SHUTTER HARDWARE**



**SHUTTERS**  
COMPOSITE FIXED LOUVER SHUTTERS



**REAR RAILING**  
TIMBERTECH IMPRESSIONS RAIL EXPRESS, MODERN TOP RAIL, ALUMINUM BALUSTERS WITH OPEN MID RAIL, 3"X3" POSTS WITH CAP AND SKIRT, BLACK



**COMPOSITE TRIM BOARD**  
BORAL TRU EXTERIOR COMPOSITE TRIM



**DECKING MATERIAL**  
TIMBERTECH AZEK VINTAGE COLLECTION - DARK HICKORY



99/95 DANIEL STREET  
PORTSMOUTH, NH 03801

MATERIALS AND SELECTIONS  
HISTORIC DISTRICT COMMISSION - PUBLIC HEARING  
JANUARY 2024

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Portsmouth, New Hampshire

A9

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**Project Address:** 37 SOUTH SCHOOL STREET

**Permit Requested:** WORK SESSION

**Application:** WORK SESSION A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 8,360 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: South School Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** to add a single-story side addition with new rear porch.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct 1-story addition to the right side of the structure
- Construct new rear porch.



**HISTORIC  
SURVEY  
RATING  
C**

**D. Purpose and Intent:**

19. Preserve the integrity of the District
20. Assessment of the Historical Significance
21. Conservation and enhancement of property values
22. Maintain the special character of the District
23. Complement and enhance the architectural and historic character
24. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

13. Consistent with special and defining character of surrounding properties
14. Compatibility of design with surrounding properties
15. Relation to historic and architectural value of existing structures
16. Compatibility of innovative technologies with surrounding properties

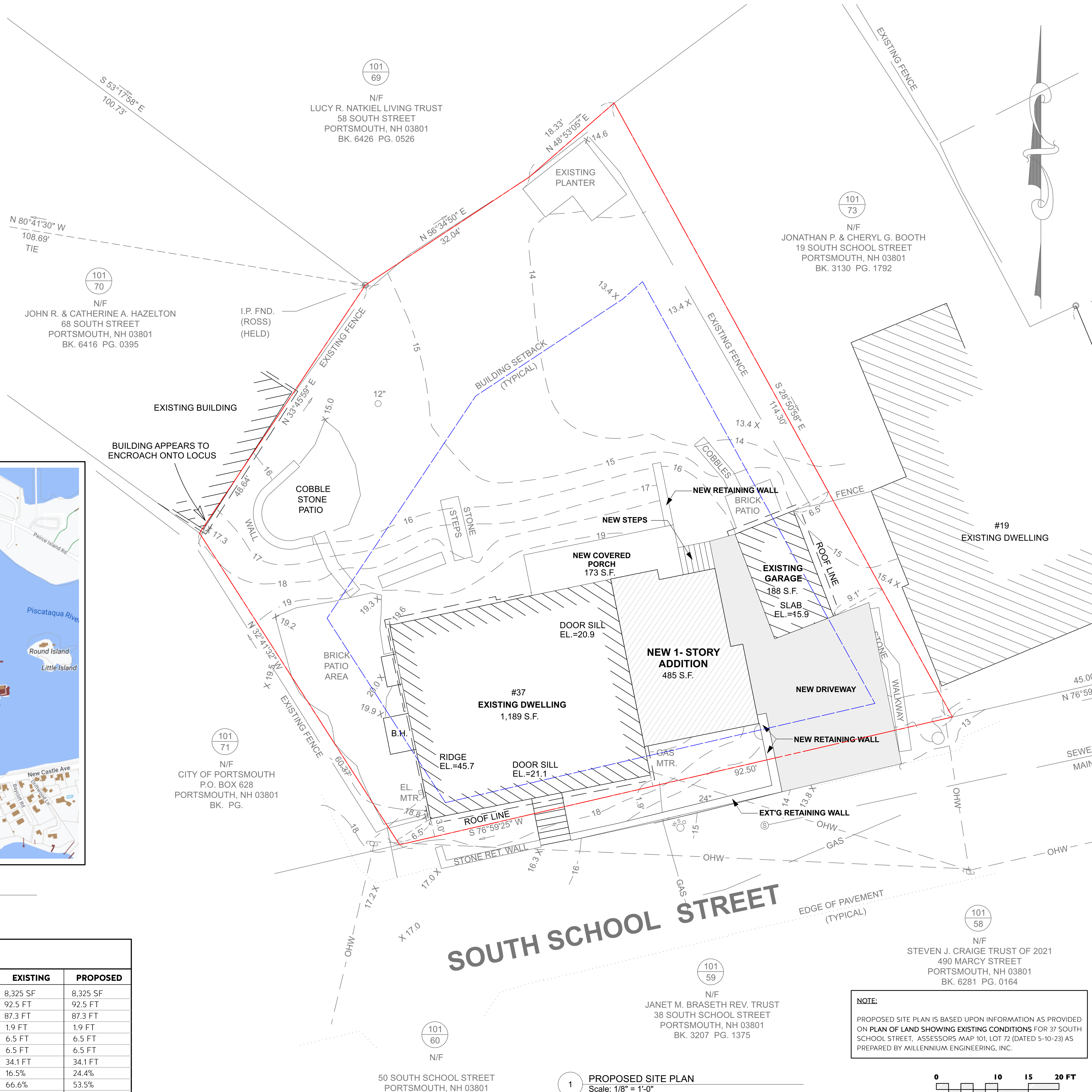


DRAWING LIST	
A0.0	COVER SHEET/SITE PLAN
A0.1	EXISTING PHOTOS
A0.2	NEIGHBORHOOD CONTEXT PHOTOS
A1.1	PROPOSED/EXISTING FIRST FLOOR PLANS
A1.2	PROPOSED/EXISTING SECOND FLOOR PLANS
A2.1	PROPOSED/EXISTING FRONT ELEVATION
A2.2	PROPOSED/EXISTING RIGHT SIDE ELEVATION
A2.3	PROPOSED/EXISTING REAR ELEVATION
A2.4	PROPOSED/EXISTING LEFT SIDE ELEVATION
A3.1	PROPOSED DETAILS/SPECIFICATIONS
A3.2	PROPOSED DETAILS/SPECIFICATIONS



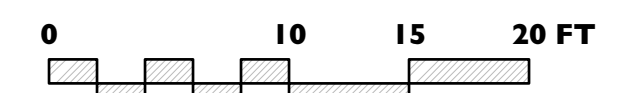
2 LOCATION MAP  
Scale: NOT TO SCALE

ZONING MATRIX RESIDENCE GRB - Single Family			
ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA	5,000 SF	8,325 SF	8,325 SF
LOT FRONTAGE	80 FT	92.5 FT	92.5 FT
LOT DEPTH	60 FT	87.3 FT	87.3 FT
FRONT YARD	5 FT	1.9 FT	1.9 FT
SIDE YARD A	10 FT	6.5 FT	6.5 FT
SIDE YARD B	10 FT	6.5 FT	6.5 FT
REAR YARD	25 FT	34.1 FT	34.1 FT
BUILDING COVERAGE	30%	16.5%	24.4%
OPEN SPACE	25%	66.6%	53.5%
HEIGHT	35	+23.5	+23.5



1 PROPOSED SITE PLAN  
Scale: 1/8" = 1'-0"

**NOTE:**  
PROPOSED SITE PLAN IS BASED UPON INFORMATION AS PROVIDED ON PLAN OF LAND SHOWING EXISTING CONDITIONS FOR 37 SOUTH SCHOOL STREET, ASSESSORS MAP 101, LOT 72 (DATED 5-10-23) AS PREPARED BY MILLENNIUM ENGINEERING, INC.



**SCOTT BROWN**  
ESTD ARCHITECTS 2007

48 MARKET STREET  
NEWBURYPORT, MA 01950  
T. 978.465.3535  
WWW.SCOTTBROWNARCHITECT.COM

**ADDITIONS/ALTERATIONS TO THE:**  
**PATSKY-WOODS RESIDENCE**  
37 SOUTH SCHOOL STREET  
PORTSMOUTH, NH 03801

REVISION & REISSUE NOTES		
No.	Date	Notes
A	12/15/23	HDC SUBMISSION

Project #	Project Manager	Date
2023-11	X.X.	12-14-23

Scale: AS NOTED

**COVER SHEET/PROPOSED SITE PLAN**  
**A0.0**

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EAVE DETAIL



NORTHEAST VIEW



SOUTHEAST VIEW



WINDOW SILL DETAIL



NORTHWEST VIEW



SOUTHWEST VIEW

ADDITIONS/ALTERATIONS  
TO THE:  
**PATSKY-WOODS RESIDENCE**  
37 SOUTH SCHOOL STREET  
PORTSMOUTH, NH 03801

REVISION & REISSUE NOTES

No.	Date	Notes
A	12/15/23	HDC SUBMISSION

Project #	Project Manager	Date
2023-11	X.X.	12-14-23

Scale: AS NOTED

EXISTING PHOTOS

**A0.1**





(7): SOUTH STREET PLAYGROUND



(8): 19 SOUTH SCHOOL ST



(9): 478 MARCY STREET



(3): 50 SOUTH SCHOOL STREET



(4): 38 SOUTH SCHOOL STREET



(5): 490 MARCY STREET GARAGE



(6): 490 MARCY STREET



(1): 86 SOUTH SCHOOL STREET



(2): 76 SOUTH SCHOOL STREET



KEY PLAN

ADDITIONS/ALTERATIONS  
TO THE:  
**PATSKY-WOODS RESIDENCE**  
37 SOUTH SCHOOL STREET  
PORTSMOUTH, NH 03801

REVISION & REISSUE NOTES

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A	12/15/23	HDC SUBMISSION

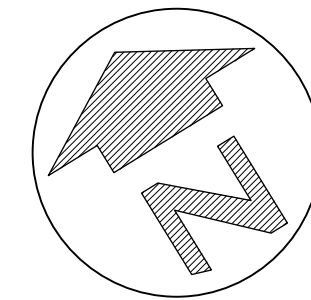
Project # 2023-11	Project Manager X.X.	Date 12-14-23
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Scale: AS NOTED

NEIGHBORHOOD  
CONTEXT PHOTOS

A0.2





ADDITIONS/ALTERATIONS  
TO THE:

# PATSKY-WOODS RESIDENCE

37 SOUTH SCHOOL STREET  
PORTSMOUTH, NH 03801

REVISION & REISSUE NOTES

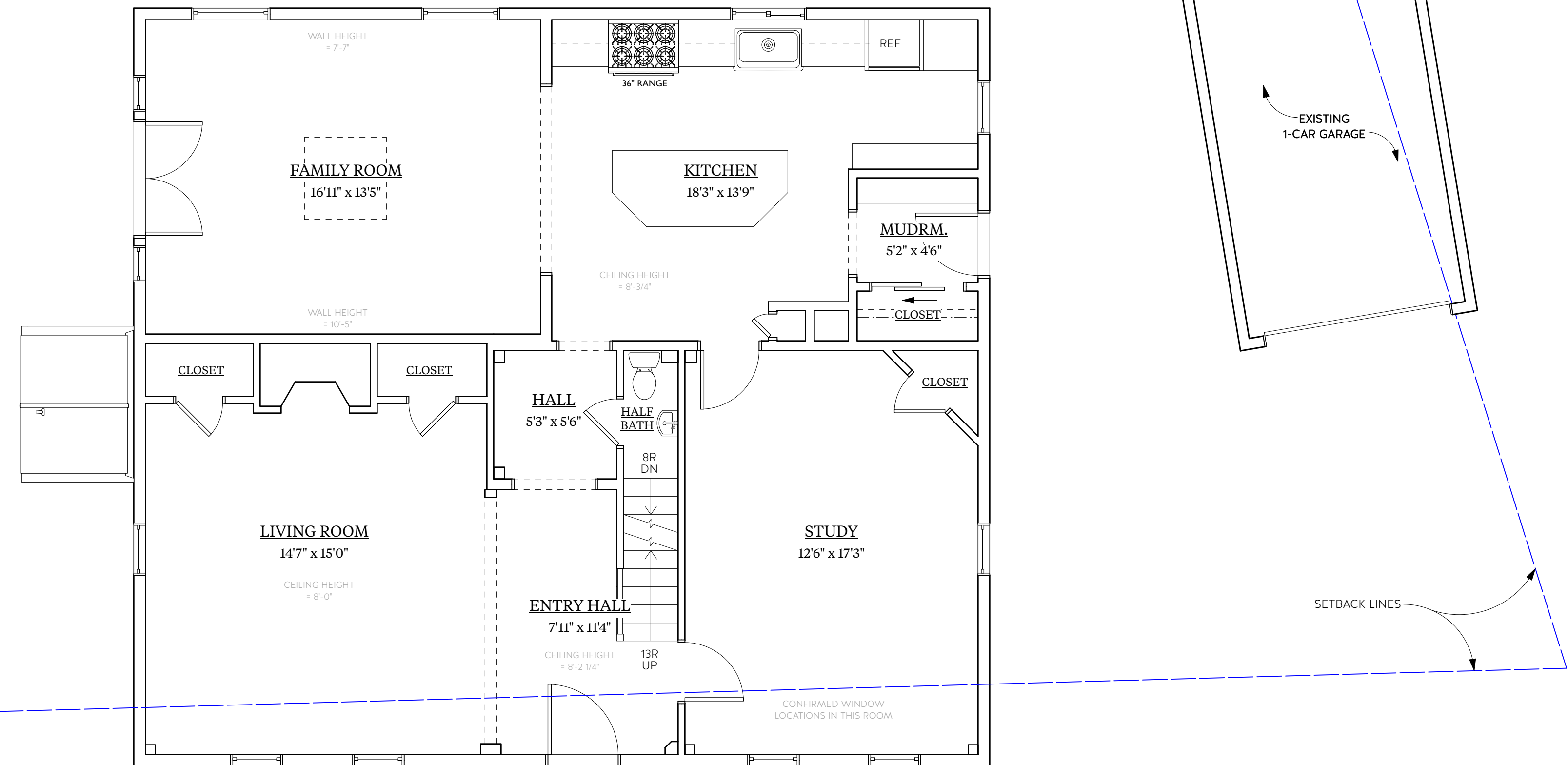
No.	Date	Notes
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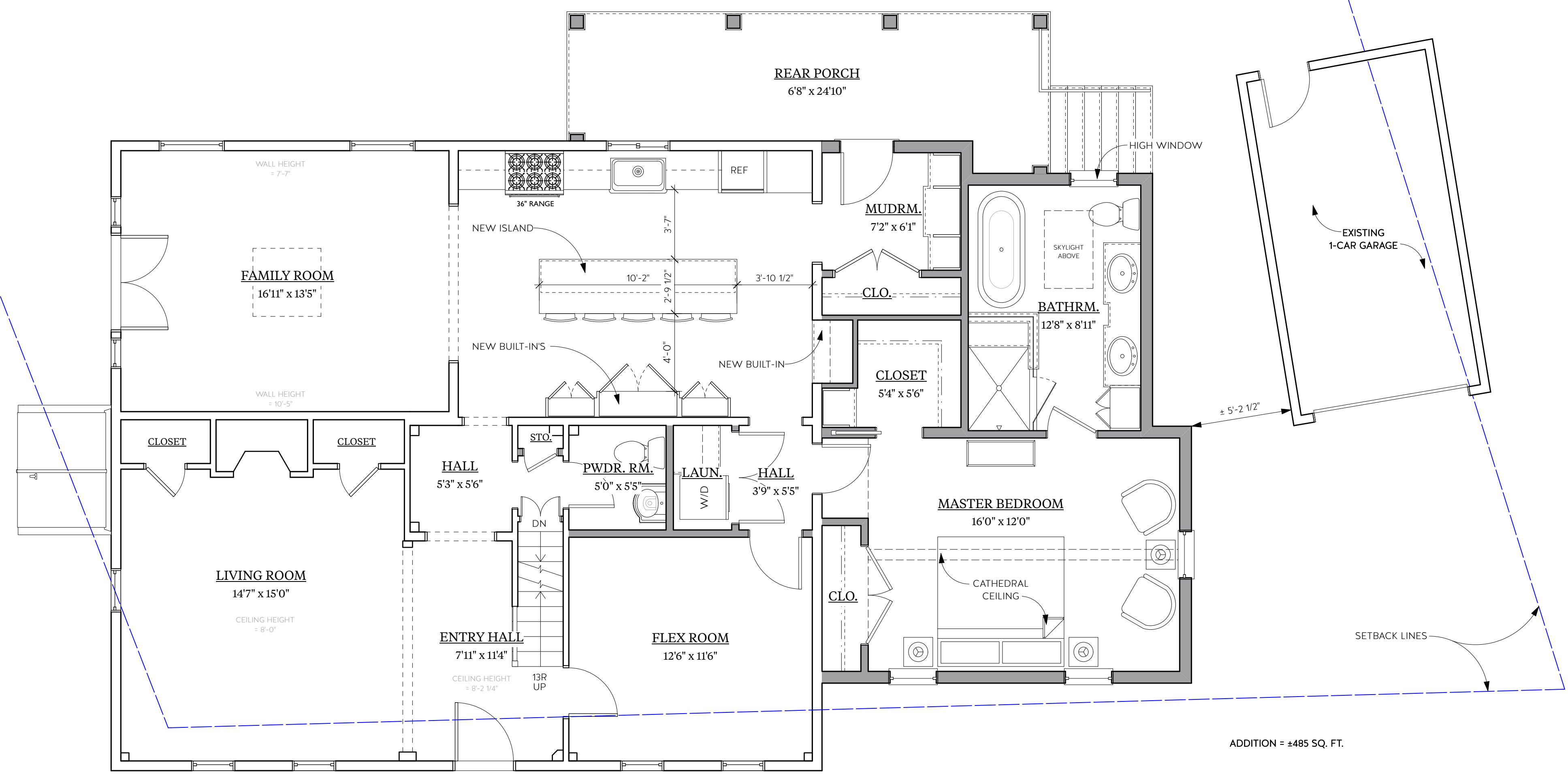
Scale: AS NOTED

FIRST FLOOR PLANS

# A1.1



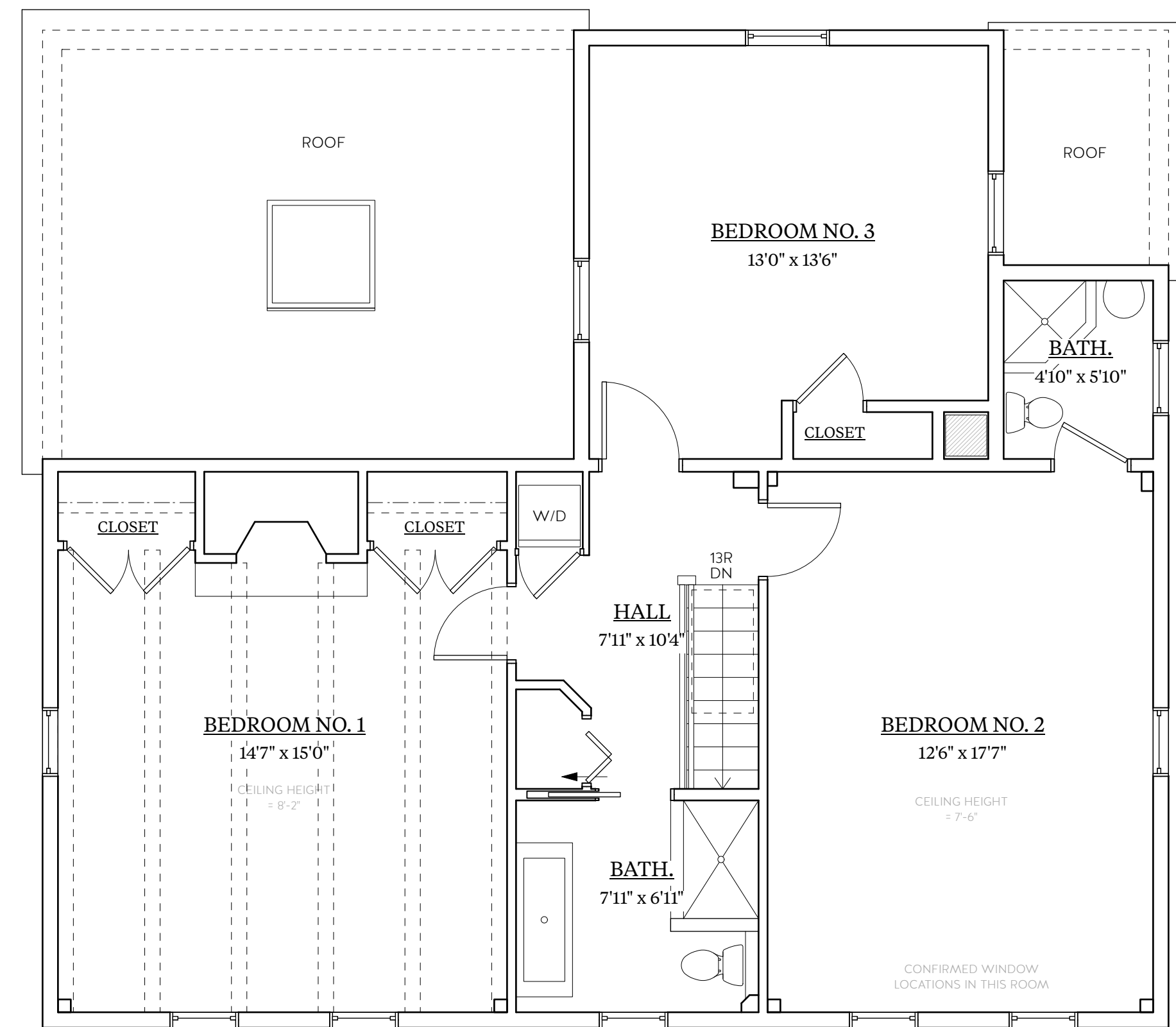
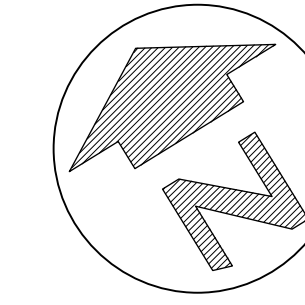
2 EXISTING FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



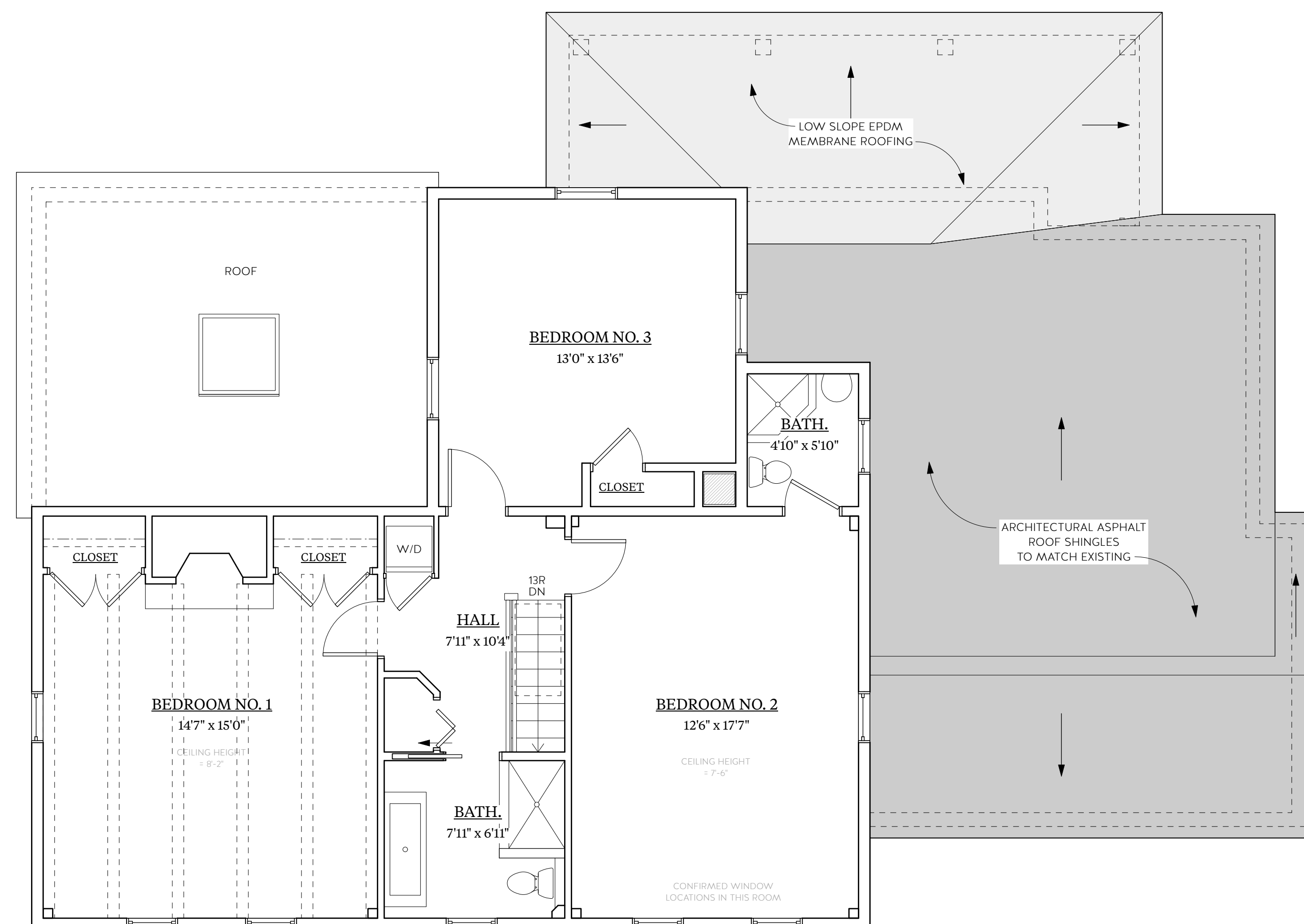
1 PROPOSED FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

ADDITION = 4485 SQ. FT.





2 EXISTING SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"

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REVISION & REISSUE NOTES

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Scale: AS NOTED

SECOND FLOOR  
PLANS

**A1.2**



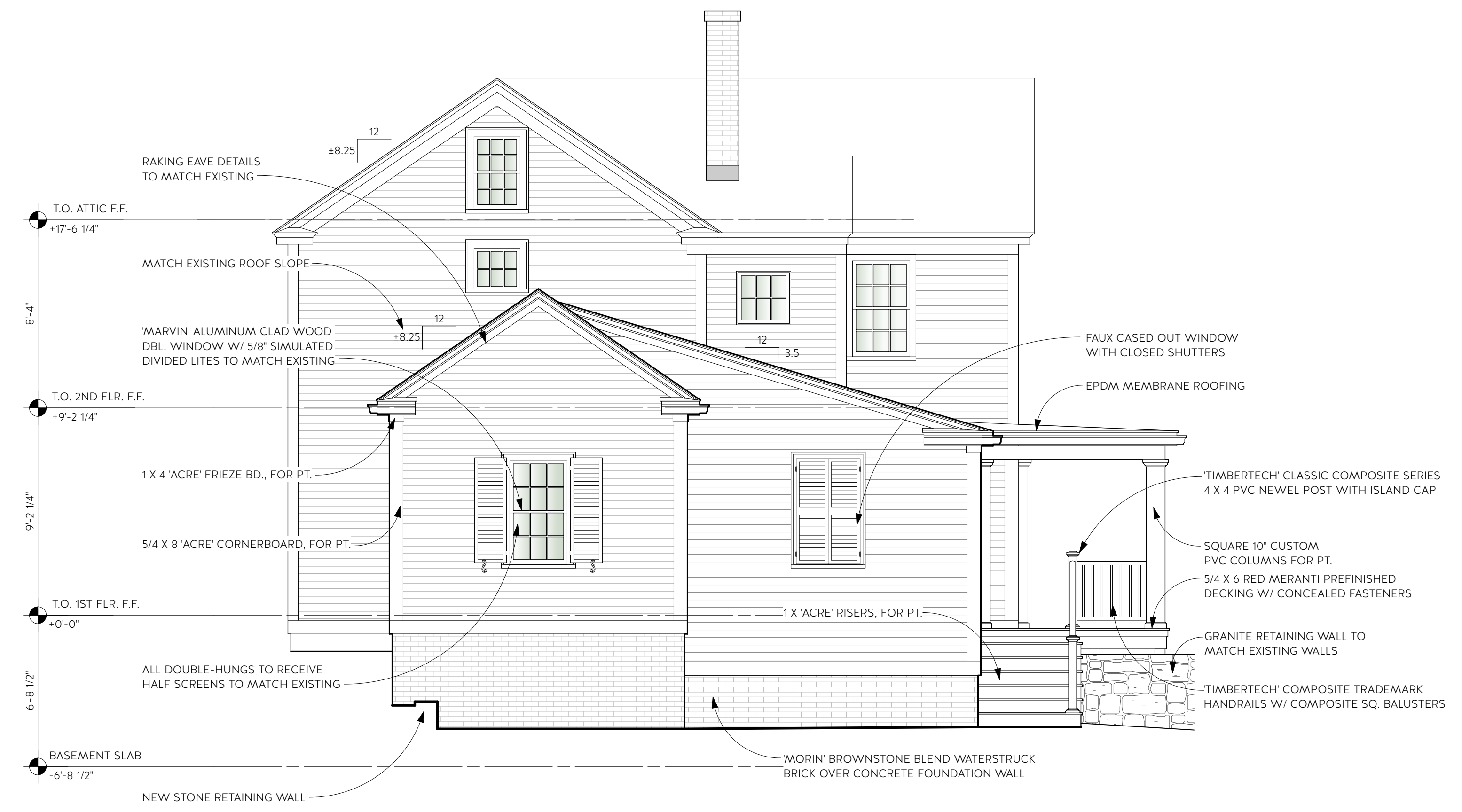




ADDITIONS/ALTERATIONS  
TO THE:  
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37 SOUTH SCHOOL STREET  
PORTSMOUTH, NH 03801



2 EXISTING EAST (RIGHT SIDE) ELEVATION  
Scale: 1/4" = 1'-0"



1 PROPOSED EAST (RIGHT SIDE) ELEVATION  
Scale: 1/4" = 1'-0"

REVISION & REISSUE NOTES

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2023-11	X.X.	12-14-23

Scale: AS NOTED

ELEVATIONS

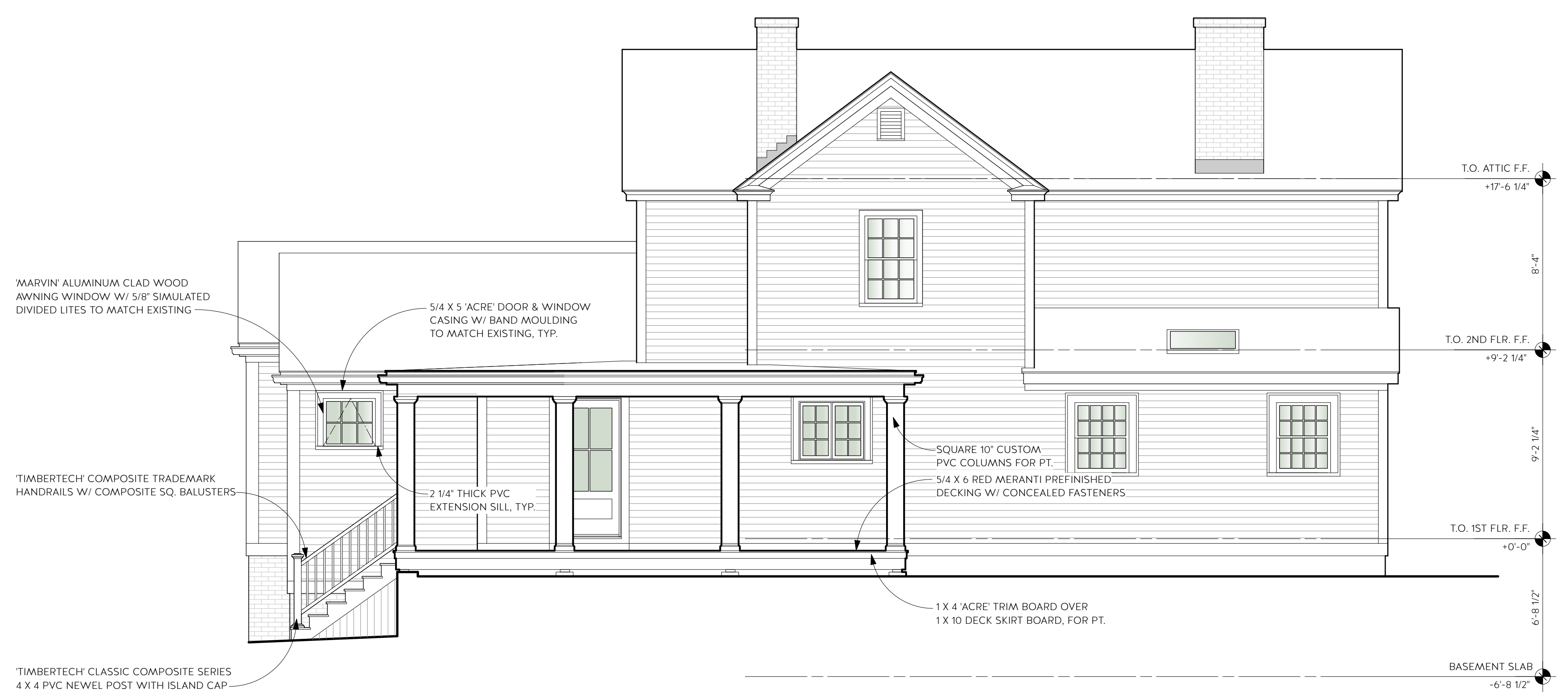
A2.2



ADDITIONS/ALTERATIONS  
TO THE:  
**PATSKY-WOODS RESIDENCE**  
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2 EXISTING NORTH (REAR) ELEVATION  
Scale: 1/4" = 1'-0"



1 PROPOSED NORTH (REAR) ELEVATION  
Scale: 1/4" = 1'-0"

REVISION & REISSUE NOTES

No.	Date	Notes
A	12/15/23	HDC SUBMISSION

Project #	Project Manager	Date
2023-11	X.X.	12-14-23

Scale: AS NOTED

ELEVATIONS

A2.3



ADDITIONS/ALTERATIONS  
TO THE:  
**PATSKY-WOODS RESIDENCE**  
37 SOUTH SCHOOL STREET  
PORTSMOUTH, NH 03801



2 EXISTING WEST (LEFT SIDE) ELEVATION  
Scale: 1/4" = 1'-0"



1 PROPOSED WEST (LEFT SIDE) ELEVATION  
Scale: 1/4" = 1'-0"

REVISION & REISSUE NOTES

No.	Date	Notes
A	12/15/23	HDC SUBMISSION

Project # 2023-11	Project Manager X.X.	Date 12-14-23
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Scale: AS NOTED

ELEVATIONS

A2.4



ADDITIONS/ALTERATIONS  
TO THE:  
**PATSKY-WOODS RESIDENCE**  
37 SOUTH SCHOOL STREET  
PORTSMOUTH, NH 03801

REVISION & REISSUE NOTES

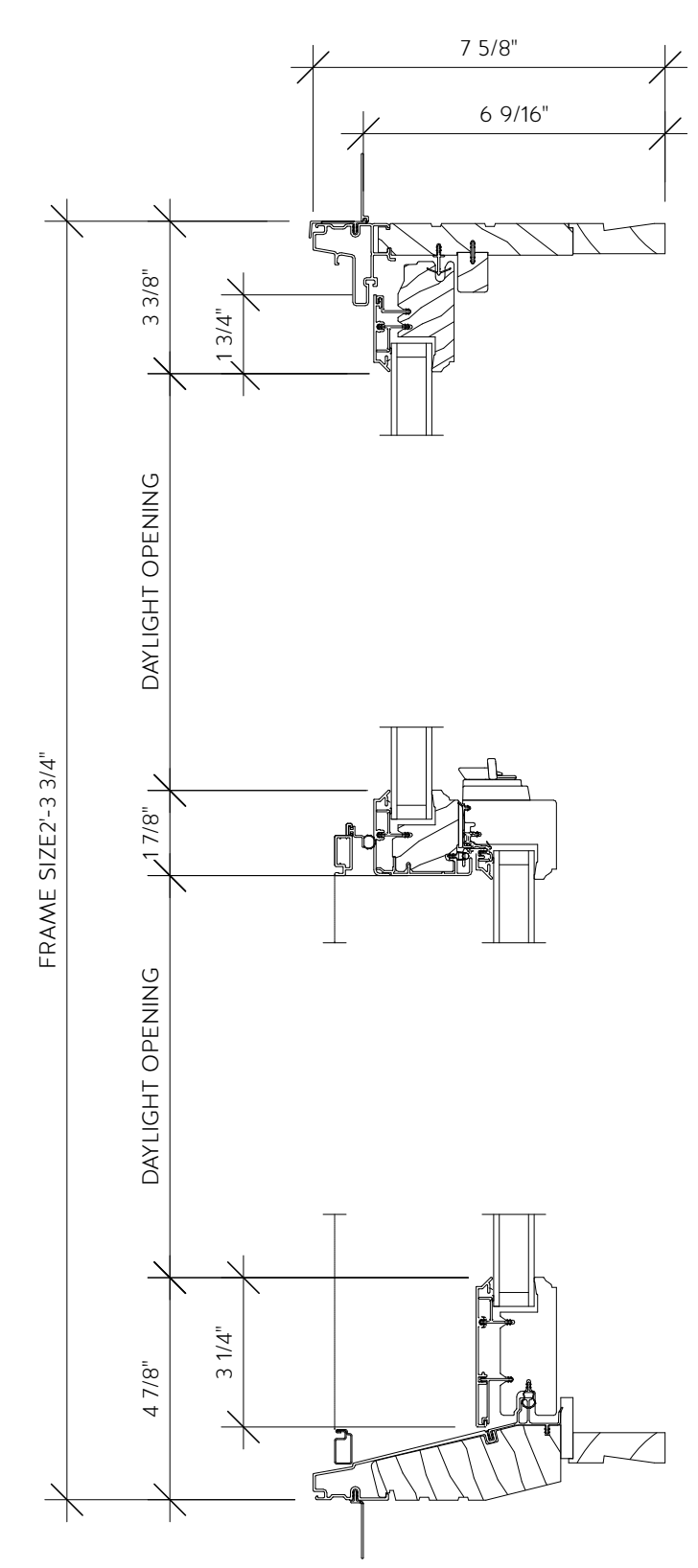
No.	Date	Notes
A	12/15/23	HDC SUBMISSION

Project #	Project Manager	Date
2023-11	X.X.	12-14-23

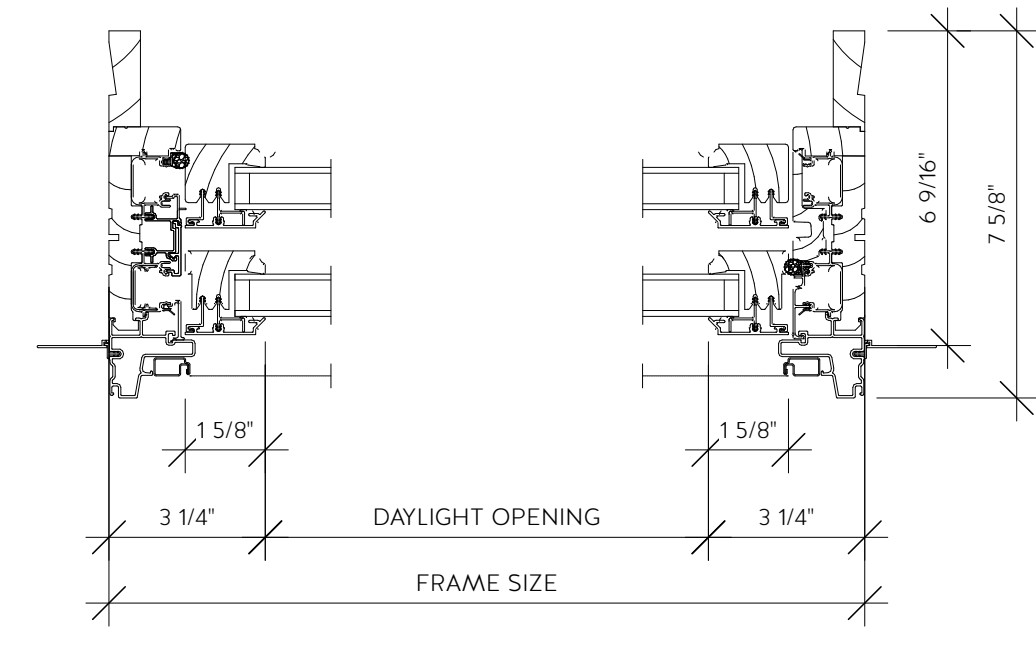
Scale: AS NOTED

EXTERIOR DETAILS/  
SPECIFICATIONS

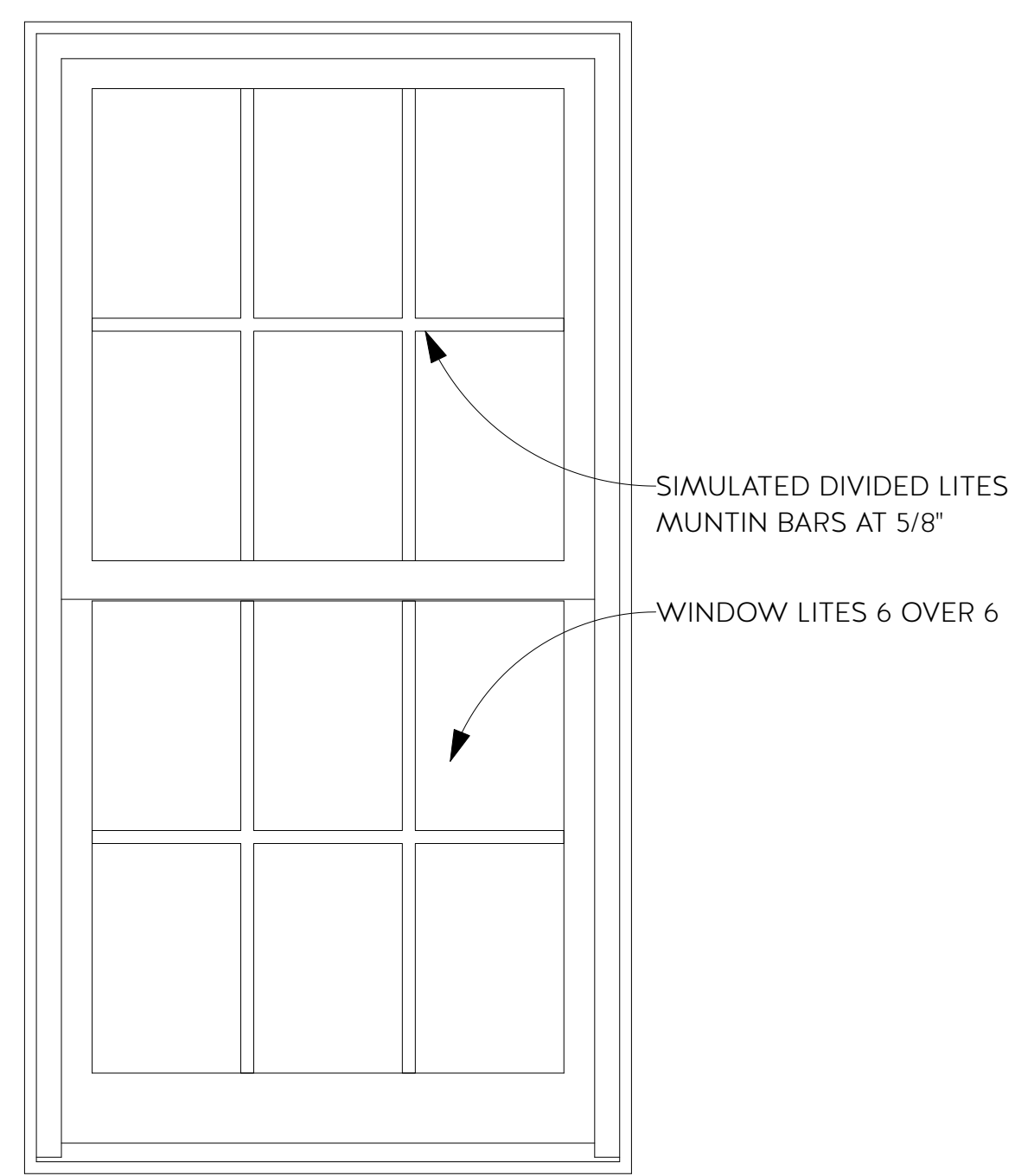
**A3.1**



2 MARVIN SIGNATURE DOUBLE HUNG HEAD JAMB TO SILL  
Scale: 3" = 1'-0"



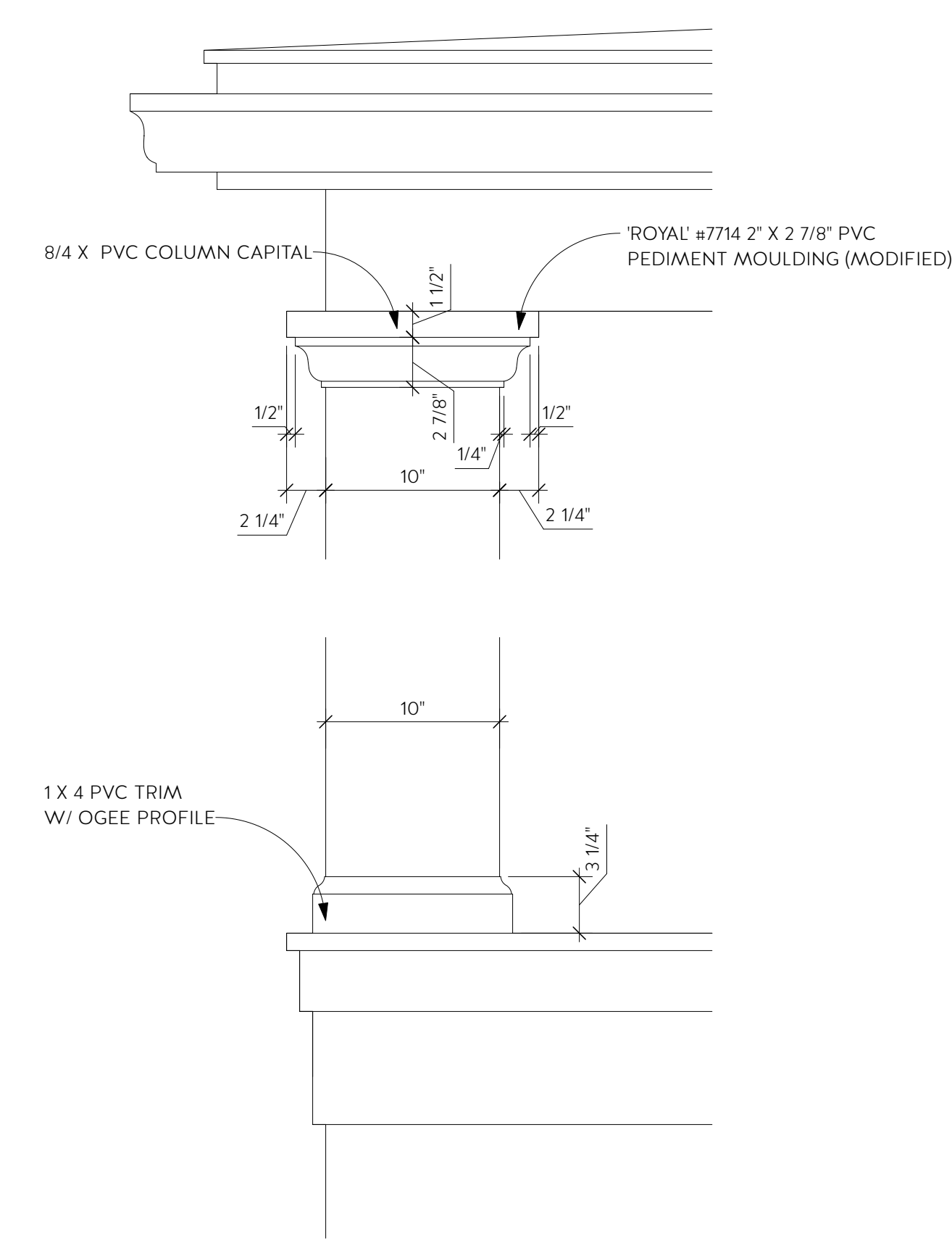
1 MARVIN SIGNATURE DOUBLE HUNG FRAME WIDTH  
Scale: 3" = 1'-0"



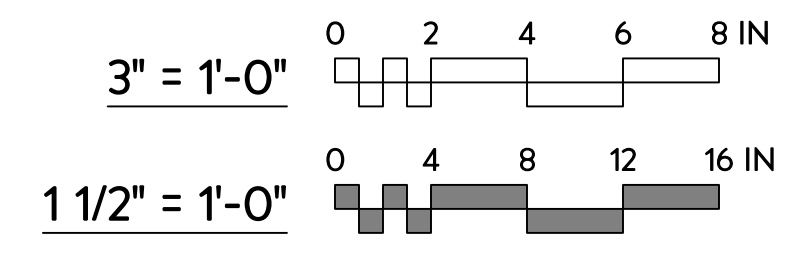
4 MARVIN SIGNATURE DOUBLE HUNG ELEVATION  
Scale: 1 1/2" = 1'-0"



3 MARVIN SIGNATURE DOUBLE HUNG WINDOW  
PRODUCT REFERENCE:  
Window Lites and Colors Not Accurate



5 COLUMN DETAIL  
Scale: 1 1/2" = 1'-0"





ADDITIONS/ALTERATIONS  
TO THE:  
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PORTSMOUTH, NH 03801

REVISION & REISSUE NOTES

No.	Date	Notes
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2023-11	X.X.	12-14-23

Scale: AS NOTED

**EXTERIOR DETAIL/  
SPECIFICATIONS**

**A3.2**



**COMPOSITE TRIM BOARD**  
ACRE COMPOSITE TRIM



**DECKING MATERIAL**  
BOSTON CEDAR - OUTBACK DECKING



**BRICK TYPE**  
MORIN BRICK - BROWNSTONE BLEND



**STONE MATERIAL**  
RECLAIMED GRANITE BLOCK WALLSTONE-SPLIT BLOCK MIX



**SHUTTERS**  
INTEX MILLWORK SOLUTIONS, CPVC  
LOUVERED SHUTTERS, IN BLACK



**SHUTTER HARDWARE**  
ATLANTIC PREMIUM SHUTTER  
TRADITIONAL HARDWARE



**RAILING REFERENCE**  
4X4 ISLAND CAP NOT SHOWN



**RAILING MATERIALS**  
TIMBERTECH CLASSIC COMPOSITE SERIES, PREMIER TOP RAIL,  
COMPOSITE BALUSTERS, 4X4 POST, 4X4 ISLAND CAP, WHITE



# Historic District Commission Staff Report

Wednesday, January 03, 2024

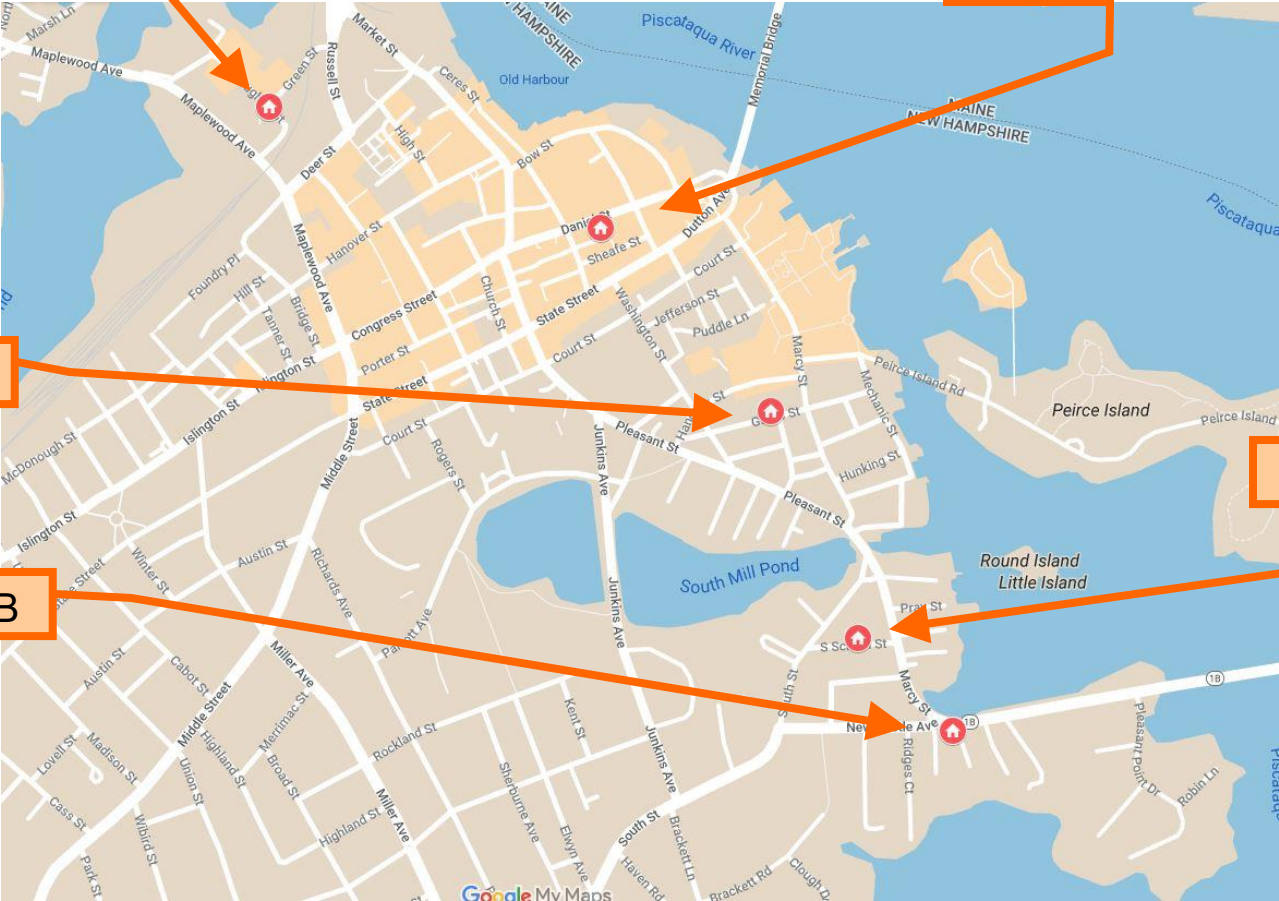
PH-2

PH-3

PH-1

WS-A

PH-B





**Project Address:** 180 NEW CASTLE AVENUE

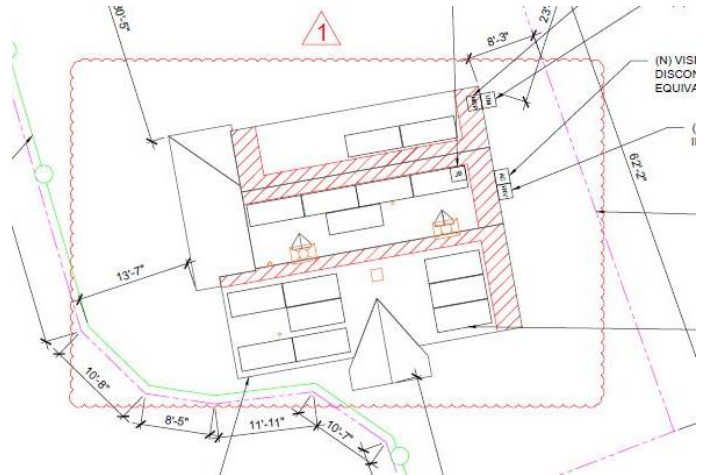
**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING B

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Single Residence B (SRB)
- Land Use: Residential
- Land Area: 4,260 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: View from New Castle Avenue and Ball Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** To add roof-mounted solar panels.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Install roof mounted solar panels





**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



**Project Address:** 111 GATES STREET

**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 5,208 SF +/-
- Estimated Age of Structure: c.1800
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gates Street
- Unique Features: NA
- Neighborhood Association: South End



**B. Proposed Work:** To remove the rear porch, construct a 2-story addition with walkout basement and re-configure existing side addition.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Remove rear porch
- Construct 2-story addition at the rear of the structure with a walkout basement
- Re-configure the existing side addition





**D. Purpose and Intent:**

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



**Project Address:** 64 VAUGHAN STREET

**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 2

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 15,242 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Vernacular Commercial
- Historical Significance: C
- Public View of Proposed Work: View from Vaughan Mall and Hanover Streets
- Unique Features: NA
- Neighborhood Association: Downtown



**B. Proposed Work:** To add a roof top pavilion.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- To add a rooftop pavilion





**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
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4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

**Project Address:** 95 + 99 DANIEL STREET

**Permit Requested:** CERTIFICATE OF APPROVAL

**Application:** PUBLIC HEARING 3

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4 (CD4)
- Land Use: Mixed-Use
- Land Area: 2,614 SF +/-
- Estimated Age of Structure: c.1850 (95) & c. 1860 (99)
- Building Style: Gothic Revival (95) Greek Revival (99)
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: View from Daniel Street and Custom House Lane
- Unique Features: (2) remaining wood structures within the Historic District
- Neighborhood Association: Downtown



**B. Proposed Work:** Construct rear addition (95) and construct new rear deck and stairs (99), both structures to have various exterior features replaced or repaired as needed.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Rear addition (95)
- Rear stairs and deck (99)
- Exterior features to be replaced or repaired as needed on both structures





**D. Purpose and Intent:**

13. Preserve the integrity of the District
14. Assessment of the Historical Significance
15. Conservation and enhancement of property values
16. Maintain the special character of the District
17. Complement and enhance the architectural and historic character
18. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

9. Consistent with special and defining character of surrounding properties
10. Compatibility of design with surrounding properties
11. Relation to historic and architectural value of existing structures
12. Compatibility of innovative technologies with surrounding properties

**Project Address:** 37 SOUTH SCHOOL STREET

**Permit Requested:** WORK SESSION

**Application:** WORK SESSION A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 8,360 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: South School Street
- Unique Features: NA
- Neighborhood Association: South End

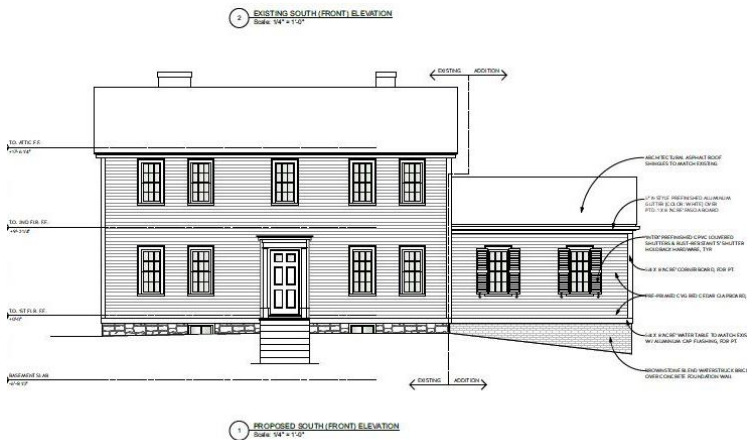


**B. Proposed Work:** to add a single-story side addition with new rear porch.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct 1-story addition to the right side of the structure
- Construct new rear porch.





**D. Purpose and Intent:**

19. Preserve the integrity of the District
20. Assessment of the Historical Significance
21. Conservation and enhancement of property values
22. Maintain the special character of the District
23. Complement and enhance the architectural and historic character
24. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

13. Consistent with special and defining character of surrounding properties
14. Compatibility of design with surrounding properties
15. Relation to historic and architectural value of existing structures
16. Compatibility of innovative technologies with surrounding properties