

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details) \**

**6:30 p.m.**

**June 12, 2024**

**AGENDA (revised on June 07, 2024)**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. ADMINISTRATIVE APPROVALS**

1. 113 Bow Street
2. 135 Market Street, Unit D

**II. PUBLIC HEARINGS (OLD BUSINESS)**

A. Petition of Daniel McGreevy, owner, for property located at 425 Islington Street, wherein permission is requested to allow exterior renovations to an existing structure (replace 21 windows on the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 32 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

B. Petition of Neila LLC, owner, for property located at 324 Maplewood Avenue, wherein permission is requested to allow exterior renovations to an existing structure (replace all siding on the structure, repair exterior stairs corner boards and window trim as needed and replace the store front windows) to as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 1 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

**III. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of Patrick Wood and Chantale Marchand Revocable Trust, owners, for property located at 294 Marcy Street, wherein permission is requested to allow exterior renovations to an existing structure (the removal and replacement of all rotted siding and trim) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 76 and lies within the General Residence B (GRB) and Historic Districts.

2. Petition of Mark M. Bodi, owner, for property located at 121 State Street, Unit #2, wherein permission is requested to allow new construction to an existing structure (replace and enlarge existing rear deck and construct a new freestanding pergola facing Sheafe Street) as per

plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 48-2 and lies within the Character District 4 (CD4) and Historic Districts.

3. Petition of Richardson Revocable Trust, owner, for property located at 142 State Street, wherein permission is requested to allow exterior renovations to an existing structure (removal and replacement of slate roof to asphalt shingles) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 60 and lies within the Character District 4 (CD4) and Historic Districts.

4. Petition of Matthew Morton Associates, LLC, owner, for property located at 87 Market Street, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 43 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

5. **REQUEST TO POSTPONE-** Petition of North Church of Portsmouth, owner, for property located at 2 Congress Street, wherein permission is requested to allow exterior modifications to an existing structure (replace and enlarge (2) doors for ADA access and the installation of exterior lighting) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 83 and lies within the Civic, Downtown Overlay, and Historic Districts.

#### **IV. WORK SESSIONS (NEW BUSINESS)**

A. Work Session requested by Kevin Shitan Zeng Revocable Trust of 2017, owner, for property located at 377 Maplewood Avenue, wherein permission is requested to allow the demolition of the rear structure on the lot and the new construction of a detached accessory dwelling unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.

B. Work Session requested by Jeffrey Daniel Berlin, owner, for property located at 38 State Street, Unit #4, wherein permission is requested to allow renovations to an existing structure (new roofing, roof deck, and windows) and new construction to an existing structure (construct new penthouse addition to access roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 10-4 and lies within the Character District 4 (CD4) and Historic Districts.

C. Work Session requested by 96 State Street, LLC, owner, for property located at 96 State Street, wherein permission is requested to allow new construction to an existing structure (construct a 2-story addition at the rear corner of the structure facing Atkinson Street and construct a 2-story addition facing State Street) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 52 and lies within the Character District 4 (CD4) and Historic Districts.

#### **V. OTHER BUSINESS**

1. Discussion on Administrative Approvals

**VI. ADJOURNMENT**

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_WNW50uRrSSKDzdZ\\_RWuB0Q](https://us06web.zoom.us/webinar/register/WN_WNW50uRrSSKDzdZ_RWuB0Q)

# HDC

## ADMINISTRATIVE APPROVALS

June 12, 2024

1. 113 Bow Street -Recommended Approval
2. 135 Market Street, Unit D -TBD

**1. 113 Bow Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of a vertical granite curb post and black chain fence and an aluminum Boston Garden Style post and cap fence with black chain fence to define public vs. private space. The applicant is also seeking approval to replace the overlook with the same footprint, but different materials.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



RECEIVED  
 JUN 04 2024  
 By 143 PM

WOOD AND CONCRETE STRUCTURE BELOW OVERLOOK IN NEED OF INSPECTION AND REHABILITATION.



EXISTING CONCRETE TOWER BASES.



EXISTING VEGETATION STABILIZES RIVERBANK BUT IMPEDES VIEWS TO RIVER AND WATERFRONT.



GRADE CHANGES CREATE CHALLENGES TO THOSE WITH LIMITED MOBILITY.



OVERLOOK (12'DX16'W) IS CLOSED TO PUBLIC ACCESS. WOOD DECK AND FENCE CONSTRUCTION IN NEED OF REPAIR AND LIKELY NO LONGER CODE COMPLAINT.



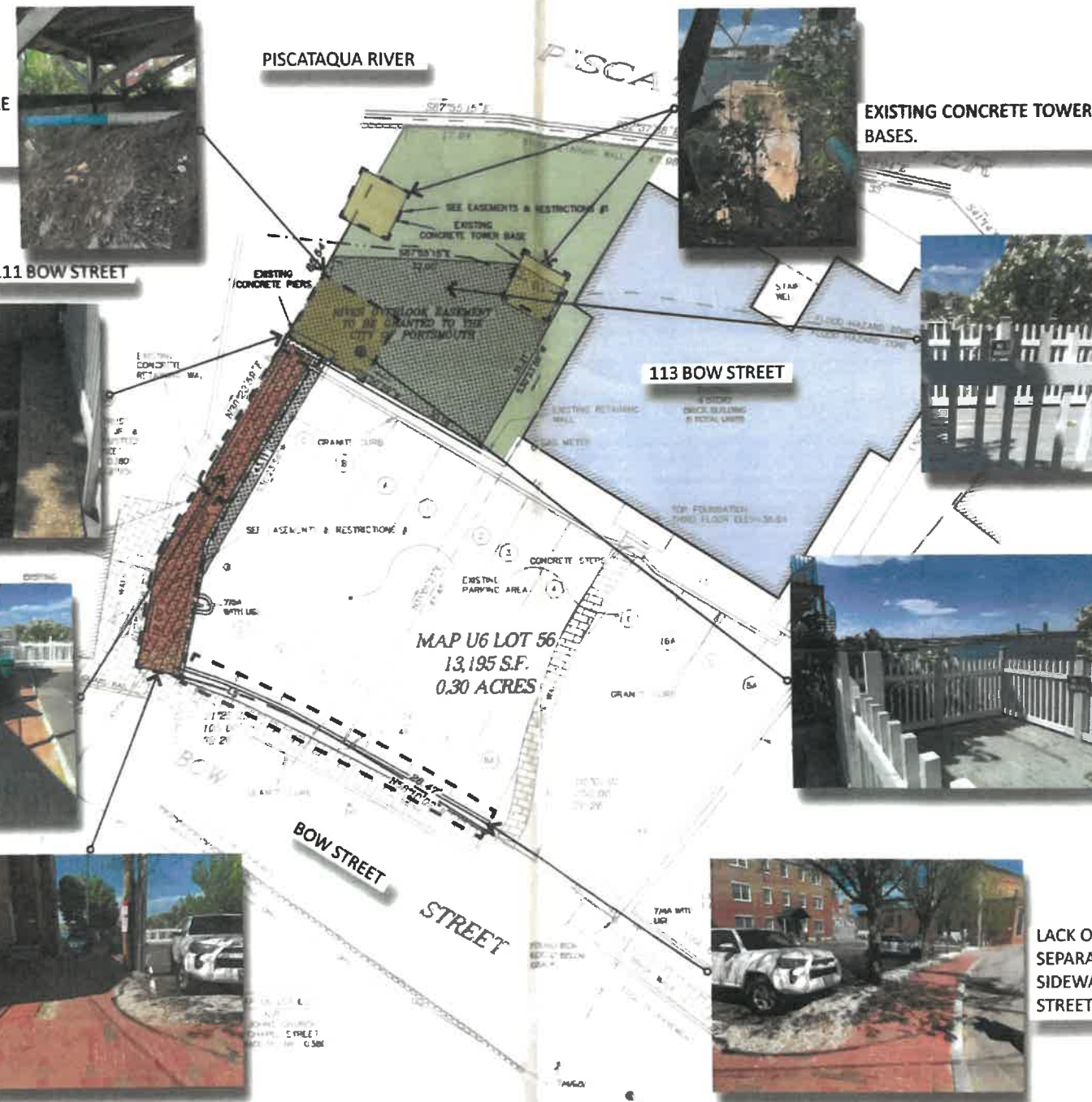
SIDEWALK SETTLEMENT CREATES LOW-POINT THAT LIMITS PUBLIC ACCESS, CAPTURES STORMWATER AND COLLECTS DEBRIS.



LACK OF SIGNAGE INFORMING PASSERS-BY OF THE OVERLOOK AS A PUBLIC AMENITY. LIMITED VISUAL AND PHYSICAL SEPARATION BETWEEN PUBLIC AND PRIVATE REALMS.



LACK OF VISUAL AND PHYSICAL SEPARATION BETWEEN PUBLIC SIDEWALK AND PRIVATE OFF-STREET PARKING AREA.



PUBLIC ACCESS AND OVERLOOK AT 113 BOW STREET  
 EXISTING CONDITIONS PLAN

EX 1.0

JULY 17 2023

**2. 135 Market Street, Unit D -TBD**

**Background:** The applicant is seeking approval for the replacement of the existing condenser with a new unit.

**Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

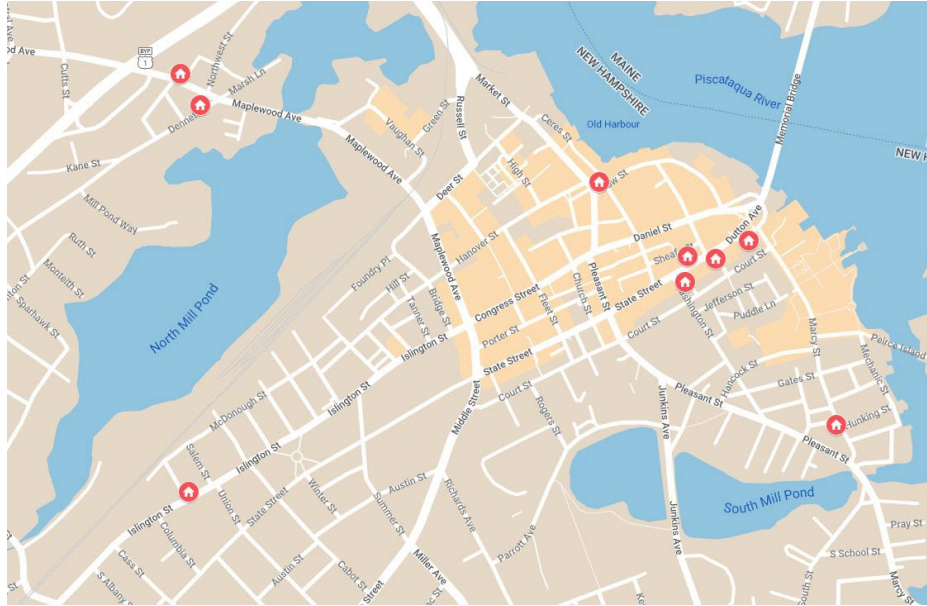






# Historic District Commission Staff Report

Wednesday, June 12, 2024



**Project Address:** 425 Islington Street  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing A



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4-L2
- Land Use: Residential
- Land Area: 2,613 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Mansard
- Number of Stories: 2
- Historical Significance: Not included in 1984 Survey
- Public View of Proposed Work: Islington Street and Dover Street
- Unique Features: N/A
- Neighborhood Association: West End

**B. Proposed Work:** Replace (21) windows on the structure; proposing to use a wood JELD-WEN window on the street facing sides with a vinyl JELD-WEN window for the non-street facing sides.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replacement of (21) windows
- This project has come before the Commission with several iterations and revisions.



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties













# PROJECT SPECIFICATION



Date: <u>04/13/2024</u>	Branch: <u>New England North</u>
Sales Consultant : <u>James Burke</u>	CSC Phone: <u>HOME DEPOT PHONE: (877)-903-3768</u>
Sales Consultant Phone # : <u>(978) 239-3829</u>	License(s): <u>, James Burke : R-I-073-13-00031</u>

INSTALLATION ADDRESS: 425 Islington st # 4

Portsmouth NH 03801

Job #: F42203026

PURCHASER(S):	Work Phone	Home Phone	Cell Phone
<u>DAN MCGREEVY</u>			<u>(603) 498-3545</u>

**PROJECT NAME:** Windows Quote

Customer  
Signature: \_\_\_\_\_ Date: 04/13/2024

## PROJECT SPECIFICATIONS

1	1st/LIV/Windows	Jeld-Wen Wood, Double Hung - Wood Exterior, Primed Int. Finish, Primed Ext. Finish, Width 32, Height 53, Width + Height 85, .875 BSDL - Simulated Divided Light Grid, COLONIAL Pattern, Primed Int. Grid Color, Primed Ext. Grid Color, ALL Grid Position, 1 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Vertical, Glass - Standard, Window / Door Wraps â F&I Up To 120 UI (Per Each), Wrap Color White
2	1st/LIV/Windows	Jeld-Wen Wood, Double Hung - Wood Exterior, Primed Int. Finish, Primed Ext. Finish, Width 30, Height 61, Width + Height 91, .875 BSDL - Simulated Divided Light Grid, COLONIAL Pattern, Primed Int. Grid Color, Primed Ext. Grid Color, ALL Grid Position, 1 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Vertical, Glass - Standard, Window / Door Wraps â F&I Up To 120 UI (Per Each), Wrap Color White
3	1st/BATH/Windows	Jeld-Wen Wood, Double Hung - Wood Exterior, Primed Int. Finish, Primed Ext. Finish, Width 19, Height 76, Width + Height 95, Glass - Standard Tempered Glass Full, Window / Door Wraps â F&I Up To 120 UI (Per Each), Wrap Color White
4	1st/KITCH/Windows	Jeld-Wen Wood, Double Hung - Wood Exterior, Primed Int. Finish, Primed Ext. Finish, Width 36, Height 76, Width + Height 112, .875 BSDL - Simulated Divided Light Grid, COLONIAL Pattern, Primed Int. Grid Color, Primed Ext. Grid Color, ALL Grid Position, 1 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Vertical, Glass - Standard, Window / Door Wraps â F&I Up To 120 UI (Per Each), Wrap Color White

# PROJECT SPECIFICATION



Purchaser's Name: DAN MCGREEVY

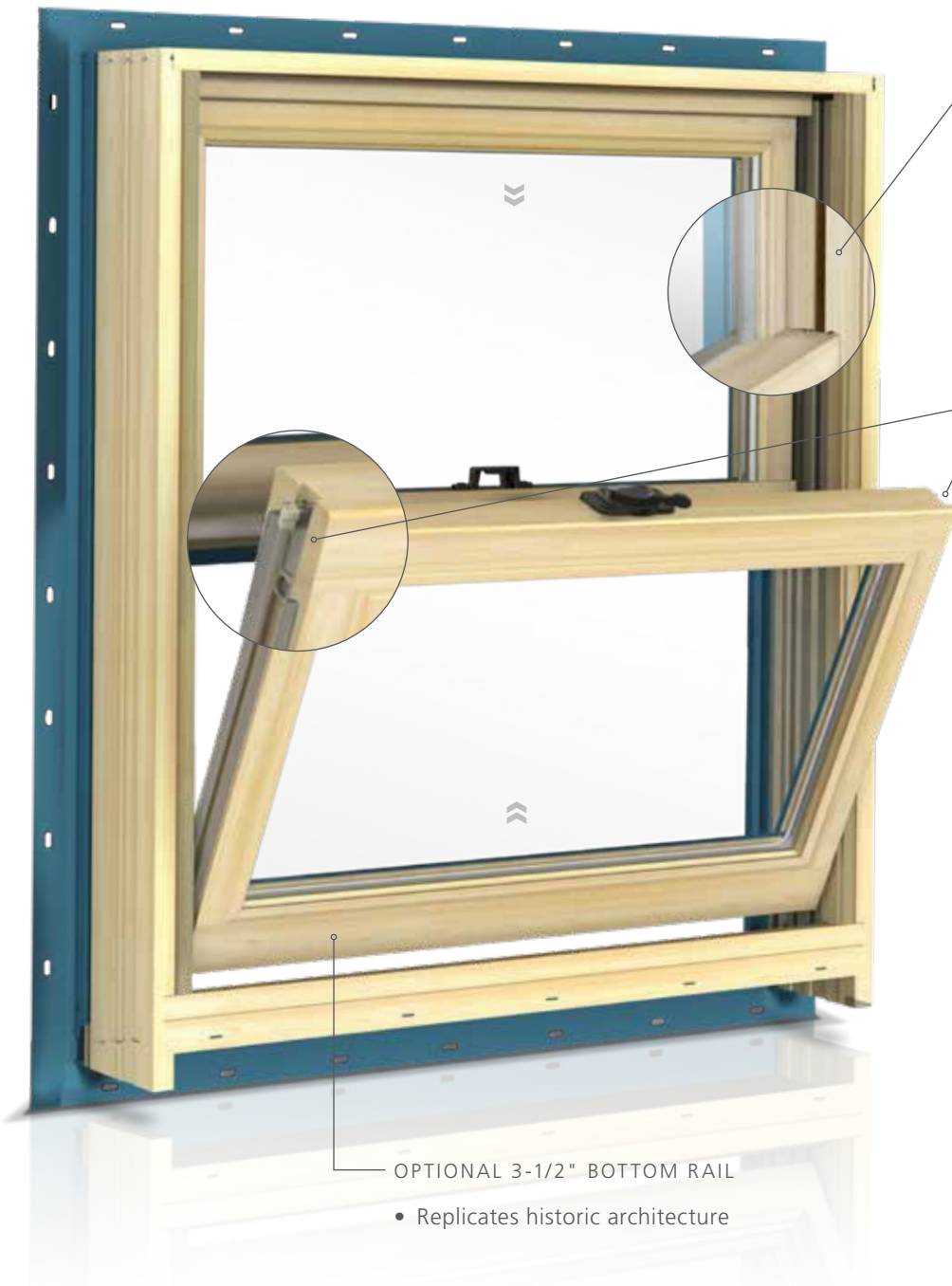
Job#: F42203026

**PROJECT NAME:** Windows Quote

## PROJECT SPECIFICATIONS

5	1st/LIV/Windows
Jeld-Wen Wood, Double Hung - Wood Exterior, Primed Int. Finish, Primed Ext. Finish, Width 36, Height 76, Width + Height 112, .875 BSDL - Simulated Divided Light Grid, COLONIAL Pattern, Primed Int. Grid Color, Primed Ext. Grid Color, ALL Grid Position, 1 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Vertical, Glass - Standard, Window / Door Wraps â F&I Up To 120 UI (Per Each), Wrap Color White	
6	2nd/LIV/Windows
Jeld-Wen Wood, Double Hung - Wood Exterior, Primed Int. Finish, Primed Ext. Finish, Width 30, Height 61, Width + Height 91, .875 BSDL - Simulated Divided Light Grid, COLONIAL Pattern, Primed Int. Grid Color, Primed Ext. Grid Color, ALL Grid Position, 1 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Vertical, Glass - Standard, Window / Door Wraps â F&I Up To 120 UI (Per Each), Wrap Color White	
7	2nd/LIV/Windows
Jeld-Wen Wood, Double Hung - Wood Exterior, Primed Int. Finish, Primed Ext. Finish, Width 30, Height 61, Width + Height 91, .875 BSDL - Simulated Divided Light Grid, COLONIAL Pattern, Primed Int. Grid Color, Primed Ext. Grid Color, ALL Grid Position, 1 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Vertical, Glass - Standard, Window / Door Wraps â F&I Up To 120 UI (Per Each), Wrap Color White	
8	2nd/LIV/Windows
Jeld-Wen Wood, Double Hung - Wood Exterior, Primed Int. Finish, Primed Ext. Finish, Width 32, Height 53, Width + Height 85, .875 BSDL - Simulated Divided Light Grid, COLONIAL Pattern, Primed Int. Grid Color, Primed Ext. Grid Color, ALL Grid Position, 1 Bar(s) Vertical, ALL Grid Position, 1 Bar(s) Vertical, Glass - Standard, Window / Door Wraps â F&I Up To 120 UI (Per Each), Wrap Color White	
Job Level and Labor Options	
8-Window / Door Wraps â F&I Up To 120 UI (Per Each)	

# DOUBLE-HUNG FEATURES & OPTIONS



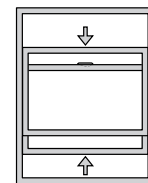
## CONCEALED JAMB LINER

- Replicates historic architecture
- No exposed track
- Cover will match interior species and finish



## CAM-LOCK WITH CONCEALED TILT LATCH

- Tilt sash allows for easy cleaning from the inside of your home
- A single mechanism controls both the locking and tilting of the sash
- Tilt latches are concealed within the sash for a clean, streamlined appearance



## DOUBLE-HUNG

Uses moving sash on top and bottom to increase usability and air circulation

## OPTIONAL 3-1/2" BOTTOM RAIL

- Replicates historic architecture

## AVAILABLE HARDWARE FINISHES



Oil-Rubbed Bronze\*†

Antique Brass

Polished Brass

Brushed Chrome

Polished Chrome

Powder-Coat White

Chestnut Bronze

Desert Sand

Powder-Coat Black

Satin Nickel†

\*Oil-Rubbed Bronze will change in appearance over time

†Available with optional PVD finish for increased resistance to wear and discoloration

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

Style	Glass Package	Glazing (all with Argon)	Spacer	IG	U Fact	SHGC
<b>6500</b>						
Awning	6500 Base	ProSolar	Supercept	7/8"	0.26	0.23
Casement	6500 Base	ProSolar	Supercept	7/8"	0.26	0.24
Transom	6500 Base	ProSolar	Supercept	1"	0.27	0.32
Double-Hung	6500 Base	ProSolar	Supercept	7/8"	0.29	0.26
Picture Casement (NH)	6500 Base	ProSolar	Supercept	7/8"	0.26	0.28
Picture	6500 Base	ProSolar	Supercept	7/8"	0.27	0.29
2 Panel Slider	6500 Base	ProSolar	Supercept	7/8"	0.29	0.26
3 Panel Sliders	6500 Base (≤ 21 Sqft)	Pro Solar	Supercept	7/8"	0.29	0.26
<b>6500 DOORS</b>						
Garden Door (CH)	6500 Energy Star	ProSolar SUN	Super Spacer	1"	0.30	0.24
Patio Door INOVO	6500 Base	Pro Solar	Super Spacer	1"	0.28	0.26
<b>6100</b>						
<i>Homes located everywhere EXCEPT: Arizona, California, Idaho, Washington.</i>						
Awning (Inc Hopper)	6100 Base	Pro Solar	Intercept	7/8"	0.27	0.24
Casement	6100 Base	Pro Solar	Intercept	7/8"	0.27	0.24
X Double-Hung	6100 Energy Star	Pro Solar	Supercept	3/4"	0.30	0.30
Picture Casement (No Hinge)	6100 Base	Pro Solar	Intercept	7/8"	0.27	0.28
Picture	6100 Base	Pro Solar	Intercept	3/4"	0.27	0.31
2 Panel Slider	6100 Base	Pro Solar	Intercept	3/4"	0.30	0.28
3 Panel Slider	6100 Base	Pro Solar	Intercept	3/4"	0.30	0.29

**Project Address:** 324 Maplewood Avenue

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing B

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4-L2
- Land Use: Mixed-Use
- Land Area: 5,475 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Maplewood Avenue and Dennett Street
- Unique Features: N/A
- Neighborhood Association: West End



**B. Proposed Work:** Replace the windows with Andersen 400 Series windows.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replace the windows with Andersen 400 Series.



**D. Purpose and Intent:**

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**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

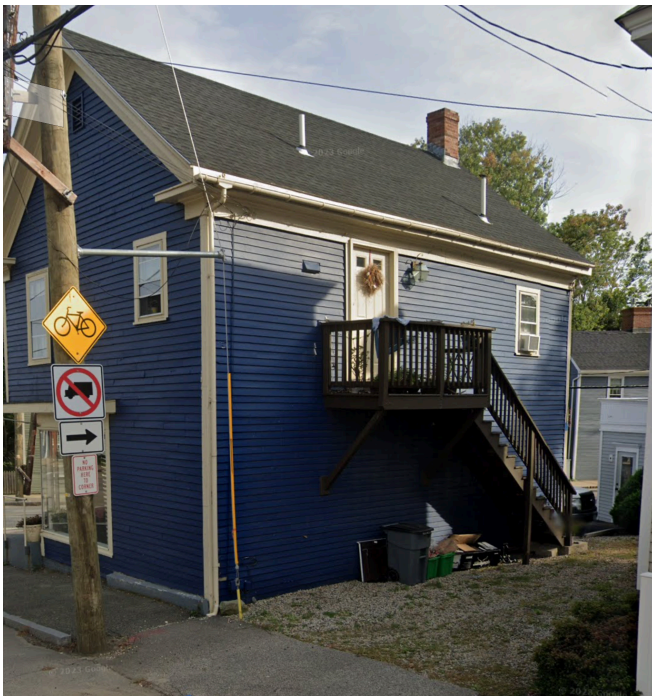




Facade facing Dennett Street



Facade facing Maplewood Ave



Facade view from Maplewood

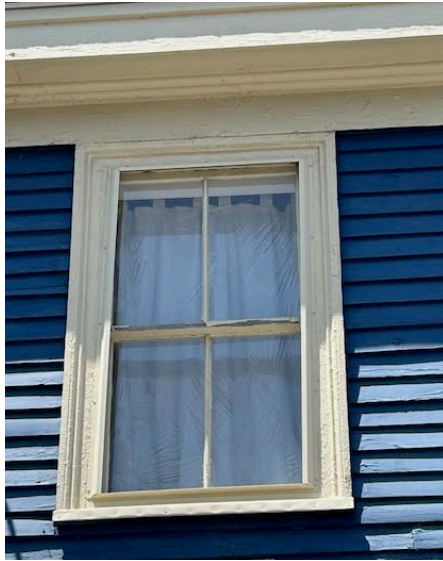


Rear facade abutting neighbor on Dennett St

PRODUCT CODE	UNIT PR
DESCRIPTION	

MANUFACTURER: Andersen  
Windows and  
Patio Doors

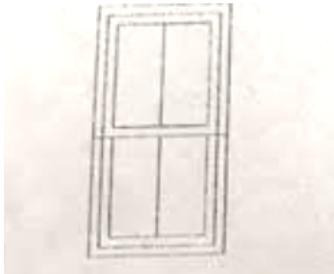
400 Series, WDHI Single Insert Units  
 Unit Code/Item Size: WDHI 27 1/2" x 52 1/4" - 14 Deg  
 Operation/Handling: AA  
 Unit Sill Angle: 14 Degrees - Steep ( for 11 to 15 Degrees  
 Sill)  
 Exterior Color: White  
 Interior Color: Pre-finished White  
 Glass Type (Top): High Performance Low-E4 Glass,  
 Divided Light with Spacer, Specified Equal Lite  
 Glass Type (Bottom): High Performance Low-E4 Glass,  
 Divided Light with Spacer, Specified Equal Lite  
 Interior Grille (Top): Grille, Interior, Permanently Applied,  
 Prefinished White, Specified Equal Lite, 3/4", Chamfer  
 Exterior Grille (Top): Grille, Exterior, Permanently Applied,  
 White, Specified Equal Lite, 3/4", High Definition Chamfer  
 Interior Grille (Bottom): Grille, Interior, Permanently  
 Applied, Prefinished White, Specified Equal Lite, 3/4",  
 Chamfer  
 Exterior Grille (Bottom): Grille, Exterior, Permanently  
 Applied, White, Specified Equal Lite, 3/4", High Definition  
 Chamfer  
 Grille Construction (Top/Bot): Divided Light with  
 Spacer/Divided Light with Spacer  
 Custom Lite Pattern (Top): 2w1h  
 Custom Lite Pattern (Bot): 2w1h  
 Insect Screens: Half Insect Screen, White  
 Hardware: Hand Lift with screws  
 Hardware Color: Estate Style - Bright Brass  
 Lock Color: Estate Style - Bright Brass



EXISTING WINDOW  
(324 MAPLEWOOD)



**INTENDED WINDOW SPECS**



SAME/NEW  
WINDOWS AT 31  
DENNETT 2019  
(SAME OWNER)



**Project Address:** 294 Marcy Street

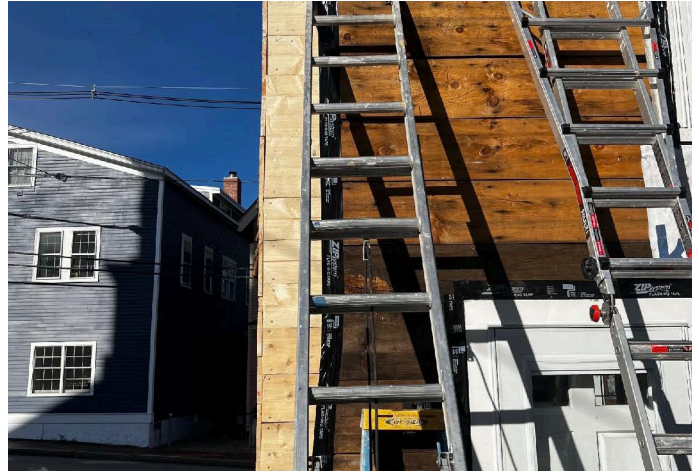
**Permit Requested:** Certificate of Approval

**Application:** Public Hearing 1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: GRB
- Land Use: Residential
- Land Area: 2,800 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Marcy Street
- Unique Features: N/A
- Neighborhood Association: South End

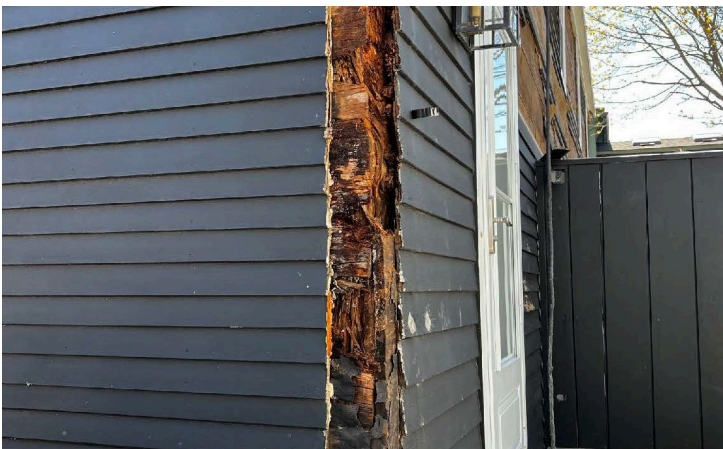


**B. Proposed Work:** Replace all rotted trim and siding.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replace all rotted siding and trim.
- This project initially received an exemption for minor clapboard and trim replacement. During that repair work, more siding and trim was found to need replacing and the subsequent siding and trim pieces were removed. Discovering this, the inspections department stopped work and told the homeowners they would need to apply for HDC approval.



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There is excessive damage to the corners of the house caused by failed gutters. The water also caused damage to underlayment preventing a nailing surface for the new clapboards. Removing the clapboards, fixing the corners and then zip taping/tyvek to prevent future issues was deemed the best solution. So many of the clapboards were cracked and split allowing more weather damage beneath. When preparing the surface for paint, it was evident that paint and caulking was holding a lot of the exterior together. Many boards disintegrated upon contact.





















**Project Address:** 121 State Street, Unit #2

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing 2

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Residential
- Land Area: 3,045-3,255 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: Sheafe Street
- Unique Features: N/A
- Neighborhood Association: Downtown



**B. Proposed Work:** Extend existing deck facing Sheaf Street and add a free-standing pergola.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Extension of existing Sheafe Street façade deck and entrance.
- Installation of a free-standing pergola



**HISTORIC  
SURVEY  
RATING  
  
C**

**D. Purpose and Intent:**

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# 121 STATE STREET DECK RENOVATION

## SCOPE OF WORK NARRATIVE

1. REBUILD DECK WITH NONCOMBUSTIBLE MATERIALS (STEEL WITH WOOD TRIM); EXTEND FRONT EDGE 3' 10" FURTHER OUT TOWARDS SHEAFE STREET
2. ADD PERGOLA AT DECK



## DRAWING LIST

- HM0.1 COVER
- HM0.2 EXISTING CONDITIONS
- HM0.3 CONTEXT
- HM1.1 PLANS
- HM2.1 ELEVATION-SECTION
- HM2.2 MATERIALS
- HM3.0 VIGNETTES
- HM3.1 VIGNETTES
- HM3.2 3D AXONOMETRIC

### 121 State Street - deck expansion

Owner: ONE HUNDRED TWENTY ONE TWENTY THREE STATE STREET CONDOS

### Zoning Summary

5/24/2024

Zone CD4	Total area for whole lot, both condo's			
	Allowed	Existing	Proposed	Change
Lot size (sf)	NR	2,614	2,614	0
building footprint, max	15,000	1,789	1,789	0
deck & stair footprint		427	508	81
parking area open to sky, pavers		549	490	-59
Open space (landscaping)		46	41	-5
Open Space, min	10.00%	1.76%	1.57%	-0.19%
Building Coverage, max	90.00%	84.77%	87.87%	3.10%
Setback, side	NR	NR	NR	NR
Setback max ft, Primary Front (State St)	10	0	0	0
Setback max ft, Secondary front (Sheafe St)	15	13.67	9.83	-3.84
Setback rear min, 5'	n/a	n/a	n/a	n/a

HDC  
PUBLIC HEARING

HM0.1 COVER  
121 STATE STREET

SCALE:  
05/24/2024





**HM0.2** EXISTING CONDITIONS  
121 STATE STREET

SCALE:  
05/24/2024



DANIEL STREET



DANIEL STREET



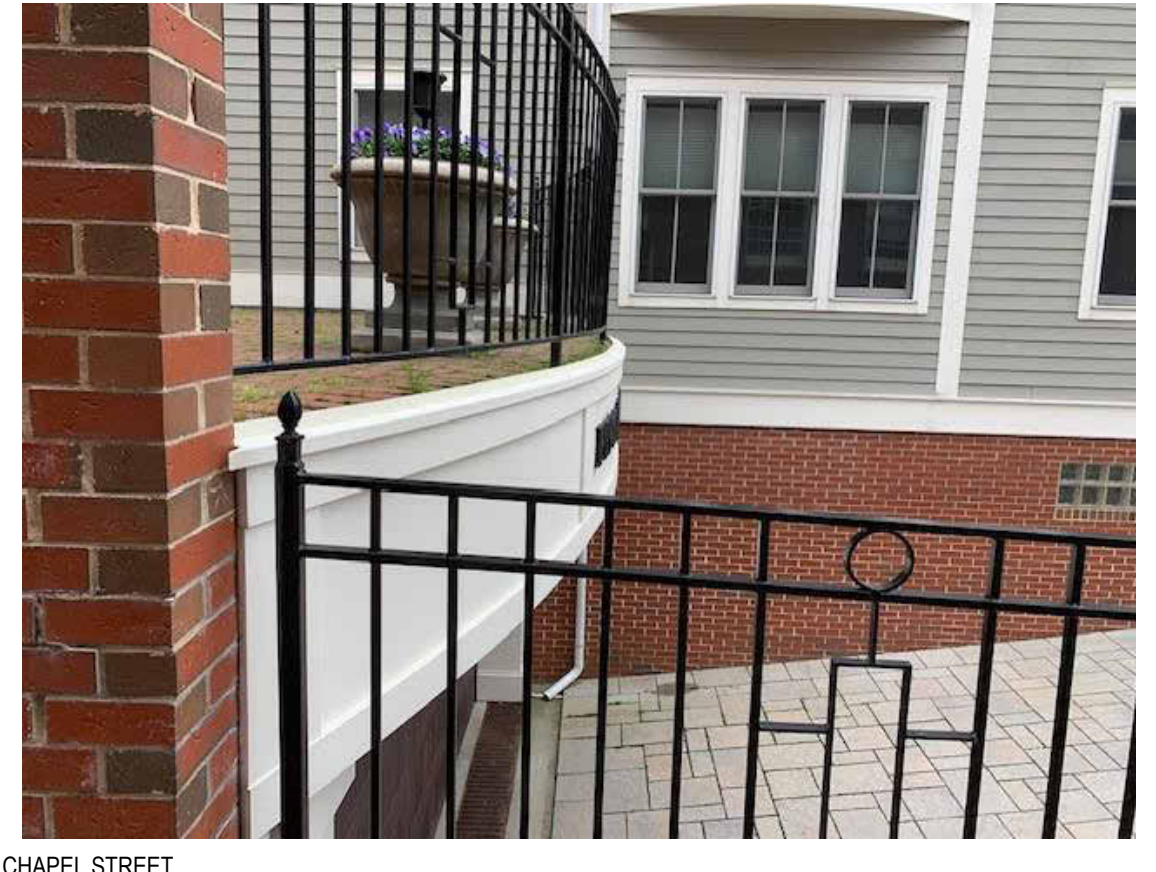
CHAPEL STREET



CHAPEL STREET



COURT STREET

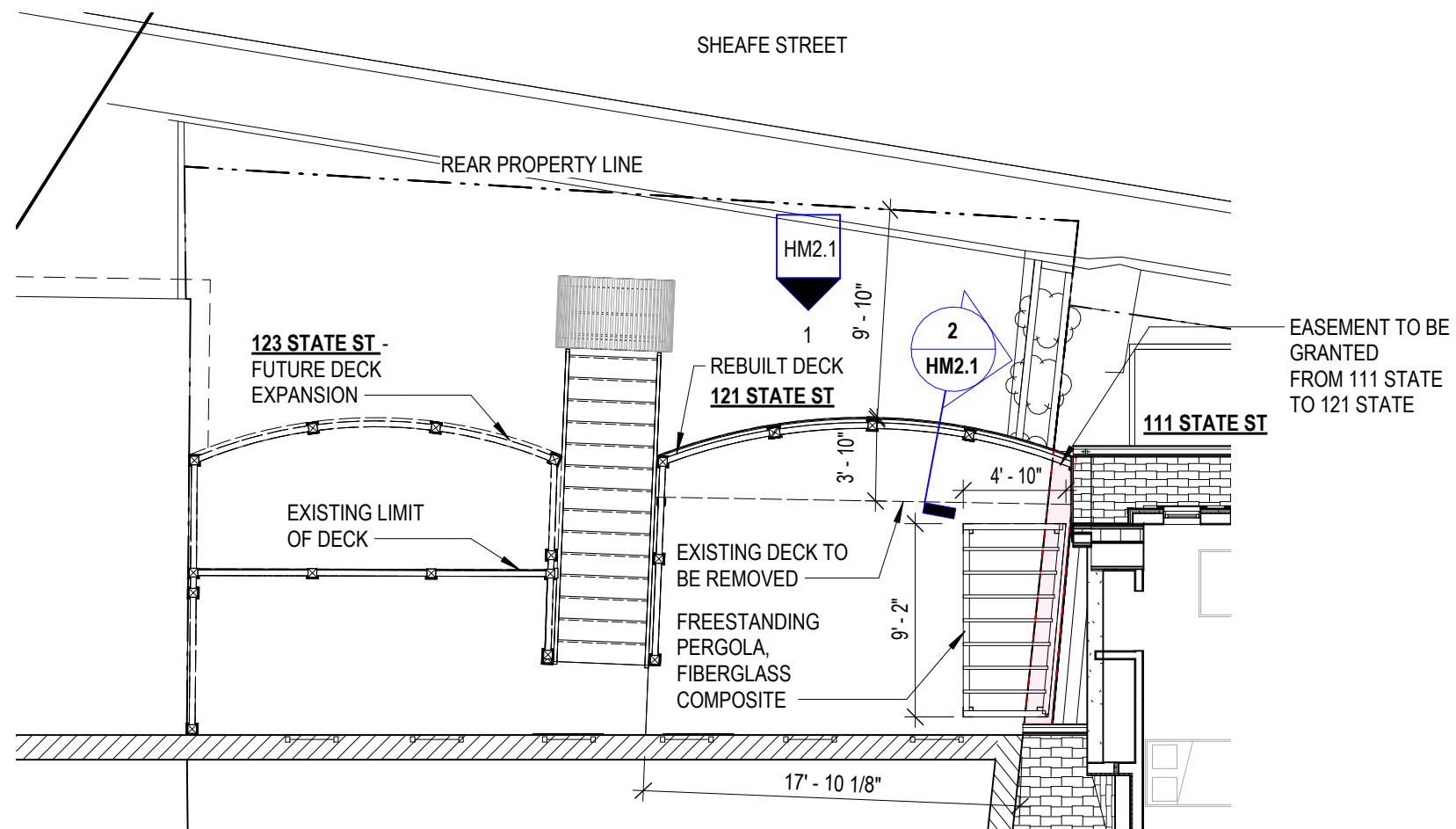


CHAPEL STREET

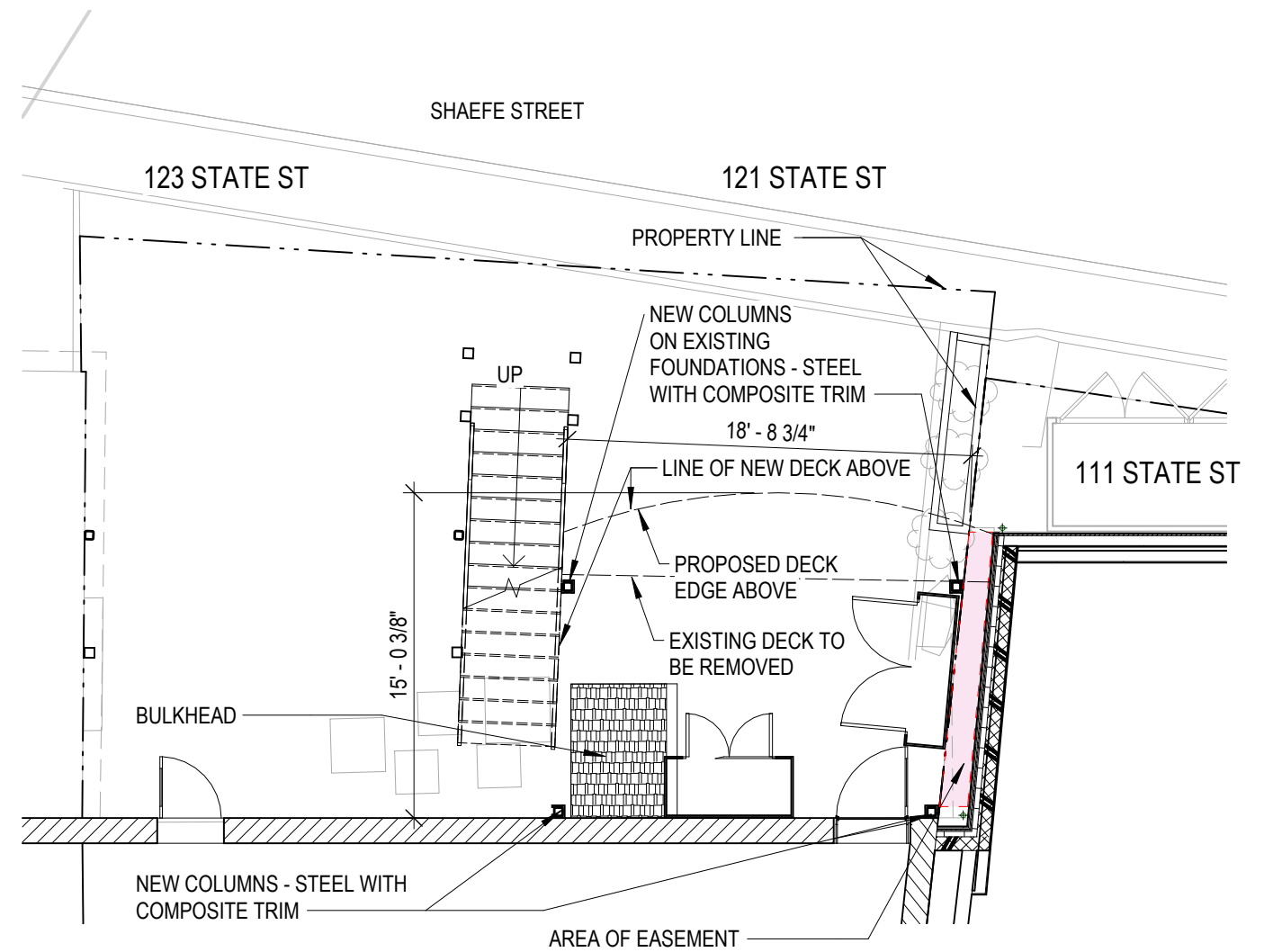
**HM0.3** **CONTEXT**  
**121 STATE STREET**

SCALE:  
05/24/2024

NOTE: FUTURE EXPANSION OF 123 STATE ST DECK IS FOR REFERENCE ONLY, AND IS NOT PART OF THIS APPLICATION FOR 121 STATE STREET DECK.



**2** ROOF PLAN AT DECK  
1/8" = 1'-0"

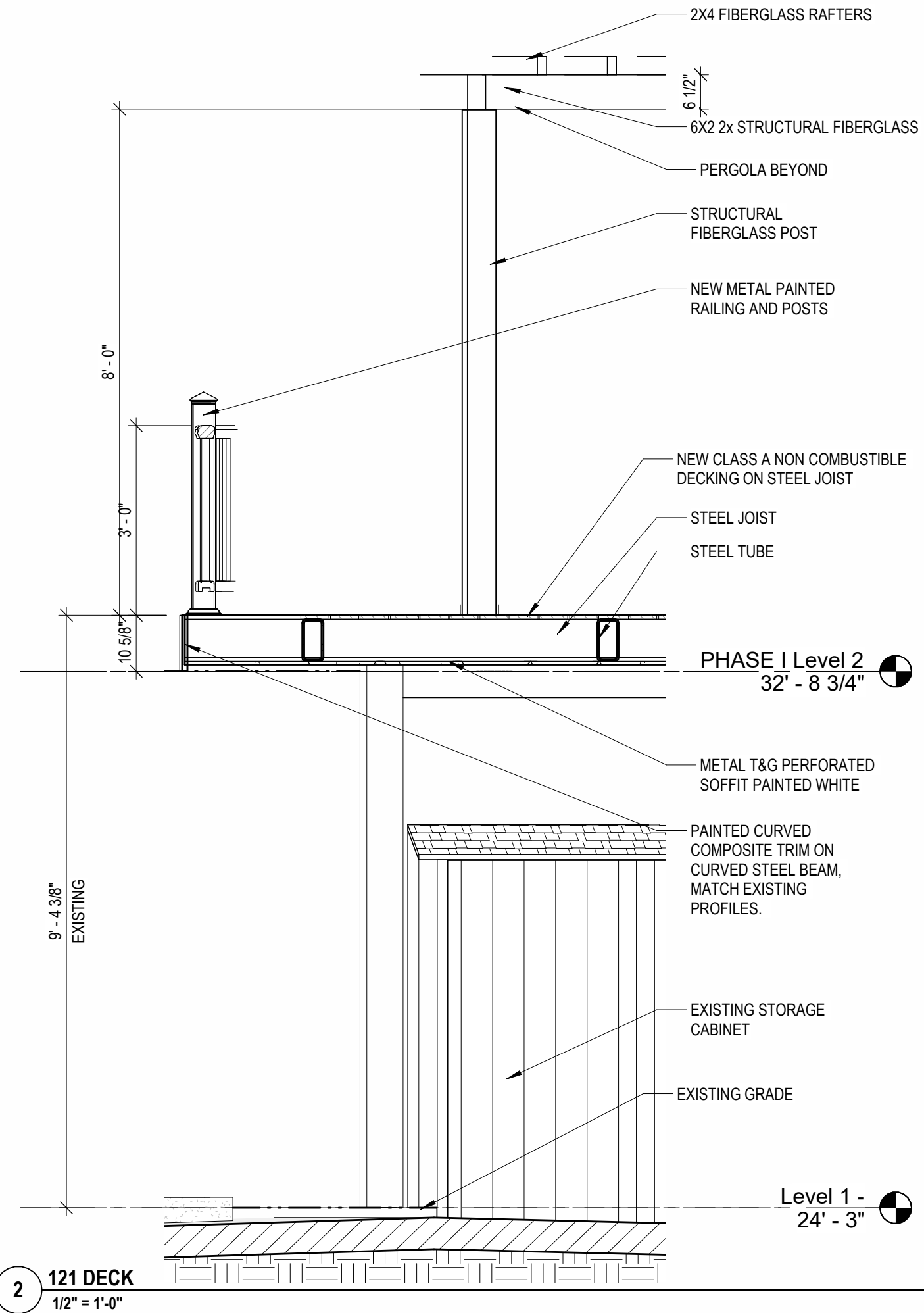


**1** FIRST FLOOR PLAN  
1/8" = 1'-0"

**HM1.1 PLANS**  
**121 STATE STREET**

SCALE: 1/8" = 1'-0"  
05/24/2024





1 NORTH - SHEAFE ST ELEVATION  
1/8" = 1'-0"

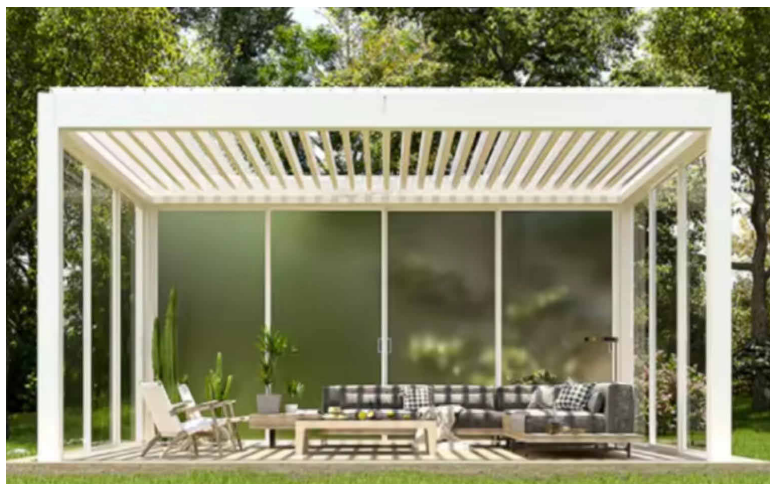
HM2.1 ELEVATION-SECTION  
121 STATE STREET

SCALE: As indicated  
05/24/2024



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**FREESTANDING PERGOLA - STRUCTURAL FIBERGLASS COMPOSITE, OWENS CORNING**



**HDPE + FIBERGLAS™**



High-Density Polyethylene

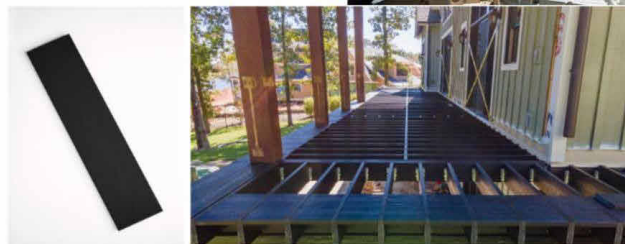


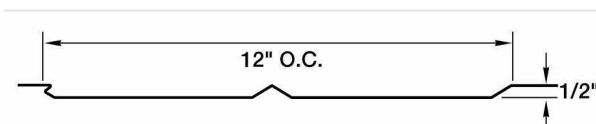
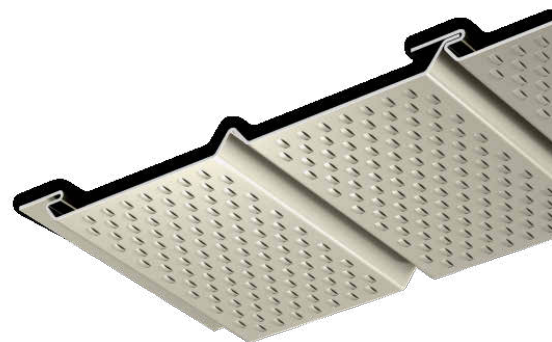
Figure 1. Owens Corning® (OC™) Lumber



**STRUCTURAL POSTS**

A high-performance composite alternative designed to enable resilient and durable structures.

**METAL SOFFIT: Painted Aluminum, PAC-CLAD PETERSEN PAC-750**



**DECKING: BAMBOO COMPOSITE, MOSO® Bamboo Lumbe**

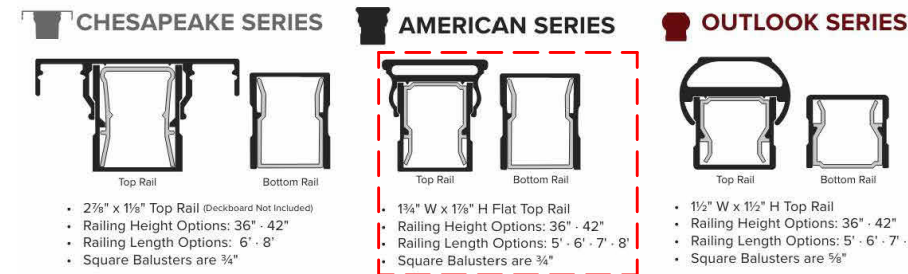


Nominal: 1 x 6  
Actual Size: 3/4\"/>



Decking Board

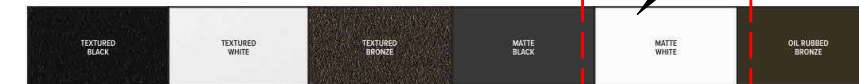
**METAL RAILING: KEY-LINK**



**INFILL OPTIONS**



**KEY-LINK'S STANDARD COLOR OPTIONS**



**KEY-LINK'S SPECIAL ORDER COLOR OPTIONS\***



**KEY-LINK'S COASTAL UPGRADE COLOR OPTIONS\***



**STANDARD PROFILES**



**CHOOSE FROM BLACK PLUS 8 COLORS**



Standard colors

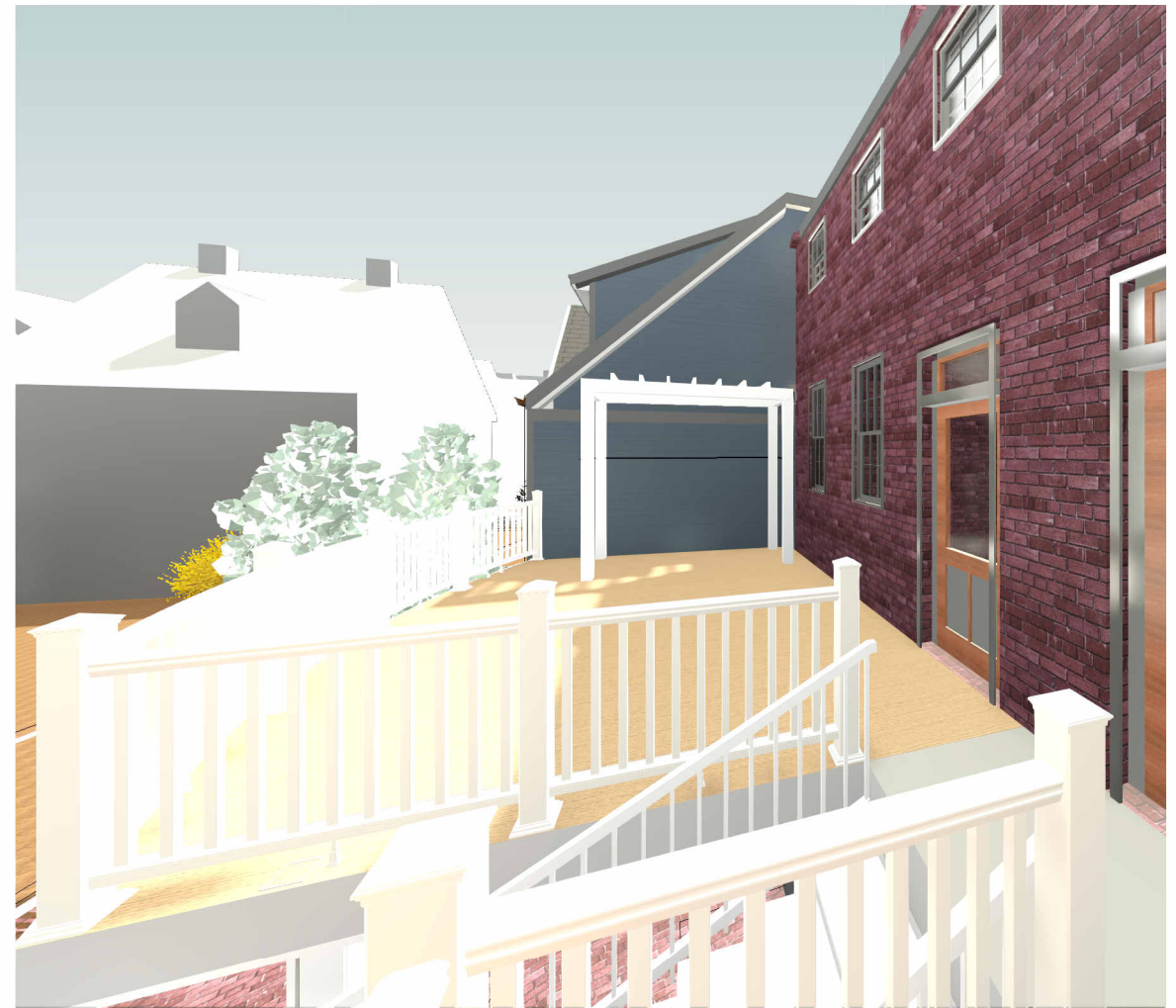
Special colors

**HM2.2 MATERIALS**  
**121 STATE STREET**

SCALE:  
05/24/2024



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**HM3.0** **VIGNETTES - PROPOSED**  
**121 STATE STREET**  
SCALE:  
05/24/2024

NOTE: FUTURE EXPANSION OF 123 STATE ST DECK IS FOR REFERENCE ONLY, AND IS NOT PART OF THIS APPLICATION FOR 121 STATE STREET DECK.



2 121 STATE DECK ACROSS SHEAFE HDC FUTURE DEVELOPMENT



1 121 STATE STREET DECK FROM SHEAFE W FUTURE DEVELOPMENT

HM3.1 VIGNETTES - FUTURE  
121 STATE STREET  
SCALE:  
05/24/2024



NOTE: FUTURE EXPANSION OF 123 STATE ST DECK IS FOR REFERENCE ONLY, AND IS NOT PART OF THIS APPLICATION FOR 121 STATE STREET DECK.



1 AXONOMETRIC, NE PROPOSED

**HM3.2** 3D AXONOMETRIC  
121 STATE STREET

SCALE:  
05/24/2024

**Project Address:** 142 State Street  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing 3



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Mixed Use
- Land Area: 10,295 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Federal/Greek Revival
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: State Street
- Unique Features: N/A
- Neighborhood Association: Downtown

**B. Proposed Work:** Remove existing failing slate roofing and replace with asphalt shingles.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Remove and replace existing slate roof with asphalt roof.



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

142 State St. Portsmouth, NH

We are seeking approval to change the roof to asphalt shingles. The building currently has badly damaged slate.







**Project Address:** 87 Market Street

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing 4



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4, Downtown Overlay
- Land Use: Mixed Use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c.1803
- Building Style: Federal
- Number of Stories: 4 facing Market Street and 6 Facing Ceres Street (rear).
- Historical Significance: Focal
- Public View of Proposed Work: Market Street and Ceres Street
- Unique Features: Built along with 75-123 Market Street just after the fire if 1802.
- Neighborhood Association: Downtown

**B. Proposed Work:** Replace existing windows and Doors with Marvin windows/doors.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replacement windows and doors.



**HISTORIC  
SURVEY  
RATING  
Focal**

**D. Purpose and Intent:**

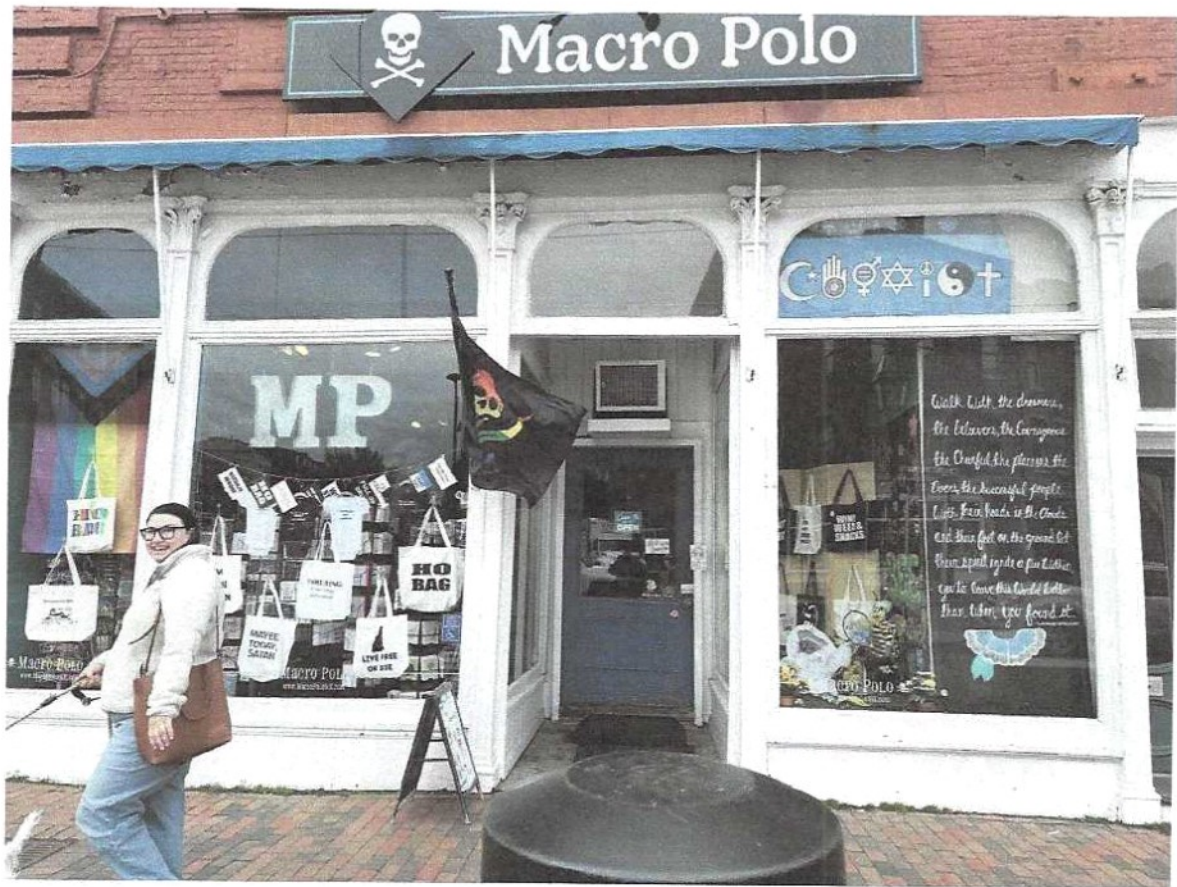
7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



























ORDERING PROCESS WITH REFERENCE TO SHOP DRAWINGS:  
 Builders ordering the Marvin Windows and Door products featured herein  
 should contact the Marvin Representative for their area to obtain the appropriate  
 approved signature of the Architect. The Architect's signature is required for the Architect's  
 stamp. If the Marvin products shown on the drawings are not to be used, the Architect  
 should be notified immediately. Marvin Windows and Door products are  
 to be approved upon drawings. Marvin Windows and Door products are  
 not to be used in any other manner without the prior written consent of Marvin.  
 Responsibility for proper shop drawings and coordination with the drawings.

REVISION:

CREATED: 05/07/2024

PK VERSION: 0004.00.01

PROVIDE: MAINE COAST BLISS BLISSMACRO ONLY MAINE COAST BLISS BLISSMACRO ONLY

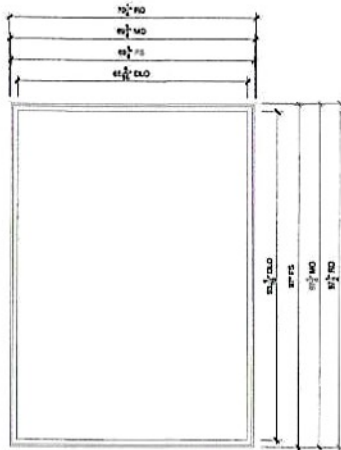
DISTRIBUTOR: ELDREDGE LUMBER & HARDWARE-YORK-00

DRAWN: H. HETTINGER-DITZEL

QUOTED: RTD00007W

SHEET  
1

OF 7

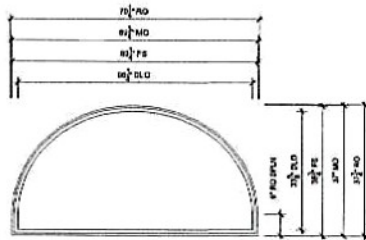


**BOW ST BLISS LOWER**  
SCALE: 3/4" = 1'-0"

① Head    ② Jamb    ③ SS

**SPECIFICATIONS**

- Line # 1
- Qty: 1
- Max Lvl: BOW ST BLISS Lower
- Product Line: Ultrama
- Jamb Description: Direct Glass Rectangle
- Range Opening: 70 1/2" X 87 1/2"
- Frame Size: 80 1/2" X 97"
- Masonry Opening: 62 3/4" X 87 1/2"
- Depth Opening: 75 1/4" X 87 1/2"
- Inside Opening: 75 1/4" X 87 1/2"
- Exterior Finish: Stone White
- Interior Finish: Stone White
- Special: None
- Ultrama Type: None
- Ultrama Color: None
- Ultrama Surround Color: None
- Screen Mesh Type: None
- Jamb Depth: 4 9/16"

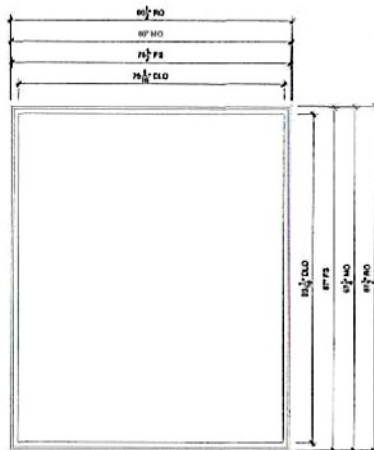


**BOW ST BLISS UPPER**  
SCALE: 3/4" = 1'-0"

① Head    ② Jamb    ③ SS

**SPECIFICATIONS**

- Line # 2
- Qty: 1
- Max Lvl: BOW ST BLISS UPPER
- Product Line: Ultrama
- Unit Description: Direct Glass Round Top
- Range Opening: 70 1/2" X 27 1/4"
- Frame Size: 80 1/2" X 36 5/8"
- Masonry Opening: 62 3/4" X 27 1/4"
- Depth Opening: 75 1/4" X 37 1/4"
- Inside Opening: 75 1/4" X 37 1/4"
- Exterior Finish: Stone White
- Interior Finish: Stone White
- Special: None
- Ultrama Type: None
- Ultrama Color: None
- Ultrama Surround Color: None
- Screen Mesh Type: None
- Jamb Depth: 4 9/16"

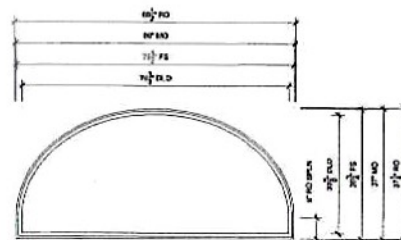


**MARKET ST BLISS FAR RT LWR**  
SCALE: 3/4" = 1'-0"

① Head    ② Jamb    ③ SS

**SPECIFICATIONS**

- Line # 3
- Qty: 1
- Max Lvl: MARKET ST BLISS FAR RT LWR
- Product Line: Ultrama
- Unit Description: Direct Glass Rectangle
- Range Opening: 87 1/2" X 87 1/2"
- Frame Size: 97 1/2" X 97"
- Masonry Opening: 80 1/2" X 87 1/2"
- Depth Opening: 95 1/2" X 87 1/2"
- Inside Opening: 80 1/2" X 87 1/2"
- Exterior Finish: Stone White
- Interior Finish: Stone White
- Special: None
- Ultrama Type: None
- Ultrama Color: None
- Ultrama Surround Color: None
- Screen Mesh Type: None
- Jamb Depth: 4 9/16"



**MARKET ST BLISS FAR RT UP**  
SCALE: 3/4" = 1'-0"

① Head    ② Jamb    ③ SS

**SPECIFICATIONS**

- Line # 4
- Qty: 1
- Max Lvl: MARKET ST BLISS FAR RT UP
- Product Line: Ultrama
- Unit Description: Direct Glass Round Top
- Range Opening: 87 1/2" X 27 1/4"
- Frame Size: 97 1/2" X 36 5/8"
- Masonry Opening: 80 1/2" X 27 1/4"
- Depth Opening: 95 1/2" X 37 1/4"
- Inside Opening: 80 1/2" X 27 1/4"
- Exterior Finish: Stone White
- Interior Finish: Stone White
- Special: None
- Ultrama Type: None
- Ultrama Color: None
- Ultrama Surround Color: None
- Screen Mesh Type: None
- Jamb Depth: 4 9/16"

ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS: Before ordering the Marvin Window and Door products (shown) within approved signature of the purchaser must be returned to the Architectural Department, Marvin Windows and Doors, P.O. Box 100, Olmsted, Massachusetts 01970. If the above information is not included in the approved shop drawings, Marvin Windows and Doors reserves the right to modify the drawings without notice. Responsibility for obtaining product information with the drawings.

REVISION:

CREATED: 05/07/2024

PK VERSION: 0034.08.01

PROJECT: MAINE COAST BLISS/MACRO ONLY / MAINE COAST BLISS/MACRO ONLY

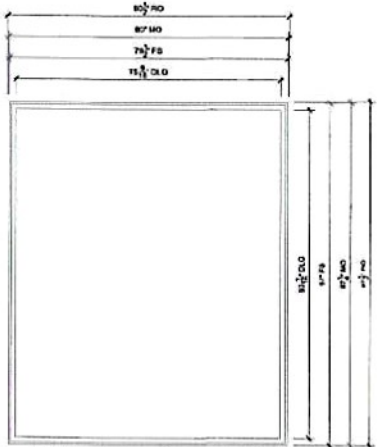
DISTRIBUTOR: ELDRIDGE LUMBER & HARDWARE, YORK, CO

DRAWN: HEATHER CITTEL

QUOTED: RTXANPW

SHEET  
2

OF 7

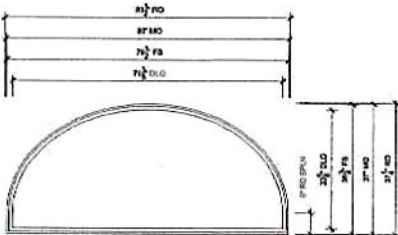


**MARKET ST BLISS LEFT OF DR LW**  
SCALE: 3/4\"/>

⊕ Head ⊕ Jamb ⊕ SB

**SPECIFICATIONS**

- Line # 3
- Qty 1
- Material: MARVET ST BLISS LEFT OF DR LW
- Product Line: Ultimate
- Unit Description: Direct Glass Rectangle
- Rough Opening: 80 1/2\"/>
- Frame Size: 78 1/2\"/>
- Manway Opening: 62\"/>
- Back Opening: 68 1/2\"/>
- Isola Opening: 68 1/2\"/>
- Exterior Finish: Stone White
- Screen: None
- Interior Finish: Painted
- Unit Type: Direct Glass Rectangle
- Call Number: None
- Glass Information: Low E2 w/Argon, Black
- Divider Type: None
- Hardware Type: None
- Screen Type: None
- Hardware Color: None
- Screen Surround Color: None
- Screen Mesh Type: None
- Jamb Depth: 4 5/8\"/>

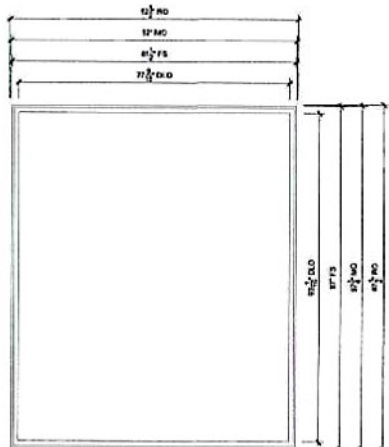


**MARKET ST BLISS LEFT DR UP**  
SCALE: 3/4\"/>

⊕ Head ⊕ Jamb ⊕ SB

**SPECIFICATIONS**

- Line # 8
- Qty 1
- Material: MARVET ST BLISS LEFT DR UP
- Product Line: Ultimate
- Unit Description: Direct Glass Round Top
- Rough Opening: 80 1/2\"/>
- Frame Size: 78 1/2\"/>
- Manway Opening: 62\"/>
- Back Opening: 60 1/2\"/>
- Isola Opening: 60 1/2\"/>
- Exterior Finish: Stone White
- Screen: None
- Interior Finish: Painted
- Unit Type: Direct Glass Round Top
- Call Number: None
- Glass Information: Low E2 w/Argon, Black
- Divider Type: None
- Hardware Type: None
- Screen Type: None
- Hardware Color: None
- Screen Surround Color: None
- Screen Mesh Type: None
- Jamb Depth: 4 5/8\"/>

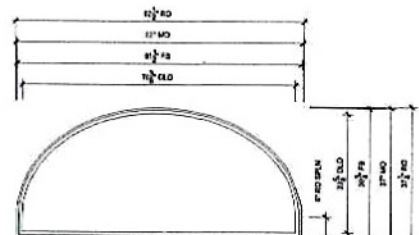


**MARKET ST MACRO FAR RT LWR**  
SCALE: 3/4\"/>

⊕ Head ⊕ Jamb ⊕ SB

**SPECIFICATIONS**

- Line # 1
- Qty 1
- Material: MARVET ST MACRO FAR RT LWR
- Product Line: Ultimate
- Unit Description: Direct Glass Rectangle
- Rough Opening: 82 1/2\"/>
- Frame Size: 81 1/2\"/>
- Manway Opening: 62\"/>
- Back Opening: 62 1/2\"/>
- Isola Opening: 62 1/2\"/>
- Exterior Finish: Stone White
- Screen: None
- Interior Finish: Painted
- Unit Type: Direct Glass Rectangle
- Call Number: None
- Glass Information: Low E2 w/Argon, Black
- Divider Type: None
- Hardware Type: None
- Screen Type: None
- Hardware Color: None
- Screen Surround Color: None
- Screen Mesh Type: None
- Jamb Depth: 4 5/8\"/>



**MARKET ST MACRO FAR RT UP**  
SCALE: 3/4\"/>

⊕ Head ⊕ Jamb ⊕ SB

**SPECIFICATIONS**

- Line # 8
- Qty 1
- Material: MARVET ST MACRO FAR RT UP
- Product Line: Ultimate
- Unit Description: Direct Glass Round Top
- Rough Opening: 82 1/2\"/>
- Frame Size: 81 1/2\"/>
- Manway Opening: 62\"/>
- Back Opening: 62 1/2\"/>
- Isola Opening: 62 1/2\"/>
- Exterior Finish: Stone White
- Screen: None
- Interior Finish: Painted
- Unit Type: Direct Glass Round Top
- Call Number: None
- Glass Information: Low E2 w/Argon, Black
- Divider Type: None
- Hardware Type: None
- Screen Type: None
- Hardware Color: None
- Screen Surround Color: None
- Screen Mesh Type: None
- Jamb Depth: 4 5/8\"/>

ORDERING PRODUCTS WITH REFERENCE TO SPEC DRAWINGS:  
 Before ordering the Marvin Windows and Door products, customer with approved signature of the Purchaser must be returned to the Architectural Department of Marvin Windows and Door, 470 Elm Street, Marlow, MA 01906. If the Marvin products shown are not available, the Architectural Department will advise the customer of the alternate products available. In the approved shop drawings, Marvin Windows and Door assumes no responsibility for guaranteeing product compatibility with the drawings.

REVISION

CREATED: 05/07/2024

PK VERSION: 0004.00.01

PROJECT: MAINE COAST BLINDS BLISSMACRO ONLY / MAINE COAST BLINDS BLISSMACRO ONLY

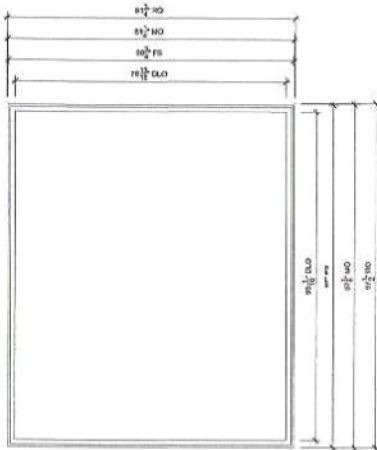
DIST/DEALER: ELURIDGE LUMBER & HARDWARE-YORK-GO

DRAWN: HEATHER DITZEL

QUOTE#: RT00049V

SHEET  
3

OF 7

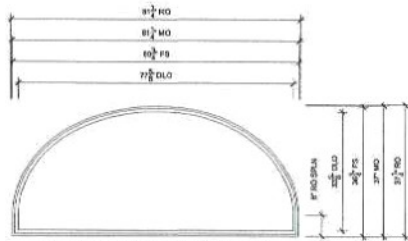


**MARKET ST MACRO LFT OF DR L**  
SCALE 3/4" = 1'-0"

⊕ Head ⊕ Jamb ⊕ Sill

**SPECIFICATIONS**

Line #: 9  
 Qty: 1  
 Mark Use: MARKET ST MACRO LFT OF DR L  
 Product Line: U950wa  
 Unit Description: Direct Glass Rectangle  
 Rough Opening: 81 1/4" X 87 1/2"  
 Frame Size: 80 3/4" X 87"  
 Masonry Opening: 81 1/4" X 87 1/4"  
 Sash Opening: 81 3/4" X 87 1/2"  
 Inside Opening: 81 3/4" X 87 1/2"  
 Exterior Finish: Stone White  
 Species: Pine  
 Interior Finish: Primed  
 Unit Type: Direct Glass Rectangle  
 Call Number: None  
 Glass Information: 03, Tempered Low E2 w/Argon, Black  
 Color Type: None  
 Hardware Type: None  
 Screen Type: None  
 Hardware Color: None  
 Screen Diamond Color: None  
 Screen Mesh Type: None  
 Jamb Depth: 4 5/16"

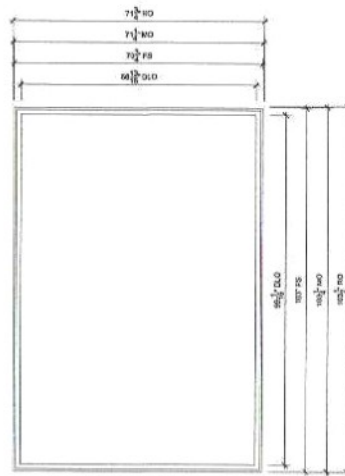


**MARKET ST MACRO LFT DR UP**  
SCALE 3/4" = 1'-0"

⊕ Head ⊕ Jamb ⊕ Sill

**SPECIFICATIONS**

Line #: 10  
 Qty: 1  
 Mark Use: MARKET ST MACRO LFT DR UP  
 Product Line: U950wa  
 Unit Description: Direct Glass Round Top  
 Rough Opening: 81 3/4" X 57 5/8"  
 Frame Size: 80 3/4" X 58 3/8"  
 Masonry Opening: 81 1/4" X 57"  
 Sash Opening: 81 3/4" X 57 1/4"  
 Inside Opening: 81 3/4" X 57 1/4"  
 Exterior Finish: Stone White  
 Species: Pine  
 Interior Finish: Primed  
 Unit Type: Direct Glass Round Top  
 Call Number: None  
 Glass Information: Low E2 w/Argon, Black  
 Color Type: None  
 Hardware Type: None  
 Screen Type: None  
 Hardware Color: None  
 Screen Diamond Color: None  
 Screen Mesh Type: None  
 Jamb Depth: 4 5/16"

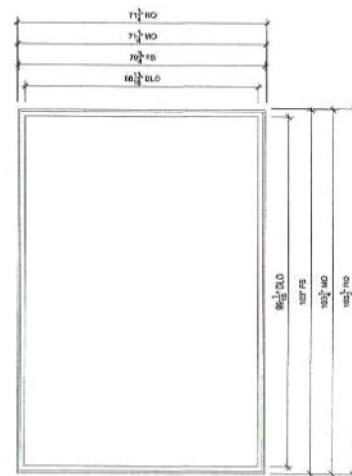


**MACRO ENTRANCE RIGHT**  
SCALE 3/4" = 1'-0"

⊕ Head ⊕ Jamb ⊕ Sill

**SPECIFICATIONS**

Line #: 11  
 Qty: 1  
 Mark Use: MACRO ENTRANCE RIGHT  
 Product Line: U950wa  
 Unit Description: Direct Glass Rectangle  
 Rough Opening: 71 5/8" X 103 1/2"  
 Frame Size: 70 3/4" X 103"  
 Masonry Opening: 71 1/4" X 103 1/4"  
 Sash Opening: 71 3/4" X 103 1/2"  
 Inside Opening: 71 3/4" X 103 1/2"  
 Exterior Finish: Stone White  
 Species: Pine  
 Interior Finish: Primed  
 Unit Type: Direct Glass Rectangle  
 Call Number: None  
 Glass Information: 03, Tempered Low E2 w/Argon, Black  
 Color Type: None  
 Hardware Type: None  
 Screen Type: None  
 Hardware Color: None  
 Screen Diamond Color: None  
 Screen Mesh Type: None  
 Jamb Depth: 4 5/16"



**MACRO ENTRANCE LEFT**  
SCALE 3/4" = 1'-0"

⊕ Head ⊕ Jamb ⊕ Sill

**SPECIFICATIONS**

Line #: 12  
 Qty: 1  
 Mark Use: MACRO ENTRANCE LEFT  
 Product Line: U950wa  
 Unit Description: Direct Glass Rectangle  
 Rough Opening: 71 3/4" X 103 1/2"  
 Frame Size: 70 3/4" X 103"  
 Masonry Opening: 71 1/4" X 103 1/4"  
 Sash Opening: 71 3/4" X 103 1/2"  
 Inside Opening: 71 3/4" X 103 1/2"  
 Exterior Finish: Stone White  
 Species: Pine  
 Interior Finish: Primed  
 Unit Type: Direct Glass Rectangle  
 Call Number: None  
 Glass Information: 03, Tempered Low E2 w/Argon, Black  
 Color Type: None  
 Hardware Type: None  
 Screen Type: None  
 Hardware Color: None  
 Screen Diamond Color: None  
 Screen Mesh Type: None  
 Jamb Depth: 4 5/16"

ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS: Before ordering the Marvin Window and Door products (shown) which are subject to change without notice, please refer to the approved drawings of the product for the most current information. The approved drawings are the final authority for the approved window drawings. Marvin Windows and Doors hereby disclaims any responsibility in guaranteeing product conformance with the drawings.

REVISION:  
CREATED: 05/27/2024

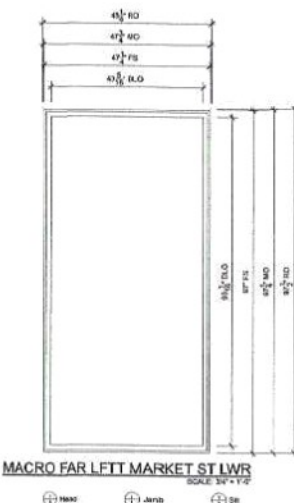
PROJECT: MAINE COAST BLISSMACRO ONLY / MAINE COAST BLISSMACRO ONLY

DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK-GO

DRAWN: HEATHER DITZEL

QUOTED: RTD000W

PK VERSION: 0004.08.01

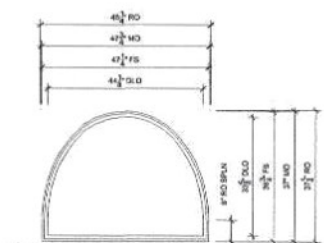


**MACRO FAR LFTT MARKET ST LWR**  
SCALE: 3/4" = 1'-0"

Head Jamb Sill

**SPECIFICATIONS**

Line # 13  
Qty: 1  
Mark Unit: MACRO FAR LFTT MARKET ST LWR  
Product Line: URBAN  
Unit Description: Direct Glass Round Top  
Rough Opening: 48 1/4" X 97 1/2"  
Frame Size: 47 1/4" X 97"  
Masonry Opening: 47 3/4" X 97"  
Sash Opening: 48 1/4" X 97 1/2"  
Interior Finish: Stone White  
Species: Pine  
Inset/Finish: Primed  
Unit Type: Direct Glass Rectangle  
Call Number: None  
Glass Information: Low E2 w/Argon, Black  
Divider Type: None  
Hardware Type: None  
Screen Surround Color: None  
Screen Mesh Type: None  
Screen Mesh Type: None  
Jamb Depth: 4 9/16"

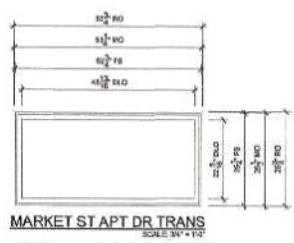


**MARKET ST MACRO FAR LFT UP**  
SCALE: 3/4" = 1'-0"

Head Jamb Sill

**SPECIFICATIONS**

Line # 14  
Qty: 1  
Mark Unit: MARKET ST MACRO FAR LFT UP  
Product Line: URBAN  
Unit Description: Direct Glass Round Top  
Rough Opening: 48 1/4" X 97 1/2"  
Frame Size: 47 1/4" X 96 3/4"  
Masonry Opening: 47 3/4" X 97"  
Sash Opening: 48 1/4" X 97 1/2"  
Interior Finish: Stone White  
Species: Pine  
Inset/Finish: Primed  
Unit Type: Direct Glass Round Top  
Call Number: None  
Glass Information: Low E2 w/Argon, Black  
Divider Type: None  
Hardware Type: None  
Screen Surround Color: None  
Screen Mesh Type: None  
Jamb Depth: 4 9/16"

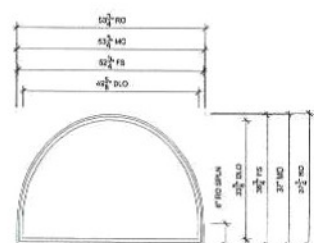


**MARKET ST APT DR TRANS**  
SCALE: 3/4" = 1'-0"

Head Jamb Sill

**SPECIFICATIONS**

Line # 15  
Qty: 1  
Mark Unit: MARKET ST APT DR TRANS  
Product Line: URBAN  
Unit Description: Direct Glass Rectangle  
Rough Opening: 53 3/4" X 28 3/4"  
Frame Size: 52 3/8" X 28 1/4"  
Masonry Opening: 51 1/2" X 28 1/2"  
Sash Opening: 53 3/4" X 28 3/4"  
Interior Opening: 52 3/4" X 28 3/4"  
Exterior Finish: Stone White  
Species: Pine  
Inset/Finish: Primed  
Unit Type: Direct Glass Rectangle  
Call Number: None  
Glass Information: IG, Low E2 w/Argon, Black  
Divider Type: None  
Hardware Type: None  
Screen Type: None  
Hardware Color: None  
Screen Surround Color: None  
Screen Mesh Type: None  
Jamb Depth: 4 9/16"

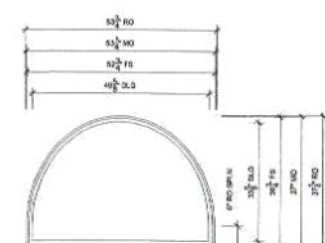


**MARKET ST APT DR RADIUS**  
SCALE: 3/4" = 1'-0"

Head Jamb Sill

**SPECIFICATIONS**

Line # 16  
Qty: 1  
Mark Unit: MARKET ST APT DR RADIUS  
Product Line: URBAN  
Unit Description: Direct Glass Round Top  
Rough Opening: 53 3/4" X 28 1/4"  
Frame Size: 52 3/8" X 28 3/4"  
Masonry Opening: 51 1/2" X 28 1/2"  
Sash Opening: 53 3/4" X 28 1/4"  
Interior Opening: 52 3/4" X 28 1/4"  
Exterior Finish: Stone White  
Species: Pine  
Inset/Finish: Primed  
Unit Type: Direct Glass Round Top  
Call Number: None  
Glass Information: Low E2 w/Argon, Black  
Divider Type: None  
Hardware Type: None  
Screen Surround Color: None  
Screen Mesh Type: None  
Screen Mesh Type: None  
Jamb Depth: 4 9/16"



**MARKET ST MACRO DR RADIUS**  
SCALE: 3/4" = 1'-0"

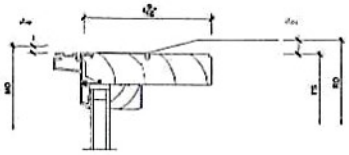
Head Jamb Sill

**SPECIFICATIONS**

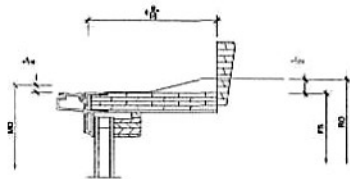
Line # 17  
Qty: 1  
Mark Unit: MARKET ST MACRO DR RADIUS  
Product Line: URBAN  
Unit Description: Direct Glass Round Top  
Rough Opening: 53 3/4" X 28 1/4"  
Frame Size: 52 3/8" X 28 3/4"  
Masonry Opening: 51 1/2" X 28 1/2"  
Sash Opening: 53 3/4" X 28 1/4"  
Interior Opening: 52 3/4" X 28 1/4"  
Exterior Finish: Stone White  
Species: Pine  
Inset/Finish: Primed  
Unit Type: Direct Glass Round Top  
Call Number: None  
Glass Information: Low E2 w/Argon, Black  
Divider Type: None  
Hardware Type: None  
Screen Surround Color: None  
Screen Mesh Type: None  
Screen Mesh Type: None  
Jamb Depth: 4 9/16"



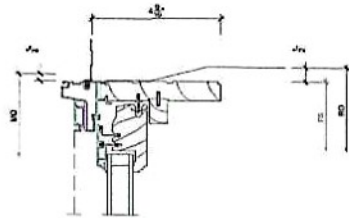




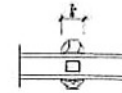
1 Head SCALE: 8" = 1'-0"



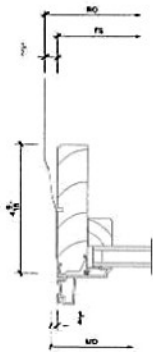
4 Head SCALE: 8" = 1'-0"



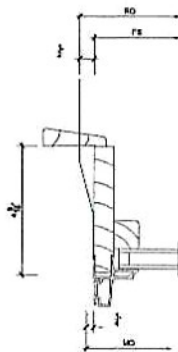
7 Head SCALE: 8" = 1'-0"



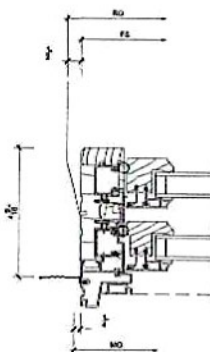
10 Divided Life SCALE: 8" = 1'-0"



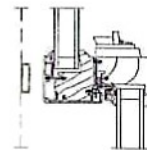
2 Jamb SCALE: 8" = 1'-0"



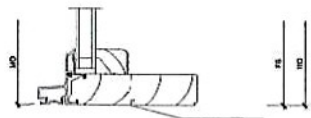
5 Jamb SCALE: 8" = 1'-0"



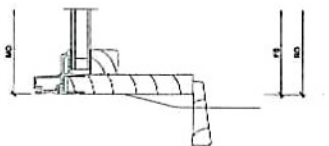
8 Jamb SCALE: 8" = 1'-0"



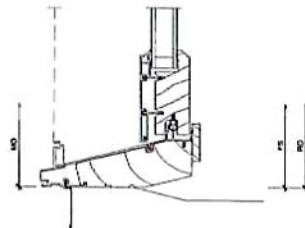
11 Checkrail SCALE: 8" = 1'-0"



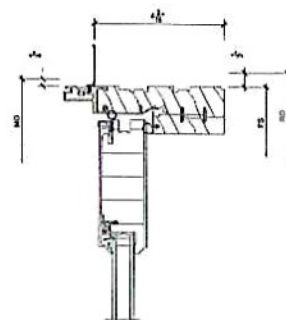
3 Sill SCALE: 8" = 1'-0"



6 Sill SCALE: 8" = 1'-0"



9 Sill SCALE: 8" = 1'-0"



12 Head SCALE: 8" = 1'-0"

**MARVIN**

DESIGNED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARD FOR ALUMINUM WINDOW AND DOOR PROFILES (ANSI A135.1-2011). ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED. MARVIN PRODUCTS ARE MADE IN THE UNITED STATES OF AMERICA. MARVIN PRODUCTS ARE NOT TO BE USED IN APPLICATIONS WHERE THE PRODUCT IS NOT DESIGNED TO BE USED. MARVIN PRODUCTS ARE NOT TO BE USED IN APPLICATIONS WHERE THE PRODUCT IS NOT DESIGNED TO BE USED. MARVIN PRODUCTS ARE NOT TO BE USED IN APPLICATIONS WHERE THE PRODUCT IS NOT DESIGNED TO BE USED.

PRODUCE: MAINE COAST BLINDS BLISSMACRO ONLY / MAINE COAST BLINDS BLISSMACRO ONLY

DISTROFALER: ELDERSCHE LUMBER & HARDWARE / DRIFCO

DRUMM / HEATHER DITZEL

QUOTES: RTW/VFW

PKL VERSION: 0304.08.01

CREATED: 05/07/2024

REVISION:

SHEET  
6  
OF 7



ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:  
 Before ordering the Marvin Windows and other products shown herein,  
 the purchaser should refer to the product literature for the most current  
 approved schedule of the products and be advised that the actual  
 appearance of the products may vary from the appearance shown in  
 the drawings. The drawings are for informational purposes only and do not  
 constitute a contract. The drawings are subject to change without notice  
 and without liability to Marvin Windows and other products shown herein.  
 It is the purchaser's responsibility to verify the accuracy of the information  
 in the approved shop drawings. Marvin Windows and other products shown  
 herein are subject to change without notice and without liability to  
 the manufacturer.

REVISION:

CREATED: 06/07/2024

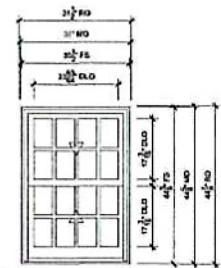
PKVRSOON.0004.08.01

PROJECT: MAINE COAST BLINDS DOOR/SHUTTERS / MAINE COAST BLINDS DOOR/SHUTTERS

DISTRIBUTOR: ELDREDGE LUMBER & HARDWARE-YORK-GO

QUOTES.DORRANS

SHEET  
1  
OF 6

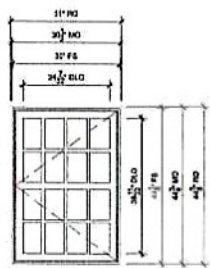


**APT 1 ABOVE SINK CERES**  
SCALE: 3/4\"/>

- ① Head
- ② Sill
- ③ Casement
- ④ Jamb
- ⑤ Double Lite

**SPECIFICATIONS**

Line # 1  
 Qty: 1  
 Mark Line: APT 1 ABOVE SINK CERES  
 Product Line: Ultimate  
 Unit Description: Double Hung G2  
 Rough Opening: 31 1/2\"/>

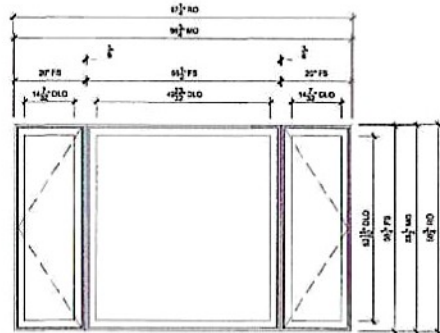


**APT 1 BEDS 1/2 EGRESS MARKET**  
SCALE: 3/4\"/>

- ① Head
- ② Sill
- ③ Single Lite
- ④ Jamb
- ⑤ Double Lite

**SPECIFICATIONS**

Line # 2  
 Qty: 2  
 Mark Line: APT 1 BEDS 1/2 EGRESS MARKET  
 Product Line: Ultimate  
 Unit Description: Casement  
 Rough Opening: 31\"/>

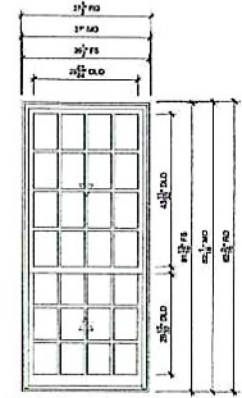


**APT 1 LIV RM CERES**  
SCALE: 3/4\"/>

- ① Head
- ② Sill
- ③ Jamb
- ④ Vertical Muntin
- ⑤ S3

**SPECIFICATIONS**

Line # 3  
 Qty: 1  
 Mark Line: APT 1 LIV RM CERES  
 Product Line: Ultimate  
 Unit Description: Inset Assembly  
 Rough Opening: 61 1/2\"/>



**APT 2 KITCHEN BOW**  
SCALE: 3/4\"/>

- ① Head
- ② Sill
- ③ Casement
- ④ Jamb
- ⑤ Double Lite

**SPECIFICATIONS**

Line # 4  
 Qty: 1  
 Mark Line: APT 2 KITCHEN BOW  
 Product Line: Ultimate  
 Unit Description: Double Hung G2  
 Rough Opening: 31 1/2\"/>

PROJECT: MAINE COAST BLINDS DOOR/SHUTTERS / MAINE COAST BLINDS DOOR/SHUTTERS  
 DISTRIBUTOR: ELDREDGE LUMBER & HARDWARE-YORK-GO  
 QUOTES.DORRANS  
 SHEET 1 OF 6









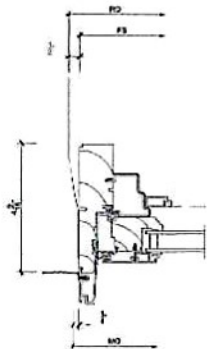
ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:  
 Before ordering the Marvin Windows and other products depicted herein,  
 please contact the nearest Marvin office for a complete list of the available  
 options and accessories. The information provided herein is intended to assist  
 you in the selection of the appropriate product. Marvin Windows and Doors assumes no  
 responsibility for guaranteeing product performance with the drawings.

REVISIONS

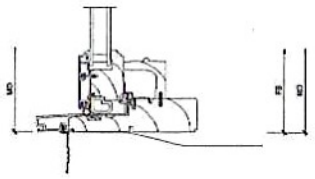
CREATED: 05/07/2024

PK VERSION: 0001.00.01

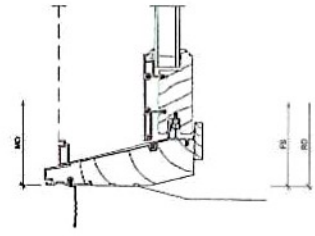
PROJECT: MAINE COAST BLINDS DOPUR/APTS / MAINE COAST BLINDS DOPUR/APTS  
 DIST/DEALER: ELDERIDGE LUMBER & HARDWARE - YORK-GO  
 DRAWN: HEATHER DITZEL  
 QUOTES: DGT/THVS



1  
 1  
**Jamb** SCALE: 8" = 1'-0"

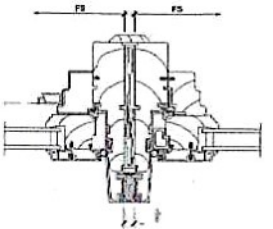


1  
 1  
**Sill** SCALE: 8" = 1'-0"

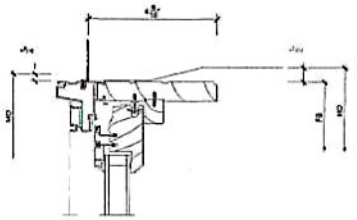


1  
 1  
**Sill** SCALE: 8" = 1'-0"

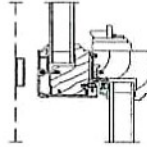
10  
 6  
**NOT USED** SCALE: 8" = 1'-0"



1  
 1  
**Vertical Mullion** SCALE: 8" = 1'-0"

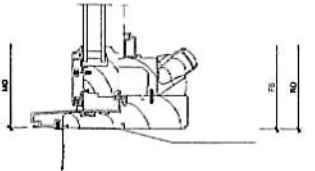


1  
 1  
**Head** SCALE: 8" = 1'-0"

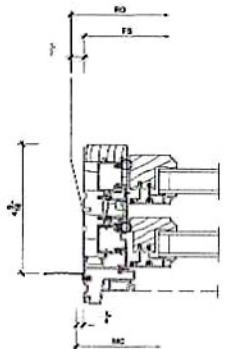


1  
 1  
**Checkrail** SCALE: 8" = 1'-0"

11  
 1  
**NOT USED** SCALE: 8" = 1'-0"



1  
 1  
**Sill** SCALE: 8" = 1'-0"



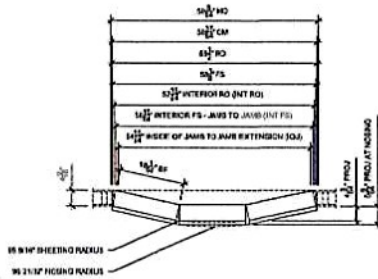
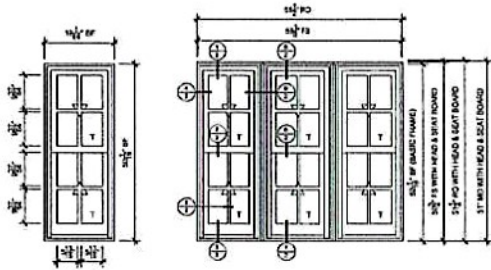
1  
 1  
**Jamb** SCALE: 8" = 1'-0"

12  
 6  
**NOT USED** SCALE: 8" = 1'-0"

13  
 6  
**NOT USED** SCALE: 8" = 1'-0"



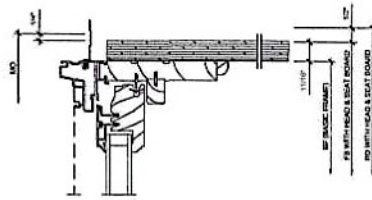




**BOW ST NEXT UP**

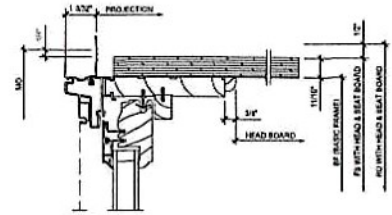
SCALE: 3/4" = 1'-0"

- Qty: 1
- Profile Line Ultimate
- Slant VP/2x Chd E metal
- Profile Bezier Front - 1/8" Dia - Plus Bezier
- Unit Description: Assembly 3011H - Bow
- Unit Type Double Hung C/L
- Profile and Seal Board
- Call Number: None
- Class Information: IS, Tangent Line Ed at Angles, Blak
- Chamber Type: 100" Acrylonitrile But, 1/4" Spacer - Black
- Open Interior Chgng Profile
- Window Interior Strip Package
- Window Exterior Strip Package
- Call Placement: Screen Seal
- Call Placement: Screen Seal
- 1 For Unit Call Placement Screen Seal
- Screen Type: Aluminum Screen
- Slant VP/2x Bezier
- Height View: None
- Jamb Depth: 4 1/2"
- All Hanging Pin with Lower Installation Bracket
- 9 Feet Cask Support



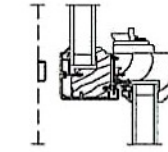
① Head

SCALE: 6" = 1'-0"



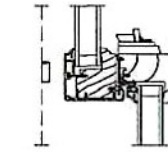
① Head

SCALE: 6" = 1'-0"



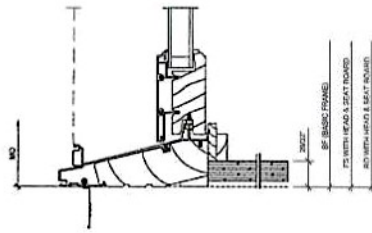
② Checkrail

SCALE: 6" = 1'-0"



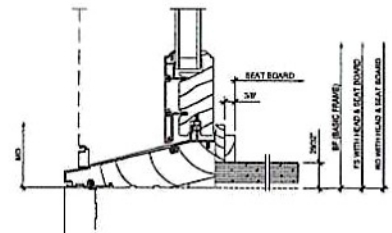
② Checkrail

SCALE: 6" = 1'-0"



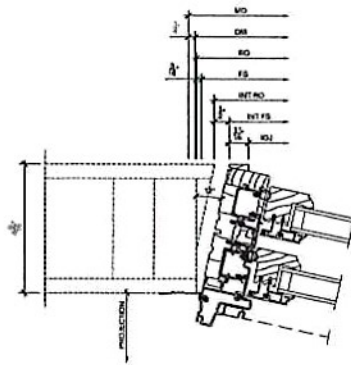
① Sill

SCALE: 6" = 1'-0"



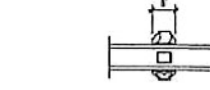
① Sill

SCALE: 6" = 1'-0"



① Jamb

SCALE: 6" = 1'-0"



① Divided Lite

SCALE: 6" = 1'-0"



① Vertical Mullion

SCALE: 6" = 1'-0"



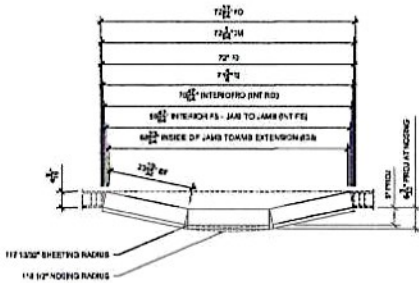
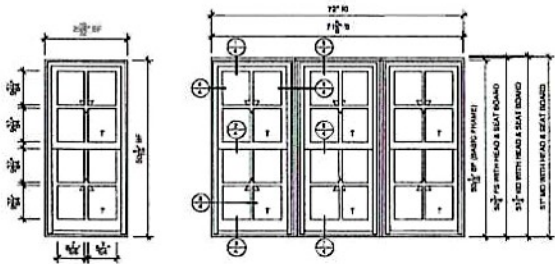
ORDERING: PROCEED WITH REFERENCE TO SHOP DRAWINGS. Review existing drawings for dimensions and clearances. Obtain approval of any changes to the drawings from the architect. If the drawings include a revision, the drawings shall be in accordance with the latest revision. If the drawings include a revision, the drawings shall be in accordance with the latest revision. If the drawings include a revision, the drawings shall be in accordance with the latest revision.

MCB DOLPHIN  
BOW WINDOWS ONLY

DISTRIBUTOR: MARVIN  
DEALER: ELIZABETH LUB & LUDWIG - PORTSMOUTH  
CONTRACTOR:  
ARCHITECT:  
DRAWING NO: 710001 (B)dwg  
DATE: 05/20/24  
DRAWN BY: RSW  
REVISION DATE:

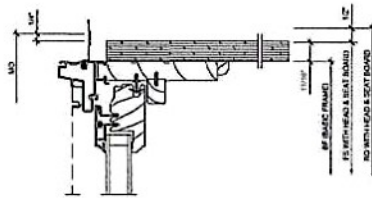
SHEET  
2  
OF 4



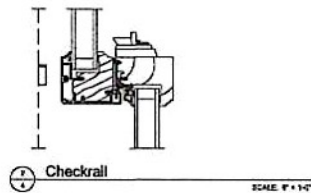


**BOW ST TOP HILLMRKT ST END**  
SCALE: 3/4" = 1'-0"

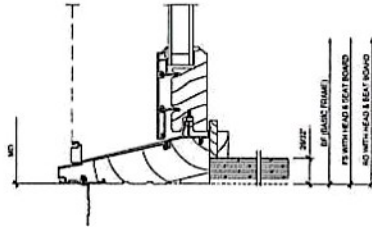
- Qty: 1  
 Pocket Liner - 1/8" brass  
 Stone White Chalk Emitter  
 Painted Corner Fastener - White - Free Inset  
 LHD Chime/Alarm Assembly 3W/14 - Box  
 LHD Type Double Hung 6/2  
 Free Head and Seat Board  
 Call Number None  
 Glass Information: IG, Tropic/Low E, Argon, Black  
 Double Type: 78" Rucker/Star 8DL V6 Spacer - Black  
 Open Interior Glazing Profile  
 White Spacer Effective Strip Package  
 White Entrance Weather Strip Package  
 GE/Johnson Bronze Strip - Lined  
 GE/Johnson Bronze Top Sash Sill/PA Assembly Color  
 1 Pin Latch Old Hardware Bronze Sash Latch  
 Screen Type: Aluminum Screen  
 Stone White Surround  
 Right View Match  
 Sash Depth: 6 5/8"  
 All Sizing For work done installed on Disk  
 © 2004 Marvin Windows



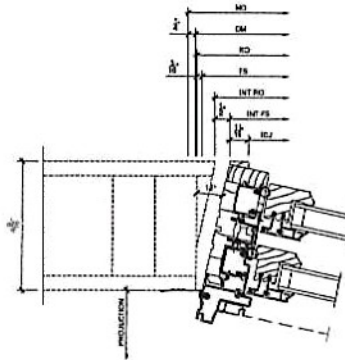
1 Head SCALE: 3/4" = 1'-0"



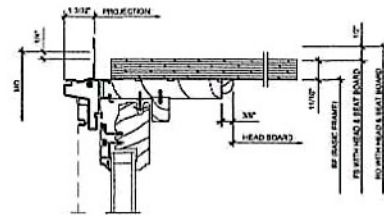
2 Checkrail SCALE: 3/4" = 1'-0"



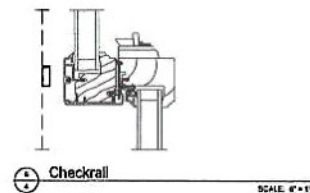
3 Sill SCALE: 3/4" = 1'-0"



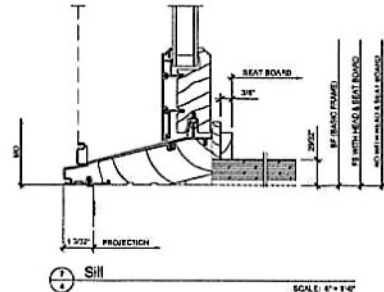
4 Jamb SCALE: 3/4" = 1'-0"



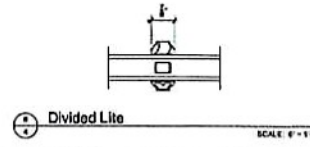
1 Head SCALE: 3/4" = 1'-0"



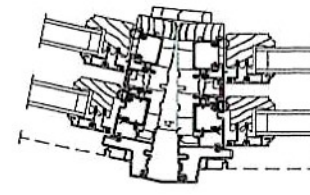
2 Checkrail SCALE: 3/4" = 1'-0"



3 Sill SCALE: 3/4" = 1'-0"



4 Divided Lite SCALE: 3/4" = 1'-0"



5 Vertical Mullion SCALE: 3/4" = 1'-0"



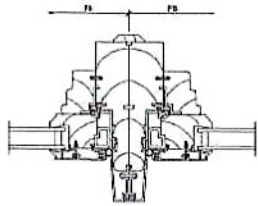
ORDERING PRODUCTS WITH REFERENCE TO THIS DRAWING: Before ordering the Marvin Windows and other products mentioned herein, please contact your local Marvin representative for the most current and accurate information. The information provided herein is for informational purposes only. It is not intended to constitute an offer of any product. The information provided herein is for informational purposes only. It is not intended to constitute an offer of any product. The information provided herein is for informational purposes only. It is not intended to constitute an offer of any product.

MCB DOLPHIN  
BOW WINDOWS ONLY

DISTRIBUTOR: MARVIN  
 DEALER: ELDERIDGE LJR & HOME - PORTSOUTH  
 CONTRACTOR:  
 ARCHITECT:  
 DRAWING NO: 7W02218.dwg DRAWN BY: RML  
 DATE: 05/08/24 REVISION DATE:







1  
1 Vertical Mullion SCALE: 6" = 1'-0"

4  
3 NOT USED SCALE: 6" = 1'-0"

7  
3 NOT USED SCALE: 6" = 1'-0"

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3 NOT USED SCALE: 6" = 1'-0"

12  
1 NOT USED SCALE: 6" = 1'-0"



ORDERING AND INSTALLATION INSTRUCTIONS TO BE OBSERVED.  
 Before ordering the Marvin Window and Door products, consult with your architect or interior designer for the appropriate Marvin product and hardware. For more information, contact Marvin at 1-800-445-4639 or visit our website at www.marvin.com. Marvin Window and Door products are made in the USA. Marvin Window and Door products are made in the USA. Marvin Window and Door products are made in the USA.

PROJECT: MAINE COAST BLDGS DOPLIN STRIKER RESTA / MAINE COAST BLDGS DOPLIN RESTAURANT

DIST/DEALER: ELDREDGE LUMBER & HARDWARE-YORK-00

DRAWN: HEATHER DITZEL

QUOTE#: 23E195E

PK: VESCON 0004 08 01

CREATED: 05/07/2024

REV: 0000

SHEET  
3  
OF 3

**Project Address:** 377 Maplewood Avenue

**Permit Requested:** Work Session

**Application:** Work Session A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: GRA
- Land Use: Residential
- Land Area: 4,766 SF +/-
- Estimated Age of Structure: c.1960's est.
- Building Style: Modern Cape
- Number of Stories: 3
- Historical Significance: Non-Contributing
- Public View of Proposed Work: Maplewood Avenue
- Unique Features: N/A
- Neighborhood Association: West End



**B. Proposed Work:** Demolition of the existing rear structure on the property and rebuild a new detached accessory dwelling unit.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Demolition of existing rear structure; rebuild a new detached dwelling unit.
- This project will also need a Conditional Use Permit and Board of Adjustment approvals from the Planning Department.



**HISTORIC  
SURVEY  
RATING  
NC**

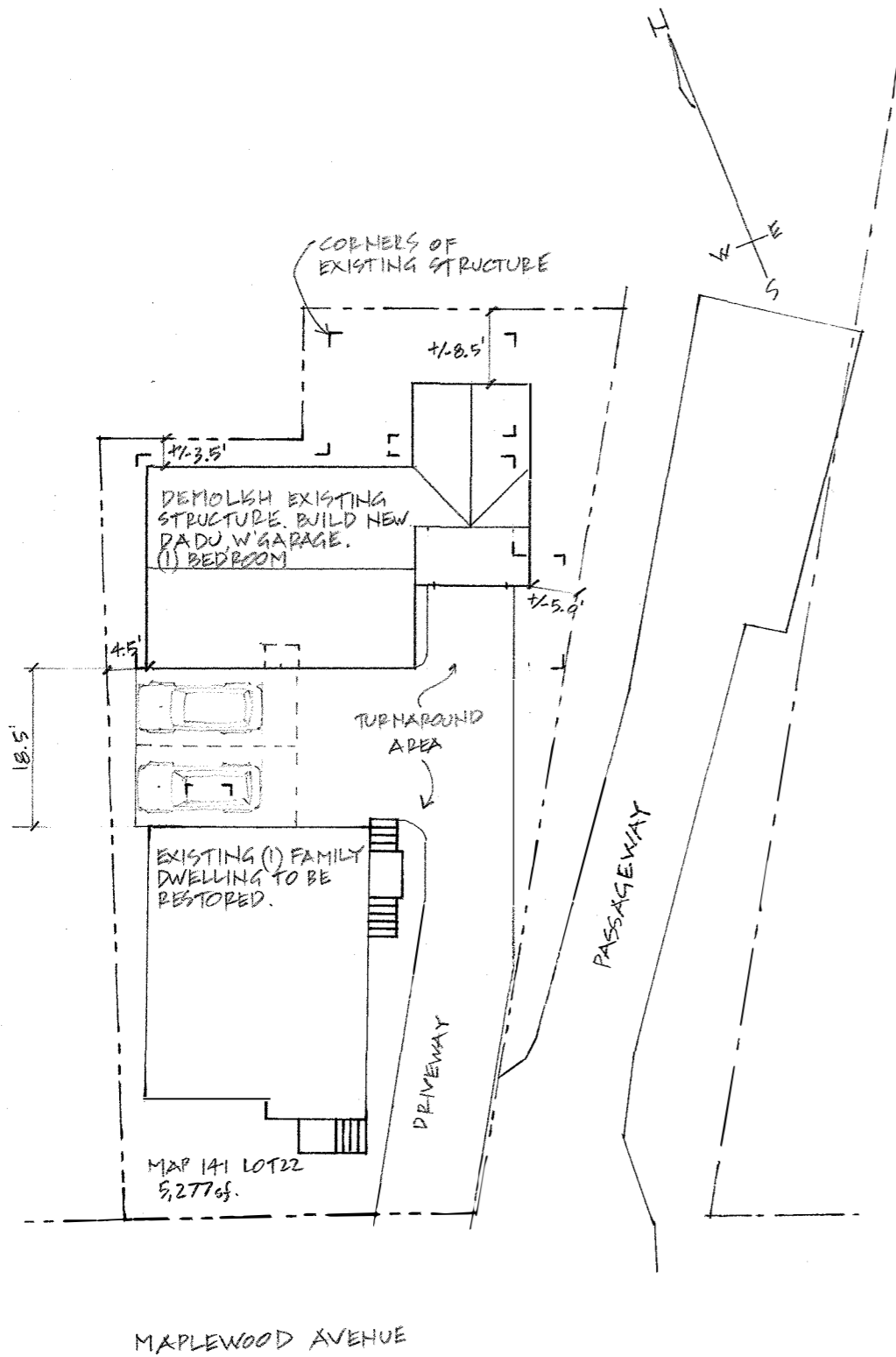


**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



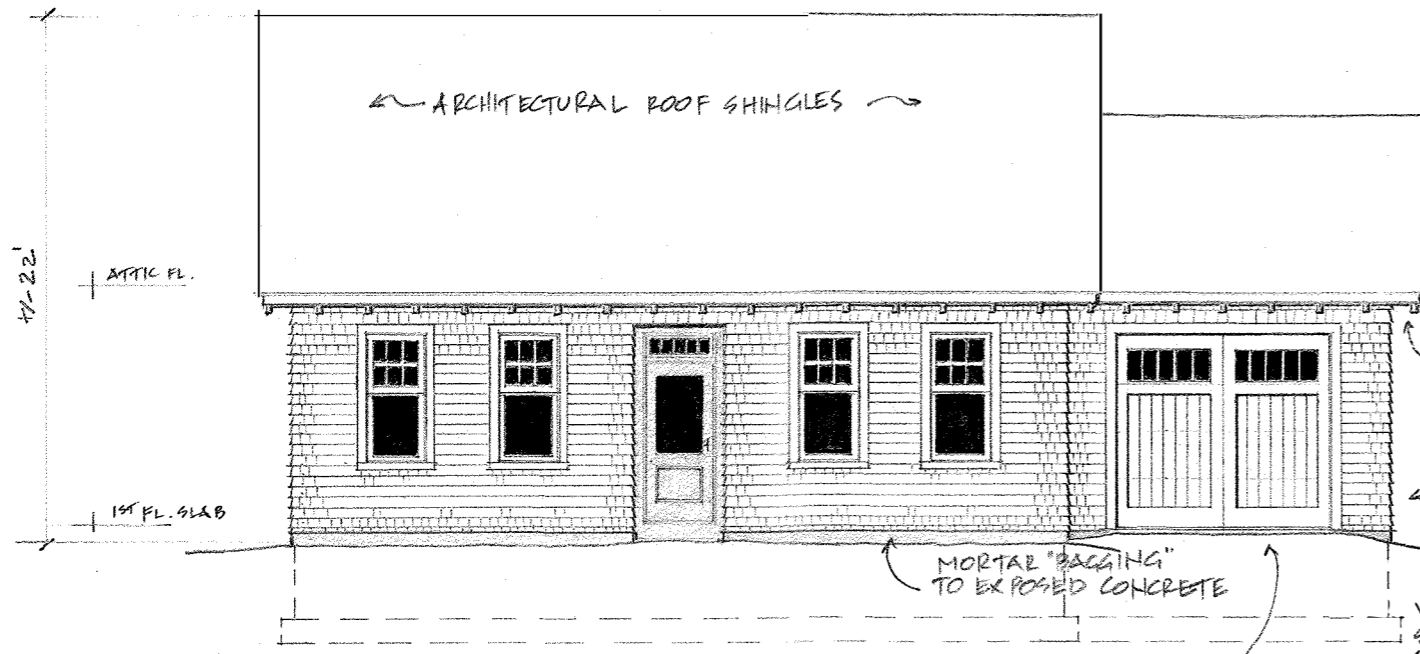
PROPOSED SITE PLAN 1"=20'



NEW ADU AT REAR TITLE: PROPOSED SITE PLAN & EXISTING PHOTOGRAPH  
 OF 377 MAPLEWOOD AVE., SCALE: 1"=20'  
 PORTSMOUTH, NH. DATE: 4.22.2024  
 PAGE XI.

**Brendan McNamara**  
 RESIDENTIAL ARCHITECTURE

603 682 1105 brenmcnamara@comcast.net



SOUTH (FRONT) ELEVATION

TYPICAL ANDERSEN 'A' SERIES, ALL WOOD WINDOWS & DOORS W/ 5/4x4 CASING & 2" HISTORIC SILLS



EAST (RIGHT) ELEVATION

TITLE: PROPOSED SOUTH & EAST ELEVATIONS

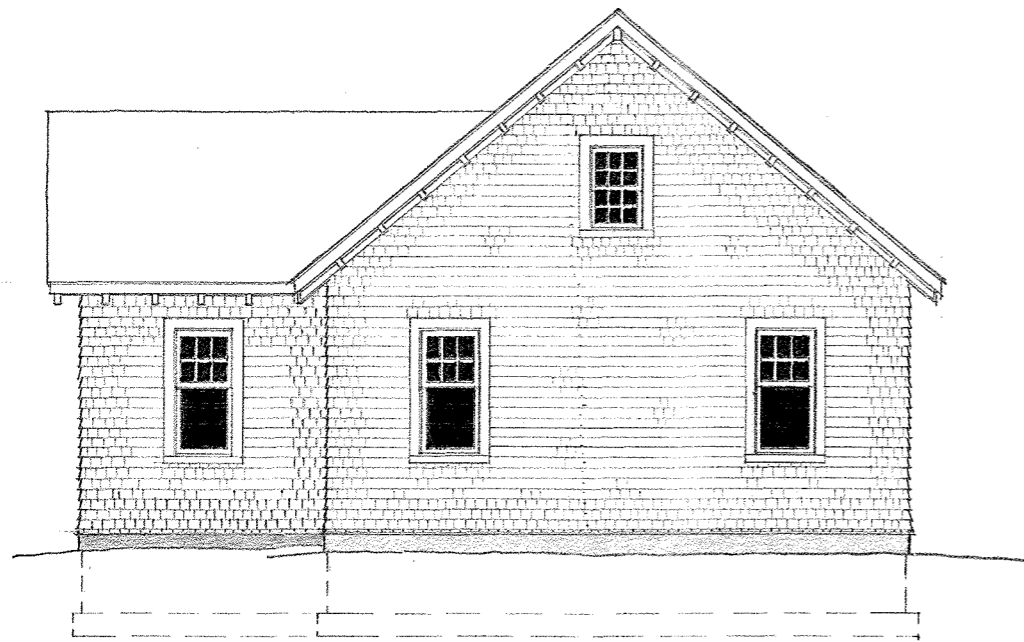
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OF 377 MAPLEWOOD AVE.,

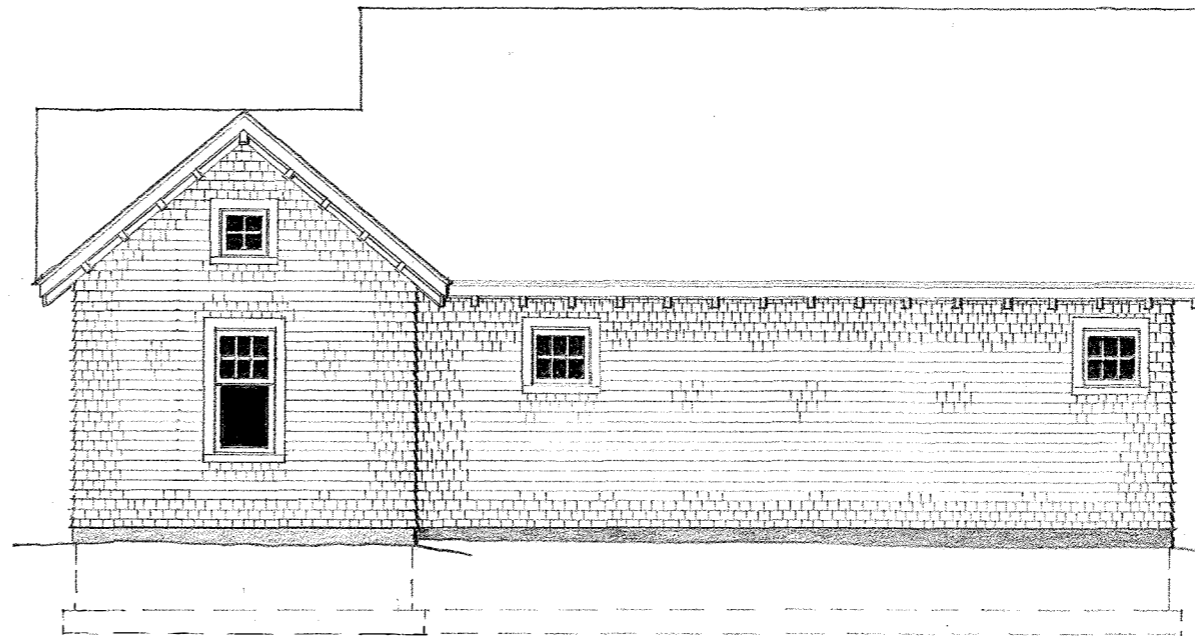
PORTSMOUTH, NH

DATE: 4.22.2024

**Brendan McNamara**  
RESIDENTIAL ARCHITECTURE



WEST (LEFT) ELEVATION



NORTH (REAR) ELEVATION

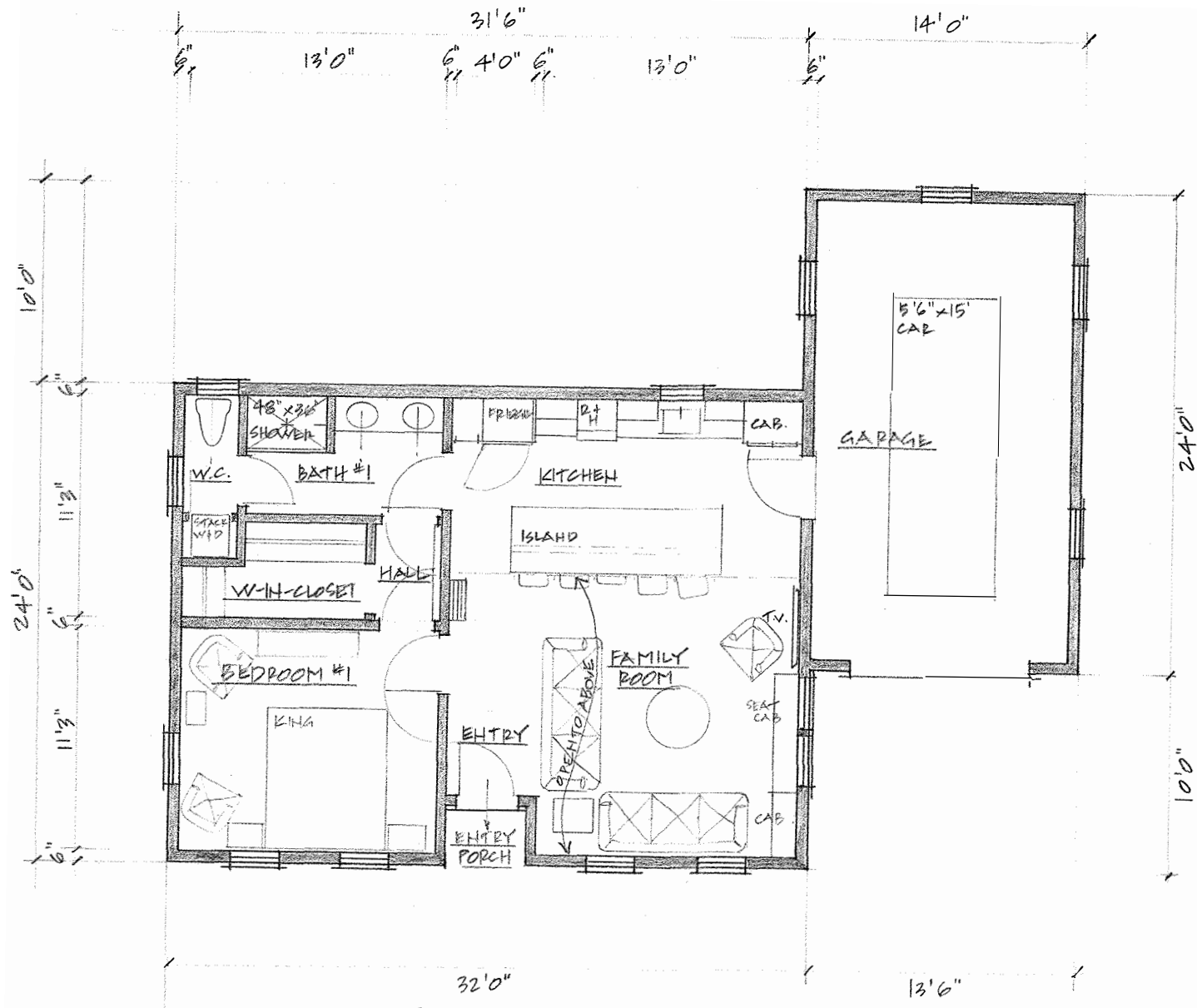
TITLE: PROPOSED WEST + NORTH ELEVATIONS

NEW ADU AT REAR

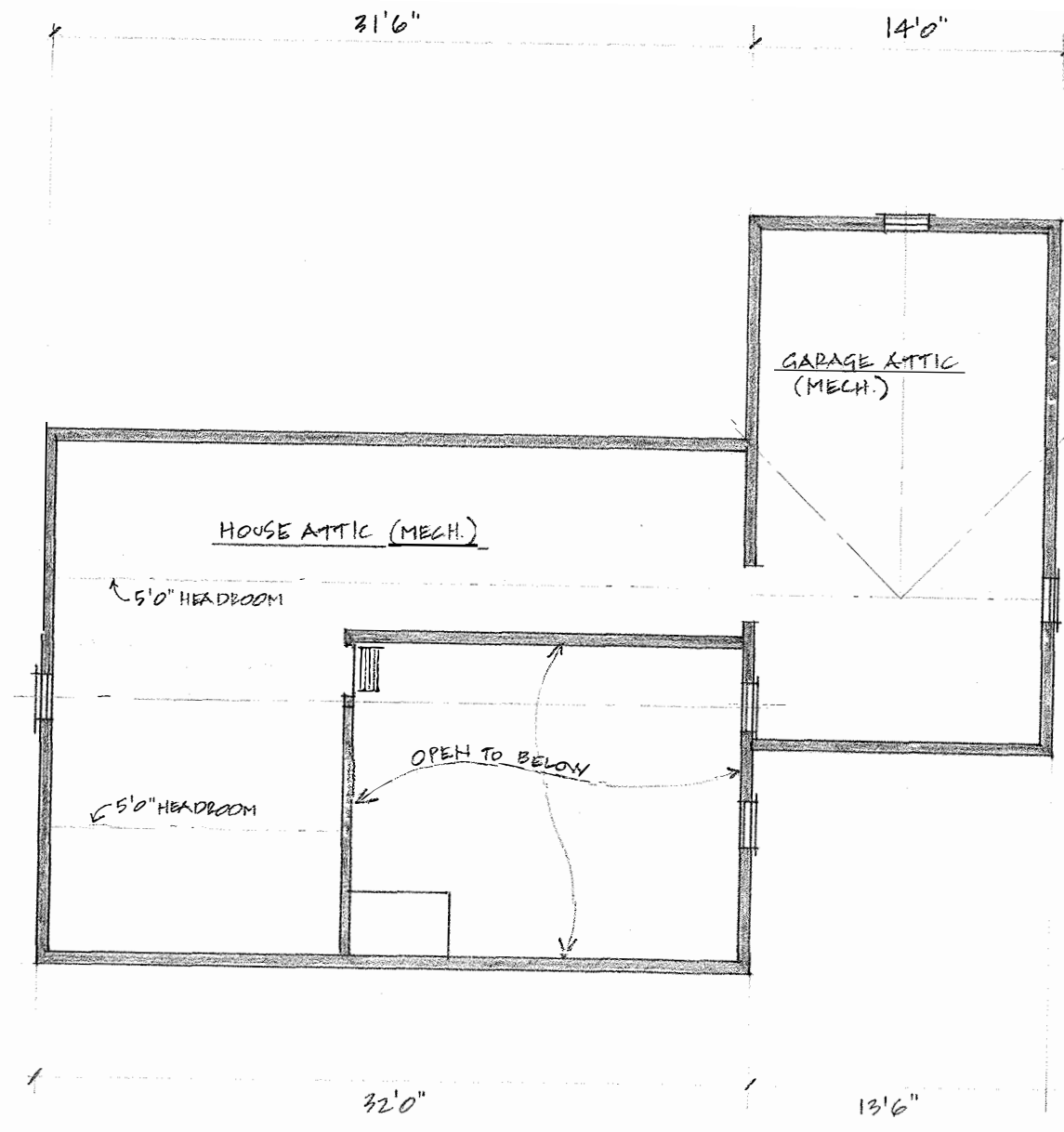
OF 377 MAPLEWOOD AVE.,

PORTSMOUTH, NH

DATE: 4.22.2024



FIRST FLOOR PLAN (SLAB)



ATTIC FLOOR PLAN

NEW ADU AT REAR TITLE: PROPOSED FLOOR PLANS  
 OF 377 MAPLEWOOD AVE., SCALE: 1/8"=1'0"  
 PORTSMOUTH, NH DATE: 4.22.2024  
 PAGE A4.

**Brendan McNamara**  
 RESIDENTIAL ARCHITECTURE

603 682 1105 brenmcnamara@comcast.net

**Project Address:** 38 State Street, Unit #4

**Permit Requested:** Work Session

**Application:** Work Session 2

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Residential
- Land Area: 1,417-1,780 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: State Street
- Unique Features: N/A
- Neighborhood Association: Downtown



**B. Proposed Work:** New roofing, roof deck, and windows and new the new construction of a rooftop/penthouse addition.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- New windows, roofing, and roof deck.
- Construct rooftop/penthouse addition.



**D. Purpose and Intent:**

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PROJECT LOCATION

# 38 STATE STREET PORTSMOUTH, NH Context, Precedent + Concept Review

May 17th 2024

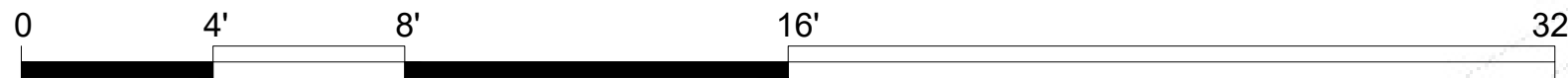
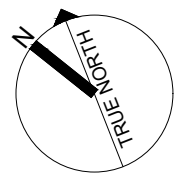
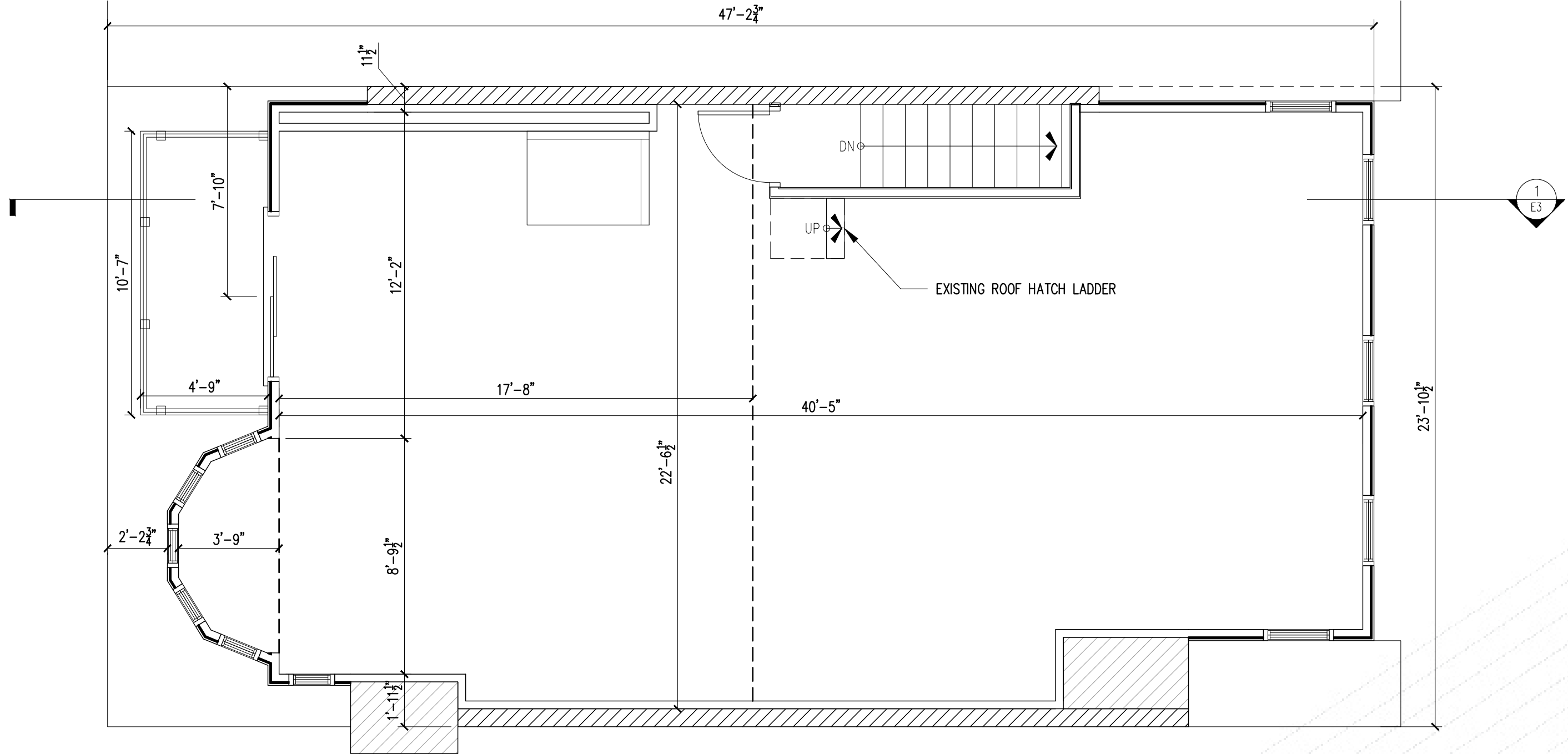
**WINTER HOLBEN**



# SITE CONTEXT



# EXISTING PLANS

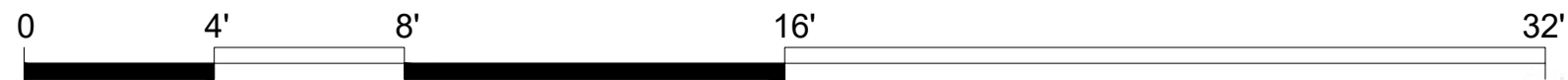
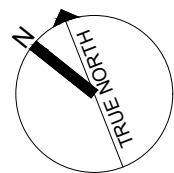
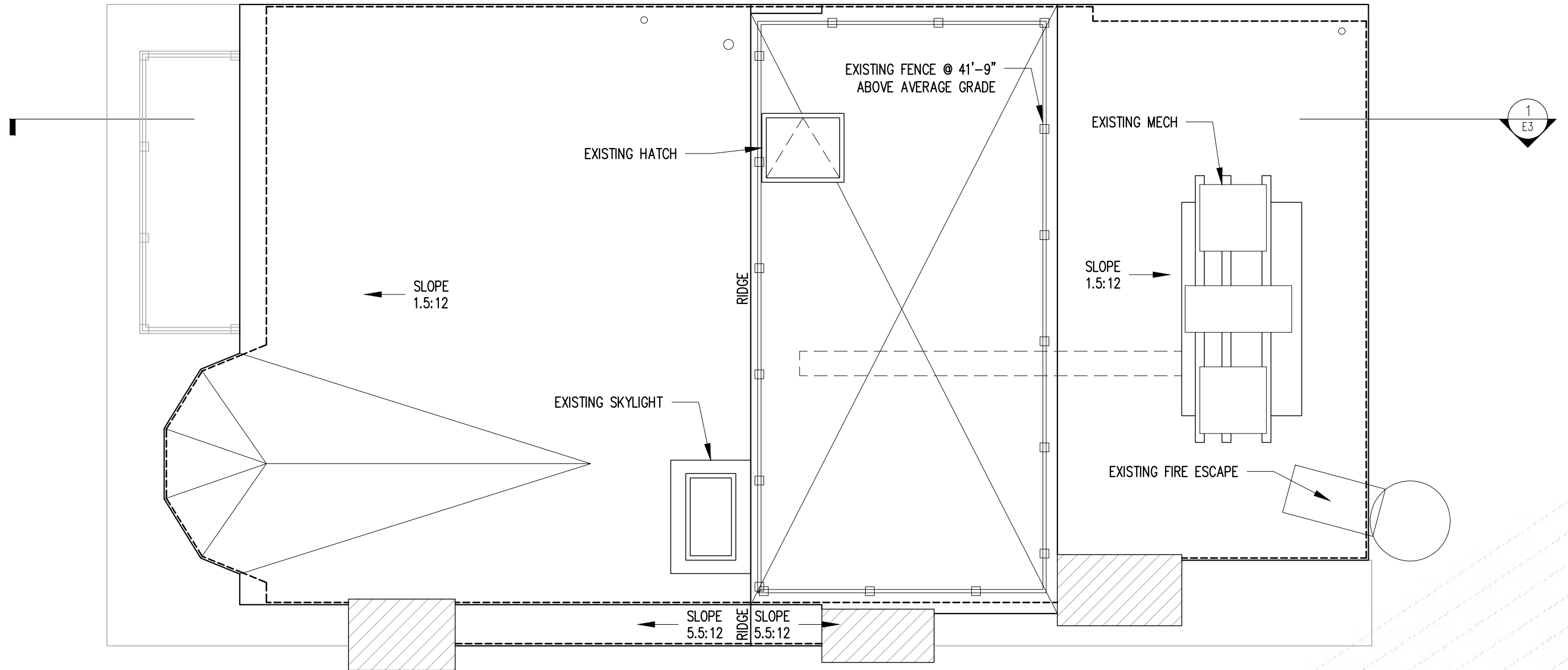


**EXISTING THIRD FLOOR UNIT PLAN**

SCALE: 1/4"=1'-0"

E1 **1**

# EXISTING PLANS

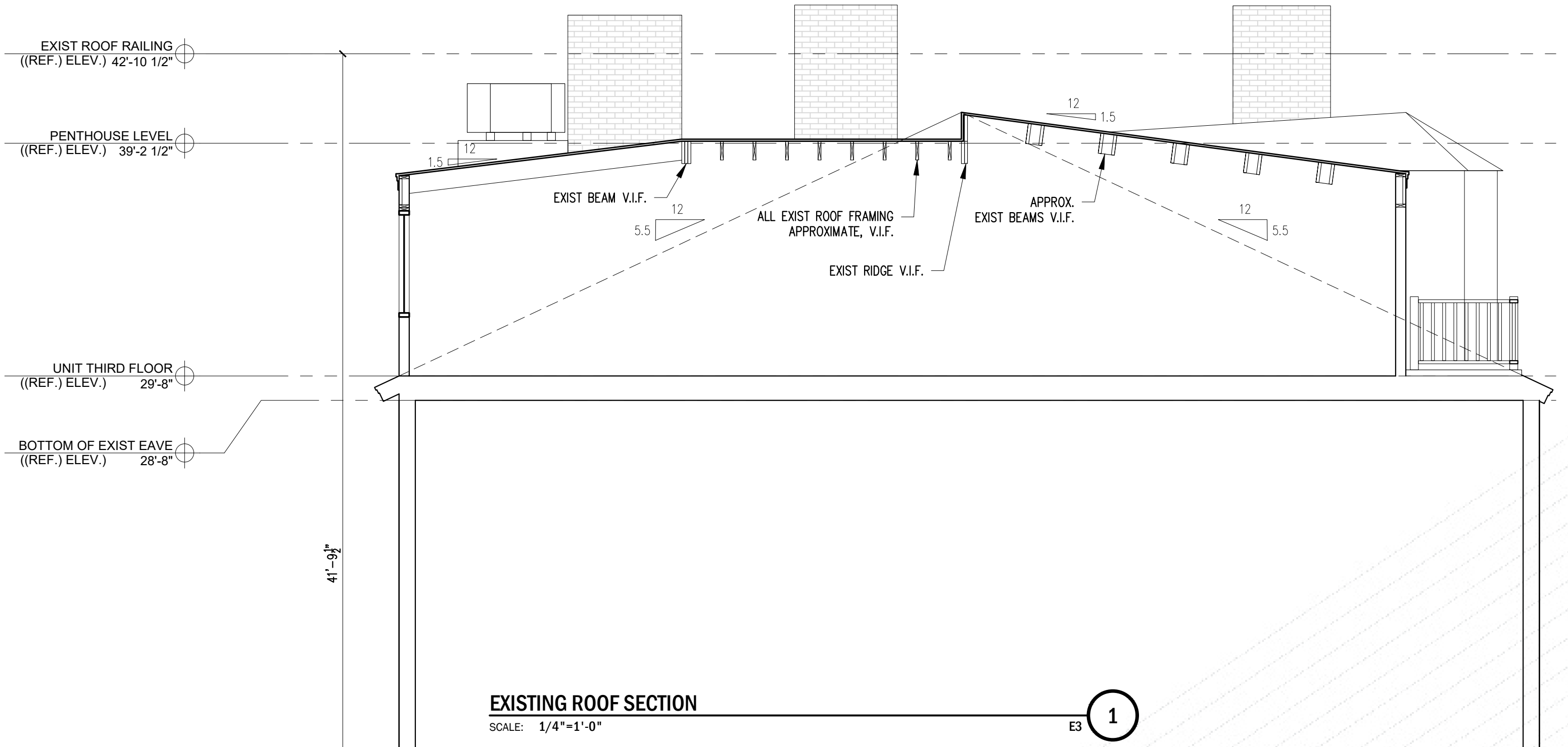


**EXISTING ROOF PLAN**

SCALE: 1/4"=1'-0"

1  
E2

# EXISTING SECTION



# DESIGN PRECEDENT



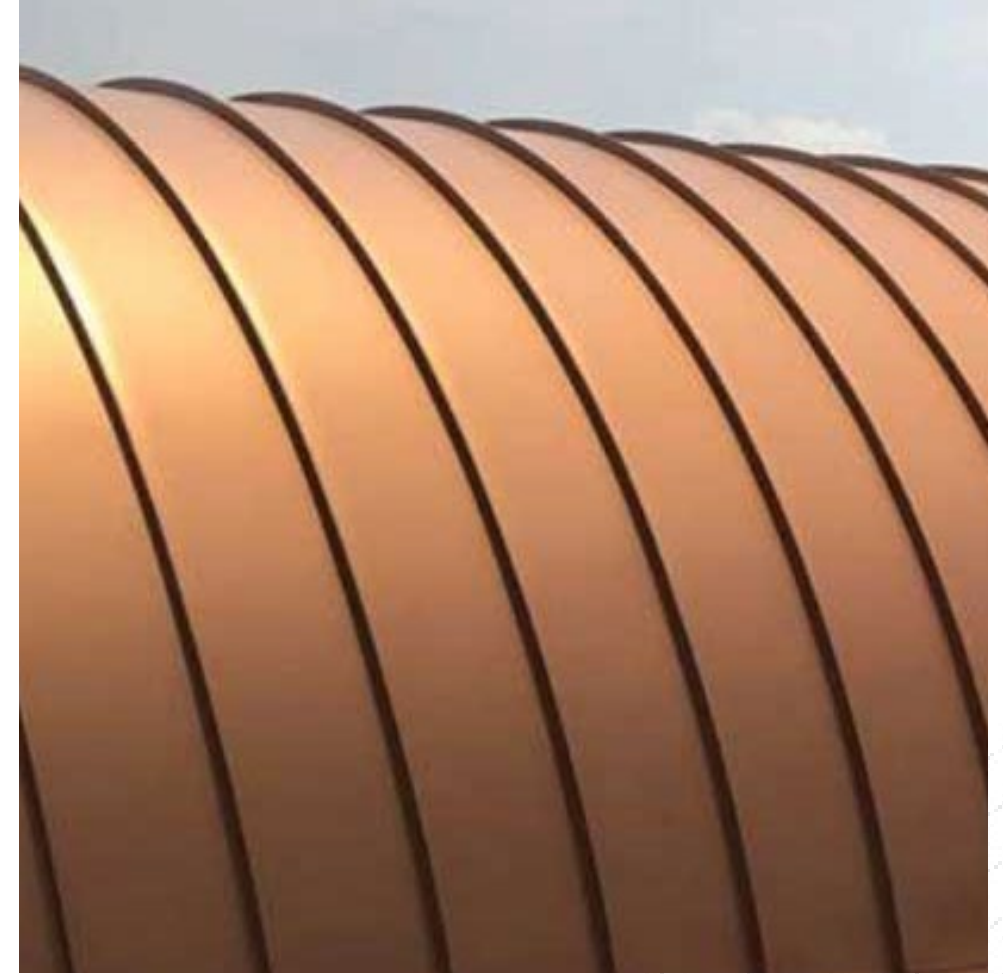
# MATERIALS



Metal Roofing



Clapboard Siding



Copper Metal Roof

# EXISTING CONDITIONS



# CONCEPT A





# CONCEPT A



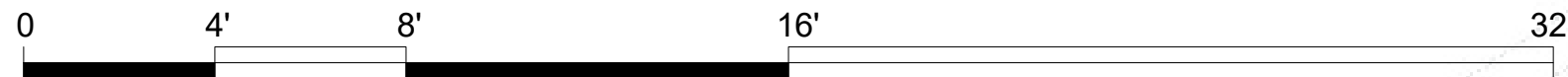
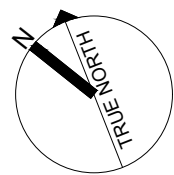
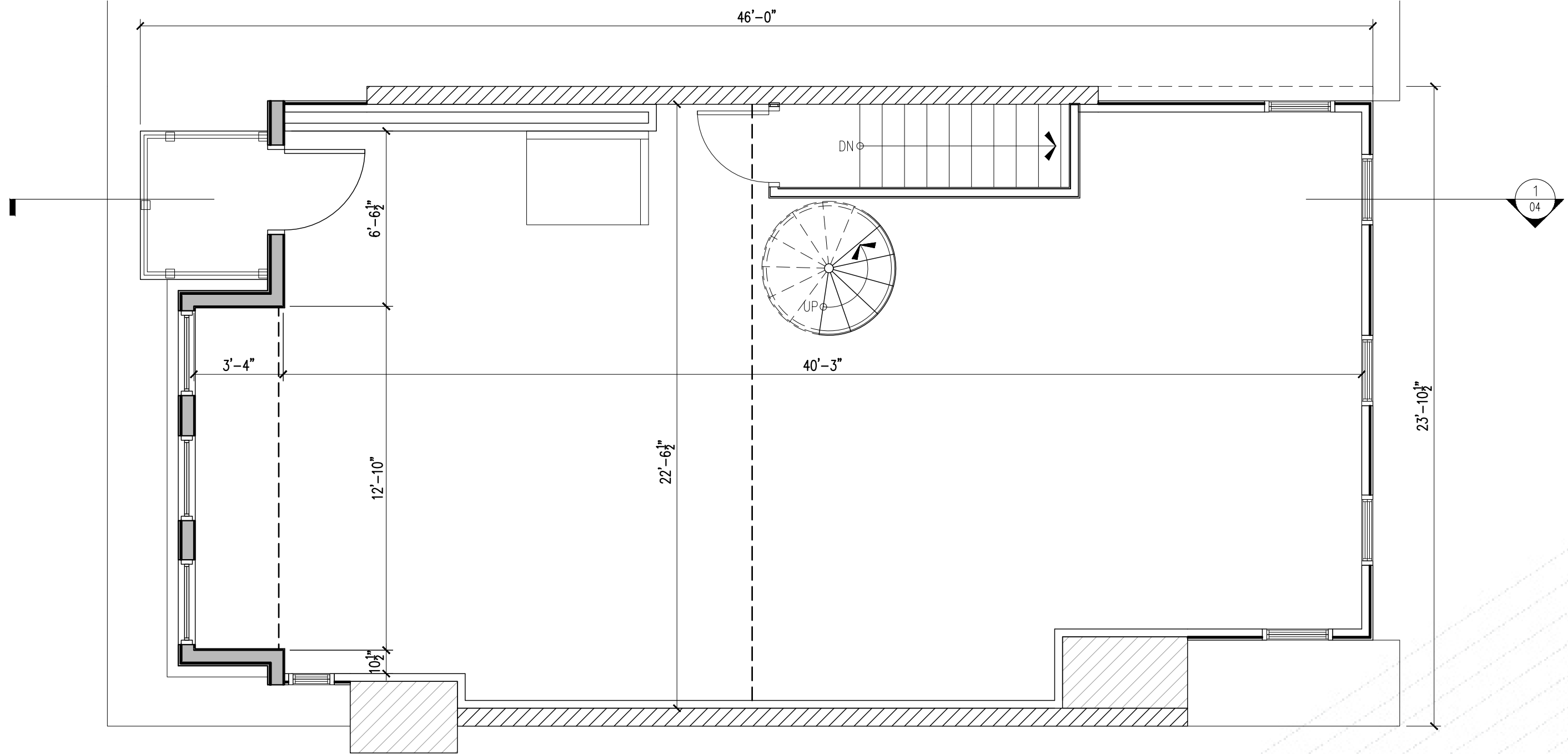
# CONCEPT B



# CONCEPT B



# CONCEPT A PROPOSED PLANS

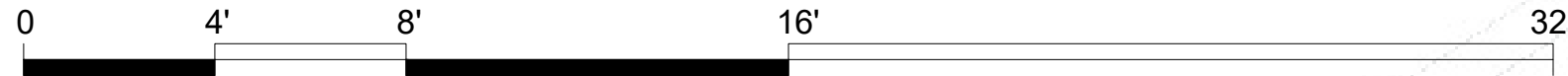
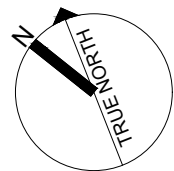
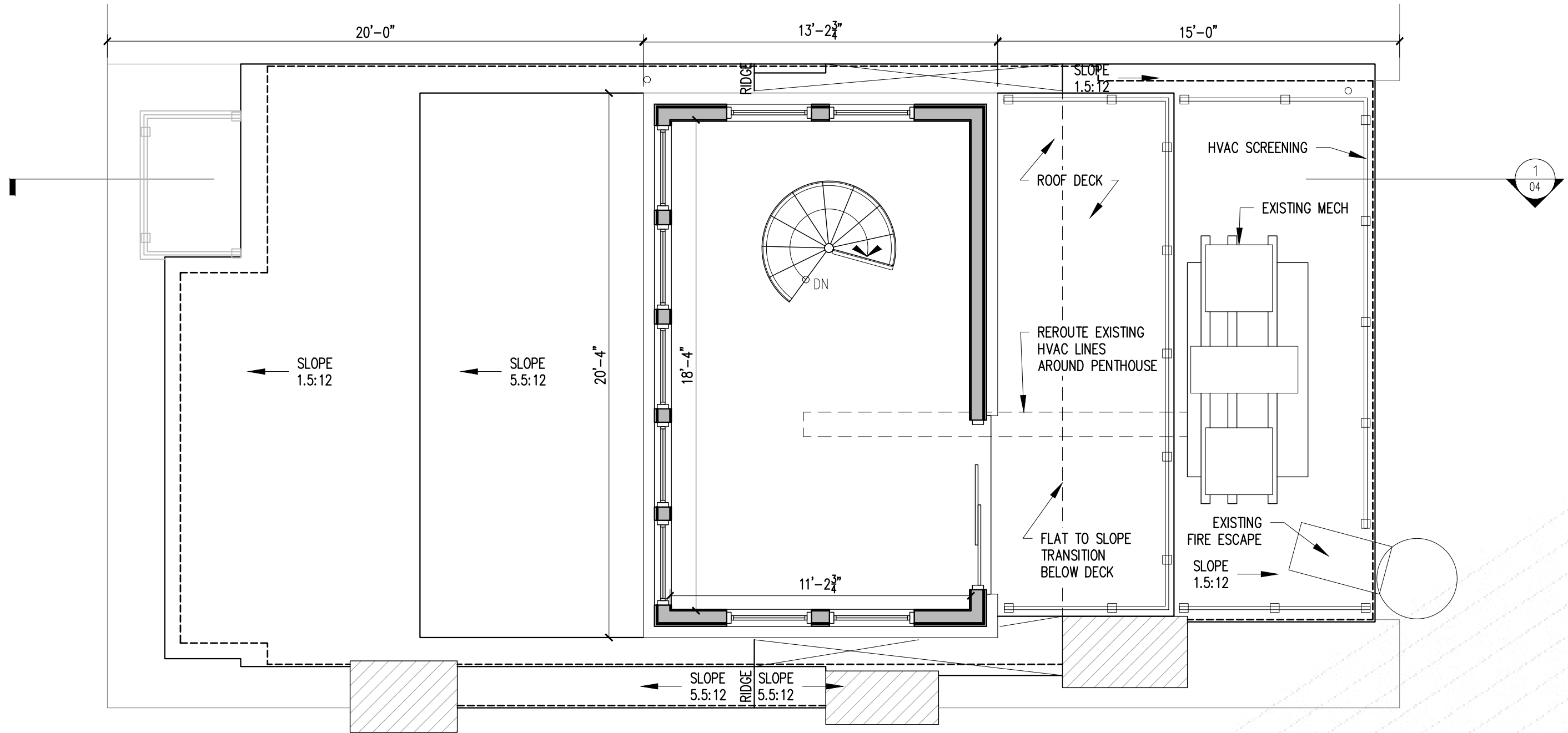


**THIRD FLOOR UNIT PLAN**

SCALE: 1/4"=1'-0"

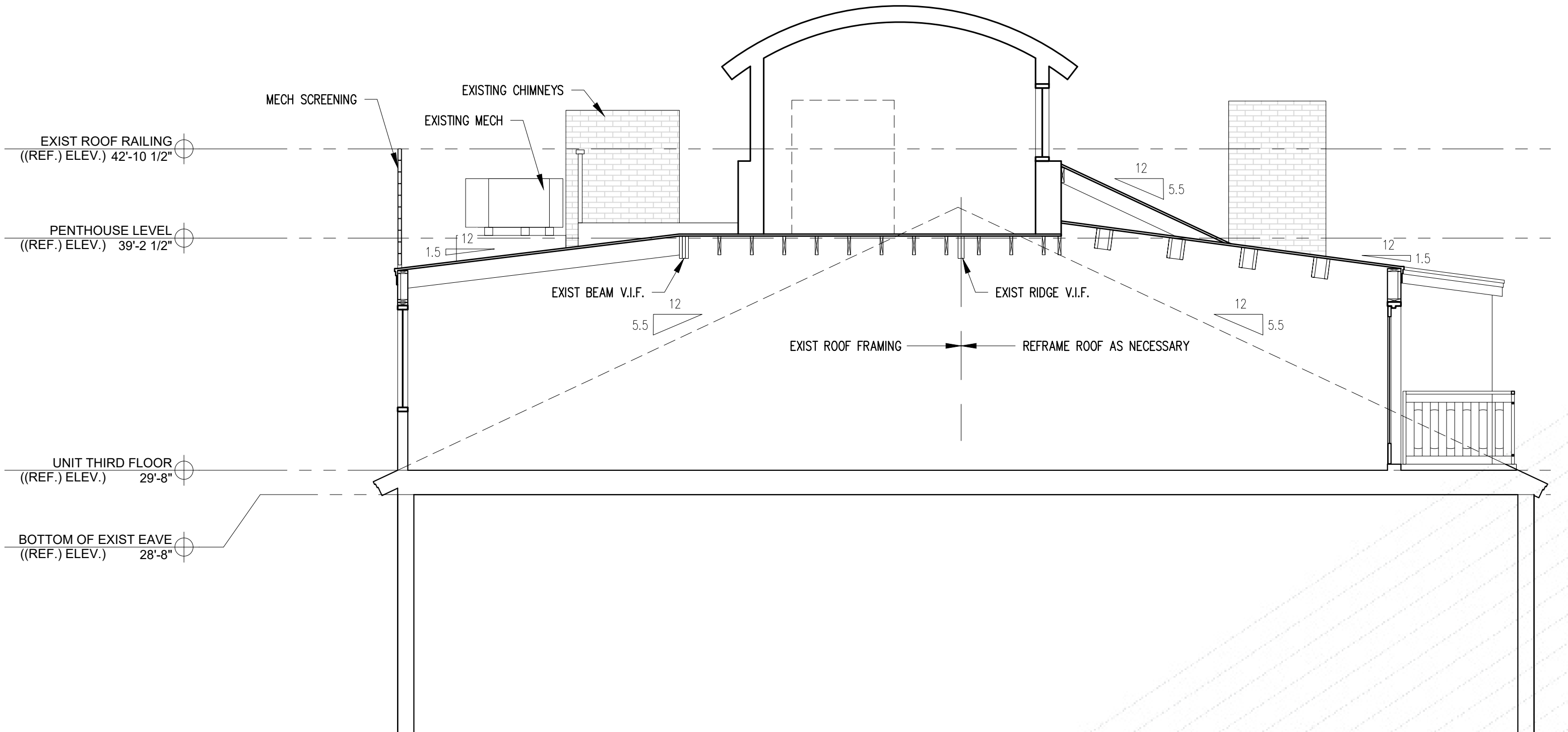
01 (1)

# CONCEPT A PROPOSED PLANS



PENTHOUSE FLOOR PLAN

# CONCEPT A PRPOSED SECTION



**Project Address:** 96 State Street

**Permit Requested:** Work Session

**Application:** Work Session 3

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Mixed-Use
- Land Area: 5,400 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: State Street
- Unique Features: N/A
- Neighborhood Association: Downtown



**B. Proposed Work:** Construct (2) 2-story additions; one addition is proposed facing State Street, the other is proposed facing Atkinson Street.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct (2) 2-story additions.



**HISTORIC  
SURVEY  
RATING  
C**

**D. Purpose and Intent:**

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# 96 STATE STREET PORTSMOUTH, NH Context, Precedent + Concept Review

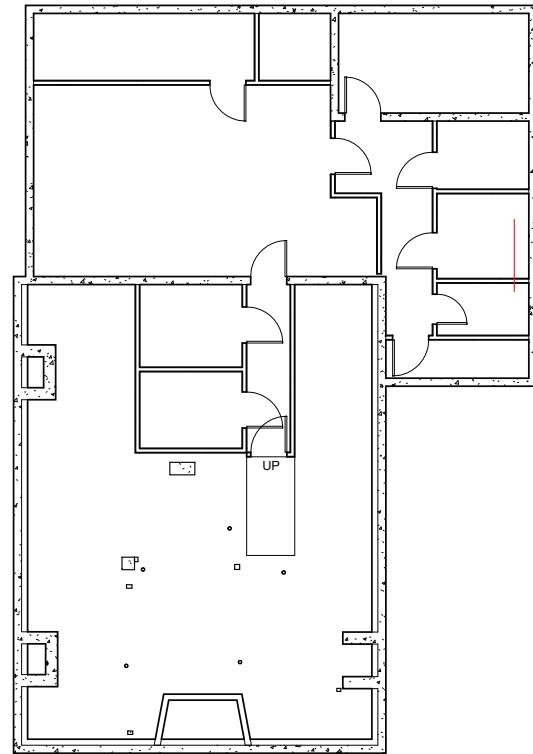
May 17th 2024

**WINTER HOLBEN**

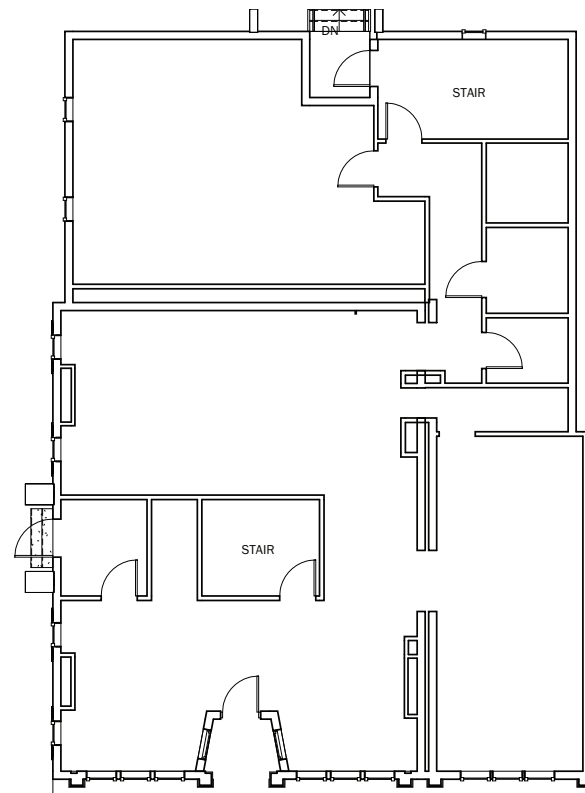
# SITE CONTEXT



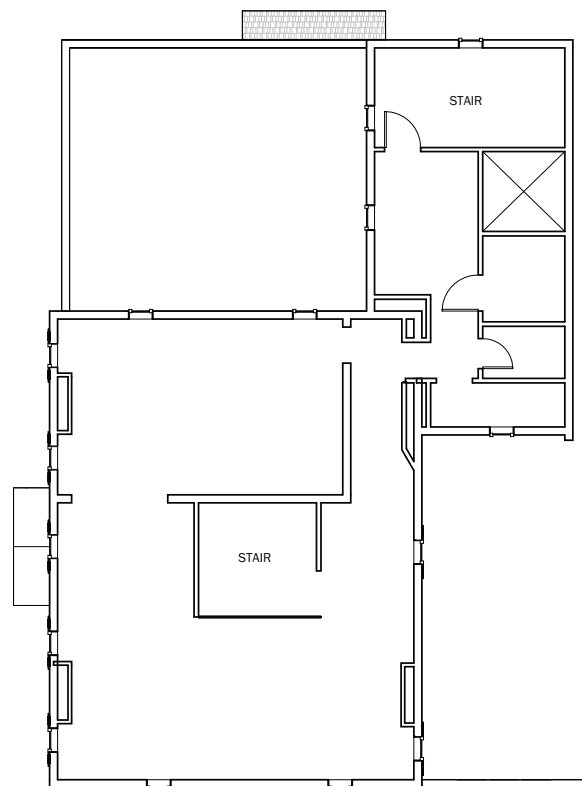
# EXISTING PLANS



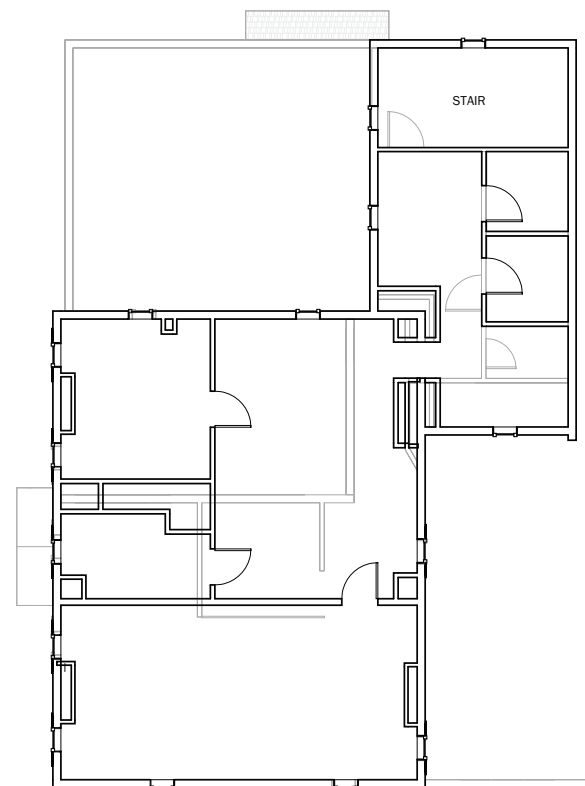
Basement Plan | Scale: 1"=1/16"



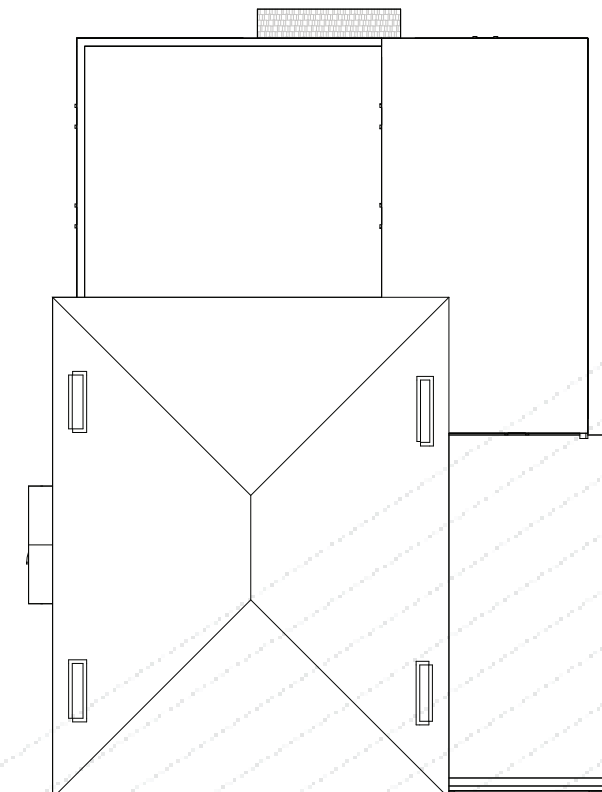
First Floor Plan | Scale: 1"=1/16"



Second Floor Plan | Scale: 1"=1/16"



Third Floor Plan | Scale: 1"=1/16"



Roof Plan | Scale: 1"=1/16"

# EXISTING ELEVATION



Existing Elevation - North | Scale: 1"=1/8"

# EXISTING ELEVATION



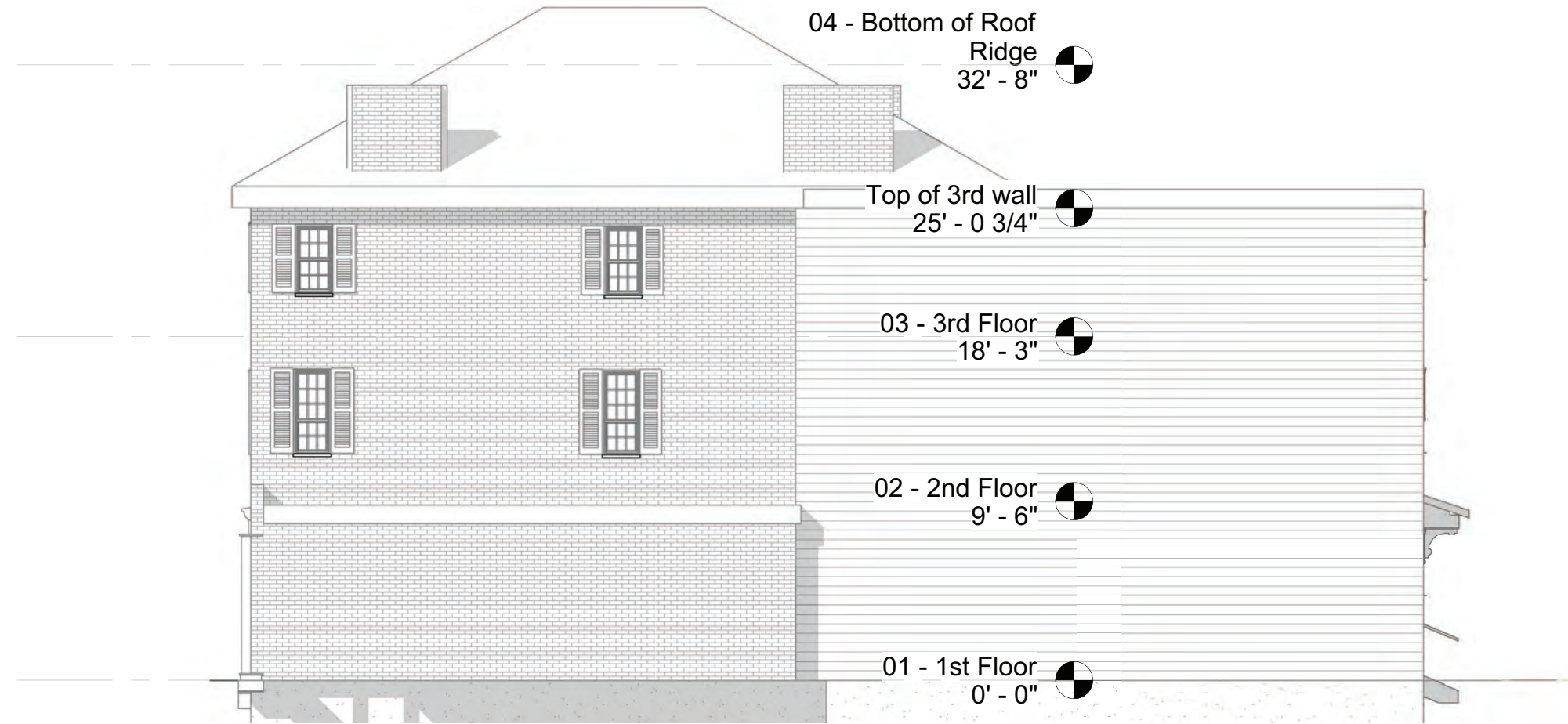
Existing Elevation - East | Scale: 1"=1/8"

# EXISTING ELEVATION



Existing Elevation - South | Scale: 1"=1/8"

# EXISTING ELEVATION



Existing Elevation - West | Scale: 1"=1/8"

# DESIGN PRECEDENT



Existing Roof - For slanted across



Black Metal Pipe w/Wood Shelves



Raised panel with door wood clad above



Raised panel with clad and brick



Raised panel wood clad panel above



Raised panel with shed above



Black Metal Pipe w/Wood Shelves



Black Metal Pipe w/Wood Shelves



# MATERIALS



Grey Shingle -To match adjacent building



Yellow Lapped Siding



EPDM Rubber membrane roof

# CONCEPT 1



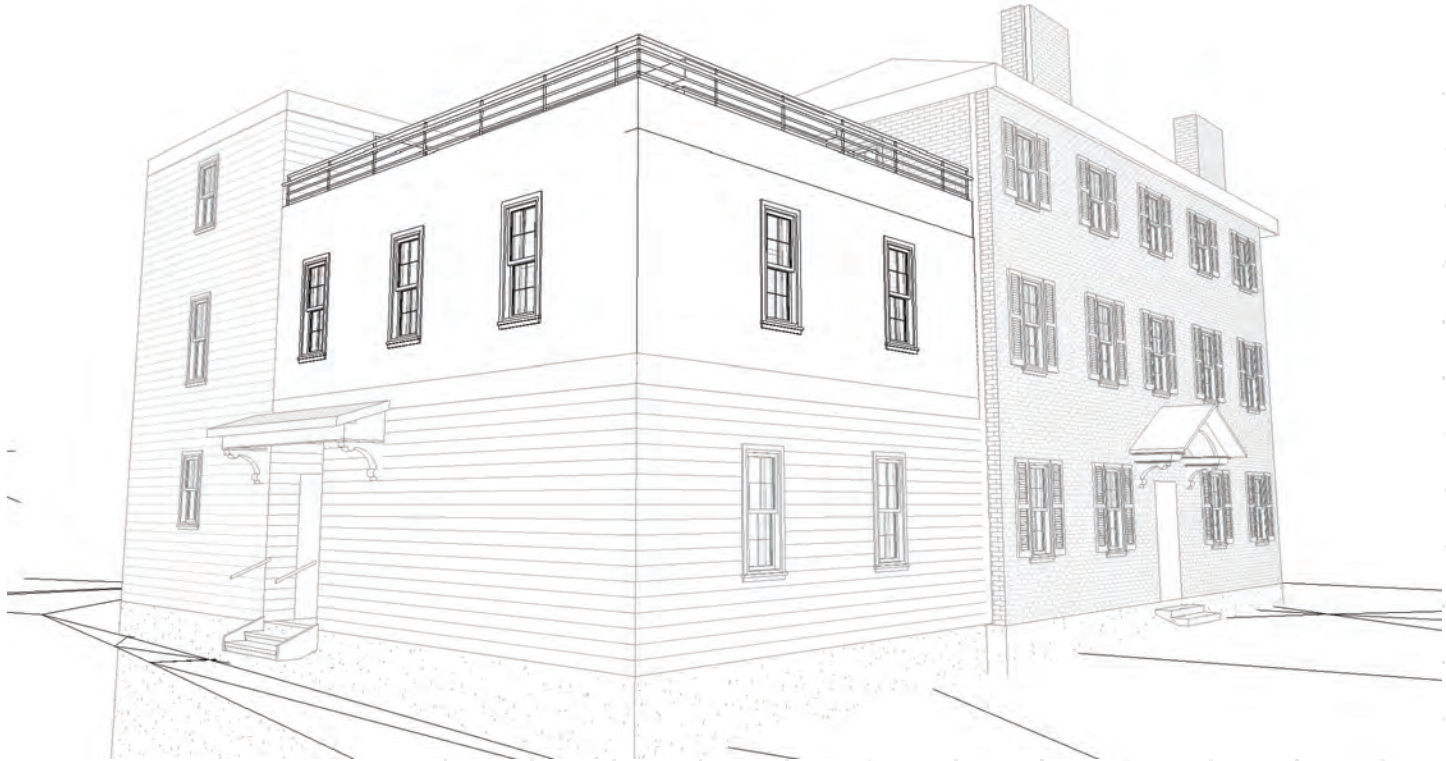
North-West Aerial



South-East Aerial



View from State Street



View from Atkinson Street

# CONCEPT 2



North-West Aerial



South-East Aerial



View from State Street



View from Atkinson Street