

Historic District Commission Staff Report

Wednesday, May 01, 2024



Project Address: 44 GARDNER STREET

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 1



A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 6,267 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Queen Anne
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gardner Street
- Unique Features: Wraparound one-story full width porch, parapet gable over entry bay, two story polygonal bay on the left side of the façade and a one story hipped roof garage to the rear of the property.
- Neighborhood Association: South End

B. Proposed Work: to replace the existing windows with Marvin Elevate windows, replace the existing siding with Hardie siding, install HVAC equipment and ventilation.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replacement of windows and siding
- Installation of HVAC equipment and venting.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



South View



North View



Proposed HVAC condenser location



East view







West View

Applicant:

Keith Dockham & Jeff Kisiel
Dockham Builders, Inc
2060 Lafayette Road
Portsmouth, NH 03801

Property:

44 Gardner Street
Portsmouth, NH 03801

Property Owner:

Bernie and Emily Roesler

- I. Letter of Authorization
- II. Scope of work
- III. Window Replacement
- IV. Siding & Exterior Trim
- V. HVAC & Venting

I. Letter of Authorization:

See attached Letter of Authorization.



"Building your Future" Since 1988
2069 Lafayette Road Unit B
Portsmouth, NH 03801

Member NAHB
Lead safety certified
Member HBRANH
Email: office@dockhambuilders.com
Telephone: 603-775-7035

March 14, 2023

City of Portsmouth
Historic District Commission
Ms. Reagan Ruedig, Chair
1 Junkins Avenue
Portsmouth, NH 03801

RE: 44 Gardner Street Historic District Application

To whom it may concern:

This letter is submitted to authorize Jeff Kisiel and Dockham Builders to represent us before the City of Portsmouth and any of its boards with respect to an Application to the Historic District Commission in connection with our property located at 44 Gardner Street.

Sincerely,


Emily Roesler

March 15, 2024

Date


Bernie Roesler

March 15, 2024

Date

www.dockhambuilders.com

II. Project Summary:

The proposed scope of work includes:

-Remove the existing wood siding, exterior corner trim, window casing and windows

-Install new windows (III. Window Replacement), new siding (IV. Siding & Exterior Trim)

-Install new HVAC system, kitchen range hood and Bathroom Fans with vents (V. HVAC & Venting)

III. Window Replacement:

Install new Marvin Ultimate Windows on entire house.

See attached schedule and specification sheet for window details.

DOCKHAM 022024 ROESLER

Quote #: R3HN2NG

A Proposal for Window and Door Products prepared for:

Job Site:

03801

Shipping Address:

ELDREDGE LBR & HDWE-PORTSMOUTH
275 Constitution Ave
Portsmouth, NH 03801-8600

Project Description:

44 GARDNER STREET PORTSMOUTH NH

Featuring products from:

MARVIN 

SELECTWOOD

The Choice For Building Professionals.

TOM MCELREAVY
ELDREDGE LBR & HDWE-PORTSMOUTH
PO BOX 69
CAPE NEDDICK, ME 03902-0069
Phone: (603) 436-9663

Email: tmcelreavy@eldredgelumber.com

This report was generated on 2/21/2024 9:36:25 AM using the Marvin Order Management System, version 0004.06.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

UNIT SUMMARY

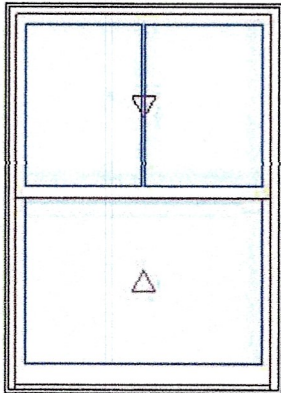
The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.
 Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

| NUMBER OF LINES: 9 | | TOTAL UNIT QTY: 33 | | EXT NET PRICE: USD [REDACTED] | | |
|--------------------|-------------------|--------------------|--|-------------------------------|-----|--------------------|
| LINE | MARK UNIT | PRODUCT LINE | ITEM | NET PRICE | QTY | EXTENDED NET PRICE |
| 1 | KIT/ENTRY | Ultimate | Double Hung G2 RO 47" X 64" Entered as RO 47" X 64" | [REDACTED] | 1 | [REDACTED] |
| 2 | 1ST FLR | Ultimate | Double Hung G2 RO 36" X 66" Entered as RO 36" X 66" | [REDACTED] | 11 | [REDACTED] |
| 3 | KITCHEN SINK | Ultimate | Marvin Assembly RO 67 63/64" X 46" Entered as Size by Units | [REDACTED] | 1 | [REDACTED] |
| 4 | 1ST FLR BATH | Ultimate | Double Hung G2 RO 33" X 66" Entered as RO 33" X 66" | [REDACTED] | 1 | [REDACTED] |
| 5 | STAIRS /FULL TEMP | Ultimate | Double Hung G2 RO 36" X 62" Entered as RO 36" X 62" | [REDACTED] | 1 | [REDACTED] |
| 6 | 2ND FLR | Ultimate | Double Hung G2 RO 36" X 62" Entered as RO 36" X 62" | [REDACTED] | 14 | [REDACTED] |
| 7 | 3RD FLR BATH | Ultimate | Double Hung G2 RO 36" X 62" Entered as RO 36" X 62" | [REDACTED] | 1 | [REDACTED] |
| 8 | 3RD FLR | Ultimate | Double Hung G2 RO 36" X 58" Entered as RO 36" X 58" | [REDACTED] | 2 | [REDACTED] |
| 9 | PLAYROOM | Ultimate | Double Hung G2 RO 34" X 62" Entered as RO 34" X 62" | [REDACTED] | 1 | [REDACTED] |

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

| | | | |
|---------|----------------------|-----------------|-----|
| Line #1 | Mark Unit: KIT/ENTRY | Net Price: | |
| Qty: 1 | | Ext. Net Price: | USD |



As Viewed From The Exterior

Entered As: RO
 MO 46 1/2" X 63 3/4"
 FS 46" X 63 1/2"
 RO 47" X 64"
Egress Information
 Width: 42 13/32" Height: 26 25/64"
 Net Clear Opening: 7.77 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 47" X 64"
 Standard CN Height 28
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required

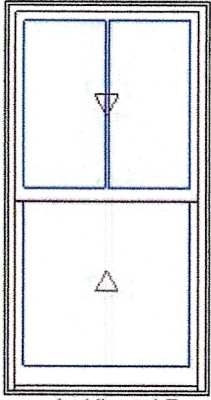
Seller: _____

Buyer: _____

| | | | |
|---------|--------------------|-----------------|-----|
| Line #2 | Mark Unit: 1ST FLR | Net Price: | |
| Qty: 11 | | Ext. Net Price: | USD |



Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 66"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile



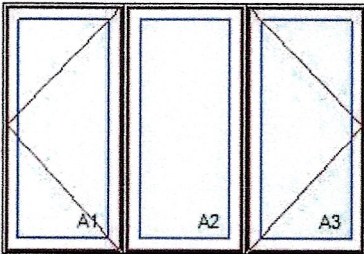
As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 65 3/4"
 FS 35" X 65 1/2"
 RO 36" X 66"
Egress Information
 Width: 31 13/32" Height: 27 11/16"
 Net Clear Opening: 6.04 SqFt

Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required
 Seller: _____
 Buyer: _____

| | | | |
|---------|-------------------------|-----------------|-----|
| Line #3 | Mark Unit: KITCHEN SINK | Net Price: | |
| Qty: 1 | | Ext. Net Price: | USD |



As Viewed From The Exterior

Entered As: Size by Units
 MO 67 31/64" X 45 3/4"
 FS 66 63/64" X 45 1/2"
 RO 67 63/64" X 46"
Egress Information A1, A3
 Width: 15 7/32" Height: 40 25/64"
 Net Clear Opening: 4.27 SqFt
Egress Information A2
 No Egress Information available.

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 3W1H - Rectangle Assembly
 Assembly Rough Opening
 67 63/64" X 46"

Unit: A1
 Ultimate Casement - Left Hand
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 White Folding Handle
 White Multi - Point Lock
 Stainless Steel Hardware
 Aluminum Screen
 White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose

Unit: A2
 Ultimate Casement - Stationary
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 Solid Wood Covers

Unit: A3
 Ultimate Casement - Right Hand
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 White Folding Handle
 White Multi - Point Lock
 Stainless Steel Hardware
 Aluminum Screen
 White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 Standard Mull Charge
 4 9/16" Jambs
 Nailing Fin
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
 ***Note: Unit Availability and Price is Subject to Change

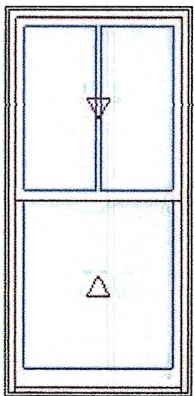
Initials required

Seller: _____

Buyer: _____

| | | | |
|---------|-------------------------|-----------------|-----|
| Line #4 | Mark Unit: 1ST FLR BATH | Net Price: | USD |
| Qty: 1 | | Ext. Net Price: | |

MARVIN 



As Viewed From The Exterior

Entered As: RO
 MO 32 1/2" X 65 3/4"
 FS 32" X 65 1/2"
 RO 33" X 66"

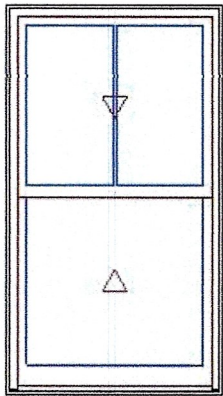
Egress Information
 Width: 28 13/32" Height: 27 11/16"
 Net Clear Opening: 5.46 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 33" X 66"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jambs

Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required
 Seller: _____
 Buyer: _____

| | | | |
|---------|------------------------------|-----------------|-----|
| Line #5 | Mark Unit: STAIRS /FULL TEMP | Net Price: | |
| Qty: 1 | | Ext. Net Price: | USD |



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"
Egress Information
 Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

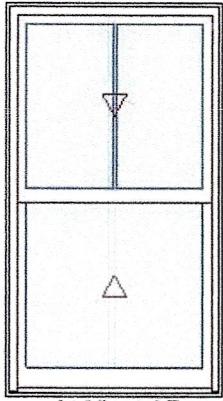
Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Tempered Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required
 Seller: _____
 Buyer: _____

| | | | |
|---------|--------------------|-----------------|-----|
| Line #6 | Mark Unit: 2ND FLR | Net Price: | |
| Qty: 14 | | Ext. Net Price: | USD |



Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"
Egress Information
 Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose

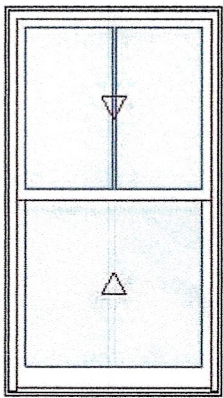
4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required

Seller: _____

Buyer: _____

| | | | |
|---------|-------------------------|-----------------|-----|
| Line #7 | Mark Unit: 3RD FLR BATH | Net Price: | |
| Qty: 1 | | Ext. Net Price: | USD |



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"
Egress Information
 Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose

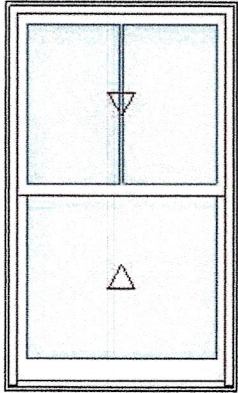
4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required

Seller: _____

Buyer: _____

| | | | |
|---------|--------------------|-----------------|-----|
| Line #8 | Mark Unit: 3RD FLR | Net Price: | |
| Qty: 2 | | Ext. Net Price: | USD |



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 57 3/4"
 FS 35" X 57 1/2"
 RO 36" X 58"

Egress Information
 Width: 31 13/32" Height: 23 11/16"
 Net Clear Opening: 5.17 SqFt

- Stone White Clad Exterior
- Painted Interior Finish - White - Pine Interior
- Ultimate Double Hung G2
- Rough Opening 36" X 58"
- Top Sash
- Stone White Clad Sash Exterior
- Painted Interior Finish - White - Pine Sash Interior
- IG
- Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 5/8" SDL - With Spacer Bar - Black
- Rectangular - Special Cut 2W1H
- Stone White Clad Ext - Painted Interior Finish - White - Pine Int
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Painted Interior Finish - White - Pine Sash Interior
- IG - 1 Lite
- Tempered Low E2 w/Argon
- Black Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weather Strip Package
- White Exterior Weather Strip Package
- White Sash Lock
- White Top Sash Strike Plate Assembly Color
- Extruded Aluminum Screen
- Stone White Surround
- Bright View Mesh
- ***Screen/Combo Ship Loose
- 4 9/16" Jamb
- Nailing Fin

***Note: Unit Availability and Price is Subject to Change

Initials required

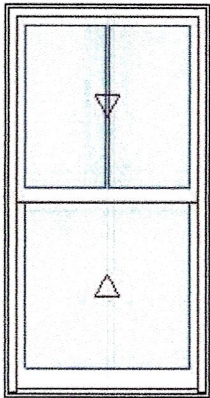
Seller: _____

Buyer: _____

| | | | |
|---------|---------------------|-----------------|-----|
| Line #9 | Mark Unit: PLAYROOM | Net Price: | |
| Qty: 1 | | Ext. Net Price: | USD |



- Stone White Clad Exterior
- Painted Interior Finish - White - Pine Interior
- Ultimate Double Hung G2
- Rough Opening 34" X 62"
- Top Sash
- Stone White Clad Sash Exterior
- Painted Interior Finish - White - Pine Sash Interior
- IG
- Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 5/8" SDL - With Spacer Bar - Black
- Rectangular - Special Cut 2W1H
- Stone White Clad Ext - Painted Interior Finish - White - Pine Int
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Painted Interior Finish - White - Pine Sash Interior
- IG - 1 Lite
- Tempered Low E2 w/Argon



As Viewed From The Exterior

Entered As: RO

MO 33 1/2" X 61 3/4"

FS 33" X 61 1/2"

RO 34" X 62"

Egress Information

Width: 29 13/32" Height: 25 11/16"

Net Clear Opening: 5.25 SqFt

- Black Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weather Strip Package
- White Exterior Weather Strip Package
- White Sash Lock
- White Top Sash Strike Plate Assembly Color
- Extruded Aluminum Screen
- Stone White Surround
- Bright View Mesh
- ***Screen/Combo Ship Loose
- 4 9/16" Jamb
- Nailing Fin
- ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

| | |
|---------------------------------|------------|
| Project Subtotal Net Price: USD | ██████████ |
| 0.000% Sales Tax: USD | 0.00 |
| Project Total Net Price: USD | ██████████ |

TERMS AND CONDITIONS

PRODUCT AND PERFORMANCE INFORMATION

NFRC Ratings:

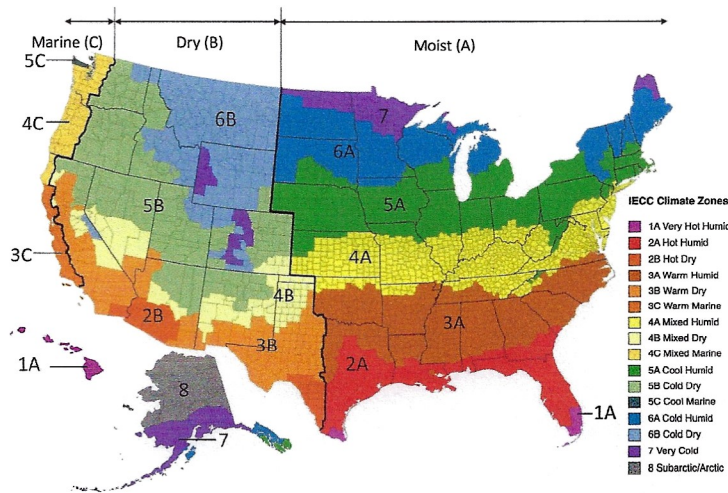
NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see www.nfrc.org.

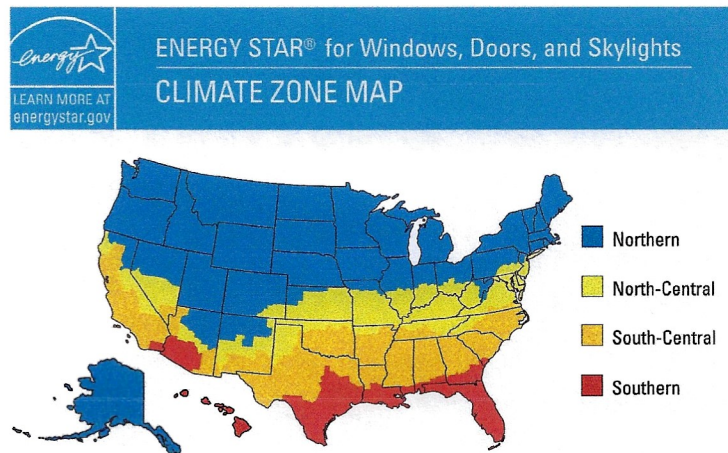
Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, provincial, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.

2021 IECC Climate Zone Map:



ENERGY STAR Version 7 Climate Zone Map:



ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 These shop drawings, a copy of these drawings accompanied by an
 order, constitute the entire agreement between the Buyer and the
 Manufacturer. No verbal agreements, promises, or other additional
 information shall be considered part of the contract. The Buyer
 agrees that the Marvin products included herein are ordered without additional
 responsibility in maintaining product coordination with the drawings.

REVISION:

CREATED: 02/21/2024

PK VERSION: 0004.00.00

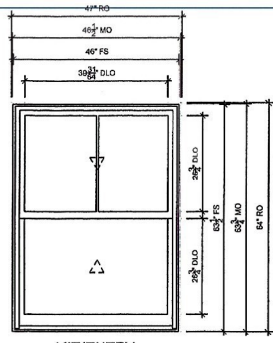
PROJECT: DOCKHAM 02/2024 / ROESLER

DISTRIBUTOR: ELDRIDGE LUMBER & HARDWARE, YORK-GO

DESIGN: TOM MCELREATH

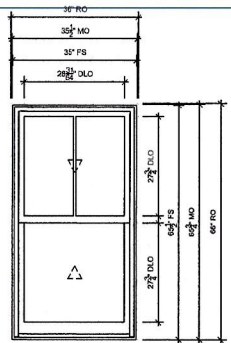
QUOTE#: RSHN2G

SHEET
OF 2



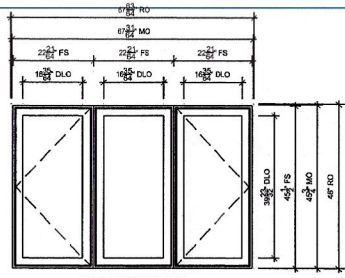
KIT/ENTRY
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Divided Lite
- ⊕ Jamb
- ⊕ Checkrail
- ⊕ Sill



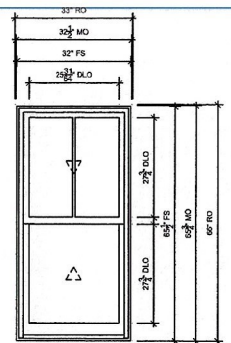
1ST FLR
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite



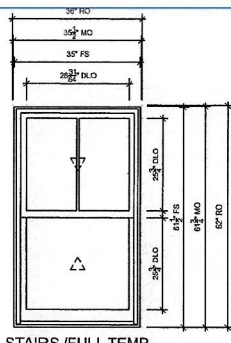
KITCHEN SINK
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Vertical Mullion
- ⊕ Head
- ⊕ Sill
- ⊕ Jamb
- ⊕ Sill



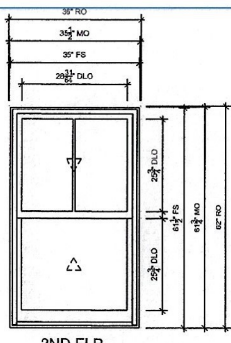
1ST FLR BATH
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite



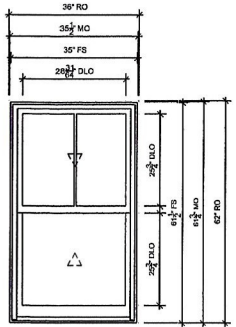
STAIRS/FULL TEMP
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite



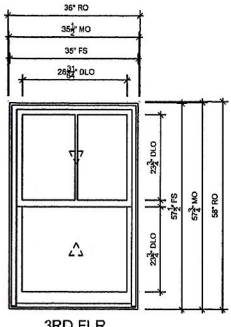
2ND FLR
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite



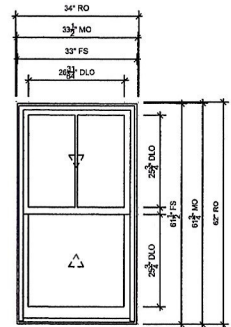
3RD FLR BATH
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite



3RD FLR
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite



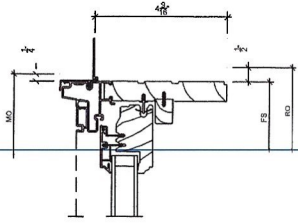
PLAYROOM
SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

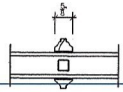
ORDERING INFORMATION WITH REFERENCE TO SPEC DRAWINGS:
 These drawings are for informational purposes only. The purchaser must refer to the architectural drawings and specifications for the correct dimensions and materials. The drawings are not to be used for construction without the written approval of the manufacturer. The manufacturer assumes no responsibility for manufacturing product coordination with the drawings.

REV/SION: CREATED: 02/21/2024

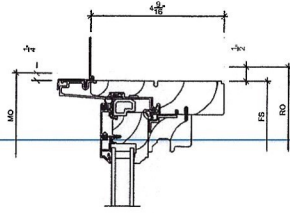
PROJECT: DOCKHAM 022024 / ROESLER
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE - YORK-GO
 DRAWN: TOM MCELREANY
 QUOTE# RS1HN2NG PK VERSION: 0004.06.00



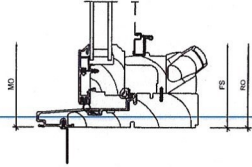
1/2 Head SCALE: 6" = 1'-0"



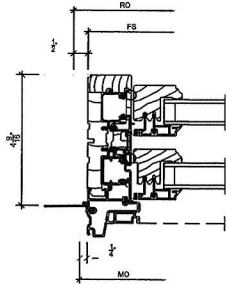
4/2 Divided Lite SCALE: 6" = 1'-0"



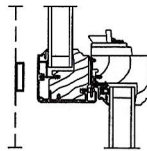
7/2 Head SCALE: 6" = 1'-0"



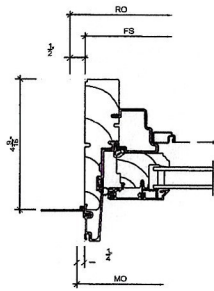
10/2 Sill SCALE: 6" = 1'-0"



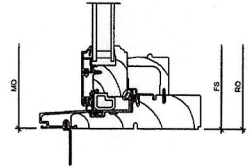
2/2 Jamb SCALE: 6" = 1'-0"



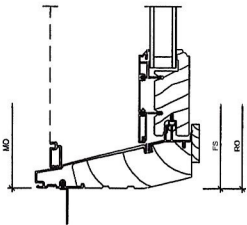
6/2 Checkrail SCALE: 6" = 1'-0"



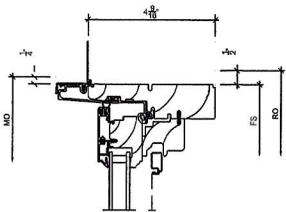
8/2 Jamb SCALE: 6" = 1'-0"



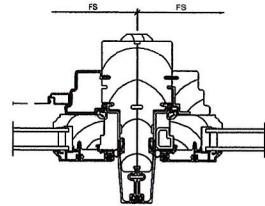
11/2 Sill SCALE: 6" = 1'-0"



3/2 Sill SCALE: 6" = 1'-0"



9/2 Head SCALE: 6" = 1'-0"



8/2 Vertical Mullion SCALE: 6" = 1'-0"

12/2 NOT USED SCALE: 6" = 1'-0"

IV. Siding and Exterior Trim

-Remove existing siding and install new 5 1/4" Hardie Plank Siding with smooth finish and a 4" reveal to match existing. See attached Hardie Specification Sheet for more details.

-Remove existing wood trim (corner boards and window casing) and install new Azek PVC trim to match existing profile. See attached Azek Specification Sheet for more details

-Corner Board: 5/4" x 6"

-Window Casing: 5/4" x 4" legs, 5/4" x 5" Header, 3" Crown AZM-52, Historic Sill AZM-6930

A classic look that stands the test of time.

Hardie® Plank

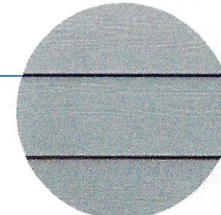
From Victorians to Colonials, Hardie® Plank is the perfect siding for your style, and has the durability and long-lasting beauty that can transform your home exterior. With endless gorgeous color and plank pairings available, you'll discover a Hardie® Plank style that transforms your home's aesthetic.



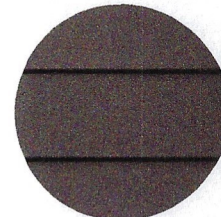
Hardie® Trim
Smooth
Arctic White

Hardie® Plank
Select Cedarmill®
Khaki Brown

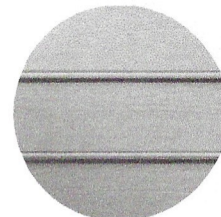
Hardie® Plank



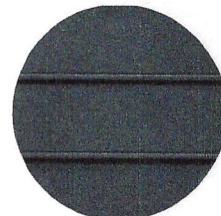
Select Cedarmill®



Smooth



Beaded Select Cedarmill®



Beaded Smooth

| Width | Thickness 5/16 in | | | | | Length 12 ft planks |
|-----------------------|-------------------|---------|---------|---------|----------|---------------------|
| | 5.25 in | 6.25 in | 7.25 in | 8.25 in | 9.25 in* | 12 in* |
| Exposure | 4 in | 5 in | 6 in | 7 in | 8 in | 10.75 in |
| Prime Pcs/Pallet | 360 | 308 | 252 | 230 | 190 | 152 |
| ColorPlus® Pcs/Pallet | 324 | 280 | 252 | 210 | — | — |
| Pcs/Sq. | 25.0 | 20.0 | 16.7 | 14.3 | 12.5 | 9.3 |

Select Cedarmill®

| Width | 5.25 in | 6.25 in | 7.25 in | 8.25 in | 9.25 in* | 12 in* |
|-----------------------|---------|---------|---------|---------|----------|--------|
| Statement Collection* | • | • | | | | |
| Dream Collection* | • | • | • | • | | |
| Prime | • | • | • | • | • | • |

Smooth

| Width | 5.25 in | 6.25 in | 7.25 in | 8.25 in | 9.25 in* | 12 in* |
|-----------------------|---------|---------|---------|---------|----------|--------|
| Statement Collection* | • | • | | | | |
| Dream Collection* | • | • | • | • | | |
| Prime | • | • | • | • | • | • |

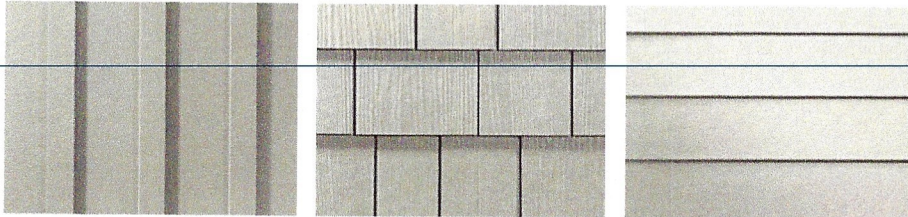
Beaded Select Cedarmill® & Beaded Smooth

| | |
|-----------------------|---------|
| Width | 8.25 in |
| Exposure | 7 in |
| ColorPlus® Pcs/Pallet | 210 |
| Pcs/Sq. | 14.3 |
| Statement Collection* | |
| Dream Collection* | • |
| Prime | |

*9.25 in and 12 in widths do not feature the drip edge

STYLES

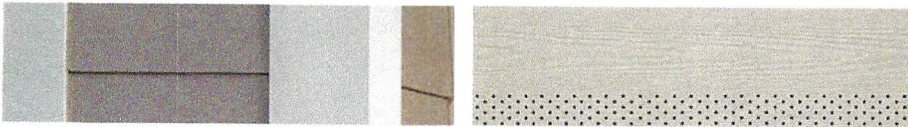
find your perfect mix of exterior products



HARDIE® PANEL & HARDIE® TRIM BATTEN

HARDIE® SHINGLE

HARDIE® PLANK



HARDIE® TRIM

HARDIE® SOFFIT

For more detailed product size and availability information, visit jameshardie.com/magnolia.

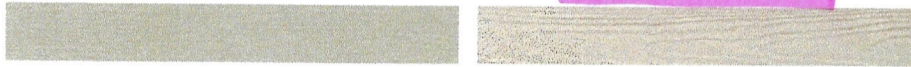
TEXTURES

choose the texture you prefer



HARDIE® TRIM SMOOTH

HARDIE® SIDING SMOOTH*



HARDIE® TRIM RUSTIC GRAIN

HARDIE® SIDING SELECT CEDARMILL**

* Textures available for siding and soffit.
Hardie® Shingle only offered in Select Cedarmill®.

DESIGN *the* HOME YOU'VE ALWAYS IMAGINED

Visualize Hardie® products on a 3D model of your home with HOVER® Design Studio, brought to you by James Hardie.

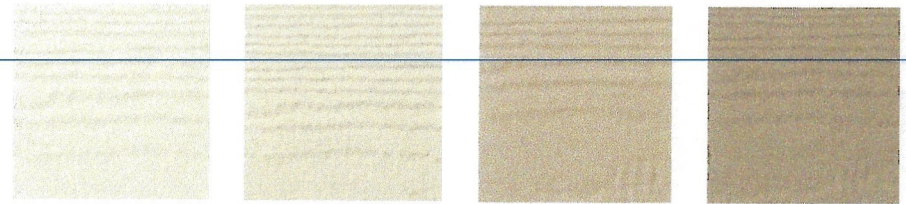
Every home tells a story. What will yours be? Start your free design.



VISUALIZE THE COLLECTION ON YOUR HOME

COLORS

select the hue that's right for you

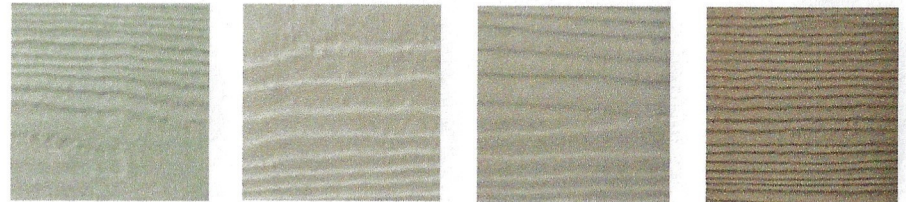


BIRCH TREE

WEATHERED CLIFFS

RUSTIC ROAD

RUGGED PATH

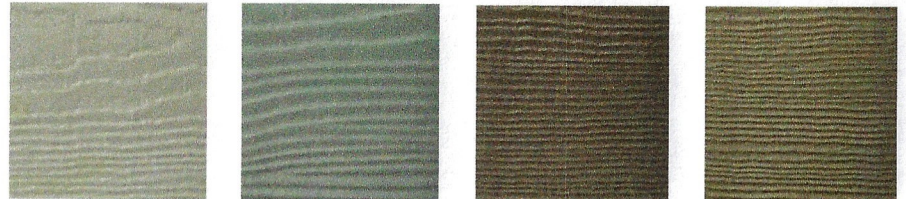


IT'S ABOUT THYME

STONE BEACH

STONE PAVER

WARM CLAY

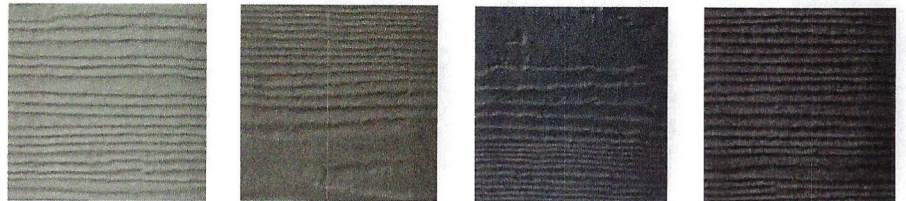


DRIED EUCALYPTUS

CHISELED GREEN

WANDERING GREEN

MUDFLATS



SLATE STEPS

PEPPERY ASH

LAST EMBERS

MIDNIGHT SOOT

All products in this collection come prefinished with ColorPlus® Technology finishes by James Hardie.

WHITE OR READY-TO-PAINT TRIM AZEK OFFERS STYLE-BASED SOLUTIONS

Ready-to-Install Classic AZEK® Trim: Crisp, Bright White

The ultimate exterior matchmaker, AZEK Trim comes ready to install in brilliant white with two finish options (smooth and woodgrain) to complement and instantly elevate any surrounding. AZEK Classic Trim can be painted — but because paint is not required for a clean, finished look, installations go faster.



Ready-to-Paint PaintPro Enhanced Trim: The Best Substrate for Paint

If your project requires painting trim, AZEK PVC Trim with PaintPro technology is the perfect choice. Ready to paint. No sanding. No priming. PaintPro Trim maintains the long-lasting, low-maintenance benefits of PVC trim while adding enhanced paintability. Paint bonds securely for lasting adhesion that resists splits, chips, and flakes.



*PaintPro must be painted within 180 days of installation.
Visit [AZEKexteriors.com/products/trim/trim-boards/paintpro-trim](https://www.AZEKexteriors.com/products/trim/trim-boards/paintpro-trim)

AZEK TRIM OUTPERFORMS WOOD TRIM

AZEK Trim is made from 100% engineered polymer to provide a durable, long-lasting building material that is far more resistant to the elements than wood. No sealants are needed on surfaces or cut ends; every inch of our trim is equally protected against moisture. With superior uniformity, durability, workability, beauty, and much more, AZEK PVC Trim is the better choice for exteriors than wood.

| | AZEK PVC TRIM | WOOD TRIM |
|---|---------------|-----------|
| UNIFORMITY | | |
| Square edges | ★ | ★ |
| No knots, no waste; every inch usable | ★ | |
| DURABILITY | | |
| Will not rot, split, splinter, delaminate, warp, or swell excessively from moisture | ★ | |
| Impervious to moisture and insect-resistant | ★ | |
| Suitable for ground and masonry contact | ★ | |
| Lifetime limited warranty | ★ | |
| Handles easily without breakage | ★ | ★ |
| WORKABILITY | | |
| Use standard woodworking tools | ★ | ★ |
| Safety milled, shaped, and molded without special safety equipment | ★ | ★ |
| Can be heat-formed | ★ | |
| Fasten close to edge without predrilling | ★ | |
| BEAUTY | | |
| Readily accepts paint* | ★ | ★ |
| Can be crafted for unique applications | ★ | † |
| EXTRAS | | |
| Available in trim boards, sheets, cornerboards, beadboard, and mouldings | ★ | |
| Special labor-saving solution profiles available | ★ | |

★ ALL PRODUCTS MEET CRITERIA
† SOME PRODUCTS MEET CRITERIA

*PaintPro must be painted within 180 days of installation.
Visit [AZEKexteriors.com/products/trim/trim-boards/paintpro-trim](https://www.AZEKexteriors.com/products/trim/trim-boards/paintpro-trim).



GET FREE TRIM SAMPLES WITH
PAINTPRO® TECHNOLOGY



CLASSIC AZEK

Available in smooth or woodgrain finish

PAINTPRO TECHNOLOGY

Reversible (one side smooth, one side woodgrain)



All AZEK Trim is long-lasting, moisture-resistant, and keeps its appearance with very little maintenance. Easily mill and router our trim, or heat form it before painting, for exquisite customized or curved applications. Classic AZEK Trim's brilliant white complements any exterior while AZEK Trim with PaintPro® was made to be painted.

PROTECTIVE FILM KEEPS CLASSIC WHITE TRIM CLEAN

Classic AZEK Trim with protective film is available for smooth and woodgrain finishes. To ensure it looks as beautiful on your client's home as it does when it leaves our facilities, a protective film preserves AZEK Trim's crisp white semi-matte finish.

| NOMINAL THICKNESS | NOMINAL WIDTH | | | | | | |
|-------------------|---------------|----|----|----|----|----|----|
| | 4 | 5 | 6 | 8 | 10 | 12 | 16 |
| 5/4 | SW | SW | SW | SW | SW | SW | SW |
| 4/4 | SW | SW | SW | SW | SW | SW | SW |
| 5/8 | SW | SW | SW | SW | SW | SW | SW |



The film protects AZEK Trim through every production phase:

- Shipping
- Repackaging
- Installation
- Storage
- Handling

AZEK Trim with protective film should be kept dry prior to installation. Do not expose film to direct sunlight for extended periods. Protective film can be removed prior to, during, or immediately after installation.

AZEK® TRIM

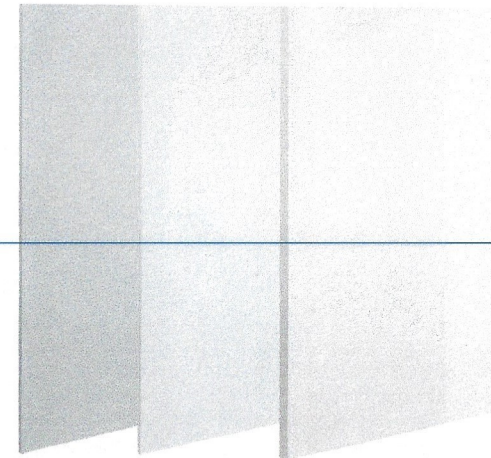
| 8/4 X THICKNESS | | |
|-----------------|------------------|-----|
| NOMINAL | ACTUAL | 18' |
| 8/4 x 4 | 1 1/2" x 3 1/2" | S |
| 8/4 x 6 | 1 1/2" x 5 1/2" | S |
| 8/4 x 8 | 1 1/2" x 7 1/2" | S |
| 8/4 x 10 | 1 1/2" x 9 1/2" | S |
| 8/4 x 12 | 1 1/2" x 11 1/2" | S |

| 6/4 X THICKNESS | | |
|-----------------|------------------|-----|
| NOMINAL | ACTUAL | 20' |
| 6/4 x 4 | 1 1/2" x 3 1/2" | W |
| 6/4 x 6 | 1 1/2" x 5 1/2" | W |
| 6/4 x 8 | 1 1/2" x 7 1/2" | W |
| 6/4 x 10 | 1 1/2" x 9 1/2" | W |
| 6/4 x 12 | 1 1/2" x 11 1/2" | W |

| 5/4 X THICKNESS | | | | | | |
|-----------------|--------------|-----|-----|-----|-----|--|
| NOMINAL | ACTUAL | 12' | 16' | 18' | 20' | |
| 5/4 x 4 | 1" x 3 1/2" | SW | P | SW | SW | |
| 5/4 x 5 | 1" x 4 1/2" | SW | | SW | SW | |
| 5/4 x 6 | 1" x 5 1/2" | SW | P | SW | SW | |
| 5/4 x 8 | 1" x 7 1/2" | SW | P | SW | SW | |
| 5/4 x 10 | 1" x 9 1/2" | SW | P | SW | SW | |
| 5/4 x 12 | 1" x 11 1/2" | SW | P | SW | SW | |
| 5/4 x 16 | 1" x 15 1/2" | SW | P | SW | SW | |

| 4/4 X THICKNESS | | | | | |
|-----------------|----------------|-----|-----|-----|--|
| NOMINAL | ACTUAL | 12' | 16' | 18' | |
| 1 x 2 | 3/4" x 1 1/2" | | P | SW | |
| 1 x 3 | 3/4" x 2 1/2" | | P | | |
| 1 x 4 | 3/4" x 3 1/2" | SW | P | SW | |
| 1 x 5 | 3/4" x 4 1/2" | SW | | SW | |
| 1 x 6 | 3/4" x 5 1/2" | SW | P | SW | |
| 1 x 8 | 3/4" x 7 1/2" | SW | P | SW | |
| 1 x 10 | 3/4" x 9 1/2" | SW | P | SW | |
| 1 x 12 | 3/4" x 11 1/2" | SW | P | SW | |
| 1 x 16 | 3/4" x 15 1/2" | SW | P | SW | |

| 5/8 X THICKNESS | | |
|-----------------|-----|-----|
| ACTUAL | 12' | 18' |
| 5/8" x 3 1/2" | SW | SW |
| 5/8" x 5 1/2" | SW | SW |
| 5/8" x 7 1/2" | SW | SW |
| 5/8" x 9 1/2" | SW | SW |
| 5/8" x 11 1/2" | SW | SW |
| 5/8" x 15 1/2" | SW | SW |



PaintPro Sheet Sheet ATM Sheet

AZEK SHEET

Applications over 16" wide are easy with AZEK Sheet. Use Sheet for bay windows, dormers, and raised panels.

| SHEET | | | | | |
|-----------|-----|-----|-----|-----|-----|
| ACTUAL | 8' | 10' | 12' | 18' | 20' |
| 3/8" x 4' | SW | SW | S | S | |
| 1/2" x 4' | SWP | SWP | SP | S | |
| 5/8" x 4' | S | S | S | S | |
| 3/4" x 4' | SWP | SWP | S | S | |
| 1" x 4' | S | S | S | S | S |

AZEK-TO-MILL (ATM)

ATM's thick profile makes it an ideal material for fabrication. Its consistent density offers a superior product for milling operations.

| AZEK-TO-MILL | | | | | |
|--------------------|----|-----|-----|-----|-----|
| ACTUAL | 8' | 10' | 12' | 18' | 20' |
| 1 1/2" x 9 1/2" | | | | S | |
| 1 1/2" x 3 1/2" | | | | S | |
| 1 1/2" x 5 1/2" | | | | S | |
| 1 1/2" x 7 1/2" | | | | S | |
| 1 1/2" x 9 1/2" | | | | S | |
| 1 1/2" x 11 1/2" | | | | S | |
| 1 1/2" x 48" Sheet | S | | | | |
| 1 1/2" x 48" Sheet | S | S | S | | S |

AZEK® MOULDING

With over 30 different profiles to mix and match, you can customize any build with a distinctive look.



BED MOULDING

Similar to crown moulding, a bed mould is used to cover the joint between the ceiling and wall.

RAMS CROWN

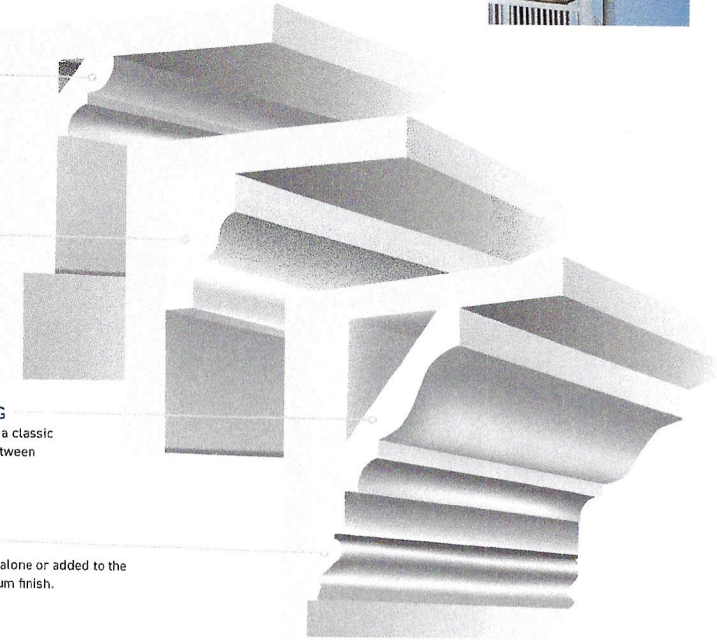
Consider installing Rams Crown at the top of a column or post, or use in place of a crown for a distinctive look.

CROWN MOULDING

Crown Moulding is used for a classic look, bridging the corner between the wall and ceiling.

BAND MOULDING

Band Moulding can be used alone or added to the base of a crown for a premium finish.

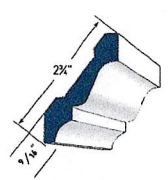
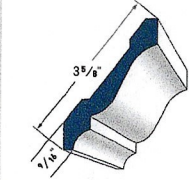
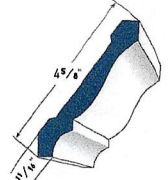
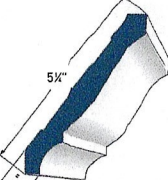
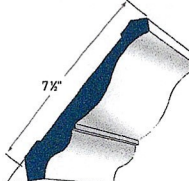
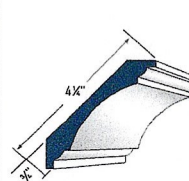
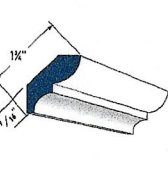
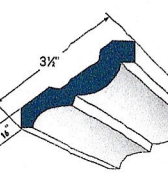
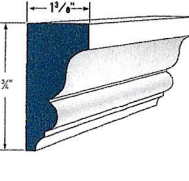
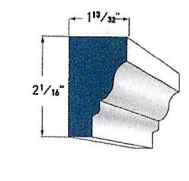
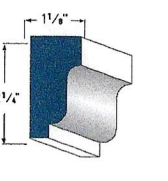
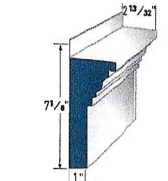


THE MOST BEAUTIFUL, HIGH-PERFORMANCE MOULDING LINE AVAILABLE

With crisp, architectural details reminiscent of premium wood mouldings, high-performance AZEK® Moulding will last beautifully without the maintenance hassles associated with wood. Backed by AZEK's promise of high quality and lasting performance, AZEK Moulding will retain a like-new appearance despite the tests of time and weather. AZEK Moulding offers greater stability and predictability when fastening. Unlike traditional wood moulding, AZEK Moulding resists moisture and insect damage and will not rot or split.

CROWN PROFILES

Crown moulding profiles are typically decorative mouldings designed for use along the intersection of a wall or ceiling. They may be combined with other mouldings to create a built-up profile.

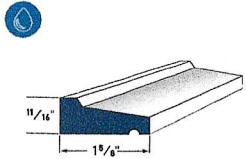
| | | | |
|---|--|---|--|
|  <p>3" CROWN AZM-52 LENGTH: 16'</p> |  <p>4" CROWN AZM-49 LENGTH: 16'</p> |  <p>5" CROWN AZM-47 LENGTH: 16'</p> |  <p>6" CROWN AZM-45 LENGTH: 16'</p> |
|  <p>8" CROWN AZM-43 LENGTH: 16'</p> |  <p>COVE MOULDING AZM-80 LENGTH: 16'</p> |  <p>BED MOULDING AZM-75 LENGTH: 16'</p> |  <p>3 1/2" BED MOULDING AZM-28 LENGTH: 16'</p> |
|  <p>IMPERIAL RAKE CROWN AZM-6937 LENGTH: 16'</p> |  <p>RAMS CROWN AZM-6934 LENGTH: 16'</p> |  <p>SOLID CROWN AZM-7954 LENGTH: 16'</p> |  <p>CROSSHEAD PEDIMENT AZM-6216 LENGTH: 18'</p> |

DETAIL & SILL/DRIP PROFILES

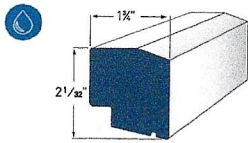
AZEK® Drip profiles can be used as a water table or brick ledge for separation and watershed against two different materials. AZEK Sill profiles shed water and offer architectural detail.



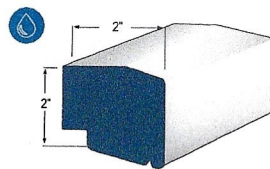
Denotes Water Management Drip Edge



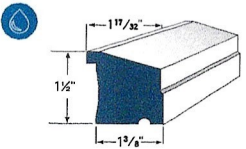
DRIP CAP AZM-197
LENGTH: 16'



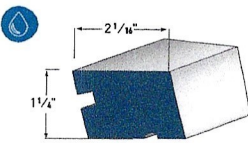
HISTORIC SILL AZM-6930
LENGTH: 16'



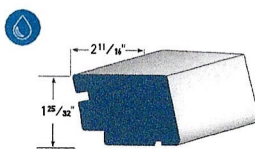
LARGE SILL NOSE AZM-7979
LENGTH: 16'



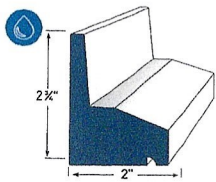
SUB SILL NOSE AZM-6933
LENGTH: 16'



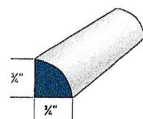
WINDOW SILL NOSE AZM-7974
LENGTH: 12'



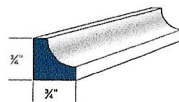
LARGE HISTORIC SILL AZM-7958
LENGTH: 16'



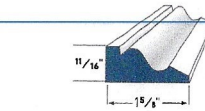
WATER TABLE AZM-6935
LENGTH: 18'



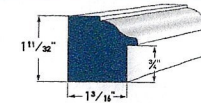
QUARTER ROUND AZM-105
LENGTH: 16'



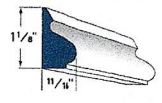
SCOTIA AZM-93
LENGTH: 16'



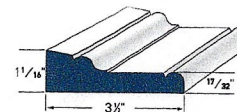
BAND MOULDING AZM-217
LENGTH: 16'



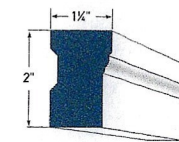
BACK BAND AZM-6931
LENGTH: 16'



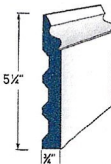
BASE CAP AZM-164
LENGTH: 16'



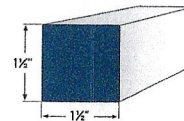
ADAMS CASING AZM-97
LENGTH: 16'



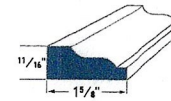
BRICK MOULD AZM-180
LENGTHS: 16', 17' and 18'



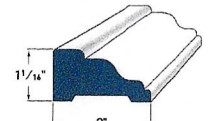
COLONIAL BASE CAP AZM-163
LENGTH: 16'



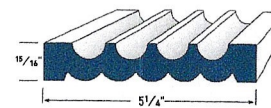
SQUARE PROFILE AZM-236
LENGTH: 12'



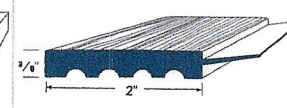
SHINGLE MOULD AZM-210
LENGTH: 16'



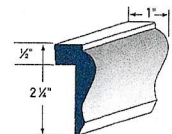
RAKE MOULDING AZM-287
LENGTH: 16'



FLUTED/REEDED AZM-606
LENGTH: 16'



GARAGE DOOR THERMOSTOP AZM-6936
LENGTHS: 7', 9', and 16'



WAINSCOT CAP AZM-284
LENGTH: 16'

*18' Brick Mould (AZM-180) is available in full units only and cannot be ordered via the Pick & Pack program.

V. HVAC & Venting

-Install two new HVAC systems w/ condenser on north side of property along brick foundation,

-Bosch Thermotechnology, Bosch 2.0 IDS, 3.00 Ton, Heat Pump (2)

-See attached Bosch Specification Sheet for more details

IDS Family

Quick Start Guide



**Before Everything,
There's Bosch.**

Simple. Reliable. Innovative.



BOVA15

BVA15

BOVB18

BVA20

BOVA20

BVA20

BOVB20

BVA20

IDS Light

15 SEER System

IDS Plus

18 SEER System

IDS Premium

20 SEER System

IDS Premium Connected

20 SEER System

Bosch IDS Family of Inverter Heat Pumps

The robust Bosch Inverter Ducted Split Air Source Heat Pump system utilizes just the right amount of energy to achieve ultimate comfort at maximum efficiency while keeping sound levels to a minimum.

Designed for easy installation & start-up | Support & spare parts readily available | Easy to maintain & service

Invented for life



BOSCH

Project Address: 33 JOHNSON COURT

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 2

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 36,912 SF +/-
- Estimated Age of Structure: c.1910
- Building Style: Vernacular
- Number of Stories: 1.5
- Historical Significance: Contributing
- Public View of Proposed Work: Johnson Court and South Mill Pond
- Unique Features: N/A
- Neighborhood Association: South End



B. Proposed Work: Install roof mounted solar panels.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Installation of roof top mounted solar panels. No other land use approvals are required.



D. Purpose and Intent:

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



January 26, 2024

To: ReVision Energy
7 Commercial Drive
Brentwood, NH 03833

Subject: Structural Certification for Installation of Solar Panels
Morales Residence
33 Johnson Court
Portsmouth, NH. 03801

To Whom It May Concern,

A design check for the subject residence was done on the existing roofing and framing systems for the installation of solar panels over the roof. From a field inspection of the property, the existing roof support structures were observed by the client's auditors as follows:

The roof structure of (MP1) consists of composition shingle over plywood sheathing on 1x decking that is supported by nominal 2x6 rafters @ 24" o.c., paired with nominal 2x6 ceiling joists @ 24" o.c.. The rafters have a max projected horizontal span of 11'-6", with a slope of 30 degrees. The rafters are connected at the ridge to a continuous 1x8 ridge board and are supported at the eave by a load bearing wall. There are 2x4 vertical struts at 48" o.c. that connect the ridge to the ceiling joists.

The roof structure of (MP2) consists of composition shingle on roof plywood that is supported by nominal 2x8 rafters @ 16" o.c., paired with nominal 2x6 ceiling joists @ 16" o.c.. The rafters have a max projected horizontal span of 8'-8", with a slope of 30 degrees. The rafters are connected at the ridge to a continuous 2x12 ridge board and are supported at the eave by a load bearing wall.

The existing roof framing system of (MP1) is judged to be inadequate to withstand the loading imposed by the installation of the solar panels. Structural reinforcement is required. Sister upgrade is required for (MP1). Stitch new 10'-0" long 2x6 SPF#2 or DF#2 (min) to existing member with Simpson SDW 22300 screws @ 16" o.c. or 10d nails @ 6" o.c..

The existing roof framing system of (MP2) is judged to be adequate to withstand the loading imposed by the installation of the solar panels. No reinforcement is necessary.

The spacing of the solar standoffs should be kept at 48" o.c. with a staggered pattern to ensure proper distribution of loads in wind zones 1 and 2, and less than 32" o.c. in wind zone 3. For composition shingle roofs, each standoff shall have (1) #14 x 4" L roofing screw connecting to the rafters, or (6) #14 x 3" L roofing screws connecting to the roof sheathing.

I further certify that all applicable loads required by the codes and design criteria listed below were applied to the Ironridge solar rail system and analyzed by the manufacturer. Furthermore, the installation crews have been thoroughly trained to install the solar panels based on the specific roof installation instructions developed by Ironridge for the racking system and Ironridge for the roof connections. Finally, I accept the certifications indicated by the solar panel manufacturer for the ability of the panels to withstand high wind and snow loads.

Design Criteria:

- Applicable Codes = 2018 IBC/IRC, ASCE 7-16, and 2015 NDS
- Roof Dead Load = 10.8 psf (MP1) -- 8.77 psf (MP2)
- Roof Live Load = 20 psf



EAH Structural Consulting
11 Ponybrook Lane
Lexington, MA 02421
PHONE 1.978.406.8921
Elaine@EAHstructural.com

- Wind Speed = 125 mph, Exposure C
- Ground Snow Load = 50 psf - Roof Snow Load = 38.5 psf

Please contact me with any further questions or concerns regarding this project.

Sincerely,

Elaine Huang, P.E.
Project Engineer



Gravity Loading

| Roof Snow Load Calculations | | |
|---|-----------------|-----------------------|
| p_g = Ground Snow Load = | 50 psf | |
| $p_f = 0.7 C_e C_t I p_g$ | | (ASCE7 - Eq 7.3-1) |
| C_e = Exposure Factor = | 1 | (ASCE7 - Table 7.3-1) |
| C_t = Thermal Factor = | 1.1 | (ASCE7 - Table 7.4-1) |
| I = Importance Factor = | 1 | |
| p_f = Flat Roof Snow Load = | 38.5 psf | |
| $p_s = C_s p_f$ | | (ASCE7 - Eq 7.4-1) |
| C_s = Slope Factor = | 1 | |
| p_s = Sloped Roof Snow Load = | 38.5 psf | |

PV Dead Load = 4 psf (Per ReVision Energy)

| Roof Dead Load (MP1) | | |
|--------------------------------|-----------------|-----------------------|
| Composition Shingle | 2.50 | |
| 1x Decking | 3.00 | |
| Double 2x6 Rafters @ 24"o.c. | 2.30 | |
| Vaulted Ceiling | 0.00 | (Ceiling Not Vaulted) |
| Miscellaneous | 3.00 | |
| Total Roof DL (MP1) | 10.8 psf | |
| DL Adjusted to 30 Degree Slope | 12.5 psf | |

| Roof Dead Load (MP2) | | |
|--------------------------------|----------------|-----------------------|
| Composition Shingle | 2.50 | |
| Roof Plywood | 2.00 | |
| 2x8 Rafters @ 16"o.c. | 2.27 | |
| Vaulted Ceiling | 0.00 | (Ceiling Not Vaulted) |
| Miscellaneous | 2.00 | |
| Total Roof DL (MP2) | 8.8 psf | |
| DL Adjusted to 30 Degree Slope | 10.13 | |

Wind Calculations

Per ASCE 7-16 Chapter 29.4

| Input Variables | | |
|----------------------|------------|----------|
| Wind Speed | 125 mph | Ultimate |
| Exposure Category | C | |
| Roof Shape | gable | |
| Roof Slope | 30 degrees | |
| Mean Roof Height | 25 ft | |
| Building Least Width | 40 ft | |
| Effective Wind Area | 21.2 ft | |

| Design Wind Pressure Calculations | | |
|---|--|-----------------|
| Wind Pressure $P = qh*(G*Cp) * rE * ra$ | | (Eq_29.4-7) |
| $qh = 0.00256 * Kz * Kzt * Kd * Ke * V^2 * I$ | | (Eq_26.10-1) |
| Kz (Exposure Coefficient) = 0.94 | | (Table 26.10-1) |
| Kzt (topographic factor) = 1 | | (Fig. 26.8-1) |
| Kd (Wind Directionality Factor) = 0.85 | | (Table 26.6-1) |
| V (Design Wind Speed) = 125 mph | | |
| I Importance Factor = 1 | | (Table 1.5-1) |
| $qh = 31.96$ | | |
| $rE = 1.00$ | | (Fig. 29.4-7) |
| $r_a = 0.75$ | | (Fig. 29.4-8) |

| Standoff Uplift Calculations | | | | | |
|------------------------------|----------------|----------------|----------------|----------|------------------|
| | Zone 1 | Zone 2 | Zone 3 | Positive | |
| $G_{Cp} =$ | -1.50 | -1.80 | -2.20 | 0.80 | (Fig. 30.4-2) |
| Uplift Pressure = | -35.96 psf | -43.15 psf | -52.73 psf | 25.6 psf | |
| 0.6 x Uplift Pressure | -21.57 psf | -25.89 psf | -31.64 psf | | (ASCE-7 2.4.1.7) |
| X Standoff Spacing = | 4.00 | 4.00 | 2.67 | | |
| Y Standoff Spacing = | 3.25 | 3.25 | 3.25 | | |
| Tributary Area = | 13.00 | 13.00 | 8.68 | | |
| Footing Uplift = | -280 lb | -337 lb | -275 lb | | |

| Standoff Uplift Check | |
|---------------------------------|----------------------|
| Maximum Design Uplift = | -337 lb |
| Standoff Uplift Capacity = | 400 lb |
| 400 lb capacity > 337 lb demand | Therefore, OK |

| Fastener Uplift Capacity Check | |
|---------------------------------|------------------------|
| Fastener = | 1 - 5/16" dia Lag |
| Number of Fasteners = | 1 |
| Embedment Depth = | 2.5 |
| Pullout Capacity Per Inch = | 205 lb (NDS Eq 12.2-1) |
| Fastener Capacity = | 513 lb (NDS Eq 11.3-1) |
| w/ F.S. of 1.0 = | 513 lb |
| 513 lb capacity > 337 lb demand | Therefore, OK |

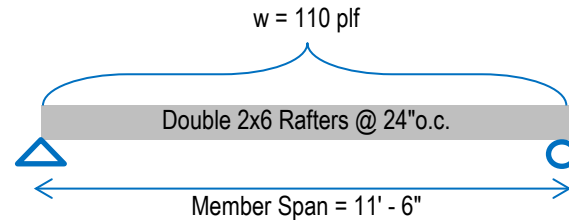
Framing Check

(MP1)

PASS - With Framing Upgrades

Dead Load 12.5 psf
 PV Load 4.0 psf
 Snow Load 38.5 psf

Governing Load Combo = DL + SL
Total Load 55.0 psf



Member Properties - Based on Upgraded Section

| Member Size | S (in ³) | I (in ⁴) | Lumber Sp/Gr | Member Spacing |
|-------------|----------------------|----------------------|--------------|----------------|
| Double 2x6 | 15.13 | 41.59 | HF#1 | @ 24"o.c. |

Check Bending Stress

$F_b \text{ (psi)} = f_b \times C_d \times C_f \times C_r$ (NDS Table 4.3.1)
 $975 \times 1.15 \times 1.3 \times 1.15$
 Allowed Bending Stress = 1676.2 psi

Maximum Moment = $(wL^2) / 8$
 = 1817.47 ft#
 = 21809.7 in#
 Actual Bending Stress = (Maximum Moment) / S
 = 1442 psi

Allowed > Actual -- 86.1% Stressed -- Therefore, OK

Check Deflection

Allowed Deflection (Total Load) = $L/180$ (E = 1500000 psi Per NDS)
 = 0.766 in
 Deflection Criteria Based on = Simple Span
 Actual Deflection (Total Load) = $(5 \cdot w \cdot L^4) / (384 \cdot E \cdot I)$
 = 0.694 in
 $L/199 < L/180$ **Therefore OK**

Allowed Deflection (Live Load) = $L/240$
 = 0.575 in
 Actual Deflection (Live Load) = $(5 \cdot w \cdot L^4) / (384 \cdot E \cdot I)$
 = 0.486 in
 $L/284 < L/240$ **Therefore OK**

Check Shear

Member Area = 16.5 in² F_v (psi) = 150 psi (NDS Table 4A)
 Allowed Shear = F_v * A / 1.5 = 1650 lb Max Shear (V) = w * L / 2 = 632 lb

Allowed > Actual -- 38.4% Stressed -- Therefore, OK

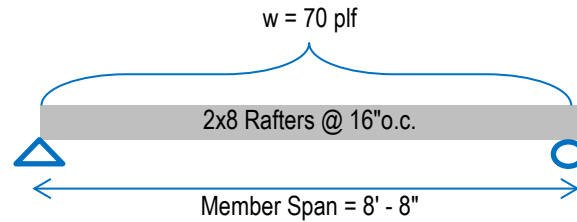
Framing Check

(MP2)

PASS

Dead Load 10.1 psf
 PV Load 4.0 psf
 Snow Load 38.5 psf

Governing Load Combo = DL + SL
Total Load 52.6 psf



| Member Properties | | | | |
|-------------------|----------------------|----------------------|--------------|----------------|
| Member Size | S (in ³) | I (in ⁴) | Lumber Sp/Gr | Member Spacing |
| 2x8 | 13.14 | 47.63 | SPF#2 | @ 16"o.c. |

| Check Bending Stress | | | | | | | | |
|----------------------|-----|---|------|---|-----|---|------|-------------------|
| Fb (psi) = | fb | x | Cd | x | Cf | x | Cr | (NDS Table 4.3.1) |
| | 875 | x | 1.15 | x | 1.2 | x | 1.15 | |

Allowed Bending Stress = 1388.6 psi

Maximum Moment = $(wL^2) / 8$
 = 658.809 ft#
 = 7905.7 in#

Actual Bending Stress = (Maximum Moment) / S
 = 601.7 psi

Allowed > Actual - 43.4% Stressed -- Therefore, OK

Check Deflection

Allowed Deflection (Total Load) = $L/180$ (E = 1400000 psi Per NDS)
 = 0.577 in

Deflection Criteria Based on = Simple Span
 Actual Deflection (Total Load) = $(5*w*L^4) / (384*E*I)$
 = 0.134 in
 = L/777 < L/180 **Therefore OK**

Allowed Deflection (Live Load) = $L/240$
 = 0.433 in
 Actual Deflection (Live Load) = $(5*w*L^4) / (384*E*I)$
 = 0.098 in
 = L/1062 < L/240 **Therefore OK**

Check Shear

Member Area = 10.9 in² Fv (psi) = 135 psi (NDS Table 4A)
 Allowed Shear = Fv * A/1.5 = 979 lb Max Shear (V) = w * L / 2 = 304 lb

Allowed > Actual -- 31.1% Stressed -- Therefore, OK

PROJECT SUMMARY:

THE PROJECT SCOPE INCLUDES THE DESIGN, SPECIFICATION, PROCUREMENT, INSTALLATION AND COMMISSIONING OF A COMPLETE, TURN-KEY, GRID-TIED PHOTOVOLTAIC ELECTRIC SYSTEM.

| | |
|----------------|--|
| MODULE TYPE | (25) Q CELLS Q.PEAK DUO BLK ML-G10+ 410W |
| INVERTER | (25) ENPHASE IQ8A-72-2-US |
| OPTIMIZER | N/A |
| STORAGE SYSTEM | N/A |
| ARRAY PITCH | 30° |
| ARRAY AZIMUTH | 229° |
| RACKING | BLACK IRONRIDGE XRI00 ALUMINUM RAIL |
| ATTACHMENT | ECOSFASTEN GREENFASTEN GFI WITH SS 4" X 5/16" LAG SCREWS |

AUTHORITIES HAVING JURISDICTION:

| | |
|---------------------------|---------------|
| BUILDING AUTHORITY | PORTSMOUTH NH |
| ELECTRICAL AUTHORITY | PORTSMOUTH NH |
| ZONING/PLANNING AUTHORITY | PORTSMOUTH NH |
| ELECTRICAL UTILITY | EVERSOURCE |

DESIGN CRITERIA:

| | |
|-------------------|--------------------------|
| OCCUPANCY | RESIDENTIAL |
| DESIGN WIND LOAD | 125 MPH |
| RISK CATEGORY | II |
| GROUND SNOW LOAD | 50 PSF |
| EXPOSURE CATEGORY | B |
| ROOF HEIGHT | 20' ABOVE GRADE TO EAVES |
| ROOF COMPOSITION | ASPHALT SHINGLE |
| RAFTER | MPI 2X6", MPI 2X8" |
| RAFTER SPACING | MPI 24" OC, MP2 16" OC |

SHEET LIST:

| | |
|------|--------------------|
| G001 | TITLE SHEET |
| E100 | SITE PLAN |
| S100 | ROOF MODULE LAYOUT |
| S200 | RAIL CUT SHEET |
| E400 | ONE-LINE DIAGRAM |
| A200 | SAFETY PLAN |
| E700 | STICKER MAP |

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH LOCAL AND STATE ORDINANCES AND BUILDING CODES.
2. ELECTRICAL INSTALLATION SHALL COMPLY WITH STATE AND LOCALLY ADOPTED ELECTRICAL CODE.
3. ROOFTOP PENETRATIONS SHALL BE SEALED.
4. ALL EQUIPMENT SHALL BE LISTED AND TESTED BY A RECOGNIZED LABORATORY.
5. MODULE CONNECTORS MUST BE MATCHING BRAND AND TYPE OR BE A UL LISTED ASSEMBLY.
6. SYSTEM SHALL CONFORM TO RAPID SHUTDOWN REQUIREMENTS PER NEC 690.
7. CONDUIT RUNS BETWEEN SUB-ARRAYS, COMBINERS, AND DISCONNECTS SHALL BE INSTALLED IN THE MOST DIRECT ROUTE POSSIBLE.
8. ELECTRICAL EQUIPMENT SHALL BE INSTALLED TO MAINTAIN CLEARANCES REQUIRED BY NEC 110.
9. EQUIPMENT SHALL BE LABELED PER NEC 2020 REQUIREMENTS.
10. ENSURE INVERTER IS SET TO ISO-NE STANDARDS.



REVISION ENERGY

7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF
PRINT SIZE: 11" x 17"
SCALE: NA
DATE: 3/6/2024
DWG TITLE

TITLE SHEET

DWG NUMBER

G001

© COPYRIGHT REVISION ENERGY
THIS DIAGRAM IS PROVIDED AS A SERVICE AND IS BASED ON THE UNDERSTANDING OF THE INFORMATION SUPPLIED. IT IS SUBJECT TO CHANGE BASED ON ACTUAL CONDITIONS, APPLICABLE EDITION OF THE NATIONAL ELECTRIC CODE, AND LOCAL GOVERNMENTAL AUTHORITIES.

PROJECT SUMMARY:

| | |
|----------------|--|
| MODULE TYPE | (25) Q CELLS Q.PEAK DUO BLK ML-G10+ 410W |
| INVERTER | (25) ENPHASE IQ8A-72-2-US |
| OPTIMIZER | N/A |
| STORAGE SYSTEM | N/A |
| ARRAY PITCH | 30° |
| ARRAY AZIMUTH | 229° |
| RACKING | BLACK IRONRIDGE XRI00 ALUMINUM RAIL |
| ATTACHMENT | ECOSFASTEN GREENFASTEN GFI WITH SS 4" X 5/16" LAG SCREWS |

DESIGN CRITERIA:

| | |
|-------------------|--------------------------|
| OCCUPANCY | RESIDENTIAL |
| DESIGN WIND LOAD | 125 MPH |
| RISK CATEGORY | II |
| GROUND SNOW LOAD | 50 PSF |
| EXPOSURE CATEGORY | B |
| ROOF HEIGHT | 20' ABOVE GRADE TO EAVES |
| ROOF COMPOSITION | ASPHALT SHINGLE |
| RAFTER | MPI 2X6", MPI 2X8" |
| RAFTER SPACING | MPI 24" OC, MP2 16" OC |

EQUIPMENT LOCATIONS:

- INTERIOR:
 MAIN PANEL
 SERVICE DISCONNECT
 PV AC COMBINER PANEL
 PV AC SUPPLY SIDE DISCONNECT
- EXTERIOR:
 UTILITY NET METER
 LOCKABLE PV AC DISCONNECT (RSID)
 PV MODULES AND MICROINVERTERS



REVISION ENERGY

7 COMMERCIAL DRIVE
 BRENTWOOD, NH 03833
 (603)-679-1777

CLIENT:

ALBERT MORALES
 33 JOHNSON CT
 PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
 GRID TIED SOLAR PV SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF
 PRINT SIZE: 11" x 17"
 SCALE: NA
 DATE: 3/6/2024
 DWG TITLE

SITE PLAN

DWG NUMBER
 E100

© COPYRIGHT REVISION ENERGY
 THIS DIAGRAM IS PROVIDED AS A SERVICE AND IS BASED ON THE UNDERSTANDING OF THE INFORMATION SUPPLIED. IT IS SUBJECT TO CHANGE BASED ON ACTUAL CONDITIONS, APPLICABLE EDITION OF THE NATIONAL ELECTRIC CODE, AND LOCAL GOVERNMENTAL AUTHORITIES.



REVISION ENERGY

7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF

PRINT SIZE: 11" x 17"

SCALE: NA

DATE: 3/6/2024

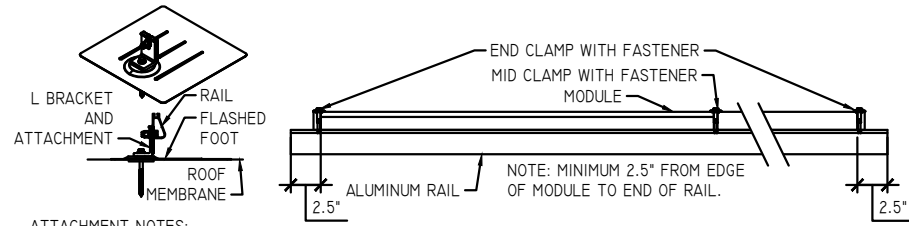
DWG TITLE

ROOF MODULE LAYOUT

DWG NUMBER

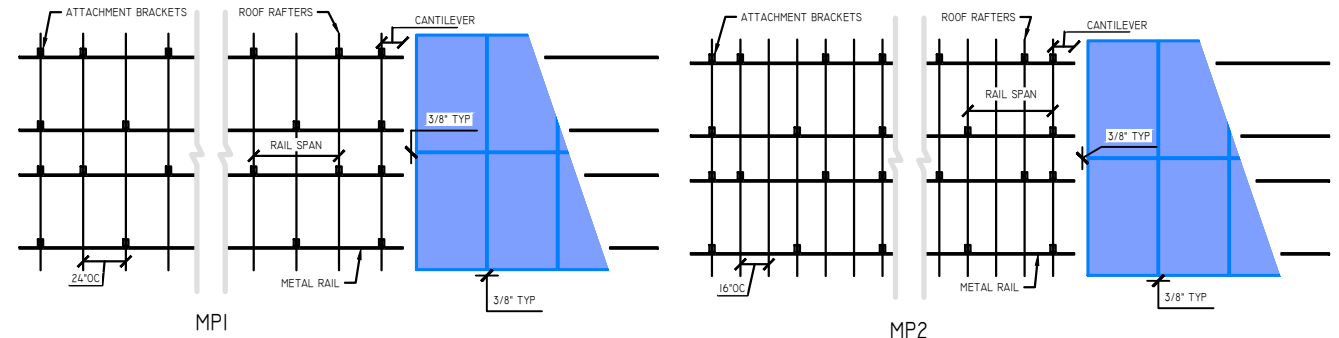
SI00

© COPYRIGHT REVISION ENERGY
THIS DIAGRAM IS PROVIDED AS
A SERVICE AND IS BASED ON THE
UNDERSTANDING OF THE
INFORMATION SUPPLIED. IT IS
SUBJECT TO CHANGE BASED ON
ACTUAL CONDITIONS, APPLICABLE
EDITION OF THE NATIONAL ELECTRIC
CODE, AND LOCAL GOVERNMENTAL
A U T H O R I T I E S .



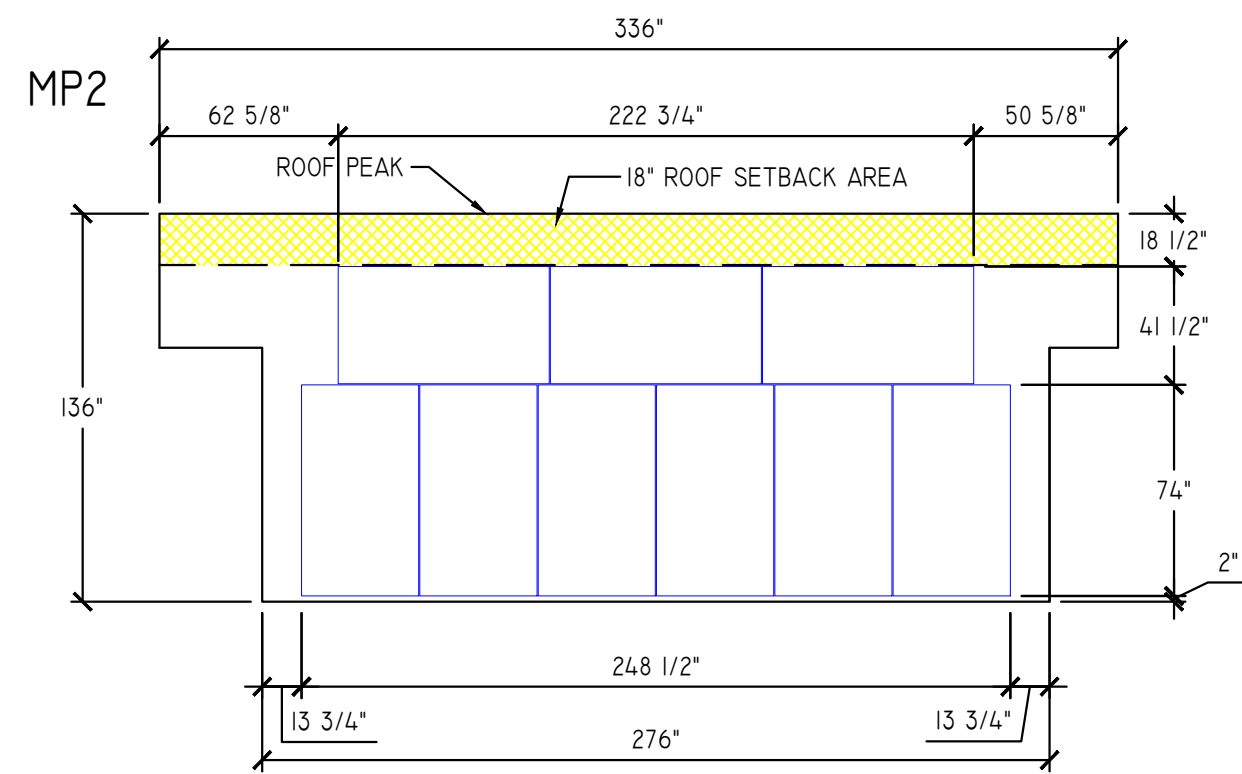
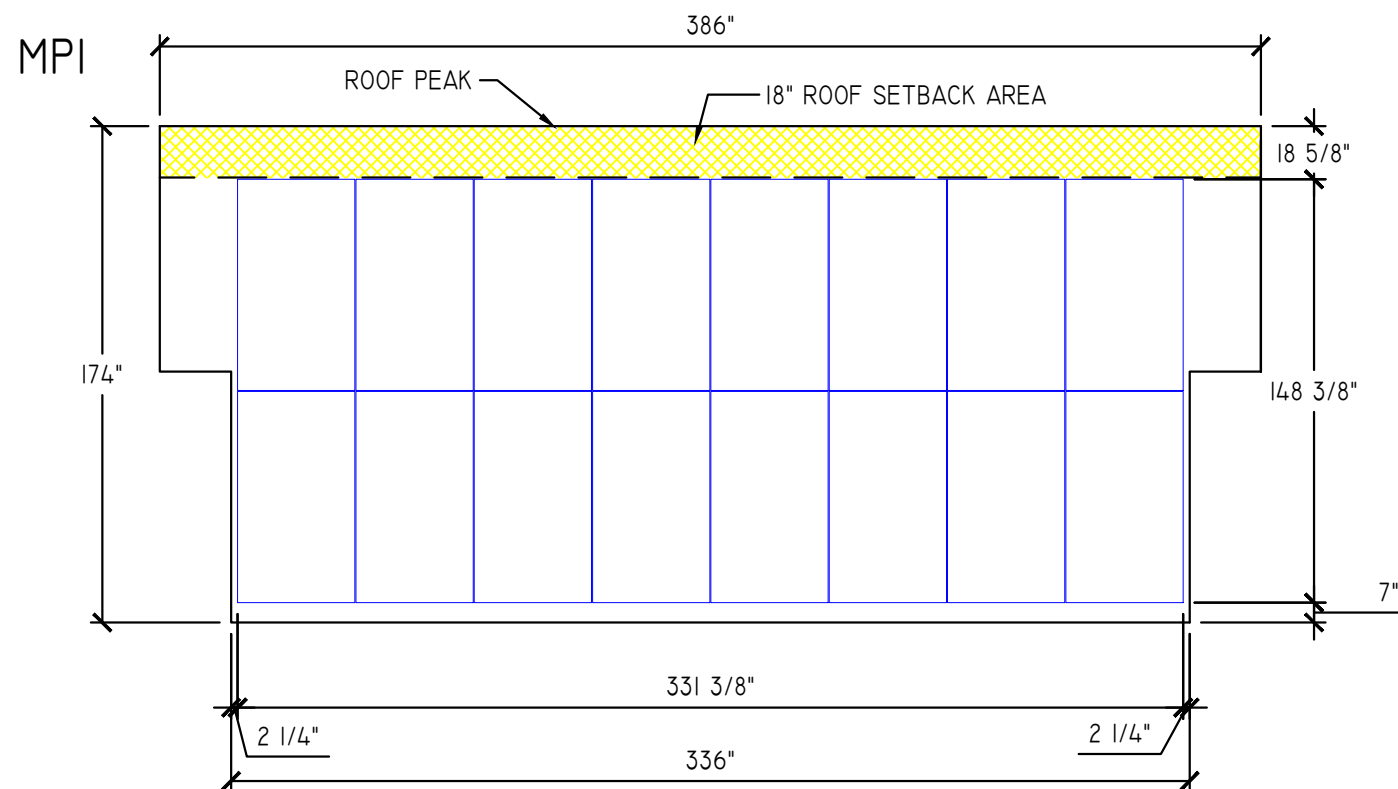
ATTACHMENT NOTES:

1. MAXIMUM RAIL LENGTH IS 100' BEFORE EXPANSION GAP IS REQUIRED.
2. MAXIMUM RAIL SPAN IS TYPICALLY 4'. THIS DISTANCE WILL VARY BASED ON ROOF SLOPE, SNOW LOAD, WIND SPEED, AND EXPOSURE CATEGORY.
3. MAXIMUM RAIL CANTILEVER DISTANCE IS 0.40 X RAIL SPAN.
4. SEAL ALL ATTACHMENT POINTS WITH GEOCELL. SEALS SHALL BE WATERTIGHT BETWEEN THE ATTACHMENT BRACKETS, ROOF MATERIAL AND STRUCTURAL MEMBERS.
5. ROOF ATTACHMENTS SHALL BE STAGGERED FOR EVEN DISTRIBUTION OF LOAD ON ROOF RAFTERS.
6. CLEARANCE BETWEEN THE ROOF AND THE BOTTOM OF THE MODULES SHALL BE A MINIMUM OF 2"



| ATTACHMENT SPACING BY ROOF ZONE | | | |
|---------------------------------|--------|--------|-------------------|
| ZONE # | ZONE 1 | ZONE 2 | ZONE 3 |
| MAX. RAIL SPAN (IN.) | 48 | 48 | MPI 24, MP2 32 |
| MAX. CANTILEVER (IN.) | 19.2 | 19.2 | 19.2 |

A
N.T.S. ROOF ATTACHMENT AND SPACING DETAILS

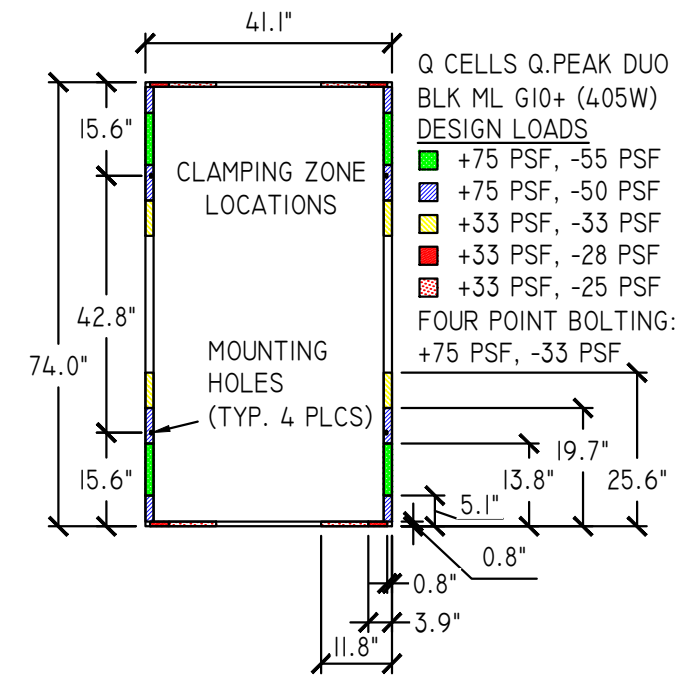
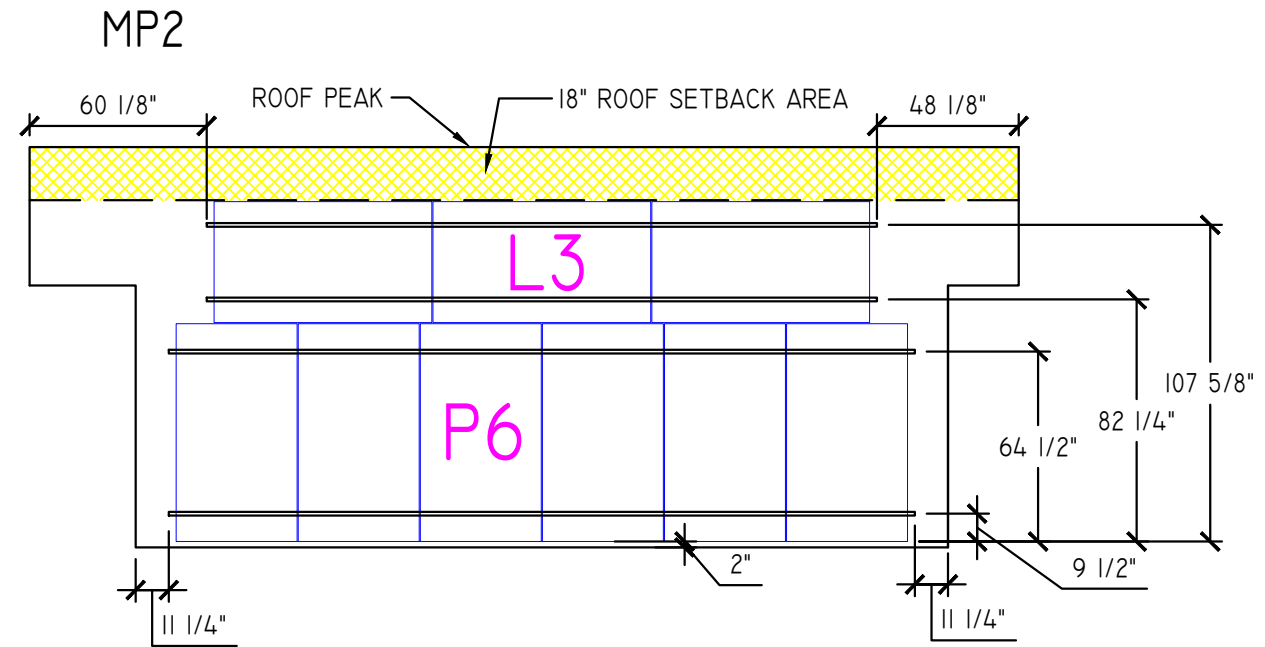
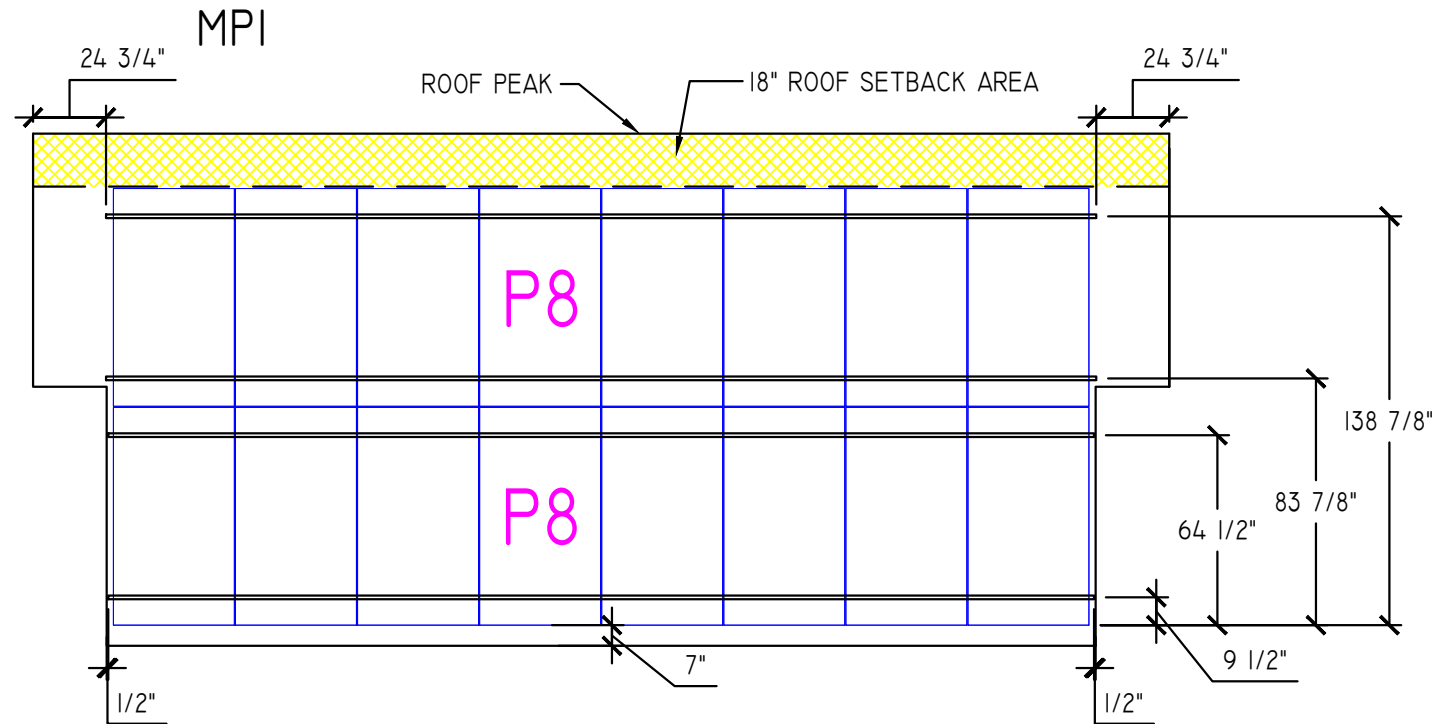


| SUMMARY | | | |
|------------|-------------------------------------|--------------------------|------------------|
| TYPE | PRODUCT | DIMENSIONS | QUANTITY |
| MODULE: | Q CELLS Q.PEAK DUO BLK ML-G10+ 410W | 41.14IN x 73.98IN x 32MM | 25 |
| RAIL: | IRON RIDGE XRI00 - 17' | 204 IN | (8) FULL (8) CUT |
| FASTENERS: | IRON RIDGE UFO | 0.375 IN | 60 MIN |

| INVERTER | WATTS / STRING | MAX MODS PER STRING |
|----------------------|----------------|---------------------|
| ENPHASE IQ8A-72-2-US | N/A | 11 |

| RAIL LENGTH | | | | | | | | | | |
|------------------|-------------------------|--------------------------|----------------|--------------------|------------------|------------------|-------------|----------------|---------|--|
| RAIL SECTION TAG | NUMBER OF RAIL SECTIONS | QTY OF PANELS IN SECTION | RAFTER SPACING | MODULE ORIENTATION | RAIL ORIENTATION | RAIL LENGTH (IN) | FULL STICKS | CUT PIECE (IN) | | |
| P6 | 2 | 6 | 16" | PORTRAIT | HORIZONTAL | 253 3/4 | 1 | (1) | 49 3/4 | |
| P8 | 4 | 8 | 24" | PORTRAIT | HORIZONTAL | 336 3/4 | 1 | (1) | 132 3/4 | |
| L3 | 2 | 4 | 16" | LANDSCAPE | HORIZONTAL | 302 | 1 | (1) | 98 | |

| CUT LIST | |
|------------------|-----|
| RAIL LENGTH (IN) | QTY |
| FULL (17') | 8 |
| 49 3/4 | 2 |
| 132 3/4 | 4 |
| 98 | 2 |



REVISION ENERGY

7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF

PRINT SIZE: 11" x 17"

SCALE: NA

DATE: 3/6/2024

DWG TITLE

RAIL CUT SHEET

DWG NUMBER

S200

© COPYRIGHT REVISION ENERGY
THIS DIAGRAM IS PROVIDED AS
A SERVICE AND IS BASED ON THE
UNDERSTANDING OF THE
INFORMATION SUPPLIED. IT IS
SUBJECT TO CHANGE BASED ON
ACTUAL CONDITIONS, APPLICABLE
EDITION OF THE NATIONAL ELECTRIC
CODE, AND LOCAL GOVERNMENTAL
A U T H O R I T I E S .



REVISION ENERGY

7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

| MODULE SPECIFICATIONS | | |
|--|-------|------|
| Q CELLS Q.PEAK DUO BLK ML-G10+ 410W QTY 25 | | |
| STC RATING | 410 | W |
| Vmp | 38.48 | V |
| Imp | 10.65 | A |
| Voc | 45.31 | V |
| Isc | 11.11 | A |
| TEMP COEFF. Voc | -0.27 | %/°C |

| MODULE-LEVEL DC OPTIMIZER SPECIFICATIONS | | |
|--|-----|---|
| QTY | | |
| NOMINAL DC RATING (WATTS) | N/A | W |
| MAX OUTPUT CURRENT Idc | N/A | A |

| GRID TIED INVERTER SPECIFICATIONS | | |
|-----------------------------------|------|---|
| ENPHASE IQ8A-72-2-US QTY 25 | | |
| NOMINAL AC RATING (WATTS) | 349 | W |
| NOMINAL V _{AC} | 240 | V |
| MAX I _{AC} | 1.45 | A |
| CEC EFFICIENCY | 96.5 | % |

| STICKER CALCULATIONS | | |
|----------------------------|-------|---|
| MAXIMUM DC VOLTAGE | N/A | V |
| MAXIMUM DC CIRCUIT CURRENT | N/A | A |
| RATED AC OUTPUT CURRENT | 36.25 | A |

| |
|-------------|
| MONITORING |
| HOME ROUTER |

DESIGN NOTES:

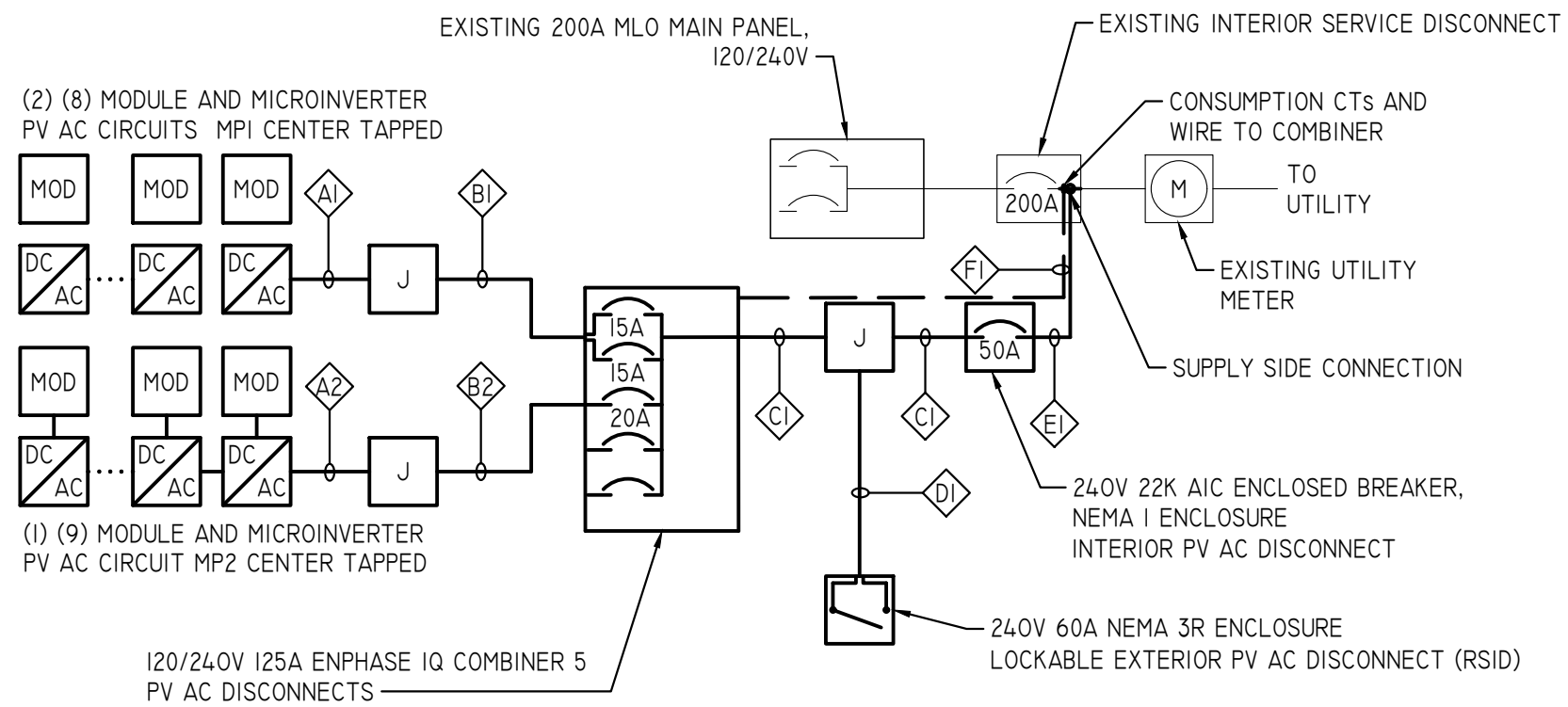
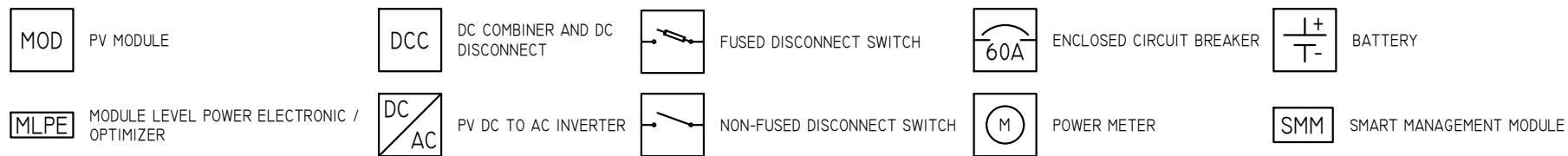
- ALL CONDUCTORS SHALL BE COPPER UNLESS NOTED OTHERWISE.
- SYSTEM VOLTAGE DROP SHALL NOT EXCEED 5%
- LOWEST EXPECTED AMBIENT TEMPERATURE IS BASED ON ASHRAE EXTREME MIN FOR THE SPECIFIED LOCATION.
- AVERAGE HIGH TEMPERATURE IS BASED ON ASHRAE 2% AVG. FOR THE SPECIFIED LOCATION.

LINE TYPES:

— EXISTING
— NEW

| WIRING SCHEDULE | | | | | | | | |
|-----------------|---|------------------------------|----------------|-------------|----------------------|--------------|----------|--------------|
| TAG | FROM / TO | CONDUCTORS | WIRE TYPE | LENGTH (FT) | AS BUILT LENGTH (FT) | VOLTAGE DROP | CONDUIT | CONDUIT FILL |
| A1 | MPI PV ARRAY / JUNCTION BOX | L:(4) #12 G:(1) #6 | Q-CABLE, PORT | 25 | | 0.15% | | |
| B1 | JUNCTION BOX / ENPHASE IQ COMBINER PANEL | L:(4) #10 G:(1) #10 | THWN-2 600V CU | 70 | | 0.81% | 3/4" EMT | 20% |
| A2 | MP2 PV ARRAY / JUNCTION BOX | L:(2) #12 G:(1) #6 | Q-CABLE, PORT | 20 | | 0.15% | | |
| B2 | JUNCTION BOX / ENPHASE IQ COMBINER PANEL | L:(2) #10 G:(1) #10 | THWN-2 600V CU | 60 | | 0.78% | 3/4" EMT | 12% |
| C1 | ENPHASE IQ COMBINER PANEL / INTERIOR PV AC DISCONNECT | L:(2) #8 N:(1) #10 G:(1) #10 | THWN-2 600V CU | 15 | | 0.35% | 3/4" EMT | 22% |
| D1 | JUNCTION BOX / EXTERIOR PV AC DISCONNECT (RSID) | L:(4) #8 N:(2) #10 G:(1) #10 | THWN-2 600V CU | 20 | | 0.47% | 1" EMT | 24% |
| E1 | INTERIOR PV AC DISCONNECT / SUPPLY-SIDE INTERCONNECTION | L:(2) #6 N:(1) #6 | THWN-2 600V CU | 10 | | 0.15% | 3/4" EMT | 29% |
| F1 | ENPHASE IQ COMBINER PANEL / SUPPLY-SIDE INTERCONNECTION | L:(2) | CAT 5E | 25 | | 0.00% | | |

SYMBOLS:



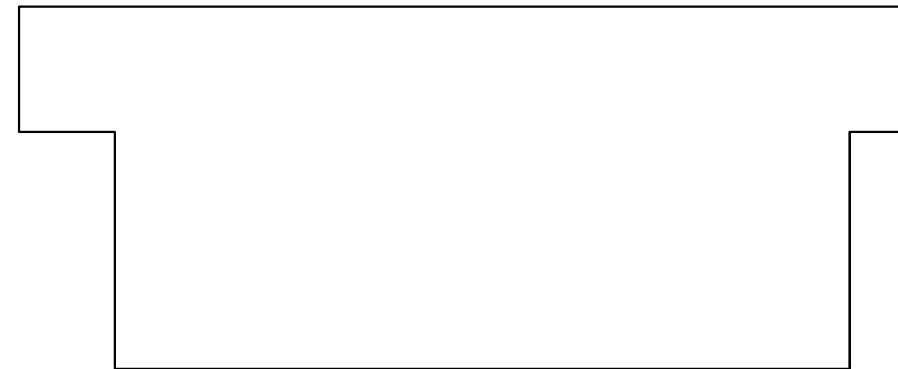
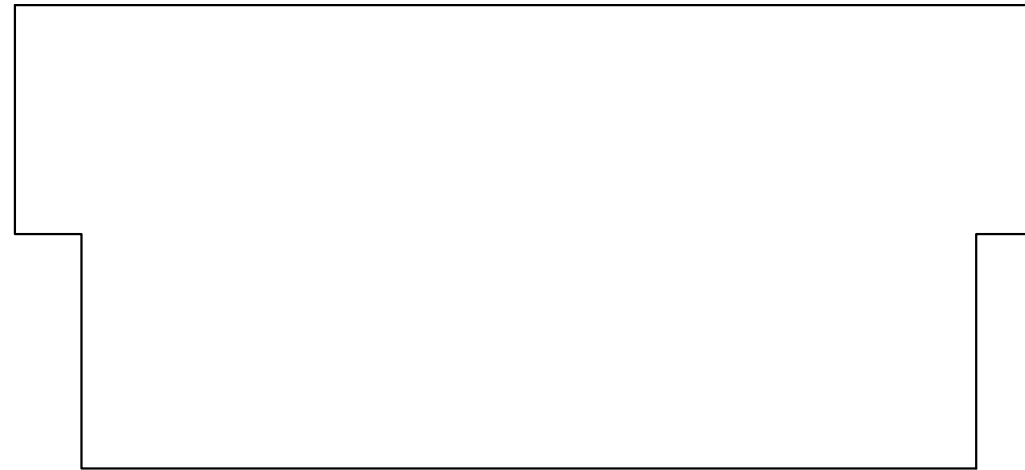
FOR CONSTRUCTION

DESIGNED BY: MCF
PRINT SIZE: 11" x 17"
SCALE: NA
DATE: 3/6/2024
DWG TITLE

ONE LINE DIAGRAM

DWG NUMBER
E400

© COPYRIGHT REVISION ENERGY
THIS DIAGRAM IS PROVIDED AS A SERVICE AND IS BASED ON THE UNDERSTANDING OF THE INFORMATION SUPPLIED. IT IS SUBJECT TO CHANGE BASED ON ACTUAL CONDITIONS, APPLICABLE EDITION OF THE NATIONAL ELECTRIC CODE, AND LOCAL GOVERNMENTAL AUTHORITIES.



SAFETY SHEET NOTES:

1. DRAW IN APPROXIMATE ANCHOR LOCATIONS AND SWING RADIUS
2. DRAW IN APPROXIMATE RESTRICTED ACCESS ZONE(RULE OF THUMB 10' FOR EVERY STORY OF BUILDING)
3. DRAW IN MACHINERY OR PERSONNEL ACCESS PATHS

ANCHOR POINT ATTACHMENT NOTES:

1. ANCHOR POINTS REQUIRING FASTENERS MUST BE INSTALLED IN TO BUILDING STRUCTURE (RAFTERS OR PURLINS)
2. ANCHOR POINTS TO BE INSTALLED A MINIMUM OF 72" FROM ROOF RAKE
3. MAXIMUM SPACING BETWEEN ANCHOR POINTS IS 96"
4. LEAVE BEHIND ANCHOR TO BE INSTALLED UNDER TOP LEFT AND TOP RIGHT PANELS TO FACILITATE SAFE ROOF EXIT
5. 3 MINIMUM ANCHORS PER ROOF
6. ANCHOR POINTS 1:1 (ONE PERSON PER ANCHOR POINT AT A TIME)
7. WORK IS TO BE DONE WHILE WITHIN 30 DEGREES OF ANCHOR



REVISION ENERGY

7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF

PRINT SIZE: 11" x 17"

SCALE: NA

DATE: 3/6/2024

DWG TITLE

SAFETY PLAN

DWG NUMBER

A200

© COPYRIGHT REVISION ENERGY
THIS DIAGRAM IS PROVIDED AS A SERVICE AND IS BASED ON THE UNDERSTANDING OF THE INFORMATION SUPPLIED. IT IS SUBJECT TO CHANGE BASED ON ACTUAL CONDITIONS, APPLICABLE EDITION OF THE NATIONAL ELECTRIC CODE, AND LOCAL GOVERNMENTAL AUTHORITIES.

Q.PEAK DUO BLK ML-G10+ SERIES



385-410 Wp | 132 Cells
20.9% Maximum Module Efficiency

MODEL Q.PEAK DUO BLK ML-G10+



6 busbar
cell technology

12 busbar
cell technology



Breaking the 20% efficiency barrier

Q.ANTUM DUO Z Technology with zero gap cell layout boosts module efficiency up to 20.9%.



A reliable investment

Inclusive 25-year product warranty and 25-year linear performance warranty¹.



Enduring high performance

Long-term yield security with Anti LeTID Technology, Anti PID Technology² and Hot-Spot Protect.



Extreme weather rating

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).



Innovative all-weather technology

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.



The most thorough testing programme in the industry

Qcells is the first solar module manufacturer to pass the most comprehensive quality programme in the industry: The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.

¹ See data sheet on rear for further information.

² APT test conditions according to IEC/TS 62804-1:2015, method A (-1500V, 96h)

The ideal solution for:



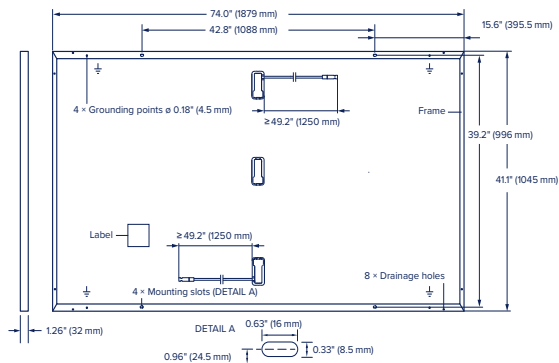
Rooftop arrays on
residential buildings



Q.PEAK DUO BLK ML-G10+ SERIES

Mechanical Specification

| | |
|--------------|---|
| Format | 74.0 in × 41.1 in × 1.26 in (including frame) (1879 mm × 1045 mm × 32 mm) |
| Weight | 48.5 lbs (22.0 kg) |
| Front Cover | 0.13 in (3.2 mm) thermally pre-stressed glass with anti-reflection technology |
| Back Cover | Composite film |
| Frame | Black anodised aluminium |
| Cell | 6 × 22 monocrystalline Q.ANTUM solar half cells |
| Junction box | 2.09-3.98 in × 1.26-2.36 in × 0.59-0.71 in (53-101 mm × 32-60 mm × 15-18 mm), IP67, with bypass diodes |
| Cable | 4 mm ² Solar cable; (+) ≥ 49.2 in (1250 mm), (-) ≥ 49.2 in (1250 mm) |
| Connector | Stäubli MC4; IP68 |

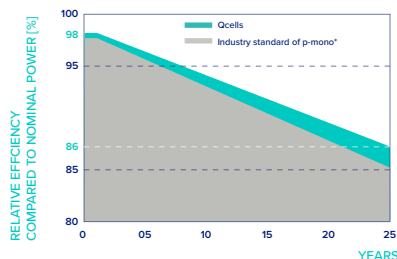


Electrical Characteristics

| POWER CLASS | | 385 | 390 | 395 | 400 | 405 | 410 | |
|---|------------------------------------|---------------|--------|--------|--------|--------|--------|--------|
| MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE +5 W / -0 W) | | | | | | | | |
| Minimum | Power at MPP ¹ | P_{MPP} [W] | 385 | 390 | 395 | 400 | 405 | 410 |
| | Short Circuit Current ¹ | I_{SC} [A] | 11.04 | 11.07 | 11.10 | 11.14 | 11.17 | 11.20 |
| | Open Circuit Voltage ¹ | V_{OC} [V] | 45.19 | 45.23 | 45.27 | 45.30 | 45.34 | 45.37 |
| | Current at MPP | I_{MPP} [A] | 10.59 | 10.65 | 10.71 | 10.77 | 10.83 | 10.89 |
| | Voltage at MPP | V_{MPP} [V] | 36.36 | 36.62 | 36.88 | 37.13 | 37.39 | 37.64 |
| | Efficiency ¹ | η [%] | ≥ 19.6 | ≥ 19.9 | ≥ 20.1 | ≥ 20.4 | ≥ 20.6 | ≥ 20.9 |
| MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT ² | | | | | | | | |
| Minimum | Power at MPP | P_{MPP} [W] | 288.8 | 292.6 | 296.3 | 300.1 | 303.8 | 307.6 |
| | Short Circuit Current | I_{SC} [A] | 8.90 | 8.92 | 8.95 | 8.97 | 9.00 | 9.03 |
| | Open Circuit Voltage | V_{OC} [V] | 42.62 | 42.65 | 42.69 | 42.72 | 42.76 | 42.79 |
| | Current at MPP | I_{MPP} [A] | 8.35 | 8.41 | 8.46 | 8.51 | 8.57 | 8.62 |
| | Voltage at MPP | V_{MPP} [V] | 34.59 | 34.81 | 35.03 | 35.25 | 35.46 | 35.68 |

¹Measurement tolerances $P_{MPP} \pm 3\%$; I_{SC} ; $V_{OC} \pm 5\%$ at STC: 1000 W/m², 25 ± 2°C, AM 1.5 according to IEC 60904-3 • ²800 W/m², NMOT, spectrum AM 1.5

Qcells PERFORMANCE WARRANTY

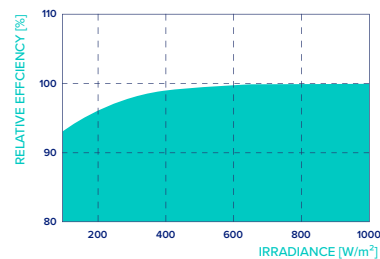


At least 98% of nominal power during first year. Thereafter max. 0.5% degradation per year. At least 93.5% of nominal power up to 10 years. At least 86% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Qcells sales organisation of your respective country.

¹Standard terms of guarantee for the 5 PV companies with the highest production capacity in 2021 (February 2021)

PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25°C, 1000 W/m²).

TEMPERATURE COEFFICIENTS

| | | | | | |
|--------------------------------------|----------------|-------|--------------------------------------|---------------|----------------------|
| Temperature Coefficient of I_{SC} | α [%/K] | +0.04 | Temperature Coefficient of V_{OC} | β [%/K] | -0.27 |
| Temperature Coefficient of P_{MPP} | γ [%/K] | -0.34 | Nominal Module Operating Temperature | NMOT | 109 ± 5.4 (43 ± 3°C) |

Properties for System Design

| | | | | |
|--|------------------------|----------------------------|---|--|
| Maximum System Voltage | V_{SYS} [V] | 1000 (IEC)/1000 (UL) | PV module classification | Class II |
| Maximum Series Fuse Rating | [A DC] | 20 | Fire Rating based on ANSI/UL 61730 | TYPE 2 |
| Max. Design Load, Push/Pull ³ | [lbs/ft ²] | 75 (3600 Pa)/55 (2660 Pa) | Permitted Module Temperature on Continuous Duty | -40°F up to +185°F (-40°C up to +85°C) |
| Max. Test Load, Push/Pull ³ | [lbs/ft ²] | 113 (5400 Pa)/84 (4000 Pa) | | |

³ See Installation Manual

Qualifications and Certificates

UL 61730, CE-compliant, Quality Controlled PV - TÜV Rheinland, IEC 61215:2016, IEC 61730:2016, U.S. Patent No. 9,893,215 (solar cells),



Qcells pursues minimizing paper output in consideration of the global environment.

Note: Installation instructions must be followed. Contact our technical service for further information on approved installation of this product.
Hanwha Q CELLS America Inc. 400 Spectrum Center Drive, Suite 1400, Irvine, CA 92618, USA | TEL +1 949 748 59 96 | EMAIL hqc-inquiry@qcells.com | WEB www.qcells.com

qcells

IQ8 Series Microinverters

| INPUT DATA (DC) | | IQ8-60-2-US | IQ8PLUS-72-2-US | IQ8M-72-2-US | IQ8A-72-2-US | IQ8H-240-72-2-US | IQ8H-208-72-2-US ¹ |
|--|------|---|-----------------|--------------|--------------|------------------|-------------------------------|
| Commonly used module pairings ² | W | 235 – 350 | 235 – 440 | 260 – 460 | 295 – 500 | 320 – 540+ | 295 – 500+ |
| Module compatibility | | 60-cell/120 half-cell, 66-cell/132 half-cell and 72-cell/144 half-cell | | | | | |
| MPPT voltage range | V | 27 – 37 | 29 – 45 | 33 – 45 | 36 – 45 | 38 – 45 | 38 – 45 |
| Operating range | V | 25 – 48 | | | | | |
| Min/max start voltage | V | 30 / 48 | | | | | |
| Max input DC voltage | V | 50 | | | | | |
| Max DC current ³ [module Isc] | A | 15 | | | | | |
| Overtoltage class DC port | | II | | | | | |
| DC port backfeed current | mA | 0 | | | | | |
| PV array configuration | | 1x1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit | | | | | |
| OUTPUT DATA (AC) | | IQ8-60-2-US | IQ8PLUS-72-2-US | IQ8M-72-2-US | IQ8A-72-2-US | IQ8H-240-72-2-US | IQ8H-208-72-2-US ¹ |
| Peak output power | VA | 245 | 300 | 330 | 366 | 384 | 366 |
| Max continuous output power | VA | 240 | 290 | 325 | 349 | 380 | 360 |
| Nominal (L-L) voltage/range ⁴ | V | 240 / 211 – 264 | | | | | |
| Max continuous output current | A | 1.0 | 1.21 | 1.35 | 1.45 | 1.58 | 1.73 |
| Nominal frequency | Hz | 60 | | | | | |
| Extended frequency range | Hz | 50 – 68 | | | | | |
| AC short circuit fault current over 3 cycles | Arms | 2 | | | | | |
| Max units per 20 A (L-L) branch circuit ⁵ | | 16 | 13 | 11 | 11 | 10 | 9 |
| Total harmonic distortion | | <5% | | | | | |
| Overtoltage class AC port | | III | | | | | |
| AC port backfeed current | mA | 30 | | | | | |
| Power factor setting | | 1.0 | | | | | |
| Grid-tied power factor (adjustable) | | 0.85 leading – 0.85 lagging | | | | | |
| Peak efficiency | % | 97.5 | 97.6 | 97.6 | 97.6 | 97.6 | 97.4 |
| CEC weighted efficiency | % | 97 | 97 | 97 | 97.5 | 97 | 97 |
| Night-time power consumption | mW | 60 | | | | | |
| MECHANICAL DATA | | | | | | | |
| Ambient temperature range | | -40°C to +60°C (-40°F to +140°F) | | | | | |
| Relative humidity range | | 4% to 100% (condensing) | | | | | |
| DC Connector type | | MC4 | | | | | |
| Dimensions (HxWxD) | | 212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2") | | | | | |
| Weight | | 1.08 kg (2.38 lbs) | | | | | |
| Cooling | | Natural convection – no fans | | | | | |
| Approved for wet locations | | Yes | | | | | |
| Pollution degree | | PD3 | | | | | |
| Enclosure | | Class II double-insulated, corrosion resistant polymeric enclosure | | | | | |
| Environ. category / UV exposure rating | | NEMA Type 6 / outdoor | | | | | |
| COMPLIANCE | | | | | | | |
| Certifications | | CA Rule 21 (UL 1741-SA), UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions. | | | | | |

(1) The IQ8H-208 variant will be operating in grid-tied mode only at 208V AC. (2) No enforced DC/AC ratio. See the compatibility calculator at <https://link.enphase.com/module-compatibility> (3) Maximum continuous input DC current is 10.6A (4) Nominal voltage range can be extended beyond nominal if required by the utility. (5) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

XR Rail Family

The XR Rail Family offers the strength of a curved rail in three targeted sizes. Each size supports specific design loads, while minimizing material costs. Depending on your location, there is an XR Rail to match.



XR10

XR10 is a sleek, low-profile mounting rail, designed for regions with light or no snow. It achieves 6 foot spans, while remaining light and economical.

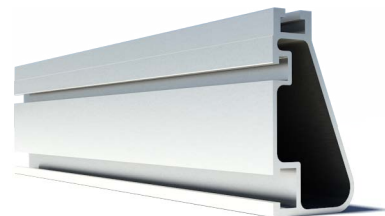
- 6' spanning capability
- Moderate load capability
- Clear anodized finish
- Internal splices available



XR100

XR100 is the ultimate residential mounting rail. It supports a range of wind and snow conditions, while also maximizing spans up to 8 feet.

- 8' spanning capability
- Heavy load capability
- Clear & black anodized finish
- Internal splices available



XR1000

XR1000 is a heavyweight among solar mounting rails. It's built to handle extreme climates and spans 12 feet or more for commercial applications.

- 12' spanning capability
- Extreme load capability
- Clear anodized finish
- Internal splices available

Rail Selection

The following table was prepared in compliance with applicable engineering codes and standards. Values are based on the following criteria: ASCE 7-10, Roof Zone 1, Exposure B, Roof Slope of 7 to 27 degrees and Mean Building Height of 30 ft. Visit IronRidge.com for detailed span tables and certifications.

| Load | | Rail Span | | | | | |
|------------|------------|-----------|-------|-------|----|--------|-----|
| Snow (PSF) | Wind (MPH) | 4' | 5' 4" | 6' | 8' | 10' | 12' |
| None | 100 | XR10 | | XR100 | | XR1000 | |
| | 120 | | | | | | |
| | 140 | | | | | | |
| | 160 | | | | | | |
| 10-20 | 100 | | | | | | |
| | 120 | | | | | | |
| | 140 | | | | | | |
| | 160 | | | | | | |
| 30 | 100 | | | | | | |
| | 160 | | | | | | |
| 40 | 100 | | | | | | |
| | 160 | | | | | | |
| 50-70 | 160 | | | | | | |
| 80-90 | 160 | | | | | | |

Project Address: 66 SOUTH STREET, UNIT #2
Permit Requested: CERTIFICATE OF APPROVAL
Application: PUBLIC HEARING 3

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential/Condominium
- Land Area: 4,750 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: South Street
- Unique Features: Rear unit of the Condominium Building
- Neighborhood Association: South End



B. Proposed Work: To replace the remaining siding and windows on the unit with Matthews Brothers Windows and Hardie Siding and to replace a fence that as been damaged.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- This property received approval to replace a small portion of siding at the rear of the unit and to replace an existing doorway with a window and replace an existing picture window with a French door system.



D. Purpose and Intent:

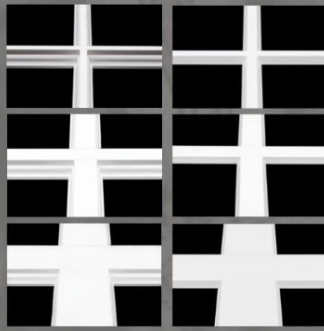
1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

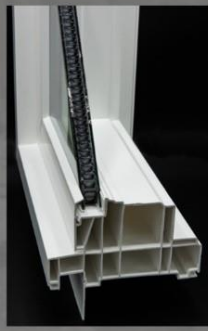
1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



Historic Accuracy/Patented Design



Our Patented 1854 external Ovolo sticking (left column) and internal Historic Putty Bead (right column) muntin bars are available in 3/8", 1 1/8" and 2 1/4".



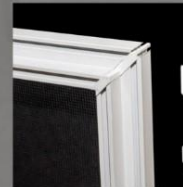
Historic Putty Bead (internal) and Ovolo sticking (external) are incorporated into the Casement Frame and Sash profiles for 3/4" Glazed windows.



Historic accuracy is maintained with the joinery of our 5/4 x 3/8" Flat (left) Staff Bead Bricknould (above), or 4 1/2" Banded (below) with our Historic Sill Nose.



Our Patented Sash Glazed Double Hung Picture Window provides the exact same sight lines maintained within the same glass planes as our operable Double Hung units. This provides an aesthetic improvement over current window designs. Our Historic 1854 Ovolo Sticking (on 3/4" glazed sash), Putty Bead contours as well as the radius edge on the Sill Dam maintain the historic accuracy. With Performance Grade 50 ratings the Sanford Hills is as rugged as it is beautiful.



A wise man once said, "When you set out to design a window, start with the screen." We took this advice to heart and came up with a screen design so breakthrough, it's patented. This is, quite simply, the best window screen design on the market, whether it's for Double Hung or Casement.

Double-Hung Windows

Traditional, classic, durable — double-hungs give you all of that plus energy efficiency and peace of mind. Top and bottom sash operate smoothly allowing you to control air flow, and they both tilt-in for easy cleaning and care. Grilles can be added to further enhance the traditional look of your home.



Used singly, or factory mullied with transoms or other fixed or hung units to add a dramatic accent to your home's appearance, while providing a brighter, more open interior.

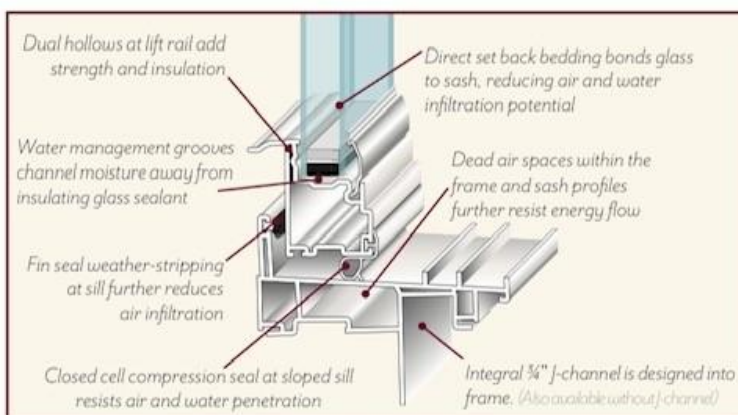
Single-Hung Windows

Our single-hung windows are built with a fixed top sash, while the lower sash moves up and down to allow ventilation.

In addition, the bottom sash conveniently tilts-in for easy cleaning.



Structural interlock at meeting rails provides an additional layer of protection and weather resistance.





Actual Mathews Brothers window approved at 12/13/23 HDC meeting



Mathews Brothers

Tel:
Fax:
Email:



Customer
QUOTATION

BILL TO:

SHIP TO:

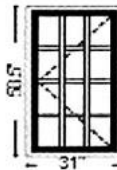
| QUOTE # | STATUS | CUSTOMER PO# | DATE QUOTED |
|-------------|--------|--------------------------|-----------------------|
| 684206 | None | | 4/10/2024 10:50:07 AM |
| QUOTED BY | TERMS | PROJECT NAME | QUOTE NAME |
| Stott Kenny | | 66 South Street PHASE II | KS-Amarosa PHASE II |

| LINE # | QTY | SUB-LINES |
|--------|-----|-----------|
|--------|-----|-----------|

100

1 X

2



| LINE # | DESCRIPTION | QTY | LIST PRICE | NET PRICE | EXTD. PRICE |
|--------|-------------|-----|------------|-----------|-------------|
|--------|-------------|-----|------------|-----------|-------------|

100-1

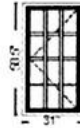
1 X

\$1,369.25

\$894.55

\$1,789.10

Sanford Hills Dual Pane Casement
 31 X 58.5 Unit Size, Left Operating, Black Interior,
 Extruded White Exterior Frame, Black Exterior Sash, Dual
 Pane Low E Argon, PG65, 12 Lite Contoured GBG, Black
 Int/Black Ext Grille in Airspace, Special Hinge, 21.5 X
 51.625 Clear Opening, 7.707 SQFT, No Window Opening
 Control Device, Black Handle & Lock, Fiberglass Mesh
 Black Screen Shipped Loose
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.24, SHG: 0.22, VLT: 0.42, CR: 61



Opening: 31.5" X 59"

O.S.M.: 31" X 58.5"

Tag: EGRESS

| LINE # | DESCRIPTION | QTY | LIST PRICE | NET PRICE | EXTD. PRICE |
|--------|-------------|-----|------------|-----------|-------------|
|--------|-------------|-----|------------|-----------|-------------|

100-2 Screen1

1 X

\$0.00

\$0.00

\$0.00

Fiberglass Mesh Black Insert Screen Shipped Loose

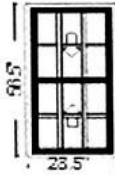
Opening: 0" X 0"

O.S.M.:

Tag: None Assigned

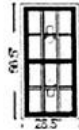
| | | | |
|------------------|---------------|--------------------------|-----------------------|
| QUOTE # | STATUS | CUSTOMER PO# | DATE QUOTED |
| 684206 | None | | 4/10/2024 10:50:07 AM |
| QUOTED BY | TERMS | PROJECT NAME | QUOTE NAME |
| Stott Kenny | | 66 South Street PHASE II | KS-Amarosa PHASE II |

| LINE # | QTY | SUB-LINES |
|--------|-----|-----------|
| 200 | 4 | 2 |



| LINE # | DESCRIPTION | QTY | LIST PRICE | NET PRICE | EXTD. PRICE |
|--------|-------------|-----|------------|-----------|-------------|
| 200-1 | | 5 | \$1,179.91 | \$770.86 | \$3,083.44 |

Sanford Hills Dual Pane Double Hung
 28.5 X 56.5 Unit Size, Black Interior, Extruded White
 Exterior Frame, Black Exterior Sash, Exterior Pocket Cover,
 Dual Pane Low E Argon, PG50, 6/6 Lite Contoured GBG,
 Black Int/Black Ext Grille in Airspace, No Lift Rail, 23.187
 X 23.25 Clear Opening, 3.743 SQFT, Hidden Tilt Latch,
 Dual Black Robo-Tilt Lock, No Window Opening Control
 Device, Fiberglass Mesh White Half Screen Shipped Loose
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.27, SHG: 0.27, VLT: 0.5, CR: 58



Opening: 29" X 57"
 O.S.M.: 28.5" X 56.5"

Tag: None Assigned

| LINE # | DESCRIPTION | QTY | LIST PRICE | NET PRICE | EXTD. PRICE |
|--------|-------------|-----|------------|-----------|-------------|
| 200-2 | Screen1 | 5 | \$0.00 | \$0.00 | \$0.00 |

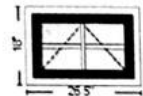
Insert Half Screen Shipped Loose

Opening: 0" X 0"
 O.S.M.:

Tag: None Assigned

| LINE # | DESCRIPTION | QTY | LIST PRICE | NET PRICE | EXTD. PRICE |
|--------|-------------|-----|------------|-----------|-------------|
| 300-1 | | 2 | \$902.37 | \$589.53 | \$1,179.06 |

Sanford Hills Dual Pane Awning
 26.5 X 18 Unit Size, Operating, Black Interior, Extruded
 White Exterior Frame, Black Exterior Sash, Dual Pane Low
 E Argon, PG80, 4 Lite Contoured GBG, Black Int/Black Ext
 Grille in Airspace, Black Handle & Lock, Fiberglass Mesh
 Black Screen Applied
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.24, SHG: 0.22, VLT: 0.42, CR: 59

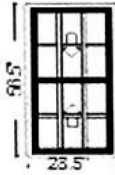


Opening: 27" X 18.5"
 O.S.M.: 26.5" X 18"

Tag: None Assigned

| | | | |
|------------------|---------------|--------------------------|-----------------------|
| QUOTE # | STATUS | CUSTOMER PO# | DATE QUOTED |
| 684206 | None | | 4/10/2024 10:50:07 AM |
| QUOTED BY | TERMS | PROJECT NAME | QUOTE NAME |
| Stott Kenny | | 66 South Street PHASE II | KS-Amarosa PHASE II |

| LINE # | QTY | SUB-LINES |
|--------|-----|-----------|
| 200 | 4 | 2 |



| LINE # | DESCRIPTION | QTY | LIST PRICE | NET PRICE | EXTD. PRICE |
|--------|-------------|-----|------------|-----------|-------------|
| 200-1 | | 5 | \$1,179.91 | \$770.86 | \$3,083.44 |

Sanford Hills Dual Pane Double Hung
 28.5 X 56.5 Unit Size, Black Interior, Extruded White
 Exterior Frame, Black Exterior Sash, Exterior Pocket Cover,
 Dual Pane Low E Argon, PG50, 6/6 Lite Contoured GBG,
 Black Int/Black Ext Grille in Airspace, No Lift Rail, 23.187
 X 23.25 Clear Opening, 3.743 SQFT, Hidden Tilt Latch,
 Dual Black Robo-Tilt Lock, No Window Opening Control
 Device, Fiberglass Mesh White Half Screen Shipped Loose
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.27, SHG: 0.27, VLT: 0.5, CR: 58



Opening: 29" X 57"
 O.S.M.: 28.5" X 56.5"

Tag: None Assigned

| LINE # | DESCRIPTION | QTY | LIST PRICE | NET PRICE | EXTD. PRICE |
|--------|-------------|-----|------------|-----------|-------------|
| 200-2 | Screen1 | 5 | \$0.00 | \$0.00 | \$0.00 |

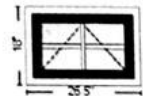
Insert Half Screen Shipped Loose

Opening: 0" X 0"
 O.S.M.:

Tag: None Assigned

| LINE # | DESCRIPTION | QTY | LIST PRICE | NET PRICE | EXTD. PRICE |
|--------|-------------|-----|------------|-----------|-------------|
| 300-1 | | 2 | \$902.37 | \$589.53 | \$1,179.06 |

Sanford Hills Dual Pane Awning
 26.5 X 18 Unit Size, Operating, Black Interior, Extruded
 White Exterior Frame, Black Exterior Sash, Dual Pane Low
 E Argon, PG80, 4 Lite Contoured GBG, Black Int/Black Ext
 Grille in Airspace, Black Handle & Lock, Fiberglass Mesh
 Black Screen Applied
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.24, SHG: 0.22, VLT: 0.42, CR: 59



Opening: 27" X 18.5"
 O.S.M.: 26.5" X 18"

Tag: None Assigned

| | | | |
|------------------|---------------|--------------------------|-----------------------|
| QUOTE # | STATUS | CUSTOMER PO# | DATE QUOTED |
| 684206 | None | | 4/10/2024 10:50:07 AM |
| QUOTED BY | TERMS | PROJECT NAME | QUOTE NAME |
| Stott Kenny | | 66 South Street PHASE II | KS-Amarosa PHASE II |

All Prices are net. Please review all quantities, specifications, and information for accuracy. Special orders can not be returned for credit. Signature implies acceptance of these specifications. Your order will not be processed without authorized signature.

| | |
|-------------------|-------------|
| SUB-TOTAL: | \$11,026.67 |
| LABOR: | \$0.00 |
| FREIGHT: | \$0.00 |
| SALES TAX: | \$0.00 |
| TOTAL: | \$11,026.67 |

Thank you for all of your efforts!

CUSTOMER SIGNATURE _____ DATE _____

We appreciate the opportunity to provide you with this quote!



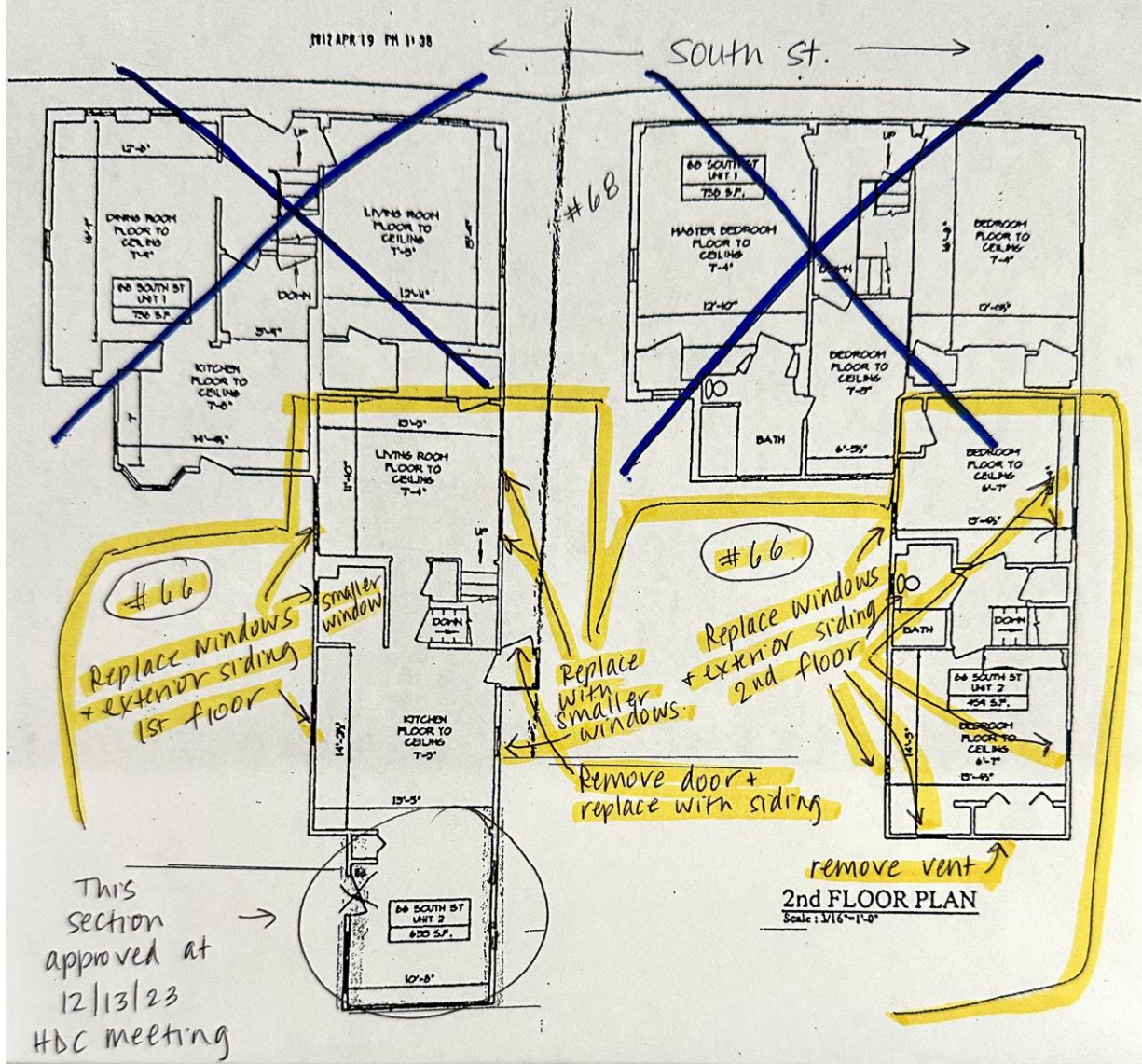
66 South St. is not located directly on the street. The unit is in the back, located behind # 68, and is not visible from South Street.





We would like to replace broken fencing in backyard - With new fencing to match this fence in front yard

Amarosa Application for HDC Approval
 66 South St.



Materials - see attached photos / literature

Windows - Mathews Brothers as approved at 12/13/23
 HDC meeting

siding - Lifespan Solid Select Pine
 * We have changed our siding choice based
 on 4/3/24 HDC meeting







Lifespan[®] Solid Select at a glance

Wood has long been the choice of builders. It is beautiful, versatile and easy to work with. However, wood in an exterior situation is also subject to rot, fungal decay and insect attack. With LIFESPAN SOLID SELECT pressure treated, primed boards, wood now comes with long-lasting durability and low-maintenance peace of mind.

Read more

LIFESPAN SOLID SELECT is protected with the combination of a pressure treatment using organic biocides to ward off insects and fungal decay, a proprietary water repellency system to maximize dimensional stability and an alkyd-based primer to provide superior durability against the elements. This allows LIFESPAN SOLID SELECT to be offered with a limited lifetime warranty against fungal decay and insect damage, including termites.

The raw material for LIFESPAN SOLID SELECT comprises high grade clear lumber produced from pruned radiata pine logs. These come only from renewable sources and we utilize leading technology and innovative techniques to maximize the recovery of logs into finished products and minimize waste in our mills.

LIFESPAN SOLID SELECT is manufactured in our Forest Stewardship Council[®] (FSC[®]) certified mills (FSC[®] SCS-COC-00199).

- Limited lifetime substrate warranty against fungal decay and insect damage, including termites
- Manufactured from solid high grade wood with no fingerjoints or knots
- Pressure treated with an EPA approved organic preservative, delivering treatment to the core
- Non-corrosive to fasteners
- FSC[®] certified
- Multi-layer protection resists water uptake and enhances dimensional stability
- Alkyd primer provides smooth defect-free surface ready for top-coating
- Suitable for exterior and interior needs
- Real wood!!



Real Wood. Redefined.

LIFESPAN[®] SOLID SELECT is a premium solid wood exterior trim product – offering a superior clean finish, outstanding performance, and the benefits of real wood.

| | | |
|---|--|--|
|  Limited lifetime warranty |  Clear grade lumber – no finger-joints or knots |  Superior durability against rot, fungal attack and insects |
|  Resists corrosion to nails and fastenings |  FSC [®] Certified – environmentally responsible |  Superior water resistance |
|  Long-term termite protection |  Real wood – a pleasure to work with |  Active ingredients registered with EPA |

Now with CODIL[™] - our patented and proprietary resin stabilization additive

The advantages are clear

Sourced from New Zealand's renowned radiata pine forests, LIFESPAN[®] SOLID SELECT is made from only the highest quality, long-length clear boards. This superior product features an EPA-approved non-metallic preservative that protects against rot, fungal attack and insects (including termites). It also offers superior moisture resistance and resin stabilization – with a proprietary water repellent system, two coats of alkyd primer and patented resin stabilization additive CODIL[™]. This proven protection is backed by a limited lifetime warranty.

Combining outstanding durability with the beauty of real wood, LIFESPAN[®] SOLID SELECT is the choice for a lifetime.

Project Address: 258 MAPLEWOOD AVENUE
Permit Requested: CERTIFICATE OF APPROVAL
Application: WORK SESSION/PUBLIC HEARING 4



A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L1, General Residence A (GRA)
- Land Use: Residential
- Land Area: 5,100 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: Maplewood Avenue
- Unique Features: NA
- Neighborhood Association: West End

B. Proposed Work: replace (2) rear gable ends with roof decks and a dormer between, rebuild the front chimneys and remove the rear secondary chimneys.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Demolition of the (2) rear gable ends to be replaced with roof decks
- Create dormer between (2) new rood decks
- Rebuild (2) front chimneys and remove (2) rear chimneys.



**HISTORIC
SURVEY
RATING
C**

D. Purpose and Intent:

13. Preserve the integrity of the District
14. Assessment of the Historical Significance
15. Conservation and enhancement of property values
16. Maintain the special character of the District
17. Complement and enhance the architectural and historic character
18. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

9. Consistent with special and defining character of surrounding properties
10. Compatibility of design with surrounding properties
11. Relation to historic and architectural value of existing structures
12. Compatibility of innovative technologies with surrounding properties

| DRAWING INDEX | |
|---------------|-------------------------------|
| Sheet Number | Sheet Name |
| H1.0 | COVER PAGE |
| H1.1 | CONTEXT 3D |
| H1.2 | EXISTING CONDITIONS |
| H1.3 | CONTEXT PHOTOS |
| H1.4 | HISTORIC |
| H1.5 | EXISTING CONDITIONS - ATTIC |
| H2.0 | DEMO - BACK (SOUTH) ELEVATION |
| H2.1 | DEMO - SIDE ELEVATIONS |
| H2.2 | DEMO - ROOF LEVEL |
| H2.3 | ROOF PLAN |
| H2.4 | BACK (SOUTH) ELEVATION |
| H2.5 | SIDE ELEVATIONS |
| H2.6 | LONGITUDINAL SECTION |
| H3.1 | RENDERING |
| H3.2 | RENDERING |
| H3.3 | 3D VIEWS |
| H3.4 | 3D VIEWS |
| H3.5 | 3D VIEWS |



PROJECT NARRATIVE

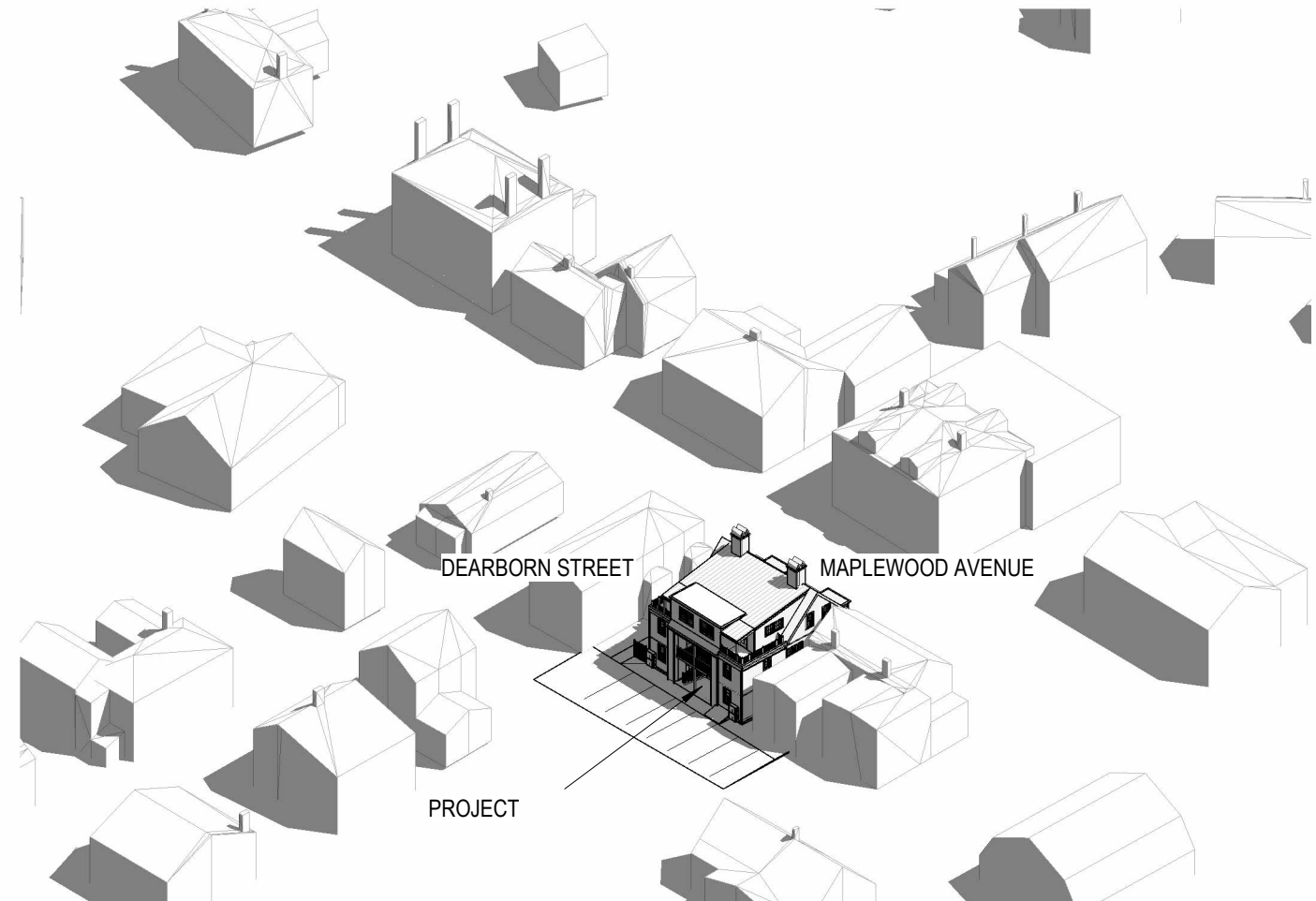
- Add rear shed dormer.
- Replace two rear gables with roof decks.
- Rebuild two primary front chimneys.
- Remove two secondary rear chimneys.

NOTE: DUE TO SEVERE ROOF AND CHIMNEY AND ROOF STRUCTURE DECAY AND DETERIORATION, EXPEDITIOUS REPLACEMENT IS NECESSARY.

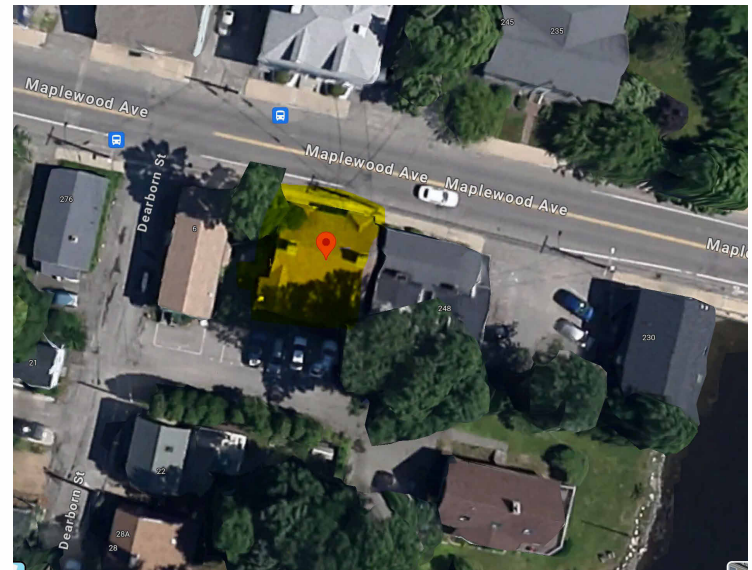
258 MAPLEWOOD AVENUE

RENOVATION+RESTORATION
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING



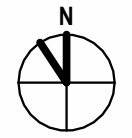


2 South-West 3D

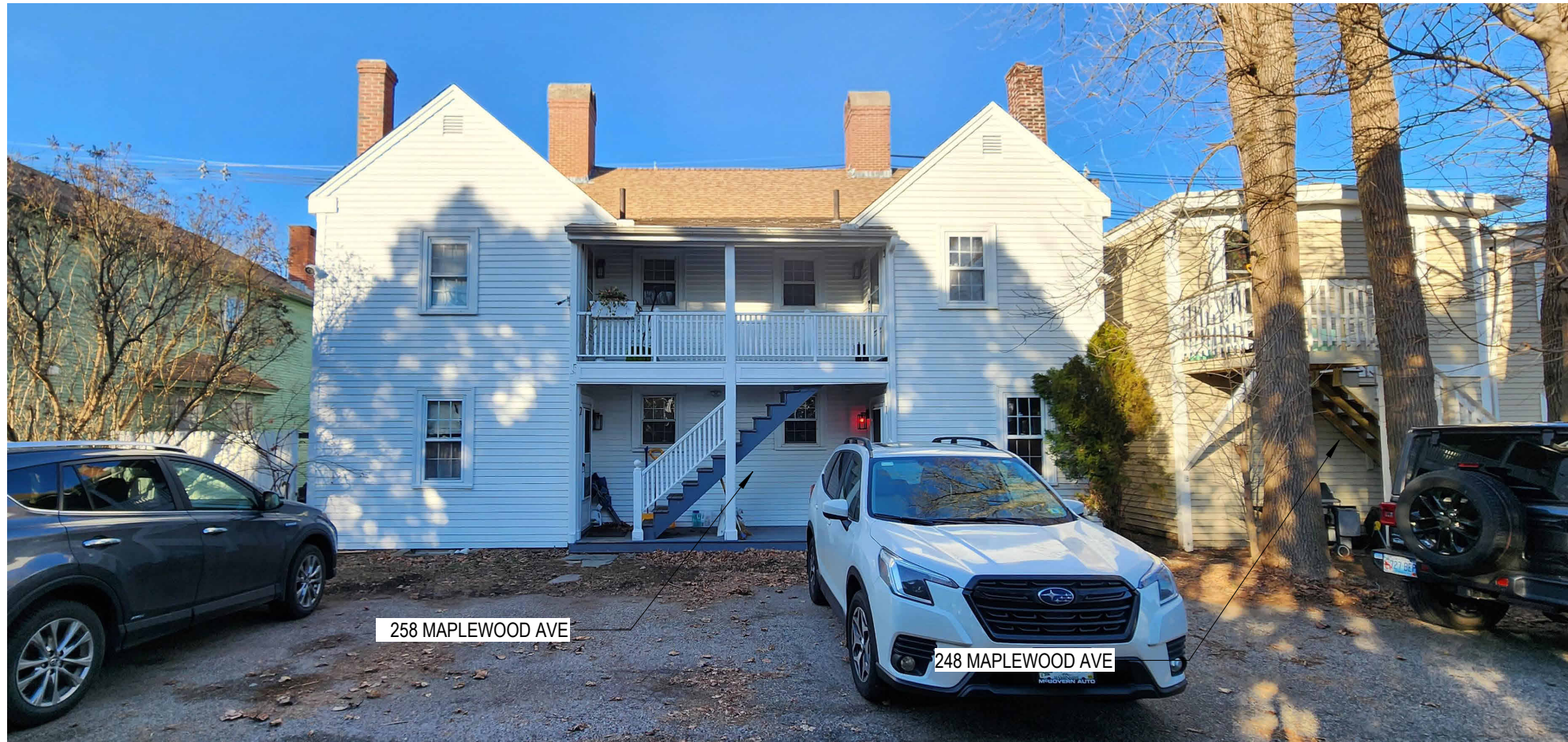


NORTH MILL POND

3 LOCATION AERIAL VIEW
1" = 100'-0"



1 TAX MAP 300FT RADIUS
1" = 80'-0"



258 MAPLEWOOD AVE

248 MAPLEWOOD AVE



6 DEARBORN ST

258 MAPLEWOOD AVE

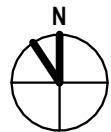
248 MAPLEWOOD AVE

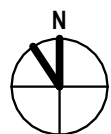
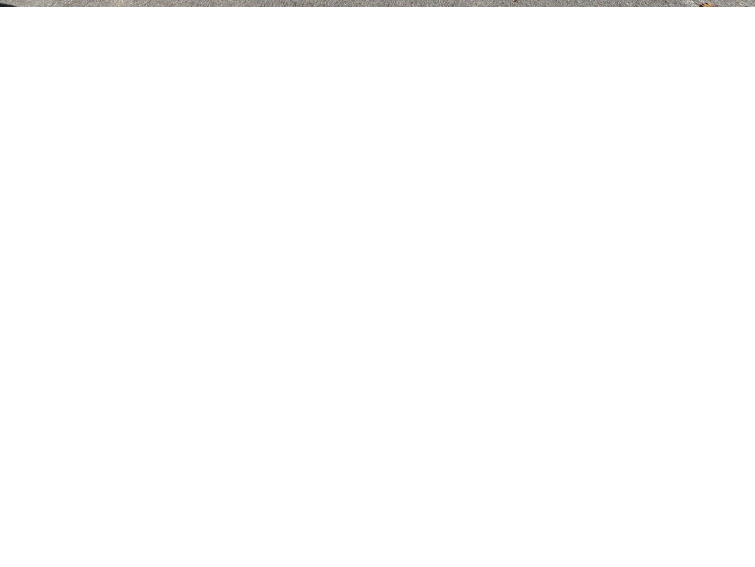


6 DEARBORN ST

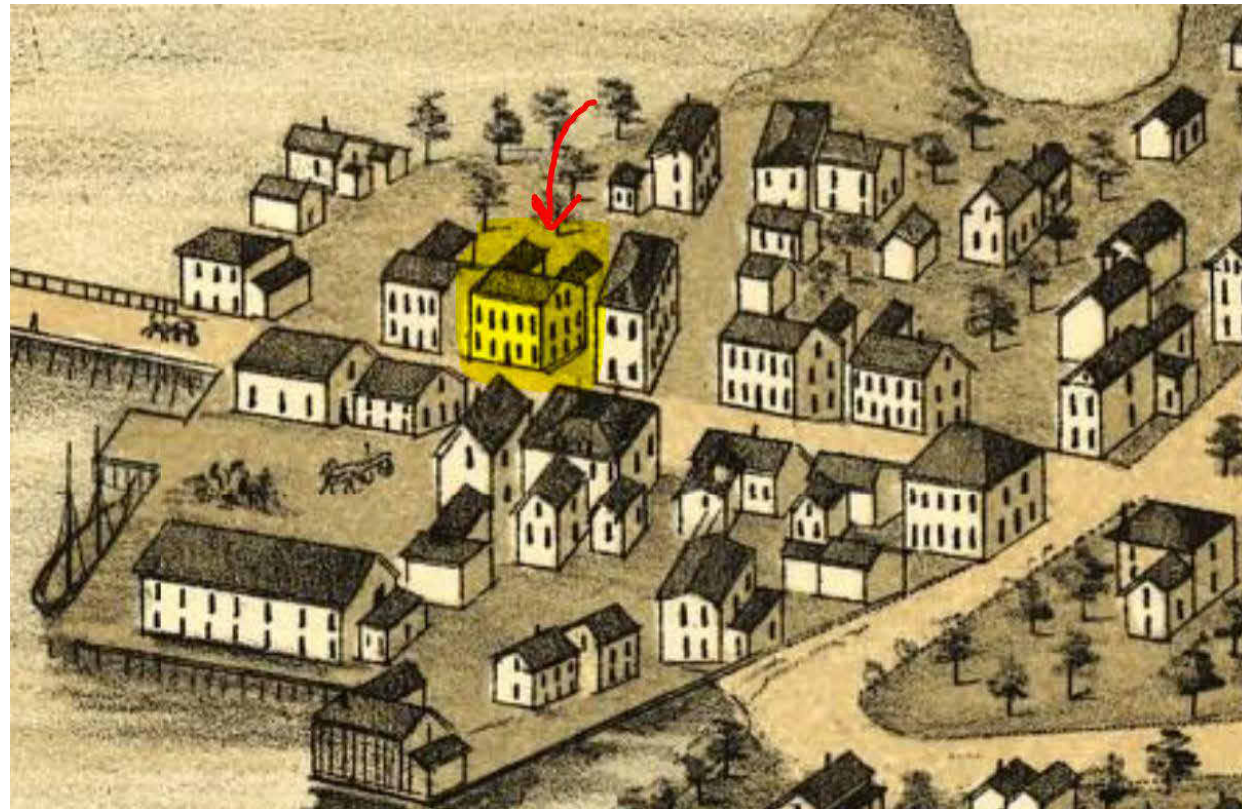
258 MAPLEWOOD AVE

248 MAPLEWOOD AVE

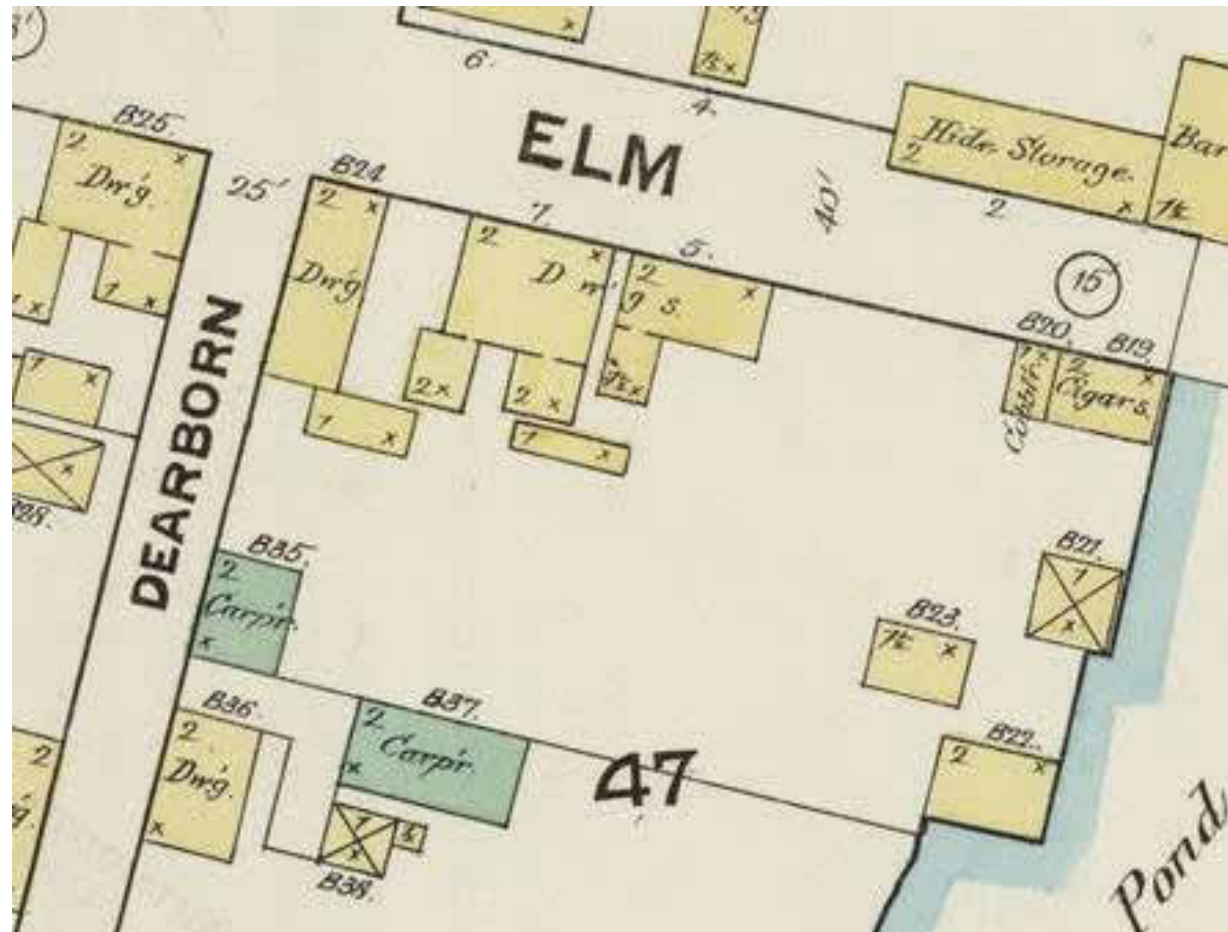




CONTEXT PHOTOS
258 MAPLEWOOD AVENUE



1877



1887



HISTORIC

258 MAPLEWOOD AVENUE

Address 258 Maplewood Avenue
 New tax map(1979)U23 lot 3 size 5100sq.ft.
 Old tax map 77 lot 21 size
 Owner REGAN, Michael
 Address 572 Post Rd., Greenland 03840



Location of legal description:
 Rockingham County Registry of Deeds
 Hampton Road; Exeter, New Hampshire
 03833
 Representation in existing surveys:
 ABS NR NHL
 AER Other
 Date c. 1850
 Source: Estimate x Other:
 Historic name
 Common name
 Original owner
 Architect/bldr.
 Functional type house
 Present use, if different 4 apartments
 Moved Date
 Altered Date
 Effect: Focal Contributing x
 non-contributing Intrusion

Photo roll 20 no. 8
 Negative with: Portsmouth Advocates
 Description
 Date taken by

1. Style Greek Revival No. of stories 2½ No. of bays 5 x 4
2. Overall plan: Rectangle with two story rear ell across whole rear offset N.
3. Foundation: Brick Stone x Foured concrete Concrete block
 Artificial stone Other
4. Wall structure: Wood frame x Brick Stone Other
 If wood: Post and beam Balloon frame
5. Wall covering: Clapboard x Wood shingle Flushboard Imitation ashlar
 Brick Stone Stucco Composition board Aluminum Vinyl
 Sheet metal Asphalt shingles Other
6. Roof: Gable x Hip Shed Mansard Flat Gambrel Other
7. Specific features (location, no., appearance of porches, windows, doors, chimnies, dormers, ells/wings--see also description), decorative elements:
 Two protruding two story original bays with hipped roofs on either side. Greek Revival doorway, two front windows each floor both bays, one window over door. Granite steps. Two inset chimney stacks.
8. Outbuildings:

PORTSMOUTH
 ADVOCATES, INC.

SHIRE 03801

Description:

A good late 2½ story Greek Revival house, squarish in plan with two story gable roofed rear ell offset beyond N wall across whole rear with roofs at right angles. Two large (rebuilt) inset chimney stacks at ridge of main block. The center doorway is inset behind a low triangular pediment and corner pilasters with sidelights and the original Greek Revival door. The house sits on a cut granite foundation with granite steps to doorway. One 2/2 sash in window over door. On either side of door are two story bays with hipped roofs which have paired front windows each floor (all 2/2) and one on each N and S side each floor. Two attic gable windows, three on each floor below; ell has one each floor within the offset S wall.

H1.4

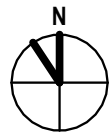


DETERIORATED BRICK

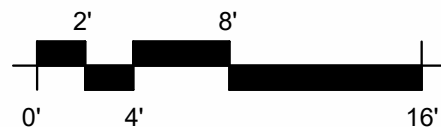
MOISTURE DAMAGED ROOF STRUCTURE



SPALLED MORTAR

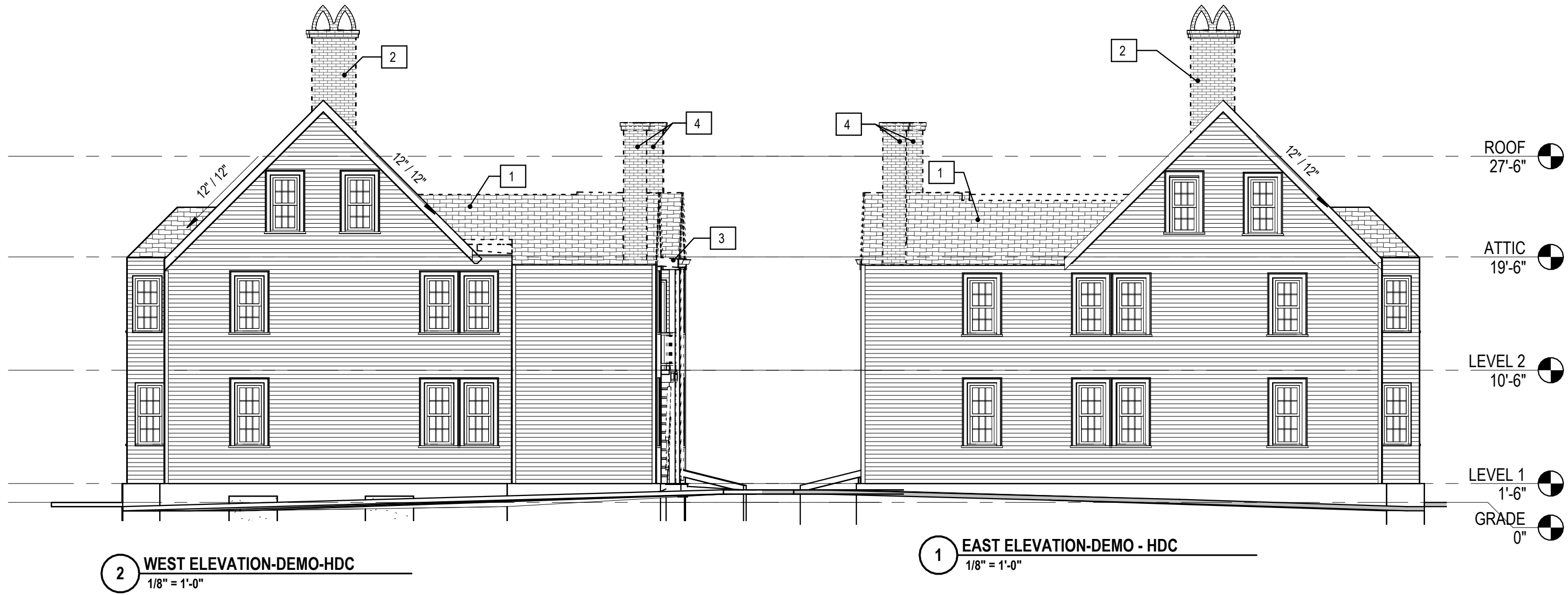


| RECOMMENDATIONS | |
|-----------------|---|
| NOTES | |
| 1 | Demolition part of the roof based on the drawings. |
| 2 | Rebuild the existing chimney with brick veneer to match the existing color texture and details. |
| 4 | Demolition chimney |



DEMO - BACK (SOUTH) ELEVATION
258 MAPLEWOOD AVENUE

| RECOMMENDATIONS | |
|-----------------|---|
| NOTES | |
| 1 | Demolition part of the roof based on the drawings. |
| 2 | Rebuild the existing chimney with brick veneer to match the existing color texture and details. |
| 3 | Demolition roof. |
| 4 | Demolition chimney |

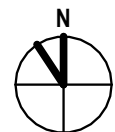
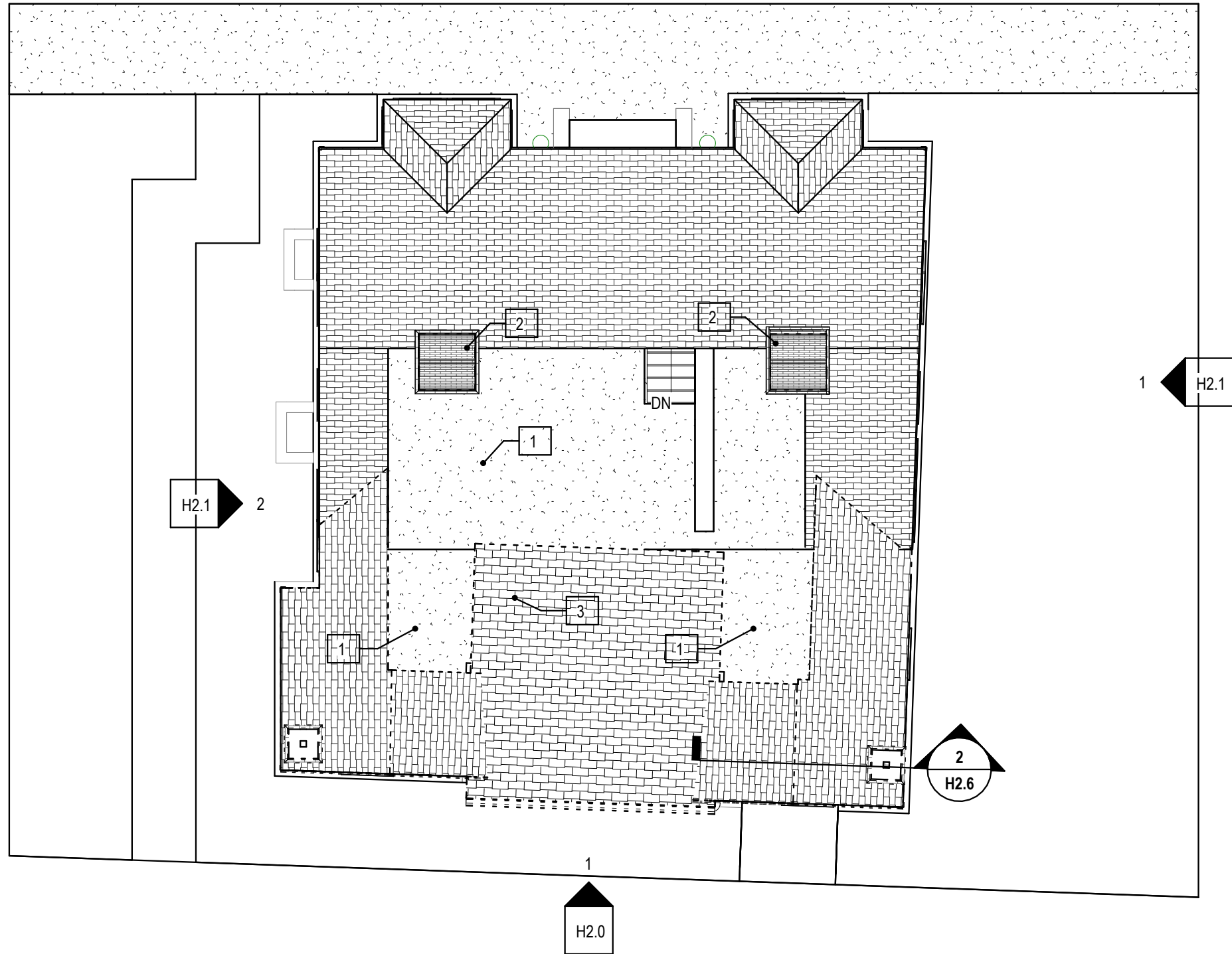


DEMO - SIDE ELEVATIONS
258 MAPLEWOOD AVENUE

H2.1

04/24/2024
PROJECT NO:1036

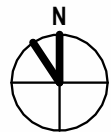
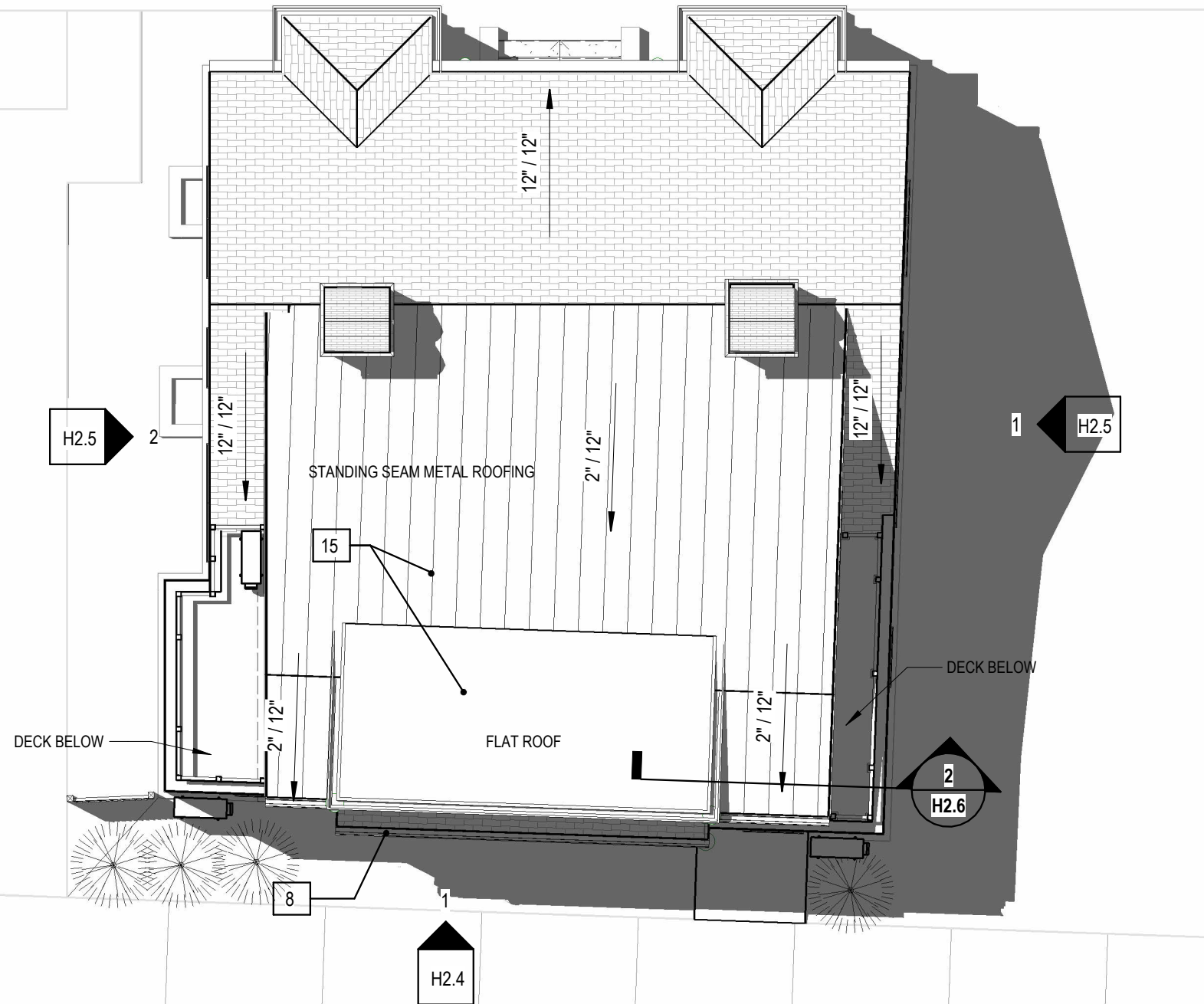
| RECOMMENDATIONS | |
|-----------------|---|
| NOTES | |
| 1 | Demolition part of the roof based on the drawings. |
| 2 | Rebuild the existing chimney with brick veneer to match the existing color texture and details. |
| 3 | Demolition roof. |



DEMO - ROOF LEVEL
258 MAPLEWOOD AVENUE

| RECOMMENDATIONS | |
|-----------------|--|
| NOTES | |
| 8 | Gutter and downspouts to match existing. |
| 15 | New roof. |

MAPLEWOOD AVE.



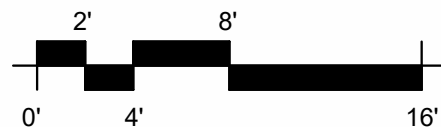
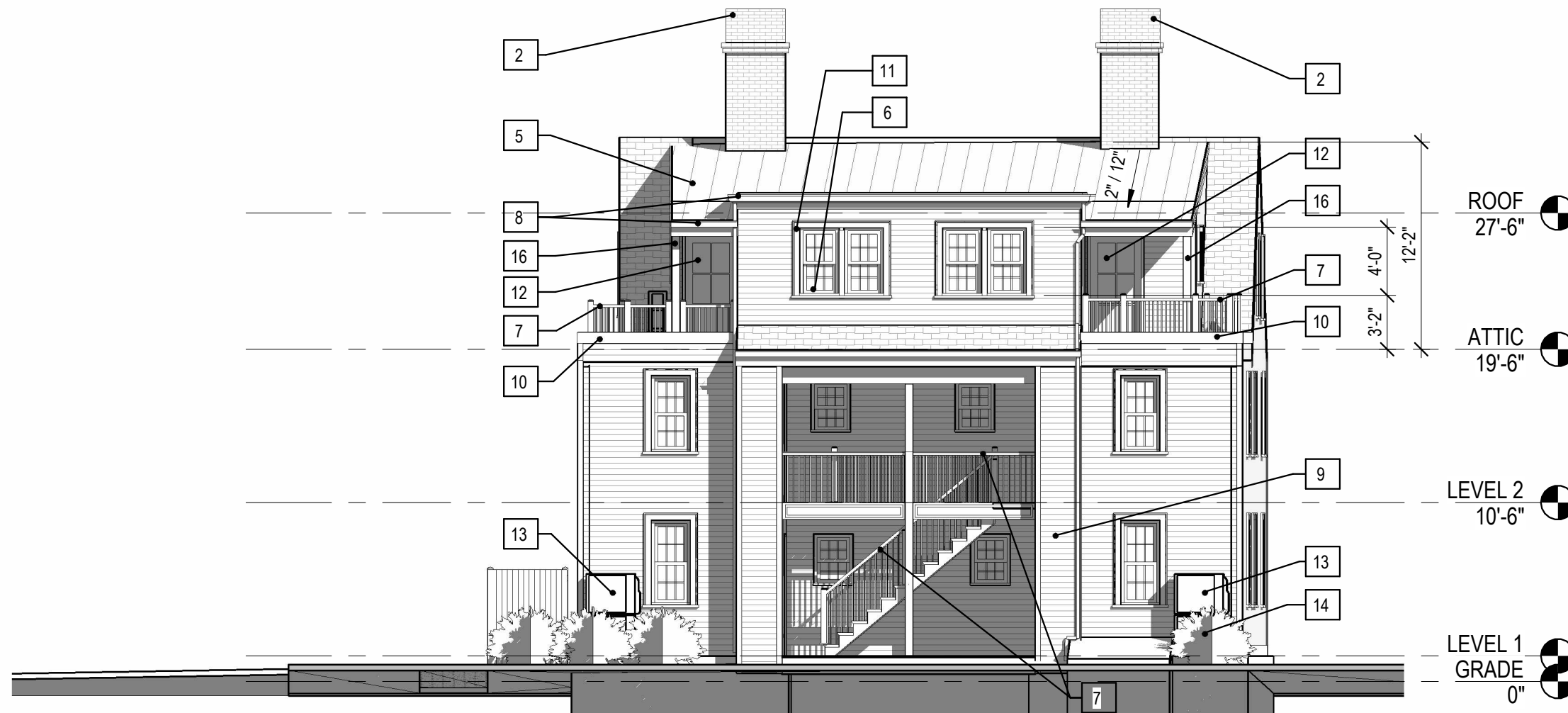
ROOF PLAN

258 MAPLEWOOD AVENUE

H2.3

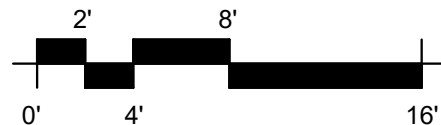
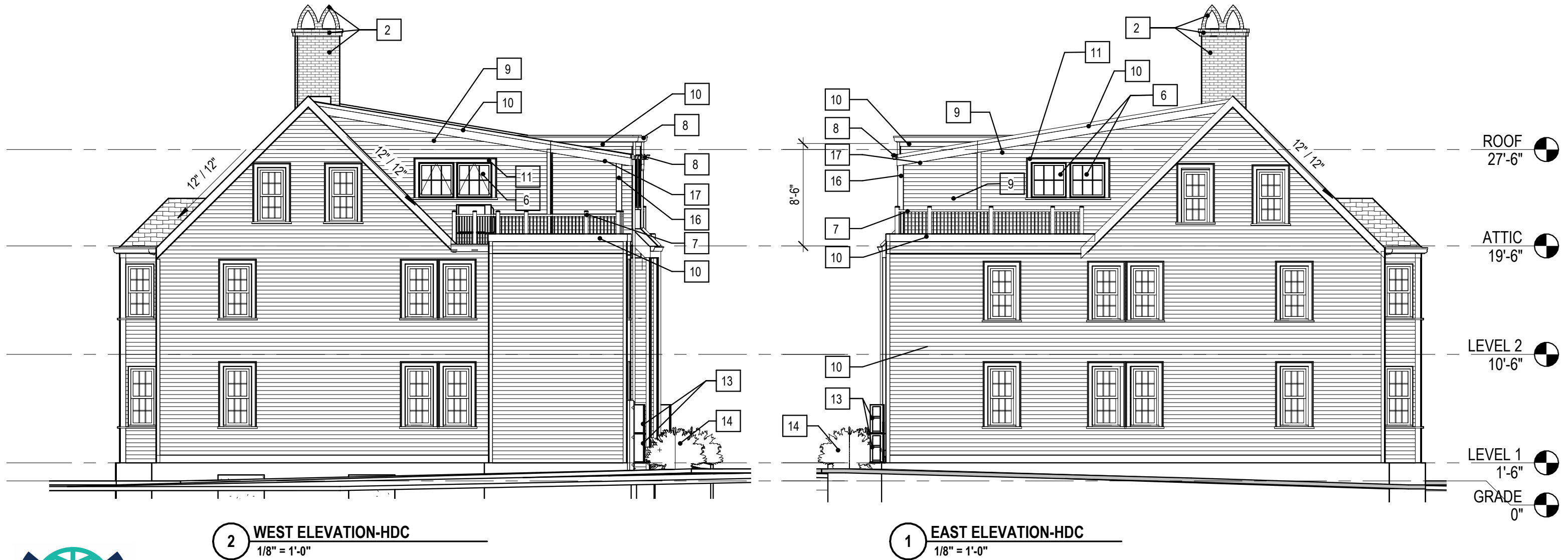
04/24/2024
PROJECT NO:1036

| RECOMMENDATIONS | |
|-----------------|---|
| | NOTES |
| 2 | Rebuild the existing chimney with brick veneer to match the existing color texture and details. |
| 5 | Adding new dormer. |
| 6 | New windows aluminum clad wood. |
| 7 | Aluminum railing (black). |
| 8 | Gutter and downspouts to match existing. |
| 9 | Wood clapboard siding to match existing. |
| 10 | Composite trim (AZEK) to match existing profiles. |
| 11 | Composite 4 inches casing with band molding, 2 inches sill nosing. |
| 12 | Patio doors are aluminum clad wood. |
| 13 | Future added outdoor air source heat pump. |
| 14 | Landscape plants to hide the outdoor air source heat pump. |
| 16 | New column to match existing. |



BACK (SOUTH) ELEVATION
258 MAPLEWOOD AVENUE

| RECOMMENDATIONS | |
|-----------------|---|
| NOTES | |
| 2 | Rebuild the existing chimney with brick veneer to match the existing color texture and details. |
| 6 | New windows aluminum clad wood. |
| 7 | Aluminum railing (black). |
| 8 | Gutter and downspouts to match existing. |
| 9 | Wood clapboard siding to match existing. |
| 10 | Composite trim (AZEK) to match existing profiles. |
| 11 | Composite 4 inches casing with band molding, 2 inches sill nosing. |
| 13 | Future added outdoor air source heat pump. |
| 14 | Landscape plants to hide the outdoor air source heat pump. |
| 16 | New column to match existing. |
| 17 | Composite trim and fiber cement soffit. |

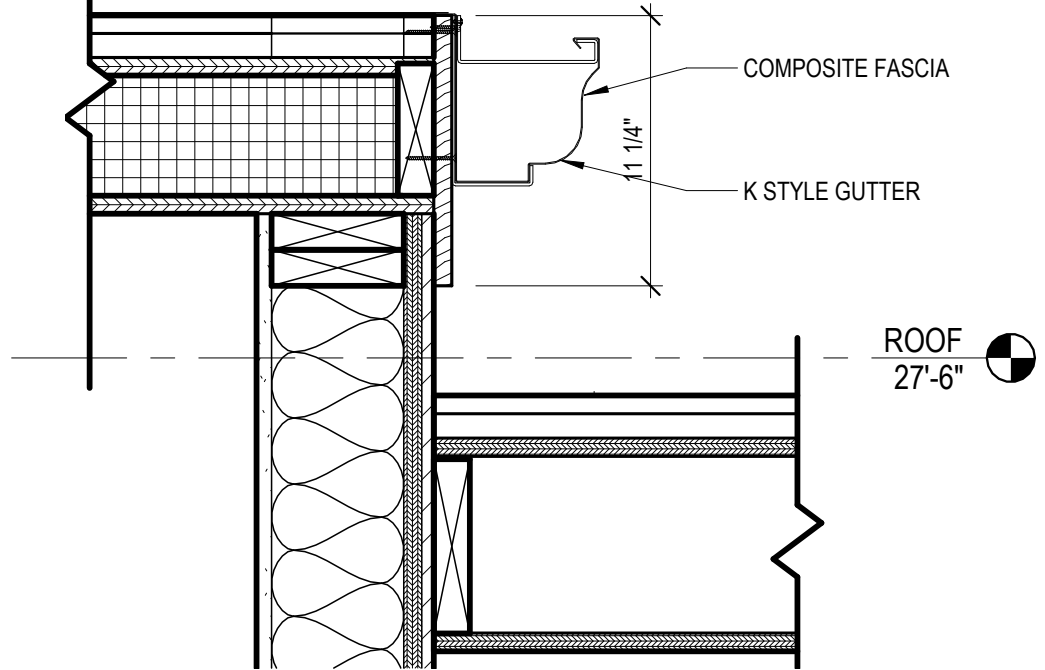


SIDE ELEVATIONS
258 MAPLEWOOD AVENUE

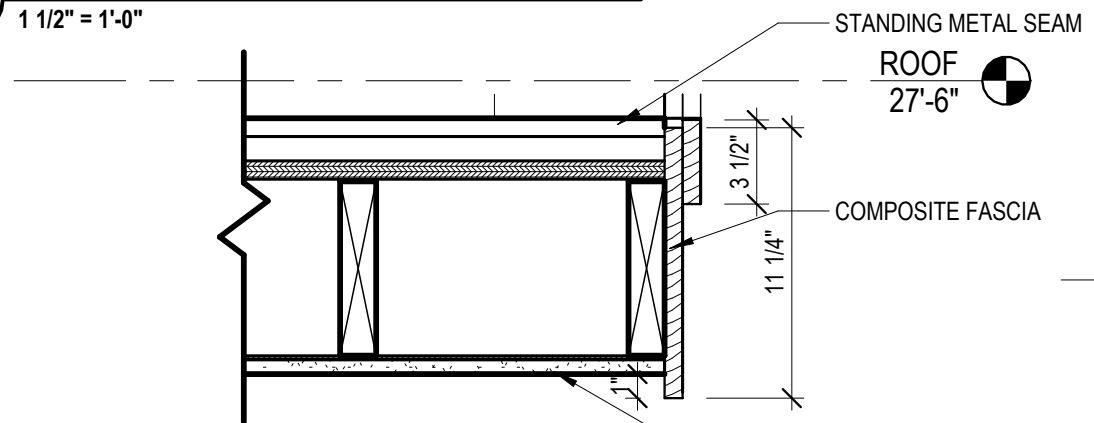
H2.5

04/24/2024
PROJECT NO:1036

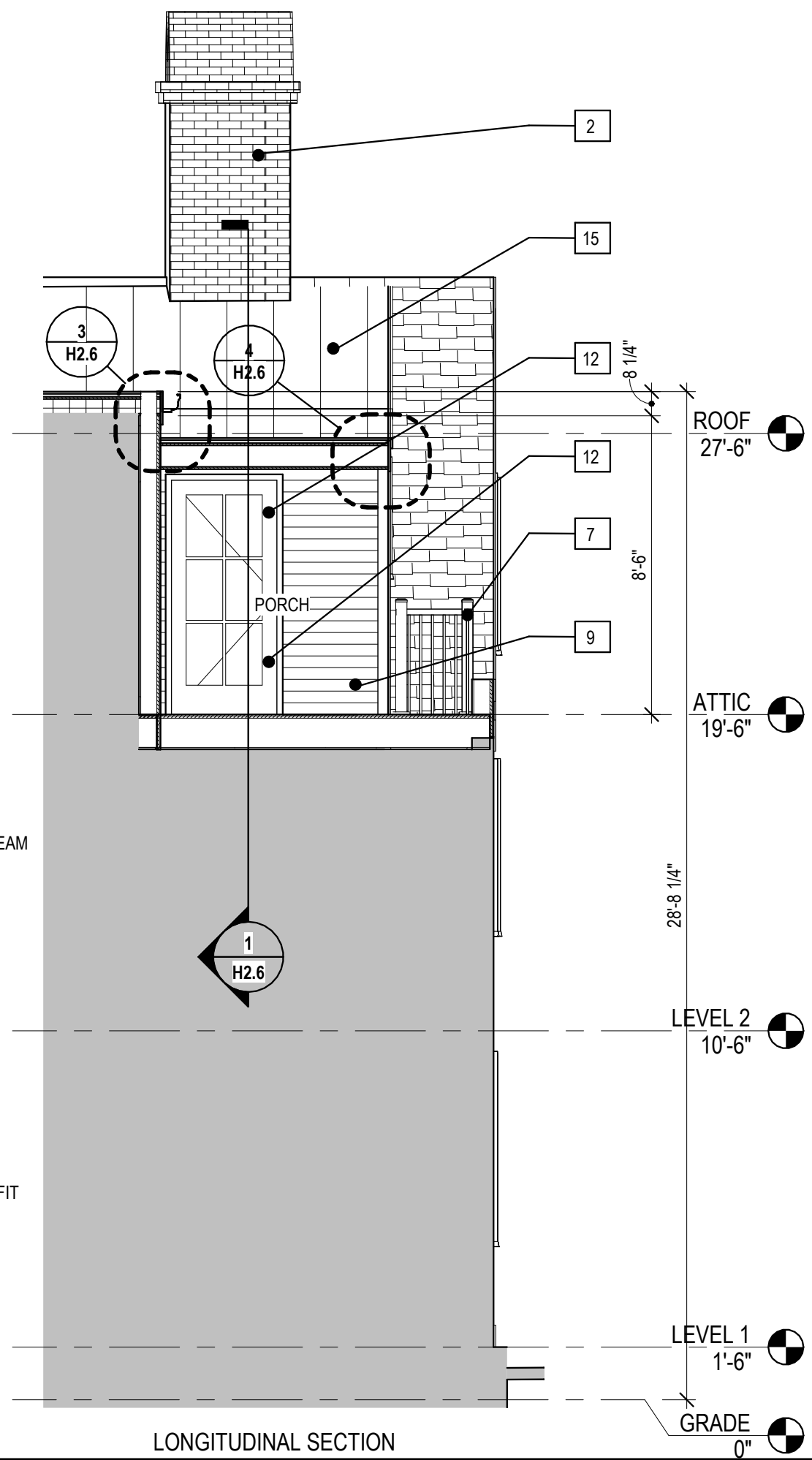
| RECOMMENDATIONS | |
|-----------------|---|
| NOTES | |
| 2 | Rebuild the existing chimney with brick veneer to match the existing color texture and details. |
| 7 | Aluminum railing (black). |
| 9 | Wood clapboard siding to match existing. |
| 12 | Patio doors are aluminum clad wood. |
| 15 | New roof. |



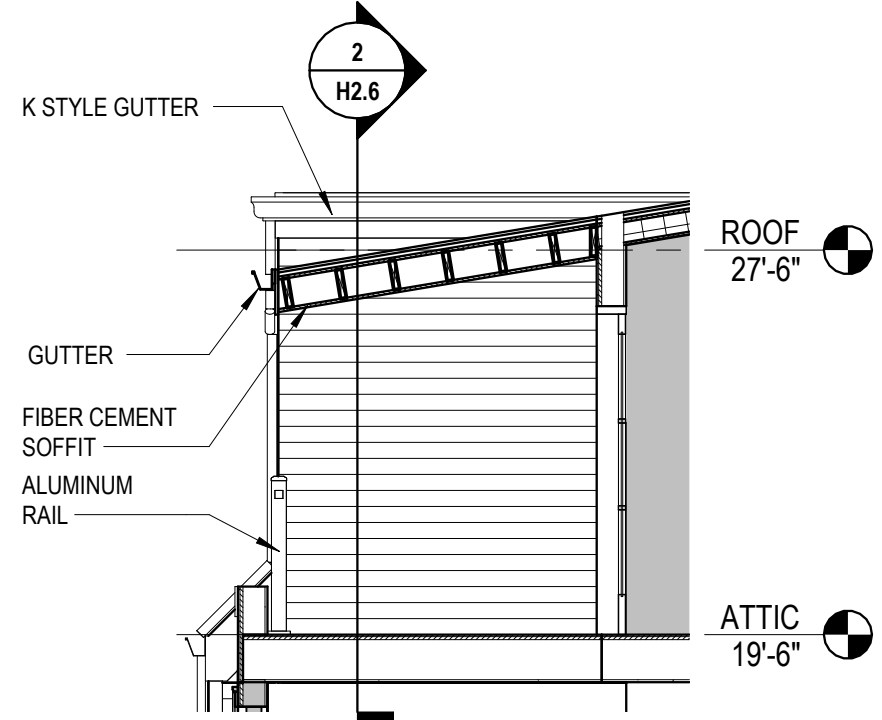
3 ROOF FASCIA - FLAT ROOF
1 1/2" = 1'-0"



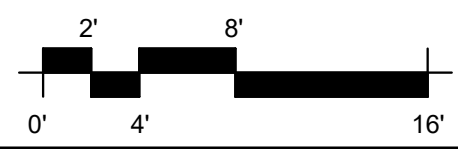
4 ROOF FASCIA - STANDING SEAM ROOF
1 1/2" = 1'-0"



LONGITUDINAL SECTION
258 MAPLEWOOD AVENUE



1 CROSS SECTION
1/4" = 1'-0"

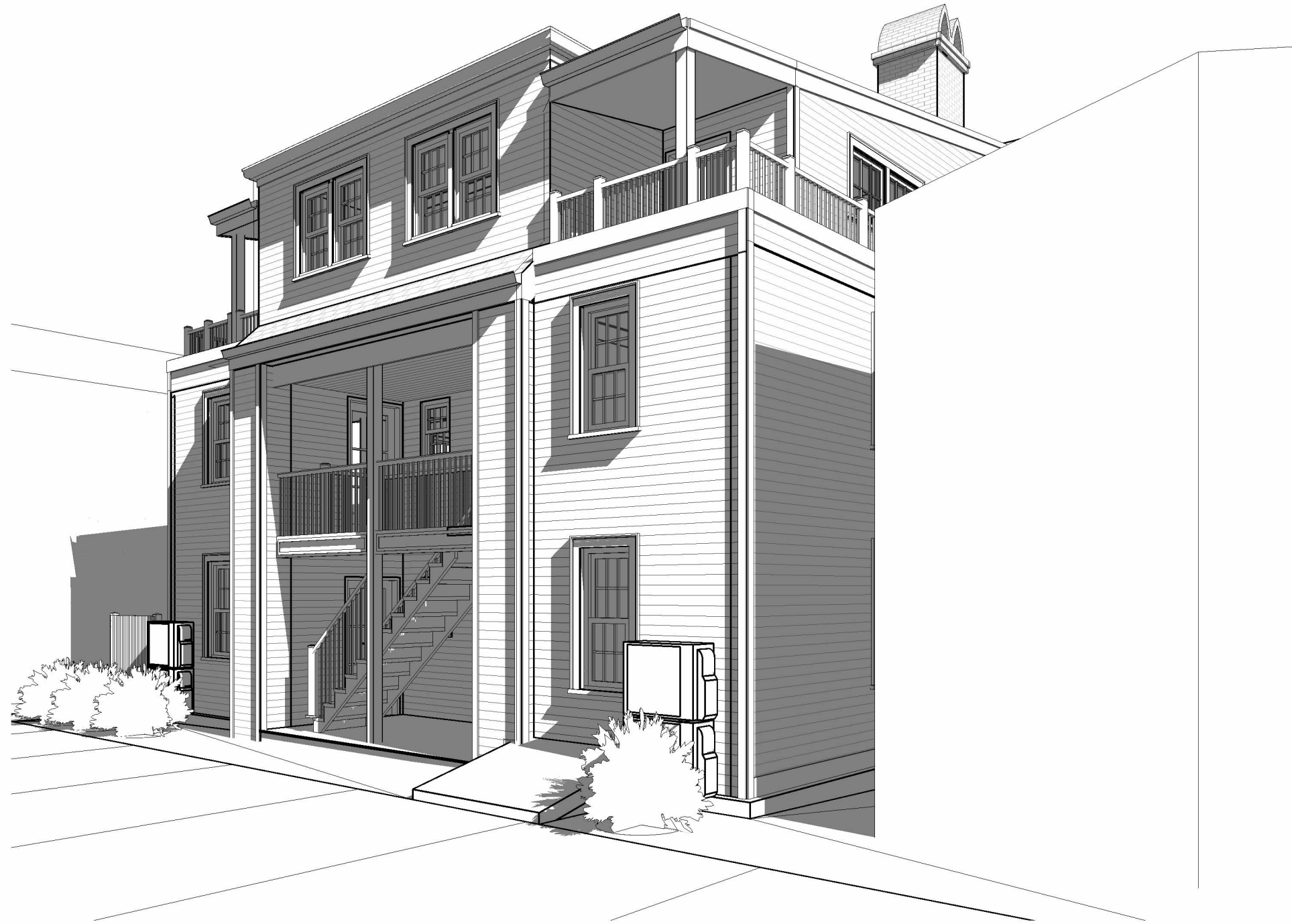




RENDERING
258 MAPLEWOOD AVENUE



RENDERING
258 MAPLEWOOD AVENUE



3D VIEWS
258 MAPLEWOOD AVENUE





3D VIEWS
258 MAPLEWOOD AVENUE

Project Address: 466 MARCY STREET

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 5

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 1,550 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Vernacular Greek
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Marcy Street
- Unique Features: N/A
- Neighborhood Association: South End

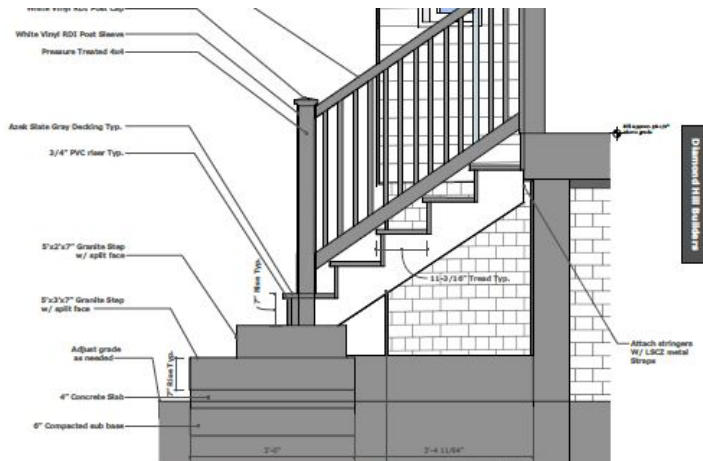


B. Proposed Work: For the removal of the existing staircase and the installation of a new wood and granite staircase.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Removal and replacement of the front stairs.

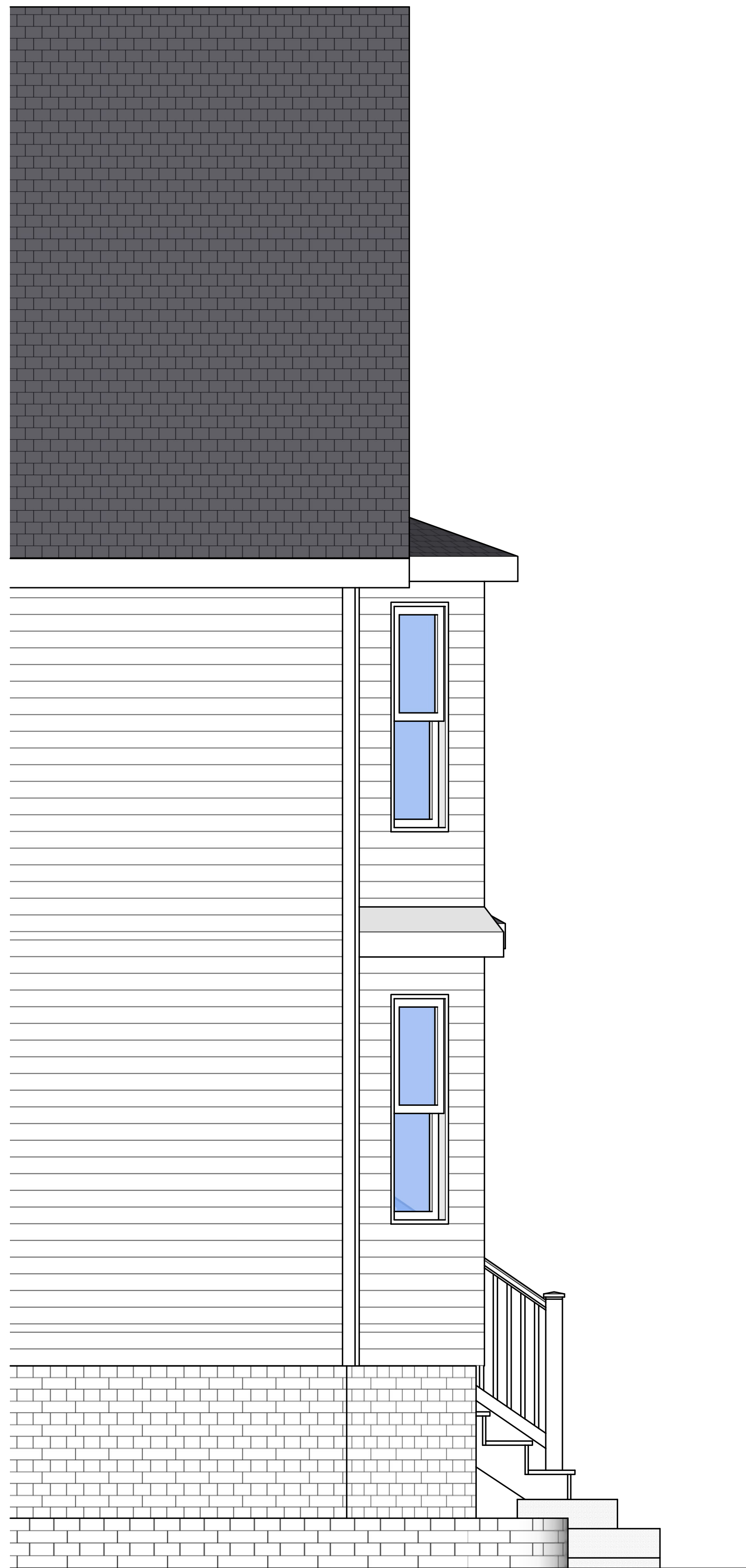


D. Purpose and Intent:

19. Preserve the integrity of the District
20. Assessment of the Historical Significance
21. Conservation and enhancement of property values
22. Maintain the special character of the District
23. Complement and enhance the architectural and historic character
24. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

13. Consistent with special and defining character of surrounding properties
14. Compatibility of design with surrounding properties
15. Relation to historic and architectural value of existing structures
16. Compatibility of innovative technologies with surrounding properties



Left View
Scale: 1/2" = 1' Scale

A | 001



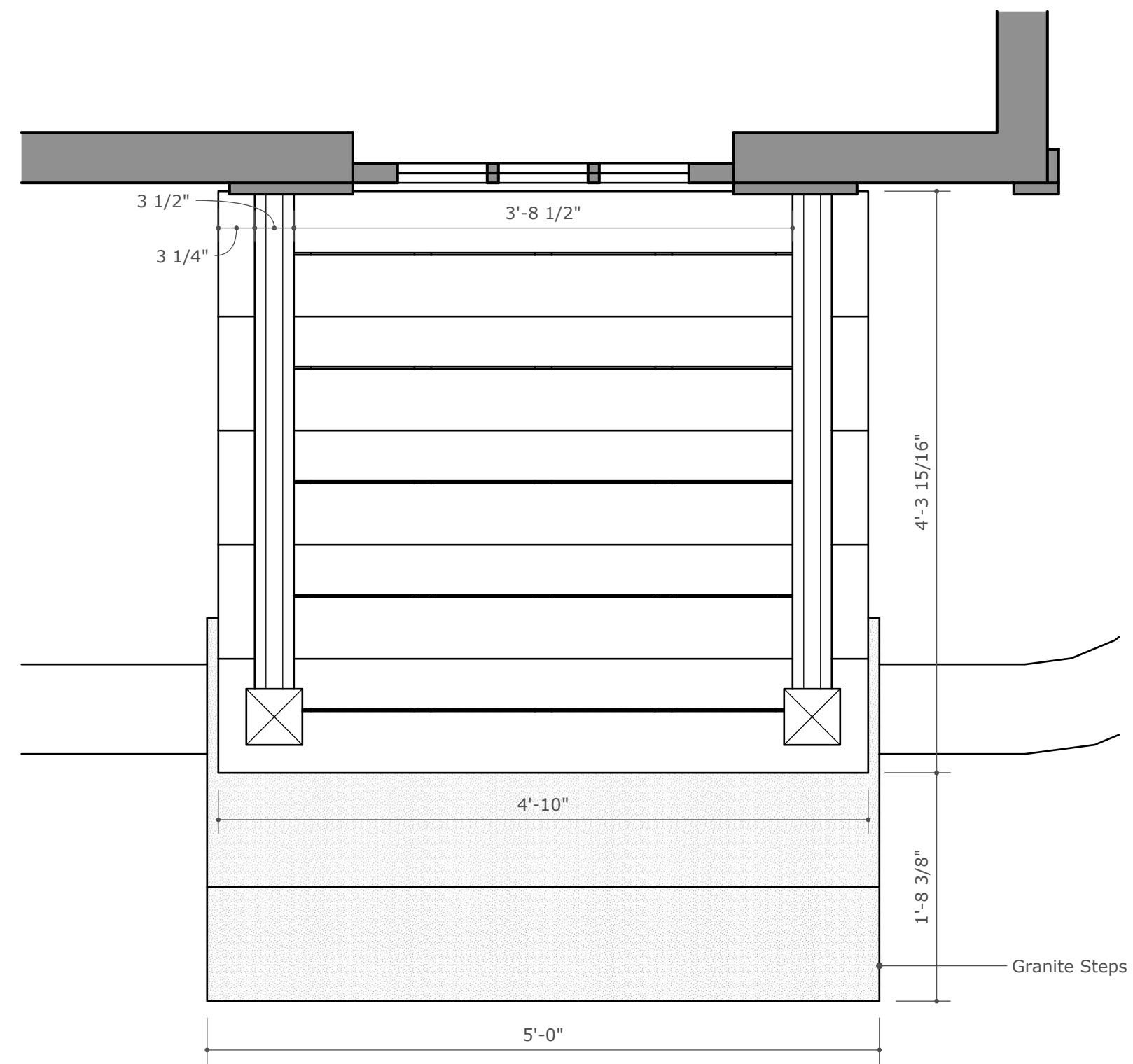
Front View
Scale: 1/2" = 1' Scale

A | 002

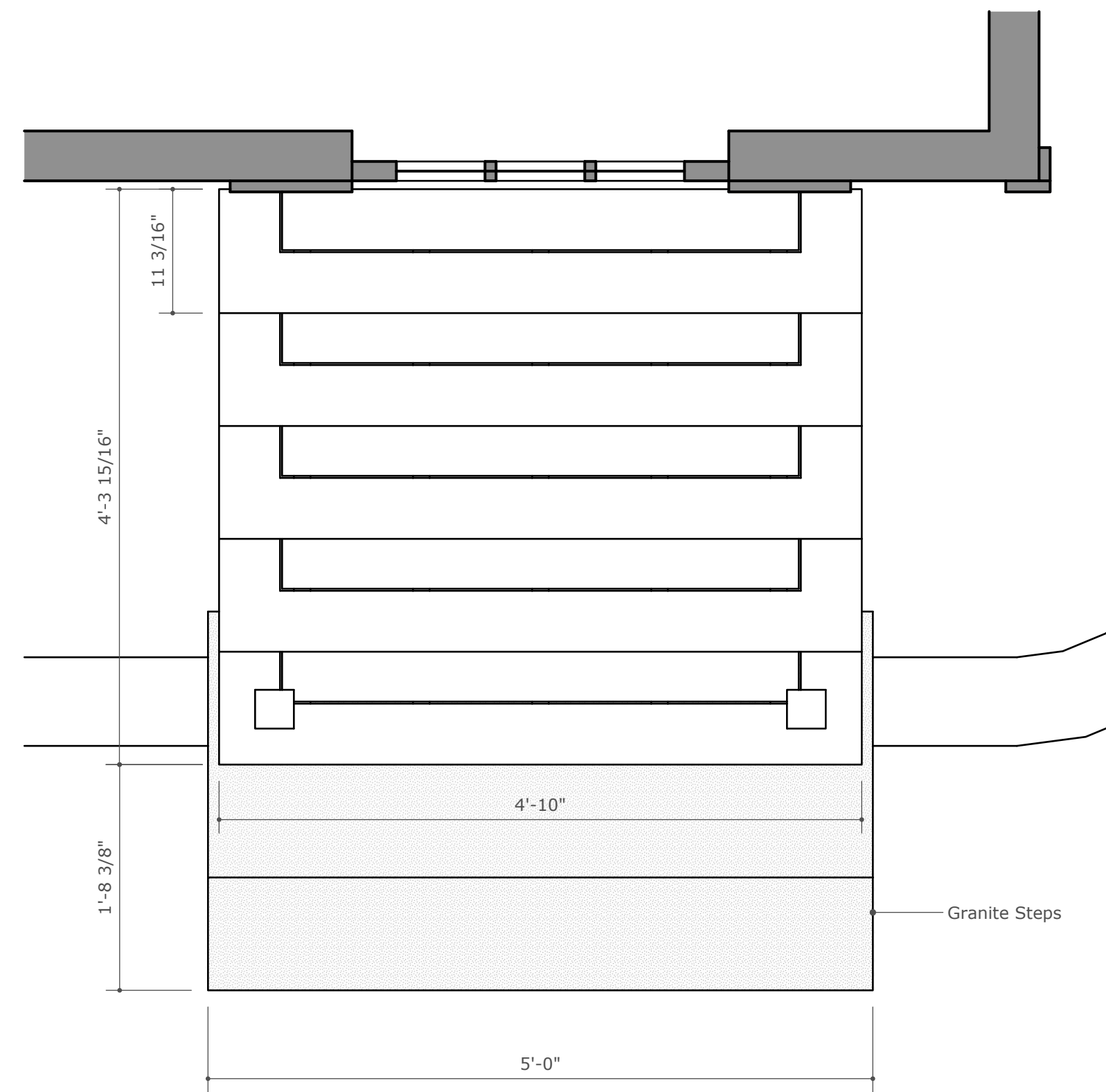


Right View
Scale: 1/2" = 1' Scale

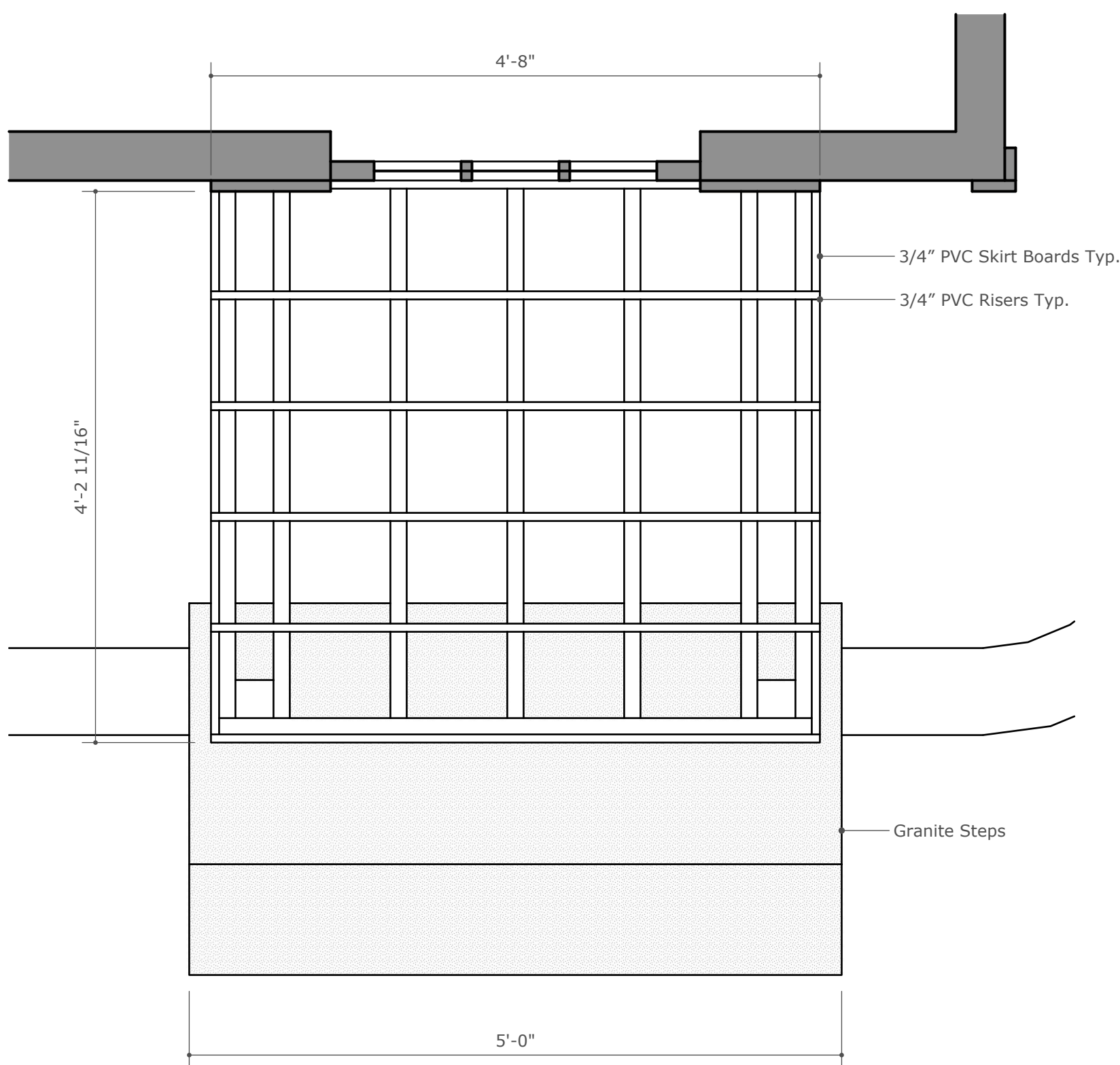
A | 003



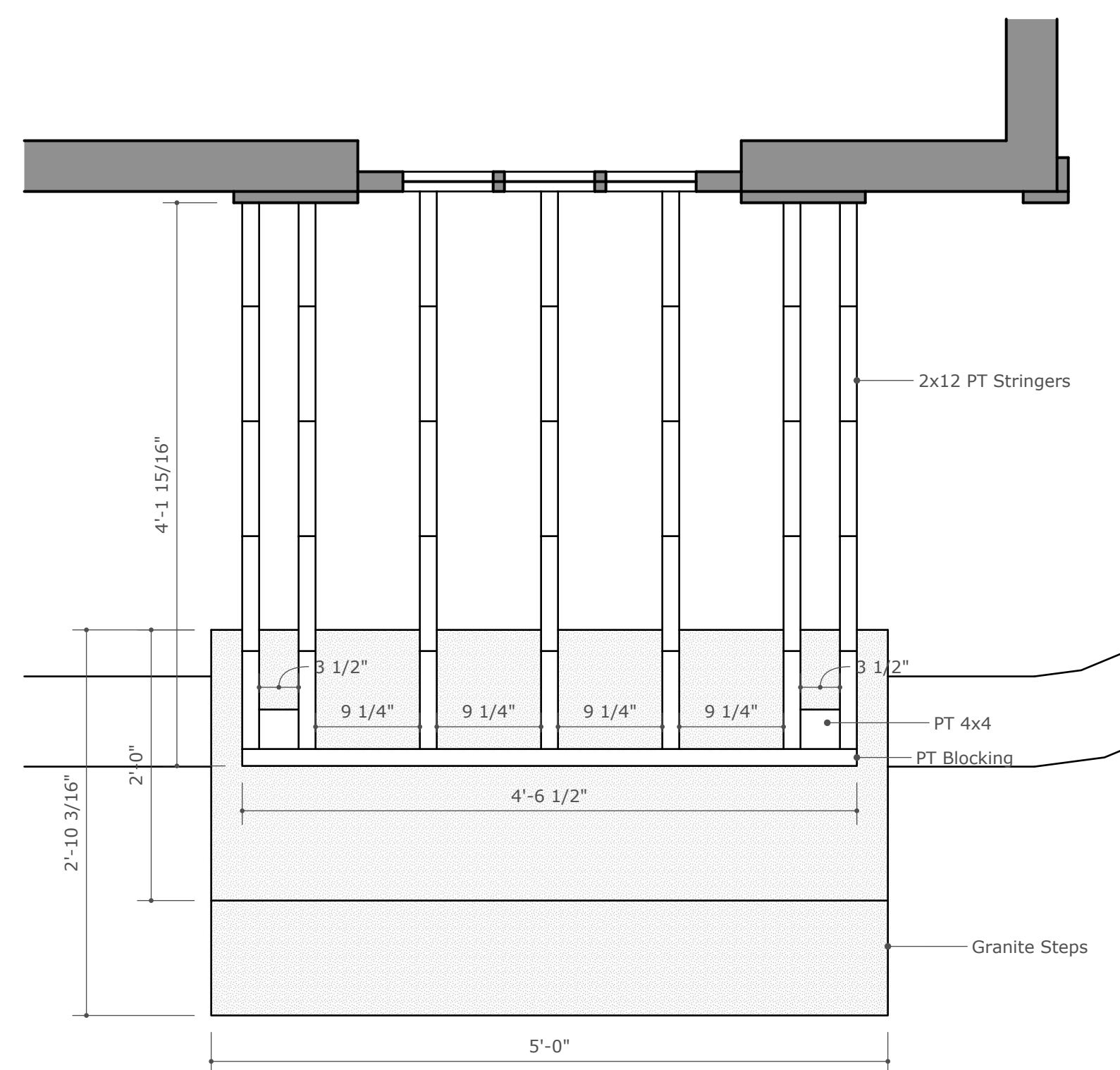
Railing Plan
Scale: 1" = 1' Scale
A 004



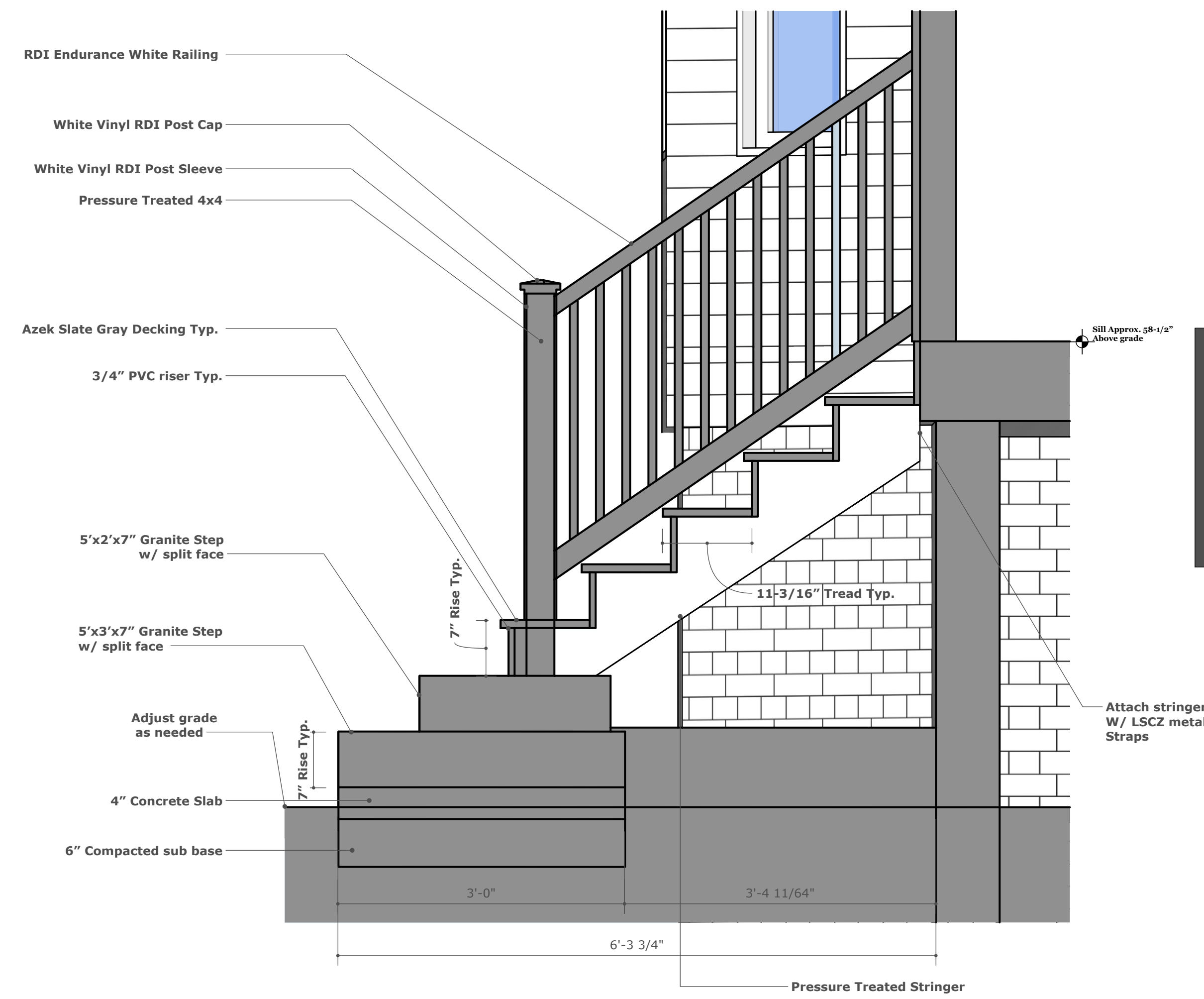
Decking Plan
Scale: 1" = 1' Scale
A 005



Trim Plan
Scale: 1" = 1' Scale
A 006



Framing Plan
Scale: 1" = 1' Scale
A 007



Cross Section Detail
Scale: 1" = 1' Scale
A 008

Project Address: 235 MARCY STREET

Permit Requested: WORK SESSION

Application: WORK SESSION A

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 3,688 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Marcy Street
- Unique Features: Asphalt single siding
- Neighborhood Association: South End



1) EXISTING WEST ELEVATION



2) EXISTING SOUTH ELEVATION

B. Proposed Work: For exterior renovations (replace siding, windows, repair or replace trim and casings, install wood corner boards and install copper gutter system). This proposal also includes the removal of the 1-story rear shed and add a new 2-story rear garage addition.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace windows, siding, install gutter system and wood corner boards.
- Remove 1 story rear shed.
- Construct 2 story rear garage addition.



PROPOSED SOUTHEAST VIEW



D. Purpose and Intent:

25. Preserve the integrity of the District
26. Assessment of the Historical Significance
27. Conservation and enhancement of property values
28. Maintain the special character of the District
29. Complement and enhance the architectural and historic character
30. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

17. Consistent with special and defining character of surrounding properties
18. Compatibility of design with surrounding properties
19. Relation to historic and architectural value of existing structures
20. Compatibility of innovative technologies with surrounding properties



1) EXISTING WEST ELEVATION



2) EXISTING SOUTH ELEVATION



3) EXISTING EAST ELEVATION



4) EXISTING NORTH ELEVATION



LETTER OF AGENDA

We respectfully submit this Application for Work Session #1 to review Renovation of the existing Historic 1896 structure at 235 Marcy Street, demolition of an existing one story unconditioned shed, and the addition of an attached garage with living space above.

Renovation of the Historic 1896 structure at 235 Marcy Street

Considerations:

1. Remove asphalt siding and roofing.
2. Restore and reinstall windows found to be original.
3. Repair or replace in kind existing original trim and casings.
4. Install new clapboard siding and corner boards.
5. Remove existing attached one story unconditioned shed on loose brick.
6. Install new k-style gutters and down spouts.

Addition of an Attached Garage with Living Space above

Considerations:

1. Construct new attached single car garage.
2. Replicate existing trim, rake, and eave details.
3. Install new k-style gutters and down spouts.
4. Install new metal clad windows as required.

Thank you for your consideration.
Sincerely, Carla Goodknight, AIA, NCARB
Principal, CJ Architects

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

AGENDA, AERIAL VIEW &
EXISTING ELEVATIONS
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



235 MARCY STREET



1) VIEW FROM SITE LOOKING NORTH



2) VIEW FROM SITE LOOKING SOUTH



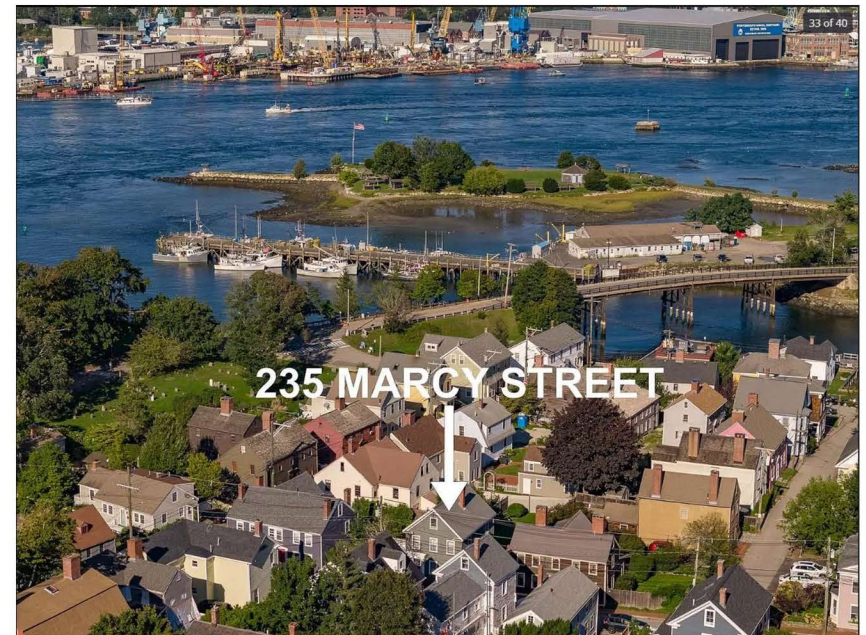
EXISTING AERIAL VIEW



3) VIEW FROM SOUTH OF MARCY STREET



4) VIEW FROM NORTH OF MARCY STREET



EXISTING AERIAL VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING STREET VIEWS
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



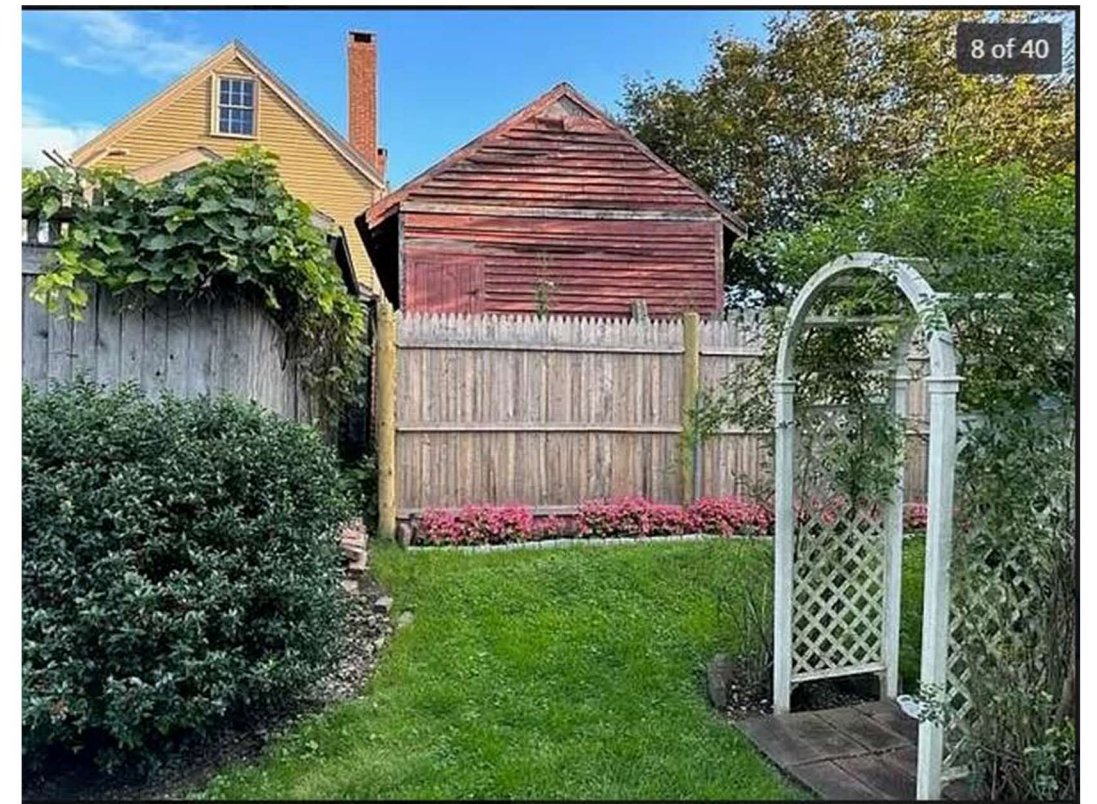
1.0



1) VIEW OF EXISTING FRONT ENTRY



2) VIEW OF TYPICAL ABUTTERS DORMERS



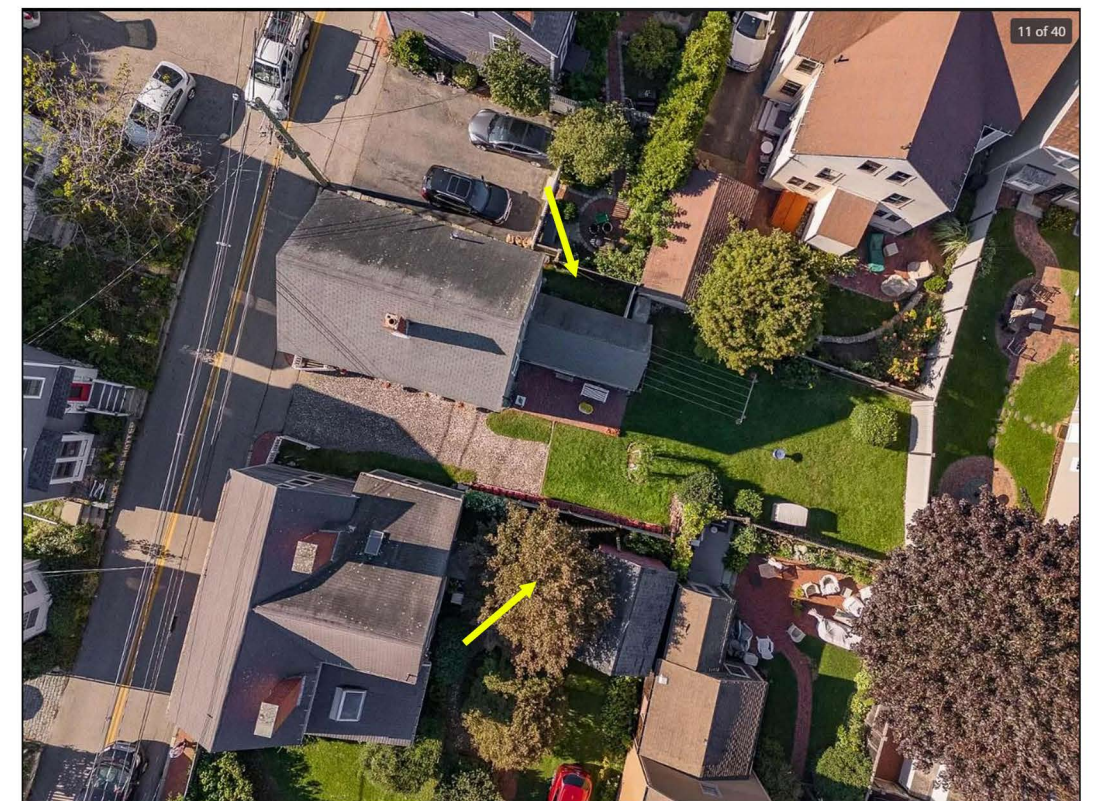
3) VIEW OF ABUTTERS GARAGE TO THE EAST



4) VIEW OF EXISTING WINDOW CASING



5) VIEW OF EXISTING FOUNDATION AT ATTACHED SHED



6) AERIAL VIEW OF ABUTTERS AND SURROUNDING GARAGES

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITIONS

HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



2.0



EXISTING NORTHWEST VIEW



EXISTING SOUTHWEST VIEW



PROPOSED NORTHWEST VIEW



PROPOSED SOUTHWEST VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED VIEWS
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



3.0



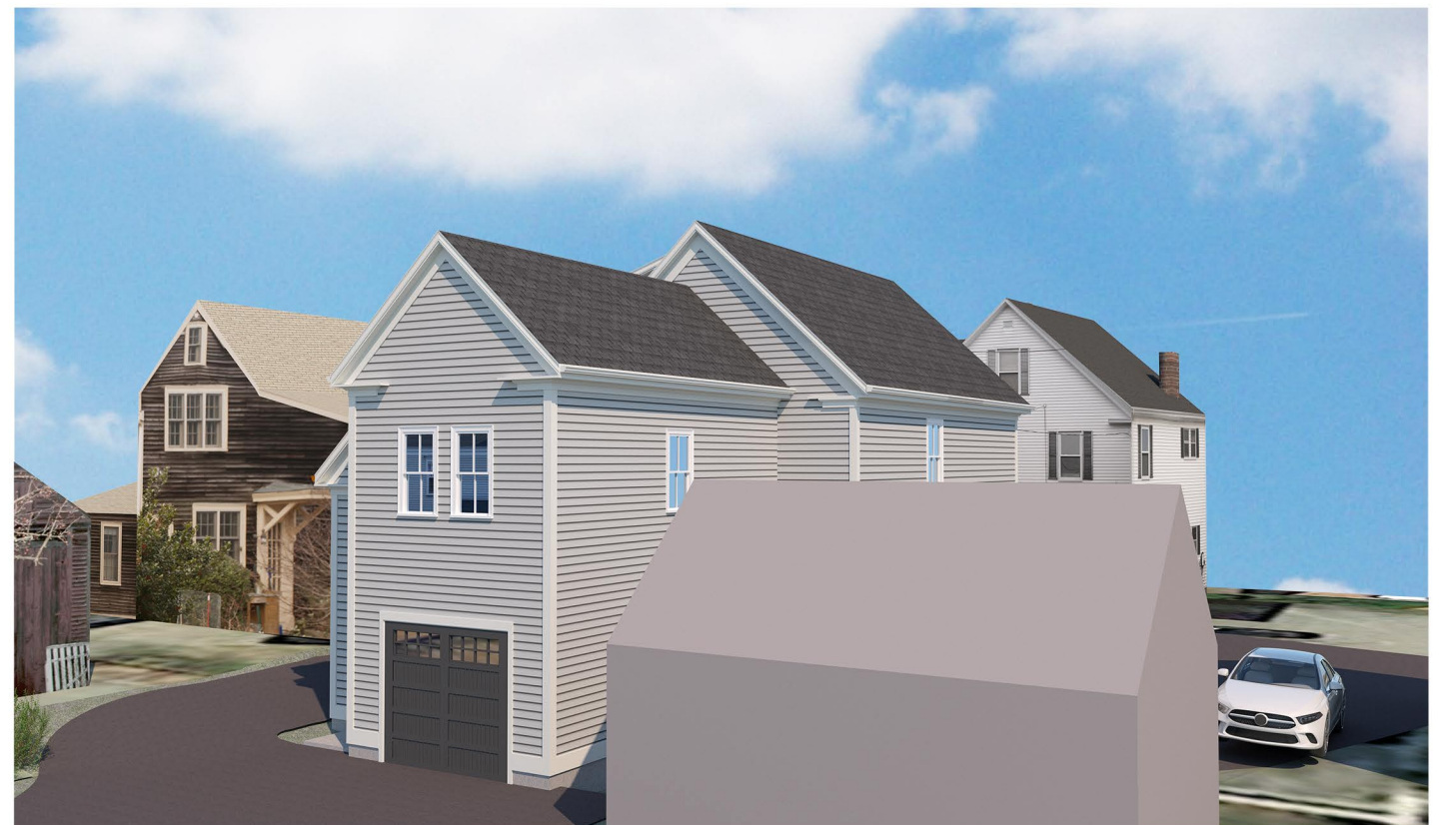
EXISTING SOUTHEAST VIEW



EXISTING NORTHEAST VIEW



PROPOSED SOUTHEAST VIEW



PROPOSED NORTHEAST VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED VIEWS
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024





1 EXISTING WEST ELEVATION
1/8" = 1'-0"



3 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
1/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



4.0



1 EXISTING EAST ELEVATION
1/8" = 1'-0"



3 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
1/8" = 1'-0"



4 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024





235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN

HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



5.0