

PROJECT NARRATIVE

The Applicant, One Market Square, LLC, intends to merge and combine Map 0117 Lot 14 (with an address of 1 Congress Street and 15 High Street) with Map 0117 Lot 12 (with an address of 15 Congress Street).

Map 0117 Lot 14 is owned by One Market Square, LLC. Map 0117 Lot 12 is owned by Wenberry Associates, LLC., and the Applicant has a certain binding Purchase and Sale Agreement with Wenberry Associates, LLC.

This application includes newly proposed changes to 15 Congress Street (Map 0117 Lot 12), and revisions to 1 Congress Street (Map 0117 Lot 14) which was previously approved by HDC, and as modified by this application.

SITE

Significant improvements are proposed for Haven Court (private way owned by One Market Square, LLC) including utilities, hardscape pavers, cantenary lights, trash and recycling and landscaping. The design intent is to connect High Street with Fleet Street for the benefit of the public and to provide retail continuity, which is vital for retail success. The proposed Haven Court connection is supported by the Master Plan as part of an overall connection running from McIntyre to Vaughan Mall.

The existing grade on Haven Court will be changed to provide for a handicap accessible connection between High Street and Fleet Street.

BUILDING - 15 CONGRESS STREET (Map 0117 Lot 12)

Scope of work includes rehabilitation and adaptive reuse of existing structures, with minor accessory additions.

For newly proposed changes to 15 Congress Street (Map 0117 Lot 12), the following is proposed:

-New projecting storefronts with recessed entrance stoops are proposed along the north elevation of the property to create a retail experience between High Street and Fleet Street. The upper floors and roof top will be residential use. The lower floor will remain retail and restaurant uses.

-An egress stair tower, accessible elevator, and main entrance for the upper floors of residential will be accessed from Haven Court.

-A new rooftop penthouse, and secondary egress stair overrun are proposed at the existing roof. Existing flat roof will accommodate a roof deck with green roof elements for tenant use, solar PV panels, and mechanical equipment.

-The existing brick facade on Congress Street will be repaired and restored according to historic photographs. The existing brick facade on Fleet Street will be repaired, with new awning proposed at storefront windows and entrances.

**1 CONGRESS STREET
(MAP 0117 LOT 14)
&
15 CONGRESS STREET
(MAP 0117 LOT 12)**

**RENOVATION & ADDITIONS
1 & 15 CONGRESS STREET
ONE MARKET SQUARE, LLC
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING 1
NOVEMBER 2024**

BUILDING - 1 CONGRESS STREET (Map 0117 Lot 14)

AS PREVIOUSLY APPROVED:

REHABILITATION AND ADAPTIVE REUSE OF EXISTING HISTORIC STRUCTURES WITH A NEW ADJACENT STRUCTURE ON REAR SURFACE PARKING LOT.

ONE LEVEL OF BELOW GRADE PARKING IS PROPOSED. RETAIL IS LOCATED AT FIRST FLOOR WITH RESIDENTIAL UNITS AND OFFICE SPACE ABOVE.

EXISTING FOCAL BUILDINGS ON CONGRESS AND HIGH STREETS WILL BE REPAIRED, RESTORED AND BROUGHT UP TO CURRENT CODES. THE SMALLER WOODEN SHED ADDITIONS TO THE REAR OF THESE BUILDINGS WILL BE REPLACED WITH NEW CONSTRUCTION.

REVISIONS TO PREVIOUSLY APPROVED APPLICATION:

1. **EXTEND THE REAR OF PROPOSED ADDITION (WEST FACADE) TEN FEET FURTHER WEST TO THE PROPERTY LINE, TO CONNECT WITH THE ABUTTING EXISTING BUILDING AT 15 CONGRESS STREET.**
2. **ADD NEW ENTRANCE DOOR AND CANOPY ALONG HAVEN COURT AT EXPANDED BUILDING AREA ABUTTING 15 CONGRESS STREET. THIS WILL BE THE PRIMARY ENTRANCE FOR RESIDENTS OF 15 CONGRESS STREET.**
3. **REPLACE WEST SKYLIGHTS AT ATTIC LEVEL WITH RECESSED BALCONIES.**
4. **EXTEND PREVIOUSLY APPROVED FACADE MATERIALS FURTHER DOWN, RANGING 0 TO 53 INCHES, TO MEET THE PROPOSED LOWERED GRADE AT HAVEN COURT.**

HN0.01 COVER
1-15 CONGRESS STREET

10/18/24



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DRAWING INDEX - 15 CONGRESS STREET

HN0.00 - COVER
HN0.11 - HISTORIC CONDITIONS, SITE MAPS
HN0.12 - HISTORIC CONDITIONS, CONGRESS STREET
HN0.13 - HISTORIC CONDITIONS, FLEET STREET
HN0.14 - HISTORIC CONDITIONS, HAVEN COURT

HN1.01 - SITE SURVEY, EXISTING
HN1.02 - SITE PLAN, PROPOSED
HN1.03 - LANDSCAPE PLAN
HN1.04 - ROOF PLAN

HN2.00 - EAST ELEVATION
HN2.01 - NORTH ELEVATION - HAVEN COURT
HN2.02 - WEST ELEVATION, FLEET STREET
HN2.03 - S/E ELEVATIONS, SOUTH ALLEY
HN2.04 - SOUTH ELEVATION - CONGRESS ST
HN2.05 - ROOF DECK ELEVATIONS

HN3.01 - DETAIL - CONGRESS STREET
HN3.02 - DETAIL - HAVEN COURT, BAY WINDOW
HN3.03 - DETAIL - HAVEN COURT, BRICK WALL
HN3.04 - DETAIL - HAVEN COURT, ENTRANCE
HN3.05 - DETAIL - HAVEN COURT, EAST CORNER
HN3.06 - DETAIL - FLEET STREET, NORTH ENTRANCE
HN3.07 - DETAIL - FLEET STREET, STOREFRONT
HN3.08 - DETAIL - SOUTH ALLEY, STOREFRONT

HN4.01 - PERSPECTIVE NW FLEET STREET
HN4.02 - PERSPECTIVE NE HAVEN COURT
HN4.03 - PERSPECTIVE SOUTH ALLEY
HN4.04 - PERSPECTIVE CONGRESS STREET
HN4.05 - PERSPECTIVE, NORTH ENTRY

HN5.00 - WINDOW, DOOR & FRAME TYPES
HN5.01 - STOREFRONTS & CURTAIN WALLS

HN6.00 - MATERIALS, SCHEDULE
HN6.01 - MATERIALS, WINDOWS
HN6.02 - MATERIALS, SKYLIGHTS
HN6.03 - MATERIALS, STOREFRONT
HN6.04 - MATERIALS, CLADDING & ROOFING
HN6.05 - MATERIALS, MASONRY
HN6.06 - MATERIALS, SPECIALTIES

DRAWING INDEX - 1 CONGRESS STREET (**REVISIONS** TO PREVIOUSLY APPROVED APPLICATION)

H5.01 COVER
H5.10 SITE PLAN
H5.11 DEMOLITION PLAN
H5.12 DEMOLITION ELEVATIONS
H5.14 FIRST FLOOR PLAN (revised)

H5.16 AVERAGE GRADE PLANE CALCULATIONS
H5.17 ROOF AREAS CALCULATIONS

H5.20 ROOF HEIGHT DETAIL - HAVEN CT
H5.21 ELEVATION - CONGRESS STREET
H5.22 ELEVATION - HIGH STREET
H5.23 ELEVATION - HAVEN COURT (revised)
H5.24 ELEVATION - REAR (WEST) ALLEY (revised)

H5.32 VINGNETTE - CONGRESS STREET
H5.33 VINGNETTE - HIGH ST FROM CONGRESS ST
H5.34 VINGNETTE - HIGH ST FROM BUS STOP
H5.35 VINGNETTE - HAVEN CT FROM LADD ST (revised)
H5.36 VINGNETTE - HIGH ST AT LADD ST & HAVEN CT (revised)

H4.41 DETAILS

H5.50 MATERIALS - WINDOWS
H5.51 MATERIALS - FENESTRATION
H5.52 MATERIALS - ARCADE FENESTRATION
H5.53 MATERIALS - CLADDING
H5.54 MATERIALS - CLADDING
H5.55 MATERIALS - STOREFRONT & LIGHTING SCONCE

HN0.02 **DRAWING INDEX**
1-15 CONGRESS STREET

10/18/24

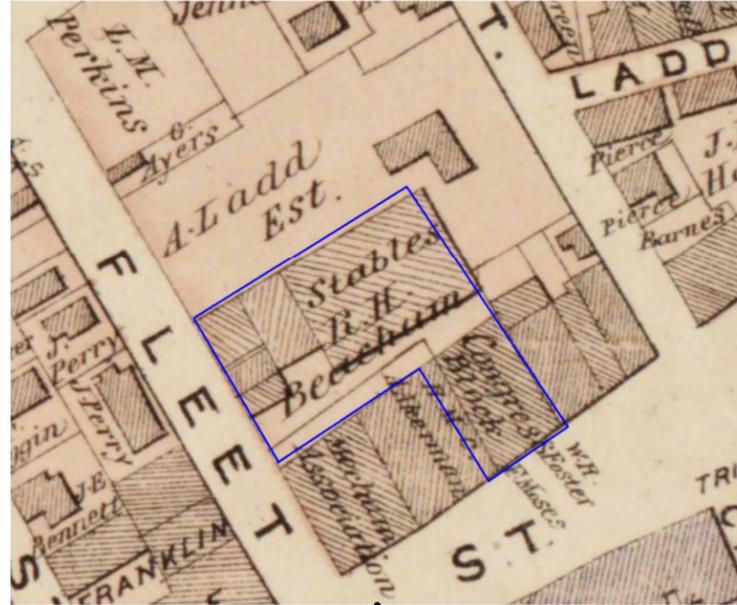


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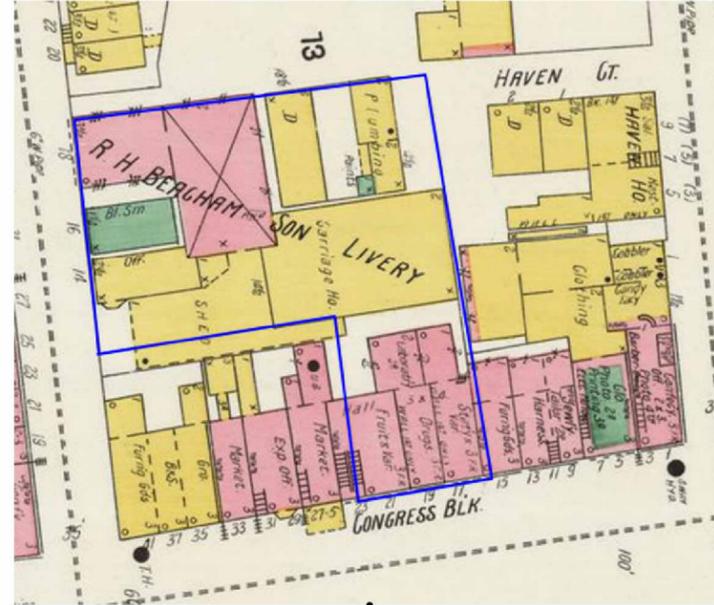
MAP BOUNDARIES



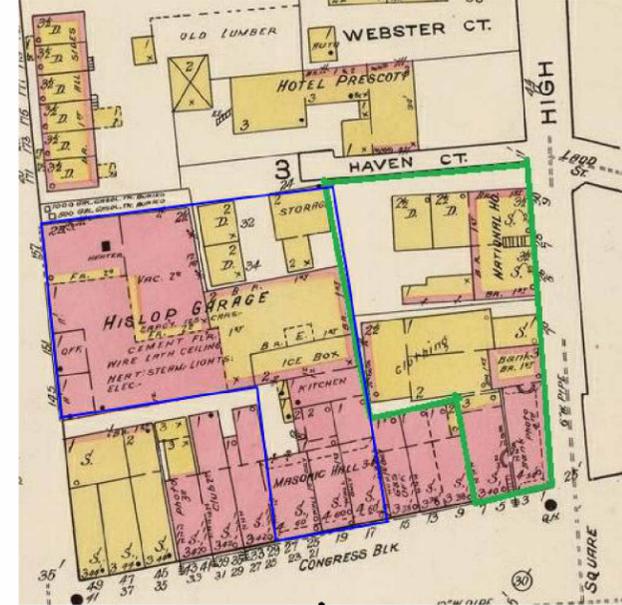
1813
STABLES & COMMERCE



1876
STABLES, RESIDENTIAL & COMMERCE



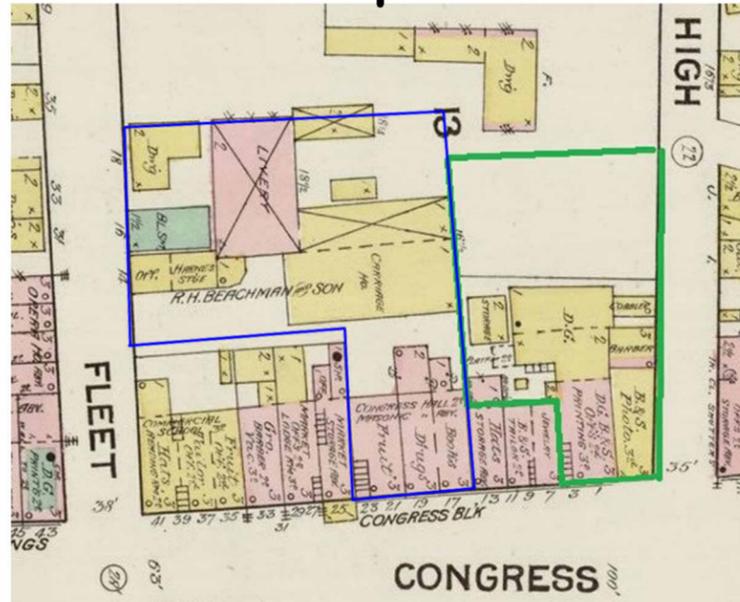
1904
STABLES, RESIDENTIAL & COMMERCE



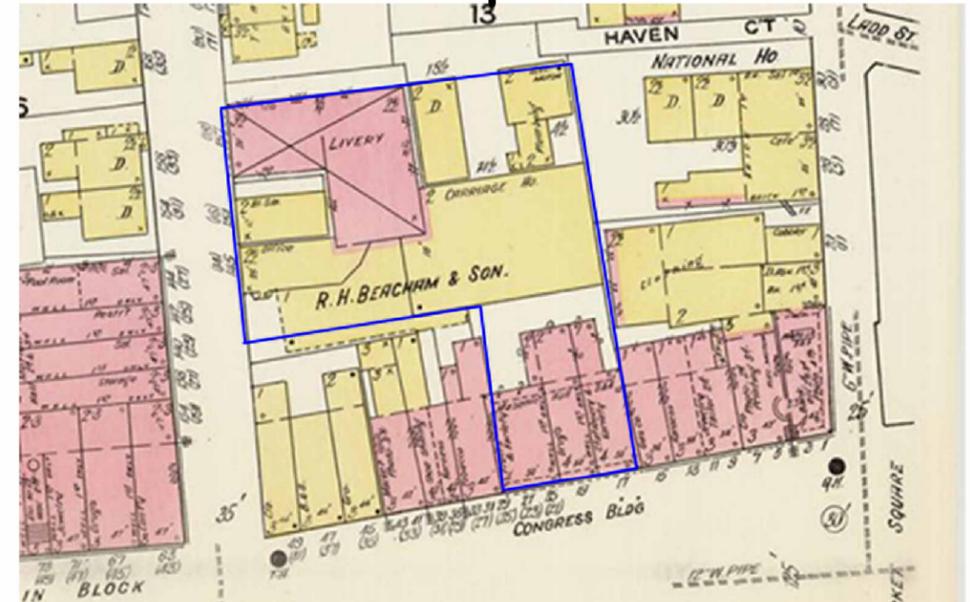
1920
GARAGE, RESIDENTIAL & COMMERCE



1850
STABLES, RESIDENTIAL & COMMERCE



1887
STABLES, RESIDENTIAL & COMMERCE



1910
STABLES, RESIDENTIAL & COMMERCE

HN0.11 HISTORIC CONDITIONS, SITE MAPS 1-15 CONGRESS STREET

10/18/24



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CONGRESS STREET



PRIOR TO THE BELL TAVERN FIRE OF MARCH, 1867
MULTIPLE COMMERCE TENANTS
RESIDENTIAL ABOVE

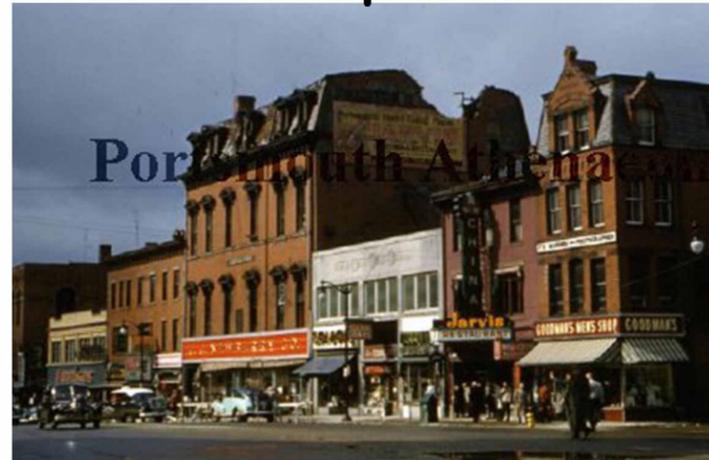
1955
NEWBERRY

1980
NEWBERRY

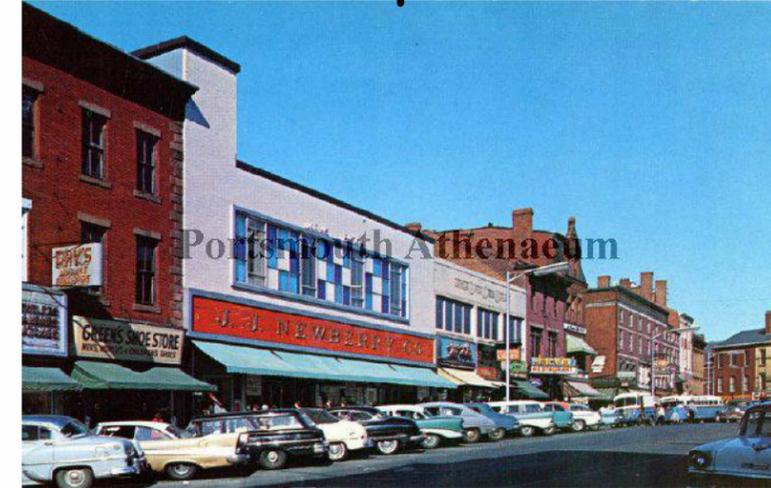
2024
EXISTING



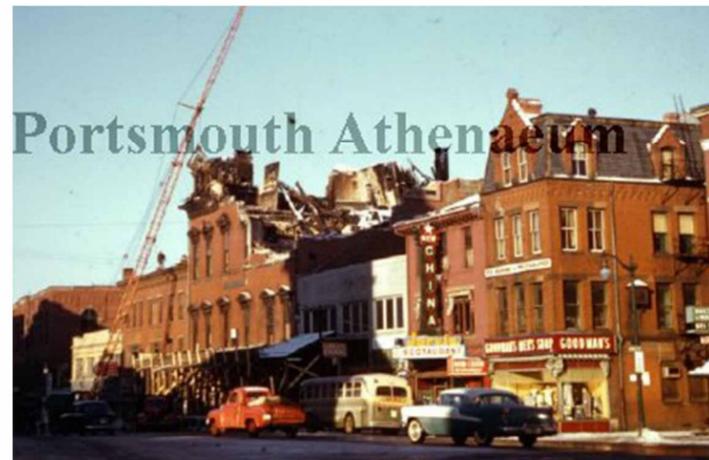
1890
PRESTON'S PHARMACY
RESIDENTIAL ABOVE



FIRE FEB 29TH, 1956



1988
NEWBERRY



DEMOLITION AFTER THE FIRE

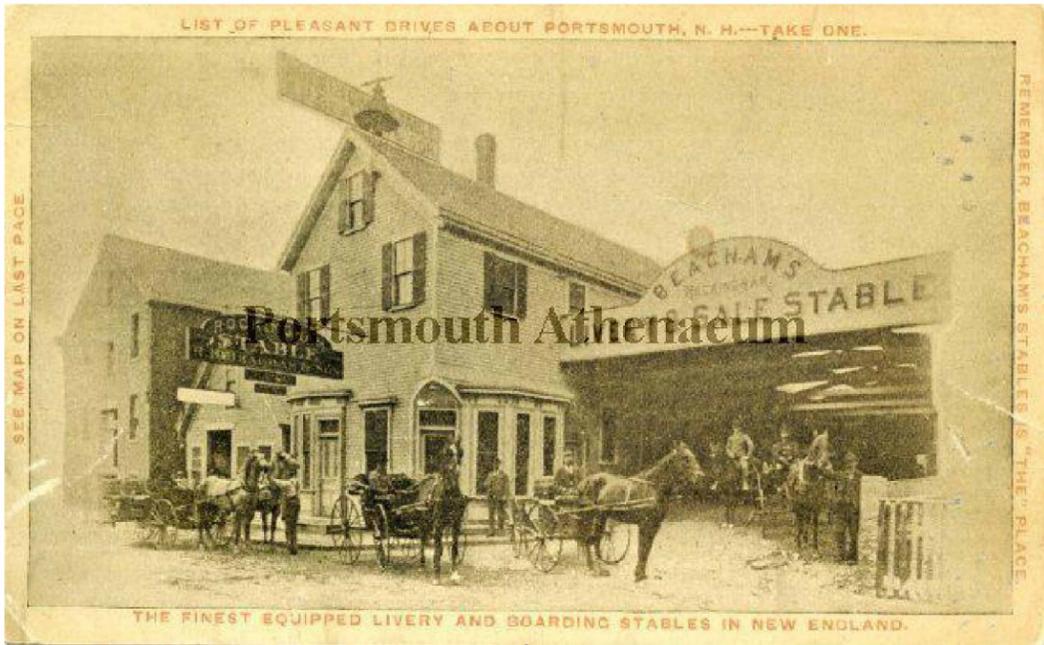
HN0.12 HISTORIC CONDITIONS, CONGRESS
1-15 CONGRESS STREET

10/18/24

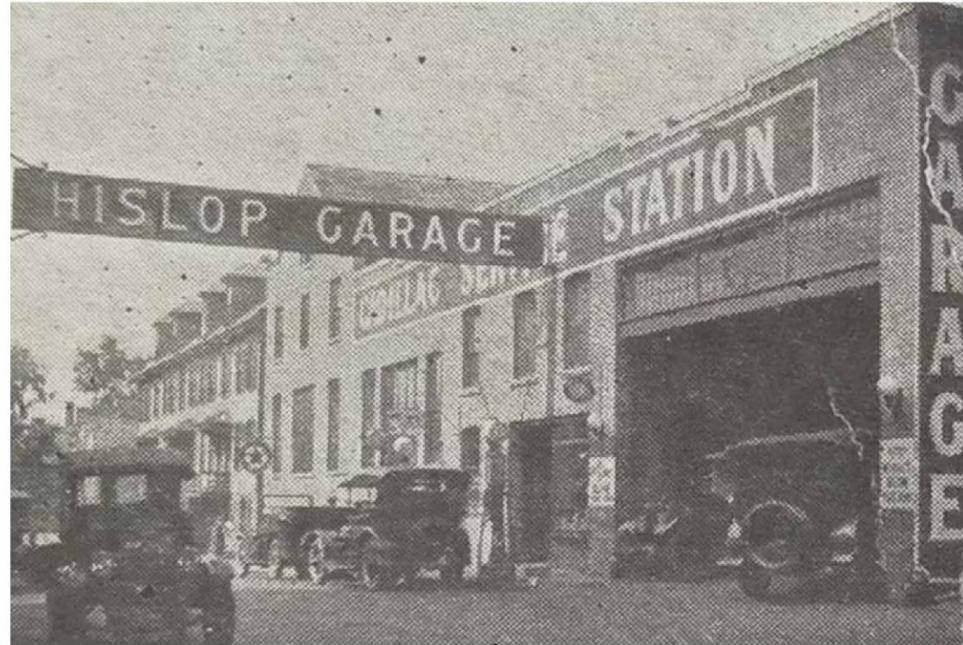


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FLEET STREET



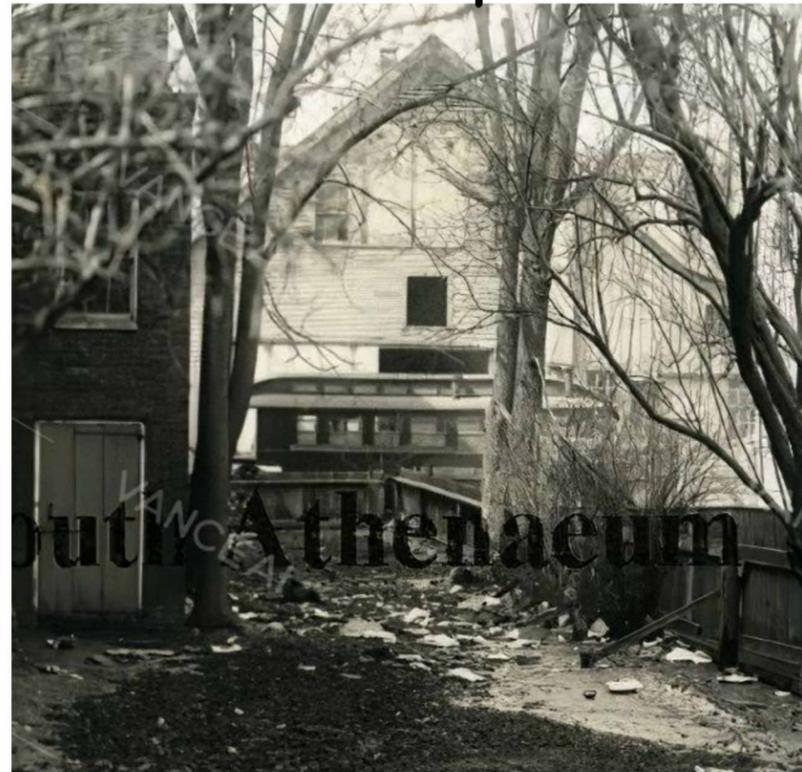
1900
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



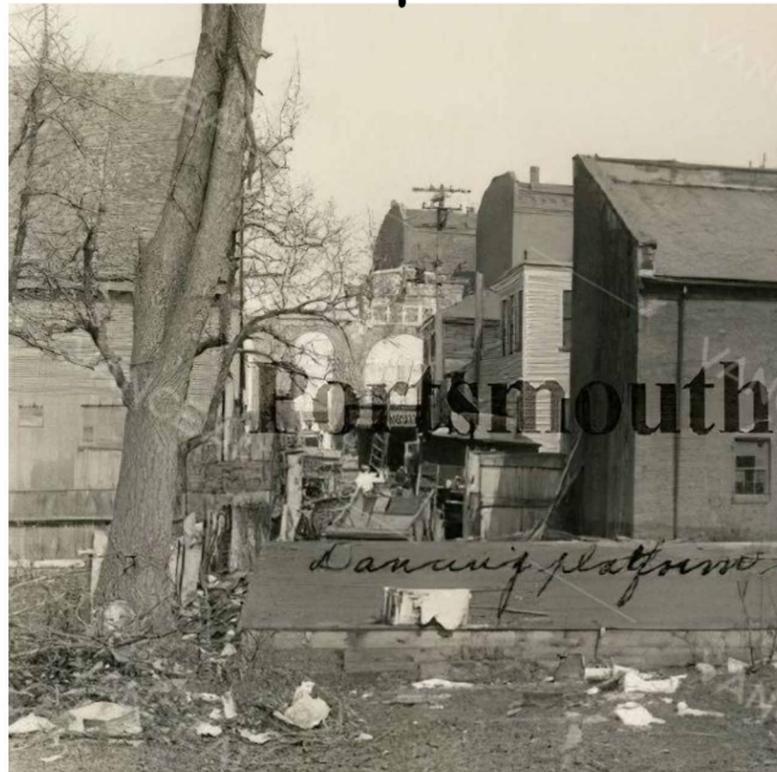
1910-1951
HISLOP GARAGE OWNED BY LIVERY STABLES UNTIL 1912



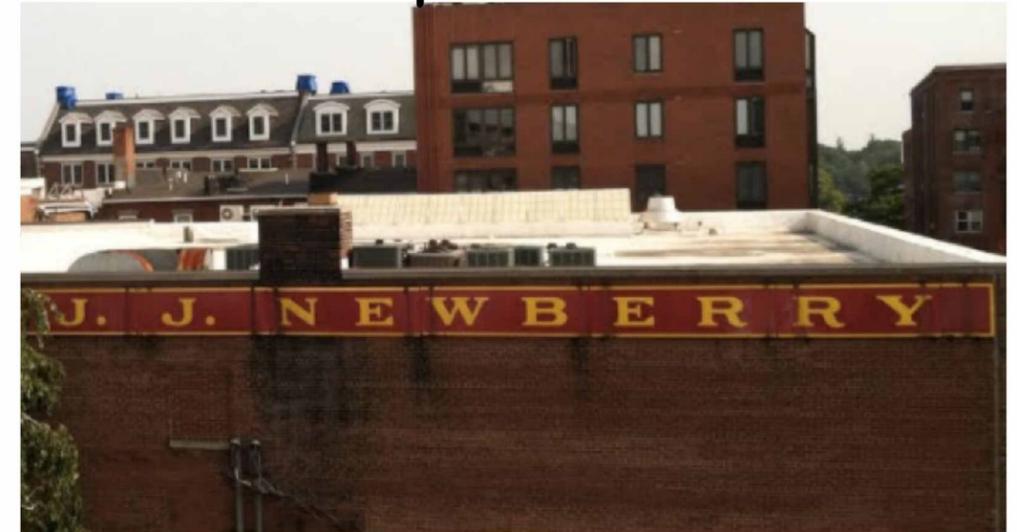
2024
EXISTING



1907
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



1907-1910
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



1927-1991
NEWBERRY COMPANY LIFESPAN

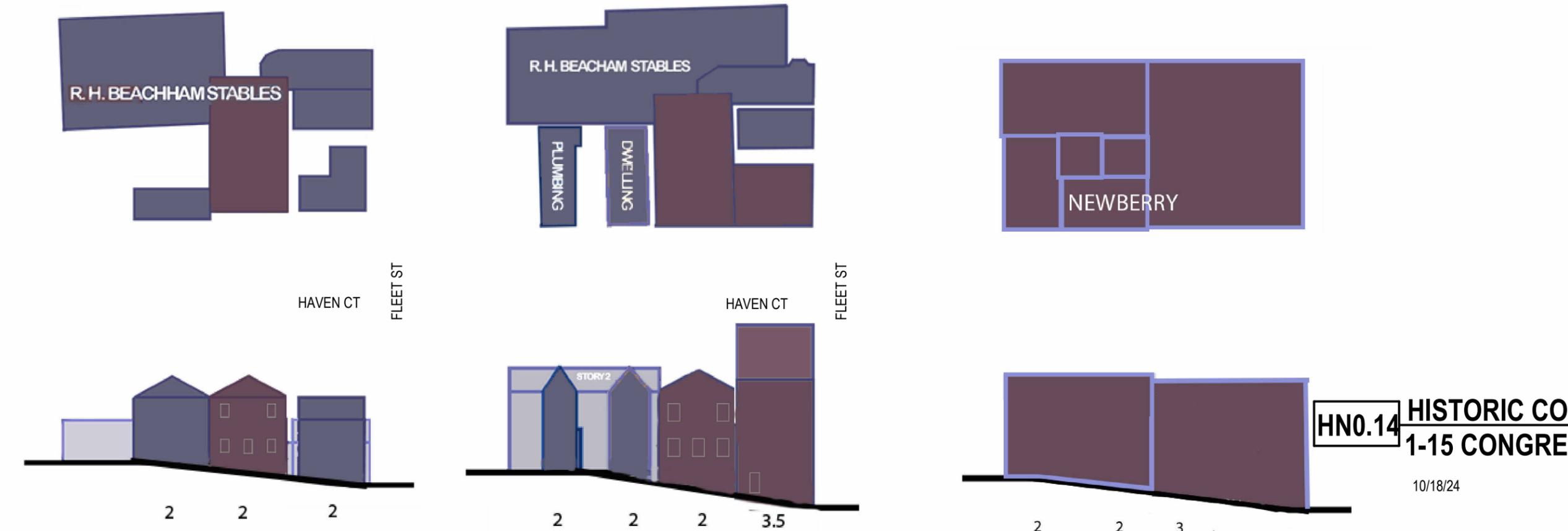
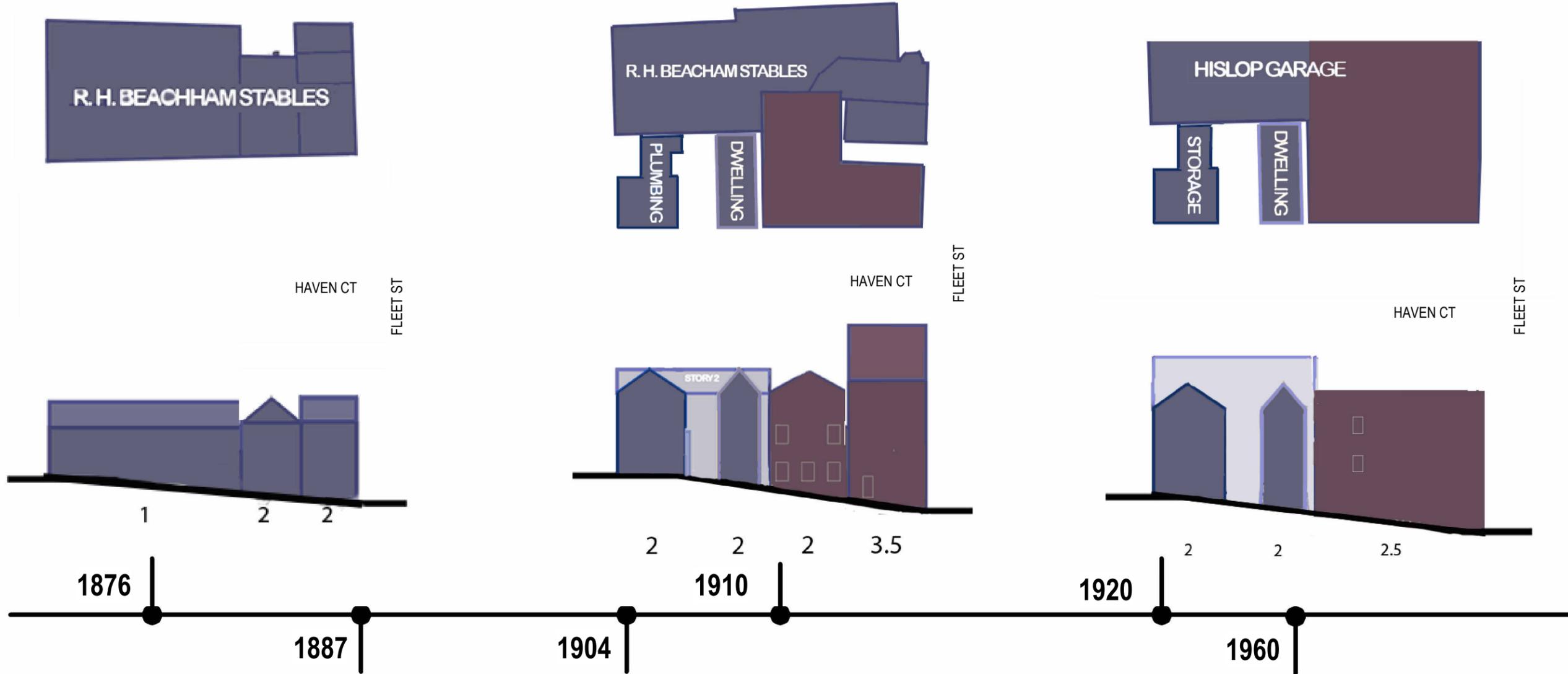
HN0.13 HISTORIC CONDITIONS, FLEET ST
1-15 CONGRESS STREET

10/18/24



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HAVEN COURT



HN0.14 HISTORIC CONDITIONS, HAVEN CT
1-15 CONGRESS STREET

10/18/24



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PLAN REFERENCES:

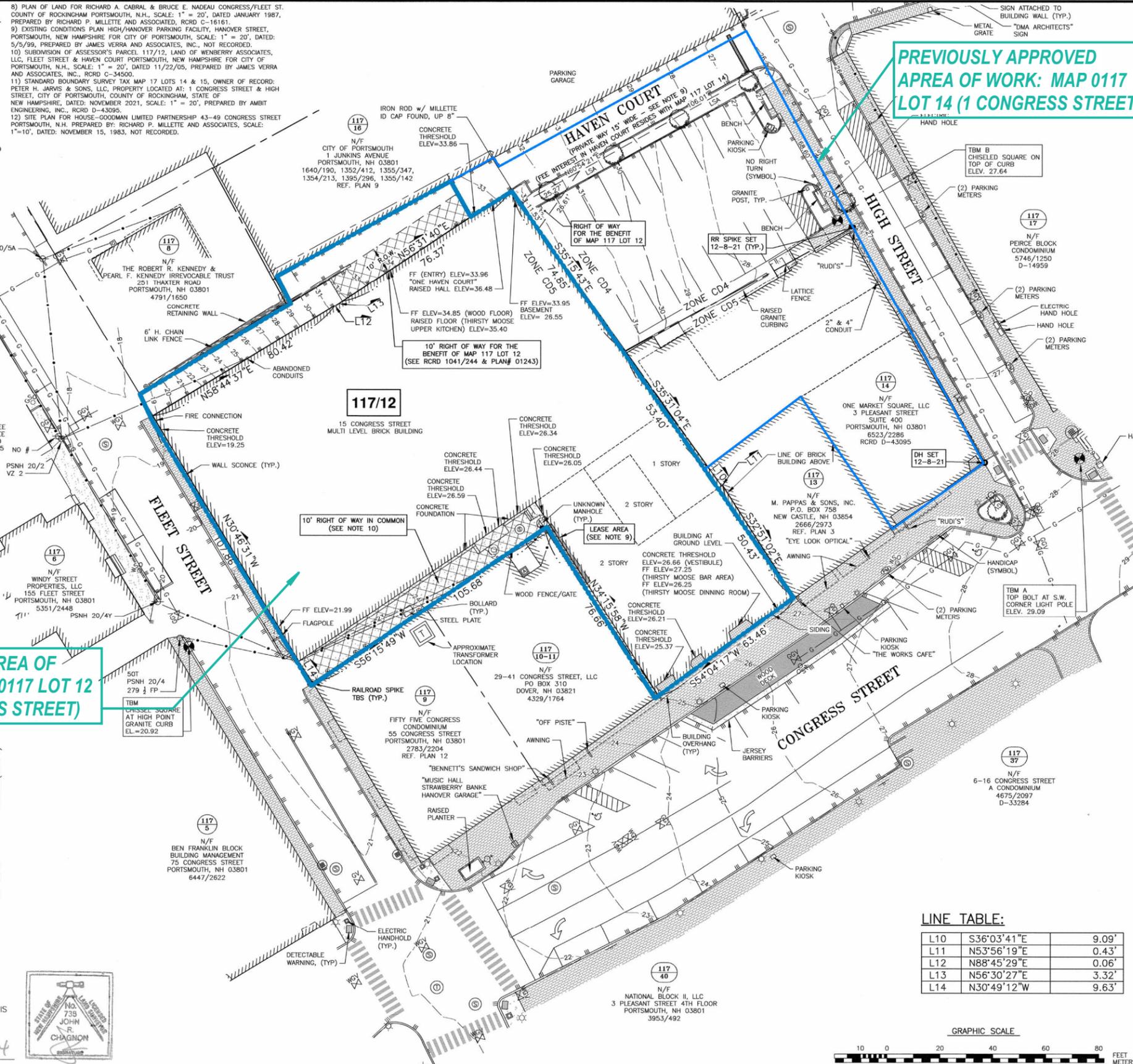
- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH, N.H., BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN. = 20 FT., DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1 IN. = 20 FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1 IN. = 20 FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1 IN. = 20 FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE: 1 IN. = 40 FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 02537.
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1 IN. = 10 FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161.
- 9) EXISTING CONDITIONS PLAN HIGH/HANOVER PARKING FACILITY, HANOVER STREET, PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, SCALE: 1" = 20', DATED: 5/5/99, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., NOT RECORDED.
- 10) SUBDIVISION OF ASSASSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.
- 11) STANDARD BOUNDARY SURVEY TAX MAP 17 LOTS 14 & 15, OWNER OF RECORD: PETER H. JARVIS & SONS, LLC, PROPERTY LOCATED AT: 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED: NOVEMBER 2021, SCALE: 1" = 20', PREPARED BY AMBIT ENGINEERING, INC., RCRD D-43095.
- 12) SITE PLAN FOR HOUSE-GOODMAN LIMITED PARTNERSHIP 43-49 CONGRESS STREET PORTSMOUTH, N.H. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SCALE: 1"=10', DATED: NOVEMBER 15, 1983, NOT RECORDED.

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- BOUND FOUND BOUND FOUND
- S SEWER LINE
- G GAS LINE
- D STORM DRAIN
- W WATER LINE
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC WIRES
- CONTOUR CONTOUR
- SPOT ELEVATION SPOT ELEVATION
- EP EDGE OF PAVEMENT (EP)
- UTILITY POLE UTILITY POLE
- WATER SHUT OFF/CURB STOP WATER SHUT OFF/CURB STOP
- GAS SHUT OFF GAS SHUT OFF
- GATE VALVE GATE VALVE
- HYD HYDRANT
- METER (GAS, WATER, ELECTRIC) METER (GAS, WATER, ELECTRIC)
- CATCH BASIN CATCH BASIN
- TELEPHONE MANHOLE TELEPHONE MANHOLE
- SEWER MANHOLE SEWER MANHOLE
- DRAIN MANHOLE DRAIN MANHOLE
- EL. ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- INV INVERT
- TBM TEMPORARY BENCH MARK
- TYP TYPICAL
- VGC/SGC VERTICAL/SLOPED GRANITE

PROPOSED AREA OF WORK: MAP 0117 LOT 12 (15 CONGRESS STREET)

PREVIOUSLY APPROVED AREA OF WORK: MAP 0117 LOT 14 (1 CONGRESS STREET)



LOCATION MAP 1" = 300'

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOT 12.
 - 2) OWNERS OF RECORD: WENBERRY ASSOCIATES, LLC C/O CP MANAGEMENT 11 COURT STREET SUITE 100 EXETER, N.H. 03833 3060/164
 - 3) PARCEL IS LOCATED IN CHARACTER DISTRICT 5.
 - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 5) EXISTING LOT AREA: 23,708 S.F. 0.5443 ACRES
 - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY AND EXISTING CONDITIONS ON ASSESSORS MAP 117 LOT 12.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
 - 9) PARCEL IS SUBJECT TO A LEASE AGREEMENT FOR A PORTION OF LESSEE'S WALL IS ENROACHING ON SUBJECT PARCEL. SEE RCRD 1512/410 & 1690/130.
 - 10) PARCEL IS SUBJECT TO A RIGHT OF WAY FOR COMMON PASSAGE AND UTILITIES AND GENERAL PURPOSES PER DEEDS. SEE RCRD 322/318, 322/380, 322/381, 348/80, 348/81, 348/82, 1484/44, 2713/797, AND RCRD C-16161.
 - 11) PARCEL IS SUBJECT TO A UTILITY EASEMENT TO P.S.N.H. FROM UTILITY POLE 20/4 ON FLEET STREET EASTERLY TO GRATORS EASTERLY BOUNDARY. SEE RCRD 3124/695.
 - 12) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

0	7/24/24	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
SITE SURVEY				

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

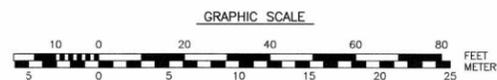
PROJECT:
APPLICANT: ONE MARKET SQUARE, LLC
15 CONGRESS STREET PORTSMOUTH, N.H.

EXISTING CONDITIONS PLAN

DATE	JULY 2024	SCALE	1" = 20'
DRAWN BY	RJB	DESIGNED BY	JRC
CHECKED BY	JRC	FIELD BOOK & PAGE	FB 309 PG 54
PROJECT No.	5010156.01	SHEET No.	
SHEET 1		C1	

LINE TABLE:

L10	S36°03'41"E	9.09'
L11	N53°56'19"E	0.43'
L12	N88°45'29"E	0.06'
L13	N56°30'27"E	3.32'
L14	N30°49'12"W	9.63'



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

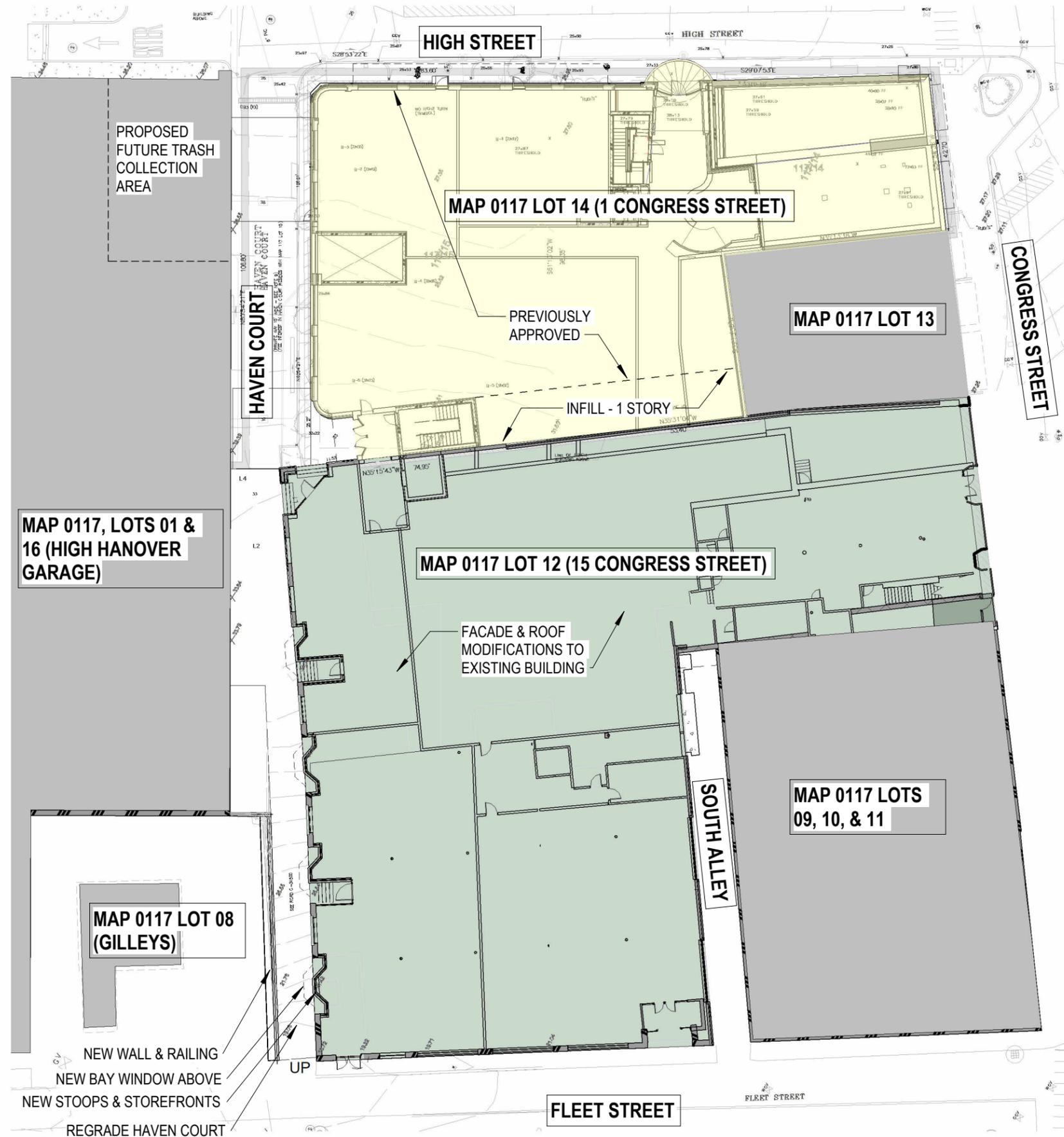
John R. Chagnon
JOHN R. CHAGNON, LLS 738
DATE: 7-24-24



HN1.01 SITE SURVEY, EXISTING 1-15 CONGRESS STREET

10/18/24

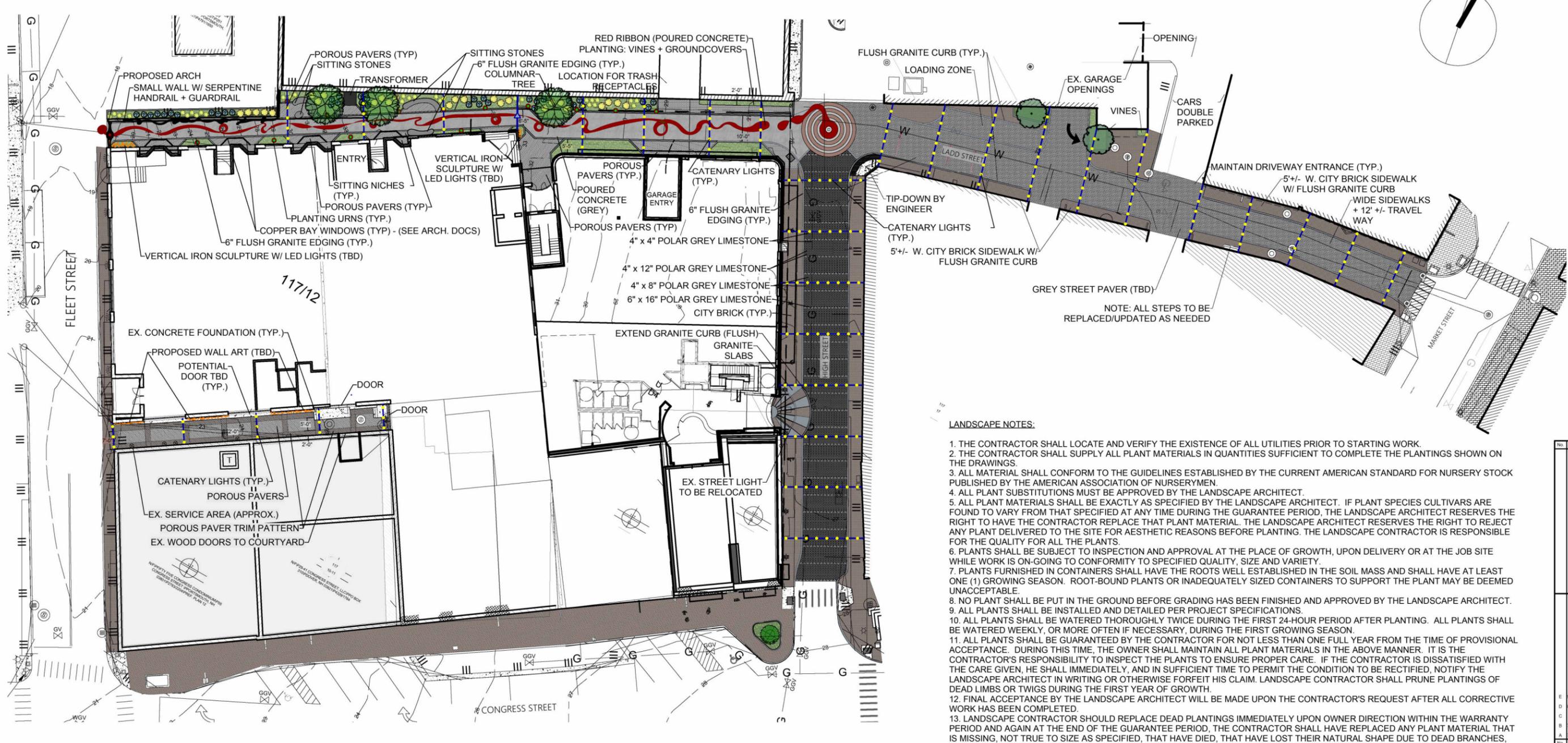
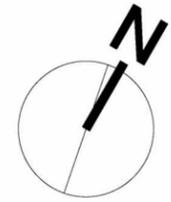




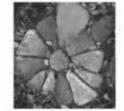
**HN1.02 SITE PLAN, PROPOSED
1-15 CONGRESS STREET**

1 SITE PLAN, PROPOSED
1/32" = 1'-0"



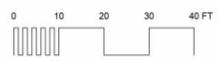


terra firma
landscape architecture
163 a court street - portsmouth, nh 03801
office: 603.430.8588 | terrence@terrafirmalandscape.com



LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



HN1.03 LANDSCAPE PLAN
1-15 CONGRESS STREET

PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.

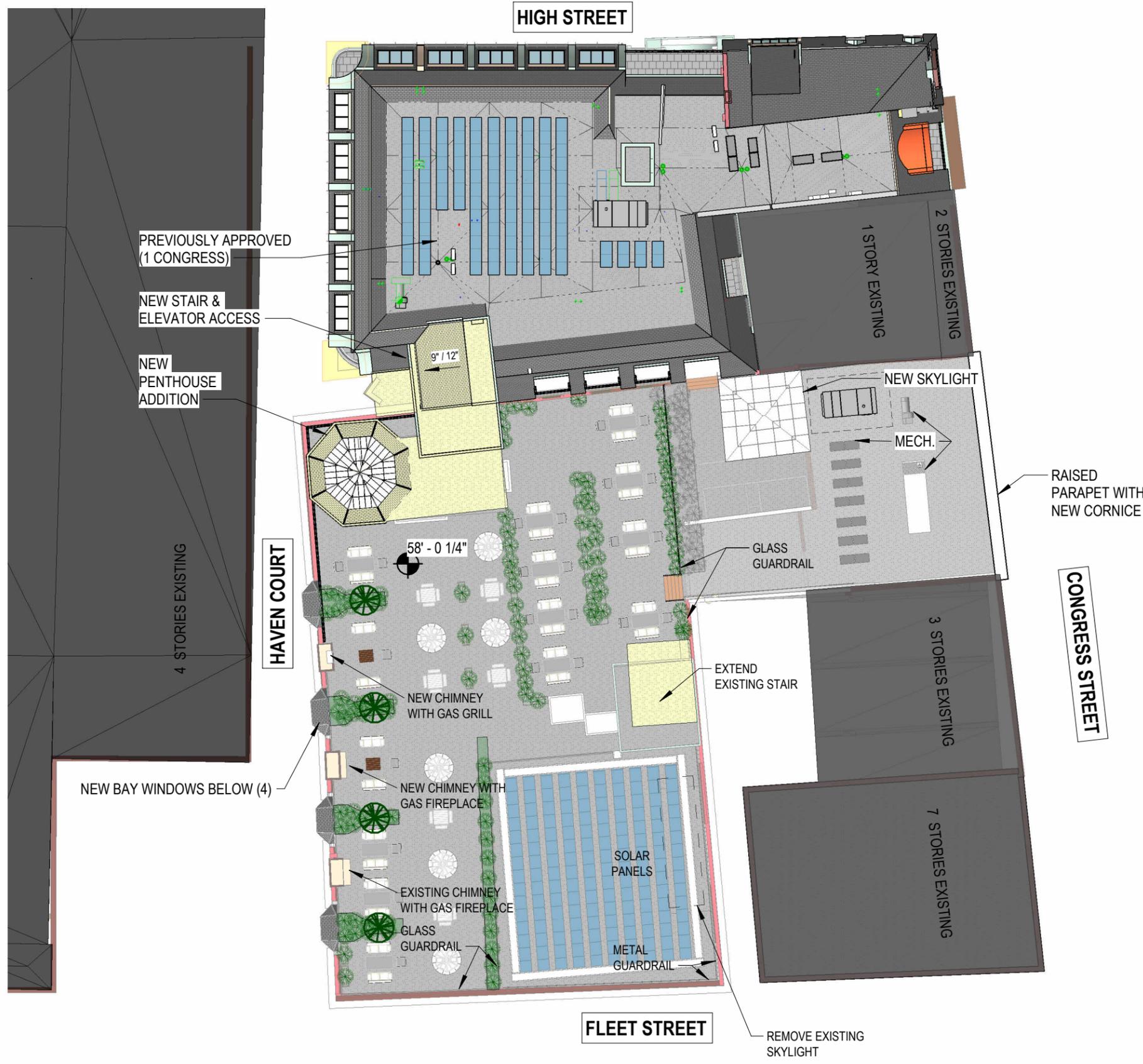
10/18/24

No.	Date	By	Revision Notes
E	9/20/2024		CATENARY LIGHT ADJUSTMENT
D	8/12/2024		SITE AMENITIES AND MATERIALS UPDATED
C	8/2/2024		ALLEY DOOR LOCATION UPDATES
B	7/31/2024		SHEET UPDATES
A	7/24/2024		SOUTH ALLEY UPDATES

No.	Date	Issue Notes

terra firma landscape architecture 163 a Court Street Portsmouth, NH 03801	
NEWBERRY WAY	
LANDSCAPE PLAN	
Project No.	NEWBERRY WAY
Scale	1"=20'-0"
Sheet No.	L-01
Sheet Count	1 of 1

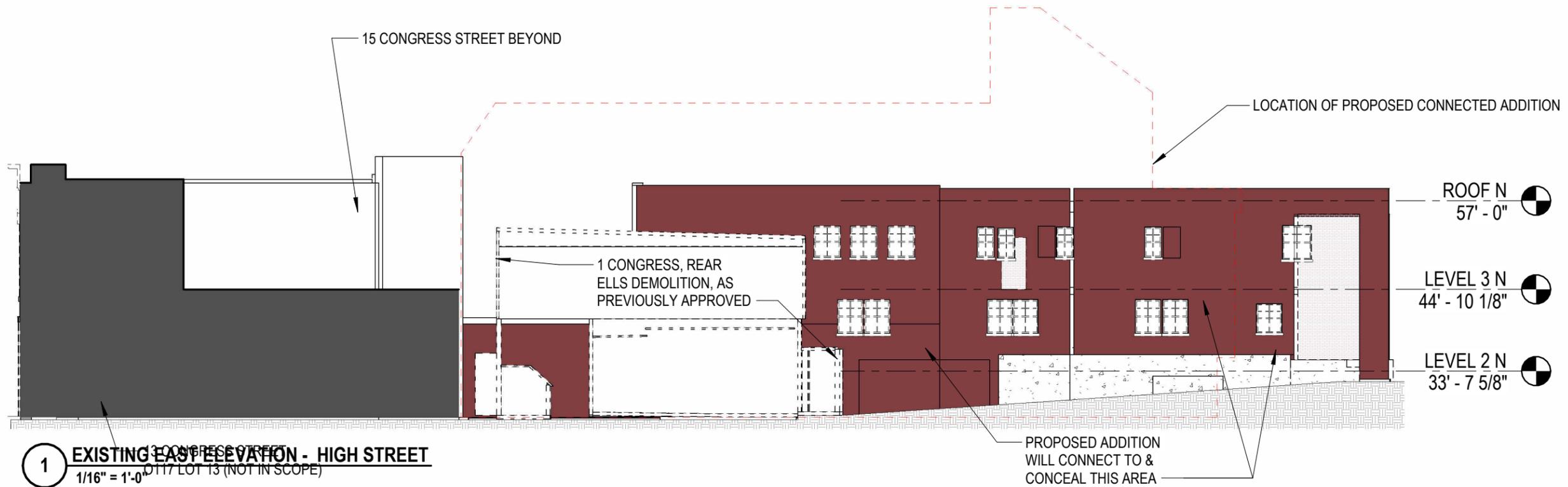




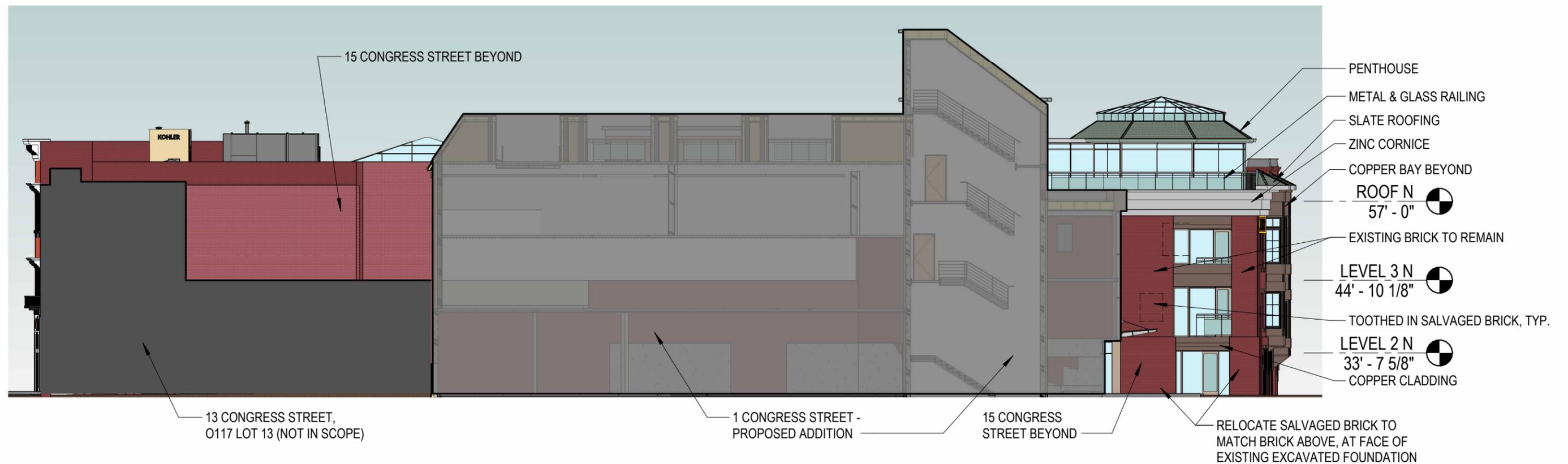
1 ROOF PLAN
1/32" = 1'-0"

HN1.04 ROOF PLAN
1-15 CONGRESS STREET





1 EXISTING EAST ELEVATION - HIGH STREET
1/16" = 1'-0"

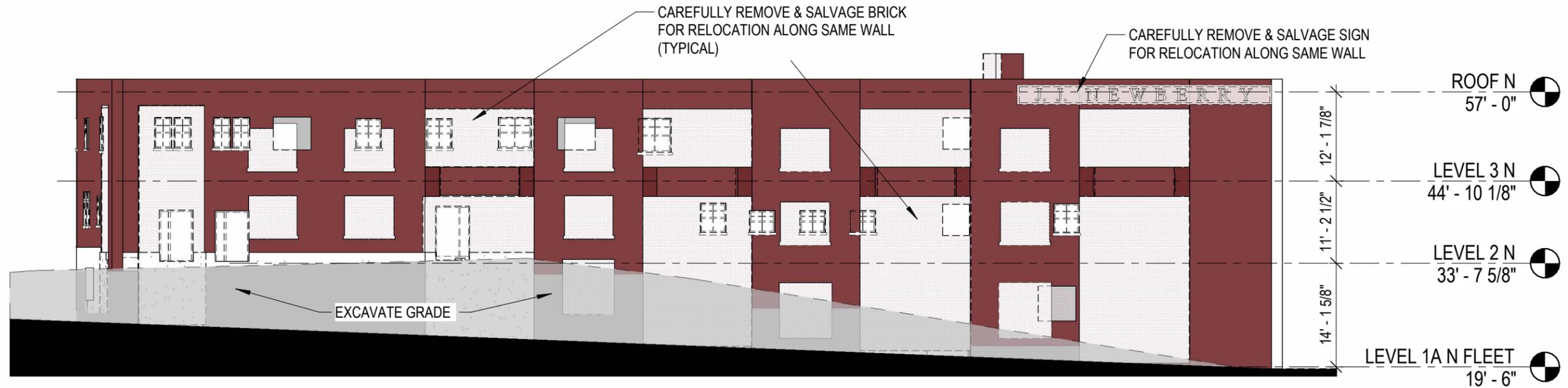


2 EAST ELEVATION - PROPOSED
1/16" = 1'-0"

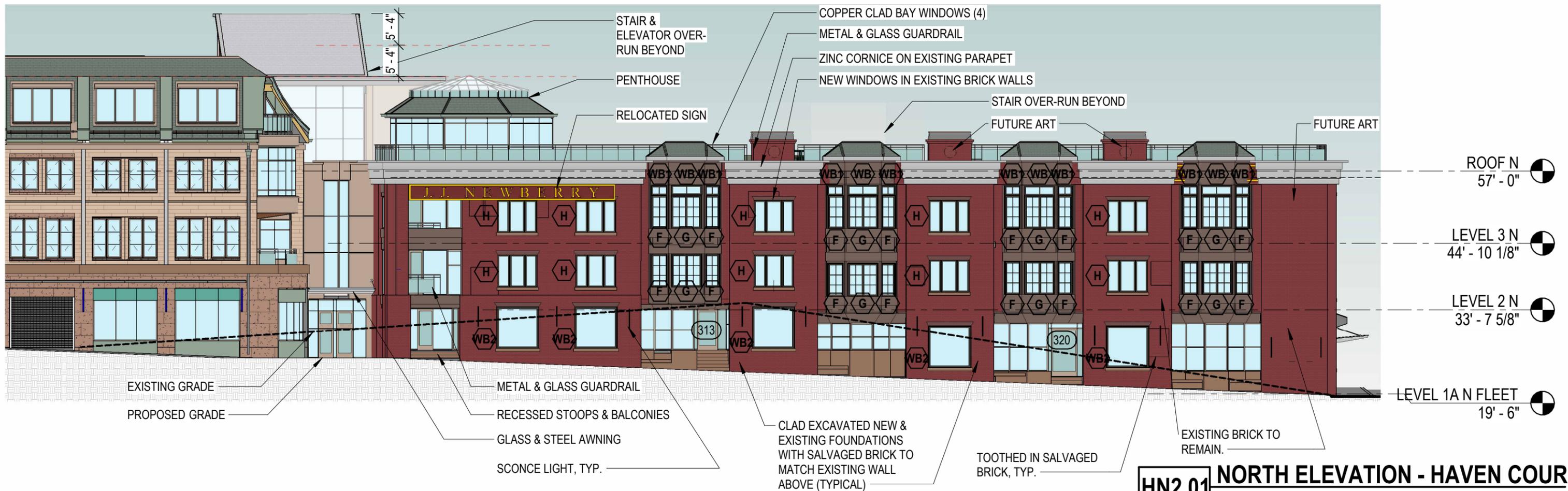
**HN2.00 EAST ELEVATION
1-15 CONGRESS STREET**

10/18/24

EXISTING TO REMAIN
 AREA TO BE REMOVED



2 EXISTING NORTH ELEVATION - HAVEN COURT
 1/16" = 1'-0"



1 PROPOSED NORTH ELEVATION - HAVEN COURT
 1/16" = 1'-0"

**HN2.01 NORTH ELEVATION - HAVEN COURT
 1-15 CONGRESS STREET**

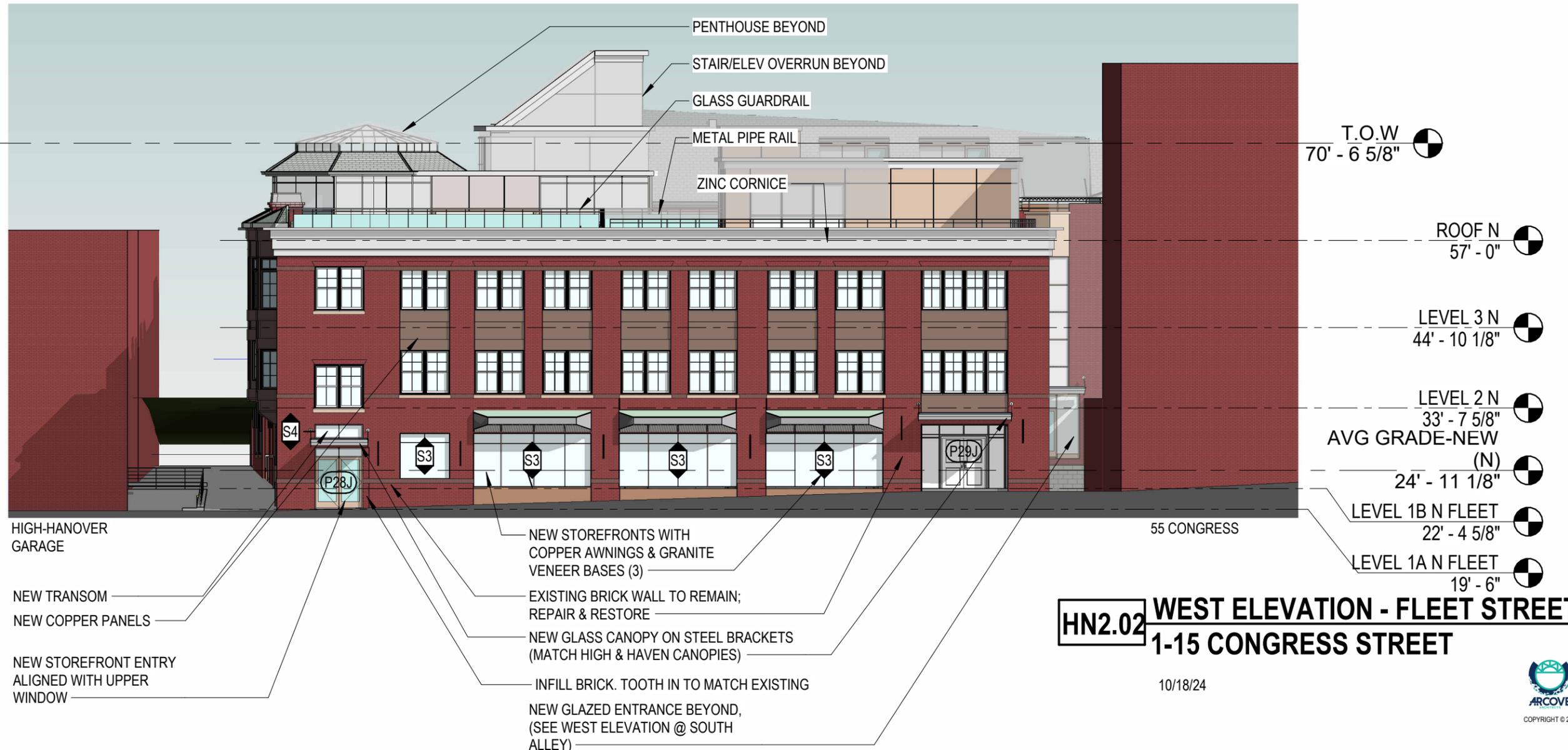
10/18/24



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2 WEST ELEVATION - FLEET STREET, EXISTING
1/16" = 1'-0"

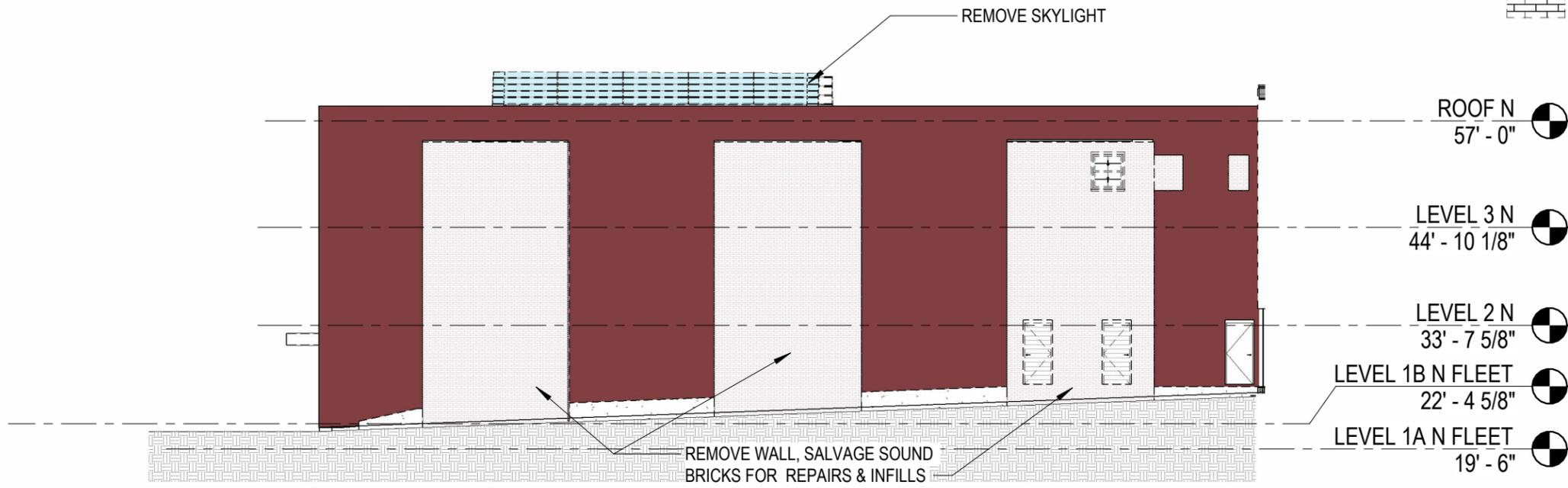


HN2.02 WEST ELEVATION - FLEET STREET
1-15 CONGRESS STREET

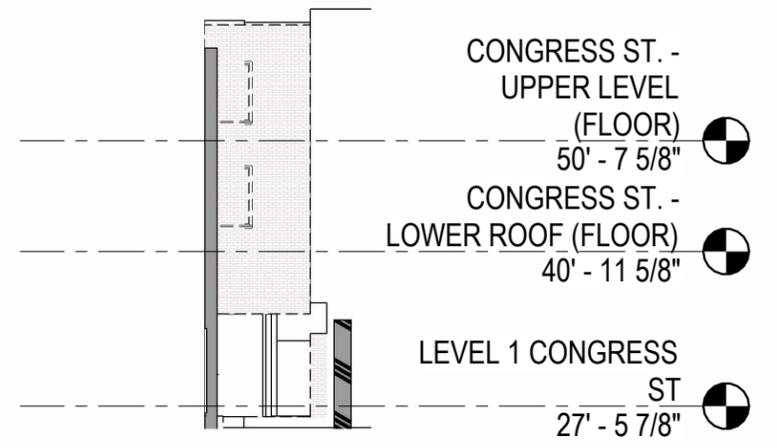
10/18/24

EXISTING TO REMAIN

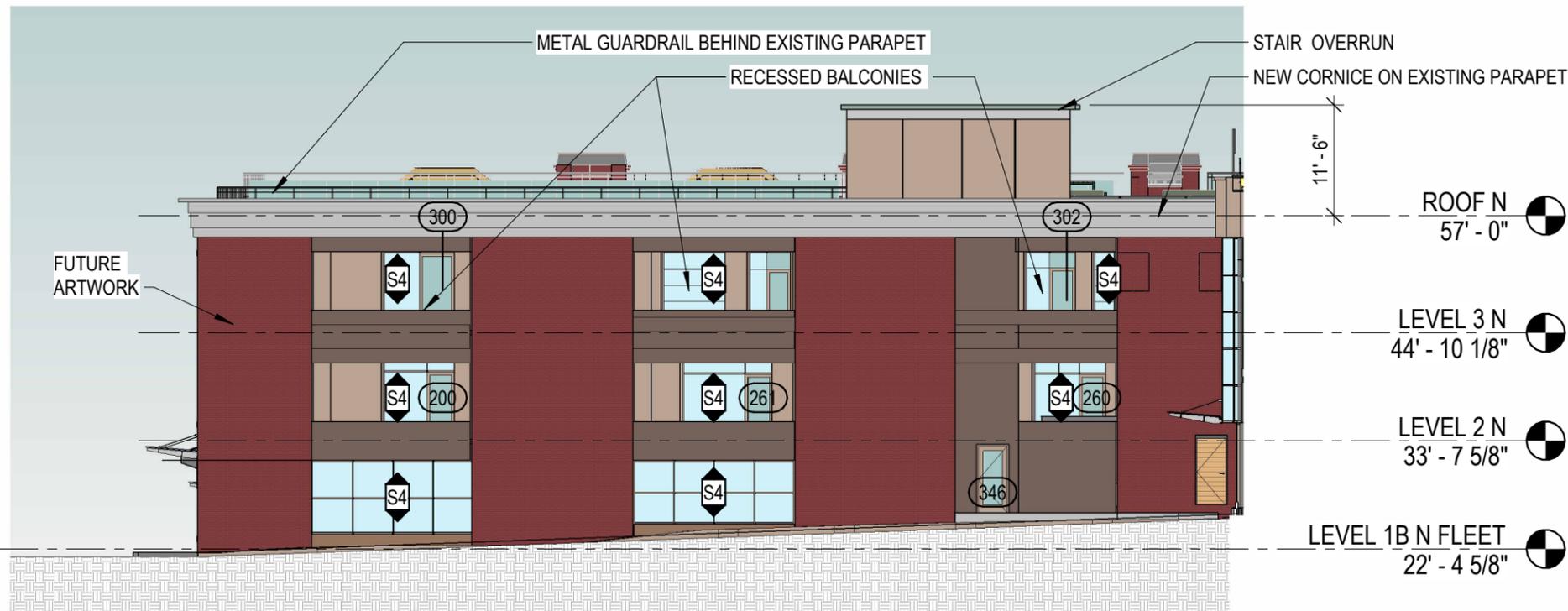
AREA TO BE REMOVED



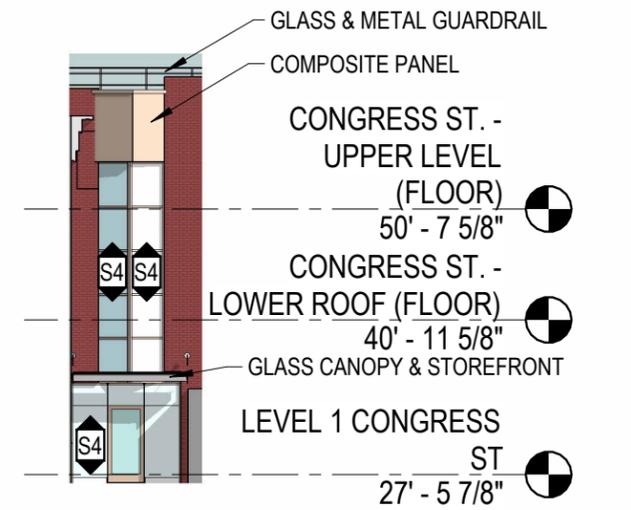
1 DEMO EAST ELEVATION - SOUTH ALLEY
1/16" = 1'-0"



2 SOUTH ELEVATION (ALLEY END)
1/16" = 1'-0"



3 SOUTH ELEVATION - SOUTH ALLEY
1/16" = 1'-0"



4 SOUTH ELEVATION (ALLEY END)
1/16" = 1'-0"

HN2.03 S/E ELEVATIONS - SOUTH ALLEY 1-15 CONGRESS STREET

10/18/24

GRAPHIC SCALE: 1/16" = 1'-0"



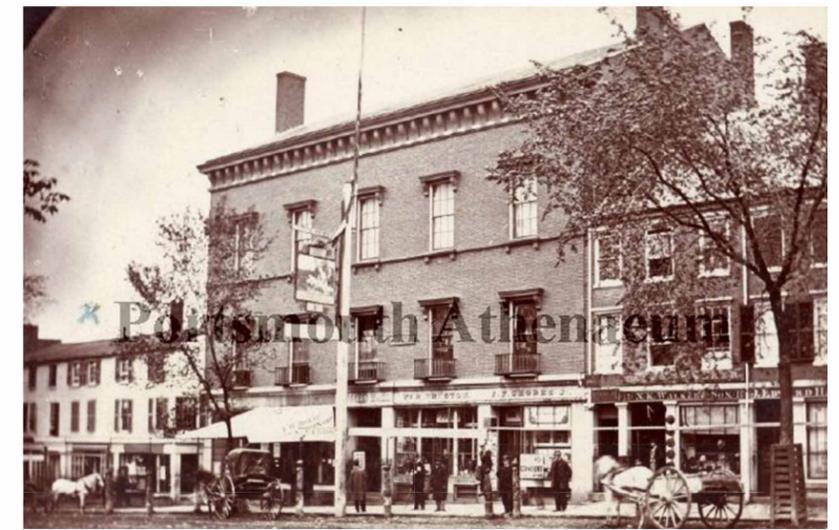


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 EXISTING TO REMAIN

 AREA TO BE REMOVED

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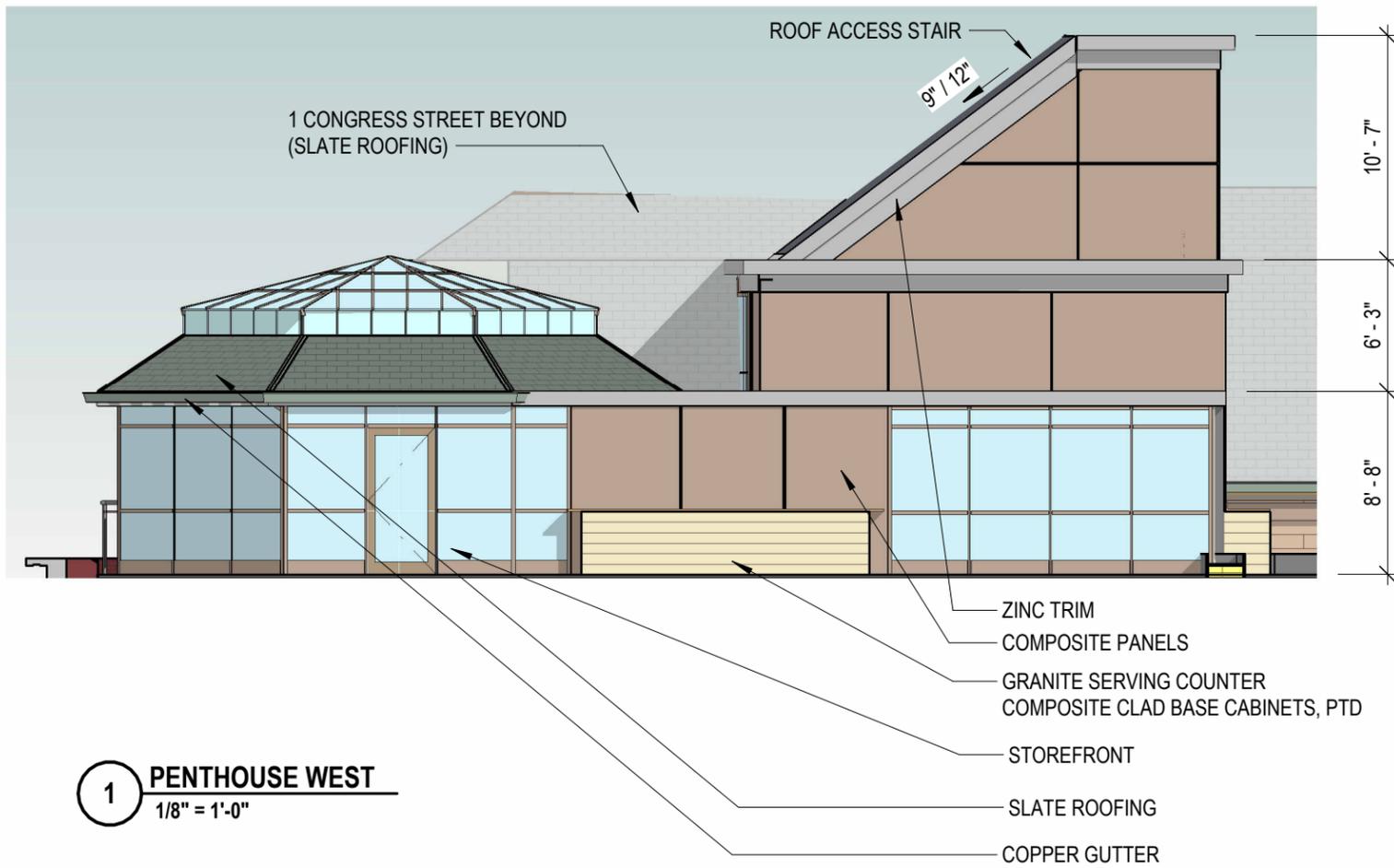
2 SOUTH ELEVATION - CONGRESS STREET, EXISTING
1/8" = 1'-0"



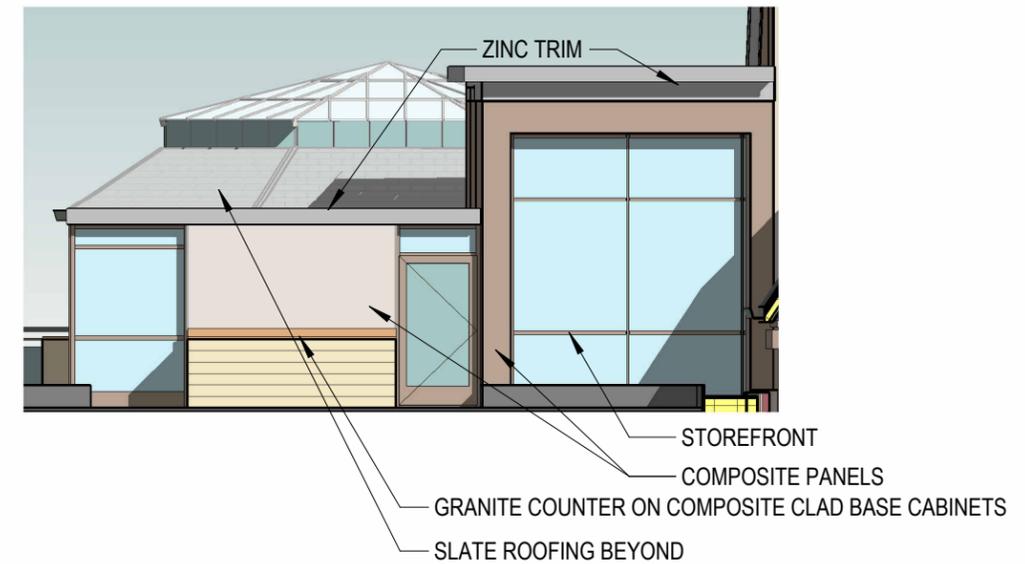
1 SOUTH ELEVATION - CONGRESS STREET, PROPOSED
1/8" = 1'-0"

HN2.04 SOUTH ELEVATION - CONGRESS ST
1-15 CONGRESS STREET

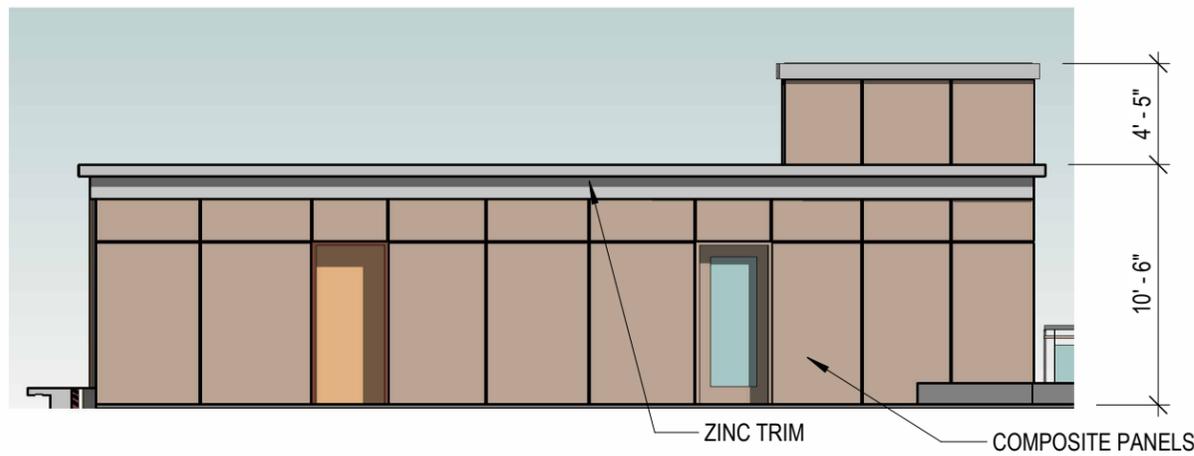




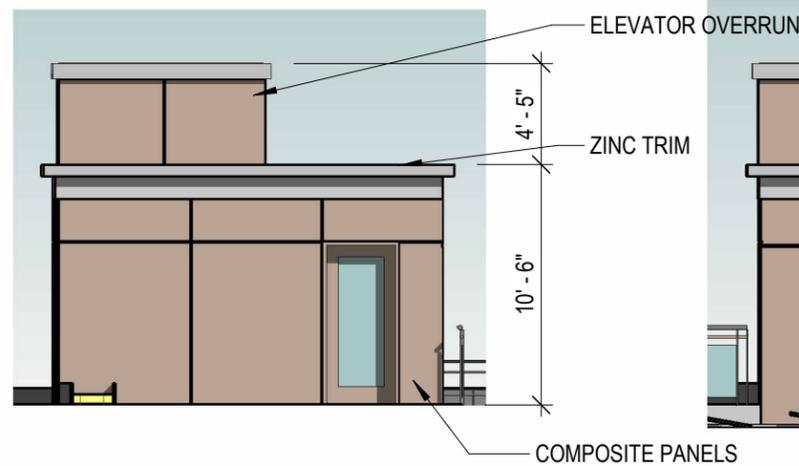
1 PENTHOUSE WEST
1/8" = 1'-0"



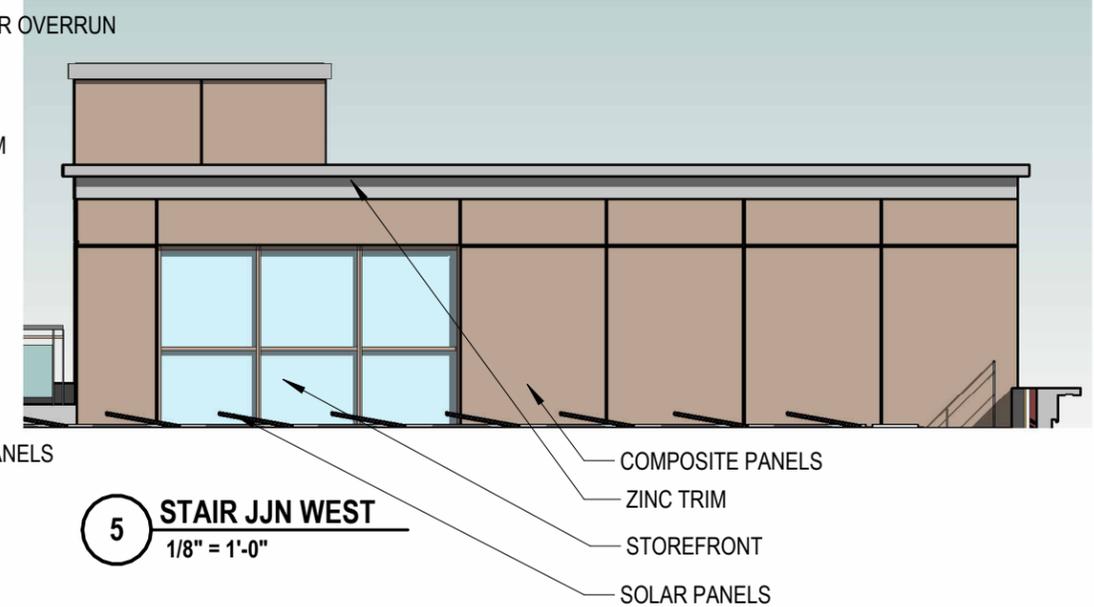
2 PENTHOUSE SOUTH
1/8" = 1'-0"



3 STAIR JJN EAST
1/8" = 1'-0"



4 STAIR JJN NORTH
1/8" = 1'-0"



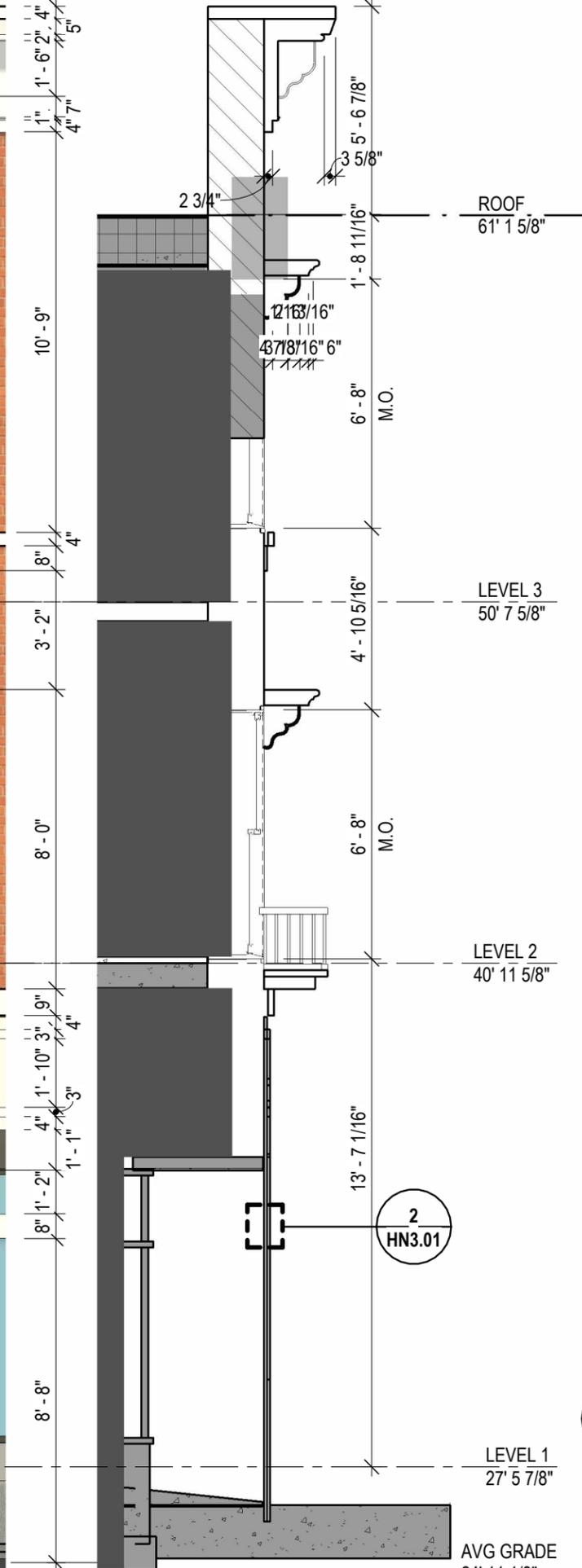
5 STAIR JJN WEST
1/8" = 1'-0"

HN2.05 ROOF DECK ELEVATIONS
1-15 CONGRESS STREET

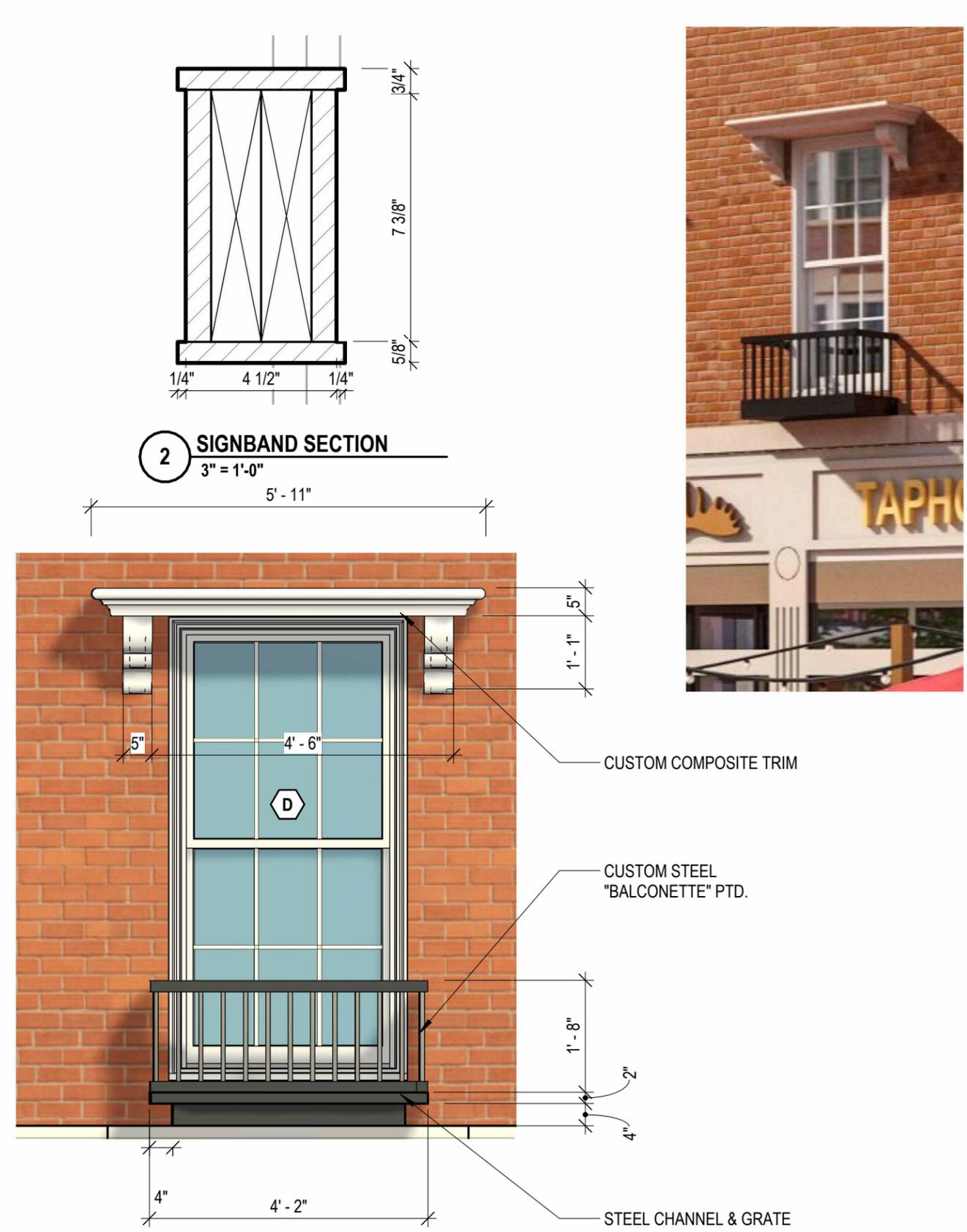
10/18/24



4 CONGRESS STREET - ENLARGED ELEVATION
1/4" = 1'-0"



3 CONGRESS ST SECTION
1/4" = 1'-0"



1 SOUTH ELEVATION - WINDOW DETAIL
1/2" = 1'-0"

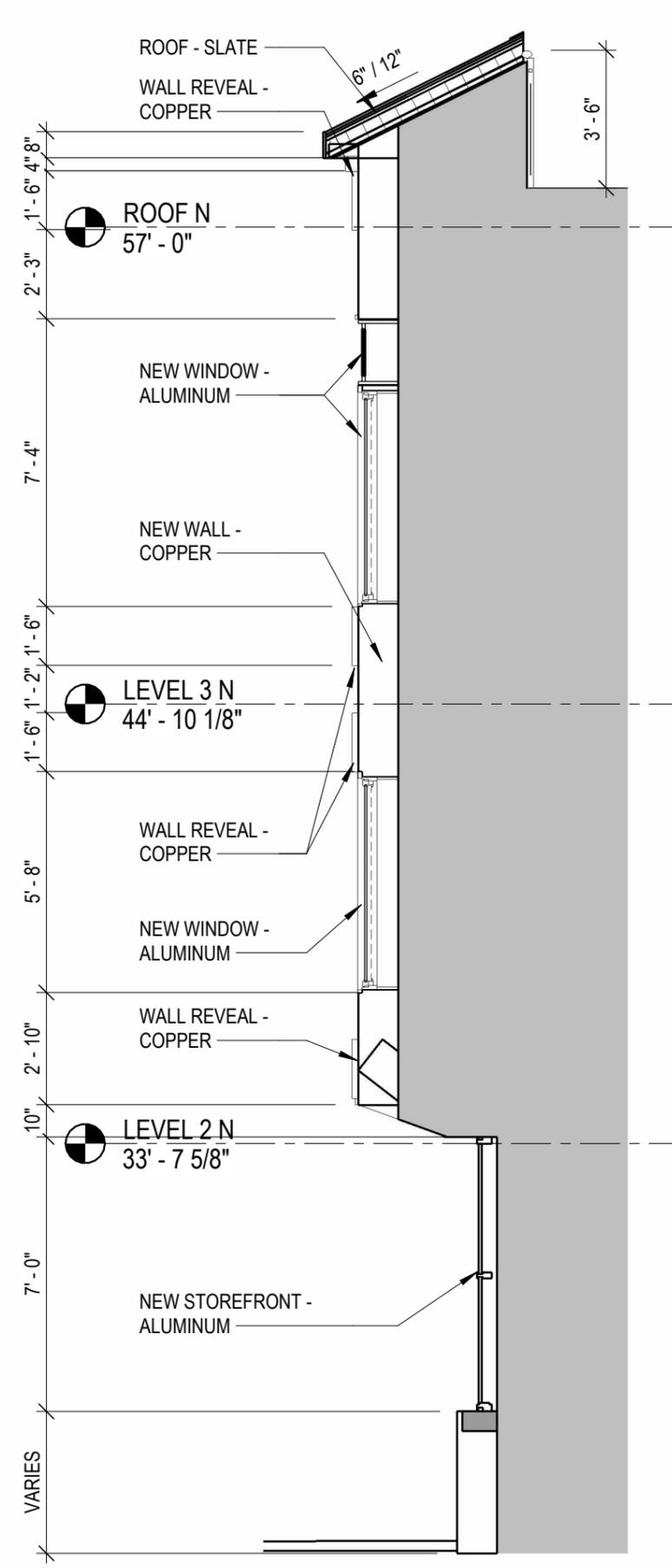
HN3.01 DETAIL - CONGRESS STREET
1-15 CONGRESS STREET

10/18/24

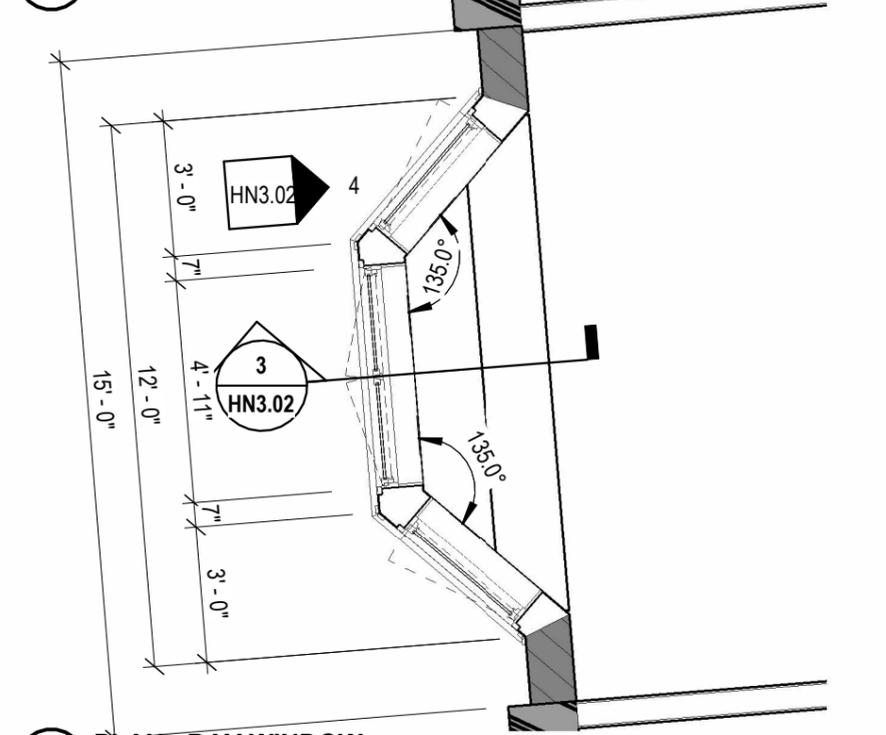
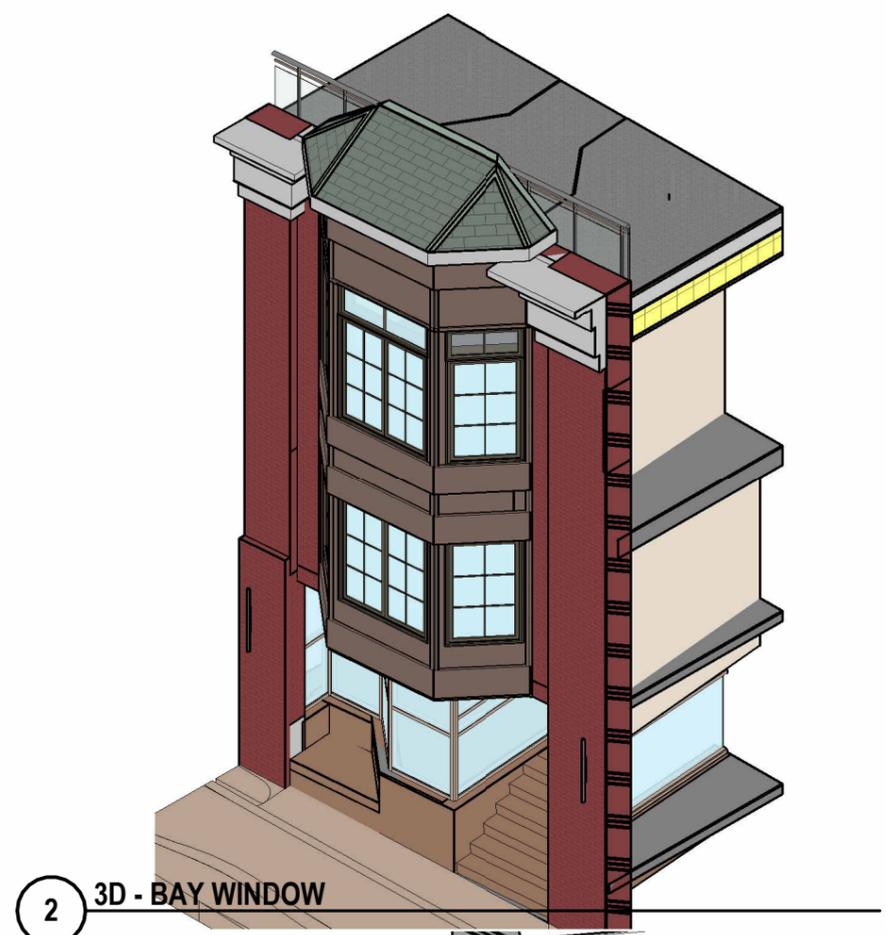




4 ELEVATION - BAY WINDOW
1/4" = 1'-0"

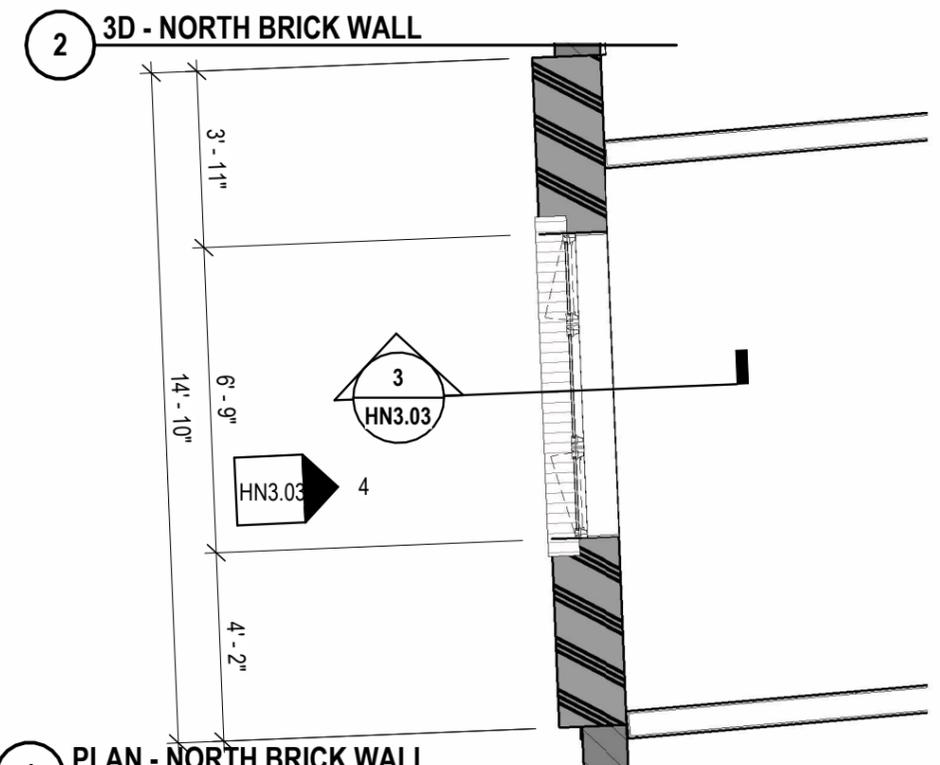
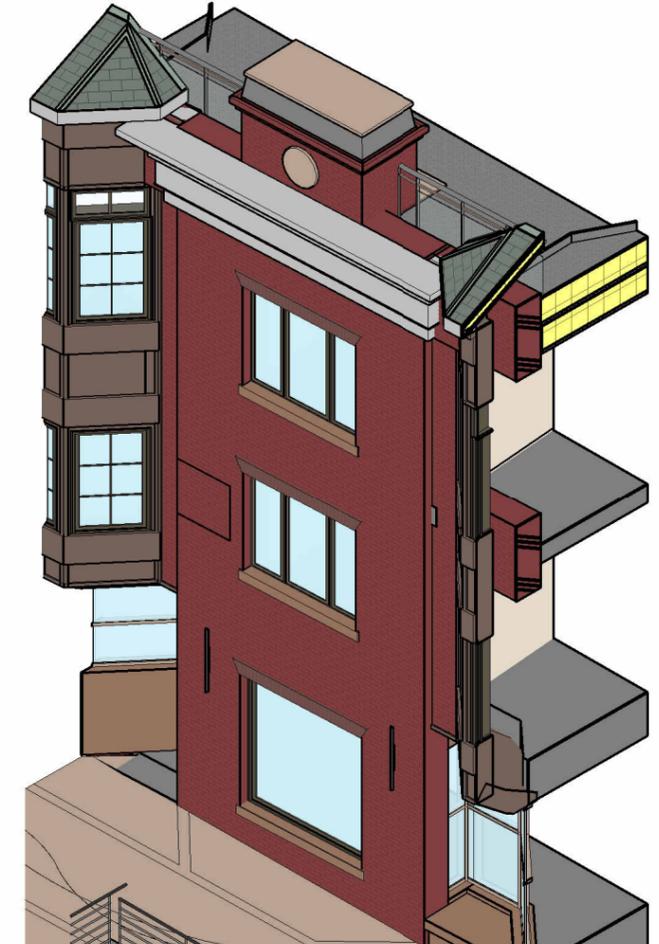
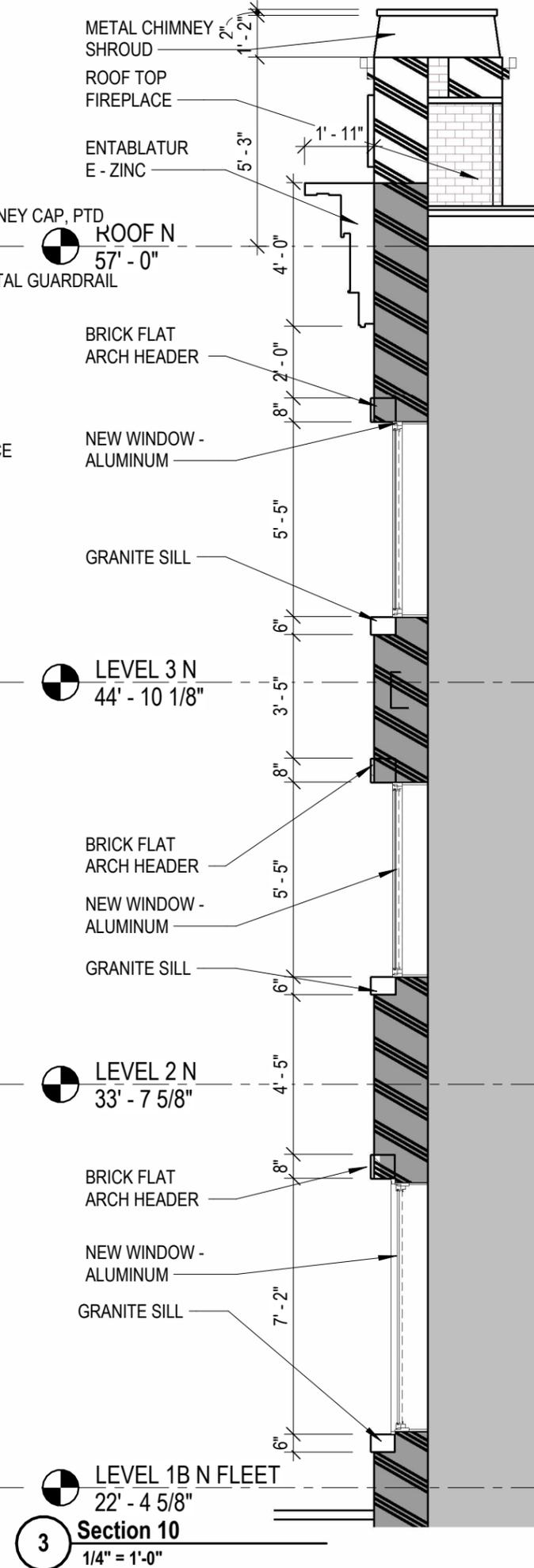


3 SECTION - BAY WINDOW
1/4" = 1'-0"



1 PLAN - BAY WINDOW
1/4" = 1'-0"
HN3.02 **DETAIL - HAVEN COURT, BAY WINDOW**
1-15 CONGRESS STREET

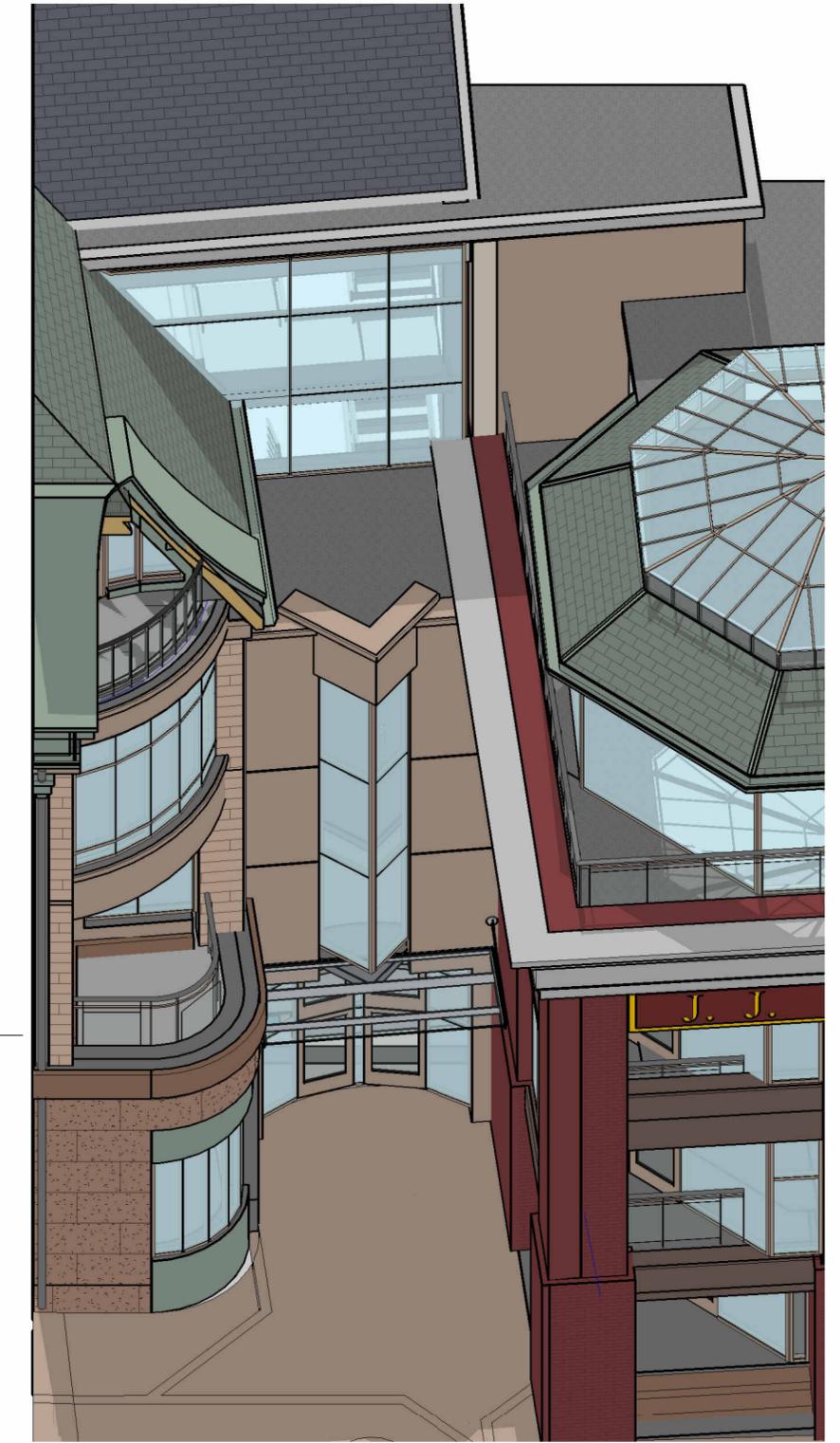
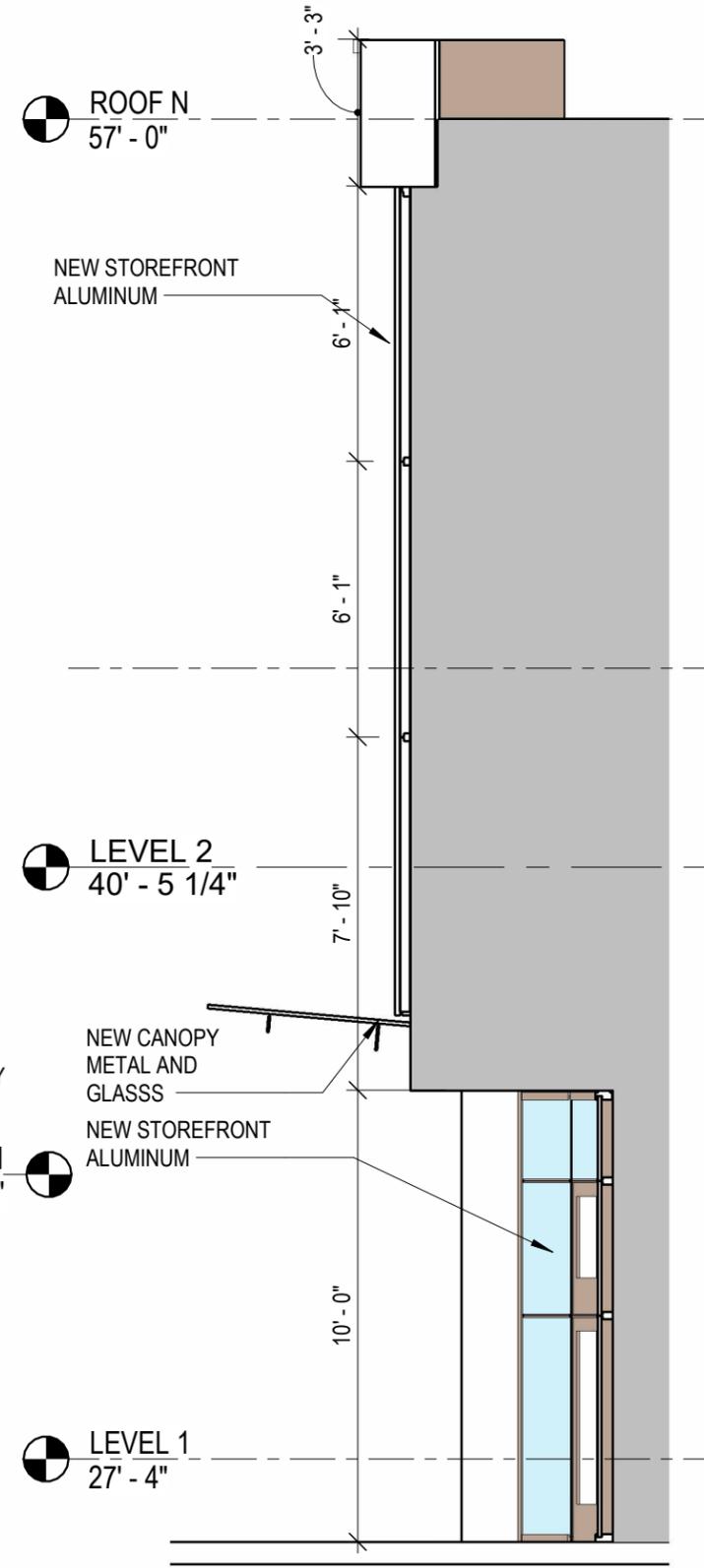
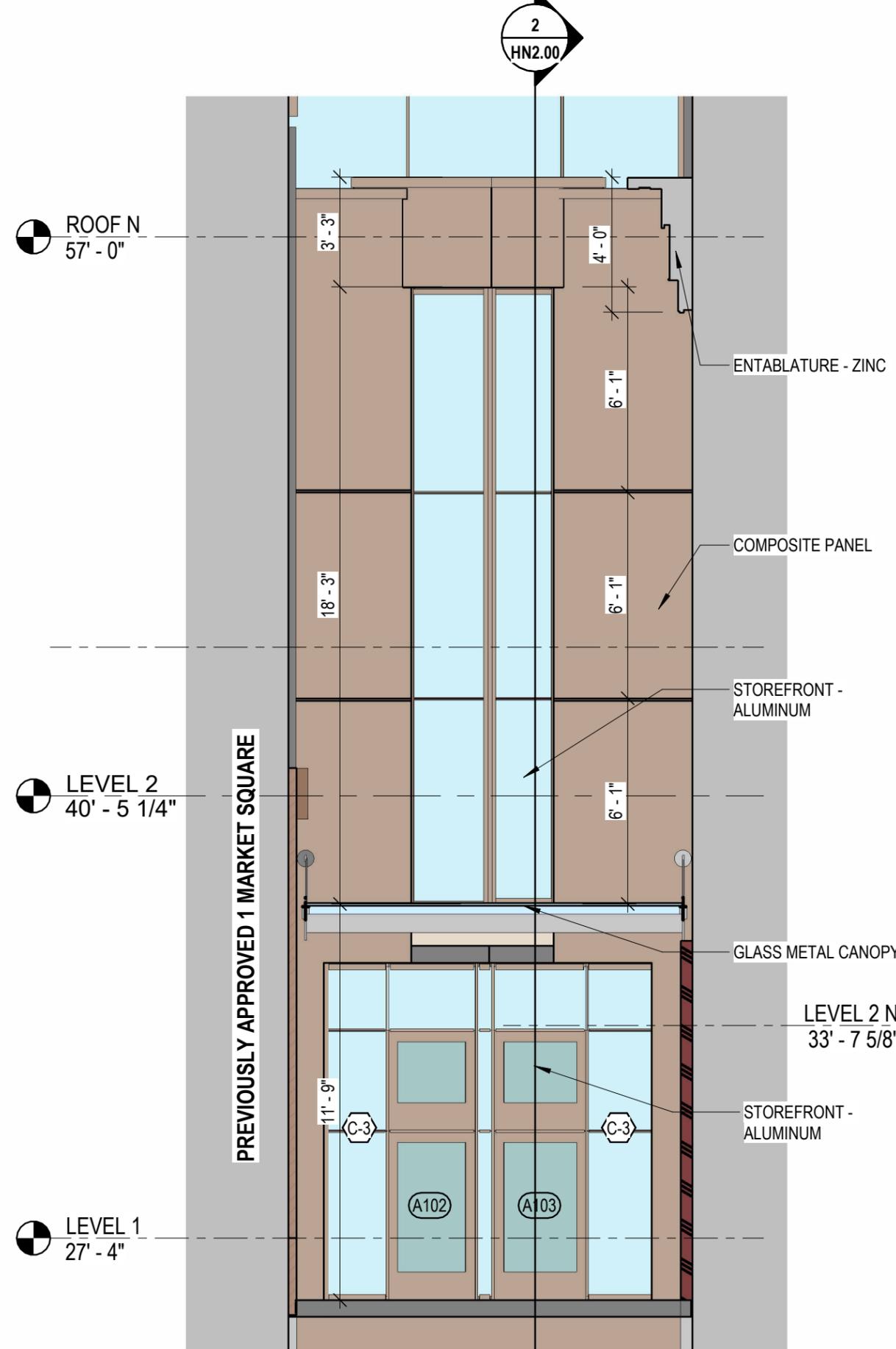
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HN3.03 **DETAIL - HAVEN COURT, BRICK WALL**
1-15 CONGRESS STREET

10/18/24





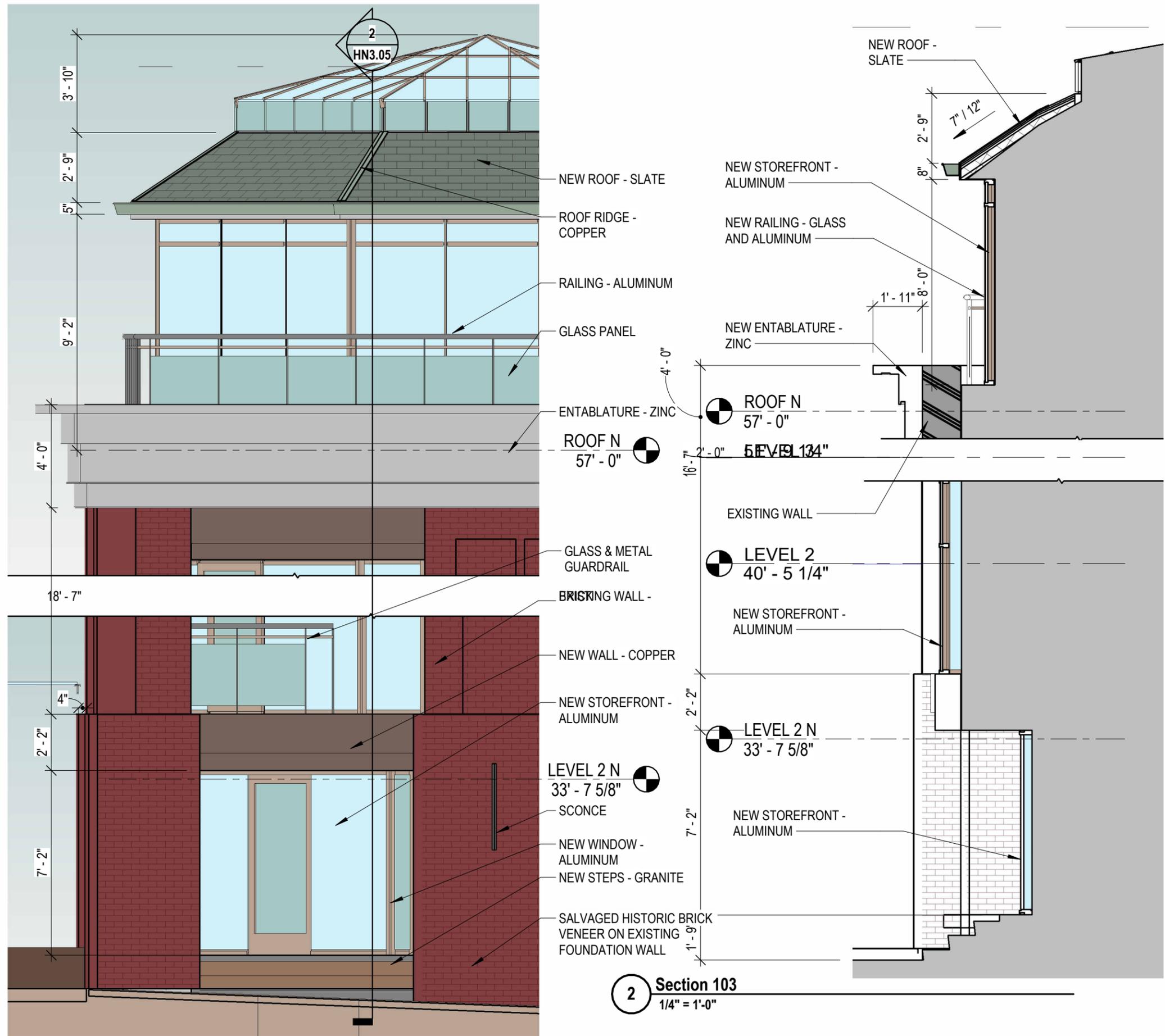
3 ELEVATION- HAVEN COURT ENTRANCE
1/4" = 1'-0"

2 SECTION - HAVEN COURT ENTRANCE
1/4" = 1'-0"

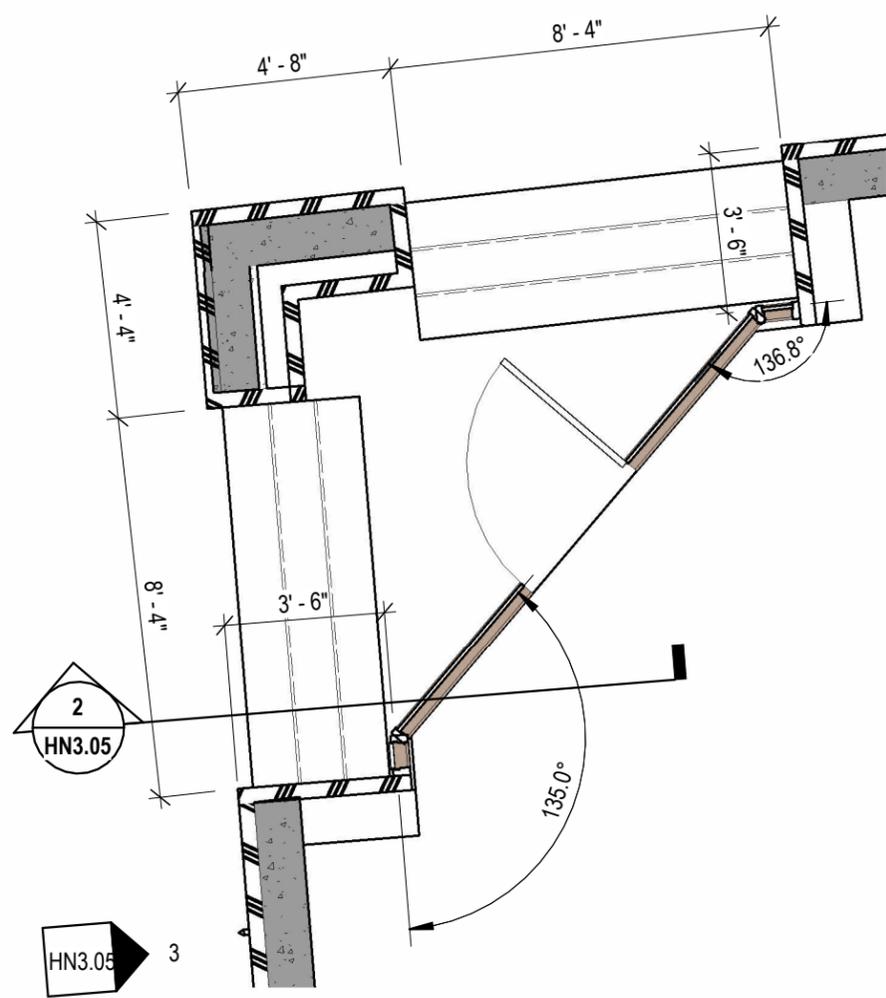
1 3D VIEW - HAVEN COURT ENTRANCE

HN3.04 DETAIL - HAVEN COURT ENTRANCE
1-15 CONGRESS STREET

10/18/24



2 Section 103
1/4" = 1'-0"

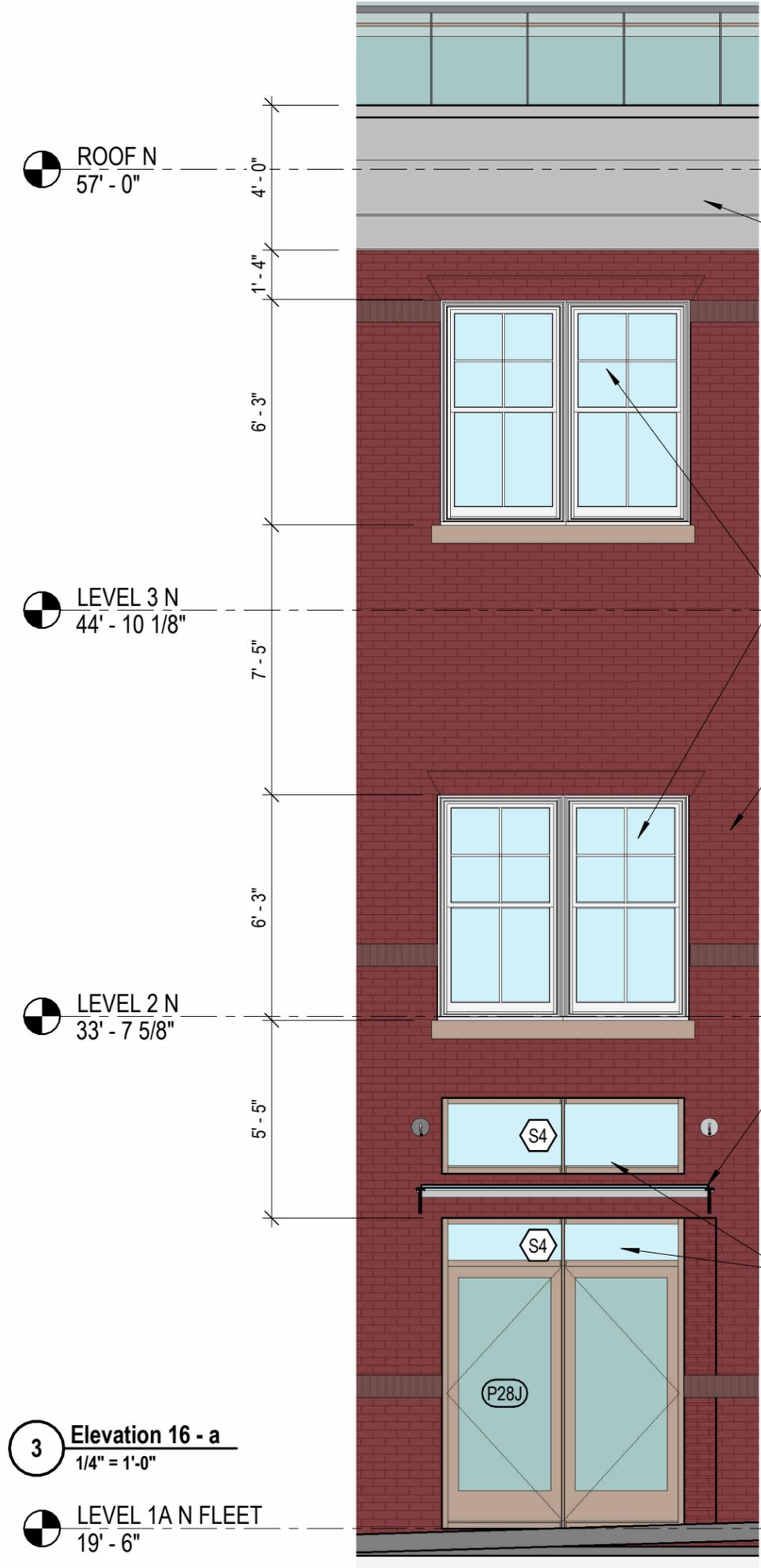


1 PB JJN - LEVEL 1 N FLEET - Callout 1
1/4" = 1'-0"

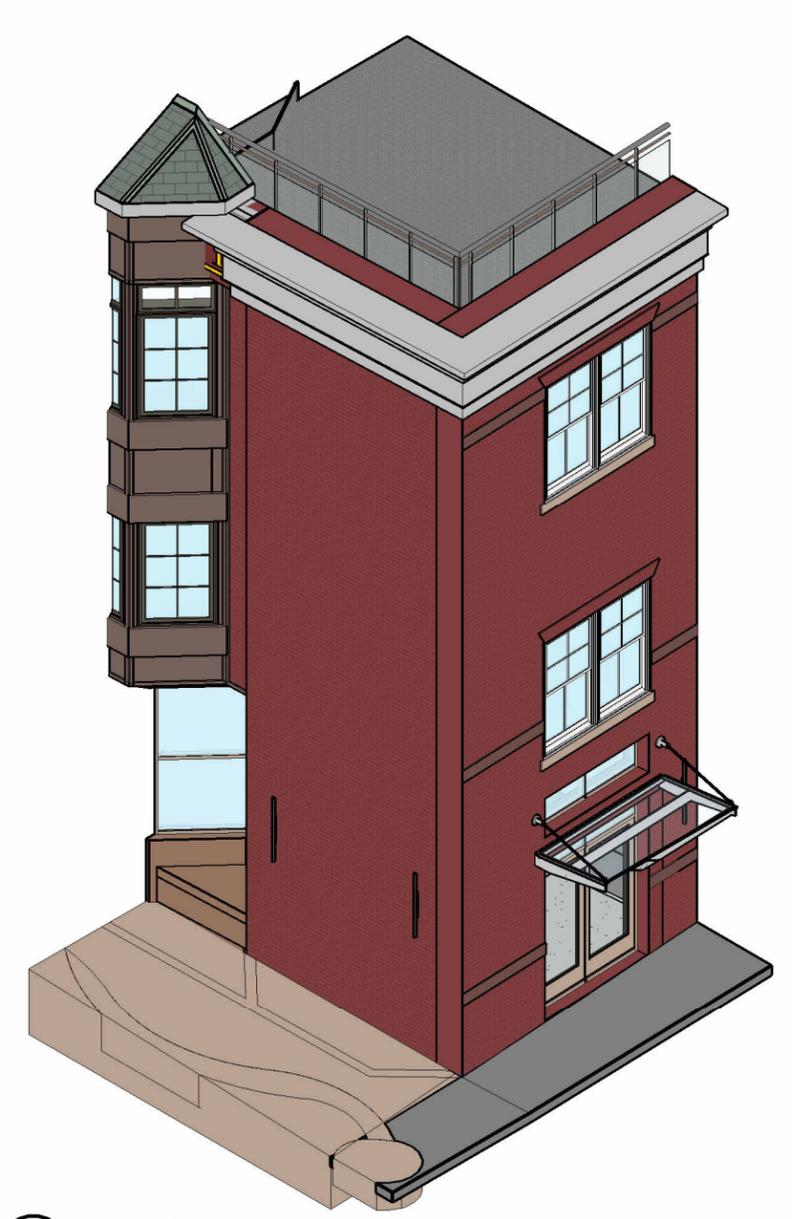
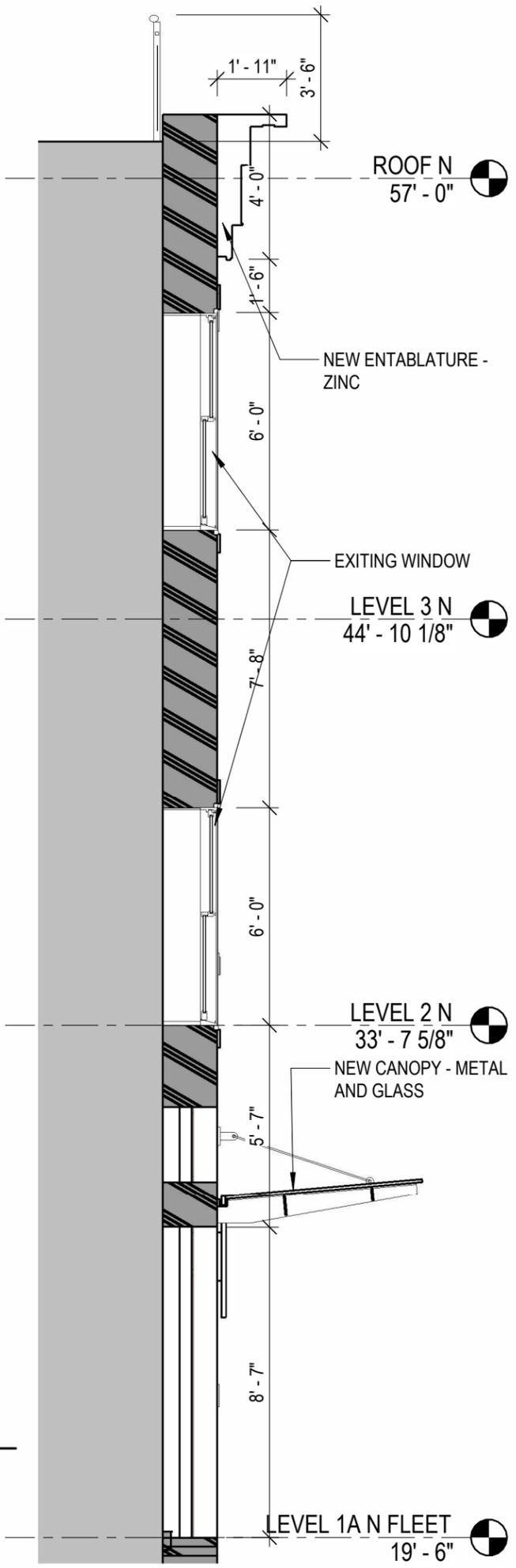
HN3.05 DETAIL - HAVEN CT, NE CORNER
1-15 CONGRESS STREET

3 Elevation 12 - a
1/4" = 1'-0"

10/18/24



1 Section 155
 1/4" = 1'-0"



1.1 3D NW CORNER

HN3.06 DETAIL - FLEET ST, NORTH ENTRY
1-15 CONGRESS STREET

10/18/24

ROOF N
57' - 0"

LEVEL 3 N
44' - 10 1/8"

LEVEL 2 N
33' - 7 5/8"

3 ELEVATION - NEW CANOPY AND STOREFRONT FLEET ST
1/4" = 1'-0"

LEVEL 1A N FLEET
19' - 6"

RAILING - ALUMINUM & GLASS

EXISTING WALL

NEW COPPER CLADDING

EXISTING WINDOW

NEW METAL CANOPY

NEW STOREFRONT - ALUMINUM

2 SECTION - NEW CANOPY AND STOREFRONT FLEET ST
1/4" = 1'-0"

GLASS & METAL RAILING

ZINC ENTABLATURE

EXISTING BRICK WALL

COPPER CLADDING

COPPER CANOPY

COPPER CLADDING

NEW STOREFRONT

NEW WALL GRANITE CLADDING

ROOF N
57' - 0"

LEVEL 3 N
44' - 10 1/8"

LEVEL 2 N
33' - 7 5/8"

LEVEL 1B N FLEET
22' - 4 5/8"



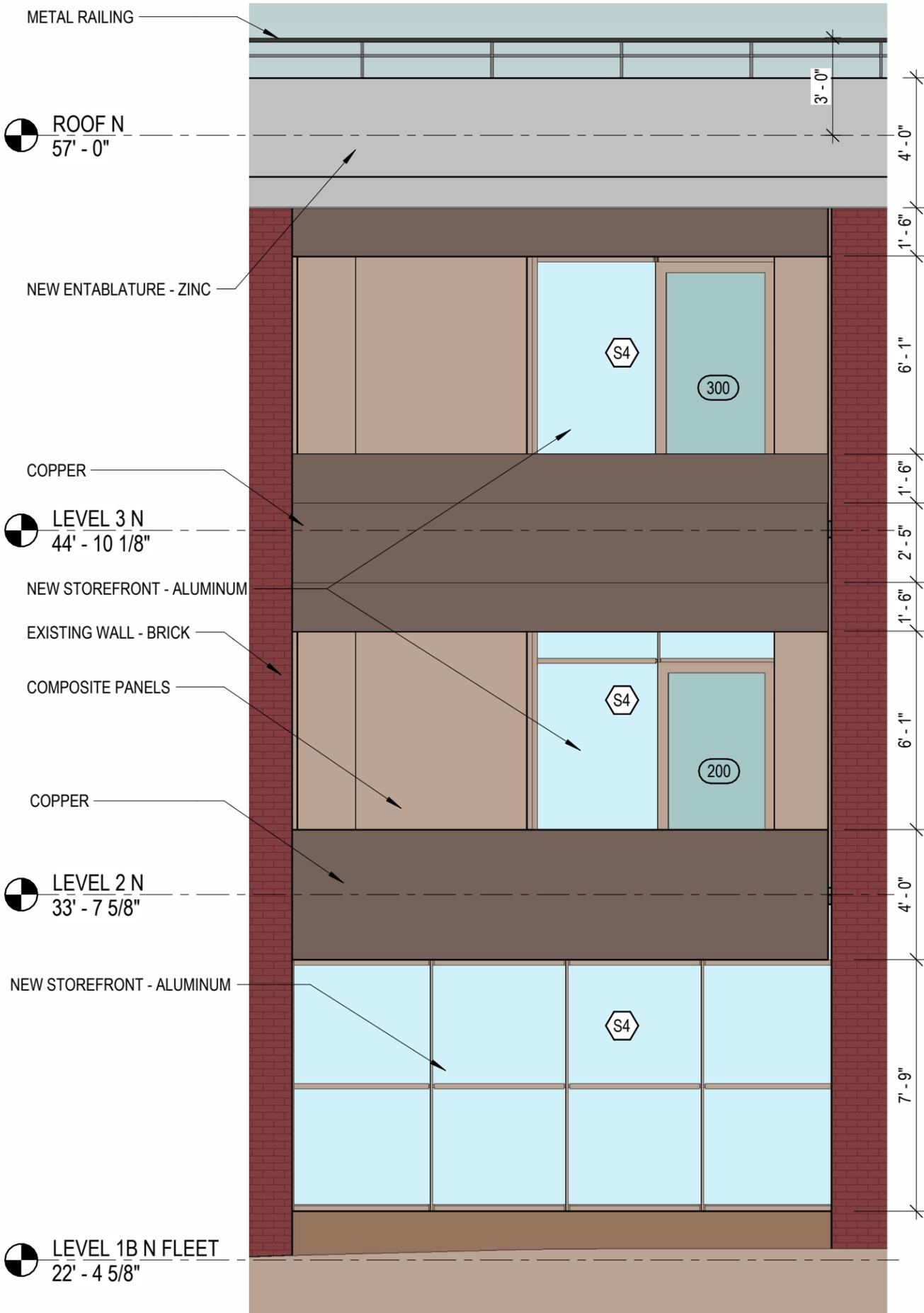
1 3D VIEW - NEW CANOPY AND STOREFRONT FLEET ST

HN3.07 DETAIL - FLEET ST, STOREFRONT
1-15 CONGRESS STREET

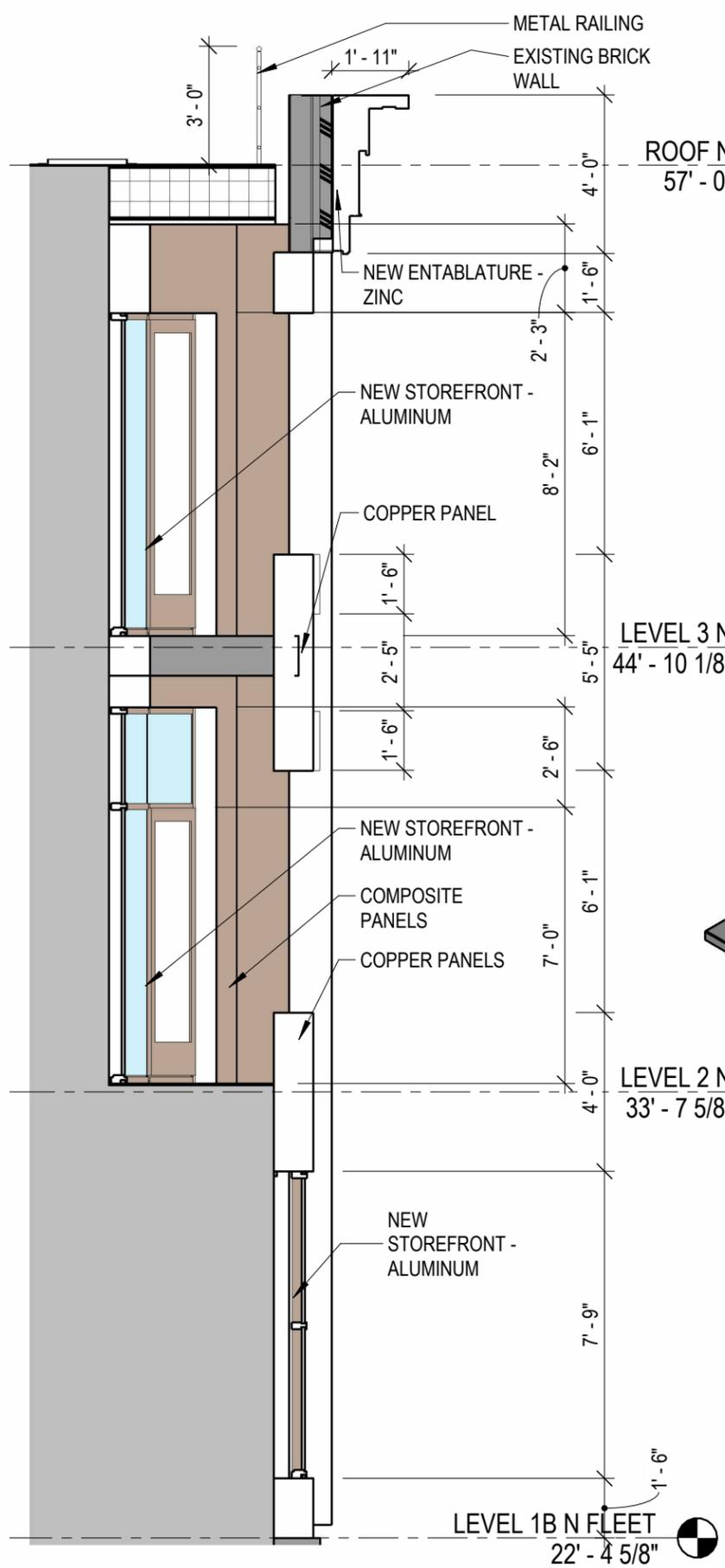
10/18/24



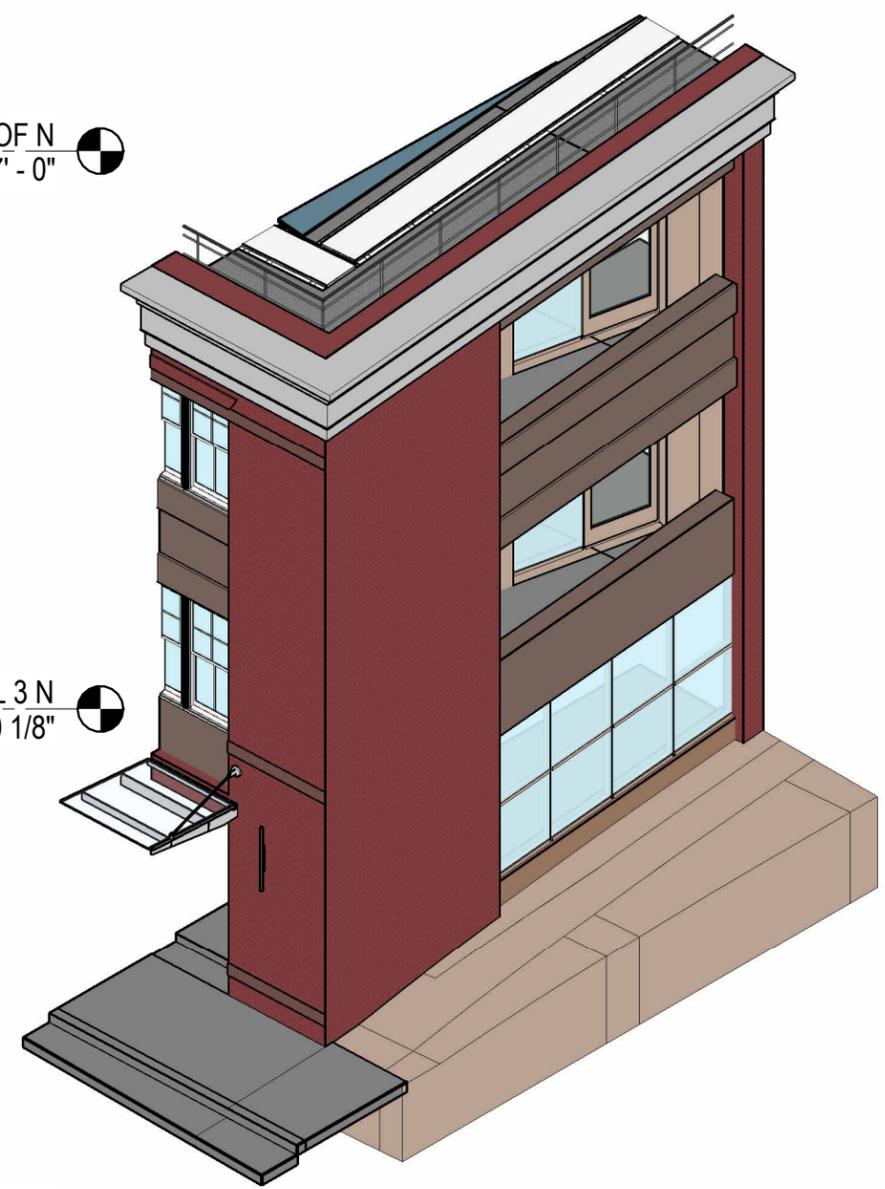
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3 ELEVATION - SOUTH ALLEY ENTRANCE
1/4" = 1'-0"



2 SECTION - SOUTH ALLEY ENTRANCE
1/4" = 1'-0"



1 3D VIEW - FLEET STREET SOUTH ALLEY ENTRANCE

**HN3.08 DETAIL - S. ALLEY, STOREFRONT
1-15 CONGRESS STREET**

10/18/24



EXISTING CONDITION

PROPOSED

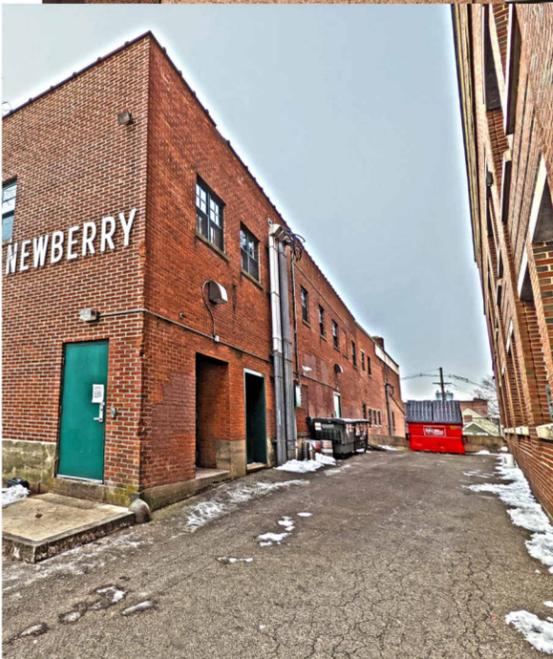
PROPOSED

HN4.01 PERSPECTIVE NW FLEET STREET
1-15 CONGRESS STREET

10/18/24



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EXISTING CONDITION

PROPOSED

HN4.02 PERSPECTIVE NE HAVEN COURT
1-15 CONGRESS STREET

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TANGRAM 3DS



EXISTING CONDITION

PROPOSED

HN4.03 PERSPECTIVE SOUTH ALLEY
1-15 CONGRESS STREET

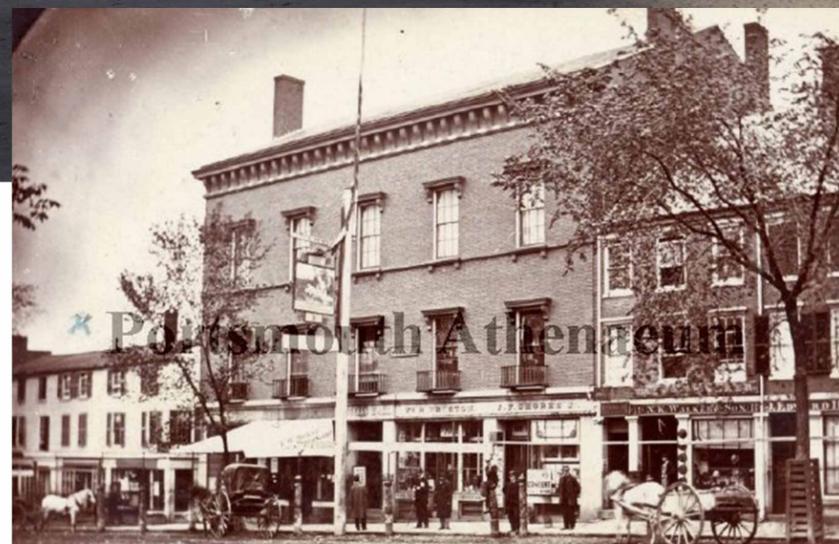
10/18/24



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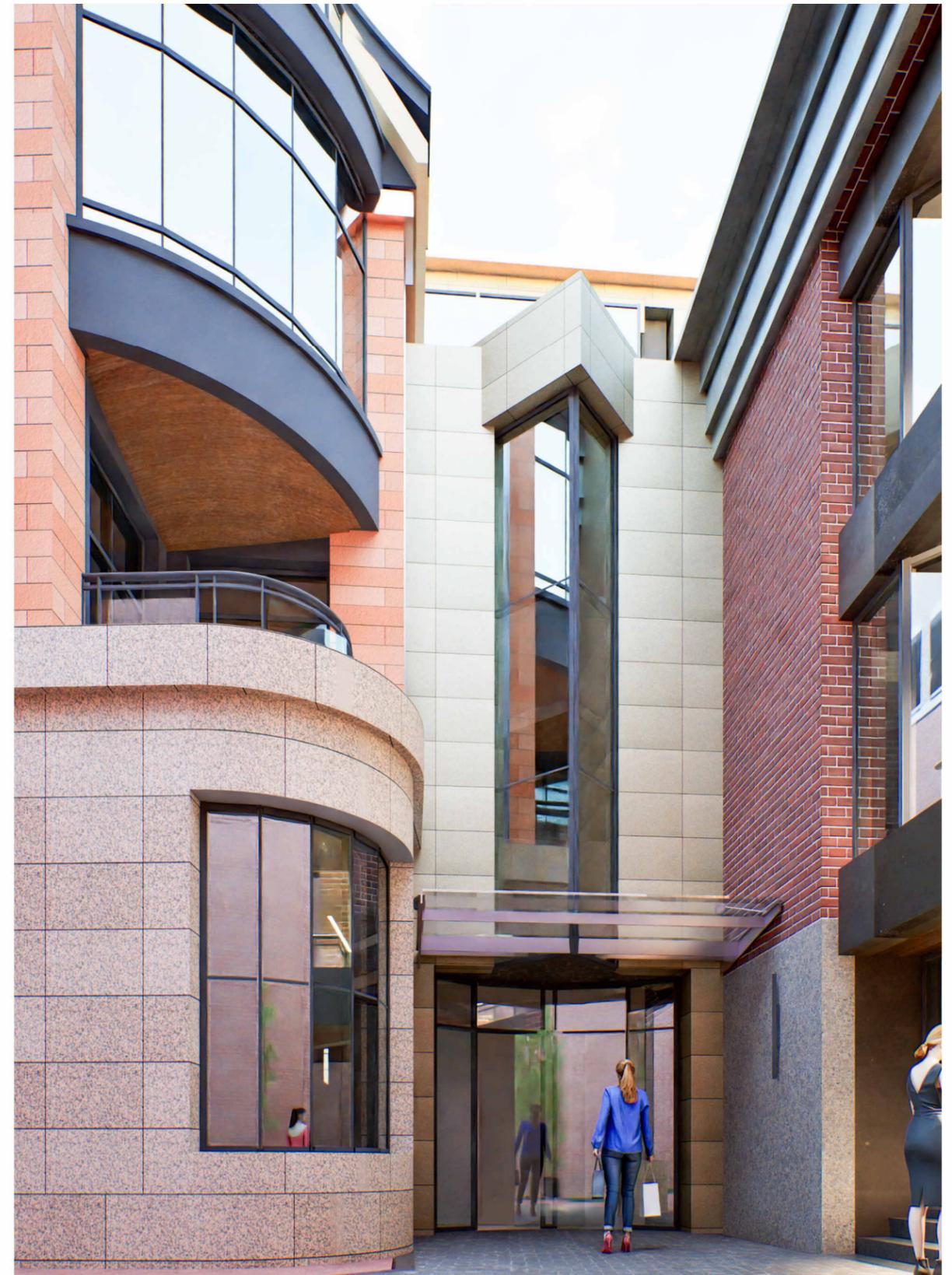
CIRCA 1860

HN4.04 PERSPECTIVE CONGRESS ST
1-15 CONGRESS STREET

10/18/24



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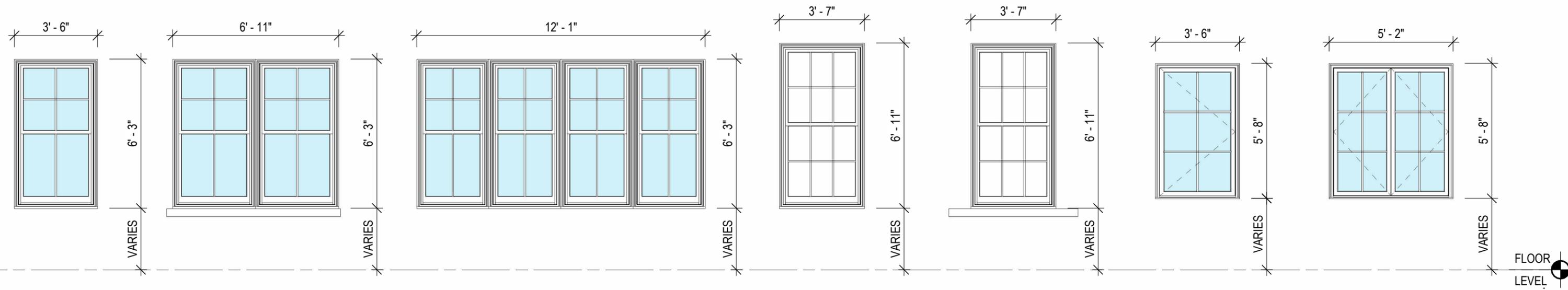
HAVEN COURT ENTRANCE

HN4.05 PERSPECTIVE, NORTH ENTRY
1-15 CONGRESS STREET

10/18/24



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A DOUBLE HUNG EXISTING

B DOUBLE HUNG EXISTING

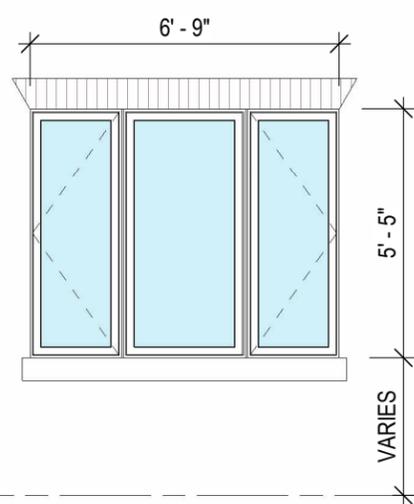
C DOUBLE HUNG EXISTING

D DOUBLE CASEMENT WITH CENTER VERTICAL POST

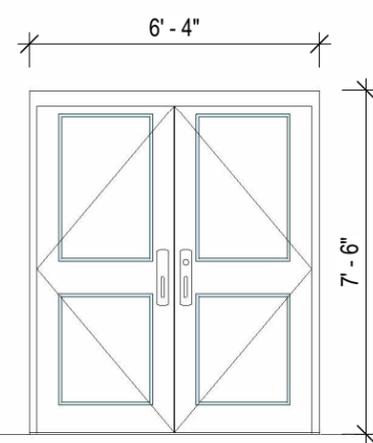
E DOUBLE CASEMENT WITH CENTER VERTICAL POST

F DOUBLE CASEMENT WITH CENTER VERTICAL POST

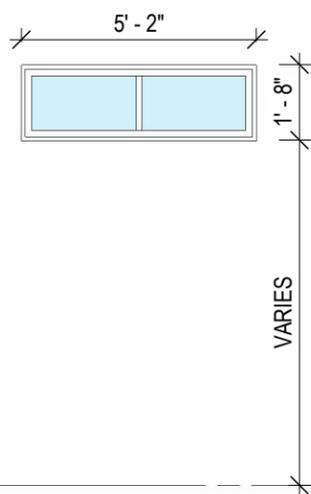
G DOUBLE CASEMENT WITH CENTER VERTICAL POST



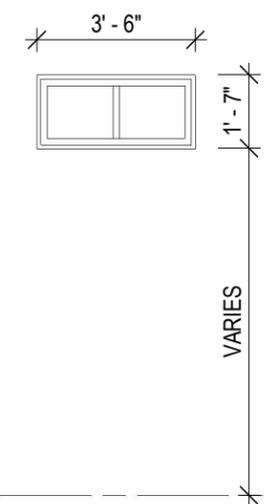
H CASEMENT W/ CENTER POST
REPLACEMENT CASEMENT AND FRAME, VERIFY EXISTING ROUGH OPENING



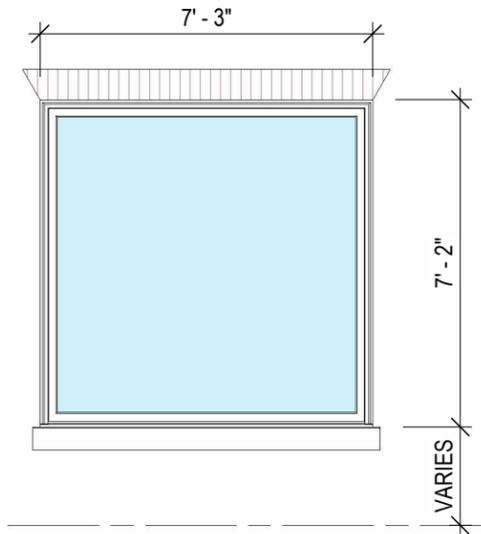
I DOUBLE EXTERIOR DOOR TWO LITE



WB FIXED



WB1 FIXED



WB2 FIXED

GENERAL NOTE: FOR WINDOWS IN NEW CONSTRUCTION, WINDOW DIMENSIONS INDICATE UNIT SIZE, FOR ROUGH OPENING SIZE ADD 3/4" TO HEIGHT AND WIDTH. WOOD WINDOWS ARE CLAD IN ALUMINUM

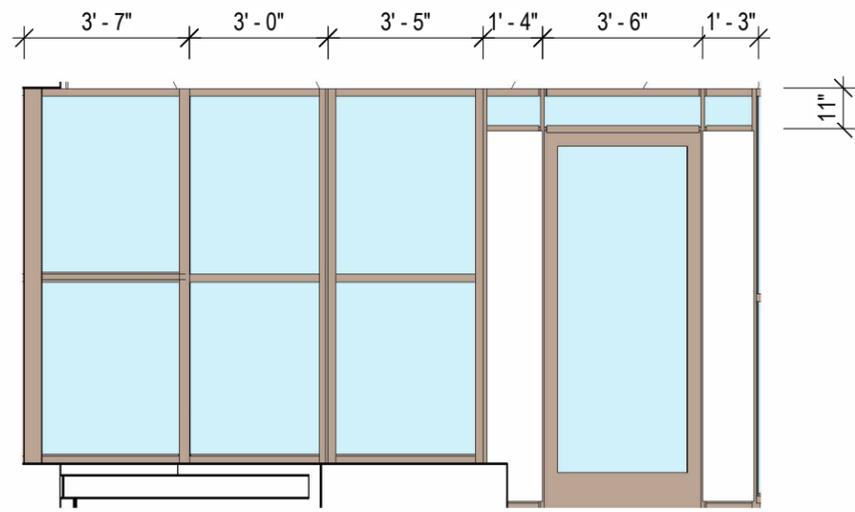
WINDOW & FRAME TYPES JJN
1/4" = 1'-0"

HN5.00 WINDOW DOOR & FRAME TYPES
1-15 CONGRESS STREET

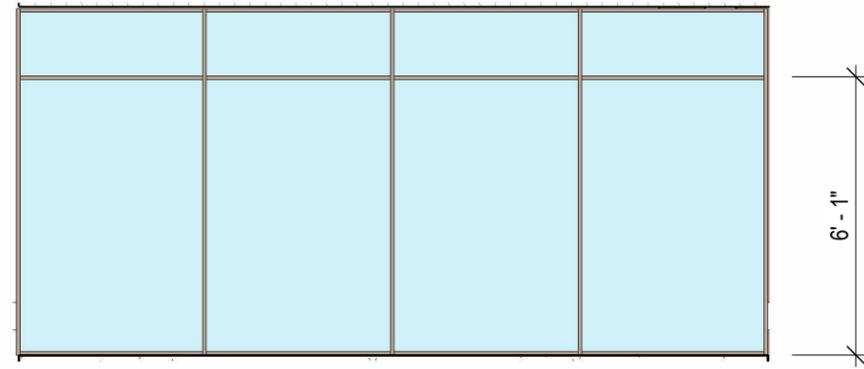
10/18/24



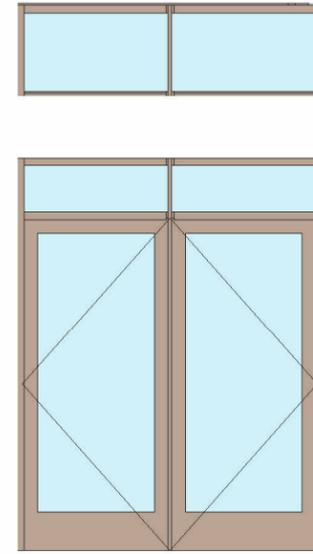
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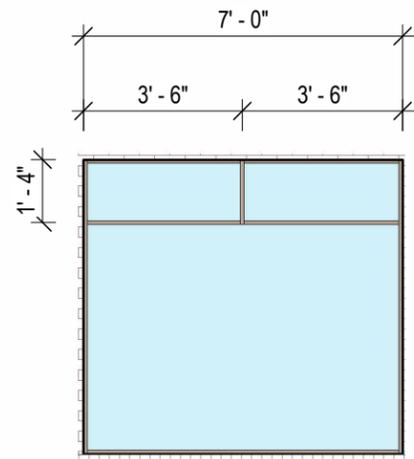
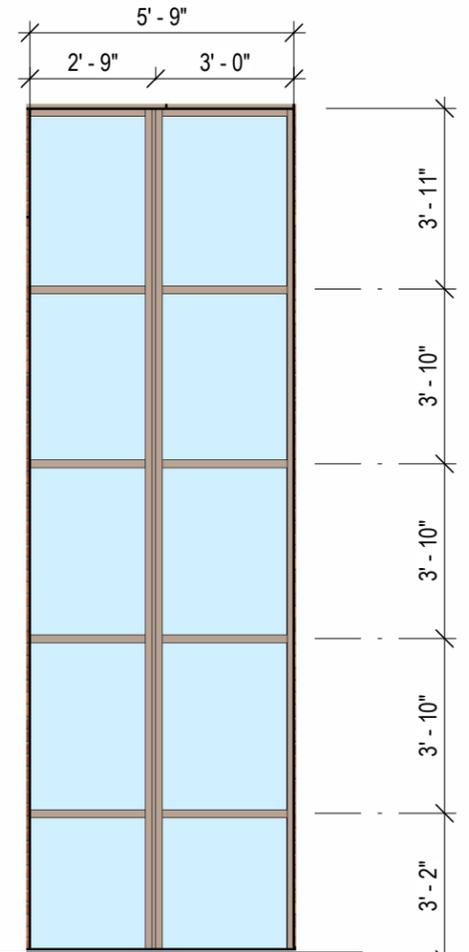
1 CURTAIN WALL 1- @15 CONGRESS STREET
1/4" = 1'-0"



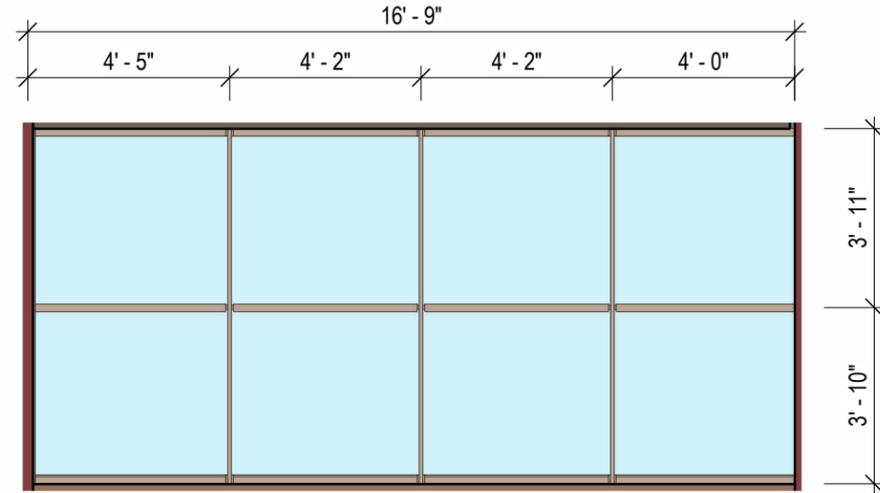
2 CURTAIN WALL 2 - NEW STOREFRONTS WEST
1/4" = 1'-0"



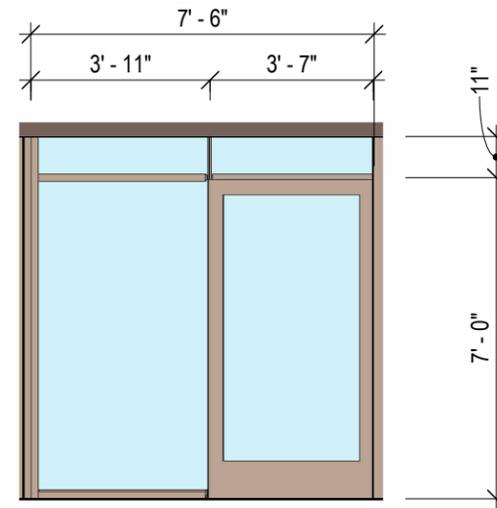
3 NEW STOREFRONT ENTRY WEST
1/4" = 1'-0"



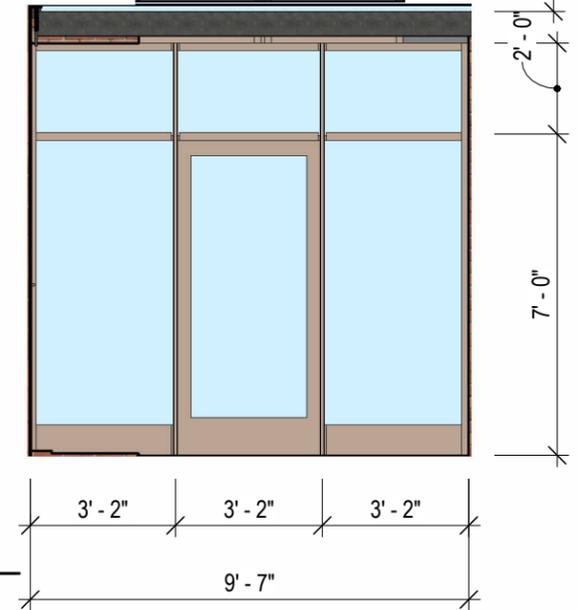
4 CURTAIN WALL 4 STOREFRONTS WEST
1/4" = 1'-0"



5 CURTAIN WALL 5 SOUTH ELEVATION - SOUTH ALLEY
1/4" = 1'-0"



6 CURTAIN WALL 6 RECESSED BALCONIES - SOUTH ALLEY
1/4" = 1'-0"



7 CURTAIN WALL 7 ENTRY SOUTH ELEVATION (ALLEY END)
1/4" = 1'-0"

HN5.01 STOREFRONT TYPES
1-15 CONGRESS STREET

15 Congress Street				
Sheet	Material	Manufacturer	Model/Make	Finish/Color
HN6.05	Brick	to match existing	clay	waterstruck
HN6.06	Chimney Caps	Lofthouse	steel	powder coat/bronze
HN6.04	Composite Metal Panel	Alucobond	Axcent	anodize, dark bronze
HN6.04	Composite Trim - corbels	Versatex	Custom	field painted, per renderings
HN6.04	Composite Trim - flat stock & panel	Hardi	as indicated on renderings	field painted, per renderings
HN6.04	Copper	Revere	sheet	mill finish (natural)
HN6.04	Cornice, ZONC	Rheinzinc	sheet	mill finish (natural)
HN6.05	Granite	Swenson	wall base	thermal/Carolina Pink
HN6.05	Granite	Swenson	steps & benches	thermal/Autumn Pink
HN6.06	Railings at Balconettes	Custom	steel	powder coat/black
HN6.06	Railings at Roof and north balconies	Viva	Eco Vista	paint/black
HN6.02	Skylights	Town & Country	Custom - octagon & square	painted; dark bronze
HN6.04	Slate Roofing	Vermont Slate	semi-weathering natural	gray green
HN6.04	Soffits	Longboard	consistent wood grain	dark fir
HN6.03	Storefronts & doors	Kawneer	Trifab	Kynar, medium bronze
HN6.01	Windows	Pella	Architectural Series	aluminum clad wood - kynar, brown

**HN6.00 MATERIALS, SCHEDULE
1-15 CONGRESS STREET**

10/18/24



Pella® Reserve™ Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.



- Easy-to-learn Pella Steady Set™ interior installation system**
Pella Steady Set Interior Installation System is a revolutionary, award-winning and safer way to install new construction windows. The simple system is the fastest, most labor efficient wood window installation system with uncompromising quality. Available on select windows.
- Historical Details**
Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve – Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**
Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural Interest**
Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles to provide meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**
If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**
The award-winning Integrated Roloscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**
To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified**
Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.
- Testing beyond requirements**
All wood products and testing are not created equal. Pella raises the bar on industry standard testing and beyond to deliver long-lasting products and reduced callbacks. Every Pella wood window and door passes 5, on average, quality checks before it arrives on the jobsite.
- Best limited lifetime warranty***
Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.†

Available in these window and patio door styles:

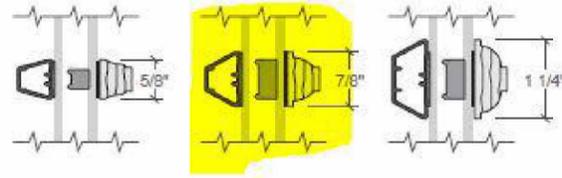


Special shape windows also available.

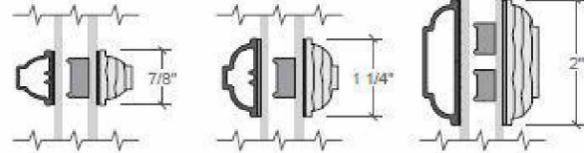
*** See back cover for disclosures.

Integral Light Technology®

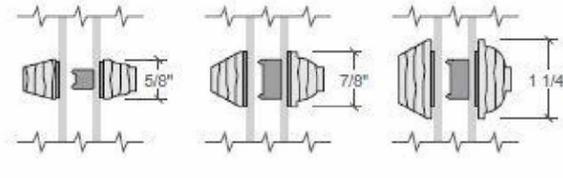
Putty and Ogee Glaze Grilles Clad Exterior - Wood Interior



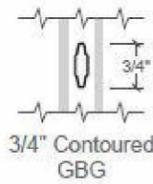
Ogee Glaze Grilles Clad Exterior - Wood Interior



Putty and Ogee Glaze Grilles Wood Exterior - Wood Interior



Contoured Aluminum - Grilles-Between-the-Glass



MULLED CASEMENT

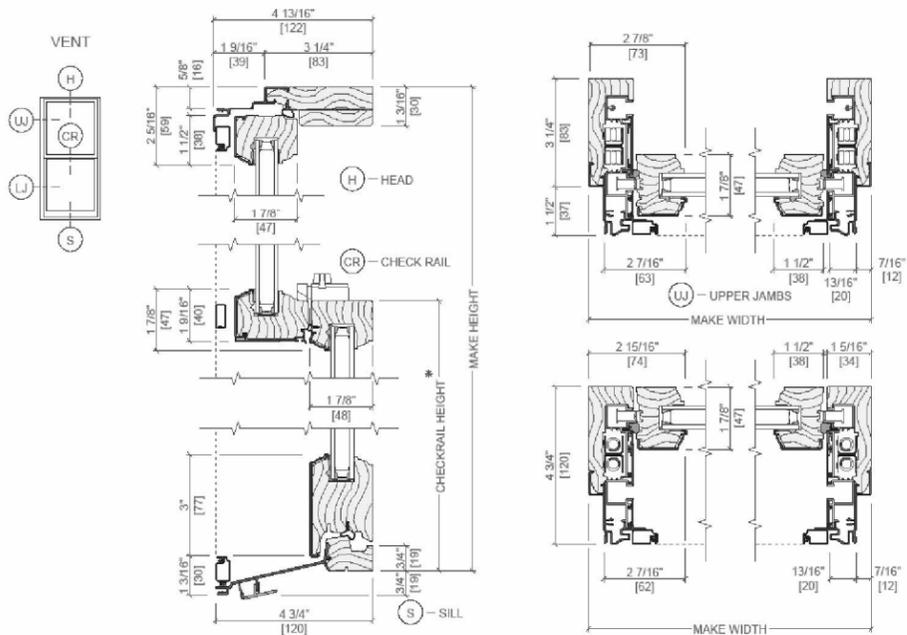


MULLED DOUBLE HUNG

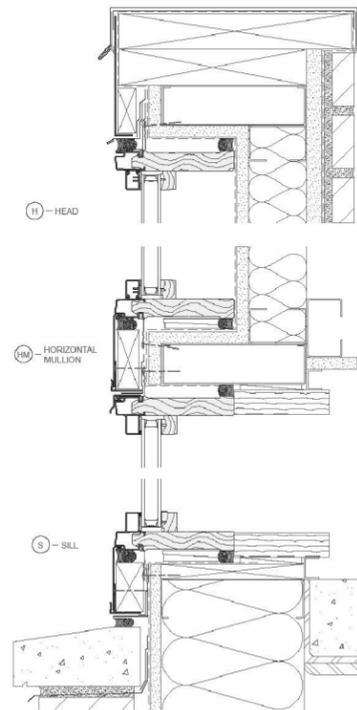


Pella® Reserve™ Traditional Precision-Fit Hung Window

Unit Section - Aluminum-Clad Exterior Ogee Exterior Glazing Profile

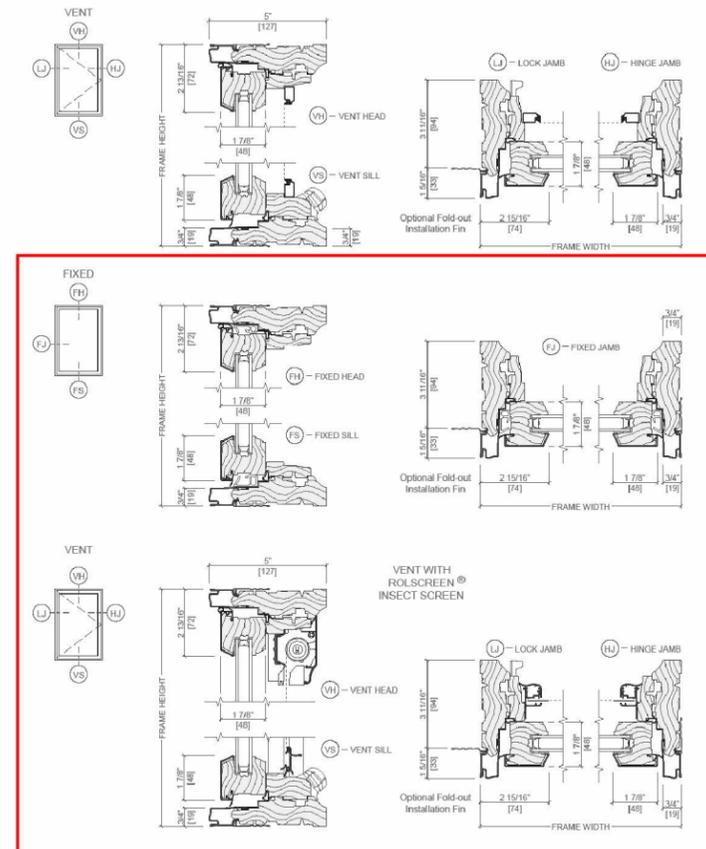


Combination Openings



Pella® Reserve™ Traditional Casement Window

Unit Sections – Aluminum-Clad Exterior, Putty Glaze Exterior Profile



Pella 2024 Architectural Design Manual | Division 08 - Openings | Windows and Doors | www.pella.com

CM-33

Colors

Wood Types

Choose the wood species that best complements your project's interior.



Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.†



HN6.01 MATERIALS, WINDOWS
1-15 CONGRESS STREET

10/18/24

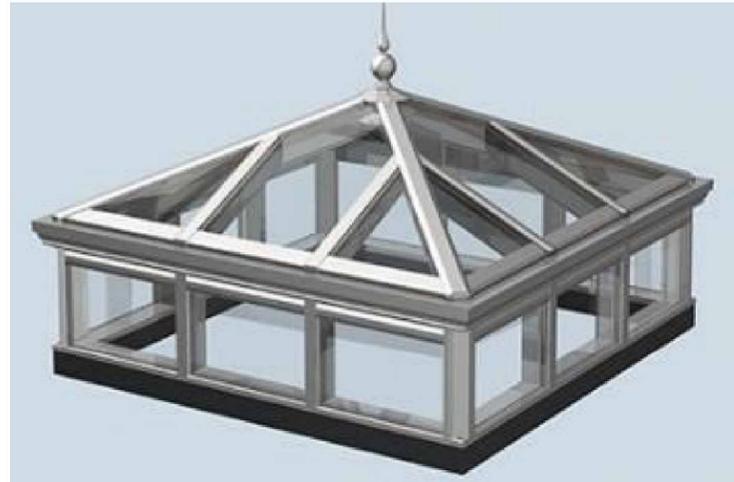


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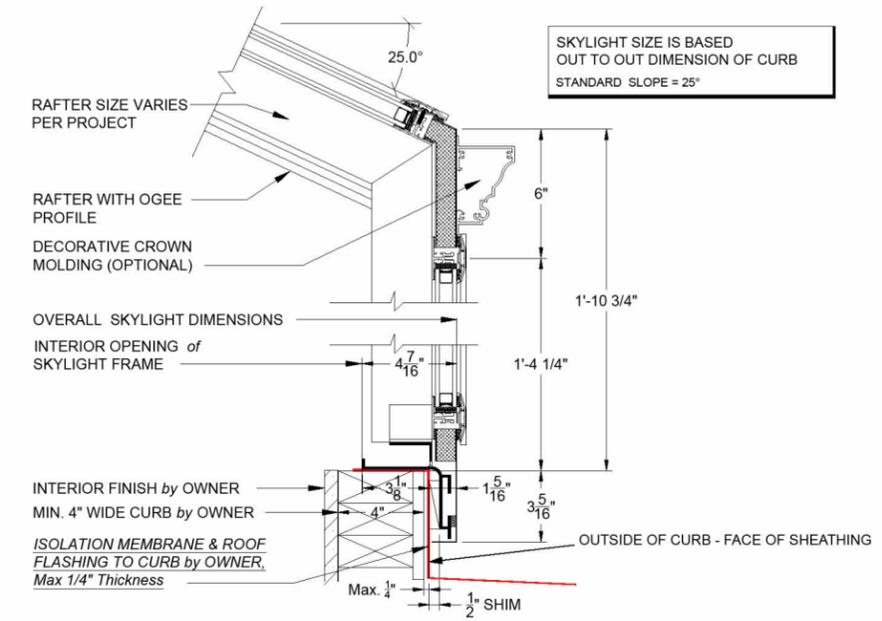
OCTAGONAL SKYLIGHT



PYRAMID SKYLIGHT



TOWN & COUNTRY SKYLIGHT SYSTEM



SKYLIGHT with SIDE FRAMES STANDARD DETAIL

Do Not Scale Drawings

GLAZING OPTIONS

DESCRIPTION (1" Overall)	U-VALUE*	SOLAR HEAT GAIN COEFFICIENT*	SHADING COEFFICIENT*	VISIBLE LIGHT	REFLECTANCE (Exterior)
Typical Low-E Glass (on most homes)	.33	.66	.76	73%	17%
High-performance Low-E Glass (our standard)	.26	.40	.46	71%	11%
Upgrade 1 High-performance Low-E: Better Shading Coefficient	.25	.27	.31	64%	11%
Upgrade 2: Maximum Shading Coefficient	.26	.24	.28	39%	14%

* U-value measures the insulating properties of glass. The lower the better. Shading coefficient and Solar Heat Gain Coefficient measure the amount of solar energy admitted through the glass. The lower the better to reduce air-conditioning costs.



CLADDING COLOR OPTIONS



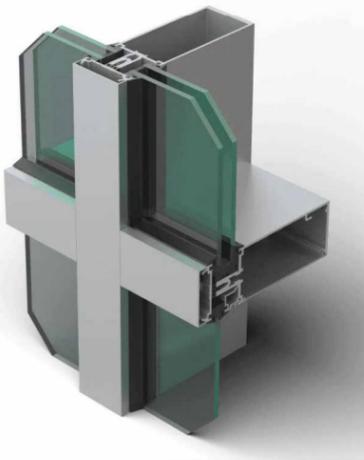
HN6.02 MATERIALS, SKYLIGHTS
1-15 CONGRESS STREET

10/18/24

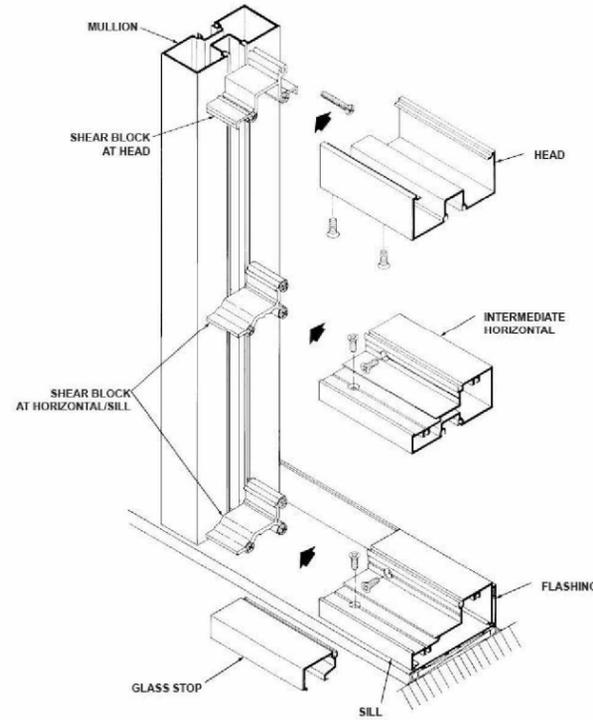
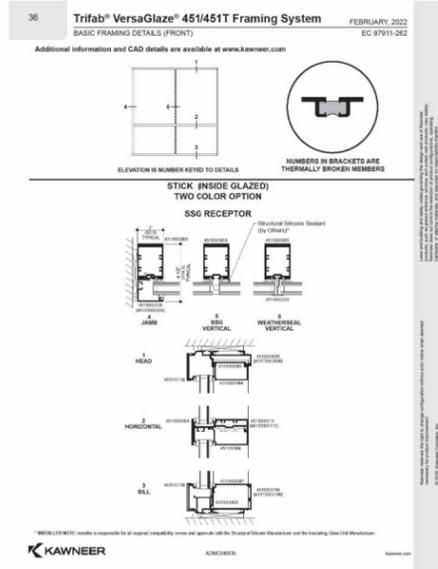


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CLADDING COLOR OPTIONS



STOREFRONT AXONOMETRIC DETAIL



TRIFAB® VG (VERSAGLAZE®)
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM

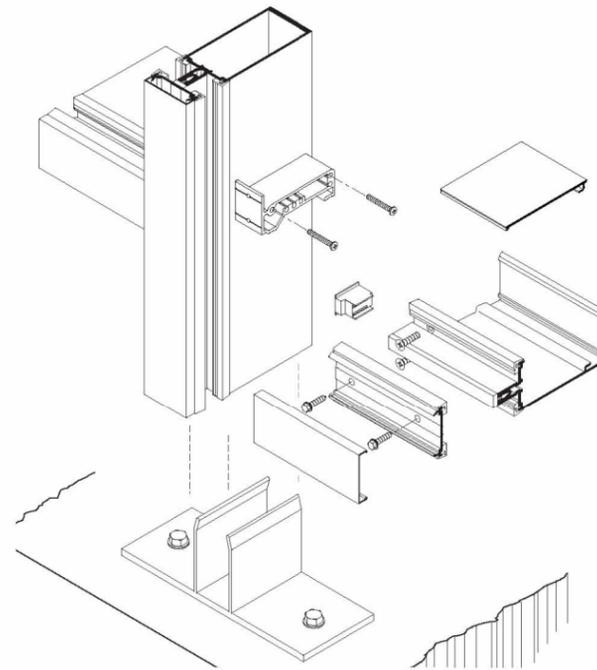
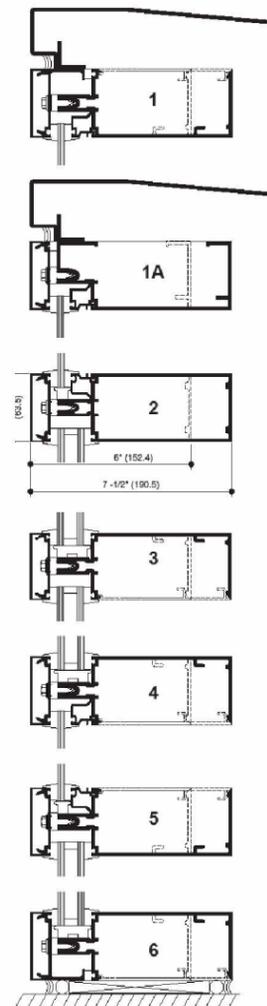


Design + Performance
Versatility with Unmatched
Fabrication Flexibility



Goldinger Professional Building
Jenkins Township, Pennsylvania
ARCHITECT
Merich Commercial Real Estate Services
Wilkes-Barre, Pennsylvania
GLAZING CONTRACTOR
Sterling Glass, Inc., Scranton, Pennsylvania
PHOTOGRAPHER
© Perzel Photography Group

1600 Wall System®1 Curtain Wall



Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

2000T Terrace Doors →

- 3-3/4" (95.3mm) sightline
- 2-1/4" (57.2mm) depth
- High-thermal performance
- Hurricane resistance
- Exterior balcony application

SELECT TO COMPARE

NX-8900 Terrace Doors →

- 4" (101.6mm) sightline
- 2-3/4" (69.9mm) depth
- 3-1/4" (82.6mm) or 4-5/8" (117.5mm) frame depth
- High-thermal performance
- Exterior balcony application

SELECT TO COMPARE

HN6.03 MATERIALS, STOREFRONT-CURTAIN WALL CONGRESS STREET

10/18/24



SOFFIT-CEILING AT BALONIES



- thermally broken
- made of light weight aluminum
- supports continuous insulation
- creates a rain screen
- response time within 24 hours
- supports other cladding up to 8 lbs per sq ft.
- adjustable for sub-wall misalignment
- health product declarations
- support for specifications + drawings
- built for seismic zones

LONGBOARD®

WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

CONSISTENT



easy to use quick delivery
solid warranty durable finishes

longboardproducts.com



COMPOSITE WALL PANELS (ELEVATOR OVER-RUN AND RECESSED ACCENTS)

ALUCOBOND®

GIVING SHAPE TO GREAT IDEAS

ALUCOBOND® Products

PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.

ALUCOBOND® AXCENT™

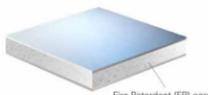
A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.

ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

ALUCOBOND EasyFix must be used with:

- ALUCOBOND PLUS
- ALUCOBOND EasyFix: Clips or Rails



Fire Retardant (FR) core

Product Properties	
Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft²
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"



Product Properties	
Product thickness	0.040" (nominal)
Weight	0.56 lb/ft²
Standard width	48"
Standard length	120"



Product Properties	
Weight	1.9 lb/ft²
Weight	1.56 lb/ft²
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12"

* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.
** Sheets will be fabricated to meet custom panel sizes within product range above.

ALUCOBONDUSA.COM / 800.626.3635



ZINC CORNICE ALONG EXISTING PARAPET

The three pillars of sustainability of titanium zinc

Sustainability is one of the most inflationary terms today - but also one of the most important. Thanks to its outstanding properties, titanium zinc from RHEINZINK is not only sustainable, but the definition of sustainability.

Small carbon footprint
RHEINZINK has had an environmental product declaration drawn up for its products in accordance with internationally recognized standards. The result shows a carbon emission of 2.379 kg carbon/kg for pre-weathered titanium zinc sheet, which corresponds to the highest breaking level. For comparison: Using the same methodology as for pre-weathered zinc, the carbon emissions for aluminum-clad aluminum sheet are 6.39 kg carbon/kg. This resulted in very good comparative values even before the changeover to prePATINA ECO ZINC.

prePATINA ECO ZINC IN FIGURES



MELTING POINTS



100% recyclability
What many call recycling is often merely downcycling. At RHEINZINK, we therefore speak more appropriately of the Cradle to Cradle principle. After its use, titanium zinc can be correctly sorted by type without effort and reused an infinite number of times in its original quality. Therefore, RHEINZINK products basically have an eternal life.

With prePATINA ECO ZINC, we are taking a big step forward on the path to decarbonisation. We are the first manufacturer of construction zinc to reduce carbon emissions by 50%. We make sustainability real: with real renewable energies - certified and without compensation.

EXTREMELY DURABLE

PRACTICALLY MAINTENANCE-FREE

100% RECYCLABLE

NATURALLY SUSTAINABLE



blue-grey



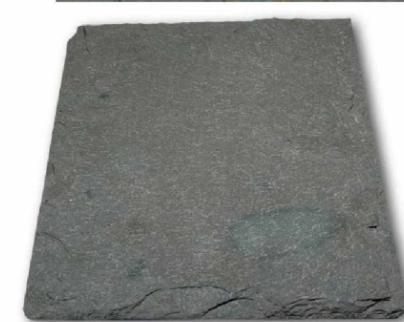
graphite-grey

The Anodized Collection®

* Natural variations in shade and color will occur with anodized finished metals. This variation is part of the natural beauty brought out by the anodizing process and often sought after for its aesthetic quality. Visual look of variation may also be affected by lint as well as size of panel.

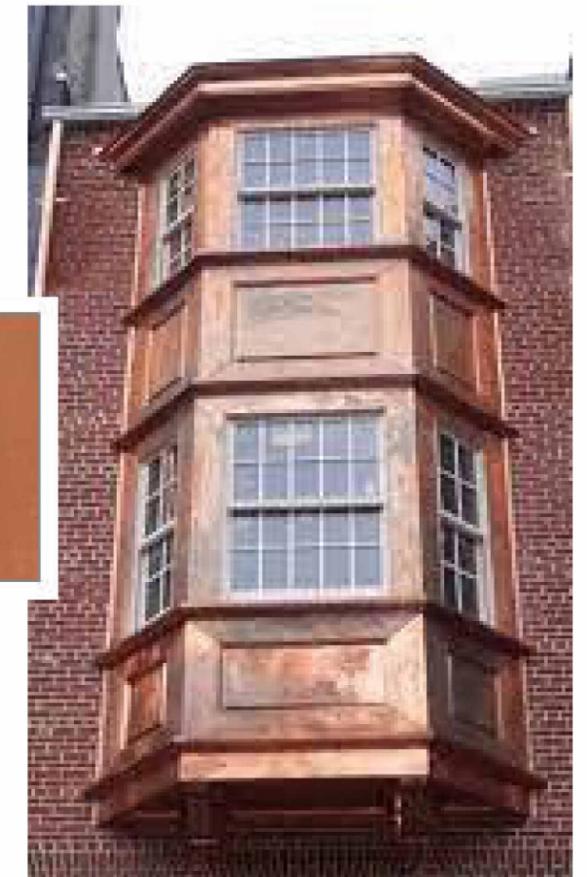


ROOFING - NATURAL SLATE



GRAY-GREEN, SEMI-WEATHERING NATURAL SLATE; VERMONT SLATE

COPPER CLADDING- BAY WINDOWS AND PANEL CLADDING



HN6.04 MATERIALS, CLADDING & ROOFING
1-15 CONGRESS STREET

10/18/24



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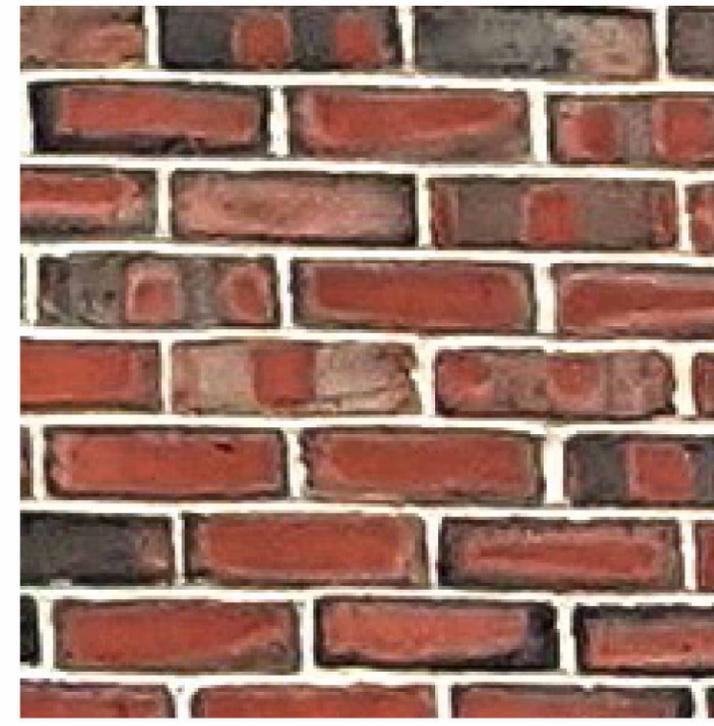
EXISTING BRICK - HAVEN COURT EAST



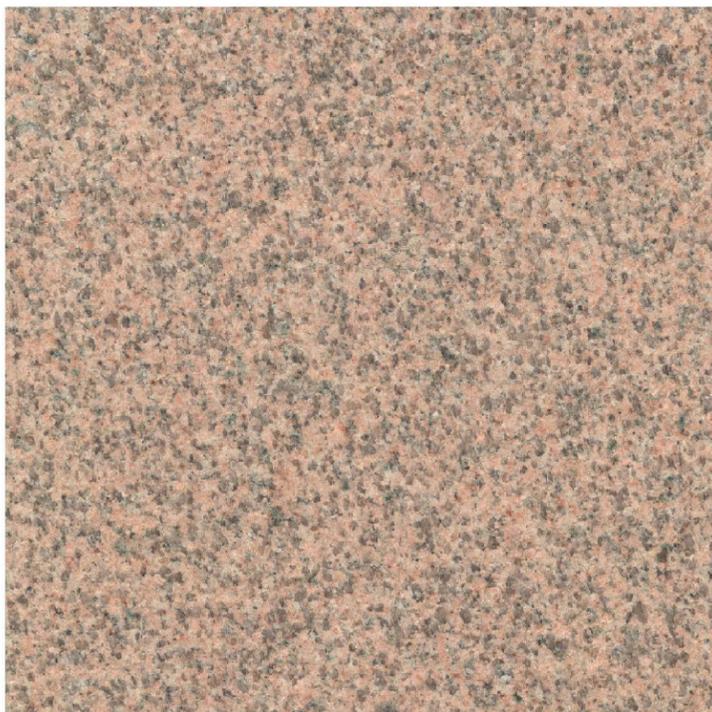
EXISTING BRICK - HAVEN COURT WEST



EXISTING BRICK - SOUTH ALLEY



EXISTING BRICK - FLEET STREET



Carolina Coral
GRANITE (Haven Court, Wall Base)



Autumn Pink
GRANITE (Haven Court, Steps & Benches)



EXISTING BRICK - 15 CONGRESS STREET

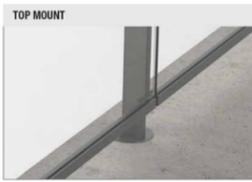
HN6.05 MATERIALS, MASONRY
1-15 CONGRESS STREET

10/18/24



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ECO VISTA GLASS SYSTEM - MOUNTING CONDITIONS



ECO VISTA GLASS SYSTEM - FINISH OPTIONS



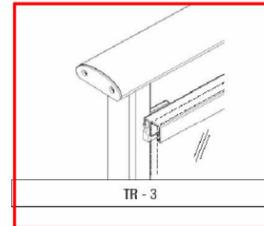
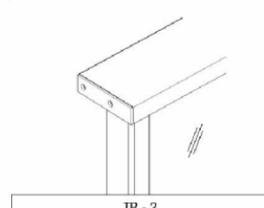
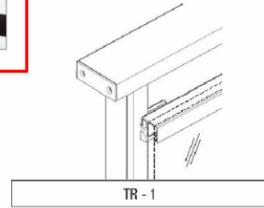
TR - 1

GLASS & METAL RAILINGS- ROOF DECK



ECO VISTA GLASS SYSTEM - TECHNICAL DATA

	MATERIAL	FINISH	SIZE/SPACING
POST	Aluminum	Powder Coat - Super Polyester (AMBA 2016 - 6) Powder Coat - R90P (AMBA 2016 - 10)	2.5" x 1.5" rectangular section for fascia mounted post, and T section for top or side mounted post, 24" x 1" (303) U.S.
INFILL OPTIONS	Glass	Clear, Tinted or Full	Min. 3/16" laminated glass with PVB or SGP interlayer* Glass standard thickness: 3/16", 1/2", 5/16", 3/4" Interlayer standard thickness: SGP: 0.39" - 0.50" PVB: 0.25" - 0.30"
TOP RAIL/HAND RAIL	Aluminum	Powder Coat - Super Polyester (AMBA 2016 - 6) Powder Coat - R90P (AMBA 2016 - 10)	Top rail options: Rectangular: 2.5" x 1.5" (303) Inch: 2.5" x 1.5" (303) Round: 1.5" x 1.5" (303)



GLASS AWNINGS- FLEET STREET, HAVEN CT, & SOUTH ALLEY

Vision™ series

Glass and Perforated Metal Canopies.



Vision® is a custom canopy system with your choice of glass, acrylic panels or perforated metal. Assembled in any combination you desire. You can showcase your "brand" signature with this in-house designed and built canopy system.

Features and Benefits:

- Free-form design opportunities
- Endless selection of glass finishes and metal patterns.
- Custom designed to exact specifications
- Can be designed to match other building elements
- Create a lasting focal point.



Innovative environmental control through creative design



EXTERIOR LIGHT FIXTURES



Refraction Large Outdoor Sconce

Base Item #: 302623

Selected Options

Lamping: Incandescent (SKT)
Finish: Coastal Dark Smoke (77)

Option1: Clear Glass (ZM) [ZM0618]

Configured Item #: 302623-1004

Smart String: 302623-SKT-77-ZM0618

Image shown may not correspond to selected options

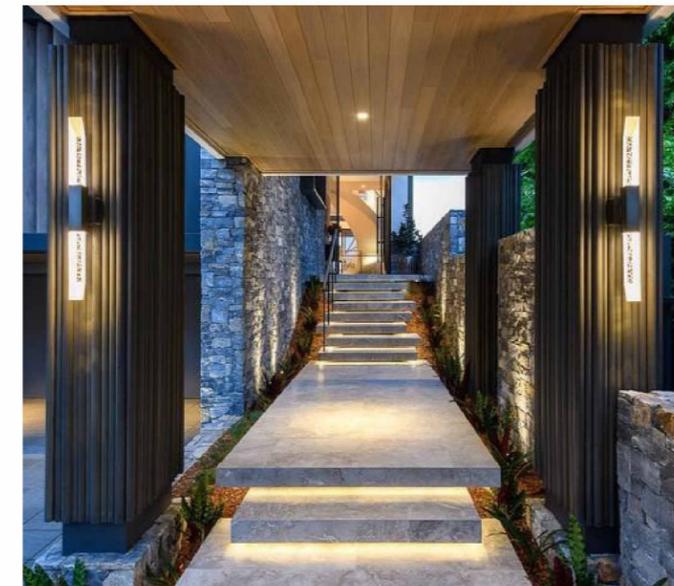


Specifications

Dimensions			
Height	35.7"	Lamping Information	
Width	5"	Socket Type	GY 6.35
Depth	4"	Bulb	MR16 reflector, 20 watt Max
Product Weight	14.8 lbs	Number of Bulbs	2 (included)
Backplate	5.3" x 5"	Voltage	12V
Mounting Height - Vertical	17.9"	Location Rating UL	Outdoor Wet
		Safety Rating	UL CUL listed

Options

Lamping	Finish	Option1
Incandescent (SKT)	Coastal White (02) Coastal Oil Rubbed Bronze (14) Coastal Natural Iron (20) Coastal Bronze (75) Coastal Dark Smoke (77) Coastal Burnished Steel (78) Coastal Black (80)	Clear Glass (ZM) [ZM0618]



BRONZE METAL CUSTOM CHIMNEY CAP;
LOFTHOUSE SPECIALTIES



HN6.06 MATERIALS, SPECIALTIES
1-15 CONGRESS STREET

10/18/24



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DRAWING INDEX

- H5.01 COVER
- H5.11 DEMOLITION PLAN
- H5.12 DEMOLITION ELEVATIONS
- H5.14 FIRST FLOOR PLAN

- H5.16 AVERAGE GRADE PLANE CALCULATIONS
- H5.17 ROOF AREAS CALCULATIONS

- H5.20 ROOF HEIGHT DETAIL - HAVEN CT
- H5.21 ELEVATION - CONGRESS STREET
- H5.22 ELEVATION - HIGH STREET
- H5.23 ELEVATION - HAVEN COURT
- H5.24 ELEVATION - REAR (WEST) ALLEY

- H5.32 VINGNETTE - CONGRESS STREET
- H5.33 VINGNETTE - HIGH ST FROM CONGRESS ST
- H5.34 VINGNETTE - HIGH ST FROM STARBUCKS
- H5.35 VINGNETTE - HAVEN CT FROM LADD ST
- H5.36 VINGNETTE - HIGH ST AT LADD ST & HAVEN CT

- H4.41 DETAILS

- H5.50 MATERIALS - WINDOWS
- H5.51 MATERIALS - FENESTRATION
- H5.52 MATERIALS - ARCADE FENESTRATION
- H5.53 MATERIALS - CLADDING
- H5.54 MATERIALS - CLADDING

PROJECT NARRATIVE

This drawing set for 1 Congress Street (Map 0117 Lot 14) is presented here for approval by HDC as part of the combined 1 & 15 Congress Street application. 1 Congress Street (Map 0117, Lot 14) was previously approved by HDC on 08/03/2022. Minor revisions were approved in November 2022. A first one-year extension was granted for approval through 8/03/2024. A second one-year extension was granted for approval through 8/03/2025.

The following new revisions are clouded in the following drawings, to highlight items that have changed since the previous HDC approval.

1. Rear (west) edge of building is now pushed approximately 10 feet back to align with west property line and connect to abutting building at 15 Congress Street.
2. Four skylights at attic mansard roof along the west property line have been changed to recessed balconies.
3. The roof access stair has been relocated to the west property line, with a new entrance.
4. The grade of Haven Court is proposed to be lowered, to provide an accessible way. The wall bases and window sills along Haven Court have been adjusted accordingly.

Project Overview (as previously approved)

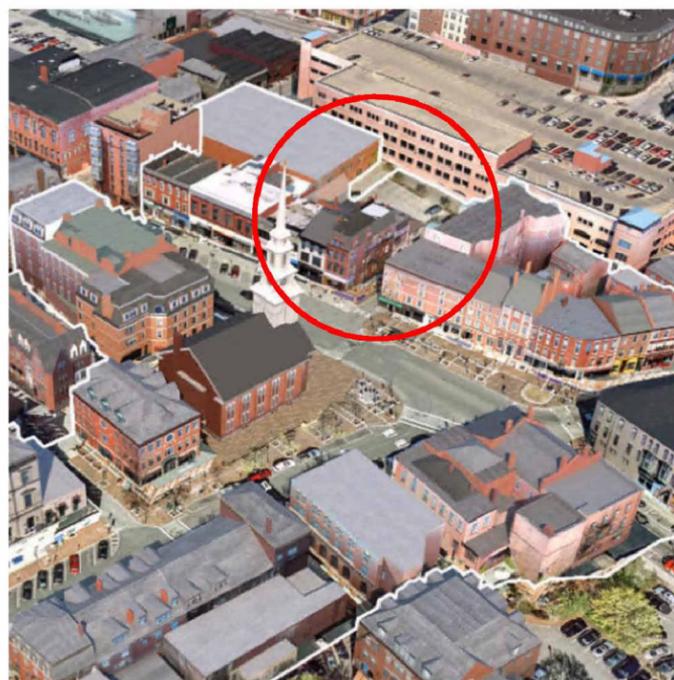
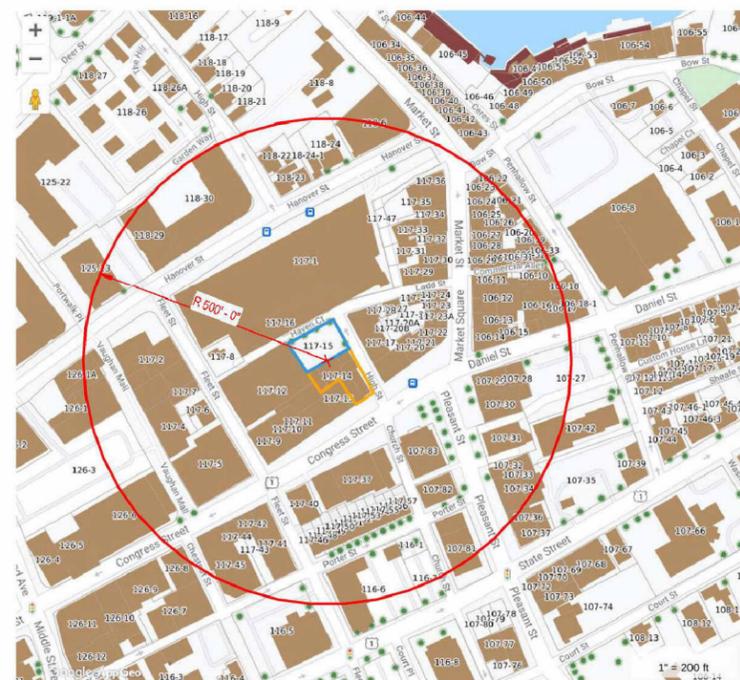
REHABILITATION AND ADAPTIVE REUSE OF EXISTING HISTORIC STRUCTURES WITH A NEW ADJACENT STRUCTURE ON REAR SURFACE PARKING LOT.

USES INCLUDE RETAIL AT FIRST FLOOR, RESIDENTIAL UNITS AND OFFICE SPACE ABOVE, AND ONE LEVEL OF UNDERGROUND PARKING.



ONE CONGRESS STREET RENOVATION & ADDITION

ONE MARKET SQUARE, LLC



**HISTORIC DISTRICT COMMISSION -
PUBLIC HEARING
OCTOBER 18, 2024**

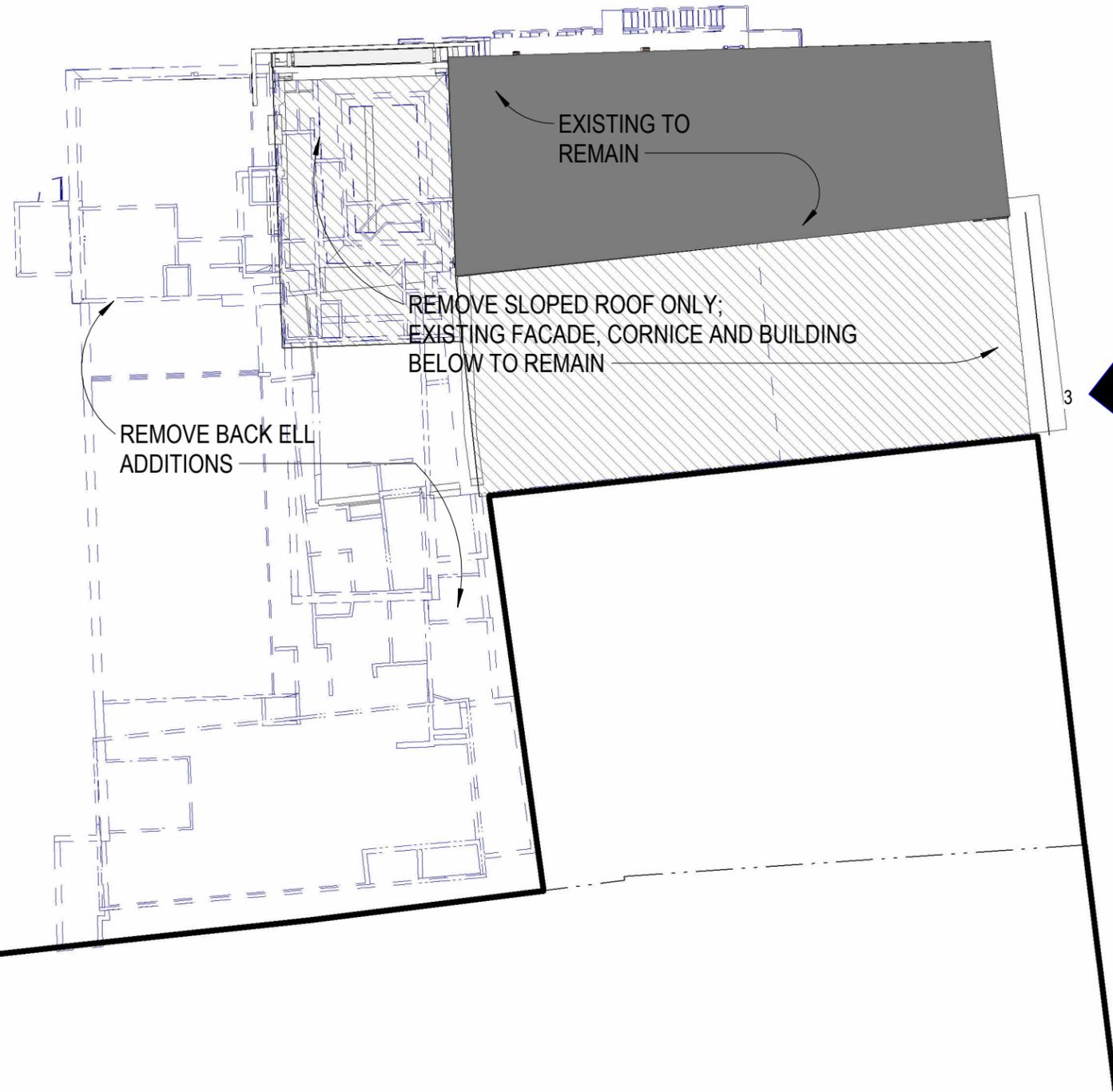
H5.01 COVER
1-15 CONGRESS STREET
SCALE:
10/18/24



H5.12
2

H5.12
1

H5.12
3



H5.11

DEMOLITION PLAN 1 CONGRESS STREET

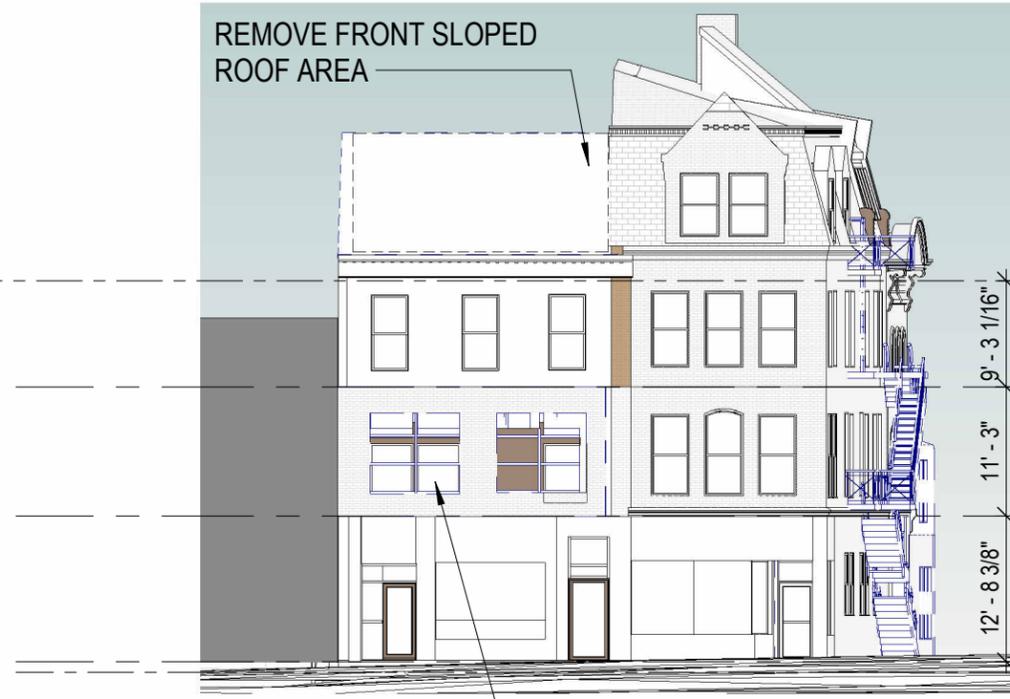
SCALE: 1/16" = 1'-0"
8/03/2022

GRAPHIC SCALE: 1/16" = 1'-0"



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REMOVE FRONT SLOPED ROOF AREA



EXISTING ATTIC
61' - 3 3/4"

EXISTING-Level 3
52' - 0 5/8"

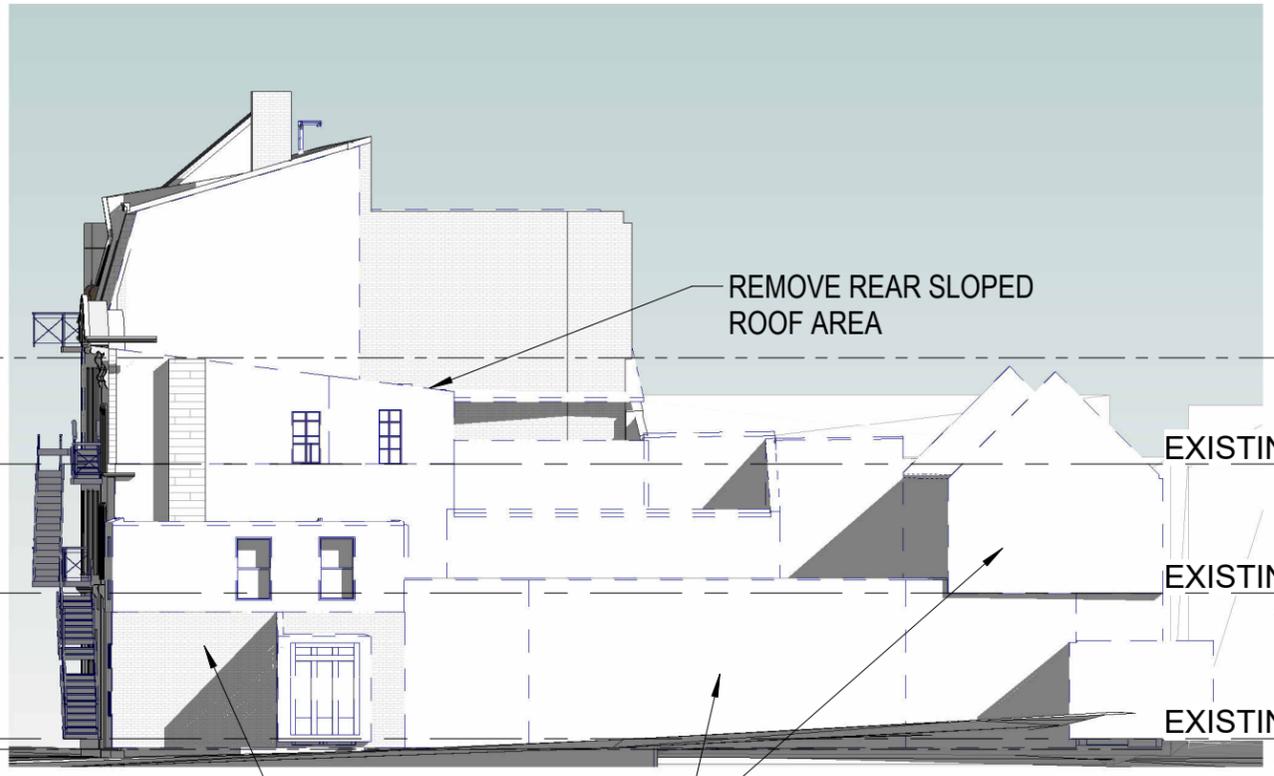
EXISTING-Level 2
40' - 9 5/8"

EXISTING-Level 1
28' - 1 1/4"

AVG GRADE CD5
EXISTING*
27' - 2 1/8"

3 PROPOSED ELEVATION - CONGRESS ST
1/16" = 1'-0"

REMOVE REAR SLOPED ROOF AREA



ATTIC
61' - 3 3/4"

EXISTING-Level 3
52' - 0 5/8"

EXISTING-Level 2
40' - 9 5/8"

EXISTING-Level 1
28' - 1 1/4"

1 REAR DEMOLITION ELEVATION - NW - HAVEN COURT
1/16" = 1'-0"

AVG GRADE CD5
EXISTING*
27' - 2 1/8"

REMOVE REPLACED STOREFRONTS

REMOVE FIRE ESCAPES

REMOVE AREA OF REPLACED STOREFRONT

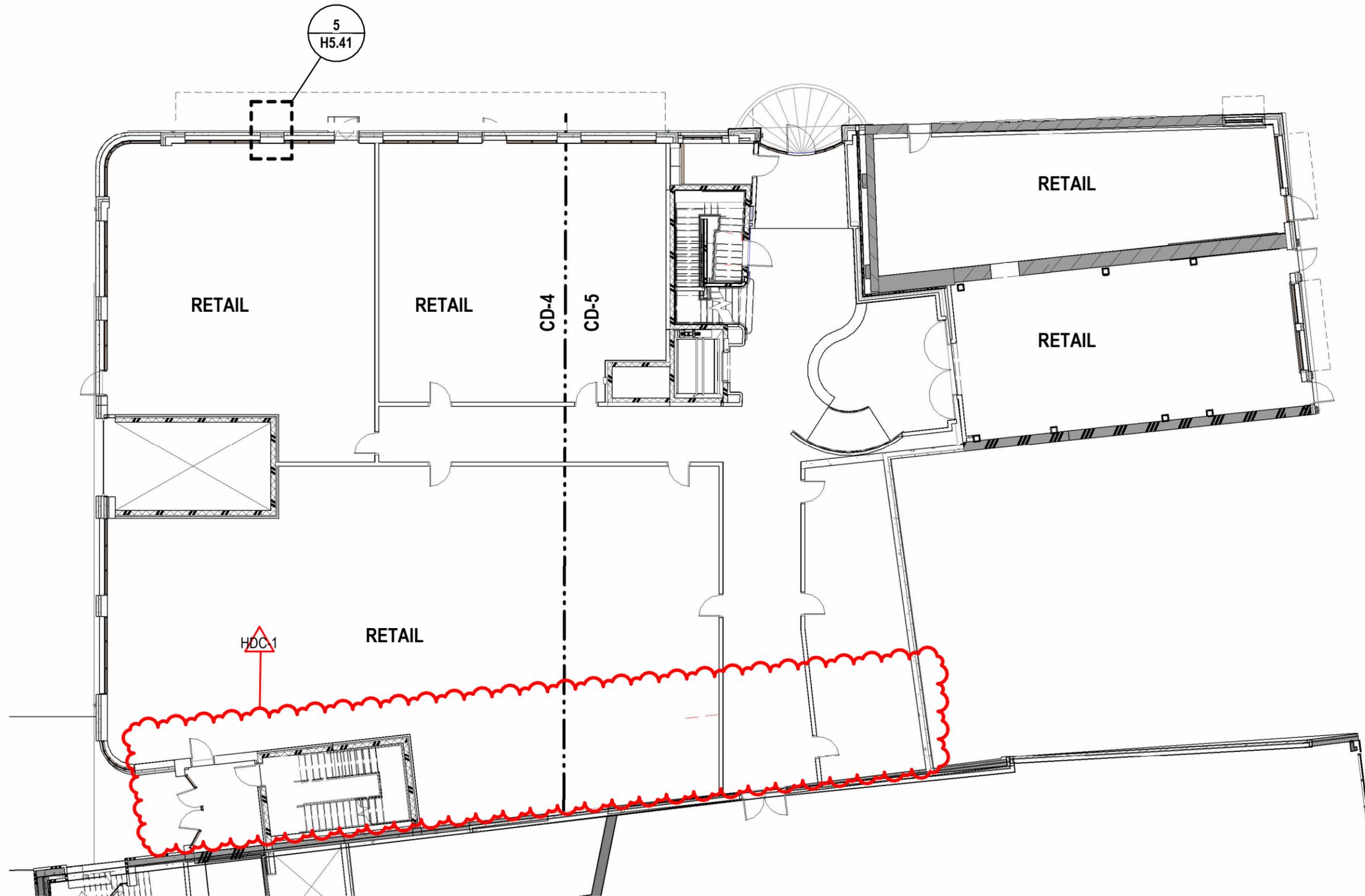
REMOVE REAR ADDITIONS

2 SIDE DEMOLITION ELEVATION - NE - HIGH STREET
1/16" = 1'-0"

H5.12 DEMOLITION ELEVATIONS
1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
8/03/2022





H5.14

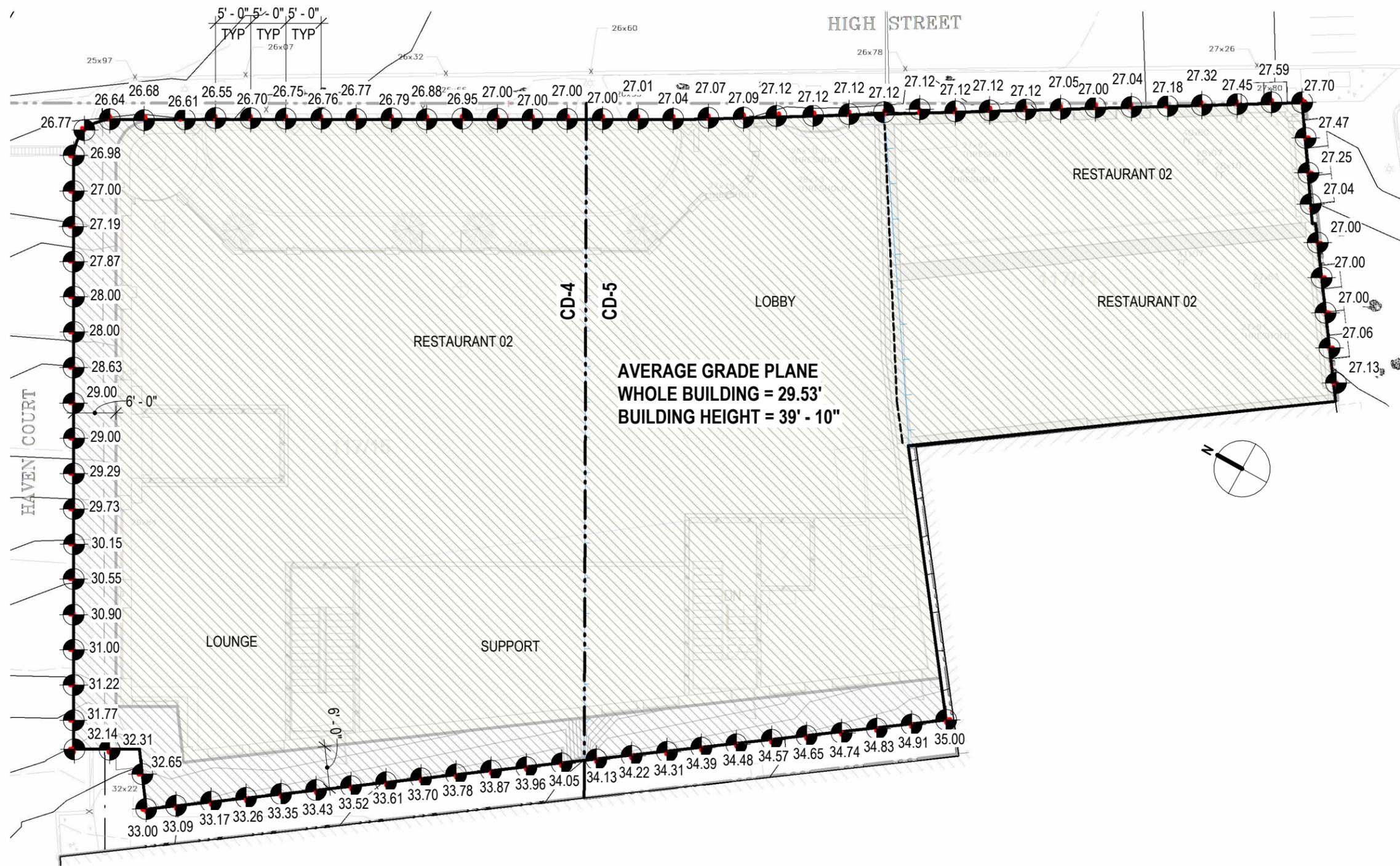
**FIRST FLOOR PLAN
1-15 CONGRESS STREET**

SCALE: 1/16" = 1'-0"
10/18/24

GRAPHIC SCALE: 1/16" = 1'-0"



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**AVERAGE GRADE PLANE
WHOLE BUILDING = 29.53'
BUILDING HEIGHT = 39' - 10"**

Whole Building	Combined CD4 & CD5; existing & new - Average Grade Plane
Congress Street	27.13
	27.06
	27.00
	27.00
	27.04
	27.25
	27.47
	27.70
	27.13
	27.06
High Street	27.59
	27.45
	27.32
	27.18
	27.04
	27.00
	27.05
	27.12
	27.12
	27.12
	27.12
	27.12
	27.12
	27.12
	27.09
	27.07
	27.04
27.01	
27.00	
27.00	
27.00	
27.00	
26.95	
26.88	
26.79	
26.77	
26.76	
26.75	
26.70	
26.68	
26.64	
26.77	
26.98	
27.00	
27.19	
27.87	
28.00	
28.00	
28.63	
29.00	
29.00	
29.29	
29.73	
30.15	
30.55	
30.90	
31.00	
31.22	
31.77	
32.14	
32.31	
32.65	
33.00	
33.09	
33.17	
33.26	
33.35	
33.43	
33.52	
33.61	
33.70	
33.78	
33.87	
33.96	
34.05	
34.13	
34.22	
34.31	
34.39	
34.48	
34.57	
34.65	
34.74	
34.83	
34.91	
35.00	
27.47	
27.25	
27.04	
27.00	
27.00	
27.00	
27.06	
27.13	
27.70	
27.59	
27.45	
27.32	
27.18	
27.04	
27.00	
27.05	
27.12	
27.12	
27.12	
27.12	
27.12	
27.12	
27.12	
27.09	
27.07	
27.04	
27.01	
27.00	
27.00	
27.00	
27.00	
26.95	
26.88	
26.79	
26.77	
26.76	
26.75	
26.70	
26.55	
26.61	
26.68	
26.64	
26.77	

AVERAGE GRADE PLANE CALCULATION

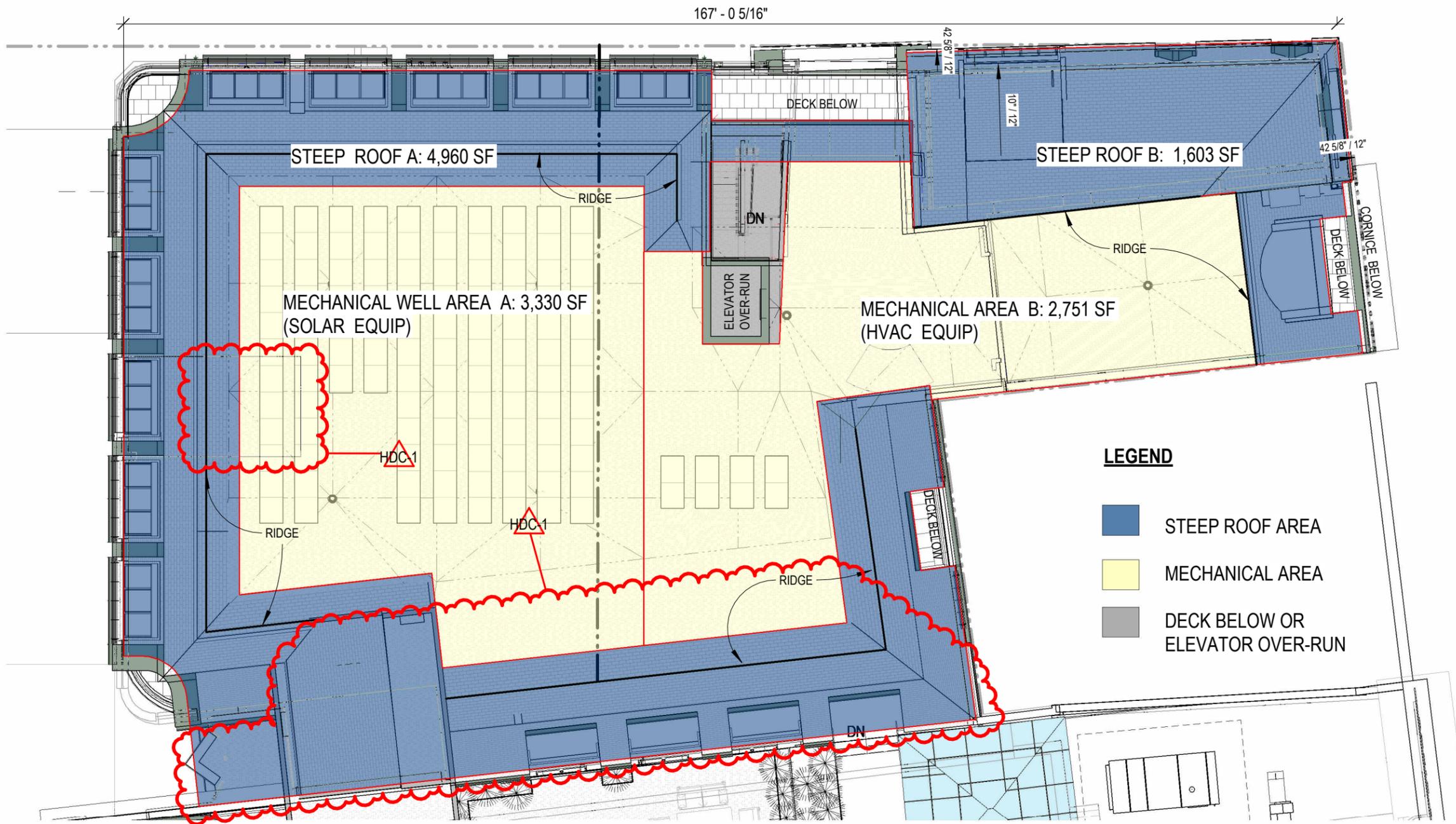
Haven Court	26.98
	27.00
	27.19
	27.87
	28.00
	28.63
	29.00
	29.00
	29.29
	29.73
30.15	
Rear-West Alley	30.55
	30.90
	31.00
	31.22
	31.77
	32.14
	32.31
	32.65
	33.00
	33.09
	33.17
	33.26
	33.35
	33.43
	33.52
	33.61
	33.70
33.78	
33.87	
33.96	
34.05	
34.13	
34.22	
34.31	
34.39	
34.48	
34.57	
34.65	
34.74	
34.83	
34.91	
35.00	
Average - CD4 & CD5 combined	29.53

1 AVERAGE GRADE PLANE CALCULATION PLAN
1/16" = 1'-0"

**H5.16 AVERAGE GRADE PLANE
1 CONGRESS STREET**

SCALE: 1/16" = 1'-0"
8/03/2022





1 Congress Street	
SLOPED ROOF AREAS	10/18/2024
STEEP ROOF AREA A	4,960
STEEP ROOF AREA B	1,603
Total	6,563
MECHANICAL AREA A	3,330
MECHANICAL AREA B	2,751
Total	6,081
TOTAL ROOF AREA	12,644
Slope roof % of total	51.91%
Flat roof % of total	48.09%



GRAPHIC SCALE: 1/16" = 1'-0"

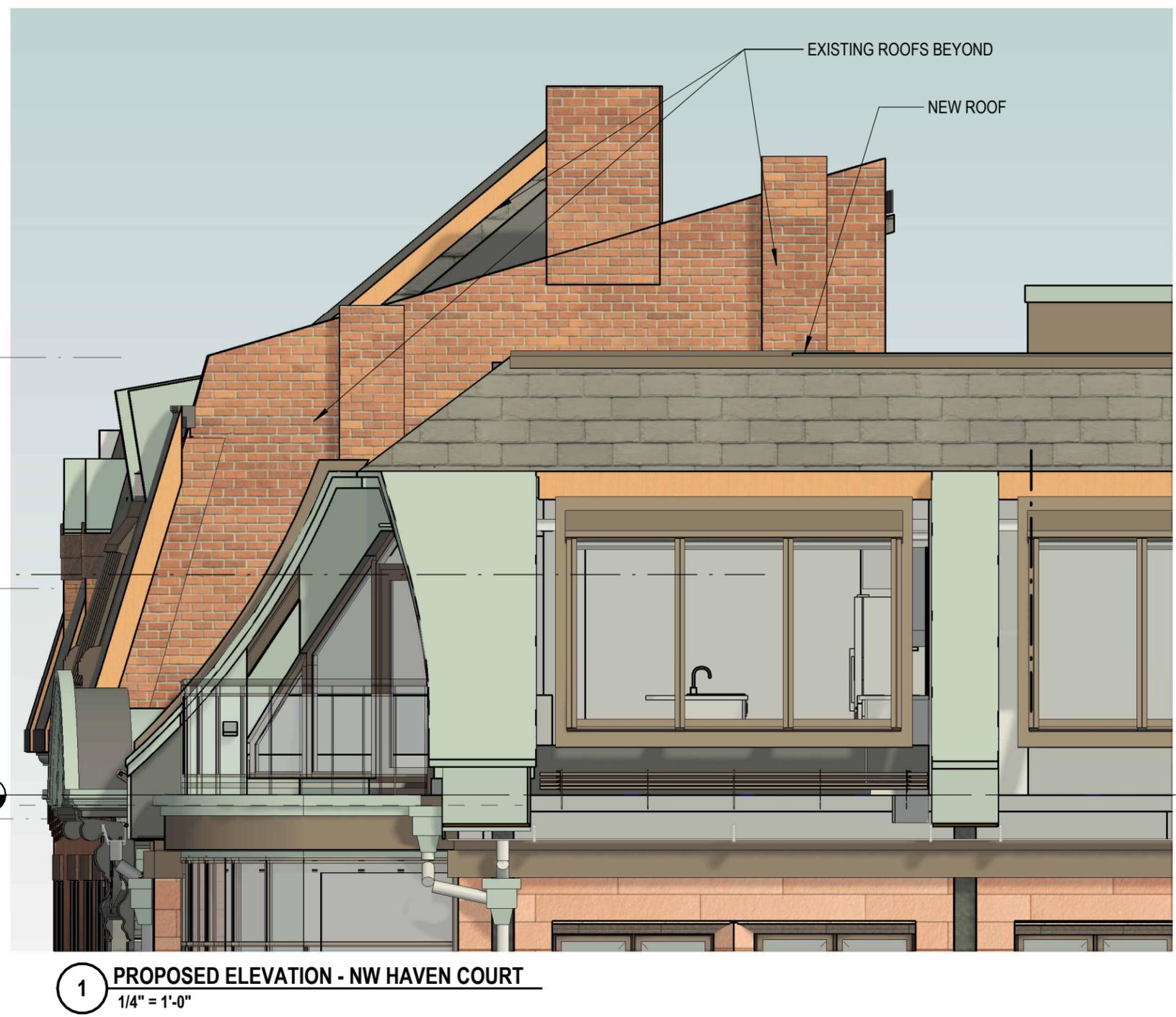
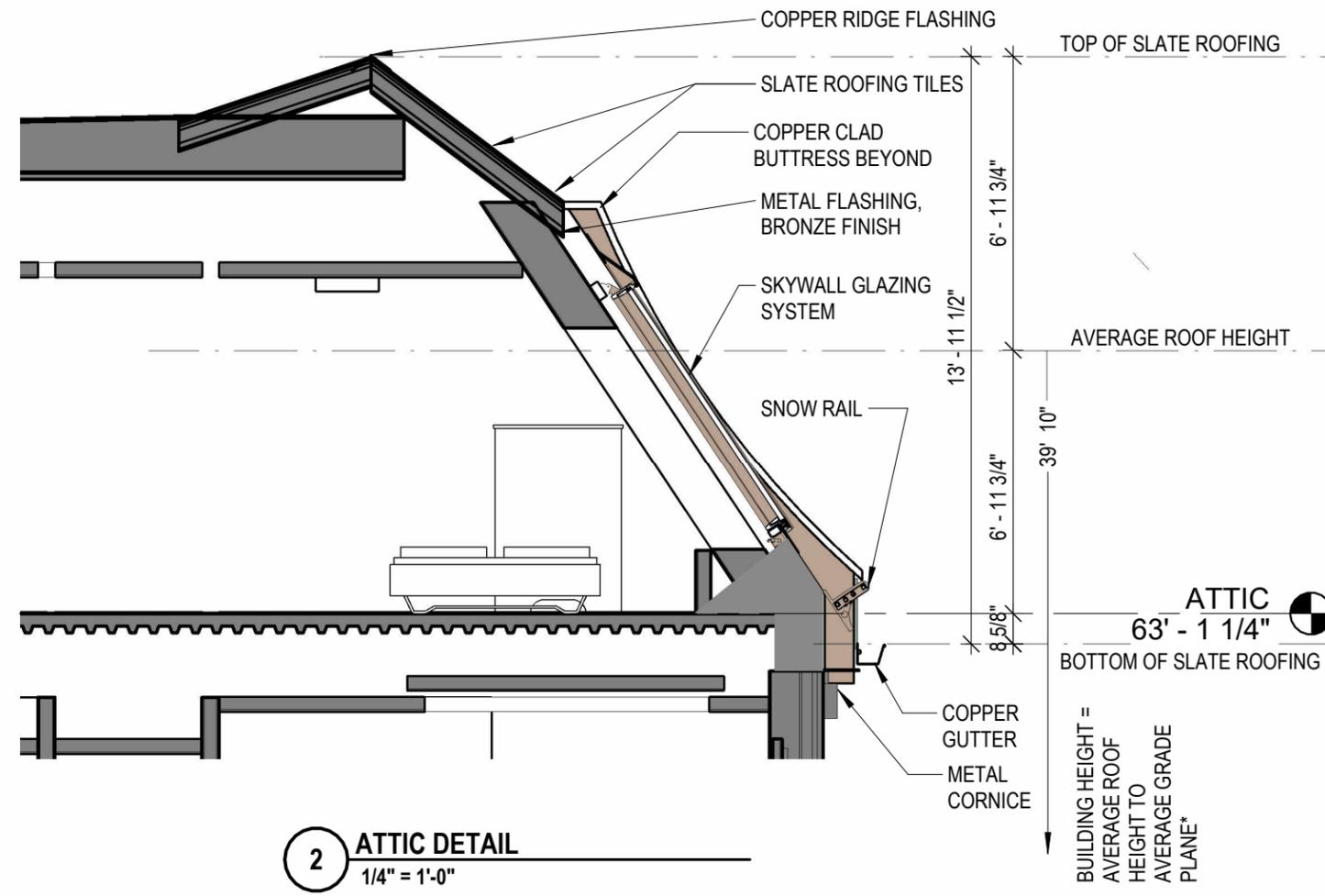


H5.17 ROOF AREA CALCULATIONS
1-15 CONGRESS STREET

SCALE: 1/16" = 1'-0"
10/18/24



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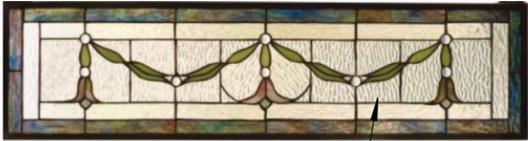
H5.20 **ROOF HEIGHT DETAIL - HAVEN CT**
1-15 CONGRESS STREET
 SCALE: 1/4" = 1'-0"
 10/18/24

* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16





1 PROPOSED ELEVATION - CONGRESS STREET
3/32" = 1'-0"



- RESTORE & RECREATE ORIGINAL GRANITE AND CAST IRON STOREFRONT
- REPLICATE EARLY 20TH CENTURY STAINED GLASS TRANSOMS
- REPLICATE HISTORIC PEDIMENTS
- REPLICATE ORIGINAL CAST IRON STOREFRONT THIS SIDE

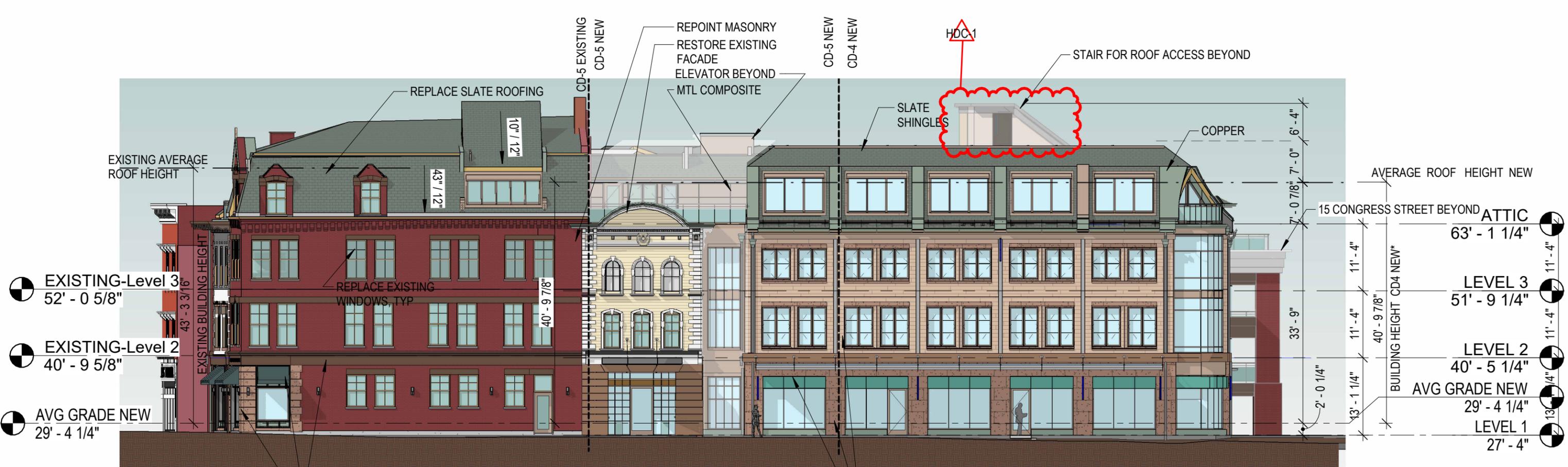
NEW CANVAS AWNINGS

H5.21 ELEVATION - CONGRESS STREET
1-15 CONGRESS STREET

SCALE: As indicated
10/18/24

2 PROPOSED ELEVATION - CONGRESS STREET
1/8" = 1'-0"

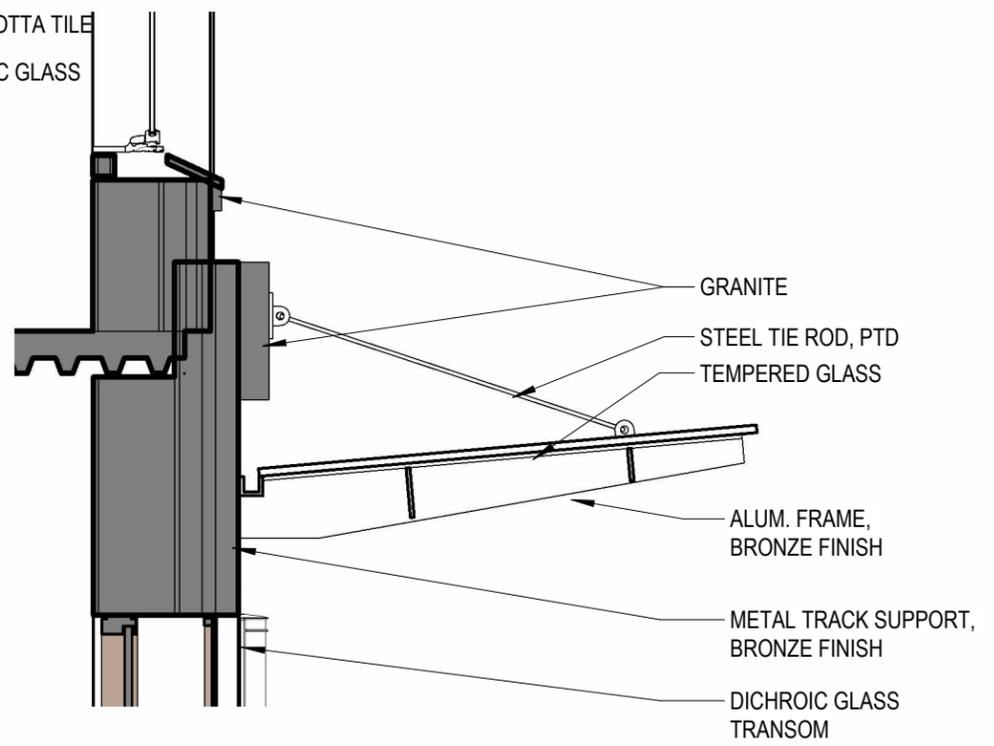




1 PROPOSED ELEVATION - NE - HIGH STREET
 1/16" = 1'-0"



2 PROPOSED ELEVATION - NE - HIGH STREET
 1/8" = 1'-0"



3 HDC AWNING DETAIL
 1/2" = 1'-0"

H5.22 ELEVATION - HIGH STREET
1-15 CONGRESS STREET

SCALE: As indicated
 10/18/24



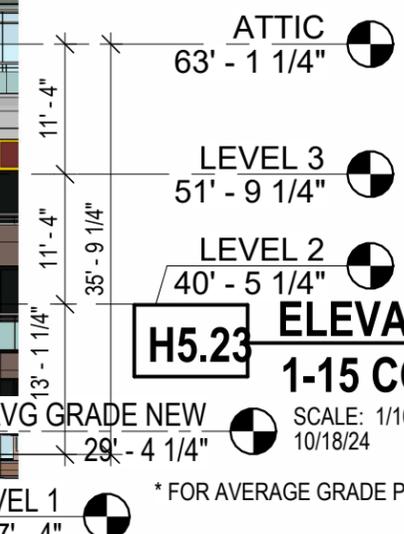
2 NORTH ELEVATION - HIGH STREET & HAVEN COURT (OBLIQUE)
 1/16" = 1'-0"



HIGH STREET

1 PROPOSED ELEVATION - NW HAVEN COURT
 1/16" = 1'-0"

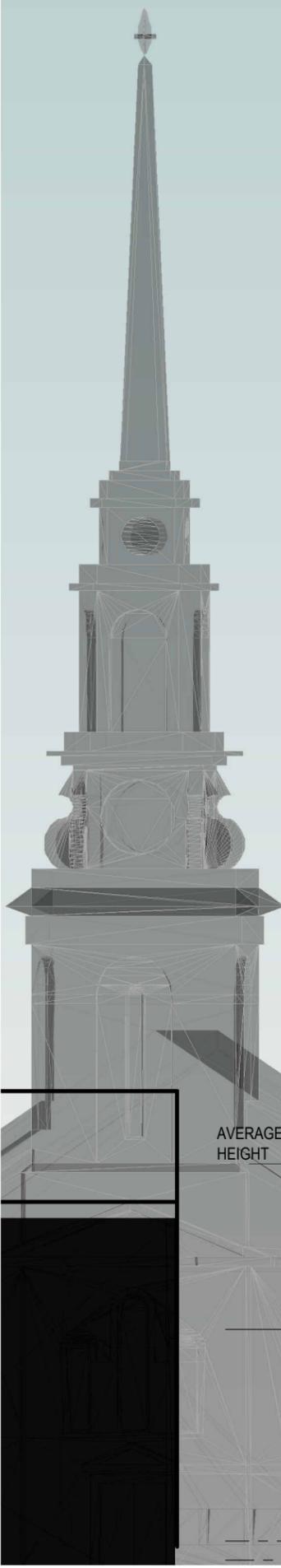
15 CONGRESS STREET



H5.23 ELEVATIONS - HAVEN COURT
1-15 CONGRESS STREET

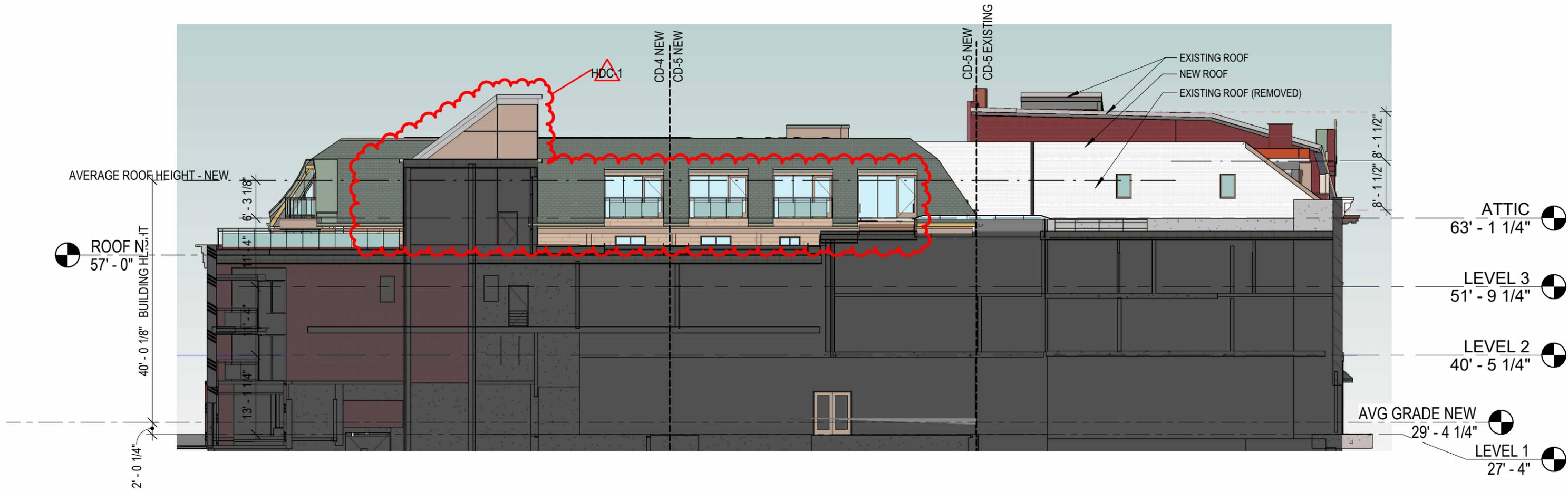
SCALE: 1/16" = 1'-0"
 10/18/24

* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16



AVERAGE ROOF HEIGHT

40' - 0 1/8" BUILDING HEIGHT CD4 NEW*
 6' - 3 1/8"
 8 3/4"
 33' - 0 3/8"
 2' - 0 1/4"



H5.24 SW ELEVATION - REAR ALLEY
1-15 CONGRESS STREET

SCALE: 1/16" = 1'-0"
 10/18/24



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H5.32

VIGNETTE - CONGRESS STREET
1 CONGRESS STREET

SCALE:
8/03/2022



**H5.33 VIGNETTES - HIGH FROM CONGRESS
1 CONGRESS STREET**

SCALE:
10/14/2022



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H5.34 **HIGH STREET FROM STARBUCKS**
1 CONGRESS STREET

SCALE:
10/14/2022



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**H5.35. VIGNETTE - HAVEN CT FROM LADD ST
1-15 CONGRESS STREET**

SCALE:
10/18/24



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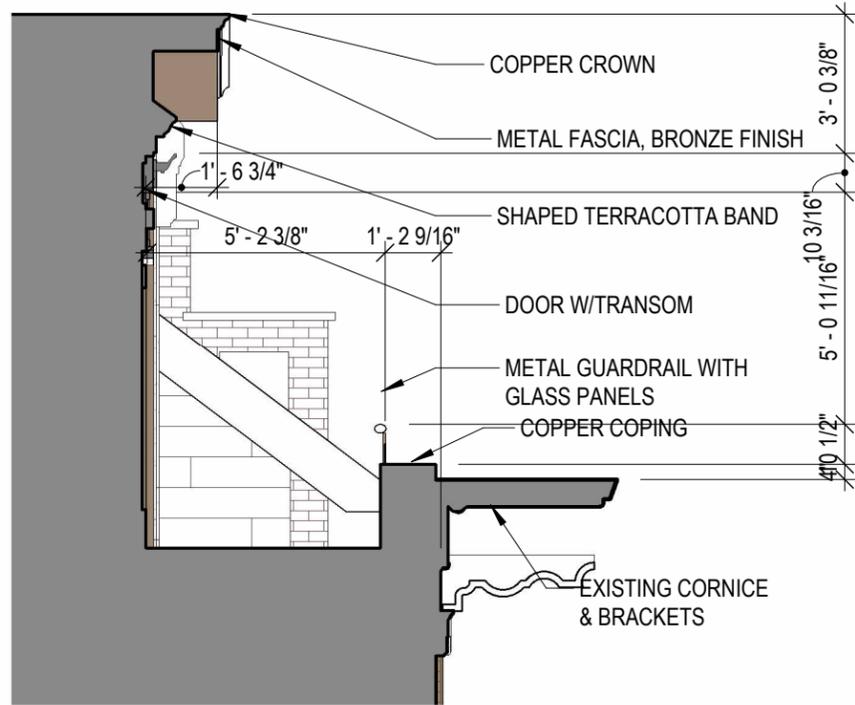
H5.36

VIGNETTE - HIGH AT LADD & HAVEN
1-15 CONGRESS STREET

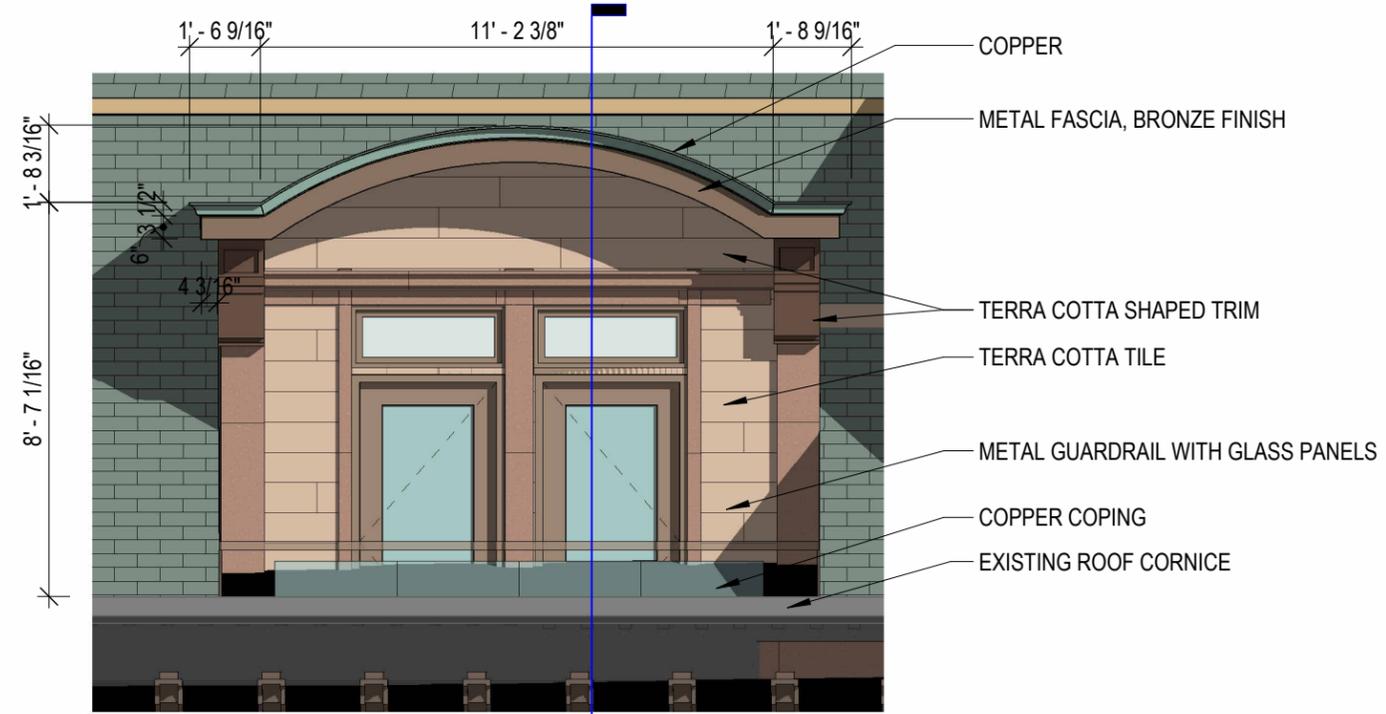
SCALE:
10/18/24



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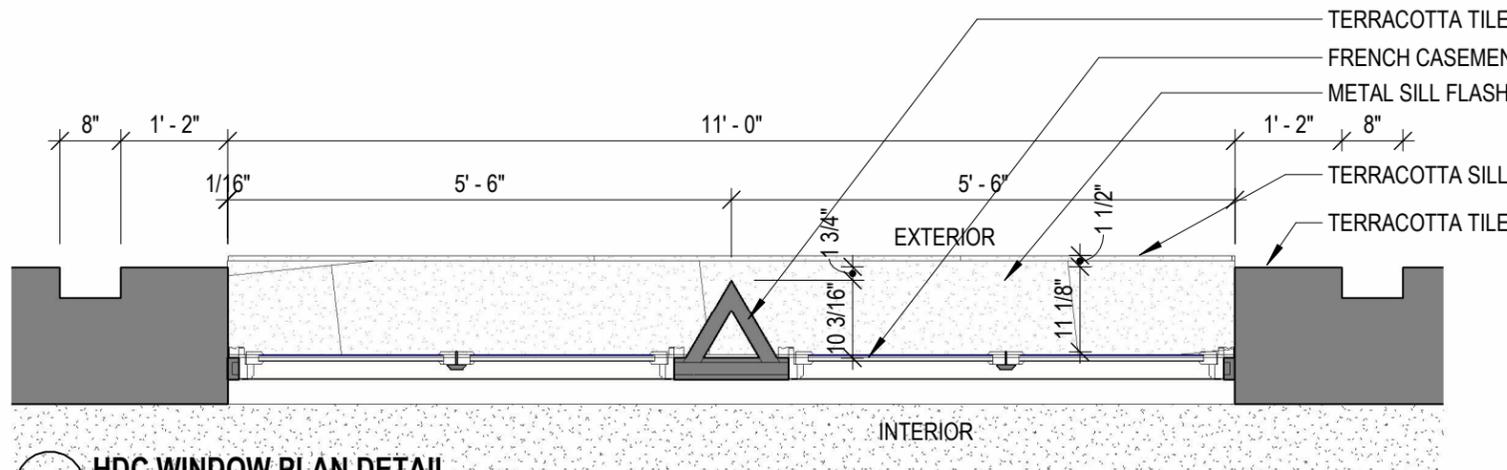
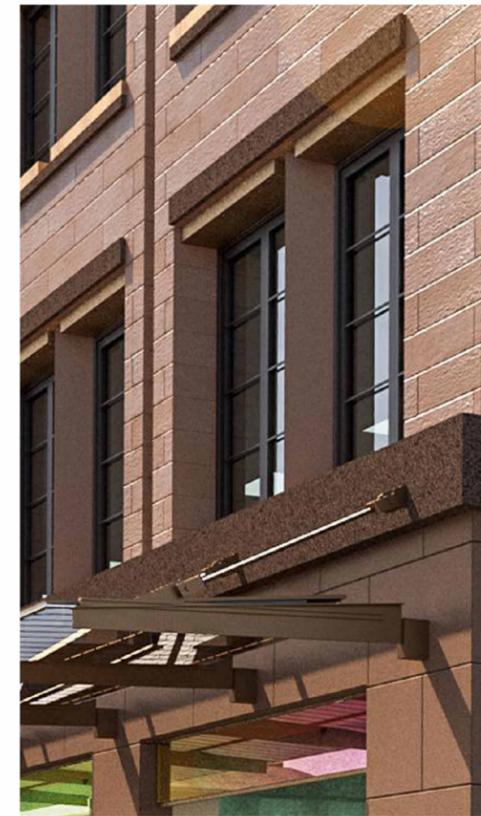


2 HDC DORMER SECTION
1/4" = 1'-0"

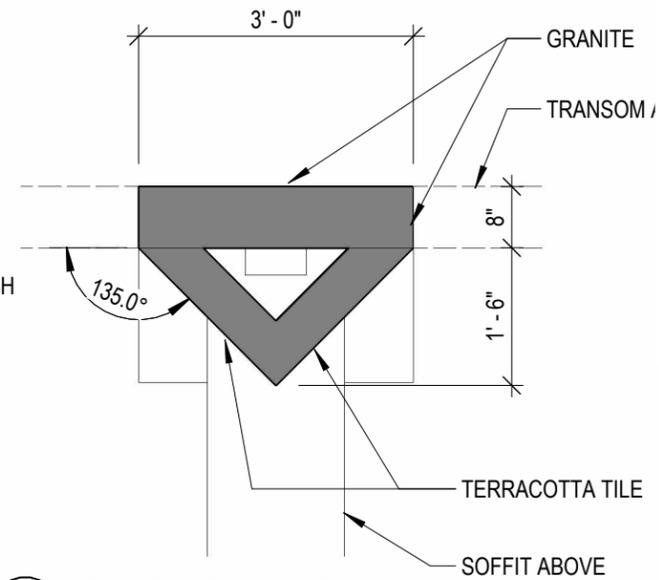


1 HDC DORMER ELEVATION
1/4" = 1'-0"

2
H5.41



4 HDC WINDOW PLAN DETAIL
1/2" = 1'-0"



5 HDC ARCADE PIER DETAIL
1/2" = 1'-0"

H5.41 **DETAILS**
1 CONGRESS STREET
SCALE: As indicated
8/03/2022



Pella® Architect Series®

Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.

Double-Hung Interior



Double-Hung Exterior



- Designed with distinguished details**
 Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.
- Enhanced style options and custom capabilities**
 Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.
- Authentic look of true divided light**
 Pella's Integral Light Technology® grilles use a metal spacer to create the authentic look of true divided light by casting a more realistic shadow.
- Interior finish options**
 From light to dark, Architect Series - Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Pine interiors are available in a variety of paint and stain colors.
- Beautiful hardware**
 Choose from Pella's collection of rich patinas and other timeless finishes.
- Optional integrated security sensors**
 Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- ENERGY STAR® certified¹**
 Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series - Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2022.²
- Long-lasting durability**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- Best limited lifetime warranty³**
 Pella Architect Series - Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



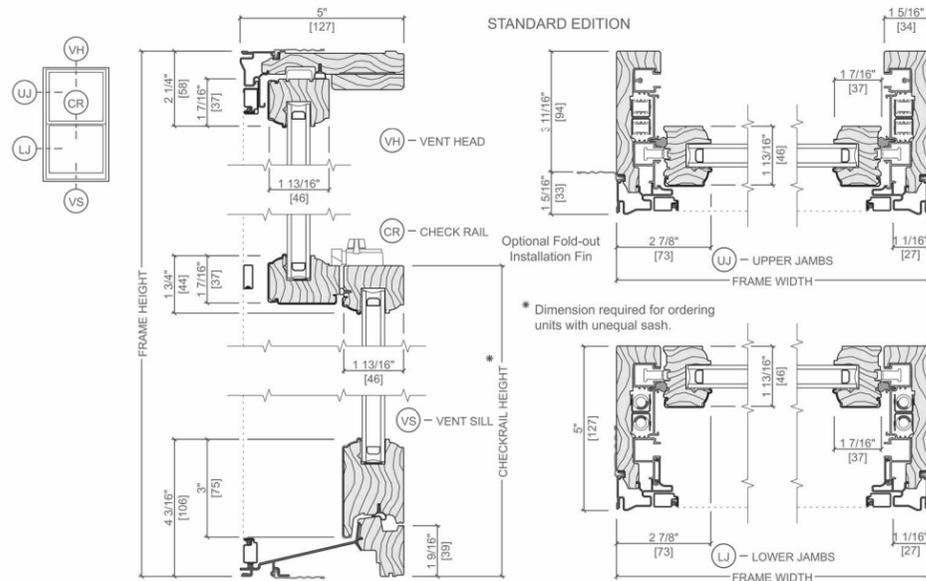
Special shape windows also available.

¹ See back cover for disclosures.



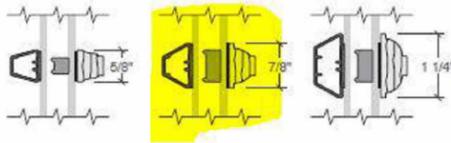
Architect Series® Traditional Hung Window

SE Unit Sections - Aluminum-Clad Ogee Exterior Glazing Profile

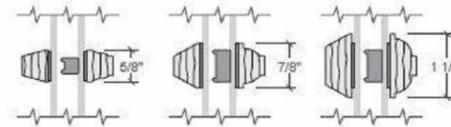


Integral Light Technology®

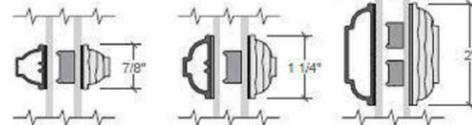
Putty and Ogee Glaze Grilles
Clad Exterior - Wood Interior



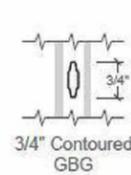
Putty and Ogee Glaze Grilles
Wood Exterior - Wood Interior



Ogee Glaze Grilles
Clad Exterior - Wood Interior



Contoured Aluminum -
Grilles-Between-the-Glass



Colors

Wood Types

Wood species for complementing your project's interior.



Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁸

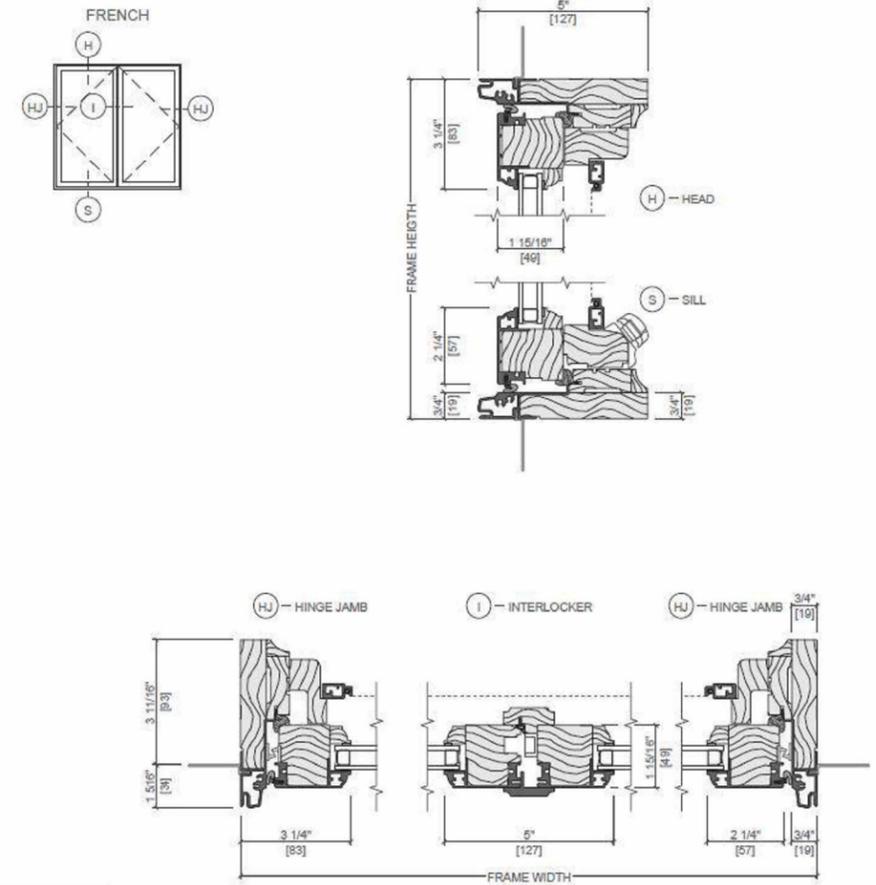


Custom colors are also available.



Pella® Reserve™ Out-Swing French Casement Window

Unit Sections - Aluminum-Clad Exterior



H5.50 MATERIALS - WINDOWS
1 CONGRESS STREET

SCALE:
8/03/2022



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Northlight 25-90°

Similar to Longlights, Northlights are bands of VELUX Modular Skylights. The characteristic upright design is primarily for installations that are directed towards the northern hemisphere for soft and reflected lighting. Northlight installations are applicable for a pitch of 25 to 90°.

At the bottom, Northlights are mounted on a standard steel profile, 100 mm wide (not a VELUX component) and fixed with clamps holding the skylight in place. At the top, the brackets are fixed to the sub-construction with screws meant for wood.

The prefabricated modular flashing ensures easy integration in the roof surface. All flashings are easily installed. The roof surface underneath the flashing must be appropriate for screw fixation.

Please observe a max. 10 m wall height above skylight module, when installed in a sloped roof. Take notice that the top flashing changes in size above and below 54°, see sectional drawing page 59.



Download
CAD & BIM
objects

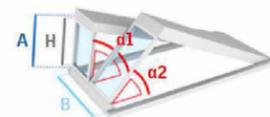
Sub-construction for
Northlight at:
veluxcommercial.com



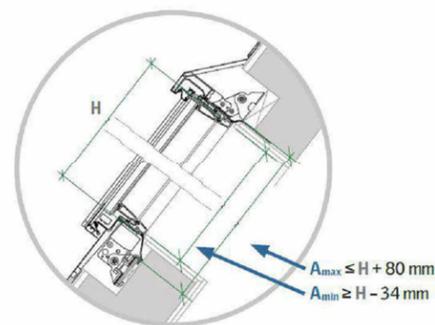
Defining module size to your project

Example:
 $\alpha 1$: $H = 1600$ mm at an installation pitch of 50°

$A_{max} = 1680$ mm
 $A_{min} = 1566$ mm



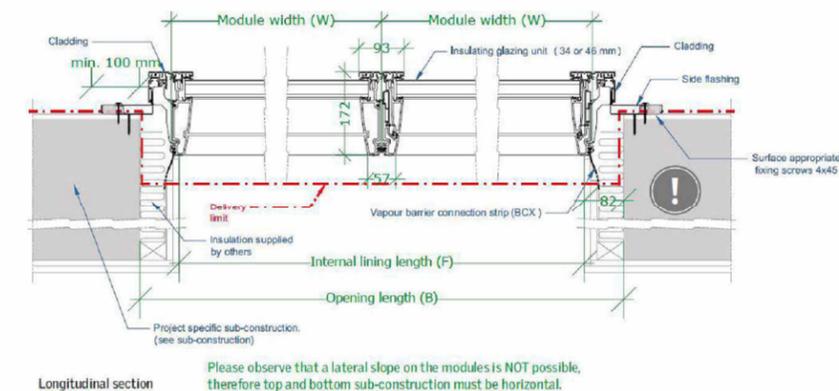
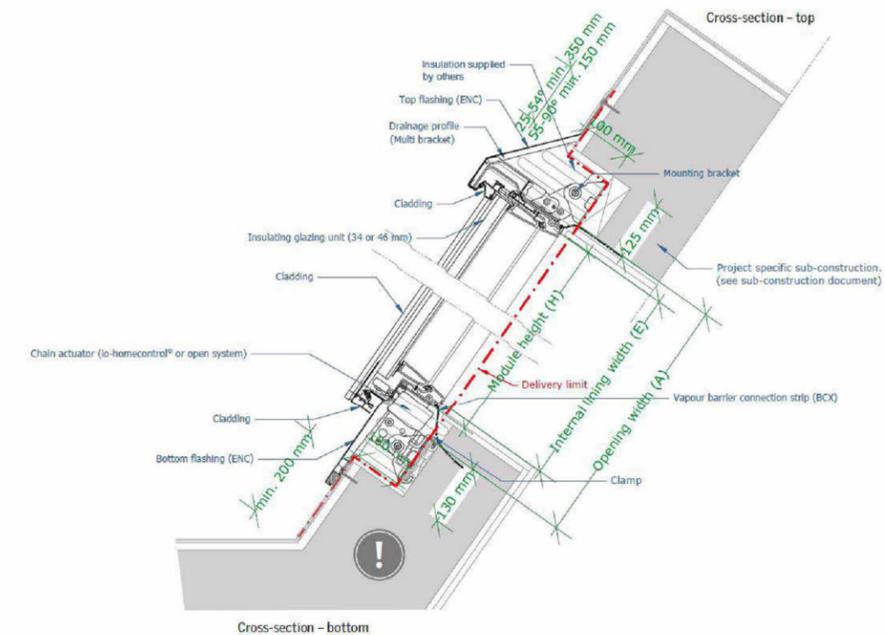
H: Module height
 α : Installation pitch
A: Opening width
L: Opening length



58 --- Not available as venting modules as default.

ROOF WINDOWS - VELUX "NORTHLIGHT"

Sectional drawings



Please observe that a lateral slope on the modules is NOT possible, therefore top and bottom sub-construction must be horizontal.

VELUX Commercial 59

H5.51

MATERIALS - FENESTRATION
1 CONGRESS STREET

SCALE:
8/03/2022



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STOREFRONTS

WINDOWS • CURTAIN WALLS • ENTRANCES • STOREFRONTS

Series 403X
2" x 4 1/2" Thermal Storefront Framing

CONFIGURATIONS
Shear Block • Screw Spline
This innovative flush glaze storefront framing system utilizes a dual pour and debridge thermal barrier that provides outstanding energy efficiency. Available in either shearblock or screw spline construction, the 403X Series can be used in conjunction with virtually all EFCO entrance systems and V410 vents. A variety of options are available for use with this system, including sunshade mullions and variable sight line horizontals. Steel reinforcement is also available to enhance structural capability.

Features	Benefits
Dual pocket thermal barrier framing	Enhanced thermal performance and reduced energy cost
Screw spline or shearblock construction	Decreases installation labor and cost
The optional Roto-Vent™ ventilator	Allows fresh air into the room, yet maintains security
2-way (90° and 135°) and 3-way corner mullions	Multifaceted elevations for design flexibility
0°-15° and 15°-30° variable mullions	Increased design flexibility
Accommodates up to 1 1/16" glazing	Expands design and energy savings options
Uniform glazing gasket is used for exterior and interior	Allows optimized use of gasket and reduces inventory
Various height intermediate horizontals and sills	Simplifies ordering and installation
Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.	Ability to maintain desired sight line
Anodized or painted finishes available	Increased product versatility
	Multiple options to answer economic and aesthetic concerns

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EFCO COATINGS FINISHES COLORS

ULTRAPON (70% PVDF)

STANDARD	FEATURED
Bone White, White, Antique White, Herring Bone	Ivy, Hardford Green
Mesa Brown, Mineral Brown, Gray, Aged Copper	Blue Sky, Brick Red
Legacy Blue, Denim Blue, Light Brown, Pueblo Tan	Black

ULTRA-ESCENT II (70% PVDF MICA*)

STANDARD	FEATURED
Weathered Copper, Slate, Raw Sierra	Warm Silver, Sea Spray, Asti
Gun Barrel, Seaside Bronze	Champagne, Aztec Gold

ANODIZE

Clear, Champagne, Light Bronze, Medium Bronze, Dark Bronze, Black

* The color samples shown are not the actual paint. These paint colors represent the production colors as closely as possible within the limitations of color-chip reproduction. Additional changes may apply to exotic colors that require a clear topcoat, metallic colors, custom color matches. Color variation is inherent in, and should be expected with Ultra-Escent II paint finishes. Laboratory prepared samples will appear different from production-run material.

STOREFRONT TRANSOMS

3M™ Dichroic Film for Laminated Glass

Compatible with EVA, SentryGlas® or PVB interlayer adhesives. Available in gold-blue or copper-bronze colors.

Flexible

Film can be printed, cut, patterned, bent, or combined with different glass types or interlayer adhesives.

Versatile

Applications include shading fins, balustrades, exterior glass, partition walls, shower doors, artistic glass and furniture.

Gold-Blue Dichroic Film



In Transmission (Shown)

Yellow ▶ Magenta ▶ Blue

In Reflection

Gold (straight) Blue (angle)

Copper-Bronze Dichroic Film



In Transmission (Shown)

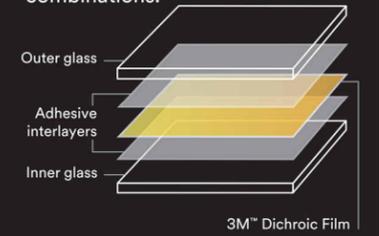
Magenta ▶ Blue ▶ Aqua

In Reflection

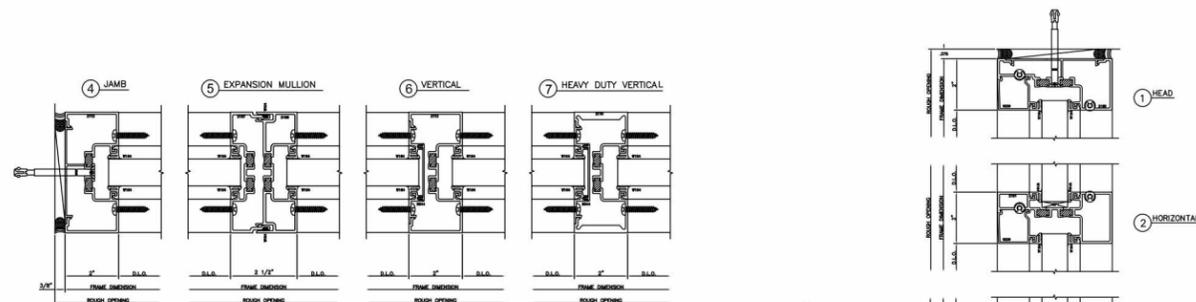
Copper (straight) Bronze (angle)

How is it made?

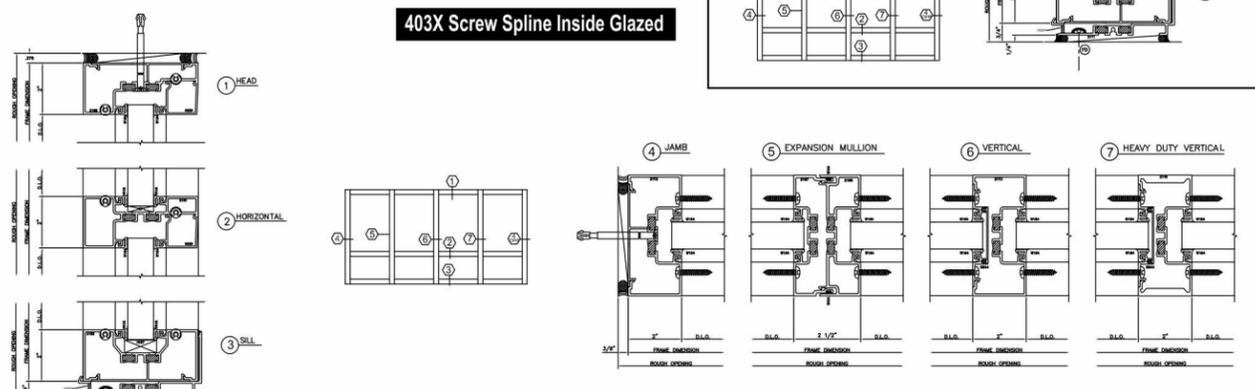
3M™ Dichroic Film is easily laminated between sheets of adhesive interlayers. It's conformable for bent glass applications and works with different glass and PVB combinations.



403X Screw Spline Outside Glazed Stops Down



403X Screw Spline Inside Glazed



Solar performance of clear laminated glass

	Reflection Visible	Transmission Visible	Transmitted Energy	Reflected Energy	Absorbed Energy	TSER	SHGC
Gold-Blue Dichroic Glass	89%	11%	56%	29%	15%	39%	0.61
Copper-Bronze Dichroic Glass	29%	71%	55%	29%	17%	41%	0.59

Make an impression at 3M.com/Glass.

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Renewable Energy Division
3M Center, Building 235-2S-27
St. Paul, MN 55144-1000
3M.com/glass

3M is a
Used in

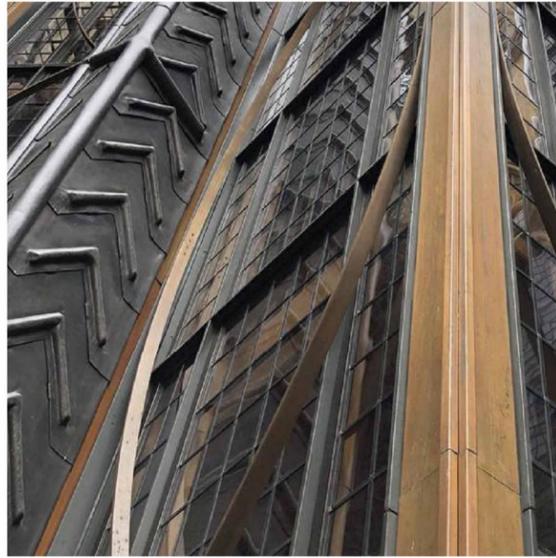


H5.52 MATERIALS - ARCADE FENESTRATION
1 CONGRESS STREET

SCALE:
8/03/2022



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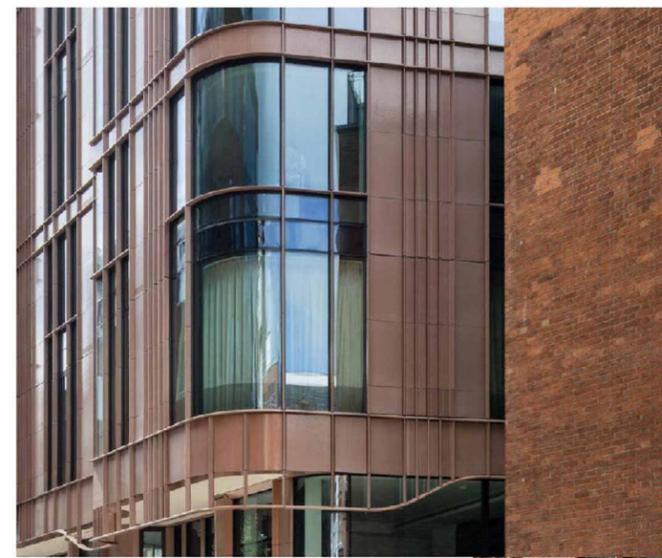


BRONZE FINISH - METAL ACCENTS - WINDOW & DOOR FRAMES, AWNINGS, DORMER LEVEL CLADDING.

Upper walls, cladding

Terra Cotta, glazed tile

TERREAL, PITERAK SLIM



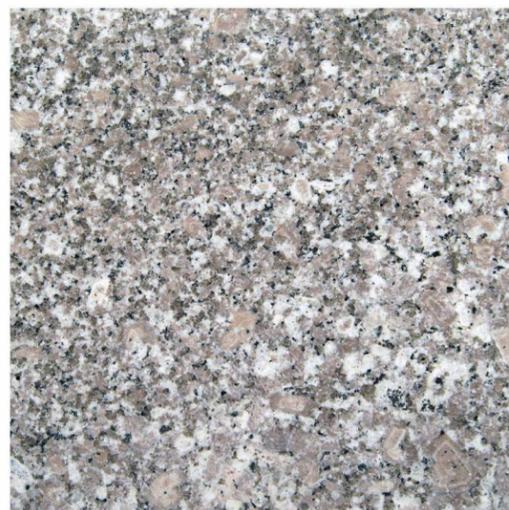
Marylebone Lane Mansion
London

Glaze color: Tea with Milk



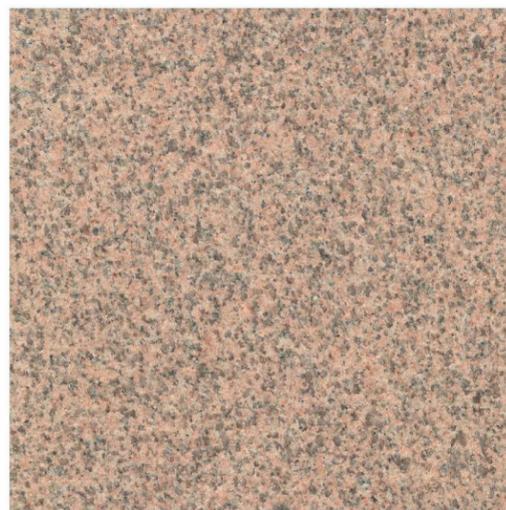
Lower walls, cladding

Granite



Deer Isle

At restored Facades



Carolina Coral

First floor addition, field color



Autumn Pink

First floor addition - accent color



Piterak Slim Terracotta Cladding

H5.53 MATERIALS - CLADDING
1 CONGRESS STREET

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SOFFIT-CEILING

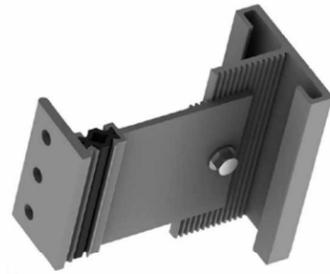


- thermally broken
- made of light weight aluminum
- supports continuous insulation
- creates a rain screen
- response time within 24 hours
- supports other cladding up to 8 lbs per sq ft.
- adjustable for sub-wall misalignment
- health product declarations
- support for specifications + drawings
- built for seismic zones



easy to use	quick delivery
solid warranty	durable finishes

longboardproducts.com



COMPOSITE WALL PANELS (ELEVATOR OVER-RUN AND RECESSED ACCENTS)

ALUCOBOND Products

PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.

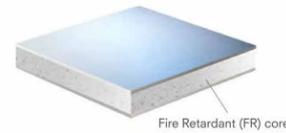
ALUCOBOND® AXCENT™

A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.

ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

- ALUCOBOND EasyFix must be used with:
- ALUCOBOND PLUS
 - ALUCOBOND EasyFix: Clips or Rails



Product Properties

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft ²
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"

Product Properties

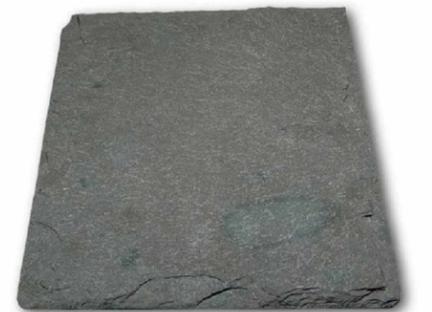
Product thickness	0.040" (nominal)
Weight	0.56 lb/ft ²
Standard width	48"
Standard length	120"

Product Properties

Weight	1.9 lb/ft ²
Weight	1.56 lb/ft ²
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12'

* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.
** Sheets will be fabricated to meet custom panel sizes within product range above.

ROOFING - NATURAL SLATE

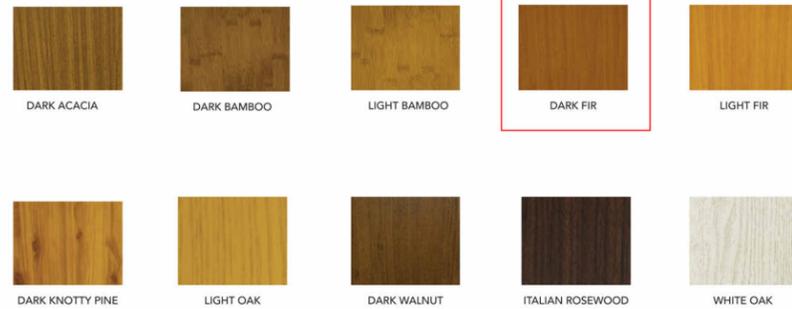


GRAY-GREEN, SEMI-WEATHERING NATURAL SLATE; VERMONT SLATE

WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

CONSISTENT



The Classic Collection



The Classic Collection (continued)



H5.54 MATERIALS - CLADDING
1 CONGRESS STREET

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Design + Performance

Versatility with Unmatched Fabrication Flexibility

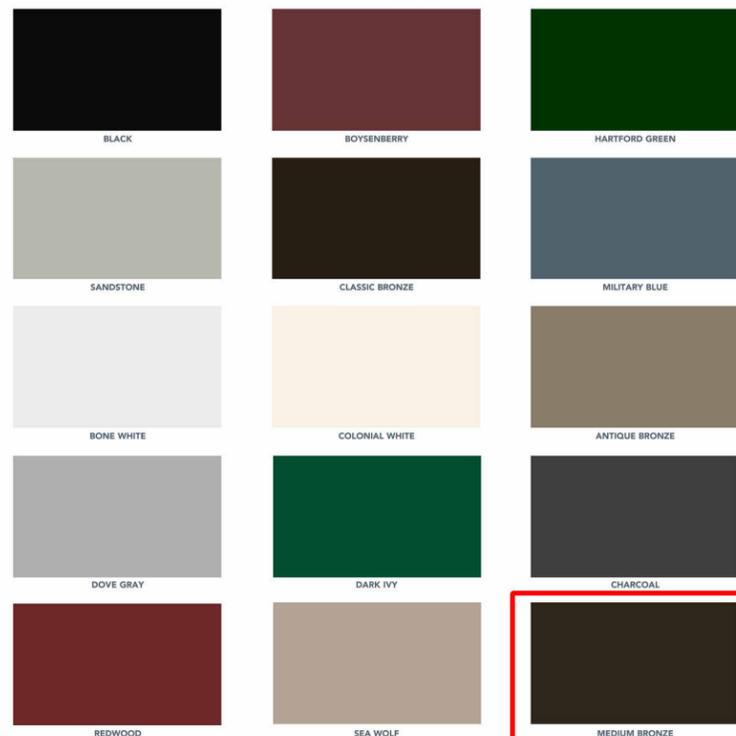


Gensinger Professional Building
Jenkins Township, Pennsylvania
ARCHITECT
Mericle Commercial Real Estate Services
Wilkes-Barre, Pennsylvania
GLAZING CONTRACTOR
Sterling Glass, Inc., Scranton, Pennsylvania
PHOTOGRAPHER
© Parcel Photography Group

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS
Trifab® VersaGlaze® Framing Systems offer front-, center-, back- or multi-plane glass

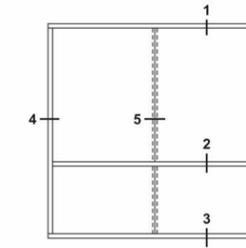
STOREFRONT



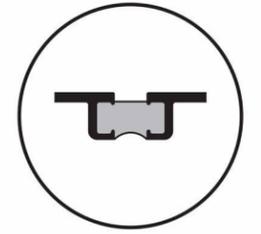
glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be

Additional information and CAD details are available at www.kawneer.com



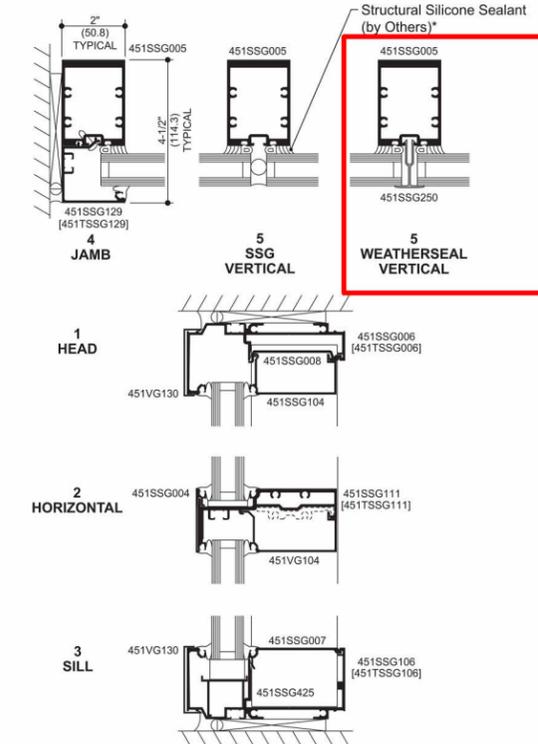
ELEVATION IS NUMBER KEYED TO DETAILS



NUMBERS IN BRACKETS ARE THERMALLY BROKEN MEMBERS

STICK (INSIDE GLAZED) TWO COLOR OPTION

SSG RECEPTOR



* INSTALLER NOTE: Installer is responsible for all required compatibility review and approvals with the Structural Silicone Manufacturer and the Insulating Glass Unit Manufacturer.

H5.55 MATERIALS STOREFRONT & SCONCE
1 CONGRESS STREET

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10/14/2022

