

September 20, 2024

Portsmouth Historic District Commission
1 Junkins Ave, 3rd Floor
Portsmouth, NH 03801

Attention: Portsmouth Historic District Commission

Subject: Administrative Approval Request for 93 State Street

TMS Architects and Interiors is submitting a request for an Administrative Approval to the Portsmouth Historic District Commission on behalf of our client Michael and Debra Anthony. They are the owners of the historic “Kingsbury House” property at located 93 State Street. The property is located within the Historic District and is a “Contributing Building”. The current structure was built in 1815 and is approximately 3,200 SF. The property includes three bedrooms, three full bathrooms and one-half bath. In its past life, the building was part of Strawberry Banke, and a former lawyer’s office. The Carriage House (cottage) was most recently a short-term rental.

Our client has endeavored to partake in a significant renovation of this property. The goals of the project are to preserve the historic architectural heritage, reduce its environmental impact, improve the overall use of interior space by removing unsafe stairs, add an addition on the back side to gain vertical space for a code compliant stair, and connect front ell (brick structure) and carriage house structure. They wish to achieve these goals by requesting the follow items. Please refer to the drawing set for more detailed information.

- Repairing and repointing the existing brick façade where necessary
- Replacing the deteriorating roofing materials, and strengthening the roof structure where necessary
- Replacement of wood gutters with copper gutters
 - Reusing leader head and downspouts
 - Adding where gutters have been removed over time
 - New profile to mimic existing wood gutter shape
- Replacement of chimney on Chapel St driveway side of house

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- Proposed replacement is brick veneer chimney to match existing location, shape, size, and bishop's cap
 - Existing brick from the project will be salvaged and reused
- Replacement of chimney on near Chapel St entry
 - Existing chimney has been deemed unsafe
 - Proposed replacement is a rebuilt chimney to match existing location, shape, size, and bishop's cap
 - Existing brick from the project will be salvaged and reused
- Building rear addition to add dining space, courtyard entrance and covered patio on courtyard size of house
 - Removal of section of existing brick wall to access new addition
 - Proposed addition of windows along courtyard side, and upper wall to complement existing divided lite double hung windows
 - Remove and replace windows on rear side of carriage house to allow for addition to be built
- Bringing the exterior envelope up to current energy code standards
 - Utilizing spray foam insulation, and caulking studs from the interior side to preserve the original exterior brick structure
- Installing new energy efficient aluminum clad wood Lepage windows, paint grade trim, and flashing.
 - New windows to match the existing in size, profile and style.
 - Replace windows at three (3) bedrooms with casement windows to allow for egress requirements. (2) of the windows are located along street facing facades, while the other replacement casement window is facing the rear courtyard.
- Bring back historic style shutters along State Street
- Installing four (5) new exterior wood doors to match the existing style doors
 - Existing frames and doors have light, air and water leaks
- Removal of section of brick wall to build a 165 sf finished space addition to allow for a code compliant stair with access to the front ell (brick structure), and back Carriage House. New space will provide unobstructed viewing of the courtyard. The addition is shielded by a fence, and greenery from the public way.
 - New space will allow for crawl space foundation addition with usable stair to service mechanical equipment below
 - New foundation will also allow stabilization of the existing stone foundation
 - New patio pavers at rear side to tie into existing pavers

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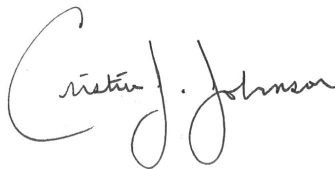
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- Repair brick paver patio along State St. as required to alleviate root damage from tree roots on adjacent property
 - Client to consult with an arborist on best method to work around roots
- Remove one (1) door and two (2) windows from Carriage house alley side (first floor level)
 - Historic photos show these windows were added over time
 - Openings view onto fence on adjacent property
- Close up three (3) window well openings and infill with granite. Install ERV system to allow for fresh air in crawl space
- Upgrades to HVAC systems, and internal ductwork and addition of condenser for rear Carriage House

Please see the enclosed hard copies of our proposed drawings. The full intended page size is 24" x 36" and has been submitted at half actual size on 12"x18" paper. Please reach out to me with any questions you may have, or requests for further information. My email address is cristinaj@tms-architects.com, and my office number is 603-436-4274.

Sincerely,



Cristina Johnson, AIA, NCIDQ
Principal Architect

Anthony Residence Renovation

93 State Street
Portsmouth, NH

Portsmouth Historic District Commission
09/20/2024

Administrative Approval Meeting 10/02/2024

DWG Revision & Issue Index

Rev. No.	Date As Noted	Description
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CONCEPTUAL RENDERING NOTE: NOT FOR CONSTRUCTION USE
CONCEPTUAL RENDERINGS SHOWN ARE FOR GRAPHICAL AND SPATIAL REPRESENTATION ONLY AND DO NOT ALWAYS MATCH THE CURRENT ARCHITECTURAL DRAWINGS AND DETAILS WITHIN THE DRAWING PACKAGE. CONCEPTUAL IMAGES NOT TO BE BUILT FROM. ALL ELEVATIONS, DETAILS, SCHEDULES AND OTHER SHEETS WITHIN THE ARCHITECTURAL DRAWINGS TAKE PRECEDENT. NOTIFY ARCHITECT OF DISCREPANCIES FOR CLARIFICATION.

NOTE:
PRINT IS INTENDED FOR 24"x36"
PAPER. PLEASE USE 24"x36" FORMAT
FOR SCALED DRAWINGS.

Sheet List

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Order
A002	Architectural Site Plan	09/20/2024			4
A003	Project Reference Images	09/20/2024			4
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R901	Exterior Rendering - View from Chapel Street	09/20/2024			5
R902	Exterior Rendering - View from Courtyard	09/20/2024			5
R903	Exterior Rendering - View from State Street towards Chapel	09/20/2024			5



HISTORICAL PHOTO - STATE STREET - CIRCA 1970S

GENERAL NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO HAVE COMPLETE CONTRACT DOCUMENT PACKAGES AS DESCRIBED IN THE "SHEET LIST" AND PROJECT MANUAL "TABLE OF CONTENTS".
- CONTRACTOR REQUIRED TO FOLLOW ALL LOCAL, STATE AND FEDERAL BUILDING AND LIFE SAFETY CODES AS LISTED ON THE "PROJECT CODE REVIEW". THE PROJECT CONTRACT DOCUMENTS ARE PRESUMED TO BE IN COMPLIANCE WITH THESE CODES. DEVIATION FROM THE CONTRACT DOCUMENTS IS PROHIBITED AND THE CONTRACTOR WILL ASSUME ALL LIABILITY FOR SUCH ACTIONS.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT OF RECORD FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- REPETITIVE ELEMENTS MAY NOT BE DRAWN IN THEIR ENTIRETY AT EACH INSTANCE. REFER TO TYPICAL DETAILS AND CONSTRUCT EACH INSTANCE AS IF DRAWN IN FULL.
- THE EXISTING CONDITIONS DESCRIBED WITHIN THE PROJECT DOCUMENTS ARE GRAPHICAL REPRESENTATIONS OF THE CURRENT FIELD CONDITIONS. ACTUAL FIELD CONDITIONS MAY VARY AND ALL CONTRACTORS ARE REQUIRED TO BE FAMILIAR AND VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS OF EXISTING STRUCTURE, BUILDING ELEMENTS AND EQUIPMENT PRIOR TO BEGINNING WORK. ALL DIMENSIONS NOTED ON PLANS ARE TO FACE OF STUD FOR NEW WALLS OR FACE OF FINISH FOR EXISTING WALLS UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS IN ELEVATION, SECTION AND DETAILS ARE FROM TOP OF CONCRETE SLAB/DECK FOR NEW FLOORS OR TOP OF FINISH FLOOR AT EXISTING FLOORS.
- ALL GRADE LINES, BOTH NEW AND EXISTING, SHOWN ON ARCHITECTURAL PLANS ARE APPROXIMATE ONLY. FINAL GRADES TO BE COORDINATED WITH CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO VERIFY ALL ROUGH OPENING REQUIREMENTS WITH ACTUAL PRODUCT SUBMITTALS.
- WALLS WITH UL DESIGN NUMBERS SHALL BE CONSTRUCTED TO UL STANDARDS. PRODUCTS USED SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY THE UL DESIGN.
- DRAWINGS AND SPECIFICATIONS UTILIZE REFERENCES TO INDUSTRY DESIGN, CONSTRUCTION, AND PROCESS STANDARDS BY APPLICABLE TRADE AND MATERIAL ORGANIZATIONS. THESE DOCUMENTS SHALL BE INCORPORATED INTO THE CONTRACT DOCUMENTS BY SUCH REFERENCES. ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO FOLLOW THE STANDARD PRACTICES CONTAINED WITHIN.
- ALL PENETRATIONS OF FIRE RATED CONSTRUCTION ARE REQUIRED TO MEET THE ASSEMBLY RATING REQUIREMENT.
- ALL NON-BEARING METAL STUD WALLS SHALL BE CONSTRUCTED WITH DEFLECTION TRACK AND MINIMUM DEFLECTION DISTANCE OF 3/4" FROM THE STRUCTURE ABOVE IF NOT DETAILED ELSEWHERE.
- SEE STRUCTURAL DRAWINGS FOR SIZES OF STRUCTURAL MEMBERS, DESIGN LOADS AND MINIMUM REQUIREMENTS.
- ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DESIGN/BUILD CONTRACTORS ARE REQUIRED TO SUBMIT A COORDINATION BUILDING INFORMATION MODEL IN A REVIT COMPATIBLE FORMAT PRIOR TO FINALIZING DESIGN AND CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO REVIEW MANUFACTURER OF SUBMITTED PRODUCTS INSTALLATION RECOMMENDATIONS AND COORDINATE WITH DESIGN DETAILS. UNLESS OTHERWISE NOTED OR SPECIFIED, THESE DRAWINGS AND NOTES REPRESENT UTILITIES AND COORDINATION WITHIN THE BUILDING AND TO THE EXTERIOR WITHIN A DISTANCE OF 5'-0" FROM THE EXTERIOR FOOTPRINT OF THE BUILDING. CONTRACTOR TO COORDINATE UTILITY CONNECTIONS AND IS RESPONSIBLE FOR ALL OVERHEAD AND UNDERGROUND UTILITY RUNS AND CONNECTIONS.
 - CONTRACTOR SHALL PERFORM ALL NECESSARY LEAKAGE AND PRESSURIZATION TESTS PRIOR TO ENCLOSING UNDERGROUND PIPING.
 - OVERHEAD UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANY AND LANDSCAPE DRAWINGS FOR POTENTIAL CONFLICTS.

PROJECT TEAM

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Architect
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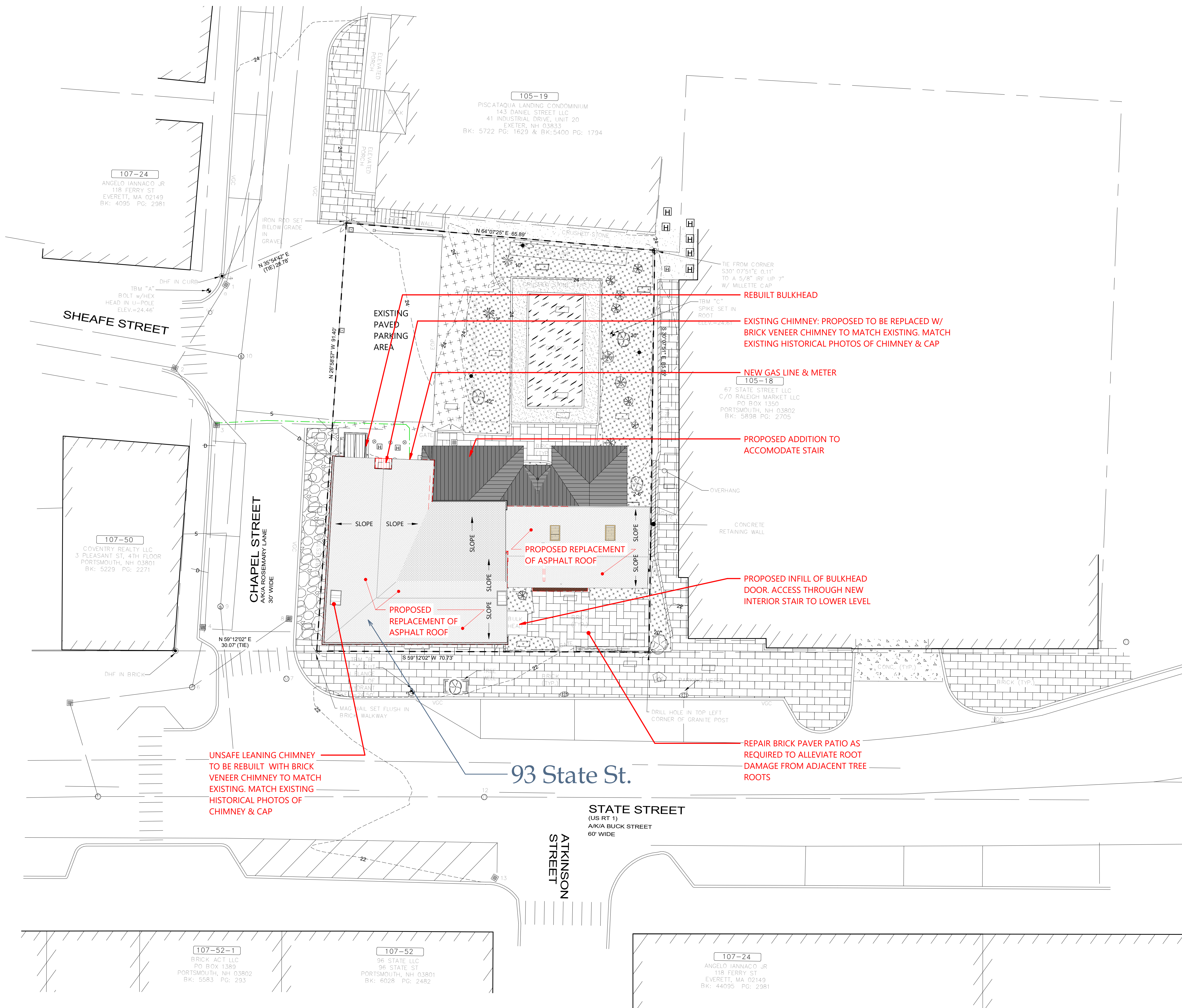
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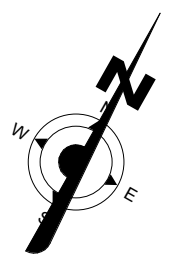
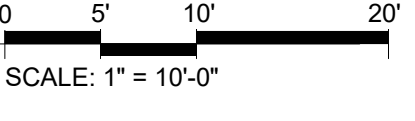
LOCUS MAP





Architectural Site Plan

1" = 10'-0"



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GENERAL CONTRACTOR
NE CORNERSTONE

STRUCTURAL ENGINEER
JSN

CIVIL ENGINEER
JVA
JAMES VERRA & ASSOCIATES, INC.

LANDSCAPE ARCHITECT

MECHANICAL ENGINEER

Revision & Reissue Notes

Rev # Date Description

Rev #	Date	Description

STAMPS

Portsmouth Historic District Commission

PROJECT NUMBER
24-023

Anthony Residence Renovation
93 State Street
Portsmouth, NH

Architectural Site Plan

A002

DR: DES SHEET SCALE SHEET DATE
CH: CJJ 1" = 10'-0" 09/20/2024

PLOT DATE: 9/20/2024 11:18:13 AM

Autodesk Docs\Anthony Residence Renovation\Anthony Renovation - Current.rvt

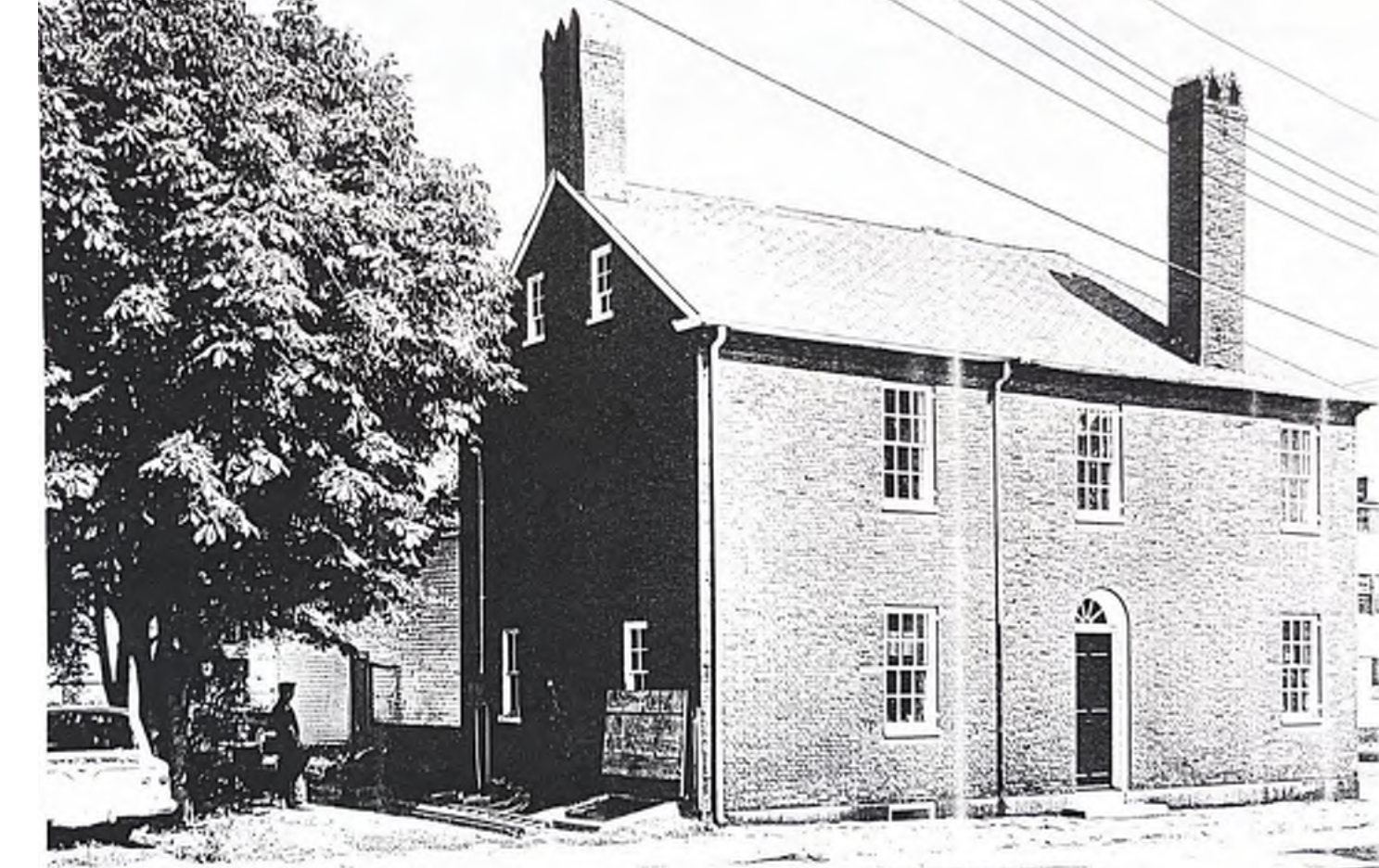
HISTORIC PHOTO OF 93 STATE STREET



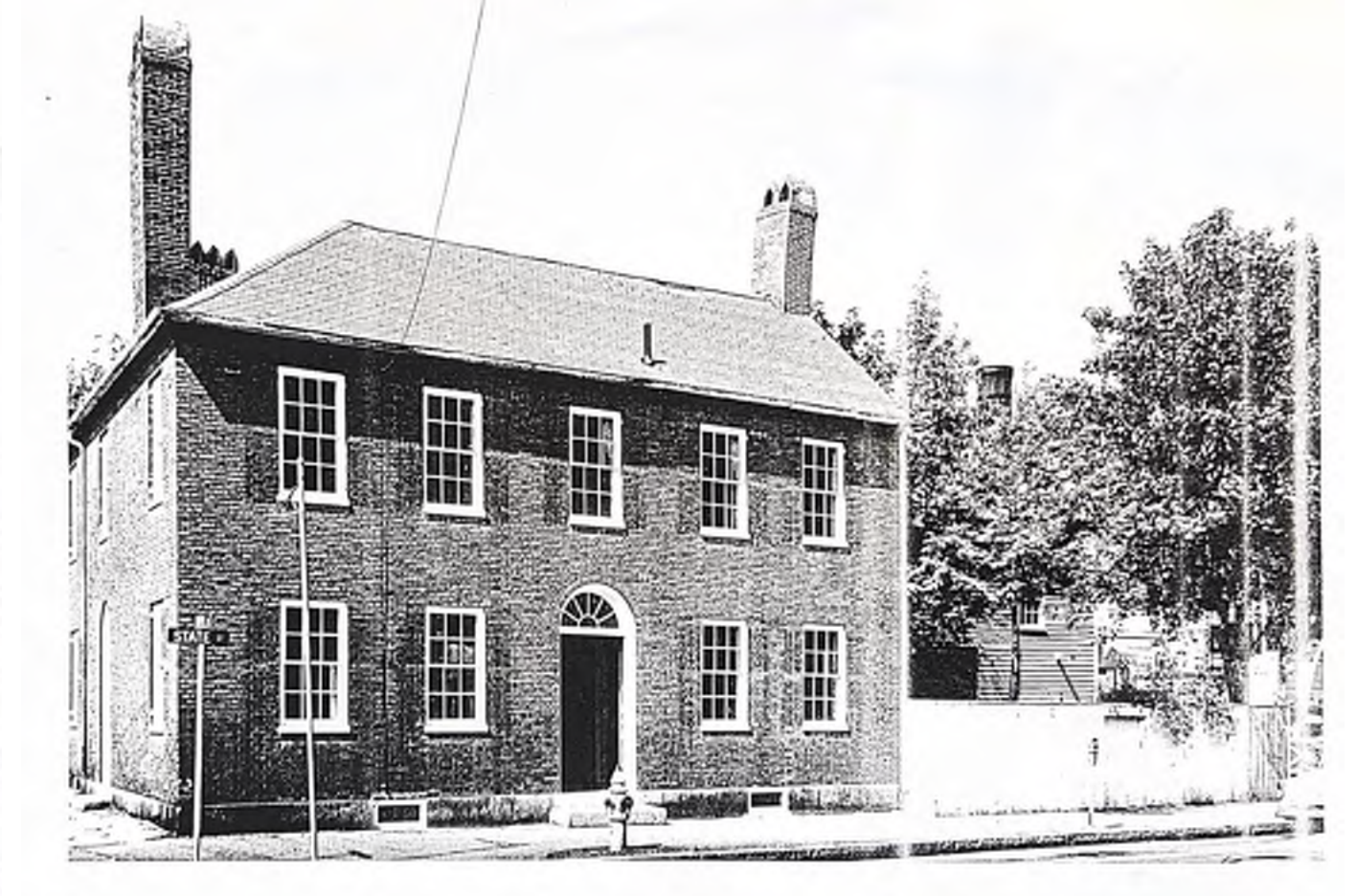
HISTORICAL PHOTO - STATE STREET - CIRCA 1970s



HISTORICAL PHOTO - CORNER OF STATE AND CHAPEL - CIRCA 1970s



HISTORICAL PHOTO - CHAPEL STREET - CIRCA 1970s



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GENERAL CONTRACTOR



STRUCTURAL ENGINEER



CIVIL ENGINEER



LANDSCAPE ARCHITECT

MECHANICAL ENGINEER

Revision & Reissue Notes

Rev #	Date	Description

PRECEDENT IMAGES



PISCATAQUA SAVINGS BANK ADDITION - 15 PLEASANT STREET
MODERN MATERIAL USE AND AESTHETIC BLENDING WITH BRICK FACADE



36 MAPLEWOOD AVE
MODERN MATERIAL USE TO BLEND WITH BRICK FACADE

EXISTING CONDITIONS REFERENCE IMAGES



EXISTING CARRIAGE HOUSE ENTRY (STATE STREET FACADE) -
BRICK STEP TO BE REPLACED W/ GRANITE



EXISTING STATE STREET ALLEYWAY TREE AND FENCE



EXISTING ALLEYWAY FENCING OBSTRUCTING DOORS & WINDOWS - FIRST
FLOOR ALLEYWAY DOORS & WINDOWS TO BE REMOVED & INFILLED



EXISTING CHAPEL STREET VIEW - MECHANICAL YARD BEHIND FENCE



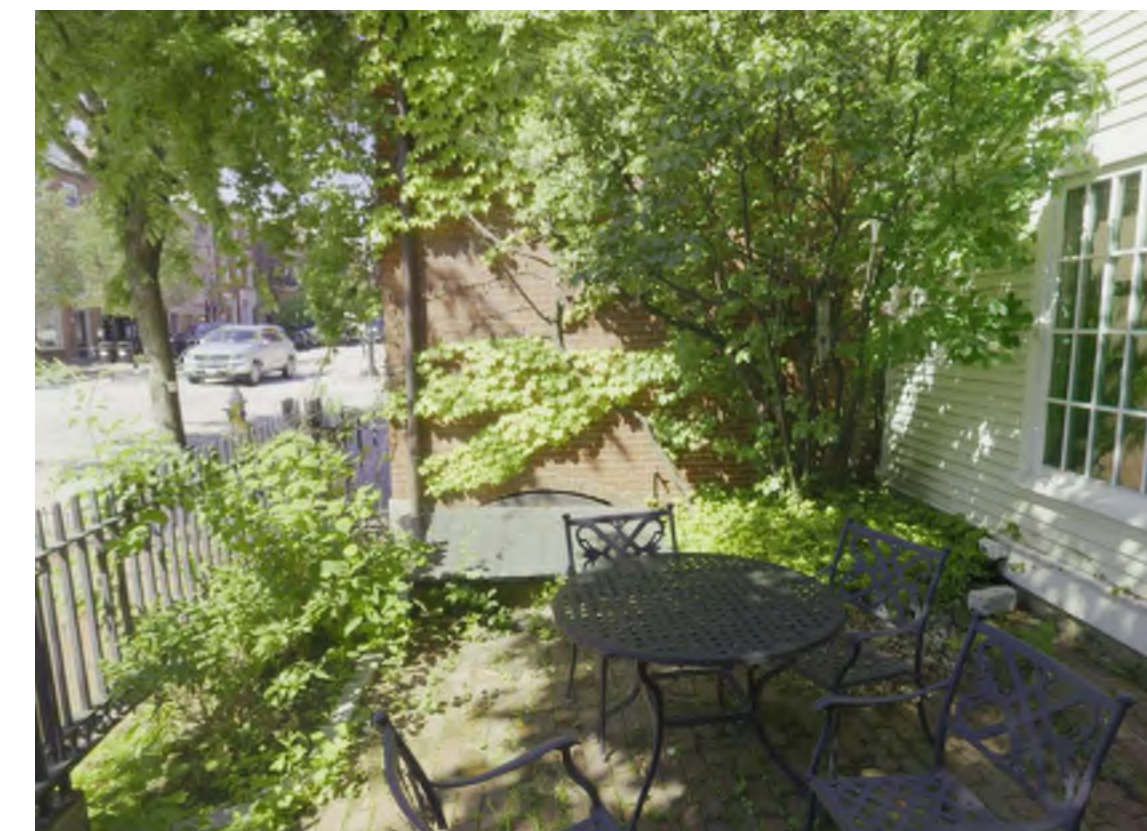
EXISTING MECHANICAL YARD AND BULKHEAD DOOR TO BE REPLACED



EXISTING ELECTRICAL METER



EXISTING HVAC UNITS



EXISTING STATE STREET PATIO BULKHEAD TO BE REMOVED, ARCH OPENING
TO BE INFILLED W/ STONE TO MATCH EXISTING FOUNDATION EXTERIOR



EXISTING REAR CORNER COURTYARD VIEW



EXISTING STATE STREET ENTRY

Portsmouth Historic District
Commission

PROJECT NUMBER
24-023

**Anthony
Residence
Renovation**

93 State Street
Portsmouth, NH

**Project
Reference
Images**

A003

DR: DES SHEET SCALE SHEET DATE
SH: CJJ 09/20/2024

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CODE REVIEW - 93 STATE STREET, PORTSMOUTH, NH – ANTHONY RESIDENCE

PROJECT SCOPE

THIS PROJECT CONSISTS OF AN EXISTING TWO- STORY SINGLE FAMILY RESIDENCE WITH AN EXISTING UNFINISHED BASEMENT & ATTACHED TWO-STORY CARRIAGE HOUSE WITH NO BASEMENT. THE BUILDING WILL REMAIN AS A TWO-STORY SINGLE FAMILY RESIDENCE.

PHASE I

THE PROJECT SCOPE CONSISTS OF SHORING THE FOUNDATION SUPPORT OF THE CARRIAGE HOUSE AREA, DEMOLITION & REMOVAL OF AN EXISTING CHIMNEY CLOSEST TO THE PROPERTY'S PARKING AREA.

PHASE II

THE PROJECT WILL CONTINUE WITH THE INTERIOR RENOVATION AND CONSIST OF EXTERIOR ALTERATIONS TO THE BUILDING INCLUDING REPLACING THE WINDOWS, AND A SMALL DINING ROOM ADDITION. THE DINING ROOM ADDITION WILL ADD APPROXIMATELY 152 SF TO THE EXISTING 1736 +/- SF FOOTPRINT. THE ADDITION WILL MATCH THE HEIGHT OF THE EXISTING BUILDING AND IS LOCATED IN THE COURTYARD AREA OF THE LOT (WILL NOT BE VISIBLE FROM STATE OR CHAPEL STREET)

MAJOR CODES ENFORCED ARE 2018 EDITION UNLESS OTHERWISE NOTED BELOW:

- 2018 INTERNATIONAL RESIDENTIAL CODE W/ CITY AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE
- 2020 NATIONAL ELECTRICAL CODE W/ CITY ELECTRICAL AMENDMENTS
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

THE BUILDING WILL BE EQUIPPED WITH COMBINATION HARDWIRED CARBON MONOXIDE AND SMOKE DETECTORS AS REQUIRED. PER CITY AMENDMENT, SMOKE ALARMS SHALL BE SUPPLIED BY A BRANCH CIRCUIT THAT ALSO SUPPLY LIGHTING LOADS SERVING HABITABLE SPACES.

CITY OF PORTSMOUTH, NH ORDINANCES PAGE 30 CHAPTER 12
SECTION 310 EMERGENCY ESCAPE AND RESCUE OPENINGS
SECTION R305.1 IRC 2018 HABITABLE SPACE, HALLWAYS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. BATHROOMS, TOILET ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET 8 INCHES. NOTE THAT SECTION 408.4 APPLIES TO 93 STATE STREET GIVEN THAT THE UNDER FLOOR SPACE DOES NOT MEET REQUIREMENTS TO CALL IT A BASEMENT BY CODE.
SECTION R310.1 IRC 2018 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS ON NEWLY CONSTRUCTED ELEMENTS SHALL MEET THE REQUIREMENTS OUTLINED IN IRC SECTION 310. HOWEVER, EMERGENCY ESCAPE AND RESCUE OPENINGS LOCATED WITHIN THE HISTORIC DISTRICT WILL BE REVIEWED ON A CASE BY CASE BASIS.
SECTION 308.4 IRC 2018 TEMPERED GLASS REQUIREMENTS FOR HAZARDOUS LOCATIONS
1. TEMPERED OPERABLE OR FIXED WINDOW LOCATED WITHIN 2 FT OF DOOR SWINGS
2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT:
a. IS LARGER THAN 9 SQ. FT AND
b. BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FLOOR
c. THE TOP EDGE OF GLAZING IS MORE THAN 36" ABOVE THE FLOOR
d. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY IN A STRAIGHT LINE OF THE GLAZING
3. ALL GLAZING IN RAILINGS SHALL BE TEMPERED.
4. GLAZING IN ENCLOSURES (SHOWER, TUBS, ETC.) UNLESS FURTHER THAN 60" IN A STRAIGHT LINE FROM THE WATER'S EDGE OF THE FIXTURE
5. GLAZING IN WALLS AND FENCES TO INDOOR AND OUTDOOR POOLS, HOT TUBS, SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" (MEASURED HORIZONTALLY IN A STRAIGHT LINE)
6. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS
7. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND EXPOSED SURFACE IS WITHIN 60" FROM THE BOTTOM TREAD NOSING.

SECTION 312.2 IRC 2018 WINDOW FALL PROTECTION
WINDOW SILLS: IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. OPERABLE WINDOW OPENINGS WILL NOT ALLOW A 4" DIA SPHERE TO PASS THROUGH WHERE THE OPENINGS ARE IN THEIR LARGEST OPENED POSITION.
2. OPERABLE WINDOWS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R312.2.2 OR ASTM F2090.

SECTION 313.2 IRC 2018 ONE- AND TWO-FAMILY DWELLINGS AUTOMATIC FIRE SPRINKLER SYSTEMS AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS.

EXCEPTION: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR ADDITIONS OR ALTERATIONS TO EXISTING BUILDINGS THAT ARE NOT ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM.

SECTION 408.4 IRC 2018 UNDER FLOOR SPACE: ACCESS
ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE NOT SMALLER THAN 18 INCHES BY 24 INCHES. OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16 INCHES BY 24 INCHES. WHERE ANY PORTION OF THE THROUGH-WALL ACCESS IS BELOW GRADE, AN AREAWAY NOT LESS THAN 16 INCHES BY 24 INCHES SHALL BE PROVIDED. THE BOTTOM OF THE AREAWAY SHALL BE BELOW THE THRESHOLD OF THE ACCESS OPENING. THROUGH WALL ACCESS OPENINGS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE.

ENERGY COMPLIANCE REQUIREMENTS

- [403.1] NOT LESS THAN ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.
- [303.3] MANUFACTURER MANUALS FOR MECHANICAL AND WATER HEATING EQUIPMENT HAVE BEEN PROVIDED
- [403.1.1] PROGRAMMABLE THERMOSTATS CONTROLLING THE PRIMARY HEATING OR COOLING SYSTEM OF THE DWELLING UNIT.
- [403.1.2] HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.
- [403.3.1] SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO AN R-VALUE OF NOT LESS THAN R-8 FOR DUCTS 3" DIAMETER AND LARGER AND NOT LESS THAN R-6 FOR DUCTS SMALLER THAN 3" DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO NOT LESS THAN R-6 FOR DUCTS 3" DIAMETER AND NOT LESS THAN R-4.2 FOR DUCTS SMALLER THAN 3" DIAMETER.

EXCEPTION: DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.
[403.3.2] ALL DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

[403.3.3] POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

[403.3.5] BUILDING CAVITIES ARE NOT USED FOR SUPPLY DUCTS
[403.4] MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS GREATER THAN 105°F (41°C) OR LESS THAN 55°F (13°C) SHALL BE INSULATED TO AN R-VALUE OF NOT LESS THAN R-3.
[403.4.1] CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT-WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.
[403.5.3] INSULATION FOR HOT WATER PIPING WITH A THERMAL RESISTANCE, R-VALUE, OF NOT LESS THAN R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING ¾" AND LARGER IN NOMINAL DIAMETER.
- [403.8] SNOW- AND ICE-MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENT TEMPERATURE IS ABOVE 50°F, AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°F.
[404.1] 90% PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

GENERAL ENERGY CONSERVATION NOTES:

BUILDING ENVELOPE AIR INFILTRATION REQUIREMENTS (IECC 2018)

BUILDING COMPONENT

JUNCTION BETWEEN FOUNDATION & SILL PLATE
ALL JOINTS, SEAMS & PENETRATIONS
WALL CORNERS, INTERSECTIONS & HEADERS
SITE BUILT WINDOWS, DOORS & SKYLIGHTS
OPENINGS BETWEEN WINDOW & DOOR ASSEMBLIES
ATTIC ACCESS, KNEE WALL DOORS & DROP DOWN STAIR HATCHES
UTILITY PENETRATIONS
DROPPED CEILINGS/SOFFITS
ANY SPACE/GAP BETWEEN WINDOW/DOOR JAMBS & FRAMING
ALL RIM JOISTS
CHASES ADJACENT TO THERMAL ENVELOPE
KNEEWALLS
WALLS AND CEILINGS SEPARATING GARAGE FROM CONDITIONED SPACE
WALLS BEHIND SHOWERS & TUBS
COMMON WALLS BETWEEN DWELLING UNITS
HVAC REGISTER BOOTS THAT PENETRATE ENVELOPE
FIREPLACE WALLS
AIR INFILTRATION POINTS @ ELECTRICAL/TELECOM BOXES
SPACE BETWEEN PLUMBING/CONDUIT & OUTSIDE WALL
BOTTOM PLATES OF WALL FRAMING @ SUBFLOOR

REQUIRED TREATMENT

SEAL
CAULK
INSULATE
SEAL
SEAL
SEAL
SEAL
INSULATE
SEAL
SEAL
SEAL & INSULATE
SEAL & INSULATE
PROVIDE AIR BARRIER
SEAL
PROVIDE AIR BARRIER
LIMIT
INSULATE
SEAL

RECOMMENDED SEALANT TYPES & MANUFACTURERS

- EXTERIOR APPLICATIONS = TREMCO
- INTERIOR APPLICATIONS = GE SILICONE II
- INTERIOR APPLICATIONS = DYNAFLEX 230

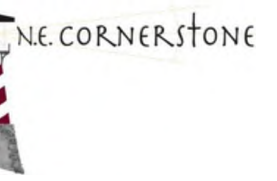
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

ASSEMBLY	REQUIREMENT	PROPOSED
WINDOW U-FACTOR	0.30	COMPLIES
DOOR U-FACTOR	0.30	COMPLIES
SKYLIGHT U-FACTOR	0.55	COMPLIES
CEILING R-VALUE	49	COMPLIES
WOOD FRAMED WALL R-VALUE	20 OR (13 + 5 CONTINUOUS)	COMPLIES
FLOOR R-VALUE	30	COMPLIES
BASEMENT WALL R-VALUE	15/19	N/A
SLAB R-VALUE / DEPTH	10 / 2 FT	COMPLIES
CRAWL SPACE R-VALUE	15/19	COMPLIES



603.436.4274

GENERAL CONTRACTOR



STRUCTURAL ENGINEER



CIVIL ENGINEER



LANDSCAPE ARCHITECT

MECHANICAL ENGINEER

Revision & Reissue Notes

Rev # Date Description

Rev #	Date	Description

STAMPS

Portsmouth Historic District Commission

PROJECT NUMBER

24-023

Anthony Residence Renovation

93 State Street
Portsmouth, NH

Code Review

A004

DR: DES SHEET SCALE SHEET DATE

CH: CJ 12" = 1'-0" 09/20/2024

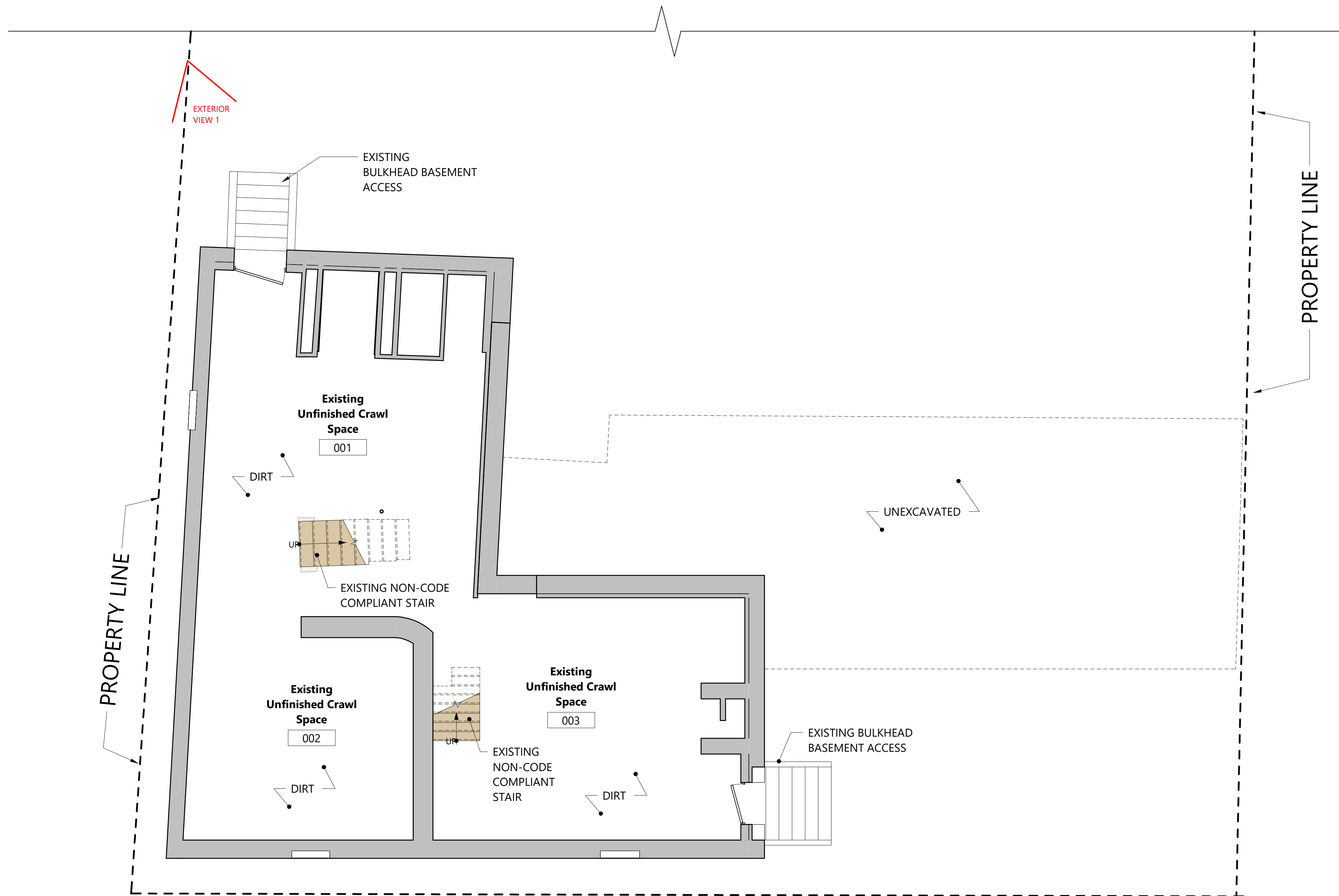
Autodesk Docs/Anthony Residence Renovation/Anthony Renovation - Current.txt



VIEW 1 : VIEW OF FENCED IN MECHANICAL YARD



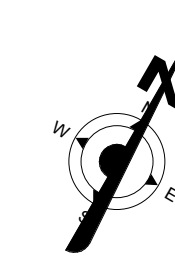
EXISTING BULKHEAD EXTERIOR



1
A010

Existing Basement Plan
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"



NOTE:

PRINT IS INTENDED FOR 24"x36" PAPER. PLEASE USE 24"x36" FORMAT FOR SCALED DRAWINGS.

TMS
architects
interiors

603.436.4274

GENERAL CONTRACTOR

THE CORNERSTONE

STRUCTURAL ENGINEER

JSN

CIVIL ENGINEER

JVA
JAMES VERRA & ASSOCIATES, INC.

LANDSCAPE ARCHITECT

MECHANICAL ENGINEER

Revision & Reissue Notes

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STAMPS

Portsmouth Historic District Commission

PROJECT NUMBER

24-023

Anthony Residence Renovation
93 State Street
Portsmouth, NH

Existing Crawlspace Plan

A010

DR: DES SHEET SCALE SHEET DATE
CH: CJ As indicated 09/20/2024



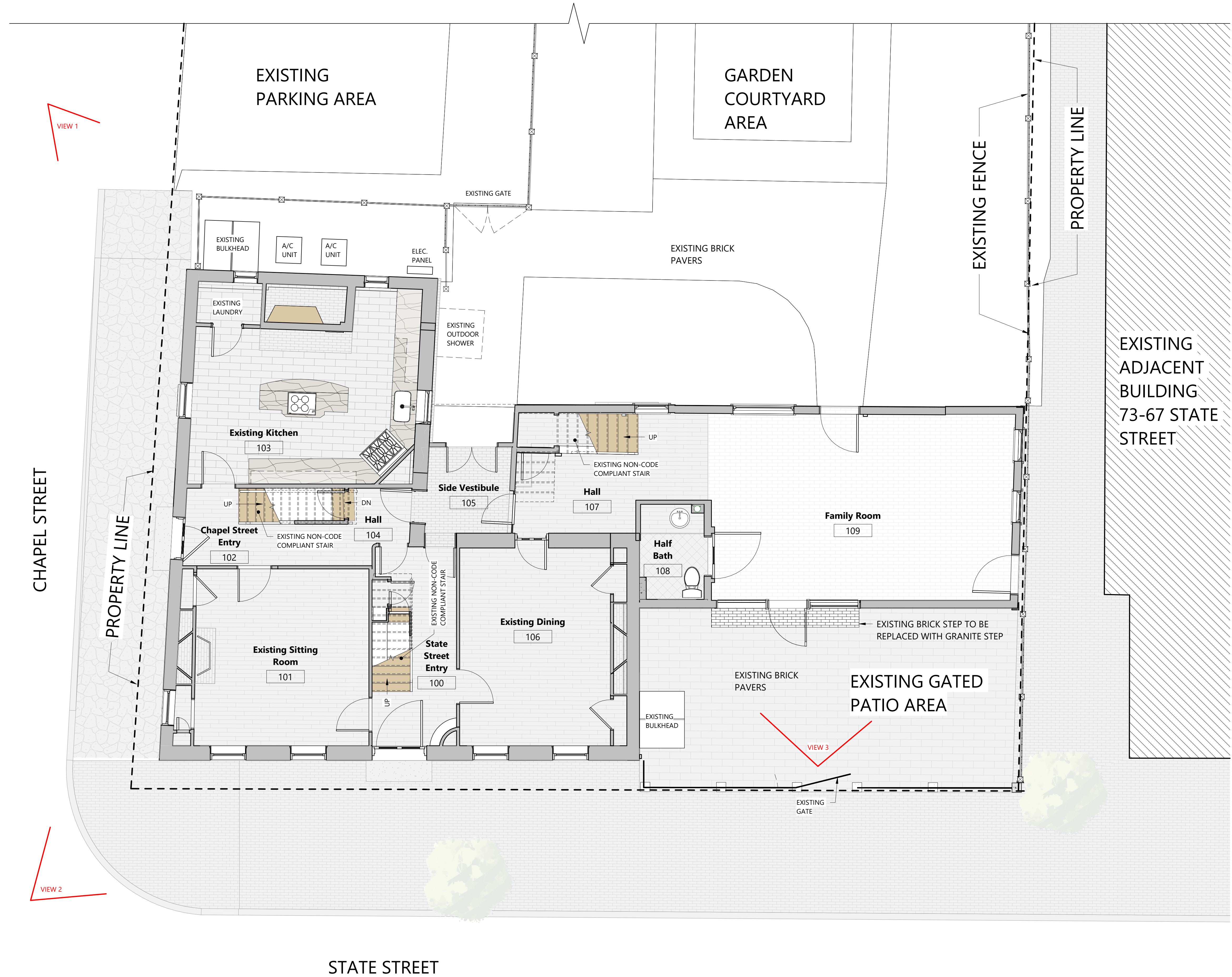
1 CHAPEL STREET FACADE



2. CORNER OF STATE & CHAPEL



3. CARRIAGE HOUSE AREA - FACADE



CHAPEL STREET

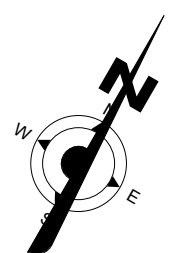
VIEW 2

STATE STREET

Existing First Floor Plan
 1/4" = 1'-0"

NOTE:
 PRINT IS INTENDED FOR 24"x36"
 PAPER. PLEASE USE 24"x36" FORMAT
 FOR SCALED DRAWINGS.

0 2'-0" 4'-0" 8'-0"
 SCALE: 1/4" = 1'-0"



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 architects
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GENERAL CONTRACTOR

THE CORNERSTONE

STRUCTURAL ENGINEER

JSN

CIVIL ENGINEER

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LANDSCAPE ARCHITECT

MECHANICAL ENGINEER

Revision & Reissue Notes

Rev #	Date	Description

STAMPS

Portsmouth Historic District
 Commission

PROJECT NUMBER
 24-023

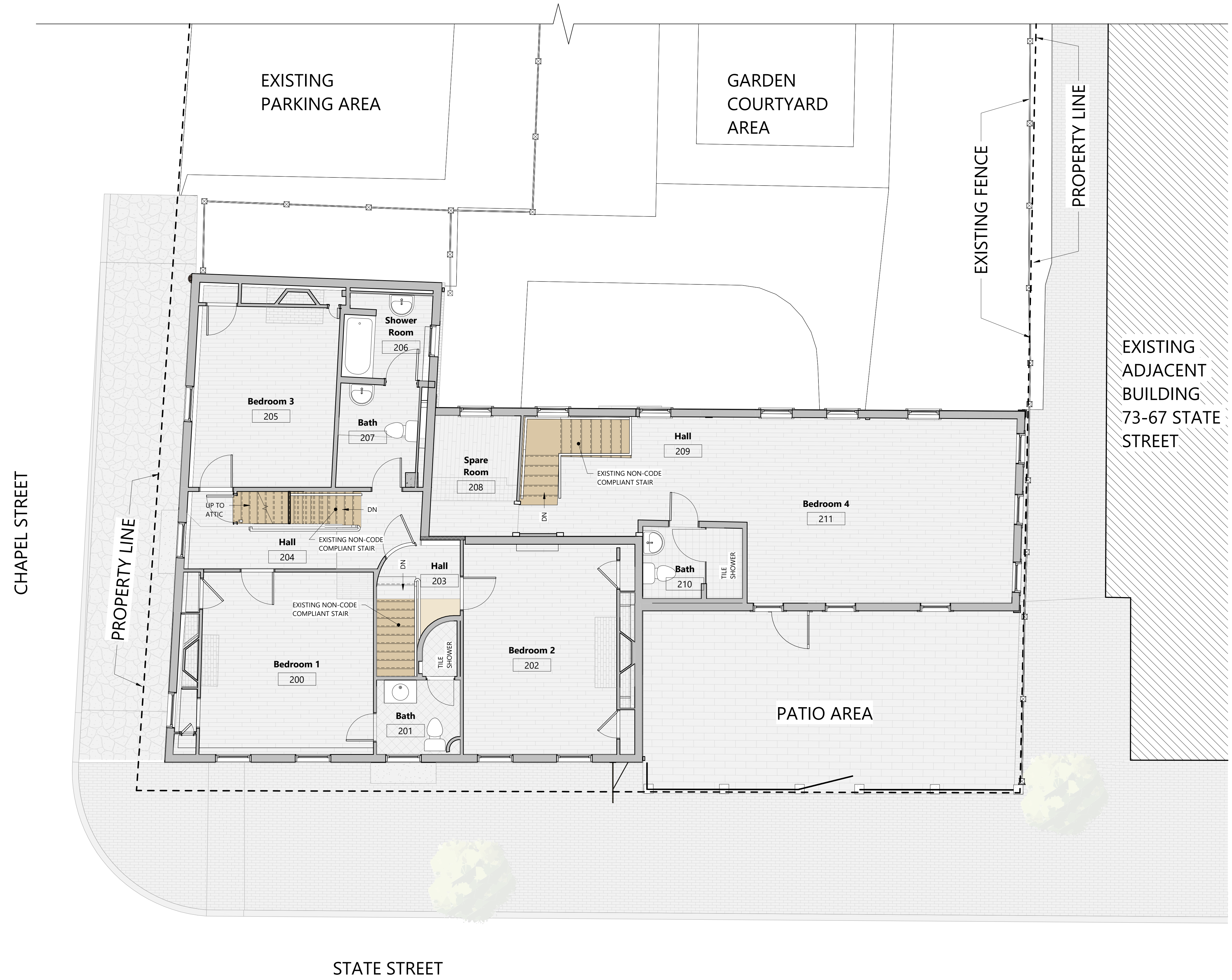
**Anthony
 Residence
 Renovation**
 93 State Street
 Portsmouth, NH

**Existing First
 Floor Plan**

A011

DR: DES SHEET SCALE SHEET DATE
 CH: CJJ As indicated 09/20/2024

PLOT DATE: 9/20/2024 11:18:15 AM

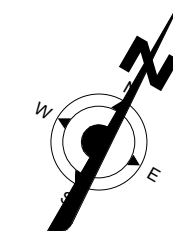
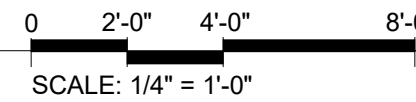


1
A012

Existing Second Floor Plan

1/4" = 1'-0"

NOTE:
 PRINT IS INTENDED FOR 24"x36"
 PAPER. PLEASE USE 24"x36" FORMAT
 FOR SCALED DRAWINGS.



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GENERAL CONTRACTOR



STRUCTURAL ENGINEER



CIVIL ENGINEER



LANDSCAPE ARCHITECT

MECHANICAL ENGINEER

Revision & Reissue Notes

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STAMPS

Portsmouth Historic District
 Commission

PROJECT NUMBER
 24-023

**Anthony
 Residence
 Renovation**
 93 State Street
 Portsmouth, NH

**Existing
 Second Floor
 Plan**

A012

DR: DES SHEET SCALE SHEET DATE
 CH: CJJ As indicated 09/20/2024

PLOT DATE: 9/20/2024 11:18:17 AM

Revision & Reissue Notes

Rev #	Date	Description

STAMPS

Portsmouth Historic District
Commission Updates

PROJECT NUMBER
24-023

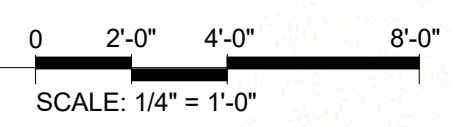
**Anthony
Residence
Renovation**
93 State Street
Portsmouth, NH

**Existing
Elevations**

A017



1B
A017 Existing North Elevation
1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



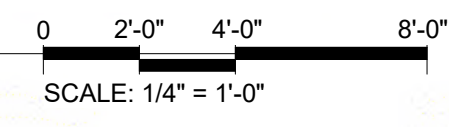
1
A017 Existing East Elevation
1/4" = 1'-0"



EXISTING UNSAFE LEANING
CHIMNEY TO BE REMOVED &
REBUILT. MATCH EXISTING
HISTORICAL PHOTOS OF
CHIMNEY & BISHOP'S CAP



1D
A017 Existing South Elevation (State Street Elevation)
1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



2
A017 Existing West Elevation (Chapel Street Elevation)
1/4" = 1'-0"

NOTE:
PRINT IS INTENDED FOR 24"x36"
PAPER. PLEASE USE 24"x36" FORMAT
FOR SCALED DRAWINGS.



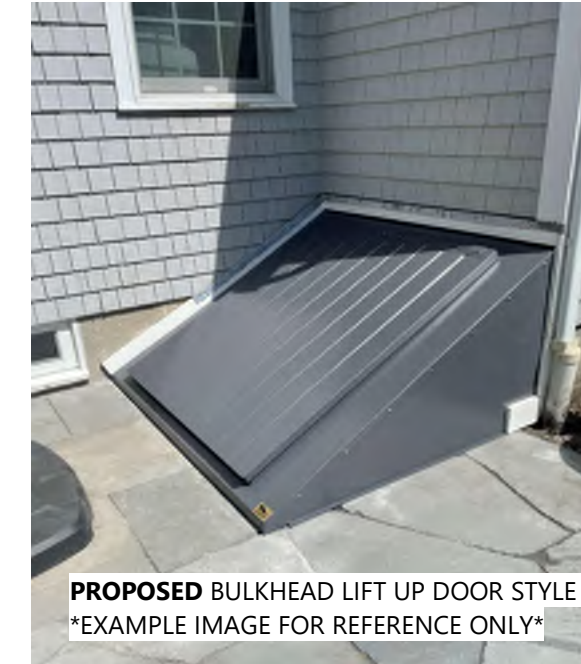
EXISTING WOOD INFILL TO BE REMOVED & REPLACED WITH STONE TO MATCH



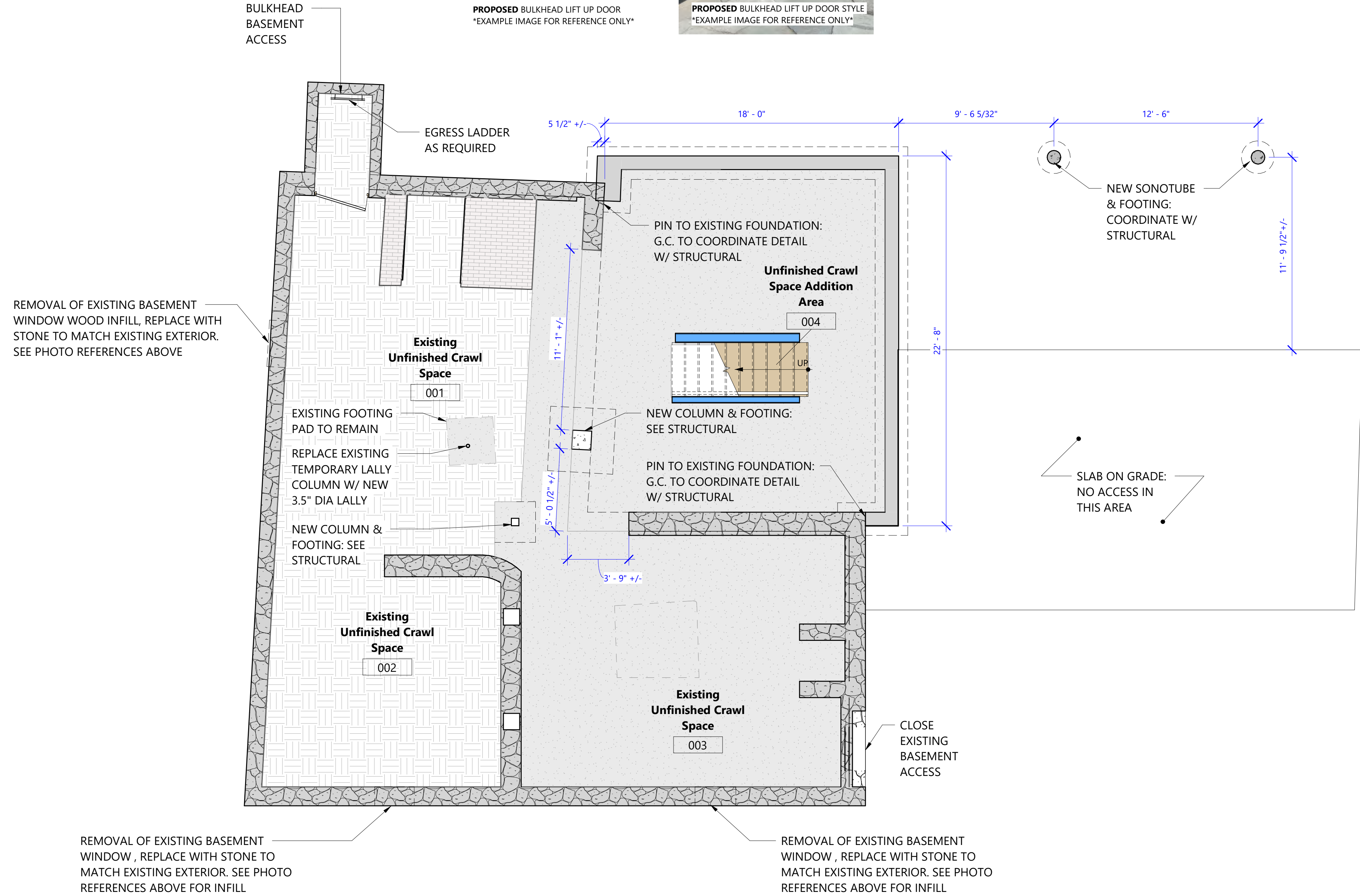
PROPOSED STONE INFILL EXAMPLE **FOR REFERENCE ONLY** DESIGN INTENT TO MATCH EXISTING STONE.



PROPOSED BULKHEAD LIFT UP DOOR *EXAMPLE IMAGE FOR REFERENCE ONLY*

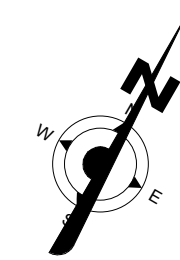


PROPOSED BULKHEAD LIFT UP DOOR STYLE *EXAMPLE IMAGE FOR REFERENCE ONLY*



1 Crawl Space Plan 1/4" = 1'-0" 0 2'-0" 4'-0" 8'-0" SCALE: 1/4" = 1'-0"

NOTE:
 PRINT IS INTENDED FOR 24"x36"
 PAPER. PLEASE USE 24"x36" FORMAT
 FOR SCALED DRAWINGS.



Rev #	Date	Description

Autodesk Docs://Anthony Residence Renovation/Anthony Renovation - Current.rvt

Interior & Exterior Finished Spaces	
First Floor Addition Area	200 SF
Second Floor Addition Area at Stair	26 SF
TOTAL	226 SF
Unfinished Spaces	
Attic Unfinished Area	754 SF
New Crawl Space Unfinished	373 SF
Unfinished Below Carriage House Area	473 SF
Existing Crawl Space Unfinished	936 SF
TOTAL	2536 SF
Total Square Feet	
Interior & Exterior Finished Spaces	226 SF
Unfinished Spaces	2536 SF
Interior & Exterior Finished Spaces	3158 SF
GRAND TOTAL	5920 SF

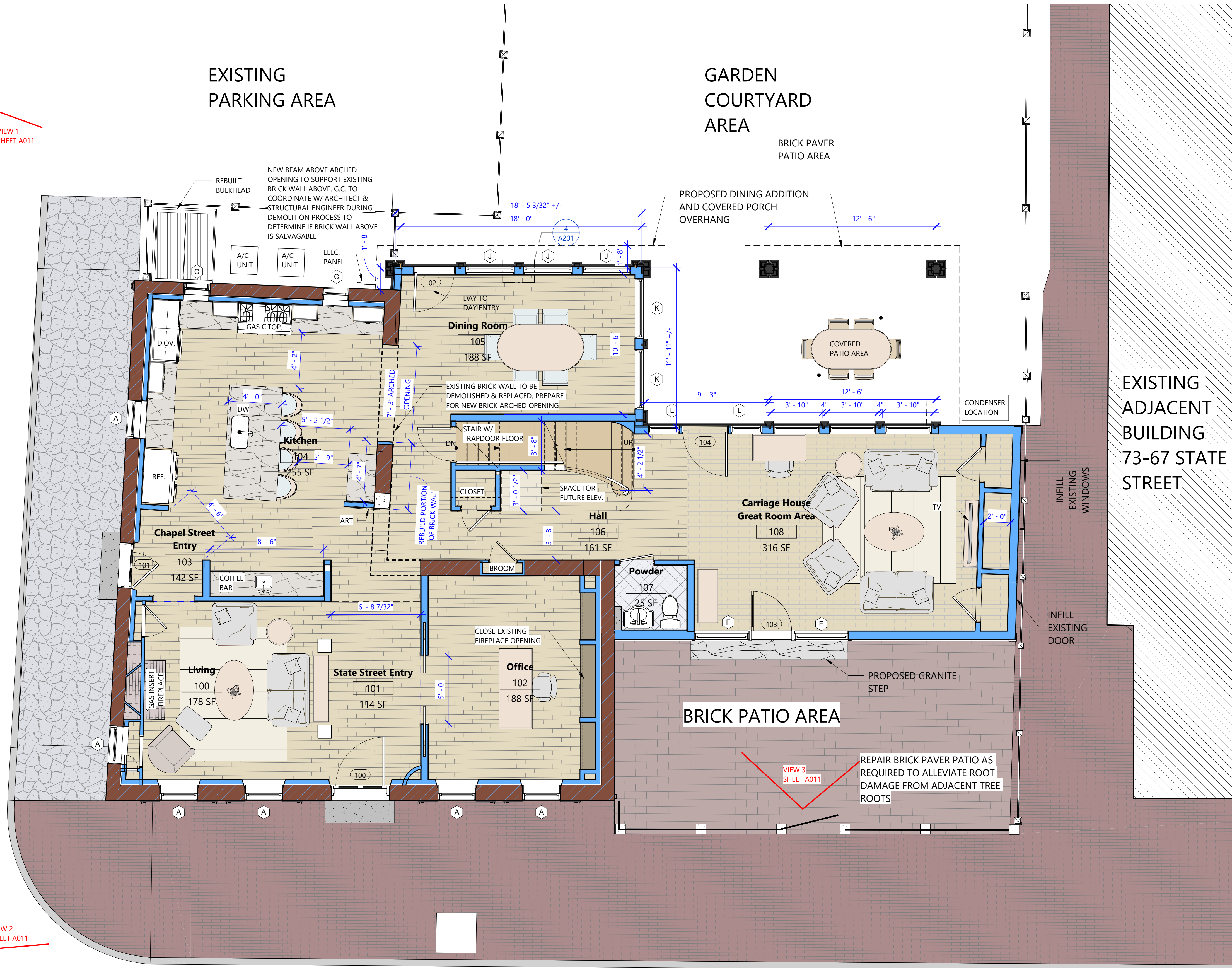
BUILDING & LOT AREA REQUIREMENTS			
	LOT AREA	BUILDING COVERAGE	BUILDING COVERAGE %
EXISTING	6,036 SF	1,792 SF EXISTING	30%
ALLOWABLE		5,432 SF ALLOWABLE	90%
PROPOSED	6,036 SF	1,955 SF PROPOSED	32%

AREAS TO BE CONFIRMED VIA CIVIL ENGINEER SURVEY

CHAPEL STREET

VIEW 2
SHEET A011

VIEW 1
SHEET A011



STATE STREET

1
A101
First Floor Plan
1/4" = 1'-0"

NOTE:
PRINT IS INTENDED FOR 24"X36"
PAPER. PLEASE USE 24"X36" FORMAT
FOR SCALED DRAWINGS.

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

WALL PHASE LEGEND
— - PROPOSED WOOD FRAMED WALL
— - EXISTING BRICK WALL
— - EXISTING WOOD FRAMED WALL
 - - - - - PROPOSED AREA OF BRICK WALL REMOVAL



Rev #	Date	Description

STAMPS

Portsmouth Historic District
Commission

PROJECT NUMBER
24-023

**Anthony
Residence
Renovation**
93 State Street
Portsmouth, NH

**Proposed
First Floor
Plan**

A101

DR: DES SHEET SCALE SHEET DATE
CH: CJJ As indicated 09/20/2024

Interior & Exterior Finished Spaces

First Floor Addition Area	200 SF
Second Floor Addition Area at Stair	26 SF
TOTAL	226 SF

First Floor Finished Renovation Area	1587 SF
Second Floor Finished Renovation Area	1571 SF
TOTAL	3158 SF

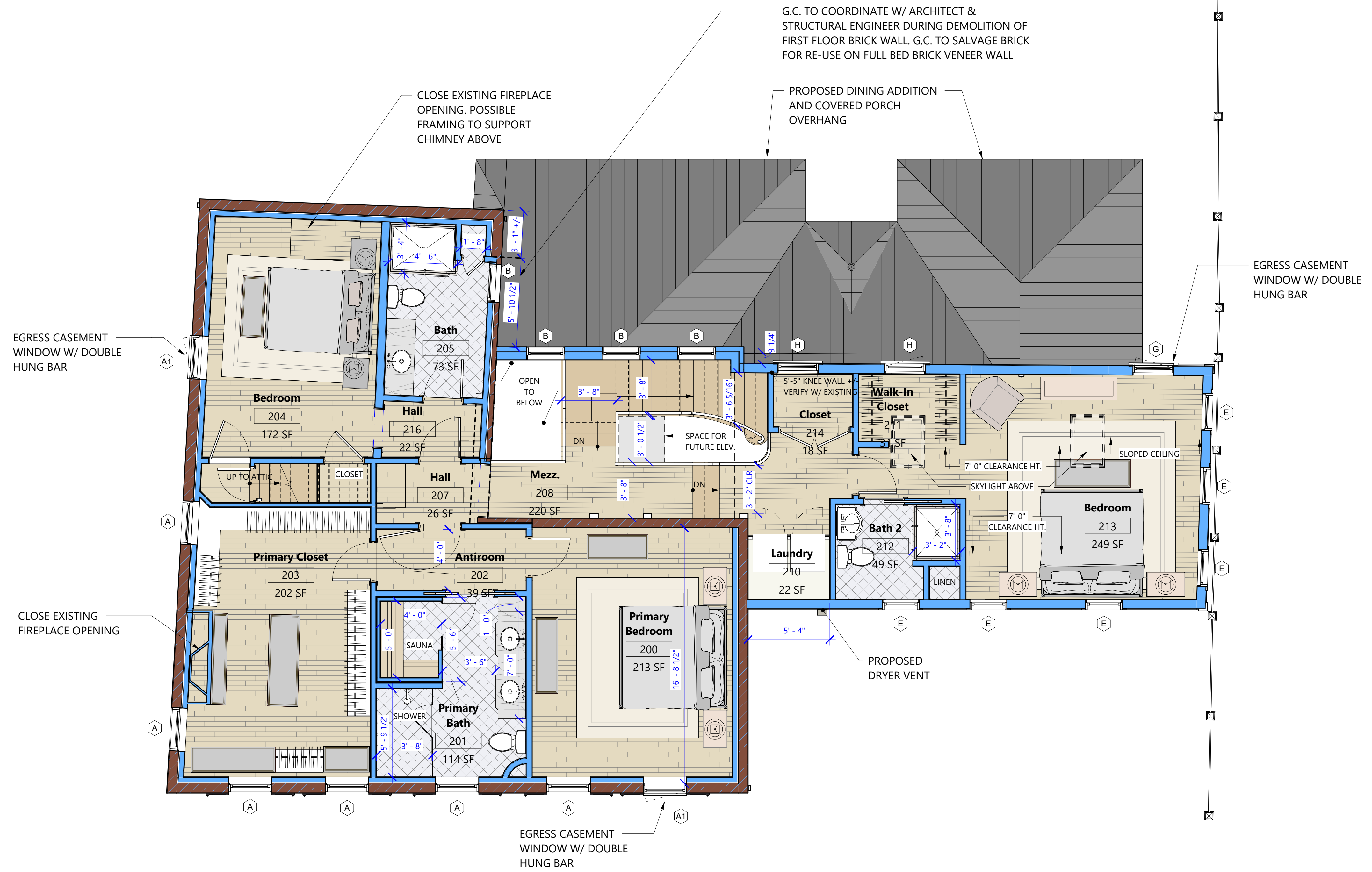
Unfinished Spaces	3384 SF
Attic Unfinished Area	754 SF
New Crawl Space Unfinished	373 SF
Unfinished Below Carriage House Area	473 SF
Existing Crawl Space Unfinished	936 SF
TOTAL	2536 SF

Total Square Feet

Interior & Exterior Finished Spaces	226 SF
Unfinished Spaces	2536 SF
Interior & Exterior Finished Spaces	3158 SF
GRAND TOTAL	5920 SF

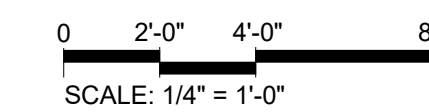
BUILDING & LOT AREA REQUIREMENTS			
	LOT AREA	BUILDING COVERAGE	BUILDING COVERAGE %
EXISTING	6,036 SF	1,792 SF EXISTING	30%
ALLOWABLE		5,432 SF ALLOWABLE	90%
PROPOSED	6,036 SF	1,955 SF PROPOSED	32%

AREAS TO BE CONFIRMED VIA CIVIL ENGINEER SURVEY



Second Floor Plan
1/4" = 1'-0"

NOTE:
PRINT IS INTENDED FOR 24"X36"
PAPER. PLEASE USE 24"X36" FORMAT
FOR SCALED DRAWINGS.



- WALL PHASE LEGEND**
- PROPOSED WOOD FRAMED WALL
 - EXISTING BRICK WALL
 - EXISTING WOOD FRAMED WALL
 - PROPOSED AREA OF BRICK WALL REMOVAL

Autodesk Docs//Anthony Residence Renovation/Anthony Renovation - Current.rvt

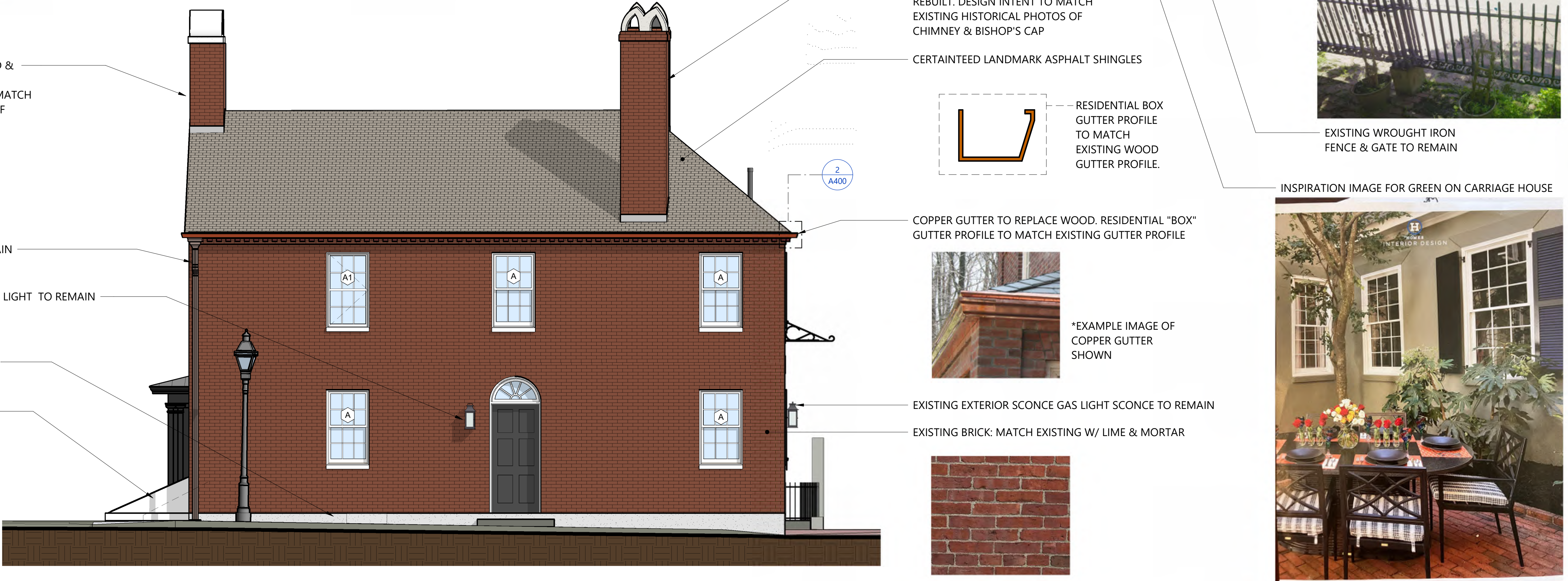
Rev #	Date	Description



1 State Street Elevation
1/4" = 1'-0"



STATE STREET FACADE HISTORICAL PHOTO
CIRCA 1970s



2 Chapel Street Elevation
1/4" = 1'-0"

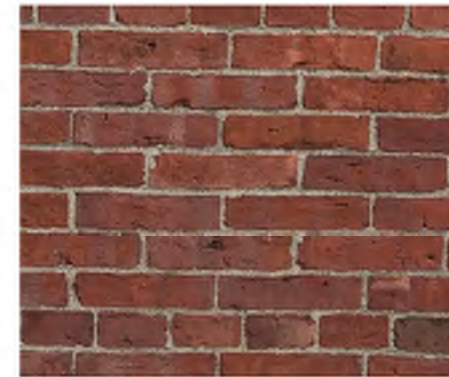
NOTE:
PRINT IS INTENDED FOR 24"x36"
PAPER. PLEASE USE 24"x36" FORMAT
FOR SCALED DRAWINGS.

Autodesk Docs/Anthony Residence Renovation/Anthony Renovation - Current.rvt

CERTAINTED LANDMARK ASPHALT SHINGLES OR SIMILAR



RE-USE EXISTING BRICK



BRICK DENTIL DETAIL TO MATCH EXISTING EXTERIOR DENTIL DETAIL

METAL STEP FLASHING AS REQUIRED

PROPOSED BATHROOM ROOF VENT

ALUMINUM METAL ROOF



REPLACE CLAPBOARD SIDING W/ BORAL WOOD GRAIN TEXTURE MILLED SIDING PROVIDED BY DURATION MILLWORK. DURING WINDOW REPLACEMENT. PAINT AS SELECTED BY OWNER

REPAIR / REPLACE WOOD CORNERBOARD. PAINT TO MATCH EXISTING

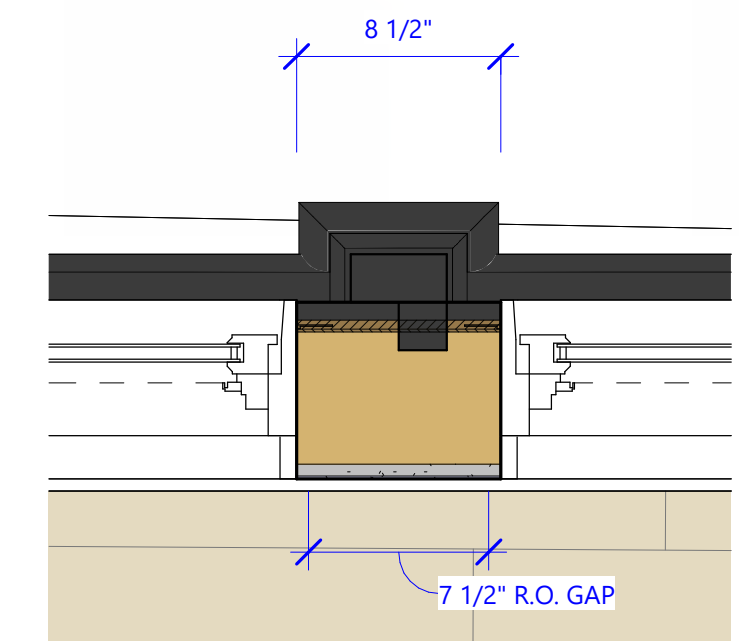
CHIMNEY TO BE REMOVED & REBUILT. DESIGN INTENT TO MATCH EXISTING HISTORICAL PHOTOS OF CHIMNEY & CAP

EXISTING CHIMNEY TO REMOVED & REPLACED WITH BRICK VENEER CHIMNEY TO MATCH EXISTING. MATCH EXISTING HISTORICAL PHOTOS OF CHIMNEY & CAP



3 Detail @ Addition Windows
1/2" = 1'-0"

NEW STEEL LIFT UP BULKHEAD DOOR FOR EXISTING BULKHEAD ACCESS



Revision & Reissue Notes

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STAMPS

Portsmouth Historic District Commission

PROJECT NUMBER
24-023

Anthony Residence Renovation
93 State Street
Portsmouth, NH

Elevation Views

A201

DR: DES SHEET SCALE SHEET DATE
SH: CJJ As indicated 09/20/2024

1 **Courtyard Elevation View - Looking Towards State Street**
1/4" = 1'-0"



3 ACRE PAINTED COLUMN TRIM

EXISTING FENCE (NOT SHOWN) TO REMOVED DURING CONSTRUCTION AND PUT BACK IN PLACE WITH ADDED GATE FOR BULKHEAD ACCESS

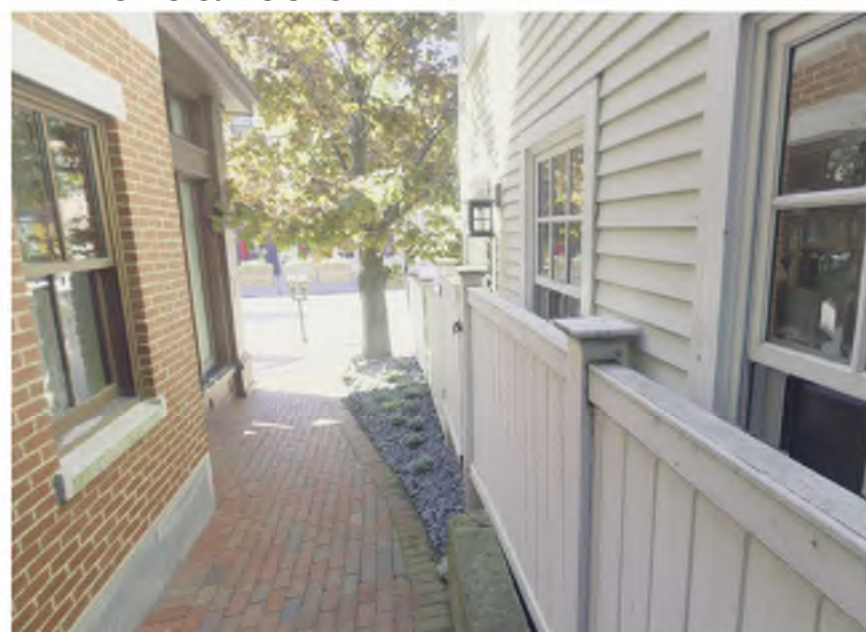
4 Dining Room Mull - Plan View Detail
1 1/2" = 1'-0"



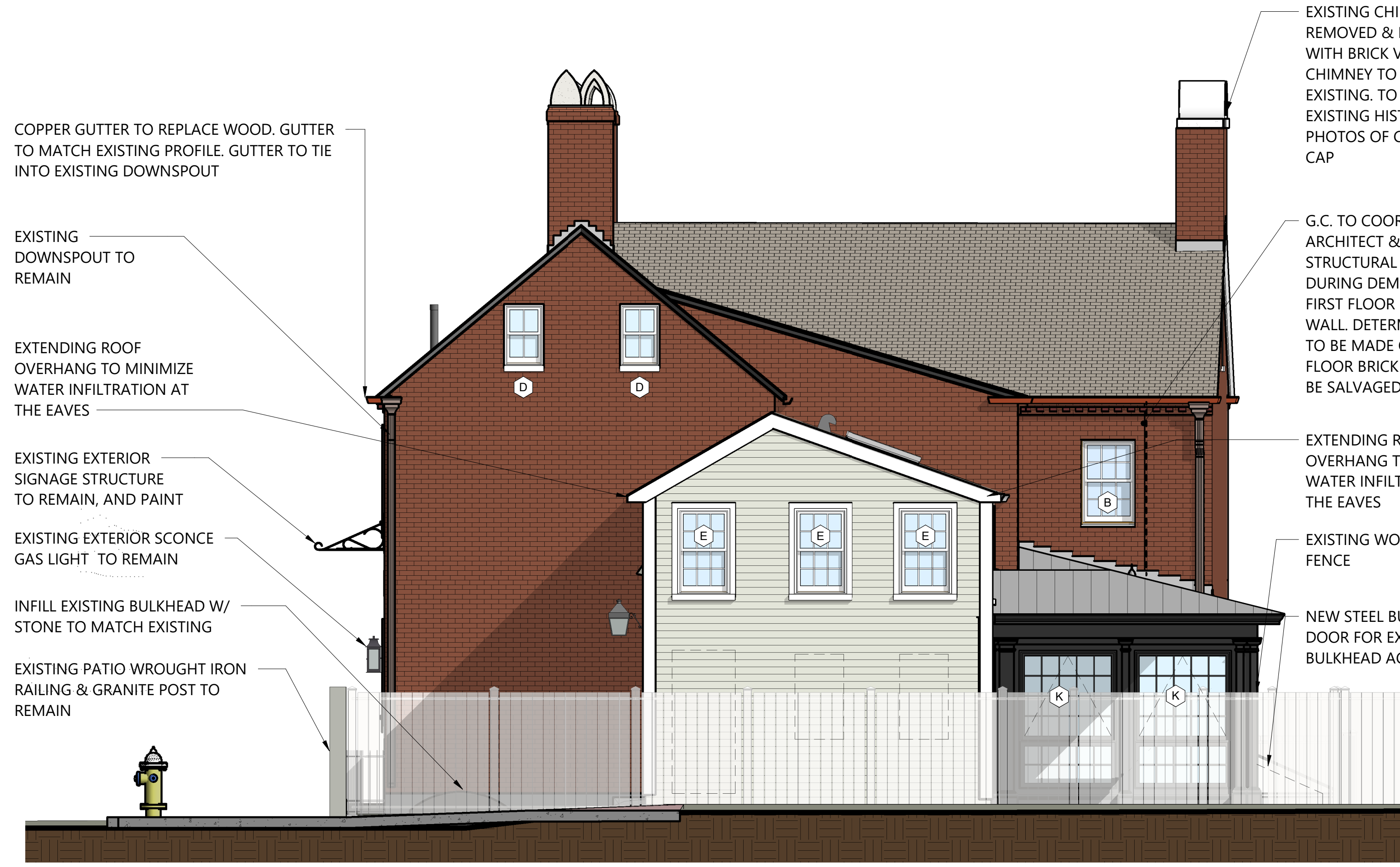
ALLEYWAY ENTRANCE AT STATE STREET



EXISTING ALLEYWAY FENCE OBSTRUCTING WINDOWS & DOORS



ALLEYWAY VIEW OUT TO STATE STREET



COPPER GUTTER TO REPLACE WOOD. GUTTER TO MATCH EXISTING PROFILE. GUTTER TO TIE INTO EXISTING DOWNSPOUT

EXISTING DOWNSPOUT TO REMAIN

EXTENDING ROOF OVERHANG TO MINIMIZE WATER INFILTRATION AT THE EAVES

EXISTING EXTERIOR SIGNAGE STRUCTURE TO REMAIN, AND PAINT

EXISTING EXTERIOR SCENCE GAS LIGHT TO REMAIN

INFILL EXISTING BULKHEAD W/ STONE TO MATCH EXISTING

EXISTING PATIO WROUGHT IRON RAILING & GRANITE POST TO REMAIN

EXISTING CHIMNEY TO REMOVED & REPLACED WITH BRICK VENEER CHIMNEY TO MATCH EXISTING. TO MATCH EXISTING HISTORICAL PHOTOS OF CHIMNEY & CAP

G.C. TO COORDINATE W/ ARCHITECT & STRUCTURAL ENGINEER DURING DEMOLITION OF FIRST FLOOR BRICK WALL. DETERMINATION TO BE MADE ON SECOND FLOOR BRICK WALL TO BE SALVAGED

EXTENDING ROOF OVERHANG TO MINIMIZE WATER INFILTRATION AT THE EAVES

EXISTING WOOD FENCE

NEW STEEL BULKHEAD DOOR FOR EXISTING BULKHEAD ACCESS



VIEW OF FENCED MECHANICAL YARD



EXISTING BULKHEAD DOOR TO BE REPLACED



BULKHEAD DOOR OPERATION EXAMPLE IMAGE



BULKHEAD DOOR STYLE EXAMPLE IMAGE

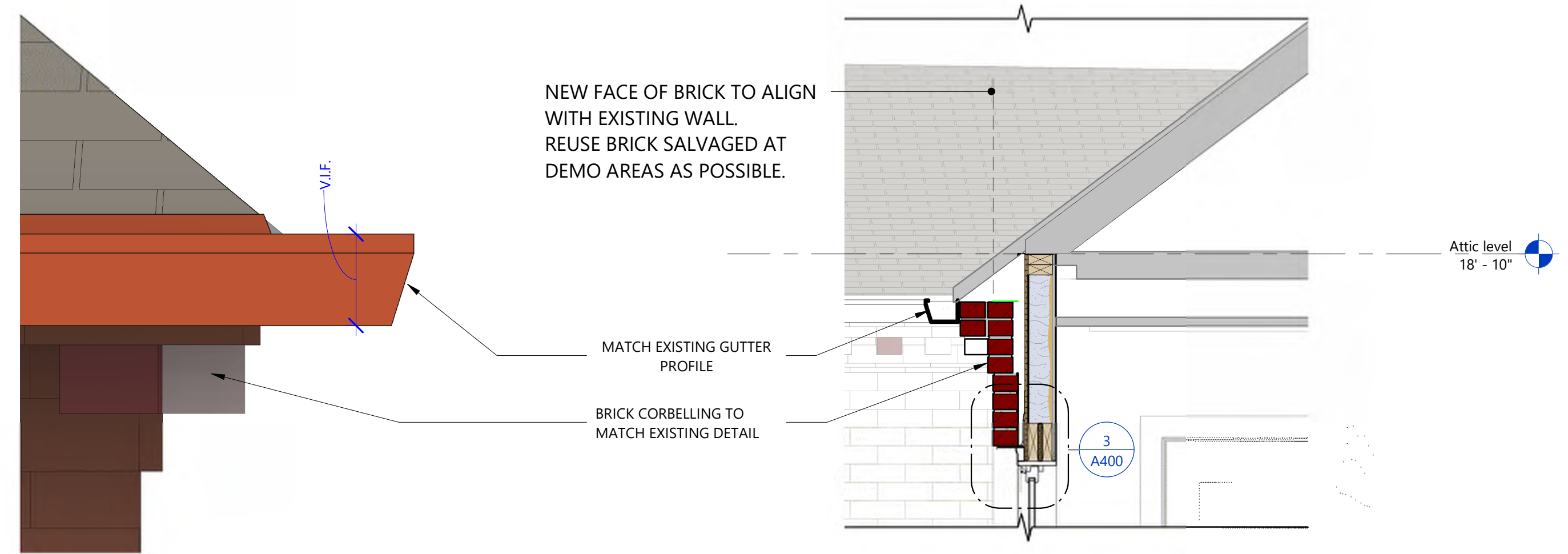
2 **East Elevation - Looking Toward Chapel Street**
1/4" = 1'-0"



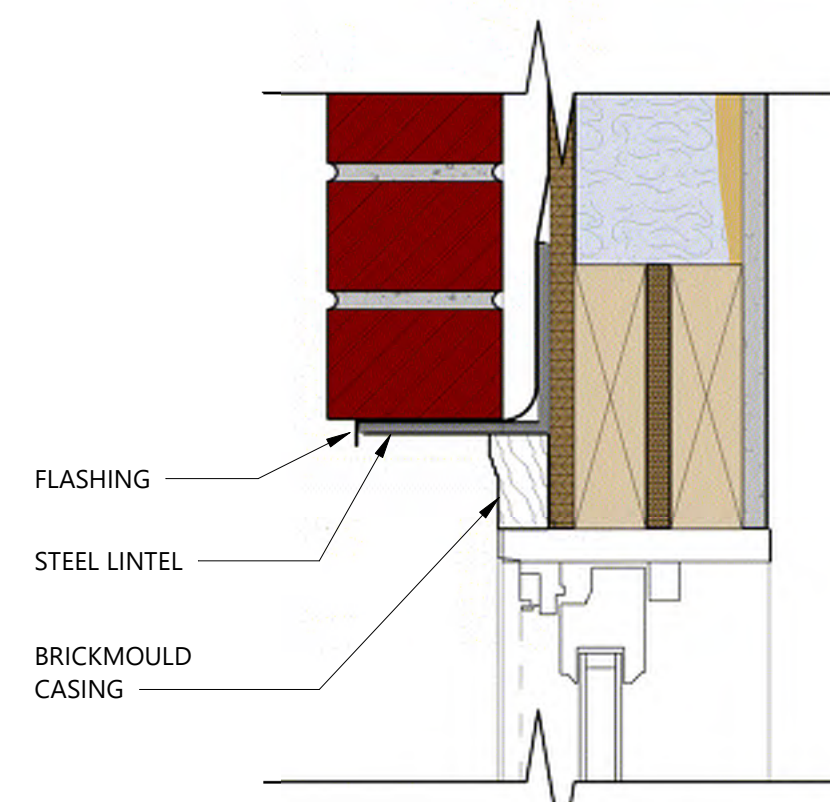
VIEW OF EXISTING BRICK WALL



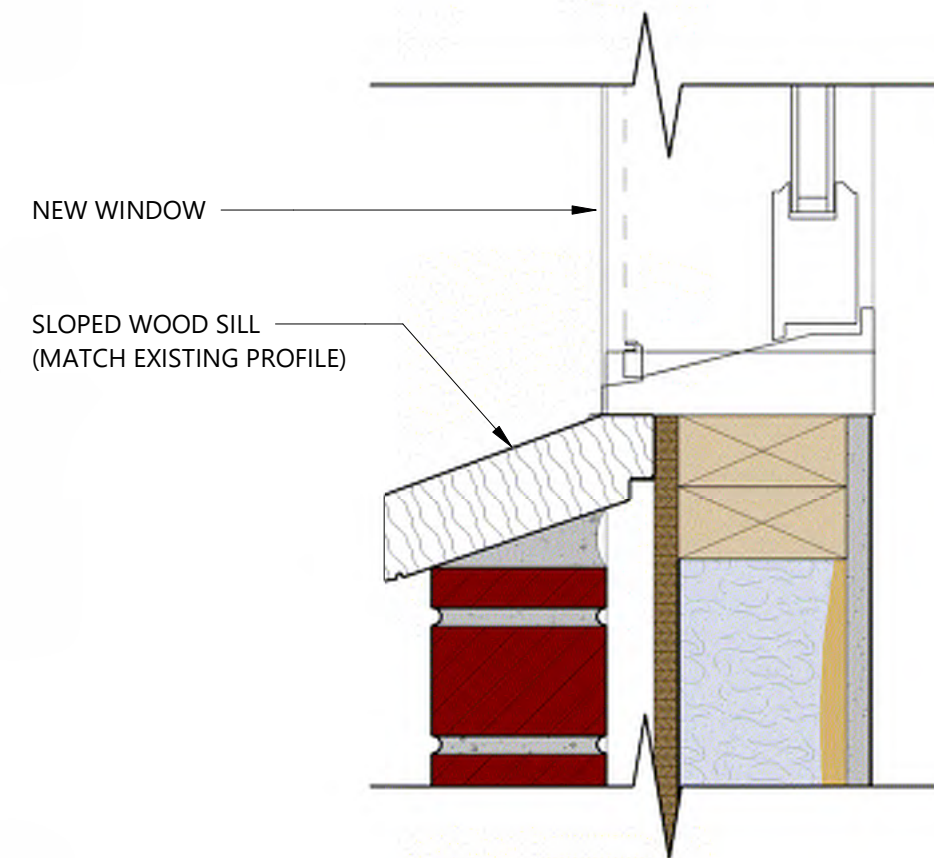
1 Arched Opening Elevation
1/2" = 1'-0"



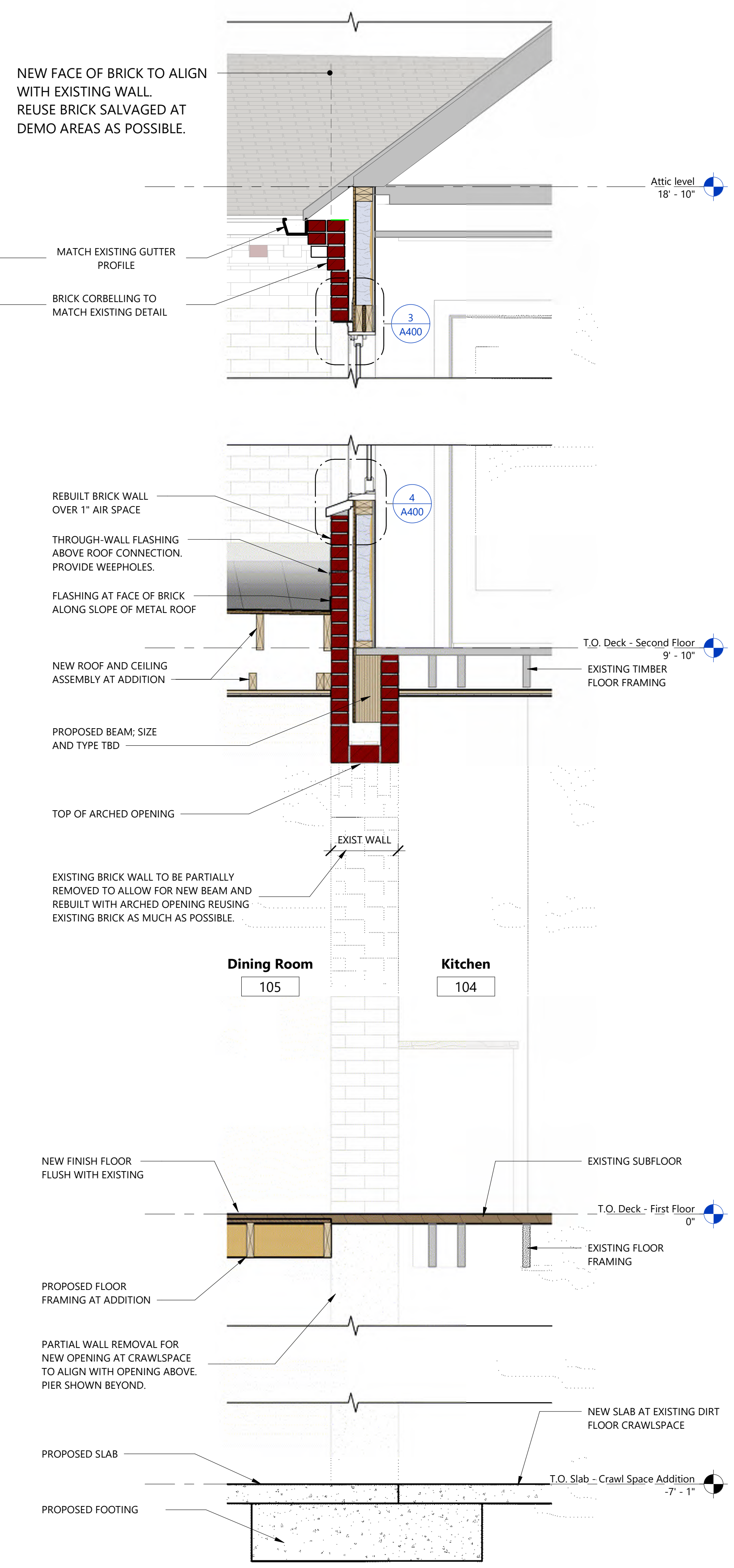
2 Detail @ Gutter
3" = 1'-0"



3 Detail - Window Head
3" = 1'-0"



4 Detail - Window Sill
3" = 1'-0"



5 Wall Section at Proposed Brick Veneer
3/4" = 1'-0"

Revision & Reissue Notes

Rev #	Date	Description

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Portsmouth Historic District Commission

PROJECT NUMBER 24-023

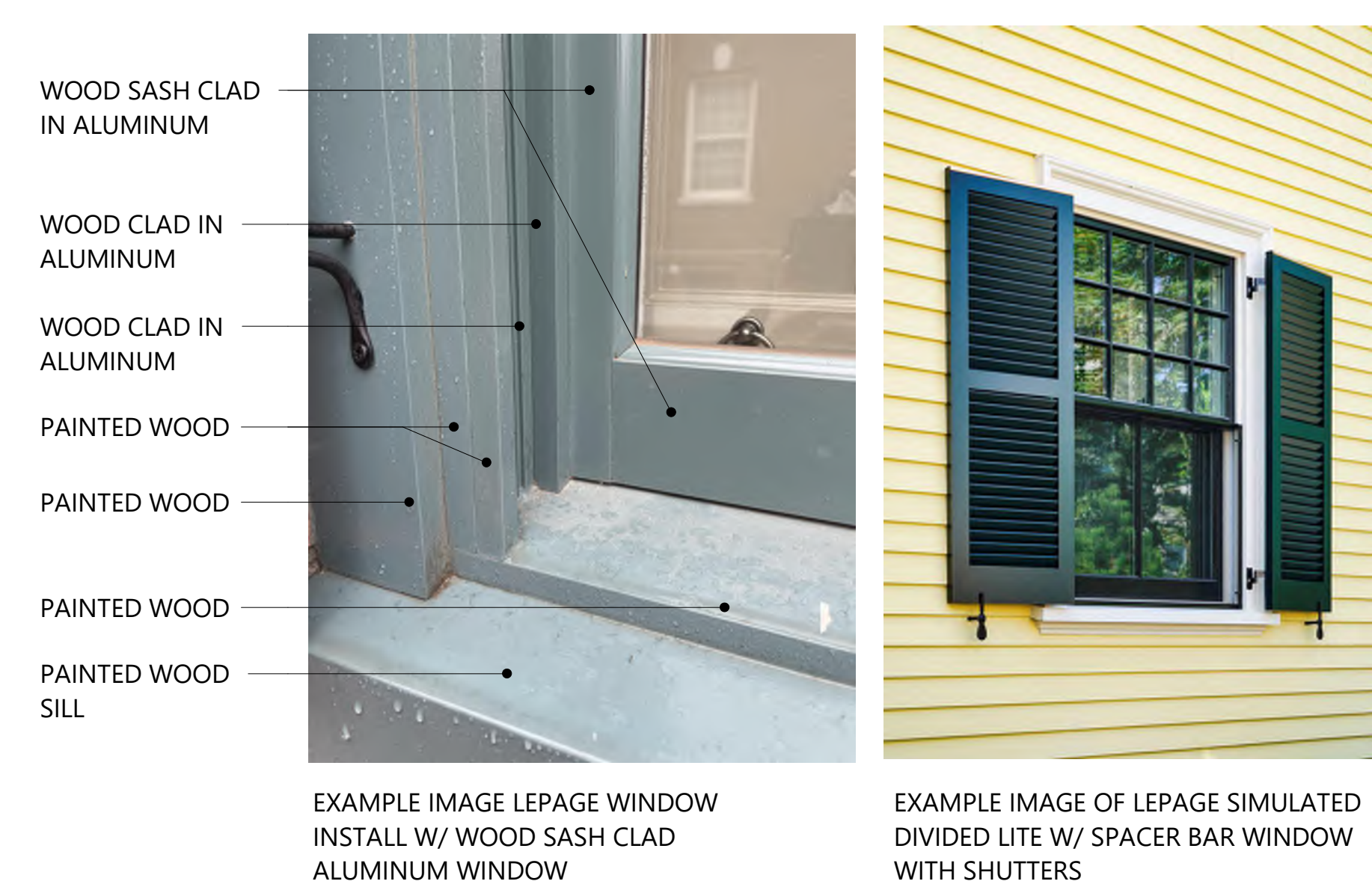
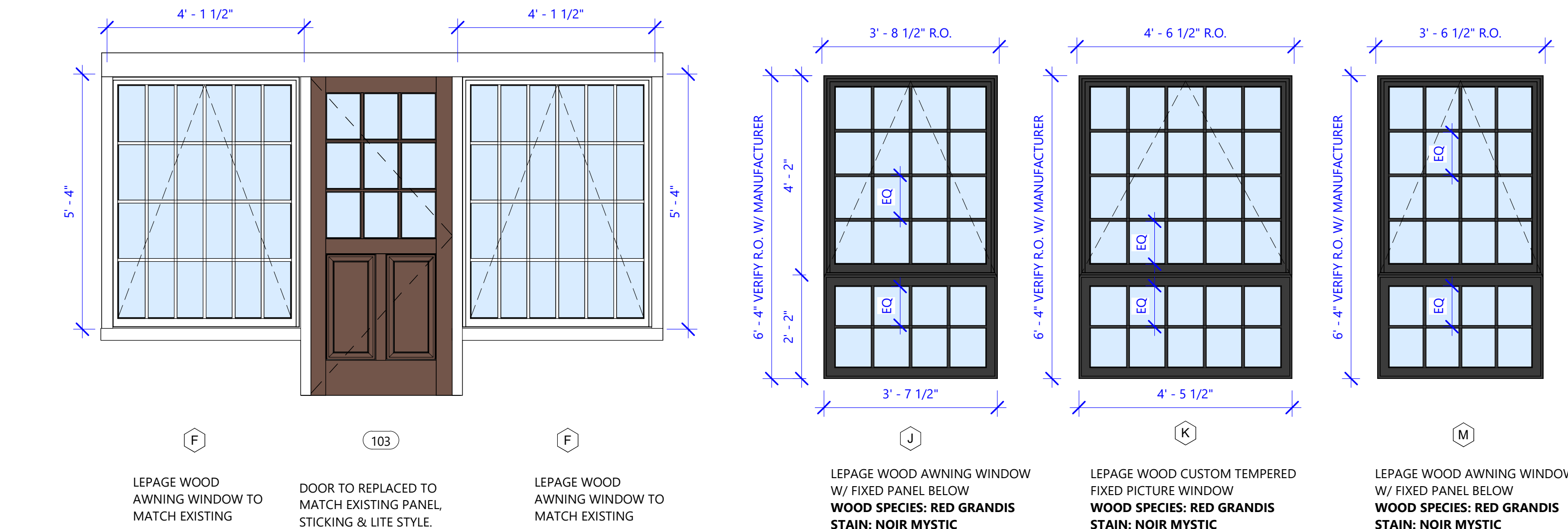
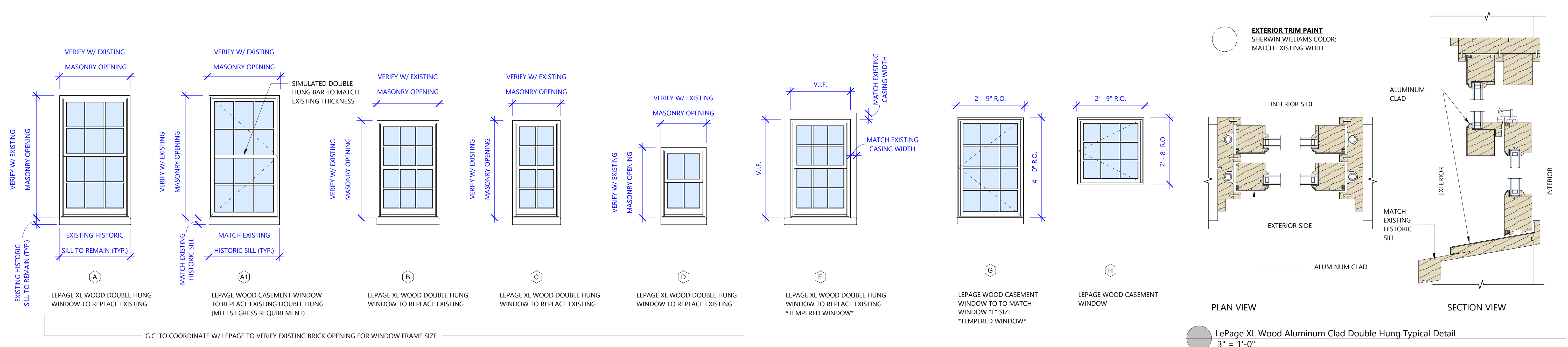
Anthony Residence Renovation
93 State Street
Portsmouth, NH

Wall Sections

A400

Autodesk Docs/Anthony Residence Renovation/Anthony Renovation - Current.rvt

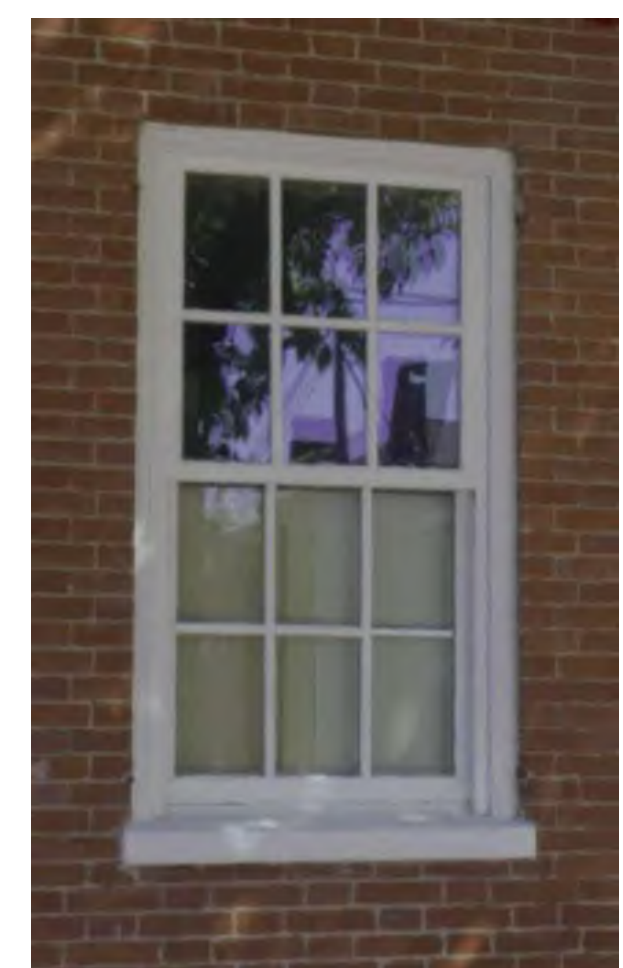
Rev #	Date	Description



- GENERAL WINDOW NOTES:**
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS FOR ARCHITECTS APPROVAL PRIOR TO FABRICATION. ANY CHANGES MADE TO WINDOW DIMENSIONS SHOULD BE REVIEWED AND APPROVED IN WRITING BY THE ARCHITECT PRIOR TO SUBMISSION OF WINDOW SHOW DRAWINGS FOR FINAL APPROVAL.
 - LEPAGE WOOD ALUMINUM CLAD EXTERIOR SASH, PAINTED WHITE TO MATCH EXISTING. RED GRANDIS EXTERIOR WOOD SILL & TRIM PAINTED WHITE TO MATCH EXISTING. RED GRANDIS INTERIOR, PAINT AS SELECTED BY OWNER. NO ATTACHED FACTORY EXTERIOR TRIM. PROVIDE INTEGRAL NAILING FLANGE. INSULATED LOW E GLAZING W/ 7/8" W/ SIMULATED DIVIDED LITE W/ SPACER BAR. GRILLES SPACED TO CREATE EQUAL EXPOSED GLASS DIMENSIONS, U.N.O. FACTORY PROVIDED INTERIOR HARDWARE TO BE DETERMINED.
 - ALL CASEMENT WINDOW SWING TO BE CONFIRMED IN PLAN - CONSULT ARCHITECT PRIOR TO ORDERING.
 - DIMENSIONS SHOWN ON PLANS AND SECTIONS ARE MANUFACTURER'S SUGGESTED R.O. (U.N.O.). DIMENSIONS ON WINDOWS TYPES AND SCHEDULE ARE MANUFACTURER FRAME SIZED (U.N.O.). CONTRACTOR TO VERIFY SIZES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PLACING WINDOW ORDER.
 - CONTRACTOR TO CROSS CHECK WINDOW ROUGH OPENING AND MASONRY OPENING WITH FLOOR PLANS AND SECTION ACCORDING TO MANUFACTURER SUGGESTED SIZES PRIOR TO FRAMING. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR ADDITIONAL R.O. INCREASES AS RECOMMENDED BY MANUFACTURER FOR SILL PAN FLASHING, BITUMINOUS MEMBRANE, ETC. CONSULT W/ ARCHITECT W/ ANY DISCREPANCIES PRIOR TO PLACING WINDOW ORDER.
 - SCREENS:** ALL SCREENS TO BE LEPAGE INVISIBLE MESH
DOUBLE HUNG WINDOWS: PROVIDE HALF SCREEN FOR LOWER SASH
AWNINGS: PROVIDE FULL SCREEN
CASEMENTS: PROVIDE FULL SCREEN



HISTORICAL PHOTO - STATE STREET - CIRCA 1970s



EXISTING DOUBLE HUNG WINDOW W/ WOOD TRIM & SILL

Autodesk Docs://Anthony Residence Renovation/Anthony Renovation - Current.rvt



HISTORICAL PHOTO - CORNER OF STATE AND CHAPEL - CIRCA 1970s



EXISTING DOOR 100 AT CHAPEL STREET



EXISTING DOOR 101 AT CHAPEL STREET



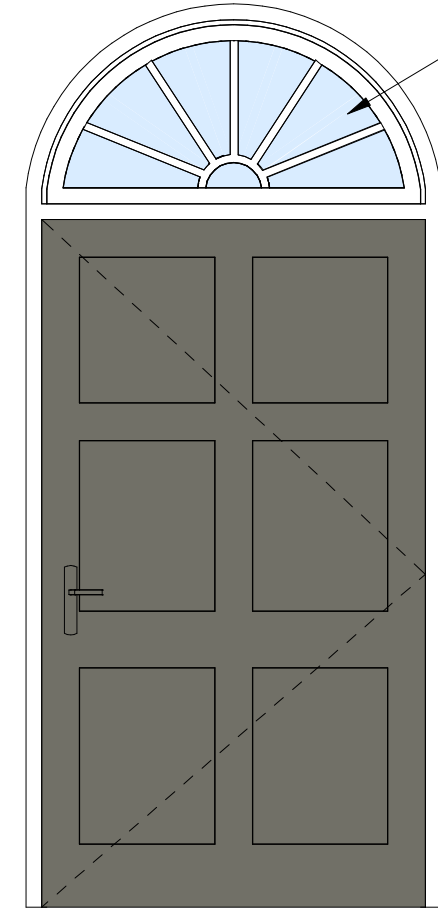
EXISTING DOOR 103 & WINDOW F ASSEMBLY
CURRENT DOOR AND FRAME ALLOWS LIGHT, AIR AND WATER TO INFILTRATE



EXISTING CHAPEL STREET DOOR



EXISTING STATE STREET DOOR

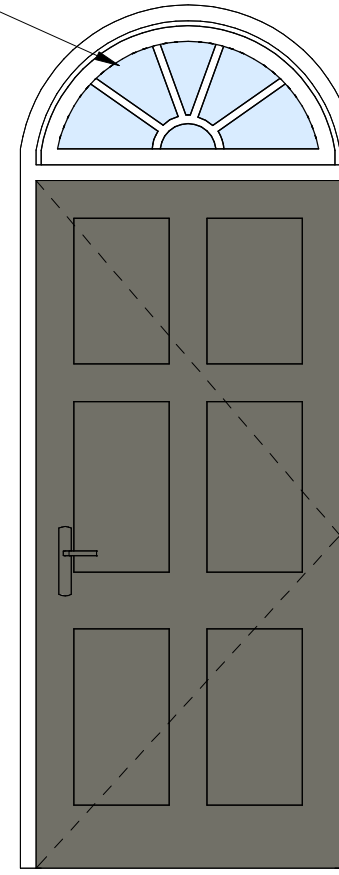


100

DOOR TO REPLACED TO MATCH EXISTING PANEL, STICKING & LITE STYLE.

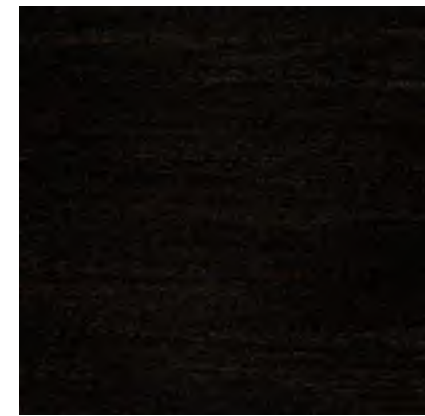


WOOD SPECIES: RED GRANDIS
STAIN: NOIR MYSTIC



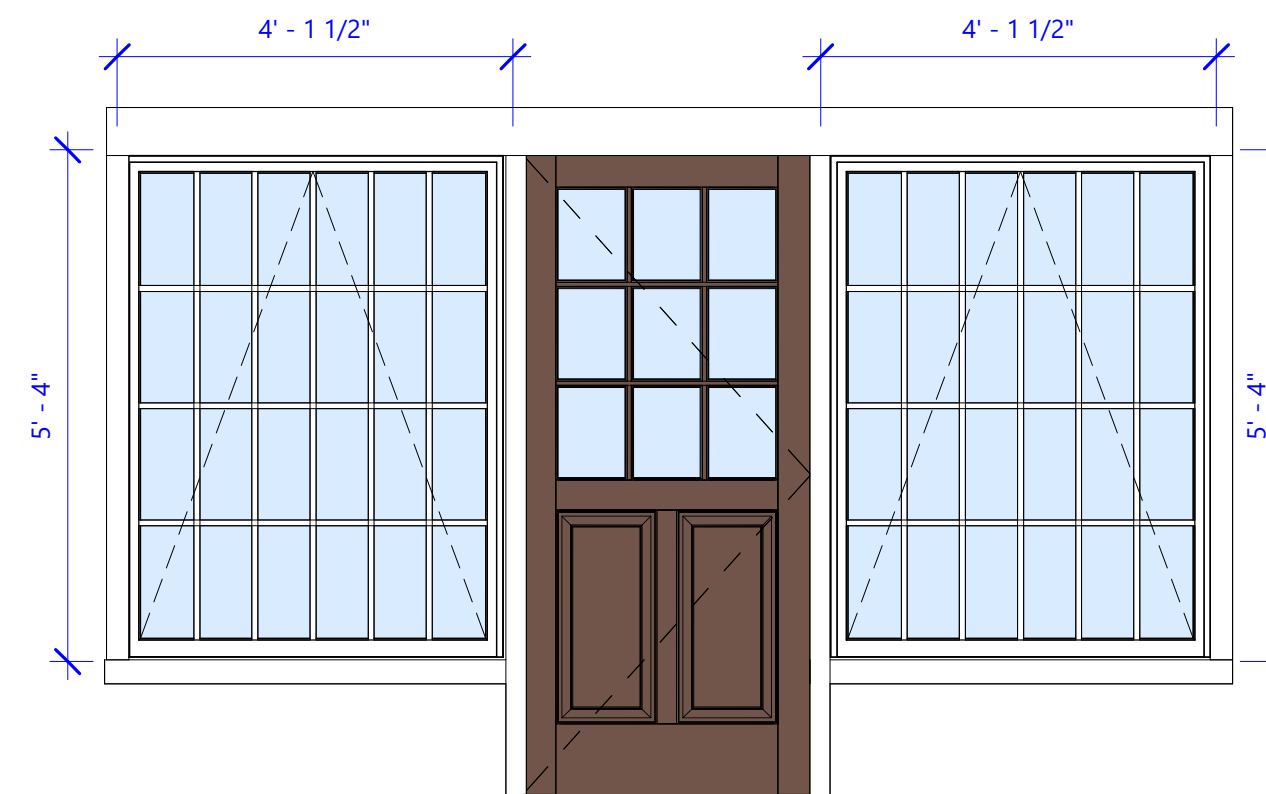
101

DOOR TO REPLACED TO MATCH EXISTING PANEL, STICKING & LITE STYLE.



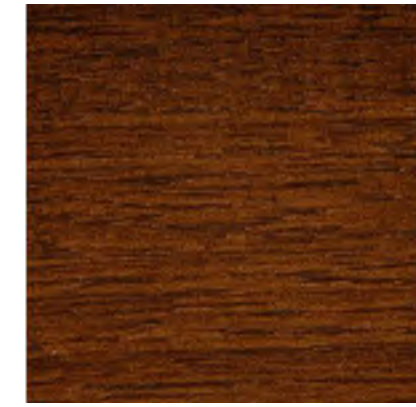
WOOD SPECIES: RED GRANDIS
STAIN: NOIR MYSTIC

EXISTING HALF ROUND TRANSOM TO MATCH EXISTING



F

LEPAGE WOOD AWNING WINDOW TO REPLACE EXISTING (MATCH EXISTING OPENING SIZE)



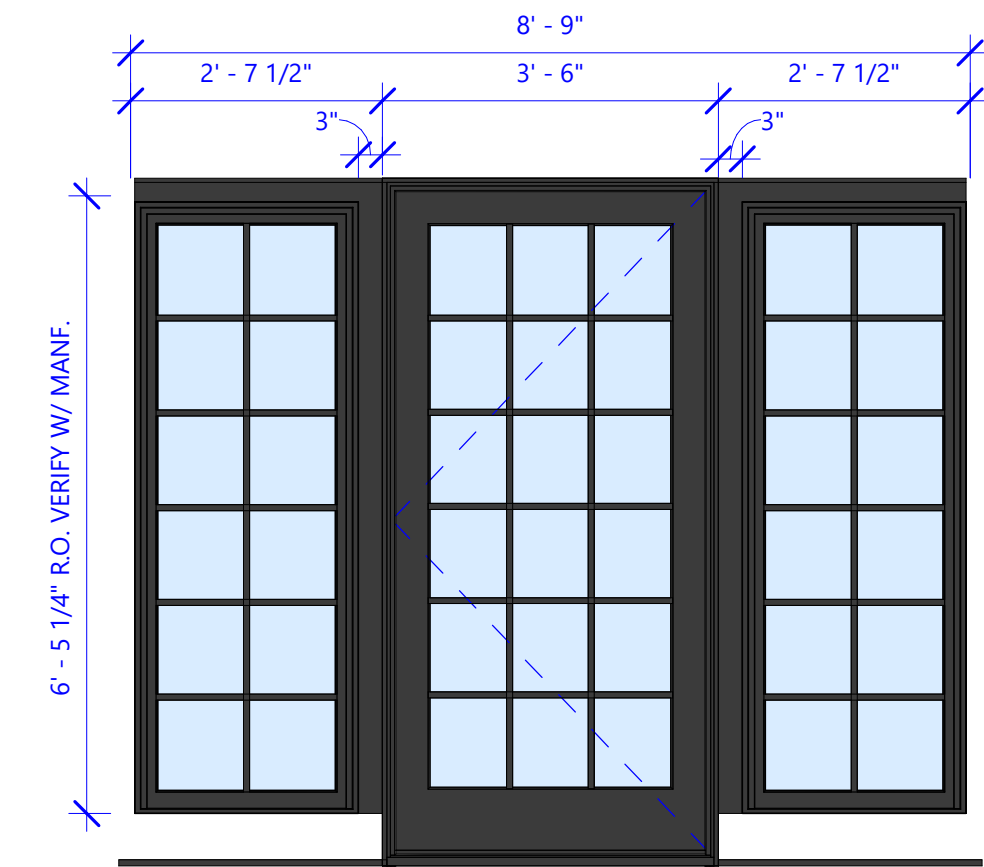
WOOD SPECIES: RED GRANDIS
STAIN: WHISKEY

103

DOOR TO REPLACED TO MATCH EXISTING PANEL, STICKING & LITE STYLE.

F

LEPAGE WOOD AWNING WINDOW TO REPLACE EXISTING (MATCH EXISTING OPENING SIZE)



L

104

L

6' - 5 1/4" R.O. VERIFY W/ MANF.

LEPAGE WOOD TEMPERED PICTURE WINDOW & FRENCH INSWING DOOR
WOOD SPECIES: RED GRANDIS
STAIN: NOIR MYSTIC

Rev #	Date	Description



Anthony Residence Renovation

Exterior Rendering - View from State Street

93 State Street
Portsmouth, NH

09/20/2024

TMS
architects
interiors

R900



Anthony Residence Renovation

93 State Street
Portsmouth, NH

Exterior Rendering - View from Chapel Street

09/20/2024

TMS
architects
interiors

R901



Anthony Residence Renovation

Exterior Rendering - View from Courtyard

93 State Street
Portsmouth, NH

09/20/2024

TMS
architects
interiors

R902



Anthony Residence Renovation

Exterior Rendering - View from State Street towards Chapel

93 State Street
Portsmouth, NH

09/20/2024