

**PLANNING BOARD  
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS  
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

**7:00 PM Public Hearings begin**

**October 17, 2024**

**AGENDA**

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**REGULAR MEETING 7:00pm**

**I. APPROVAL OF MINUTES**

A. Approval of the September 19, 2024 Meeting Minutes.

**II. DETERMINATION OF COMPLETENESS -SITE PLAN REVIEW**

A. The request of **HPII Boston Portsmouth LLC (Owner), Hammes Realty Services, LLC (Applicant)**, for property located at **1900 Lafayette Road** requesting amended site plan for the addition of a new parking area with associated site improvements including storm water, landscaping and lighting. Said property is located on Assessor Map 267 Lot 8 and lies within the Gateway Corridor (G1) District. (LU-24-148)

**III. PUBLIC HEARINGS -- OLD BUSINESS**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

A. **POSTPONED TO JANUARY 2025** The request of **Matt Ball and Andrea Fershtam (Owners)**, for property located at **252 Wibird Street** requesting a Conditional Use Permit from Section 10.814 for the conversion of an existing accessory structure into a Detached Accessory Dwelling Unit (DADU) that does not conform with the dimensional requirements of the Ordinance. Said property is located on Assessor Map 149 Lot 12 and lies within the General Residence A (GRA) District.  
**POSTPONED TO JANUARY 2025 (LU-24-137)**

**IV. PUBLIC HEARINGS – NEW BUSINESS**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

- B.** The request of **HPII Boston Portsmouth LLC (Owner), Hammes Realty Services, LLC (Applicant)**, for property located at **1900 Lafayette Road** requesting amended site plan for the addition of a new parking area with associated site improvements including storm water, landscaping and lighting. Said property is located on Assessor Map 267 Lot 8 and lies within the Gateway Corridor (G1) District. (LU-24-148)
  
- C.** Proposed Ordinance Amending Chapter 10, Article 6 - Overlay Districts, Section 10.680 – Gateway Neighborhood Overlay District, by Establishing a New Incentive Overlay District Allowing for Higher Density Housing. Affected parcels are listed on Assessor Map/Lot:


<b>0213-0001-0000</b>	<b>0216-0001-0005</b>
<b>0213-0002-0000</b>	<b>0216-0001-0008</b>
<b>0213-0011-0000</b>	<b>0216-0001-0009</b>
<b>0213-0012-0000</b>	<b>0216-0001-0010</b>
<b>0214-0003-0000</b> ( <i>portion of</i> )	<b>0216-0001-0011</b>
<b>0216-0001-0001</b>	<b>0216-0001-008A</b>
<b>0216-0001-0002</b>	<b>0217-0002-1819</b>
<b>0216-0001-0004</b>	<b>0217-0002-1975</b>
  
- D.** The request of **Scott Rafferty (Owner)**, to remove **185 Orchard Street** from The Historic District. Said property is located on Assessor Map 152 Lot 2-1 and lies within the Historic and General Residence A (GRA) Districts.

**V. CITY COUNCIL REFERRALS**

- A. Gateway Neighborhood Overlay District (GNOD) – see above**
  
- B. 185 Orchard Street – see above**
  
- C. 165 & 177 Bartlett Street – Sidewalk & Temporary Construction Easements**

**VI. OTHER BUSINESS**

- A.** Presentation from Portsmouth High School Student ACE (Architecture, Construction, Engineering) Mentorship Club
  
- B. 2 Russell Street** – Requesting a second one-year extension of the Site Plan Approval, through December 15, 2025.
  
- C.** Chairman updates and discussion items
  
- D.** Board discussion of Regulatory Amendments, Master Plan Scope & other matters

**VII. ADJOURNMENT**

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_fd0HfGi3Qyydae32K0s11A](https://us06web.zoom.us/webinar/register/WN_fd0HfGi3Qyydae32K0s11A)



City of Portsmouth  
Planning Department  
1 Junkins Ave, 3<sup>rd</sup> Floor  
Portsmouth, NH  
(603)610-7216

Memorandum

To: Planning Board

From: Peter Stith, AICP  
Planning Manager

Date: October 17, 2024

Re: Recommendations for the October 17 2024 Planning Board Meeting

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## I. APPROVAL OF MINUTES

A. Approval of the September 19, 2024 meeting minutes.

### Planning Department Recommendation

1) Board members should determine if the draft minutes include all relevant details for the decision-making process that occurred at the September 19, 2024 meeting and vote to approve meeting minutes with edits if needed.

## II. DETERMINATION OF COMPLETENESS

### SITE PLAN REVIEW

A. The request of **HPH Boston Portsmouth LLC (Owner), Hammes Realty Services, LLC (Applicant)**, for property located at **1900 Lafayette Road** requesting amended site plan for the addition of a new parking area with associated site improvements including storm water, landscaping and lighting. Said property is located on Assessor Map 267 Lot 8 and lies within the Gateway Corridor (G1) District. (LU-24-148)

### Planning Department Recommendation

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1) Vote to determine that Item A is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Section IV of the agenda) and to accept the application for consideration.

### III. PUBLIC HEARINGS – OLD BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

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- A.** The request of Matt **Ball** and **Andrea Fershtam (Owners)**, for property located at **252 Wibird Street** requesting a Conditional Use Permit from Section 10.814 for the conversion of an existing accessory structure into a Detached Accessory Dwelling Unit (DADU) that does not conform with the dimensional requirements of the Ordinance. Said property is located on Assessor Map 149 Lot 12 and lies within the General Residence A (GRA) District. (LU-24-137)

**\*\*Application has been postponed to January 2025 meeting.\*\***

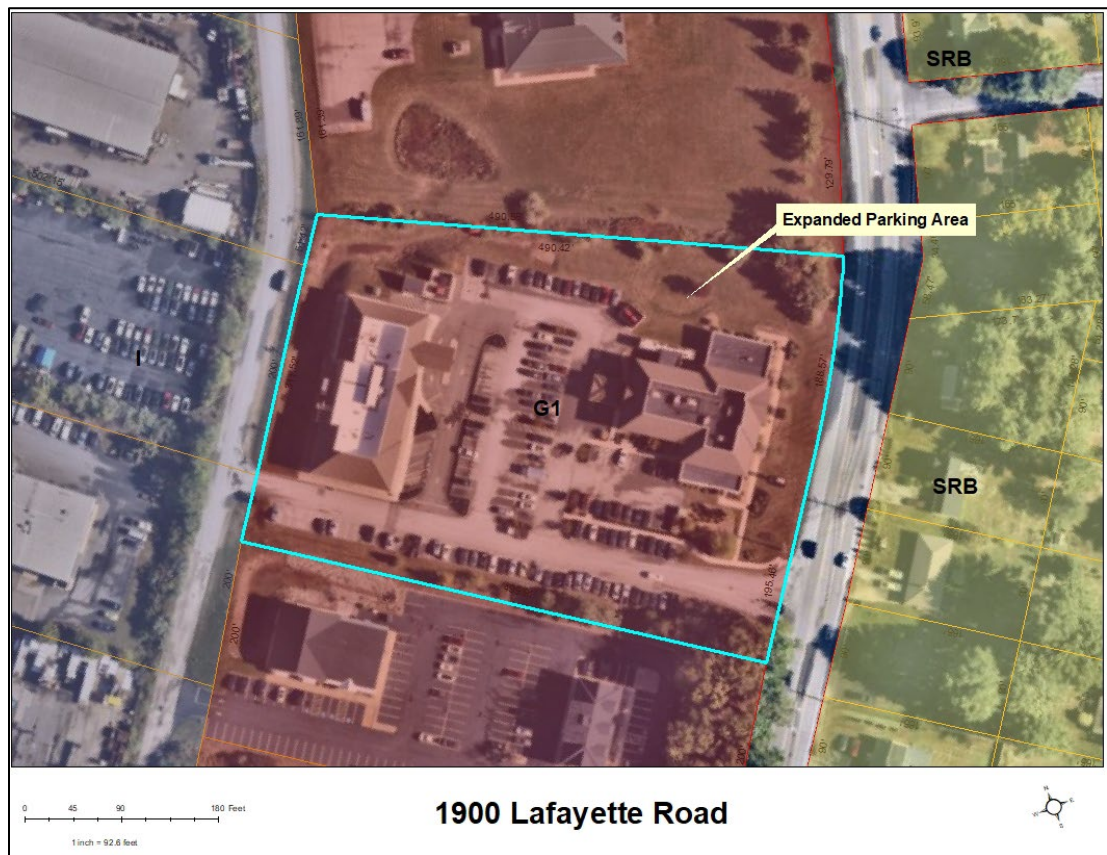
#### IV. PUBLIC HEARINGS – NEW BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

- A. The request of **HPH Boston Portsmouth LLC (Owner), Hammes Realty Services, LLC (Applicant)**, for property located at **1900 Lafayette Road** requesting amended site plan for the addition of a new parking area with associated site improvements including storm water, landscaping and lighting. Said property is located on Assessor Map 267 Lot 8 and lies within the Gateway Corridor (G1) District. (LU-24-148)

#### Background

This application proposes addition of a new parking area to the north of the existing building that has frontage on Lafayette Road. The parking area will add 18 new spaces to the site, which increases the on-site parking to the maximum permitted at 156 spaces before a conditional use permit is required. The amendment also includes relocation of the dumpster and additional stormwater management infrastructure underneath the new parking area.



**Project Review, Decisions, and Recommendations**

The applicant was before the Technical Advisory Committee. See below for details.

**Technical Advisory Committee**

The applicant was before the Technical Advisory Committee at its regularly scheduled meeting of Tuesday, October 1, 2024 and voted to recommend amended site plan approval to the Planning Board with the following 2 conditions.

1. Applicant remove notes on blue paint for parking stalls in final plan set.
2. Applicant include updated open space plan in final plan set.

***Both conditions have been met in the Planning Board submission.***

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**Planning Department Recommendation**

**Amended Site Plan Review**

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**Site Plan Approval**

- 1) *Vote to find that the Site Plan Application meets the requirements set forth in the Site Plan Regulations Section 2.9 Evaluation Criteria and adopt the findings of fact as presented.*

*(Alt.) Vote to find that the Site Plan Application meets the requirements set forth in the Site Plan Regulations Section 2.9 Evaluation Criteria and adopt the findings of fact as amended.*

- 2) *Vote to grant Amended Site Plan Approval.*
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**IV. PUBLIC HEARINGS – NEW BUSINESS**

*The Board’s action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

**B. Proposed Ordinance Amending Chapter 10, Article 6 - Overlay Districts, Section 10.680 – Gateway Neighborhood Overlay District, by Establishing a New Incentive Overlay District Allowing for Higher Density Housing.**

Affected parcels are listed on Assessor Map/Lot:

0213-0001-0000	0216-0001-0005
0213-0002-0000	0216-0001-0008
0213-0011-0000	0216-0001-0009
0213-0012-0000	0216-0001-0010
0214-0003-0000 (Portion of)	0216-0001-0011
0216-0001-0001	0216-0001-008A
0216-0001-0002	0217-0002-1819
0216-0001-0004	0217-0002-1975

Background

The proposed Gateway Neighborhood Overlay District (GNOD) is an innovative overlay district that will allow for higher density housing development by right in targeted areas in Portsmouth. The GNOD incorporates and expands upon the requirements from Article 5B to allow greater flexibility in site design and density. The overlay will include parcels along Commerce Way and Portsmouth Boulevard that are predominantly zoned Office Research (OR). The overlay could be expanded elsewhere in the City where appropriate higher density housing is targeted or desired in the future. The proposed boundary of the GNOD is shown on the maps below. This area was considered to be rezoned to Gateway by both the Land Use Committee and the Housing Committee. The Housing Committee, at their September 19<sup>th</sup> meeting, reviewed the GNOD and voted to support the adoption of the new overlay.

As proposed, developments within the GNOD would allow 80 units per building up to 5 stories with the requirement to provide public realm improvements consistent with Section 10.5B73.20. A development that exceeds 80 units per building or 5 stories would require both public realm improvements and three options for workforce housing that include constructing workforce housing units within the development, payment in-lieu of or a land donation as outlined in the draft ordinance. The table from the draft ordinance below shows the incentive options.



<b>10.686.10 Table 1: Optional Density Bonus Incentives Maximums (If Requirements Are Met)</b>			
<b>Incentive Option</b>	<b>Building Height Stories/Feet</b>	<b>Dwelling Units/Building</b>	<b>Approval Requirements</b>
<b>For All GNOD Developments over 4 Stories, 50 Feet and 24 Units Per Building:</b>			
<b>10.686.10 Public Realm Improvements</b>	5/68	80	Director of Planning and Sustainability
<b>And For Additional Height and Density, One of the Following :</b>			
<b>10.686.20 Workforce Housing</b>	6/80	120	Conditional Use Permit by the Planning Board
<b>10.686.20 Payment in Lieu</b>	6/80	120	Conditional Use Permit by the Planning Board
<b>10.686.30 Land Transfer</b>	6/80	120	City Council Approval

The GNOD provides additional development flexibility by reducing setbacks, increasing coverage allowance and building length (up to 400 feet where 200 currently exists), and exempting developments within the GNOD from certain sections of Article 5B below:

10.5B22.20 – Building Stepback – requirement to step building height back from ROW.

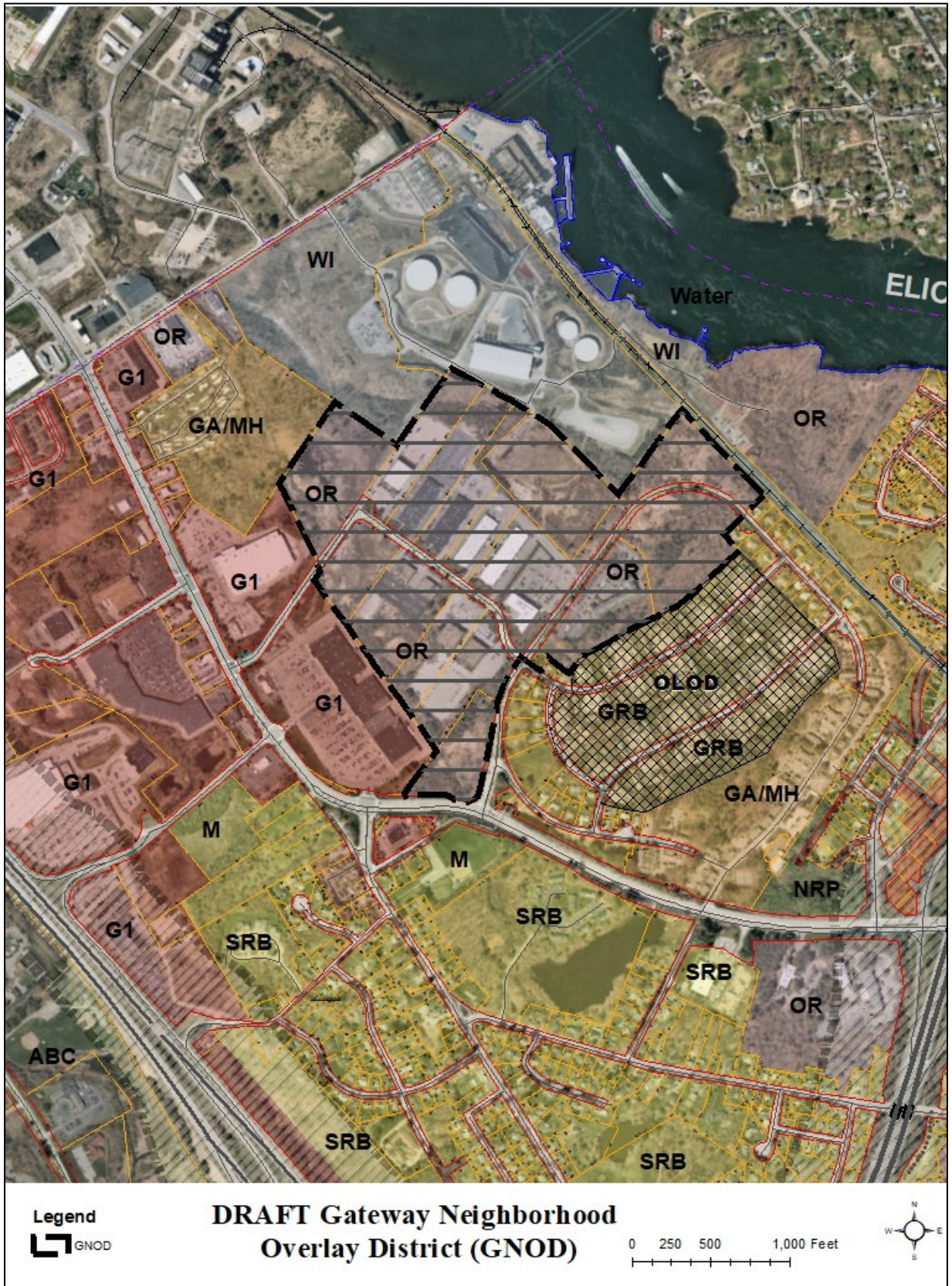
10.5B22.30 – Building Setbacks and Separation – requires 10 ft. setback between buildings (note: will still need to comply with building code)

10.5B22.40 – Special Setback Requirements on Lafayette Rd. – developments on Lafayette Rd. setback 70 – 90 ft. from centerline; on Rt. 1 Bypass – min. setback of 30 ft. – max. 50 ft. from sideline)

10.5B33 - Building Placement and Orientation – section relates to front lot line buildout and façade orientation.

10.5B71 – Residential Density – specifies dwelling units per acre

Parking requirements are unchanged with the exception of allowing shared parking on separate lots without the requirement of a Conditional Use Permit, which is currently required. Development within the GNOD will also be exempt from Section 10.1113, which addresses setbacks from lot lines and location of parking facilities on a lot.





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<b>Property ID</b>	<b>Site Address</b>	<b>Owner Name</b>
0213-0001-0000	GOSLING ROAD	290 GOSLING RD LLC
0213-0002-0000	100 PORTSMOUTH BLVD	NEP PORTSMOUTH (NH) OWNER LLC
0213-0011-0000	DUNLIN WAY	GSP SCHILLER LLC
0214-0003-0000	300 GOSLING RD	PUBLIC SERVICE CO OF NH
0216-0001-0001	COMMERCE WAY	150 COMMERCE WAY LLC
0216-0001-0002	170 COMMERCE WAY	COMMERCE CENTER AT PORTSMOUTH
0216-0001-0004	210 COMMERCE WAY	210 COMMERCE WAY LLC
0216-0001-0005	230 COMMERCE WAY	230 COMMERCE WAY LLC
0216-0001-0008	195 COMMERCE WAY	195 COMMERCE WAY LLC
0216-0001-0009	175 COMMERCE WAY	ONE HUNDRED SEVENTY FIVE COMM RD LLC
0216-0001-0010	155 COMMERCE WAY	FIRST CITIZENS BANK & TRUST CO
0216-0001-0011	135 COMMERCE WAY	135 COMMERCE WAY LLC
0216-0001-008A	215 COMMERCE WAY	BEACON HARBOR TRUST LLC
0217-0002-1819	1 OSPREY DR	BRORA LLC
0213-0012-0000	DUNLIN WAY	BRORA LLC
0217-0002-1975	SHEARWATER DR	BRORA LLC

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**Planning Department Recommendation**

*1) Vote to recommend the City Council hold second reading on the proposed GNOD zoning amendments.*

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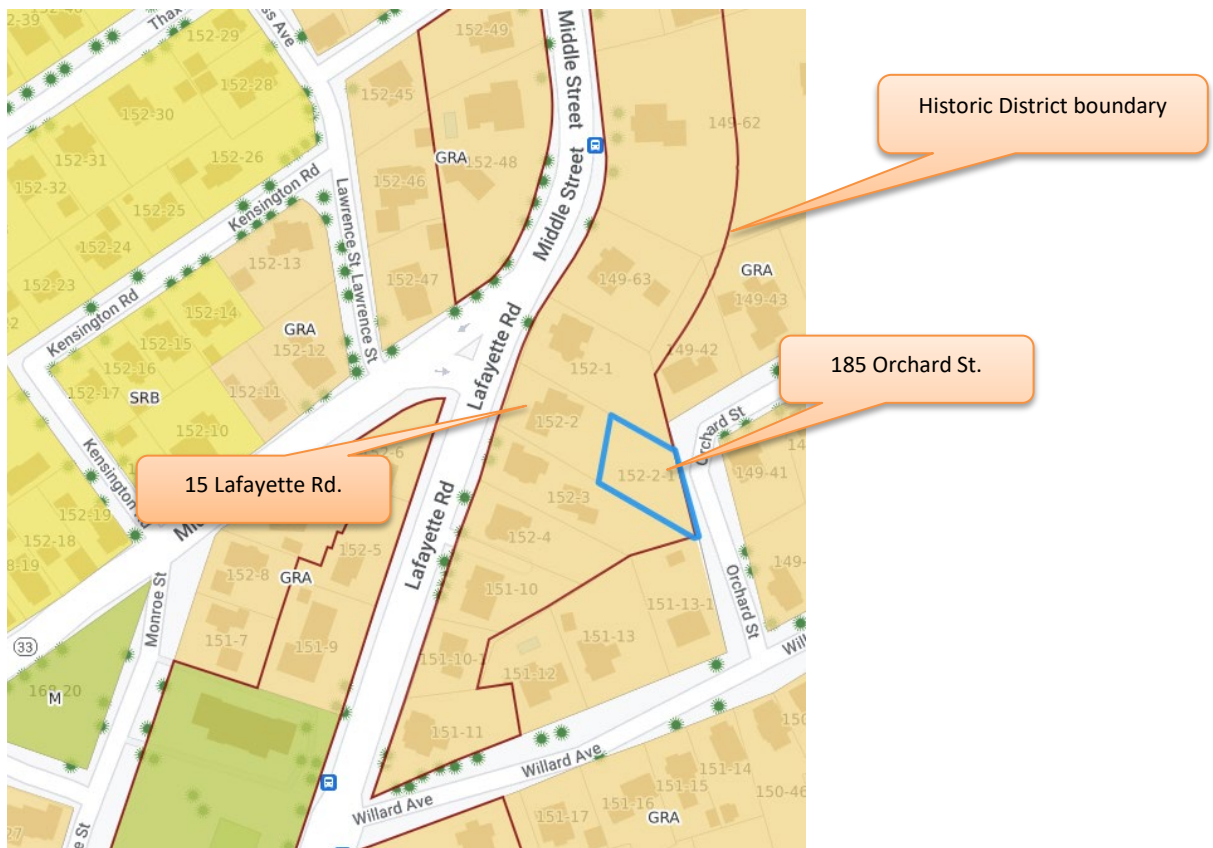
#### IV. PUBLIC HEARINGS – NEW BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

- C. The request of **Scott Rafferty (Owner)**, to remove **185 Orchard Street** from The Historic District. Said property is located on Assessor Map152 Lot 2-1 and lies within the Historic and General Residence A (GRA) Districts.

#### Project Background

The subject property was created recently through a subdivision of 15 Lafayette that was approved by the Planning Board on July 20, 2023. The original lot had frontage on Lafayette Road and Orchard Street and is located in the Historic District. The Historic District along Lafayette and Middle Street follows parcel boundary lines and includes the parcel fronting on those streets as shown in the image below. Now that the lot has been subdivided, the frontage is located on Orchard Street, where no other property falls within the Historic District. A zoning map amendment is necessary in order to change the boundary of the Historic District.



City Council referred the matter to the Planning Board and the Historic District Commission at their October 7, 2024 meeting per their action below:

19. Letter from Jessie & Scott Rafferty requesting their residence be removed from the Historic District  
– **Voted** to refer the amendment of the zoning map, removing 185 Orchard Street from the Historic District to the Planning Board and the Historic District Commission for reports back to the City Council.

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**Planning Department Recommendation**

**Recommend the City Council remove 185 Orchard Street from the Historic District.**

**V. CITY COUNCIL REFERRALS [NOTE: ANY REFERRALS REQUIRING PUBLIC HEARING SHOULD BE INCLUDED ABOVE]**

- A. Gateway Neighborhood Overlay District (See Item B Above)
- B. 185 Orchard Street (See Item C Above)
- C. Sidewalk Easements on Properties located at 177 and 165 Barlett Street

See attached memo from Deputy City Attorney McCourt on the sidewalk and temporary construction easements on these two properties.

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***Planning Department Recommendation***

*Recommend the City Council accept sidewalk and temporary construction easements from property owners at 177 and 165 Bartlett Street.*

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## VI. OTHER BUSINESS

- A. Presentation from Portsmouth High School Student ACE (Architecture, Construction, Engineering) Mentorship Club
  
- B. **2 Russell Street** – Requesting a second one-year extension of the Site Plan Approval, through December 15, 2025.

### Background

The applicant is seeking a second, one-year extension of the site plan approval originally granted on December 15, 2023. The lot line relocation plan was recorded on June 13, 2024 and the applicant is working on the post approval conditions and has submitted a foundation permit. The applicant is going before the Board of Adjustment for dimensional relief for the parking layout, which will increase the number of parking spaces by 6 spaces. As per the site plan regulations, a second extension requires going before TAC and the Planning Board with the original plan set and to identify any changes. The applicant was before TAC at their October 8<sup>th</sup> meeting and the Committee confirmed nothing has changed with the exception of the parking layout and supported a second extension of the site plan without the need for another public hearing. The CUPs for this project will expire in December and are not eligible for another extension.

### Section 2.14 Approval Expiration and Extension

1. Site plan approval by the Planning Board shall expire unless used (obtain a Building Permit) within a period of one (1) year from the date granted.
2. The Planning Board may, for good cause shown, extend such period by as much as one (1) year if requested and acted upon prior to the expiration date.
3. If additional one (1) year extensions are requested, the owner will be required to have the previously approved plans reviewed by the TAC and the Planning Board. For this review the owner shall provide to the Planning Department the previously approved plans and supporting data.
4. Upon review of a request for an extension, the Planning Board shall have the authority to amend or deny a previously approved application. This review shall not require an application fee; however, the Planning Board and/or TAC may, if deemed necessary by either chair, conduct a public hearing at the owner's expense.



5. A time extension shall be granted if determined that no change has taken place that would materially affect the currently approved site plan in regard to:
  - (a) Traffic flow, volume, or congestion;
  - (b) Pedestrian safety;
  - (c) Drainage;
  - (d) Water availability;
  - (e) Sewer capacity;
  - (f) Design standards;
  - (g) Landscape elements; and
  - (h) Zoning compliance.
  
6. The Planning Board shall not deny a request for an extension without first having held a public hearing.

Conditional Use Permits can only be extended for one year only with no other option for additional extensions per Section 10.246.10 below:

**10.246 Expiration and Abandonment of Approvals**

10.246.10 A conditional use permit shall expire unless a **building permit** is obtained within a period of one year from the date granted, unless otherwise stated in the conditions of approval. The **Board** may, for good cause shown, extend such period by as much as one year if such extension is requested and acted upon prior to the expiration date. No other extensions may be requested.

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**Planning Department Recommendation**

*Vote to grant a second one-year extension of the site plan to December 15, 2025.*

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**C. Chairman's Updates and Discussion Items**

**D. Board Discussion of Regulatory Amendments and Other Matters**

Upcoming meeting dates:

October 24, 2024: possible work session School Board Conference Room 6 pm

November 12, 2024: CIP joint work session with City Council

November 18, 2024: CIP joint public hearing with City Council

November 21, 2024: Regular November meeting

**VII. ADJOURNMENT**

**PLANNING BOARD  
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS  
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

**7:00 PM Public Hearings begin**

**September 19, 2024**

**MEMBERS PRESENT:** Rick Chellman, Chairman; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Andrew Samonas; Anthony Coviello; and William Bowen, Alternate

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**ALSO PRESENT:** Peter Stith, Planning Department Manager

**MEMBERS ABSENT:** Greg Mahanna, Vice Chair; James Hewitt; Paul Giuliano

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Chair Chellman called the meeting to order at 7:00 p.m. Alternate William Bowen took a voting seat for the evening.

**I. APPROVAL OF MINUTES**

A. Approval of the **August 15, 2024** Meeting Minutes.

Chair Chellman requested a correction to the minutes. On page 10, first paragraph, last sentence, the word ‘without’ was changed to ‘within, so that the sentence now reads: He said the ADU should be done within the existing structure.

*Mr. Coviello moved that the Board approve the August 15 minutes as amended, seconded by Ms. Conard. The motion **passed** with all in favor.*

**II. DETERMINATIONS OF COMPLETENESS**

**SITE PLAN REVIEW**

A. The request of **Portsmouth Lumber & Hardware (Owner); Ricci Lumber (Applicant)**, for property located at **105 Bartlett Street** requesting Site Plan Review Approval for the demolition of existing sheds and construction of two new storage sheds with associated site improvements. Said property is located on Assessor Map 157 Lot 2 and lies within the Character District 4 (CD4-W).

*Councilor Moreau moved that the Board determine that Item A is complete according to the Site Plan Review Regulations (contingent on the granting of any required waivers under Section IV of the agenda) and to accept the application for consideration. Ms. Conard seconded. The motion **passed** with all in favor.*

### III. PUBLIC HEARINGS -- OLD BUSINESS

- A. REQUEST TO WITHDRAW** The request of **Samuel Holman and Kristina Schneider Holman (Owners)**, for property located at **271 Lafayette Road** requesting a Conditional Use Permit from Section 10.814 for the construction of a new Detached Accessory Dwelling Unit (DADU). Said property is located on Assessor Map 230 Lot 18 and lies within the Single Residence B (SRB) District. **REQUEST TO WITHDRAW (LU-24-138)**

*The Board acknowledged that the applicant withdrew the application.*

- B. REQUEST TO POSTPONE** The request of **Matt Ball and Andrea Fershtam (Owners)**, for property located at **252 Wibird Street** requesting a Conditional Use Permit from Section 10.814 for the conversion of an existing accessory structure into a Detached Accessory Dwelling Unit (DADU) that does not conform with the dimensional requirements of the Ordinance. Said property is located on Assessor Map 149 Lot 12 and lies within the General Residence A (GRA) District. (LU-24-137)

### DECISION OF THE BOARD

*Councilor Moreau moved that the Board grant the request to postpone to the January 2025 meeting. Mr. Coviello seconded. The motion **passed** with all in favor.*

### IV. PUBLIC HEARINGS – NEW BUSINESS

- A.** The request of **Peter and Amy Lalime (Owners)**, for property located at **1004 Greenland Road** requesting a Conditional Use Permit from Section 10.814 for the construction of a new Detached Accessory Dwelling Unit (DADU). Said property is located on Assessor Map 262 Lot 8 and lies within the Single Residence B (SRB) District. (LU-24-29)

### SPEAKING TO THE PETITION

[Timestamp 9:24] The applicants/owners Peter and Amy Lalime were present. Ms. Lalime said they were requesting a two-car garage with a living space above. She said they were on a dead-end road abutting I-95 with no traffic other than the few homes on the road.

[Timestamp 11:15] Councilor Moreau asked if there was currently a garage on the property. Ms. Lalime said the 1930s garage was more like a shed because a car could not fit into it. Councilor Moreau asked if the proposed garage would have a 750-sf unit above. Mr. Stith said it would actually be 724 square feet, so the applicant needed a modification from the footprint. Mr. Samonas asked if the back neighbor shared the. Ms. Lalime said the neighbor had a right-of-way.

Chair Chellman opened the public hearing.

### SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Chellman closed the public hearing.

## **DECISION OF THE BOARD**

1) *Councilor Moreau moved that the Board find that the Conditional Use Permit Application meets the requirements set forth in Section 10.814.62 of the Ordinance and adopt the findings of fact as presented. Ms. Conard seconded. The motion **passed** with all in favor.*

2) *Councilor Moreau moved that the Board grant the following **modification**:*

*2.1) Modification from Section 10.814.434 to allow a building footprint of 777 square feet where 750 is the maximum allowed.*

*Ms. Conard seconded.*

[Timestamp 13:52] Councilor Moreau said a lot of thought went into the ADU law change and the 750 square feet space was put into place to prevent someone from building a garage bigger than a house. She said the proposal was a modest increase to the 750 square feet. She said no neighbor or member of the public spoke at the meeting or wrote letters in opposition, and she had no concern about increasing it for that specific lot, especially because it abutted a highway. Mr. Almeida said the Board was approving a design similar to one they recently struggled with. Councilor Moreau said the other project had a much bigger footprint. Mr. Samonas said, given that the DADU sat back a ways from a dead end road and abutted a State of NH property, he saw no offense to it. He said it was important for the Board and the public to acknowledge and understand how context could influence these types of proposals. Mr. Bowen said the intent of the ordinance was to balance the interest to the property owner with that of the neighbors so that the neighborhood isn't compromised. He said the petition accomplished that and that the DADU would not intrude or change any neighborhood, whereas the similar petition did.

*The motion **passed** with all in favor.*

3) *Councilor Moreau moved that the Board grant the Conditional Use Permit with the following **conditions**:*

*3.1) Documentation of the conditional use permit approval shall be recorded at the Rockingham County Registry of Deeds, together with an affidavit that either the principal dwelling unit or the accessory dwelling unit will be occupied by the owner of the dwelling as the owner's principal place of residence, as required by Section 10.814.22.*

*3.2) A certificate of use issued by the Planning Department is required to verify compliance with the standards of this Section, including the owner occupancy and principal residency requirements. Said certificate shall be issued by the Planning Department upon issuance of a certificate of occupancy by the Inspection Department. A certificate of use shall not be issued prior to recording of documentation as required by this Ordinance.*

3.3) *The certificate of use shall be renewed annually upon submission of such documentation as the Planning Department may require to verify continued compliance with the standards of this Section. Failure to comply with this requirement shall be deemed a violation of the ordinance and may be enforced as provided in Article 2.*

*Ms. Conard seconded. The motion **passed** with all in favor.*

**B.** The request of **Portsmouth Lumber & Hardware (Owner); Ricci Lumber (Applicant)**, for property located at **105 Bartlett Street** requesting Site Plan Review Approval for the demolition of existing sheds and construction of two new storage sheds with associated site improvements. Said property is located on Assessor Map 157 Lot 2 and lies within the Character District 4(CD4-W). (LU-24-132)

### **SPEAKING TO THE PETITION**

[Timestamp 17:47] The applicant's representative Pat Moretti, president of Ricci Lumber, was present along with the current owner of the Ricci Lumber property, Ed Hayes, project engineer Patrick Crimmins, and Rick Kelly, President of Kodiak Building Partners and business owner. Mr. Moretti said vital improvements were needed for their facility and operation because several of the buildings had outlived their purposes and were in need of constant maintenance. He said they proposed to build modern and efficient buildings on the same site, with one building being an open 3-sided barn to accommodate weather-sensitive materials. He said they had several work sessions with the Technical Advisory Committee (TAC) and that the documentation in the packet addressed all the Board's requirements.

[Timestamp 19:55] Councilor Moreau confirmed that the applicant was taking something that already existed and making in better and capable of lasting. Mr. Bowen asked if the street's condition would stay that way until the new property on the shore was developed. Mr. Moretti said they had to remediate the stormwater on the property, so they would go across the street and follow the plans that were drawn up for that. He said the plan was to construct the buildings and direct all the water drainage from their property to the proper locations. He said the project behind them would be getting started at that time and the road would be part of that construction.

Chair Chellman opened the public hearing.

### **SPEAKING IN FAVOR OF THE PETITION**

Elizabeth Bratter of 159 McDonough Street said she had followed the project from the beginning and thought it would be an improvement and would look much nicer.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one else spoke, and Chair Chellman closed the public hearing.

### **DECISION OF THE BOARD**

1) *Mr. Coviello moved that the Board find that the Site Plan Application meets the requirements set forth in the Site Plan Regulations Section 2.9 Evaluation Criteria and adopt the findings of fact as presented. Mr. Almeida seconded. The motion **passed** with all in favor.*

2) *Mr. Coviello moved that the Board grant Site Plan approval with the following **conditions**:*

*Conditions to be satisfied subsequent to final approval of site plan but prior to the issuance of a building permit or the commencement of any site work or construction activity:*

- 2.1) The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
- 2.2) Lot merger application shall be submitted and approved prior to issuance of a building permit.*
- 2.3) The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and for all on site utilities and public pathways.*
- 2.4) Owner shall provide an access easement to the City for water valve and meter access and for leak detection. The easement shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.*
- 2.5) Any site development (new or redevelopment) resulting in 15,000 square feet or greater ground disturbance will require the submittal of a Land Use Development Tracking Form through the Pollutant Tracking and Accounting Program (PTAP) online portal. For more information visit <https://www.cityofportsmouth.com/publicworks/stormwater/ptap>*

**Conditions to be satisfied subsequent to commencement of site work and construction activity but prior to release of surety bond or certificate of occupancy.**

- 2.6) The Engineer of Record shall submit an Engineer's stamped written report (with photographs, dated inspection reports for critical areas, material certifications, etc.) certifying that the stormwater infrastructure was constructed in accordance with the approved plans, the manufacturer's details and specifications, and requirements determined by State and local permits and that installed the system(s) will meet the design performance intent and requirements;*
- 2.7) A stormwater inspection report showing the required maintenance has been performed shall be completed annually with copies submitted for review to the City's Stormwater Division of the Public Works Department.*

*The motion **passed** with all in favor.*

- C. The request of **Deer Street Hospitality (Owner)**, for property located at **165 Deer Street** requesting a Conditional Use Permit in accordance with Section 10.1112.14 to allow 78 parking spaces where 83 are required. Said property is located on Assessor Map 125 Lot 17 and lies within the Character District 5 (CD5), and Downtown Overlay Districts. (LU-19-242)

### **SPEAKING TO THE PETITION**

[Timestamp 24:30] Doug Reynolds representing the applicant Deer Street Hospitality was present and said they proposed a reduction of five parking spaces on the lot, which would reduce the current 83 spaces to 78. He said a parking analysis was provided to City Staff and that he also met with TAC. He explained that they had five car lift spaces in the garage, and the generator for it was a longer lead time than anticipated. He said the parking analysis indicated that a maximum of 73 spaces was needed.

[Timestamp 25:39] Mr. Samonas asked if the lifts in the garage could be placed in another spot. Mr. Reynolds said the generator could not be placed in the garage. Councilor Moreau asked why it had not been planned out ahead of time. Mr. Reynolds said the fire suppression system required a larger transformer based on the fire marshal's requirements and due to that larger transformer, they did not have the space for the power to generate the lift. Councilor Moreau said that should have been discovered when the whole thing was put together. Mr. Reynolds said the planning process was six years ago and the building itself had gone through several different designs. He said when the most recent architect went to the fire marshal, the requirement for a larger pump was required. Chair Chellman asked if the fire code or some fire issue had changed in the last six years. Mr. Reynolds said he was not aware of it. Mr. Samonas said the proposal highlighted that a valet service would do the parking, so he assumed that there would be no guests parking their own car. Mr. Reynolds agreed. Chair Chellman asked if the valets would park cars elsewhere than the garage. Mr. Reynolds said there were 50 spaces within the building and the valet service would also use 33 spaces in the Foundry Garage, and no cars would be parked on the street. Mr. Bowen said if the applicant had known in the beginning that they would have a mechanical difficulty, they would have had an opportunity to take a different approach to the construction of the building and could have had fewer rooms and fewer cars, but because the applicant didn't do that, they went ahead with a design that did not work and now needed parking relief different from what the code called for. Mr. Reynolds agreed but said the powering item that they needed had been on order for 18 months or longer, and if they were get another one, it would be another 18 months. Chair Chellman asked how many parking spaces there were and what the analysis showed for the actual parking needed. Mr. Reynolds said it was approved for 83 spaces and they were proposing 78 spaces. He said the analysis they provided showed an anticipated peak demand of 64 spaces on a weekday and 60 spaces on a Saturday, based on the ITE standard. Mr. Coviello asked the applicant if he compared the percentiles from ITE to existing hotels in Portsmouth and what they were seeing for demand. Mr. Reynolds said they didn't but, based on discussions with other people, they were seeing that the spaces were not being filled. Mr. Coviello said it sounded like the problem was time and not having space for it. He asked if there was a way the applicant could open up the facility and have the lift system in two years. Mr. Reynolds said TAC said that the parking analysis determined that they didn't



really need the five spaces. Mr. Samonas asked if the 33 parking spaces in the Foundry Garage were in perpetuity. Ms. Conard said they were part of the original agreement. Mr. Almeida said he didn't have a lot of concern about the loss of a few spaces and said it was minimal compared to the congestion issues that could occur if there were deliveries. Mr. Coviello asked if all the parking amounts were based on a vehicle parked in a striped space. Mr. Reynolds said they were and that double stack parking was discussed with City Staff. Mr. Stith said the applicant proposed having the five spaces in front of the others but they could not be counted as legal conforming parking spaces. Councilor Moreau asked if the hotel always managed where a guest's car was parked. Mr. Reynolds agreed. Councilor Moreau said she had less concern if the hotel managed it. It was further discussed. Chair Chellman said the applicant chose business hotel as their land use, and he asked if the applicant considered what it might be if it was a regular hotel. Mr. Reynolds said it was a general urban setting for a hotel and that they used the business hotel because they felt that was the most appropriate.

Chair Chellman opened the public hearing.

### **First Round Speakers:**

#### **SPEAKING IN FAVOR OF THE PETITION**

No one spoke.

#### **SPEAKING AGAINST THE PETITION**

[Timestamp 39:34] Elizabeth Bratter of 159 McDonough Street said if five spaces were removed, ten spaces would be removed because the applicant had already received a reduction in their parking through the Downtown Overlay District bonus. She said the applicant built the hotel knowing that they did not have enough room, and she thought they needed to build less rooms or correct the problem that they created.

Mr. Reynolds said those spaces were currently five of the spaces that are still to remain. He said the lift would be above those spaces, so it was only a five space reduction, not 10 spaces.

### **Second Round Speakers**

Elizabeth Bratter said the applicant stated that five spaces had to be removed to put in the fire system and those five spaces were all lift spaces, so there were still ten spaces.

No one else spoke, and Chair Chellman closed the public hearing.

#### **DECISION OF THE BOARD**

[Timestamp 44:42] Councilor Moreau said she had fought with the request mostly because it was a big building and the applicant could redesign it and have enough parking. She said if the Board turned it down, the applicant would have to find another way to accommodate, so she didn't feel

that there was a good reason for it. She said the thing that got her over the hump was that the applicant was taking away the lift because they don't have the power to lift, so they still had five of those spots but they just didn't have all ten. She said the actual lift function was going away, not the actual parking spots, and it was because the applicant couldn't get a big enough generator to handle the fire suppression equipment and five lifts. She said if the hotel staff managed all clientele parking and ran out of spots, they would pay the garage for more spaces or find a way to stack the cars in the hotel, so she had less concern over a five car space reduction.

- 1) *Ms. Conard moved that the Board find that the Conditional Use Permit application meets the criteria set forth in Section 10.1112.14 and to adopt the findings of fact as presented. Mr. Almeida seconded.*

[Timestamp 46:44] Chair Chellman said one of the findings was that it was five spaces and not ten spaces. Mr. Almeida said the parking would be managed by the hotel, but he asked how the board would ensure it would be forever. Chair Chellman said a condition of approval was that it would be valet parking. Councilor Moreau asked how someone would be prevented from parking elsewhere and then checking into the hotel with a car. It was further discussed. Mr. Bowen said it was a long lasting decision. He said the traffic analysis suggests that business people will be coming into Pease and taking an Uber to the hotel and staying there for a week, which he did not agree with. He said the traffic analysis was aggressive in thinking how people would get to the hotel and how long they would stay there. He said he was also concerned about the broader neighborhood and the capacity utilization at the Foundry Garage. He said the overall parking capacity in the north end would be a problem at some point, and to allow an applicant to put in less parking than the use was asking for would be an imposition in the neighborhood. Mr. Samonas said it was reflective of their ordinance and maybe a discrepancy in that it had already been approved. He said the applicant did a further reduction in room count and was utilizing ratios and percentages for parking that were written in already. He said five spaces could potentially exacerbate parking in the neighborhood but it was the applicant's issue to solve within their property. He said the problem could have been solved a long time ago if the Board had been more diligent about the parking ratios in general. Chair Chellman said the Board had a parking analysis in front of them that was accepted by TAC, and if they did not agree with it, they should be specific about why. He said the applicant showed a rationale of why there was support to reduce the demand, but the Board didn't have to agree to it. It was further discussed. Councilor Moreau said she felt that more people came to Portsmouth for recreation than business and she would like to know if there was a difference in the business model. Mr. Samonas said it was easy to argue for the opposite side of that thesis because they were both hypotheses of what could happen. He said the Board had to use the standard under the category that the applicant chose and thought the Board could get over the five spaces.

*The motion **passed** by a vote of 6-1, with Mr. Bowen voting against.*

- 2) *Ms. Conard moved that the Board vote to grant the Conditional Use Permit with the following **condition**:*
  - 2.1) *Hotel parking will be by valet only, with no on-street parking allowed.*

*Mr. Coviello seconded. The motion **passed** by a vote of 6-1, with Mr. Bowen voting against.*

**Note:** Ms. Conard originally made a second condition to require the hotel to install the lifts after five years. After further discussion, she withdrew the second condition. [Timestamp 1:01:43]

## **V. CITY COUNCIL REFERRALS**

### **A. Letter from James R. Knudsen, Estate of Star C. Johnson – Donation of Map 232 Lot 25 on Marjorie Street to the City**

[Timestamp 1:06:02]

*1) Mr. Coviello moved that the Board vote to recommend that the City Council accept the donation of land from the Estate of Star C. Johnson.*

*Councilor Moreau seconded. The motion **passed** with all in favor.*

### **B. Request to Release a Portion of Longmeadow Lane**

[Timestamp 1:07:19] Chair Chellman said there was a request to postpone it. Deputy City Attorney McCourt was present and said the City Council did not have in their motion a report back by a date certain, so if the Board felt that there was more information to be gleaned from the situation, they could postpone it. He said it was just a recommendation from the Board to the City Council, who made the final decision. Councilor Moreau said utilities were involved so she would vote against releasing it. Chair Chellman agreed.

*1) Councilor Moreau moved that the Board recommend that the City Council not release the City's interest in Longmeadow Lane. Mr. Coviello seconded. The motion **passed** by a vote of 6-0, with Mr. Samonas abstaining.*

**Note:** Section VI.A, Extensions, were addressed out of order at this time.

### **C. Gateway Neighborhood Overlay District (GNOD)**

[Timestamp 1:12:04] Chair Chellman said the Board had to formalize a recommendation to the City Council to go for a first reading. Councilor Moreau said a public hearing had to be scheduled also. It was further discussed.

*1) Ms. Conard moved that the Board schedule a public hearing at the October 17, 2024 Planning Board meeting. Mr. Samonas seconded. The motion **passed** with all in favor.*

## **VI. OTHER BUSINESS [Timestamp 1:10:10]**

### **A. 105 Bartlett Street requesting a 1-Year extension to the Site Plan Review, Shared Parking and Wetland Conditional Use approvals that are set to expire on October 12, 2024.**

*Mr. Coviello moved that the Board grant a one-year extension of the Planning Board Approval of the Site Plan and Conditional Use Permit to October 12, 2025. Mr. Almeida seconded. The motion passed 5-0, with Councilor Moreau and Ms. Conard abstaining.*

**B. 928 & 936 South Street requesting a 1-Year extension to the Lot Line approval issued on September 21, 2023, extended on March 15, 2024, and due to expire on September 21, 2024.**

*Councilor Moreau moved that the Board grant a second six-month extension for the Subdivision to March 21, 2025. Mr. Almeida seconded. The motion **passed** with all in favor.*

**Note:** The Board then went back to Section V, Item C.

**C. Chairman Updates and Discussion Items**

[Timestamp 1:25:23] Chair Chellman said he was asked to sign a letter prepared by the Housing Coordinator in support of a grant request for State funding to provide some assistance with zoning amendments, and if the Board was in support of it, he would recommend it.

*Councilor Moreau moved to provide a letter of support for the Invest NH HOP Grant 2.0 from the Planning Board. Ms. Conard seconded. The motion **passed** with all in favor.*

**D. Board Discussion of Regulatory Amendments, Master Plan Scope, and Other Matters**

Chair Chellman said the Legal Department was working on the Master Plan RFQ and that he hoped it would be ready to go out later in the month. He said there was also a Planning Board work session scheduled for the following week to discuss zoning amendments.

**VII. ADJOURNMENT**

The meeting adjourned at 8:30 p.m.

Respectfully submitted,

Joann Breault  
Planning Board Recording Secretary

# Findings of Fact | Site Plan Review

## City of Portsmouth Planning Board

Date: October 17, 2024

Property Address: 1900 Lafayette Road

Application #: LU-24-148

Decision:  Approve     Deny     Approve with Conditions

### Findings of Fact:

Per RSA 676:3, I: The local land use board shall issue a final written decision which either approves or disapproves an application for a local permit and make a copy of the decision available to the applicant. **The decision shall include specific written findings of fact that support the decision. Failure of the board to make specific written findings of fact supporting a disapproval shall be grounds for automatic reversal and remand by the superior court upon appeal, in accordance with the time periods set forth in RSA 677:5 or RSA 677:15, unless the court determines that there are other factors warranting the disapproval.** If the application is not approved, the board shall provide the applicant with written reasons for the disapproval. If the application is approved with conditions, the board shall include in the written decision a detailed description of the conditions necessary to obtain final approval.

Site Plan Regulations Section 2.9 Evaluation Criteria - in order to grant site plan review approval, the TAC and the Planning Board shall find that the application satisfies evaluation criteria pursuant to NH State Law and listed herein. In making a finding, the TAC and the Planning Board shall consider all standards provided in Articles 3 through 11 of these regulations.

	Site Plan Review Regulations Section 2.9 Evaluation Criteria	Finding (Meets Standard/Criteria)	Supporting Information
1	Compliance with all City Ordinances and Codes and these regulations. <u>Applicable standards:</u>	<b>Meets</b>  <b>Does Not Meet</b>	<u>Applicable standards:</u> - Portsmouth Zoning Ordinance - Portsmouth Site Plan Review Reg.
2	Provision for the safe development, change or expansion of use of the site.	<b>Meets</b>  <b>Does Not Meet</b>	The site is an expansion of the existing use.
3	Adequate erosion control and stormwater management practices and other mitigative measures, if needed, to prevent adverse effects on downstream water quality and flooding of the property or that of another.	<b>Meets</b>  <b>Does Not Meet</b>	Standard erosion control methods are proposed.  There are no increases in stormwater flows per Portsmouth and AoT regulations.
4	Adequate protection for the		Separation from water table is observed.

	<b>Site Plan Review Regulations Section 2.9 Evaluation Criteria</b>	<b>Finding (Meets Standard/Criteria)</b>	<b>Supporting Information</b>
	quality of groundwater.	<b>Meets</b> <b>Does Not Meet</b>	Stormwater is being treated.
<b>5</b>	Adequate and reliable water supply sources.	<b>Meets</b> <b>Does Not Meet</b>	No water service or increase in usage is proposed as part of the parking lot expansions.
<b>6</b>	Adequate and reliable sewage disposal facilities, lines, and connections.	<b>Meets</b> <b>Does Not Meet</b>	No sewer service or increase in usage is proposed as part of the parking lot expansions.
<b>7</b>	Absence of undesirable and preventable elements of pollution such as smoke, soot, particulates, odor, wastewater, stormwater, sedimentation or any other discharge into the environment which might prove harmful to persons, structures, or adjacent properties.	<b>Meets</b> <b>Does Not Meet</b>	No undesirable elements are being released. Stormwater is being treated.
<b>8</b>	Adequate provision for fire safety, prevention and control.	<b>Meets</b> <b>Does Not Meet</b>	Plans have been reviewed by the City Fire Department to make sure they conform to City standards.
<b>9</b>	Adequate protection of natural features such as, but not limited to, wetlands.	<b>Meets</b> <b>Does Not Meet</b>	No wetlands are being impacted by the parking lot expansion and stormwater management.
<b>10</b>	Adequate protection of historical features on the site.	<b>Meets</b> <b>Does Not Meet</b>	No historic features are found in this site.
<b>11</b>	Adequate management of the volume and flow of traffic on the site and adequate traffic controls to protect public safety and prevent traffic congestion.	<b>Meets</b> <b>Does Not Meet</b>	Parking lot expansion is to parking demand and reduce parking on the street and offsite.
<b>12</b>	Adequate traffic controls and traffic management measures to prevent an unacceptable increase in safety hazards and traffic congestion off-site.	<b>Meets</b> <b>Does Not Meet</b>	The site follows City regulations in regard to parking aisles, parking spaces, and signage.
<b>13</b>	Adequate insulation from external noise sources.	<b>Meets</b>	Not applicable.

	<b>Site Plan Review Regulations Section 2.9 Evaluation Criteria</b>	<b>Finding (Meets Standard/Criteria)</b>	<b>Supporting Information</b>
		<b>Does Not Meet</b>	
<b>14</b>	Existing municipal solid waste disposal, police, emergency medical, and other municipal services and facilities adequate to handle any new demands on infrastructure or services created by the project.	<b>Meets</b> <b>Does Not Meet</b>	No additional services are being requested by this Site Plan Amendment.
<b>15</b>	Provision of usable and functional open spaces of adequate proportions, including needed recreational facilities that can reasonably be provided on the site	<b>Meets</b> <b>Does Not Meet</b>	Open space has been delineated on the Overall Site Plan per City regulations.
<b>16</b>	Adequate layout and coordination of on-site accessways and sidewalks in relationship to off-site existing or planned streets, accessways, bicycle paths, and sidewalks.	<b>Meets</b> <b>Does Not Meet</b>	The Parking Expansion connects to onsite sidewalks and safe access is provided to the existing parking building.
<b>17</b>	Demonstration that the land indicated on plans submitted with the application shall be of such character that it can be used for building purposes without danger to health.	<b>Meets</b> <b>Does Not Meet</b>	Plans were submitted, reviewed, and accepted by the Technical Advisory Committee (TAC).
<b>18</b>	Adequate quantities, type or arrangement of landscaping and open space for the provision of visual, noise and air pollution buffers.	<b>Meets</b> <b>Does Not Meet</b>	Landscaping islands in and bordering the parking area have been provided.
<b>19</b>	Compliance with applicable City approved design standards.	<b>Meets</b> <b>Does Not Meet</b>	The site amendment meets City approved standards.
	<b>Other Board Findings:</b>		



Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists



September 25, 2024,

Peter Britz, Planning Director  
 City of Portsmouth  
 2 Junkins Avenue  
 Portsmouth, NH 03801

**Re: Planning Board – Site Plan Amendment  
 Parking Lot Expansion for 1900 Lafayette Road, Portsmouth, NH  
 TFMoran Project: 45407.17**

Dear Peter:

On behalf of our client, Hammes Realty Services, LLC., we would like to submit the following plans and material for review by the Planning Board for Site Plan Amendment Approval. Included with this letter are the following materials:

- 1 Copy – Letter of Authorization;
- 1 Copy – Drainage Memo, last updated August 16, 2024
- 1 Copy – 22" x 34" copy of the Atlantic Orthopaedics Parking Expansion Plans 1900 Lafayette Road, Tax Map 267 – Lot 8, Portsmouth, New Hampshire, Owned by and Prepared for Hammes Realty Services, LLC, dated January 24, 2024, Last Revised September 17, 2024;
- 1 Copy – 11"x17" copy of the Atlantic Orthopaedics Parking Expansion Plans 1900 Lafayette Road, Tax Map 267 – Lot 8, Portsmouth, New Hampshire, Owned by and Prepared for Hammes Realty Services, LLC, dated January 24, 2024, Last Revised September 17, 2024;

The proposal adds 18 new parking spaces on the property to meet parking demands (22 new spaces with 4 existing spaces lost for the relocated dumpster).

We look forward to discussing this project with you at the Planning Board Meeting on October 17, 2024.

Sincerely,  
**TFMoran, Inc.**

  
 Jack McTigue, PE, CPESC  
 Project Manager

cc: Hammes Realty Services, LLC







Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists



## Letter of Authorization

I, J. Patrick Hammes, of HP III Boston Portsmouth, LLC hereby authorize TFMoran, Inc., 170 Commerce Way, Suite 102, Portsmouth, NH, to act on my behalf concerning property owned by HP III Boston Portsmouth, LLC, 1900 Lafayette Road, Portsmouth, New Hampshire, known as Tax Map 267, Lot 8.

I hereby appoint TFMoran, Inc. as my agent to act on my behalf in the review process, to include any required signatures.

August 9, 2024

Date

Client  
 Name: J. Patrick Hammes  
 Title: Its Authorized Representative

August 9, 2024

Date

Witness  
 Name: Rachael R. Lang





## PROJECT NARRATIVE

The subject property is located at 1900 Lafayette Road, Portsmouth, NH, identified as Map 267, Lot 8 on the Portsmouth assessor's maps. The current owner of the lot is Hammes Realty Services. The lot's current use is Medical. The lot contains a 2 Story Medical Office and a 2 Story Ambulatory Care Center.

The HydroCAD model has the full site integrated into it (497,281 SF). This report only looks at the area that is being impacted by the parking expansions and the area of the asbuilt infiltration basin (47,764 SF).

The development includes the moving the existing Trash Enclosure and the construction of a 7,653 SF parking extension. Associated improvements include and are not limited to access, grading, utilities, stormwater management system, lighting, and landscaping. The project proposes 7,816 SF of impervious area within the property lines and approximately 21,683 SF of disturbance.

In the pre-development condition, the total impervious area in the impacted area is 5,041 SF over a total drainage analysis area of 47,764 SF. In the post-development condition, the total impervious area is 12,503 SF over a total drainage analysis area of 47,764 SF. Stormwater runoff from the site primarily infiltrates into the Udorthents, smoothed soils via an underground infiltration system. Stormwater runoff is pretreated by deep sump catch basins and the ADS isolation row, which is part of the Subsurface Storage and infiltration System (PSuS3). It either infiltrates into the soil or discharges to the (north) of the development into the As-built Infiltration Basin (ADP01) and through the As-built Headwall (HW-02). The Headwall is used as the point of Interest.

The following table summarizes the pre- and post-development peak runoff rates for the 2-year, 10-year, 25-year and 50-year 24-hour Type III storm events for all discharges:

SURFACE WATER PEAK RUNOFF RATE COMPARISON					
POINT OF INTEREST		DESIGN STORM			
		2-year	10-year	25-year	50-year
AHW02	Pre	0.62	2.56	5.36	8.23
	Post	0.62	2.28	4.98	8.10

**Table 1 – Surface Water Peak Runoff Rate Comparison**  
 (All flow rates shown are in cubic feet per second)

The following table summarizes the pre- and post-development peak runoff volume for the 2-year 24-hour Type III storm events for all discharges:

SURFACE WATER PEAK RUNOFF VOLUME COMPARISON		
POINT OF INTEREST		DESIGN STORM
		2-year
AHW02	Pre	20,224
	Post	19,150

**Table 2 – Surface Water Peak Runoff Volume Comparison**  
 (All flow rates shown are in cubic feet)

The proposed project reduces peak rates of runoff compared to existing conditions for all storm events, in accordance with AoT requirements. Additionally, the 2-year 24-hour storm does not result in an increased peak flow volume from the pre-development to post-development condition. There will be no adverse effects on the abutting properties from the proposed stormwater management system.

If you have any questions or concerns, please do not hesitate to contact us.

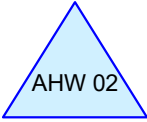
Respectfully,



**Jack McTigue, FE, CPESC**  
*Project Manager*

To The City of  
Portsmouth Closed  
Drainage System

AS-BUILT DRAINAGE CALCULATIONS



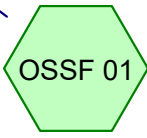
As-Built Head Wall 02



As-Built Detention /  
Infiltration Pond 01 and  
Outlet Control Structure  
2

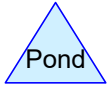
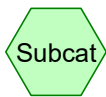


As-Built Catchment for  
PDP 01



As-Built Catchment for  
PSF 01

Remainder of  
Site Drainage  
(Unchanged)



Routing Diagram for 45407-17\_Approved-Development  
Prepared by T F Moran Inc, Printed 8/15/2024  
HydroCAD® 10.20-5b s/n 00866 © 2023 HydroCAD Software Solutions LLC

**45407-17\_Approved-Development**

Prepared by T F Moran Inc

Printed 8/15/2024

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**Area Listing (selected nodes)**

Area (sq-ft)	CN	Description (subcatchment-numbers)
32,312	61	>75% Grass cover, Good, HSG B (ASDP 01, OSSF 01)
10,411	74	>75% Grass cover, Good, HSG C (ASDP 01)
1,185	98	Paved parking, HSG B (ASDP 01)
178	98	Paved parking, HSG C (ASDP 01)
1,016	98	Paved parking, HSG D (OSSF 01)
2,662	98	Roofs, HSG D (OSSF 01)
<b>47,764</b>	<b>68</b>	<b>TOTAL AREA</b>

**45407-17\_Approved-Development**

Prepared by T F Moran Inc

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**Soil Listing (selected nodes)**

Area (sq-ft)	Soil Group	Subcatchment Numbers
0	HSG A	
33,497	HSG B	ASDP 01, OSSF 01
10,589	HSG C	ASDP 01
3,678	HSG D	OSSF 01
0	Other	
<b>47,764</b>		<b>TOTAL AREA</b>

# 45407-17\_Approved-Development

Prepared by T F Moran Inc

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As-Built Expansion

Type III 24-hr 2-Year Rainfall=3.23"

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Page 4

Time span=0.00-48.00 hrs, dt=0.03 hrs, 1601 points x 2  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**SubcatchmentASDP 01: As-Built** Runoff Area=17,997 sf 7.57% Impervious Runoff Depth=0.90"  
Flow Length=53' Slope=0.2870 '/' Tc=0.7 min CN=71 Runoff=0.46 cfs 1,344 cf

**SubcatchmentOSSF 01: As-Built** Runoff Area=29,767 sf 12.36% Impervious Runoff Depth=0.66"  
Flow Length=326' Slope=0.0817 '/' Tc=6.7 min CN=66 Runoff=0.42 cfs 1,633 cf

**Pond ADP01: As-Built Detention/ Infiltration** Peak Elev=50.41' Storage=3,549 cf Inflow=1.52 cfs 20,846 cf  
Primary=0.49 cfs 18,526 cf Secondary=0.00 cfs 0 cf Outflow=0.49 cfs 18,526 cf

**Pond AHW 02: As-Built Head Wall 02** Peak Elev=48.24' Storage=16 cf Inflow=0.62 cfs 20,237 cf  
18.0" Round Culvert x 2.00 n=0.012 L=18.0' S=0.0650 '/' Outflow=0.62 cfs 20,224 cf

**Total Runoff Area = 47,764 sf Runoff Volume = 2,977 cf Average Runoff Depth = 0.75"**  
**89.45% Pervious = 42,723 sf 10.55% Impervious = 5,041 sf**



# 45407-17\_Approved-Development

Prepared by T F Moran Inc

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As-Built Expansion

Type III 24-hr 10-Year Rainfall=4.91"

Printed 8/15/2024

Page 5

Time span=0.00-48.00 hrs, dt=0.03 hrs, 1601 points x 2  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**SubcatchmentASDP 01: As-Built** Runoff Area=17,997 sf 7.57% Impervious Runoff Depth=2.05"  
Flow Length=53' Slope=0.2870 '/' Tc=0.7 min CN=71 Runoff=1.13 cfs 3,073 cf

**SubcatchmentOSSF 01: As-Built** Runoff Area=29,767 sf 12.36% Impervious Runoff Depth=1.67"  
Flow Length=326' Slope=0.0817 '/' Tc=6.7 min CN=66 Runoff=1.23 cfs 4,134 cf

**Pond ADP01: As-Built Detention/ Infiltration** Peak Elev=51.17' Storage=6,592 cf Inflow=3.39 cfs 40,112 cf  
Primary=2.41 cfs 37,787 cf Secondary=0.00 cfs 0 cf Outflow=2.41 cfs 37,787 cf

**Pond AHW 02: As-Built Head Wall 02** Peak Elev=48.51' Storage=20 cf Inflow=2.56 cfs 41,268 cf  
18.0" Round Culvert x 2.00 n=0.012 L=18.0' S=0.0650 '/' Outflow=2.56 cfs 41,254 cf

**Total Runoff Area = 47,764 sf Runoff Volume = 7,207 cf Average Runoff Depth = 1.81"**  
**89.45% Pervious = 42,723 sf 10.55% Impervious = 5,041 sf**

# 45407-17\_Approved-Development

Prepared by T F Moran Inc

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As-Built Expansion

Type III 24-hr 25-Year Rainfall=6.23"

Printed 8/15/2024

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Time span=0.00-48.00 hrs, dt=0.03 hrs, 1601 points x 2  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**SubcatchmentASDP 01: As-Built** Runoff Area=17,997 sf 7.57% Impervious Runoff Depth=3.09"  
Flow Length=53' Slope=0.2870 '/' Tc=0.7 min CN=71 Runoff=1.73 cfs 4,627 cf

**SubcatchmentOSSF 01: As-Built** Runoff Area=29,767 sf 12.36% Impervious Runoff Depth=2.61"  
Flow Length=326' Slope=0.0817 '/' Tc=6.7 min CN=66 Runoff=2.00 cfs 6,479 cf

**Pond ADP01: As-Built Detention/ Infiltration** Peak Elev=51.43' Storage=7,817 cf Inflow=6.15 cfs 56,684 cf  
Primary=4.83 cfs 54,357 cf Secondary=0.00 cfs 0 cf Outflow=4.83 cfs 54,357 cf

**Pond AHW 02: As-Built Head Wall 02** Peak Elev=48.76' Storage=47 cf Inflow=5.36 cfs 59,352 cf  
18.0" Round Culvert x 2.00 n=0.012 L=18.0' S=0.0650 '/' Outflow=5.36 cfs 59,339 cf

**Total Runoff Area = 47,764 sf Runoff Volume = 11,106 cf Average Runoff Depth = 2.79"**  
**89.45% Pervious = 42,723 sf 10.55% Impervious = 5,041 sf**

# 45407-17\_Approved-Development

Prepared by T F Moran Inc

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As-Built Expansion

Type III 24-hr 50-Year Rainfall=7.46"

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Page 7

Time span=0.00-48.00 hrs, dt=0.03 hrs, 1601 points x 2  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**SubcatchmentASDP 01: As-Built** Runoff Area=17,997 sf 7.57% Impervious Runoff Depth=4.11"  
Flow Length=53' Slope=0.2870 '/' Tc=0.7 min CN=71 Runoff=2.31 cfs 6,170 cf

**SubcatchmentOSSF 01: As-Built** Runoff Area=29,767 sf 12.36% Impervious Runoff Depth=3.57"  
Flow Length=326' Slope=0.0817 '/' Tc=6.7 min CN=66 Runoff=2.77 cfs 8,855 cf

**Pond ADP01: As-Built Detention/ Infiltration** Peak Elev=51.51' Storage=8,233 cf Inflow=8.66 cfs 74,603 cf  
Primary=7.44 cfs 72,274 cf Secondary=0.00 cfs 0 cf Outflow=7.44 cfs 72,274 cf

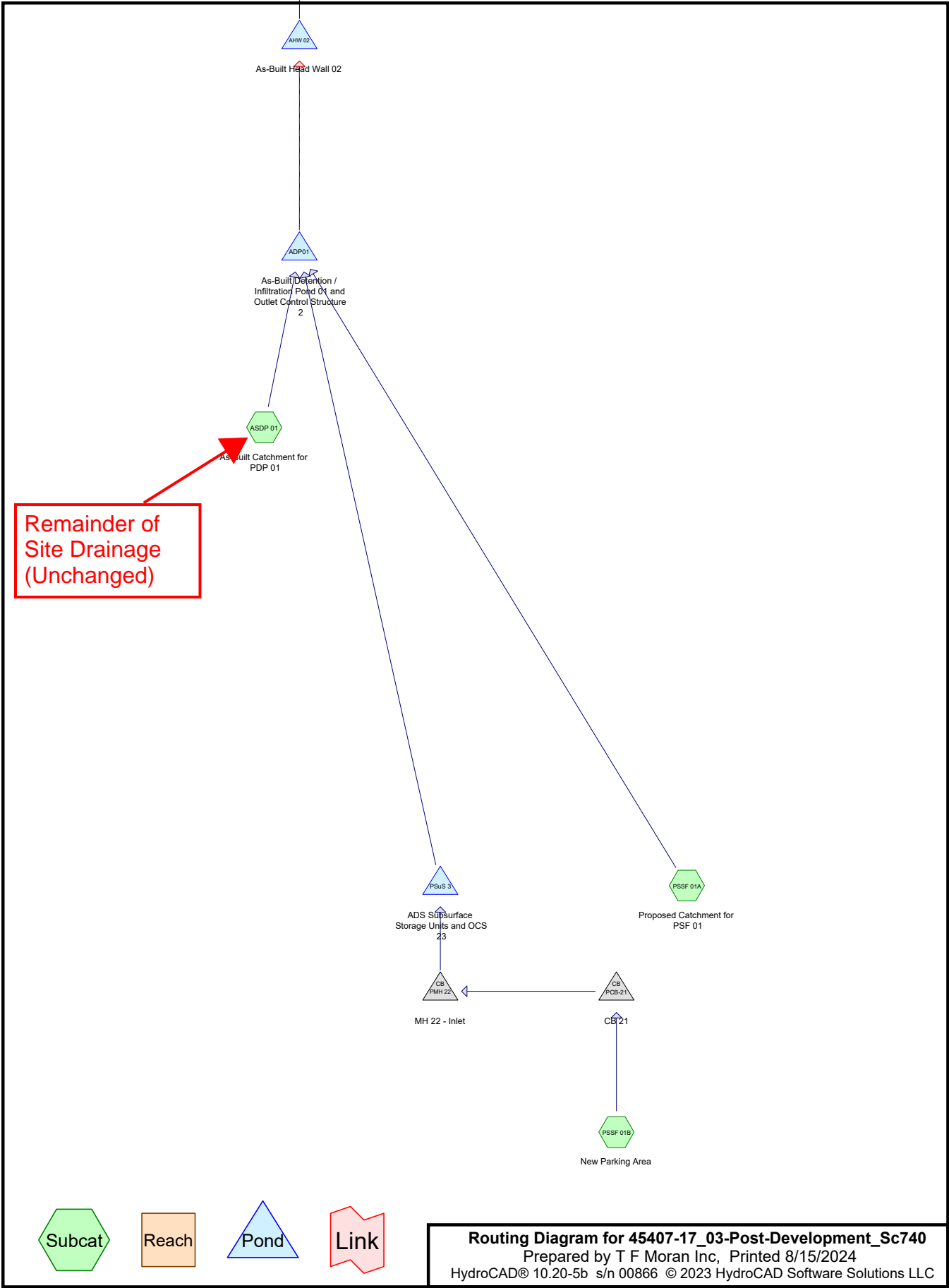
**Pond AHW 02: As-Built Head Wall 02** Peak Elev=48.98' Storage=142 cf Inflow=8.24 cfs 78,737 cf  
18.0" Round Culvert x 2.00 n=0.012 L=18.0' S=0.0650 '/' Outflow=8.23 cfs 78,723 cf

**Total Runoff Area = 47,764 sf Runoff Volume = 15,024 cf Average Runoff Depth = 3.77"**  
**89.45% Pervious = 42,723 sf 10.55% Impervious = 5,041 sf**

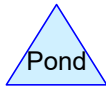
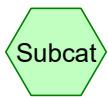
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To The City of  
Portsmouth Closed  
Drainage System

PROPOSED DRAINAGE  
CALCULATIONS



Remainder of  
Site Drainage  
(Unchanged)



**Routing Diagram for 45407-17\_03-Post-Development\_Sc740**  
Prepared by T F Moran Inc, Printed 8/15/2024  
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**45407-17\_03-Post-Development\_Sc740**

Prepared by T F Moran Inc

Printed 8/15/2024

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Page 2

**Area Listing (selected nodes)**

Area (sq-ft)	CN	Description (subcatchment-numbers)
24,850	61	>75% Grass cover, Good, HSG B (ASDP 01, PSSF 01A, PSSF 01B)
10,411	74	>75% Grass cover, Good, HSG C (ASDP 01)
8,647	98	Paved parking, HSG B (ASDP 01, PSSF 01B)
178	98	Paved parking, HSG C (ASDP 01)
1,246	98	Paved parking, HSG D (PSSF 01A, PSSF 01B)
2,432	98	Roofs, HSG D (PSSF 01B)
<b>47,764</b>	<b>74</b>	<b>TOTAL AREA</b>

**45407-17\_03-Post-Development\_Sc740**

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Page 3

**Soil Listing (selected nodes)**

Area (sq-ft)	Soil Group	Subcatchment Numbers
0	HSG A	
<b>33,497</b>	HSG B	ASDP 01, PSSF 01A, PSSF 01B
<b>10,589</b>	HSG C	ASDP 01
<b>3,678</b>	HSG D	PSSF 01A, PSSF 01B
0	Other	
<b>47,764</b>		<b>TOTAL AREA</b>

**45407-17\_03-Post-Development\_Sc740**

Prepared by T F Moran Inc

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Proposed Expansion

Type III 24-hr **2-Year Rainfall=3.23"**

Printed 8/15/2024

Page 4

Time span=0.00-48.00 hrs, dt=0.03 hrs, 1601 points x 2  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment ASDP 01: As-Built** Runoff Area=17,997 sf 7.57% Impervious Runoff Depth=0.90"  
Flow Length=53' Slope=0.2870 '/' Tc=0.7 min CN=71 Runoff=0.46 cfs 1,344 cf

**Subcatchment PSSF 01A: Proposed** Runoff Area=13,611 sf 1.44% Impervious Runoff Depth=0.49"  
Flow Length=326' Slope=0.1786 '/' Tc=5.0 min CN=62 Runoff=0.13 cfs 560 cf

**Subcatchment PSSF 01B: New Parking** Runoff Area=16,156 sf 67.74% Impervious Runoff Depth=1.86"  
Tc=5.0 min CN=86 Runoff=0.83 cfs 2,506 cf

**Pond ADP01: As-Built Detention/ Infiltration** Peak Elev=50.38' Storage=3,464 cf Inflow=1.35 cfs 19,773 cf  
Primary=0.45 cfs 17,453 cf Secondary=0.00 cfs 0 cf Outflow=0.45 cfs 17,453 cf

**Pond AHW 02: As-Built Head Wall 02** Peak Elev=48.24' Storage=16 cf Inflow=0.62 cfs 19,164 cf  
18.0" Round Culvert x 2.00 n=0.012 L=18.0' S=0.0650 '/' **Outflow=0.62 cfs 19,150 cf**

**Pond PCB-21: CB 21** Peak Elev=56.88' Inflow=0.83 cfs 2,506 cf  
12.0" Round Culvert n=0.013 L=27.0' S=0.0074 '/' Outflow=0.83 cfs 2,506 cf

**Pond PMH 22: MH 22 - Inlet** Peak Elev=56.85' Inflow=0.83 cfs 2,506 cf  
24.0" Round Culvert n=0.013 L=4.0' S=0.0000 '/' Outflow=0.83 cfs 2,506 cf

**Pond PSuS 3: ADS Subsurface Storage Units** Peak Elev=56.85' Storage=1,007 cf Inflow=0.83 cfs 2,506 cf  
Discarded=0.07 cfs 2,506 cf Primary=0.00 cfs 0 cf Outflow=0.07 cfs 2,506 cf

**Total Runoff Area = 47,764 sf Runoff Volume = 4,410 cf Average Runoff Depth = 1.11"**  
**73.82% Pervious = 35,261 sf 26.18% Impervious = 12,503 sf**



**45407-17\_03-Post-Development\_Sc740**

Prepared by T F Moran Inc

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Proposed Expansion

**Type III 24-hr 10-Year Rainfall=4.91"**

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Page 5

Time span=0.00-48.00 hrs, dt=0.03 hrs, 1601 points x 2  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**SubcatchmentASDP 01: As-Built** Runoff Area=17,997 sf 7.57% Impervious Runoff Depth=2.05"  
Flow Length=53' Slope=0.2870 '/' Tc=0.7 min CN=71 Runoff=1.13 cfs 3,073 cf

**SubcatchmentPSSF 01A: Proposed** Runoff Area=13,611 sf 1.44% Impervious Runoff Depth=1.38"  
Flow Length=326' Slope=0.1786 '/' Tc=5.0 min CN=62 Runoff=0.48 cfs 1,569 cf

**SubcatchmentPSSF 01B: New Parking** Runoff Area=16,156 sf 67.74% Impervious Runoff Depth=3.38"  
Tc=5.0 min CN=86 Runoff=1.49 cfs 4,555 cf

**Pond ADP01: As-Built Detention/ Infiltration** Peak Elev=51.09' Storage=6,203 cf Inflow=2.85 cfs 37,726 cf  
Primary=2.15 cfs 35,401 cf Secondary=0.00 cfs 0 cf Outflow=2.15 cfs 35,401 cf

**Pond AHW 02: As-Built Head Wall 02** Peak Elev=48.48' Storage=19 cf Inflow=2.28 cfs 38,882 cf  
18.0" Round Culvert x 2.00 n=0.012 L=18.0' S=0.0650 '/' Outflow=**2.28 cfs** 38,869 cf

**Pond PCB-21: CB 21** Peak Elev=59.18' Inflow=1.49 cfs 4,555 cf  
12.0" Round Culvert n=0.013 L=27.0' S=0.0074 '/' Outflow=1.49 cfs 4,555 cf

**Pond PMH 22: MH 22 - Inlet** Peak Elev=59.18' Inflow=1.49 cfs 4,555 cf  
24.0" Round Culvert n=0.013 L=4.0' S=0.0000 '/' Outflow=1.49 cfs 4,548 cf

**Pond PSuS 3: ADS Subsurface Storage Units** Peak Elev=59.18' Storage=2,174 cf Inflow=1.49 cfs 4,548 cf  
Discarded=0.07 cfs 4,416 cf Primary=0.04 cfs 132 cf Outflow=0.11 cfs 4,548 cf

**Total Runoff Area = 47,764 sf Runoff Volume = 9,196 cf Average Runoff Depth = 2.31"**  
**73.82% Pervious = 35,261 sf 26.18% Impervious = 12,503 sf**

**45407-17\_03-Post-Development\_Sc740**

Prepared by T F Moran Inc

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Proposed Expansion

Type III 24-hr **25-Year Rainfall=6.23"**

Printed 8/15/2024

Page 6

Time span=0.00-48.00 hrs, dt=0.03 hrs, 1601 points x 2  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment ASDP 01: As-Built** Runoff Area=17,997 sf 7.57% Impervious Runoff Depth=3.09"  
Flow Length=53' Slope=0.2870 '/' Tc=0.7 min CN=71 Runoff=1.73 cfs 4,627 cf

**Subcatchment PSSF 01A: Proposed** Runoff Area=13,611 sf 1.44% Impervious Runoff Depth=2.25"  
Flow Length=326' Slope=0.1786 '/' Tc=5.0 min CN=62 Runoff=0.82 cfs 2,551 cf

**Subcatchment PSSF 01B: New Parking** Runoff Area=16,156 sf 67.74% Impervious Runoff Depth=4.63"  
Tc=5.0 min CN=86 Runoff=2.02 cfs 6,231 cf

**Pond ADP01: As-Built Detention/ Infiltration** Peak Elev=51.42' Storage=7,770 cf Inflow=5.46 cfs 54,353 cf  
Primary=4.58 cfs 52,025 cf Secondary=0.00 cfs 0 cf Outflow=4.58 cfs 52,025 cf

**Pond AHW 02: As-Built Head Wall 02** Peak Elev=48.73' Storage=40 cf Inflow=4.98 cfs 57,021 cf  
18.0" Round Culvert x 2.00 n=0.012 L=18.0' S=0.0650 '/' **Outflow=4.98 cfs** 57,007 cf

**Pond PCB-21: CB 21** Peak Elev=59.42' Inflow=2.02 cfs 6,231 cf  
12.0" Round Culvert n=0.013 L=27.0' S=0.0074 '/' Outflow=2.02 cfs 6,231 cf

**Pond PMH 22: MH 22 - Inlet** Peak Elev=59.37' Inflow=2.02 cfs 6,231 cf  
24.0" Round Culvert n=0.013 L=4.0' S=0.0000 '/' Outflow=2.02 cfs 6,227 cf

**Pond PSuS 3: ADS Subsurface Storage Units** Peak Elev=59.37' Storage=2,220 cf Inflow=2.02 cfs 6,227 cf  
Discarded=0.07 cfs 4,880 cf Primary=1.05 cfs 1,347 cf Outflow=1.12 cfs 6,227 cf

**Total Runoff Area = 47,764 sf Runoff Volume = 13,410 cf Average Runoff Depth = 3.37"**  
**73.82% Pervious = 35,261 sf 26.18% Impervious = 12,503 sf**

**45407-17\_03-Post-Development\_Sc740**

Prepared by T F Moran Inc

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Proposed Expansion

**Type III 24-hr 50-Year Rainfall=7.46"**

Printed 8/15/2024

Page 7

Time span=0.00-48.00 hrs, dt=0.03 hrs, 1601 points x 2  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**SubcatchmentASDP 01: As-Built** Runoff Area=17,997 sf 7.57% Impervious Runoff Depth=4.11"  
Flow Length=53' Slope=0.2870 '/' Tc=0.7 min CN=71 Runoff=2.31 cfs 6,170 cf

**SubcatchmentPSSF 01A: Proposed** Runoff Area=13,611 sf 1.44% Impervious Runoff Depth=3.14"  
Flow Length=326' Slope=0.1786 '/' Tc=5.0 min CN=62 Runoff=1.17 cfs 3,566 cf

**SubcatchmentPSSF 01B: New Parking** Runoff Area=16,156 sf 67.74% Impervious Runoff Depth=5.81"  
Tc=5.0 min CN=86 Runoff=2.51 cfs 7,821 cf

**Pond ADP01: As-Built Detention/ Infiltration** Peak Elev=51.51' Storage=8,245 cf Inflow=9.00 cfs 72,206 cf  
Primary=7.53 cfs 69,876 cf Secondary=0.00 cfs 0 cf Outflow=7.53 cfs 69,876 cf

**Pond AHW 02: As-Built Head Wall 02** Peak Elev=48.97' Storage=136 cf Inflow=8.16 cfs 76,339 cf  
18.0" Round Culvert x 2.00 n=0.012 L=18.0' S=0.0650 '/' **Outflow=8.10 cfs** 76,326 cf

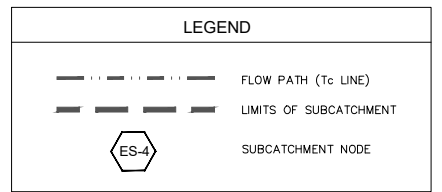
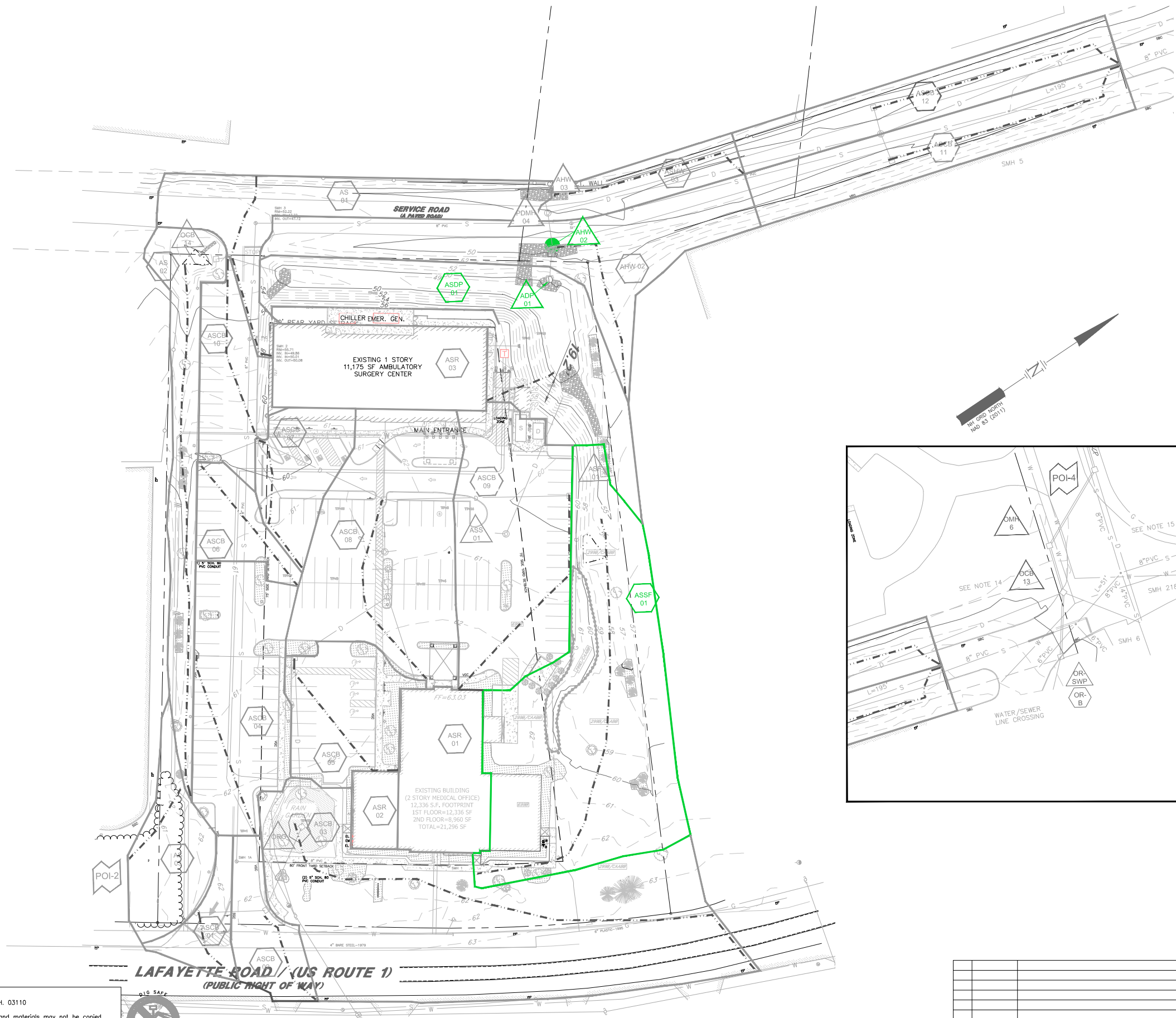
**Pond PCB-21: CB 21** Peak Elev=59.91' Inflow=2.51 cfs 7,821 cf  
12.0" Round Culvert n=0.013 L=27.0' S=0.0074 '/' Outflow=2.51 cfs 7,821 cf

**Pond PMH 22: MH 22 - Inlet** Peak Elev=59.72' Inflow=2.51 cfs 7,821 cf  
24.0" Round Culvert n=0.013 L=4.0' S=0.0000 '/' Outflow=2.51 cfs 7,817 cf

**Pond PSuS 3: ADS Subsurface Storage Units** Peak Elev=59.70' Storage=2,270 cf Inflow=2.51 cfs 7,817 cf  
Discarded=0.07 cfs 5,247 cf Primary=2.85 cfs 2,570 cf Outflow=2.92 cfs 7,817 cf

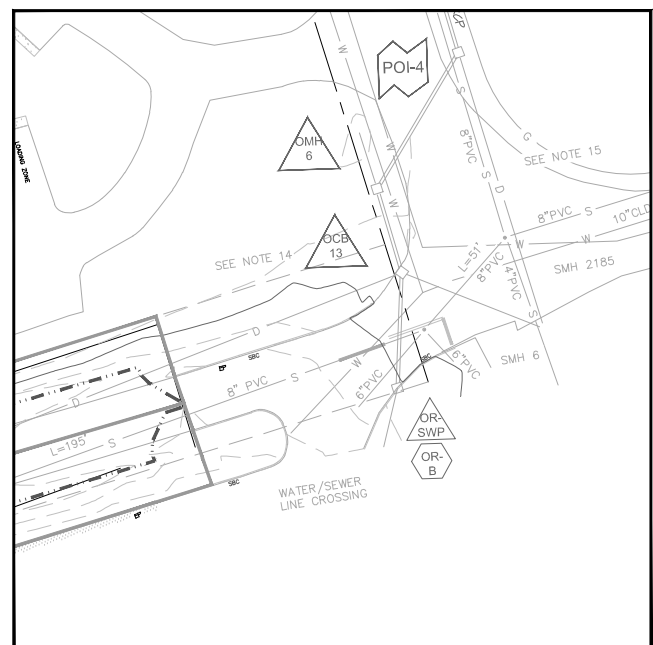
**Total Runoff Area = 47,764 sf Runoff Volume = 17,556 cf Average Runoff Depth = 4.41"**  
**73.82% Pervious = 35,261 sf 26.18% Impervious = 12,503 sf**

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**SOIL IDENTIFICATION LEGEND**

SYMBOL	SOIL TAXONOMIC NAME	PARENT MATERIAL	HYDROLOGIC SOIL GROUP
299	UDORTMENTS, SMOOTHED	EXCAVATED, REGRADED FILL	B
900	ENDOQUENTS, SANDY	EXCAVATED, REGRADED FILL	C
900/P	ENDOQUENTS, SANDY POORLY DRAINED	EXCAVATED, REGRADED FILL	D



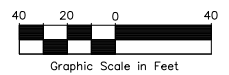
**SITE DEVELOPMENT PLANS**  
 TAX MAP 267 LOT 8  
**AS-BUILT POST DEVELOPMENT DRAINAGE PLAN**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

**1"=80' (11"x17')**  
**SCALE: 1"=40' (22"x34')** **JANUARY 24, 2024**

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 48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



REV	DATE	DESCRIPTION	DR	CK

Seacoast Division

**TFM**

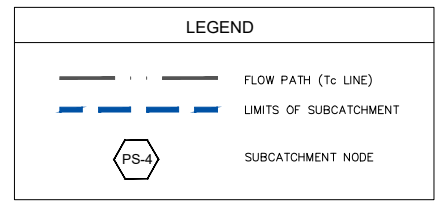
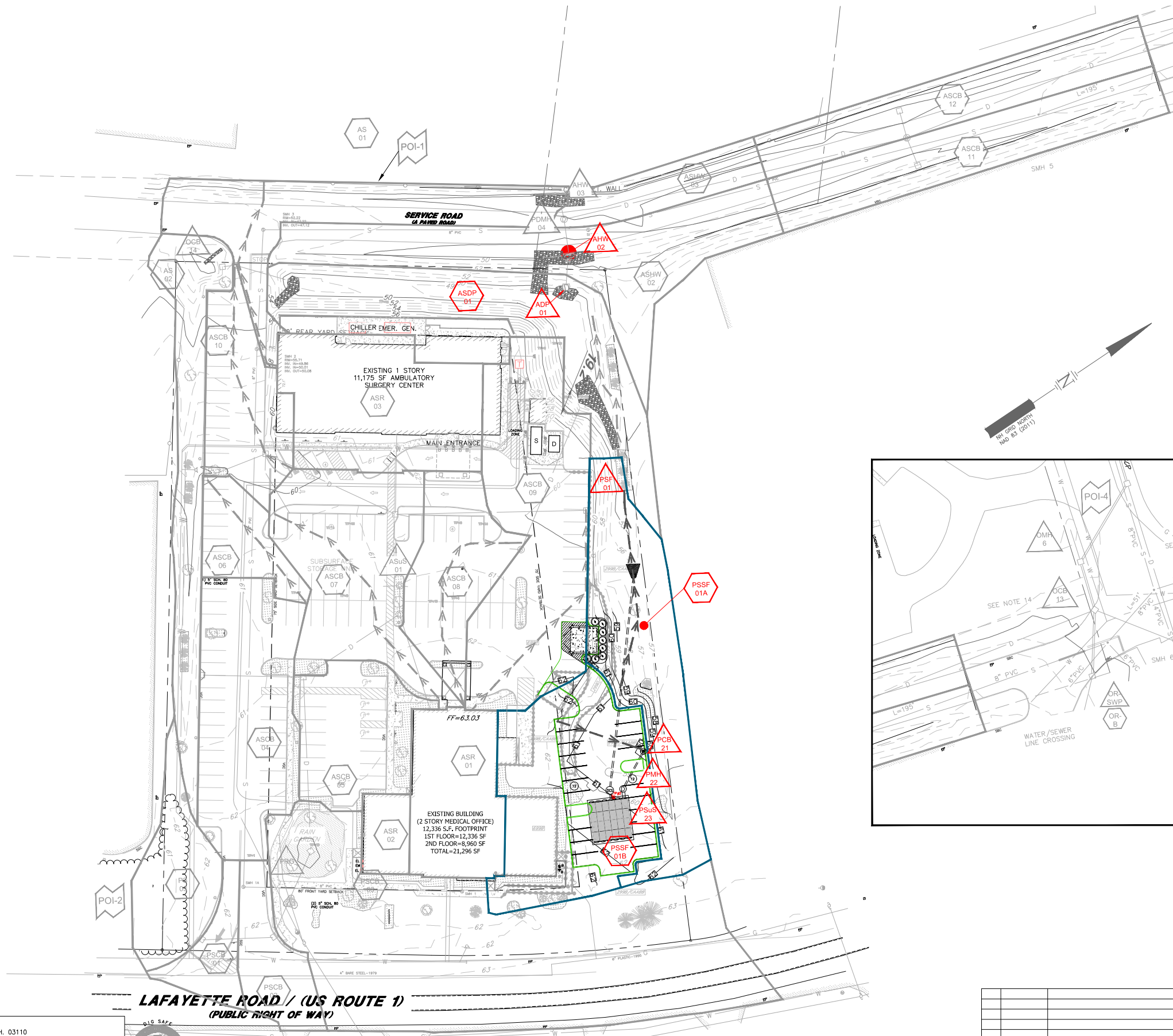
Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

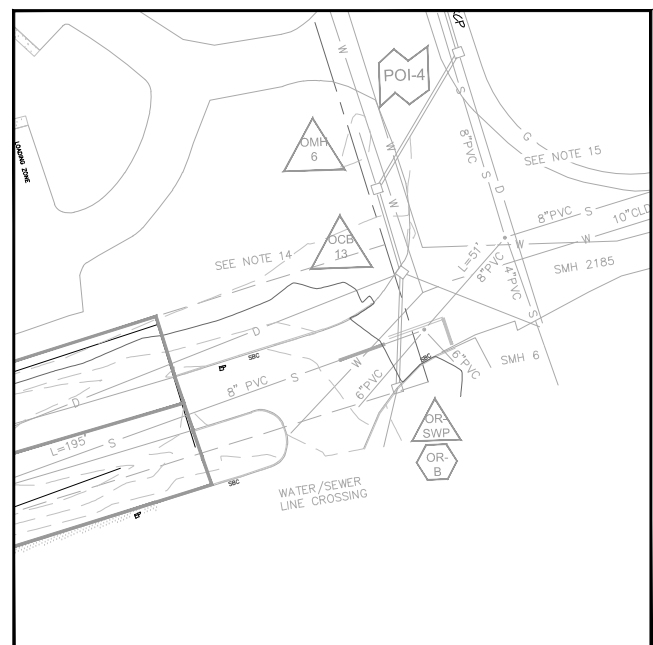
F 45407.17 DR JKC FB  
 L CK ORR CADFILE Pre and Post Flow Conditions  
 E D-01

Aug 16, 2024 - 11:57am J:\Design\Exhibits\45407-17\_Pre and Post Flow Conditions.dwg

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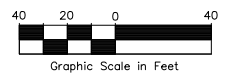


SOIL IDENTIFICATION LEGEND			
SYMBOL	SOIL TAXONOMIC NAME	PARENT MATERIAL	HYDROLOGIC SOIL GROUP
289	UDORTMENTS, SMOOTHED	EXCAVATED, REGRADED FILL	B
900	ENDOQUENTS, SANDY	EXCAVATED, REGRADED FILL	C
900/P	ENDOQUENTS, SANDY POORLY DRAINED	EXCAVATED, REGRADED FILL	D



**SITE DEVELOPMENT PLANS**  
 TAX MAP 267 LOT 8  
**PROPOSED POST DEVELOPMENT DRAINAGE PLAN**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**  
  
**1"=80' (11"x17')**  
**SCALE: 1"=40' (22"x34')** **JANUARY 24, 2024**

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 This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



REV	DATE	DESCRIPTION	DR	CK

Seacoast Division  
**TFM**  
 Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists  
 170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

FILE 45407.17 DR JKC FB CK ORR CADFILE Pre and Post Flow Conditions D-02

Aug 16, 2024 - 12:56pm  
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**GENERAL INFORMATION**

**OWNER**

HPIII BOSTON PORTSMOUTH LLC  
C/O HAMMES REALTY SERVICE LLC  
1400 N. WATER STREET, SUITE 500  
MILWAUKEE, WISCONSIN 53202

**RESOURCE LIST**

PLANNING/ ZONING DEPARTMENT  
1 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
(603) 610-7216  
PETER BRITS, DIRECTOR OF PLANNING AND SUSTAINABILITY

**BUILDING DEPARTMENT**

1 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
(603) 610-7243  
SHANTI WOLPH, CHIEF BUILDING INSPECTOR

**PUBLIC WORKS**

680 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801  
(603) 427-1530  
PETER RICE, DIRECTOR

**POLICE DEPARTMENT**

3 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
(603) 427-1500  
CHIEF MARK NEWPORT

**FIRE DEPARTMENT**

170 COURT STREET  
PORTSMOUTH, NH 03801  
(603) 427-1515

**LIGHTING CONTRACTOR**

EXPOSURE ESS  
501 ISLINGTON STREET  
PORTSMOUTH, NH 03801  
(603) 459-1043  
KEN SWEENEY, APPLICANT ENGINEER

# ATLANTIC ORTHOPAEDICS PARKING EXPANSION

**1900 LAFAYETTE ROAD  
PORTSMOUTH, NH  
JANUARY 24, 2024  
LAST REVISED OCTOBER 1, 2024**

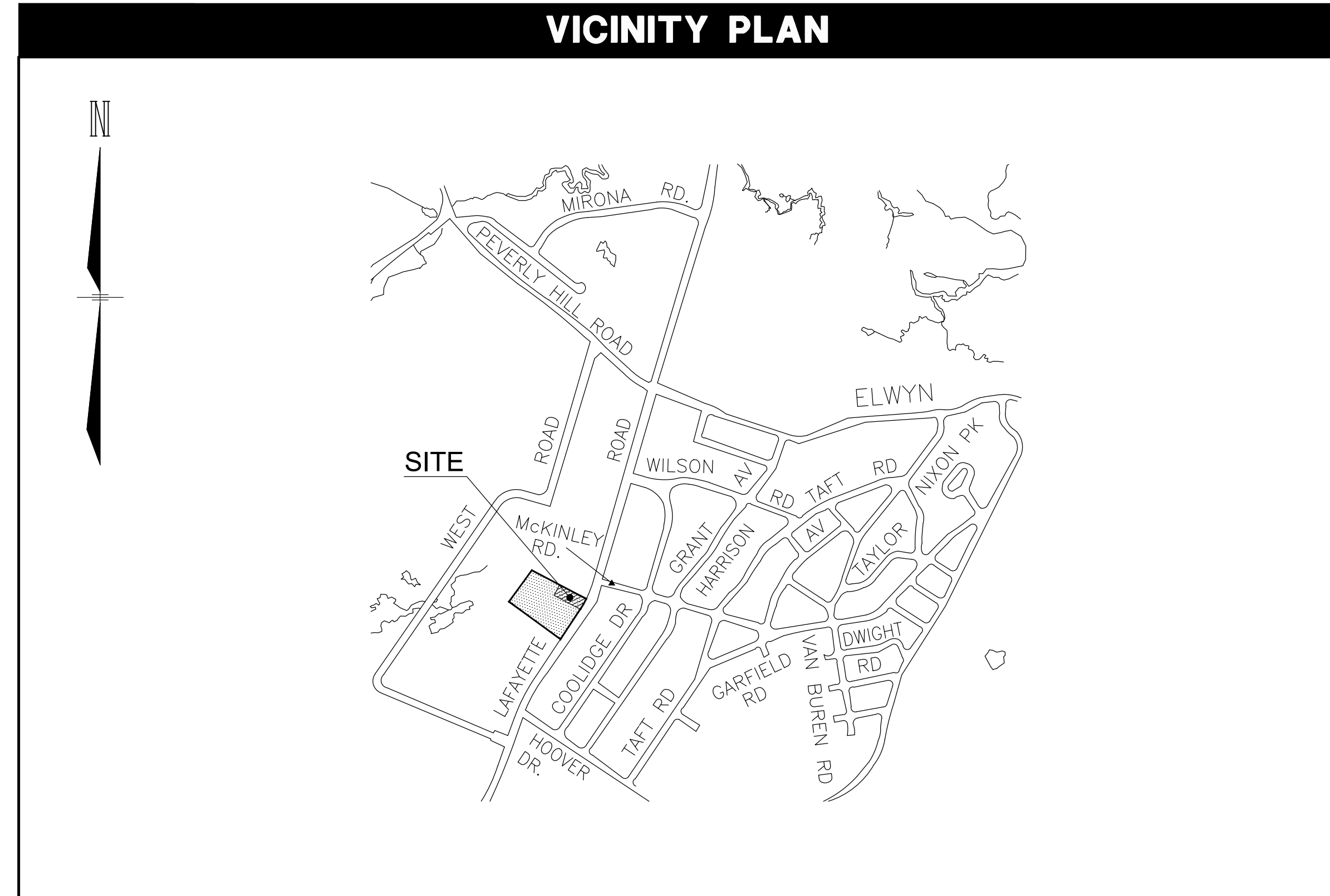
**INDEX OF SHEETS**

SHEET	SHEET TITLE
C-00	COVER
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C-01	NOTES & LEGEND
C-02	SITE PREPARATION PLAN
C-03	OVERALL SITE LAYOUT PLAN
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**PERMITS/APPROVALS**

	NUMBER	APPROVED	EXPIRES
CITY OF PORTSMOUTH SITE PLAN APPROVAL	-	-	-
NHDES ALT. OF TERRAIN	-	-	-

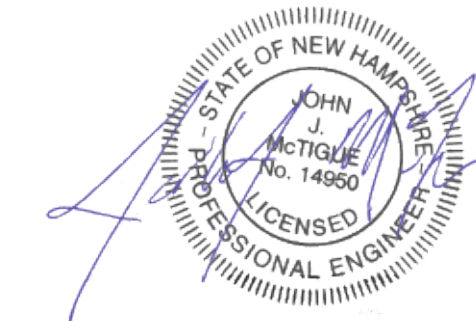
**VICINITY PLAN**



**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8  
**COVER**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

**SCALE: NTS** **JANUARY 24, 2024**



REV	DATE	DESCRIPTION	DR	CK
4	10/01/2024	NO REVISIONS THIS SHEET	JJM	
3	9/17/2024	UPDATE SHEET INDEX	JJM	CRR
2	9/9/2024	UPDATE DATES	JJM	
1	7/31/2024	REVISED INDEX OF SHEETS	BCH	JJM

**Seacoast Division**  
**TFM**  
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
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FILE: 45407.17  
DR: JKC  
CK: CRR  
CADFILE: 45407-17\_Cover.dwg  
C-00

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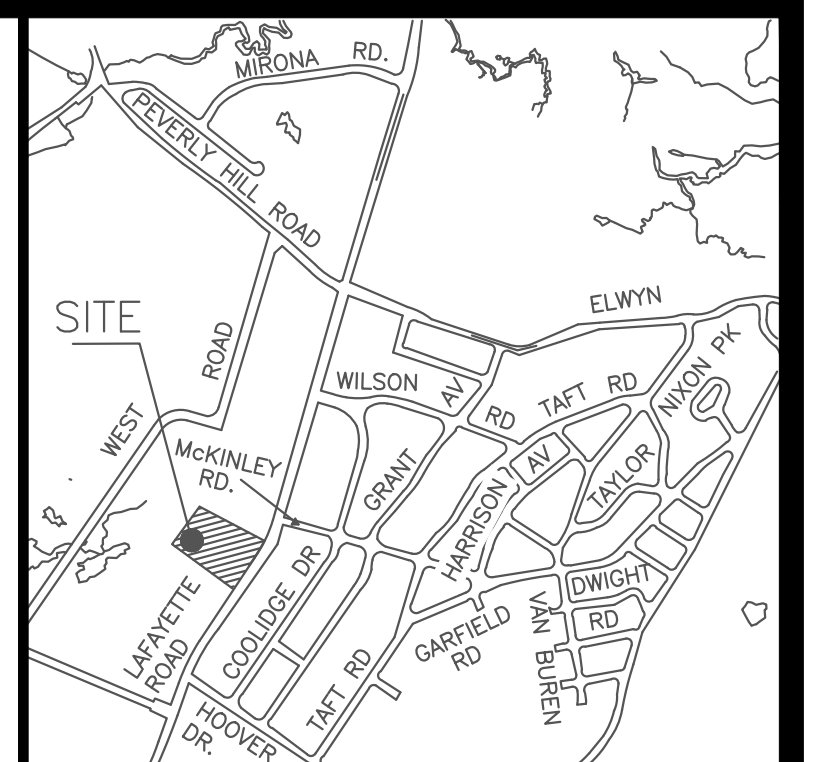


SOIL LEGEND (PER SITE SPECIFIC SOIL SURVEY)		
SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP
299/CAAB	UDORTHERTS, SMOOTHED (WELL DRAINED, NO NATURAL SOILS)	B
699	URBAN LAND	N/A

SUPPLEMENTAL SYMBOLS: C = WELL DRAINED, A = NO NATURAL SOILS, A = NO RESTRICTIVE LAYER, B = MODERATE KSAT, B = HSG B

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SOIL MAP WAS PRODUCED 7/8/2024, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC.



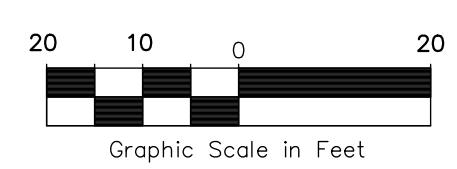
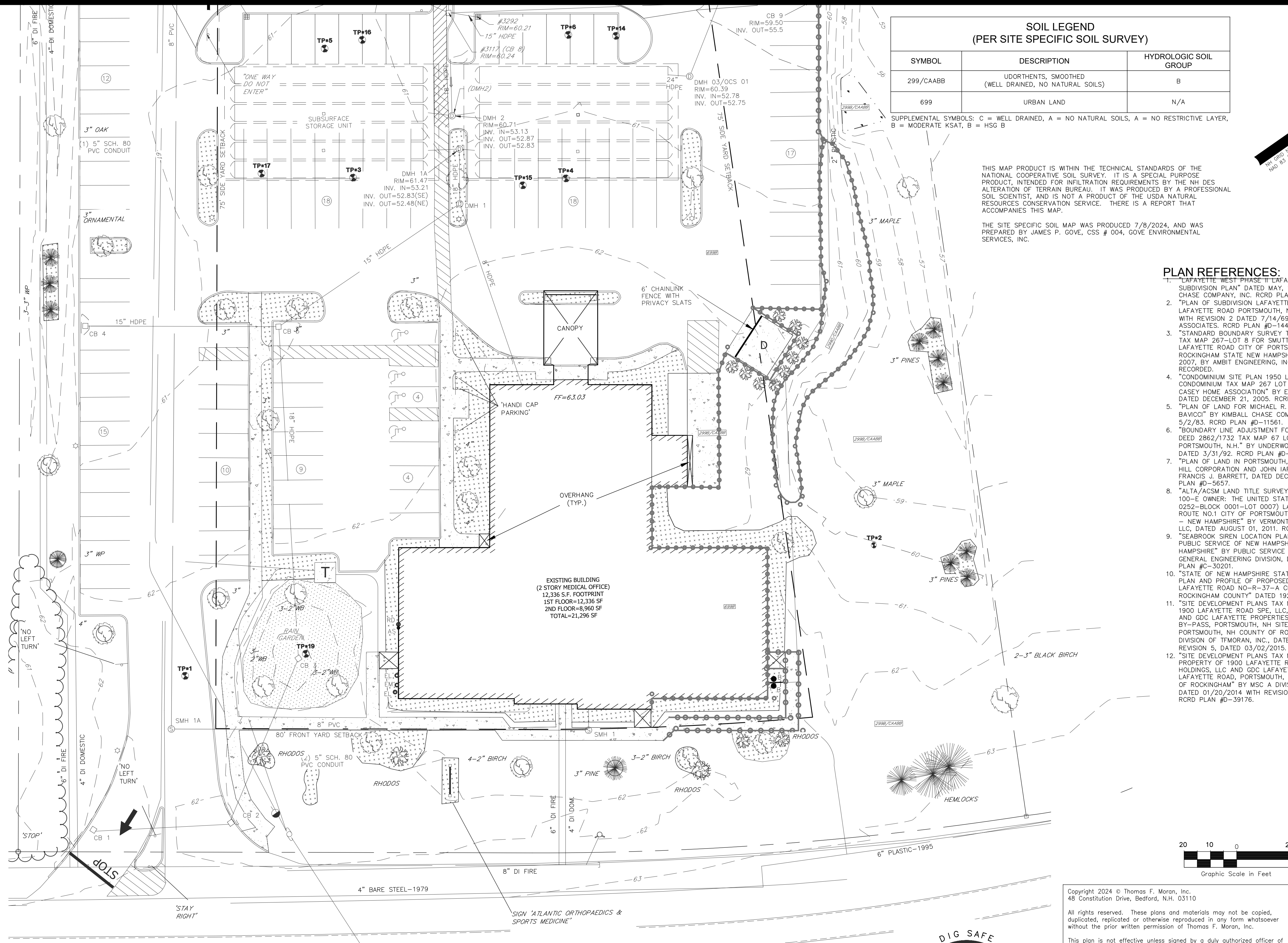
**LOCATION PLAN**

**NOTES:**

- THE PARCEL IS LOCATED IN THE OFFICE RESEARCH (OR) ZONE.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 267 AS LOT 8.
- THE PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270E, EFFECTIVE DATE: MAY 17, 2005.
- OWNER OF RECORD:  
WSS LAFAYETTE PROPERTIES, LLC (20%) et als  
1900 LAFAYETTE ROAD  
PORTSMOUTH, NH 03801  
RCRD BK.#5970 PG.#1324
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS.
- FIELD SURVEY COMPLETED BY TODD C. EMERSON IN DECEMBER 2015 AND UPDATED IN APRIL 2019 USING A TOPCON DS103 AND TOPCON TESLA & FC-5000 DATA COLLECTOR.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE CURRENT SITE FEATURES OF TAX MAP 267 LOT 8.
- THE CURRENT WETLANDS BOUNDARY SHOWN ON THIS PLAN WAS DELINEATED ON APRIL 3, 2019 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3), NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWPPCC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013 (VER. 3.1) AND FIELD LOCATED BY MSC/JF MORAN.
- ELEVATIONS ARE BASED ON NHDOT GEODETIC CONTROL DISK Y49 RESET 1994, VERTICAL DATUM NAVD88.
- ZONING REQUIREMENTS: OFFICE RESEARCH (OR) ZONE  
MINIMUM LOT DIMENSIONS:  
LOT AREA: 3 ACRES  
CONTINUOUS STREET FRONTAGE: 300'  
LOT DEPTH: 300'  
MINIMUM YARD DIMENSIONS:  
FRONT: 80'  
SIDE: 75'  
REAR: 50'  
MAXIMUM STRUCTURE DIMENSIONS:  
STRUCTURE HEIGHT: 60'  
ROOF APURTENANCE HEIGHT: 10'  
BUILDING COVERAGE: 30%  
MINIMUM OPEN SPACE: 30%  
PER THE CITY OF PORTSMOUTH, NH ZONING ORDINANCE SECTION 10.531.  
\* SEE SECTION 10.533.
- UTILITIES SHOWN HEREON ARE BASED ON OBSERVED EVIDENCE AND RECORD PLANS. THEY ARE APPROXIMATE LOCATIONS ONLY. CONTACT DIG SAFE @ 1-888-DIGSAFE TO VERIFY UTILITIES.
- C-900 SECTION OF PIPE WAS INSTALLED IN PLACE OF THE SDR 35 PIPE SHOWN ON THE APPROVED SITE PLANS AT THE WATERLINE CROSSING.
- SEWER MAIN INSULATION INSTALLED FROM SMH 2 AND EXTENDING 20'± NORTHERLY OF SMH 5 AND FROM 20'± SOUTHERLY OF SMH 6 TO SMH 2165.

**PLAN REFERENCES:**

- "LAFAYETTE WEST PHASE II" LAFAYETTE WEST CORP. SUBDIVISION PLAN DATED MAY, 12 1983, BY KIMBALL CHASE COMPANY, INC. RCRD PLAN #D-11744.
- "PLAN OF SUBDIVISION LAFAYETTE WEST DEVELOPMENT LAFAYETTE ROAD PORTSMOUTH, N.H." DATED MAY, 1969 WITH REVISION 2 DATED 7/14/69, BY MCKENNA ASSOCIATES. RCRD PLAN #D-1446.
- "STANDARD BOUNDARY SURVEY TAX MAP 252-LOT 1-7 & TAX MAP 267-LOT 8 FOR SMUTTYNOSE BREWERY LAFAYETTE ROAD CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE NEW HAMPSHIRE" DATED JANUARY 2007, BY AMBIT ENGINEERING, INC. PLAN IS NOT RECORDED.
- "CONDOMINIUM SITE PLAN 1950 LAFAYETTE, A CONDOMINIUM TAX MAP 267 LOT 7 FOR PORTSMOUTH CASEY HOME ASSOCIATION" BY ENGINEERING ALLIANCE, INC. DATED DECEMBER 21 2005. RCRD PLAN #D-33396.
- "PLAN OF LAND FOR MICHAEL R. IAFOLLA & FERRIS G. BAVICO" BY KIMBALL CHASE COMPANY, INC. DATED 5/2/83. RCRD PLAN #D-11561.
- "BOUNDARY LINE ADJUSTMENT FOR ROBERT J. IAFOLLA DEED 2862/1732 TAX MAP 67 LOT 1-4 LAFAYETTE ROAD, PORTSMOUTH, N.H." BY UNDERWOOD ENGINEERS, INC., DATED 3/31/92. RCRD PLAN #D-21559.
- "PLAN OF LAND IN PORTSMOUTH, N.H. OWNED BY PEVERLY HILL CORPORATION AND JOHN IAFOLLA COMPANY INC." BY FRANCIS J. BARRETT, DATED DECEMBER 16, 1975. RCRD PLAN #D-5657.
- "ALTA/ACSM LAND TITLE SURVEY TRACTS NO.100 AND 100-E OWNER: THE UNITED STATES OF AMERICA (TAX MAP 0252-BLOCK 0001-LOT 0007) LAFAYETTE ROAD ~ US ROUTE NO.1 CITY OF PORTSMOUTH - ROCKINGHAM COUNTY - NEW HAMPSHIRE" BY VERMONT SURVEY CONSULTANTS, LLC, DATED AUGUST 01, 2011. RCRD PLAN #D-36925.
- "SEABROOK SIREN LOCATION PLAN TAX MAP 52 LOT 1 PUBLIC SERVICE OF NEW HAMPSHIRE PORTSMOUTH, NEW HAMPSHIRE" BY PUBLIC SERVICE OF NEW HAMPSHIRE GENERAL ENGINEERING DIVISION, DATED 5/14/2002. RCRD PLAN #D-30201.
- "STATE OF NEW HAMPSHIRE STATE HIGHWAY DEPARTMENT PLAN AND PROFILE OF PROPOSED FEDERAL AID PROJECT LAFAYETTE ROAD NO-R-37-A CITY OF PORTSMOUTH ROCKINGHAM COUNTY" DATED 1929.
- "SITE DEVELOPMENT PLANS TAX MAP 267 LOT 8 OWNER: 1900 LAFAYETTE ROAD SPE, LLC, SASTRY HOLDINGS, LLC AND GDC LAFAYETTE PROPERTIES, LLC 150 US HIGHWAY 1 BY-PASS, PORTSMOUTH, NH SITE: 1900 LAFAYETTE ROAD, PORTSMOUTH, NH COUNTY OF ROCKINGHAM" BY MSC A DIVISION OF TFMORAN, INC., DATED 01/20/2014 WITH REVISION 5, DATED 03/02/2015. RCRD PLAN #D-38824.
- "SITE DEVELOPMENT PLANS TAX MAP 267 LOT 8 PROPERTY OF 1900 LAFAYETTE ROAD SPE, LLC, SASTRY HOLDINGS, LLC AND GDC LAFAYETTE PROPERTIES, LLC 1900 LAFAYETTE ROAD, PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM" BY MSC A DIVISION OF TFMORAN, INC., DATED 01/20/2014 WITH REVISION 7, DATED 09/22/2015. RCRD PLAN #D-39176.



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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

REV.	DATE	DESCRIPTION	DR	CK

**TAX MAP 267 LOT 8**  
**EXISTING CONDITIONS PLAN**  
**1900 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
 OWNED BY  
**WSS LAFAYETTE PROPERTIES, LLC (20%) et als**

SCALE: 1" = 20' (22x34)  
 1" = 40' (11x17)

JUNE 20, 2024

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

**TFM**  
**MSC**  
 A division of TFMoran, Inc.

FILE	45407.17	DR	ID	FB
		CK	BMK	CADFILE

S-01

**LAFAYETTE ROAD / (US ROUTE 1)**  
**(PUBLIC RIGHT OF WAY)**

**LEGEND**

PROPOSED	
	PROPERTY LINE
	ZONING LINE
	EASEMENT
	EDGE OF WETLAND
	SETBACK (WETLAND)
	SETBACK (STRUCTURE)
	GRAVEL ROAD
	EDGE OF PAVEMENT
	VERTICAL GRANITE CURB
	SAWCUT
	BUILDING
	BUILDING ROOF OVERHANG
	BUILDING FOUNDATION
	BUILDING ENTRANCE
	OVERHEAD DOOR
	TREE LINE
	STONE WALL
	RETAINING WALL
	SILT FENCE
	SILT SOCK
	SOIL BOUNDARY
	LIMIT OF GRADING
	CONTOUR
	SPOT GRADE
	PARKING COUNT
	YELLOW DOUBLE SOLID LINE
	YELLOW SINGLE SOLID LINE
	WHITE SINGLE SOLID LINE
	WHITE SINGLE BROKEN LINE
	STOP BAR
	CROSSWALK
	ACCESSIBLE PARKING SYMBOL
	PAVEMENT ARROW
	TRAFFIC FLOW ARROW (NOT PAINTED)
	SIGN (SINGLE POST)
	SIGN (DOUBLE POST)
	SIGN (PVLON)
	SIGN (MONUMENT)
	BOLLARD
	DUMPSTER PAD

PROPOSED	
	CONCRETE
	GRAVEL
	HEAVY DUTY PAVEMENT
	CONSTRUCTION ENTRANCE
	SNOW STORAGE
	RIPRAP
	INLET PROTECTION
	FLOW ARROW
	GRADE BREAK RIDGE
	DRAIN LINE
	STORMWATER BMP
	SEWER LINE
	SEWER FORCE MAIN LINE
	WATER LINE
	GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND UTILITY LINE
	CATCH BASIN
	OUTLET CONTROL STRUCTURE
	ROOF DRAIN
	DRAIN CLEANOUT
	DRAIN MANHOLE
	FARED END SECTION
	SEWER CLEAN OUT
	SEWER MANHOLE
	DRAIN/SEWER/WATER PLUG OR CAP
	HYDRANT
	FIRE DEPARTMENT CONNECTION
	WATER GATE VALVE
	WATER SHUTOFF
	GAS GATE VALVE
	GAS SHUT OFF
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	TRAFFIC CONTROL CABINET
	LIGHT POLE
	UTILITY POLE
	GUY POLE
	TRANSFORMER PAD
	TEST PIT LOCATION

**ABBREVIATIONS**

GENERAL		UTILITIES	
ABAN	ABANDON	CB	CATCH BASIN
AC	ACRES	CIP	CAST IRON PIPE
ADJ	ADJUST	CMP	CORRUGATED METAL PIPE
APPROX	APPROXIMATE	CO	CLEANOUT
BC	BOTTOM OF CURB	COND	CONDUIT
BIT	BITUMINOUS	DCB	DOUBLE CATCH BASIN
BK/Pg	BOOK & PAGE	DIP	DUCTILE IRON PIPE
BLDG	BUILDING	DMH	DRAIN MANHOLE
BMP	BEST MANAGEMENT PRACTICE	F&C	FRAME AND COVER
BS	BOTTOM OF SLOPE	F&G	FRAME AND GRATE
BW	BOTTOM OF WALL	FES	FLARED END SECTION
CONC	CONCRETE	GT	GREASE TRAP
COORD	COORDINATE	HDPE	HIGH DENSITY POLYETHYLENE PIPE
DIA	DIAMETER	HH	HANDHOLE
ELEV	ELEVATION	HW	HEADWALL
		HYD	HYDRANT
		LP	LIGHT POLE
		OCS	OUTLET CONTROL STRUCTURE
		PVC	POLYVINYL CHLORIDE PIPE
		RPC	REINFORCED CONCRETE PIPE
		RD	ROOF DRAIN
		SMH	SEWER MANHOLE
		SOS	SEDIMENT OIL SEPARATOR
		TSV	TAPPING SLEEVE, VALVE, AND BOX
		UP	UTILITY POLE
EP	EDGE OF PAVEMENT		
EXIST	EXISTING		
FFE	FINISHED FLOOR ELEVATION		
FND	FOUNDATION		
HP	HIGH POINT		
INV	INVERT ELEVATION		
IT	INFILTRATION TEST		
L	LENGTH		
LF	LINEAR FEET		
LSA	LANDSCAPE AREA		
MAX	MAXIMUM		
MIN	MINIMUM		
N/F	NOW OR FORMERLY		
NHFG	NEW HAMPSHIRE FISH & GAME		
NTS	NOT TO SCALE		
OC	ON CENTER		
PAVE	PAVEMENT		
PERF	PERFORATED		
PROF	PROPOSED		
R	RADIUS		
R&D	REMOVE AND DISPOSE		
R&R	REMOVE AND RESET		
RET	RETAIN		
RIM	RIM ELEVATION		
ROW	RIGHT OF WAY		
S	SLOPE		
SF	SQUARE FEET		
SIDEWALK	SIDEWALK		
TCB	TEMPORARY BENCHMARK		
TC	TOP OF CURB		
TP	TEST PIT		
TW	TOP OF WALL		
TYP	TYPICAL		
UG	UNDERGROUND		
WCR	WHEELCHAIR RAMP		
W/	WITH		

**GENERAL NOTES**

- THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THE SITE LAYOUT PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING BOARD.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF ENV-WO 1500. THE SITE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF CONSTRUCTION OF EACH STORMWATER FACILITY TO COORDINATE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL TAKE PROGRESS PHOTOS DURING CONSTRUCTION OF ALL STORMWATER DRAINAGE COMPONENTS AND SEND TO THE ENGINEER.
- SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- PRIOR TO COMMENCING ANY SITE WORK, ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
  - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST, AND UNSIGHTLY DEBRIS.
  - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
  - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
  - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
  - PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
  - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE AND/OR WETLAND SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
- PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
- IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.

L. AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. [IF AOT PERMIT IS REQUIRED, SUBSTITUTE THE PREVIOUS STATEMENT WITH THE FOLLOWING] THIS PROJECT IS SUBJECT TO THE AOT PERMIT LISTED ON THE COVER SHEET. THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS OF THE PERMIT AND PROVIDE THE FOLLOWING DOCUMENTATION TO OWNER AND ENGINEER:

- ADVANCE WRITTEN NOTICE AT LEAST ONE WEEK PRIOR TO COMMENCING ANY WORK UNDER THE PERMIT AND NOTIFICATION TO AOT VIA THE START OF CONSTRUCTION FORM.
- IF ANY UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS WERE INSTALLED, FOR EACH SUCH SYSTEM:
  - REPRESENTATIVE PHOTOGRAPHS OF THE SYSTEM AFTER COMPLETION BUT PRIOR TO BACKFILLING; AND
  - A LETTER SIGNED BY A QUALIFIED ENGINEER WHO OBSERVED THE SYSTEM PRIOR TO BACKFILLING, THAT THE SYSTEM CONFORMS TO THE APPROVED PLANS AND SPECIFICATIONS.
- UPON COMPLETION OF CONSTRUCTION, NOTIFICATION TO AOT VIA THE COMPLETION OF CONSTRUCTION FORM AND WRITTEN CERTIFICATION THAT:
  - ALL WORK UNDER THE PERMIT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
  - IF ANY DEVIATIONS FROM THE APPROVED PLANS WERE MADE, WRITTEN DESCRIPTIONS AND AS-BUILT DRAWINGS OF ALL SUCH DEVIATIONS, STAMPED BY A QUALIFIED ENGINEER, SHALL BE PROVIDED.

**GRADING & DRAINAGE NOTES**

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WO 1500 AS APPLICABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE, INCLUDING AND NOT LIMITED TO DEWATERING METHODS, PERIMETER DRAINS AND TIE INTO STORMWATER MANAGEMENT SYSTEM, ETC.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
- DENSITY REQUIREMENTS:
 

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

**UTILITY NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT, AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:
 

SEWER	MUNICIPAL
DRAINAGE	PRIVATE
WATER	MUNICIPAL
GAS	UTILITY
ELECTRIC	EVSOURCE
TELEPHONE	CONSOLIDATED COMMUNICATIONS AKA FAIRPOINT COMMUNICATIONS
CABLE	COMCAST

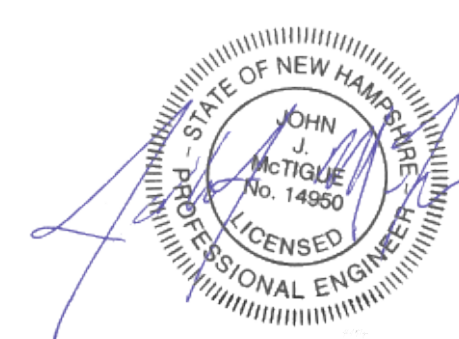
**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8  
**NOTES & LEGEND**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

SCALE: NTS JANUARY 24, 2024

Seacoast Division		Civil Engineers	170 Commerce Way, Suite 102
	Structural Engineers	Portsmouth, NH 03801	www.tfmoran.com
	Traffic Engineers	Phone (603) 431-2222	
	Land Surveyors	Fax (603) 431-0910	
	Landscape Architects		
Scientists			

45407.17	DR JKC	FB	-	C-01
	CK	CRR	CADFILE	45407-17_NOTES

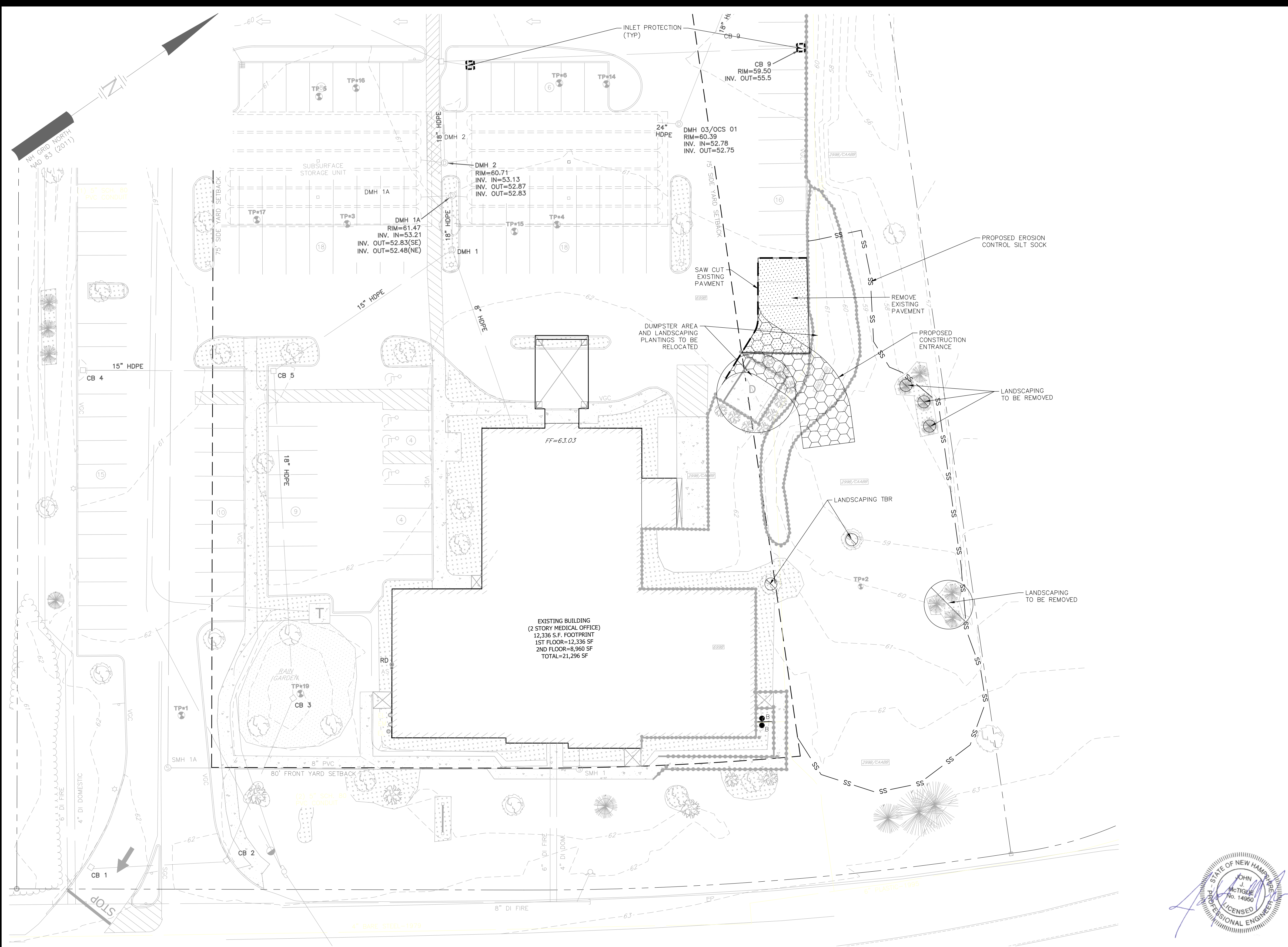


REV	DATE	DESCRIPTION	DR	CK
4	10/01/2024	NO REVISIONS THIS SHEET	JJM	
3	9/17/2024	NO REVISIONS THIS SHEET	JJM	
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	REVISED TITLE BLOCK	BCH	JJM

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Oct 02, 2024 - 10:40am F:\MISC Projects\45407-17 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWG\SM45407-17 Site-Prep.dwg



**NOTES**

- SEE NOTES ON SHEET C-01.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
- THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
- CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP-LINE OF THE TREES TO BE SAVED.
- CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

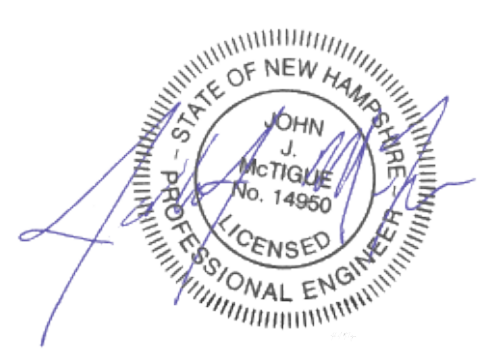
**CONSTRUCTION SEQUENCE NOTES**

- TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
- MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
- THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
- DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
  - INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - STORMWATER TREATMENT PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
  - DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
  - DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
  - CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
  - ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
  - CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
  - CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
  - BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
  - PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
  - INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
  - CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
  - COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
  - COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
  - REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
  - DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
  - SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

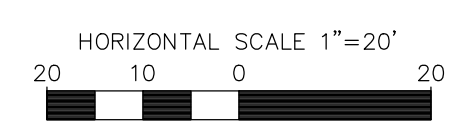
**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8  
**SITE PREPARATION PLAN**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

**1"=40' (11"X17")**  
**SCALE: 1"=20' (22"X34")** **JANUARY 24, 2024**



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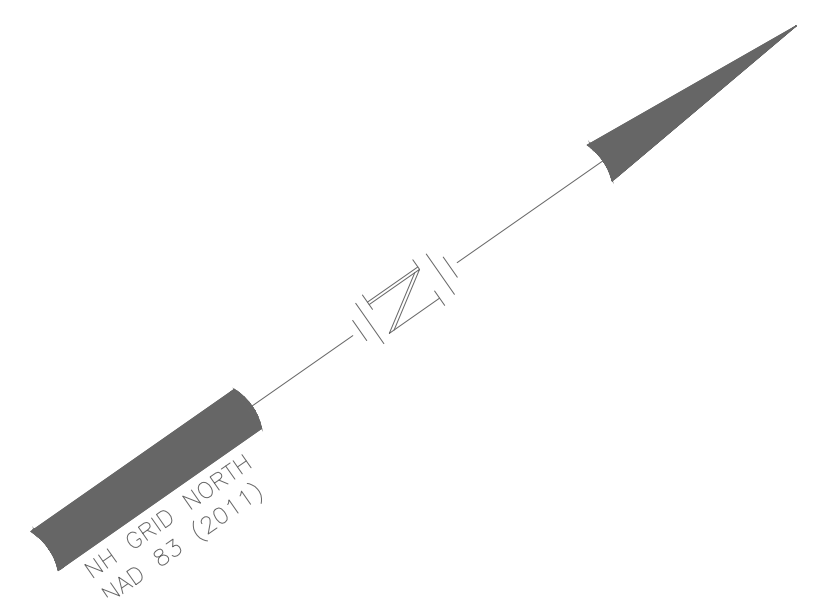
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3	9/17/2024	NO REVISIONS THIS SHEET	JJM	
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	No Revisions This Sheet		

Seacoast Division

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

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 Fax (603) 431-0910  
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45407.17 DR JKC FB  
 CK CRR CADFILE 45407-17\_SITE-PREP C-02



- OPEN SPACE (66,233sf ± = 38.2%)
- GRASSED BUT NOT OPEN AREA (1,179sf ± = 0.7%)
- IMPERVIOUS AREA (105,957sf ± = 61.1%)

**SITE DEVELOPMENT PLANS**

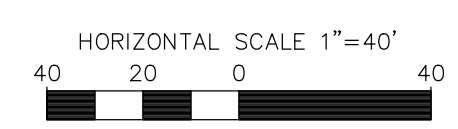
TAX MAP 267 LOT 8  
**OVERALL SITE LAYOUT PLAN**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

**1"=80' (11"X17')**  
**SCALE: 1"=40' (22"X34')** **SEPTEMBER 17, 2024**



**MCKINLEY ROAD**  
 (PUBLIC RIGHT OF WAY)

**LAFAYETTE ROAD / (US ROUTE 1)**  
 (PUBLIC RIGHT OF WAY)



REV	DATE	DESCRIPTION	DR	CRR
4	10/1/2024	REVISED OPEN SPACE PER TAC COMMENTS	JJM	
3	9/17/2024	NO REVISIONS THIS SHEET	JJM	
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	9/17/2024	NEW SHEET	JJM	CRR

Seacoast Division

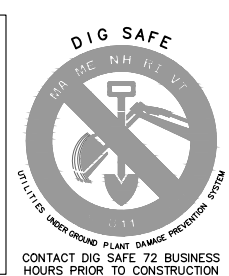
Civil Engineers  
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 Landscape Architects  
 Scientists

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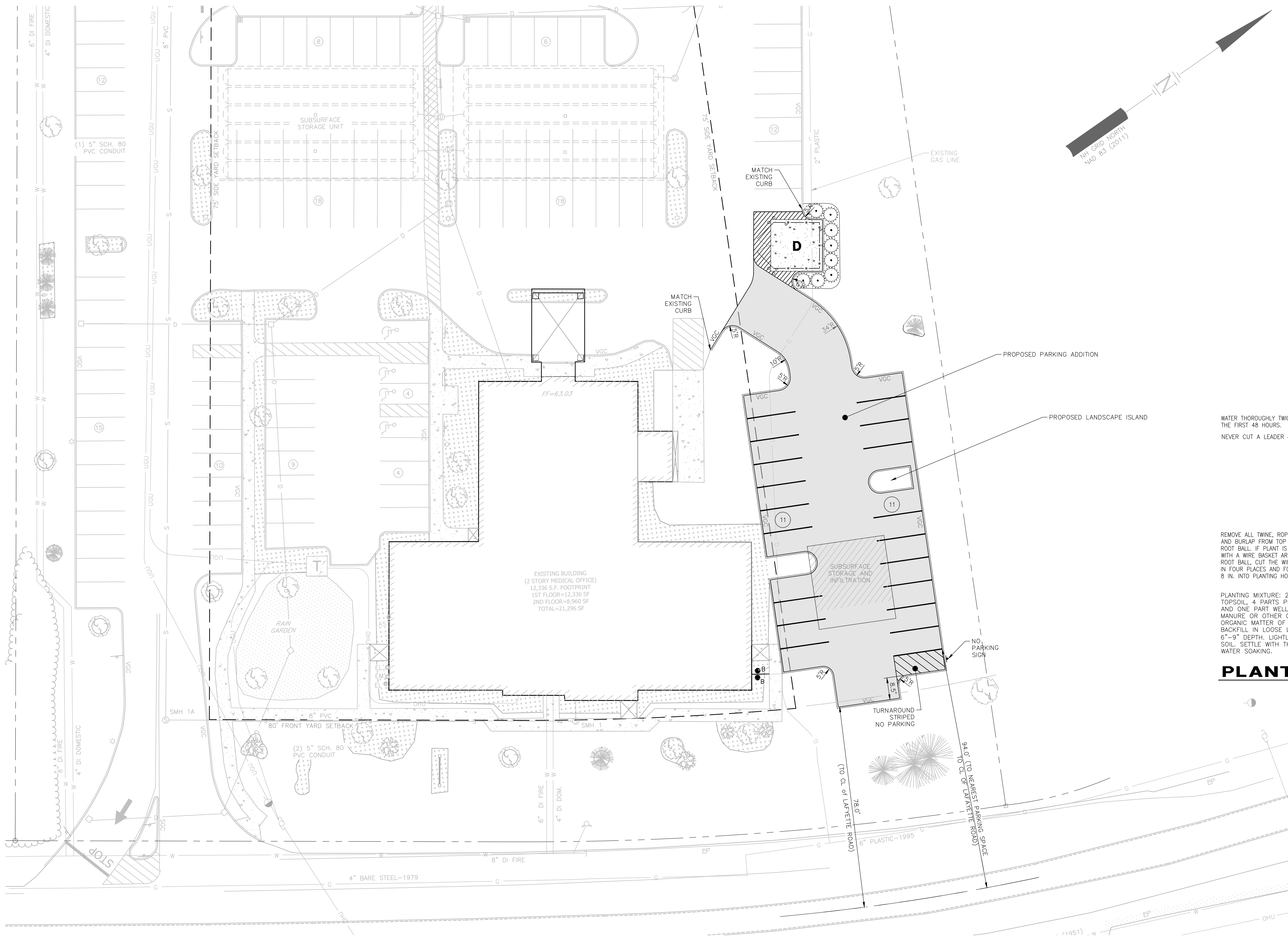
FILE: 45407.17  
 DR: JKC  
 CK: CRR  
 FB: FB  
 CADFILE: 45407-17\_SITE-PLAN\_OVERALL  
 C-03

Oct 02, 2024 - 10:41am F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRW\GSM45407-17\_Site-Plan\_Overall.dwg

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**SITE DATA**

OWNER OF RECORD OF MAP 267 LOT 8: HPIII BOSTON PORTSMOUTH LLC C/O HAMMES REALTY SERVICES LLC  
 DEED REFERENCE TO PARCEL IS BK 6431 PG 1522  
 AREA OF PARCEL = 173,369± SF OR 3.98± ACRES

ZONED: OFFICE RESEARCH  
 EXISTING USE: MEDICAL USE  
 PROPOSED USE: MEDICAL USE

	REQUIRED:	EXISTING:	PROPOSED:
MINIMUM OPEN SPACE	30%		39%

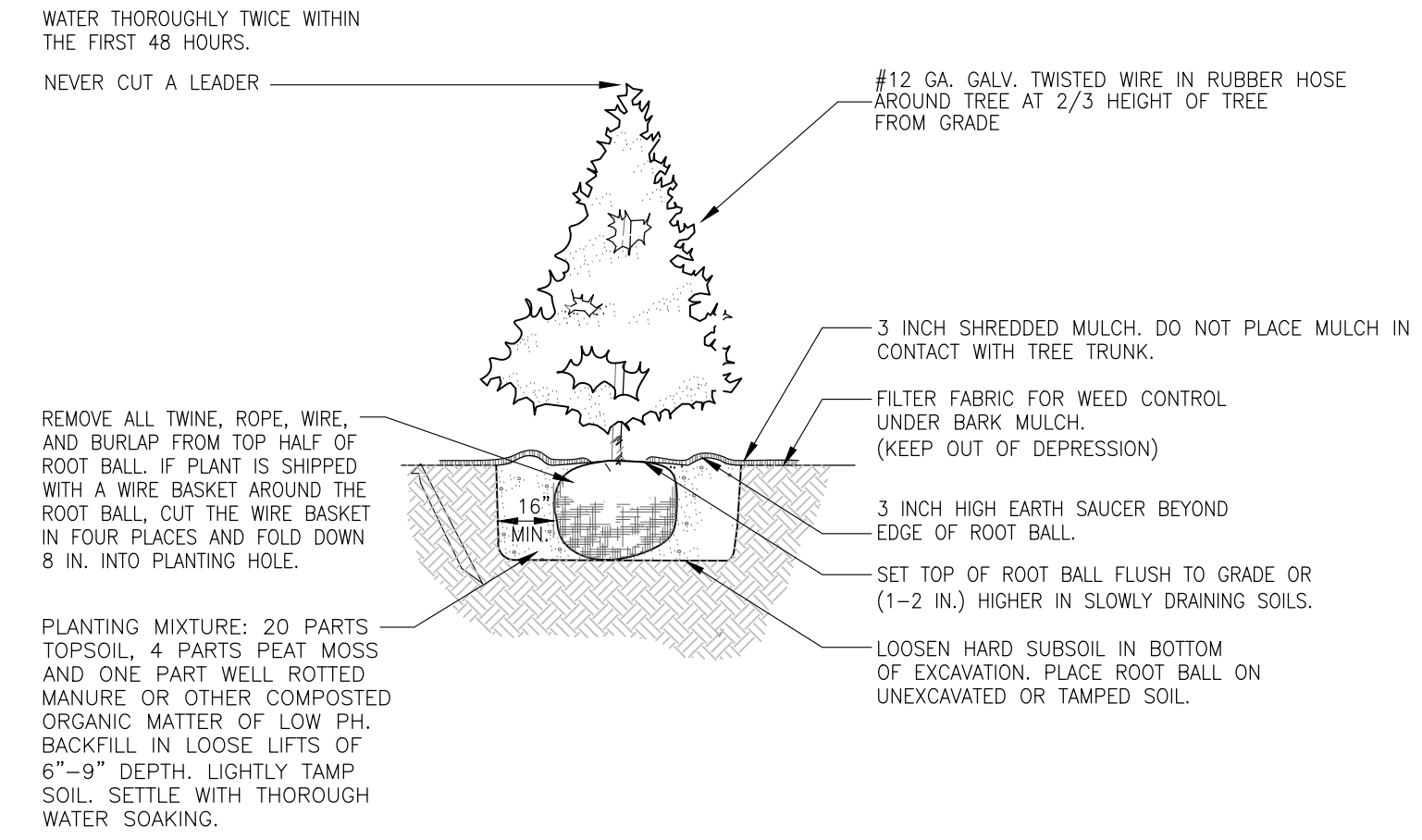
THE PURPOSE OF THIS PLAN IS TO DEPICT THE ADDITION OF PARKING TO THE EXISTING USE. ASSOCIATED IMPROVEMENTS INCLUDE AND ARE NOT LIMITED TO ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEMS, UTILITIES, LIGHTING, AND LANDSCAPING.

PARKING CHANGES	REQUIRED	EXISTING:	PROPOSED:
PARKING SPACES	130-156 SPACES	139 SPACES	156 SPACES
ACCESSIBLE SPACES	6 SPACE	8 SPACES	8 SPACES
PARKING SPACE SIZE	9 FT X 19 FT	8.5 FT X 19 FT	9 FT X 19 FT
AISLE WIDTH	24 FT	24 FT	24 FT

PARKING CALCULATIONS:  
 REQUIRED PARKING RATIO:  
 MEDICAL OFFICE: 1 SPACE PER 250 SF GFA  
 AMBULATORY MEDICAL CENTER: 1 SPACE PER 250 SF GFA

TOTAL REQUIRED:  
 FRONT (2 STORY MEDICAL OFFICE): 21,296 SF \* 1 SPACE / 250 SF = 85 SPACES  
 REAR 1 STORY AMBUL. MED. CNTR: 11,175 SF \* 1 SPACE / 250 SF = 45 SPACES  
 130 SPACES

MAXIMUM NUMBER OF PARKING SPACES = 120% OF MINIMUM NUMBER OF PARKING SPACES  
 120% X 130 SPACES = 156 SPACES



**PLANTING DETAIL**

NOT TO SCALE

**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8  
**SITE LAYOUT PLAN**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

**1"=40' (11"X17')**  
**SCALE: 1"=20' (22"X34')** **JANUARY 24, 2024**

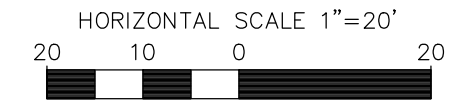
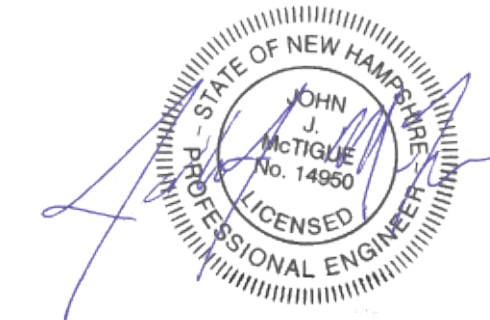
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 Land Surveyors  
 Landscape Architects  
 Scientists

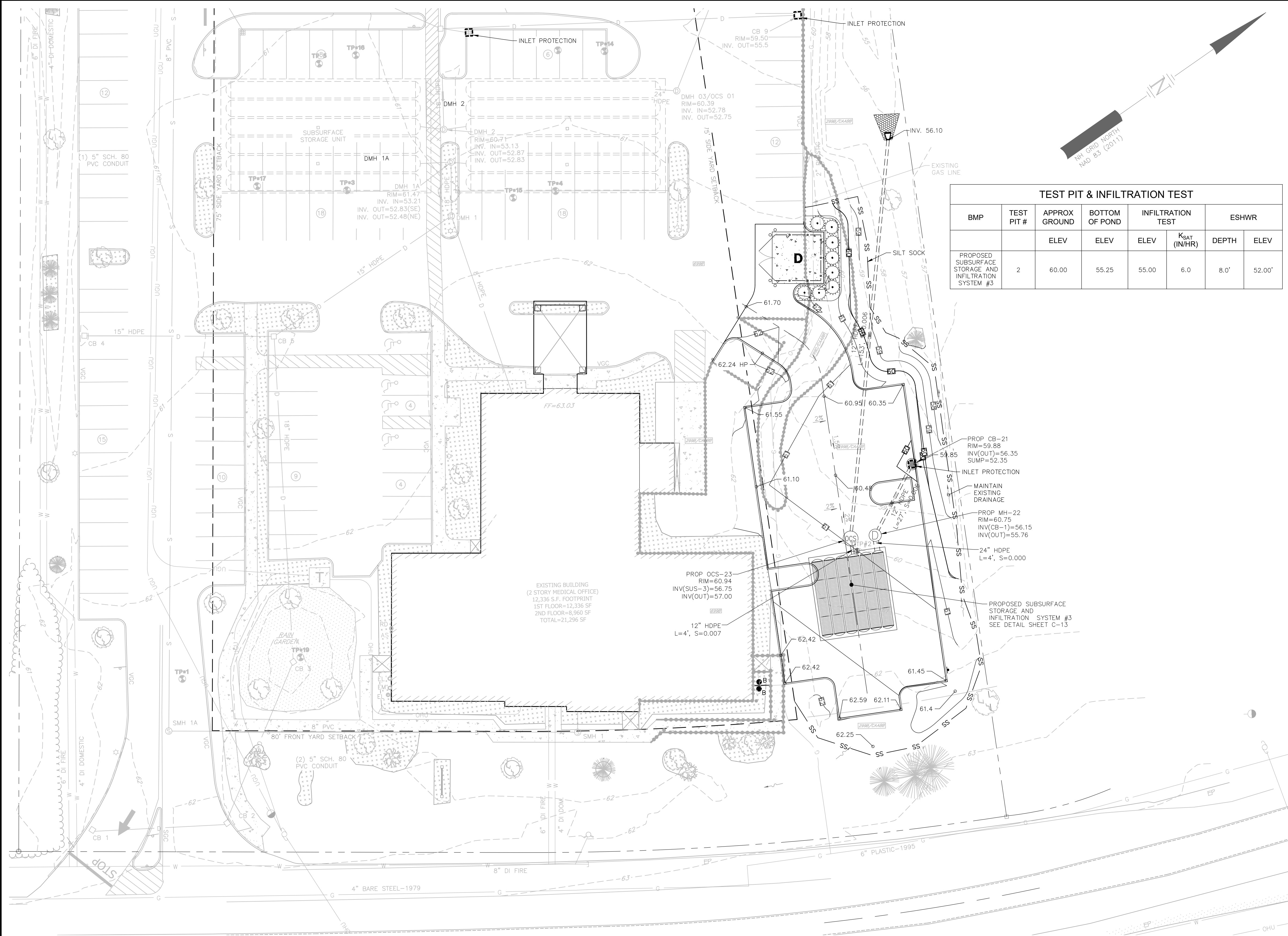
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REV	DATE	DESCRIPTION	DR	CK
6	9/17/2024	ADD PARKING TURNAROUND	JJM	CRR
5	9/9/2024	REVISED PARKING CALCULATIONS	JJM	CRR
4	10/21/2023	MODIFIED PARKING CALCULATIONS	BDM	JJM
3	4/2/2024	REVISED PER CITY COMMENTS	JJM	CRR
2	10/30/2023	REVISED PER WETLAND SCIENTIST OBSERVATIONS	JJC	CRR
1	10/16/2023	ADDED PARKING SPACES	JJC	CRR

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**GRADING AND DRAINAGE NOTES**

- SEE NOTES ON SHEET C-01.
- PROPOSED SPOT GRADES ARE PROVIDED TO THE NEAREST 0.05. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE FINISHED GRADES MEET ADA STANDARDS FOR WHEEL CHAIR RAMPS, HANDICAP SPACES AND ACCESS AISLES, CROSSWALKS, SIDEWALKS, ETC.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED DRAINAGE PIPES SHALL BE 12" AND HDPE, UNLESS OTHERWISE NOTED ON THE PLAN.
- DRAINAGE PIPES WITH LESS THAN 3' COVER SHALL BE INSULATED (SEE UTILITY TRENCH DETAIL) AND DRAINAGE CATCH BASINS WITH LESS THAN 3.5' OF COVER OVER INVERTS SHALL USE SLAB TOP CATCH BASIN (SEE DETAILS).
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS FOR SUBDRAINAGE SYSTEMS FOR THE BUILDING FOUNDATION. SUBDRAINAGE MUST DAYLIGHT OR TIE INTO THE STORMWATER MANAGEMENT SYSTEM. COORDINATE SUBDRAINAGE SYSTEM DESIGN WITH THE ENGINEER OF RECORD.

TEST PIT & INFILTRATION TEST						
BMP	TEST PIT #	APPROX	BOTTOM	INFILTRATION		ESHWR
		GROUND	OF POND	TEST	TEST	
		ELEV	ELEV	ELEV	K <sub>SAT</sub> (IN/HR)	DEPTH
PROPOSED SUBSURFACE STORAGE AND INFILTRATION SYSTEM #3	2	60.00	55.25	55.00	6.0	8.0'

**EROSION CONTROL NOTES**

- SEE NOTES ON SHEET C-01, EROSION CONTROL NOTES ON SHEET C-09, EROSION CONTROL DETAILS ON SHEET C-10, AND THE APPROVED SWPPP, AS APPLICABLE.
- INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
- PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
- DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
- SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
- EROSION CONTROL MIX, AS SPECIFIED IN THE DETAILS, CAN BE USED IN PLACE OF SILT SOCK.
- CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
- INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.25" OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
- PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
- ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, ARE INSTALLED IN AREAS TO BE PAVED
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
- THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

**SOIL LEGEND  
(PER SITE SPECIFIC SOIL SURVEY)**

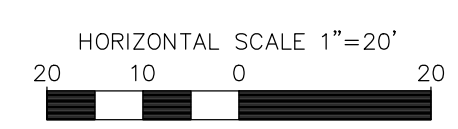
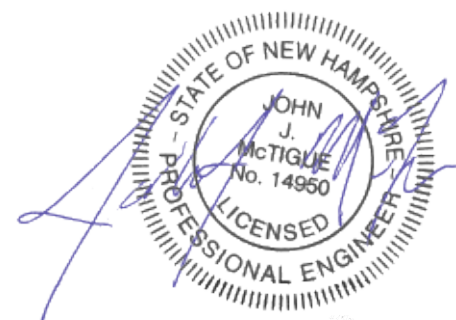
SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP
299/CAABB	UDORTHERTS, SMOOTHED (WELL DRAINED, NO NATURAL SOILS)	B
699	URBAN LAND	N/A

**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8  
**GRADING AND DRAINAGE PLAN**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

**1"=40' (11"X17')**  
**SCALE: 1"=20' (22"X34')** **JANUARY 24, 2024**

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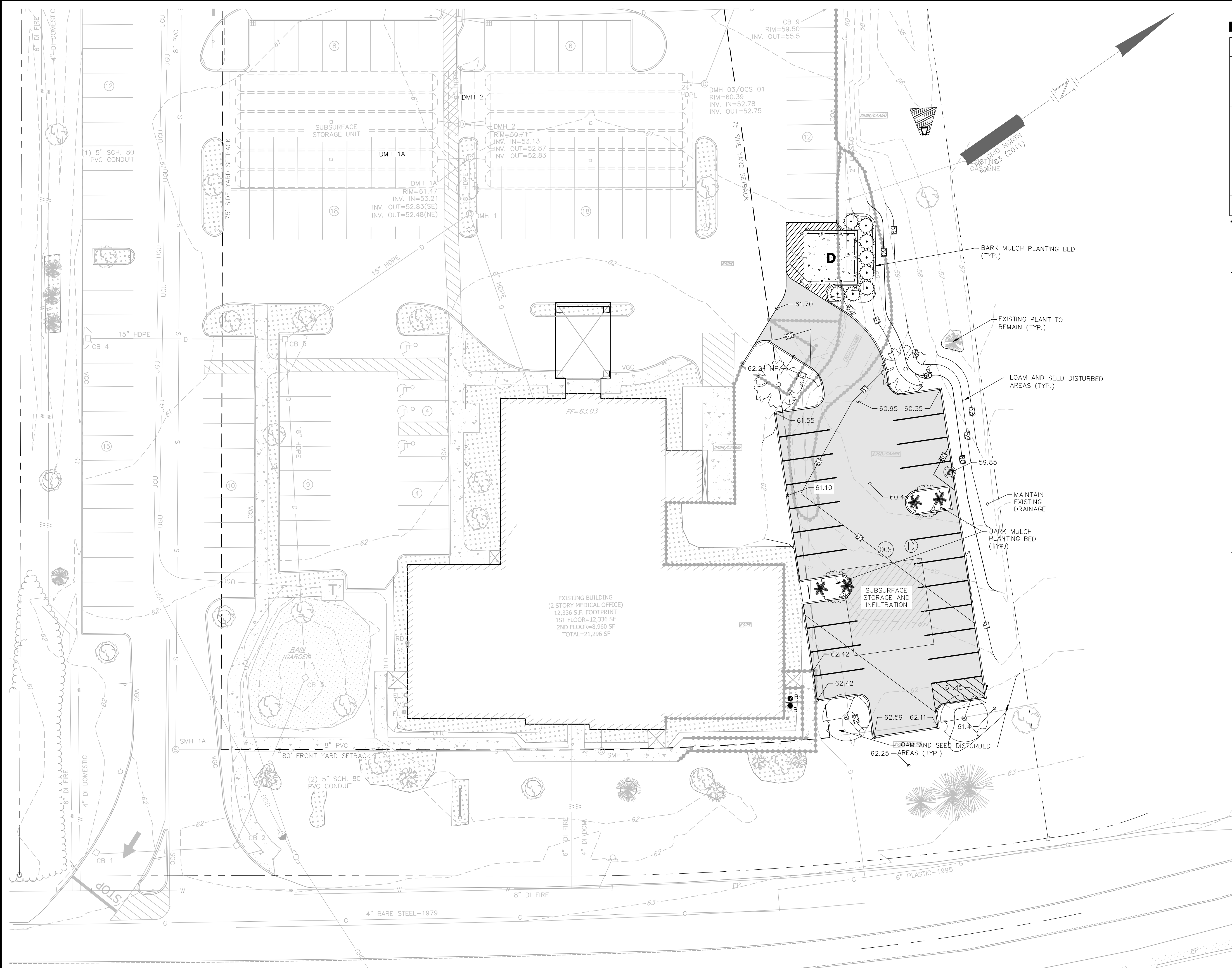
REV	DATE	DESCRIPTION	DR	CK
4	10/01/2024	NO REVISIONS THIS SHEET	JJM	
3	9/17/2024	UPDATE GRADING NEXT TO TURNAROUND	JJM	CRR
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	REVISED SITE SOILS, REVISED TITLE BLOCK	BCH	JJM

Seacoast Division  
**TFM**  
 Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

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FILE NO: 45407.17  
 DR: JKC  
 CK: CRR  
 FB: FB  
 CADFILE: 45407-17\_GRADING-DRAINAGE-PLAN  
 C-05

Oct 02, 2024 - 10:42am F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWG\M45407-17 Landscape-Plan.dwg



**LANDSCAPE LEGEND**

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	REMARKS	MATURE SIZE (HEIGHT/SPREAD)	GROWTH HABIT
	2	ULMUS AMERICANA 'PRINCETON' PRINCETO AMERICAN ELM	3" CAL. MIN.	B&B	60'/40'-60'	VASE
	2	CRATAEGUS C.J. 'THORNLESS' THORNLESS COCKSPUR HAWTHORN	2" CAL. MIN.	B&B	15'-20'/15'-20'	ROUNDED
	2	PLATANUS X ACREFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	3" CAL. MIN.	B&B	60'+/60'	ROUNDED
	4	SPIRAEA X B. 'ANTHONY WATERER' ANTHONY WATERER SPIREA	3 GAL.	CONTAINER	3'-4'/4'-5'	MOUNDED

\* ALL PLANTS CONTAINED IN LEGEND HAVE BEEN SELECTED FOR URBAN GROWING CONDITIONS.

**LANDSCAPE NOTES**

(SEE DETAILS FOR ADDITIONAL NOTES)

**GENERAL**

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
- THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
- ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBEROUS, COMPACT ROOT SYSTEM.
- ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
- IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."

**GUARANTEE**

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

**SITE DEVELOPMENT PLANS**

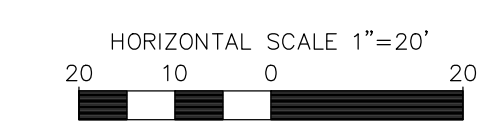
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**LANDSCAPE PLAN**  
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REV	DATE	DESCRIPTION	DR	CK
4	10/01/2024	NO REVISIONS THIS SHEET	JJM	
3	9/17/2024	UPDATED LANDSCAPE NEAR TURNAROUND	JJM	CRR
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	No Revisions This Sheet	MK	

FILE	45407.17	DR	JJK	FB		
		CK	CRR	CADFILE	45407-17_LANDSCAPE-PLAN	C-06



# LANDSCAPE SPECIFICATIONS

## SITE AND SOIL PREPARATION

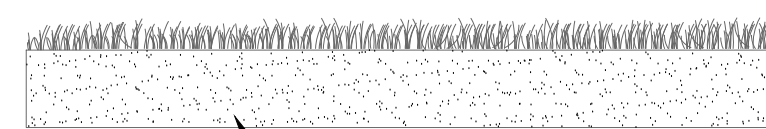
- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
- ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER. SUBSOIL, ROOTS, AND WEEDS: THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.6. LOAM SHALL CONTAIN A MINIMUM OF THREE PERCENT (3%) AND A MAXIMUM OF TWENTY PERCENT (20%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
- SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

## PLANTING

- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
- MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- STAKE AND GUY TREES IMMEDIATELY AFTER PLANTING (TREE SUPPORT STAKES SHALL BE 2" X 3" X 6', WOOD STAKES, GUYING WIRE SHALL BE NO. 12 GAUGE GALVANIZED SOFT STEEL WIRE. HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "CINCH-TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE.)
- TREEGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
- TREES TO REMAIN STAKED FOR 1 FULL GROWING SEASON.
- THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

## SEEDING

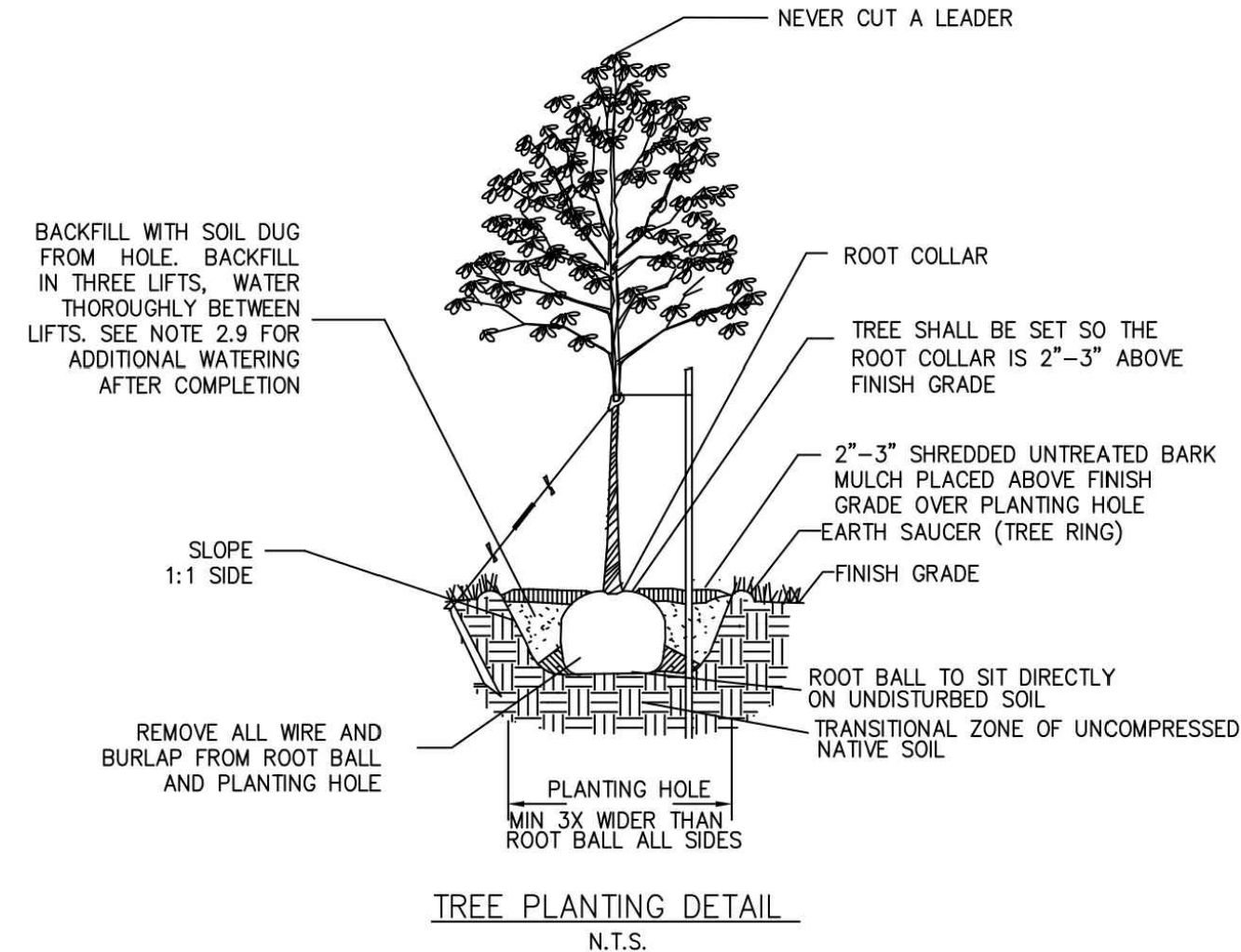
- SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
- SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
- GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.



6" LOAM (ITEM 641)  
SEED (ITEM 644) LIMESTONE (ITEM 642) FERTILIZER (ITEM 643.11)  
APPLY RATIOS OF LIMESTONE AND FERTILIZER PER MANUFACTURERS SPECIFICATION BASED ON SOIL TEST RESULTS.  
STRAW MULCH SHALL BE UTILIZED FOR EROSION CONTROL AT A RATE OF 3 TONS PER ACRE. HYDROSEEDING MAYBE UTILIZED AS AN ALTERNATE METHOD. (SEE HYDROSEEDING NOTES)

## LOAM & SEED

NOT TO SCALE



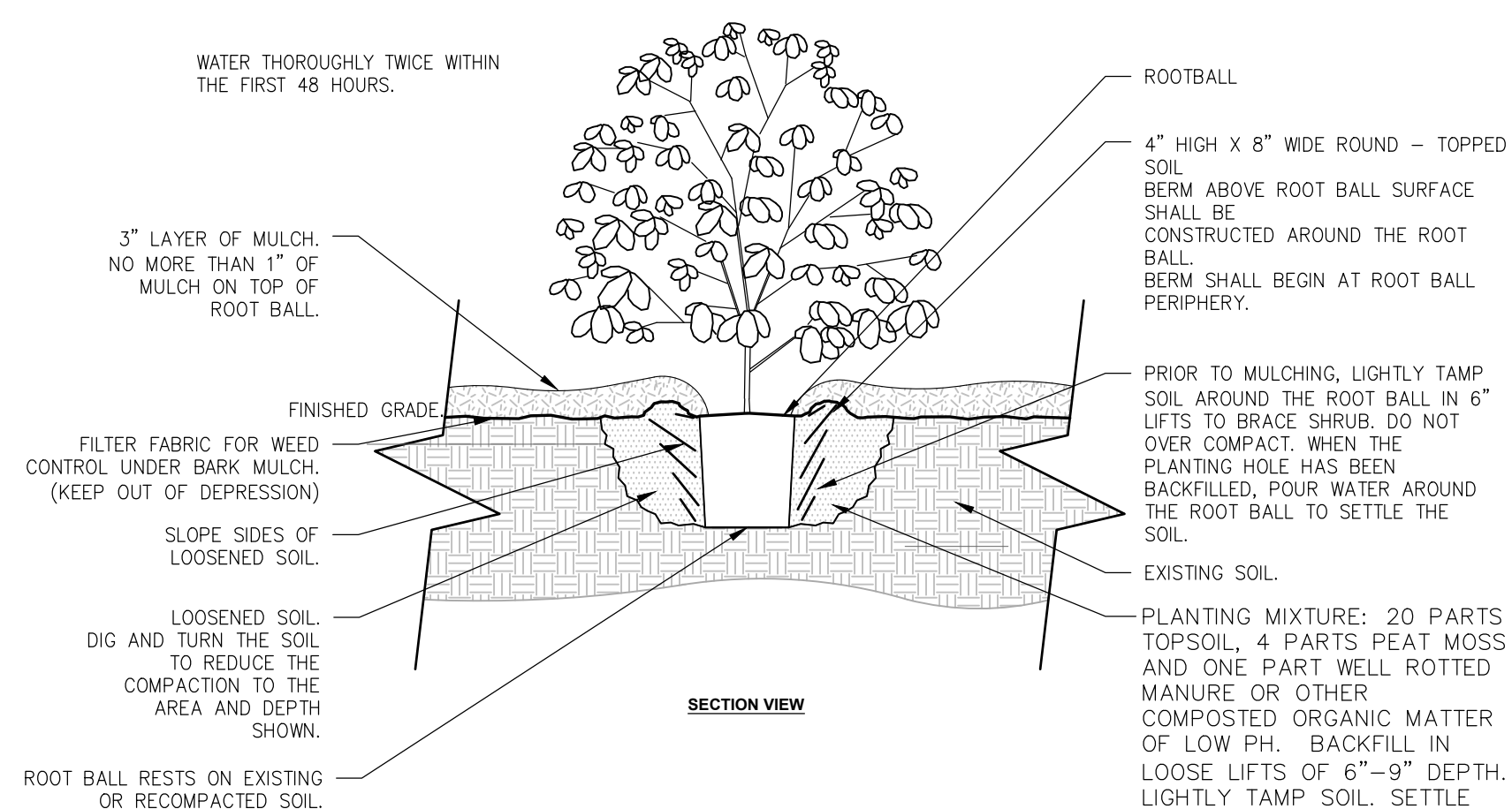
STANDARD DETAIL  
OF  
TREE  
PLANTING  
PORTSMOUTH, NEW HAMPSHIRE  
DRAWING SCALE: NTS  
March, 2019  
PT

## PART 1 - GENERAL:

- THE BASE OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING. ANSI A300 PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IT IS NOT THE "END ALL" FOR THE CITY OF PORTSMOUTH. THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE ANSI A300 PART 6.

## PART 2 - EXECUTION:

- ALL PLANTING HOLES SHALL BE DUG BY HAND - NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS AND PLANTING DEPTH NEEDS TO BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.
- ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.
- THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GIRDLING ROOTS ARE PRESENT.
- THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHING DEPTH.
- ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
- ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS - NO EXCEPTIONS.
- AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.
- 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
- AT THE TIME OF PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS, BACKFILL MATERIAL AND MULCH LAYER.
- STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUY MATERIAL SHALL BE NON-DAMAGING TO THE TREE.
- ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS, AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/REJECT ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPORTATION AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.



## SHRUB PLANTING

NOT TO SCALE

## SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8  
**LANDSCAPE DETAILS**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

**1"=40' (11'X17')**  
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### Seacoast Division



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
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45407.17	DR	JJK	FB	-	C-07
	CK	CR	CADFILE	45407-17_LANDSCAPE-PLAN	

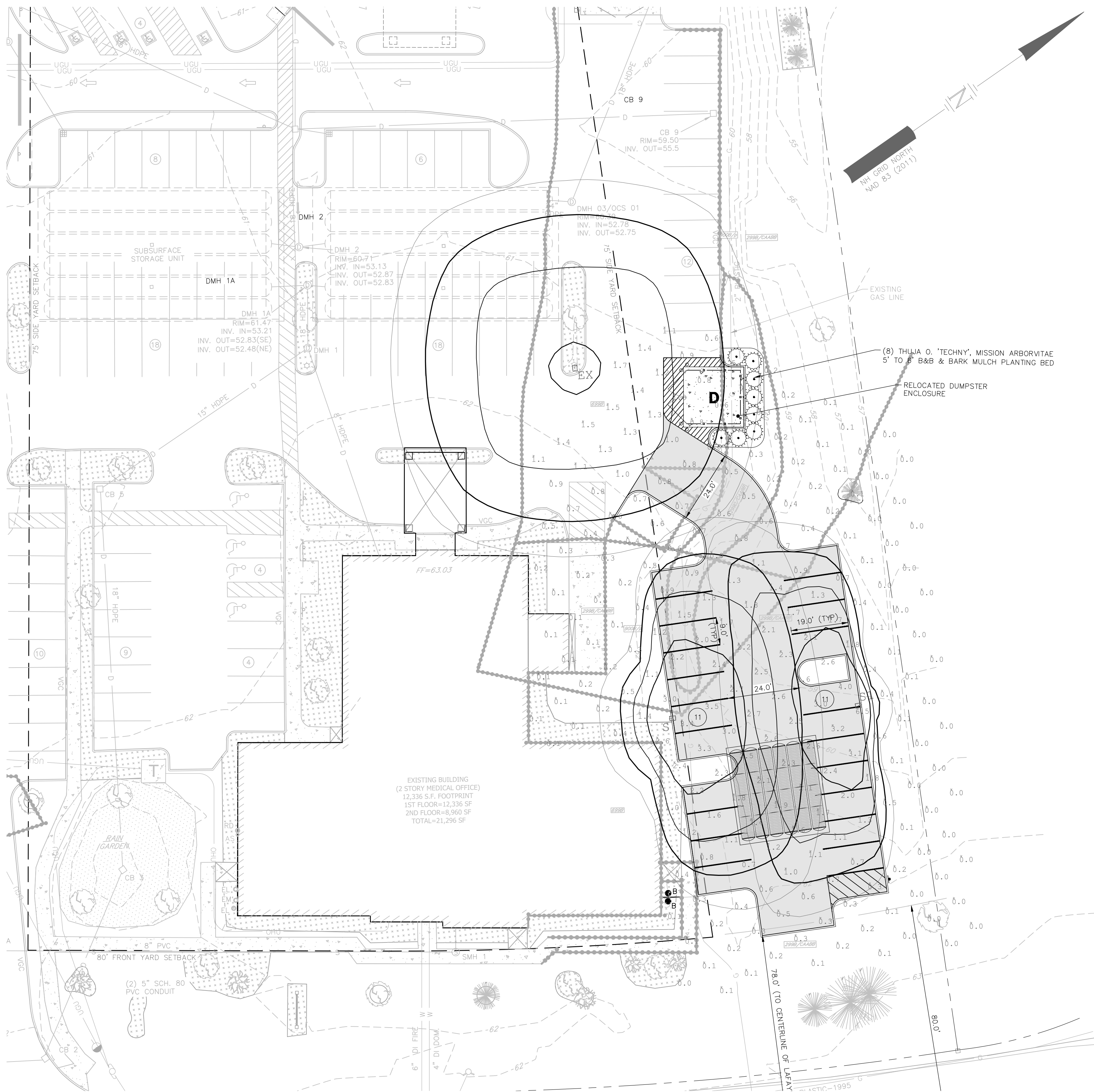
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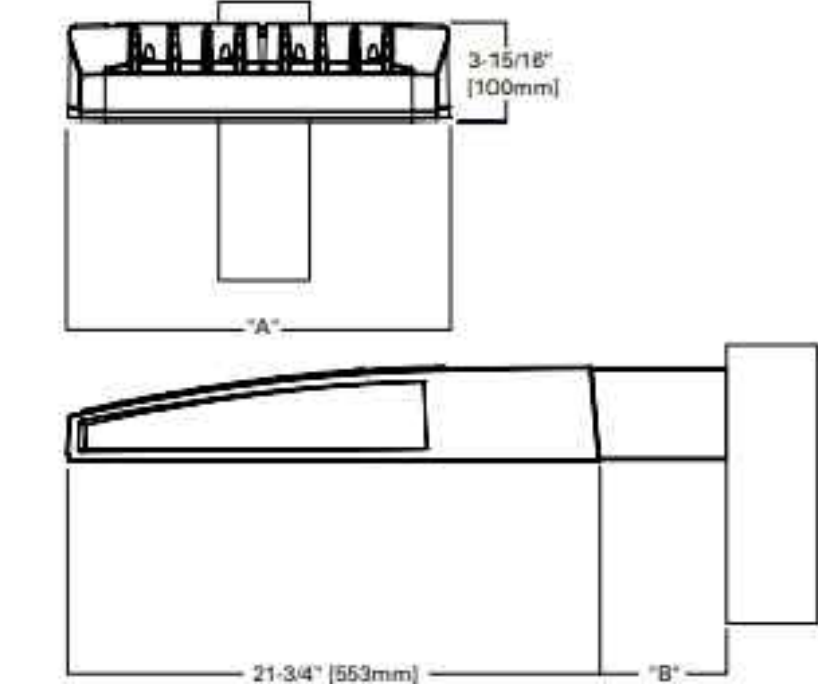
Oct 02, 2024 - 10:42am  
F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWG\M45407-17 Lighting.dwg



LUMINAIRE SCHEDULE				
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
[Symbol]	1	S	SINGLE	GLEON-SA2A-740-U-T3 / 20' AFG
[Symbol]	1	S1	SINGLE	GLEON-SA2A-740-U-SL3-HSS / 20' AFG
[Symbol]	1	EX	SINGLE	EXISTING FIXTURE ON 20' POLE

**PARKING LOT**  
ILLUMINANCE (FC)  
AVERAGE = 2.02  
MAXIMUM = 6.5  
MINIMUM = 0.6  
AVG/MIN RATIO = 3.37  
MAX/MIN RATIO = 10.83

**Dimensional Details**



Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Extended Arm Length <sup>1</sup>	"B" QM Arm Length	"B" OML Length	"B" OMEA Length
1-4	15'-1/2"	7'	10'	10'-5/8"	-	16'-9/16"
5-6	21'-5/8"	7'	10'	10'-5/8"	-	16'-9/16"
7-8	27'-5/8"	7'	13'	10'-5/8"	10'-5/16"	-
9-10	33'-3/4"	7'	16'	-	10'-5/16"	-

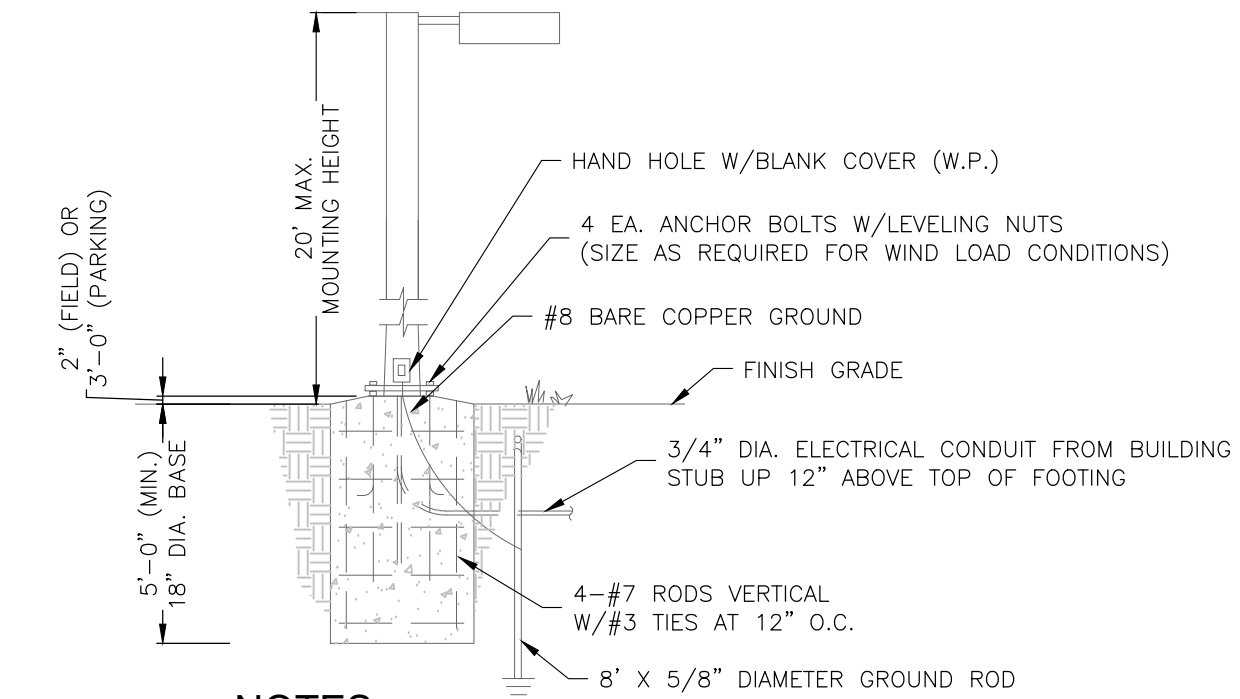
NOTES:  
For arm selection requirements and additional line art, see Mounting Details section.

**NOTES**

- ALL FIXTURES SHALL BE LED FIXTURES MEETING FULL CUT-OFF, DARK-SKY COMPLIANCE.
- ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE A MINIMUM 1 1/2" DIAMETER SCHEDULE 40 PVC. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE MINIMUM COVER OF 24 INCHES.
- ALL UNDERGROUND CONDUITS WILL HAVE NYLON PULL ROPE.
- ALL WORK SHALL MEET REQUIREMENTS OF NATIONAL ELECTRIC CODE.
- ALL POLE MOUNTED LIGHT FIXTURES SHALL BE RECESSED TO SHIELD THE ILLUMINATION SOURCE FROM THE VIEW OF ADJUTING PROPERTIES.
- LUMINAIRES AND FIXTURE MOUNTING HEIGHT SHALL BE SET AT A MAXIMUM OF A 20 FEET HIGH (SEE LUMINAIRE SCHEDULE).
- PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
- POLES SHALL BE FACTORY CUT AS REQUIRED TO PROVIDE REQUIRED FIXTURE MOUNTING HEIGHT.
- ALL LIGHT BASES TO BE SQUARE.
- LIGHTING DESIGN, CALCULATIONS AND PHOTOMETRICS PROVIDED BY CHARRON, INC.



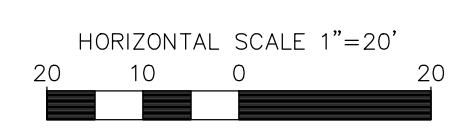
**McGraw-Edison  
GLEON GALLEON  
POLE FIXTURE**



**NOTES**

- BASE SHOWN IS PROTOTYPICAL. VERIFY THAT LIGHT POLE BASE INSTALLED MEETS LIGHT POLE MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH ELECTRICAL CONTRACTOR.
- WHERE LIGHT POLE BASES ARE PLACED IN AREAS NOT PROTECTED BY CURBING, A 3'-0" REVEAL OF BASE IS REQUIRED WITH REVEAL TO BE PAINTED SAFETY YELLOW. WHERE LIGHT POLE BASES ARE PLACED IN FIELD APPLICATIONS OR PROTECTED BY CURBING, THE BASE IS TO BE PLACED 2" ABOVE FINISHED GRADE.
- BASE CONCRETE TO BE 4,000 PSI, SMOOTH FINISH.
- POLES SHALL BE FACTORY CUT TO PROVIDE REQUIRED MOUNTING HEIGHTS.
- POLES AND LIGHT FIXTURES TO BE BRONZE.

**LIGHT POLE BASE**  
NOT TO SCALE



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**PROPOSED PARKING EXPANSION**  
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**1"=40' (11"X17')**  
**SCALE: 1"=20' (22"X34')** **JANUARY 24, 2024**

<b>Seacoast Division</b>		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
<b>TFM</b>			

FILE #	45407.17	DR	JKC	FB	-	
		CK	CRR	CADFILE	45407-17_LIGHTING	C-08

**SOIL CHARACTERISTICS**

THE SOIL IN THE VICINITY OF THE SITE CONSIST OF UDORTHENTS (SMOOTHED) AND URBAN LAND, THE MAJORITY OF THE SOIL IS HSG TYPE B.

**DISTURBED AREA**

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 13,510 SQUARE FEET (0.311 ACRES).

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH APPLICABLE CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP, AND PERMIT REQUIREMENTS.

**SEQUENCE OF MAJOR ACTIVITIES**

- INSTALL PERIMETER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SITE DEVELOPMENT PLANS, PERMITS, OR SWPPP IF REQUIRED, PRIOR TO EARTH MOVING OPERATIONS.
- DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
- INSTALL STORMWATER TREATMENT PONDS AND SWALES BEFORE ROUGH GRADING THE SITE.
- COMPLETE MAJOR GRADING OF SITE.
- CONSTRUCT PARKING AREAS.
- WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS, AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.
- CONSULT APPLICABLE REGULATIONS, PERMITS, AND CONDITIONS.

**EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES**

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSION VELOCITIES ARE ENCOUNTERED.

**OFF SITE VEHICLE TRACKING**

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

**INSTALLATION, MAINTENANCE, AND INSPECTION OF EROSION AND SEDIMENT CONTROLS**

**A. GENERAL**

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

- STABILIZATION OF ALL SWALES, DITCHES, AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
- THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDE AT ONE TIME. (5 AC MAX)
- ALL CONTROL MEASURES WILL BE INSPECTED IN ACCORDANCE WITH APPLICABLE REGULATIONS, PERMITS, AND CONDITIONS AND AT LEAST EVERY 7 DAYS OR EVERY 14 DAYS AND AFTER A 0.25 INCHES RAIN EVENT OR GREATER.
- ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
- ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
- THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

**B. FILTERS / BARRIERS**

- SILT SOCKS
  - KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
PH	TMECC 04.11-A	5.0 TO 8.0
PARTICLE SIZE	TMECC 02.02-B	2" SIEVE AND MIN. 60% GREATER THAN THE 1/8" SIEVE
MOISTURE CONTENT		STND TESTING < 60%

MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS

MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

- SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
- SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

- MAINTENANCE
  - SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
  - SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
  - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDDED.

**C. MULCHING**

**1. TIMING**

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

- APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100' OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

- REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

**2. GUIDELINES FOR WINTER MULCH APPLICATION.**

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

**3. MAINTENANCE**

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

**D. VEGETATIVE PRACTICE**

- AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF 4". THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.

- ALL LARGE STIFF CLOUDS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER, AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER 1" IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.

- THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.

- SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.

- ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.

- LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.

- FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

- SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.

- SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4" AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.

- HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

- THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED.

- THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
- UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK. IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
  - FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
  - FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 500 POUNDS PER ACRE.

MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

WINTER RYE (FALL SEEDING)	2.5 LBS/1,000 SF
OATS (SPRING SEEDING)	2.0 LBS/1,000 SF
MULCH	1.5 TONS/ACRE

**E. CATCH BASIN INLET PROTECTION**

**1. INLET BASKET STRUCTURE**

- INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.

- MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.

- THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)  
MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)

- THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.

- THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

- SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

**F. WINTER CONSTRUCTION SEQUENCE**

- ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.

- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

- AFTER OCTOBER 15TH, INCOMPLETE PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

**TIMING OF CONTROLS/MEASURES**

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

FOR SINGLE/DUPLEX FAMILY SUBDIVISIONS, WHEN LOT DEVELOPMENT IS NOT PART OF THE PERMIT, THEN LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

**WASTE DISPOSAL**

- WASTE MATERIALS  
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

- HAZARDOUS WASTE  
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.

- SANITARY WASTE  
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

**SPILL PREVENTION**

**1. MATERIAL MANAGEMENT PRACTICES**

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

GOOD HOUSEKEEPING:  
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

- AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
- ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

HAZARDOUS PRODUCTS:  
THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
- SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

- PRODUCT SPECIFICATION PRACTICES  
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:  
ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:  
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:  
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:  
CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

**SPILL CONTROL PRACTICES**

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.

- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.

- THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

**DUST CONTROL**

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

Oct 02, 2024 - 10:42am F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWG\SM45407-17\_Erosion-Ct\_Notes.dwg

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REV	DATE	DESCRIPTION	DR	CK
4	10/01/2024	NO REVISIONS THIS SHEET	JJM	
3	9/17/2024	NO REVISIONS THIS SHEET	JJM	
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	REVISED TITLE BLOCK	BCH	JJM

**SITE DEVELOPMENT PLANS**  
TAX MAP 267 LOT 8  
**EROSION CONTROL NOTES**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

**SCALE: NTS** **JANUARY 24, 2024**

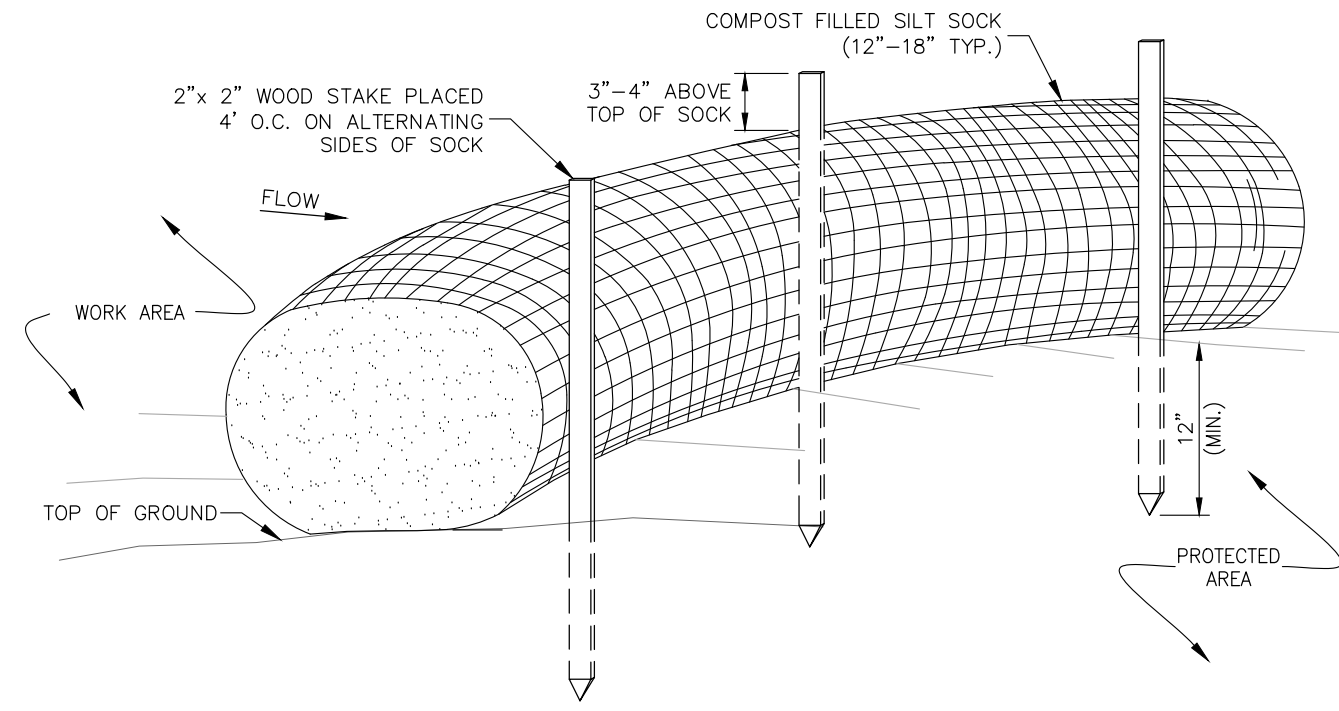
**Seacoast Division**

**TFM**

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CK CRR CADFILE 45407-17\_EROSION-CTR\_NOTES C-09



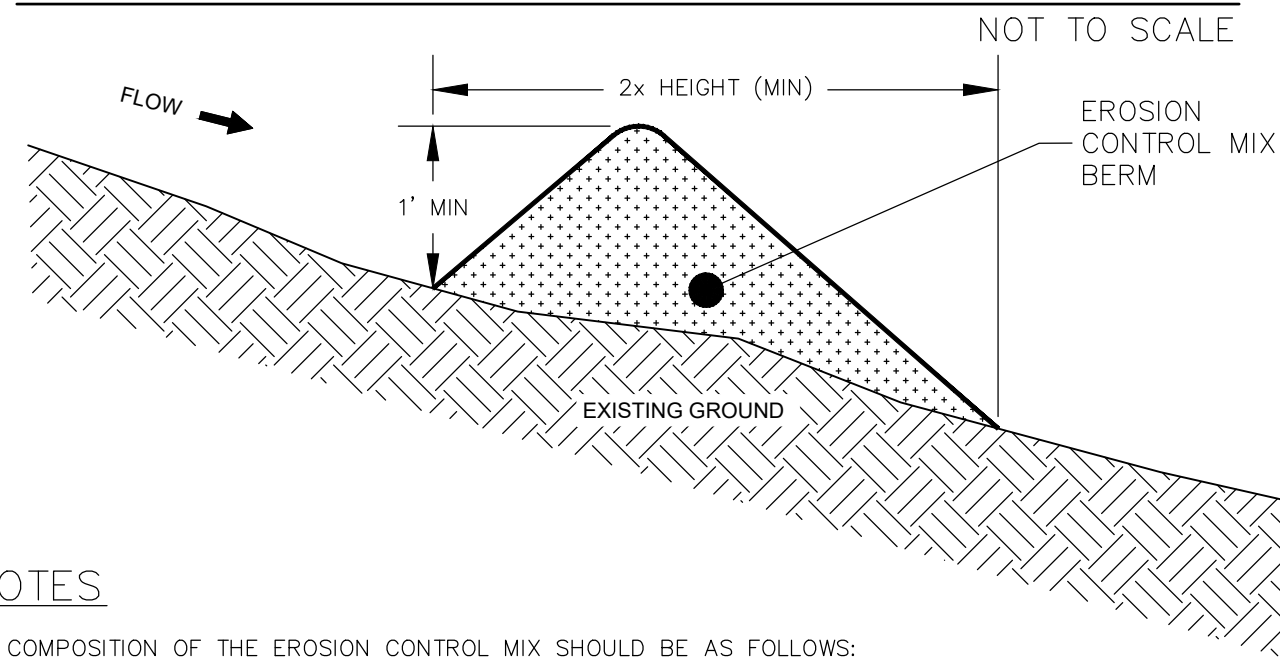
**NOTES**

- SILT SOCK SHALL BE FILTREXX<sup>SM</sup> SILT SOCK<sup>SM</sup> OR APPROVED EQUIVALENT.
- SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.

SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.

COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

**SILT SOCK**

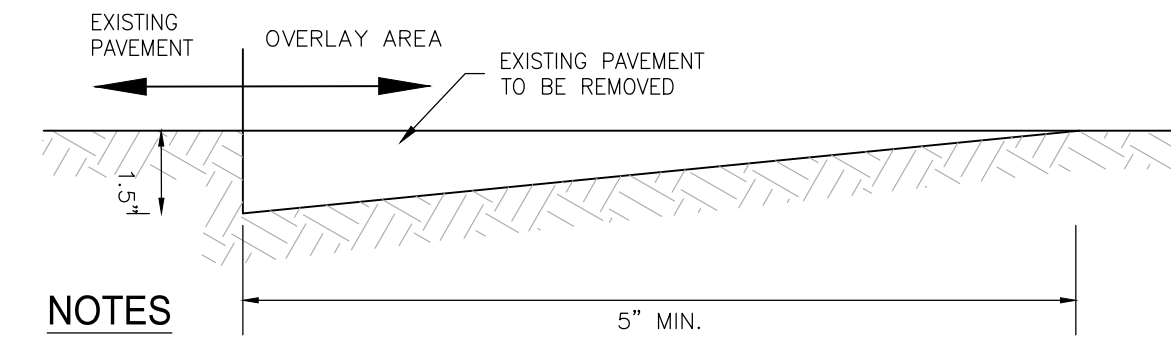


**NOTES**

- COMPOSITION OF THE EROSION CONTROL MIX SHOULD BE AS FOLLOWS:
  - EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH. THE MIX COMPOSITION SHOULD MEET THE FOLLOWING STANDARDS:
  - THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25% AND 65% DRY WEIGHT BASIS.
  - PARTICLE SIZE BY WEIGHT SHOULD BE 100% PASSING A 3" SCREEN, 90% TO 100% PASSING A 1" SCREEN, 70% TO 100% PASSING A 3/4" SCREEN, AND A MAXIMUM OF 30% TO 75% PASSING A 1/4" SCREEN.
  - THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
  - THE MIX SHOULD NOT CONTAIN SILTS, CLAYS OR FINE SANDS.
  - SOLUBLE SALTS CONTENT SHOULD BE < 4.0 mmhos/cm.
  - THE pH SHOULD BE BETWEEN 5.0 AND 8.0.
- THE BARRIER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BARRIER THROUGH THE GRASS BLADES OR PLANT STEMS.
- THE BARRIER MUST BE A MINIMUM OF 12" HIGH, AS MEASURED ON THE UPHILL SIDE OF THE BARRIER, AND A MINIMUM OF TWO FEET WIDE.

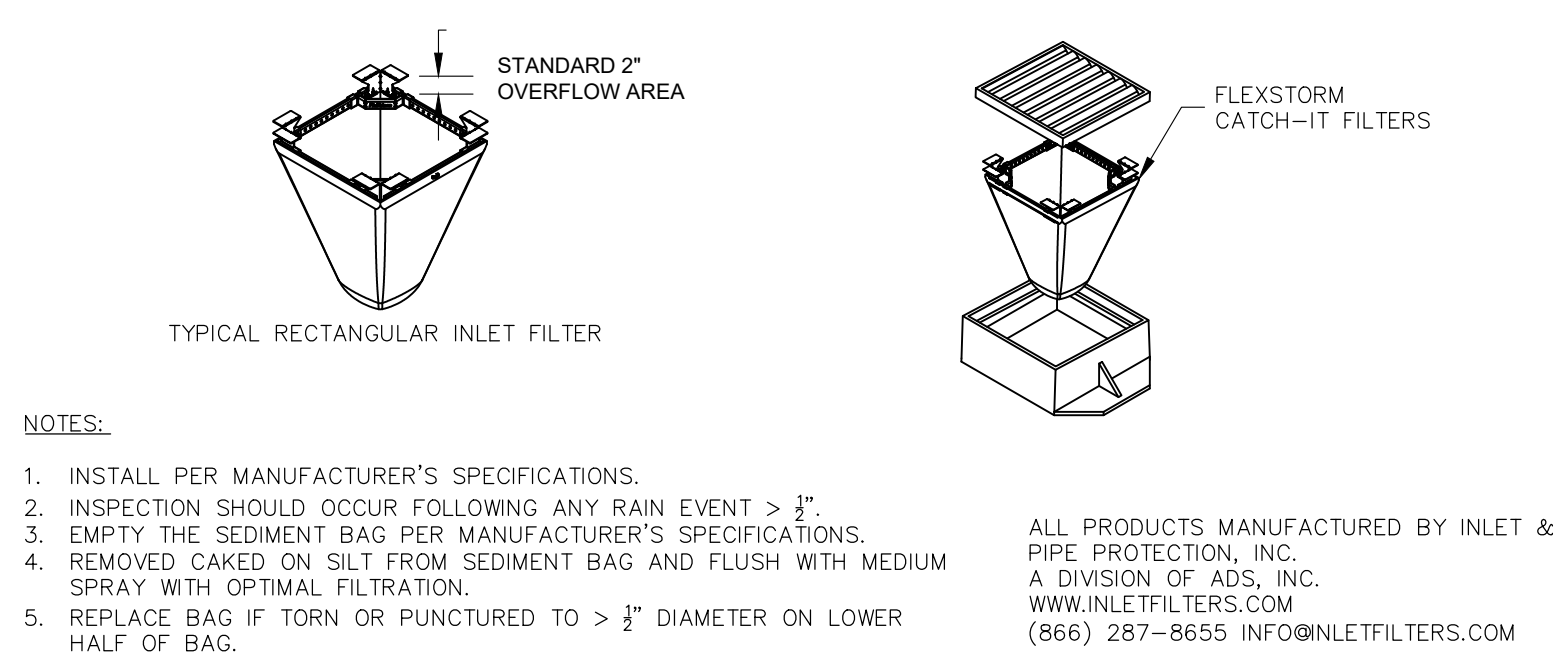
**EROSION CONTROL MIX BERM**

NOT TO SCALE



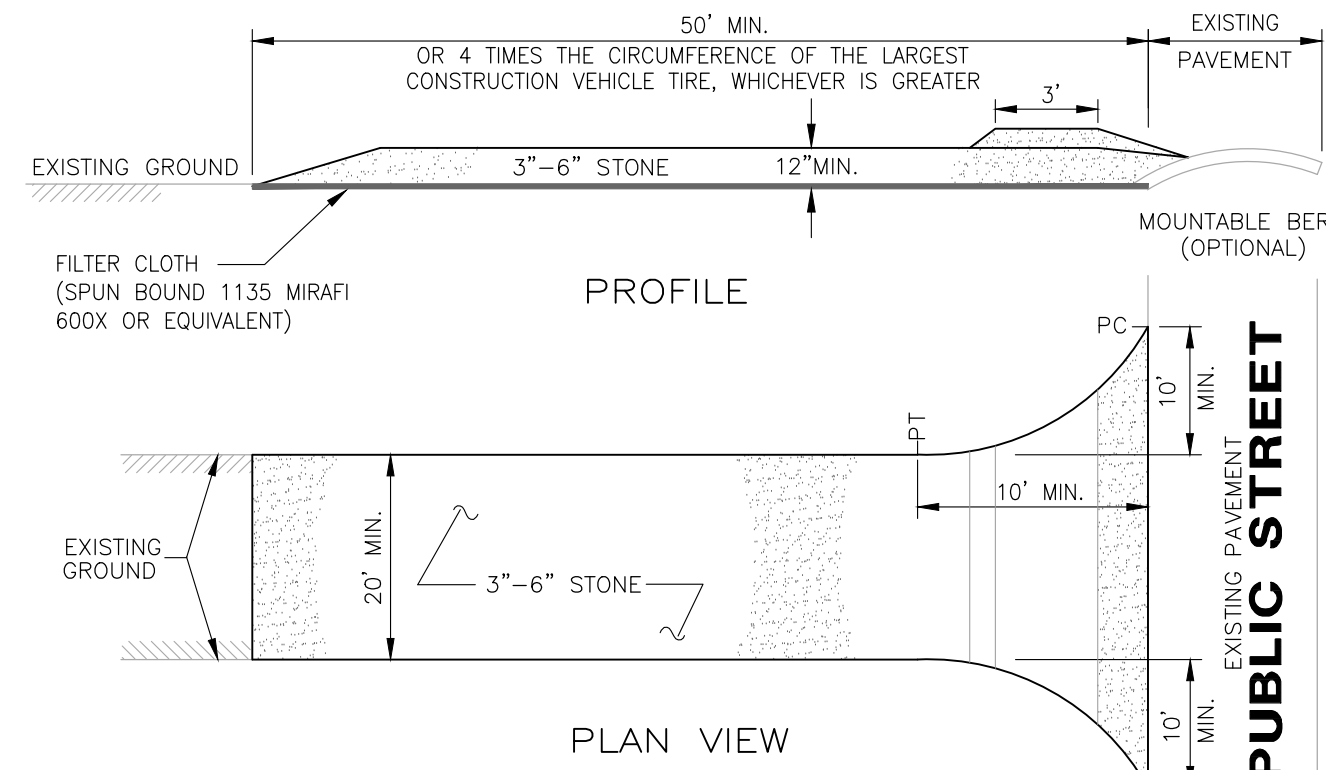
**KEY JOINT**

NOT TO SCALE



**INLET PROTECTION**

NOT TO SCALE

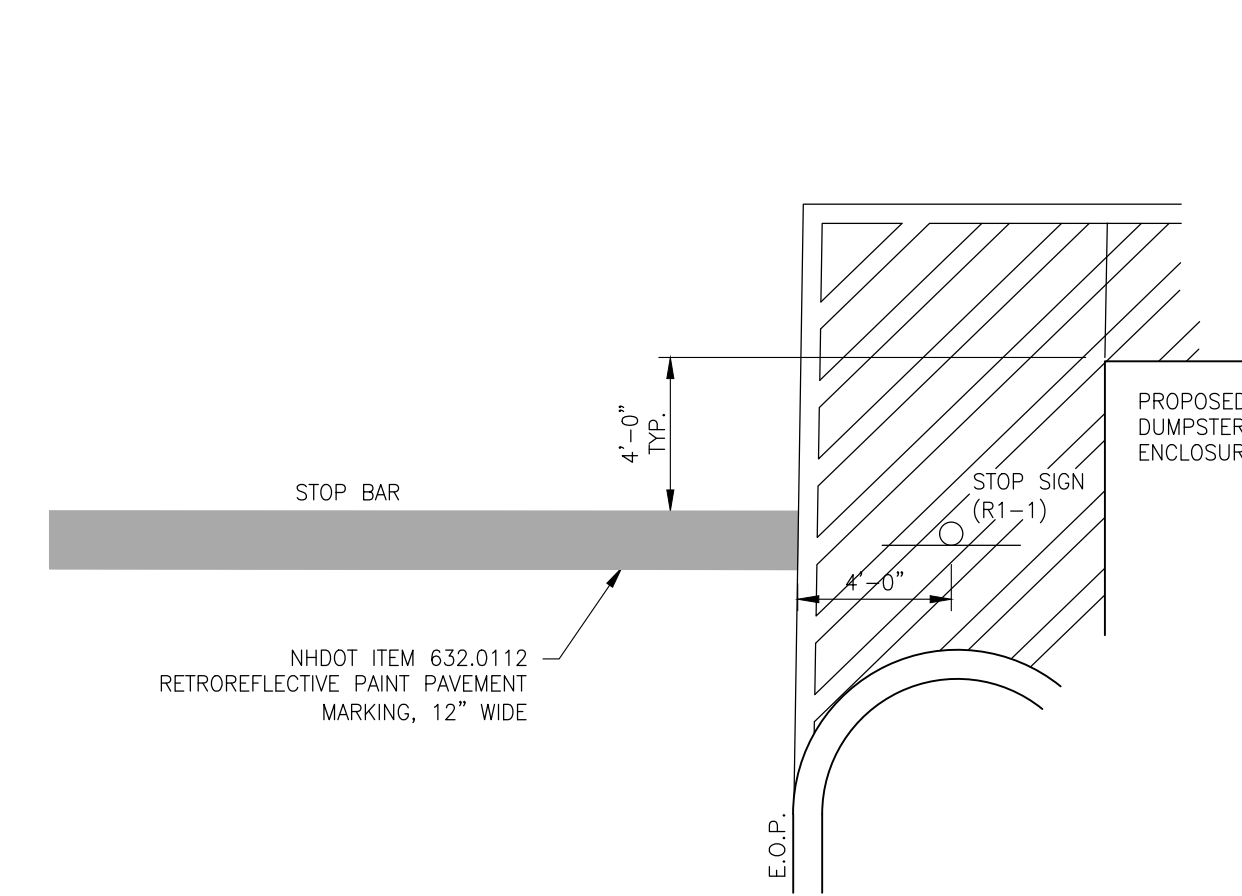


**NOTES**

- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
- WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

**STABILIZED CONSTRUCTION ENTRANCE**

NOT TO SCALE

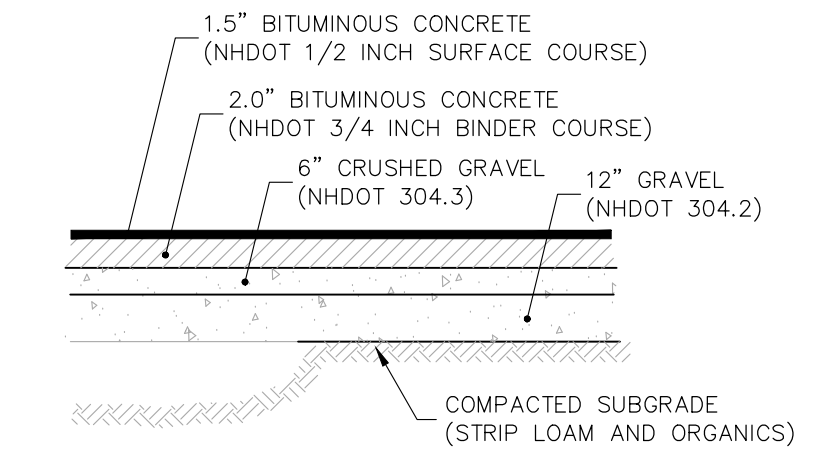
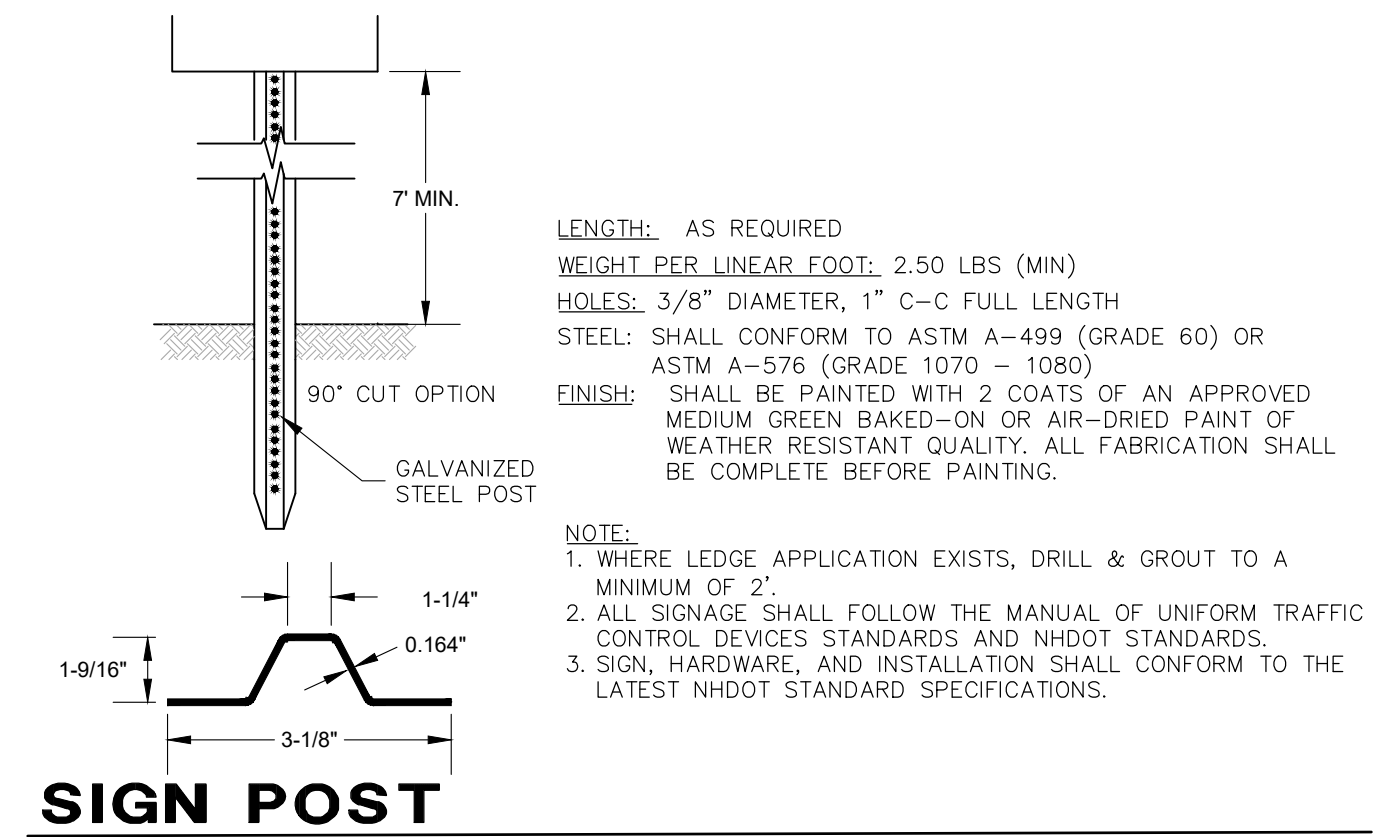


**STOP BAR & STOP SIGN**

NOT TO SCALE

**NOTE**

- STOP SIGN TO BE 30" WIDE X 30" HIGH.
- REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS.

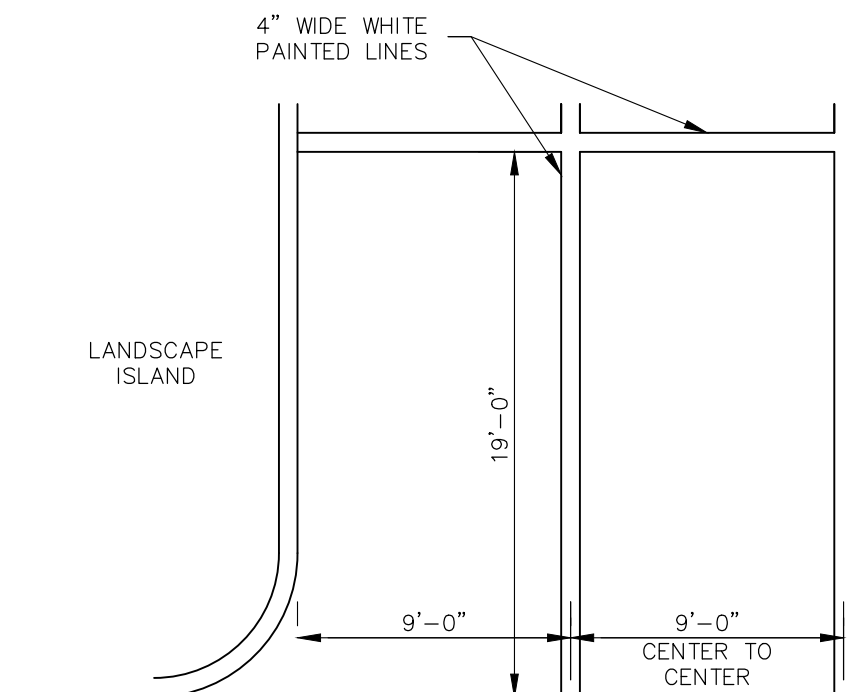


**PAVEMENT SECTION**

NOT TO SCALE

**NOTES**

- SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
- REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
- BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
- BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
- PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
- PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
- THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
- ALL PARKING SPACES SHALL BE STANDARD DUTY. ALL OTHER LOCATIONS SHALL BE HEAVY DUTY.

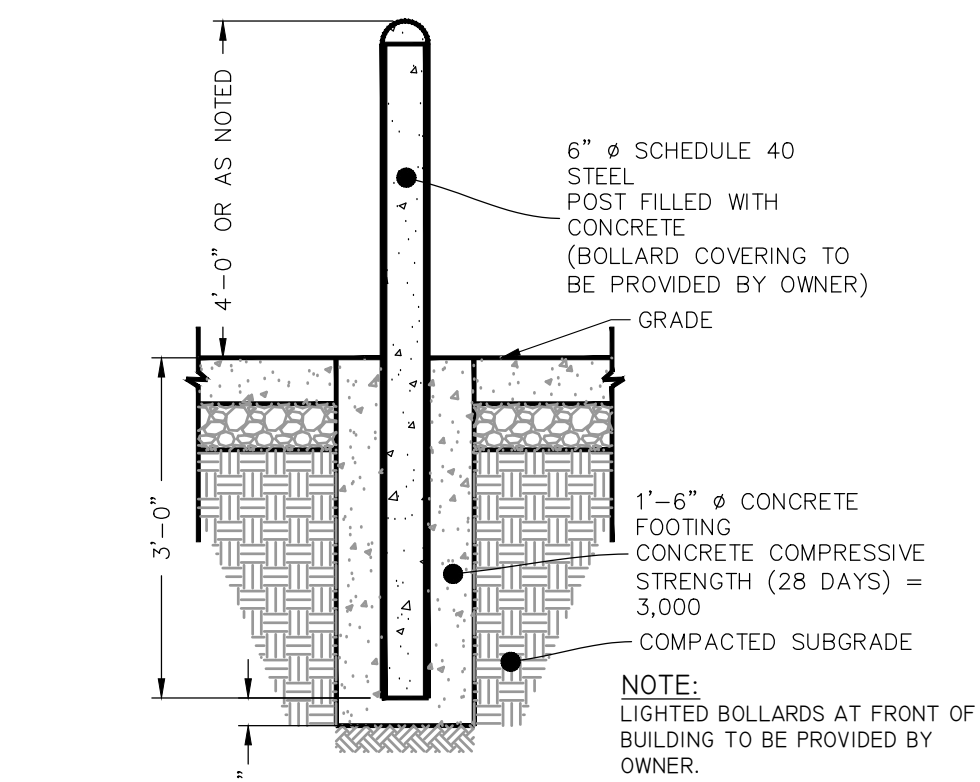


**NOTE**

- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
- SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.
- ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" OC BORDERED BY 4" WIDE LINES.
- 2% MAXIMUM CROSS SLOPE ALLOWED IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.

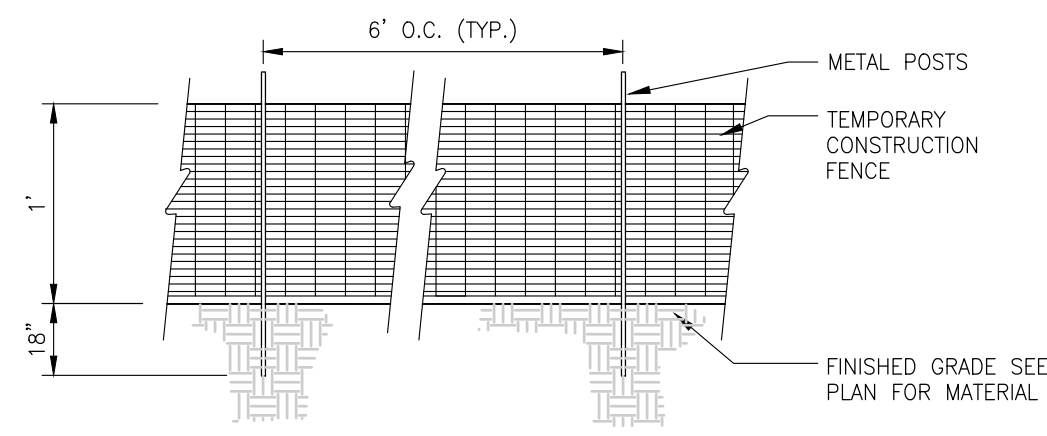
**TYPICAL PARKING LAYOUT**

NOT TO SCALE



**BOLLARD DETAIL**

NOT TO SCALE



**NOTE:**

- CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS MANUFACTURED BY MIRAFI, CHARLOTTE, N.C. OR APPROVED EQUAL.

**TEMPORARY CONSTRUCTION FENCE**

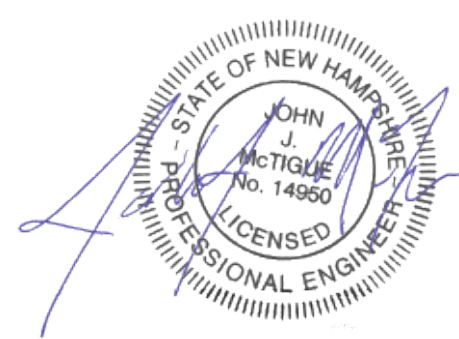
NOT TO SCALE

**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8  
**DETAIL SHEET 1**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

SCALE: NTS

JANUARY 24, 2024



REV	DATE	DESCRIPTION	DR	CK
4	10/1/2024	REVISED TYPICAL PARKING LAYOUT STRIPING	JJM	
3	9/17/2024	NO REVISIONS THIS SHEET	JJM	
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	REVISED TITLE BLOCK	BCH	JJM

Seacoast Division

**TFM**

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

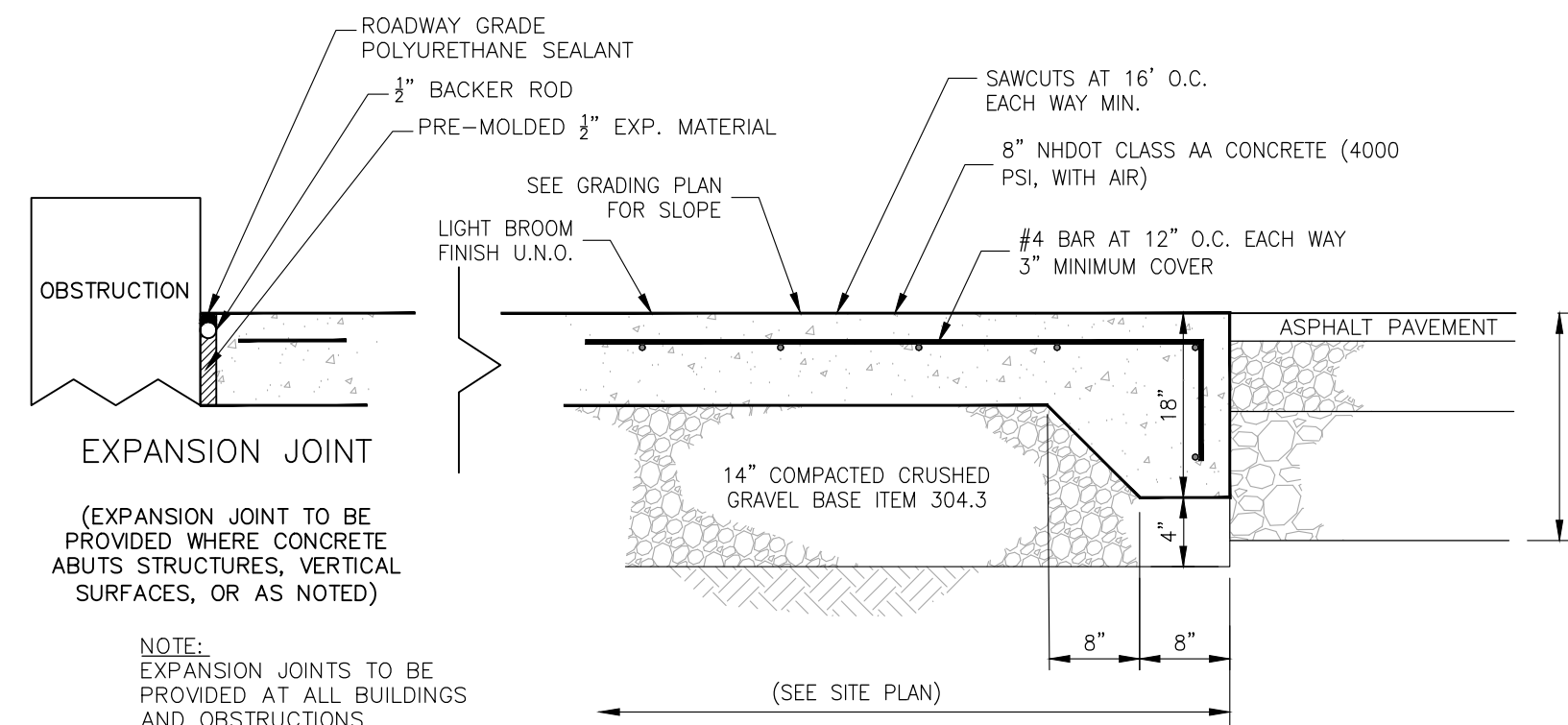
170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

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DR JKC FB  
 CK CRR CADFILE

45407-17-DETAILS

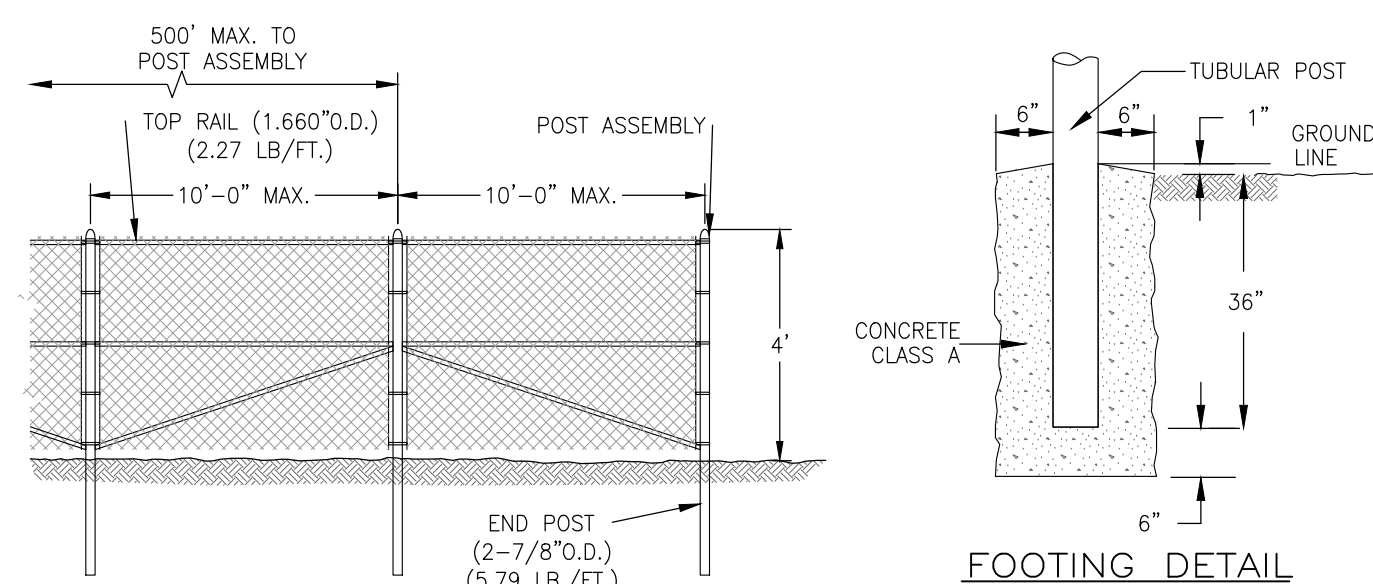
C-10



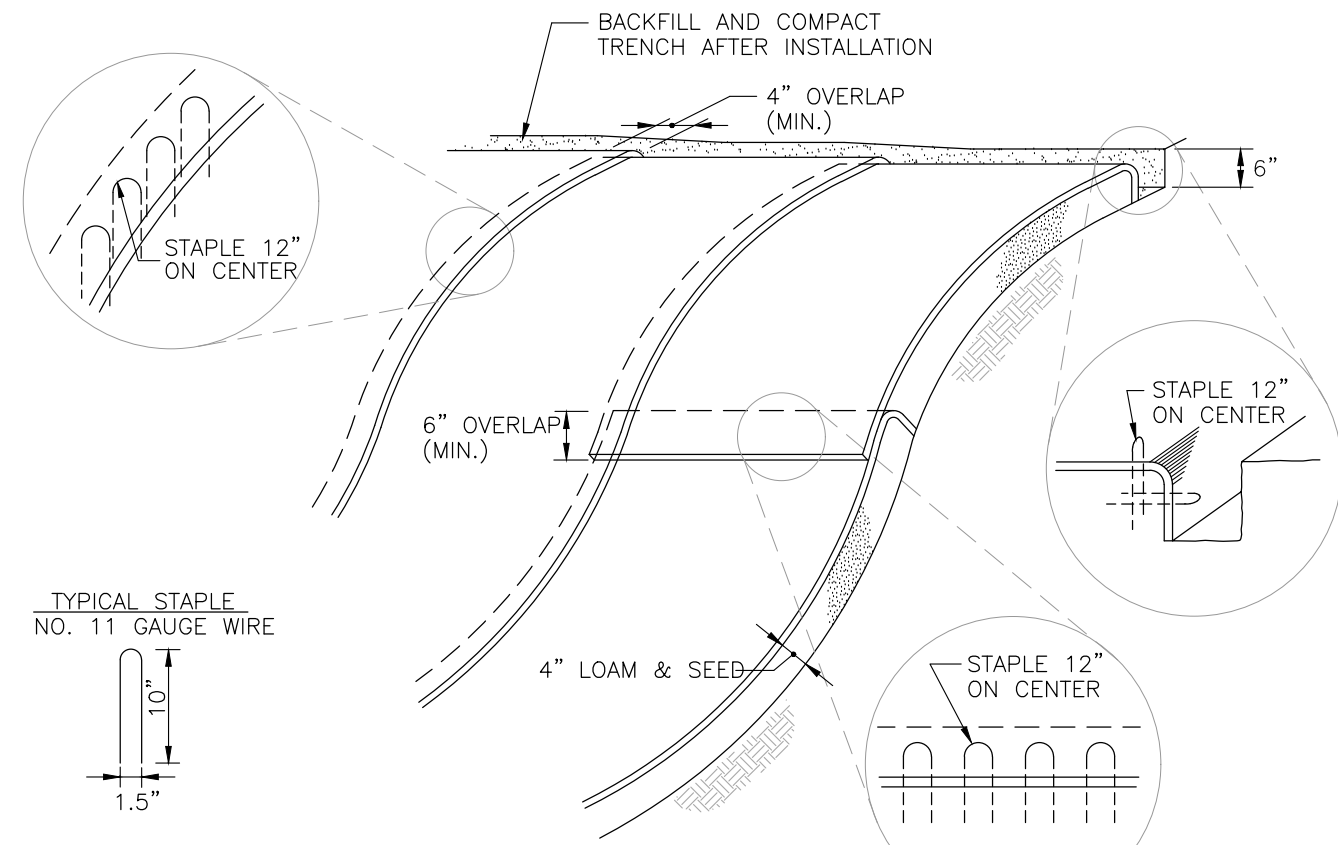
**HEAVY DUTY CONCRETE PAD**  
NOT TO SCALE

**NOTES**

1. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT - USE TACK COAT
2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS



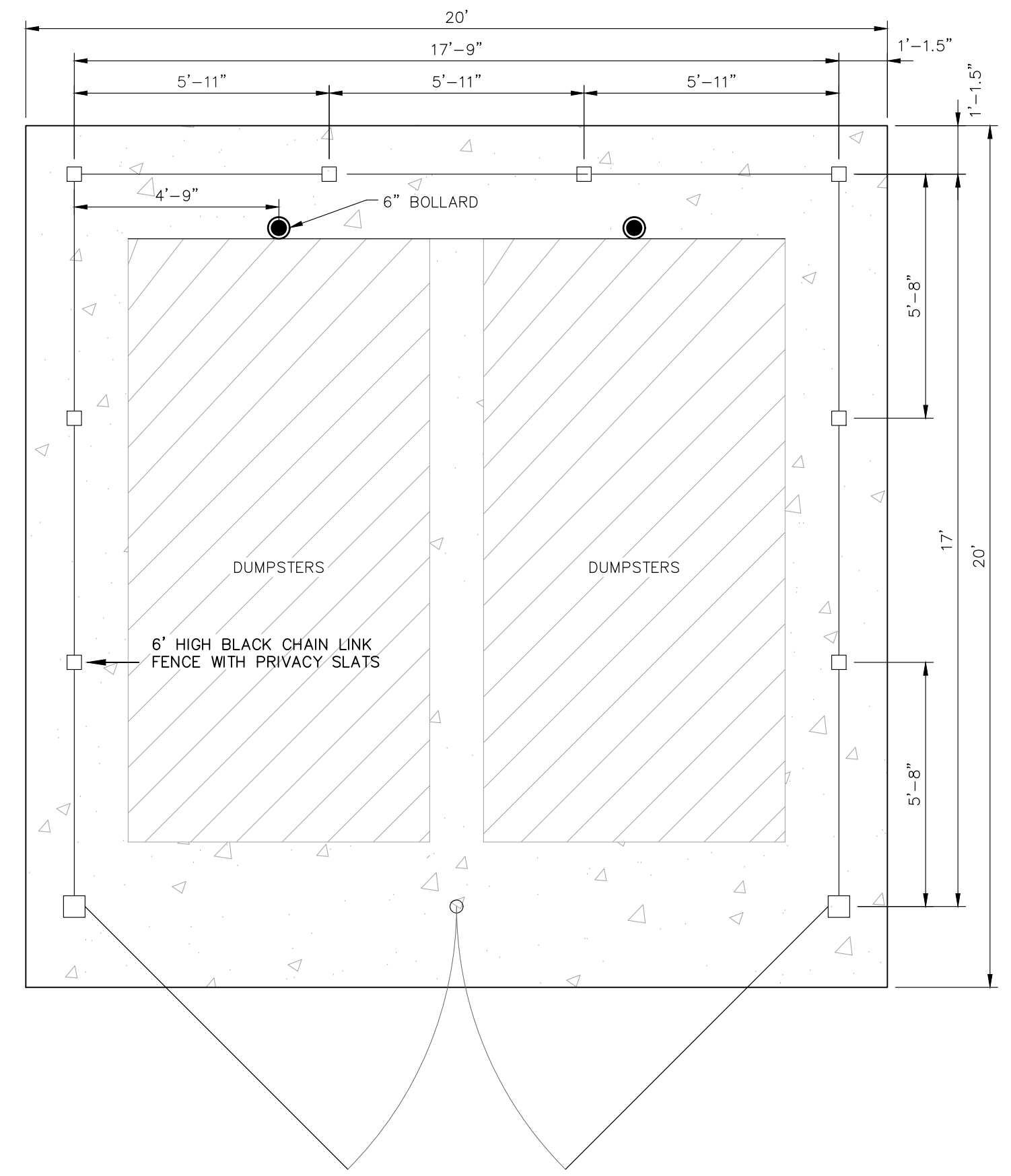
**CHAIN LINK FENCE**  
NOT TO SCALE



**NOTES**

1. INSTALL AT DISTURBED LOCATIONS WITH 2:1 SLOPES OR GREATER AND AS INDICATED PER PLANS.
2. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
3. ROLL THE BLANKET DOWN THE SLOPE OR SWALE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
6. BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECC-2B, AMERICAN EXCELSIOR COMPANY CURLEX III FIBRENET, ROLANKA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BIOD-DCF 30, OR APPROVED EQUAL.
7. BLANKET SHALL BE PLACED WITHIN 24-HRS AFTER SOWING SEE IN THE AREA BEING COVERED

**EROSION CONTROL BLANKET**  
NOT TO SCALE



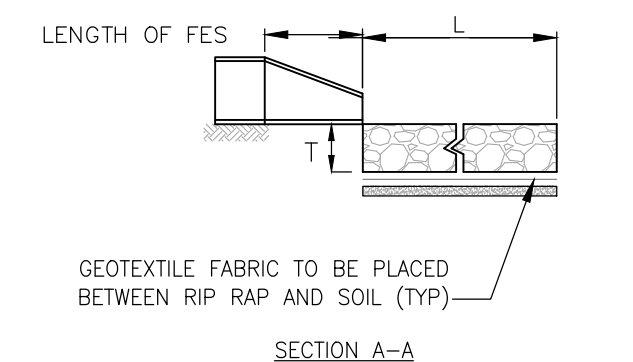
**TRASH ENCLOSURE WITH RECYCLING PAN**  
NOT TO SCALE

**MAINTENANCE:**

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

**CONSTRUCTION SPECIFICATIONS:**

1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12".
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. ADD ANIMAL SCREEN TO FLARED END SECTION OUTLET.

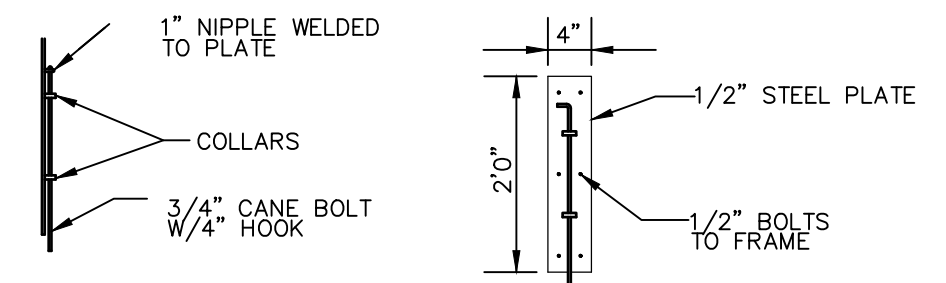


**RIE RAP DIMENSIONS**

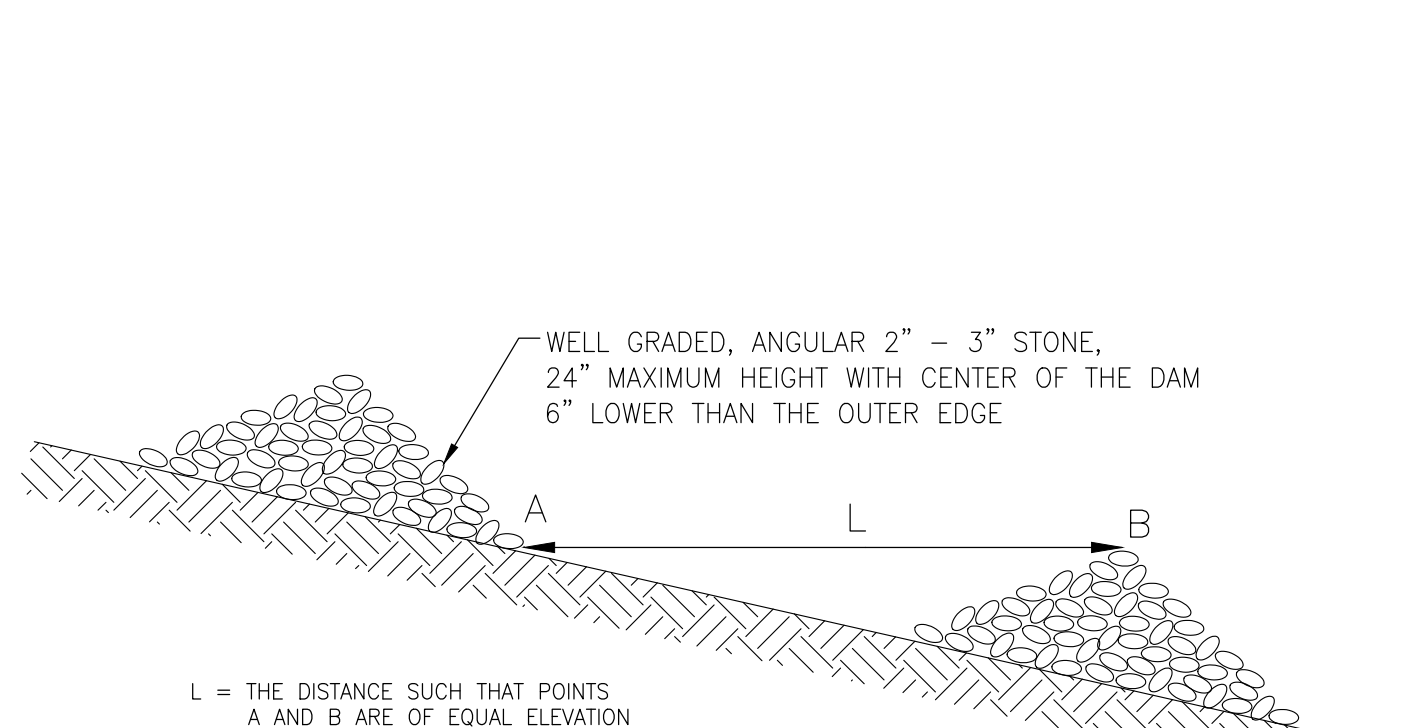
LOCATION	FES-21
d50 STONE SIZE:	6"
LENGTH OF APRON (L):	9.0'
WIDTH OF APRON (W):	6.5'
DEPTH OF RIP RAP (T):	9"

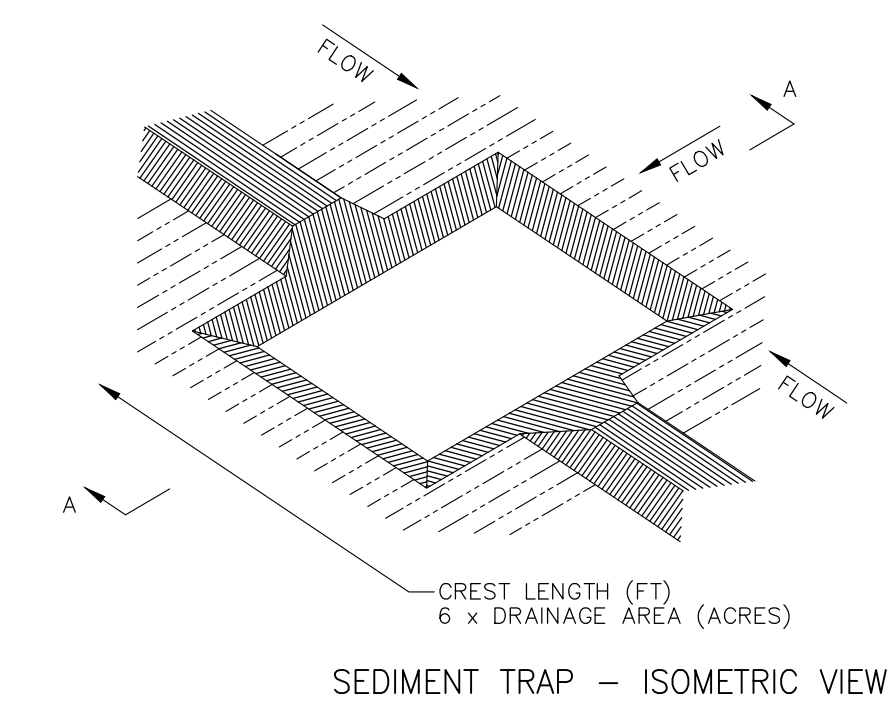
% OF WEIGHT SMALLER THAN THE GIVEN SIZE OF STONE (INCHES)	9.00 TO 12.00
100	7.80 TO 10.80
85	6.00 TO 9.00
50	1.80 TO 3.00
15	



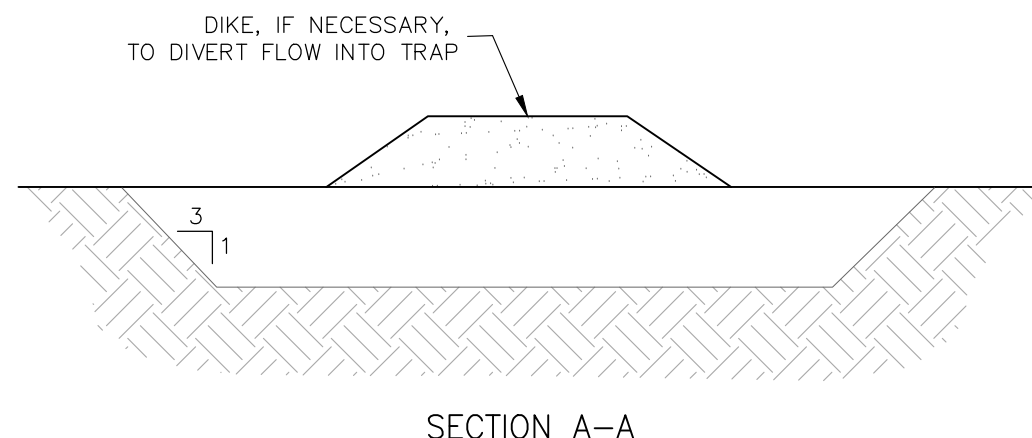
**TRASH ENCLOSURE GATE STOP**  
NOT TO SCALE



**STONE CHECK DAM**  
NOT TO SCALE



**SEDIMENT TRAP - ISOMETRIC VIEW**



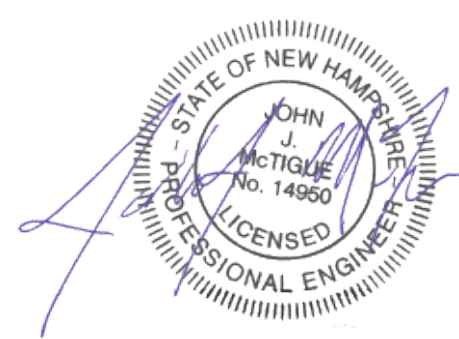
**SECTION A-A**

**NOTES**

1. SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.

**SEDIMENT TRAP**  
NOT TO SCALE

**RIE RAP AND FLARED END SECTION WITH OUTLET PROTECTION**  
NOT TO SCALE



**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8  
**DETAIL SHEET 2**  
**PROPOSED PARKING EXPANSION**  
1900 LAFAYETTE ROAD, PORTSMOUTH, NH  
OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

SCALE: NTS

JANUARY 24, 2024

Seacoast Division



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
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CK CRR CADFILE

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C-11

REV	DATE	DESCRIPTION	DR	CK
4	10/01/2024	NO REVISIONS THIS SHEET	JJM	
3	9/17/2024	NO REVISIONS THIS SHEET	JJM	
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	REVISED TITLE BLOCK	BCH	JJM

Oct 02, 2024 - 10:43am F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWGS\45407-17\_Details.dwg

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**SC-740 STORMTECH CHAMBER SPECIFICATIONS**

- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS. BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM**

- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONEHOOTER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

**NOTES FOR CONSTRUCTION EQUIPMENT**

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

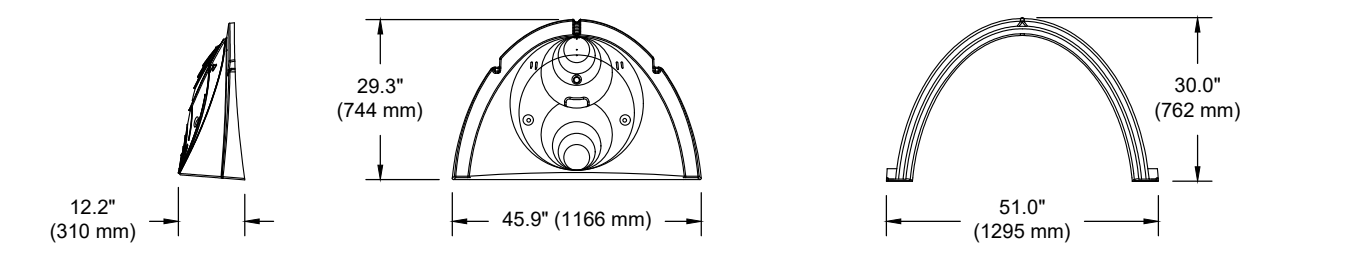
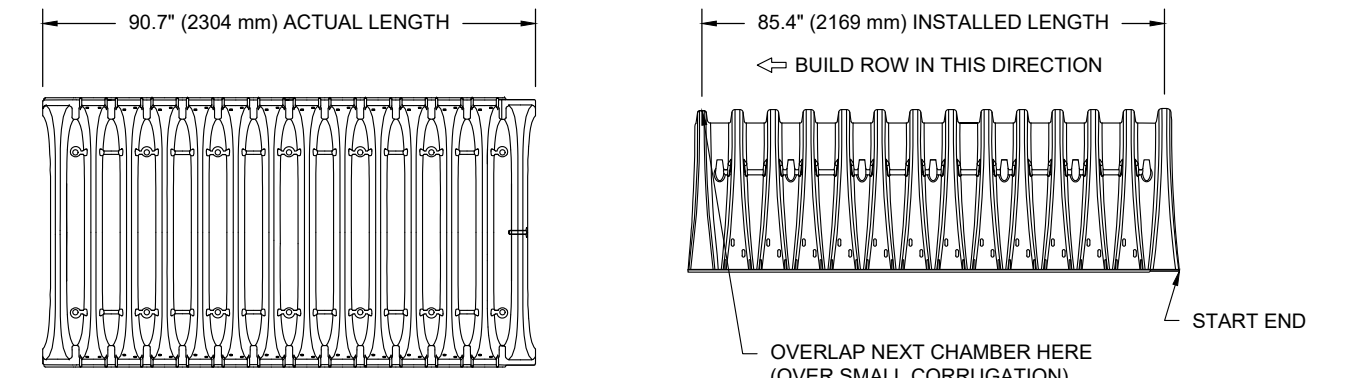
CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

**INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
    - REMOVE/OPEN LID ON NYLON/PLAST INLINE DRAIN
    - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
    - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
    - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
    - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
  - ALL ISOLATOR PLUS ROWS
    - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
    - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
    - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
    - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
  - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
  - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS, RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

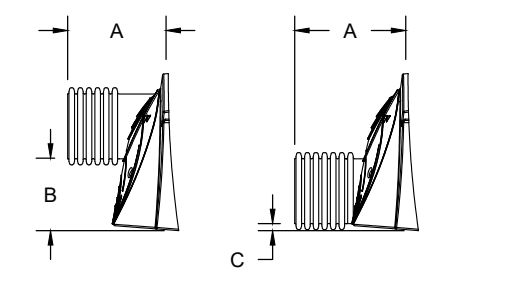
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4"	(1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET (1.30 m³)	
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET (2.12 m³)	
WEIGHT	75.0 lbs. (33.6 kg)	

\*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

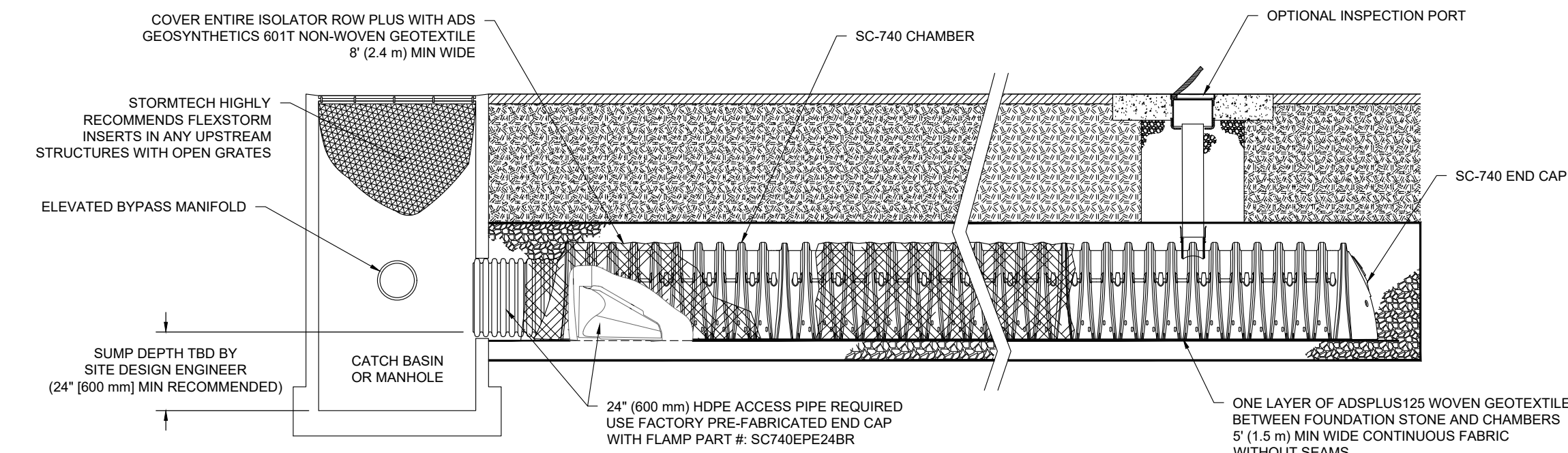


PART #	STUB	A	B	C
SC740EPE06T / SC740EPE06TPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	---
SC740EPE06B / SC740EPE06BPC	---	---	---	0.5" (13 mm)
SC740EPE08T / SC740EPE08TPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EPE08B / SC740EPE08BPC	---	---	---	0.6" (15 mm)
SC740EPE10T / SC740EPE10TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	---
SC740EPE10B / SC740EPE10BPC	---	---	---	0.7" (18 mm)
SC740EPE12T / SC740EPE12TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	---
SC740EPE12B / SC740EPE12BPC	---	---	---	1.2" (30 mm)
SC740EPE15T / SC740EPE15TPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	---
SC740EPE15B / SC740EPE15BPC	---	---	---	1.3" (33 mm)
SC740EPE18T / SC740EPE18TPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740EPE18B / SC740EPE18BPC	---	---	---	1.6" (41 mm)
SC740EPE24B*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)
SC740EPE24BR*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740EPE24B/SC740EPE24BR ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

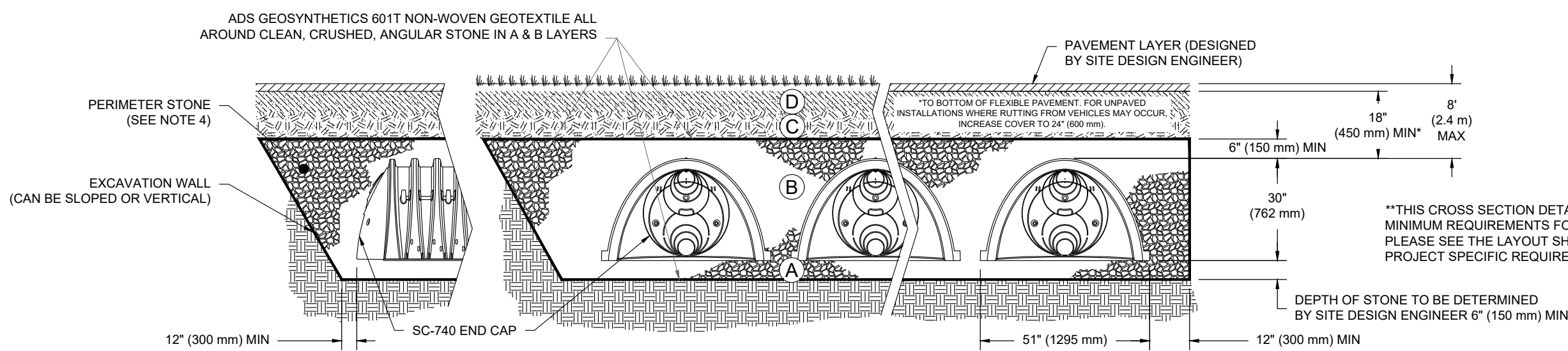
\* FOR THE SC740EPE24B/SC740EPE24BR THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.



**SC-740 ISOLATOR ROW PLUS DETAIL**

NOT TO SCALE



**SC-740 TYPICAL CROSS SECTION DETAIL**

NOT TO SCALE

**NOTES:**

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE.	AASHTO M145 <sup>1</sup> A-1, A-2.4, A-3 OR AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 8" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 98% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

**PLEASE NOTE:**

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGINS WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

REV	DATE	DESCRIPTION	DR	CK
4	10/01/2024	NO REVISIONS THIS SHEET	JJM	
3	9/17/2024	NO REVISIONS THIS SHEET	JJM	
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	REVISED TITLE BLOCK	BCH	JJM

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8

**DETAIL SHEET 3**

**PROPOSED PARKING EXPANSION**

1900 LAFAYETTE ROAD, PORTSMOUTH, NH

OWNED BY & PREPARED FOR

**HAMMES REALTY SERVICES, LLC**

SCALE: NTS

JANUARY 24, 2024

Seacoast Division

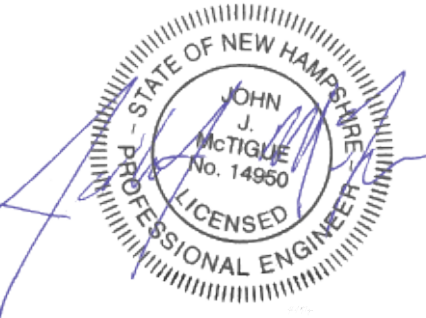


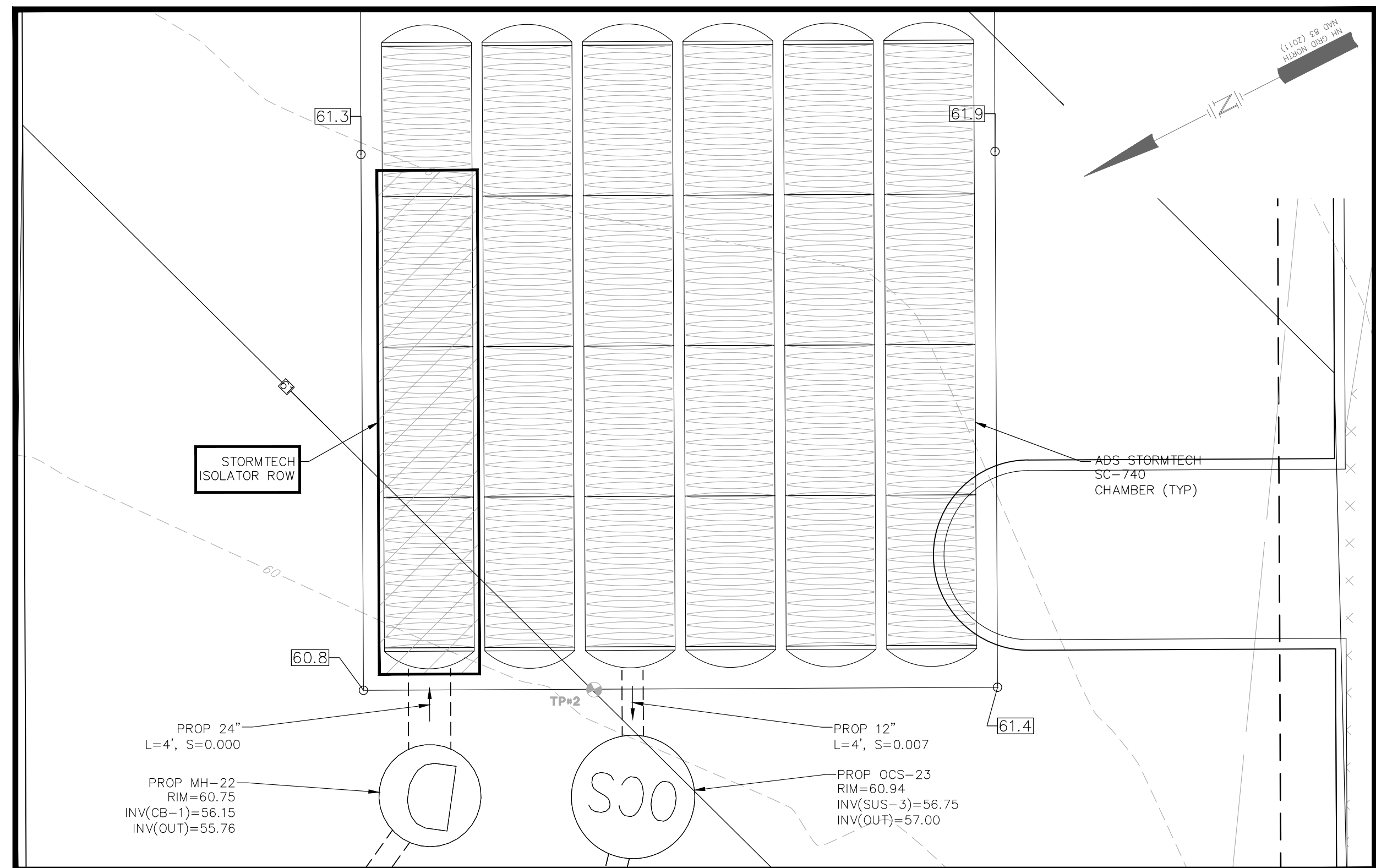
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

45407.17	DR	JKC	FB	
	CK	CR	CADFILE	45407-17-DETAILS

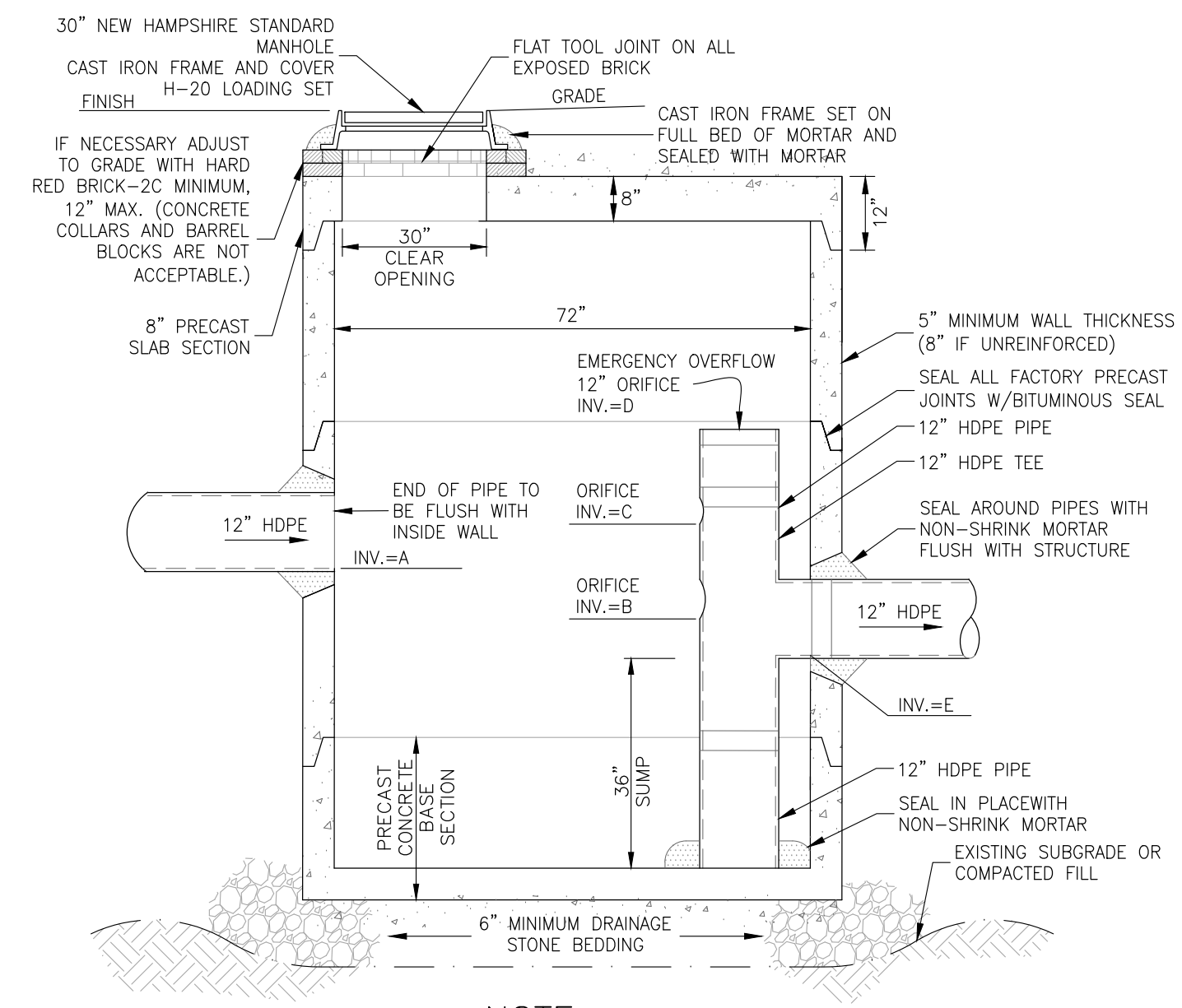
C-12





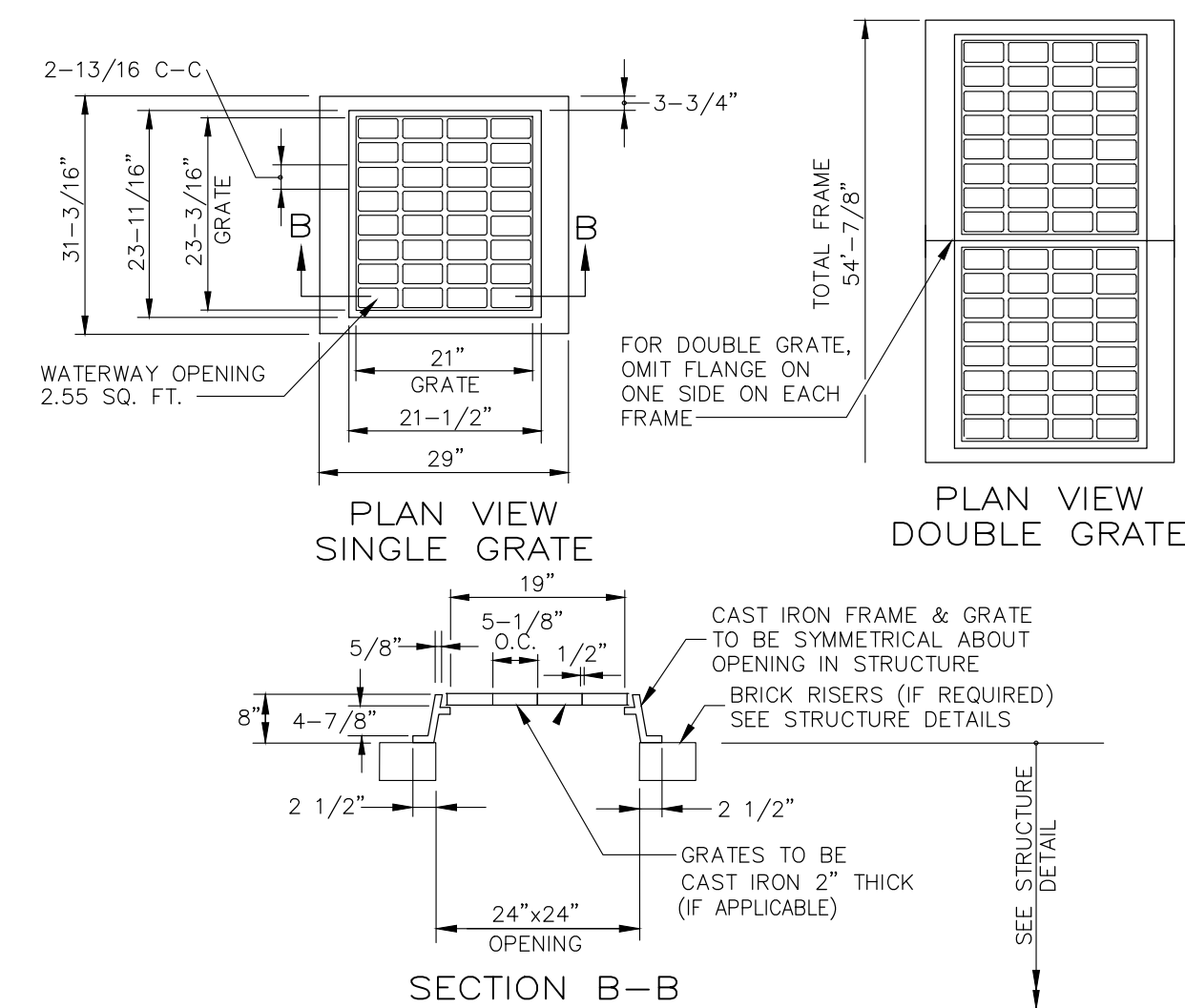
**SUBSURFACE STORAGE AND INFILTRATION SYSTEM #2**

NOT TO SCALE



**OUTLET CONTROL STRUCTURE TABLE**

INV.	OCS-23
RIM	60.94
A	56.75
B	NA
C	NA
D	59.15
E	57.00

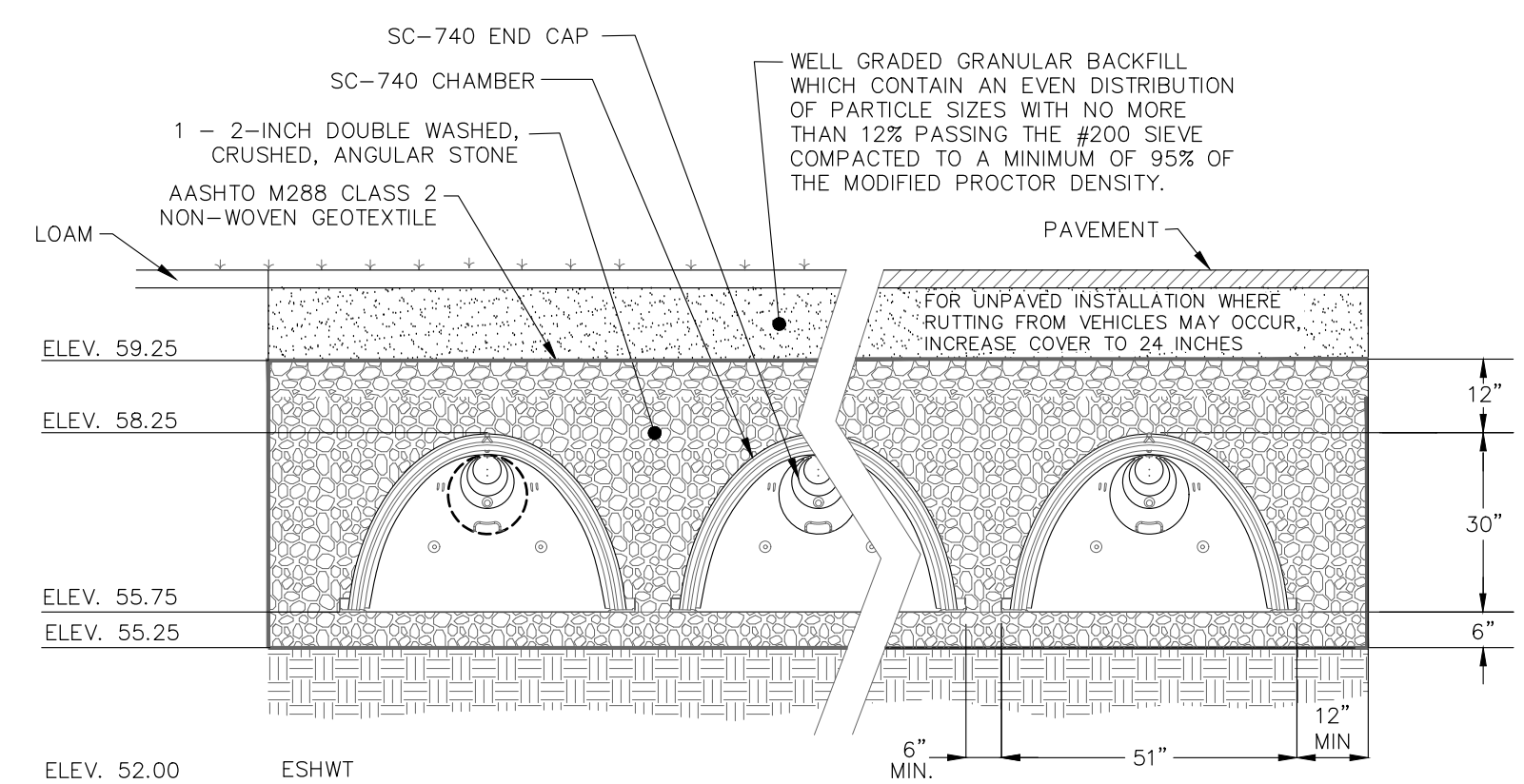


**FRAME AND GRATE (NHDOT TYPE B ALT 1)**

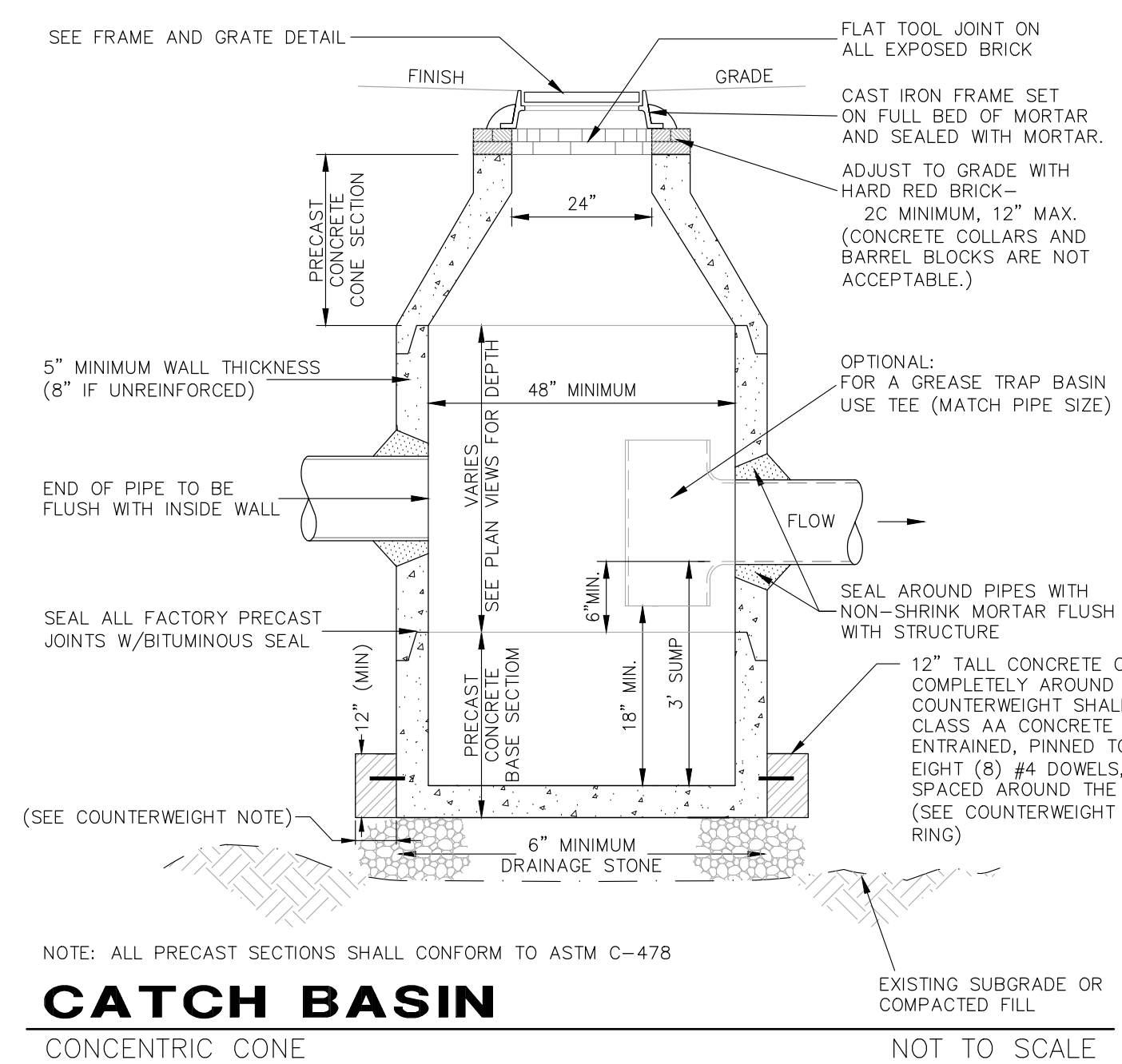
NOT TO SCALE

**OUTLET STRUCTURE**

NOT TO SCALE

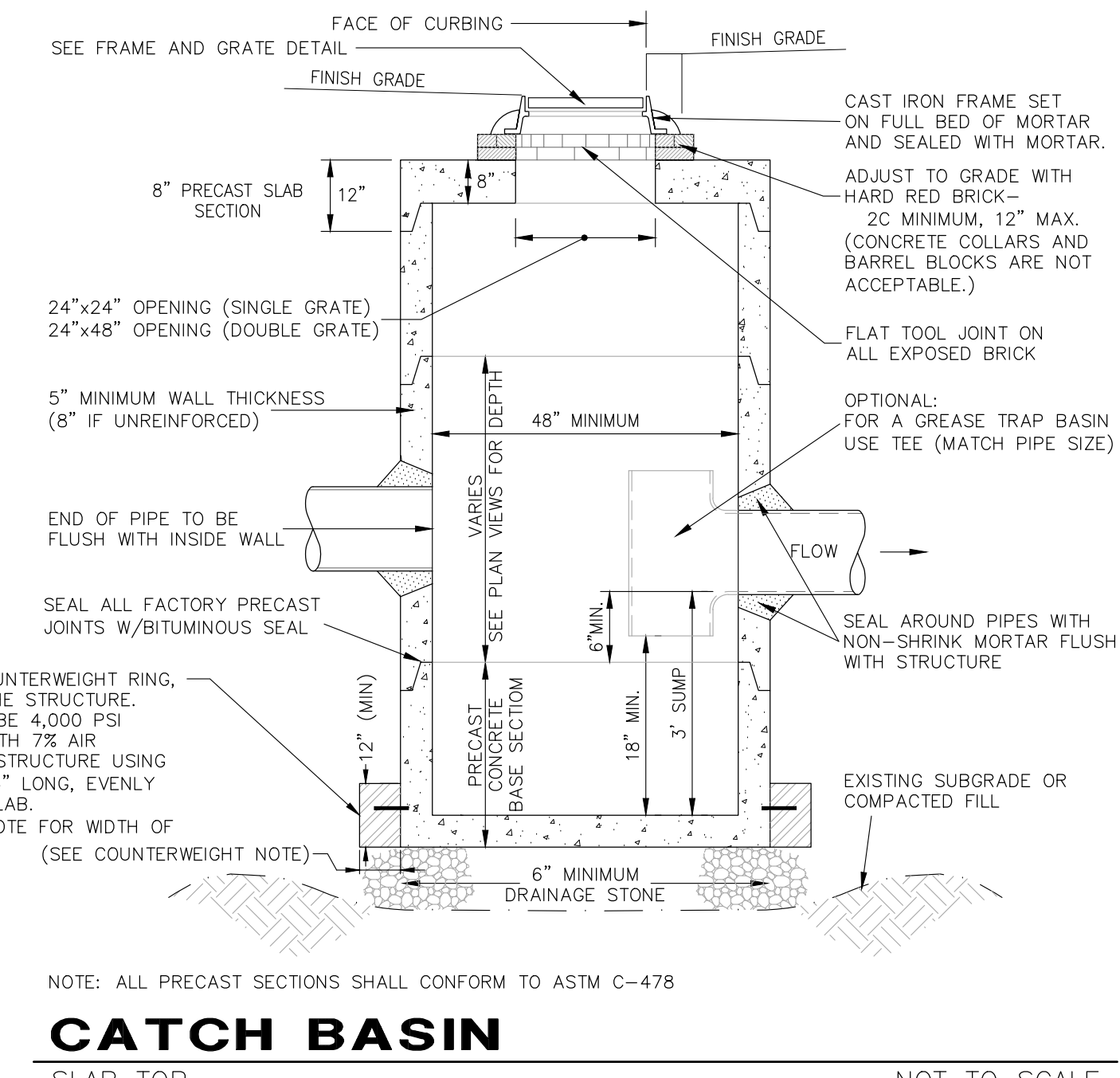


**STORMTECH SC-740 CHAMBER SYSTEM CROSS SECTION DETAIL STORMTECH SYSTEM**



**CATCH BASIN**

NOT TO SCALE



**CATCH BASIN**

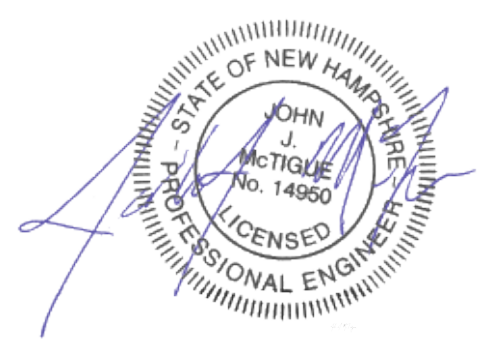
NOT TO SCALE

**SITE DEVELOPMENT PLANS**

TAX MAP 267 LOT 8  
**DETAIL SHEET 4**  
**PROPOSED PARKING EXPANSION**  
**1900 LAFAYETTE ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**HAMMES REALTY SERVICES, LLC**

SCALE: NTS

JANUARY 24, 2024



REV	DATE	DESCRIPTION	DR	CK
4	10/01/2024	NO REVISIONS THIS SHEET	JJM	
3	9/17/2024	NO REVISIONS THIS SHEET	JJM	
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	REVISED TITLE BLOCK	BCH	JJM

Seacoast Division  
**TFM**  
 Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

45407.17 DR JKC FB  
 CK CRR CADFILE 45407-17-DETAILS

C-13

Oct 02, 2024 - 10:43am  
 F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWG\M45407-17\_Details.dwg

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## SECTION 10.680 – GATEWAY NEIGHBORHOOD OVERLAY DISTRICT

### 10.681 Purpose

The Gateway Neighborhood Overlay District is hereby created for the purpose of creating additional housing opportunities in certain neighborhoods, and is referred to herein as the GNOD. This overlay shall allow for higher density housing in order to create neighborhoods where residents can live and work. A proposed **development** electing to use the provisions of the GNOD is referred to below as a GNOD **development**.

### 10.682 Applicability

#### 10.613.70

The provisions of the GNOD shall apply to all land identified on the Zoning Map as the **Gateway Neighborhood Overlay District (GNOD)**.

#### 10.682.20

The requirements and provisions of the GNOD shall apply to any **development** containing residential uses, and/or any **development** electing any of the incentives of within the GNOD. If the GNOD overlay options are not a part of a proposed **development**, then the underlying provisions of the zoning district shall apply.

### 10.683 Standards

#### 10.683.10

All residential or mixed-use GNOD **developments** that include a residential use shall comply with the provisions of Article 5B of this Ordinance, with the following exceptions:

- (1) No more than 24 **dwelling units** per **building** shall be allowed without providing Incentive Bonus Option(s) as provided herein.
- (2) Maximum **building height** for any **apartment building** or **mixed use building** containing residential uses shall not exceed 4 stories or 50 feet without providing Incentive Bonus Option(s) as provided herein.
- (3) Maximum **building length** shall not exceed 400 linear feet without an approved conditional use permit.
- (4) Front, side, and rear **building setback** from **lot lines** shall be a minimum of 10 feet.
- (5) Maximum **building coverage** shall not exceed 75%.
- (6) Minimum **open space coverage** shall be 10%.
- (7) Except for the above setback requirements, the requirements of Sections 10.5B22.20, .30 and .40, 10.5B33, and 10.5B71 shall not apply to land within the GNOD.



- (8) A **development** within the GNOD may include multiple lots owned or controlled by the same person or entity and assembled for a GNOD **development**. A GNOD **development** may contain more than one principal **building** or **building** type on the same **lot**.

### **10.683.20 Relationship to Other Provisions of this Zoning Ordinance**

The provisions of the GNOD shall take precedence over all other provisions of the Zoning Ordinance that directly conflict with the provisions of the GNOD; otherwise, all other provisions shall apply..

### **10.684 Allowed Uses**

In addition to the uses permitted in the underlying district, the following uses shall be permitted within the GNOD:

1. Multifamily Dwelling
2. Assisted Living Facility
3. **Retail Sales** conducted within a **building**
4. **Restaurant**, place of public assembly or function room
5. **Personal Services**
6. Consumer services such as copy shop, bicycle repair, and pet grooming.
7. Health club, yoga studio, martial arts school or similar **use**.

### **10.685 Parking**

In the GNOD, the shared parking provisions of Section 10.1112.62 shall apply, and shared parking shall be permitted on separate lots, whether in common ownership or separate ownership without the requirement of a conditional use permit. The provisions of Section 10.1113 (Location of Vehicular Use Facilities) shall not apply to a GNOD **development**.

### **10.686 Optional Density Bonus Incentives**

Buildings in the GNOD containing residential dwelling units are permitted to be up to four stories and to contain up to 24 units per building as a matter of right. In order to encourage multifamily housing within the GNOD, additional opportunities are provided through the optional incentives below that permit increased **building** heights and increased numbers of dwelling units per building.

The following incentives apply to residential **developments** and mixed use **developments** that include residential uses in the GNOD, with allowable bonuses as indicated in Table 1.

10.686.10 Table 1: Optional Density Bonus Incentives Maximums (If Requirements Are Met)			
Incentive Option	Building Height Stories/Feet	Dwelling Units/Building	Approval Requirements
For All GNOD Developments over 4 Stories, 50 Feet and 24 Units Per Building:			
10.686.10 Public Realm Improvements	5/68	80	Director of Planning and Sustainability
And For Additional Height and Density, <i>One of the Following</i> :			
10.686.20 Workforce Housing	6/80	120	Conditional Use Permit by the Planning Board
10.686.20 Payment in Lieu	6/80	120	Conditional Use Permit by the Planning Board
10.686.30 Land Transfer	6/80	120	City Council Approval

### 10.686.10 Public Realm Improvements Incentive Option

In order to qualify for a **public realm** improvements incentive bonus in the GNOD, as described here and in Section 10.5B73.20, the proposed **public realm** improvements shall be reviewed by the Planning Board as a part of site plan approval. The Planning Board shall then make written comments regarding the proposed public realm improvements to the Director of Planning and Sustainability. To the extent that the Planning Board's comments are not followed or incorporated into the Director of Planning and Sustainability's decision, the Director shall set forth findings relative to the Planning Board's comments.

All public realm improvements shall be subject to administrative approval by the Director of Planning and Sustainability. The Director of Planning and Sustainability shall review all proposed public realm improvements for compliance with Section 10.5B73.20, ensure that proposed public realm improvements are constructed to City standards, and are in the public interest. Public realm improvements under this section shall be permitted on a different lot than the **development**, and the remaining requirements of Section 10.5B73.20 (4) shall not apply to **public realm** improvements within the **GNOD**.

### 10.686.20 Workforce Housing or Payment in Lieu Incentive Option

The Planning Board may grant a conditional use permit for this optional bonus in accordance with Sections 10.240, et. seq. To qualify for this bonus, a development shall include either or a combination of the following:

- (1) Workforce Housing may be provided in accordance with Section 10.5B73.10.
- (2) A payment to the City in lieu of providing workforce housing in an amount based on the particular makeup of the development and in accordance with the fees established annually by the Fee Committee and the City Council in the fee schedule.

### 10.686.30 Land Transfer Incentive Option

In order to facilitate future development of below-market rate housing, there may be appropriate circumstances where applicants may convey real property to the City in lieu of or in conjunction

with meeting the other requirements for workforce housing of the GNOD. However, recognizing the unique nature of land, not all property may be suitable or desirable for this purpose. Therefore, any real property offered to the City pursuant to this section shall be subject to acceptance by the City Council, and in accordance with the following requirements.

- (1) In lieu of constructing workforce housing units within a GNOD Development, an applicant may offer real property to the City. Any real property offered to the City shall be suitable for developing workforce housing of a size set forth in section 10.686.40 and shall not require a conditional use permit from the Planning Board. Instead, the conveyance shall be subject to approval and acceptance by the City Council. In exchange for transferring land to the City, the developer shall be permitted to construct buildings up to six stories and 80 feet in height, and to construct up to 120 units per building.
- (2) Any applicant must, at their own expense, provide a certificate of title and Phase one environmental report for any property offered to the City Council. All closing costs shall be borne by the applicant. The City Council may request any additional information regarding the offered real property or the proposed transfer, the preparation of which shall be by the applicant.
- (3) Any applicant must, at their own expense, demonstrate the suitability of the proposed land to be conveyed to the City for workforce housing purposes. This requirement shall be met by submitting a constraints site plan to the Director of Planning and Sustainability depicting: boundaries, existing and proposed; the setbacks; wetlands and wetlands buffers, if any; rights of way; utility easements; and, other identifiable **development** constraints. The Director of Planning and Sustainability shall provide comments on the proposed site's suitability based on the constraints site plan to the City Council prior to acceptance.
- (4) Prior to acceptance by the City Council, the Planning Board shall provide written comments to the City Council regarding the offered real property and its compliance with this Article. Any comments offered by the Planning Board shall be advisory in nature only, but the City Council shall, to the extent that the Planning Board's comments are not followed or incorporated into the City Council's decision, set forth findings relative to the Planning Board's comments.
- (5) The City Council shall not accept any real property offered if acceptance would subject the municipality to potential liability as an owner of property under the Comprehensive Environmental Response, Compensation and Liability Act of 1980, 42 U.S.C. section 9601 et seq., the Resource Conservation and Recovery Act, 42 U.S.C. section 6901 et seq., RSA 147-A and 147-B, and any other federal or state environmental statute which imposes strict liability on owners for environmental impairment of the real estate involved.
- (6) In addition to the circumstances described in paragraph 2, the City Council may refuse to accept any offered real property whenever in its judgment acceptance and ownership

of the real estate would subject the municipality to undesirable obligations or liability risks, including obligations under real estate covenants or obligations to tenants, or for any other reason would be contrary to the public interest.

- (7) In order to qualify for this optional incentive, the amount of the proposed land transfer will be dependent on the size of a proposed GNOD as follows:

The developer shall convey at least one contiguous acre of **Developable Upland** to the City for up to twenty acres of **Developable upland** in a proposed GNOD (the Parcel). For a GNOD larger than twenty acres, the size of the Parcel shall increase in the proportion of one acre of **Developable Upland** per each additional twenty acres of **Developable Upland** in the proposed GNOD.

The City Council, at its sole discretion and following a recommendation by the Planning Board, may accept multiple parcels of not less than one acre each, if the City Council determines it is in the best interest of the City.

- (8) Any property acquired by the City pursuant to this section shall be primarily utilized for below-market rate housing. The City Council shall designate the appropriate method for procurement, development, form of ownership, disposition and administration of individual parcels of land acquired pursuant to this section.
- (9) Any land conveyed under this section shall be conveyed to the City may be conveyed as a condition subsequent to final Planning Board approval(s) and execution of the site review agreement, but in any event shall be conveyed prior to the issuance of a building permit for any project.
- (10) If land is conveyed under this section, there shall be no further requirement to meet any specific percentage of workforce housing units in a GNOD as provided in Section 10.5B73.10, unless a building is proposed over 400 linear feet in length, in which case the Bonus Incentive Requirements of Section 10.5B73.10 shall apply.

#### **10.686.40 Transfer of Development Rights Acquired through Land Transfer**

- (1) Land may be conveyed in conjunction with, or separately from a proposed **development (GNOD conveyance)**. In the event that a GNOD conveyance exceeds the amount required in order to support a proposed **development**, or when land is conveyed separately from any proposed development, the developer or its assigns will receive future credit for a future project or projects in accordance with the standards set forth below.
- (2) Following any acceptance of real property by the City Council and successful transfer of fee ownership with warranted title, if there is any excess acreage above what is necessary for a proposed GNOD **development**, the Director of Planning and Sustainability shall notify the Planning Board and the transferor of land of the amount of Land Credit the

developer shall receive, which shall be memorialized in a Proposed Development Incentive Agreement (PDIA), as defined below.

- (3) Contemporaneous with any GNOD conveyance, the City and the developer shall enter into a PDIA, which shall specify the amount of land conveyed to the City, the amount if any used for a pending development, and the amount of excess land that may be credited toward a future project in accordance with the GNOD. Any excess land credit may only be used within the GNOD but may be sold or transferred without limitation for GNOD purposes. A sale or transfer of excess credits pursuant to this section is only valid upon written notice of the transfer to the Director of Planning and Sustainability.
- (4) The maximum term of any PDIA shall not exceed fifteen (15) years, following which the rights to any unused incentive shall automatically expire and become null and void.
- (5) Entering into a PDIA under this section shall not be deemed to supersede or waive any of the other provisions of the GNOD or Article 5B or other applicable provisions of this Ordinance, nor shall any approval be considered to represent the granting of land use approval or vesting for any future **development**.
- (6) Future use of the excess land credit to support a future project shall require administrative approval of the Director of Planning and Sustainability, who shall certify to the Planning Board both the amount of land credit used as a part of a **development** and the remaining land credit pursuant to the PDIA.
- (7) Excess land credits may be used in full or partial fulfillment of the requirements of a future **development** set forth in section 10.686.20.

### **Developable Upland**

Net land area of property suitable for, or used for, **development**, excluding any: public rights of way or street rights of way platted as a part of the **development**; wetlands; and, wetland buffers.

### **10.5B41.80**

New number 4:

In the GNOD, the minimum **community space coverage** shall be equal to 10% of the total site area of the **development site**.

Effective upon passage.

September 20, 2024



Dear City Council Members,

We are reaching out as we bought a recently subdivided lot off of the back of 15 Lafayette Road, now 185 Orchard Street, to build our primary residence, a single family home. We have spent the last several months putting together the engineering and architectural plans. I am attaching the survey showing the subdivision, our architectural drawings, and some photos of existing homes in our neighborhood for comparison to this letter.

We submitted our building permit with the plans just over 2 months ago, and it has been brought to our attention that the land is in the Historic District Overlay Zone. We were never informed we would need HDC approval to build on the land and that it would remain in the Historical District once the subdivision took place, but obviously we were informed incorrectly, which is why we are writing this letter. We are asking to remove our lot from the Historical District for several reasons which we have laid out below:

- The Historic District Overlay Zone was extended down Middle Street and Lafayette Road from South Street to State Street because it is considered a "gateway" into the city. All properties with direct frontage on the stretch of Lafayette Road (from South St) and Middle Street down to State Street are considered part of the Historic District Overlay Zone. The subject property has no frontage, in fact, it does not directly abut Lafayette Road or Middle Street.
- Some properties that are located on the corner lots of Lafayette Road from South Street down to State Street are considered part of the Historical District. The subject lot is not a corner lot abutting Lafayette Road or Middle Street.
- The subject property's frontage is on Orchard Street. No properties on Orchard Street are in the Historical District.
- The structure being built coincides with the zoning requirements for GRA (plans attached)
- The character of the Historic District Overlay Zone will not be affected, as the structure will not be able to have any direct visibility from Lafayette Road or Middle Street.
- Constructing the home in its current location will not contradict with the spirit of the city's zoning of the HDC overlay district as a "gateway" into the city.

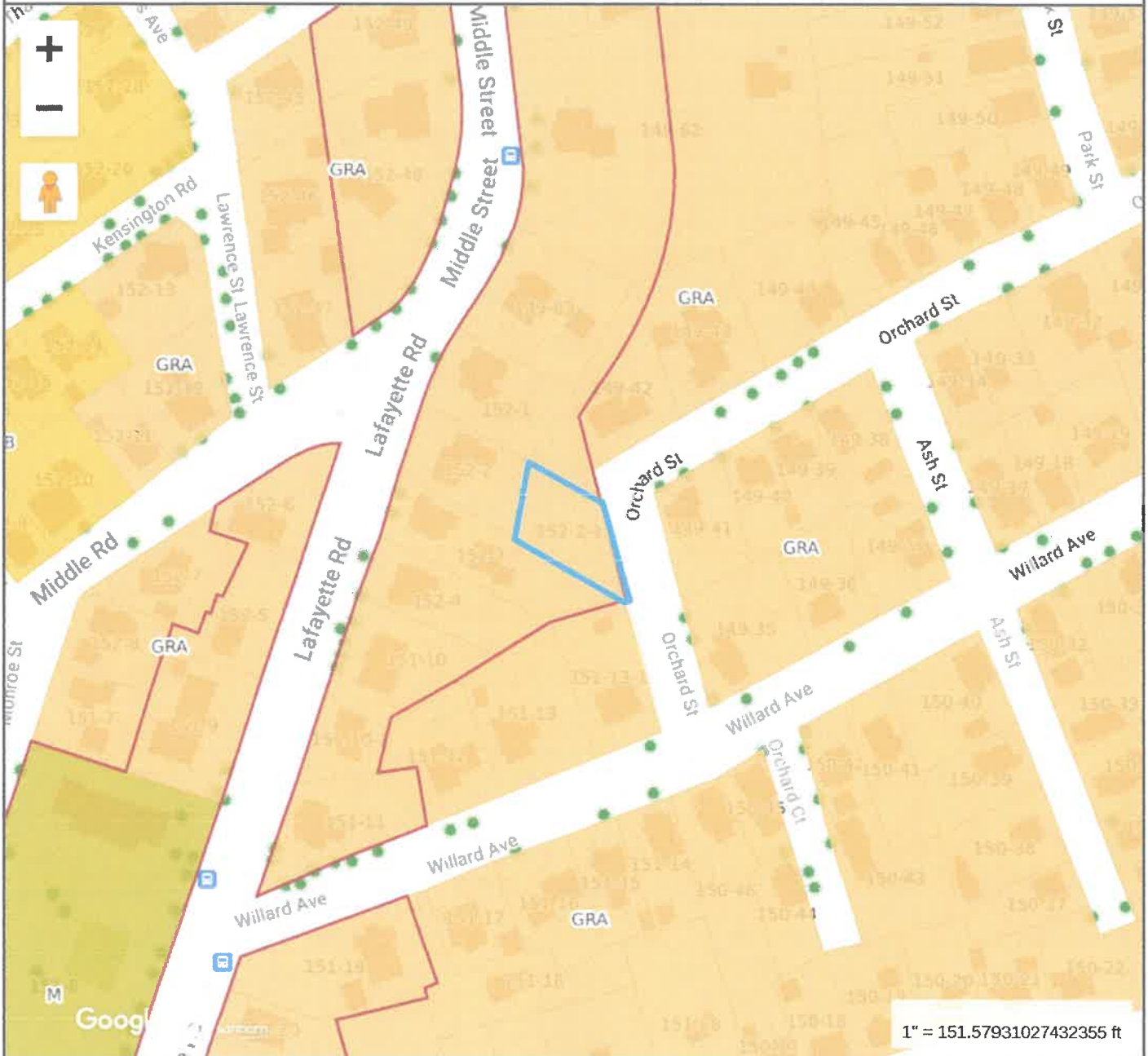
We understand that this is a rare ask, but after reviewing the HDC's guidelines and current zoning, we feel this should be granted as an exception, and we kindly ask for your help doing so. Our intentions are to in no way take away from the historical character of our City's "gateway" to downtown. Our house's characteristics fall in line with other houses on our street that are not part of the HDC jurisdiction, and we are asking to join them. Our lot was not created until after the Historic District Overlay Zone was determined, and the original lot was one undivided lot. We were trying to get the foundation in the ground prior to winter, as we have had our permit in for a couple months now, and we're trying to get our house built in a timely manner for our family to move in by this coming Spring.

Thank you for taking the time to read this and for taking our ask into consideration. If you have any questions please do not hesitate to reach out.

  
Jessie and Scott Rafferty

185 Orchard Street, Portsmouth, NH 03801

*srafferty@ocrandco.com*  
*603-767-8929*



Property Information

Property ID 0152-0002-0000  
 Location 15 LAFAYETTE RD  
 Owner LOADER CHRISTOPHER J & AMY



MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT

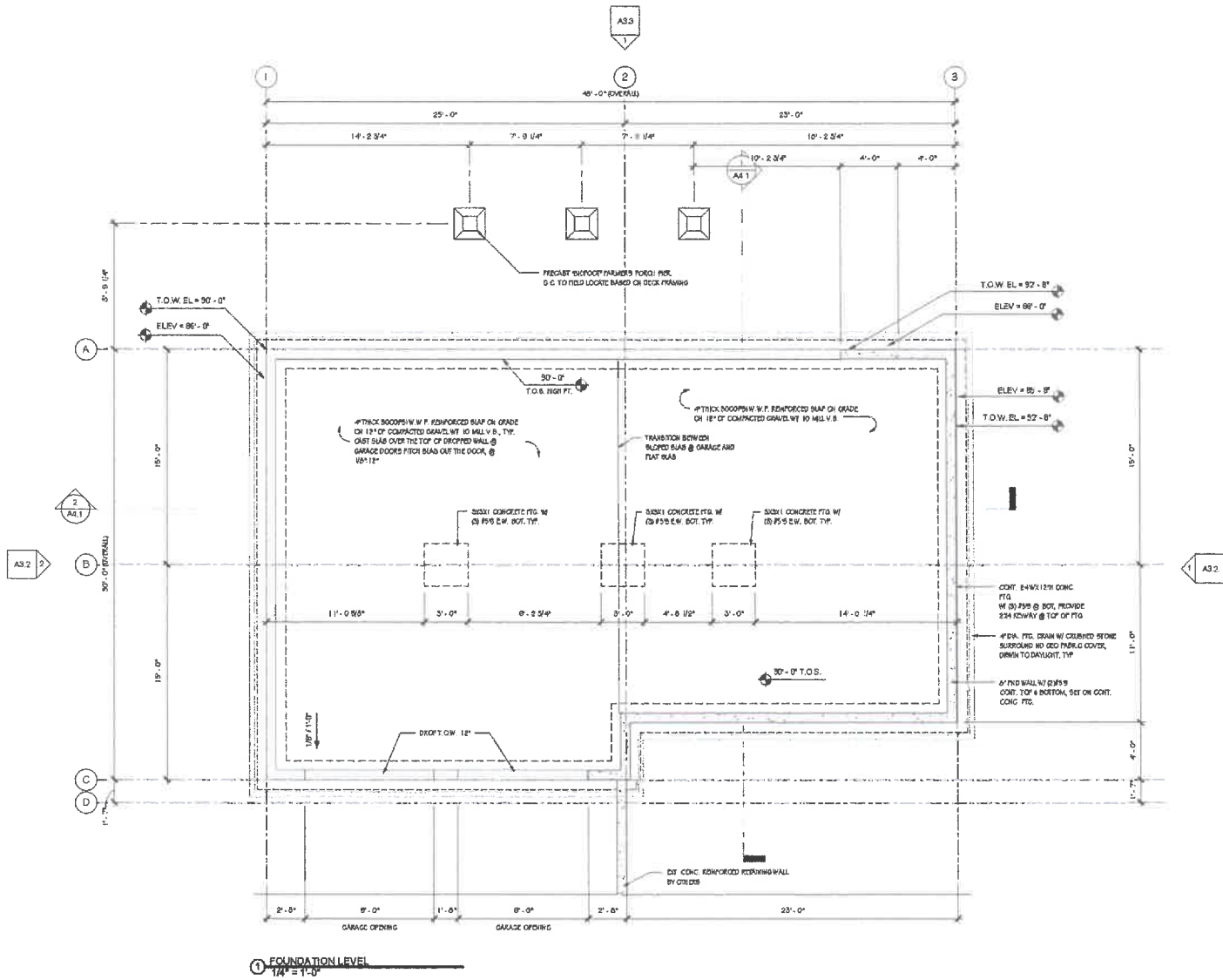
City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 09/18/2024  
 Data updated 3/9/2022

Print map scale is approximate.  
 Critical layout or measurement activities should not be done using this resource.

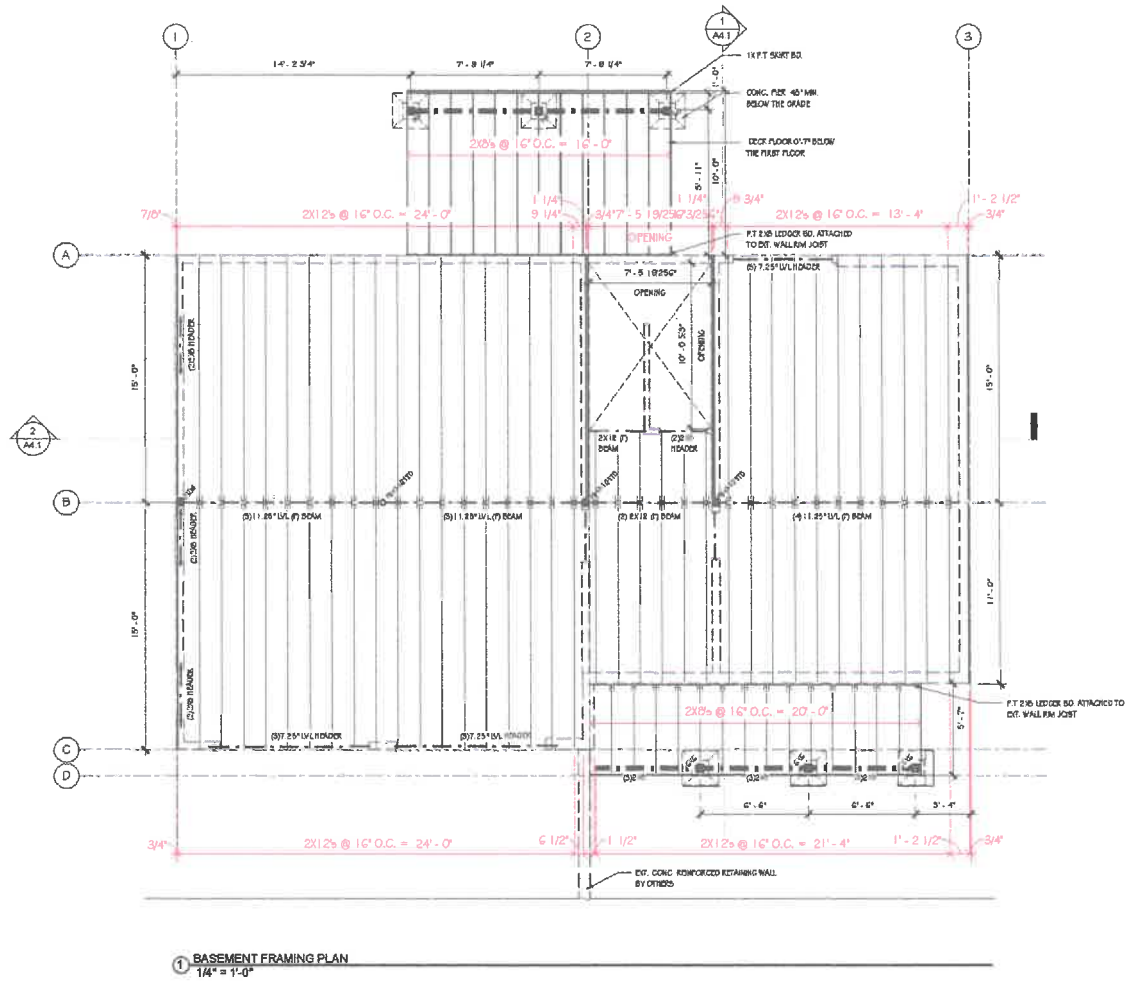




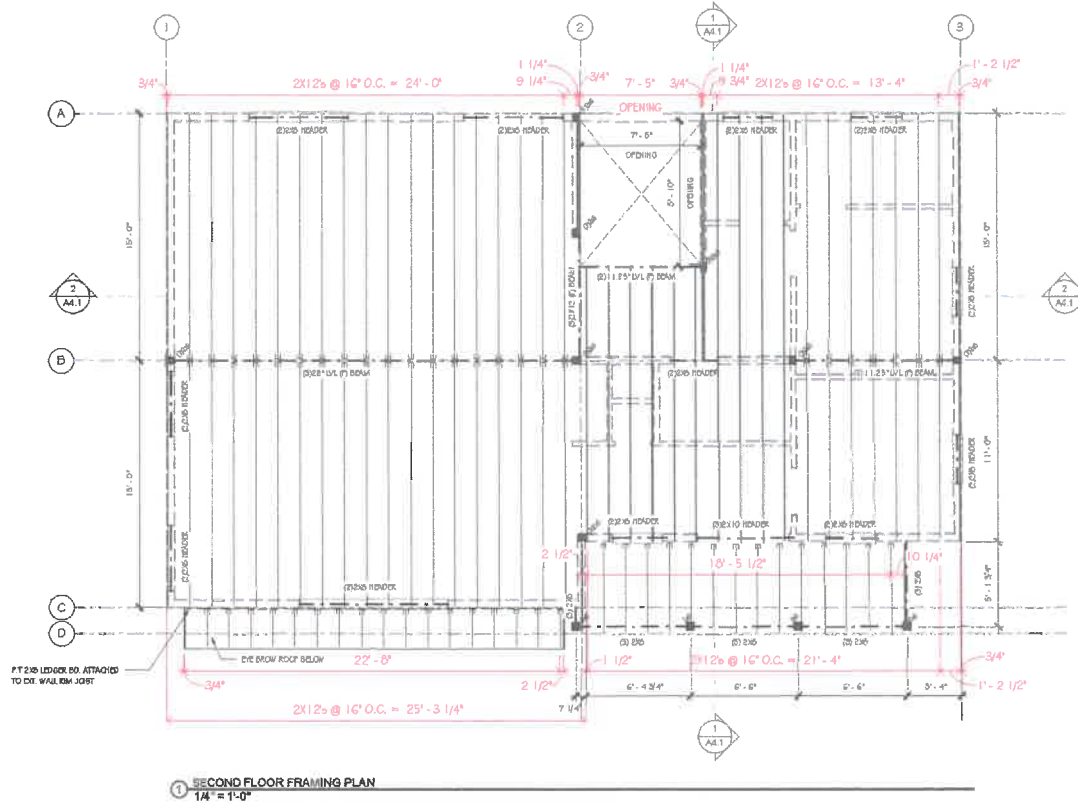


- STRUCTURAL NOTES:**
1. HOME TO HAVE 4\"/>

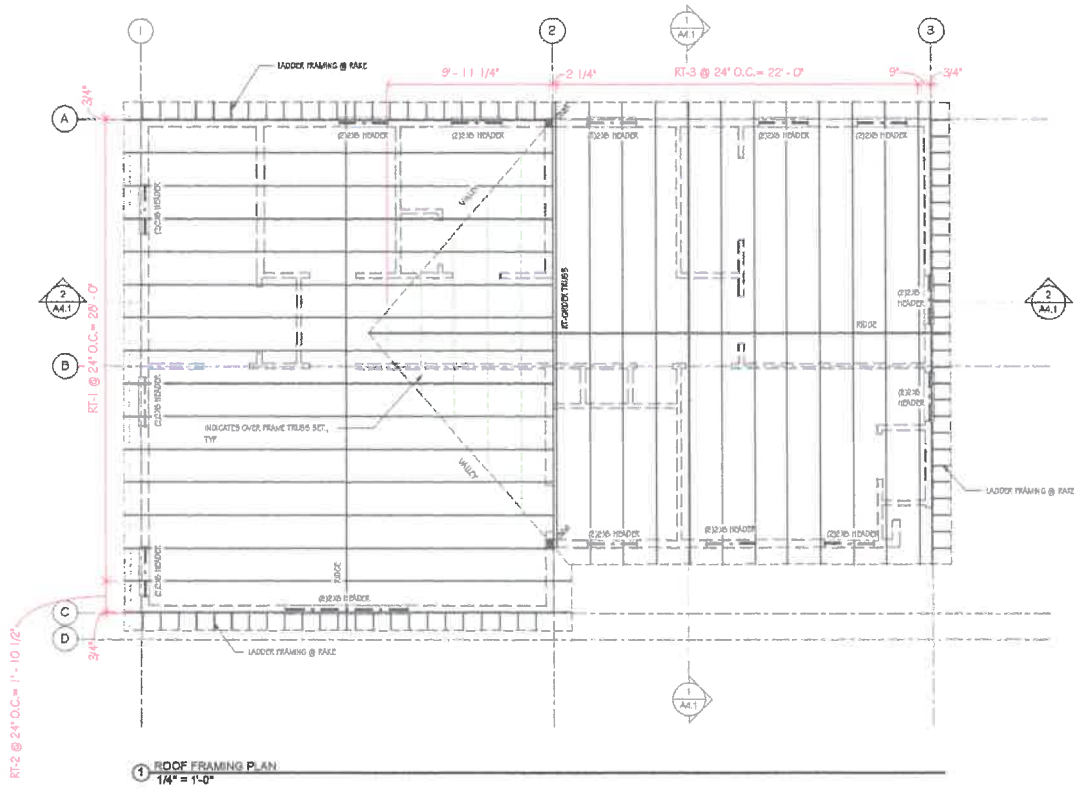
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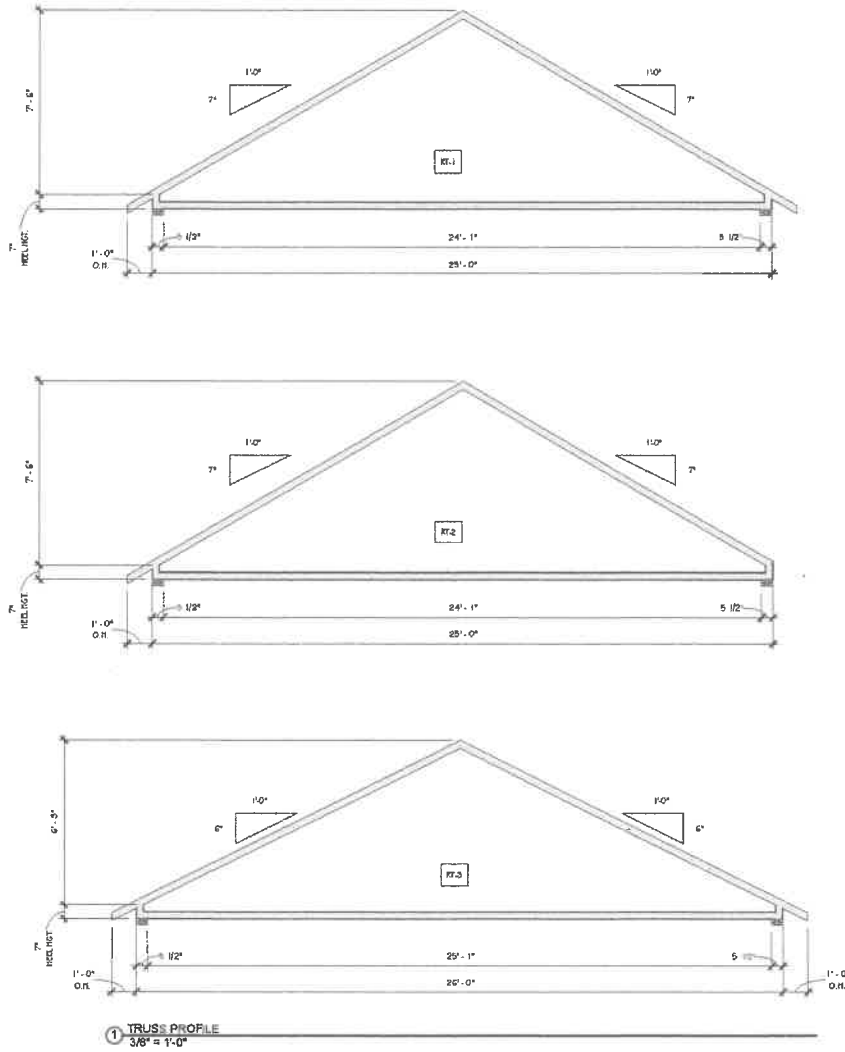


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1 ROOF FRAMING PLAN  
1/4" = 1'-0"

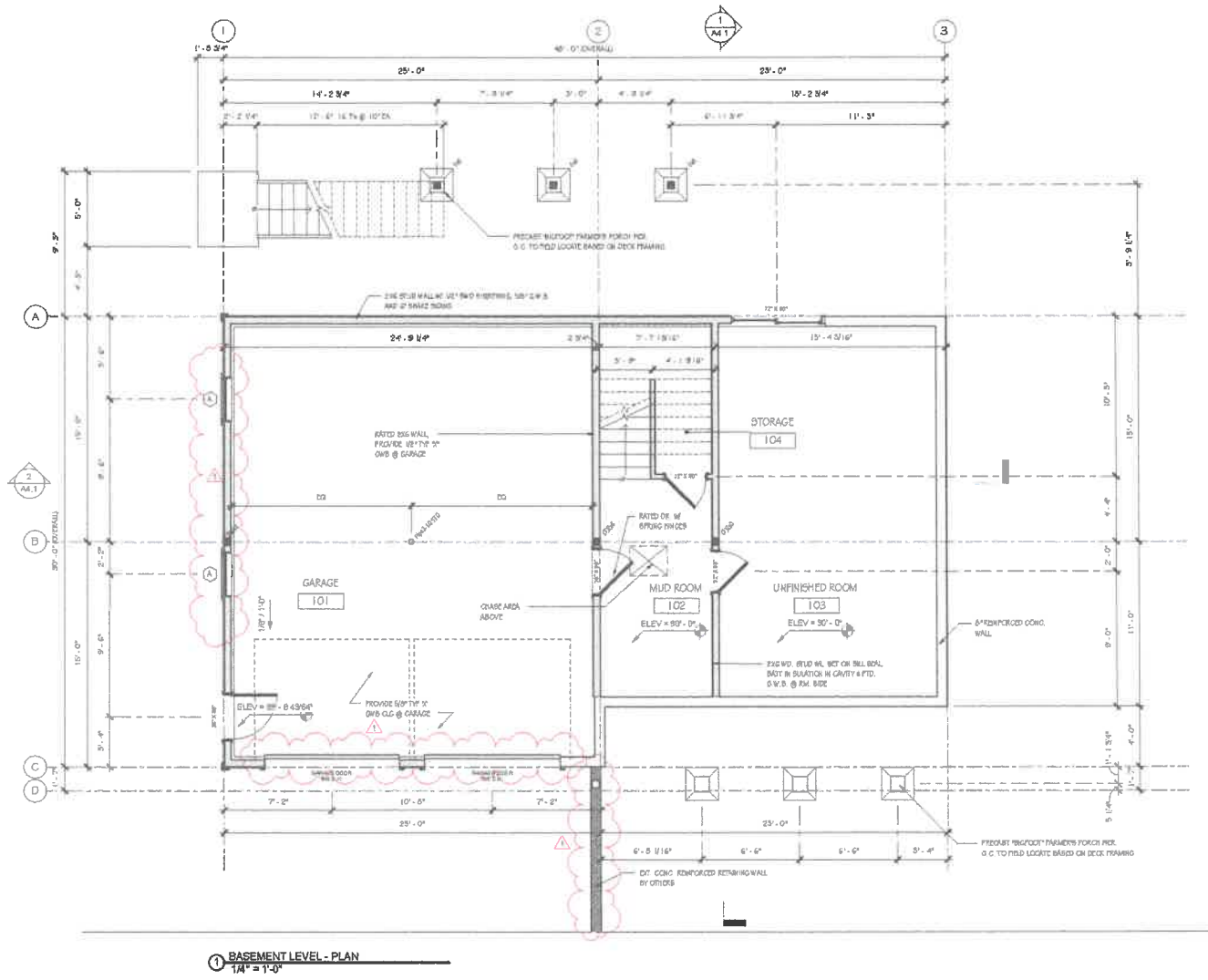
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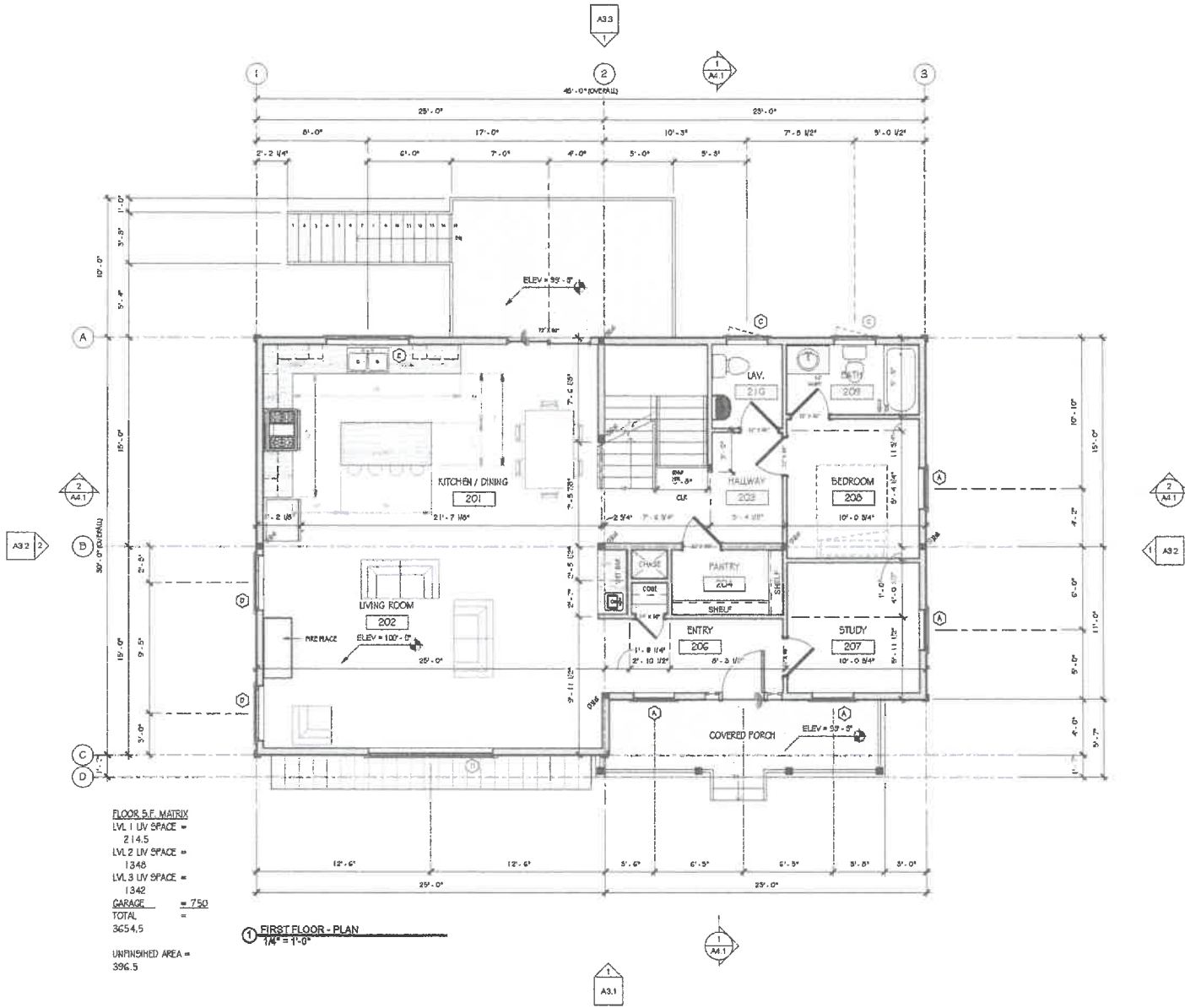
**STRUCTURAL NOTES, U.N.C.:**

1. ALL WORK, MATERIALS AND INSTALLATION OF ALL ITEMS AND PRODUCTS SHALL CONFORM TO CURRENT CODE, STANDARD PRACTICE AND MANUFACTURE REQUIREMENTS.
2. ALL FOOTINGS & SLABS OR GRADES SHALL BE ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF. THE OWNER IS ENCOURAGED TO OBTAIN GEOTECH TESTING AT THE OWNER'S COST.
3. ALL FOUNDATION, RETIC WALLS, FOOTING, ISOLATION FOOTING, AND INTERIOR SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. ALL GARAGE SLABS AND ALL EXTERIOR SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
5. FOUNDATION FOOTINGS TO BE CON. 12" X 12" MIN. @ 8" S/S COR. @ BOTTOM. 8" O.C. @ 40" BELOW GRADE MIN. O.C. TO V.I.P., STOP ITD. AS REQD.
6. PROVIDE #4 @ 16" O.C. @ 40" O.C. MIN. 1" MIN. ENVELOPMENT INTO STEEL WALL. 1 STD. ROCK INTO ITD. BOT. PER IRC SECTION 600.
7. TYPICAL INTERIOR CON. FOOTINGS SHALL BE MINIMUM 300X11" MIN. @ 8" S/S COR. MIN. @ BOTTOM.
8. TYPICAL FOUNDATION FROSE WALLS TO BE 8" THICK MIN. 8" S/S COR. @ TOP, MID & BOTTOM.
9. PROVIDE TWO COURTS OF DRAIN FOOTING ON THE EXT. FACE OF MID WALL FOOTING.
10. FOR ALL OCCUPIED ELEMENTS OR IF BITE WATER TRAPERS REQUIRED, PROVIDE 4" P.V.C. 1" O.D. DRAIN PIPE & GROUND PER DETAIL. RUN PIPE TO DAY LIGHT.
11. ALL FLOOR ANCHORS SHALL BE 3/4" DIA. 10" LONG 2" BOTS MIN. 2" SUBSIDIARY, SET TO BE IN MID. 1/3 OF WD. SPACE.
12. ANCHOR BOTS SPACING SHALL BE 4'-0" O.C. MAX. 4" (2" FROM CORNER MAX. 4" BOTS PER PLATE MIN. PROVIDE STANDARD WALKER & NUT FOR DR.
13. ANY LUMBER EXPOSED TO WEATHER, OR IN CONTACT W/ CONCRETE OR STEEL SHALL BE PRESSURE TREATED (P.T.) LUMBER. ANY LUMBER IN DIRECT CONTACT W/ THE GROUND SHALL BE TREATED PER SUG.
14. PROVIDE CONT. SILL WALLS UNDER P.T. WD. SILL PLATE.
15. ALL NOMINAL STRUCTURAL LUMBER SHALL BE K.D. SPP No. 1 / No. 2, U.S.G.
16. ALL CONCRETE LUMBER AND STRUCTURAL MEMBERS SHALL BE WEATHERED FOR PRODUCTS OR APPROVED EQUAL AND SHALL BE INSTALLED PER MANUFACTURER'S LATEST REQUIREMENTS.
17. ALL FIRE ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY AN ENGINEER LICENSED IN THE STATE BEING DESIGNED IN THIS SHALL BE THE RESPONSIBILITY OF THE TRUSS PROVIDER.
18. REFER TO TYPICAL ASSEMBLY NOTES ON DWG SHEET FOR THE DESIGN INTENT OF ALL WALL, SILL, RAFTERS, AND JOIST SIZES AND SPACING.
19. REFER TO FLOOR OR FRAMING PLANS FOR ALL HEADER, DIMS AND COL. SIZES.
20. ALL INTERIOR BEARING WALLS TO BE 2X6 14" O.C. OR BETTER.
21. ALL FLOOR BEARING SHALL BE 2X12 OR TAG GLEYS & WALLED TO WD. JOISTS. ADVANTAGE OR EQUAL, (NOTED ON DWGS AS FLYING)
  - ALL EXTERIOR WALL SPACING SHALL BE 16" MIN. O.C.
22. INSTALL ROOF BOLD CORN IN EXT. WALL CORNERS W/ LESS THAN 40" OF CONT. WALL BEARING. O.C. TO V.I.P. AND COORDINATE THIS DETAIL AS REQUIRED.
23. ALL WINDOW & DOOR HEADERS NOT DESIGNATED ON PLANS SHALL BE 2X12S.
24. PROVIDE DOUBLE PILE STUDS OR OTHERS LARGER THAN 4" O.C. & STIFFER JACKS OR OPENING LARGER THAN 6'-0".
25. G.C. TO PROVIDE FASTENERS PER THE IRC PREScriptive METH CD, U.N.C.

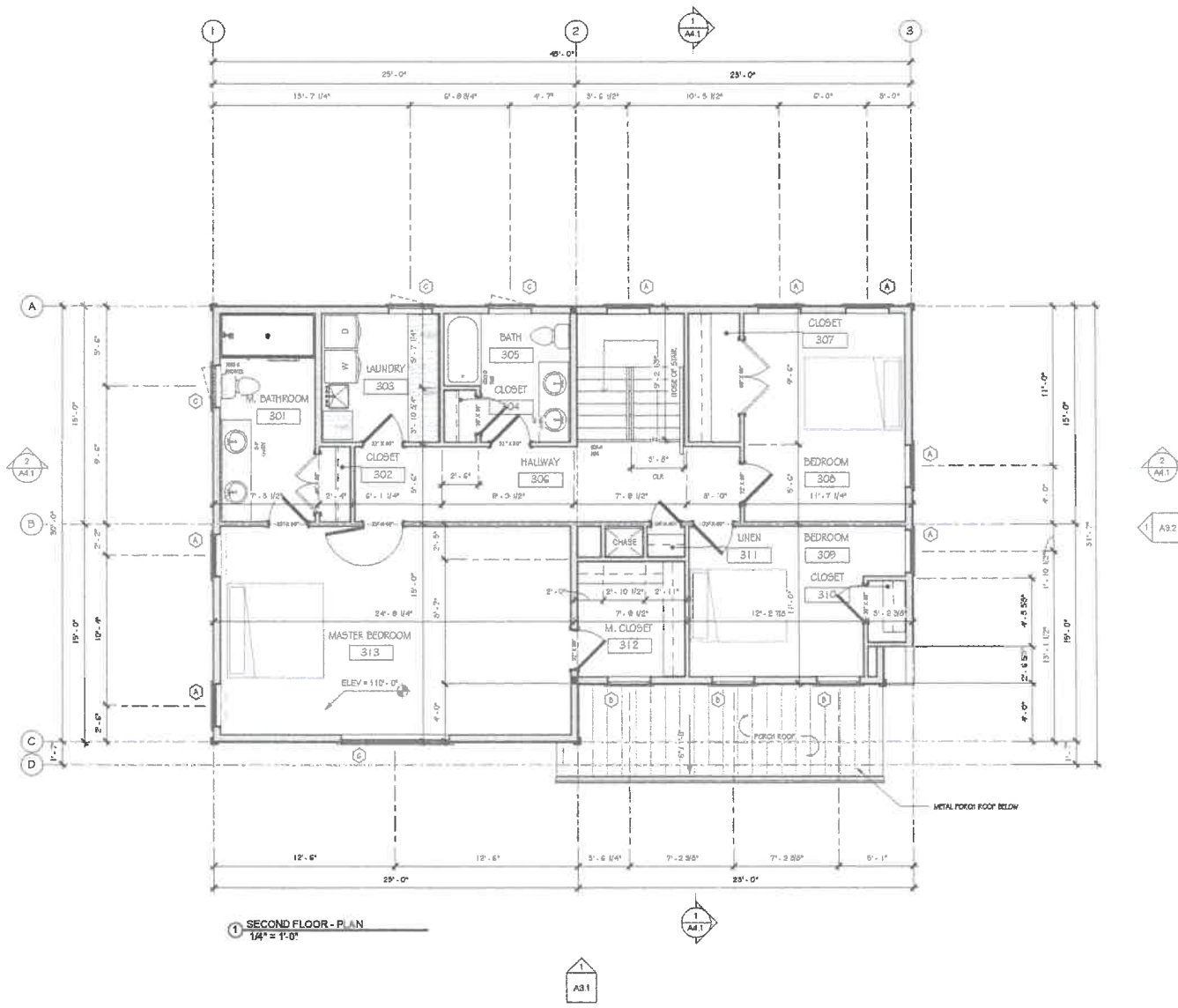
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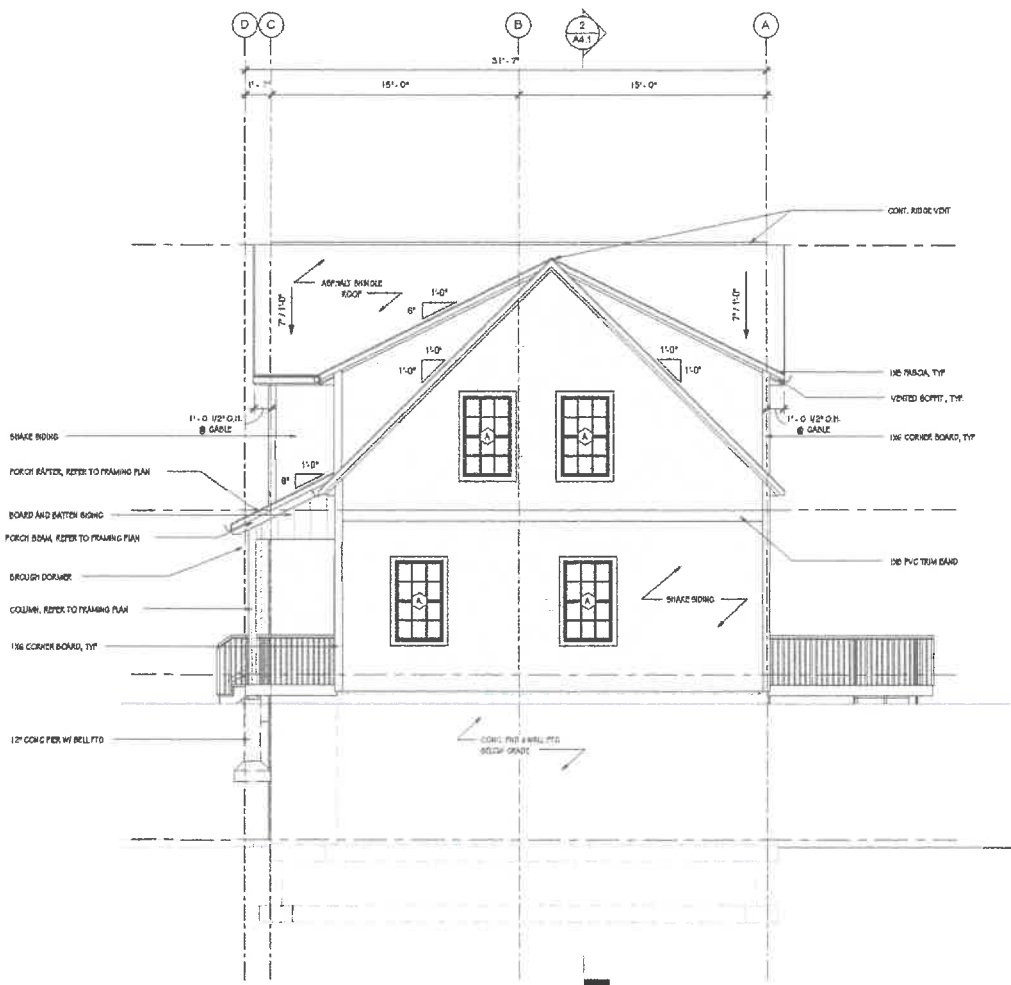


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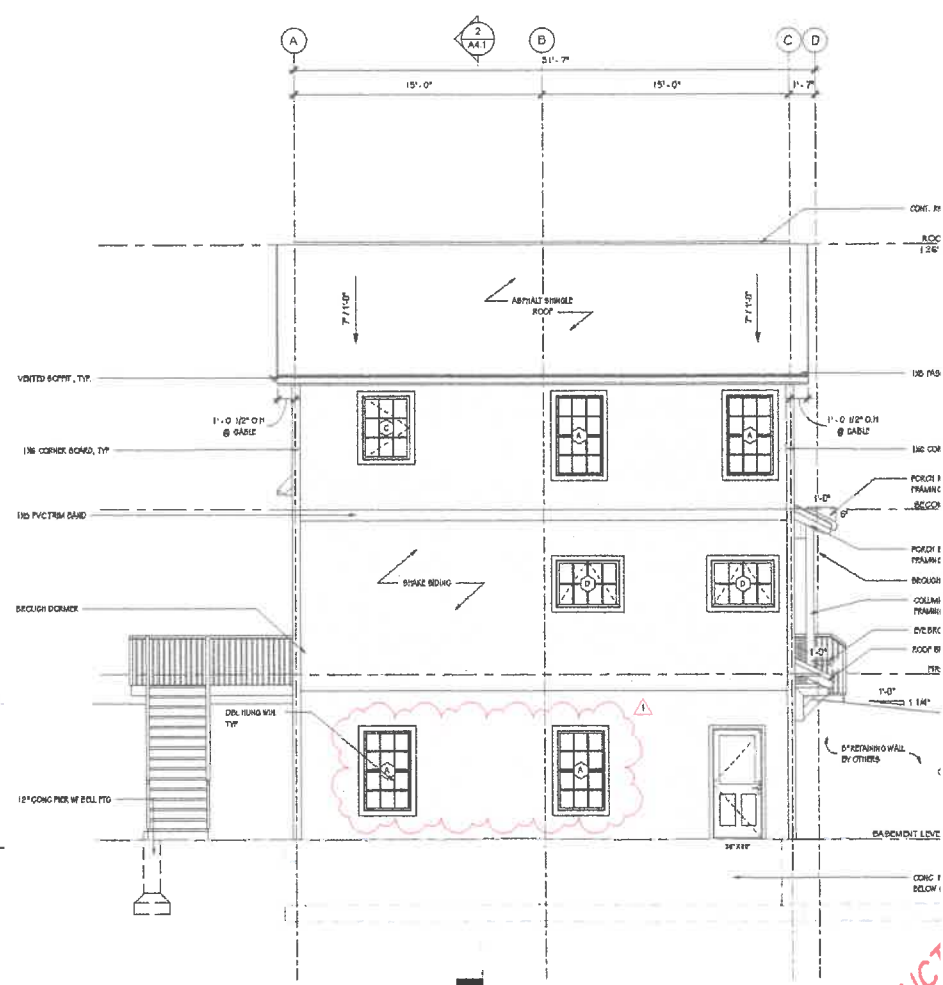








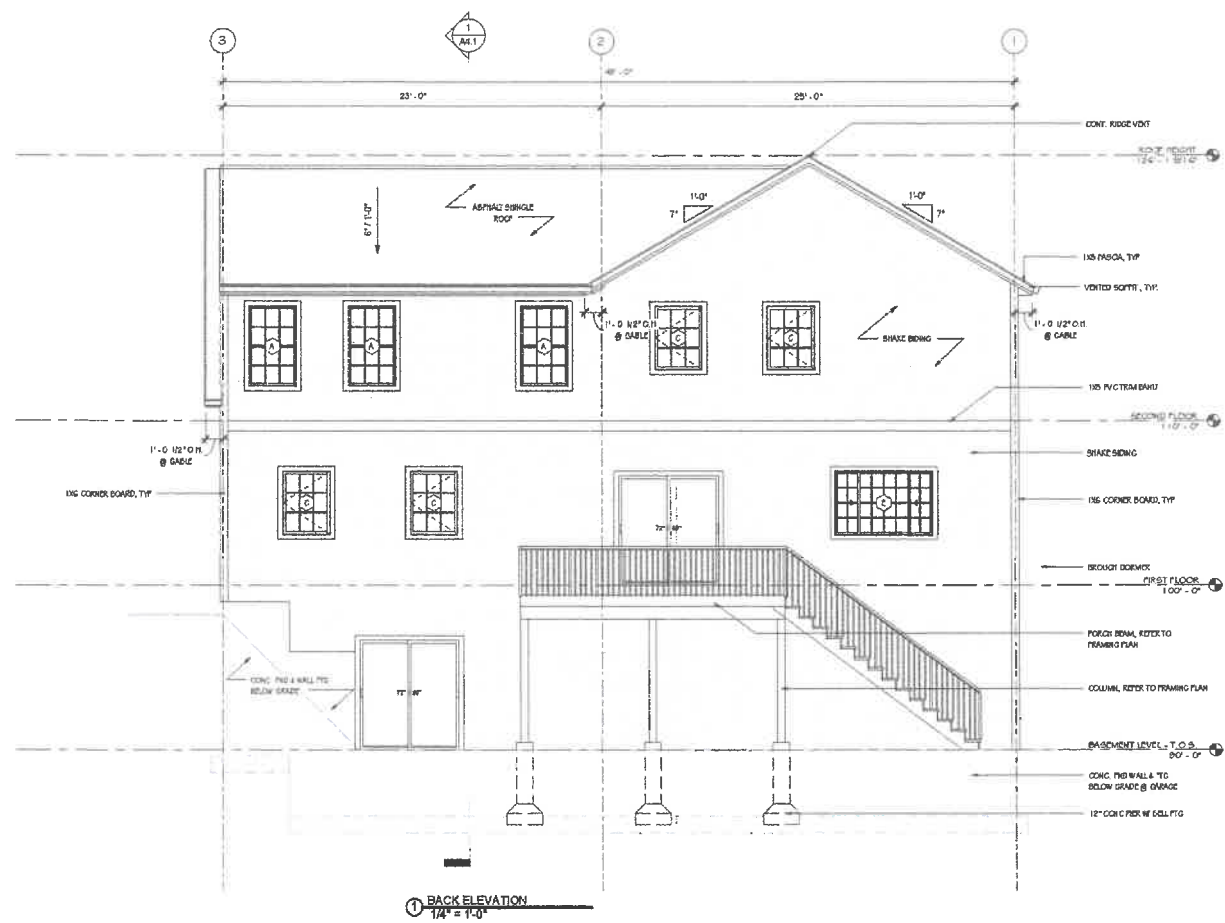
1 RIGHT ELEVATION  
1/4" = 1'-0"



2 LEFT ELEVATION  
1/4" = 1'-0"

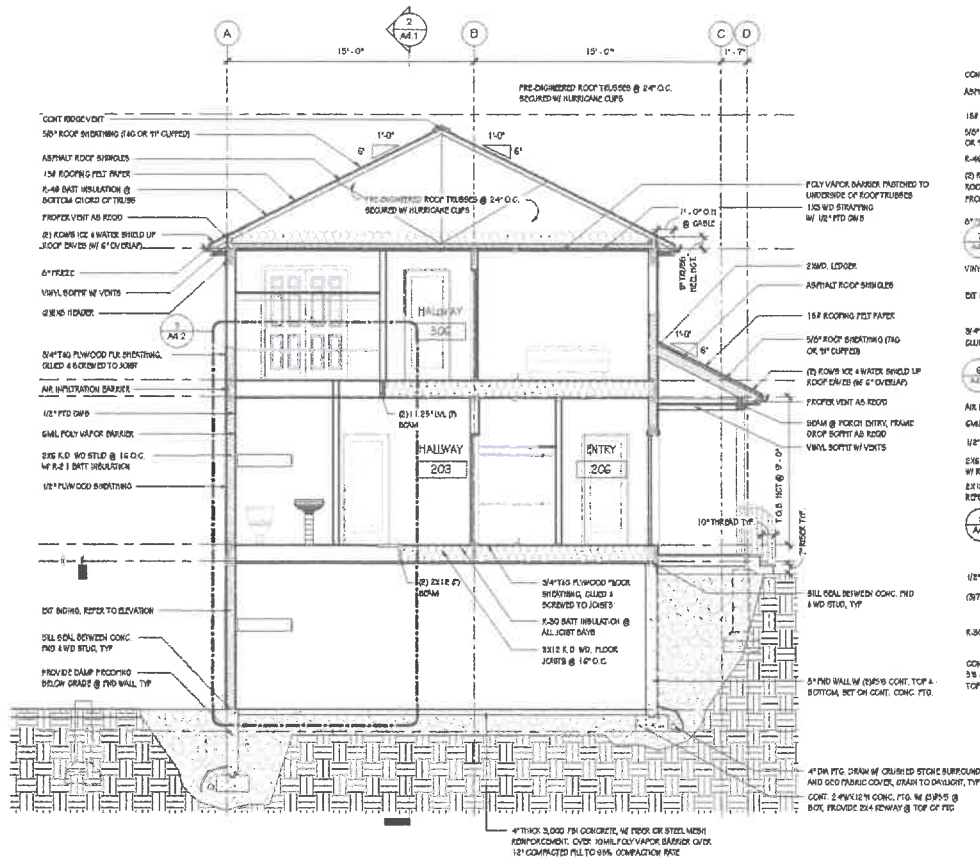
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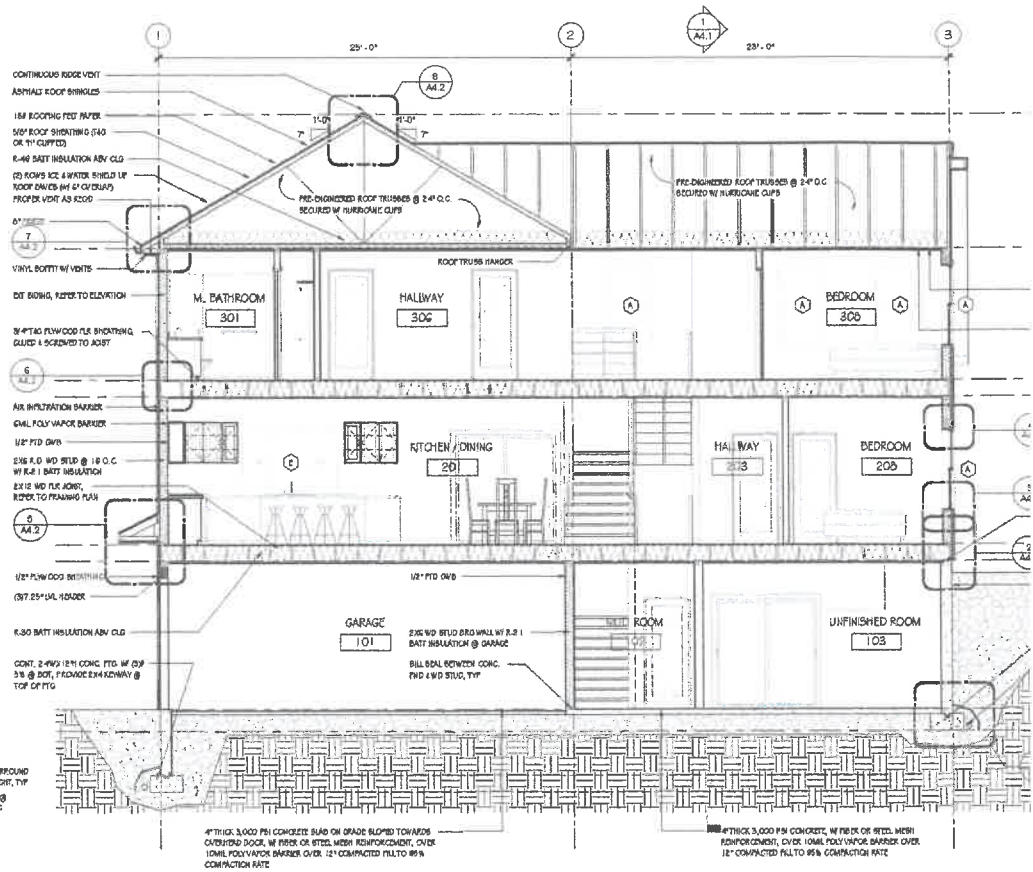


1 BACK ELEVATION  
1/4" = 1'-0"

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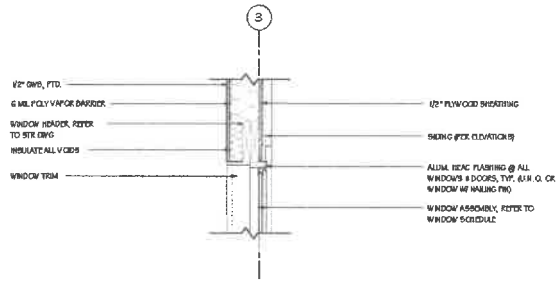


1 Section 1  
1/4" = 1'-0"

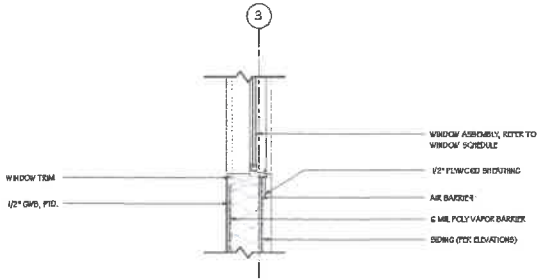


2 Section 2  
1/4" = 1'-0"

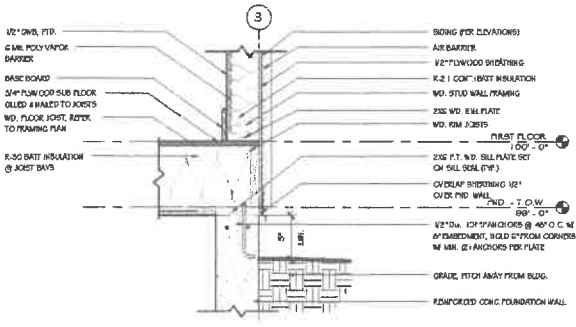
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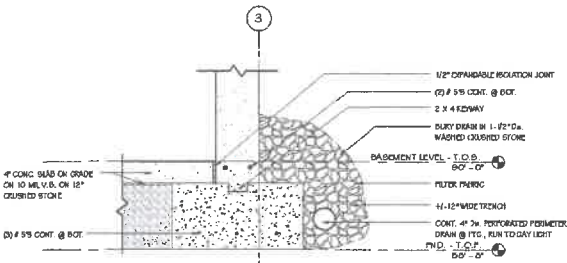
4 SEC. DTL. @ WINDOW HEADER  
1" = 1'-0"



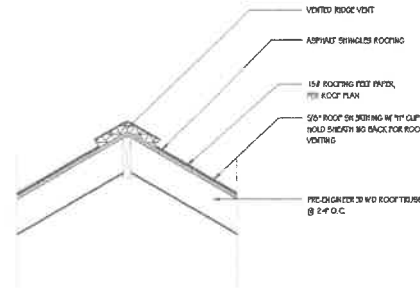
3 SEC. DTL. @ WINDOW SILL  
1" = 1'-0"



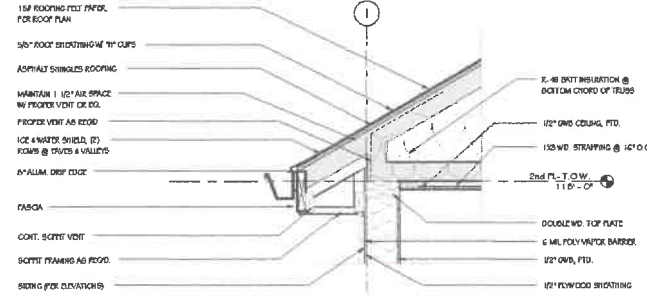
2 FIRST FLR. FLR ASSEMBLY  
1" = 1'-0"



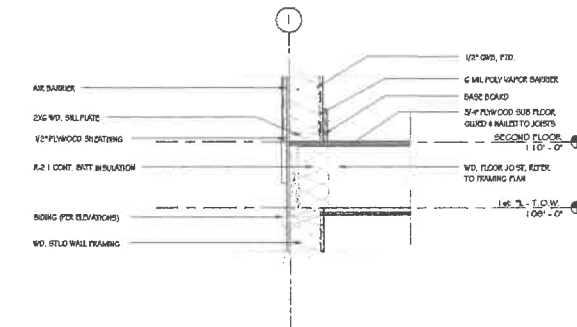
1 FND FTG. DTL.  
1" = 1'-0"



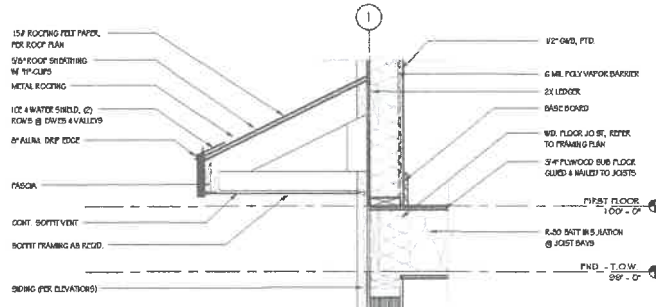
6 SEC. DTL. @ ROOF RIDGE  
1" = 1'-0"



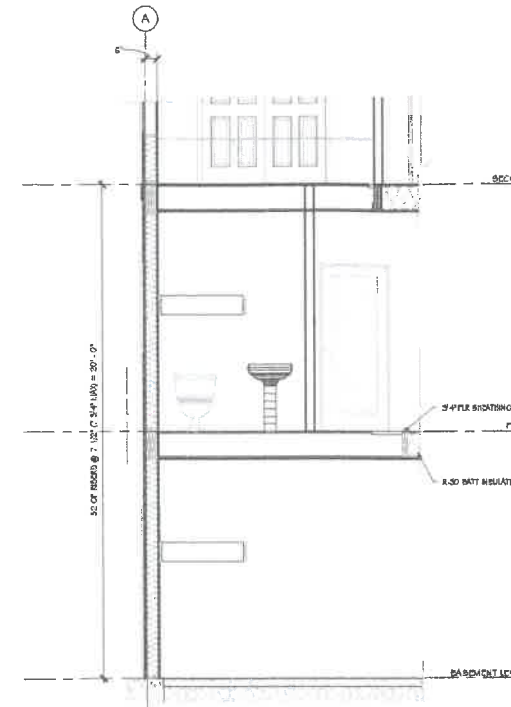
7 FIRST FLR. FLR ASSEMBLY 4  
1" = 1'-0"



8 SEC. DTL. @ FLOOR DECK  
1" = 1'-0"



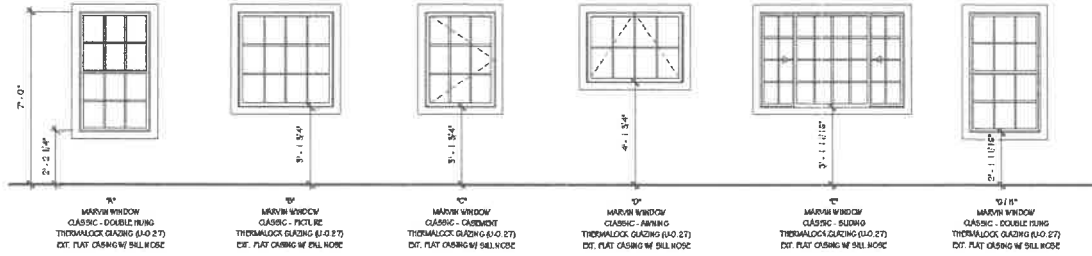
5 SEC. DTL. @ FLOOR SLAB  
1" = 1'-0"



9 INTERIOR SECTION - STAIRS  
3/8" = 1'-0"

FOR CONSTRUCTION  
7/26/21  
11:43

Window Schedule							
Type Mark	Manufacturer	Model	Description	Rough Width	Rough Height	Head Height	Comments
A	Mervin Windows and Doors	ESDH3050	3660 DBHG	3' - 0"	5' - 0"	<varies>	
B	Mervin Windows and Doors	ESCAP4040	4848 PICT	3' - 0"	3' - 0"	7' - 0"	
C	Mervin Windows and Doors	ESCA3040	3648 CSMT	3' - 0"	4' - 0"	7' - 0"	
D	Mervin Windows and Doors	ESAWN4030	4836 AWNG	4' - 0"	3' - 0"	7' - 0"	
E	Mervin Windows and Doors	ESGLTS6040	6040 GLDR	6' - 0"	4' - 0"	7' - 0"	
G	Mervin Windows and Doors	ESDH3050	3660 DBHG	7' - 6"	5' - 0"	7' - 0"	
H	Mervin Windows and Doors	ESDH3050	3660 DBHG	9' - 0"	5' - 0"	7' - 0"	

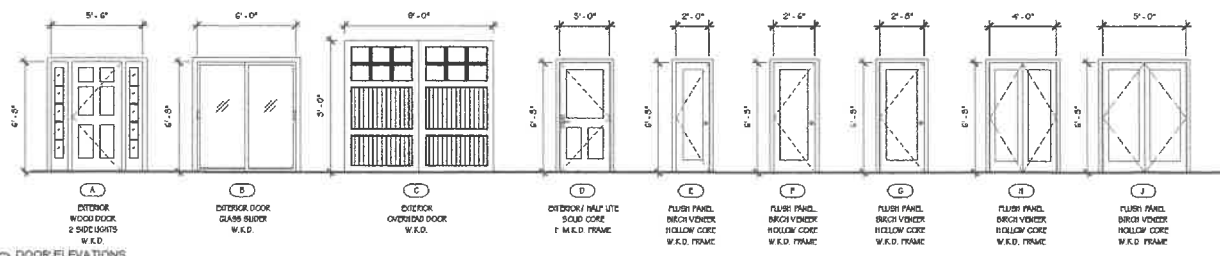


WINDOW ELEVATIONS  
3/8" = 1'-0"

Room Schedule									
Room	Number	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Openings			
PORCH	101	UNFINISHED CONCRETE	NONE	FTD. G.W.B.	FTD. G.W.B. (BATH)				
MEB ROOM	102	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BAR	103	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
UNFINISHED ROOM	104	UNFINISHED CONCRETE	NONE	UNFINISHED CONCRETE	CP CORO STR.				
STORAGE	104	UNFINISHED CONCRETE	NONE	UNFINISHED CONCRETE	CP CORO STR.				
STITCHING RM/NO	201	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LIVING ROOM	202	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
HALLWAY	203	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
KITCHEN	204	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LODGE	205	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
ENTRY	206	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
STUDY	207	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BEDROOM	208	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BATH	209	LVT	5.25" SPEED BASE	FTD. M.E. G.W.B.	FTD. M.E. G.W.B.				
M. CLOSET	210	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LAV	210	LVT	5.25" SPEED BASE	FTD. M.E. G.W.B.	FTD. M.E. G.W.B.				
M. BATHROOM	301	LVT	5.25" SPEED BASE	FTD. M.E. G.W.B.	FTD. M.E. G.W.B.				
CLOSET	302	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LAUNDRY	303	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
CLOSET	304	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BETH	305	LVT	5.25" SPEED BASE	FTD. M.E. G.W.B.	FTD. M.E. G.W.B.				
HALLWAY	306	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
CLOSET	307	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BEDROOM	308	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BEDROOM	309	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
CLOSET	310	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LODGE	311	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
M. CLOSET	312	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
MASTER BEDROOM	513	LVT	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				

- FINISH SCHEDULE NOTES:**
1. ALL INTERIOR NON LOAD BEARING WALL SHALL BE 2x4 FD. STUDS @ 16" O.C.
  2. ALL OWS IN RATED ASSEMBLIES SHALL BE 2x8" MIN. (GARAGE) HOUSE SEPARATION WALL.
  3. ALL OWS IN UNRATED ASSEMBLIES SHALL BE 1 1/2" MIN. O.
  4. ALL OWS IN BATH ROOMS SHALL BE INSULATED THERMAK.
  5. ALL OWS SHALL BE MAINTAINED & SANDED & PREPARED TO RECEIVE PRIMER & PAINT, EXCH K' NOT IN OCCUPIED SPACE.
  6. ALL RATED WALLS SHALL EXTEND TO UNDER SIDE OF DECK ABOVE.
  7. ALL INTERIOR WALL PAINT TO BE (1) COAT OF PRIMER + (2) COATS OF FINISH PAINT.

Door Schedule												
Mark	Type Mark	Operation	Rough Width	Rough Height	Thickness	Fire Rating	Door Material	Door Finish	Frame Type	Frame Finish	Lock Set	Comments
101	D		3'-0"	6'-0"	1-3/8"							
102	271		3'-0"	6'-0"	1-3/8"							
103	B		2'-0"	6'-0"	1-3/8"							
104	G		2'-0"	6'-0"	1-3/8"							
201	B		2'-0"	6'-0"	1-3/8"							
204	G		2'-0"	6'-0"	1-3/8"							
205	E		2'-0"	6'-0"	1-3/8"							
207	G		2'-0"	6'-0"	1-3/8"							
208	G		2'-0"	6'-0"	1-3/8"							
209	G		2'-0"	6'-0"	1-3/8"							
210	G		2'-0"	6'-0"	1-3/8"							
301	G		2'-0"	6'-0"	1-3/8"							
302	J		4'-0"	6'-0"	1-3/4"							
303	G		2'-0"	6'-0"	1-3/8"							
304	F		2'-0"	6'-0"	1-3/8"							
305	J		2'-0"	6'-0"	1-3/8"							
307	J		2'-0"	6'-0"	1-3/4"							
308	E		2'-0"	6'-0"	1-3/8"							
309	G		2'-0"	6'-0"	1-3/8"							
310	F		2'-0"	6'-0"	1-3/8"							
311	E		2'-0"	6'-0"	1-3/8"							
312	G		2'-0"	6'-0"	1-3/8"							
513	G		2'-0"	6'-0"	1-3/8"							
510	C		8'-0"	6'-0"	1-3/8"							Complies with SM Standard 12-7A.1
511	C		8'-0"	6'-0"	1-3/8"							Complies with SM Standard 12-7A.1
512	C		8'-0"	6'-0"	1-3/8"							
513	C		8'-0"	6'-0"	1-3/8"							
510	C		8'-0"	6'-0"	1-3/8"							
511	C		8'-0"	6'-0"	1-3/8"							
512	C		8'-0"	6'-0"	1-3/8"							
513	C		8'-0"	6'-0"	1-3/8"							



DOOR ELEVATIONS  
1/4" = 1'-0"

FOR CONSTRUCTION  
7/26/21  
11:43:11

*Existing homes in the neighborhood 1-3*





2-3



3-3



# CITY OF PORTSMOUTH

## LEGAL DEPARTMENT

### MEMORANDUM

DATE: September 17, 2024

TO: PETER STITH, PLANNING MANAGER

FROM: TREVOR P. MCCOURT, DEPUTY CITY ATTORNEY

RE: AGENDA ITEM – ACCEPTANCE OF SIDEWALK EASEMENTS  
PROPERTIES LOCATED AT 177 AND 165 BARTLETT STREET  
REFERRAL TO CITY COUNCIL

---

As a part of the City's Bartlett Street realignment project, City staff propose widening a portion of Bartlett Street and the adjacent sidewalk to bring both the sidewalk and the roadway in conformance with City standards. In order to accomplish this widening, two property owners at 177 Bartlett Street and 165 Bartlett Street have agreed to grant the City sidewalk easements and temporary construction easements. 177 Bartlett Street (Tax Map 158, Lot 9) is owned by the Bratter Family Revocable Trust of 2018, and 165 Bartlett Street Tax Map 158, Lot 10) is owned by Simon Spanier.

In exchange for these permanent and temporary impacts, the City has agreed to relocate a retaining wall which spans both parcels out of the City right of way, and to conduct certain other restoration work commensurate with the impacts on each property.

Attached is the easement plan prepared on behalf of the City by TF Moran.

The Public Works Department recommends accepting these easements. The Legal Department has reviewed and recommend the form of the attached easements.

**Proposed Motion:** Recommend the City Council accept sidewalk and temporary construction easements from property owners at 177 and 165 Bartlett Street.

Attachment (1)

**LEGEND:**

MAP 137 LOT 11	ASSESSORS MAP / LOT NUMBER
A.G.	ABOVE GRADE
B.G.	BELOW GRADE
BK. PG.	BOOK/PAGE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FP	FAIRPOINT
GM	GAS METER
IPF	IRON PIPE FOUND
IRF	IRON ROD FOUND
N/F	NOW OR FORMERLY
PSNH	PUBLIC SERVICE OF NEW HAMPSHIRE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
S.F.	SQUARE FEET
VGC	VERTICAL GRANITE CURB
○	IRON PIPE/ROD FOUND
△	BOLLARD
▲	SPIKE/NAIL FOUND
—	GUY WIRE
—	UTILITY POLE
—	CATCH BASIN
—	CONIFEROUS TREE
—	CLEAN OUT
—	SEWER MANHOLE
—	GAS SHUT OFF
—	WATER SHUT OFF
—	WATER GATE VALVE
—	SIGN
—	OVERHEAD UTILITIES
—	STOCKADE FENCE
—	APPROXIMATE ABUTTER LINE
—	BOUNDARY LINE
—	CONCRETE
—	PERMANENT SIDEWALK EASEMENT
—	TEMPORARY CONSTRUCTION ACCESS EASEMENT
—	PAVER WALK
—	LANDSCAPED AREA
—	RETAINING WALL

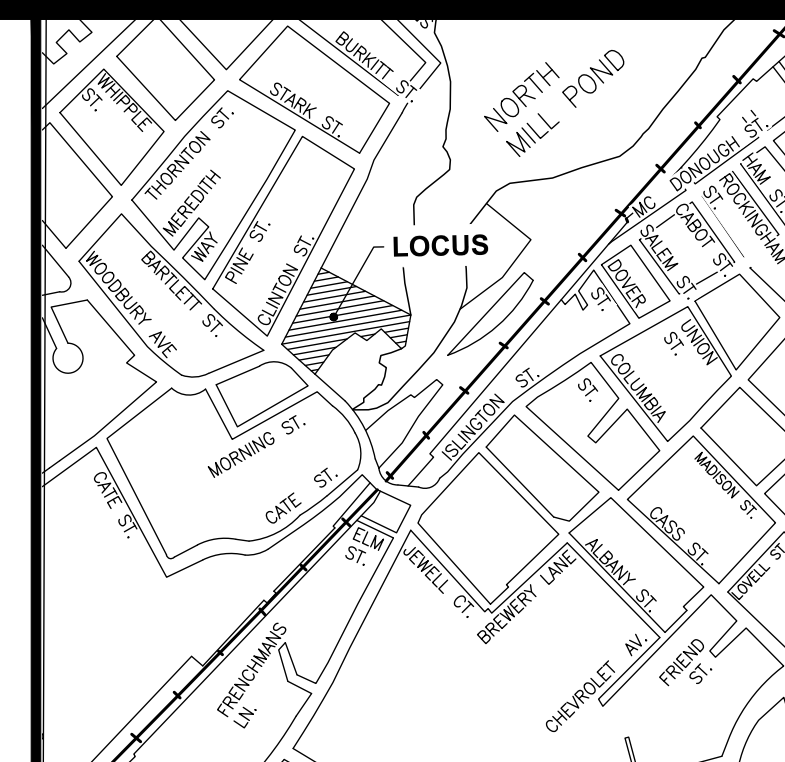
**CLINTON STREET**  
(PUBLIC-RIGHT-OF-WAY)

**MAP 158 LOT 9**  
19,072 S.F.  
(0.4378 ACRES)

**MAP 158 LOT 10**  
8,404 S.F.  
(0.1929 ACRES)

**MAP 158 LOT 11**  
N/F  
MARY A. DEATLEY  
315 BARTLETT STREET  
PORTSMOUTH, NH 03801

**MAP 158 LOT 7**  
N/F  
THE BRATTER FAMILY REVOCABLE TRUST OF 2018  
177 BARTLETT STREET  
PORTSMOUTH, NH 03801  
RCRD BK.#6000 PG.#1148



**LOCATION PLAN**

**NOTES:**

- THE PARCELS ARE LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
- THE PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 158 AS LOTS 9 & 10.
- OWNER OF RECORD:  
MAP 158 LOT 9: THE BRATTER FAMILY REVOCABLE TRUST OF 2018  
177 BARTLETT STREET  
PORTSMOUTH, NH 03801  
RCRD BK#6000 PG#1152  
MAP 158 LOT 10: SIMON G. SPANIER  
20 MAIN STREET  
EXETER, NH 03833  
RCRD BK#5615 PG#2628
- PARCEL AREA:  
MAP 158 LOT 9: 19,072 S.F. (0.4378 ACRES)  
MAP 158 LOT 10: 8,404 S.F. (0.1929 ACRES)
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- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.

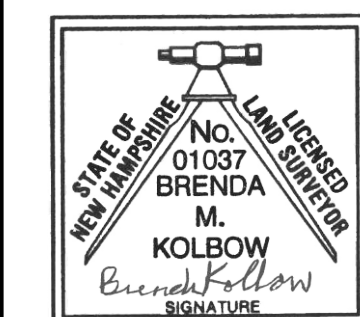
**PLAN REFERENCES:**

- "PROPOSED SITE PLAN FOR MYLES S. BRATTER, 2 CLINTON STREET & 177 BARTLETT STREET, COUNTY OF ROCKINGHAM, PORTSMOUTH, NH," BY MILLETTE, SPRAGUE & COLWELL, INC., DATED DECEMBER 15, 2000 WITH REV. 3 DATED 02/21/01. PLAN NOT RECORDED.
- LOT LINE RELOCATION PLAN FOR MYLES S. & ELIZABETH A. BRATTER AND RACHEL L. BRATTER, MAP 158 / LOTS 7 & 10, 165 BARTLETT STREET & 48 CLINTON STREET, COUNTY OF ROCKINGHAM, PORTSMOUTH, NH" BY MILLETTE, SPRAGUE & COLWELL, INC., DATED JANUARY 18, 2005 WITH REV. 1 DATED 03/14/05. RCRD PLAN #0-32486.

PURSUANT TO NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES LAN 503.09(24): I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN JUNE & JULY 2023 AND JUNE 2024. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

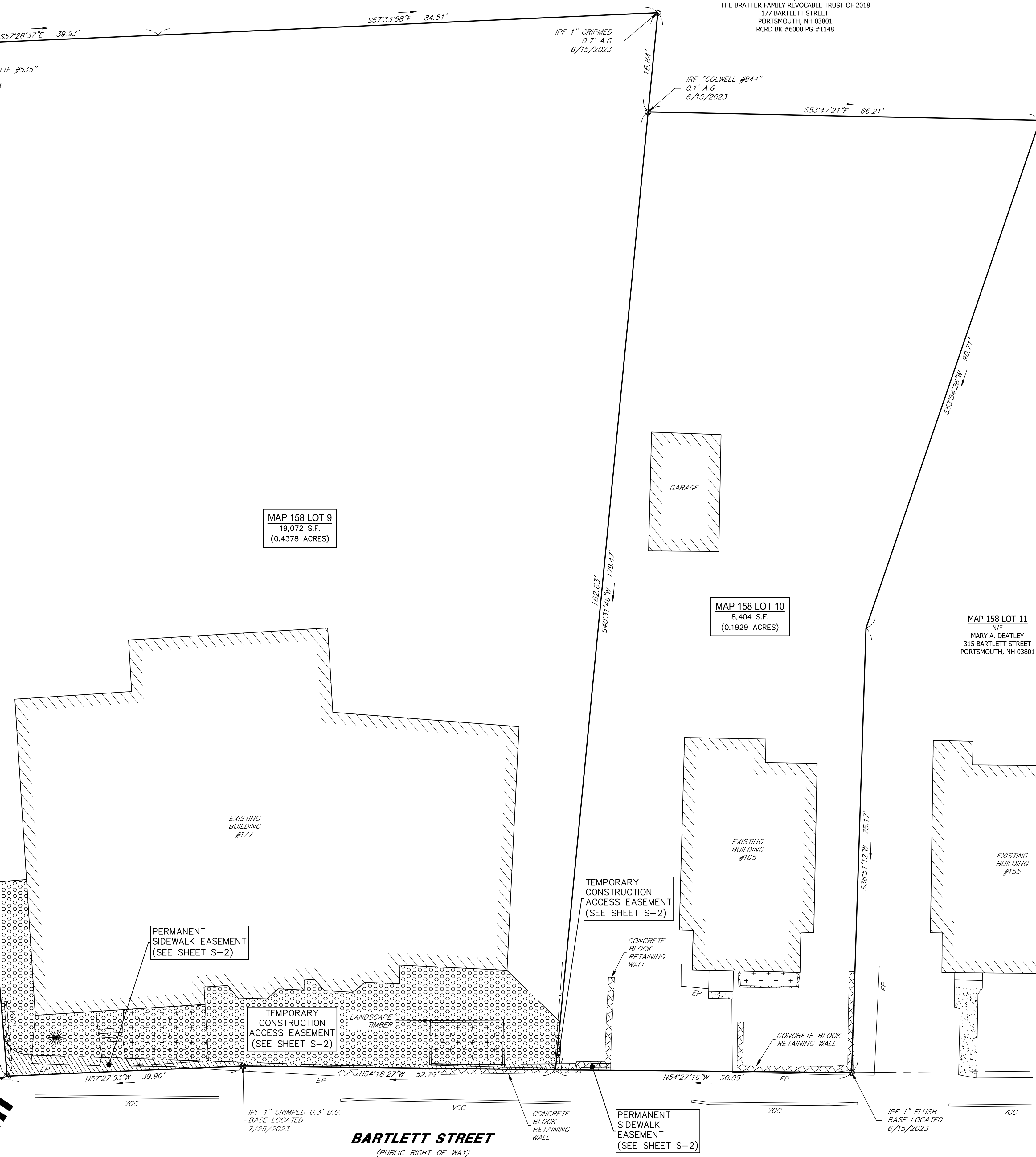
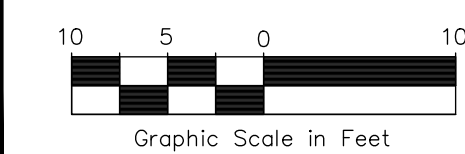
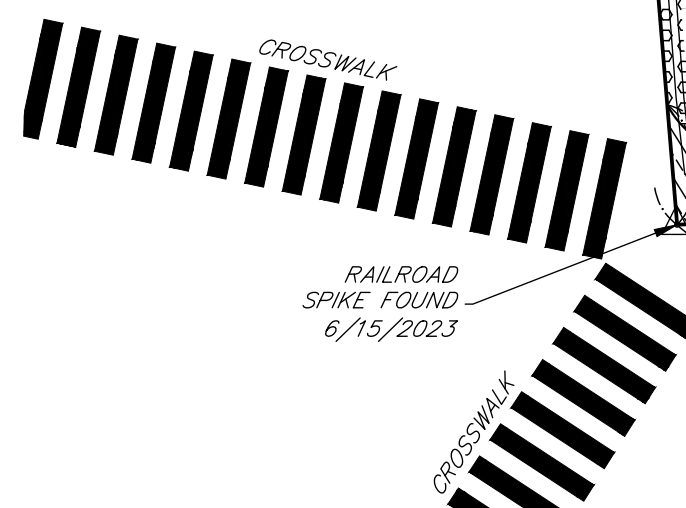
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A COPY OF THIS PLAT HAS BEEN FILED WITH THE LOCAL PLANNING BOARD.



2024-07-29  
DATE

LICENSED LAND SURVEYOR



REV.	DATE	DESCRIPTION	DR	CK

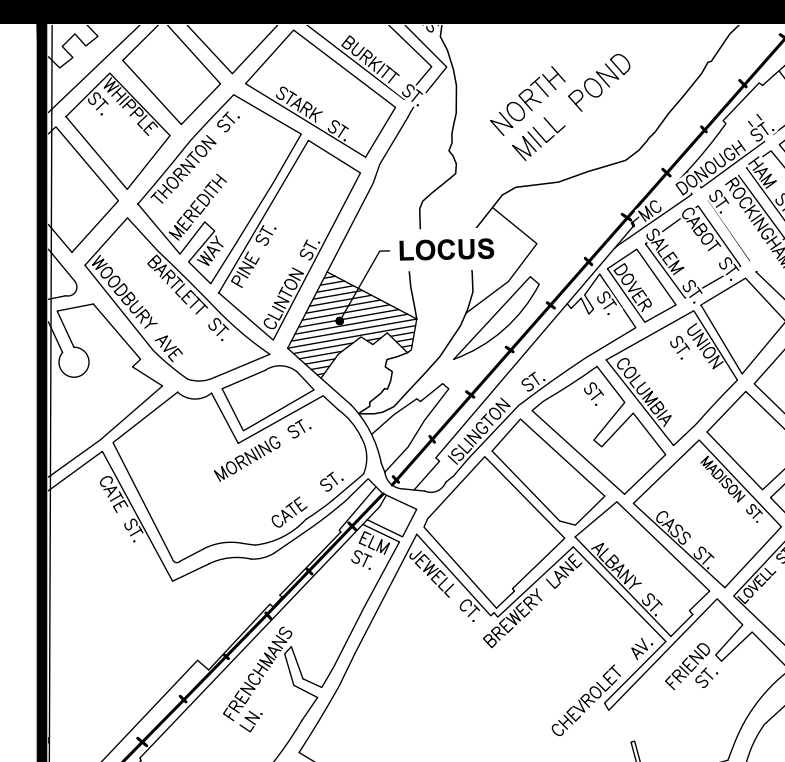
**TAX MAP 158 LOTS 9 & 10**  
**SIDEWALK EASEMENT PLAN**  
**OVERALL BOUNDARY**  
**177 & 165 BARTLETT STREET**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
OWNED BY  
**THE BRATTER FAMILY REVOCABLE TRUST OF 2018**  
**& SIMON G. SPANIER**  
SCALE: 1" = 10' (22x34)  
1" = 20' (11x17) **JULY 24, 2024**

Seacoast Division  
**TFM**  
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists  
170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

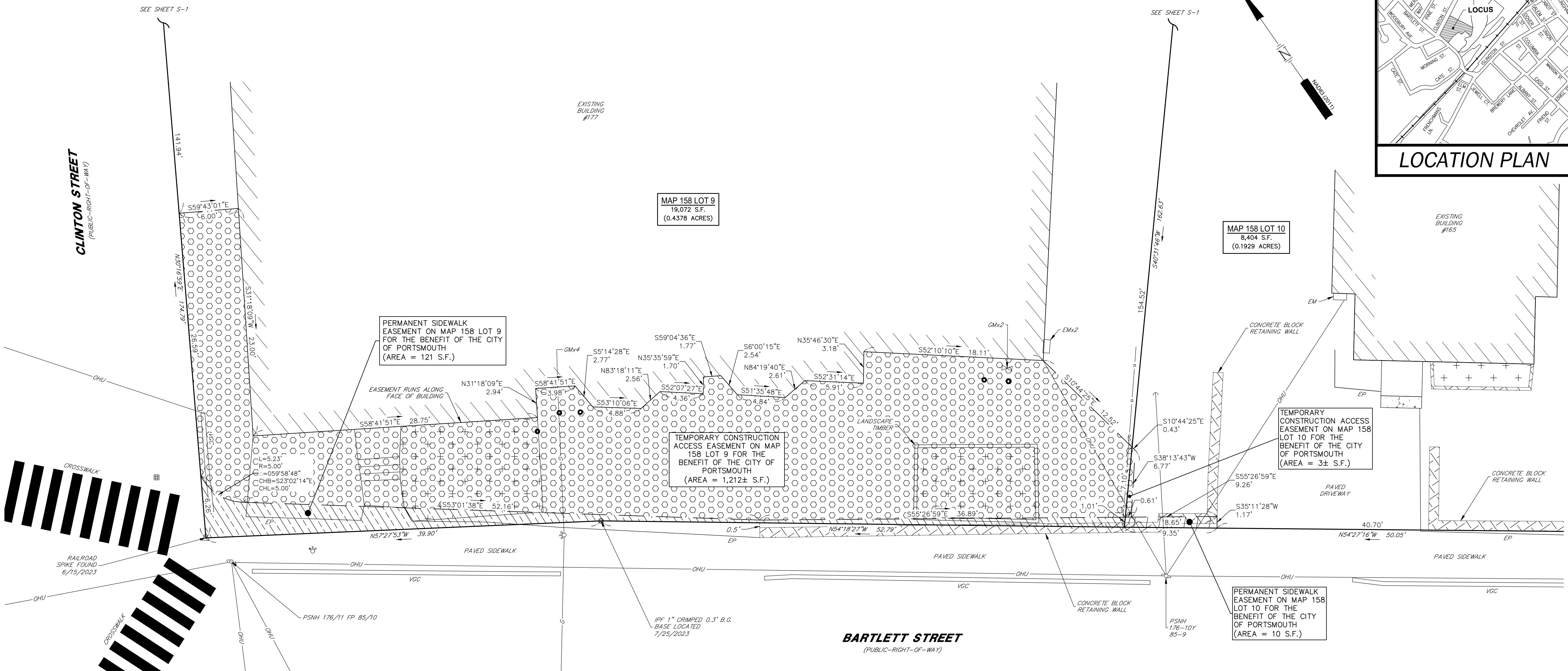
47193-12	DR RJB	FB	597 & 606	S-1
	CK BMK	CADFILE		

Jul 29, 2024 - 8:28am F:\MSC Projects\47193 - Bartlett St - Portsmouth\Carlson Survey\Drawings\47193-11 Sidewalk Easement.dwg

Jul 29, 2024 - 8:28am F:\MSC\Projects\47193-11 City of Portsmouth DPW - Bartlett St - Portsmouth\Carlson Survey\Drawings\17193-11 Sidewalk Easement.dwg



LOCATION PLAN

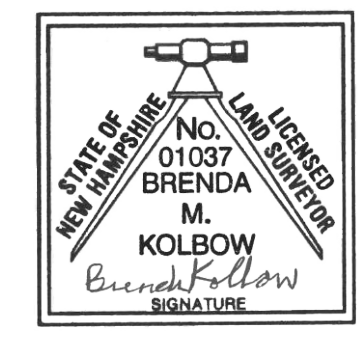


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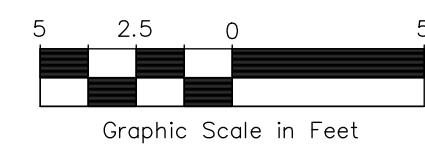
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2024-07-29  
DATE



REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 158 LOTS 9 & 10  
**SIDWALK EASEMENT PLAN  
 DETAIL**  
 177 & 165 BARTLETT STREET  
 PORTSMOUTH, NEW HAMPSHIRE  
 COUNTY OF ROCKINGHAM  
 OWNED BY  
**THE BRATTER FAMILY REVOCABLE TRUST OF 2018  
 & SIMON G. SPANIER**

SCALE: 1" = 5' (22x34)  
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JULY 24, 2024

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47193-12  
 DR RJB FB  
 CK BMK CADFILE

S-2

# WELCOME

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FINAL PRESENTATIONS

MAY 23, 2024



# OVERVIEW

---

- Project Objective & Introductions
- Company (Ben & Mason)
- Location (John)
- Exterior (John)
- Floor Plans (Kara & Jayden)
- Interior Design (Kara & Jayden)
- Building Elevations & Model (Seth)
- Schedule (Nick)
- Budget (Nick)



# PROJECT OBJECTIVE:

- To design a sustainable community-focused facility for the Portsmouth residents to freely use and enjoy

# OUR DESIGN: A RECREATIONAL FACILITY

- Features a gym, a café, rock-climbing walls, locker rooms, and bathrooms
- Built using shipping container (modular) construction

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## PROS:

- Fosters unity and improves quality of life in Portsmouth
- Keeps youth active and promotes exercise in a safe and supervised environment
- Creates opportunities for planned events and programs
- A place for Portsmouth residents to socialize, exercise, and relax

SPORTSCAPE  
ARCHITECTS





# SPORTSCAPE ARCHITECTS

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- The name Sportscape Architects represents our company's passion for designing recreational facilities to encourage and promote athletics in urban communities



# LOCATION

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- Community Campus
- Adjacent to the Community Campus Fields
- Accessible by foot paths
- The location fits the community-centered goal of the project



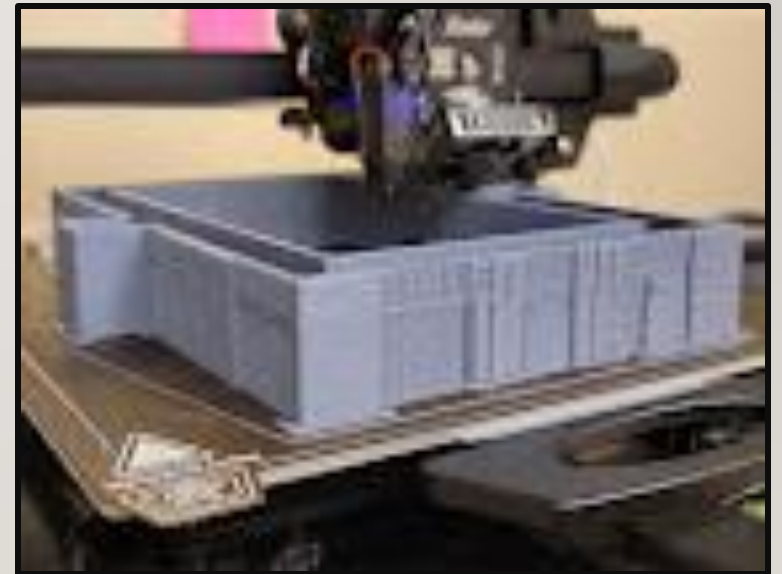
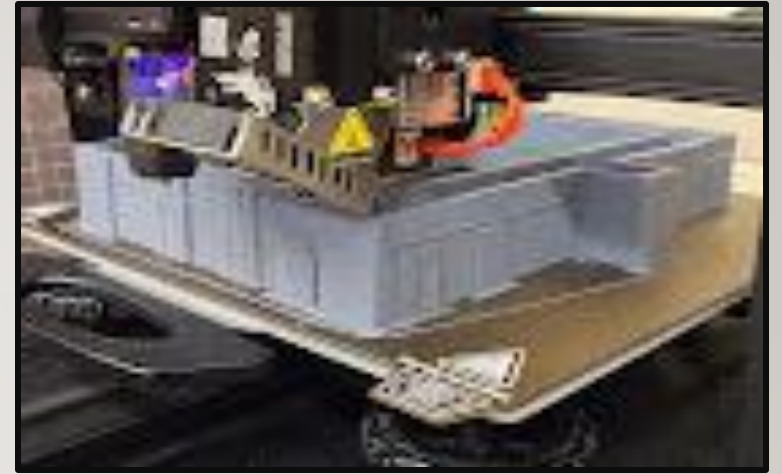
# EXTERIOR

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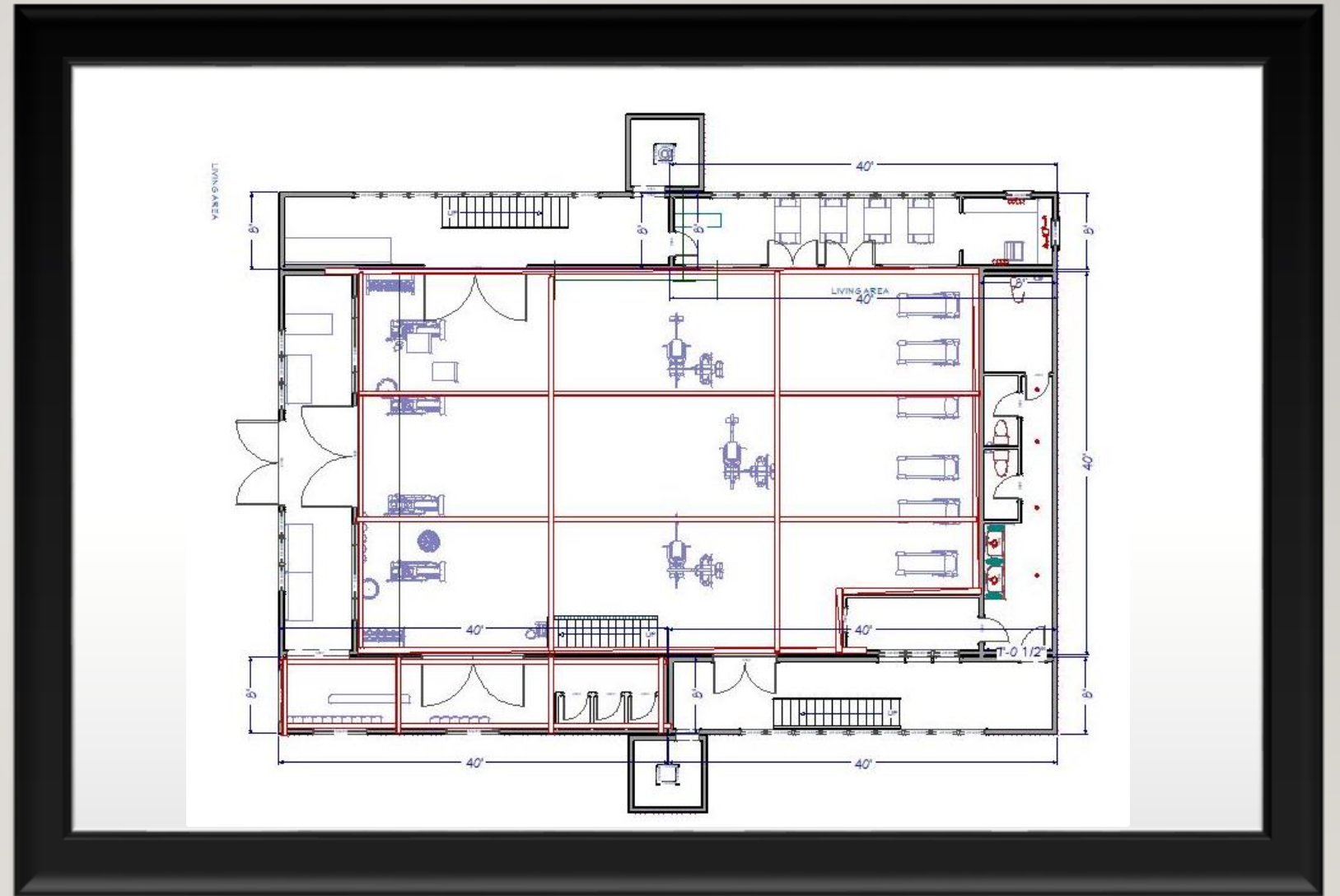
# 3D PRINTING

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# INTERIOR FLOOR PLANS

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# FLOOR PLANS

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## Area 1: Rock Climbing

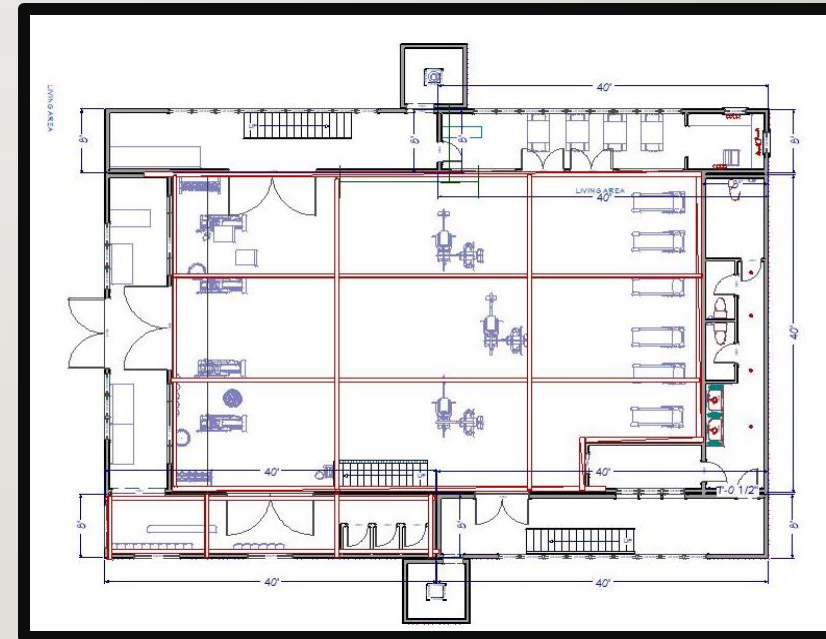
- Raised for architectural variation within the structure
- Harnesses nearby for maximum safety
- Two shafts to create balance and architectural contrast

## Area 2: Gym and Wrap-Around Amenities

- Gym to optimize health and well-being
- Café to create a comfortable/calm environment
- Lockers for storage and security

## Architectural details:

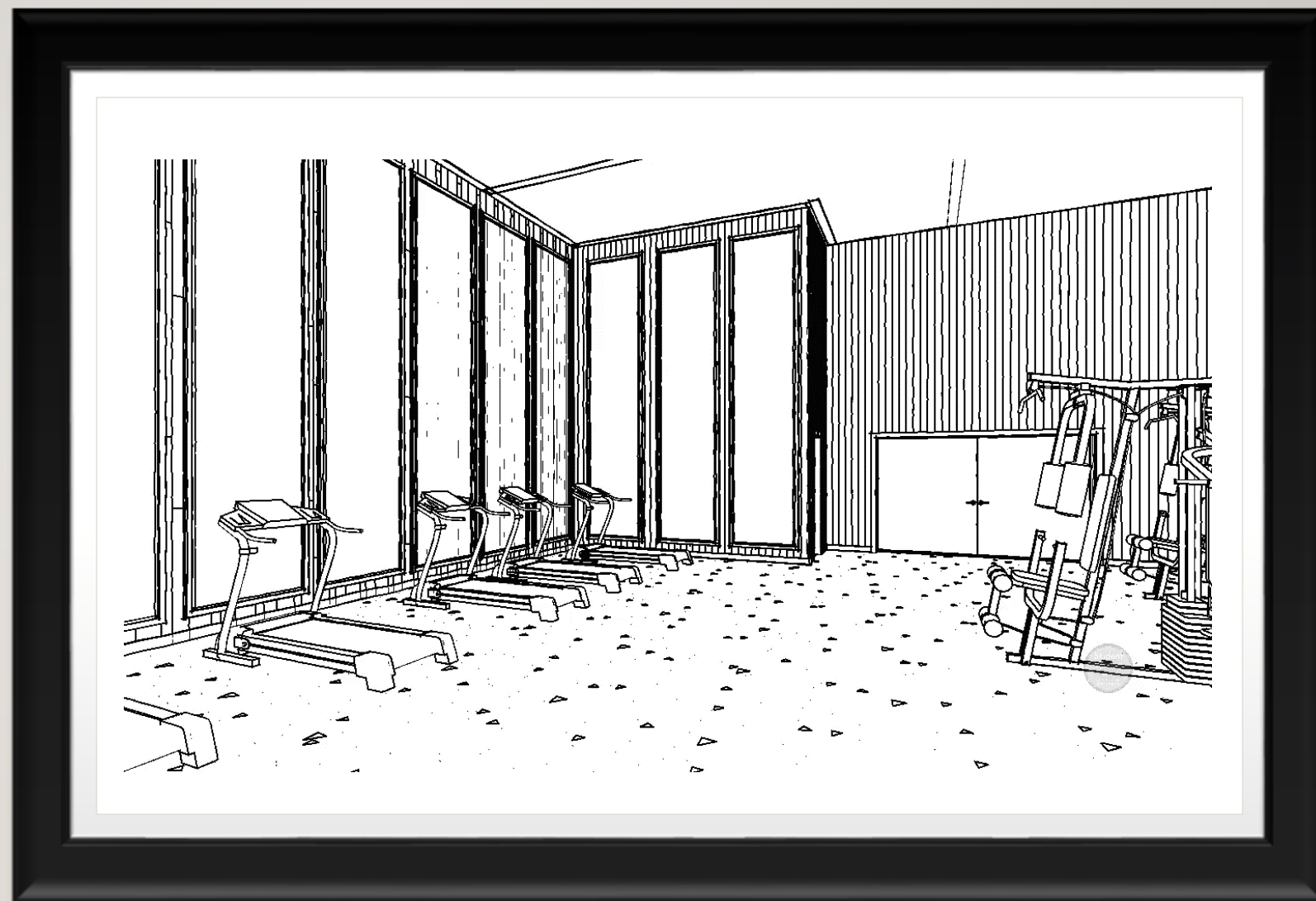
- Insulated, glass windows to optimize daylighting and passive solar design
- Hallways and doors are ADA conformant to create accessibility for all



## INTERIOR DESIGN

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### *Line Drawing Walkthrough*



## INTERIOR DESIGN

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RAY-TRACE RENDERED  
WALKTHROUGH





# INTERIOR DESIGN

## Area 1: Café

- Additional lites/grills on windows to protect glass from gym use.
- Floor to ceiling windows to make a seamless interior-external transition
- Book Nook with captain's ladder to create a cozy vignette

## Area 2: Gym

- Recessed tube lights to create clean feel
- Floor-to-ceiling mirrors to maximize space
- Wooden back wall to create warmth in a neutral space

## Area 3: Bathroom

- Plants and pendant lights to bring in feelings of a bright outdoors
- Butcher Block countertops



# SCHEDULE

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Total Build Time: 6-10 months

Action	Time
Permits	3 months
Break	4 weeks
Surveying	8 weeks
Site Utilities	10 weeks
Pour Slab	2 weeks
Structural Framework	10 weeks
Utilities	4-6 weeks

# BUDGET





QUESTIONS?

**THANK YOU!**

---



JOHN E. LYONS, JR.  
ATTORNEY AT LAW  
E-MAIL: JLYONS@LYONSLAW.NET  
ONE NEW HAMPSHIRE AVENUE  
SUITE 235  
PORTSMOUTH, NH 03801  
TELEPHONE: 603.431.5144  
FAX: 603.431.5181  
WEBSITE: WWW.LYONSLAW.NET

ANTJE S. BOURDAGES  
PARALEGAL  
E-MAIL: ABOURDAGES@LYONSLAW.NET

October 3, 2024

**SUBMITTED ONLINE VIA CITY OF PORTSMOUTH – OPENGOV PORTAL**

Rick Chellman  
Chairman, Planning Board  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: 2 Russell Street (LU-22-111) – Request for Extension**

Dear Chair Chellman,

I represent Port Harbor Land, LLC as to the development of property located at 2 Russell Street. As to this development, Port Harbor Land, LLC has obtained all necessary City of Portsmouth Planning Board and Historic District Commission Approvals to construct three new buildings, containing eighty residential dwelling units, commercial space, parking, associated community space, landscaping, and other improvements.

On September 28, 2023, the Planning Board was kind enough to grant my Client a six-month extension as to your Subdivision Approval, which expired on June 15, 2024. You also provided my Client with a one-year extension of your Site Plan Approval and two Conditional Use Permit Approvals, set to expire on December 15, 2024.

I want to confirm that my Client timely met all the requirements of the Subdivision Approval prior to the June 15, 2024 deadline. These requirements included but were not limited to: finalizing and recording the Subdivision Plan; completion of the Certificate of Monumentation; addressing necessary sewer easement matters; and providing the City with three Quitclaim Deeds to allow for the realignment of the Deer and Russell Streets intersection, and for the City’s future construction of a roundabout at Russell and Market Streets.

Because of the complexity of this Project, we are now requesting, pursuant to Site Plan Review Regulation Section 2.14, an additional one-year extension of the Planning Board’s Site Plan Approval through December 15, 2025. While my Client has worked diligently to move the Project forward in advance of the upcoming expiration, this Project is unique in its complexity and has warranted additional time in planning & design. The realignment of Russell and Deer Streets, the proximity to the railroad, the relocation of utility easements, and the extent of ledge removal, all contribute to the time and effort in planning. The abnormal shape of the site also added time to my Client’s design efforts. Specifically, the shape of the buildings made parking layouts challenging, as the details of our building design became more evolved

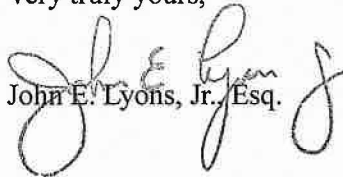
than it typically is at Site Plan Approval. We are currently in the process of requesting Approval of a Parking Variance with the Zoning Board of Adjustment related to the first and second floors of the parking garage contained within Building 2 for dimensional relief that is a result of column placements and necessary mechanical space. The result is actually an improvement to the parking as six (6) spaces have been added while reducing the number of less-desirable tandem spaces, but the Variance request was necessary due to the dimensions of a few spaces being slightly smaller than the standard. We are also working through the complex CMMP, and the issues related thereto involving multiple parties and a tight site in an urban environment. I would also add that we continue to work cooperatively to move all other outstanding issues forward with the City staff and appreciate their professionalism.

On a side note, we will also be filing new Conditional Use Permit (“CUP”) Applications as to the previously granted CUP for Shared Parking (*See* Section 10.1112.62 of the Zoning Ordinance); and the previously granted CUP for the Maximum Building Footprint (*See* Section 10.5A43.43 of the Zoning Ordinance). Those CUP Applications will be filed on or before October 30, 2024, so that we may be heard in this regard at the November 21, 2024, Planning Board Meeting.

In support of this request, we have submitted the previously approved Plans with City administrative approvals through the portal and will be requesting an October 8, 2024, TAC Work Session. We have updated these plans to reflect the revised parking layout from the aforementioned Variance request. We will also deliver a hard copy of this Letter, the previously approved Plans, and the new Parking Layout, to the Planning Department.

We would respectfully request this matter be scheduled for Hearing before the Planning Board at its next Meeting scheduled for October 17, 2024. Thank you for your continued assistance in this matter.

Very truly yours,

  
John E. Lyons, Jr., Esq.

JEL/dhb

cc: Peter Britz – [plbritz@cityofportsmouth.com](mailto:plbritz@cityofportsmouth.com)  
Peter Stith – [pmstith@cityofportsmouth.com](mailto:pmstith@cityofportsmouth.com)  
Trevor McCourt – [tmccourt@cityofportsmouth.com](mailto:tmccourt@cityofportsmouth.com)  
Vincent Hayes – [vjhayes@cityofportsmouth.com](mailto:vjhayes@cityofportsmouth.com)  
Ryan D. Plummer – [ryan@twointernationalgroup.com](mailto:ryan@twointernationalgroup.com)

# NORTH END MIXED USE DEVELOPMENT

## RUSSELL STREET & DEER STREET PORTSMOUTH, NEW HAMPSHIRE

MAY 24, 2022

LAST REVISED SEPTEMBER 24, 2024

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	9/24/2024
S-1	LOT LINE RELOCATION PLAN	11/23/2022
S-2	SURVEY NOTES	11/23/2022
S-3	ACCESS EASEMENT PLAN	11/23/2022
S-4	ACCESS EASEMENT PLAN	11/23/2022
S-5	UTILITIES EASEMENT PLAN	11/23/2022
S-6	COMMUNITY SPACE EASEMENT PLAN	11/23/2022
G-100	GENERAL NOTES AND LEGEND	5/22/2023
C-101	EXISTING CONDITIONS & DEMOLITION PLAN	5/22/2023
C-102	OVERALL SITE PLAN	9/24/2024
C-102.1	SITE PLAN	9/24/2024
C-103	GRADING & DRAINAGE PLAN	9/24/2024
C-104	UTILITIES PLAN	9/24/2024
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	5/22/2023
C-502	DETAILS SHEET	12/5/2022
C-503	DETAILS SHEET	12/5/2022
C-504	DETAILS SHEET	12/5/2022
C-505	DETAILS SHEET	12/5/2022
C-506	DETAILS SHEET	5/22/2023
C-507	DETAILS SHEET	5/22/2023
C-508	DETAILS SHEET	12/5/2022
C-509	DETAILS SHEET	12/5/2022
C-510	DETAILS SHEET	5/22/2023
L-100	LANDSCAPE MATERIAL PLAN, LEGEND AND NOTES	11/23/2022
L-101	LANDSCAPE SITE PLAN	11/23/2022
L-102	LANDSCAPE DETAILS	11/23/2022
L-103	LANDSCAPE DETAILS	11/23/2022
E-001	LIGHTING COVER SHEET	11/23/2022
E-100	EXTERIOR LIGHTING PLAN AND CALCULATIONS	11/23/2022
E-101	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-102	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-103	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-104	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
A-101	BUILDING 1 AREA PLANS	5/24/2022
A-102	BUILDING 2 AREA PLANS	5/24/2022
A-103	BUILDING 3 AREA PLANS	5/24/2022
A-201	BUILDING 1 ELEVATION	5/24/2022
A-202	BUILDING 1 ELEVATION	5/24/2022
A-203	BUILDING 2 ELEVATION	5/24/2022
A-204	BUILDING 2 ELEVATION	5/24/2022
A-205	BUILDING 2 ELEVATION	5/24/2022
A-206	BUILDING 3 ELEVATION	5/24/2022
A-207	BUILDING 3 ELEVATION	5/24/2022
A-208	GLAZING STUDY	5/24/2022



LOCATION MAP  
SCALE: 1" = 2,000'

WILDLIFE PROTECTION NOTES:	
1.	ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT <a href="mailto:NHGREVIEW@WILDLIFE.NH.GOV">NHGREVIEW@WILDLIFE.NH.GOV</a> . EMAIL SUBJECT LINE: NHB22-2135, NORTH END MIXED USE DEVELOPMENT, WILDLIFE SPECIES OBSERVATION.
2.	PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
3.	IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG. IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
4.	THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT	APPROVED	12/23/2022
LOT LINE REVISION PERMIT	APPROVED	12/23/2022
CONDITIONAL USE PERMIT	APPROVED	12/23/2022
STATE		
NHDES - SEWER CONNECTION PERMIT	NOT SUBMITTED	
NHDES - ALTERATION OF TERRAIN PERMIT	APPROVED	5/25/2023

PREPARED BY:  
**Tighe & Bond**  
177 CORPORATE DRIVE  
PORTSMOUTH, NEW HAMPSHIRE 03801  
603-433-8818

ARCHITECT:  
SGA ARCHITECTURE  
200 HIGH STREET, FLOOR 2  
BOSTON MA, 02110  
857-300-2610

OWNER/APPLICANT:  
TAX MAP 118, LOT 28  
TAX MAP 119, LOT 1-1A  
TAX MAP 119, LOT 1-1C  
TAX MAP 119, LOT 4  
TAX MAP 124, LOT 12 &  
TAX MAP 125, LOT 21

PORT HARBOR LAND, LLC  
1000 MARKET STREET, BUILDING ONE  
PORTSMOUTH, NEW HAMPSHIRE 03801

**EXTENSION REQUEST SUBMISSION**

**COMPLETE SET 44 SHEETS**

T & B PROJECT NO: T-5037-002



**NOTES:**

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 1 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 205 OF 61, MAP NUMBER 330300205P WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- OWNER OF RECORD:  
MAP 125 LOT 21, MAP 144 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28  
PORT HARBOR LAND LLC  
1000 MARKET ST. BUILDING 1  
PORTSMOUTH, NH 03801  
RCRD BK#0804 PG#14

**EXISTING AREA TABLE**

MAP	LOT	S.F.	ACRES
118	28	48,417	1.115
119	1-1C	86,031	1.975
119	1-1A	2,640	0.060
119	4	9,787	0.223
124	12	19,055	0.4374
125	21	22,559	0.5179

**PROPOSED AREA TABLE**

MAP	LOT	S.F.	ACRES
118	28	50,875	1.1679
119	1-1C	84,604	1.9420
119	1-1C	1,427	0.033
119	1-1A	2,640	0.060
119	4	7,090	0.1600
119	4	2,673	0.0600
124	12	20,918	0.4852
125	21	18,237	0.4187

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:  
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN AUGUST 2019. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS.  
I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

**DRAFT**

LICENSED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

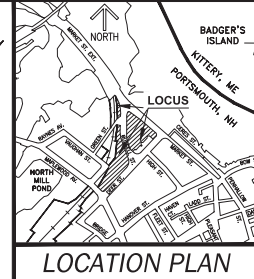
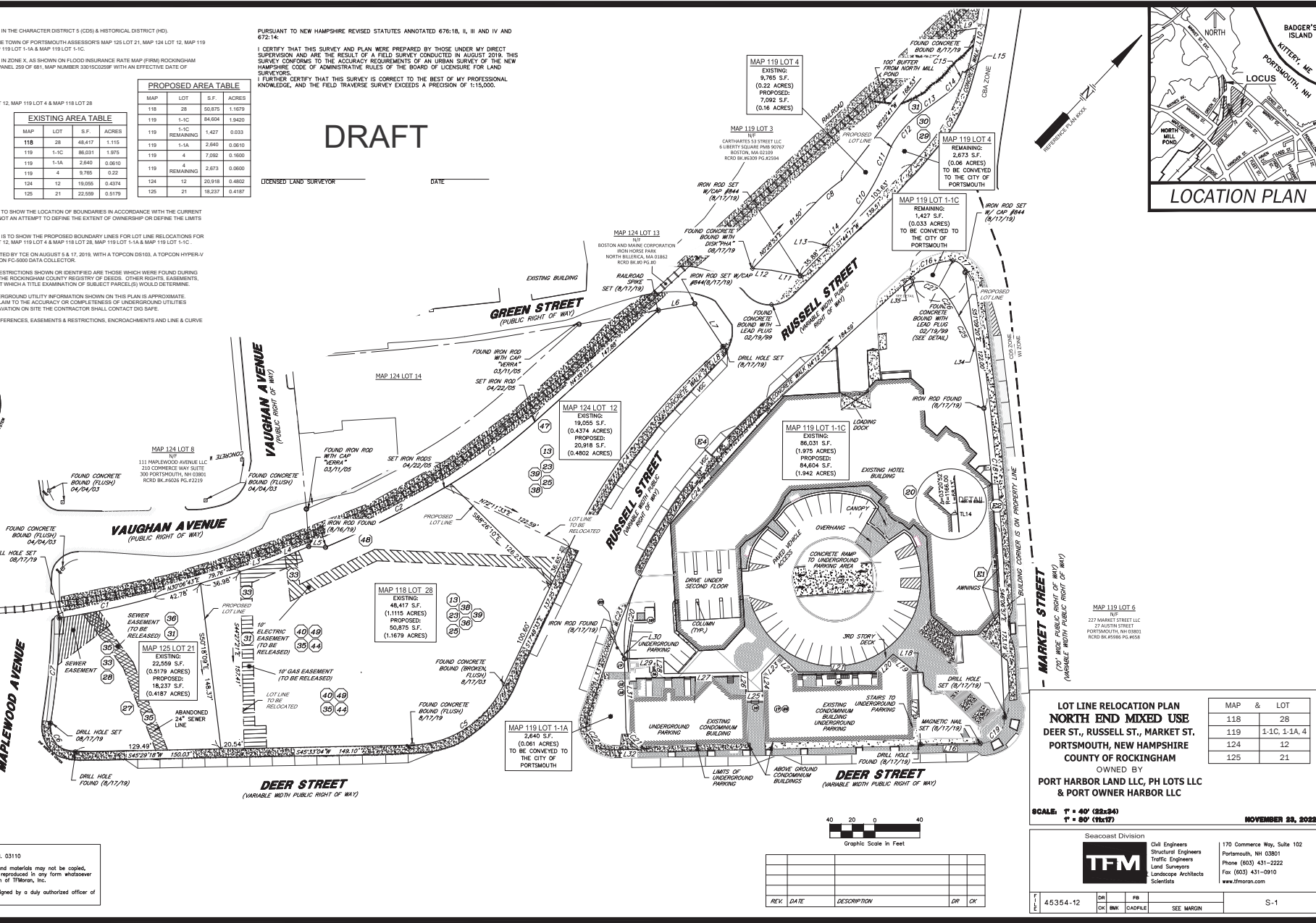


MAP 124 LOT 1  
CITY OF PORTSMOUTH  
PORTSMOUTH, NH 03801  
RCRD BK # PG #

MAP 164 LOT 4  
BOSTON AND MAINE CORPORATION  
NORTH BELLERICA, MA 01862  
RCRD BK#0 PG#0

MAP 125 LOT 12-3  
EIGHTH/PH LLC  
233 VAUGHN ST. UNIT 301  
PORTSMOUTH, NH 03801  
RCRD BK#0 PG#0, #2213

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**LOT LINE RELOCATION PLAN  
NORTH END MIXED USE  
DEER ST., RUSSELL ST., MARKET ST.  
PORTSMOUTH, NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM**

OWNED BY  
**PORT HARBOR LAND LLC, PH LOTS LLC  
& PORT OWNER HARBOR LLC**

MAP	LOT
118	28
119	1-1C, 1-1A, 4
124	12
125	21

SCALE: T = 40' (22x34)  
T = 60' (15x17)

NOVEMBER 28, 2022

Seacoast Division

City Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

REV.	DATE	DESCRIPTION	DR.	CK.

NO.	DATE	DR.	CK.	FB	SEE MARGIN	S-1
45354-12		BNK	BNK	CADPLE		

EASEMENTS & RESTRICTIONS:

PARCEL 1 (MAP 119-1-10/ PARCEL 10)

- ITEM #10 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY BOSTON & MAINE RAILROAD AND WESTERN UNION TELEGRAPH COMPANY...
ITEM #11 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY ROBERT W. MESERVE AND BENJAMIN H. LACY, AS TRUSTEES OF BOSTON & MAINE CORPORATION...
ITEM #12 - TERMS AND CONDITIONS OF THE EASEMENT FROM SHELTER GROUP, INC. TO HARBORSIDE ASSOCIATES DATED AUGUST 30, 1985...
ITEM #13 - TERMS AND CONDITIONS OF THE PARKING ACCESS EASEMENT FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES...
ITEM #14 - EASEMENTS GRANTED TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY...
ITEM #15 - EASEMENT IS FOR THE "PURPOSE OF PROVIDING TELEPHONE SERVICE TO THE BUILDINGS WHICH ARE NOW OR WILL BE LOCATED ON THE PARCELS OF THIS PROJECT...
ITEM #16 - TERMS AND CONDITIONS OF THE ACCESS EASEMENT (HARBORSIDE) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES...
ITEM #17 - TERMS AND CONDITIONS OF THE CONSTRUCTION, USE AND MAINTENANCE EASEMENT (HARBORSIDE) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES...
ITEM #18 - ACCESS EASEMENT (HARBORSIDE) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES DATED DECEMBER 4, 1987...
ITEM #19 - UTILITIES EASEMENT (HARBORSIDE) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES DATED DECEMBER 4, 1987...
ITEM #20 - TERMS AND CONDITIONS OF A DEED FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES DATED JUNE 6, 1988...
ITEM #21 - TERMS AND CONDITIONS OF EASEMENT AND BUILDING OPERATING AGREEMENT BY AND BETWEEN HARBORSIDE, INC. AND HARBORSIDE ASSOCIATES DATED JUNE 6, 1988...
ITEM #22 - PARKING EASEMENT (MARKET WHARF II) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES DATED MAY 12, 1988...
ITEM #23 - PARKING EASEMENT (MARKET WHARF II SECOND) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES DATED MAY 12, 1988...
ITEM #24 - CABLE TELEVISION INSTALLATION AND SERVICE AGREEMENT BY AND BETWEEN CENTRAL CABLEVISION OF NEW ENGLAND, INC. AND HARBORSIDE ASSOCIATES DATED DECEMBER 29, 1984...
ITEM #25 - PARKING EASEMENT RIGHTS RESERVED IN A DEED FROM HARBORSIDE ASSOCIATES TO SHELTER GROUP, INC. DATED MAY 6, 1988...
ITEM #26 - PARKING EASEMENT RIGHTS RESERVED IN A DEED FROM HARBORSIDE ASSOCIATES TO SHELTER GROUP, INC. DATED MAY 6, 1988...
ITEM #27 - SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, N.H. DATED JUNE 25, 1988...
ITEM #28 - SURVEY OF HARBORSIDE & HARBORPARK LANDS IN PORTSMOUTH, N.H. DATED AUGUST 13, 1985...
ITEM #29 - SUBDIVISION PLAN OF LOTS 1B & 1C & 1A IN PORTSMOUTH, N.H. DATED OCTOBER 1, 1987...
ITEM #30 - SUBDIVISION PLAN OF LOTS 1B & 1C & 1A IN PORTSMOUTH, N.H. DATED OCTOBER 1, 1987...
ITEM #31 - MARKET WHARF I A CONDOMINIUM SITE AND FLOOR PLANS DATED APRIL 11, 1988...

EASEMENTS & RESTRICTIONS CONTINUED:

- PARCELS 2, 2A, 2B & 2C (MAP 119 LOT 4/ PARCEL 2B, MAP 124 LOT 12/ PARCEL 2A, MAP 118 LOT 28/ PARCEL 2 & MAP 125 LOT 21/ PARCEL 2A)
ITEM #27 - RIGHTS AND EASEMENTS FROM THE BOSTON AND MAINE RAILROAD TO THE CITY OF PORTSMOUTH DATED JANUARY 31, 1936...
ITEM #28 - EASEMENT GRANTED TO THE CITY OF PORTSMOUTH, RECORDED IN SAID REGISTRY AT BOOK 2245 PAGE 328...
ITEM #29 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY BOSTON & MAINE RAILROAD AND WESTERN UNION TELEGRAPH COMPANY...
ITEM #30 - RIGHTS AND EASEMENTS RESERVED IN A DEED FROM THE BOSTON AND MAINE RAILROAD TO THE CITY OF PORTSMOUTH DATED OCTOBER 16, 1961...
ITEM #31 - RIGHTS AND EASEMENTS FROM PORTSMOUTH HOUSING AUTHORITY TO ALLIED GAS DIVISION OF NORTHERN UTILITIES, INC. AS SET FORTH IN AN INSTRUMENT DATED MARCH 8, 1974...
ITEM #32 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY ROBERT W. MESERVE AND BENJAMIN H. LACY, AS TRUSTEES OF BOSTON & MAINE CORPORATION...
ITEM #33 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, NH FOR THE CITY OF PORTSMOUTH" DATED AUGUST 13, 1985...
ITEM #34 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "SHELTER GROUP AND HARBORPARK EASEMENT PLAN PARCEL TWO" BY LANE, FRENCHMAN AND ASSOCIATES, DATED JUNE 16, 1988...
ITEM #35 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "SURVEY OF HARBORSIDE AND HARBORPARK LANDS IN PORTSMOUTH, N.H." DATED AUGUST 13, 1985...
ITEM #36 - SUBJECT TO AND WITH BENEFIT TO THE TERMS AND CONDITIONS OF A PARKING ACCESS EASEMENT BY AND BETWEEN HARBORPARK, INC. AND HARBORSIDE ASSOCIATES DATED AUGUST 30, 1985...
ITEM #37 - EASEMENTS GRANTED TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS FOLLOWS:
ITEM #38 - PARKING EASEMENT RIGHTS RESERVED IN A DEED FROM HARBORSIDE ASSOCIATES TO SHELTER GROUP, INC. DATED MAY 6, 1988...
ITEM #39 - PARKING EASEMENT (MARKET I SECOND) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES DATED JUNE 6, 1988...
ITEM #40 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP., LLC AND BOSTON AND MAINE CORPORATION" DATED MARCH 14, 2005...
ITEM #41 - TERMS AND CONDITIONS OF AN ASSUMPTION AGREEMENT BETWEEN NITREPO FINANCIAL GROUP, INC. HARBORCORP., LLC, LODGEYS, INC. AND HARBORSIDE, INC. DATED APRIL 12, 1999...
ITEM #42 - SUBORDINATION AND STANDSTILL AGREEMENT BY AND AMONG HARBORCORP., LLC, HARBORSIDE ASSOCIATES LP AND CW CAPITAL, LLC DATED NOVEMBER 30, 2005...
ITEM #43 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS, PROHIBITED USES AND RIGHTS OF PARTIES UNDERWRITING A DEED FROM THE UNITED LIABILITY COMPANY (LANDLORD) AND WHOLE FOODS MARKET GROUP, INC. A MEMBER CORPORATION DATED OCTOBER 30, 2013...
ITEM #44 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS, AND RIGHTS OF PARTIES UNDER THAT CERTAIN PARTIAL LOT LEASE DATED MAY 1, 2003 BETWEEN HARBORCORP., LLC AS LANDLORD AND HARBORSIDE ASSOCIATES, LP, AS TENANT...

ITEM #44 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP., LLC AND BOSTON AND MAINE CORPORATION" DATED APRIL 24, 2014...
ITEM #45 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS AND RIGHTS OF PARTIES UNDER THAT CERTAIN PARTIAL LOT LEASE DATED MAY 1, 2003 BETWEEN HARBORCORP., LLC AS LANDLORD AND HARBORSIDE ASSOCIATES, LP, AS TENANT...
ITEM #46 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "STATION MAP-LANDS BOSTON & MAINE R.R. OPERATED BY THE BOSTON AND MAINE R.R. STATION 2966+0/2967+20 DATED JUNE 20, 1914...
ITEM #47 - TERMS AND CONDITIONS, RIGHTS AND EASEMENT SET FORTH IN A DEED FROM THE BOSTON AND MAINE CORPORATION TO HARBORCORP., LLC DATED APRIL 15, 2005...
ITEM #48 - TERMS AND CONDITIONS, RIGHTS AND EASEMENT SET FORTH IN A DEED FROM THE BOSTON AND MAINE CORPORATION TO HARBORCORP., LLC DATED MAY 9, 2014...
ITEM #49 - ELECTRIC UTILITY EASEMENT AND GAS MAIN EASEMENT AS SHOWN ON PLAN ENTITLED "ELECTRIC UTILITY EASEMENT PARCEL 2" DATED JANUARY 1974...
ITEM #50 - VARIATIONS BETWEEN THE DESCRIPTIONS CONTAINED BETWEEN THE DESCRIPTION OF SAID PARCELS 1 AND 2 AND TWO, AS SET FORTH IN BOOK 1569 PAGE 2533...

ENCROACHMENTS:

- ON THE WEST, UTILITY TOWER OVER RECORD LINE;
ON THE EAST, ELECTRIC PEDESTAL OVER THE RECORD LINE, WITHOUT AN EASEMENT;
ON THE NORTHEAST, SEWER MANHOLE OVER RECORD LINE, WITHOUT AN EASEMENT;
ON THE SOUTHEAST, SIGNAL BOX OVER RECORD LINE, WITHOUT AN EASEMENT.

PLAN REFERENCES:

- "SUBDIVISION PLAN OF LOTS 1B & 1C & 1A IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED OCTOBER 1, 1987, ROP PLAN #0-1749.
"SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED AUGUST 1, 1984, REV. JUNE 25, 1988, ROP PLAN #0-1798.
"MARKET WHARF I A CONDOMINIUM SITE PLAN, PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED APRIL 11, 1988, ROP PLAN #0-1809.
"SUBDIVISION OF HARBORSIDE & HARBORPARK LAND IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED AUGUST 13, 1985, REVISED AUGUST 27, 1985, ROP PLAN #0-14043.
"SUBDIVISION OF HARBORSIDE & HARBORPARK EASEMENT PLAN-PARCEL 1, PORTSMOUTH, NEW HAMPSHIRE" BY RANDOM F. CORMIER, DATED OCTOBER 22, 1987, ROP PLAN #0-17413.
"MARKET WHARF I, A CONDOMINIUM SITE PLAN, HARBORSIDE & ASSOCIATES, INC., DATED 16 JULY 86, ROP PLAN #C-14042.
"VALGAIN STREET URBAN REVENAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, ELECTRIC UTILITY EASEMENT, PARCEL 2" BY ANDERSON-NICHOLS & CO., INC., DATED JAN. 1974, ROP PLAN #0-4337.
"PORTSMOUTH HOUSING AUTHORITY, PORTSMOUTH, NEW HAMPSHIRE, ROCKINGHAM COUNTY, VAUGHAN STREET PROJECT, PROJECT NO. NH. R-10, 1984 ALARM SYSTEM AND ELECTRICAL DISTRIBUTION PLAN" BY METCALF & EDDY ENGINEERS-PLANNERS, DATED MAY 5, 1986, ROP PLAN #0-2420.
"VALGAIN STREET URBAN REVENAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, APPROVED AS SHOWING VAUGHAN STREET URBAN REVENAL PROJECT BOUNDARIES AND AREA ONLY, CONDEMNATION MAP" BY ANDERSON-NICHOLS & CO., INC., DATED FEB. 1971, ROP PLAN #0-2425.
"LAND IN PORTSMOUTH, N.H., BOSTON AND MAINE RAILROAD FOR ROSE R. WOLFSON" DATED JUNE 1954, ROP BK. 1324 PG. 45.
"PORTSMOUTH HOUSING AUTHORITY, PORTSMOUTH, NEW HAMPSHIRE, ROCKINGHAM COUNTY, VAUGHAN STREET PROJECT, PROJECT NO. NH. R-10, RIGHT OF WAY ADJUSTMENTS PLAN" BY METCALF & EDDY ENGINEERS-PLANNERS, DATED MAY 5, 1986, ROP PLAN #0-2413.
"STATION MAP-LANDS, CONCORD AND PORTSMOUTH R.R. OPERATED BY THE BOSTON MAINE R.R., STATION 40+0 TO STATION 43+07" BY THE OFFICE OF VALUATION ENGINEER, DATED JUNE 30, 1914, NOT RECORDED.
"STATION MAP-LANDS, BOSTON AND MAINE R.R., OPERATED BY THE BOSTON MAINE R.R., STATION 2966+20 TO STATION 2919+0" BY THE OFFICE OF VALUATION ENGINEER, DATED JUNE 30, 1914, NOT RECORDED.
"ALTA/ACSM LAND TITLE SURVEY FOR HARBORSIDE ASSOCIATES, MARKET, DEER & RUSSEL, STREETS, COUNTY OF ROCKINGHAM, 05/19/14, ROP PLAN #0-32626.
"LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP., LLC AND BOSTON AND MAINE CORPORATIONS" BY AMES MSC ARCHITECTS AND ENGINEERS DATED MARCH 14, 2005 WITH REVISION DATE OF 05/03/05, ROP PLAN #0-29573.
"LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP., LLC AND BOSTON AND MAINE CORPORATIONS" BY MSC CIVIL ENGINEERS AND LAND SURVEYERS, INC. DATED APRIL 24, 2014 WITH REVISION 2 DATED 05/19/14, ROP PLAN #0-32626.
"LAND IN PORTSMOUTH, N.H., BOSTON AND MAINE RAILROAD TO RAYLEN REALTY COMPANY" BY ASST. CHIEF ENGR, DATED APRIL 1961, ROP PLAN #0-20226.
"EASEMENT FOR SEWER, PORTSMOUTH, N.H." BY ASST. CHIEF ENGR, DATED DEC. 1936, ROP #0202.
"RETRACTS THE LINES UNDER WHICH THE LOTS ARE TO BE USED FOR, THEREFORE, IS NOT PLOTTED.
"ALTA/ACSM LAND TITLE SURVEY SHERRATON HOTEL, 250 MARKET STREET PORTSMOUTH NEW HAMPSHIRE" BY TMBARN, INC. DATED AUGUST 19, 2019, PLAN NOT RECORDED.

Table with columns: CURVE #, RADIUS, LENGTH, DELTA, CHORD DIRECTION, CHORD LENGTH. Contains curve data for the project.

Table with columns: LINE #, BEARING, DISTANCE. Contains line data for the project.

DRAFT

DESIGNED LAND SURVEYOR DATE

TAX MAPS 119, 124, 118, 125 LOTS 4, 12, 28 & 21

NOTES
NORTH END MIXED USE
DEET ST., RUSSELL ST., MARKET ST.
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
OWNED BY
PORT HARBOR LAND LLC, PH LOTS LLC & PORT OWNER HARBOR LLC

SCALE: NO SCALE NOVEMBER 23, 2022

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmna.com

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

Table with columns: REVISION, DATE, DESCRIPTION, DR, ES, CH, CR, CA, RPL, FB, 559, S-2

**NOTES:**

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 1-1A & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE K, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 691, MAP NUMBER 30150229P WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- GENERAL RECORDS:**

MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28  
 PORT HARBOR LAND LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCID 808044 P05E14

MAP 119 LOT 1-1A  
 PH LOTS LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCID 808044 P05E14

MAP 119 LOT 1-1C  
 PORT OWNER HARBOR LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCID 808044 P05E14
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON PC-6000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:18, II, III AND IV AND 672:14:

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTH, YEAR. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS.

I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

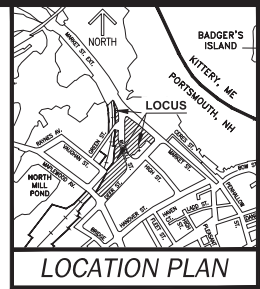
**DRAFT**

LICENSED LAND SURVEYOR \_\_\_\_\_

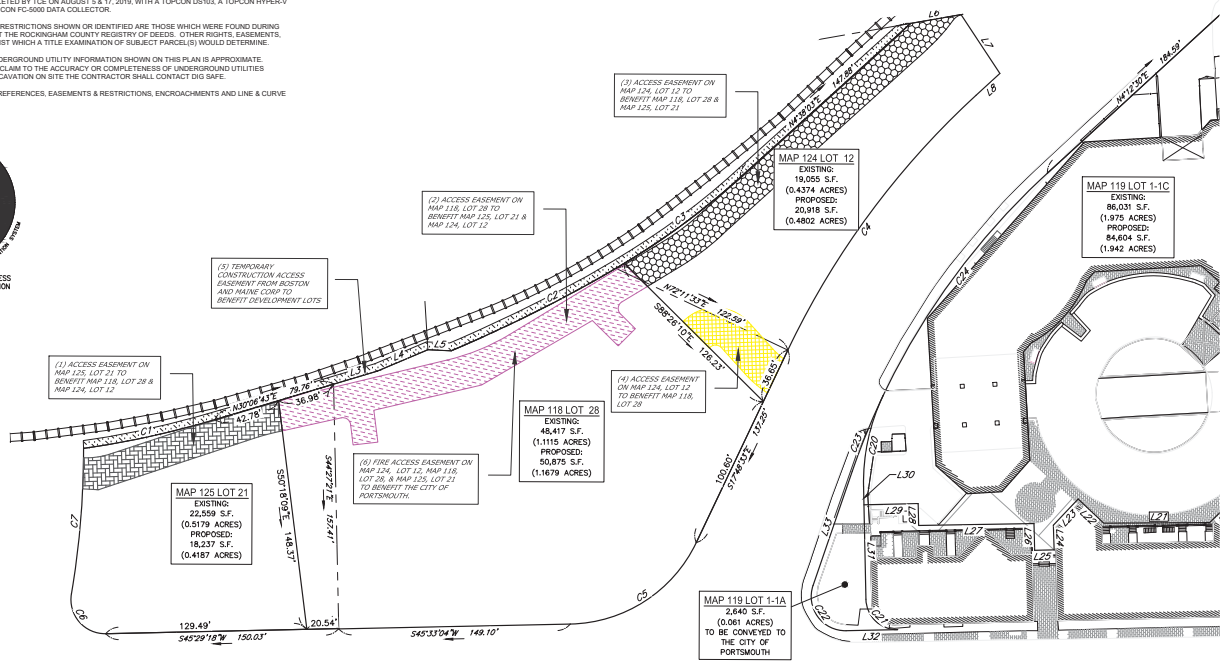
DATE \_\_\_\_\_

**ACCESS EASEMENTS:**

- (1) ACCESS EASEMENT ON MAP 125, LOT 21 TO BENEFIT MAP 118, LOT 28 & MAP 124, LOT 12.
- (2) ACCESS EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21 & MAP 124, LOT 12.
- (3) ACCESS EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28 & MAP 125, LOT 21.
- (4) ACCESS EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28.
- (5) TEMPORARY CONSTRUCTION ACCESS EASEMENT FROM BOSTON AND MAINE CORP TO BENEFIT DEVELOPMENT LOTS.
- (6) FIRE ACCESS EASEMENT ON MAP 124, LOT 12, MAP 118, LOT 28, & MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.



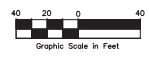
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



REV	DATE	DESCRIPTION	DR	CK

**ACCESS EASEMENT PLAN**  
**NORTH END MIXED USE**  
 DEER ST., RUSSELL ST., MARKET ST.  
 PORTSMOUTH, NEW HAMPSHIRE  
 COUNTY OF ROCKINGHAM

OWNED BY  
**PORT HARBOR LAND LLC, PH LOTS LLC  
 & PORT OWNER HARBOR LLC**

**SCALE: 1" = 40' (32x24)  
 1" = 80' (11x17)**

**NOVEMBER 28, 2022**

MAP	LOT
118	28
119	1-1C, 1-1A, 4
124	12
125	21

Seacoast Division

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

45354-12	DR	FB		
	CK	CA/FILE	SEE MARGIN	S-3

**NOTES:**

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE "A" AS SHOWN ON FLOOD INSURANCE RATE MAP #FIRM/ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 61, MAP NUMBER 30130228P WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- COUNCIL OF RECORD:**  
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28  
 PORT HARBOR LAND LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCID 390604 P0314  
  
 MAP 119 LOT 1-1A  
 PH LOTS LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCID 390604 P0314  
  
 MAP 119 LOT 1-1C  
 PORT OWNER HARBOR LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCID 390604 P0314
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPERV GPS RECEIVER, AND A TOPCON PC-5000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TRADIAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTH, YEAR, THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.  
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

DENSED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

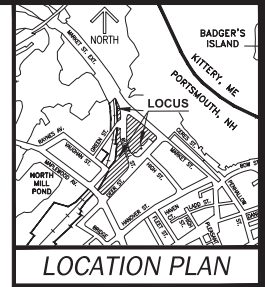
**DRAFT**

**LEGEND**

- BOOK / PAGE
- DELTA
- RADIUS
- LENGTH OF CURVE
- NOW OR FORMERLY
- ELEVATION
- ROCKINGHAM COUNTY REGISTRY OF DEEDS
- SQUARE FEET
- APPROXIMATE ABUTTER LINE
- PROPERTY LINE
- WOOD FENCE
- CHAINLINK FENCE
- RAILROAD TRACKS
- BRICK
- GRAVEL
- CONCRETE

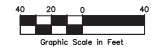
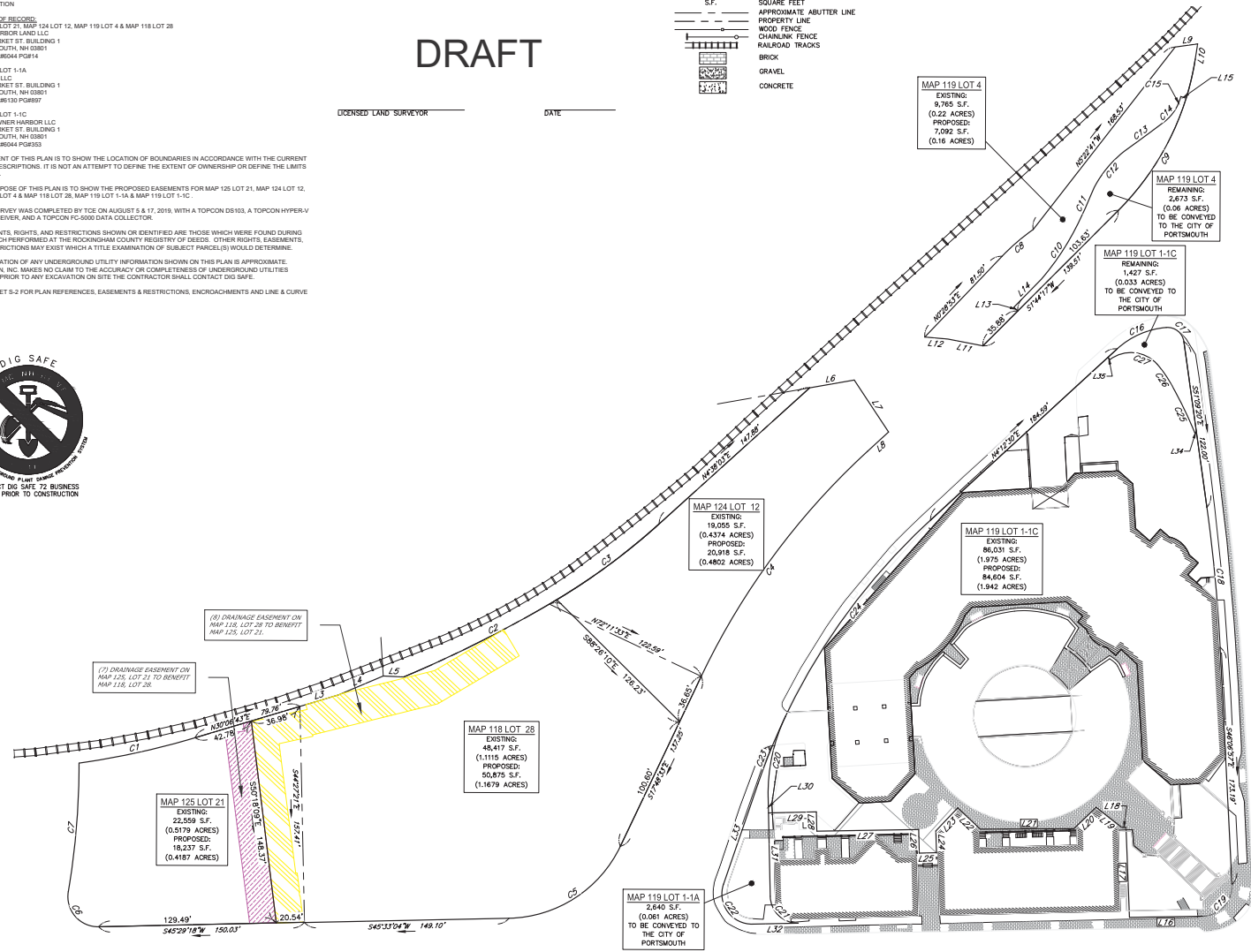
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**DRAINAGE EASEMENTS:**

- (7) DRAINAGE EASEMENT ON MAP 125, LOT 21 TO BENEFIT MAP 118, LOT 28.
- (8) DRAINAGE EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21.



REV.	DATE	DESCRIPTION	DR	CK

**ACCESS EASEMENT PLAN**  
**NORTH END MIXED USE**  
 DEER ST., RUSSELL ST., MARKET ST.  
 PORTSMOUTH, NEW HAMPSHIRE  
 COUNTY OF ROCKINGHAM

OWNED BY  
**PORT HARBOR LAND LLC, PH LOTS LLC & PORT OWNER HARBOR LLC**

**SCALE: 1" = 40' (22x34)**  
**1" = 80' (11x17)**

**NOVEMBER 23, 2022**

MAP & LOT	
118	28
119	1-1C, 1-1A, 4
124	12
125	21

Seacoast Division

**TFM**

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

45364-12 DR FB  
 CK BK CAOPLE SEE MARGIN S-4

Nov 23, 2022 - 10:24am F:\MISC\Projects\45364-12 Port Harbor Land, LLC - 250 Market St Location Survey\Drawings\45364-12 Lot Line Revision Easement Plans-S1.dwg




**NOTES:**

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 1 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 250 OF 881, MAP NUMBER 3301C0205F WITH AN EFFECTIVE DATE OF JANUARY 03, 2021.
- SEE SECTION
- OWNER OF RECORD:  
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28  
 PORT HARBOR LAND LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCRD BK96044 PG#14  
 MAP 119 LOT 1-1A  
 PH LOTS LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCRD BK96130 PG#67  
 MAP 119 LOT 1-1C  
 PORT OWNER HARBOR LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCRD BK96044 PG#63
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON SC-5000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:

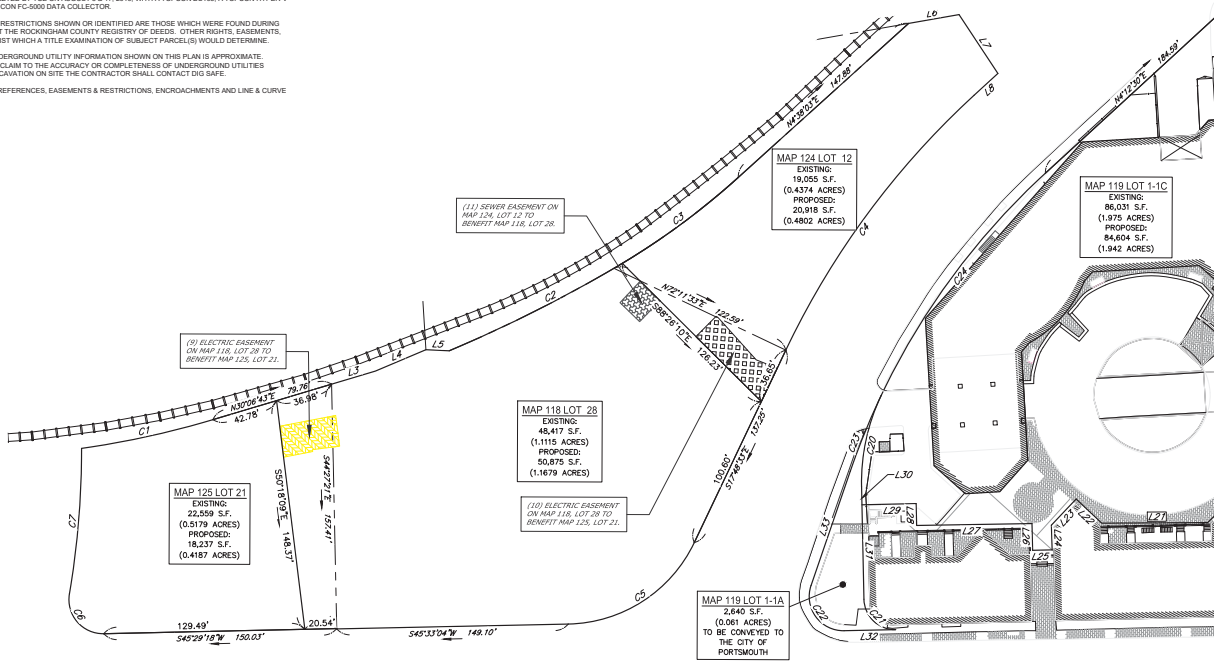
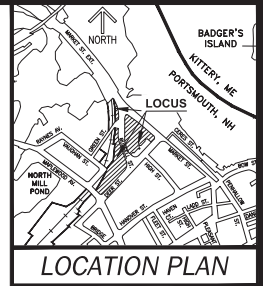
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTH, YEAR, THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS.  
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

**UTILITIES EASEMENTS:**

-  (9) ELECTRIC EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21.
-  (10) ELECTRIC EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 124, LOT 12.
-  (11) SEWER EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28.

**DRAFT**

LICENSED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_



**UTILITIES EASEMENT PLAN**  
**NORTH END MIXED USE**  
 DEER ST., RUSSELL ST., MARKET ST.  
 PORTSMOUTH, NEW HAMPSHIRE  
 COUNTY OF ROCKINGHAM

OWNED BY  
 PORT HARBOR LAND LLC, PH LOTS LLC  
 & PORT OWNER HARBOR LLC

SCALE: 1" = 40' (22x34)  
 1" = 80' (11x17)

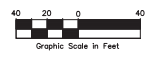
NOVEMBER 29, 2022

MAP & LOT	
118	28
119	1-1C, 1-1A, 4
124	12
125	21

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REV.	DATE	DESCRIPTION	DR	CK

Seacoast Division



Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

45354-12	DR	FB	SEE MARGIN	S-5
	CK	BMK		

Nov 23, 2022 - 10:23am  
 F:\MISC Projects\45354 - Market Street - Portsmouth\45354-12 Port Harbor Land, LLC - 250 Market St\Location Survey\DWG\45354-12 Lot Line Revision Easement Plans-RT.dwg

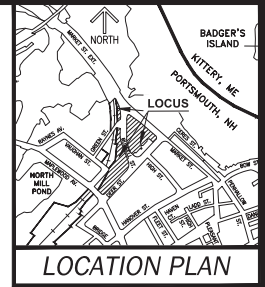
**NOTES:**

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 123 LOT 21, MAP 124 LOT 12, MAP 124 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 239 OF 461, MAP NUMBER 330162039 WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- OWNER OF RECORD:**  
 MAP 123 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 119 LOT 28  
 PORT HARBOR LAND LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCRD BK46130 PG8897  
 MAP 119 LOT 1-1A  
 PH LOTS LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCRD BK46130 PG8897  
 MAP 119 LOT 1-1C  
 PORT OWNER HARBOR LLC  
 1000 MARKET ST. BUILDING 1  
 PORTSMOUTH, NH 03801  
 RCRD BK46044 PG3533
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 123 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 8 & 17, 2019. WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON FC-5000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCELS WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMoran, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET 9-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:  
 I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN WORK, YET AS THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS.  
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

**DRAFT**

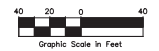
LICENSED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_



**COMMUNITY SPACE EASEMENTS:**

- (12) WIDE SIDEWALK EASEMENT ON MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.
- (13) WIDE SIDEWALK EASEMENT ON MAP 118, LOT 28 TO BENEFIT THE CITY OF PORTSMOUTH.
- (14) WIDE SIDEWALK EASEMENT ON MAP 124, LOT 12 TO BENEFIT THE CITY OF PORTSMOUTH.
- (15) PEDESTRIAN ALLEY ON MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.
- (16) PEDESTRIAN ALLEY ON MAP 118, LOT 28 TO BENEFIT THE CITY OF PORTSMOUTH.
- (17) PEDESTRIAN ALLEY ON MAP 124, LOT 12 TO BENEFIT THE CITY OF PORTSMOUTH.
- (18) PARK ARE COMUNITY EASEMENT MAP 119, LOT 4 TO BENEFIT THE CITY OF PORTSMOUTH.

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REV.	DATE	DESCRIPTION	DR	CK

**COMMUNITY SPACE EASEMENT PLAN**  
**NORTH END MIXED USE**  
**DEER ST., RUSSELL ST., MARKET ST.**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
 OWNED BY  
**PORT HARBOR LAND LLC, PH LOTS LLC**  
**& PORT OWNER HARBOR LLC**

MAP	LOT
118	28
119	1-1C, 1-1A, 4
124	12
125	21

**SCALE:** T' = 40' (22x34)  
 T' = 80' (11x17)  
**NOVEMBER 23, 2022**

 Seacoast Division	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0310 www.tfmoran.com
	45354-12	DR: [ ] CK: [ ] BK: [ ] CAD/PLE: [ ] SEE MARGIN



Nov 23, 2022 - 10:23am  
 F:\MISC\Projects\45354-12 Port Harbor Land, LLC - 250 Market St Location Survey\DWG\45354-12 Lot Line Revision Easement Plans-RT.dwg



05/23/2023

05/23/23

**North End  
Mixed Use  
Development**

**Two  
International  
Group**

Russell Street &  
Deer Street  
Portsmouth, NH

I	5/22/2023	Act Resubmission
H	12/5/2023	Act Submission
G	11/23/2022	PS Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION

PROJECT NO: T5037-002  
DATE: May 24, 2022

FILE: T5037-002-C-DSGN.DWG  
DRAWN BY: CJK  
CHECKED: NWH  
APPROVED: PAC

**GENERAL NOTES  
AND LEGEND**

SCALE: AS SHOWN

- GENERAL NOTES**
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
  - COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH.
  - THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CALL DIGI DIAL 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND OBTAIN PERMITS, NOTICES AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
  - THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, WATER AND SEWER SERVICES, TELEPHONE AND CABLE SERVICES. IF SUCH SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS, CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
  - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
  - ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROADS AND BRIDGE CONSTRUCTION", CURRENT EDITION.
  - CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (DWG AND PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
  - CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
  - SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
  - APPLICANT SHALL SUBMIT, AS PART OF THE FINAL POST APPROVAL PROCEDURES, RELEVANT FTAP INFORMATION USING THE MOST RECENT ONLINE DATA PORTAL CURRENTLY MANAGED BY THE UNH STORMWATER CENTER. THE PLANNING DEPARTMENT SHALL BE NOTIFIED AND COPIED OF THE FTAP DATA SUBMISSION.
  - A VIDEO INSPECTION OF THE EXISTING SEWER AND DRAIN LINES ON MAPLEWOOD AVENUE, DEER STREET AND RUSSELL STREET SHALL BE COMPLETED AND PROVIDED TO PORTSMOUTH DPW BOTH BEFORE AND AFTER CONSTRUCTION.
  - CONTRACTOR SHALL INSTALL INTERSECTION VIDEO DETECTION FOR MAPLEWOOD AVENUE AND DEER STREET INTERSECTION, COORDINATE WITH THE CITY OF PORTSMOUTH TRAFFIC DEPARTMENT.
- DEMOLITION NOTES**
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
  - ALL MATERIALS SHALL BE REMOVED FROM THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND REGULATIONS.
  - COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
  - ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
  - SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT IS TO BE REMOVED OR REPAIRED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK DONE BY OTHERS.
  - ALL UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINAGE AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UTILITY FOUND AND MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
  - PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTORS CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATIVE CONSTRUCTION TO VERIFY LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
  - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS UNLESS OTHERWISE NOTED TO REMAIN. STRUCTURES TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLE, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, BARRIERS, WALLS BARRIERS, BULLDOZERS, FOUNDATION, TREES AND LANDSCAPING.
  - REMOVE TREES AND BUSHES AS REQUIRED FOR COMPLETION OF WORKS. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
  - CONTRACTOR SHALL PROTECT ALL CITY DEMOLITION AND CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO RE-ESTABLISH DISTURBED MONUMENTATION.
  - PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS. BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/4" THE DESIGN DEPTH OF THE BARRIER.
  - CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADEING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
  - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS TO REMAIN.
  - THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.
- SITE NOTES**
- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTER LINES. ALL MARKINGS EXCEPT CENTER LINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M247. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTER LINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
  - ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
  - SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
  - CENTURIES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
  - PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
  - STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.
  - CLEAN AND CONT VERTICAL FACES OF EXISTING PAVEMENT AT SAW CUT LINE WITH HS-1 BRUSHING IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
  - CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
  - ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
  - COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
  - SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
  - THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
  - ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.
  - A TEMPORARY SUPPORT OF EXCAVATION (SOE) PLAN SHALL BE PREPARED BY THE APPLICANT'S CONTRACTOR TO CONFIRM ANY TEMPORARY ENCUMBRANCES OF THE CITY'S RIGHT-OF-WAY. IF LICENSES ARE REQUIRED FOR THE SOE, THE APPLICANT WILL BE REQUIRED TO OBTAIN THESE FROM THE CITY PRIOR TO CONSTRUCTION.
  - THE PROPERTY MANAGER WILL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. ALL SNOW REMOVAL WILL BE HALLED OFF-SITE AND LEGALLY DISPOSED OF.
  - THE STREET LIGHTING TYPE TO BE HISTORIC STYLE FIXTURES AND POLE TO MATCH EXISTING LIGHTING ON SOUTH SIDE OF DEER STREET.
  - CONSTRUCTION SEQUENCING OF NORTH COMMUNITY PARK SHALL BE COORDINATED WITH MARKET STREET AND RUSSELL STREET INTERSECTION CONSTRUCTION. NORTH COMMUNITY PARK SHALL NOT BE CONSTRUCTED UNTIL THE INTERSECTION ROUNDABOUT HAS BEEN CONSTRUCTED.
  - THE PROPOSED LOADING ZONE SHALL BE REVIEWED BY THE PARKING & TRAFFIC SAFETY COMMITTEE FOR RECOMMENDATION TO CITY COUNCIL.
  - THE APPLICANT'S CONTRACTOR SHALL PREPARE A CONSTRUCTION MANAGEMENT AND MITIGATION PLAN (CMP) FOR REVIEW AND APPROVAL BY THE CITY'S LEGAL AND PLANNING DEPARTMENTS.
  - THE FINAL STYLE AND COLOR OF THE RRFB POLES SHALL BE APPROVED BY PORTSMOUTH DPW PRIOR TO CONSTRUCTION.
  - THE FINAL LOCATION OF THE RRFB SHALL BE DETERMINED IN FIELD.

- GRADING AND DRAINAGE NOTES**
- CONTRACTOR REQUIREMENTS:  
BLOW PAVED OR CONCRETE AREAS 95%  
TRENCH BEDDING MATERIAL AND SAND (UNLESS OTHERWISE NOTED) 95%  
BELOW LOAM AND SEED AREAS 90%
  - \*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
  - ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR H-Q, AQS 8-12 OR EQUAL) UNLESS OTHERWISE SPECIFIED.
  - ADJUST ALL MANHOLES, CATCH BASINS, CURB ROWS, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
  - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
  - ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE A' LOAM, SEED FERTILIZER AND MULCH.
  - ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
  - ALL PROPOSED CATCH BASIN SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.

- EROSION CONTROL NOTES**
- SEE SHEET S-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

- UTILITY NOTES**
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.  
•NATURAL GAS - UNBTL  
•WATER/SEWER - CITY OF PORTSMOUTH  
•ELECTRIC - EVERSOURCE  
•COMMUNICATIONS - COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT
  - ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINER DUCTILE IRON PIPE.
  - ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
  - ALL SEWER PIPE SHALL BE PVC 30 35 UNLESS OTHERWISE STATED.
  - CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
  - CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
  - EXISTING UTILITIES TO BE REMOVED SHALL BE CAPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
  - ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
  - THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
  - ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTIONS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
  - CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
  - A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
  - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS TO REMAIN.
  - HORNBATS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
  - COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
  - ALL SEWER PIPE WITH LESS THAN 6" OF COVER IN PAVED AREAS OR LESS THAN 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
  - CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
  - SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CHIRCUITY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
  - CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.
  - FINAL LOCATIONS OF ALL UTILITY LINES SHALL BE APPROVED BY THE CITY OF PORTSMOUTH DPW PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PERFORM TESTS FITS TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER IF LOCATIONS DIFFER FROM PLAN.
  - CONTRACTOR SHALL COMPLETE PRE AND POST BLAST SURVEY AND MONITORING OF THE EXISTING SEWER LINE ALONG DEER STREET.

- LANDSCAPE NOTES**
- SEE SHEET L-100 FOR LANDSCAPE NOTES.

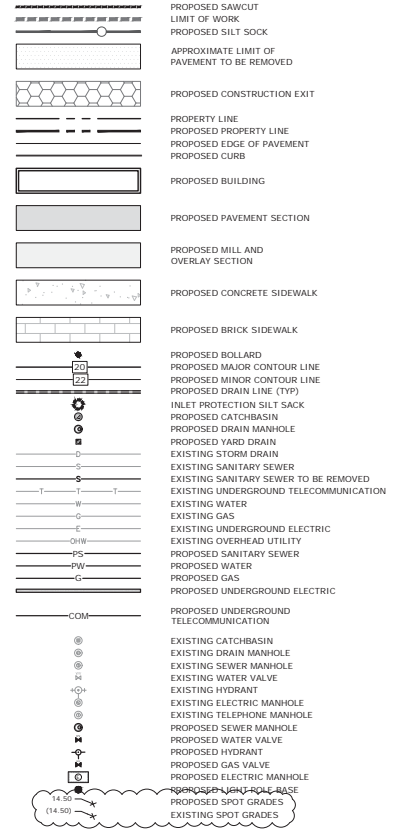
- EXISTING CONDITIONS PLAN NOTES**
- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC., SEE REFERENCE PLAN #1.

- REFERENCE PLANS**
- "EXISTING FEATURES PLAN #118 LOT 20, MAP 119 LOT 1 & MAP 124 LOT 12 AND MAP 125 LOT 21" PREPARED BY MSC CIVIL ENGINEERS AND LAND SURVEYORS, INC., DATED JANUARY 16, 2015.

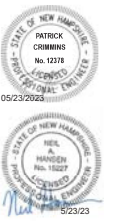
**ABBREVIATIONS**

- BR TO BE REMOVED
- BUILDING
- TP TYPICAL
- COORD COORDINATE
- 30R CURB RADIUS
- SSWL SINGLE SOLID WHITE LINE
- DSYL DOUBLE SOLID YELLOW LINE
- VGC VERTICAL GRANITE CURB
- SQC SLOPED GRANITE CURB
- FGC FLUSH GRANITE CURB
- TC TOP OF CURB
- BC BOTTOM OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF STEP
- BS HIGH-DENSITY POLYETHYLENE
- HDPE FINISH FLOOR
- FF FINISH FLOOR
- VF VERIFY IN FIELD

**LEGEND**



North America (01/19/2023) to 01/31/2023, 02/01/2023 to 02/28/2023, 03/01/2023 to 03/31/2023, 04/01/2023 to 04/30/2023, 05/01/2023 to 05/31/2023, 06/01/2023 to 06/30/2023, 07/01/2023 to 07/31/2023, 08/01/2023 to 08/31/2023, 09/01/2023 to 09/30/2023, 10/01/2023 to 10/31/2023, 11/01/2023 to 11/30/2023, 12/01/2023 to 12/31/2023



**EXISTING DRAINAGE SCHEDULE**

ECB1 RM=15.36 INV. OUT=11.88 (ED1)	ECB9 RM=15.78 INV. OUT=13.15 (ED13)	EDM1 RM=15.59 INV. IN=11.17 (ED1)	EDM6 RM=25.21 INV. INSE=19.93 INV. OUT=18.97 (ED14)	EDM11 RM=10.14 INV. IN=6.96 (ED23)
ECB2 RM=15.31 INV. OUT=12.11 (ED2)	EDB10 RM=22.49 INV. OUT=19.39 (ED15)	EDM2 RM=14.00 INV. IN=6.67 (ED3)	EDM7 RM=22.94 INV. IN=13.49 (ED16)	EDM12 RM=11.55 INV. IN=3.81 (ED27)
ECB3 RM=13.39 INV. OUT=6.69 (ED4)	EDB11 RM=22.23 INV. OUT=18.49 (ED16)	EDM3 RM=14.12 INV. IN=6.70 (ED3)	EDM8 RM=15.58 INV. IN=12.38 (ED20)	EDM13 RM=11.45 INV. OUT=8.37 (ED30)
ECB4 RM=13.81 INV. OUT=9.59 (ED5)	EDB12 RM=15.69 INV. OUT=12.39 (ED21)	EDM4 RM=14.21 INV. IN=6.80 (ED4)	EDM9 RM=15.76 INV. IN=12.38 (ED21)	EDM14 RM=11.45 INV. OUT=8.37 (ED30)
ECB5 RM=13.71 INV. OUT=10.42 (ED7)	EDB13 RM=15.76 INV. OUT=12.52 (ED20)	EDM5 RM=14.31 INV. IN=6.81 (ED4)	EDM10 RM=15.58 INV. IN=12.38 (ED20)	EDM15 RM=11.45 INV. OUT=8.37 (ED30)
ECB6 RM=14.06 INV. OUT=9.42 (ED10)	EDB14 RM=15.43 INV. OUT=12.52 (ED20)	EDM6 RM=14.12 INV. IN=6.70 (ED3)	EDM11 RM=15.58 INV. IN=12.38 (ED20)	EDM16 RM=11.45 INV. OUT=8.37 (ED30)
ECB7 RM=14.48 INV. OUT=10.26 (ED9)	EDB15 RM=15.00 INV. OUT=12.52 (ED20)	EDM7 RM=14.00 INV. IN=6.67 (ED3)	EDM12 RM=11.55 INV. IN=3.81 (ED27)	EDM17 RM=11.45 INV. OUT=8.37 (ED30)
ECB8 RM=15.49 INV. OUT=12.74 (ED12)	EDB16 RM=16.60 INV. OUT=12.52 (ED20)	EDM8 RM=14.00 INV. IN=6.67 (ED3)	EDM13 RM=11.45 INV. OUT=8.37 (ED30)	EDM18 RM=11.45 INV. OUT=8.37 (ED30)
ECB9 RM=15.35 INV. OUT=20.21 (ED27)	EDB17 RM=16.60 INV. OUT=12.52 (ED20)	EDM9 RM=14.00 INV. IN=6.67 (ED3)	EDM14 RM=11.55 INV. IN=3.81 (ED27)	EDM19 RM=11.45 INV. OUT=8.37 (ED30)

**EXISTING DRAINAGE PIPE SCHEDULE**

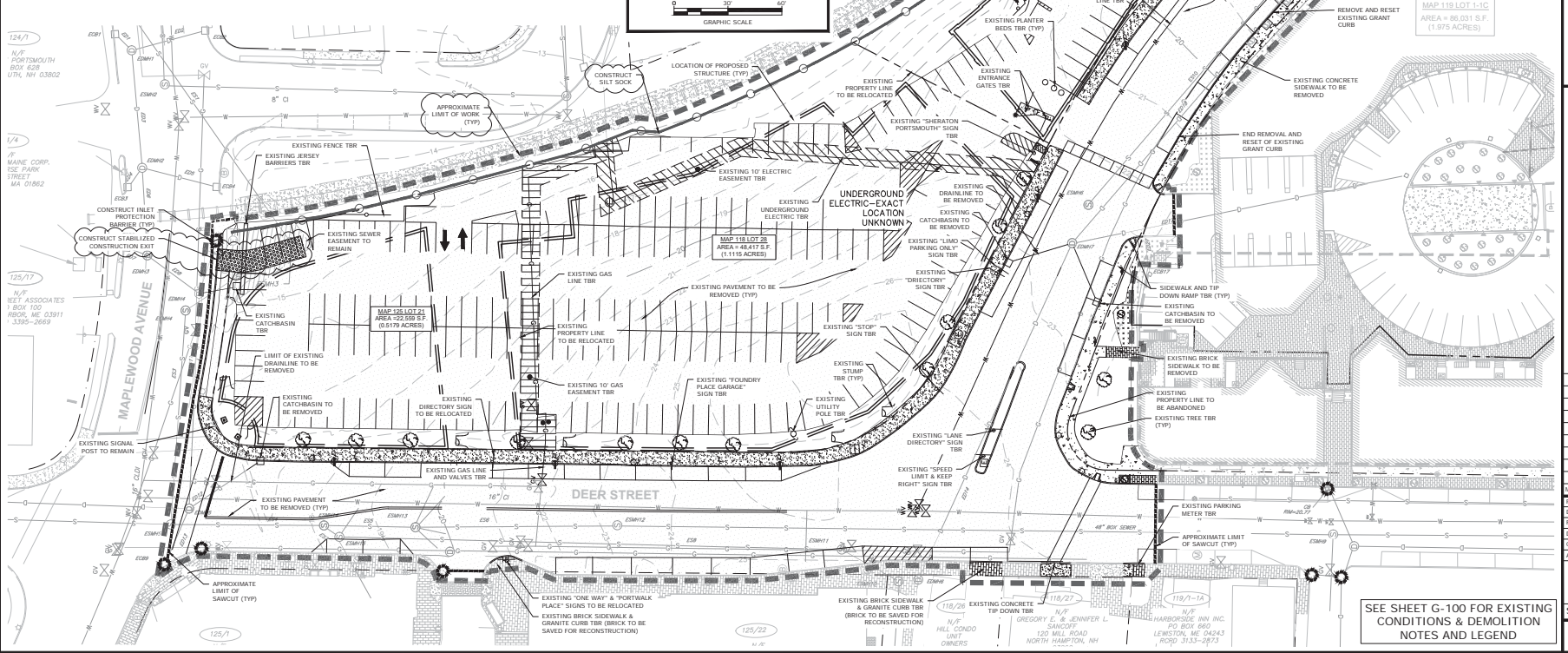
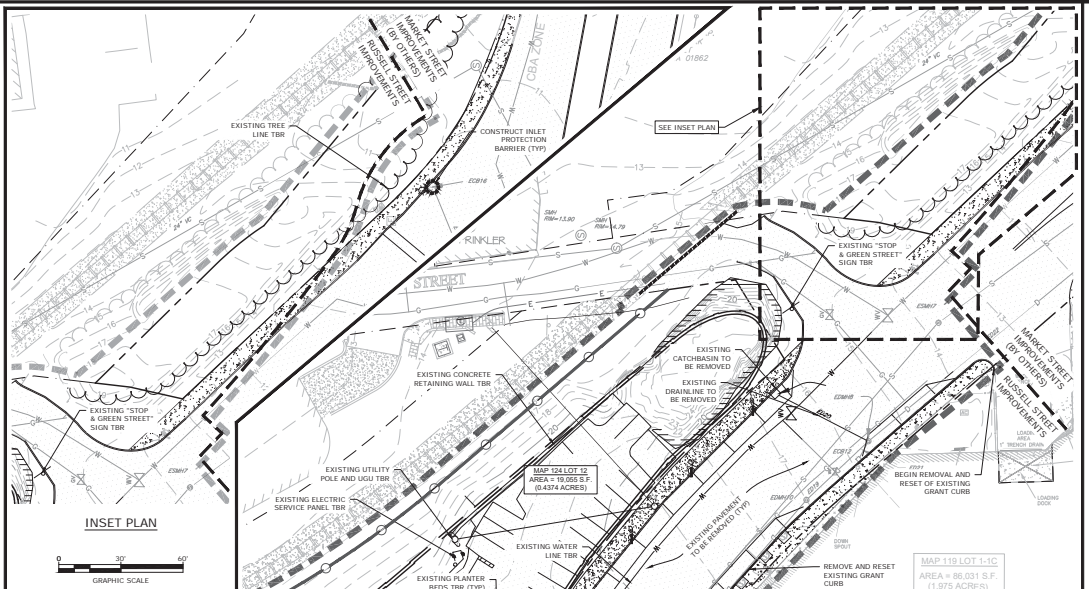
LINE#	LENGTH	TYPE	SLOPE
ED1	9'	12" CONC	S=0.078
ED2	38'	12" CONC	S=0.026
ED3	62'	12" CONC	S=0.019
ED4	10'	12" CONC	S=0.071
ED5	39'	12" CONC	S=0.025
ED6	45'	12" CONC	S=0.024
ED7	9'	12" CONC	S=0.023
ED8	32'	12" CONC	S=0.028
ED9	18'	12" CONC	S=0.077
ED10	22'	12" CONC	S=0.027
ED11	176'	12" CONC	S=0.041
ED12	44'	12" CONC	S=0.026
ED13	30'	12" CONC	S=0.0218
ED14	202'	12" CONC	S=0.0297
ED15	33'	12" CONC	S=0.028
ED16	32'	12" CONC	S=0.0209
ED17	188'	8" PVC	S=0.0081
ED18	210'	12" CONC	S=0.0363
ED19	38'	12" CONC	S=0.0185
ED20	47'	12" CONC	S=0.0255
ED21	7'	12" CONC	S=0.0157
ED22	223'	12" CONC	S=0.0180
ED23	59'	12" CONC	S=0.0145
ED24	6'	12" CONC	S=0.0200
ED25	32'	12" CONC	S=0.0243
ED26	34'	12" CONC	S=0.0158
ED27	241'	12" CONC	S=0.0285
ED28	161'	48" CONC	S=0.0047
ED29	104'	48" CONC	S=0.0047
ED30	355'	48" CONC	S=0.0047

**EXISTING SEWER SCHEDULE**

LINE#	LENGTH	TYPE	SLOPE
ES1	153'	24" RCP	S=0.0035
ES2	66'	24" RCP	S=0.0022
ES3	176'	24" RCP	S=0.0026
ES4	85'	48" BOX	S=0.0079
ES5	47'	48" BOX	UNKNOWN
ES6	109'	48" BOX	S=0.0005
ES7	6'	6" VC	S=0.0228
ES8	278'	8" VC	S=0.0203
ES9	33'	8" VC	S=0.0250
ES10	294'	8" VC	S=0.0249
ES11	170'	8" AC	S=0.0241
ES12	47'	8" AC	UNKNOWN

**EXISTING SEWER PIPE SCHEDULE**

LINE#	LENGTH	TYPE	SLOPE
ES1	153'	24" RCP	S=0.0035
ES2	66'	24" RCP	S=0.0022
ES3	176'	24" RCP	S=0.0026
ES4	85'	48" BOX	S=0.0079
ES5	47'	48" BOX	UNKNOWN
ES6	109'	48" BOX	S=0.0005
ES7	6'	6" VC	S=0.0228
ES8	278'	8" VC	S=0.0203
ES9	33'	8" VC	S=0.0250
ES10	294'	8" VC	S=0.0249
ES11	170'	8" AC	S=0.0241
ES12	47'	8" AC	UNKNOWN



**North End Mixed Use Development**

Two International Group

Russell Street & Deer Street  
Portsmouth, NH

I	5/22/2023	Act Resubmission
H	12/5/2023	Act Submission
G	11/23/2022	PS Submission
F	11/18/2022	Traffic Floor Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION

PROJECT NO: T5037.002  
DATE: May 24, 2022  
FILE: T5037.002-C.DSGN.DWG  
DRAWN BY: CK  
CHECKED: NMM  
APPROVED: PAC

EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN  
SCALE: AS SHOWN

SEE SHEET G-100 FOR EXISTING CONDITIONS & DEMOLITION NOTES AND LEGEND



**SITE DATA:**  
 LOCATION: TAX MAP 118 LOT 28 OWNER: PORT HARBOR LAND LLC  
 TAX MAP 119 LOT 1-1A 1000 MARKET ST  
 TAX MAP 119 LOT 1-1C BUILDING ONE  
 TAX MAP 119 LOT 4 PORTSMOUTH, NH 03801  
 TAX MAP 124 LOT 12  
 TAX MAP 125 LOT 21

ZONING DISTRICT: CHARACTER DISTRICT 5 (CD5)  
 DOWNTOWN OVERLAY DISTRICT  
 NORTH END INCENTIVE OVERLAY DISTRICT  
 HISTORIC DISTRICT

PROPOSED USE: MIXED USE, RESIDENTIAL, RETAIL

**DEVELOPMENT STANDARDS**

BUILDING PLACEMENT (PRINCIPAL BUILDING)	REQUIRED	PROPOSED	MAP 118 LOT 28	MAP 124 LOT 12	MAP 125 LOT 21
MAXIMUM PRINCIPAL FRONT YARD:	5 FT	MAP 125 LOT 21 6 FT <sup>(1)</sup>	MAP 118 LOT 28 10 FT <sup>(1)</sup>	MAP 124 LOT 12 10 FT <sup>(1)</sup>	MAP 125 LOT 21 10 FT <sup>(1)</sup>
SIDE YARD:	NR	NR	NR	NR	NR
MINIMUM REAR YARD:	5 FT	20 FT	20 FT	20 FT	20 FT
FRONT LOT LINE LENGTH:	NR	81%	100%	84%	80%
MINIMUM FRONT LOT LINE BULDOUR:	80%				
<b>BUILDING AND LOT OCCUPATION:</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>MAP 118 LOT 28</b>	<b>MAP 124 LOT 12</b>	<b>MAP 125 LOT 21</b>
MAXIMUM BUILDING BLOCK LENGTH:	225 FT	107 FT	104 FT	225 FT	107 FT
MAXIMUM FACADE MODULATION LENGTH:	150 FT	<100 FT	<100 FT	<100 FT	<100 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	95%	65%	71%	58%	65%
MAXIMUM BUILDING FOOTPRINT:	40,000 SF <sup>(2)</sup>	11,950 SF	39,255 SF	11,210 SF	11,950 SF
MINIMUM LOT AREA:	NR	NR	33%	42%	33%
MINIMUM OPEN SPACE:	5%	15,000 SF	7,975 SF	10,419 SF	7,975 SF
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF				
<b>BUILDING FORM (PRINCIPAL BUILDING)</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>MAP 118 LOT 28</b>	<b>MAP 124 LOT 12</b>	<b>MAP 125 LOT 21</b>
BUILDING HEIGHT:	2-4 STORIES	MAP 125 LOT 21 4 STORIES <sup>(3)</sup>	MAP 118 LOT 28 5 STORIES <sup>(3)</sup>	MAP 124 LOT 12 5 STORIES <sup>(3)</sup>	MAP 125 LOT 21 4 STORIES <sup>(3)</sup>
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	0 IN	0 IN	0 IN	0 IN
MINIMUM GROUND STORY HEIGHT:	12 FT	16.5 FT	14.0 FT	13.0 FT	16.5 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10 FT	10.5 FT	10.5 FT	10 FT
FACADE GLAZING:	SHOP FRONT	70% MIN.	75%	73%	71%
ALLOWED ROOF TYPES:	FLAT, GABLE, HIP	FLAT	FLAT	FLAT	FLAT
	GABRIEL, MANSARD				

**OFF-STREET PARKING REQUIREMENTS**

PARKING SPACES REQUIRED:	REQUIRED	PROPOSED
COMMERCIAL:	NO REQUIREMENT IN DDD	0 SPACES
DWELLING UNITS:	OVER 750 SF, 1.3 SPACES PER UNIT	80 UNITS 104 SPACES
VISITOR SPACES:	1 SPACE PER 5 DWELLING UNITS	80 UNITS 16 SPACES
EXISTING HOTEL:	0.75 SPACES PER GUEST ROOM	181 ROOMS 136 SPACES
EXISTING SEATED CONDO SPACES:	SHERATON CONDOS	24 SPACES
	DEER STREET CONDOS	58 SPACES
		82 SPACES
DOWNTOWN OVERLAY DISTRICT:		4 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED:		334 SPACES
TOTAL PARKING SPACES PROVIDED:		154 SPACES
EXISTING SHERATON HOTEL PARKING ON SITE SURFACE PARKING:		154 SPACES
TOTAL SPACES PROVIDED:		340 SPACES

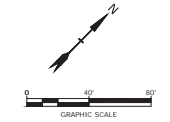
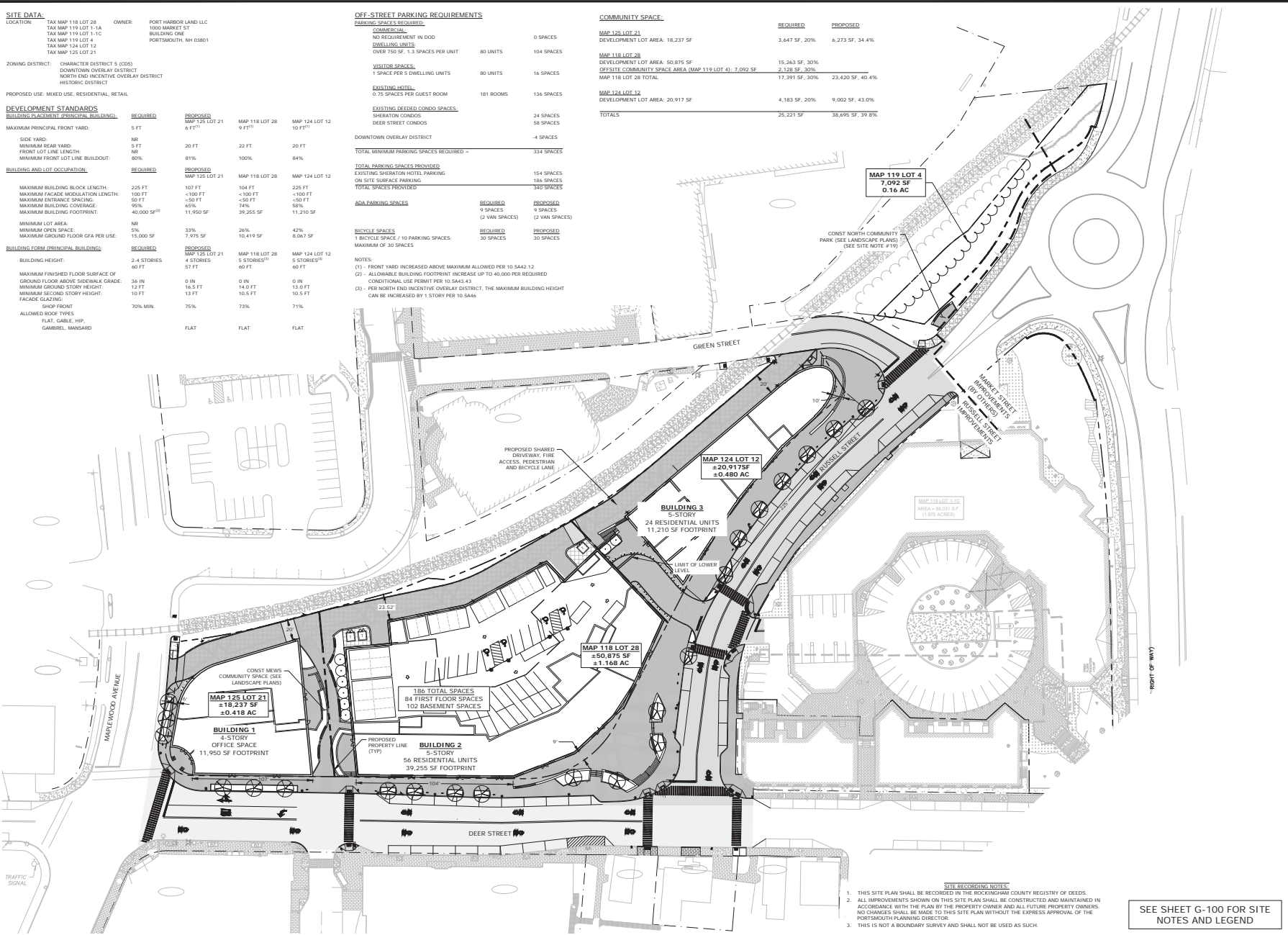
ADA PARKING SPACES: REQUIRED 9 SPACES (2 VAN SPACES) PROPOSED 9 SPACES (2 VAN SPACES)

BICYCLE SPACES: REQUIRED 1 BICYCLE SPACE + 10 PARKING SPACES. MAXIMUM OF 30 SPACES. PROPOSED 30 SPACES

NOTES:  
 (1) - FRONT YARD INCREASED ABOVE MAXIMUM ALLOWED PER 10 SA42.12  
 (2) - ALLOWABLE BUILDING FOOTPRINT INCREASE UP TO 40,000 PER REQUIRED  
 CONDITIONAL USE PERMIT PER 10 SA43.43  
 (3) - PER NORTH END INCENTIVE OVERLAY DISTRICT, THE MAXIMUM BUILDING HEIGHT CAN BE INCREASED BY 1 STORY PER 10 SA44.

**COMMUNITY SPACE:**

	REQUIRED	PROPOSED
MAP 125 LOT 21 DEVELOPMENT LOT AREA: 18,237 SF	3,647 SF, 20%	6,273 SF, 34.4%
MAP 118 LOT 28 DEVELOPMENT LOT AREA: 50,875 SF	15,263 SF, 30%	
OFF-SITE COMMUNITY SPACE AREA (MAP 119 LOT 4): 7,092 SF	2,128 SF, 30%	
MAP 119 LOT 28 TOTAL:	17,941 SF, 30%	23,420 SF, 40.4%
MAP 124 LOT 12 DEVELOPMENT LOT AREA: 20,917 SF	4,183 SF, 20%	9,002 SF, 43.0%
TOTALS:	25,221 SF	38,695 SF, 39.8%



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Two International Group

Russell Street & Deer Street  
 Portsmouth, NH

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PROJECT NO.	T5037-002	
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FILE:	T5037-002-C-DSGN.DWG	
DRAWN BY:	C.K	
CHECKED:	M.M	
APPROVED:	PAC	

**OVERALL SITE PLAN**

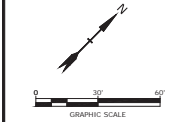
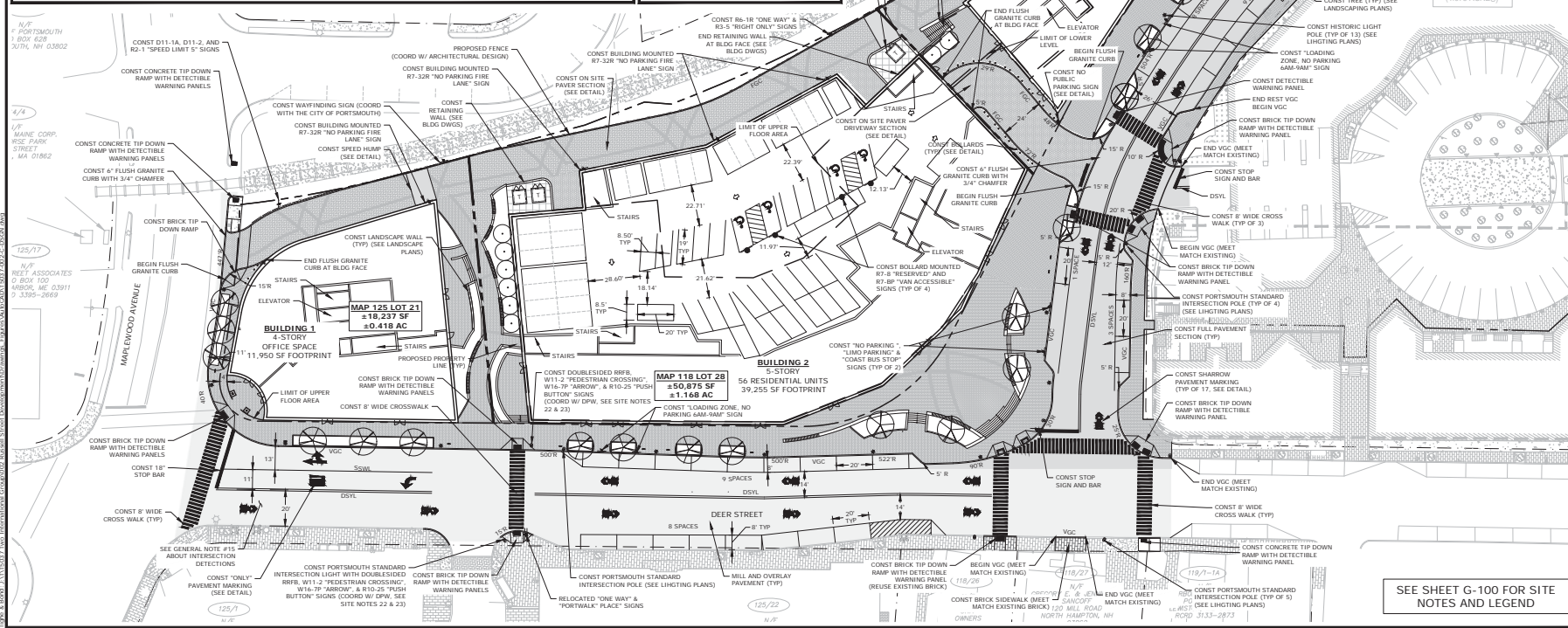
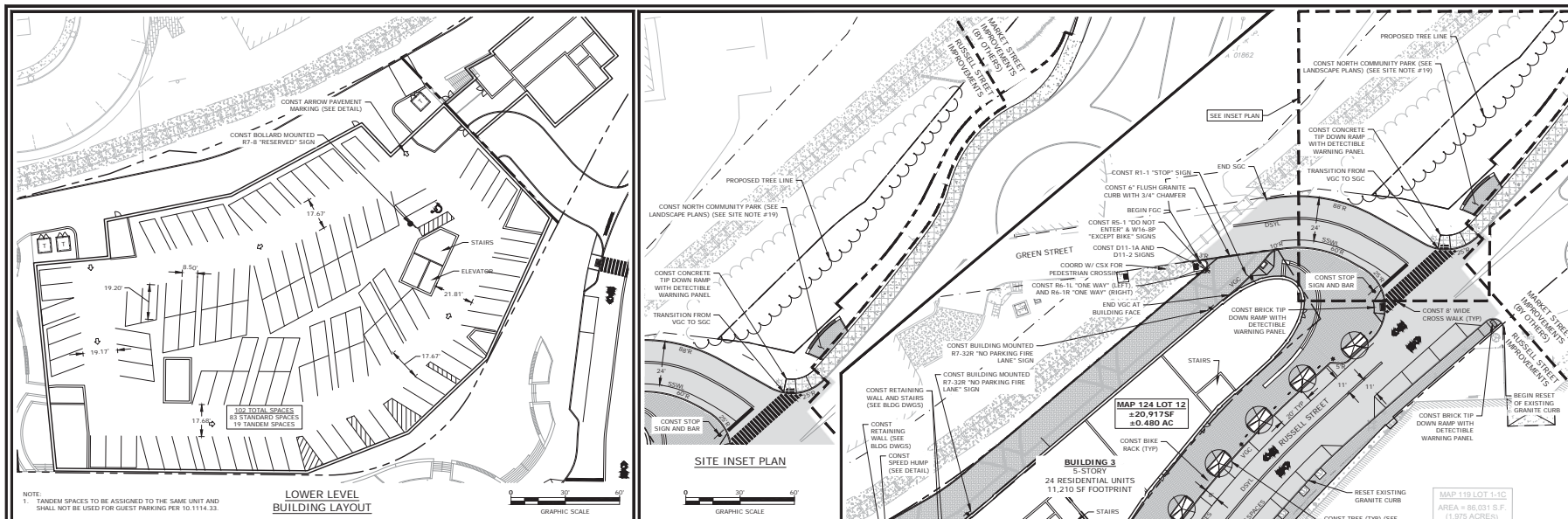
SCALE: AS SHOWN

C-102

- SITE RECORDING NOTES:**
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
  - THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.

SEE SHEET G-100 FOR SITE NOTES AND LEGEND

Mark & Short Associates, Inc. 333 State St., Suite 200, Portsmouth, NH 03801  
 603.433.1111 FAX 603.433.1112 www.markandshort.com  
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FILE:	T5037-002-C-03GN.DWG	
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APPROVED:	PAC	

**SITE PLAN**

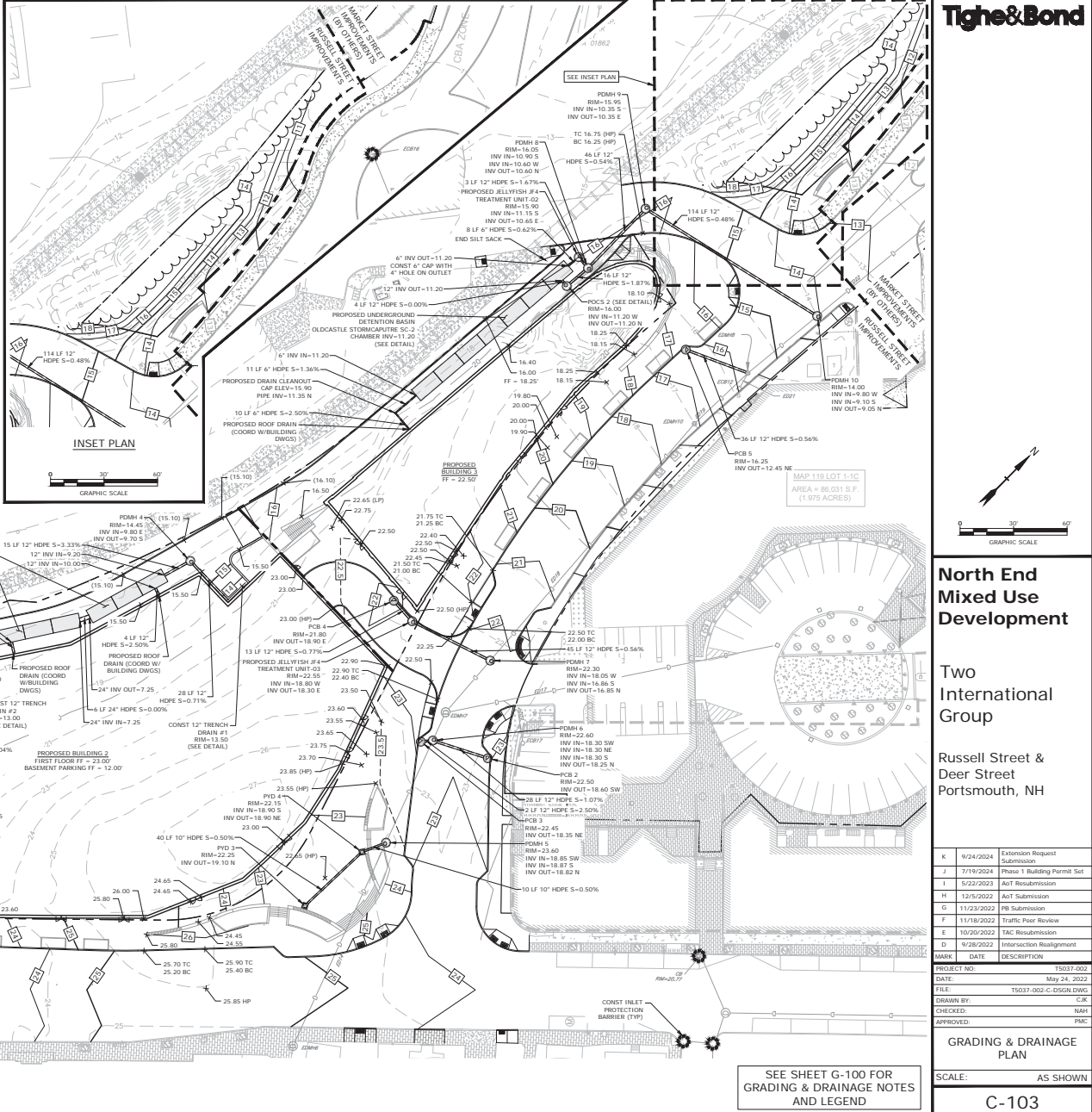
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C-102.1

**EXISTING DRAINAGE SCHEDULE**

ECB1 RM=15.36 INV. OUT=11.88 (ED1) ECB2 RM=15.31 INV. OUT=12.11 (ED2) ECB3 RM=15.39 INV. OUT=8.69 (ED3) ECB4 RM=15.31 INV. OUT=9.59 (ED4) ECB5 RM=15.73 INV. OUT=10.42 (ED5) ECB6 RM=14.26 INV. OUT=8.42 (ED6) ECB7 RM=14.48 INV. OUT=10.26 (ED7) ECB8 RM=16.49 INV. OUT=12.74 (ED8) ECB9 RM=15.78 INV. OUT=13.15 (ED9) ECB10 RM=22.49 INV. OUT=19.39 (ED10) ECB11 RM=22.51 INV. OUT=19.46 (ED11) ECB12 RM=15.69 INV. OUT=12.39 (ED12) ECB13 RM=15.76 INV. OUT=12.52 (ED13) ECB14 RM=14.26 INV. OUT=6.97 (ED14) ECB15 RM=14.00 INV. OUT=6.74 (ED15) ECB16 RM=16.49 INV. OUT=6.80 (ED16) ECB17 RM=23.85 INV. OUT=20.21 (ED17)	EDM1 RM=15.59 INV. IN=11.17 (ED1) INV. IN=11.13 (ED2) INV. OUT=7.62 (ED3) EDM2 RM=14.00 INV. IN=6.87 (ED3) INV. IN=6.79 (ED4) INV. IN=6.80 (ED4) INV. OUT=6.64 (ED4) EDM3 RM=15.91 INV. IN=6.41 (ED6) INV. IN=10.43 (ED7) INV. OUT=12.52 (ED10) EDM4 RM=14.12 INV. IN=6.26 (ED8) INV. IN=9.25 (ED10) INV. IN=10.00 INV. OUT=6.74 (ED14) EDM5 RM=16.60 INV. IN=12.98 (ED12) INV. IN=12.50 (ED13) INV. IN=5.74 (ED11) INV. OUT=20.21 (ED17)	EDM11 RM=15.74 INV. IN=6.96 (ED23) INV. IN=6.74 (ED24) INV. OUT=5.94 (ED25) EDM12 RM=11.55 INV. IN=19.49 (ED16) INV. IN=18.19 (ED15) INV. IN=18.29 (ED15) INV. IN=18.13 (ED14) INV. OUT=18.18 (ED18) EDM13 RM=11.45 INV. IN=3.7 (ED29) INV. OUT=2.27 (ED30) EDM14 RM=11.55 INV. IN=12.26 (ED20) INV. IN=12.28 (ED21) INV. OUT=9.97 (ED22) EDM15 RM=11.26 INV. IN=5.50 (ED26) INV. IN=5.54 (ED25) INV. OUT=3.70 EDM16 RM=6.89 INV. IN=10.43 (ED18) INV. OUT=10.31 (ED18)
--	--	--

**EXISTING DRAINAGE PIPE SCHEDULE**

LINE#	LENGTH	TYPE	SLOPE
ED2	9'	12" CONC	S=0.078
ED3	38'	12" CONC	S=0.028
ED4	62'	12" CONC	S=0.019
ED5	10'	12" CONC	S=0.071
ED6	19'	12" CONC	S=0.020
ED7	45'	12" CONC	S=0.004
ED8	12'	12" CONC	S=0.020
ED9	18'	12" CONC	S=0.0028
ED10	18'	12" CONC	S=0.0077
ED11	22'	12" CONC	S=0.0062
ED12	116'	12" CONC	S=0.0041
ED13	44'	12" CONC	S=0.0066
ED14	30'	12" CONC	S=0.0216
ED15	202'	12" CONC	S=0.0097
ED16	43'	12" CONC	S=0.008
ED17	12'	12" CONC	S=0.0099
ED18	186'	8" PVC	(UNDESIGNED)
ED19	210'	12" CONC	S=0.0369
ED20	38'	12" CONC	S=0.0196
ED21	42'	12" CONC	S=0.0050
ED22	7'	12" CONC	S=0.0157
ED23	233'	12" CONC	S=0.0180
ED24	59'	12" CONC	S=0.0148
ED25	61'	12" CONC	S=0.0050
ED26	36'	12" CONC	S=0.0151
ED27	241'	12" CONC	S=0.0078
ED28	161'	48" CONC	S=0.0041
ED29	104'	48" CONC	S=0.0047
ED30	250'	48" CONC	S=0.0047



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APPROVED:	PAC	

**GRADING & DRAINAGE PLAN**

SCALE: AS SHOWN

SEE SHEET G-100 FOR GRADING & DRAINAGE NOTES AND LEGEND

DATE: 05/24/2024 10:42:03 AM  
DRAWN BY: C.K  
CHECKED BY: N.M  
APPROVED BY: PAC



**GENERAL PROJECT INFORMATION**

PROJECT APPLICANT: PORT HARBOR LAND, LLC
1000 MARKET STREET, BUILDING ONE
PORTSMOUTH, NH 02870
PROJECT NAME: PROPOSED MIXED USE DEVELOPMENT
PROJECT MAP / LOT: MAP 118 / LOT 2B
MAP 119 / LOT 11A
MAP 119 / LOT 1-C
MAP 119 / LOT 4
MAP 124 / LOT 2
MAP 125 / LOT 21
PROJECT ADDRESS: RUSSELL STREET & DEER STREET
PORTSMOUTH, NH 02801
PROJECT LATITUDE: 43°-04'-43" N
PROJECT LONGITUDE: 70°-45'-41" W

**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF THE CONSTRUCTION OF AN OFFICE BUILDING AND TWO MIXED USE RESIDENTIAL BUILDINGS WITH ASSOCIATED SITE IMPROVEMENTS.

**DISTURBED AREA**

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 2.1 ACRES.

**SOIL CHARACTERISTICS**

BASED ON THE USCS, THE SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH IS EXCESSIVELY DRAINING SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF A.

**NAME OF RECEIVING WATERS**

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH'S CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO NORTH MILL POND THEN TO THE PISCATAQUIA RIVER OR DIRECTLY TO THE PISCATAQUIA RIVER.

**CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:**

- 1. CUT AND CLEAR TREES.
2. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
- NEW CONSTRUCTION
- CONTROL OF DUST
- CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
3. ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
4. CLEAR AND DISPOSE OF DEBRIS.
5. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
6. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
7. BEGIN PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
9. SEDIMENT TRAPS AND/OR BARRIERS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.
10. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
11. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

**SPECIAL CONSTRUCTION NOTES:**

- 1. THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
2. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ACR 3800 RELATIVE TO INVASIVE SPECIES.

**EROSION CONTROL NOTES:**

- 1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE CONSTRUCTION MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHIDES.
2. PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
3. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
4. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITH THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
6. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
7. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
8. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
9. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

**STABILIZATION:**

- 1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
B. A MINIMUM OF 85% VEGETATED GROWTH HAS ESTABLISHED.
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.3 HAVE BEEN INSTALLED.
2. WINTER STABILIZATION PRACTICES:
A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STORM EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE TENTH (10TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
A. TEMPORARY SEEDING.
B. MULCHING.

- 4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
5. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OF PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTHWORKS SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
6. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

**DUST CONTROL:**

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
2. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT BE LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

**STOCKPILES:**

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS MULCHING, DIVERSION CHANNELS WITH FLARED ENDS TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

**OFF SITE VEHICLE TRACKING:**

- 1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

**VEGETATION:**

- 1. TEMPORARY GRASS COVER:
A. SEEDBED PREPARATION:
a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE.
b. SEEDING:
a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE.
b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH RECOMMENDED BY THE RATE OF APPLICATION OF FERTILIZER.
c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER), HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.
c. MAINTENANCE:
a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED, AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
2. VEGETATIVE PRACTICE:
A. FOR PERMANENT MEASURES AND PLANTINGS:
a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
b. MORE THAN ONE APPLICATION SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
c. SOIL CONDITIONS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY POLYMERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH.
d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
e. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED, ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDDED, AND ALL NOXIOUS WEEDS REMOVED.
f. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED.
g. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE.
h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE.
i. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE.

**CONCRETE WASHOUT AREA:**

- 1. THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE.
A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY.
B. IF IT IS NECESSARY, SITE CONSTRUCTION SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER.
C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM FILTER, SAND, SANDWAST AND EROSION CONTROL BLANKETS.
D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

**ALLOWABLE NON-STORMWATER DISCHARGES:**

- 1. FIRE FIGHTING TANKS.
2. FIRE HYDRANT FLOWING.
3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED.
4. WATER USED TO CONTROL DUST.
5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLOWING.
6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED.
7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED.
8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION.
9. UNCONTAMINATED GROUND WATER DISCHARGES.
10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED.
11. UNCONTAMINATED EXCAVATION DEWATERING.
12. LANDSCAPE IRRIGATION.

**WASTE DISPOSAL:**

- 1. WASTE MATERIAL:
A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECYCLING CONTAINERS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSITE.
B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE.
C. DURING CONSTRUCTION, RUNOFF SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE:
A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.
B. THE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE:
A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

**SPILL PREVENTION:**

- 1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT PRACTICES OUTLINED BELOW.
2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE.
b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE.
c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
g. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
d. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
e. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
3. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
i. AUTOCLEUM PRODUCTS:
a. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO MONITOR LEAKAGE.
b. AUTOCLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
ii. SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY:
i. INSPECT FUEL STORAGE AREAS WEEKLY.
ii. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN ONE FOOT FROM THE FUEL STORAGE AREA AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
iii. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
iv. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
viii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
(1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
(2) PLACE DRIP PANS UNDER SPOTS, VALVES, AND PUMPS.
(3) HAVE SPLIT CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
(4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
(5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
ix. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES. THESE REQUIREMENTS ARE SUMMARIZED IN DW-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.
https://www.des.nh.gov/GOVERNANCE/COMMISSIONERS/BPM/ACTS/ETS/DWGDOCUMENTS/DWG-22-6.PDF
x. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS.
xi. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER.
xii. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
xiii. PAINTS:
i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.
ii. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM.
iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

**SPILL PREVENTION AND CLEANUP:**

- 1. SPILL PREVENTION AND CLEANUP:
a. ALL SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED.
f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
2. VEHICLE FUELING AND MAINTENANCE PRACTICE:
a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY.
b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY.
c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED.

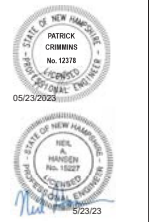
- d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA.
e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE.
f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REFUELING FLUID.

**EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES**

- 1. THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ON-SITE AT ALL TIMES.
2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:
A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER.
B. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR.
C. A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES.
D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

**BLASTING NOTES:**

- 1. CONTRACTOR SHALL CONTACT THE NHDES PRIOR TO COMMENCING ANY BLASTING ACTIVITIES FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT:
A. A BLASTING PLAN THAT IDENTIFIES:
a. WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR.
b. THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS. AND
c. SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.
IF MORE THAN 5000 CUBIC YARDS OF BLAST ROCK WILL BE GENERATED AND THERE ARE ONE OR MORE PUBLIC DRINKING WATER WELLS WITHIN 2000 FEET OF THE BLASTING ACTIVITIES, A PLAN TO MONITOR GROUNDWATER TO DETECT ANY CONTAMINATION IN SUFFICIENT TIME TO PROTECT THE WATER SUPPLY WELLS SHALL BE PROVIDED TO THE NHDES. THE GROUNDWATER MONITORING PLAN SHALL INCLUDE:
a. MONITORING FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY WELLS IN THE AREA.
b. THE FOLLOWING BEST MANAGEMENT PROCEDURES FOR BLASTING SHALL BE COMPLIED WITH:
LOADING PRACTICES - THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
• DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INCLUDE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
• EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
• SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
• LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEAH OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
• LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
• EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DICKING AND COLUMN RISE NEED TO BE ATTENDED TO.
b. POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
• EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
• EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS OILS OF THE PRODUCT UPON GROUNDWATER.
• PREVENTION OF MISTRIES, APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISTRIE.
• MUCK PILES MANAGEMENT - MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
• REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
• MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATERS.
c. SPILL PREVENTION AND SILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT DURING BLASTING OPERATIONS. THE MEASURES TO PREVENT SUCH RELEASES SHALL BE DETAILED IN THE GROUNDWATER MONITORING REPORT AND COMPLY WITH THE MEASURES AND BEST MANAGEMENT PRACTICES LISTED ON THIS SHEET.



**North End Mixed Use Development**

**Two International Group**

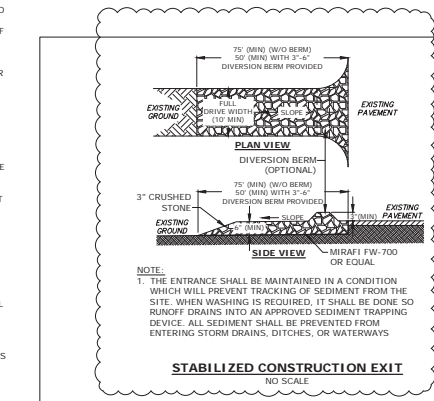
Russell Street & Deer Street Portsmouth, NH

Table with 2 columns: Date and Description. Includes entries for Act Resubmission, Act Submission, PS Submission, Traffic Peer Review, TAC Resubmission, Intersection Realignment, TAC Resubmission, TAC Resubmission, TAC Resubmission, and TAC Resubmission.

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FILE: T5307-002-C-0115.DWG
DRAWN BY: CLK
CHECKED: JMM
APPROVED: PAC

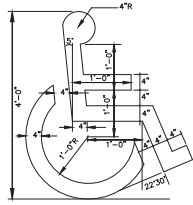
**EROSION CONTROL NOTES AND DETAILS SHEET**

SCALE: AS SHOWN



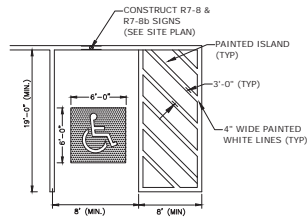






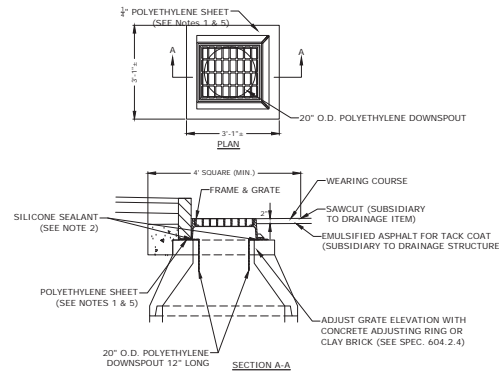
- NOTES:**
1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.
  2. SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS.

**ACCESSIBLE SYMBOL**  
NO SCALE



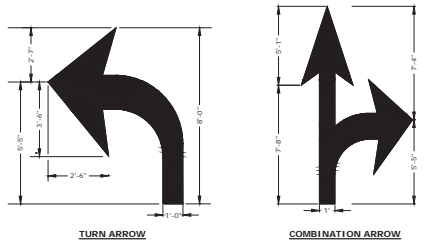
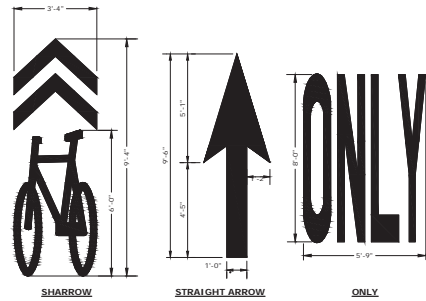
- NOTES:**
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
  2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN W/DISABILITIES ACT.

**ACCESSIBLE PARKING STALL**  
NO SCALE



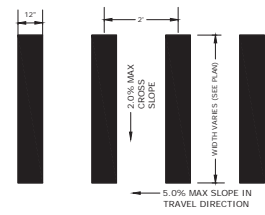
- NOTES:**
1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
  2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.
  3. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
  4. USE ON DRAINAGE STRUCTURES 4" MIN. DIAMETER ONLY.
  5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
  6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 4" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
  7. PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
  8. SEE NIDOT DR-04, '01-08, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS', FOR ADDITIONAL INFORMATION.
  9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER.

**POLYETHYLENE LINER**  
NO SCALE



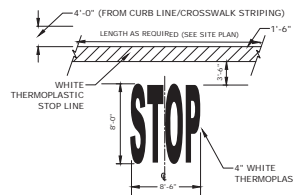
- NOTES:**
1. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.
  2. MULTI-WORD MESSAGES SHALL READ "UP"; THAT IS, THE FIRST WORD SHALL BE NEAREST THE APPROACHING DRIVER.
  3. THE WORD "ONLY" SHALL NOT BE USED WITH THROUGH OR COMBINATION ARROWS, AND SHALL NOT BE USED ADJACENT TO A BROKEN LANE LINE. A WORD/SYMBOL SHALL PRECEED THE WORD "ONLY".
  4. COMBINATION ARROWS MAY BE COMPRISED OF 2 SINGLE ARROWS (e.g. TURN AND THROUGH ARROWS). HOWEVER, THE SHAFTS OF THE ARROWS SHALL COINCIDE AS SHOWN.
  5. PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
  6. WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS.
  7. ALL STOP BARS, WORDS, SYMBOLS AND ARROW SHALL BE THERMOPLASTIC.

**PAVEMENT MARKINGS**  
NO SCALE



- NOTE:**
1. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

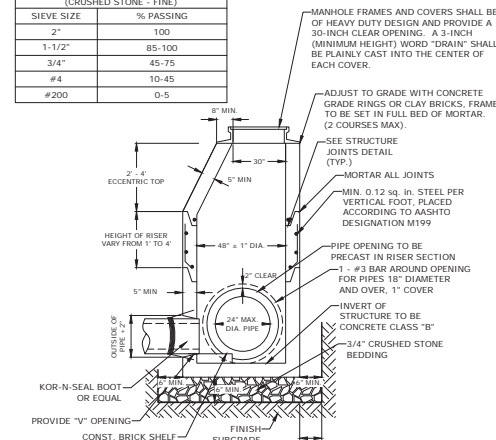
**CROSSWALK STRIPING**  
NO SCALE



- NOTES:**
1. PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
  2. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.

**STOP BAR AND LEGEND**  
NO SCALE

NIDOT ITEM No. 304.4 (CRUSHED STONE - FINE)	
SIEVE SIZE	% PASSING
2"	100
1-1/2"	85-100
3/4"	45-75
#4	10-45
#200	0-5



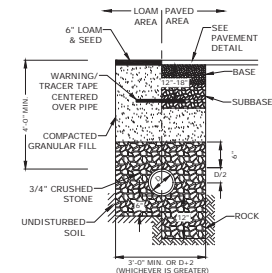
- NOTES:**
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
  2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
  3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
  4. THE STRUCTURES SHALL BE DESIGNED FOR HOV LOADING.
  5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS).
  6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
  7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
  8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
  9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
  10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

**4" DIAMETER DRAIN MANHOLE**  
NO SCALE



- NOTES:**
1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL).
  2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
  3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP.

**"ELIMINATOR" OIL  
FLOATING DEBRIS TRAP**



- NOTES:**
1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
  2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

**STORM DRAIN TRENCH**  
NO SCALE

**North End  
Mixed Use  
Development**

Two  
International  
Group

Russell Street &  
Deer Street  
Portsmouth, NH

NO.	DATE	DESCRIPTION
H	12/5/2022	ACT Submission
G	11/23/2022	FB Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

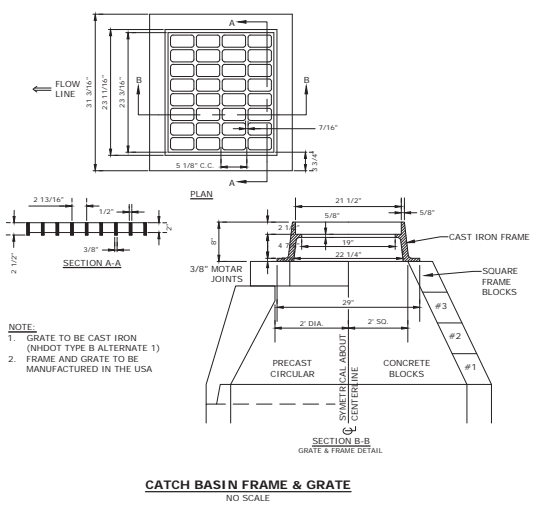
PROJECT NO. 15037-002  
DATE: May 24, 2022  
FILE: 15037-002-C-DTLS.DWG  
DRAWN BY: CK  
CHECKED: NH  
APPROVED: PAC

**DETAILS SHEET**

SCALE: AS SHOWN

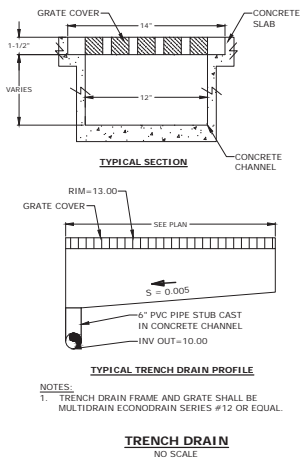
**C-504**





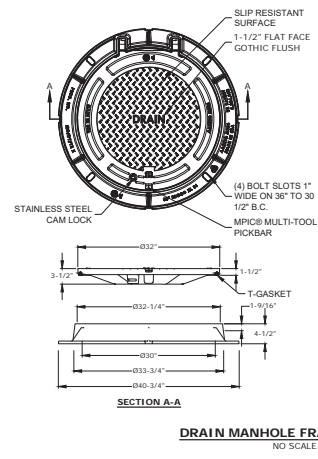
- NOTE:**  
 1. GRATE TO BE CAST IRON (NHDOT TYPE B ALTERNATE 1)  
 2. FRAME AND GRATE TO BE MANUFACTURED IN THE USA

**CATCH BASIN FRAME & GRATE**  
NO SCALE



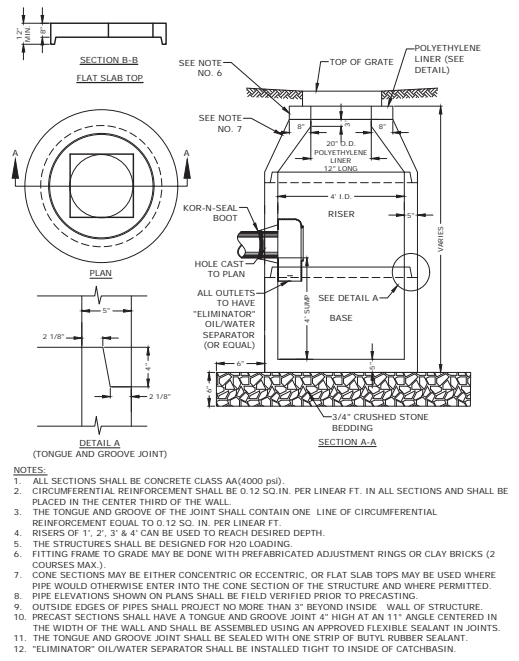
- NOTES:**  
 1. TRENCH DRAIN FRAME AND GRATE SHALL BE MULTIDRAIN ECONODRAIN SERIES #12 OR EQUAL.

**TRENCH DRAIN**  
NO SCALE



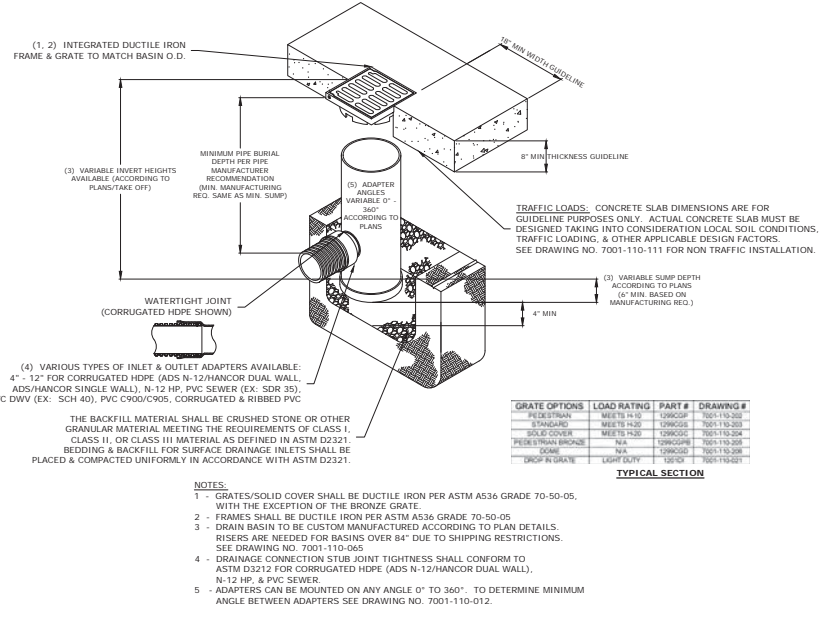
- NOTES:**  
 1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL BY EJ CO.  
 2. ALL DIMENSIONS ARE NOMINAL.  
 3. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:  
 A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.  
 B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.  
 C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.  
 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER.

**DRAIN MANHOLE FRAME & COVER**  
NO SCALE



- NOTES:**  
 1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi)  
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.  
 3. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.  
 4. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.  
 5. THE STRUCTURES SHALL BE DESIGNED FOR 100 LBS/LOADING.  
 6. FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX.)  
 7. CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.  
 8. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.  
 9. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.  
 10. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.  
 11. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.  
 12. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

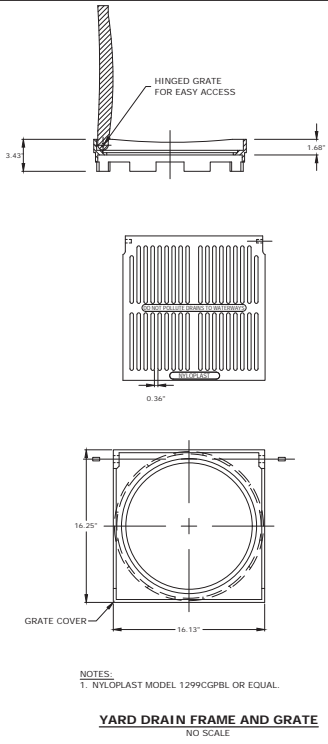
**4' DIAMETER CATCHBASIN**  
NO SCALE



THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321 BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1299CSP	7001-110-202
TRANSITS	MEETS H-20	1299CSF	7001-110-203
SKID COVER	MEETS H-30	1299CSL	7001-110-204
TRUCK TRAILER	N/A	1299CSH	7001-110-205
DOSE	N/A	1299CSJ	7001-110-206
DRIP PLUG RATE	LIGHT DUTY	1299CFL	7001-110-211

**YARD DRAIN**  
NO SCALE



- NOTES:**  
 1. NYLOPLAST MODEL 1299CPBL OR EQUAL.

**YARD DRAIN FRAME AND GRATE**  
NO SCALE

**North End Mixed Use Development**

Two International Group

Russell Street & Deer Street  
Portsmouth, NH

NO.	DATE	DESCRIPTION
H	12/5/2022	ACT Submission
G	11/23/2022	FB Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

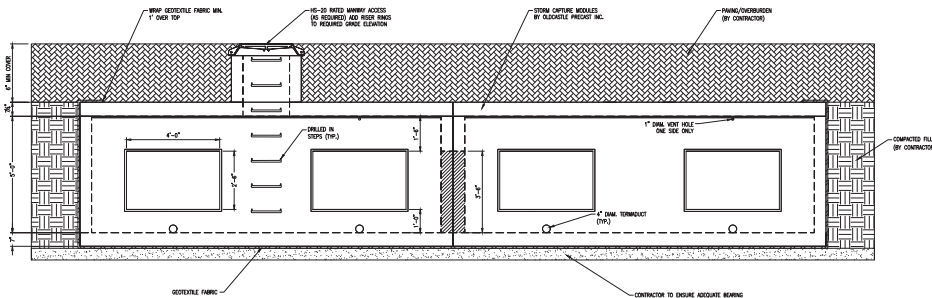
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 PROJECT NO. T5037-002  
 DATE May 24, 2022  
 FILE T5037-002-C-01LS.DWG  
 DRAWN BY: CJK  
 CHECKED: NHH  
 APPROVED: PAC

DETAILS SHEET

SCALE: AS SHOWN

C-505

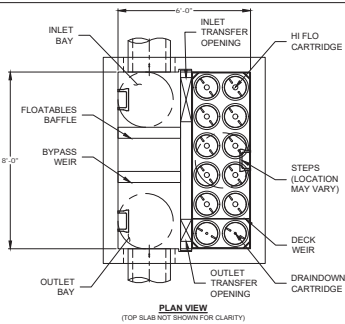
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 PLOT BY: NHH



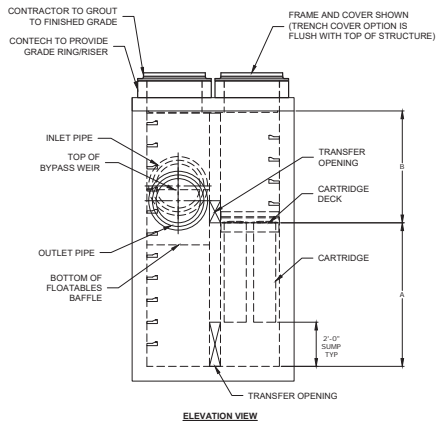
TYPICAL SECTION

- NOTES:
- UNDERGROUND DETENTION SYSTEM TO BE OLDCASTLE STORMCAPTURE SC-S DESIGNED FOR H-20 LOADING.
  - CONTRACTOR TO SUBMIT BASIN SPECIFICATIONS AND FINAL MANUFACTURES DESIGN TO ENGINEER FOR APPROVAL.
  - MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
  - A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND DETENTION BASINS.

OLDCASTLE SC-S DETAIL  
NO SCALE



PLAN VIEW  
(TOP SLAB NOT SHOWN FOR CLARITY)



ELEVATION VIEW

CONTECH JELLYFISH STORMWATER FILTER (JFPD0806)

NO SCALE

JELLYFISH JFPD0806 - DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD PEAK OVERTURN STYLE WITH PRECAST TOP SLAB IS SHOWN. ALTERNATE OFFLINE WALL AND/OR BALLON ORIENTATION ARE AVAILABLE. PEAK CAPACITY CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

CARTRIDGE SELECTION	56"	40"	27"	18"
CARTRIDGE LENGTH	56"	40"	27"	18"
OUTLET INVERT ELEVATION (MINIMUM)	0.18	0.15	0.08	0.07
FLOW RATE (GPM) (DRAINDOWN CAPS PER CARTRIDGE)	0.18	0.15	0.08	0.07
MAX. TREATMENT (GPM)	1.86	1.47	0.86	0.54
REQ'D CARTRIDGES PER (MIN) (G)	3.00	2.67	1.60	1.00



SITE SPECIFIC DATA REQUIREMENTS

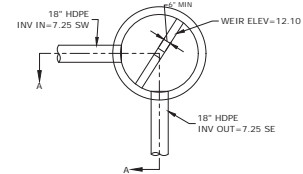
STRUCTURE ID	JF1
WALL SIZE	JFPD0806
ENTERING QUALITY FLOW RATE (GPM)	1.50
PEAK FLOW RATE (GPM)	1.45
ENTERING PERIOD OF PEAK FLOW (MINS)	15
TOP CARTRIDGE REQUIRED (HP 700)	31
CARTRIDGE SIZE	56"

- GENERAL NOTES:
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. [www.ContechES.com](http://www.ContechES.com)
  - JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  - STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' - 3' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
  - STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
  - OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
  - THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.
  - NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

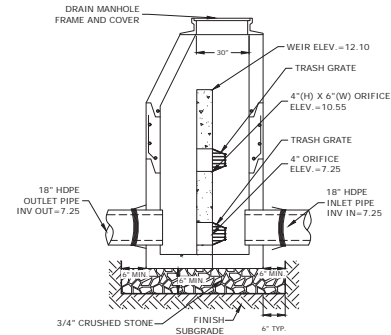
- INSTALLATION NOTES
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
  - CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (866) 750-2318.

- NOTE:
- A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND FILTRATION UNITS.

Jellyfish Filter  
www.ContechES.com  
155467950 FAX



PLAN VIEW



- NOTES:
- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE (TYPE II CEMENT).
  - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE THIRD WALL.
  - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
  - THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
  - ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.

POS-01  
NO SCALE

Tight & Bond



North End  
Mixed Use  
Development

Two  
International  
Group

Russell Street &  
Deer Street  
Portsmouth, NH

MARK	DATE	DESCRIPTION
I	5/22/2023	Act Resubmission
H	12/5/2023	Act Resubmission
G	11/23/2023	PS Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

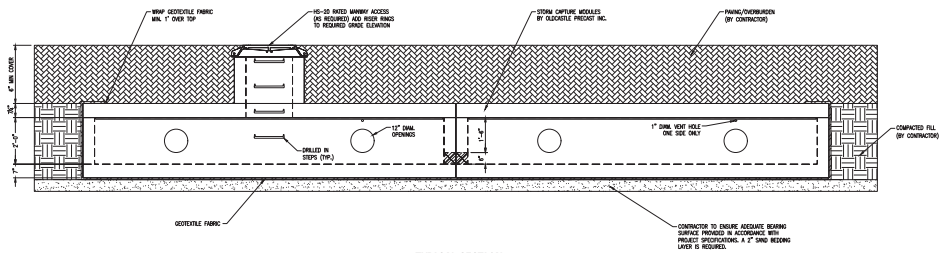
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PROJECT NO: T5037-002  
DATE: May 24, 2022  
FILE: T5037-002-C-DT-5.DWG  
DRAWN BY: CLK  
CHECKED: NWH  
APPROVED: PAC

DETAILS SHEET

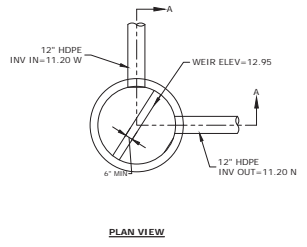
SCALE: AS SHOWN

C-506

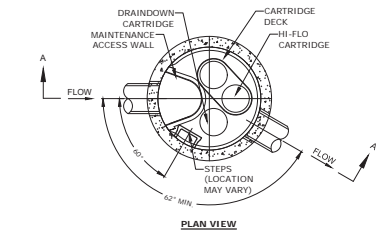


- NOTES:**
1. UNDERGROUND DETENTION SYSTEM TO BE OLDCASTLE STORMCAPTURE SC-2 DESIGNED FOR H-20 LOADING. CONTRACTOR TO SUBMIT BASIN SPECIFICATIONS AND FINAL MANUFACTURER'S DESIGN TO ENGINEER FOR APPROVAL.
  2. MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
  3. A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND DETENTION BASINS.

**OLDCASTLE SC-2 DETAIL**  
NO SCALE



**PLAN VIEW**



**PLAN VIEW**

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. 60\"/>

CARTRIDGE SELECTION	
CARTRIDGE DEPTH	54"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-5"
FLOW RATE HIGH-FLO / DRAINDOWN (cfs) (per cart)	0.18 / 0.09
MAX. CARTS HIGH-FLO / DRAINDOWN	2 / 1

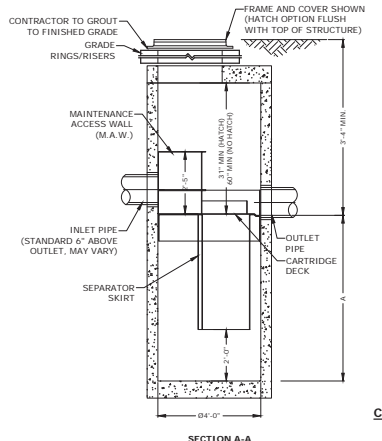
SITE SPECIFIC DATA REQUIREMENTS		
STRUCTURE ID	2	3
WATER QUALITY FLOW RATE (cfs)	0.26	0.05
# OF CARTRIDGES REQUIRED (HF / DD)	(2/1)	(1/1)
CARTRIDGE SIZE	54"	54"

- GENERAL NOTES:**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. [www.contechcs.com](http://www.contechcs.com)
  3. JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  4. STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0'-3" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
  5. STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
  6. NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

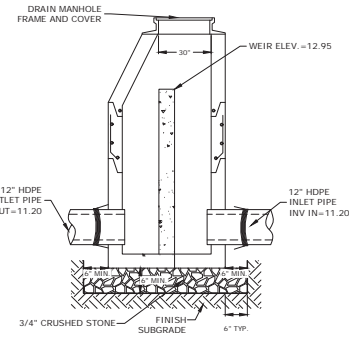
- INSTALLATION NOTES**
- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - C. CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHINKING GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
  - D. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
  - E. CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (866) 740-3318.

- NOTE:**
1. A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND FILTRATION UNITS.

**CONTECH JELLYFISH (JF4)**  
NO SCALE



**SECTION A-A**



**POS-02**  
NO SCALE

- NOTES:**
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE (TYPE 1 CEMENT).
  2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE THIRD WALL.
  3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
  4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
  5. ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.

**North End Mixed Use Development**

Two International Group

Russell Street & Deer Street  
Portsmouth, NH

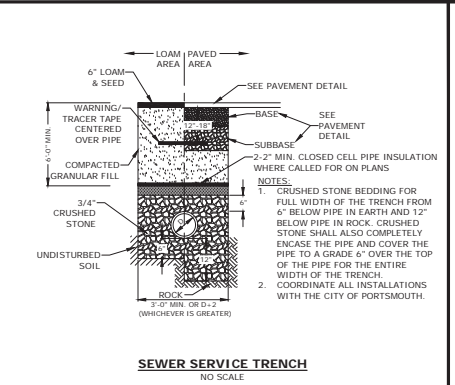
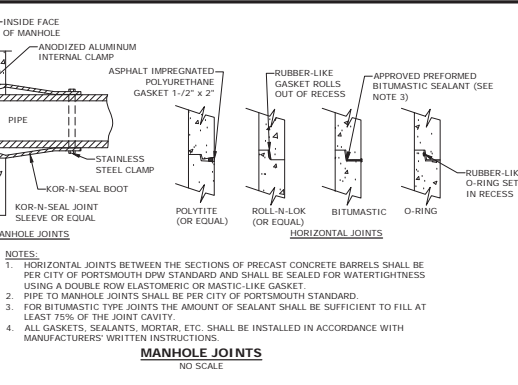
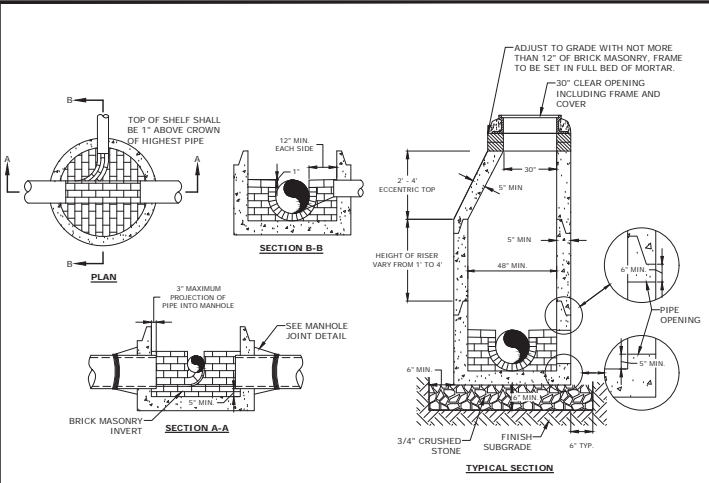
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H	12/5/2023	Act Submission
G	11/23/2022	PS Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

**DETAILS SHEET**

SCALE: AS SHOWN

**C-507**

DATE: 05/23/2023 10:19:02 AM  
 USER: N.HANSEN  
 PROJECT: 15037-002-C-011.5.DWG  
 FILE: 15037-002-C-011.5.DWG  
 DRAWN BY: CKK  
 CHECKED: NHH  
 APPROVED: PAC



**MANHOLE JOINTS**  
NO SCALE

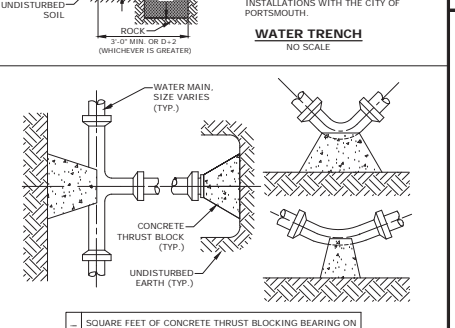
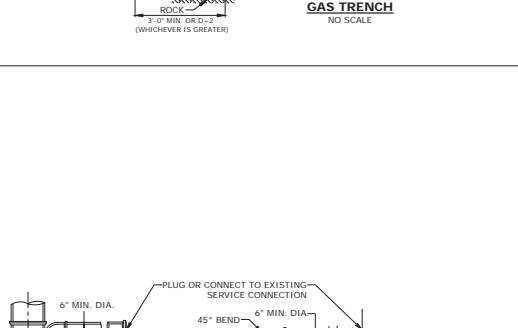
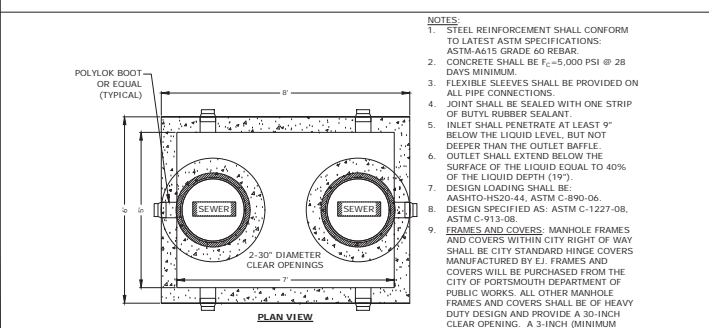
NOTES:  
1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.  
2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.  
3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.  
4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

**SEWER SERVICE TRENCH**  
NO SCALE

NOTES:  
1. CRUSHED STONE BEDDING FOR FULL WIDTH OF THE TRENCH FROM 6\"/>

**GAS TRENCH**  
NO SCALE

NOTE:  
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6\"/>



**1,000 GALLON GREASE TRAP**  
NO SCALE

NOTES:  
1. STEEL REINFORCEMENT SHALL CONFORM TO LATEST ASTM SPECIFICATIONS. ASTM-A615 GRADE 60 REBAR.  
2. CONCRETE SHALL BE  $f_c = 5,000$  PSI @ 28 DAYS MINIMUM.  
3. FLEXIBLE SLEEVES SHALL BE PROVIDED ON ALL PIPE CONNECTIONS.  
4. JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.  
5. INLET SHALL PENETRATE AT LEAST 9\"/>

**STANDARD SERVICE LATERAL CONNECTION**  
NO SCALE

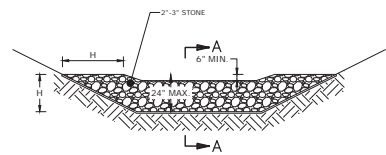
NOTES:  
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.  
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.  
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.  
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.  
5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

**THRUST BLOCKING DETAIL**  
NO SCALE

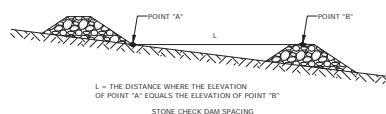
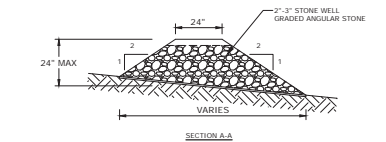
NOTES:  
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.  
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.  
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.  
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.  
5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

DATE: 05/01/2022 10:09:02 AM  
 DRAWN BY: CJK  
 CHECKED: NWH  
 APPROVED: PAC  
 PROJECT NO: 15037-002  
 DATE: May 24, 2022  
 FILE: 15037-002-C-DTLS.DWG  
 DRAWN BY: CJK  
 CHECKED: NWH  
 APPROVED: PAC  
 SHEET NO: C-508



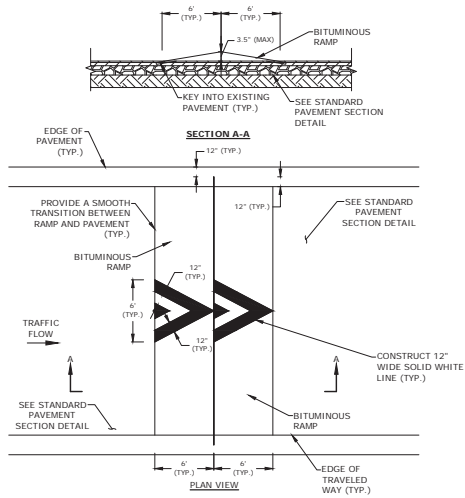


BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12



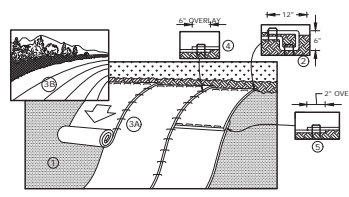
**STONE CHECK DAM**  
NO SCALE

- NOTES:
- CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
  - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
  - THE CHECK DAM SHOULD NOT BE USED IN A FLOWING STREAM.
  - CHECK DAMS SHOWN ON THE DRAWINGS SHOULD BE LEFT IN PLACE PERMANENTLY.
  - CHECK DAMS INSTALLED AS PART OF TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED.
    - IN TEMPORARY DITCHES AND SWALES, CHECK DAMS SHOULD BE REMOVED AND THE DITCH FILLED IN WHEN IT IS NO LONGER NEEDED.
    - IN PERMANENT STRUCTURES, CHECK DAMS SHOULD BE REMOVED WHEN PERMANENT LINING HAS BEEN ESTABLISHED. IF THE PERMANENT LINING IS VEGETATION, THEN THE CHECK DAM SHOULD BE RETAINED UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEEDS AND MULCHED IMMEDIATELY AFTER REMOVAL.



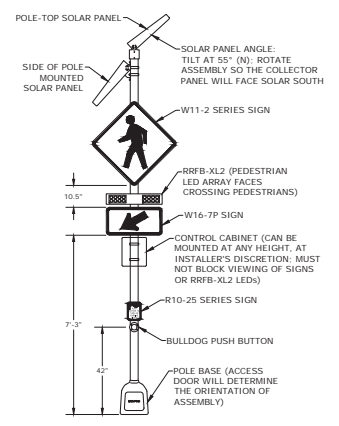
NOTE:  
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

**SPEED HUMP CROSS SECTION**  
NO SCALE



- NOTES:
- EROSION CONTROL BLANKET SHALL BE AN ALL NATURAL PRODUCT WITH NO PHOTO DEGRADABLE COMPONENTS. NORTH AMERICAN GREEN SC1508N OR APPROVED EQUAL.
  - STAKES SHALL BE BIODEGRADABLE BIOSTAKES OR ALL NATURAL WOOD ECOSTAKES OR APPROVED EQUAL. THE LENGTH OF STAKES SHALL BE BASED OFF OF THE MANUFACTURERS RECOMMENDATION.
  - PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, COMPOST AND SEED.
  - BEGIN AT THE TOP OF THE SLOPE, 36" OVER THE GRADE BREAK, BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UPSLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAKES IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAKING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAKES ACROSS THE WIDTH OF THE BLANKET.
  - ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAKES IN APPROPRIATE LOCATIONS AS SHOWN ON THE MANUFACTURERS PATTERN GUIDE.
  - THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8" INCHES MATERIAL UTILIZED.

**EROSION CONTROL BLANKET**  
NO SCALE



**RAPID RECTANGULAR FLASHING BEACON (RRFB)**  
NO SCALE

**North End Mixed Use Development**

Two International Group

Russell Street & Deer Street  
Portsmouth, NH

MARK	DATE	DESCRIPTION
I	1/22/2023	Asst Resubmission
H	12/5/2022	Asst Submission
G	11/23/2022	FB Submission
F	11/18/2022	Traffic Peer Review
A	10/26/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
	May 24, 2022	
PROJECT NO.	T5037-002	
FILE	T5037-002-C-DT15.DWG	
DRAWN BY:	CK	
CHECKED:	NH	
APPROVED:	PAC	

DETAILS SHEET

SCALE: AS SHOWN

DATE: 05/23/2023 10:49:36 AM  
 USER: N.HANSEN  
 PLOT: T:\Projects\2023\North End Mixed Use Development\Drawings\T5037-002-C-DT15.DWG

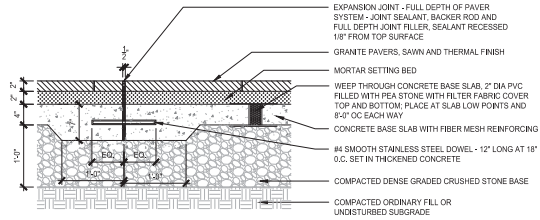




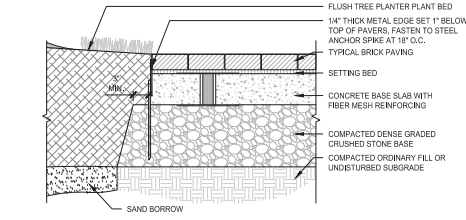


NOTE:

1. ALIGN EXPANSION JOINT WITH PAVER JOINT.
2. PROVIDE EXPANSION JOINTS AT 20' ON CENTER OR AS SHOWN ON DRAWINGS.
3. PROVIDE CALKED CONSTRUCTION JOINT WHERE PAVING ABUTS VERTICAL SURFACE.
4. THE JOINTS BETWEEN GRANITE PAVER PIECES TO BE 1/8" MORTAR JOINTS.



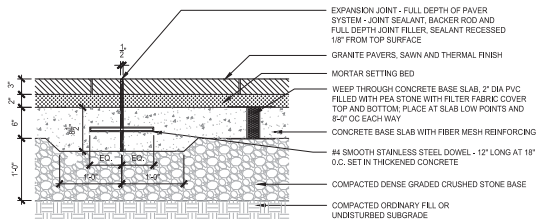
**1 GRANITE PAVERS ON CONCRETE BASE - PEDESTRIAN**  
SCALE: 1"=1'-0"



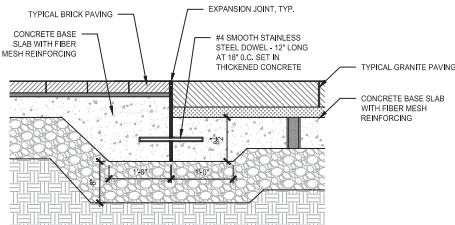
**4 METAL EDGE AT BRICK PAVING ABUTTING PLANTING BED**  
SCALE: 1"=1'-0"

NOTE:

1. ALIGN EXPANSION JOINT WITH PAVER JOINT.
2. PROVIDE EXPANSION JOINTS AT 20' ON CENTER OR AS SHOWN ON DRAWINGS.
3. PROVIDE CALKED CONSTRUCTION JOINT WHERE PAVING ABUTS VERTICAL SURFACE.
4. THE JOINTS BETWEEN GRANITE PAVER PIECES TO BE 1/8" MORTAR JOINTS.



**2 GRANITE PAVERS ON CONCRETE BASE - VEHICULAR**  
SCALE: 1"=1'-0"



**3 GRANITE TO BRICK PAVING TRANSITION**  
SCALE: 1"=1'-0"

**North End  
Mixed Use  
Development**

Two  
International  
Group

Russell Street &  
Deer Street  
Portsmouth, NH

F	11/23/2022	PS Submission
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	TS037-002	
DATE	May 24, 2022	
FILE	TS037-002-L-05GN-WORKING.DWG	
DRAWN BY:	OS	
CHECKED:	RU	
APPROVED:	RU	

**LANDSCAPE DETAILS**

SCALE: AS SHOWN





345 W 21st Street, Suite 1201  
New York, NY 10111  
Tel: 212-693-1100  
Fax: 212-693-1101

**PROJECT TEAM**  
CLIENT:  
**TWO INTERNATIONAL GROUP**  
1 NEW HAMPSHIRE AVENUE, SUITE 120  
PORTSMOUTH, NH 03801  
(603) 438-8888  
ARCHITECT OF RECORD:  
**MARKET SQUARE ARCHITECTS**  
138 CONGRESS STREET  
PORTSMOUTH, NH 03801  
(603) 503-0202

**CIVIL ENGINEER**  
**TORRE & BOND**  
117 CONGRESS STREET  
PORTSMOUTH, NH 03801  
(603) 438-9816

**LANDSCAPE DESIGN**  
**MALYORSON**  
250 NEWTON STREET  
BOSTON, MA 02111  
(617) 552-0208

**MEP ENGINEER**  
**DESIGNONE CONSULTING ENGINEERS**  
33 MALDEN STREET  
BOSTON, MA 02128  
(617) 552-4402

**MEP ENGINEER**  
**JAMES**  
15 HIGH STREET, SUITE 229  
BOSTON, MA 02111  
(617) 552-4402

**LIGHTING DESIGN**  
**LIGHTBOX STUDIOS**  
80 FINE STREET  
NEW YORK, NY 10005  
(845) 810-2800

**SCALE**  
NONE

**DATE ISSUED** 06/06/02  
**PROJECT NO** 27009 N.001  
**DRAWN BY** JR  
**CHECKED BY** MM

**SUBMISSIONS:**  
Date Revised For:  
1/15/02 1/15/02 SUBMISSION  
2/15/02 1/15/02 SUBMISSION #1  
3/15/02 1/15/02 SUBMISSION

**REVISIONS:**  
No. Date Description

**PROJECT:**  
Russell Street Mixed Development

2 Russell Street, Portsmouth NH

Two International Group

**SCALE:** NONE

**DATE ISSUED** 06/06/02  
**PROJECT NO** 27009 N.001  
**DRAWN BY** JR  
**CHECKED BY** MM

**SUBMISSIONS:**  
Date Revised For:  
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3/15/02 1/15/02 SUBMISSION

**REVISIONS:**  
No. Date Description

**PROJECT:**  
Russell Street Mixed Development

2 Russell Street, Portsmouth NH

Two International Group

**SCALE:** NONE

**DATE ISSUED** 06/06/02  
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3/15/02 1/15/02 SUBMISSION

**REVISIONS:**  
No. Date Description

**PROJECT:**  
Russell Street Mixed Development

2 Russell Street, Portsmouth NH

Two International Group

**SCALE:** NONE

**DATE ISSUED** 06/06/02  
**PROJECT NO** 27009 N.001  
**DRAWN BY** JR  
**CHECKED BY** MM

**SUBMISSIONS:**  
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3/15/02 1/15/02 SUBMISSION

**REVISIONS:**  
No. Date Description

**PROJECT:**  
Russell Street Mixed Development

2 Russell Street, Portsmouth NH

Two International Group

**SCALE:** NONE

**DATE ISSUED** 06/06/02  
**PROJECT NO** 27009 N.001  
**DRAWN BY** JR  
**CHECKED BY** MM

**SUBMISSIONS:**  
Date Revised For:  
1/15/02 1/15/02 SUBMISSION  
2/15/02 1/15/02 SUBMISSION #1  
3/15/02 1/15/02 SUBMISSION

**REVISIONS:**  
No. Date Description

**PROJECT:**  
Russell Street Mixed Development

2 Russell Street, Portsmouth NH

Two International Group

DRAWING INDEX					
SHEET NUMBER	DRAWING NUMBER	SHEET TITLE	DATE		
			DATE	BY	CHK
1	L-001	LIGHTING OVER SHEET, FIXTURE SCHEDULE, AND DRAWING INDEX			
2	L-002	EXTERIOR LIGHTING OVER SHEET NO. 2			
3	L-003	EXTERIOR LIGHTING OVER SHEET NO. 3			
4	L-004	EXTERIOR LIGHTING OVER SHEET NO. 4			
5	L-005	EXTERIOR LIGHTING OVER SHEET NO. 5			
6	L-006	EXTERIOR LIGHTING OVER SHEET NO. 6			

FIXTURE IDENTIFICATION	SYMBOL	FIXTURE DESCRIPTION	FIXTURE DETAIL	LOCATION	QUANTITY	LUMENS						SPECIFIED BY	MANUFACTURER/CATALOG NUMBER						
						WATT	EFC	EFC	EFC	EFC	EFC								
														WATT	EFC	EFC	EFC	EFC	
P1	☐	PORTSMOUTH HISTORIC STREET FLOODS		STREET LIGHTING	16	2	1000	200	500	1000	200	1000	200	1000	200	1000	200	1000	200
P2	○	PLANTER LIGHTS		PLANTER	8	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P3	—	FLEXIBLE LIGHT FIXTURE		CORNER COMMUNITY SPACE	20	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P4	—	LED REEF LIGHT		CORNER COMMUNITY SPACE	16	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P5	○	LED TREE LIGHTS		CORNER COMMUNITY SPACE	12	1	100	100	100	100	100	100	100	100	100	100	100	100	100
<b>TOTAL LIGHTING LUMENS (OUTSIDE THE PROPERTY LINE)</b>						<b>54,934</b>													

FIXTURE IDENTIFICATION	SYMBOL	FIXTURE DESCRIPTION	FIXTURE DETAIL	LOCATION	QUANTITY	LUMENS						SPECIFIED BY	MANUFACTURER/CATALOG NUMBER						
						WATT	EFC	EFC	EFC	EFC	EFC								
														WATT	EFC	EFC	EFC	EFC	
P6	●	LED CYLINDER SOURCE WITH PARABOLIC DISTRIBUTION		BUILDING FACADE	16	1	1000	200	500	1000	200	1000	200	1000	200	1000	200	1000	200
P7	—	LED STRIP LIGHT		REAR WALL	16	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P8	—	BI-FUNCTIONAL LED LIGHT		SCREEN WALL	16	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P9	—	STANDBY VERTICAL LED LIGHT		COMMUNITY SPACE	16	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P10	○	BI-FUNCTIONAL FLOOD LIGHT		GENERAL EXTERIOR	8	1	1000	200	500	1000	200	1000	200	1000	200	1000	200	1000	200
P11	—	FLEXIBLE LIGHT FIXTURE		BENCH	16	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P12	—	LED STRIP LIGHT		STAIR	16	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P13	○	LED TREE LIGHTS		LANDSCAPE	4	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P14	○	OUTDOOR MOUNTED LED DOWNLIGHT		COMMUNITY SPACE	4	1	100	100	100	100	100	100	100	100	100	100	100	100	100
P15	●	LED SOURCE		BUILDING FACADE	16	2	1000	200	500	1000	200	1000	200	1000	200	1000	200	1000	200
<b>TOTAL LIGHTING LUMENS (WITHIN PROPERTY LINE)</b>						<b>112,764</b>													
<b>SITE AREA</b>						<b>207 ACRES</b>													
<b>TOTAL LUMENS/NET ACRE</b>						<b>54,753</b>													
<b>ZONING ORDINANCE MAXIMUM NEAR LUMENS PER NET ACRE ALLOWANCE</b>						<b>55,000</b>													

CONTROL TYPE LEGEND	
NO	NON-DIM
DIM	DIM
MLV	MANUFACTURED

**SCALE:** NONE  
**DATE ISSUED** 06/06/02  
**PROJECT NO** 27009 N.001  
**DRAWN BY** JR  
**CHECKED BY** MM

**SUBMISSIONS:**  
Date Revised For:  
1/15/02 1/15/02 SUBMISSION  
2/15/02 1/15/02 SUBMISSION #1  
3/15/02 1/15/02 SUBMISSION

**REVISIONS:**  
No. Date Description

**PROJECT:**  
Russell Street Mixed Development

2 Russell Street, Portsmouth NH

Two International Group

**SCALE:** NONE



NEW YORK OFFICE: Suite 1201  
 NEW YORK, NY 10101  
 NY 212-691-1100 | BOSTON ARCH OFFICE

**PROJECT TEAM**  
 CLIENT  
 TWO INTERNATIONAL GROUP  
 1 NEW HAMPSHIRE AVENUE, SUITE 100  
 PORTSMOUTH, NH 02871  
 (603) 438-8888  
 ARCHITECT OF RECORD  
 MARKET SQUARE ARCHITECTS  
 100 CONGRESS STREET  
 PORTSMOUTH, NH 02871  
 (603) 851-0200

CIVIL ENGINEER  
 TYME & BOND  
 177 Commercial Street  
 PORTSMOUTH, NH 02871  
 (603) 438-9616

LINCOLN DESIGN  
 MALCOLMSON  
 250 KINGSTON STREET  
 BOSTON, MA 02111  
 (617) 534-0200

MEP ENGINEER  
 J&M  
 2300 UTHER DRIVE  
 DEDHAM CONSULTING  
 ENGINEERS  
 310 MARKET STREET  
 BOSTON, MA 02108  
 (617) 554-4442

MEP ENGINEER  
 J&M  
 15 HIGH STREET, SUITE 209  
 BOSTON, MA 02111  
 (617) 534-0200

LIGHTING DESIGN  
 LIGHTBOX STUDIOS  
 80 PARK STREET  
 NEWTON, NY 10245  
 (848) 814-2800

1 2 3  
 SEAL/SIGNATURE

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 06/2022  
**PROJECT:**  
 Russell Street Mixed  
 Development  
 2 Russell Street, Portsmouth  
 NH  
 Two International Group

**REVISIONS:**  
 No. Date Description  
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**SUBMISSIONS:**  
 Date Issued For  
 2/15/2022 10 SUBMISSION\_01  
 2/22/2022 11 SUBMISSION\_02  
 3/15/2022 12 SUBMISSION\_03

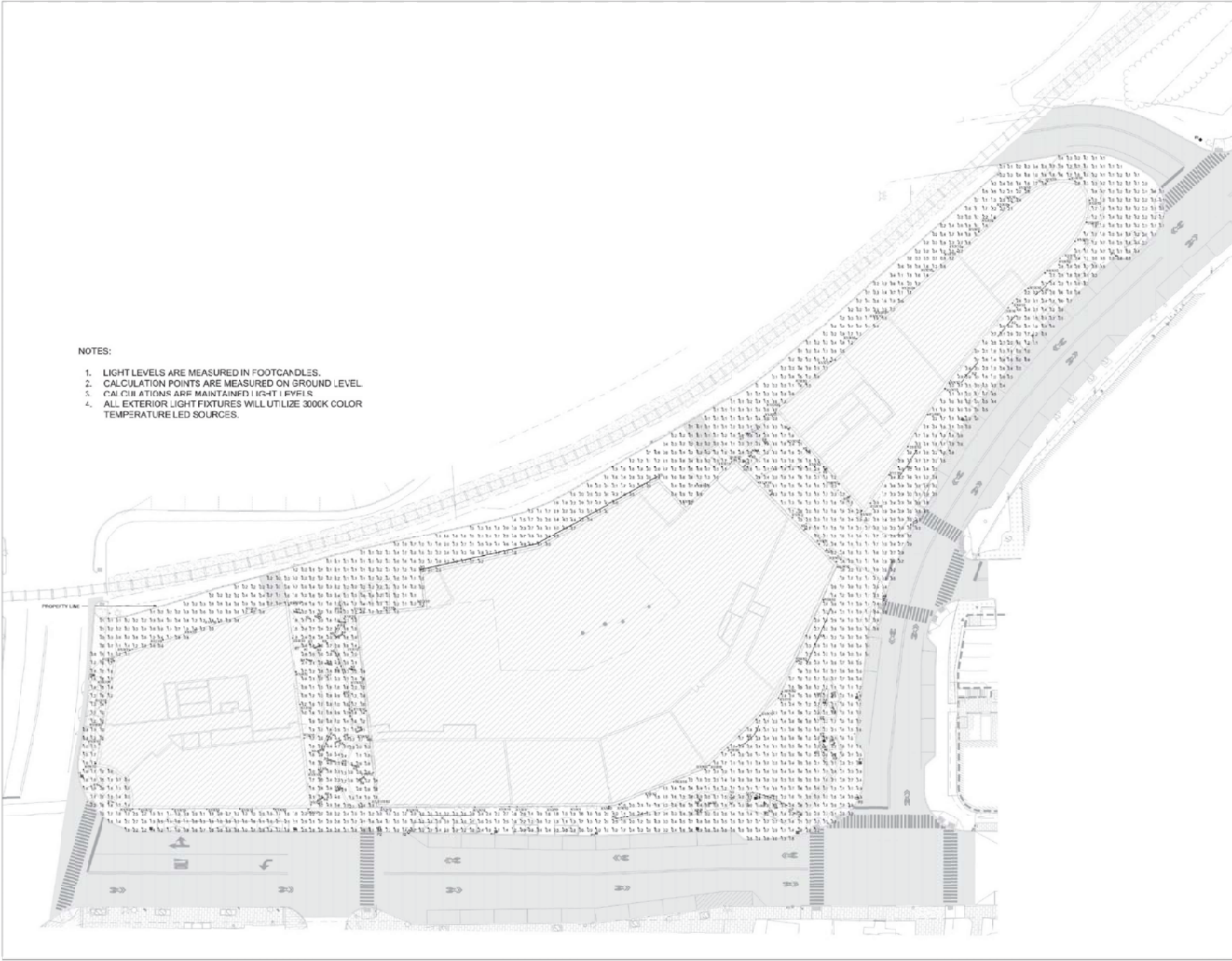
SCALE 1" = 20'-0"  
 DATE ISSUED 06/06/22  
 PROJECT NO. 24009.N.001  
 DRAWN BY J&M  
 CHECKED BY J&M

**SHEET TITLE**  
 EXTERIOR  
 LIGHTING  
 PLAN AND  
 CALCULATIONS

**E-100**

**NOTES:**

1. LIGHT LEVELS ARE MEASURED IN FOOTCANDLES.
2. CALCULATION POINTS ARE MEASURED ON GROUND LEVEL.
3. CALCULATIONS ARE MAINTAINED LIGHT LEVELS.
4. ALL EXTERIOR LIGHT FIXTURES WILL UTILIZE 3000K COLOR TEMPERATURE LED SOURCES.





NEW 21st Street, Suite 1001  
NEW YORK, NY 10011  
PH: 212.633.1111 | WWW.SCA-ARCH.COM

**PROJECT TEAM**  
CLIENT: TWO INTERNATIONAL GROUP  
ARCHITECT OF RECORD: MARKET SQUARE ARCHITECTS

10X CONGRESS STREET  
PORTSMOUTH, NH 03801  
(603) 551-0200

CIVIL ENGINEER  
TISH & BOND

ELECTRICAL ENGINEER  
PORTSMOUTH, NH 03801  
(603) 433-9815

PROJECT DESIGNER  
MALCOLMSON

250 WASHINGTON STREET  
BOSTON, MA 02111  
(617) 531-0300

PROJECT DESIGNER  
ENGINEERING CONSULTING  
33 MARK STREET  
BOSTON, MA 02111  
(617) 531-4142

MEP ENGINEER  
J&M

15 HIGH STREET, SUITE 209  
BOSTON, MA 02111  
(617) 451-8100

LIGHTING DESIGN  
LIGHTBOX STUDIOS

200 WEST 11TH STREET  
NEW YORK, NY 10011  
(845) 319-3000

PROJECT NO. 10011

DATE: 08/06/22

PROJECT NO. 24009.N.001

DRAWN BY: JK

CHECKED BY: JSM

SHEET TITLE

EXTERIOR LIGHTING CUTSHEETS

NO. 1

E-101

REVISIONS:

NO. DATE DESCRIPTION

SUBMISSIONS:

DATE REVISION NO.

1. 08/06/22 001

2. 08/06/22 002

3. 08/06/22 003

4. 08/06/22 004

5. 08/06/22 005

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7. 08/06/22 007

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198. 08/06/22 198

199. 08/06/22 199

## VERS-LOUVER (07) Linear Fixtures - Surface



The VERS Louver is designed for both indoor and outdoor use, featuring a sleek, minimalist design. It is available in three finishes: Static White, Static White High Efficacy, and Static White High Efficacy with a black grille. The fixture is designed for surface mounting and is suitable for a wide range of applications, from residential to commercial.

**Part Number Decoder**

**Static White**

**Static White High Efficacy**

**Static White High Efficacy with Black Grille**

**Technical Information**

**Static White High Efficacy**

**Static White High Efficacy with Black Grille**

**Temperature Ratings**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

## VERS-LOUVER (07) Linear Fixtures - Surface

**Technical Information**

**Static White High Efficacy**

**Static White High Efficacy with Black Grille**

**Temperature Ratings**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

## VERS-LOUVER (07) Linear Fixtures - Surface

**Static White High Efficacy**

**Static White High Efficacy with Black Grille**

**Temperature Ratings**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

## FIXTURE TYPE X2 ENTRY CANOPY FIXTURE

### Graze Compact Powercore

Exterior compact linear grazing luminaire with intelligent white and color light.

Graze Compact is a high performance, outdoor linear luminaire designed to highlight architectural features, landscaping, and artwork in any setting. Graze Compact features a high quality, weather-resistant housing, available in black and white, and high quality white light, in the most recently available luminaire. Multiple luminaire heights and beam angles support a wide range of outdoor lighting applications. The fixture has a gentle housing, compact design, and a weather-resistant, IP68, and is built to withstand the harshest weather conditions.

**Specifications**

**Electrical**

**Optical**

**Material**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

**Light Fixtures - Community Mount**

**Static White CC, 1X, 2X Colors**

**Technical Information**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

**Light Fixtures - Community Mount**

**Static White CC, 1X, 2X Colors**

**Technical Information**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

**Light Fixtures - Community Mount**

**Static White CC, 1X, 2X Colors**

**Technical Information**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

## FIXTURE TYPE X3 SCREEN WALL GRAZER

**FIXTURE TYPE X3 SCREEN WALL GRAZER**

**Technical Information**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

**FIXTURE TYPE X3 SCREEN WALL GRAZER**

**Technical Information**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

**FIXTURE TYPE X3 SCREEN WALL GRAZER**

**Technical Information**

**Notes:**

- 1. See notes on page 10 for details on mounting and wiring.
- 2. See notes on page 11 for details on electrical requirements.
- 3. See notes on page 12 for details on warranty and support.

**SCA**

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NEW YORK, NY 10101  
NEW YORK OFFICE: 212-693-1000

**PROJECT TEAM**

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MARKET SQUARE ARCHITECTS  
100 CONGRESS STREET  
PORTSMOUTH, NH 03801  
(603) 851-0200

**CIVIL ENGINEER:**  
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PORTSMOUTH, NH 03801  
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**LANDSCAPE DESIGN:**  
MALWORSION  
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(617) 534-0300

**MEP ENGINEER:**  
JESSE  
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ENGINEERING CONSULTING  
ENGINEERS  
3100 KENNEDY STREET  
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(617) 534-4400

**MEP ENGINEER:**  
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15 HIGH STREET, SUITE 209  
BOSTON, MA 02111  
(617) 534-0300

**LIGHTING DESIGN:**  
LIGHTBOX STUDIOS  
80 PARK STREET  
NEW YORK, NY 10005  
(845) 814-2600

**1 2 3**

**SCALE / SIGNATURE**

**PROJECT:**  
Russell Street Mixed Development  
2 Russell Street, Portsmouth, NH  
Two International Group

**REVISIONS:**

No.	Date	Description

**SUBMISSIONS:**

Date: **Revised File:**

DATE ISSUED: **08/06/22**  
PROJECT NO: **27009.N.001**  
DRAWN BY: **JK**  
CHECKED BY: **SM**

**SHEET TITLE:**  
**EXTERIOR LIGHTING CUTSHEETS NO. 2**

**E-102**



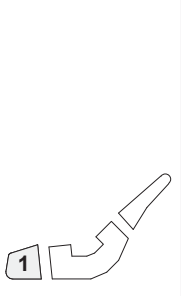






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**SEAL / SIGNATURE**

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**PROJECT:**

**Russell Street Mixed Use Scheme**

Russell Street, Portsmouth NH

**REVISIONS:**

No.	Date	Description

**SUBMISSIONS:**

Date	Issued For:
05/23/22	TAC Work Session

SCALE **As indicated**  
DATE ISSUED **05/23/22**  
PROJECT NO **4979.00**  
DRAWN BY **Author**  
CHECKED BY **Checker**

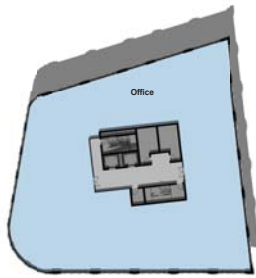
**SHEET TITLE:**

**BUILDING 1  
AREA PLANS**

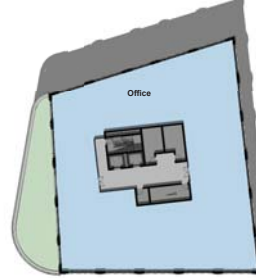
**A - 101**



1 **B1 - LEVEL 1**  
1/32" = 1'-0"



2 **B1 - LEVEL 3**  
1/32" = 1'-0"



3 **B1 - LEVEL 4**  
1/32" = 1'-0"

**GROSS AREA CALCULATIONS**

<b>B1 - LEVEL 1</b>	
Back of House	1,061 SF
Lobby	2,574 SF
Office	7,974 SF
11,609 SF	
<b>B1 - LEVEL 2</b>	
Back of House	956 SF
Lobby	663 SF
Office	10,312 SF
11,932 SF	
<b>B1 - LEVEL 3</b>	
Back of House	956 SF
Lobby	663 SF
Office	10,313 SF
11,932 SF	
<b>B1 - LEVEL 4</b>	
Back of House	956 SF
Lobby	663 SF
Office	8,851 SF
10,471 SF	
<b>GRAND TOTAL</b>	<b>45,944 SF</b>

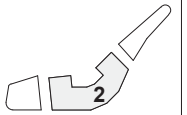
**AREA LEGEND**

	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE



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PROJECT NO: 4979.00  
DRAWN BY: Author  
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SHEET TITLE:  
**BUILDING 2  
AREA PLANS**

**A - 102**

GROSS AREA CALCULATIONS

B2 - LEVEL 0	
Back of House	625 SF
Lobby	253 SF
Parking	38,270 SF
<b>TOTAL</b>	<b>39,148 SF</b>

B2 - LEVEL 1	
Back of House	1,263 SF
Lobby	2,441 SF
Parking	25,590 SF
Retail	10,440 SF
<b>TOTAL</b>	<b>39,735 SF</b>

B2 - LEVEL 2	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,109 SF
Lobby	2,619 SF
<b>TOTAL</b>	<b>29,754 SF</b>

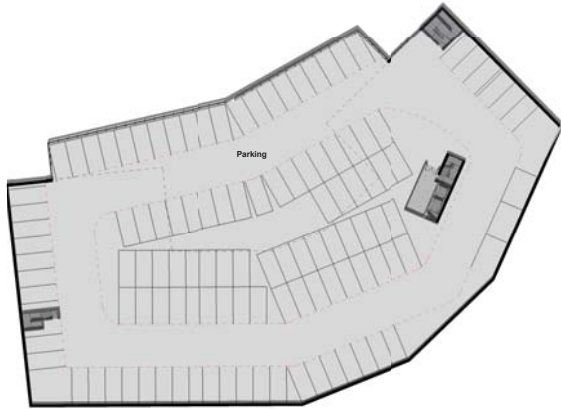
B2 - LEVEL 3	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
<b>TOTAL</b>	<b>29,810 SF</b>

B2 - LEVEL 4	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
<b>TOTAL</b>	<b>29,810 SF</b>

B2 - LEVEL 5	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
<b>TOTAL</b>	<b>29,810 SF</b>
<b>GRAND TOTAL</b>	<b>198,068 SF</b>

AREA LEGEND

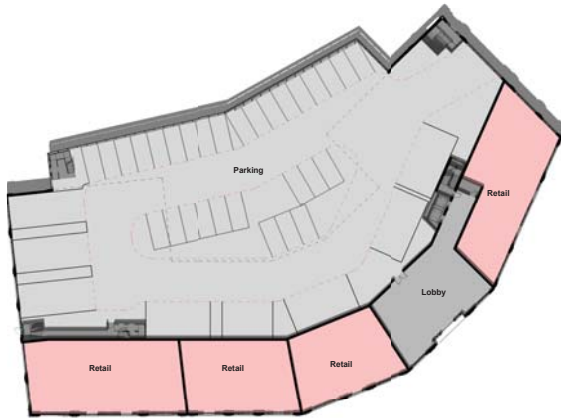
	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE



1 B2 - LEVEL 0  
1/32" = 1'-0"



3 B2 - LEVEL 2  
1/32" = 1'-0"



2 B2 - LEVEL 1  
1/32" = 1'-0"

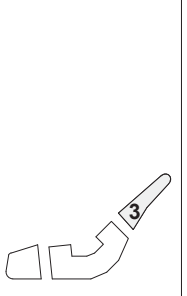


4 B2 - LEVEL 3-5  
1/32" = 1'-0"



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**PROJECT:**

**Russell Street Mixed Use Scheme**

Russell Street, Portsmouth NH

**REVISIONS:**

No.	Date	Description

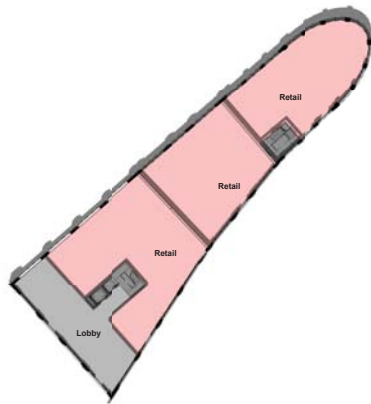
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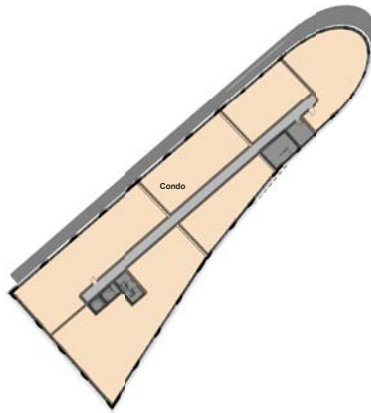
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PROJECT NO: 4979.00  
DRAWN BY: Author  
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**SHEET TITLE:**  
**BUILDING 3  
AREA PLANS**

**A - 103**



1 B3 - LEVEL 1  
1/32" = 1'-0"



2 B3 - LEVEL 2-5  
1/32" = 1'-0"

**GROSS AREA CALCULATIONS**

<b>B3 - LEVEL 1</b>	
Back of House	514 SF
Lobby	1,861 SF
Retail	8,829 SF
11,203 SF	
<b>B3 - LEVEL 2</b>	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
<b>B3 - LEVEL 3</b>	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
<b>B3 - LEVEL 4</b>	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
<b>B3 - LEVEL 5</b>	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
<b>GRAND TOTAL</b>	<b>56,017 SF</b>

**AREA LEGEND**

	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE



1 B1 - East Elevation  
3/32" = 1'-0"



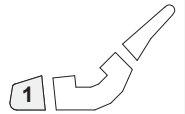
2 B1 - South Elevation  
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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SHEET TITLE:

**BUILDING 1  
ELEVATION**

**A - 201**



1 B1-West Elevation  
3/32" = 1'-0"



2 B1-North Elevation  
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL

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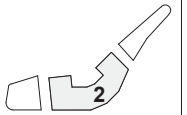
SHEET TITLE:  
**BUILDING 1 ELEVATION**

**A - 202**



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Russell Street, Portsmouth NH

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SHEET TITLE:

**BUILDING 2  
ELEVATION**

**A - 203**

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



1 B2 - North Elevation  
3/32" = 1'-0"



2 B2 - East Elevation 1  
3/32" = 1'-0"



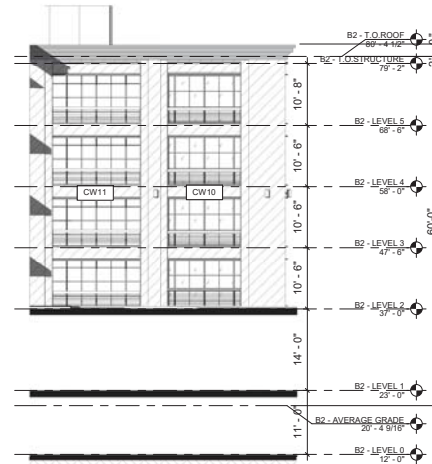
3 B2 - East Elevation 2  
3/32" = 1'-0"



4 B2 - South-East Elevation 1  
3/32" = 1'-0"



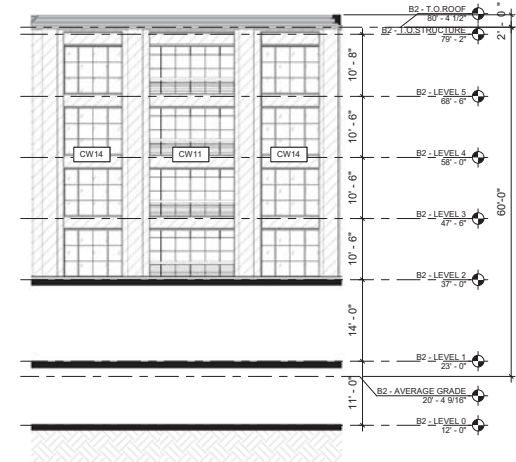
1 B2 - South-East Elevation 2  
3/32" = 1'-0"



3 B2 - North Elevation 2  
3/32" = 1'-0"



2 B2 - South Elevation  
3/32" = 1'-0"



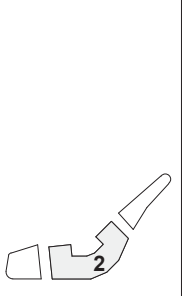
4 B2 - South-West Elevation 2  
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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PROJECT:  
Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:  
No. Date Description

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
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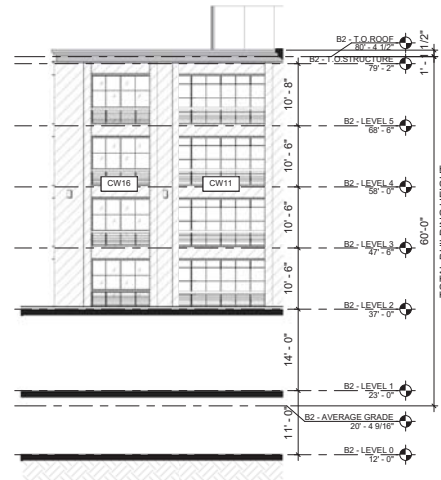
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PROJECT NO 4979.00  
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SHEET TITLE:  
**BUILDING 2 ELEVATION**

**A - 204**

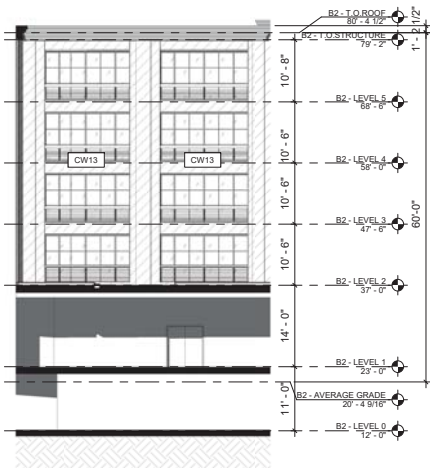


1 B2 - West Elevation 1  
3/32" = 1'-0"

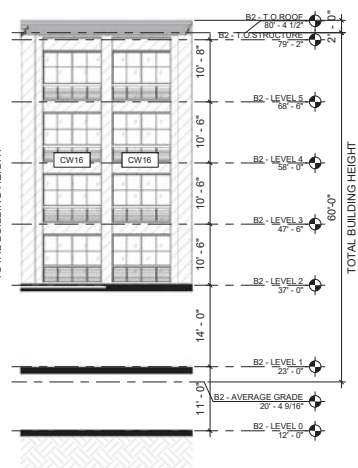


2 B2 - South Elevation 2  
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



3 B2 - West Elevation 2  
3/32" = 1'-0"



4 B2 - South West Elevation 1  
3/32" = 1'-0"

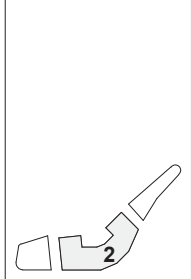


5 B2 - North-West Elevation  
3/32" = 1'-0"



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Russell Street, Portsmouth NH

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SHEET TITLE:  
**BUILDING 2 ELEVATION**

**A - 205**





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SHEET TITLE:

**BUILDING 3  
ELEVATION**

**A - 206**

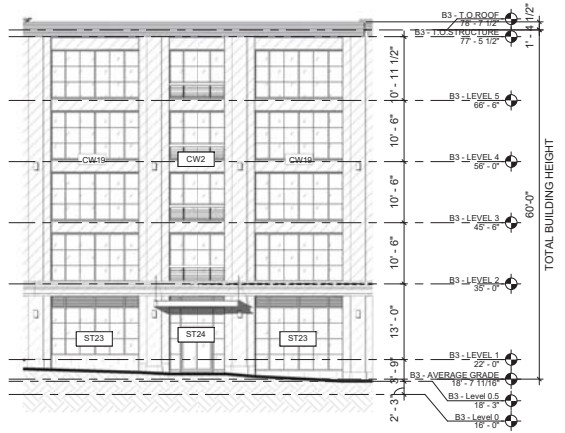
MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



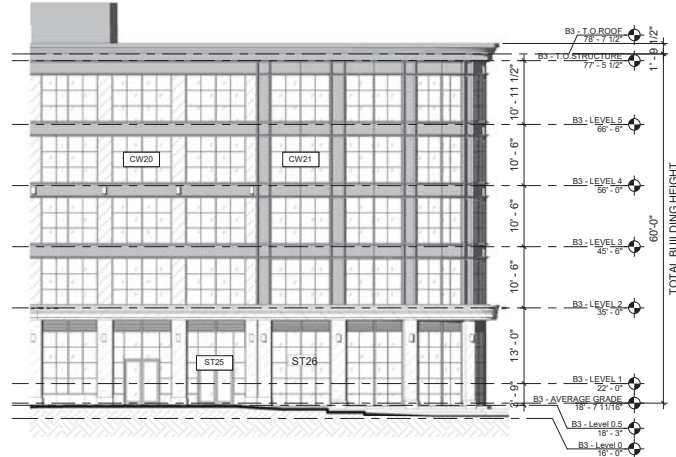
1 B3 - South Elevation  
3/32" = 1'-0"



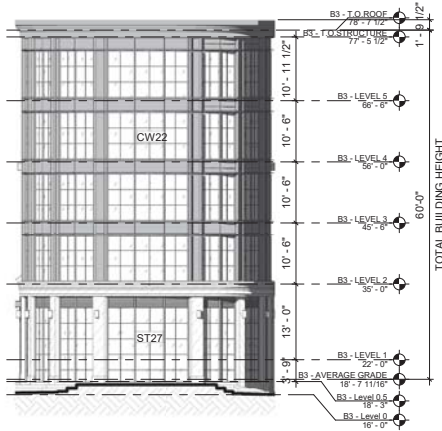
2 B3 - East Elevation 1  
3/32" = 1'-0"



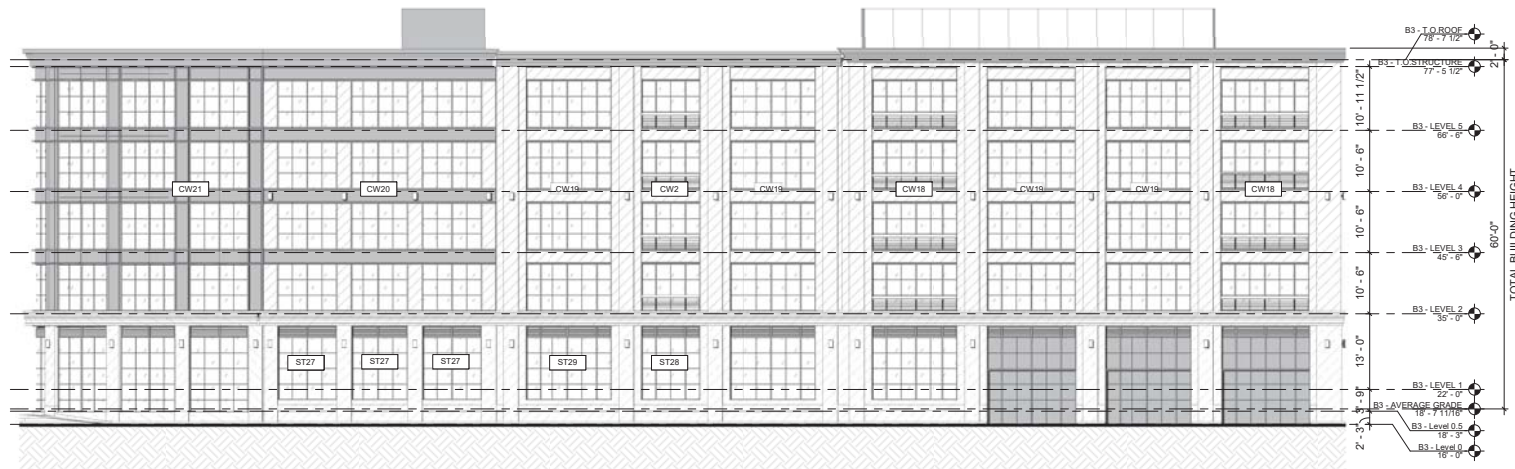
3 B3 - East Elevation 2  
3/32" = 1'-0"



4 B3 - East Elevation 3  
3/32" = 1'-0"



1 B3 - North Elevation  
3/32" = 1'-0"



2 B3 - West Elevation  
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

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SUBMISSIONS:

Date	Issued For:
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SHEET TITLE:

**BUILDING 3  
ELEVATION**

**A - 207**



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Russell Street, Portsmouth NH

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**SHEET TITLE:**  
**GLAZING STUDY**

**A - 208**



1 B1 Unfolded Elevation Deer Street And Maplewood Avenue  
1/16" = 1'-0"

Facade Glazing		
Facade	Glazing	Percentage
8884.76 SF	4059.69 SF	45.69%
Shopfront Facade		
Facade	Glazing	Percentage
3228.43 SF	2411.33 SF	74.69%



2 B2 Unfolded Elevation Russel Street and Deer Street  
1/16" = 1'-0"

Facade Glazing		
Facade	Glazing	Percentage
16269.4 SF	7016.41 SF	43.13%
Shopfront Facade		
Facade	Glazing	Percentage
4171.77 SF	3041.62 SF	72.91%

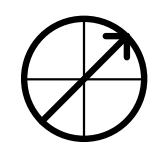
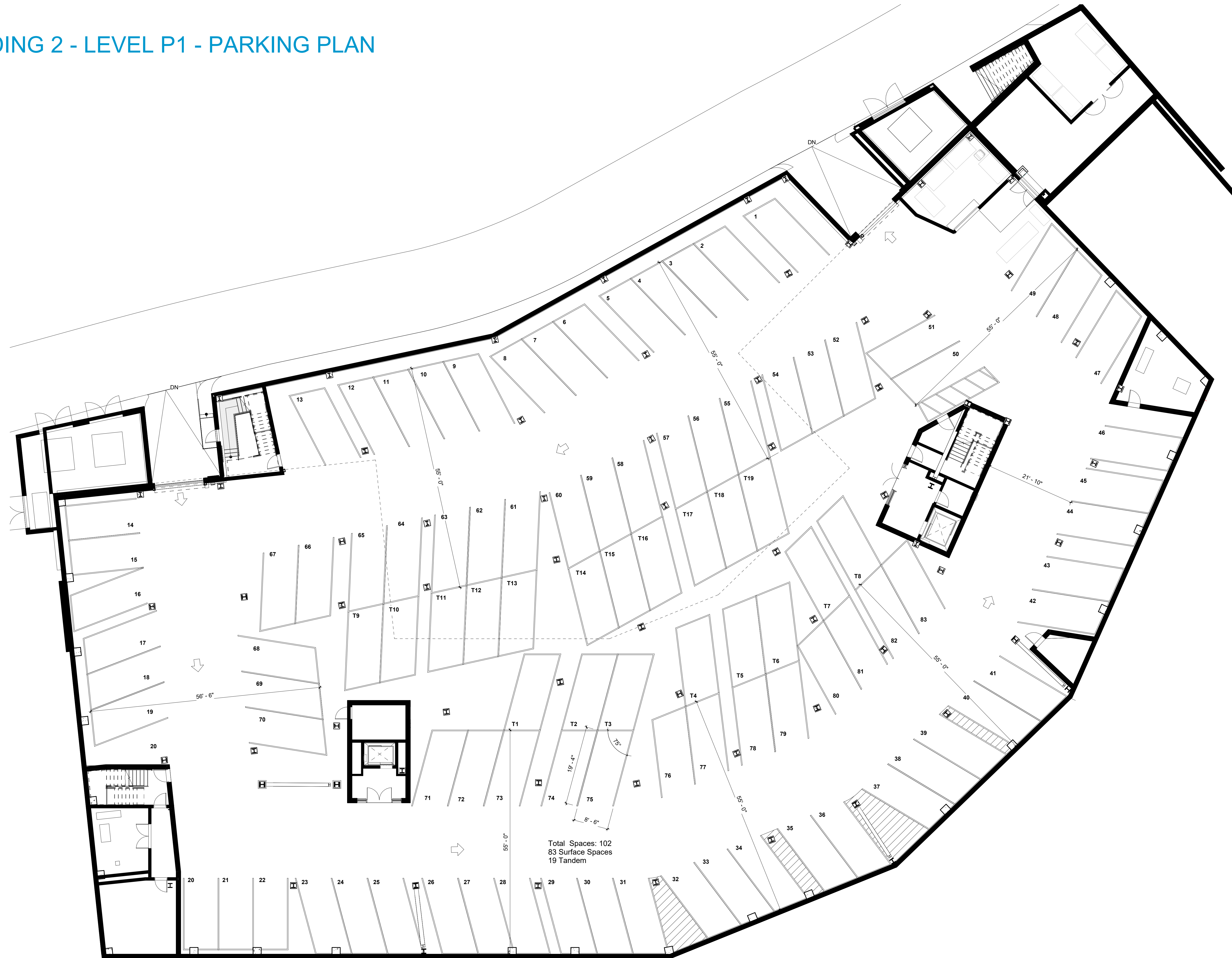


3 B3 Unfolded Elevation Russel Street And Green Street  
1/16" = 1'-0"

Facade Glazing		
Facade	Glazing	Percentage
13590.1 SF	6313.03 SF	46.45%
Shopfront Facade		
Facade	Glazing	Percentage
3892.94 SF	2769.66 SF	71.15%



# BUILDING 2 - LEVEL P1 - PARKING PLAN



# BUILDING 2 - LEVEL 1 - PARKING PLAN



Total Spaces: 84  
25 Surface Spaces  
53 Stacker Spaces  
6 Tandem

