

Portsmouth TAC
Meeting 9/3/2024



100 Borthwick Ave, Portsmouth, NH

Property Highlights

- Features 12.77 Acre Site
- Building comprised of 47,745 SF
- Currently has 541 Parking Spots
- Zoned for Office Research – Wide array of usage opportunities per Portsmouth Zoning Code
- Phase 1 Built in 1978, followed by 1984, and 2005 for Phase 2 and Phase 3
- Existing portion of northern Parking Lot leased to Liberty Mutual (264 Parking Spots)



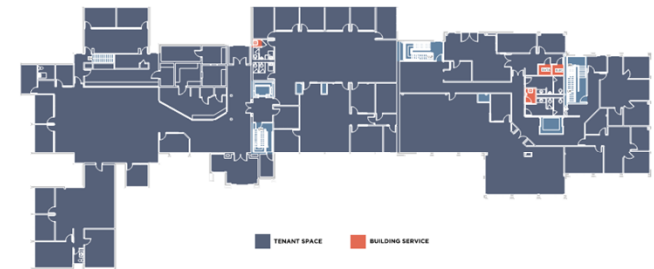
Details of Building & Purchase

- Currently under contract via Purchase and Sale with NECU/Lighthouse
 - Closing scheduled for late November; Due Diligence period has wrapped up as of 8/5/2024
 - Subdivision of property was approved by NECU within Purchase & Sale
- Building is envisioned to be utilized as a Class-B Building for mixed-use tenants, including currently committed Medical Offices; remaining parking counts (277) are still in excess of Code Required parking count for Medical Offices/Clinics (201)
- Building is well-suited for redevelopment given expansive parking, centric locality within Portsmouth, and proximity to other relatable businesses
- Will bring revitalization to the OR Zoning District, and consistent utilization of the former NECU Building

LOWER LEVEL 14,904 SF



FIRST FLOOR 20,344 SF



SECOND FLOOR 12,497 SF



Addressing TAC Comments

100 Borthwick:

1. Improve sidewalk to Borthwick Ave and crossing to an ADA compliant and concrete sidewalk.
2. Drainage on site must be functioning as originally designed. If deficient make improvements.
3. The existing system should be completely cleaned (basins & pipes) and all of the outlet pipes should be found, located and dredged out as needed to confirm their adequacy and ability to continue to function for the next 20 years. I agree regarding salt pollution, change of use etc. but the major pollutant that I think is a concern here is sediment and the heavy metals present on the sediments. The catch basins sumps are the first line of defense regarding sediments and system clogging.
4. That detention pond no longer meets standards but as a minimum I would like to see that it can handle a 50 year storm without over-topping so please run a drainage calculation on that and provide me with the results.
5. a yearly drainage maintenance plan will be necessary to confirm that the basins are being cleaned annually.
6. Boundary survey showing extent of all lots is required.
7. Variance from BOA is needed to expand the use of parking as a primary use
8. Proposed dimensions for new lots must be included in lot line adjustment plan
9. Existing and proposed site plans must be provided
10. Please provide the wetland delineation from June 2024.

Feedback & Questions