

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE  
PORTSMOUTH, NEW HAMPSHIRE**

**WORK SESSION**

**Conference Room A  
City Hall, Municipal Complex, 1 Junkins Avenue**

**2:00 PM**

**January 9, 2024**

**AGENDA**

**2:00 PM**

105 Bartlett Street  
Portsmouth Lumber & Hardware, LLC (Owner)  
Kodiak Building Partners, Engineer  
(LUTW-24-1)

**Site Plan Review**



**PROPOSED LOT AREAS & TAX MAP NUMBERS**

LOT	AREA	TM/LOT #
1	20,678 S.F. 0.4747 ACRES	TO BE DETERMINED
2	51,952 S.F. 1.1927 ACRES	TO BE DETERMINED
3	102,003 S.F. 2,3417 ACRES	TO BE DETERMINED
4	61,781± S.F. 1.4183± ACRES	TO BE DETERMINED
5	177,433± S.F. 4.0733± ACRES	TO BE DETERMINED
R.O.W.	69,610± S.F. 1.5980± ACRES	TO BE DETERMINED

**PROPOSED LOT 1 (CD4-W ZONE):**

**PROPOSED LOT 1 = Map 164, Lot 2**  
 VARIANCES FROM 10.5A41.10B  
 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 13.4%, WHERE 28.5% CURRENTLY EXISTS AND 50% IS REQUIRED.  
 2) TO ALLOW FOR A MAXIMUM PRIMARY FRONT SETBACK OF 27.2 FEET, WHERE 27.2 FEET CURRENTLY EXISTS AND 10 FEET IS REQUIRED.

**PROPOSED LOT 2 (CD4-W & CD4-L1 ZONE):**  
**PROPOSED LOT 2 = Map 164, Lot 1**  
 VARIANCES FROM 10.5A41.10B  
 1) TO ALLOW FOR A PRIMARY FRONT LOT LINE BUILDOUT OF 13.3%, WHERE 7.3% CURRENTLY EXISTS AND 50% IS REQUIRED.  
 2) TO ALLOW FOR A SECONDARY FRONT LOT LINE BUILDOUT OF 0%, WHERE NONE CURRENTLY EXISTS AND 50% IS REQUIRED.  
 3) TO ALLOW FOR A MAXIMUM PRIMARY FRONT SETBACK OF 18.2 FEET, WHERE 18.2 FEET CURRENTLY EXISTS AND 10 FEET IS REQUIRED.  
 4) TO ALLOW FOR A MAXIMUM SECONDARY FRONT SETBACK OF 30.2 FEET, WHERE NONE CURRENTLY EXISTS AND 15 FEET IS REQUIRED.

**PROPOSED LOT 3 (CD4-W):**

**PROPOSED LOT 3 = Map 157, Lot 2**  
 VARIANCES FROM 10.5A41.10B  
 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 24.7%, WHERE NO REQUIREMENT CURRENTLY EXISTS AND 50% IS REQUIRED.  
 2) TO ALLOW FOR A MINIMUM OPEN SPACE OF 9.6%, WHERE 0% EXIST AND 15% IS REQUIRED.

**PROPOSED LOT 4 (CD4-W):**  
**PROPOSED LOT 4 = Map 157, Lot 1**  
 VARIANCES FROM 10.5A41.10B  
 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 29.1%, WHERE NO REQUIREMENT CURRENTLY EXISTS AND 50% IS REQUIRED.  
 2) TO ALLOW FOR A MAXIMUM BUILDING FOOTPRINT OF 20,313 S.F., WHERE NO REQUIREMENT CURRENTLY EXISTS, A BUILDING FOOTPRINT OF 20,313 S.F. CURRENTLY EXISTS AND A MAXIMUM OF 15,000 S.F. IS ALLOWED.

**PROPOSED LOT 5 (CD4-W):**  
**PROPOSED LOT 5 = Map 164, Lot 4/4-2**

VARIANCES FROM 10.5A41.10B  
 1) TO ALLOW FOR A FRONT LOT LINE BUILDOUT OF 0%, WHERE NO REQUIREMENT CURRENTLY EXISTS AND 50% IS REQUIRED.  
 2) TO ALLOW FOR A MAXIMUM PRIMARY FRONT SETBACK OF 75.6 FEET, WHERE NO MAXIMUM CURRENTLY EXISTS AND A MAXIMUM OF 10 FEET IS REQUIRED.

**Document:  
 BartlettSt\_105\_PB\_111518  
 \_planset.pdf**

CLIPPER TRADERS PORTSMOUTH, N.H. 03801-7114  
 Tel (603) 436-9062  
 Fax (603) 436-2315

**NOTES:**

1) THE PURPOSE OF THIS PLAN IS TO SHOW THE OVERALL PROJECT AREA AND ZONING VARIANCES RECEIVED FOR THE SUBDIVISION.

**III. RELIEF REQUIRED**  
 Despite all of the physical/legal lot constraints, and Inve Here's voluntary changes to reduce units and add significantly more open/public space, only three variances are required:  
 1. PZD §10.516.20 - To permit the relocation of the existing Ricci Lumber storage buildings 6 feet from the side yard adjoining a railroad right of way where 15 feet is required.  
 The relocated buildings and parking area, to be used only for lumber and other material storage with no human occupancy and outdoor parking, will be placed to line with existing storage buildings and other parking areas on the Property, which are an equivalent distance from the railroad right of way.

files.cityofpo... / 105\_Bartlett...A\_LOD\_041718 Document: 105\_Bartlett\_BOA\_LOD\_041718.pdf

**Application:**

6) Case 4-6  
 Petitioners: Portsmouth Lumber & Hardware, Clipper Traders, LLC  
 Property: 105 Bartlett Street  
 Assessor Plan: Currently: Map 157, Lots 1& 2; Map 164 Lots 1, 2, 3 & 4  
 Zoning Districts: Office Research (OR), Character District 4-W (CD-4W), Transportation Corridor (TC). Proposed Lots 3 and 4 are proposed to be re-zoned to CD-4W and Proposed Lot 5 is proposed to be re-zoned to CD4W and CD4-L2.  
 Description: Adjust lot lines in order to construct new road.  
 Requests: Variances and/or Special Exceptions necessary to grant the required relief from the Zoning Ordinance including:  
 The required relief under the current zoning includes the following:

**PROPOSED LOT 1 = Map 164, Lot 2**  
**Proposed Lot 1:**  
 Variances from Section 10.5A41.10B to allow the following:  
 1a) a front lot line buildout of 13.4%± where 50% is required; and  
 1b) a front yard of 27.2'± where 10' is the maximum allowed;

1 Jenkins Avenue  
 Portsmouth, New Hampshire 03801  
 Fax (603) 427-1593

Portsmouth Lumber & Hardware, LLC and Clipper Traders, LLC – Page Two  
 April 20, 2018  
 Document: 105\_Bartlett\_BOA\_LOD\_041718.pdf

**PROPOSED LOT 2 = Map 164, Lot 1**  
**Proposed Lot 2:**  
 Variances from Section 10.5A41.10B to allow the following:  
 2a) a principal front line buildout of 13.3%± where 50% is required;  
 2b) a secondary front lot line buildout of 0%± where 50% is required;  
 2c) a principal front yard of 18.2'± where 10' is the maximum allowed; and  
 2d) a secondary front yard of 30.2'± where 15' is the maximum allowed;  
**PROPOSED LOT 3 = Map 157, Lot 2**  
**Proposed Lot 3:**  
 Variances from Section 10.530 to allow the following:  
 3a) a front yard of 0'± where 70' is required;  
 3b) open space coverage of 9.6%± where 20% is required;

**PROPOSED LOT 4 = Map 157, Lot 1**  
**Proposed Lot 4:**  
 Variances from 10.530 to allow the following:  
 4a) a lot size of 1.4± acres± where 2 acres is required;  
 4b) a front yard of 1.7'± where 70' is required;  
 4c) a side yard of 3.9'± where 50' is required; and  
 4d) a rear yard of 46.9'± where 50' is required; and

**PROPOSED LOT 5 = Map 164, Lot 4/4-2**  
**Proposed Lot 5:**  
 A variance from Section 10.530 to allow the following:  
 5a) a rear yard of 33.7'± where 50' is required.

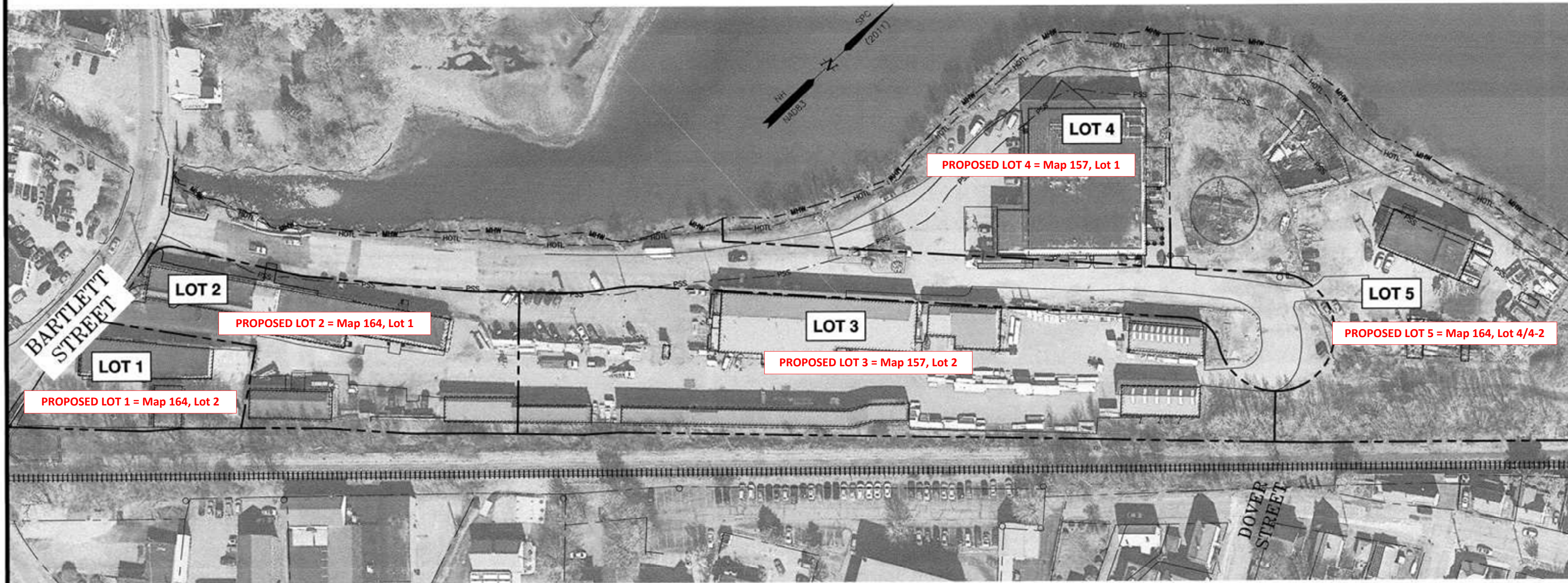
files.cityofpo... / 105\_Bartlett...A\_LOD\_041718 Document: 105\_Bartlett\_BOA\_LOD\_041718.pdf

The required relief under the proposed zoning includes the following:  
**PROPOSED LOT 3 = Map 157, Lot 2**  
**Proposed Lot 3:**  
 Variances from Section 10.5A41.10B to allow the following:  
 1a) a front lot line buildout of 24.7%± where 50% is required;  
 1b) open space coverage of 9.6%± where 15% is required;

**PROPOSED LOT 4 = Map 157, Lot 1**  
**Proposed Lot 4:**  
 Variances from Section 10.5A41.10B to allow the following:  
 2a) a front lot line buildout of 29.1%± where 50% is required;  
 2b) a building footprint of 20,313± s.f. where a maximum of 15,000 s.f. is required; and

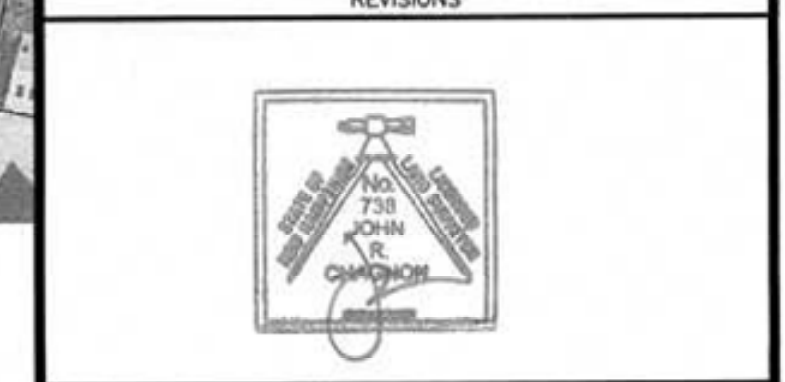
**PROPOSED LOT 5 = Map 164, Lot 4/4-2**  
**Proposed Lot 5:**  
 Variances from Section 10.5A41.10B to allow the following:  
 3a) a front lot line buildout of 0%± where 50% is required; and  
 3b) a front yard of 75.6'± where a maximum of 10' is required.

**Action:**  
 The Board voted to **grant** the petition as presented and advertised.



**CLIPPER TRADERS  
 105 BARTLETT STREET  
 PROPOSED SUBDIVISION  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	SHEET NUMBER	10/16/18
1	ISSUED FOR APPROVAL	9/18/18
0	ISSUED FOR COMMENT	4/26/18



SCALE 1" = 60' SEPTEMBER 2018

**ZONING AND OVERALL PLAN**

50' Square

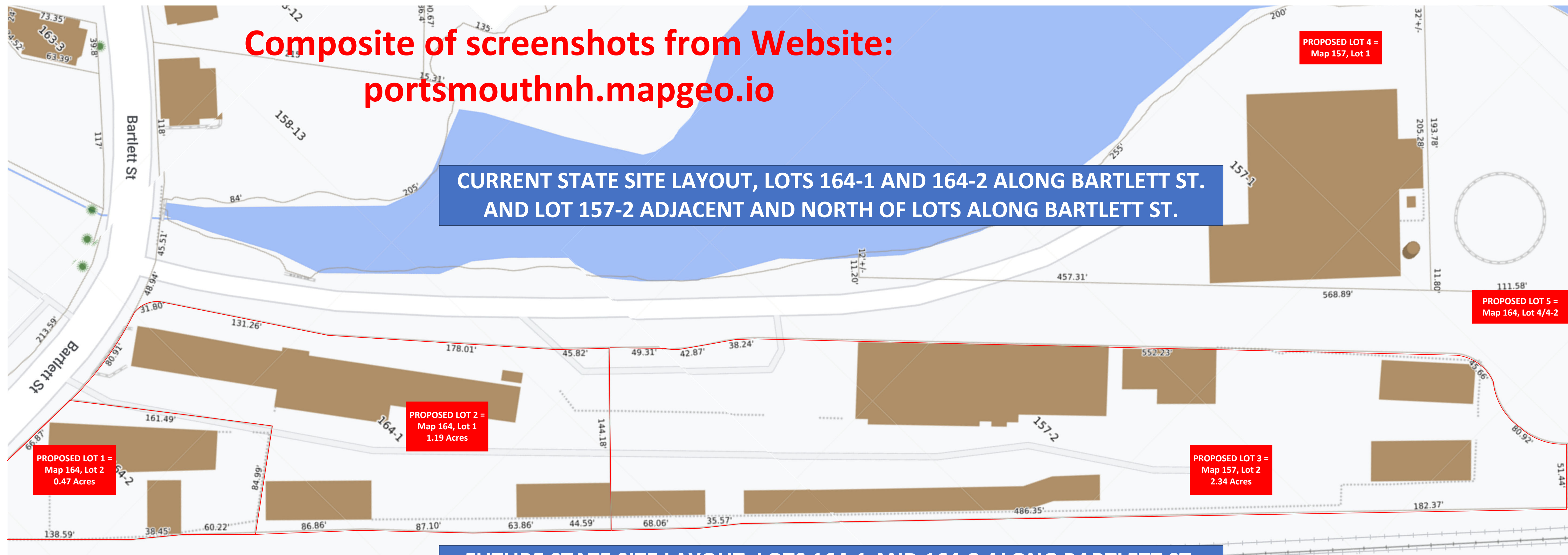
**RICCI LUMBER – PORTSMOUTH, NH  
 OVERALL SITE PLAN – 105 BARTLETT ST.  
 For Review w/City of Portsmouth TAC – 01/02/24  
 Sheet 1 of 4**

**Information featured on this sheet:**

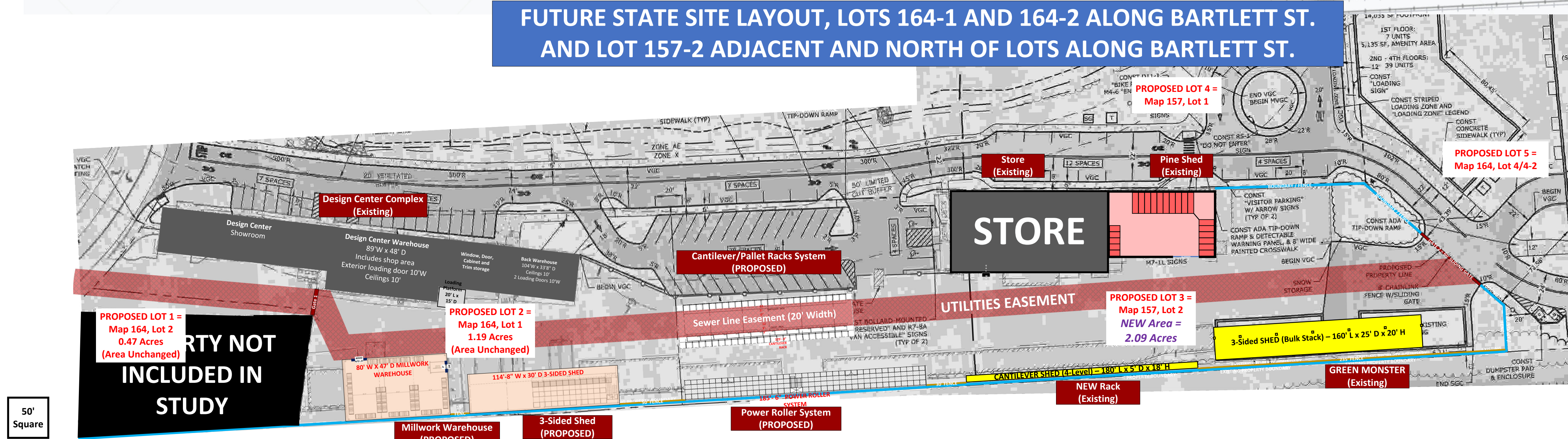
- This first sheet is intended to correlate several documents that have been submitted to the City of Portsmouth between 2018 and 2020, showing the overall site plan of the current Ricci Lumber site with references to construction of a new apartment complex proposed adjacent to and immediately North and West of the lumberyard, identified as "105\_BARTLETT\_ST".
- Since the original plans were submitted to the City of Portsmouth for 105\_BARTLETT\_ST.,
- PROPOSED LOT 1 above = City of Portsmouth Lot 164-2, and will not be modified/impacted by new construction.
- PROPOSED LOT 2 above = City of Portsmouth Lot 164-1, and WILL BE modified/impacted by new construction by Ricci Lumber starting in Spring, 2024 (reference Sheet 2 of 4 and Sheet 3 of 4).
- PROPOSED LOT 3 above = City of Portsmouth Lot 157-2, and WILL BE modified/impacted by new construction by Ricci Lumber starting in Spring, 2024 (reference Sheet 2 of 4 and Sheet 4 of 4).
- PROPOSED LOT 4 above = City of Portsmouth Lot 157-1, and although it will be modified/impacted by new construction, none of the modifications/impacts will come from any new construction by Ricci Lumber.
- PROPOSED LOT 5 above = City of Portsmouth Lot 164-4/164-4-2, and although it will be modified/impacted by new construction, none of the modifications/impacts will come from any new construction by Ricci Lumber.
- The documents to the right of this information box correlate to the PROPOSED LOT VARIANCES requested at the top left corner of the engineering drawing, and indicate that the variances have been granted to PROPOSED LOTS 1-5.
- Sheets 2, 3, and 4 provide detailed analysis demonstrating that PROPOSED LOT 2 and PROPOSED LOT 3, including the new construction proposed for the Ricci Lumber lumberyard, still adhere to the variances that have already been granted to PROPOSED LOT 2 and PROPOSED LOT 3.



**Composite of screenshots from Website:  
portsmouthnh.mapgeo.io**



**FUTURE STATE SITE LAYOUT, LOTS 164-1 AND 164-2 ALONG BARTLETT ST. AND LOT 157-2 ADJACENT AND NORTH OF LOTS ALONG BARTLETT ST.**



**RICCI LUMBER – PORTSMOUTH, NH**  
**FUTURE SITE LAYOUT with COMPARISON TO CURRENT SITE LAYOUT**  
**For Review w/City of Portsmouth TAC – 01/02/24 – Sheet 2 of 4**

**Information featured on this sheet:**

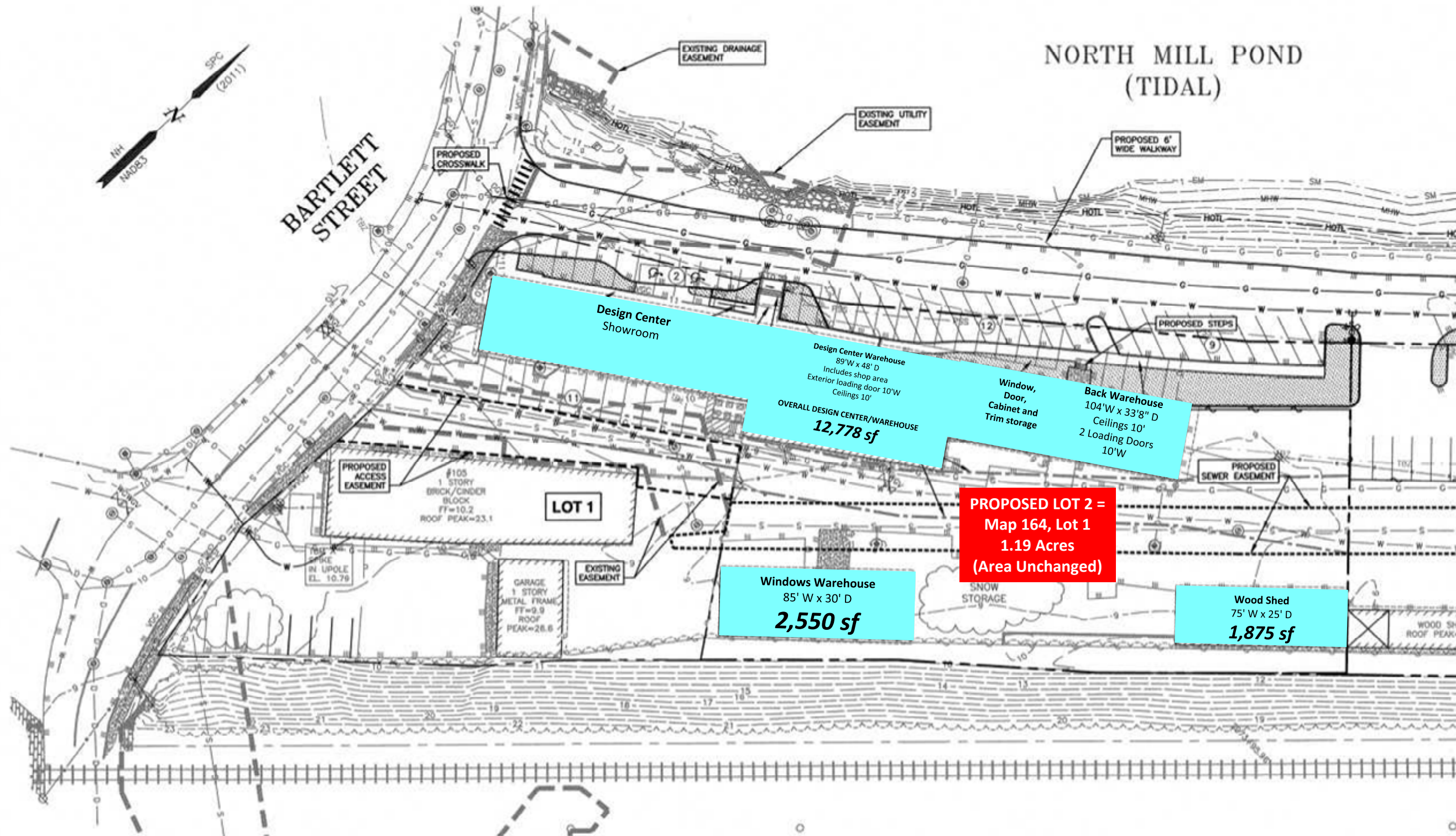
- New Ricci Lumber property boundaries, parking spaces, and entrance/exit points.
- Existing Store, adjacent Pine Shed, and the Design Center will all remain as-is throughout the project.
- Recently-completed 4-Level Cantilever Rack ["NEW Rack"] (185' L) built along East fence line, and will remain as-is throughout the project.
- Recently-completed 3-Sided Shed ["GREEN MONSTER"] (160' L) built along East fence line, and will remain as-is throughout the project.
- PROPOSED Cantilever/Pallet Racks System to be built in-line with the Utilities Easement; 20' width is unobstructed; entire structure resides within Lot 157-2..
- PROPOSED Power Roller System to be built in-line with the existing east fence line; entire structure resides within Lot 157-2.
- PROPOSED 3-Sided Shed to be built in-line with the existing east fence line; entire structure resides within Lot 164-1.
- PROPOSED enclosed Millwork Warehouse to be built in-line with the existing east fence line; entire structure resides within Lot 164-1.



Document:  
BartlettSt\_105\_PB\_111518\_planset.pdf

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	17,203	17,203
CONCRETE, STAIRS, PADS	1,117	594
RETAINING WALLS	60	60
PAVEMENT	24,049	23,691
TOTAL	42,429	41,548
LOT SIZE	51,952	51,952
% LOT COVERAGE	81.7%	80.0%

**CURRENT STATE SITE LAYOUT**  
**PROPOSED LOT 2,**  
**Map LOT 164-1**  
**Showing Current Impervious Surface Area Calculations**



4550 SF X 1 SP PER 2000SF = 3 SPACES  
WHOLESALE USE/WAREHOUSE FL 2:  
5048 SF X 1 SP PER 2000SF = 3 SPACES  
BUSINESS OFFICE:  
1000 SF X 1SP/350 SF = 3 SPACES  
TOTAL SPACES: 28 REQUIRED SPACES  
PROPOSED SPACES: 32 SPACES  
B) THE PURPOSE OF THIS PLAN IS TO SHOW SITE DETAILS ON PROPOSED LOT 2.

**CLIPPER TRADERS**  
**PROPOSED LOT 2**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	EASEMENTS, SIDEWALK	11/6/18
2	PARKING, COVERAGE	10/16/18
1	ISSUED FOR APPROVAL	5/22/18
0	ISSUED FOR COMMENT	4/26/18



**NOTES:**

- PARCEL IS TO BE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP WITH LOT NUMBER TO BE DETERMINED.
- OWNER OF RECORD: PORTSMOUTH LUMBER AND HARDWARE, LLC 105 BARTLETT STREET PORTSMOUTH, NH 03801
- PROPOSED LOT AREA: 51,952 SF; 1.192 ACRES
- PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-W (CD4-W) ZONING DISTRICT.

**50'**  
**Square**

**RICCI LUMBER – PORTSMOUTH, NH**  
**FUTURE SITE LOT 164-1 OPEN SPACE COVERAGE with COMPARISON**  
**TO CURRENT SITE OPEN SPACE COVERAGE**  
**For Review w/City of Portsmouth TAC – 01/02/24**  
**Sheet 3 of 4**

**Information featured on this sheet:**

- Current State Site Layout of Lot 164-1 contains the three existing buildings (Design Center complex, Windows Warehouse, and Wood Shed) consuming 17,203 sf of the overall lot size of 51,952 sf.
- Future State Site Layout shows the substitution of the Windows Warehouse with a new Millwork Warehouse and the substitution of the Wood Shed with a 3-Sided Shed.
- PROPOSED 3-Sided Shed to be built in-line with the existing east fence line; entire structure resides within Lot 164-1, and will consume 3,440 sf.
- PROPOSED enclosed Millwork Warehouse to be built in-line with the existing east fence line; entire structure resides within Lot 164-1, and will consume 3,760 sf.
- The existing Design Center complex, the PROPOSED Millwork Warehouse, and the PROPOSED 3-Sided Shed will increase the overall main structure coverage to 19,978 sf.
- The % Lot Coverage therefore increases to 44,323 sf, which represents 85% of Lot 164-1.
- The documents immediately below this information box indicate that both the open space requirements and the maximum building coverage requirements are satisfied, as well as all four variances granted.

**10.516.20 Yard Adjoining a Railroad Right of Way**

Notwithstanding any other provision of this Article, in any district where a rear yard or side yard is required, the minimum yard adjoining a railroad right of way shall be 15 feet.

Document:  
**BartlettSt\_105\_BOA\_01220.pdf**

**RELIEF REQUIRED**

Despite all of the physical/legal lot constraints, and from Home's voluntary changes to reduce units and add significantly more open/public space, only three variances are required:

- PZD 10.516.20 – To permit the relocation of the existing Ricci Lumber storage buildings 6 feet from the side yard adjoining a railroad right of way where 15 feet is required.

The relocated buildings and parking area, to be used only for lumber and other material storage with no human occupancy and outdoor parking, will be placed in line with existing storage buildings and other parking areas on the Property, which are an equivalent distance from the railroad right of way.

**FIGURE 10.5A41.10B DEVELOPMENT STANDARDS CHARACTER DISTRICT 4-WEST END (CD4-W)**

Building Placement - Principal Building*	Minimum lot area	5,000 sf
Maximum principal front yard	10 ft	2,500 sf
Maximum secondary front yard	15 ft	15%
Side yard	N/A	15,000 sf
Minimum rear yard	Center of 1 ft from rear lot line or 10 ft from center line of alley	
Minimum front lot line setback	50%	
Building and Lot Occupancy		
Block length	200 ft	
Maximum facade modulation length	80 ft (see Section 10.5A41.2)	
Maximum facade spacing	50 ft	
Maximum building coverage	60%	
Maximum lot area	15,000 sf or as allowed by Section 10.5A41.8)	
Minimum lot area	5,000 sf	
Setback	See Map 10.5A31.B & Section 10.5A41.30	
Building height	12 ft	
Maximum finished floor surface of ground floor above sidewalk grade	36"	
Maximum ground story height	12 ft	
Maximum finished floor surface of ground floor above sidewalk grade	36"	
Maximum ground story height	12 ft	
Roof pitch, if any	70% min.	
Roof type	20% min. to 50% max. flat, gable, no gambrel, mansard	
Roof pitch, if any	6:12 min. to 12:12 max.	
Roof type	2:12 min. to 30:12 max. Mansard/gambrel	

files.cityofpo... / 105\_Bartlett...A\_LOD\_041718 Document: 105\_Bartlett\_BOA\_LOD\_041718.pdf

- Application:**
- 6) Case 4-6  
Petitioners: Portsmouth Lumber & Hardware, Clipper Traders, LLC  
Property: 105 Bartlett Street  
Assessor Plan: Currently: Map 157, Lots 1 & 2; Map 164 Lots 1, 2, 3 & 4  
Zoning Districts: Office Research (OR), Character District 4-W (CD-4W), Transportation Corridor (TC), Proposed Lots 3 and 4 are proposed to be re-zoned to CD-4W and Proposed Lot 5 is proposed to be re-zoned to CD-4W and CD-4-L2. Adjust lot lines in order to construct new road.  
Description: Variances and/or Special Exceptions necessary to grant the required relief from the Zoning Ordinance including:  
Requests: The required relief under the current zoning includes the following:  
**PROPOSED LOT 1 = Map 164, Lot 2**  
Proposed Lot 1:  
Variances from Section 10.5A41.10B to allow the following:  
1a) a front lot line buildout of 13.4%± where 50% is required; and  
1b) a front yard of 27.2'± where 10' is the maximum allowed;  
**PROPOSED LOT 2 = Map 164, Lot 1**  
Proposed Lot 2:  
Variances from Section 10.5A41.10B to allow the following:  
2a) a principal front line buildout of 13.3%± where 50% is required;  
2b) a secondary front lot line buildout of 0'± where 50% is required;  
2c) a principal front yard of 18.2'± where 10' is the maximum allowed; and  
2d) a secondary front yard of 30.2'± where 15' is the maximum allowed;  
**PROPOSED LOT 3 = Map 157, Lot 2**  
Proposed Lot 3:  
Variances from Section 10.530 to allow the following:  
3a) a front yard of 0'± where 70' is required;  
3b) open space coverage of 9.6%± where 20% is required;  
**PROPOSED LOT 4 = Map 157, Lot 1**  
Proposed Lot 4:  
Variances from Section 10.530 to allow the following:  
4a) a lot size of 1.4± acres; where 2 acres is required;  
4b) a front yard of 1.7'± where 70' is required;  
4c) a side yard of 3.9'± where 50' is required; and  
4d) a rear yard of 46.9'± where 50' is required; and  
**PROPOSED LOT 5 = Map 164, Lot 4/4-2**  
Proposed Lot 5:  
A variance from Section 10.530 to allow the following:  
5a) a rear yard of 33.7'± where 50' is required.  
The required relief under the proposed zoning includes the following:  
**PROPOSED LOT 3 = Map 157, Lot 2**  
Proposed Lot 3:  
Variances from Section 10.5A41.10B to allow the following:  
1a) a front lot line buildout of 24.7%± where 50% is required;  
1b) open space coverage of 9.6%± where 15% is required;  
**PROPOSED LOT 4 = Map 157, Lot 1**  
Proposed Lot 4:  
Variances from Section 10.5A41.10B to allow the following:  
2a) a front lot line buildout of 29.1%± where 50% is required;  
2b) a building footprint of 20,313± s.f. where a maximum of 15,000± s.f. is required; and  
**PROPOSED LOT 5 = Map 164, Lot 4/4-2**  
Proposed Lot 5:  
Variances from Section 10.5A41.10B to allow the following:  
3a) a front lot line buildout of 0%± where 50% is required; and  
3b) a front yard of 75.6'± where a maximum of 10' is required.

Action:  
The Board voted to grant the petition as presented and advertised.

Document:  
BartlettSt\_105\_PB\_111518\_planset.pdf

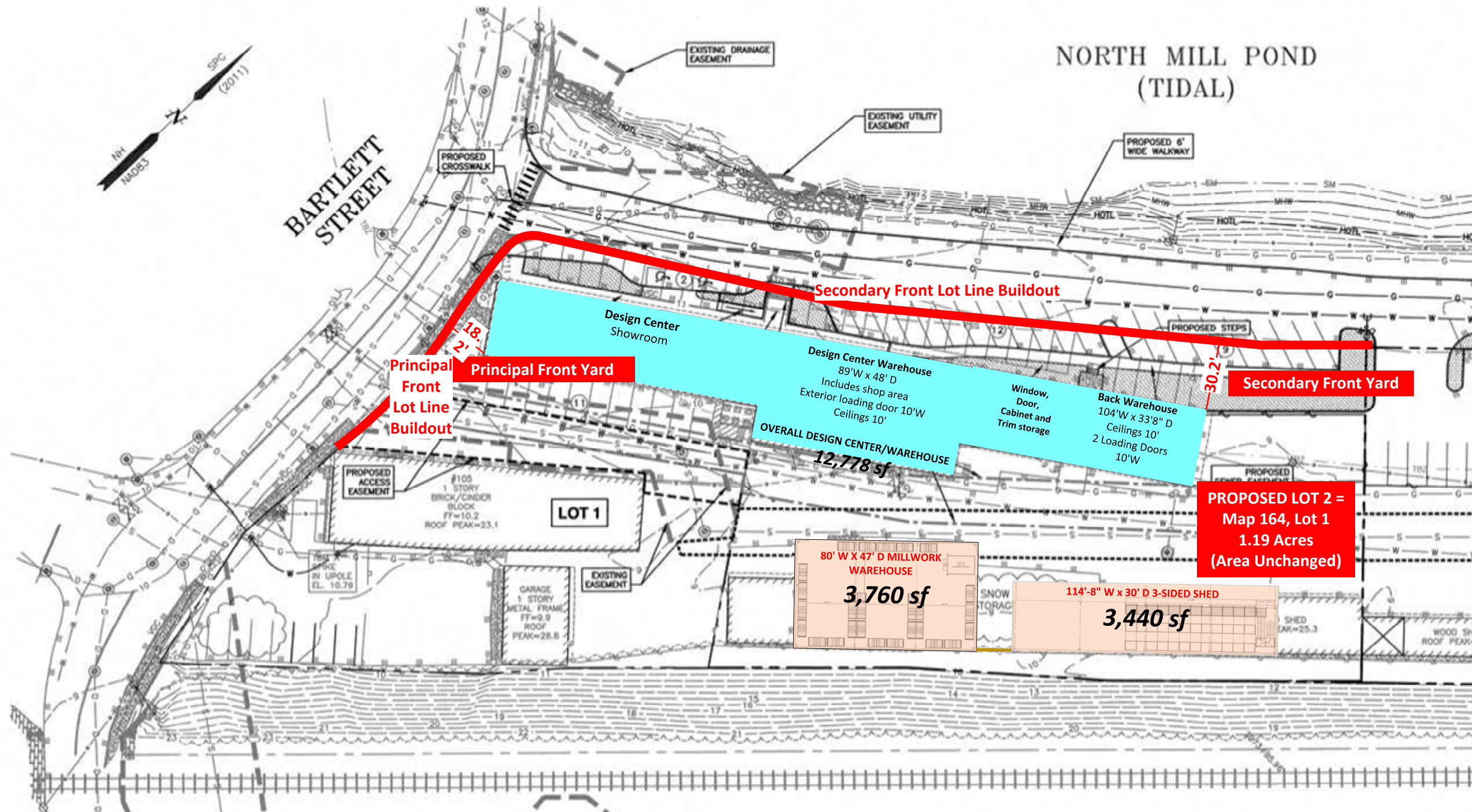
IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	17,203	17,203
CONCRETE, STAIRS, PADS	1,117	594
RETAINING WALLS	60	60
PAVEMENT	24,049	23,691
TOTAL	42,429	41,548
LOT SIZE	51,952	51,952
% LOT COVERAGE	81.7%	80.0%

NOTE: Increases to 19,978 sf with replacement of Windows WH and Wood Shed, which is still UNDER the 60% MAX building coverage requirement.

NOTE: Increases to 44,323 sf with replacement of Windows WH and Wood Shed

NOTE: Increases to 85%, which MEETS the open space requirement of 15%.

**FUTURE STATE SITE LAYOUT**  
**PROPOSED LOT 2,**  
**Map LOT 164-1**  
**Showing Future Impervious Surface Area Calculations**

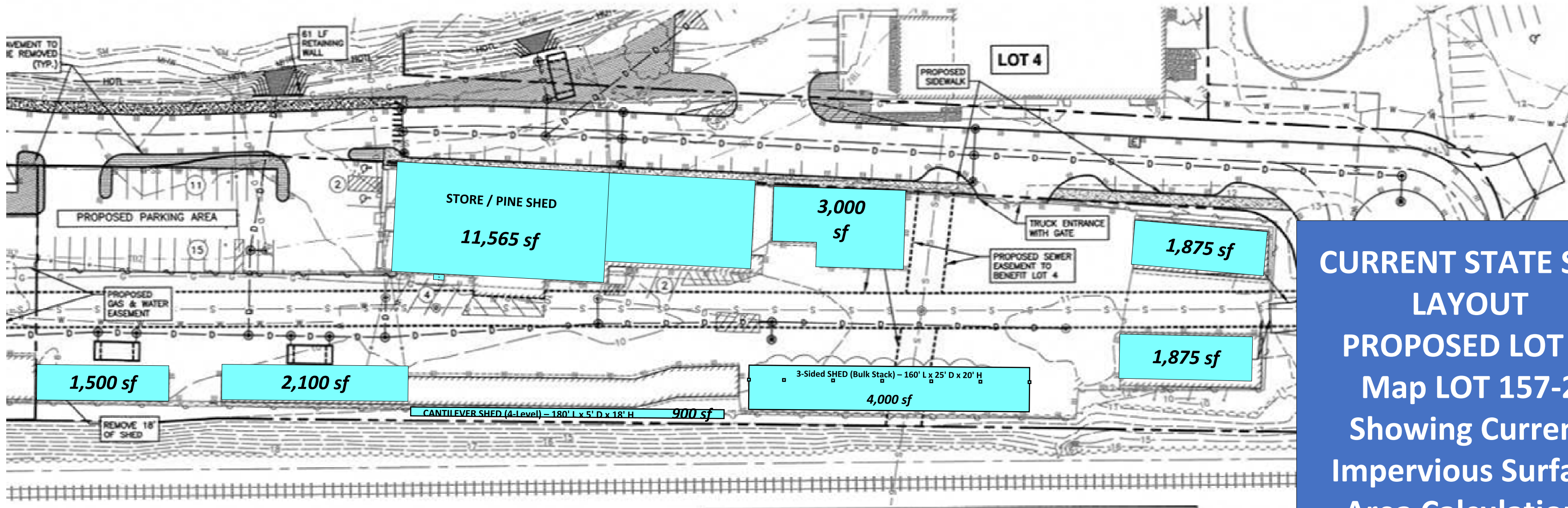


**CLIPPER TRADERS**  
**PROPOSED LOT 2**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	EASEMENTS, SIDEWALK	11/6/18
2	PARKING, COVERAGE	10/16/18
1	ISSUED FOR APPROVAL	5/22/18
0	ISSUED FOR COMMENT	4/26/18



IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
STRUCTURES	26,062	26,062
CONCRETE & CURBING	59	59
GRAVEL	1,352	1,352
PAVEMENT	59,798	58,831
TOTAL	87,271	86,304
LOT SIZE	102,003	102,003
% LOT COVERAGE	85.6%	84.6%

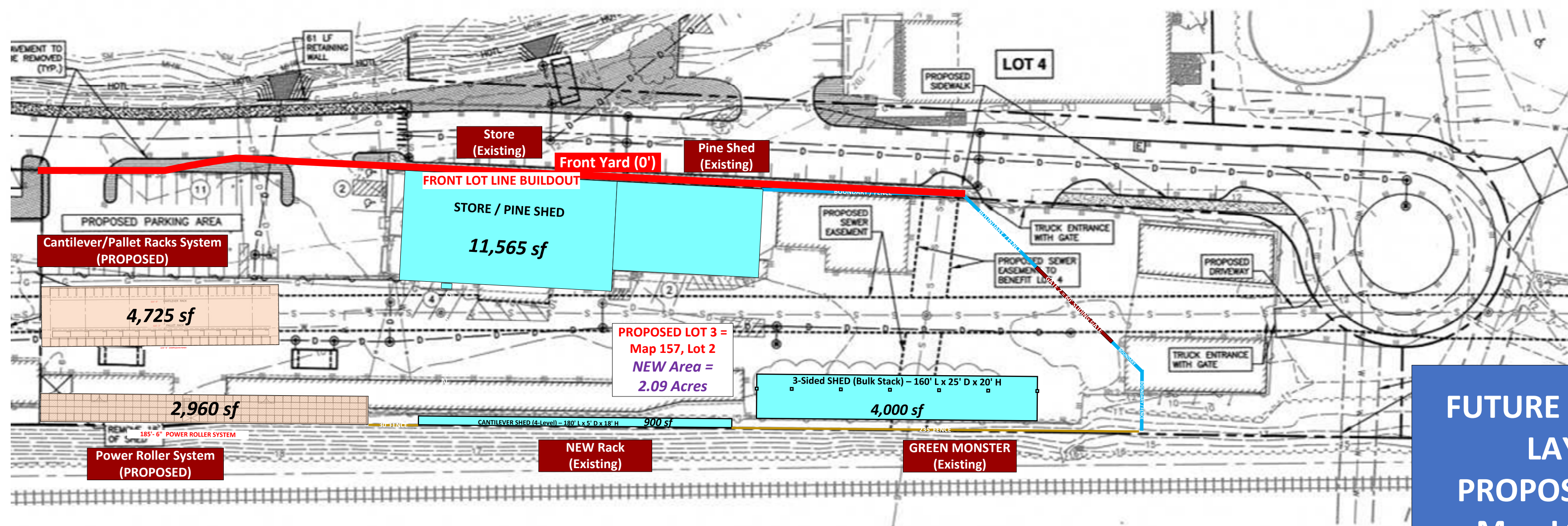


IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
STRUCTURES	26,062	26,062
CONCRETE & CURBING	59	59
GRAVEL	1,352	1,352
PAVEMENT	59,798	58,831
TOTAL	87,271	86,304
LOT SIZE	102,003	102,003
% LOT COVERAGE	85.6%	84.6%

NOTE: DECREASES TO 24,150 sf after demolishing three old structures and erecting two new structures, which still satisfies the 80% maximum building coverage.

NOTE: DECREASES TO 53,490 sf after pavement from NW corner and path between two old sheds are removed from lot.

NOTE: DECREASES TO 79,051 sf after structure and pavement reductions.  
NOTE: DECREASES TO 91,275 sf after NW corner and two old sheds are removed from lot; coverage remains nearly the same at 88.6%, remaining OPEN SPACE = 13%, which is allowed by the variance of 9.6% open space.



FUTURE STATE SITE LAYOUT PROPOSED LOT 2, Map LOT 157-2 Showing Future Impervious Surface Area Calculations

## RICCI LUMBER – PORTSMOUTH, NH FUTURE SITE LOT 157-2 OPEN SPACE COVERAGE with COMPARISON TO CURRENT SITE OPEN SPACE COVERAGE For Review w/City of Portsmouth TAC – 01/02/24 Sheet 4 of 4

### Information featured on this sheet:

- Current State Site Layout of Lot 157-2 contains nine existing buildings (Store, Pine Shed, Trim Shed, two back barns, the “Green Monster”, the “New Shed”, and two lumber barns) consuming 26,815 sf of the overall lot size of 102,003 sf.
- Future State Site Layout shows the demolition of the Trim Shed, the two back barns, and the two lumber barns, plus the installation of two new structures, resulting in a reduction to 24,150 sf.
- Future State Site Layout also shows the impact of the new construction of a road leading to new buildings to the north and west of Ricci Lumber, reducing the overall lot footprint to 91,275 sf.
- PROPOSED Cantilever/Pallet Rack structure resides entirely within Lot 157-2, and will consume 4,725 sf.
- PROPOSED Power Roller System to be built in-line with the existing east fence line; entire structure resides within Lot 157-2, and will consume 2,960 sf.
- The Lot Coverage changes to 79,051 sf, which represents 86.61% of Lot 157-2.
- The documents immediately below this information box indicate that a variance has been granted to Lot 157-2, allowing the % Lot Coverage to be as great as 90.4% (100% - 9.6%). Therefore, the overall lot size reduction, plus the substitution of the two structures still provides adequate open space per the variance. Also, the other variances plus the maximum building coverage are satisfied.

#### 10.516.20 Yard Adjoining a Railroad Right of Way

Notwithstanding any other provision of this Article, in any district where a rear yard or side yard is required, the minimum yard adjoining a railroad right of way shall be 15 feet.

#### III. RELIEF REQUIRED

Despite all of the physical/legal lot constraints, and Tom Horne's voluntary changes to reduce units and add significantly more open/public space, only three variances are required:

1. PZD §10.516.20 – To permit the relocation of the existing Ricci Lumber storage buildings 6 feet from the side yard adjoining a railroad right of way where 15 feet is required.

The relocated buildings and parking area, to be used only for lumber and other material storage with no human occupancy and outdoor parking, will be placed in line with existing storage buildings and other parking areas on the Property, which are an equivalent distance from the railroad right of way.

#### FIGURE 10.5A41.10B DEVELOPMENT STANDARDS CHARACTER DISTRICT 4 – WEST END (CD-4W)

CD-4W - Character District 4-West End	Minimum lot area	5,000 sf
Minimum lot area per dwelling unit	2,500 sf	
Maximum open space	15%	
Maximum ground floor area per lot	15,000 sf	
Maximum principal front yard	30 ft	
Maximum secondary front yard	15 ft	
Side yard	N/A	
Minimum rear yard	Greater of 5 ft rear yard OR 10 ft from center line of alley	
Minimum front lot line setback	50%	
Building height	See Map 10.5A21.B & Section 10.5A41.10	
Minimum finished floor surface of ground floor above intermediate grade	36"	
Minimum ground story height	12 ft	
Maximum building length	200 ft	
Maximum building application length	80 ft per Section 10.5A41.10D	
Maximum entrance opening	50 ft	
Maximum building coverage	60%	
Maximum building height	15,000 sf or as allowed by Section 10.5A41.10	
Minimum lot area	5,000 sf	
Minimum lot area per dwelling unit	2,500 sf	
Maximum open space	15%	
Maximum ground floor area per lot	15,000 sf	
Maximum principal front yard	30 ft	
Maximum secondary front yard	15 ft	
Side yard	N/A	
Minimum rear yard	Greater of 5 ft rear yard OR 10 ft from center line of alley	
Minimum front lot line setback	50%	
Building height	See Map 10.5A21.B & Section 10.5A41.10	
Minimum finished floor surface of ground floor above intermediate grade	36"	
Minimum ground story height	12 ft	
Maximum building length	200 ft	
Maximum building application length	80 ft per Section 10.5A41.10D	
Maximum entrance opening	50 ft	
Maximum building coverage	60%	
Maximum building height	15,000 sf or as allowed by Section 10.5A41.10	
Minimum lot area	5,000 sf	
Minimum lot area per dwelling unit	2,500 sf	
Maximum open space	15%	
Maximum ground floor area per lot	15,000 sf	
Maximum principal front yard	30 ft	
Maximum secondary front yard	15 ft	
Side yard	N/A	
Minimum rear yard	Greater of 5 ft rear yard OR 10 ft from center line of alley	
Minimum front lot line setback	50%	
Building height	See Map 10.5A21.B & Section 10.5A41.10	
Minimum finished floor surface of ground floor above intermediate grade	36"	
Minimum ground story height	12 ft	
Maximum building length	200 ft	
Maximum building application length	80 ft per Section 10.5A41.10D	
Maximum entrance opening	50 ft	
Maximum building coverage	60%	
Maximum building height	15,000 sf or as allowed by Section 10.5A41.10	
Minimum lot area	5,000 sf	
Minimum lot area per dwelling unit	2,500 sf	
Maximum open space	15%	
Maximum ground floor area per lot	15,000 sf	
Maximum principal front yard	30 ft	
Maximum secondary front yard	15 ft	
Side yard	N/A	
Minimum rear yard	Greater of 5 ft rear yard OR 10 ft from center line of alley	
Minimum front lot line setback	50%	
Building height	See Map 10.5A21.B & Section 10.5A41.10	
Minimum finished floor surface of ground floor above intermediate grade	36"	
Minimum ground story height	12 ft	
Maximum building length	200 ft	
Maximum building application length	80 ft per Section 10.5A41.10D	
Maximum entrance opening	50 ft	
Maximum building coverage	60%	
Maximum building height	15,000 sf or as allowed by Section 10.5A41.10	

#### Application:

6) Case 4-6  
Petitioners: Portsmouth Lumber & Hardware, Clipper Traders, LLC  
Property: 105 Bartlett Street  
Assessor Plan: Currently: Map 157, Lots 1 & 2; Map 164 Lots 1, 2, 3 & 4  
Zoning Districts: Office Research (OR), Character District 4-W (CD-4W), Transportation Corridor (TC). Proposed Lots 3 and 4 are proposed to be re-zoned to CD-4W and Proposed Lot 5 is proposed to be re-zoned to CD4-W and CD4-L2.  
Description: Adjust lot lines in order to construct new road.  
Requests: Variances and/or Special Exceptions necessary to grant the required relief from the Zoning Ordinance including:  
The required relief under the current zoning includes the following:

PROPOSED LOT 1 = Map 164, Lot 2

PROPOSED LOT 2 = Map 164, Lot 1

PROPOSED LOT 3 = Map 157, Lot 2

PROPOSED LOT 4 = Map 157, Lot 1

PROPOSED LOT 5 = Map 164, Lot 4/4-2

PROPOSED LOT 3 = Map 157, Lot 2

PROPOSED LOT 4 = Map 157, Lot 1

PROPOSED LOT 5 = Map 164, Lot 4/4-2

#### Action:

The Board voted to grant the petition as presented and advertised.