

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

October 8, 2024

AGENDA

2:00 PM

2 Russell St
Port Harbor Land LLC, Owner
Tighe & Bond, Engineer
(LU-22-111)

Second Extension to Site Plan

2:30 PM

680 Peverly Hill Rd
City of Portsmouth, Owner
Altus Engineering, Engineer
(LUTW-24-13)

Site Plan Review



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ANTJE S. BOURDAGES
PARALEGAL
E-MAIL: ABOURDAGES@LYONSLAW.NET

September 25, 2024

**SUBMITTED ONLINE VIA CITY OF PORTSMOUTH – OPENGOV PORTAL
AND SENT VIA EMAIL**

Peter Stith, Technical Advisory Committee Chair
Principal Planner
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: 2 Russell Street (LU-22-111)

Peter,

As you know, I represent Port Harbor Land LLC (“Port Harbor”) as to the development of property located at 2 Russell Street. Pursuant to the attached letter, on this date, I have filed a request with the Planning Board to extend the Site Plan Approval and two Conditional Use Permit Approvals, for an additional one-year, through December 15, 2025. As part of that process, and consistent with Site Plan Regulation 2.14, and our phone conference, I am hereby making this formal request of you as Chair of the Technical Advisory Committee (“TAC”) to schedule this matter for a Work Session on October 8, 2024.

I am submitting this formal request to you through the City’s portal and via email. Additionally, consistent with the attached letter, I have also submitted a copy of the previously approved Plans with City administrative approvals, along with the revised Parking Layout, through the City’s portal. I will also be delivering a hardcopy of this letter, along with the previously approved Plans and the new Parking Layout to the Planning Department.

Thank you for your consideration regarding this matter and we look forward to the upcoming TAC Work Session.

Very truly yours,

John E. Lyons, Jr., Esq.

JEL/dhb

cc: Peter Britz – plbritz@cityofportsmouth.com
Trevor McCourt – tmccourt@cityofportsmouth.com
Vincent Hayes – vjhayes@cityofportsmouth.com
Ryan D. Plummer – ryan@twointernationalgroup.com



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September 25, 2024

SUBMITTED ONLINE VIA CITY OF PORTSMOUTH – OPENGOV PORTAL

Rick Chellman
Chairman, Planning Board
1 Junkins Avenue
Portsmouth, NH 03801

RE: 2 Russell Street (LU-22-111) – Request for Extension

Dear Chair Chellman,

I represent Port Harbor Land, LLC as to the development of property located at 2 Russell Street. As to this development, Port Harbor Land, LLC has obtained all necessary City of Portsmouth Planning Board and Historic District Commission Approvals to construct three new buildings, containing eighty residential dwelling units, commercial space, parking, associated community space, landscaping, and other improvements.

On September 28, 2023, the Planning Board was kind enough to grant my Client a six-month extension as to your Subdivision Approval, which expired on June 15, 2024. You also provided my Client with a one-year extension of your Site Plan Approval and two Conditional Use Permit Approvals, set to expire on December 15, 2024.

I want to confirm that my Client timely met all the requirements of the Subdivision Approval prior to the June 15, 2024 deadline. These requirements included but were not limited to: finalizing and recording the Subdivision Plan; completion of the Certificate of Monumentation; addressing necessary sewer easement matters; and providing the City with three Quitclaim Deeds to allow for the realignment of the Deer and Russell Streets intersection, and for the City’s future construction of a roundabout at Russell and Market Streets.

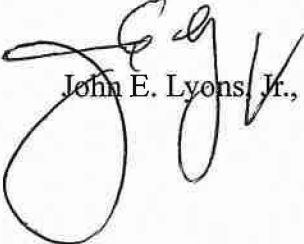
Because of the complexity of this Project, we are now requesting, pursuant to Site Plan Review Regulation Section 2.14, an additional one-year extension of the Planning Board’s Site Plan Approval and two Conditional Use Permit Approvals, through December 15, 2025. While my Client has worked diligently to move the Project forward in advance of the upcoming expiration, this Project is unique in its complexity and has warranted additional time in planning

& design. The realignment of Russell and Deer Streets, the proximity to the railroad, the relocation of utility easements, and the extent of ledge removal, all contribute to the time and effort in planning. The abnormal shape of the site also added time to my Client's design efforts. Specifically, the shape of the buildings made parking layouts challenging, as the details of our building design became more evolved than it typically is at Site Plan Approval. We are currently in the process of requesting Approval of a Parking Variance with the Zoning Board of Adjustment related to the first and second floors of the parking garage contained within Building 2 for dimensional relief that is a result of column placements and necessary mechanical space. The result is actually an improvement to the parking as six (6) spaces have been added while reducing the number of less-desirable tandem spaces, but the Variance request was necessary due to the dimensions of a few spaces being slightly smaller than the standard. We are also working through the complex CMMP, and the issues related thereto involving multiple parties and a tight site in an urban environment. I would also add that we continue to work cooperatively to move all other outstanding issues forward with the City staff and appreciate their professionalism.

In support of this request, we have submitted the previously approved Plans with City administrative approvals through the portal and will be requesting an October 8, 2024, TAC Work Session. We have updated these plans to reflect the revised parking layout from the aforementioned Variance request. We will also deliver a hard copy of this Letter, the previously approved Plans, and the new Parking Layout, to the Planning Department.

We would respectfully request this matter be scheduled for Hearing before the Planning Board at its next Meeting scheduled for October 17, 2024. Thank you for your continued assistance in this matter.

Very truly yours,



John E. Lyons, Jr., Esq.

JEL/dhb

cc: Peter Britz – plbritz@cityofportsmouth.com
Peter Stith – pmstith@cityofportsmouth.com
Trevor McCourt – tmccourt@cityofportsmouth.com
Vincent Hayes – vjhayes@cityofportsmouth.com
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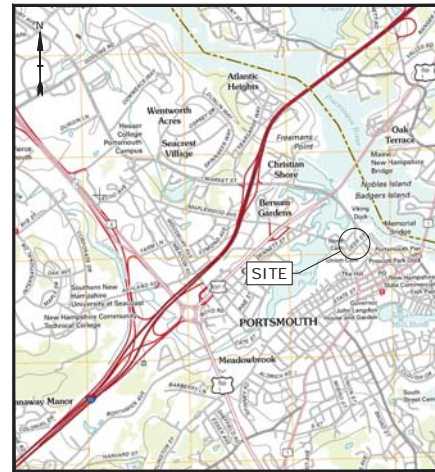
NORTH END MIXED USE DEVELOPMENT

RUSSELL STREET & DEER STREET PORTSMOUTH, NEW HAMPSHIRE

MAY 24, 2022

LAST REVISED SEPTEMBER 24, 2024

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	9/24/2024
S-1	LOT LINE RELOCATION PLAN	11/23/2022
S-2	SURVEY NOTES	11/23/2022
S-3	ACCESS EASEMENT PLAN	11/23/2022
S-4	ACCESS EASEMENT PLAN	11/23/2022
S-5	UTILITIES EASEMENT PLAN	11/23/2022
S-6	COMMUNITY SPACE EASEMENT PLAN	11/23/2022
G-100	GENERAL NOTES AND LEGEND	5/22/2023
C-101	EXISTING CONDITIONS & DEMOLITION PLAN	5/22/2023
C-102	OVERALL SITE PLAN	9/24/2024
C-102.1	SITE PLAN	9/24/2024
C-103	GRADING & DRAINAGE PLAN	9/24/2024
C-104	UTILITIES PLAN	9/24/2024
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	5/22/2023
C-502	DETAILS SHEET	12/5/2022
C-503	DETAILS SHEET	12/5/2022
C-504	DETAILS SHEET	12/5/2022
C-505	DETAILS SHEET	12/5/2022
C-506	DETAILS SHEET	5/22/2023
C-507	DETAILS SHEET	5/22/2023
C-508	DETAILS SHEET	12/5/2022
C-509	DETAILS SHEET	12/5/2022
C-510	DETAILS SHEET	5/22/2023
L-100	LANDSCAPE MATERIAL PLAN, LEGEND AND NOTES	11/23/2022
L-101	LANDSCAPE SITE PLAN	11/23/2022
L-102	LANDSCAPE DETAILS	11/23/2022
L-103	LANDSCAPE DETAILS	11/23/2022
E-001	LIGHTING COVER SHEET	11/23/2022
E-100	EXTERIOR LIGHTING PLAN AND CALCULATIONS	11/23/2022
E-101	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-102	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-103	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-104	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
A-101	BUILDING 1 AREA PLANS	5/24/2022
A-102	BUILDING 2 AREA PLANS	5/24/2022
A-103	BUILDING 3 AREA PLANS	5/24/2022
A-201	BUILDING 1 ELEVATION	5/24/2022
A-202	BUILDING 1 ELEVATION	5/24/2022
A-203	BUILDING 2 ELEVATION	5/24/2022
A-204	BUILDING 2 ELEVATION	5/24/2022
A-205	BUILDING 2 ELEVATION	5/24/2022
A-206	BUILDING 3 ELEVATION	5/24/2022
A-207	BUILDING 3 ELEVATION	5/24/2022
A-208	GLAZING STUDY	5/24/2022



LOCATION MAP
SCALE: 1" = 2,000'

WILDLIFE PROTECTION NOTES:	
1.	ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHGREVIEW@WILDLIFE.NH.GOV . EMAIL SUBJECT LINE: NHB22-2135, NORTH END MIXED USE DEVELOPMENT, WILDLIFE SPECIES OBSERVATION.
2.	PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
3.	IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG. IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
4.	THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT	APPROVED	12/23/2022
LOT LINE REVISION PERMIT	APPROVED	12/23/2022
CONDITIONAL USE PERMIT	APPROVED	12/23/2022
STATE		
NHDES - SEWER CONNECTION PERMIT	NOT SUBMITTED	
NHDES - ALTERATION OF TERRAIN PERMIT	APPROVED	5/25/2023

PREPARED BY:
Tighe & Bond
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

ARCHITECT:
SGA ARCHITECTURE
200 HIGH STREET, FLOOR 2
BOSTON MA, 02110
857-300-2610

OWNER/APPLICANT:
TAX MAP 118, LOT 28
TAX MAP 119, LOT 1-1A
TAX MAP 119, LOT 1-1C
TAX MAP 119, LOT 4
TAX MAP 124, LOT 12 &
TAX MAP 125, LOT 21

PORT HARBOR LAND, LLC
1000 MARKET STREET, BUILDING ONE
PORTSMOUTH, NEW HAMPSHIRE 03801

EXTENSION REQUEST SUBMISSION

COMPLETE SET 44 SHEETS

NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 1 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 205 OF 61, MAP NUMBER 330300205P WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- OWNER OF RECORD:
MAP 125 LOT 21, MAP 144 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
PORT HARBOR LAND LLC
1000 MARKET ST. BUILDING 1
PORTSMOUTH, NH 03801
RCRD BK#0804 PG#14

EXISTING AREA TABLE

MAP	LOT	S.F.	ACRES
118	28	48,417	1.115
119	1-1C	86,031	1.975
119	1-1A	2,640	0.060
119	4	9,787	0.223
124	12	19,055	0.4374
125	21	22,559	0.5179

PROPOSED AREA TABLE

MAP	LOT	S.F.	ACRES
118	28	50,875	1.1679
119	1-1C	84,604	1.9420
119	1-1C	1,427	0.033
119	1-1A	2,640	0.060
119	4	7,090	0.1600
119	4	2,673	0.0600
124	12	20,918	0.4852
125	21	18,237	0.4187

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN AUGUST 2019. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS.
I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

DRAFT

DICENSED LAND SURVEYOR _____ DATE _____



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

MAP 124 LOT 1

1000 MARKET ST. BUILDING 1
PORTSMOUTH, NH 03801
RCRD BK # PG #

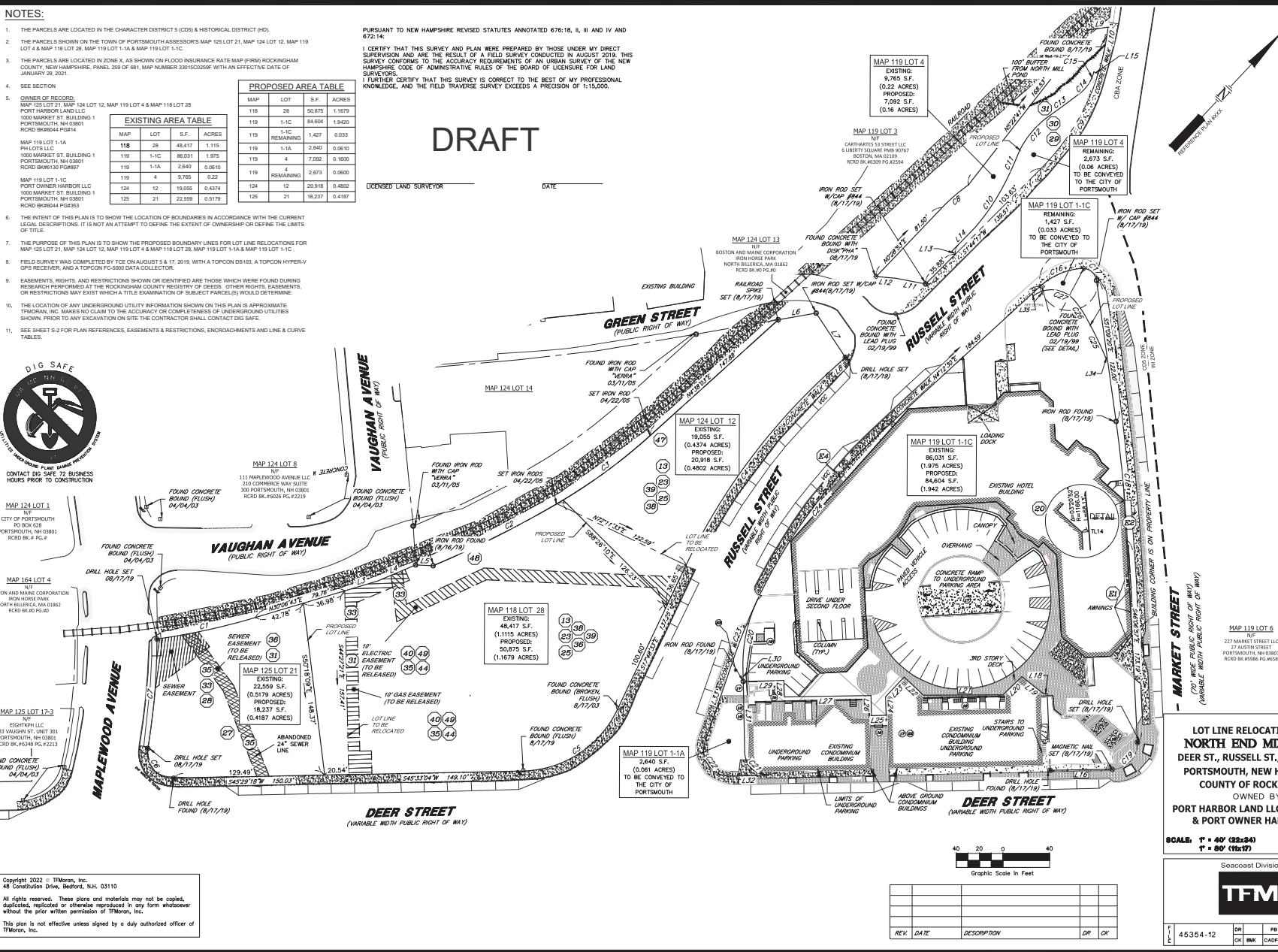
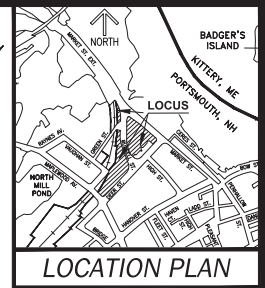
MAP 164 LOT 4

PORT AND MAINE CORPORATION
NORTH BELLERICA, MA 01862
RCRD BK#0 PG#0

MAP 125 LOT 12-3

EIGHTH LLC
233 VAUGHN ST. UNIT 301
PORTSMOUTH, NH 03801
RCRD BK#0 PG#0, #2213

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



**LOT LINE RELOCATION PLAN
NORTH END MIXED USE
DEER ST., RUSSELL ST., MARKET ST.
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM**

OWNED BY
**PORT HARBOR LAND LLC, PH LOTS LLC
& PORT OWNER HARBOR LLC**

MAP	LOT
118	28
119	1-1C, 1-1A, 4
124	12
125	21

SCALE: T = 40' (22x34)
P = 60' (15x17)

NOVEMBER 28, 2022

Seacoast Division

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

REV.	DATE	DESCRIPTION	DR.	OK.

NO.	DATE	DR.	FB
45354-12		BNK	CADPLE

SEE MARGIN

S-1

EASEMENTS & RESTRICTIONS:

PARCEL 1 (MAP 119-1-10/Parcel 10)

- 10 ITEM #10 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY BOSTON & MAINE RAILROAD AND WESTERN UNION TELEGRAPH COMPANY...
11 ITEM #11 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY ROBERT W. MESERVE AND BENJAMIN H. LACY, AS TRUSTEES OF BOSTON & MAINE CORPORATION...
12 ITEM #12 - TERMS AND CONDITIONS OF THE EASEMENT FROM SHELTER GROUP, INC. TO HARBORSIDE ASSOCIATES DATED AUGUST 30, 1985...
13 ITEM #13 - TERMS AND CONDITIONS OF THE PARKING ACCESS EASEMENT FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES...
14 ITEM #14 - EASEMENTS GRANTED TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY...
15 EASEMENT IS FOR THE "PURPOSE OF PROVIDING TELEPHONE SERVICE TO THE BUILDINGS WHICH ARE NOW OR WILL BE LOCATED ON THE PARCELS OF LAND TO BE ACQUIRED...
16 ITEM #15 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "SUBDIVISION PLAN OF LOTS 18 A1A & 1A, PORTSMOUTH, N.H." DATED OCTOBER 1, 1987...
17 ITEM #16 - TERMS AND CONDITIONS OF THE ACCESS EASEMENT (HARBORSIDE) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES...
18 ITEM #17 - TERMS AND CONDITIONS OF THE CONSTRUCTION, USE AND MAINTENANCE EASEMENT (HARBORSIDE) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES...
19 ITEM #18 - ACCESS EASEMENT (HARBORSIDE) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES DATED OCTOBER 1, 1987...
20 ITEM #19 - UTILITIES EASEMENT (HARBORSIDE) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES DATED DECEMBER 8, 1987...
21 ITEM #20 - TERMS AND CONDITIONS OF EASEMENT AND BUILDING OPERATING AGREEMENT BY AND BETWEEN HARBORSIDE INN, INC. AND HARBORSIDE ASSOCIATES DATED JUNE 6, 1988...
22 ITEM #21 - PARKING EASEMENT (MARKET WHARF II) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE INN, INC. DATED MAY 12, 1988...
23 ITEM #22 - PARKING EASEMENT (MARKET WHARF II, SECOND) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE INN, INC. DATED MAY 12, 1988...
24 ITEM #23 - CABLE TELEVISION INSTALLATION AND SERVICE AGREEMENT BY AND BETWEEN CENTRAL CABLEVISION OF NEW ENGLAND, INC. AND HARBORSIDE ASSOCIATES DATED DECEMBER 29, 1984...
25 ITEM #24 - CABLE TELEVISION INSTALLATION AND SERVICE AGREEMENT BY AND BETWEEN CENTRAL CABLEVISION OF NEW ENGLAND, INC. AND HARBORSIDE ASSOCIATES DATED DECEMBER 29, 1984...
26 ITEM #25 - EASEMENT RIGHTS RESERVED IN A DEED FROM HARBORSIDE ASSOCIATES TO SHELTER GROUP, INC. DATED MAY 6, 1988...
27 ITEM #26 - SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, N.H. DATED JUNE 25, 1988...
28 ITEM #27 - HARBORSIDE PORTSMOUTH NEW HAMPSHIRE, INC. DATED JULY 16, 1985...
29 ITEM #28 - SURVEY OF HARBORSIDE & HARBORPARK LANDS IN PORTSMOUTH, N.H. DATED AUGUST 13, 1985...
30 ITEM #29 - SUBDIVISION PLAN OF LOTS 1B & 1C & 1A IN PORTSMOUTH, N.H. DATED OCTOBER 1, 1987...
31 ITEM #30 - MARKET WHARF I A CONDOMINIUM SITE AND FLOOR PLANS DATED APRIL 11, 1988...

EASEMENTS & RESTRICTIONS CONTINUED:

- 32 PARCELS 2, 2A, 2B & 2C (MAP 119 LOT 4/PARCEL 2B, MAP 124 LOT 12/PARCEL 2A, MAP 118 LOT 28/PARCEL 2 & MAP 125 LOT 21/PARCEL 2A)
33 ITEM #27 - RIGHTS AND EASEMENTS FROM THE BOSTON AND MAINE RAILROAD TO THE CITY OF PORTSMOUTH DATED JANUARY 31, 1936...
34 ITEM #28 - EASEMENT GRANTED TO THE CITY OF PORTSMOUTH, RECORDED IN SAID REGISTRY AT BOOK 2245 PAGE 328...
35 ITEM #29 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY BOSTON & MAINE RAILROAD AND WESTERN UNION TELEGRAPH COMPANY...
36 ITEM #30 - RIGHTS AND EASEMENTS RESERVED IN A DEED FROM THE BOSTON AND MAINE RAILROAD TO THE CITY OF PORTSMOUTH DATED OCTOBER 16, 1981...
37 ITEM #31 - RIGHTS AND EASEMENTS FROM PORTSMOUTH HOUSING AUTHORITY TO ALLIED GAS DIVISION OF NORTHERN UTILITIES, INC. AS SET FORTH IN AN INSTRUMENT DATED MARCH 8, 1974...
38 ITEM #32 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY ROBERT W. MESERVE AND BENJAMIN H. LACY, AS TRUSTEES OF BOSTON & MAINE CORPORATION...
39 ITEM #33 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, N.H. FOR THE CITY OF PORTSMOUTH" DATED AUGUST 1, 1984...
40 ITEM #34 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "SHELTER GROUP AND HARBORPARK EASEMENT PLAN PARCEL TWO" BY LANE, FRENCHMAN AND ASSOCIATES, DATED JULY 16, 1988...
41 ITEM #35 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "SURVEY OF HARBORSIDE AND HARBORPARK LANDS IN PORTSMOUTH, N.H." DATED AUGUST 13, 1985...
42 ITEM #36 - SUBJECT TO AND WITH BENEFIT TO THE TERMS AND CONDITIONS OF A PARKING ACCESS EASEMENT BY AND BETWEEN HARBORSIDE PARK, INC. AND HARBORSIDE ASSOCIATES DATED AUGUST 30, 1985...
43 ITEM #37 - EASEMENTS GRANTED TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS FOLLOWS:
44 ITEM #38 - PARKING EASEMENTS RESERVED IN A DEED FROM HARBORSIDE ASSOCIATES TO SHELTER GROUP, INC. DATED MAY 6, 1988...
45 ITEM #39 - PARKING EASEMENT (MARKET I, SECOND) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE INN, INC. DATED JUNE 6, 1988...
46 ITEM #40 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP., LLC AND BOSTON AND MAINE CORPORATION" DATED MARCH 14, 2005...
47 ITEM #41 - TERMS AND CONDITIONS OF AN ASSUMPTION AGREEMENT BETWEEN NITREPO FINANCIAL GROUP, INC. HARBORCORP., LLC, LODGEYS, INC. AND HARBORSIDE INN, INC. DATED APRIL 12, 1999...
48 ITEM #42 - SUBORDINATION AND STANDSTILL AGREEMENT BY AND AMONG HARBORCORP., LLC, HARBORSIDE ASSOCIATES LP AND CW CAPITAL, LLC DATED NOVEMBER 30, 2005...
49 ITEM #43 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS, PROHIBITED USES AND RIGHTS OF PARTIES UNDERWRITING A DEED FROM THE BOSTON AND MAINE CORPORATION DATED MARCH 14, 2005...
50 ITEM #44 - TERMS AND CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS AND RIGHTS OF PARTIES UNDER CERTAIN PARKING LOT LEASE DATED MAY 1, 2003 BETWEEN HARBORCORP., LLC AS LESSOR AND HARBORSIDE ASSOCIATES, LP, AS LESSEE...

ITEM #44 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP., LLC AND BOSTON AND MAINE CORPORATION" DATED APRIL 24, 2014 BY ANDERSON-NICHOLS & CO., INC. AND RECORD MARCH 16, 1974...
ITEM #45 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS AND RIGHTS OF PARTIES UNDER CERTAIN PARKING LOT LEASE DATED MAY 1, 2003 BETWEEN HARBORCORP., LLC AS LESSOR AND HARBORSIDE ASSOCIATES, LP, AS LESSEE...
ITEM #46 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "STATION MAP-LANDS BOSTON & MAINE R.R. OPERATED BY THE BOSTON AND MAINE R.R. STATION 2966+0/2967+20 DATED JUNE 20, 1914...
ITEM #47 - TERMS AND CONDITIONS, RIGHTS AND EASEMENT SET FORTH IN A DEED FROM THE BOSTON AND MAINE CORPORATION TO HARBORCORP., LLC DATED APRIL 15, 2005...
ITEM #48 - TERMS AND CONDITIONS, RIGHTS AND EASEMENT SET FORTH IN A DEED FROM THE BOSTON AND MAINE CORPORATION TO HARBORCORP., LLC DATED MAY 9, 2014...
ITEM #49 - ELECTRIC UTILITY EASEMENT AND GAS MAIN EASEMENT AS SHOWN ON PLAN ENTITLED "ELECTRIC UTILITY EASEMENT PARCEL 2" DATED JANUARY 1974...
ITEM #50 - VARIATIONS BETWEEN THE DESCRIPTIONS CONTAINED BETWEEN THE DESCRIPTION OF SAID PARCELS 1 AND 2 AND TWO, AS SET FORTH IN BOOK 1609 PAGE 2533 AND THE DESCRIPTIONS OF SAID PARCELS IN PLAN D-38256...

ENCROACHMENTS:

- 51 ON THE WEST, UTILITY TOWER OVER RECORD LINE;
52 ON THE EAST, ELECTRIC PEDESTAL OVER THE RECORD LINE, WITHOUT AN EASEMENT;
53 ON THE NORTHEAST, SEWER MANHOLE OVER RECORD LINE, WITHOUT AN EASEMENT;
54 ON THE SOUTHEAST, SIGNAL BOX OVER RECORD LINE, WITHOUT AN EASEMENT.

PLAN REFERENCES:

- 1. "SUBDIVISION PLAN OF LOTS 1B & 1C & 1A IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED OCTOBER 1, 1987, ROP PLAN #0-1749.
2. "SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED AUGUST 1, 1984, REV. JUNE 25, 1988, ROP PLAN #0-1798.
3. "MARKET WHARF I A CONDOMINIUM SITE PLAN, PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED APRIL 11, 1988, ROP PLAN #0-1809.
4. "SURVEY OF HARBORSIDE & HARBORPARK LAND IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED AUGUST 13, 1985 REVISED AUGUST 27, 1985, ROP PLAN #0-14043.
5. "HARBORSIDE AND HARBORPARK EASEMENT PLAN-PARCEL 1, PORTSMOUTH, NEW HAMPSHIRE" BY RANDOM F. CORMIER, DATED OCTOBER 22, 1987, ROP PLAN #0-17413.
6. "MARKET WHARF I, A CONDOMINIUM SITE PLAN, HARBORSIDE-PORTSMOUTH, N.H." BY SHELTER GROUP, INC., LANE FRENCHMAN & ASSOCIATES, INC., DATED 16 JULY 86, ROP PLAN #C-14042.
7. "VALGAIN STREET URBAN RENAISSANCE PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, ELECTRIC UTILITY EASEMENT, PARCEL 2" BY ANDERSON-NICHOLS & CO., INC., DATED JAN. 1974, ROP PLAN #0-4337.
8. "PORTSMOUTH HOUSING AUTHORITY, PORTSMOUTH, NEW HAMPSHIRE, ROCKINGHAM COUNTY, VAUGHAN STREET PROJECT, PROJECT NO. N.H. R-10, FIRE ALARM SYSTEM AND ELECTRICAL DISTRIBUTION PLAN" BY METCALF & EDDY ENGINEERS-PLANNERS, DATED MAY 5, 1966, ROP PLAN #0-2420.
9. "VAUGHAN STREET URBAN RENAISSANCE PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, APPROVED AS SHOWING VAUGHAN STREET URBAN RENAISSANCE PROJECT BOUNDARIES AND AREA ONLY, CONDEMNATION MAP" BY ANDERSON-NICHOLS & CO., INC., DATED FEB. 1971, ROP PLAN #0-2425.
10. "LAND IN PORTSMOUTH, N.H., BOSTON AND MAINE RAILROAD FOR ROSE R. WOLFSON" DATED JUNE 1954, ROP BK. 1324 PG. 45.
11. "PORTSMOUTH HOUSING AUTHORITY, PORTSMOUTH, NEW HAMPSHIRE, ROCKINGHAM COUNTY, VAUGHAN STREET PROJECT, PROJECT NO. N.H. R-10, RIGHT OF WAY ADJUSTMENTS PLAN" BY METCALF & EDDY ENGINEERS-PLANNERS, DATED MAY 5, 1966, ROP PLAN #0-2413.
12. "STATION MAP-LANDS, CONCORD AND PORTSMOUTH R.R. OPERATED BY THE BOSTON MAINE R.R., STATION 40+00 TO STATION 43+07" BY THE OFFICE OF VALUATION ENGINEER, DATED JUNE 30, 1914, NOT RECORDED.
13. "STATION MAP-LANDS, BOSTON AND MAINE R.R., OPERATED BY THE BOSTON MAINE R.R., STATION 2966+20 TO STATION 3019+00" BY THE OFFICE OF VALUATION ENGINEER, DATED JUNE 30, 1914, NOT RECORDED.
14. "ALTA/ACSM LAND TITLE SURVEY FOR HARBORSIDE ASSOCIATES, MARKET, DEER & RUSSELL STREETS, COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H." BY MILLETTE, SPRAGUE & COLWELL, INC., DATED FEBRUARY 24, 1994, LAST REVISED 04-09-98, NOT RECORDED.
15. "THE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP., LLC AND BOSTON AND MAINE CORPORATIONS" BY AMES MSC ARCHITECTS AND ENGINEERS DATED MARCH 14, 2005 WITH REVISION DATE OF 05/03/05, ROP PLAN #0-29257.
16. "LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP., LLC AND BOSTON AND MAINE CORPORATIONS" BY AMES MSC ARCHITECTS AND ENGINEERS DATED APRIL 24, 2014 WITH REVISION DATE 02/19/14, ROP PLAN #0-37626.
17. "LAND IN PORTSMOUTH, N.H., BOSTON AND MAINE RAILROAD TO RAYLEN REALTY COMPANY" BY ASST. CHIEF ENGR, DATED APRIL 1961, ROP PLAN #0-26226.
18. "EASEMENT FOR SEWER, PORTSMOUTH, N.H." BY ASST. CHIEF ENGR, DATED DEC. 1936, ROP #0202.
19. "RETRACTS THE LINES UNDER WHICH THE LINES TO ROSE R. WOLFSON" BY ENGR. OF DESIGN, DATED JUNE 1954, ROP PLAN #02282 (SEE ALSO ROP BK.1324 PG.45).
20. "ALTA/ACSM LAND TITLE SURVEY SHERRATON HOTEL, 250 MARKET STREET PORTSMOUTH NEW HAMPSHIRE" BY TMBARN, INC. DATED AUGUST 19, 2010, PLAN NOT RECORDED.

Table with columns: CURVE #, RADIUS, LENGTH, DELTA, CHORD DIRECTION, CHORD LENGTH. Contains curve data for the project.

Table with columns: LINE #, BEARING, DISTANCE. Contains line data for the project.

DRAFT

DESIGNED LAND SURVEYOR DATE

TAX MAPS 119, 124, 118, 125 LOTS 4, 12, 28 & 21

NOTES NORTH END MIXED USE DEET ST., RUSSELL ST., MARKET ST. PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM OWNED BY PORT HARBOR LAND LLC, PH LOTS LLC & PORT OWNER HARBOR LLC

SCALE: NO SCALE NOVEMBER 23, 2022

Seacoast Division TFM CIVIL ENGINEERS Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmna.com

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

Table with columns: REVISION, DATE, DESCRIPTION, DR, ES, CH, CR, CA, RPL, FB, 559, S-2. Contains revision history.

NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 1-1A & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE K, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 691, MAP NUMBER 30150229P WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- GENERAL RECORDS:**
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
 PORT HARBOR LAND LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 808044 P05E14

MAP 119 LOT 1-1A
 PH LOTS LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 808044 P05E14

MAP 119 LOT 1-1C
 PORT OWNER HARBOR LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 808044 P05E14
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON PC-6000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TITANIAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:18, II, III AND IV AND 672:14:

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTH, YEAR. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS.

I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

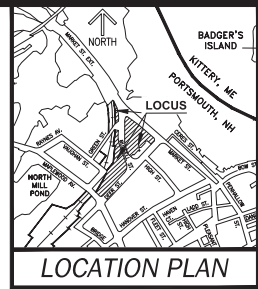
DRAFT

LICENSED LAND SURVEYOR _____

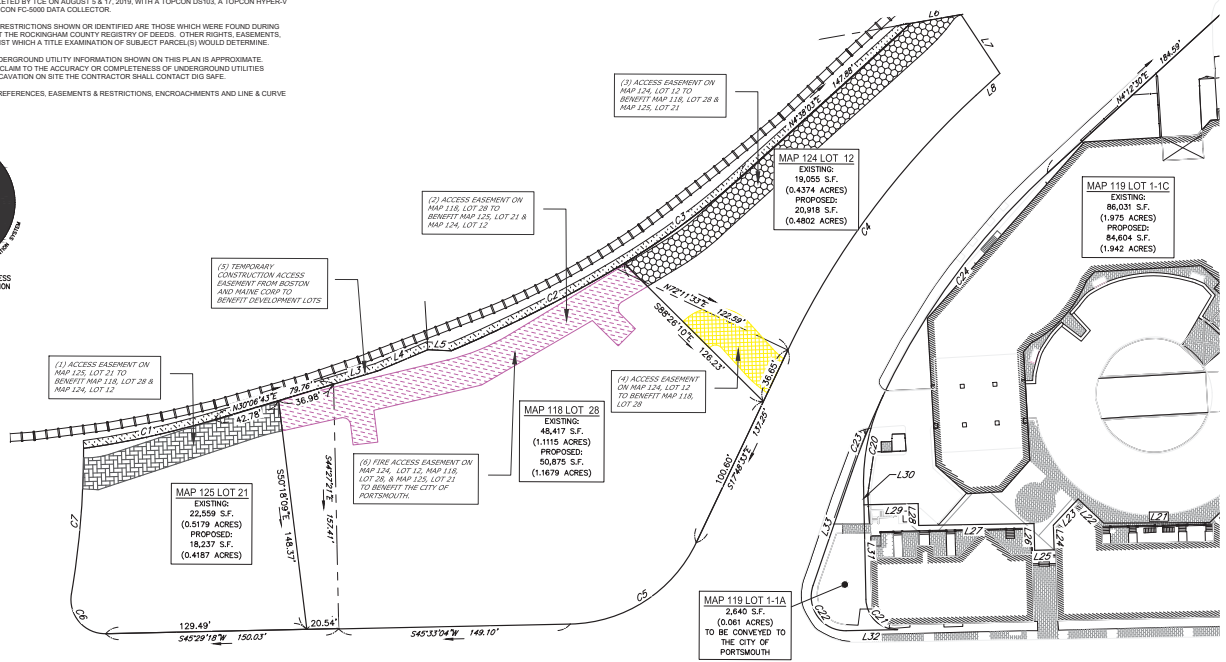
DATE _____

ACCESS EASEMENTS:

- (1) ACCESS EASEMENT ON MAP 125, LOT 21 TO BENEFIT MAP 118, LOT 28 & MAP 124, LOT 12.
- (2) ACCESS EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21 & MAP 124, LOT 12.
- (3) ACCESS EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28 & MAP 125, LOT 21.
- (4) ACCESS EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28.
- (5) TEMPORARY CONSTRUCTION ACCESS EASEMENT FROM BOSTON AND MAINE CORP TO BENEFIT DEVELOPMENT LOTS.
- (6) FIRE ACCESS EASEMENT ON MAP 124, LOT 12, MAP 118, LOT 28, & MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.



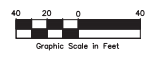
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



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This plan is not effective unless signed by a duly authorized officer of T Moran, Inc.



REV	DATE	DESCRIPTION	DR	CK

ACCESS EASEMENT PLAN
NORTH END MIXED USE
 DEER ST., RUSSELL ST., MARKET ST.
 PORTSMOUTH, NEW HAMPSHIRE
 COUNTY OF ROCKINGHAM

OWNED BY
**PORT HARBOR LAND LLC, PH LOTS LLC
 & PORT OWNER HARBOR LLC**

**SCALE: 1" = 40' (32x24)
 1" = 80' (11x17)**

NOVEMBER 28, 2022

MAP	&	LOT
118		28
119	1-1C, 1-1A, 4	
124		12
125		21

Seacoast Division

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfm.com

45354-12	DR	FB	SEE MARGIN	S-3
	CK	CAD/PLE		

Nov 23, 2022 - 10:23am
 F:\MS2\Projects\45354 - Market Street - Portsmouth\MS264-12 For Harbor Land, LLC - 250 Market St\Location Survey\DWG\MS264-12 Lot Line Revision Easement Plans-RT.dwg

NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE "A" AS SHOWN ON FLOOD INSURANCE RATE MAP #FIRM/ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 61, MAP NUMBER 301302289 WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- COUNCIL OF RECORD:**
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
 PORT HARBOR LAND LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 369604 P0314

 MAP 119 LOT 1-1A
 PH LOTS LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 369604 P0314

 MAP 119 LOT 1-1C
 PORT OWNER HARBOR LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 369604 P0314
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPERV GPS RECEIVER, AND A TOPCON PC-5000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TRADIAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTHS 10-15, 2019. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

DENSED LAND SURVEYOR _____ DATE _____

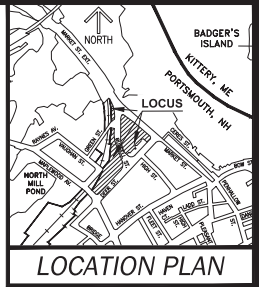
DRAFT

LEGEND

- BOOK / PAGE
- DELTA
- RADIUS
- LENGTH OF CURVE
- NOW OR FORMERLY
- ELEVATION
- ROCKINGHAM COUNTY REGISTRY OF DEEDS
- SQUARE FEET
- APPROXIMATE ABUTTER LINE
- PROPERTY LINE
- WOOD FENCE
- CHAINLINK FENCE
- RAILROAD TRACKS
- BRICK
- GRAVEL
- CONCRETE

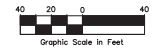
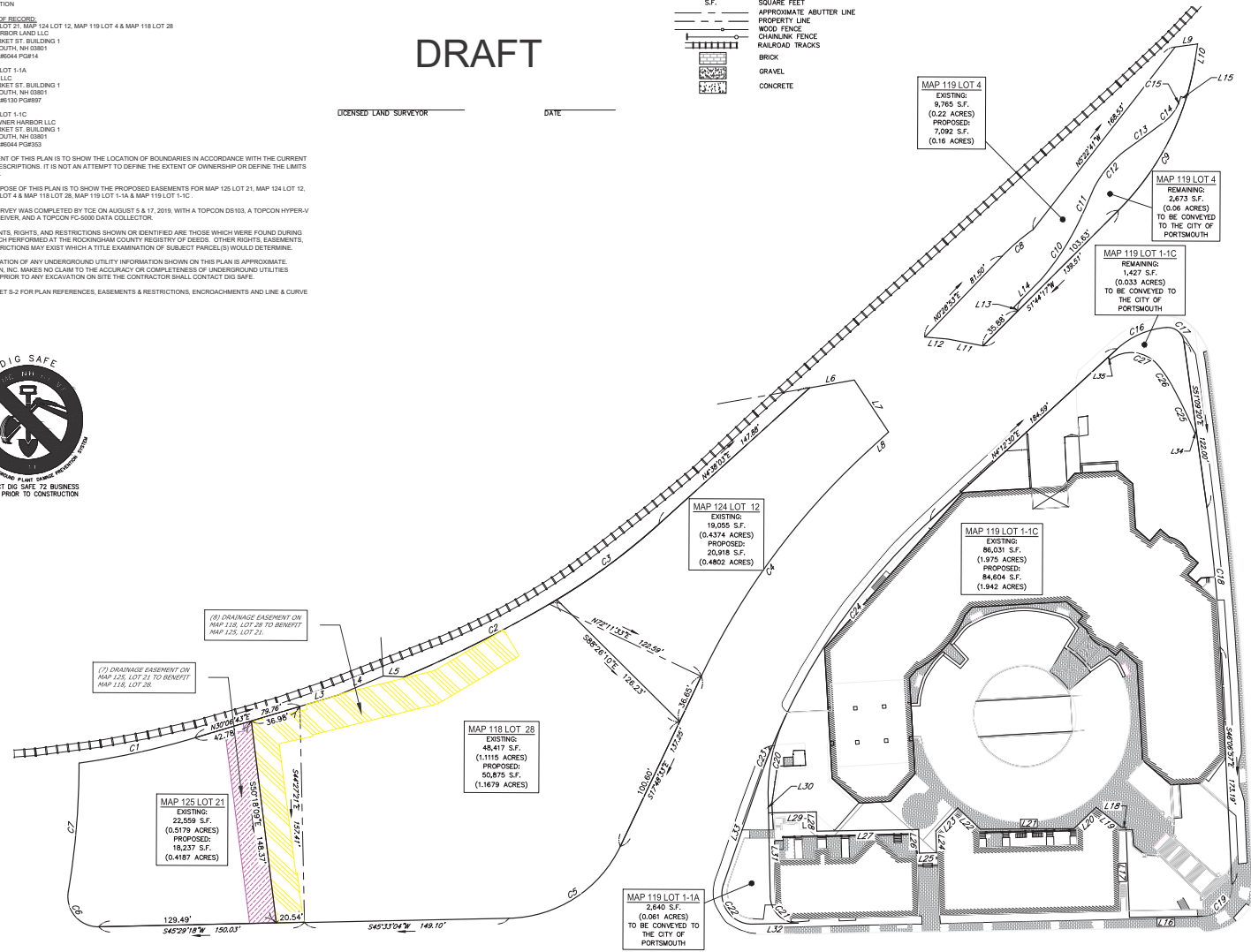
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 This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



DRAINAGE EASEMENTS:

- (7) DRAINAGE EASEMENT ON MAP 125, LOT 21 TO BENEFIT MAP 118, LOT 28.
- (8) DRAINAGE EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21.



REV.	DATE	DESCRIPTION	DR	CK

ACCESS EASEMENT PLAN
NORTH END MIXED USE
 DEER ST., RUSSELL ST., MARKET ST.
 PORTSMOUTH, NEW HAMPSHIRE
 COUNTY OF ROCKINGHAM

OWNED BY
PORT HARBOR LAND LLC, PH LOTS LLC & PORT OWNER HARBOR LLC

SCALE: 1" = 40' (22x34)
1" = 80' (11x17)

NOVEMBER 23, 2022

MAP & LOT	
118	28
119	1-1C, 1-1A, 4
124	12
125	21

Seacoast Division

TFM

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

45364-12 DR FB
 CK BK CAOPLE SEE MARGIN S-4

Nov 23, 2022 - 10:24am F:\MISC\Projects\45364-12 Port Harbor Land, LLC - 250 Market St\Location Survey\Drawings\45364-12 Loc Line Revision Easement Plans-S1.dwg




NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 1 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 250 OF 881, MAP NUMBER 3301C0205F WITH AN EFFECTIVE DATE OF JANUARY 03, 2021.
- SEE SECTION
- OWNER OF RECORD:
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
 PORT HARBOR LAND LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK96044 PG#14
 MAP 119 LOT 1-1A
 PH LOTS LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK96130 PG#67
 MAP 119 LOT 1-1C
 PORT OWNER HARBOR LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK96044 PG#63
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON SC-5000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:

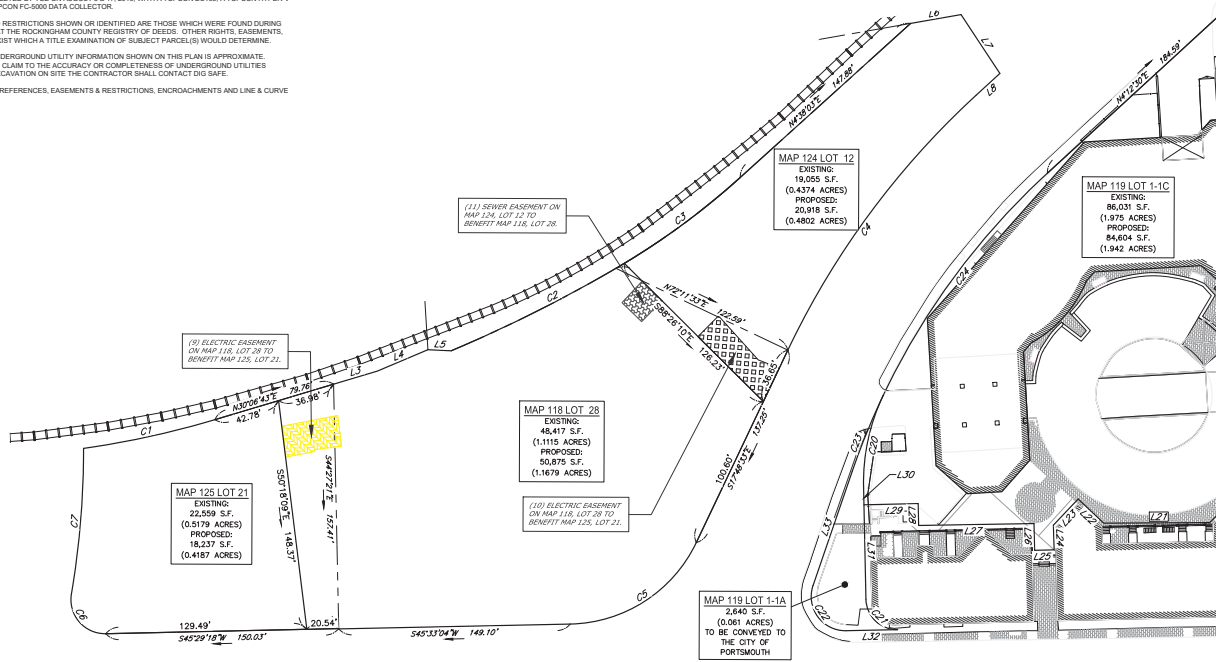
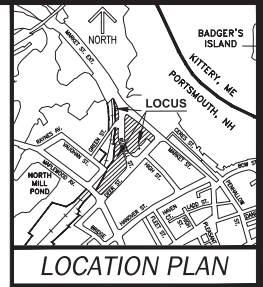
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTH, YEAR, THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

UTILITIES EASEMENTS:

-  (9) ELECTRIC EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21.
-  (10) ELECTRIC EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 124, LOT 12.
-  (11) SEWER EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28.

DRAFT

LICENSED LAND SURVEYOR _____ DATE _____



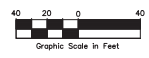
UTILITIES EASEMENT PLAN
NORTH END MIXED USE
 DEER ST., RUSSELL ST., MARKET ST.
 PORTSMOUTH, NEW HAMPSHIRE
 COUNTY OF ROCKINGHAM
 OWNED BY
 PORT HARBOR LAND LLC, PH LOTS LLC
 & PORT OWNER HARBOR LLC

MAP & LOT	
118	28
119	1-1C, 1-1A, 4
124	12
125	21

SCALE: 1" = 40' (22x34)
 1" = 80' (11x17)


NOVEMBER 29, 2022

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REV.	DATE	DESCRIPTION	DR	CK

Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

45354-12	DR	FB	SEE MARGIN	S-5
	CK	BNK		

Nov 23, 2022 - 10:23am
 F:\MISC Projects\45354 - Market Street - Portsmouth\45354-12 Port Harbor Land, LLC - 250 Market St\Location Survey\Drawings\45354-12 Lot Line Revision Easement Plans-RT.dwg

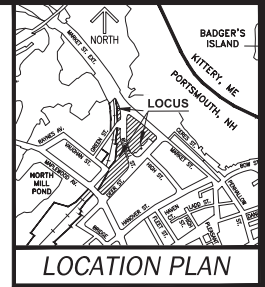
NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 123 LOT 21, MAP 124 LOT 12, MAP 124 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 239 OF 461, MAP NUMBER 330162039 WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- OWNER OF RECORD:**
 MAP 123 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 119 LOT 28
 PORT HARBOR LAND LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK46130 PG4897
 MAP 119 LOT 1-1A
 PH LOTS LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK46130 PG4897
 MAP 119 LOT 1-1C
 PORT OWNER HARBOR LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK46044 PG3533
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 123 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 8 & 17, 2019. WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON FC-5000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCELS WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMoran, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET 9-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:
 I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN WORK, YET AS THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

DRAFT

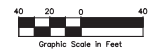
LICENSED LAND SURVEYOR _____ DATE _____



COMMUNITY SPACE EASEMENTS:

- (12) WIDE SIDEWALK EASEMENT ON MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.
- (13) WIDE SIDEWALK EASEMENT ON MAP 118, LOT 28 TO BENEFIT THE CITY OF PORTSMOUTH.
- (14) WIDE SIDEWALK EASEMENT ON MAP 124, LOT 12 TO BENEFIT THE CITY OF PORTSMOUTH.
- (15) PEDESTRIAN ALLEY ON MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.
- (16) PEDESTRIAN ALLEY ON MAP 118, LOT 28 TO BENEFIT THE CITY OF PORTSMOUTH.
- (17) PEDESTRIAN ALLEY ON MAP 124, LOT 12 TO BENEFIT THE CITY OF PORTSMOUTH.
- (18) PARK ARE COMUNITY EASEMENT MAP 119, LOT 4 TO BENEFIT THE CITY OF PORTSMOUTH.

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 This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



REV.	DATE	DESCRIPTION	DR	CK

COMMUNITY SPACE EASEMENT PLAN
NORTH END MIXED USE
DEER ST., RUSSELL ST., MARKET ST.
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
PORT HARBOR LAND LLC, PH LOTS LLC
& PORT OWNER HARBOR LLC

MAP	LOT
118	28
119	1-1C, 1-1A, 4
124	12
125	21

SCALE: T' = 40' (22x34)
 T' = 80' (11x17)
NOVEMBER 23, 2022

 Seacoast Division	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0310 www.tfmoran.com
	45354-12 DR: BK CK: CMK PB: CAD/PLE SEE MARGIN	S-6



Nov 23, 2022 - 10:23am
 F:\MISC\Projects\45354-12 Port Harbor Land, LLC - 250 Market St\Location Survey\DWG\45354-12 Loc Line Revision Easement Plans-RT.dwg

- GENERAL NOTES:**
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
 - COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH.
 - THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CALL DIGI DIG-AND LOCATE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND OBTAIN PERMITS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, WATER AND SEWER SERVICES, TELEPHONE SERVICES, TARIFFED WATER AND SEWER SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
 - ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROADS AND BRIDGE CONSTRUCTION", CURRENT EDITION.
 - CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (DWG AND PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
 - CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 - SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
 - APPLICANT SHALL SUBMIT, AS PART OF THE FINAL POST APPROVAL PROCEDURES, RELEVANT FTAP INFORMATION USING THE MOST RECENT ONLINE DATA PORTAL CURRENTLY MANAGED BY THE UNH STORMWATER CENTER. THE PLANNING DEPARTMENT SHALL BE NOTIFIED AND COPIED OF THE FTAP DATA SUBMISSION.
 - A VIDEO INSPECTION OF THE EXISTING SEWER AND DRAIN LINES ON MAPLEWOOD AVENUE, DEER STREET AND RUSSELL STREET SHALL BE COMPLETED AND PROVIDED TO PORTSMOUTH DPW BOTH BEFORE AND AFTER CONSTRUCTION.
 - CONTRACTOR SHALL INSTALL INTERSECTION VIDEO DETECTION FOR MAPLEWOOD AVENUE AND DEER STREET INTERSECTION. COORDINATE WITH THE CITY OF PORTSMOUTH TRAFFIC DEPARTMENT.

- GRADING AND DRAINAGE NOTES:**
- CONTRACTOR REQUIREMENTS:
BLOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND 100%
BLANKET BAGS/FOOT 95%
BELOW LOAM AND SEED AREAS 90%
*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
 - ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, AOS 1/2 OR EQUAL) UNLESS OTHERWISE SPECIFIED.
 - ADJUST ALL MANHOLES, CATCH BASINS, CURB ROWS, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
 - ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE A' LOAM, SEED FERTILIZER AND MULCH.
 - ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 - ALL PROPOSED CATCH BASIN SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.

- EROSION CONTROL NOTES:**
- SEE SHEET S-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

- UTILITY NOTES:**
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.

- NATURAL GAS - UNBT
 - WATER/SEWER - CITY OF PORTSMOUTH
 - ELECTRIC - EVERSOURCE
 - COMMUNICATIONS - COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINER DUCTILE IRON PIPE.
 - ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
 - ALL SEWER PIPE SHALL BE PVC SR 35 UNLESS OTHERWISE STATED.
 - CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTER PROPERTIES THROUGHOUT CONSTRUCTION.
 - CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
 - EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
 - ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
 - THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
 - ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTIONS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
 - CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
 - A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
 - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
 - HORNBATS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
 - COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
 - ALL SEWER PIPE WITH LESS THAN 4' OF COVER IN PAVED AREAS OR LESS THAN 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
 - CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
 - SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
 - CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.
 - FINAL LOCATIONS OF ALL UTILITY LINES SHALL BE APPROVED BY THE CITY OF PORTSMOUTH DPW PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PERFORM TEST PITS TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER IF LOCATIONS DIFFER FROM PLAN.
 - CONTRACTOR SHALL COMPLETE PIPE AND POST BLAST SURVEY AND MONITORING OF THE EXISTING SEWER LINE ALONG DEER STREET.

- LANDSCAPE NOTES:**
- SEE SHEET L-100 FOR LANDSCAPE NOTES.

- EXISTING CONDITIONS PLAN NOTES:**
- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC., SEE REFERENCE PLAN #1.

- REFERENCE PLANS:**
- "EXISTING FEATURES PLAN #118 LOT 28, MAP 119 LOT 4 - MAP 124 LOT 12 AND MAP 125 LOT 21" PREPARED BY MSC CIVIL ENGINEERS AND LAND SURVEYORS, INC., DATED JANUARY 16, 2015.

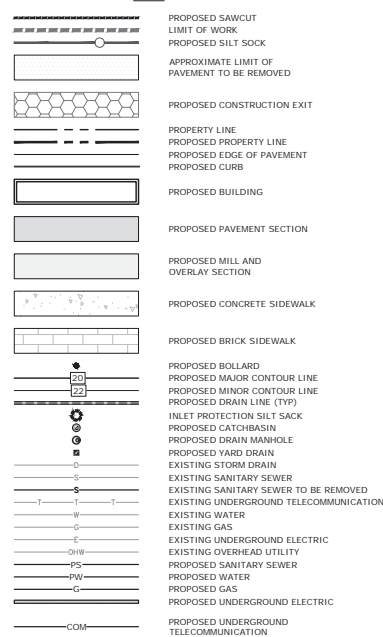
- DEMOLITION NOTES:**
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
 - ALL MATERIALS SHALL BE REMOVED FROM THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND PERMITS.
 - COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
 - ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
 - SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT IS TO BE REMOVED OR REPAIRED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK DONE BY OTHERS.
 - ALL UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UTILITY FOUND AND MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
 - PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTORS CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATIVE CONSTRUCTION TO VERIFY LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
 - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS OF THIS PROJECT. STRUCTURES TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS BARRIERS, BUILTUPS, FOUNDATION, TREES AND LANDSCAPING.
 - REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORKS. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
 - CONTRACTOR SHALL PROTECT ALL CITY DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO RE-ESTABLISH DISTURBED MONUMENTATION.
 - PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS BEING REMOVED OR CONSTRUCTION. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/4" THE DESIGN DEPTH OF THE BARRIER.
 - CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
 - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
 - THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

- SITE NOTES:**
- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTER LINES. ALL MARKINGS EXCEPT CENTER LINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CIRCLEWAYS AND STOP BARS SHALL MEET THE REQUIREMENTS OF ASHOTO M248. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTER LINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF ASHOTO M248 TYPE "P".
 - ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
 - SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
 - CENTURIES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
 - PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
 - STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.
 - CLEAN AND CONT VERTICAL FACES OF EXISTING PAVEMENT AT SAW CUT LINE WITH HPS 1.5. REASON IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
 - CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
 - ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
 - COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
 - SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
 - THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
 - ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.
 - A TEMPORARY SUPPORT OF EXCAVATION (SOE) PLAN SHALL BE PREPARED BY THE APPLICANT'S CONTRACTOR TO CONFIRM ANY TEMPORARY ENCUMBRANCES OF THE CITY'S RIGHT-OF-WAY. IF LICENSES ARE REQUIRED FOR THE SOE, THE APPLICANT WILL BE REQUIRED TO OBTAIN THESE FROM THE CITY PRIOR TO CONSTRUCTION.
 - THE PROPERTY MANAGER WILL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. ALL SNOW REMOVAL WILL BE HALLED OFF-SITE AND LEGALLY DISPOSED OF.
 - THE STREET LIGHTING TYPE TO BE HISTORIC STYLE FIXTURES AND POLE TO MATCH EXISTING LIGHTING ON SOUTH SIDE OF DEER STREET.
 - CONSTRUCTION SEQUENCING OF NORTH COMMUNITY PARK SHALL BE COORDINATED WITH MARKET STREET AND RUSSELL STREET INTERSECTION CONSTRUCTION. NORTH COMMUNITY PARK SHALL NOT BE CONSTRUCTED UNTIL THE INTERSECTION ROUNDABOUT HAS BEEN CONSTRUCTED.
 - THE PROPOSED LOADING ZONE SHALL BE REVIEWED BY THE PARKING & TRAFFIC SAFETY COMMITTEE FOR RECOMMENDATION TO CITY COUNCIL.
 - THE APPLICANT'S CONTRACTOR SHALL PREPARE A CONSTRUCTION MANAGEMENT AND MITIGATION PLAN (CMP) FOR REVIEW AND APPROVAL BY THE CITY LEGAL AND PLANNING DEPARTMENTS.
 - THE FINAL STYLE AND COLOR OF THE RRFB POLES SHALL BE APPROVED BY PORTSMOUTH DPW PRIOR TO CONSTRUCTION.
 - THE FINAL LOCATION OF THE RRFB SHALL BE DETERMINED IN FIELD.

ABBREVIATIONS

TRB	TO BE REMOVED
BUILDING	BUILDING
TYP	TYPICAL
COORD	COORDINATE
SOR	CURB RADIUS
SSWL	SINGLE SOLID WHITE LINE
DVYL	DOUBLE SOLID YELLOW LINE
VGC	VERTICAL GRANITE CURB
SQC	SLOPED GRANITE CURB
FGC	FLUSH GRANITE CURB
TC	TOP OF CURB
BC	BOTTOM OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
TS	TOP OF STEP
BS	BOTTOM OF STEP
HDPF	HIGH-DENSITY POLYETHYLENE
FF	FINISH FLOOR
VF	VERIFY IN FIELD

LEGEND



05/23/2023



5/23/23

North End Mixed Use Development

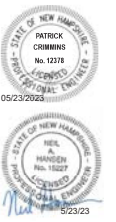
Two International Group

Russell Street & Deer Street
Portsmouth, NH

I	5/23/2023	Act Resubmission
H	12/5/2023	Act Submission
G	11/23/2022	PS Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	T5037-002	
DATE:	May 24, 2022	
FILE:	T5037-002-C-DSGN.DWG	
DRAWN BY:	CK	
CHECKED:	NMH	
APPROVED:	PAC	

GENERAL NOTES AND LEGEND

SCALE: AS SHOWN



EXISTING DRAINAGE SCHEDULE

ECB1 RM=15.36 INV. OUT=11.88 (ED1)	ECB9 RM=15.78 INV. OUT=13.15 (ED13)	EDM1 RM=15.59 INV. IN=11.17 (ED1)	EDM6 RM=25.21 INV. INSE=19.93 INV. OUT=18.97 (ED14)	EDM11 RM=10.14 INV. IN=6.96 (ED23)
ECB2 RM=15.31 INV. OUT=12.11 (ED2)	EDB10 RM=22.49 INV. OUT=19.39 (ED15)	EDM2 RM=14.00 INV. IN=6.67 (ED3)	EDM7 RM=22.94 INV. IN=15.49 (ED16)	EDM12 RM=11.55 INV. IN=3.81 (ED27)
ECB3 RM=15.33 INV. OUT=6.69 (ED4)	EDB11 RM=22.23 INV. OUT=18.49 (ED16)	EDM3 RM=14.12 INV. IN=6.70 (ED3)	EDM8 RM=18.19 (ED15)	EDM13 RM=18.78 (ED15)
ECB4 RM=15.31 INV. OUT=9.59 (ED5)	EDB12 RM=15.69 INV. OUT=6.64 (ED4)	EDM4 RM=14.12 INV. IN=6.80 (ED4)	EDM9 RM=18.13 (ED14)	EDM14 RM=11.45 INV. OUT=18.18 (ED18)
ECB5 RM=15.71 INV. OUT=10.42 (ED7)	EDB13 RM=15.76 INV. OUT=12.52 (ED20)	EDM5 RM=14.12 INV. IN=6.41 (ED6)	EDM10 RM=15.58 INV. IN=12.38 (ED20)	EDM15 RM=11.37 (ED30)
ECB6 RM=14.06 INV. OUT=9.42 (ED10)	EDB14 RM=15.43 INV. OUT=6.97 (ED6)	EDM6 RM=14.12 INV. IN=6.26 (ED8)	EDM11 RM=11.28 (ED21)	EDM16 RM=11.06 INV. IN=8.80 (ED19)
ECB7 RM=14.48 INV. OUT=10.26 (ED9)	EDB15 RM=15.00 INV. OUT=6.74 (ED4)	EDM7 RM=14.12 INV. IN=6.24 (ED11)	EDM12 RM=11.28 (ED21)	EDM17 RM=11.45 INV. OUT=3.71 (ED28)
ECB8 RM=15.49 INV. OUT=12.74 (ED12)	EDB16 RM=16.60 INV. IN=12.98 (ED12)	EDM8 RM=14.12 INV. IN=6.60 (ED8)	EDM13 RM=15.58 INV. IN=12.38 (ED20)	EDM18 RM=11.45 INV. OUT=2.27 (ED30)
	EDB17 RM=15.25 INV. OUT=20.21 (ED27)	EDM9 RM=14.12 INV. IN=6.26 (ED8)	EDM14 RM=15.58 INV. IN=12.38 (ED20)	

EXISTING DRAINAGE PIPE SCHEDULE

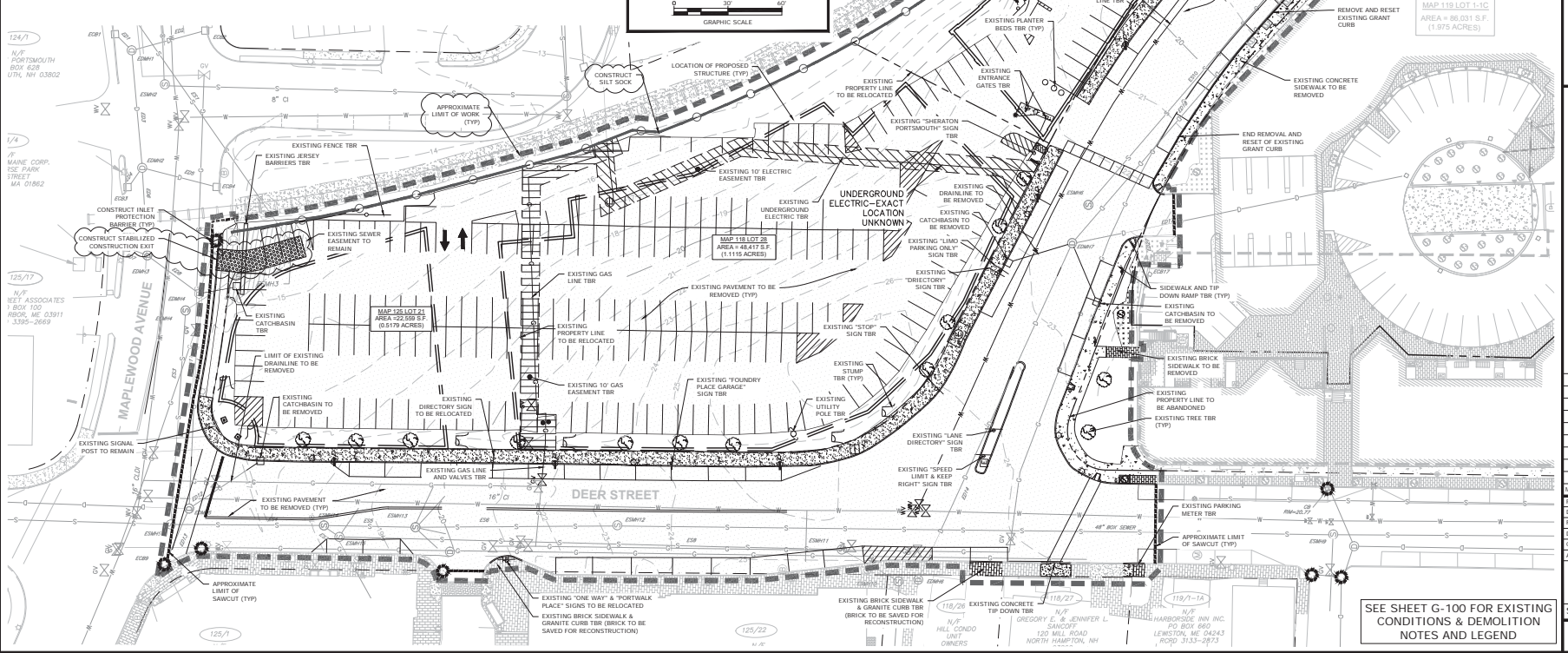
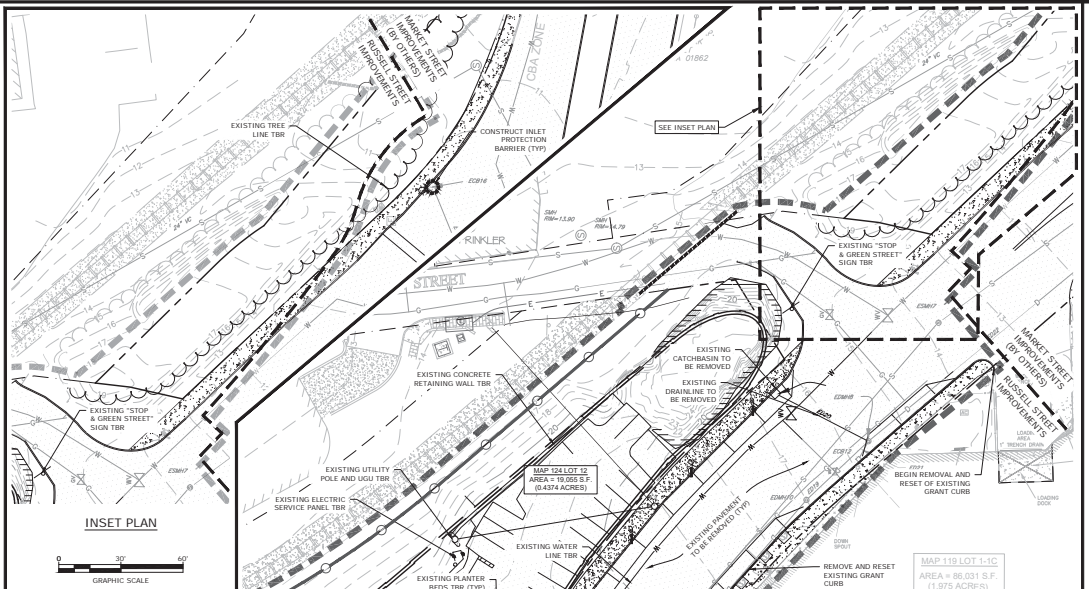
LINE#	LENGTH	TYPE	SLOPE
ED1	9'	12" CONC	S=0.078
ED2	38'	12" CONC	S=0.026
ED3	62'	12" CONC	S=0.019
ED4	10'	12" CONC	S=0.071
ED5	35'	12" CONC	S=0.025
ED6	45'	12" CONC	S=0.024
ED7	9'	12" CONC	S=0.023
ED8	32'	12" CONC	S=0.028
ED9	18'	12" PVC	S=0.077
ED10	22'	12" CONC	S=0.027
ED11	176'	12" CONC	S=0.041
ED12	44'	12" CONC	S=0.026
ED13	30'	12" CMP	S=0.0218
ED14	202'	12" CONC	S=0.0297
ED15	33'	12" CONC	S=0.028
ED16	32'	12" CONC	S=0.0209
ED17	188'	8" PVC	S=0.0081
ED18	210'	12" CONC	S=0.0363
ED19	38'	12" CONC	S=0.0185
ED20	47'	12" CONC	S=0.0255
ED21	7'	12" CONC	S=0.0157
ED22	223'	12" CONC	S=0.0180
ED23	59'	12" CONC	S=0.0145
ED24	6'	12" CONC	S=0.0200
ED25	32'	12" CONC	S=0.0243
ED26	34'	12" CONC	S=0.0158
ED27	241'	12" CONC	S=0.0285
ED28	161'	48" CONC	S=0.0047
ED29	104'	48" CONC	S=0.0047
ED30	355'	48" CONC	S=0.0047

EXISTING SEWER SCHEDULE

LINE#	LENGTH	TYPE	SLOPE
ES1	153'	24" ROP	S=0.0035
ES2	66'	24" ROP	S=0.0022
ES3	176'	24" ROP	S=0.0026
ES4	85'	48" BOX	S=0.0079
ES5	47'	48" BOX	S=0.0081
ES6	109'	48" BOX	S=0.0005
ES7	6'	6" VC	S=0.0228
ES8	278'	8" VC	S=0.0240
ES9	33'	8" VC	S=0.0250
ES10	294'	8" VC	S=0.0249
ES11	170'	8" AC	S=0.0241
ES12	47'	8" AC	UNKNOWN

EXISTING SEWER PIPE SCHEDULE

LINE#	LENGTH	TYPE	SLOPE
ES1	153'	24" ROP	S=0.0035
ES2	66'	24" ROP	S=0.0022
ES3	176'	24" ROP	S=0.0026
ES4	85'	48" BOX	S=0.0079
ES5	47'	48" BOX	S=0.0081
ES6	109'	48" BOX	S=0.0005
ES7	6'	6" VC	S=0.0228
ES8	278'	8" VC	S=0.0240
ES9	33'	8" VC	S=0.0250
ES10	294'	8" VC	S=0.0249
ES11	170'	8" AC	S=0.0241
ES12	47'	8" AC	UNKNOWN



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

I	5/22/2023	Act Resubmission
H	12/5/2023	Act Submission
G	11/23/2022	PS Submission
F	11/18/2022	Traffic Floor Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION

PROJECT NO: T5037-002
DATE: May 24, 2022
FILE: T5037-002-C-DSGN.DWG
DRAWN BY: CK
CHECKED: NMM
APPROVED: PAC

EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN
SCALE: AS SHOWN

SEE SHEET G-100 FOR EXISTING CONDITIONS & DEMOLITION NOTES AND LEGEND

SITE DATA:
 LOCATION: TAX MAP 118 LOT 28 OWNER: PORT HARBOR LAND LLC
 TAX MAP 119 LOT 1-1A 1000 MARKET ST
 TAX MAP 119 LOT 1-1C BUILDING ONE
 TAX MAP 119 LOT 4 PORTSMOUTH, NH 03801
 TAX MAP 124 LOT 12
 TAX MAP 125 LOT 21

ZONING DISTRICT: CHARACTER DISTRICT 5 (CD5)
 DOWNTOWN OVERLAY DISTRICT
 NORTH END INCENTIVE OVERLAY DISTRICT
 HISTORIC DISTRICT

PROPOSED USE: MIXED USE, RESIDENTIAL, RETAIL

DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING)	REQUIRED	PROPOSED	MAP 118 LOT 28	MAP 124 LOT 12	MAP 125 LOT 21
MAXIMUM PRINCIPAL FRONT YARD:	5 FT	6 FT ⁽¹⁾	10 FT ⁽¹⁾	10 FT ⁽¹⁾	10 FT ⁽¹⁾
SIDE YARD:	NR	NR	NR	NR	NR
MINIMUM REAR YARD:	5 FT	20 FT	20 FT	20 FT	20 FT
FRONT LOT LINE LENGTH:	NR	81%	100%	84%	84%
MINIMUM FRONT LOT LINE BULDOUR:	80%				
BUILDING AND LOT OCCUPATION:	REQUIRED	PROPOSED	MAP 118 LOT 28	MAP 124 LOT 12	MAP 125 LOT 21
MAXIMUM BUILDING BLOCK LENGTH:	225 FT	107 FT	104 FT	225 FT	107 FT
MAXIMUM FACADE MODULATION LENGTH:	150 FT	<100 FT	<100 FT	<100 FT	<100 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	95%	65%	71%	58%	65%
MAXIMUM BUILDING FOOTPRINT:	40,000 SF ⁽²⁾	11,950 SF	39,255 SF	11,210 SF	11,950 SF
MINIMUM LOT AREA:	NR	NR	33%	42%	33%
MINIMUM OPEN SPACE:	5%	15,000 SF	7,975 SF	10,419 SF	15,000 SF
MAXIMUM GROUND FLOOR GFA PER USE:					
BUILDING FORM (PRINCIPAL BUILDING)	REQUIRED	PROPOSED	MAP 118 LOT 28	MAP 124 LOT 12	MAP 125 LOT 21
BUILDING HEIGHT:	2-4 STORIES	4 STORIES	5 STORIES ⁽³⁾	5 STORIES ⁽³⁾	4 STORIES
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	0 IN	0 IN	0 IN	36 IN
MINIMUM GROUND STORY HEIGHT:	12 FT	16.5 FT	14.0 FT	13.0 FT	12 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10 FT	10.5 FT	10.5 FT	10 FT
FACADE GLAZING:	SHOP FRONT	70% MIN.	75%	73%	71%
ALLOWED ROOF TYPES:	FLAT, GABLE, HIP	FLAT	FLAT	FLAT	FLAT
	GABRIEL, MANSARD				

OFF-STREET PARKING REQUIREMENTS

PARKING SPACES REQUIRED:	REQUIRED	PROPOSED
COMMERCIAL:	NO REQUIREMENT IN DDD	0 SPACES
DWELLING UNITS:	OVER 750 SF, 1.3 SPACES PER UNIT	80 UNITS 104 SPACES
VISITOR SPACES:	1 SPACE PER 5 DWELLING UNITS	80 UNITS 16 SPACES
EXISTING HOTEL:	0.75 SPACES PER GUEST ROOM	181 ROOMS 136 SPACES
EXISTING SEATED CONDO SPACES:	SHERATON CONDOS	24 SPACES
DEER STREET CONDOS		58 SPACES
DOWNTOWN OVERLAY DISTRICT		4 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED		334 SPACES
TOTAL PARKING SPACES PROVIDED:		154 SPACES
EXISTING SHERATON HOTEL PARKING ON SITE SURFACE PARKING		154 SPACES
TOTAL SPACES PROVIDED:		340 SPACES

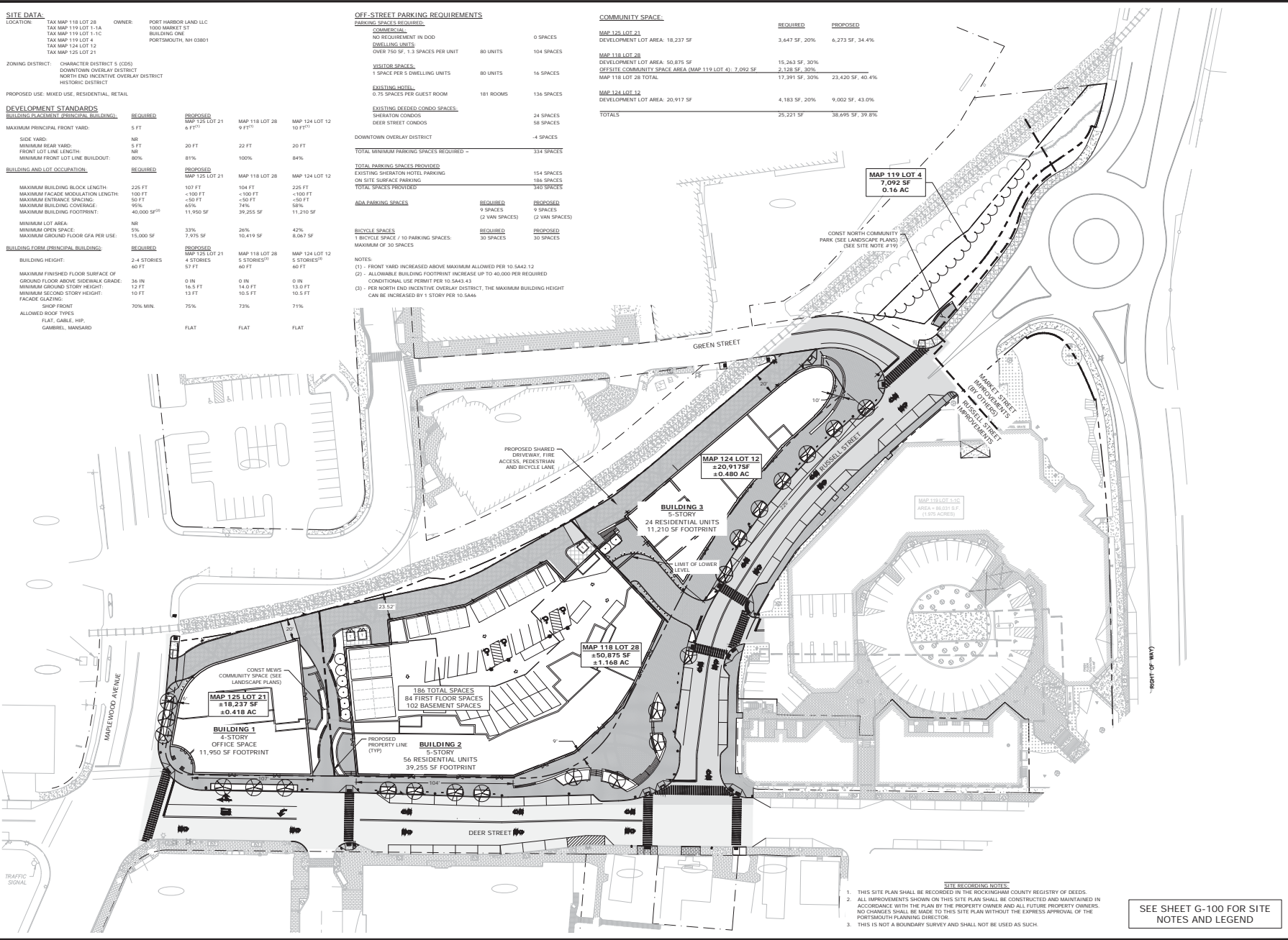
ADA PARKING SPACES: **REQUIRED** 9 SPACES (2 VAN SPACES) **PROPOSED** 9 SPACES (2 VAN SPACES)

BICYCLE SPACES: **REQUIRED** 1 BICYCLE SPACE + 10 PARKING SPACES. MAXIMUM OF 30 SPACES. **PROPOSED** 30 SPACES

NOTES:
 (1) - FRONT YARD INCREASED ABOVE MAXIMUM ALLOWED PER 10 SA42.12
 (2) - ALLOWABLE BUILDING FOOTPRINT INCREASE UP TO 40,000 PER REQUIRED CONDITIONAL USE PERMIT PER 10 SA43.43
 (3) - PER NORTH END INCENTIVE OVERLAY DISTRICT, THE MAXIMUM BUILDING HEIGHT CAN BE INCREASED BY 1 STORY PER 10 SA44.

COMMUNITY SPACE:

	REQUIRED	PROPOSED
MAP 125 LOT 21 DEVELOPMENT LOT AREA: 18,237 SF	3,647 SF, 20%	6,273 SF, 34.4%
MAP 118 LOT 28 DEVELOPMENT LOT AREA: 50,875 SF	15,263 SF, 30%	
OFF-SITE COMMUNITY SPACE AREA (MAP 119 LOT 4): 7,092 SF	2,128 SF, 30%	
MAP 118 LOT 28 TOTAL:	17,391 SF, 30%	23,420 SF, 40.4%
MAP 124 LOT 12 DEVELOPMENT LOT AREA: 20,917 SF	4,183 SF, 20%	9,002 SF, 43.0%
TOTALS:	25,221 SF	38,895 SF, 39.8%



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PROJECT NO.	T5037-002	
DATE	May 24, 2022	
FILE:	T5037-002-C-DSGN.DWG	
DRAWN BY:	CJK	
CHECKED:	NWH	
APPROVED:	PAC	

OVERALL SITE PLAN

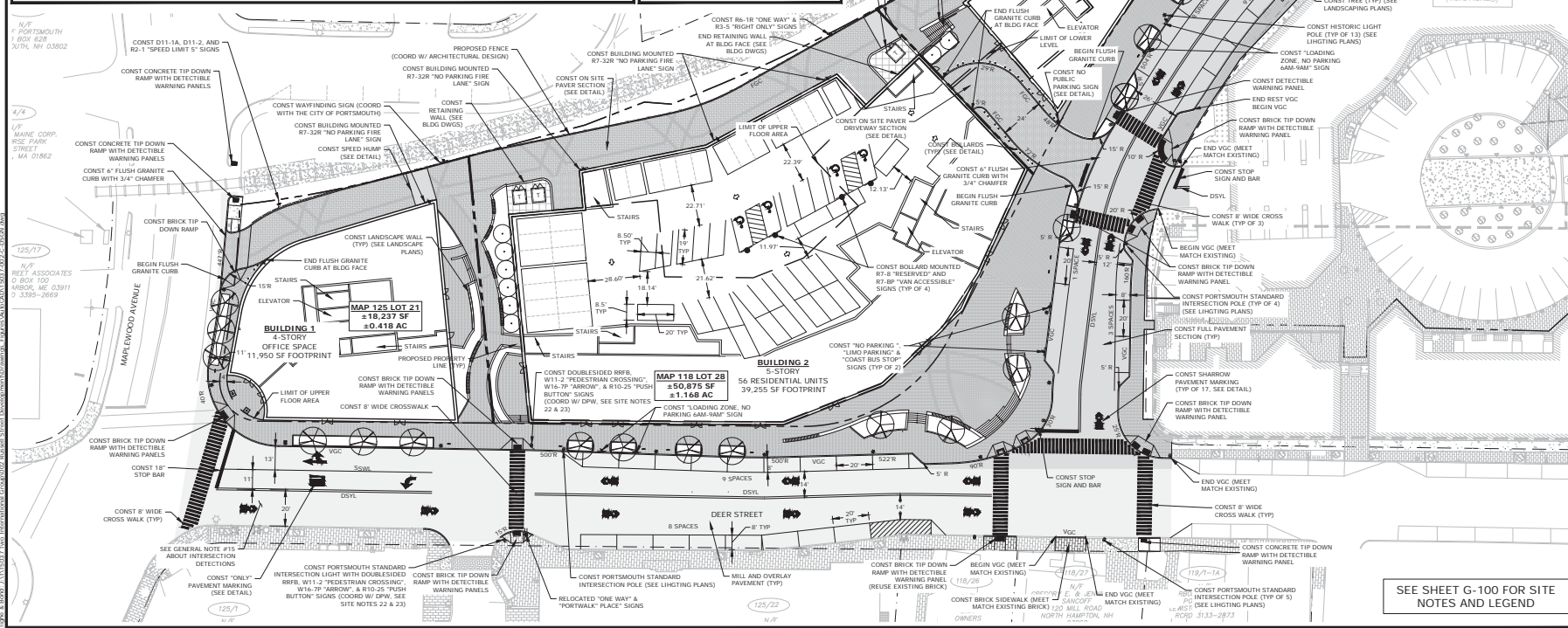
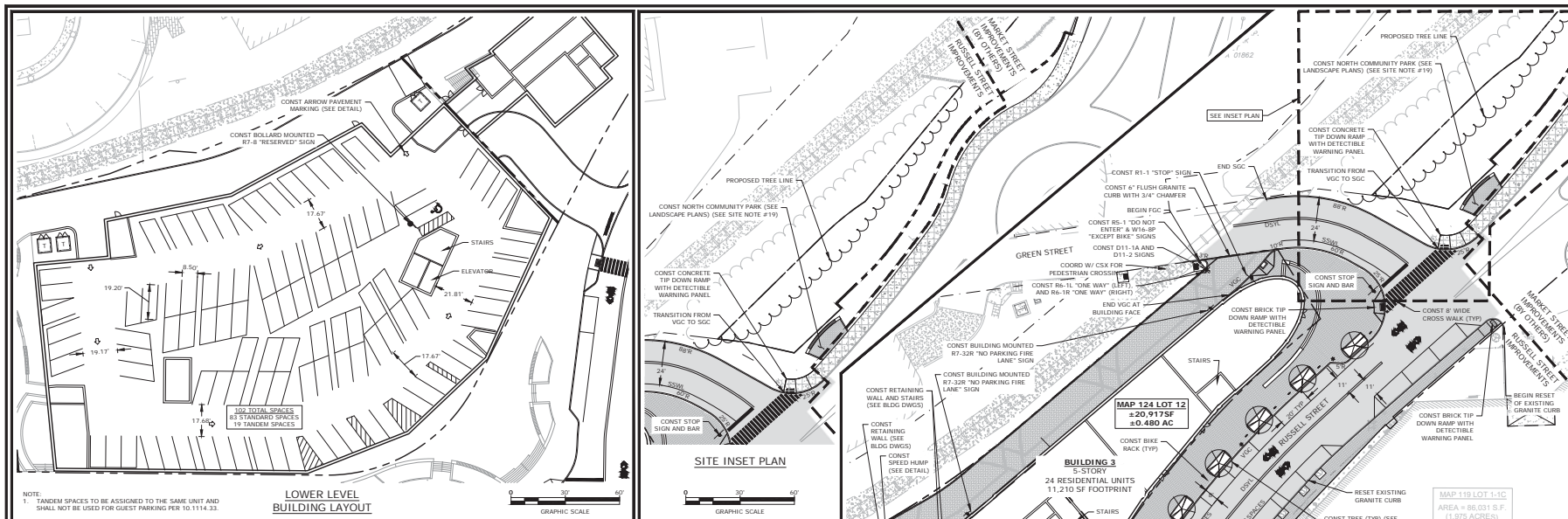
SCALE: AS SHOWN

C-102

SITE RECORDING NOTES:
 1. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 3. THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.

SEE SHEET G-100 FOR SITE NOTES AND LEGEND

Mark & Robert Architects, Inc. 333 State St., Suite 200, Portsmouth, NH 03801
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DATE	May 24, 2022	
FILE	T5037-002-C-050N.DWG	
DRAWN BY:	C.K.	
CHECKED:	N.M.	
APPROVED:	PAC	

SITE PLAN

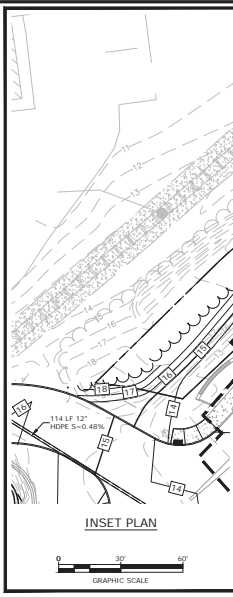
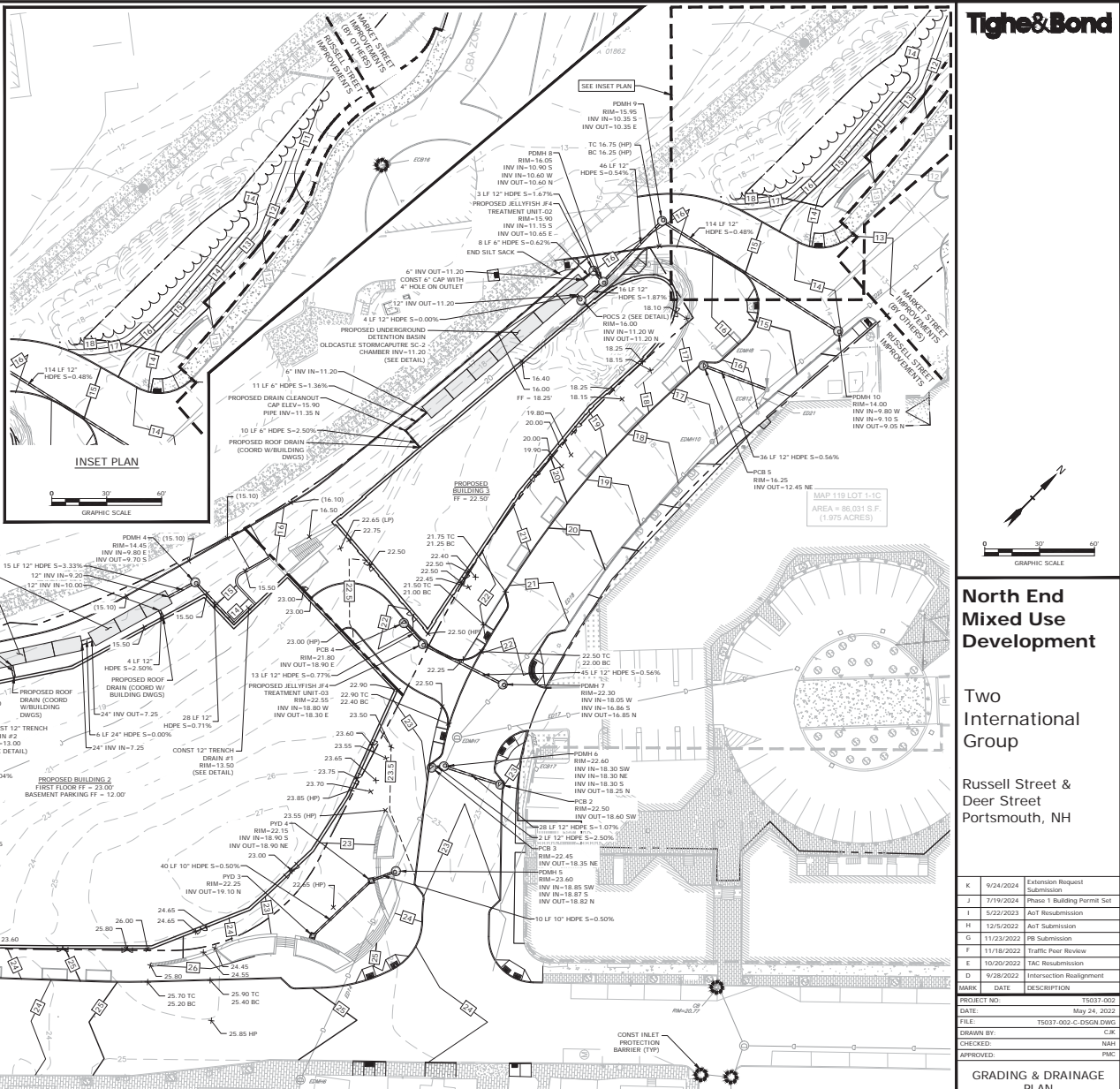
SCALE: AS SHOWN
C-102.1

EXISTING DRAINAGE SCHEDULE

ECB1 RM=15.36 INV. OUT=11.88 (ED1) ECB2 RM=15.31 INV. OUT=12.11 (ED2) ECB3 RM=15.39 INV. OUT=8.69 (ED3) ECB4 RM=15.31 INV. OUT=9.59 (ED4) ECB5 RM=15.73 INV. OUT=10.42 (ED5) ECB6 RM=14.26 INV. OUT=8.42 (ED6) ECB7 RM=14.48 INV. OUT=10.26 (ED7) ECB8 RM=16.49 INV. OUT=12.74 (ED8) ECB9 RM=15.78 INV. OUT=13.15 (ED9) ECB10 RM=22.49 INV. OUT=19.39 (ED10) ECB11 RM=22.51 INV. OUT=19.46 (ED11) ECB12 RM=15.69 INV. OUT=12.39 (ED12) ECB13 RM=15.76 INV. OUT=12.52 (ED13) ECB14 RM=14.28 INV. OUT=6.97 (ED14) ECB15 RM=14.48 INV. OUT=6.74 (ED15) ECB16 RM=16.49 INV. OUT=6.80 (ED16) ECB17 RM=23.85 INV. OUT=20.21 (ED17)	EDM1 RM=15.59 INV. IN=11.17 (ED1) EDM2 RM=15.31 INV. IN=11.13 (ED2) EDM3 RM=22.49 INV. IN=19.39 (ED3) EDM4 RM=22.51 INV. IN=19.46 (ED4) EDM5 RM=15.69 INV. IN=12.39 (ED5) EDM6 RM=15.76 INV. IN=12.52 (ED6) EDM7 RM=14.26 INV. IN=8.42 (ED7) EDM8 RM=14.48 INV. IN=10.26 (ED8) EDM9 RM=16.49 INV. IN=12.74 (ED9) EDM10 RM=15.78 INV. IN=13.15 (ED10) EDM11 RM=22.49 INV. IN=19.39 (ED11) EDM12 RM=22.51 INV. IN=19.46 (ED12) EDM13 RM=15.69 INV. IN=12.39 (ED13) EDM14 RM=15.76 INV. IN=12.52 (ED14) EDM15 RM=14.26 INV. IN=8.42 (ED15) EDM16 RM=14.48 INV. IN=10.26 (ED16) EDM17 RM=16.49 INV. IN=12.74 (ED17)	EDM18 RM=14.12 INV. IN=10.43 (ED18) EDM19 RM=14.28 INV. IN=8.80 (ED19) EDM20 RM=15.31 INV. IN=10.12 (ED20) EDM21 RM=15.69 INV. IN=12.39 (ED21) EDM22 RM=15.76 INV. IN=12.52 (ED22) EDM23 RM=14.26 INV. IN=8.42 (ED23) EDM24 RM=14.48 INV. IN=10.26 (ED24) EDM25 RM=16.49 INV. IN=12.74 (ED25) EDM26 RM=15.78 INV. IN=13.15 (ED26) EDM27 RM=22.49 INV. IN=19.39 (ED27) EDM28 RM=22.51 INV. IN=19.46 (ED28) EDM29 RM=15.69 INV. IN=12.39 (ED29) EDM30 RM=15.76 INV. IN=12.52 (ED30) EDM31 RM=14.26 INV. IN=8.42 (ED31) EDM32 RM=14.48 INV. IN=10.26 (ED32) EDM33 RM=16.49 INV. IN=12.74 (ED33) EDM34 RM=15.78 INV. IN=13.15 (ED34) EDM35 RM=22.49 INV. IN=19.39 (ED35) EDM36 RM=22.51 INV. IN=19.46 (ED36) EDM37 RM=15.69 INV. IN=12.39 (ED37) EDM38 RM=15.76 INV. IN=12.52 (ED38) EDM39 RM=14.26 INV. IN=8.42 (ED39) EDM40 RM=14.48 INV. IN=10.26 (ED40) EDM41 RM=16.49 INV. IN=12.74 (ED41) EDM42 RM=15.78 INV. IN=13.15 (ED42) EDM43 RM=22.49 INV. IN=19.39 (ED43) EDM44 RM=22.51 INV. IN=19.46 (ED44) EDM45 RM=15.69 INV. IN=12.39 (ED45) EDM46 RM=15.76 INV. IN=12.52 (ED46) EDM47 RM=14.26 INV. IN=8.42 (ED47) EDM48 RM=14.48 INV. IN=10.26 (ED48) EDM49 RM=16.49 INV. IN=12.74 (ED49) EDM50 RM=15.78 INV. IN=13.15 (ED50)	EDM51 RM=15.59 INV. IN=11.17 (ED51) EDM52 RM=15.31 INV. IN=11.13 (ED52) EDM53 RM=22.49 INV. IN=19.39 (ED53) EDM54 RM=22.51 INV. IN=19.46 (ED54) EDM55 RM=15.69 INV. IN=12.39 (ED55) EDM56 RM=15.76 INV. IN=12.52 (ED56) EDM57 RM=14.26 INV. IN=8.42 (ED57) EDM58 RM=14.48 INV. IN=10.26 (ED58) EDM59 RM=16.49 INV. IN=12.74 (ED59) EDM60 RM=15.78 INV. IN=13.15 (ED60) EDM61 RM=22.49 INV. IN=19.39 (ED61) EDM62 RM=22.51 INV. IN=19.46 (ED62) EDM63 RM=15.69 INV. IN=12.39 (ED63) EDM64 RM=15.76 INV. IN=12.52 (ED64) EDM65 RM=14.26 INV. IN=8.42 (ED65) EDM66 RM=14.48 INV. IN=10.26 (ED66) EDM67 RM=16.49 INV. IN=12.74 (ED67) EDM68 RM=15.78 INV. IN=13.15 (ED68) EDM69 RM=22.49 INV. IN=19.39 (ED69) EDM70 RM=22.51 INV. IN=19.46 (ED70) EDM71 RM=15.69 INV. IN=12.39 (ED71) EDM72 RM=15.76 INV. IN=12.52 (ED72) EDM73 RM=14.26 INV. IN=8.42 (ED73) EDM74 RM=14.48 INV. IN=10.26 (ED74) EDM75 RM=16.49 INV. IN=12.74 (ED75) EDM76 RM=15.78 INV. IN=13.15 (ED76) EDM77 RM=22.49 INV. IN=19.39 (ED77) EDM78 RM=22.51 INV. IN=19.46 (ED78) EDM79 RM=15.69 INV. IN=12.39 (ED79) EDM80 RM=15.76 INV. IN=12.52 (ED80) EDM81 RM=14.26 INV. IN=8.42 (ED81) EDM82 RM=14.48 INV. IN=10.26 (ED82) EDM83 RM=16.49 INV. IN=12.74 (ED83) EDM84 RM=15.78 INV. IN=13.15 (ED84) EDM85 RM=22.49 INV. IN=19.39 (ED85) EDM86 RM=22.51 INV. IN=19.46 (ED86) EDM87 RM=15.69 INV. IN=12.39 (ED87) EDM88 RM=15.76 INV. IN=12.52 (ED88) EDM89 RM=14.26 INV. IN=8.42 (ED89) EDM90 RM=14.48 INV. IN=10.26 (ED90) EDM91 RM=16.49 INV. IN=12.74 (ED91) EDM92 RM=15.78 INV. IN=13.15 (ED92) EDM93 RM=22.49 INV. IN=19.39 (ED93) EDM94 RM=22.51 INV. IN=19.46 (ED94) EDM95 RM=15.69 INV. IN=12.39 (ED95) EDM96 RM=15.76 INV. IN=12.52 (ED96) EDM97 RM=14.26 INV. IN=8.42 (ED97) EDM98 RM=14.48 INV. IN=10.26 (ED98) EDM99 RM=16.49 INV. IN=12.74 (ED99) EDM100 RM=15.78 INV. IN=13.15 (ED100)
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EXISTING DRAINAGE PIPE SCHEDULE

LINE#	LENGTH	TYPE	SLOPE
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ED13	30'	12" CONC	S=0.026
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ED21	7'	12" CONC	S=0.017
ED22	233'	12" CONC	S=0.080
ED23	59'	12" CONC	S=0.048
ED24	6'	12" CONC	S=0.000
ED25	36'	12" CONC	S=0.013
ED26	34'	12" CONC	S=0.048
ED27	241'	12" CONC	S=0.078
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ED29	104'	48" CONC	S=0.047
ED30	250'	48" CONC	S=0.044



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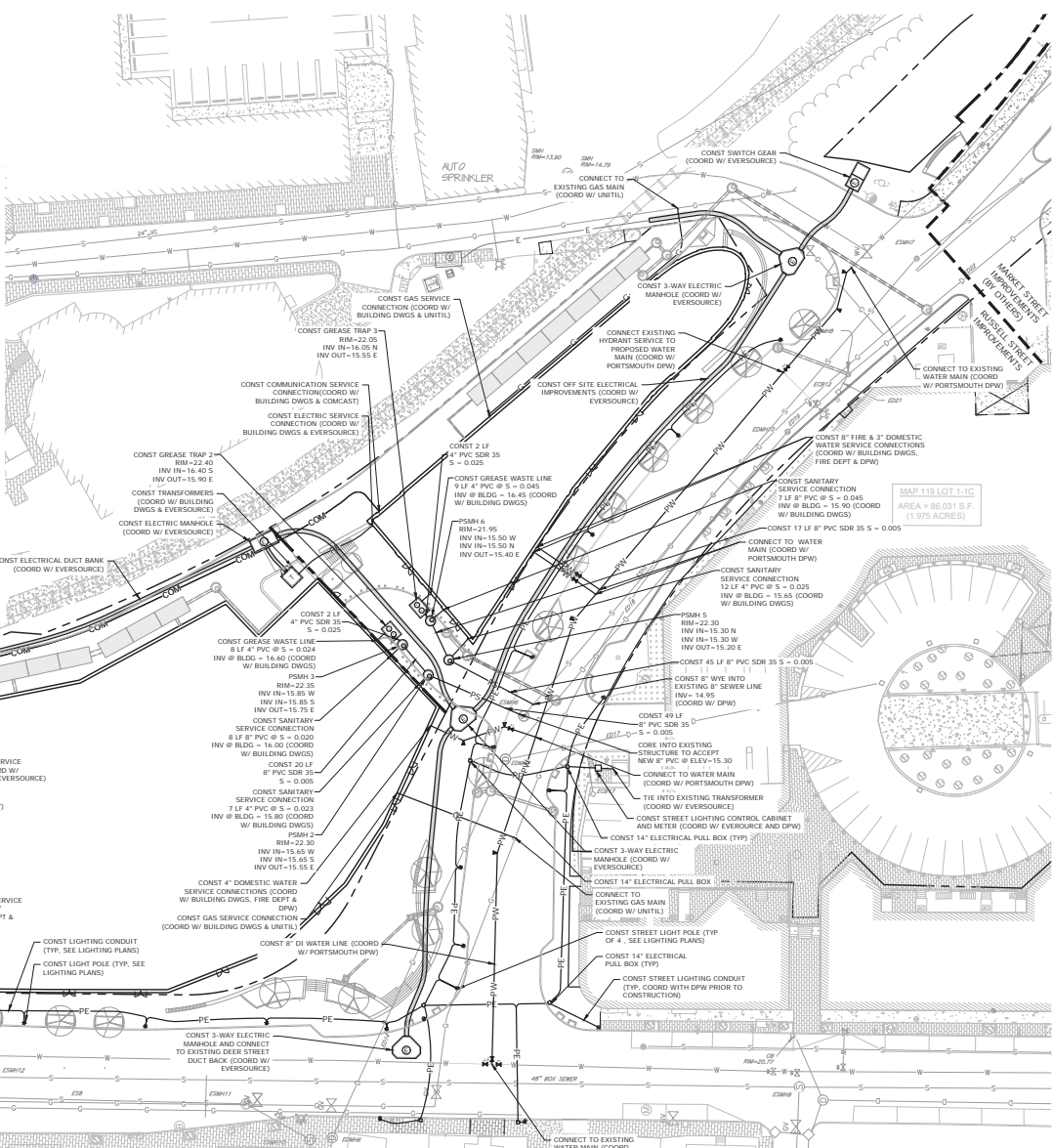
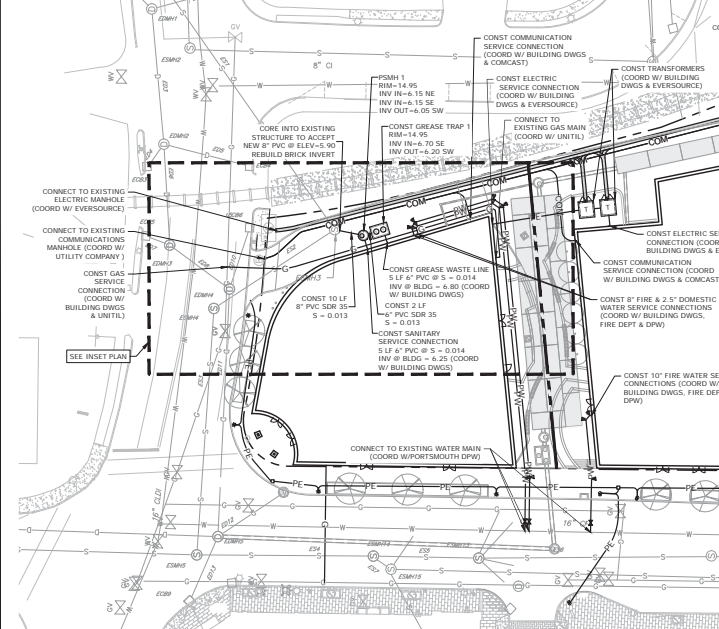
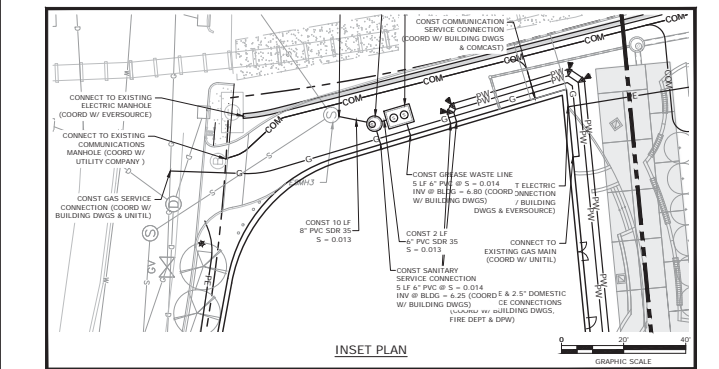
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FILE:	T5037-002-C-DSGN.DWG	
DRAWN BY:	C.K	
CHECKED:	N.M	
APPROVED:	PAC	

SEE SHEET G-100 FOR GRADING & DRAINAGE NOTES AND LEGEND

GRADING & DRAINAGE PLAN

SCALE: AS SHOWN

EXISTING SEWER SCHEDULE		EXISTING SEWER PIPE SCHEDULE	
LINE#	LENGTH	TYPE	SLOPE
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ES4	38'	48" BOX	S=0.0012
ES5	47'	48" BOX	UNKNOWN
ES6	109'	48" BOX	S=0.0025
ES7	7'	8" VC	S=0.0225
ES8	276'	8" VC	S=0.0226
ES9	13'	8" VC	S=0.0230
ES10	24'	8" VC	S=0.0249
ES11	170'	8" VC	S=0.0241
ES12	47'	8" VC	UNKNOWN



North End Mixed Use Development

Two International Group

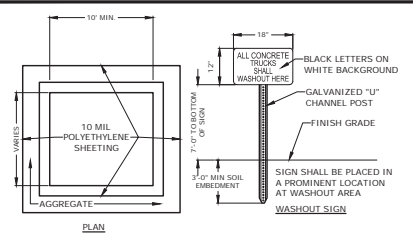
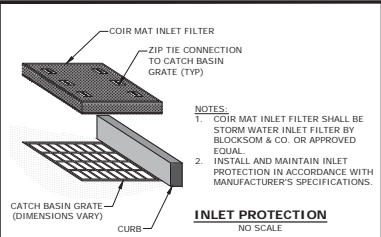
**Russell Street & Deer Street
Portsmouth, NH**

MARK	DATE	DESCRIPTION
K	9/24/2024	Extension Request Submission
J	7/19/2024	Phase 1 Building Permit Set
I	5/22/2023	ACT Resubmission
H	12/5/2022	ACT Submission
G	11/23/2022	PB Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment

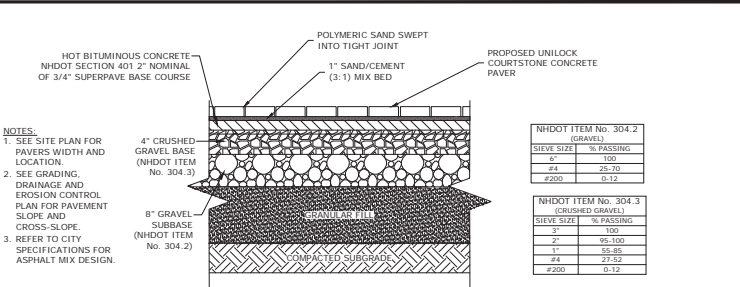
PROJECT NO.	TS037-002
DATE	May 24, 2022
FILE	TS037-002-C-DGN.DWG
DRAWN BY	CJK
CHECKED	NAM
APPROVED	PAC

SEE SHEET G-100 FOR UTILITIES NOTES AND LEGEND

DATE: 05/24/2024 10:58:24 AM
 USER: CJK
 PROJECT: TS037-002-C-DGN.DWG
 PLOT: TS037-002-C-DGN.DWG

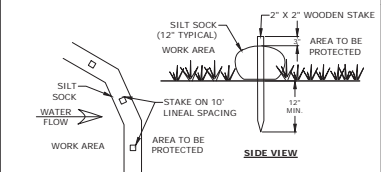


- NOTES:**
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

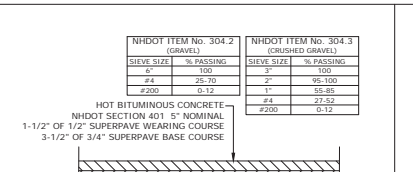
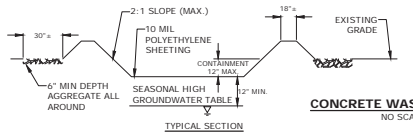


NDHOT ITEM No. 304.2 (GRAVEL)	
SIZE	% PASSING
#4	100
#10	25-70
#200	0-12

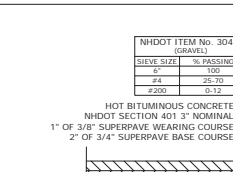
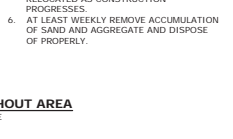
NDHOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIZE	% PASSING
3"	100
2"	95-100
1"	55-85
#4	27-52
#200	0-12



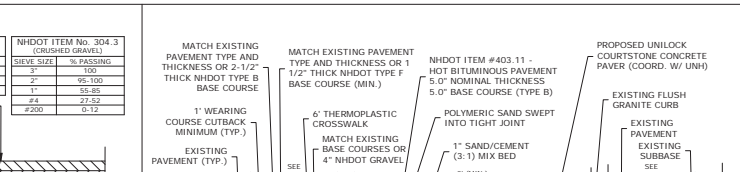
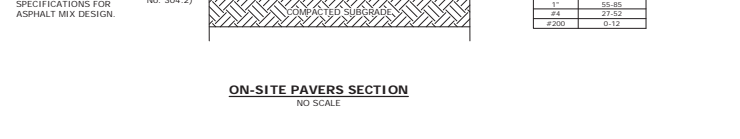
- NOTES:**
1. SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL.
 2. INSTALL SILT SOCK IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



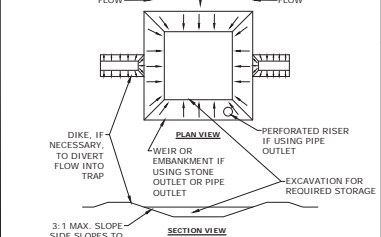
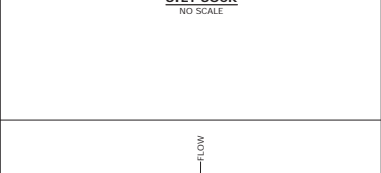
- NOTES:**
1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.



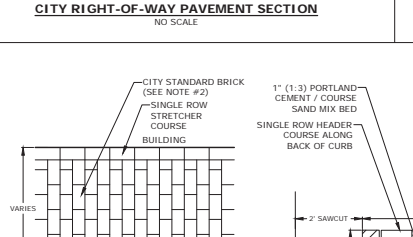
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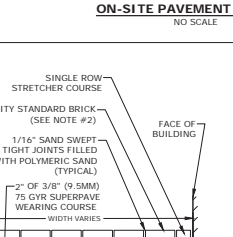
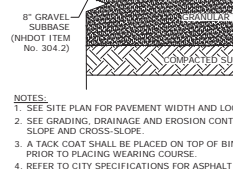
- NOTES:**
1. FINAL COLOR AND PATTERN OF UNILOCK COURTSSTONE CONCRETE PAVERS TO BE COORDINATED WITH DPW. CONTRACTOR SHALL PROVIDE SAMPLES TO THE GROUP PRIOR TO ORDERING MATERIALS.
 2. BEDDING MATERIAL SHALL BE A SAND/CEMENT MIX THAT IS 3 PARTS SAND AND 1 PART CEMENT. SAND SHALL CONFORM WITH ASTM C33 AND CEMENT SHALL BE PORTLAND CEMENT TYPE I/TYPE II.



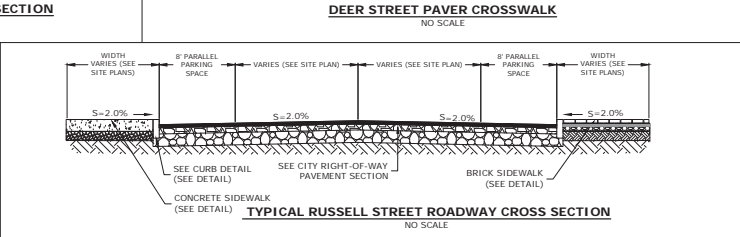
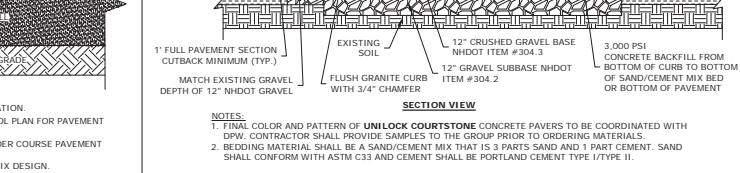
- NOTES:**
1. BRICK SIDEWALK SHALL BE INSTALLED AS DETAILED AND PER CITY OF PORTSMOUTH REQUIREMENTS/SPECIFICATIONS AND SHALL INCLUDE A CONTINUOUS APPROVED PAPER EDGE RESTRAINT SYSTEM AT ALL LOCATIONS NOT ADJACENT TO CURB OR BUILDINGS.
 2. CITY STANDARD BRICK SHALL BE TRADITIONAL EDGE, PATHWAY, FULL RANGE 2.25"x4"x8" PAVES, BY PINE HALL BRICK, INC. BRICK MATERIAL SAMPLES SHALL BE PROVIDED TO DPW PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL.
 3. BEDDING MATERIAL SHALL BE A PORTLAND CEMENT / COURSE SAND MIX THAT IS 1 PART PORTLAND CEMENT AND 3 PARTS COURSE SAND. SAND SHALL CONFORM WITH ASTM C-33 AND CEMENT SHALL BE PORTLAND CEMENT TYPE I/TYPE II.



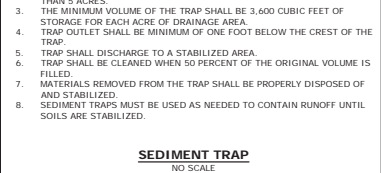
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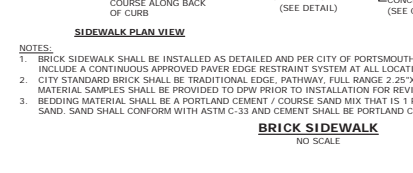
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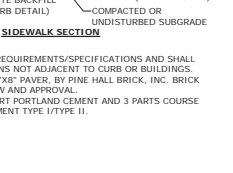
- NOTES:**
1. DETECTABLE WARNING SURFACE SHALL BE 2' X 3' CAST IRON PANEL SET IN CONCRETE.
 2. DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



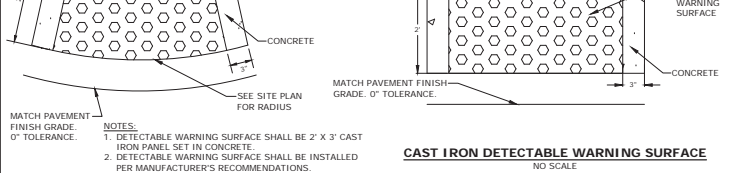
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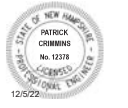
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- NOTES:**
1. DETECTABLE WARNING SURFACE SHALL BE 2' X 3' CAST IRON PANEL SET IN CONCRETE.
 2. DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



H	12/5/2022	ACT Submission
G	11/23/2022	FB Submission
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D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	TS037-002	
DATE	May 24, 2022	
FILE	TS037-002-c-0115.DWG	
DRAWN BY	CK	
CHECKED	NH	
APPROVED	PAC	

CONCRETE SIDEWALK WITH GRANITE CURB

NO SCALE

CONTROL JOINT A
FILLED WITH SEALANT
1/8" x 1" DEEP
HAND TOOLED JOINT WITH 1/4" RADIUS

EXPANSION JOINT B
FILLED WITH SEALANT
1/4" RADIUS
PREMOULDED FILLER

ISOLATION JOINT C
FILLED WITH SEALANT
1/4" RADIUS
1/2" PREMOULDED FILLER

CONSTRUCTION JOINT
FILLED WITH SEALANT
1/8" x 1" DEEP HAND TOOLED JOINT WITH 1/4" RADIUS
PREMOULDED FILLER
#6 REBAR @ 12" O.C.

PLAN VIEW
SMOOTH TROWEL MED. BROOM FINISH
VERTICAL GRANITE CURB (SEE DETAIL)
5" CONCRETE WALK 28 DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I.
7% AIR ENTRAINED FIBER MESH

SECTION VIEW
SECTION A-A
SECTION B-B
SECTION C-C

NOTES:
1. SEE SITE PLAN FOR SIDEWALK WIDTH AND LOCATIONS.
2. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR WALK AND SIDE SLOPE GRADES.
3. ISOLATION JOINTS ADJACENT TO BUILDING SHALL BE COORDINATED WITH BUILDING DRAWINGS.

CONCRETE SIDEWALK TIP-DOWN RAMP WITH DETECTABLE WARNING PANEL

NO SCALE

SECTION
PAVEMENT (TYPICAL)
1:12 SLOPE (MAX.)
SIDEWALK SLOPE 1:20 (MAX.)
0" REVEAL
GUTTER LINE (6" REVEAL MAX.)
START TIP-DOWN (TYPICAL)

PLAN
CURB TIP-DOWN
DETECTABLE WARNING SURFACE
BACK OF SIDEWALK
RAMP TIP-DOWN MAXIMUM SLOPE 1:12
SIDEWALK SLOPE 1:20 (MAX.)
CURB TYPE AS SPECIFIED ON DRAWINGS
6" (MAX.) REVEAL

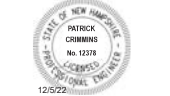
NOTES:
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
2. PROVIDE 8" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMPS.
3. DETECTABLE WARNING STRIP SHALL BE ADA SOLUTIONS, INC. CAST IN PLACE RAMP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

VERTICAL GRANITE CURB

NO SCALE

RADIUS TO	MAX. LENGTH	USE CURVED CURB
<20'	3'	
21'	3'	
22'-28'	4'	
29'-35'	5'	
36'-42'	6'	
43'-49'	7'	
50'-56'	8'	
57'-60'	9'	
>60'	10'	

NOTES:
1. SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
6. ALL RADI 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
7. JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.



CONCRETE WHEELCHAIR ACCESSIBLE RAMP

NO SCALE

SEIVE SIZE	% PASSING
100	5-10
20	95-100
10	95-98
4.75	92-95
#200	0-12

SECTION A-A
PAVED ROADWAY (TYPICAL)
0" REVEAL
SIDEWALK SLOPE 1:20 (MAX.)
CUTTER LINE (6" REVEAL MAX.)
START TIP-DOWN (TYPICAL)

SECTION B-B
CURB TIP-DOWN
0" REVEAL SIDEWALK FLUSH WITH PAVEMENT
CURB TIP-DOWN

SECTION C-C
5" THICK CONCRETE
1:2 MAX.
5" MIN.
PAVEMENT
24" X 18"

PLAN A
6" CURB TIP-DOWN
RAMP TIP-DOWN MAXIMUM SLOPE 1:12
BACK OF SIDEWALK
SIDEWALK SLOPE 1:20 (MAX.)
MATCH PAVEMENT FINISH GRADE, 0" TOLERANCE.
CAST IRON RADIUS TYPE DETECTABLE WARNING SURFACE (SEE DETAIL)

PLAN B
6" TIP-DOWN
5'-0" MIN.
6" TIP-DOWN
6" TIP-DOWN

PLAN C
6" TIP-DOWN
5'-0" MIN.
6" TIP-DOWN
6" TIP-DOWN

NOTES:
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
2. A 6" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMPS.
3. DETECTABLE WARNING PANEL SHALL BE CAST IRON SET IN CONCRETE (SEE DETAIL).
4. PROVIDE DETECTABLE WARNING SURFACES ANYTIME THAT A CURB RAMP, BLENDED TRANSITION, OR LANDING CONNECTS TO A STREET.
5. LOCATE THE DETECTABLE WARNING SURFACES AT THE BACK OF THE CURB ALONG THE EDGE OF THE LANDING.
6. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 12:1. THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
7. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMPS SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FT. FROM THE ROADWAY CURBLINE.
8. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS.
9. DETECTABLE WARNING PANELS SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET.
10. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST VISUALLY WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT).

ROADWAY TRENCH PATCH

NO SCALE

SECTION
MATCH EXISTING PAVEMENT TYPE AND THICKNESS (MINIMUM TYP.)
MATCH EXISTING BASE COURSE (UNDISTURBED)
SAW CUT EDGE. CLEAN AND COAT WITH RS-1 EMULSION IMMEDIATELY PRIOR TO CONSTRUCTING NEW PAVEMENT.
EXISTING PAVEMENT
EXISTING BASE COURSE (UNDISTURBED)
EXCAVATED TRENCH (SEE TRENCH SECTION)

PLAN
LIMIT OF EXCAVATED TRENCH
LEAVE EXISTING BASE COURSE UNDISTURBED
CUT WITH PAVEMENT SAW
1" MINIMUM (TYP.)

NOTE:
1. COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT OF WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

BOLLARD DETAIL

NO SCALE

SECTION
DECORATIVE CAST ALUMINUM BOLLARD
FINISH SURFACE
4000psi CONCRETE FOOTING (5' DEEP X 2' DIAMETER)
2.5" SHED 40 PIPE WELDED TO DECORATIVE CASTING AND GRILLED TO ACCEPT #3 REBAR
12" #3 REBAR

NOTES:
1. DECORATIVE CAST BOLLARD TO BE DGA BY URBAN ACCESSORIES OR APPROVED EQUAL.

SIGN LEGEND & SIGN POST

NO SCALE

SIGN LEGEND

- VAN ACCESSIBLE: R7-8P 18" x 9" GREEN ON WHITE
- LOADING ZONE NO PARKING (MW-AM): 18" x 18" RED ON WHITE
- RESERVED: R7-B 12" x 18" BLUE AND GREEN ON WHITE
- STOP: R1-1 24" x 24" WHITE ON RED
- NO ENTRY: RS-1 24" x 18" WHITE ON RED
- BEGIN: M4-14 12" x 6" WHITE ON GREEN
- END: M4-6 12" x 6" WHITE ON GREEN
- SPEED LIMIT 5: D11-1A 18" x 18" WHITE ON GREEN
- R1-2 12" x 18" BLACK ON WHITE
- D11-2 18" x 18" WHITE ON GREEN
- NO PUBLIC PARKING: W16-8P 18" x 8" BLACK ON YELLOW
- EXCEPT BIKES: R6-1L & R6-1R 26" x 12" BLACK ON WHITE
- W11-2 30" x 30" BLACK ON YELLOW
- W16-7P 24" x 12" BLACK ON YELLOW
- R10-25 15" x 9" BLACK ON WHITE

SIGN POST
DIAMETER = 2.375"
3/8" BORE HOLE THROUGH CENTER OF STEEL TUBE
7" MIN.
FINISHED GRADE
5'-0"
LINE POST SET IN CONCRETE FOOTING (3,000psi CONCRETE)

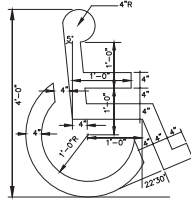
NOTES:
ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
POST: SCHEDULE 40 GALVANIZED STEEL PIPE (OUTSIDE DIA. = 2.375").
FINISH: POST TO BE POWDER COATED GLOSS BLACK LENGTH: AS REQUIRED WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.) HOLES: 3/8" DIAMETER (AS REQUIRED) STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080)

BIKE RACK
NO SCALE
10.20" RADIUS
NON-ABRASIVE SURFACE
A. 1.25" P.V.C. JACKET IS APPLIED TO PRIMED PIPE.
DEDICATED FOOTPRINT
7"
1.5"
PLAN

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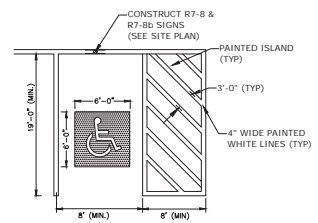
PRODUCT NO. T5037-002
DATE: May 24, 2022
FILE: T5037-002-c-0115.DWG
DRAWN BY: CLK
CHECKED: NWH
APPROVED: PAC

10/15/2023 10:02:02 AM
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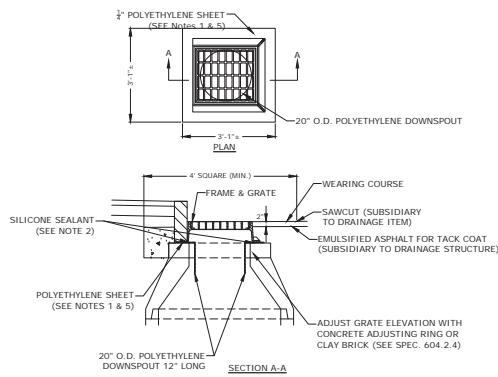
- NOTES:**
1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.
 2. SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS.

ACCESSIBLE SYMBOL
NO SCALE



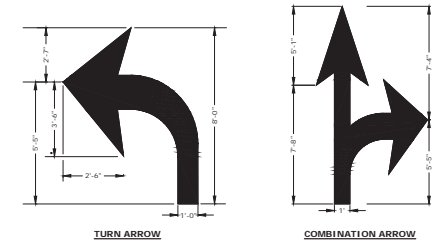
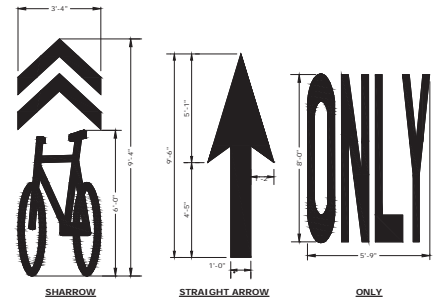
- NOTES:**
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN W/DISABILITIES ACT.

ACCESSIBLE PARKING STALL
NO SCALE



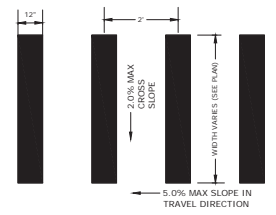
- NOTES:**
1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
 2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.
 3. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
 4. USE ON DRAINAGE STRUCTURES 4" MIN. DIAMETER ONLY.
 5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
 6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 4" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
 7. PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
 8. SEE NIDOT DR-04, '01-08, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS', FOR ADDITIONAL INFORMATION.
 9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER.

POLYETHYLENE LINER
NO SCALE



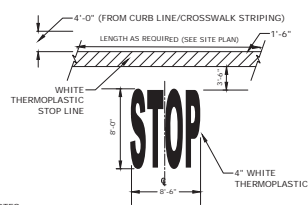
- NOTES:**
1. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.
 2. MULTI-WORD MESSAGES SHALL READ "UP"; THAT IS, THE FIRST WORD SHALL BE NEAREST THE APPROACHING DRIVER.
 3. THE WORD "ONLY" SHALL NOT BE USED WITH THROUGH OR COMBINATION ARROWS, AND SHALL NOT BE USED ADJACENT TO A BROKEN LANE LINE. A WORD/SYMBOL SHALL PRECEED THE WORD "ONLY".
 4. COMBINATION ARROWS MAY BE COMPRISED OF 2 SINGLE ARROWS (e.g. TURN AND THROUGH ARROWS). HOWEVER, THE SHAPTS OF THE ARROWS SHALL COINCIDE AS SHOWN.
 5. PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
 6. WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS.
 7. ALL STOP BARS, WORDS, SYMBOLS AND ARROW SHALL BE THERMOPLASTIC.

PAVEMENT MARKINGS
NO SCALE



- NOTE:**
1. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

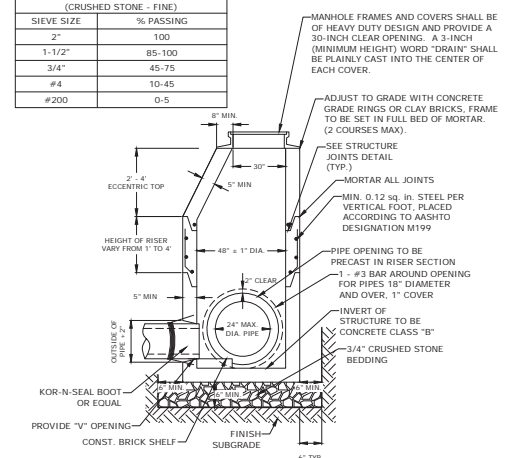
CROSSWALK STRIPING
NO SCALE



- NOTES:**
1. PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
 2. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.

STOP BAR AND LEGEND
NO SCALE

NIDOT ITEM No. 304.4 (CRUSHED STONE - FINE)	
SIEVE SIZE	% PASSING
2"	100
1-1/2"	85-100
3/4"	45-75
#4	10-45
#200	0-5



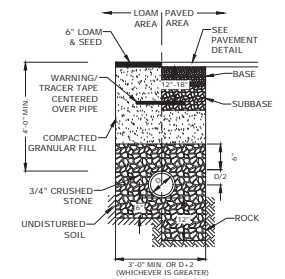
- NOTES:**
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
 4. THE STRUCTURES SHALL BE DESIGNED FOR HOV LOADING.
 5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS).
 6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

4\"/>



- NOTES:**
1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL).
 2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
 3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP.

**"ELIMINATOR" OIL
FLOATING DEBRIS TRAP**



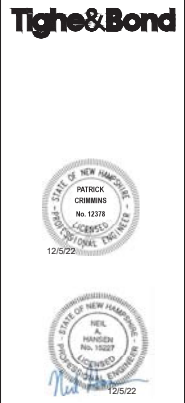
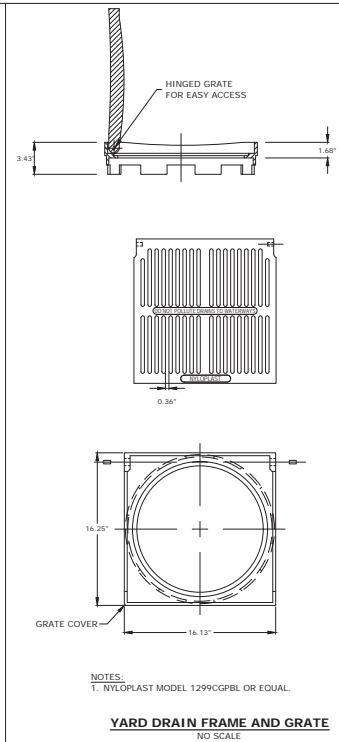
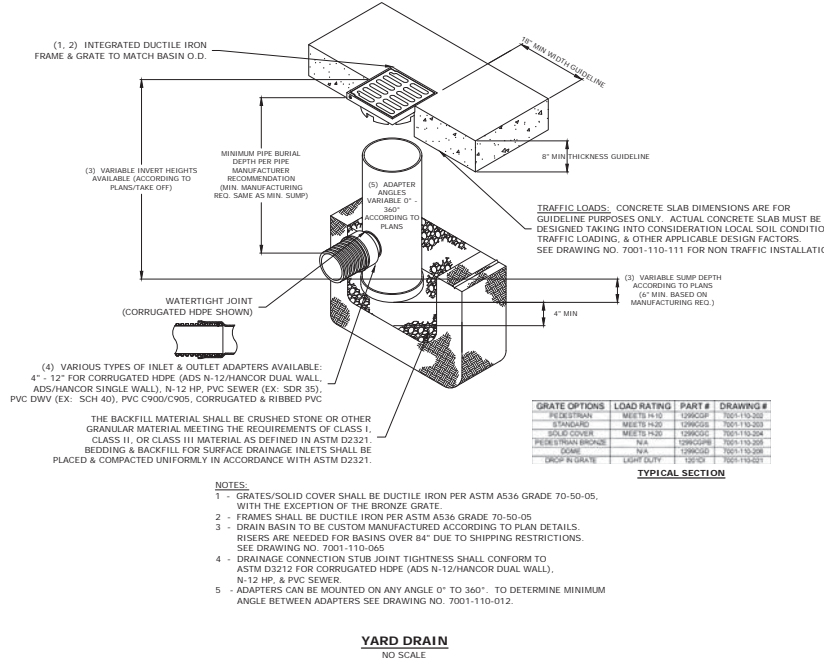
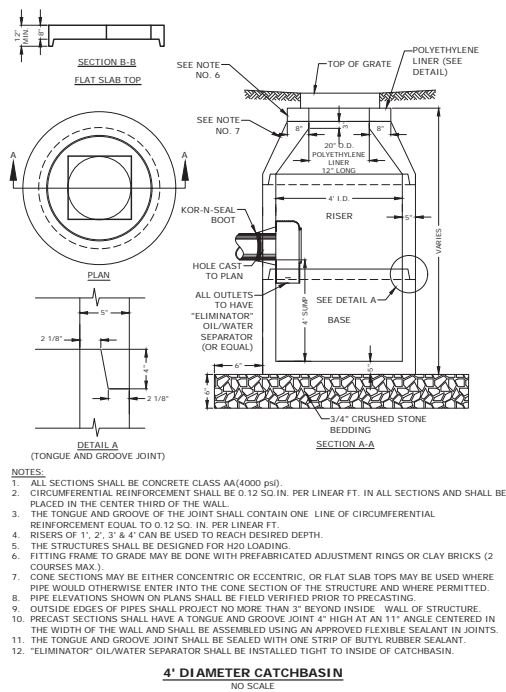
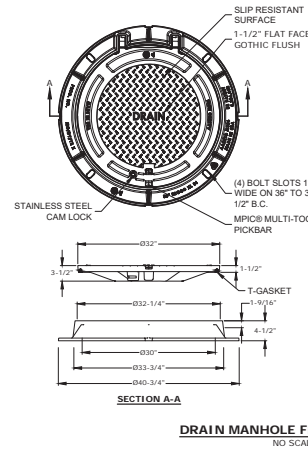
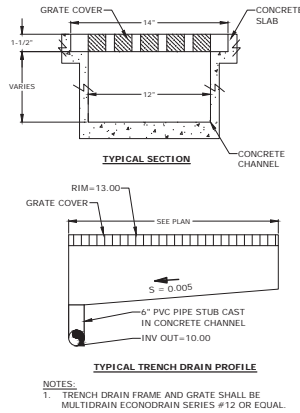
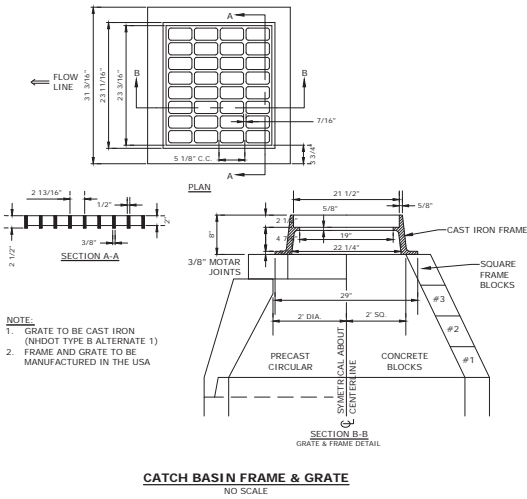
- NOTES:**
1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
 2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

STORM DRAIN TRENCH
NO SCALE



NO.	DATE	DESCRIPTION
H	12/5/2022	ACT Submission
G	11/23/2022	FB Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

PROJECT NO.	TS037-002
DATE	May 24, 2022
FILE	TS037-002-C-DTLS.DWG
DRAWN BY	CK
CHECKED	NWH
APPROVED	PKC



North End Mixed Use Development

Two International Group

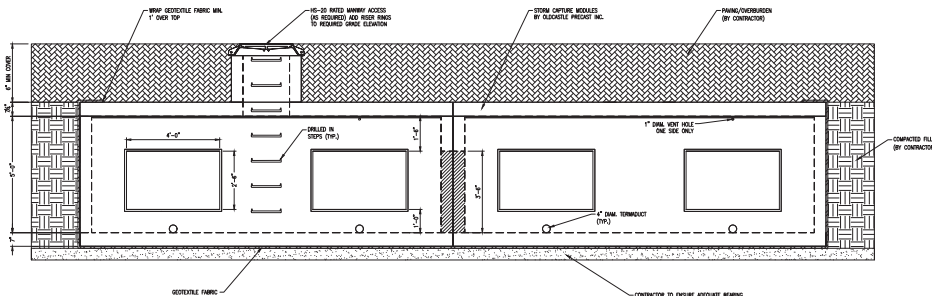
Russell Street & Deer Street
Portsmouth, NH

H	12/5/2022	ACT Submission
G	11/23/2022	PB Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	TS037-002	
DATE	May 24, 2022	
FILE	TS037-002-C-DT15.DWG	
DRAWN BY	CK	
CHECKED	MMH	
APPROVED	PAC	

DETAILS SHEET

SCALE: AS SHOWN

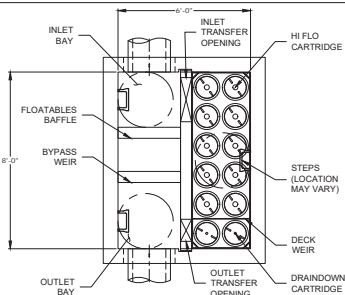
C-505



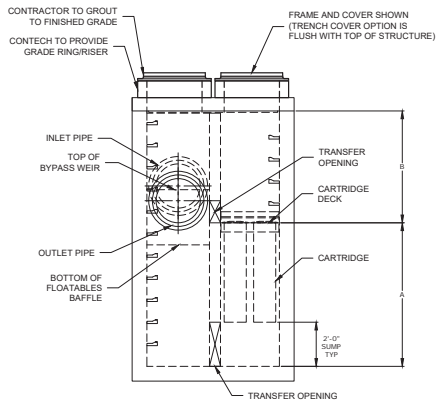
TYPICAL SECTION

- NOTES:
- UNDERGROUND DETENTION SYSTEM TO BE OLDCASTLE STORMCAPTURE SC-S DESIGNED FOR H-20 LOADING.
 - CONTRACTOR TO SUBMIT BASIN SPECIFICATIONS AND FINAL MANUFACTURES DESIGN TO ENGINEER FOR APPROVAL.
 - MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
 - A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND DETENTION BASINS.

OLDCASTLE SC-S DETAIL
NO SCALE



PLAN VIEW
(TOP SLAB NOT SHOWN FOR CLARITY)



ELEVATION VIEW

CONTECH JELLYFISH STORMWATER FILTER (JFPD0806)

NO SCALE

JELLYFISH JFPD0806 - DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD PEAK OVERTURN STYLE WITH PRECAST TOP SLAB IS SHOWN. ALTERNATE OFFLINE WALL AND/OR BALLON ORIENTATION ARE AVAILABLE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

CARTRIDGE SELECTION	56"	40"	27"	18"
CARTRIDGE LENGTH	56"	40"	27"	18"
OUTLET INVERT TO STRUCTURE INVERT (ft)	0.178 (0.053)	0.135 (0.037)	0.080 (0.024)	0.049 (0.023)
FLOW RATE (MGD) (DRAINDOWN CAPS PER CARTRIDGE)	1.96	1.47	0.96	0.54
MAX. TREATMENT (GPD)	5,200	3,920	2,500	1,420
REQ'D CARTRIDGES (FOR 100% (B))	5,200	3,920	2,500	1,420



SITE SPECIFIC DATA REQUIREMENTS

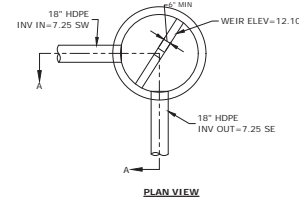
STRUCTURE ID	JF1
WALL SIZE	JFPD0806
ENTERING QUALITY FLOW RATE (MGD)	1.96
PEAK FLOW RATE (MGD)	1.45
DESIGN PERIOD OF PEAK FLOW (YRS)	2
FTF CARTRIDGES REQUIRED (FP 700)	31
CARTRIDGE SIZE	56"

- GENERAL NOTES:
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.ContechES.com
 - JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' - 3' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
 - STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 - OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
 - THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.
 - NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

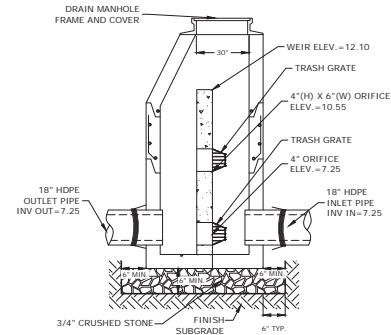
- INSTALLATION NOTES
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 - CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (866) 750-2318.

- NOTE:
- A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND FILTRATION UNITS.

Jellyfish Filter
 THE PRECAST CONCRETE STRUCTURE IS MADE OF 4000 PSI CONCRETE (TYPE II CEMENT).
 CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE: www.ContechES.com
 1000 SOUTH MAIN STREET, SUITE 100, RICHMOND, NH 03304
 TEL: 603-882-1122 FAX: 603-882-1122
 1000 SOUTH MAIN STREET, SUITE 100, RICHMOND, NH 03304
 TEL: 603-882-1122 FAX: 603-882-1122



PLAN VIEW



- NOTES:
- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE (TYPE II CEMENT).
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE THIRD WALL.
 - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
 - THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
 - ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.

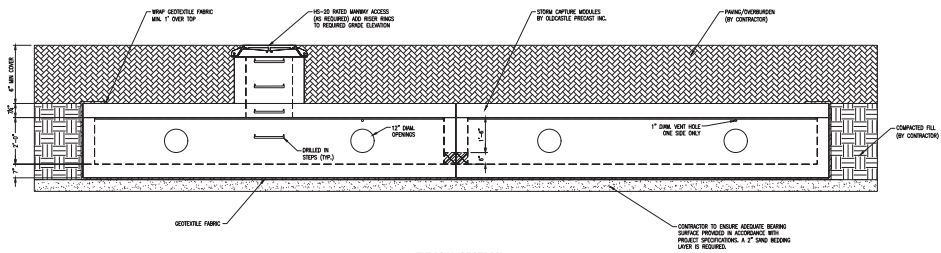
POS-01
NO SCALE



MARK	DATE	DESCRIPTION
I	5/22/2023	Act Resubmission
H	12/5/2023	Act Resubmission
G	11/23/2023	PS Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

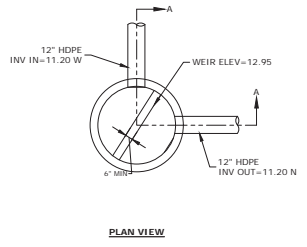
MARK DATE DESCRIPTION

PROJECT NO: T5037-002
 DATE: May 24, 2022
 FILE: T5037-002-C-DT-5.DWG
 DRAWN BY: CLK
 CHECKED: NWH
 APPROVED: PAC

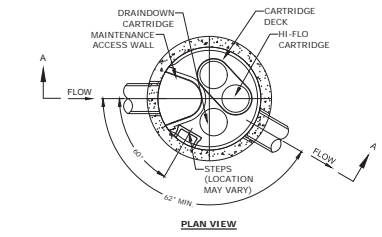


- NOTES:**
1. UNDERGROUND DETENTION SYSTEM TO BE OLDCASTLE STORMCAPTURE SC-2 DESIGNED FOR H-20 LOADING. CONTRACTOR TO SUBMIT BASIN SPECIFICATIONS AND FINAL MANUFACTURER'S DESIGN TO ENGINEER FOR APPROVAL.
 2. MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
 3. A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND DETENTION BASINS.

OLDCASTLE SC-2 DETAIL
NO SCALE



PLAN VIEW



PLAN VIEW

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. 60\"/>

CARTRIDGE SELECTION	
CARTRIDGE DEPTH	54"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-5"
FLOW RATE HIGH-FLO / DRAINDOWN (cfs) (per cart)	0.18 / 0.09
MAX. CARTS HIGH-FLO / DRAINDOWN	2 / 1

SITE SPECIFIC DATA REQUIREMENTS

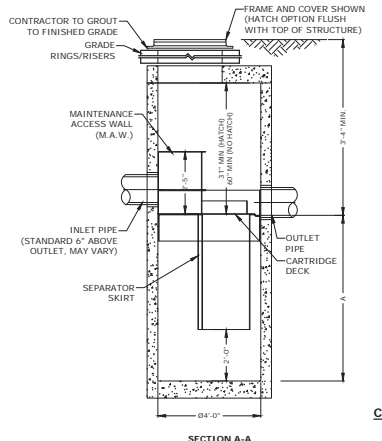
STRUCTURE ID	2	3
WATER QUALITY FLOW RATE (cfs)	0.26	0.05
# OF CARTRIDGES REQUIRED (HF / DD)	(2/1)	(1/1)
CARTRIDGE SIZE	54"	54"

- GENERAL NOTES:**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.contechcs.com
 3. JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 4. STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0'-3" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
 5. STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 6. NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

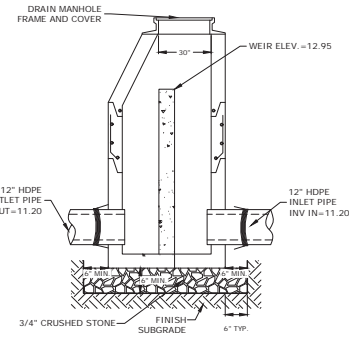
- INSTALLATION NOTES**
- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - C. CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHINKING GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
 - D. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 - E. CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (866) 740-3318.

- NOTE:**
1. A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND FILTRATION UNITS.

CONTECH JELLYFISH (JF4)
NO SCALE



SECTION A-A



POS-02
NO SCALE

- NOTES:**
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE (TYPE 1 CEMENT).
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE THIRD WALL.
 3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
 4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
 5. ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.

North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

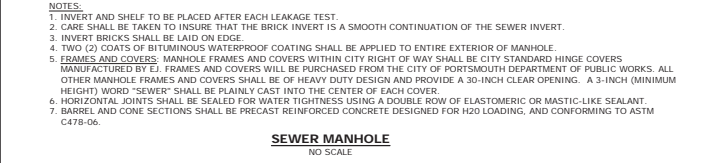
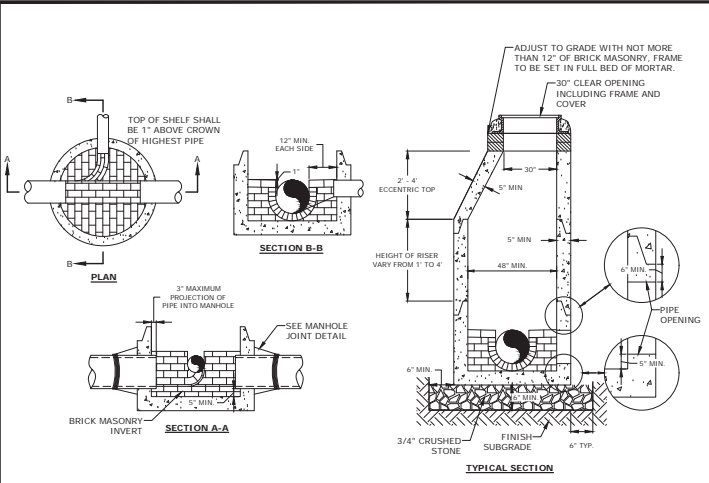
MARK	DATE	DESCRIPTION
I	5/22/2023	Act Resubmission
H	12/5/2023	Act Submission
G	11/23/2022	PS Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

DETAILS SHEET

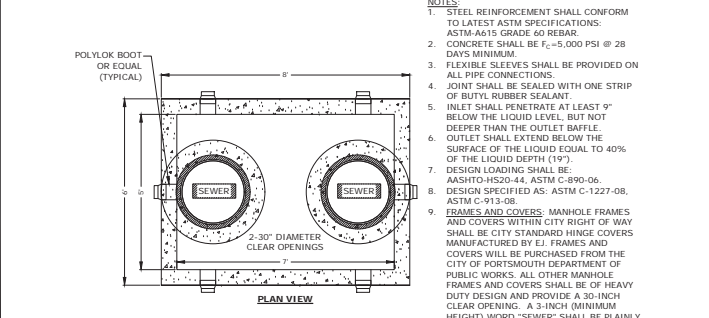
SCALE: AS SHOWN

C-507

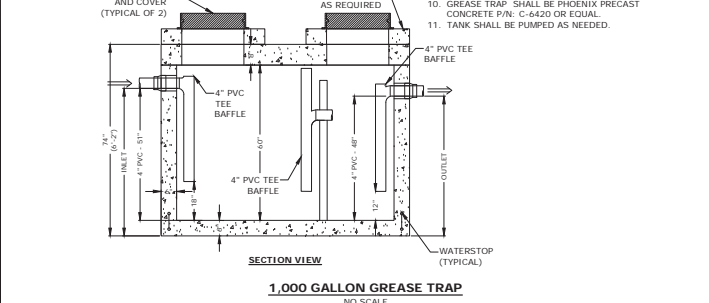
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 USER: N.HANSEN
 PROJECT: 15507 - NORTH END MIXED USE DEVELOPMENT
 DRAWING: 15507-002-C-015.5.DWG
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 SHEET: C-507



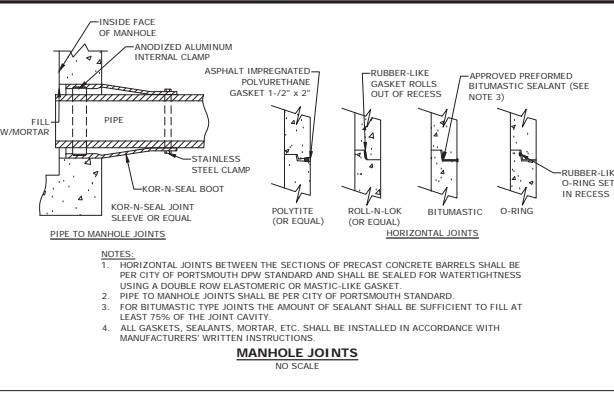
SEWER SERVICE TRENCH
NO SCALE



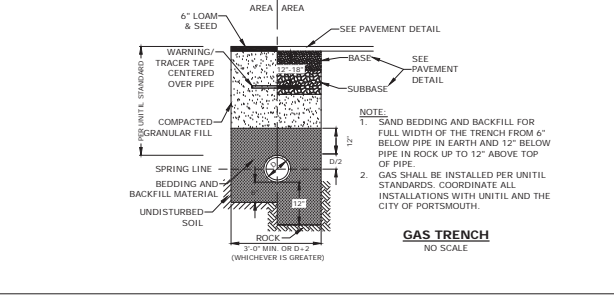
MANHOLE JOINTS
NO SCALE



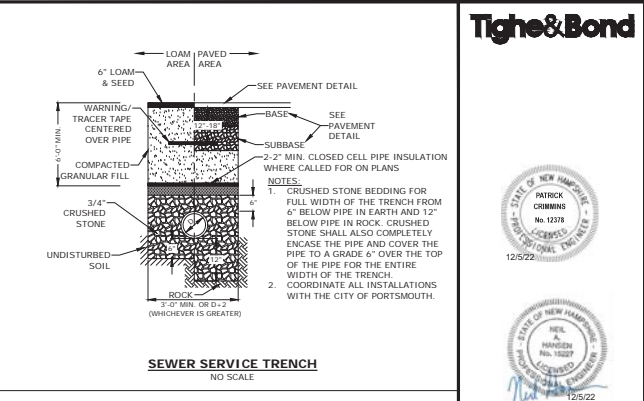
1,000 GALLON GREASE TRAP
NO SCALE



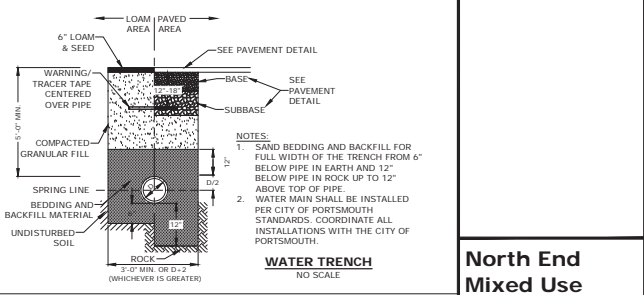
GAS TRENCH
NO SCALE



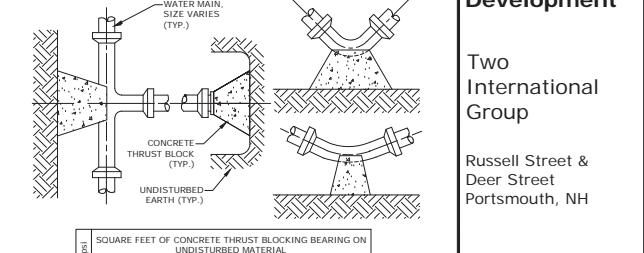
STANDARD SERVICE LATERAL CONNECTION
NO SCALE



SEWER SERVICE TRENCH
NO SCALE



WATER TRENCH
NO SCALE



THRUST BLOCKING DETAIL
NO SCALE

SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL

REACTION TYPE	PIPE SIZE			
	4"	6"	8"	12"
A 90°	0.89	2.19	3.82	11.14
B 180°	0.65	1.55	2.78	8.38
C 45°	0.48	1.19	2.12	6.02
D 22-1/2°	0.25	0.60	1.06	3.08
E 11-1/4°	0.13	0.30	0.54	1.54

TEST PRESSURE = 200 PSI

NOTES:

- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
- WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
- INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

THRUST BLOCKING DETAIL
NO SCALE

North End Mixed Use Development

Two International Group

**Russell Street & Deer Street
Portsmouth, NH**

MARK	DATE	DESCRIPTION
H	12/5/2022	Act Submission
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B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

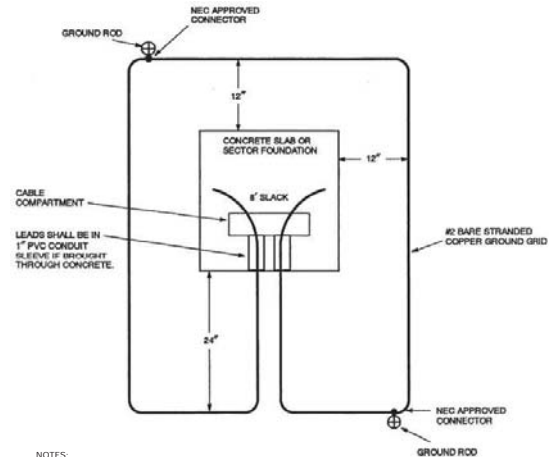
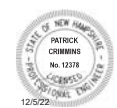
PROJECT NO. 15037-002
DATE: May 24, 2022
FILE: 15037-002-C-DTLS.DWG
DRAWN BY: CK
CHECKED: NH
APPROVED: PAC

DETAILS SHEET

SCALE: AS SHOWN

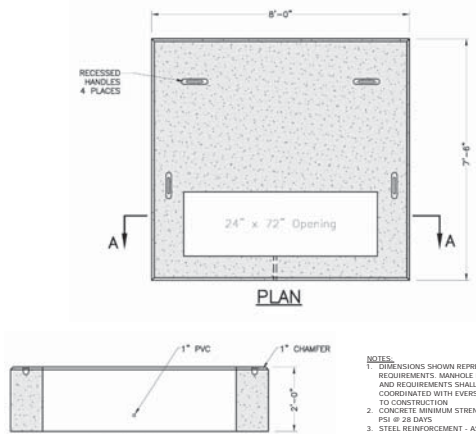
C-508

DATE: 05/24/2022 10:09:02 AM
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 PROJECT: 15037-002-C-DTLS.DWG
 DRAWN BY: CK
 CHECKED: NH
 APPROVED: PAC



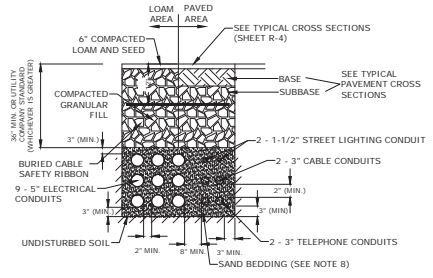
NOTES:
 THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12 INCHES BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFORMER. THE TWO 8-FOOT GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.

PAD-MOUNTED EQUIPMENT GROUNDING GRID DETAIL
 NO SCALE



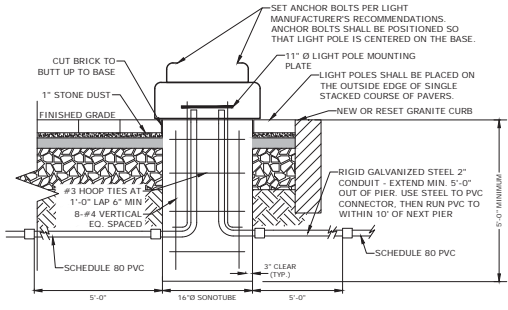
NOTES:
 1. DIMENSIONS SHOWN REPRESENT TYPICAL REQUIREMENTS. MANHOLE LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED WITH EVERSOURCE PRIOR TO CONSTRUCTION.
 2. CONCRETE MINIMUM STRENGTH - 4,000 PSI @ 28 DAYS
 3. STEEL REINFORCEMENT - ASTM A615, GRADE 60
 4. PAD MEETS OR EXCEEDS EVERSOURCE SPECIFICATIONS

3-PHASE TRANSFORMER PAD
 NO SCALE



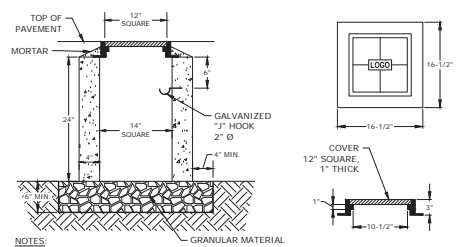
NOTES:
 1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
 2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
 3. NO CONDUIT RUN SHALL EXCEED 90 DEGREES IN TOTAL BENDS.
 4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
 5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
 6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
 7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
 8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASUREMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT
 NO SCALE



NOTES:
 1. REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
 2. CONCRETE: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI
 3. LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS.
 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.
 5. STANDARD BASE SHALL BE CONSTRUCTED UNLESS THERE IS CONFLICT WITH THE EXISTING DUCT BANK. SPREAD FOOTING BASE SHALL BE USED IN LIEU OF STANDARD BASE IN LOCATIONS WHERE TOP OF DUCT BANK ELEVATION WILL CONFLICT WITH STANDARD POLE BASE DEPTH. CONTRACTOR SHALL VERIFY LOCATIONS WHERE SPREAD FOOTINGS ARE REQUIRED PRIOR TO CONSTRUCTION. SEE NOTE#4 FOR SUBMITTAL REQUIREMENTS.

HISTORIC LIGHT FIXTURE BASE
 NO SCALE



NOTES:
 1. 14" X 14" CONCRETE PULL BOX, NHDOT ITEM 614.511

CONCRETE PULL BOX
 NO SCALE

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Two International Group

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 Portsmouth, NH

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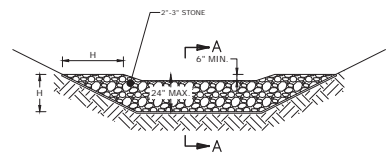
PROJECT NO.	TS037-002
DATE	May 24, 2022
FILE	TS037-002-C-DTLS.DWG
DRAWN BY:	CK
CHECKED:	NWH
APPROVED:	PKC

DETAILS SHEET

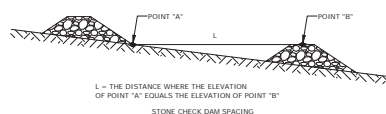
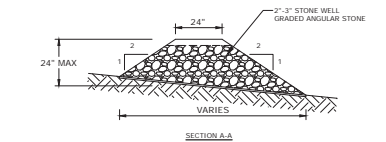
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C-509

DATE: 05/24/2022 10:46:00 AM BY: CK
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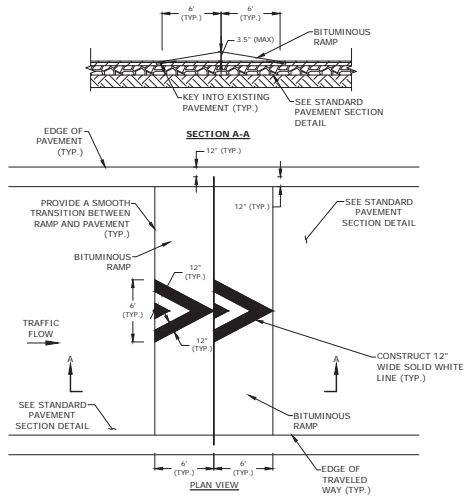


BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12



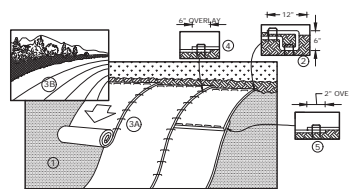
STONE CHECK DAM
NO SCALE

- NOTES:
- CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
 - THE CHECK DAM SHOULD NOT BE USED IN A FLOWING STREAM.
 - CHECK DAMS SHOWN ON THE DRAWINGS SHOULD BE LEFT IN PLACE PERMANENTLY.
 - CHECK DAMS INSTALLED AS PART OF TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED.
 - IN TEMPORARY DITCHES AND SWALES, CHECK DAMS SHOULD BE REMOVED AND THE DITCH FILLED IN WHEN IT IS NO LONGER NEEDED.
 - IN PERMANENT STRUCTURES, CHECK DAMS SHOULD BE REMOVED WHEN PERMANENT LINING HAS BEEN ESTABLISHED. IF THE PERMANENT LINING IS VEGETATION, THEN THE CHECK DAM SHOULD BE RETAINED UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEED AND MULCHED IMMEDIATELY AFTER REMOVAL.



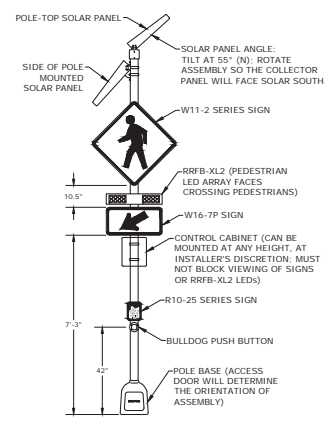
- NOTE:
- ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

SPEED HUMP CROSS SECTION
NO SCALE



- NOTES:
- EROSION CONTROL BLANKET SHALL BE AN ALL NATURAL PRODUCT WITH NO PHOTO DEGRADABLE COMPONENTS. NORTH AMERICAN GREEN SC1508N OR APPROVED EQUAL.
 - STAKES SHALL BE BIODEGRADABLE BIOSTAKES OR ALL NATURAL WOOD ECOSTAKES OR APPROVED EQUAL. THE LENGTH OF STAKES SHALL BE BASED OFF OF THE MANUFACTURERS RECOMMENDATION.
 - PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, COMPOST AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE, 36" OVER THE GRADE BREAK, BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UPSLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAKES IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAKING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAKES ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAKES IN APPROPRIATE LOCATIONS AS SHOWN ON THE MANUFACTURERS PATTERN GUIDE.
 - THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8" INCHES MATERIAL UTILIZED.

EROSION CONTROL BLANKET
NO SCALE



RAPID RECTANGULAR FLASHING BEACON (RRFB)
NO SCALE

North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

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I	1/22/2023	Act Resubmission
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G	11/23/2022	FB Submission
F	11/18/2022	Traffic Peer Review
A	10/26/2022	TAC Resubmission

DETAILS SHEET

SCALE: AS SHOWN

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 PLOT FILE: \\P01\work\2022\15037-002-C-Dtls.dwg
 PLOT SCALE: 1.0000
 PLOT DEVICE: HP DesignJet T1300

PLANT SCHEDULE

Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Notes
TREES						
AC BO	7	<i>Acer rubrum</i> 'Bowhall'	Bowhall Maple	4-5" Cal.		Single-stem, matched
CA CA	6	<i>Carpinus caroliniana</i>	American Hornbeam	4-5" Cal.		Single-stem, matched
CO SP	2	<i>Cornus</i> 'Rutgan' Stellar Pink	Stellar Pink Dogwood	3-4" Cal.		B&B; matched
GI BI	4	<i>Ginkgo biloba</i> 'Magyar'	Magyar Ginkgo	5-6" Cal.		B&B; matched
LI WO	5	<i>Liquidambar styraciflua</i> 'Worpleston'	Worpleston Sweetgum	4-5" Cal.		B&B; matched
QU RP	6	<i>Quercus x vareii</i> 'Long' Regal Prince	Regal Prince Oak	4-5" Cal.		B&B; matched
SHRUBS						
Co Pe		<i>Comptonia peregrina</i>	Sweet Fern	#3 Container	36" O.C.	
Co Ra		<i>Cornus sericea</i> 'Cardinal'	Cardinal Red Twig Dogwood	#5 Container	36" O.C.	
De Gr		<i>Deutzia gracilis</i> 'Nikko'	Nikko Deutzia	#3 Container	30" O.C.	
Fo Ga		<i>Fothergilla gardenii</i> 'Mount Airy'	Mount Airy Fothergilla	#5 Container	36" O.C.	
Hy Qu		<i>Hydrangea quercifolia</i> 'Pee Wee'	Oakleaf Hydrangea	#5 Container	48" O.C.	
Li Be		<i>Lindera Benzoin</i>	Spice Bush	#5 Container	36" O.C.	
Ix Gl		<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	#5 Container	36" O.C.	
Il Jj		<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Winterberry	#5 Container	48" O.C.	
Il Ve		<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	#5 Container	48" O.C.	
My Pe		<i>Myrica pensylvanica</i>	Northern Bayberry	#5 Container	48" O.C.	
Rh Gl		<i>Rhus aromatica</i> 'Gro-Low'	Fro-Low Fragrant Sumac	#3 Container	30" O.C.	
Rh Mh		<i>Rhododendron x 'Marie Hoffman'</i>	Mare Hoffman Azalea	#5 Container	48" O.C.	
Sp To		<i>Spiraea tomentosa</i>	Steeplebush	#3 Container	30" O.C.	
PERENNIALS						
am hu		<i>Amsonia x 'Blue Ice'</i>	Blue Star Flower	#2 Container	18" O.C.	
as ob		<i>Aster oblongifolius</i> 'Raydon's Favorite'	Raydon's Favorite Aster	#2 Container	24" O.C.	
ba bi		<i>Baptisia australis</i>	Blue False Indigo	#3 Container	30" O.C.	
ga od		<i>Galium odoratum</i>	Sweet Woodruff	#2 Container	12" O.C.	
ge ro		<i>Geranium x 'Rozanne'</i>	Rozanna Cranesbill	#2 Container	18" O.C.	
he vi		<i>Heuchera villosa</i> 'Autumn Bride'	Autumn Bride Coral Bells	#2 Container	18" O.C.	
he hr		<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	#2 Container	24" O.C.	
li sp		<i>Liriope spicata</i>	Lilyturf	4" Container	10" O.C.	
os ci		<i>Osmundastrum cinnamomeum</i>	Cinnamon Fern	#2 Container	30" O.C.	
po od		<i>Polygonatum odoratum</i> var. <i>pluriflorum</i> 'Variegatum'	Variegated Solomon's Seal	#2 Container	15" O.C.	
ti co		<i>Tiarella cordifolia</i>	Foamflower	#2 Container	15" O.C.	
va an		<i>Vaccinium angustifolium</i>	Lowbush Blueberry	#2 Container	15" O.C.	
ORNAMENTAL GRASSES						
bo cu		<i>Bouteloua curtipendula</i>	Side Oats Grama	#2 Container	30" O.C.	
ca pe		<i>Carex pennsylvanica</i>	Pennsylvania Sedge	#2 Container	30" O.C.	
ca ca		<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#3 Container	30" O.C.	
de ce		<i>Deschampsia cespitosa</i> 'Pixie Fountain'	Tufted Hair Grass	#2 Container	30" O.C.	
mi si		<i>Miscanthus sinensis</i> 'Adagio'	Dwarf Silver Grass	#2 Container	30" O.C.	
pe al		<i>Pennisetum alopecuroides</i> 'Hamelin'	Hamelin Dwarf Fountain Grass	#2 Container	24" O.C.	
SEED MIXES						
Buffer Seed Mx		<i>Ernst Seed Fescue Mix composed of 45% Creeping Red Fescue/ 27.5% Hard Fescue 'Minimus' / 27.5% Hard Fescue 'Beacon'</i>				

PLANTING NOTES

- LANDSCAPE ARCHITECT TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE.
- PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED BY LANDSCAPE ARCHITECT.
- LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICTS TO LANDSCAPE ARCHITECT.
- PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
- NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
- PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.
- REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK
- SOAK ALL PERENNIALS FOR 24 HOURS PRIOR TO INSTALLATION
- BUFFER SEED MIX AREA TO BE WATERED AND MONITORED DURING ESTABLISHMENT TO ENSURE SEED COVERAGE AND ESTABLISHMENT IS UNIFORM AND HEALTHY AND UNTIL ACCEPTANCE.
- MOWING OF THE BUFFER SEED MIX AREA FOLLOWING ESTABLISHED AND ACCEPTANCE SHALL OCCUR TWICE A YEAR - IN SPRING PRIOR TO NEW GROWTH AND THE AUTUMN AFTER DORMANCY. MOWING IS NOT TO OCCUR IN THE HEAT OF SUMMER, MOWING ENCOURAGES ESTABLISHMENT VIA ROOT SYSTEM GROWTH AND MITIGATES GROWTH OF WEEDS, UNDESIRABLE AND INVASIVE SPECIES.
- MOWING HEIGHT TO BE NOT LESS THAN 3".



North End
Mixed Use
Development

Two
International
Group

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B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	TS037-002	
DATE	May 24, 2022	
FILE	TS037-002-L-05GN-WORKING.DWG	
DRAWN BY:	OS	
CHECKED:	RU	
APPROVED:	RU	

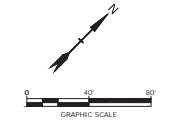
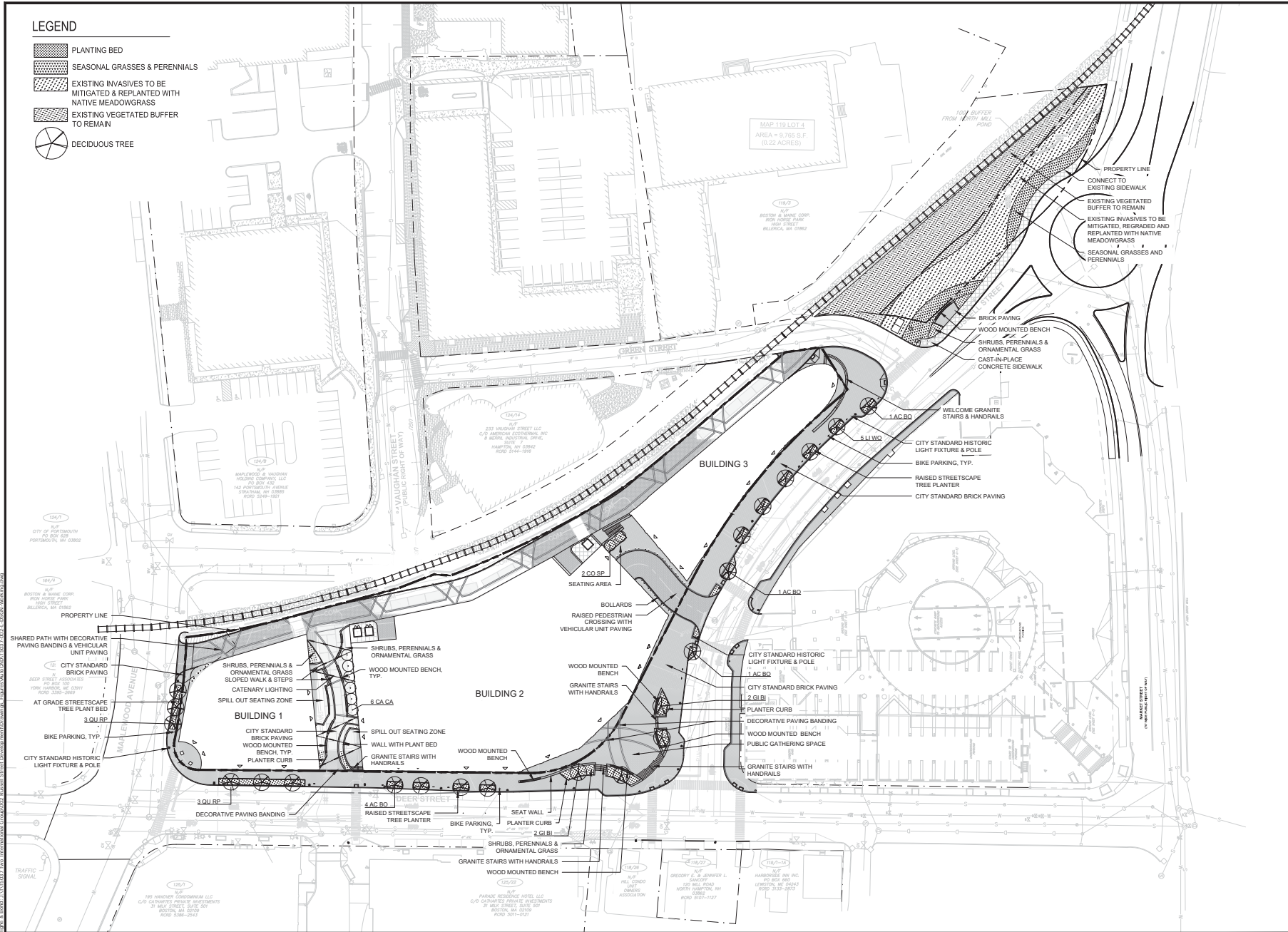
LANDSCAPE MATERIAL PLAN,
LEGEND AND NOTES

SCALE: AS SHOWN

L-100

LEGEND

-  PLANTING BED
-  SEASONAL GRASSES & PERENNIALS
-  EXISTING INVASIVES TO BE MITIGATED & REPLANTED WITH NATIVE MEADOWGRASS
-  EXISTING VEGETATED BUFFER TO REMAIN
-  DECIDUOUS TREE



**North End
Mixed Use
Development**

**Two
International
Group**

Russell Street &
Deer Street
Portsmouth, NH

MARK	DATE	DESCRIPTION
F	11/23/2022	PS Submission
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

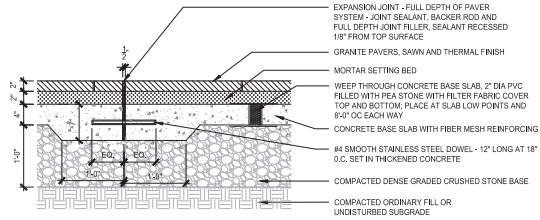
PROJECT NO.	TS037-002
DATE	May 24, 2022
FILE	TS037-002-L-05GN-WORKING.DWG
DRAWN BY	OS
CHECKED	RU
APPROVED	RU

LANDSCAPE SITE PLAN

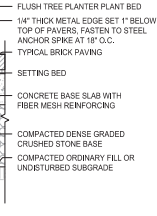
SCALE: AS SHOWN

NOTE:

1. ALIGN EXPANSION JOINT WITH PAVER JOINT.
2. PROVIDE EXPANSION JOINTS AT 20' ON CENTER OR AS SHOWN ON DRAWINGS.
3. PROVIDE CALKED CONSTRUCTION JOINT WHERE PAVING ABUTS VERTICAL SURFACE.
4. THE JOINTS BETWEEN GRANITE PAVER PIECES TO BE 1/8" MORTAR JOINTS.



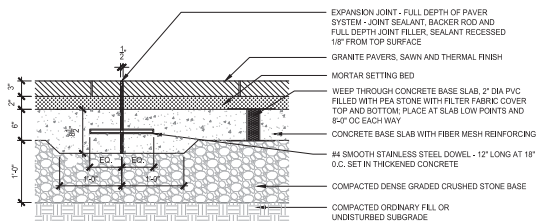
1 GRANITE PAVERS ON CONCRETE BASE - PEDESTRIAN
SCALE: 1" = 1'-0"



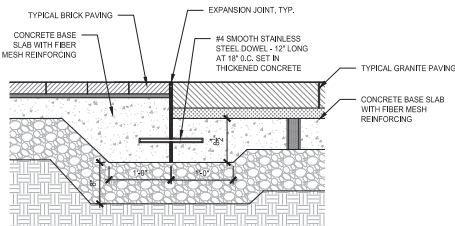
4 METAL EDGE AT BRICK PAVING ABUTTING PLANTING BED
SCALE: 1" = 1'-0"

NOTE:

1. ALIGN EXPANSION JOINT WITH PAVER JOINT.
2. PROVIDE EXPANSION JOINTS AT 20' ON CENTER OR AS SHOWN ON DRAWINGS.
3. PROVIDE CALKED CONSTRUCTION JOINT WHERE PAVING ABUTS VERTICAL SURFACE.
4. THE JOINTS BETWEEN GRANITE PAVER PIECES TO BE 1/8" MORTAR JOINTS.



2 GRANITE PAVERS ON CONCRETE BASE - VEHICULAR
SCALE: 1" = 1'-0"



3 GRANITE TO BRICK PAVING TRANSITION
SCALE: 1" = 1'-0"

North End
Mixed Use
Development

Two
International
Group

Russell Street &
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Portsmouth, NH

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PROJECT NO.	TS037-002	
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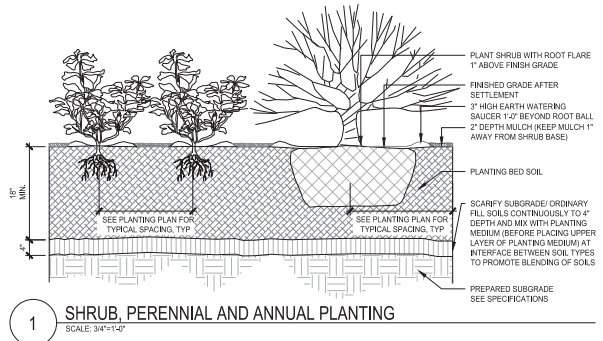
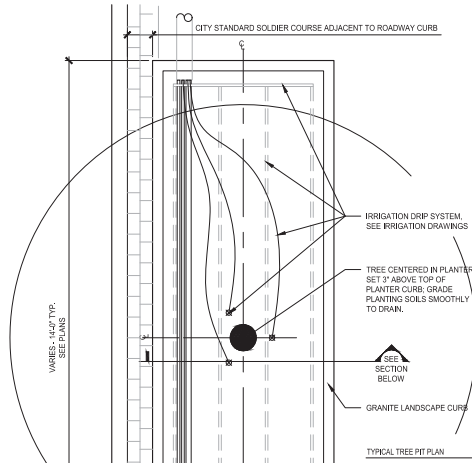
LANDSCAPE DETAILS

SCALE: AS SHOWN

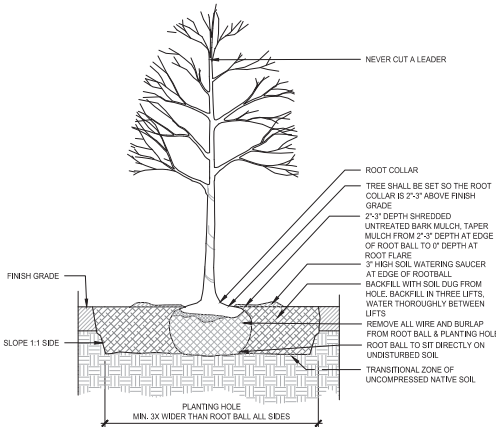
CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS

THE BASE OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING. ANSI A300 PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IT IS NOT THE 'END ALL' FOR THE CITY OF PORTSMOUTH, THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT IN ADDITION TO OR THAT GO BEYOND THE ANSI A300 PART 6.

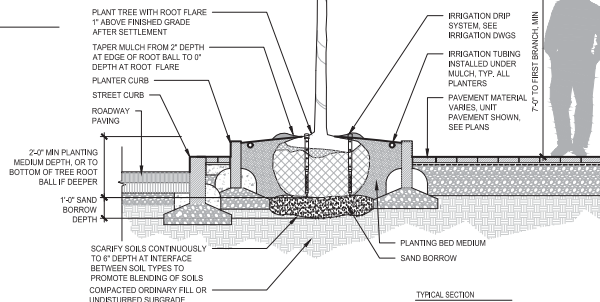
1. ALL PLANTING HOLES SHALL BE DUG BY HAND-NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINES USED TO DIG ANY OF THESE SITUATIONS AND PLANTING DEPTH NEEDS TO BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.
2. ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.
3. THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GIRDLING ROOTS ARE PRESENT.
4. THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHED DEPTH.
5. ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
6. ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS- NO EXCEPTIONS.
7. AN EARTH BEHM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.
8. 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
9. AT THE TIME THE PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS, BACKFILL MATERIAL AND MULCH LAYER.



1 SHRUB, PERENNIAL AND ANNUAL PLANTING
SCALE: 3/4\"/>

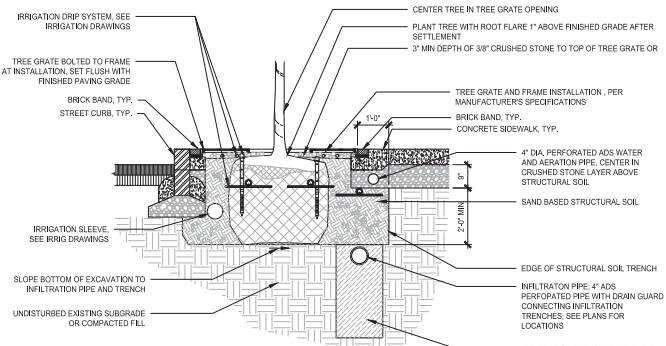


2 TREE PLANTING DETAIL
SCALE: 3/8\"/>



3 TREE PLANTING IN RAISED LANDSCAPE CURB PLANTER
SCALE: 1/2\"/>

PLAN: WATER AND AERATION SYSTEM IN STREETSCAPE LAYOUT



CROSS SECTION

- NOTES:
1. PLANTING DETAILS ARE INTENDED TO INDICATE CONSTRUCTION RELATED TO VARIOUS STREETSCAPE ELEMENTS. ACTUAL LOCATIONS OF STREETSCAPE ELEMENTS MAY VARY FROM THOSE SHOWN. SEE PLANS.
 2. FINISHED GRADE OF TREE GRATES AND FRAMES SHALL BE FLUSH WITH SURROUNDING PAVEMENT.
 3. PROVIDE AUTOMATIC IRRIGATION SYSTEM TO IRRIGATE EACH TREE EXTENDED FROM CENTRAL CONTROLS SYSTEM. IRRIGATION SLEEVING TO CONNECT ALL TREE LOCATIONS BACK TO POINT OF CONNECTION.
 4. LIMB BRANCHES TO PROVIDE CLEAR PEDESTRIAN ZONE TO 7'-0\"/>

4 TREE PLANTING IN TREE GRATE OVER SAND-BASED STRUCTURAL SOIL
SCALE: 1/2\"/>

North End Mixed Use Development

Two International Group

**Russell Street & Deer Street
Portsmouth, NH**

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C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

LANDSCAPE DETAILS

SCALE: AS SHOWN

L-103

DATE: 11/21/2022
 TIME: 10:58:11 AM
 USER: M. BOND
 PROJECT: 15037-002-L-050-N-WORKING.DWG
 FILE: 15037-002-L-050-N-WORKING.DWG
 DRAWN BY: OIS
 CHECKED: RJU
 APPROVED: RJU



NEW YORK OFFICE: Suite 1201
 NEW YORK, NY 10101
 NY REG. NO. 00000001 | 212.438.8888

PROJECT TEAM
 CLIENT
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 MARKET SQUARE ARCHITECTS

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 (603) 881-0200

CIVIL ENGINEER
 TYME & BOND
 177 CONGRESS STREET
 PORTSMOUTH, NH 02870
 (603) 438-9616

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 MALCOLMSON
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MEP ENGINEER
 J&M
 2300 UTICHA DRIVE
 DESHANE CONSULTING
 ENGINEERS
 310 MARKET STREET
 BOSTON, MA 02108
 (617) 534-4442

MEP ENGINEER
 J&M
 15 HIGH STREET, SUITE 209
 BOSTON, MA 02111
 (617) 534-0200

LIGHTING DESIGN
 LIGHTBOX STUDIOS
 80 PARK STREET
 NEWTON, NY 10825
 (845) 814-2800

MEP ENGINEER
 J&M
 15 HIGH STREET, SUITE 209
 BOSTON, MA 02111
 (617) 534-0200

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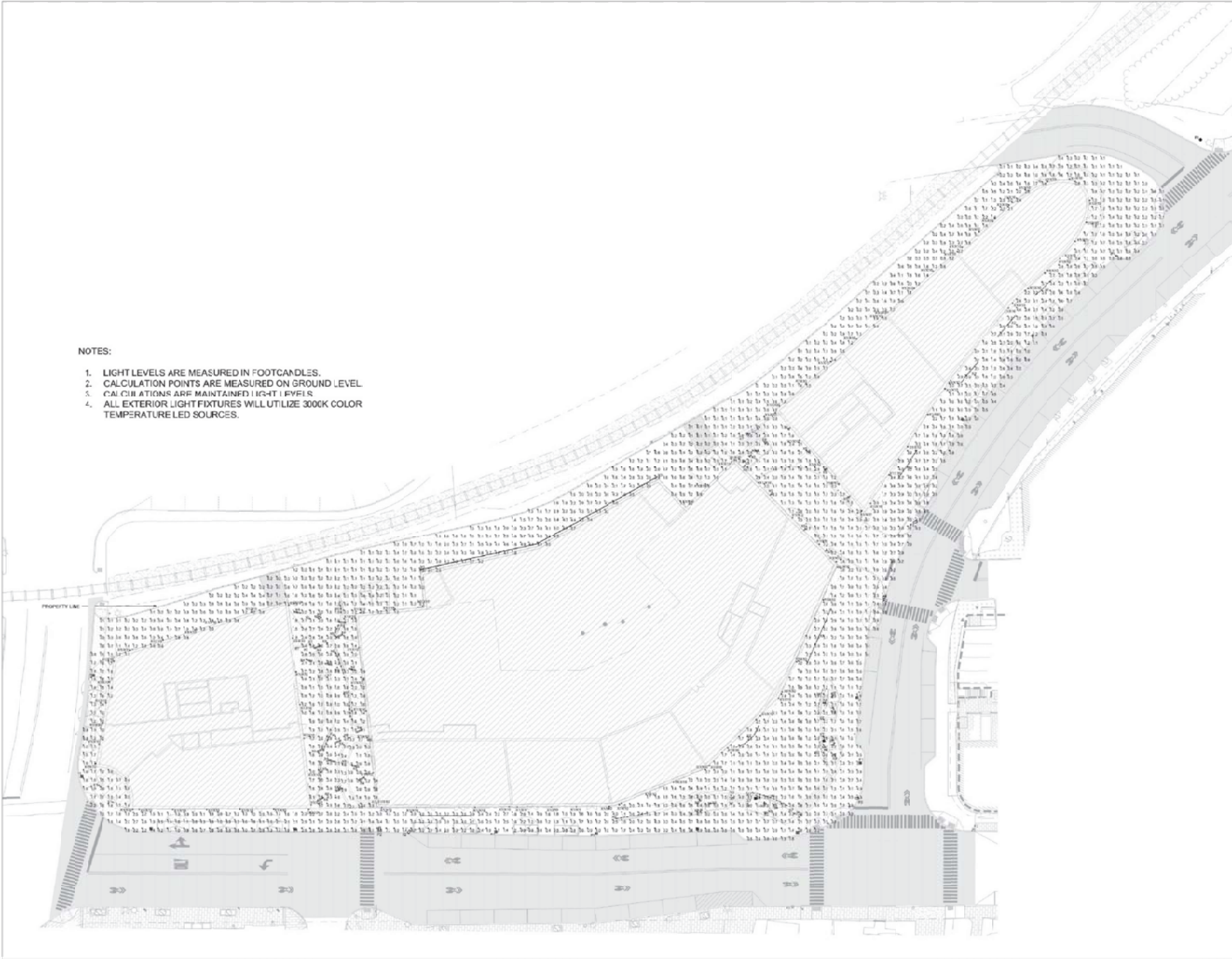
LIGHTING DESIGN
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 BOSTON, MA 02111
 (617) 534-0200

LIGHTING DESIGN
 LIGHTBOX STUDIOS
 80 PARK STREET
 NEWTON, NY 10825
 (845) 814-2800

NOTES:

1. LIGHT LEVELS ARE MEASURED IN FOOTCANDLES.
2. CALCULATION POINTS ARE MEASURED ON GROUND LEVEL.
3. CALCULATIONS ARE MAINTAINED IN LIGHT LEVELS.
4. ALL EXTERIOR LIGHT FIXTURES WILL UTILIZE 3000K COLOR TEMPERATURE LED SOURCES.



SCALE

© Spangola Group Architects, P.C.
 06/2022

PROJECT:
 Russell Street Mixed
 Development

2 Russell Street, Portsmouth
 NH
 Two International Group

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Submitted For

SCALE: 1" = 20'-0"
DATE ISSUED: 06/06/22
PROJECT NO: 24009.N.001
DRAWN BY: J&M
CHECKED BY: J&M

SHEET TITLE:
**EXTERIOR
 LIGHTING
 PLAN AND
 CALCULATIONS**

E-100



NEW 21st Street, Suite 1001
NEW YORK, NY 10011
PH: 212.693.1111 | WWW.SCA-ARCH.COM

PROJECT TEAM

CLIENT
TWO INTERNATIONAL GROUP
ARCHITECT OF RECORD
MARKET SQUARE ARCHITECTS

**10X CONGRESS STREET
PROJECTS/LEAD ARCHITECT**
(802) 551-0205

**CIVIL ENGINEER
TIGHE & BOND**
117 CONGRESS STREET
PORTSMOUTH, NH 03801
(603) 433-9616

**LEAD ARCHITECT
PORTSMOUTH, NH 03801
(603) 433-9616**

**250 WASHINGTON STREET
BOSTON, MA 02111
(617) 531-0300**

**2300 17TH STREET, NEWTON,
MA 02459
(617) 552-4444**

**15 HIGH STREET, SUITE 209
BOSTON, MA 02111
(617) 452-1000**

**LIGHTING DESIGN
LIGHTBOX STUDIOS**
330 WEST 12TH STREET
NEW YORK, NY 10011
(845) 318-3000



SIAL / PARTURE

© Sial Group Architects, PC
06/22

PROJECT:
Russell Street Mixed
Development

2 Russell Street, Portsmouth
NH

Two International Group

REVISIONS:
No. Date Description

SUBMISSIONS:
Date Revised By

SCALE: NONE
DATE ISSUED: 06/06/22
PROJECT NO.: 24009.N.001
DRAWN BY: JK
CHECKED BY: SM

SHEET TITLE:
EXTERIOR LIGHTING CUTSHEETS
NO. 1

E-101

GREEN NOTES:
1. STREET LIGHTING TYPES IN USED SHALL BE FINALIZED THROUGH CONSULTATION WITH THE PLANNING DEPARTMENT.
2. LED LIGHTS FOR FIXTURES SHALL BE 3000K COLOR TEMP.

GREEN CITY ELECTRICAL INC. (GCE)
MODEL: "MAGNOLIA" (12-2")
HANG SUSPENSION WITH SUSPENSION ANCHORS

NOTES:
1. LIGHT FIXTURE SHALL BE OTHER PORTSMOUTH STANDARD BY NEWTOWN LIGHTING COMPANY. FIXTURE SHALL INCLUDE GARY BAY TRIMMABLE SHIELD AND INFLUENCE LED LIGHT BULB.
2. LIGHT FIXTURE TO BE USED FOR CITY STREET VERTICAL POLE.

FIXTURE DETAIL
NO SCALE

NOTES:
1. REFER TO ELECTRICAL BLANS FOR WIRING DETAILS.
2. CONCRETE FOUNDATION: 400# REBAR, 18" DIA., 48" DEEP.
3. LIGHT POLYPROPYLENE SHALL BE PLACED PRIOR TO INSTALLATION OF REBAR AND AIR STONE CURTAIN.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO THE CITY ENGINEER AND INSURANCE ENGINEER PRIOR TO INSTALLATION.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO THE CITY ENGINEER AND INSURANCE ENGINEER PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO THE CITY ENGINEER AND INSURANCE ENGINEER PRIOR TO INSTALLATION.
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8. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO THE CITY ENGINEER AND INSURANCE ENGINEER PRIOR TO INSTALLATION.

**FIXTURE TYPE 'P1'
STREET LIGHT ON 10FT POLE**

LEOTEK
LIFE ON STREET

**GreenCobra™ LED Street Light
GC1 F-Series Specification Data Sheet**

Lighting Data
Height: 12 FT 6 IN (3.7 M)
BPA: 0.571°

Ordering Information
For more information, visit us at www.letek.com

Order #	No. of LED's	Voltage	Color Temperature	Material	Finish	Order Code	Options
GC1	100	120V	3000K	Aluminum	Black	GC1-100-120V-3000K-ALU-BLK	None
GC1	100	120V	3000K	Aluminum	White	GC1-100-120V-3000K-ALU-WHT	None
GC1	100	120V	3000K	Aluminum	Black	GC1-100-120V-3000K-ALU-BLK	None
GC1	100	120V	3000K	Aluminum	White	GC1-100-120V-3000K-ALU-WHT	None

Notes:
1. Pole, Ball and Ball Bracket shall conform to the applicable standards.
2. Pole, Ball and Ball Bracket shall be made of 6061-T6 aluminum alloy.
3. Pole, Ball and Ball Bracket shall be finished with a powder coat finish.
4. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.
5. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.
6. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.
7. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.
8. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.

**FIXTURE TYPE 'P2'
STREET LIGHT ON 20FT POLE**

LEOTEK
LIFE ON STREET

**GreenCobra™ LED Street Light
GC1 F-Series Specification Data Sheet**

Lighting Data
Height: 20 FT 6 IN (6.3 M)
BPA: 0.571°

Ordering Information
For more information, visit us at www.letek.com

Order #	No. of LED's	Voltage	Color Temperature	Material	Finish	Order Code	Options
GC1	200	120V	3000K	Aluminum	Black	GC1-200-120V-3000K-ALU-BLK	None
GC1	200	120V	3000K	Aluminum	White	GC1-200-120V-3000K-ALU-WHT	None
GC1	200	120V	3000K	Aluminum	Black	GC1-200-120V-3000K-ALU-BLK	None
GC1	200	120V	3000K	Aluminum	White	GC1-200-120V-3000K-ALU-WHT	None

Notes:
1. Pole, Ball and Ball Bracket shall conform to the applicable standards.
2. Pole, Ball and Ball Bracket shall be made of 6061-T6 aluminum alloy.
3. Pole, Ball and Ball Bracket shall be finished with a powder coat finish.
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6. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.
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8. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.

**FIXTURE TYPE 'P2'
STREET LIGHT ON 20FT POLE**

LEOTEK
LIFE ON STREET

**GreenCobra™ LED Street Light
GC1 F-Series Specification Data Sheet**

Lighting Data
Height: 20 FT 6 IN (6.3 M)
BPA: 0.571°

Ordering Information
For more information, visit us at www.letek.com

Order #	No. of LED's	Voltage	Color Temperature	Material	Finish	Order Code	Options
GC1	200	120V	3000K	Aluminum	Black	GC1-200-120V-3000K-ALU-BLK	None
GC1	200	120V	3000K	Aluminum	White	GC1-200-120V-3000K-ALU-WHT	None
GC1	200	120V	3000K	Aluminum	Black	GC1-200-120V-3000K-ALU-BLK	None
GC1	200	120V	3000K	Aluminum	White	GC1-200-120V-3000K-ALU-WHT	None

Notes:
1. Pole, Ball and Ball Bracket shall conform to the applicable standards.
2. Pole, Ball and Ball Bracket shall be made of 6061-T6 aluminum alloy.
3. Pole, Ball and Ball Bracket shall be finished with a powder coat finish.
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6. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.
7. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.
8. Pole, Ball and Ball Bracket shall be tested to meet the applicable standards.

**FIXTURE TYPE 'P2'
STREET LIGHT ON 20FT POLE**

LANCÉ 4
ARCHITECTURAL CORNER OUTDOOR WALL LAMINAIRE

DESIGNED FOR TIMELESS EXTERIORS

Designed for timeless exteriors, the LANCÉ 4 is a high-quality, architectural-grade outdoor wall luminaire. It features a sleek, minimalist design and is available in a variety of finishes and colors. The luminaire is made of high-quality materials and is designed to withstand the elements. It is a perfect choice for modern, minimalist exteriors.

Specifications:
- Material: Aluminum
- Finish: Black, White, Bronze, Silver
- Color Temperature: 3000K, 4000K, 5000K
- Voltage: 120V, 240V
- Power: 10W, 20W, 30W, 40W, 50W, 60W, 70W, 80W, 90W, 100W

MOQ: 400 LUMENS DELIVERED

meteor-lighting.com

METEOR

LANCÉ 4
ARCHITECTURAL CORNER OUTDOOR WALL LAMINAIRE

TECHNICAL DETAILS

Dimensions:
- Height: 1200mm
- Width: 1200mm
- Depth: 120mm

Weight:
- 12kg

Material:
- Aluminum

Finish:
- Black, White, Bronze, Silver

Color Temperature:
- 3000K, 4000K, 5000K

Voltage:
- 120V, 240V

Power:
- 10W, 20W, 30W, 40W, 50W, 60W, 70W, 80W, 90W, 100W

MOQ: 400 LUMENS DELIVERED

meteor-lighting.com

METEOR

LANCÉ 4
ARCHITECTURAL CORNER OUTDOOR WALL LAMINAIRE

TECHNICAL DETAILS

Dimensions:
- Height: 1200mm
- Width: 1200mm
- Depth: 120mm

Weight:
- 12kg

Material:
- Aluminum

Finish:
- Black, White, Bronze, Silver

Color Temperature:
- 3000K, 4000K, 5000K

Voltage:
- 120V, 240V

Power:
- 10W, 20W, 30W, 40W, 50W, 60W, 70W, 80W, 90W, 100W

MOQ: 400 LUMENS DELIVERED

meteor-lighting.com

METEOR

LANCÉ 4
ARCHITECTURAL CORNER OUTDOOR WALL LAMINAIRE

TECHNICAL DETAILS

Dimensions:
- Height: 1200mm
- Width: 1200mm
- Depth: 120mm

Weight:
- 12kg

Material:
- Aluminum

Finish:
- Black, White, Bronze, Silver

Color Temperature:
- 3000K, 4000K, 5000K

Voltage:
- 120V, 240V

Power:
- 10W, 20W, 30W, 40W, 50W, 60W, 70W, 80W, 90W, 100W

MOQ: 400 LUMENS DELIVERED

meteor-lighting.com


**FIXTURE TYPE 'X1'
BUILDING MOUNTED LIGHT FIXTURE**

**FIXTURE TYPE 'X1'
BUILDING MOUNTED LIGHT FIXTURE**

**FIXTURE TYPE 'X1'
BUILDING MOUNTED LIGHT FIXTURE**

**FIXTURE TYPE 'X1'
BUILDING MOUNTED LIGHT FIXTURE**

VERS-LOUVER (07) Linear Fixtures - Surface



The VERS-LOUVER is designed for wall and ceiling applications. It features a slim profile and is available in multiple lengths and finishes. The fixture is designed for easy installation and provides a clean, modern look.

Part Number Detail
Static White

Part No.	Description	Length (ft)	Color	Material
07-100	Static White High Efficacy 100" x 1.5"	100"	Static White	Aluminum
07-150	Static White High Efficacy 150" x 1.5"	150"	Static White	Aluminum
07-200	Static White High Efficacy 200" x 1.5"	200"	Static White	Aluminum

Static White High Efficacy

- 100% aluminum construction
- Available in multiple lengths
- Compatible with DALI dimming

VERS-LOUVER (07) Linear Fixtures - Surface

Static White High Efficacy

Part No.	Description	Length (ft)	Color	Material
07-100	Static White High Efficacy 100" x 1.5"	100"	Static White	Aluminum
07-150	Static White High Efficacy 150" x 1.5"	150"	Static White	Aluminum
07-200	Static White High Efficacy 200" x 1.5"	200"	Static White	Aluminum

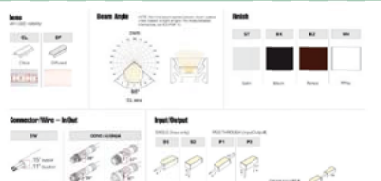
Dynamic White High Efficacy

Part No.	Description	Length (ft)	Color	Material
07-100	Dynamic White High Efficacy 100" x 1.5"	100"	Dynamic White	Aluminum
07-150	Dynamic White High Efficacy 150" x 1.5"	150"	Dynamic White	Aluminum
07-200	Dynamic White High Efficacy 200" x 1.5"	200"	Dynamic White	Aluminum

Dark Color

Part No.	Description	Length (ft)	Color	Material
07-100	Dark Color High Efficacy 100" x 1.5"	100"	Dark Color	Aluminum
07-150	Dark Color High Efficacy 150" x 1.5"	150"	Dark Color	Aluminum
07-200	Dark Color High Efficacy 200" x 1.5"	200"	Dark Color	Aluminum

VERS-LOUVER (07) Linear Fixtures - Surface



Static White High Efficacy

Dynamic White High Efficacy

Dark Color

Static White High Efficacy

Dynamic White High Efficacy

Dark Color

Static White High Efficacy

Dynamic White High Efficacy

Dark Color

FIXTURE TYPE X2
ENTRY CANOPY FIXTURE



Grazee Compact Powercore

Exterior compact linear ceiling luminaire with intelligent white and color light.

• High quality optics with adjustable beam angle
• DALI dimming support
• Available in multiple lengths and colors
• IP65 rating for outdoor use

Specifications

Parameter	Value
Beam Angle	30°, 45°, 60°, 75°, 90°
Color Temperature	2700K, 3000K, 4000K, 5000K
Power	10W, 15W, 20W, 30W
Length	4ft, 6ft, 8ft, 10ft, 12ft, 14ft, 16ft, 18ft
Material	Aluminum

Specifications

Electrical

- Voltage: 120VAC
- Power: 10W - 30W
- Color Temperature: 2700K - 5000K

Dimensions

- Length: 4ft - 18ft
- Depth: 1.5"
- Height: 1.5"

Material

Aluminum

Installation

Surface mount, recessed mount

Options

- Beam angle adjuster
- Color temperature adjuster
- DALI dimming support



Light Reaction Canopy Mount

Static White CC, 1X, 2X Colors

Features

- Easy to install
- Available in multiple colors
- DALI dimming support
- IP65 rating

Technical Information

Part No.	Description	Length (ft)	Color	Material
07-100	Light Reaction Canopy Mount 100" x 1.5"	100"	Static White	Aluminum
07-150	Light Reaction Canopy Mount 150" x 1.5"	150"	Static White	Aluminum
07-200	Light Reaction Canopy Mount 200" x 1.5"	200"	Static White	Aluminum



Light Reaction Canopy Mount

Static White CC, 1X, 2X Colors

Technical Information

Part No.	Description	Length (ft)	Color	Material
07-100	Light Reaction Canopy Mount 100" x 1.5"	100"	Static White	Aluminum
07-150	Light Reaction Canopy Mount 150" x 1.5"	150"	Static White	Aluminum
07-200	Light Reaction Canopy Mount 200" x 1.5"	200"	Static White	Aluminum

FIXTURE TYPE X3
SCREEN WALL GRAZER




Screen Wall Grazer

Exterior wall-mounted linear lighting fixture with screen wall.

• Available in multiple lengths and colors
• DALI dimming support
• IP65 rating for outdoor use

Specifications

Parameter	Value
Beam Angle	30°, 45°, 60°, 75°, 90°
Color Temperature	2700K, 3000K, 4000K, 5000K
Power	10W, 15W, 20W, 30W
Length	4ft, 6ft, 8ft, 10ft, 12ft, 14ft, 16ft, 18ft
Material	Aluminum



Screen Wall Grazer


Exterior wall-mounted linear lighting fixture with screen wall.

• Available in multiple lengths and colors
• DALI dimming support
• IP65 rating for outdoor use

Specifications

Parameter	Value
Beam Angle	30°, 45°, 60°, 75°, 90°
Color Temperature	2700K, 3000K, 4000K, 5000K
Power	10W, 15W, 20W, 30W
Length	4ft, 6ft, 8ft, 10ft, 12ft, 14ft, 16ft, 18ft
Material	Aluminum

FIXTURE TYPE X4
COMMUNITY SPACE CATEWAY FIXTURE




Community Space Cateway Fixture

Exterior wall-mounted linear lighting fixture with community space.

• Available in multiple lengths and colors
• DALI dimming support
• IP65 rating for outdoor use

Specifications

Parameter	Value
Beam Angle	30°, 45°, 60°, 75°, 90°
Color Temperature	2700K, 3000K, 4000K, 5000K
Power	10W, 15W, 20W, 30W
Length	4ft, 6ft, 8ft, 10ft, 12ft, 14ft, 16ft, 18ft
Material	Aluminum



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CLIENT: TWO INTERNATIONAL GROUP

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PHOTOGRAPHY

LIGHTING DESIGN
LIGHTBOX STUDIOS

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NEW YORK, NY 10005
(845) 814-2605

1 2 3

SCALE / SIGNATURE

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06/22

PROJECT:
Russell Street Mixed
Development

2 Russell Street, Portsmouth
NH

Two International Group

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date: 06/22

SCALE: NONE
DATE ISSUED: 06/22
PROJECT NO: 24099.N.001
DRAWN BY: JS
CHECKED BY: SM

SHEET TITLE:
EXTERIOR LIGHTING
CUTSHEETS
NO. 2

E-102

FLC201 LED Floodlights



FLC201 LED Floodlights



FLC201 LED Floodlights



FLC201 LED Floodlights



Product Description:
 FL201 is a 100W floodlight with a 100-degree beam angle. It features a die-cast aluminum body, a polycarbonate lens, and a stainless steel mounting arm. The fixture is designed for outdoor use and is suitable for illuminating large areas.

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

FIXTURE TYPE X5 BUILDING FLOODLIGHT

ANYBEND-SW G-CAP Flexible Fixtures - MICRO S SERIES

Description:
 ANYBEND-SW is a 100W floodlight with a 100-degree beam angle. It features a die-cast aluminum body, a polycarbonate lens, and a stainless steel mounting arm. The fixture is designed for outdoor use and is suitable for illuminating large areas.

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

ANYBEND-SW G-CAP Flexible Fixtures - MICRO S SERIES

Description:
 ANYBEND-SW is a 100W floodlight with a 100-degree beam angle. It features a die-cast aluminum body, a polycarbonate lens, and a stainless steel mounting arm. The fixture is designed for outdoor use and is suitable for illuminating large areas.

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

STH34 LED 190908 (Low-voltage floodlight with 85-125VAC input)



Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

FIXTURE TYPE X6 BENCH LIGHT

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

FIXTURE TYPE X7 STEP LIGHT

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

FIXTURE TYPE X7 TREE UPLIGHT

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.

FIXTURE TYPE X8 TREE UPLIGHT

Specifications:
 Body: Die-cast aluminum
 Lens: Polycarbonate
 Mounting: 1/2" Dia. Mounting Arm
 Finish: Powder Coat
 Input Voltage: 120V AC
 Power: 100W
 Beam Angle: 100°
 Color Temperature: 4000K
 Life Span: 50,000 Hours

Options:
 - 100W LED Floodlight
 - 150W LED Floodlight
 - 200W LED Floodlight

Notes:
 1. Fixture is not for use in wet or damp locations.
 2. Fixture is not for use in hazardous locations.
 3. Fixture is not for use in areas where it will be subject to physical damage.



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 PROJECT: 100-0005

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SCALE / SIGNATURE

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 08/06/22

PROJECT:
 Russell Street Mixed Development
 2 Russell Street, Portsmouth, NH
 Two International Group

REVISIONS:
 No. Date Description

SUBMISSIONS:
 Date Revised File

SCALE: NONE
DATE ISSUED: 08/06/22
PROJECT NO.: 21009.N.001
DRAWN BY: JK
CHECKED BY: SM
SCALE TITLE:

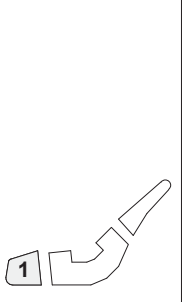
EXTERIOR LIGHTING CUTSHEETS NO. 3

E-103



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857.300.2610 | SGA-ARCH.COM

PROJECT TEAM:



SEAL / SIGNATURE

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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

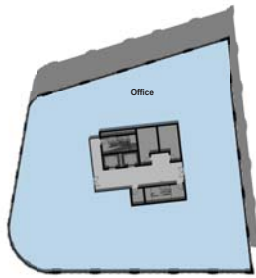
SCALE **As indicated**
DATE ISSUED **05/23/22**
PROJECT NO **4979.00**
DRAWN BY **Author**
CHECKED BY **Checker**

SHEET TITLE:
**BUILDING 1
AREA PLANS**

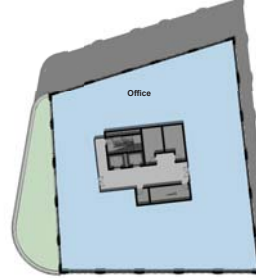
A - 101



1 **B1 - LEVEL 1**
1/32" = 1'-0"



2 **B1 - LEVEL 3**
1/32" = 1'-0"



3 **B1 - LEVEL 4**
1/32" = 1'-0"

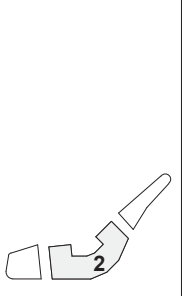
GROSS AREA CALCULATIONS

B1 - LEVEL 1	
Back of House	1,061 SF
Lobby	2,574 SF
Office	7,974 SF
11,609 SF	
B1 - LEVEL 2	
Back of House	956 SF
Lobby	663 SF
Office	10,312 SF
11,932 SF	
B1 - LEVEL 3	
Back of House	956 SF
Lobby	663 SF
Office	10,313 SF
11,932 SF	
B1 - LEVEL 4	
Back of House	956 SF
Lobby	663 SF
Office	8,851 SF
10,471 SF	
GRAND TOTAL	45,944 SF

AREA LEGEND

	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE

PROJECT TEAM:



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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE: As indicated
DATE ISSUED: 05/23/22
PROJECT NO: 4979.00
DRAWN BY: Author
CHECKED BY: Checker

SHEET TITLE:
**BUILDING 2
AREA PLANS**

GROSS AREA CALCULATIONS

B2 - LEVEL 0	
Back of House	625 SF
Lobby	253 SF
Parking	38,270 SF
TOTAL	39,148 SF

B2 - LEVEL 1	
Back of House	1,263 SF
Lobby	2,441 SF
Parking	25,590 SF
Retail	10,440 SF
TOTAL	39,735 SF

B2 - LEVEL 2	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,109 SF
Lobby	2,619 SF
TOTAL	29,754 SF

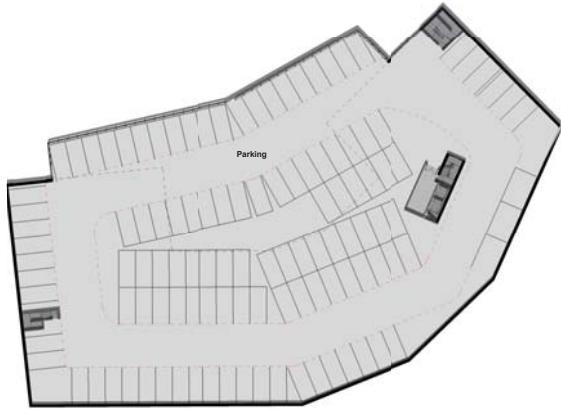
B2 - LEVEL 3	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
TOTAL	29,810 SF

B2 - LEVEL 4	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
TOTAL	29,810 SF

B2 - LEVEL 5	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
TOTAL	29,810 SF
GRAND TOTAL	198,068 SF

AREA LEGEND

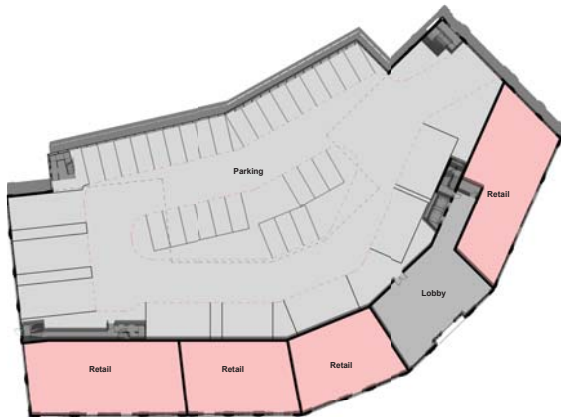
	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE



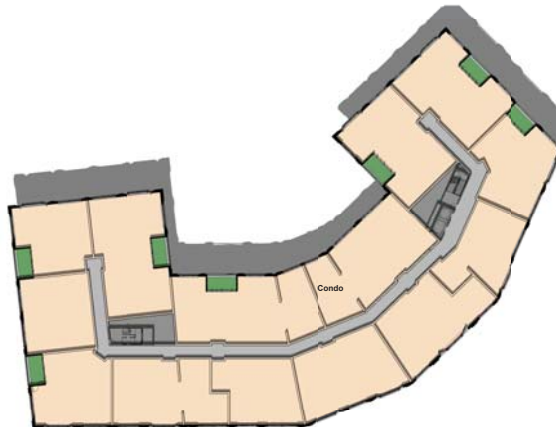
1 B2 - LEVEL 0
1/32" = 1'-0"



3 B2 - LEVEL 2
1/32" = 1'-0"



2 B2 - LEVEL 1
1/32" = 1'-0"

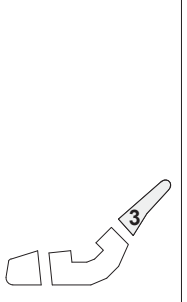


4 B2 - LEVEL 3-5
1/32" = 1'-0"



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PROJECT TEAM:



SEAL / SIGNATURE

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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

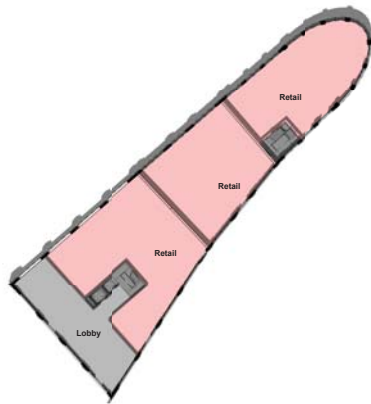
SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

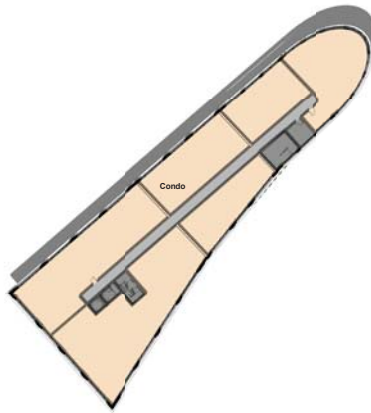
SCALE: As indicated
DATE ISSUED: 05/23/22
PROJECT NO: 4979.00
DRAWN BY: Author
CHECKED BY: Checker

SHEET TITLE:
**BUILDING 3
AREA PLANS**

A - 103



1 B3 - LEVEL 1
1/32" = 1'-0"



2 B3 - LEVEL 2-5
1/32" = 1'-0"

GROSS AREA CALCULATIONS

B3 - LEVEL 1	
Back of House	514 SF
Lobby	1,861 SF
Retail	8,829 SF
11,203 SF	
B3 - LEVEL 2	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
B3 - LEVEL 3	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
B3 - LEVEL 4	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
B3 - LEVEL 5	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
GRAND TOTAL	56,017 SF

AREA LEGEND

	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE



1 B1 - East Elevation
3/32" = 1'-0"



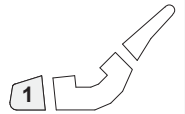
2 B1 - South Elevation
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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PROJECT TEAM:



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PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE As indicated

DATE ISSUED 05/23/22

PROJECT NO 4979.00

DRAWN BY Author

CHECKED BY Checker

SHEET TITLE:

**BUILDING 1
ELEVATION**

A - 201



1 B1-West Elevation
3/32" = 1'-0"



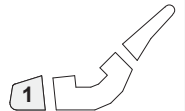
2 B1-North Elevation
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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PROJECT TEAM:



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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE As indicated

DATE ISSUED 05/23/22

PROJECT NO 4979.00

DRAWN BY Author

CHECKED BY Checker

SHEET TITLE:

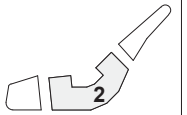
**BUILDING 1
ELEVATION**

A - 202



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PROJECT TEAM:



SEAL / SIGNATURE

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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE As indicated

DATE ISSUED 05/23/22

PROJECT NO 4979.00

DRAWN BY Author

CHECKED BY Checker

SHEET TITLE:

**BUILDING 2
ELEVATION**

A - 203

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



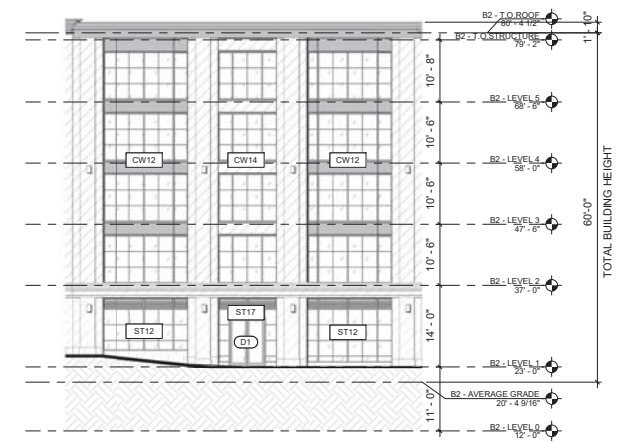
1 B2 - North Elevation
3/32" = 1'-0"



2 B2 - East Elevation 1
3/32" = 1'-0"



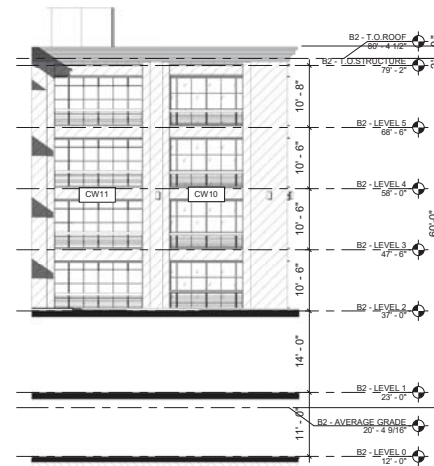
3 B2 - East Elevation 2
3/32" = 1'-0"



4 B2 - South-East Elevation 1
3/32" = 1'-0"



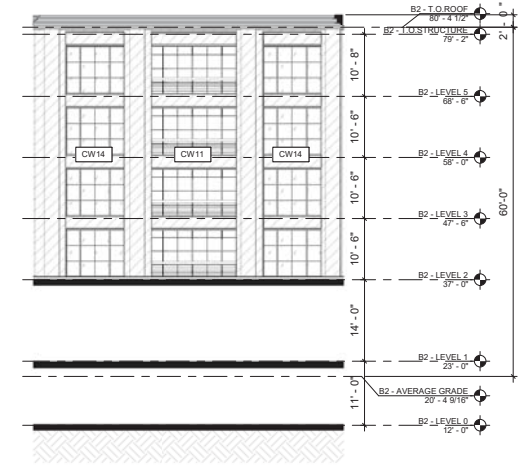
1 B2 - South-East Elevation 2
3/32" = 1'-0"



3 B2 - North Elevation 2
3/32" = 1'-0"



2 B2 - South Elevation
3/32" = 1'-0"



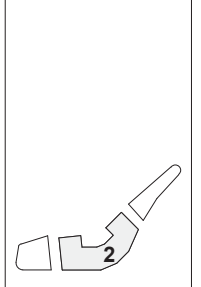
4 B2 - South-West Elevation 2
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



200 HIGH ST. BOSTON, MA 02110
857.300.2610 | SGA-ARCH.COM

PROJECT TEAM:



SEAL / SIGNATURE

© Spagnolo Gissness & Associates, Inc.
05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

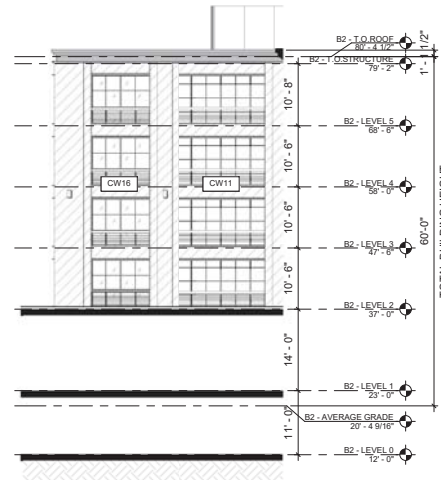
SCALE As indicated
DATE ISSUED 05/23/22
PROJECT NO 4979.00
DRAWN BY Author
CHECKED BY Checker

SHEET TITLE:
BUILDING 2 ELEVATION

A - 204

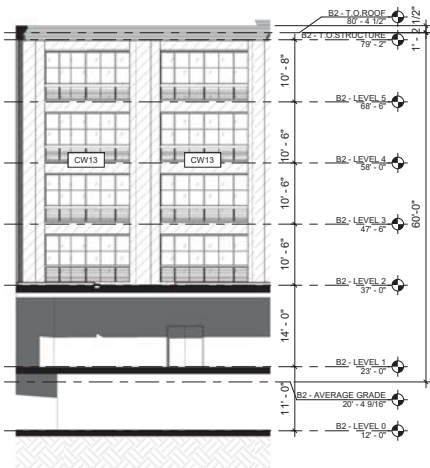


1 B2 - West Elevation 1
3/32" = 1'-0"

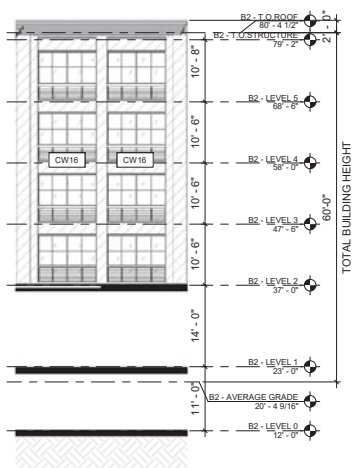


2 B2 - South Elevation 2
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



3 B2 - West Elevation 2
3/32" = 1'-0"



4 B2 - South West Elevation 1
3/32" = 1'-0"

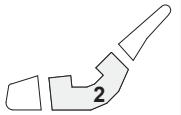


5 B2 - North-West Elevation
3/32" = 1'-0"



200 HIGH ST. BOSTON, MA 02110
857.300.2610 | SGA-ARCH.COM

PROJECT TEAM:



SEAL / SIGNATURE

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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE As indicated

DATE ISSUED 05/23/22

PROJECT NO 4979.00

DRAWN BY Author

CHECKED BY Checker

SHEET TITLE:

**BUILDING 2
ELEVATION**

A - 205



200 HIGH ST. BOSTON, MA 02110
857.300.2610 | SGA-ARCH.COM

PROJECT TEAM:

SEAL / SIGNATURE

© Spagnolo Giness & Associates, Inc.
05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE As indicated

DATE ISSUED 05/23/22

PROJECT NO 4979.00

DRAWN BY Author

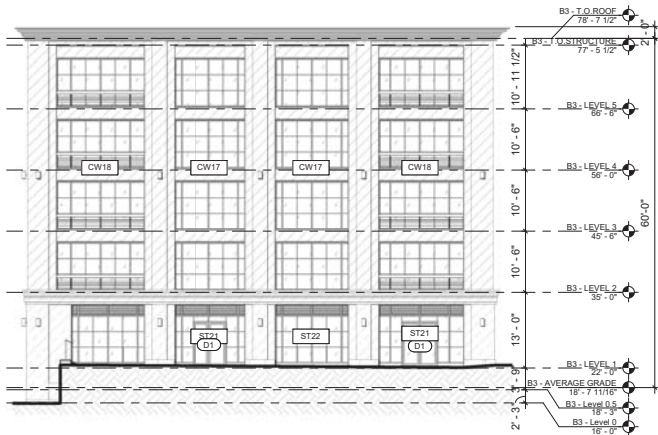
CHECKED BY Checker

SHEET TITLE:

**BUILDING 3
ELEVATION**

A - 206

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



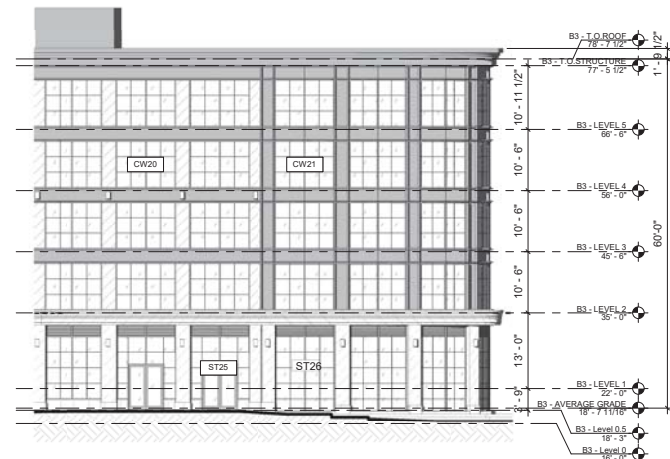
1 B3 - South Elevation
3/32" = 1'-0"



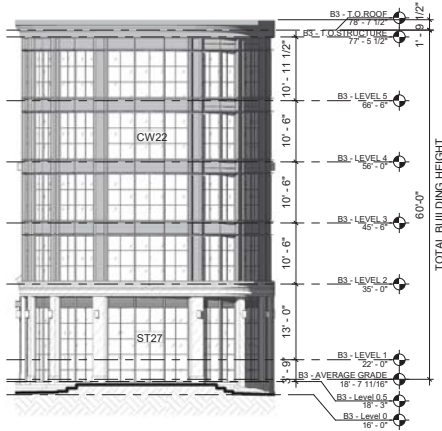
2 B3 - East Elevation 1
3/32" = 1'-0"



3 B3 - East Elevation 2
3/32" = 1'-0"



4 B3 - East Elevation 3
3/32" = 1'-0"



1 B3 - North Elevation
3/32" = 1'-0"



2 B3 - West Elevation
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



200 HIGH ST. BOSTON, MA 02110
857.300.2610 | SGA-ARCH.COM

PROJECT TEAM:

SEAL / SIGNATURE

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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE As indicated

DATE ISSUED 05/23/22

PROJECT NO 4979.00

DRAWN BY Author

CHECKED BY Checker

SHEET TITLE:

**BUILDING 3
ELEVATION**

A - 207



200 HIGH ST. BOSTON, MA 02110
857.300.2610 | SGA-ARCH.COM

PROJECT TEAM:

© Spagnolo Gissness & Associates, Inc.
05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

SEAL / SIGNATURE

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE As indicated
DATE ISSUED 05/23/22
PROJECT NO 4979.00
DRAWN BY Author
CHECKED BY Checker

SHEET TITLE:

GLAZING STUDY

A - 208



1 B1 Unfolded Elevation Deer Street And Maplewood Avenue
1/16" = 1'-0"

Facade Glazing		
Facade	Glazing	Percentage
8884.76 SF	4059.69 SF	45.69%
Shopfront Facade		
Facade	Glazing	Percentage
3228.43 SF	2411.33 SF	74.69%



2 B2 Unfolded Elevation Russel Street and Deer Street
1/16" = 1'-0"

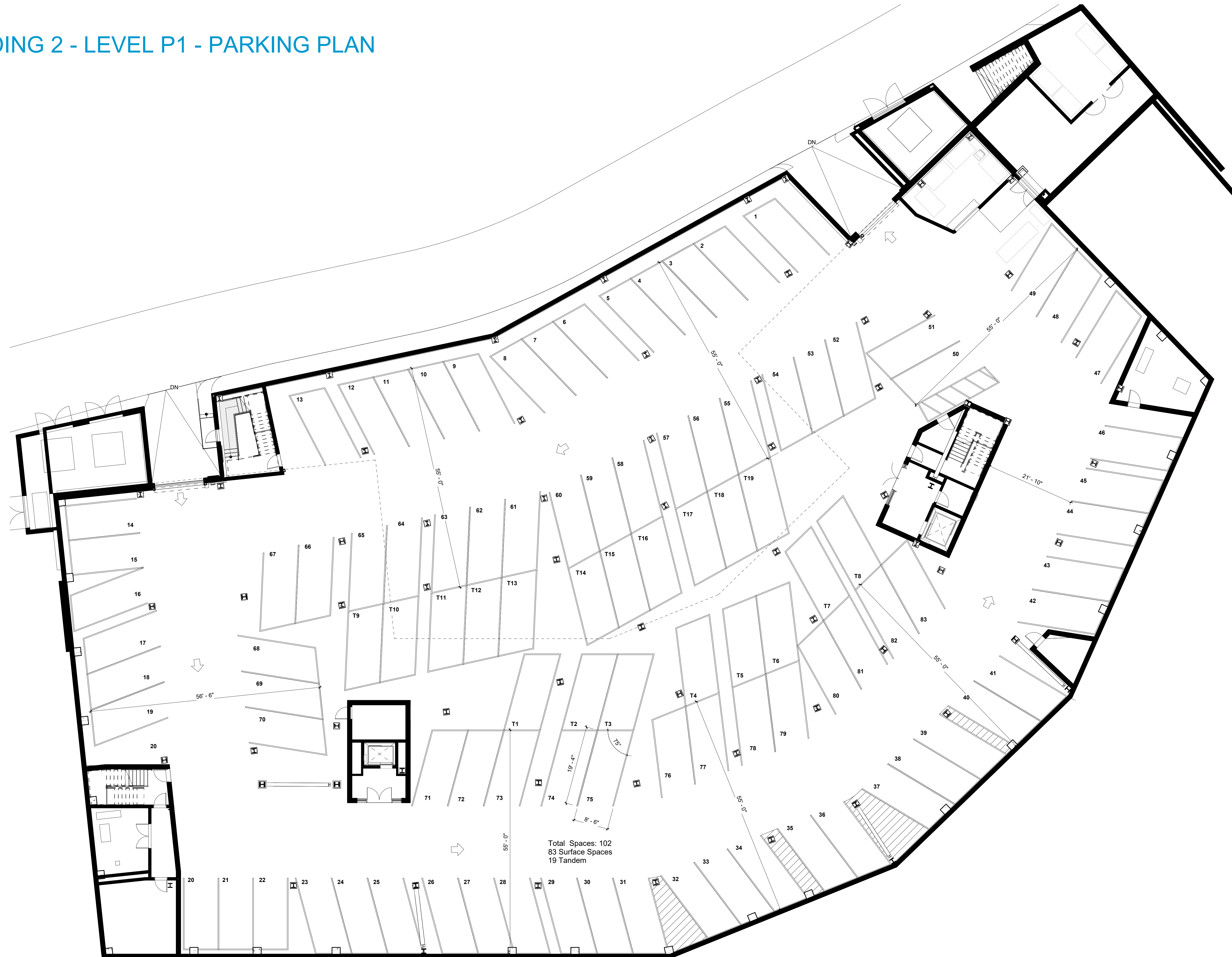
Facade Glazing		
Facade	Glazing	Percentage
16269.4 SF	7016.41 SF	43.13%
Shopfront Facade		
Facade	Glazing	Percentage
4171.77 SF	3041.62 SF	72.91%



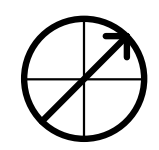
3 B3 Unfolded Elevation Russel Street And Green Street
1/16" = 1'-0"

Facade Glazing		
Facade	Glazing	Percentage
13590.1 SF	6313.03 SF	46.45%
Shopfront Facade		
Facade	Glazing	Percentage
3892.94 SF	2769.66 SF	71.15%

BUILDING 2 - LEVEL P1 - PARKING PLAN



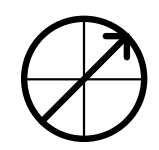
Total Spaces: 102
83 Surface Spaces
19 Tandem



BUILDING 2 - LEVEL 1 - PARKING PLAN



Total Spaces: 84
25 Surface Spaces
53 Stacker Spaces
6 Tandem





1075 Main Street, Suite 410
Waltham, MA 02451
617.350.5040

August 21, 2024

Phyllis Eldridge, Chair
Zoning Board of Adjustment
City of Portsmouth
1 Junkins Ave
Portsmouth, NH 03801

Re: *Russell Street Development*
2 Russell Street
Parking Variance Request

Chairperson Eldridge:

The purpose of this letter is to support a variance request for the proposed 2 Russel Street Project. The variance request is related to adjustments to, and interpretation of zoning required parking geometrics. It is my professional opinion that the parking system meets or exceeds the intention of zoning geometrics and acceptable parking design practice for the project's needs.

The Russell Street Development is a mixed-use development designed to provide 186 structured parking spaces within two levels of structured parking. This exceeds the approved 180 spaces by conditional use permit. The parking spaces will be used by residents of the development and a valet operator currently operating parking across the street. There will be no public self-parking. There will be traditional parking spaces, tandem spaces, and semi-automated puzzle parking used by the valet operator.

Port Harbor Land, LLC (Owner) has retained Walker Consultants (Walker) to assist with a request for a variance to the parking space design requirements in *Section 10.1114.20 - Stall Layout of the City of Portsmouth Zoning Ordinance*. Our approach is to compare the "comfort" as defined by Level of Service (LOS) of the allowed zoning geometrics compared to the provided LOS by the design.

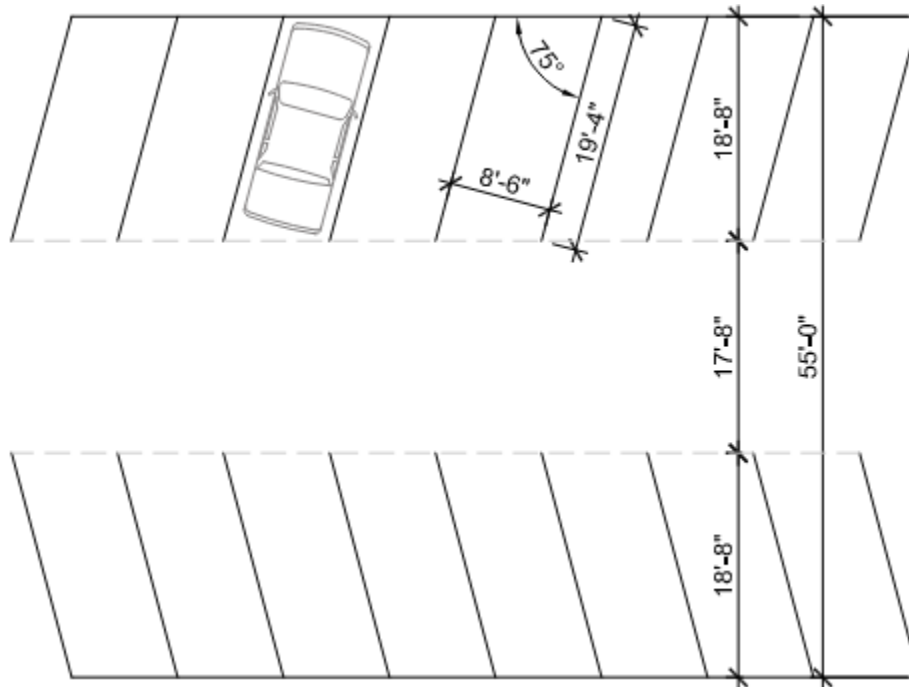
Walker and the parking industry utilize a Level of Service (LOS) approach, grading various aspects of parking on an A-D, F scale. LOS is defined and outlined in Chrest, Smith, et al. *Parking Structures: Planning, Design, Construction, Maintenance & Repair* (3rd Edition) Kluwer. Generally described, LOS A is the most generous grade often used for retail, medical office buildings and other high turnover environments with less familiar drivers. LOS D is a grade given to the tightest allowable metrics and is often used for residential, office, and other parking environments with regular drivers who learn the nuances of the parking facility in question. LOS F is a failing grade and not recommended. In addition to indicating comfort, LOS can be used to communicate and compare the equivalence of different combinations of parking geometrics.

75- Degree Spaces

Within section 10.1114.21 of the ordinance, there are minimum dimensions for 90-degree parking and several typical angled spaces, but 75-degree parking is not listed in the section Table as permitted. It is worth noting that parking design commonly uses 75-degree, 70-degree, and other angles in addition to the 90, 60, and 45-degree listed in the zoning table. The Owner is requesting the use of 75-degree parking to both fit within the building layout and maximize efficiency for the parking. As context, Walker often sees one-way 75-degree parking in this region and is requesting an equivalent LOS 17'-8" drive aisle with the 8'-6" by 19' spaces.

As comparison, Zoning allows for a 22' drive aisle for 90-degree within a parking structure with 19' long spaces. The combination of these dimensions is a "module" (space length + aisle width + space length) of 60'. Walker grades the ninety-degree parking with 8'-6" wide spaces and 60' module at a LOS C. This is adequate for the low turnover, residential users of these spaces. An equivalent LOS C module for 75-degree, 8'-6" wide spaces is 55'. This comparable 75-degree LOS C condition creates a 19'-4" stripe dimension, and a 17'-8" drive aisle. This module also allows for the Zoning compliant 19' x 8'-6" space minimums shown in the Key Table in section 10.1114.21. See Figure 1. Further to this, Walker sees this similar parking condition and LOS C in dozens of designs through-out the region.

Figure 1: 75-degree Parking Layout



Parallel Spaces

There are four parallel spaces on the First Floor. All spaces, comply with the 8'-6" width as noted in Zoning section 10.1114.21. All spaces, but one, comply with the 20' length minimum and the drive aisle is less than the required 14'. The Owner is requesting a variance for parallel space length and drive aisle width. The four parallel spaces are not traditional parallel spaces where there are multiple spaces in a row, requiring the driver to make the

traditional parallel parking swivel maneuver to park in them. Due to the angles of the building and drive aisles, vehicles can pull straight or back into these parallel spaces, so they behave more like regular parking spaces. The required adjacent aisle width and stall length do not aid the maneuvering vehicles in and out these spaces. In keeping with the equivalent metrics for 75-degree spaces, Walker's LOS C drive aisle for a parallel space is 12'. There is a 12' wide drive aisle at all spaces, except for one where a necessary column reduces the drive aisle down to 10'-6". Again, due to the nature of the parallel parking configuration, this specific location is a travel lane and will not impact parking or the flow of traffic through the garage.

As stated, it is my professional opinion that the designed parking meets the intention of the Zoning Ordinance for parking geometrics and acceptable parking design practice for the project's needs. I remain available to answer any questions in this regard.

Sincerely,



WALKER CONSULTANTS

Arthur G. Stadig, PE



10.1114.20 Stall Layout

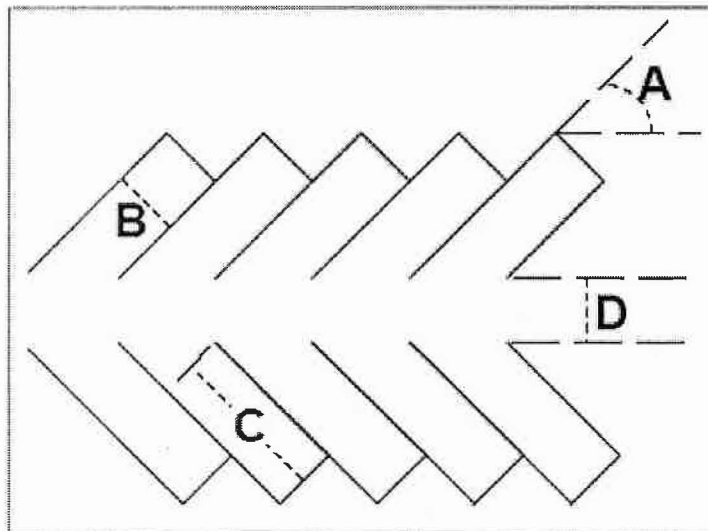
10.1114.21 Parking spaces and **maneuvering aisles** shall be laid out in compliance with the minimum dimensions set forth in the Table of **Off-Street Parking Dimensions**.

Table of Off-Street Parking Dimensions

A Angle of Parking (degrees)	B Width of Parking Space	C Depth of Parking Space	D Width of Maneuvering Aisle *	
			1-way traffic	2-way traffic
0°	8.5'	20'	14'	24'
45°	8.5'	19'	16'	24'
60°	8.5'	19'	18'	24'
90°	8.5'	19'	24'	24'

* The minimum width of a **maneuvering aisle** shall be 22 feet for (a) an aisle for 2-way traffic providing access to fewer than 7 parking spaces, or (b) an aisle in a parking structure for 2-way traffic, or (c) an aisle in a parking structure for 1-way traffic with 90-degree parking.

Key to Table of Off-Street Parking Dimensions



Emily S. Garvin
Planner



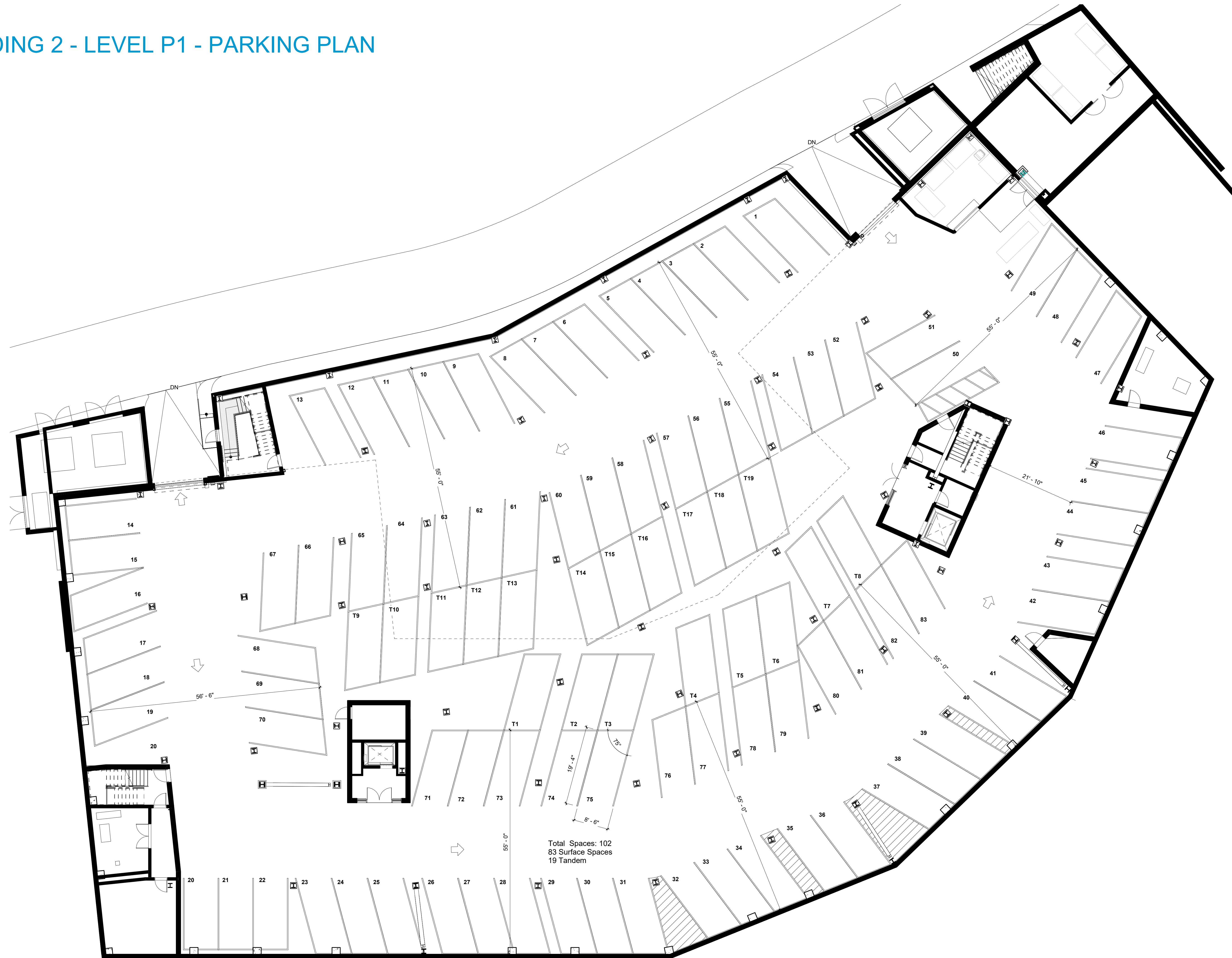
WALKER
CONSULTANTS

20 Park Plaza, Suite 1202 | Boston, MA 02116

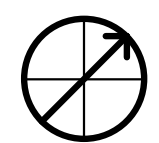
D 857.287.2723 | O 617.350.5040

www.walkerconsultants.com | [Blog](#) | [Facebook](#) | [LinkedIn](#) | [Twitter](#)

BUILDING 2 - LEVEL P1 - PARKING PLAN



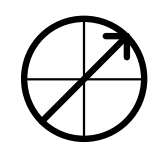
Total Spaces: 102
83 Surface Spaces
19 Tandem



BUILDING 2 - LEVEL 1 - PARKING PLAN



Total Spaces: 84
25 Surface Spaces
53 Stacker Spaces
6 Tandem





AC Hotel Portsmouth
Downtown/Waterfront

Green St

2 Russell St

Green St

jessica todd

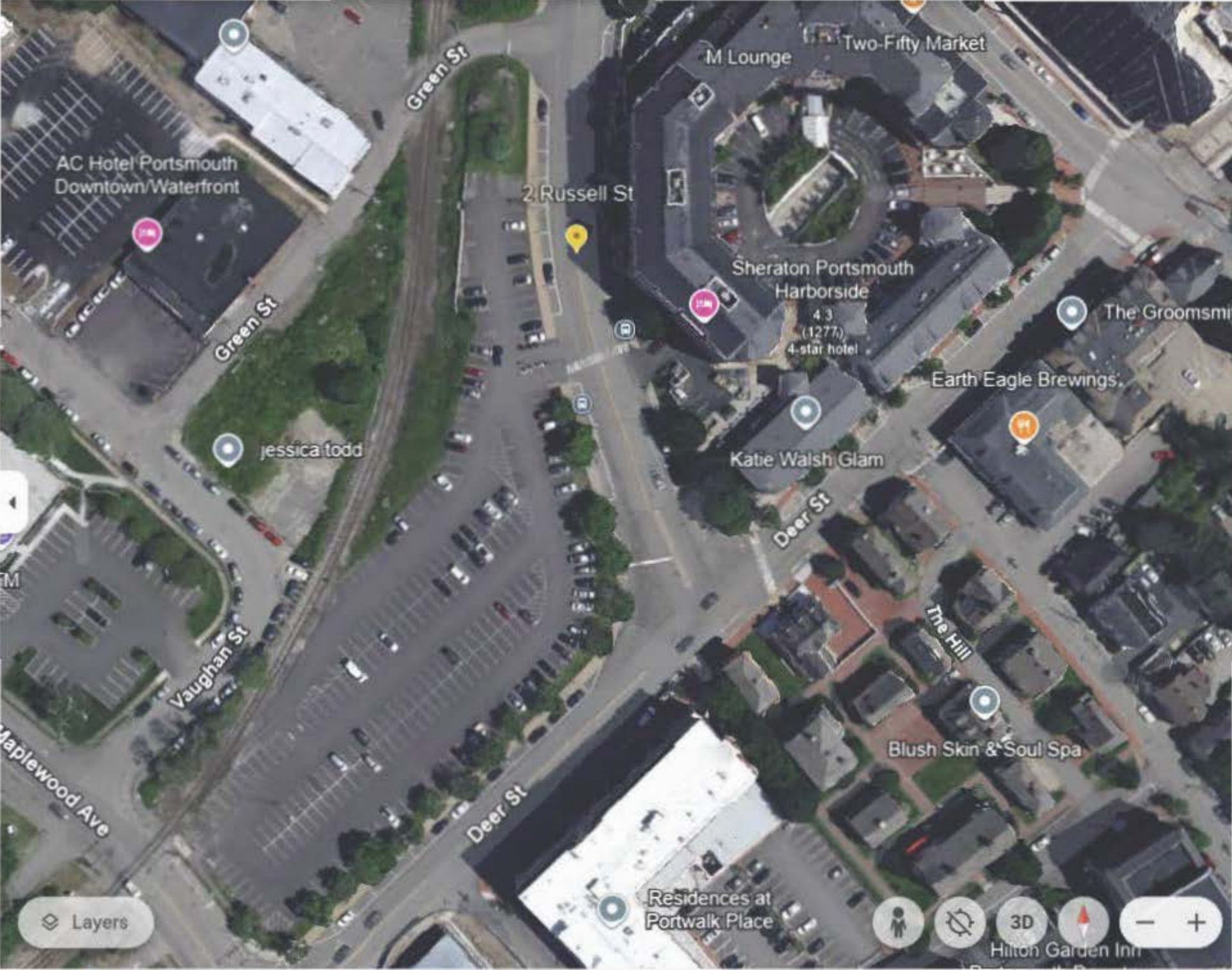
Vaughan St

Deer St

Maplewood Ave

Residences at
Portwalk Place

Layers



AC Hotel Portsmouth
Downtown/Waterfront

Green St

M Lounge

Two-Fifty Market

2 Russell St

Sheraton Portsmouth
Harborside

4.3
(1277)
4-star hotel

The Grooms

Green St

Earth Eagle Brewings

jessica todd

Katie Walsh Glam

Deer St

Vaughan St

The Hill

Blush Skin & Soul Spa

Maplewood Ave

Deer St

Residences at
Portwalk Place

Hilton Garden Inn

September 18, 2024

Phyllis Eldridge, Chair
Zoning Board of Adjustment
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

Re: *2 Russell Street Development
Parking Variance Request*


Dear Chairperson Eldridge,

On behalf of Port Harbor Land LLC, the Owner of the property located at 2 Russell Street, City of Portsmouth, County of Rockingham, State of New Hampshire, Attorney John E. Lyons, Jr. is fully authorized to file the Land Use Application for Parking Variance being submitted herewith.

Thank you.

PORT HARBOR LAND LLC

9-18-24
Date:


By: Ryan D. Plummer,
Duly Authorized Agent

City of Portsmouth, New Hampshire

Department of Public Works Building Additions

ISSUED FOR TAC WORK SESSION
(NOT FOR CONSTRUCTION)

ISSUED: OCTOBER 1, 2024

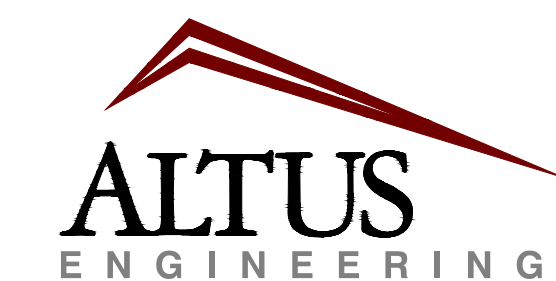
Prepared For:



DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

Prepared By:

Civil Engineer:



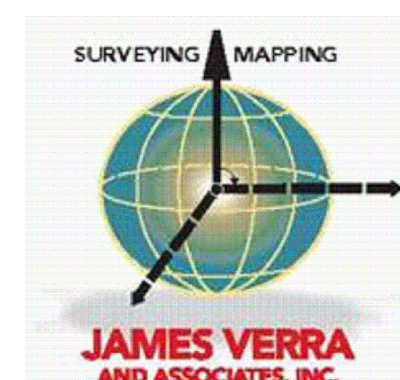
133 Court Street Portsmouth, NH 03801
 (603) 433-2335 www.altus-eng.com

Construction Manager:



10 Main Street
 Newfields, N.H. 03856
 Phone: (603) 431-6664

Surveyor:

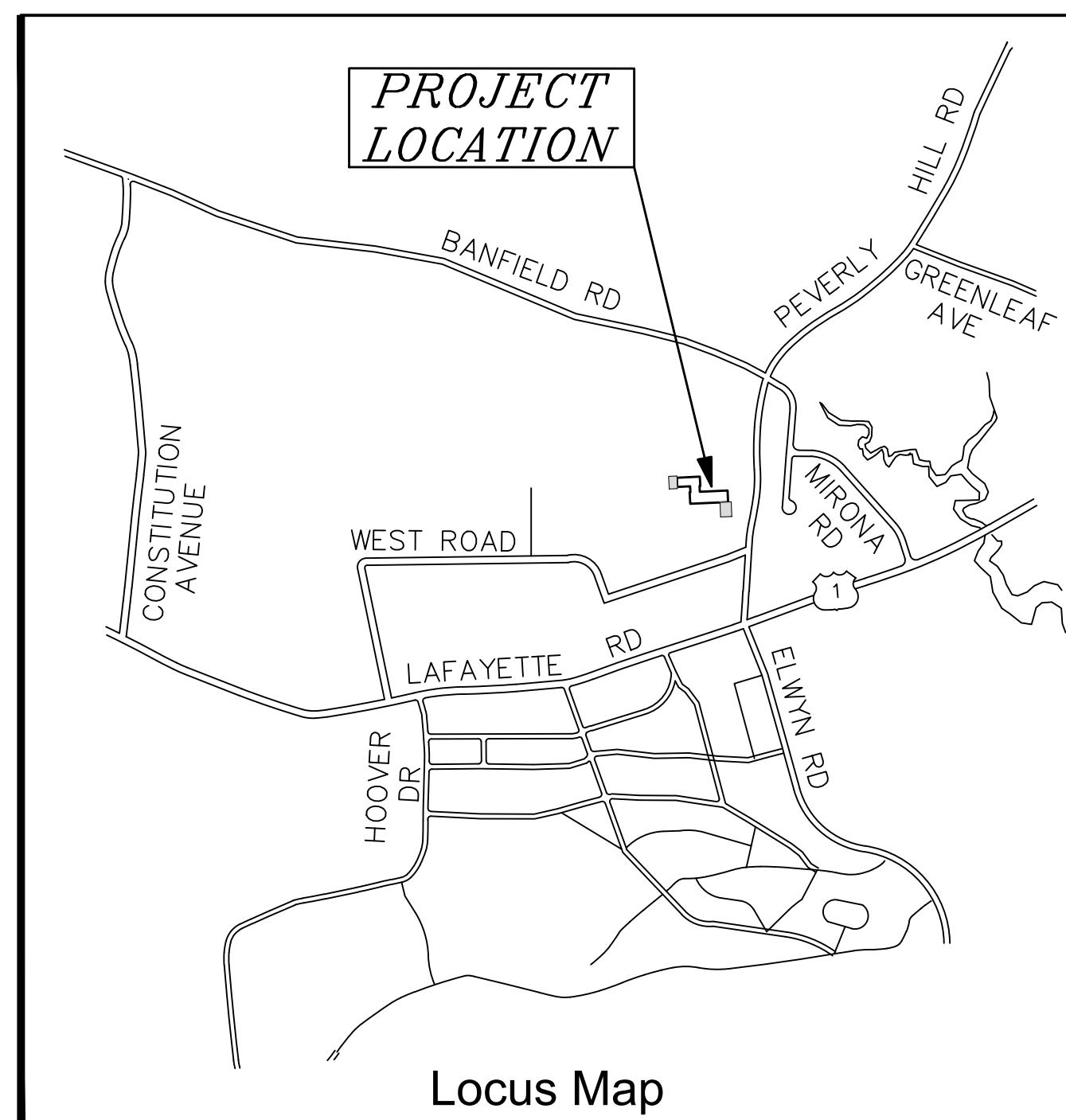


101 SHATTUCK WAY - SUITE 8
 NEWINGTON, N.H. 03801 - 7876
 603-436-3557

Architect:

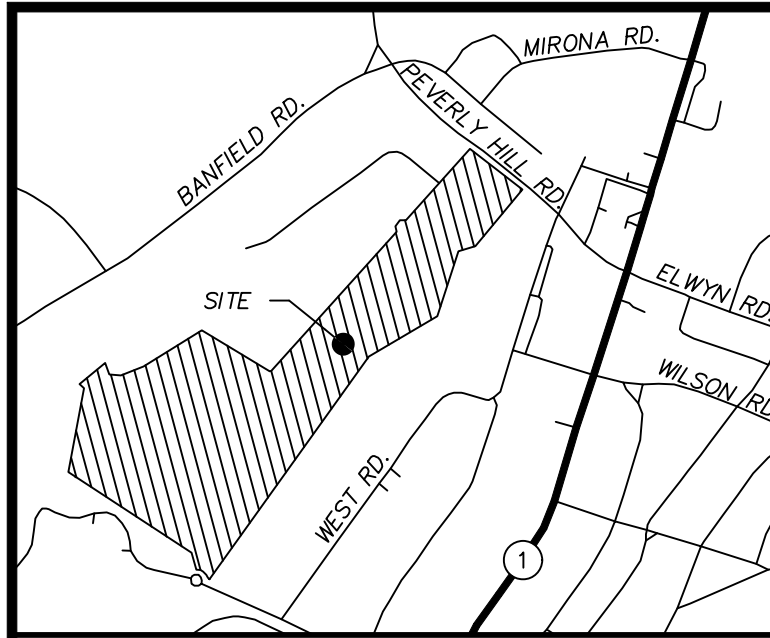


WARRENSTREET ARCHITECTS
 PLANNERS, ARCHITECTS, LANDSCAPE ARCHITECTS, INTERIOR DESIGNERS
 4 CRESCENT STREET, UNIT 2, CONCORD, NEW HAMPSHIRE 03303
 40 STARK STREET, MANCHESTER, NEW HAMPSHIRE 03103
 P. (603) 225-0640



SHEET INDEX

No.	Title	Date
1	Cover Sheet	10/01/24
2	S-1 Overall Plan (by JVA)	8/04/23
3	S-2 Limited Existing Conditions Site Plan (by JVA)	8/04/23
4	C-1 Demolition Plan	10/01/24
5	C-2 Overall Site Plan	10/01/24
6	C-3 Detailed Grading, Drainage, and Erosion Control Plan	10/01/24
7	C-4 Utilities Plan	10/01/24
8	T-1 Truck Turning Movements	10/01/24
Architectural Plans (Warren Street)		
9	A111 Water Department Floor Plans	09/20/24
10	A112 Maintenance Department Floor Plans	09/20/24
11	A201 Water Department Exterior Elevations	09/20/24
12	A202 Maintenance Department Exterior Elevations	09/20/24



LOCUS (N.T.S.)

REFERENCE PLAN:

- "LOT LINE REVISION PLAN, CAMPUS DRIVE, BANFIELD & PEVERLY HILL ROADS, PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCELS 254-8, 266-4, 266-5, 266-6" DATED 10/24/2016. PREPARED FOR: THE CITY OF PORTSMOUTH, N.H. & FOUNDATION FOR SEACOAST HEALTH & PREPARED BY JAMES VERRA AND ASSOCIATES, INC. R.C.C.D. PLAN #039897.

APN 252-2-10
JMK REALTY LLC
PO BOX 971
PORTSMOUTH, NH 03802
3656/744

APN 252-2-11
HEG WEST ROAD LLC
2 INTERNATIONAL WAY
LAWRENCE, MA 01843
5835/67

APN 252-2-12
ONE HUNDRED WEST LLC
100 WEST ROAD
PORTSMOUTH, NH 03801
3589/1427

APN 252-2-14
LITCHFIELD PORTSMOUTH LLC
EATON PARTNERS INC
175 CANAL ST STE 401
MANCHESTER, NH 03101
4800/1185

APN 252-3
LIGHTHOUSE MANUFACTURING LLC
125 SOUTH SATELLITE RD
SOUTH WINDSOR, CT 06074
5229/2453

APN 254-7
PIKE INDUSTRIES INC
3 EASTGATE PARK RD
BELMONT, NH 03220
3192/1085

APN 253-4
DPH REALTY LLC
30 MIRONA ROAD
PORTSMOUTH, NH 03801
4258/2635

APN 253-5
GERALD REYNOLDS LLC
164 REASON ROAD
MILTON, NH 03851
6395/1948

ABUTTERS

APN 267-22
CIRRUS SYSTEMS INC
200 WEST ROAD
PORTSMOUTH, NH 03801
6134/2715

APN 267-20
AGNL PANE LLC
ANGELO GORDON & CO LP
245 PARK AVE 24TH FLOOR
NEW YORK, NY 10167
6050/101

APN 267-19
TWO HUNDRED SEVENTY WEST RD CONDOS
270 WEST ROAD
PORTSMOUTH, NH 03801
2649/2603

APN 267-17
THREE HUNDRED SEVENTY WEST RD CONDOS
300 WEST ROAD
PORTSMOUTH, NH 03801
2725/2408

APN 267-23
ENGEL FAMILY TRUST
ROBERT ENGEL TRUSTEE
PO BOX 6070
MANCHESTER, NH 03108
3459/1842

APN 273-5
BELLWOOD ASSOCIATES LTD PARTNERSHIP
FESTIVAL FUN PARK PROPERTY TAX SERVICE
PO BOX 543185
DALLAS, TX 75354
3471/2972

APN 273-7-1
FESTIVAL FUN PARKS LLC
PROPERTY TAX SERVICE CO
PO BOX 543185
DALLAS, TX 75354
3471/2972

APN 266-4
CITY OF PORTSMOUTH
1 JUNKINS AVE
PORTSMOUTH, NH 03801
6390/2501

APN 266-5
HOPE FOR TOMORROW FOUNDATION
315 BANFIELD ROAD
PORTSMOUTH, NH 03801
5783/602

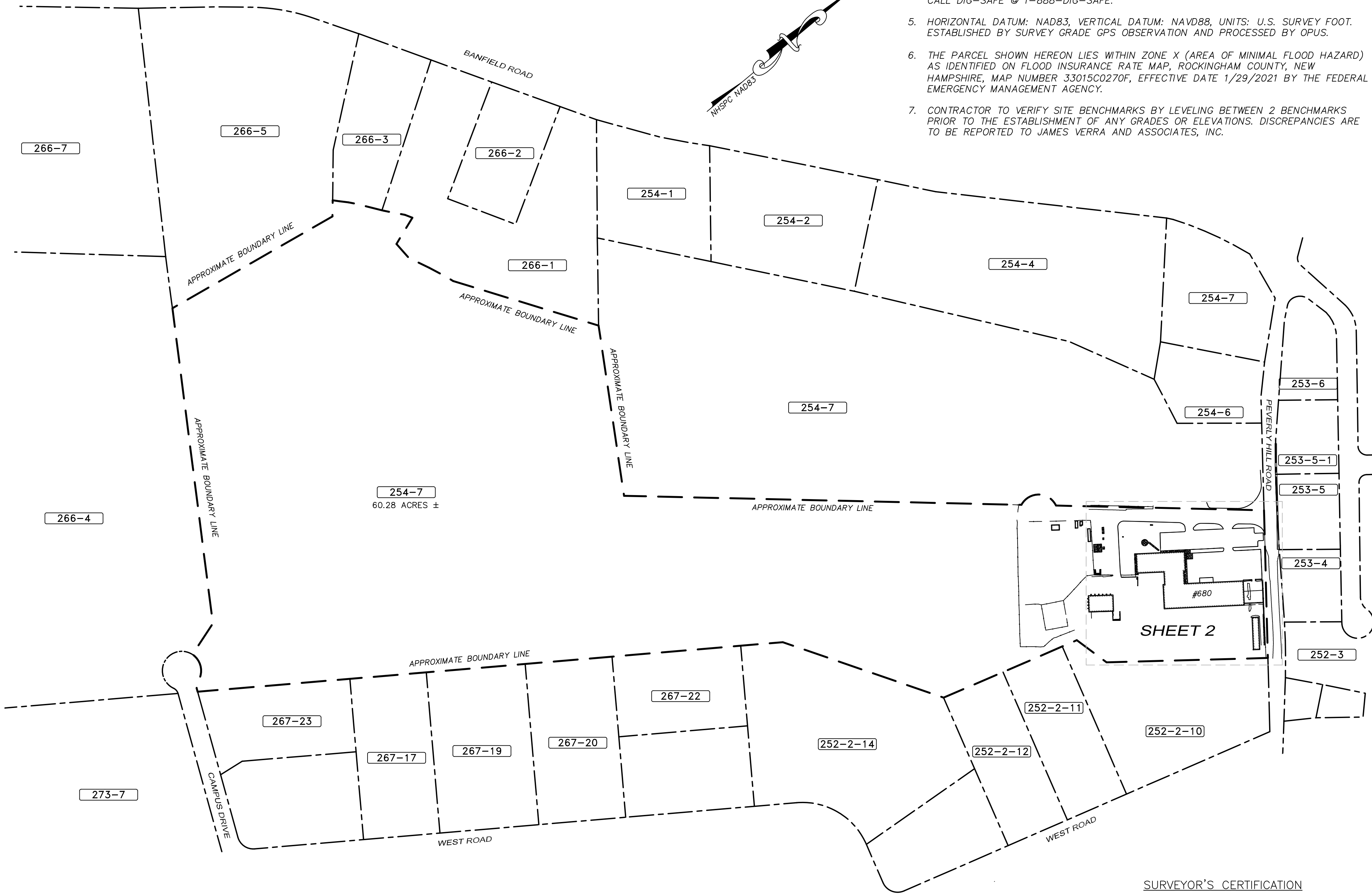
APN 266-3
ANDREW R. CROTEAU
CAROL ANN CROTEAU
285 BANFIELD ROAD
PORTSMOUTH, NH 03801
1843/336

APN 266-1
RCCI CONSTRUCTION CO INC
225 BANFIELD ROAD
PORTSMOUTH, NH 03801
2527/322

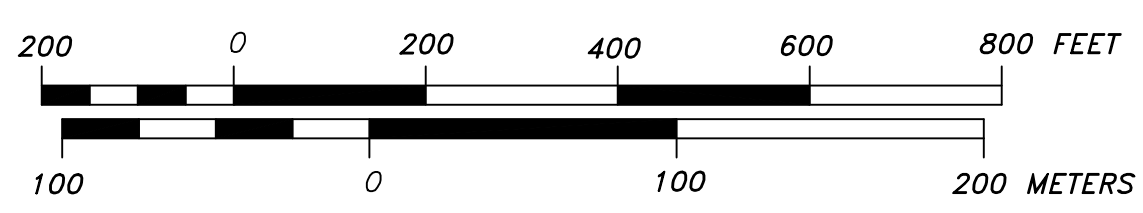
NOTES:

- OWNER OF RECORD.....CITY OF PORTSMOUTH
ADDRESS.....1 JUNKINS AVE PORTSMOUTH, NH 03801
DEED REFERENCE.....5819 / 2310
TAX SHEET / LOT.....254 / 8
PARCEL AREA.....60.28 ACRES ±
- ZONED:MUNICIPAL DISTRICT (M)

LOTS AND BUILDINGS IN THE MUNICIPAL DISTRICT ARE EXEMPT FROM ALL DIMENSIONAL AND INTENSITY REGULATIONS.
- THE INTENT OF THIS PLAN IS TO PROVIDE THE LIMITED EXISTING CONDITIONS OF THE SUBJECT PARCEL IN THE AREA(S) OF THE PROPOSED ADDITIONS TO PROVIDE INFORMATION FOR SITE DESIGN AND ENGINEERING. ONLY AREAS AROUND THE PROPOSED ADDITIONS WHERE FIELD LOCATED AND UPDATED. THE OVERALL BOUNDARY INFORMATION WAS TAKEN FROM THE REFERENCE PLAN.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD83, VERTICAL DATUM: NAVD88, UNITS: U.S. SURVEY FOOT. ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND PROCESSED BY OPUS.
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0270F, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.



- LEGEND:**
- IRON ROD
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - CONCRETE
 - HVAC UNIT
 - ☆ GROUND LIGHT
 - ⊠ ELECTRICAL/UTILITY BOX
 - UTILITY POLE
 - ⊗ UTILITY POLE W/TRANSFORMER
 - GUY
 - OHV— OVERHEAD WIRES
 - UTILITY POLE WITH ARM & LIGHT
 - ⊠ ELECTRIC METER
 - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - 101-03 TAX SHEET / LOT NO.
 - EOP EDGE OF PAVEMENT
 - LA LANDSCAPED AREA
 - CATCH BASIN
 - ⊙ SEWER MANHOLE
 - S— UNDERGROUND SEWER
 - D— UNDERGROUND DRAIN
 - C— UNDERGROUND COMMUNICATION
 - G— UNDERGROUND GAS
 - W— UNDERGROUND WATER
 - P— PINK PAINT MARKINGS
 - ⊠ IRRIGATION BOX
 - ⊕ HYDRANT
 - ⊠ FIRE CONNECTION
 - ⊕ MANHOLE
 - SIGN
 - ⊕ DECIDUOUS TREE
 - ☆ CONIFEROUS TREE
 - ⊕ TEMPORARY BENCHMARK
 - ⊕ STRUB
 - ⊕ BORING
 - VCG VERTICAL GRANITE CURB
 - SCG SLOPED GRANITE CURB
 - ⊠ GAS METER
 - ⊠ WATER VALVE
 - ⊕ GAS VALVE
 - ⊕ BOLLARD
 - 53.5' SPOT ELEVATION
 - X SPOT ELEVATION



**PRELIMINARY
SUBJECT TO CHANGE**

SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTEEN THOUSAND (1:15,000)."

LICENSED LAND SURVEYOR _____ DATE _____

SURVEYOR:
James Verra & Associates, Inc.
LAND SURVEYORS
101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801- 7876
603-436-3557
JOB NO: 23-2023

ENGINEER:
ALTUS ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
ENGINEERING REVIEW

ISSUE DATE:
6/22/2023

REVISIONS	NO.	DESCRIPTION	BY	DATE
1	ADD SEWER INFO	RMF	8/4/23	

DRAWN BY: BJM/RMF
APPROVED BY: RMF
DRAWING FILE: 23-2023_EXCON.DWG

SCALE:
22" x 34" - 1" = 200'
11" x 17" - 1" = 400'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

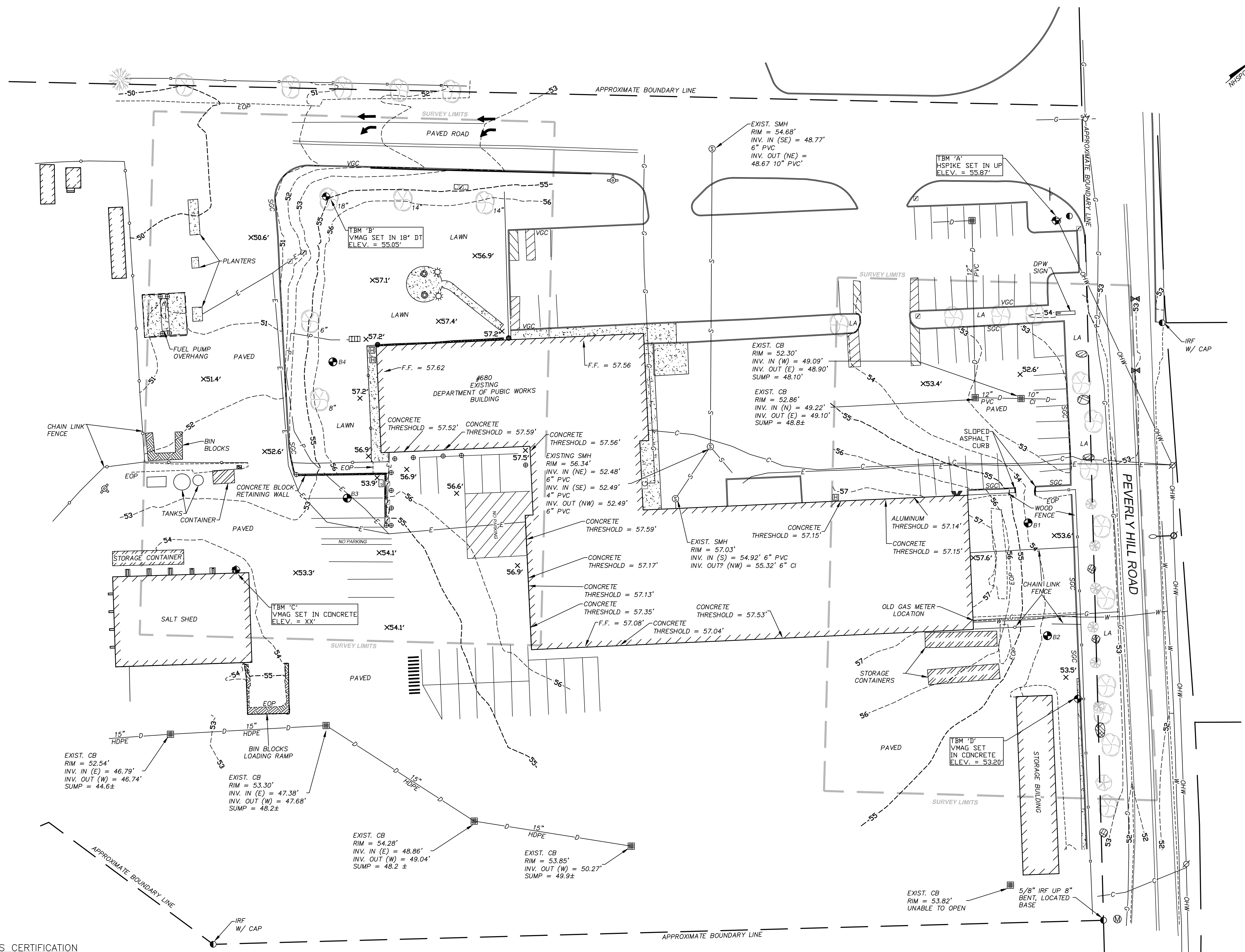
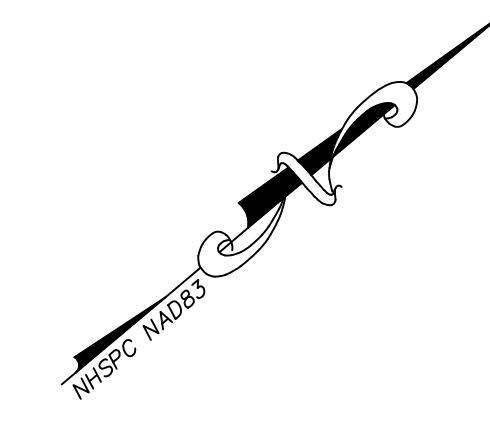
OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVE
PORTSMOUTH, NH 03801

PROJECT:
RPF #30-23
680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:
OVERALL PLAN

SHEET NUMBER:
S-1

ALTUS JOB#



SURVEYOR:
James Verra & Associates, Inc.
 LAND SURVEYORS
 101 SHATTUCK WAY - SUITE 8
 NEWINGTON, N.H. 03801 - 7876
 603-436-3557
 JOB NO: 23-2023

ENGINEER:

 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
ENGINEERING REVIEW
 ISSUE DATE:
6/22/2023

NO.	DESCRIPTION	BY	DATE
1	ADD SEWER INFO	RMF	8/4/23

DRAWN BY: BJM/RMF
 APPROVED BY: RMF
 DRAWING FILE: 23-2023_EXCON.DWG

SCALE:
 22" x 34" - 1" = 30'
 11" x 17" - 1" = 60'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
RPF #30-23
680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:
LIMITED EXISTING CONDITIONS SITE PLAN

SHEET NUMBER:
S-2

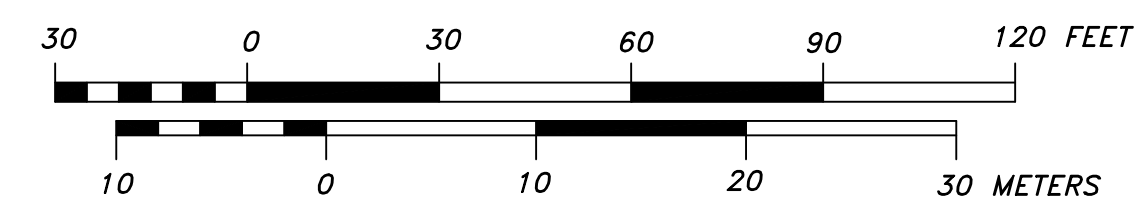
ALTUS JOB #

SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTEEN THOUSAND (1:15,000)."

LICENSED LAND SURVEYOR _____ DATE _____

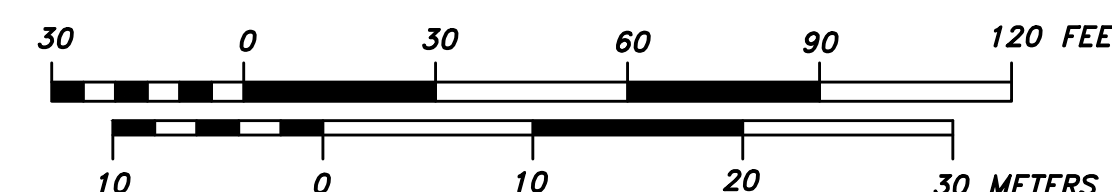
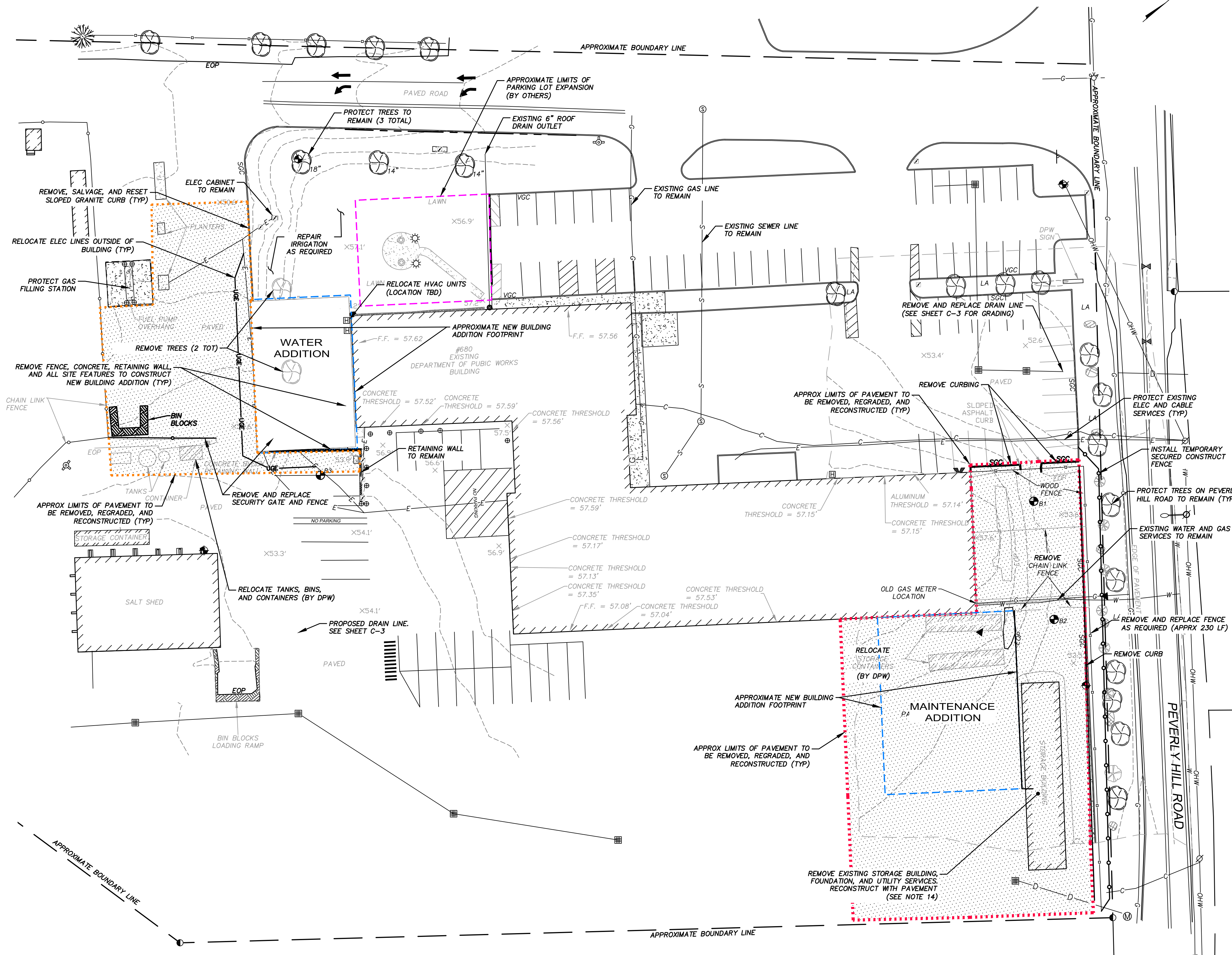
**PRELIMINARY
SUBJECT TO CHANGE**



SEE S-1 FOR LEGEND

DEMOLITION NOTES

- THIS DEMOLITION PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
- CONTRACTOR SHALL SAFELY SECURE THE SITE WITH SECURITY FENCING. FENCING SHALL BE LOCKED DURING NON-WORK HOURS. COORDINATE WITH DPW.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
- ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
- ALL STRUCTURES, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED DEVELOPMENT AREAS AND REPLACED WITH SUITABLE MATERIALS SUITABLE MEETING THE PROJECT SPECIFICATIONS. REFERENCE GEOTECHNICAL REPORT BY SW COLE.
- WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, ETC. SHALL BE ADJUSTED TO FINISH GRADE.
- HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- IN AREAS WHERE CONSTRUCTION IS TO BE ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG THE PROPERTY LINE IN ALL AREAS WHERE SILT FENCING IS NOT OTHERWISE REQUIRED.
- SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO; SILT BARRIERS, STABILIZED CONSTRUCTION SITE EXITS, AND STORM DRAIN INLET PROTECTION.
- ALL DEMOLISHED MATERIALS OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED TO BE SALVAGED BY THE OWNER.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS AND CODES.
- SEE GEOTECHNICAL REPORT FOR SOIL CONDITIONS AT BORING LOCATIONS.
- CONTRACTOR SHALL COORDINATE WITH DPW FOR DEMOLITION OF EXISTING STORAGE BUILDING AND POTENTIAL RELOCATION OF BUILDING.



ENGINEER:

 133 Court Street Portsmouth, NH 03801
 (603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
OCTOBER 1, 2024

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/01/24

DRAWN BY: _____ CDB
 APPROVED BY: _____ EDW
 DRAWING FILE: _____ 5421-SITE.DWG

SCALE:
 22" x 34" - 1" = 30'
 11" x 17" - 1" = 60'

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122
 680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

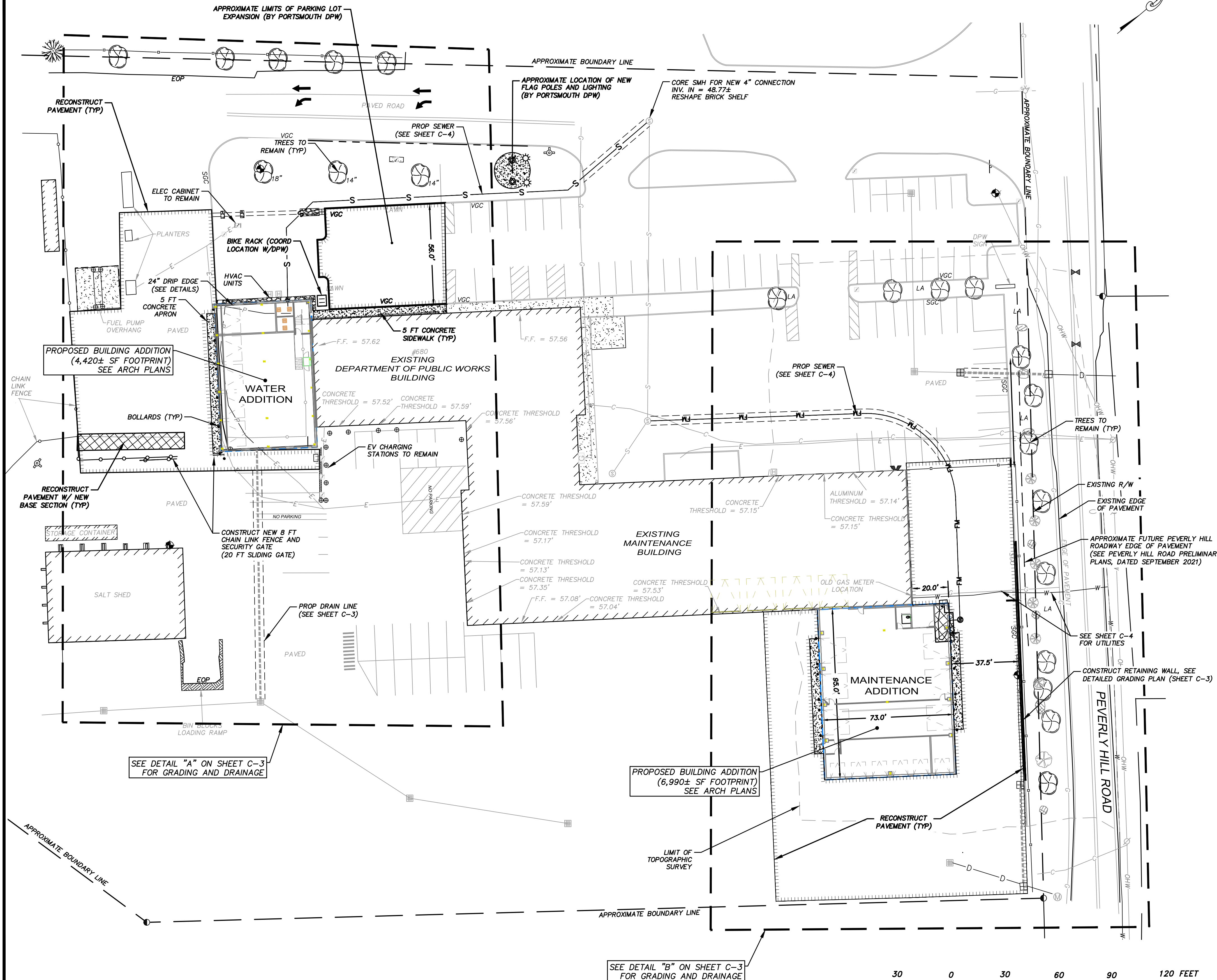
TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C - 1

P5597

SITE NOTES

1. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
2. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
3. THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
5. AREA OF DISTURBANCE IS UNDER 43,560 SF COVERAGE, THEREFORE EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT IS NOT REQUIRED. CONTRACTOR SHALL MANAGE SITE STORMWATER RUNOFF PER CITY OF PORTSMOUTH REQUIREMENTS TO PREVENT SEDIMENT DISCHARGE TO THE MUNICIPAL STORM DRAIN SYSTEM.
6. PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
7. SITEWORK CONTRACTOR SHALL PREPARE A LICENSED LAND SURVEYOR (LLS) STAMPED AS-BUILT SITE PLAN & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.



LEGEND

- SEE SHEET S-1 FOR EXISTING FEATURES
- LIMITS OF NEW PAVEMENT
- CONSTRUCT CONCRETE SIDEWALK/APRON
- PROPOSED FENCE AND GATE

ENGINEER:

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
OCTOBER 1, 2024

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL		CDB	10/01/24

DRAWN BY: _____ CDB
APPROVED BY: _____ EDW
DRAWING FILE: 5421-SITE.DWG

SCALE:
22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801

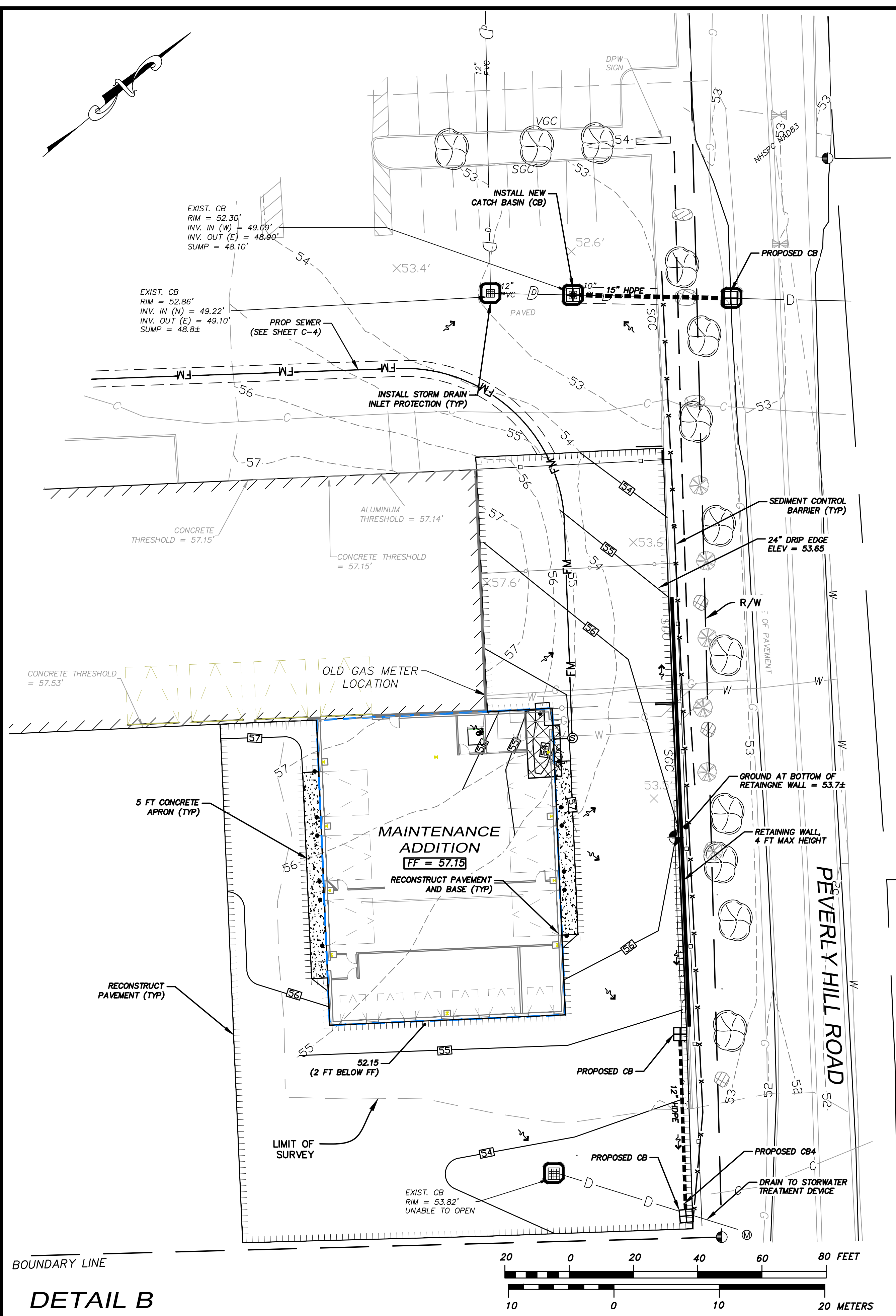
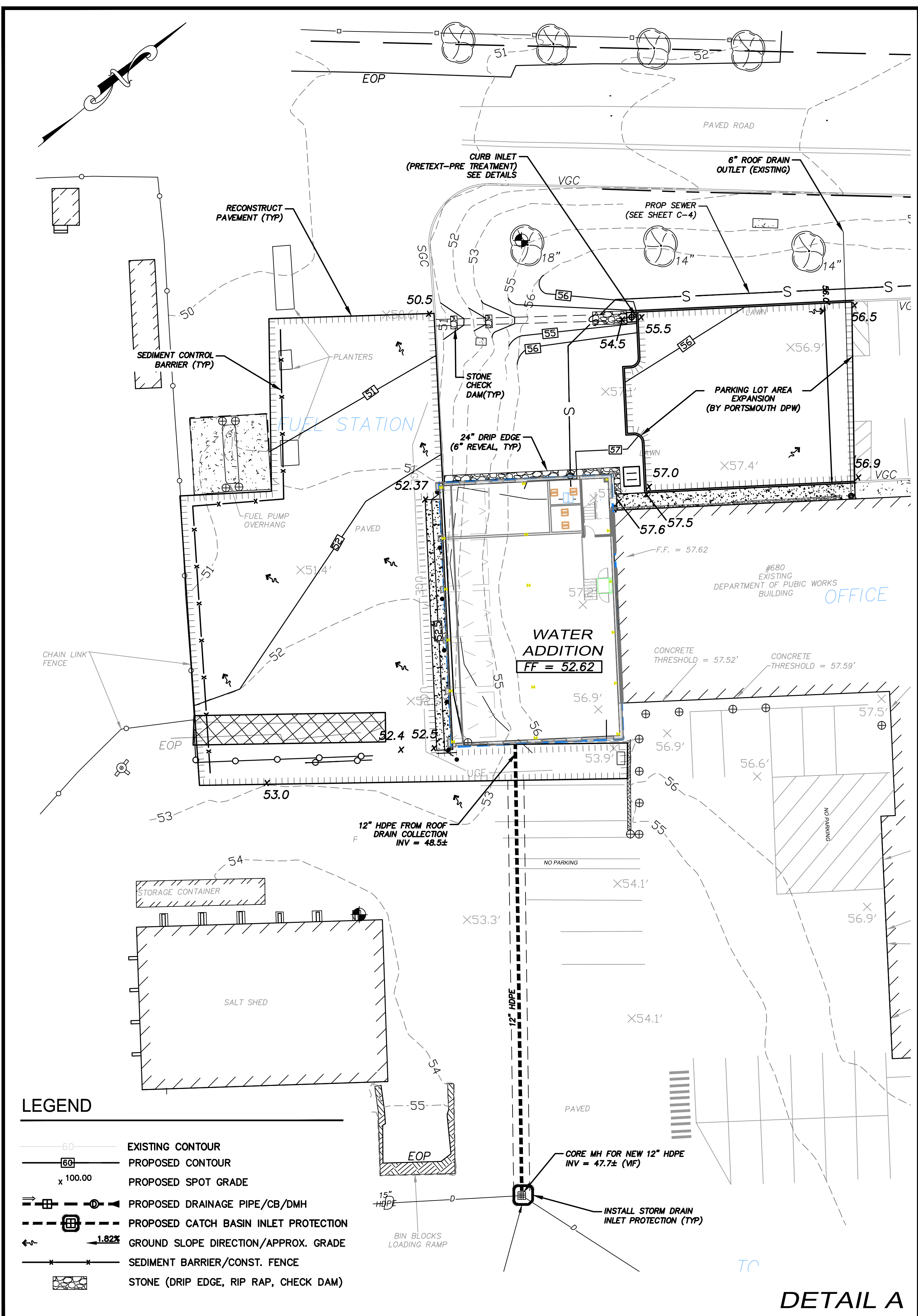
PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
City Prj. #16122

680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C - 2

P5597



ENGINEER:

ALTUS
ENGINEERING

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR:
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OCTOBER 1, 2024

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/01/24

DRAWN BY: _____ CDB
APPROVED BY: _____ EDW
DRAWING FILE: _____ 5421-SITE.DWG

SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
City Prj. #16122

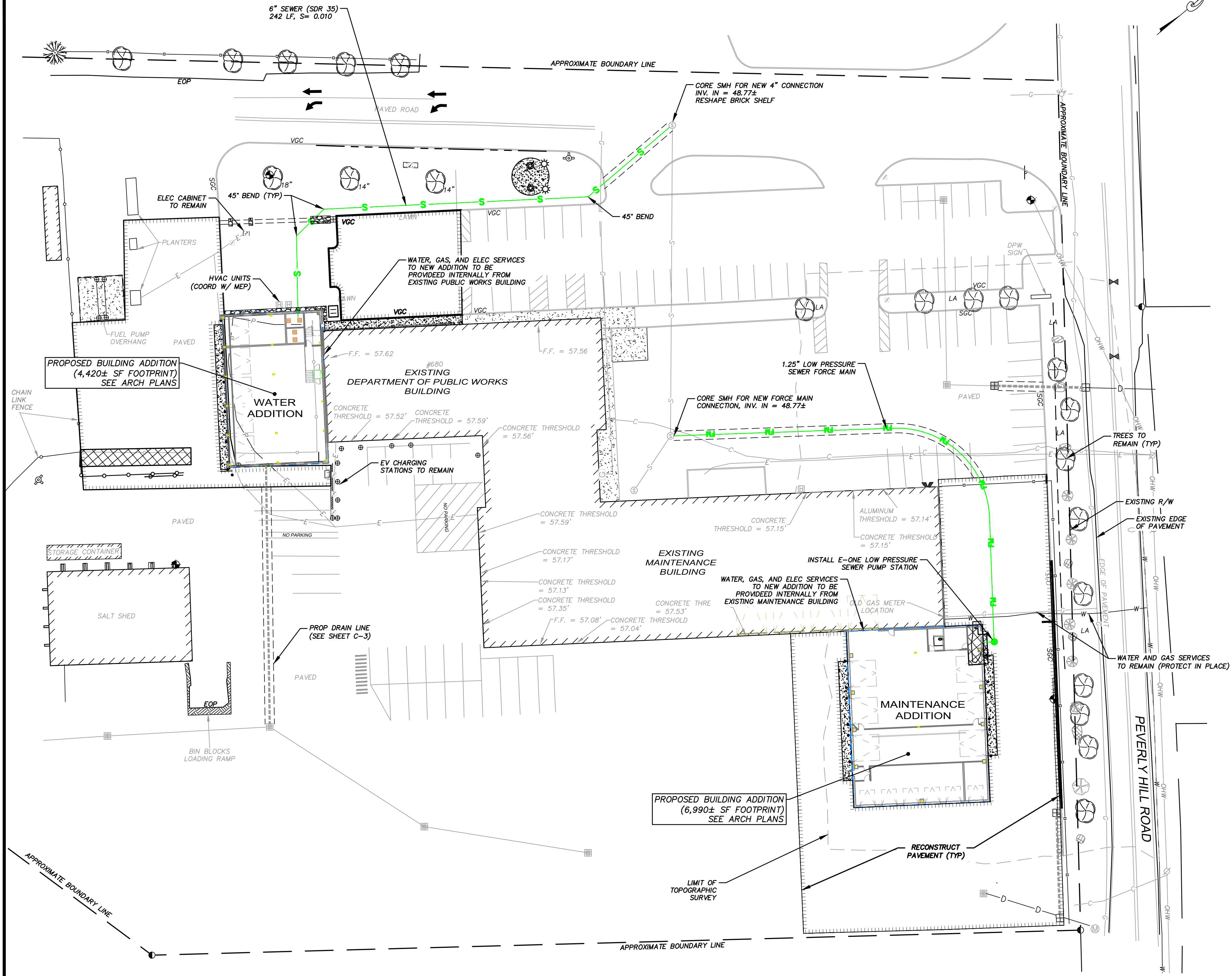
680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:
DETAILED GRADING, DRAINAGE, AND EROSION CONTROL PLAN

SHEET NUMBER:
C - 3

UTILITY NOTES

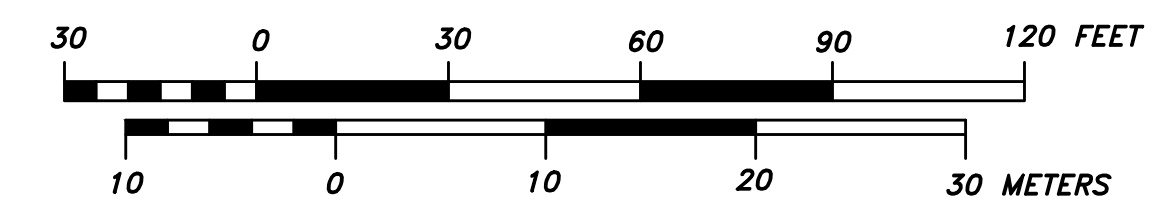
- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL PERMIT CONDITIONS AND REQUIREMENTS.
- ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
- SITWORK CONTRACTOR SHALL COORDINATE ALL WORK WITH ARCHITECTURAL, PLUMBING AND MECHANICAL DRAWINGS.
- FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
- DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.



LEGEND

SEE SHEET S-1 FOR EXISTING FEATURES

- BORING LOCATION (SEE GEOTECHNICAL RPT)
- PROPOSED THRUST BLOCK/WATER/CURB STOP/VALVE/HYDRANT
- PROPOSED SEWER/MANHOLE/CLEANOUT
- PROPOSED SEWER FORCEMAIN
- PROPOSED GAS
- PROPOSED OVERHEAD UTILITIES/UTILITY POLE
- PROPOSED UNDERGROUND ELEC/PHONE/TV
- SAWCUT PAVEMENT
- APPROX. LIMITS OF PAVEMENT REMOVAL
- BUILDING REMOVAL



ENGINEER:

 133 Court Street Portsmouth, NH 03801
 (603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
OCTOBER 1, 2024

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/01/24

DRAWN BY: _____ CDB
 APPROVED BY: _____ EDW
 DRAWING FILE: _____ 5421-SITE.DWG

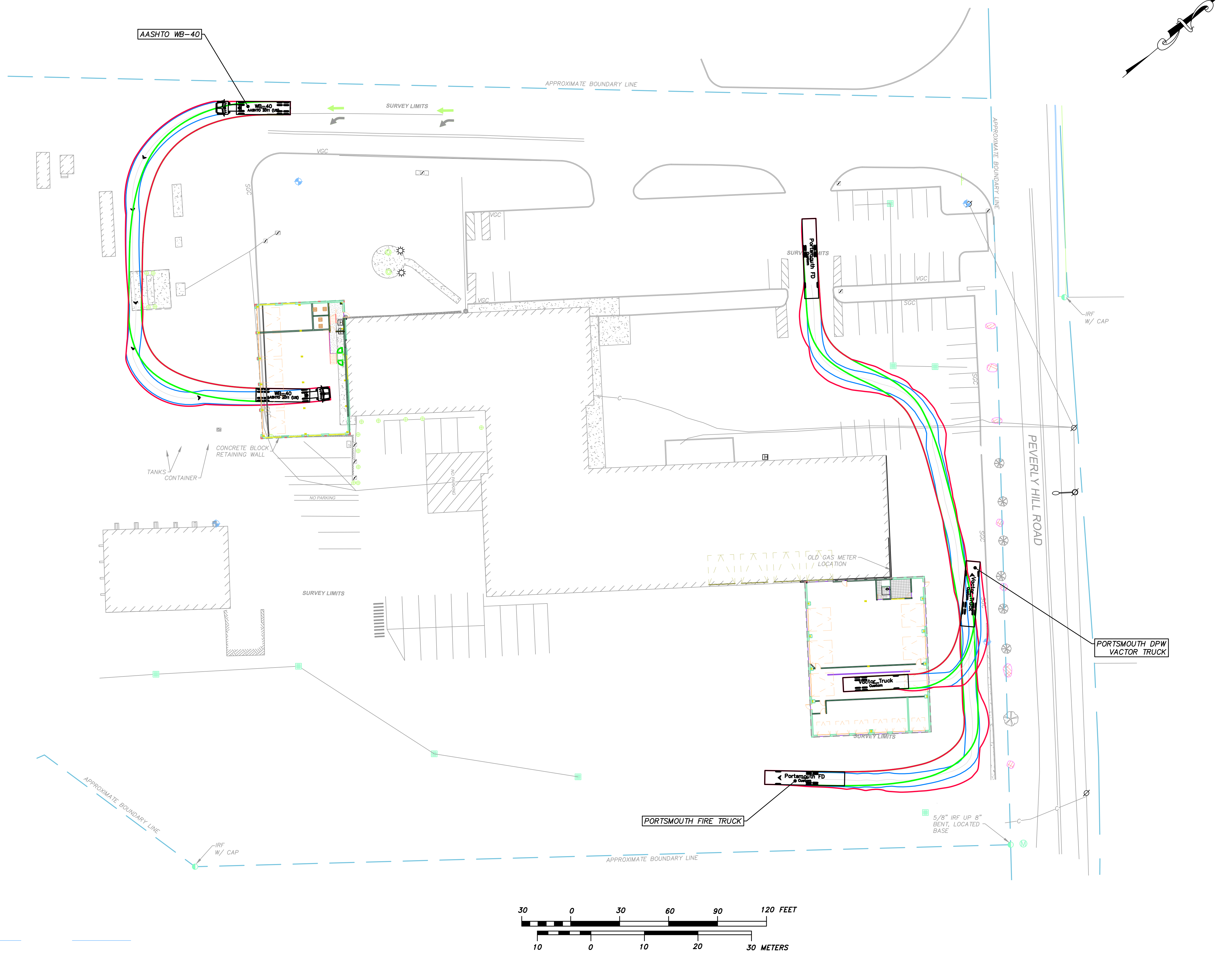
SCALE:
 22" x 34" - 1" = 30"
 11" x 17" - 1" = 60"

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122
 680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

TITLE:
UTILITIES PLAN
 SHEET NUMBER:
C - 4

P5597



NOT FOR CONSTRUCTION

ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
OCTOBER 1, 2024

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/01/24

DRAWN BY: _____ CDB
 APPROVED BY: _____ EDW
 DRAWING FILE: 5421-SITE.DWG

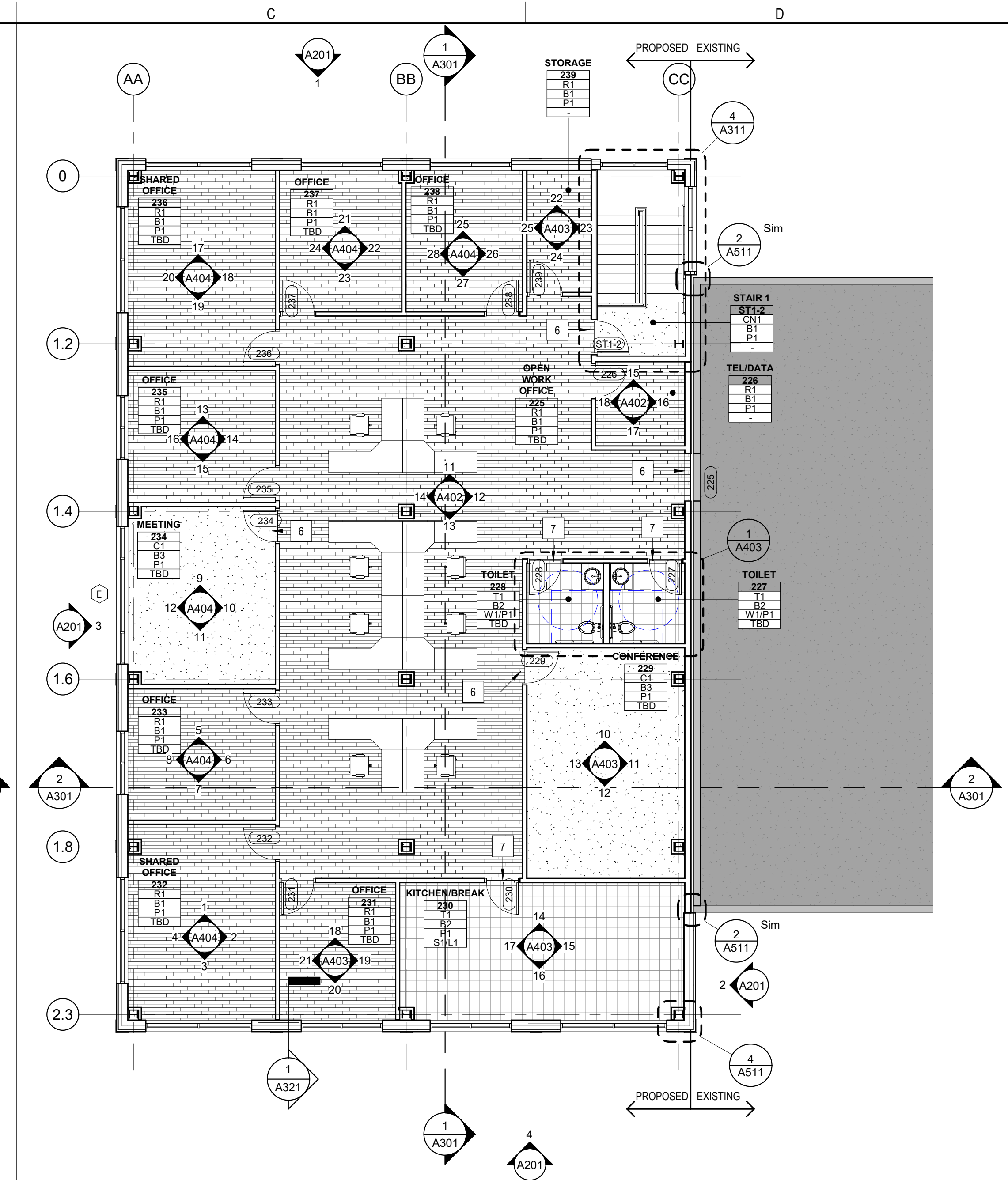
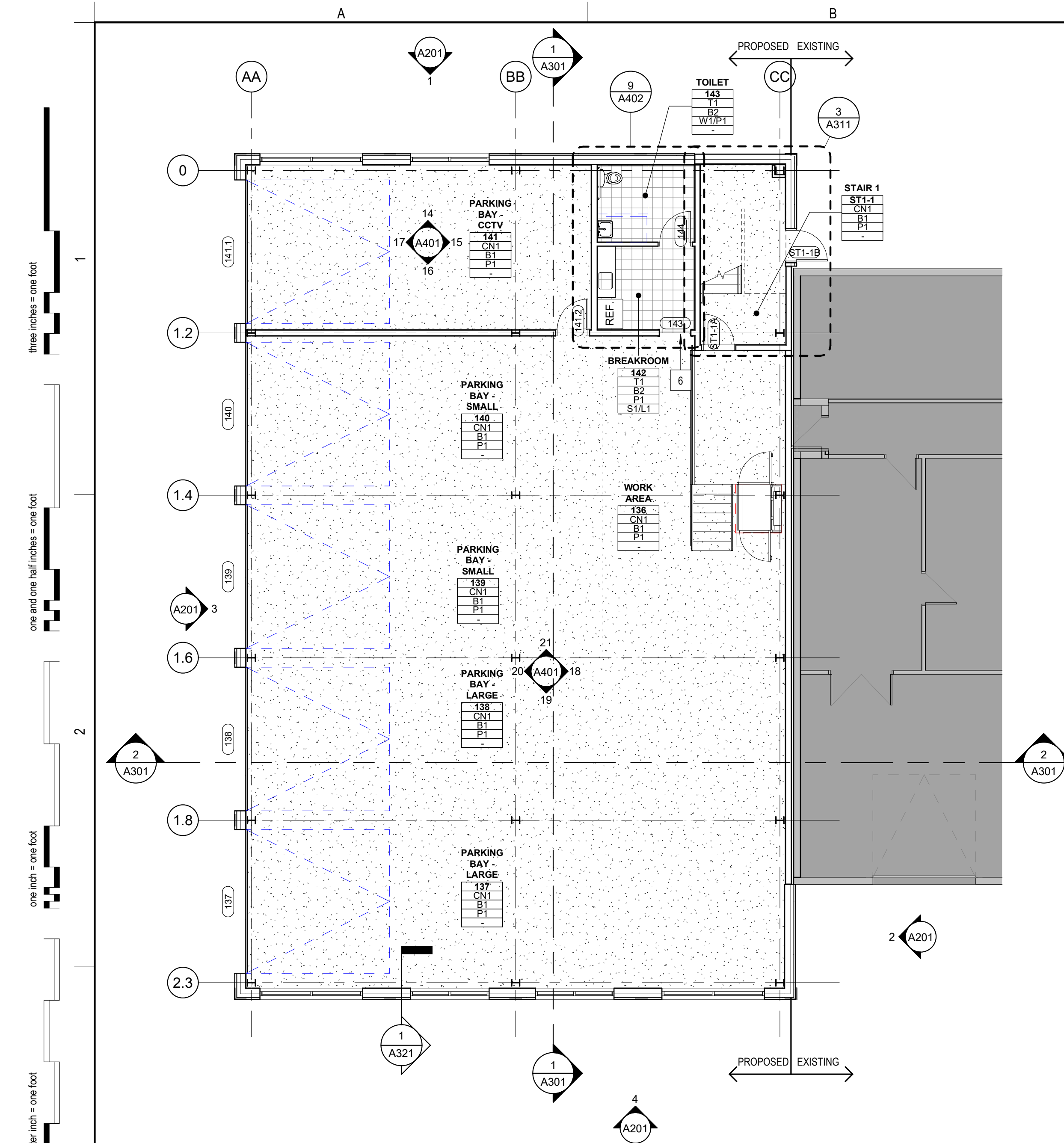
SCALE:
 22" x 34" - 1" = 30'
 11" x 17" - 1" = 60'

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122
 680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

TITLE:
TRUCK TURNING MOVEMENTS

SHEET NUMBER:
T - 1



1 FIRST FLOOR
A111 1/8" = 1'-0"

2 SECOND FLOOR
A111 1/8" = 1'-0"

INTERIOR FINISH MATERIALS LEGEND

TAG	ITEM	SPEC NO.	MANUFACTURER	COLLECTION / MODEL	COLOR	SIZE	INSTALL	NOTES
FLOORING								
CN1	CONCRETE, SEALED	03 30 00						
T1	CERAMIC FLOOR TILE	09 30 13						
CEILING								
ACT1	ACOUSTICAL TILE CEILINGS	09 51 23						
WALL BASE								
B1	RESILIENT BASE & ACCESSORIES	09 65 00						
B2	TILE BASE	09 30 13						
WALL								
P1	PAINT	09 90 00						
W1	FRP	06 64 00						
MILLWORK								
S1	COUNTERS	12 36 00						
L1	PLASTIC LAMINATE	06 41 16						
MISCELLANEOUS								
FA1	FLOOR TO FLOOR TRANSITION	09 30 13	SCHLUTER	RENO-U				
FA2	FLOOR TO FLOOR TRANSITION	09 30 13	SCHLUTER	RENO-T				

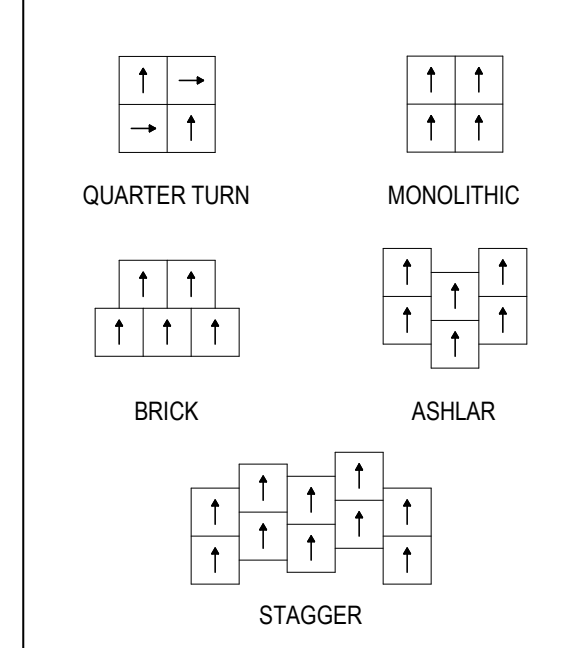
GENERAL FINISH NOTES

- SEE INTERIOR MATERIALS LEGEND FOR FINISH DESIGNATIONS.
- SEE DOOR SCHEDULE FOR DOOR & FRAME PAINT COLORS.
- SEE INTERIOR ELEVATIONS ON 'A00' SERIES SHEETS.
- RESILIENT FLOOR SHALL EXTEND UNDER ALL CASEWORK.
- ALL ELECTRICAL FIXTURE PLATES AND COVERS SHALL BE U.O.
- PAINT METAL STAIR GUARD, HANDRAILS & STRINGERS COLOR U.O.N.
- UNDERSIDE GWB OF STAIR SHALL BE PAINTED WHITE, U.O.N.
- TEST ALL EXISTING AND NEW CONCRETE SLABS FOR MOISTURE VAPOR EMISSIONS (ASTM F1869), INTERNAL RELATIVE HUMIDITY (ASTM F170), AND ALKALINITY (ASTM F710). IN THE EVENT THAT TEST VALUES EXCEED FLOORING MANUFACTURER'S LIMITS, NOTIFY ARCHITECT TO DETERMINE REMEDIATION METHOD.

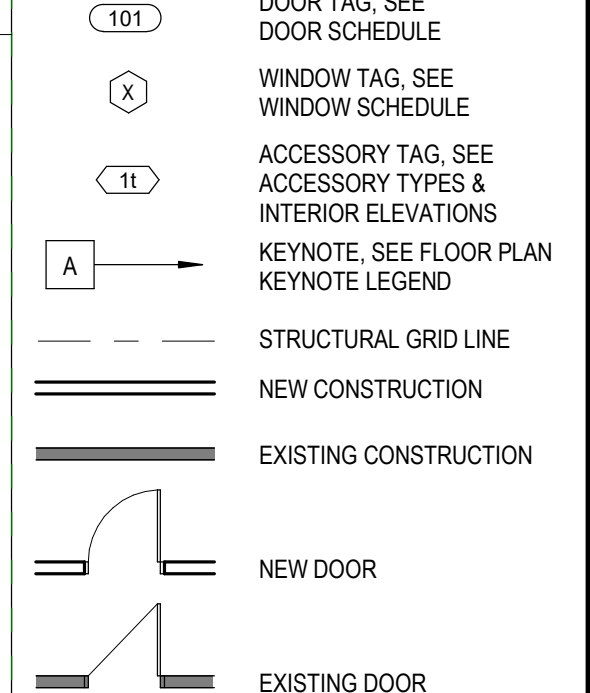
GENERAL PLAN NOTES

- ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
- ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
- DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
- REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
- VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
- ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
- REVIEW PRIOR TO INSTALLATION, ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
- PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
- COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

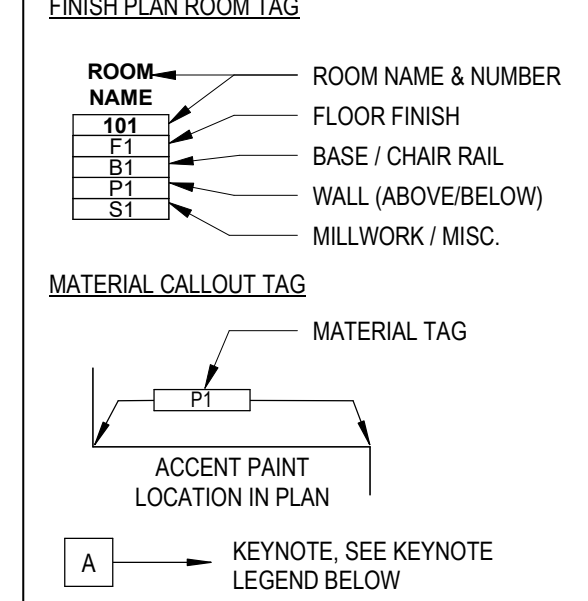
FLOORING INSTALLATION METHOD



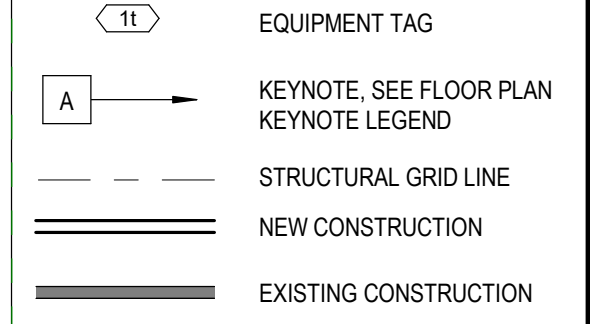
FLOOR PLAN LEGEND



FINISH PLAN LEGEND



EQUIPMENT PLAN LEGEND



GENERAL KEYNOTES

KEY #	DESCRIPTION
1	TRENCH DRAIN
2	COORDINATE EQUIPMENT LOCATIONS WITH OWNER
3	PROVIDE EXPANSION JOINTS BETWEEN EXISTING BUILDING & NEW ADDITION, REFER TO DETAILS
4	OPENING TO MATCH EXISTING
6	FA1 FLOOR TO FLOOR TRANSITION
7	FA2 FLOOR TO FLOOR TRANSITION

OWNER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSULTANTS:
CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

Warrenstreet
Planning Landscapes Architecture

WARRENSTREET ARCHITECTS, INC.
4 CRESCENT STREET, UNIT 2
CONCORD, NEW HAMPSHIRE 03303
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PLAN KEY:
W

TRUE NORTH
PROJECT NORTH

SCALE: AS NOTED DWN BY: JT
PROJECT #: 1234 CHK BY: CHECKER
PRINT DATE: 9/20/2024 2:28:57 PM

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

WATER DEPARTMENT FLOOR PLANS

A111

SHEET NUMBER: 2 OF 6 ARCHITECTURAL

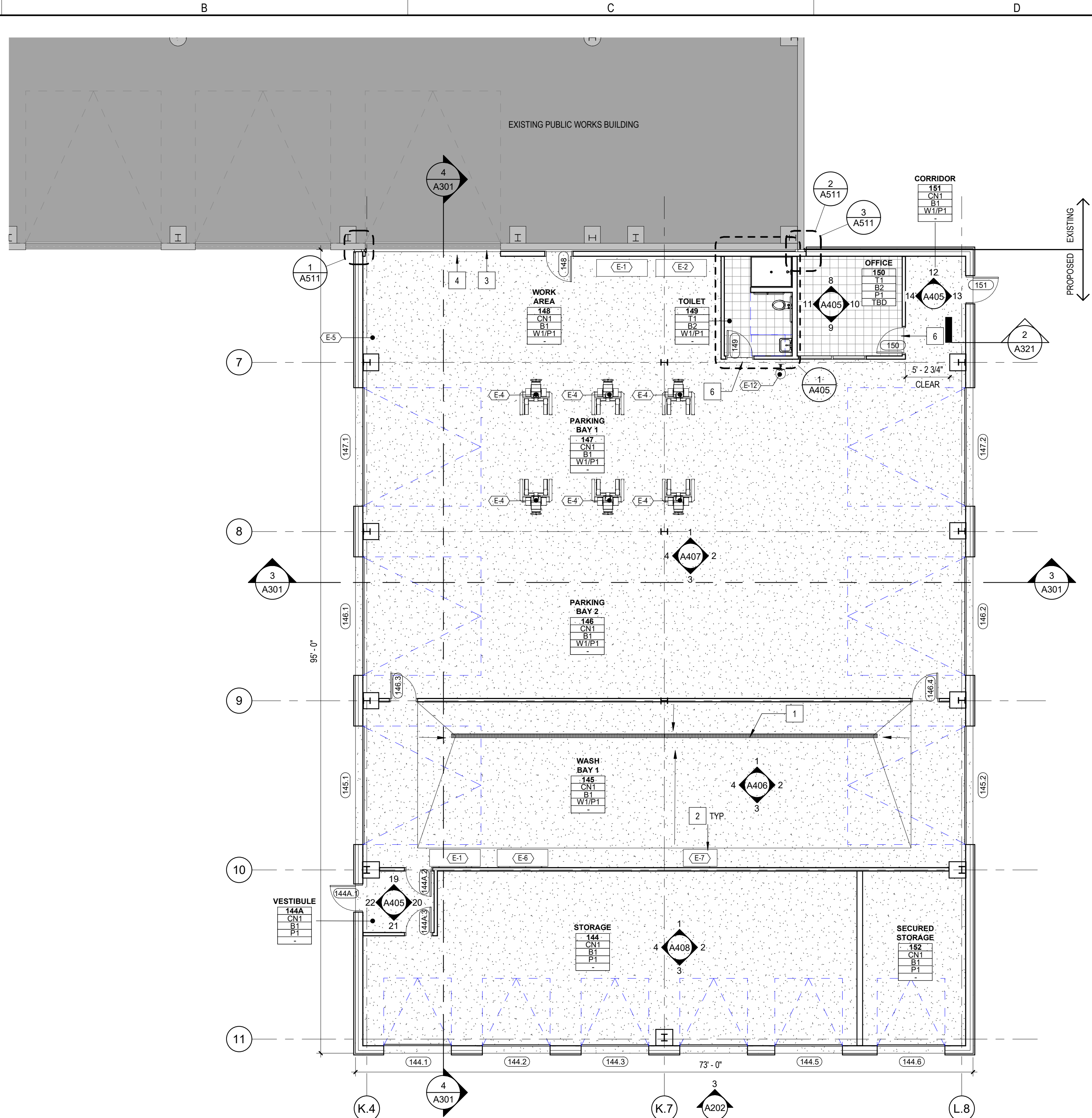
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Autodesk Docs/0305 PORTSMOUTH PUBLIC WORKS ADDITION/0325 PORTSMOUTH PUBLIC WORKS ADDITION - ALTERN08/11/2022/254L 3/11

PROGRESS NOT FOR CONSTRUCTION

three inches = one foot
 one and one half inches = one foot
 one inch = one foot
 one quarter inch = one foot
 three quarter inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot
 one eighth inch = one foot
 one eighth inch = one foot
 one eighth inch = one foot
 one eighth inch = one foot



1 MAINTENANCE DEPARTMENT FLOOR PLAN
 A112 1/8" = 1'-0"

EQUIPMENT SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	NOTES
E-1	MECHANIC'S KIOSK	TBD	TBD	
E-2	WELDING TABLE	TBD	TBD	
E-4	COLUMN MOBILE VEHICLE LIFT SYSTEM	ROTARY LIFT	MCH619 FLEX	
E-5	WASTE OIL STORAGE TANK	JOHN DOW	AGS-180D	
E-6	HIGH CAPACITY ROTARY SCREW AIR COMPRESSOR	TBD	TBD	
E-7	STEAM CLEANER	TBD	TBD	
E-8	MIG WELDER	LINCOLN	K467-1	
E-9	PLASMA CUTTER	HYPER THERM	PMX6S SYNC	
E-10	OVERHEAD RAIL CRANE	TBD	TBD	
E-11	WORKBENCH	TBD	TBD	3'-0" X 5'-0"
E-12	EYE WASH STATION	TBD	TBD	

INTERIOR FINISH MATERIALS LEGEND

TAG	ITEM	SPEC NO.	MANUFACTURER	COLLECTION / MODEL	COLOR	SIZE	INSTALL	NOTES
FLOORING								
CN1	CONCRETE, SEALED	03 30 00						
T1	CERAMIC FLOOR TILE	09 30 13						
CEILING								
AC11	ACOUSTICAL TILE CEILING	09 51 23						
WALL BASE								
B1	RESILIENT BASE & ACCESSORIES	09 65 00						
B2	TILE BASE	09 30 13						
WALL								
P1	PAINT	09 90 00						
W1	FRP	06 64 00						
MILLWORK								
S1	COUNTERS	12 36 00						
L1	PLASTIC LAMINATE	06 41 16						
MISCELLANEOUS								
FA1	FLOOR TO FLOOR TRANSITION	09 30 13	SCHLUTER	RENO-U				
FA2	FLOOR TO FLOOR TRANSITION	09 30 13	SCHLUTER	RENO-T				

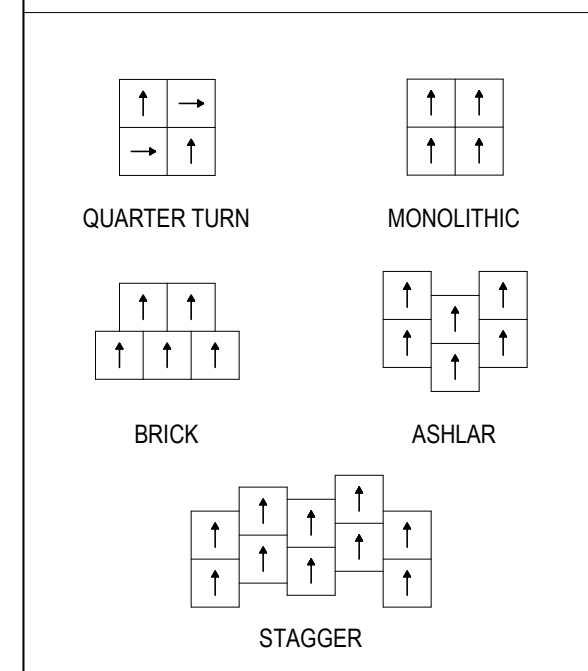
GENERAL FINISH NOTES

- SEE INTERIOR MATERIALS LEGEND FOR FINISH DESIGNATIONS.
- SEE DOOR SCHEDULE FOR DOOR & FRAME PAINT COLORS.
- SEE INTERIOR ELEVATIONS ON 'A400' SERIES SHEETS.
- RESILIENT FLOOR SHALL EXTEND UNDER ALL CASEWORK.
- ALL ELECTRICAL FIXTURE PLATES AND COVERS SHALL BE U.N.O.
- PAINT METAL STAIR GUARD, HANDRAILS & STRINGERS COLOR U.O.N.
- UNDERSIDE GWB OF STAIR SHALL BE PAINTED WHITE, U.O.N.
- TEST ALL EXISTING AND NEW CONCRETE SLABS FOR MOISTURE VAPOR EMISSIONS (ASTM F1869), INTERNAL RELATIVE HUMIDITY (ASTM F170), AND ALKALINITY (ASTM F710). IN THE EVENT THAT TEST VALUES EXCEED FLOORING MANUFACTURER'S LIMITS, NOTIFY ARCHITECT TO DETERMINE REMEDIATION METHOD.

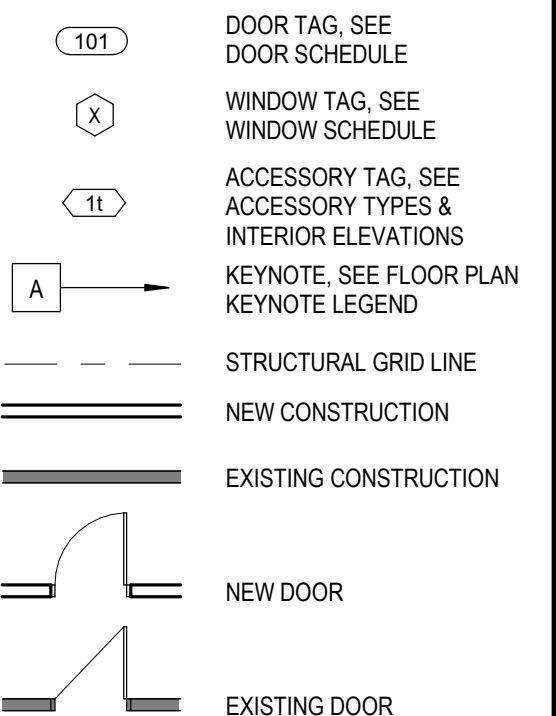
GENERAL PLAN NOTES

- ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
- ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.N.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
- DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
- REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
- VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
- ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
- REVIEW PRIOR TO INSTALLATION, ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
- PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
- COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

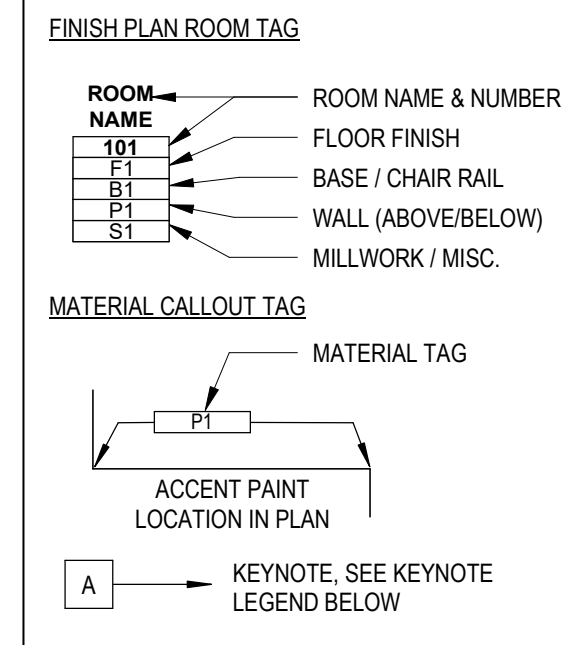
FLOORING INSTALLATION METHOD



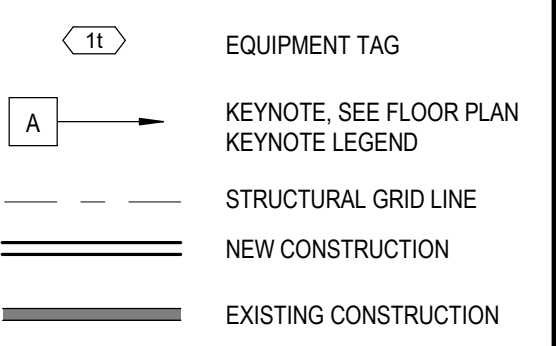
FLOOR PLAN LEGEND



FINISH PLAN LEGEND



EQUIPMENT PLAN LEGEND



GENERAL KEYNOTES

KEY #	DESCRIPTION
1	TRENCH DRAIN
2	COORDINATE EQUIPMENT LOCATIONS WITH OWNER
3	PROVIDE EXPANSION JOINTS BETWEEN EXISTING BUILDING & NEW ADDITION, REFER TO DETAILS
4	OPENING TO MATCH EXISTING
6	FA1 FLOOR TO FLOOR TRANSITION
7	FA2 FLOOR TO FLOOR TRANSITION

OWNER
 TITLE 1
 TITLE 2
 STREET
 CITY, STATE, ZIP
 P. () F. ()

CONSTRUCTION MANAGER
 TITLE 1
 TITLE 2
 STREET
 CITY, STATE, ZIP
 P. () F. ()

CONSULTANTS:
CIVIL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

LANDSCAPE
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

STRUCTURAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

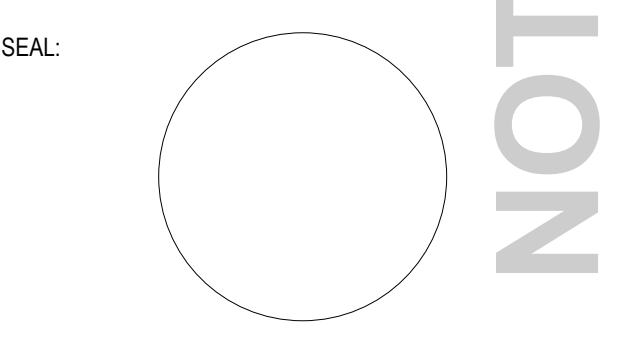
PLUMBING / MECHANICAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

ELECTRICAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

OTHER
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

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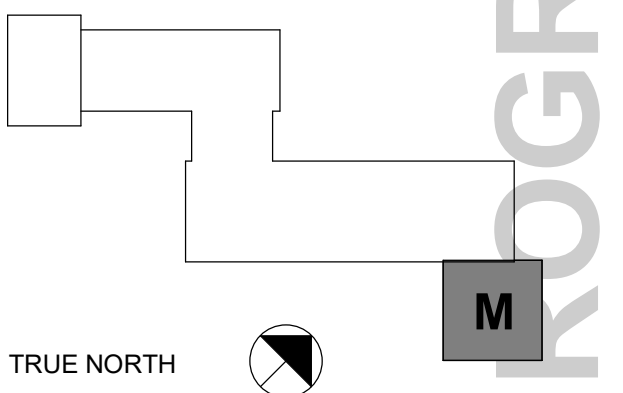
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 4 CRESCENT STREET, UNIT 2
 CONCORD, NEW HAMPSHIRE 03303
 40 STARK STREET
 MANCHESTER, NEW HAMPSHIRE 03103
 P. (603) 225-0640
 WWW.WARRENSTREET.COOP



PROJECT TITLE / ADDRESS:

PORTSMOUTH PUBLIC WORKS ADDITION
 680 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

PLAN KEY:



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ISSUE DATE:
SCHEMATIC DESIGN

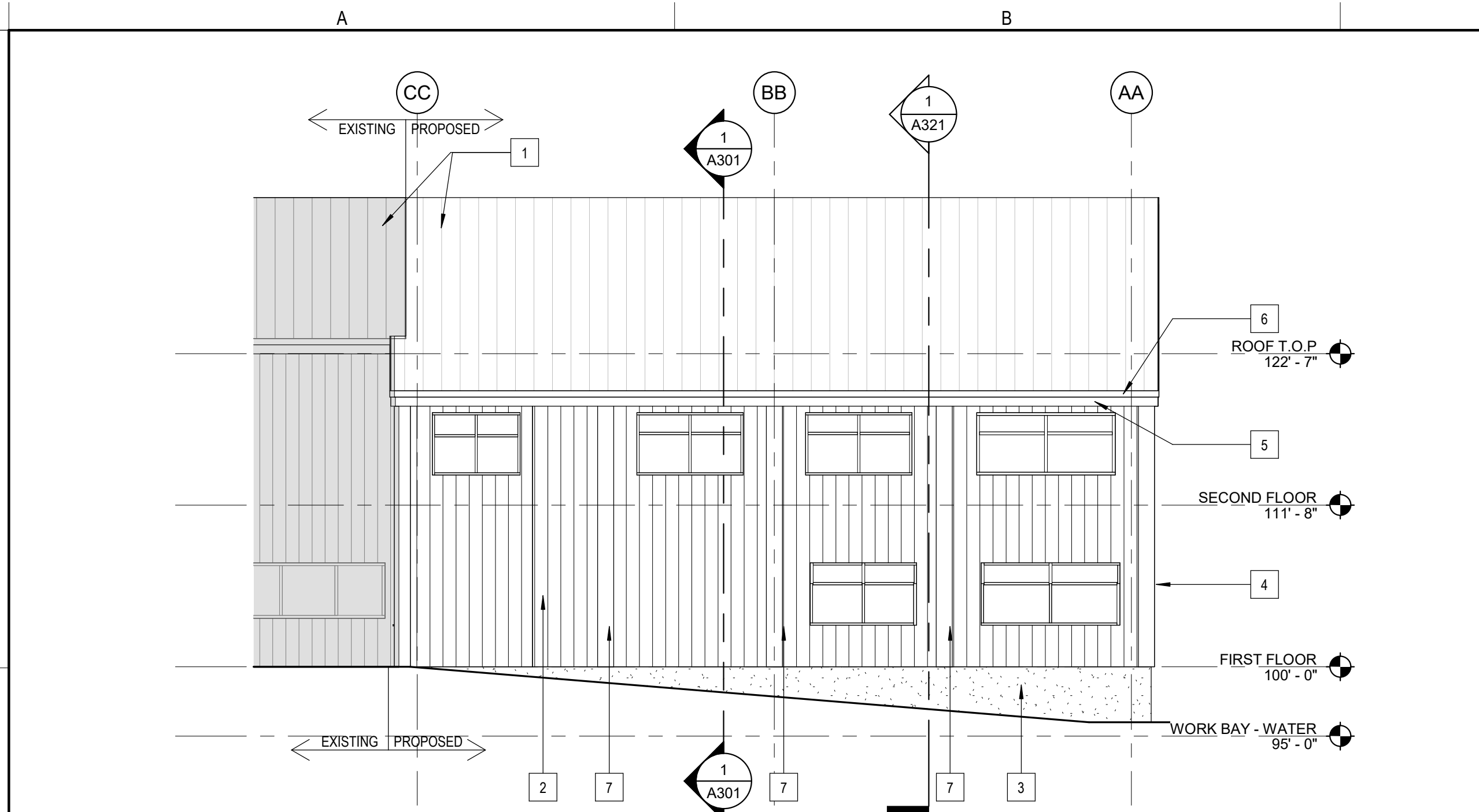
REVISION	DATE	COMMENTS

MAINTENANCE DEPARTMENT FLOOR PLAN

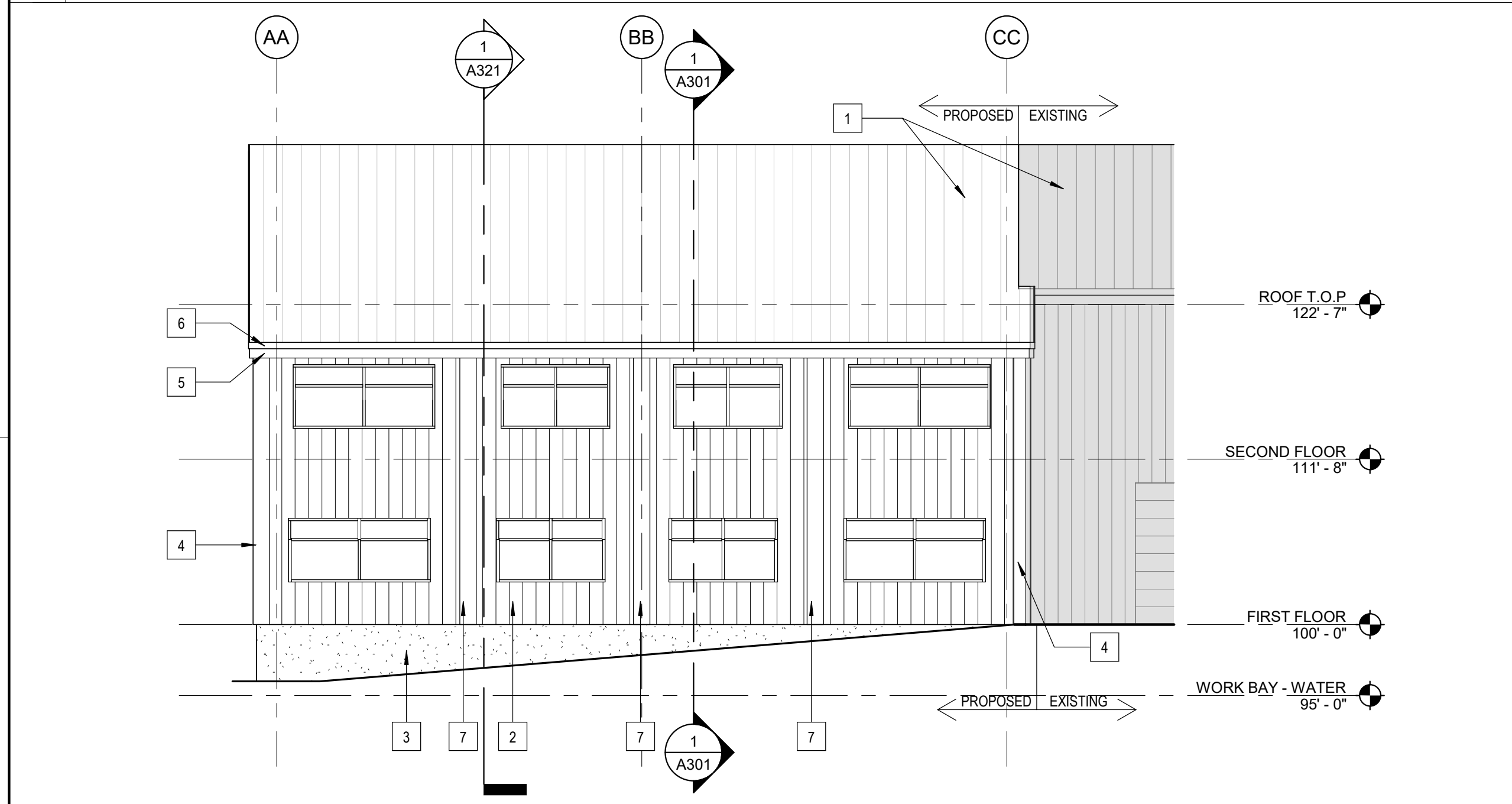
A112

SHEET NUMBER: 3 OF 6 ARCHITECTURAL
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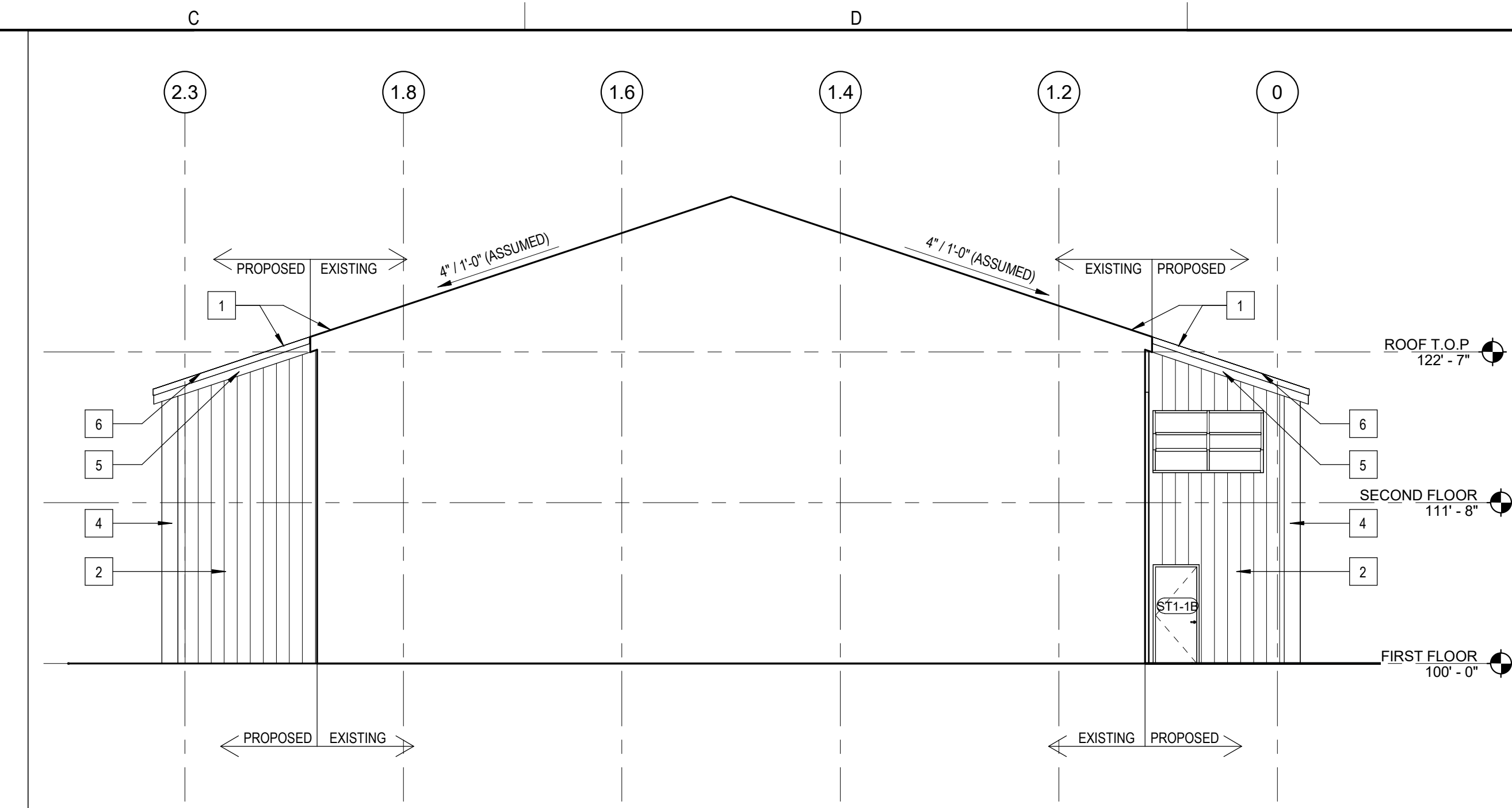
Autodesk Docs/0305 PORTSMOUTH
 PUBLIC WORKS ADDITION/0325
 PORTSMOUTH PUBLIC WORKS
 ADDITION - ALTERN08/112022.S4L
 3/11



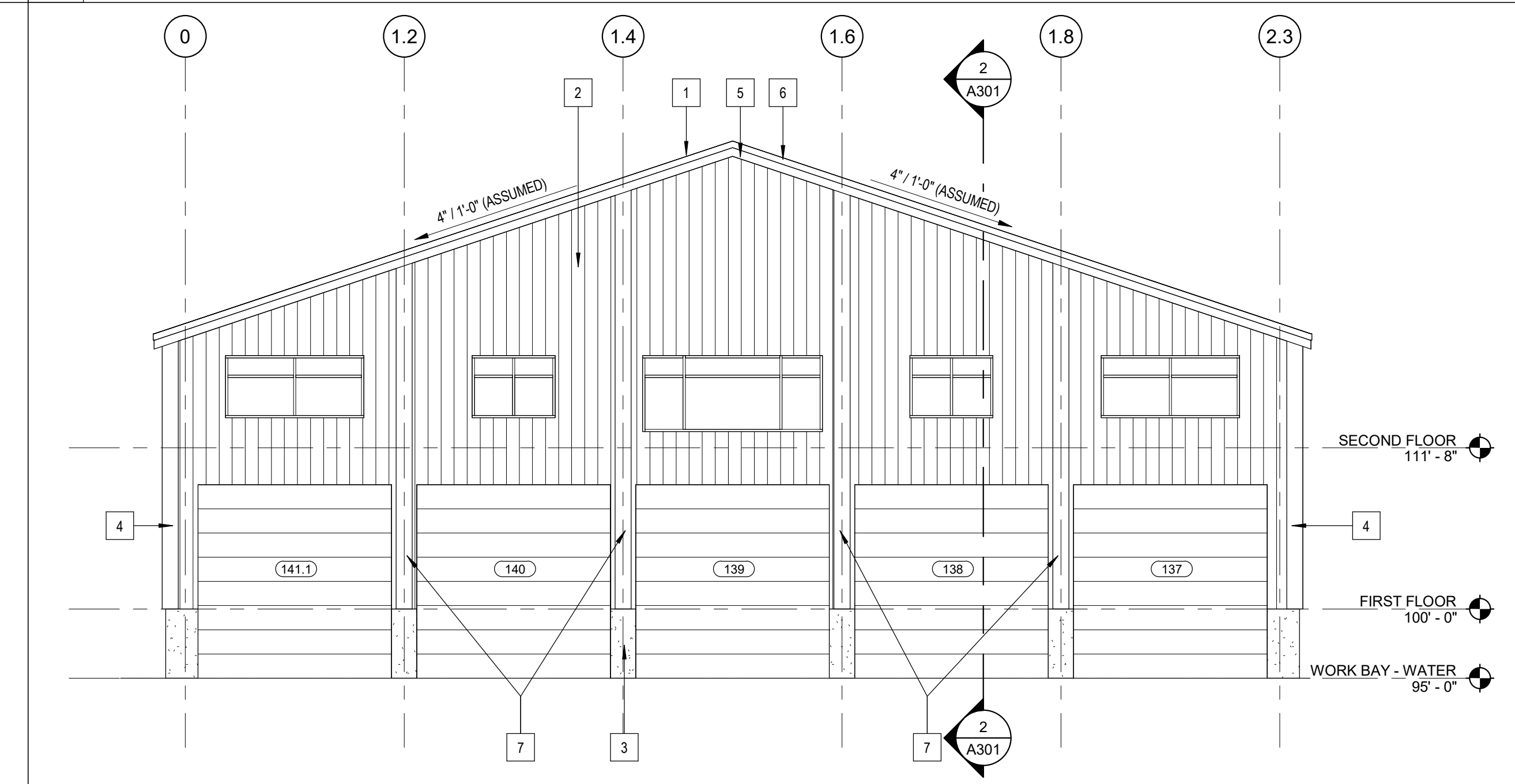
1 WATER DEPARTMENT - NORTH
A201 1/8" = 1'-0"



4 WATER DEPARTMENT - SOUTH
A201 1/8" = 1'-0"



2 WATER DEPARTMENT - EAST
A201 1/8" = 1'-0"



3 WATER DEPARTMENT - WEST
A201 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

A → KEYNOTE, SEE ELEVATION KEYNOTE LEGEND

X WINDOW TAG, SEE DOOR SCHEDULE SHEET

CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	SLOPE & ELEVATION OF ROOF TO MATCH EXISTING ADJACENT
2	FLUTED PANEL TO MATCH EXISTING, SEE WALL SECTIONS
3	CONCRETE FOUNDATION WALL
4	PVC CORNER, COLOR TBD
5	PVC FASCIA
6	6" ALUMINUM DRIP EDGE
7	EXTERIOR TRIM TBD

OWNER

TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER

TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSULTANTS:

CIVIL

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

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MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
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SEAL:

PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

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PROJECT #: 1234 CHK BY: CHECKER
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WATER DEPARTMENT EXTERIOR ELEVATIONS

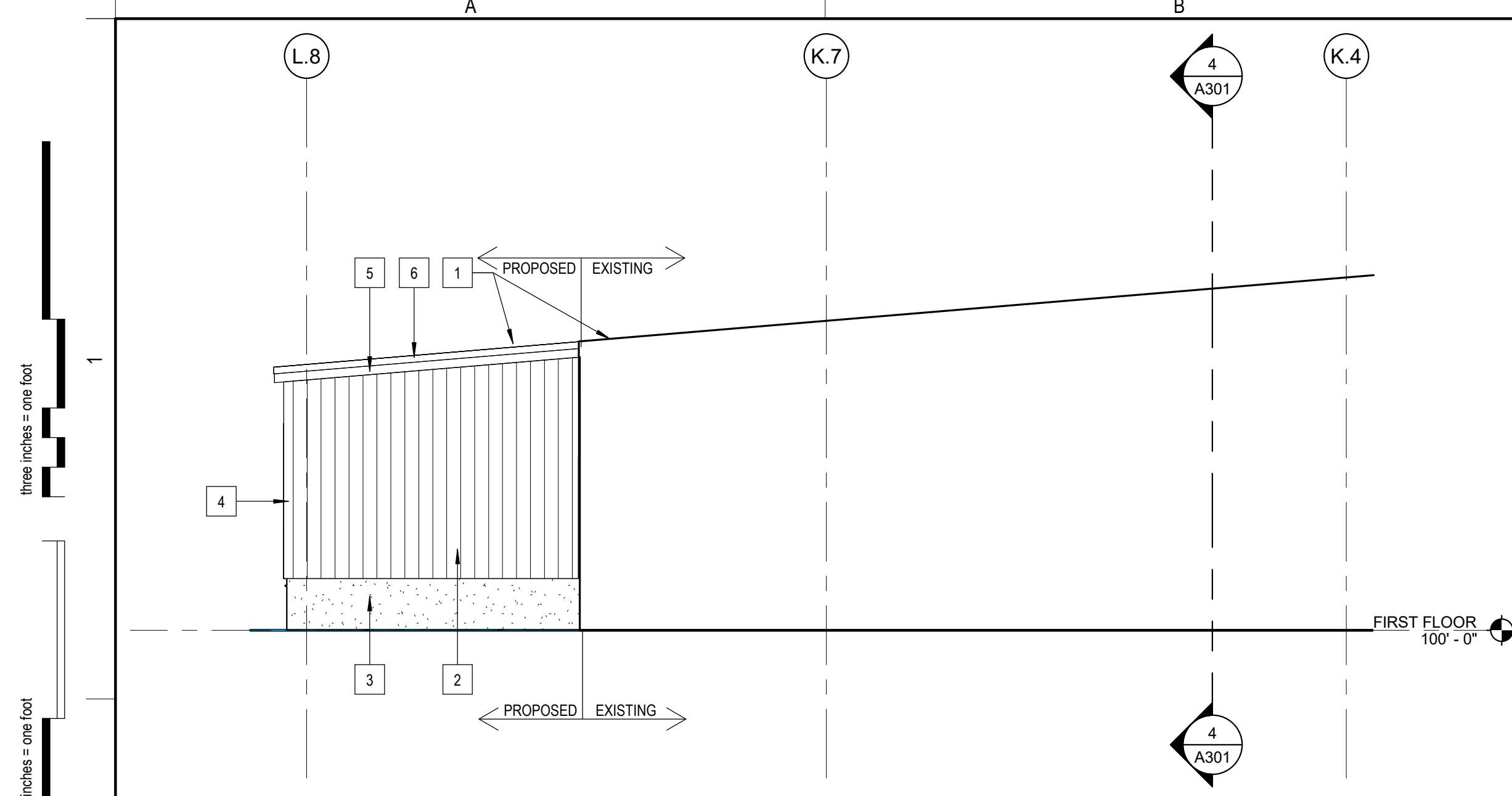
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SHEET NUMBER: 5 OF 6 ARCHITECTURAL

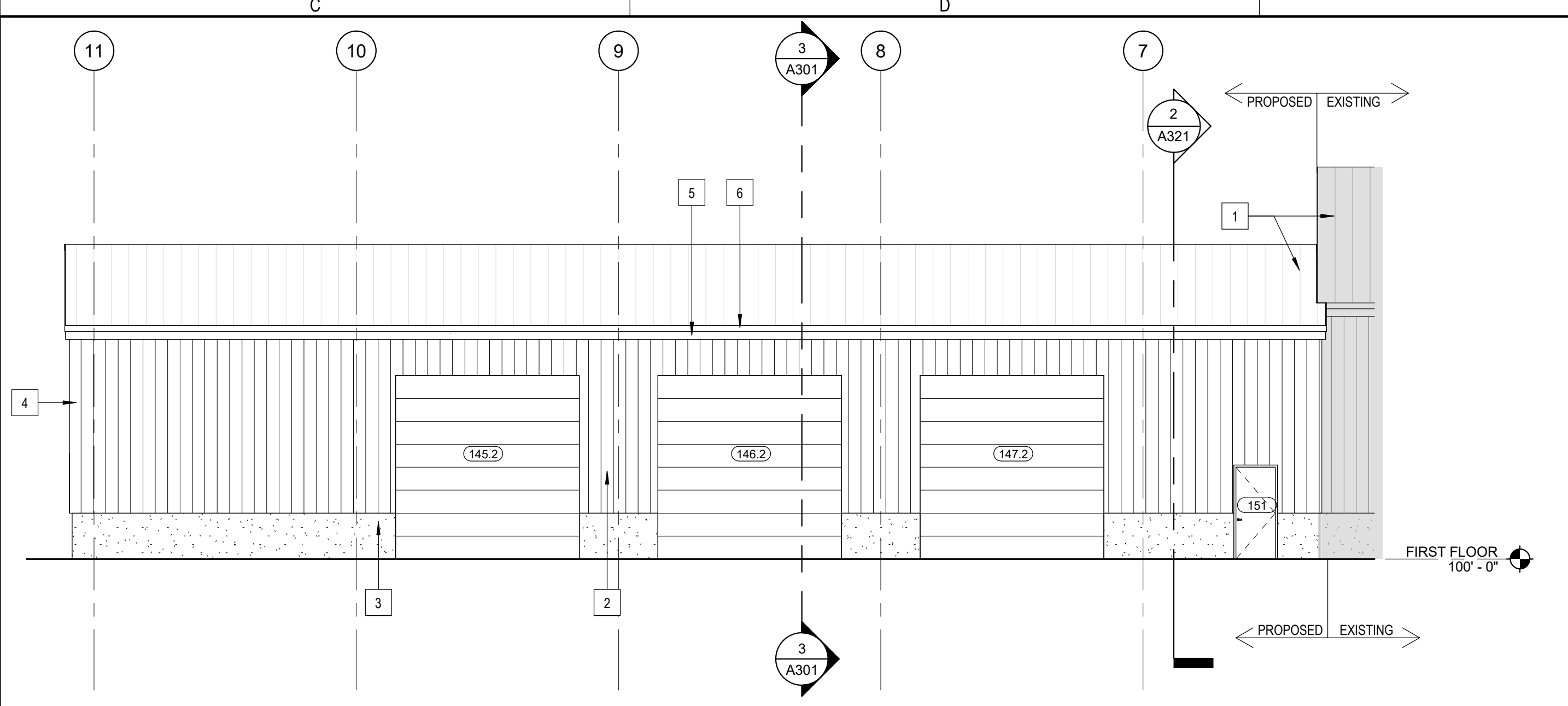
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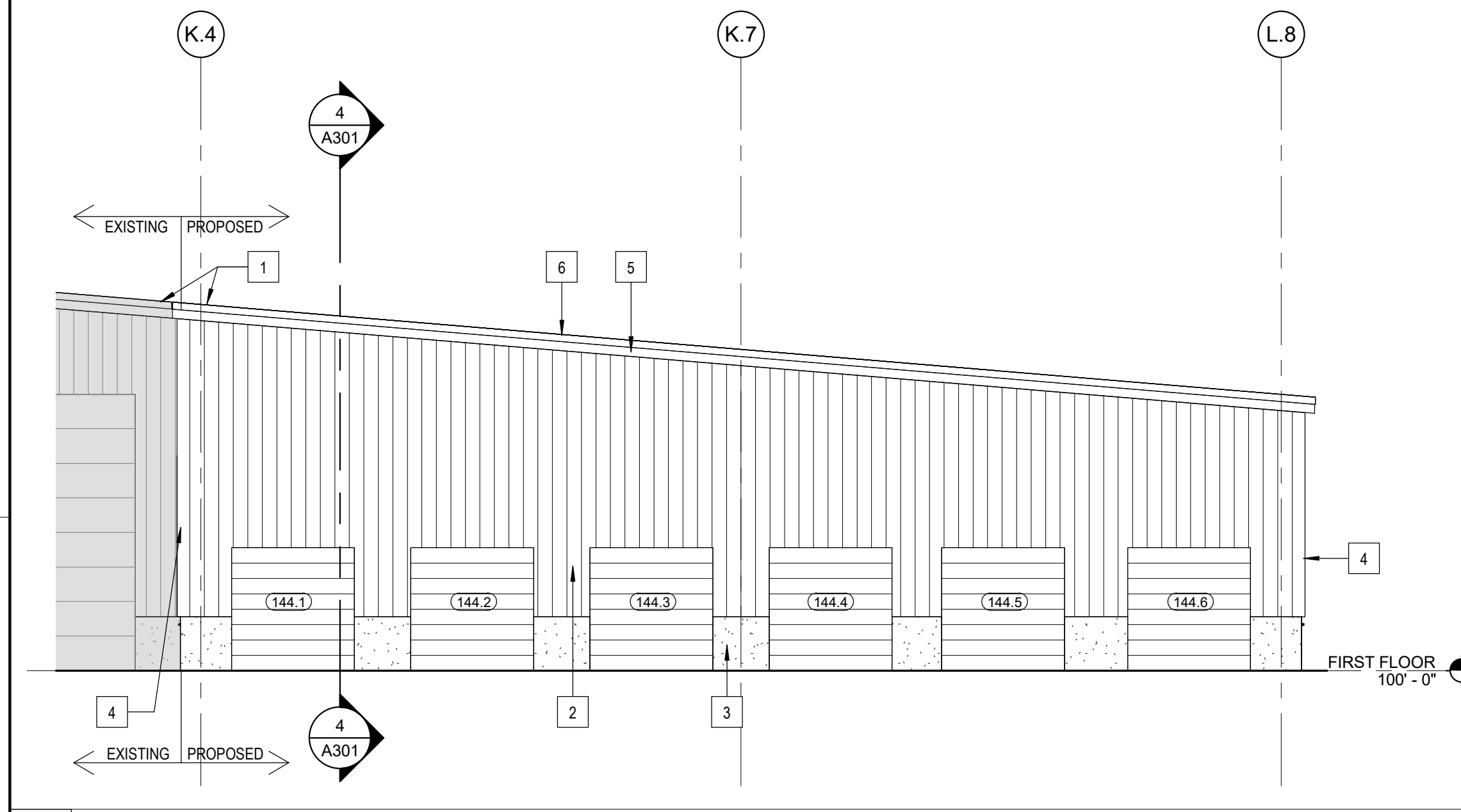
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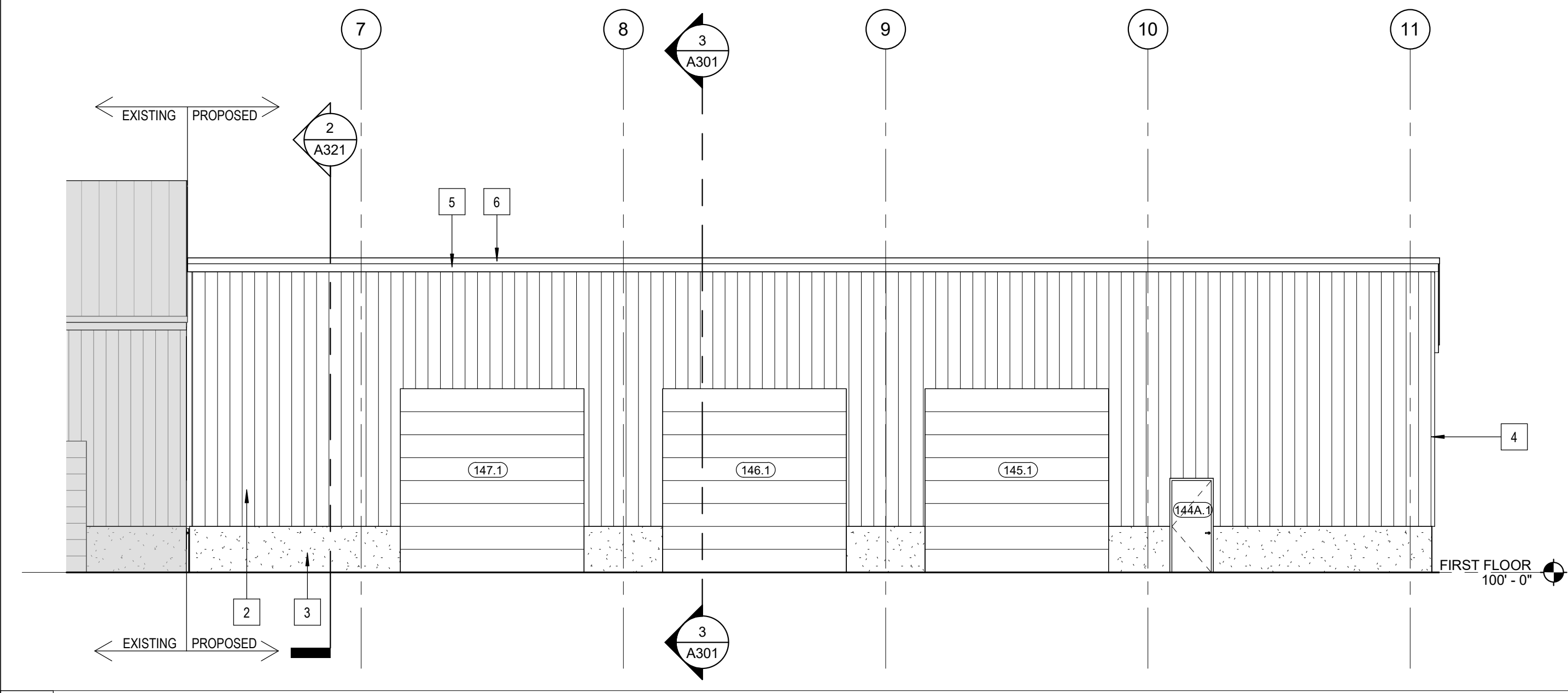
1 MAINTENANCE DEPARTMENT - NORTH
A202
1/8" = 1'-0"



2 MAINTENANCE DEPARTMENT - EAST
A202
1/8" = 1'-0"



3 MAINTENANCE DEPARTMENT - SOUTH
A202
1/8" = 1'-0"



4 MAINTENANCE DEPARTMENT - WEST
A202
1/8" = 1'-0"

GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- X WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	SLOPE & ELEVATION OF ROOF TO MATCH EXISTING ADJACENT
2	FLUTED PANEL TO MATCH EXISTING, SEE WALL SECTIONS
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6	6" ALUMINUM DRIP EDGE
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OWNER
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P. () F. ()

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CONSULTANTS:
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TELEPHONE

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TELEPHONE

OTHER
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SEAL:

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SCALE: AS NOTED DWN BY: JT
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MAINTENANCE DEPARTMENT EXTERIOR ELEVATIONS

A202

SHEET NUMBER: 6 OF 6 ARCHITECTURAL

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 Autodesk Docs: 0305 PORTSMOUTH PUBLIC WORKS ADDITION 08/25 PORTSMOUTH PUBLIC WORKS ADDITION - ALTERN08/11/2024.SDL SH

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