

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

December 10, 2024

AGENDA

2:00 PM 361 Hanover Street
361 Hanover Steam Factory LLC, Owner
Ambit Engineering, Engineer
(LUTW-24-16)

Site Plan Review



HALEY WARD

200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

3 December 2024

Peter Stith, TAC Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for TAC Workshop Review at 361 Hanover Street, Proposed Site Development and New Structures

Dear Mr. Stith and Technical Advisory Committee Members:

On behalf of 361 Hanover Steam Factory, LLC, we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **December 10, 2024**, TAC Workshop Meeting. The project consists of the addition of three new buildings along Hanover Street and the renovation of the existing commercial building at 361 Hanover Street with the associated and required site improvements. The new structure is preferred to be entirely residential to add much needed housing stock in a desirable location where significant walkable amenities are in proximity. Additionally, we believe that the neighborhood will be better served if the entire project is residential instead of having commercial uses on the first floor. We understand that other land use board approvals are required for that to occur, given the site Zoning. That process is ongoing, with a December ZBA hearing scheduled. We seek TAC input before we engage in final designs, based on the potential grant of the required relief.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- License Area Plan – This plan shows a proposed License Area.
- Site Orthophoto – This plan shows the site bird's eye view.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows proposed site demolition prior to construction.
- Site Plan C3 – This plan shows the site development layout with the associated Zoning Table and notations.
- Utility Plan C4 – This plan shows proposed site utilities and drainage.

We look forward to an in-person presentation to the Technical Advisory Committee and the review of this submission and feedback on the proposed design.

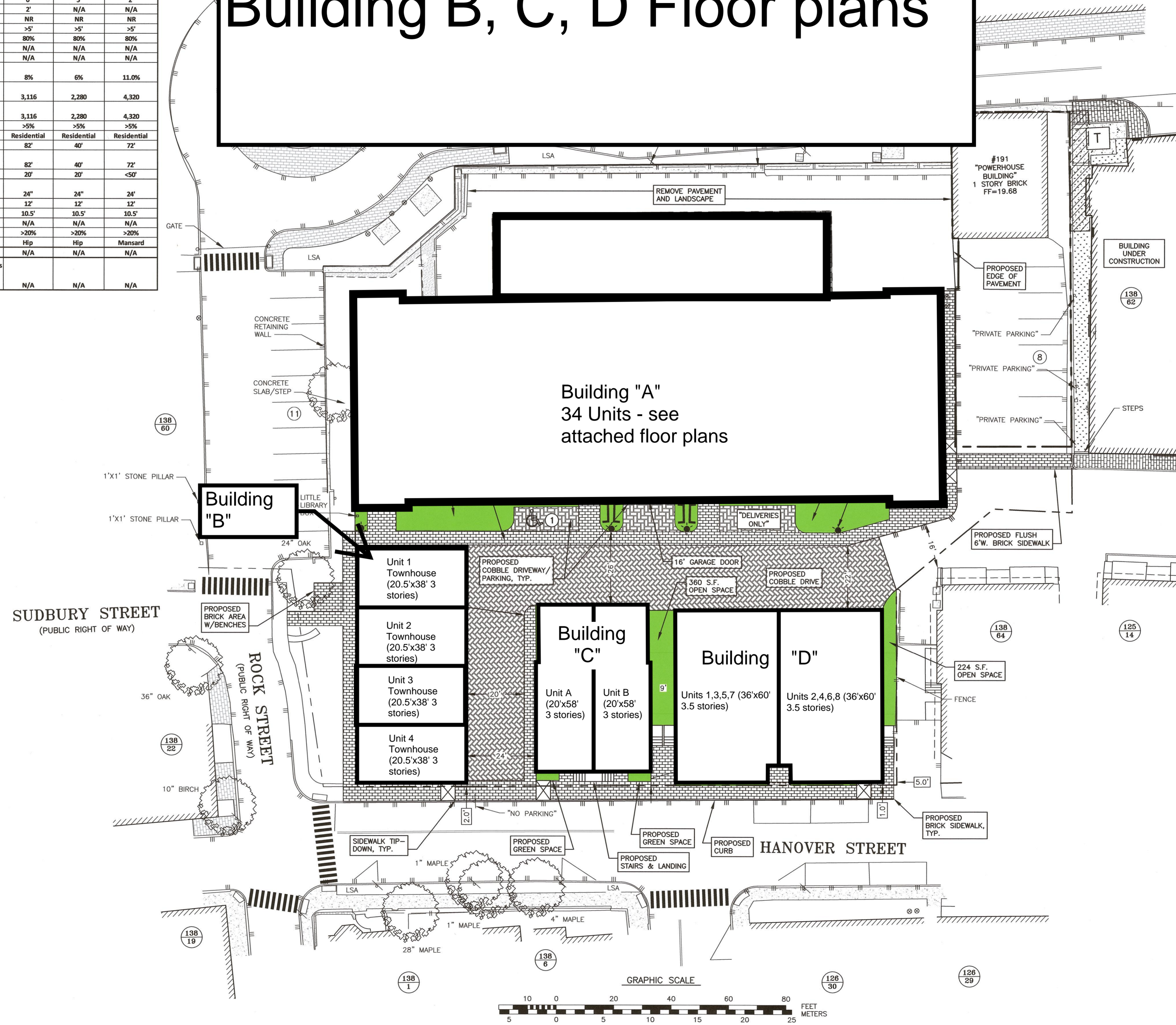
Sincerely,

John R. Chagnon, PE

ZONING DEVELOPMENT STANDARD - CUP PLAN						
CDS: CHARACTER DISTRICT 5, DOD: DOWNTOWN OVERLAY DISTRICT						
	REQUIRED	EXISTING	PROPOSED - Building A	PROPOSED - Building B	PROPOSED - Building C	PROPOSED - Building D
Height	2-3 stories / 40'	2 stories / 18' +/-	4 stories w/ penthouse 52'	3 stories / 36'	3 stories / 36'	3 1/2 stories / 40'
Penthouses	may exceed bldg height by 2'	N/A	Yes (75% Habitable Space / 8' Setback)	N/A	N/A	N/A
Roof appurtenance	may exceed bldg height by 10'	<10'	<10'	No	No	<10'
Facade Types	N/A	N/A	N/A	N/A	N/A	N/A
Building Types	commercial, live-work, mixed use, flex space & community.	Commercial	Apartment	Rowhouse	Duplex	Apartment
Front (principle) max	5'	99'	99'	0'	5'	2'
Front (secondary) max	NR	0'	0'	2'	N/A	N/A
Side	NR	NR	NR	NR	NR	NR
Rear yard	5'	0'	0'	>5'	>5'	>5'
Front lotline buildout	80% min	100%	100%	80%	80%	80%
Lot area (sf)	NR	N/A	N/A	N/A	N/A	N/A
LOT area per dwelling	NR	N/A	N/A	N/A	N/A	N/A
Building coverage, maximum	95%	38%	47%	8%	6%	11.0%
Maximum building footprint	20,000	14,808	18,082	3,116	2,280	4,320
Ground floor area per use, max	15,000	14,808	<15,000	3,116	2,280	4,320
Open space, minimum	5%	<5%	>5%	>5%	>5%	>5%
Permitted uses		Commercial	Residential	Residential	Residential	Residential
Block length, max (ft)	225	205'	205'	82'	40'	72'
Facade modulation length, max (ft)	100	205	205	82'	40'	72'
Entrance spacing, max (ft)	50	>50'	50	20'	20'	<50'
Floor height above sidewalk, max	36"	0"	0"	24"	24"	24"
Ground story height, min	12'	10'	10'	12'	12'	12'
Second story height, min	10'	10.5'	10.5'	10.5'	10.5'	10.5'
Glazing, shopfront, min	70%	N/A	N/A	N/A	N/A	N/A
Glazing, other	20%-50%	>20%	>20%	>20%	>20%	>20%
Roof types	flat, gable, hip, gambrel, mansard	Flat	Flat	Hip	Hip	Mansard
Community Space	>10% or 3,852 SF (1,926 SF as previous)	N/A	4,250 SF +/- (12%)	N/A	N/A	N/A
Workforce Housing Units	If rental units =10% of total units. 10% of 36 = 3.4 Units = 3 Units	N/A	3 Workforce Housing Units Floor 1 = 1 Unit Floor 2 = 2 Units	N/A	N/A	N/A

Shaded Boxes = Zoning Relief Required

ZBA "Preferred Plan" Building B, C, D Floor plans

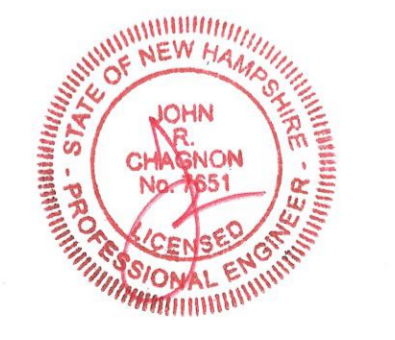


- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 138 AS LOT 63.
 - APPLICANT:
361 HANOVER STEAM FACTORY, LLC
41 INDUSTRIAL DRIVE UNIT 20
EXETER, N.H. 03833
 - PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F. JANUARY 29 2021.
- PROPOSED LOT AREAS:
LOT 138/63
38,528 S.F.±
0.8845 AC

LOT 138/63-1
4,717 S.F.
0.1083 AC
- PARCEL IS LOCATED IN CHARACTER DISTRICT 5 (CD5), NORTH END INCENTIVE OVERLAY, AND DOWNTOWN OVERLAY DISTRICT.
- DIMENSIONAL REQUIREMENTS:**
*SEE PORTSMOUTH ZONING ORDINANCE AND TABLE.
- MINIMUM LOT AREA: NR
SETBACKS:
FRONT: 5 FEET (MAXIMUM)
SIDE: NR
REAR: 5 FEET
MAXIMUM BUILDING COVERAGE: 95%
MINIMUM OPEN SPACE: 5%
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 138 LOT 63.
 - VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - PROPOSED USE: 48 RESIDENTIAL DWELLING UNITS

SITE REDEVELOPMENT 361 HANOVER STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	REVISED LAYOUT	7/3/24
0	ISSUED FOR COMMENT	6/12/24



SCALE: 1"=20' JANUARY 2024

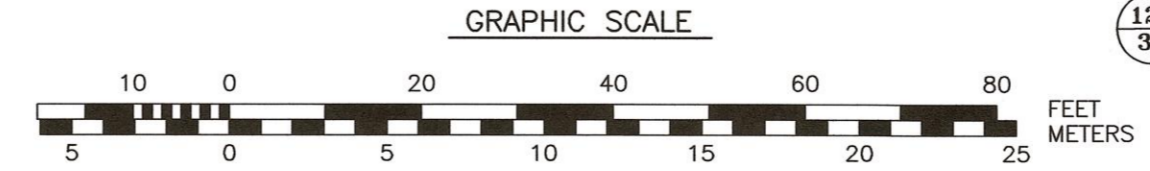
SITE PLAN **C3**

THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

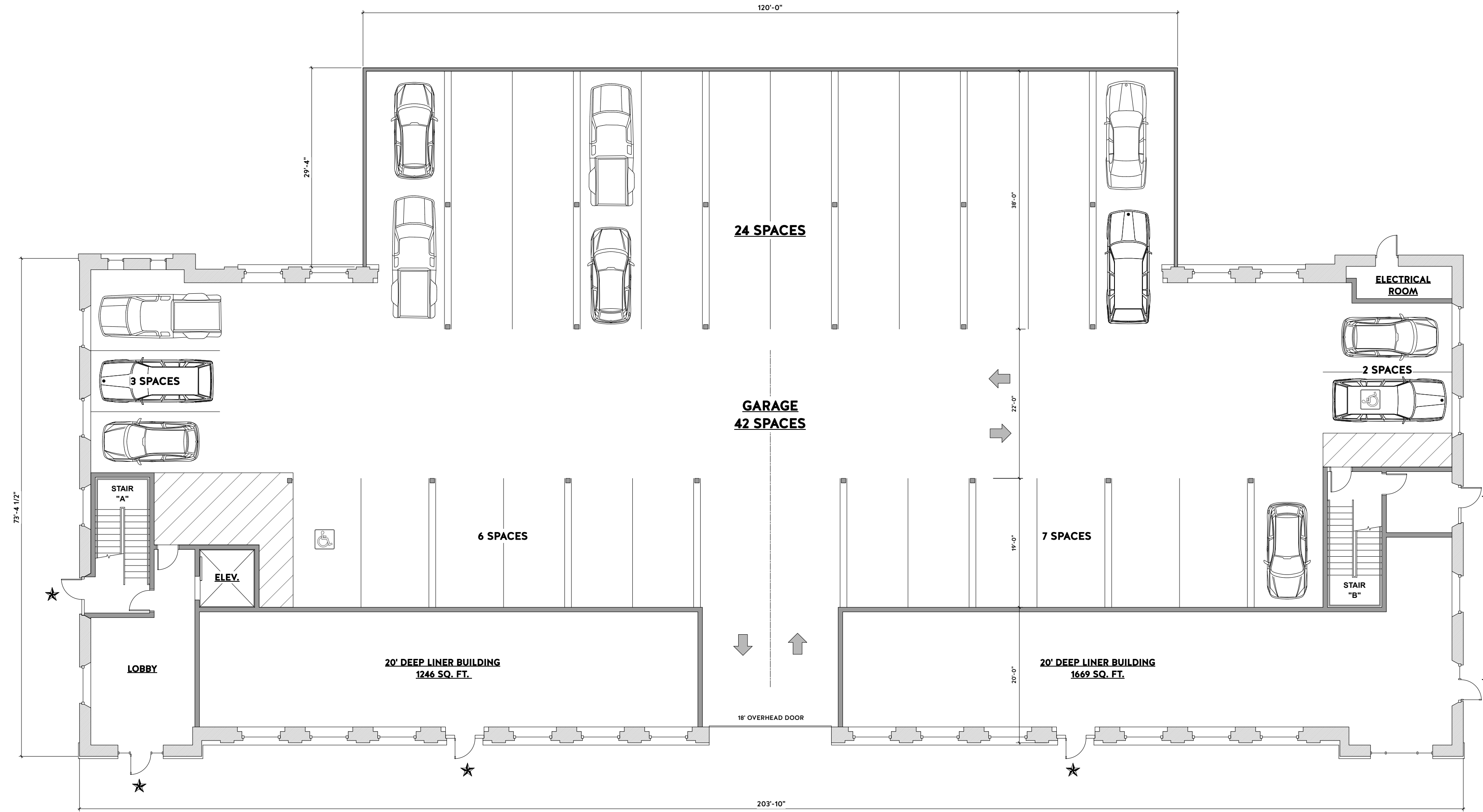
CHAIRMAN _____ DATE _____



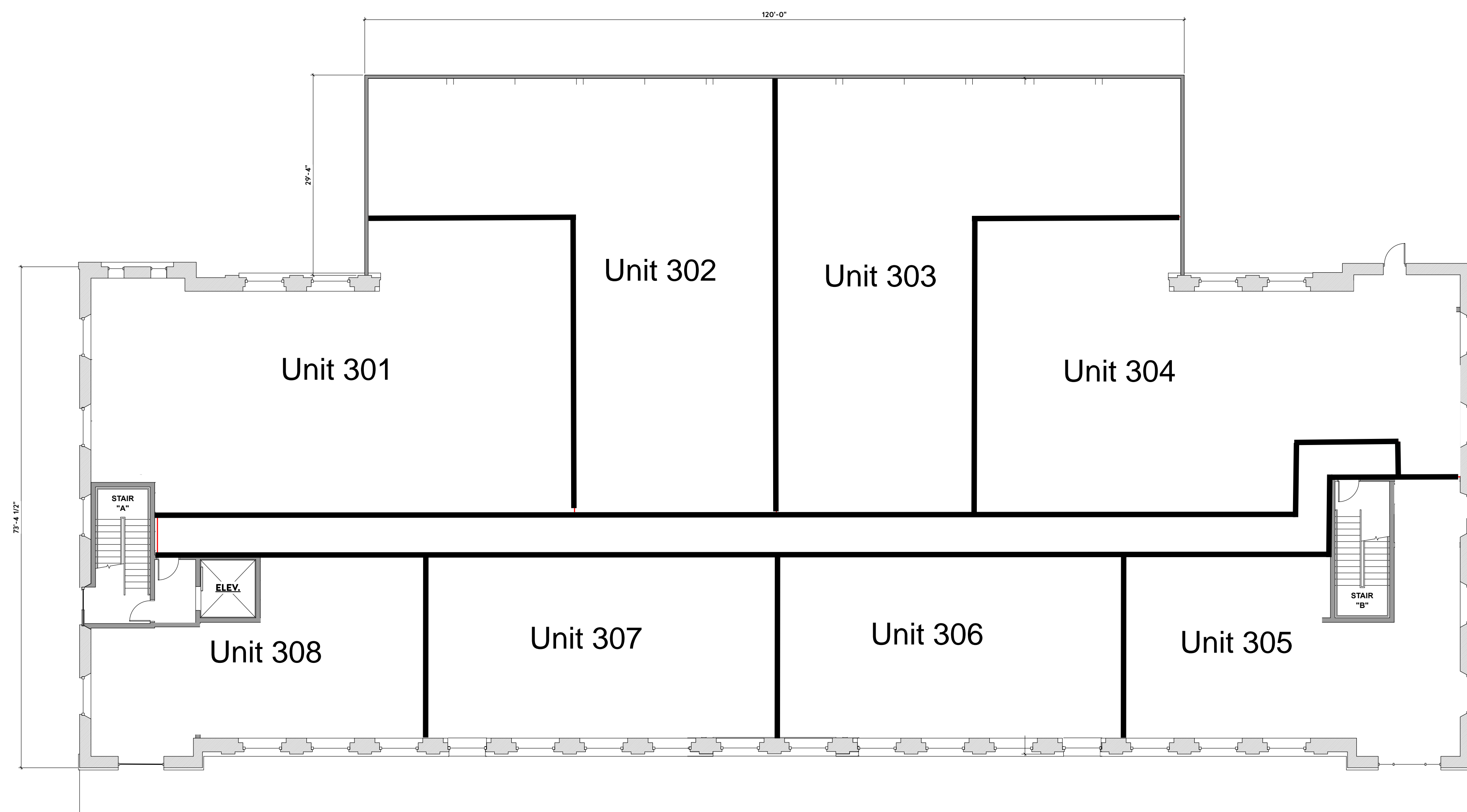
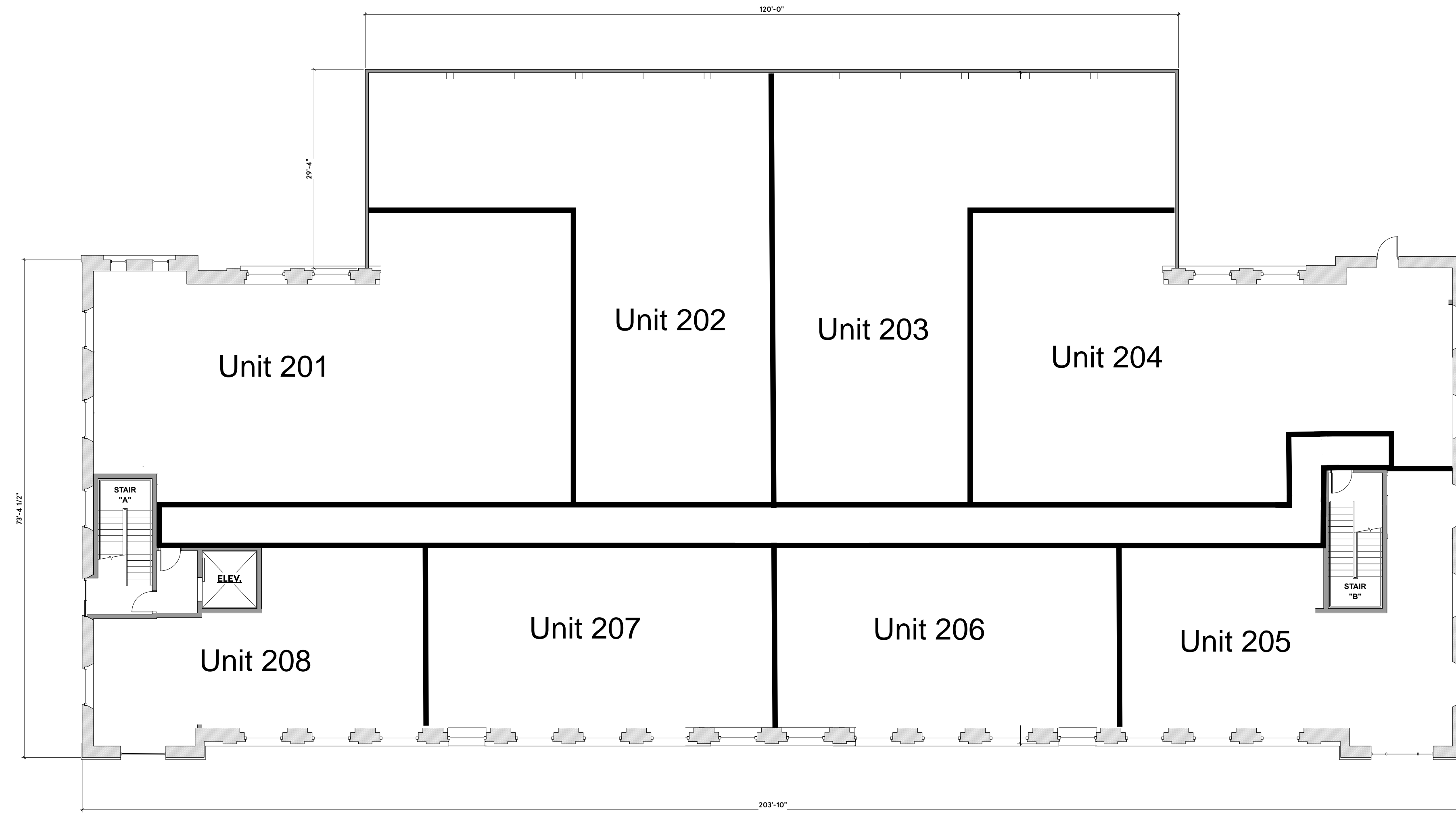
P:\NH\5010135-Hampshire Development\0397701-Hanover St., Portsmouth-RCON 28771-2024 Site Plan Plans & Specs\Sites\287701 Site Option B.dwg, 7/3/2024, 7:51:44 AM, Portsmouth Plotted, Canon TX3000, pc3

Building "A" Floorplans

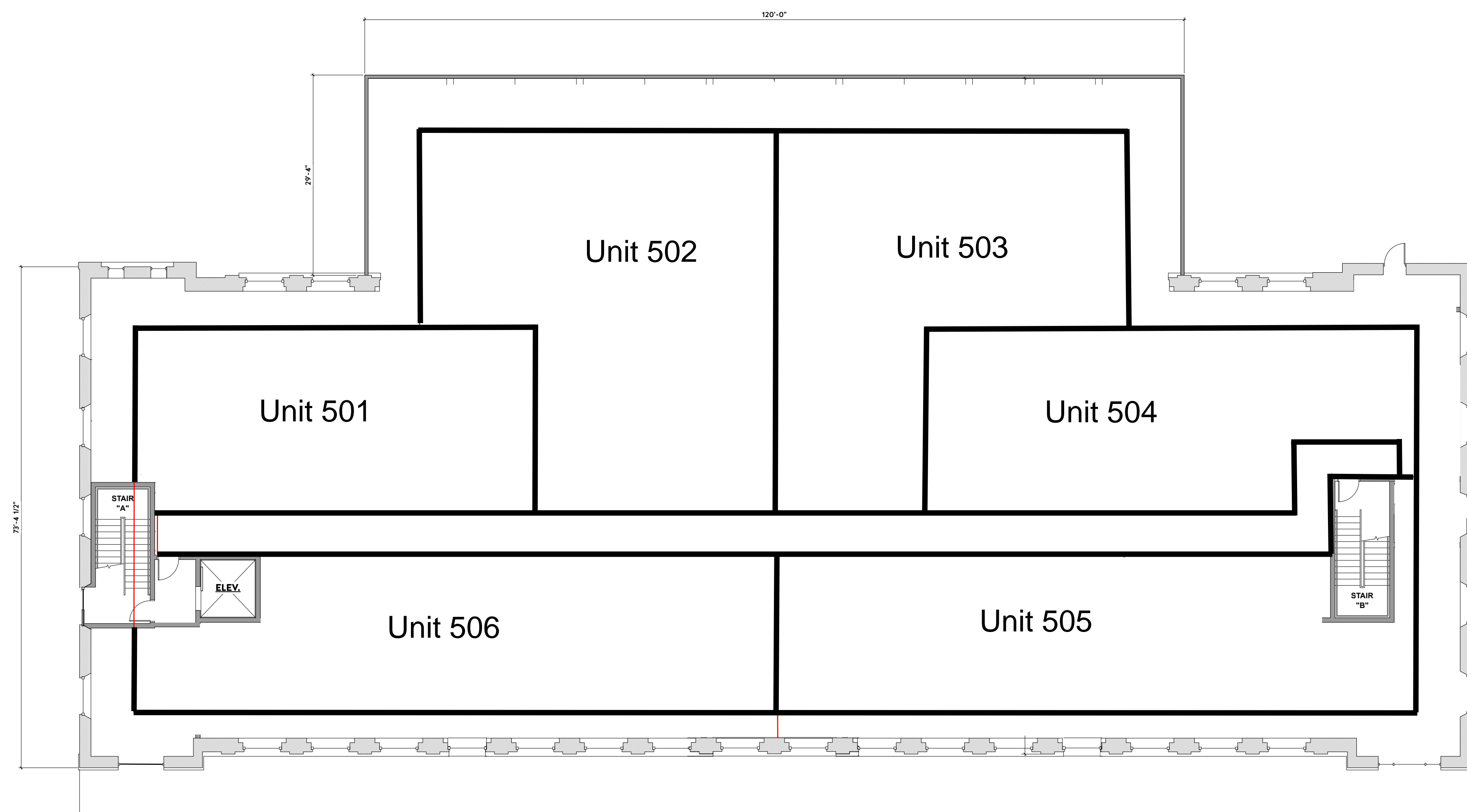
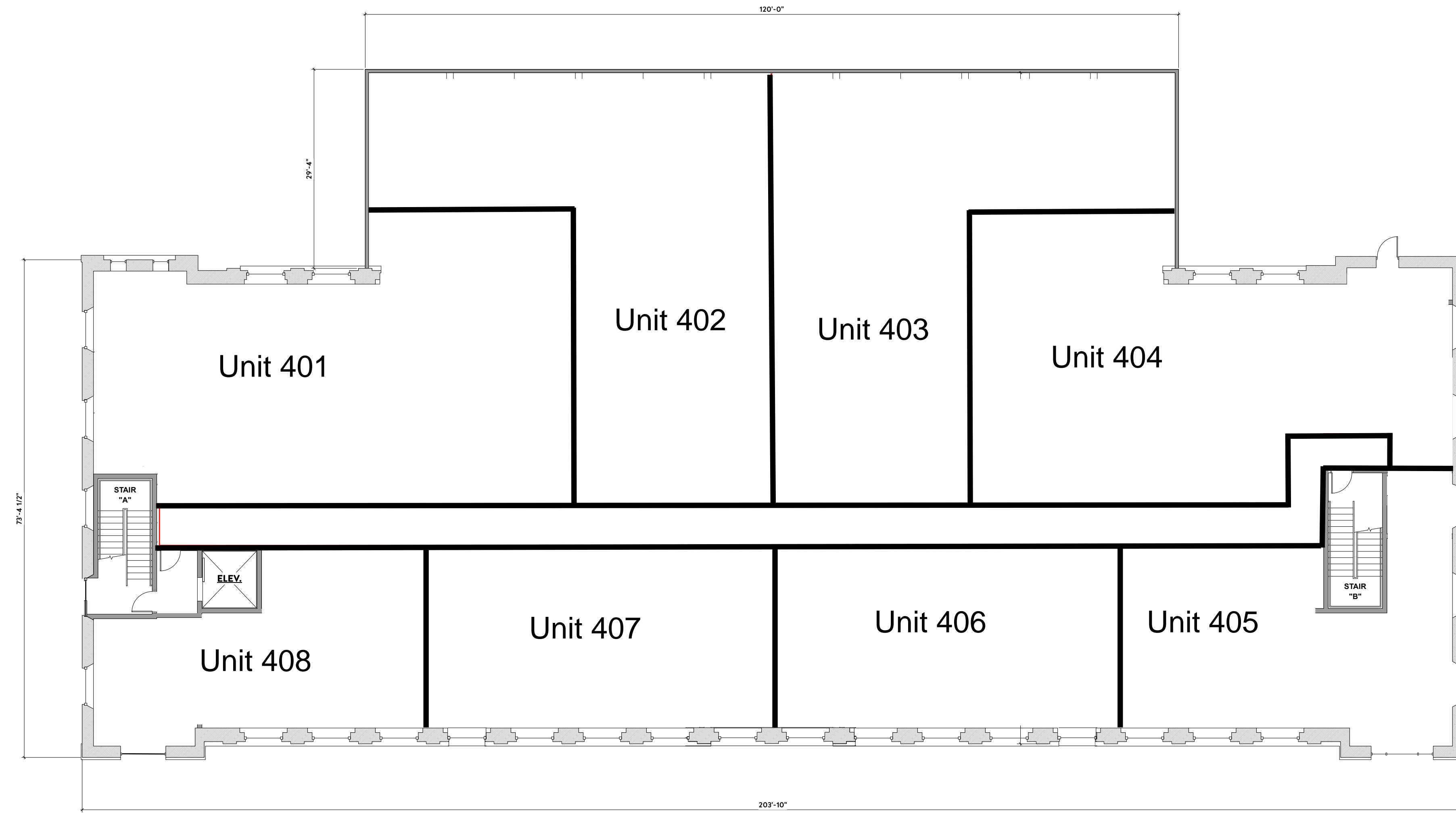
1st Floor Parking Plan (Commercial Units Shown, Residential Requested)



2nd Floor & 3rd Floor (Typical)



4th Floor (Typical) & Penthouse



PROPOSED DEVELOPMENT

361 HANOVER STREET PORTSMOUTH, NEW HAMPSHIRE TAC WORKSHOP

PERMIT LIST:
PORTSMOUTH HDC:
PORTSMOUTH ZONING BOARD:
PORTSMOUTH SITE REVIEW:
PORTSMOUTH BUILDING CONDITIONAL USE PERMIT:

OWNER/APPLICANT:

361 HANOVER STEAM
FACTORY, LLC
41 INDUSTRIAL DRIVE UNIT 20
EXETER, NH 03833
TEL. (603) 235-5475

CIVIL ENGINEER/LAND SURVEYOR:

AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
TEL. (603) 430-9282

ARCHITECT:

SCOTT BROWN
29 WATER STREET, SUITE 209
NEWBURYPORT, MA 01950
TEL. (978) 465-3535

PLANNING CONSULTANT:

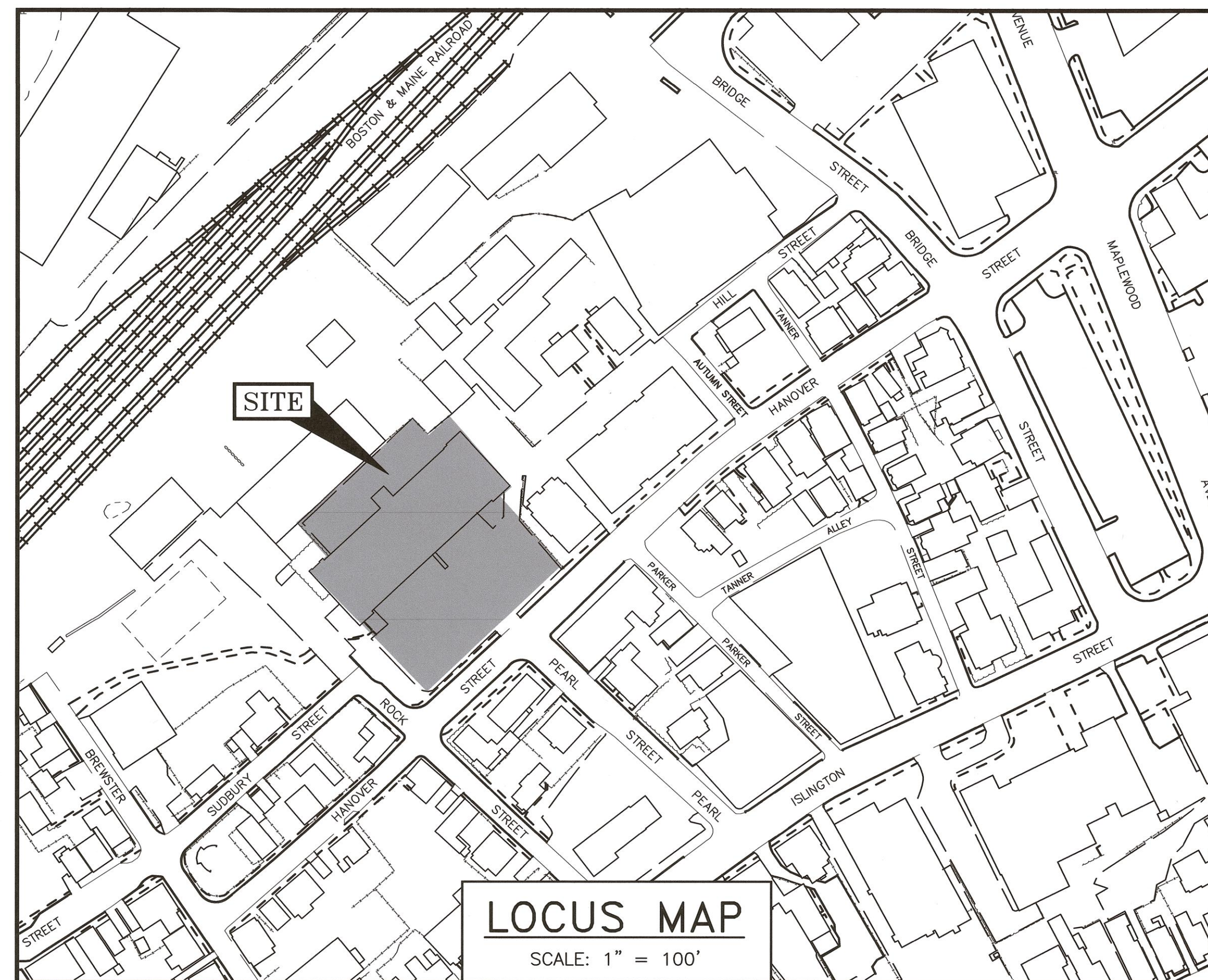
NICHOLAS CRACKNELL
TEL. (978) 270-4789

LAND USE ATTORNEY:

BOSEN & ASSOCIATES
266 MIDDLE STREET
PORTSMOUTH, N.H. 03801
TEL. (603) 427-5500

LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
S	S	SETBACK
SL	SL	SEWER PIPE
G	G	SEWER LATERAL
D	D	GAS LINE
W	W	STORM DRAIN
WS	WS	WATER LINE
UGE	UGE	WATER SERVICE
OHW	OHW	UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC/WIRES
		FOUNDATION DRAIN
100	100	EDGE OF PAVEMENT (EP)
97x3	98x0	CONTOUR
		SPOT ELEVATION
		UTILITY POLE
		WALL MOUNTED EXTERIOR LIGHTS
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD
		SHUT OFFS (WATER/GAS)
		GATE VALVE
		HYDRANT
		HYDRANT
		CATCH BASIN
		SEWER MANHOLE
		DRAIN MANHOLE
		TELEPHONE MANHOLE
		PARKING SPACE COUNT
		PARKING METER
		LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	-	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



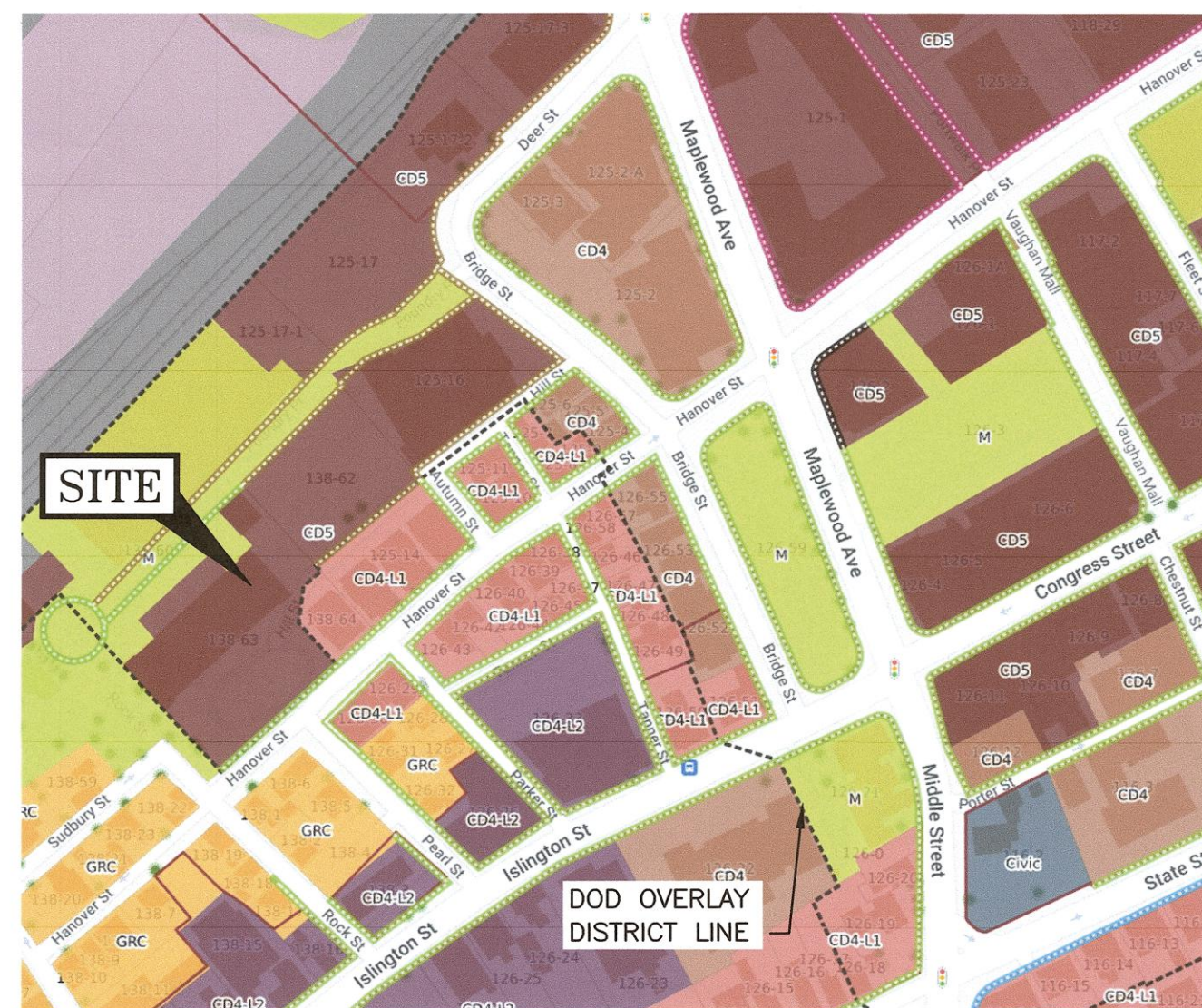
MAP 10.5A21A
CHARACTER DISTRICTS
AND CIVIC DISTRICTS

Character Districts
CD5 Character District 5
CD4 Character District 4
CD4-W Character District 4-W
CD4-L1 Character District 4-L1
CD4-L2 Character District 4-L2

MAP 10.5A21B
BUILDING HEIGHT
STANDARDS

Height requirement area	Maximum building height
1 Story	20'
2 Stories	35'
2 Stories (short 3rd)	35'
2-3 Stories	40'
2-3 Stories (short 4th)	45'
2-4 Stories	50'
2-4 Stories (short 5th)	60'
2-5 Stories	60'

*Penthouse Levels may exceed the building height by 2 feet.



UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: NICKOLAI KOSKO (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: DOUG SPARKS

COMMUNICATIONS:
CONSOLIDATED COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

INDEX OF SHEETS

DWG. NO.	
-	SUBDIVISION PLAN
-	LICENSE AREA PLAN
-	SITE ORTHOPHOTO
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	SITE PLAN
C4	UTILITY PLAN

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

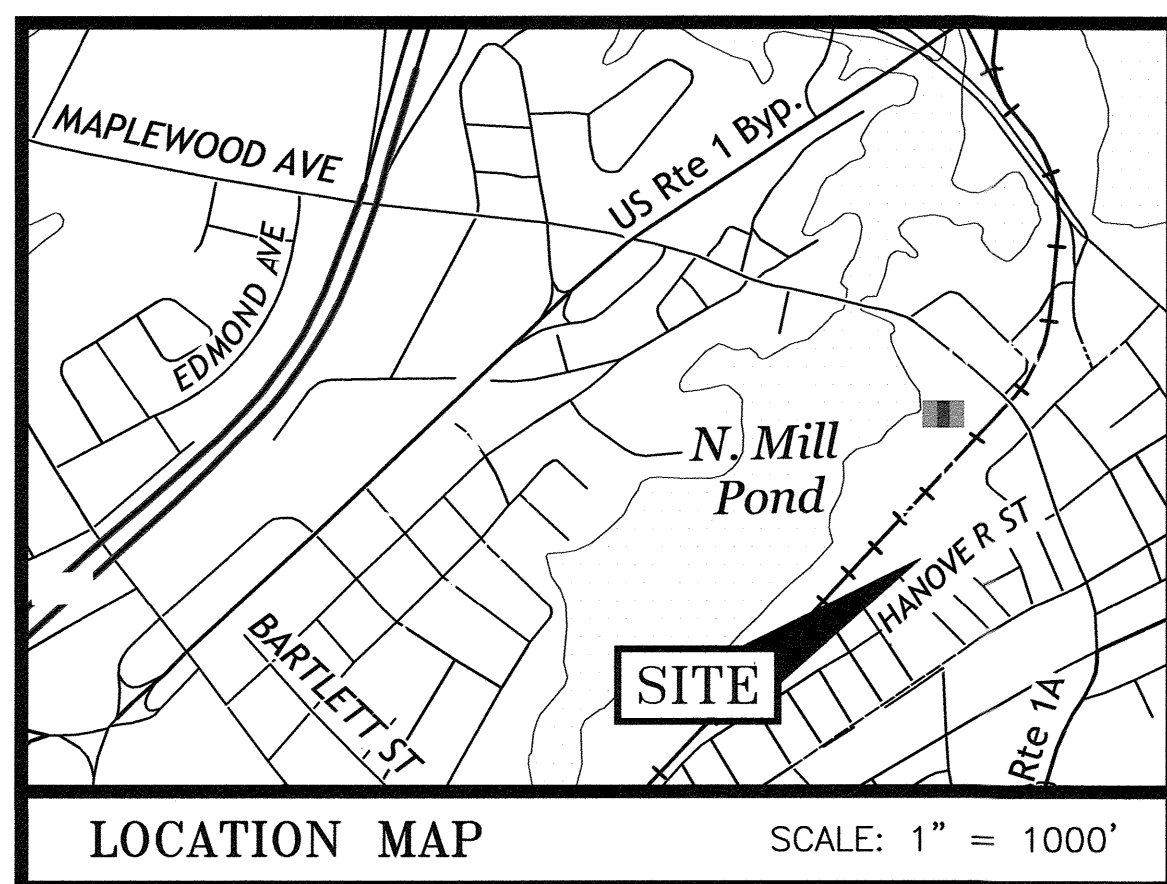
CHAIRMAN

DATE

PROPOSED DEVELOPMENT
361 HANOVER STREET
PORTSMOUTH, N.H.
TAC WORKSHOP



PLAN SET SUBMITTAL DATE: 3 DECEMBER 2024



PLAN REFERENCES:

- "PLAN OF LAND IN PORTSMOUTH, N.H. PORTSMOUTH MFG & POWER CO. TO FRANKIE BROOKS" BY JOHN W. DURGIN, DA TED FEBRUARY 1918. RCRD PLAN 078.
- "SUBDIVISION OF LAND OF PORTSMOUTH MFG. & POWER CO. PORTSMOUTH, N.H." BY JOHN W. DURGIN, DATED NOVEMBER 1925. RCRD PLAN #368.
- "LAND IN PORTSMOUTH, N.H. PORTS. MFG. & POWER CO. TO HAROLD S. WOODS" BY JOHN W. DURGIN, DATED NOVEMBER 1926. RCRD PLAN #389.
- "CONDOMINIUM SITE PLAN FOR HANOVER PLACE CONDOMINIUM 349 HANOVER STREET COUNTY OF ROCKINGHAM PORTSMOUTH, NH" BY MILLETTE, SPRAGUE & COLWELL, INC. DATED SEPTEMBER 28, 2004 LAST REVISED DECEMBER 20, 2005. RCRD PLAN D-33379.
- "CONSOLIDATION & SUBDIVISION PLAN TAX MAP 125, LOT 17 & TAX MAP 138, LOT 62 DEER STREET ASSOCIATES BRIDGE, DEER & HILL STREETS CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC. DA TED JULY 2015. RCRD PLAN D-39699.
- "KEARSARGE MILLS CONDOMINIUM PLANS" BY KIMBALL CHASE COMPANY, INC. DATED APRIL 15, 1986. RCRD PLAN D-14855.
- "BOUNDARY LINE AGREEMENT PLAN KEARSARGE MILL CONDOMINIUMS PORTSMOUTH, N.H." BY JONES & BEACH ENGINEERS, INC. DATED APRIL 10, 1997 LAST REVISED APRIL 21, 1997. RCRD PLAN D-25421.
- "AMENDED SITE PLAN, KEARSARGE MILL CONDOMINIUMS, 1 HANOVER STREET PORTSMOUTH, NH" BY KIMBALL CHASE CONSULTING ENGINEERS DATED 04-14-06 AND LAST REVISED 02-16-07. RCRD PLAN D-34716.

LENGTH TABLE

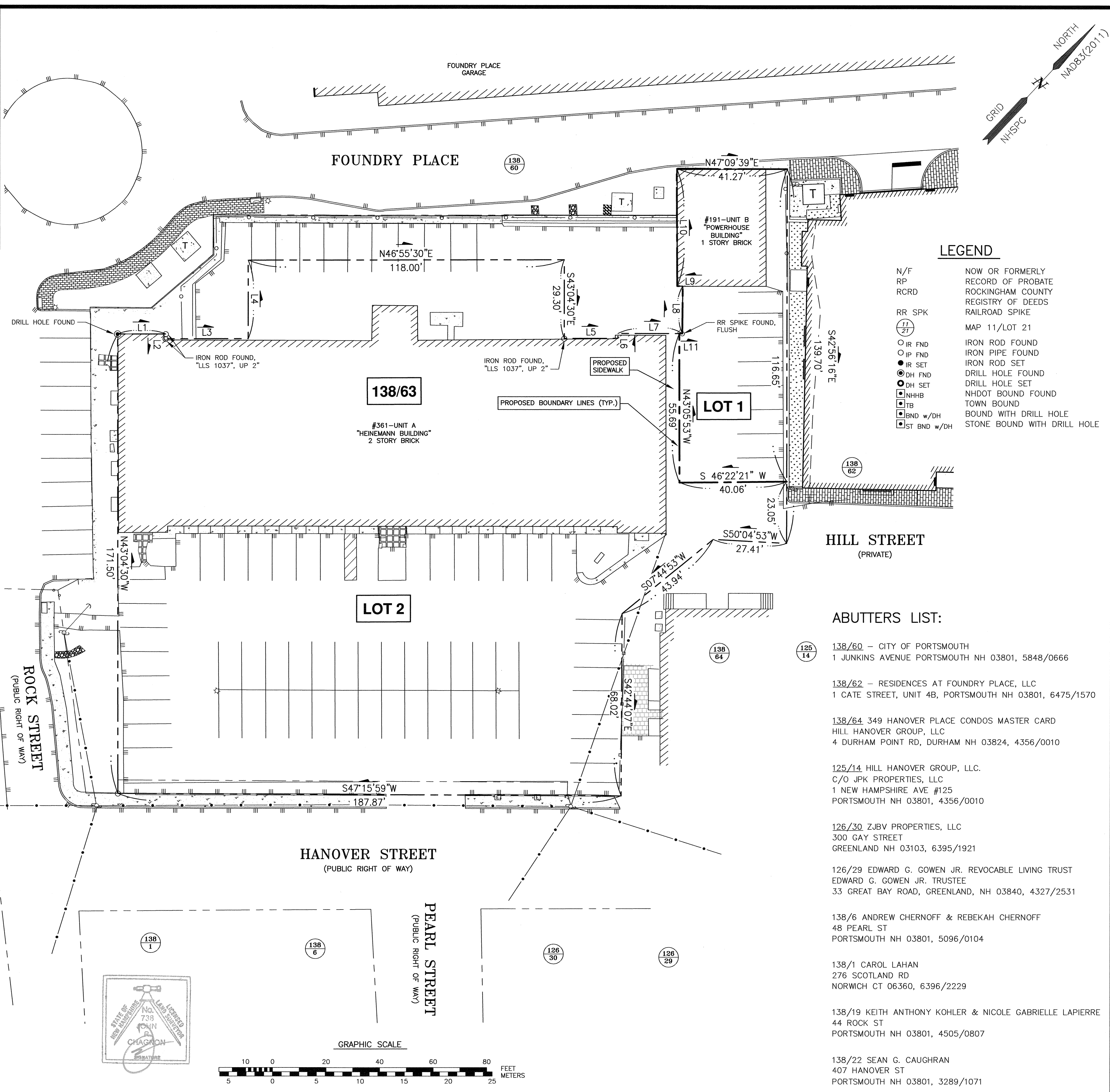
LINE	BEARING	DISTANCE
L1	N47°00'11"E	18.00'
L2	S43°03'50"E	1.78'
L3	N46°55'30"E	30.75'
L4	N43°04'30"W	29.30'
L5	N46°55'30"E	20.00'
L6	N43°04'30"W	1.80'
L7	N46°55'30"E	24.05'
L8	N42°30'12"W	17.65'
L9	S46°42'22"W	2.04'
L10	N43°17'38"W	43.88'
L11	N46°55'30"E	1.12'

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

[Signature]
JOHN R. CHAGNON, LLS DATE

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



NOTES:

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 138 AS LOT 63.
- OWNERS OF RECORD:
UNIT A:
361 HANOVER STEAM FACTORY, LLC
41 INDUSTRIAL DRIVE UNIT 20
EXETER, N.H. 03833
6352/2959
UNIT B:
POWERHOUSE REALTY TRUST
C/O ADAMS DAVID B. TRUSTEE
210 GATES STREET
PORTSMOUTH, NH 03801
5419/1223
- PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
- LOT AREAS:
EXISTING
43,245 S.F.
0.9928 AC.
PROPOSED LOT 1
4,717 S.F.
0.1083 AC.
PROPOSED LOT 2
38,528 S.F.
0.8845 AC.
- PARCEL IS LOCATED IN CHARACTER DISTRICT 5 (CD5), NORTH END INCENTIVE OVERLAY DISTRICT (NEIOD) AND DOWNTOWN OVERLAY DISTRICT.
- THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED SUBDIVISION OF TAX MAP 139, LOT 63 IN PORTSMOUTH, NH INTO 2 LOTS.
- PARCEL IS BURDENED BY THE FOLLOWING EASEMENTS:
A) ACCESS EASEMENT TO THE CITY OF PORTSMOUTH TO ALLOW ACCESS TO A PARKING AREA.
SEE R.C.R.D. 4735/2971
B) ACCESS EASEMENT TO HANOVER PLACE CONDOMINIUM ASSOCIATION. THIS EASEMENT TO BE RE-DEFINED.
- THE PARCEL HAS THE BENEFIT OF A REVOCABLE LICENSE BETWEEN THE CITY OF PORTSMOUTH AND THE KEARSARGE MILL UNIT ON THE PLAN ENTITLED "KEARSARGE MILL CONDOMINIUMS HANOVER STREET, PORTSMOUTH, NH SITE PLAN AMENDMENT" PREPARED BY KIMBALL CHASE CONSULTING ENGINEERS DATED APRIL 14, 2006. LICENSE AND SITE PLAN ARE AVAILABLE WITH THE RECORDS OF THE CITY OF PORTSMOUTH, SEE ALSO PLAN REFERENCE #6.
- PROPERTY CORNERS WILL BE SET PRIOR TO RECORDING.

NO.	DESCRIPTION	DATE
1	NOTE 7	12/3/24
0	ISSUED FOR COMMENT	4/3/24

REVISIONS

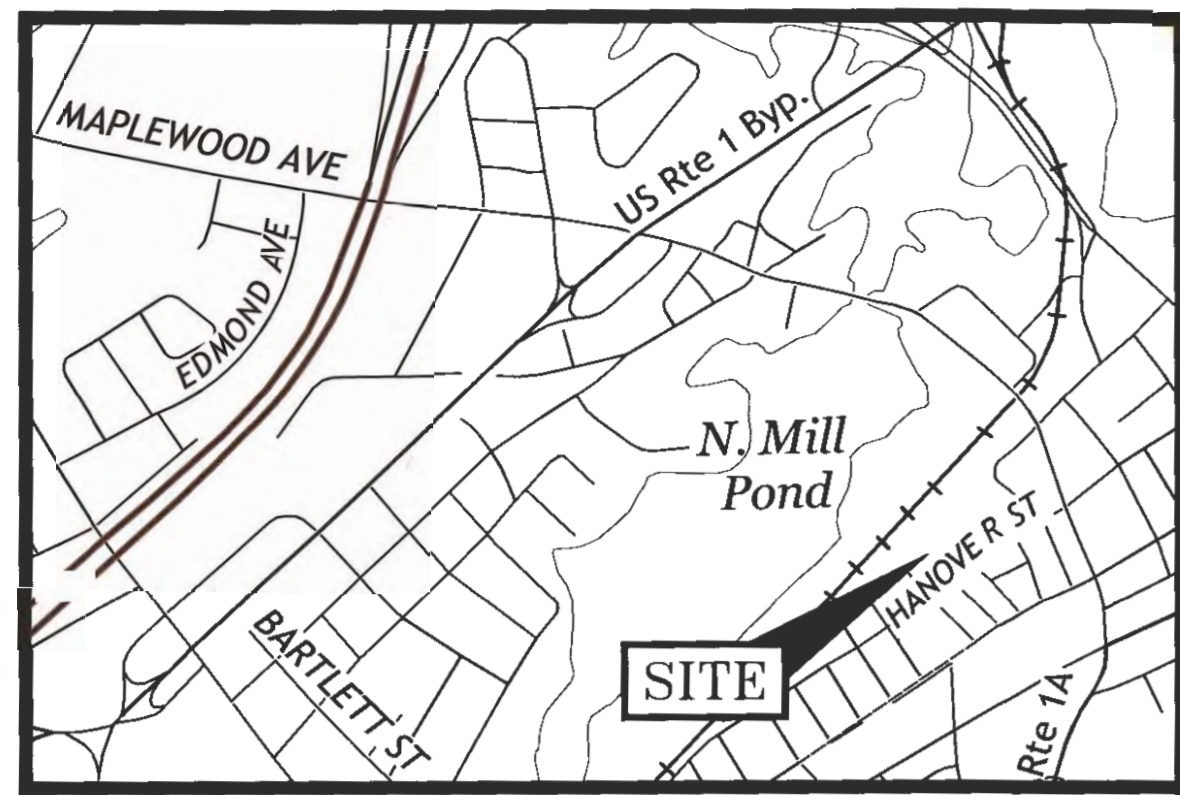
SUBDIVISION PLAN
TAX MAP 138 - LOT 63

KEARSARGE MILL UNIT OWNERS ASSOCIATION
OWNERS: 361 HANOVER STEAM FACTORY, LLC & POWERHOUSE REALTY TRUST
FOUNDY PLACE & HANOVER STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 138 AS LOT 60.
- 2) OWNERS OF RECORD:
LOT 60
CITY OF PORTSMOUTH
JUNKINS AVENUE
PORTSMOUTH, NH 03801

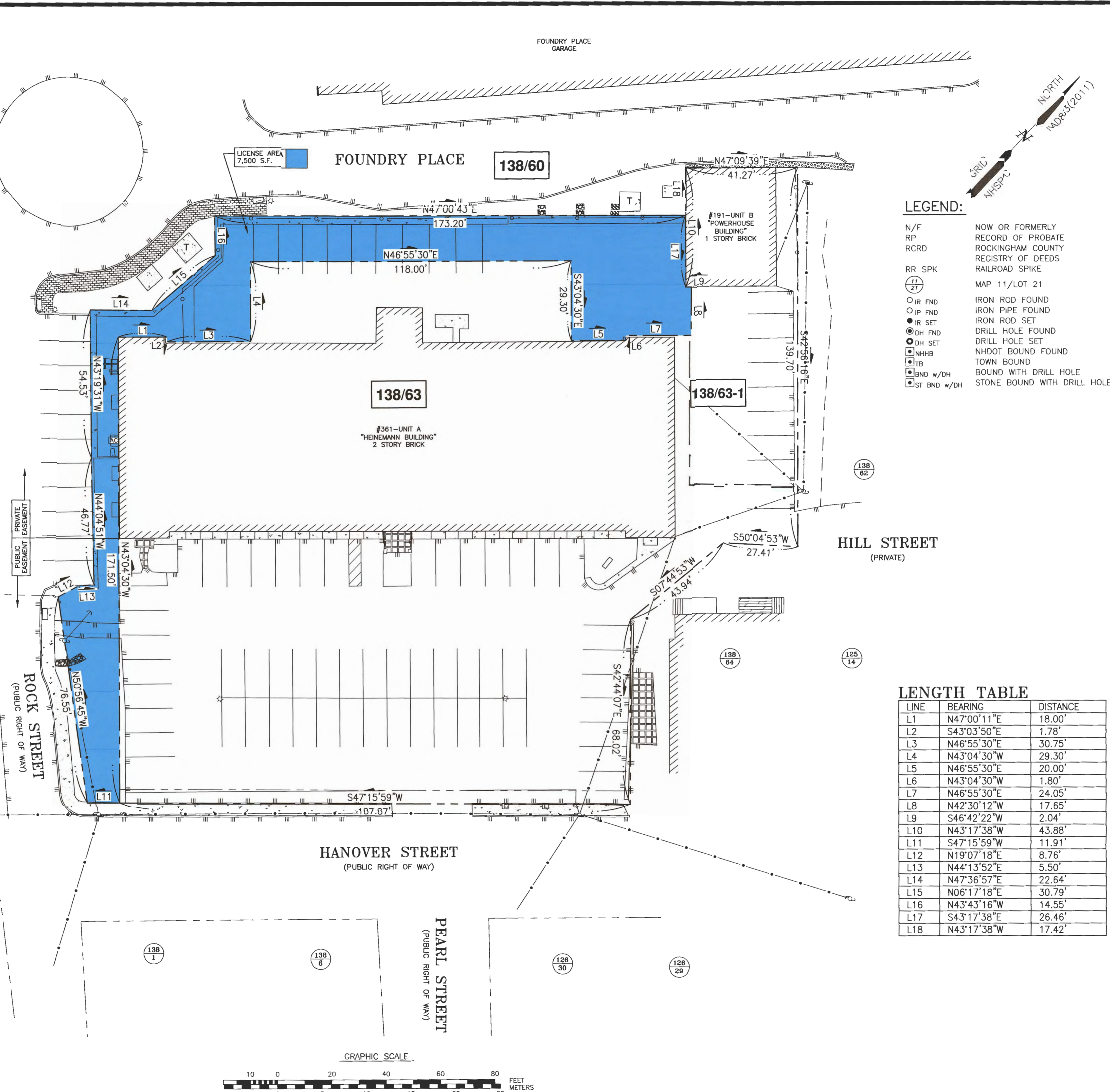
LOT 63 - UNIT A
361 HANOVER STEAM FACTORY, LLC
41 INDUSTRIAL DRIVE UNIT 20
EXETER, N.H. 03833
6352/2959
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
- 4) LOT AREA: 38,528 S.F.
- 5) PARCEL IS LOCATED IN CHARACTER DISTRICT 5 (CD5) AND DOWNTOWN OVERLAY DISTRICT.
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LICENSE AREA ON TAX MAP 138, LOT 60 TO BENEFIT TAX MAP 138, LOT 63 IN PORTSMOUTH, NH.
- 7) THE LICENSE AGREEMENT BETWEEN THE CITY OF PORTSMOUTH AND 361 HANOVER STEAM FACTORY, LLC WILL REPLACE THE EXISTING PARKING LICENSE AGREEMENT RECORDED AT DEED BOOK 4735 PAGE 2971 AND PROVIDE A PUBLIC AND PRIVATE LANDSCAPING EASEMENT TO 361 HANOVER STEAM FACTORY, LLC.



LOCATION MAP SCALE: 1" = 1000'

PLAN REFERENCES:

- 1) "PLAN OF LAND IN PORTSMOUTH, N.H. PORTSMOUTH MFG & POWER CO. TO FRANKIE BROOKS" BY JOHN W. DURGIN. DA TED FEBRUARY 1918. RCRD PLAN 078.
- 2) "SUBDIVISION OF LAND OF PORTSMOUTH MFG. & POWER CO. PORTSMOUTH, N.H." BY JOHN W. DURGIN. DATED NOVEMBER 1925. RCRD PLAN #368.
- 3) "LAND IN PORTSMOUTH, N.H. PORTS. MFG. & POWER CO. TO HAROLD S. WOODS" BY JOHN W. DURGIN. DATED NOVEMBER 1926. RCRD PLAN #389.
- 4) "CONDOMINIUM SITE PLAN FOR HANOVER PLACE CONDOMINIUM 349 HANOVER STREET COUNTY OF ROCKINGHAM PORTSMOUTH, NH" BY MILLETTE, SPRAGUE & COLWELL, INC. DATED SEPTEMBER 28, 2004 LAST REVISED DECEMBER 20, 2005. RCRD PLAN D-33379.
- 5) "CONSOLIDATION & SUBDIVISION PLAN TAX MAP 125, LOT 17 & TAX MAP 138, LOT 62 DEER STREET ASSOCIATES BRIDGE, DEER & HILL STREETS CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC. DA TED JULY 2015. RCRD PLAN D-39699.
- 6) "KEARSARGE MILLS CONDOMINIUM PLANS" BY KIMBALL CHASE COMPANY, INC. DATED APRIL 15, 1986. RCRD PLAN D-14855.
- 7) "BOUNDARY LINE AGREEMENT PLAN KEARSARGE MILL CONDOMINIUMS PORTSMOUTH, N.H." BY JONES & BEACH ENGINEERS, INC. DATED APRIL 10, 1997 LAST REVISED APRIL 21, 1997. RCRD PLAN D-25421.
- 8) "AMENDED SITE PLAN, KEARSARGE MILL CONDOMINIUMS, 1 HANOVER STREET PORTSMOUTH, NH" BY KIMBALL CHASE CONSULTING ENGINEERS DATED 04-14-06 AND LAST REVISED 02-16-07. RCRD PLAN D-34716.



LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- (11/21) MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- ⊙ DH FND DRILL HOLE FOUND
- ⊙ DH SET DRILL HOLE SET
- ⊙ NHHB NHDOT BOUND FOUND
- ⊙ TB TOWN BOUND
- ⊙ BND w/DH BOUND WITH DRILL HOLE
- ⊙ ST BND w/DH STONE BOUND WITH DRILL HOLE

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	N47°00'11"E	18.00'
L2	S43°03'50"E	1.78'
L3	N46°55'30"E	30.75'
L4	N43°04'30"W	29.30'
L5	N46°55'30"E	20.00'
L6	N43°04'30"W	1.80'
L7	N46°55'30"E	24.05'
L8	N42°30'12"W	17.65'
L9	S46°42'22"W	2.04'
L10	N43°17'38"W	43.88'
L11	S47°15'59"W	11.91'
L12	N19°07'18"E	8.76'
L13	N44°13'52"E	5.50'
L14	N47°36'57"E	22.64'
L15	N06°17'18"E	30.79'
L16	N43°43'16"W	14.55'
L17	S43°17'38"E	26.46'
L18	N43°17'38"W	17.42'

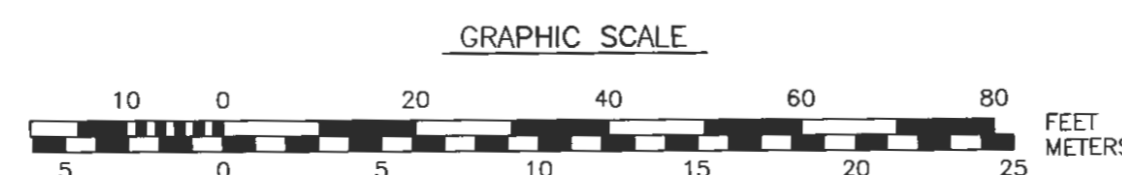


"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

John R. Chagnon
JOHN R. CHAGNON, I.I.S. DATE 7-3-24

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



PROPOSED LICENSE AREA PLAN
TAX MAP 138 - LOT 63
CITY OF PORTSMOUTH
TO
361 HANOVER STEAM
FACTORY, LLC
FOUNDRY PLACE & ROCK STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE



NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 138 AS LOT 63.

2) APPLICANT:
 361 HANOVER STEAM FACTORY, LLC
 41 INDUSTRIAL DRIVE UNIT 20
 EXETER, NH 03833
 6352/2959

3) THE PURPOSE OF THIS PLAN IS TO SHOW SITE FEATURES AS OF FEBRUARY 2023 ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 138 LOT 63.

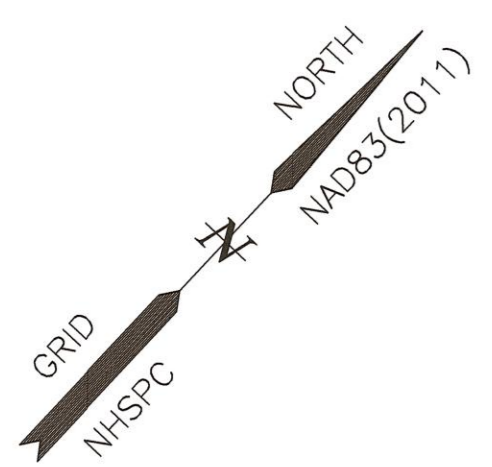
LICENSE AREA
 7,500 S.F.

138/60

#151-UNIT B
 "POWERHOUSE
 BUILDING"
 1 STORY BRICK

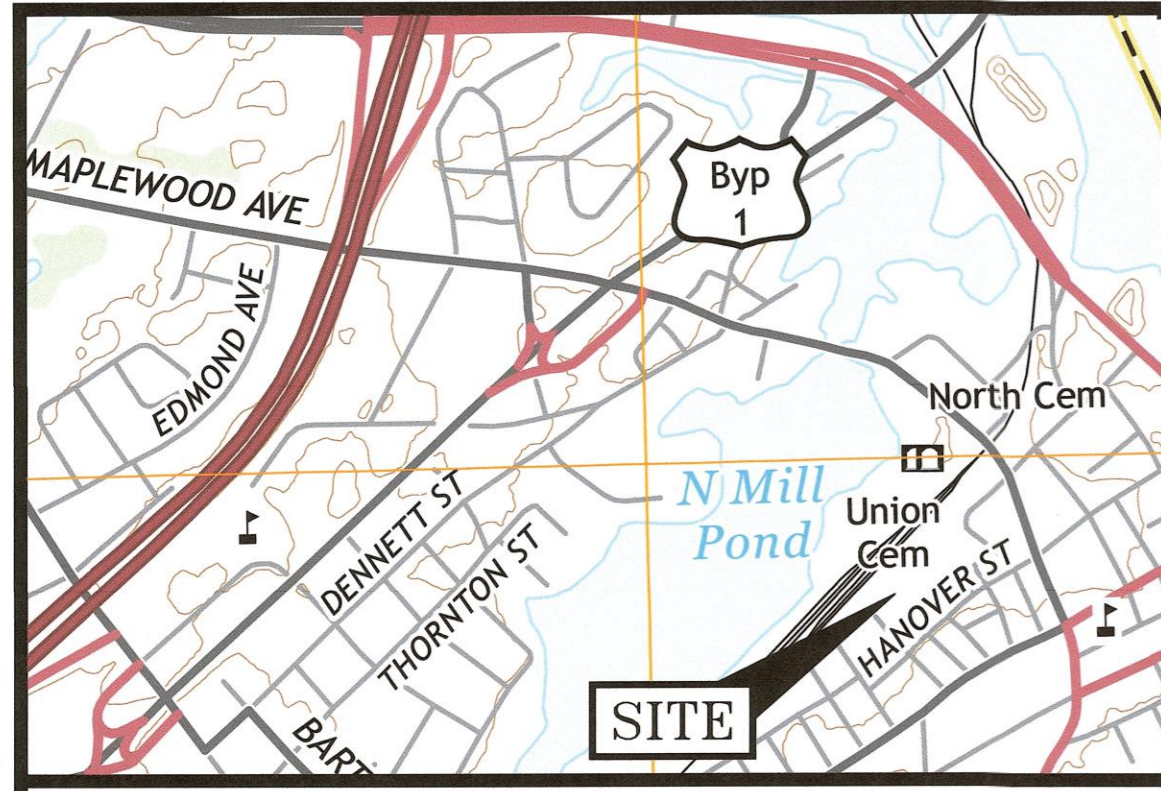
138/63

#361-UNIT A
 "HEINEMANN BUILDING"
 2 STORY BRICK



NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/3/24
REVISIONS		

SITE ORTHOPHOTO
TAX MAP 138 - LOT 63
361 HANOVER STEAM FACTORY, LLC
FOUNDRY PLACE & ROCK STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

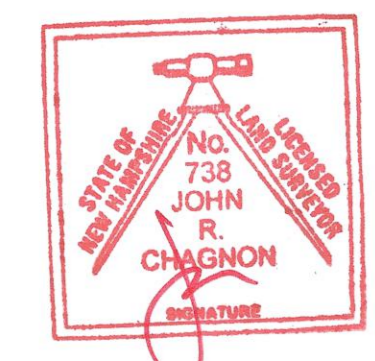
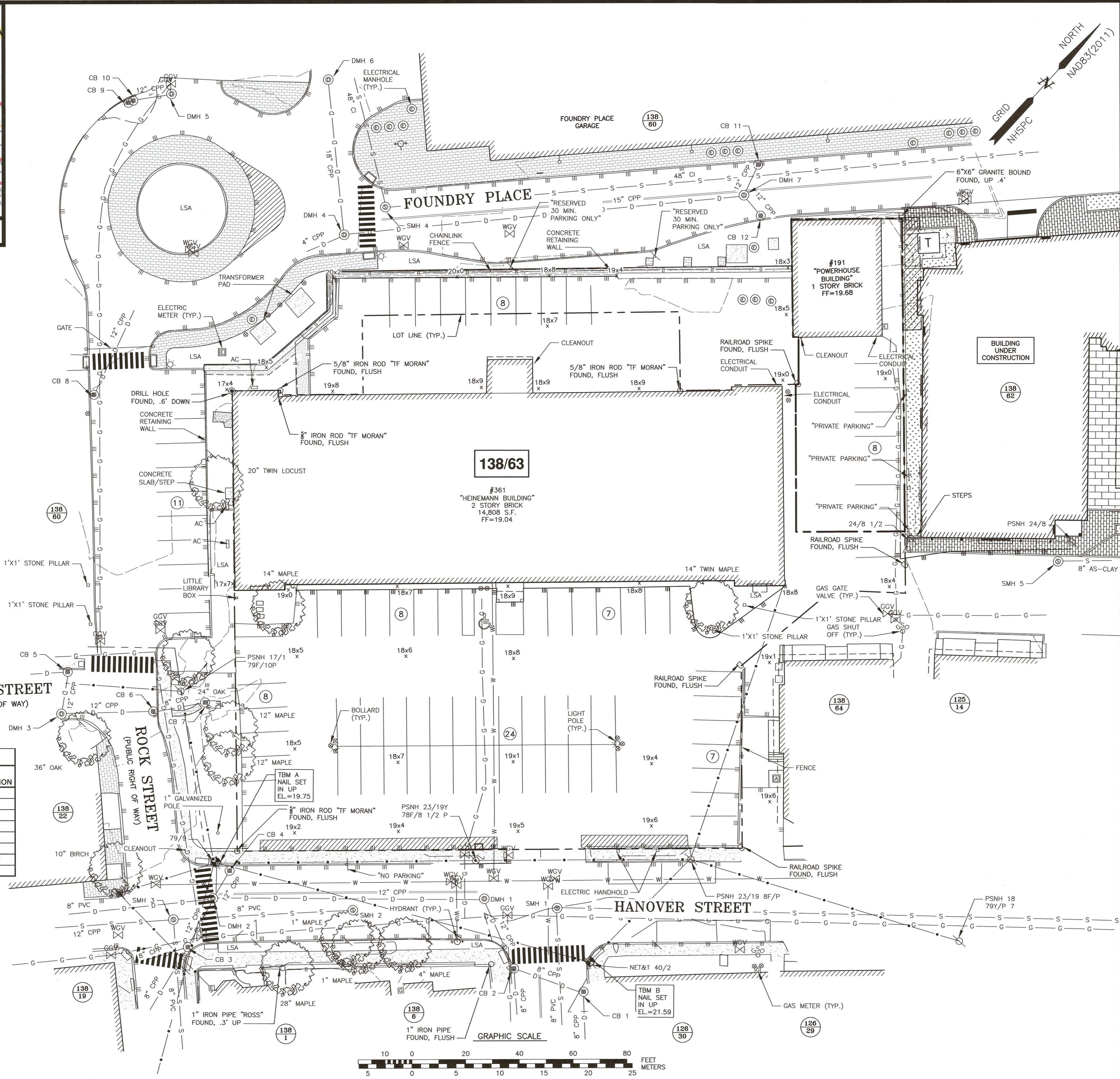


LOCATION MAP SCALE: 1"=1,000'

- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 138 AS LOT 63.
 - OWNER OF RECORD:
 361 HANOVER STEAM FACTORY, LLC
 41 INDUSTRIAL DRIVE UNIT 20
 EXETER, N.H. 03833
 6352/2959
 - PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F. JANUARY 29 2021.
 - EXISTING LOT AREA:
 38,528 S.F.
 - PARCEL IS LOCATED IN CHARACTER DISTRICT 5 (CD5), NORTH END INCENTIVE OVERLAY DISTRICT, AND DOWNTOWN OVERLAY DISTRICT.
 - DIMENSIONAL REQUIREMENTS:
 SEE ZONING ORDINANCE
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON PORTSMOUTH ASSESSOR'S MAP 138 AS LOT 63, AS AMENDED.
 - VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

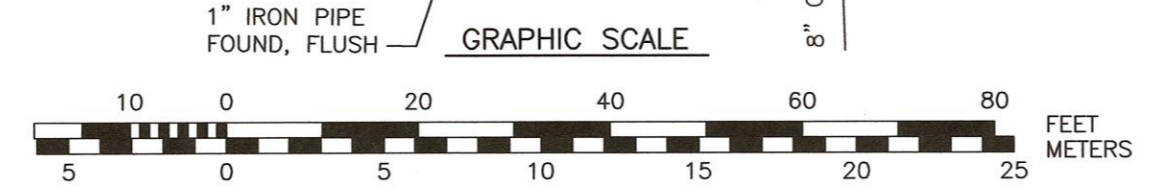
DRAINAGE STRUCTURE TABLE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
CB 1	EX	20.66	8" CPP	17.51	17.46	SW
CB 2	EX	20.35	12" CPP	15.80	15.70	SE
CB 3	EX	19.29	8" CPP	16.50	16.54	NE
CB 4	EX	18.90	12" CPP	16.24	15.65	SE
CB 5	EX	15.00	12" CPP	16.29	10.00	SW
CB 6	EX	15.60	8" CPP	13.20	12.85	NE
CB 7	EX	17.43	8" CPP	16.28	16.28	SW
CB 8	EX	12.15	12" CPP	7.45	5.86	NW
CB 9&10	EX	9.76	12" CPP	5.86	5.86	NE
CB 11	EX	10.07	12" CPP	6.17	6.17	SE
CB 12	EX	10.22	12" CPP	6.92	6.92	W
DMH 1	EX	19.81	12" CPP	15.56	15.56	SW
DMH 2	EX	19.08	12" CPP	15.03	15.03	E
DMH 3	EX	15.30	12" CPP	10.65	10.65	NW
DMH 4	EX	11.86	18" CPP	5.46	5.46	NE
DMH 5	EX	9.87	4" PVC	9.36	NO DATA	S
DMH 6	EX	11.84	12" CPP	6.29	NO DATA	SW
DMH 7	EX	10.19	12" CPP	6.44	6.29	NW
			12" CPP	6.39		E

SEWER STRUCTURE TABLE						
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH 1	EX	20.06	15" PVC	14.41	14.36	NE
SMH 2	EX	19.31	8" PVC	12.91	12.91	SW
SMH 3	EX	19.15	8" PVC	11.60	11.45	SW
SMH 4	EX	12.23	48" CI	-0.77	-0.77	NE



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

John R. Chagnon 4.3.24
 JOHN R. CHAGNON, LLS DATE



**SITE REDEVELOPMENT
 361 HANOVER STREET
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	ISSUED FOR REVIEW	4/3/24
1	UPDATE E.C. & ADD SPOT GRADES	2/28/24
0	ISSUED FOR COMMENT	1/31/24

SCALE: 1"=20' JANUARY 2024

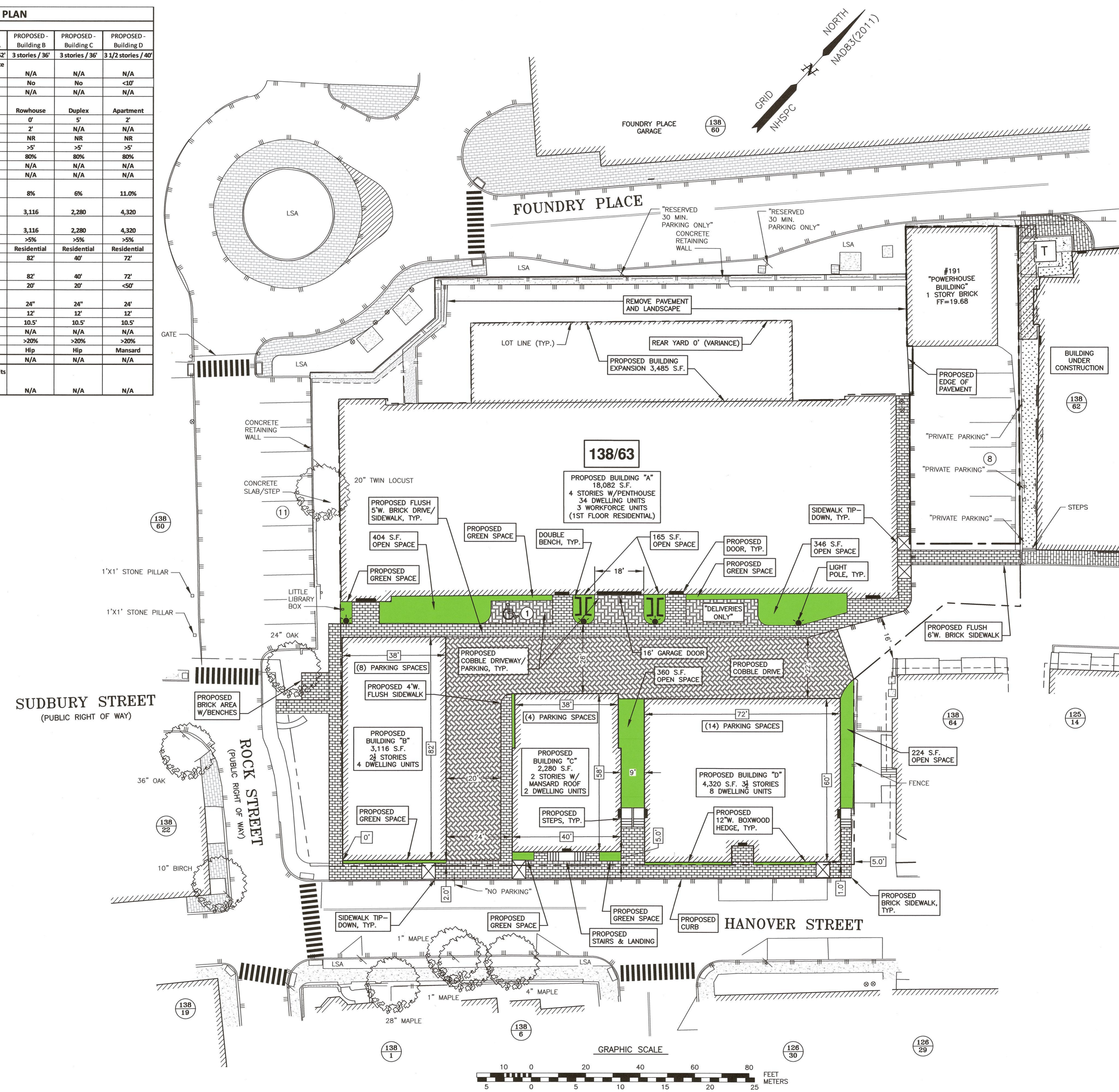
EXISTING CONDITIONS PLAN **C1**

ZONING DEVELOPMENT STANDARD - CUP PLAN						
CDS: CHARACTER DISTRICT 5, DOD: DOWNTOWN OVERLAY DISTRICT						
	REQUIRED	EXISTING	PROPOSED - Building A	PROPOSED - Building B	PROPOSED - Building C	PROPOSED - Building D
Height	2-3 stories / 40'	2 stories / 18' +/-	4 stories w/ penthouse 52'	3 stories / 36'	3 stories / 36'	3 1/2 stories / 40'
Penthouses	may exceed bldg height by 2'	N/A	Yes (75% Habitable Space / 8' Setback)	N/A	N/A	N/A
Roof appurtenance	may exceed bldg height by 10'	<10'	<10'	No	No	<10'
Facade Types	N/A	N/A	N/A	N/A	N/A	N/A
Building Types	commercial, live-work, mixed use, flex space & community.	Commercial	Apartment	Rowhouse	Duplex	Apartment
Front (principle) max	5	99'	99'	0'	5'	2'
Front (secondary) max	5	0'	0'	2'	N/A	N/A
Side	NR	NR	NR	NR	NR	NR
Rear yard	5'	0'	0'	>5'	>5'	>5'
Front lotline buildout	80% min	100%	100%	80%	80%	80%
Lot area (sf)	NR	N/A	N/A	N/A	N/A	N/A
LOT area per dwelling	NR	N/A	N/A	N/A	N/A	N/A
Building coverage, maximum	95%	38%	47%	8%	6%	11.0%
Maximum building footprint	20,000	14,808	18,082	3,116	2,280	4,320
Ground floor area per use, max	15,000	14,808	<15,000	3,116	2,280	4,320
Open space, minimum	5%	<5%	>5%	>5%	>5%	>5%
Permitted uses		Commercial	Residential	Residential	Residential	Residential
Block length, max (ft)	225	205'	205'	82'	40'	72'
Facade modulation length, max (ft)	100	205	205	82'	40'	72'
Entrance spacing, max (ft)	50	>50'	50	20'	20'	<50'
Floor height above sidewalk, max	36"	0"	0"	24"	24"	24"
Ground story height, min	12'	10'	10'	12'	12'	12'
Second story height, min	10'	10.5'	10.5'	10.5'	10.5'	10.5'
Glazing, shopfront, min	70%	N/A	N/A	N/A	N/A	N/A
Glazing, other	20%-50%	>20%	>20%	>20%	>20%	>20%
Roof types	flat, gable, hip, gambrel, mansard	Flat	Flat	Hip	Hip	Mansard
Community Space	>10% or 3,852 SF (1,926 SF as pervious)	N/A	4,250 SF +/- (12%)	N/A	N/A	N/A
Workforce Housing Units	If rental units =10% of total units. 10% of 36 = 3.4 Units = 3 Units	N/A	3 Workforce Housing Units Floor 1 = 1 Unit Floor 2 = 2 Units	N/A	N/A	N/A

Shaded Boxes = Zoning Relief Required

- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 138 AS LOT 63.
 - APPLICANT:
361 HANOVER STEAM FACTORY, LLC
41 INDUSTRIAL DRIVE UNIT 20
EXETER, N.H. 03833
 - PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F. JANUARY 29 2021.
- PROPOSED LOT AREAS:
LOT 138/63
38,528 S.F.±
0.8845 AC

LOT 138/63-1
4,717 S.F.
0.1083 AC
- PARCEL IS LOCATED IN CHARACTER DISTRICT 5 (CD5), NORTH END INCENTIVE OVERLAY, AND DOWNTOWN OVERLAY DISTRICT.
- DIMENSIONAL REQUIREMENTS:**
*SEE PORTSMOUTH ZONING ORDINANCE AND TABLE.
MINIMUM LOT AREA: NR
SETBACKS:
FRONT: 5 FEET (MAXIMUM)
SIDE: NR
REAR: 5 FEET
MAXIMUM BUILDING COVERAGE: 95%
MINIMUM OPEN SPACE: 5%
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 138 LOT 63.
 - VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - PROPOSED USE: 48 RESIDENTIAL DWELLING UNITS



SITE REDEVELOPMENT
361 HANOVER STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	REVISED LAYOUT	7/3/24
0	ISSUED FOR COMMENT	6/12/24



SCALE: 1"=20' JANUARY 2024

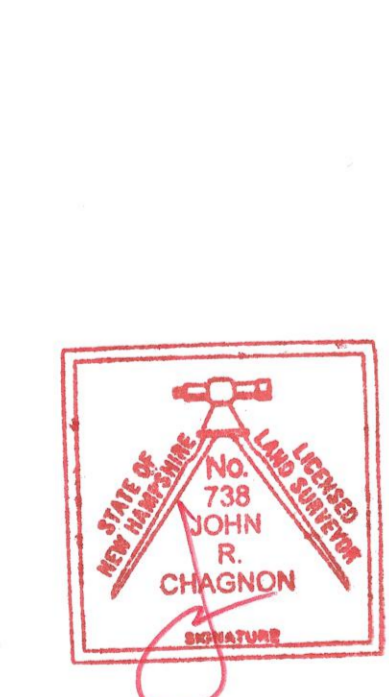
SITE PLAN **C3**

THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

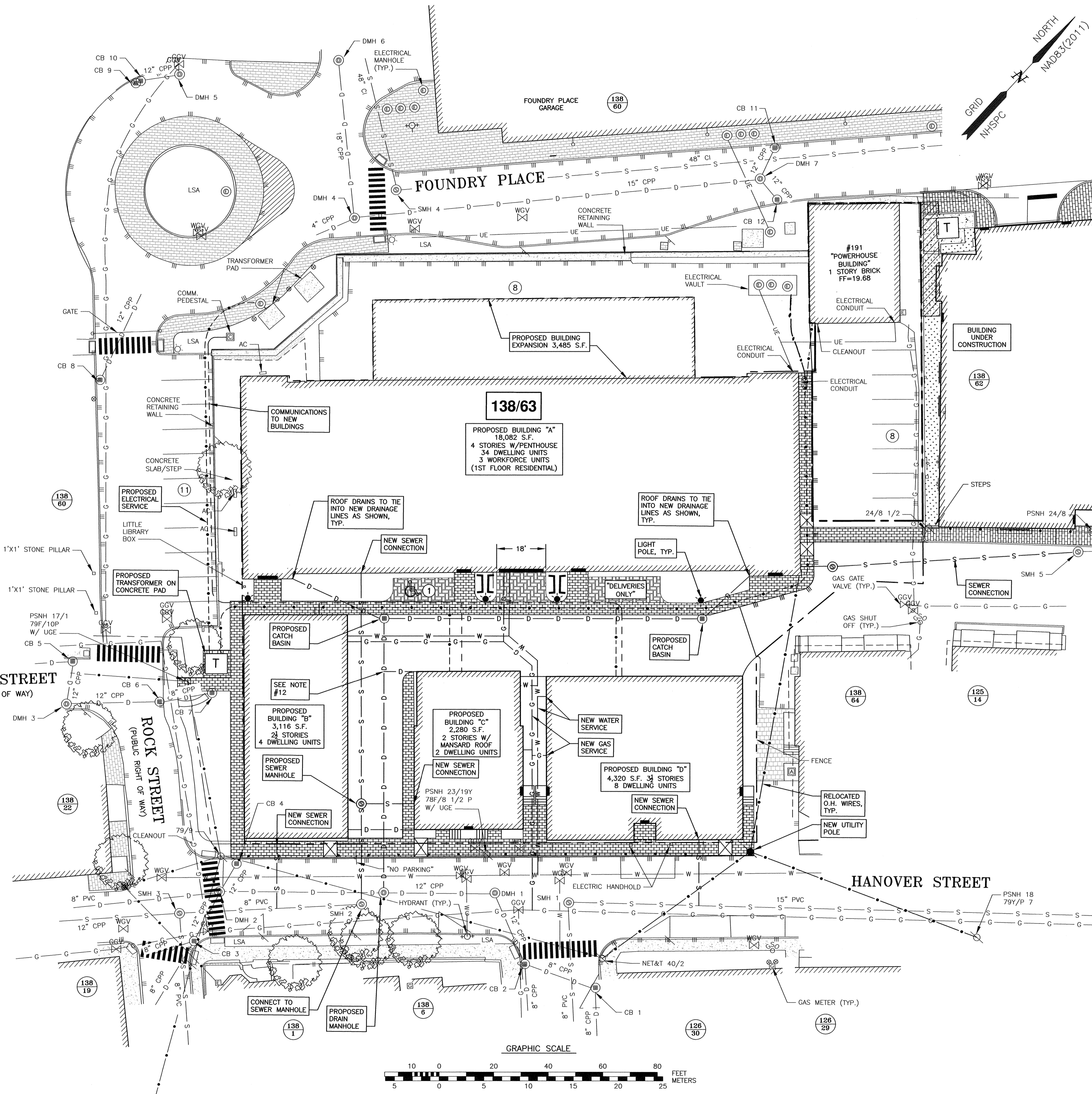
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



UTILITY NOTES:

- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION.
- ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.



NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION." (NHDES DECEMBER 2008).
- INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS (IN THE PROJECT VICINITY) UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- EVSOURCE WORK ORDER #XXXXXX
- PROPOSED SEWER FLOW:
 36 UNITS X 170 GPD/UNITS = 6,120 GPD
 TOTAL FLOW: 6,120 GPD
 COMMERCIAL TBD S.F. 5 GPD/100 SF = TBD GPD
- THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- FINAL CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.
- EXISTING UTILITIES TO BE ABANDONED SHALL BE REMOVED TO THE UTILITY MAIN AND CAPPED PER THE UTILITY COMPANY REQUIREMENT.
- ROOF LEADERS FOR BUILDING B, C, & D WILL CONNECT TO THIS DRAIN LINE.

SITE REDEVELOPMENT
361 HANOVER STREET
PORTSMOUTH, N.H.

NO.	ISSUED FOR COMMENT	DATE
0	ISSUED FOR COMMENT	12/3/24
REVISIONS		
NO.	DESCRIPTION	DATE



SCALE: 1"=20' JANUARY 2024

UTILITY PLAN
C4

SEWER STRUCTURE TABLE

STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
SMH 1	EX	20.06	15" PVC		14.36	NE
SMH 2	EX	19.31	8" PVC	14.41	12.91	SE
SMH 3	EX	19.15	8" PVC		11.45	SW
			8" PVC	11.60		NE
			8" PVC	13.90		SE
SMH 4	EX	12.23	48" CI	-0.77	-0.77	NW
			48" CI		-0.77	NE

