

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

March 12, 2024

AGENDA

2:00 PM

15 Middle St
15 Middle Street Real Estate Holding Co. LLC, Owner
Ross Engineering LLC, Engineer
(LUTW-24-3)

Site Plan Review

2:30 PM

100 Durgin Lane
100 Durgin Lane LLC, Owner
Tighe & Bond, Engineer
(LUTW-24-4)

**Site Plan Review/Lot Line Revision
Site CUP/Highway Noise Overlay CUP**

Ross Engineering, LLC
Civil / Structural Engineering

909 Islington Street
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

15 Middle Street
Project Description



We are requesting a Technical Advisory Work Session for March 15, 2024. Site Review is required for the proposed third floor apartments at this address.

Attached to the Site Review application is the following:

- Letter from Attorney Derek Durbin outlining project and City of Portsmouth regulations that apply, and project background, with Exhibits.
- Floor Plans by JSN Associates, LLC dated December 1, 2023.
- Site Plans by Ross Engineering, LLC dated March 5, 2024.
- Agreement with City of Portsmouth, dated November 6, 2020.

Thank you. Sincerely,

Alex Ross, P.E.

March 4, 2024

City of Portsmouth
Attn: Peter Stith, Planner
Planning Board
1 Junkins Avenue
Portsmouth, NH 03801

RE: 3 Proposed Apartment Units (Third Floor)
Owner: 15 Middle Street Real Estate Holding Co., LLC
Property: 15 Middle Street, Portsmouth, Tax Map 126, Lot 12

Dear Peter,

This office represents 15 Middle Street Real Estate Holding Co., LLC, owner of the property located at 15 Middle Street, Portsmouth (the “Property”). This letter is meant to accompany the site plan review application and plan set being submitted by Ross Engineering, Inc. for the Property. Given the unique circumstances surrounding the property, I thought it would be helpful to provide a background behind the current request for site plan approval.

A portion of the first floor and the entire second floor consist of Hotel Thaxter, a 15-room Inn. The other portion of the first floor that is not occupied by Hotel Thaxter is occupied by the Restaurant, Nichinan. The third floor of the building is not presently utilized but is partially finished. In 2020, the determination was made by the City Planning Department that the construction of the Inn and Restaurant on the first two floors of the building was exempt from site plan review under Section 1.2.2 of the Site Plan Review Regulations because there was no increase in building height or gross floor area proposed. In addition, because the Property is located within the Downtown Overlay District, the Inn and Restaurant uses were exempt from the parking standards set forth in Section 10.1115.21 of the Zoning Ordinance.

A building permit (BLDG-20-184) was issued for the build-out of the first two floors of the building, and to allow for the partial finishing of the third floor so that it could be used for accessory purposes to the Restaurant and Inn. **Exhibit A**. Subsequent occupancy permits were issued by the City thereafter. **Exhibits B and C**. It was acknowledged at the time that all relevant permits were applied for the initial construction that the intent was to finish off and construct three (3) separate dwelling units on the third floor of the building. However, due to the structure of the construction financing, and for other reasons, the owner was unable to construct the 3 apartments at the same time as the Inn and Restaurant. As a result, an agreement was entered into between the City and the Owner of the property acknowledging that the future construction of the apartments would trigger site plan review. Accordingly, the Owner is submitting the foregoing site plan review application to approve the 3-unit use of the third floor.

The building on the Property has already been fully renovated, inspected and approved by the City. The framing, electrical, insulation and related improvements to the third floor are complete. However, the third-floor apartments cannot be finished and used as living space until the City grants site plan approval and those units are inspected in compliance therewith, hence the request for approval. Per Section 10.1112.311 of the Zoning Ordinance, 3.9 parking spaces are required for the apartment units since they are all under 1,500 square feet. This is offset, however, by the 4 parking space credit that applies in the Downtown Overlay District under Section 10.1115.23 of the Ordinance. Therefore, no parking spaces are required for the proposed use of the third floor.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Derek R. Durbin". The signature is fluid and cursive, with a large initial "D" and "R".

Derek R. Durbin, Esq.
derek@durbinlawoffices.com



City of Portsmouth Building Permit

Inspection Department
1 Junkins Avenue
Portsmouth, NH 03801
603-610-7243

Permit Number:
BLDG-20-184
Date of Issue:
November 19, 2020
Expires:
November 19, 2021
Const. Cost:
\$790000

Owner: 15 Middle St. Real Estate Holding Co., LLC.
Applicant: Brendan McNamara
Contractor: Mike Hooroutunian, Kelsey Mills Construction **Phone #:** 603 717 1518
Location: 15 MIDDLE ST

Description of Work: Adaptive re-use, conversion of Existing Salvation Army Church to (15) Room Inn and Restaurant. No increase in gross floor area. Submitted plans include future 3rd Floor Residential Units for purposes of appropriate structural and mechanical provisions but this future development is not part of this submission and will be removed from final plans, or when deemed appropriate.

Map/Lot: 0126--0012--0000-

Design Occupancy Load:

Total # of Dwelling Units:

Use Group: Commercial Remodel - no addition

Constr. Type: Type V-B

Bldg. Code: IBC **Edition:** 2015

Remarks:

- Separate electrical, plumbing and mechanical permits required. Construction per HDC approval/conditions of approval must be followed. Affidavit may be required from designer outlining compliance with HDC approval. Compliance Inspection and signoff required prior to permit closure. Contact Vincent Hayes for compliance inspection 603-427-9022
* Building Permit fee paid is based on applicant's estimated cost of construction. A final cost affidavit, confirming actual cost of construction including any/all change order work, signed by the owner or RDP must be submitted to the Building Official prior to the issuance of a Certificate of Occupancy (CO) Permit fee to be revised accordingly.
- *Attic to remain as unoccupied space.
*Revised drawings including basement floor plan and first floor separation details and notes as discussed during 11/18 ZOOM meeting between RDP and city Building Official, Fire Prevention, to be submitted within 7 days of application approval.
*All penetrations through Listed Assemblies to be properly firestopped and inspected by Building Official prior to covering.

The PERMIT HOLDER has read this permit, the permit application, and the Building Official's marked-up plans and agrees to perform the work authorized including any conditions or requirements indicated thereon; and any stipulations imposed by a Land Use Board in conjunction with the project. The CONTRACTOR shall be responsible for notifying the Inspection Department 48 hours in advance, for FOUNDATION, FRAMING, and FINAL inspections. A Certificate of Occupancy is required for all Building Permits. Buildings shall not be occupied until ALL inspections (BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, and FIRE) are complete and Occupancy has been issued. By signing this permit, the owner or his/her representative (Permit Holder), authorizes property access by city officials to conduct interior and exterior inspections and property tax assessments during and/or after the construction process.

The Permit Card Shall Be Posted and Visible From the Street During Construction.

Code Official:

This is an e-permit. To learn more, scan this barcode or

visit portsmouthnh.viewpointcloud.com/#/records/45727



City of Portsmouth Certificate of Occupancy

Inspection Department
1 Junkins Avenue
Portsmouth, NH 03801
603-610-7243

Permit Number:
BLDG-20-184
Date of Issue:
January 9, 2023
Expires:
Const. Cost:
\$790,000

Owner: 15 Middle St. Real Estate Holding Co., LLC.
Applicant: Brendan McNamara
Contractor: Mike Hooroutunian, Kelsey Mills Construction **Phone #:** 603 717 1518
Location: 15 MIDDLE ST

Description of Work: Adaptive re-use, conversion of Existing Salvation Army Church to (15) Room Inn and Restaurant. No increase in gross floor area. Submitted plans include future 3rd Floor Residential Units for purposes of appropriate structural and mechanical provisions but this future development is not part of this submission and will be removed from final plans, or when deemed appropriate.

Map/Lot: 0126--0012--0000-
Design Occupancy Load: 142
Total # New Dwelling Units:
Use Group: Commercial Remodel - no
addition

Min Constr. Type: Type V-B
Bldg. Code: IBC **Edition:** 2015
Fire Sprinkler Required: true
Fire Alarm System Required: true

Limiting Conditions:

-

•
Code Official:
Code Official:

A handwritten signature in black ink that reads "Shanta Wolf". The signature is written in a cursive style with a large initial "S" and a long horizontal stroke at the end.

Date of Issue: January 9, 2023



City of Portsmouth Certificate of Occupancy

Inspection Department
1 Junkins Avenue
Portsmouth, NH 03801
603-610-7243

Permit Number:
BLDG-20-184
Date of Issue:
December 13, 2022
Expires:
Const. Cost:
\$790,000

Owner: 15 Middle St. Real Estate Holding Co., LLC.
Applicant: Brendan McNamara
Contractor: Mike Hooroutunian, Kelsey Mills Construction **Phone #:** 603 717 1518
Location: 15 MIDDLE ST

Description of Work: Adaptive re-use, conversion of Existing Salvation Army Church to (15) Room Inn and Restaurant. No increase in gross floor area. Submitted plans include future 3rd Floor Residential Units for purposes of appropriate structural and mechanical provisions but this future development is not part of this submission and will be removed from final plans, or when deemed appropriate.

Map/Lot: 0126--0012--0000-

Design Occupancy Load: 142

Total # Dwelling Units:

Use Group: Commercial Remodel - no addition

Min Constr. Type: Type V-B

Bldg. Code: IBC **Edition:** 2015

Fire Sprinkler Required: true

Fire Alarm System Required: true

Limiting Conditions:

-
- **This Certificate does not include occupancy of Guest Room #1:**

Room # 1 is designated as an Accessible type guest room. There are several components of the toilet and bathing room that are not meeting the minimum requirements of the building code and of the accessibility code. The grab bars are an issue as well as the requirement for the toilet to be located with a wall or partition to the rear and to one side (604.2 Location). Understanding that correcting these issues will take additional time and resources, the City will issue the Occupancy Permit for the restaurant and the remaining guest rooms. The Building Permit will remain open for the "Accessible" room. In the meantime, should a guest require a room designated as "Accessible" the owner would need to make alternative but equal accommodations to the guest. i.e. an alternative hotel of equal caliber.

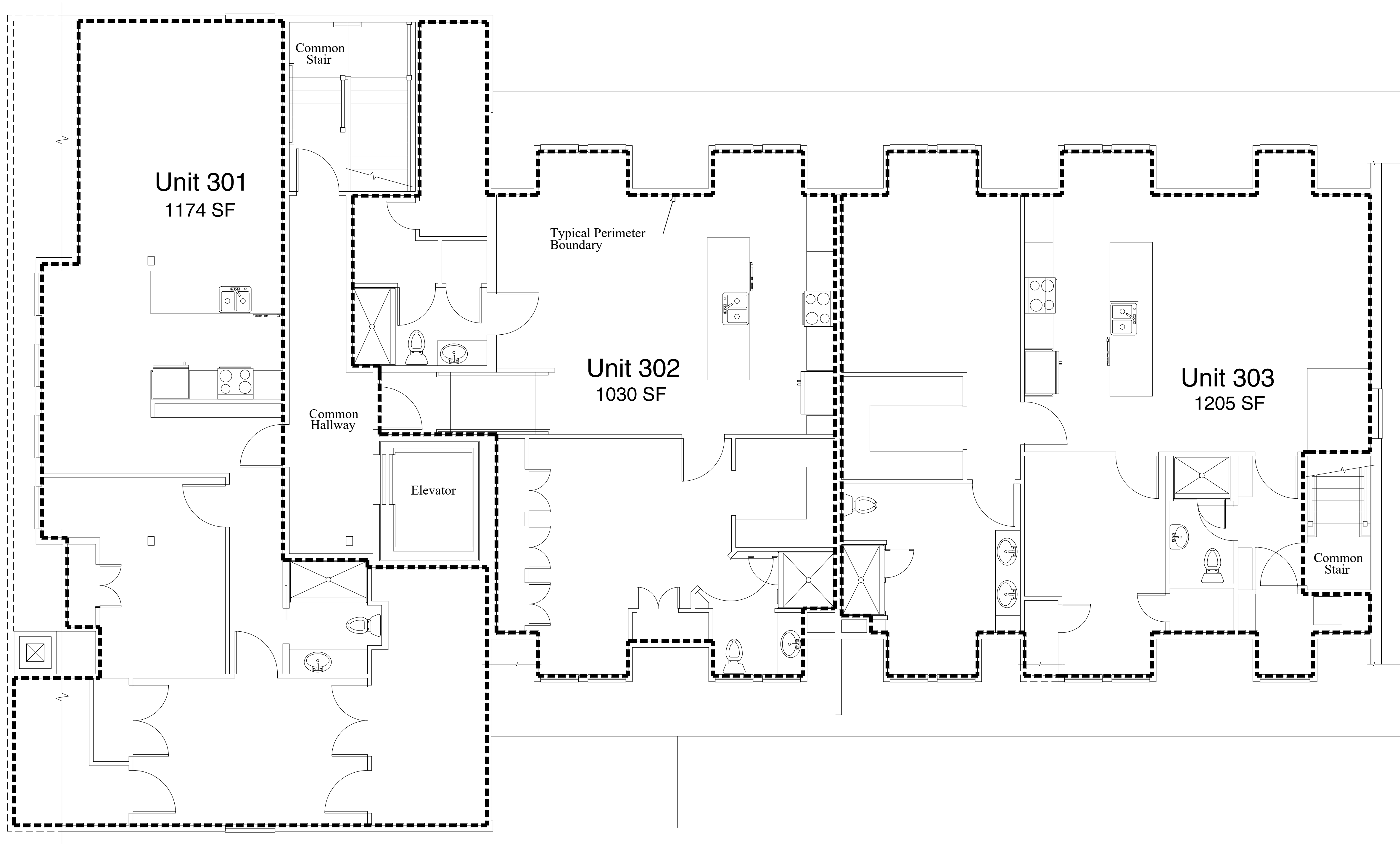
Code Official:

Code Official:

Date of Issue: December 13, 2022

Client:
 Jay McSharry

Hotel Thaxter
 15 Middle Street
 Portsmouth, NH



Attic Floor Plan

No scale

Note: The perimeter of each unit is taken at inside face of exterior wall stud or demising wall stud, discounting exterior wall thickness, demising wall thickness and common areas such as stairways and hallways.

Date: 12-01-2023
 Scale: As Noted
 Design By: RB
 Approved By: -

Revisions

Attic Floor Plan

Site Review Drawings

15 Middle Street

Portsmouth, New Hampshire

LIST OF PROJECT PLANS AND DOCUMENTS:

SITE PLAN SET

Site Plan 1"=20'
Site Plan 1"=10'

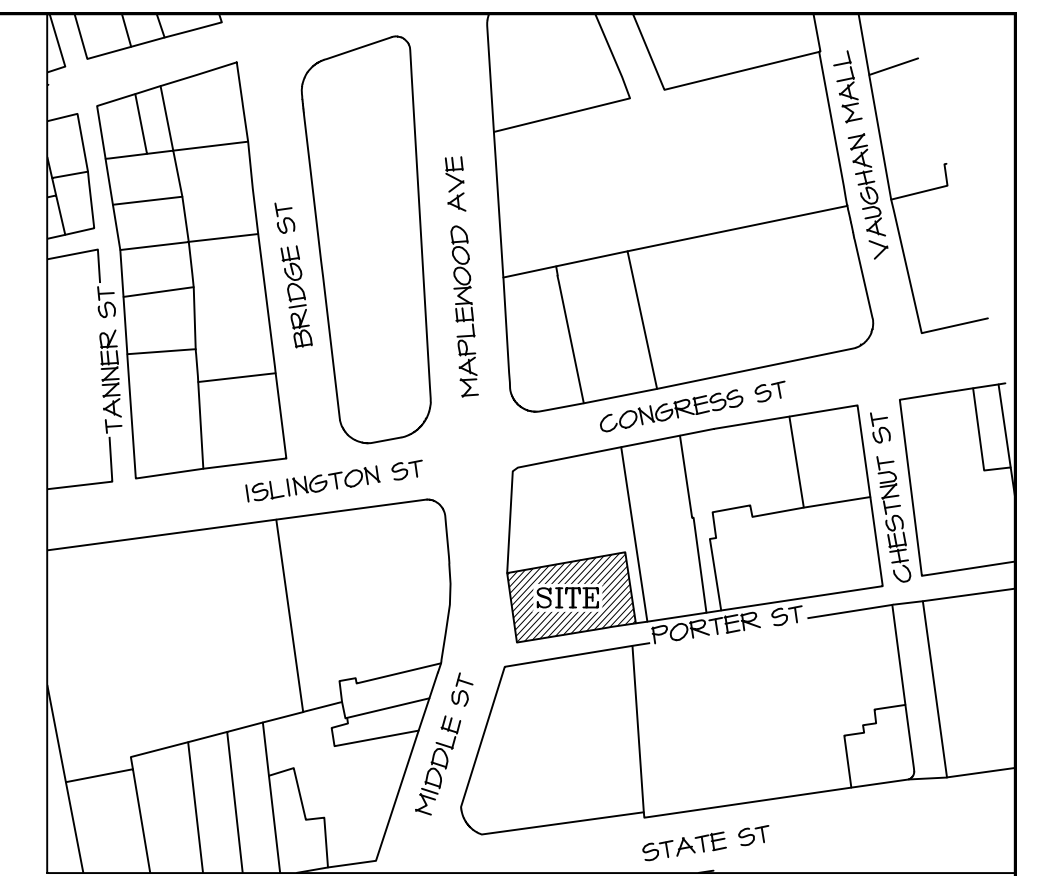
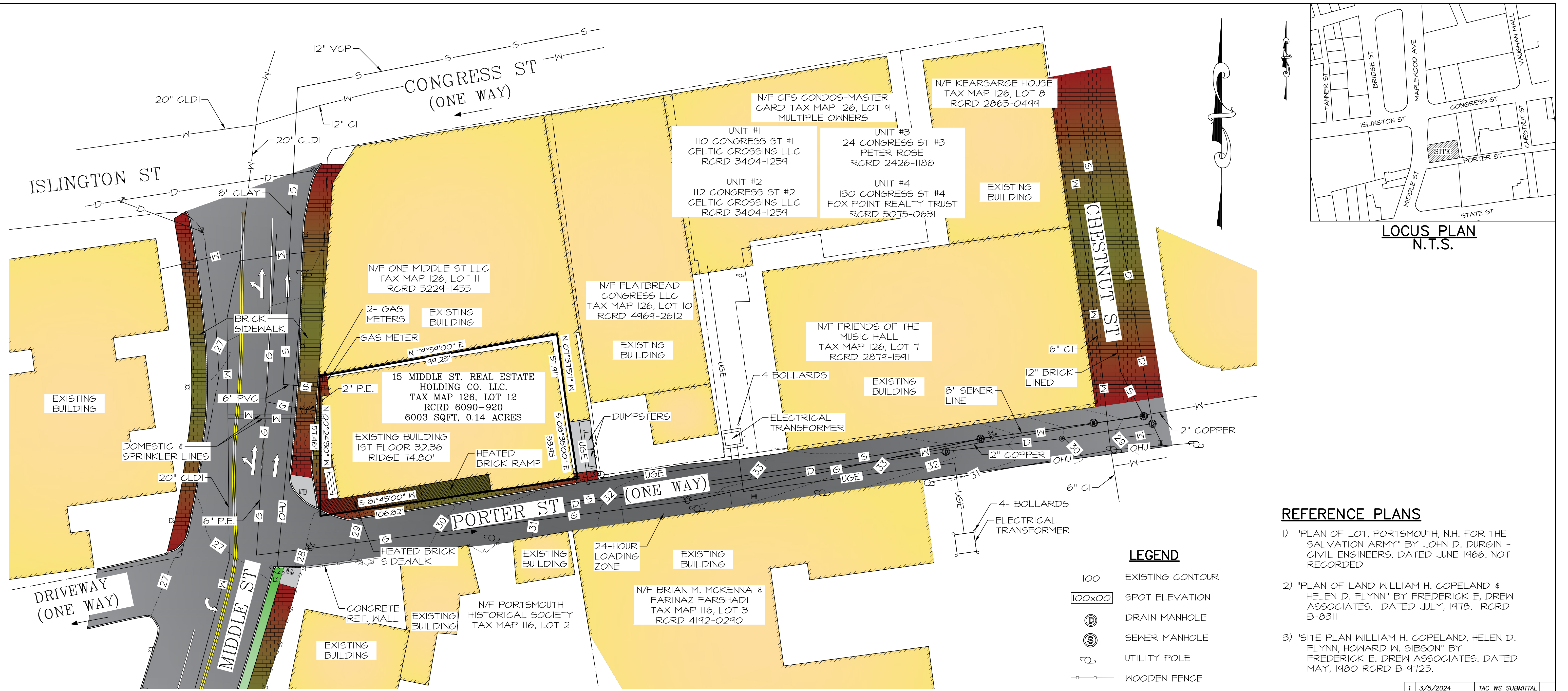
PREPARED BY:

ROSS ENGINEERING

Civil/Structural Engineering
& Surveying

909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

March 5, 2024



**LOCUS PLAN
N.T.S.**

NOTES

- 1) OWNER OF RECORD:
SALVATION ARMY
TAX MAP 126, LOT 12
120-130 WEST 14TH ST
NEW YORK, NEW YORK 10011
RCRD: 1824-0567
AREA: 6,003 SF, 0.14 ACRES
- 2) BASIS OF BEARING HELD FROM PLAN REFERENCE #2.
- 3) PARCEL IS IN CIVIC CHARACTER DISTRICT 4 (CD4), DOWNTOWN OVERLAY DISTRICT AND HISTORIC DISTRICT:
SETBACKS:
FRONT.....0 FT
SIDE.....0 FT
REAR.....0 FT
- 4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE, AS PER FLOOD INSURANCE RATE MAP #33015C0259E, PANEL 251 OF 681, DATED MAY 17, 2005.
- 5) A DETERMINATION WAS MADE IN 2020 BY THE CITY PLANNING DEPARTMENT THAT THE CONSTRUCTION OF THE INN AND RESTAURANT ON THE FIRST TWO FLOORS WAS EXEMPT FROM SITE PLAN REVIEW UNDER SECTION 1.2.2 OF THE SITE PLAN REVIEW REGULATIONS DUE TO THERE BEING NO INCREASE IN BUILDING HEIGHT OR GROSS FLOOR AREA PROPOSED. THE PROPERTY IS LOCATED IN THE DOWNTOWN OVERLAY DISTRICT AND IT WAS ALSO DETERMINED THAT THE INN AND RESTAURANT WERE EXEMPT FROM PARKING REQUIREMENTS IN THE SECTION 10.1115.21 OF THE ZONING ORDINANCE.
- 6) APARTMENTS ON THE 3RD FLOOR WERE PARTIALLY COMPLETED DURING THE CONSTRUCTION OF THE FIRST TWO FLOORS. AN AGREEMENT WAS ENTERED INTO BETWEEN THE CITY AND THE OWNER ACKNOWLEDGING THAT FUTURE CONSTRUCTION OF THE APARTMENTS ON THE 3RD FLOOR WOULD REQUIRE SITE PLAN REVIEW. THIS SITE PLAN REVIEW IS A RESULT OF THAT AGREEMENT. APPROVAL TO FINISH THE CONSTRUCTION OF THE APARTMENTS AND USE THEM AS LIVING SPACE IS REQUESTED.

- 7) PARKING REQUIREMENTS
PZO 10.1112.311 - DWELLING UNIT FLOOR AREA OVER 750 SF = 1.3 PARKING SPACES PER UNIT

1ST & 2ND FLOOR ARE EXEMPT FROM PARKING REQUIREMENTS AS PER SITE PLAN REVIEW IN 2020
3RD FLOOR APARTMENTS = 3 UNITS

3 UNITS x 1.3 SPACES PER UNIT = 3.9 SPACES REQUIRED

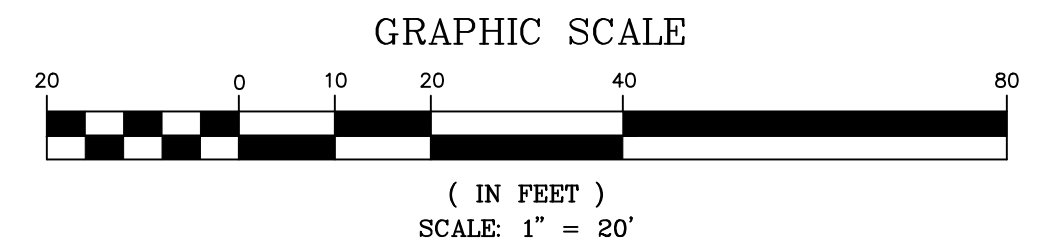
AS PER SECTION 10.1115.23 OF THE PORTSMOUTH ZONING ORDINANCE, ANY LOT IN THE DOWNTOWN OVERLAY DISTRICT THAT WOULD BE REQUIRED TO PROVIDE 4 OR FEWER OFF-STREET PARKING SPACES SHALL NOT BE REQUIRED TO PROVIDE ANY SPACES.

LEGEND

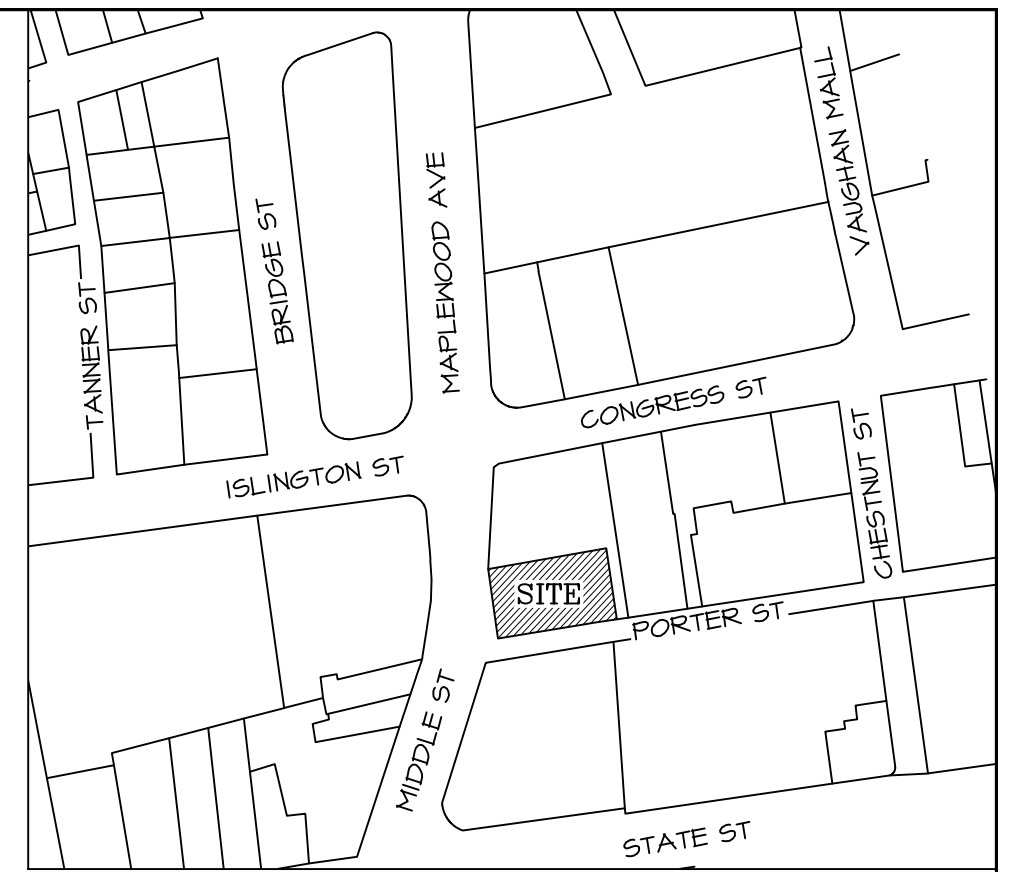
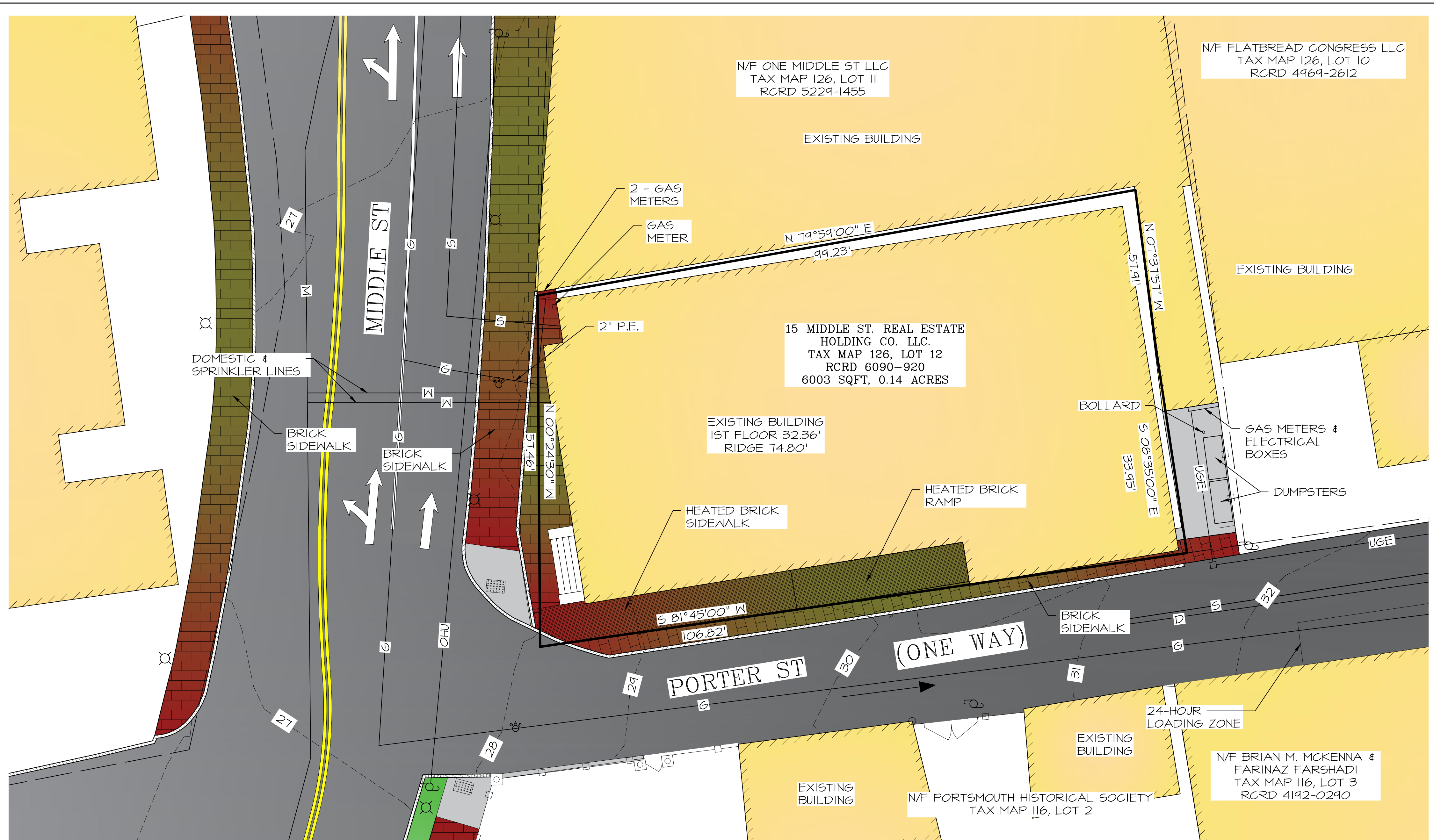
- 100-- EXISTING CONTOUR
- 100x00 SPOT ELEVATION
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ UTILITY POLE
- WOODEN FENCE
- VERTICAL GRANITE CURB
- CATCH BASIN
- ⊕ WATER SHUT-OFF
- ⊕ GAS VALVE
- ⊙ LAMP POST
- ⊙ CLEANOUT

REFERENCE PLANS

- 1) "PLAN OF LOT, PORTSMOUTH, N.H. FOR THE SALVATION ARMY" BY JOHN D. DURGIN - CIVIL ENGINEERS. DATED JUNE 1966. NOT RECORDED
- 2) "PLAN OF LAND WILLIAM H. COPELAND & HELEN D. FLYNN" BY FREDERICK E. DREW ASSOCIATES. DATED JULY, 1978. RCRD B-8311
- 3) "SITE PLAN WILLIAM H. COPELAND, HELEN D. FLYNN, HOWARD W. SIBSON" BY FREDERICK E. DREW ASSOCIATES. DATED MAY, 1980 RCRD B-9125.



ISS. DATE	3/5/2024	TAC WS SUBMITTAL
SCALE	1" = 20'	DESCRIPTION OF ISSUE
CHECKED	A.ROSS	
DRAWN	D.D.D.	
ROSS ENGINEERING Civil/Structural Engineering & Surveying 909 Islington St. Portsmouth, NH 03801 (603) 433-7560		
CLIENT JAMES MCSHARRY 58 PLEASANT POINT RD PORTSMOUTH, NH 03801		
SITE PLAN		
15 MIDDLE ST PORTSMOUTH, NH 03801 TAX MAP 126, LOT 12		
JOB NUMBER	DWG. NO.	ISSUE
19-001	1 OF 2	1



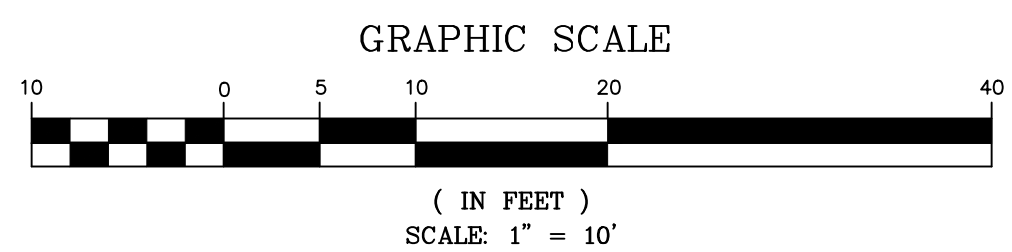
- NOTES**
- OWNER OF RECORD:
SALVATION ARMY
TAX MAP 126, LOT 12
120-130 WEST 14TH ST
NEW YORK, NEW YORK 10011
RCRD: 1824-0567
AREA: 6,003 SF, 0.14 ACRES
 - BASIS OF BEARING HELD FROM PLAN REFERENCE #2.
 - PARCEL 15 IS IN CIVIC CHARACTER DISTRICT 4 (CD4), DOWNTOWN OVERLAY DISTRICT AND HISTORIC DISTRICT:
SETBACKS:
FRONT.....0 FT
SIDE.....0 FT
REAR.....0 FT
 - THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE, AS PER FLOOD INSURANCE RATE MAP #33015C0259E, PANEL 259 OF 681, DATED MAY 17, 2005.

- REFERENCE PLANS**
- "PLAN OF LOT, PORTSMOUTH, N.H. FOR THE SALVATION ARMY" BY JOHN D. DURGIN - CIVIL ENGINEERS. DATED JUNE 1966. NOT RECORDED
 - "PLAN OF LAND WILLIAM H. COPELAND & HELEN D. FLYNN" BY FREDERICK E. DREW ASSOCIATES. DATED JULY, 1978. RCRD B-8311
 - "SITE PLAN WILLIAM H. COPELAND, HELEN D. FLYNN, HOWARD W. SIBSON" BY FREDERICK E. DREW ASSOCIATES. DATED MAY, 1980 RCRD B-9725.

LEGEND

- 100 — EXISTING CONTOUR
- ⊞ SPOT ELEVATION
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ UTILITY POLE
- WOODEN FENCE
- VERTICAL GRANITE CURB
- ⊞ CATCH BASIN
- ⊙ WATER SHUT-OFF
- ⊙ GAS VALVE
- ⊙ LAMP POST
- ⊙ CLEANOUT

THE PURPOSE OF THIS PLAN IS TO DEPICT THE SITE CONDITIONS FOR CITY SITE REVIEW AS REQUIRED FOR THE COMPLETION OF THIRD FLOOR APARTMENTS. NO SITE IMPROVEMENTS ARE PROPOSED.



I ALEX ROSS, HEREBY CERTIFY:
A) THAT THIS SURVEY PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
B) THIS PLAN IS A RESULT OF FIELD SURVEY PERFORMED BY DDD & AR DURING JAN OF 2019. THE ERROR OF CLOSURE IS BETTER THAN 1/15,000. SURVEY PER NHLSA STANDARDS; CATEGORY 1, CONDITION 1.
C) "I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUB-DIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

ISS: 3/5/2024	TAC WS SUBMITTAL
DATE	DESCRIPTION OF ISSUE
SCALE 1" = 10'	
CHECKED A.ROSS	
DRAWN D.D.D.	
CHECKED	

ROSS ENGINEERING
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
JAMES MCSHARRY
58 PLEASANT POINT RD
PORTSMOUTH, NH 03801

R. ALEX ROSS _____ DATE _____

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON _____ DATE _____

TITLE

SITE PLAN
15 MIDDLE ST
PORTSMOUTH, NH 03801
TAX MAP 126, LOT 12

JOB NUMBER	DWG. NO.	ISSUE
19-001	2 OF 2	1

AGREEMENT

15 Middle Street Real Estate Holding Company, LLC, a Limited Liability organized under the laws of the State of New Hampshire, with a principal place of business of 1 Middle Street, STE 1, Portsmouth, New Hampshire 03801 (“Grantor”) and the **City of Portsmouth**, a municipal corporation organized under the laws of New Hampshire, having a place of business at 1 Junkins Avenue, Portsmouth, New Hampshire 03801 (“Grantee”), hereby enter into the following agreement pertaining to certain real property located at 15 Middle Street, City of Portsmouth, County of Rockingham, and State of New Hampshire.

WHEREAS, Grantor is the owner of real property located at 15 Middle Street, Portsmouth, New Hampshire 03801 (the “Property”), by Warranty Deed of the Salvation Army, dated March 3, 2020, and recorded in the Rockingham County Registry of Deeds at Book 6090, Page 920; and

WHEREAS, Grantor is renovating the existing building on the Property to include a fifteen (15) room inn with restaurant space on the first and second floors of the building; and

WHEREAS, the third floor of the building is currently unused attic space; and

WHEREAS, Grantor desires to partially finish the third floor attic space for the purpose of adding dormers, a sprinkler system and insulation so that it may accommodate up to three (3) dwelling units in the future; and

WHEREAS, the Grantor does not intend to finish off or use the third floor attic space; and

WHEREAS, the third floor attic space will remain accessory to the inn/restaurant use of the building on the Property and not be used as living space unless and until all appropriate approvals have been granted by the City of Portsmouth; and

WHEREAS, pursuant to Section 1.2.2(a) of the Portsmouth Site Plan Review Regulations, adopted on December 17, 2009, as amended on September 15, 2016, so long as “there is no increase in building height or gross floor area”, the renovation work proposed by the Grantor is exempt from Site Plan review by the Portsmouth Planning Board; and

WHEREAS, the term “gross floor area” is defined by Section 10.5130 of the Portsmouth

Zoning Ordinance, adopted on December 21, 2009, as amended on December 16, 2019, as follows: "the sum of the areas of the several floors of a building or buildings as measured by the exterior faces of the walls, but excluding the areas of fire escapes, unroofed porches or terraces, and areas such as basements and attics exclusively devoted to uses accessory to the operation of the building. If the exterior walls are greater than 6 inches thick, then the gross floor area shall be adjusted to a maximum of a 6-inch thick wall"; and

WHEREAS, Grantor acknowledges and understands that it must obtain Site Plan approval from the Portsmouth Planning Board before the third floor attic space is finished off and occupied for any purpose that is not accessory to the primary use of the building as an inn/restaurant space, failing which the Grantor will be in violation of the City's Site Plan Review Regulations and subject to enforcement action, including revocation of the Grantor's occupancy permit and/or restoration of any improvements made to the building in derogation of the City's ordinances in addition to potential civil penalties, costs and attorney fees; and

WHEREAS, the City of Portsmouth is relying on the Grantor's representations above in allowing it to proceed with its current renovation plans without Site Plan Review from the Portsmouth Planning Board; and

WHEREAS, said renovation plans are contained in a Plan Set prepared by JSN Associates LLC on file with the City of Portsmouth Planning Department entitled, "Conversion of Salvation Army Building to 15 Room Inn 5 Middle Street, Portsmouth, NH, dated 8/26/2020

NOW THEREFORE, in consideration for the mutual covenants contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. The representations made by the Grantor above are hereby incorporated by reference as if fully stated herein.

2. The Grantor may proceed with its renovation plans for the third floor of the building on the Property so long as it does not allow said space to be utilized for any purpose that would *not* be considered accessory to the primary use of the remainder of the building as inn/restaurant space in the absence of having obtained the required approvals, failing which the Grantor shall be in violation of the Portsmouth Site Plan Review Regulations.

3. This Agreement shall be binding upon and inure to the benefit of the Grantor and Grantee and their heirs, successors and assigns.

Executed this 6th day of November 2020.

15 Middle Street Real Estate Holding Company, LLC

By:


Name: James McSharry, Member

Duly Authorized

COUNTY OF ROCKINGHAM

The above-named James McSharry, personally appeared before me this 6th day of November 2020 in his capacity as a member of 15 Middle Street Real Estate Holding Company, LLC, duly authorized to execute this instrument, and acknowledged the foregoing to be his free act and deed in his said capacity and the free act and deed of 15 Middle Street Real Estate Holding Company LLC.



[Handwritten Signature]

Notary Public/Justice of the Peace: _____

My Commission Expires: 5/20/25

Executed this 6th day of November 2020.

City of Portsmouth

By: *[Handwritten Signature: Juliet Walker]*

Name: Juliet Walker, Planning Director

Duly Authorized

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

The above-named Juliet Walker, personally appeared before me this 6th day of November 2020 in her capacity as Planning Director of the City of Portsmouth, duly authorized to execute this instrument, and acknowledged the foregoing to be her free act and deed in her said capacity and the free act and deed of the City of Portsmouth.

Notary Public/Justice of the Peace: _____

My Commission Expires: _____

E5071-001
March 5, 2024

Mr. Peter Britz, Director of Planning & Sustainability
City of Portsmouth Planning & Sustainability Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: **Request for TAC Work Session**
100 Durgin Lane – Proposed Redevelopment

Dear Peter:

On behalf of 100 Durgin Lane Owner, LLC (applicant) we are pleased to submit one (1) set of hard copies and one electronic file (.pdf) of the following information to support a request to meet with the Technical Advisory Committee (TAC) at their next scheduled Work Session for the above referenced project:

- Site Plan Set, dated March 5, 2024;
- Community Space Exhibit, dated March 5, 2024;
- Impervious Surface Exhibit, dated March 5, 2024;
- Wetland Buffer Exhibit, dated March 5, 2024;
- Fire Truck Turning Exhibit, dated March 5, 2024;
- Preliminary Water & Sewer Demand Analysis, dated March 5, 2024;
- Preliminary Trip Generation Summary;
- Signed Authorization, dated January 29, 2024;

The proposed project is located at 100 Durgin Lane and includes lots identified as Map 239 Lots 16, 16 & 18 on the City of Portsmouth Tax Maps. The site was previously home to Christmas Tree Shops and Bed, Bath and Beyond locations which are no longer in operation. The properties are a combined 26.1 acres of land and are located in the Gateway District (G1) and also lies within the Highway Noise Overlay District. The property is bound to the west by Route 16, to the north by the Motel 6 property and Gosling Road, to the south by the Hampton Inn and Home Depot properties, and to the east by an Eversource easement, Pep Boys and Durgin Plaza.

The proposed project consists of the demolition of the existing Christmas Tree Shops and Bed, Bath and Beyond building and the construction of approximately 360 rental housing units in a mix of 3-story and 4-story buildings. The proposed project will include a community building and associated site improvements such as parking, pedestrian access, community spaces, utilities, stormwater management, lighting, and landscaping. The proposed project also includes a reduction in overall impervious surface on the development lot.

The proposed project will also be providing 10% community space as required under the Development Site Conditional Use Permit for have more than one principal building on a single lot. Based on the lot area the required community spaces will likely exceed 2 acres and may include a public dog park, recreation areas, community walking trails, pocket parks, bicycle paths, and open/green space. The proposed project plan submitted as part of the work session package exceeds the minimum required community space area. The proposed project may



also include multimodal connections that link the project site and neighboring commercial properties and exploring the potential of expanding the existing bus network.

At this time, we anticipate that the proposed project will require the following site related approvals from the Planning Board:

- Site Plan Review Permit
- Lot Line Revision
- Wetland Conditional Use Permit
- Development Site Conditional Use Permit
- Highway Noise Overlay District Conditional Use Permit

The applicant respectfully requests to meet with TAC at their next scheduled Work Session on March 12, 2024. If you have any questions or need any additional information, please contact me by phone at (603) 769-9471 or by email at NAHansen@tighebond.com.

Sincerely,

TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Vice President



Neil A. Hansen, PE
Project Manager

Enclosures

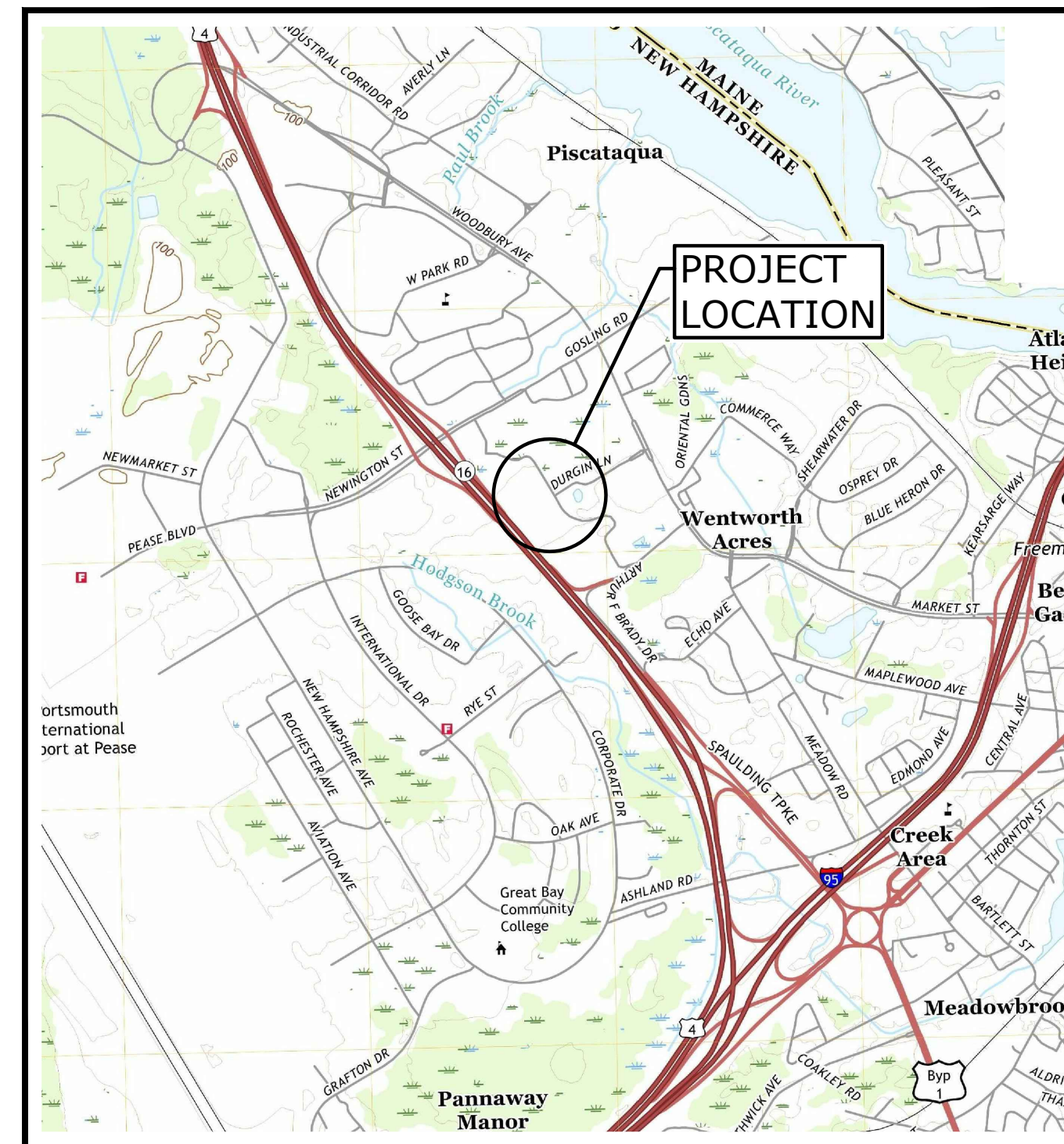
Copy: 100 Durgin Lane Owner, LLC
John K. Bosen, Bosen & Associates
Utile, Inc Architects
Aceto Landscape Architecture



PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE MARCH 5, 2024

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	3/5/2024
C-101	GENERAL NOTES AND LEGEND	3/5/2024
C-201	DEMOLITION PLAN	3/5/2024
C-301	SITE PLAN	3/5/2024
C-401	GRADING, DRAINAGE, AND EROSION CONTROL PLAN	3/5/2024
C-501	UTILITIES PLAN	3/5/2024
C-601	EROSION CONTROL NOTES AND DETAILS SHEET	3/5/2024
C-602	DETAILS SHEET	3/5/2024
C-603	DETAILS SHEET	3/5/2024
C-604	DETAILS SHEET	3/5/2024
C-605	DETAILS SHEET	3/5/2024
C-606	DETAILS SHEET	3/5/2024
C-607	DETAILS SHEET	3/5/2024



LOCATION MAP
SCALE: 1" = 2000'

PREPARED BY:

Tighe & Bond

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

OWNER:

100 Durgin Lane Owner LLC
ONE MARINA PARK DRIVE, SUITE 1500
BOSTON, MA 02210

SURVEYOR:

HOLDEN ENGINEERING & SURVEYING, INC.
56 OLD SUNCOOK ROAD, PO BOX 480
CONCORD, NH 03302

**TAC WORK SESSION SET
COMPLETE SET (13) SHEETS**

GENERAL NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
- CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

DEMOLITION NOTES:

- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND TOWN OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
- SEE ROADWAY IMPROVEMENT PLANS FOR OFF-SITE DEMOLITION.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

SITE NOTES:

- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.

- STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- COORDINATE ALL OFF-SITE SITE WORK WITH ROADWAY IMPROVEMENT PLANS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM STRUCTURAL ENGINEER AND/OR WALL MANUFACTURER. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTAL BLOCK WALL SYSTEM AS OUTLINED IN THE DETAILS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

GRADING AND DRAINAGE NOTES:

- COMPACTION REQUIREMENTS:**

BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
- ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.

EROSION CONTROL NOTES:

- SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

UTILITY NOTES:

- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
 - NATURAL GAS - UNITIL
 - WATER - CITY OF PORTSMOUTH
 - SEWER - CITY OF PORTSMOUTH
 - ELECTRIC - EVERSOURCE
 - COMMUNICATIONS - CONSOLIDATED COMM/FAIRPOINT/COMCAST
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
- CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.

EXISTING CONDITIONS PLAN NOTES:

- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY BY HOLDEN ENGINEERING AND SURVEYING, INC. DATED 8/10/2023, LAST REVISED 2/13/2024.
- WETLAND DELINEATION BY _____, ON _____, AND FIELD LOCATED BY _____, ON _____.

LEGEND

	APPROXIMATE LIMIT OF SAWCUT LIMIT OF WORK
	APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED
	EXISTING TREES TO BE REMOVED
	EXISTING BUILDING TO BE REMOVED
	LOCATION OF PROPOSED BUILDING
	PROPOSED GRAVEL PAVEMENT SECTION
	PROPOSED PAVEMENT SECTION
	PROPOSED WOOD CHIP TRAIL
	PROPOSED CONCRETE
	PROPOSED PATIO PAVERS
	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	FLAGGED WETLAND
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED MAJOR CONTOUR LINE
	PROPOSED MINOR CONTOUR LINE
	CATCH BASIN
	DRAIN MANHOLE
	ELECTRIC BOX
	LIGHT POLE
	REBAR OR RAILROAD SPIKE
	DRILL HOLE
	POST
	SIGN
	SEWER MANHOLE
	UTILITY POLE OR BRACE POLE
	WATER SHUT-OFF
	HYDRANT
	ELECTRIC METER
	GAS METER
	FLAG POLE
	GAS SHUT-OFF
	BORING
	WETLAND FLAG LOCATION
	PROPOSED DRAIN MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED INLET PROTECTION BARRIER
	PROPOSED DRAINLINE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER LINE
	PROPOSED GAS LINE
	PROPOSED WATER LINE
	PROPOSED WATER VALVE
	PROPOSED THRUST BLOCK
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED UNDERGROUND TELECOMS
	PROPOSED TRANSFORMER
	100' WETLAND BUFFER
	50' LIMITED CUT BUFFER
	25' VEGETATIVE BUFFER

ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS
AC	ACRES
ADA	AMERICANS WITH DISABILITIES ACT
AGGR	AGGREGATE
BLDG	BUILDING
BC	BOTTOM OF CURB
CB	CATCH BASIN
CONST	CONSTRUCT
COORD	COORDINATE
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DMH	DRAINAGE MANHOLE
DWG	DRAWING
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EV	ELECTRIC VEHICLE
FF	FINISHED FLOOR
FGC	FLUSH GRANITE CURB
HDPE	HIGH DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
HYD	HYDRANT
ID	INSIDE DIAMETER
INV	INVERT
L	LENGTH
LF	LINEAR FEET
MAX	MAXIMUM
MIN	MINIMUM
OC	ON CENTER
PCB	PROPOSED CATCH BASIN
PDHM	PROPOSED DRAINAGE MANHOLE
POS	PROPOSED OUTLET STRUCTURE
PROP	PROPOSED
PSMH	PROPOSED SEWER MANHOLE
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SGC	SLOPED GRANITE CURB
SF	SQUARE FEET
STD	STANDARD
TBR	TO BE REMOVED
TC	TOP OF CURB
TYD	TYPICAL
UD	UNDERDRAIN
W	WIDTH
W/	WITH
YD	YARD DRAIN

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PROPOSED MULTI-FAMILY DEVELOPMENT

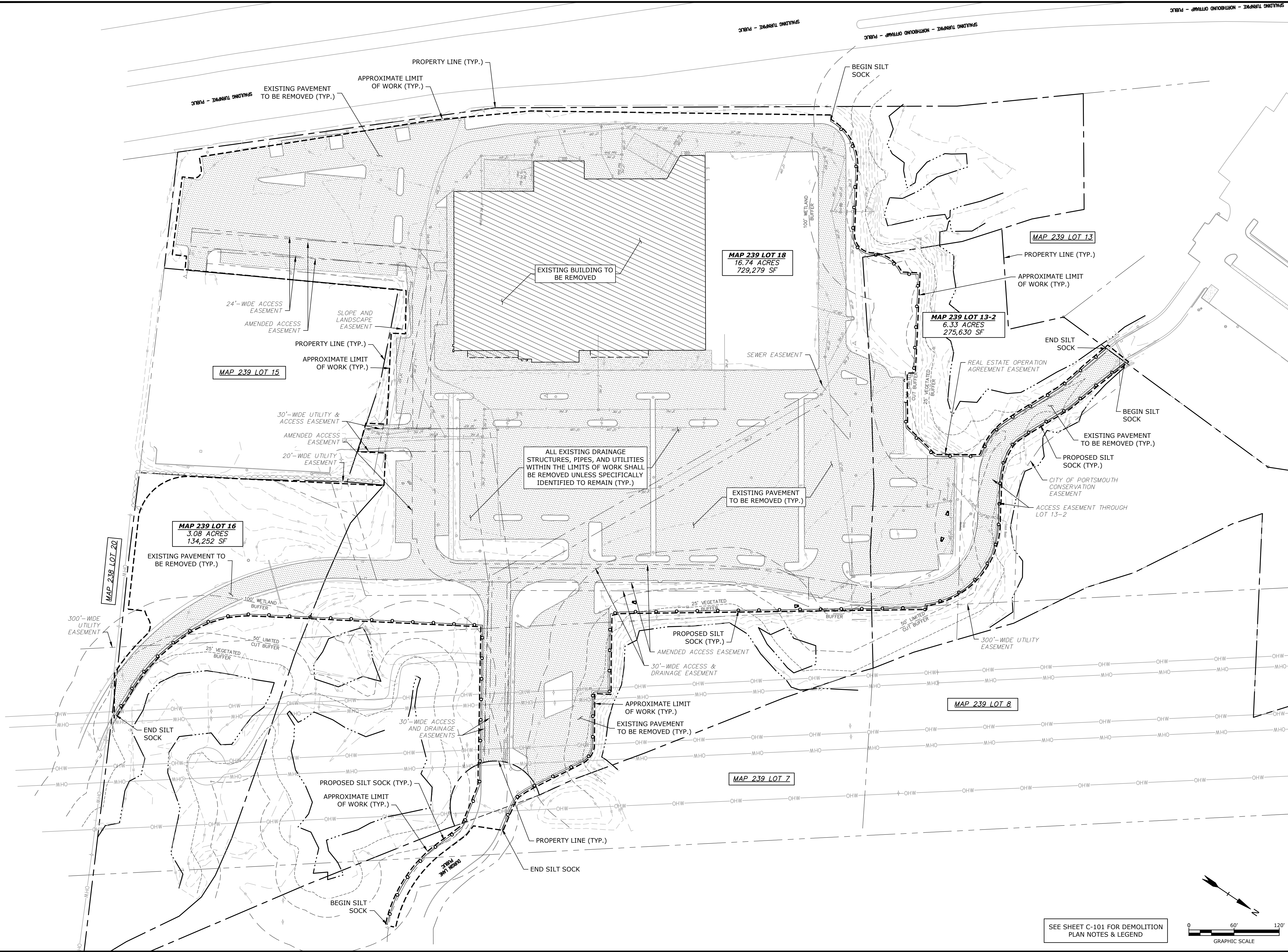
100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

MARK	DATE	DESCRIPTION
PROJECT NO:	E5071-001	
DATE:	3/5/2024	
FILE:	E5071-001-C-DSGN.dwg	
DRAWN BY:	BKC	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

GENERAL NOTES AND LEGENDS

SCALE: AS SHOWN



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PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

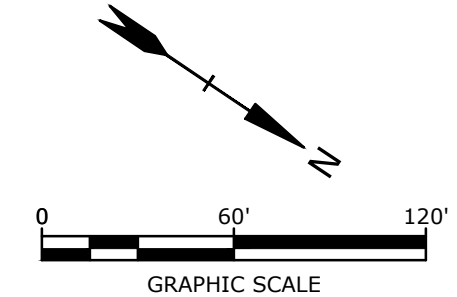
100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

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DRAWN BY:	BKC	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

DEMOLITION PLAN

SCALE: AS SHOWN

SEE SHEET C-101 FOR DEMOLITION PLAN NOTES & LEGEND



Last Saved: 3/4/2024
 Plotted On: Mar 04, 2024 - 10:28am By: BCurcio
 Tighe & Bond \\Vigilant\com\data\proj\projects\E5071 Eastern Real Estate\001 Portsmouth, NH 100 Durgin Lane Drawings\AutoCAD\Sheet\E5071-001-C-DSGN.dwg

SITE DATA:
 LOCATION: TAX MAP 239, LOT 13-2, MAP 239 LOT 16, MAP 239 LOT 18
 OWNER: 100 DURGIN LANE OWNER LLC
 ONE MARINA PARK DRIVE, SUITE 1500
 BOSTON, MA 02210

ZONING DISTRICT: GATEWAY NEIGHBORHOOD MIXED USE CORRIDOR (G1)
 HIGHWAY NOISE OVERLAY DISTRICT

PROPOSED USE: MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 EXISTING LOT SIZE: ±1,139,161 SF / 26.15 ACRES (MAP 239 LOT 13-2, LOT 16, LOT 18)

DEVELOPMENT STANDARDS

GENERAL RESIDENTIAL DEVELOPMENT (10.5B42.30)	REQUIRED	PROPOSED
MINIMUM SITE DEVELOPMENT AREA:	10,000 SF	±1,139,161 SF
MINIMUM SITE WIDTH:	75 FT	>75 FT
MINIMUM SITE LENGTH:	100 FT	>100 FT
MINIMUM PERIMETER BUFFER:	N/A	-
MAXIMUM DEVELOPMENT BLOCK DIMS:		
BLOCK LENGTH:	500 FT	<500 FT
BLOCK PERIMETER:	1,500 FT	<1,500 FT
MAXIMUM BUILDING COVERAGE:	50%	8.6%
MINIMUM OPEN SPACE COVERAGE:	20%	63%

APARTMENT BUILDING (10.5B34.40)	REQUIRED	PROPOSED
MINIMUM LOT DEPTH:	NR	-
MINIMUM STREET FRONTAGE:	50 FT	200.5 FT
FRONT YARD SETBACK:	10-30 FT	±130.4 FT ⁽¹⁾
MIN. SIDE YARD SETBACK:	15 FT	>15 FT
MIN. REAR YARD SETBACK:	20 FT	>20 FT
DWELLING UNITS PER BUILDING:	4-24	XXX
MAXIMUM DWELLING UNIT SIZE:	NR	-
MAXIMUM BUILDING HEIGHT:	4 STORIES OR 50 FT	<50 FT
MINIMUM STREET-FACING FACADE HEIGHT:	24 FT	>24 FT
MAX. FINISH FLOOR ABOVE SIDEWALK:	36"	<36"
MAXIMUM BUILDING COVERAGE:	50%	8.1%
MAXIMUM BUILDING FOOTPRINT:	NR	-

MAXIMUM FACADE MODULATION LENGTH:	50 FT	<50 FT
MINIMUM STREET FACING FACADE GLAZING:	20% GROUND FLOOR	>20%
MAXIMUM STREET FACING ENTRANCE SPACING:	NR	-
ALLOWED ROOF TYPES:	ALL	XXXX
ALLOWED FACADE TYPES:		
FORECOURT, RECESSED, ENTRY, DOORYARD, STEP, PORCH:		XXXX

COMMUNITY BUILDING (10.5B34.100)	REQUIRED	PROPOSED
MINIMUM LOT DEPTH:	NR	-
MINIMUM STREET FRONTAGE:	50 FT	200.5 FT
FRONT YARD SETBACK:	10-40 FT	233.4 FT ⁽¹⁾
MIN. SIDE YARD SETBACK:	15 FT	>15 FT
MIN. REAR YARD SETBACK:	20 FT	>20 FT
DWELLING UNITS PER BUILDING:	NR	-
MAXIMUM DWELLING UNIT SIZE:	NR	-
MAXIMUM BUILDING HEIGHT:	3 STORIES OR 45 FT	<45 FT
MINIMUM STREET-FACING FACADE HEIGHT:	18 FT	>18 FT
FINISH FLOOR GRADE ABOVE SIDEWALK:	2 FT - 6 FT	2 FT
MAXIMUM BUILDING COVERAGE:	NR	-
MAXIMUM BUILDING FOOTPRINT:	NR	-
MAXIMUM FACADE MODULATION LENGTH:	100 FT	<100 FT
MINIMUM STREET FACING FACADE GLAZING:	30% GROUND FLOOR	>30%
MAXIMUM STREET FACING ENTRANCE SPACING:	NR	-
ALLOWED ROOF TYPES:	ALL	XXXX
ALLOWED FACADE TYPES:		
DOORYARD, FORECOURT, STOOP, RECESSED, ENTRY, STEP, PORCH, TERRACE, GALLERY, ARCADE:		XXXX

(1) - RELIEF FROM "FRONT BUILDING SETBACK FROM LOT LINE" UNDER SECTIONS 10.5B34.40 AND 10.5B34.100 REQUESTED UNDER THE CONDITIONAL USE PERMIT APPLICATION FOR THE DEVELOPMENT SITE.

COMMUNITY SPACE:	REQUIRED	PROPOSED
	10%	11.6%
	113,916 SF	132,792 SF

PARKING REQUIREMENTS

RESIDENTIAL UNITS (>750 SF)	360 UNITS x 1.3 SPACES	468 SPACES
VISITOR SPACES	1 SPACE / 5 UNITS	72 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		540 SPACES

PARKING SPACES	REQUIRED	PROPOSED
	540 SPACES	574 SPACES

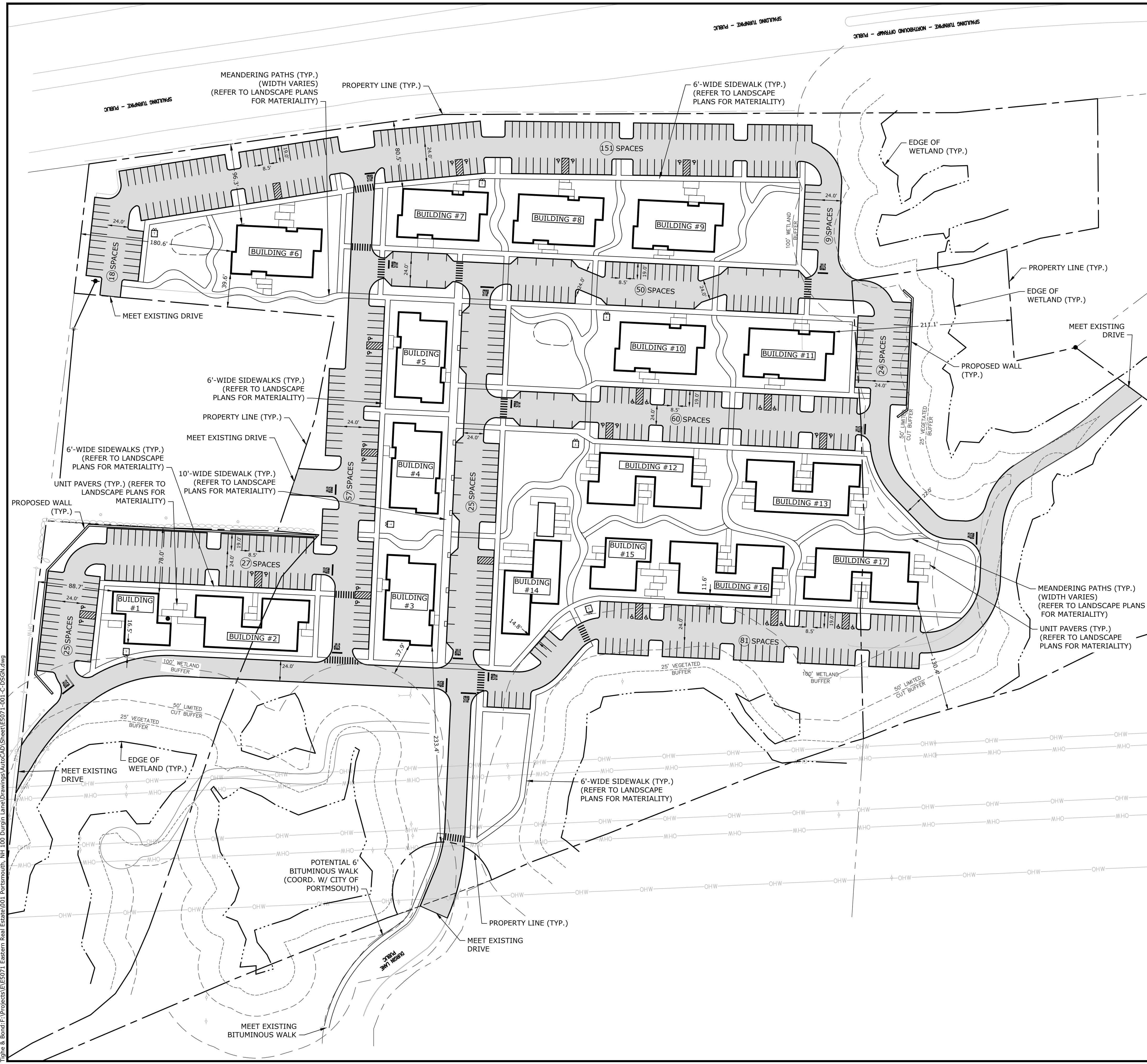
ADA PARKING SPACES	REQUIRED ⁽²⁾	PROPOSED
	25 SPACES	30 SPACES

(2) - PER THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS, LATEST EDITION.

PARKING SPACE DIMENSIONAL REQUIREMENTS:		
STANDARD 90° STALL :		
WIDTH	8.5 FT MIN	8.5 FT
LENGTH	19 FT MIN	19 FT
STANDARD 0° STALL :		
WIDTH	8.5 FT MIN	8.5 FT
LENGTH	20 FT MIN	20 FT
DRIVE AISLE WIDTH:		
90° (2-WAY TRAFFIC)	24 FT	24 FT
0° (2-WAY TRAFFIC)	24 FT	24 FT

BICYCLE SPACES	REQUIRED	PROPOSED
1 BICYCLE SPACE / 10 PARKING SPACES:	30 SPACES (MAX.)	>58 SPACES

(INDOOR BIKE STORAGE WILL BE PROVIDED THAT MEETS OR EXCEEDS REQUIRED.)



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PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

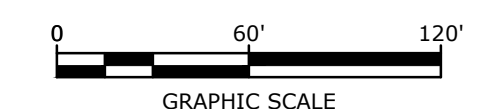
MARK	DATE	DESCRIPTION
PROJECT NO:	E5071-001	
DATE:	3/5/2024	
FILE:	E5071-001-C-DSGN.dwg	
DRAWN BY:	BKC	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

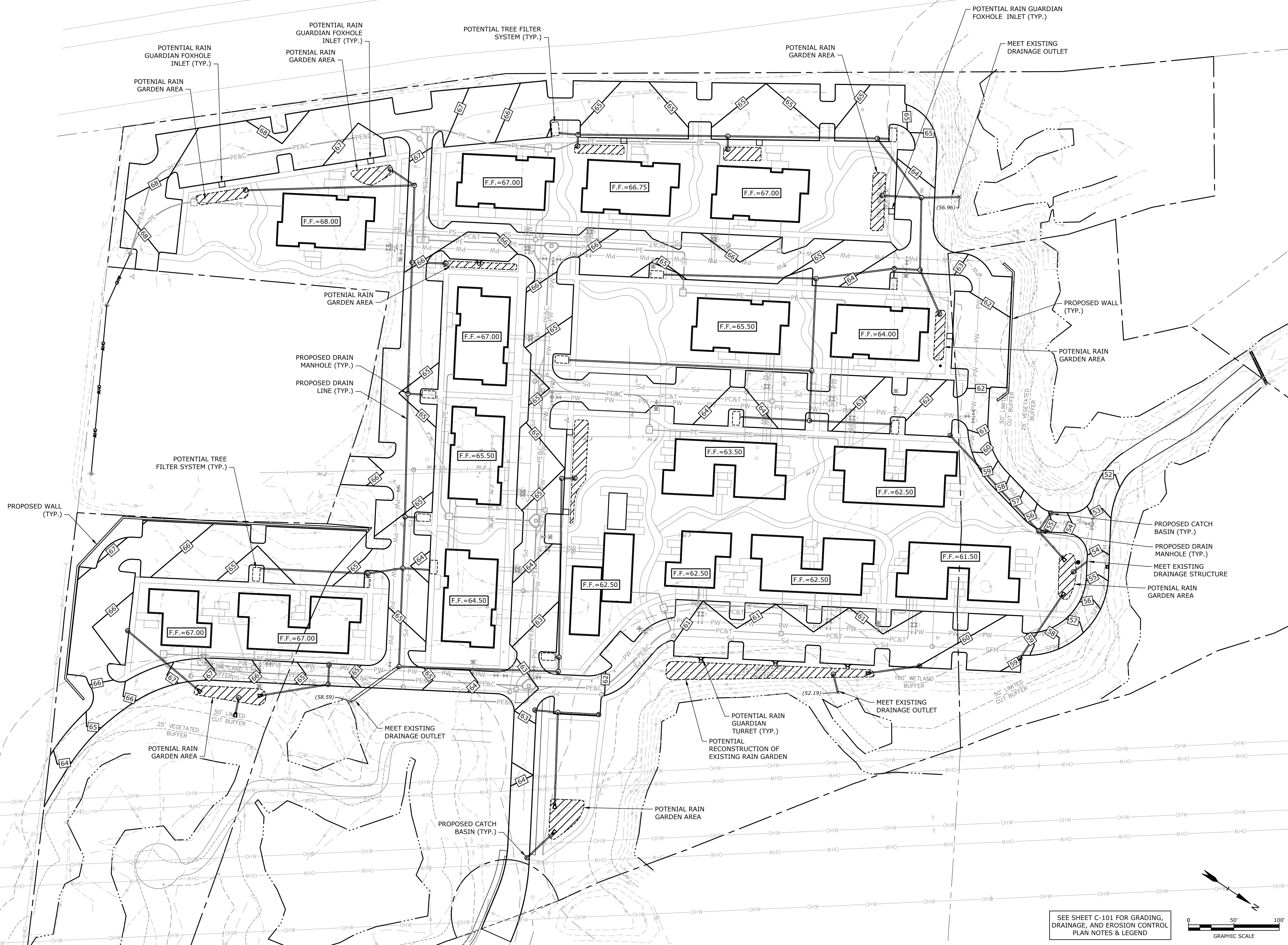
SITE PLAN

SCALE: AS SHOWN

C-301

SEE SHEET C-101 FOR SITE PLAN NOTES & LEGEND





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PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

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PROJECT NO: E5071-001
 DATE: 3/5/2024
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 DRAWN BY: BKC
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 APPROVED BY: PMC

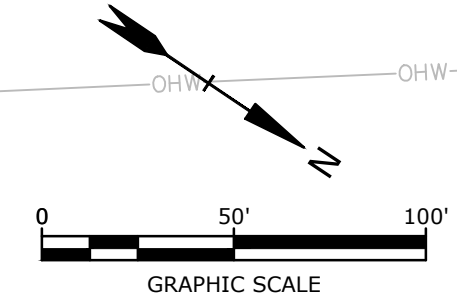
GRADING, DRAINAGE, AND EROSION CONTROL PLAN

SCALE: AS SHOWN

C-401

Last Saved: 3/4/2024 2:34pm By: NW/Icon
 Plotted On: Mar 04, 2024 - 3:34pm By: Tighe & Bond
 Project: 100 Durgin Lane Portsmouth, NH 100 Durgin Lane Drawings/AutoCAD/Sheet/E5071-001-C-DSGN.dwg

SEE SHEET C-101 FOR GRADING, DRAINAGE, AND EROSION CONTROL PLAN NOTES & LEGEND



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PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

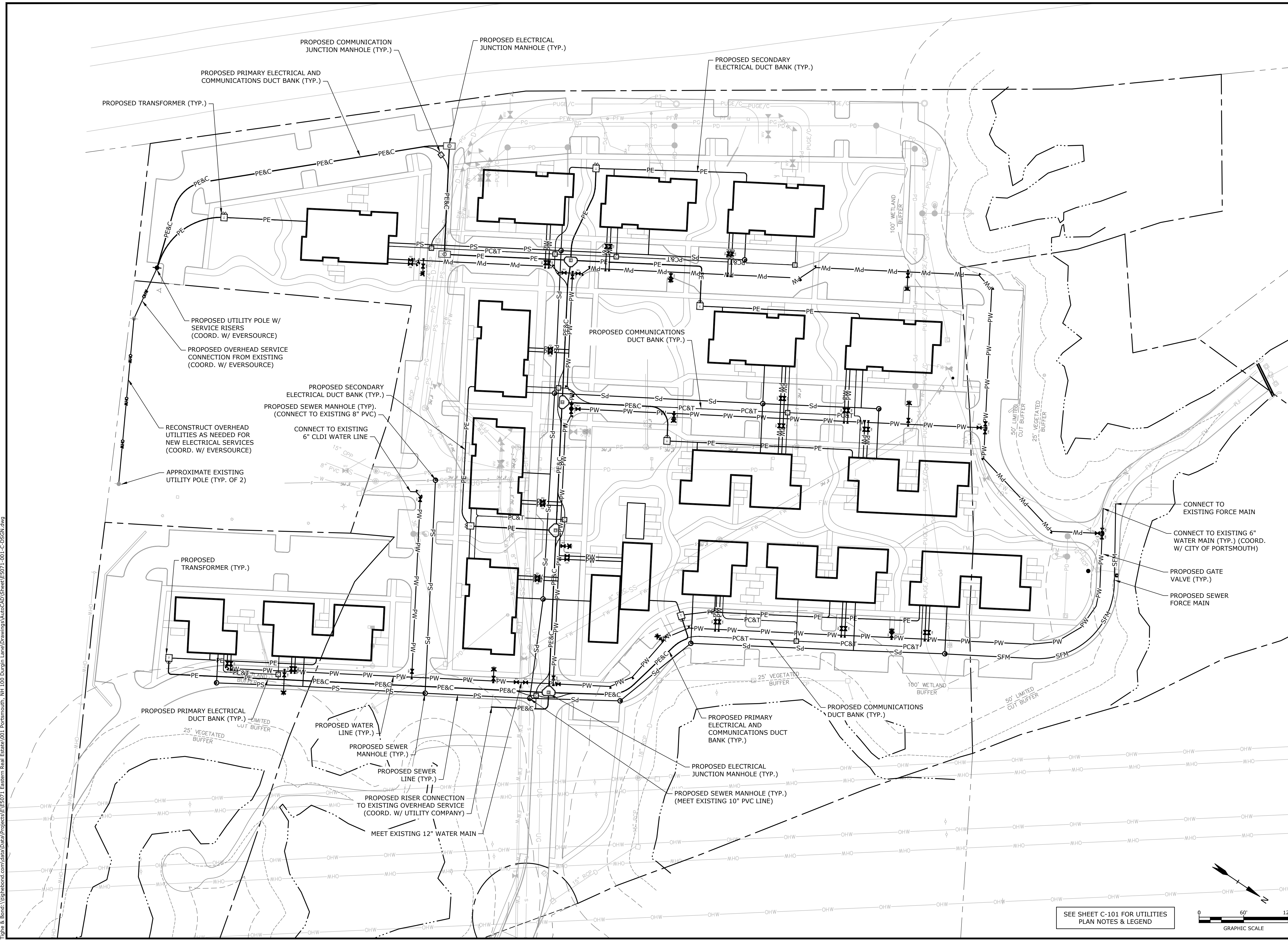
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PROJECT NO:	E5071-001	
DATE:	3/5/2024	
FILE:	E5071-001-C-DSGN.dwg	
DRAWN BY:	BKC	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

UTILITIES PLAN

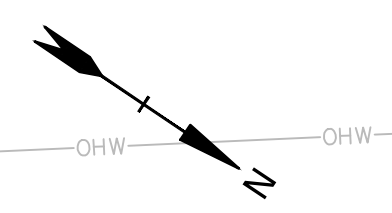
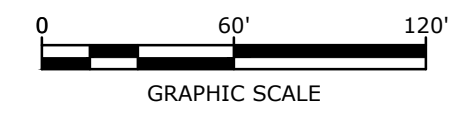
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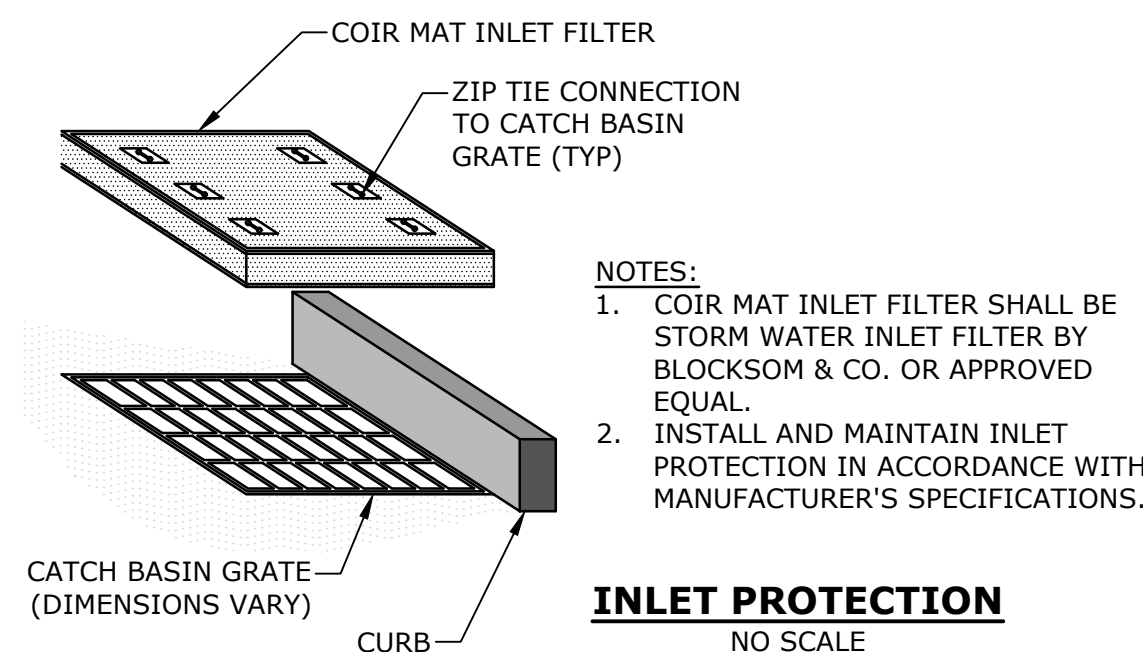
C-501

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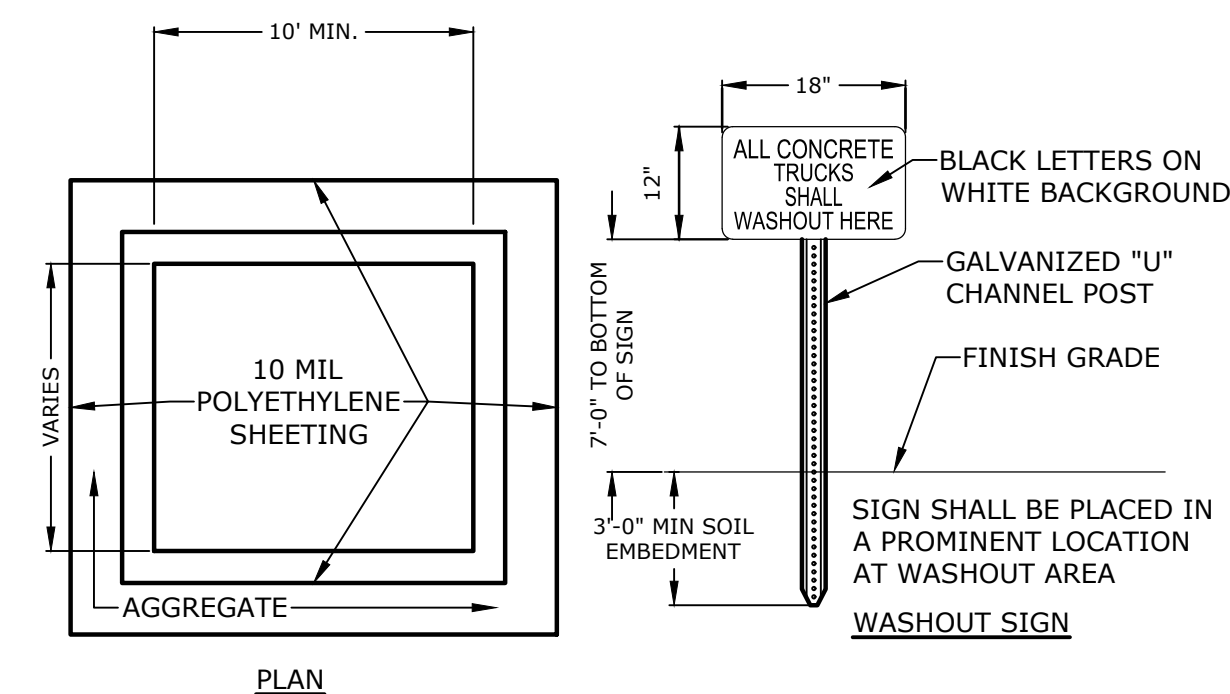


SEE SHEET C-101 FOR UTILITIES PLAN NOTES & LEGEND

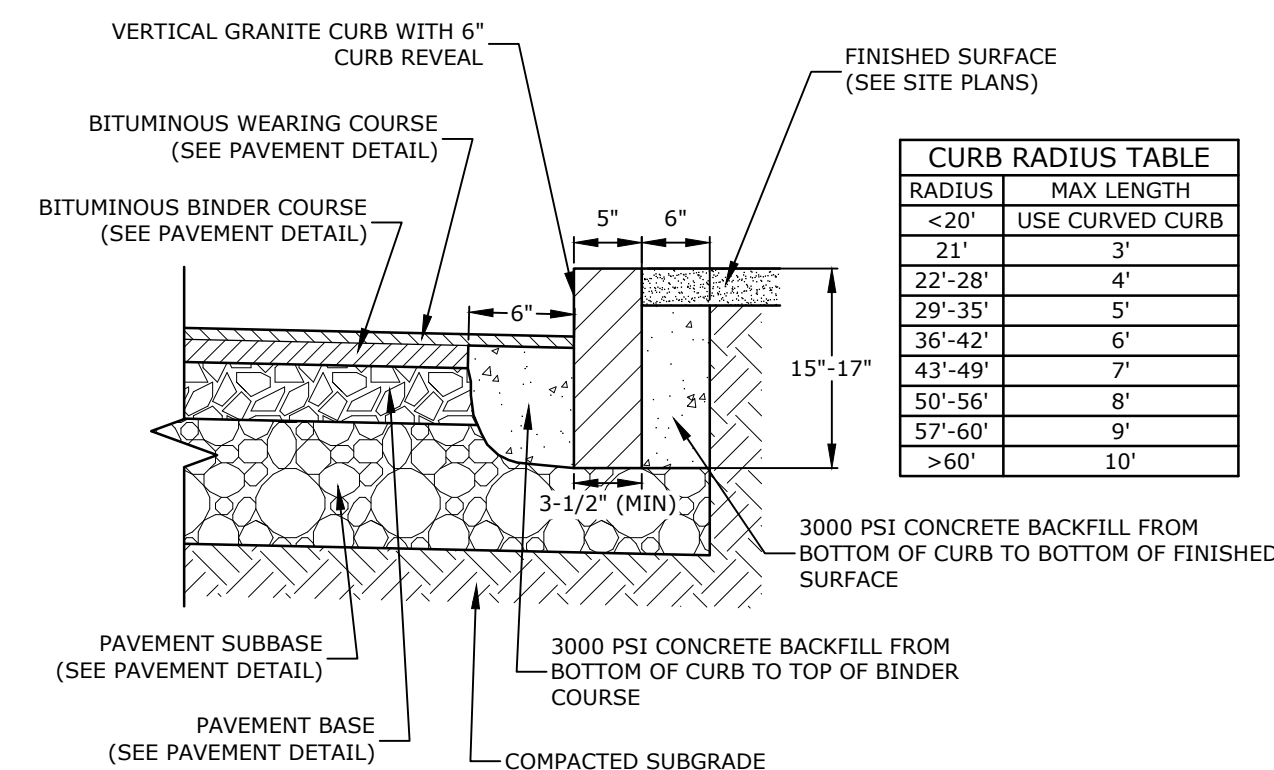




- NOTES:**
1. COIR MAT INLET FILTER SHALL BE STORM WATER INLET FILTER BY BLOCKSOM & CO. OR APPROVED EQUAL.
 2. INSTALL AND MAINTAIN INLET PROTECTION IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

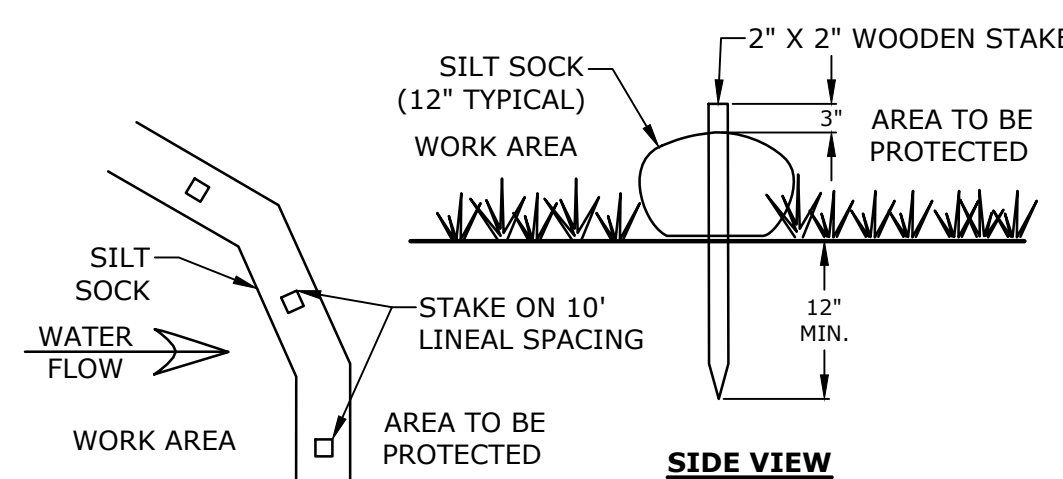


- NOTES:**
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

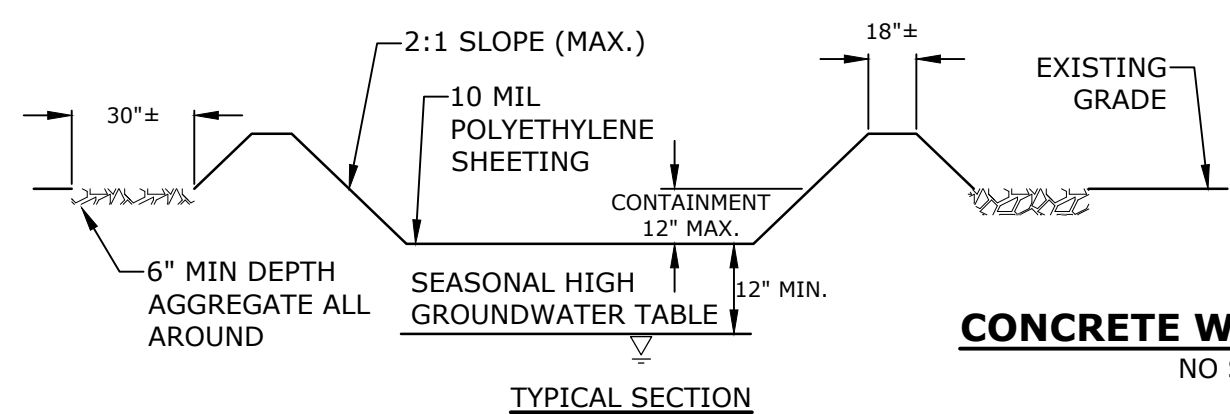


RADIUS	MAX LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
>60'	10'

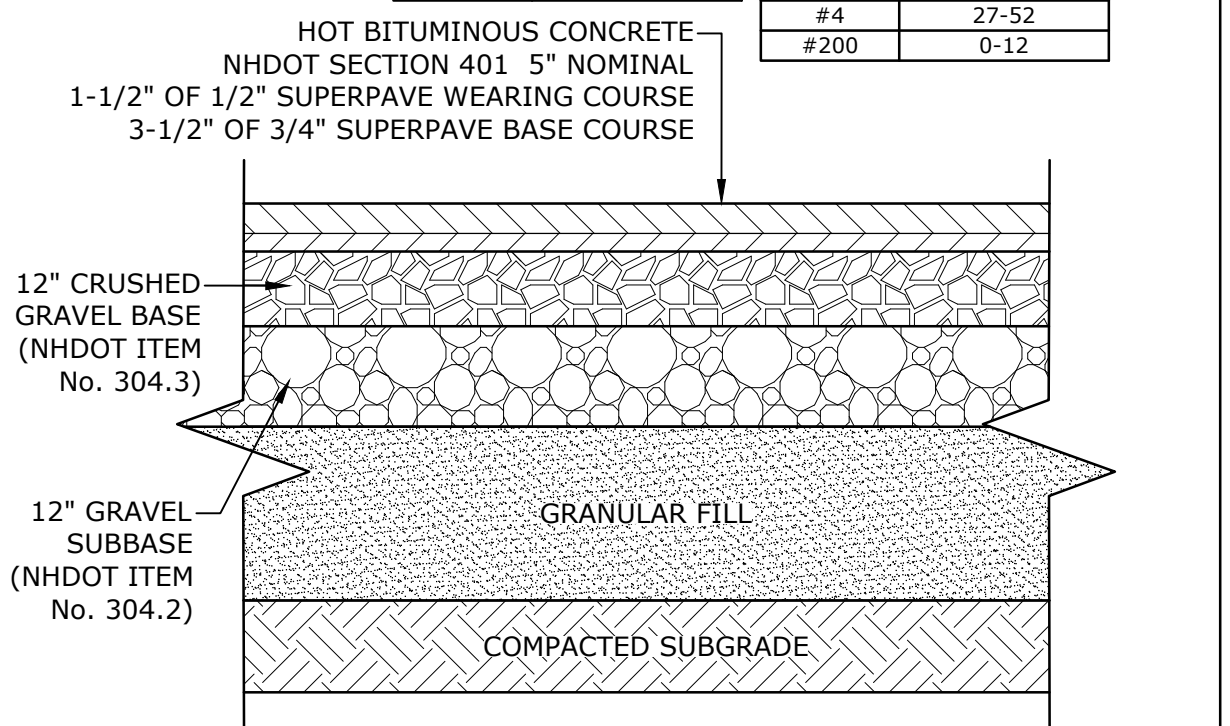
- NOTES:**
1. SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 6. ALL RADII 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
 7. JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.



- NOTES:**
1. SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL.
 2. INSTALL SILT SOCK IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

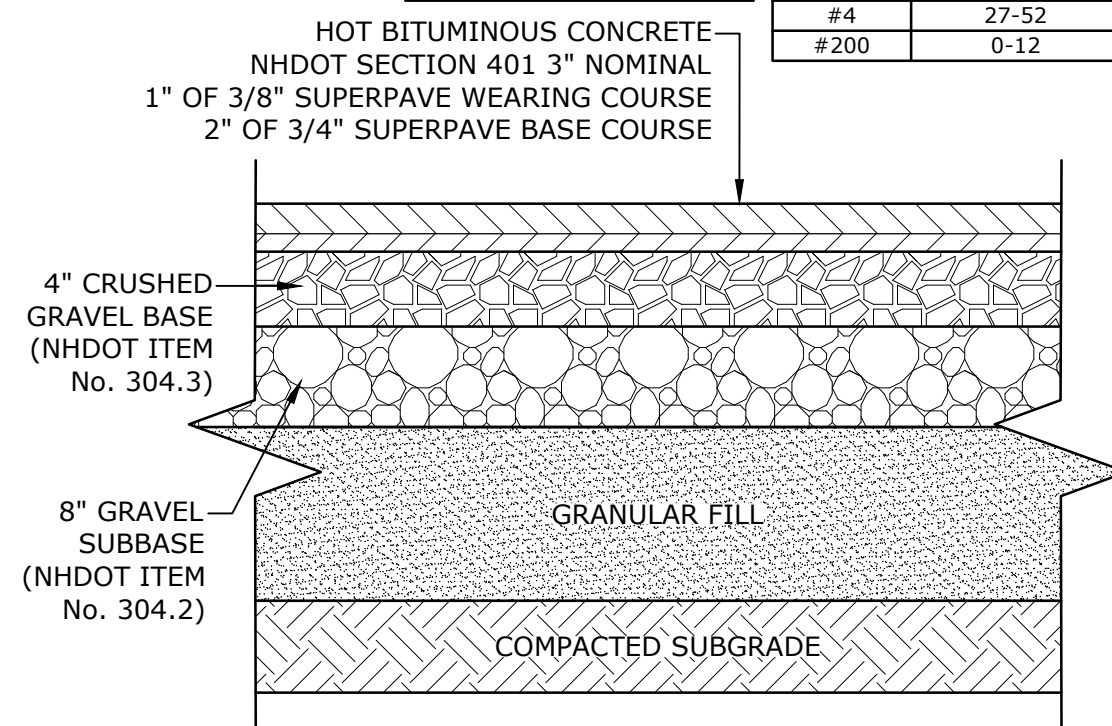


NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
		#200	0-12

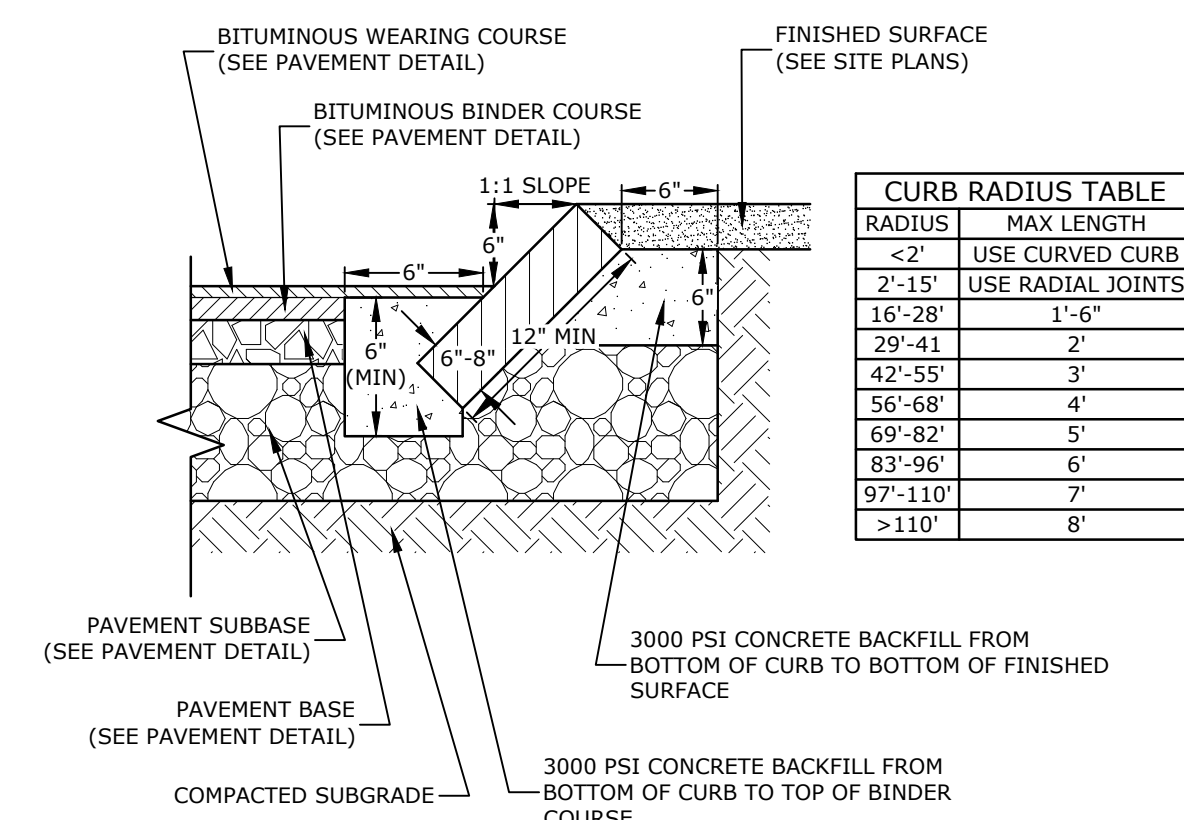


- NOTES:**
1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
		#200	0-12

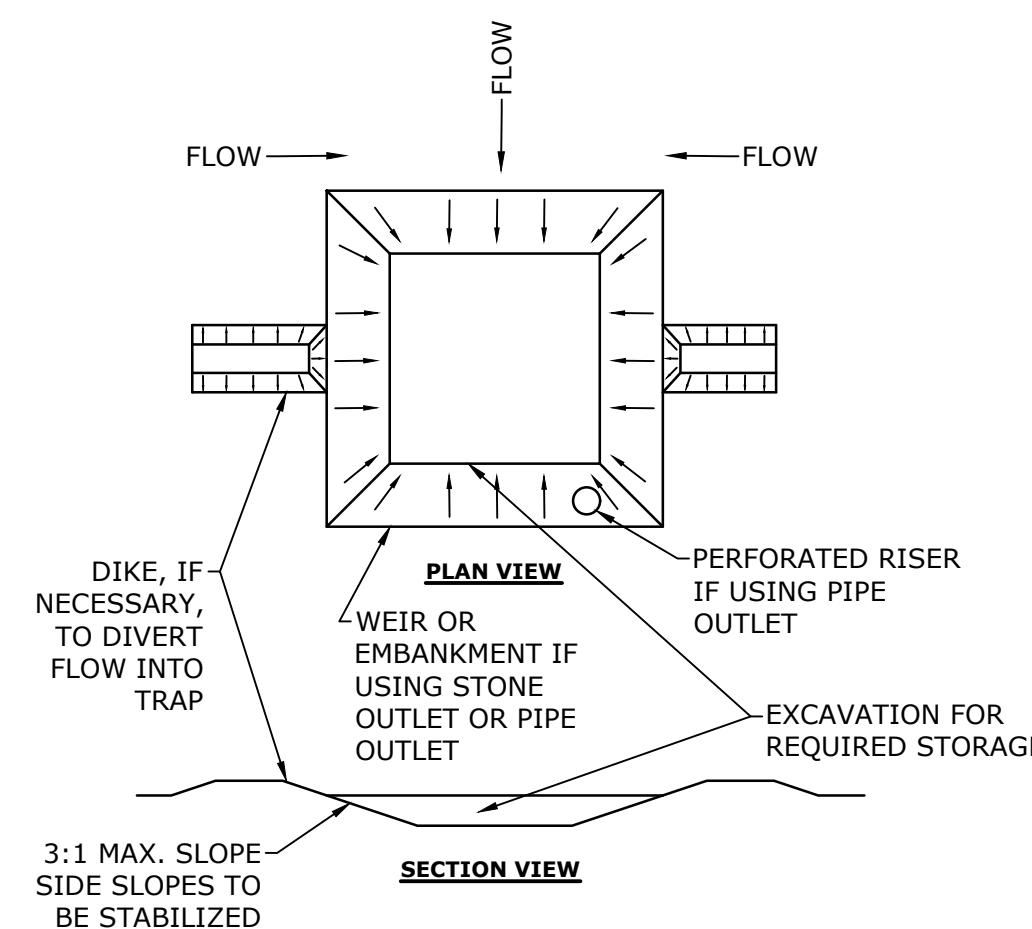


- NOTES:**
1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

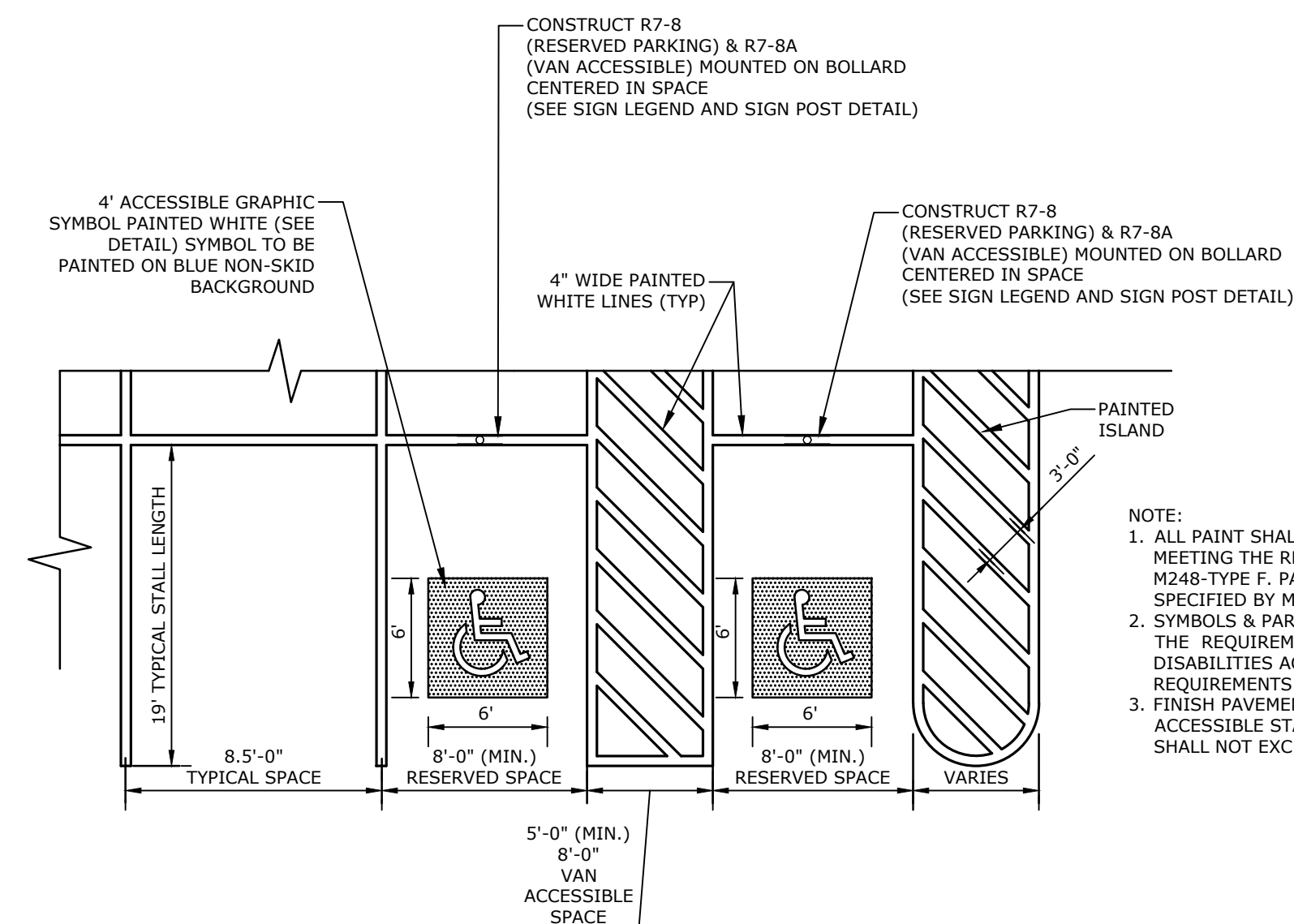


RADIUS	MAX LENGTH
<2'	USE CURVED CURB
2'-15'	USE RADIAL JOINTS
16'-28'	1'-6"
29'-41'	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
>110'	8'

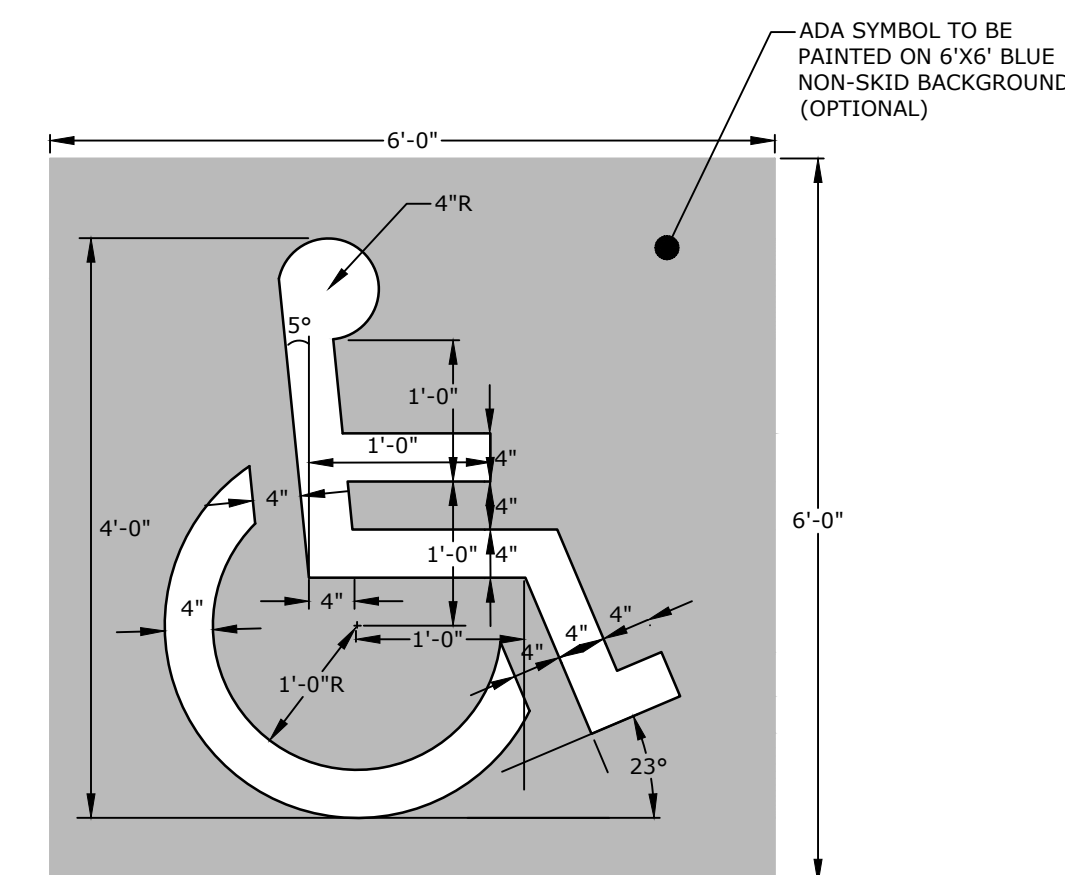
- NOTES:**
1. SEE SITE PLAN(S) FOR LIMITS OF SLOPED GRANITE CURB (SGC).
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 18"
 4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 6. JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.



- NOTES:**
1. THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE.
 2. THE MAXIMUM CONTRIBUTING AREA TO A SINGLE TRAP SHALL BE LESS THAN 5 ACRES.
 3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
 4. TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP.
 5. TRAP SHALL DISCHARGE TO A STABILIZED AREA.
 6. TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
 7. MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
 8. SEDIMENT TRAPS MUST BE USED AS NEEDED TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.



- NOTE:**
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
 3. FINISH PAVEMENT GRADES AT ALL HANDICAP ACCESSIBLE STALLS AND PAINTED ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.



- NOTES:**
1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
 - OR
 1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT PARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.
 2. SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS.

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PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

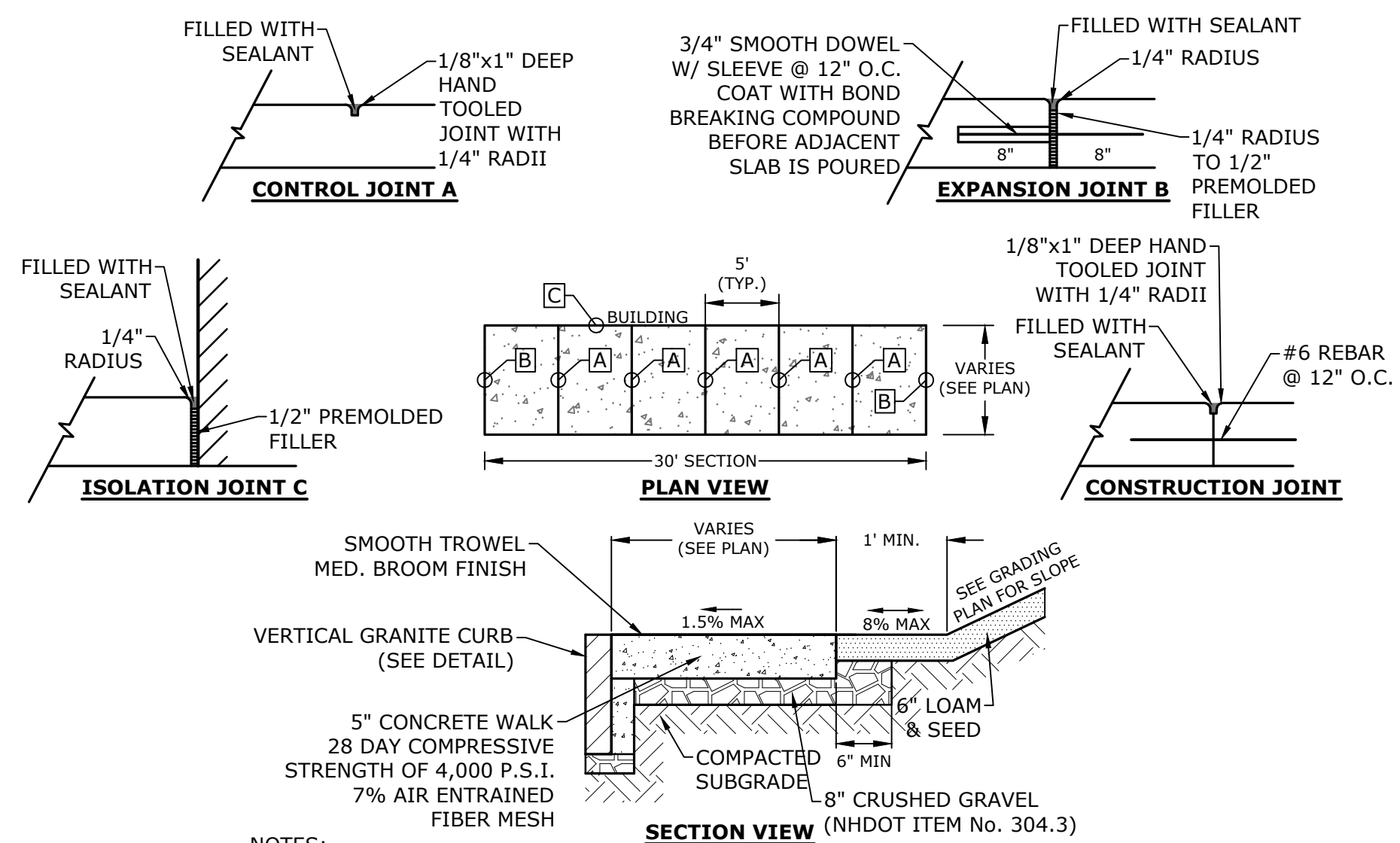
100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

MARK	DATE	DESCRIPTION
PROJECT NO:	E5071-001	
DATE:	3/5/2024	
FILE:	E5071-001-C-DTLS.dwg	
DRAWN BY:	BKC	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

DETAILS SHEET

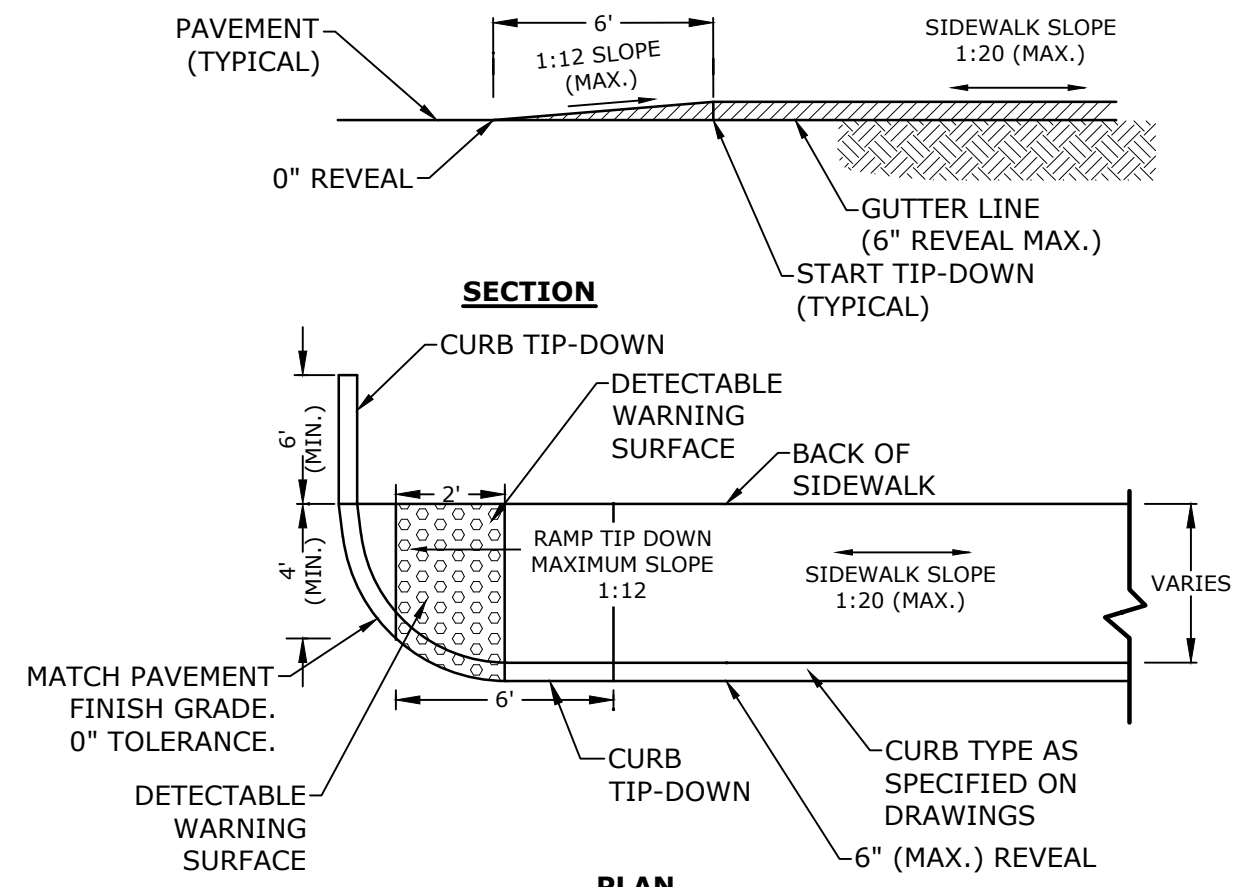
SCALE: AS SHOWN

C-602



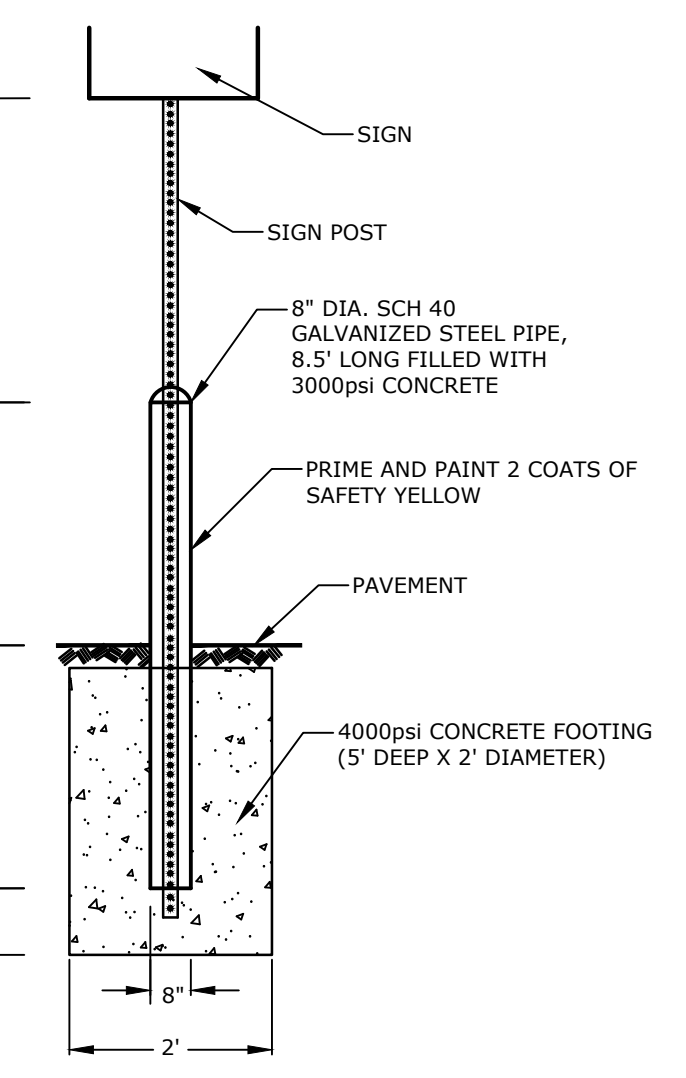
- SECTION VIEW**
SMOOTH TROWEL MED. BROOM FINISH
1.5% MAX
8% MAX
SEE GRADING PLAN FOR SLOPE
VERTICAL GRANITE CURB (SEE DETAIL)
5" CONCRETE WALK 28 DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I. 7% AIR ENTRAINED FIBER MESH
COMPACTED SUBGRADE
8" CRUSHED GRAVEL (NHDOT ITEM No. 304.3)
6" MIN
6" LOAM & SEED
- NOTES:**
1. SEE SITE PLAN FOR SIDEWALK WIDTH AND LOCATIONS.
2. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR WALK AND SIDE SLOPE GRADES.
3. ISOLATION JOINTS ADJACENT TO BUILDING SHALL BE COORDINATED WITH BUILDING DRAWINGS.

CONCRETE SIDEWALK WITH GRANITE CURB
NO SCALE



- NOTES:**
1. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
2. PROVIDE 8" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMP.
3. DETECTABLE WARNING STRIP SHALL BE ADA SOLUTIONS, INC. CAST IN PLACE RAMP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

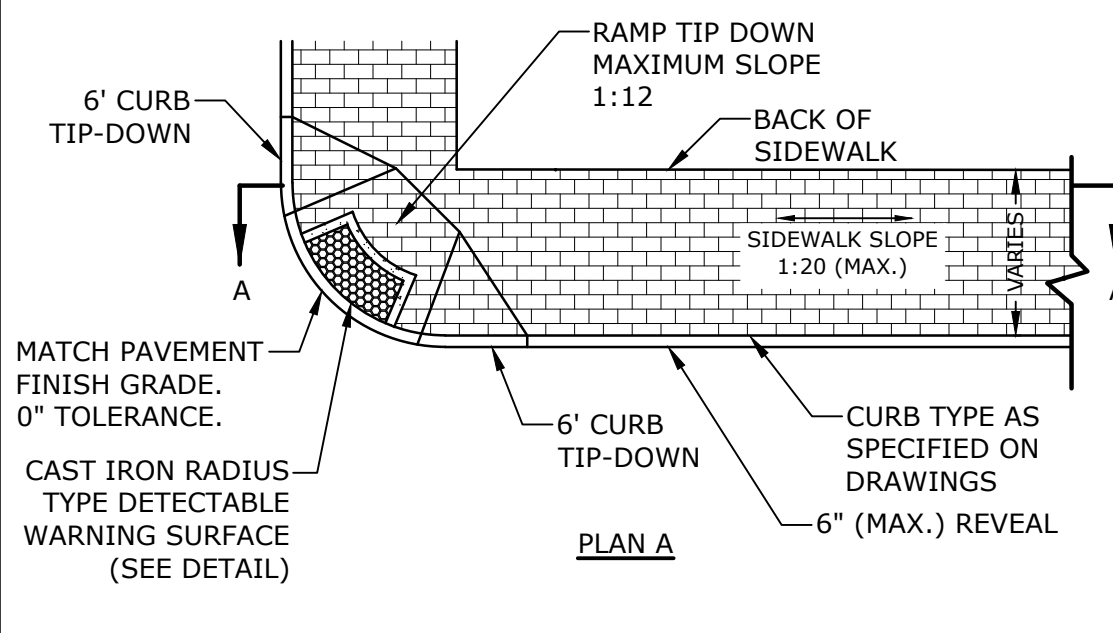
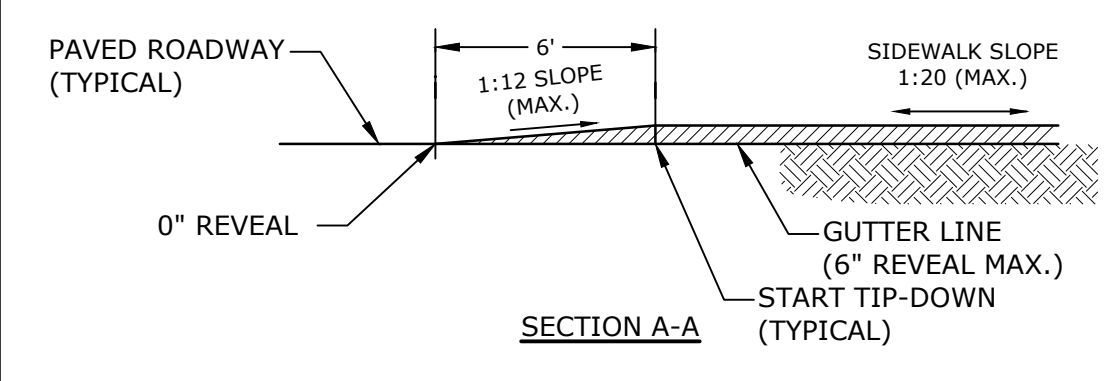
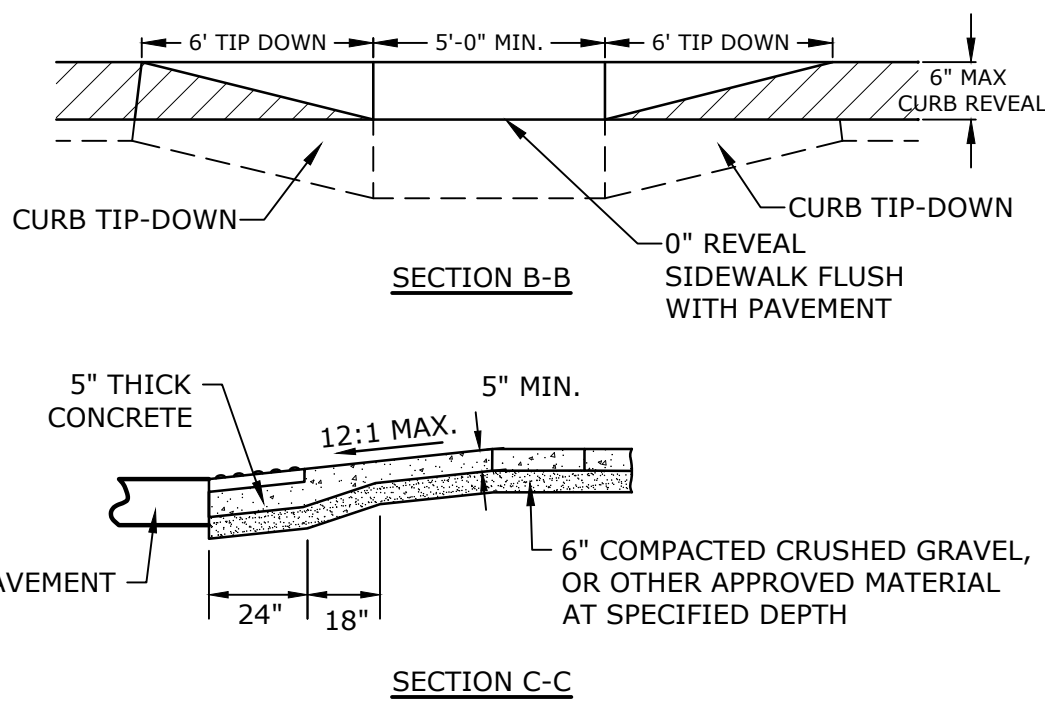
CONCRETE SIDEWALK TIP-DOWN RAMP WITH DETECTABLE WARNING PANEL
NO SCALE



BOLLARD MOUNTED SIGN DETAIL
NO SCALE

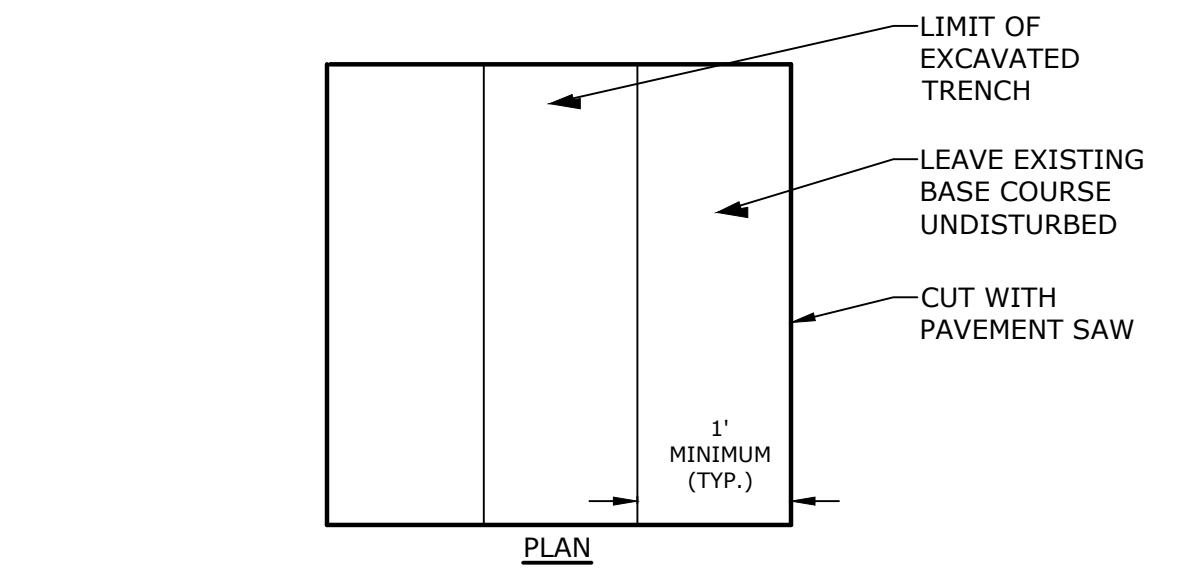
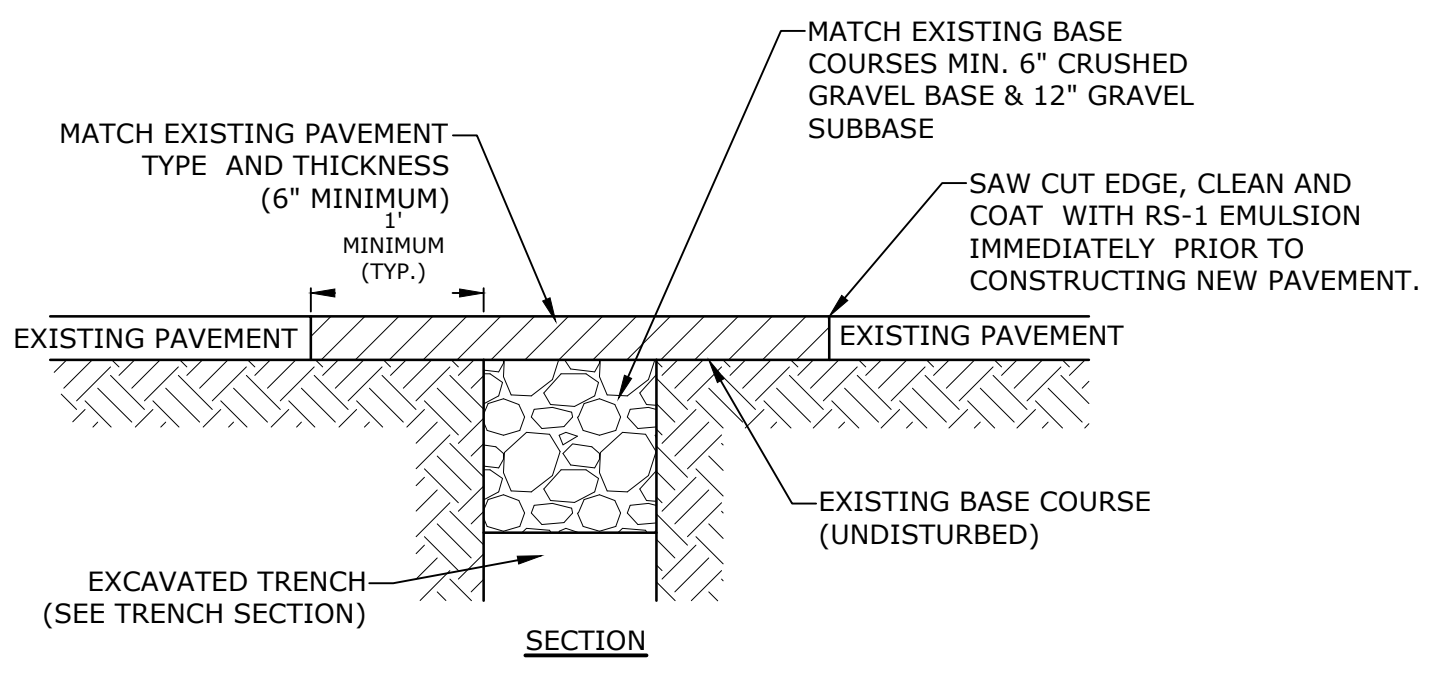
NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)

SIEVE SIZE	% PASSING
3"	100
2"	95-100
1"	55-85
#4	27-52
#200	0-12



- NOTES:**
1. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
2. A 6" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMP.
3. DETECTABLE WARNING PANEL SHALL BE CAST IRON SET IN CONCRETE (SEE DETAIL.)
4. PROVIDE DETECTABLE WARNING SURFACES ANYTIME THAT A CURB RAMP, BLENDED TRANSITION, OR LANDING CONNECTS TO A STREET.
5. LOCATE THE DETECTABLE WARNING SURFACES AT THE BACK OF THE CURB ALONG THE EDGE OF THE LANDING.
6. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 12:1, THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
7. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMP SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FT. FROM THE ROADWAY CURBLINE.
8. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS.
9. DETECTABLE WARNING PANELS SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET.
10. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST VISUALLY WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT).

CONCRETE WHEELCHAIR ACCESSIBLE RAMP
NO SCALE

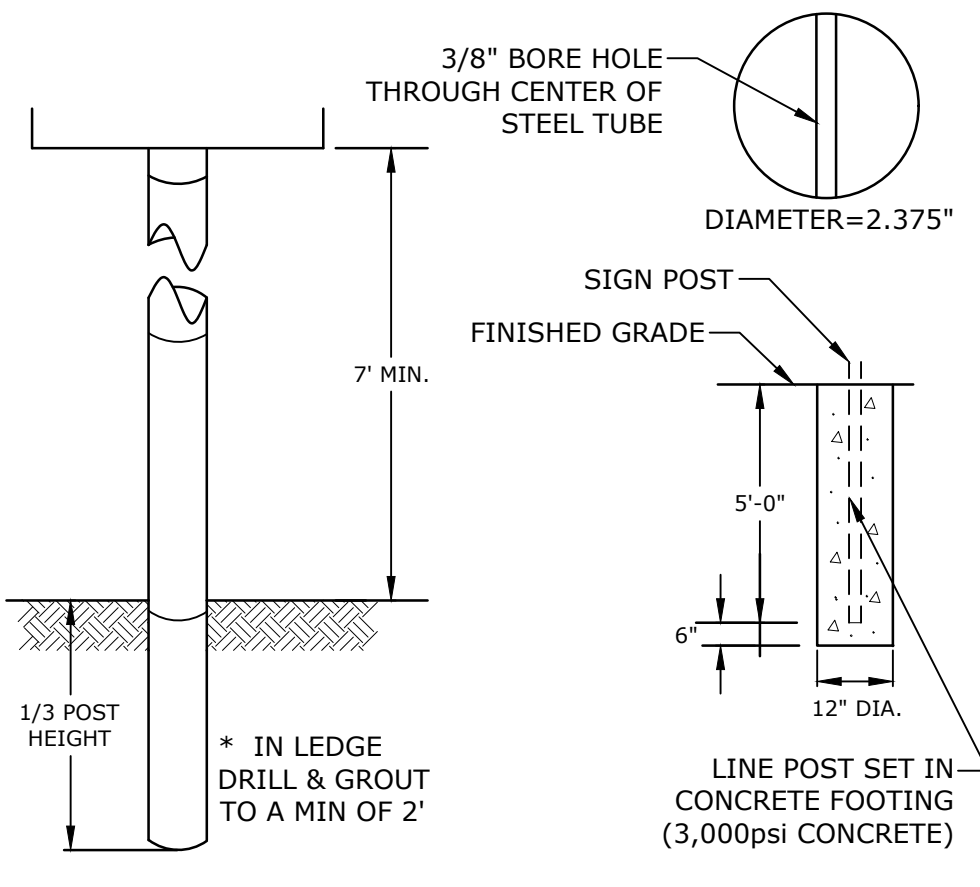


- NOTE:**
1. COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT OF WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

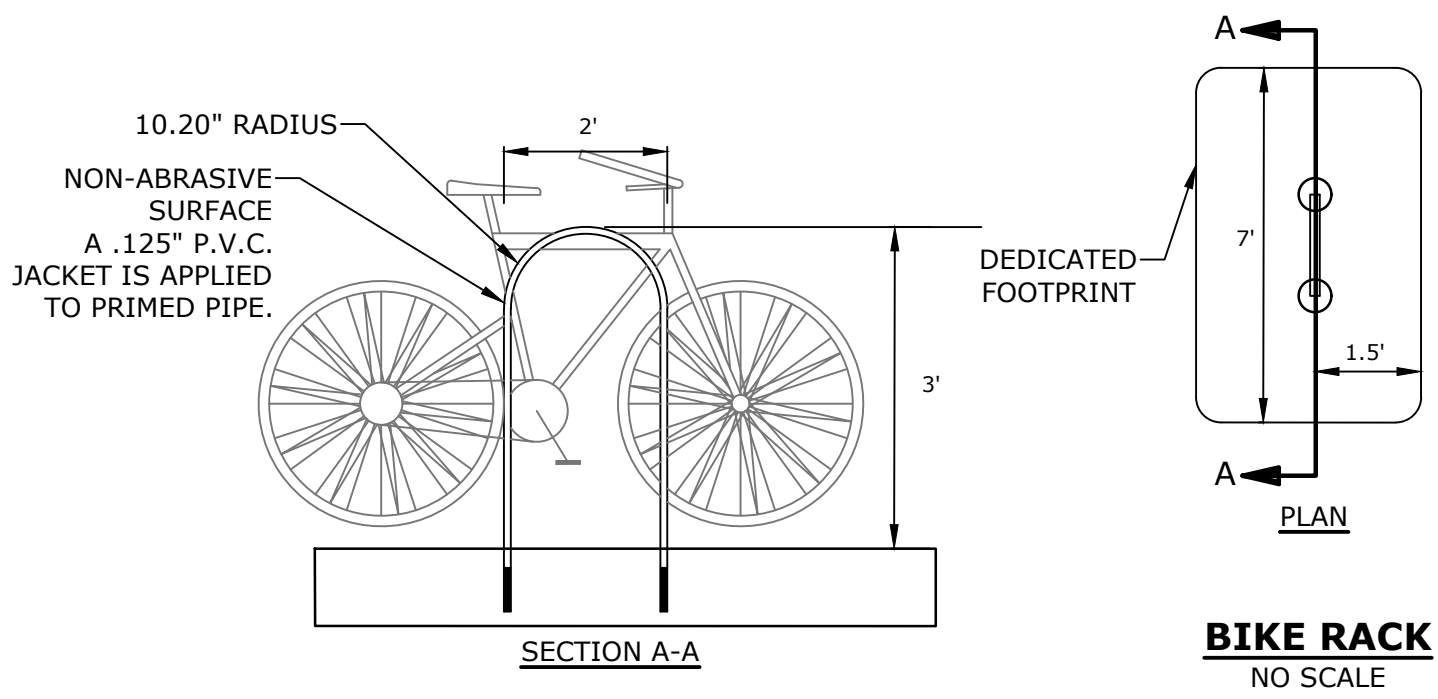
ROADWAY TRENCH PATCH
NO SCALE

SIGN LEGEND & SIGN POST
NO SCALE

VAN ACCESSIBLE R7-8P 18" X 9" GREEN ON WHITE	LOADING ZONE NO PARKING 5AM-9AM 12" X 18" RED ON WHITE	RESERVED PARKING R7-8 12" X 18" BLUE AND GREEN ON WHITE
DO NOT ENTER R5-1 24" X 24" WHITE ON RED	STOP R1-1 30" X 30" WHITE ON RED	ONLY R3-5R 24" X 18" BLACK ON WHITE
NO PARKING FIRE LANE R7-32 12" X 18" RED ON WHITE	BEGIN M4-14 12" X 6" WHITE ON GREEN	END M4-6 12" X 6" WHITE ON GREEN
BICYCLE D11-1A 18" X 18" WHITE ON GREEN	SPEED LIMIT 5 R1-2 12" X 18" BLACK ON WHITE	PEDESTRIAN D11-2 18" X 18" WHITE ON GREEN
NO PUBLIC PARKING 12" X 18" BLACK ON WHITE	EXCEPT BIKES W16-8P 18" X 8" BLACK ON YELLOW	ONE WAY R6-1L & R6-1R 36" X 12" BLACK ON WHITE
PEDESTRIAN W11-2 30" X 30" BLACK ON YELLOW	ONE WAY W16-7P 24" X 12" BLACK ON YELLOW	PUSH BUTTON TO TURN ON WARNING LIGHTS R10-25 15" X 9" BLACK ON WHITE



- NOTES:**
ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
POST: SCHEDULE 40 GALVANIZED STEEL PIPE (OUTSIDE DIA. = 2.375").
FINISH: POST TO BE POWDER COATED GLOSS BLACK
LENGTH: AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)
HOLES: 3/8" DIAMETER (AS REQUIRED)
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080)



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PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

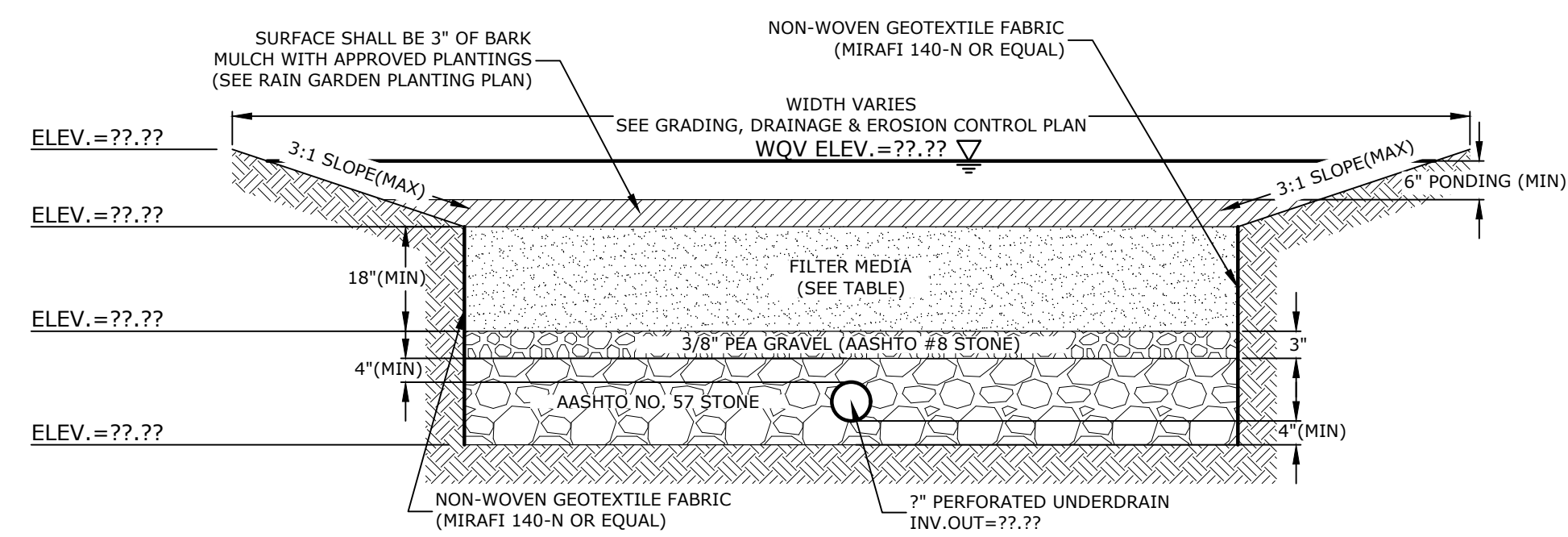
MARK	DATE	DESCRIPTION

PROJECT NO:	E5071-001
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DRAWN BY:	BKC
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APPROVED BY:	PMC

DETAILS SHEET

SCALE: AS SHOWN

C-603

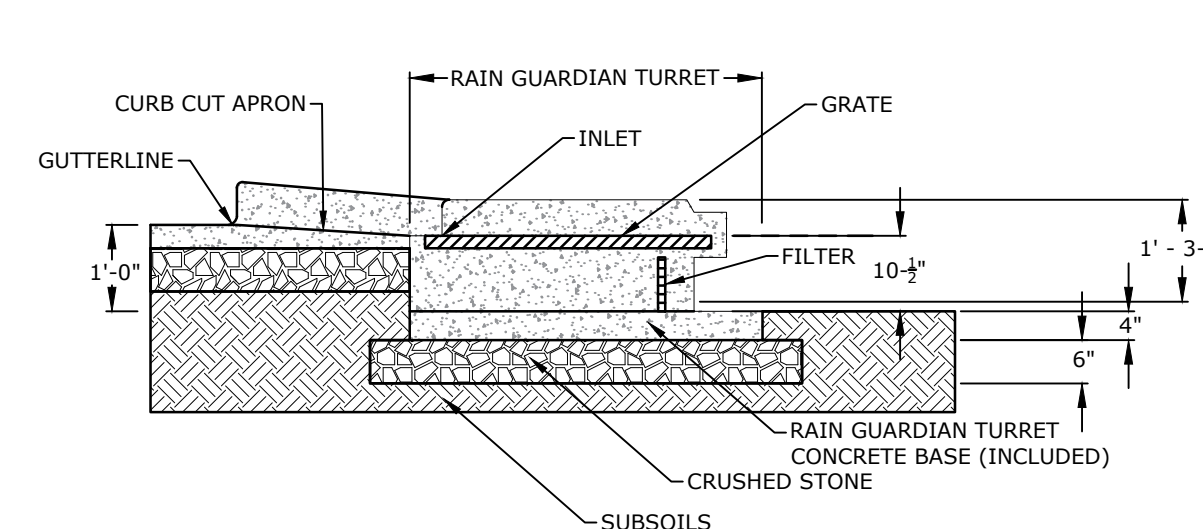


FILTER MEDIA COMPOSITION:

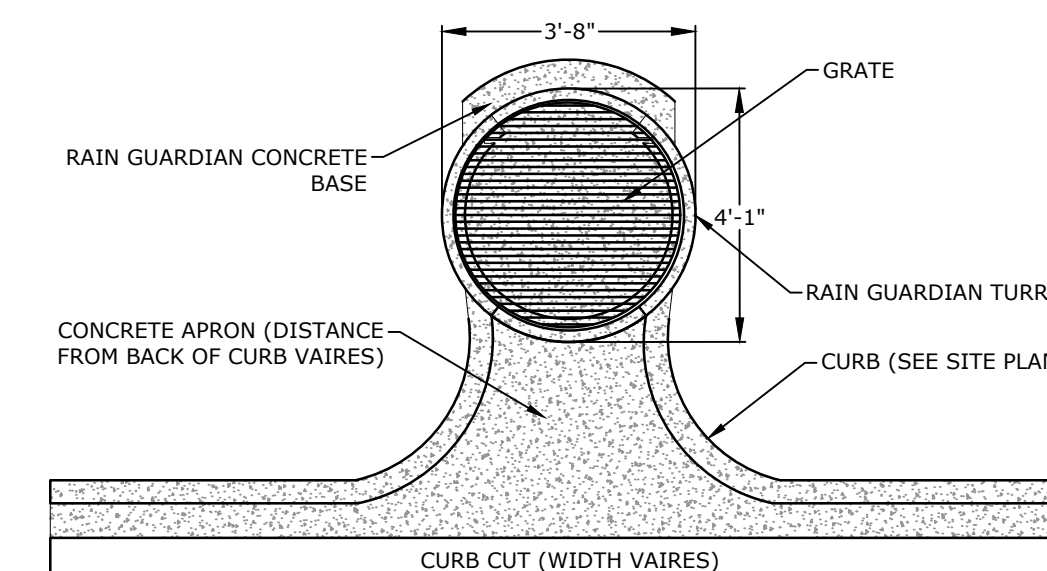
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL
		SIEVE NO. PERCENT PASSING
ASTM C-33 CONCRETE SAND	50-55	SEE NOTE #5
LOAMY SAND TOPSOIL	20-30	200 15-25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH	20-30	200 5 MAX

- NOTES:
- BARK MULCH SHALL BE AGED A MINIMUM OF 12 MONTHS AND SHALL NOT FLOAT.
 - RAIN GARDENS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. CONTRACTOR SHALL KEEP ALL EXCAVATION EQUIPMENT OUTSIDE OF THE LIMIT OF THE RAIN GARDEN.
 - SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR LOCATIONS, LAYOUTS, AND ELEVATIONS.
 - THE SAND PORTION OF THE FILTER MEDIA SHALL MEET THE FOLLOWING GRADATION (ASTM C-33):
- | SIEVE SIZE | PERCENT PASSING |
|------------|-----------------|
| 3/8" | 100 |
| #4 | 95-100 |
| #8 | 80-100 |
| #16 | 50-85 |
| #30 | 25-60 |
| #50 | 5-30 |
| #100 | 0-10 |

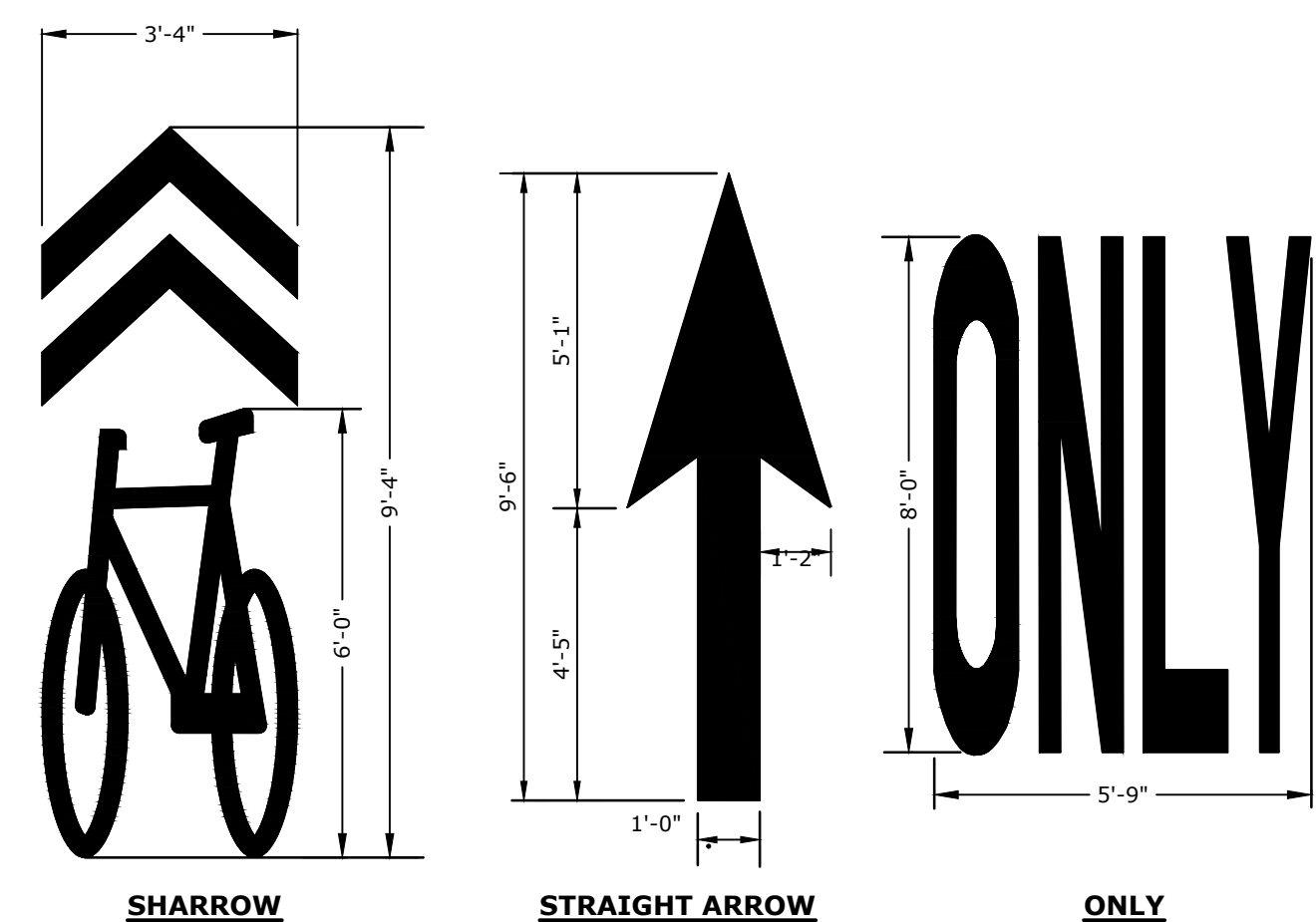
RAIN GARDEN
NO SCALE



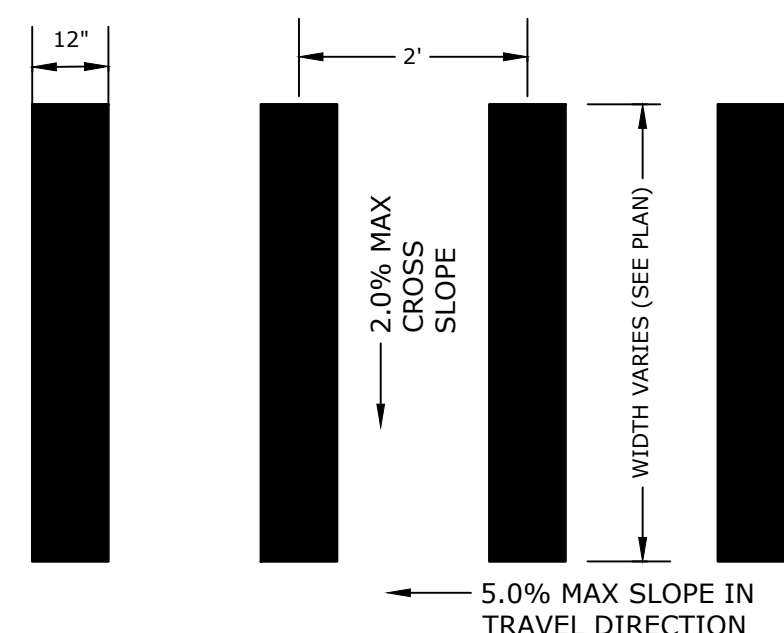
RAIN GUARDIAN TURRET
NO SCALE



- NOTES:
- RAIN GUARDIAN OR APPROVED EQUAL.
 - CURB INLET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURE RECOMMENDATION.

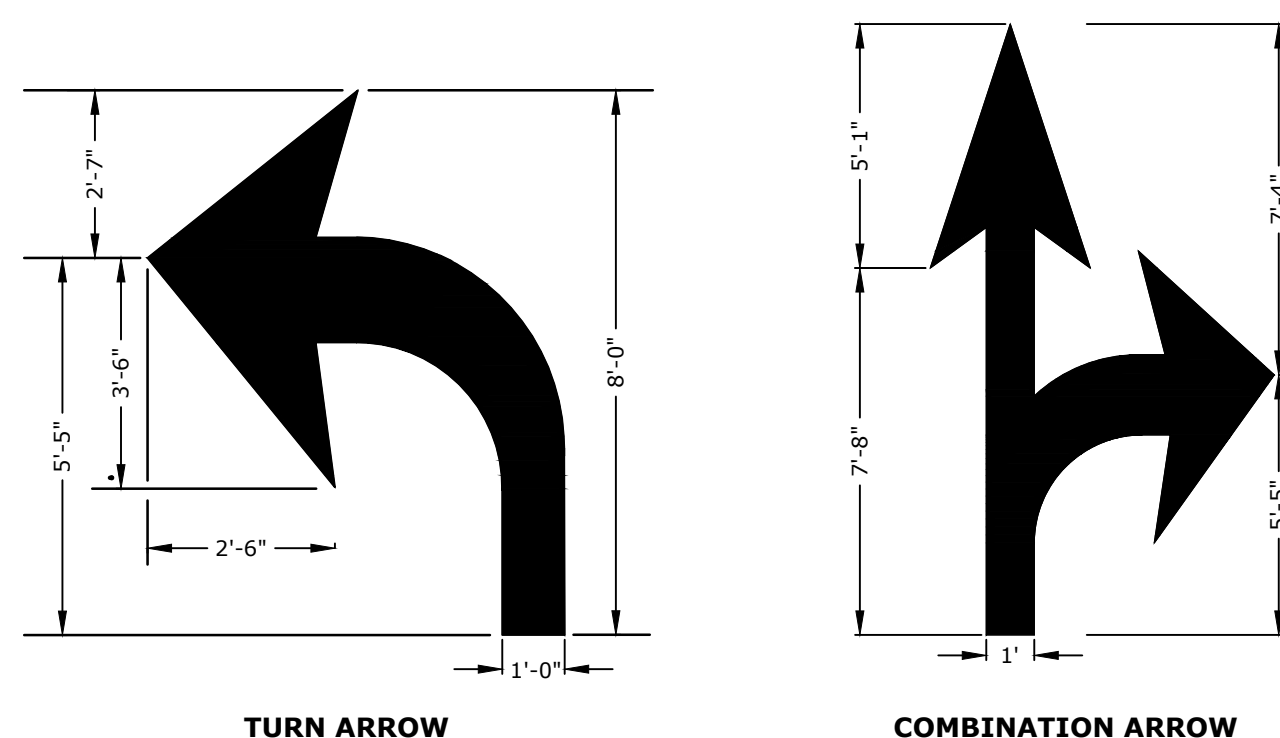


PAVEMENT MARKINGS
NO SCALE

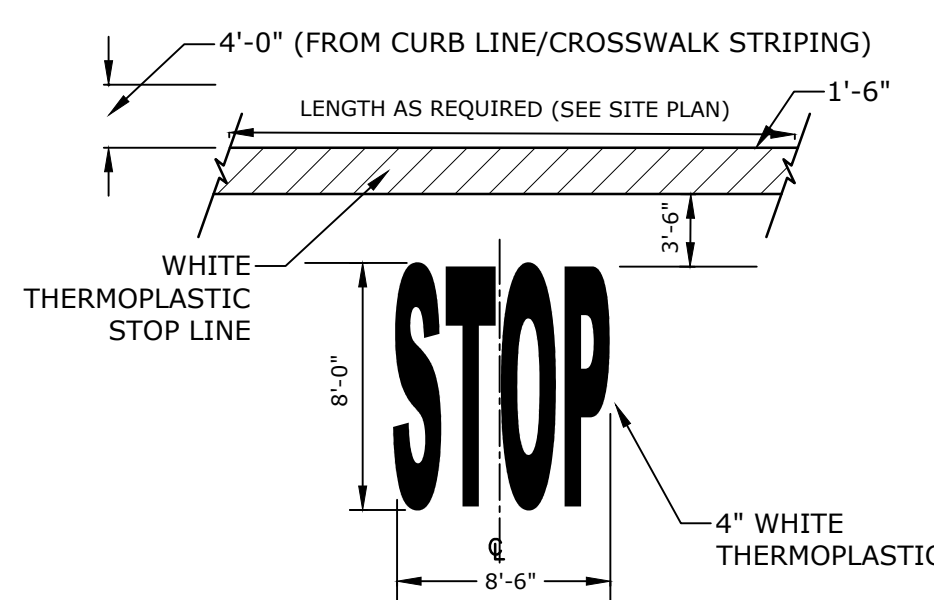


CROSSWALK STRIPING
NO SCALE

- NOTE:
- STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505



- NOTES:
- ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.
 - MULTI-WORD MESSAGES SHALL READ "UP"; THAT IS, THE FIRST WORD SHALL BE NEAREST THE APPROACHING DRIVER.
 - THE WORD "ONLY" SHALL NOT BE USED WITH THROUGH OR COMBINATION ARROWS, AND SHALL NOT BE USED ADJACENT TO A BROKEN LANE LINE. A WORD/SYMBOL SHALL PRECEED THE WORD "ONLY".
 - COMBINATION ARROWS MAY BE COMPRISED OF 2 SINGLE ARROWS (e.g. TURN AND THROUGH ARROWS). HOWEVER, THE SHAFTS OF THE ARROWS SHALL COINCIDE AS SHOWN.
 - PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
 - WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS.
 - ALL STOP BARS, WORDS, SYMBOLS AND ARROW SHALL BE THERMOPLASTIC.

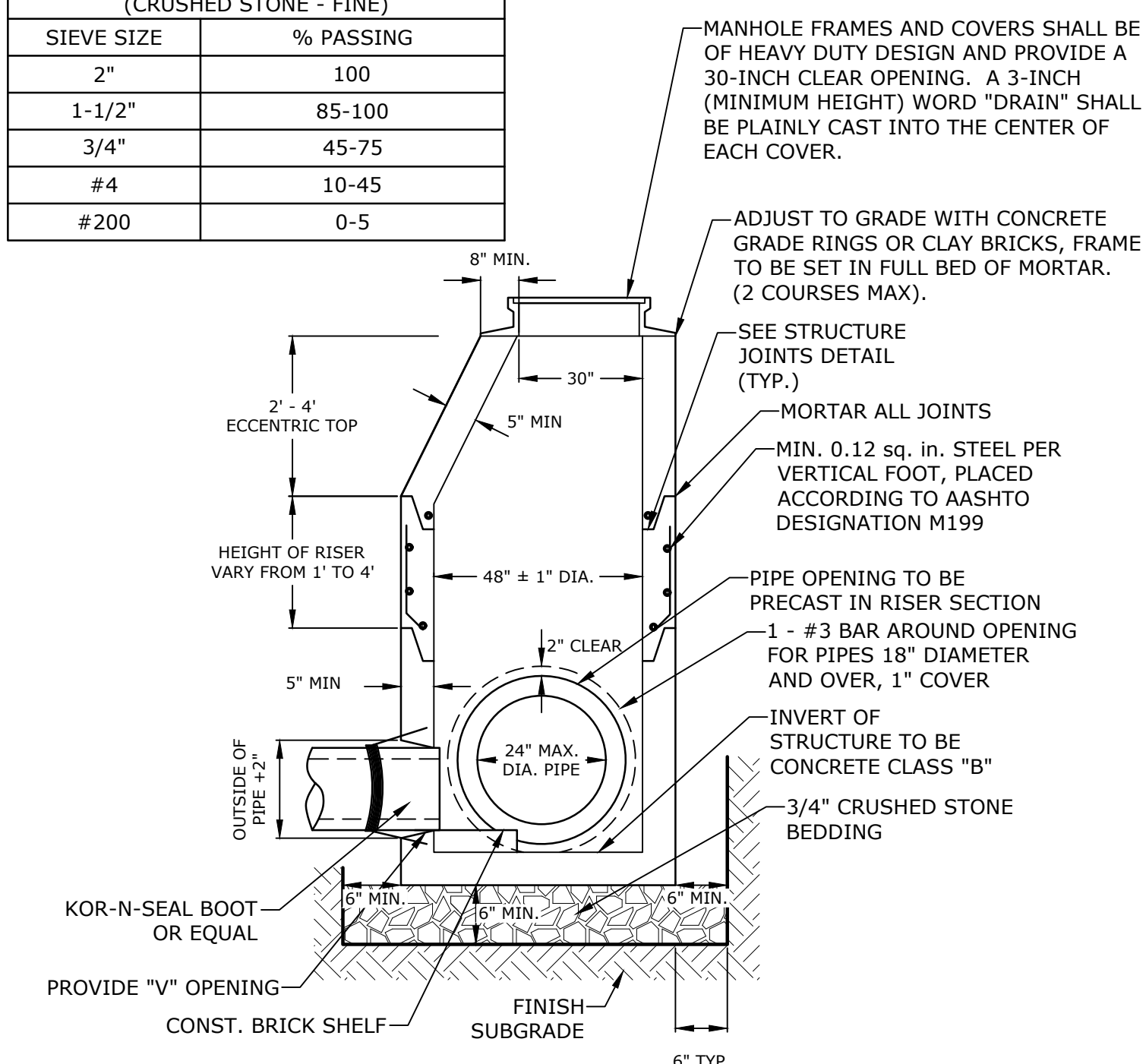


- NOTES:
- PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
 - STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

STOP BAR AND LEGEND
NO SCALE

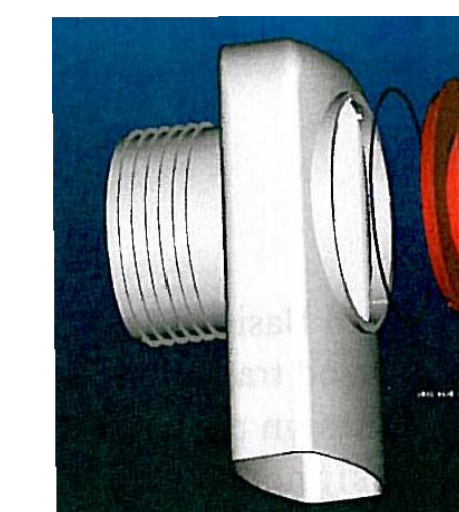
NHDOT ITEM No. 304.4 (CRUSHED STONE - FINE)

SIEVE SIZE	% PASSING
2"	100
1-1/2"	85-100
3/4"	45-75
#4	10-45
#200	0-5



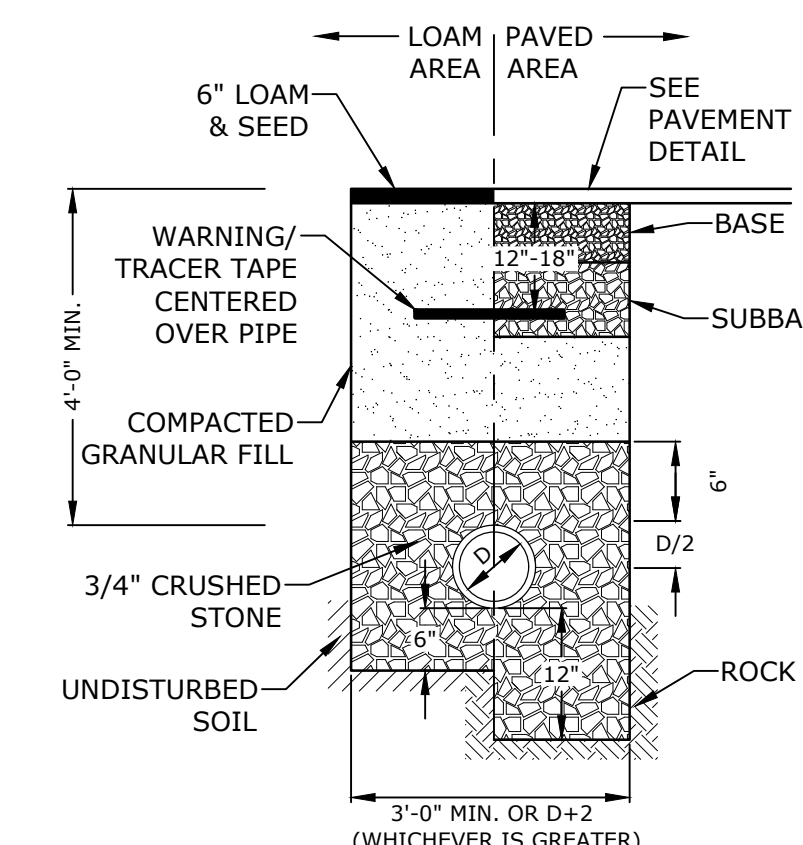
- NOTES:
- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 - THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
 - THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
 - CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
 - THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 - PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 - ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

4' DIAMETER DRAIN MANHOLE
NO SCALE



- NOTES:
- ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
 - INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
 - 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL FLOATING DEBRIS TRAP



- NOTES:
- CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
 - ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

STORM DRAIN TRENCH
NO SCALE

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PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

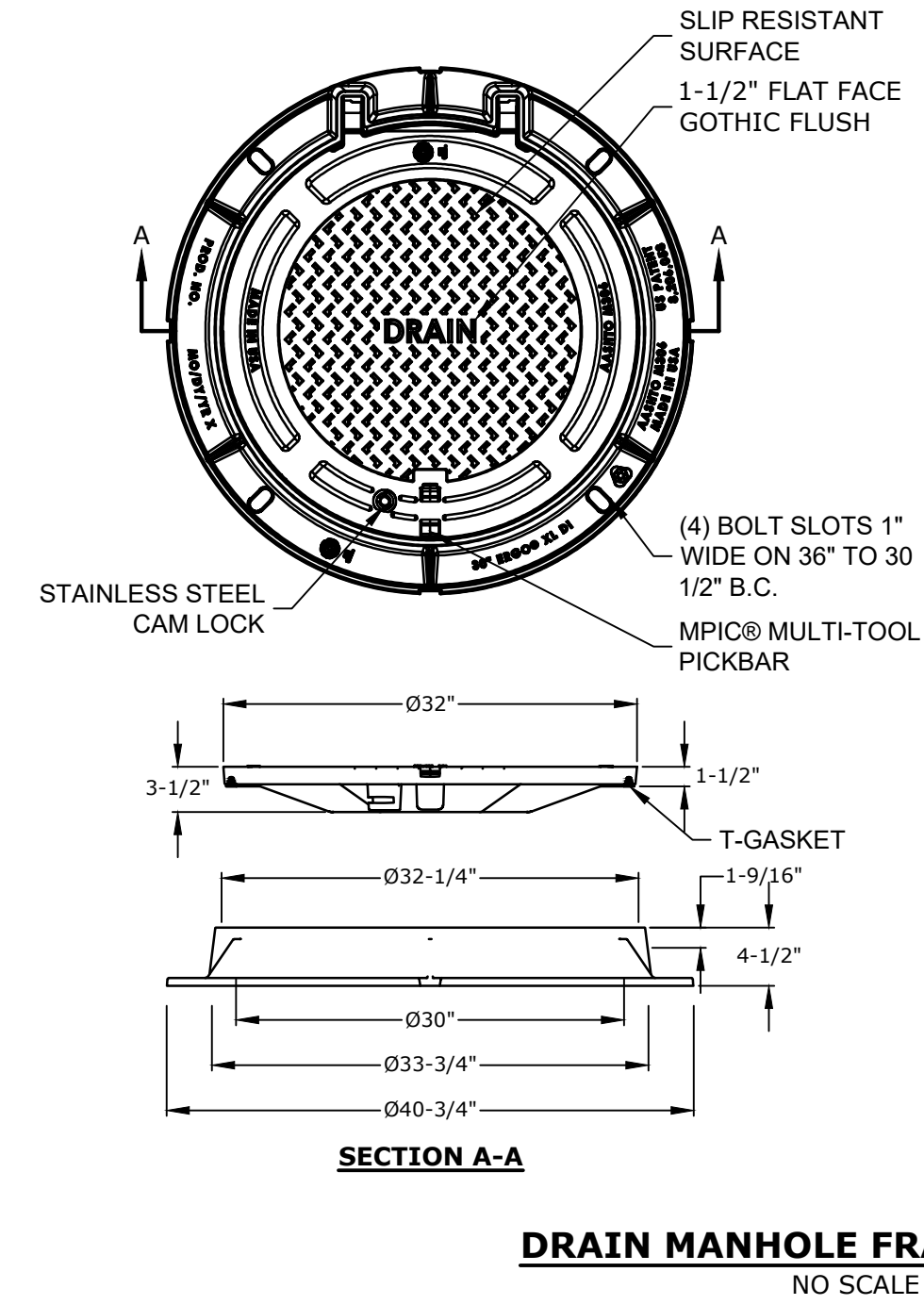
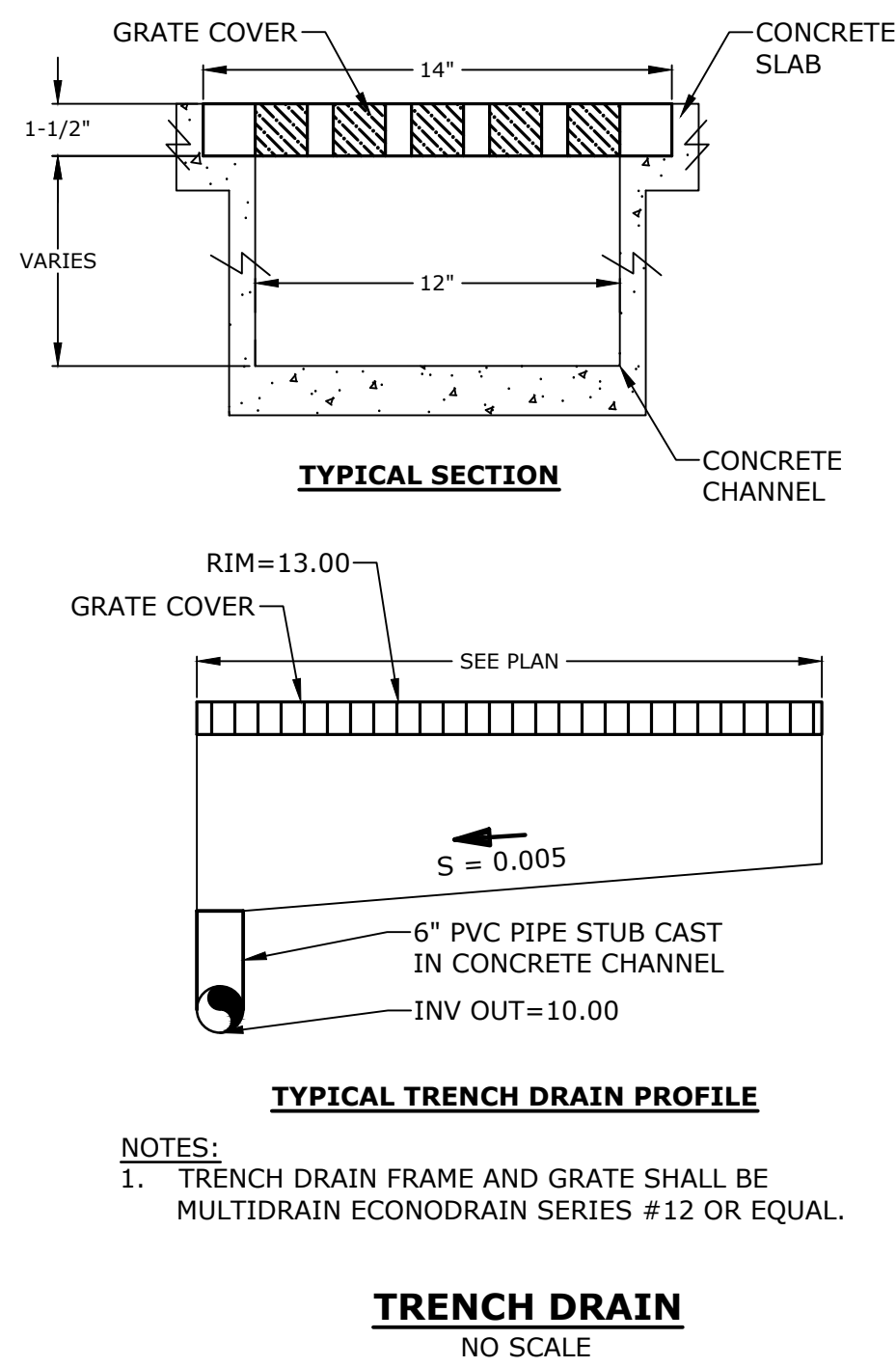
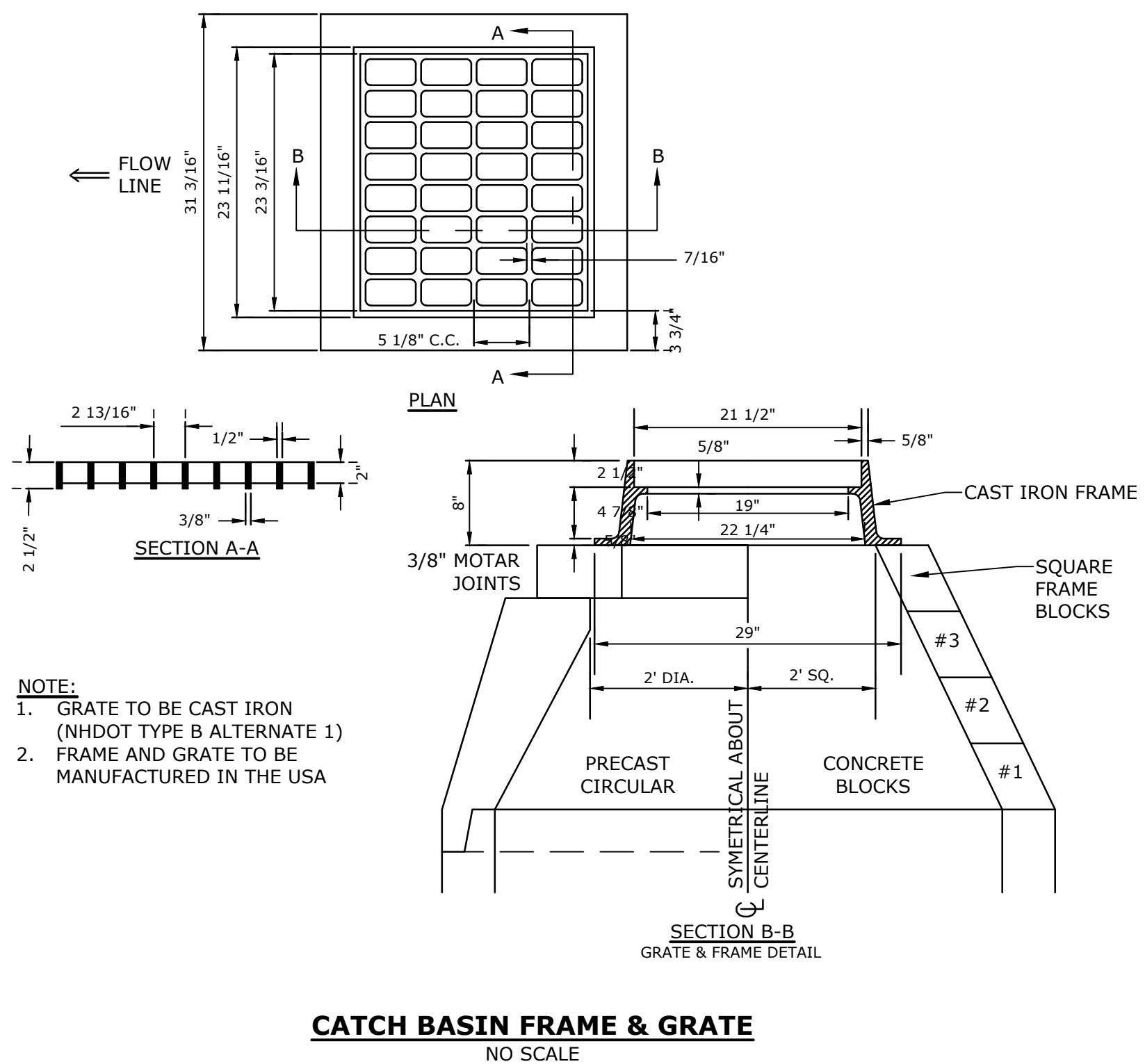
100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

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DATE:	3/5/2024	
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DRAWN BY:	BKC	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

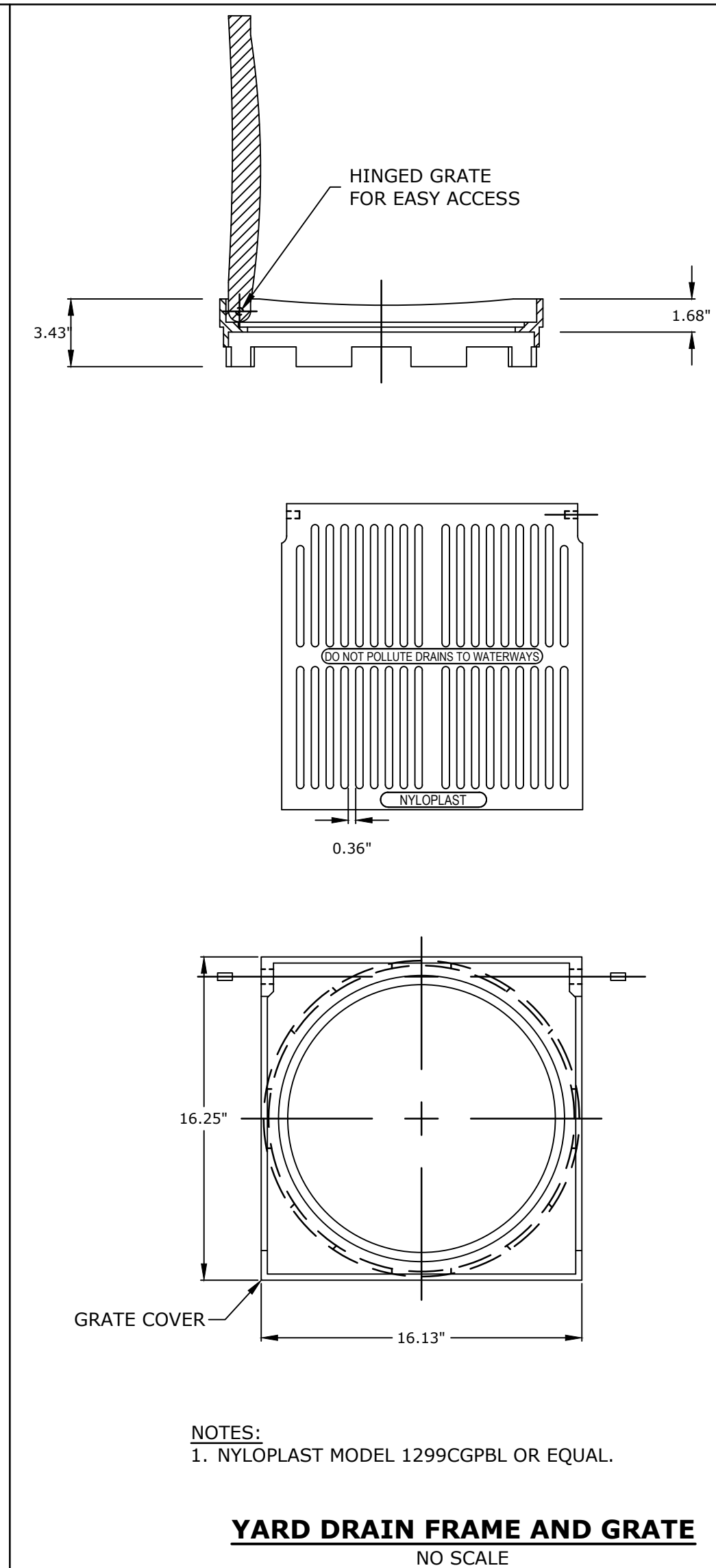
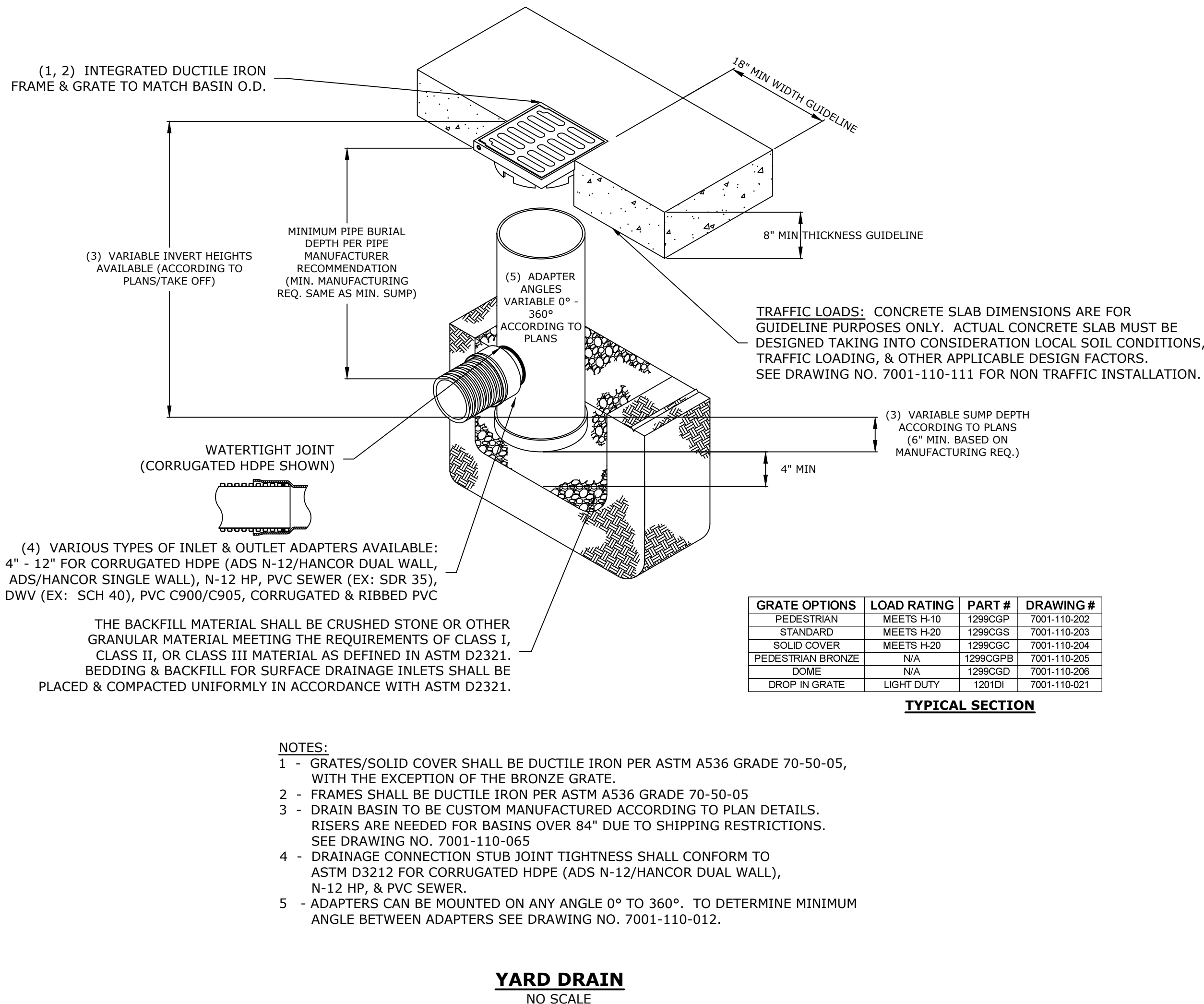
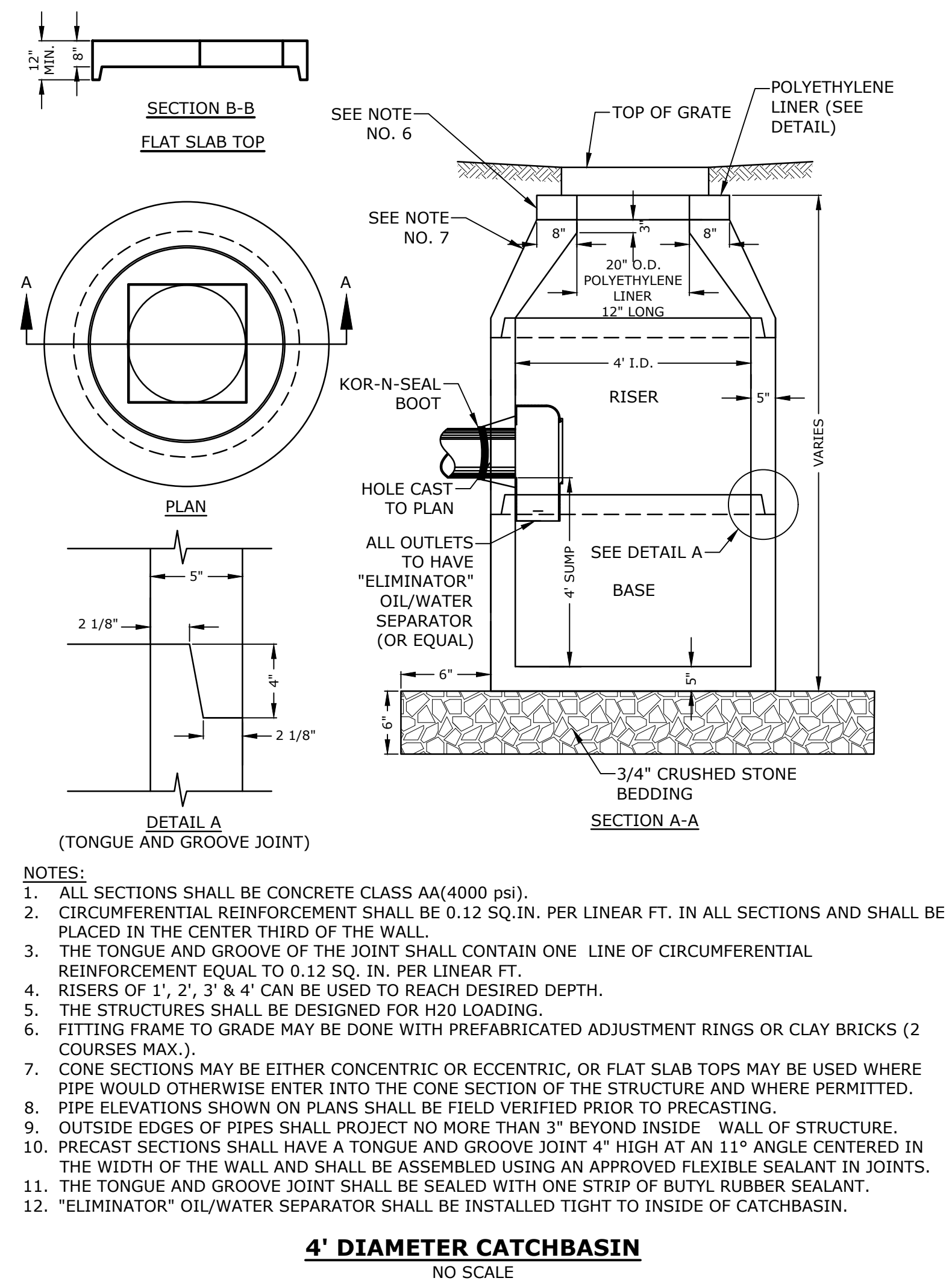
DETAILS SHEET

SCALE: AS SHOWN

C-604



- NOTES:
1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL BY EJ CO.
 2. ALL DIMENSIONS ARE NOMINAL.
 3. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
 - A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
 - B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
 - C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.



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PROPOSED MULTI-FAMILY DEVELOPMENT

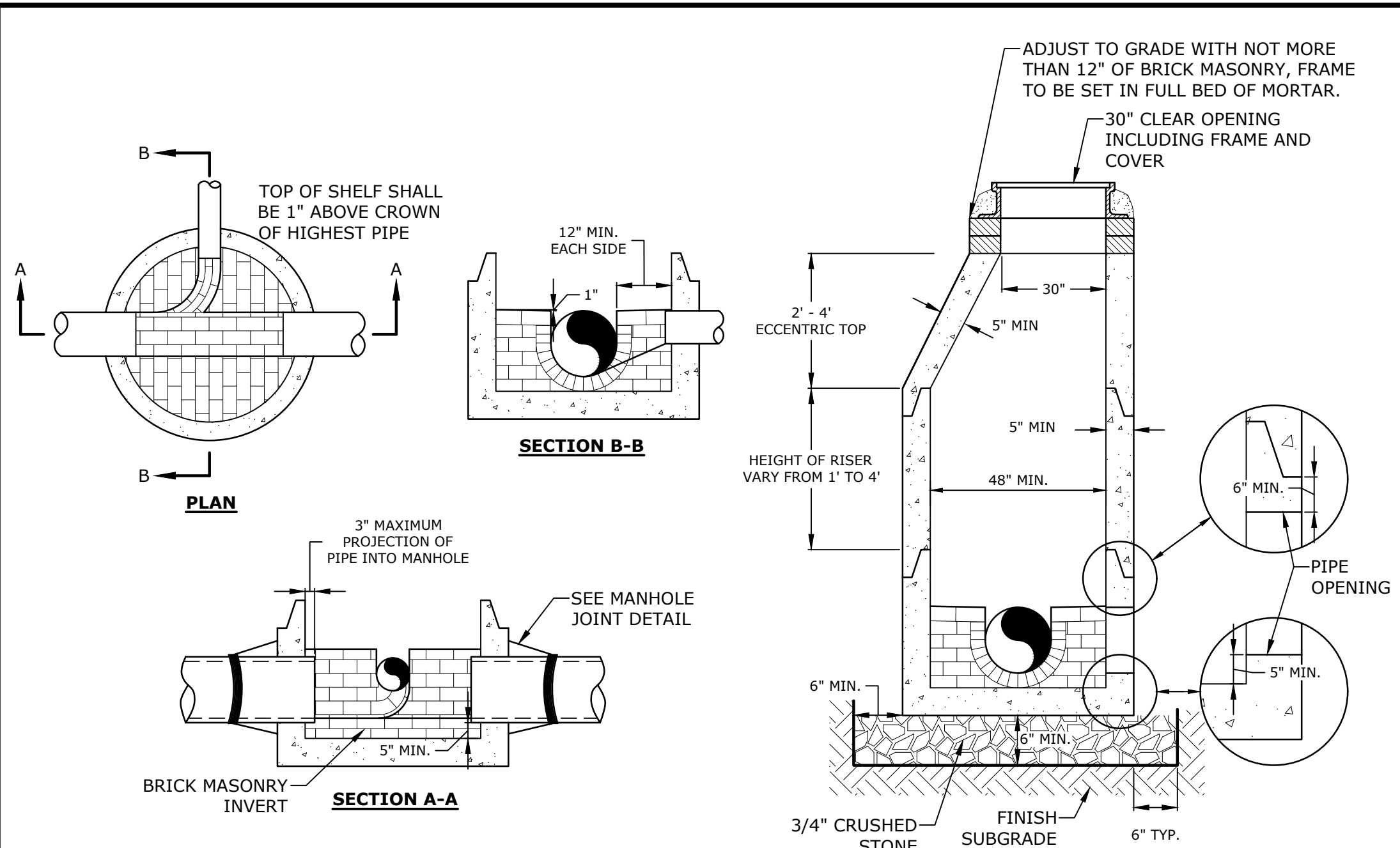
100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

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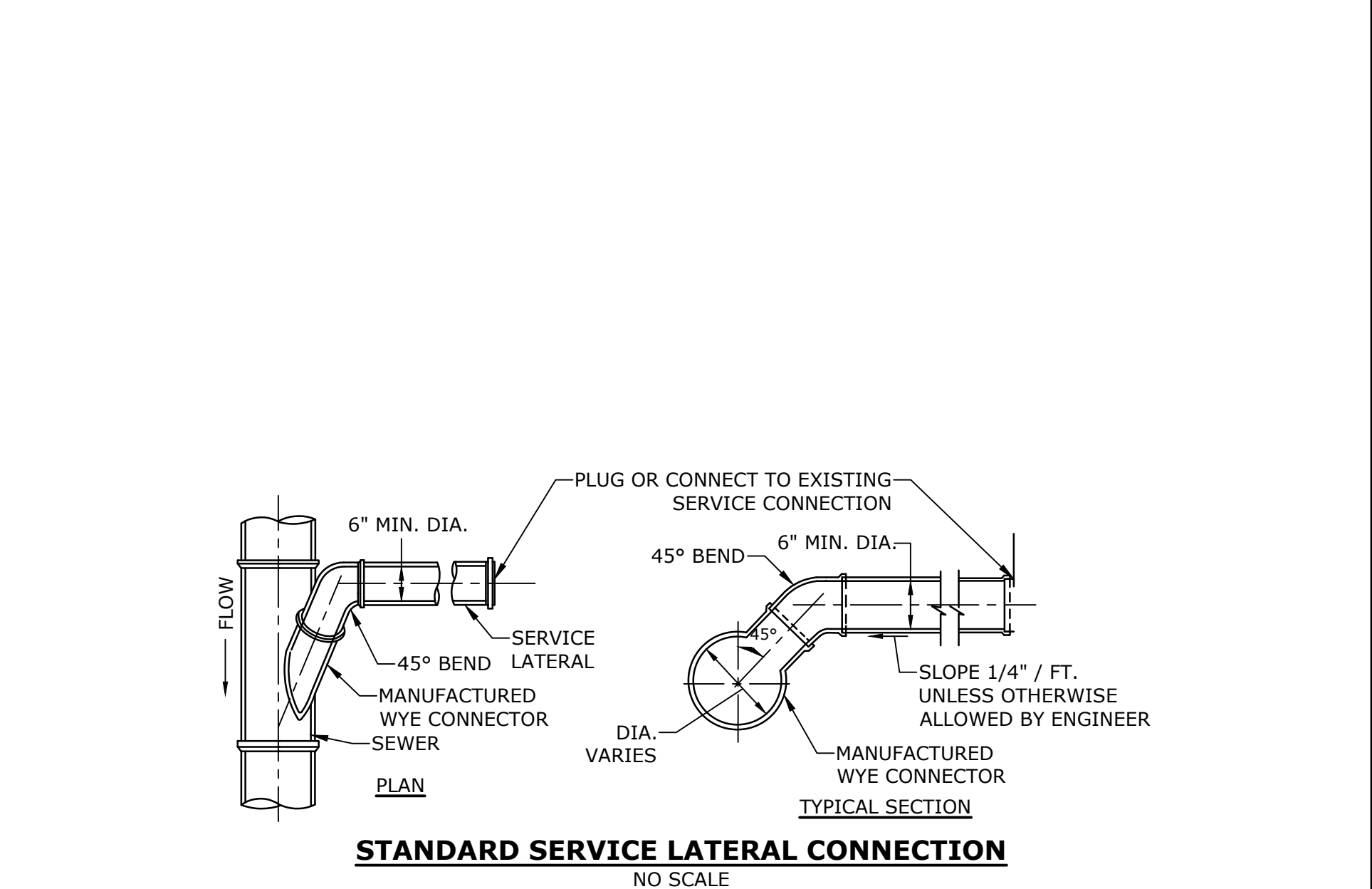
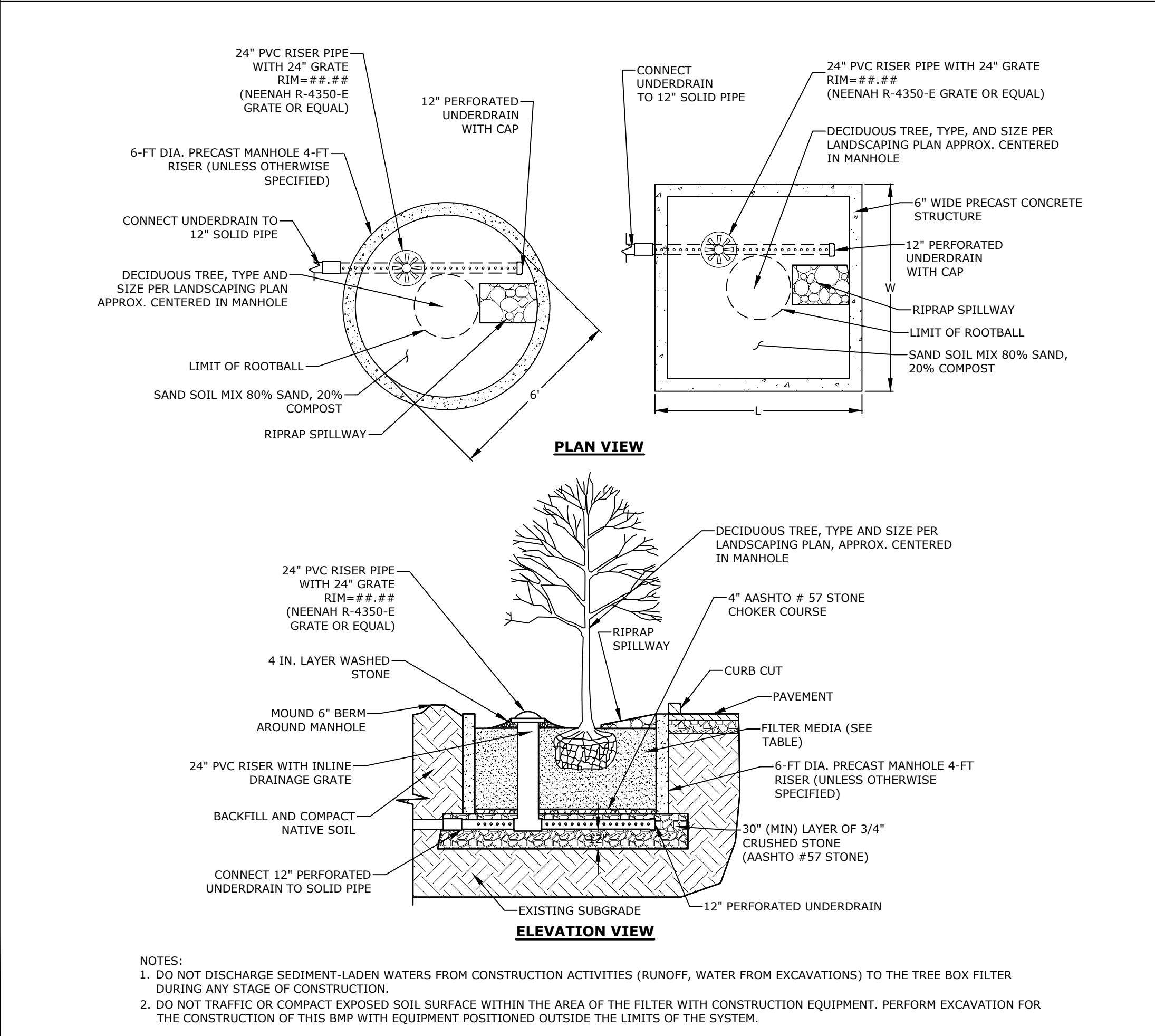
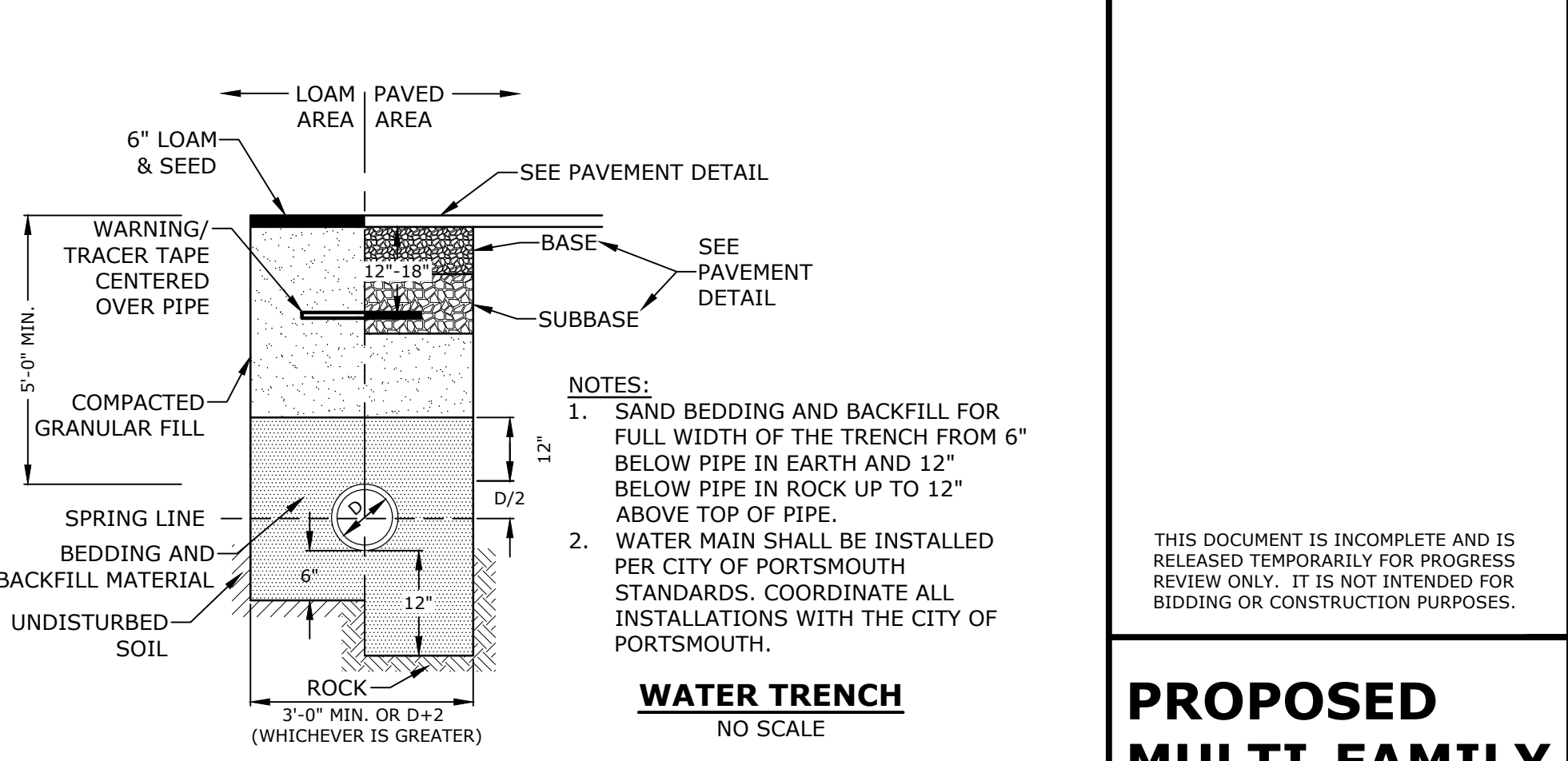
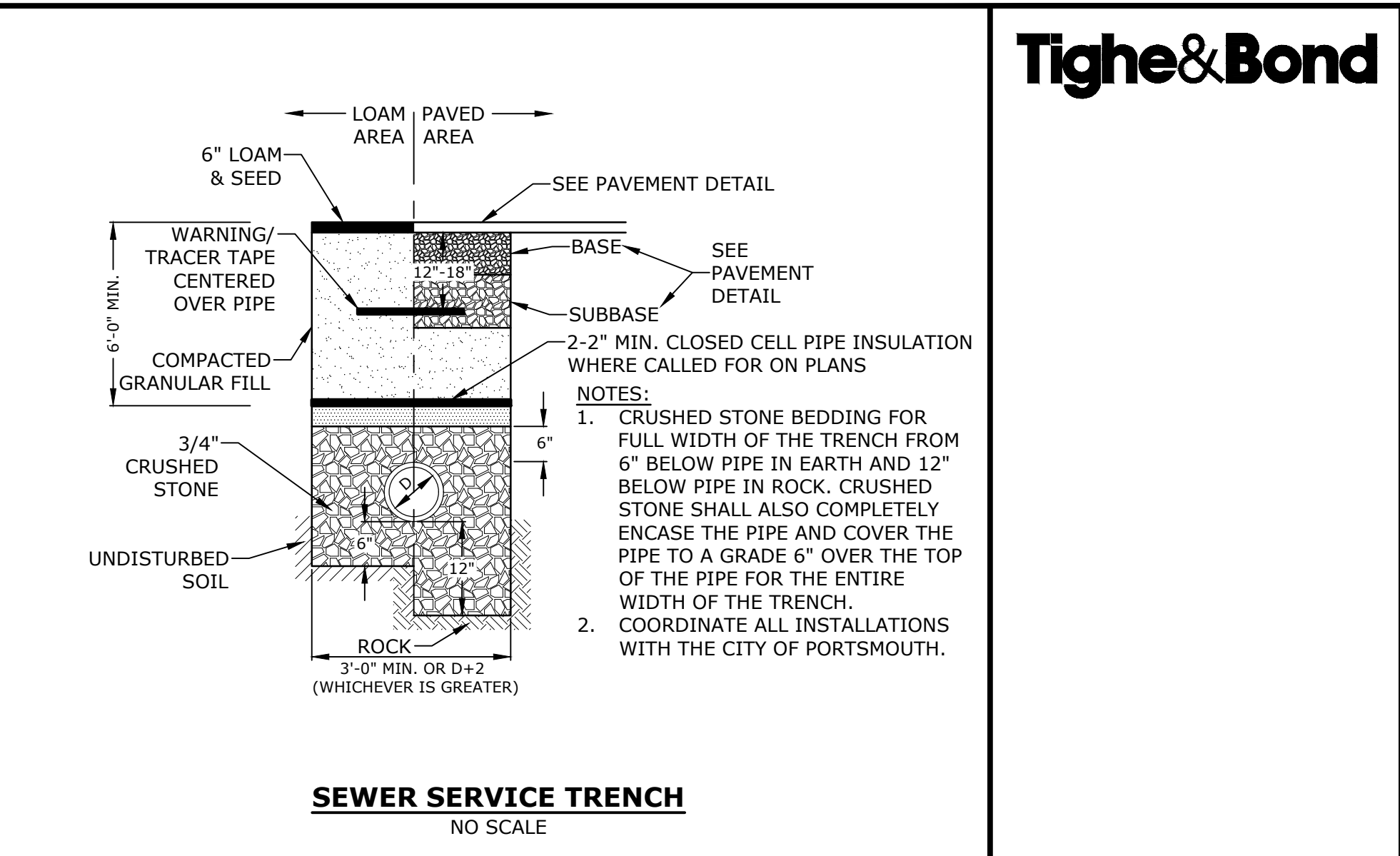
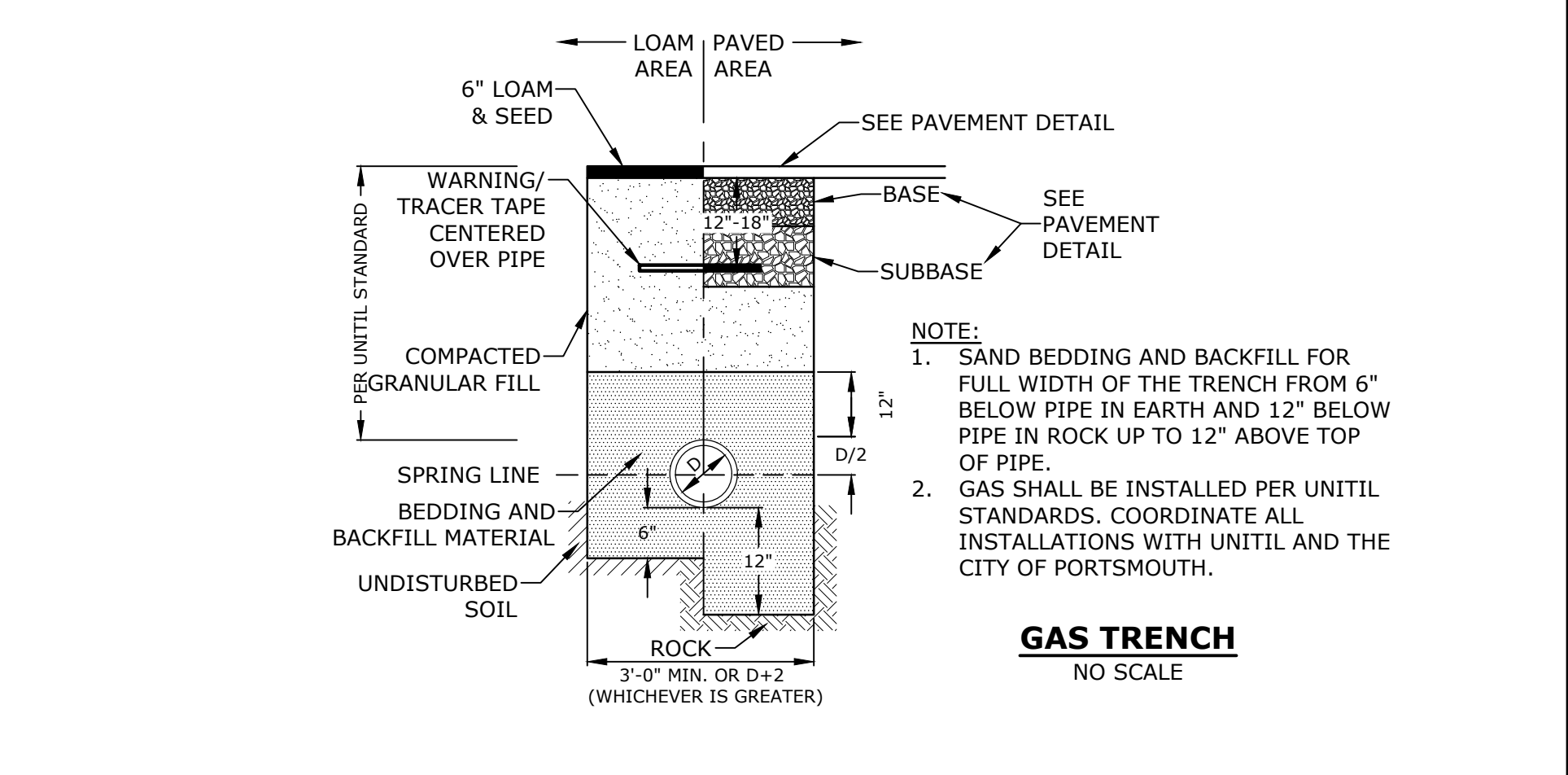
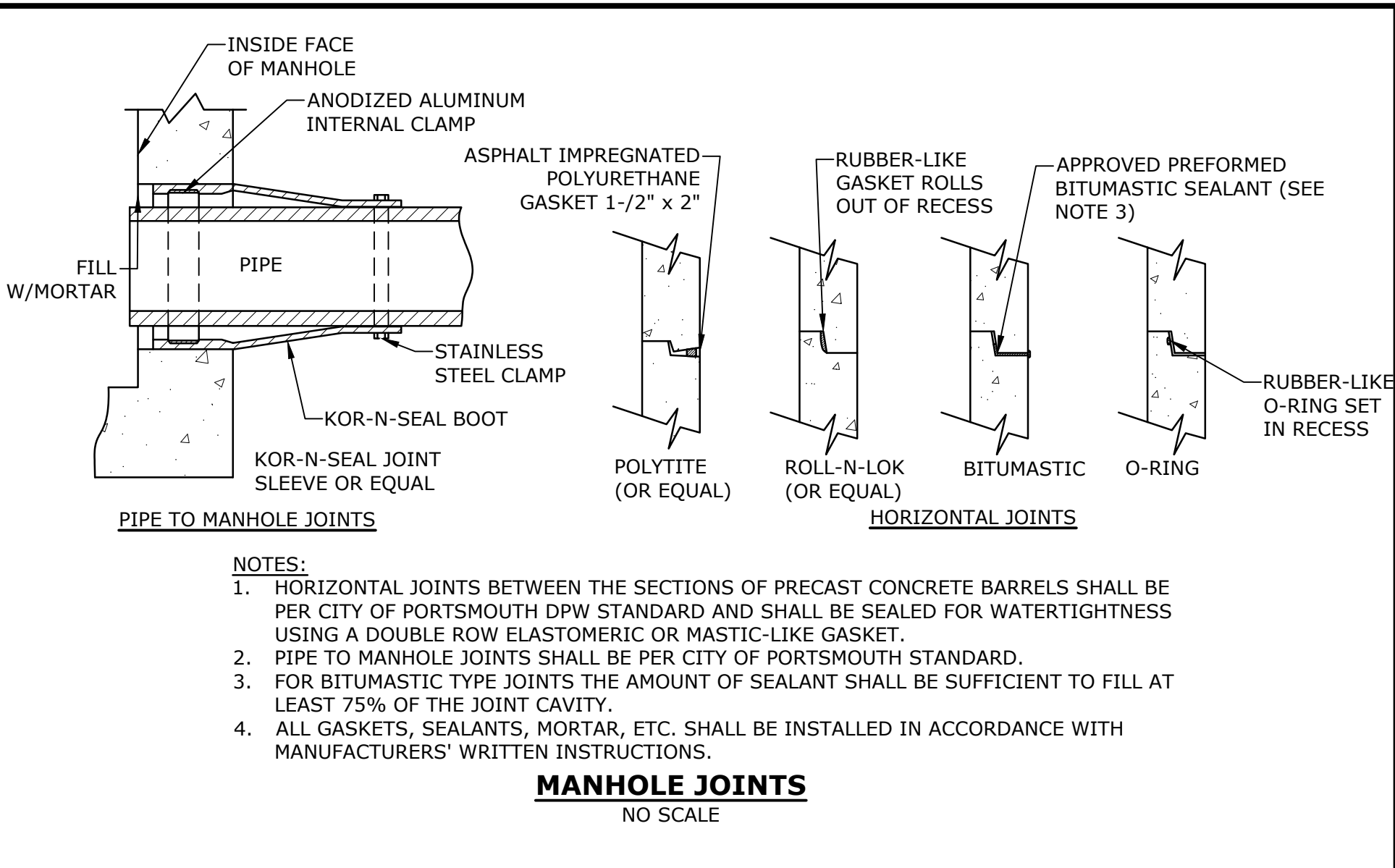
DETAILS SHEET

SCALE: AS SHOWN



NOTES:
 1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
 2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
 3. INVERT BRICKS SHALL BE LAID ON EDGE.
 4. TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
 5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY E.J. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
 7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.

SEWER MANHOLE
NO SCALE



THRUST BLOCKING DETAIL
NO SCALE

REACTION TYPE	PIPE SIZE				
	4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

NOTES:
 1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
 2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
 4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
 5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

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PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

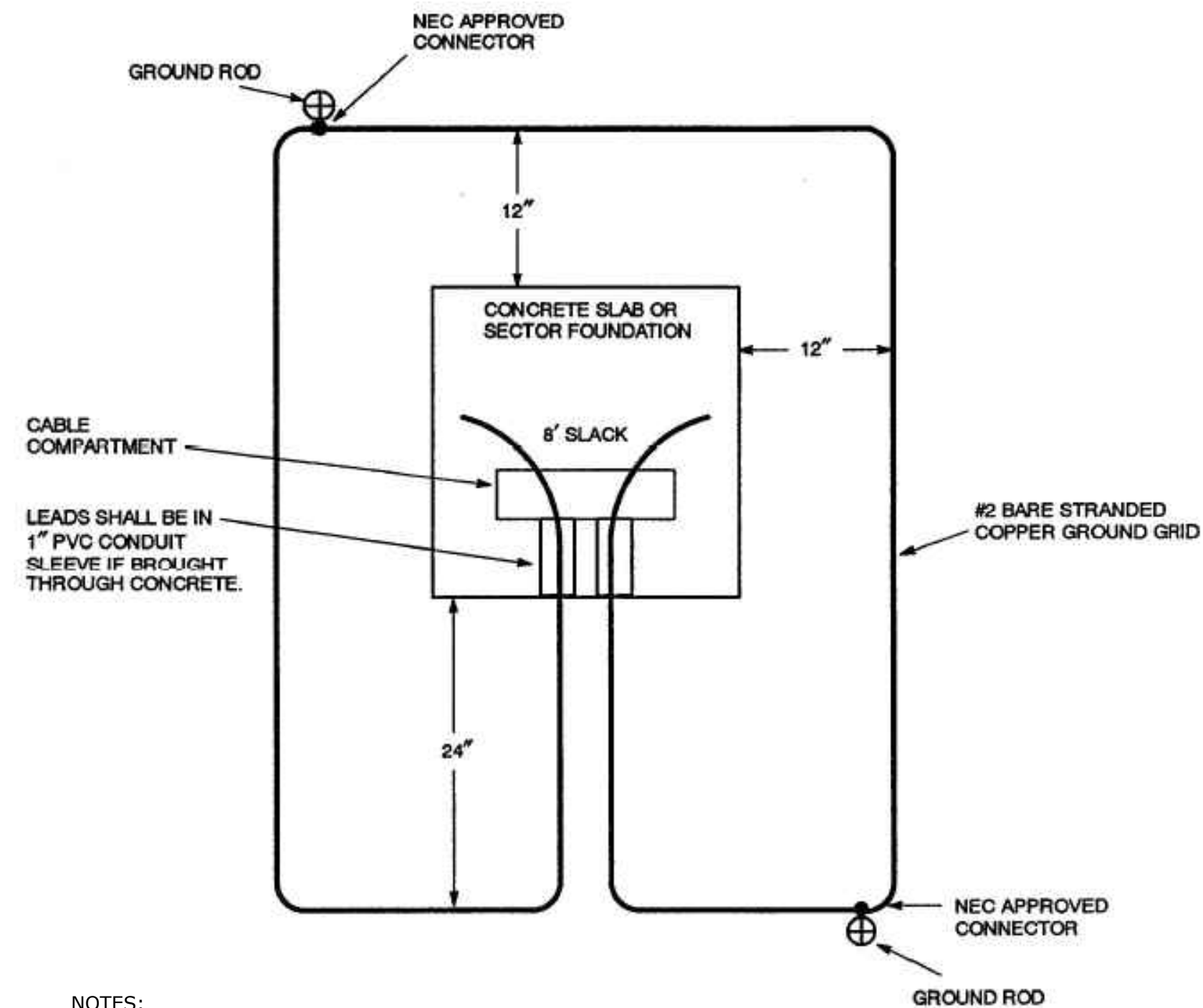
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DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

DETAILS SHEET

SCALE: AS SHOWN

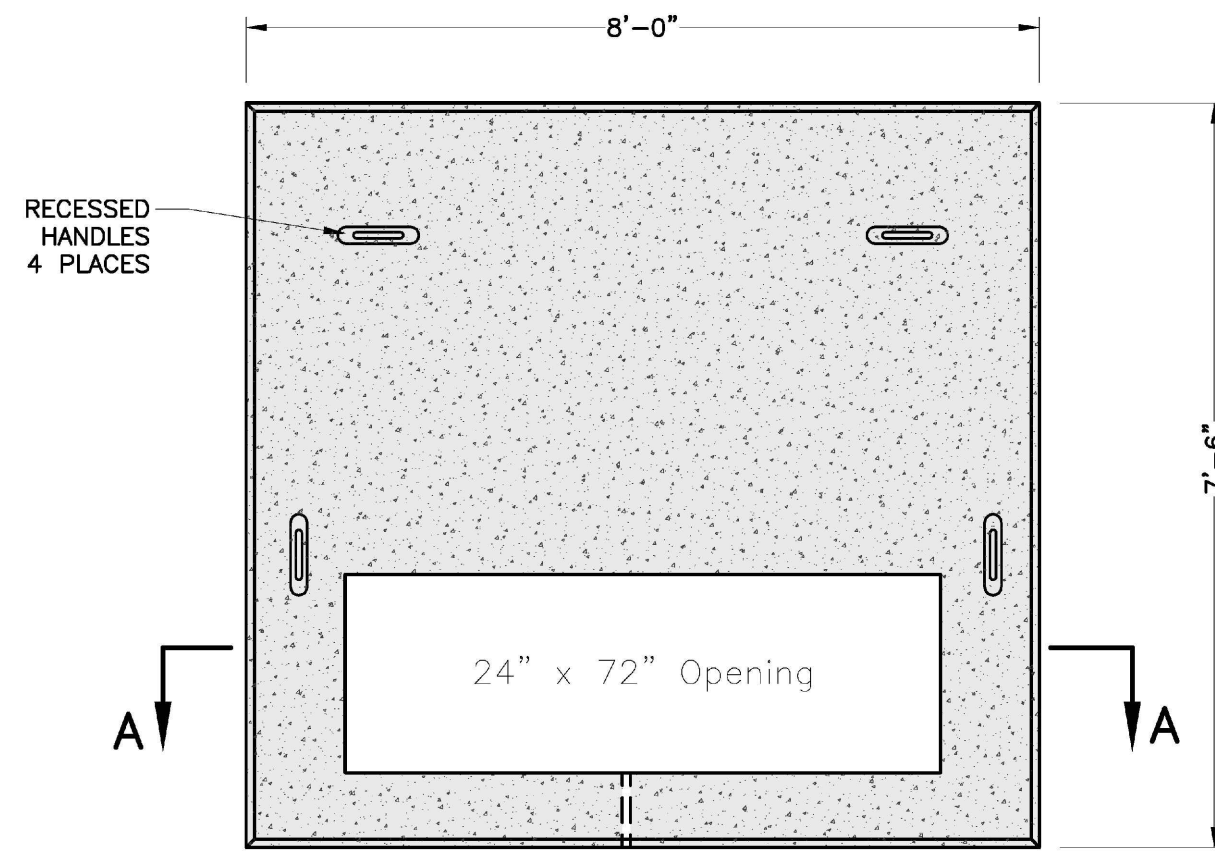
C-606

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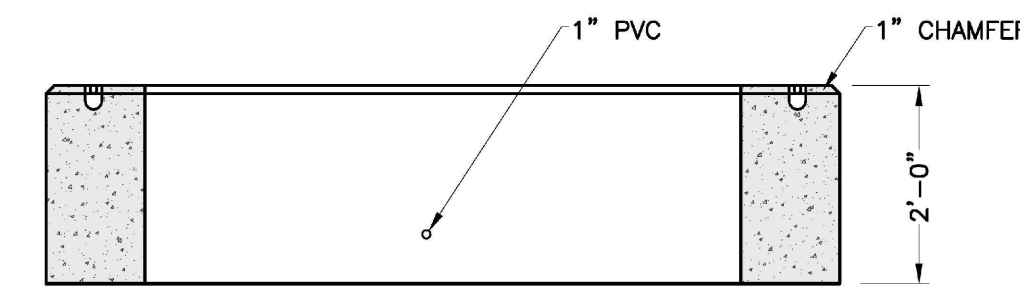


NOTES:
THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12 INCHES BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFORMER. THE TWO 8-FOOT GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.

PAD-MOUNTED EQUIPMENT GROUNDING GRID DETAIL
NO SCALE



PLAN

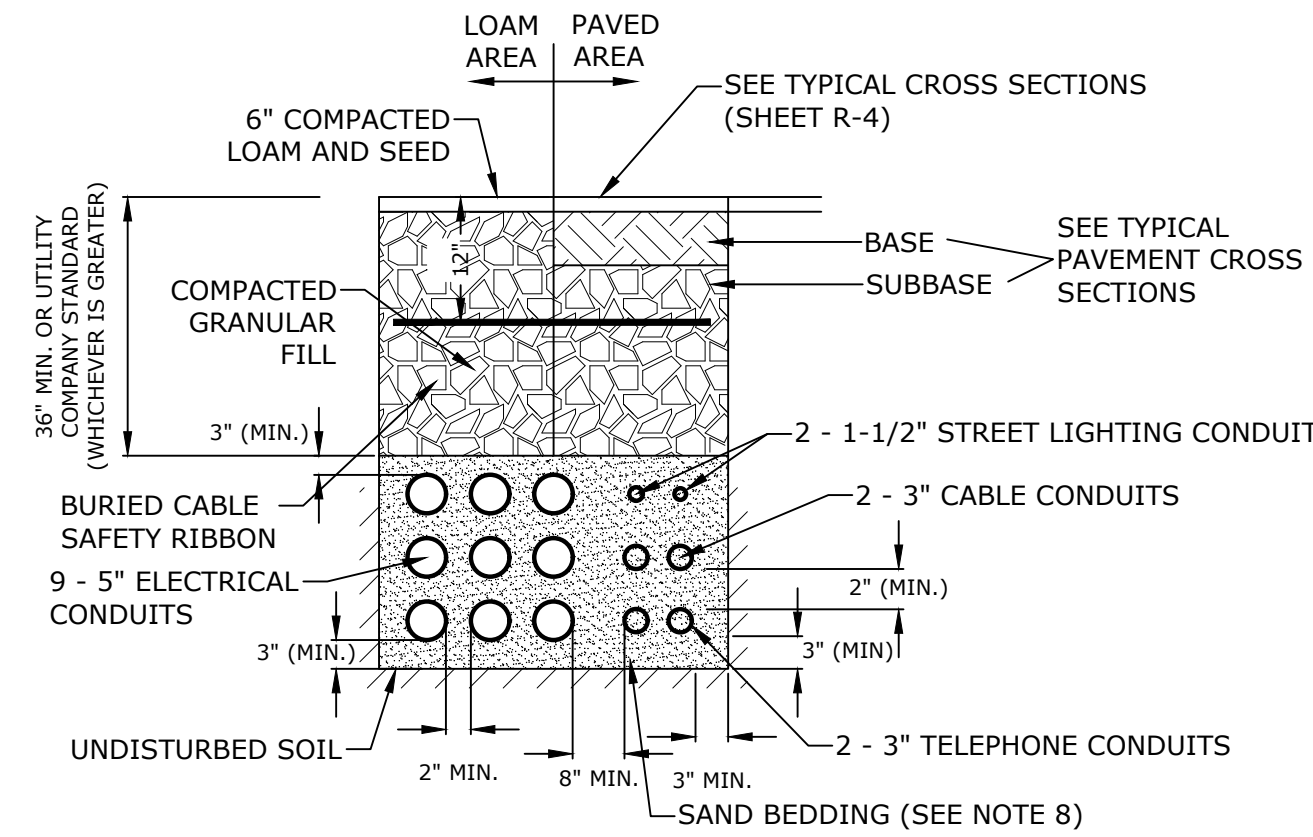


SECTION A-A

NOTES:
1. DIMENSIONS SHOWN REPRESENT TYPICAL REQUIREMENTS. MANHOLE LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED WITH EVERSOURCE PRIOR TO CONSTRUCTION.
2. CONCRETE MINIMUM STRENGTH - 4,000 PSI @ 28 DAYS
3. STEEL REINFORCEMENT - ASTM A615, GRADE 60
4. PAD MEETS OR EXCEEDS EVERSOURCE SPECIFICATIONS

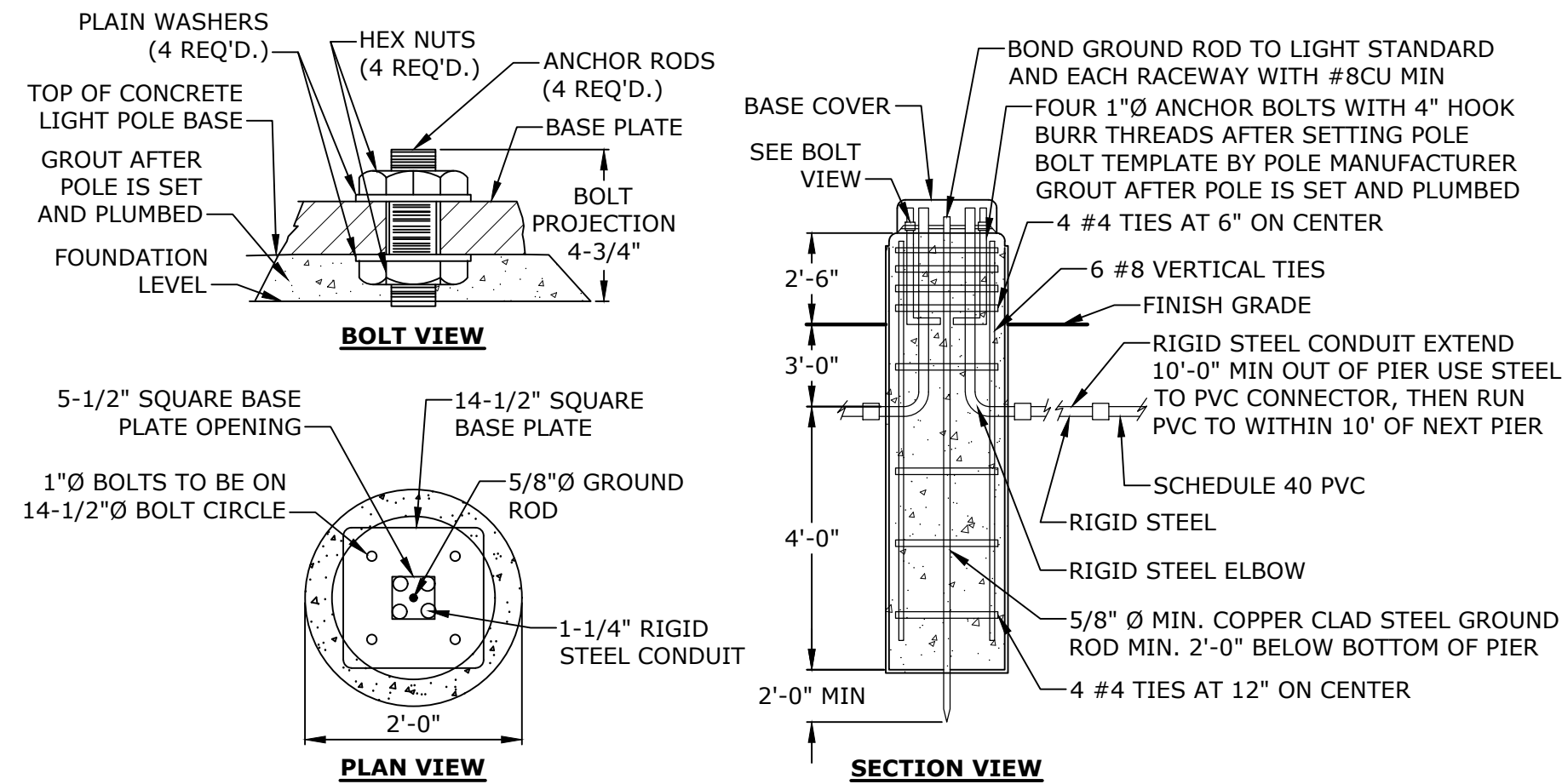
3-PHASE TRANSFORMER PAD
NO SCALE

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NOTES:
1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
3. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
4. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
5. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
6. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
7. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT
NO SCALE



NOTES:
1. PAINT BASE SAFETY YELLOW (UNLESS PROTECTED BY CURBED ISLAND).
2. CONCRETE TO BE CLASS A, 4000 PSI, AIR ENTRAINED STEEL TO BE 60 KSI
3. REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
4. LIGHT POLE BASE DETAIL FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.

TYPICAL LIGHT POLE BASE
NO SCALE

PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

MARK	DATE	DESCRIPTION
PROJECT NO:	E5071-001	
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DRAWN BY:	BKC	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

DETAILS SHEET

SCALE: AS SHOWN

C-607

PROPOSED MULTI-FAMILY DEVELOPMENT
DURGIN LANE
PORTSMOUTH, NEW HAMPSHIRE




COMMUNITY SPACE EXHIBIT

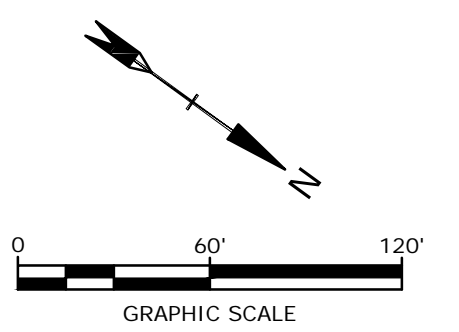


POTENTIAL COMMUNITY SPACE



PROPOSED COMMUNITY SPACE:

	POTENTIAL RESIDENTIAL SOCIAL SPACES	REQUIRED	PROVIDED
	POTENTIAL COMMUNITY SPACE	113,915 SF (10%) (2.62 ACRES)	132,792 SF (11.6%) (3.05 ACRES)
	TOTAL DEVELOPMENT LOT	1,139,156 SF (26.15 ACRES)	
TOTAL COMMUNITY SPACE AREA		113,915 SF (2.62 ACRES)	132,792 SF (11.6%) (3.05 ACRES)



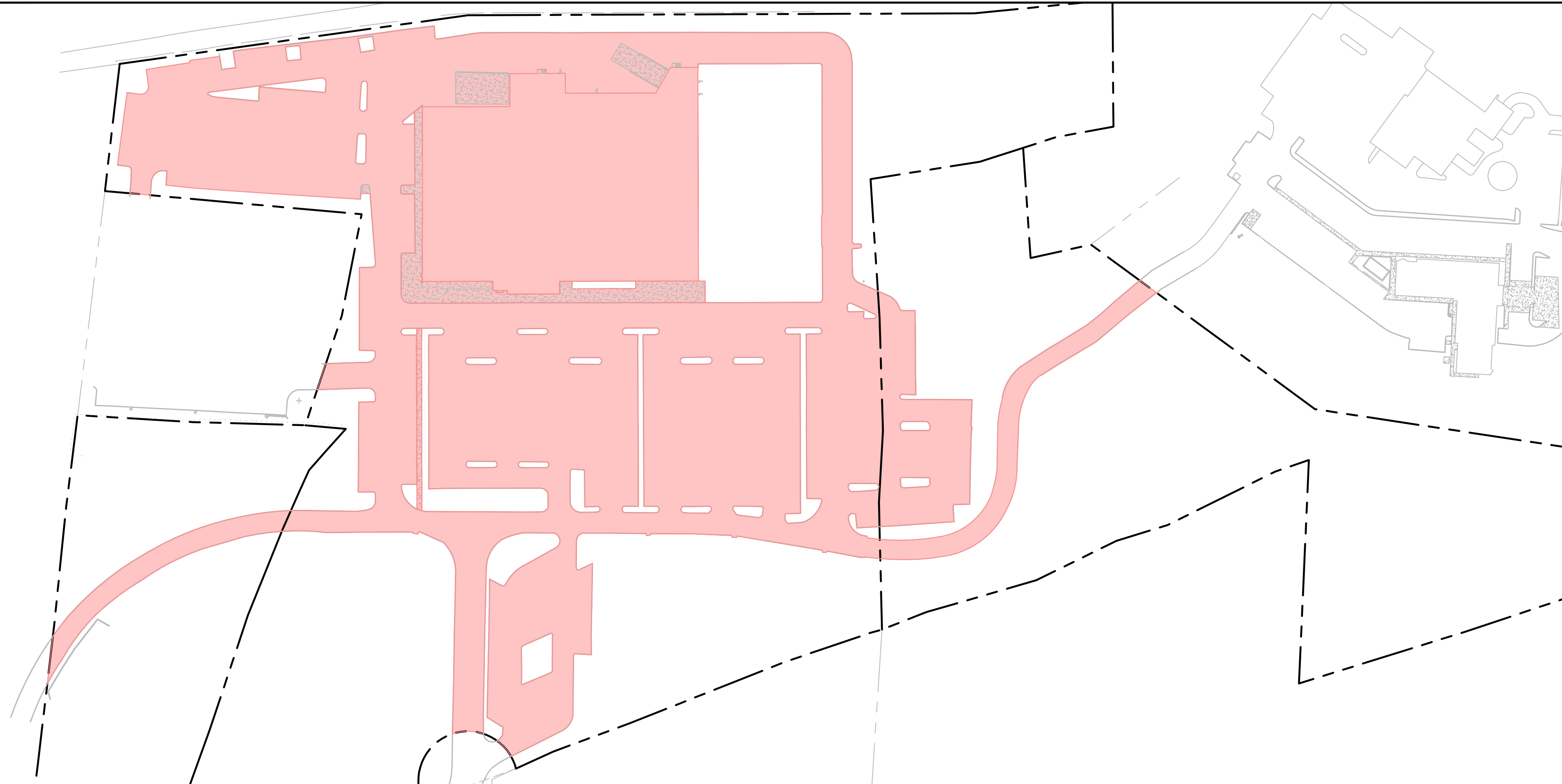
Tighe & Bond
ALA
ACETO LANDSCAPE ARCHITECTURE + URBAN DESIGN

MARCH 5, 2024
E5071-001-FIGS.dwg

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PROPOSED MULTI-FAMILY DEVELOPMENT
 DURGIN LANE
 PORTSMOUTH, NEW HAMPSHIRE

IMPERVIOUS SURFACE
 REDUCTION EXHIBIT

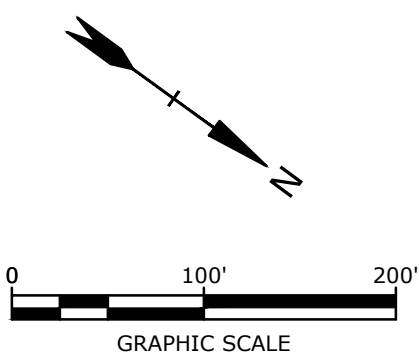


EXISTING IMPERVIOUS SURFACES
 SCALE 1" = 100'



PROPOSED IMPERVIOUS SURFACES
 SCALE 1" = 100'

Impervious Surface Within Site	
Existing Conditions	434,787 sf
Proposed Development	422,487 sf
Net Impervious Cover	-12,300 sf



Tighe & Bond

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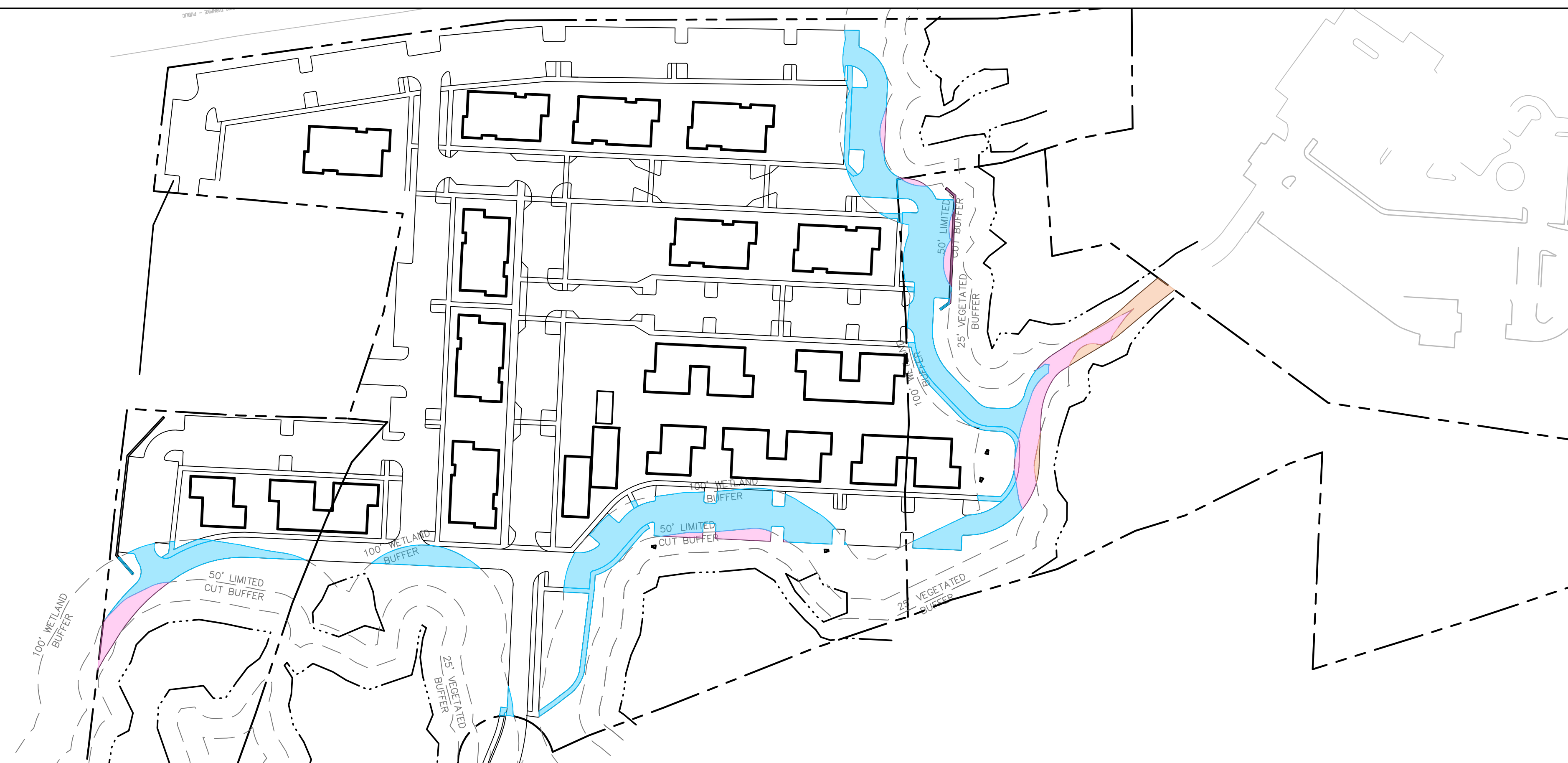
PROPOSED MULTI-FAMILY DEVELOPMENT
DURGIN LANE
PORTSMOUTH, NEW HAMPSHIRE

WETLAND BUFFER IMPERVIOUS
SURFACE EXHIBIT

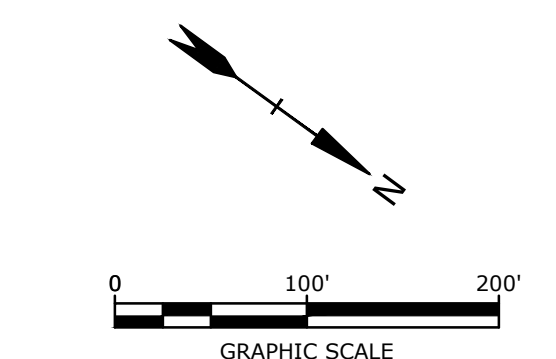


EXISTING WETLAND BUFFER IMPERVIOUS SURFACE
SCALE 1" = 100'

Local Wetland Buffer Setback	Impervious Surface Within Buffer Area	
	Existing Condition	Proposed Development
0 - 25 FT	3,114 SF	2,467 SF
25 - 50 FT	12,156 SF	9,769 SF
50 - 100 FT	45,974 SF	51,476 SF
Total Impervious Surface	61,244 SF	63,712 SF
Net Impervious Surface	2,468 SF	



PROPOSED WETLAND BUFFER IMPERVIOUS SURFACE
SCALE 1" = 100'

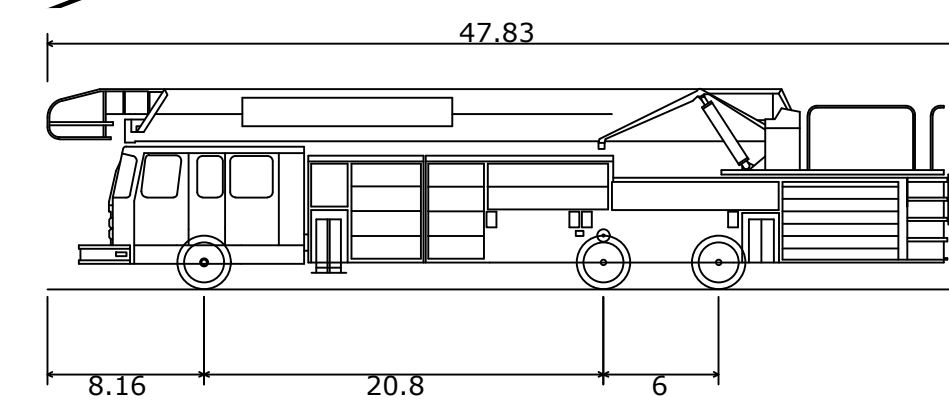
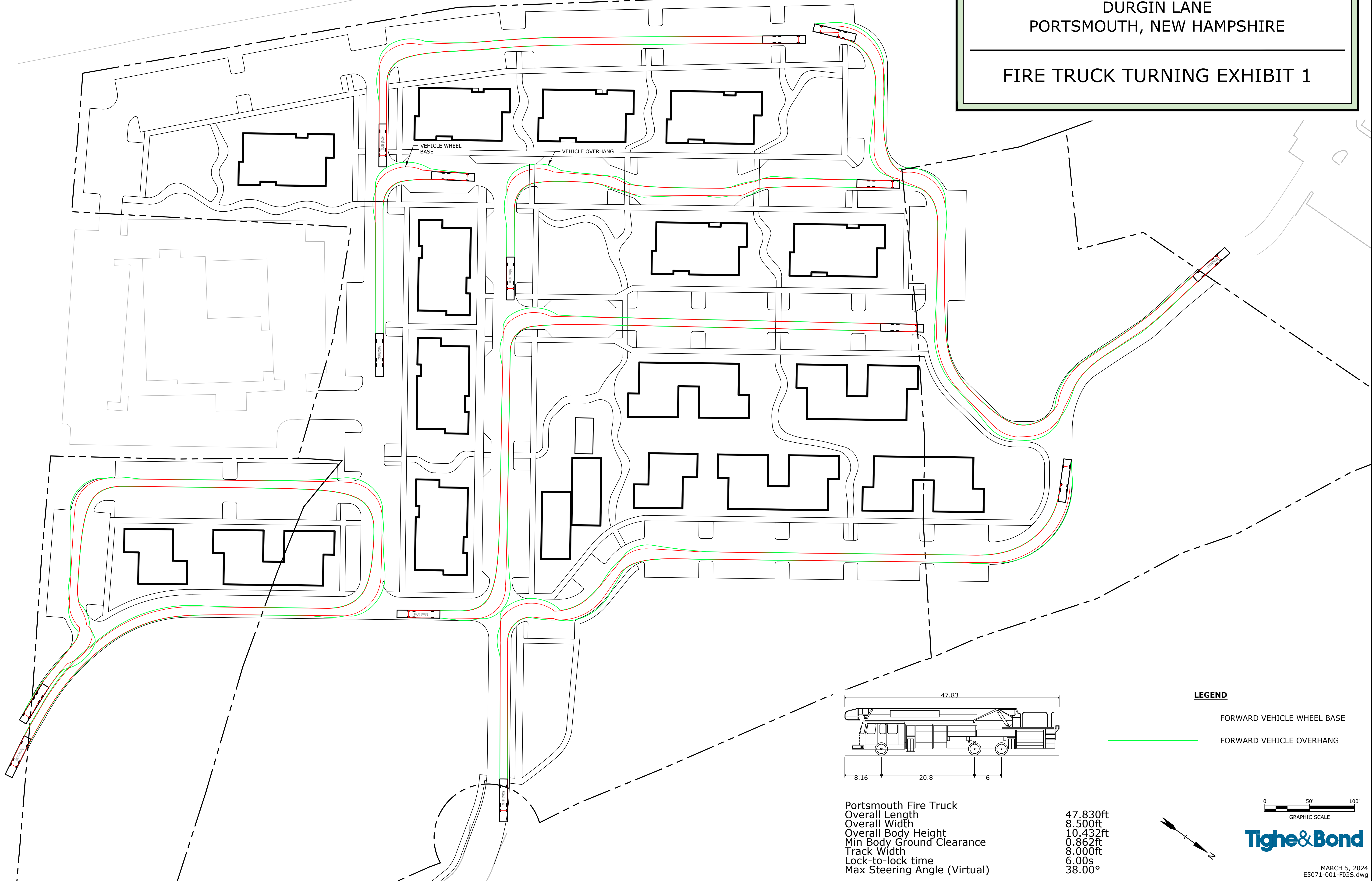


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PROPOSED MULTI-FAMILY DEVELOPMENT
 DURGIN LANE
 PORTSMOUTH, NEW HAMPSHIRE

FIRE TRUCK TURNING EXHIBIT 1

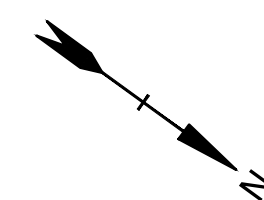
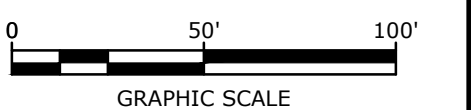


Portsmouth Fire Truck
 Overall Length
 Overall Width
 Overall Body Height
 Min Body Ground Clearance
 Track Width
 Lock-to-lock time
 Max Steering Angle (Virtual)

47.830ft
 8.500ft
 10.432ft
 0.862ft
 8.000ft
 6.00s
 38.00°

LEGEND

- FORWARD VEHICLE WHEEL BASE
- FORWARD VEHICLE OVERHANG

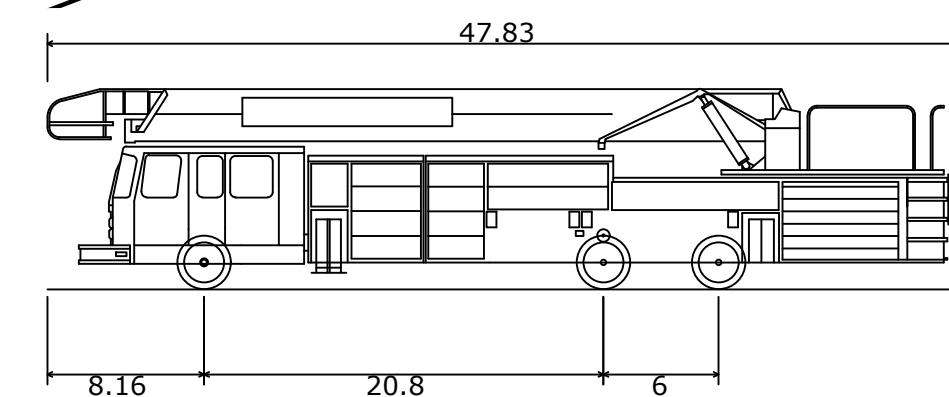
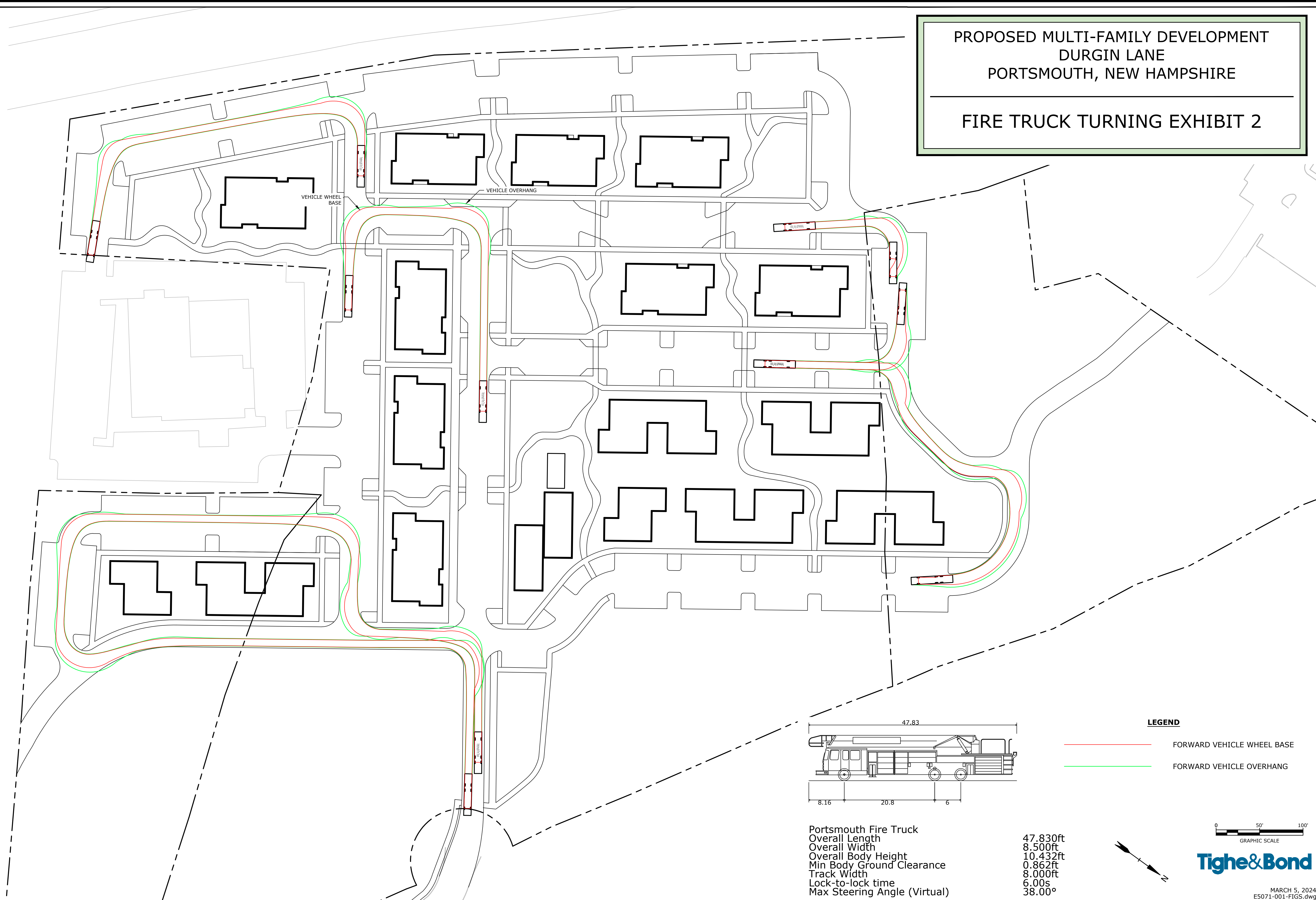


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MARCH 5, 2024
 E5071-001-FIGS.dwg

PROPOSED MULTI-FAMILY DEVELOPMENT
DURGIN LANE
PORTSMOUTH, NEW HAMPSHIRE

FIRE TRUCK TURNING EXHIBIT 2

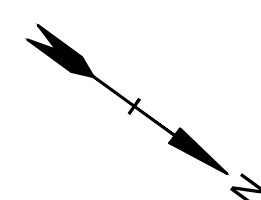


Portsmouth Fire Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Steering Angle (Virtual)

47.830ft
8.500ft
10.432ft
0.862ft
8.000ft
6.00s
38.00°

LEGEND

- FORWARD VEHICLE WHEEL BASE
- FORWARD VEHICLE OVERHANG



Tighe & Bond

MARCH 5, 2024
E5071-001-FIGS.dwg

100 Durgin Lane Multi-family Redevelopment Preliminary Water and Wastewater Demand Analysis

TO: City of Portsmouth, Technical Advisory Committee
FROM: Neil A. Hansen, PE
 Patrick M. Crimmins, PE
COPY: 100 Durgin Lane Owner, LLC
DATE: March 5, 2024

The following memo is to provide an estimate of the average daily water and wastewater flows anticipated for the above-mentioned project for the purpose of allowing city staff to review capacity of the existing system. The flows have been calculated as a total development area.

The proposed project is located at 100 Durgin Lane and includes lots identified as Map 239 Lots 16, 16 & 18 on the City of Portsmouth Tax Maps. The site was previously home to Christmas Tree Shops and Bed, Bath and Beyond locations which are no longer in operation. The proposed project consists of the demolition of the existing Christmas Tree Shops and Bed, Bath and Beyond building and the construction of approximately 360 rental housing units in a mix of 3-story and 4-story buildings. The proposed sewer connection will be connected to the existing sewer manhole in Durgin Lane which has a 10" PVC outlet pipe.

As depicted in the table below, the average daily flow in gallons per day (GPD) has been calculated for the proposed project in accordance with Table 3-3: of Metcalf and Eddy, "Wastewater Engineering Treatment and Resource Reuse" as required under NHDES Env-Wq 700.

Overall Net Proposed Peak Gal/Day Design			
<u>Use</u>	<u>Design Unit</u>	<u>Unit Design Flow (GPD)</u>	<u>Design Flow</u>
Proposed:			
Studio Apartment	63 Units	120 GPD/Bdrm	7,560 GPD
1 Bdrm Apartment	163 Units	120 GPD/Bdrm	19,560 GPD
2 Bdrm Apartment	134 Units	120 GPD/Bdrm	32,160 GPD
Community Building	5,000 SF	5 GPD/100 SF	250 GPD
	5 Employees	10 GPD/Employee	50 GPD
Total Proposed:			59,580 GPD
Existing, To Be Removed:			
Shopping Center	632 Parking Spaces	2 GPD/Parking Space	1,264 GPD
	70 Employees	10 GPD/Employee	700 GPD
Total, To Be Removed			1,964 GPD
Total Net Flow			57,616 GPD

Site Vehicle Trip Generation Summary

- Reductions in vehicular trips across weekdays and Saturdays
- Slight increase in weekday mornings only
- Overall net reduction in vehicular trips

Existing - 78,317 SF Retail Space			LUC 821
Peak Hour Period	Enter	Exit	Total
Weekday Morning	84	51	135
Weekday Afternoon	199	207	406
Saturday Midday	253	234	487
Weekday	2,644	2,644	5,288
Saturday	3,175	3,174	6,349

Proposed - 360 Units Residential			LUC 221
Peak Hour Period	Enter	Exit	Total
Weekday Morning	34	113	147
Weekday Afternoon	86	55	141
Saturday Midday	74	71	145
Weekday	817	817	1,634
Saturday	823	822	1,645

Net Vehicular Trips (Proposed minus Existing Occupied Demand)			
Peak Hour Period	Enter	Exit	Total
Weekday Morning	-50	62	12
Weekday Afternoon	-113	-152	-265
Saturday Midday	-179	-163	-342
Weekday	-1,827	-1,827	-3,654
Saturday	-2,352	-2,352	-4,704

Source: Institute of Transportation Engineers, Trip Generation, 11th Edition, 2021
 Land Use - 221 [Residential - Multifamily Housing (Mid-Rise)]
 Land Use - 821 [Shopping Plaza (40-150k)]