

HDC

ADMINISTRATIVE

APPROVALS

April 02, 2025

1. 11 Sheafe Street -Recommended Approval
2. 44 Gardner Street -Recommended Approval
3. 765 Middle Street -Recommended Approval
4. 235 Marcy Street -Recommended Approval
5. 53 Pray Street -Recommended Approval
6. 284 New Castle Avenue -Recommended Approval
7. 2 Congress Street -Recommended Approval
8. 87 Market Street -Recommended Approval
9. 2 Atkinson Street -Recommended Approval
10. 170 Gates Street -Recommended Approval
11. 111 State Street -Recommended Approval
12. 258 Maplewood Avenue -Recommended Approval
13. 408 The Hill, Unit #6-17 -Recommended Approval
14. 40 Whidden Street -TBD

1. 11 Sheafe Street

-Recommended Approval

Background: The applicant is seeking approval to in-fill (2) existing windows on the rear side of the structure (to accommodate interior kitchen renovation). Applicant will use a lime based mortar.

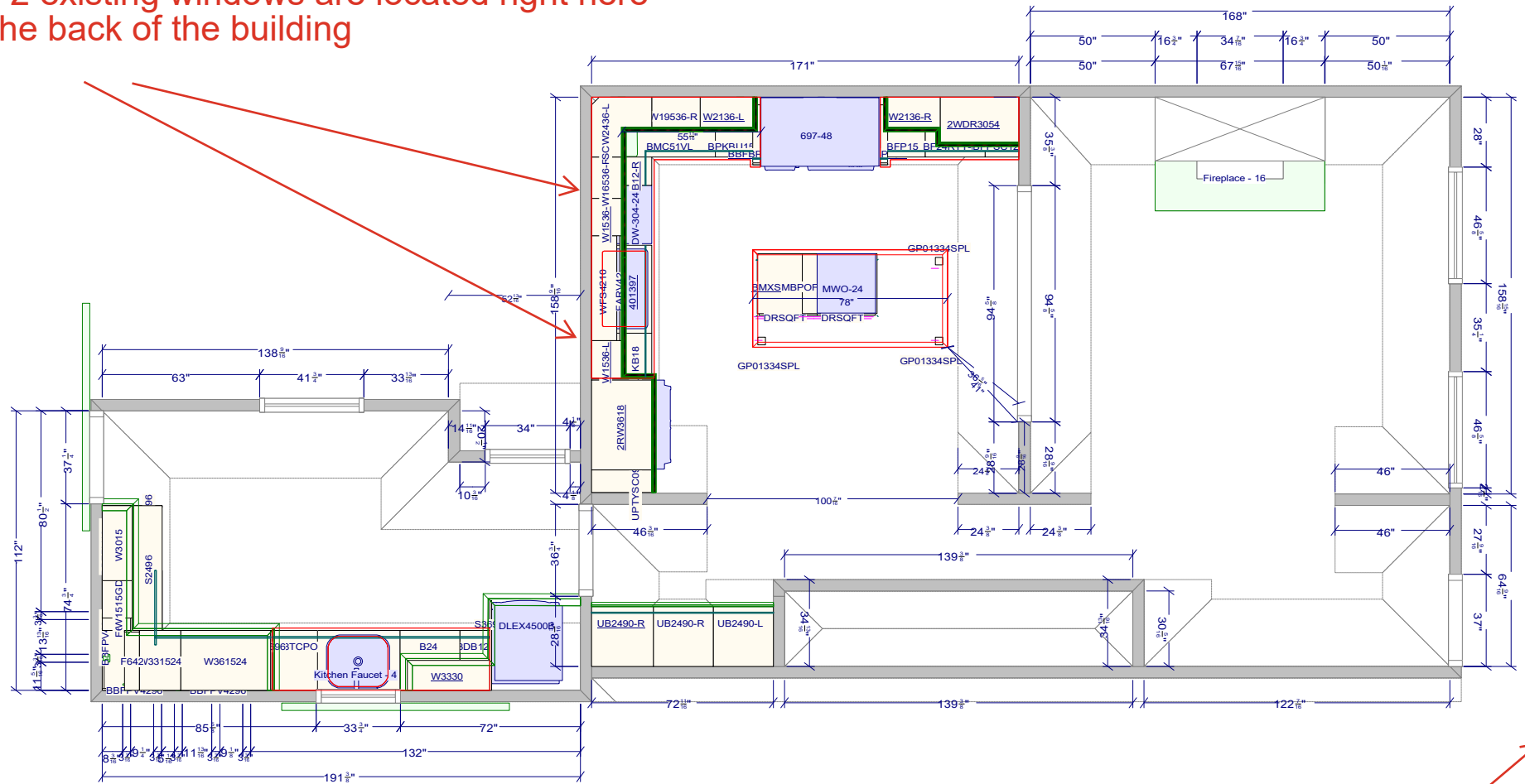
Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



The 2 existing windows are located right here
on the back of the building



Sheafe Street

All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 2/18/2025
Printed: 2/19/2025

2. 44 Gardner Street

-Recommended Approval

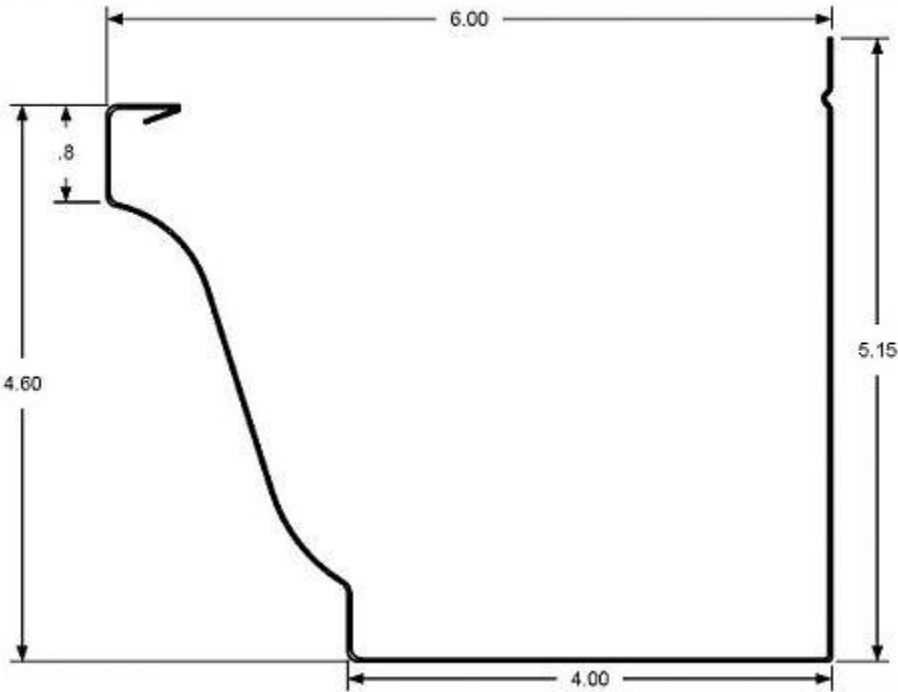
Background: The applicant is seeking approval for HVAC screening, fence replacement, and gutter replacement.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Gutters





















Fencing





























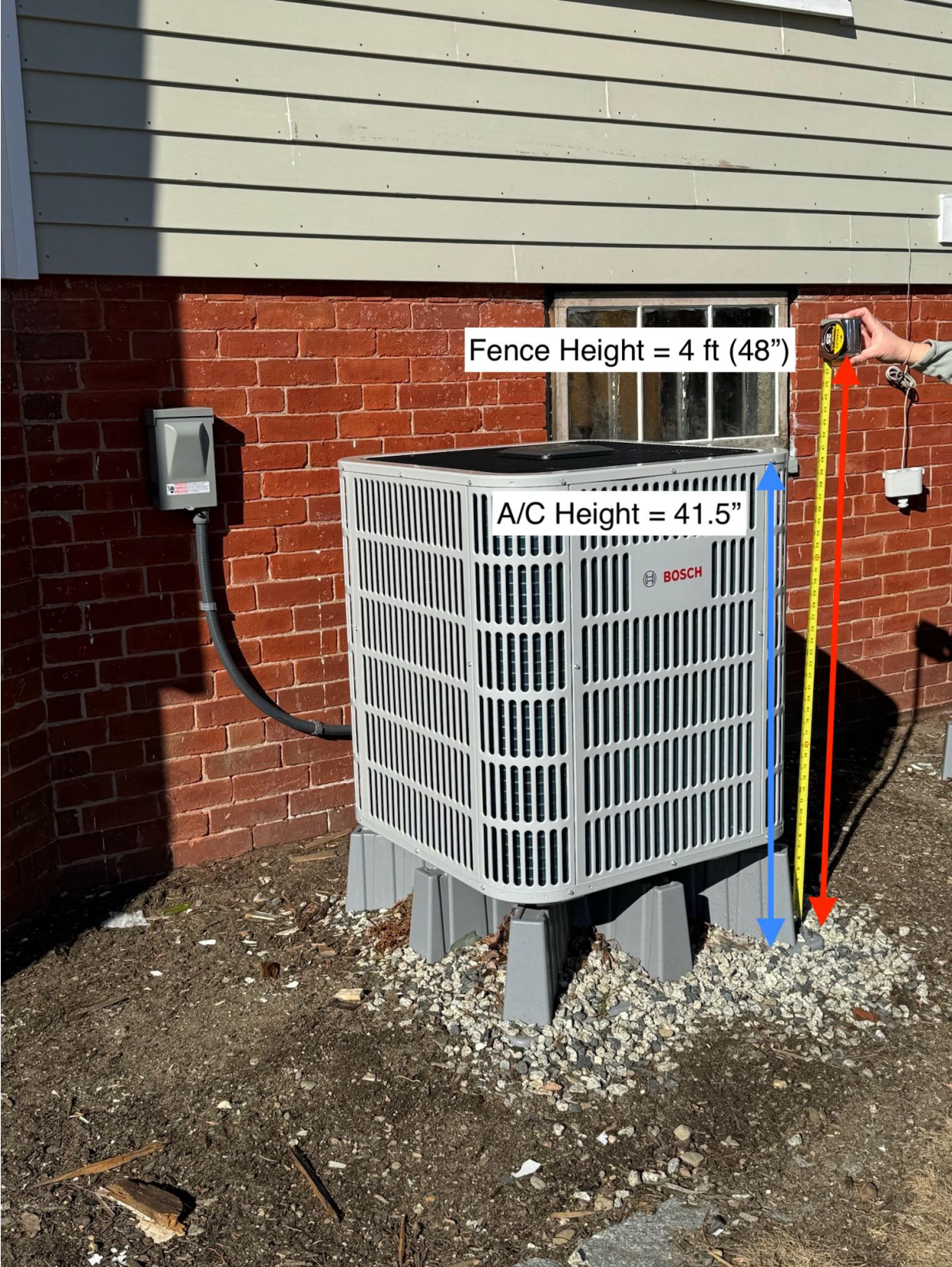












Fence Height = 4 ft (48")

A/C Height = 41.5"













294 DURHAM ROAD DOVER, NH 03820
PHONE: 603-742-0833 * FAX: 603-743-4475 * GCAAAFENCES.COM

PROPOSAL/CONTRACT

Customer Information:
BERNARD ROESLER
44 GARDNER ST.
PORTSMOUTH, N.H. 03801

Contact Information:
[Redacted]

SCOPE OF WORK:

Quote 1: Front yard
Install 20' of 40" high spaced cedar baluster fence with 1-9' double swing gate.

Quote 2: Side & back yard
Install 95' of 40" high spaced cedar baluster fence on the side and back yard.

Quote 3: AC units
Install 24' of 4' high 3/4" spaced cedar 1x4 board fence with cap strips which includes removable panel for access.

All painting or stain by others.

GC/AAA FENCE COMPANY agrees to guarantee above fence to be free from defects in materials and workmanship for three years.

GC/AAA FENCE COMPANY shall advise the customer as to local zoning regulations but responsibility for complying with said regulations and obtaining any required permits shall rest with the customer. GC/AAA FENCE COMPANY will assist the customer, upon request, in determining where the fence is to be erected, but under no circumstances does GC/AAA FENCE COMPANY assume any responsibility concerning property lines or in any guarantee their accuracy. If property pins cannot be located, it is recommended that the customer have the property surveyed.

GC/AAA FENCE COMPANY will assume the responsibility for having underground public utilities located and marked. However, GC/AAA FENCE COMPANY assumes no responsibility for unmarked sprinkler lines, or any other unmarked buried lines or objects. The customer will assume all liability for any damage caused by directing GC/AAA FENCE COMPANY to dig in the immediate vicinity of known utilities.

The final billing will be based on the actual footage of fencing built and the work performed. Partial billing for materials delivered to the jobsite and work completed may be sent at weekly intervals. Adjustments for materials used on this job and adjustments for labor will be charged or credited at the currently established rates. Additional charges for any extra work not covered in this contract that was requested by the customer will also be added. The full amount of this contract along with any additional charges will become payable upon completion of all work whether it has been invoiced.

A finance charge of 1 1/2% per month (or a minimum of \$1.00), which is an annual percentage rate of 18%, shall be applied to accounts that are not paid within 10 days after completion of any work invoiced. All materials will remain the property of GC/AAA FENCE COMPANY until all invoices pertaining to this job are paid in full. The customer agrees to pay all interest, and any costs incurred in the collection of this debt.

A technology fee of 3% will be added to all credit card transactions, Which is not greater which is not greater than our cost acceptance.

Contract Amount: \$
Down Payment: \$ 50%
Balance Due: \$ 50%

Approved & Accepted for Customer:

Customer Date
Sign & Return to GC/AAA Fence Company:

Michael Carpenter 2-14-25
Salesperson Date

3. 765 Middle Street

-Recommended Approval

Background: The applicant is seeking approval to change double hung windows for casement windows with double hung lock rail (for egress).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

NORTH ELEVATION



GARAGE: Previously Approved Elevations

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

FOR EGRESS PURPOSES-
CHANGE DOUBLE HUNG 'D'
WINDOW TO PREVIOUSLY
APPROVED 'C' WINDOW
[CASEMENT w/LOCK RAIL]



GARAGE: Proposed Elevation

SCALE: 1/8" = 1'-0"



EAST ELEVATION



GARAGE: Previously Approved Elevations

SCALE: 1/8" = 1'-0"

EAST ELEVATION



GARAGE: Proposed Elevation

SCALE: 1/8" = 1'-0"



4. 235 Marcy Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (revise rear addition, change windows to casement for egress, add window, and revise window locations).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



1) EXISTING WEST ELEVATION



2) EXISTING SOUTH ELEVATION



3) EXISTING EAST ELEVATION



4) EXISTING NORTH ELEVATION



LETTER OF AGENDA

We respectfully submit this Application for Administrative Approval for minor modifications to the previous Approval granted on 6/5/24 - to the existing Historic structure at 235 Marcy Street.

Summary of proposed revisions:

1. **FOOTPRINT:** Revise the footprint to be 16" wider at the Garage Addition to provide minimum clearance for pulling in and out of the one car stall. Reduce the size of the building footprint jog on the corner to be 24" shorter in order to facilitate better turning radius at the corner. The revised footprint does not exceed the maximum allowable lot coverage, and is still within the approved setbacks.
2. **WINDOWS:** Revise window placement on the addition to accommodate floor plan development, and revise select double hung windows to egress casements with double hung simulated meeting rail to meet egress requirements.
3. **CLARIFICATION:** The existing historic building has five historic windows that will be restored and reinstalled in alternate locations on the building. One attic window on the back was approved with two conflicting notes indicating that the window is both restored and demolished. The window location will be covered by the new addition so the intent is to demolish the window.

Thank you for your consideration.
Sincerely, Carla Goodknight, AIA, NCARB
Principal, CJ Architects

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

AGENDA, AERIAL VIEW &
EXISTING ELEVATIONS
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



1.0



(6/5/24) PREVIOUSLY APPROVED SOUTHWEST VIEW



(6/5/24) PREVIOUSLY APPROVED SOUTHEAST VIEW



PROPOSED SOUTHWEST VIEW



PROPOSED SOUTHEAST VIEW

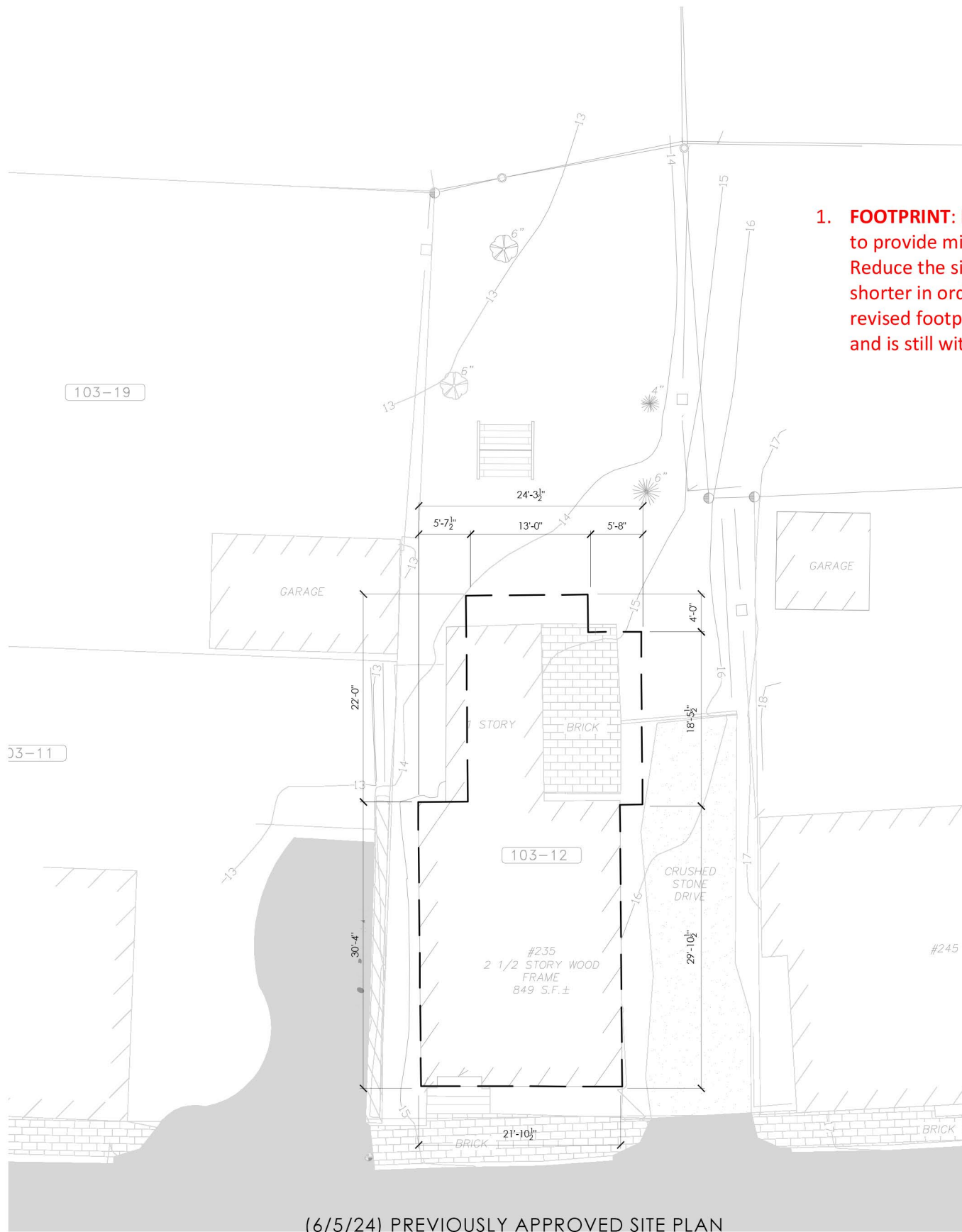
235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED VIEWS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025

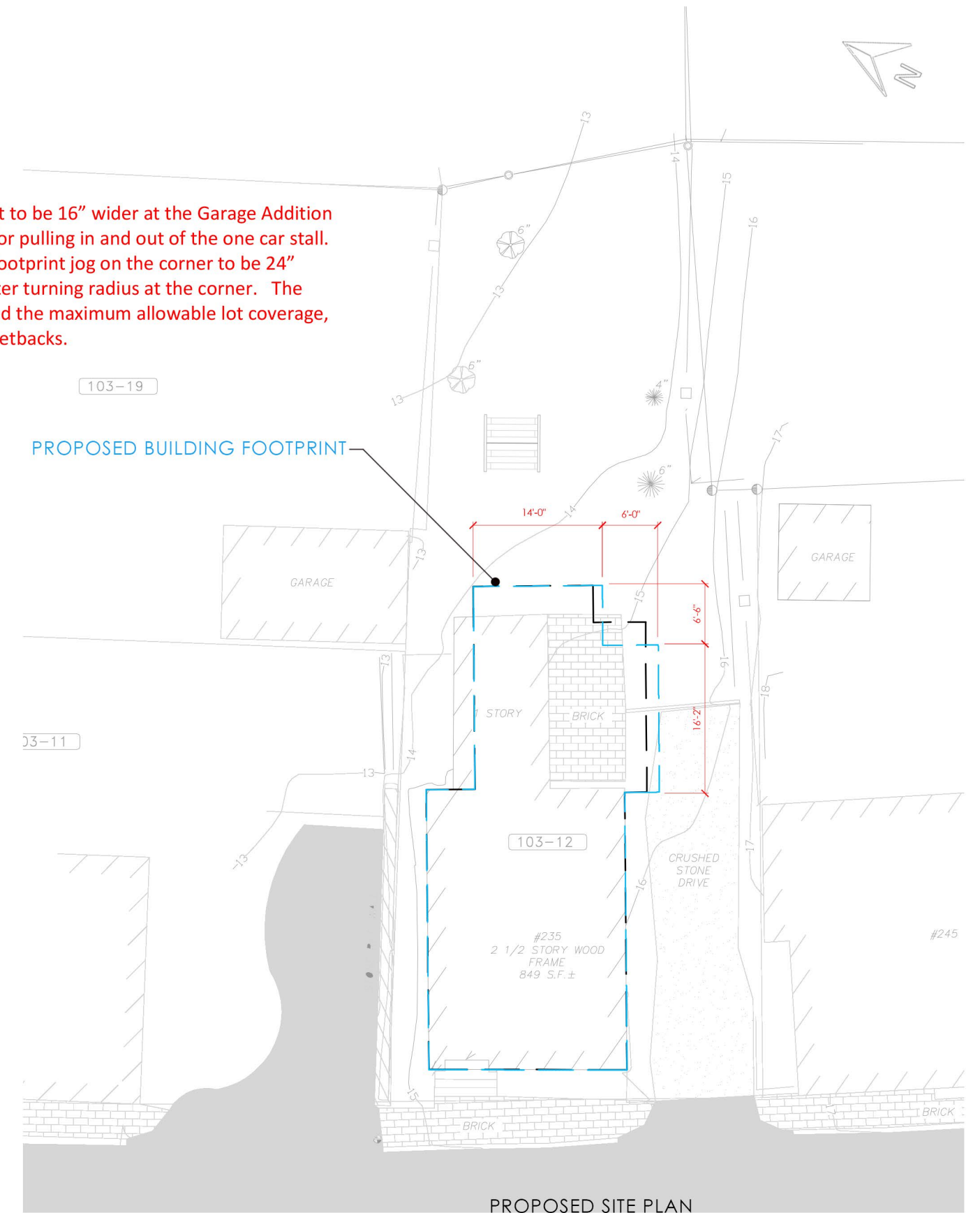


2.0



(6/5/24) PREVIOUSLY APPROVED SITE PLAN

- FOOTPRINT:** Revise the footprint to be 16" wider at the Garage Addition to provide minimum clearance for pulling in and out of the one car stall. Reduce the size of the building footprint jog on the corner to be 24" shorter in order to facilitate better turning radius at the corner. The revised footprint does not exceed the maximum allowable lot coverage, and is still within the approved setbacks.



PROPOSED SITE PLAN

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



3.0

2. **WINDOWS:** Revise window placement on the addition to accommodate floor plan development, and revise select double hung windows to egress casements with double hung simulated meeting rail to meet egress requirements.



(6/5/24) PREVIOUSLY APPROVED WEST ELEVATION

- ◇ D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3056)
- ◇ E 2'-5 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3048)



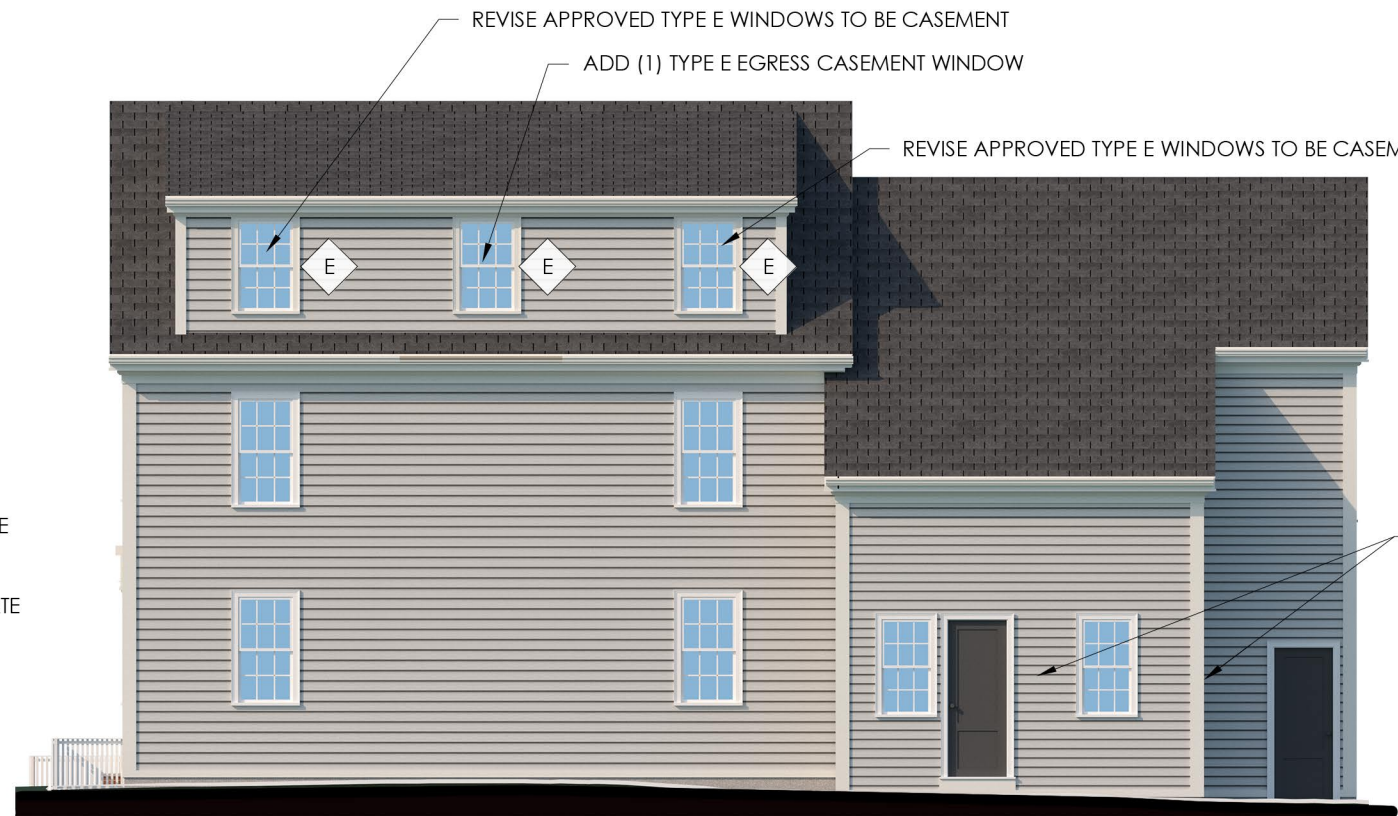
(6/5/24) PREVIOUSLY APPROVED SOUTH ELEVATION



PROPOSED WEST ELEVATION

REVISE APPROVED WINDOW TO BE TYPE D EGRESS CASEMENT

- ◇ D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE CASEMENT WINDOWS
- ◇ E 2'-5 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE CASEMENT WINDOWS



REVISE APPROVED TYPE E WINDOWS TO BE CASEMENT

ADD (1) TYPE E EGRESS CASEMENT WINDOW

REVISE APPROVED TYPE E WINDOWS TO BE CASEMENT

DELETE WINDOW & REVISE EXTERIOR WALL LOCATION

PROPOSED SOUTH ELEVATION

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED ELEVATIONS

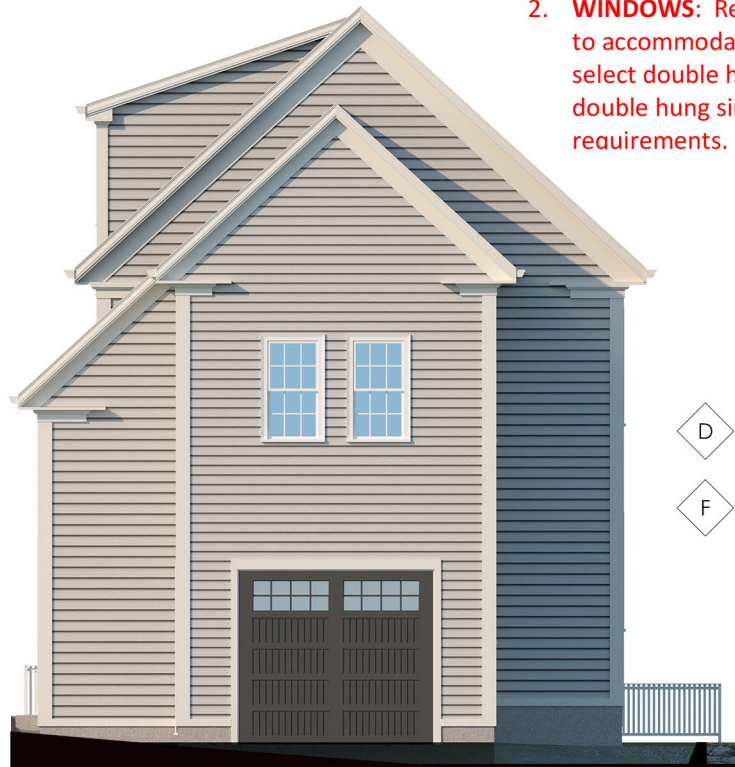
SCALE: 1/8" = 1'-0"

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



4.0

2. **WINDOWS:** Revise window placement on the addition to accommodate floor plan development, and revise select double hung windows to egress casements with double hung simulated meeting rail to meet egress requirements.



(6/5/24) PREVIOUSLY APPROVED EAST ELEVATION

- D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3056)
- F 2'-2 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH2648)



(6/5/24) PREVIOUSLY APPROVED NORTH ELEVATION



PROPOSED EAST ELEVATION

- REVISE SPACING OF APPROVED WINDOWS
- D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE CASEMENT WINDOWS
 - F 2'-5" x 3'-11 5/8" NEW MARVIN ELEVATE CASEMENT WINDOWS

REVISE APPROVED WINDOW TO BE TYPE F EGRESS CASEMENT



PROPOSED NORTH ELEVATION

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



WINDOW SCHEDULE

B EXISTING HISTORIC WINDOWS TO BE RESTORED & REINSTALLED - SEE EXISTING AND PROPOSED ELEVATIONS FOR LOCATIONS

TO BE DEMOLISHED



(6/5/24) PREVIOUSLY APPROVED EXISTING EAST ELEVATION

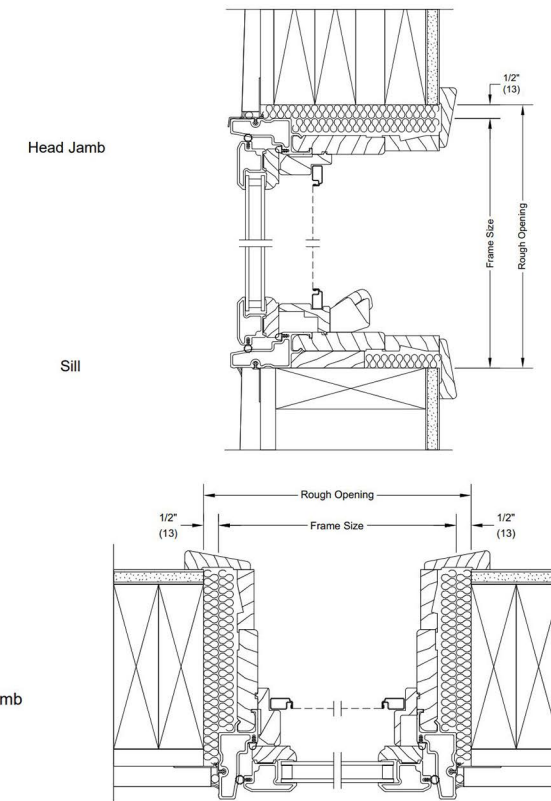
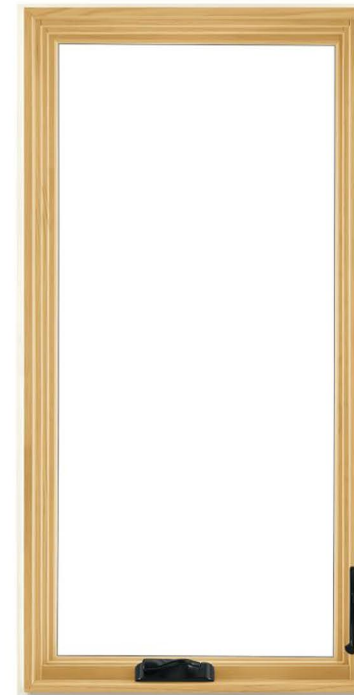
(REMOVE **B** DESIGNATION)

TO BE DEMOLISHED



PROPOSED EXISTING EAST ELEVATION

3. **CLARIFICATION:** The existing historic building has five historic windows that will be restored and reinstalled in alternate locations on the building. One attic window on the back was approved with two conflicting notes indicating that the window is both restored and demolished. The window location will be covered by the new addition so the intent is to demolish the window.



EGRESS CASEMENT WINDOWS

MANUFACTURER: MARVIN WINDOWS
COLOR: WHITE
SPECIFICATION: ELEVATE / FIBERGLASS EXT. & WOOD INT.

235 MARCY STREET
 PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED DEMO ELEVATION

SCALE: 1/8" = 1'-0"

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



5.0

5. 53 Pray Street

-Recommended Approval

Background: The applicant is seeking approval for a revised screen porch roof design.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



Previously Approved Front Elevation



Previously Approved Right Side Elevation



Revised Front Elevation



Revised Right Side Elevation

Revision to Roof Pitch at Porch and (2) Window Operation Changes

SCALE: 1/8" = 1'-0"

53 Pray Street, Portsmouth, New Hampshire

Auger Building Company

SCALE: AS NOTED

AA 4.2025

SHT. 1



Previously Approved Left Side Elevation



Proposed Left Side Elevation

Revision to Roof Pitch at Porch and (2) Window Operation Changes

SCALE: 1/8" = 1'-0"

53 Pray Street, Portsmouth, New Hampshire

Auger Building Company

SCALE: AS NOTED

AA 4.2025

SHT. 2

6. 284 New Castle Avenue

-Recommended Approval

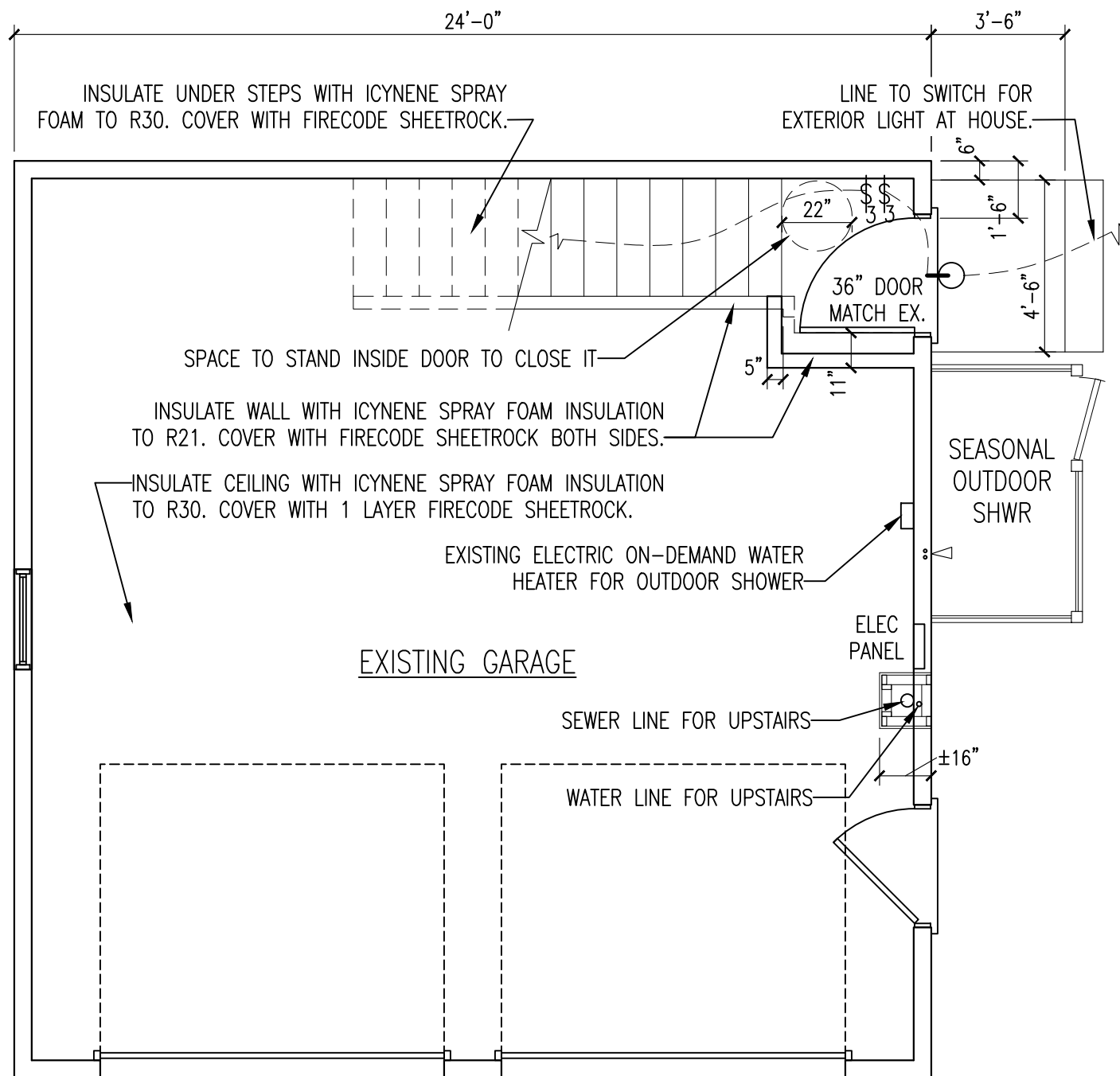
Background: The applicant is seeking approval for the replacement of an existing double hung window with a casement window, add (2) skylights, new side door and lighting on the garage.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



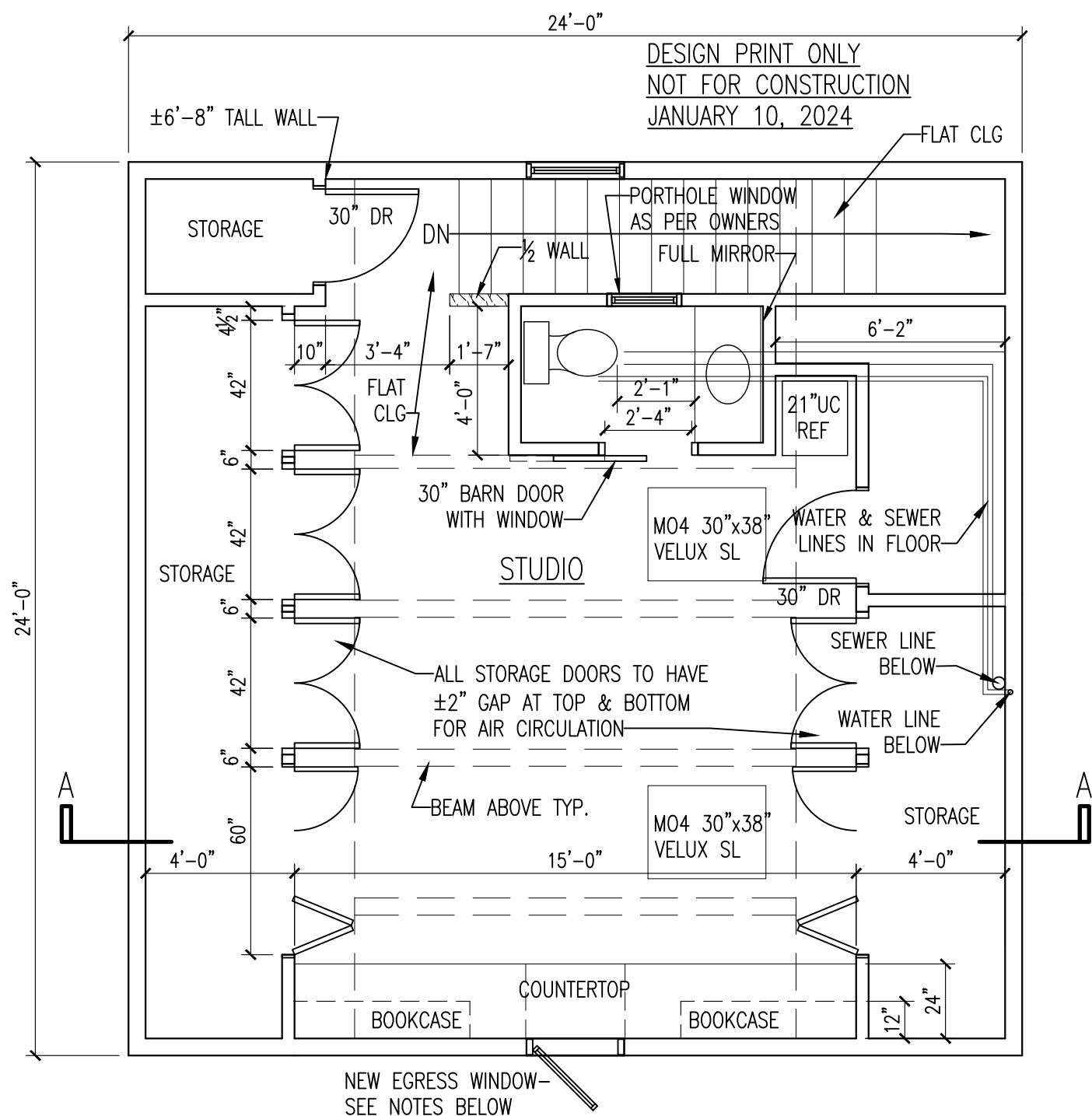


GARAGE LEVEL NOTES:

- WRAP EXISTING PLUMBING PIPES TO 2ND FLOOR WITH HEAT TAPE, BOX IN PIPES WITH 2x4's & INSULATE WITH 3" R15 RIGID INSULATION, COVER WITH 1/2" PLYWD. SCREW ON PLYWD FOR EASY REMOVAL. VERIFY WITH CONTRACTOR.
- NEW EXTERIOR PLATFORM & STEP MATERIAL AND TRIM STYLING TO MATCH FRONT & REAR PORCHES AT HOUSE.
- FLOORING OF INTERIOR PLATFORM AT ENTRY DOOR AND STAIR TREADS TO BE OAK

PROPOSED GARAGE LEVEL PLAN

Scale: 1/4" = 1'-0"



STUDIO NOTES:

- NEW EGRESS WINDOW: MARVIN CLAD ULTIMATE CASEMENT, CUSTOM SIZE TO MATCH EXISTING WITH LOW-E GLAZING, SDL SPACER BAR, 6/8 LIGHT, SIMULATED CHECK RAIL, STONE WHITE CLADDING & SCREEN.
- SKYLIGHTS TO BE VELUX VSS (SOLAR -POWERED) OR VSE (ELECTRIC) VENTING SKYLIGHTS WITH AUTOMATIC CLOSURE IN CASE OF RAIN AND INTEGRAL SHADES, AS SELECTED BY OWNERS
- ALL STORAGE DOORS TO BE CUSTOM-SIZED FLUSH DOORS TO FIT OPENING WITH ±2" GAPS TOP & BOTTOM FOR AIR CIRCULATION. CONFIRM WITH OWNERS. "PRESS-RELEASE" CATCH ON ALL.
- REMOVE 2 OF EVERY 3 CEILING JOISTS. SISTER (2)2x8s TO EACH REMAINING JOIST TO CREATE BEAMS AND WRAP IN 1x WOOD. OWNERS TO CONSULT WITH CONTRACTOR.
- BUILD NOOK FOR 21" UNDER-COUNTER REFRIGERATOR WITH SMALL COUNTER ABOVE AS PER OWNERS
- ALL FLOORING, INCLUDING IN CLOSETS BUT EXCEPTING STAIRS, TO BE VINYL PLANKING AS PER OWNERS. STAIRS AND LOWER INTERIOR PLATFORM TO BE OAK.

PROPOSED STUDIO PLAN

Scale: 1/4" = 1'-0"

MILLIKAN & LEON
284 NEW CASTLE AVE
PORTSMOUTH, NH 03801

ARILDA DESIGN
densch@comcast.net / www.arilda.com
9 Adams Lane, Unit 2
Kittery, Maine 03904
207-604-6848

Revisions:

Garage - Proposed 2nd Flr. Studio
1st & 2nd Floor Plans

date: Jan. 10, 2024

scale: 1/4" = 1'-0"

A1

DESIGN PRINT ONLY
 NOT FOR CONSTRUCTION
 JANUARY 10, 2024

MILLIKAN & LEON
 284 NEW CASTLE AVE
 PORTSMOUTH, NH 03801

ARILDA DESIGN
 densch@comcast.net / www.arilda.com
 9 Adams Lane, Unit 2
 Kittery, Maine 03904
 207-604-6848

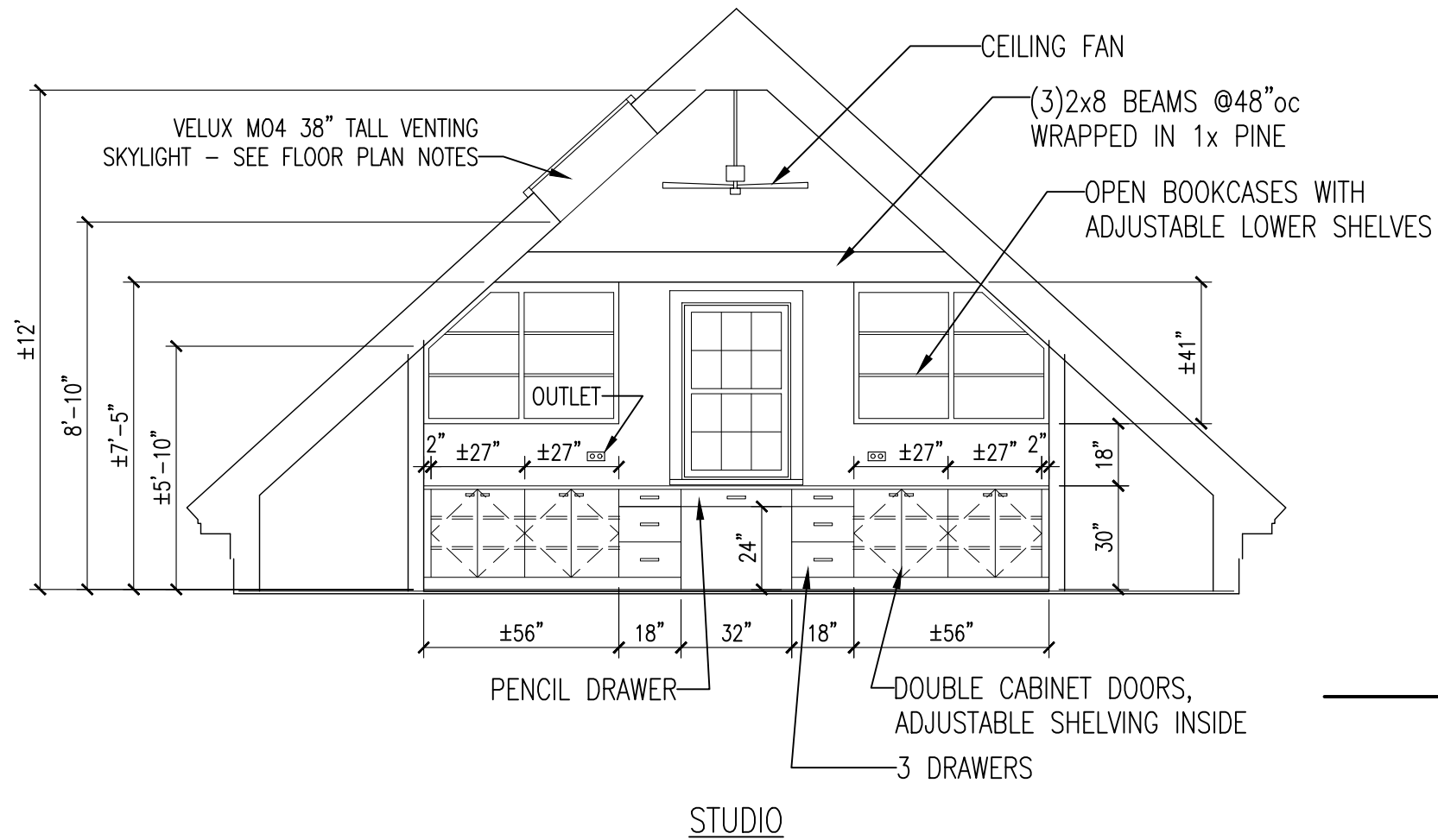
Revisions:

Garage - Proposed 2nd Flr. Studio
 Front Elevation & Interior Cabinets

date: Jan. 10, 2024

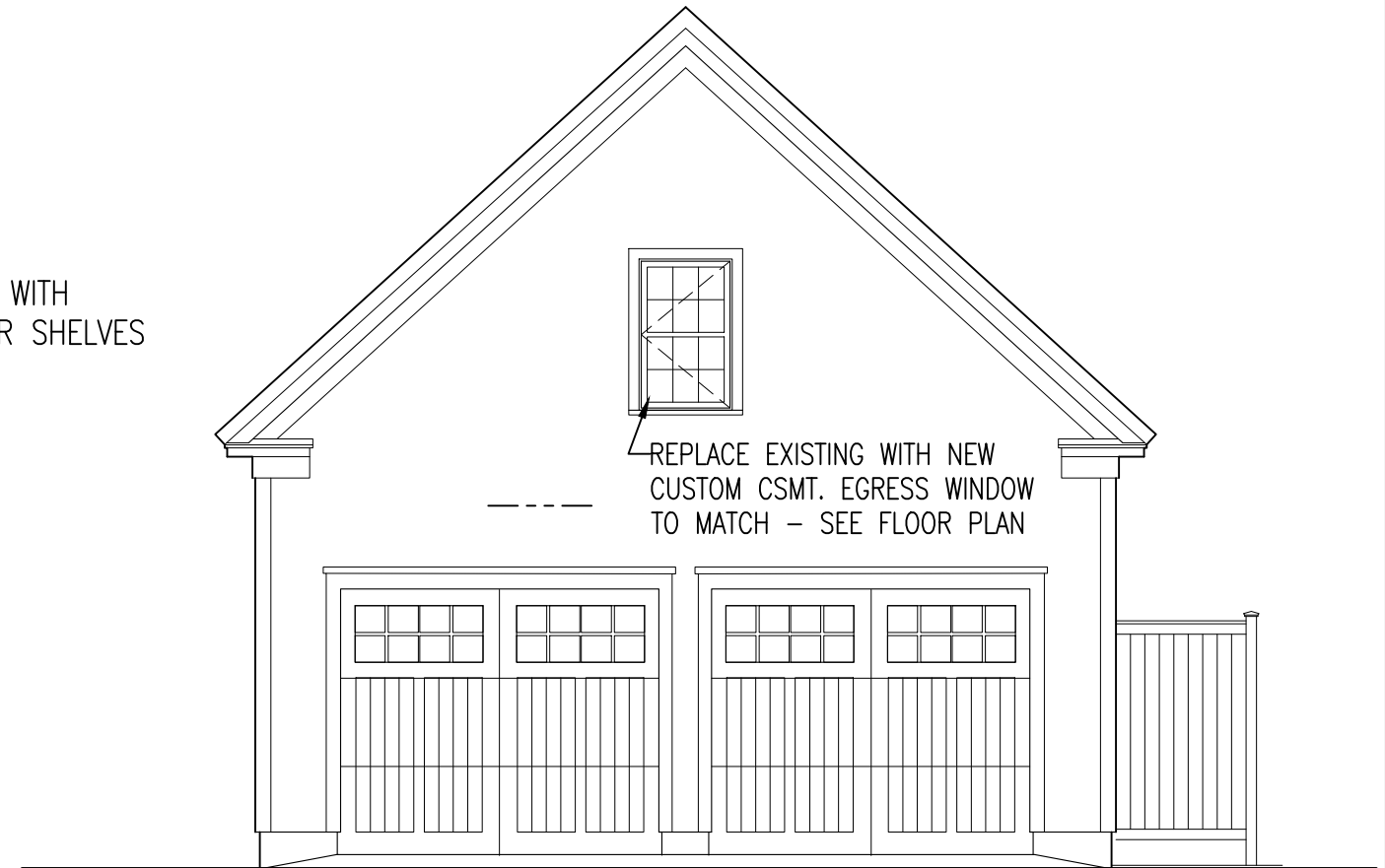
scale: AS NOTED

A2



INTERIOR CABINETS

Scale: 1/4" = 1'-0"



FRONT ELEVATION

Scale: 3/16" = 1'-0"

DESIGN PRINT ONLY
 NOT FOR CONSTRUCTION
 JANUARY 10, 2024

MILLIKAN & LEON
 284 NEW CASTLE AVE
 PORTSMOUTH, NH 03801

ARILDA DESIGN
 densch@comcast.net / www.arilda.com
 9 Adams Lane, Unit 2
 Kittery, Maine 03904
 207-604-6848

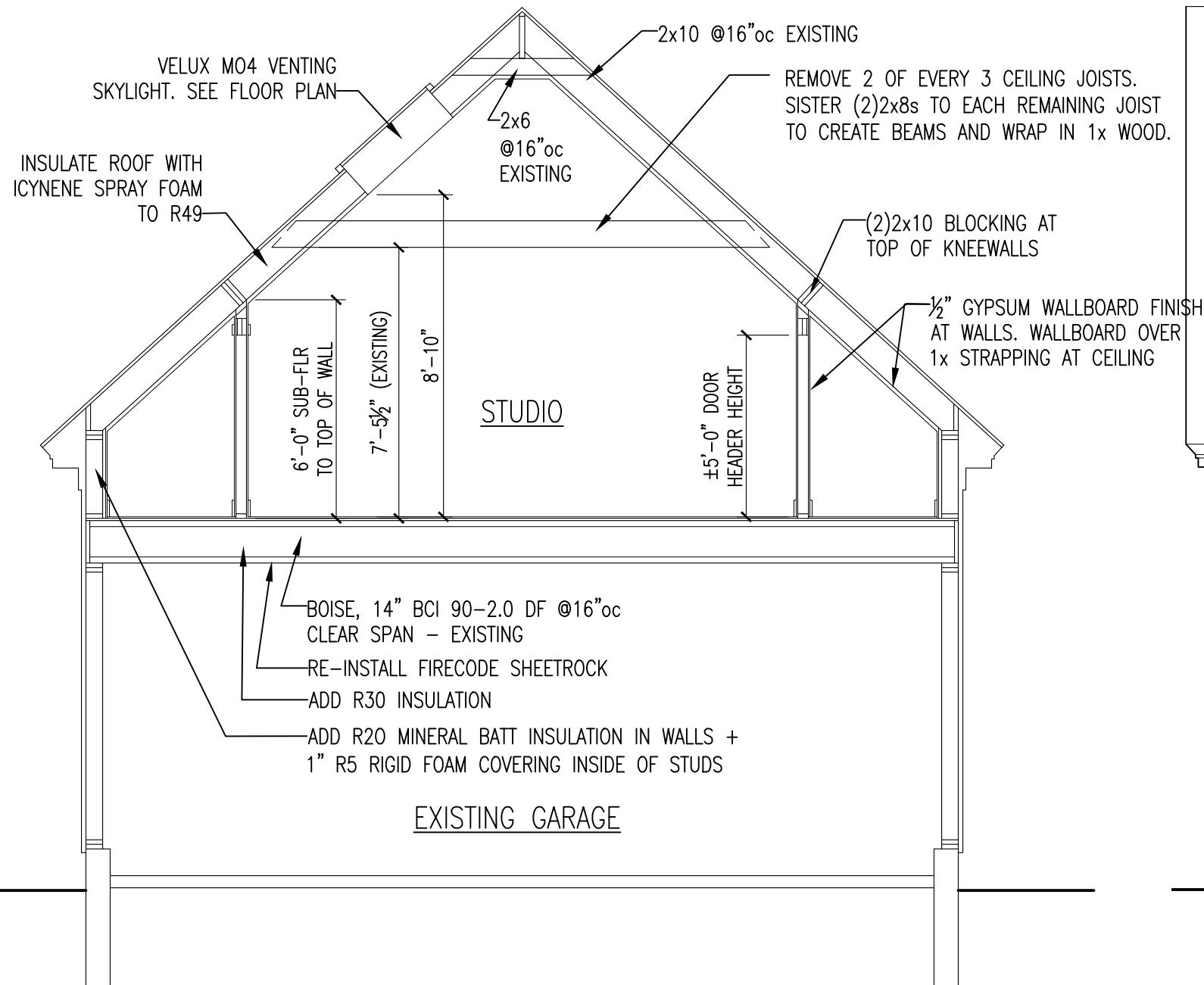
Revisions:

Garage - Proposed 2nd Flr. Studio
 Section & Right Side Elevation

date: Jan. 10, 2024

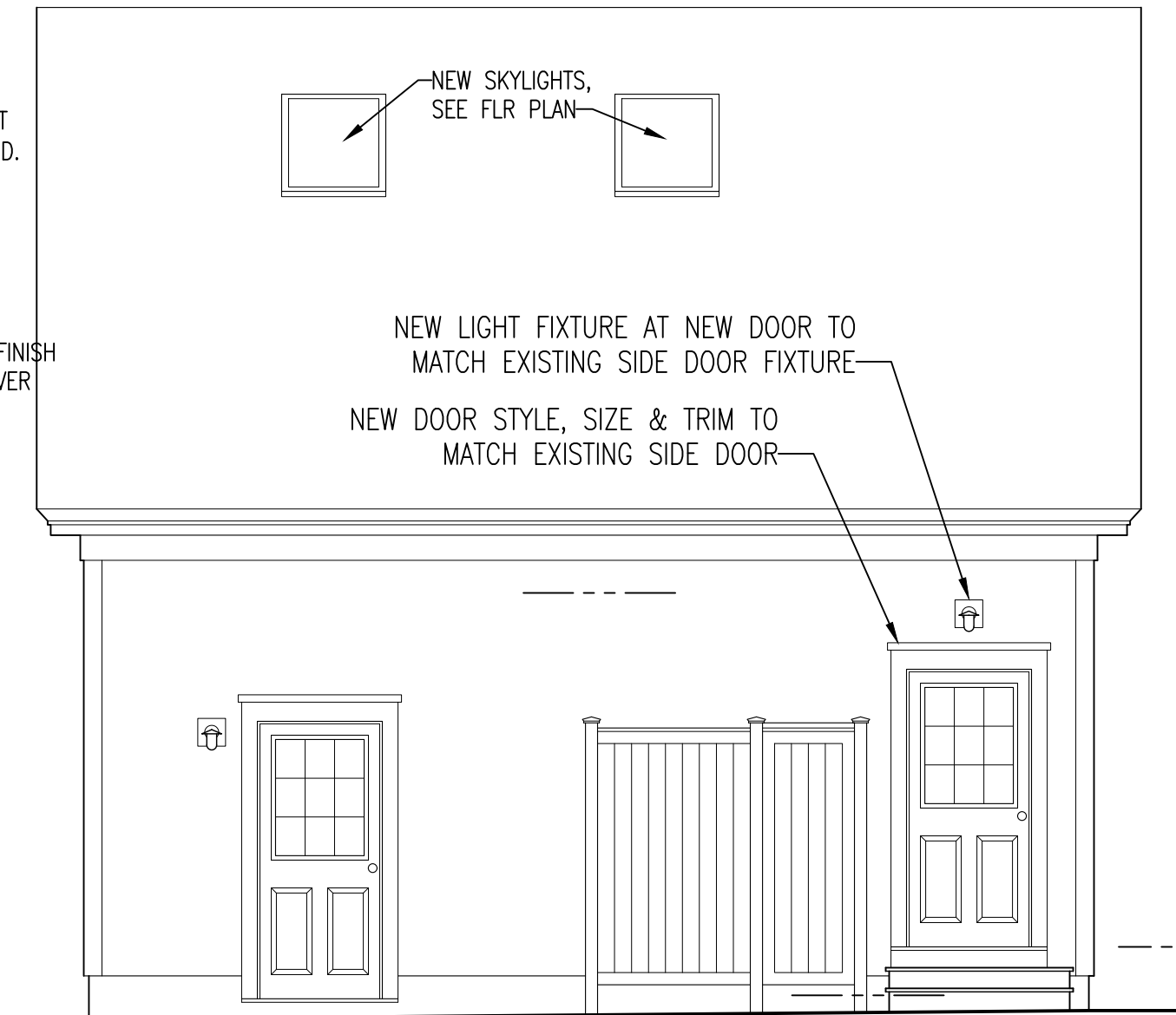
scale: 1/4"=1'-0"

A3



PROPOSED SECTION A




Scale: 1/4" = 1'-0"

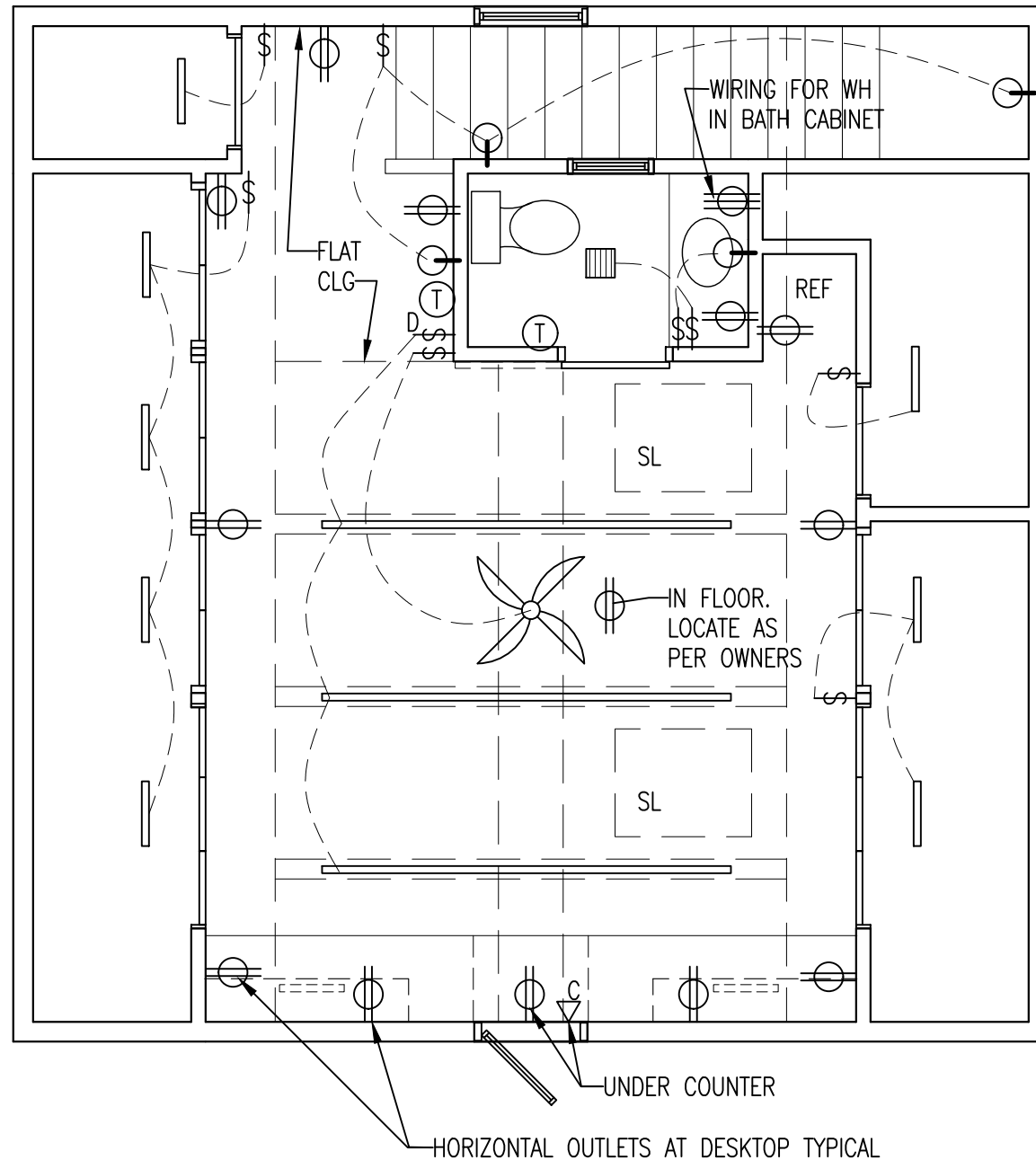


PROPOSED RIGHT SIDE

Scale: 1/4" = 1'-0"

TO BE LOCATED BY ELECTRICAL CONTRACTOR:










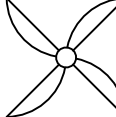


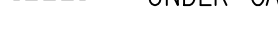
-  WIRING FOR RADIANT HEAT IN BATHROOM FLOOR
-  WIRING FOR HEAT EXCHANGE VENTILATOR EQUIPMENT ABOVE FLAT CEILING
-  WIRING FOR MINI-SPLIT - PLACEMENT AS PER HEATING CONTRACTOR & OWNERS



ELECTRICAL PLAN AT STUDIO

Scale: 1/4" = 1'-0"

LEGEND:

-  DUPLEX OUTLET (18" HEIGHT TYP.)
-  SPECIAL WIRING FOR APPLIANCE
-  LIGHT SWITCH
-  3-WAY LIGHT SWITCH
-  DIMMER SWITCH
-  WALL HUNG FIXTURE
-  BATH CEILING EXHAUST FAN
-  THERMOSTAT
-  CABLE OR INTERNET HARD-WIRE CONNECTION
-  CEILING FAN (±42"Ø) MOUNT ON EXTENSION ROD DOWN FROM PEAK
-  18" CLOSET LIGHT. FIXTURE TO MEET NEC 410.16 FOR CLOSETS
-  UNDER-CABINET LIGHTING
-  TRACK OR OTHER LIGHTING ON TOP OF BEAMS

ELECTRICAL & UTILITY NOTES:

- DESIGN AND INSTALLATION OF ELECTRICAL AND MECHANICAL SYSTEMS ARE THE RESPONSIBILITY OF THE SUBCONTRACTORS FOR THE SPECIFIC TRADES AND MUST COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION
- GENERAL LIGHTING FIXTURES TO BE LOCATED ON TOP OF BEAMS. OWNERS TO CONSULT WITH ROCKINGHAM ELECTRIC FOR FIXTURE RECOMMENDATIONS.
- ELECTRIC RADIANT HEAT IN FLOOR OF BATHROOM
- ON DEMAND ELECTRIC WATER HEATER UNDER BATHROOM SINK
- WRAP EXISTING PLUMBING PIPES TO 2ND FLOOR AND PIPES IN FLOOR GOING TO NEW BATHROOM WITH HEAT TAPE. VERIFY WITH ELECTRICAL CONTRACTOR.
- OUTLETS ABOVE DESKTOP TO BE MOUNTED HORIZONTALLY
- HEAT EXCHANGE VENTILATOR INSTALLATION AND LOCATION OF INTAKE AND EXHAUST VENTS AS PER SPECIFICATION OF MANUFACTURER, OWNERS & CONTRACTOR
- MINI-SPLIT INSTALLATION AND LOCATION OF FRESH AIR INTAKE / EXHAUST VENT AS PER SPECIFICATION OF MANUFACTURER. CONFIRM LOCATIONS WITH OWNERS.
- DISCUSS /COORDINATE PLACEMENTS OF ALL MECHANICAL UNITS, CONTROLS AND THERMOSTATS WITH OWNERS & CONTRACTOR, INCLUDING ELECTRICAL SWITCHES FOR SKYLIGHT OPERATIONS.

MILLIKAN & LEON
284 NEW CASTLE AVE
PORTSMOUTH, NH 03801

ARILDA DESIGN
arilda@comcast.net / www.arilda.com
9 Adams Lane, Unit 2
Kittery, Maine 03904
207-604-6848

Revisions:

Studio Electrical Plan
Electrical Legend & Notes

date: Jan. 10, 2024

scale: 1/4" = 1'-0"

A4

DESIGN PRINT ONLY
NOT FOR CONSTRUCTION
JANUARY 10, 2024

7. 2 Congress Street

-Recommended Approval

Background: The applicant is seeking approval for the removal of the electric meters on the building and move them to a free standing panel.

Staff Comment: Recommend Approval

Stipulations:

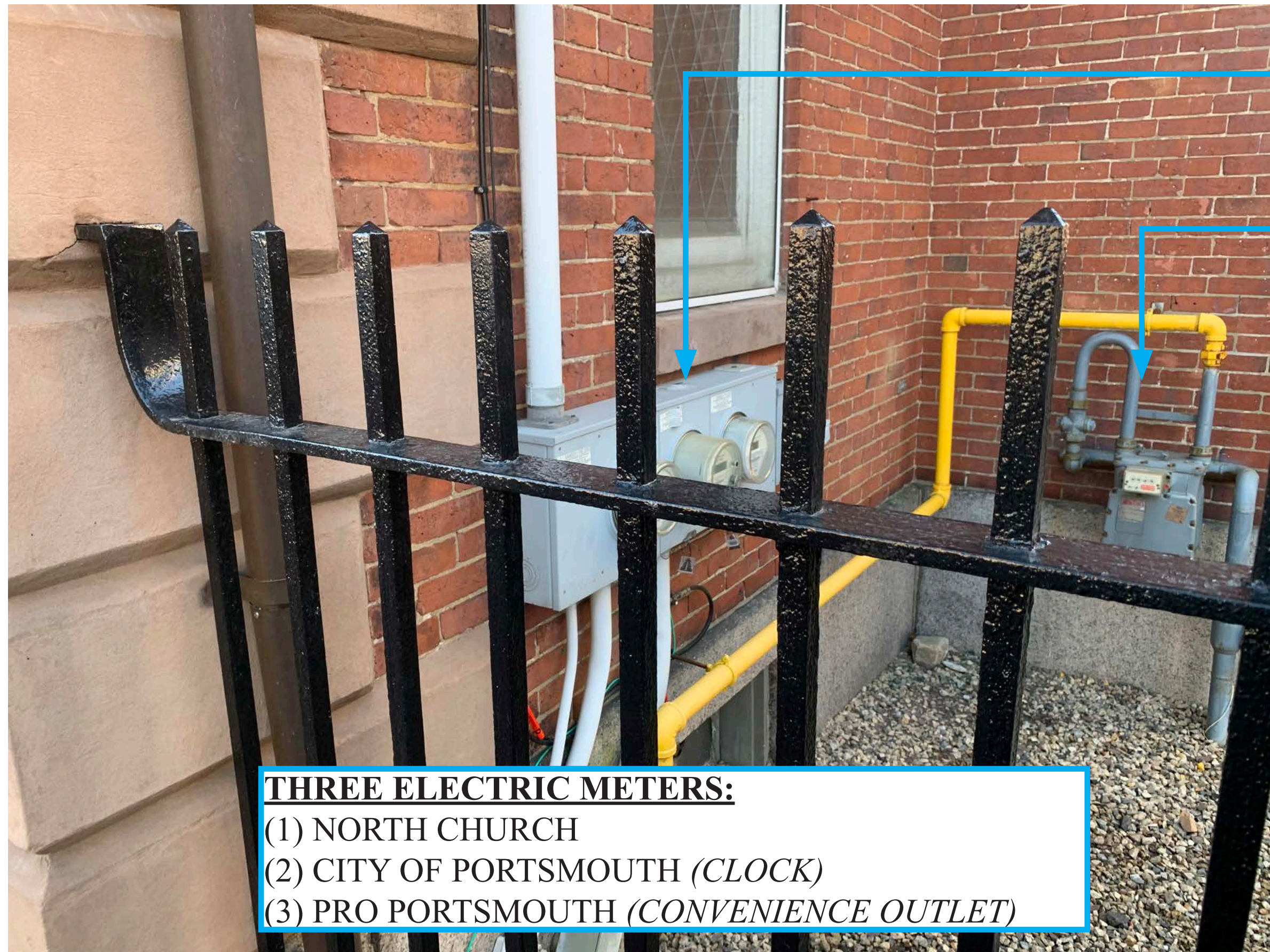
1. _____
2. _____
3. _____



EXISTING
ELEC METERS
(NEEDS UPGRADE)

EXISTING
GAS SERVICE
(NO CHANGE)

VIEWS OF EXISTING CONDITIONS



EXISTING
ELEC METERS
(NEEDS UPGRADE)

EXISTING
GAS SERVICE
(NO CHANGE)

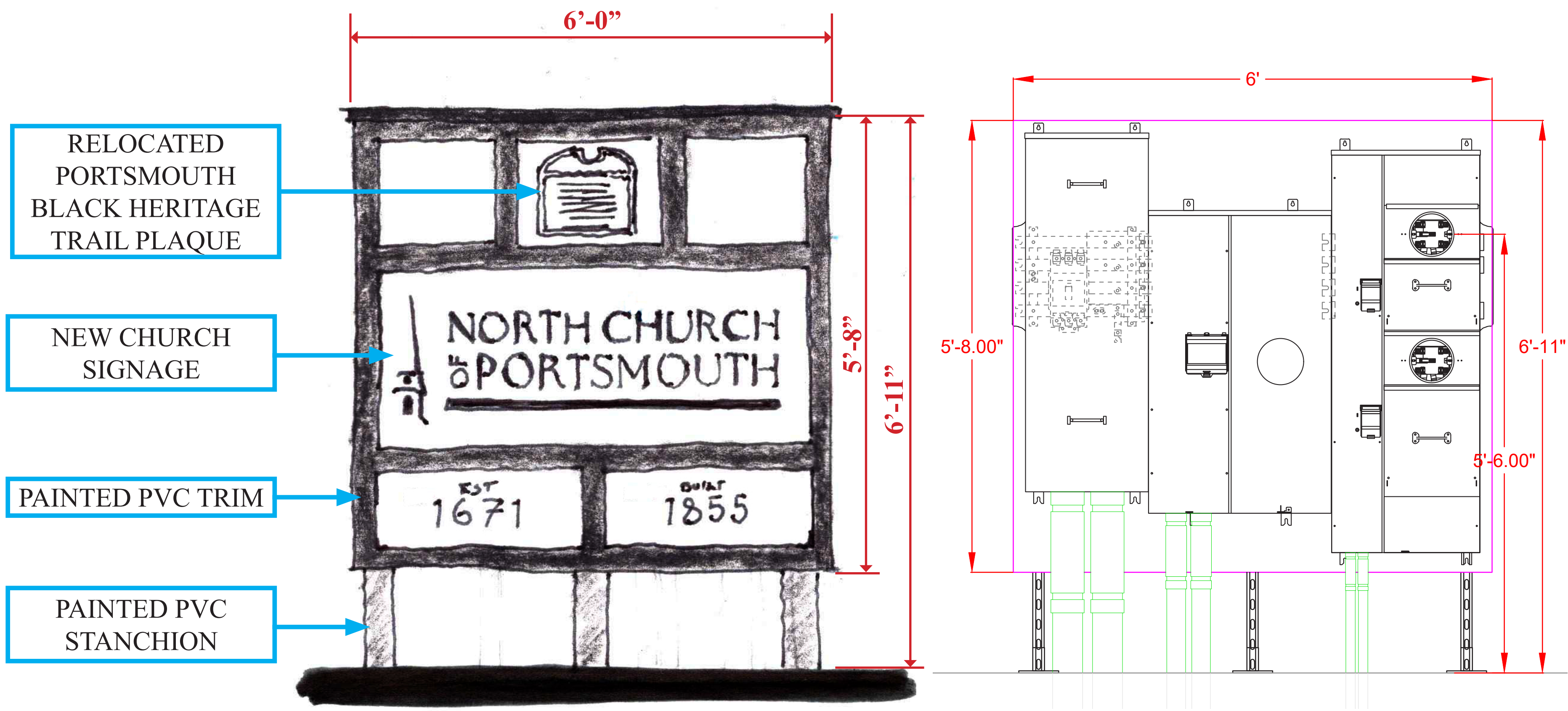
THREE ELECTRIC METERS:
 (1) NORTH CHURCH
 (2) CITY OF PORTSMOUTH (CLOCK)
 (3) PRO PORTSMOUTH (CONVENIENCE OUTLET)

APPROXIMATE EXTENT OF
NECESSARY ELECTRICAL
METER UPGRADES:
 - OBSCURES WINDOW
 - CONFLICT W/ GAS LINE
 - TOO CLOSE TO GAS METER
 - REQUIRES ADDITIONAL
MOUNTING TO BUILDING



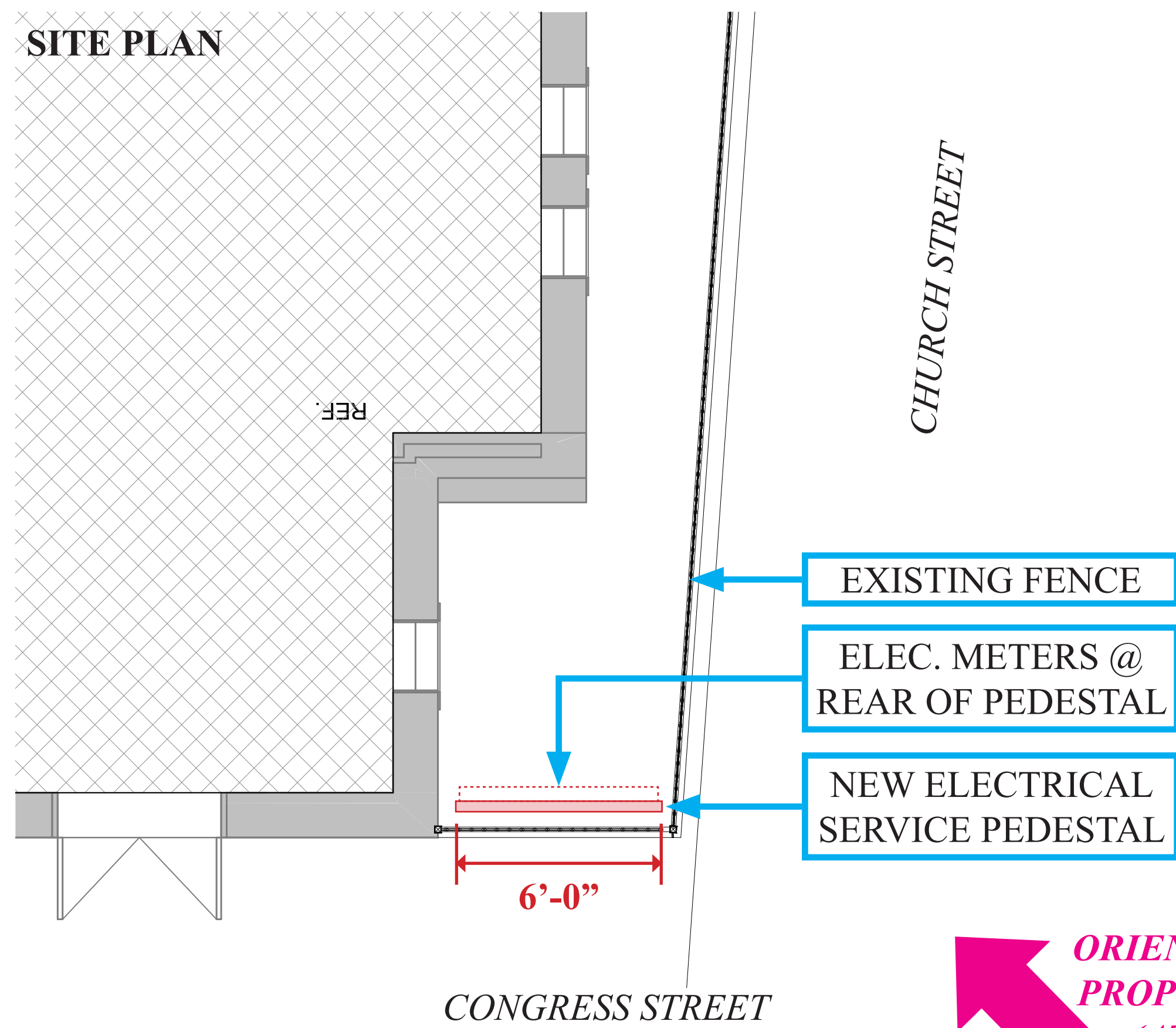
EXISTING VIEW FROM CONGRESS STREET, LOOKING SOUTHEAST

1 EXISTING ELECTRICAL SERVICE
SCALE: NTS



NEW ELECTRICAL SERVICE PEDESTAL
FRONT (CONGRESS STREET) VIEW

NEW ELECTRICAL SERVICE PEDESTAL
REAR VIEW



ORIENTATION OF
PROPOSED VIEW
(AT RIGHT)



PROPOSED VIEW FROM CONGRESS STREET, LOOKING SOUTHEAST

1 PROPOSED ELECTRICAL SERVICE
SCALE: NTS

8. 87 Market Street

-Recommended Approval

Background: The applicant is seeking approval for the final roofing material and design for HVAC screening.

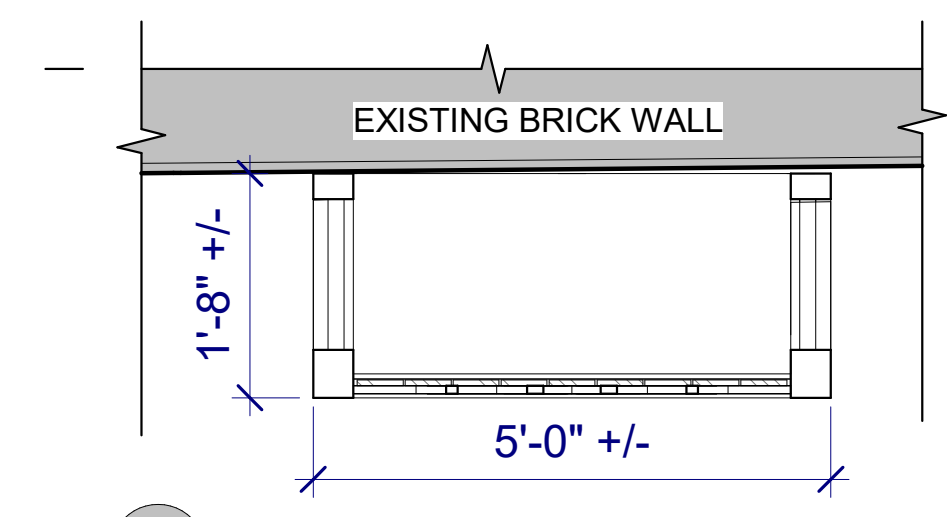
Staff Comment: Recommend Approval

Stipulations:

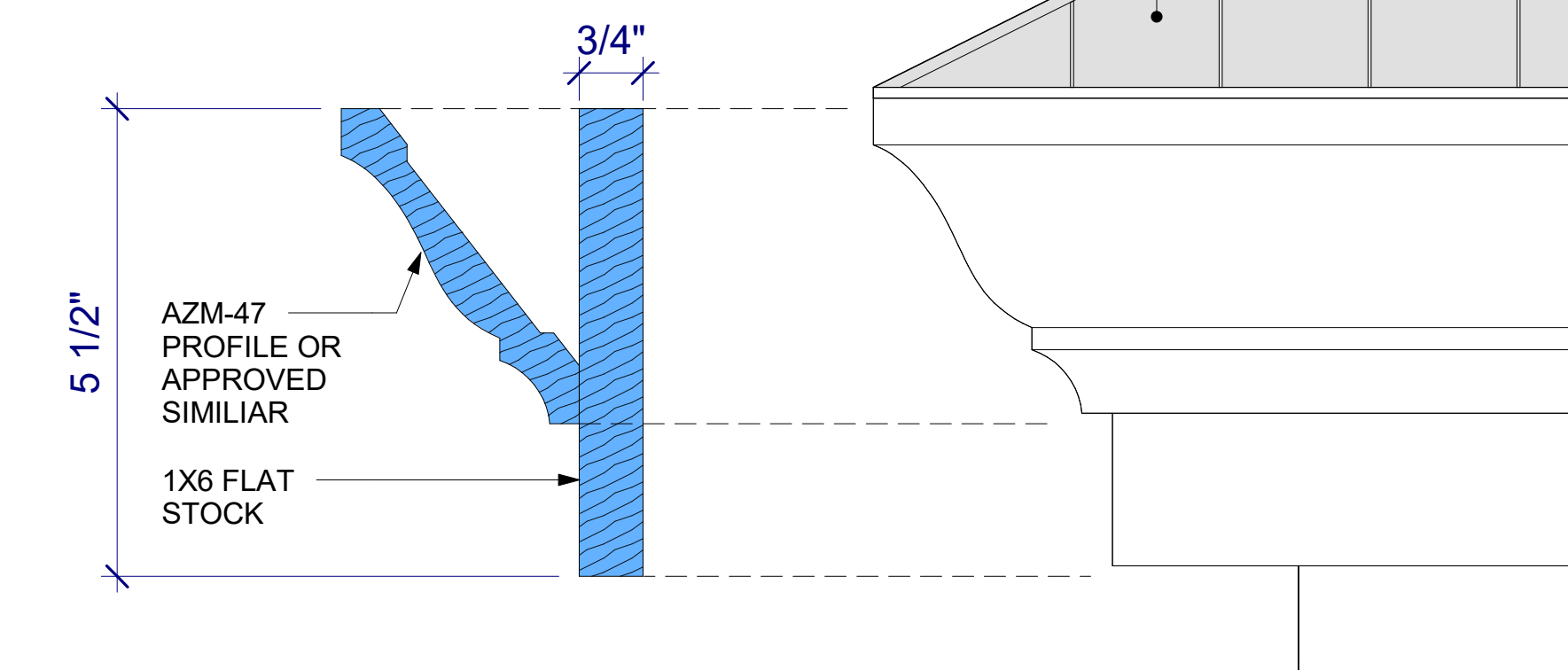
1. _____
2. _____
3. _____



EXISTING CERES STREET PHOTO REFERENCE IMAGE. NOT TO SCALE



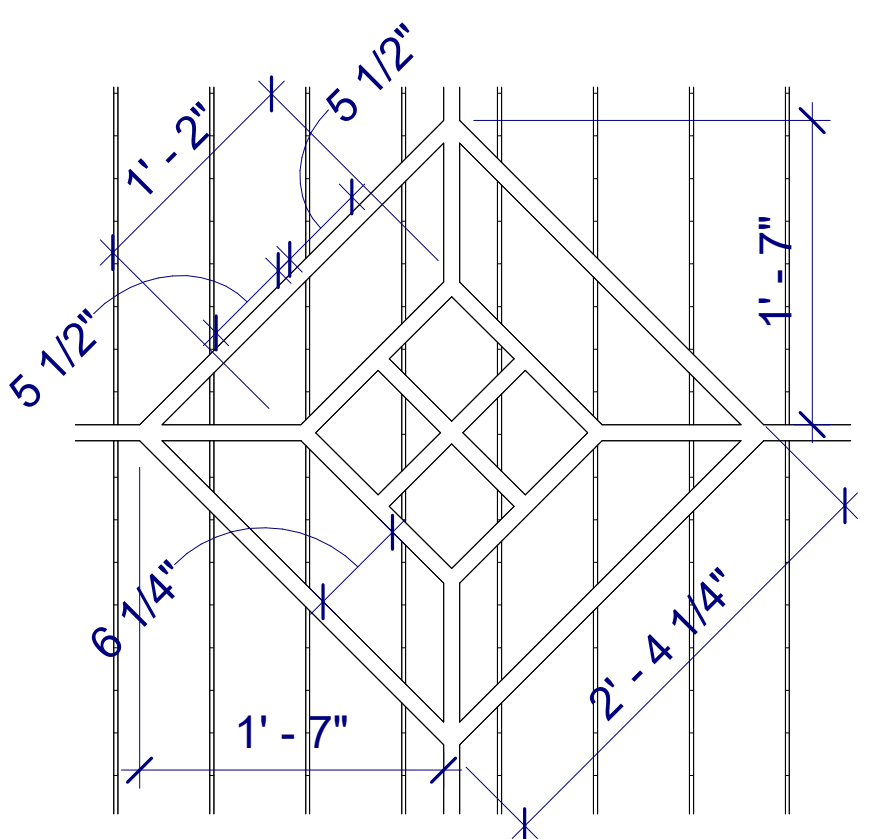
2 HVAC Condenser Unit Screening Structure - Plan View
1/2" = 1'-0"



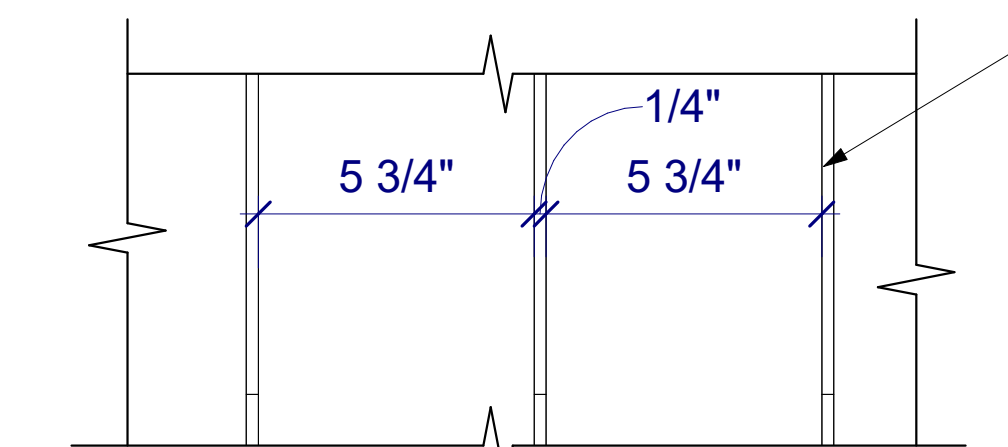
2A Fascia Trim Profile Section
6" = 1'-0"

2B HVAC Roof Screening Structure - Fascia Detail View
6" = 1'-0"

EGLERT STANDING SEAM ARCHITECTURAL METAL ROOF COLOR: CHARCOAL GREY APPROVED SIMILAR

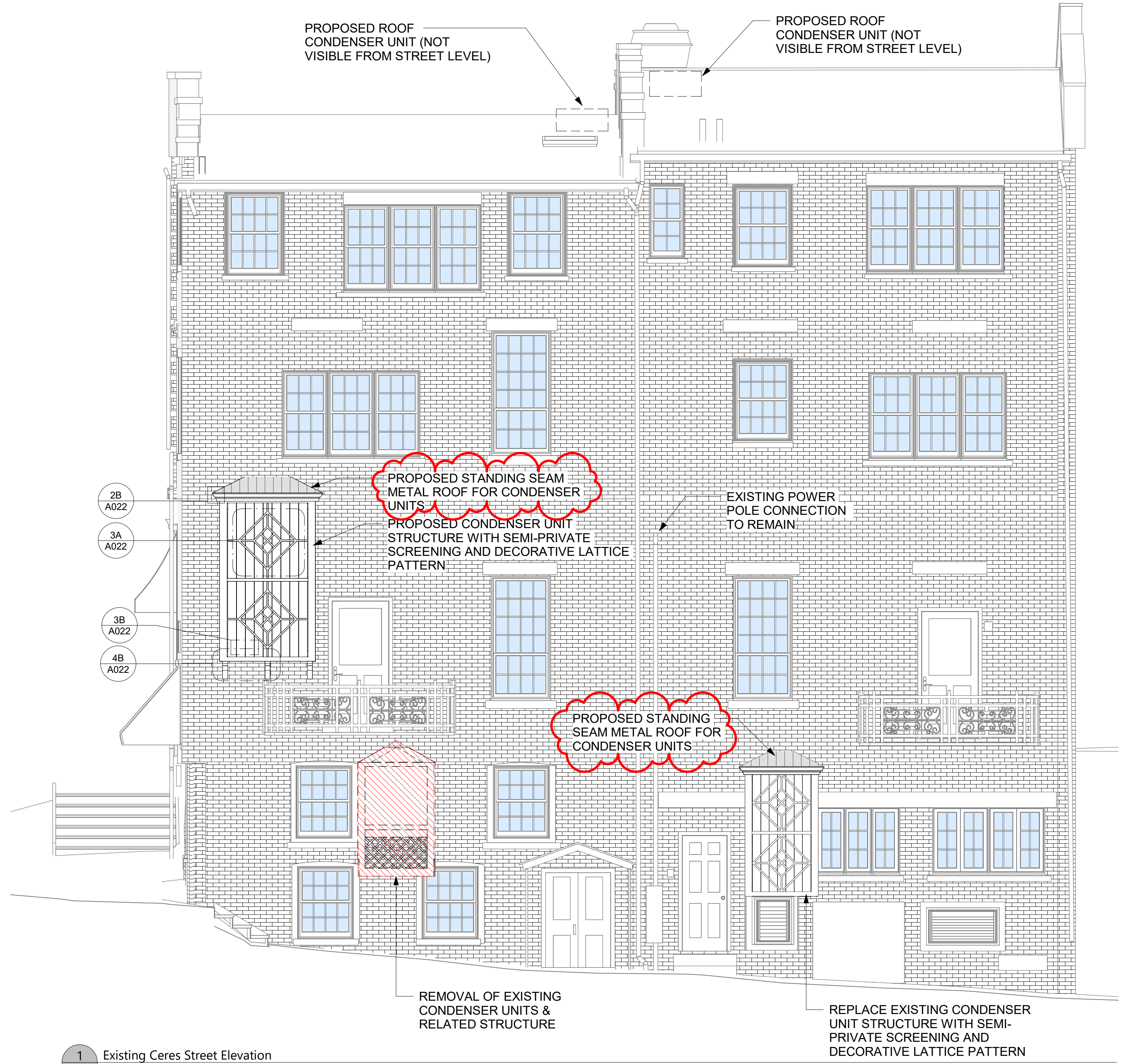


3A HVAC Screening - Decorative Latticework Detail View
1" = 1'-0"



3B HVAC Screening - Semi-Private Screening
3" = 1'-0"

WALPOLE OUTDOORS SOLID CELLULAR VINYL SEMI PRIVATE SCREENING W/ CUSTOM DECORATIVE SOLID CELLULAR VINYL LATTICE WORK. COLOR TO MATCH WHITE WINDOW TRIM



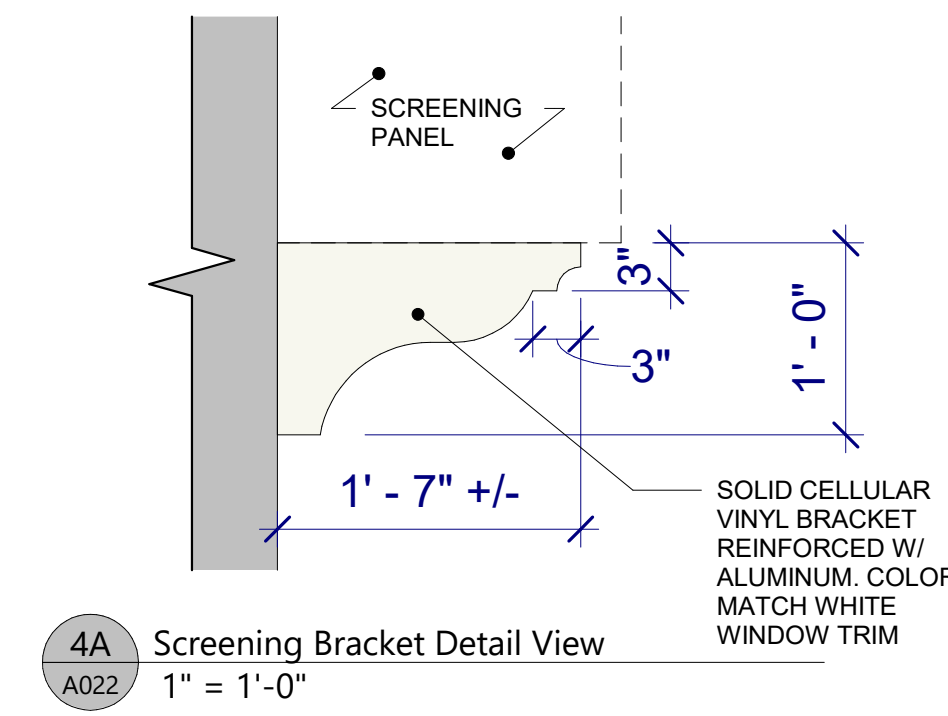
1 Existing Ceres Street Elevation
1/4" = 1'-0"



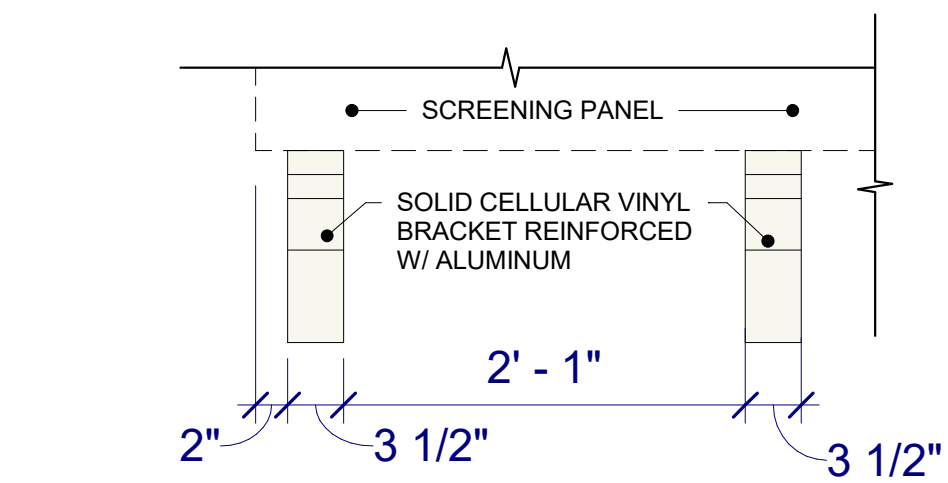
EXAMPLE IMAGE OF DECORATIVE LATTICE CUSTOMIZATION



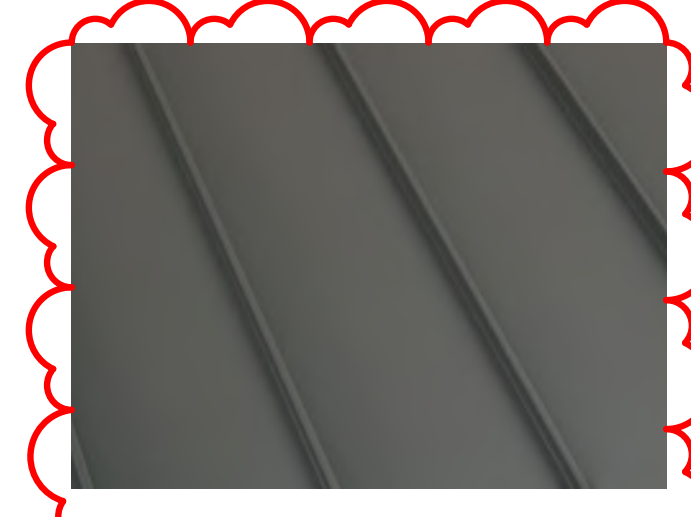
EXAMPLE IMAGE OF DECORATIVE LATTICE CUSTOMIZATION



4A Screening Bracket Detail View
1" = 1'-0"



4B Screening Bracket Detail View 2
1" = 1'-0"



CONDENSER UNIT ROOF

EGLERT STANDING SEAM ARCHITECTURAL METAL ROOF
COLOR: CHARCOAL GREY APPROVED SIMILAR

Rev #	Date	Description
1	03/12/25	Metal Roof Update

9. 2 Atkinson Street

-Recommended Approval

Background: The applicant is seeking approval for several exterior modifications (restore front pediment, replace existing fencing, add weather enclosure (per historic photos), reconstruct third chimney (per historic photos), add basement window wells, flood venting, and rear accessible entry.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

PENHALLOW HOUSE

CITY OF PORTSMOUTH
Historic District Commission

REVISED SUBMISSION
APRIL 2025



Penhallow House c. 1935 (Arthur I. Harriman Collection, Courtesy of Portsmouth Athenaeum)

PENHALLOW HOUSE, STRAWBERRY BANKE MUSEUM
PORTSMOUTH, NH



1 WEST CORNER



2 NORTH CORNER



3 EAST CORNER



4 SOUTH EAST FACADE



5 BARN AT EAST SIDE (BACK)

HISTORIC PHOTOS

CIRCA. 1933-1939



1 WEST CORNER



2 WEST CORNER (WITH CONTEXT)



3 EAST CORNER



4 SOUTH EAST FACADE



5 SOUTH-EAST PEAK DETAIL

PENHALLOW HOUSE, STRAWBERRY BANKE MUSEUM
PORTSMOUTH, NH



FLOODING AT PENHALLOW REAR



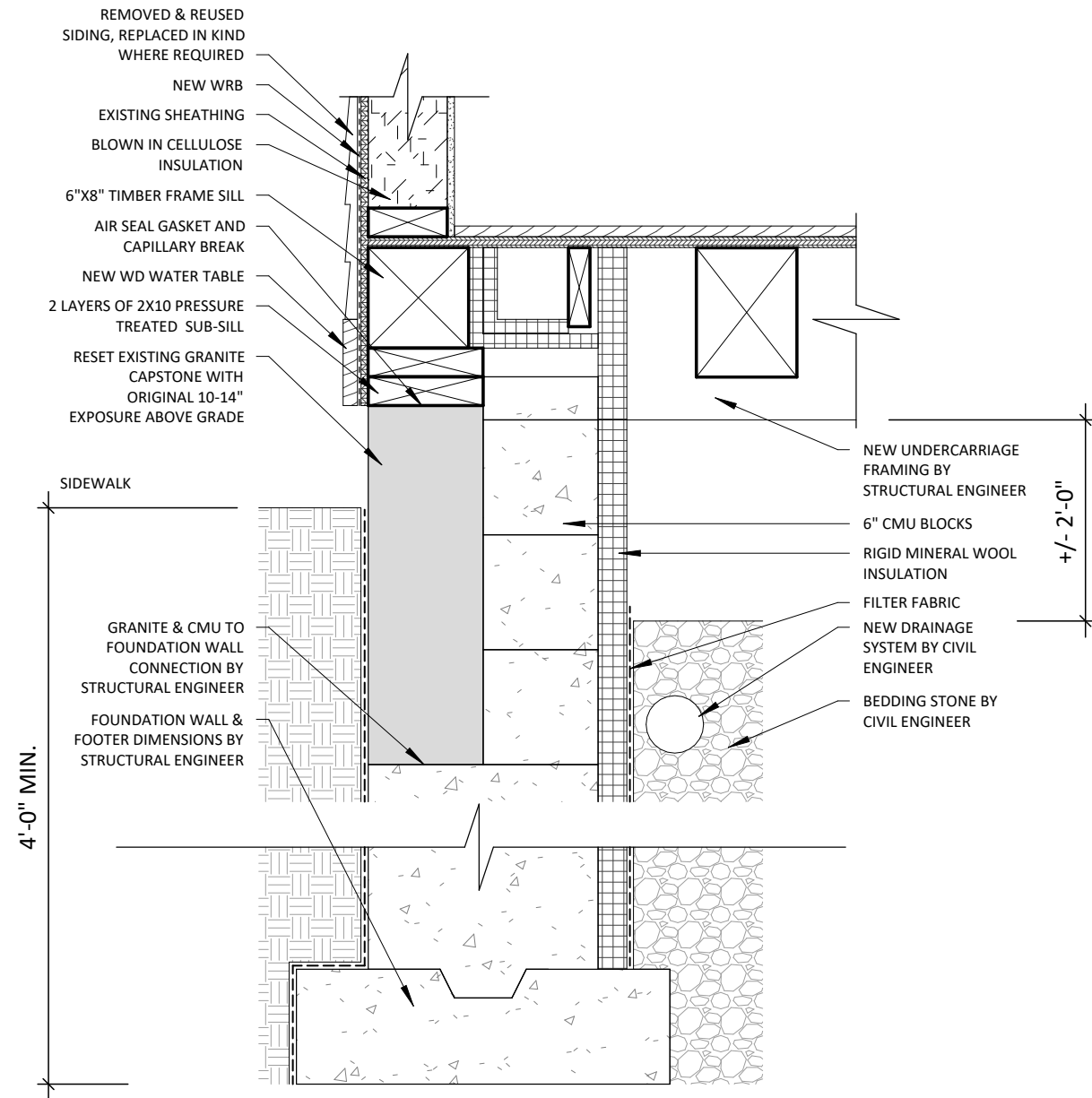
FLOODING AT PENHALLOW REAR

SECRETARY OF THE INTERIOR: Standards for Rehabilitation & Guidelines on Flood Adaptation for Rehabilitating Historic Buildings

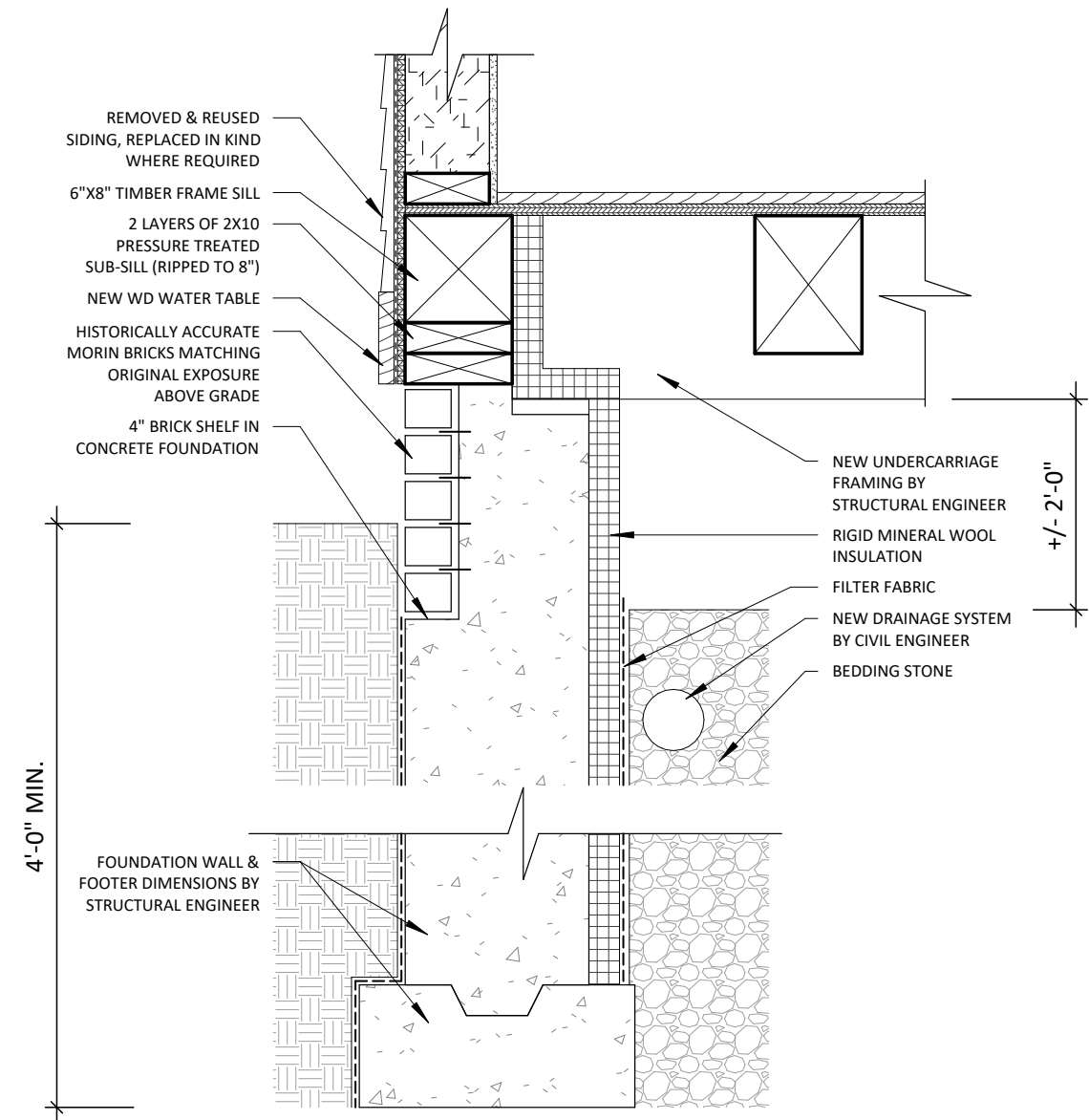
Treatments that might not be considered in other rehabilitation contexts because of their impacts on the historic character of a property may be acceptable in the context of adapting the property to flooding hazards. Even in this context, the selected treatment should always be one that minimizes the changes to the building's historic character and appearance while addressing the risk. Adaptation treatments should increase the building's resilience to flooding risks as much as possible, but should do so without destroying significant historic materials, features, or spaces.

FOUNDATION WALL DETAILS

SCALE: 1" = 1'-0"



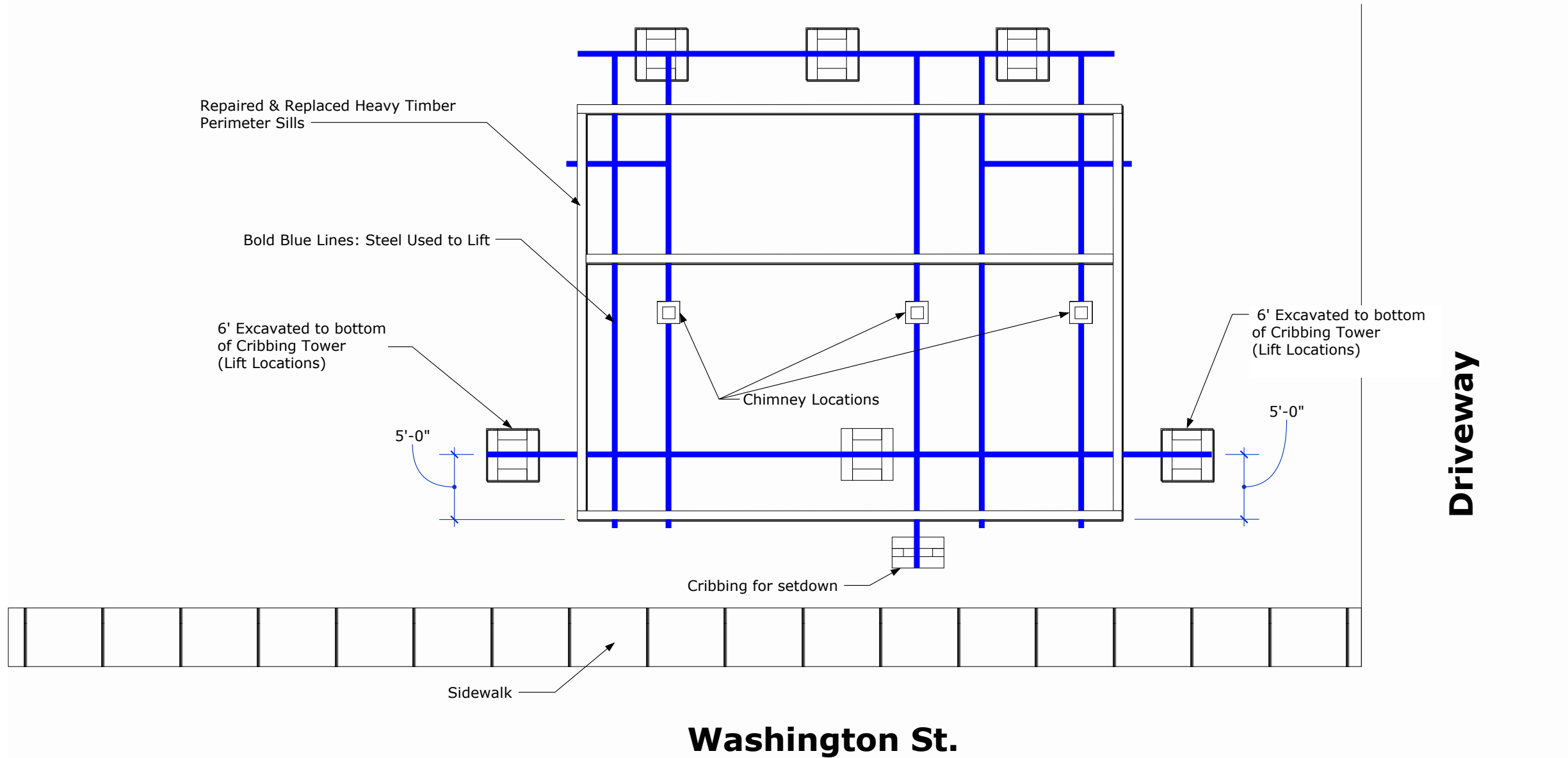
STREET WALL FOUNDATION DETAIL



SIDE WALL FOUNDATION DETAIL



Steel Rigging Plan for House Lift



PTF

08.16.2023
Draft 004
David Ewing

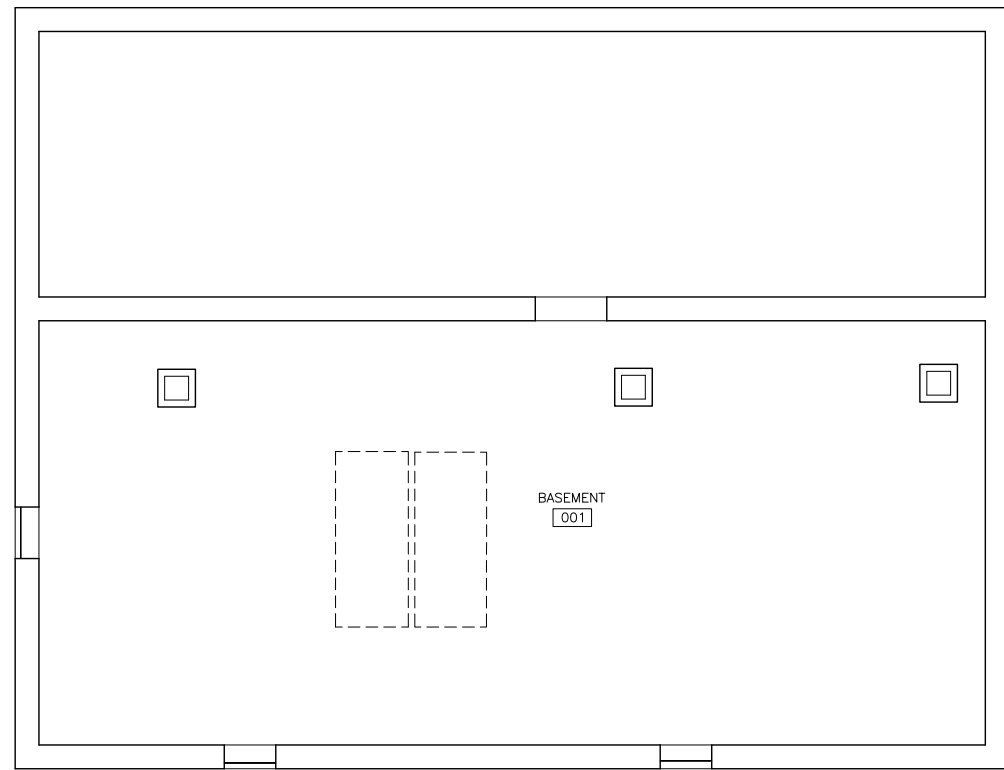
Penhallow House
Strawbery Banke
93 Washington St.
Portsmouth, NH 03801

PRESERVATION TIMBER FRAMING
P.O. Box 28
Berwick, ME 03901
207 698 1695

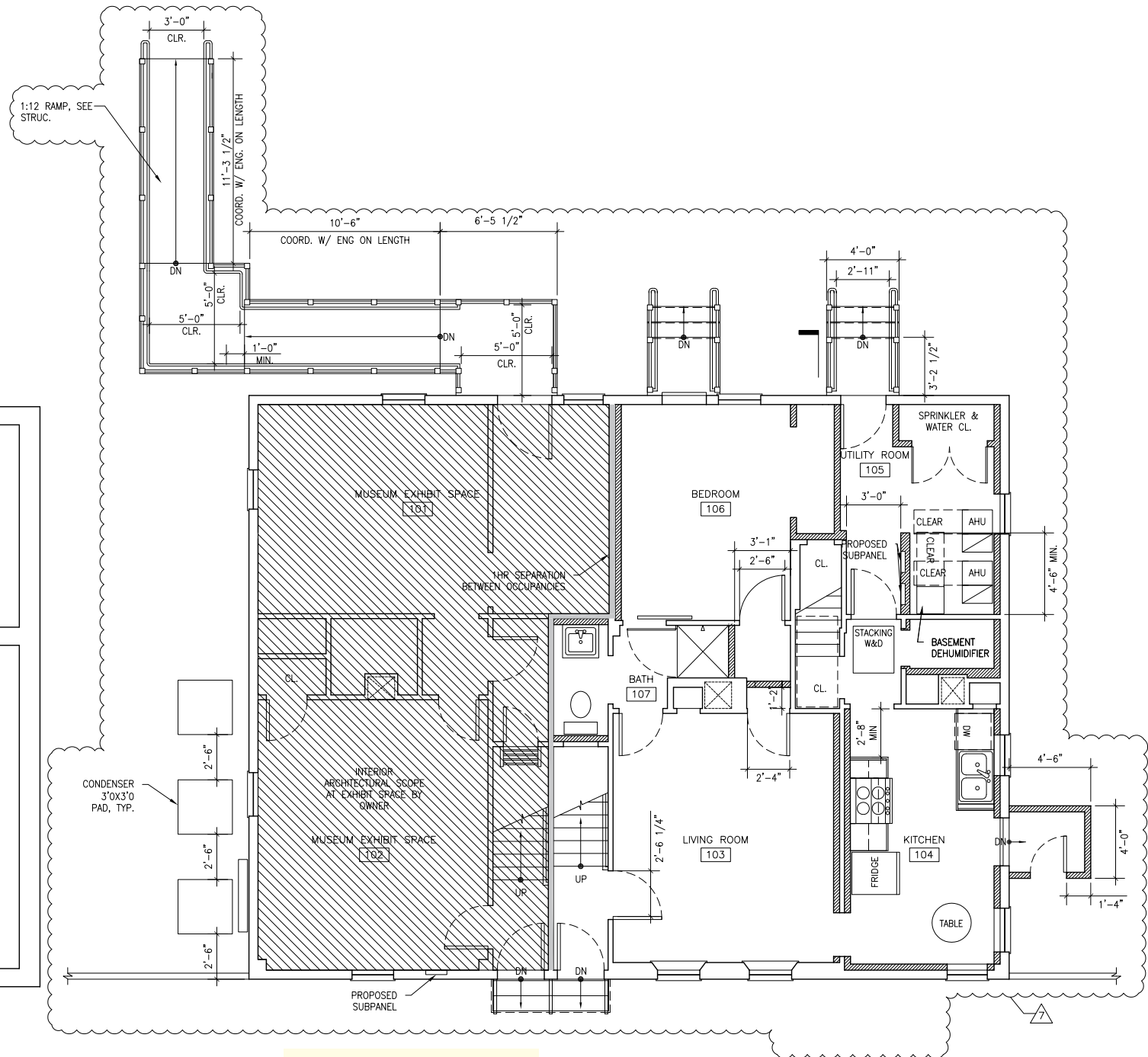
3

PROPOSED PLANS

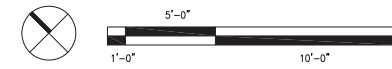
SCALE: 1/8"=1'-0"



BASEMENT PLAN

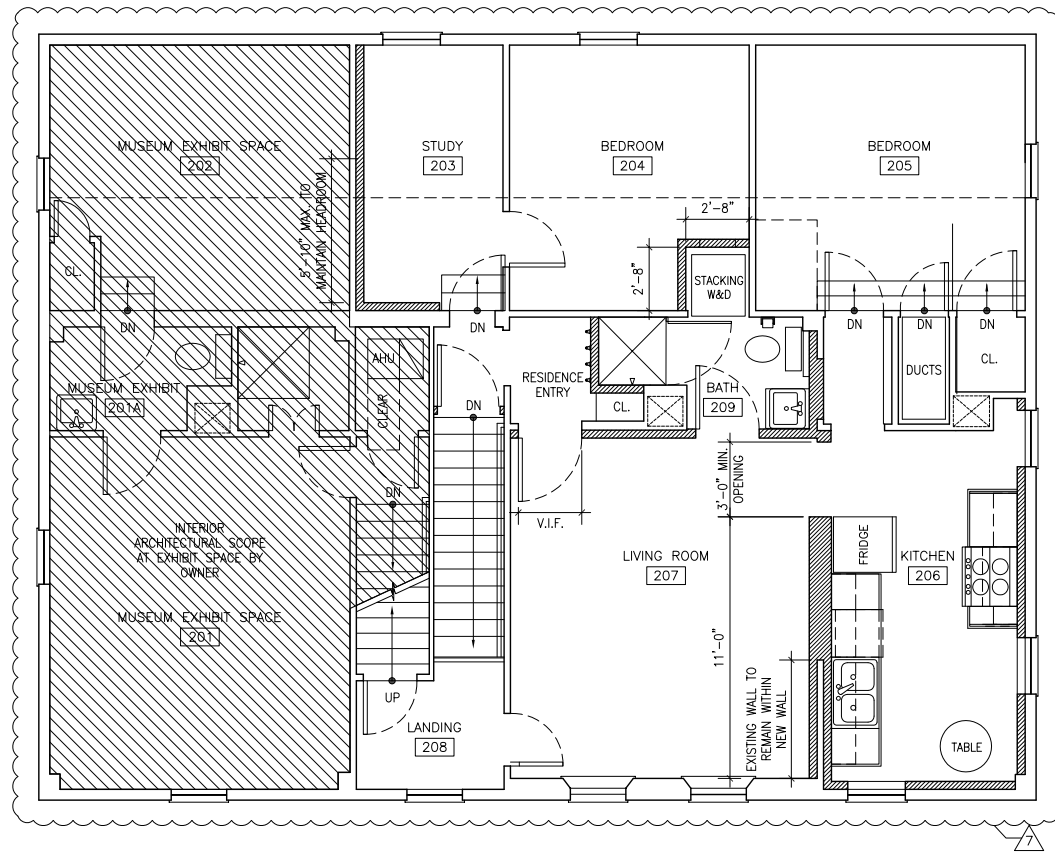


FIRST FLOOR PLAN

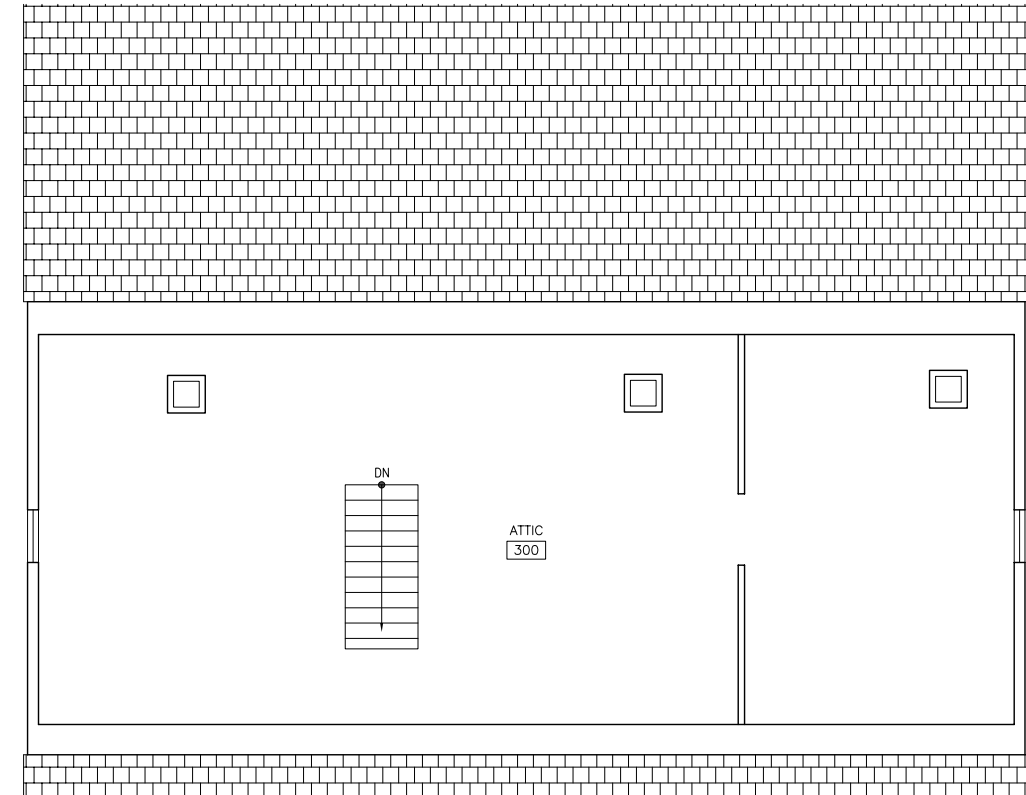


PROPOSED PLANS

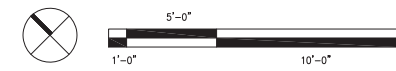
SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

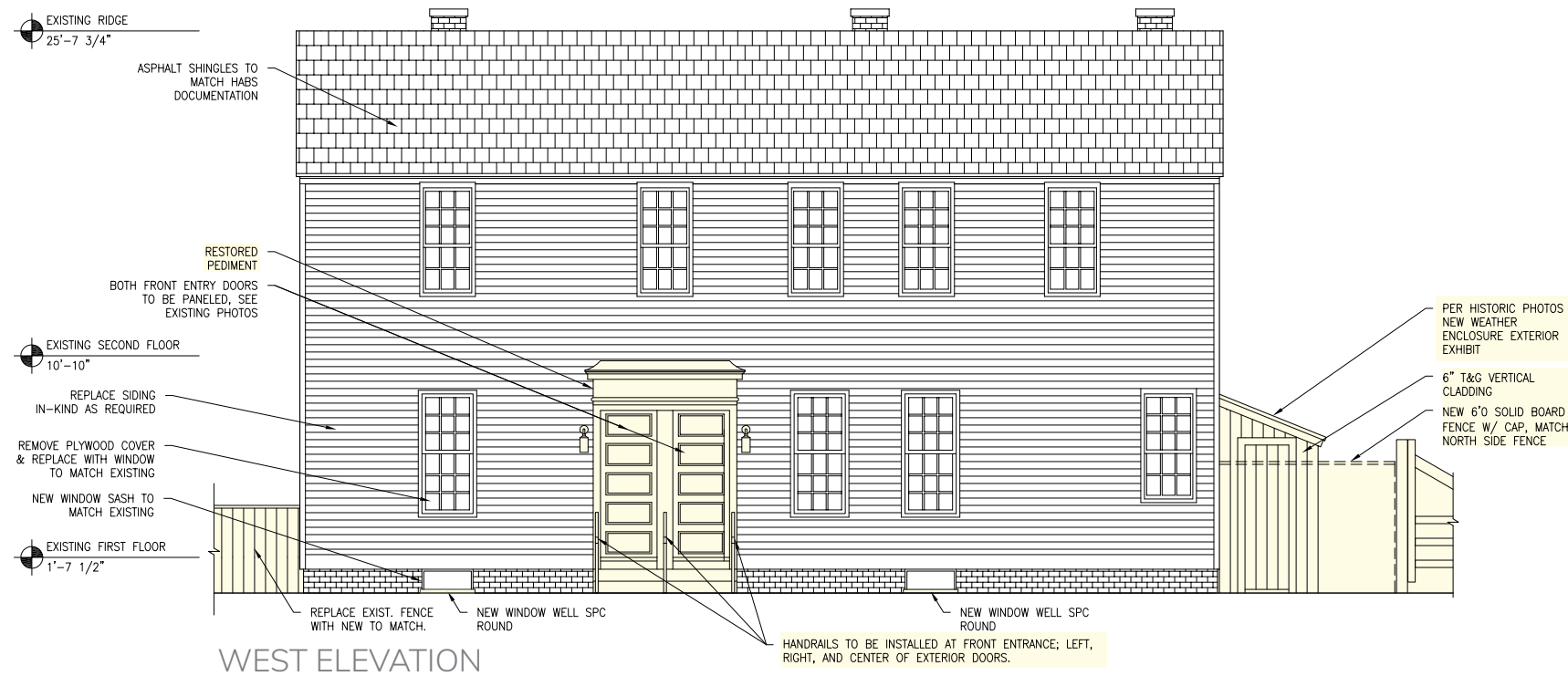


ATTIC FLOOR PLAN



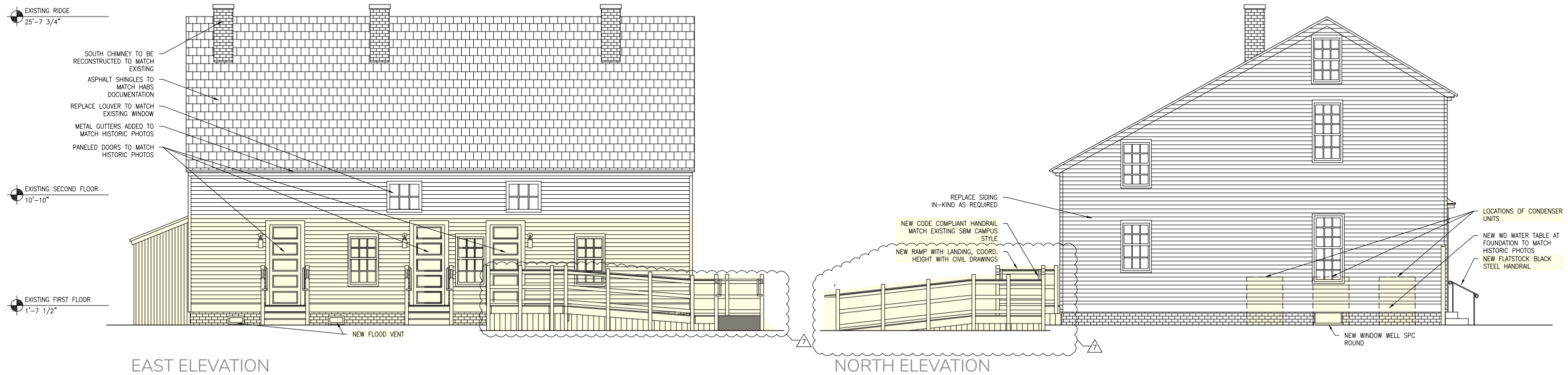
PROPOSED ELEVATIONS

SCALE: 1/8"=1'-0"



PROPOSED ELEVATIONS

SCALE: 1/8"=1'-0"



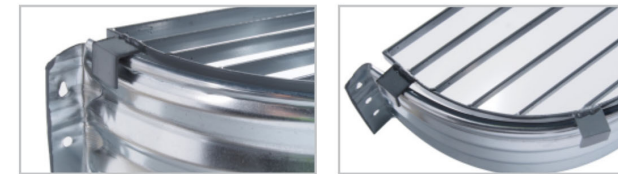
WINDOW WELL

The grade surrounding the building will be raised to direct water away from the building. This will result in a +/-3-5" decreased foundation exposure from the current condition. Wells will act as drywells, with a drain tied to the building foundation drains.

Window Well size: 46" W x 60" H x 20" Projection (half-round style with grate)



Safe-T-Guard™ Bar Grates



- Designed to fit nearly flush with the top edge of SPC's areawalls.
- Prevents potential fall hazard of open wells.
- Manufactured from 3/16" x 3/4" steel stripbars set 2" on center welded to 3/16" x 1" barframe.
- Painted with industrial gray primer for rust resistance.
- Available in Straight, Casement Egress or Round styles.



INSULATED FLOOD VENT

Flood Vents allow for bi-directional water flow that relieves hydrostatic pressure and help protect foundations from flood damage. Located on rear facade only.

Size: 16" W x 8" H Color: Black



10. 170 Gates Street

-Recommended Approval

Background: The applicant is seeking approval to use LifeSpan siding where cedar was approved on the right and rear elevations. The front and left side elevations will remain cedar.

Staff Comment: Recommend Approval

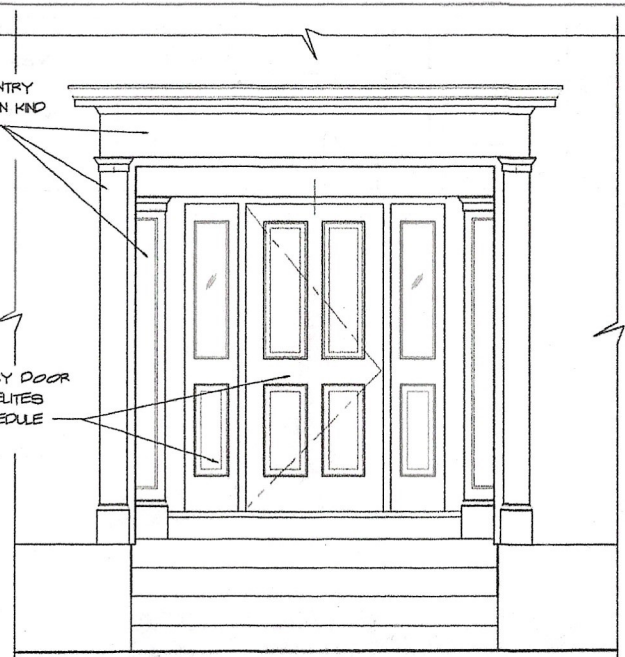
Stipulations:

- 1. _____
- 2. _____
- 3. _____



EXISTING FRONT ENTRY DETAILS, REPAIR I N KIND AS REQUIRED

NEW ENTRY DOOR WITH SIDELITES SEE SCHEDULE



FRONT ENTRY DETAIL
SCALE: 3/16" = 1'-0"

FRONT ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: REPLACE DAMAGED SIDING TO MATCH EXISTING CEDAR CLAPBOARDS

THIS WILL STAY CEDAR



FRONT & RIGHT SIDE ELEVATION

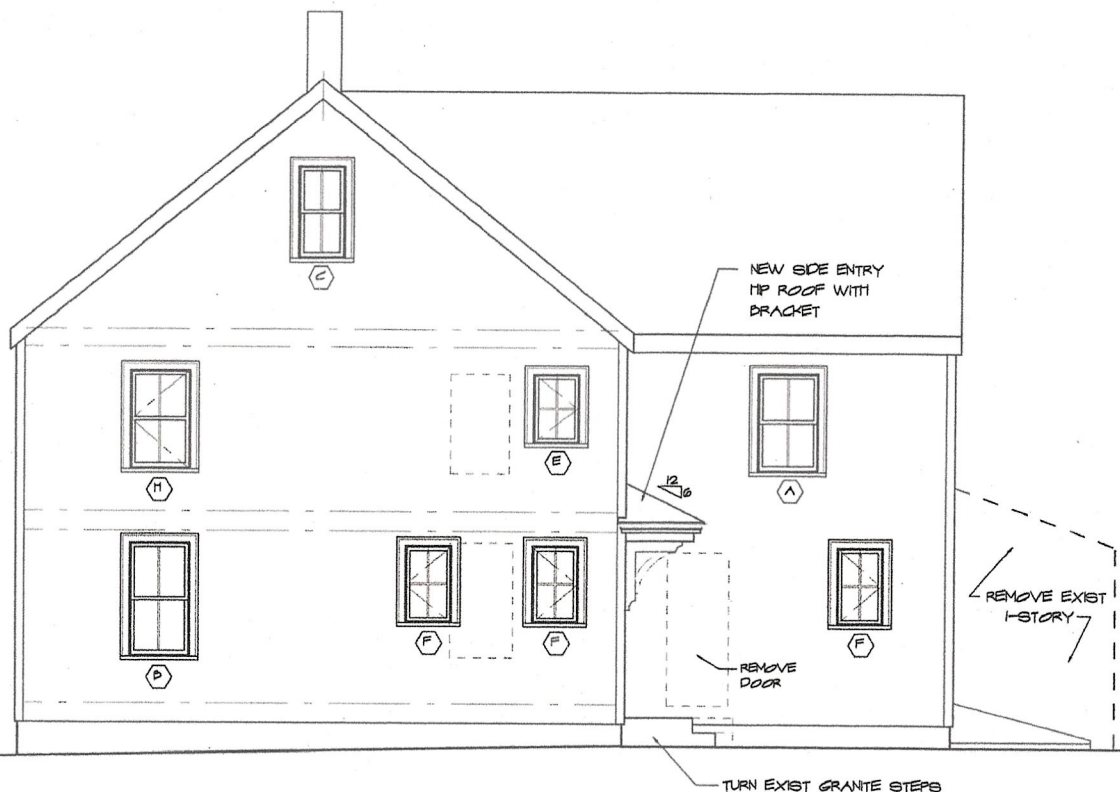


FRONT ENTRY EXISTING DETAILS

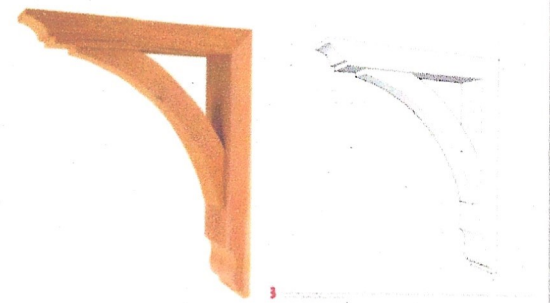


SCHEMATIC DESIGN RENOVATIONS, DRAFFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	881 Islington St, Suite 32 Portsmouth NH 03801 603-582-4387 archwhit@aol.com	Project: 2304 Revisions:	Date: 6/9/24
	ANNE WHITNEY ARCHITECT	2 OF 7	

3/20/25



RIGHT SIDE ELEVATION



PROWOOD MARKET #10T2T BRACKET

RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: REPLACE EXISTING ALUMINUM SIDING
WITH PREPRIMED ~~CEDAR~~ CEDAR CLAPBOARDS

LIFESPAN THIS SIDE

SCHEMATIC DESIGN	881 Islington St, Suite 32 Portsmouth NH 03801 603-582-4387 archwhit@aol.com	Project: # 2304	Date: 10/9/24
		ANNE WHITNEY ARCHITECT RENOVATIONS, DRAFDOR RESIDENCE 170 GATES STREET PORTSMOUTH, NH	Revitons: 3 OF 7



REAR ELEVATION



REAR ELEVATION



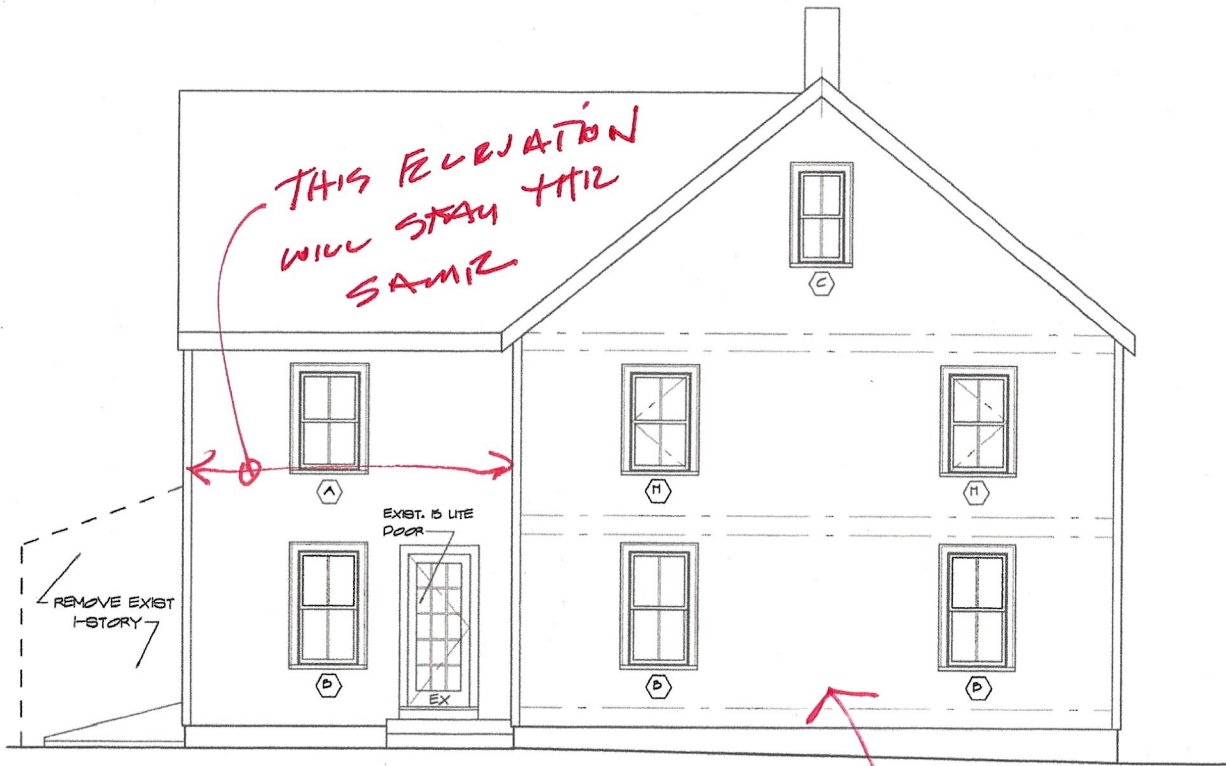
REAR ELEVATION FROM MARCY STREET

REAR ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: REPLACE EXISTING VINYL SIDING WITH
PREPRIMED ~~CEDAR~~ CLAPBOARDS

LIFESPAN THIS SIDE

/	881 Islington St, Suite 82 Portsmouth NH 03801 603-682-4587 archwhite@aol.com	/ / /	Project: # 2304	Date: 10/9/24
	SCHEMATIC DESIGN		Revisions:	4 OF 7
RENOVATIONS, DRADFORD RESIDENCE		ANNE WHITNEY ARCHITECT		
170 GATES STREET		PORTSMOUTH, NH		



LEFT SIDE ELEVATION

⊙ LEFT SIDE ELEVATION
SCALE : 3/16" = 1'-0"

NOTE : REPLACE DAMAGED SIDING TO MATCH
EXISTING CEGAR CLAPBOARD

WILL STAY CEDAR

SCHEMATIC DESIGN

RENOVATIONS, BRADFORD RESIDENCE

170 GATES STREET

881 Ellington St, Suite 32
Portsmouth NH 03801
603-582-4387
archwhit@aol.com

ANNE WHITNEY ARCHITECT

PORTSMOUTH, NH

Project: 2304

Date: 10/9/24

Revisions:

5 OF 7

11. 111 State Street

-Recommended Approval

Background: The applicant is seeking approval for revisions to a previously approved plan:

1. Shaeffe Street

- A. Vertical trim piece omitted at wall below gable valley
- B. Window at gable valley changed from 1/1 to 9/3.
- C. Replace crown moulding on rear gable & rake fascias with 1x2 trim
- D. Frieze trim omitted under gable returns.
- E. Eave at east shed dormer raised 7", wall pushed forward 4"

2. State Street

- A. Main entry door sidelites are glass instead of wood panel.
- B. Gable dormers trim is wider.
- C. East Storefronts changed from 2 pairs of 3' wide; to 1 pair of 6'-5" wide; with 16 lites instead of 32.

3. Chapel Street

- A. Side door transom is 4 lites instead of 5; with sider pilaster trim.

Staff Comment: Recommend Approval

Stipulations:

- 1. _____
- 2. _____
- 3. _____

111 STATE STREET ADDITION & RENOVATION



REVISIONS TO PREVIOUSLY APPROVED APPLICATION - Response to Planning Department As-Built Compliance Review

1. Shaefe Street
 - A. Vertical trim piece omitted at wall below gable valley
 - B. Window at gable valley changed from 1/1 to 9/3.
 - C. Replace crown moulding on rear gable & rake fascias with 1x2 trim
 - D. Frieze trim omitted under gable returns.
 - E. Eave at east shed dormer raised 7", wall pushed forward 4"
2. State Street
 - A. Main entry door sidelites are glass instead of wood panel.
 - B. Gable dormers trim is wider.
 - C. East Storefronts changed from 2 pairs of 3' wide; to 1 pair of 6'-5" wide; with 16 lites instead of 32.
3. Chapel Street
 - A. Side door transom is 4 lites instead of 5; with sider pilaster trim.

COVENTRY REALTY, LLC

**HDC- Revision 8
ADMINISTRATIVE
APPROVAL
APRIL 2025**

DRAWING LIST

H0.1 COVER
H2.1 STATE ST ELEVATION
H2.4 SHEAFE STREET ELEVATION
H2.5 CHAPEL ST ELEVATION

H0.1

**COVER
111 STATE STREET**

SCALE:
03/21/2025



COPYRIGHT © 2022



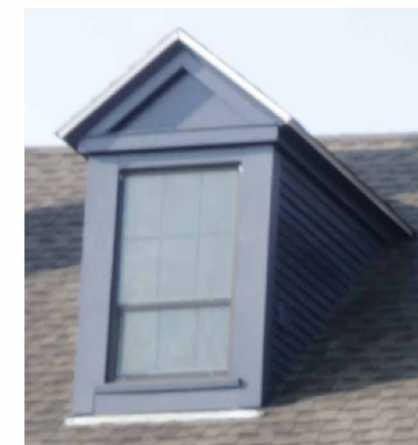
AS-BUILT

(CHANGED SIDELITES FROM WOOD PANEL TO GLASS)

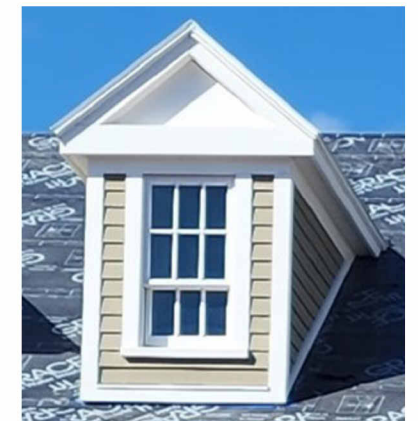
1-PAIR OF 6'-6" WIDE SLIDERS WITH 16 LITES, INSTEAD OF 2 PAIRS OF 3' WIDE SLIDERS WITH 32 LITES.



AS-BUILT



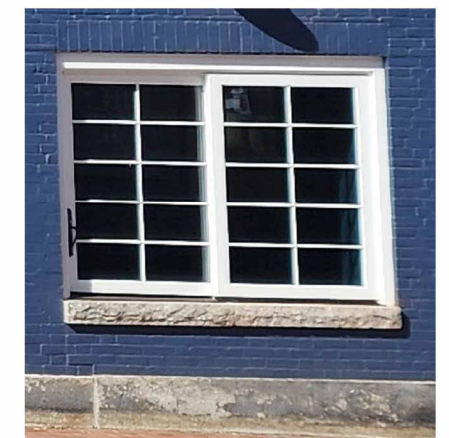
ORIGINAL EXISTING



AS-BUILT



AS-BUILT



AS-BUILT



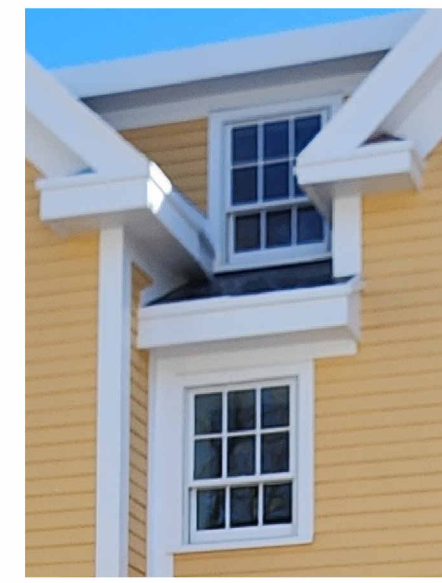
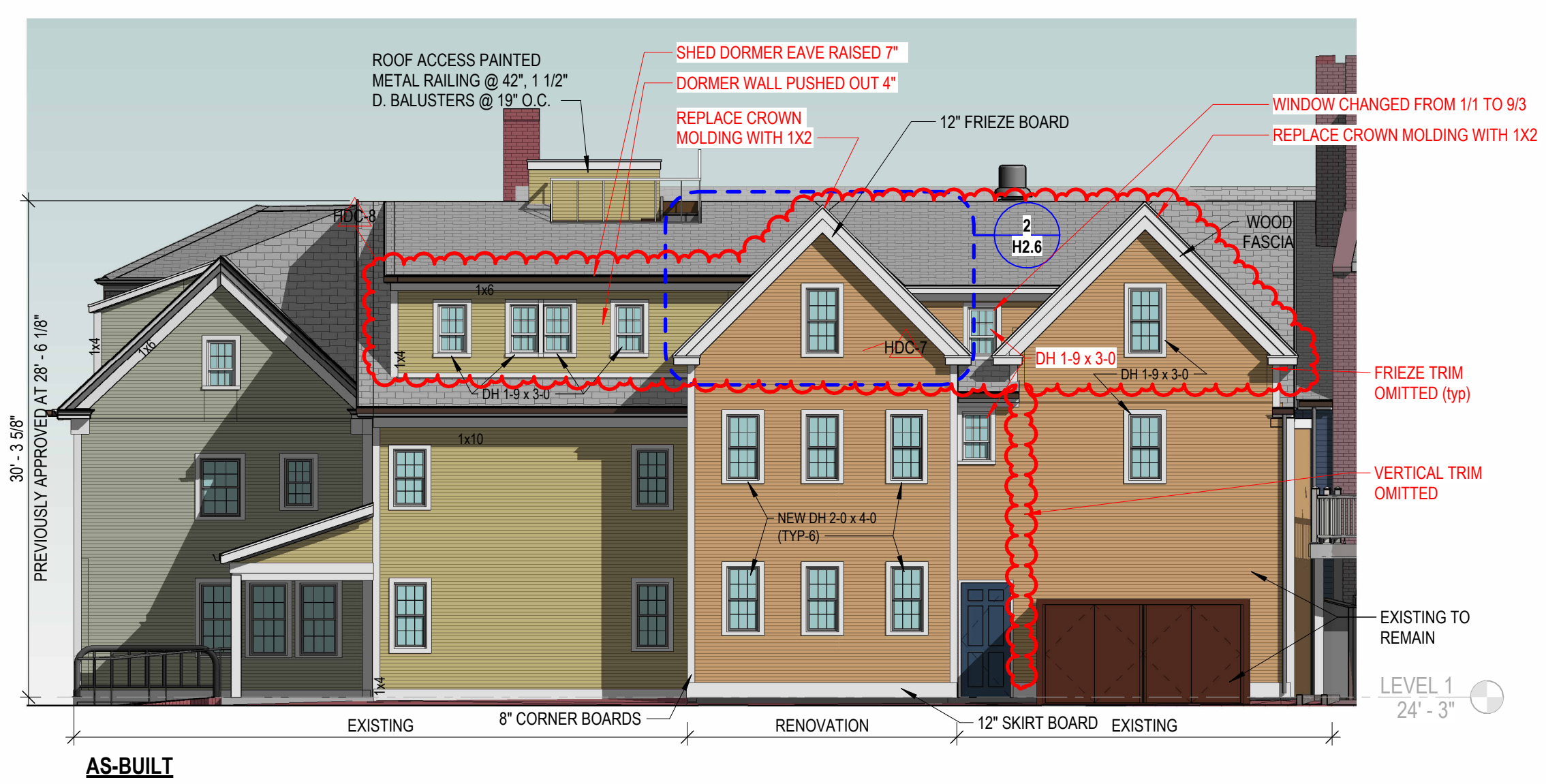
PREVIOUSLY APPROVED

**H2.1 STATE STREET ELEVATION
111 STATE STREET**

SCALE: 1/8" = 1'-0"
03/21/2025



COPYRIGHT © 2022



GABLE VALLEY DETAIL
AS-BUILT

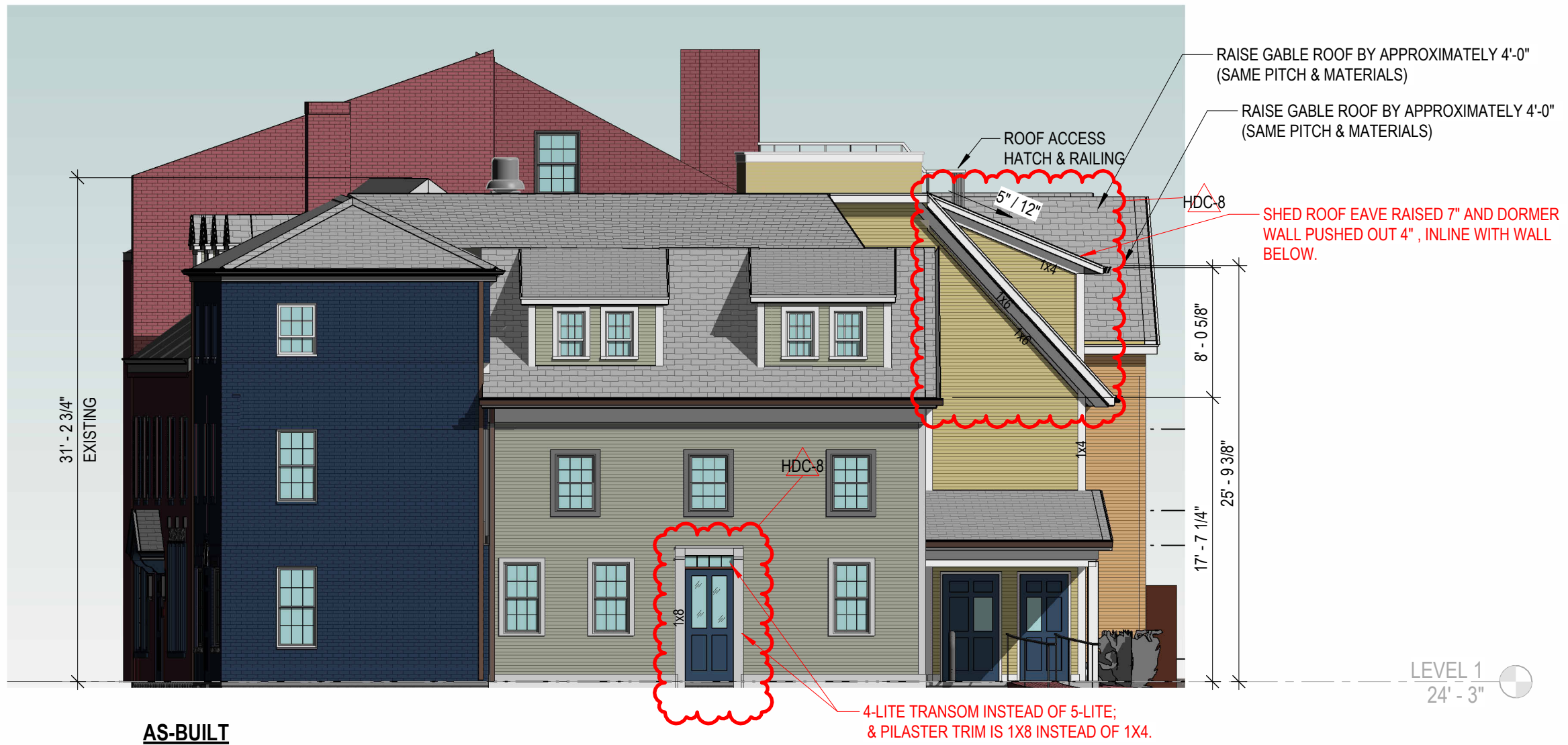


AS-BUILT

**H2.4 SHEAFE STREET ELEVATION
111 STATE STREET**

SCALE: 1/8" = 1'-0"
03/21/25





AS-BUILT



PREVIOUSLY APPROVED



AS-BUILT

12. 258 Maplewood Avenue

-Recommended Approval

Background: The applicant is seeking approval for

PHASE 1

- Build rear pier bump outs at back porch as previously approved.
- Rebuild existing rear stairs and guardrails to code, extend further out by 8".
- Extend existing rear porch roof eave 8" to align with piers, for duration of Phase 1 (will be removed in Phase 3).
- Relocate new heat pumps at north (side) yard, instead of rear yard.
- Install new picket fencing to conceal heat pumps.
- Replace all existing windows with Andersen Woodright replacement windows, to match existing

PHASE 2

- Rebuild the two front chimneys as previously approved.
- Reconstruct bishop caps with parging on thin brick on wood substructure, instead of full dimensional bricks as previously approved.

PHASE 3

- Remove two rear gables and northwest rear chimney as previously approved.
- Add rear shed dormer as previously approved.
- Use Andersen Woodright windows & door, instead of Marvin as previously approved.
- Add roof deck with guard rail at northwest corner as previously approved.
- Infill the previously approved southeast attic level porch and omit roof deck railing.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

DRAWING INDEX	
Sheet Number	Sheet Name

H0.0	COVER
H0.1	EXISTING CONDITIONS
H0.2	SOUTH (REAR) ELEVATION - DEMOLITION
H0.3	EAST SIDE ELEVATION - DEMOLITION
H0.4	WEST SIDE ELEVATION - DEMOLITION
H1.1	FLOOR PLANS - PROPOSED
H1.2	ROOF PLAN - PROPOSED
H2.1	SOUTH (REAR) ELEVATION - PROPOSED
H2.2	EAST SIDE ELEVATION, PROPOSED
H2.3	WEST SIDE ELEVATION, PROPOSED
H3.3	3D VIEWS
H3.4	3D VIEWS
H3.5	3D VIEWS
H4.1	MATERIAL
H4.2	MATERIAL
H4.3	MATERIAL
H4.4	MATERIAL



258 MAPLEWOOD AVENUE

RENOVATION+RESTORATION

HDC ADMINISTRATIVE APPROVAL - Revisions to Previously Approved Application.

CONSTRUCT PREVIOUSLY APPROVED DESIGN IN 3 PHASES.

REVISIONS TO PREVIOUSLY APPROVED DESIGN AS UNDERLINED BELOW:

PHASE 1

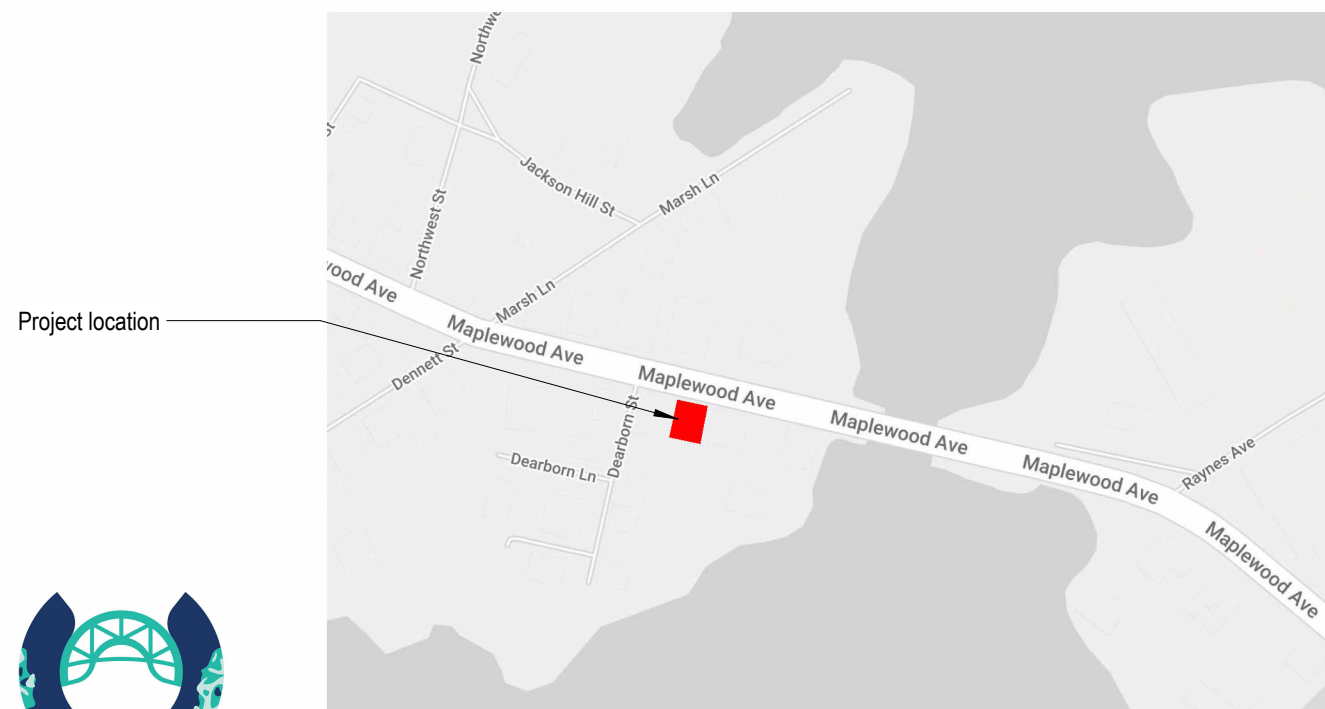
- Build rear pier bumpouts at back porch as previously approved.
- Rebuild existing rear stair and guardrails to code, extend further out by 8".
- Extend existing rear porch roof eave 8" t o align with piers, for duration of Phase 1 (will be removed in Phase 3).
- Relocate new heat pumps at north (side) yard, instead of rear yard.
- Install new picket fencing to conceal heat pumps.
- Replace all existing windows with Andersen Woodright replacement windows, to match existing

PHASE 2

- Rebuild the two front chimneys as previously approved.
- Reconstruct bishop caps with parging on thin brick on wood substructure, instead of full dimensional bricks as previously approved.

PHASE 3

- Remove two rear gables and northwest rear chimney as previously approved.
- Add rear shed dormer as previously approved.
- Use Andersen Woodright windows & door, instead of Marvin as previously approved.
- Add roof deck with guard rail at northwest corner as previously approved.
- Infill the previously approved southeast attic level porch and omit roof deck railing.

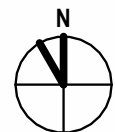
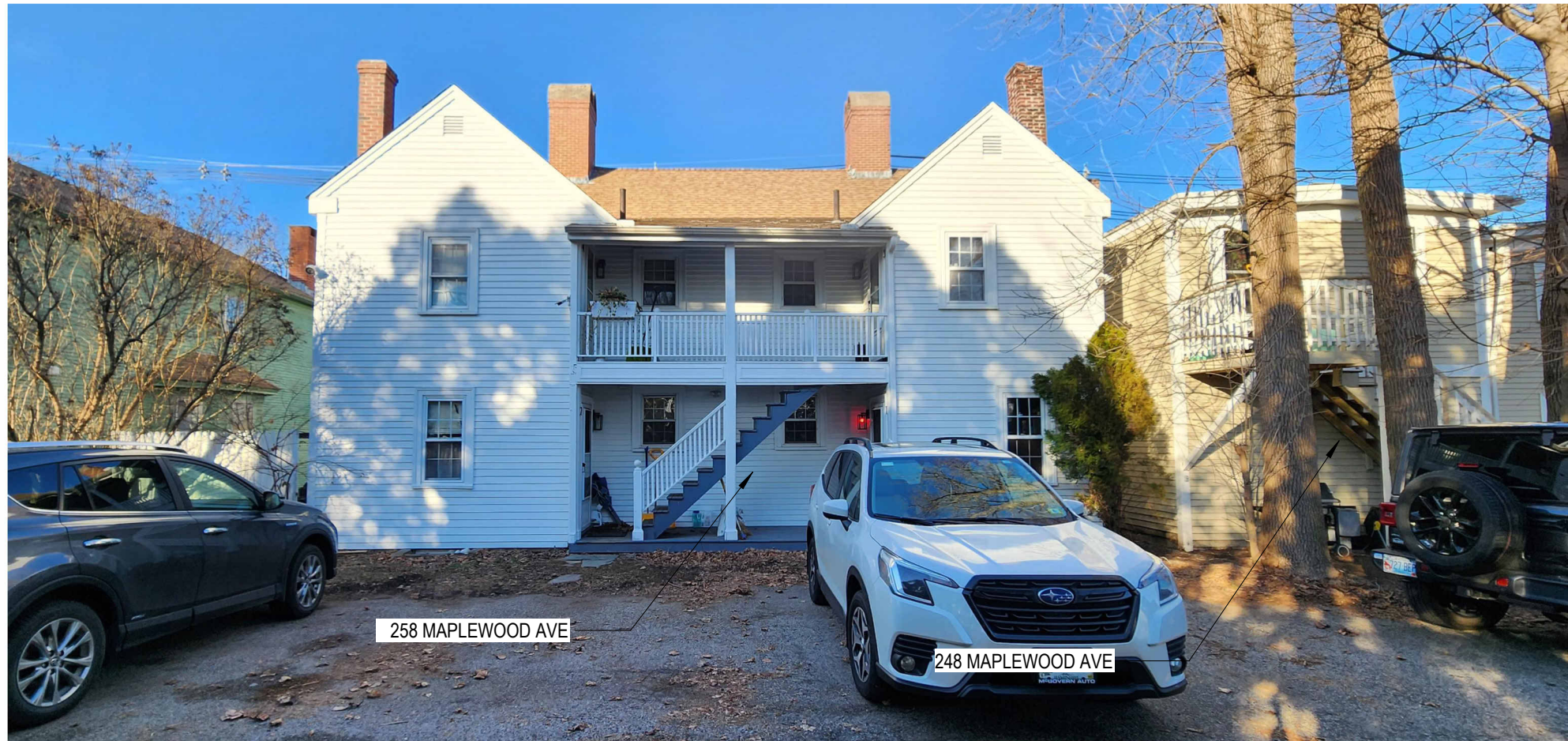


COVER

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H0.0

03/21/2025
PROJECT NO:1036

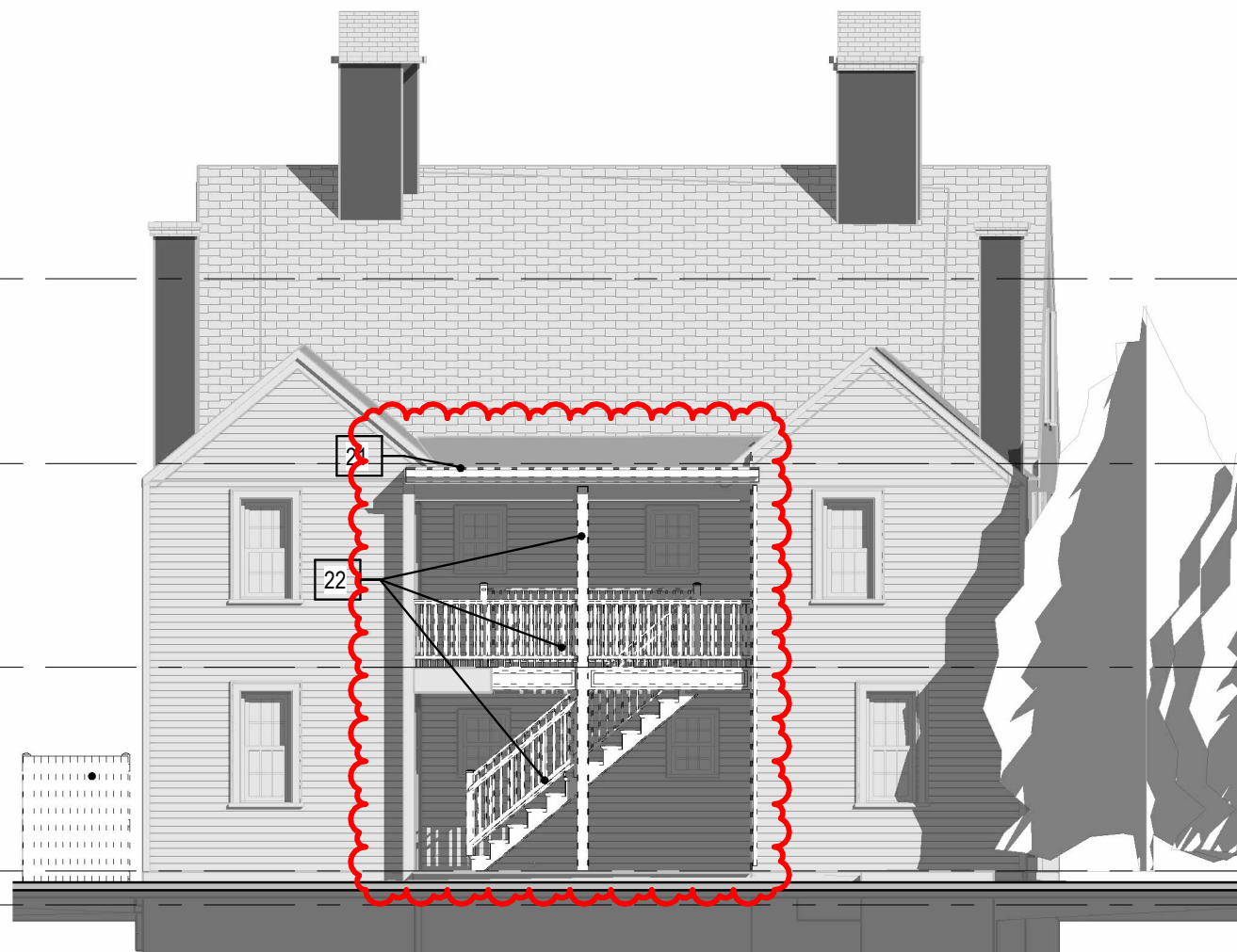


EXISTING CONDITIONS

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

KEY NOTES	
NOTES	

1	Remove area of roof, reference structural drawings.
2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
4	Remove chimney above roof and within attic. Cap solid with 2 hour fire stop under level of attic floor. Salvage bricks for reuse in reconstructed chimneys.
21	Extend existing roof.
22	Remove existing middle cloumn, trim, railing and stair. Replace with new trim, stair and railing.



1 SOUTH ELEVATION-DEMO - PHASE 1
1/8" = 1'-0"

2 SOUTH ELEVATION-DEMO - PHASE 2 & 3
1/8" = 1'-0"



SOUTH (REAR) ELEVATION - DEMOLITION

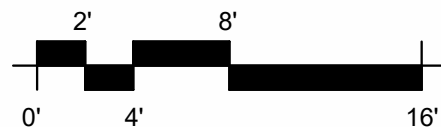
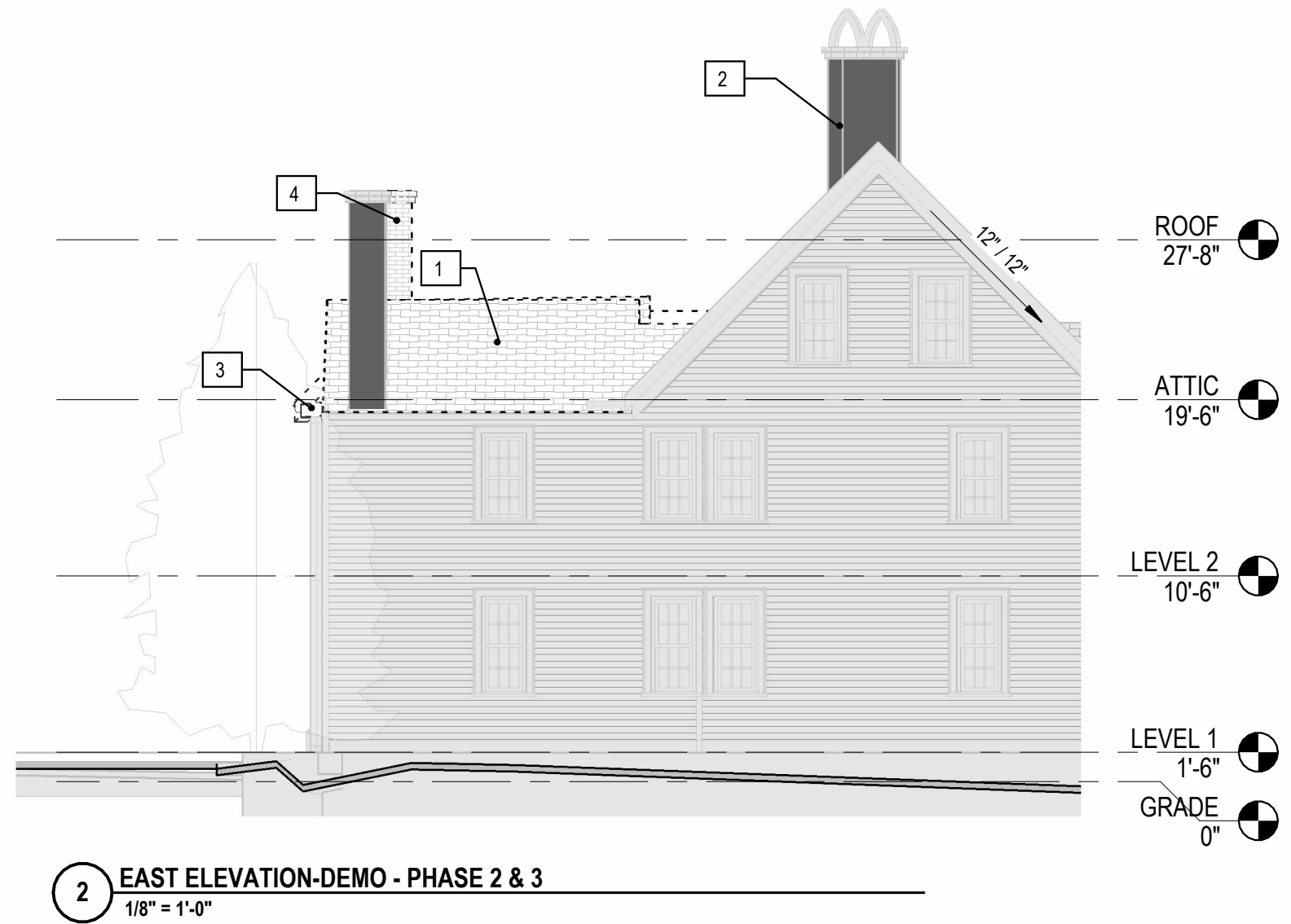
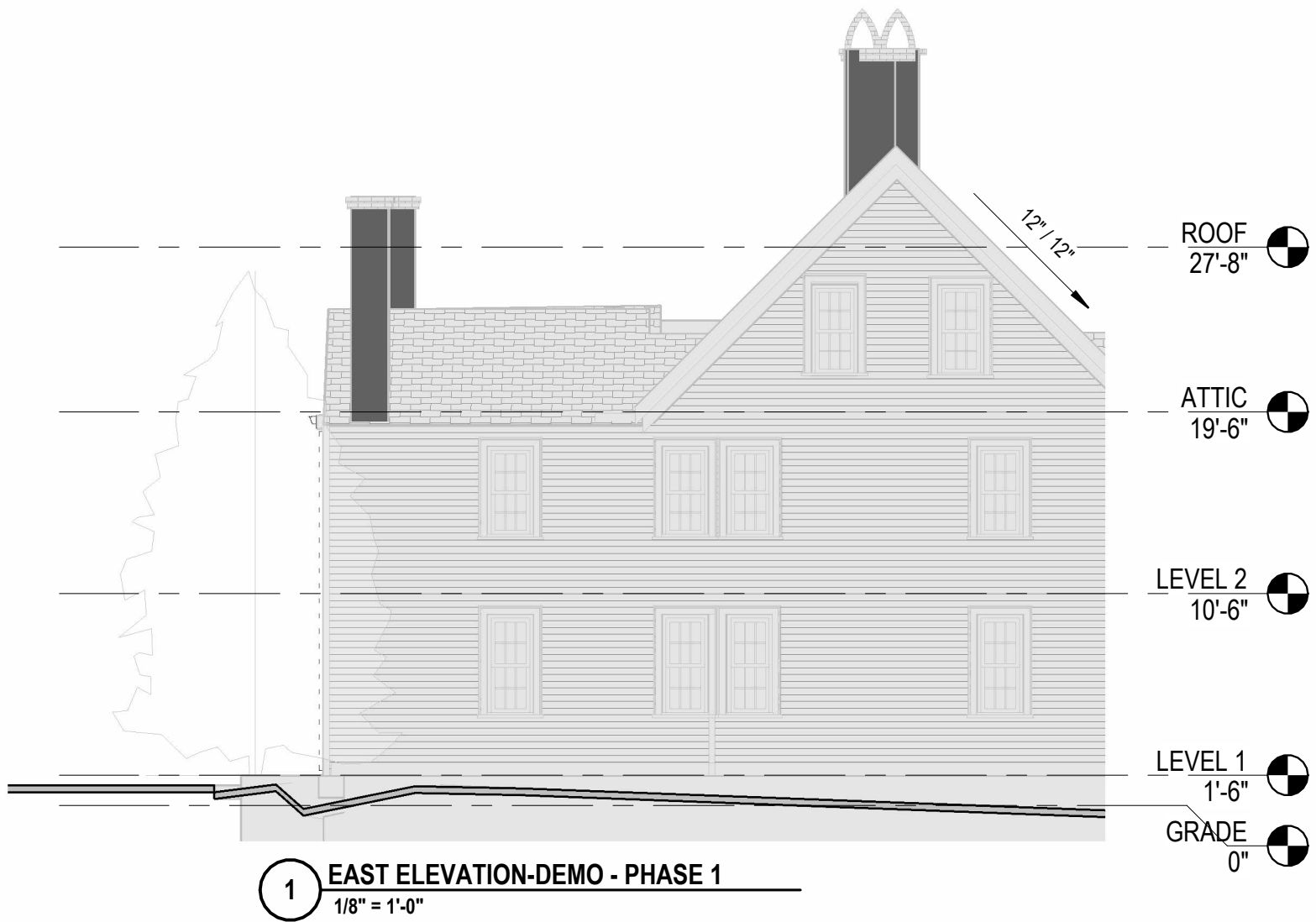
258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H0.2

03/21/2025
PROJECT NO:1036

KEY NOTES	
NOTES	

1	Remove area of roof, reference structural drawings.
2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
3	Remove gable end wall at attic level, at rear ell.
4	Remove chimney above roof and within attic. Cap solid with 2 hour fire stop under level of attic floor. Salvage bricks for reuse in reconstructed chimneys.

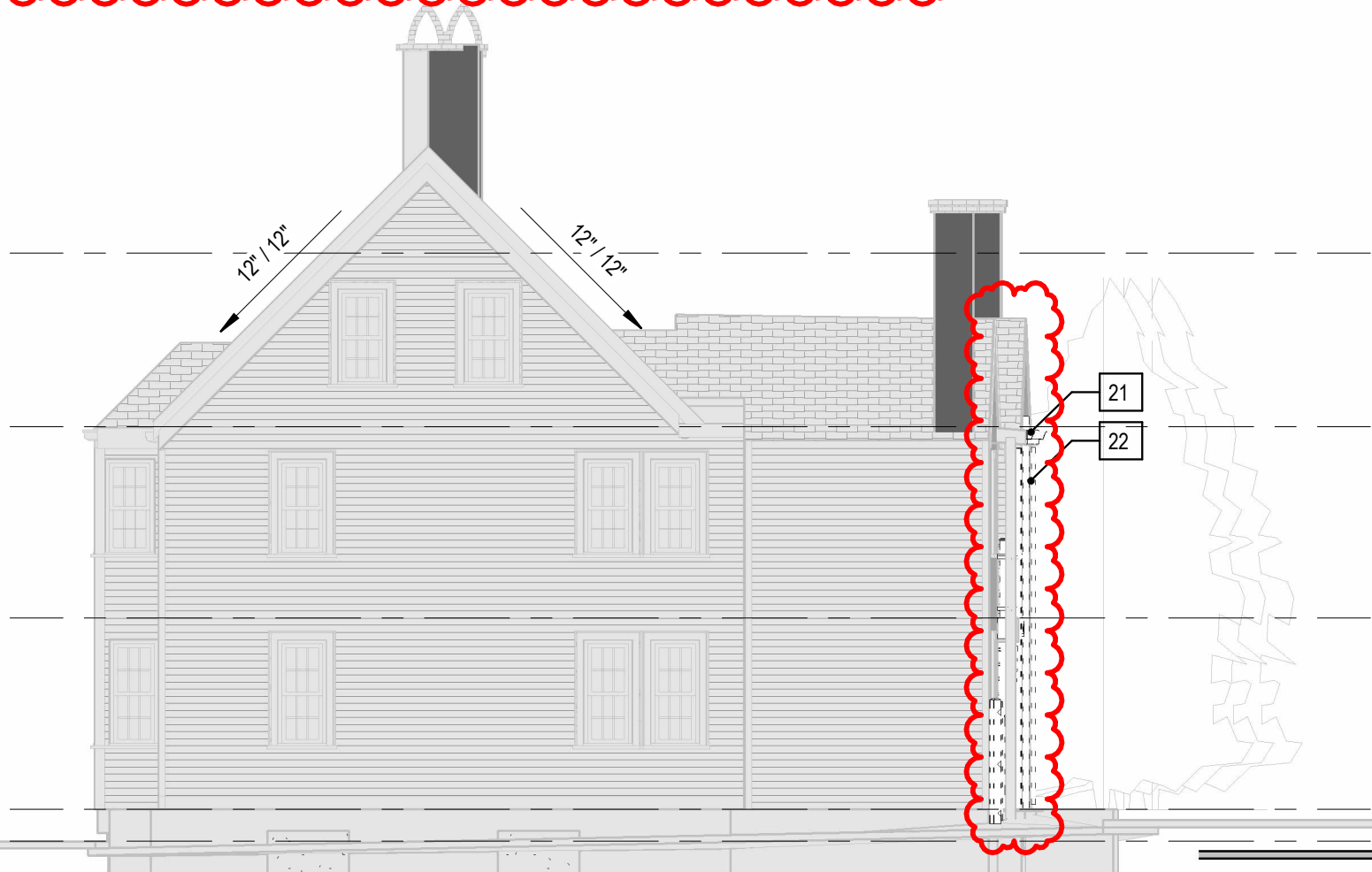


EAST SIDE ELEVATION - DEMOLITION

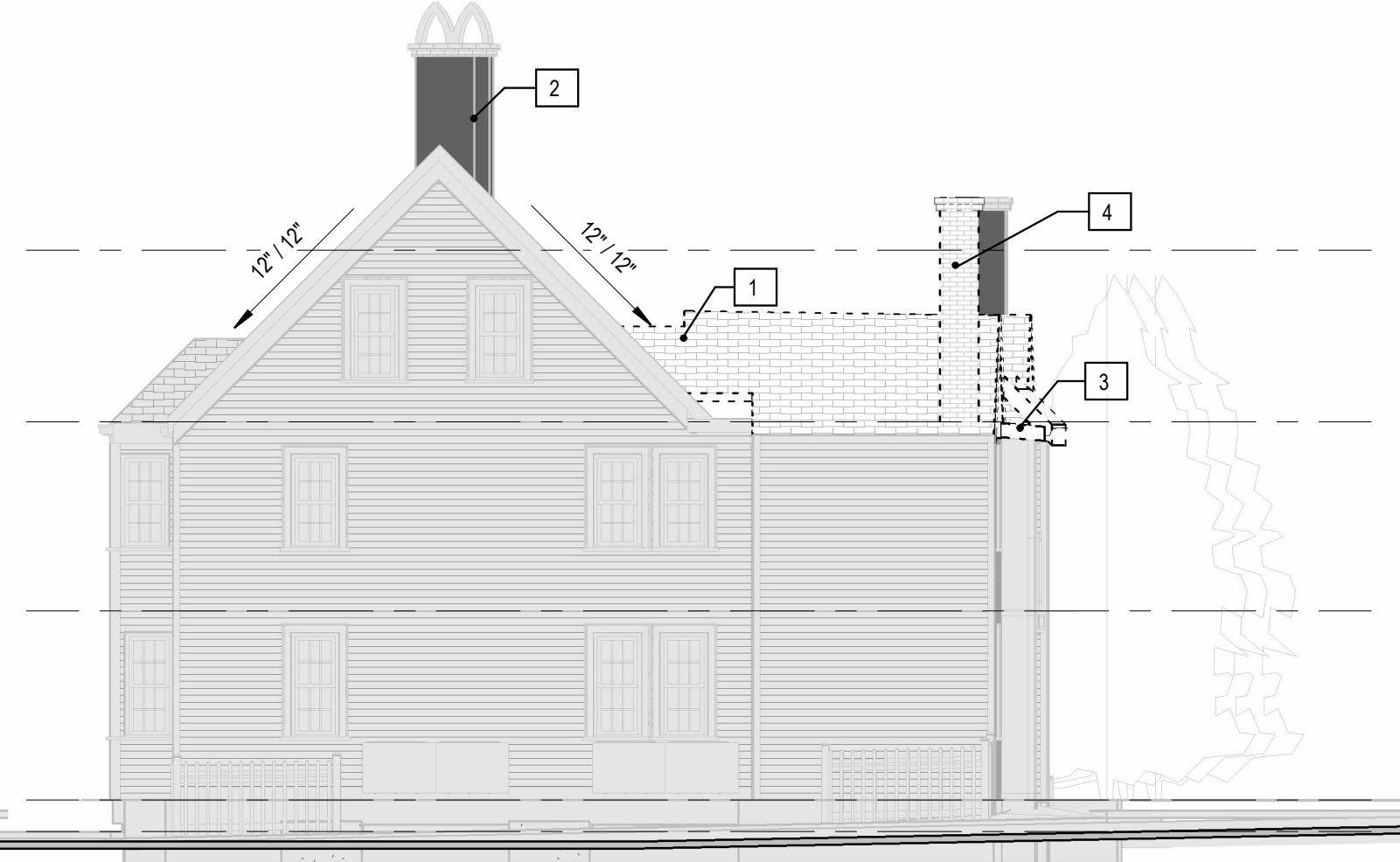
258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

KEY NOTES	
NOTES	

1	Remove area of roof, reference structural drawings.
2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
3	Remove gable end wall at attic level, at rear ell.
4	Remove chimney above roof and within attic. Cap solid with 2 hour fire stop under level of attic floor. Salvage bricks for reuse in reconstructed chimneys.
21	Extend existing roof.
22	Remove existing middle column, trim, railing and stair. Replace with new trim, stair and railing.



1 WEST ELEVATION-DEMO- PHASE 1
1/8" = 1'-0"



2 WEST ELEVATION-DEMO- PHASE 2 & 3
1/8" = 1'-0"



WEST SIDE ELEVATION - DEMOLITION

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

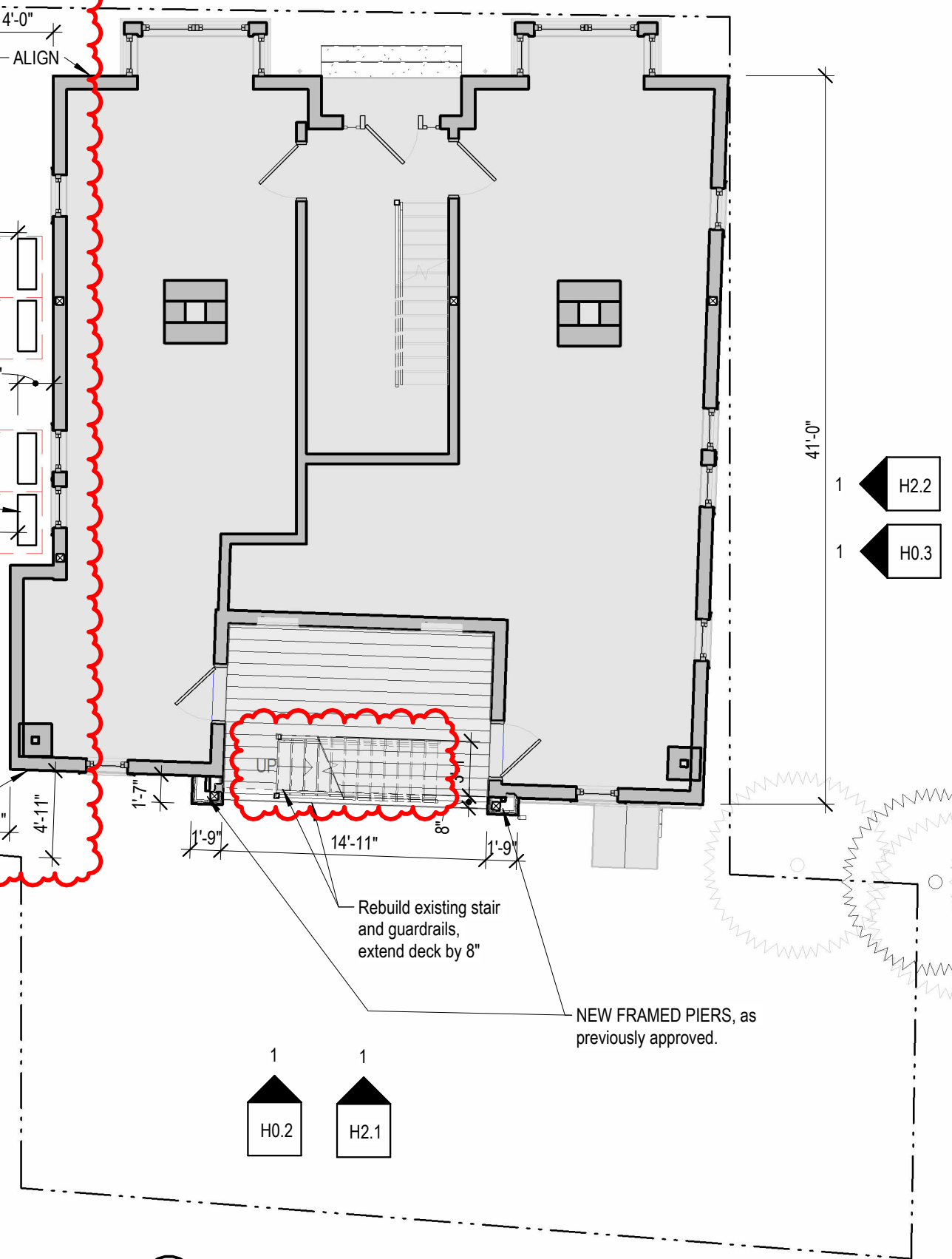
H0.4

03/21/2025
PROJECT NO:1036

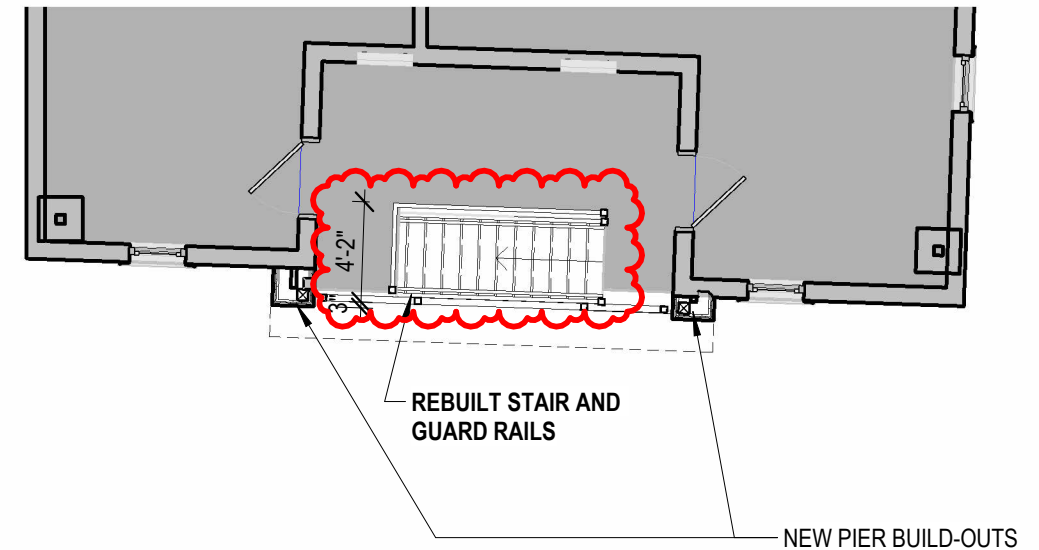
PROPERTY LINE

NEW HEAT PUMP CONDENSERS (4), GROUND MOUNTED.

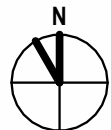
NEW PICKET FENCE, 3' HIGH, PAINTED WOOD



1 FIRST FLOOR PLAN
1/8" = 1'-0"



2 SECOND FLOOR PLAN
1/8" = 1'-0"



FLOOR PLANS - PROPOSED

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H1.1

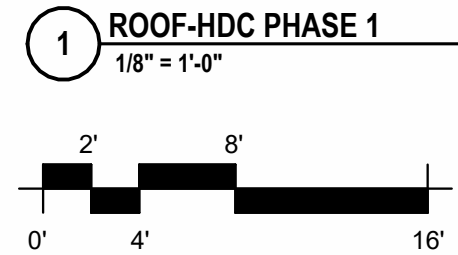
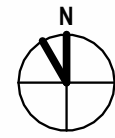
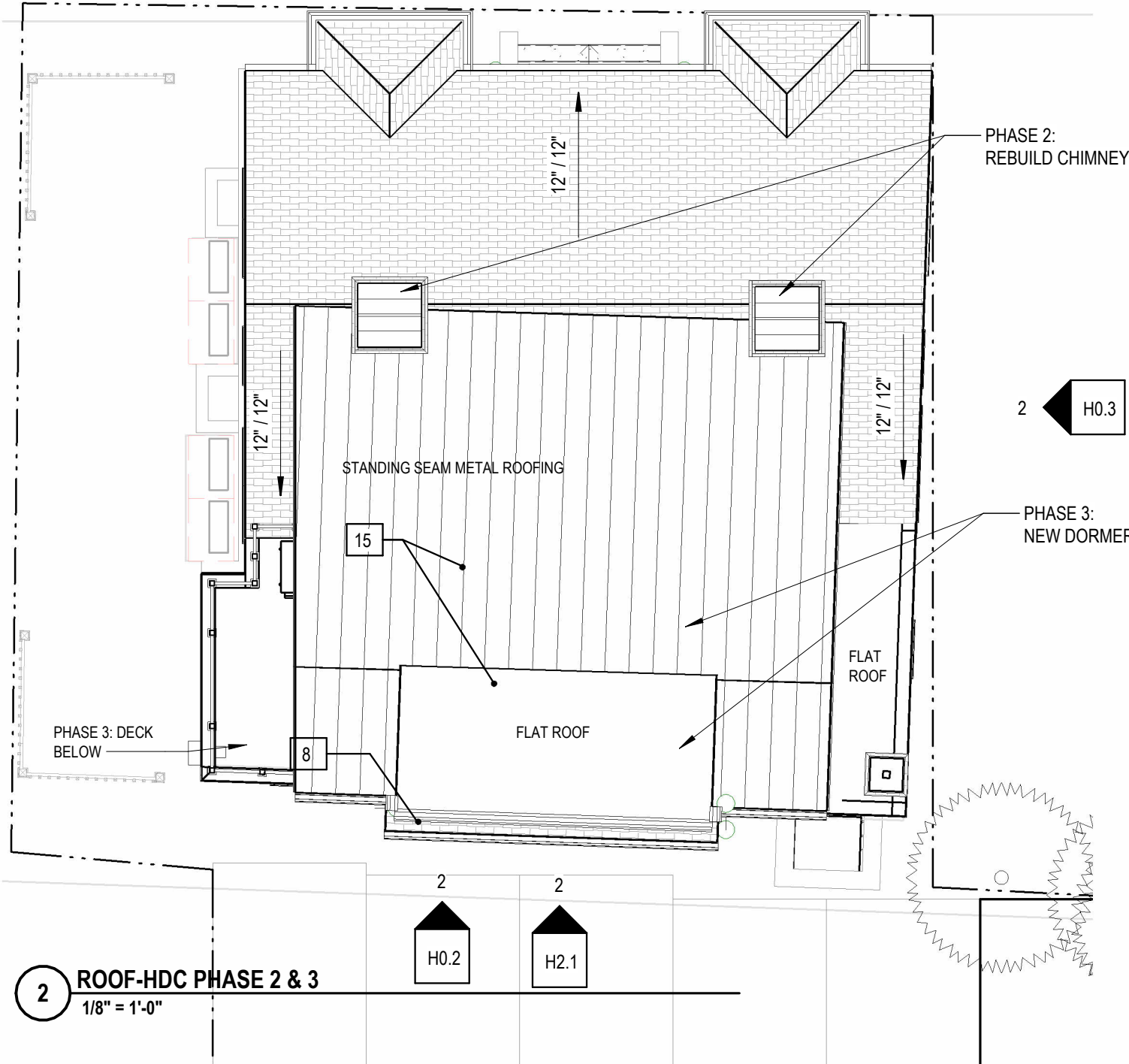
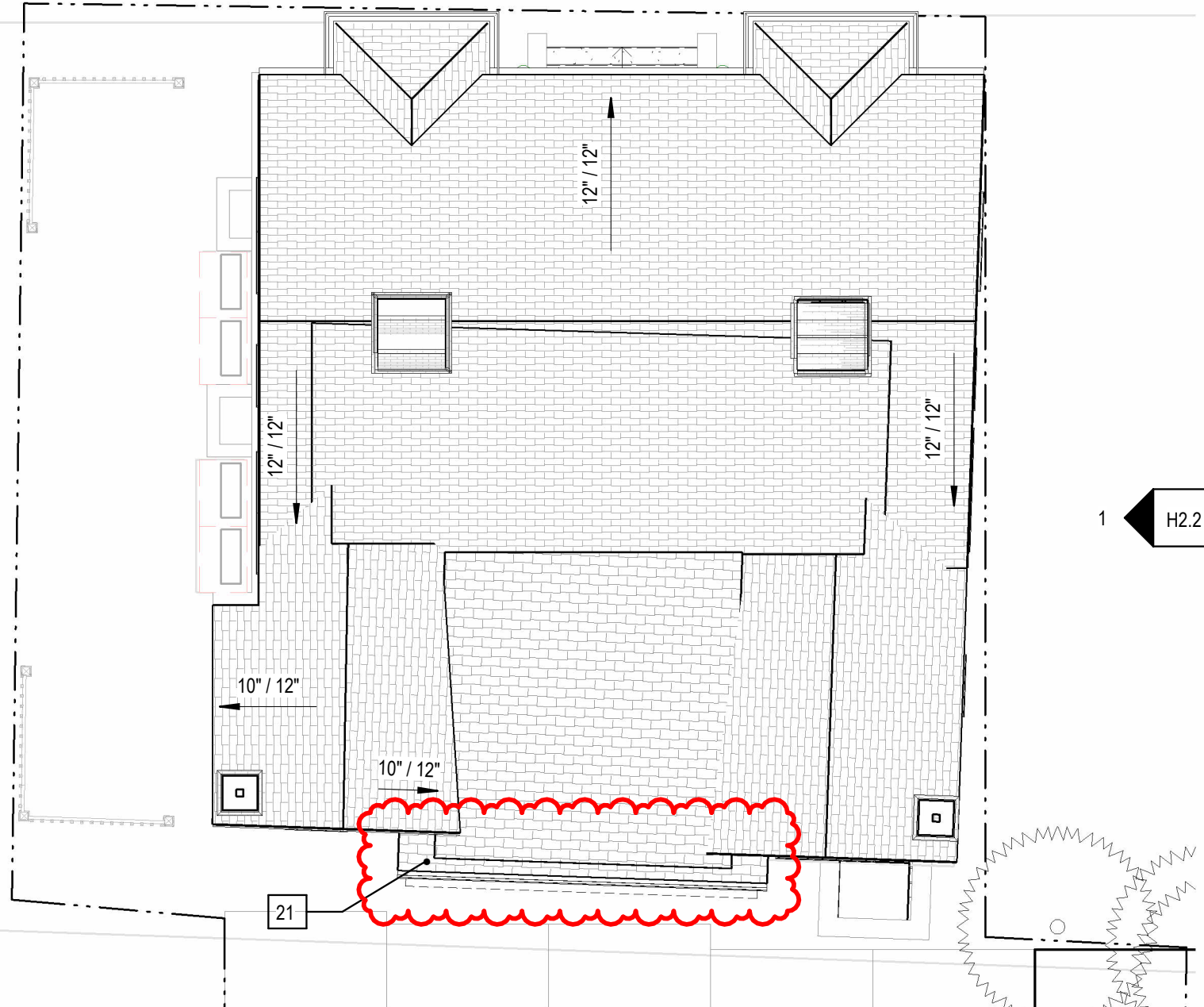
03/21/2025
PROJECT NO:1036

KEY NOTES	
NOTES	

8	Gutter and downspouts, aluminium K style.
15	New roof.
21	Extend existing roof.

MAPLEWOOD AVE.

MAPLEWOOD AVE.



ROOF PLAN - PROPOSED

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H1.2

03/21/2025
PROJECT NO:1036

KEY NOTES	
NOTES	

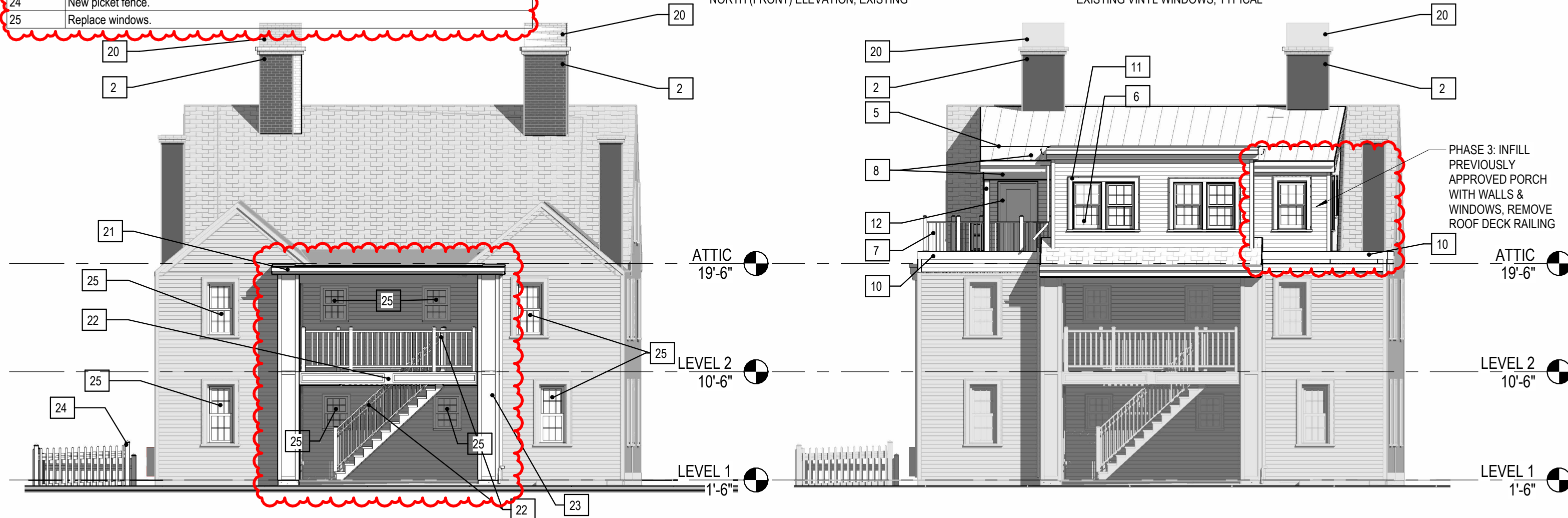
2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
5	New shed dormer.
6	New windows, aluminum clad wood.
7	Aluminum guardrail (black).
8	Gutter and downspouts, aluminium K style.
10	Composite trim (AZEK or equiv.) to match existing profiles.
11	Composite 4 inch casing with band molding, 2 inch sill nosing.
12	Patio doors, aluminum clad wood.
20	Reconstruct bishops caps out of wood framing, plywood, and parging, phase 2.
21	Extend existing roof.
22	Remove existing middle cloumn, trim, railing and stair. Replace with new trim, stair and railing.
23	New pier with fiber cement panel siding.
24	New picket fence.
25	Replace windows.



NORTH (FRONT) ELEVATION, EXISTING



EXISTING VINYL WINDOWS, TYPICAL



PHASE 3: INFILL PREVIOUSLY APPROVED PORCH WITH WALLS & WINDOWS, REMOVE ROOF DECK RAILING



1 SOUTH ELEVATION-PHASE 1
1/8" = 1'-0"

2 SOUTH ELEVATION- PHASE 2 & 3
1/8" = 1'-0"

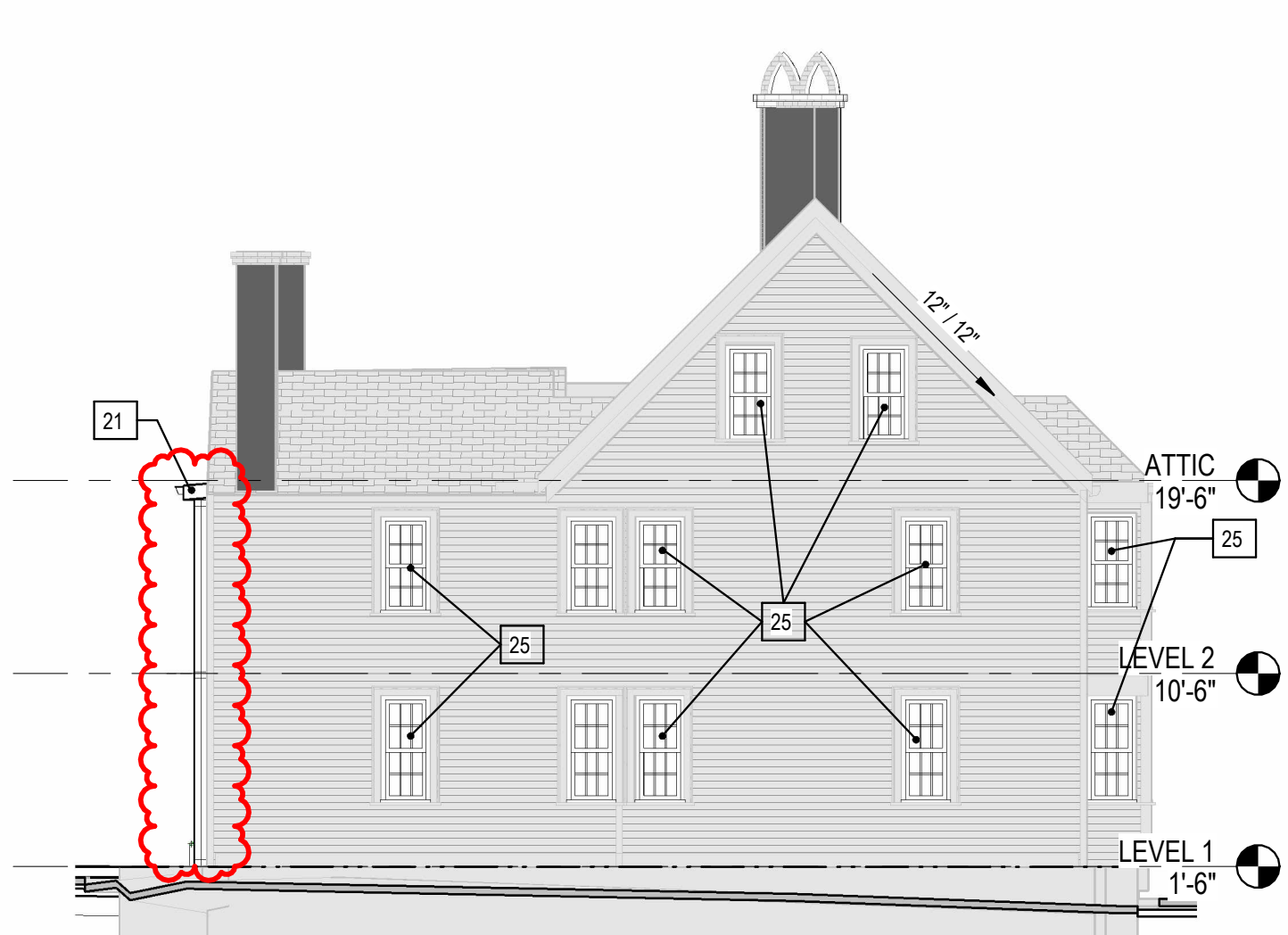


SOUTH (REAR) ELEVATION - PROPOSED

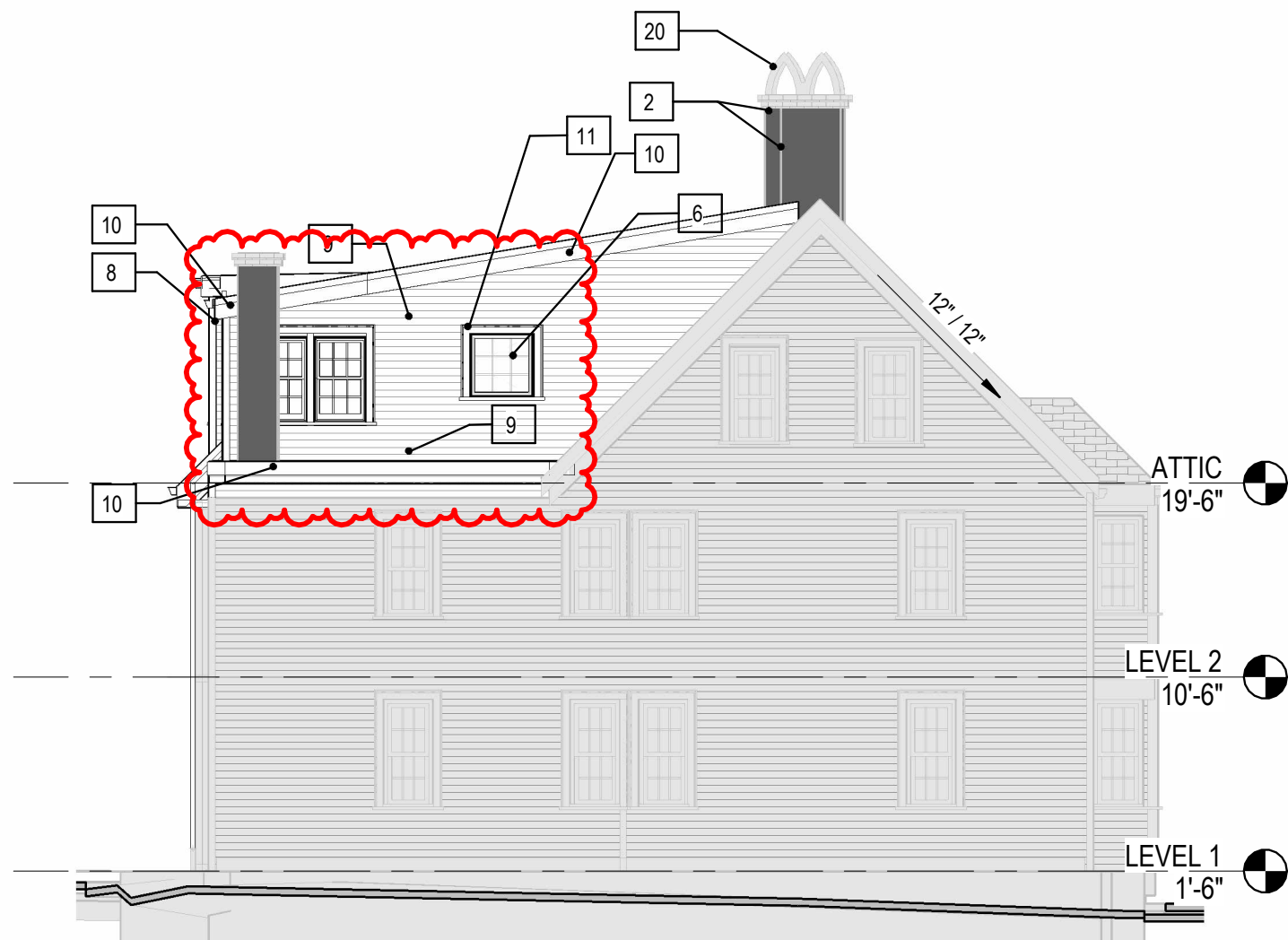
258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

KEY NOTES	
NOTES	

2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
6	New windows, aluminum clad wood.
8	Gutter and downspouts, aluminium K style.
9	Wood clapboard siding to match existing.
10	Composite trim (AZEK or equiv.) to match existing profiles.
11	Composite 4 inch casing with hand molding, 2 inch sill posing.
20	Reconstruct bishops caps out of wood framing, plywood, and parging. phase 2.
21	Extend existing roof.
25	Replace windows.



1 EAST ELEVATION- PHASE 1
1/8" = 1'-0"



2 EAST ELEVATION- PHASE 2 & 3
1/8" = 1'-0"



EAST SIDE ELEVATION, PROPOSED

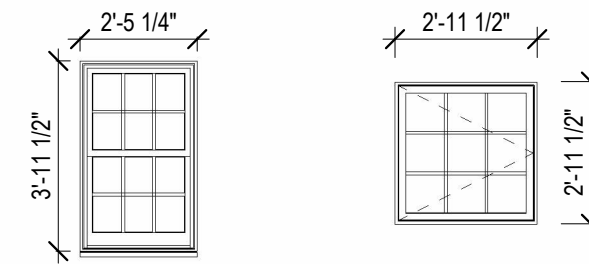
258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H2.2

03/21/2025
PROJECT NO: 1036

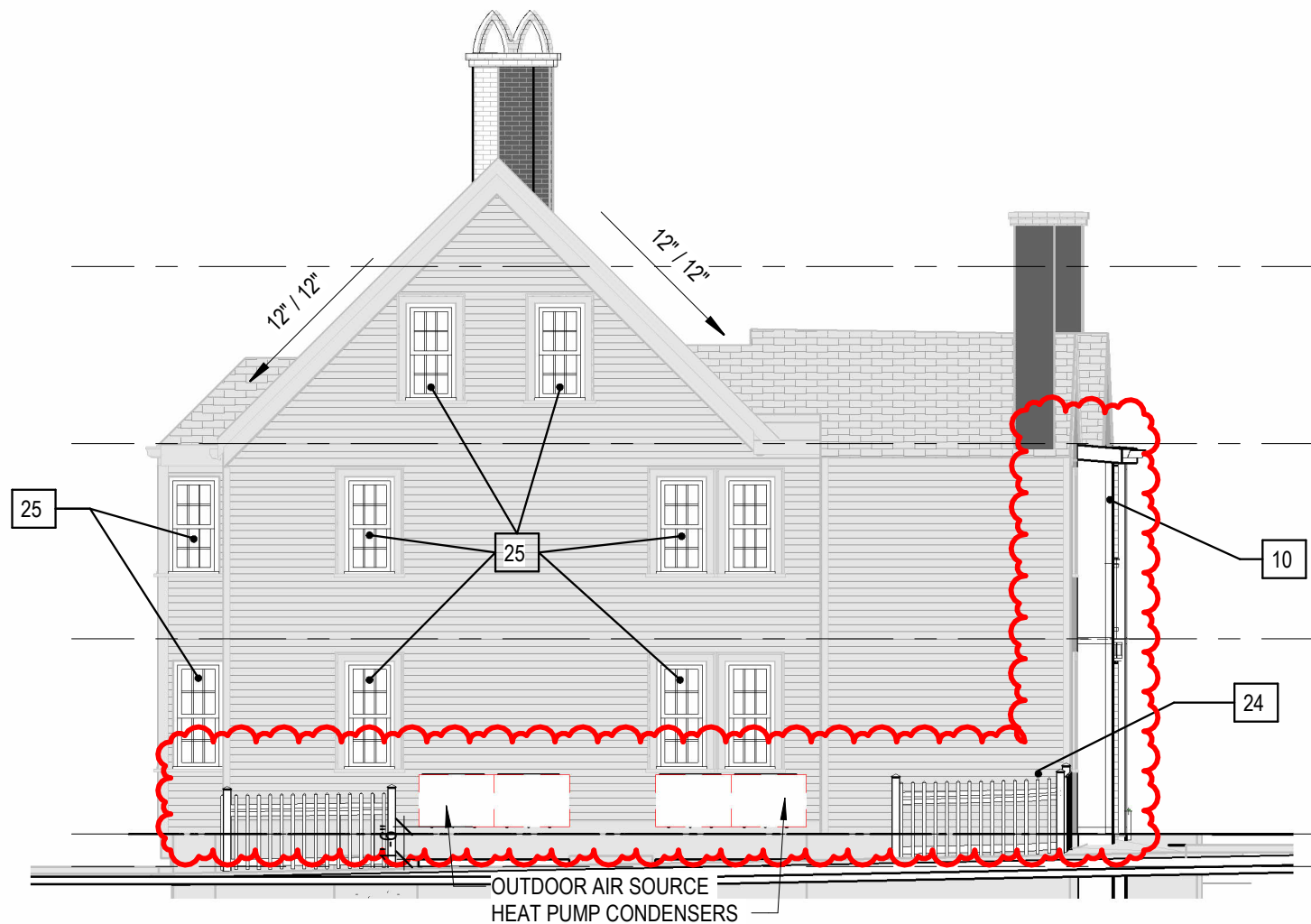
KEY NOTES	
NOTES	

2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
6	New windows, aluminum clad wood.
7	Aluminum guardrail (black).
8	Gutter and downspouts, aluminium K style.
9	Wood clapboard siding to match existing.
10	Composite trim (AZEK or equiv.) to match existing profiles.
11	Composite 4 inch casing with band molding, 2 inch sill nosing.
16	New column to match existing.
17	Composite trim and fiber cement panel soffit.
20	Reconstruct bishops caps out of wood framing, plywood, and parging, phase 2.
24	New picket fence.
25	Replace windows.

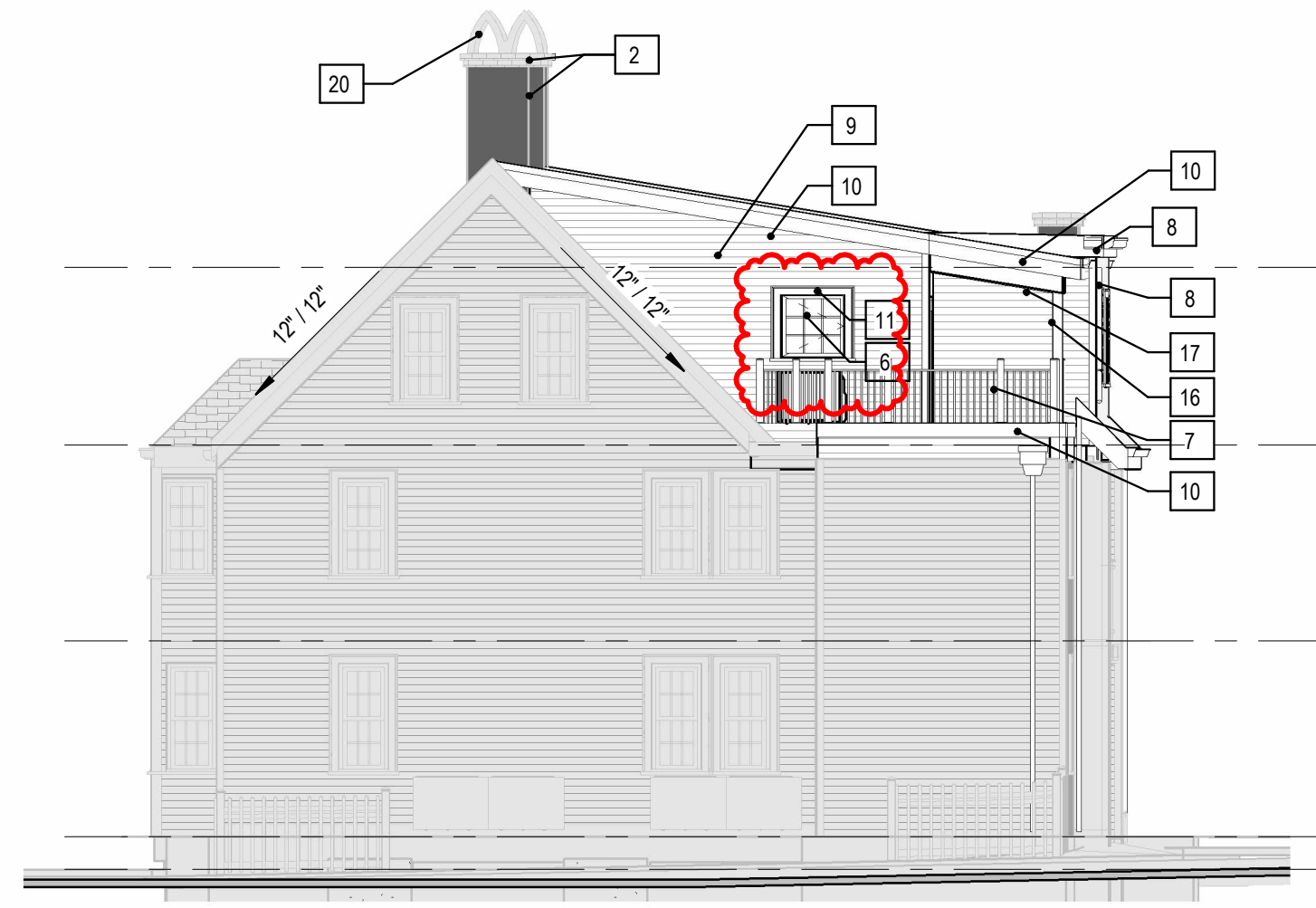


(A) DOUBLE HUNG (B) CASEMENT

3 NEW DORMER - WINDOW TYPES
1/4" = 1'-0"



1 WEST ELEVATION-HDC PHASE 1
1/8" = 1'-0"



2 WEST ELEVATION-H PHASE PHASE 2 & 3
1/8" = 1'-0"

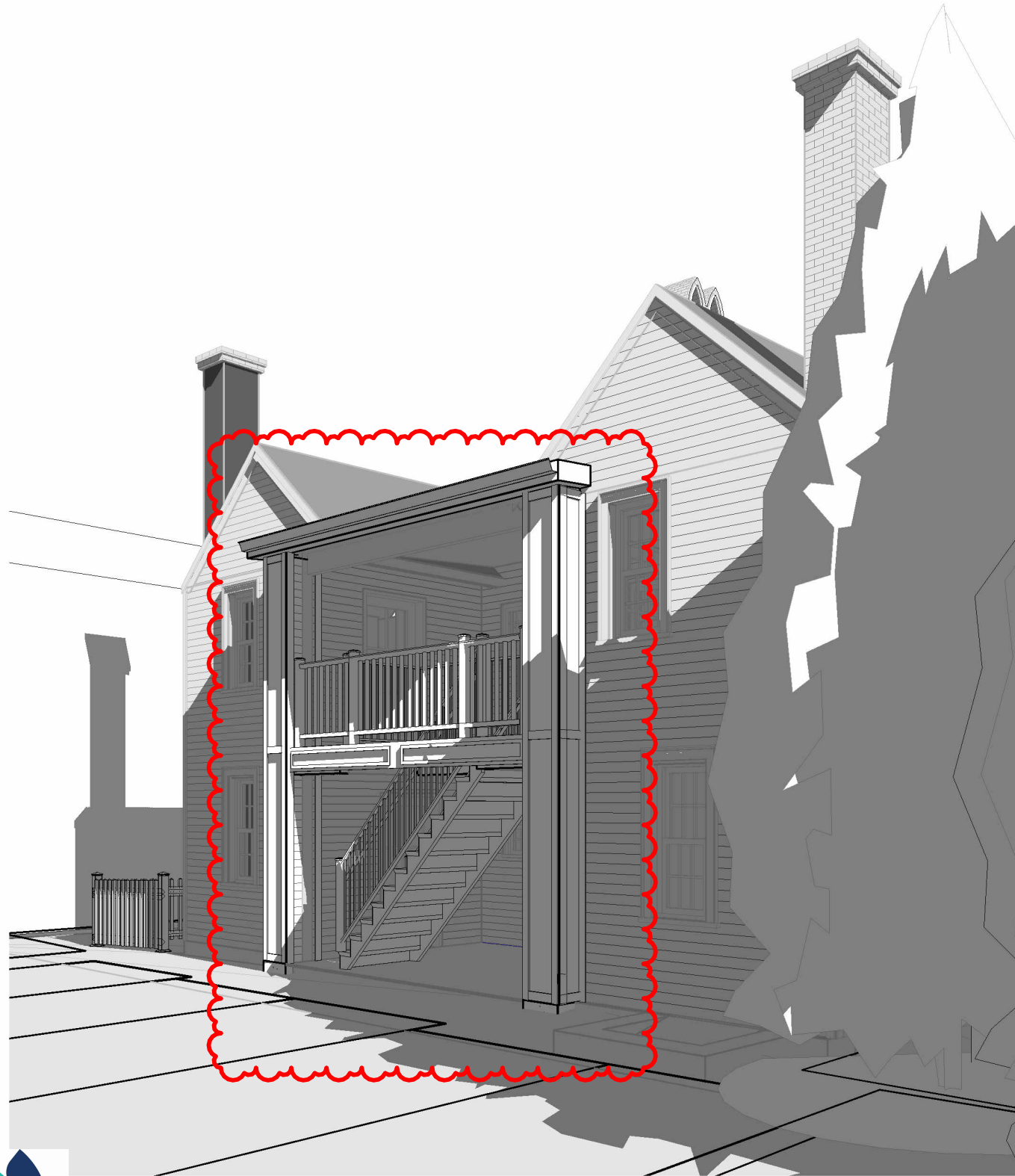


WEST SIDE ELEVATION, PROPOSED

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H2.3

03/21/2025
PROJECT NO:1036

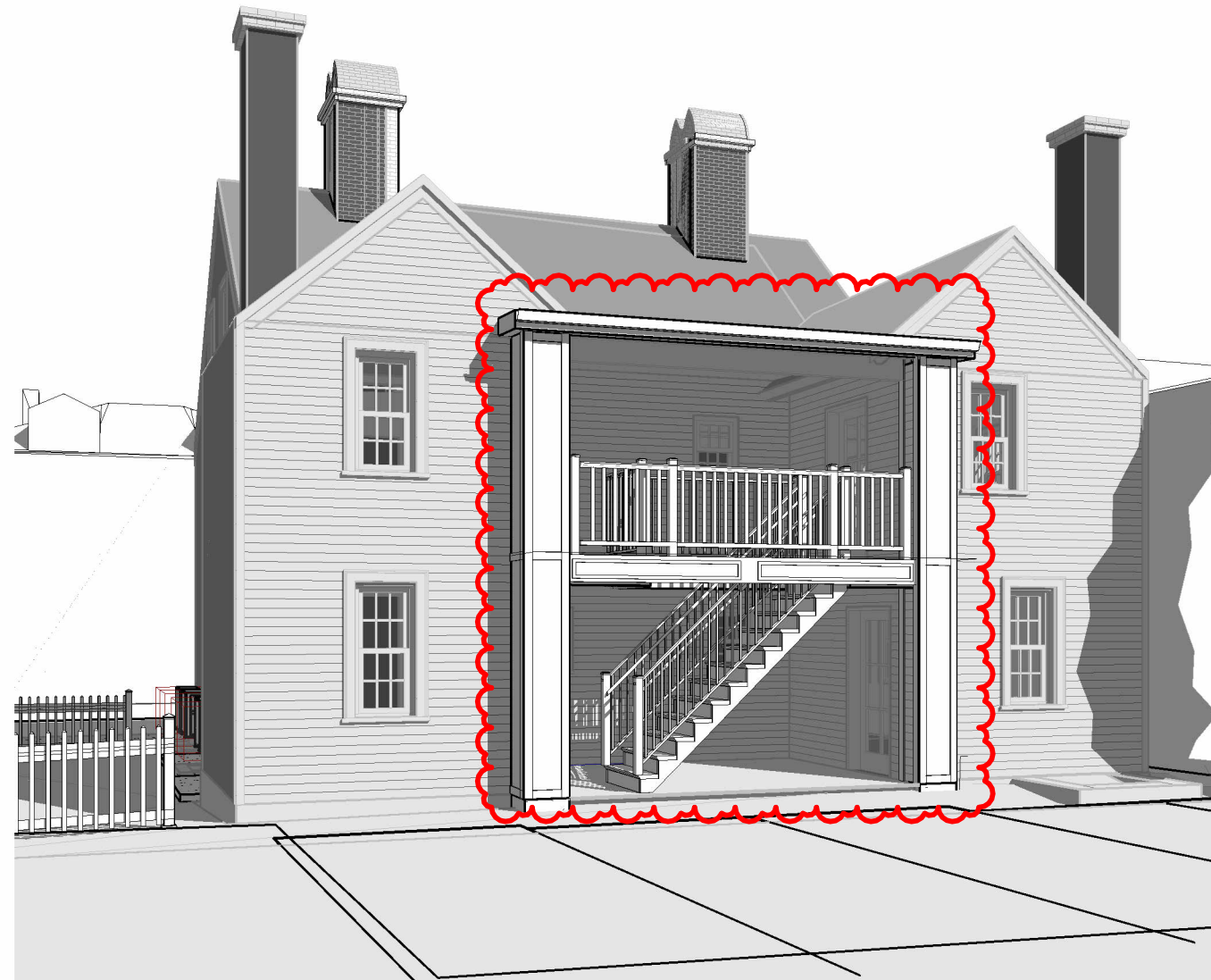


1 HDC SOUTH PHASE 1



2 HDC SOUTH PHASE 2 & 3





1 HDC SOUTH WEST PHASE 1



2 HDC SOUTH WEST PHASE 2 & 3

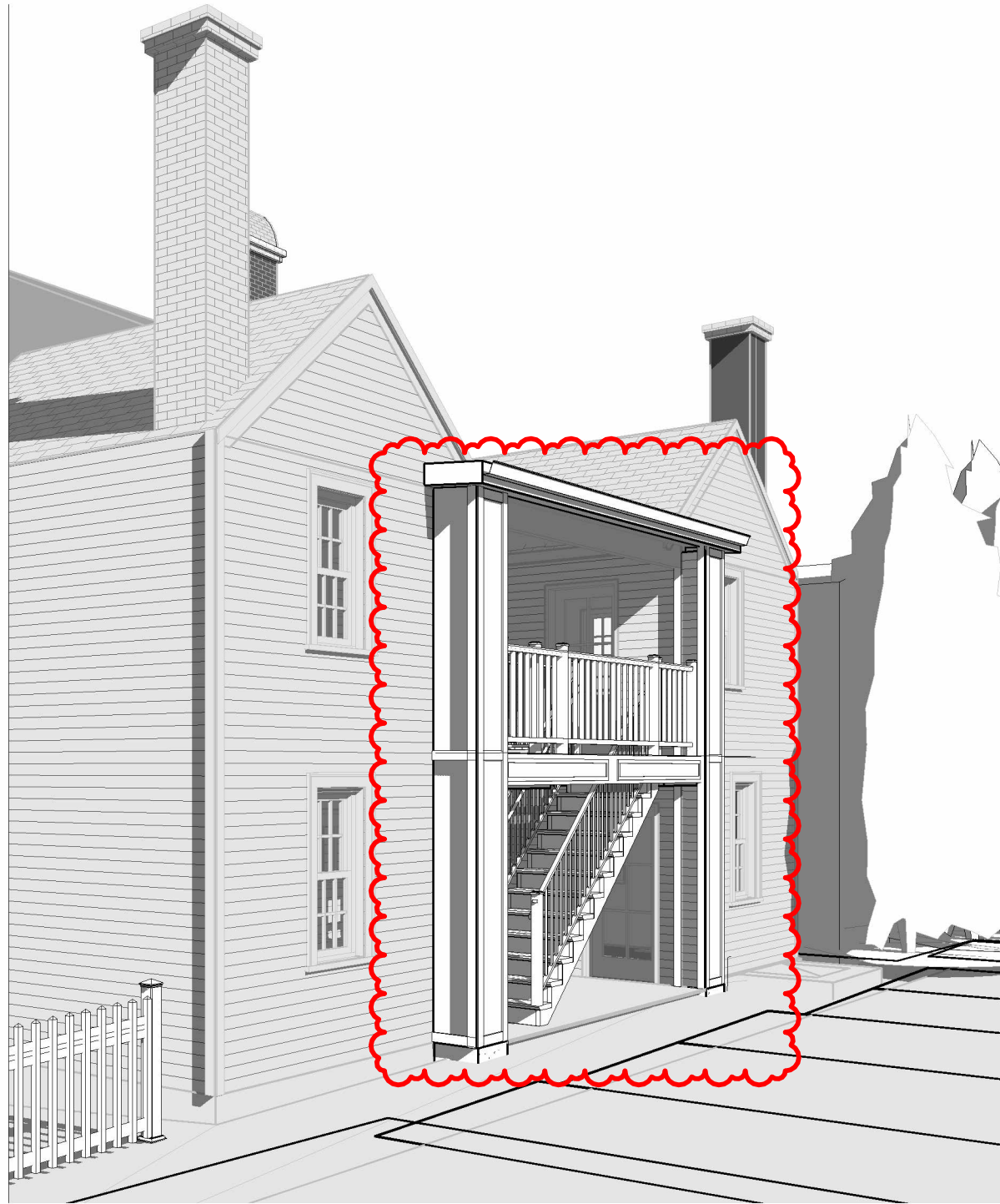


3D VIEWS

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H3.4

03/21/2025
PROJECT NO:1036



1 HDC-WEST-SOUTH PHASE 1



2 HDC-WEST-SOUTH PHASE 2 & 3



3D VIEWS

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H3.5

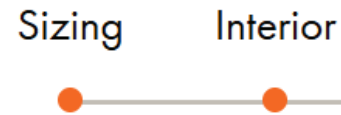
03/21/2025
PROJECT NO:1036

400 SERIES WOODWRIGHT® DOUBLE-HUNG WINDOW

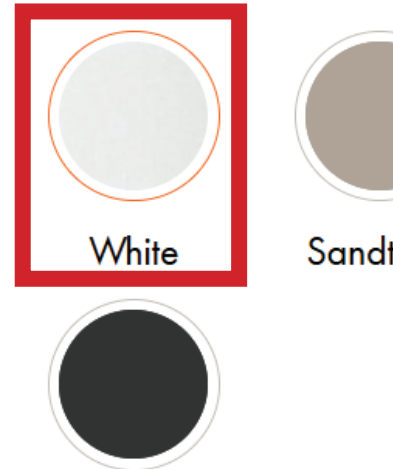
WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS



Almost there
Now, choose the options



Exterior Windo



Traditional

Design for classic character with the traditional interior profile.

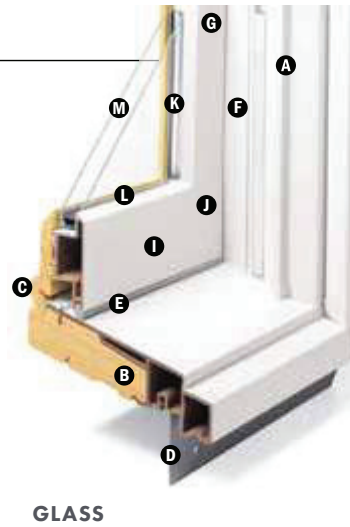
FEATURES

FRAME

A Perma-Shield® exterior cladding protects the frame – beautifully. Best of all, it's low maintenance and never needs painting.*

B For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex® material exterior.

C Natural wood stops are available in pine, maple, oak and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.



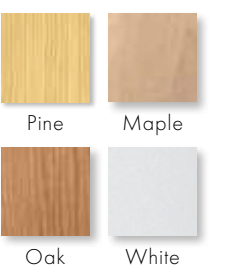
GLASS

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS



INTERIOR OPTIONS



GRILLE OPTIONS

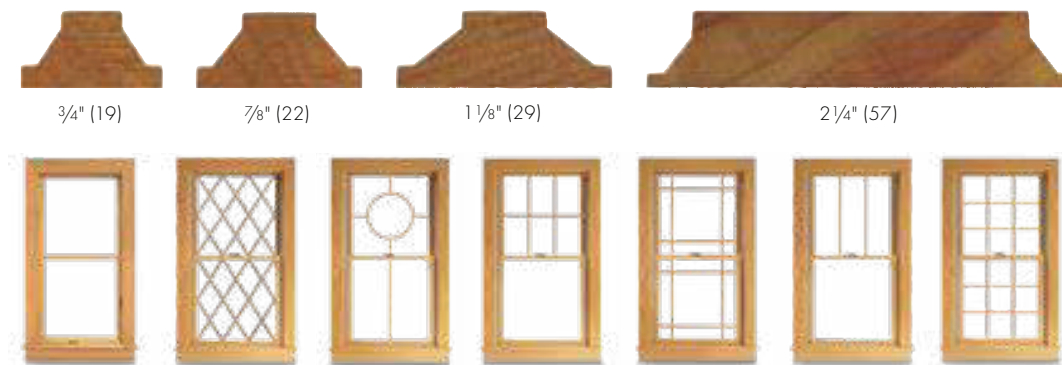
Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern, and we'll even work with you and your customers to create custom patterns.

FULL DIVIDED LIGHT
Permanently applied to the interior and exterior of the window, with a spacer between the glass.

SIMULATED DIVIDED LIGHT
Permanent grilles on the exterior and interior, with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

CONVENIENT CLEANING OPTIONS
Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes, and feature a contoured profile in 1" (25) and 3/4" (19) widths.

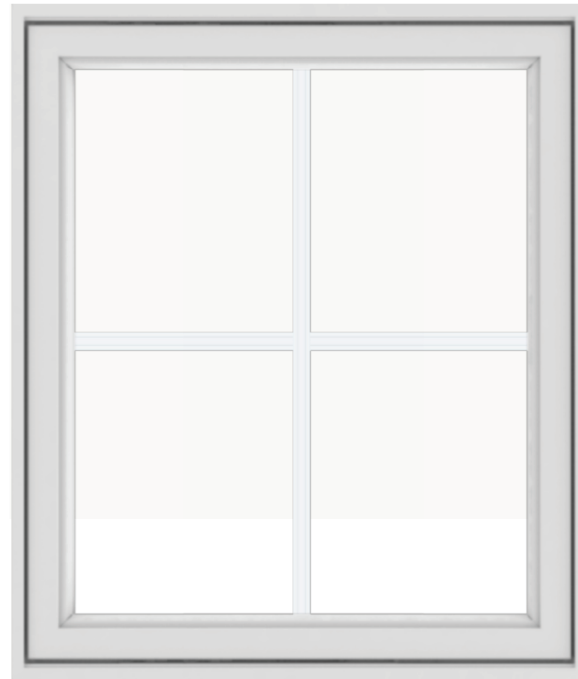
Grille Bar Widths & Patterns



Actual width shown.
Our 2 1/4" (57) width grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.
To see all of the standard patterns available for a specific window or door, refer to the detailed product sections in this product guide.

CUSTOM

*7/8" (22), 1 1/8" (29) and 2 1/4" (57) are not available in Finelight grilles-between-the-glass. Dimensions in parentheses are in millimeters.



Almost there

Now, choose the options for your window

Clear My Choices X

Sizing Profile Interior Hardware Grilles Exterior Trim Glass Summary

Exterior Window Color

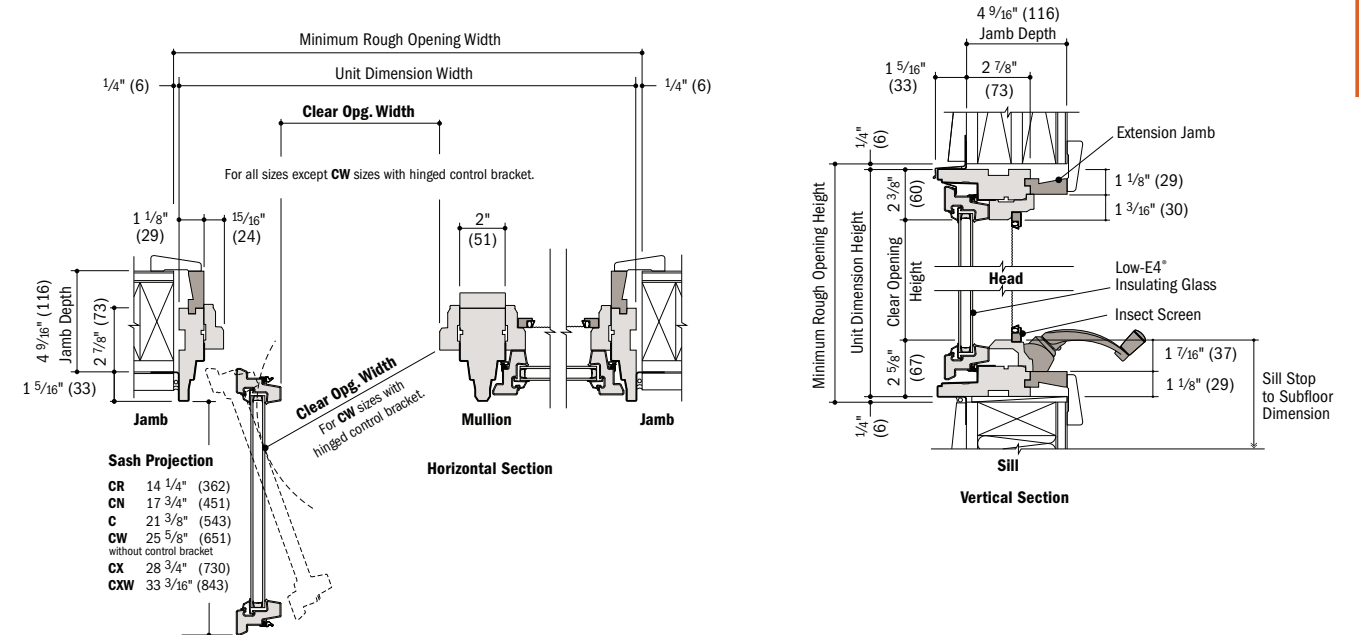


Black and dark bronze interior only available with matching exterior color.

*Products designed in this tool are for visualization purposes only and are not intended to be a complete, accurate representation of the actual product ordered. For exact color and product options, please view samples available at your local Andersen window & door supplier.

Casement Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



FEATURES

FRAME

A A seamless one-piece, rigid vinyl frame cover is secured to the exterior of the frame to protect the wood frame from moisture and maintain an attractive appearance while minimizing maintenance.

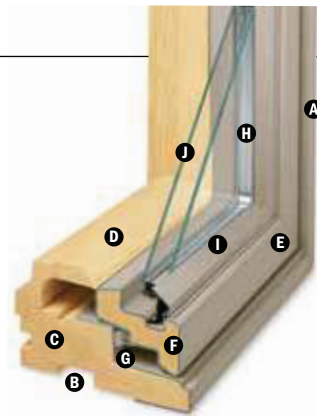
B Pre-drilled, through-the-jamb installation holes allow for quick and easy installation.

C Wood frame members are treated with a water-repellent preservative for long-lasting* protection and performance.

D Interior stops are unfinished pine. Low-maintenance prefinished white, dark bronze and black** interiors are also available.

SASH

E Rigid vinyl encases the entire sash – a vinyl weld protects each sash corner for superior weathertightness. It maintains an attractive appearance



HARDWARE

Smooth Control Hardware System



The smooth control hardware system employs a worm gear drive for easy operation. Units with a wash mode have hinges that move the sash away from the frame to provide easier glass

INSTALLATION

Included Installation Materials

Flat self-hanging shims, backer rod, installation screws and complete instructions are included with each replacement window. See the measurement guide and worksheet at andersenwindows.com/measure.



EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS

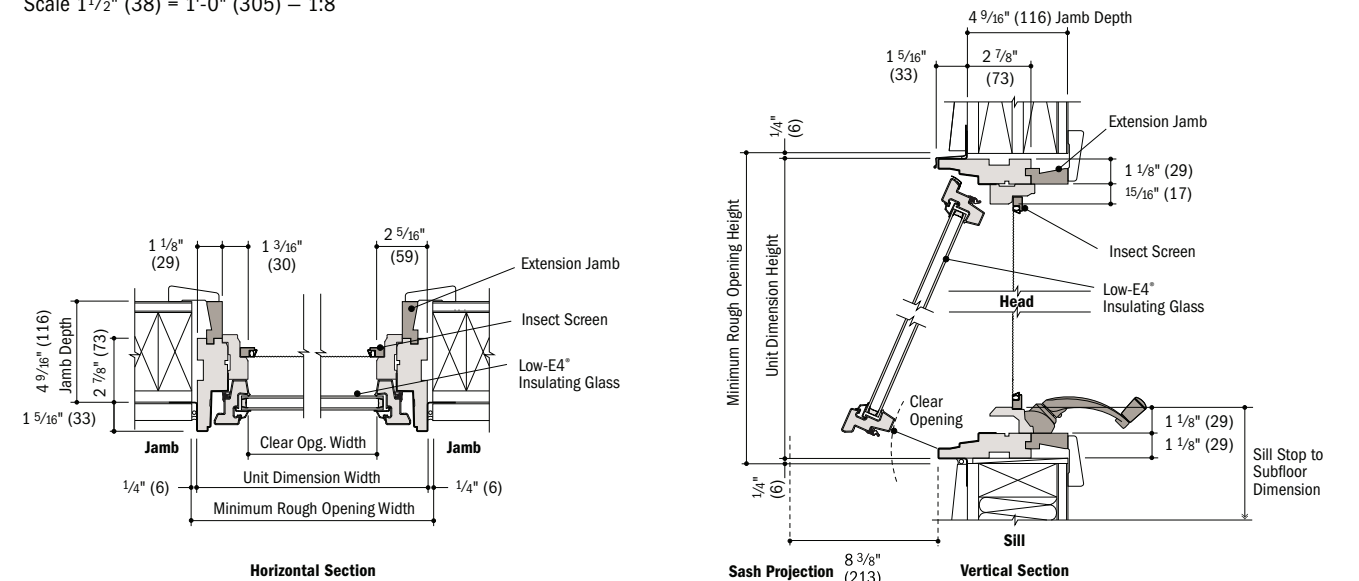


Traditional

Design for classic character with the traditional interior profile.

Awning Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



* 4 9/16" (116) overall jamb depth and 2 7/8" (73) base jamb depth measurement is from back side of installation flange.
 • Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
 • Dimensions in parentheses are in millimeters.
 • Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.
 • Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.



FRENCHWOOD® HINGED INSWING PATIO DOORS

Material
Wood protected by fiberglass and aluminum exterior.

FEATURES

FRAME

A The sill is made with three-piece construction. The subsill is made of Fibrex® material, and the sill step is solid oak. The exterior sill member is made of extruded aluminum with an attractive wear-resistant, heat-baked finish in neutral gray. This combination of materials combines durability and low maintenance with excellent insulating characteristics.

B All basic exterior frame members are fiberglass reinforced composite, which maintains an attractive appearance while minimizing maintenance.

C The exterior frame members are attached to a water-repellent preservative-treated wood subframe for long-lasting protection and performance. The subframe is grooved to accept extension jambs.

PANEL

D Panel interior surfaces are unfinished pine veneer. Unfinished maple or oak veneers are available as options. Low-maintenance prefinished white interiors are also available.

Hinged inswing operating panels are left-hand active, right-hand active or two-panel active-passive jamb hinged.



E The exterior of the wood door panel is protected with a long-lasting urethane base finish available in white, Sandtone, Terratone and forest green.

F A factory-applied, one-piece compression-type rubber weatherstrip continues in one plane around the panel to provide maximum effectiveness against water and air infiltration. Corners of the weatherstrip are welded to eliminate gaps between the panel and the frame/sill shoulder.

Mortise-and-Tenon Joints



Mortise and tenon joints prevent panel sag and maintain smooth operation.

I High-Performance options include:

- Low-E4® tempered glass
- Low-E4 HeatLock® tempered glass
- Low-E4 SmartSun™ tempered glass
- Low-E4 SmartSun HeatLock tempered glass
- Low-E4 Sun tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

Patterned glass options are available. See page 12 for more details.

GLASS

G In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.

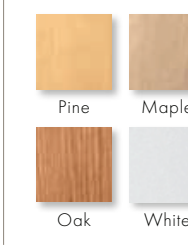
H Panels are silicone bed glazed and finished with an interior wood stop.

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS



INTERIOR OPTIONS



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified. Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

FRENCHWOOD® HINGED INSWING PATIO DOORS

Table of Sizes 152-153
 Specifications 154
 Custom Sizing 155
 Grille Patterns 155
 Door Details 156-157
 Joining Details 158
 Combination Designs 181
 Product Performance 197

CUSTOM SIZING
in 1/8" (3) increments
Dimensions in parentheses are in millimeters.

Square Picket Fence

Specifications

- Architectural Western Red Cedar frame.
- Philippine Mahogany balusters
- 1 3/4" to 2 1/2" space between balusters
- 1 1/2" square baluster w 45-degree point
- 1 1/2 x 3 1/2 carrying rails w/ decorative beaded edges
- 3/4 x 3 1/2 top front trim & 3/4" x 4 1/2 base trim
- Stainless steel fasteners



SQUARE

PICKET FENCE

258 MAPLEWOOD AVENUE

13. 408 The Hill, Unit #6-17

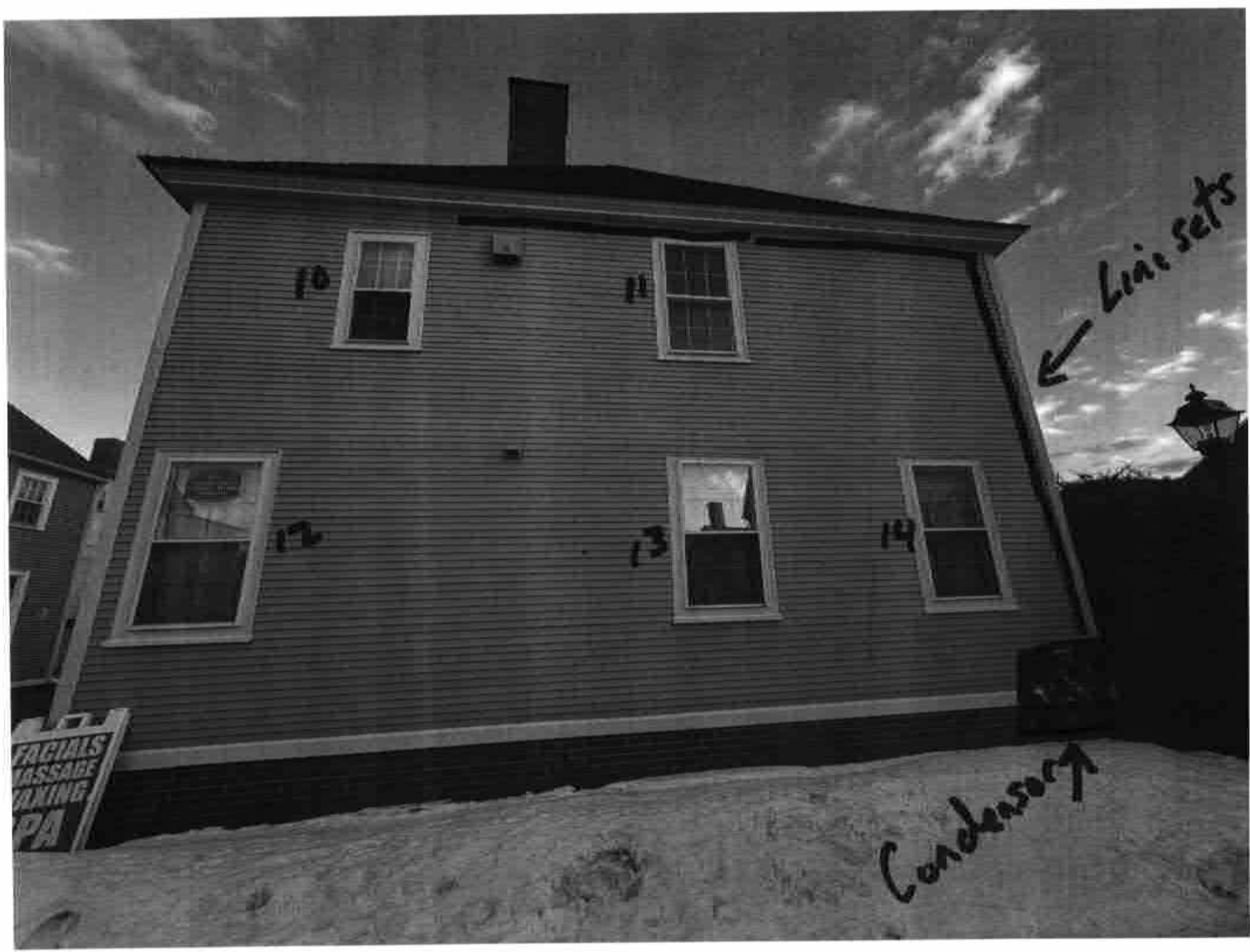
-Recommended Approval

Background: The applicant is seeking approval for the installation of condensers and line sets.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



10

11

12

13

14

Line sets

Condenser

FACIALS
MASSAGE
TANNING
PA



line up →

20

23

21

22

19

BEST SPA

Condenser

14. 40 Whidden Street

-TBD

Background: The applicant is seeking approval to replace (2) windows with Harvey windows.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____