

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details) \**

**6:30 p.m.**

**April 02, 2025**

**AGENDA** (revised on March 28, 2025)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. APPROVAL OF MINUTES**

1. March 05, 2025

**II. ADMINISTRATIVE APPROVALS**

1. 11 Sheafe Street
2. 44 Gardner Street
3. 765 Middle Street
4. 235 Marcy Street
5. 53 Pray Street
6. 284 New Castle Avenue
7. 2 Congress Street
8. 87 Market Street
9. 2 Atkinson Street
10. 170 Gates Street
11. 111 State Street
12. 258 Maplewood Avenue
13. 408 The Hill, Unit #6-17
14. 40 Whidden Street

**III. PUBLIC HEARINGS (OLD BUSINESS)**

- A. **REQUEST TO POSTPONE TO THE MAY 07, 2025 MEETING-** Petition of, Paul R. Delisle Revocable Trust and Rosa Z. Delisle Revocable Trust, owners, for property located at 408 The Hill, Unit #6-17, wherein permission is requested to allow exterior renovations to an existing structure to include replacement windows, replace wood shingle roof with asphalt shingles and the installation of a condenser unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 26-5 and lies within the Character District 4-L1 (CD4-L1), Downtown Overlay and Historic Districts.

#### **IV. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of Black Heritage Trail of New Hampshire, Inc, owner, for property located at 222 Court Street, wherein permission is requested to allow the installation of a mural affixed to the side of the structure on removable panels as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 33 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.
2. (Work Session/Public Hearing) requested by, 445 Marcy Street, LLC, owner, for properties located at 445 Marcy Street and 20 Pray Street, wherein permission is requested to allow the demolition of the existing (candy store) structure and the new construction of a single family home with detached garage (at 445 Marcy Street) and the new construction of a single family home with a detached garage and accessory dwelling unit (at 20 Pray Street) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lots 3 and 3-1 and lies within the General Residence B (GRB) and Historic Districts.

#### **V. WORK SESSIONS (OLD BUSINESS)**

- A. **POSTPONED TO THE MAY 07, 2025 MEETING-** Work Session requested by PNF Trust of 2013, owner, for property located at 266-278 State Street and 84 Pleasant Street, wherein permission is requested to allow the construction of a new 4-Story mixed-use building (266-278 State Street and the renovations of an existing structure (84 Pleasant Street) as per plans in file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 77, 78,79, and 80 and lie within Character District 4 (CD4), Downtown Overlay, and Historic Districts.

#### **VI. ADJOURNMENT**

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_3ZZJM61NS2eruXvw\\_7m\\_rQ](https://us06web.zoom.us/webinar/register/WN_3ZZJM61NS2eruXvw_7m_rQ)

**MINUTES OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**March 05, 2025**

**MEMBERS PRESENT:** Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

**MEMBERS EXCUSED:** None.

**ALSO PRESENT:** Izak Gilbo, Planner 1, Planning Department

.....

Chair Ruedig called the meeting to order to 6:30 p.m. Councilor Blalock was late to the meeting, and Alternate Larry Booz took a voting seat until Councilor Blalock arrived.

**I. APPROVAL OF MINUTES**

**1. February 05, 2025**

Per Vice-Chair Doering’s request, the 93 Pleasant Street sign in Administrative Item 1 was changed from the name Strawberry Banke to “Treadwell House”.

*Mr. Ryan moved to **approve** the minutes as amended, seconded by Vice-Chair Doering. The motion **passed** unanimously, 5-0, with Dr. Brown and Mr. Wyckoff abstaining.*

**II. ADMINISTRATIVE APPROVALS**

**1. 1 Walton Alley**

Mr. Adams recused himself. The request was to replace and repair parts of an existing fence with a new and more appropriate design instead of the previously-submitted one. Mr. Ryan said it was a more appropriate fence and that he would support it.

*The motion **passed** unanimously, 7-0. (No one moved or seconded).*

**2. 40 Pleasant Street**

Mr. Gilbo said there were new owners that wanted the lighting component approved on the second and third floors. He showed a spec of the light fixture and how it would be installed.

**3. 39 Holmes Court**

The request was for decking and railings for a side entry and third-level emergency balcony. Mr. Gilbo showed a depiction of the aluminum rail and the color for the TimberTech decking. Vice-Chair Doering asked what façade the balcony would be located on. Mr. Gilbo said the balcony was already in place and would just have an added railing.

#### **4. 43 Holmes Court**

Mr. Gilbo said the project was in tandem with the 39 Holmes Street project and that the applicant wanted to replace the previously-approved Green Mountain windows with Lepage ones.

**Stipulation:** If screens are installed on the double hung windows, they shall be half screens.

#### **5. 93 State Street**

Mr. Gilbo said the remaining items from the previously-approved project were the doors on State and Chapel Streets. He said the applicant proposed two new doors in the same style and brand as the existing ones. Mr. Wyckoff asked how old the existing doors were. Chair Ruedig said the front door was not original but it was older and the varnish had faded. The applicant (no name given) was present and said he would replace a damaged pane and the surrounding trim on the Chapel Street door. He said the State Street door was fine. Mr. Wyckoff asked if the frame and sash would remain while the door was removed. The applicant said the contractor would determine that and would replace the entire trim piece if necessary. It was further discussed. Mr. Ryan said the proposed door was much better than what was previously requested.

#### **6. 50 Austin Street**

Mr. Gilbo said the Commission approved several condensers and an EV charter but the applicant needed to run some external line sets up the side of the building. Mr. Wyckoff said the line set covers should be painted a brick color to match the building. Chair Ruedig suggested that the applicant buy a dark brown line set cover that would be easier to paint than a white line set.

**Stipulation:** The line sets shall either be covered by a brown line set cover and painted to match the brick, and if the cover does not come in anything but white, it shall still be painted to match the brick.

#### **7. 121 State Street, Unit 2**

The request was to put a window in the bricked-up space where a former window was, using a Pella double hung aluminum clad 6/6 window with a half screen to match the other windows.

#### **8. 49 Sheafe Street**

The request was to replace an existing deteriorating fence with a wooden picket-style one that would match the neighbor's fence. Mr. Gilbo said the applicant also wanted permission for two gates, a double one that swung open and a singular pedestrian gate. He showed the proposed locations. Chair Ruedig asked how the gates would be installed between the buildings. The

applicant (no name given) was present and said the gates would have posts and would not be attached to the buildings.

**9. 93 Pleasant Street**

The request was to add a chimney to the building to replace the one that had been removed and to install a canvas fabric awning.

**10. 10 Market Square**

The request was to install two condensers with line sets. Mr. Gilbo noted that the condensers would be in the back alley area but would be among other mechanical units.

*Dr. Brown moved to **approve** Items 2 through 10 with their respective stipulations. Mr. Ryan seconded. The motion **passed** unanimously, 7-0.*

Mr. Booz recused himself from the next two items.

**11. 113-117 Market Street**

The request was to replace a few windows on the Ceres Street side with the same brand of the previously-proposed replacement windows but ones that had a more cohesive look.

**12. 93-101 Market Street**

Mr. Gilbo said the applicant wanted approval for different windows but the same brand on the front and rear sides of the building that would look more cohesive.

*Mr. Adams moved to **approve** Items 11 and 12, seconded by Dr. Brown. The motion **passed** unanimously, 6-0, with Mr. Booz recused.*

**III. PUBLIC HEARINGS (NEW BUSINESS)**

**1.** Petition of **Kevin Shitan Zeng Revocable Trust of 2017, owner**, for property located at **377 Maplewood Avenue**, wherein permission is requested to allow the demolition of a secondary structure and the new construction of a detached accessory dwelling unit and exterior renovations to the existing main structure to include new windows, doors and repairs and replacement of exterior features as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.

**SPEAKING TO THE PETITION**

[Timestamp 29:42] Attorney Derek Durbin was present on behalf of the applicant, along with architect Brendan McNamara (via Zoom). Attorney Durbin reviewed the petition, noting that the structure was dilapidated and that the applicant wanted to replace it with an ADU. He said the

applicant also wanted to make in-kind replacements and improvements to the primary residence. Mr. McNamara reviewed the window, door, and trim details of the ADU. He said a bulkhead had to be removed on the primary house, which was the reason an egress window was proposed so that there was still egress to the basement area.

Vice-Chair Doering asked if there were any other significant changes to the new dwelling unit, and Mr. McNamara said no. Vice-Chair Doering said she was thrilled that the original dwelling was staying true to its form because there were not many small, modest buildings left in the Historic District. She said she liked that a lot of the natural materials would be kept in kind.

Chair Ruedig opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Ruedig closed the public hearing.

### **DECISION OF THE COMMISSION**

*Vice-Chair Doering moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Wyckoff.*

Vice-Chair Doering said the project would maintain the special character of the District and in particular, the character of the building, and it would relate to the historic and architectural values of the existing buildings. Mr. Wyckoff concurred.

*The motion **passed** unanimously, 7-0.*

**2. Petition of Paul R. Delisle Revocable Trust and Rosa Z. Delisle Revocable Trust, owners,** for property located at **408 The Hill, Unit #6-17**, wherein permission is requested to allow exterior renovations to an existing structure to include replacement windows, replace wood shingle roof with asphalt shingles, and the installation of a condenser unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 26-5 and lies within the Character District 4-L1 (CD4-L1), Downtown Overlay and Historic Districts.

### **SPEAKING TO THE PETITION**

[Timestamp 38:07] Mark Smith was present on behalf of the owners and reviewed the petition. He said the new windows would be Matthew Brothers windows and would be double hung 6/6 ones to match the existing windows. He said all the windows would be replaced except for the larger dormer windows and the large one above the entrance. He said two condensers would be installed on each side of the building with privacy screens and the line sets would have covers to match the building's color. He said they wanted to replace the roof with in-kind cedar shakes.

[Timestamp 40:12] Mr. Adams asked if the sashes and frames would be replaced. Mr. Smith said they would replace the slashes but not the frames. Mr. Adams asked if the new window frame would look like the other ones. Mr. Smith said the intent was to match it exactly. Vice-Chair

Doering said the previous line set went up past the corner board but the new one would run up the side of the building. She asked if it could go up the corner board instead and over the end of the eave. Mr. Smith said it would be a challenge due to the electric box. Chair Ruedig asked if the condenser could be moved to the right of the gas meters. Mr. Wyckoff said it wasn't allowed but that it could be temporarily moved so that the line sets could go up the corner. Mr. Ryan asked if the applicant was willing to use a better quality window and if he would match the header and the existing trims. Mr. Wyckoff agreed that a more appropriate window should be used. Mr. Booz said the line set should be painted to match the rest of the building. Chair Ruedig suggested that the petition be continued to the April meeting so that the applicant could return with more appropriate windows and line sets. Mr. Smith agreed.

## DECISION OF THE COMMISSION

*Mr. Adams moved to **continue** the petition to the April 2 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

**3.** Petition of **Joan A. Schorsch Revocable Trust of 2014, owner**, for property located at **53 Pray Street**, wherein permission is requested to allow exterior renovations to an existing structure to include rebuilding the existing porch into a screened porch with roof deck, new roofing, new siding as needed, new windows, the replacement of gutters and the replacement of a condenser with new heat pump as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 40 and lies within the Waterfront Business (WB) and Historic Districts.

## SPEAKING TO THE PETITION

[Timestamp 50:26] Architect Jennifer Ramsey was present with contractor Ben Auger on behalf of the applicant. She said her client purchased the house after the previous work session and that it was discovered that there were a few extra items that needed general repairs. She said they wanted to replace the fence and gate in a similar style and paint them to match; put a copper roof over the kitchen, shed dormers, and back bay; replace the gutters with copper ones; replace the BROSCO windows with Lepage ones and install a new BROSCO door; and replace the roof in kind with red cedar shingles. Mr. Wyckoff asked if the natural wood mahogany existed. Ms. Ramsey said it did not but that the inside was dark wood panel. Mr. Wyckoff asked if the window were vinyl on the outside, and Ms. Ramsey said they were not. Dr. Brown asked if the windows were mahogany or pine on the interior and Ms. Ramsey said it was something complimentary. Mr. Booz asked if the door to the walk-out deck would be bigger and have divided lights. Ms. Ramsey said it would be a 2/10 door. Mr. Ryan said it was a simple house and that some of the rooms seemed to be more complex than necessary. He said the walk-out detail could be toned down and the roof could start at the base of the rail. Ms. Ramsey said the design was to add some privacy. Mr. Ryan said it would not change the amount of privacy because the rails would be the same height but the roof would start at the base of the rail. Ms. Ramsey said they could make it work. Mr. Auger said if they raised the roof, it would be more prominent and change its presentation. Mr. Ryan said he thought it would be more in line with what exists. Vice-Chair Doering said she preferred the simpler line. Chair Ruedig said if it didn't work, it could be brought back for administrative approval.

Chair Ruedig opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Ruedig closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Wyckoff moved to **grant** the Certificate of Approval as presented, with the roof changes suggested by Mr. Ryan. The applicant shall submit the updated plans for Administrative Approval. Mr. Ryan seconded.*

Mr. Wyckoff said the project would preserve the integrity of the building and assess the historical significance of the house, would be consistent with the special and defining character of surrounding properties, and compatible with the design with surrounding properties.

*The motion **passed** unanimously, 7-0.*

**Note:** At this point in the meeting, Councilor Blalock arrived and Mr. Booz went back to alternate status.

**4.** Petition of **Maier Family Revocable Trust of 2018, owner**, for property located at **50 Austin Street**, wherein permission is requested to allow new construction to an existing structure to include a rear 1-story addition and covered entry as per plans on file in the Planning Department. Said property is shown on Assessor Map 136 as Lot 1 and lies within the General Residence C (GRC) and Historic Districts.

### **SPEAKING TO THE PETITION**

[Timestamp 1:13:12] The applicant Sky Maher and contractor John Crocker were present. Mr. Maher said the project was before the Commission five years ago for a work session and that one change was made since then, the insertion of a door where there was a fixed window. She said she wanted a smaller fixed window and a new door. She noted that two apartments on the first floor would be combined into one, with a sunroom on the back. Chair Ruedig asked where the new sunroom would go and which door would change. Ms. Maher said the sunroom would go from the left to the window and enclose the bulkhead into an interior access and then go to the right of the door with the storm on it. She said the second door would have access to an open porch with an overhang roof on it. Chair Ruedig asked for more detail on the materials and windows. Ms. Maher said there would be fixed windows on the right and left sides of the building with panels beneath them. Mr. Crocker said the Commission had previously specified Boral, so the panel detail, moldings and water table details would all be a Boral composite. He said the windows would be Marvin Ultimate aluminum clad with a wood interior. Dr. Brown asked what would happen to the original window and door on the right that would not be enclosed in the sunroom. Ms. Maher said the window would go into what would be the dining room area and the door would remain a door and go into the kitchen. Mr. Ryan said he thought it



was a wonderful design and had no issues with it. Vice-Chair Doering agreed. Mr. Wyckoff said he thought the shingle roofing material was acceptable.

Chair Ruedig opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Ruedig closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Adams.*

Mr. Ryan said the project would be compatible with the surrounding properties, consistent with the special and defining character of the surrounding properties, and would maintain the special character of the District.

*The motion **passed** unanimously, 7-0.*

Mr. Booz recused himself from the following position.

**5. Petition of R.A. Morton Holdings, LLC, owner, for property located at 101 Market Street, wherein permission is requested to allow exterior renovations to an existing structure to include replacement of the existing slate roof with asphalt shingles as per plans in file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 41 and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts.**

### **SPEAKING TO THE PETITION**

[Timestamp 1:23:50] Tim Giguere and Dan Santacroce of TMS Architects were present on behalf of the applicant. Mr. Giguere said the roof was leaking and the slate was in bad shape so they wanted to replace it with an architectural asphalt shingle. He noted that part of the roof already had an existing asphalt roof on it, so they wanted to remove the existing slate and asphalt and redo the roof and repoint some of the bricks on the parapet wall.

[Timestamp 1:25:33] Mr. Wyckoff said he hated to see a slate roof go but knew it had reached the end of its life. Councilor Blalock agreed and noted that the roof could only be seen from the One Hundred Club. Mr. Ryan said he thought it was a bad thing that Portsmouth was losing its slate roofs and that he hated to see another go disappear. He asked if the applicant had considered a composite or faux slate roof. Mr. Giguere said they had not. Chair Ruedig said the roof couldn't really be seen that it was also costly to re-slate an entire roof, and that the overall project brought the buildings up, so she saw it as an easy concession. Vice-Chair Doering said she was torn and that her argument for keeping the slate on that building was that the size of its roof relative to some other slate roofs was small and that it would be less expensive to save; however, it would not change the economics for the owner. Mr. Adams said the slate roof was

not contributing to the District and that it was past its service life and could not be saved. He suggested that it be replaced with asphalt since half of it was already asphalt.

Chair Ruedig opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Ruedig closed the public hearing.

### **DECISION OF THE COMMISSION**

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, seconded by Dr. Brown.*

Councilor Blalock said the project would conserve and enhance the property values and would have compatibility of design with surrounding properties.

*The motion **passed** unanimously, 7-0*

Mr. Booz recused himself from the following petition.

**6.** Petition of **Matthew Morton Associates, LLC, owner**, for property located at **87 Market Street**, wherein permission is requested to allow exterior renovations to an existing structure to include removal and replacement of existing wall mounted condenser units to new locations with screening and the installation of new roof mounted condenser units as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 43 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

### **SPEAKING TO THE PETITION**

[Timestamp 1:33:40] Tim Giguere of TMS Architects was present on behalf of the applicant. He said a few AC units were hanging out the windows on the building and there were some exchanges for mini splits. He said they proposed to remove the condenser and move it up higher from the pedestrian scale. He said the trees would help block it. He said the condenser on the right would remain where it was but that they would redo the cover. He said both covers would be Walpole, which was a non-rot composite component that looked like a painted wood product.

[Timestamp 1:36:35] Mr. Adams if all the air conditioners would be removed. Mr. Giguere agreed and said there would be mini splits on the roof instead. Mr. Adams said the alleyway was a popular one and a place where some slate could be placed on the small roofs over the condenser covers. He noted that the applicant had a bunch of slate from his other project. Mr. Giguere said no one would see the little roofs and it would be an added expense. Chair Ruedig noted that the applicant already had the material and the roofs were tiny. Mr. Giguere said the buildings were owned by three separate owners. Mr. Ryan said the applicant could use new slate for the short amount of area and if not, he would prefer to see a metal roof or something dressier than asphalt. Mr. Giguere said his client would agree to metal roofs. Vice-Chair Doering said

there was a lot of fancy detail on the building and asked why the applicant decided on the diamond pattern. Mr. Giguere said they wanted something between ostentatious and plain. Vice-Chair Doering asked if it would still be monochromatic. Mr. Giguere agreed and said the mechanical box would not change and most likely would be stained. Mr. Ryan said he liked how the building was detailed and thought the pattern was perfect and broke up the massing. The cap over the little roof was further discussed. Mr. Wyckoff said he didn't see any ventilation for the restaurant's kitchen. The owner of the restaurant (no name given) explained why there was no need for ventilation.

Chair Ruedig opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chair Ruedig closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulation**:*

- 1. The caps of the projected elements shall be brought back to the Commission for an administrative approval and shall be metal.*

*Vice-Chair Doering seconded.*

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining character of surrounding properties. Vice-Chair Doering said it would also be a lovely improvement to Ceres Street.

*The motion **passed** unanimously, 7-0.*

## **IV. WORK SESSIONS (OLD BUSINESS)**

**A.** Work Session requested by **PNF Trust of 2013, owner**, for property located at **266-278 State Street and 84 Pleasant Street**, wherein permission is requested to allow the construction of a new 4-Story mixed-use building (266-278 State Street) and the renovations of an existing structure (84 Pleasant Street) as per plans in file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 77, 78, 79, and 80 and lie within Character District 4 (CD4), Downtown Overlay, and Historic Districts.

### **WORK SESSION**

[Timestamp 1:55:38] Attorney Chris Mulligan and architect Michael Keane were present. Attorney Mulligan said the Commission discussed cornices and other details at the previous work session. He said he had a proposal that was reviewed by City Staff about how the cornices would overhang the public right-of-way about 12 inches, which would require a license from the City. He said what was more problematic was that the Board of Adjustment (BOA) had granted a rehearing on the variance that was granted for the 84 Pleasant Street portion of the project. He

said the height variance was 50 feet and four stories and that the applicant was entitled to 45 feet and three stories plus a short fourth story for the mansard roof. He said if the applicant did not receive those variances, they would be back before the Commission for that portion of the project with a mansard roof so that they could get the short fourth story. He said the idea was to have the floor levels aligned with the replicated Times Building structure and that the proposed fourth story was proposed in response to the Commission's feedback.

[Timestamp 1:59:14] Mr. Keane said the muntin pattern in the Times Building was historically 6/6, so they would go forward with the 6/6 muntin patterns. He said they would revisit the storefront of the Flores Building's entrance doors and probably get taller doors. He said the two main items from the previous work session were the cornice overhang and the placement of the windows on the interior side of the 84 Pleasant Street addition. He said the original cornice was primarily brick and that without an engineer's solution, he could not get the brick to stick out the way that it was, the full 12 inches, so he was limited to half the width of the veneer. He said he came up with a profile, however, and would finish out the rest of the overhang and pick up the dental detail in a fabricated metal profile. He showed samples of it and further explained it and said it could be finalized if the Commission thought it was good.

[Timestamp 2:02:45] Mr. Wyckoff said he thought what was represented might be too much. He said the building just needed a simple projecting cornice. Mr. Ryan disagreed and thought it was appropriate. He said he was sure Mr. Keane would get what was needed and hoped the Commission would endorse an appropriate cornice that matched what was there before. Mr. Adams said the applicant was doing a wonderful job of replicating the original building. Councilor Blalock agreed and said he appreciated all the detail and the fact that the building wasn't just a brick box. Mr. Booz agreed. It was further discussed.

[Timestamp 2:06:50] Mr. Keane said another issue were the punched windows shown across the interior of the step back addition on 84 Pleasant Street. He said he made them deeper and wider and grouped them together differently and that they looked out on the condensers and were set back 20-25 feet off Pleasant Street. Mr. Wyckoff asked if the condensers were on a flat roof, and Mr. Keane agreed. Mr. Wyckoff said condensers had to be elevated 18 inches off a flat roof and looked tall. Mr. Keane said he did not know the exact size but would have it resolved for the public hearing. It was further discussed. Mr. Adams asked what the plans were for the first floor of the former Louie's Restaurant building. Mr. Keane said it was intended to be commercial. Mr. Adams said it had a strong 1962 first-floor façade that was falling apart. Mr. Keane said they would replace it and that there would be more details later. He said the storefront would be brought out to the street line and have recessed doors. Chair Ruedig said she hoped Mr. Keane was working with the neighboring owners in taking off the siding and putting back the clapboards so that it was continuous along the front. Mr. Keane agreed. Vice-Chair Doering said she liked the window proportions. Chair Ruedig asked what the wall material would be when the windows were redone. Mr. Keane said it would probably be siding. Chair Ruedig said if it were a softer material it could look better. Attorney Mulligan said if they got their variance approval reaffirmed, they could file a formal application for a Certificate of Approval. Mr. Keane said he would like the work session continued to the May meeting.

## **DECISION OF THE COMMISSION**

*Mr. Adams moved to **continue** the work session to the May 7 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

## **V. WORK SESSIONS (NEW BUSINESS)**

1. Work Session requested by **445 Marcy Street, LLC, owner**, for properties located at **445 Marcy Street and 20 Pray Street**, wherein permission is requested to allow the demolition of the existing (candy store) structure and the new construction of a single family home with detached garage (at 445 Marcy Street) and the new construction of a single family home with a detached garage and accessory dwelling unit (at 20 Pray Street) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lots 3 and 3-1 and lies within the General Residence B (GRB) and Historic Districts.

### **WORK SESSION**

[Timestamp 2:17:42] Architect Tracy Kozak was present on behalf of the applicant. She said the previous owner recently sold the property, so there was a different program and design for the new buyer. She said it was now two lots that each had a single-family home, and the existing small candy shop would be removed. She said the Pray Street house had the same house design as previously but the ADU garage was flipped from the east side to the west side. She said they took the cue of the three New Englanders across the street for the Marcy Street house. She said the Pray Street driveway was placed on the eastern property line because the buyer wanted a pocket garden. She said the ADU and the garage were now separate outbuildings instead of connected. She said they were taking precautions on the Pray Street property to keep the first-first living area above floor level. She reviewed the site plans of both parcels.

[Timestamp 2:27:22] Mr. Wyckoff asked if the water would be able to flow under the house. Ms. Kozak said there would be a vertical wood lattice screen and the house would be built on posts. She further described the design and said they would use traditional materials of wood and asphalt shingles, Marvin aluminum clad windows, and brick chimneys. She said the ADU would require a Conditional Use Permit but no variances. Chair Ruedig said the Commission received a letter from someone who was concerned about adding more cars to Pray Street. Ms. Kozak said the Pray Street house would have a driveway, noting that they tried to put it on Partridge Street but the Fire Department had safety concerns. She said the Marcy Street lot had an existing driveway. Mr. Adams said he was pleased with the massing and the general design. Mr. Booz asked if the Pray Street parcel was an in-law second building residence. Ms. Kozak said it was a single-family house with a detached garage and a small ADU behind it, with the ADU driveway off Partridge Street. Mr. Ryan said the massing and scale were appropriate for the neighborhood. The Pray Street house design was further discussed. Mr. Adams said he thought the caps on the bay were heavy. Mr. Wyckoff agreed and said it could be cured by placing panels under the them. Chair Ruedig said the plan was much improved and thought that having smaller masses and footprints spread out was much more compatible with the south end. Mr. Adams said one of the abutters had a site drain that drained into the applicant's lot on the eastern side. Ms. Kozak said they would have a civil engineering team work on it.

### **Public Comment**

[Timestamp 2:42:29] Mark Mininberg of 437 Marcy Street said he lived across from both properties and was involved in the controversial debates three years ago. He said the proposal was a good improvement but thought the neighborhood would need time to adjust to it. He said the historic candy store was a major change and thought there was a process for it, and the drainage was the biggest issue for the neighborhood. Vice-Chair Doering told Mr. Mininberg to invite his neighbors to come to the meetings. Mr. Adams said the Commission was trying to be the neighbors' best advocate in working with the architect.

Michele McLaughlin of 469 Marcy Street asked if the trees depicted on the plan would remain. Ms. Kozak said they were existing trees. Ms. McLaughlin asked if there would be further evaluation of the candy shop. Chair Ruedig said demolitions were handled on a case-by-case basis and that the Commission would figure out the best way to handle the demolition. Vice-Chair Doering asked Ms. Kozak if she intended to work around the trees. Ms. Kozak said only the small maple tree on the corner would come down. She said the tree along Pray Street was close to the foundation, so they would have to meet with an arborist. Vice-Chair Doering thought having the applicant's driveway come off of Marcy Street might be better instead of navigating a tiny driveway on Pray Street and suggested a curb cut on Marcy Street. Ms. Kozak said she didn't think TAC would approve it and that Marcy Street was a dangerous one to pull out on.

[Timestamp 2:53:19] Susan MacDougall of 39 Pray Street (via Zoom) said the massing was respectful but the site was compromised by the flood zone. She said the flood zone marking was new to the south end and wasn't designated in the 1850s when there were two and then four structures on the lot. She said the lot addresses were designated by the subdivision approval but the 20 Pray Street designation was arbitrary and could have been a Partridge Street address. She said her concern was the challenge of getting in and out of Pray Street onto Marcy Street. She said she'd like to see a design that showed more of a scale and people in it.

## **DECISION OF THE COMMISSION**

*Mr. Adams moved to **continue** the work session to the April 2 meeting, seconded by Counciler Blalock. The motion **passed** unanimously, 7-0.*

## **VI. ADJOURNMENT**

The meeting adjourned at 9:30 p.m.

Respectfully submitted,

Joann Breault  
HDC Meeting Minute Taker

# HDC

## ADMINISTRATIVE APPROVALS

April 02, 2025

- |     |                          |                       |
|-----|--------------------------|-----------------------|
| 1.  | 11 Sheafe Street         | -Recommended Approval |
| 2.  | 44 Gardner Street        | -Recommended Approval |
| 3.  | 765 Middle Street        | -Recommended Approval |
| 4.  | 235 Marcy Street         | -Recommended Approval |
| 5.  | 53 Pray Street           | -Recommended Approval |
| 6.  | 284 New Castle Avenue    | -Recommended Approval |
| 7.  | 2 Congress Street        | -Recommended Approval |
| 8.  | 87 Market Street         | -Recommended Approval |
| 9.  | 2 Atkinson Street        | -Recommended Approval |
| 10. | 170 Gates Street         | -Recommended Approval |
| 11. | 111 State Street         | -Recommended Approval |
| 12. | 258 Maplewood Avenue     | -Recommended Approval |
| 13. | 408 The Hill, Unit #6-17 | -Recommended Approval |
| 14. | 40 Whidden Street        | -TBD                  |

**1. 11 Sheafe Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval to in-fill (2) existing windows on the rear side of the structure (to accommodate interior kitchen renovation). Applicant will use a lime based mortar.

**Staff Comment:** Recommended Approval

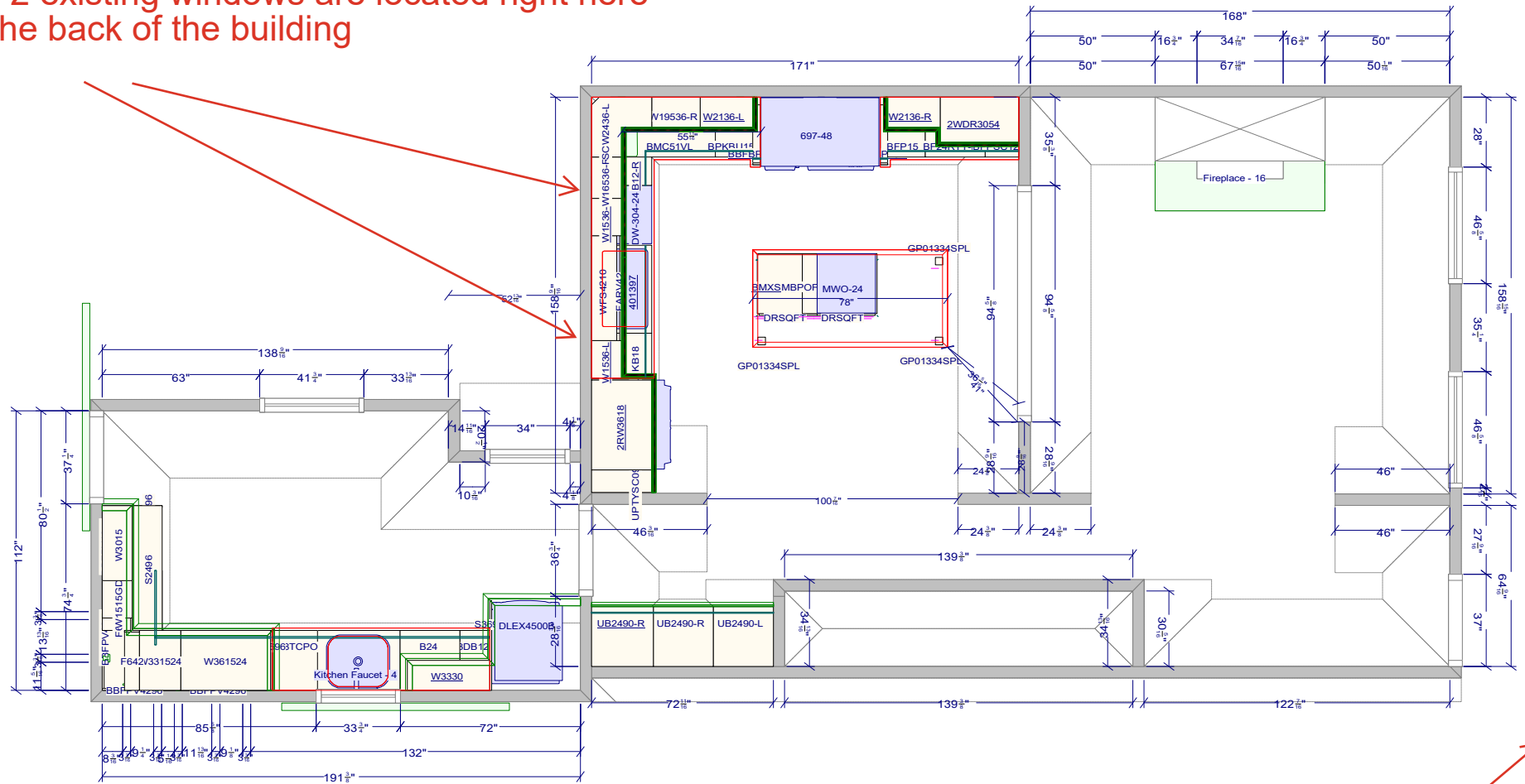
**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





The 2 existing windows are located right here on the back of the building



Sheafe Street

All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 2/18/2025  
Printed: 2/19/2025

**2. 44 Gardner Street**

**-Recommended Approval**

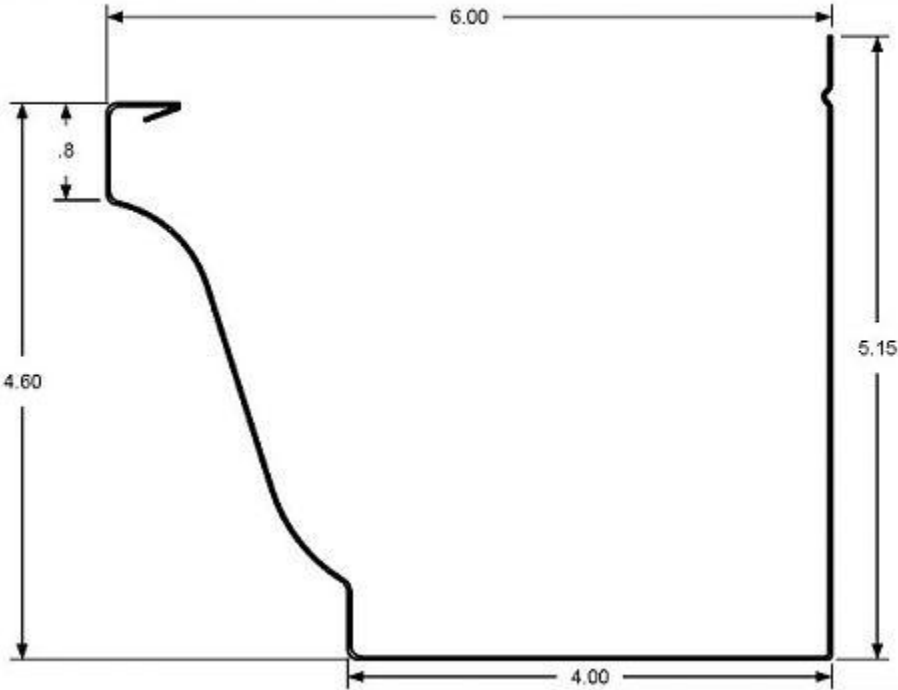
**Background:** The applicant is seeking approval for HVAC screening, fence replacement, and gutter replacement.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

Gutters























Fencing



































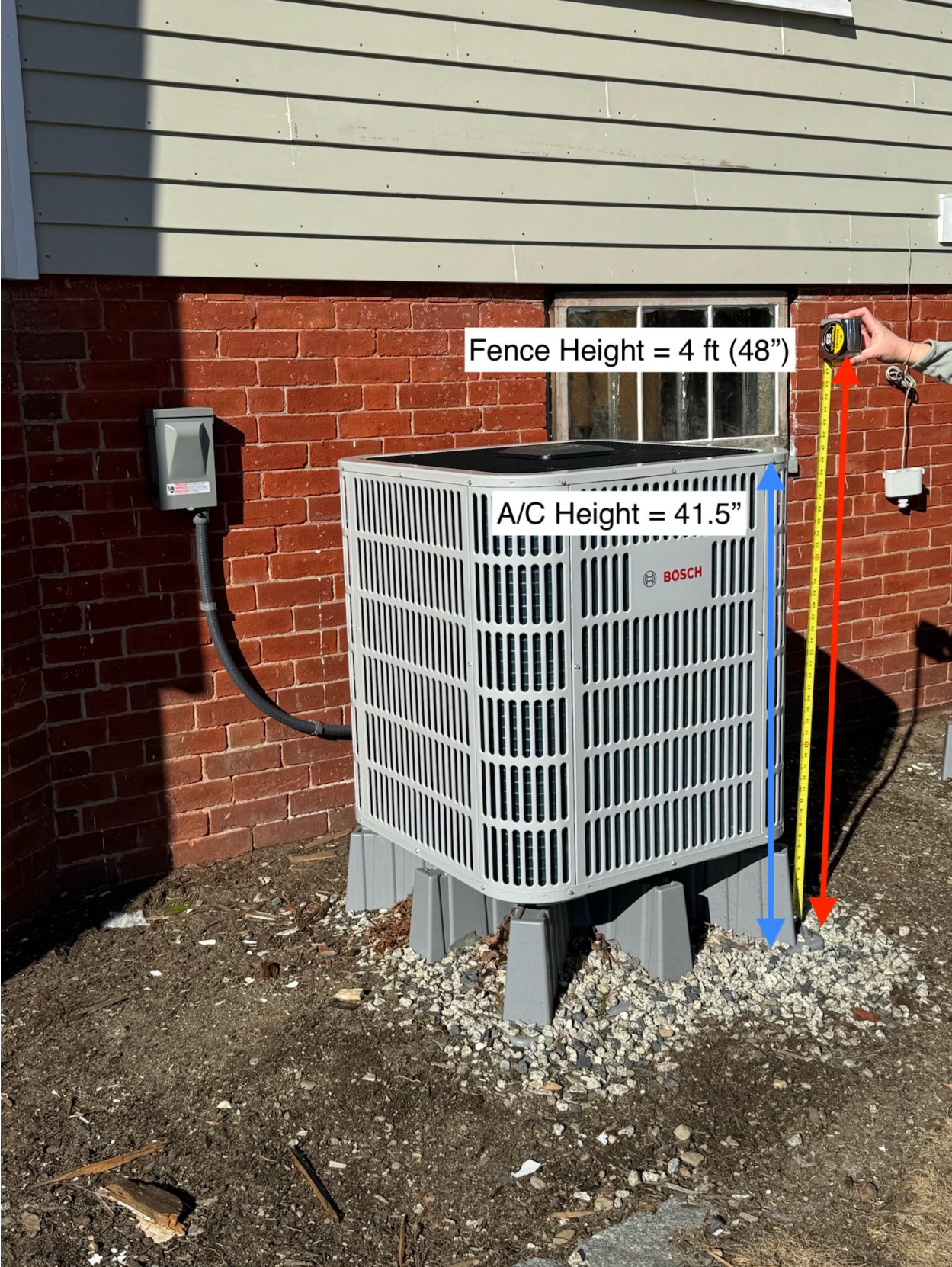












Fence Height = 4 ft (48")

A/C Height = 41.5"













294 DURHAM ROAD DOVER, NH 03820
PHONE: 603-742-0833 \* FAX: 603-743-4475 \* GCAAAFENCES.COM

PROPOSAL/CONTRACT

Customer Information:

BERNARD ROESLER
44 GARDNER ST.
PORTSMOUTH, N.H. 03801

Contact Information:

[Redacted contact information]

SCOPE OF WORK:

Quote 1: Front yard
Install 20' of 40" high spaced cedar baluster fence with 1-9' double swing gate.

Quote 2: Side & back yard
Install 95' of 40" high spaced cedar baluster fence on the side and back yard.

Quote 3: AC units
Install 24' of 4' high 3/4" spaced cedar 1x4 board fence with cap strips which includes removable panel for access.

All painting or stain by others.

GC/AAA FENCE COMPANY agrees to guarantee above fence to be free from defects in materials and workmanship for three years.

GC/AAA FENCE COMPANY shall advise the customer as to local zoning regulations but responsibility for complying with said regulations and obtaining any required permits shall rest with the customer. GC/AAA FENCE COMPANY will assist the customer, upon request, in determining where the fence is to be erected, but under no circumstances does GC/AAA FENCE COMPANY assume any responsibility concerning property lines or in any guarantee their accuracy. If property pins cannot be located, it is recommended that the customer have the property surveyed.

GC/AAA FENCE COMPANY will assume the responsibility for having underground public utilities located and marked. However, GC/AAA FENCE COMPANY assumes no responsibility for unmarked sprinkler lines, or any other unmarked buried lines or objects. The customer will assume all liability for any damage caused by directing GC/AAA FENCE COMPANY to dig in the immediate vicinity of known utilities.

The final billing will be based on the actual footage of fencing built and the work performed. Partial billing for materials delivered to the jobsite and work completed may be sent at weekly intervals. Adjustments for materials used on this job and adjustments for labor will be charged or credited at the currently established rates. Additional charges for any extra work not covered in this contract that was requested by the customer will also be added. The full amount of this contract along with any additional charges will become payable upon completion of all work whether it has been invoiced.

A finance charge of 1 1/2% per month (or a minimum of \$1.00), which is an annual percentage rate of 18%, shall be applied to accounts that are not paid within 10 days after completion of any work invoiced. All materials will remain the property of GC/AAA FENCE COMPANY until all invoices pertaining to this job are paid in full. The customer agrees to pay all interest, and any costs incurred in the collection of this debt.

A technology fee of 3% will be added to all credit card transactions, Which is not greater which is not greater than our cost acceptance.

Contract Amount: \$
Down Payment: \$ 50%
Balance Due: \$ 50%

Approved & Accepted for Customer:

Customer Date
Sign & Return to GC/AAA Fence Company:

Michael Carpenter 2-14-25
Salesperson Date

**3. 765 Middle Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval to change double hung windows for casement windows with double hung lock rail (for egress).

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



NORTH ELEVATION



**GARAGE: Previously Approved Elevations**

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

FOR EGRESS PURPOSES-  
CHANGE DOUBLE HUNG 'D'  
WINDOW TO PREVIOUSLY  
APPROVED 'C' WINDOW  
[CASEMENT w/LOCK RAIL]



**GARAGE: Proposed Elevation**

SCALE: 1/8" = 1'-0"



EAST ELEVATION



**GARAGE: Previously Approved Elevations**

SCALE: 1/8" = 1'-0"

EAST ELEVATION



**GARAGE: Proposed Elevation**

SCALE: 1/8" = 1'-0"



**4. 235 Marcy Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for changes to a previously approved design (revise rear addition, change windows to casement for egress, add window, and revise window locations).

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



1) EXISTING WEST ELEVATION



2) EXISTING SOUTH ELEVATION



3) EXISTING EAST ELEVATION



4) EXISTING NORTH ELEVATION



**LETTER OF AGENDA**

We respectfully submit this Application for Administrative Approval for minor modifications to the previous Approval granted on 6/5/24 - to the existing Historic structure at 235 Marcy Street.

**Summary of proposed revisions:**

1. **FOOTPRINT:** Revise the footprint to be 16" wider at the Garage Addition to provide minimum clearance for pulling in and out of the one car stall. Reduce the size of the building footprint jog on the corner to be 24" shorter in order to facilitate better turning radius at the corner. The revised footprint does not exceed the maximum allowable lot coverage, and is still within the approved setbacks.
2. **WINDOWS:** Revise window placement on the addition to accommodate floor plan development, and revise select double hung windows to egress casements with double hung simulated meeting rail to meet egress requirements.
3. **CLARIFICATION:** The existing historic building has five historic windows that will be restored and reinstalled in alternate locations on the building. One attic window on the back was approved with two conflicting notes indicating that the window is both restored and demolished. The window location will be covered by the new addition so the intent is to demolish the window.

Thank you for your consideration.  
Sincerely, Carla Goodknight, AIA, NCARB  
Principal, CJ Architects

235 MARCY STREET  
PORTSMOUTH, NEW HAMPSHIRE

AGENDA, AERIAL VIEW &  
EXISTING ELEVATIONS  
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



1.0



(6/5/24) PREVIOUSLY APPROVED SOUTHWEST VIEW



(6/5/24) PREVIOUSLY APPROVED SOUTHEAST VIEW



PROPOSED SOUTHWEST VIEW



PROPOSED SOUTHEAST VIEW

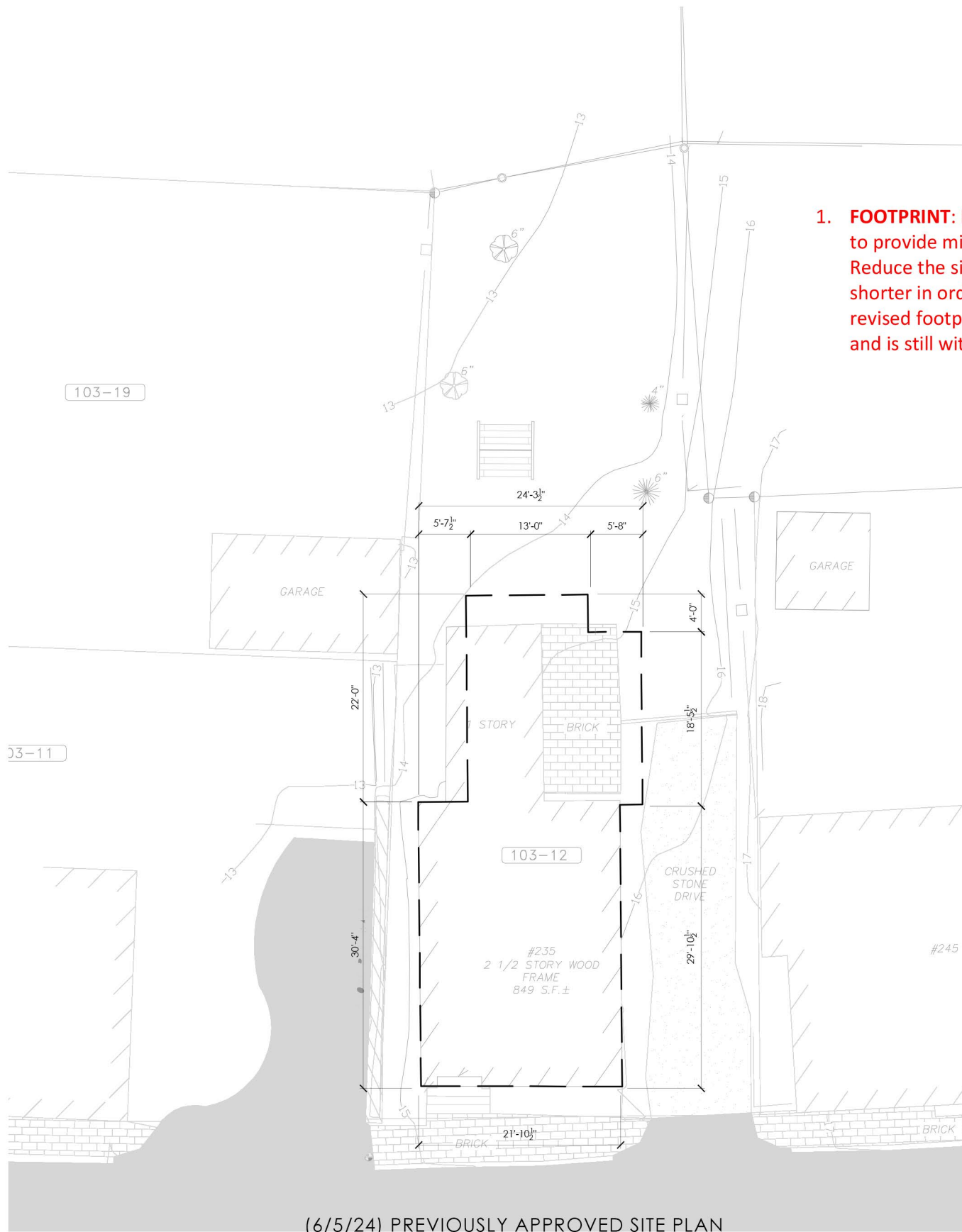
235 MARCY STREET  
PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED VIEWS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025

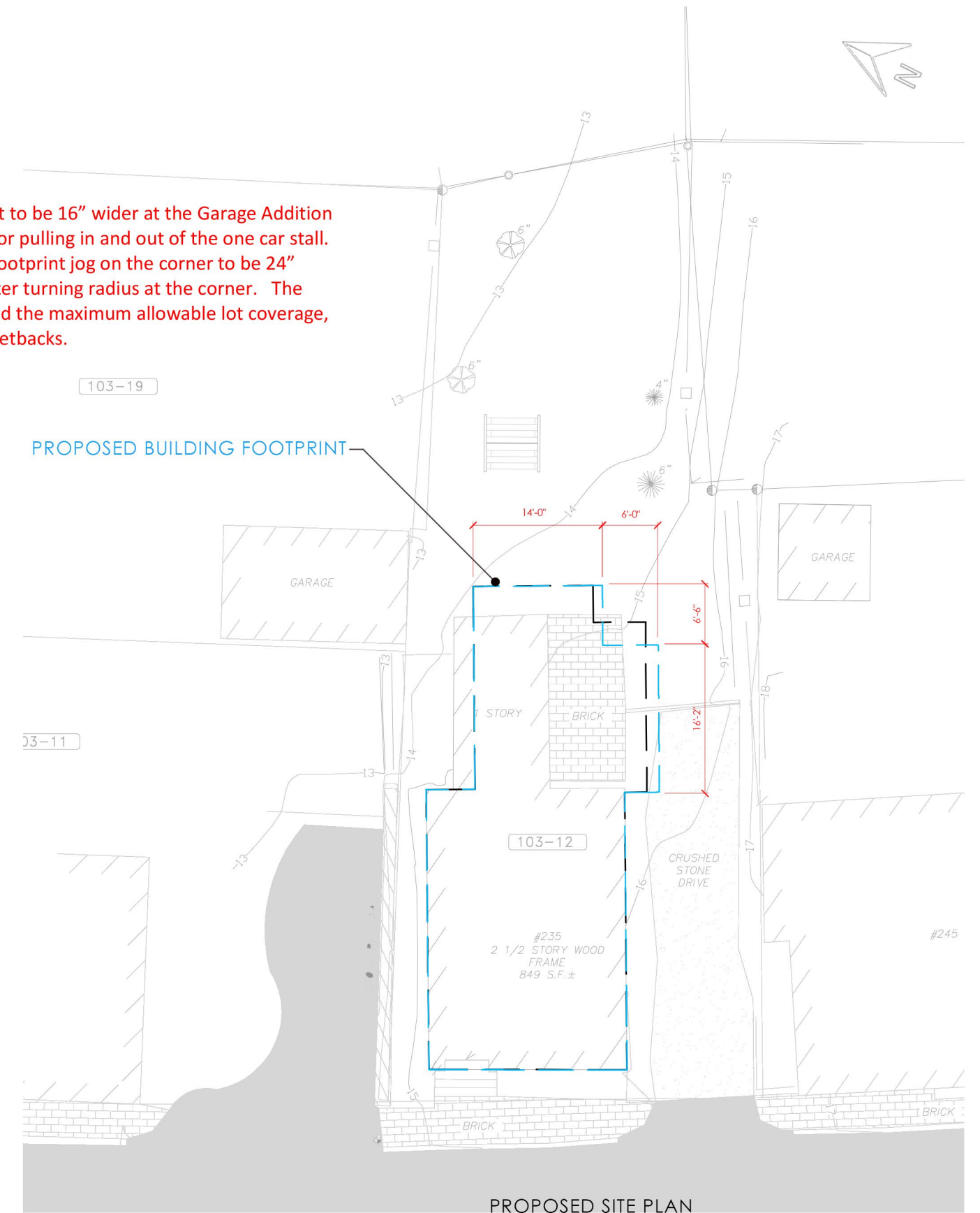


2.0



(6/5/24) PREVIOUSLY APPROVED SITE PLAN

- FOOTPRINT:** Revise the footprint to be 16" wider at the Garage Addition to provide minimum clearance for pulling in and out of the one car stall. Reduce the size of the building footprint jog on the corner to be 24" shorter in order to facilitate better turning radius at the corner. The revised footprint does not exceed the maximum allowable lot coverage, and is still within the approved setbacks.



PROPOSED SITE PLAN

235 MARCY STREET  
PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



3.0

2. **WINDOWS:** Revise window placement on the addition to accommodate floor plan development, and revise select double hung windows to egress casements with double hung simulated meeting rail to meet egress requirements.



(6/5/24) PREVIOUSLY APPROVED WEST ELEVATION

- ◇ D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3056)
- ◇ E 2'-5 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3048)



(6/5/24) PREVIOUSLY APPROVED SOUTH ELEVATION



PROPOSED WEST ELEVATION

REVISE APPROVED WINDOW TO BE TYPE D EGRESS CASEMENT

- ◇ D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE CASEMENT WINDOWS
- ◇ E 2'-5 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE CASEMENT WINDOWS



REVISE APPROVED TYPE E WINDOWS TO BE CASEMENT

ADD (1) TYPE E EGRESS CASEMENT WINDOW

REVISE APPROVED TYPE E WINDOWS TO BE CASEMENT

DELETE WINDOW & REVISE EXTERIOR WALL LOCATION

PROPOSED SOUTH ELEVATION

235 MARCY STREET  
PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED ELEVATIONS

SCALE: 1/8" = 1'-0"

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



4.0

2. **WINDOWS:** Revise window placement on the addition to accommodate floor plan development, and revise select double hung windows to egress casements with double hung simulated meeting rail to meet egress requirements.



(6/5/24) PREVIOUSLY APPROVED EAST ELEVATION

- D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3056)
- F 2'-2 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH2648)



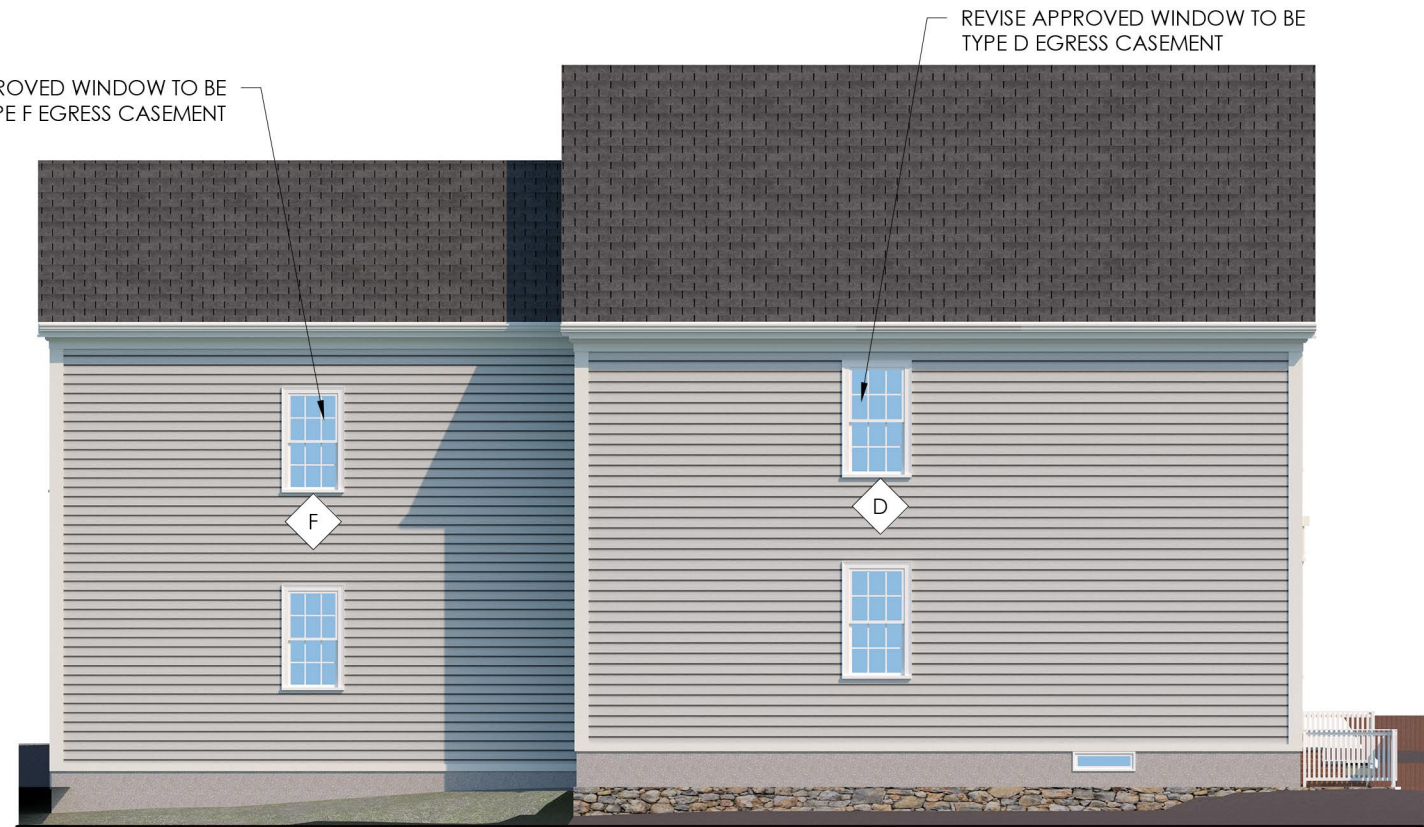
(6/5/24) PREVIOUSLY APPROVED NORTH ELEVATION



PROPOSED EAST ELEVATION

- REVISE SPACING OF APPROVED WINDOWS
- D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE CASEMENT WINDOWS
  - F 2'-5" x 3'-11 5/8" NEW MARVIN ELEVATE CASEMENT WINDOWS

REVISE APPROVED WINDOW TO BE TYPE F EGRESS CASEMENT



PROPOSED NORTH ELEVATION

235 MARCY STREET  
PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED ELEVATIONS

SCALE: 1/8" = 1'-0"

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025





WINDOW SCHEDULE

 EXISTING HISTORIC WINDOWS TO BE RESTORED & REINSTALLED - SEE EXISTING AND PROPOSED ELEVATIONS FOR LOCATIONS

 TO BE DEMOLISHED



(6/5/24) PREVIOUSLY APPROVED EXISTING EAST ELEVATION

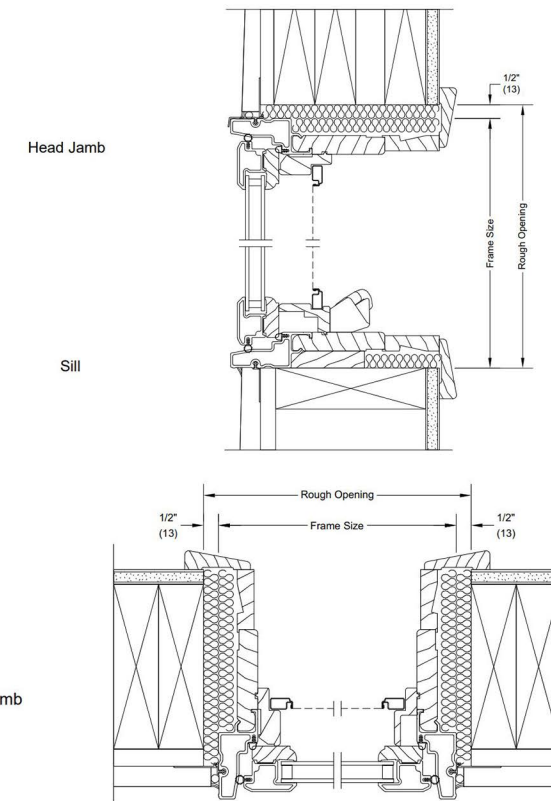
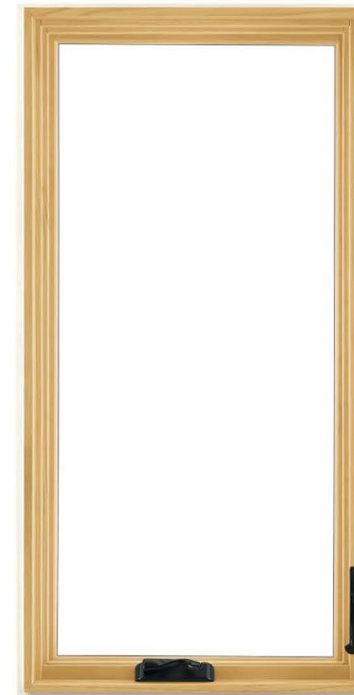
(REMOVE  DESIGNATION)

 TO BE DEMOLISHED



PROPOSED EXISTING EAST ELEVATION

3. **CLARIFICATION:** The existing historic building has five historic windows that will be restored and reinstalled in alternate locations on the building. One attic window on the back was approved with two conflicting notes indicating that the window is both restored and demolished. The window location will be covered by the new addition so the intent is to demolish the window.



EGRESS CASEMENT WINDOWS

**MANUFACTURER:** MARVIN WINDOWS  
**COLOR:** WHITE  
**SPECIFICATION:** ELEVATE / FIBERGLASS EXT. & WOOD INT.

235 MARCY STREET  
 PORTSMOUTH, NEW HAMPSHIRE

PREVIOUSLY APPROVED & PROPOSED DEMO ELEVATION

SCALE: 1/8" = 1'-0"

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: APRIL 2, 2025



5.0

**5. 53 Pray Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for a revised screen porch roof design.

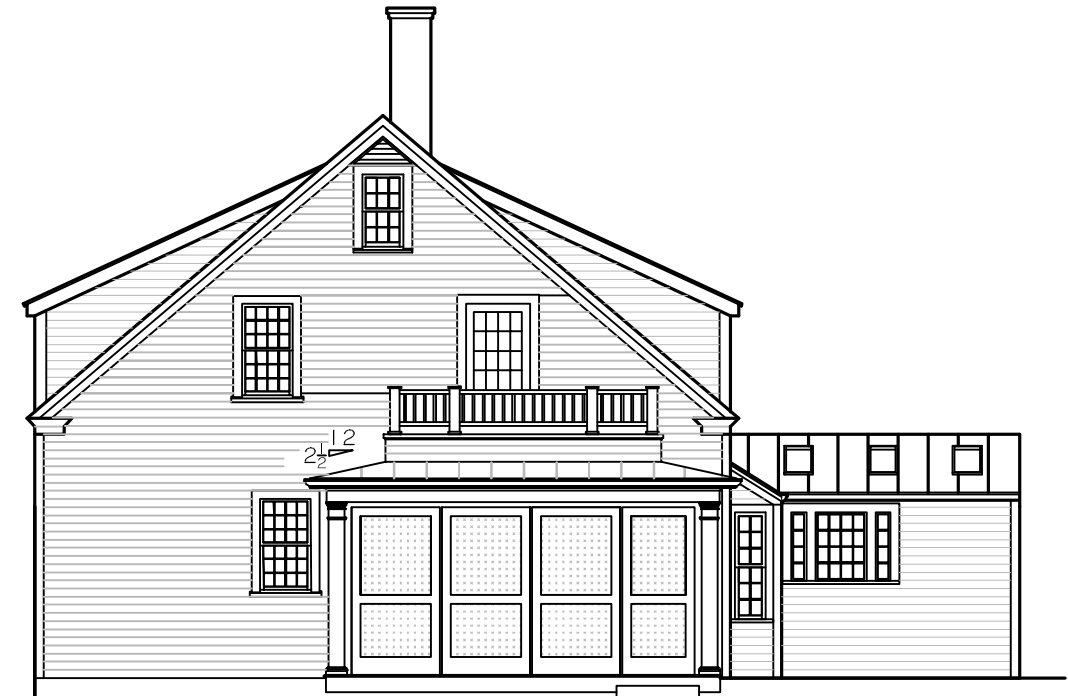
**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



Previously Approved Front Elevation



Previously Approved Right Side Elevation



Revised Front Elevation



Revised Right Side Elevation

Revision to Roof Pitch at Porch and (2) Window Operation Changes

SCALE: 1/8" = 1'-0"

53 Pray Street, Portsmouth, New Hampshire

Auger Building Company

SCALE: AS NOTED

AA 4.2025

SHT. 1



Previously Approved Left Side Elevation



Proposed Left Side Elevation

Revision to Roof Pitch at Porch and (2) Window Operation Changes

SCALE: 1/8" = 1'-0"

53 Pray Street, Portsmouth, New Hampshire

Auger Building Company

SCALE: AS NOTED

AA 4.2025

SHT. 2

**6. 284 New Castle Avenue**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of an existing double hung window with a casement window, add (2) skylights, new side door and lighting on the garage.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





DESIGN PRINT ONLY  
 NOT FOR CONSTRUCTION  
 JANUARY 10, 2024

MILLIKAN & LEON  
 284 NEW CASTLE AVE  
 PORTSMOUTH, NH 03801

ARILDA DESIGN  
 densch@comcast.net / www.arilda.com  
 9 Adams Lane, Unit 2  
 Kittery, Maine 03904  
 207-604-6848

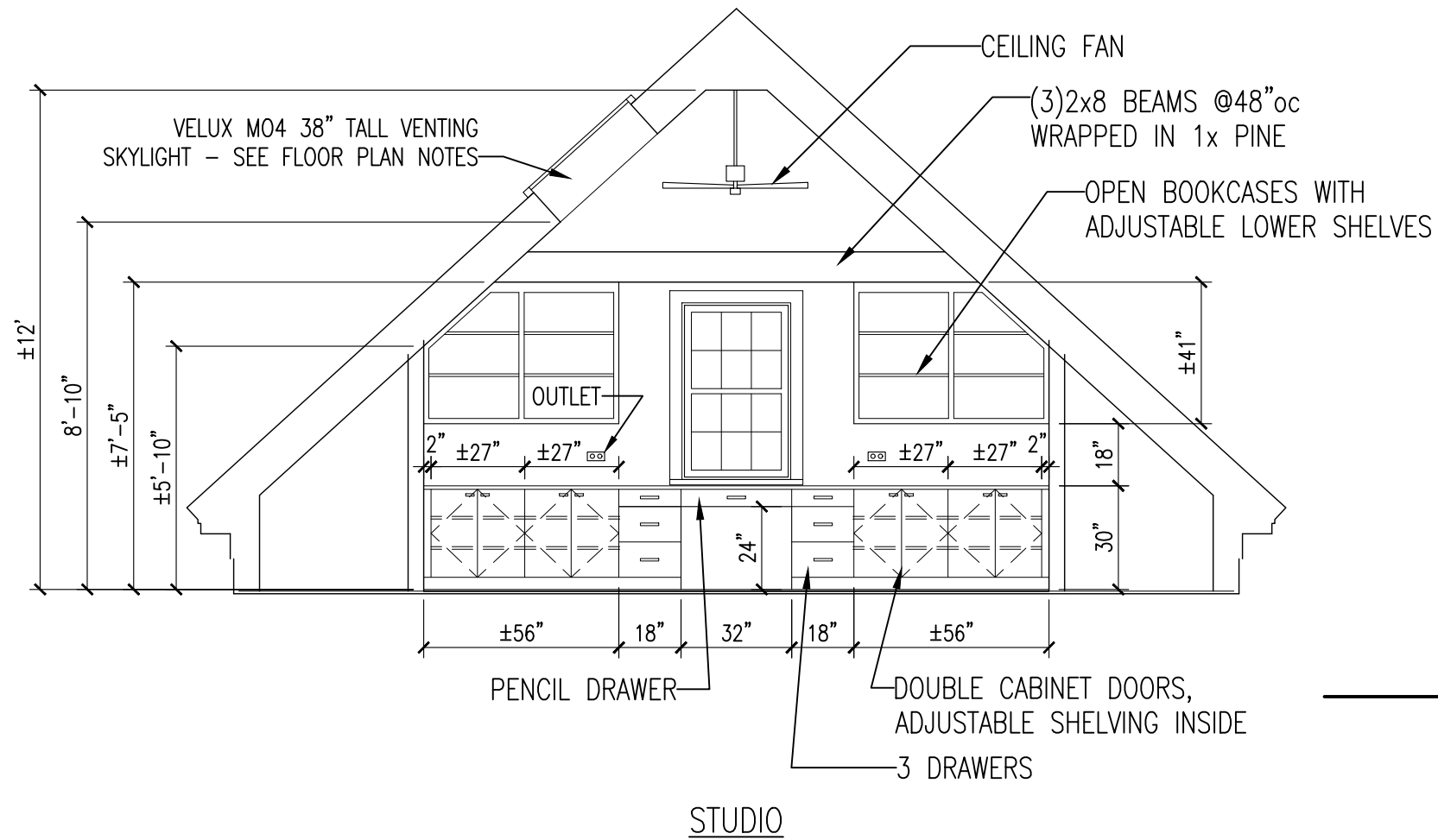
Revisions:

Garage - Proposed 2nd Flr. Studio  
 Front Elevation & Interior Cabinets

date: Jan. 10, 2024

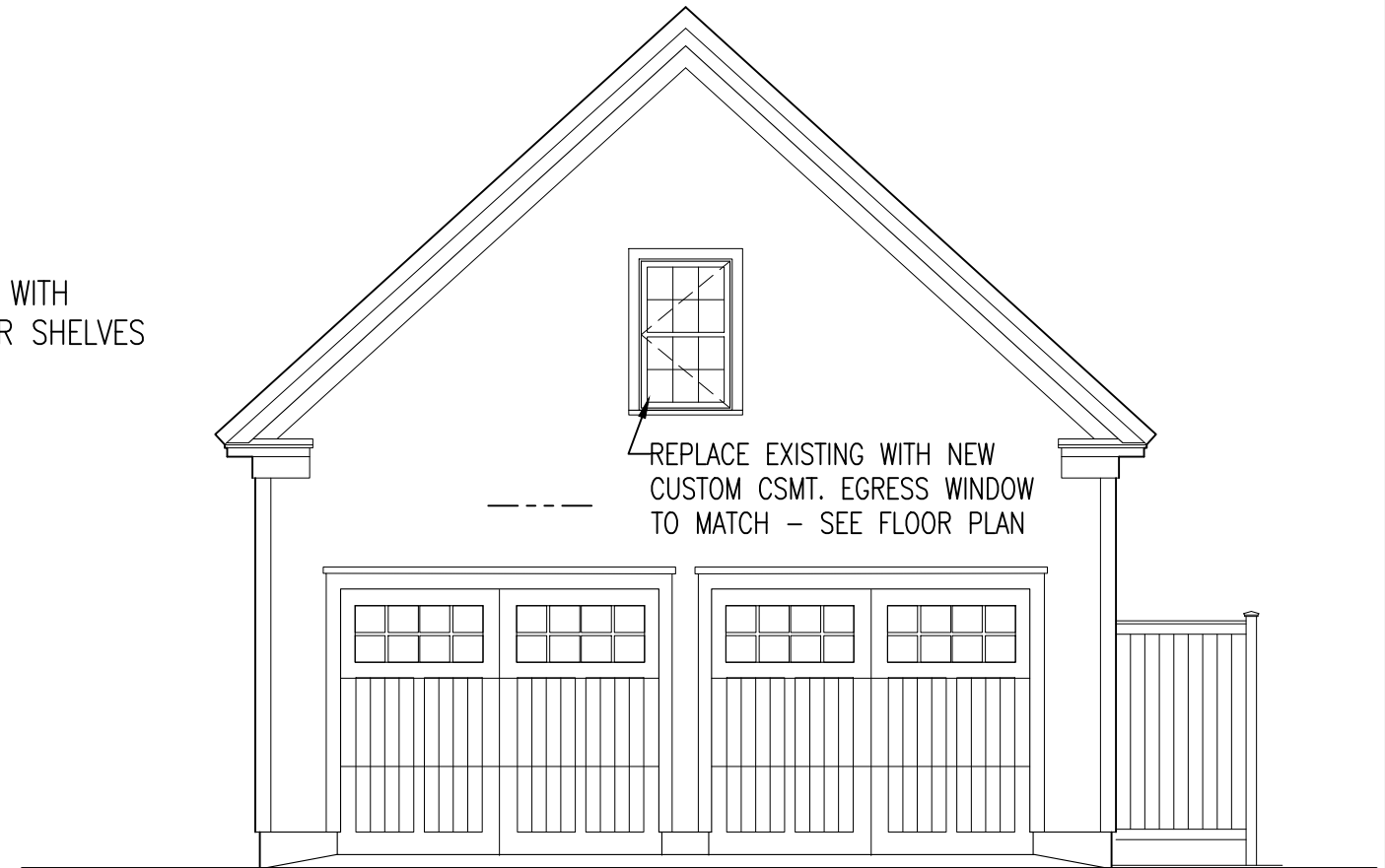
scale: AS NOTED

A2



INTERIOR CABINETS

Scale: 1/4" = 1'-0"



FRONT ELEVATION

Scale: 3/16" = 1'-0"



DESIGN PRINT ONLY  
 NOT FOR CONSTRUCTION  
 JANUARY 10, 2024

MILLIKAN & LEON  
 284 NEW CASTLE AVE  
 PORTSMOUTH, NH 03801

ARILDA DESIGN  
 densch@comcast.net / www.arilda.com  
 9 Adams Lane, Unit 2  
 Kittery, Maine 03904  
 207-604-6848

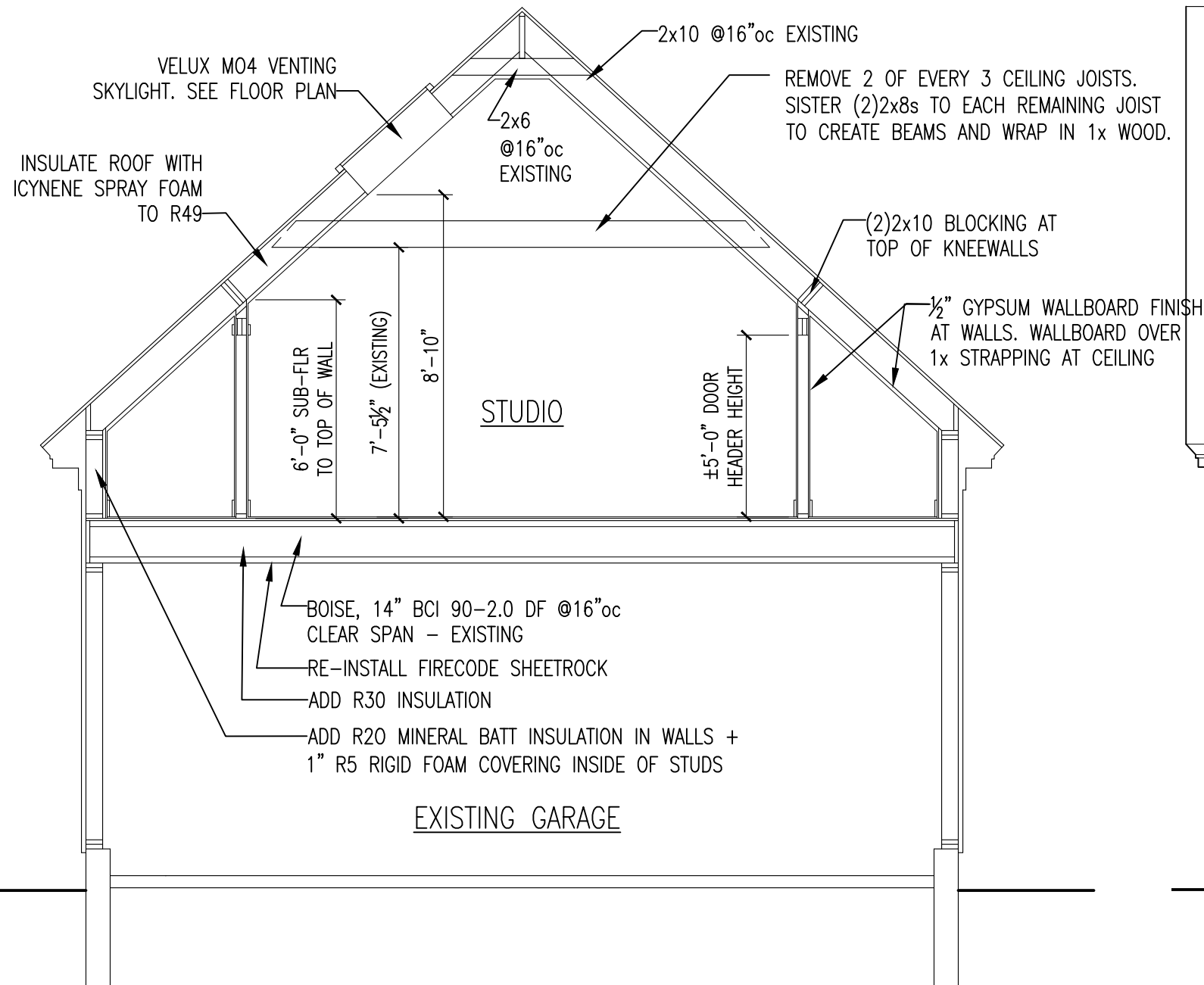
Revisions:

Garage - Proposed 2nd Flr. Studio  
 Section & Right Side Elevation

date: Jan. 10, 2024

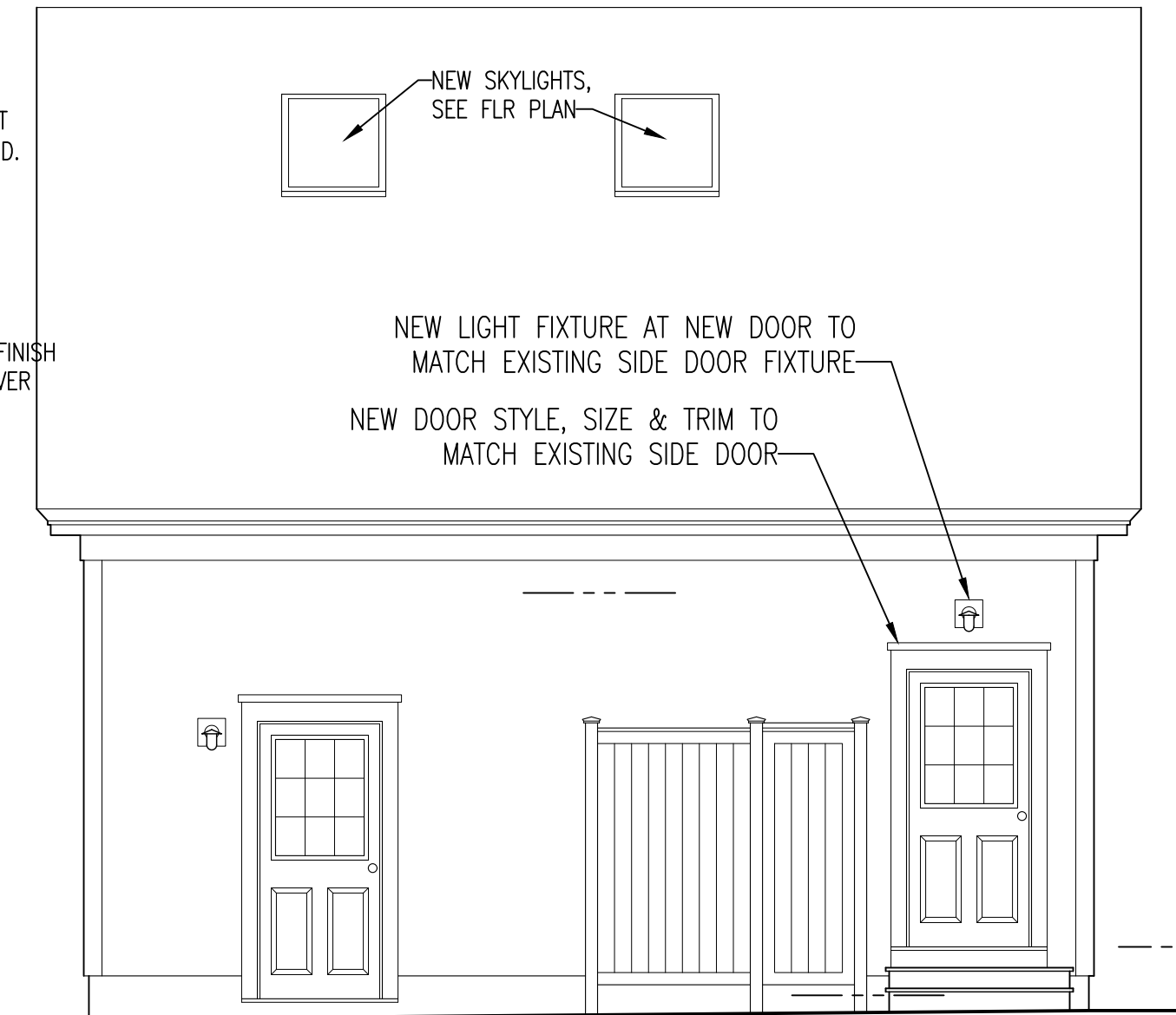
scale: 1/4"=1'-0"

A3



PROPOSED SECTION A




Scale: 1/4" = 1'-0"

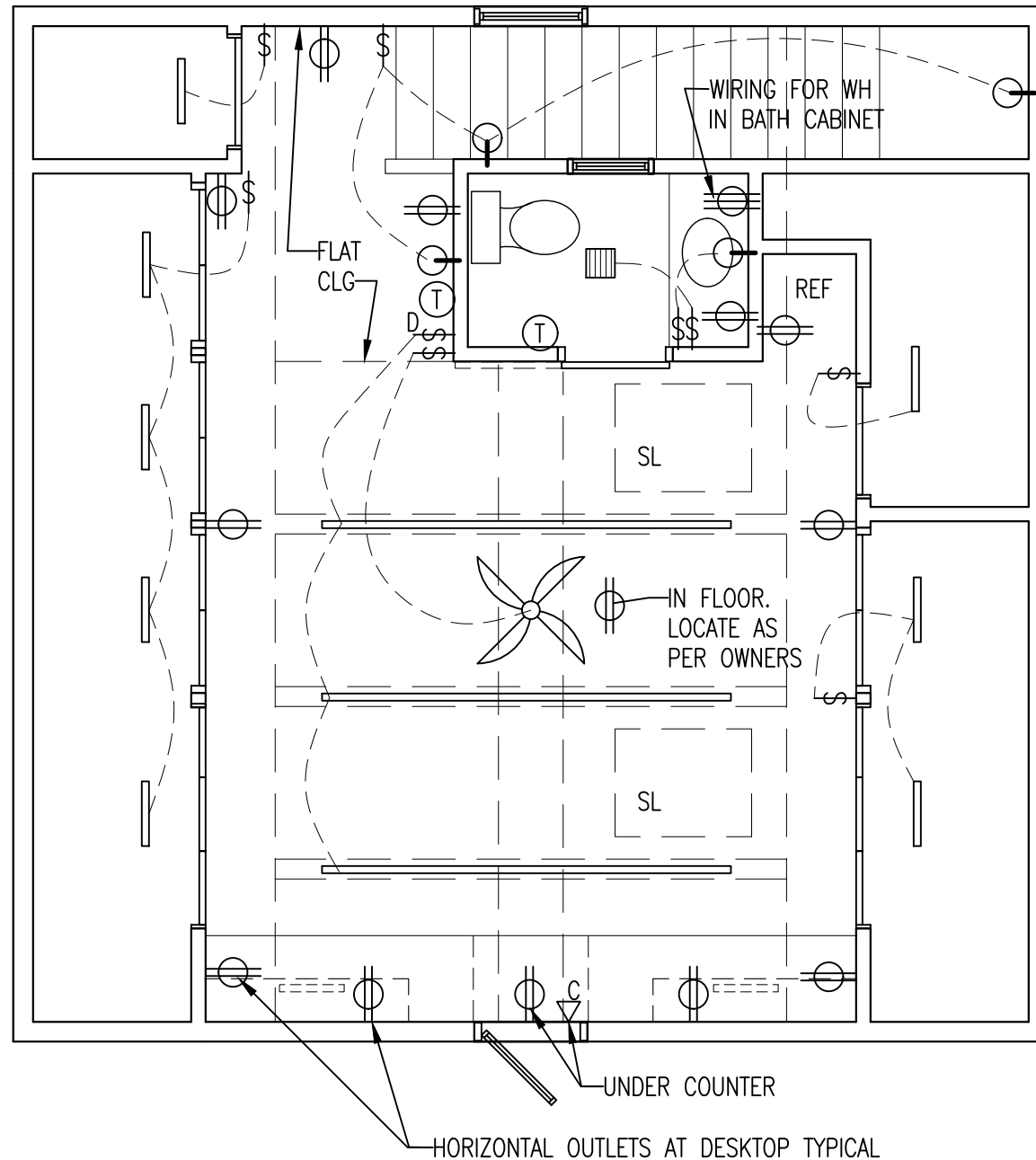


PROPOSED RIGHT SIDE

Scale: 1/4" = 1'-0"

TO BE LOCATED BY ELECTRICAL CONTRACTOR:










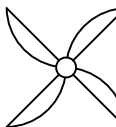


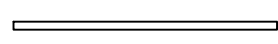
-  WIRING FOR RADIANT HEAT IN BATHROOM FLOOR
-  WIRING FOR HEAT EXCHANGE VENTILATOR EQUIPMENT ABOVE FLAT CEILING
-  WIRING FOR MINI-SPLIT - PLACEMENT AS PER HEATING CONTRACTOR & OWNERS



## ELECTRICAL PLAN AT STUDIO

Scale: 1/4" = 1'-0"

### LEGEND:

-  DUPLEX OUTLET (18" HEIGHT TYP.)
-  SPECIAL WIRING FOR APPLIANCE
-  LIGHT SWITCH
-  3-WAY LIGHT SWITCH
-  DIMMER SWITCH
-  WALL HUNG FIXTURE
-  BATH CEILING EXHAUST FAN
-  THERMOSTAT
-  CABLE OR INTERNET HARD-WIRE CONNECTION
-  CEILING FAN (±42"Ø) MOUNT ON EXTENSION ROD DOWN FROM PEAK
-  18" CLOSET LIGHT. FIXTURE TO MEET NEC 410.16 FOR CLOSETS
-  UNDER-CABINET LIGHTING
-  TRACK OR OTHER LIGHTING ON TOP OF BEAMS

### ELECTRICAL & UTILITY NOTES:

- DESIGN AND INSTALLATION OF ELECTRICAL AND MECHANICAL SYSTEMS ARE THE RESPONSIBILITY OF THE SUBCONTRACTORS FOR THE SPECIFIC TRADES AND MUST COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION
- GENERAL LIGHTING FIXTURES TO BE LOCATED ON TOP OF BEAMS. OWNERS TO CONSULT WITH ROCKINGHAM ELECTRIC FOR FIXTURE RECOMMENDATIONS.
- ELECTRIC RADIANT HEAT IN FLOOR OF BATHROOM
- ON DEMAND ELECTRIC WATER HEATER UNDER BATHROOM SINK
- WRAP EXISTING PLUMBING PIPES TO 2ND FLOOR AND PIPES IN FLOOR GOING TO NEW BATHROOM WITH HEAT TAPE. VERIFY WITH ELECTRICAL CONTRACTOR.
- OUTLETS ABOVE DESKTOP TO BE MOUNTED HORIZONTALLY
- HEAT EXCHANGE VENTILATOR INSTALLATION AND LOCATION OF INTAKE AND EXHAUST VENTS AS PER SPECIFICATION OF MANUFACTURER, OWNERS & CONTRACTOR
- MINI-SPLIT INSTALLATION AND LOCATION OF FRESH AIR INTAKE / EXHAUST VENT AS PER SPECIFICATION OF MANUFACTURER. CONFIRM LOCATIONS WITH OWNERS.
- DISCUSS /COORDINATE PLACEMENTS OF ALL MECHANICAL UNITS, CONTROLS AND THERMOSTATS WITH OWNERS & CONTRACTOR, INCLUDING ELECTRICAL SWITCHES FOR SKYLIGHT OPERATIONS.

**MILLIKAN & LEON**  
284 NEW CASTLE AVE  
PORTSMOUTH, NH 03801

ARILDA DESIGN  
arilda@comcast.net / www.arilda.com  
9 Adams Lane, Unit 2  
Kittery, Maine 03904  
207-604-6848

Revisions:

Studio Electrical Plan  
Electrical Legend & Notes

date: Jan. 10, 2024

scale: 1/4" = 1'-0"

**A4**

DESIGN PRINT ONLY  
NOT FOR CONSTRUCTION  
JANUARY 10, 2024

**7. 2 Congress Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the removal of the electric meters on the building and move them to a free standing panel.

**Staff Comment:** Recommend Approval

**Stipulations:**

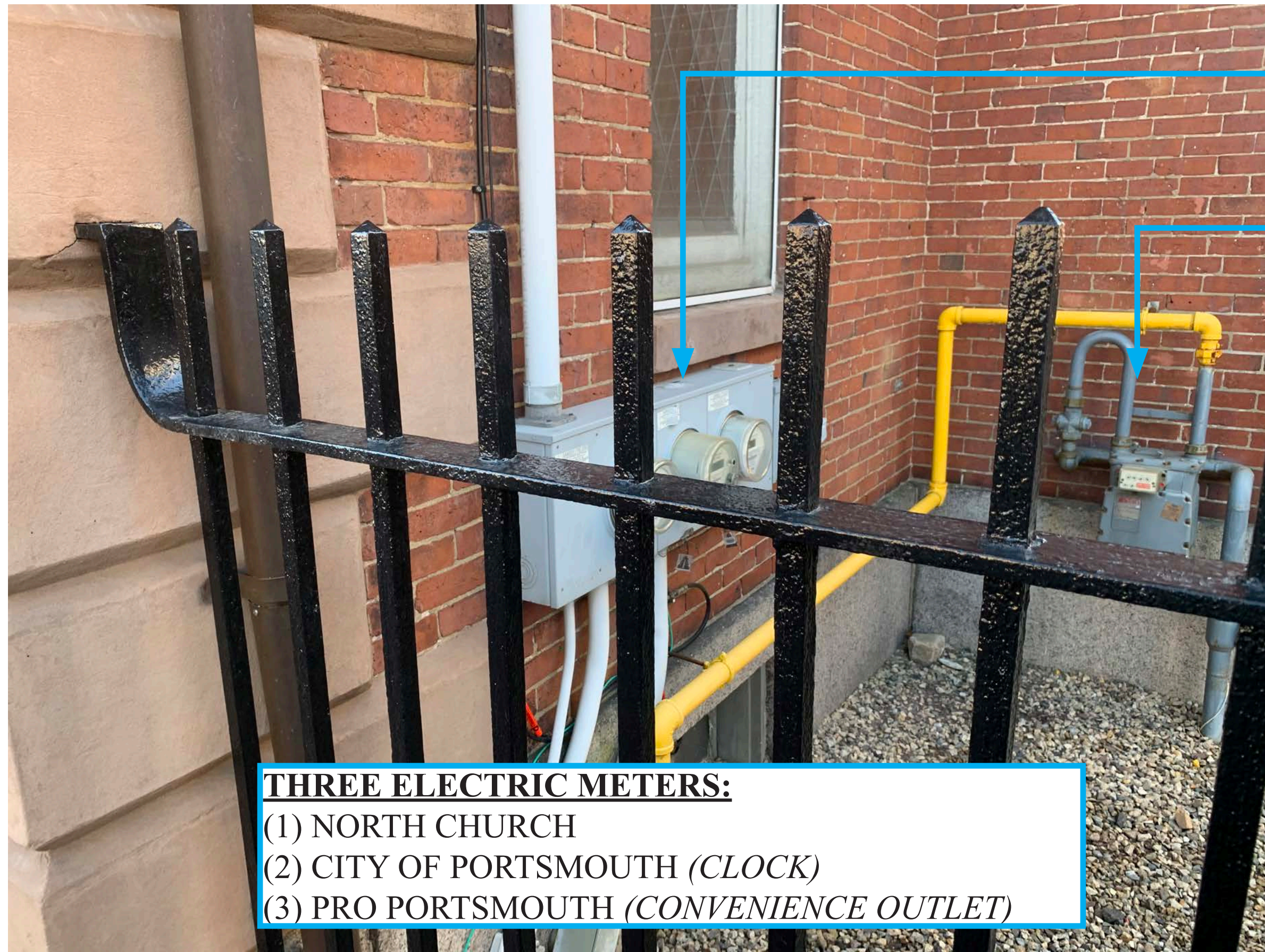
1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



EXISTING  
ELEC METERS  
(NEEDS UPGRADE)

EXISTING  
GAS SERVICE  
(NO CHANGE)

VIEWS OF EXISTING CONDITIONS



EXISTING  
ELEC METERS  
(NEEDS UPGRADE)

EXISTING  
GAS SERVICE  
(NO CHANGE)

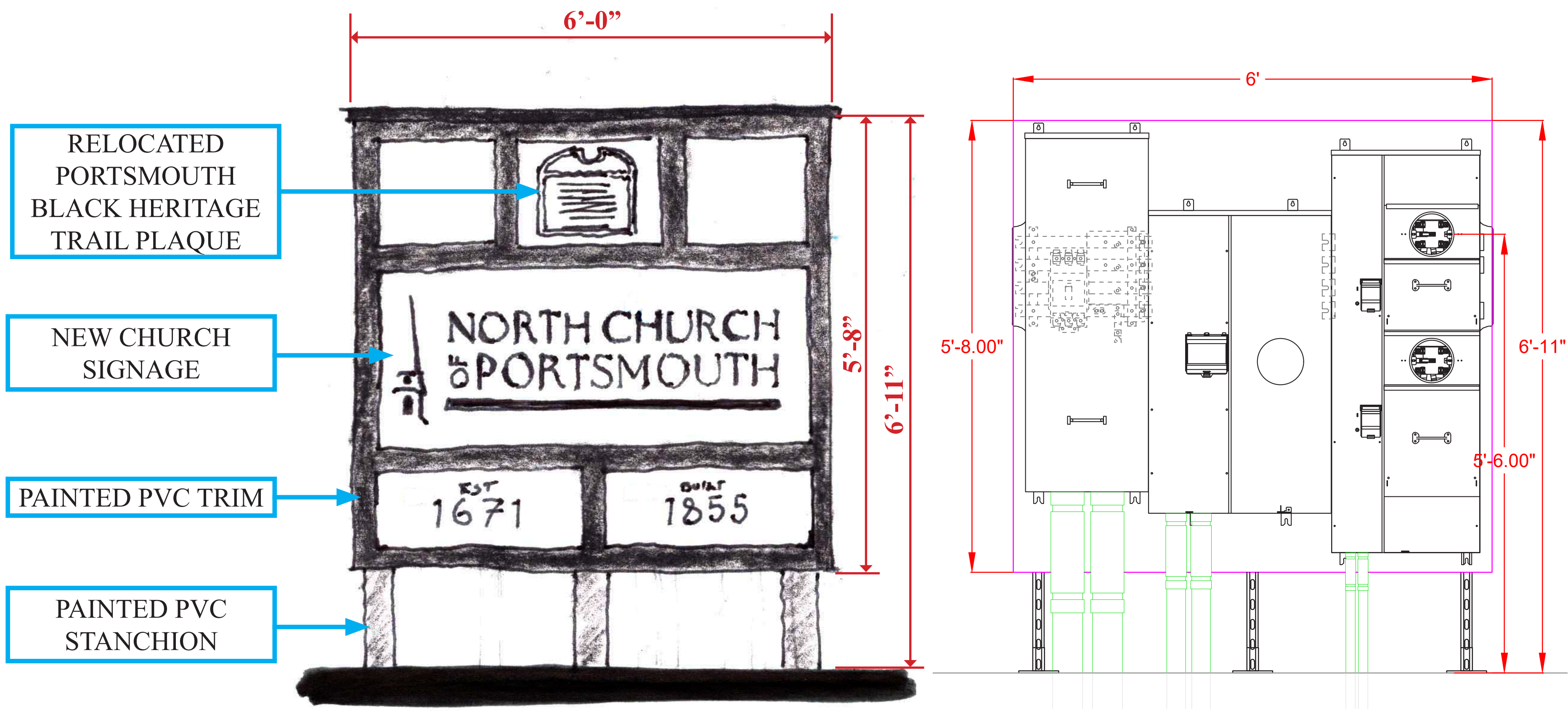
**THREE ELECTRIC METERS:**  
 (1) NORTH CHURCH  
 (2) CITY OF PORTSMOUTH (CLOCK)  
 (3) PRO PORTSMOUTH (CONVENIENCE OUTLET)

APPROXIMATE EXTENT OF  
NECESSARY ELECTRICAL  
METER UPGRADES:  
 - OBSCURES WINDOW  
 - CONFLICT W/ GAS LINE  
 - TOO CLOSE TO GAS METER  
 - REQUIRES ADDITIONAL  
MOUNTING TO BUILDING



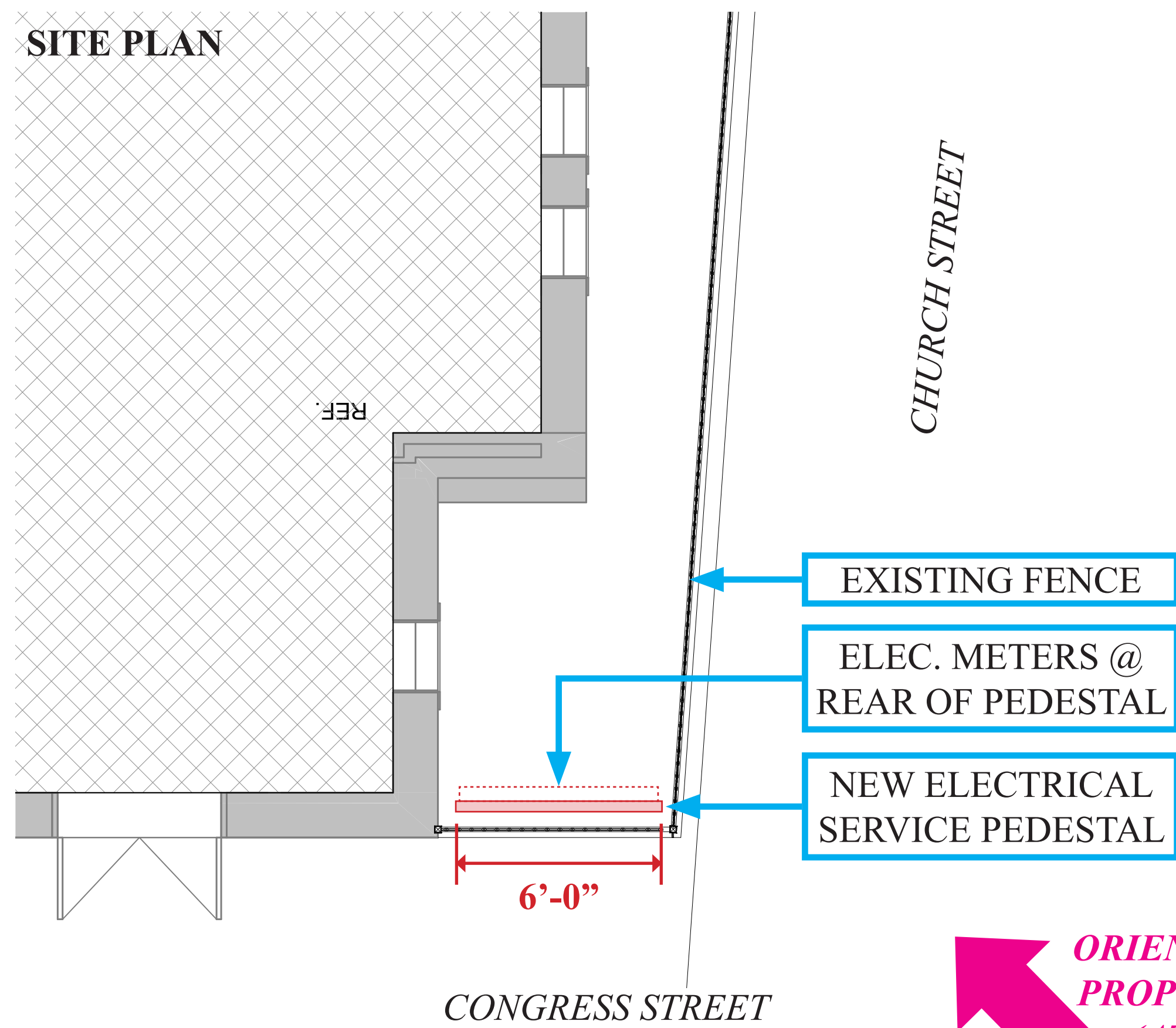
EXISTING VIEW FROM CONGRESS STREET, LOOKING SOUTHEAST

**1** EXISTING ELECTRICAL SERVICE  
SCALE: NTS



NEW ELECTRICAL SERVICE PEDESTAL  
FRONT (CONGRESS STREET) VIEW

NEW ELECTRICAL SERVICE PEDESTAL  
REAR VIEW



ORIENTATION OF  
PROPOSED VIEW  
(AT RIGHT)



PROPOSED VIEW FROM CONGRESS STREET, LOOKING SOUTHEAST

1 PROPOSED ELECTRICAL SERVICE  
SCALE: NTS

**8. 87 Market Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the final roofing material and design for HVAC screening.

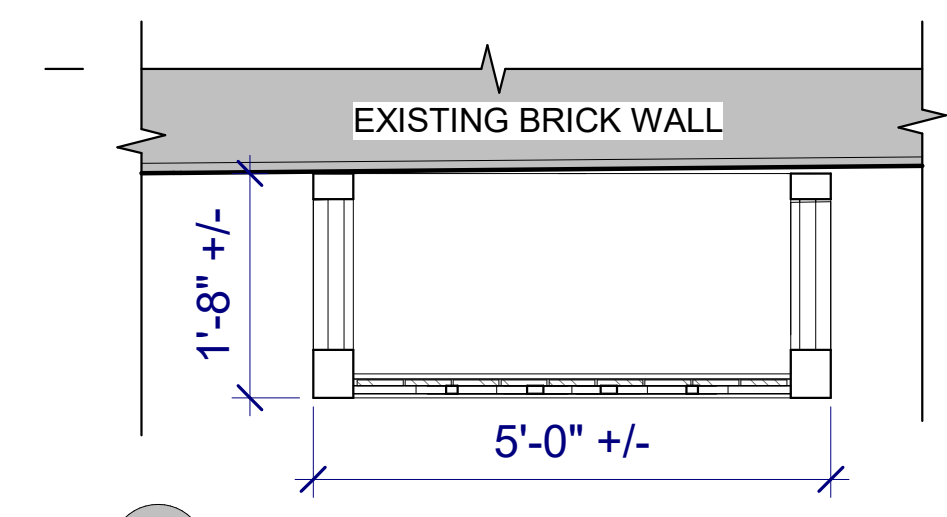
**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

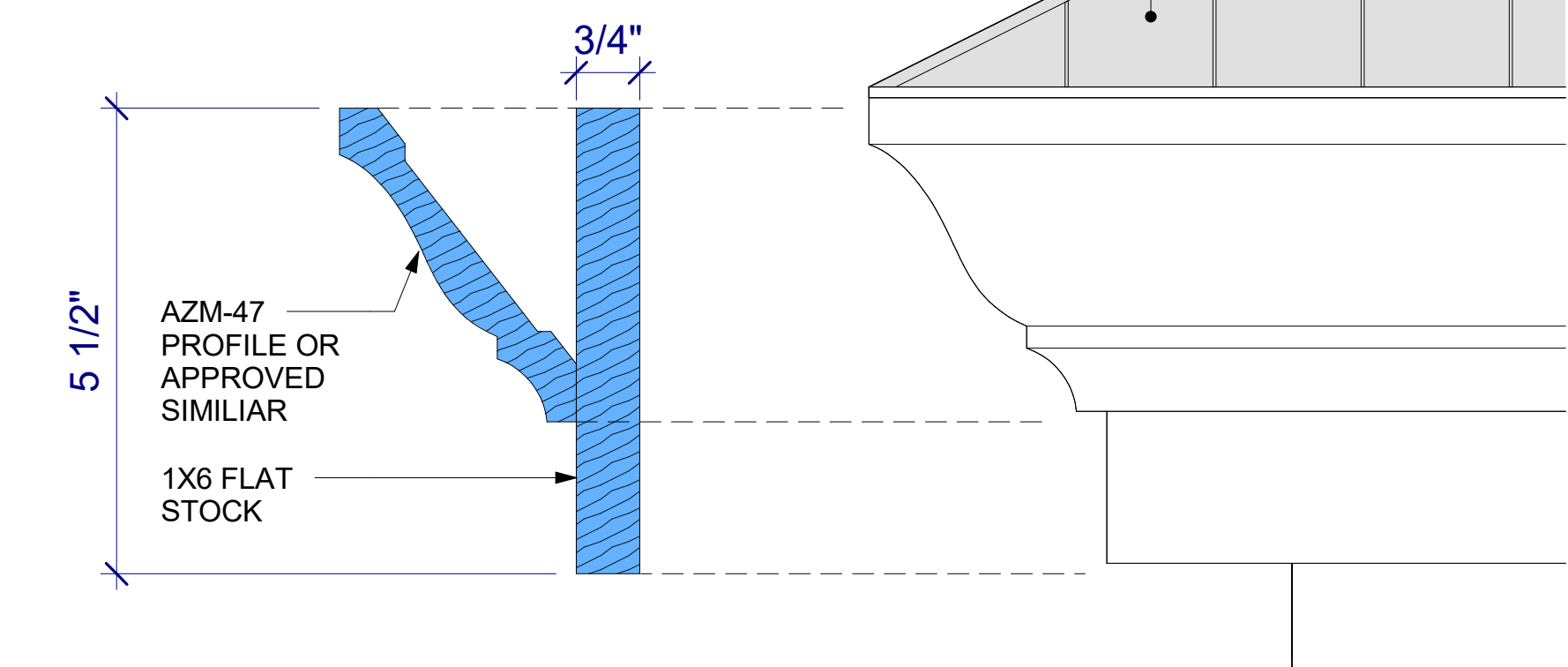


EXISTING CERES STREET PHOTO REFERENCE IMAGE. NOT TO SCALE



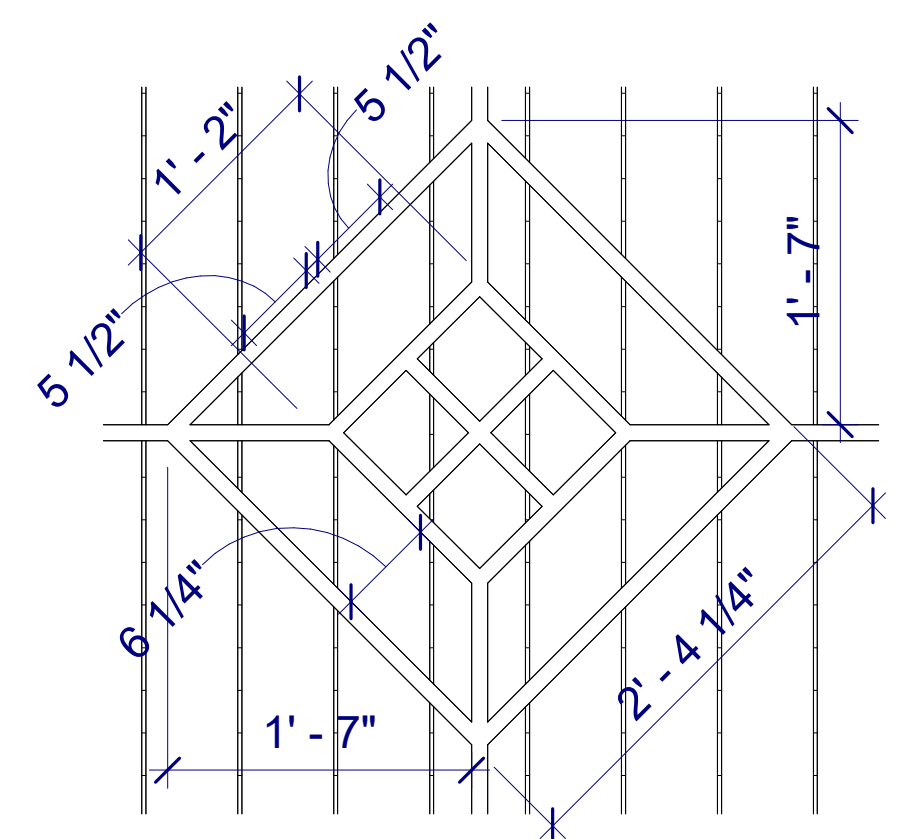
2 HVAC Condenser Unit Screening Structure - Plan View  
1/2" = 1'-0"

EGLERT STANDING SEAM ARCHITECTURAL METAL ROOF  
COLOR: CHARCOAL GREY  
APPROVED SIMILAR

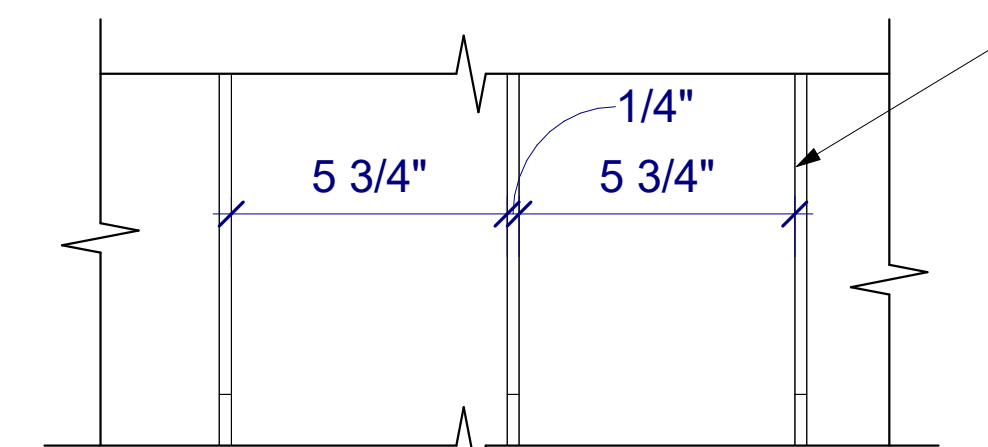


2A Fascia Trim Profile Section  
6" = 1'-0"

2B HVAC Roof Screening Structure - Fascia Detail View  
6" = 1'-0"

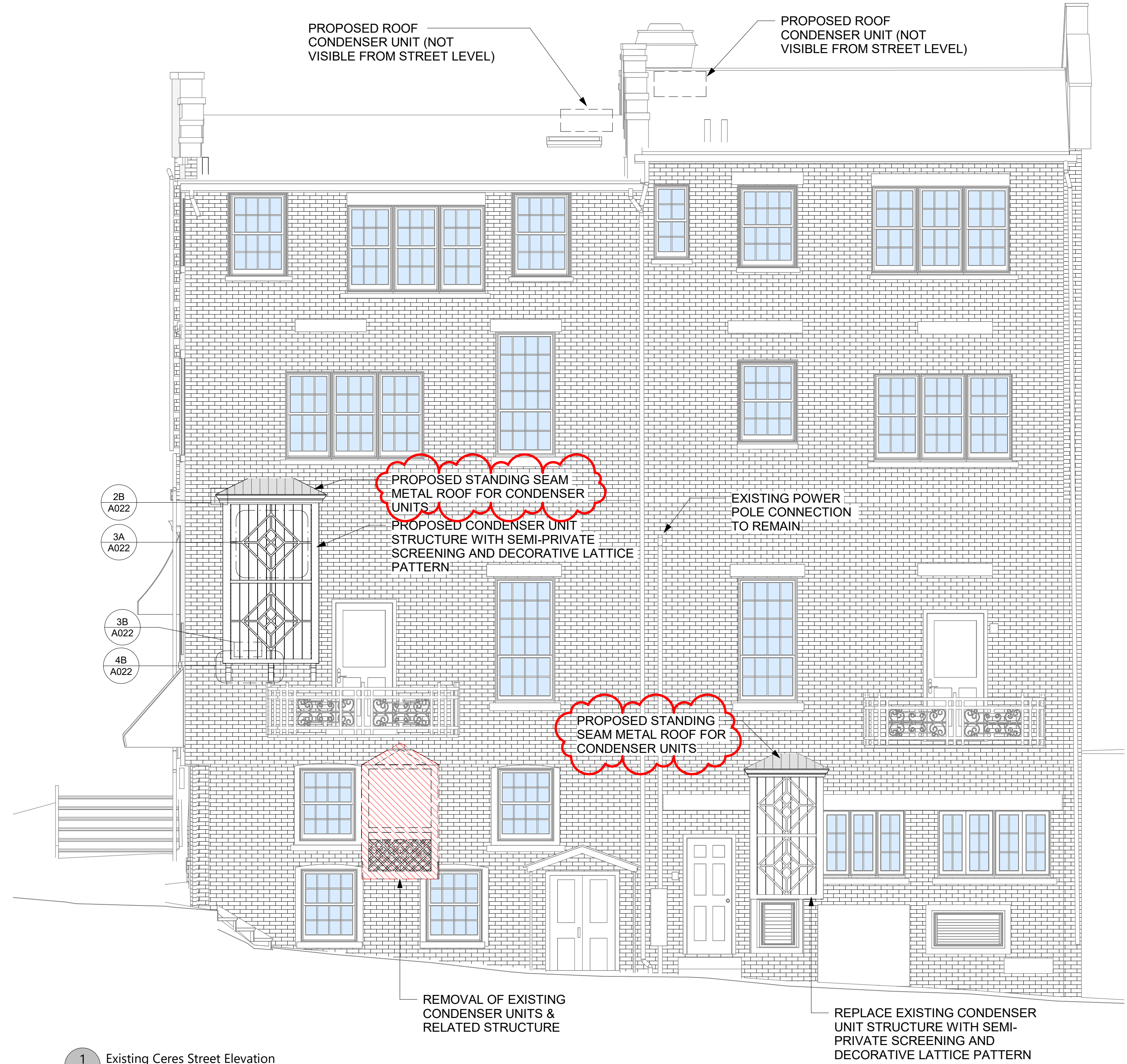


3A HVAC Screening - Decorative Latticework Detail View  
1" = 1'-0"



3B HVAC Screening - Semi-Private Screening  
3" = 1'-0"

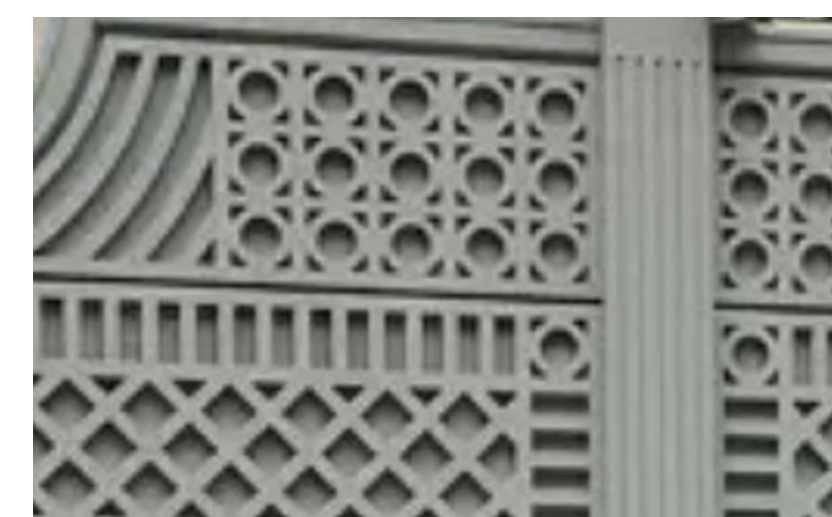
WALPOLE OUTDOORS  
SOLID CELLULAR  
VINYL SEMI PRIVATE  
SCREENING W/  
CUSTOM DECORATIVE  
SOLID CELLULAR  
VINYL LATTICE WORK.  
COLOR TO MATCH  
WHITE WINDOW TRIM



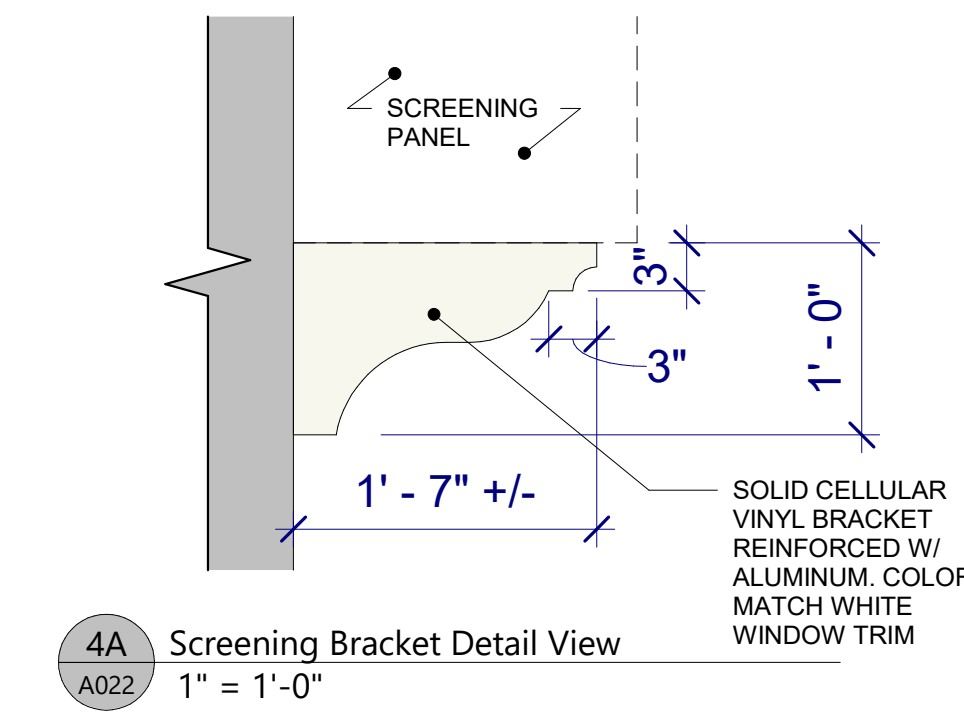
1 Existing Ceres Street Elevation  
1/4" = 1'-0"



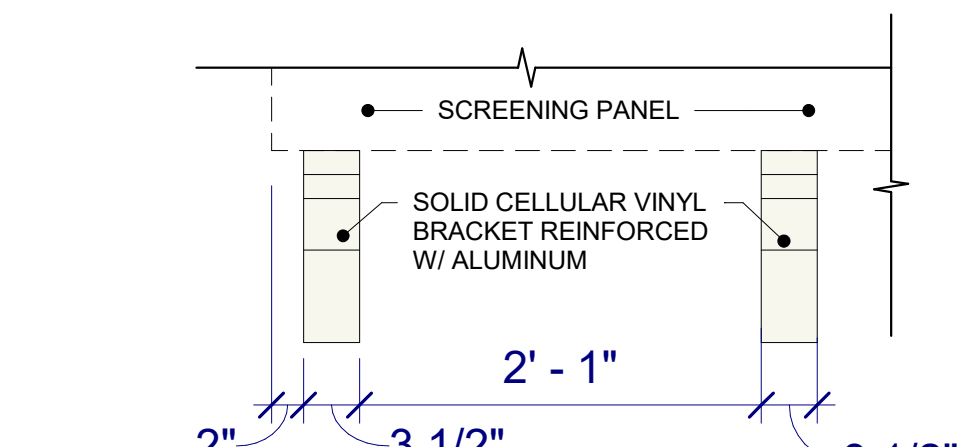
EXAMPLE IMAGE OF DECORATIVE LATTICE CUSTOMIZATION



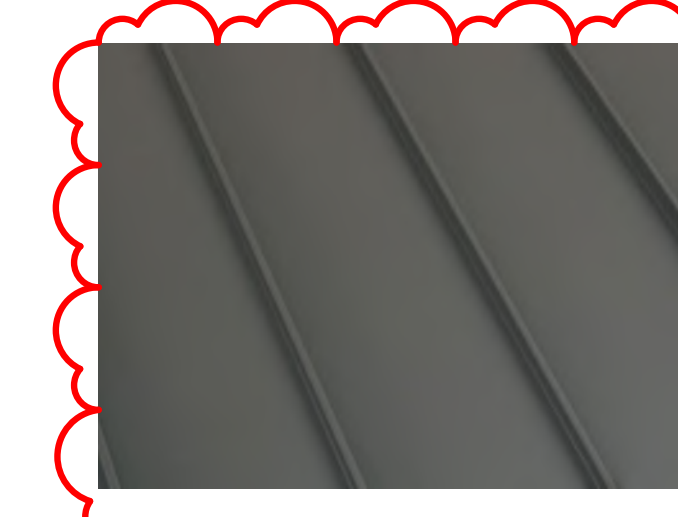
EXAMPLE IMAGE OF DECORATIVE LATTICE CUSTOMIZATION



4A Screening Bracket Detail View  
1" = 1'-0"



4B Screening Bracket Detail View 2  
1" = 1'-0"



CONDENSER UNIT ROOF

EGLERT STANDING SEAM  
ARCHITECTURAL METAL  
ROOF  
COLOR: CHARCOAL GREY  
APPROVED SIMILAR

Rev #	Date	Description
1	03/12/25	Metal Roof Update

**9. 2 Atkinson Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for several exterior modifications (restore front pediment, replace existing fencing, add weather enclosure (per historic photos), reconstruct third chimney (per historic photos), add basement window wells, flood venting, and rear accessible entry.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



# PENHALLOW HOUSE

CITY OF PORTSMOUTH  
Historic District Commission

REVISED SUBMISSION  
APRIL 2025



Penhallow House c. 1935 (Arthur I. Harriman Collection, Courtesy of Portsmouth Athenaeum)

PENHALLOW HOUSE, STRAWBERRY BANKE MUSEUM  
PORTSMOUTH, NH



1 WEST CORNER



2 NORTH CORNER



3 EAST CORNER



4 SOUTH EAST FACADE



5 BARN AT EAST SIDE (BACK)

# HISTORIC PHOTOS

CIRCA. 1933-1939



**1** WEST CORNER



**2** WEST CORNER (WITH CONTEXT)



**3** EAST CORNER



**4** SOUTH EAST FACADE



**5** SOUTH-EAST PEAK DETAIL



FLOODING AT PENHALLOW REAR



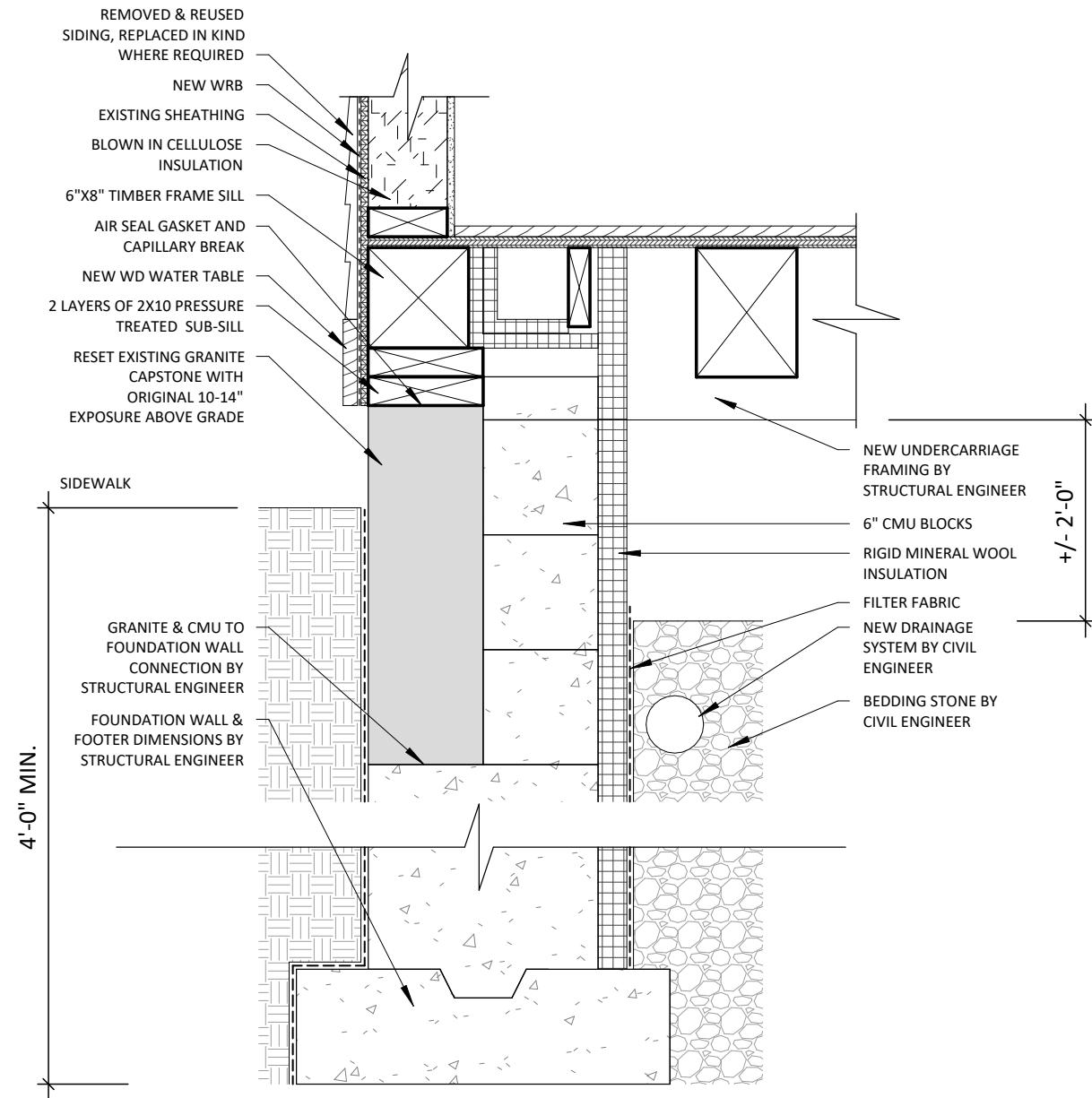
FLOODING AT PENHALLOW REAR

**SECRETARY OF THE INTERIOR: Standards for Rehabilitation & Guidelines on Flood Adaptation for Rehabilitating Historic Buildings**

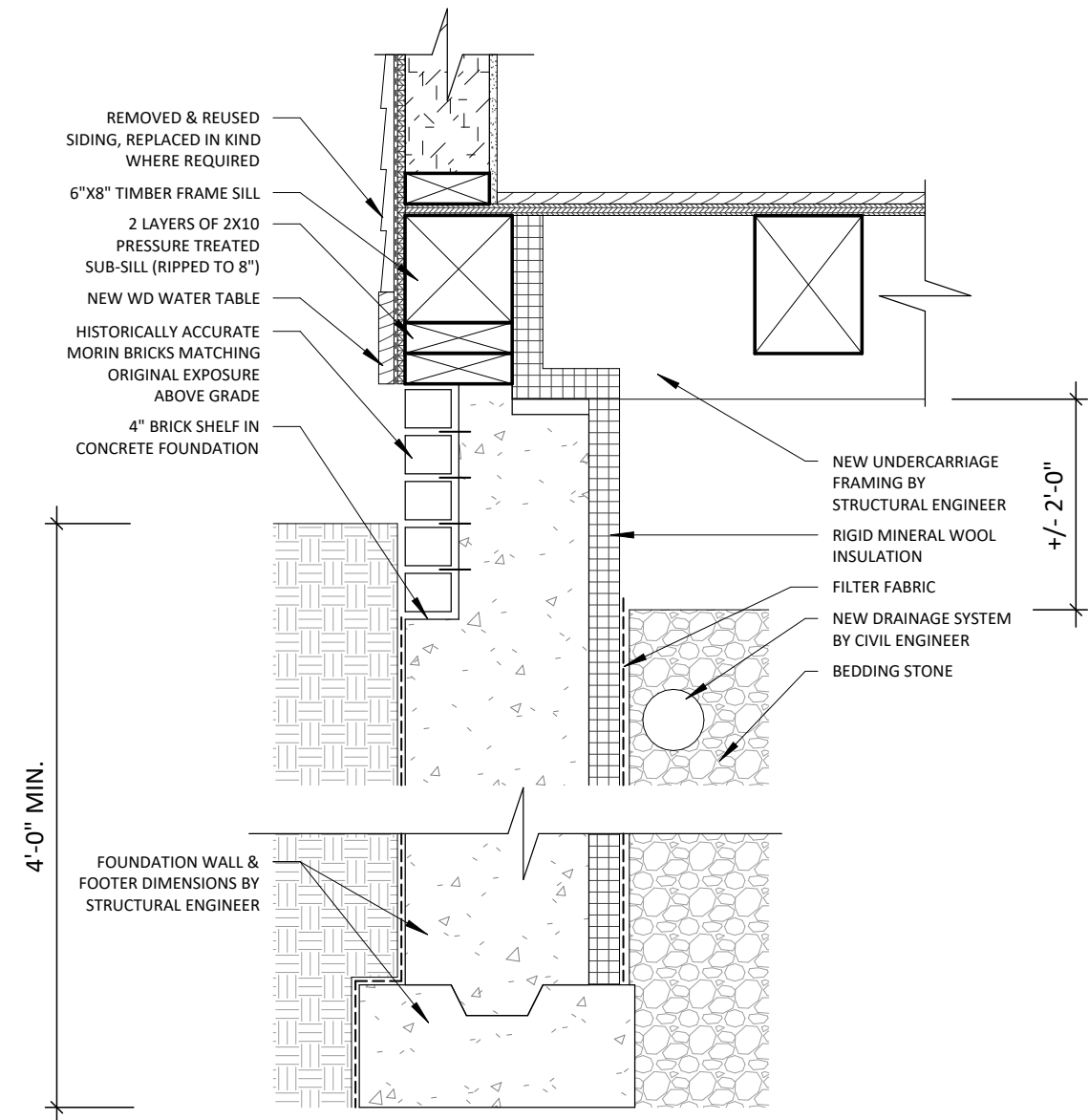
Treatments that might not be considered in other rehabilitation contexts because of their impacts on the historic character of a property may be acceptable in the context of adapting the property to flooding hazards. Even in this context, the selected treatment should always be one that minimizes the changes to the building's historic character and appearance while addressing the risk. Adaptation treatments should increase the building's resilience to flooding risks as much as possible, but should do so without destroying significant historic materials, features, or spaces.

# FOUNDATION WALL DETAILS

SCALE: 1" = 1'-0"



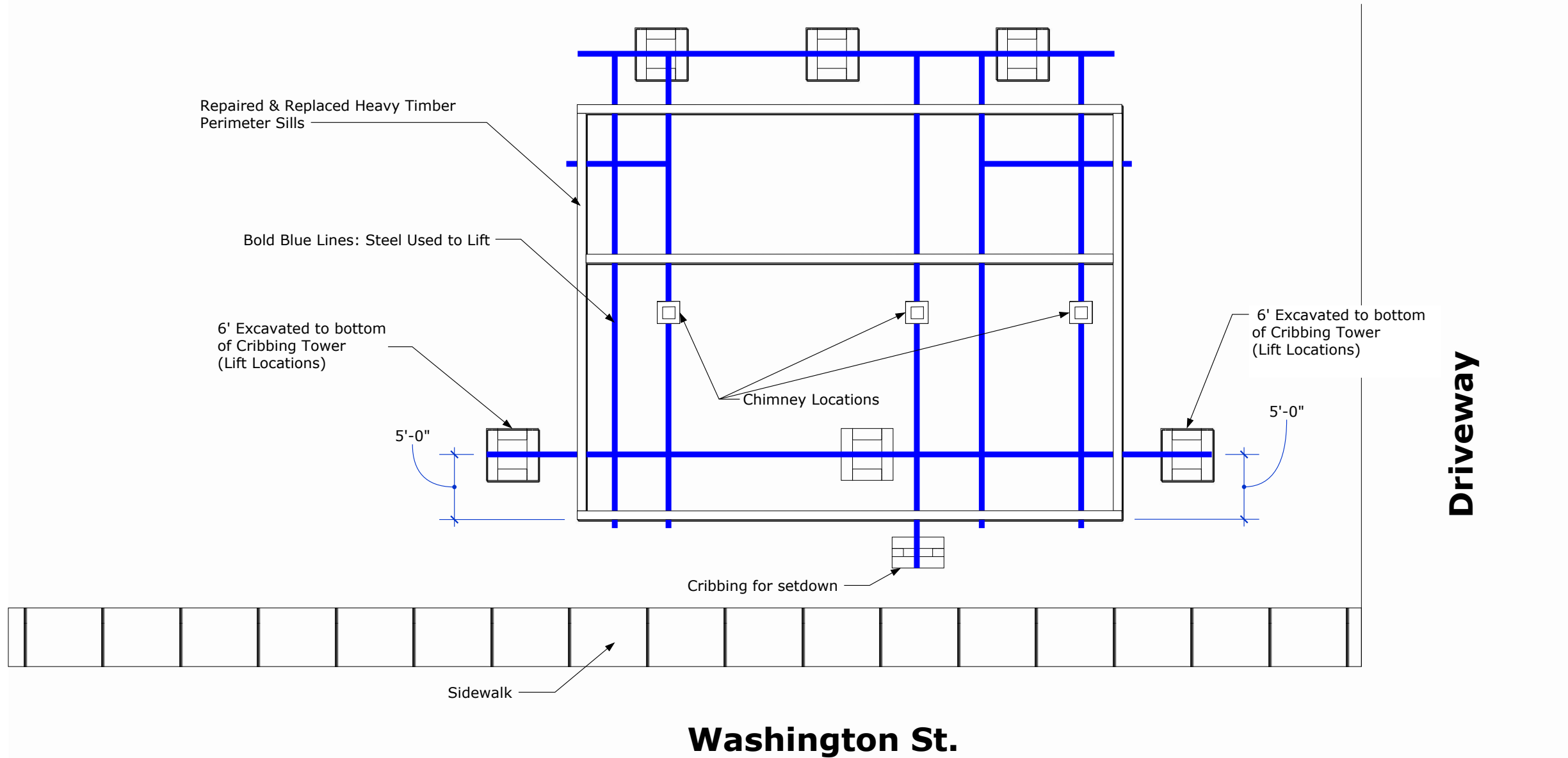
STREET WALL FOUNDATION DETAIL



SIDE WALL FOUNDATION DETAIL



Steel Rigging Plan for House Lift



**PTF**

08.16.2023  
Draft 004  
David Ewing

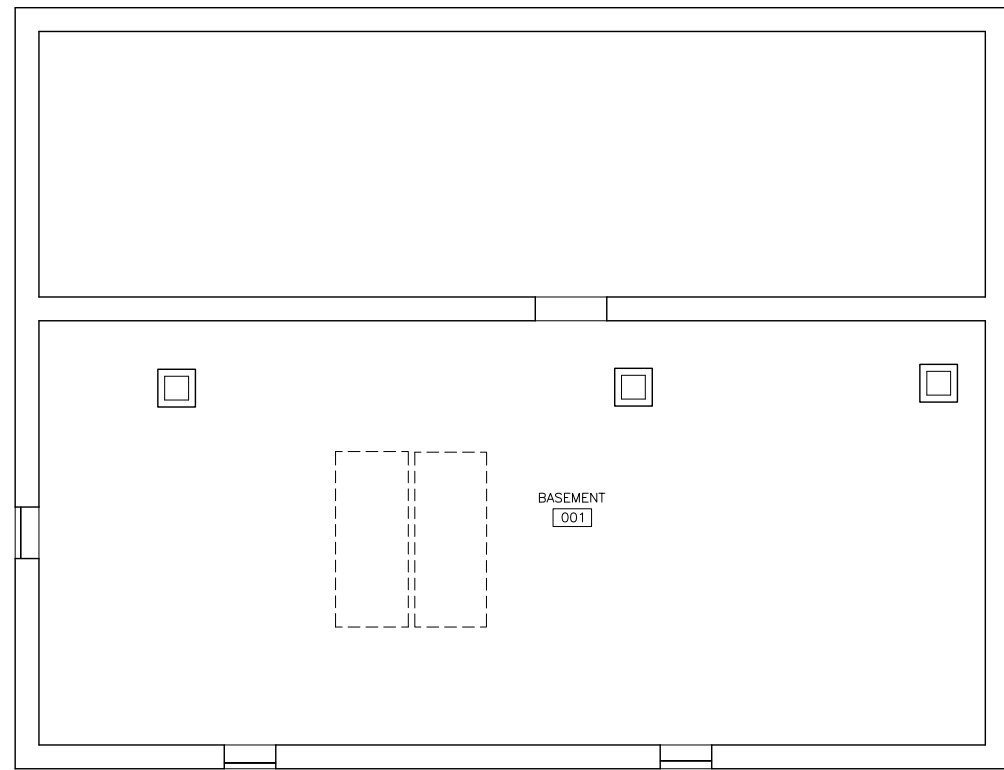
Penhallow House  
Strawbery Banke  
93 Washington St.  
Portsmouth, NH 03801

PRESERVATION TIMBER FRAMING  
P.O. Box 28  
Berwick, ME 03901  
207 698 1695

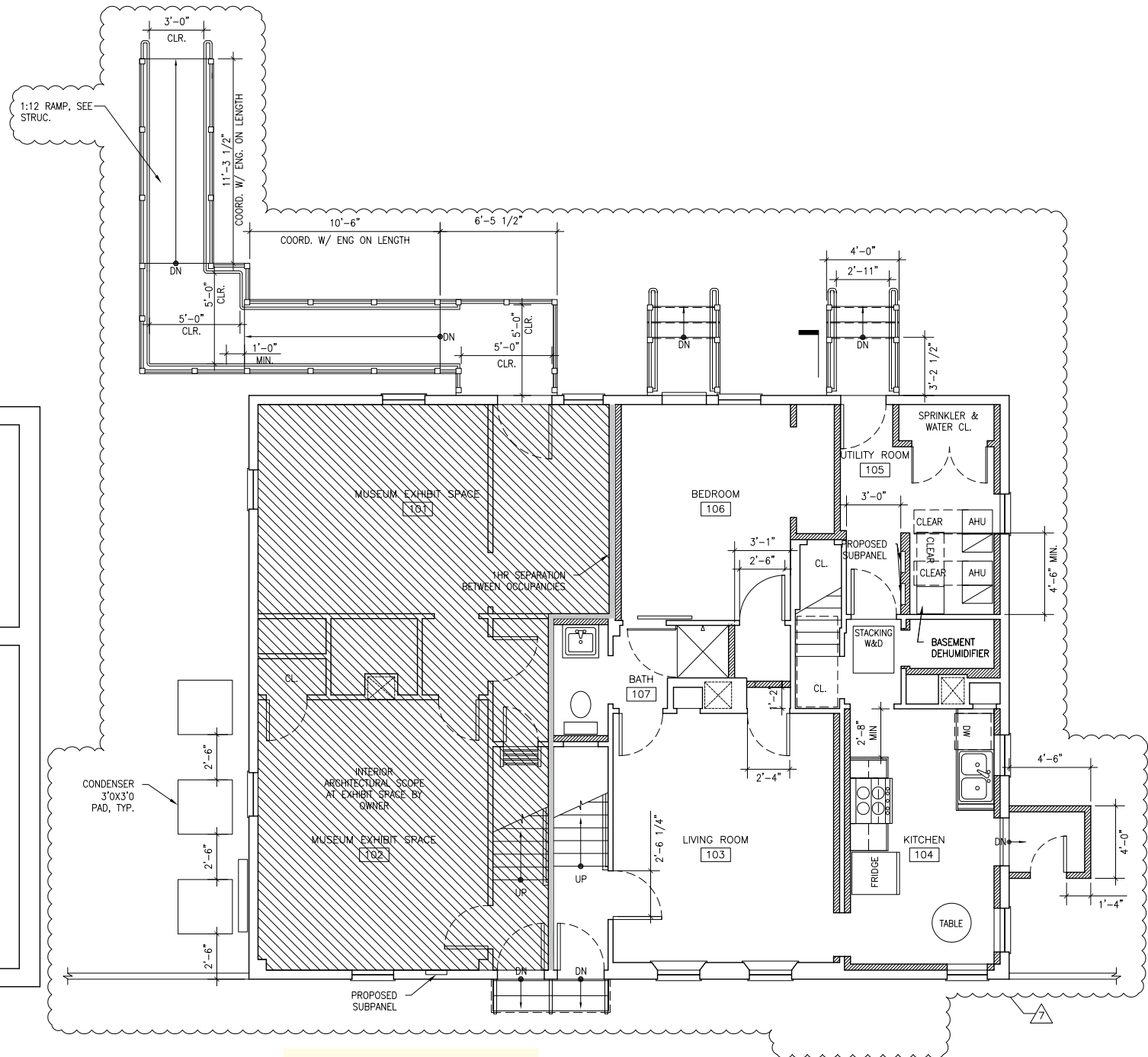
**3**

# PROPOSED PLANS

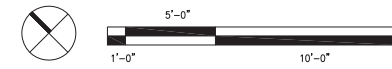
SCALE: 1/8"=1'-0"



BASEMENT PLAN



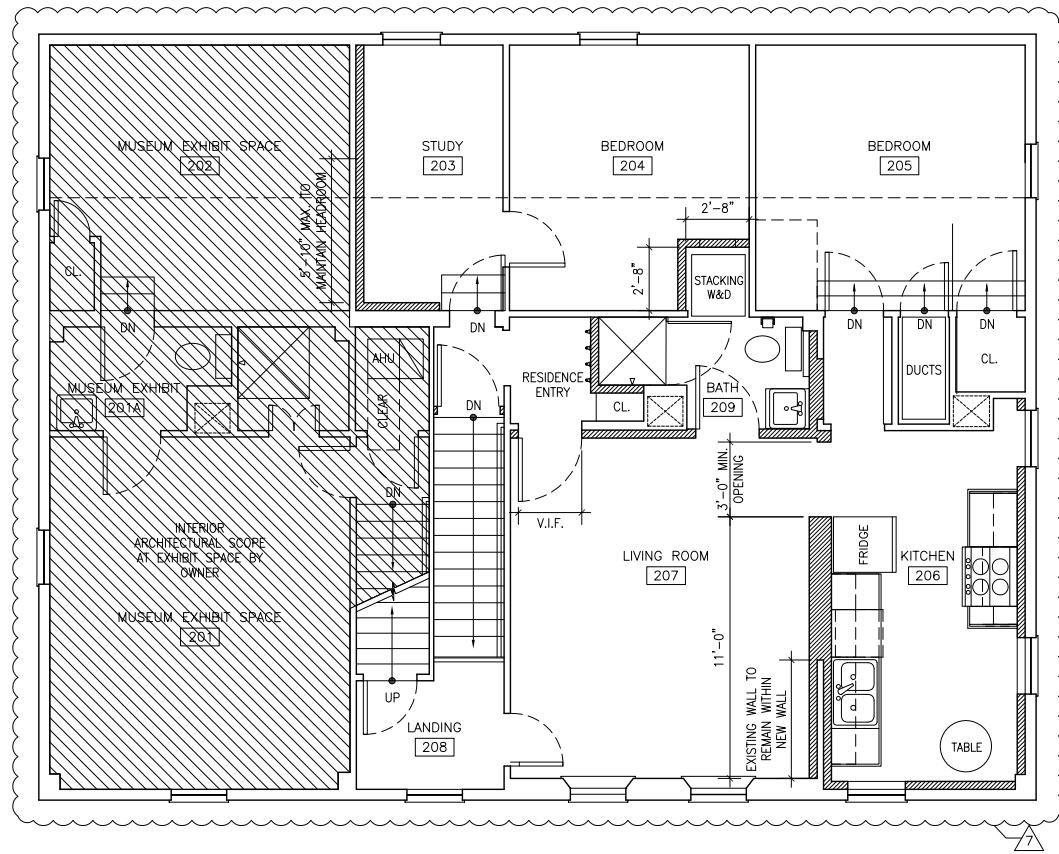
FIRST FLOOR PLAN



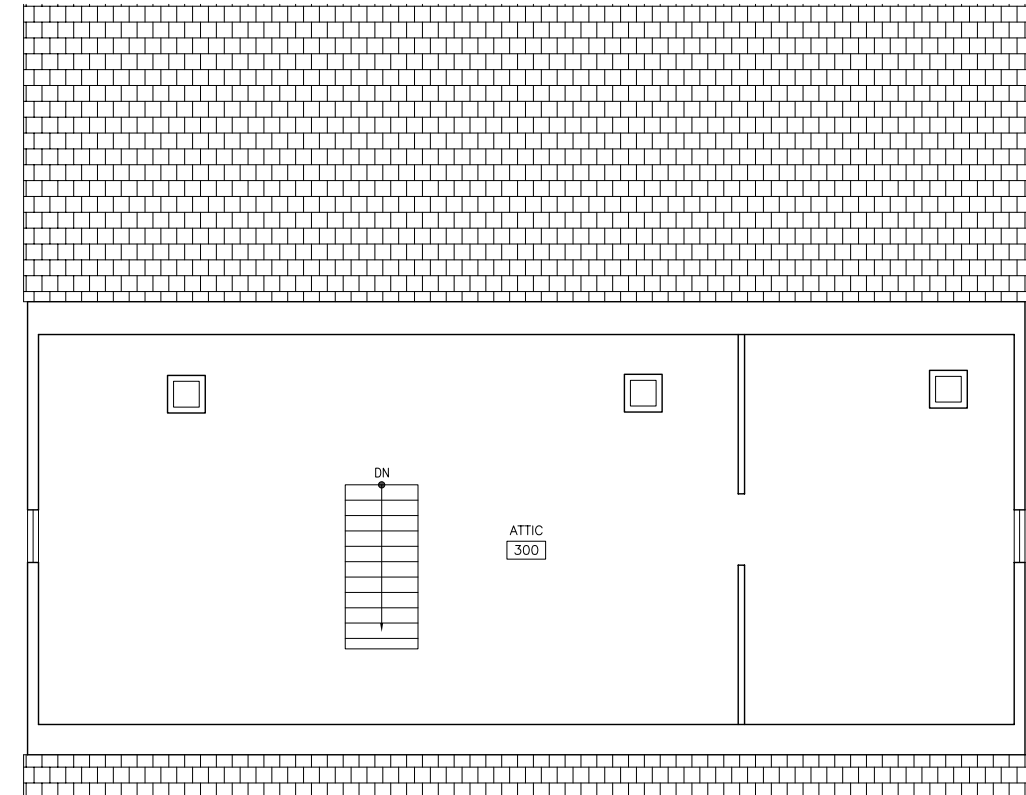


# PROPOSED PLANS

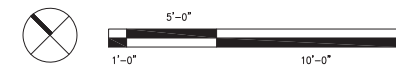
SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

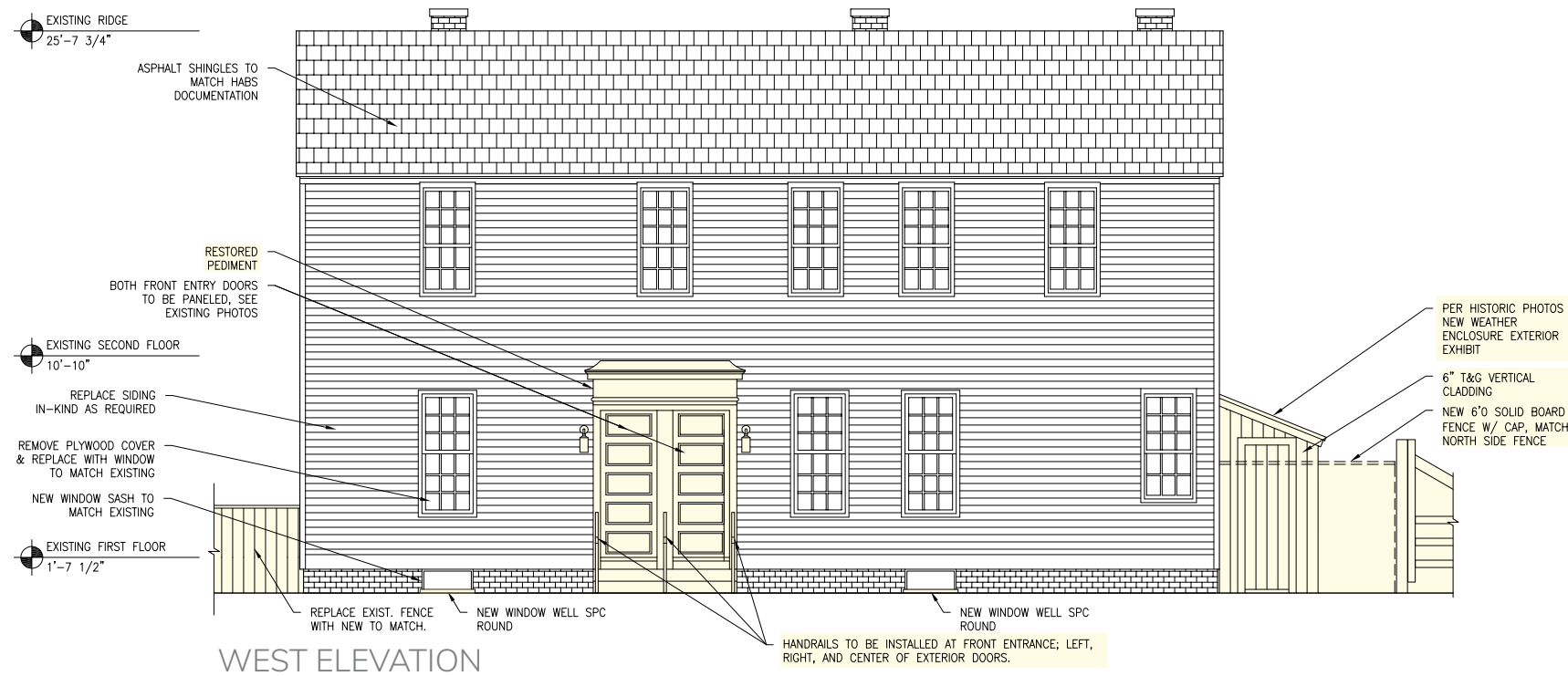


ATTIC FLOOR PLAN



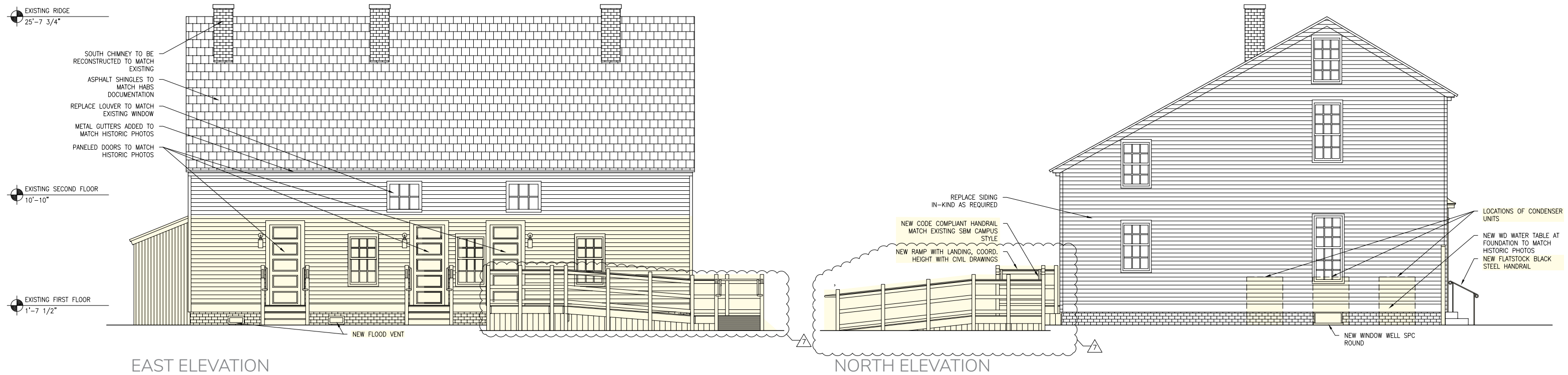
# PROPOSED ELEVATIONS

SCALE: 1/8"=1'-0"



# PROPOSED ELEVATIONS

SCALE: 1/8"=1'-0"



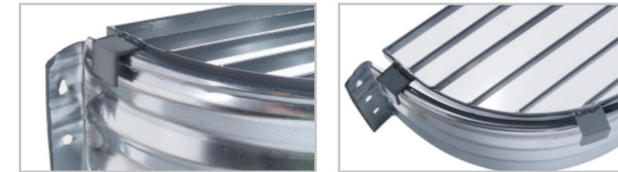
# WINDOW WELL

The grade surrounding the building will be raised to direct water away from the building. This will result in a +/-3-5" decreased foundation exposure from the current condition. Wells will act as drywells, with a drain tied to the building foundation drains.

Window Well size: 46" W x 60" H x 20" Projection (half-round style with grate)



Safe-T-Guard™ Bar Grates



- Designed to fit nearly flush with the top edge of SPC's areawalls.
- Prevents potential fall hazard of open wells.
- Manufactured from 3/16" x 3/4" steel stripbars set 2" on center welded to 3/16" x 1" barframe.
- Painted with industrial gray primer for rust resistance.
- Available in Straight, Casement Egress or Round styles.



## INSULATED FLOOD VENT

Flood Vents allow for bi-directional water flow that relieves hydrostatic pressure and help protect foundations from flood damage. Located on rear facade only.

Size: 16" W x 8" H Color: Black



**10. 170 Gates Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval to use LifeSpan siding where cedar was approved on the right and rear elevations. The front and left side elevations will remain cedar.

**Staff Comment:** Recommend Approval

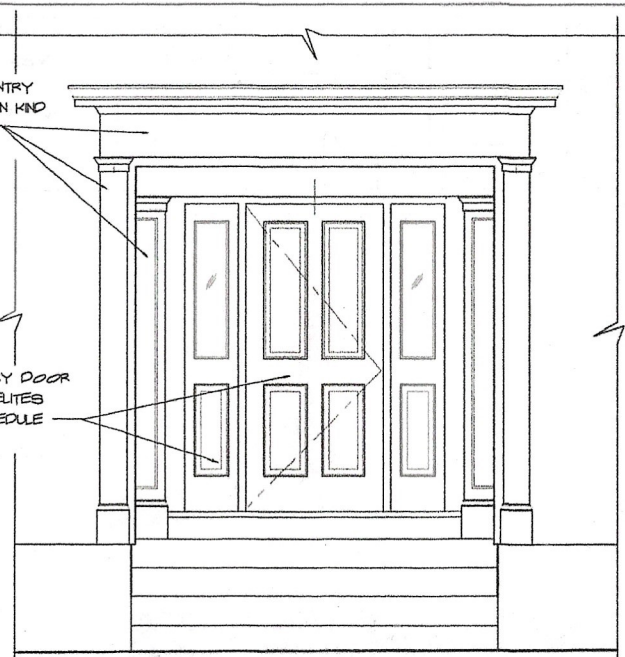
**Stipulations:**

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_



EXISTING FRONT ENTRY DETAILS, REPAIR I N KIND AS REQUIRED

NEW ENTRY DOOR WITH SIDELITES SEE SCHEDULE



FRONT ENTRY DETAIL  
SCALE: 3/16" = 1'-0"

FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

NOTE: REPLACE DAMAGED SIDING TO MATCH EXISTING CEDAR CLAPBOARDS

*THIS WILL STAY CEDAR*



FRONT & RIGHT SIDE ELEVATION

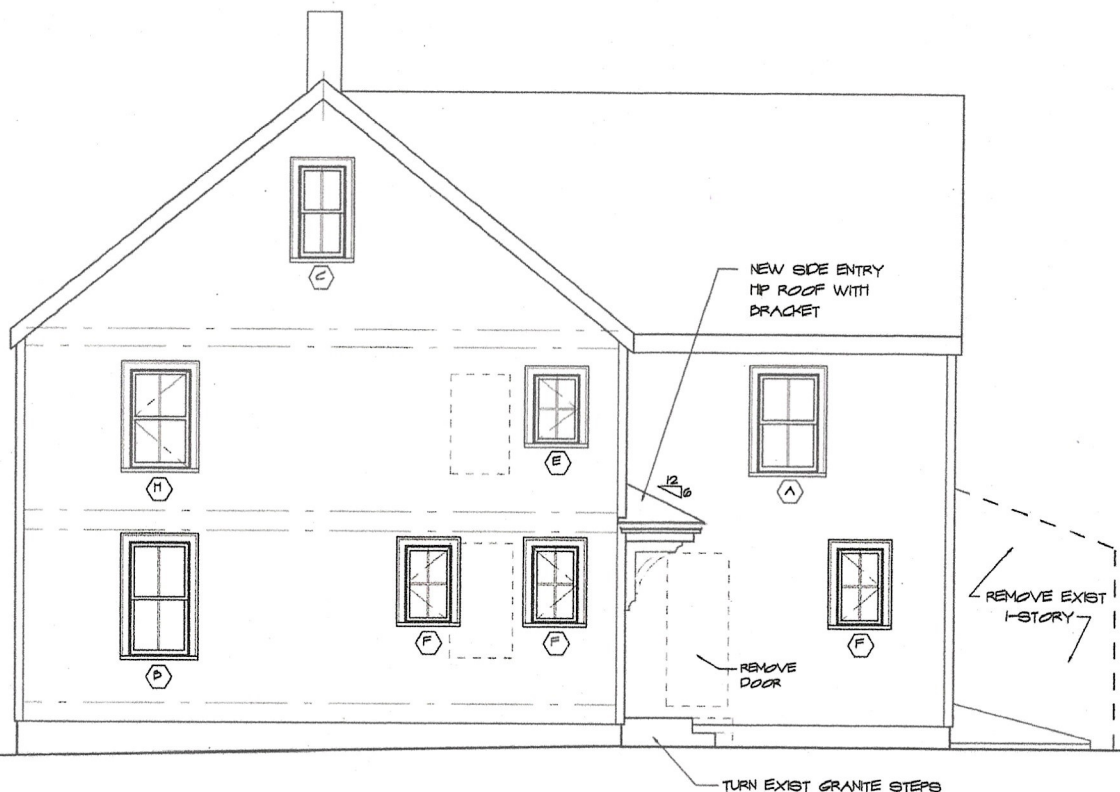


FRONT ENTRY EXISTING DETAILS

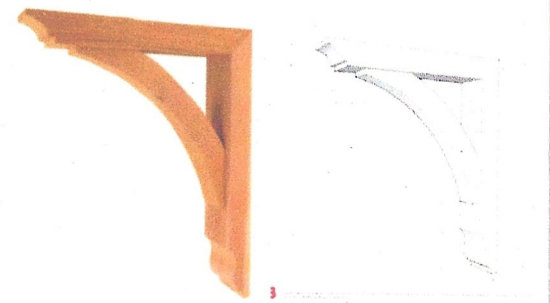


SCHEMATIC DESIGN RENOVATIONS, DRAFFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	881 Islington St, Suite 32 Portsmouth NH 03801 603-582-4387 archwhit@aol.com	Project: 2304 Revisions:	Date: 6/9/24
	ANNE WHITNEY ARCHITECT		2 OF 7

*3/20/25*



RIGHT SIDE ELEVATION



PROWOOD MARKET #10T2T BRACKET

RIGHT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

NOTE: REPLACE EXISTING ALUMINUM SIDING  
WITH PREPRIMED ~~CEDAR~~ CEDAR CLAPBOARDS

*LIFESPAN THIS SIDE*

SCHEMATIC DESIGN	881 Islington St, Suite 32 Portsmouth NH 03801 603-582-4387 archwhit@aol.com	Project: # 2304	Date: 10/9/24
		ANNE WHITNEY ARCHITECT RENOVATIONS, DRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	Revitons:  3 OF 7





REAR ELEVATION



REAR ELEVATION



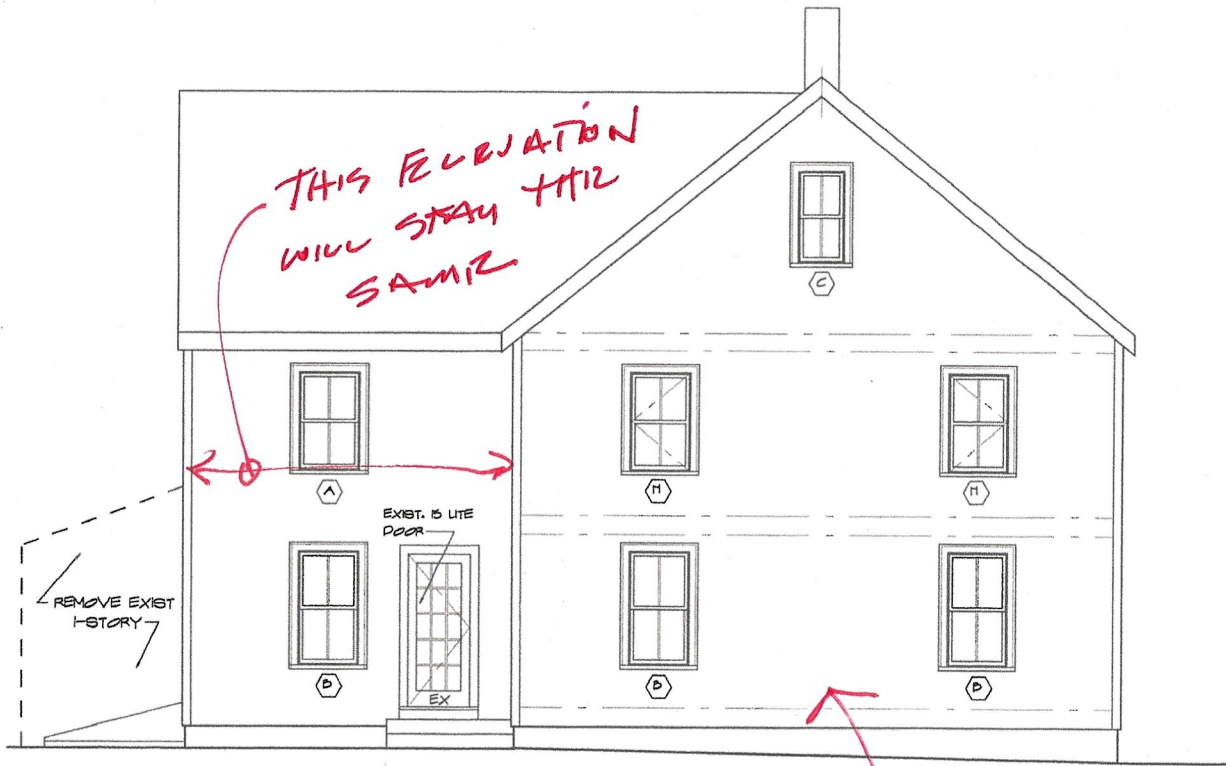
REAR ELEVATION FROM MARCY STREET

REAR ELEVATION  
SCALE: 3/16" = 1'-0"

NOTE: REPLACE EXISTING VINYL SIDING WITH  
PREPRIMED ~~Cedar~~ CLAPBOARDS

*LIFESPAN THIS SIDE*

/	SCHMATIC DESIGN	681 Islington St, Suite 22 Portsmouth NH 03801 603-682-4587 archwhite@aol.com	Project # 2304	Date: 10/9/24
	RENOVATIONS, DRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH		ANNE WHITNEY ARCHITECT REVISIONS:	4 OF 7



LEFT SIDE ELEVATION

⊖ LEFT SIDE ELEVATION  
SCALE : 3/16" = 1'-0"

NOTE : REPLACE DAMAGED SIDING TO MATCH  
EXISTING CEDRAR CLAPBOARD

WILL STAY CEDAR

SCHEMATIC DESIGN

RENOVATIONS, BRADFORD RESIDENCE

170 GATES STREET

881 Ellington St, Suite 32  
Portsmouth NH 03801  
603-582-4387  
archwhit@aol.com

ANNE WHITNEY ARCHITECT

PORTSMOUTH, NH

Project: 2304

Revisions:

Date: 10/9/24

5 OF 7

# 11. 111 State Street

# -Recommended Approval

**Background: The applicant is seeking approval for revisions to a previously approved plan:**

1. Shaefe Street

- A. Vertical trim piece omitted at wall below gable valley
- B. Window at gable valley changed from 1/1 to 9/3.
- C. Replace crown moulding on rear gable & rake fascias with 1x2 trim
- D. Frieze trim omitted under gable returns.
- E. Eave at east shed dormer raised 7", wall pushed forward 4"

2. State Street

- A. Main entry door sidelites are glass instead of wood panel.
- B. Gable dormers trim is wider.
- C. East Storefronts changed from 2 pairs of 3' wide; to 1 pair of 6'-5" wide; with 16 lites instead of 32.

3. Chapel Street

- A. Side door transom is 4 lites instead of 5; with sider pilaster trim.

**Staff Comment: Recommend Approval**

## Stipulations:

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_

# 111 STATE STREET ADDITION & RENOVATION



**COVENTRY REALTY, LLC**

**HDC- Revision 8  
ADMINISTRATIVE  
APPROVAL  
APRIL 2025**

## REVISIONS TO PREVIOUSLY APPROVED APPLICATION - Response to Planning Department As-Built Compliance Review

1. Shaefe Street
  - A. Vertical trim piece omitted at wall below gable valley
  - B. Window at gable valley changed from 1/1 to 9/3.
  - C. Replace crown moulding on rear gable & rake fascias with 1x2 trim
  - D. Frieze trim omitted under gable returns.
  - E. Eave at east shed dormer raised 7", wall pushed forward 4"
2. State Street
  - A. Main entry door sidelites are glass instead of wood panel.
  - B. Gable dormers trim is wider.
  - C. East Storefronts changed from 2 pairs of 3' wide; to 1 pair of 6'-5" wide; with 16 lites instead of 32.
3. Chapel Street
  - A. Side door transom is 4 lites instead of 5; with sider pilaster trim.

## DRAWING LIST

- H0.1 COVER
- H2.1 STATE ST ELEVATION
- H2.4 SHEAFE STREET ELEVATION
- H2.5 CHAPEL ST ELEVATION

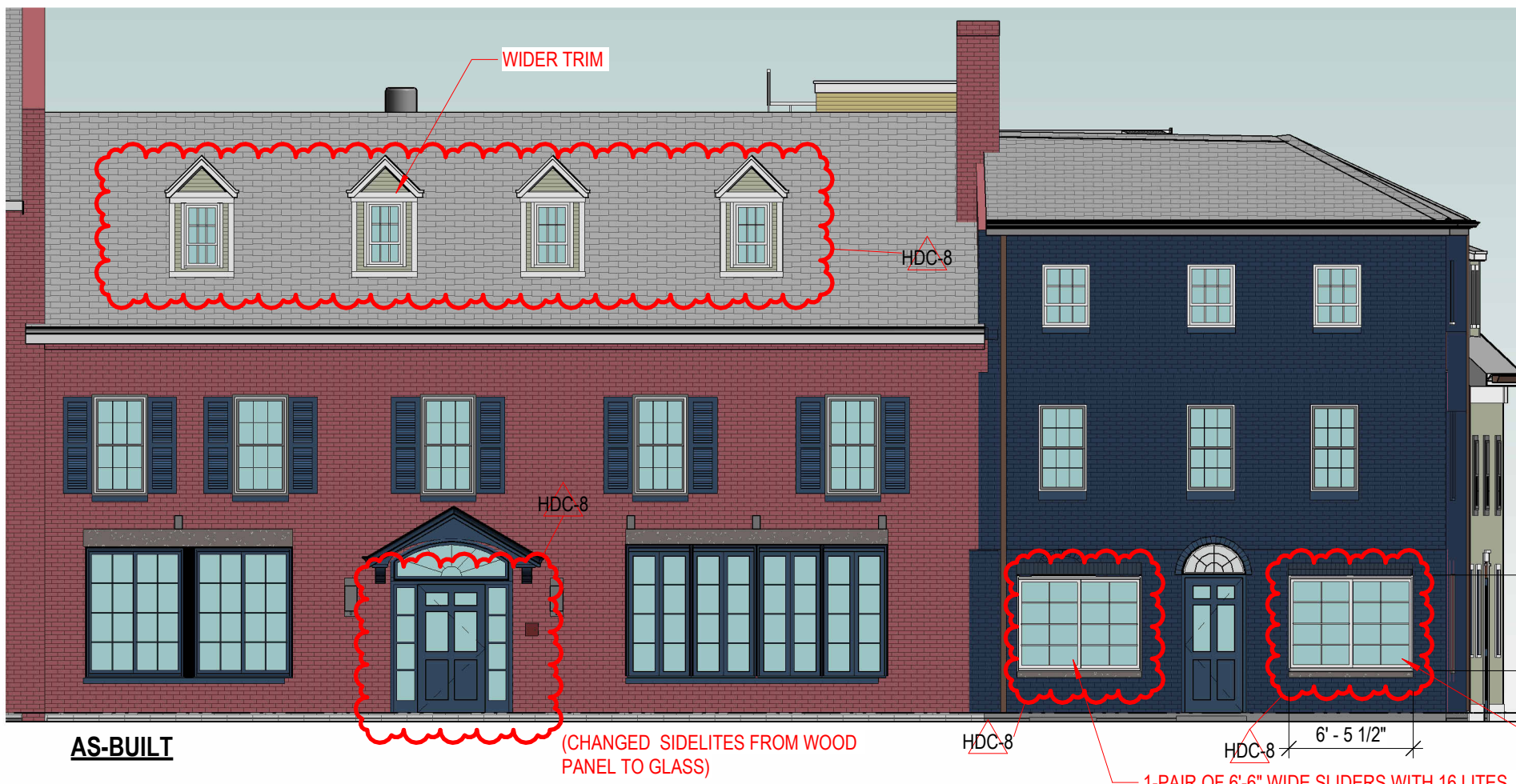
**H0.1**

**COVER  
111 STATE STREET**

SCALE:  
03/21/2025



COPYRIGHT © 2022



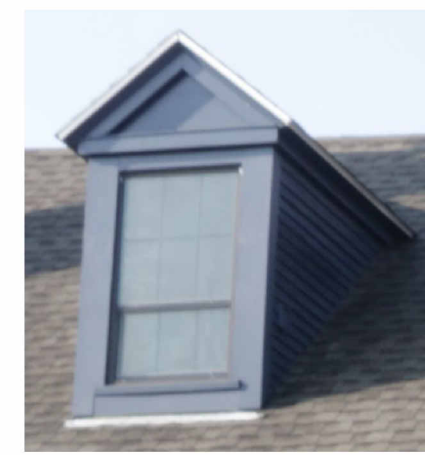
**AS-BUILT**

(CHANGED SIDELITES FROM WOOD PANEL TO GLASS)

1-PAIR OF 6'-6" WIDE SLIDERS WITH 16 LITES, INSTEAD OF 2 PAIRS OF 3' WIDE SLIDERS WITH 32 LITES.



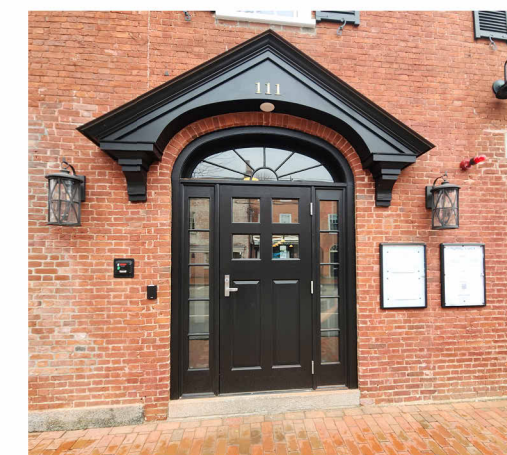
**AS-BUILT**



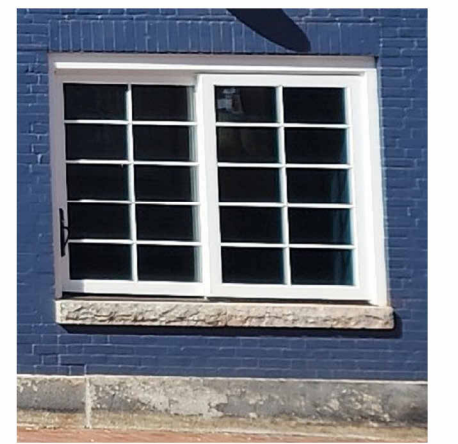
**ORIGINAL EXISTING**



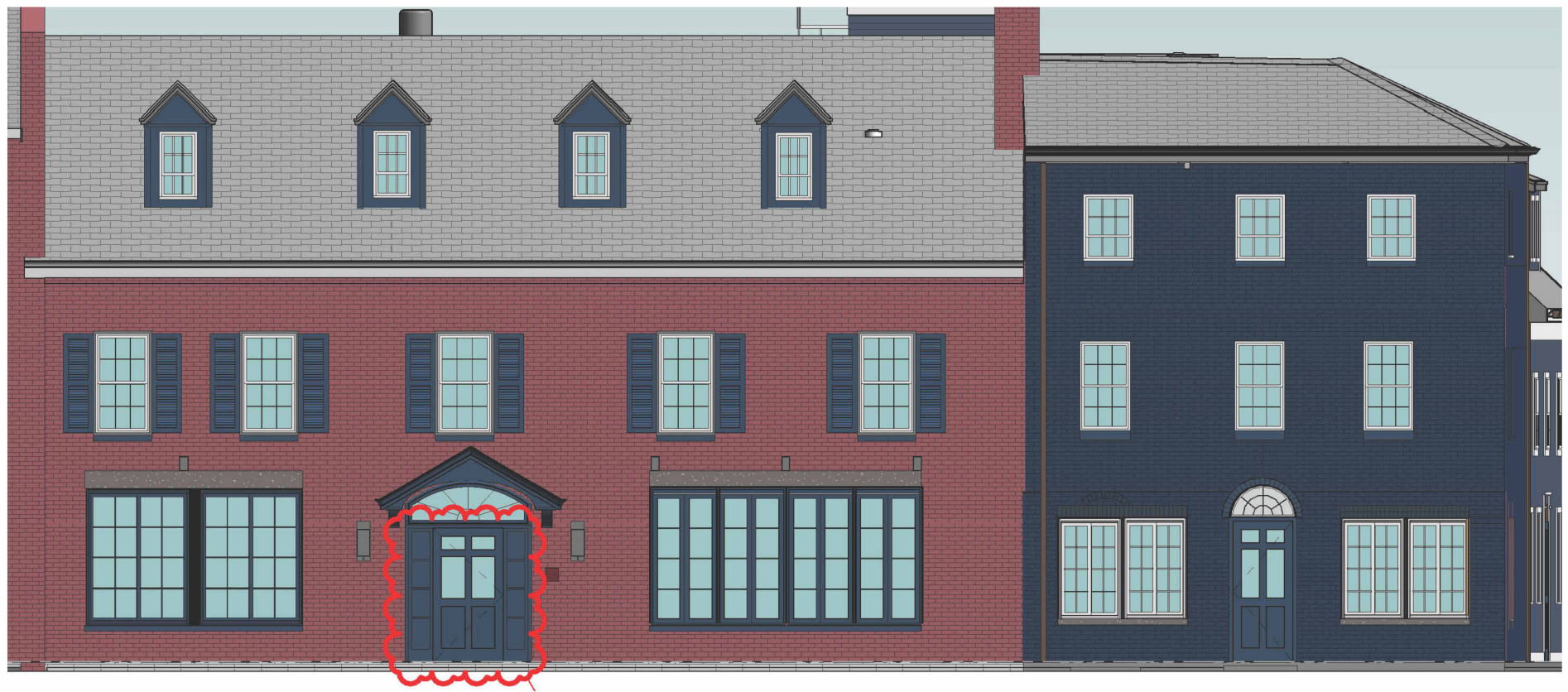
**AS-BUILT**



**AS-BUILT**



**AS-BUILT**



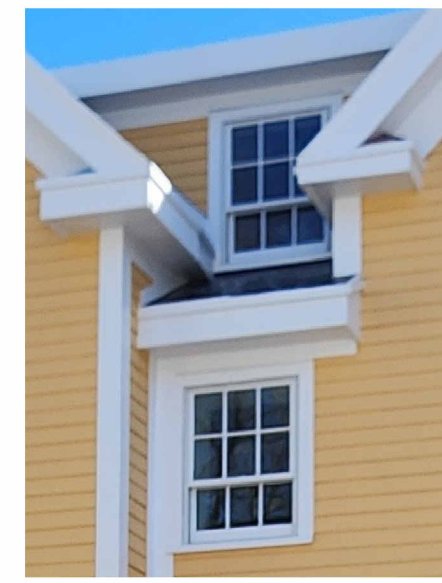
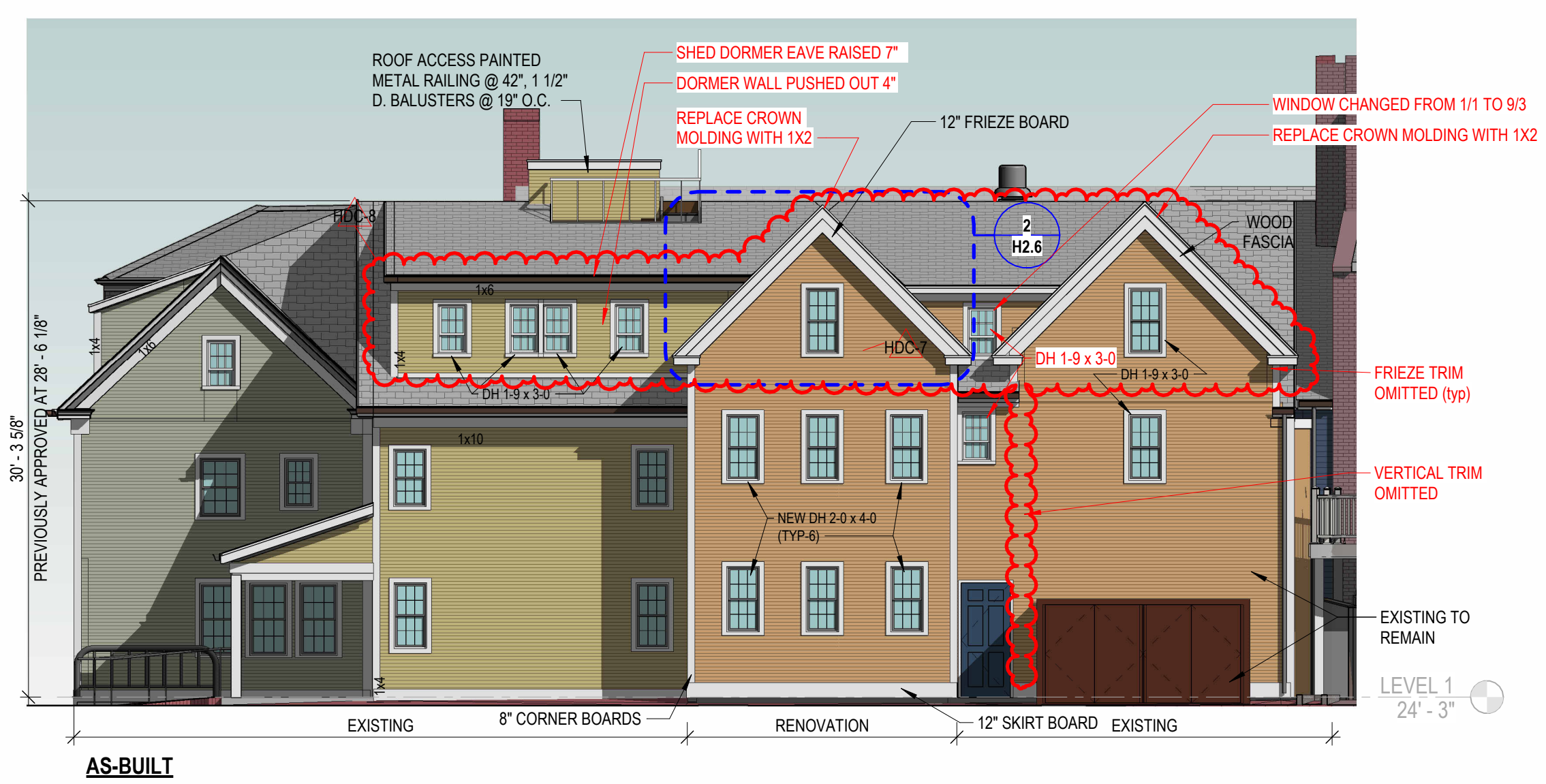
**PREVIOUSLY APPROVED**

**H2.1 STATE STREET ELEVATION  
111 STATE STREET**

SCALE: 1/8" = 1'-0"  
03/21/2025



COPYRIGHT © 2022



**GABLE VALLEY DETAIL  
AS-BUILT**

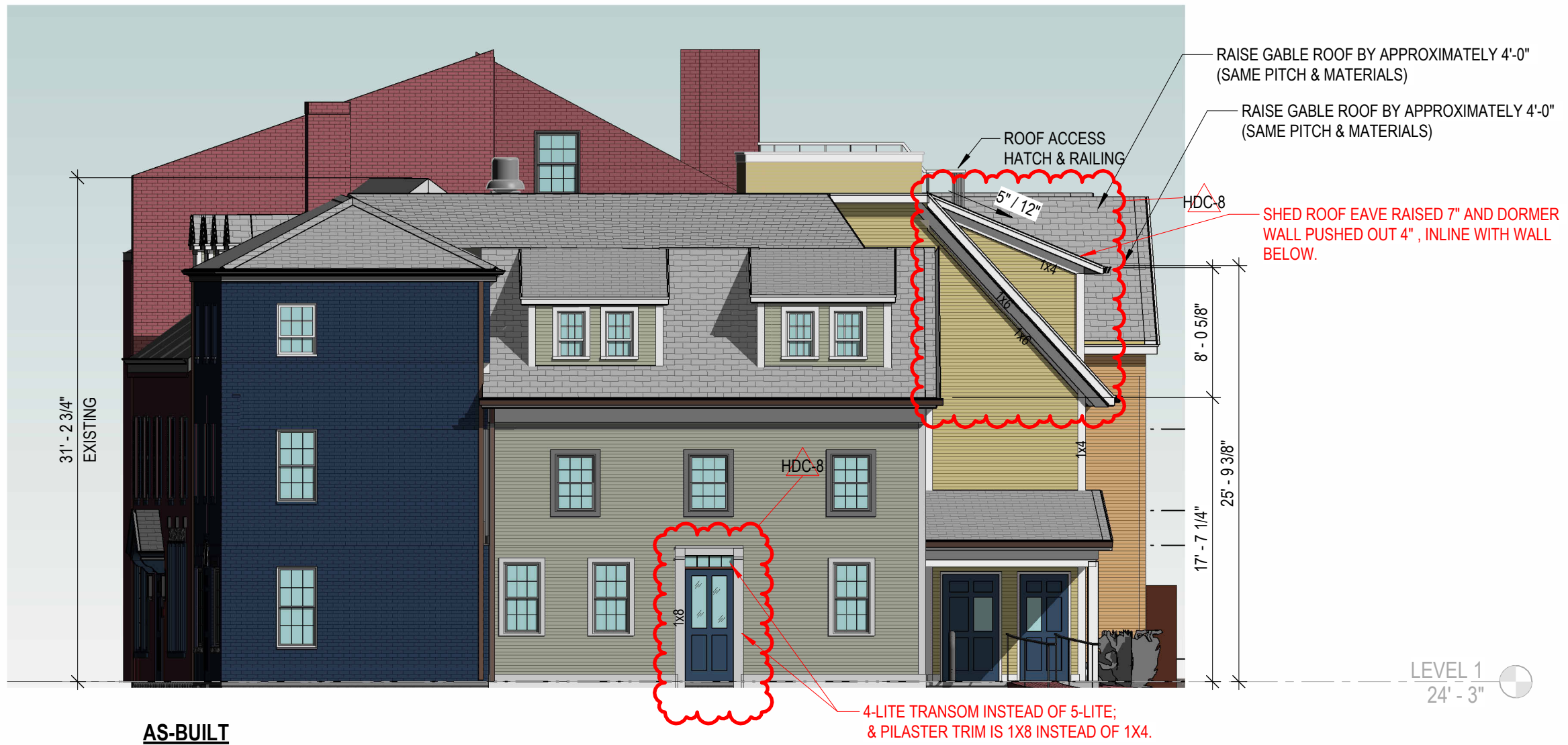


**AS-BUILT**

**H2.4 SHEAFE STREET ELEVATION  
111 STATE STREET**

SCALE: 1/8" = 1'-0"  
03/21/25





**AS-BUILT**



**PREVIOUSLY APPROVED**



**AS-BUILT**

**12. 258 Maplewood Avenue**

**-Recommended Approval**

Background: The applicant is seeking approval for

**PHASE 1**

- Build rear pier bump outs at back porch as previously approved.
- Rebuild existing rear stairs and guardrails to code, extend further out by 8".
- Extend existing rear porch roof eave 8" to align with piers, for duration of Phase 1 (will be removed in Phase 3).
- Relocate new heat pumps at north (side) yard, instead of rear yard.
- Install new picket fencing to conceal heat pumps.
- Replace all existing windows with Andersen Woodright replacement windows, to match existing

**PHASE 2**

- Rebuild the two front chimneys as previously approved.
- Reconstruct bishop caps with parging on thin brick on wood substructure, instead of full dimensional bricks as previously approved.

**PHASE 3**

- Remove two rear gables and northwest rear chimney as previously approved.
- Add rear shed dormer as previously approved.
- Use Andersen Woodright windows & door, instead of Marvin as previously approved.
- Add roof deck with guard rail at northwest corner as previously approved.
- Infill the previously approved southeast attic level porch and omit roof deck railing.

Staff Comment: Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



DRAWING INDEX	
Sheet Number	Sheet Name

H0.0	COVER
H0.1	EXISTING CONDITIONS
H0.2	SOUTH (REAR) ELEVATION - DEMOLITION
H0.3	EAST SIDE ELEVATION - DEMOLITION
H0.4	WEST SIDE ELEVATION - DEMOLITION
H1.1	FLOOR PLANS - PROPOSED
H1.2	ROOF PLAN - PROPOSED
H2.1	SOUTH (REAR) ELEVATION - PROPOSED
H2.2	EAST SIDE ELEVATION, PROPOSED
H2.3	WEST SIDE ELEVATION, PROPOSED
H3.3	3D VIEWS
H3.4	3D VIEWS
H3.5	3D VIEWS
H4.1	MATERIAL
H4.2	MATERIAL
H4.3	MATERIAL
H4.4	MATERIAL



## 258 MAPLEWOOD AVENUE

RENOVATION+RESTORATION

HDC ADMINISTRATIVE APPROVAL - Revisions to Previously Approved Application.

CONSTRUCT PREVIOUSLY APPROVED DESIGN IN 3 PHASES.  
 REVISIONS TO PREVIOUSLY APPROVED DESIGN AS UNDERLINED BELOW:

### PHASE 1

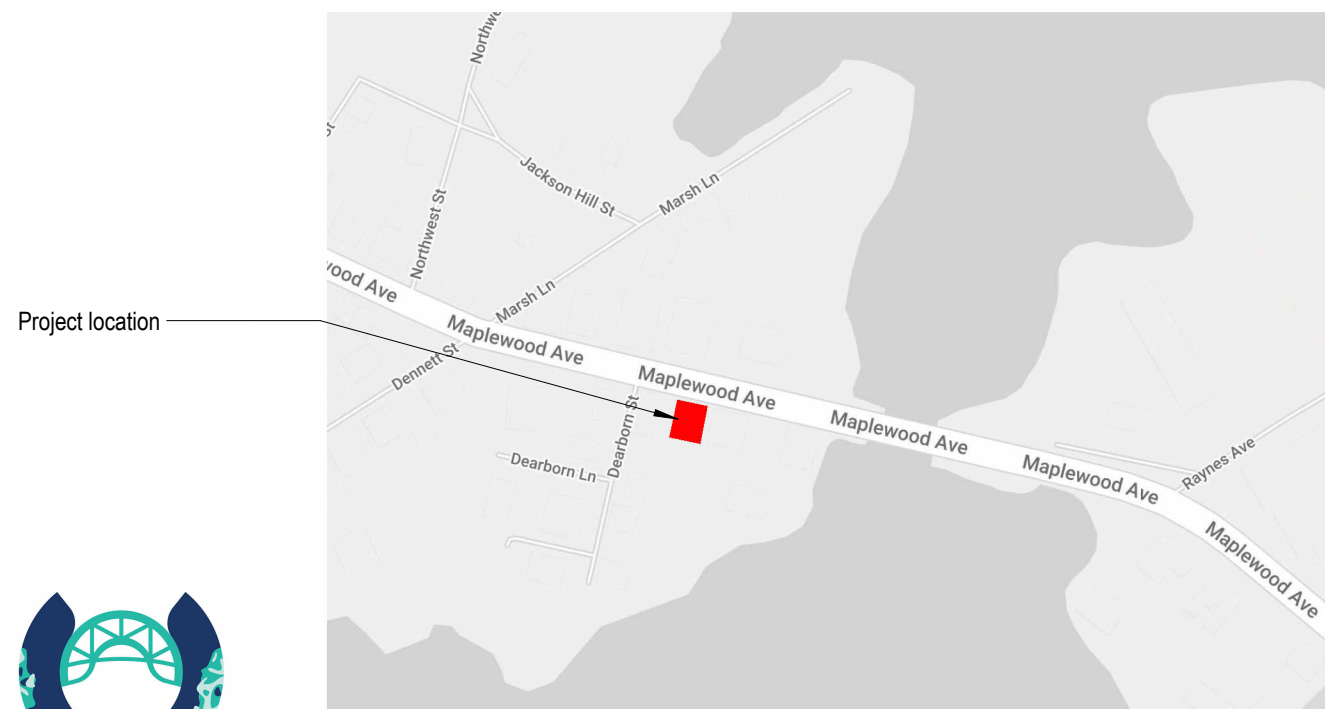
- Build rear pier bumpouts at back porch as previously approved.
- Rebuild existing rear stair and guardrails to code, extend further out by 8" .
- Extend existing rear porch roof eave 8" t o align with piers, for duration of Phase 1 (will be removed in Phase 3).
- Relocate new heat pumps at north (side) yard, instead of rear yard.
- Install new picket fencing to conceal heat pumps.
- Replace all existing windows with Andersen Woodright replacement windows, to match existing

### PHASE 2

- Rebuild the two front chimneys as previously approved.
- Reconstruct bishop caps with parging on thin brick on wood substructure, instead of full dimensional bricks as previously approved.

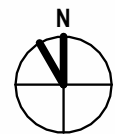
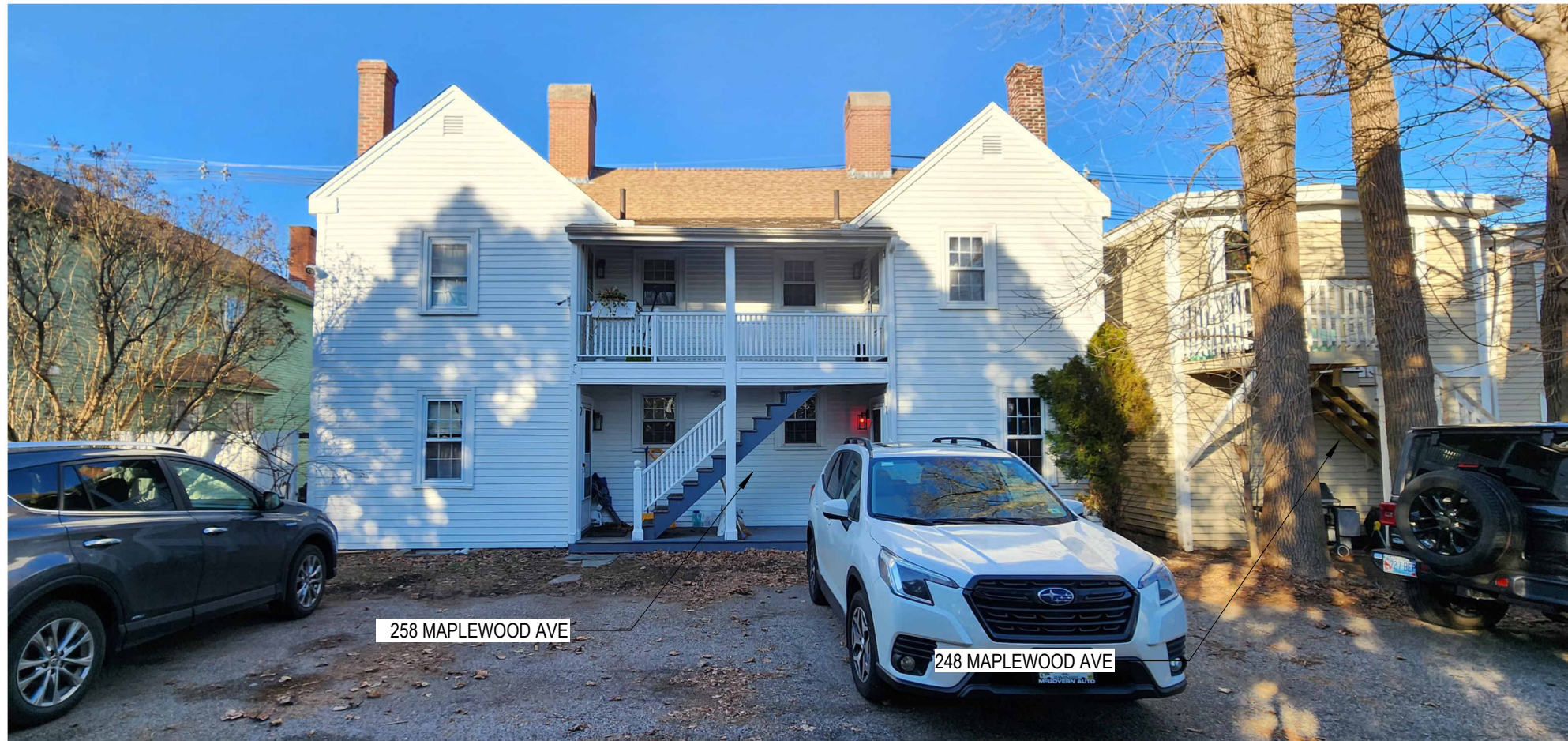
### PHASE 3

- Remove two rear gables and northwest rear chimney as previously approved.
- Add rear shed dormer as previously approved.
- Use Andersen Woodright windows & door, instead of Marvin as previously approved.
- Add roof deck with guard rail at northwest corner as previously approved.
- Infill the previously approved southeast attic level porch and omit roof deck railing .



COVER

H0.0

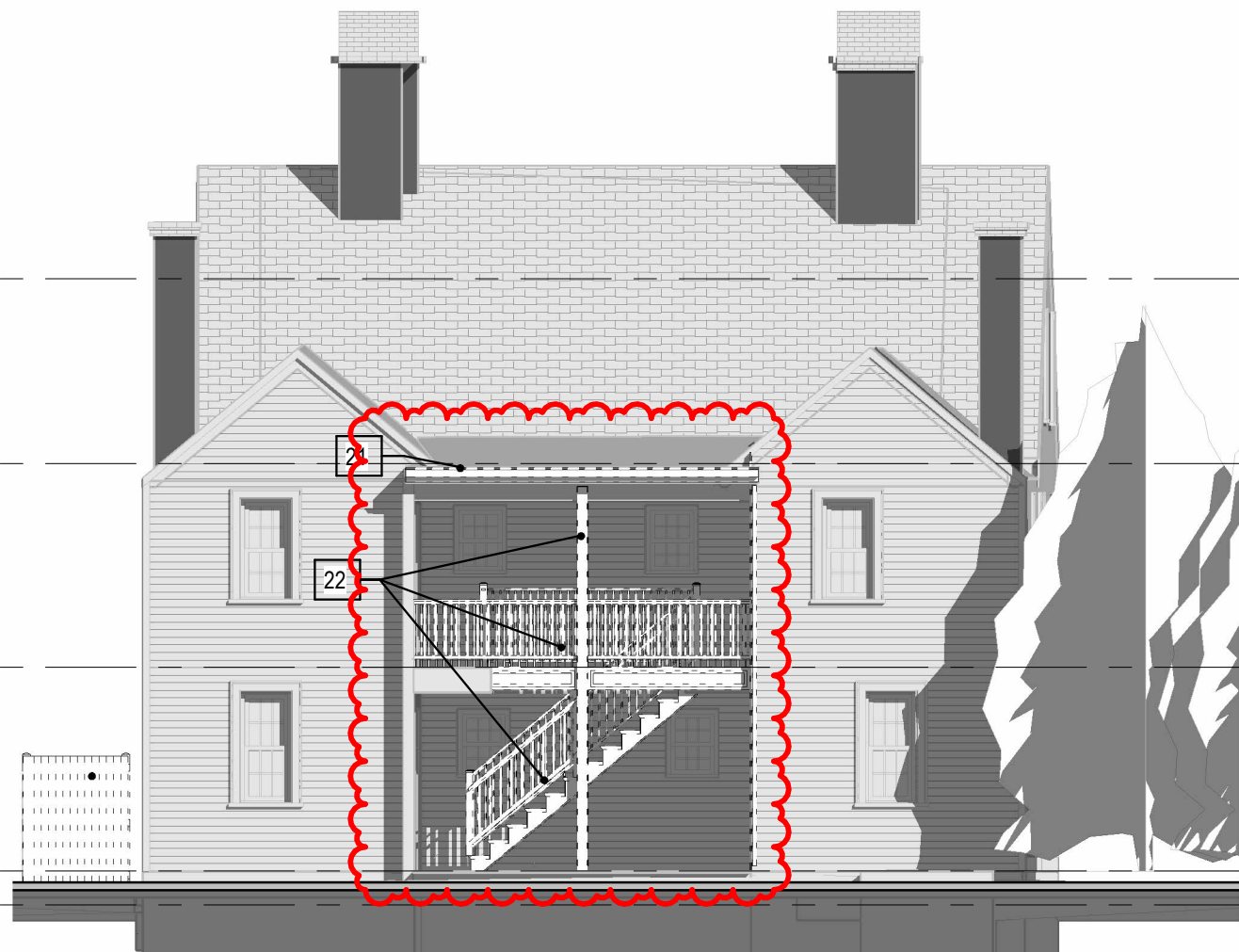


EXISTING CONDITIONS

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

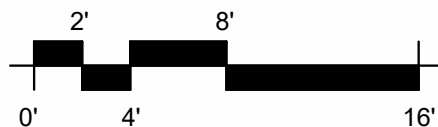
KEY NOTES	
NOTES	

1	Remove area of roof, reference structural drawings.
2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
4	Remove chimney above roof and within attic. Cap solid with 2 hour fire stop under level of attic floor. Salvage bricks for reuse in reconstructed chimneys.
21	Extend existing roof.
22	Remove existing middle column, trim, railing and stair. Replace with new trim, stair and railing.



**1 SOUTH ELEVATION-DEMO - PHASE 1**  
1/8" = 1'-0"

**2 SOUTH ELEVATION-DEMO - PHASE 2 & 3**  
1/8" = 1'-0"



SOUTH (REAR) ELEVATION - DEMOLITION

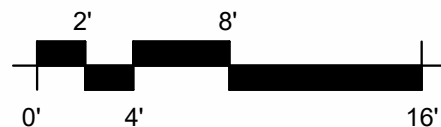
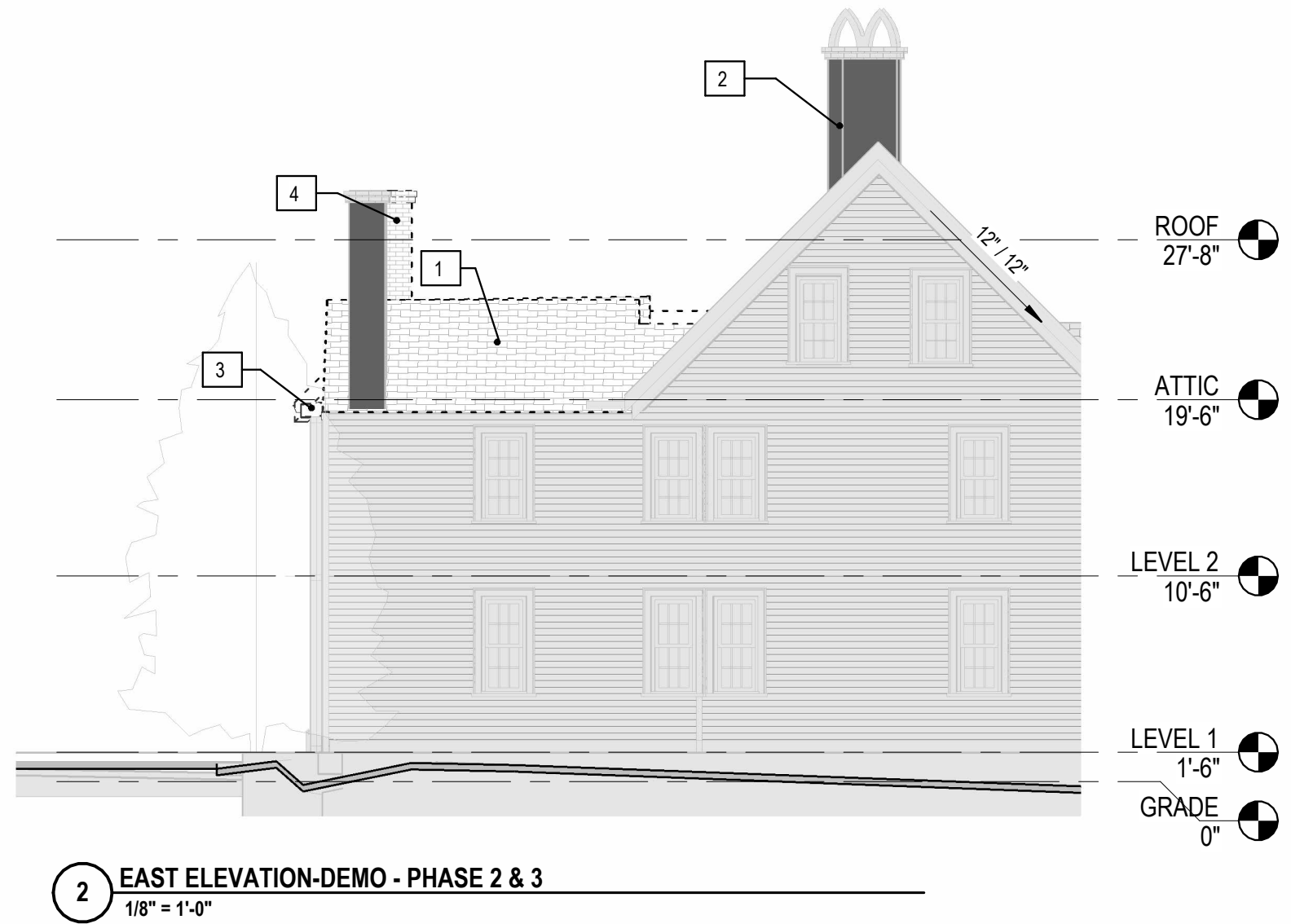
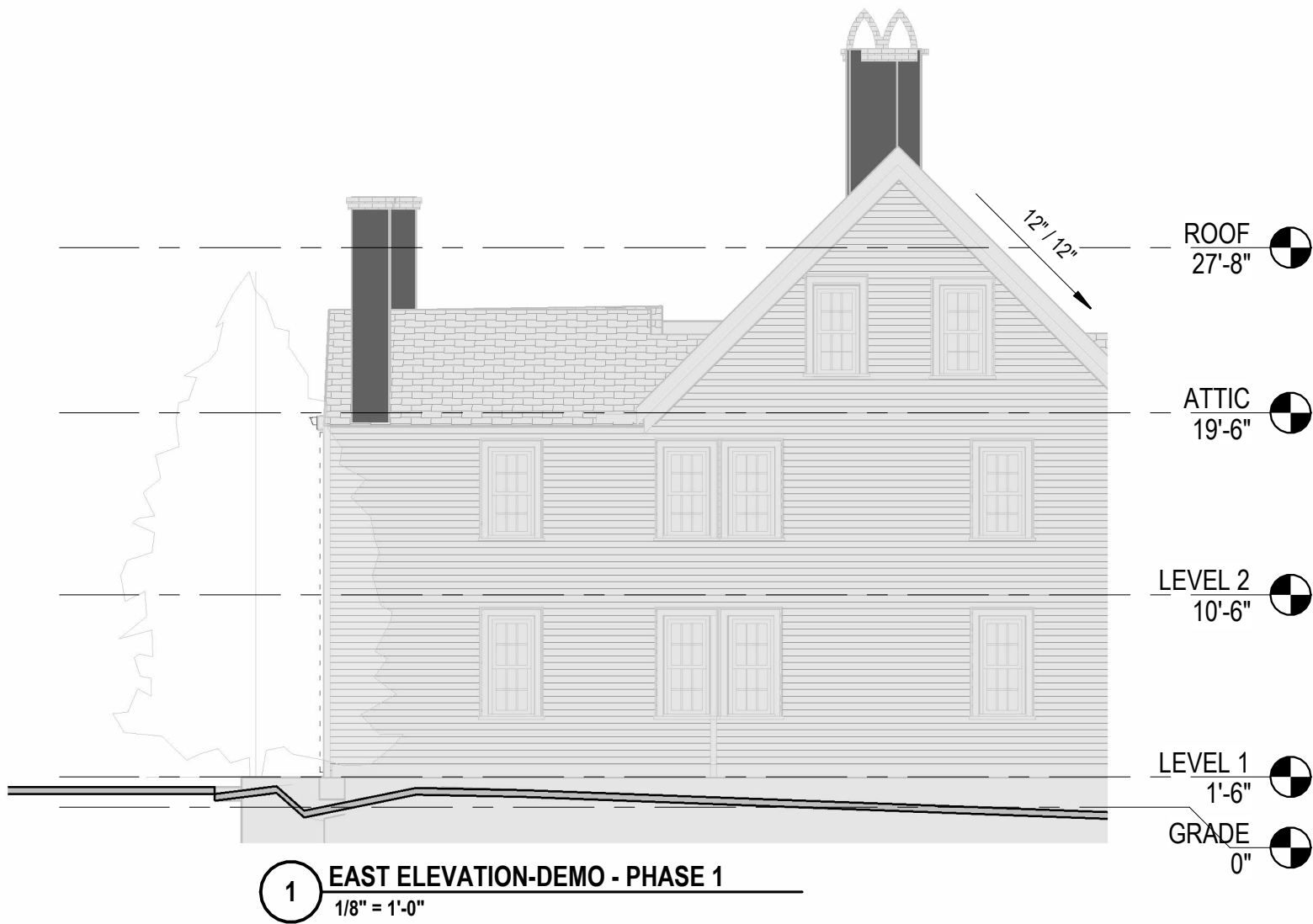
258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H0.2

03/21/2025  
PROJECT NO:1036

KEY NOTES	
NOTES	

1	Remove area of roof, reference structural drawings.
2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
3	Remove gable end wall at attic level, at rear ell.
4	Remove chimney above roof and within attic. Cap solid with 2 hour fire stop under level of attic floor. Salvage bricks for reuse in reconstructed chimneys.

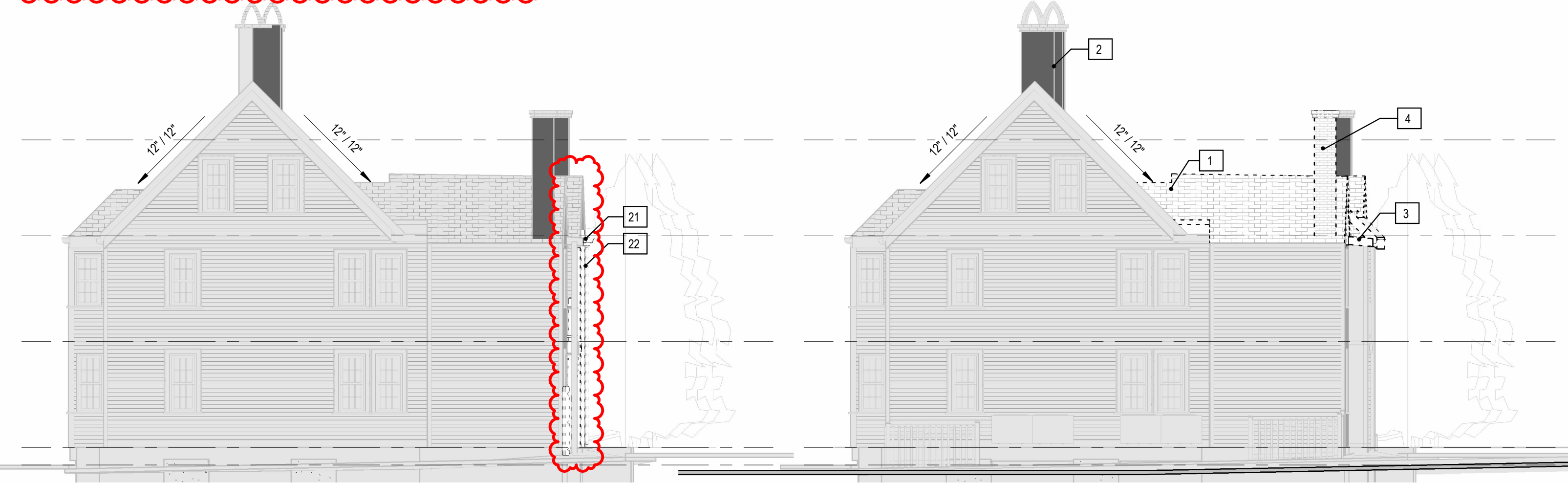


EAST SIDE ELEVATION - DEMOLITION

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

KEY NOTES	
NOTES	

1	Remove area of roof, reference structural drawings.
2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
3	Remove gable end wall at attic level, at rear ell.
4	Remove chimney above roof and within attic. Cap solid with 2 hour fire stop under level of attic floor. Salvage bricks for reuse in reconstructed chimneys.
21	Extend existing roof.
22	Remove existing middle column, trim, railing and stair. Replace with new trim, stair and railing.



1 WEST ELEVATION-DEMO- PHASE 1  
1/8" = 1'-0"

2 WEST ELEVATION-DEMO- PHASE 2 & 3  
1/8" = 1'-0"



WEST SIDE ELEVATION - DEMOLITION

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

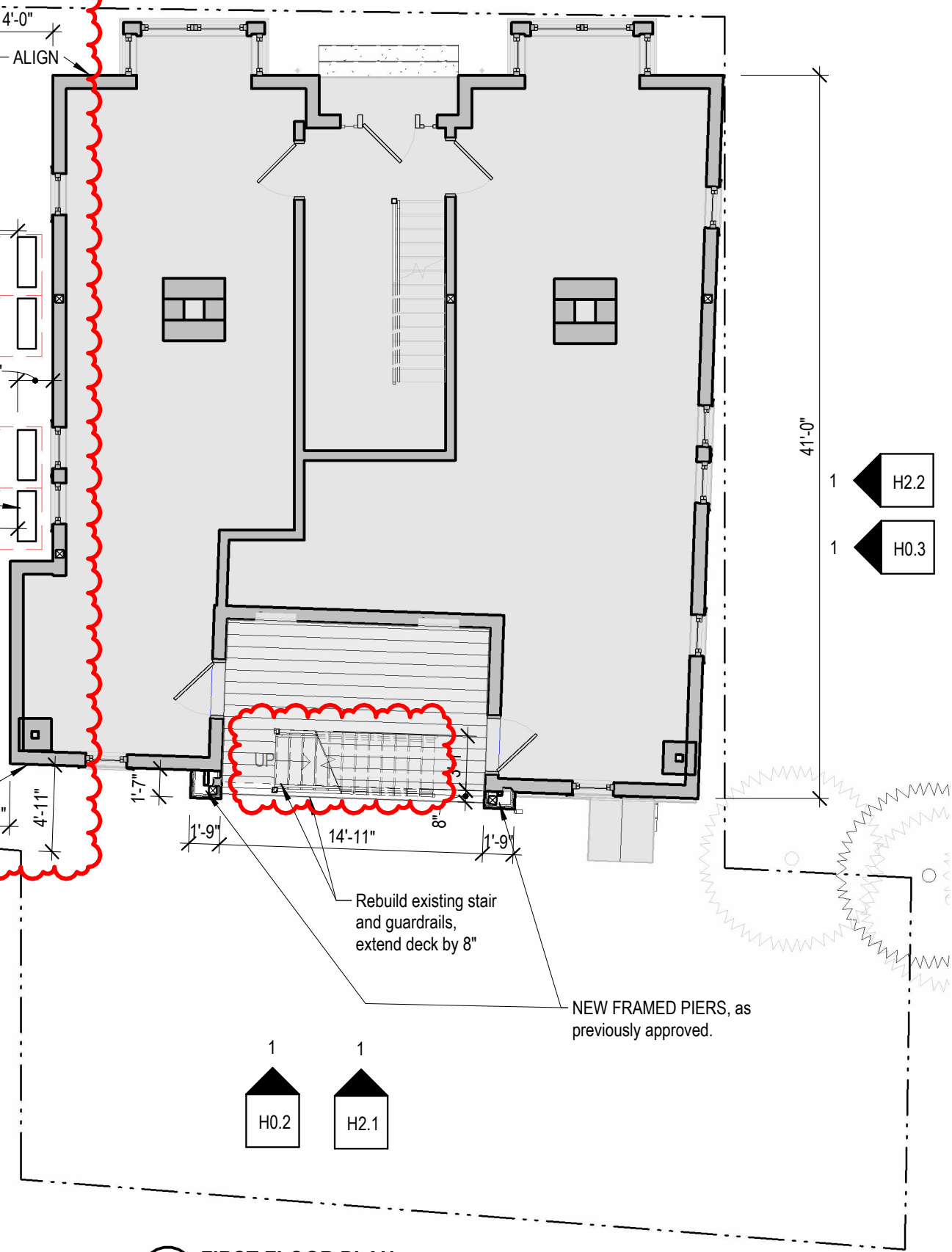
H0.4

03/21/2025  
PROJECT NO:1036

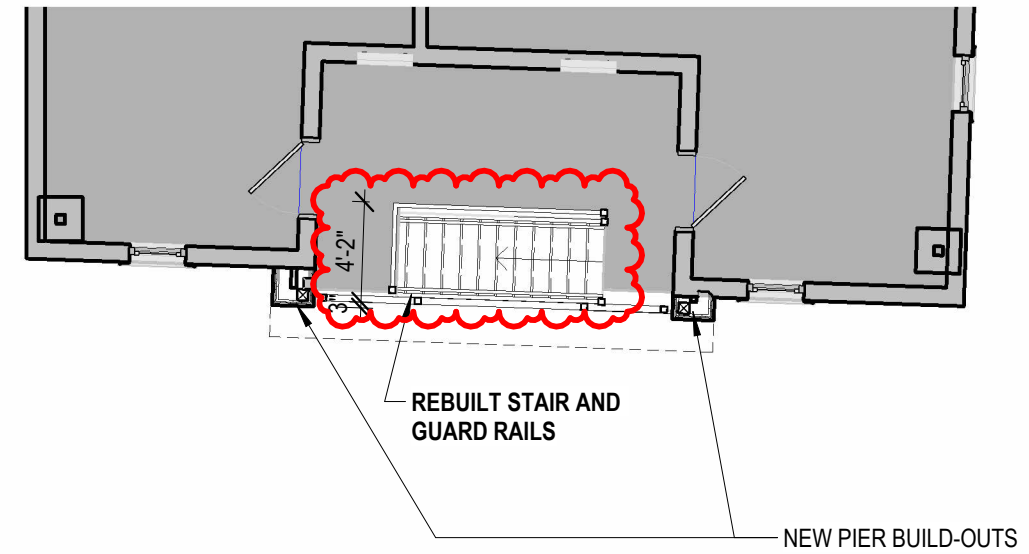
PROPERTY LINE

NEW HEAT PUMP CONDENSERS (4), GROUND MOUNTED.

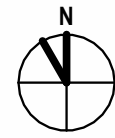
NEW PICKET FENCE, 3' HIGH, PAINTED WOOD



1 FIRST FLOOR PLAN  
1/8" = 1'-0"



2 SECOND FLOOR PLAN  
1/8" = 1'-0"



FLOOR PLANS - PROPOSED

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H1.1

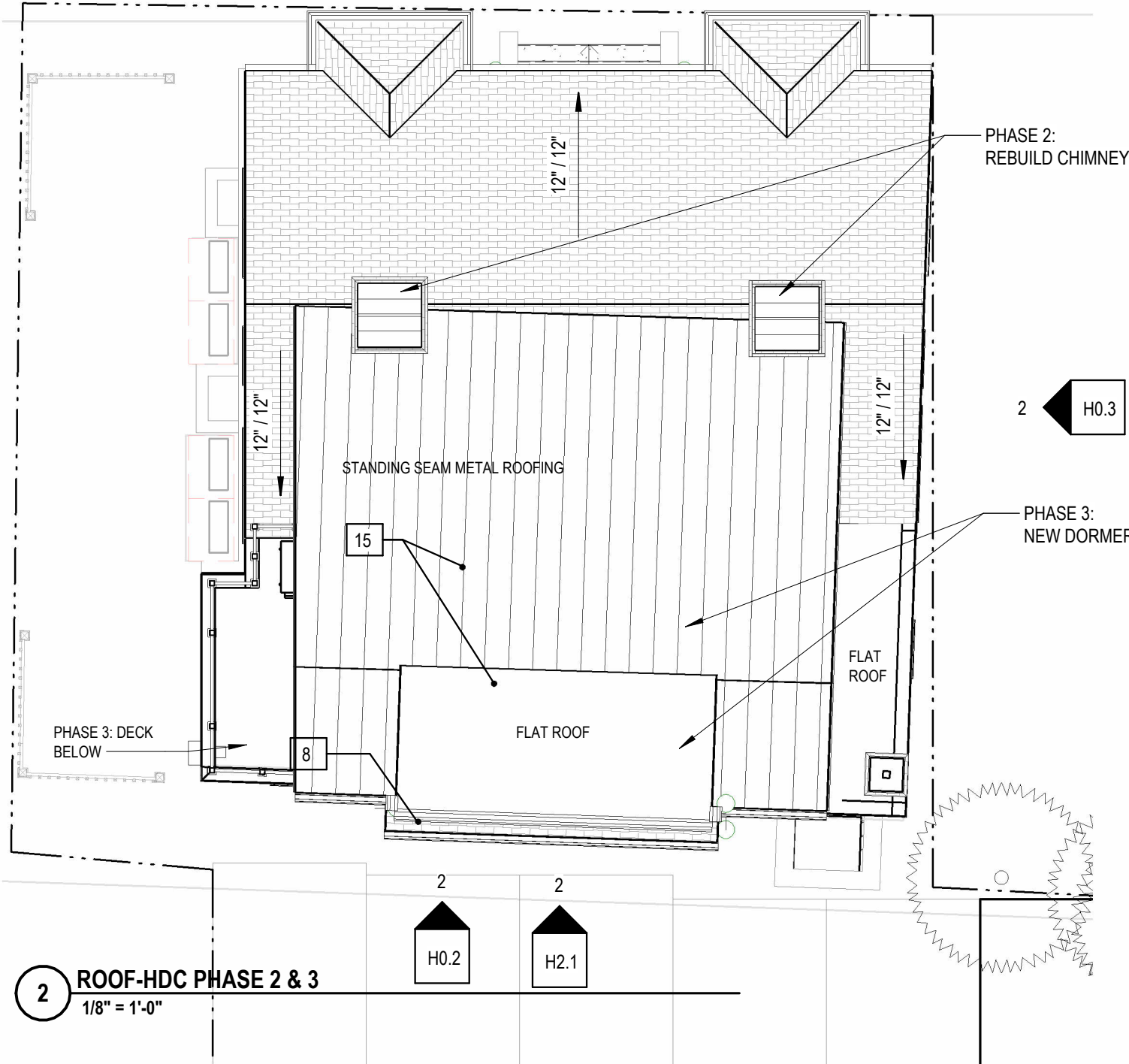
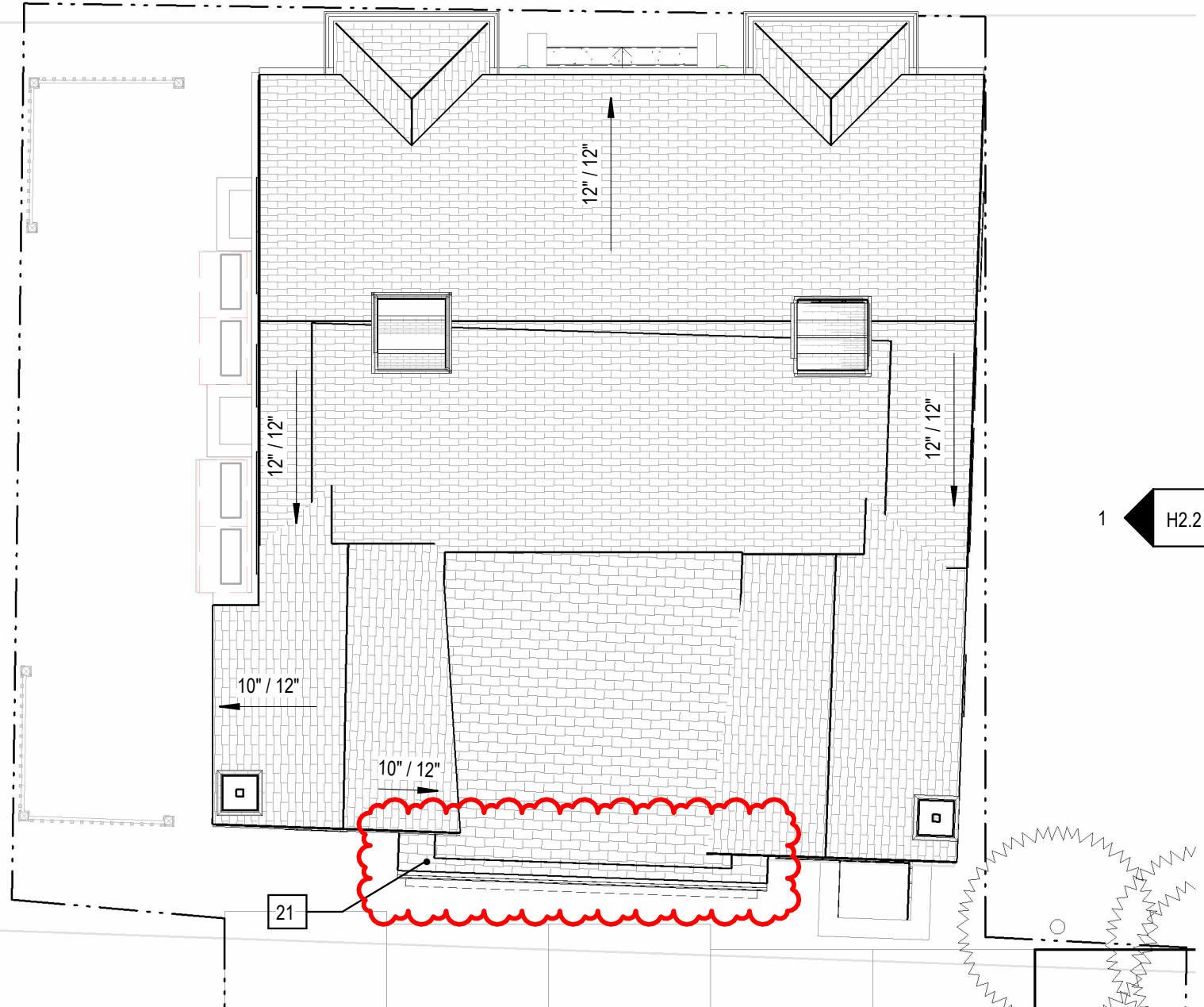
03/21/2025  
PROJECT NO:1036

KEY NOTES	
NOTES	

8	Gutter and downspouts, aluminium K style.
15	New roof.
21	Extend existing roof.

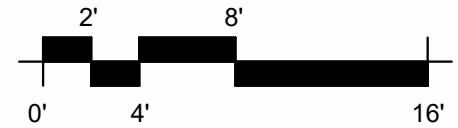
MAPLEWOOD AVE.

MAPLEWOOD AVE.



1 ROOF-HDC PHASE 1  
1/8" = 1'-0"

2 ROOF-HDC PHASE 2 & 3  
1/8" = 1'-0"



ROOF PLAN - PROPOSED

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H1.2

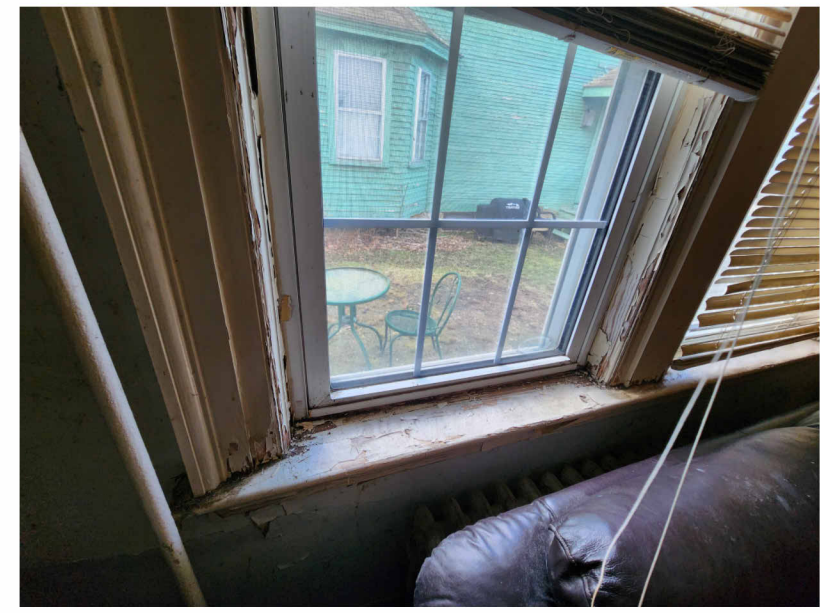
03/21/2025  
PROJECT NO:1036

KEY NOTES	
NOTES	

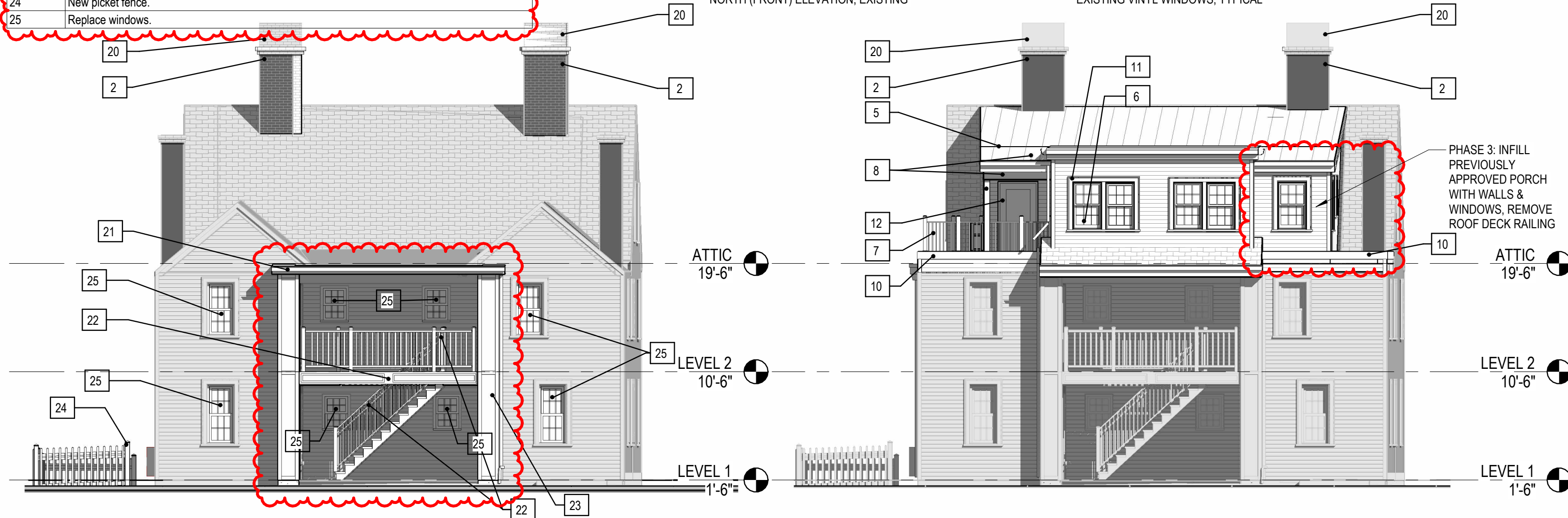
2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
5	New shed dormer.
6	New windows, aluminum clad wood.
7	Aluminum guardrail (black).
8	Gutter and downspouts, aluminium K style.
10	Composite trim (AZEK or equiv.) to match existing profiles.
11	Composite 4 inch casing with band molding, 2 inch sill nosing.
12	Patio doors, aluminum clad wood.
20	Reconstruct bishops caps out of wood framing, plywood, and parging, phase 2.
21	Extend existing roof.
22	Remove existing middle cloumn, trim, railing and stair. Replace with new trim, stair and railing.
23	New pier with fiber cement panel siding.
24	New picket fence.
25	Replace windows.



NORTH (FRONT) ELEVATION, EXISTING



EXISTING VINYL WINDOWS, TYPICAL



PHASE 3: INFILL PREVIOUSLY APPROVED PORCH WITH WALLS & WINDOWS, REMOVE ROOF DECK RAILING



1 SOUTH ELEVATION-PHASE 1  
1/8" = 1'-0"

2 SOUTH ELEVATION- PHASE 2 & 3  
1/8" = 1'-0"



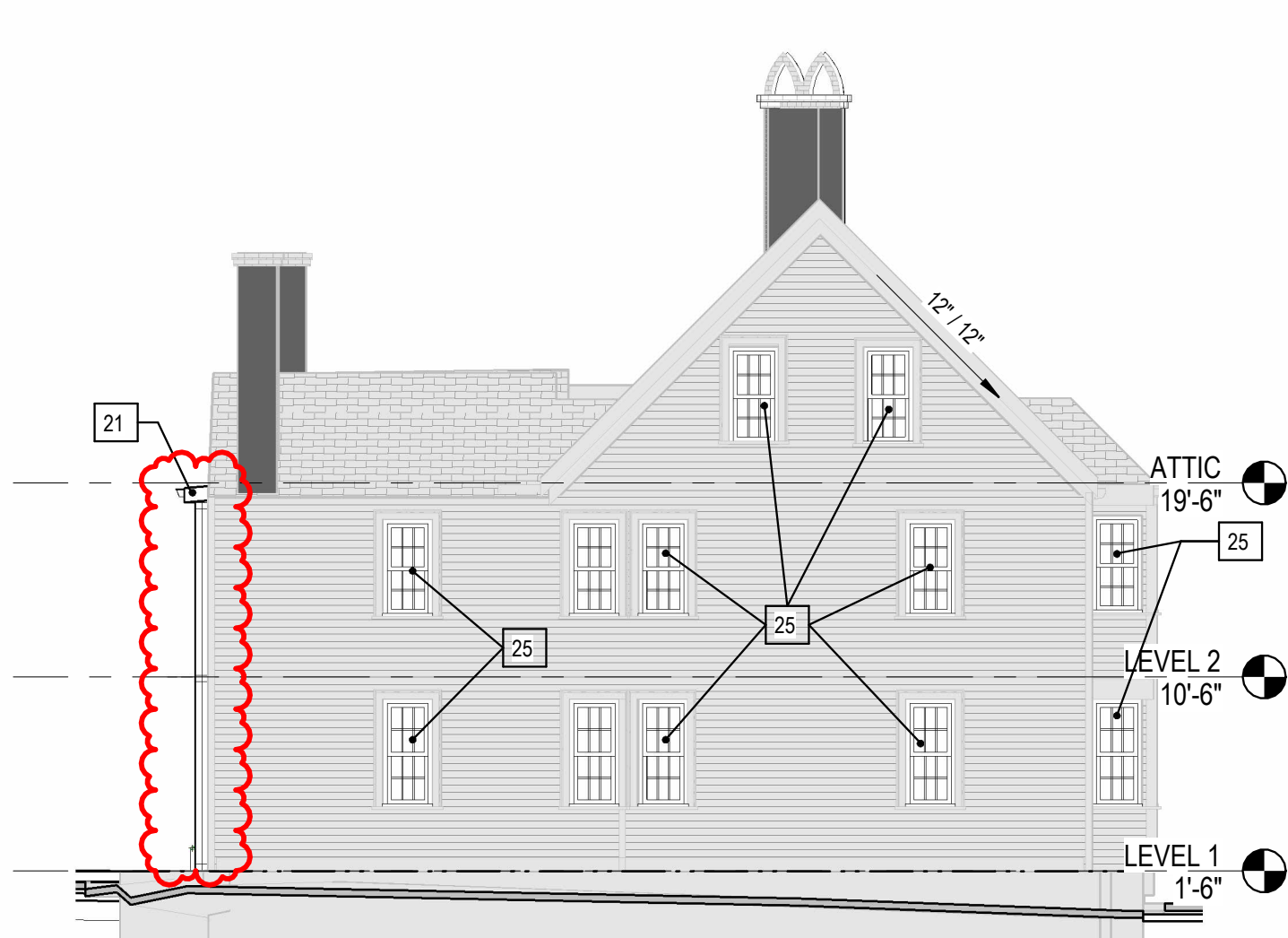
SOUTH (REAR) ELEVATION - PROPOSED

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

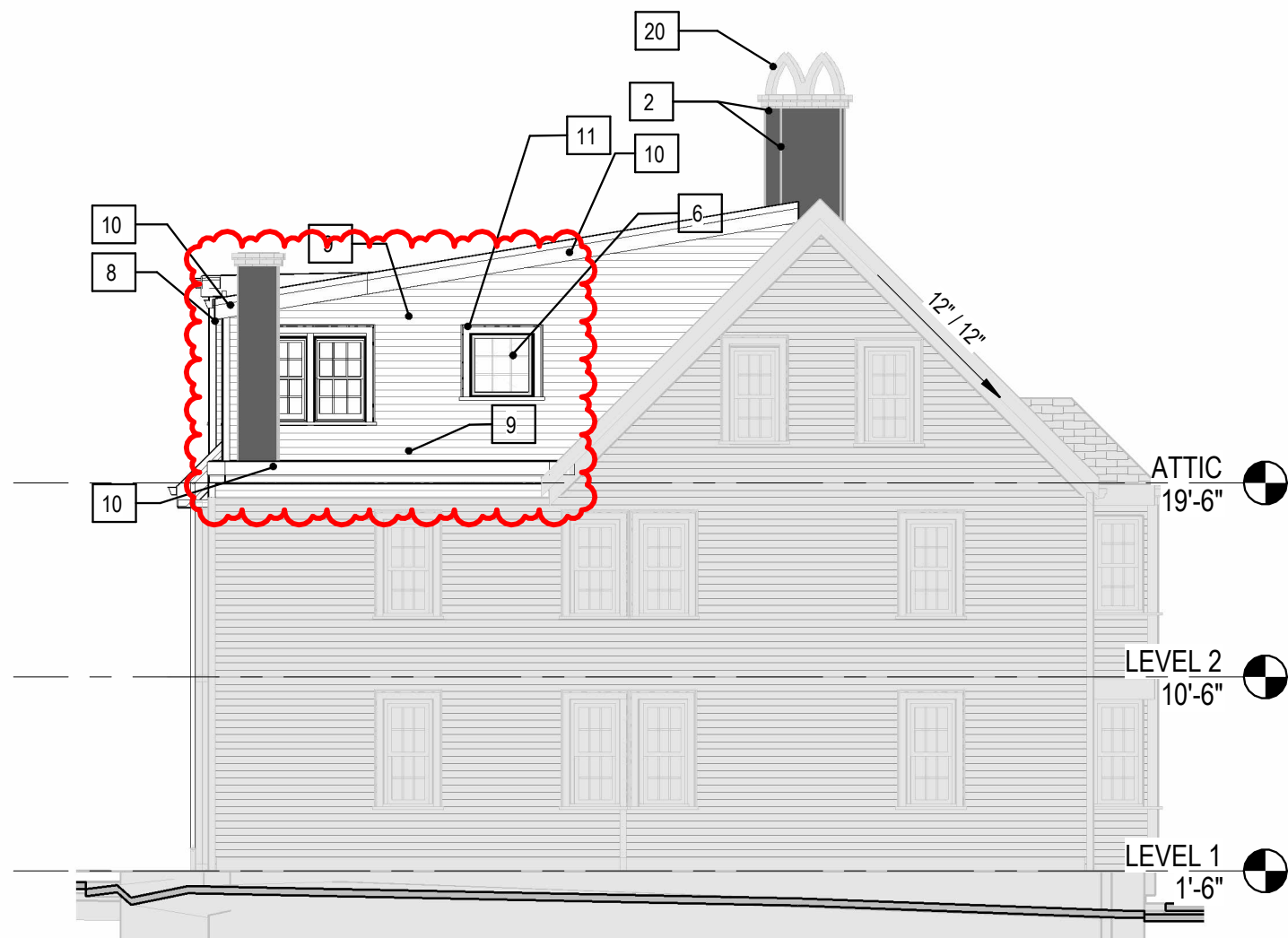


KEY NOTES	
NOTES	

2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
6	New windows, aluminum clad wood.
8	Gutter and downspouts, aluminium K style.
9	Wood clapboard siding to match existing.
10	Composite trim (AZEK or equiv.) to match existing profiles.
11	Composite 4 inch casing with hand molding, 2 inch sill posing.
20	Reconstruct bishops caps out of wood framing, plywood, and parging. phase 2.
21	Extend existing roof.
25	Replace windows.



1 EAST ELEVATION- PHASE 1  
1/8" = 1'-0"



2 EAST ELEVATION- PHASE 2 & 3  
1/8" = 1'-0"



EAST SIDE ELEVATION, PROPOSED

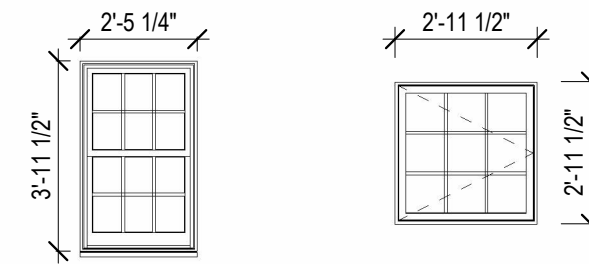
258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H2.2

03/21/2025  
PROJECT NO: 1036

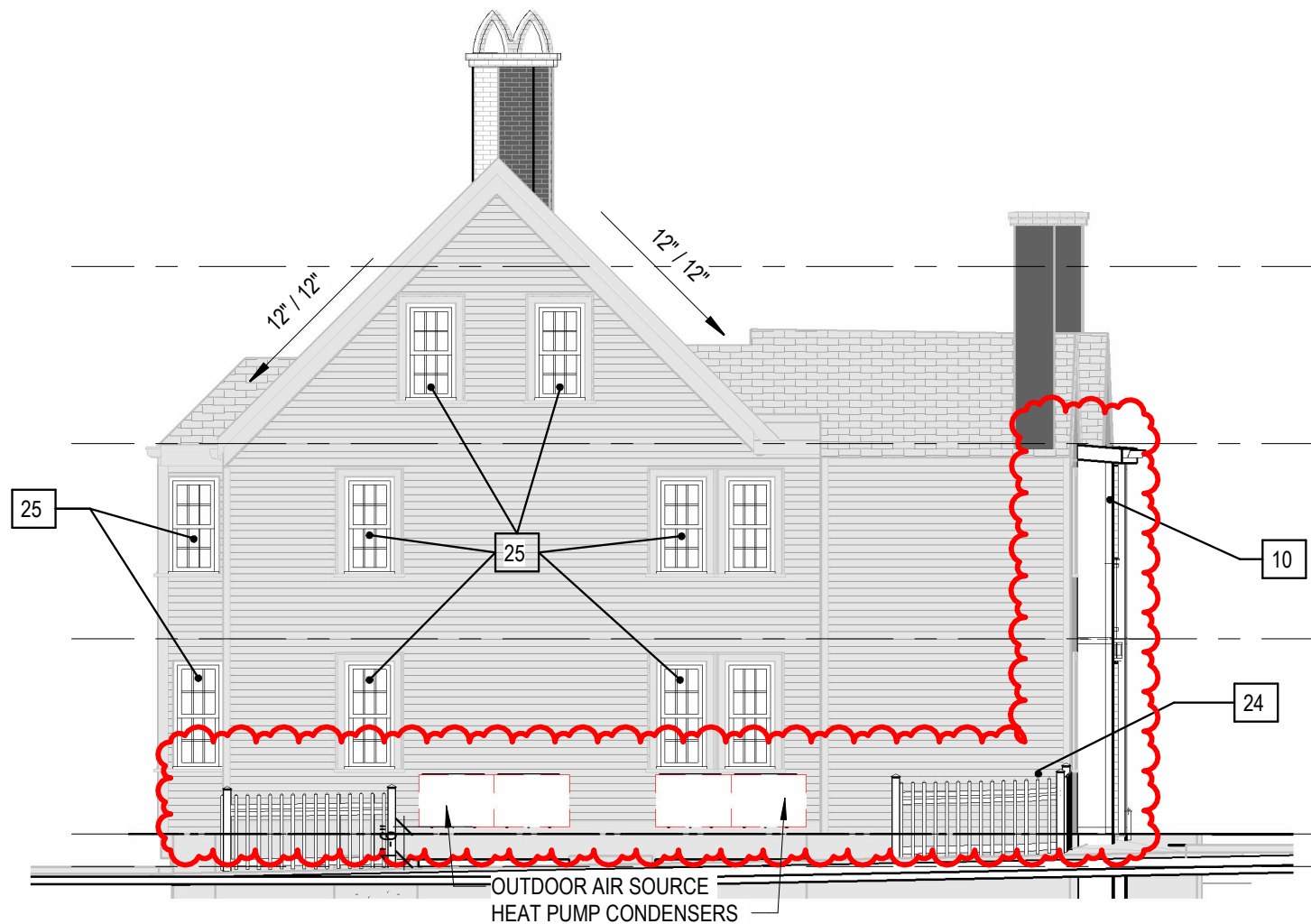
KEY NOTES	
	NOTES

2	Rebuild the existing chimney with thin brick veneer to match the existing color texture and details.
6	New windows, aluminum clad wood.
7	Aluminum guardrail (black).
8	Gutter and downspouts, aluminium K style.
9	Wood clapboard siding to match existing.
10	Composite trim (AZEK or equiv.) to match existing profiles.
11	Composite 4 inch casing with band molding, 2 inch sill nosing.
16	New column to match existing.
17	Composite trim and fiber cement panel soffit.
20	Reconstruct bishops caps out of wood framing, plywood, and parging. phase 2.
24	New picket fence.
25	Replace windows.

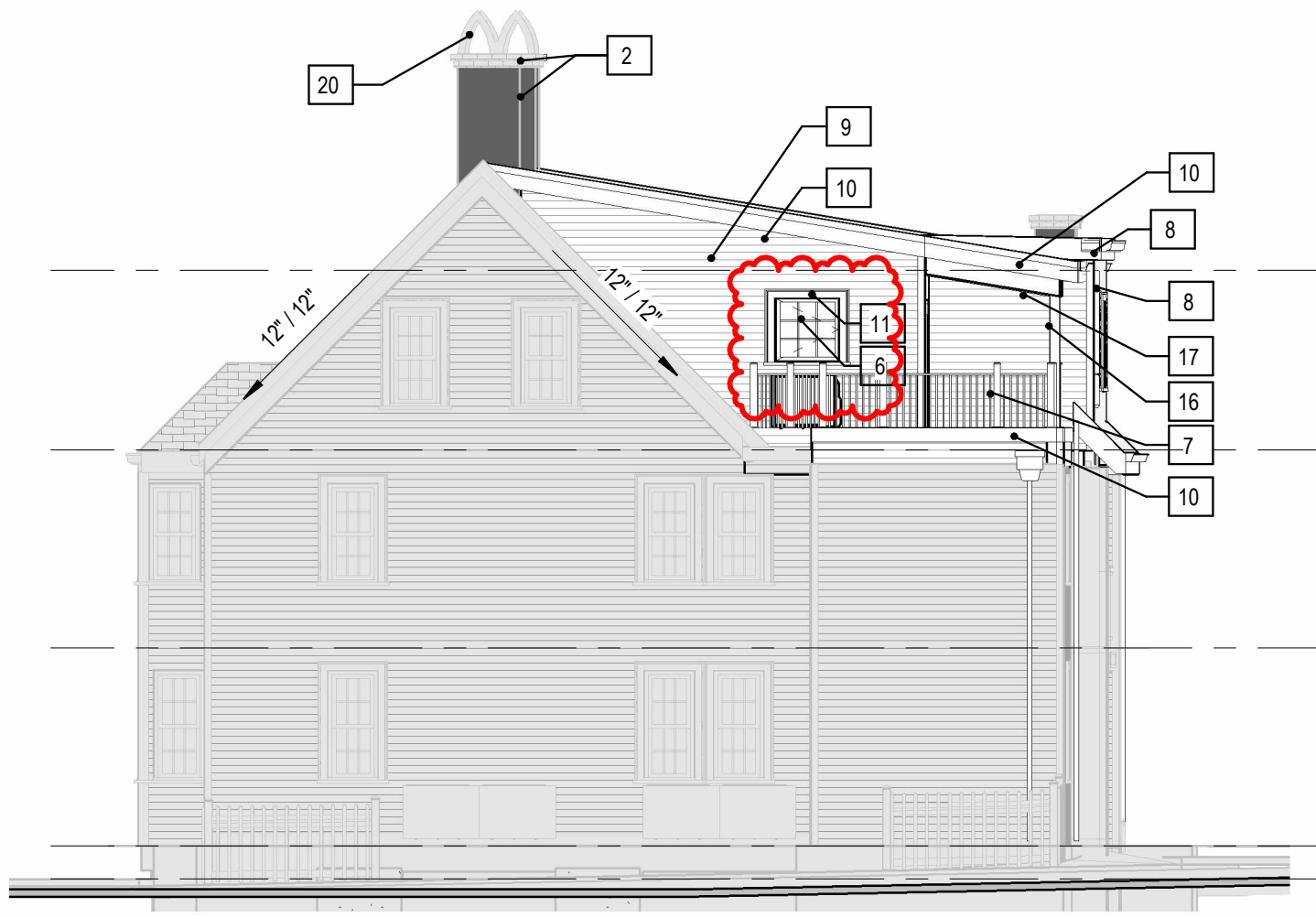


(A) DOUBLE HUNG (B) CASEMENT

3 NEW DORMER - WINDOW TYPES  
1/4" = 1'-0"



1 WEST ELEVATION-HDC PHASE 1  
1/8" = 1'-0"



2 WEST ELEVATION-H PHASE PHASE 2 & 3  
1/8" = 1'-0"



WEST SIDE ELEVATION, PROPOSED

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H2.3

03/21/2025  
PROJECT NO:1036



1 HDC SOUTH PHASE 1



2 HDC SOUTH PHASE 2 & 3

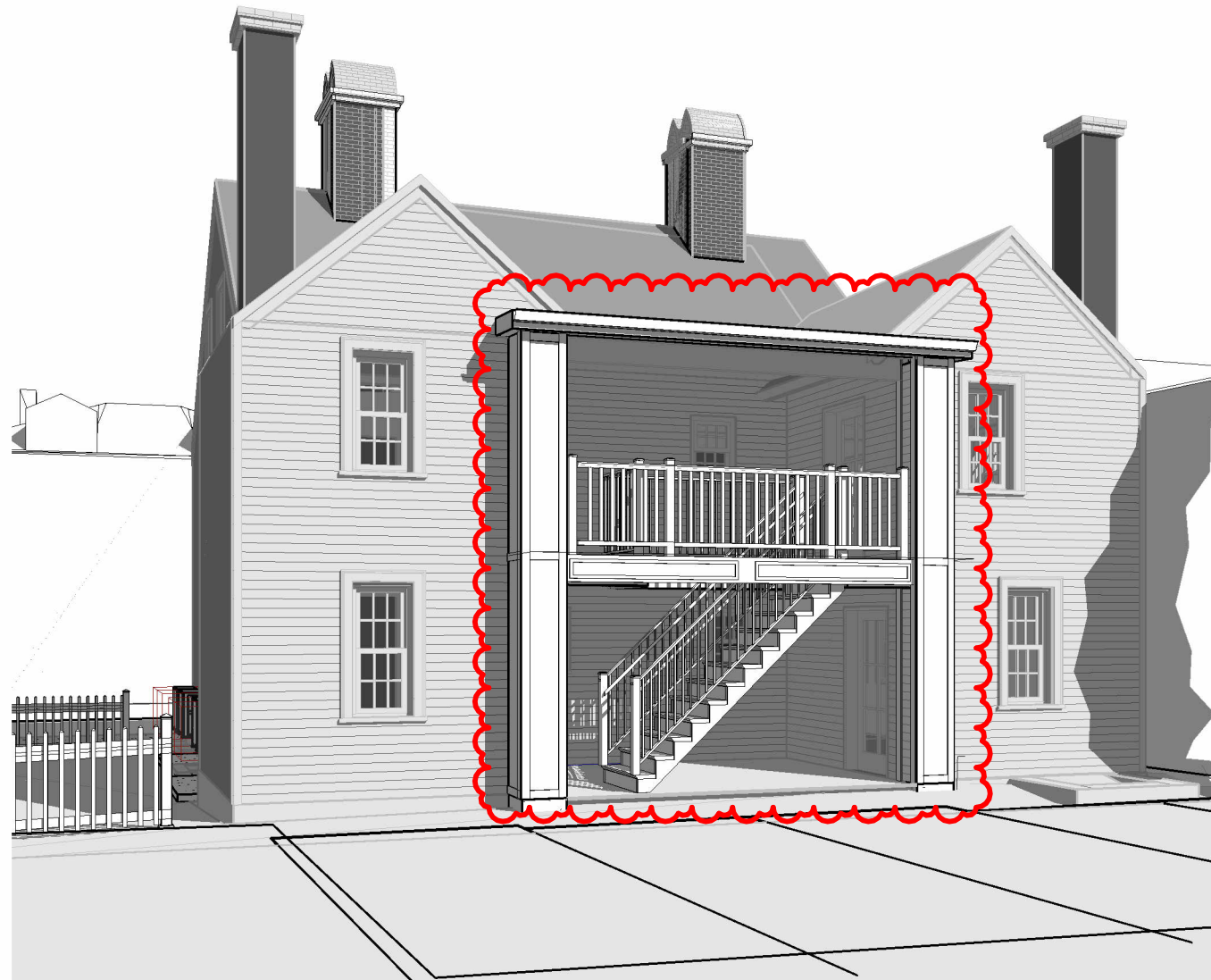


3D VIEWS

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H3.3

03/21/2025  
PROJECT NO:1036



1 HDC SOUTH WEST PHASE 1



2 HDC SOUTH WEST PHASE 2 & 3

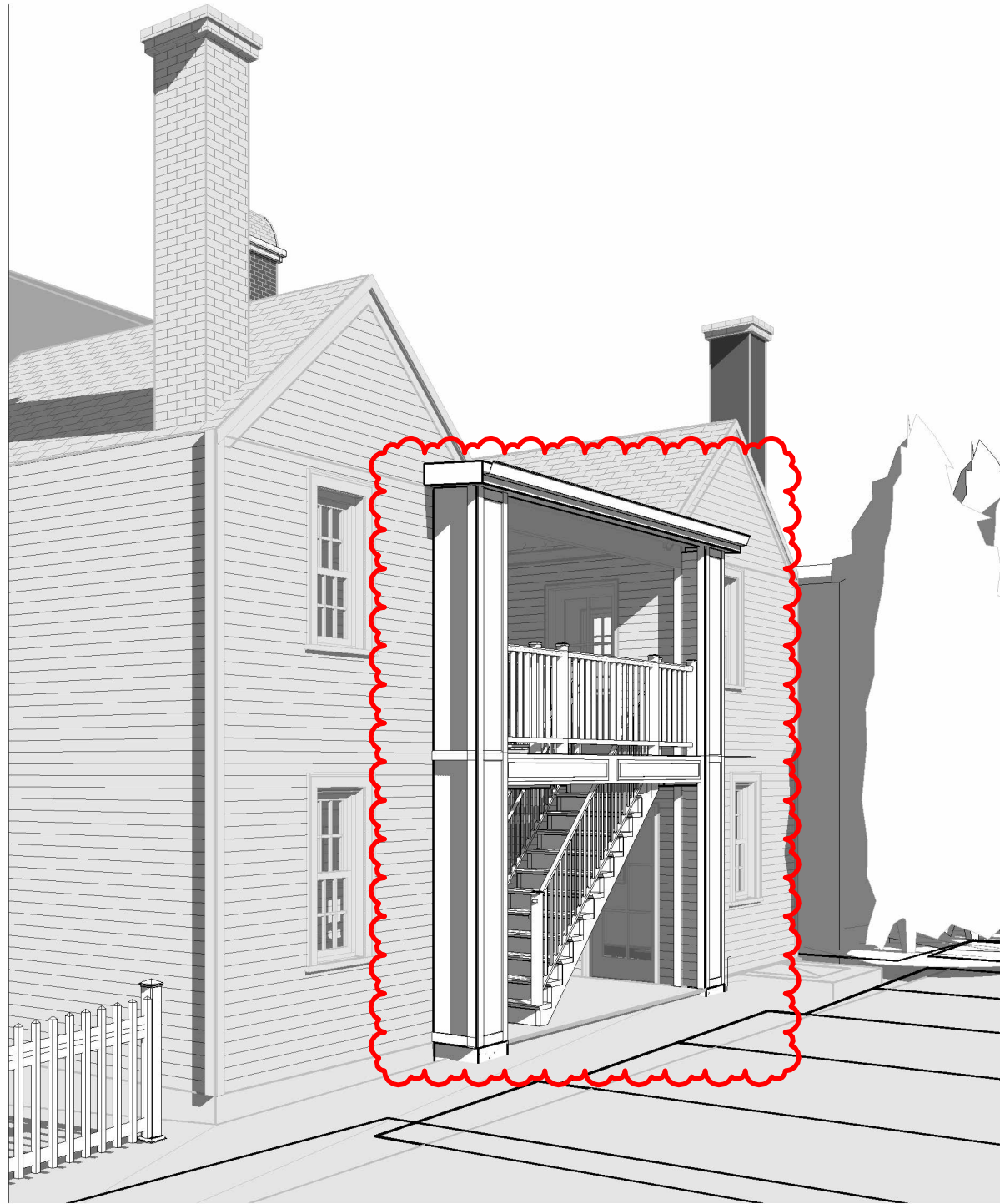


3D VIEWS

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H3.4

03/21/2025  
PROJECT NO:1036



1 HDC-WEST-SOUTH PHASE 1



2 HDC-WEST-SOUTH PHASE 2 & 3



3D VIEWS

258 MAPLEWOOD AVENUE - DORMER ADDITION, CORE & SHELL

H3.5

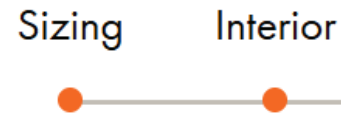
03/21/2025  
PROJECT NO:1036

# 400 SERIES WOODWRIGHT® DOUBLE-HUNG WINDOW

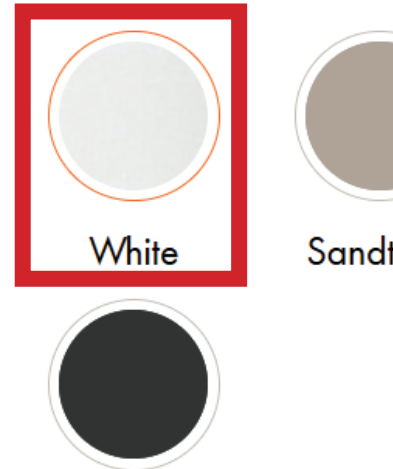
## WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS



**Almost there**  
Now, choose the options



### Exterior Windo



**Traditional**

Design for classic character with the traditional interior profile.

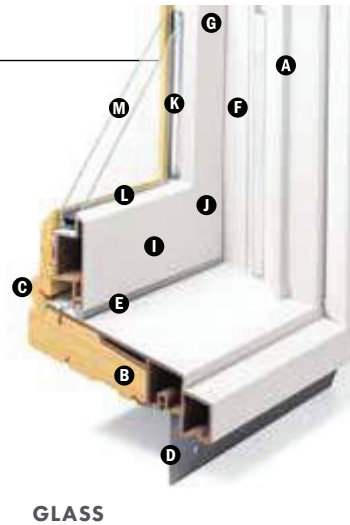
### FEATURES

#### FRAME

**A** Perma-Shield® exterior cladding protects the frame – beautifully. Best of all, it's low maintenance and never needs painting.

**B** For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex® material exterior.

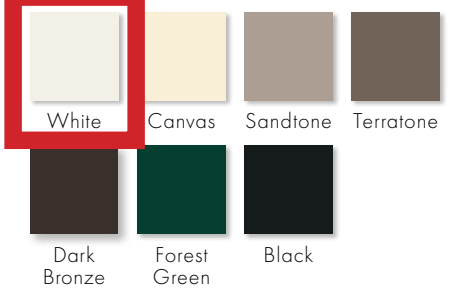
**C** Natural wood stops are available in pine, maple, oak and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.



GLASS

### EXTERIOR & INTERIOR OPTIONS

#### EXTERIOR COLORS



#### INTERIOR OPTIONS



### GRILLE OPTIONS

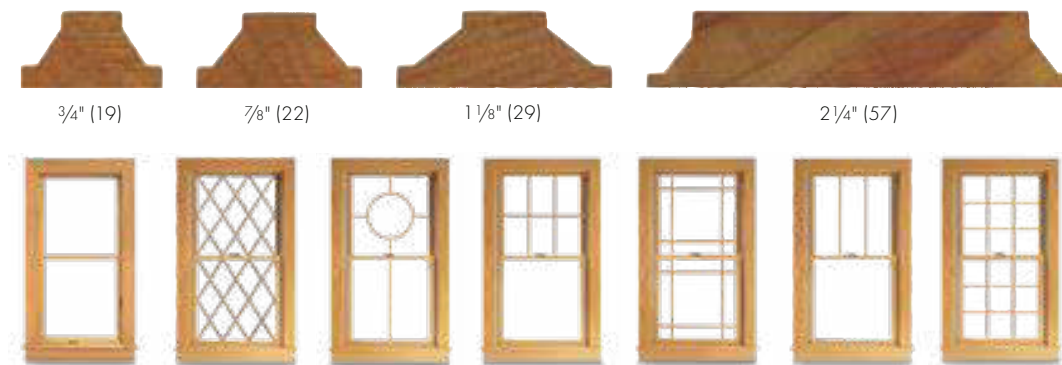
Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern, and we'll even work with you and your customers to create custom patterns.

**FULL DIVIDED LIGHT**  
Permanently applied to the interior and exterior of the window, with a spacer between the glass.

**SIMULATED DIVIDED LIGHT**  
Permanent grilles on the exterior and interior, with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

**CONVENIENT CLEANING OPTIONS**  
Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes, and feature a contoured profile in 1" (25) and 3/4" (19) widths.

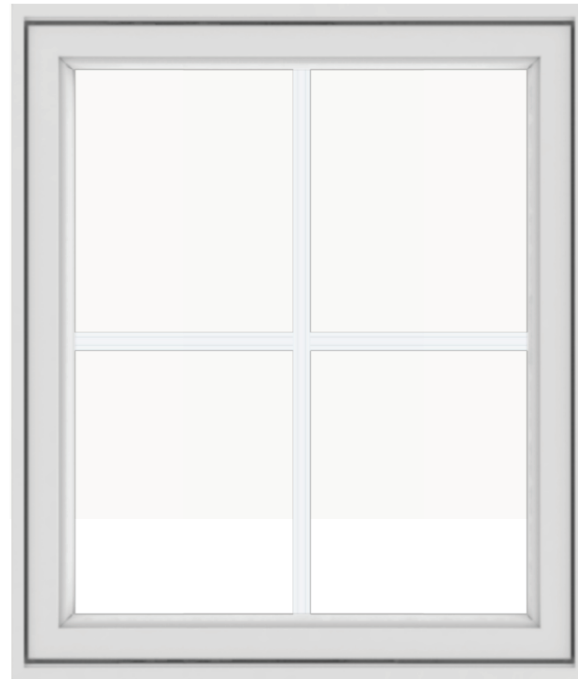
#### Grille Bar Widths & Patterns



Actual width shown.  
Our 2 1/4" (57) width grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.  
To see all of the standard patterns available for a specific window or door, refer to the detailed product sections in this product guide.

### CUSTOM

\*7/8" (22), 1 1/8" (29) and 2 1/4" (57) are not available in Finelight grilles-between-the-glass. Dimensions in parentheses are in millimeters.



**Almost there**

Now, choose the options for your window

Clear My Choices X

Sizing Profile Interior Hardware Grilles Exterior Trim Glass Summary

**Exterior Window Color**

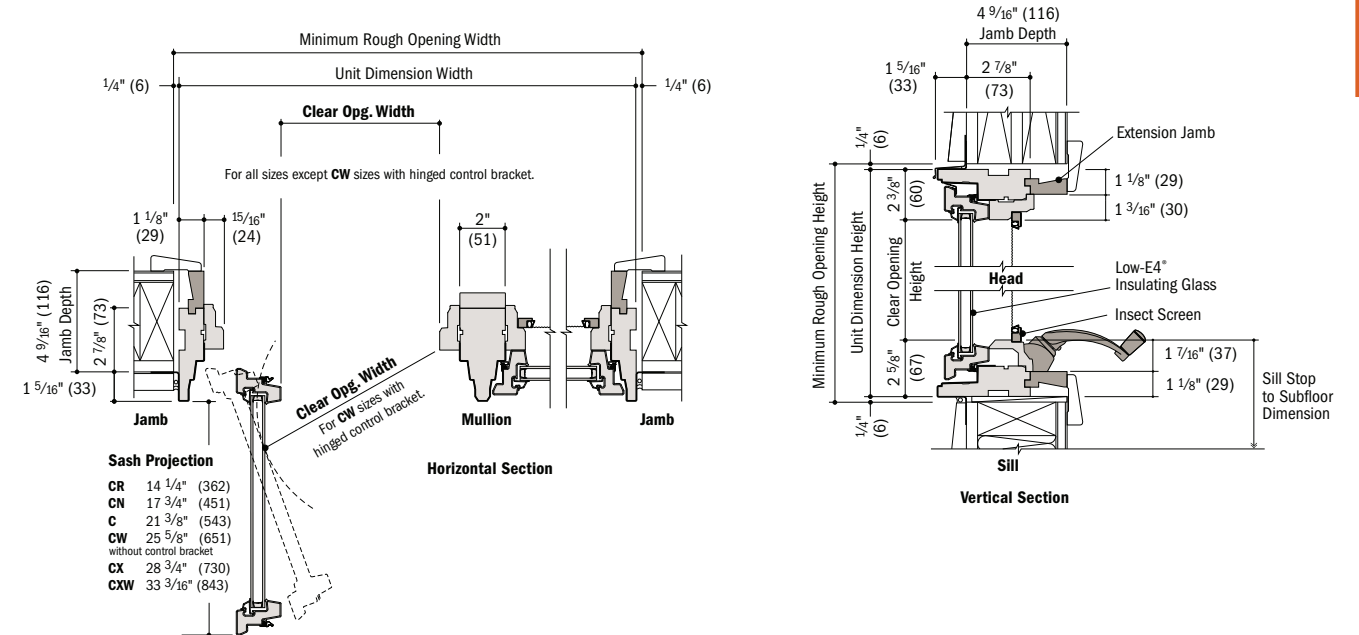


Black and dark bronze interior only available with matching exterior color.

\*Products designed in this tool are for visualization purposes only and are not intended to be a complete, accurate representation of the actual product ordered. For exact color and product options, please view samples available at your local Andersen window & door supplier.

**Casement Window Details**

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



**FEATURES**

**FRAME**

**A** A seamless one-piece, rigid vinyl frame cover is secured to the exterior of the frame to protect the wood frame from moisture and maintain an attractive appearance while minimizing maintenance.

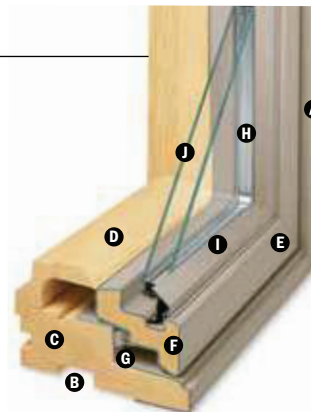
**B** Pre-drilled, through-the-jamb installation holes allow for quick and easy installation.

**C** Wood frame members are treated with a water-repellent preservative for long-lasting\* protection and performance.

**D** Interior stops are unfinished pine. Low-maintenance prefinished white, dark bronze and black\*\* interiors are also available.

**SASH**

**E** Rigid vinyl encases the entire sash – a vinyl weld protects each sash corner for superior weathertightness. It maintains an attractive appearance



**HARDWARE**

**Smooth Control Hardware System**



The smooth control hardware system employs a worm gear drive for easy operation. Units with a wash mode have hinges that move the sash away from the frame to provide easier glass

**INSTALLATION**

**Included Installation Materials**

Flat self-hanging shims, backer rod, installation screws and complete instructions are included with each replacement window. See the measurement guide and worksheet at [andersenwindows.com/measure](http://andersenwindows.com/measure).



**EXTERIOR & INTERIOR OPTIONS**

**EXTERIOR COLORS**

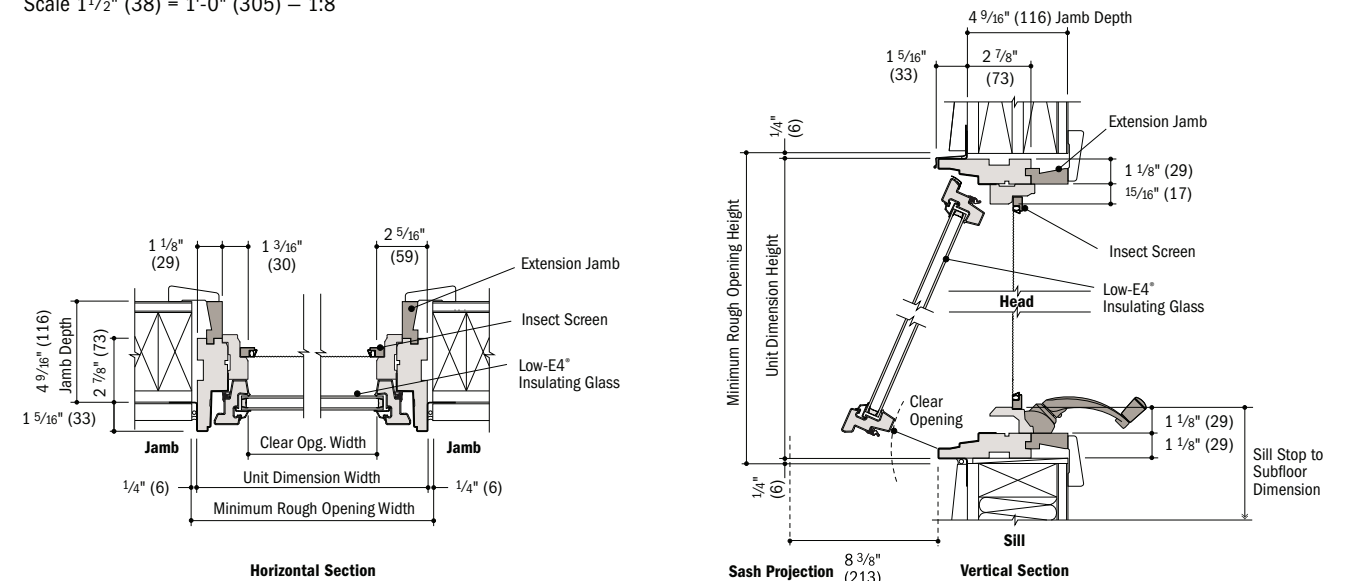


**Traditional**

Design for classic character with the traditional interior profile.

**Awning Window Details**

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



\* 4 9/16" (116) overall jamb depth and 2 7/8" (73) base jamb depth measurement is from back side of installation flange.  
 • Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.  
 • Dimensions in parentheses are in millimeters.  
 • Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.  
 • Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at [andersenwindows.com](http://andersenwindows.com).



**FRENCHWOOD® HINGED INSWING PATIO DOORS**

**Material**  
Wood protected by fiberglass and aluminum exterior.

**FEATURES**

**FRAME**

- A** The sill is made with three-piece construction. The subsill is made of Fibrex® material, and the sill step is solid oak. The exterior sill member is made of extruded aluminum with an attractive wear-resistant, heat-baked finish in neutral gray. This combination of materials combines durability and low maintenance with excellent insulating characteristics.
- B** All basic exterior frame members are fiberglass reinforced composite, which maintains an attractive appearance while minimizing maintenance.
- C** The exterior frame members are attached to a water-repellent preservative-treated wood subframe for long-lasting protection and performance. The subframe is grooved to accept extension jambs.

**PANEL**

- D** Panel interior surfaces are unfinished pine veneer. Unfinished maple or oak veneers are available as options. Low-maintenance prefinished white interiors are also available.
- Hinged inswing operating panels are left-hand active, right-hand active or two-panel active-passive jamb hinged.



- E** The exterior of the wood door panel is protected with a long-lasting urethane base finish available in white, Sandtone, Terratone and forest green.
- F** A factory-applied, one-piece compression-type rubber weatherstrip continues in one plane around the panel to provide maximum effectiveness against water and air infiltration. Corners of the weatherstrip are welded to eliminate gaps between the panel and the frame/sill shoulder.

**Mortise-and-Tenon Joints**



Mortise and tenon joints prevent panel sag and maintain smooth operation.

**High-Performance options include:**

- Low-E4® tempered glass
- Low-E4 HeatLock® tempered glass
- Low-E4 SmartSun™ tempered glass
- Low-E4 SmartSun HeatLock tempered glass
- Low-E4 Sun tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

Patterned glass options are available. See page 12 for more details.

**GLASS**

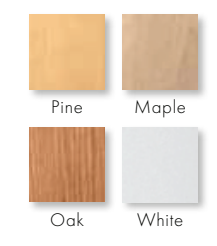
- G** In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.
- H** Panels are silicone bed glazed and finished with an interior wood stop.

**EXTERIOR & INTERIOR OPTIONS**

**EXTERIOR COLORS**



**INTERIOR OPTIONS**



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified. Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

**FRENCHWOOD® HINGED INSWING PATIO DOORS**

Table of Sizes ..... 152-153  
 Specifications ..... 154  
 Custom Sizing ..... 155  
 Grille Patterns ..... 155  
 Door Details ..... 156-157  
 Joining Details ..... 158  
 Combination Designs ..... 181  
 Product Performance ..... 197

**CUSTOM SIZING**  
in 1/8" (3) increments  
Dimensions in parentheses are in millimeters.



Square Picket Fence

Specifications

- Architectural Western Red Cedar frame.
- Philippine Mahogany balusters
- 1 3/4" to 2 1/2" space between balusters
- 1 1/2" square baluster w 45-degree point
- 1 1/2 x 3 1/2 carrying rails w/ decorative beaded edges
- 3/4 x 3 1/2 top front trim & 3/4" x 4 1/2 base trim
- Stainless steel fasteners



SQUARE

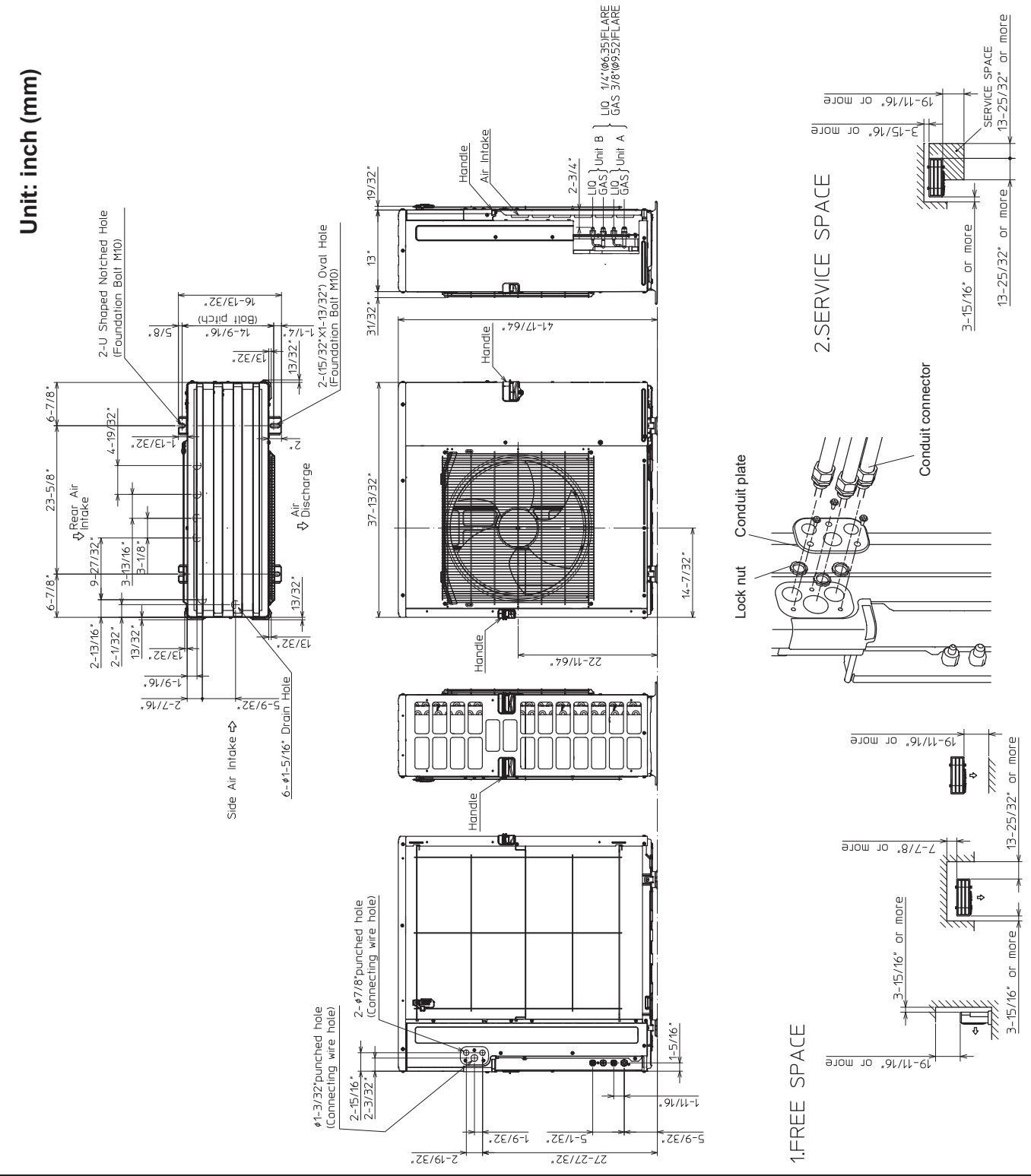
PICKET FENCE

258 MAPLEWOOD AVENUE

Outdoor Unit Outline and Dimensions:



Unit: inch (mm)



**13. 408 The Hill, Unit #6-17**

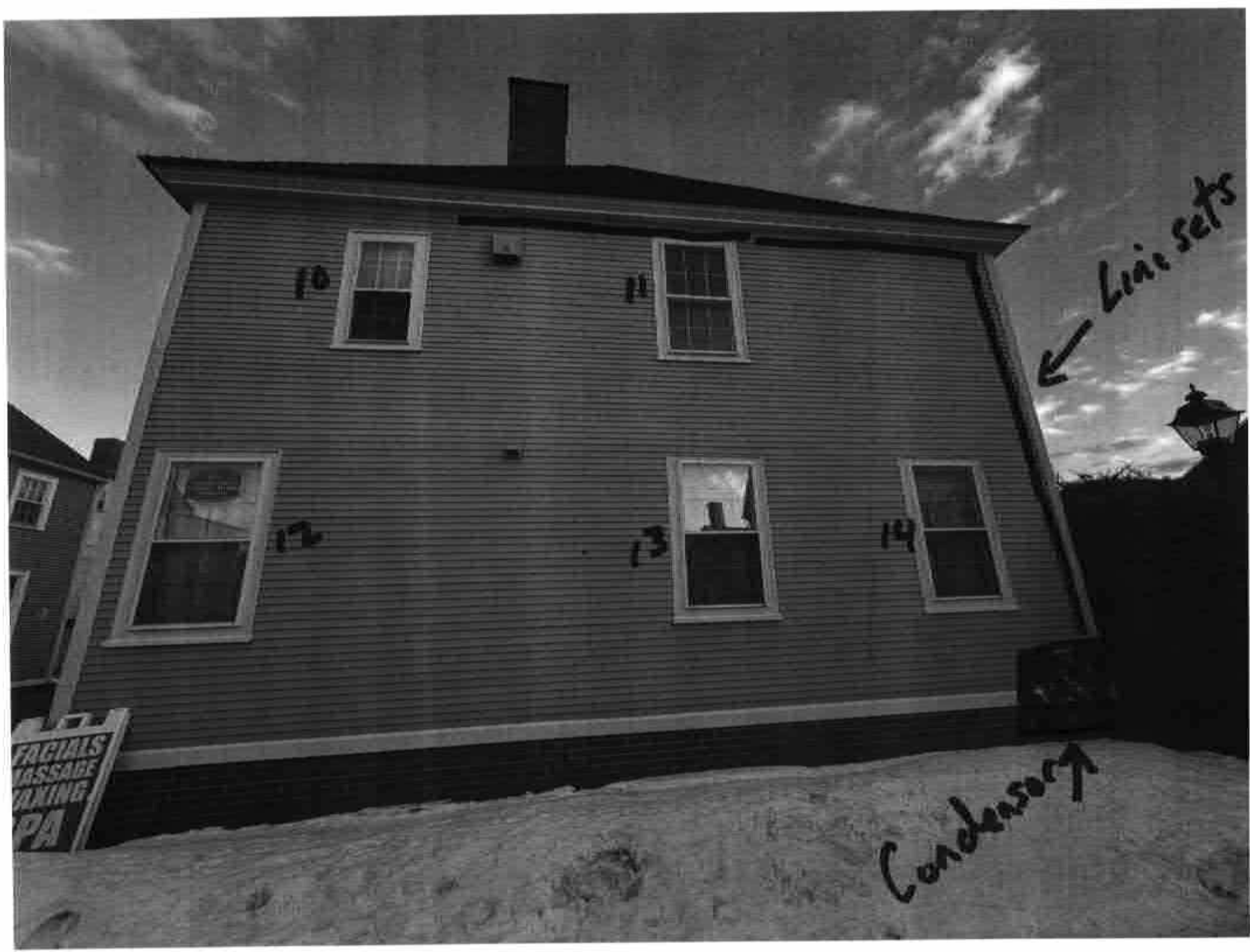
**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of condensers and line sets.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10

11

12

13

14

Line sets

Condensate

FACIALS  
MASSAGE  
TANNING  
PA



←

23

20

21

22

Condenser

BEST SPA

**14. 40 Whidden Street**

**-TBD**

**Background:** The applicant is seeking approval to replace (2) windows with Harvey windows.

**Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# **Historic District Commission**

## **Staff Report**

**Wednesday, April 02, 2025**

**Project Address:** 408 The Hill #6-17  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing A



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4-L1 (CD4-L1) and Downtown Overlay
- Land Use: Residential
- Land Area: N/A SF +/-
- Estimated Age of Structure: c. 1750 (moved 1972)
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: High Street and Deer Street
- Unique Features: N/A
- Neighborhood Association: The North End

**B. Proposed Work:** Replacement windows

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replacement windows



**HISTORIC  
SURVEY  
RATING  
F**



**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

**Project Address:** 222 Court Street  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing #1



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4-L1 (CD4-L1)
- Land Use: Commercial
- Land Area: 3,112 SF +/-
- Estimated Age of Structure: c.1800
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Court Street
- Unique Features: N/A
- Neighborhood Association: Downtown

**B. Proposed Work:** The installation of a mural affixed to the structure on removable panels.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Mural installation



**HISTORIC  
SURVEY  
RATING  
C**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



**CITY OF PORTSMOUTH, NH**  
**Public Art Review Committee**

March 27, 2025

**Memorandum**

To: Peter Britz, Director of Planning and Sustainability

From: Public Art Review Committee (PARC)

Subject: Review of Proposed Mural for 222 Court Street, *Ona Judge Mural*

On March 26, 2025, PARC reviewed a proposed public art project from the Black Heritage Trail of New Hampshire for their building at 222 Court Street. The project is a large mural (approximately 28' x 24') to be created on proposed cementitious cladding panels affixed to the building's brick wall which faces east. The Black Heritage Trail has received a variance from the Board of Adjustment for the mural which will depict Ona Judge, who escaped to Portsmouth while enslaved by Martha Washington. The mural will be created by Manuel Ramirez from [Positive Street Art](#).

**PARC members were very enthusiastic about the plans for the mural and see it as a distinctive contribution to Portsmouth's growing collection of public art.**

**Site/location/safety.** PARC noted that the mural is ideally located at the Black Heritage Trail headquarters where residents and visitors to the City will be able to learn more information about Ona Judge and her important role in local and national history. From the location, the Langdon House which played an important role in the Ona Judge story, is visible. Further, the site is only a few blocks from the African Burying Ground which receives many visitors to Portsmouth.

In terms of accessibility, the mural will be highly visible to pedestrians walking down the busy Pleasant Street corridor. The four-way stop signs at the corner of Court and Pleasant as well as crosswalks support traffic and pedestrian safety; given the four-way stop, the mural should not cause a distraction for drivers.

Recognizing that there is very little clearance between the wall and the adjacent driveway (shared by two condos), the Black Heritage Trail has worked closely with the neighbors to ensure their cooperation. The mural will be positioned approximately 4 feet off the ground to avoid contact with vehicles in the driveway and improve visibility. Explanatory signage for the mural will be placed on the wall facing Court Street to avoid drawing pedestrians onto the neighbors' driveway.

**Scale.** PARC believes the large scale of the mural (covering most of the brick wall) is appropriate given the proximity of the wall to other properties. The mural will optimally be viewed at a distance which will discourage viewers from encroaching on private property. The scale and the amount of building coverage (on a relatively small building) create contrasts with the aesthetics of the image (see more below) which PARC believes add to the uniqueness of this particular work.

**Wall preparation.** PARC appreciated the groundwork that the Black Heritage Trail has undertaken to avoid damaging the brick wall that will support the mural. Paint will be applied to panels which

will be affixed to the wall with a small space between the panels and the brick. We understand that there are several types of panels under consideration, including one that simulates the texture of a brick wall. The artist has successful experience using such panels for murals in other locations, including those with harsh weather conditions like Portsmouth. PARC recommends that the Black Heritage Trail consider a non-textured panel flat panel.

**Materials/durability/maintenance.** The artist will use spray paint over an acrylic or latex masonry paint finished by a clear coat seal—similar to the material used in other murals with a life before “touch up” of approximately 10 years. The Black Heritage Trail and the artist take responsibility for arranging for “touch ups” that may become necessary with wear. PARC recommends considering an anti-graffiti coating of the artist’s choosing.

**Aesthetics/design.** PARC has been able to review the image from which the artist will develop the mural; it is as historically accurate as possible given what is known about Ona Judge’s arrival in Portsmouth. The image depicts a confident and well-dressed Ona Judge with a backdrop based on the Philadelphia waterfront from which she sailed to Portsmouth in 1796. The Black Heritage Trail has consulted with historians on appropriate appearance and dress. PARC members highlighted the cohesiveness of the artwork, noting that the beauty and muted/soft colors of the image are especially appropriate given the scale of the work, its placement in context, the importance of Ona Judge’s story in the context of Black history and the history of Portsmouth, and the subject—the total effect is expressive of the era and Judge’s character and story.

**Artist.** Through Positive Street Art based in Nashua, Manuel Ramirez has created approximately 100 murals in NH and other locales over the past twelve years, including in Nashua, Manchester, Lancaster, Hudson, and Salem. He is experienced in working in urban environments, in the New England climate, and with the types of materials proposed for the Ona Judge mural.

**Project Address:** 445 Marcy Street and 20 Pray Street

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing #2



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 13,855 SF +/-
- Estimated Age of Structure: c.1920
- Building Style: Vernacular cottage
- Number of Stories: 1
- Historical Significance: C
- Public View of Proposed Work: Marcy Street, Pray Street and Partridge Street
- Unique Features: N/A
- Neighborhood Association: The South End

**B. Proposed Work:** Demolition of the existing structure at 445 Marcy Street. Construct new single-family home and detached garage (445 Marcy) and construct a new single-family home with detached garage and accessory dwelling unit (20 Pray)

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Demolition of existing structure
- Construct a new single-family home and detached garage (445 Marcy)
- Construct a new single-family home and detached garage with accessory dwelling unit (20 Pray)



**D. Purpose and Intent:**

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties

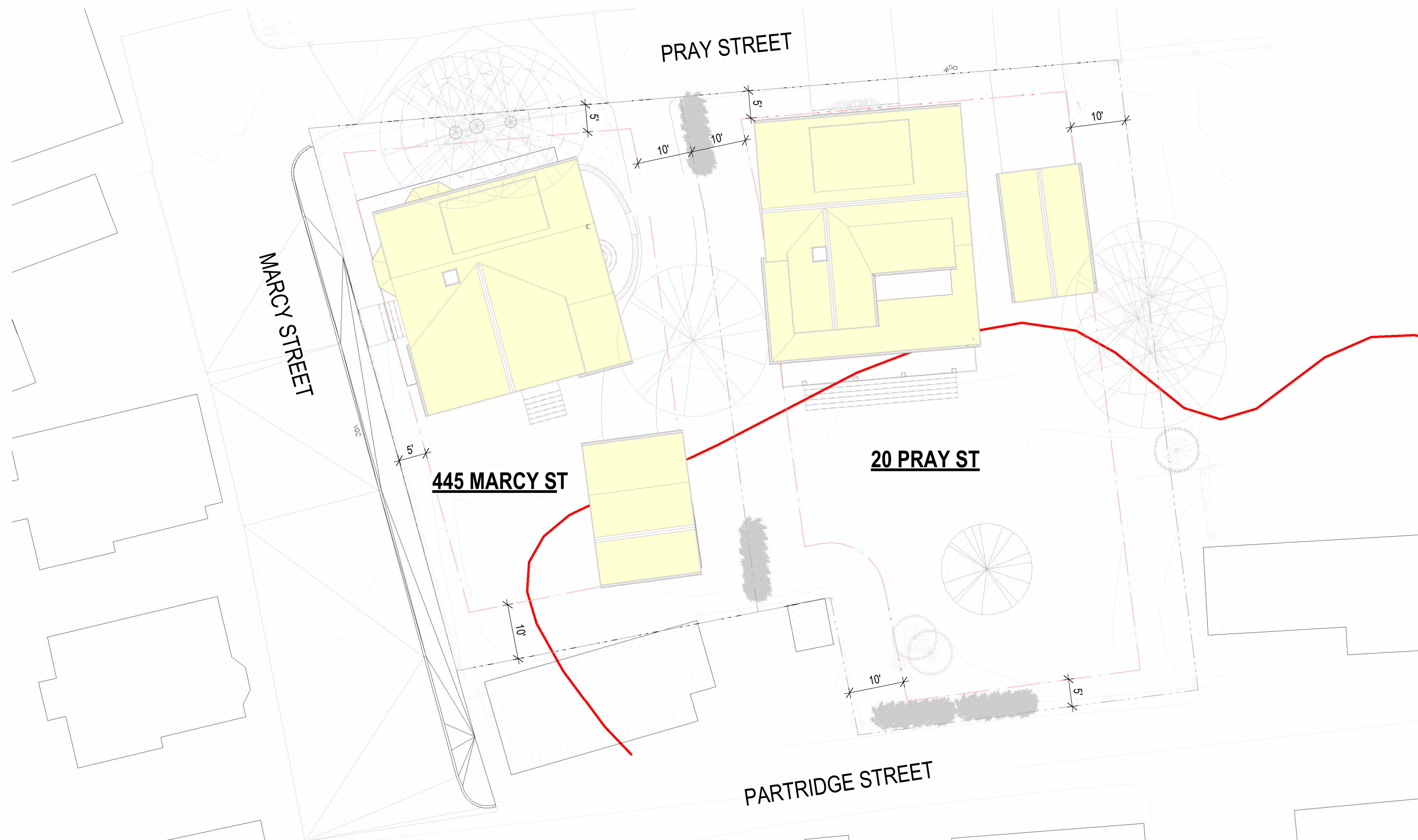




1 SITE PLAN CONTEXT FOOTPRINTS 300'r  
1" = 100'-0"

20 PRAY ST  
445 MARCY ST





1 SITE PLAN  
1/16" = 1'-0"

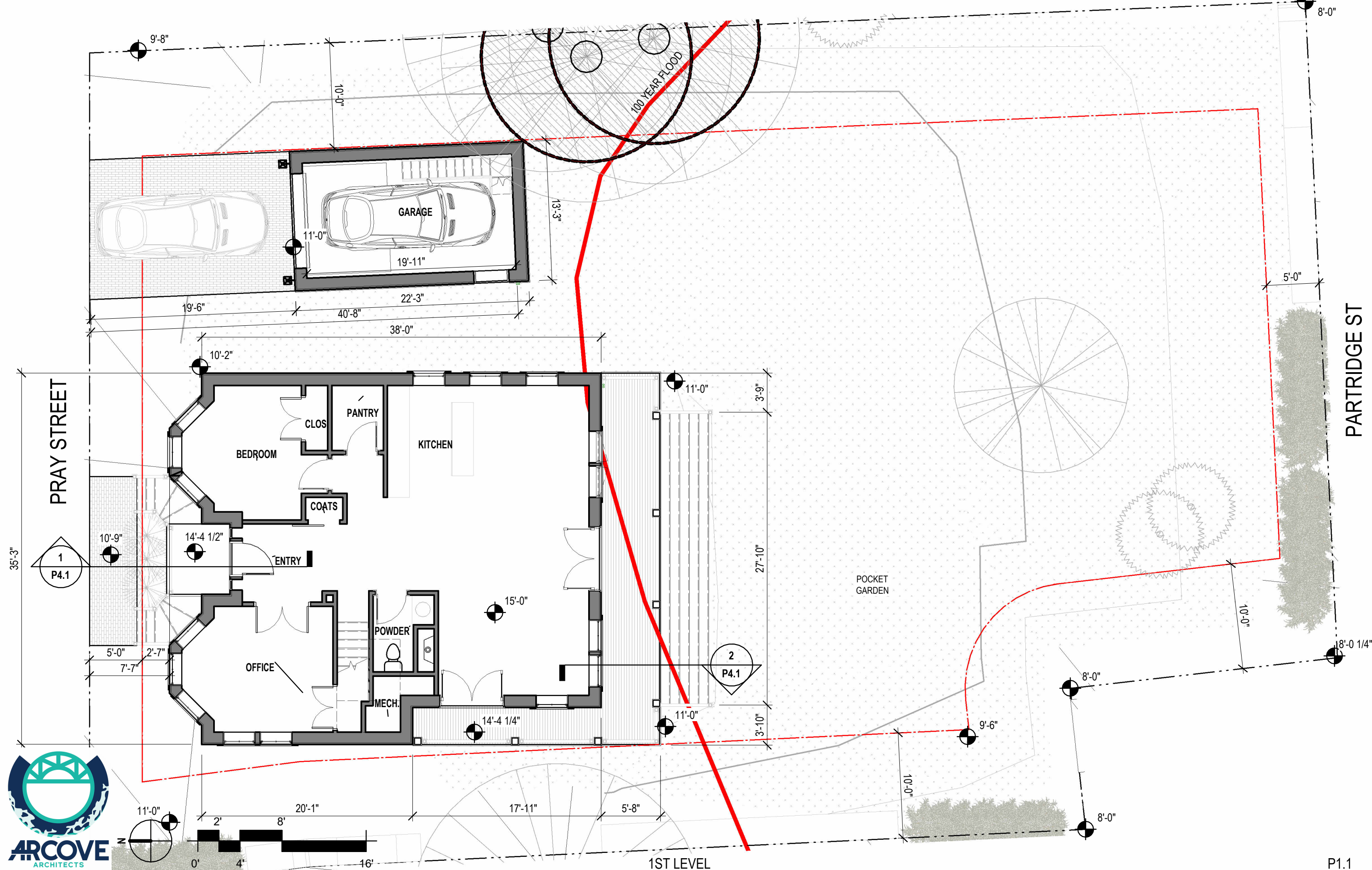
H.11 SITE PLAN  
Marcy-Pray Street Residences  
SCALE: 1/16" = 1'-0"  
3/28/2025





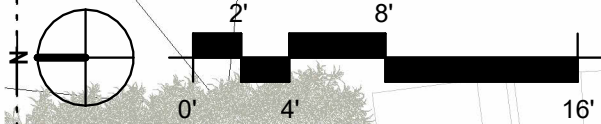
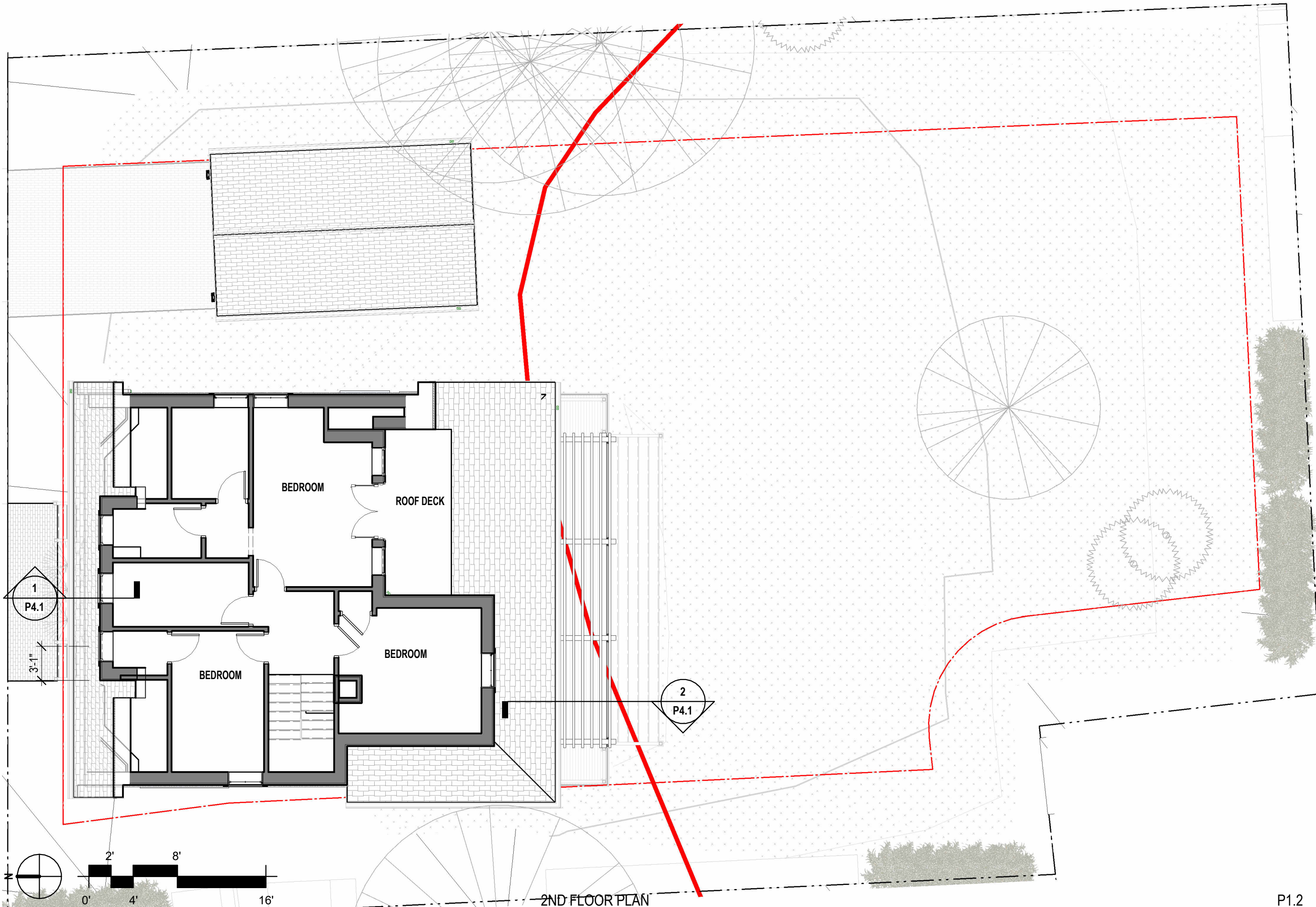
**H.33** **VIGNETTE - FROM PARTRIDGE ST**  
**Marcy-Pray Street Residences**  
SCALE:  
3/28/2025



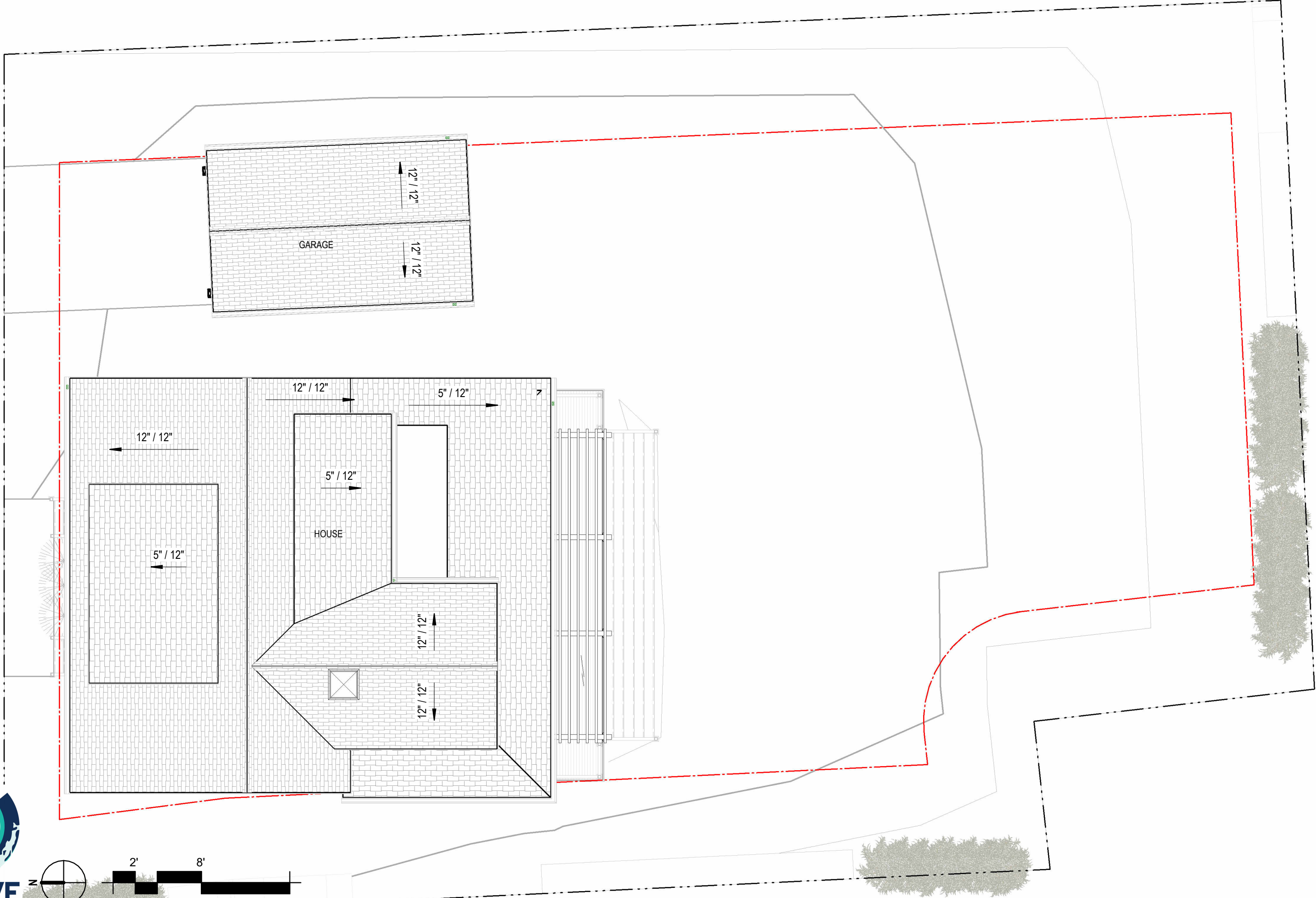


20 PRAY STREET RESIDENCE

1ST LEVEL



2ND FLOOR PLAN  
20 PRAY STREET RESIDENCE



ROOF PLAN

20 PRAY STREET RESIDENCE

P1.3

03/28/25  
PROJECT NO:1042

**Project Address:** 266-278 State Street and 84 Pleasant Street

**Permit Requested:** Work Session

**Application:** Work Session A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 4 & Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 1,750 SF +/-
- Estimated Age of Structure: c.1870's-1900
- Building Style: Italianate/Commercial
- Number of Stories: 3-4
- Historical Significance: C
- Public View of Proposed Work: State Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown



**B. Proposed Work:** Construction of a new 4-story building and renovations to an existing structure (84 Pleasant Street)

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct a new 4-story building
- Renovations to existing structure (84 Pleasant Street)



**HISTORIC  
SURVEY  
RATING  
  
C**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties